

Tangipahoa Parish Council
Tangipahoa Parish Gordon A Burgess Governmental Building
206 East Mulberry Street, Amite, LA 70422
Regular Meeting Immediately Following Public Hearing
August 08, 2022

PUBLIC HEARING - Public Notice Is Hereby Given That a Public Hearing Will Be Held by The Tangipahoa Parish Council on August 8, 2022 at 5:30 PM at Tangipahoa Parish Gordon A Burgess Governmental Building, 206 East Mulberry Street, Amite, Louisiana, 70422, contact number (985) 748-3211 on the following:

T.P. Ordinance No. 22-39 - An Ordinance placing 20mph Speed Limit signs on McCahill Lane in District 10

T.P. Ordinance No. 22-40 - An Ordinance placing 35mph Speed Limit signs on Pleasant Ridge Road Extension in District 8

T.P. Ordinance No. 22-41 - An Ordinance placing 35mph Speed Limit signs on DePhillips Road in District 2

T.P. Ordinance No. 22-42 - An Ordinance placing No Truck Route and No Trucks Beyond This Point signs on W Fontana Rd at the gravel pit to E Evans Rd in District 4

CALL TO ORDER

CELL PHONES - *Please Mute or Turn Off*

INVOCATION

PLEDGE OF ALLEGIANCE (*All Veterans and active military, please render the proper salute*)

ROLL CALL

ADOPTION OF MINUTES of regular meeting dated July 25, 2022

PUBLIC INPUT - *Anyone Wishing to Address Agenda Items Which Were Not on Public Hearing*

PARISH PRESIDENT'S REPORT

- [1.](#) PROCLAMATION for Jayden Haulk, 2022 U.S. High School Bowling National Champion
- [2.](#) APPROVAL OF BIDS for East Minnesota Park Road - Pedestrian Improvements
- [3.](#) APPROVAL OF SUBSTANTIAL COMPLETION for HDPE Geomembrane Installation for Alternate Synthetic Final Cover at Landfill Cell 12 - Bid B
- [4.](#) APPROVAL OF CHANGE ORDER # 1 for Overlay Program Phase 22

REGULAR BUSINESS

5. AUDIT REPORT PRESENTATION - James Lambert Riggs & Associates, Inc

ADOPTION OF ORDINANCES

- [6.](#) ADOPTION of T.P. Ordinance No. 22-39 - An Ordinance placing 20mph Speed Limit signs on McCahill Lane in District 10
- [7.](#) ADOPTION of T.P. Ordinance No. 22-40 - An Ordinance placing 35mph Speed Limit signs on Pleasant Ridge Road Extension in District 8
- [8.](#) ADOPTION of T.P. Ordinance No. 22-41 - An Ordinance placing 35mph Speed Limit signs on DePhillips Road in District 2
- [9.](#) ADOPTION of T.P. Ordinance No. 22-42 - An Ordinance placing No Truck Route and No Trucks Beyond This Point signs on W Fontana Rd at the gravel pit to E Evans Rd in District 4

INTRODUCTION OF ORDINANCES

- [10.](#) INTRODUCTION of T.P. Ordinance No. 22-43 - An Ordinance placing 15mph Speed Limit and Drive Like Your Kids Live Here signs on Sunset Acres in District 6
- [11.](#) INTRODUCTION of T.P. Ordinance No. 22-44 - An Ordinance placing 15mph Speed Limit and Drive Like Your Kids Live Here signs on Bush Lane in District 6
- [12.](#) INTRODUCTION of T.P. Ordinance No. 22-45 - An Ordinance amending and enacting Chapter 36-Planning and Development, Article V-Standards for Development of Property, Section 36-115-Special Use Residential Commercial Developments, (c) Multifamily, (2) Major Apartments, Condominiums, Townhouses, and Duplex Development Standards

- [13.](#) INTRODUCTION of T.P. Ordinance No. 22-46 - An Ordinance amending and enacting Chapter 36-Planning and Development, Article V-Standards for Development of Property, Section 36-118-Other Improvement Standards for Commercial Property Developments
- [14.](#) INTRODUCTION of T.P. Ordinance No. 22-47 - An Ordinance amending and enacting Chapter 36-Planning and Development, Article VI-Additional Agencies Requirements, Section 36-143-General Infrastructure Reviews and Approvals, (7) Sewerage
- [15.](#) INTRODUCTION of T.P. Ordinance No. 22-48 - An Ordinance amending and enacting Chapter 42-Streets, Roads, Sidewalks and Drainage, Article I-In General, Section 42-21-Road Specifications, (b) Sub-base and (c) Base
- [16.](#) INTRODUCTION of T.P. Ordinance No. 22-49 - An Ordinance amending and enacting Appendix C, Figures 2 through 5
- [17.](#) INTRODUCTION of T.P. Ordinance No. 22-50 - An Ordinance to grant a variance to Section 36-112-Special Classification Property Development Standards for Mark and Erin Smith, Assessment #3141101 in District 2
- [18.](#) INTRODUCTION of T.P. Ordinance No. 22-51 - An Ordinance amending and enacting Chapter 32-Nuisances to add Article V-Minimum Housing Standards

ADOPTION OF RESOLUTIONS

- [19.](#) ADOPTION of T.P. Resolution No. R22-17 - A Resolution of the Tangipahoa Parish Council-President Government for support of State Capital Outlay for Phase 2, N. Hoover Rd
- [20.](#) ADOPTION of T.P. Resolution No. R22-18 - A Resolution of the Tangipahoa Parish Council-President Government for support of State Capital Outlay for the Public Works-Emergency Distribution Center Project
- [21.](#) ADOPTION of T.P. Resolution No. R22-19 - A Resolution of the Tangipahoa Parish Council-President Government authorizing the Parish Attorney move forward with legal action concerning an unauthorized business operating at 42695 Robinwood Drive in Hammond, LA, District 6

BOARD APPOINTMENTS

- 22. NEW APPOINTMENT to Gravity Drainage District No. 5

LEGAL MATTERS

COUNCILMEN'S PRIVILEGES

ADJOURN

Jill DeSouge
 Clerk of Council

Daily Star
 Please Publish August 4, 2022

Published on Tangipahoa Parish Government website at www.tangipahoa.org and posted @ T.P. Gordon A. Burgess Governmental Building August 4, 2022

In Accordance with the Americans with Disabilities Act, If You Need Special Assistance, please contact Jill DeSouge at 985-748-2290 describing the Assistance that is necessary.

Whereas, the Parish of Tangipahoa recognizes Ms. Jayden Hauck, a senior at Hammond High School, for her outstanding bowling skills while competing in and earning the Championship Title in the U.S. National High School Bowling Championship held in June 2022; and

Whereas, Jayden earned the Championship Title by playing her best game of the tournament in the championship match to claim the girl's singles title; and

Whereas, Jayden competed in the final match of the tournament facing Kara Beissel for the title, winning the match, 249-222; and

Whereas, Jayden claimed the first national championship for Louisiana since the event began in 2016; and

Whereas, Jayden will attend Southern University in the fall of 2022 after signing a bowling scholarship with the Jaguars.

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NOW, THEREFORE, we, the Tangipahoa Parish Council-President Government does hereby recognize Ms. Jayden Hauck for her remarkable accomplishments thus far in her young life and promising career. Jayden, we are so proud of you and look forward to following you throughout your future and wish you all the best.

IN WITNESS WHEREOF, we do hereby set our signatures and have cause to be affixed the official seal of the Parish of Tangipahoa in Amite, Louisiana on this 8th day of August 2022.

Brigitte Hyde, Chairwoman
Tangipahoa Parish Council

Robby Miller, President
Tangipahoa Parish Government

RICHARD C. LAMBERT CONSULTANTS, L.L.C.



August 4, 2022

Wesley Danna
Project Manager
Tangipahoa Parish Government
15485 West Club Deluxe Road
Hammond, LA 70403

**Subject: East Minnesota Park Road Pedestrian Improvements
RCLC Job No. 720-05**

Dear Mr. Danna:

Attached is the Certified Bid Tabulation for the subject project. Kort's Construction Services, Inc. is the apparent low bidder and, accordingly, Richard C. Lambert Consultants, LLC recommends award of the contract to Kort's Construction Services, Inc.

Should you have any questions, please call.

Yours truly,

RICHARD C. LAMBERT CONSULTANTS, LLC

A handwritten signature in blue ink that reads "Angela KG Eymard". The signature is written in a cursive style.

Angela KG Eymard, PE
Senior Engineer

Attachment

Copy: Richard Lambert (RCLC), Misty Evans (TPG), John Dardis (TPG), Frank Abene (TPG)

RICHARD C. LAMBERT CONSULTANTS, LLC

900 West Causeway Approach, Mandeville LA 70471
Phone: 985.727.4440 Fax: 985.727.4447
E-mail: rclc@rclconsultants.com

New Orleans Office
E-mail: rclc@rclconsultants.com

EAST MINNESOTA PARK RD. PEDESTRIAN IMPROVEMENTS
TANGIPIAHOA PARISH GOVERNMENT

RCLC NO. 720-05
Bid Date: AUGUST 2, 2022

BID TABULATIONS



Item Code	Description	Quantity	Units	KORT'S CONSTRUCTION SERVICES, INC.		INDUSTRIAL ENTERPRISES, INC.		ENGINEER'S ESTIMATE	
				Unit Price	Extension	Unit Price	Extension	Unit Price	Extension
1	CLEARING AND GRUBBING	1	LUMP SUM	\$ 10,000.00	\$ 10,000.00	\$ 57,500.00	\$ 57,500.00	\$ 20,000.00	\$ 20,000.00
2	REMOVAL OF STRUCTURES AND OBSTRUCTIONS	1	LUMP SUM	\$ 15,000.00	\$ 15,000.00	\$ 25,875.00	\$ 25,875.00	\$ 12,000.00	\$ 12,000.00
3	REMOVAL OF AGGREGATE DRIVEWAY	103.4	SQ.YD	\$ 10.00	\$ 1,034.00	\$ 5.75	\$ 594.55	\$ 15.00	\$ 1,551.00
4	REMOVAL OF CONCRETE WALKS AND DRIVES	237.2	SQ.YD	\$ 25.00	\$ 5,930.00	\$ 49.45	\$ 11,729.54	\$ 15.00	\$ 3,558.00
5	EXCAVATION AND EMBANKMENT	1	LUMP SUM	\$ 20,000.00	\$ 20,000.00	\$ 70,161.50	\$ 70,161.50	\$ 35,000.00	\$ 35,000.00
6	TEMPORARY SILT FENCING	404	LN.FT	\$ 2.50	\$ 1,010.00	\$ 4.03	\$ 1,628.12	\$ 3.50	\$ 1,414.00
7	STORM DRAIN PIPE (15" RCP)	844	LN.FT	\$ 101.50	\$ 85,666.00	\$ 109.25	\$ 92,207.00	\$ 75.00	\$ 63,300.00
8	STORM DRAIN PIPE (18" RCP)	682	LN.FT	\$ 116.50	\$ 79,381.00	\$ 116.15	\$ 79,214.30	\$ 90.00	\$ 61,380.00
9	STORM DRAIN PIPE (24" RCP)	16	LN.FT	\$ 139.00	\$ 2,224.00	\$ 133.40	\$ 2,134.40	\$ 100.00	\$ 1,600.00
10	STORM DRAIN PIPE ARCH (18" RCP)	47	LN.FT	\$ 131.50	\$ 6,180.50	\$ 133.40	\$ 6,269.80	\$ 90.00	\$ 4,230.00
11	SIDE DRAIN PIPE (12" PVC)	12	LN.FT	\$ 85.00	\$ 1,020.00	\$ 115.00	\$ 1,380.00	\$ 60.00	\$ 720.00
12	CATCH BASINS (CB-01)	22	EACH	\$ 2,450.00	\$ 53,900.00	\$ 3,078.55	\$ 67,728.10	\$ 4,500.00	\$ 99,000.00
13	CONCRETE SIDEWALK (4" THICK)(5' WIDE)	1,105.0	SO.YD	\$ 72.00	\$ 79,560.00	\$ 86.25	\$ 95,306.25	\$ 70.00	\$ 77,350.00
14	CONCRETE DRIVE 6" THICK	101.8	SO.YD	\$ 125.00	\$ 12,725.00	\$ 149.50	\$ 15,219.10	\$ 85.00	\$ 8,653.00
15	CONCRETE DRIVE 8" THICK	237.1	SO.YD	\$ 105.00	\$ 24,895.50	\$ 151.80	\$ 35,991.78	\$ 105.00	\$ 24,895.50
16	HANDICAPPED CURB RAMPS INCLUDING TRUNCATED DOMES	16	EACH	\$ 2,100.00	\$ 33,600.00	\$ 747.50	\$ 11,960.00	\$ 1,000.00	\$ 16,000.00
17	TEMPORARY SIGNS AND BARRICADES	1	LUMP SUM	\$ 30,000.00	\$ 30,000.00	\$ 28,750.00	\$ 28,750.00	\$ 25,000.00	\$ 25,000.00
18	MOBILIZATION	1	LUMP SUM	\$ 67,500.00	\$ 67,500.00	\$ 63,250.00	\$ 63,250.00	\$ 45,000.00	\$ 45,000.00
19	MAILBOXES	3	EACH	\$ 600.00	\$ 1,800.00	\$ 575.00	\$ 1,725.00	\$ 50.00	\$ 150.00
20	HYDRO-SEEDING	55	ACRE	\$ 3,000.00	\$ 1,650.00	\$ 8,050.00	\$ 4,427.50	\$ 3,500.00	\$ 1,925.00
21	CONSTRUCTION LAYOUT	1	LUMP SUM	\$ 3,500.00	\$ 3,500.00	\$ 20,700.00	\$ 20,700.00	\$ 8,500.00	\$ 8,500.00
22	RELOCATING FIRE HYDRANT	2	EACH	\$ 5,800.00	\$ 11,600.00	\$ 10,120.00	\$ 20,240.00	\$ 6,000.00	\$ 12,000.00
23	SAW CUTTING PORTLAND CEMENT CONCRETE PAVEMENT	664.0	LN.FT	\$ 2.00	\$ 1,328.00	\$ 2.30	\$ 1,527.20	\$ 2.00	\$ 1,328.00
24	SANITARY SEWER COMPACT BOX	1	EACH	\$ 9,500.00	\$ 9,500.00	\$ 6,900.00	\$ 6,900.00	\$ 5,500.00	\$ 5,500.00
25	OFFSET 8" WATER LINE	2	EACH	\$ 12,000.00	\$ 24,000.00	\$ 17,250.00	\$ 34,500.00	\$ 7,000.00	\$ 14,000.00
26	AS-BUILT SURVEY AND PLAN	1	LUMP SUM	\$ 6,500.00	\$ 6,500.00	\$ 6,900.00	\$ 6,900.00	\$ 15,000.00	\$ 15,000.00
27	REMOVE AND REPLACE BOILARDS	1	LUMP SUM	\$ 4,500.00	\$ 4,500.00	\$ 2,875.00	\$ 2,875.00	\$ 500.00	\$ 500.00
28	4" ASPHALT SIDEWALK ON 6" STONE BASE (5' WIDE)	11	SO.YD	\$ 965.00	\$ 10,615.00	\$ 460.00	\$ 5,060.00	\$ 100.00	\$ 1,100.00
29	EXPLORATORY EXCAVATION	2	EACH	\$ 2,800.00	\$ 5,600.00	\$ 2,875.00	\$ 5,750.00	\$ 3,500.00	\$ 7,000.00
30	COMPANY CONTRACTOR	1	LUMP SUM	\$ 30,000.00	\$ 30,000.00	\$ 28,390.05	\$ 28,390.05	\$ 24,043.31	\$ 24,043.31
31	REMOVE EXISTING FENCE AND BUILD NEW FENCE	1	LUMP SUM	\$ 10,000.00	\$ 10,000.00	\$ 13,800.00	\$ 13,800.00	\$ 15,000.00	\$ 15,000.00
32	CONSTRUCTION MATERIALS TESTING	1	LUMP SUM	\$ 5,750.00	\$ 5,750.00	\$ 34,500.00	\$ 34,500.00	\$ 8,500.00	\$ 8,500.00
				Base Total:	\$ 646,349.00	\$ 854,194.19	\$ 615,197.81		

This is to certify that the tabulation has been checked for accuracy.

By: *Angela E. Lyman*

Date: 8/2/22



KORT'S CONSTRUCTION SERVICES INC.

Unique Entity ID VHL5UB2LZND8	CAGE / NCAGE 552K3	Purpose of Registration All Awards
Registration Status Active Registration	Expiration Date Jun 1, 2023	
Physical Address 2182 Manton Drive Covington, Louisiana 70433-1000 United States	Mailing Address 2182 Manton Drive Covington, Louisiana 70433-1000 United States	

Business Information

Doing Business as (blank)	Division Name (blank)	Division Number (blank)
Congressional District Louisiana 01	State / Country of Incorporation Louisiana / United States	URL https://kortsconstructionservices.com/

Registration Dates

Activation Date Jun 2, 2022	Submission Date Jun 1, 2022	Initial Registration Date Jul 18, 2008
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Entity Dates

Entity Start Date Dec 12, 2003	Fiscal Year End Close Date Dec 31
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Immediate Owner

CAGE (blank)	Legal Business Name (blank)
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Highest Level Owner

CAGE (blank)	Legal Business Name (blank)
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Executive Compensation

Registrants in the System for Award Management (SAM) respond to the Executive Compensation questions in accordance with Section 6202 of P.L. 110-252, amending the Federal Funding Accountability and Transparency Act (P.L. 109-282). This information is not displayed in SAM. It is sent to USAspending.gov for display in association with an eligible award. Maintaining an active registration in SAM demonstrates the registrant responded to the questions.

Proceedings Questions

Registrants in the System for Award Management (SAM) respond to proceedings questions in accordance with FAR 52.209-7, FAR 52.209-9, or 2.C.F.R. 200 Appendix XII. Their responses are not displayed in SAM. They are sent to FAPIIS.gov for display as applicable. Maintaining an active registration in SAM demonstrates the registrant responded to the proceedings questions.

Exclusion Summary

Active Exclusions Records?

No

SAM Search Authorization

I authorize my entity's non-sensitive information to be displayed in SAM public search results:

Yes

Entity Types

Business Types

Entity Structure Corporate Entity (Not Tax Exempt)	Entity Type Business or Organization	Organization Factors Subchapter S Corporation
Profit Structure For Profit Organization		

Socio-Economic Types**Self Certified Small Disadvantaged Business**

Check the registrant's Reps & Certs, if present, under FAR 52.212-3 or FAR 52.219-1 to determine if the entity is an SBA-certified HUBZone small business concern. Additional small business information may be found in the SBA's Dynamic Small Business Search if the entity completed the SBA supplemental pages during registration.

Financial Information

Accepts Credit Card Payments No	Debt Subject To Offset No
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EFT Indicator 0000	CAGE Code 552K3
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Points of Contact**Electronic Business**

🔗 Tara Book	2182 Manton Drive Covington, Louisiana 70433 United States
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KORT WITTICH	2182 Manton Drive Covington, Louisiana 70435 United States
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Government Business

🔗 Wayne Pontiff	2182 Manton Drive Covington, Louisiana 70435 United States
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KORT WITTICH	2182 Manton Drive Covington, Louisiana 70435 United States
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Past Performance

🔗 KORT WITTICH	2182 Manton Drive Covington, Louisiana 70435 United States
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KORT WITTICH	2182 Manton Drive Covington, Louisiana 70435 United States
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Service Classifications**NAICS Codes**

Primary	NAICS Codes	NAICS Title
Yes	237310	Highway, Street, And Bridge Construction
	212321	Construction Sand And Gravel Mining
	212322	Industrial Sand Mining
	212325	Clay And Ceramic And Refractory Minerals Mining
	221210	Natural Gas Distribution
	221310	Water Supply And Irrigation Systems
	221320	Sewage Treatment Facilities
	236210	Industrial Building Construction
	236220	Commercial And Institutional Building Construction
	237110	Water And Sewer Line And Related Structures Construction
	237120	Oil And Gas Pipeline And Related Structures Construction
	237130	Power And Communication Line And Related Structures Construction
	237210	Land Subdivision
	237990	Other Heavy And Civil Engineering Construction
	238110	Poured Concrete Foundation And Structure Contractors
	238190	Other Foundation, Structure, And Building Exterior Contractors

238910

Site Preparation Contractors

238990

All Other Specialty Trade Contractors

Disaster Response

Yes, this entity appears in the disaster response registry.

No, this entity does not require bonding to bid on contracts.

Bonding Levels	Dollars
	(blank)

States

Louisiana

Mississippi

Counties

(blank)

Metropolitan Statistical Areas

(blank)

Certificate of Substantial Completion

Project: HDPE Geomembrane Installation for Alternate Synthetic Final Cover at Landfill Cell 12 –
Bid B

Owner: Tangipahoa Parish Government

Owner's Contract No.: N/A

Contractor: Mustang Extreme Environmental Services

Engineer's Project No.: TAN-058

This tentative Certificate of Substantial Completion applies to:

All Work under the Contract Documents: The following specified portions of the Work:

June 13, 2022

Date of Substantial Completion

The Work to which this Certificate applies has been inspected by authorized representatives of Owner, Contractor, and Engineer, and found to be substantially complete. The Date of Substantial Completion of the Project or portion thereof designated above is hereby declared and is also the date of commencement of applicable warranties required by the Contract Documents, except as stated below.

A tentative list of items to be completed or corrected is attached hereto. This list may not be all-inclusive, and the failure to include any items on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents.

The responsibilities between Owner and Contractor for security, operation, safety, maintenance, heat, utilities, insurance and warranties shall be as provided in the Contract Documents except as amended as follows:

Amended Responsibilities

Not Amended

Owner's Amended Responsibilities:

Contractor's Amended Responsibilities:

This Certificate is issued with the following conditions:

- 1) Mustang Extreme Environmental Services shall supply and install gas pressure relief valve "PRV-41." The price for this work is \$1,236.30.
- 2) The retainage balance is \$39,370.92.

This Certificate does not constitute an acceptance of Work not in accordance with the Contract Documents nor is it a release of Contractor's obligation to complete the Work in accordance with the Contract Documents.

Dustin Romeo

6/23/2022

Executed by Engineer

Date

Ray Greig Honey

6-22-2022

Accepted by Contractor

Date

Accepted by Owner

Date

TANGIPAOA PARISH GOVERNMENT CONTRACT CHANGE ORDER		Date JULY 25, 2022	
To (Contractor) BARRIERE CONSTRUCTION CO., L.L.C. 407 C.C. ROAD FRANKLINTON, LA. 70438		PROJECT OVERLAY PROGRAM PHASE 22	
		Location	
		Contract No.	
		Change Order No.	
You are hereby requested to comply with the following changes from the contract plans and specifications:			
Item No. (1)	Description of changes - quantities, units, unit prices, change in completion schedule, etc. (2)	Decrease in contract price (3)	Increase in contract price (4)
1	REMOVING SALLIE KINCHEN ROAD FROM PHASE 2022 AND REPLACING IT WITH COATES ROAD	\$	\$ 23,751.71
Change in contract price due to this Change Order: Total decrease Total increase Difference between Col. (3) and (4) Net <u>increase</u> (decrease) contract		\$ \$ \$ \$	\$ \$ <u>\$23,751.71</u> \$ <u>\$23,751.71</u>
The sum of <u>\$23,751.71</u> Is hereby <u>increased</u> (increase from) the total contract price, and the total adjusted contract price to date thereby is \$7,321,744.52 The time provide for completion in the contract is (changed) (increased (decreased) by <u>0</u> Calendar days. This document shall become an amendment to the contract and all provisions of the contract will apply hereto.			
Recommended by _____ Architect/Engineer _____ Date _____			

Accepted by	Contractor	Date
Approved by	Owner	Date

JUSTIFICATION FOR CHANGE	Project No OVERLAY PROGRAM PHASE 22	
	Contract No.	
	Change Order No. 1	
1. Necessity for change: DELETING A ROAD AND ADDING ONE		
2. Is proposed change an alternate bid?	X Yes	X No
3. Will proposed change alter the physical size of the project? If AYes,@ explain.	YX	No
4. Effect of this change on other prime contractors: NONE		
5. Has consent of surety been obtained?	Yes	Not necessary
6. Will this change affect expiration or extent of insurance coverage? If AYes,@ will the policies be extended?	Yes	NoX No
7. Effect on operation and maintenance cost:		
Owner		Date

T.P. Ordinance No. 22-39

**AN ORDINANCE PLACING 20MPH SPEED LIMIT SIGNS ON
MCCA HILL LANE IN DISTRICT 10**

BE IT ORDAINED by the Tangipahoa Parish Council-President Government, governing authority of Tangipahoa Parish, State of Louisiana, as follows:

- 1) 20 MPH speed limit signs on McCahill Lane in District No. 10

in Accordance with Chapter 42, Streets, Roads, Sidewalks and Drainage - Article I, in General - Section 42-19.

BE IT FURTHER ORDAINED that this ordinance shall become effective immediately upon signature of the Parish President and all previous ordinances in conflict with said ordinance are hereby repealed.

This ordinance having been submitted in writing, having been introduced at a public meeting of the Tangipahoa Parish Council, discussed at a public hearing of said council and was submitted to an official vote of the Tangipahoa Parish Council.

On motion by__and seconded by __, the foregoing ordinance was hereby declared adopted on this 8th day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge
Clerk of Council
Tangipahoa Parish Council

Brigitte Hyde
Chairwoman
Tangipahoa Parish Council

INTRODUCED: July 25, 2022

PUBLISHED: August 4, 2022 OFFICIAL JOURNAL Hammond Daily Star

ADOPTED BY TPC: August 8, 2022

DELIVERED TO PRESIDENT: _____day of August, 2022 at _____

APPROVED BY PRESIDENT: _____
Robby Miller Date

VETOED BY PRESIDENT: _____
Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

T.P. Ordinance No. 22-40

AN ORDINANCE PLACING 35MPH SPEED LIMIT SIGNS ON PLEASANT RIDGE ROAD EXTENSION IN DISTRICT 8

BE IT ORDAINED by the Tangipahoa Parish Council-President Government, governing authority of Tangipahoa Parish, State of Louisiana, as follows:

- 1) 35 MPH speed limit signs on Pleasant Ridge Road Extension in District 8

in Accordance with Chapter 42, Streets, Roads, Sidewalks and Drainage - Article I, in General - Section 42-19.

BE IT FURTHER ORDAINED that this ordinance shall become effective immediately upon signature of the Parish President and all previous ordinances in conflict with said ordinance are hereby repealed.

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Brigitte Hyde
Chairwoman
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INTRODUCED: July 25, 2022

PUBLISHED: August 4, 2022 OFFICIAL JOURNAL Hammond Daily Star

ADOPTED BY TPC: August 8, 2022

DELIVERED TO PRESIDENT: _____day of August, 2022 at _____

APPROVED BY PRESIDENT: _____
Robby Miller Date

VETOED BY PRESIDENT: _____
Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

T.P. Ordinance No. 22-41

**AN ORDINANCE PLACING 35MPH SPEED LIMIT SIGNS ON
DEPHILLIPS ROAD IN DISTRICT 2**

BE IT ORDAINED by the Tangipahoa Parish Council-President Government, governing authority of Tangipahoa Parish, State of Louisiana, as follows:

- 1) 35 MPH speed limit signs on DePhillips Road in District 2

in Accordance with Chapter 42, Streets, Roads, Sidewalks and Drainage - Article I, in General - Section 42-19.

BE IT FURTHER ORDAINED that this ordinance shall become effective immediately upon signature of the Parish President and all previous ordinances in conflict with said ordinance are hereby repealed.

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APPROVED BY PRESIDENT: _____
Robby Miller Date

VETOED BY PRESIDENT: _____
Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

T.P. Ordinance No. 22-42

**AN ORDINANCE PLACING NO TRUCK ROUTE AND NO TRUCKS
BEYOND THIS POINT SIGNS ON W FONTANA RD AT THE
GRAVEL PIT TO E EVANS RD IN DISTRICT 4**

BE IT ORDAINED by the Tangipahoa Parish Council-President Government, governing authority of Tangipahoa Parish, State of Louisiana, as follows:

- 1) No Truck Route on W Fontana Rd at the gravel pit to E Evans Rd in District 4
- 2) No Trucks Beyond This Point on W Fontana Rd at the gravel pit to E Evans Rd in District 4

in Accordance with Chapter 42, Streets, Roads, Sidewalks and Drainage - Article I, in General - Section 42-19.

BE IT FURTHER ORDAINED that this ordinance shall become effective immediately upon signature of the Parish President and all previous ordinances in conflict with said ordinance are hereby repealed.

This ordinance having been submitted in writing, having been introduced at a public meeting of the Tangipahoa Parish Council, discussed at a public hearing of said council and was submitted to an official vote of the Tangipahoa Parish Council.

On motion by__and seconded by __, the foregoing ordinance was hereby declared adopted on this 8th day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge
Clerk of Council
Tangipahoa Parish Council

Brigitte Hyde
Chairwoman
Tangipahoa Parish Council

INTRODUCED: July 25, 2022

PUBLISHED: August 4, 2022 OFFICIAL JOURNAL Hammond Daily Star

ADOPTED BY TPC: August 8, 2022

DELIVERED TO PRESIDENT: _____ day of August, 2022 at _____

APPROVED BY PRESIDENT: _____
Robby Miller Date

VETOED BY PRESIDENT: _____
Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

T.P. Ordinance No. 22-43

**AN ORDINANCE PLACING 15MPH SPEED LIMIT AND DRIVE
LIKE YOUR KIDS LIVE HERE SIGNS ON SUNSET ACRES IN
DISTRICT 6**

BE IT ORDAINED by the Tangipahoa Parish Council-President Government, governing authority of Tangipahoa Parish, State of Louisiana, as follows:

- 1) 15 MPH speed limit signs on Sunset Acres in District 6
- 2) Drive Like Your Kids Live Here on Sunset Acres in District 6

in Accordance with Chapter 42, Streets, Roads, Sidewalks and Drainage - Article I, in General - Section 42-19.

BE IT FURTHER ORDAINED that this ordinance shall become effective immediately upon signature of the Parish President and all previous ordinances in conflict with said ordinance are hereby repealed.

This ordinance having been submitted in writing, having been introduced at a public meeting of the Tangipahoa Parish Council, discussed at a public hearing of said council and was submitted to an official vote of the Tangipahoa Parish Council.

On motion by__and seconded by __, the foregoing ordinance was hereby declared adopted on this 22nd day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge
Clerk of Council
Tangipahoa Parish Council

Brigitte Hyde
Chairwoman
Tangipahoa Parish Council

INTRODUCED: August 8, 2022

PUBLISHED: August 18, 2022 OFFICIAL JOURNAL Hammond Daily Star

ADOPTED BY TPC: August 22, 2022

DELIVERED TO PRESIDENT: _____ day of August, 2022 at _____

APPROVED BY PRESIDENT: _____
Robby Miller Date

VETOED BY PRESIDENT: _____
Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

T.P. Ordinance No. 22-48

**AN ORDINANCE PLACING 15MPH SPEED LIMIT AND DRIVE
LIKE YOUR KIDS LIVE HERE SIGNS ON BUSH LANE IN
DISTRICT 6**

BE IT ORDAINED by the Tangipahoa Parish Council-President Government, governing authority of Tangipahoa Parish, State of Louisiana, as follows:

- 1) 15 MPH speed limit signs on Bush Lane in District 6
- 2) Drive Like Your Kids Live Here on Bush Lane in District 6

in Accordance with Chapter 42, Streets, Roads, Sidewalks and Drainage - Article I, in General - Section 42-19.

BE IT FURTHER ORDAINED that this ordinance shall become effective immediately upon signature of the Parish President and all previous ordinances in conflict with said ordinance are hereby repealed.

This ordinance having been submitted in writing, having been introduced at a public meeting of the Tangipahoa Parish Council, discussed at a public hearing of said council and was submitted to an official vote of the Tangipahoa Parish Council.

On motion by__and seconded by __, the foregoing ordinance was hereby declared adopted on this 22nd day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge
Clerk of Council
Tangipahoa Parish Council

Brigitte Hyde
Chairwoman
Tangipahoa Parish Council

INTRODUCED: August 8, 2022

PUBLISHED: August 18, 2022 OFFICIAL JOURNAL Hammond Daily Star

ADOPTED BY TPC: August 22, 2022

DELIVERED TO PRESIDENT: _____ day of August, 2022 at _____

APPROVED BY PRESIDENT: _____
Robby Miller Date

VETOED BY PRESIDENT: _____
Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

T.P. Ordinance No. 22-45

AN ORDINANCE AMENDING AND ENACTING CHAPTER 36 –
PLANNING AND DEVELOPMENT, ARTICLE V – STANDARDS FOR
DEVELOPMENT OF PROPERTY, SECTION 36-115 – SPECIAL USE
RESIDENTIAL COMMERCIAL DEVELOPMENTS, (C) MULTIFAMILY (2)
MAJOR APARTMENTS, CONDOMINIUMS, TOWNHOUSES, AND
DUPLEX DEVELOPMENT STANDARDS

BE IT ORDAINED by the Tangipahoa Parish Council-President Government,
State of Louisiana, acting as the Governing Authority thereof revises and amends the
Tangipahoa Parish Code of Ordinance as follows:

Chapter 36 PLANNING AND DEVELOPMENT

ARTICLE V – STANDARDS FOR DEVELOPMENT OF PROPERTY

Sec. 36-115. Special Use Residential Commercial Developments.

(c) *Multifamily.*

(2) *Major apartments, condominiums, townhouses, and duplex development standards.*

- a. Location of mini dumps for solid waste disposal must be on the final plat.
- b. Streets, **drive aisles, or access servitudes** exceeding 500 feet in length must end in a cul-de-sac or a T-turnaround designed as per **chapter 42**.
- c. Privacy fences, six feet in height, may be required, if necessary, to separate incompatible land uses.
- d. Maximum density of 12 dwelling units per acre.
- e. **Within the development all access servitudes for drive aisles must be a minimum of 35 feet wide. The drive aisle must be constructed with hard surface materials with a minimum of 16' wide. No parking spaces are allowed within the 35' servitude.**
~~Must have a 35-foot minimum wide right-of-way with a 16-foot minimum wide hard surfaced street.~~
- f. At least ten percent of the total development acreage must be green space or recreational area.
- g. Security lighting must be provided on every other utility pole or at equivalent spacing.
- h. These developments must have 125' frontage on an existing publicly maintained road**

BE IT FURTHER ORDAINED that this ordinance shall become effective immediately upon signature of the Parish President and all previous ordinances in conflict with said ordinance are hereby repealed.

This ordinance having been submitted in writing, having been introduced at a public meeting of the Tangipahoa Parish Council, discussed at a public hearing of said council and was submitted to an official vote of the Tangipahoa Parish Council shall take effect immediately upon the signature of the Tangipahoa Parish President.

On motion by ___ and seconded by __, the foregoing ordinance was hereby declared adopted on this 22nd day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge
Clerk of Council
Tangipahoa Parish Council

Brigette Hyde
Chairwoman
Tangipahoa Parish Council

INTRODUCED: August 8, 2022

PUBLISHED: August 18, 2022 OFFICIAL JOURNAL Hammond Daily Star

ADOPTED BY TPC: August 22, 2022

DELIVERED TO PRESIDENT: _____ day of August, 2022 at _____

APPROVED BY PRESIDENT: _____
Robby Miller Date

VETOED BY PRESIDENT: _____
Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

T.P. Ordinance No. 22-46

AN ORDINANCE AMENDING AND ENACTING CHAPTER 36 –
PLANNING AND DEVELOPMENT, ARTICLE V – STANDARDS FOR
DEVELOPMENT OF PROPERTY, SECTION 36-118 – OTHER
IMPROVEMENT STANDARDS FOR COMMERCIAL PROPERTY
DEVELOPMENTS

BE IT ORDAINED by the Tangipahoa Parish Council-President Government,
State of Louisiana, acting as the Governing Authority thereof revises and amends the
Tangipahoa Parish Code of Ordinance as follows:

Chapter 36 PLANNING AND DEVELOPMENT

ARTICLE V – STANDARDS FOR DEVELOPMENT OF PROPERTY

Sec. 36-118. Other Improvement Standards for Commercial Property Developments.

(d) Commercial and Industrial subdivision/parks: All proposed commercial and Industrial
Subdivisions/Parks shall meet all current development regulations including drainage
requirements.

Additionally, the final plat shall state all individual lots shall meet all current development
regulations at the time they are developed. This shall include but is not limited to Planning
Commission approval and drainage requirements.

BE IT FURTHER ORDAINED that this ordinance shall become effective
immediately upon signature of the Parish President and all previous ordinances in conflict
with said ordinance are hereby repealed.

This ordinance having been submitted in writing, having been introduced at a
public meeting of the Tangipahoa Parish Council, discussed at a public hearing of said
council and was submitted to an official vote of the Tangipahoa Parish Council.

On motion by__and seconded by __, the foregoing ordinance was hereby declared adopted
on this 22nd day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge
Clerk of Council
Tangipahoa Parish Council

Brigette Hyde
Chairwoman
Tangipahoa Parish Council

INTRODUCED: August 8, 2022

PUBLISHED: August 18, 2022 OFFICIAL JOURNAL Hammond Daily Star

ADOPTED BY TPC: August 22, 2022

DELIVERED TO PRESIDENT: _____ day of August, 2022 at _____

APPROVED BY PRESIDENT: _____

Robby Miller Date

VETOED BY PRESIDENT: _____

Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

T.P. Ordinance No. 22-47

AN ORDINANCE AMENDING AND ENACTING CHAPTER 36 –
PLANNING AND DEVELOPMENT, ARTICLE VI – ADDITIONAL
AGENCIES REQUIREMENTS, SECTION 36-143 – GENERAL
INFRASTRUCTURE REVIEWS AND APPROVALS, (7) SEWERAGE

BE IT ORDAINED by the Tangipahoa Parish Council-President Government, State of Louisiana, acting as the Governing Authority thereof revises and amends the Tangipahoa Parish Code of Ordinance as follows:

Chapter 36 PLANNING AND DEVELOPMENT

ARTICLE VI – ADDITIONAL AGENCIES’ REQUIREMENTS

Sec. 36-143. General infrastructure reviews and approvals.

- (7) *Sewerage.* The parish council-president government does hereby adopt for implementation and enforcement chapter XIII of the Louisiana Sanitary Code, as it may be amended, particularly but not limited to the provisions not requiring connections to community type sewer systems, as provided therein, with the following exceptions and more stringent requirements to wit:
- a. All new subdivisions **exceeding 10,000 gallons /day, all special use residential commercial exceeding 10,000 gallons/day** and commercial sewerage systems must meet the standards of the sewerage district in which the project is located, comply with the requirements of chapter 50, and give a letter of compliance to the parish planning commission before final acceptance of a new subdivision or commercial development.
 - b. Design and improvement standards:
 - 1. The installation of all sewer connections, subdivision sewer systems, sewage disposal systems and devices will be constructed under the supervision of and in compliance with the rules and regulations of the state department of health.
 - 2. If the subdivision is so located that it can reasonably be served by the extension of an existing public sanitary sewer, the subdivider will enter into an agreement with the utilities department of the respective city or parish for the extension of said sewer so that sanitary sewer service will be available for each lot within the subdivided area.
 - 3. Where no sewers are accessible, the subdivider shall, after securing a written permit from the state department of health, install septic tanks or other mechanical means of sewerage disposal for the entire subdivision provided that the means of sewerage disposal shall be installed in accordance with the state sanitary code.
 - 4. Small partitions with eight lots or less can use individual septic systems. These lots must be a minimum of 22,500 square feet total with a minimum 125 feet of road frontage.
 - 5. Developments with each lot containing one acre or more and a minimum of 125 feet of road frontage can have individual septic systems. The frontage requirement may be waived for lots fronting a cul-de-sac if the frontage is not less than 60 feet with the average depth of 250 feet.
 - 6. No utilities will be connected until sewage and waste disposal plans have been approved by the state department of health.

BE IT FURTHER ORDAINED that this ordinance shall become effective immediately upon signature of the Parish President and all previous ordinances in conflict with said ordinance are hereby repealed.

This ordinance having been submitted in writing, having been introduced at a public meeting of the Tangipahoa Parish Council, discussed at a public hearing of said council and was submitted to an official vote of the Tangipahoa Parish Council shall take effect immediately upon the signature of the Tangipahoa Parish President.

On motion by__ and seconded by __, the foregoing ordinance was hereby declared adopted on this 22nd day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge
Clerk of Council
Tangipahoa Parish Council

Brigette Hyde
Chairwoman
Tangipahoa Parish Council

INTRODUCED: August 8, 2022

PUBLISHED: August 18, 2022 OFFICIAL JOURNAL Hammond Daily Star

ADOPTED BY TPC: August 22, 2022

DELIVERED TO PRESIDENT: _____ day of August, 2022 at _____

APPROVED BY PRESIDENT: _____
Robby Miller Date

VETOED BY PRESIDENT: _____
Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

T.P. Ordinance No. 22-48

AN ORDINANCE AMENDING AND ENACTING CHAPTER 42 – STREETS, ROADS, SIDEWALKS AND DRAINAGE, ARTICLE I – IN GENERAL, SECTION 42-21 – ROAD SPECIFICATIONS, (B) SUB-BASE AND (C) BASE

BE IT ORDAINED by the Tangipahoa Parish Council-President Government, State of Louisiana, acting as the Governing Authority thereof revises and amends the Tangipahoa Parish Code of Ordinance as follows:

Chapter 42 STREETS, ROADS, SIDEWALKS AND DRAINAGE

ARTICLE I – IN GENERAL

Sec. 42-21. Road Specifications.

(a) **Prior to construction.**

- (1) Lab tests shall be made of the indigenous soil to a depth of 18 inches below the bottom of the topsoil layer by a testing agent qualified to do such tests and approved by DPW.
- (2) The test shall be required at a frequency of one per 500 feet with a minimum of two per subdivision as required by LADOTD core samples.
- (3) Core samples shall be taken at each phase; sub-base, base and wearing course.
- ~~(4) Raw base must be proof rolled before stabilization to identify inadequate areas.~~
- ~~(5)~~ (4) DPW inspector shall be present for all sampling and testing.
- ~~(6)~~ (5) A copy of the test results shall be provided and accepted by DPW prior to construction of infrastructure.
- ~~(7)~~ (6) The necessary treatment of the sub-base and base shall be determined by the design engineer accordingly.

(b) **Sub-base.**

- (1) Minimum width shall be six inches wider than the base on each side.
- (2) Minimum of 12 inches sub-base with a P.I. of ~~less than 15~~ **or less percent** and compacted to 95 percent standard proctor must be confirmed by lab tests.
- (3) Lime treatment may be required.
- (4) Extra attention must be given to stump holes and other excavations beneath the sub-base as directed by the DPW.
- (5) No organic matter or sheared stumps may be left in place.

(c) **Base.**

- (1) Minimum width shall be six inches wider than the wearing course on each side.
- (2) ~~Ten inches minimum base of soil cement is required; for all asphalt roads or a minimum of 8 inch class II base course (stone only) may be used as an alternate for Portland cement concrete roads.~~ **Twelve inches of Stone Class II Base course or a minimum of ten inches of soil cement base as per Louisiana DOTD Standard Specifications for Roads and Bridges.**
- (3) ~~Percentage of cement must be determined by an approved testing lab.~~ **All material sampling and testing shall be done by an approved testing lab.**
- (4) ~~Subsequent to soil treatment, base shall be proof rolled to DOTD standards.~~ **For Stone Class II base course, sub-base shall by proof rolled to DOTD standards.**
- (5) ~~Base must conform to LADOTD standard specifications for roads and bridges.~~ **For Soil Cement base course, base shall be proof rolled before and after soil cement treatment.**
- (6) If lab test results attests, parish engineer may require higher standards.
- (7) There shall be a minimum of ten inches base between the bottom of the hard surface and the top of any cross-drain culvert. In the event ten-inch depth cannot be achieved, a saddle shall be installed over the cross-drain culvert to minimize settling. The structure shall be built with a minimum depth of eight inches of asphalt or six inches of concrete; the length shall be equivalent to the length of the base; the width shall be the diameter size of the pipe times two. (See Appendix C)

(d) **Wearing course (riding surface).**

- (1) Minimum 20-foot width.
- (2) Minimum three-inch Asphaltic concrete or a minimum of six-inch Portland Cement Concrete (minimum 4000 psi).
- (3) Surface must conform to LADOTD standard specifications for roads and bridges.

(e) **Dead-ends, cul-de-sac, mini cul-de-sac (kneecap) T-turns.**

- (1) All dead-end streets 500 feet or greater in length shall require a cul-de-sac or T-turn. Deadend streets less than 500 feet will require safety devices installed at the end of the dead-end. Devices must meet DOTD standard specifications and be approved by DPW. The type of device for each location will be decided upon on a case-by-case basis.
- (2) Cul-de-sac and mini cull-de sac shall be designed with the same standards as above and must have a diameter of 100 feet riding surface and 120 feet right-of-way. (See Appendix C)
- (3) T-turnarounds shall be designed according to diagrams herein (See Appendix C)

(f) **Other.**

- (1) ~~Side dressing shall be sloped Five (5) percent, Three (3) feet past surface. The topsoil shall be hydroseeded and fertilized per LADOTD standards. If sod is used, a 2" cut section in the topsoil shall be made prior to sod placement to prevent water collection on the roadway.~~
Hydroseeded shoulder embankment shall be placed and dressed to 5% slope, 3 feet past surface, and compacted as per the Louisiana DOTD Standard Specifications for Roads and Bridges. If sod is placed, a 2" cut section shall be made for sod placement to prevent water ponding on the roadway.
- (2) Ditches shall be sloped 3:1 or flatter.
- (3) Longitudinal road grades shall conform in general to the terrain and shall be designed to ensure proper drainage.
- (4) Gravel roads will not be allowed in any parish approved subdivision or any newly constructed roads to be considered for parish maintenance.
- (5) Street jogs with centerline offsets of less than 125 feet are not allowed (See Appendix C)
- (6) A tangent at least 100 feet long shall be used between reverse curves (See Appendix C)
- (7) Streets will be laid out to intersect at right angles (See Appendix C)
- (8) Driveways and access points at intersections will be rounded with a radius of 30 feet or greater (See Appendix C)
- (9) Streets that have a left or right turn with a central angle of 80-100 degrees may incorporate a semi cul-de-sac (Appendix C)
- (10) Street names shall be approved by the 911 office.

BE IT FURTHER ORDAINED that this ordinance shall become effective immediately upon signature of the Parish President and all previous ordinances in conflict with said ordinance are hereby repealed.

This ordinance having been submitted in writing, having been introduced at a public meeting of the Tangipahoa Parish Council, discussed at a public hearing of said council and was submitted to an official vote of the Tangipahoa Parish Council shall take effect immediately upon the signature of the Tangipahoa Parish President.

On motion by__and seconded by __, the foregoing ordinance was hereby declared adopted on this 22nd day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge
Clerk of Council
Tangipahoa Parish Council

Brigette Hyde
Chairwoman
Tangipahoa Parish Council

INTRODUCED: August 8, 2022

PUBLISHED: August 18, 2022 OFFICIAL JOURNAL Hammond Daily Star

ADOPTED BY TPC: August 22, 2022

DELIVERED TO PRESIDENT: _____ day of August, 2022 at _____

APPROVED BY PRESIDENT: _____
Robby Miller Date

VETOED BY PRESIDENT: _____
Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

T.P. Ordinance No. 22-49

AN ORDINANCE AMENDING AND ENACTING APPENDIX C,
FIGURES 2 THROUGH 5

BE IT ORDAINED by the Tangipahoa Parish Council-President Government, State of Louisiana, acting as the Governing Authority thereof revises and amends the Tangipahoa Parish Code of Ordinance, Appendix C, Figures 2 through 5 as attached:

BE IT FURTHER ORDAINED that this ordinance shall become effective immediately upon signature of the Parish President and all previous ordinances in conflict with said ordinance are hereby repealed.

This ordinance having been submitted in writing, having been introduced at a public meeting of the Tangipahoa Parish Council, discussed at a public hearing of said council and was submitted to an official vote of the Tangipahoa Parish Council shall take effect immediately upon the signature of the Tangipahoa Parish President.

On motion by__and seconded by __, the foregoing ordinance was hereby declared adopted on this 22nd day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge
Clerk of Council
Tangipahoa Parish Council

Brigette Hyde
Chairwoman
Tangipahoa Parish Council

INTRODUCED: August 8, 2022

PUBLISHED: August 18, 2022 OFFICIAL JOURNAL Hammond Daily Star

ADOPTED BY TPC: August 22, 2022

DELIVERED TO PRESIDENT: _____ day of August, 2022 at _____

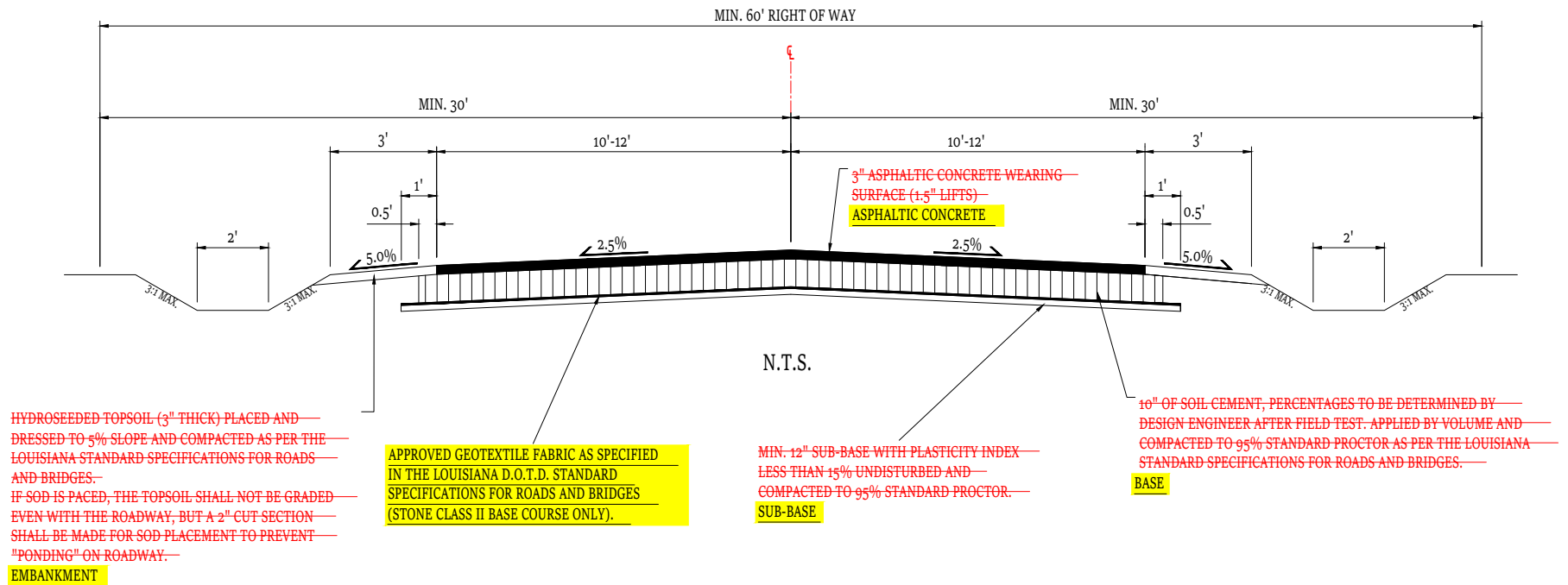
APPROVED BY PRESIDENT: _____
Robby Miller Date

VETOED BY PRESIDENT: _____
Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

APPENDIX C - FIGURE 2

TYPICAL ROADWAY SECTION (ASPHALT)

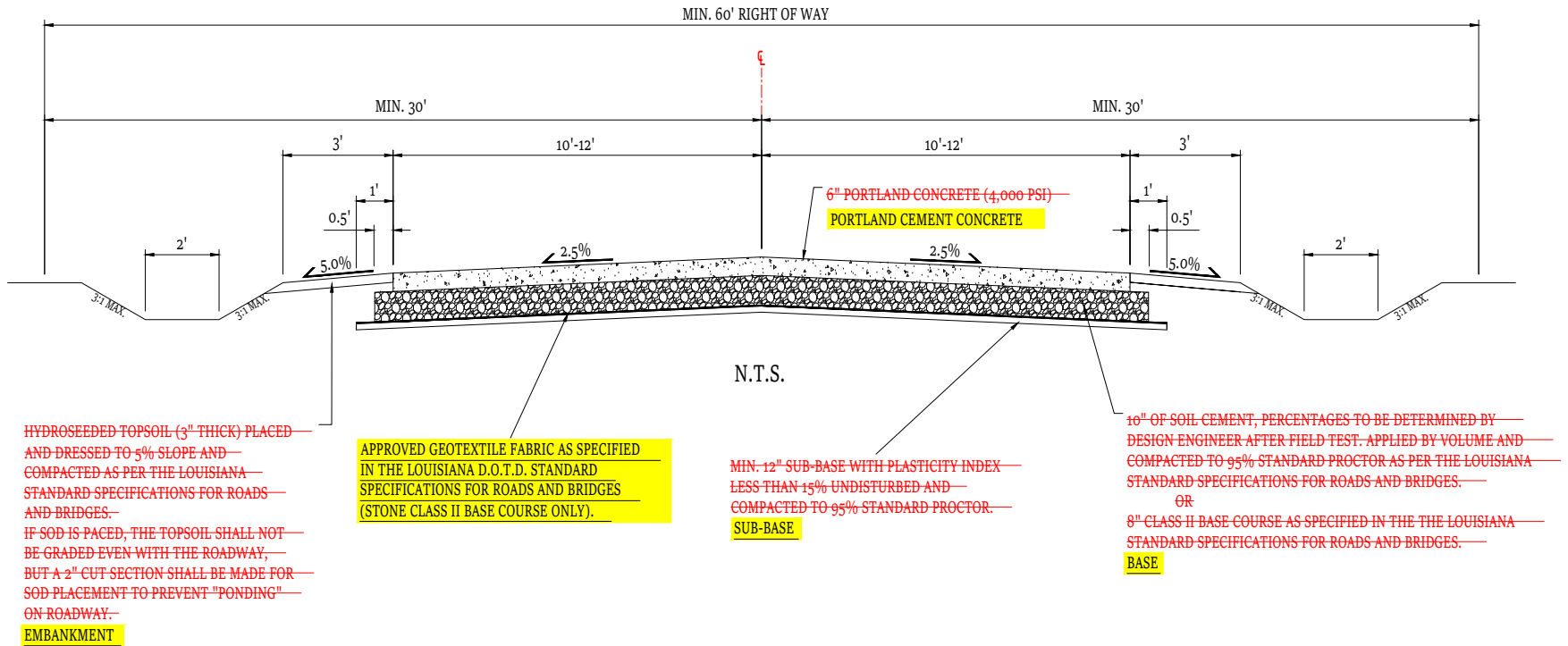


NOTES:-
PRIOR TO DEVELOPMENT, GEOTECHNICAL TESTS SHALL BE MADE OF THE INDIGENOUS SOIL TO A DEPTH OF 18 INCHES BELOW THE BOTTOM OF THE TOPSOIL LAYER AND THE NECESSARY TREATMENT OF THE SUB-BASE AND THE BASE SHALL BE DETERMINED BY THE DESIGN ENGINEER ACCORDINGLY. THESE TESTS SHALL BE MADE AT A FREQUENCY OF ONE FOR EVERY 500 FEET OF ROADWAY OR A MINIMUM OF TWO TESTS PER SUBDIVISION.

NOTES:
DETAILS ACCORDING TO TANGIPAOHA PARISH CODE OF ORDINANCE CHAPTER 42-21-SPECIFICATIONS

APPENDIX C - FIGURE 3

TYPICAL ROADWAY SECTION (CONCRETE)

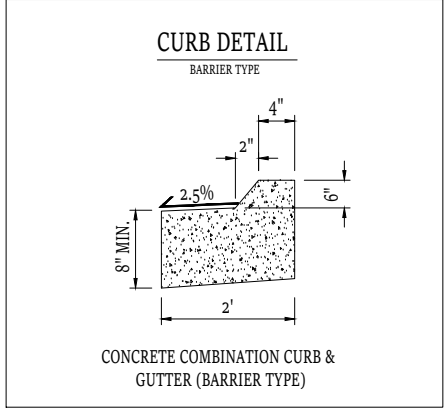
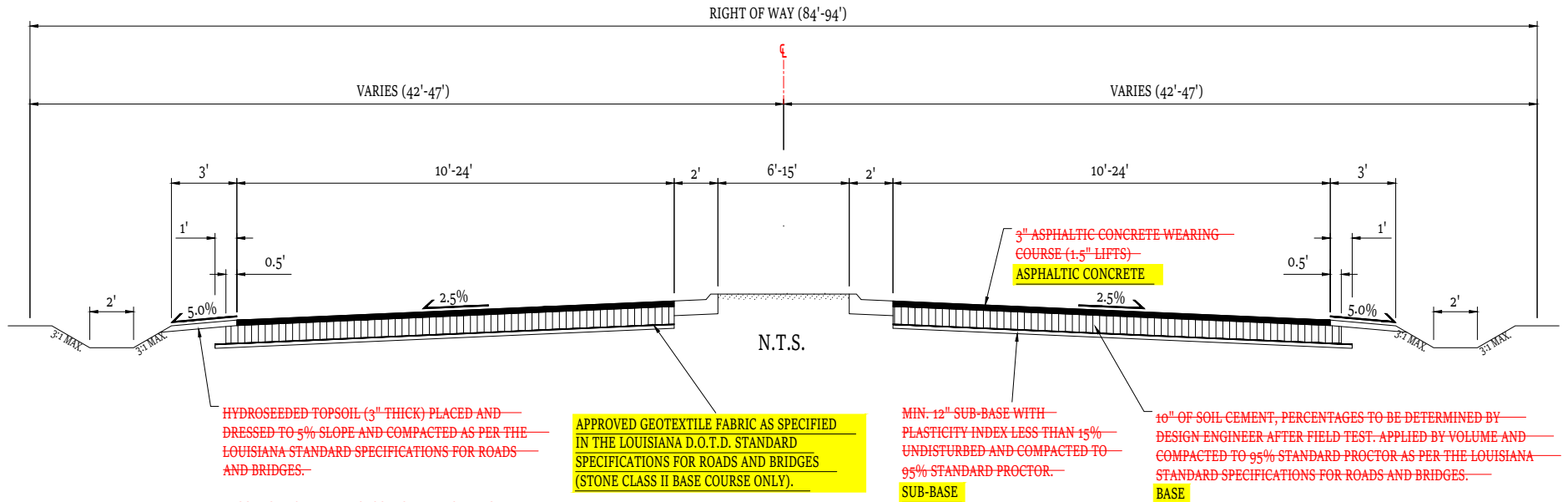


NOTES:-
PRIOR TO DEVELOPMENT, GEOTECHNICAL TESTS SHALL BE MADE OF THE INDIGENOUS SOIL TO A DEPTH OF 18 INCHES BELOW THE BOTTOM OF THE TOPSOIL LAYER AND THE NECESSARY TREATMENT OF THE SUB-BASE AND THE BASE SHALL BE DETERMINED BY THE DESIGN ENGINEER ACCORDINGLY. THESE TESTS SHALL BE MADE AT A FREQUENCY OF ONE FOR EVERY 500 FEET OF ROADWAY OR A MINIMUM OF TWO TESTS PER SUBDIVISION.

NOTES:
DETAILS ACCORDING TO TANGIPAOA PARISH CODE OF ORDINANCE CHAPTER 42-21-SPECIFICATIONS

APPENDIX C - FIGURE 4

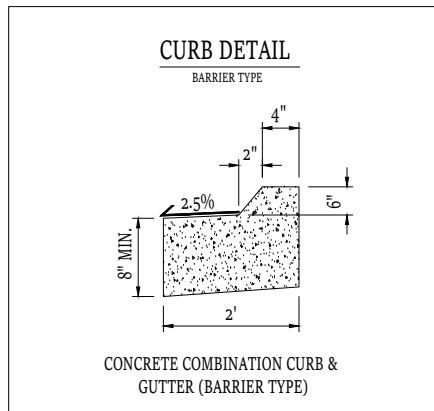
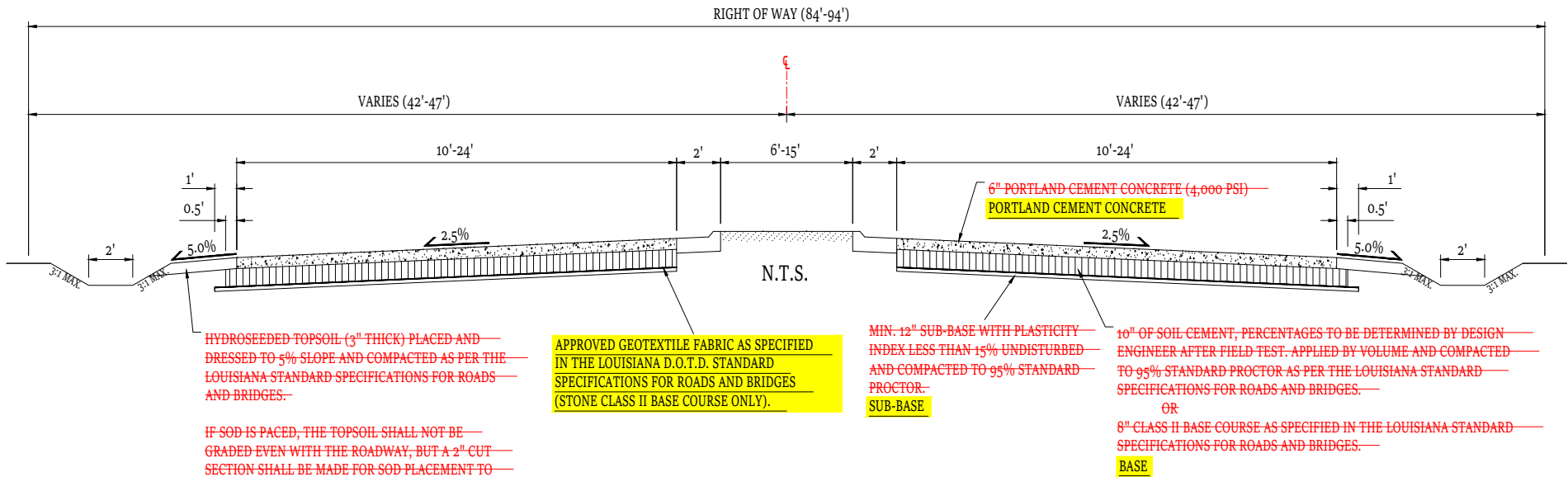
TYPICAL BOULEVARD SECTION (ASPHALT ROADWAY)



NOTES:
DETAILS ACCORDING TO TANGIPAROLA PARISH CODE OF ORDINANCE CHAPTER 42-21-SPECIFICATIONS

APPENDIX C - FIGURE 5

TYPICAL BOULEVARD SECTION (CONCRETE ROADWAY)



NOTES:
DETAILS ACCORDING TO TANGIPARHOA PARISH CODE OF ORDINANCE CHAPTER 42-21-SPECIFICATIONS

T.P. Ordinance No. 22-50

**AN ORDINANCE TO GRANT A VARIANCE TO SECTION 36-112 –
SPECIAL CLASSIFICATION PROPERTY DEVELOPMENT STANDARDS
FOR MARK AND ERIN SMITH, ASSESSMENT #3141101 IN DISTRICT 2**

WHEREAS, Mark and Erin Smith are requesting a variance to place a manufactured home at 26315 Crown Drive, Ponchatoula, LA, Assessment #3141101, a 5 acre parcel that occupies 1 habitable structure located in the center of the property; and

WHEREAS, the Smith’s request is to allow the spacing of the manufactured home placement to be 26 feet from the existing habitable structure; and

WHEREAS, Tangipahoa Parish Code of Ordinances Chapter 36 Planning and Development, Article V Standards for Development of Property, Section 36-112 Special classification property development standards (A) Mobile/Manufactured Homes Placement Standards for placement on a single lot, (4) Spacing of manufactured home All new manufactured homes being placed must be a minimum of 50 feet from another habitable structure; and

WHEREAS, on August 2, 2022, the Planning Commission voted to recommend approval of the variance request by Mark and Erin Smith to place a manufactured home at 26315 Crown Drive, Ponchatoula, LA, Assessment #3141101, 26 feet from the existing habitable structure which is within the minimum 50 feet requirement based on health, safety, and welfare of the resident; and

THEREFORE BE IT ORDAINED by the Tangipahoa Parish Council-President Government, governing authority of Tangipahoa Parish, State of Louisiana, that a variance to the section of the Tangipahoa Parish Code of Ordinances, Parish of Tangipahoa, State of Louisiana, be granted to Mark and Erin Smith to approve the placement of a manufactured home on Assessment #3141101, once all other requirements have been satisfied;

BE IT FURTHER ORDAINED that this ordinance shall become effective immediately upon signature of the Parish President and all previous ordinances in conflict with said ordinance are hereby repealed.

This ordinance having been submitted in writing, having been introduced at a public meeting of the Tangipahoa Parish Council, discussed at a public hearing of said council and was submitted to an official vote of the Tangipahoa Parish Council. On motion by__and seconded by __, the foregoing ordinance was hereby declared adopted on this 22nd day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge
Clerk of Council
Tangipahoa Parish Council

Brigitte Hyde
Chairwoman
Tangipahoa Parish Council

INTRODUCED: August 8, 2022

PUBLISHED: August 18, 2022 OFFICIAL JOURNAL Hammond Daily Star

ADOPTED BY TPC: August 22, 2022

DELIVERED TO PRESIDENT: _____ day of August, 2022 at _____

APPROVED BY PRESIDENT: _____
Robby Miller Date

VETOED BY PRESIDENT: _____
Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

T.P. Ordinance No. 22-51

**AN ORDINANCE AMENDING AND ENACTING CHAPTER 32-
NUISANCES TO ADD ARTICLE V-MINIMUM HOUSING STANDARDS**

BE IT ORDAINED by the Tangipahoa Parish Council-President Government, State of Louisiana, acting as the Governing Authority thereof revises and amends the Tangipahoa Parish Code of Ordinance as follows:

Chapter 32 NUISANCES

ARTICLE V. MINIMUM HOUSING STANDARDS

Sec. 32-147. Fitness for dwelling, dwelling units.

Every dwelling and dwelling unit intended for use as a human habitation, occupancy, or use, or held out for use as human habitation, shall comply with all the minimum standards of fitness for human habitation in accordance with the applicable Louisiana State Building Codes or Housing & Urban Development for Manufactured Housing for permanent residency. No person shall let to another for occupancy, or use as a place for human habitation, any dwelling or dwelling unit, which does not comply with all the minimum standards of fitness for human habitation and all the requirements of this division. Unoccupied structures shall not be deteriorated as to become a health or safety hazard.

Recreational vehicles (RVs) shall not be occupied for residential housing, except for in conjunction with the issuance of a single-family building permit. Said vehicle shall only be occupied by the owner of the proposed//under construction building for a time not to exceed 180 days. This time period may be extended an additional 180 days by the Building Official with just cause and substantial completion of single-family home.

Recreational vehicle is defined as: A vehicular-type unit primarily designed as temporary living quarters for recreational, camping or travel use, which either has its own motor power or is mounted on or towed by another vehicle. Also known as travel trailer, camping trailer, truck camper and/or motor home. Removal of axels, tongue, or perm affixing unit shall not redefine as non-recreational vehicle.

Sec. 32-148. Structural condition.

- (A) Walls or partitions or supporting members, sills, joists, rafters or other structural members shall not excessively lean or buckle and shall not be rotted, deteriorated or damaged, and shall not have holes or cracks which might admit rodents.
- (B) Floors and roofs shall have adequate supporting members and strength to be reasonably safe for the purpose used.
- (C) Foundations, foundation walls, piers or other foundation supports shall not be deteriorated or damaged so as to dangerously reduce their intended load-bearing characteristics.
- (D) Steps, stairs, landings, porches, or other parts of appurtenances shall be maintained in such condition that they will not fall or collapse.
- (E) Adequate egress in case of fire or panic shall be provided as per specifications of the Louisiana State Residential Building Code.
- (F) Interior walls and ceilings of all rooms, closets and hallways shall be finished with suitable materials, which will, by use of reasonable household methods, promote sanitation and cleanliness, and shall be maintained in such a manner as to enable the occupants to maintain reasonable privacy between various spaces.
- (G) The roof, flashings, exterior walls, basement walls, floors, and all doors and windows exposed to the weather shall be constructed and maintained so as to be weathertight, and rodent proof. Roof coverings shall be maintained in good condition. All new roofs must be installed in accordance with the Louisiana State Residential Building Code.
- (H) There shall be no chimneys or parts thereof which are in danger of falling or in such condition or location as to constitute a fire hazard.
- (I) There shall be no use of the ground for floors or wood floors on the ground.

Sec. 32-149. Basic equipment and facilities.

- (A) *Plumbing system.* The plumbing system of each dwelling or dwelling unit shall conform to the following:
 - (1) Each dwelling unit shall be connected to a potable water supply and to the public sewer or other approved sewage disposal systems.
 - (2) Each dwelling unit shall contain not less than a kitchen sink, lavatory, tub or shower, water closet and an adequate supply of both cold and hot water.
 - (3) All required plumbing fixtures shall be located within the dwelling unit and be accessible to the occupants of the dwelling unit. The water closet and tub or shower shall be located in a room affording privacy to the user.
- (B) *Electrical system.* The electrical system of each dwelling or dwelling unit shall conform to the following:
 - (1) Every dwelling and dwelling unit shall be wired for electric lights and convenience receptacles
 - (2) All fixtures, receptacles, equipment and wiring shall be maintained in a state of good repair, safe, capable of being used without hazard to property or persons.

Sec. 32-150. Safe and sanitary maintenance.

- (A) *Exterior foundation, walls and roofs.* Every foundation wall, exterior wall and exterior roof shall be substantially weather tight and rodent proof, shall be kept in sound condition and good repair, shall be capable of affording privacy, shall be safe to use and capable of supporting the load which normal use may cause to be placed thereon. Every exterior wall shall be protected with paint or other protective covering to prevent the entrance or penetration of moisture or the weather.
- (B) All doors leading to the exterior must have an apparatus for opening and closing the door on both sides, a locking mechanism and shall be kept in sound working condition and good repair.
- (C) *Supplied facilities.* Every supplied facility, piece of equipment or utility which is required under this article, shall be so constructed or installed that it will function safely and effectively and shall be maintained in satisfactory condition.

Sec. 32-151. Violations

- (A) *Unlawful Acts.* It shall be unlawful for a person to be in conflict with or in violation of any of the provisions of this code.
- (B) *Notice of violation.* The *code enforcement official* shall serve a notice of violation or order in accordance Section 32-152 of this code.
- (C) *Prosecution of violation.* Any person failing to comply with a notice of violation or order served in accordance with Section 32-152 shall be deemed guilty of a misdemeanor or civil infraction and the violation shall be deemed a *strict liability offense*. If the notice of violation is not complied with, the *code official* shall institute the appropriate proceeding at law or in equity to restrain, correct or abate such violation, or to require the removal or termination of the unlawful *occupancy* of the structure in violation of the provisions of this code or of the order or direction made pursuant thereto. Any action taken by the authority having jurisdiction on such *premises* shall be charged against the real estate upon which the structure is located and shall be a lien upon such real estate.
- (D) *Violation penalties.* Any person who shall violate a provision of this code, or fail to comply therewith, or with any of the requirements thereof, shall be prosecuted within the limits provided by state or local laws. Each day that a violation continues after due notice has been served shall be deemed a separate offense and shall be punished as provided in section 1-13.
- (E) *Abatement of violation.* The imposition of the penalties herein prescribed shall not preclude the legal officer of the jurisdiction from instituting appropriate action to restrain, correct or abate a violation, or to prevent illegal *occupancy* of a building, structure or *premises*, or to stop an illegal act, conduct, business or utilization of the building, structure or *premises*.

Sec. 32-152. NOTICES AND ORDERS

- (A) *Notice to person responsible.* Whenever the *code official* determines that there has been a violation of this code or has grounds to believe that a violation has occurred, notice shall be given to the person responsible for the violation as specified in this code.
- (B) *Form.* Such notice prescribed in Section 32-151 shall be in accordance with all of the following:
1. Be in writing.
 2. Include a description of the real estate sufficient for identification.
 3. Include a statement of the violation or violations and why the notice is being issued.
 4. Include a correction order allowing a reasonable time of 30 days to make the repairs and improvements required to bring the dwelling unit or structure into compliance with the provisions of this code.
 5. Include a statement of legal action.
 6. Inform the property owner of the right to appeal.
 7. If no resolution has been completed within the time indicated in notification, code officer will notify the district council representee to add to council agenda to proceed with legal action.
- (C) *Method of service.* Such notice shall be deemed to be properly served if a copy thereof is:
1. Delivered personally;
 2. Sent by certified or first-class mail addressed to the last known Address as shown by the most recent tax assessment; or
 3. If the notice is returned showing that the letter was not delivered, a copy thereof shall be posted in a conspicuous place in or about the structure affected by such notice.
- (D) *Council Action.* If no resolve has been accomplished through the code enforcement action, the Parish Council shall proceed with legal action. The Council shall vote to give legal counsel the authority to serve said offender and proceed with court proceedings.
- (E) *Unauthorized tampering.* Signs, tags or seals posted or affixed by the *code official* shall not be mutilated, destroyed or tampered with, or removed without authorization from the code official.
- (F) *Penalties.* Penalties for noncompliance with orders and notices shall be as set forth in Section 32-151.
- (G) *Transfer of ownership.* It shall be unlawful for the owner of any dwelling unit or structure who has received a compliance order or upon whom a notice of violation has been served to sell, transfer, mortgage, lease or otherwise dispose of such dwelling unit or structure to another until the provisions of the compliance order or notice of violation have been complied with, or until such owner shall first furnish the grantee, transferee, mortgagee or lessee a true copy of any compliance order or notice of violation issued by the code official and shall furnish to the code official a signed and notarized statement from the grantee, transferee, mortgagee or lessee, acknowledging the receipt of such compliance order or notice of violation and fully accepting the responsibility without condition for making the corrections or repairs required by such compliance order or notice of violation.
- (H) *Transfer of electrical utilities.* The issuance of an electrical utility permit shall not be issued until all deficiencies have been corrected in concurrence with the issued compliance order.

BE IT FURTHER ORDAINED that this ordinance shall become effective immediately upon signature of the Parish President and all previous ordinances in conflict with said ordinance are hereby repealed.

This ordinance having been submitted in writing, having been introduced at a public meeting of the Tangipahoa Parish Council, discussed at a public hearing of said council and was submitted to an official vote of the Tangipahoa Parish Council.

On motion by__ and seconded by __, the foregoing ordinance was hereby declared adopted on this 22nd day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge
Clerk of Council
Tangipahoa Parish Council

Brigette Hyde
Chairwoman
Tangipahoa Parish Council

INTRODUCED: August 8, 2022

PUBLISHED: August 18, 2022 OFFICIAL JOURNAL Hammond Daily Star

ADOPTED BY TPC: August 22, 2022

DELIVERED TO PRESIDENT: _____ day of August, 2022 at _____

APPROVED BY PRESIDENT: _____

Robby Miller Date

VETOED BY PRESIDENT: _____

Robby Miller Date

RECEIVED FROM PRESIDENT: _____ day of August, 2022 at _____

T. P. RESOLUTION NO. R22-17

**A RESOLUTION OF THE TANGIPAOA PARISH COUNCIL-PRESIDENT
GOVERNMENT FOR SUPPORT OF STATE CAPITAL OUTLAY FOR PHASE 2, N.
HOOVER RD.**

WHEREAS, the Parish of Tangipahoa would like to provide an improved and safe N. Hoover Rd project to the public and presently this public road is in need of improvements; and

WHEREAS, the Parish at this time does not have all the funding available to improve this busy roadway itself, but is able to provide local matching funds to the State’s Capital Outlay allocation made in 2022 through a Letter of Credit.

BE IT FURTHER RESOLVED that the Tangipahoa Parish Council hereby resolves that the Parish endorse the 2022 State Capital Outlay funding allocation, provide for approval of the Parish President Robby Miller as the authorized signatory for official FP&C documents, and provide the required local matching funds from existing Parish resources.

BE IT FURTHER RESOLVED that all resolutions or parts thereof in conflict herewith are hereby repealed.

On motion by __ and seconded by _, the foregoing resolution was hereby declared adopted on this the 8th day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge, Clerk of Council
Tangipahoa Parish Council

Brigette Hyde, Chairman
Tangipahoa Parish Council

Robby Miller, President
Tangipahoa Parish

T. P. RESOLUTION NO. R22-18

**A RESOLUTION OF THE TANGIPAOHA PARISH COUNCIL-PRESIDENT
GOVERNMENT FOR SUPPORT OF STATE CAPITAL OUTLAY FOR THE PUBLIC
WORKS-EMERGENCY DISTRIBUTION CENTER PROJECT**

WHEREAS, the Parish of Tangipahoa would like to provide a safe and well-located public works building and emergency supplies distribution site to serve the public in Tangipahoa Parish; and

WHEREAS, the Parish at this time does not have all of its own funding available to develop this site and build this building on land already owned by the Parish government. The Parish is able to provide local matching funds to the State's Capital Outlay allocation made in 2022 through a Letter of Credit and cash allocation.

BE IT FURTHER RESOLVED that the Tangipahoa Parish Council hereby resolves that the Parish endorse this project's 2022 State Capital Outlay funding allocation, provide for approval of the Parish President Robby Miller as the authorized signatory for official FP&C documents, and provide the required local matching funds from existing Parish resources.

BE IT FURTHER RESOLVED that all resolutions or parts thereof in conflict herewith are hereby repealed.

On motion by __ and seconded by __, the foregoing resolution was hereby declared adopted on this the 8th day of August, 2022 by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Jill DeSouge, Clerk of Council
Tangipahoa Parish Council

Brigette Hyde, Chairman
Tangipahoa Parish Council

Robby Miller, President
Tangipahoa Parish

T.P. RESOLUTION NO. R22-19

A RESOLUTION OF THE TANGIPAHOA PARISH COUNCIL-PRESIDENT
GOVERNMENT AUTHORIZING THE PARISH ATTORNEY MOVE FORWARD WITH
LEGAL ACTION CONCERNING AN UNAUTHORIZED BUSINESS OPERATING AT
42695 ROBINWOOD DRIVE IN HAMMOND, LA, DISTRICT 6

WHEREAS, a Sober Living Mens Recovery home is being advertised and operating at
42695 Robinwood Drive, Hammond, LA, in District 6; and

WHEREAS, legal counsel provided written notice to the owners of 42695 Robinwood
Drive, Hammond to cease operations; and

WHEREAS, the business advertised at 42695 Robinwood Drive, Hammond, LA has not
met the requirements set forth by the Parish and is unauthorized to operate; then

NOW, THEREFORE, BE IT RESOLVED, that the Parish Council of the Tangipahoa
Parish Government hereby authorizes the Parish Attorney to move forward with legal action
concerning the unauthorized business operating at 42695 Robinwood Drive, Hammond, LA in
District 6

On motion by __ and seconded by __, the foregoing resolution is approved and adopted this 8th
day of August by the following roll-call vote:

YEAS:

NAYS:

ABSENT:

NOT VOTING:

ATTEST:

Brigette Hyde, Chairwoman
Tangipahoa Parish Council

Jill DeSouge, Council Clerk
Tangipahoa Parish Council

Robby Miller, President
Tangipahoa Parish