

**AGENDA
PLANNING COMMISSION**

Thursday, August 19, 2021

7:00 PM

**City Hall Council Chambers
232 W. Sierra Madre Boulevard
Sierra Madre, California 91024**



Pursuant to the July 16, 2021 Los Angeles County Public Health Officer's order, everyone must wear a mask covering their mouth and nose at all times while indoors

ROLL CALL

Chair Pevsner, Vice-chair Denison, Commissioners Dallas, Hutt, Spears

APPROVAL OF AGENDA

Majority vote of the Commission to proceed with Commission business

APPROVAL OF MINUTES

August 5, 2021 Planning Commission meeting minutes

COUNCIL LIAISON REPORT

Report from City Council Liaison to the Planning Commission

COMMUNITY INPUT

At this time, any person may address the Planning Commission concerning an item that is not on the agenda. The Commission welcomes your attendance and participation. When addressing the Commission, please begin by providing your name and address for the record. Please keep comments to no more than three minutes to assure an orderly and timely meeting.

Copies of the Agenda are available for your convenience on the City's website. State legislation (Govt. Code Section 54954.2) limits the Commission's ability to take action on specific requests. Govt. Code Section 54954.2 limits the placement of items on the Agenda for action 72 hours prior to meetings, except for specific findings.

No action or discussion may be undertaken by the Planning Commission on any item if not posted on the agenda, except that Commissioners or staff may briefly respond to statements made or questions posed by the public, or a Commissioner or staff liaison may ask a question for clarification, or make a brief report on his or her own activities. A Commissioner or the Commission itself may provide a reference to staff to report back to the Commission at a subsequent meeting concerning any matter or may direct staff to place a matter of business on a future agenda.

PUBLIC HEARING

Disclosure of Site Visits and Ex-parte Contacts

Disclosure by Commissioners of site visits and Ex-parte Contacts

1. DESIGN REVIEW PERMIT 21-01 (DRP 21-01)

Address: 557 Acacia Street

Applicant: Mark Elby

The Planning Commission will conduct a public hearing to consider a request for Design Review Permit 21-01 to allow construction of additions totaling 1,255 square feet involving exterior and interior renovations to the first and second story of the single-family residence. Gross floor area totals 4,348 square feet.

Pursuant to SMMC Section 17.20.027.B, approval of a design review permit is required to allow construction of a second story either by addition or new construction. Pursuant to SMMC Section 17.20.027.C.3, approval of a design review permit is required to allow construction, either by addition or new construction, where the gross floor area exceeds 3,500 square feet on lots that are greater than 11,000 square feet and less than 30,000 square feet.

2. MODIFICATION TO DESIGN REVIEW PERMIT 19-08 (DRP 19-08) AND DISCRETIONARY DEMOLITION PERMIT 19-05 (DDP 19-05)

Address: 287 E. Montecito Avenue

Applicant: Connie and Derek Kan

The Planning Commission will conduct a public hearing to consider a request for the Modification to Design Review Permit 19-08 and Discretionary Demolition Permit 19-05 to allow construction of a first and second floor additions to an existing single family home that is eligible for listing as a local and/or state historic landmark.

Pursuant to Sierra Madre Municipal Code Section 17.60.041(C), a design review permit shall be noticed, processed and may be appealed in compliance with the requirements established for a conditional use permit. Pursuant to Sierra Madre Municipal Code Section 17.60.180, any condition imposed upon the granting of a zone variance or conditional use permit, including a zoning approval granted prior to the adoption of these regulations, may be modified or eliminated, or new conditions may be modified or eliminated, or new conditions may be added; provided, that the body which granted the zone variance or conditional use permit which is the subject of the modification proceeding shall first conduct a public hearing thereon, noticed in the same manner as was required for its initial granting. No such modification shall be granted unless the granting body finds that such modification is necessary to protect the public peace, health and safety, or that such action is necessary to permit reasonable operation under the zone variance or conditional use permit, as granted. If the modification hearing is conducted by the commission, its decision shall be subject to review on appeal in the time and manner set forth in Chapter 17.66 of this title.

PLANNING COMMISSION REPORTS

Reporting of Planning Commissioner's activities related to City business.

PLANNING & COMMUNITY PRESERVATION DEPARTMENT REPORTS

Forecast and status of projects for upcoming meetings.

GENERAL INFORMATION

To receive updates regarding The Meadows at Bailey Canyon proposed residential development please visit the following webpage: www.cityofsierramadre.com/meadows

To receive information regarding projects under staff review, please visit the following webpage: www.cityofsierramadre.com/projects

ADJOURNMENT

The Planning Commission will adjourn to a meeting to take place on **September 2, 2021**.

INFORMATION TO THE PUBLIC

The Planning Commission will consider the last item at 10:30 p.m. and they will adjourn the meeting by 11:00 p.m. The Planning Commission will continue all unfinished business to an adjourned meeting on the following Thursday at 7:00 p.m. or to a different time and date certain.

Copies of the Agenda are available for your convenience at the rear of the Council Chambers. State legislation (Govt. Code Section 54954.2) limits the Planning Commission's ability to take action on specific requests. Govt. Code Section 54954.2 limits the placement of items on the Agenda for action 72 hours prior to meetings, except for specific findings.

No action or discussion may be undertaken by the Planning Commission on any item if not posted on the agenda, except that Commissioners or staff may briefly respond to statements made or questions posed by the public, a Council member or its staff may ask a question for clarification, make a brief announcement, or make a brief report on his or her own activities. A Commissioner or the Planning Commission itself may provide a reference to staff to report back to the Planning Commission at a subsequent meeting concerning any matter or may direct staff to place a matter of business on a future agenda.

REQUIRED FINDINGS

Conditional Use Permit and Variance considerations are "quasi-judicial" decisions made by the Planning Commission. As such, these decisions may be challenged in court. Accordingly, courts require an adequate "record" to exercise judicial review. This means that the documentation supporting the approval or denial of a project must include an explanation of how the Planning Commission processed the raw information and evidence considered in reaching its decision. The California Supreme Court has laid down distinct, definitive principles of law detailing the need for findings when a public agency approves or denies a project while acting in a "quasi-judicial" roll. This decision is based upon the case, *Topanga Assoc. For a Scenic Community V. County of Los Angeles* ("Topanga"). The "Topanga" court outlined the following 5 purposes for making findings:

- Provide a framework for making principled decisions, enhancing the integrity of the administrative process;
- Facilitate orderly analysis and reduce the likelihood the agency will randomly leap from evidence to conclusions;
- Serve a public relations function by helping to persuade the parties that the administrative decision making is careful, reasoned, and equitable;
- Enable the parties to determine whether and on what basis they should seek judicial review and remedies; and,
- Apprise the reviewing court of the basis for the agency's decision.

For more information on the necessary "Findings" that the Planning Commission must make, please contact the Development Services Department at (626) 355-7138.

(Source: Curtin's California Land Use & Planning Law, Daniel)

If you require special assistance to participate in this meeting, please call the City Manager's Office at 626-355-7135 at least 48 hours prior to the meeting.

File Attachments for Item:

1. Approval of August 5, 2021 Planning Commission Minutes

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**CITY OF SIERRA MADRE
PLANNING COMMISSION MINUTES**

Regular Meeting of
Thursday, August 5, 2021 at 7:00 p.m.
City Council Chambers, 232 W. Sierra Madre Blvd.

CALL TO ORDER

Chair Pevsner called the meeting to order at 7:05 pm

Present: Chair Pevsner, Vice Chair Denison, Commissioners Dallas, Hutt and Spears

Staff: Vincent Gonzalez, Director of Planning and Community Preservation
Jennifer Peterson, Administrative Analyst
Clare Lin, Senior Planner
Joshua Wolf, Associate Planner
Esteban Rubiano, Planning Technician
Aleks R. Giragosian, Assistant City Attorney

APPROVAL OF AGENDA

Commissioner Hutt requested clarification on the presentation items and the format for the meeting.

Commissioner Denison moved to approve the agenda. Commissioner Hutt seconded. Motion carried unanimously.

REPORT OUT FROM CLOSED SESSION

City Attorney Giragosian delivered the report out from Closed Session, stating that no action was taken.

APPROVAL OF MINUTES JULY 15, 2021

Commissioner Denison moved to approve the minutes. Commissioner Dallas seconded. Motion carried 4.0.1 (Hutt abstain).

COUNCIL LIAISON REPORT

Council Member Parkhurst reported that the City Council held a discussion on ADU Ordinance and provided staff with direction at the July 13th Council meeting and offered to provide the Commission with any necessary clarification during the discussion this evening.

AUDIENCE COMMENTS

None.

46
47 **PRESENTATION**
48

49 **1. Housing Element Update**

50 Director Gonzalez delivered the presentation.

51 Commissioner Denison clarified that the EIR is only regarding the Housing
52 Element. Director Gonzalez confirmed.
53

54 Commissioner Hutt inquired if the EIR had incorporated the comments from the
55 Department of Housing and Community Development. Director Gonzalez stated
56 that he has had a few meetings with the Department of Housing and Community
57 Development requesting elaboration or clarification specific to the Draft Housing
58 Element. Commissioner Hutt inquired if the draft Housing element will
59 incorporate the Department of Housing and Community Development
60 comments, and requested that staff include a redline version so that the Planning
61 Commission can compare.
62

63 **Public Comment**

64
65 Tricia Searcy

66 Ms. Searcy voiced concern that the Meadows project had been included in the
67 report as a potential project. She also was also concerned that the Monastery
68 was not included in the Congregational Overlay Zone.
69

70 Alexander Arrieta

71 Mr. Arrieta echoed Ms. Searcy's comments. He also voiced concerns about the
72 lack of transparency and the opportunity for public comment.
73

74 David Beach

75 Mr. Beach stated he had similar comments, and voiced concerns with the impact
76 on commercial businesses and church parking.
77

78 Commissioner Hutt confirmed that no commercial properties are included as
79 opportunity sites in the Draft Housing Element Update.
80

81 **2. The Meadows at Bailey Canyon Project Update**

82 City Attorney Giragosian delivered the presentation.
83

84 Vice Chair Denison clarified the Planning Commission's role in the consideration
85 of the potential zone change, which City Attorney Giragosian provided.

86 Vice Chair Denison inquired if the Final EIR would be recirculated for further
87 comments. Assistant City Attorney Giragosian stated that the Final EIR would
88 be reviewed by the Planning Commission and certified by the City Council.

89 Vice Chair Denison inquired about the process for drafting the Specific Plan,
90 which Director Gonzalez stated that the draft Specific Plan was prepared by the

91 consultant to the developer and reviewed and commented by staff and the City's
92 consultant conducting third-party review of the document.

93
94 Commissioner Hutt clarified the role of the MOU, stating that it is not the
95 application, nor does it take the place of the application. City Attorney Giragosian
96 added that it is strictly an agreement between the City and the Developer to know
97 what was expected of the other.

98
99 Commissioner Hutt inquired if the Planning Commission will review all homes at
100 the same time as part of the Design Review Permit. Director Gonzalez stated
101 that the Commission will review the collective plans and elevations as a single
102 submittal.

103
104 Commissioner Spears stated that, with regard to the Housing Element map, the
105 state requires the City to designate possible sites, further clarifying that the City
106 cannot direct anyone how to use their land.

107
108 Commissioner Denison stated that, after an extended comment period for the
109 DEIR, the revisions will take time and may possibly be released after a lengthy
110 period.

111
112 Public Comment

113
114 Tricia Searcy
115 734 Fairview Avenue

116 Ms. Searcy pointed out that since a specific application has not yet been
117 submitted, there is nothing for the Commission to consider at this time. She
118 also voiced concerns about a lack of transparency.

119
120 Matt Bryant
121 635 Edgeview Drive

122 Mr. Bryant expressed concerns about water, impact on traffic, the loss of open
123 space and the density of the project.

124
125 David Beach

126 Mr. Beach spoke about the need for affordable housing, and voiced concerns
127 about the drought and the impact of the increased demand of forty-two new
128 homes.

129
130 Mathew Loscalzo

131 Mr. Loscalzo spoke in opposition of the project.

132
133 Barbara Vellturo

Ms. Vellturo passed out written comments to the Planning Commission and spoke about the agreement between MIG and the developer, voicing concerns that the payment for the peer review had been made by the City. She also stated that currently, the property is a single parcel, which cannot be rezoned.

Alexander Arrieta

Mr. Arrieta voiced concerns about the process and transparency.

Nancy Beckham

Lima Avenue

Ms. Beckham voiced concerns about transparency and traffic.

Suzi Neuhausen

Grove Street

Ms. Neuhasen spoke of concerns of the construction impact, such as noise, dirt and on the wildlife. She also spoke of density concerns with the Specific Plan, and concerns about the additions of accessory dwelling units in the future.

City Attorney Giragosian addressed some of the questions raised during Public Comment; and stated that the Specific plan questions must be addressed by the developer and consultant.

Director Gonzalez addressed the comment regarding the potential for accessory dwelling units.

Chair Pevsner called for a five minute recess at 8:43pm.

DISCUSSION

1. Consideration of amendment of Title 17, Chapter 17.22 (Second Units) of the Sierra Madre Municipal Code to comply with state requirements for accessory dwelling units.

Associate Planner Wolf delivered the PowerPoint presentation.

Commissioner Hutt requested that Council Member Parkhurst clarify the objective of the discussion.

Council Member Parkhurst requested Director Gonzalez and Associate Planner Wolf provide the history prior to Council review.

Director Gonzalez provided the timeline and explained the impetus for Council direction.

Commissioner Hutt spoke about public facilities fee incentives where he suggested using those fees as subsidy funds to pay local architects to draft spec plans which would be preapproved.

Commissioner Spears noted that the Planning Commission does not make a practice of getting involved in City fiscal matters.

Commissioner Hutt suggested that public facility fees be charged per square foot. Commissioner Dallas suggested that the preapproved plans could be available for purchase.

Associate Planner Wolf clarified that the incentive/covenant was intended for lower rents.

Commissioner Hutt noted that accessory dwelling units had been around for a long time in town in a wide range and eclectic mix that were affordable. He expressed concerns that with deed restrictions that people won't build them.

Director Gonzalez speculated that the Department of Housing and Community Development will allow all ADU's to count towards low income RHNA numbers.

Commissioner Spears reminded the Commission that this community is not set-up to support lower income households, as there is minimal access to public transportation and support services.

Vice Chair Denison suggested devising a definition of "Short term rental".

Commissioner Spears requested City Council to provide direction on short term rentals.

The Commission discussed parking requirements for ADUs and came to consensus that:

- No parking requirements shall be required except for the Canyon Zone due to the location as a high fire hazard severity zone and substandard streets
- 16 feet maximum height
- City Attorney Giragosian will research the impact of Historic Preservation on accessory dwelling units and return with information

ORAL COMMUNICATION

Planning Commission

None.

Staff

Director Gonzalez stated two design review projects will be considered by the Planning Commission at the August 19th meeting.

Vice Chair Pevsner adjourned the meeting at 10:37 pm to August 19, 2021.

223 _____
224 Secretary to the Planning Commission
225 Vincent Gonzalez, Director of Planning & Community Preservation

File Attachments for Item:

1. It is recommended that the Planning Commission approve Design Review Permit 21-01 pursuant to Planning Commission Resolution 21-11, subject to the findings in the staff report as there is evidence to support the findings to construct additions involving exterior and interior renovations to the first and second story of the single-family residence located at 557 Acacia Street.



Planning Commission Staff Report

*William Pevsner, Chair
Thomas Denison, Vice-Chair
Peggy Dallas, Commissioner
John Hutt, Commissioner
Bob Spears, Commissioner*

*Vincent Gonzalez, Director
Planning & Community Preservation*

TO: Planning Commission

FROM: Joshua Wolf, Associate Planner

REVIEWED BY: Vincent Gonzalez, Planning and Community Preservation Director

DATE: August 19, 2021

SUBJECT: DESIGN REVIEW PERMIT 21-01 (DRP 21-01), TO ALLOW THE FULL EXTERIOR RENOVATION OF AND ADDITION RESULTING IN THE GROSS FLOOR AREA OF 4,348 SQUARE FEET TO A SINGLE-FAMILY RESIDENCE LOCATED AT 557 ACACIA STREET.

RECOMMENDATION

Staff recommends that the Planning Commission approve Design Review Permit 21-01 pursuant to Planning Commission Resolution 21-11, subject to the findings in the staff report as there is evidence to support the findings to construct additions involving exterior and interior renovations to the first and second story of the single-family residence located at 557 Acacia Street.

ALTERNATIVES

The Planning Commission may:

1. Approve the request for Design Review Permit 21-01 pursuant to Planning Commission Resolution 21-11, subject to the conditions of approval;
2. Approve with modifications the request for Design Review Permit 21-01 pursuant to Planning Commission Resolution 21-11;
3. Deny the request for Design Review Permit 21-01 directing staff to prepare a Planning Commission Resolution citing the reasons and findings for denial; or
4. Continue the subject project and provide direction to staff and applicant.

SUMMARY

The applicants, Mark and Karen Elby, are requesting that the Planning Commission consider Design Review Permit 21-01 (DRP 21-01) to construct additions involving exterior and interior renovations to the first and second story of the single-family residence located at 557 Acacia Street.

Pursuant to SMMC Section 17.20.027.B, approval of a design review permit is required to allow construction of a second story either by addition or new construction. Pursuant to SMMC Section 17.20.027.C.3, approval of a design review permit is required to allow construction, either by addition or new construction, where the gross floor area exceeds 3,500 square feet on lots that are greater than 11,000 square feet and less than 30,000 square feet.

The Director of Planning & Community Preservation reviewed the application materials and elevated the authority of decision to the Planning Commission having considered the scope of work involving a significant aesthetic change both to the property and to the surrounding neighborhood.

Staff recommends that the Planning Commission approve Design Review Permit 21-01. Planning Commission Resolution 21-11 is attached for the Planning Commission's consideration.

ANALYSIS

The subject property is a 18,325-square-foot irregularly-shaped lot located in the R-1 Zone (Single-Family Residential) with a General Plan Land Use Designation of RL (Residential Low Density). All adjacent properties are also zoned R-1; within the neighborhood are properties zoned R-1 and H. The existing property has a two-story house of 3,093 square feet with an attached three-car garage. The house was built in 1968 and because it is not more than seventy-five years of age, the requirements for discretionary demolition do not apply. Because the lot is irregular in shape, an average lot width analysis was conducted resulting in 79 feet 6 inches.

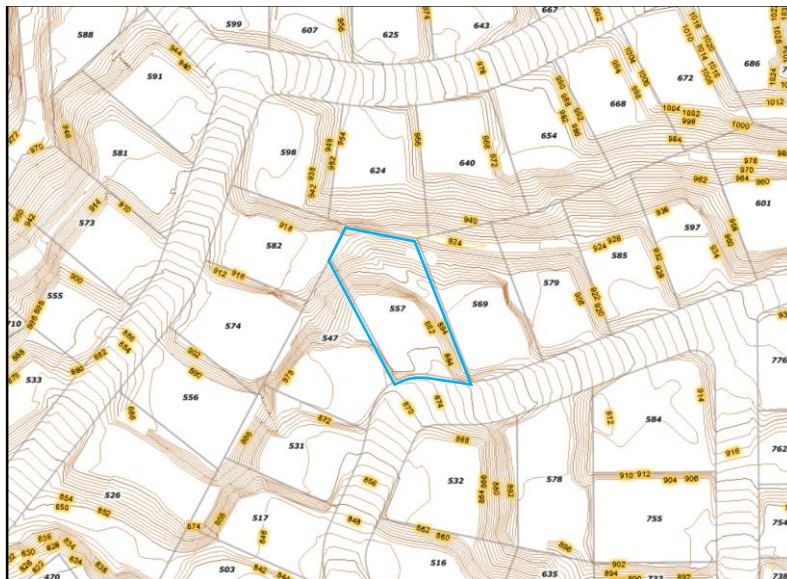
Aerial View of 557 Acacia St. (Property highlighted)



Proposed Project

The project proposes to completely renovate the existing house with additions to the first and second stories, interior remodeling and exterior remodeling. The exterior remodeling is a complete change in style from the existing to one that is inspired by Spanish and Mediterranean styles.

While the project proposes a significant change in appearance to the structure, the project preserves the existing footprint with minor expansions at the sides and front. The property is situated along a concave bend adjacent to Acacia Street observing a building pad graded approximately 47 feet below the grade at the rear of the property and approximately 7 feet above the average elevation of the fronting street. Neighboring properties north and/or east of the subject property, fronting Acacia Street and Camillo Road are at higher elevations while neighboring properties south and/or west of the subject property are at lower elevations. Aerial pictometry is included herein for reference as Attachment B.



To accommodate a Spanish-Mediterranean style, the proposed structure incorporates a tall-standing massing with articulation along the facades, steel-troweled “Santa Barbara” textured stucco with a hand-finished texture, wood clad casement windows with cast concrete sills and trim, wrought iron metalwork detailing vents, other openings and lighting features, stained heavy timber woodwork for eaves and trellises, and use of terra cotta clay tiled roof.

The entrance is relocated such that it will face the street, have a two story volume capped by a front-facing gable roof of terra cotta clay tile, have three arched openings, wall-mounted light fixtures, and three vents with metal grillwork above each arched opening and just below roof eave. This front porch entrance encroaches into the required front yard setback by 5 feet, which may be permitted according to SMMC 17.48.120(H).

Moving southward, the existing entrance will be enclosed up to the point of the wing wall extending from the southeast corner of the structure, to a point that is setback 25 feet from the front property line and 9 feet 5 inches from the side property line, reducing to 8 feet 1 inch as the enclosure extends toward the rear end of the structure. The front yard adjacent to this portion of the structure will be enclosed by a half-height decorative garden wall, connecting the front porch to a full-height side yard wall. Proposed above the front porch enclosure is a front-facing balcony enclosed with metal guard railing between stucco pilasters capped by wood runs and supporting a trellis structure covering the area of the balcony. The south portion of the front façade is recessed behind the front entrance porch with a gable wall face at the second story portion being recessed further. Under the tiled roof eave of the gable end, exposed stained wood beams are present above a single attic vent.

The northern portion of the façade presents the renovated three-car garage rearranged such that the single-car garage door is nearer to the front entrance and recessed slightly behind the two-car garage door. Each garage door utilizes stained wood and a horizontal band of dual glazed divided lite panels at the top. The addition at the second floor expands the volume toward the front, extending the side gable with a shed roof.

The north elevation of the proposed residence primarily presents with side-facing gables at single- and two-story heights, each including exposed stained wood beams and vents below each peak. The side of the shed roof covering the second floor bedrooms is present on this elevation, showing exposed stained wood beams. Windows with six divided lite glazing are present in a storage room at the first floor and in the master bedroom on the second floor. A square privacy window with metal grillwork is present on the second floor bathroom.

The south elevation of the proposed residence primarily presents with the shed sides of the front-to-rear spanning gable roofs as well as roof sheds over first-floor extrusions, all presenting exposed stained wood rafters. On this elevations, windows of two, four and six divided lite glazing is used throughout in addition to openings for vents for the fireplace and kitchen appliances. A window for the second floor bathroom is accentuated by an extrusion over decorative stained wood supports.

The rear elevation presents with a gable end adjoining a side gable showing exposed stained wood beams and rafters. The elevation features architectural projections of the stucco wall face capped by a chimney stack, characteristic of Spanish-Mediterranean style. Balconies of metal railing and landing are also used to engage the open space of the rear yard while adding visual interest to the wall plane. A decorative window is also incorporated for the master bedroom closet further lending to visual interest at the rear elevation.

A neighborhood analysis (Attachment C) has been conducted on the 33 residences that were notified within a 300-foot radius with Assessor's data that excludes non-habitable floor area. The analysis indicates that while the proposed development is above the average of the top one-third of buildings, the proposed 3,693 square feet of habitable

space is marginally more than the average top one-third of the neighboring homes. The proposed development ranks fifth in terms of habitable floor area. Moreover, in terms of the habitable floor area, the proposed project reaches a 20% floor-area-ratio, less than 3% above the average of the top one-third of the single-family homes in the neighborhood. The site plan, building elevations, sections, site photographs, and colored renderings are attached herein as Attachments B, D, E, and F.

Project Summary

Category	Existing	Proposed	Code Requirement / Allowed	Meets Code
Lot size	18,325 SF	No Change	Min. 7,500 SF	Yes
Building Coverage	2,242 SF (12.2%)	2,622 SF (14.3%)	40%	Yes
Building Height	24'-0"	25'-0"	25'-0"	Yes
Gross Floor Area	3,093 SF	4,348 SF	4,379 SF	Yes
Building Setbacks:				
<u>Front</u>	25'-0"	25'-0" Front porch encroaching 5 ft.	25'-0" Front porch encroaching 6 ft.	Yes
<u>Sides</u>			23'-10" (30%)	Yes
East	24'-10"	24'-10"	15'-11"	Yes
West	14'-1"	8'-1"	7'-11" (10%)	Yes
<u>Rear</u>	~104'	No Change	15 feet	Yes
Parking	3 spaces	3 spaces	3 spaces	Yes

Design Review Permit

Pursuant to SMMC Section 17.20.027(B) and 17.20.027(C)(3), approval of a design review permit is required to allow new construction or addition involving a second story and for construction or addition resulting in a gross floor area above 3,500 square feet.

Design Review Permit Findings:

Before a Design Review Permit is granted, the application shall show, to the reasonable satisfaction of the reviewing authority, the existence of the following facts:

- 1. The proposed project is consistent with the general plan, zoning code, and any applicable design standards;** in that the use of the proposed project will remain single-family residential with one two-story dwelling at a twenty-five-foot height, consistent with the General Plan Land Use designation of Residential Low Density (RL). As indicated by the project summary that is reflected by the proposed site plan, floor plans, and elevations, the proposed project is consistent with Sierra Madre Municipal Code Chapters 17.20 (R-1 One-family Residential Zone), 17.48 (Development Standards), and 17.68 (Parking).
- 2. The project will not unreasonably interfere with the use, possession, and enjoyment of surrounding adjacent properties;** in that the proposed project remains single-family in use causing no impacts or intensification of the use whereas there is no net gain in the number of bedrooms and whereas the on-site parking requirements are met through a three-space garage with additional open on-site spaces in the driveway.
- 3. That the height, bulk, scale, mass, and siting of the proposed project be compatible with the existing neighborhood, landforms, and surroundings;** in that, in terms of bulk, scale, and mass, the proposed project occupies 14.3% of the lot, and the height meets the requirement allowed by the Municipal Code. The neighborhood analysis (Attachment C) shows that the proposed square footage is near the average of the top one-third of the neighboring homes according to Assessor's data. The proposed project demonstrates compatibility with the neighborhood through use of setbacks and siting that are very similar to the existing structure, only altering to accommodate the intended architectural style and to expand at the rear so as not to disrupt the development patterns of the neighborhood.
- 4. That the proposed project reflects the scale of the neighborhood in which it is proposed and does not visually overpower or dominate the neighborhood and is not ill-proportioned so as to produce either architecture or design that detracts from foothill village setting;** in that the proposed project entails a full renovation of the exterior resulting in stylistic change of the architecture wherein the scale of the proposed project demonstrates compatibility through incorporating details characteristic of Spanish-Mediterranean style, reflective of styles found dotted throughout Sierra Madre. Moreover, the property is somewhat situated at an interior bend of Acacia Street, tucked against a steeply inclining landforms allowing the proposed project to be well-hidden in its setting.

5. **That the project neither unreasonably interferes with public views or the views and privacy of neighbors, produces unreasonable noise levels, nor causes material adverse impacts;** in that the placement of balconies facing the rear yard and inclining landform mitigates potential impacts on privacy of adjacent neighbors. Existing trees and foliage on site and in the surrounding neighboring yards will negate the obstruction or privacy issues. Noise levels will not be impacted, nor will material adverse impacts be caused, as the proposed project remains single-family and does not intensify the use of the existing residence.
6. **The proposed project exhibits a coherent project-wide design, and each structure or portion thereof (especially additions) on the site is compatible with other portions of the project, regardless of whether the same are publicly visible;** in that the proposed project entails a full renovation of the exterior and will not retain any architectural characteristics of the existing residence, the project results in a coherent project-wide design that accomplishes the intended Spanish-Mediterranean style on each elevation.
7. **For proposed project seeking relief from development standards, where allowed, to accommodate characteristics of an identifiable architectural style (such as additional height, pursuant to section 17.20.027(A), that the proposed project adheres to the norms of such identifiable architectural style and that such style is consistently carried through on all elevations of the building, regardless of whether the same are publicly visible;** this finding does not apply to the proposed project.
8. **For proposed projects that require discretionary review due to exceeding size thresholds (pursuant to Sections 17.20.027(C), 17.30.045(B), 17.28.070(A)1. or similar), that the proposed is a superior project that would enhance its neighborhood and exhibit exceptional design through a combination of most, if not all, the following:**
 - a. **Innovative, thoughtful and/or noteworthy architecture that is responsive to the specific site, rather than standard, or generic, or “cookie-cutter” plans;** in that proposed project is a custom design with the intent to be complementary to the foothill village setting of Sierra Madre as well as lend to other similar styles found throughout the neighborhood by proposing a Spanish-Mediterranean style home utilizing character-defining features such as tiled gable-ended roofs, articulation of massing within a square footprint, iron grillwork and exposed heavy timber structural members.

- b. Where applicable, adaptive reuse or other preservation and restoration of historic structures;** this finding does not apply to the proposed project.
- c. Preservation of the natural landscape to the extent possible by such means as minimizing grade changes and retaining protected specimen trees;** in that the proposed project would require minimal impact to the grade where siting of the expansions is within the existing building pad so as to preserve the natural landscape to the greatest extent possible. No trees, protected species or otherwise, will be impacted by the proposed project.
- d. Siting of structure in keeping with landforms and so as to maximize open space, public views, and neighbor views and privacy;** in that the proposed project is sited in a location with minimal change in grade, preserves and enhances the open space within the front yard, and occupies 14.3% of the lot. Furthermore, existing landform grades that lend to the privacy and views of the neighbors are not impacted. While the proposed project significantly shifts building massing as compared to the existing building, views of neighbors are not unreasonably impacted due to the advantage gained by building pads within the neighborhood and along Acacia street being at significantly stepped elevations.
- e. High quality architectural details and building materials compatible with the overall project design;** in that the project will be constructed using high quality material that is compatible with the intended Spanish-Mediterranean architectural style through use of terracotta tiled roof, exposed heavy timber wood members, iron grillwork and earth toned colors.
- f. Sustainable building and landscaping practices, especially water-saving features;** in that the proposed project will comply with all applicable building codes to satisfy sustainable building including Title 24 requirements of the California Energy Code.

CEQA / Environmental

The proposed project qualifies for a Class 1 Categorical Exemption, pursuant to Section 15301 of the California Environmental Quality Act (CEQA), as it involves alteration of an existing single-family residence with less than significant amount of floor area addition.

PUBLIC NOTICE PROCESS

This item has been noticed through the regular agenda notification process. Copies of this report are available at the City Hall public counter, the Sierra Madre Public Library, and can be accessed on the City's website at www.cityofsierramadre.com.

Attachments:

Attachment A	Planning Commission Resolution 21-11
Attachment B	Site Photographs and Aerial Pictometry
Attachment C	Neighborhood Analysis
Attachment D	Plans and Elevation
Attachment E	Colored Rendering and 3-D Models
Attachment F	Materials, Color and Details Sample Board

ATTACHMENT A

PLANNING COMMISSION RESOLUTION 21-11

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SIERRA MADRE APPROVING DESIGN REVIEW PERMIT 21-01 TO ALLOW THE FULL EXTERIOR RENOVATION OF AND ADDITION RESULTING IN THE GROSS FLOOR AREA OF 4,348 SQUARE FEET TO A SINGLE-FAMILY RESIDENCE LOCATED AT 557 ACACIA STREET

THE PLANNING COMMISSION OF THE CITY OF SIERRA MADRE DOES HEREBY RESOLVE:

WHEREAS, an application for a Design Review was filed by:

**Mark Elby
557 Acacia Street
Sierra Madre, California 91024**

WHEREAS, the request for a DESIGN REVIEW PERMIT can be described as:

A request for a design review permit to allow the full exterior renovation of and addition resulting in the gross floor area of 4,348 square feet to a single-family residence located at 557 Acacia Street. Pursuant to SMMC Section 17.20.027.B, approval of a design review permit is required to allow new construction or addition of a second story to a single-family residence. Pursuant to SMMC Section 17.20.027.C, approval of a design review permit is required to allow, by new construction or addition, a project resulting in allowable gross floor area exceeding 3,500 square feet.

WHEREAS, the Planning Commission has received the report and recommendations of staff;

WHEREAS, notice was duly given of the public hearing on the matter, which public hearing was held before the Planning Commission on August 19, 2021, with all testimony received being made part of the public record;

WHEREAS, the proposed project qualifies for a Categorical Exemption pursuant to Section 15301 Class 1 of the California Environmental Quality Act (CEQA) as it involves alteration of an existing single-family residence with less than significant amount of floor area addition,

NOW THEREFORE, in consideration of the evidence received at the hearing, and for the reasons discussed by the Commissioners at said hearing, the Planning Commission now finds as follows:

Burden of proof for permit for certain noted projects pursuant to Code Section 17.60.041.D

Before a Design Review Permit is granted, the application shall show, to the reasonable satisfaction of the reviewing authority, the existence of the following facts:

- 1. The proposed project is consistent with the general plan, zoning code, and any applicable design standards;** in that the use of the proposed project will remain single-family residential with one two-story dwelling at a twenty-five-foot height, consistent with the General Plan Land Use designation of Residential Low Density (RL). As indicated by the project summary that is reflected by the proposed site plan, floor plans, and elevations, the proposed project is consistent with Sierra Madre Municipal Code Chapters 17.20 (R-1 One-family Residential Zone), 17.48 (Development Standards), and 17.68 (Parking).
- 2. The project will not unreasonably interfere with the use, possession, and enjoyment of surrounding adjacent properties;** in that the proposed project remains single-family in use causing no impacts or intensification of the use whereas there is no net gain in the number of bedrooms and whereas the on-site parking requirements are met through a three-space garage with additional open on-site spaces in the driveway.
- 3. That the height, bulk, scale, mass, and siting of the proposed project be compatible with the existing neighborhood, landforms, and surroundings;** in that, in terms of bulk, scale, and mass, the proposed project occupies 14.3% of the lot, and the height meets the requirement allowed by the Municipal Code. The neighborhood analysis (Attachment C) shows that the proposed square footage is near the average of the top one-third of the neighboring homes according to Assessor's data. The proposed project demonstrates compatibility with the neighborhood through use of setbacks and siting that are very similar to the existing structure, only altering to accommodate the intended architectural style and to expand at the rear so as not to disrupt the development patterns of the neighborhood.
- 4. That the proposed project reflects the scale of the neighborhood in which it is proposed and does not visually overpower or dominate the neighborhood and is not ill-proportioned so as to produce either architecture or design that detracts from foothill village setting;** in that the proposed project entails a full renovation of the exterior resulting in stylistic change of the architecture wherein the scale of the proposed project demonstrates compatibility through incorporating details characteristic of Spanish-Mediterranean style, reflective of styles found dotted throughout Sierra Madre. Moreover, the property is somewhat situated at an interior bend of Acacia Street, tucked against a steeply inclining landforms allowing the proposed project to be well-hidden in its setting.

5. **That the project neither unreasonably interferes with public views or the views and privacy of neighbors, produces unreasonable noise levels, nor causes material adverse impacts;** in that the placement of balconies facing the rear yard and inclining landform mitigates potential impacts on privacy of adjacent neighbors. Existing trees and foliage on site and in the surrounding neighboring yards will negate the obstruction or privacy issues. Noise levels will not be impacted, nor will material adverse impacts be caused, as the proposed project remains single-family and does not intensify the use of the existing residence.

6. **The proposed project exhibits a coherent project-wide design, and each structure or portion thereof (especially additions) on the site is compatible with other portions of the project, regardless of whether the same are publicly visible;** in that the proposed project entails a full renovation of the exterior and will not retain any architectural characteristics of the existing residence, the project results in a coherent project-wide design that accomplishes the intended Spanish-Mediterranean style on each elevation.

7. **For proposed projects seeking relief from development standards, where allowed, to accommodate characteristics of an identifiable architectural style (such as additional height, pursuant to section 17.20.027(A)), that the proposed project adheres to the norms of such identifiable architectural style and that such style is consistently carried through on all elevations of the building, regardless of whether the same are publicly visible;** this finding does not apply to the proposed project.

8. **For proposed projects that require discretionary review due to exceeding size thresholds (pursuant to Sections 17.20.025(C), 17.30.040(B) or similar), that the proposed is a superior project that would enhance its neighborhood and exhibit exceptional design through a combination of most, if not all, the following:**

- a. **Innovative, thoughtful and/or noteworthy architecture that is responsive to the specific site, rather than standard, or generic, or “cookie-cutter” plans;** in that proposed project is a custom design with the intent to be complementary to the foothill village setting of Sierra Madre as well as lend to other similar styles found throughout the neighborhood by proposing a Spanish-Mediterranean style home utilizing character-defining features such as tiled gable-ended roofs, articulation of massing within a square footprint, iron grillwork and exposed heavy timber structural members.
- b. **Where applicable, adaptive reuse or other preservation and restoration of historic structures;** this finding does not apply to the proposed project.
- c. **Preservation of the natural landscape to the extent possible by such means as minimizing grade changes and retaining protected specimen trees;** in that the proposed project would require minimal impact to the grade where siting of the expansions is within the existing building pad so as to preserve the natural landscape to the greatest extent possible. No trees, protected species or otherwise, will be impacted by the proposed project.

- d. **Siting of structure in keeping with landforms and so as to maximize open space, public views, and neighbor views and privacy;** in that the proposed project is sited in a location with minimal change in grade, preserves and enhances the open space within the front yard, and occupies 14.3% of the lot. Furthermore, existing landform grades that lend to the privacy and views of the neighbors are not impacted. While the proposed project significantly shifts building massing as compared to the existing building, views of neighbors are not unreasonably impacted due to the advantage gained by building pads within the neighborhood and along Acacia street being at significantly stepped elevations.
- e. **High quality architectural details and building materials compatible with the overall project design;** in that the project will be constructed using high quality material that is compatible with the intended Spanish-Mediterranean architectural style through use of terracotta tiled roof, exposed heavy timber wood members, iron grillwork and earth toned colors.
- f. **Sustainable building and landscaping practices, especially water-saving features;** in that the proposed project will comply with all applicable building codes to satisfy sustainable building including Title 24 requirements of the California Energy Code.

PURSUANT TO THE ABOVE FINDINGS, IT IS RESOLVED that the Planning Commission APPROVES Design Review Permit 21-01, subject to the conditions of approval in Exhibit A, attached herein.

The approval is final, unless appealed to the City Council in writing within ten (10) days following the adoption of this Resolution, pursuant to the provisions of Section 17.60.120 of the Sierra Madre Municipal Code.

The time in which to seek judicial review of this decision shall be governed by Code of Civil Procedure Section 1094.6. The Planning Commission Secretary shall certify to the adoption of this resolution, transmit copies of the same to the applicant and his counsel, if any, together with a proof of mailing in the form required by law and shall enter a certified copy of this resolution in the book of resolution of the City.

APPROVED, the 19th day of August, 2021, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

William Pevsner, Chairperson
Sierra Madre Planning Commission

ATTEST:

Vincent Gonzalez, Director
Planning & Community Preservation Department

EXHIBIT A

**CONDITIONS OF APPROVAL
DRP 21-01**

General Conditions:

The applicant and property owner shall:

1. Comply with all applicable provisions of the Sierra Madre Municipal Code, including but not limited to those Chapters pertaining to Zoning, Building and Construction, Vehicles and Traffic, and Health and Safety, and including all such provisions which may be contained in Uniform Codes which have been incorporated by reference within the Sierra Madre Municipal Code.
2. Comply with all applicable provisions of Federal, State and Los Angeles County law and regulations, including but not limited to the California Environmental Quality Act.
3. Execute and deliver to the City's Department of Planning & Community Preservation an Affidavit of Acceptance of Conditions on a form to be provided by such Department prior to submitting construction plans for 1st Plan Check to the City. This approval shall not be effective for any purpose until the Applicant complies with this condition.
4. To the fullest extent permitted by law, fully protect the City, its employees, agents and officials from any loss, injury, damage, claim, lawsuit, expense, attorneys' fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this approval, or the activities conducted pursuant to this approval. Accordingly, to the fullest extent permitted by law, the applicant and property owner shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorneys' fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this approval, or the activities conducted pursuant to this approval. Applicant and property owner shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

Planning Conditions:

The applicant and property owner shall:

1. Construct the project in substantial conformance with all applications and supporting materials presented to the Planning Commission on August 19, 2021. Inaccuracies and misrepresentations will be grounds for immediate revocation of the Design Review permit.
2. Submit construction plans, for 1st Plan Check within one (1) year of the date of

this approval; failure to do so will constitute an abandonment of the entitlement, and shall render this approval null and void.

3. Applicant shall comply with the requirements of the Water Efficient Landscape Ordinance.

Public Works Conditions:

The applicant and property owner shall:

A. REQUIREMENTS FOR DEMOLITION ACTIVITIES

1. Obtain a demolition permit in accordance with SMMC Section 15.04.115 which amends Section 105 of the 2019 California Building Code.
2. Demolition activity shall comply with all state lead abatement requirements.

Fire Department Conditions:

The applicant and property owner shall:

1. Install fire sprinklers pursuant to the requirements of Sierra Madre Municipal Code Chapter 15.24 (Fire Code)
2. Incorporate the requirements of California Building Code Section 7A regarding construction in the Very High Fire Hazard Severity Zone.

(end of conditions)

SITE PHOTOGRAPHS

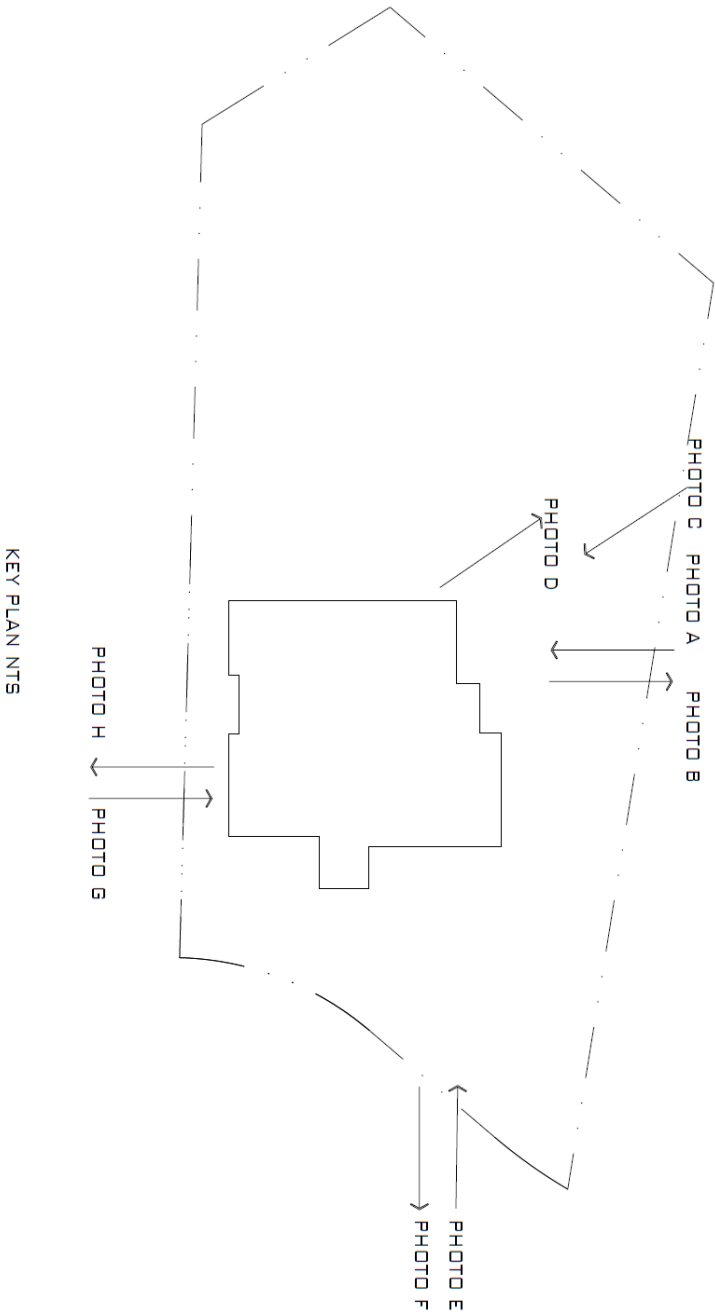




PHOTO A



PHOTO B



PHOTO C

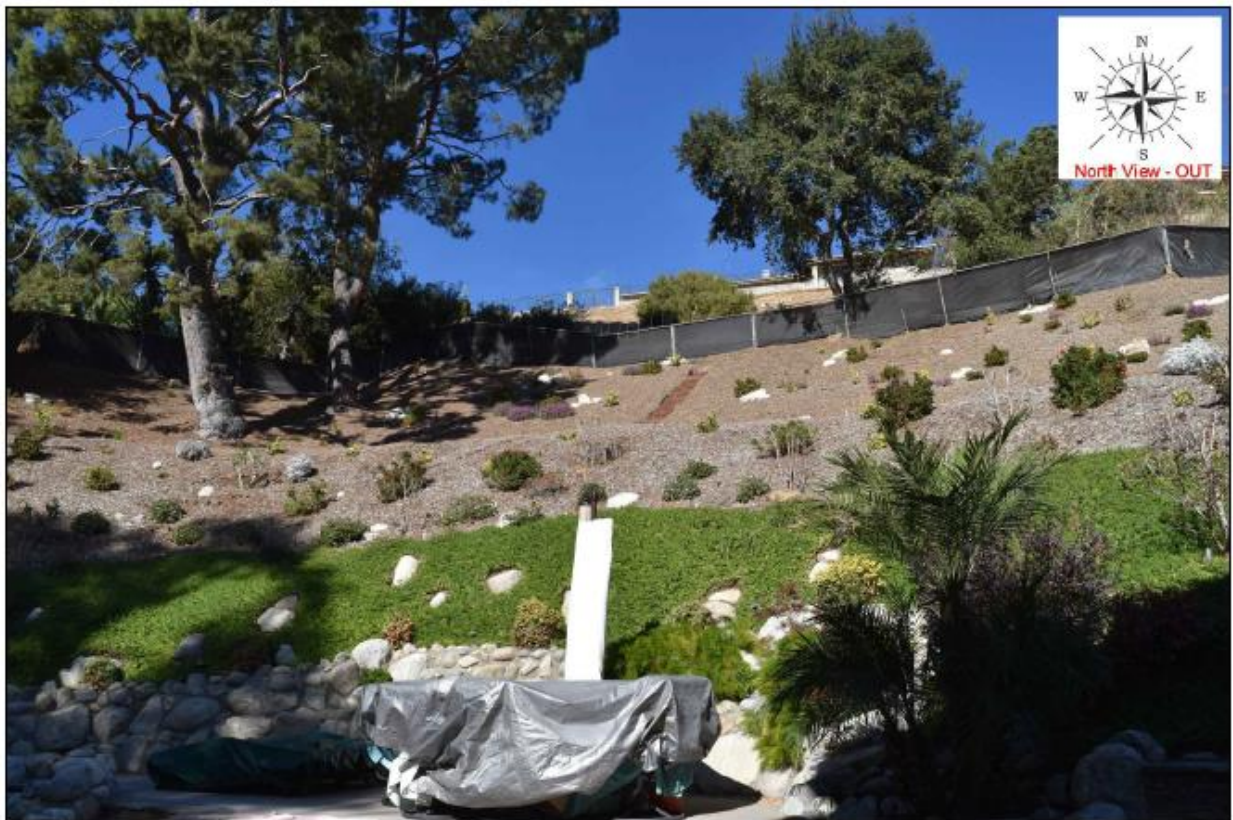


PHOTO D



PHOTO E



PHOTO F



PHOTO G



PHOTO H

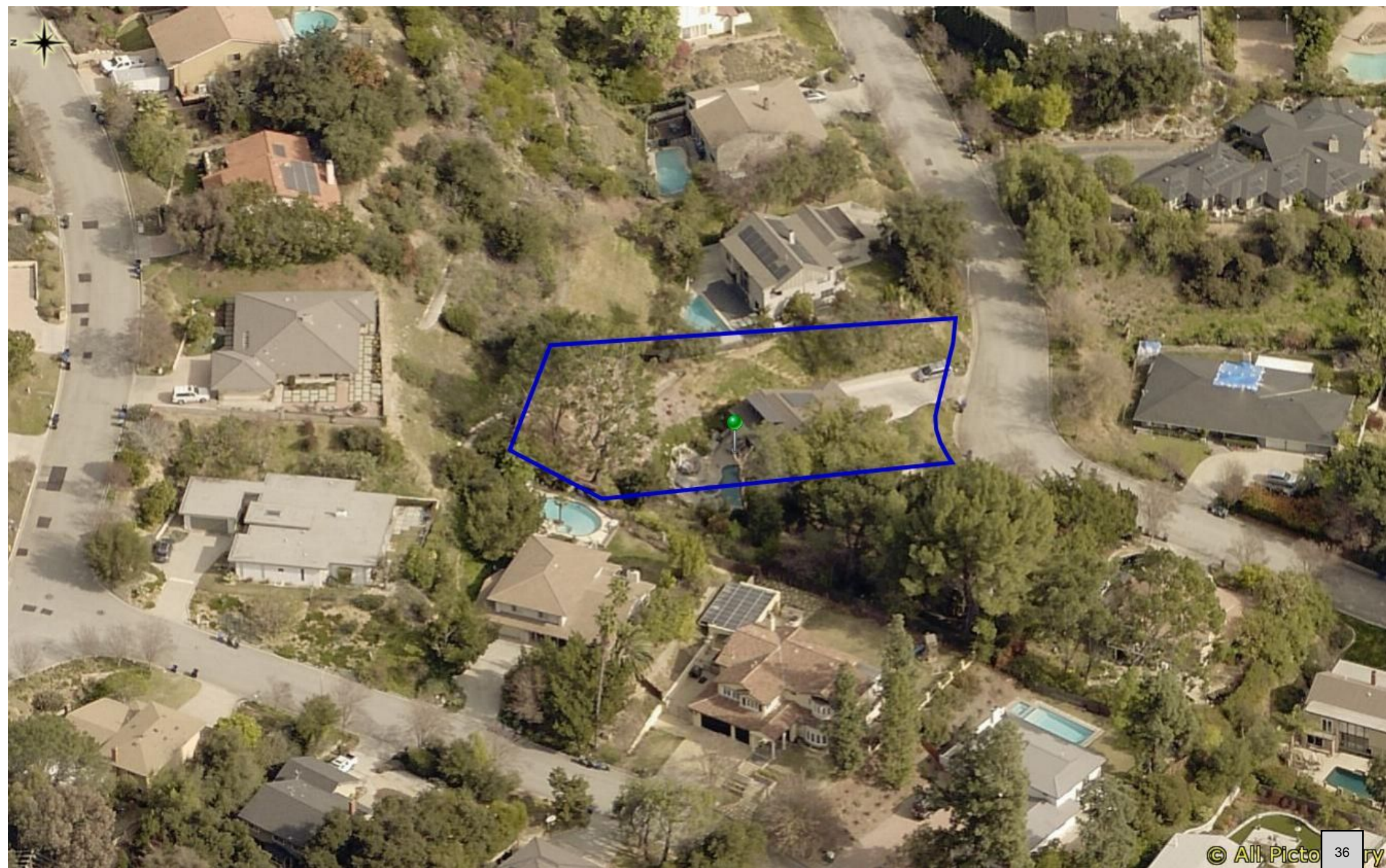
557 Acacia Str. Aerial Directly Above



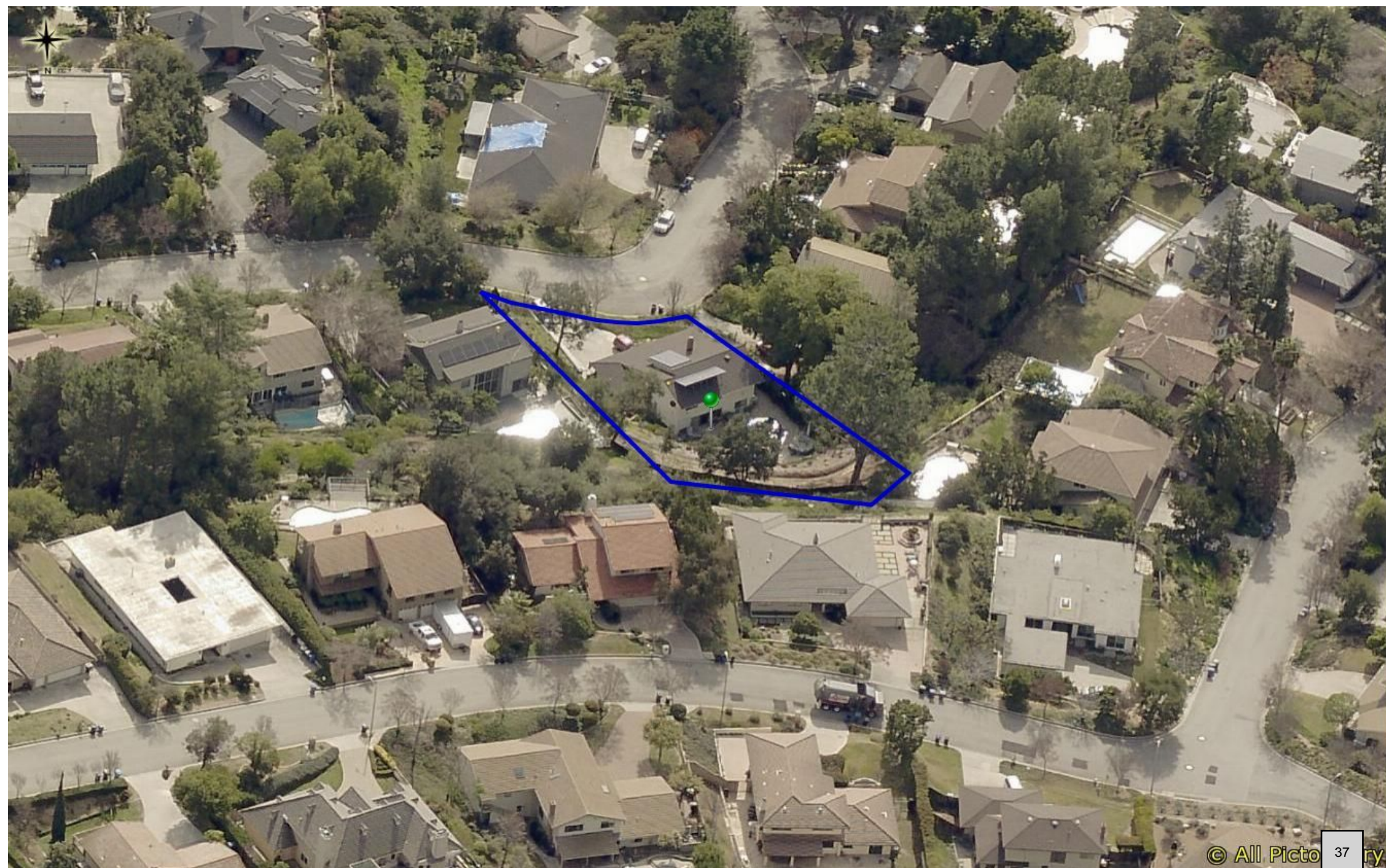
557 Acacia St. Aerial from South



557 Acacia St. Aerial from West



557 Acacia St. Aerial from North



557 Acacia St. Aerial from East



Neighborhood Analysis

ATTACHMENT C

SINGLE FAMILY DWELLINGS WITHIN 300'	MAP #	PROPERTY ADDRESS	APN	BUILDING SQFT	LOT SIZE	FLOOR AREA RATIO (FAR) BUILDING
	2	667 CAMILLO RD	5764-036-006	4,517	27,916	16.18%
	3	755 VALLE VISTA DR	5764-034-018	4,190	16,505	25.39%
	4	574 CAMILLO RD	5764-006-020	4,047	14,634	27.65%
	5	643 CAMILLO RD	5764-036-005	3,940	26,463	14.89%
	6	654 CAMILLO RD	5764-006-015	3,596	16,391	21.94%
	7	526 CAMILLO RD	5764-006-022	3,468	44,082	7.87%
	8	556 CAMILLO RD	5764-006-021	3,010	14,557	20.68%
	9	584 ACACIA ST	5764-034-019	2,904	19,481	14.91%
	10	625 CAMILLO RD	5764-036-004	2,870	30,300	9.47%
	11	532 ACACIA ST	5764-034-021	2,853	19,475	14.65%
	12	578 ACACIA ST	5764-034-020	2,851	17,392	16.39%
	13	597 ACACIA ST	5764-006-031	2,837	17,775	15.96%
	14	582 CAMILLO RD	5764-006-019	2,833	14,302	19.81%
	15	503 ACACIA ST	5764-006-035	2,812	26,261	10.71%
	16	531 ACACIA ST	5764-006-025	2,749	14,756	18.63%
	17	640 CAMILLO RD	5764-006-016	2,670	17,019	15.69%
	18	547 ACACIA ST	5764-006-026	2,535	16,875	15.02%
	19	585 ACACIA ST	5764-006-030	2,535	15,805	16.04%
	20	516 ACACIA ST	5764-034-014	2,522	22,425	11.25%
	21	635 VALLE VISTA DR	5764-034-015	2,520	24,687	10.21%
	22	598 CAMILLO RD	5764-006-018	2,506	14,328	17.49%
	23	668 CAMILLO RD	5764-006-014	2,504	15,098	16.58%
	24	579 ACACIA ST	5764-006-029	2,501	15,752	15.88%
	25	733 VALLE VISTA DR	5764-034-017	2,451	16,522	14.83%
	26	517 ACACIA ST	5764-006-024	2,356	15,418	15.28%
	27	569 ACACIA ST	5764-006-028	2,356	16,810	14.02%
	28	591 CAMILLO RD	5764-035-013	2,223	15,282	14.55%
	29	555 CAMILLO RD	5764-035-003	2,195	19,060	11.52%
	30	599 CAMILLO RD	5764-036-018	2,195	34,980	6.28%
	31	573 CAMILLO RD	5764-035-011	2,185	18,583	11.76%
	32	624 CAMILLO RD	5764-006-017	2,077	16,266	12.77%
	33	581 CAMILLO RD	5764-035-012	2,044	17,489	11.69%
	34	607 CAMILLO RD	5764-036-003	2,016	33,927	5.94%
	AVERAGE			2,784	20,200	14.91%
	MEDIAN			2,602	17,205	14.96%
	Top 1/3 AVERAGE			3,477	22,472	17%
	Top 1/3 MEDIAN			3,468	19,475	16%
PROPOSED PROJECT	1	557 ACACIA ST	5764-006-027	3,693	18,399	20.07%

557 Acacia
ATTACHMENT D

Karen and Mark Elby
557 Acacia Street
Sierra Madre CA 91024

Alon Friedman Architect
1091 Atchison Street, Pasadena California 91104
Phone 626-354-3075

ARCHITECT

WRITTEN DIMENSIONS SHALL TAKE
PRECEDENCE OVER SCALED DIMENSIONS
AND SHALL BE VERIFIED AT THE JOB SITE
ANY DIMENSIONAL DISCREPANCY SHALL BE
BROUGHT TO THE ATTENTION OF THE
ARCHITECT PRIOR TO THE COMMENCEMENT
OF THE WORK.

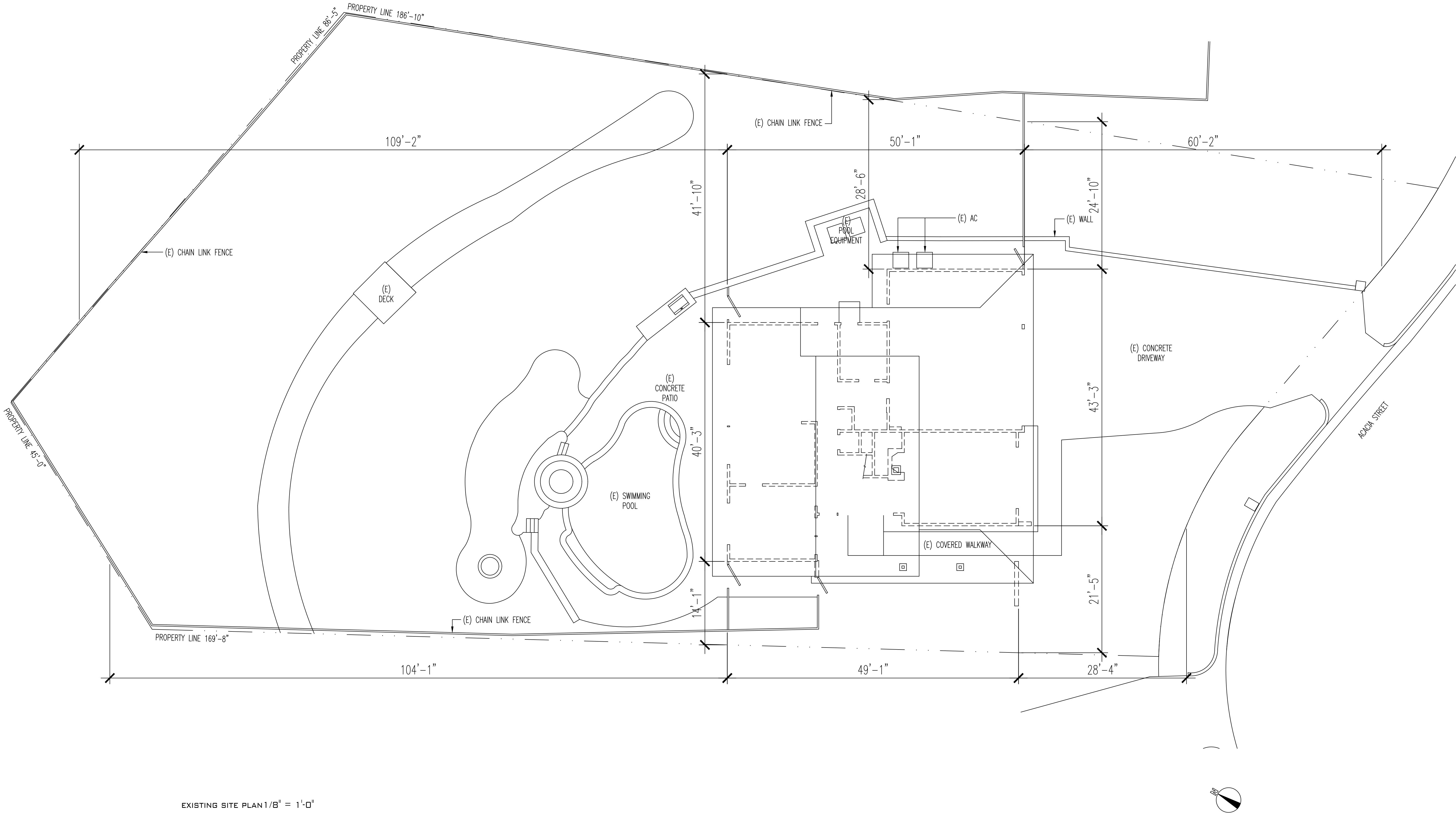
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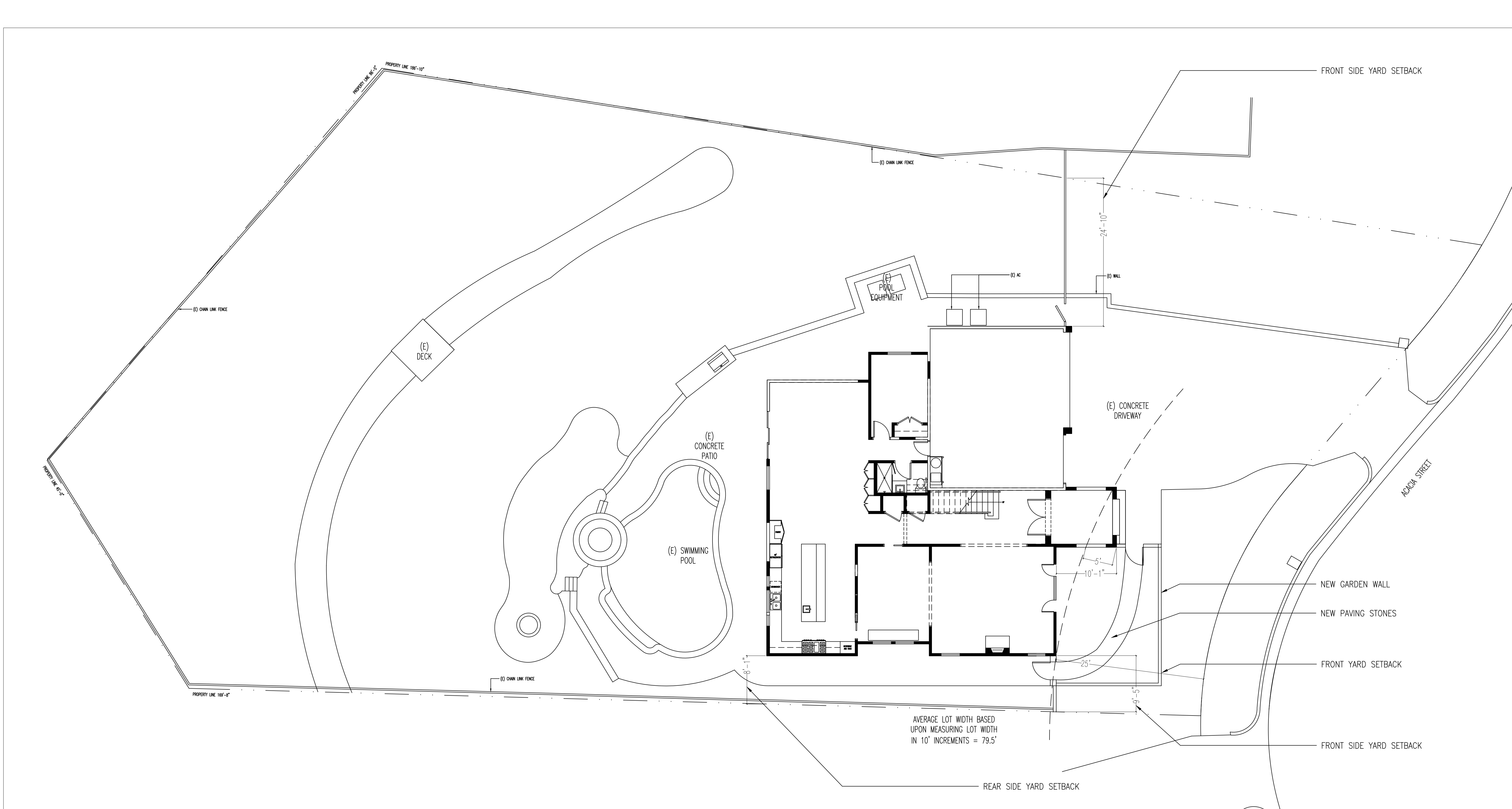
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EXISTING SITE PLAN 1/8" = 1'-0"



PROPOSED SITE PLAN 1/8" = 1'-0"

PROJECT DATA:

LOT SIZE: 18,325 S.F.
YEAR BUILT: 1,968
ZONING: R-1

BUILDING DATA:

EXISTING FLOOR AREA:
RESIDENCE 1ST FLOOR: 1,337 S.F.
RESIDENCE 2ND FLOOR: 1,119 S.F.
GARAGE 637 S.F.
FRONT PORCH 268 S.F.
TOTAL GROSS FLOOR AREA: 3,093 S.F.
LOT COVERAGE: 3,361 S.F. 18.34%
HEIGHT 24'-1"

PROPOSED FLOOR AREA:

RESIDENCE 1ST FLOOR: 1,859 S.F.
RESIDENCE 2ND FLOOR: 1,834 S.F.
GARAGE: 655 S.F.
FRONT PORCH 108 S.F.
TOTAL GROSS FLOOR AREA 4,348 S.F.
LOT COVERAGE 2,652 S.F. 14.47%
HEIGHT 25'-0"

PARKING:

EXISTING: 3 SPACES
PROPOSED: 3 SPACES

ZONING REQUIREMENTS:

GROSS FLOOR AREA (SMMC 17.20.125(B))
= (LOT SIZE) - 11,000) X .12 + 3500 = 4,379 S.F.

LOT COVERAGE (SMMC 17.20.120)
= (LOT SIZE) X 40% = 7,330 S.F.

SETBACKS: FOR PRIMARY STRUCTURE (SMMC 17.20.050)
FRONT: 25 FEET
SIDES: 7.95 FT. / 15.9 FT.
REAR 15 FEET

HEIGHT: 25 FEET
PARKING:
LESS THAN 3,500 S.F. = 2 SPACES
GREATER THAN/EQUAL TO 3,500 S.F. = 3 SPACES

SCOPE OF WORK:

ADDITION AND REMODEL OF AN EXISTING 1968 RESIDENCE; ADDITIONAL AREAS AS PER TABLE THIS PAGE. THE EXTERIOR WILL BE COMPLETELY REMODELED WITH NEW EXTERIOR STUCCO CLADDING, CLAY TILE ROOF COVERING, NEW WINDOWS AND DOORS, AND STRUCTURE AS REQUIRED PER ENGINEERING DESIGN.

41

557 Acacia

Karen and Mark Elby
557 Acacia Street
Sierra Madre CA 91024

Alon Friedman Architect
1091 Atchison Street, Pasadena California 91104
Phone 626-354-3075

ARCHITECT

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Title

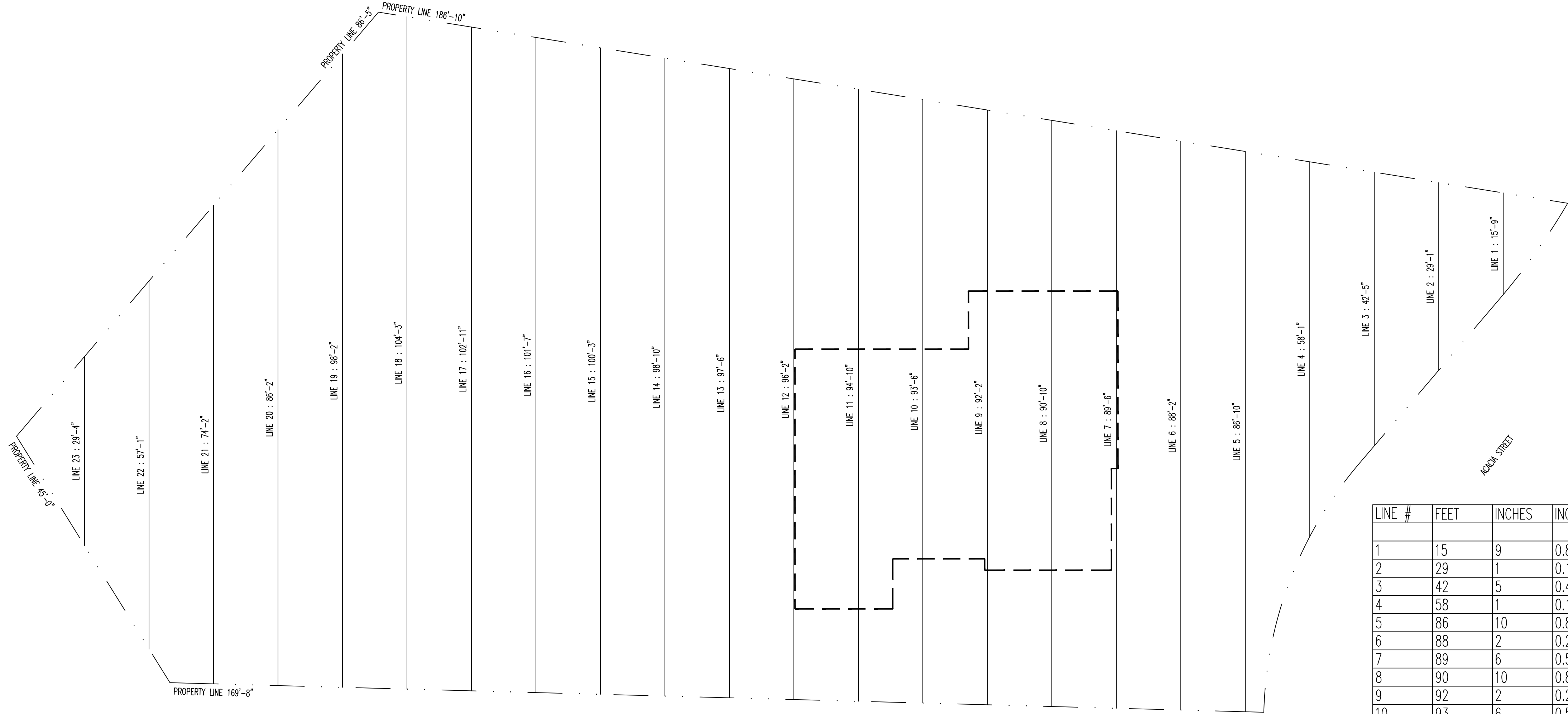
EXISTING SITE PLAN

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LINE #	FEET	INCHES	INCHES %	TOTAL DISTANCE	
1	15	9	0.8	15.8	
2	29	1	0.1	29.1	
3	42	5	0.4	42.4	
4	58	1	0.1	58.1	
5	86	10	0.8	86.8	
6	88	2	0.2	88.2	
7	89	6	0.5	89.5	
8	90	10	0.8	90.8	
9	92	2	0.2	92.2	
10	93	6	0.5	93.5	
11	94	10	0.8	94.8	
12	96	2	0.2	96.2	
13	97	6	0.5	97.5	
14	98	10	0.8	98.8	
15	100	3	0.3	100.3	
16	101	7	0.6	101.6	
17	102	11	0.9	102.9	
18	104	3	0.3	104.3	
19	98	2	0.2	98.2	
20	86	2	0.2	86.2	
21	74	2	0.2	74.2	
22	57	1	0.1	57.1	
23	29	4	0.3	29.3	
				1827.6	TOTAL OF ALL LINES
				79.5	AVERAGE LOT WIDTH

557 Acacia

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Title
AVERAGE LOT WIDTH CALCULATION

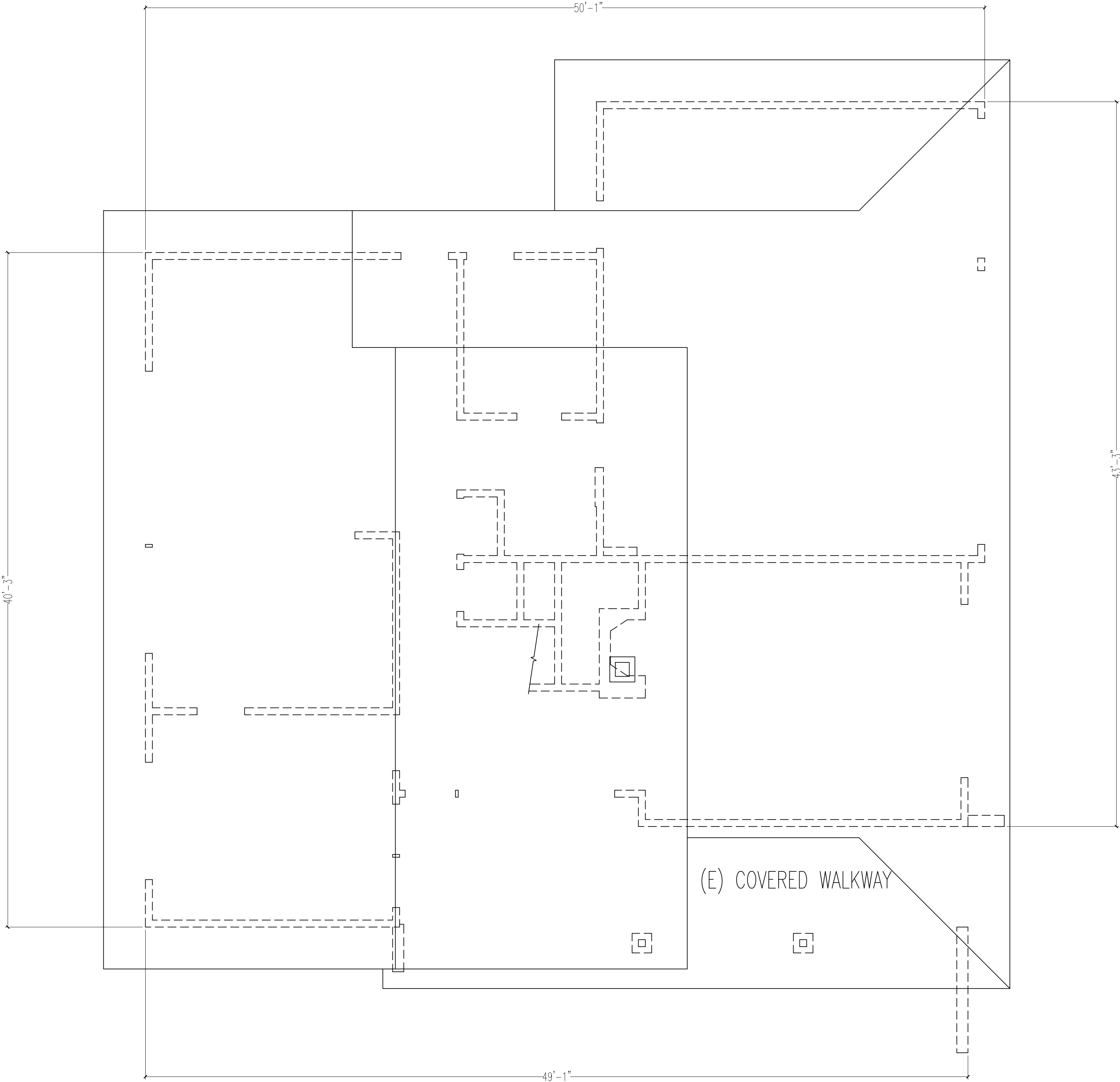
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EXISTING FIRST FLOOR PLAN 1/4"= 1'-0"



LOT AREA	18325sf	
EXISTING FIRST FLOOR AREA	1337sf	
EXISTING SECOND FLOOR AREA	1119sf	
EXISTING GARAGE FLOOR AREA	637sf	
EXISTING COVERED ENTRY FLOOR AREA	268sf	
TOTAL EXISTING FLOOR AREA	2456sf	(FIRST FLOOR + SECOND FLOOR)
TOTAL EXISTING LOT COVERAGE	2242sf	(FIRST FLOOR + GARAGE + COVERED ENTRY)

557 Acacia

Karen and Mark Elby
557 Acacia Street
Sierra Madre CA 91024

A l o n F r i e d m a n A r c h i t e c t
1091 Atchison Street, Pasadena California 91104
Phone 626-354-3075

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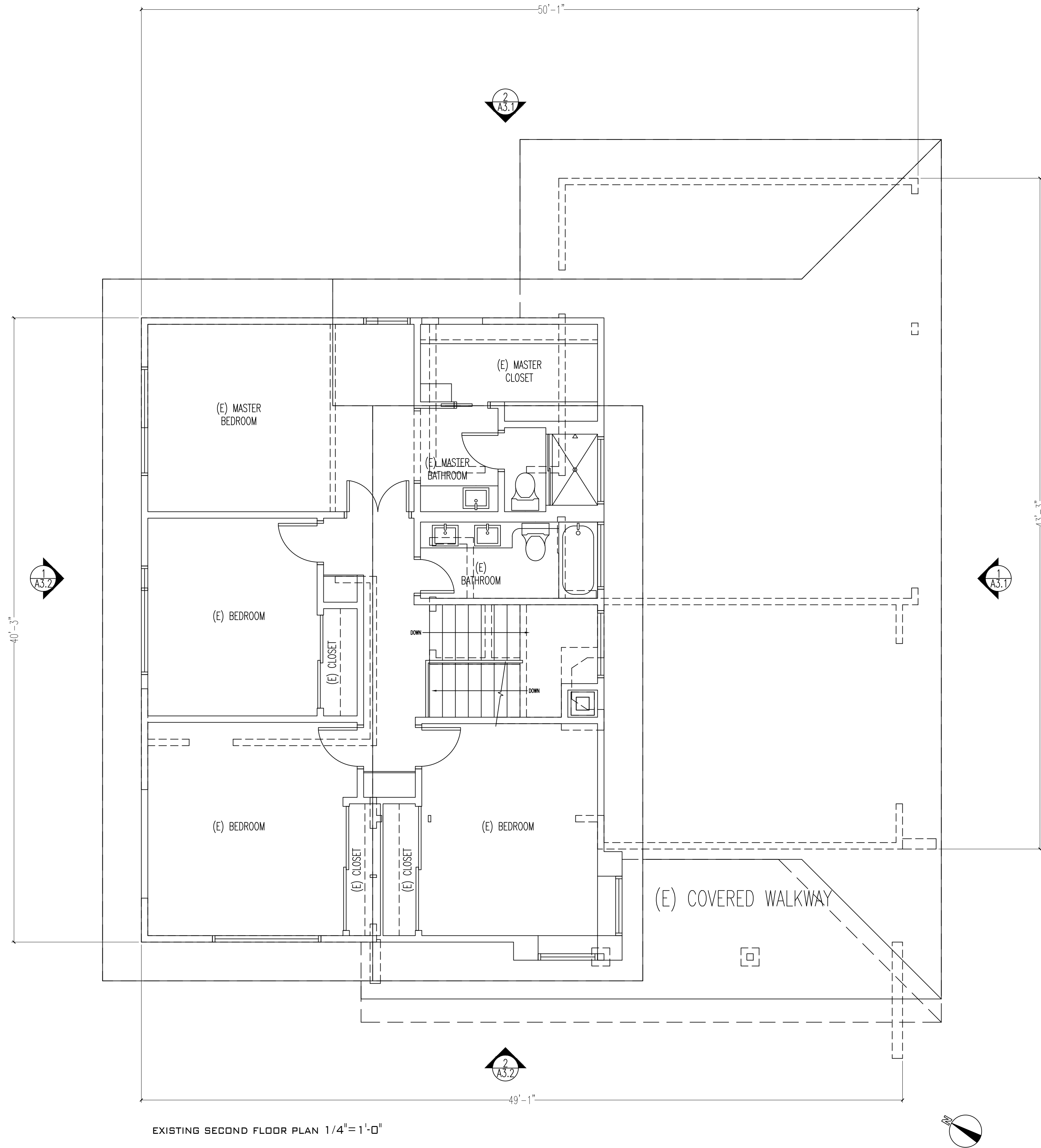
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EXISTING SECOND FLOOR PLAN 1/4"=1'-0"

LOT AREA 18325sf

EXISTING FIRST FLOOR AREA 1337sf
EXISTING SECOND FLOOR AREA 1119sf
EXISTING GARAGE FLOOR AREA 637sf
EXISTING COVERED ENTRY FLOOR AREA 268sf

TOTAL EXISTING FLOOR AREA 2456sf : (FIRST FLOOR + SECOND FLOOR)
TOTAL EXISTING LOT COVERAGE 2242sf : (FIRST FLOOR + GARAGE + COVERED ENTRY)

557 Acacia

Karen and Mark Elby
557 Acacia Street
Sierra Madre CA 91024

A l o n F r i e d m a n A r c h i t e c t
1091 Atchison Street, Pasadena California 91104
Phone 626-354-3075

ARCHITECT

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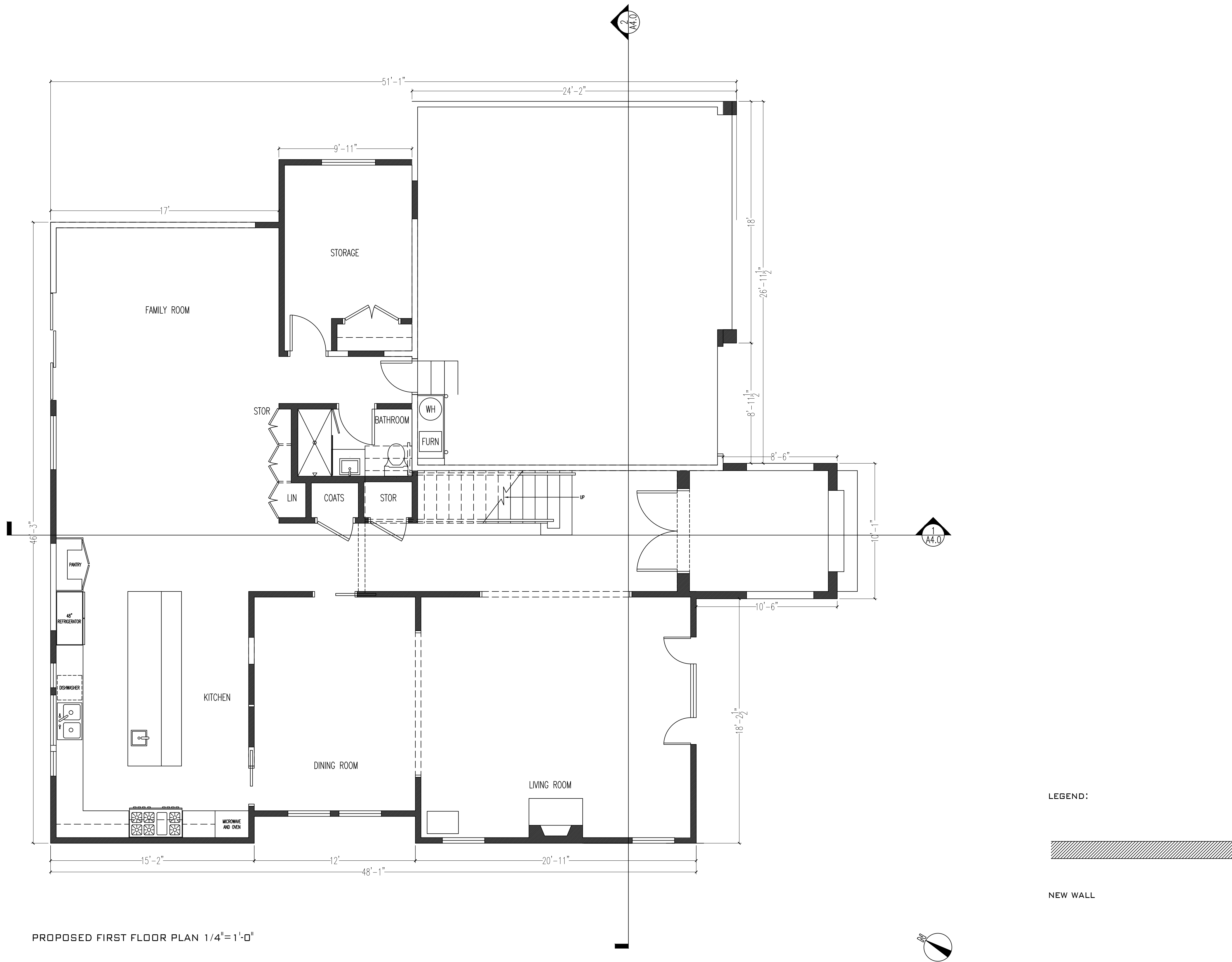
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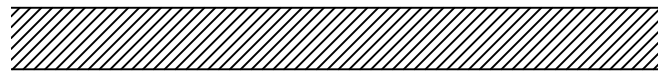
sheet number

A 2.20



PROPOSED FIRST FLOOR PLAN 1/4"=1'-0"

LEGEND:



NEW WALL

557 Acacia

Karen and Mark Elby
557 Acacia Street
Sierra Madre CA 91024

Alon Friedman Architect
1091 Atchison Street, Pasadena California 91104
Phone 626-354-3075

ARCHITECT

WRITTEN DIMENSIONS SHALL TAKE
PRECEDENCE OVER SCALED DIMENSIONS
AND SHALL BE VERIFIED AT THE JOB SITE
ANY DIMENSIONAL DISCREPANCY SHALL BE
BROUGHT TO THE ATTENTION OF THE
ARCHITECT PRIOR TO THE COMMENCEMENT
OF THE WORK.

Title
PROPOSED
FIRST FLOOR
PLAN

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date 06/04/21 scale	project number DRAWN BY
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ARCHITECT

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OF THE WORK.

Title
PROPOSED
SECOND FLOOR
PLAN

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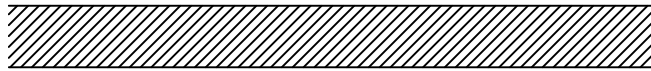
date	project number
06/04/21	
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sheet number



PROPOSED SECOND FLOOR PLAN 1/4"=1'-0"

LEGEND:



NEW WALL

Karen and Mark Elby
557 Acacia Street
Sierra Madre CA 91024

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1091 Atchison Street, Pasadena California 91104
Phone 626-354-3075

ARCHITECT

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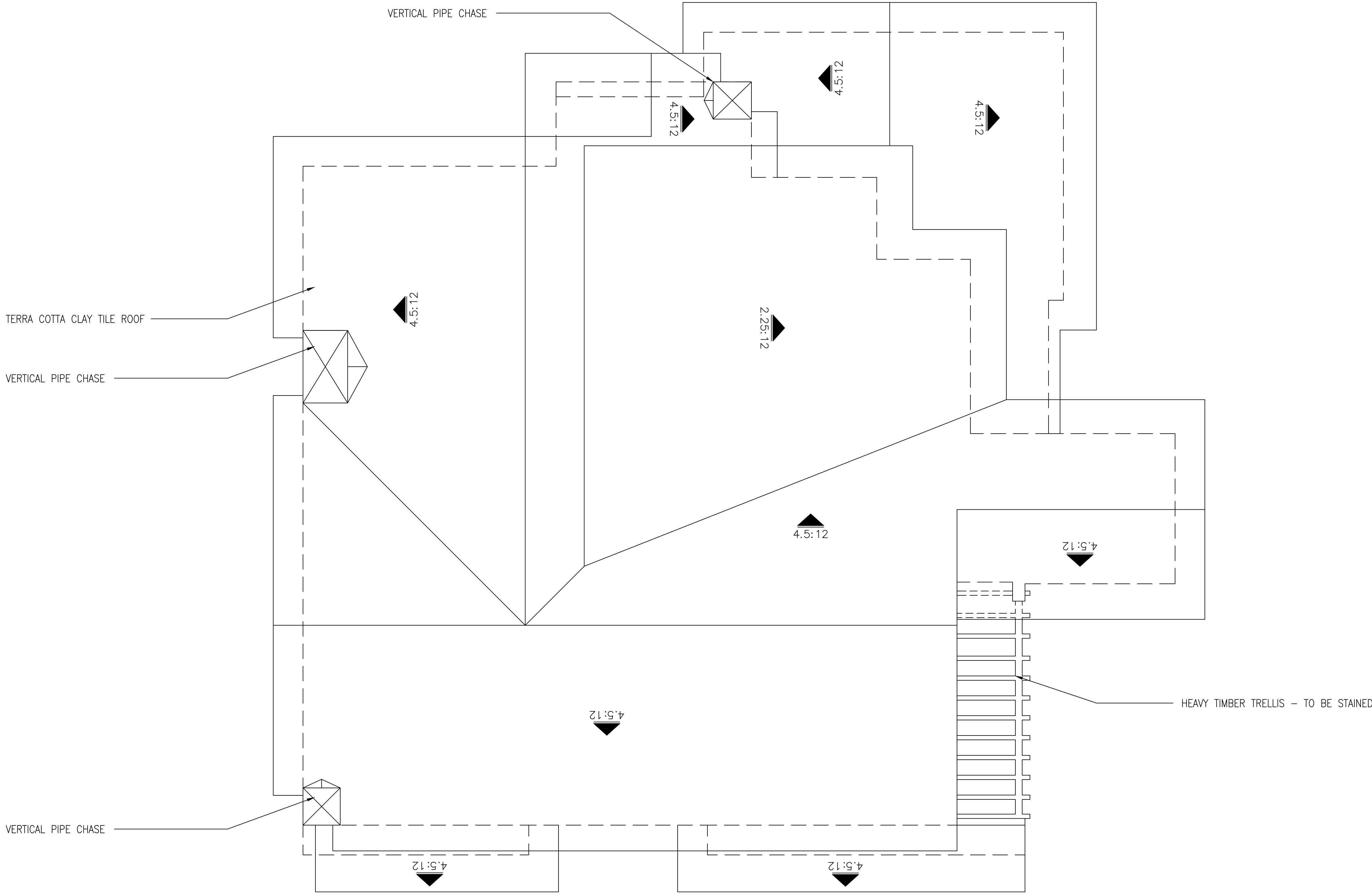
Title
PROPOSED
ROOF
PLAN

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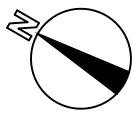
date	project number
06/04/21	
scale	DRAWN BY

sheet number

A 2.50



PROPOSED ROOF PLAN 1/4"=1'-0"



EXISTING EAST ELEVATION 1/4"=1'-0"

+24'-1" AFF (E) RIDGE

+8'-0" AFF TOP OF PLATE

+6'-8" AFF TOP OF WINDOWS AND DOORS

+9'-2" FINISHED FLOOR (120'-2")

+8'-0" AFF TOP OF PLATE

+6'-8" AFF TOP OF WINDOWS AND DOORS

0'-0" FINISHED FLOOR (111'-0")



EXISTING SOUTH ELEVATION 1/4"=1'-0"

+24'-1" AFF (E) RIDGE

+8'-0" AFF TOP OF PLATE

+6'-8" AFF TOP OF WINDOWS AND DOORS

+9'-2" FINISHED FLOOR (120'-2")

+8'-0" AFF TOP OF PLATE

+6'-8" AFF TOP OF WINDOWS AND DOORS

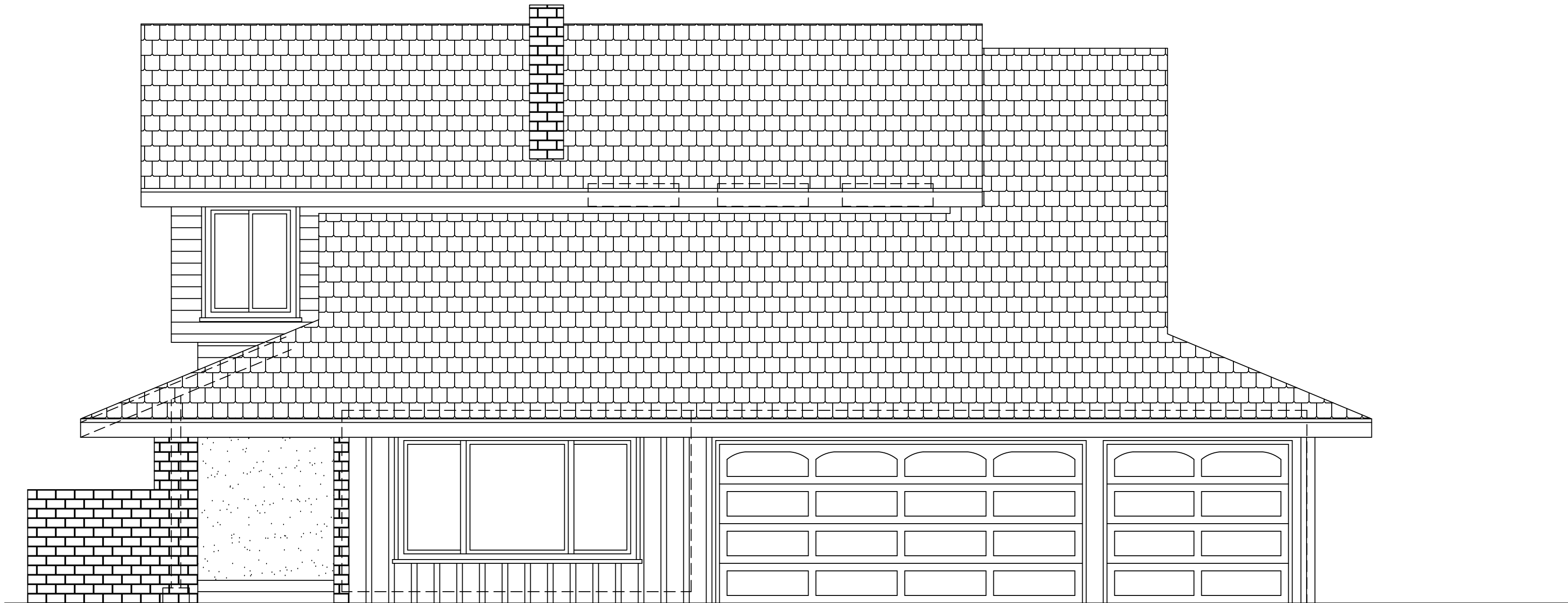
0'-0" FINISHED FLOOR (111'-0")

+8'-0" AFF TOP OF PLATE

+6'-8" AFF TOP OF WINDOWS AND DOORS

-1'-0" FINISHED FLOOR LIVING ROOM

5 12
VIF



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ARCHITECT

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OF THE WORK.

Title
EXISTING
ELEVATIONS

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rev	date	issued for

date	project number
05/31/21	
scale	DRAWN BY

sheet number

A 3.10

Karen and Mark Elby
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ARCHITECT

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Title
EXISTING ELEVATIONS

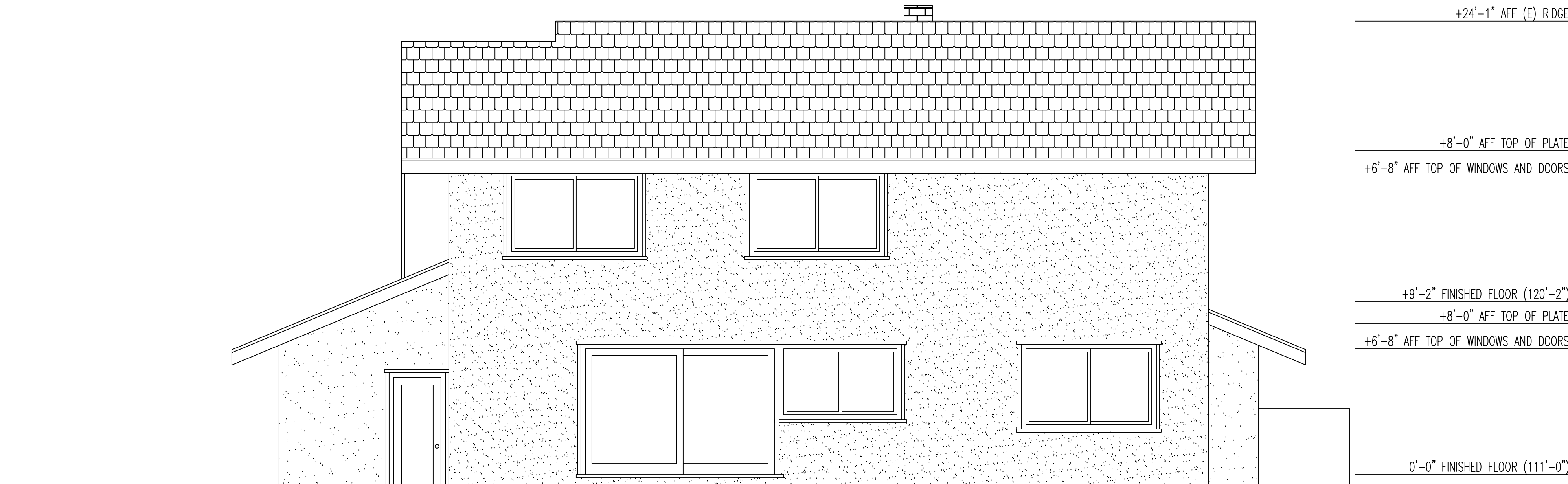
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05/31/21	
scale	DRAWN BY

sheet number



EXISTING WEST ELEVATION 1/4"=1'-0"



EXISTING NORTH ELEVATION 1/4"=1'-0"

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ARCHITECT

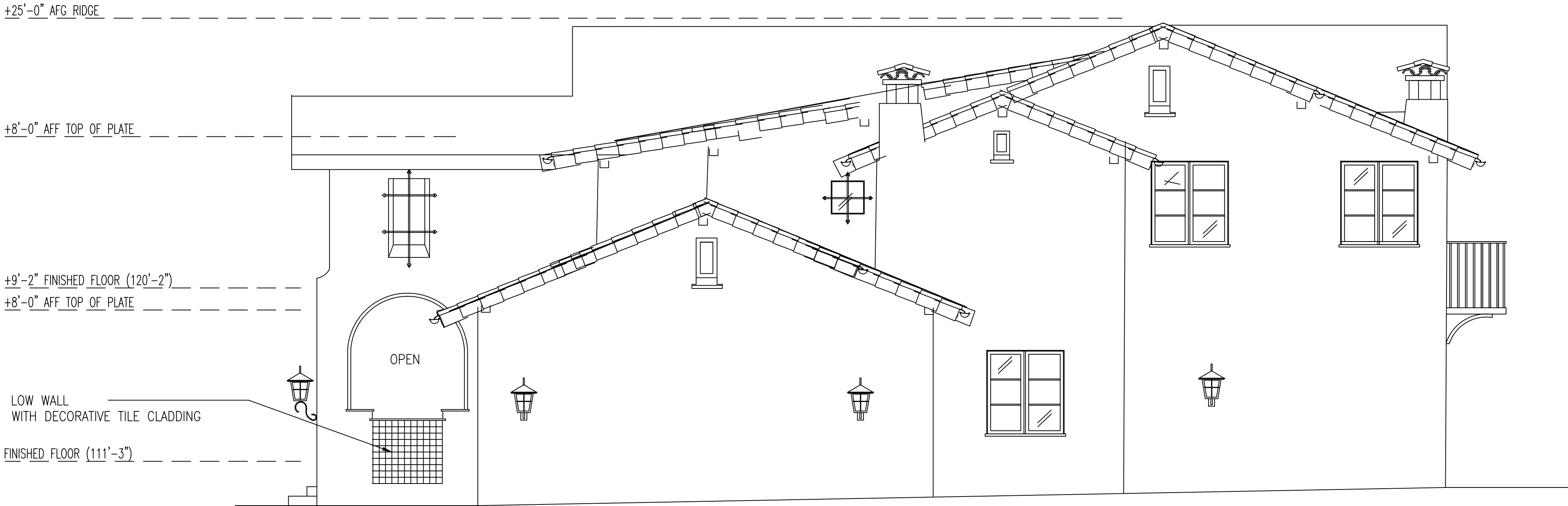
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Title
PROPOSED
ELEVATIONS

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date	project number
06/04/21	
scale	DRAWN BY

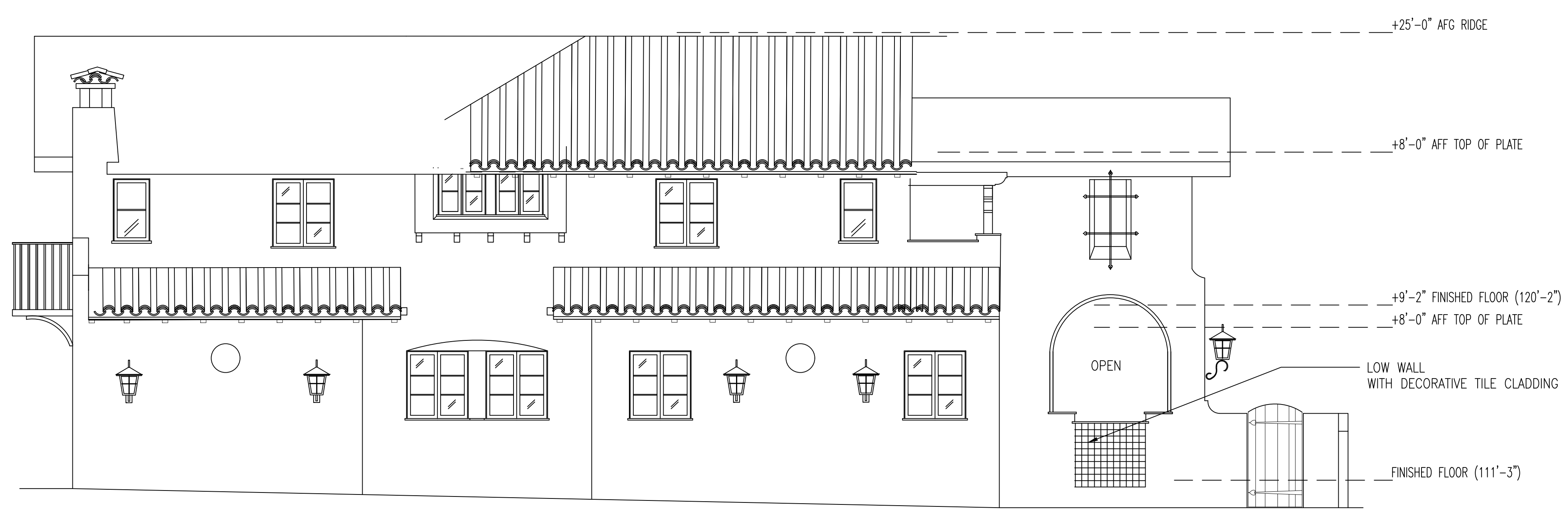
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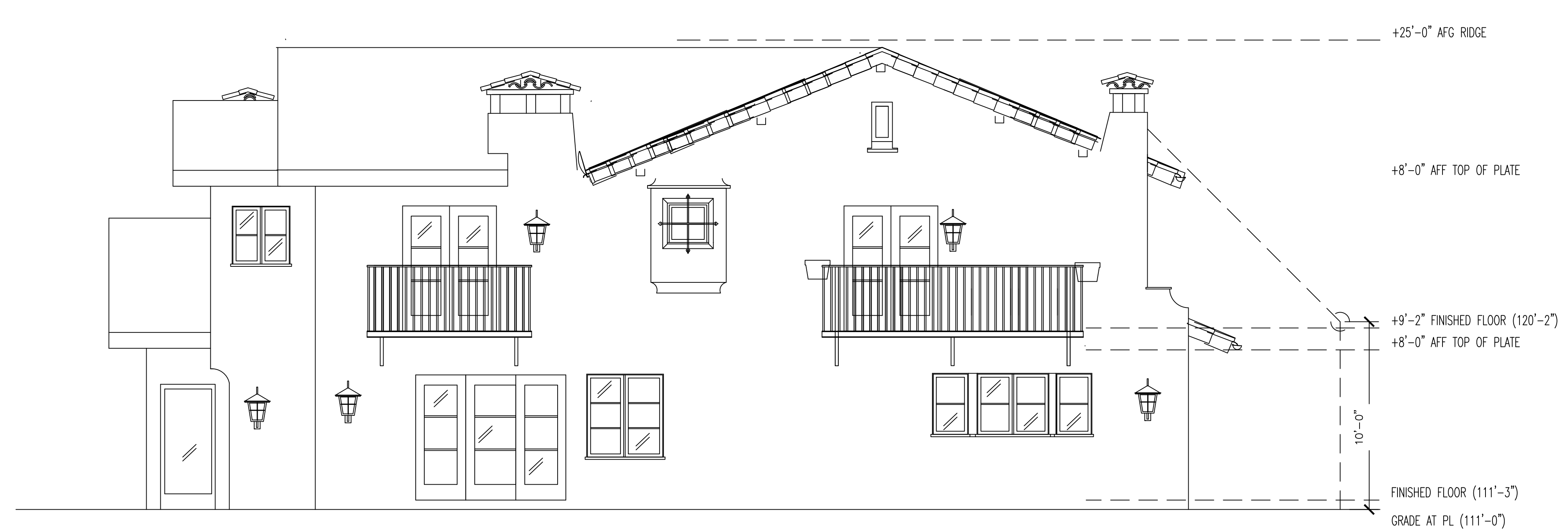
PROPOSED EAST ELEVATION 1/4"=1'-0"



PROPOSED SOUTH ELEVATION 1/4"=1'-0"



PROPOSED WEST ELEVATION 1/4"=1'-0"



PROPOSED NORTH ELEVATION 1/4"=1'-0"

557 Acacia

Karen and Mark Elby
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Sierra Madre CA 91024

Alon Friedman Architect
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ARCHITECT

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Title
PROPOSED ELEVATIONS

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rev	date	issued for

date	project number
06/04/21	
scale	DRAWN BY

sheet number

A 3.40

Karen and Mark Elby
557 Acacia Street
Sierra Madre CA 91024

A l o n F r i e d m a n A r c h i t e c t
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Phone 626-354-3075

ARCHITECT

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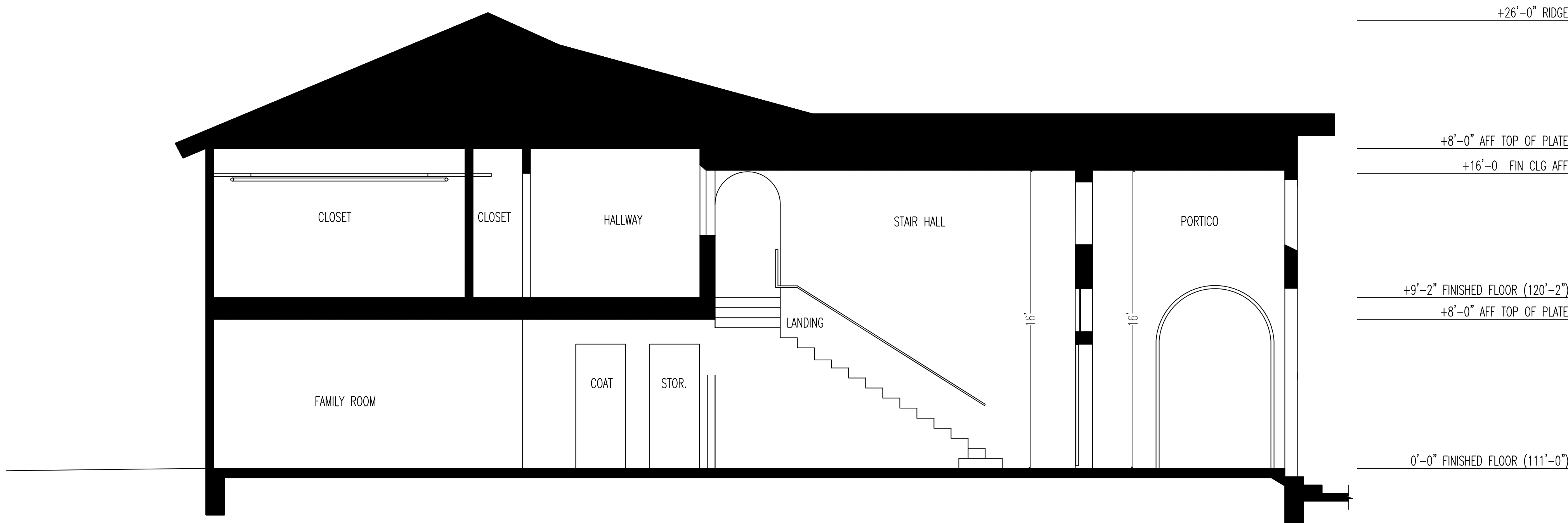
Title
PROPOSED
SECTIONS

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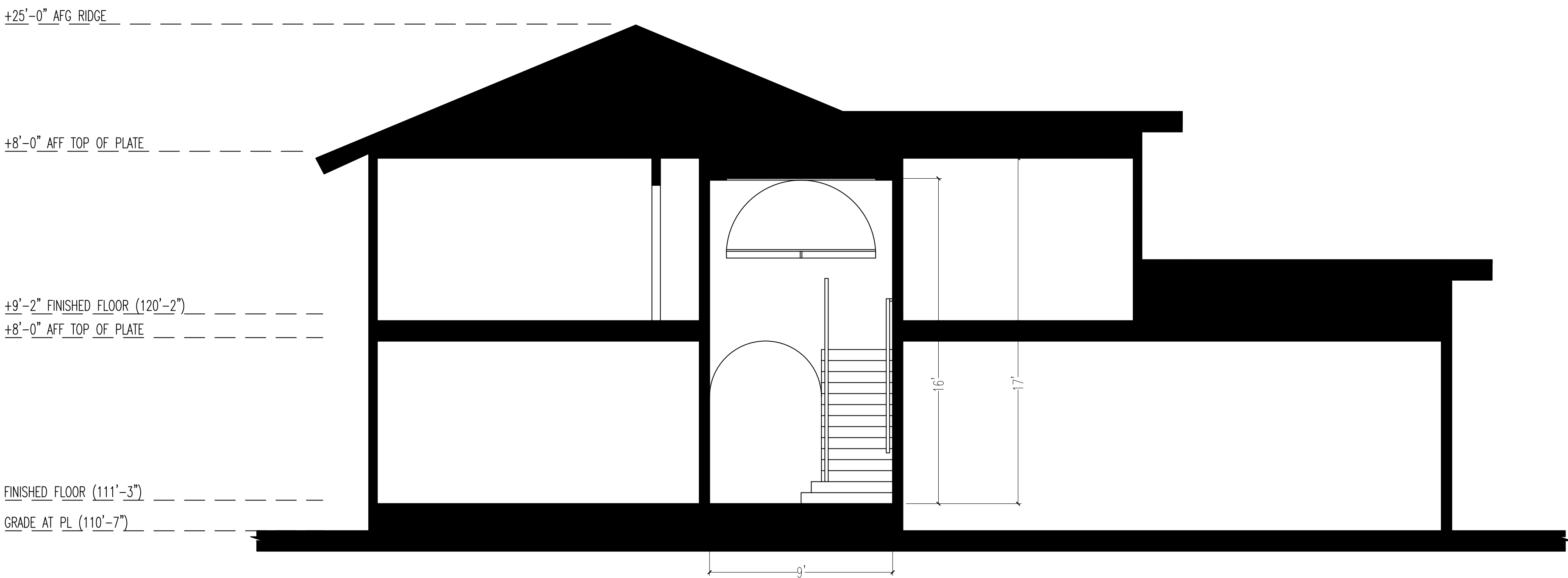
date	project number
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A 4.00



PROPOSED NORTH SOUTH BUILDING SECTION LOOKING EAST 1/4"=1'-0"



PROPOSED EAST WEST BUILDING SECTION LOOKING NORTH 1/4"=1'-0"

557 Acacia
ATTACHMENT E

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ARCHITECT

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Title
TWO
DIMENTIONAL
RENDERINGS

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rev	date	issued for

date	project number
05/31/21	
scale	DRAWN BY

sheet number

A 6.00

Karen and Mark Elby
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ARCHITECT

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Title
TWO
DIMENTIONAL
RENDERINGS

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sheet number

A 6.01



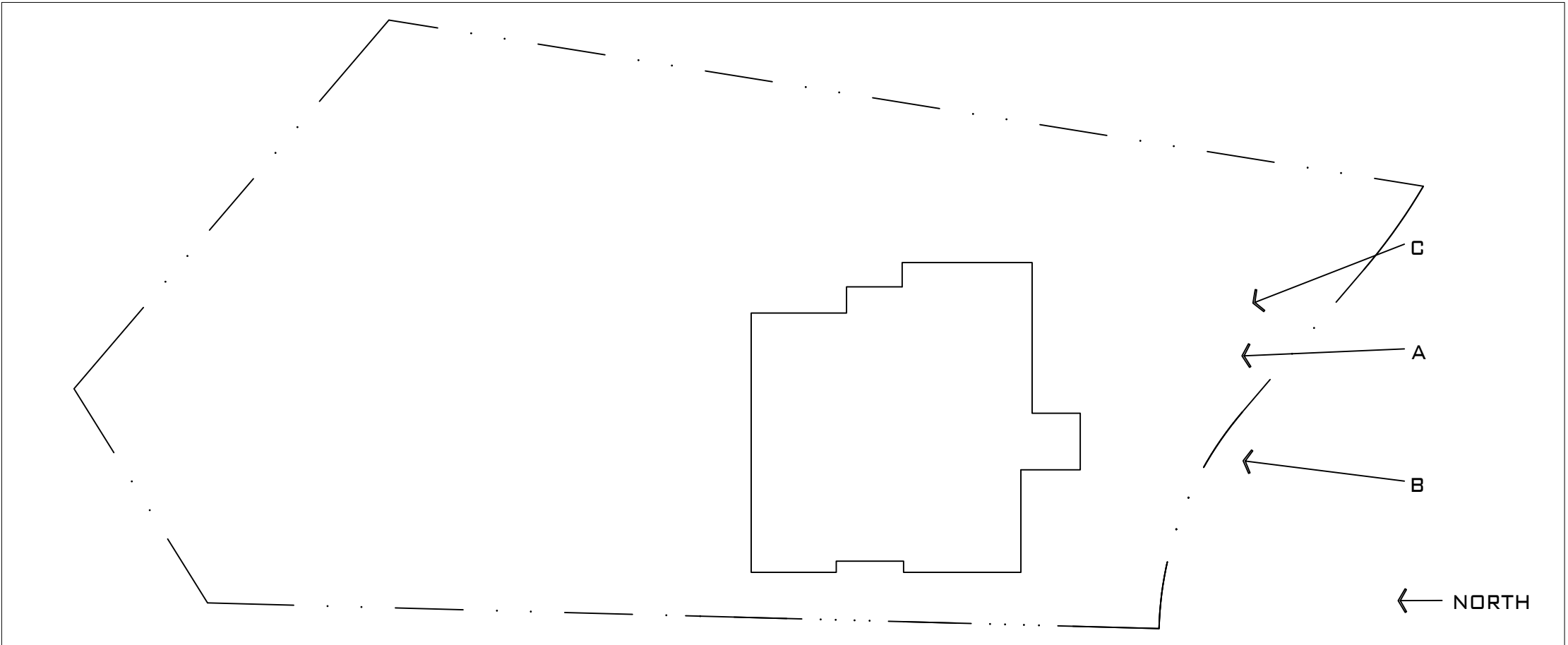
PERSPECTIVE 1



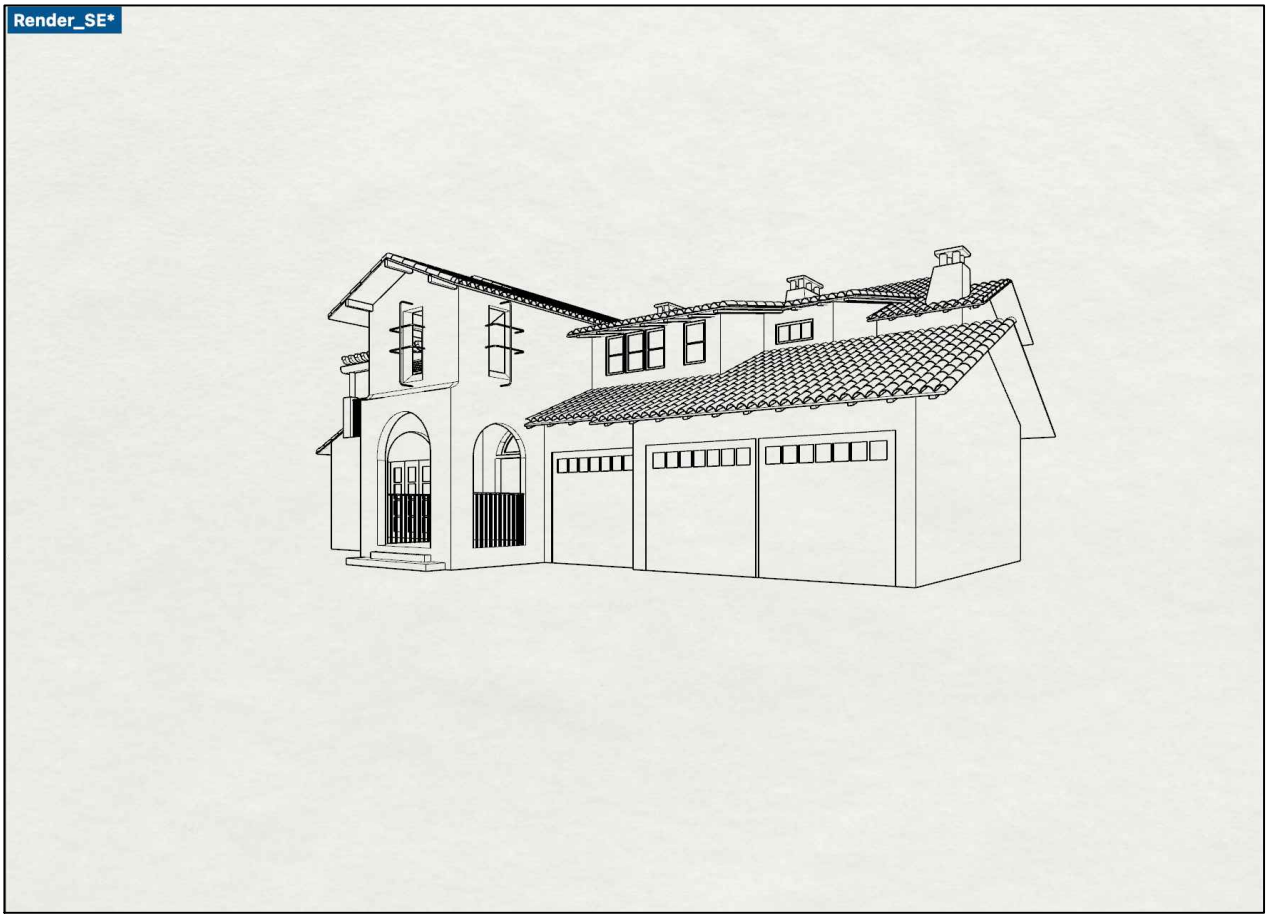
PERSPECTIVE 2



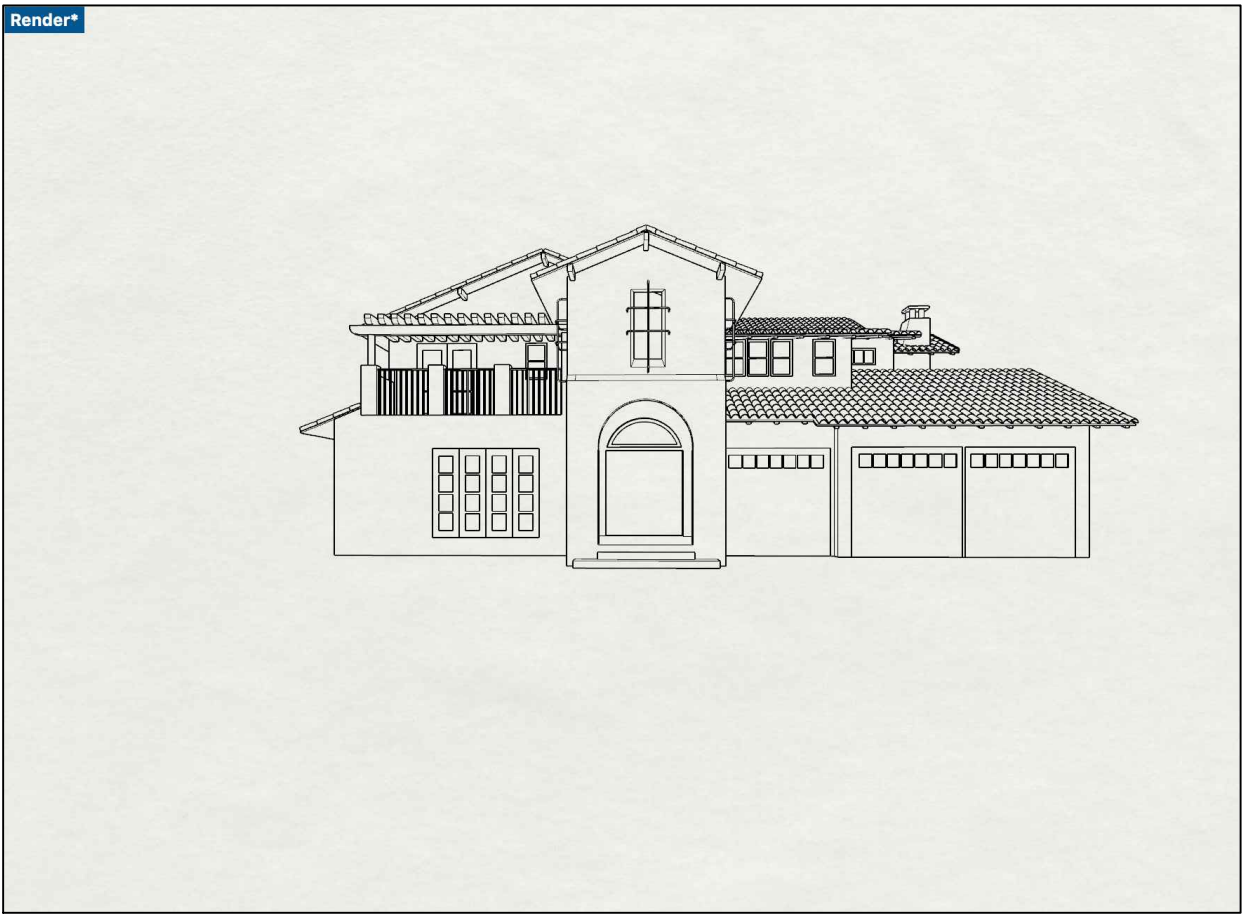
PERSPECTIVE 3



KEY PLAN



SOUTHWEST VIEW



ENTRY VIEW



NORTHEAST VIEW



NORTHEAST VIEW

557 Acacia

Karen and Mark Elby
557 Acacia Street
Sierra Madre CA 91024

Alon Friedman Architect
1091 Atchison Street, Pasadena California 91104
Phone 626-354-3075

ARCHITECT

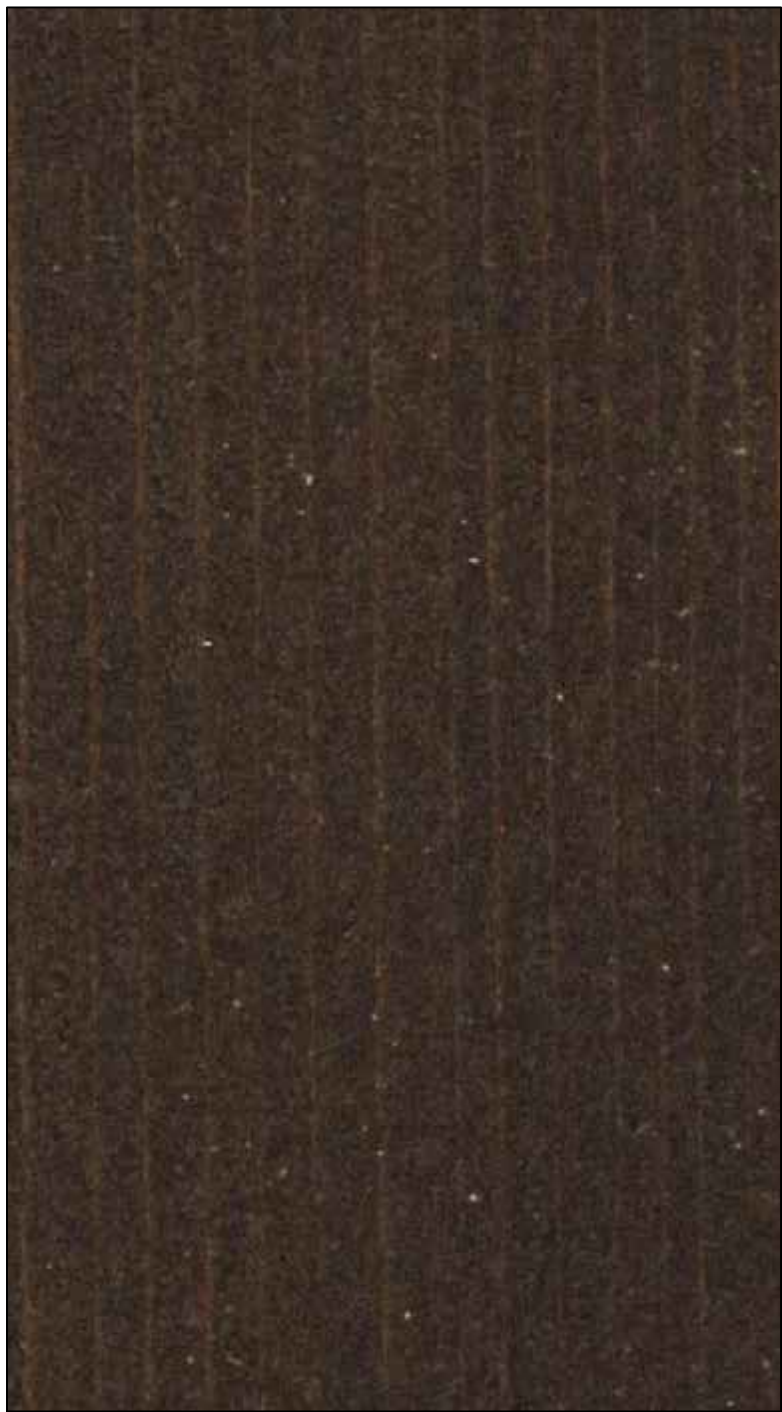
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Title THREE DIMENSIONAL RENDERINGS

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rev	date	issued for

date 05/31/21 project number
scale DRAWN BY

sheet number



ALL EXTERIOR WOOD EAVES, TRIM
TO BE STAINED

Madera Blend
tops: 1UADU3107 / pans: 1UBDU6078 59%



CRRC ID: 0942-0177 / Ref: .28 / Emit: .87 / SRI: 28

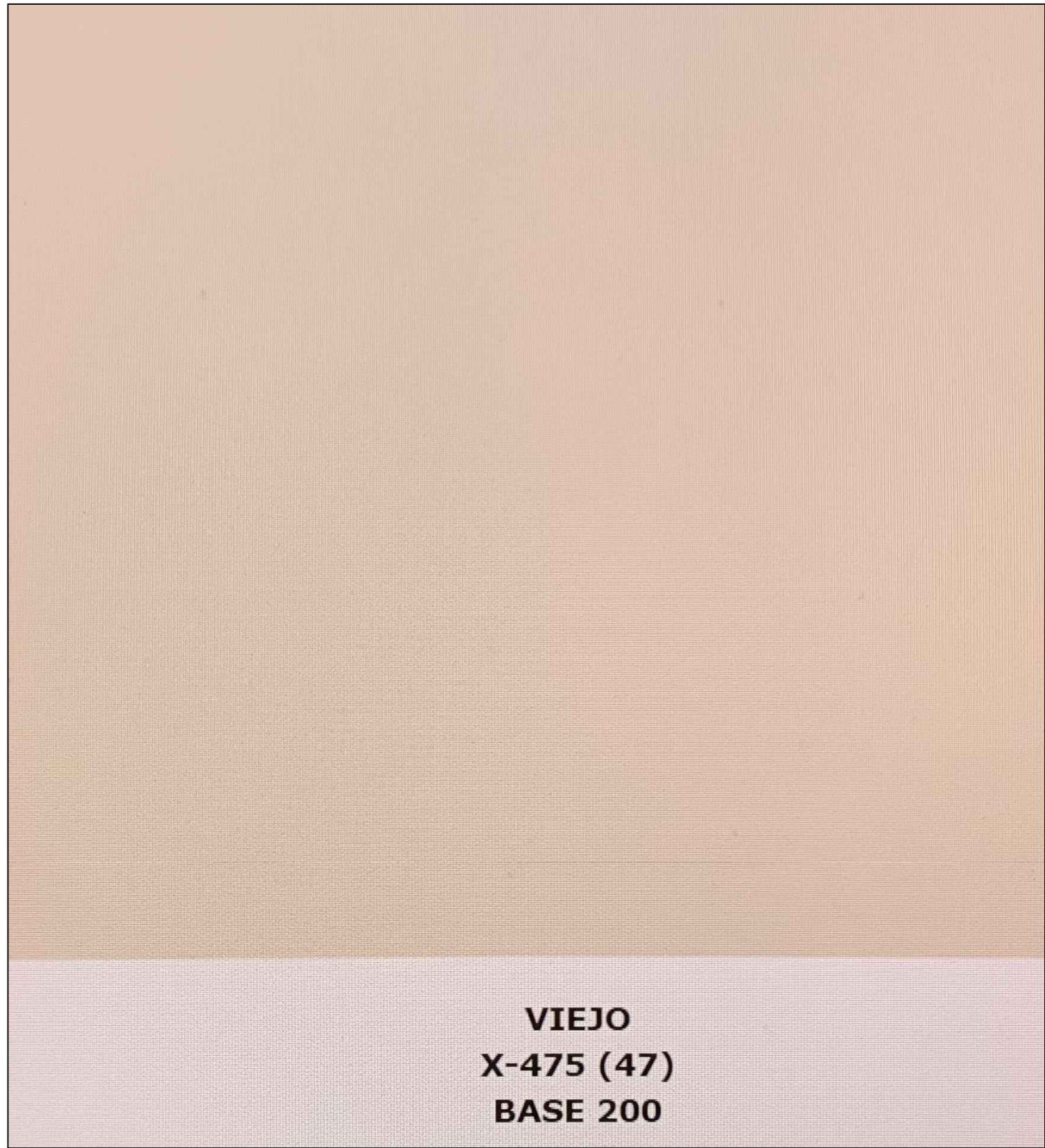
ONE PIECE CLAY TILE ROOF - CUSTOM BLEND



PROPOSED LIGHT FIXTURE



FIREPLACE EXTERIOR WALL TERMINATION



SMOOTH STEEL TROWELED STUCCO, SANTA BARBARA FINISH

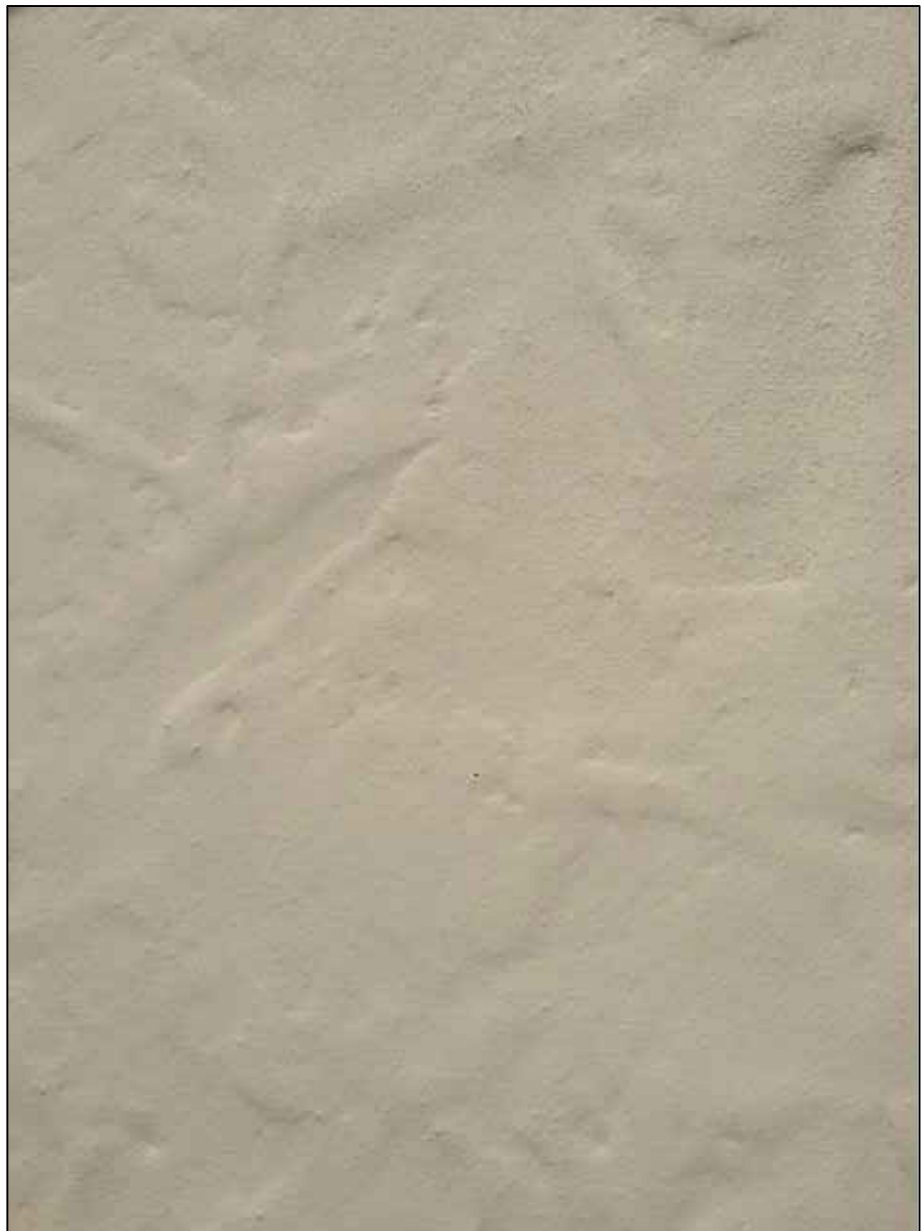
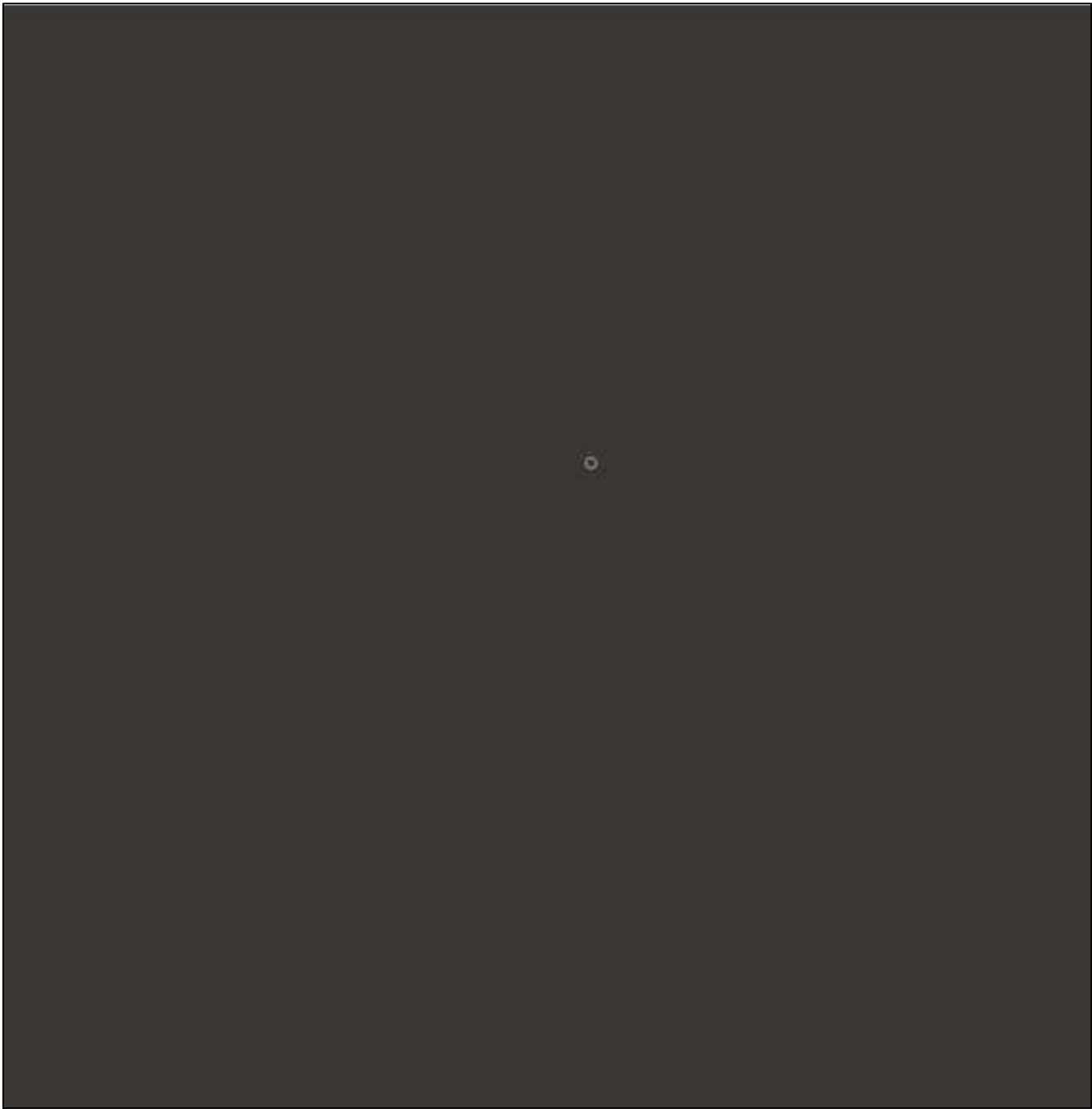


IMAGE FOR TEXTURE OF STUCCO ONLY. THIS TYPE OF
FINISH IS ACHIEVED BY HAND



ALUMINUM CLAD DUAL GLAZED CASEMENT WINDOWS
WITH DIVIDED LITES SURFACE MOUNTED
WINDOWS TO HAVE CAST CONCRETE SILLS



KITCHEN VENT HOOD EXTERIOR WALL TERMINATION

557 Acacia
ATTACHMENT F

Karen and Mark Elby
557 Acacia Street
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1091 Atchison Street, Pasadena California 91104
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ARCHITECT

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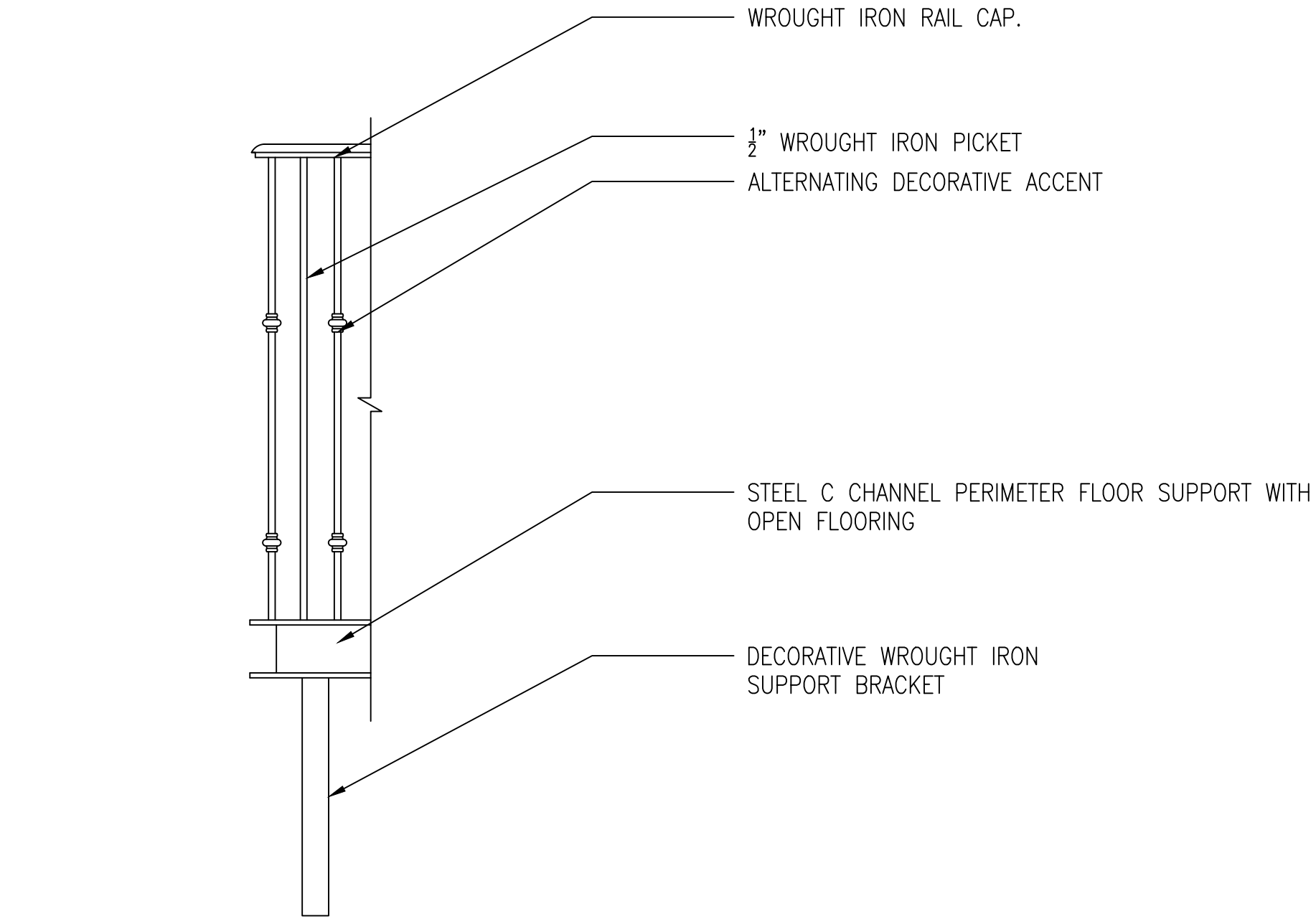
Title
MATERIAL
BOARD

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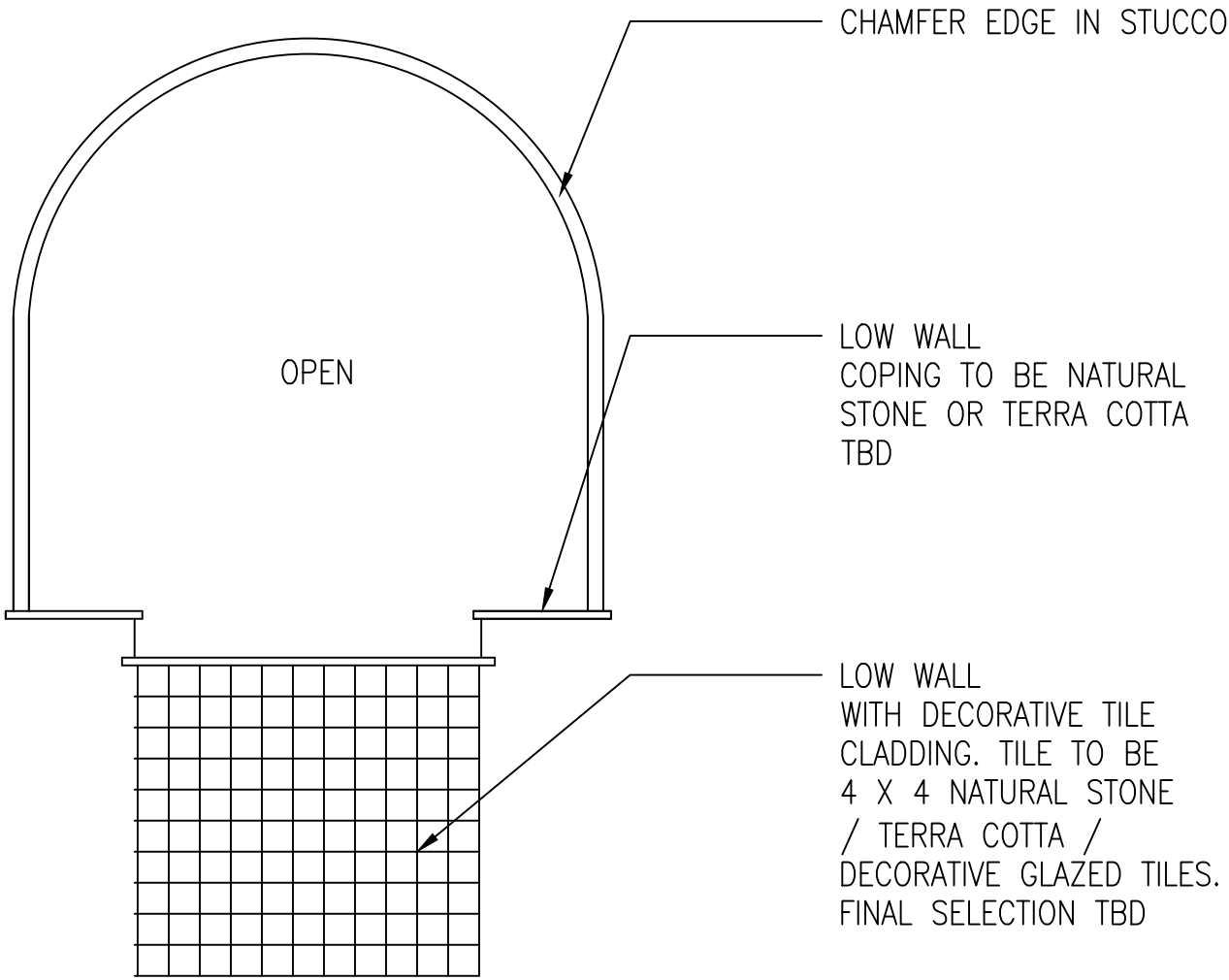
date
06/04/21
scale

project number
DRAWN BY

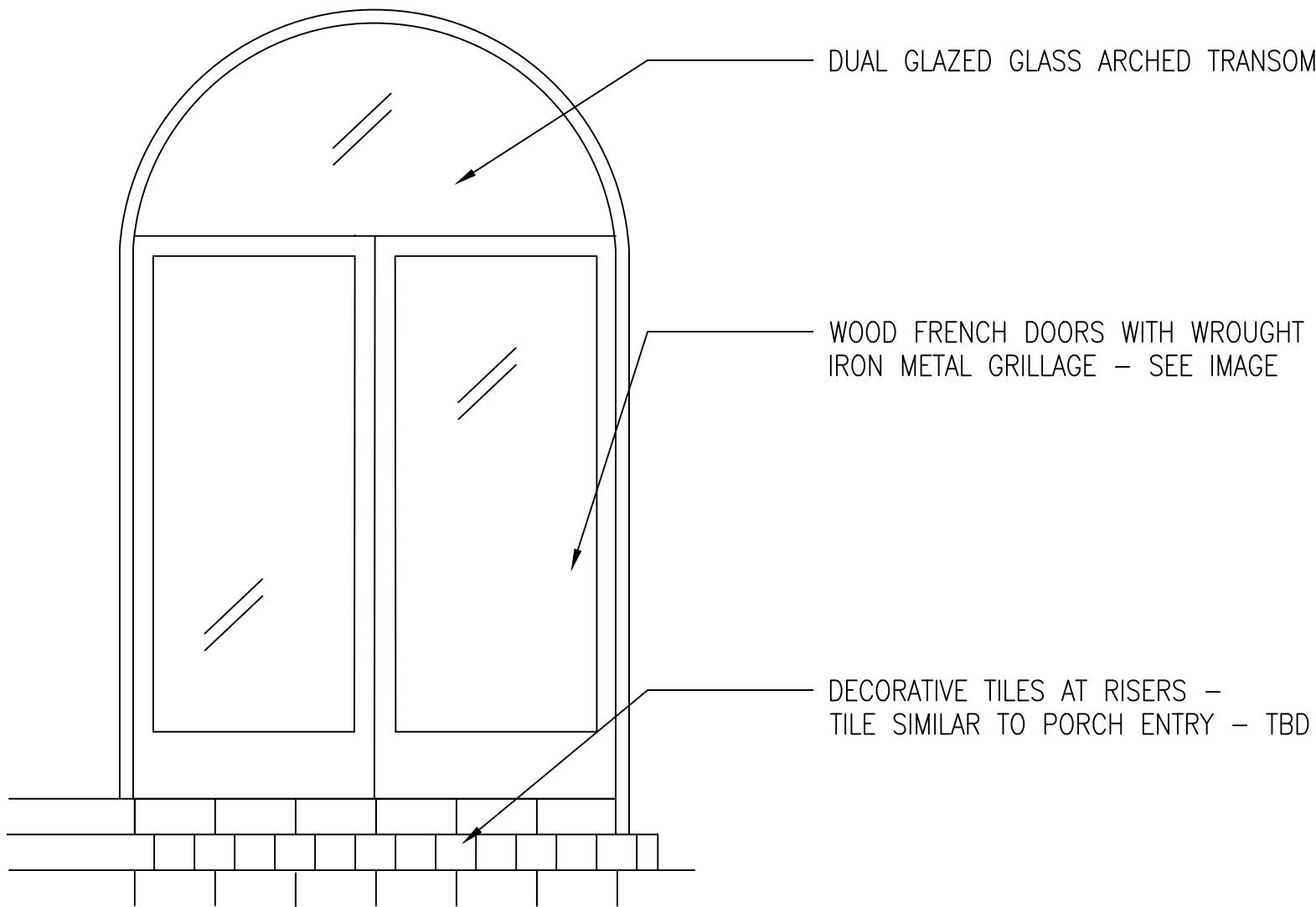
sheet number



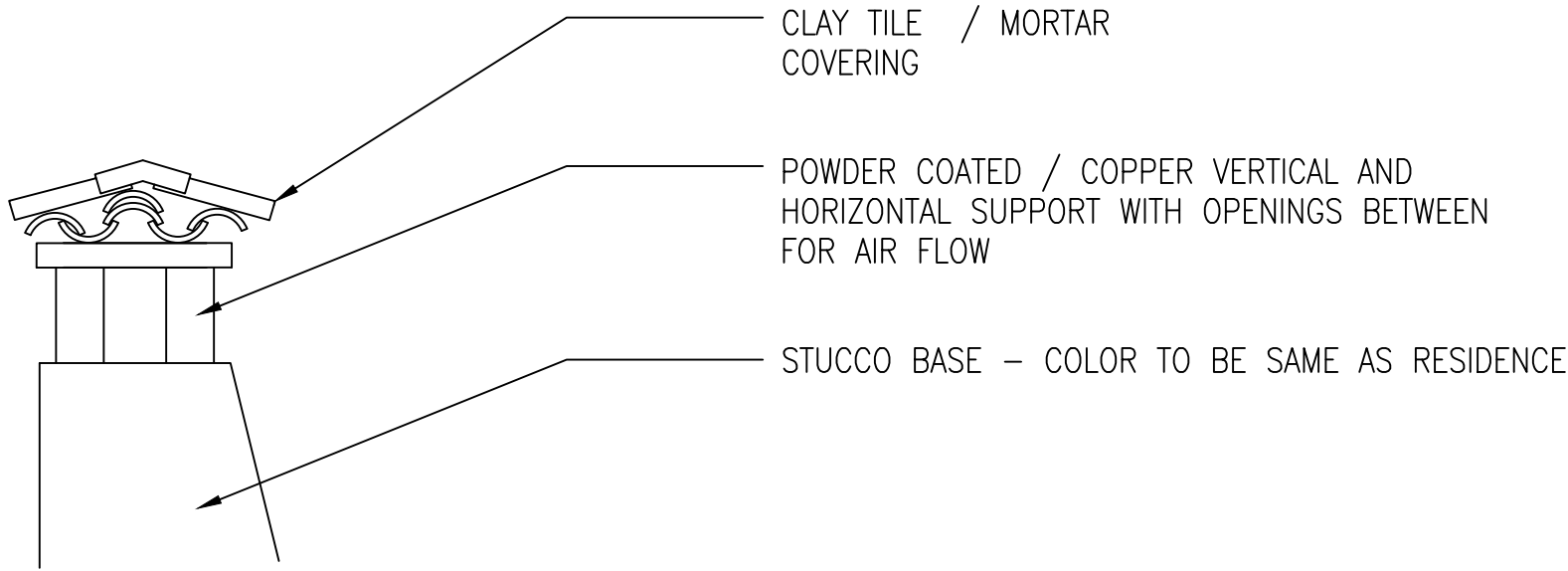
WROUGHT IRON BALCONY DETAIL



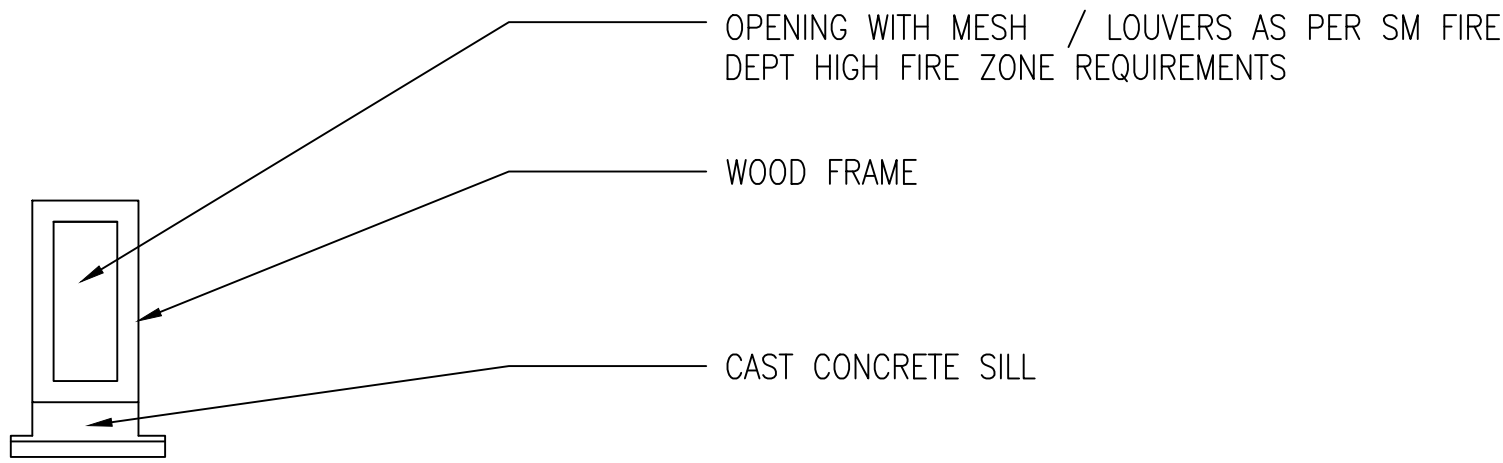
ENTRY PORCH DECORATIVE TILE DETAILS
AT PORCH / LOW WALLS



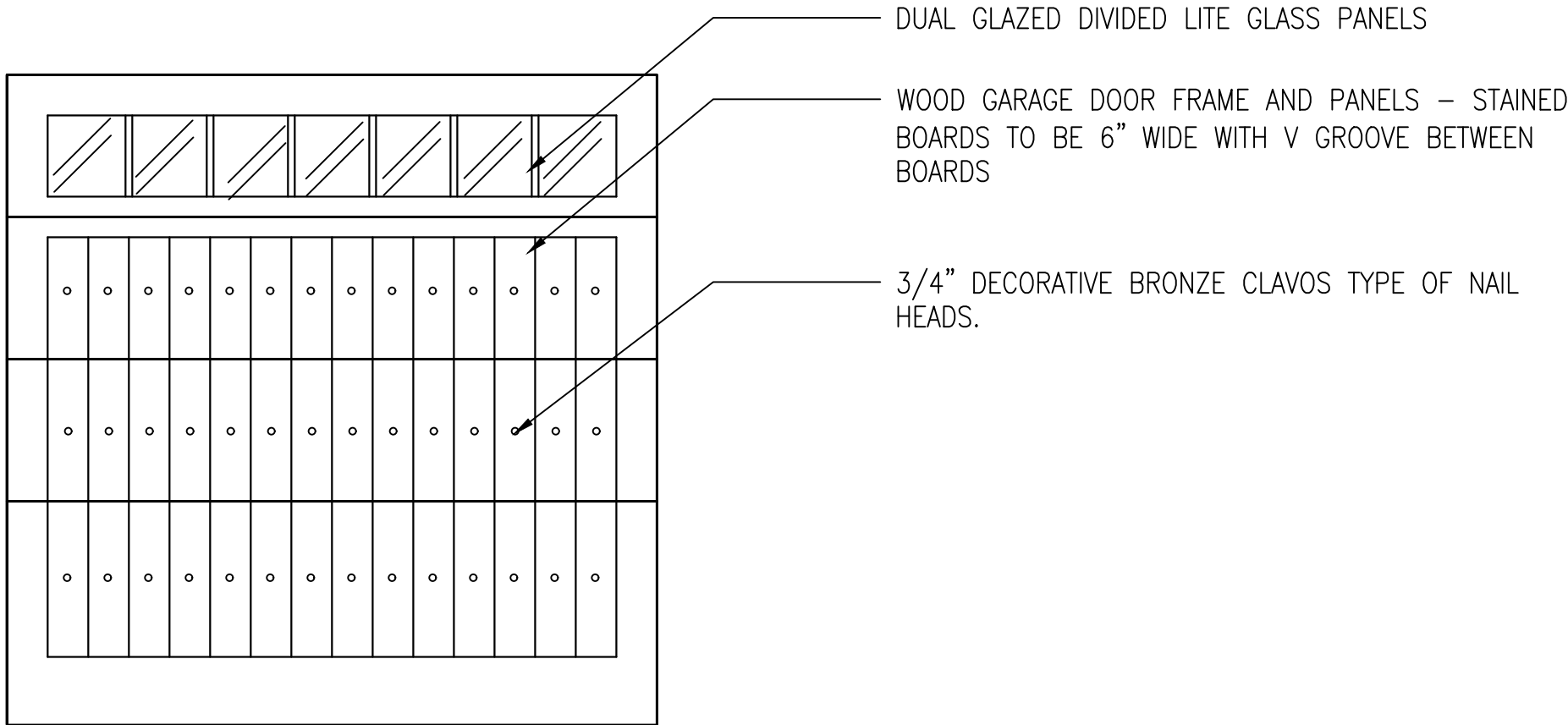
ENTRY PORCH DECORATIVE TILE DETAILS
AT PORCH / LOW WALLS



DECORATIVE VENT STACK DETAIL



ATTIC VENTILATION OPENINGS



GARAGE DOOR DETAILING



IMAGE OF THIS FRENCH DOOR IS MEANT AS A REPRESENTATIVE
SAMPLE - NOT THE FINAL SELECTION

557 Acacia

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ARCHITECT

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Title
MATERIAL
BOARD
DETAILS

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date	project number
06/04/21	
scale	DRAWN BY
NTS	

sheet number

A 7.01

LANDSCAPE CONCEPT AT FRONT GARDEN



PAVED WALKWAYS
LIMESTONE / COLORED CONCRETE

LANDSCAPE CONCEPT
- SAMPLE PLANT PALETTE



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Title
CONCEPTUAL
LANDSCAPE

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date 06/04/21 project number
scale NTS DRAWN BY

sheet number

File Attachments for Item:

2. It is recommended the Planning Commission approve Modifications to Discretionary Demolition Permit 19-05 and Design Review Permit 19-08 pursuant to Resolution 21-14 with attached conditions of approval. The modifications propose a gross square footage of the house, garage and covered patio of 3,307 square feet for the property located at 287 E. Montecito Avenue.



Planning Commission **STAFF REPORT**

*William Pevsner, Chair
Thomas Denison, Vice-Chair
Peggy Dallas, Commissioner
John Hutt, Commissioner
Bob Spears, Commissioner*

*Vincent Gonzalez, Director
Planning & Community Preservation*

DATE: August 19, 2021

TO: Planning Commission

FROM: Vincent Gonzalez, Director of Planning & Community Preservation

PREPARED BY: Joshua Wolf, Associate Planner

SUBJECT: Modification to the following discretionary entitlements:

- 1. Discretionary Demolition Permit 19-05 (DDP 19-05) to allow partial demolition of an existing single family residence that is older than 75 years of age.**
- 2. Design Review Permit 19-08 (DRP 19-08) to exceed allowable gross floor area of over 3,500 square feet on a single lot.**

Total proposed gross square footage of the house, garage and covered patio is 3,307 square feet for the property located at 287 East Montecito Avenue.

RECOMMENDATION

Approve Modifications to Discretionary Demolition Permit 19-05 and Design Review Permit 19-08 pursuant to Resolution 21-14 with attached conditions of approval.

ALTERNATIVES

- 1. Approve** the request to modify Discretionary Demolition Permit 19-05 and Design Review Permit 19-08, pursuant to Resolution 21-14 (Attachment A), subject to the conditions of approval;
- 2. Approve with modifications** the request to modify Discretionary Demolition Permit 19-05 and Design Review Permit 19-08;
- 3. Deny** the request to modify Discretionary Demolition Permit 19-05 and Design Review Permit 19-08 citing the reasons and findings for denial;

4. Continue the subject project and provide direction to staff and applicant.

EXECUTIVE SUMMARY

The applicants, Connie and Derek Kan, are requesting that the Planning Commission consider modifications to Discretionary Demolition Permit 19-05 (DDP 19-05) and Design Review Permit 19-08 (DRP 19-08).

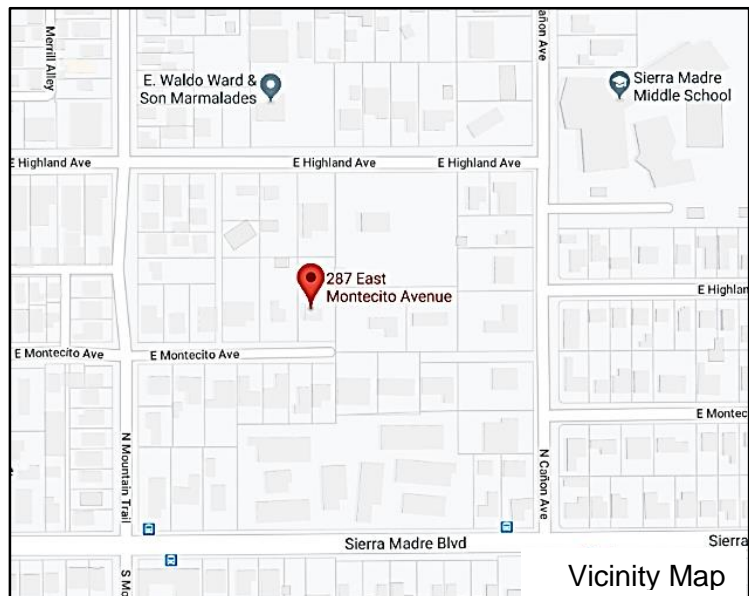
Requested Sierra Madre Municipal Code (SMMC) Land Use Entitlements

1. Pursuant to SMMC Section 17.60.056.C, no structure which was constructed seventy-five years or more prior to the date of application for review shall be demolished in part or whole without a discretionary demolition permit.
2. Pursuant to SMMC Section 17.20.027.C.3, approval of a design review permit is required to allow gross floor area of over 3,500 square feet on a single lot, either by addition or new construction, in the R-1 Zone (Single-Family Residential).

BACKGROUND

The subject property is a 17,204-square-foot rectangular lot located in the R-1 Zone (Single Family Residential) with a General Plan Land Use Designation of RL (Residential Low Density). The adjacent properties are single family residences that reflect a variety of architectural styles.

The property is immediately surrounded by single family residential uses. Multifamily uses are located west and south of the property on adjacent streets.



The property contains a two-story wood frame, single-family residence of 2,503 square feet (2,155 square feet per Los Angeles County Assessor data) and a detached one-car garage of 223 square feet. The house and garage were constructed in 1908. The house is designed in the Dutch Colonial Revival architectural style. A Historical Resource Evaluation Report was submitted on August 5, 2019. The report concluded that the property is eligible for historic landmark designation under SMMC Section 17.82.050 Criterion B - Architectural. Staff concurs with the findings and conclusions of the Historical

Resource Evaluation Report regarding eligibility for local listing as well as contributor to a National Register Historic District.

At the Planning Commission meeting of October 3, 2019, the Commission approved PC Resolution 19-10, approving the original discretionary entitlements. The review and approval of the project involved additions and alterations to the existing structure at the first and second story totaling 4,771 square feet of gross floor area. The scope of the original project is summarized below:

- 1,443-square-foot addition to existing two-story residence
- 983-square-foot remodel of interior of existing residence
- Demolish existing 1-car garage; construct 506-square-foot garage including pool bathroom
- Enclose eastern portion of screened porch
- Extensive landscape enhancements

HISTORIC RESOURCE EVALUATION

The house was constructed in 1908 in the Dutch Colonial Revival style. According to the Historic Evaluation Report prepared by Charles J. Fisher, Historian (Attachment C), the property is an un-altered example of Dutch Colonial Revival architecture. The evaluation states: although “the house was altered several times between 1957 and 1999...the house displays enough integrity to be considered for individual listing.” There is no known architect or builder associated with the original construction.

Characteristics of the Dutch Colonial Revival style as described in the Historic Resource Evaluation Report include exterior narrow clapboard siding at the first floor level and shake shingles at the second story. A second story balcony is set flush with the building face, between two forward gables. Architectural details also include boxed eaves, dentils along a freeze at the top of the first floor, multi-light double hung windows and a fan-arched medallion at the top of the window on the pediment of the right gable. Several transom style windows have narrow angular square lights in the glass. A brick chimney is set to the left top of the main transverse gable roof ridge. A small three window bay is on the West façade with lower single light casement windows, topped with diamond lighted clearstory panes.

A single car garage is northwest of the main house with hinged doors that have single four light square windows, narrow siding, matching the house and a door with a large four-light window on the east façade.

PROJECT SUMMARY

Category	Existing	Proposed	Code Requirement / Allowed	Meets Code
Lot size	17,248 s.f.	No Change	7,500 (minimum)	Yes
Lot Coverage	10.6%	14.3%	Not to exceed 40% (6,881 s.f.)	Yes
Building Height	26'-8"	No Change	25 feet	Yes
Gross Floor Area	2,503 s.f. residence (2,155 sf per Assessor data) + 223 s.f. garage = 2,726	2,726 s.f. residence 485 sf garage 156 sf patio Floor area=3,517	4,250 s.f.	Yes
Building Setbacks:				
<i>Front</i>	49'-9"	No Change	(existing)	Yes
<i>Sides</i>	Cumulative:		Cum. 26'-4" (30%)	Yes
<i>East</i>	22'-5 1/2"	No Change	10'-0" minimum any side	Yes
<i>West</i>	17'-7 1/2" residence 3' garage	No Change		Yes
<i>Rear</i>	77'-11"	103'-2 1/2" 53'-2 1/2" garage	15'	Yes
Parking	1-car garage (223 s.f.)	2-car garage (485 s.f.)	2 spaces per dwelling unit in a garage or carport for dwelling units up to 3,500 s.f.	Yes

PROPOSED PROJECT SCOPE

The applicant describes the property as a two-story residence located in the center of the property. The owner wishes to upgrade the first floor kitchen, eating area, and living room by enclosing the east patio and expanding the floor area of the first floor by 571 square feet. The second floor remodel includes reprogramming of the floor plan layout to include a master bedroom suite, expanding the powder room to a full bathroom occupying an existing bedroom; proposed work to the second floor does not include addition or expansion of the floor area. Additionally, a new two-car detached 481-square-foot garage is being added to the rear of the lot to meet parking requirements, replacing the existing 1-car garage and adjacent open parking space.

Constructed in 1908, the home is eligible for historic designation. The building details of the new addition have been differentiated from the existing fabric of the building, specific to the massing and new arched wood windows.

The project proposes a comprehensive scope of work:

1. Partial enclosure of east facing porch to accommodate new living and dining room.
2. Reconfigure lower level, expanding kitchen, dining room and living room.
3. Reconfigure upper level, removing one bedroom to accommodate an expanded master bedroom suite.
4. Install new windows for new additions.
5. Demolish existing detached 223 sf garage.
6. Construct new 481 sf 2-car garage.
7. Re-paint the exterior.
8. Renovate the interior of the house.

The modification of Design Review Permit 19-08 reduces the overall scope of work, removing the proposal to add floor area to the second story, reducing the size of the garage along with the removal of the its attached powder room and rooftop deck, and removing the proposal of all new landscaping and pool.

DESIGN ANALYSIS

The proposed project is a comprehensive renovation to the historic property with significant changes to the secondary elevations to accommodate new additions. The character defining features of the property—Dutch Gable roof, original fenestration on the primary elevation; front door, sidelights, scored concrete porch—will be maintained and restored. The house will retain its original two-story appearance from the street. The addition is differentiated through a contemporary and modern approach in form and volume with distinguished fenestration through use of arched windows.

The proposed exterior alterations and new construction on the property will be evaluated for compliance with the *Secretary of the Interior's Standards* and with the findings required for the discretionary demolition permit and design review permit. The building plans, elevations and 3-D Rendering are included in Attachment D; and Paint color, materials, and catalog cut sheets by reference of the prior approved project are included in Attachment E.

North Elevation (front view)

The existing front elevation will retain its original appearance. Existing windows to remain will be retained and repaired where necessary. New custom double-hung wood windows will be installed at areas of new construction that reference but not duplicate original windows. The exterior of the building is clad with lap siding on the first floor and cedar shake siding on the second. Dunn Edwards–Stormy Sea (dark blue) will be used for both materials and will extend on all building elevations. 1X wood trim will be painted Dunn-Edwards, Whisper (white).



South Elevation (rear view)

The majority of the rear elevation will be removed to accommodate the addition. The first floor reconfiguration includes the removal of a portion of the enclosed porch along the east building elevation, existing living room, dining room bath/laundry and kitchen. The addition and enclosure of the east facing patio includes and expanded and reconfigured kitchen and dining space.



The second floor study will be fully retained. The bedroom located on the northeast corner of the second floor will be entirely reconfigured and incorporated as part of the master bedroom suite. The portion of the balcony currently visible from this elevation will be removed to accommodate the addition.

Partial East elevation (side view)

The east elevation below includes the removal of a portion of the east facing porch. The concrete exterior steps are incorporated into the proposed addition, relocated at the rear of the addition. The existing open balcony above the porch is partially retained, preserving its appearance on the façade. New windows, consistent in proportion but differentiated by their millwork, are incorporated into the addition closely following the fenestration of the existing.



Partial West Elevation (side view)

The massing and volume as seen from the west elevation will be full retained. The project affects the west elevation by proposed remodel of the interior further requiring the replacement of windows altering but closely following the fenestration. The existing first-floor bay window and one existing double hung window will remain intact. All second-story windows on the west elevation will also remain in place.



Garage North Elevation (front view)

The existing single-car detached garage of 223 square feet will be demolished and replaced with a new 481 square foot two car garage to comply with covered parking requirements. The new garage will feature exterior wall materials and colors matching the proposed residence. The new garage will feature a parapet roof, reflecting the construction of the original. A more contemporary and modern approach is demonstrated through the use of an arched garage door. One casement window and man door will be used on the east elevation with one additional casement window used on the north elevation.



Roofing Material

As with the original proposal, the modification to this project will use composition shingle roofing for the entirety of the structure. Color to be Sablewood (brown color).

Landscaping

This modification of the prior proposal is a reduction of the scope of work. The project is no longer proposing a landscaping plan; the open space will instead be retained as-is.

PARKING REQUIREMENT

The SMMC requires a residential development in the R-1 (Single-Family Residential Zone) to have a minimum of two (2) covered parking spaces per dwelling unit; and three (3) covered spaces for a dwelling unit with habitable floor area greater than 3,500 square feet. Currently, the property has a one-car garage. The project proposes to meet the parking requirement by replacing the existing one-car garage with a new two-car detached garage in the rear yard.

TREE PROTECTION AND PRESERVATION

There are two protected Oak trees on site, located at the rear of the property. The proposed construction of the garage and additions is located outside the canopies and dripline zone of the Oak trees.

An arborist report was prepared by McKinley & Associates for the prior project to which an extensive landscape plan was proposed where impacts to the protected Oak trees was possible. The modification to Design Review Permit 19-08 no longer includes a proposal of a landscape plan and therefore imposes no significant impact to the protected Oak trees. The condition of the Public Works Department that the trees remain protected by construction fencing around the dripline zone of each tree will continue to be conditioned for this modification. For reference, the Arborist's report that was prepared for the prior project has been included as Attachment F.

ENVIRONMENTAL REVIEW

The proposed project qualifies for a Categorical Exemption (Class 3), pursuant to Section 15303(a) New Construction or Conversion of Small Structures, of the California Environmental Quality Act (CEQA) as it involves additions and alterations to a single-family residence. The Historic Resource Evaluation report concluded that the property is eligible for local historic designation under the SMMC. Therefore, the exterior alterations and new construction shall be evaluated with the *Secretary of the Interior's Standards* and the findings for the discretionary demolition permit and design review permit.

ANALYSIS

Discretionary Demolition Permit Findings

Pursuant to Code Section 17.60.056, approval of a Discretionary Demolition Permit requires that the following findings be made:

1. **The structure proposed for demolition a) has no local, state or natural historic significance as determined by the historic resources survey pursuant to Code Section 17.60.056.D.1; or b) is deemed eligible for local listing or designation under the California Historic Resource Code 1 to 5, or a contributor to an existing or potential district, and all environmental review has been conducted and/or a historical resources evaluation report with identified mitigation measures has been prepared that will allow the project to proceed with a certificate of appropriateness, including, but not limited to construction of a replacement structure in substantially similar architectural style and façade, maintenance of a plaque, photographs and/or publication describing the original structure and its local, state or national historic value, or other mitigation measures described in the environmental review document;** in that the property is eligible for designation as a local landmark under Section 17.82.050B—Architectural. A historic assessment report was prepared for the proposed project. The proposed project meets the applicable *Secretary of the Interior's Standards*, and meets the findings required for approval of a design review permit.
2. **That the proposed demolition activities will not unreasonably interfere with the use, possession, and enjoyment of surrounding and adjacent properties;** in that demolition is being undertaken according to all applicable requirements for demolition, including specified construction hours.
3. **That there is a demonstrated need for the demolition activity requested;** in that demolition of portions of the roof, exterior and interior walls and framing is necessary to accommodate the new additions and the interior renovation.
4. **That the result of the demolition activity is consistent with the objectives of the General Plan;** in that the demolition complies with all requirements of the R-1 (Single Family Residential) Zone which codifies and implements the objectives of the General Plan with respect to Residential Low Density development.
5. **That the public interest, convenience, and necessity require that the demolition activity be undertaken at the location requested;** in that the demolition is required shall meet all requirements of the California Building Code, the City's Fire Code and Zoning Code.

Design Review Permit Findings

The granting of a Design Review Permit is subject to the following findings pursuant to Code Section 17.60.041.D:

1. **The proposed project is consistent with the general plan, zoning code, and any applicable design standards;** in that the proposed project's use will remain a single family residential use and is therefore consistent with the site's current use as well as the goals of its General Plan designation of Residential – Low Density. The project complies with General Plan Objective L6 in that the project is done in harmony with its neighborhood and preserves and protects the privacy, mountain and basin views of neighboring properties. The project complies with the regulations of the Zoning Code. The project complies with the *Secretary of the Interior's Standards*.
2. **The project will not unreasonably interfere with the use, possession, and enjoyment of surrounding adjacent properties;** in that the proposed single-story addition is designed to complement the Dutch Colonial Revival architecture of the existing house. The house is predominantly sited in the center of the lot. The additions will not exceed the height of the existing house. The new second story balcony will face the large northern rear yard, away from neighboring residences. The house will continue its use as a single-family residence and will not unreasonably interfere with the use, possession, and enjoyment of surrounding adjacent properties.
3. **The height, bulk, scale, mass, and siting of the proposed project be compatible with the existing neighborhood, landforms, and surroundings;** in that the additions on the rear and east elevations will be below the existing height of the house. The house will maintain the Dutch Colonial Revival architecture. The residence, was constructed in 1908. The surrounding residential tract is a mix of single- and two-story homes, built 60 years after the subject property was developed.
4. **The proposed project reflects the scale of the neighborhood in which it is proposed and does not visually overpower or dominate the neighborhood and is not ill-proportioned so as to produce either architecture or design that detracts from foothill village setting;** in that the additions on north and east elevations will be below the maximum height of the house. The house will maintain its Dutch Colonial Revival architectural style, which is unique to the neighborhood. The project design is well-proportioned relative to the site as well as to the foothill village setting of Sierra Madre, and will not overpower or dominate the neighborhood.
5. **The proposed project neither unreasonably interferes with public views or the views and privacy of neighbors, produces unreasonable noise levels, nor**

causes material adverse impacts; in that the proposed additions are on the rear and east elevations of the house. The additions will match the existing height and pitch of the roof and do not interfere with public views. The views of the house from adjacent properties will largely remain the same in terms of overall bulk and mass of a two-story house. The proposed project will not produce unreasonable noise levels or material adverse impacts beyond those allowed and regulated through the construction process.

6. **The proposed project exhibits a coherent project-wide design, and each structure or portion thereof (especially additions) on the site is compatible with other portions of the project, regardless of whether the same are publically visible;** the additions will occur on the rear and east elevations and will be below the existing height and roof design of the house. The house will retain the Dutch Colonial Revival architectural design which is consistent on all elevations.
7. **For proposed projects seeking relief from development standards, where allowed, to accommodate characteristics of an identifiable architectural style (such as additional height, pursuant to section 17.20.020(A)), that the proposed project adheres to the norms of such identifiable architectural style and that such style is consistently carried through on all elevations of the building, regardless of whether the same are publically visible;** in that this finding is not applicable to the project. The project does not seek relief from development standards to accommodate characteristics of an identifiable architectural style.
8. **For proposed projects that require discretionary review due to exceeding size thresholds (pursuant to Sections 17.20.027(C), 17.30.045(B), 17.28.070(A)1. or similar), that the proposed is a superior project that would enhance its neighborhood and exhibit exceptional design through a combination of most, if not all, the following:**

The modification of Design Review Permit 19-08 is a reduction in the scope of work including the reduction of proposed floor area addition such that the project no longer exceeds a size threshold pursuant to Section 17.20.027. Findings 8a through 8f have been included herein only as reference based on the approval of the prior project.

- a. **Innovative, thoughtful and/or noteworthy architecture that is responsive to the specific site, rather than standard, or generic, or “cookie-cutter” plans;** *in that the additions will maintain the unique Dutch Colonial Revival architectural design of the house. The additions are in-scale and architecturally consistent with the original design.*

- b. **Where applicable, adaptive reuse or other preservation and restoration of historic structures;** *in that the house constructed in 1908 is eligible for historic designation based on Criterion B – Architectural. The additions are intended to be integrated with the original design of the house. The additions will reference but not duplicate the Dutch Colonial Revival architectural design.*
- c. **Preservation of the natural landscape to the extent possible by such means as minimizing grade changes and retaining protected specimen trees;** *in that landscape improvements will incorporate the two of the three protected Coast live oak trees in the rear yard. Removal of one Coast Live Oak with a health and condition rating of below average (D+) will be removed and appropriate mitigation will be determined for replacement value. Grading within the yards will be minimal. The property will retain the flat front yard and sloped rear yard.*
- d. **Siting of structure in keeping with landforms and so as to maximize open space, public views, and neighbor views and privacy;** *in that the house will maintain its two-story appearance from the street. The house is sited towards the center of the yard. The additions are located on the rear and east elevations of the house. The additions will match the existing roofline of the house and do not interfere with public views. The proposed second story balcony will face the northern (rear) elevation, away from neighboring residences. An existing second-story balcony along the eastern elevation will be repositioned closer to the street facing elevation, thereby minimizing views from the neighboring property to the east. The proposed landscape improvements will retain the open landscaped character of the site.*
- e. **High quality architectural details and building materials compatible with the overall project design;** *in that the project proposes materials that are compatible with the Dutch Colonial Revival style architecture of the house.*
- f. **Sustainable building and landscaping practices, especially water-saving features;** *in that the proposed project will comply with all applicable building codes to satisfy sustainable building and landscaping practices. The landscape project includes capturing, reusing and infiltrating an estimated minimum of 7,000 to 8,000 gallons of water per year that will be applied to the native, climate-appropriate gardens. Existing hardscape materials to be removed will be repurposed including asphalt driveway, concrete surfaces, and existing boulders.*

Secretary of The Interior's Standards for Rehabilitation Findings

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and

environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment;** in that the property will continue to be used as a single family residence containing a house and a garage.
2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;** in that the character defining features of the property—Dutch Gable roof and eave detail, original fenestration on the primary elevation; front door, sidelights, scored concrete porch—will be maintained and restored. The house will retain its original two-story appearance from the street. The new windows align with the original fenestration and the window design will be slightly differentiated in order to distinguish the new construction from the original house.
3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken;** in that the character-defining elements of the house will be preserved. The additions to the north and east elevations are complementary with the architecture style of the house. The project does not propose to add conjectural features or architectural elements of a different style.
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved;** in that the house was constructed in 1908. The eastern half of the front elevation includes a side screened porch. The street facing portion of this feature will be retained. Preserving the feature of the house as viewed from the street. The enclosure of the porch area will be incorporated into the living and dining room addition.
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved;** in that the original Dutch Gable roof and eave detail, the building height, fenestration, and primary materials of wood will be retained and referenced in the new construction.
6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence;** project does not propose any alterations that would cause damage to historic features or require such features to be restored on the street facing elevation.

7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;** in that the project does not propose any harsh treatments that would cause damage to the historic features of the house.
8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken;** in that no archeological resources have been identified on the property.
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment;** in that partial demolition of existing walls and windows on the secondary elevations is required in order construct additions to the house. The additions are not voluminous. The new windows align with the original fenestration and the window design will be slightly differentiated in order to distinguish the new construction from the original house. The Dutch Colonial Revival roof and eave design will match the pitch of the original roof. The rear (north) elevation complements the design of the existing two-story component of the existing house.
10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired;** in that the additions are intended to be integrated with the original design of the house. The house will retain its two-story massing, fenestration, roof and eave design, and building height.

PUBLIC NOTIFICATION PROCESS

This item has been noticed through the regular agenda notification process. Copies of this report are available at City Hall, at the Sierra Madre Public Library, and can be accessed on the City's website at www.cityofsierramadre.com.

Attachments:

- | | |
|---------------|--|
| Attachment A: | Planning Commission Resolution 21-14 |
| Attachment B: | Site Photographs |
| Attachment C: | Historic Resource Evaluation |
| Attachment D: | Plans, Elevations and 3-D Renderings |
| Attachment E: | Paint Color, Materials, Catalog Cut Sheets |
| Attachment F: | Arborist Report and Tree Inventory |
| Attachment G: | Planning Commission Resolution 19-10 |

PC RESOLUTION 21-14

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SIERRA MADRE APPROVING THE MODIFICATION OF DISCRETIONARY DEMOLITION PERMIT 19-05 AND DESIGN REVIEW PERMIT 19-08 AT THE PROPERTY LOCATED AT 287 EAST MONTECITO AVENUE

THE PLANNING COMMISSION OF THE CITY OF SIERRA MADRE DOES HEREBY RESOLVE:

WHEREAS, an application for a Discretionary Demolition Permit and a Design Review Permit were filed by:

**Connie and Derek Kan
287 East Montecito Avenue
Sierra Madre, CA 91024**

WHEREAS, the request for a DISCRETIONARY DEMOLITION PERMIT AND DESIGN REVIEW PERMIT can be described as:

A request to allow the partial demolition of an existing single family residence that is older than 75 years of age (circa 1908), to expand the first floor by 571 square feet, and to construct a detached two-car garage on the existing single-family property. The project proposes a total of 3,307 square feet including the house and garage.

WHEREAS, according to the historic resources survey prepared for the property, the report indicates that the house and garage constructed in 1908 are not eligible, under Criterion A–Historic; however, the house has retained the distinctive character defining features that define Dutch Colonial Revival style architecture, and is therefore, eligible for Local Landmark designation under Criterion B–Architectural, and

WHEREAS, Pursuant to SMMC 17.60.180, any condition imposed upon the granting of a zone variance or conditional use permit, including a zoning approval granted prior to the adoption of these regulations, may be modified or eliminated, or new conditions may be modified or eliminated, or new conditions may be added; provided, that the body which granted the zone variance or conditional use permit which is the subject of the modification proceeding shall first conduct a public hearing thereon, noticed in the same manner as was required for its initial granting. No such modification shall be granted unless the granting body finds that such modification is necessary to protect the public peace, health and safety, or that such action is necessary to permit reasonable operation under the zone variance or conditional use permit, as granted. If the modification hearing is conducted by the commission, its decision shall be subject to review on appeal in the time and manner set forth in Chapter 17.66 of this title; and

WHEREAS, the Planning Commission has received the report and recommendations of staff; and

WHEREAS, the original public hearing was held before the Planning Commission on October 3, 2019, with all testimony received being made part of the public record, resulting in the decision to approve the project as presented; and

WHEREAS, a public hearing was held before the Planning Commission on August 19, 2021, with all testimony received being made part of the public record; and

WHEREAS, the proposed project qualifies for a Categorical Exemption (Class 3), pursuant to Section 15303(a) New Construction or Conversion of Small Structures, of the California Environmental Quality Act (CEQA) as it involves additions and alterations to a single-family residence. The Historic Resource Evaluation report concluded that the property is eligible for local historic designation under the SMMC. Therefore, the exterior alterations and new construction shall be evaluated with the *Secretary of the Interior's Standards* and the findings for the discretionary demolition permit and design review permit.

NOW THEREFORE, in consideration of the evidence received at the hearing, and for the reasons discussed by the Commissioners at said hearing, the Planning Commission now finds as follows:

Discretionary Demolition Permit Findings

Pursuant to Code Section 17.60.056, approval of a Discretionary Demolition Permit requires that the following findings be made:

- 1. The structure proposed for demolition a) has no local, state or natural historic significance as determined by the historic resources survey pursuant to Code Section 17.60.056.D.1; or b) is deemed eligible for local listing or designation under the California Historic Resource Code 1 to 5, or a contributor to an existing or potential district, and all environmental review has been conducted and/or a historical resources evaluation report with identified mitigation measures has been prepared that will allow the project to proceed with a certificate of appropriateness, including, but not limited to construction of a replacement structure in substantially similar architectural style and façade, maintenance of a plaque, photographs and/or publication describing the original structure and its local, state or national historic value, or other mitigation measures described in the environmental review document; in that the property is eligible for designation as a local landmark under Section 17.82.050B—Architectural. A historic assessment report was prepared for the proposed project. The proposed project meets the applicable *Secretary of the Interior's Standards*, and meets the findings required for approval of a design review permit.**
- 2. That the proposed demolition activities will not unreasonably interfere with the use, possession, and enjoyment of surrounding and adjacent properties; in that demolition is being undertaken according to all applicable requirements for demolition, including specified construction hours.**

3. **That there is a demonstrated need for the demolition activity requested;** in that demolition of portions of the roof, exterior and interior walls and framing is necessary to accommodate the new additions and the interior renovation.
4. **That the result of the demolition activity is consistent with the objectives of the General Plan;** in that the demolition complies with all requirements of the R-1 (Single Family Residential) Zone which codifies and implements the objectives of the General Plan with respect to Residential Low Density development.
5. **That the public interest, convenience, and necessity require that the demolition activity be undertaken at the location requested;** in that the demolition is required shall meet all requirements of the California Building Code, the City's Fire Code and Zoning Code.

Design Review Permit Findings

The granting of a Design Review Permit is subject to the following findings pursuant to Code Section 17.60.041.D:

1. **The proposed project is consistent with the general plan, zoning code, and any applicable design standards;** in that the proposed project's use will remain a single family residential use and is therefore consistent with the site's current use as well as the goals of its General Plan designation of Residential – Low Density. The project complies with General Plan Objective L6 in that the project is done in harmony with its neighborhood and preserves and protects the privacy, mountain and basin views of neighboring properties. The project complies with the regulations of the Zoning Code. The project complies with the *Secretary of the Interior's Standards*.
2. **The project will not unreasonably interfere with the use, possession, and enjoyment of surrounding adjacent properties;** in that the proposed single-story addition is designed to complement the Dutch Colonial Revival architecture of the existing house. The house is predominantly sited in the center of the lot. The additions will not exceed the height of the existing house. The new second story balcony will face the large northern rear yard, away from neighboring residences. The house will continue its use as a single-family residence and will not unreasonably interfere with the use, possession, and enjoyment of surrounding adjacent properties.
3. **The height, bulk, scale, mass, and siting of the proposed project be compatible with the existing neighborhood, landforms, and surroundings;** in that the additions on the rear and east elevations will be below the existing height of the house. The house will maintain the Dutch Colonial Revival architecture. The residence, was constructed in 1908. The surrounding residential tract is a mix of single- and two-story homes, built 60 years after the subject property was developed.
4. **The proposed project reflects the scale of the neighborhood in which it is proposed and does not visually overpower or dominate the neighborhood and is not ill-proportioned so as to produce either architecture or design that detracts from foothill village setting;** in that the additions on north and east

elevations will be below the maximum height of the house. The house will maintain its Dutch Colonial Revival architectural style, which is unique to the neighborhood. The project design is well-proportioned relative to the site as well as to the foothill village setting of Sierra Madre, and will not overpower or dominate the neighborhood.

5. **The proposed project neither unreasonably interferes with public views or the views and privacy of neighbors, produces unreasonable noise levels, nor causes material adverse impacts;** in that the proposed additions are on the rear and east elevations of the house. The additions will match the existing height and pitch of the roof and do not interfere with public views. The views of the house from adjacent properties will largely remain the same in terms of overall bulk and mass of a two-story house. The proposed project will not produce unreasonable noise levels or material adverse impacts beyond those allowed and regulated through the construction process.
6. **The proposed project exhibits a coherent project-wide design, and each structure or portion thereof (especially additions) on the site is compatible with other portions of the project, regardless of whether the same are publically visible;** the additions will occur on the rear and east elevations and will be below the existing height and roof design of the house. The house will retain the Dutch Colonial Revival architectural design which is consistent on all elevations.
7. **For proposed projects seeking relief from development standards, where allowed, to accommodate characteristics of an identifiable architectural style (such as additional height, pursuant to section 17.20.020(A)), that the proposed project adheres to the norms of such identifiable architectural style and that such style is consistently carried through on all elevations of the building, regardless of whether the same are publically visible;** in that this finding is not applicable to the project. The project does not seek relief from development standards to accommodate characteristics of an identifiable architectural style.
8. **For proposed projects that require discretionary review due to exceeding size thresholds (pursuant to Sections 17.20.027(C), 17.30.045(B), 17.28.070(A)1. or similar), that the proposed is a superior project that would enhance its neighborhood and exhibit exceptional design through a combination of most, if not all, the following:**

The modification of Design Review Permit 19-08 is a reduction in the scope of work including the reduction of proposed floor area addition such that the project no longer exceeds a size threshold pursuant to Section 17.20.027. Findings 8a through 8f have been included herein only as reference based on the approval of the prior project.

- a. **Innovative, thoughtful and/or noteworthy architecture that is responsive to the specific site, rather than standard, or generic, or “cookie-cutter” plans;** *in that the additions will maintain the unique Dutch Colonial Revival architectural design of the house. The additions are in-scale and architecturally consistent with the original design.*

- b. **Where applicable, adaptive reuse or other preservation and restoration of historic structures;** *in that the house constructed in 1908 is eligible for historic designation based on Criterion B – Architectural. The additions are intended to be integrated with the original design of the house. The additions will reference but not duplicate the Dutch Colonial Revival architectural design.*
- c. **Preservation of the natural landscape to the extent possible by such means as minimizing grade changes and retaining protected specimen trees;** *in that landscape improvements will incorporate the two of the three protected Coast live oak trees in the rear yard. Removal of one Coast Live Oak with a health and condition rating of below average (D+) will be removed and appropriate mitigation will be determined for replacement value. Grading within the yards will be minimal. The property will retain the flat front yard and sloped rear yard.*
- d. **Siting of structure in keeping with landforms and so as to maximize open space, public views, and neighbor views and privacy;** *in that the house will maintain its two-story appearance from the street. The house is sited towards the center of the yard. The additions are located on the rear and east elevations of the house. The additions will match the existing roofline of the house and do not interfere with public views. The proposed second story balcony will face the northern (rear) elevation, away from neighboring residences. An existing second-story balcony along the eastern elevation will be repositioned closer to the street facing elevation, thereby minimizing views from the neighboring property to the east. The proposed landscape improvements will retain the open landscaped character of the site.*
- e. **High quality architectural details and building materials compatible with the overall project design;** *in that the project proposes materials that are compatible with the Dutch Colonial Revival style architecture of the house.*
- f. **Sustainable building and landscaping practices, especially water-saving features;** *in that the proposed project will comply with all applicable building codes to satisfy sustainable building and landscaping practices. The landscape project includes capturing, reusing and infiltrating an estimated minimum of 7,000 to 8,000 gallons of water per year that will be applied to the native, climate-appropriate gardens. Existing hardscape materials to be removed will be repurposed including asphalt driveway, concrete surfaces, and existing boulders.*

Secretary of The Interior's Standards for Rehabilitation Findings

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its**

site and environment; in that the property will continue to be used as a single family residence containing a house and a garage.

2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;** in that the character defining features of the property—Dutch Gable roof and eave detail, original fenestration on the primary elevation; front door, sidelights, scored concrete porch—will be maintained and restored. The house will retain its original two-story appearance from the street. The new windows align with the original fenestration and the window design will be slightly differentiated in order to distinguish the new construction from the original house.
3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken;** in that the character-defining elements of the house will be preserved. The additions to the north and east elevations are complementary with the architecture style of the house. The project does not propose to add conjectural features or architectural elements of a different style.
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved;** in that the house was constructed in 1908. The eastern half of the front elevation includes a side screened porch. The street facing portion of this feature will be retained. Preserving the feature of the house as viewed from the street. The enclosure of the porch area will be incorporated into the living and dining room addition.
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved;** in that the original Dutch Gable roof and eave detail, the building height, fenestration, and primary materials of wood will be retained and referenced in the new construction.
6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence;** project does not propose any alterations that would cause damage to historic features or require such features to be restored on the street facing elevation.
7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;** in that the project does not propose any harsh treatments that would cause damage to the historic features of the house.

8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken;** in that no archeological resources have been identified on the property.
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment;** in that partial demolition of existing walls and windows on the secondary elevations is required in order to construct additions to the house. The additions are not voluminous. The new windows align with the original fenestration and the window design will be slightly differentiated in order to distinguish the new construction from the original house. The Dutch Colonial Revival roof and eave design will match the pitch of the original roof. The rear (north) elevation complements the design of the existing two-story component of the existing house.
10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired;** in that the additions are intended to be integrated with the original design of the house. The house will retain its two-story massing, fenestration, roof and eave design, and building height.

PURSUANT TO THE ABOVE FINDINGS, IT IS RESOLVED that the Planning Commission APPROVES the Modification to Discretionary Demolition Permit 19-05 (DDP 19-05) and Design Review Permit 19-08 (DRP 19-08), subject to the attached conditions of approval in the Attached Exhibit A.

The approval is final, unless appealed to the City Council in writing within ten (10) days following the adoption of this Resolution, pursuant to the provisions of Section 17.60.120 of the Sierra Madre Municipal Code.

The time in which to seek judicial review of this decision shall be governed by Code of Civil Procedure Section 1094.6. The Planning Commission Secretary shall certify to the adoption of this resolution, transmit copies of the same to the applicant and his counsel, if any, together with a proof of mailing in the form required by law and shall enter a certified copy of this resolution in the book of resolution of the City.

APPROVED, the ____ day of _____ 2021, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

William Pevsner, Chair
Sierra Madre Planning Commission

ATTEST:

Vincent Gonzalez, Director
Planning & Community Preservation Department

**CONDITIONS OF APPROVAL
MODIFICATION TO DISCRETIONARY DEMOLITION PERMIT 19-05 AND DESIGN
REVIEW PERMIT 19-08**

General Conditions:

The applicant and property owner shall:

1. Comply with all applicable provisions of the Sierra Madre Municipal Code, including but not limited to those Chapters pertaining to Zoning, Building and Construction, Vehicles and Traffic, and Health and Safety, and including all such provisions which may be contained in Uniform Codes which have been incorporated by reference within the Sierra Madre Municipal Code.
2. Comply with all applicable provisions of Federal, State and Los Angeles County law and regulations, including but not limited to the California Environmental Quality Act.
3. Execute and deliver to the City's Department of Development Services an Affidavit of Acceptance of Conditions on a form to be provided by such Department within ten business days of the date of this approval. This approval shall not be effective for any purpose until the Applicant complies with this condition.
4. To the fullest extent permitted by law, fully protect the City, its employees, agents and officials from any loss, injury, damage, claim, lawsuit, expense, attorneys' fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this approval, or the activities conducted pursuant to this approval. Accordingly, to the fullest extent permitted by law, the applicant and property owner shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorneys' fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this approval, or the activities conducted pursuant to this approval. Applicant and property owner shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

Planning Department Conditions:

The applicant and property owner shall:

1. Construct the project in substantial conformance with all applications and supporting materials presented to the Planning Commission on _____, 2021. Inaccuracies and misrepresentations will be grounds for immediate revocation of the Design Review permit.

2. Ensure that all security and landscape lighting shall be either shielded, directed downward, and/or away from neighboring properties or streets. Exposed light bulbs shall not be permitted.
3. Submit construction plans, for 1st Plan Check within one (1) year of the date of this approval; failure to do so will constitute an abandonment of the entitlement, and shall render this approval null and void.
4. Prior to the issuance of building permits, provide a letter to the Planning and Community Preservation Department certifying that the grading was accomplished in accordance with the approved set of plans and that the grading complies with his or her recommendations for site grading.
5. Applicant shall comply with the requirements of the Water Efficient Landscape and Irrigation Ordinance.
6. Utilities shall be underground and connected to the utility pole on Highland Avenue (in lieu of utility pole on neighboring property to the east).

Public Works Department Conditions:

1. The applicant shall identify all protected trees on property by species, diameter at breast height, and identify canopy of protected trees with an eight-point compass measurement from trunk. Also identify encroaching canopy of any protected trees on neighboring properties.
2. The applicant shall describe any proposed removal or pruning impacts (root zone or canopy) that will be required for the construction of the new structure for each protected tree onsite or encroaching from neighboring properties.
3. The applicant shall propose mitigation for all protected trees to be removed and/or substantially pruned.
4. Plan shall, at a minimum, indicate how the protected trees will be fenced to protect low branches and root zones, and prevent storage of construction materials under the tree.
5. Review the Procedures for Demolition of a building.
6. Review the requirements for construction plans, grading and drainage plans and LID requirements.
7. List of forms to be filled out and submitted for approval.

Conditions of Approval:

- A. All tree protective recommendations shall be followed throughout the construction process.

- B. "Per Arborist Report, the Coast Live Oak *Quercus agrifolia* identified as Tree #2 and recommended for removal is approved for removal. However, per the approved mitigation matrix, the mitigation for this tree is based on an 18 inch diameter at breast height (dba) and a Grade 3 (corresponding with the Arborist's grade of C-) which would require 3 for 1 mitigation. Three trees, of a species approved by the Department of Public Works must be planted on the property. If it is determined that the planting of mitigation trees is infeasible or otherwise inadvisable, the applicant may pay an in-lieu mitigation fee of \$550.00 per tree."
- C. All buildings shall be connected to the public sewer.
- D. Driveway approach to be added and abandoned drive approaches to be replaced with all damaged curb and gutter, separate PW permit required.
- E. Public improvements on the city parkway shall be permitted and inspected by the Public Works Department.

Fire Department Conditions:

The applicant and property owner shall:

1. Pursuant to Sierra Madre Municipal Code Section 15.24.120(B), an automatic fire sprinkler systems shall be installed in all new Group U as classified in the International Fire Code, which are located within thirty-five feet of any exposure.
2. An inspection shall be scheduled with the Building and Safety Department following the demolition required for construction of the project.
3. In the event that, at any point throughout the duration of the project, it is found that installation of fire sprinklers be required in accordance with Chapter 15.24 of the Sierra Madre Municipal Code, the applicant shall be notified by the Fire Marshall of the requirement.

(End of conditions)

ROBERTS PLANNING APPLICATION – PHOTOS & MATERIALS
287 East Montecito Ave.



PANORAMA OF SUBJECT PARCEL STREET ELEVATION LOOKING NORTH



PANORAMA OF SUBJECT PARCEL CENTER WITH ADJACENT STRUCTURES LOOKING NORTH



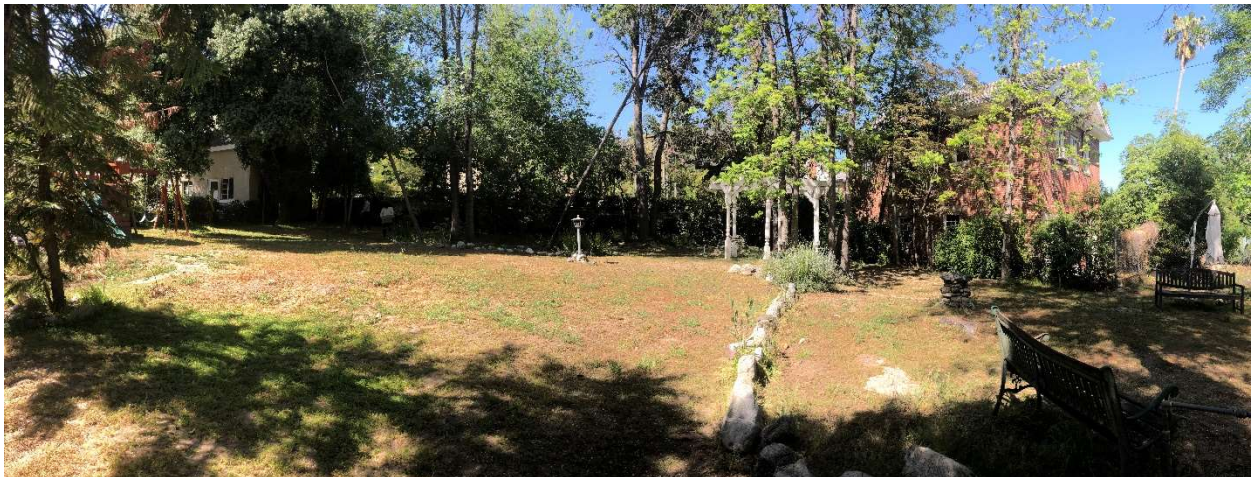
PANORAMA FROM WITH SUBJECT PARCEL LOOKING SOUTH



PANORAMA OF SUBJECT PARCEL EAST SIDE YARD OF EXISTING STRUCTURE



PANORAMA OF SUBJECT PARCEL VIEWING NORTH ELEVATION OF EXISTING HOME AND DETACHED GARAGE WITH GARDEN



PANORAMA OF SUBJECT PARCEL REAR PROPERTY LINE WITH ADJACENT STRUCTURES



PANORAMA OF SUBJECT PARCEL REAR SIDE YARD WITH ADJACENT STRUCTURES LOOKING EAST



EXISTING DETACHED GARAGE



EXISTING DETACHED GARAGE

ROBERTS PLANNING APPLICATION – PHOTOS & MATERIALS
287 East Montecito Ave.



EXISTING DRIVEWAY AND WEST ELEVATION



EXISTING PINE AT FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING REAR ELEVATION

ROBERTS PLANNING APPLICATION – PHOTOS & MATERIALS
287 East Montecito Ave.



REAR ELEVATION DETAILS



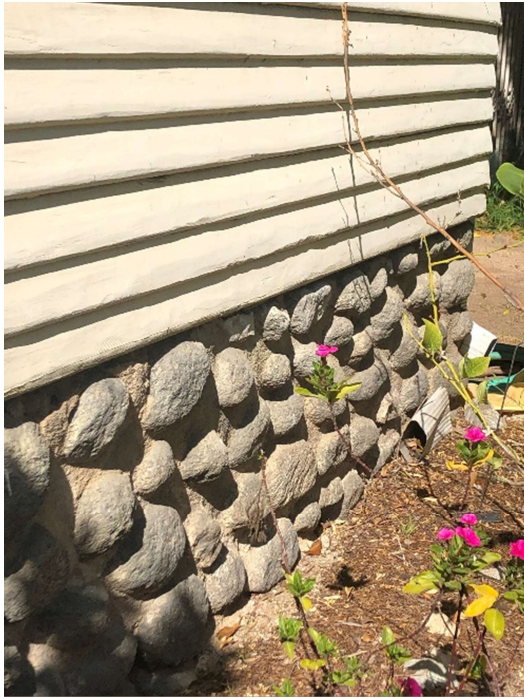
ENTER ROOF DETAILS



SIDING 4" FLARE DETAIL / ROOF VENT



WINDOW AND TRIM DETAILS



STONE AT FOUNDATION BASE



STONE BASE AT PUBLIC SIDEWAY



LOW STONE WALL AT EAST PARKING



STONE WALL AT EXISTING DRIVEWAY



ROOF VENTING DETAIL



BEAM AND GAURDRAIL DETAIL



BRACE DETAIL AT ROOF OVERHANG



TYPICAL EXTERIOR TRIM AT SILL

ROBERTS PLANNING APPLICATION – PHOTOS & MATERIALS
287 East Montecito Ave.



NEIGHBORHOOD CONTEXT ACROSS THE STREET



ADJACENT PARCEL TO THE EAST



NEIGHBORHOOD CONTEXT ACROSS THE STREET



ADJACENT HOME TO THE WEST

Historical Resource Evaluation



**Coffey-Schwartz Residence
287 E. Montecito Avenue, Sierra Madre
Lot 7, Santa Magdalena Tract
as per Map Recorded in Book 9, Page 146 of Maps
of Los Angeles County**

Prepared by:

Charles J. Fisher, Historian
140 S. Avenue 57
Highland Park, CA 90042

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Section I

Executive Summary

The purpose of this report is to evaluate the structure located at 287 E. Montecito Avenue, in the City of Sierra Madre, California, to determine whether it meets the requirements as a historical resource in accordance with Section 15064.5 of the California Environmental Quality Act (CEQA). The ultimate conclusions in this report represent the professional opinions of the author and are based on the data that has been found through research of the historical and architectural background of the subject property that was available at the time of preparation, as well as the application of local, state and federal criteria of eligibility as well as the best professional practices.

This report has been prepared for the property owners, Marc G. and Vanessa Rivera Roberts, for the purpose of determining the level of significance of the structure that is presently on the property. The report looks at the resource at the National level in order to determine a California Historical Resource Status Code, however it is also discussed at the local level for the purpose of establishing its level of significance under the Sierra Madre City ordinance.

The author is a professional historian with extensive experience in property research and historic preservation, dating from the mid 1980's. This background includes the research, preparation and/or advocacy of over 160 Historic Cultural Monument Nominations for the City of Los Angeles, three for Ventura County, one in the City of Ojai and two in the City of Sierra Madre, as well as research and documentation of numerous other historic structures. Other qualifications include work as a past president and board member of the Highland Park Heritage Trust, past co-chair of the Cultural Resources Committee of the Los Angeles Conservancy, president of the Heritage Coalition of Southern California and 28 years doing property research for Transamerica Real Estate Tax Service.

The resource to be evaluated is a 2-story, single-family residential building built in 1908 and located at the center of the property, referred to as the Coffey-Schwartz Residence, named for its first and first long-term owners. It is sited on Lot 7 of the Santa Madalina Tract, which is recorded in Book 9, Page 146 of Maps in the Office of the County Recorder of Los Angeles County, and is identified with Los Angeles County Assessor's Parcel No. 5767-011-011.

The structure is not presently listed on any local, state or federal register nor is it listed as a contributor to any local, state or federal historic district

The full legal description of the property is as follows:

LOT 7, SANTA MADALINA TRACT, IN THE CITY OF SIERRA MADRE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGE 146 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY:

The subject house was originally built in 1908, by and unknown contractor for Annie B. Coffey. Coffey married a retired New York contractor named W. L. Garland in 1915. In 1921, she sold her house to Preston Schwartz. He and his heirs were to remain there until 1984.

The site is situated in the Eastern portion of the City of Sierra Madre and is located at N34° 9.8042', W118° 2.803'.



Red arrow points to Coffey-Schwartz Residence on detail of United States Department of Interior Topographic Map of Sierra Madre, Los Angeles County, California.

Section II

Methodology

In evaluating a potential historic property, several criteria are employed, including an analysis of architectural and historical significance, as well as specific evaluations as to whether the subject property meets the various requirements for it to be considered historic.

These requirements may include the age and rarity of the design, significance of an architect, builder or owner/resident of the property, along with how the structure relates to its historic context, how much of its own architectural integrity has survived as well as whether non-historic alterations can be easily reversed.

Age and integrity are important criteria here because the structure was built 110 years ago. However it has also undergone some alterations and additions.

A site visit was made on December 12, 2017 when photos were taken of the exterior and interior of the subject property.

An analysis was also made of the history of the structure including owners, occupants, using various public records, such as census data, death records and newspaper citations. Some historical context was also gathered from previously published books and articles as noted in the bibliography.

Section III

Historic Property Regulations

In a determination of eligibility a potential historic resource must be considered under the California Environmental Quality Act (CEQA) to determine if it is either eligible for the California Register of Historic Resources (California Register). The California Register is modeled after the National Register of Historic Places (National Register). There are only a handful of differences in the standards for the National and California Registers. The California Register has a slightly lower integrity requirement than the National Register. A resource is also presumed to be historic if it is locally listed or has been identified as historically significant in a historic resources survey.

However, a preponderance of evidence could show that a property so is either no longer historic due to alterations subsequent to a survey or further examination has found that it does not meet the criteria and requirements set forth in the California Register. The National and California Register programs are discussed below.

National Register of Historic Places

The National Register is described in Title 36 of the Code of Federal Regulations as “an authoritative guide to be used by federal, state or local governments, private groups and citizens to identify the nation’s cultural resources and to indicate what properties should be protected from destruction or impairment.”

To be eligible for listing in the National Register, the resource must normally be at least 50 years of age and must possess significance in American history and culture, architecture or archeology. To be considered significant, a property must meet one or more of the following four established criteria:

- A. It must be associated with events that have made a significant contribution to the broad patterns of our history; or
- B. It must be associated with the lives of persons significant in our past; or
- C. It must embody the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. That it yield, or may be likely to yield, information important in prehistory or history.

The resource must also have integrity so that, according to National Register Bulletin #15 on How to Apply the National Register Criteria for Evaluation, “to be eligible for the National Register, a property must not only be shown to be significant under National Register criteria, but it must also have integrity”, which is the ability of the resource to convey its significance. In other words, a property must not be so altered from the condition during the period of significance, that it fails to show the reasons for that significance.

A resource should also be significant within a historic context to be eligible for listing. According to National Register Bulletin #15, historic contexts are “those patterns, themes or trends in history by which a specific occurrence, property, or site is understood and its meaning (and ultimately its significance) within history or prehistory is made clear.” The significance of a historic property can be determined only when it is evaluated within its historic context. The resource must represent an important aspect of the area’s history or prehistory and still have the integrity to convey that to qualify for the National Register.

The National Register also allows for the establishment of historic districts, where the properties may not be eligible for individual listing, but as a grouping, convey both the integrity and context to meet one or more of the four criteria.

California Register of Historic Resources

The California Register was established in 1992, when Governor Pete Wilson signed Assembly Bill 2881. Like the National Register, the California Register is used by state and local agencies, private groups and individual citizens to identify and list historic resources and to help determine which resources are to be protected, to the extent prudent and feasible, from substantial adverse impacts.

The California Register consists of all California properties that are listed on or determined eligible for the National Register and all California Landmarks from No. 770 up, which are automatically listed, as well as others that are directly nominated by an application processed through a public hearing process and are determined eligible for listing by the State Historic Resources Commission (SHRC). In addition, those California Points of Historical Interest that have been evaluated by the Office of

Historic Preservation (OHP) and have been recommended to the SHRC are automatically listed.

To be eligible for listing in the California Register, the resource must normally be at least 50 years of age and must possess significance in local, state or national, under one or more of the following four criteria:

- 1.) It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States; or
- 2.) It is associated with the lives of persons significant to local, California or national history; or
- 3.) It embodies the distinctive characteristics of a type, period, or method of construction, or that represents the work of a master, or that possess high artistic values; or
- 4.) It has yielded, or has the potential to yield, information important in prehistory or history of the local area, California, or the nation.

Historic resources eligible for listing in the California Register may include buildings sites, structures, objects and historic districts. Resources less than 50 years of age may be eligible if it can be demonstrated that sufficient time has passed to understand their historical importance. While the criteria for the California Register is less rigorous with regard to the issue of integrity, there is the expectation that the resources reflect their appearance during their period of significance.

Sierra Madre Historical Landmark

In 1987, City adopted Ordinance 1036, which established the Cultural Heritage Commission of the City of Sierra Madre (CHC) along with a regulatory scheme for preserving structures of cultural and historic significance. In July 1997, by Ordinance 1134, City repealed Ordinance 1036, except for the list of properties designated as historic landmarks there under. In general, Ordinance 1134, known as the Historic Preservation Ordinance, made future private property listings on City's Register of Historic Landmarks "voluntary," while retaining on the Register of Historic Landmarks those structures already designated as historic landmarks. The Ordinance set out some of the benefits of designation as a historic landmark, including waiver of City building permit and plan check fees, the use of the State Historic Building Code as the governing building code, Mills Act contracts, and the availability of a conditional use permit procedure for changes of use. (Sierra Madre Mun.Code, § 17.82.060, subd. B.)

The ordinance authorizes the City Planning Commission to act as the Cultural Heritage Commission.

The owners of 29 properties pushed a ballot initiative to remove them from the list as they were originally listed without their consent. The initiative passed, but it was challenged in court. The California Supreme Court upheld the lower court ruling that the delisting was not done in accordance with due process in 2000 threw out the

initiative in that it violated the California Environmental Quality Act by calling for the arbitrary removal of 29 listed landmarks from the official list of Historical Monuments without any findings under CEQA.

Historic resources as defined by CEQA also includes properties listed in “local registers” of historic properties. A “local register of historic resources” is broadly defined in Section 5020.1 (k) of the Public Resources Code, as “a list of properties officially designated or recognized as historically significant by a local government pursuant to a local ordinance or resolution.” Local are defined in essentially two forms:

- 1.) Historic resource surveys conducted by or for a local agency in accordance with the procedures and standards set by the State Office of Historic Preservation and are adopted by that agency. These surveys are to be periodically updated in order to maintain the most current list of potential historic resources.
- 2.) Landmarks designated under local ordinances or resolutions. These properties are “presumed to be historically or culturally significant.” (Public Resources Guide Sections 5024.1, 21804.1 and 15064.5)

A new measure was passed in 2001 authorizing a 120 day period in which property owner could ask to be removed from the designation. The owners of several of the historic properties filed such a request and it was subsequently removed. After the removal of those properties the remaining landmarks were renumbered to eliminate the gaps caused by the delisted resources.

The current Sierra Madre ordinance does not list any criteria for designation, but instead relies on the criteria listed at the state and national level. It does, however, list a series of procedural requirements under Section 2.28.30, "Powers and Duties", as follows:

Subject to applicable state laws and city ordinances, the commission shall have the following powers and duties:

- A. Adopt procedural rules for the conduct of its business in accordance with the provisions of this chapter;
- B. Conduct a comprehensive survey in conformance with state survey standards and guidelines of potential historic resources within the boundaries of the city. Periodically update the survey results. Transmit the survey to the city council for approval, to the city staff, and make it available to the public;

- C. Recommend in accordance with the criteria set forth in Section 17.82.050, Designation Criteria, including individual properties and landmark sites;
- D. With the consent of the respective owners thereof, maintain a local register of historic resources consistent with the National Register of Historic Places criteria, including individual properties and landmark sites, including all information required for each designation;
- E. Adopt development standards and submittal requirements to be used by the commission in reviewing applications for permits to construct, change, alter, modify, remodel, remove or significantly affect any historic landmark;
- F. Provide support on behalf of the city council regarding recommendations for the purchase by the city of fee or less-than-fee interests in property, transfer of development rights, easements or other mechanisms for purposes of historic resources preservation;
- G. Investigate and make recommendations to the city council on the use of various federal, state, local or private funding sources and mechanisms available to promote historic preservation in the city;
- H. Approve or disapprove, in whole or in part, or approve with conditions, applications for permits pursuant to Section 17.82.090 of this chapter;
- I. Review all applications for permits, environmental assessments, environmental impact reports, environmental impact statements, and other similar documents as set forth in this code, pertaining to historic landmarks;
- J. Cooperate with local, county, state and federal governments in the pursuit of the objectives of historic resource preservation;
- K. Keep minutes and records of meetings and proceedings including voting records, attendance, resolutions, findings, determinations and decisions. All such material shall be public record;
- L. Provide opportunity for owners' consent and direct public participation in all responsibilities delegated to the certified local government including the survey and National Register nomination process. Commission meetings shall be open to the public with published agenda and minutes in accordance with the California Open Meeting Act;
- M. Render advice and guidance, upon the request of the property owner or occupant, on the restoration, alteration, decoration, landscaping or maintenance of any historic landmark;

- N. Encourage and render advice and guidance to property owners or occupants on procedures for inclusion of an historic resource on the National Register of Historic Places;
- O. Participate in, promote and conduct public information, educational, and interpretive programs pertaining to historic resources preservation.
- P. Confer recognition upon the owners of designated landmarks by means of plaques or markers, and from time to time issue commendations to owners of designated landmarks or contributors who have rehabilitated their property in an exemplary manner;
- Q. Undertake any other action or activity necessary or appropriate to the implementation of its powers or duties to fulfill the objectives of historic resource preservation;
- R. Maintain on file with the city clerk, to be accessible to the public, three copies of any published standards or guidelines adopted or referenced by the commission or the ordinance codified in this chapter;
- S. This chapter shall be known as the historic preservation ordinance by the city of Sierra Madre;
- T. This chapter shall be voluntary and, notwithstanding any other provision of this chapter, shall be so interpreted so as not to impose any burden, limitation or restriction of property rights (or with regard to procedures with regard thereto) without the prior consent of the respective property owners, provided that once a property has been designated by the city council, with the consent of the property owner, as a historical landmark then this ordinance shall no longer be voluntary and all provisions shall apply.

Section IV

Architectural Description

The Coffey-Schwartz Residence is a 2-story asymmetrical Dutch Colonial style residence built in an articulated square-shaped plan. The exterior is clad in narrow clapboard at the first floor level and shake shingles at the second story. A second story balcony is set flush with the facade, between two forward gables. The right gable has a gambrel pediment with the left roof arching down to the top of a low triangular gable over the front porch entry, set forward of the left and balcony. The left gable is topped with a hipped roof. The front porch begins to the immediate left of the front entry and wraps around the right side of the house. The side part of the porch has been screened in.

The low front porch gable has vertical half-timbering within the close pediment and is supported with large square pillars that are covered with the same narrow siding as the rest of the first floor level. The porch is approached by a set of concrete steps flanked by low concrete stoops. The main hipped composition roof has a hipped roof dormer-vent at its center. The balcony under it is assessed by a multi-light wooden door with a multi light double hung window to its left. The low balcony railing has a dropped cloud design and narrow supports.

Architectural details also include boxed eaves, dentils along a freeze at the top of the first floor, multi-light double hung widows and a fan-arched medallion at the top of the window on the pediment of the right gable. Several transom style windows have narrow angular square lights in the glass. A brick chimney is set to the left top of the main transverse gable roof ridge. A small three window bay is on the West facade with lower single light casement windows, topped with diamond lighted clerestory panes.

There is an early addition on the rear facade and an enclosed sleeping porch at the second level. The porch on the East facade is topped by a balcony. The two front gables extend to the rear and retain their respective styles. A small 1-story gabled addition juts out from the rear of the sleeping porch, to the right of a pair of multi-light French doors. A single window on the left rear facade has been converted to a sliding aluminum door.

A square single car garage is Northwest of the main house, with hinged doors that have single four light square windows, narrow siding, matching the house and a door with a large four-light window on the East facade.

Interior features include hardwood floors, wood trim, including baseboards, door frames, picture railings and the main staircase. A large tapered brick fireplace is situated in the living room.

Section V

Architectural Significance

The Coffey-Schwartz Residence is one of the early moderate sized houses in Sierra Madre. The house is an unusual custom design, but no records have been found as to who may have designed it. The Dutch Colonial style is rare in Sierra Madre, but the hybrid use of the hipped gable on the other end of the facade is not unprecedented in Southern California.

A similar example in massing is found in a Mission Revival house in Highland Park built in 1904 for William Rudesill. Designed by South Pasadena architects



Rudesill Residence, 143 S Avenue 58, Marsh & Russell, architects, 1904, Aug 5, 2007 (photograph by Charles J. Fisher)

Norman Foote Marsh and Clarence Russell, it has some notable differences, such as open, rather than boxed eaves, but the general massing and even some of the detailing, such as the window treatments, are very similar to the Coffey-Schwartz Residence.

The architecture is unique and rare and is significant.

Section VI

Construction History

Built in 1908, the Coffey-Schwartz residence has a number of permits on record, but has retained much of its original look. The early permits that were issued prior to 1957 have been lost and the county records are sketchy, with the house dating from 1908. It was most likely constructed for its first owner, Miss Annie B. Coffey by an unknown contractor. A garage was built later, possibly by her contractor husband, W. H. Garland, who she married in 1915.

The first permit that is in the city files is the 1957 permit for the rear addition and other work that was done. At some point it appears that at least some of the house had been covered with stucco, but that was removed in 1989.

The original garage was torn down in 1969 and replaced by a carport. The current garage, which was



No permit was found for porch enclosure, which was early in history of house.

built in 1989, has the look of a historic garage. The fireplace and chimney were repaired after being damaged in the 1971 Sylmar Earthquake and the and the 1991 Sierra Madre Earthquake.

A bathroom was added in 1975 and the master bathroom was remodeled in 1999. The kitchen has also been upgraded.

In 1988, a permit was taken out to build a two-car garage and accessory guest unit, but the project a later abandoned and no work was performed.

In 2004, the property was finally hooked up to the city sewer and in 2010, the current owners had the house completely rewired, as much of the wiring was the original knob and tube and some of the later work was poorly done.

See appendix for a full listing of the various permit data.

SANTA MADALINA TRACT.

Being a subdivision of Lots 7 8 9 10. 11. 12 13. 15. Block 12
and a portion of La Belle Ave (abandoned. MR 53 85)

of Corters Vineyard Tract. Sierra Madre.

Los Angeles County California

J. A. Osgood Surveyor March 5. 1906.

Scale 100 feet 1 inch.



Proprietor M. F. Mills

Recorded April 3 1906.

4

Subdivision Map of Santa Magdalena Tract shows Montecito Avenue under its original name of La Belle Avenue.

Section VII

Historical Outline

The Coffey-Schwartz Residence is located in the Southeastern part of Sierra Madre, on land that was a part of Lot 12 of the original Sierra Madre Tract. Sierra Madre, itself, was subdivided in 1881 by Nathaniel Coburn Carter, who had come out West from his native Lowell, Massachusetts, where he was born in 1840, in order to find a milder climate to help with his failing health. He had first visited the area in 1870, and then he brought his family out and settled in the Flores Ranch near San Gabriel in 1872. Two years later he organized "Carter Excursions", bringing trainloads of Easterners out to California to check out the place and maybe to buy land.

In 1881, Carter bought 845 acres of the Rancho Santa Anita from Elias J. "Lucky" Baldwin, as well as 150 acres from John R. and Betsy Richardson and an additional 108 acres from the Southern Pacific Railroad. This was the land, totaling 1,103 acres, which he then had surveyed and subdivided into the Sierra Madre Tract.

On November 13, 1888, Carter filed a map subdividing Lots 11, 12 and the East portion of Lot 13 into "Carter's Vineyard Tract", consisting of 66 large villa lots. Carter passed away at his Sierra Madre home on September 2, 1904. Lots 7, 8, 9, 10, 11, 12, 13 and 15, in block 12 were bought by Los Angeles real estate investor M. F. Wills, who the subdivided them into the Santa Magdalena Tract in 1906.



Nathaniel Coburn Carter (1840-1904) - Annals of Early Sierra Madre ©1950

Lot 7 was the Southeast corner of Lot 15. It was bought by another land speculator, A. L. Hazen, who sold it to Annie B. Coffey in 1908. She was from a well-to-do family and appears to have immediately had her house built on what was then La Belle Avenue. The daughter of a doctor, Coffey was born in Pittsburgh, Pennsylvania around 1866. Her younger brother, Dr. Titian Coffey, was a prominent Los Angeles physician. In September 1914, she met Col. W. H. Garland, a retired building contractor, who had come to California for a 3-day visit. They met and immediately fell in love. Col. Garland stayed in Los Angeles and they were married the following June. After a European honeymoon, via the Panama Canal, they settled in a house that Garland had bought in Pasadena. By 1920, Annie B. Garland had sold her Sierra Madre house to Preston Schwartz, a 51 year old carpet wholesaler, also from Pennsylvania.

Preston Schwartz was born in Philadelphia on October 23, 1868 as the third child of Charles and Sarah (Preston) Schwartz. In 1891 he married Katherine Lewis Henszey and began a lifetime career as an entrepreneur in the wholesale carpet business. After his move to California, which was just before buying the house, he branched out into wholesale furniture, as well. By 1940, he had retired and passed away on March 12, 1949, leaving the house to his wife. After Katherine's passing, the house went to their son Thomas and his wife, Margaret on February 14, 1957.

Thomas M. Schwartz born in Philadelphia on May 14, 1901. He married Wisconsin native, Margaret M. Alcorn, in California, around 1922. Thomas was working as a radio salesman, eventually opening his own radio and electronics store with Margaret serving as the bookkeeper for the business. Upon inheriting the house, he had the rear addition built, infrastructure improvements and had a glass siding door installed at the rear. In 1969 he replaced the original garage with a carport. Thomas Schwartz passed away on June 20, 1972, at the age of 71. Margaret, who was born on Mar7, 1898, remained in the house until she passed on February 12, 1984, ending 64 years that the Schwartz Family called the house their home.

The Schwartz Estate deeded the property to Pierre Z. and G. Pamela Mihatov. Pierre was born on September 5, 1958 and married Geraldine Pamela Ward on September 4, 1982. The couple owned the house for a little over 3 years, selling it to Dr. Jann Leigh Holwick on October 5, 1987. Records indicate that they remained in a house across the street until 1993, when they moved to Balboa Island, in Orange County.

Dr. Holwick was born in Los Angeles on July 26, 1951. After graduating from UCLA Medical School, she took her residency at Harbor General Hospital, where she specialized in surgery. She was profiled in a 1977 article in the Long Beach Press-Telegram that looked at her as a pioneer in the traditional male field of surgery. She lived in the house for 6 years and then relocated her practice to Williamsburg, West

Virginia. In 1988 she filed plans to build a new 2-car garage with a guest apartment above it. The permit was issued for the \$63,000.00 building, but the project was abandoned and the permit expired. She went on to do several other improvements on the house, including a new roof in 1989, chimney repairs after the 1991 Sierra Madre Earthquake. She sold her house to C. Bradford and Katja K. Eastland on September 14, 1993.

The Eastlands were also active in doing work on the house, starting with seismically retrofitting the house in 1994 and replacing three windows in 1997. The permit does not specify if these were windows that had previously been replaced. followed by the construction of a new garage, designed to look historic, in 1999 and the removal of stucco on part of the house. It is unknown when the stucco was originally added to the facade. In 2004, the Eastlands had the house hooked up to the city sewer system.

They sold it to the current owners, Marc G. and Vanessa (Rivera) Roberts on July 20, 2010.

Section VIII

Historical Significance

The Coffey-Schwartz Residence was built in 1908 for Annie B. Coffey, who was planning on living there for the rest of her life. However, her unexpected marriage when nearing 50 changed her plans and she sold it to Preston and Katherine Schwartz from Philadelphia around 1920. Two generations of the Schwartz Family lived there for the next 64 years. Subsequent owners were to do considerable work on the house, but nothing that would hurt its architectural significance.

The house is a visible reminder of the early 20th Century development and history of Sierra Madre. However, it is not associated with anyone of major significance at the national, state or local level. However, its architectural qualities have been maintained over the last 110 years, therefore leaving the house as a good representative type specimen of the Dutch Colonial Revival style.

Its unusual twin gable design is reminiscent of the work of architect Marsh and Russell in a house they designed in Highland Park four years earlier. However, nothing has been found to tie it to these architects other than the unusual similarity in the two plans.

Section IX

Conclusion

The Coffey-Schwartz Residence is a relatively un-altered example of a architectural type specimen, specifically that of a Dutch Colonial Revival residence. The house was altered several times between 1957 and 1999. However, the changes have not altered the residence from its original design, with the porch being partially enclosed with screening. The house displays enough integrity to be a contributor if the area was ever to be a local historic district, and it also has enough quality of design to be considered for an individual listing.

The house is architecturally distinguished at an individual level, as a good original representative type specimen of its style. The design is representative of the type of practical craftsmanship that was representative in the United States before the First World War, as well as it having an association with the early development of the San Gabriel Valley, and particularly with the City of Sierra Madre.

However, there were no persons of historical note to have lived in the house, rendering it ineligible for an individual listing on historic grounds.

The subject resource clearly displays enough architectural design to be eligible as a contributor to a district, potentially at the National level, but the district at this point still needs to be fully documented, therefore meriting a California Historic Resource Code of 3D, which means it would be a full contributor to a National Register Historic District. It also appear eligible for an individual local listing as an architectural type specimen, with a status code of 5S1.

*Section X
Photographs*



Coffey-Schwartz Residence, front facade, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, front facade, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, satellite view, 287 E. Montecito Avenue, Sierra Madre, c 2018 (Google Earth photo)



Coffey-Schwartz Residence, West facade, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, West facade, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, rear facade, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, gable on rear facade, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, sleeping porch on rear facade, 287 E. Montecito Avenue., Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, rear sleeping porch, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, garage (built in 1989), 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, garage (built in 1989), 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, rear sliding door (1957), 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, East facade, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, East balcony, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, front porch, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, front porch, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, screened in East porch , 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, front door, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



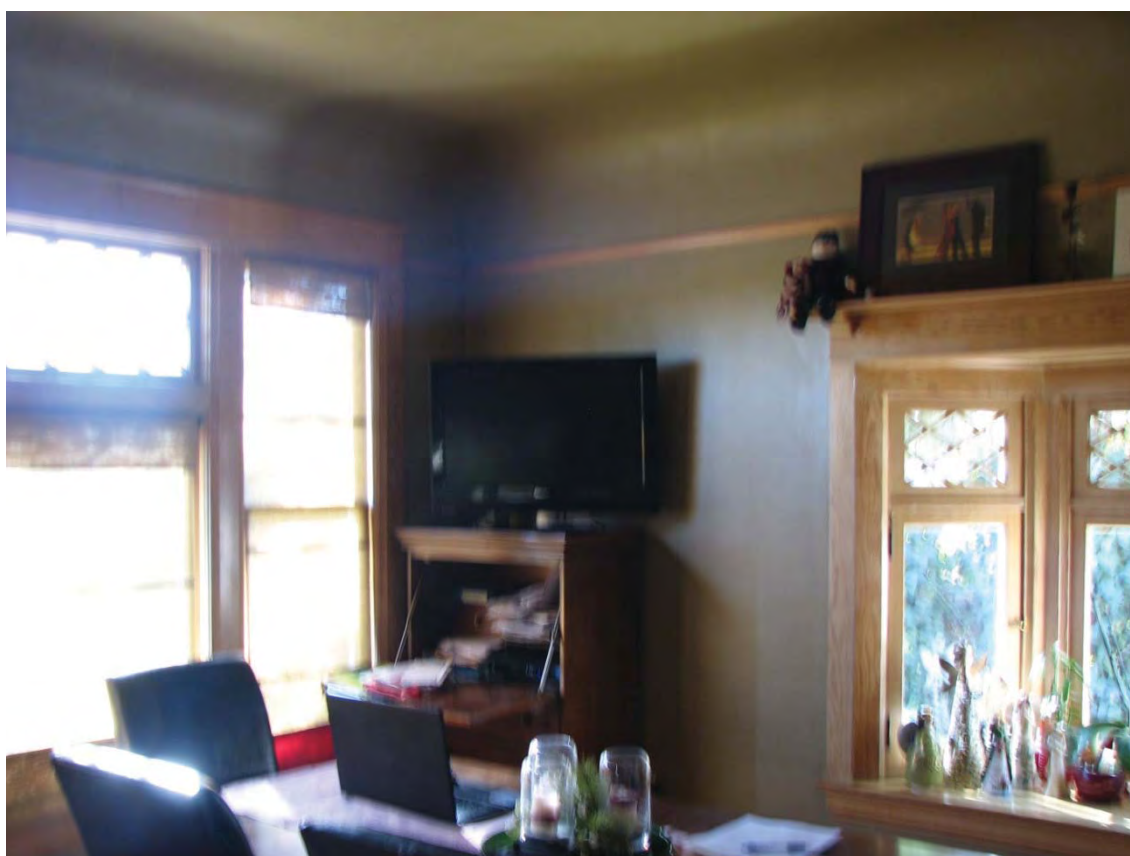
Coffey-Schwartz Residence, entry foyer, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, fireplace, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, window bay, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)



Coffey-Schwartz Residence, dining room, 287 E. Montecito Avenue, Dec.12, 2017 (Charles J. Fisher photo)

Section XI

Bibliography

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Other Official Records:

California Birth Index

California Death Index

Los Angeles County Assessor's Office Maps and Tax Records

Los Angeles County Tract Maps

Sierra Madre City Directories

Social Security Death Index

United States Census Records from 1870 through 1940

Appendix

Building Permit History
287 E. Montecito Avenue
Sierra Madre

- c1908: Building Permit No. ?????? to construct a 2-story, 7-room 38' X 27' frame residence on Lot 7 of the Santa Magdalena Tract, at 287 E. Montecito Avenue. (*per County records*)
Owner: Annie B. Coffey
Architect: Unknown
Contractor: Unknown
Cost: \$3,750.00
- c1915: Building Permit No. ?????? to construct a 1-story, 1-room 17' X 20' frame garage on Lot 7 of the Santa Magdalena Tract, at 287 E. Montecito Avenue. (*per County records*) The side porch enclosure appears to have been done fairly early in the life of the building, but the records have been lost.
Owner: Annie B. Garland
Architect: Unknown
Contractor: W. H. Garland
Cost: \$150.00
- February 19, 1957: Building Permit No. 6159 for alterations to dwelling, including wiring, heating, plumbing (added and replaced), added area, built-ins, glass sliding doors, etc.
Owner: Tom Schwartz
Architect: Unknown
Contractor: Carl Griffin
Cost: \$3,000.00
- February 23, 1960: Electrical Permit No. 6764 to add ranges, heaters and service equipment consisting of 92 outlets and 16 sockets.
Owner: Andersen (possible agent for Tom Schwartz)
Architect: Unknown
Contractor: Richardson Elec. Co. Inc.
Cost: Not Shown
- October 22, 1969: Building Permit No. 5907 to construct a 21' X 12' carport.
Owner: Tom Schwartz
Architect: None
Contractor: R. W. Cook
Cost: \$644.00

February 19, 1970: Sewer Permit No. 6081 to demolish garage.
Owner: Tom Schwartz
Architect: None
Contractor: Owner
Cost: \$500.00

August 9, 1971: Building Permit No. 6908 to repair earthquake damaged fireplace.
Owner: Tom Schwartz
Architect: None
Contractor: Mercurio Masonry Co.
Cost: \$391.00

September 19, 1972 Building Permit No. 7511 to add bathroom.
Owner: Mrs. T. Schwartz
Architect: None
Contractor: R. W. Cook
Cost: \$2,000.00

September 20, 1972: Plumbing Permit No. 7514 to install 1 toilet, 1 tub and 1 lavatory.
Owner: A. Schwartz
Architect: None
Contractor: Joseph Cadilli Plumbing
Cost: Not Shown

September 28, 1972: Electrical Permit No. 7530 to install 6 new outlets and a new heater.
Owner: A. Schwartz
Architect: None
Contractor: W. B. Gordon Electric
Cost: Not Shown

November 4, 1982: Plumbing Permit No. 15338 to re-roof South side of residence by removing wood shake and install #15 felt then apply redwood cedar shingles. Also same on East side.
Owner: Mrs. T. Schwartz
Architect: None
Contractor: Lytle Roofing
Cost: \$1,600.00

August 5, 1988: Building Permit No. 21870 to construct a 2-story accessory/2-car garage building with a second floor balcony, first floor porches. 2nd floor and laundry/garden rooms are not to be used as a separate dwelling unit. *Permit expired-building not constructed.*
 Owner Jann L Holwick
 Architect: G. Kajer-Weis
 Contractor: None
 Cost: \$62,875.00

March 21, 1989: Building Permit No. 23445 to construct a 20' X 21' garage. No plumbing allowed. One hour protected West wall.
 Owner: Jann Holwick
 Architect: Georgie Weis
 Contractor: Craftsman Building
 Cost: \$7,350.00

December 8, 1989: Plumbing Permit No. 23806 to install fire sprinkler systems.
 Owner: Holwick
 Architect: None
 Contractor: Craftsman Building Co.
 Cost: \$1,500.00

December 8, 1989: Electrical Permit No. 23807 to install 8 outlets or lights.
 Owner: Holwick
 Architect: None
 Contractor: Craftsman Building Co.
 Cost: \$1,500.00

November 2, 1990: Building Permit No. 24905 to re-roof with composition/asphalt and install solid ply roof sheathing.
 Owner: Holwick
 Architect: None
 Contractor: Two Hours Roofing
 Cost: \$3,000.00

September 11, 1989: Building Permit No. 23444 to demolish 8' X 8' storage/laundry room.
 Owner: Jann Holwick
 Architect: None
 Contractor: Craftsman Building
 Cost: \$1,500.00

August 6, 1991: Building Permit No. 25835 to repair earthquake damaged chimney from roofline.
Owner: Jann Holwick
Architect: None
Contractor: Frank & Tony
Cost: \$1,500.00

August 8, 1994: Building Permit No. 29265 for seismic retrofit. Smoke detectors required
Owner: Jann Holwick
Architect: None
Contractor: Seismic Safety
Cost: \$4,090.00

July 2, 1997: Building Permit No. 31596 to replace 2 existing windows. Replace 1 existing door.
Owner: Eastland
Architect: None
Contractor: J B Kitchens
Cost: \$2,500.00

July 2, 1997: Plumbing Permit No. 31597 to replace 1 lavatory (wash basin), 1 kitchen sink, 1 dish washer, update gas system and replace water heater.
Owner: Brad & Katie Eastland
Architect: None
Contractor: J B Kitchens, Baths & Des.
Cost: Not shown

July 2, 1997: Plumbing Permit No. 31598 to rewire kitchen from main panel.
Owner: Brad & Katie Eastland
Architect: None
Contractor: J B Kitchens, Baths & Des.
Cost: Not shown

February 2, 1999: Plumbing Permit No. 32993 to move existing gas line.
Owner: Mr. & Mrs. Brad Eastland
Architect: None
Contractor: D. J. Bushe Construction Co.
Cost: Not Shown

February 2, 1989: Building Permit No. 32995 to remove exterior plaster, install wood siding, change roof line, 1 roof.
Owner: Vann Holwick
Architect: None
Contractor: D. J. Bushe Construction, Inc.
Cost: \$10,000.00

November 4, 1999: Building Permit No. 33682 for bathroom remodel (master).
Owner: Mr. & Mrs. B. Eastland
Architect: None
Contractor: D. J. Bushe Construction, Inc
Cost: \$6,500.00

November 4, 1999: Electrical Permit No.33684 to install bath exhaust fan.
Owner: Mr. & Mrs. B. Eastland
Architect: None
Contractor: Derek J. Bushe Const. Inc.
Cost: Not Shown

June 7, 2001: Building Permit No. 35067 to repair and drain 2nd floor leak.
Balcony framing, sheath and ABS drain.
Owner: Mr. and Mrs. Eastland
Architect: None
Contractor: D. J. Bushe Construction Inc.
Cost: \$2,000.00

April 14, 2004: Sewer Permit No. 38167 for sewer connection. Back fill 2 cesspools
Owner: The Bradford Eastland Trust
Architect: None
Contractor: Paul Roberts
Cost: Not Shown

July 26, 2010: Electrical Permit No. 143340 to install a branch circuit.
Owner: Venessa Roberts
Architect: None
Contractor: Magician
Cost: Not Shown

NOTE:

There may have been additional early permits for work, but the records are incomplete.

DATE _____

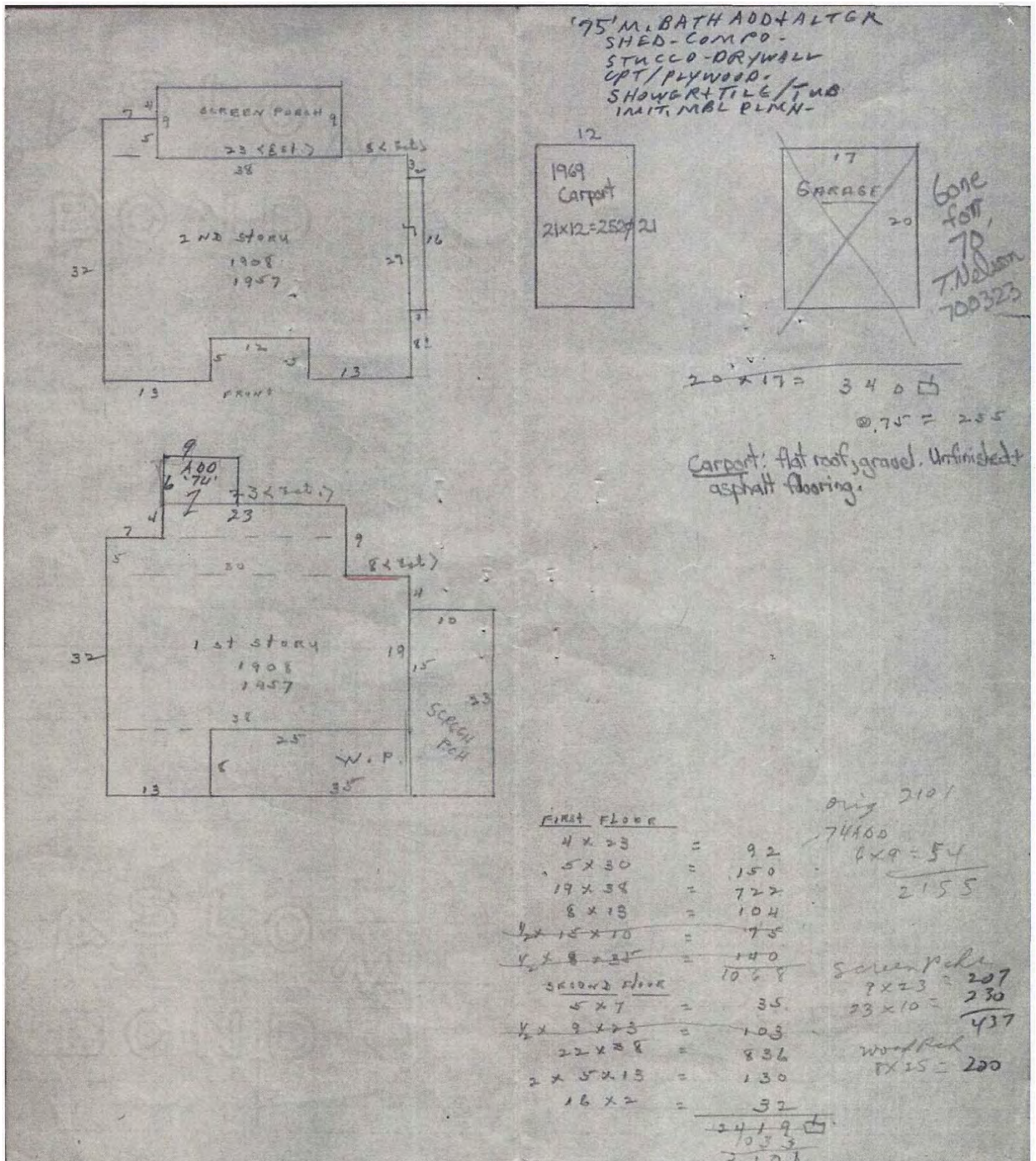
Bowcher
10/14/57

DATE 12/14/17 19

[illegible]

	Fdn.	Frame	Roof	Plaster	Trim	Paint	Plb.	Ltg.
Date								
OWNER'S NAME <i>Tom Schwartz</i>								
V.F. CHECKED			PERMIT NO.		DATE		AMOUNT	
COMPT. CHECKED <i>21</i>			<i>6159</i>		<i>3/19/57</i>		<i>3000.00</i>	
E. ON <i>Flow</i>								
M.B. <i>11-6-57</i>								
DATE								

1957 Vol - 600 1258 vol 780pc



1908 The reverse of the county record shows footprint of the building and the previous copy identifies the work that was done under Sierra Madre Permit No. 1957SM6159. Note that 2nd story sleeping porch is shown as being screened in.

BUILDING INSPECTOR'S COPY CITY OF SIERRA MADRE, CALIF.
BUILDING DEPARTMENT N^o 6159 122

MEMO: From Building Inspector to License Clerk
SUBJECT: Permission to Issue Building Permit

2-19 1935

Owner Tom Schwartz Phone No. Permit Fee 10.00
Contractor Carl Brisson Phone No. Plan Check Fee
Address of Construction 289 E Montecito Cost of Construction 3000.00
Address of Contractor or Owner-Builder 259 Stuart Street Total Cost 10.00

Permission is granted to 217 1/2 Texas St. dwellings
Lot 7 Block Santa Magdalena
Group I Division 1 Type II Alter C New Constr. Misc.

This permit is based upon certain plans and specifications for said work and upon an application duly filed in this office, all of which are hereby referred to and made a part hereof; and is subject to all rules and regulations set forth in the ordinances of the city of Sierra Madre in regard to such work, and all amendments thereto.

A. B. Tolson Building Inspector

(40)

ELECTRICAL PERMIT N^o 6764
CITY OF SIERRA MADRE, CALIF.
BUILDING DEPARTMENT

DUPLICATE

Date 2/23, 1960 Fee \$ 20.80

Permission is hereby granted Richardson Elec Co. Inc to install
Electrical wiring and equipment for 92 Outlets 16 Sockets
3 Motors of _____ Horsepower.
_____ Electrical Signs with _____ Transformers
Misc. work Wiring of Hdr. & Down Spacing at the following location.
Address of Job 237 Montecito
Owner Anderson

This permit is based upon certain written application for said work duly filed in this office, which said application is hereby referred to and made a part hereof; and is subject to all the rules and regulations set forth in the ordinances of the City of Sierra Madre in regard to such work, and all amendments thereto.

_____ Electrical Inspector.

1960 Electrical permit for miscellaneous work.

CITY OF SIERRA MADRE
BUILDING DEPARTMENT

BUILDING
PERMIT - APPLICATION

BOOK 5767 PAGE 11 PARCEL 11

05907 1

FOR APPLICANT TO FILL IN				DATE <u>10-22-69</u>	GROUP <u>5</u>	TYPE CONST. <u>IV</u>	PROCESSED BY <u>DRK</u>
BUILDING ADDRESS <u>287 E. Montecito</u>				STATISTICAL CLASSIFICATION		SEWER MAP PG	
LOT NO. <u>7</u> BLOCK				CLASS. NO. _____ DWELL UNITS _____		BK PG	
TRACT				USE ZONE _____		SPECIAL CONDITIONS	
SIZE OF LOT <u>58 X 195</u> NO. OF BLDGS. NOW ON LOT <u>3</u>				BUILDING SETBACK	YARD	HWY	STREET NAME
USE OF STING BLDG. <u>Carport</u>				FRONT			EXIST. WIDTH
OWNER <u>Tom Schwartz</u> TEL. NO. _____				SIDE			
ADDRESS <u>Chm</u>				INSPECTION RECORD			
ARCHITECT OR ENGINEER _____ TEL. NO. _____							
ADDRESS _____							
CONTRACTOR <u>H.W. Cook</u> TEL. NO. <u>255-7191</u>							
ADDRESS <u>25 So. Baldwin</u>							
STATE LIC. # <u>121977</u> CITY LIC. # _____							
DESCRIPTION OF WORK							
NEW	ADD	ALTER	REPAIR	DEMOLISH	NAME, ADDRESS & BRANCH OF CONSTRUCTION LENDER.		
<input checked="" type="checkbox"/>							
SQ. FT. SIZE <u>252</u>		NO. OF STORIES <u>1</u>		NO. OF FAMILIES <u>1</u>			
USE OF STRUCTURE <u>Carport</u>							
SIGNATURE OF APPLICANT <u>H.W. Cook</u>							
VALUATION \$ <u>644.00</u>							
P.C. FEE \$ _____		PMT FEE \$ <u>7.00</u>					
I ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION.							
SIGNATURE OF PERMITTEE <u>H.W. Cook</u>							
ADDRESS <u>25 So. Baldwin</u>							
10-22-69 VALIDATION <u>DRK</u>							
This is a Building Permit When Properly Filled Out, Signed and Validated.							
PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 60 DAYS OF DATE OF ISSUANCE.							

1969 permit for construction of carport

BOOK	PAGE	PARCEL	
5767	11	11	06001

CITY OF SIERRA MADRE

BUILDING DEPARTMENT

BUILDING

PERMIT - APPLICATION

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 287 E. MONTECITO AVE

LOT NO. 7 BLOCK

TRACT

SIZE OF LOT 88 X 195 NO. OF BLDGS. NOW ON LOT 3

USE OF EXISTING BLDG. DWELLING - GARAGE

OWNER TOM SCHWARTZ TEL. NO.

ADDRESS

ARCHITECT OR ENGINEER TEL. NO.

CONTRACTOR OWNER TEL. NO.

ADDRESS SAME

STATE LIC. # CITY LIC. #

DESCRIPTION OF WORK

NEW ☐ ADD ☐ ALTER ☐ REPAIR ☒ DEMOLISH ☐

SQ. FT. NO. OF STORIES NO. OF FAMILIES

USE OF STRUCTURE GARAGE

SIGNATURE OF APPLICANT [Signature]

VALUATION \$ 500.00

I ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION.

SIGNATURE OF PERMITTEE

ADDRESS

DATE 2-19-70 GROUP 1 TYPE CONST. IF PROCESSED BY [Signature]

STATISTICAL CLASSIFICATION

CLASS. NO. DWELL. UNITS SEWER MAP BK PG

USE ZONE R-1 SPECIAL CONDITIONS

BUILDING SETBACK FRONT YARD HWY STREET NAME EXIST. WIDTH

SIDE P. L.

INSPECTION RECORD

APPROVALS

FOUNDATION, LOCATION, FORMS, MATERIALS

FRAME, FIRE STOPS, BRACING, BOLTS

FURNACE, LOCATION, GAS VENT, DUCTS

LATH, INT.

LATH, EXT.

HOUSE NUMBER CORRECT AND POSTED

FINAL 2-20-70 [Signature]

VALIDATION [Signature]

2-19-70

This is a Building Permit When Properly Filled Out, Signed and Validated.

PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 60 DAYS OF DATE OF ISSUANCE.

1969 permit for demolition of the original garage.

BOOK	PAGE	PARCEL	
			06908

CITY OF SIERRA MADRE

BUILDING DEPARTMENT

BUILDING

PERMIT - APPLICATION

FOR APPLICANT TO FILL IN

BUILDING ADDRESS: 287 E. MONTECITO AVE

LOT NO. BLOCK

TRACT

SIZE OF LOT NO. OF BLDGS. NOW ON LOT

USE OF EXISTING BLDG.

OWNER TOM SCHWARTZ TEL. NO.

ADDRESS 287 E. MONTECITO AVE

ARCHITECT OR ENGINEER TEL. NO.

CONTRACTOR MERCURIO MASONRY TEL. NO. 632-2323

ADDRESS 3901 PARK BLVD

STATE LIC. # 163447 CITY LIC. # 6718

DESCRIPTION OF WORK

NEW ☐ ADD ☐ ALTER ☒ REPAIR ☐ DEMOLISH ☐

SQ. FT. NO. OF STORIES NO. OF FAMILIES

USE OF STRUCTURE Fireplace Repair

SIGNATURE OF APPLICANT [Signature]

VALUATION \$ 341

I ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION.

SIGNATURE OF PERMITTEE [Signature]

ADDRESS 287 E. MONTECITO AVE

DATE 8-9-71 GROUP 1 TYPE CONST. IF PROCESSED BY [Signature]

STATISTICAL CLASSIFICATION

CLASS. NO. DWELL. UNITS SEWER MAP BK PG

USE ZONE R-1 SPECIAL CONDITIONS

BUILDING SETBACK FRONT YARD HWY STREET NAME EXIST. WIDTH

SIDE P. L.

NAME, ADDRESS & BRANCH OF CONSTRUCTION LENDER

INSPECTION RECORD

APPROVALS

FOUNDATION, LOCATION, FORMS, MATERIALS

FRAME, FIRE STOPS, BRACING, BOLTS

FURNACE, LOCATION, GAS VENT, DUCTS

LATH, INT.

LATH, EXT.

HOUSE NUMBER CORRECT AND POSTED

FINAL 8/11/71 [Signature]

VALIDATION [Signature]

8-9-71

This is a Building Permit When Properly Filled Out, Signed and Validated.

PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 60 DAYS OF DATE OF ISSUANCE.

1971 permit for repair to fireplace damaged by Sylmar Earthquake on February 9, 1971.

BOOK	PAGE	PARCEL
5767	11	11

CITY OF SIERRA MADRE
BUILDING DEPARTMENT

BUILDING PERMIT - APPLICATION

DATE: 9-19-72 GROUP: 1 TYPE: CONSTRUCTION PROCESSOR BY: J. B. Gordon

BUILDING ADDRESS: 287 E. Montecito

LOT NO. BLOCK

TRACT

SIZE OF LOT NO. OF BLDGS. NOW ON LOT: 1 + 1/2

USE OF: RESIDENTIAL

OWNER: Mrs. T. Schwartz TEL. NO. 355-2047

ADDRESS: 287 E. Montecito

ARCHITECT OR ENGINEER: TEL. NO.

ADDRESS: A. W. Cook TEL. NO. 355-7491

CONTRACTOR: 25 So. Baldwin

STATE LIC. #121977 CITY LIC. #

DESCRIPTION OF WORK

NEW ☒ ADD ☐ ALTER ☐ REPAIR ☐ DEMOLISH

SQ. FT. 48 NO. OF STORIES NO. OF FAMILIES

USE OF STRUCTURE: Bath

SIGNATURE OF APPLICANT: J. B. Gordon

VALUATION \$ 2000.00

FEE \$ 11.19 PMT. FEE \$ 30.00

I ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION.

SIGNATURE OF PERMITTEE: J. B. Gordon

ADDRESS: 25 So. Baldwin

INSPECTION RECORD

APPROVALS DATE INSPECTOR'S SIGNATURE

FOUNDATION: LOCATION ☒ FORMS, MATERIALS ☒

FRAME: FIRE STOPS, BRACING, BOLTS ☒

FURNACE: LOCATION, GAS VENT DUCTS ☒

LATH. INT. ☒

LATH. EXT. ☒

HOUSE NUMBER CORRECT AND POSTED ☒

FINAL ☒

9-19-72 J. B. Gordon

VALIDATION

This is a Building Permit When Properly Filled Out, Signed and Validated.

PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 60 DAYS OF DATE OF ISSUANCE.

1972 permit for new bathroom

CITY OF SIERRA MADRE
BUILDING DEPARTMENT

PLUMBING & HEATING PERMIT - APPLICATION

PLUMBER: JOSEPH CADILLI PLUMBING

ADDRESS: 7821 E. GARVEY AVE

CITY: ROSEMEAD TEL. NO. 280-5349

STATE LICENSE NO. 134935C36 CITY LICENSE NO. 577

JOB ADDRESS: 287 EAST MONTECITO

OWNER: BOB GORDON

MAIL ADDRESS: 25 SO. BALDWIN

TEL. NO. SIERRA MADRE

PERMIT FEES

NO.	FEE	TOTAL
WATER CLOSET (TOILET)	1.50	1.50
TUB	1.50	1.50
LAUNDRY	1.50	1.50
LAVATORY (WASH BASIN)	1.50	1.50
SINKS: KITCHEN, FLOOR, BAR, ETC.	1.50	
LAUNDRY TUB OR TRAY	1.50	
AUTO WASHER	1.50	
DISH WASHER	1.50	
WATER PIPING SYSTEM	1.50	
WATER SOFTENER	1.50	
LAWN SPRINKLER	2.00	
VACUUM BREAKERS, BACKFLOW VALVES (1-1/2)	2.00	
(OVER 1-1/2)	.30	
GAS SYSTEM (1-1/2)	1.50	
(OVER 1-1/2)	.30	
WATER HEATER	1.50	
HEATING APPLIANCES	1.50	
F.A.U. to 100,000 BTU	4.00	
OVER 100,000	5.00	
OR FURNACE	4.00	
WALL OR SUSPENDED FURNACE	4.00	
VENT	2.00	
REGISTERS	.25	
COMPRESSOR OR BOILER	4.00	
EACH AIR HANDLING UNIT (1000-2500)	5.00	
HOOD AND FAN	3.00	
MISCELLANEOUS		
HEATING PERMIT	3.00	
PLUMBING PERMIT	2.00	2.00
TOTAL FEE		6.50

INSPECTION RECORD

I ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING PLUMBING.

I CERTIFY THAT I AM PROPERLY REGISTERED AND LICENSED AS REQUIRED BY THE CITY OF SIERRA MADRE AND STATE OF CALIFORNIA OR THAT I AM THE LEGAL OWNER OF THE ABOVE DESCRIBED RESIDENTIAL PROPERTY.

SIGNATURE OF PERMITTEE: Joseph Cadilli

APPROVALS DATE INSPECTOR'S SIGNATURE

UNDER FLOOR WORK ☒

ROUGH PLUMBING ☒

GAS PIPING ☒

GAS VENTS ☒

PLUMBING FIXTURES ☒

MISC. ☒

GAS TEST ☒

UTILITY CO. NOTIFIED ☒

FINAL ☒

9-20-72 J. B. Gordon

VALIDATION

This is a Plumbing Permit When Properly Filled Out, Signed and Validated.

Permit void if work is not commenced within 60 days of date of issuance.

1972 plumbing permit for bathroom addition.

075301

CITY OF SIERRA MADRE
BUILDING DEPARTMENT

ELECTRICAL
PERMIT -- APPLICATION

FEES - NEW CONSTRUCTION			
RESIDENTIAL (SINGLE OR MULTI-FAMILY) ONE CENT PER SQ. FT. PLUS \$1.00 EACH SERVICE. ONE-HALF CENT PER SQ. FT. FOR GARAGES ON SAME SERVICE.			
OTHER FEES	NO.	FEE	TOTAL
REGULAR FEE SCHEDULE			
OUTLETS			
LIGHTS - 3W RECEPT. (1ST 20)	6	.20	1.20
(ADDITIONAL)		.10	
FIXTURES (1ST 20)	2	.20	.40
(ADDITIONAL)		.10	
HOME APPLIANCES			
CLOTHES DRYER, DISHWASHER, GARBAGE DISPOSAL, KITCHEN FAN		1.00	
COOKING APPLIANCES			
RANGE, COOKING UNITS W/OVEN		1.00	
EXTRA OVEN		1.00	
MISCELLANEOUS			
HEATERS & HEATING APPLIANCES			
AIR HEATER, INCL. 1650 W. E.A.	1	.50	.50
AIR HEATER, OVER 1650 W. E.A.		1.00	
WATER HEATER		1.00	
MISCELLANEOUS		1.00	
MOTORS			
1 H.P. OR LESS		1.00	
OVER 1 H.P. (SEE SCHEDULE)			
TEMP. POWER POLE		2.00	
SERVICE (EACH)		1.00	
MISCELLANEOUS		1.00	
ELECTRICAL PERMIT		1.00	1.00
FIXTURE PERMIT		1.00	1.00
SUPPLEMENTARY PERMIT		.50	
MIN. \$5.00		TOTAL FEE	\$5.00

I ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL CITY & STATE LAWS REGULATING ELECTRICAL WIRING. I CERTIFY THAT I AM PROPERLY REGISTERED AND/OR LICENSED AS REQUIRED BY THE CITY OF SIERRA MADRE & A STATE OF CALIFORNIA OR THAT I AM THE LEGAL OWNER OF THE ABOVE DESCRIBED RESIDENTIAL PROPERTY.

SIGNATURE OF PERMITTEE: *H.B. Hedden* 9/25/72 VALIDATION: *Juk*

This is an Electrical Permit when properly filled out, signed and validated.
Permit void if work not commenced within 60 days of issuance.

BUILDING ADDRESS 287 E. Montecito

OWNER P. Schwartz

MAIL ADDRESS Same

CITY TEL. NO.

ELECTRICIAN H.B. Hedden

ADDRESS 989 Fuchsia

CITY TEL. NO. 983-8067

STATE LICENSE NO. 26452 **CITY BUS. LIC. NO.** 768

GROUP **ZONE** **PROCESSED BY**

INSPECTION RECORD

APPROVALS	DATE	INSPECTOR'S SIGNATURE
CONDUIT		
ROUGH WIRING		<i>Juk</i>
TEMP. POWER		
FIXTURES		
UTILITY CO. NOTIFIED		
FINAL		

INSPECTOR'S COPY

1972 electrical permit for bathroom addition.

BOOK	PAGE	PARCEL	NOV 4 '02 15330	1
CITY OF SIERRA MADRE BUILDING DEPARTMENT			BUILDING PERMIT - APPLICATION	
FOR APPLICANT TO FILL IN				
BUILDING ADDRESS 287 E. Montecito St.			DATE 11/4/82 GROUP R-3 TYPE CONST. V PROCESSED BY Dada	
LOT NO. 7 BLOCK			STATISTICAL CLASSIFICATION	
TRACT Santa Monica Tr.			CLASS. NO. DWELL. UNITS	
SI 1/2 LOT 455 X 105 NO. OF BLDGS. 1			USE ZONE P-1 SPECIAL CONDITIONS	
USE OF EXISTING BLDG. Residence			BUILDING SETBACK	
OWNER Mrs. T. Schwartz TEL. NO. 355-2047			FRONT YARD HWY STREET NAME EXIST. WIDTH	
ADDRESS 287 E. Montecito St.			P.L. SIDE P.L.	
ARCHITECT OR ENGINEER			NAME, ADDRESS & BRANCH OF CONSTRUCTION LENDER <i>So. Side remove wood. Install 1520 felt then apply Red Wood Cedar Shingles. Also same on East Side</i>	
ADDRESS				
CONTRACTOR Lytle Roofing TEL. NO. 792-5171				
ADDRESS 2948 E. Walnut St.			INSPECTION RECORD 	
STATE LIC. # 186303 CITY LIC. # 3542				
DESCRIPTION OF WORK				
NEW	ADD	ALTER	REPAIR X	DEMOLISH
SG. FT. SIZE 3sq.			NO. OF STORIES 2	NO. OF FAMILIES
USE OF STRUCTURE Residence				
SIGNATURE OF LICANT <i>Dolores Borrough</i>				
VALUATION \$1600.00				
P.C. FEE \$		PMT. FEE \$ 45.60		
ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT AND AGREE TO COMPLY WITH ALL CITY ORDINANCES AND STATE LAWS REGULATING BUILDING CONSTRUCTION. SIGNATURE OF PERMITTEE <i>Dolores Borrough</i> ADDRESS 2948 E. Walnut				
VALIDATION				
This is a Building Permit When Properly Filled Out, Signed and Validated. PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 60 DAYS OF DATE OF ISSUANCE.				

INSPECTOR'S COPY

1982 permit to partially re-roof house with redwood shingles to match original.

WORKERS' COMPENSATION DECLARATION
I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).

Policy No. _____ Company _____
☐ Certified copy is hereby furnished.
☐ Certified copy is filed with the city building inspection department.

Date _____ Applicant _____

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date _____ Applicant _____
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number _____ Lic. Class _____

Contractor _____ Date _____
☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031 5, Business and Professions Code):

☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).
☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date _____

BOOK	PAGE	PARCEL
5767	011	011

CITY OF SIERRA MADRE

BUILDING DEPARTMENT

BUILDING

PERMIT - APPLICATION

FOR APPLICANT TO FILL IN				8/5/88				GROUP TYPE CONST. <u>I</u>		PROCESSED BY <u>NA</u>	
BUILDING ADDRESS <u>287 E. MONTECITO</u>				STATISTICAL CLASSIFICATION				CLASS NO.		SEWER MAP	
LOT NO. <u>7</u> BLOCK				USE ZONE				DWELL. UNITS		BK PG	
TRACT <u>SANTA MARALINA</u>				R-1				SPECIAL CONDITIONS			
SIZE OF LOT <u>88 X 195.5</u>				NO. OF BLDGS. NOW ON LOT <u>2</u>				BUILDING SETBACK		YARD HWY STREET NAME EXIST. WIDTH	
USE OF EXISTING BLDG. <u>SINGLE FAM DWLG</u>								FRONT			
OWNER <u>VANN HOLWICK</u> TEL. NO.								SIDE			
ADDRESS <u>287 E. MONTECITO</u>								BUILDING PLAN		ROOM DESCRIPTIONS SQ. FT. SIZE	
ARCHITECT OR ENGINEER <u>EXFAVER WELB</u> NO. <u>808243</u>								1st FLOOR		<u>Pattern Areas</u> <u>972.45</u>	
ADDRESS <u>1111 YALE DR GLENDALE 1745</u>								2nd FLOOR		<u>Living Area</u> <u>693</u>	
CONTRACTOR _____ TEL. NO.								GARAGE		<u>2 CARS</u> <u>493.5</u>	
ADDRESS _____											
STATE LIC. # _____ CITY LIC. # _____											
DESCRIPTION OF WORK											
NEW ADD ALTER REPAIR DEMOLISH											
NO. OF STORIES <u>2</u> NO. OF FAMILIES											
USE OF STRUCTURE <u>ACCESSORY / GARAGE</u>											
SIGNATURE OF APPLICANT <u>EXFAVER WELB</u>											
VALUATION \$ <u>425.30</u> PMT. FEE \$ <u>59.70</u> TOTAL FEE \$ <u>485.00</u>											
I acknowledge that I have read this application and state that the above is correct and agree to comply with all city ordinances and state laws relating to building construction.											
SIGNATURE OF PERMITTEE _____											
ADDRESS _____											
FINAL											

VALIDATION

This is a Building Permit When Properly Filled Out, Signed and Validated.

PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 90 DAYS OF DATE OF ISSUANCE.

NOTICE: 2ND FLOOR AND LAUNDRY/CARDEN ROOMS ARE NOT TO BE USED AS A SEPARATE DWELLING UNIT

1988 permit to build new accessory unit and 2-car garage. Never built.

I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).

Policy No. _____ Company _____
☐ Certified copy is hereby furnished.
☐ Certified copy is filed with the city building inspection department.

Date 9/11/89 Applicant CHAPMAN BUG

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date _____ Applicant _____
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 511302 Lic. Class _____

Contractor CHAPMAN BUG Date _____

☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031 5, Business and Professions Code):

☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).
☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent 9-11-89 Date _____

BOOK	PAGE	PARCEL
5767	011	011

CITY OF SIERRA MADRE

BUILDING DEPARTMENT

BUILDING

PERMIT - APPLICATION

FOR APPLICANT TO FILL IN				DATE <u>9/21/89</u>				GROUP TYPE CONST. <u>D</u>		PROCESSED BY <u>NA</u>	
BUILDING ADDRESS <u>287 E. MONTECITO Ave.</u>				STATISTICAL CLASSIFICATION				CLASS NO.		SEWER MAP	
LOT NO. <u>7</u> BLOCK				USE ZONE				DWELL. UNITS		BK PG	
TRACT <u>SANTA MARALINA</u>				R-1				SPECIAL CONDITIONS			
SIZE OF LOT <u>88 X 195.5</u>				NO. OF BLDGS. NOW ON LOT <u>2</u>				BUILDING SETBACK		YARD HWY STREET NAME EXIST. WIDTH	
USE OF EXISTING BLDG. <u>Storage</u>								FRONT			
OWNER <u>VANN HOLWICK</u> TEL. NO. <u>355-966</u>								SIDE			
ADDRESS <u>287 E. MONTECITO</u>								BUILDING PLAN		ROOM DESCRIPTIONS SQ. FT. SIZE	
ARCHITECT OR ENGINEER _____ TEL. NO.								1st FLOOR			
ADDRESS _____								2nd FLOOR			
CONTRACTOR <u>CHAPMAN BUG</u> TEL. NO. <u>351-2313</u>								GARAGE			
ADDRESS <u>3805 NEWHAVEN RD PAS, CA</u>											
STATE LIC. # <u>511302</u> (CITY LIC. # <u>14109</u>)											
DESCRIPTION OF WORK											
NEW ADD ALTER REPAIR DEMOLISH											
NO. OF STORIES <u>0</u> NO. OF FAMILIES <u>0</u>											
USE OF STRUCTURE <u>Storage / Laundry</u>											
SIGNATURE OF APPLICANT <u>Chapman Bug</u>											
VALUATION <u>1500</u> \$ <u>50</u>											
PLAN/CHECK FEE \$ _____											
BUILDING PERMIT FEE \$ <u>45.60</u>											
DEVELOPMENT FEE \$ _____											
OTHER \$ _____											
TOTAL \$ <u>45.60</u>											
FINAL											

VALIDATION

This is a Building Permit When Properly Filled Out, Signed and Validated.

PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 90 DAYS OF DATE OF ISSUANCE.

1989 permit to demolish storage/laundry room structure. Not noted if it was an addition or a separate building.

I hereby certify that I have a certificate of consent to sell insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).

Policy No. _____ Company _____

☒ Certified copy is hereby furnished.

☐ Certified copy is filed with the city building inspection department.

Date 7-11-89 Applicant John L. Cote

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date _____ Applicant _____

NOTICE TO APPLICANT. If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 511302 Lic. Class B-1

Contractor California Bldg Date 7-11-89

☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031 5, Business and Professions Code):

☐ I, as owner of the property, or my employees with wages their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent John L. Cote Date 7-11-89

BOOK	PAGE	PARCEL
5767	011	011

CITY OF SIERRA MADRE BUILDING DEPARTMENT

BUILDING PERMIT - APPLICATION

FOR APPLICANT TO FILL IN		DATE <u>7/11/89</u> GROUP <u>1</u> TYPE <u>D</u> PROPOSED BY <u>John L. Cote</u>	
BUILDING ADDRESS <u>287 E. MONTECITO AVENUE</u>		STATISTICAL CLASSIFICATION <u>1-1</u>	
LOT NO. <u>7</u>	BLOCK _____	CLASS NO. _____	DWELL. UNITS <u>1</u>
TRACT <u>SANTA MADRUNA</u>		USE ZONE <u>P-1</u>	SPECIAL CONDITIONS _____
SIZE OF LOT <u>88 X 195.5</u>	NO. OF BLDGS. NOW ON LOT _____	BUILDING SETBACK	YARD _____
USE OF EXISTING BLDG. <u>SINGLE FAMILY DWELLING</u>	FRONT _____	SIDE _____	REAR _____
OWNER <u>VANN HOLWICK</u>	TEL. NO. <u>355-9161</u>	BUILDING PLAN	ROOM DESCRIPTIONS
ARCHITECT OR ENGINEER <u>CEPHEUS WICK</u>	TEL. NO. <u>342-1599</u>	1st FLOOR	SQ. FT. SIZE
ADDRESS <u>1111 YANE DR. OVERDALE</u>	TEL. NO. <u>557-2313</u>	2nd FLOOR	
CONTRACTOR <u>California Bldg</u>	TEL. NO. <u>557-2313</u>	GARAGE	
ADDRESS <u>3805 New Haven Rd. Davis</u>	CITY LIC. # <u>14109</u>	CARPORT	
STATE LIC. # <u>511302</u>	CITY LIC. # <u>14109</u>		
DESCRIPTION OF WORK			
NEW <u>8</u>	ADD _____	ALTER _____	REPAIR _____
SQ. FT. SIZE <u>20x21</u>	NO. OF STORIES _____	NO. OF FAMILIES _____	
USE OF STRUCTURE <u>GARAGE/CARPORT</u>			
SIGNATURE OF APPLICANT <u>John L. Cote</u>			
VALUATION		\$ <u>7350</u>	
PLAN CHECK FEE		\$ <u>77.33</u>	
BUILDING PERMIT FEE		\$ <u>101.40</u>	
DEVELOPMENT FEE		\$ _____	
OTHER		\$ _____	
TOTAL		\$ <u>101.40</u>	
INSPECTION RECORD			
<u>NO Plumbing Allowed</u>			
<u>ONE HOUR PROTECTED</u>			
<u>WEST WALL 12-11-89 Pck</u>			
APPROVALS		DATE	INSPECTOR'S SIGNATURE
FOUNDATION, LOCATION, FORMS, MATERIALS			
FRAME, FIRE STOPS, BRACING, BOLTS		<u>12-11-89</u>	<u>Pck</u>
FURNACE, LOCATION, GAS VENT, DUCTS			
INSULATION			
LATH, INT.			
LATH, EXT.			
HOUSE NUMBER CORRECT AND POSTED			
FINAL		<u>12-5-90</u>	<u>Pck</u>

This is a Building Permit When Properly Filled Out, Signed and Validated.
PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 60 DAYS OF DATE OF ISSUANCE.

1989 permit to construct a new garage. (Current garage is built in early style, consistent with the house.)

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to sell insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).

Policy No. 104833-89 Company State Fund

☒ Certified copy is hereby furnished.

☐ Certified copy is filed with the city building inspection department.

Date _____ Applicant _____

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date _____ Applicant _____

NOTICE TO APPLICANT. If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 511302 Lic. Class B-1

Contractor California Bldg Date 12-8-89

☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031 5, Business and Professions Code):

☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date _____

CITY OF SIERRA MADRE BUILDING DEPARTMENT

PLUMBING PERMIT - APPLICATION

PLUMBER <u>The Outback Building Co.</u>		JOB ADDRESS <u>287 E. Montecito</u>			
ADDRESS <u>P.O. Box 608</u>		OWNER <u>Holwick</u>			
CITY <u>Sierra Madre</u> TEL. NO. <u>514-0394</u>		MAIL ADDRESS <u>287 E. Montecito</u>			
STATE LICENSE NO. <u>511302</u> CITY LICENSE NO. <u>14109</u>		TEL. NO. <u>355-9161</u>			
PERMIT FEES		INSPECTION RECORD			
WATER CLOSET (TOILET)	\$3.00	<u>Fire Sprinkler</u> <u>Systems</u>			
BATH TUB	3.00				
SHOWER	3.00				
LAVATORY (WASH BASIN)	3.00				
SINKS: KITCHEN, FLOOR, BAR, ETC.	3.00				
LAUNDRY TUB OR TRAY	3.00				
AUTO WASHER	3.00				
DISH WASHER	3.00				
WATERING PIPING SYSTEM	3.00				
WATER SOFTENER*	3.00				
LAWN SPRINKLER*	4.00	I acknowledge that I have read this application and state that the above is correct and agree to comply with all city ordinances and state laws regulating plumbing. I certify that I am properly registered and licensed as required by the City of Sierra Madre and State of California or that I am the legal owner of the above described residential property. SIGNATURE OF PERMITTEE _____			
VACUUM BREAKERS, BACKFLOW VALVES	4.00				
(OVER 5)	.72				
GAS SYSTEM (1-6)	3.00				
(OVER 6)	.72				
WATER HEATER	3.00				
URINAL	3.00				
DRINKING FOUNTAIN	3.00				
SLOP SINK	3.00				
SWIMMING POOL PIPING	3.00				
ALTERATION TO WATER OR DRAINAGE PIPING	3.00	APPROVALS _____ DATE _____ INSPECTOR'S SIGNATURE _____			
P-TRAP FOR POOLS	3.00				
MISCELLANEOUS					
PLUMBING PERMIT	4.80				
TOTAL FEE	84.00				
				UNDER FLOOR WORK _____ ROUGH PLUMBING _____ GAS PIPING _____ GAS VENTS _____ PLUMBING FIXTURES _____ MISC. _____ GAS TEST _____ UTILITY CO. NOTIFIED _____ FINAL _____	

Issued by Mike Date 12-7-89 VALIDATION
This is a Plumbing Permit When Properly Filled Out, Signed and Validated.
Permit void if work is not commenced within 60 days of date of issuance.

1989 plumbing permit for installation of fire sprinklers.

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).

Policy No. 1004933-8 Company State Fund

☐ Certified copy is hereby furnished.

☐ Certified copy is filed with the city building inspection department.

Date 12-8-89 Applicant State Fund

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date 12-8-89 Applicant State Fund

NOTICE TO APPLICANT. If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 511302 Lic. Class B-C10

Contractor The Craftman Building Co. Date 12-8-89

☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. 511302 Date 12-8-89

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7051 5, Business and Professions Code):

☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name State Fund

Lender's Address State Fund

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent State Fund Date 12-8-89

CITY OF SIERRA MADRE BUILDING DEPARTMENT

ELECTRICAL PERMIT - APPLICATION

FEES - NEW CONSTRUCTION

RESIDENTIAL (SINGLE OR MULTI-FAMILY)
2.8 CENTS PER SQ. FT. PLUS \$2.00 EACH SERVICE
1.3 CENTS PER SQ. FT. FOR GARAGES ON SAME SERVICE

OTHER FEES	NO.	FEES	TOTAL
REGULAR FEE SCHEDULE			
OUTLETS	8	.65	
LIGHTS SW RECEPT. (1ST 20)		.40	
FIXTURES (1ST 20)		.65	
HOME APPLIANCES		.40	
CLOTHES DRYER, DISHWASHER, GARAGE DISPOSAL, KITCHEN FAN		.310	
COOKING APPLIANCES		3.10	
RANGE, COOKING UNITS WOVEN		3.10	
EXTRA OVEN		3.10	
MISCELLANEOUS		3.10	
HEATERS & HEATING APPLIANCES		1.60	
AIR HEATER, INCL. 1950 W. EA.		3.10	
AIR HEATER, OVER 1950 W. EA.		3.10	
WATER HEATER		3.10	
MISCELLANEOUS		3.10	
MOTORS AND A-C UNITS		3.10	
1 H.P. OR LESS		9.40	
1-10 H.P.			
OVER 10 H.P. (SEE SCHEDULE)			
TEMP. POWER POLE		6.20	
SERVICE (EACH)		3.10	
MISCELLANEOUS		3.10	
ELECTRICAL PERMIT	1	3.10	310
FIXTURE PERMIT		3.10	
MINIMUM FEE		16.00	
TOTAL FEE			\$16.00

I acknowledge that I have read this application and state that the above is correct and agree to comply with all city and state laws regulating electrical wiring.

I certify that I am properly registered and/or licensed as required by the City of Sierra Madre and State of California or that I am the legal owner of the above described residential property. No person shall be employed in violation of the Labor Code of the State of California. A Certificate of Insurance is required.

Signature of Permittee State Fund

BUILDING ADDRESS 287 E. Montecito

MAIL ADDRESS Sierra Madre, Ca.

OWNER Holwick

MAIL ADDRESS 287 E. Montecito

CITY Sierra Madre **TEL. NO.** 355-9161

ELECTRICIAN The Craftman Building Co.

Address P.O. Box 608

CITY Sierra Madre **TEL. NO.** 574-0394

STATE LICENSE NO. 511302 **CITY BUS. LIC. NO.** 14109

GROUP **ZONE** **PROCESSED BY**

INSPECTION RECORD

APPROVALS **DATE** **INSPECTOR'S SIGNATURE**

ROUGH WIRING 12-11-89 Pat

TEMP. POWER

FIXTURES

UTILITY CO. NOTIFIED

FINAL 12-15-89 Pat

A Double Fee Will Be Charged If Work is Started Before Permit is Issued.

Issued by Permit Date 12/8/89

VALIDATION

This is an Electrical Permit when properly filled out, signed and validated. Permit void if work not commenced within 60 days of issuance.

1989 electrical permit for miscellaneous work.

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).

Policy No. 1167671-90 Company State Fund

☐ Certified copy is hereby furnished.

☐ Certified copy is filed with the city building inspection department.

Date 11-2-90 Applicant State Fund

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date 11-2-90 Applicant State Fund

NOTICE TO APPLICANT. If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 582310 Lic. Class C-39

Contractor Two Horns Building Date 11-2-90

☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. 582310 Date 11-2-90

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7051 5, Business and Professions Code):

☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name State Fund

Lender's Address State Fund

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent State Fund Date 11-2-90

CITY OF SIERRA MADRE BUILDING DEPARTMENT

BUILDING PERMIT - APPLICATION

FOR APPLICANT TO FILL IN

BUILDING ADDRESS 287 E. Montecito

LOT NO. **BLOCK**

TRACT

SIZE OF LOT **NO. OF BLDGS. NOW ON LOT** 1

USE OF EXISTING BLDG. SFD

OWNER Holwick **TEL. NO.** 355-9161

ADDRESS 287 E. Montecito

ARCHITECT OR ENGINEER **TEL. NO.**

ADDRESS

CONTRACTOR Two Horns Building **TEL. NO.** 632-5150

ADDRESS 2901 E. Miraloma Anaheim

STATE LIC. # 582310 **CITY LIC. #** 14942

DESCRIPTION OF WORK

NEW **ADD** **ALTER** **REPAIR** **DEMOLISH**

SQ. FT. SIZE 1900 **NO. OF STORIES** 2 **NO. OF FAMILIES** 1

USE OF STRUCTURE Single Family Dwelling

SIGNATURE OF APPLICANT State Fund

VALUATION 3000 **\$**

PLAN CHECK FEE **\$**

BUILDING PERMIT FEE **\$** 55.20

DEVELOPMENT FEE **\$**

OTHER **\$**

TOTAL **\$** 55.20

DATE 11/2/90 **GROUP** 1 **TYPE CONST.** 1 **PROCESSED BY** Pat

STATISTICAL CLASSIFICATION **SEWER MAP**

CLASS NO. **DWELL. UNITS** **BK** **PG**

USE ZONE **SPECIAL CONDITIONS**

BUILDING PLAN **YARD** **HWY** **STREET NAME** **EXIST. WIDTH**

1st FLOOR

2nd FLOOR

GARAGE

ROOM DESCRIPTIONS **SQ. FT. SIZE**

INSPECTION RECORD

APPROVALS **DATE** **INSPECTOR'S SIGNATURE**

FOUNDATION: LOCATION FORMS, MATERIALS

FRAME: FIRE STOPS, BRACING, BOLTS

FURNACE: LOCATION, GAS VENT, DUCTS

INSULATION Roof Sheathing installed 11-5-90

LATH, INT.

LATH, EXT.

HOUSE NUMBER CORRECT AND POSTED

FINAL 12-5-90 Pat

VALIDATION

This is a Building Permit When Properly Filled Out, Signed and Validated. PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 60 DAYS OF DATE OF ISSUANCE.

1990 permit for new composition roof.

WORKERS' COMPENSATION DECLARATION
I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).

Policy No. _____ Company _____
☐ Certified copy is hereby furnished.
☐ Certified copy is filed with the city building inspection department.

Date 8-6-91 Applicant Frank J. Tardella

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

De _____ Applicant _____
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 241447 Lic. Class C8-429
Contractor Frank J. Tardella Date 8-6-91
☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031.5, Business and Professions Code):

☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).
☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date _____

BOOK	PAGE	PARCEL
5767	11	11

CITY OF SIERRA MADRE

BUILDING DEPARTMENT

BUILDING

PERMIT - APPLICATION

FOR APPLICANT TO FILL IN				DATE	GROUP	TYPE	PROCESSED BY
BUILDING ADDRESS	287 E. Montecito Ave			8/6/91	RS	II	WK
LOT NO.	BLOCK			STATISTICAL CLASSIFICATION	SEWER MAP		
TRACT				CLASS NO.	DWELL. UNITS		
SIZE OF LOT	NO. OF BLDGS. NOW ON LOT			USE ZONE	SPECIAL CONDITIONS		
USE OF EXISTING BLDG.				BUILDING SETBACK	YARD	HWY	STREET NAME
OWNER	C. B. EASTLAND TEL. NO. 355-9161			FRONT	EXIST. WIDTH		
ADDRESS	287 E. Montecito Ave			SIDE			
ARCHITECT OR ENGINEER	TA PURKUS TEL. NO. 952-2972			BUILDING PLAN	ROOM DESCRIPTIONS		
ADDRESS	4529 Angelus Court, La Grange			1st FLOOR			
CONTRACTOR	Seismic Safety, Inc. TEL. NO. 991-2300			2nd FLOOR			
ADDRESS	1410 N. Lake			GARAGE			
STATE LIC. #	669226 CITY LIC. # 14487			INSPECTION RECORD			
DESCRIPTION OF WORK				REPAIR CHIMNEY FROM ROOFLINE			
NEW	ADD	ALTER	REPAIR	APPROVALS			
NO. OF STORIES	NO. OF FAMILIES			DATE			
INSULATION	LATH, INT.			INSPECTOR'S SIGNATURE			
LATH, EXT.	HOUSE NUMBER CORRECT AND POSTED						
FINAL							
VALUATION	\$ 1500						
PLAN CHECK FEE	\$						
BUILDING PERMIT FEE	\$ 45.60						
DEVELOPMENT FEE	\$						
OTHER	\$						
TOTAL	\$ 45.60						

VALIDATION
This is a Building Permit When Properly Filled Out, Signed and Validated.
PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 60 DAYS OF DATE OF ISSUANCE.

1991 permit to repair chimney damage from Sierra Madre Earthquake on June 28, 1991.

WORKERS' COMPENSATION DECLARATION
I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).

Policy No. PWC 29750201 Company Paul Eagle
☐ Certified copy is hereby furnished.
☒ Certified copy is filed with the city building inspection department.

Date _____ Applicant _____

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

De _____ Applicant _____
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 669226 Lic. Class B
Contractor Seismic Safety, Inc. Date _____
☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031.5, Business and Professions Code):

☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).
☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date 8/8/94

BOOK	PAGE	PARCEL
5767	011	011

CITY OF SIERRA MADRE

BUILDING DEPARTMENT

BUILDING

PERMIT - APPLICATION

FOR APPLICANT TO FILL IN				DATE	GROUP	TYPE	PROCESSED BY
BUILDING ADDRESS	287 E. Montecito Ave			8/8/94	B	II	WK
LOT NO.	BLOCK			STATISTICAL CLASSIFICATION	SEWER MAP		
TRACT				CLASS NO.	DWELL. UNITS		
SIZE OF LOT	NO. OF BLDGS. NOW ON LOT			USE ZONE	SPECIAL CONDITIONS		
USE OF EXISTING BLDG.	SFR			BUILDING SETBACK	YARD	HWY	STREET NAME
OWNER	C. B. EASTLAND TEL. NO. 355-9161			FRONT	EXIST. WIDTH		
ADDRESS	287 E. Montecito Ave			SIDE			
ARCHITECT OR ENGINEER	TA PURKUS TEL. NO. 952-2972			BUILDING PLAN	ROOM DESCRIPTIONS		
ADDRESS	4529 Angelus Court, La Grange			1st FLOOR			
CONTRACTOR	Seismic Safety, Inc. TEL. NO. 991-2300			2nd FLOOR			
ADDRESS	1410 N. Lake			GARAGE			
STATE LIC. #	669226 CITY LIC. # 14487			INSPECTION RECORD			
DESCRIPTION OF WORK				Seismic retrofit - Smoke Detectors required Single Family Dwelling			
NEW	ADD	ALTER	REPAIR	APPROVALS			
NO. OF STORIES	NO. OF FAMILIES			DATE			
INSULATION	LATH, INT.			INSPECTOR'S SIGNATURE			
LATH, EXT.	HOUSE NUMBER CORRECT AND POSTED						
FINAL							
VALUATION	\$ 4090						
PLAN CHECK FEE	\$						
BUILDING PERMIT FEE	\$ 84						
DEVELOPMENT FEE	\$						
OTHER	\$						
TOTAL	\$ 85						

VALIDATION
This is a Building Permit When Properly Filled Out, Signed and Validated.
PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 60 DAYS OF DATE OF ISSUANCE.

1994 permit for seismic retrofit and required smoke detectors.

WORKERS' COMPENSATION DECLARATION
I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab. C).

Policy No. 696913388 Company Cal Comp. Ins.

☒ Certified copy is hereby furnished.
☐ Certified copy is filed with the city building inspection department.

Date 7/3/97 Applicant A. Commey

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date _____ Applicant _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 7309776 Lic. Class B

Contractor JB Kitchens Date 7/3/97

☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031.5, Business and Professions Code):

☒ as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above mentioned property for inspection purposes.

Signature of Applicant or Agent A. Commey Date 7/3/97

CITY OF SIERRA MADRE BUILDING DEPARTMENT 031597 JUL-26 **PLUMBING PERMIT - APPLICATION**

PLUMBER	NO.	FEE	TOTAL	JOB ADDRESS	OWNER
JB KITCHENS, BATHS & ACES				287 E. MONTECITO	BRAD & KATIE EASTLAND
ADDRESS <u>631 E. ARROW HWY</u>				MAIL ADDRESS <u>287 E. MONTECITO</u>	
CITY <u>SIERRA MADRE</u>				TEL. NO. <u>914-2559</u>	
STATE <u>TX</u>				LIC. NO. <u>355-4670</u>	
CITY LICENSE NO. <u>19104</u>					

PERMIT FEES	NO.	FEE	TOTAL	INSPECTION RECORD
WATER CLOSET (TOILET)		\$10.00		
BATH TUB		10.00		
SHOWER		10.00		
LAVATORY (WASH BASIN)	1	10.00	11.00	
SINKS: KITCHEN, FLOOR, BAR, ETC.	1	10.00	11.00	
LAUNDRY TUB OR TRAY		10.00		
AUTO WASHER		10.00		
DISH WASHER	1	10.00	11.00	
WATERING PIPING SYSTEM		10.00		
WATER SOFTENER*		10.00		
LAWN SPRINKLER*		10.00		
VACUUM BREAKERS, BACKFLOW VALVES		10.00		
(OVER 5)		2.60		
GAS SYSTEM (148)	1	10.00	11.00	
(OVER 6)		2.60		
WATER HEATER	1	10.00	11.00	
URINAL		2.60		
DRINKING FOUNTAIN		10.00		
SLOP SINK		10.00		
SWIMMING POOL PIPING		10.00		
ALTERATION TO WATER				
OR DRAINAGE PIPING		10.00		
P-TRAP FOR POOLS		10.00		
FIRE SPRINKLER SYS.				
MISCELLANEOUS				
PLUMBING PERMIT		17.10	17.10	
MINIMUM FEE		30.00		
TOTAL FEE			62.10	

I acknowledge that I have read this application and state that the above is correct and agree to comply with all city ordinances and state laws regulating plumbing.

I certify that I am properly registered and licensed as required by the City of Sierra Madre and State of California or that I am the legal owner of the above described residential property.

SIGNATURE OF PERMITTEE _____

APPROVALS	DATE	INSPECTOR'S SIGNATURE
UNDER FLOOR WORK		
ROUGH PLUMBING	7/15/97	Paul
GAS PIPING		
GAS VENTS		
PLUMBING FIXTURES		
MISC.		
GAS TEST		
UTILITY CO. NOTIFIED		
FINAL	10/13/97	Paul

Issued by _____ Date _____ **VALIDATION**
This is a Plumbing Permit When Properly Filled Out, Signed and Validated.
Permit void if work is not commenced within 60 days of date of issuance.

1997 plumbing permit to replace kitchen fixtures and re-plumb water and gas lines.

WORKERS' COMPENSATION DECLARATION
I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab. C).

Policy No. 696913388 Company Cal Comp. Ins.

☒ Certified copy is hereby furnished.
☐ Certified copy is filed with the city building inspection department.

Date 7/3/97 Applicant A. Commey

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date _____ Applicant _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 7309776 Lic. Class B

Contractor JB Kitchens Date 7/3/97

☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031.5, Business and Professions Code):

☒ as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above mentioned property for inspection purposes.

Signature of Applicant or Agent A. Commey Date 7/3/97

CITY OF SIERRA MADRE BUILDING DEPARTMENT 031598 JUL-26 **ELECTRICAL PERMIT - APPLICATION**

OTHER FEES	NO.	FEE	TOTAL	BUILDING ADDRESS	OWNER
REGULAR FEE SCHEDULE	14			287 E. MONTECITO	BRAD & KATIE EASTLAND
OUTLETS	13	2.50	32.50	MAIL ADDRESS <u>287 E. MONTECITO</u>	
(ADDITIONAL)		1.00		CITY <u>Sierra Madre</u>	TEL. NO. <u>918)355-4670</u>
FIXTURES (1ST 20)	4	2.00	8.00	ELECTRICIAN <u>JB Kitchens</u>	
(ADDITIONAL)		1.00		Address <u>631 E. ARROW HWY</u>	
HOME APPLIANCES	2	6.70	13.40	CITY <u>Glendora</u>	TEL. NO. <u>914-2559</u>
CLOTHES DRYER, DISHWASHER, GARBAGE DISPOSAL, KITCHEN FAN	1	6.70	6.70	STATE LICENSE NO. <u>7309776</u>	CITY BUS. LIC. NO. <u>19104</u>
COOKING APPLIANCES		6.70			
RANGE, COOKING UNITS WOVEN		6.70			
EXTRA OVEN		6.70			
MISCELLANEOUS	1	6.70	6.70		
HEATERS & HEATING APPLIANCES		6.70			
AIR HEATER, INCL. 1850 W. EA.		6.70			
AIR HEATER, OVER 1850 W. EA.		6.70			
WATER HEATER		6.70			
MISCELLANEOUS		6.70			
MOTORS AND A-C UNITS		5.50			
1 H.P. OR LESS		12.10			
1-10 H.P.					
OVER 10 H.P. (SEE SCHEDULE)					
TEMP. POWER POLE		26.70			
SERVICE (EACH)		6.70			
MISCELLANEOUS		6.70			
ELECTRICAL PERMIT		6.70			
PERMIT ISSUANCE		17.10	17.10		
MINIMUM FEE		30.00			
TOTAL FEE			69.90		

I acknowledge that I have read this application and state that the above is correct and agree to comply with all city and state laws regulating electrical wiring.

I certify that I am properly registered and/or licensed as required by the City of Sierra Madre and State of California or that I am the legal owner of the above described residential property.

No person shall be employed in violation of the Labor Code of the State of California. A certificate of insurance is required.

SIGNATURE OF PERMITTEE A. Commey

GROUP	ZONE	PROCESSED BY

INSPECTION RECORD

Rewire kitchen from main panel

APPROVALS	DATE	INSPECTOR'S SIGNATURE
CONDUIT		
ROUGH WIRING	7/15/97	Paul
TEMP. POWER		
FIXTURES		
UTILITY CO. NOTIFIED		
FINAL	10/13/97	Paul

A Double Fee Will Be Charged If Work is Started Before Permit is Issued.
Issued by _____ Date _____ **VALIDATION**
This is an Electrical Permit when properly filled out, signed and validated.
Permit void if work not commenced within 60 days of issuance.

1997 electrical permit to rewire kitchen.

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).

Policy No. 100548-98 Company State 3rd

☐ Certified copy is hereby furnished.

☐ Certified copy is filed with the city building inspection department.

Date 2/2/99 Applicant David B. B...

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date _____ Applicant _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 8554544 Lic. Class B

Contractor David B. B... Date 2/2/99

☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031 5, Business and Professions Code):

☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

David B. B... 2/2/99

Signature of Applicant or Agent Date

CITY OF SIERRA MADRE
BUILDING DEPARTMENT

032993 FEB-29 PLUMBING
PERMIT - APPLICATION

PLUMBER <u>D. B. B...</u>			JOB ADDRESS <u>287 E Montecito Ave</u>		
ADDRESS <u>PO Box 325</u>			OWNER <u>Mr. & Mrs. David B...</u>		
CITY <u>Sierra Madre</u> TEL NO. <u>355-2956</u>			MAIL ADDRESS <u>287 E Montecito Ave</u>		
STATE <u>CA</u> CITY LICENSE NO. <u>13813</u>			TEL NO. <u>355-4670</u>		

PERMIT FEES	NO.	FEE	TOTAL
WATER CLOSET (TOILET)		\$10.00	
BATH TUB		10.00	
SHOWER		10.00	
LAVATORY (WASH BASIN)		10.00	
SINKS: KITCHEN, FLOOR, BAR, ETC.		10.00	
LAUNDRY TUB OR TRAY		10.00	
AUTO WASHER		10.00	
DISH WASHER		10.00	
WATERING PIPING SYSTEM		10.00	
WATER SOFTENER*		10.00	
LAWN SPRINKLER*		10.00	
VACUUM BREAKERS, BACKFLOW VALVES (1-9)		10.00	
GAS SYSTEM (1-6)		2.60	
(OVER 6)		2.60	
WATER HEATER		10.00	
URINAL		2.60	
DRINKING FOUNTAIN		10.00	
SLOP SINK		10.00	
SWIMMING POOL PIPING		10.00	
ALTERATION TO WATER OR DRAINAGE PIPING		10.00	
P-TRAP FOR POOLS		10.00	
FIRE SPRINKLER SYS.			
MISCELLANEOUS			
PLUMBING PERMIT		17.50	
MINIMUM FEE		30.00	
TOTAL FEE			92.50

INSPECTION RECORD		
APPROVALS	DATE	INSPECTOR'S SIGNATURE
UNDER FLOOR WORK		
ROUGH PLUMBING		
GAS PIPING		
GAS VENTS		
PLUMBING FIXTURES		
MISC.		
GAS TEST		
UTILITY CO. NOTIFIED		
FINAL	3/9/99	Paul

Issued by Joe Date 2-2-99 VALIDATION
This is a Plumbing Permit When Properly Filled Out, Signed and Validated.
Permit void if work is not commenced within 60 days of date of issuance.

1999 plumbing permit to move existing gas line.

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).

Policy No. 100548-98 Company State 3rd

☐ Certified copy is hereby furnished.

☐ Certified copy is filed with the city building inspection department.

Date 2/2/99 Applicant David B. B...

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date _____ Applicant _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 554544 Lic. Class B

Contractor David B. B... Date 2/2/99

☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031 5, Business and Professions Code):

☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

David B. B... 2/2/99

Signature of Applicant or Agent Date

BOOK	PAGE	PARCEL

CITY OF SIERRA MADRE
BUILDING DEPARTMENT

032995 FEB-28 BUILDING
PERMIT - APPLICATION

FOR APPLICANT TO FILL IN				DATE <u>2-2-99</u> GROUP _____ TYPE CONST. _____		PROCESSED BY <u>Joe</u>	
BUILDING ADDRESS <u>287 E MONTICITO AVE</u>				STATISTICAL CLASSIFICATION _____ SEWER MAP _____			
LOT NO <u>Sierra Madre CA 90014</u> BLOCK _____				CLASS NO. _____ DWELL UNITS _____ BK PG _____			
TRACT _____				USE ZONE _____ SPECIAL CONDITIONS _____			
SIZE OF LOT _____		NO. OF BLOCS. NOW ON LOT _____		BUILDING SETBACK		YARD HWY STREET NAME EXIST. WIDTH	
USE OF EXISTING BLDG. <u>R1</u>		OWNER <u>Mr. & Mrs. David B...</u> TEL. <u>355-4670</u>		FRONT P.L.			
ADDRESS <u>287 E Montecito Ave</u>		ARCHITECT OR ENGINEER _____ TEL. NO. _____		SIDE P.L.			
ADDRESS _____		CONTRACTOR <u>David B. B...</u> TEL. <u>355-2956</u>		BUILDING PLAN		ROOM DESCRIPTIONS SQ. FT. SIZE	
ADDRESS <u>PO Box 325 Sierra Madre CA</u>		STATE LIC. # <u>B 554544</u> CITY LIC. # <u>13813</u>		1st FLOOR			
DESCRIPTION OF WORK				2nd FLOOR			
NEW ADD ALTER REPAIR DEMOLISH				GARAGE			
SQ. FT. SIZE _____		NO. OF STORIES _____ NO. OF FAMILIES _____		INSPECTION RECORD			
USE OF STRUCTURE <u>remove ext. stucco, install wood siding</u>							
APPLICANT <u>David B. B...</u>							
VALUATION <u>19,000</u>		\$ _____		APPROVALS DATE INSPECTOR'S SIGNATURE			
PLAN CHECK FEE _____		\$ _____		FOUNDATION: LOCATION FORMS, MATERIALS			
BUILDING PERMIT FEE _____		\$ <u>180</u>		FRAME: FIRE STOPS, BRACING, BOLTS			
DEVELOPMENT FEE _____		\$ _____		FURNACE: LOCATION, GAS VENT, DUCTS			
OTHER <u>1,200 + 1,000</u>		\$ _____		INSULATION			
TOTAL <u>18,200</u>		\$ <u>182,500</u>		LATH, INT.			
				LATH, EXT.			
				HOUSE NUMBER CORRECT AND POSTED			
				FINAL <u>3/9/99</u> <u>Paul</u>			

VALIDATION
This is a Building Permit When Properly Filled Out, Signed and Validated.
PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 60 DAYS OF DATE OF ISSUANCE.

1999 permit to remove stucco and replace with siding and change one roof line.

WORKERS' COMPENSATION DECLARATION
I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).
Policy No. 1005419 Company State 444
Certified copy is hereby furnished.
Certified copy is filed with the city building inspection department.
Date 11/5/99 Applicant David S. B.
CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)
I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.
LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.
License Number 554544 Lic. Class B
Contractor David S. B. Date 11/5/99
I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).
Lic. or Reg. No. Date
OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031.5, Business and Professions Code):
I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).
I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).
CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).
Lender's Name
Lender's Address
I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the aforesaid property for inspection purposes.
Signature of Applicant or Agent Date

BOOK	PAGE	PARCEL

CITY OF SIERRA MADRE
BUILDING DEPARTMENT

033682 NOV-4 99

BUILDING
PERMIT - APPLICATION

FOR APPLICANT TO FILL IN
BUILDING ADDRESS 287 E MONTICLOA AVE
LOT NO. BLOCK
TRACT
SIZE OF LOT NO. OF BLDGS. NOW ON LOT
USE OF EXISTING BLDG.
OWNER Melba B. Cantelmo TEL. NO. 355-4670
ADDRESS 287 E Monticloa Ave
ARCHITECT OR ENGINEER TEL. NO.
ADDRESS
CONTRACTOR David S. B. Cantelmo INC TEL. NO. 355-2756
ADDRESS PO Box 325 Sierra Madre
STATE LIC. # B 554544 CITY LIC. #
DESCRIPTION OF WORK
NEW ADD ALTER REPAIR DEMOLISH
SQ. FT. NO. OF STORIES NO. OF FAMILIES
USE OF STRUCTURE Bathroom remodel (master)
SIGNATURE OF APPLICANT David S. B.
VALUATION
PLAN CHECK FEE \$ 650.00
BUILDING PERMIT FEE \$ 129.00
DEVELOPMENT FEE \$
OTHER \$
TOTAL \$ 129.00
INSPECTION RECORD
APPROVALS DATE INSPECTOR'S SIGNATURE
FOUNDATION LOCATION FORMS, MATERIALS 11-15-99
FRAME, FIRE STOPS, BRACING, BOLTS
FURNACE LOCATION, GAS VENT, DUCTS
INSULATION
LATH, INT.
LATH, EXT.
HOUSE NUMBER CORRECT AND POSTED
FINAL 11-15-99
VALIDATION
This is a Building Permit When Properly Filled Out, Signed and Validated.
PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 60 DAYS OF DATE OF ISSUANCE.

1999 permit to remodel master bathroom.

WORKERS' COMPENSATION DECLARATION
I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).
Policy No. 1005419 Company State 444
Certified copy is hereby furnished.
Certified copy is filed with the city building inspection department.
Date 11/5/99 Applicant David S. B.
CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)
I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.
LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.
License Number 554544 Lic. Class B
Contractor David S. B. Cantelmo INC Date 11/5/99
I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).
Lic. or Reg. No. Date
OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031.5, Business and Professions Code):
I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).
I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).
CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).
Lender's Name
Lender's Address
I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the aforesaid property for inspection purposes.
Signature of Applicant or Agent Date

CITY OF SIERRA MADRE
BUILDING DEPARTMENT

033684 NOV-4 99

ELECTRICAL
PERMIT - APPLICATION

OTHER FEES NO. FEE TOTAL
REGULAR FEE SCHEDULE
OUTLETS LIGHTS SW RECEPT. (1ST 20) 8 2.00 16.00
FIXTURES (1ST 20) 2.00
FIXTURES (ADDITIONAL) 1.00
HOME APPLIANCES BATH FAN CLOTHES DRYER, DISHWASHER, GARBAGE DISPOSAL, KITCHEN FAN 1 7.00 7.00
COOKING APPLIANCES RANGE, COOKING UNITS WOVEN 7.00
BRANCH CIRCUITS < 10 11.00
BRANCH CIRCUITS > 10 9.40
HEATERS & HEATING APPLIANCES AIR HEATER, INCL. 1650 W. EA. 7.00
AIR HEATER, OVER 1650 W. EA. 7.00
WATER HEATER 6.70
BRANCH CIRCUITS 240 VOLT 18.00
MOTORS AND A.C. UNITS 1 H.P. OR LESS 7.00
1-10 H.P. 13.00
OVER 10 H.P. (SEE SCHEDULE)
TEMP. POWER POLE 26.00
SERVICE (EACH) 6.70
MISCELLANEOUS 6.70
ELECTRICAL PERMIT 6.70
PERMIT ISSUANCE 17.10
MINIMUM FEE 32.00
TOTAL FEE \$ 40.10
I acknowledge that I have read this application and state that the above is correct and agree to comply with all city and state laws regulating electrical wiring.
I certify that I am properly registered and/or licensed as required by the City of Sierra Madre and State of California or that I am the legal owner of the above described residential property.
No person shall be employed in violation of the Labor Code of the State of California. A Certificate of Insurance is required.
SIGNATURE OF PERMITTEE David S. B.
BUILDING ADDRESS 287 E Monticloa Ave
Owner Melba B. Cantelmo
MAIL ADDRESS 287 E Monticloa Ave
CITY Sierra Madre TEL. NO. 355-4670
ELECTRICIAN David S. B. Cantelmo INC
Address PO Box 325
CITY Sierra Madre TEL. NO. 355-2756
STATE LICENSE NO B 554544 CITY BUS. LIC. NO.
GROUP ZONE PROCESSED BY
INSPECTION RECORD
APPROVALS DATE INSPECTOR'S SIGNATURE
CONDUIT
ROUGH WIRING 11-15-99
TEMP. POWER
FIXTURES
UTILITY CO.
NOTIFIED
FINAL GFCI installed 11-15-99
VALIDATION
This is an Electrical Permit when properly filled out, signed and validated.
PERMIT VOID IF WORK NOT COMMENCED WITHIN 60 DAYS OF ISSUANCE.

1999 electrical permit to rewire master bathroom.

WORKERS' COMPENSATION DECLARATION
I hereby affirm that I have a certificate of consent to sell insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab. C).
Policy No. 1005445-01 Company State Fund
☒ Certified copy is hereby furnished.
☐ Certified copy is filed with the city building inspection department.

Date _____ Applicant _____

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)
I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Dat _____ Applicant _____
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 551544 Lic. Class B

Contractor Debra Date 6/7/04
☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031.5, Business and Professions Code):
☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).
☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.
Debra 6/7/04
Signature of Applicant or Agent Date

BOOK	PAGE	PARCEL

035067 JUN-75

1

CITY OF SIERRA MADRE **BUILDING DEPARTMENT**

BUILDING **PERMIT - APPLICATION**

FOR APPLICANT TO FILL IN	
BUILDING ADDRESS <u>287 E. Montecito Ave</u>	LOT NO. _____ BLOCK _____
TRACT _____	
SIZE OF LOT _____	NO. OF BLDGS. NOW ON LOT _____
USE OF EXISTING BLDG. <u>R1</u>	OWNER <u>Mouham B. Eastland</u> TEL. NO. _____
ADDRESS <u>287 E. Montecito Ave</u>	ARCHITECT OR ENGINEER _____ TEL. NO. _____
ADDRESS <u>D.J. BUSHE CONSTRUCTION</u>	CONTRACTOR <u>Debra</u> TEL. NO. <u>551-2800</u>
ADDRESS <u>pg box 325</u>	STATE LIC. # <u>B 554544</u> CITY LIC. # _____
DESCRIPTION OF WORK	
NEW _____ ADD _____ ALTER _____ REPAIR _____ DEMOLISH _____	NO. OF STORIES _____ NO. OF FAMILIES _____
80 FT. SIZE _____	USE OF STRUCTURE _____
SIGNATURE OF APPLICANT <u>Debra</u>	
VALUATION _____	\$ <u>2000</u>
PLAN CHECK FEE _____	\$ _____
BUILDING PERMIT FEE _____	\$ <u>56.00</u>
DEVELOPMENT FEE _____	\$ _____
OTHER <u>56 + .50</u>	\$ _____
TOTAL _____	\$ <u>57.06</u>

DATE <u>6-7-04</u>	GROUP <u>2</u>	TYPE <u>CONSTR</u>	PROCESSED BY <u>Debra</u>
STATISTICAL CLASSIFICATION		SEWER MAP	
CLASS NO. _____	DWELL. UNITS _____	BK _____	PG _____
USE ZONE _____	SPECIAL CONDITIONS _____		
BUILDING SETBACK	YARD	HWY	STREET NAME
FRONT _____	_____	_____	_____
SIDE _____	_____	_____	_____
REAR _____	_____	_____	_____
BUILDING PLAN	ROOM DESCRIPTIONS	SQ. FT. SIZE	
1st FLOOR _____	_____	_____	
2nd FLOOR _____	_____	_____	
GARAGE _____	_____	_____	
INSPECTION RECORD			
<u>Reconfigure and drain 2nd floor floor</u>			
<u>Balcony framing, sheath and ABE design and</u>			
<u>super 6/8/04</u>			
APPROVALS		DATE	INSPECTOR'S SIGNATURE
FOUNDATION LOCATION	FORMS, MATERIALS	_____	_____
FRAME, FIRE STOPS, BRACING, BOLTS	FURNACE LOCATION, GAS VENT, DUCTS	_____	_____
INSULATION	LATH, INT.	_____	_____
LATH, EXT.	HOUSE NUMBER CORRECT AND POSTED	_____	_____
FINAL	_____	_____	_____

This is a Building Permit When Properly Filled Out, Signed and Validated.
PERMIT VOID IF WORK IS NOT COMMENCED WITHIN 60 DAYS OF DATE OF ISSUANCE.

2001 permit to repair and reconfigure drain that was causing balcony to flood.

WORKERS' COMPENSATION DECLARATION
I hereby affirm that I have a certificate of consent to sell insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab. C).
Policy No. 1476348-2004 State Compensation Insurance Fund
☐ Certified copy is hereby furnished.
☐ Certified copy is filed with the city building inspection department.
Date _____ Applicant Paul Roberts

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)
I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Dat _____ Applicant Paul Roberts
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION
I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 561193 Lic. Class C42

Contractor Paul Roberts Date _____

☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION
I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031.5, Business and Professions Code):
☐ I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).
☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY
I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.
Paul Roberts 6/7/04
Signature of Applicant or Agent Date

CITY OF SIERRA MADRE **BUILDING DEPARTMENT**

038167 APR 14 8

1

SEWER **PERMIT - APPLICATION**

FOR APPLICANT TO FILL IN	
LEGAL DESCRIPTION	LOT NO. _____
BLOCK _____	TRACT _____
SIZE OF LOT _____	NO. OF BLDGS. NOW ON LOT _____
USE OF BUILDINGS	CONTRACTOR <u>Paul Roberts</u>
ADDRESS <u>3228 Alanreed Av.</u>	CONTRACTOR'S STATE LICENSE NO. <u>561193</u> SIERRA MADRE BUSINESS LICENSE NO. <u>13444</u>
CONTRACTOR'S ADDRESS <u>Rosemead, CA 91770 (626) 798-0725</u>	DESCRIPTION OF WORK
NO. _____	DESCRIPTION OF WORK
1	HOUSE SEWER CONNECTING TO PUBLIC SEWER @ \$28.90
	SEPTIC TANK SEEPAGE PIT OR PITS AND/OR DRAINFIELD @ \$28.90
	OVERFLOW SEEPAGE PIT DRAINFIELD EXTN. CESSP. DRYW. MAHN. @ \$28.90
	HOUSE SEWER CONNECTING TO PRIVATE DISPOSAL SYSTEM @ \$28.90
	CONNECT ADDITIONAL BLDG. OR WORK TO HOUSE SEWER @ \$16.70
1	ALTER, REPAIR OR ABANDON HOUSE SEWER OR DISPOSAL SYSTEM @ \$20.00
	SADDLE MAIN LINE @ \$26.90
PERMIT FEE	17 10
MINIMUM FEE	30 00
TOTAL FEE	176 00
OWNERS AUTHORIZATION	
I HAVE AT THIS DATE A CONTRACT WITH THE HEREIN NAMED CONTRACTOR TO CONNECT THE ABOVE DESCRIBED EXISTING DWELLING TO THE PUBLIC SEWER	
SIGNED THIS _____ DAY OF _____	2004
OWNER'S AGENT <u>Paul Roberts</u>	
2228 Alanreed Av., Rosemead, CA 91770	
I HEREBY ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE IS CORRECT & AGREE TO COMPLY WITH ALL CITY ORDINANCES REGULATING PLUMBING & SEWERS.	
I HEREBY CERTIFY THAT I AM PROPERLY REGISTERED AND/OR LICENSED AS REQUIRED BY THE CITY OF SIERRA MADRE AND STATE OF CALIFORNIA OR THAT I AM THE LEGAL OWNER OF THE ABOVE DESCRIBED RESIDENTIAL PROPERTY.	
SIGNATURE OF PERMITTEE <u>Paul Roberts</u>	

BUILDING ADDRESS <u>287 E. Montecito Av.</u>	Sierra Madre, CA 91024
OWNER <u>The Bradford Eastland Trust</u>	MAIL ADDRESS <u>287 E. Montecito Av.</u>
Sierra Madre, CA 91024	(626) 355-4670
CONNECTION DATA	
STATION _____	DEPTH _____
MANHOLE REFERENCE _____	UPPER LOWER
TYPE OF CONNECTION _____	PL. _____
CO. IMP. NO. _____	P.C. NO. _____
JOBS NO. _____	TRUNK PERMIT NO. _____
STATE ENCROACHMENT PERMIT NO. _____	INDUSTRIAL WASTE APPROVAL _____
CHARGES	
CONNECTION CHARGE	125.00
REIMBURSEMENT CHARGE	
APPROVALS	DATE
NEW HOUSE SEWER	4-16-04
CONNECT ADDITIONAL BUILDING OR WORK	_____
SEPTIC TANK, SEEP, PIT(S) AND/OR DRAINFIELD	_____
CESSPOOL () DRYWELL ()	_____
ALTER, REPAIR, SEWER, OR SEWAGE DISPOSAL SYSTEM	_____
BACKFILL SEPTIC TANKS () SEEP, PIT(S) () CESSPOOL ()	_____
SADDLE MAIN LINE	_____

This is a Sewer Permit When Properly Filled Out, Signed and Validated.

ISSUED BY _____ DATE _____
PERMIT VALIDATION

2004 sewer permit to hook up to city sewer and fill in two cesspools.

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance or a certified copy thereof (Sec. 3800, Lab C).

Policy No. _____ Company Self Fund

☒ Certified copy is hereby furnished.
☐ Certified copy is filed with the city building inspection department.

Date _____ Applicant _____

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE
 (This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date _____ Applicant _____

NOTICE TO APPLICANT. If, after making this Certificate of exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number _____ Lic. Class _____

Contractor _____ Date _____

☐ I am exempt from the licensing requirements as I am a licensed architect or a registered professional engineer acting in my professional capacity (Section 7051 Business and Professions Code).

Lic. or Reg. No. _____ Date _____

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License law for the following reason (Section 7031 5, Business and Professions Code):

☒ I, as owner of the property, or my employees with wages as their sole compensation will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).

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CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a compensation lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that all of the information is correct. I agree to comply with all city ordinances and State laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date _____

CITY OF SIERRA MADRE
BUILDING DEPARTMENT

143340 JUL 26 2010

ELECTRICAL
PERMIT — APPLICATION

OTHER FEES	NO.	FEE	TOTAL	BUILDING ADDRESS																						
REGULAR FEE SCHEDULE				287 Montecito																						
OUTLETS				287 E Montecito																						
LIGHTS SW RECEPT. (1ST 20)																										
(ADDITIONAL)																										
FIXTURES				OWNER <u>VANESA ROBERTS</u>																						
(1ST 20)				MAIL ADDRESS <u>287 E Montecito</u>																						
(ADDITIONAL)				CITY <u>Sierra Madre</u> TEL NO. _____																						
HOME APPLIANCES				ELECTRICIAN <u>Magician</u>																						
CLOTHES DRYER, DISHWASHER, GARBAGE DISPOSAL, KITCHEN FAN				Address <u>594 E Glendale</u> NO. _____																						
COOKING APPLIANCES				CITY <u>Glendale</u> TEL NO. <u>818 242 2645</u>																						
RANGE, COOKING UNITS W/OVEN				STATE LICENSE NO. <u>707269</u> CITY BUS. LIC. NO. _____																						
BRANCH CIRCUITS < 10	1			GROUP _____ ZONE _____ PROCESSED BY _____																						
BRANCH CIRCUITS > 10				INSPECTION RECORD																						
HEATERS & HEATING APPLIANCES																										
AIR HEATER, INCL 1650 W. EA.																										
AIR HEATER, OVER 1650 W. EA.																										
WATER HEATER																										
BRANCH CIRCUITS 240 VOLT																										
MOTORS AND A-C UNITS																										
1 H.P. OR LESS																										
1-10 H.P.																										
OVER 10 H.P. (SEE SCHEDULE)																										
TEMP. POWER POLE				<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>APPROVALS</th> <th>DATE</th> <th>INSPECTOR'S SIGNATURE</th> </tr> </thead> <tbody> <tr><td>CONDUIT</td><td></td><td></td></tr> <tr><td>ROUGH WIRING</td><td></td><td></td></tr> <tr><td>TEMP. POWER</td><td></td><td></td></tr> <tr><td>FIXTURES</td><td></td><td></td></tr> <tr><td>UTILITY CO. NOTIFIED</td><td></td><td></td></tr> <tr><td>FINAL</td><td></td><td></td></tr> </tbody> </table>		APPROVALS	DATE	INSPECTOR'S SIGNATURE	CONDUIT			ROUGH WIRING			TEMP. POWER			FIXTURES			UTILITY CO. NOTIFIED			FINAL		
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UTILITY CO. NOTIFIED																										
FINAL																										
SERVICE (EACH)																										
MISCELLANEOUS																										
ELECTRICAL PERMIT																										
PERMIT ISSUANCE																										
MINIMUM FEE			173.00																							
TOTAL FEE			\$ 173.00																							
<p>I acknowledge that I have read this application and state that the above is correct and agree to comply with all city and state laws regulating electrical wiring.</p> <p>I certify that I am properly registered and/or licensed as required by the City of Sierra Madre and State of California or that I am the legal owner of the above described residential property.</p> <p>No person shall be employed in violation of the Labor Code of the State of California. A Certificate of Insurance is required.</p>																										
SIGNATURE OF PERMITTEE _____																										

A Double Fee Will Be Charged If Work is Started Before Permit is Issued.

Issued by John Date 07-26-10

VALIDATION

This is an Electrical Permit when properly filled out, signed and validated.
Permit void if work not commenced within 60 days of issuance.

INSPECTOR'S COPY

2010 electrical permit to install a branch circuit.

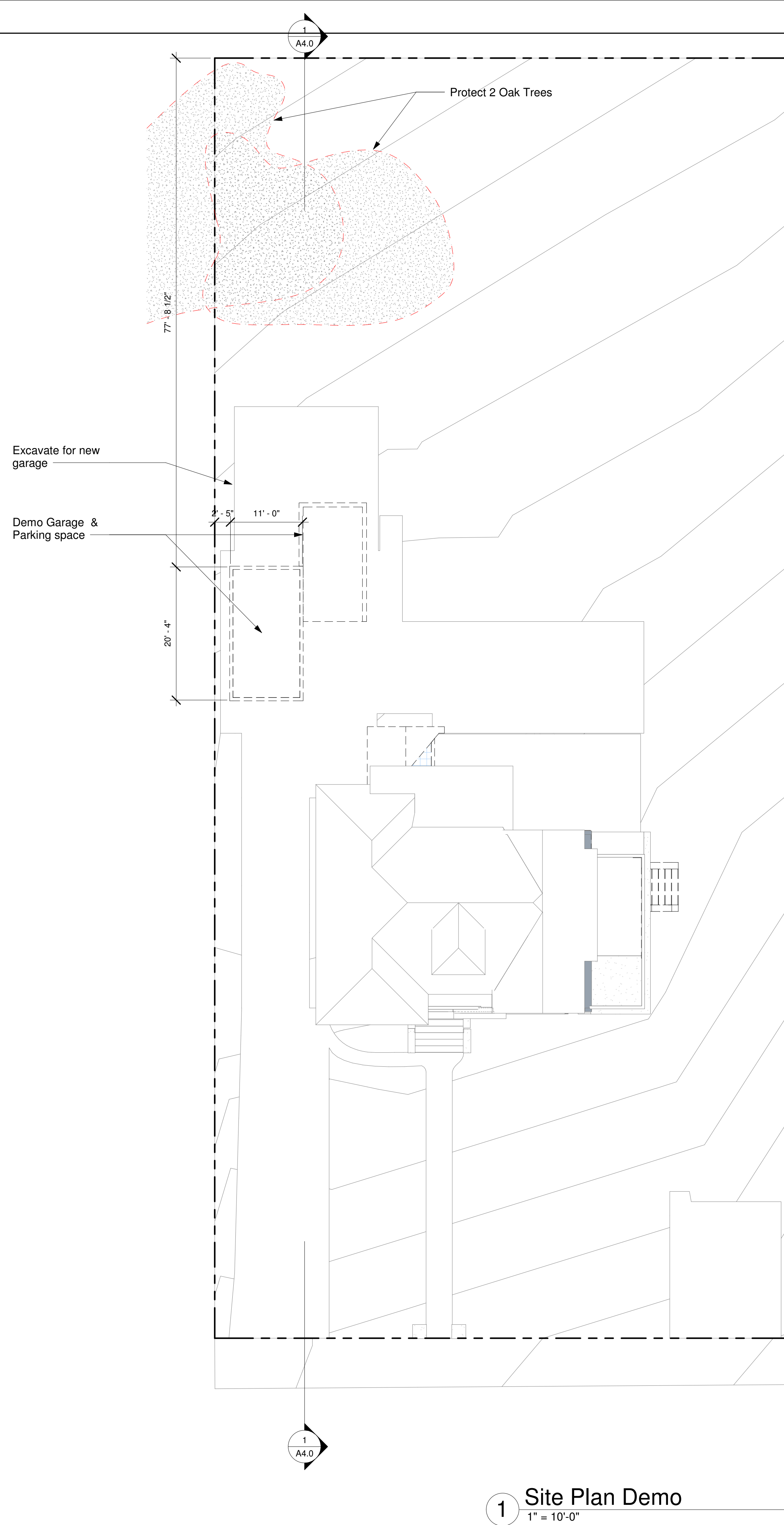


General		
G-1	Title Page	July 7 2021 DRB
Existing / Demo Plan		
D0.1	Site Demo	
D1.1	Existing 1st Floor Plan / Demo Plan	
D1.2	Existing 2nd Floor Plan / Demo Plan	
D2.1	Existing Elevations	
Architecture		
A1.0	Site Plan	
A2.1	Floor Plan	
A2.2	Second Floor	
A2.3	Roof Plan	
A2.4	Garage Plan	
A3.1	Building Elevations	
A3.2	Building Elevations	
A3.3	Garage Elevations	
A4.0	Site Section	
A4.1	Building Sections	
A4.2	Building Sections	July 7 2021 DRB
A4.3	Building Sections	
A8.2	Renderings	
A9.1	Interior Elevations	
A9.2	Interior Elevations	
A9.3	Interior Elevations	

Site Plan

" = 20'-0"

1" = 20'-0"



Demo Legend

- Solid lines to remain
- - - Dashed lines to be Demolished

Demolition Notes:

1. Remove all existing constructions and finishes necessary for the completion of the work as depicted on the drawings, including but not limited to the removal of all existing partitions, doors, disposal materials, and alterations to existing mechanical and electrical systems shall be included, patch as required all constructions to remain in accordance with the contract drawings.
2. The contractor is responsible for the removal, disposal of materials, and the responsibility of the contractor, verify with owner, the disposition and removal of any components of salvagable value.
3. All removals and salvage, unless specifically noted or requested by the owner shall become the property of the contractor.
4. Remove only non-load bearing construction and partitions. contractor to verify, prior to removal, that no structural components, i.e. bearing walls, beams, headers, etc., supporting floor, roof or ceiling joists are damaged or weakened. The contractor shall be responsible for obtaining the architect prior to removal of any construction in question or deviating from the design intent. contractor's non-contact of architect prior to removal of any work indicates his complete understanding that no load bearing or structural work will be altered or removed.
5. All structural systems shall be maintained and shall be of sufficient strength to support the design loads and to resist the deformation caused by such loads to which they still possess including surcharge.
6. Patch and repair, tear out and replace, and replace. Patch all finishes to match existing, including but not limited to, gypsum board, plaster, acoustic systems, wood trim, covers, base, panels, rails and wainscot, verify match of new finish materials to existing prior, tear out and replace, and replace to the satisfaction of the owner prior to installations, provide other materials to match existing when required, to be approved by the owner.
7. Patch existing walls gypsum drywall or plaster to match existing of sufficient thickness to maintain 1/2" minimum thickness. If existing portion of wall shall be finished with three (3) coats of speckling, sanded and left in a paint ready condition.
8. Where applicable level all existing floors as required to receive new floor finishes. Install required transition profile between existing floor finishes suitable for conditions and acceptable to the owner, match existing wherever possible.

Renovation & Addition

Connie & Derek Kan; connie.kan@gmail.com

287 E. Montecito Ave.

Sierra Madre, CA 91024

APN: 234-002-0011

Site Demo

Project number	21.06
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8/10/2021 11:47:44 AM
DRB, Attachment A

D0.1

Scale	As indicated
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[illegible]

Renovation & Addition

Connie & Derek Kan; connie.kan@gmail.com

287 E. Montecito Ave.

Sierra Madre, CA 91024

APN: 234-002-0011

Existing 1st
Floor Plan /
Demo Plan

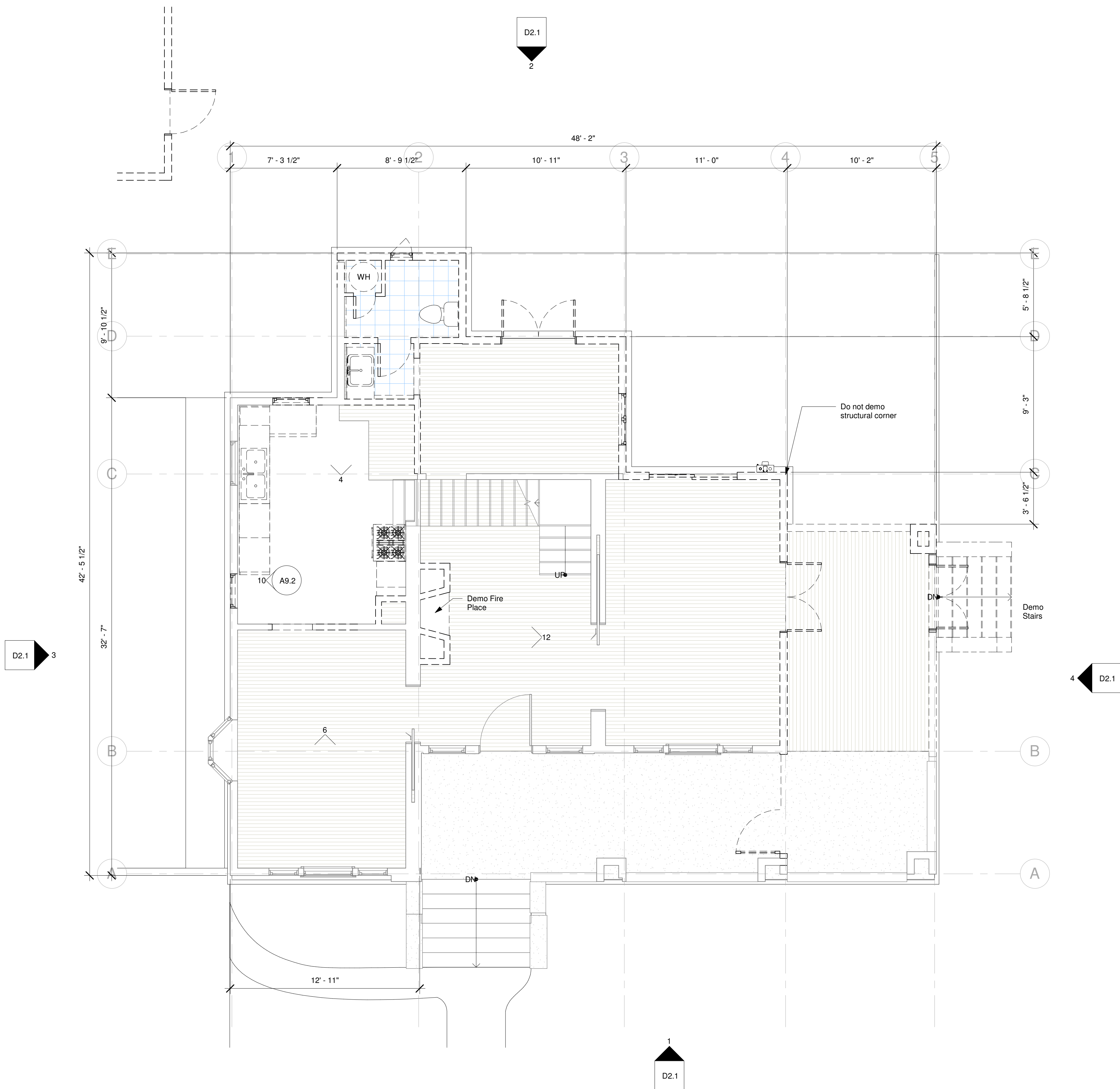
Project number	21.06
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8/10/2021 11:47:45 AM

DRB, Attachment A

D1.1

Scale	As indicated
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1 First Floor- Asbuilt
1/4" = 1'-0"

Demo Legend

— Solid lines to remain

— — — — Dashed lines to be Demolished

Demolition Notes:

1. Remove all existing constructions and finishes necessary for the completion of the work as depicted on the drawings, including but not limited to, items shown on the plans with dashed lines. Remove all exterior and interior existing mechanical and electrical systems shall be included, patch as required all constructions to remain in accordance with the contract drawings, where contractor is designated to make removals, contractor is to make repairs and restoration. The contractor, verify with owner, the disposition and removal of any components of salvageable value.
2. All removals and salvage, unless specifically noted or requested by the owner shall become the property of the contractor.
3. Remove only non-load bearing construction and partitions. contractor to verify, prior to removal, that no structural components, i.e. bearing walls, beams, headers, etc., supporting floor, roof or other elements are affected. The contractor shall contact the architect prior to removal of any construction in question or deviating from the design intent. contractor's non-contact of architect prior to removal of any work indicates his complete understanding that no load bearing or structural element is being altered.
4. All structural systems shall be maintained and shall be of sufficient strength to support the design loads and to resist the deformation caused by such loads to which they self pressure including surcharge, wind, dead and live loads.
5. Patch all finishes to match existing, including but not limited to, gypsum board, plaster, acoustic systems, wood trim, covers, base, panels, rails and wainscot. verify match of new finish materials to existing color, texture and grain. The contractor is to the satisfaction of the owner prior to installations. provide other materials to match existing when required, to be approved by the owner.
6. Patch existing walls gypsum drywall or plaster to maintain existing of surface texture. Maintain uniform wall thickness, all exposed portions of wall shall be finished with three (3) coats of speckling, sanded and left in a paint ready condition.
7. Where applicable leave all existing floors as required to receive new floor finish. Maintain required transition between various floor finishes suitable for conditions and acceptable to the owner. match existing wherever possible.

[illegible]

Renovation & Addition

Connie & Derek Kan; connie.kan@gmail.com

Connie & Derek Kan; connie.kan@gmail.com

287 E. Montecito Ave.

Sierra Madre, CA 91024

APN: 234-002-0011

Existing 2nd
Floor Plan /
Demo Plan

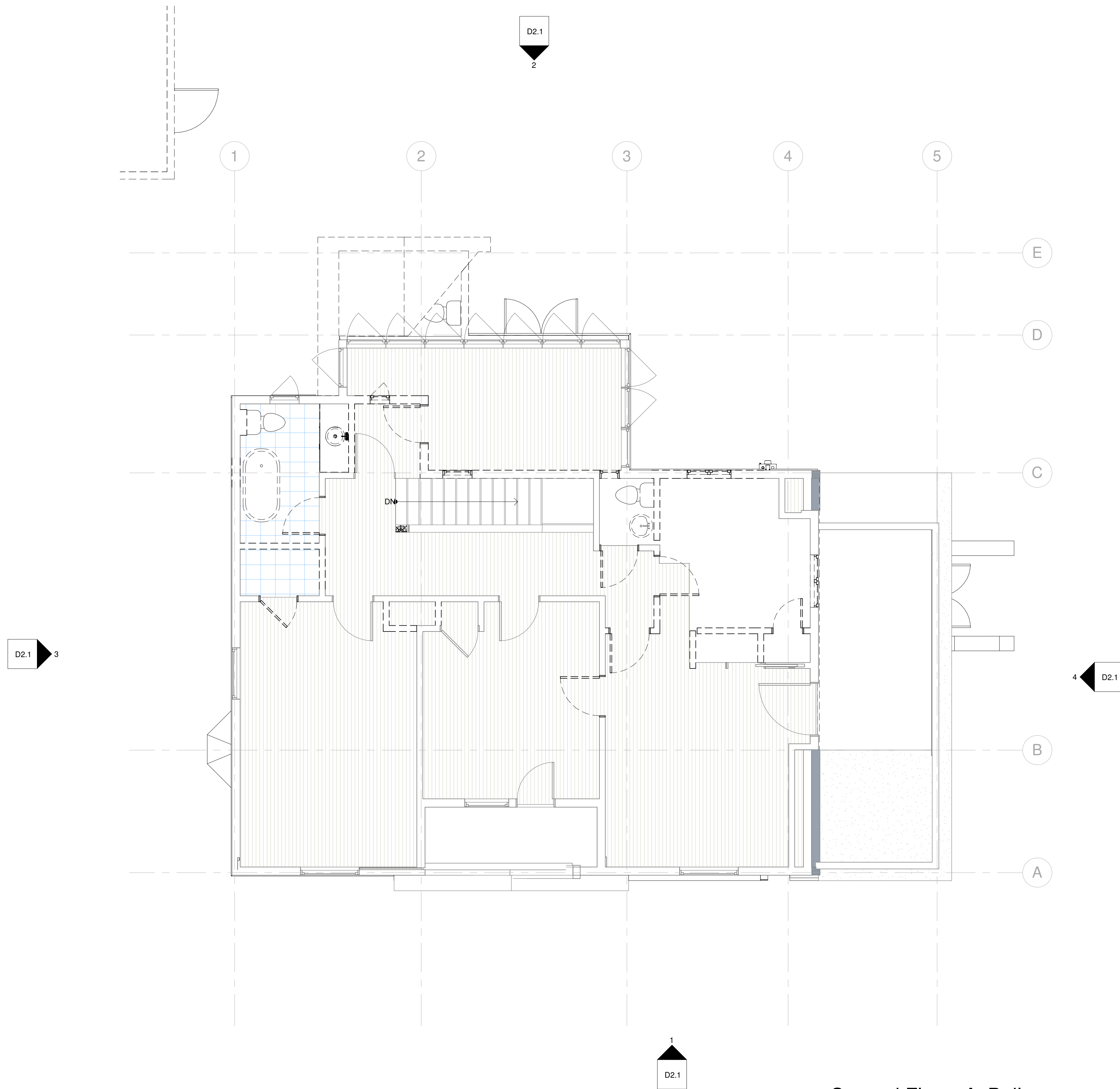
Project number	21.06
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8/10/2021 11:47:46 AM

DRB, Attachment A

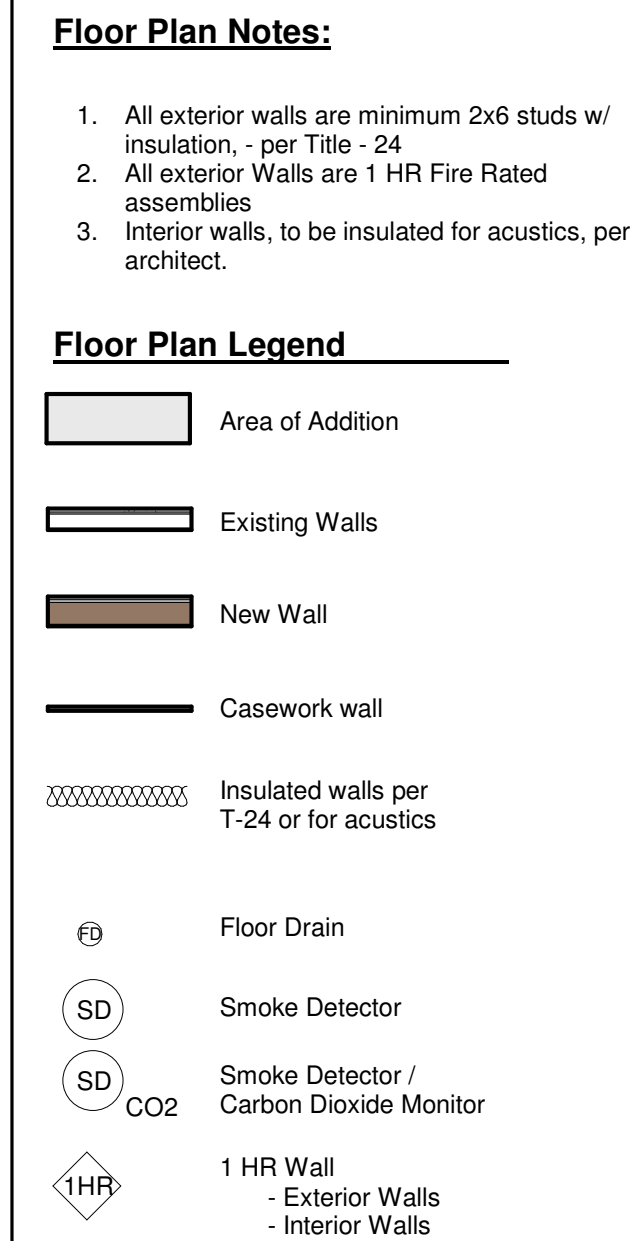
D1.2

Scale	As indicated
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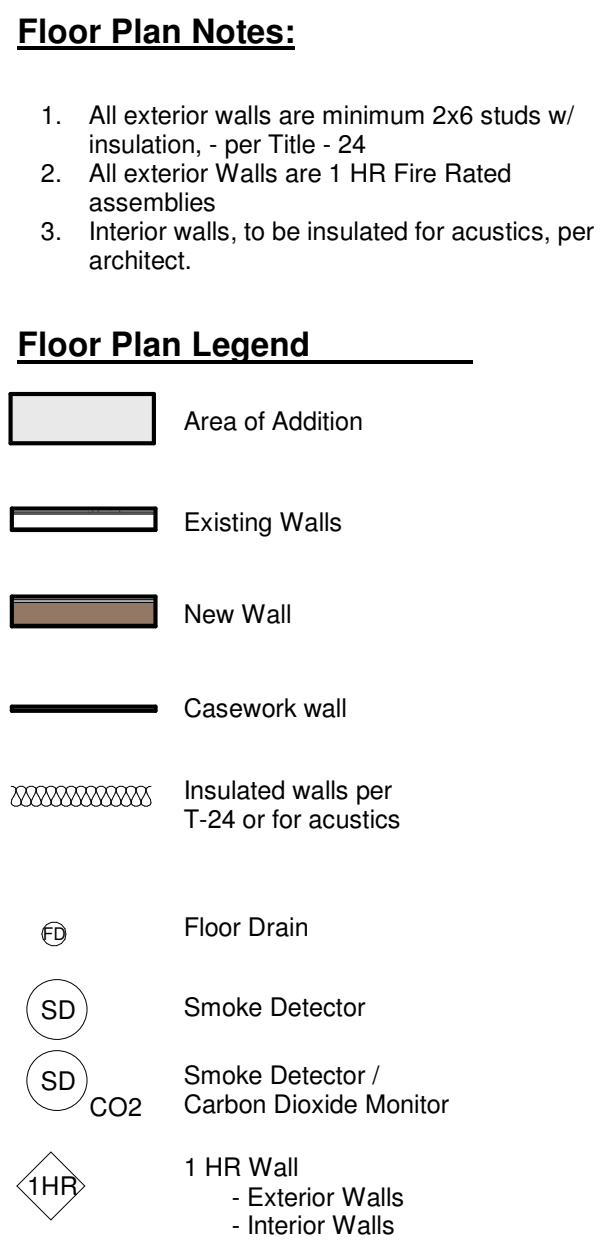
Second Floor- AsBuilt

$$\frac{1}{4}'' = 1'-0''$$



APN: 234-002-0011

Scale $1/4" = 1'-0"$



1 Second Floor
1/4" = 1'-0"

[illegible]

Renovation & Addition

Connie & Derek Kan; connie.kan@gmail.com

287 E. Montecito Ave.

Sierra Madre, CA 91024

APN: 234-002-0011

Roof Plan

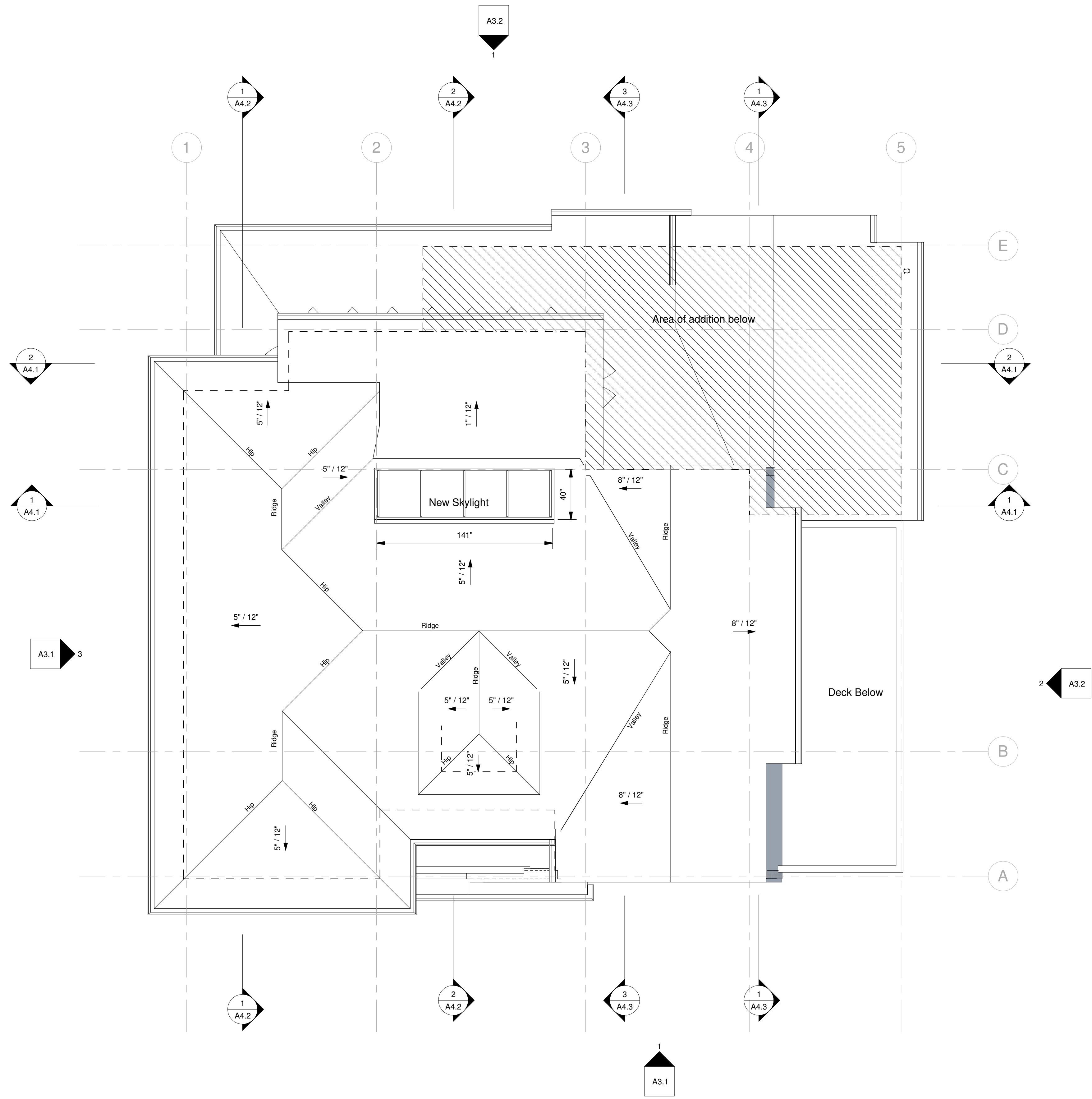
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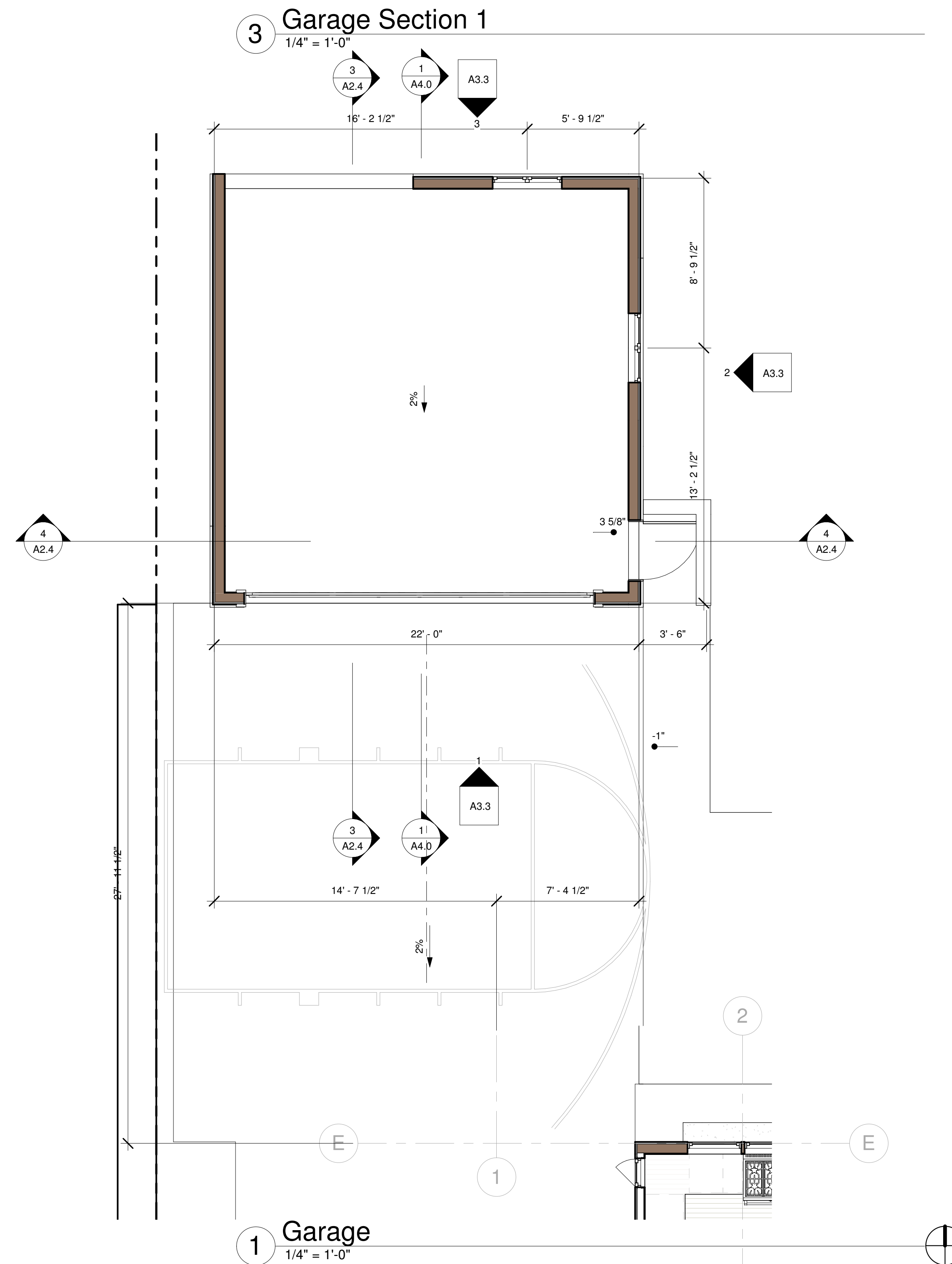
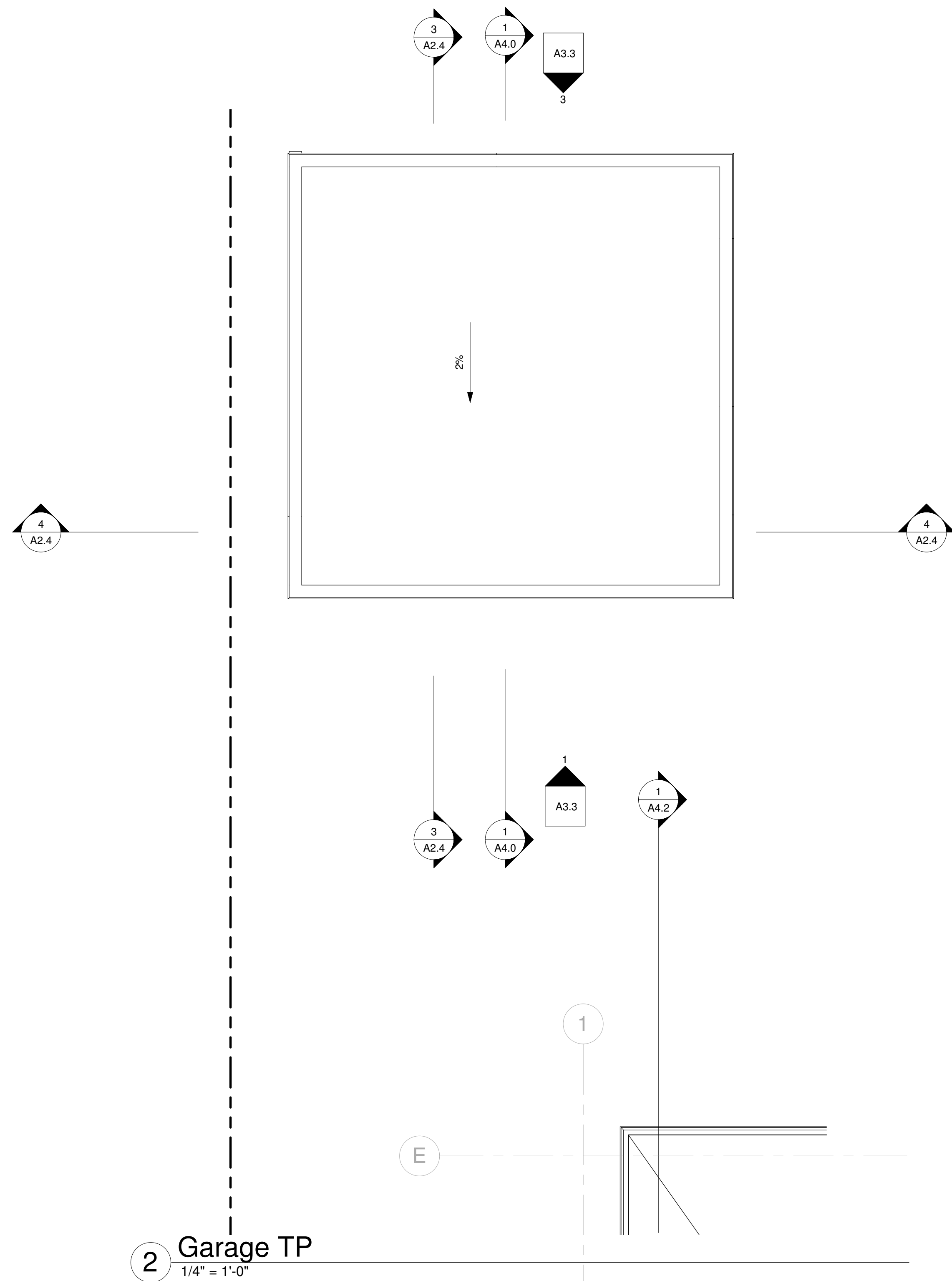
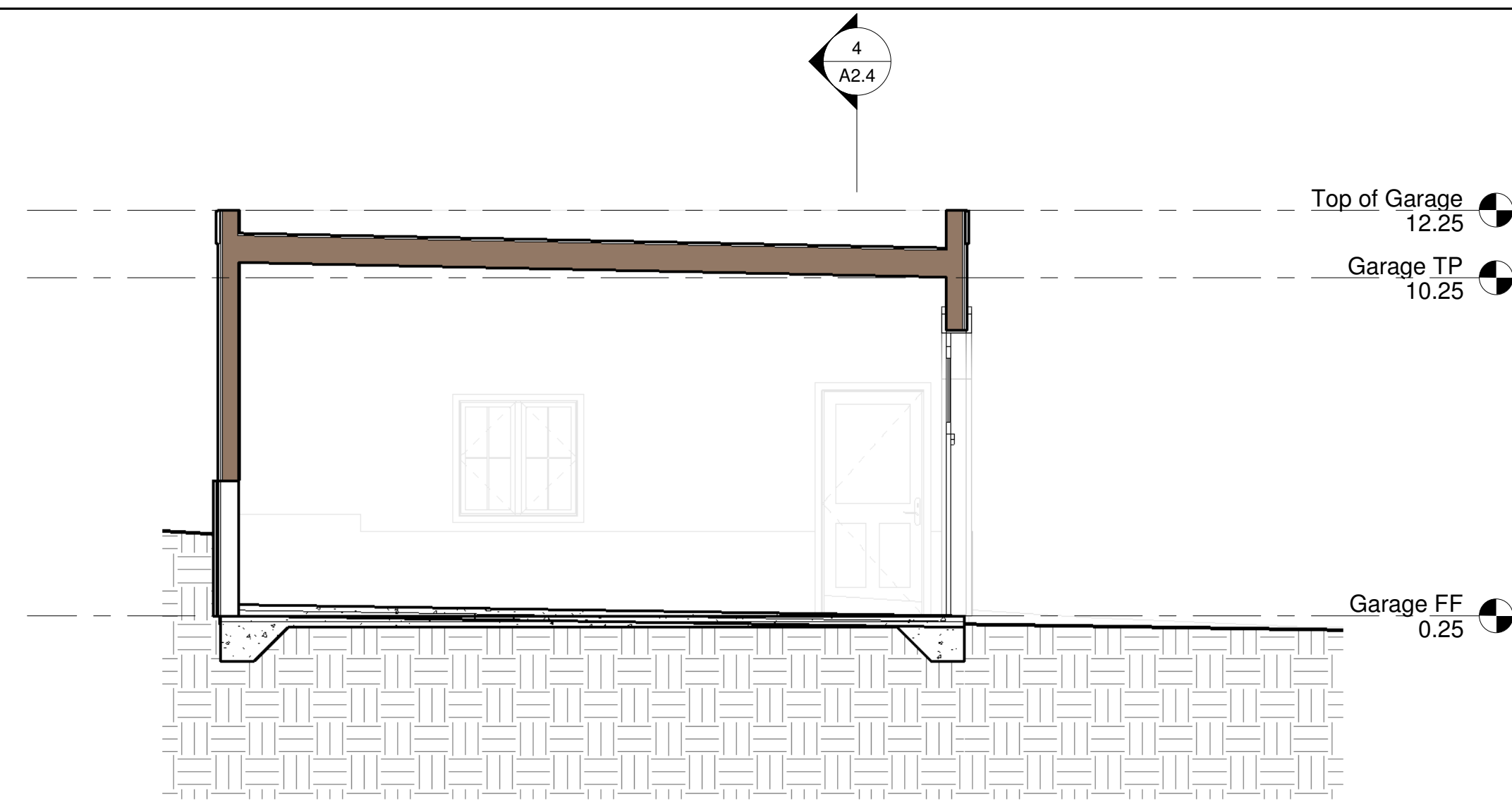
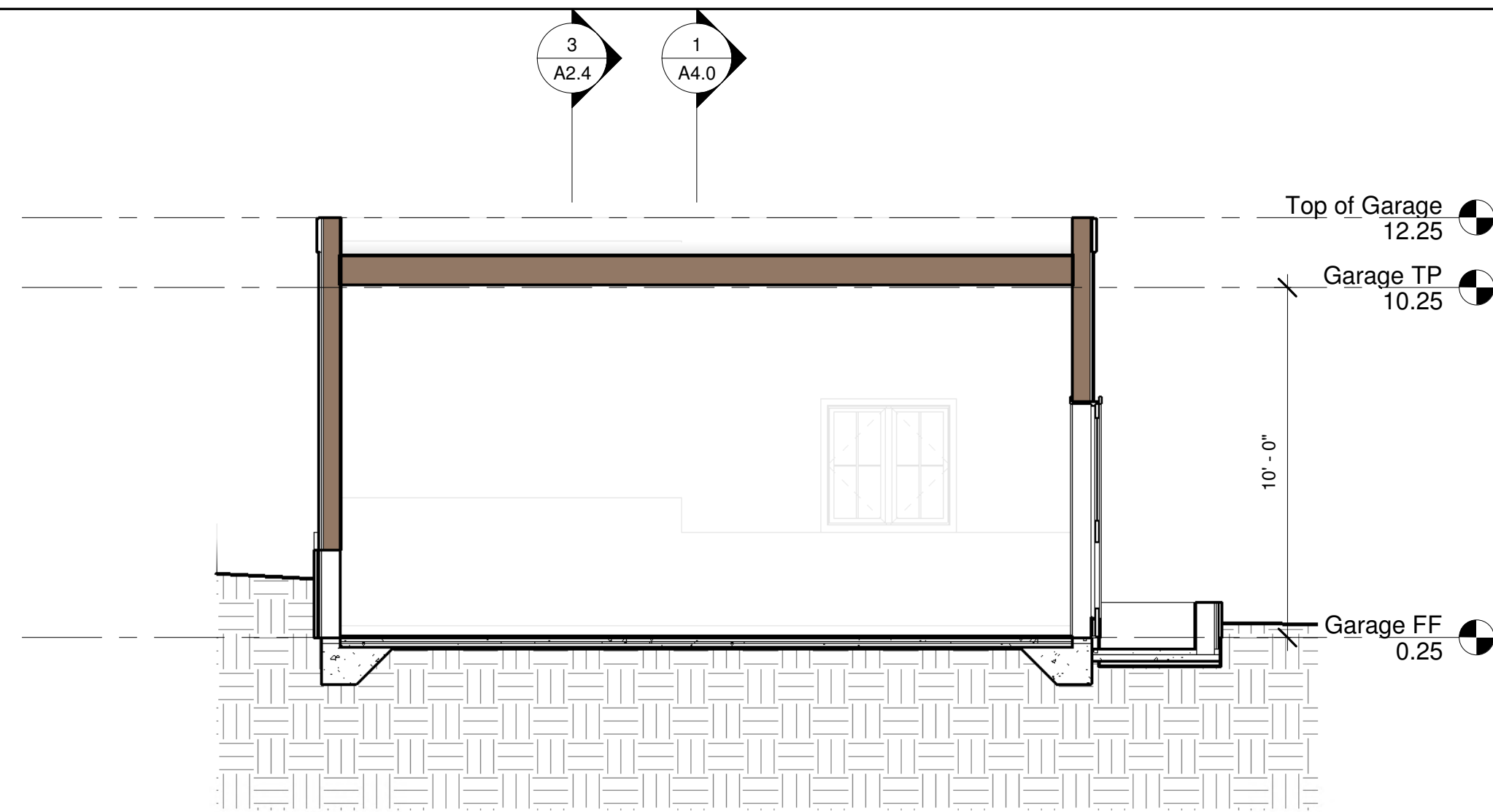
DRB, Attachment A

A2.3

Scale $1/4" = 1'-0"$












1 Roof Plan



- Floor Plan Notes:**

1. All exterior walls are minimum 2x6 studs w/ insulation, - per Title - 24
2. All exterior Walls are 1 HR Fire Rated assemblies
3. Interior walls, to be insulated for acoustics, per architect.

Floor Plan Legend

- | | |
|---|---|
|  | Area of Addition |
|  | Existing Walls |
|  | New Wall |
|  | Casework wall |
|  | Insulated walls per T-24 or for acoustics |
|  | Floor Drain |
|  | Smoke Detector |
|  | Smoke Detector / Carbon Dioxide Monitor |
|  | 1 HR Wall
- Exterior Walls
- Interior Walls |

[illegible]

Renovation & Addition

Connie & Derek Kan; connie.kan@gmail.com

287 E. Montecito Ave.
Sierra Madre, CA 91024

N: 234-002-0011

Garage Plan

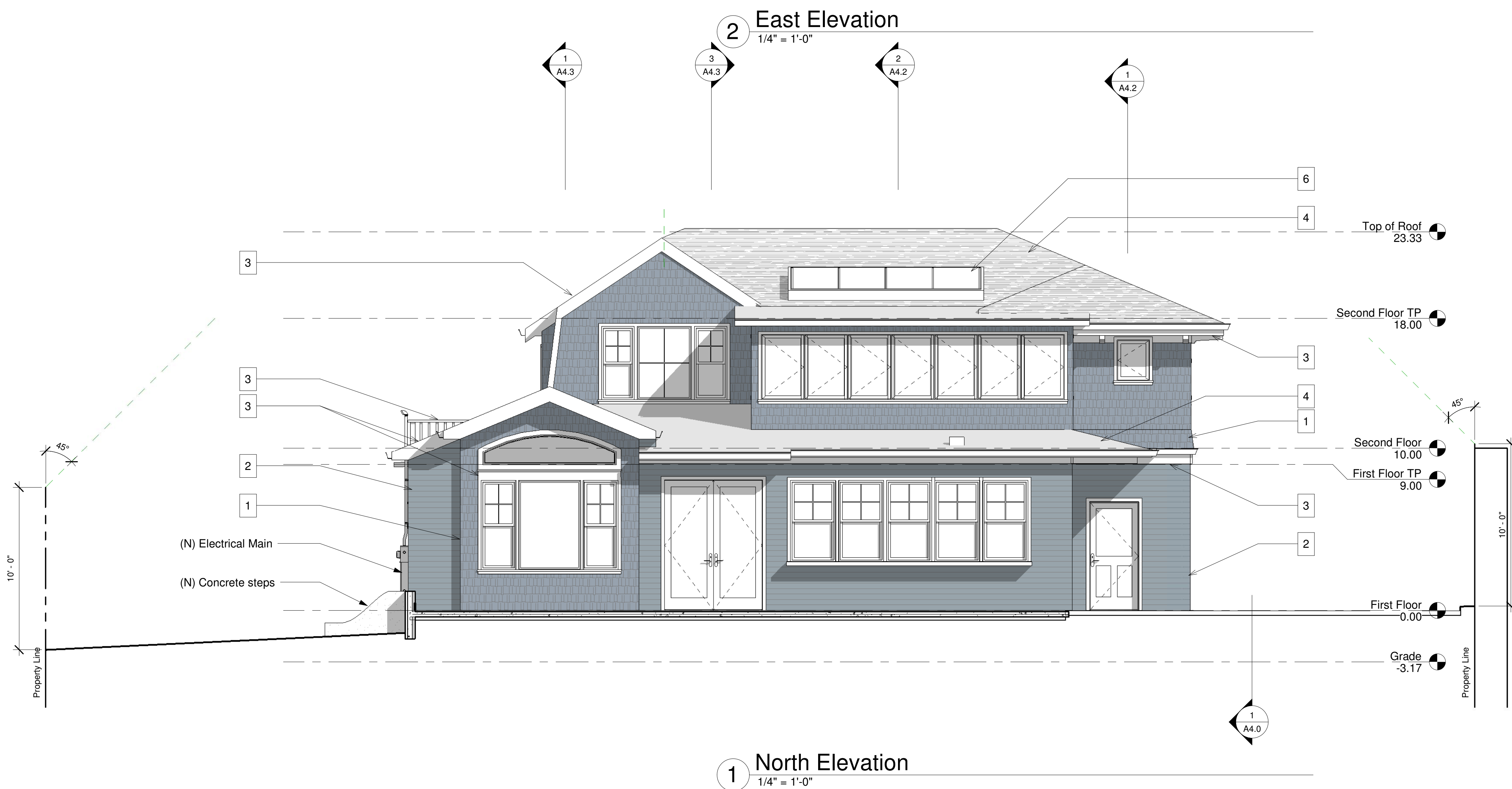
Product number	21.06
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2021 11:47:00 AM

3, Attachment A

A2.4

1/4" = 1'-0"



The logo for Eye Impact features a stylized, abstract image of an eye or a face in profile, rendered in shades of green and blue. To the right of the logo, the company name "EYEIMPACT" is written in large, bold, black capital letters. Below the name, the text "CONSTRUCTION MANAGEMENT" is written in smaller, black capital letters. Further down, the address "986 CONCHA ST. ALTADENA, CA." is listed, followed by the phone number "(323) 440-0805" and the email address "EYEIMPACT@MAC.COM".

[illegible]

Renovation & Addition

Connie & Derek Kan, connie.kan@gmail.com

287 E. Montecito Ave.
Sierra Madre, CA 91024

APN: 234-002-0011

Building Elevations

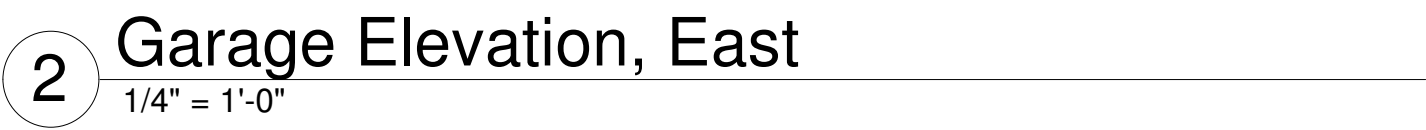
Project number	21.06
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8/10/2021 11:47:07 AM

DRB, Attachment A

A3.2

Scale	1/4" = 1'-0"
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Garage Elevations

DRB, Attachment A

Scale $1/4" = 1'-0"$

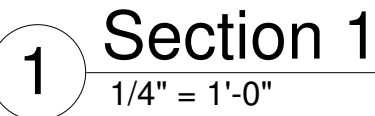
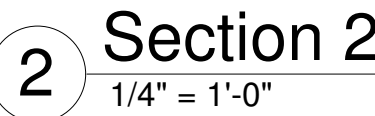
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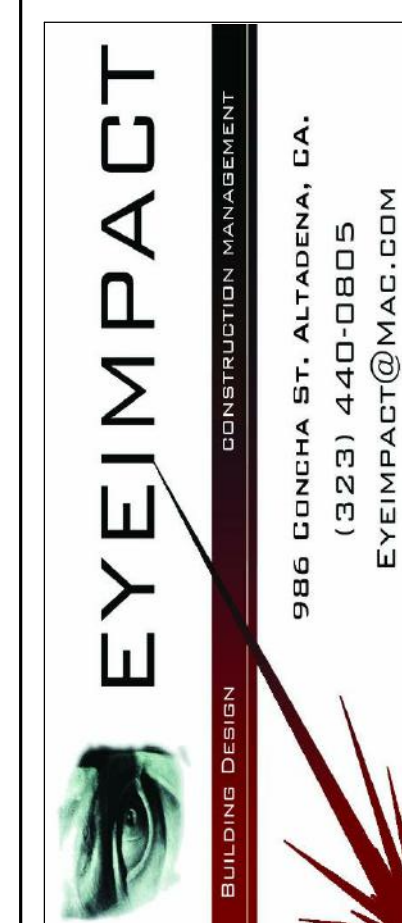
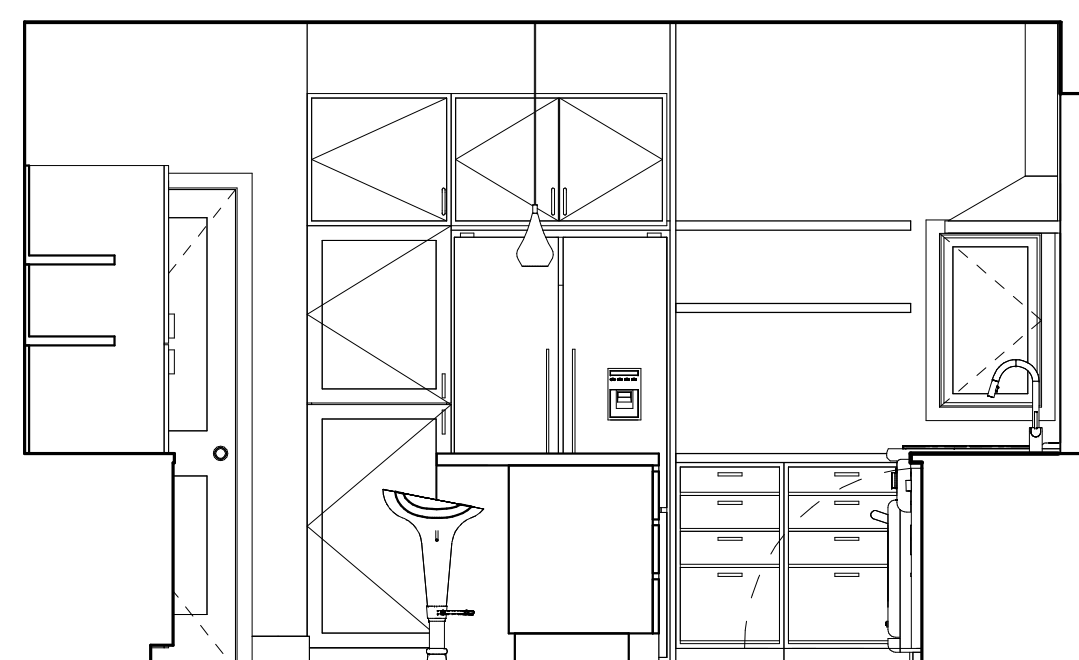
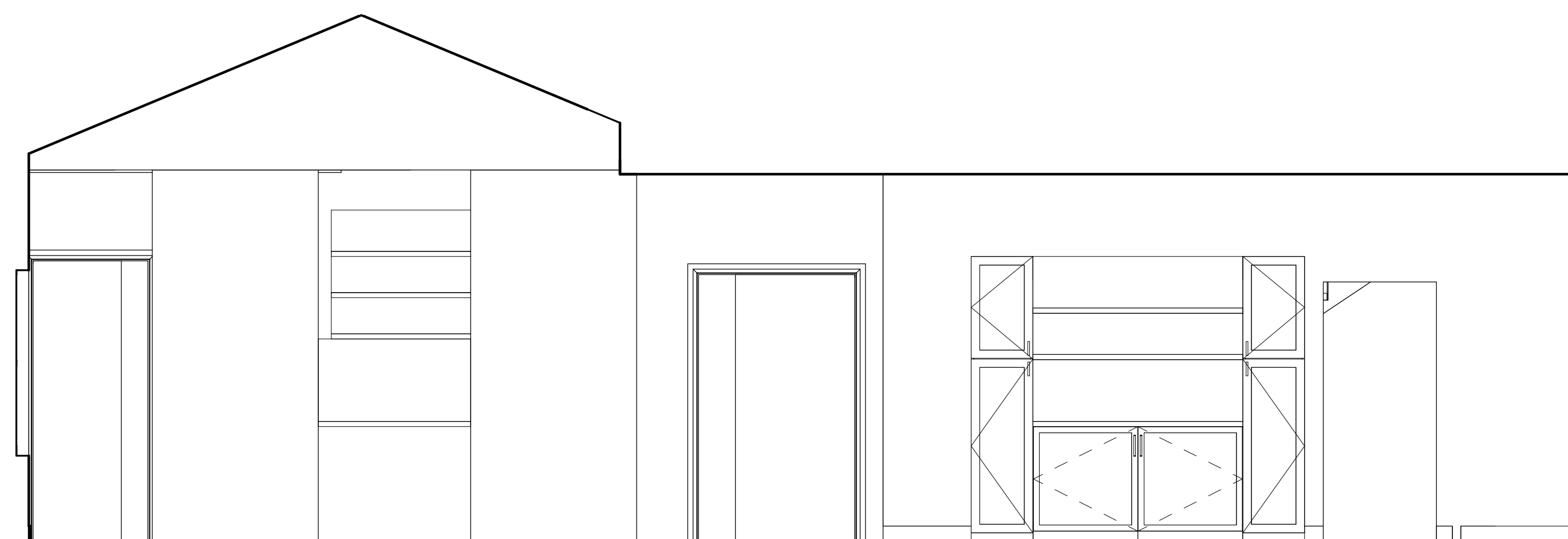
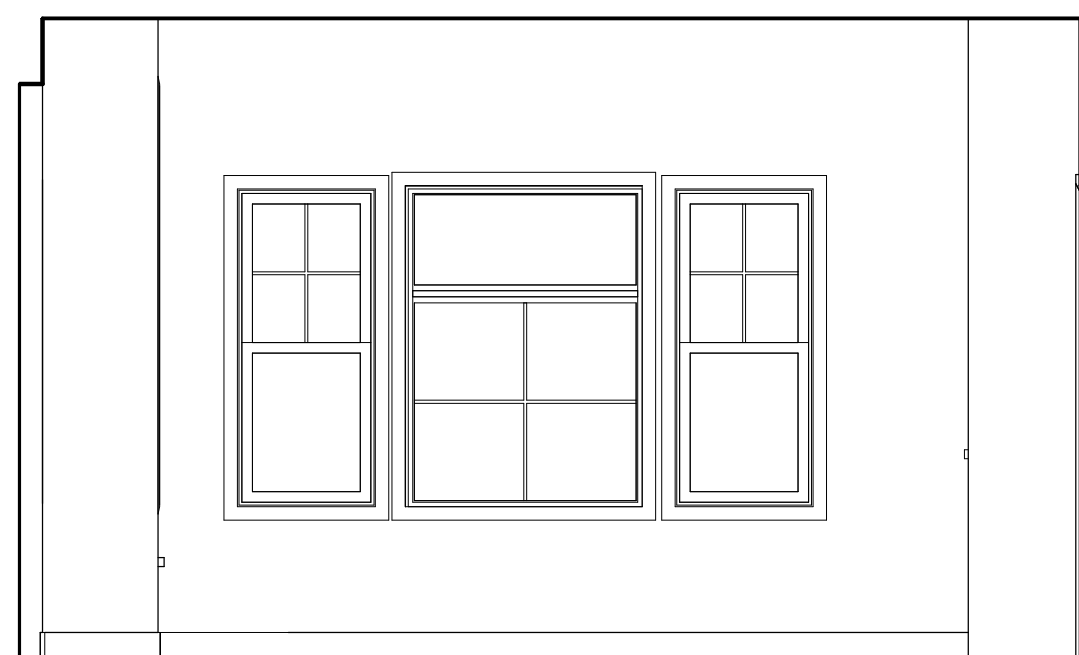
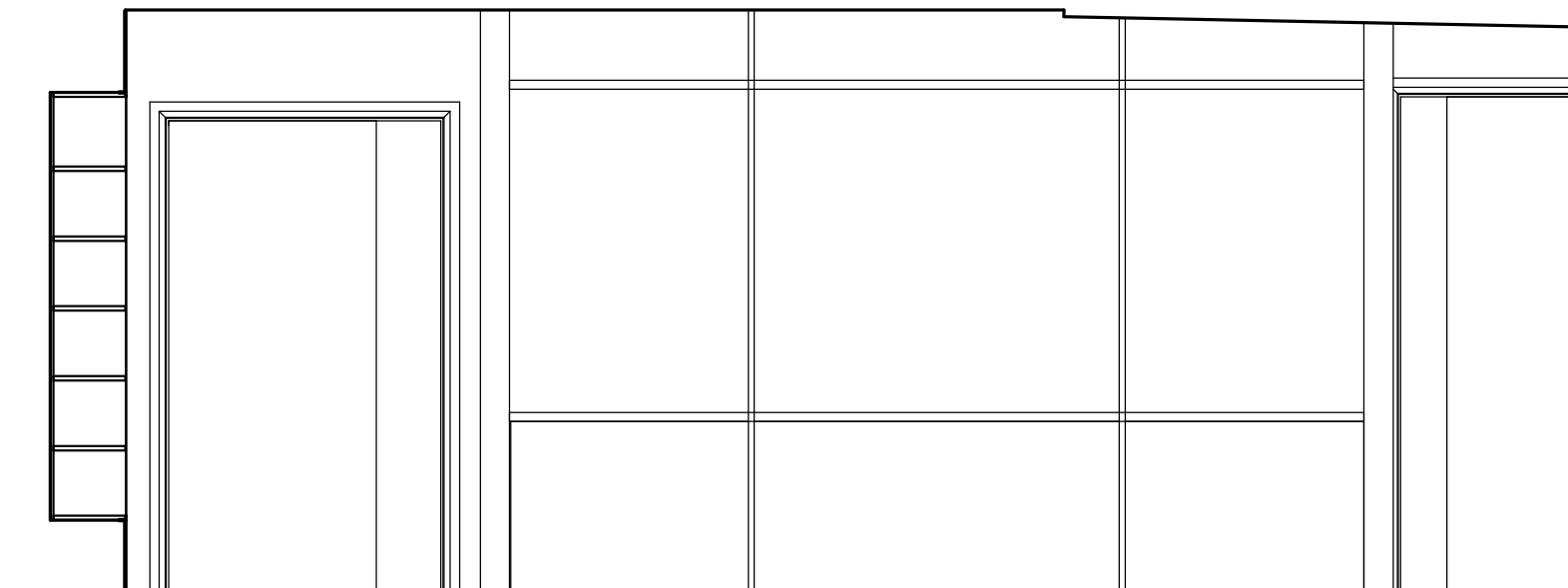
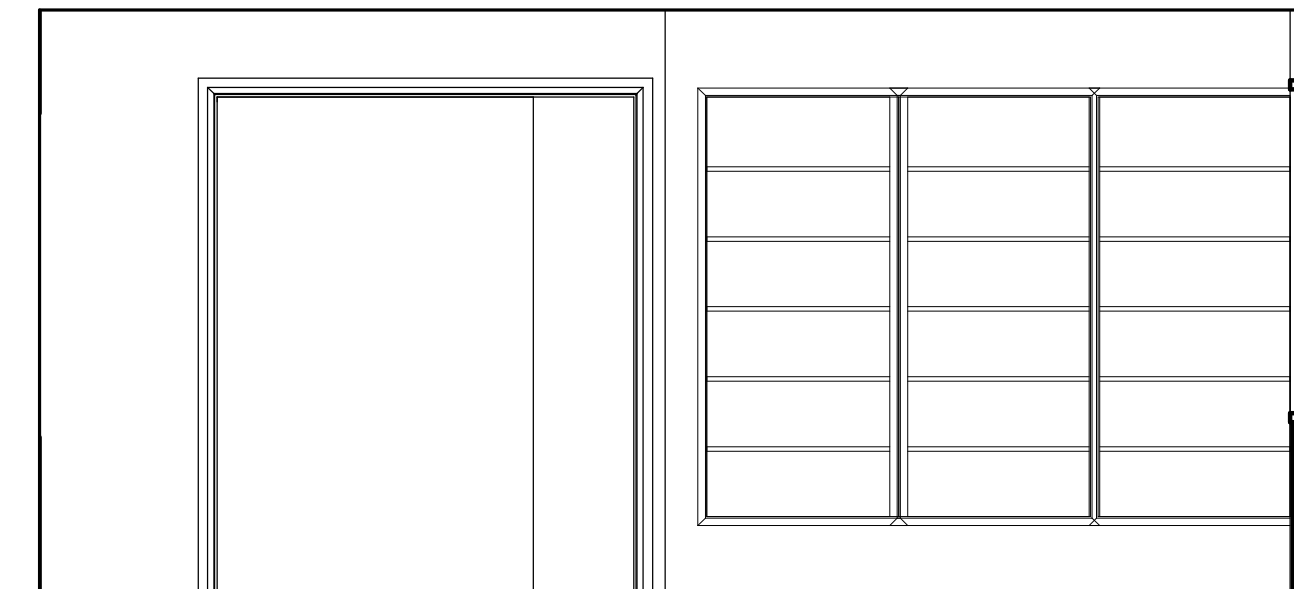
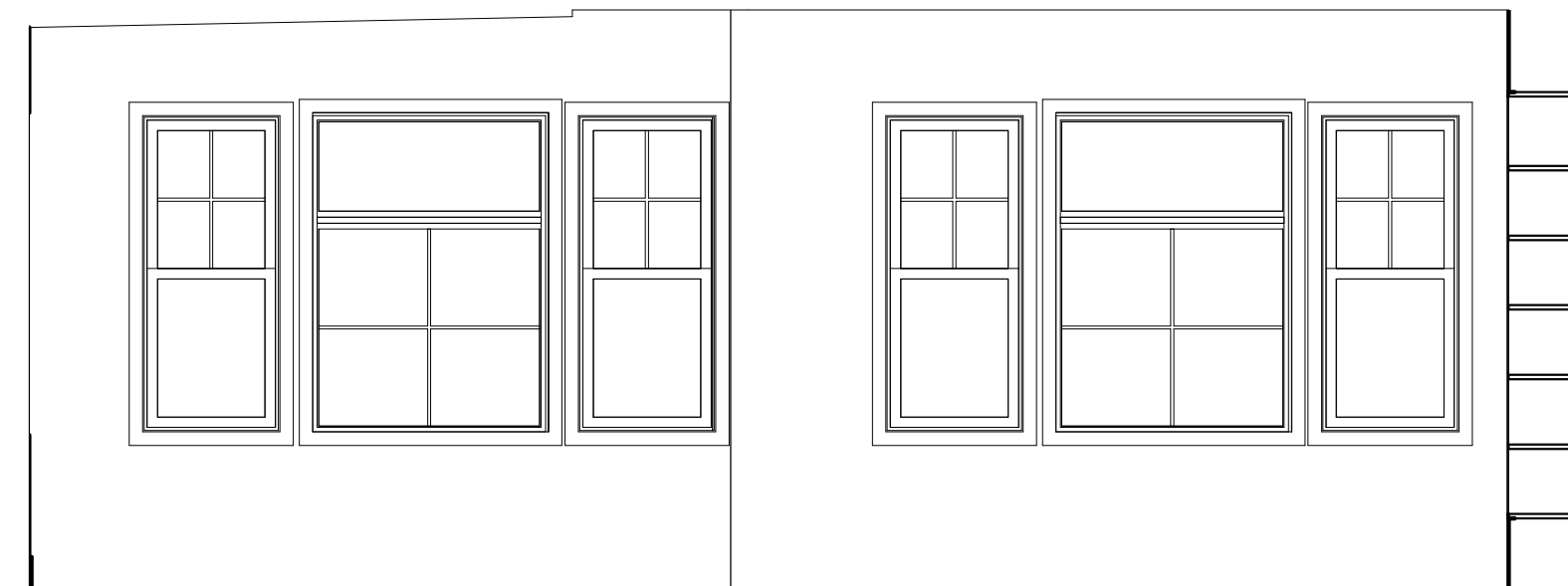
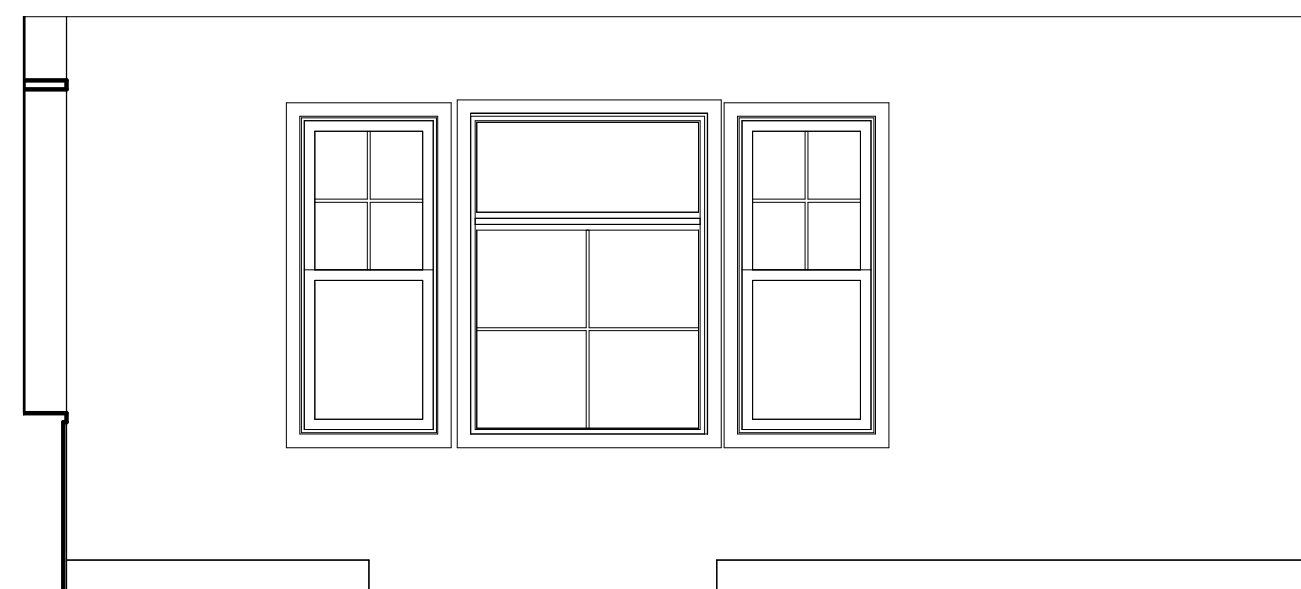
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A4.0

Scale $1/8" = 1'-0"$





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Renovation & Addition

Connie & Derek Kan; connie.kan@gmail.com
287 E. Montecito Ave.
Sierra Madre, CA 91024

APN:	234-002-0011
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Interior Elevations

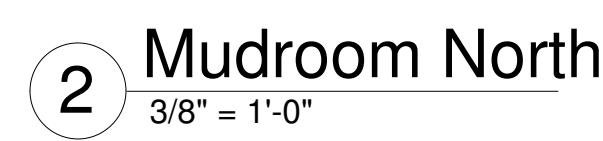
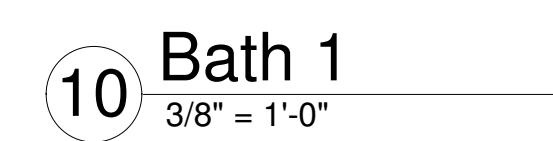
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DRB, Attachment A

A9.1

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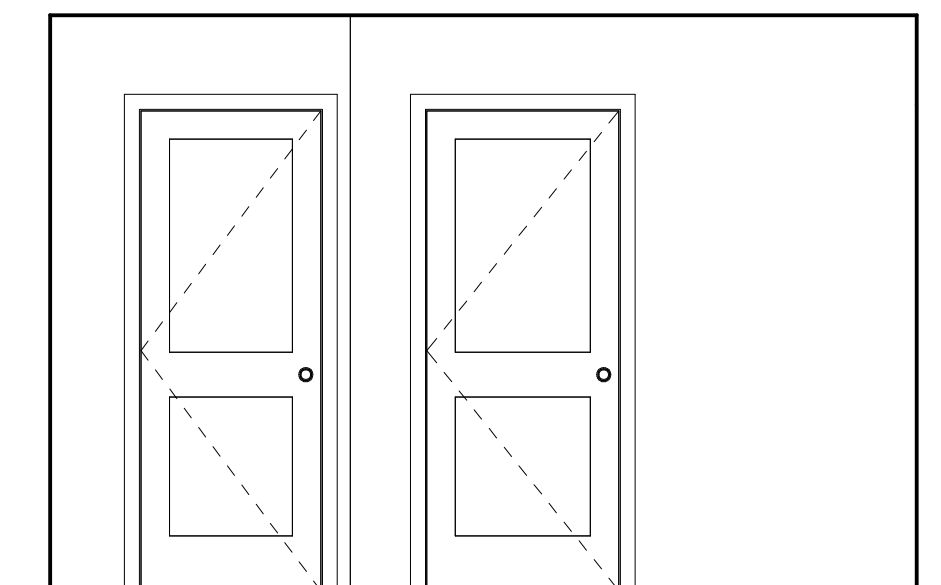
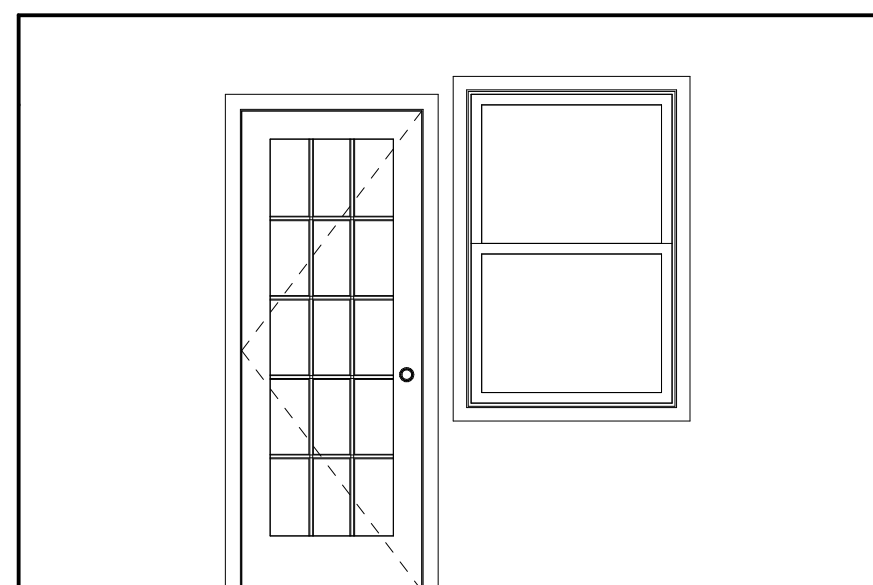
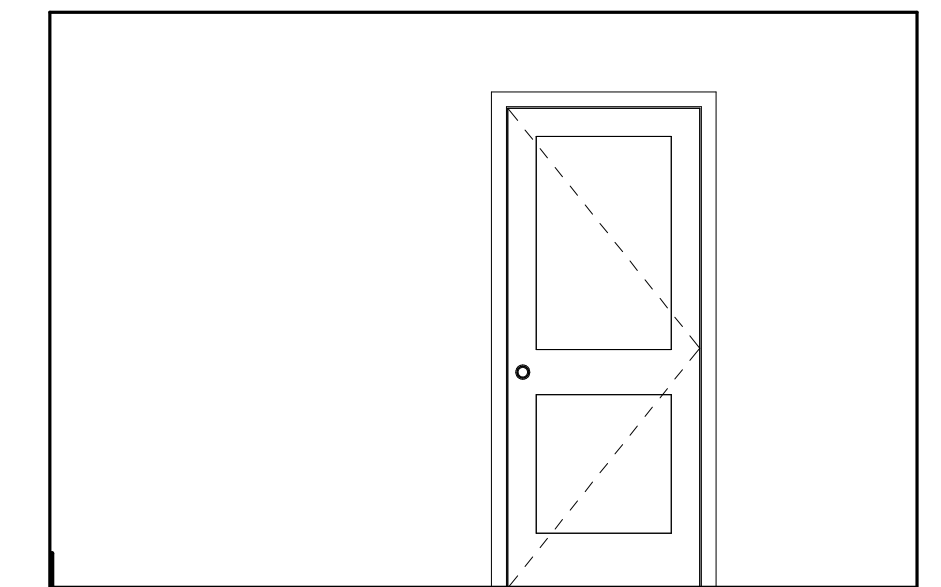
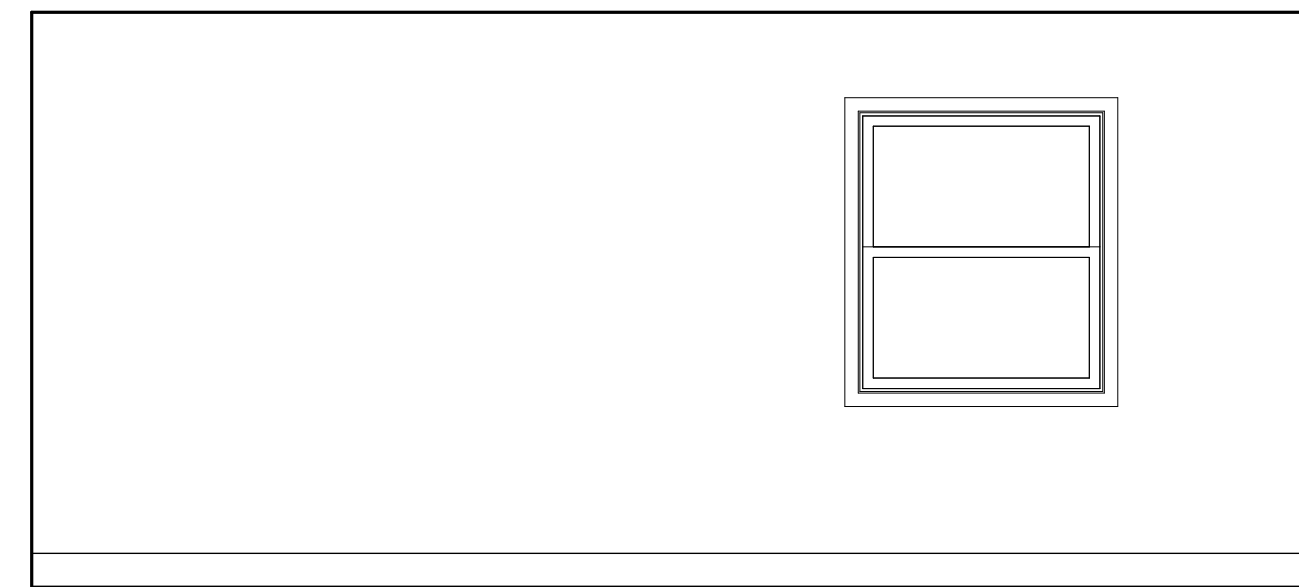
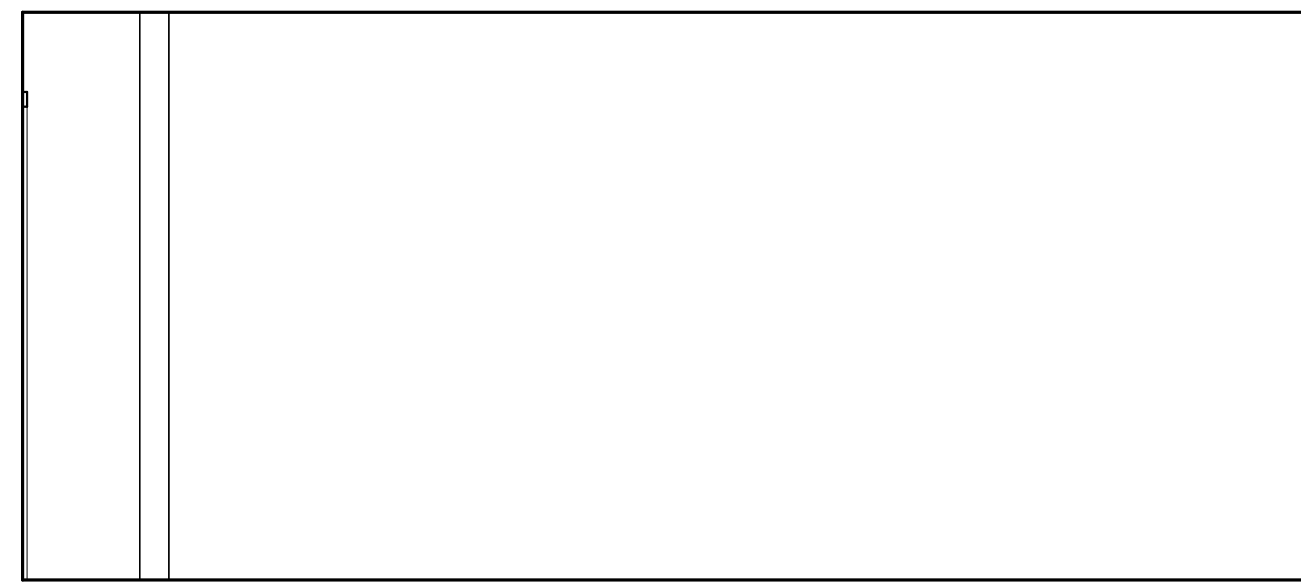
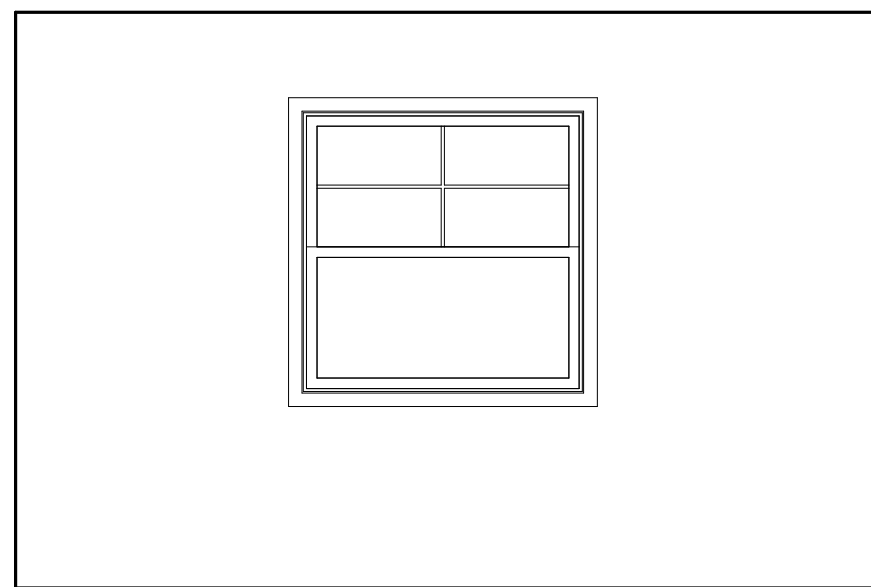
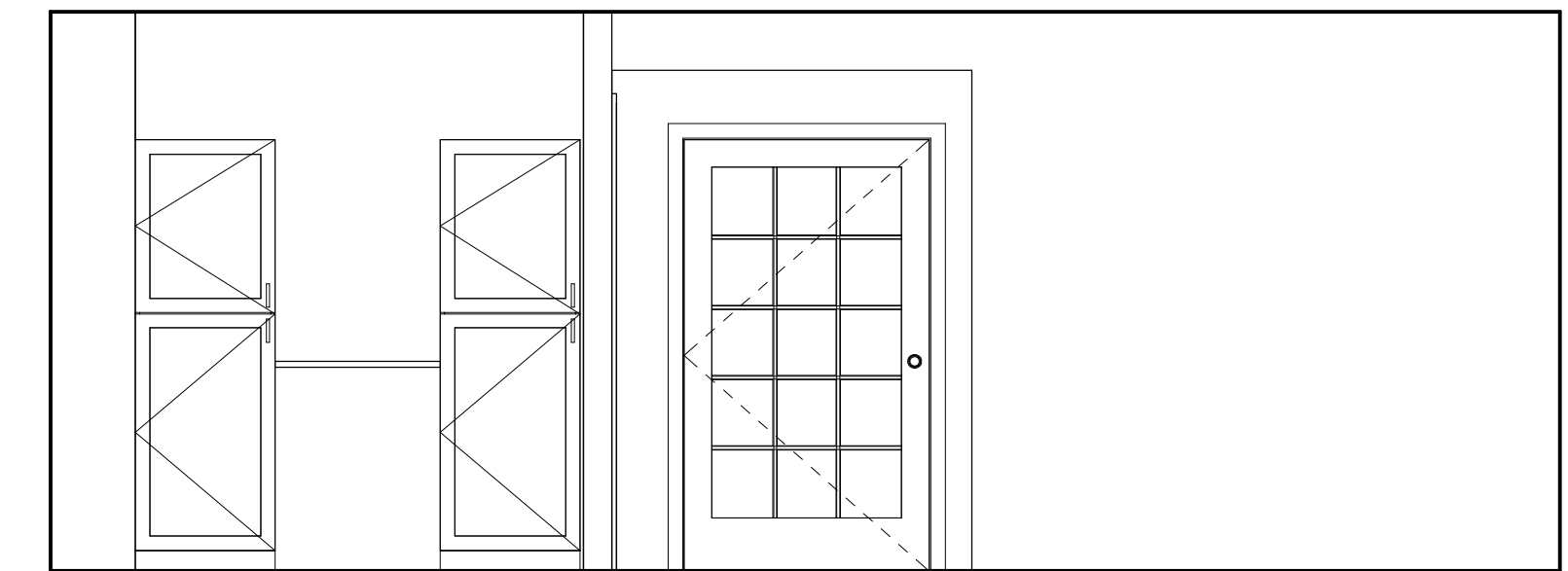
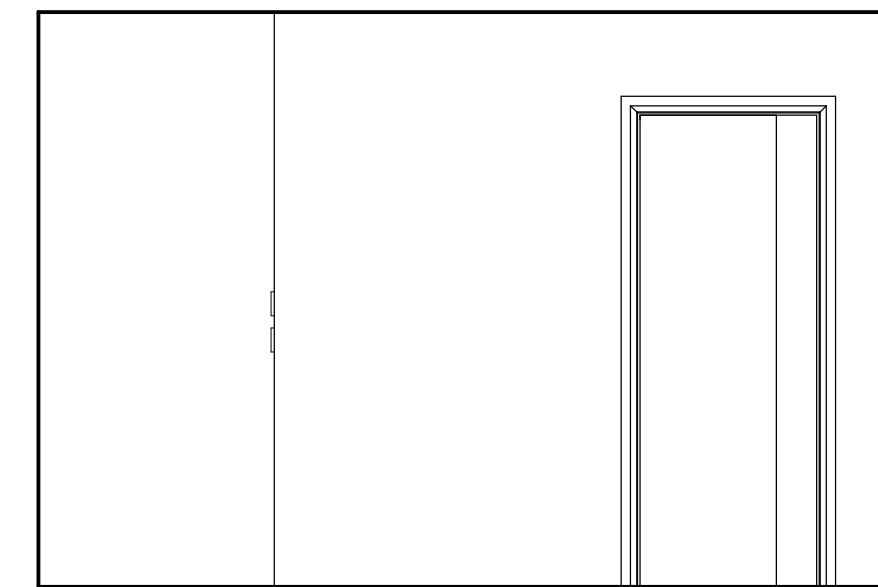
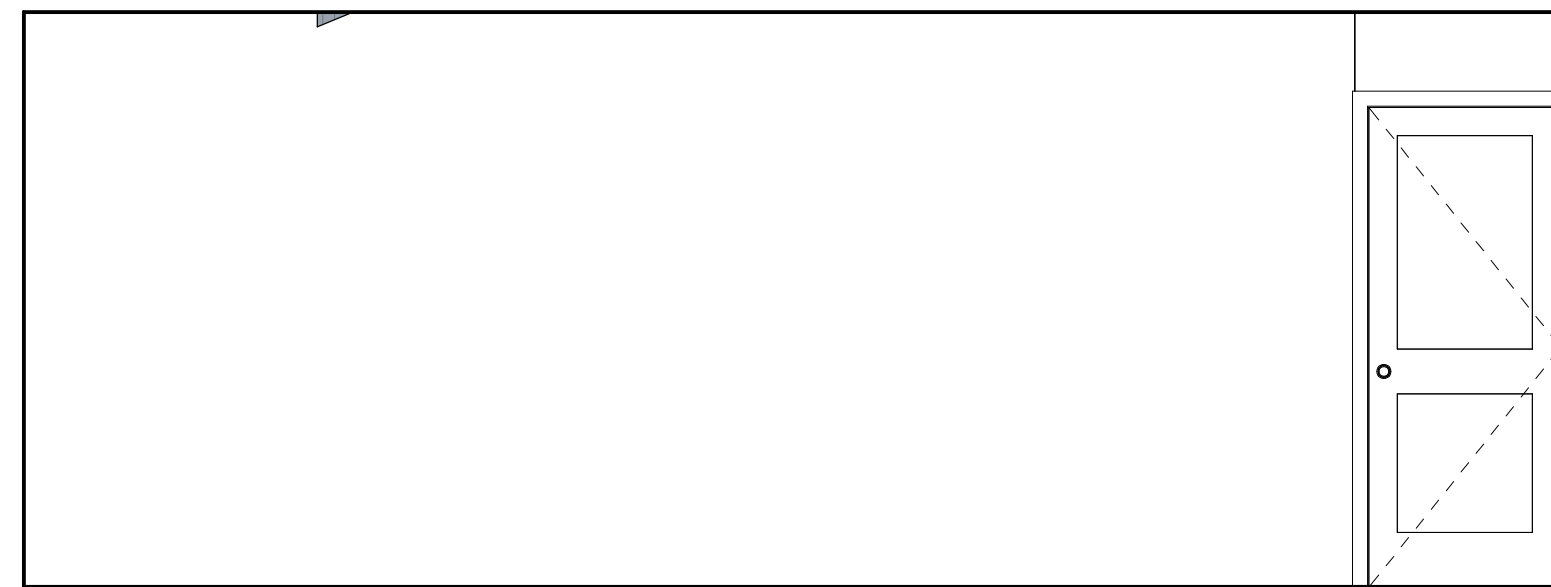
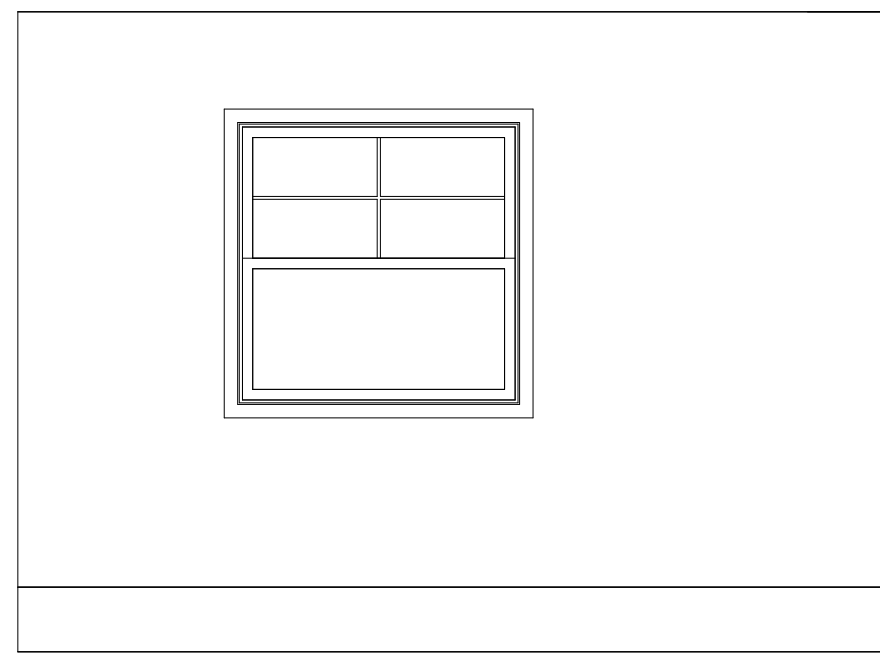
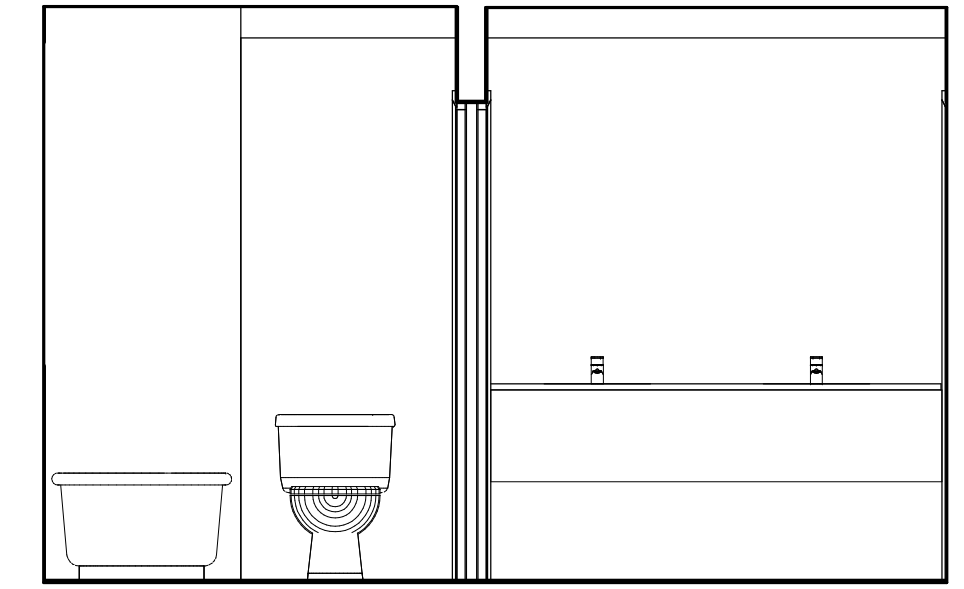
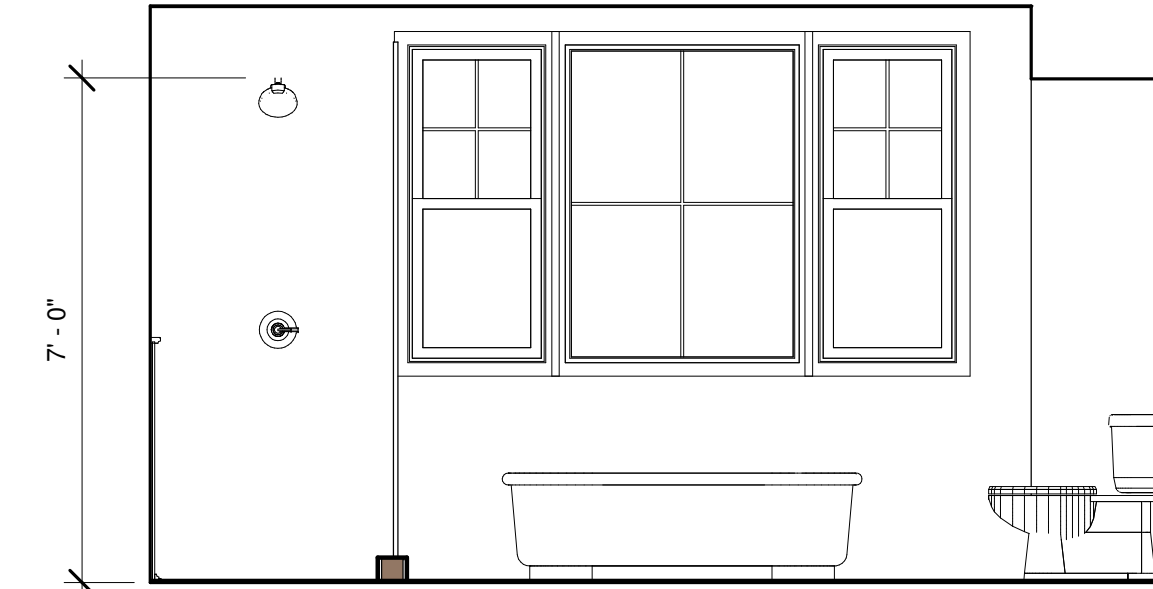
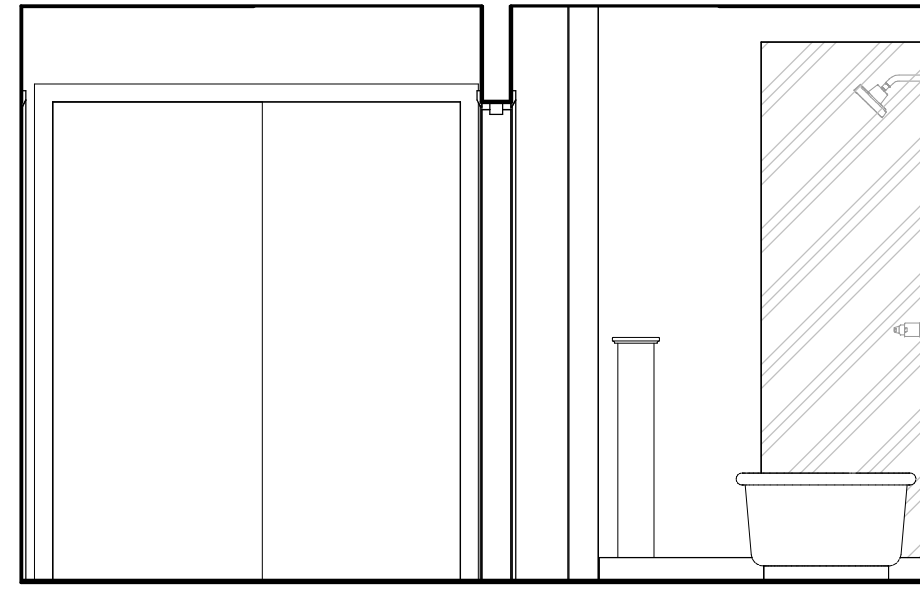
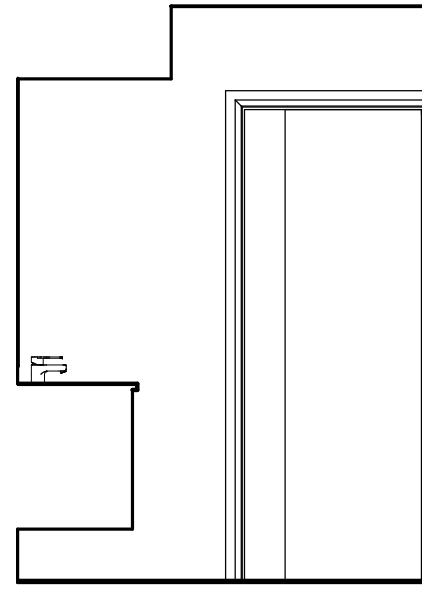


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Scale	$3/8" = 1'-0"$
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Sierra Madre, CA 91024

PN: 234-002-0011

Interior Elevations

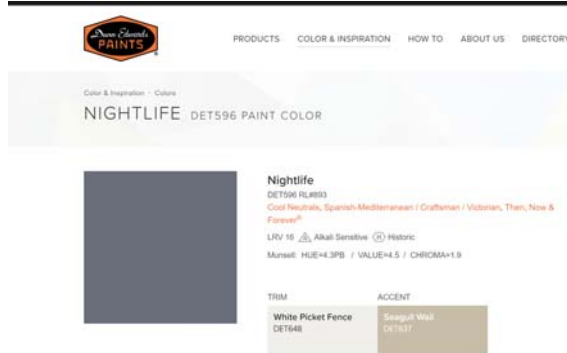
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RB, Attachment A	

A9.3

ROBERTS PLANNING APPLICATION – MATERIALS 287 East Montecito Ave.

MATERIALS:

- 5"X18" CEDAR SHAKES SIDING,
PAINTED DUNN EDWARDS, NIGHTLIFE
DET596
- 3" LAP SIDING,
PAINTED DUNN EDWARDS, NIGHTLIFE
DET 596



- 40 YR. COMP SHINGLE ROOFING, ELK, RAISED
PROFILE, COLOR: SABLEWOOD



- 1X WOOD TRIM PAINTED
DUNN-EDWARDS, WHITE PICKET FENCE DET
648
- WOOD DOOR AND WINDOW PAINTED,
DUNN-EDWARDS, SEAGULL WAIL DET637





This guide contains procedures for common user serviceable repair tasks found on wood and clad wood double-hung windows. If a condition arises that is not covered in this guide, please contact us for professional help. This product guide covers our current JELD-WEN Custom, Sitaline®, W-5500, W-2500 and W-3500 Series windows as well as our historical products with the following names: Pozzi, Caradco, Norco Sitaline EX and Tradition Plus. For help identifying your window model, refer to your product purchase paperwork or call us for additional help.

Do-It-Yourself

Technician



INTRODUCTION

Double-hung windows have two sashes, one upper and one lower, where both sashes operate. An insect screen is mounted on the exterior side.

Contact Us

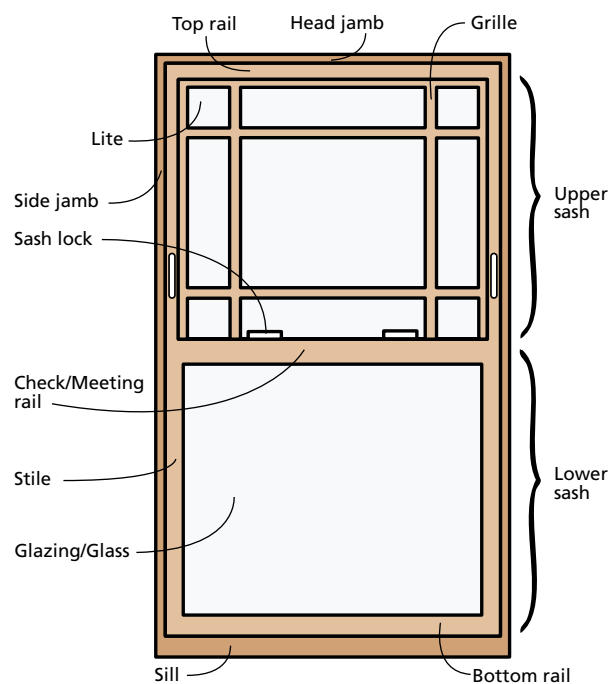
For questions, feel free to contact us by phone or email:

- Phone: 1-(800)-JELD-WEN/1-(800)-535-3936
- Email: customerserviceagents@jeld-wen.com

Table of Contents

Precautions and Safety	2
Needed Materials and Tools	2
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Hardware Replacement and Adjustment	4
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Double Hung Window Anatomy



The repair tasks offered herein can be accomplished by a homeowner with some mechanical aptitude. If you are unsure, it is recommended that you hire a trained service provider such as a competent and licensed construction contractor or building professional. JELD-WEN disclaims any and all liability associated with the use and/or provision of these instructions. Any reliance upon the information or advice is at the risk of the party so relying. The information contained herein may be changed from time to time without notification.

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PRECAUTIONS AND SAFETY

- Follow all manufacturers' instructions and labels.
- Use proper and safe equipment and precautions if servicing the exterior side of windows above ground level.
- Window insect screens are not security devices and will not prevent children, other people, or pets from falling through.
- Use extra care when driving screws near glass unit to avoid breakage.
- Use caution when tightening screws to avoid stripping the screw holes.
- Sash removal can be awkward and could cause physical injury or product damage; we recommend the help of a second person.
- Maintain a strong grip on balance when removing or installing. Balances are spring-loaded and they will relax quickly if released, possibly causing personal injury and/or product damage.
- Beware of oil causing slippery surfaces.
- Use sharp tools with care to avoid damage to wood surfaces.

NEEDED TOOLS AND MATERIALS

Needed Tools

NOTE: Each tool is not required for every task.

- Tape measure
- Level
- Putty knife/prying tool
- Utility knife
- Phillips head screwdriver
- Hammer
- Drill with bits
- Spiral adjustment tool (ask your supplier for one) or locking needle-nose pliers

Needed Materials

- String
- Tape
- Silicone sealant for stationary sash installation

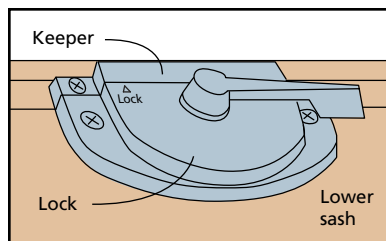
For screw hole repair:

- Wooden toothpicks or dowels
- Wood glue
- Fine sandpaper
- Finishing supplies

BASIC OPERATION AND OPTIONAL WINDOW PARTS

Lock/Unlock

- To unlock, turn locking handle all the way to the right.
- To lock, make sure lock is turned fully to the right, close both sashes, make sure check rails are lined up, then turn lock latch all the way to the left.



Open/Close

- To open lower sash, unlock and lift up.

NOTE: If sash does not have a handle or finger groove, grip rails to move up and down.

- To close lower sash, pull all the way down.
- To open upper sash, unlock and pull down.
- To close upper sash, push all the way up.

Tilt for Cleaning

NOTE: Remove the lower sash before tilting out the upper sash

Unlock and open sash about 6".

For windows with retainer latches:

- Slide both latches toward the center and tilt sash down.

For windows with concealed tilt latches:

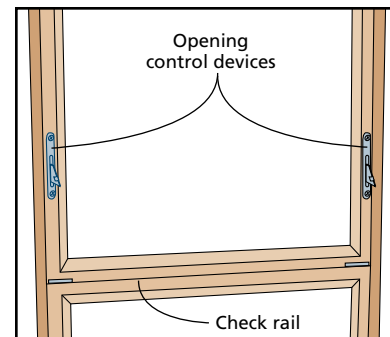
- Operate the sash lock to disengage the tilt latches then tilt the sash down.

For windows without latches:

- Using both hands, simultaneously grip both ends of sash top and press against jamb liners and tilt sash down.

Optional Window Opening Control Device Operation

Move either sash to the opening control devices. On the upper sash, push devices in on each side until they retract and stay behind the check rail on the lower sash. Move either sash past devices. The devices will automatically reset when both sashes are sufficiently closed.

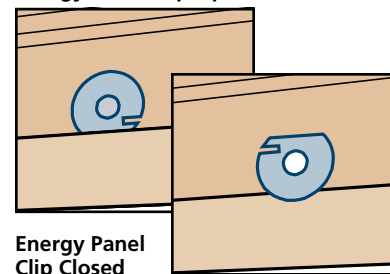


Energy Panel Removal and Installation (If Applicable)

An energy panel is an aluminum-framed single piece of glass designed to mount on the exterior of a window to increase thermal performance. An energy panel can easily be removed for cleaning by turning the panel clips.

If an energy panel clip loosens and won't hold position, the screw hole may be stripped. If so, refer to Screw Hole Repair in "HARDWARE REPLACEMENT."

Energy Panel Clip Open



Energy Panel Clip Closed

SASH REMOVAL AND INSTALLATION

New (Replacement) Sash Inspection and Preparation

1. Inspect sash for proper size and type, and for any damage; do not install if damaged.
2. Paint and/or finish new sash upon delivery and let dry completely before installing hardware.
3. Remove hardware (lock, keeper, and handle) from old sash and transfer to new sash.

VERY IMPORTANT! All hardware must be installed on new sash in exact positions as on the old sash. If necessary, measure and mark all hardware positions on new sash. Reuse existing screws or replace with an exact replacement. Incorrect screws can cause damage.

4. Determine hardware locations on new sash; pay close attention to lock and keeper alignment position.
5. Pre-drill screw holes for hardware with 1/16" drill bit.
6. Install hardware (previously removed from old sash) onto new sash.

Sash Types

A **non-compression tilt** sash has thumb latches (sash retainer latches) on the top two corners of the sash.

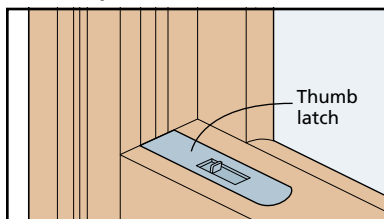
A **compression tilt** sash (including Epic manufactured after 2009) does not have thumb latches, but is removed by depressing the jamb liner and pulling out the sash in a simultaneous motion.

The EPIC® series Double-Hung manufactured through 2009 has a **compression tilt** sash and sash **retainer latches**.

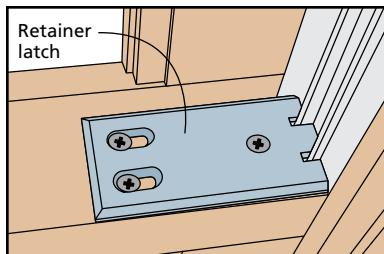
The sash is released from the jamb liner by loosening and releasing the sash retainer latches then pressing against the jamb liner and pulling out the sash at the same time.

The **concealed tilt latch** sash (Custom Double-Hung) is released from the jamb liner by one of the sash locks. Unlocking then rotating the lock mechanism counterclockwise disengages the tilt latches from the jamb liner.

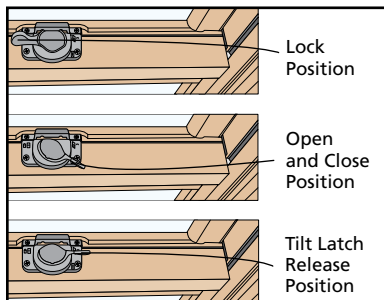
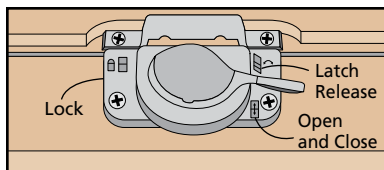
Non-Compression Tilt



Compression Tilt with Retainer Latches (EPIC Series manufactured through 2009)



Concealed Tilt Latch

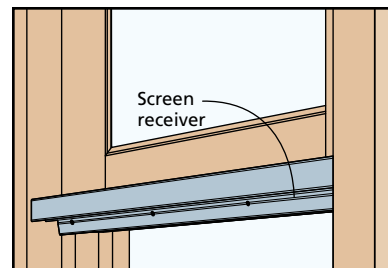


Operating Sash Removal and Installation

Double-hung windows require the lower sash be removed before the upper sash and the upper sash installed before the lower sash. Label top and bottom sash for reinstallation. The lock is on the bottom sash.

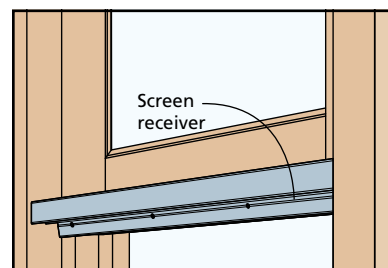
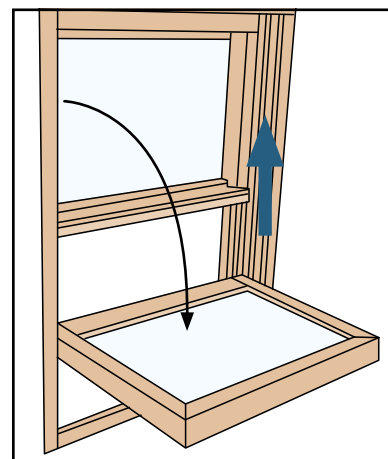
Removal

1. Open sash at least half way.
2. For windows with retainer latches, slide both latches toward the center and tilt sash down.
3. For windows without latches, using both hands, simultaneously grip both ends of sash top and press against jamb liners and tilt sash down.
4. For Epic series (manufactured through 2009):
 - a. Remove screen and receiver if applicable.
 - b. Remove single screws from both retainer latches and loosen end screws.
 - c. Slide retainer latches toward center to release sash.
 - d. Using both hands, simultaneously grip both ends of sash top and press against jamb liners and tilt sash down.



NOTE: To keep tilt pin from releasing and popping up, keep sash level while tilting.

5. Tilt sash 90°.
6. With the sash tilted at 90° lift one corner to disengage tilt pin from terminal block; remove from jamb liner.
7. Slightly swing sash out while disengaging opposite tilt pin from balance system and remove.
8. If removing the upper sash on a double-hung window, remove screen before the sash. To remove half-screens, unscrew and remove screen receiver.



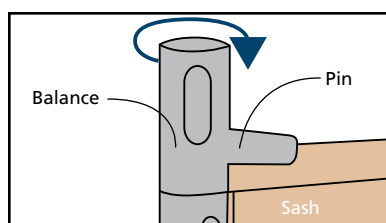
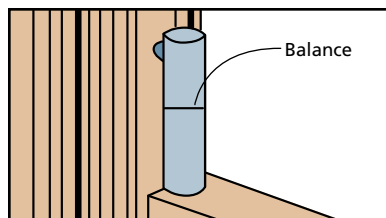
SASH REMOVAL AND INSTALLATION *CONTINUED*

Side Load Windows

NOTE: Carefully identify and label both sashes for later installation. The lower sash check rail has the lock, and the upper sash check rail has the keeper.

Side Load Windows (manufactured before 1983)

1. Open the sash at least half way.
2. Pull top of balance straight out of side jamb; turn 180° and rest pin on top of sash.
3. Press sash tight against one side jamb; release opposite side and remove sash.
4. For new sash, refer to "New Sash Preparation" earlier in this section.
5. Follow these steps in reverse for installation.



Installation

1. Install upper sash first in exterior jamb liner channel and lower sash second in interior jamb liner channel.
2. Hold sash (exterior side up) horizontal and perpendicular to window frame.
3. Slightly tilt sash, insert tilt pin of one corner of sash into jamb liner just above clutch. Repeat for opposite side and level sash.

NOTE: To ensure proper operation and to prevent damage to the balance system, make sure tilt pins are completely and properly engaged on both sides before tilting sash back into place.

4. Tilt sash up into place.
5. Engage retainer latches if applicable.
6. Test operation of sash by opening and closing.

NOTE: If sash does not move freely in window frame, tilt pins may not be engaged properly. Remove and reinstall, taking care to engage tilt pins on both sides.

7. If applicable, reinstall screen receiver and screen.

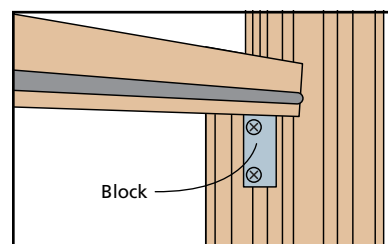
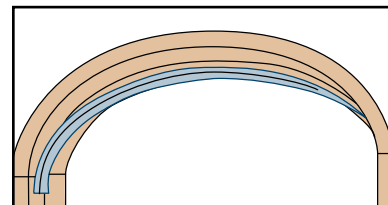
Stationary Single-Hung Upper Sash (Including Radius Single-Hung)

Removal

1. Remove lower sash.
2. Remove insect screen and screen receiver.

NOTE: Hold the sash securely for the next steps. Once the sash block (or head stop) is removed, the upper sash may fall over if not supported. Save all screws for reinstallation.

3. Unscrew and remove sash blocks from the side jambs, or for radius single hung, remove head stop and brackets.
4. Hold upper sash to keep it from falling over. Slide down about half way.
5. Follow steps 4-6 for Operating Sash Removal.



Installation

1. Follow steps 1-3 for Operating Sash Installation.
2. Close sash and reinstall sash blocks.
3. Reinstall brackets, head stop (as applicable), screen receiver, screen and lower sash.

HARDWARE REPLACEMENT AND ADJUSTMENT

NOTE: Hardware styles have changed over the years and may vary slightly from the illustrations in this document.

Hardware Types

- Metal hardware offers functionality, aesthetic appeal and resistance to corrosion but is not totally corrosion proof. Replace any hardware if it becomes corroded.
- Plastic hardware offers high resistance to the elements however, over time it can deteriorate from ultraviolet light, heat, cold, and chemical exposure.
- Brass hardware has a special protective film to reduce/eliminate polishing and requires special care.
- The Balance System is located in the jamb liners in the side jambs and needs regular inspection. If the sash is not moving up and down smoothly, the balance system may need to be replaced.

Screw hole repair and hardware alignment, or realignment, are common tasks for any hardware replacement component. Follow these instructions if screw holes become stripped and/or if hardware no longer functions properly due to misalignment.

Screw Hole Repair

1. Cut wooden toothpicks or appropriate sized wood dowel to fit screw hole just below wood surface.
2. Fill screw hole with wood glue.
3. Insert toothpicks or dowel; let dry.
4. Fill to surface with wood putty; let dry.
5. Sand smooth and refinish; let dry.
6. Drill new pilot hole.

Hardware Alignment

Misalignment can happen if screws have become stripped and cannot be tightened. This alignment will create new screw holes.

1. Remove hardware.
2. Repair screw holes according to the procedure above.
3. Mark new screw holes as follows:
 - Lay hardware in position and hold in place.
 - If replacing a lock, turn latch to lock position to engage keeper.
 - Mark new screw locations through screw holes.
 - Remove hardware and set aside.
4. Drill pilot holes with 1/16" drill bit at new marked screw hole positions no deeper than screw length.
5. Install hardware.
6. Test operation; if not operating properly, call us for assistance.

HARDWARE REPLACEMENT AND ADJUSTMENT *CONTINUED*

Lock Replacement

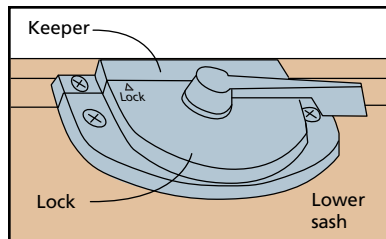
The lock sits on the top rail of the lower sash and engages into the lock keeper (located on the bottom rail of the upper sash). Operating sashes must be unlocked and open, or removed, before attempting lock removal.

Removal

1. Unlock sash.
2. Unscrew and remove old lock and keeper.

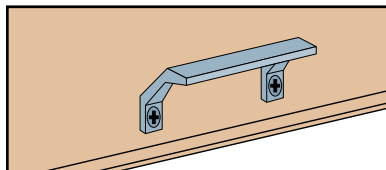
Installation

1. Install new lock and keeper in the same place.
2. Test operation.
3. If old lock and keeper were aligned correctly, the new lock and keeper should be aligned correctly through the same screw holes. If not, see "Screw Hole Repair," earlier in this section.



Sash Lift Installation/Replacement

1. Align sash lift handle at center of interior bottom rail face 1/8" above sill stop.
2. Mark screw holes.
3. Drill marked pilot holes no deeper than screw length.
4. Position sash lift and drive screws.



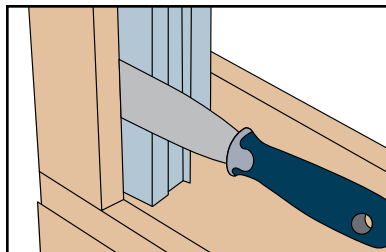
Jamb Liner Replacement and Adjustment

Jamb liners are vinyl components located in the side jams that house the balance system of the window. If your sash is not opening or closing properly, you may need to replace the jamb liner. For help determining whether or not you need to replace your jamb liner, refer to the Troubleshooting Section, or contact us or your dealer.

Removal

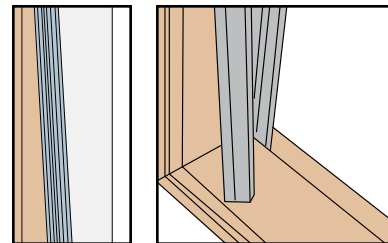
WARNING! Remove sash from at least 8" above sill to make sure balance system tension is released enough to avoid injury during jamb liner removal.

1. Remove both sashes.
2. If necessary, score head stop, then remove with putty knife.
3. For windows with concealed jamb liners (EPIC series double-hung manufactured after 2009), remove the side stops before removing the jamb liner.
4. Gently pry the lower end of the jamb liner with a putty knife starting at the bottom of the exterior edge until it comes out of the track.
5. With both hands, grip jamb liner at the bottom on both sides; squeeze and pull upward to remove.



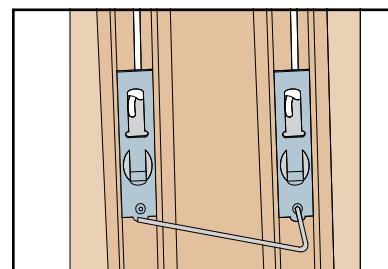
Installation

1. Using both hands, position jamb liner flush to head jamb. Firmly press exterior side (interior for premium windows) of jamb liner into side jamb, then fit into remaining side jamb.
2. Reinstall side stops for concealed jamb liners.
3. Reinstall head stop gently with hammer (if applicable).
4. Reinstall both sashes.



Adjust Balance Tension (If Applicable).

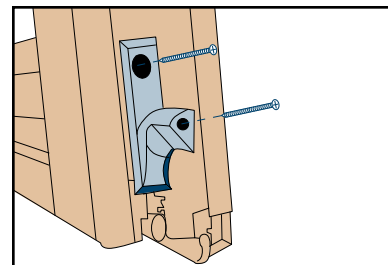
1. Remove sashes.
2. Locate tension adjusters in jamb liners on both sides.
3. Adjust with an Allen wrench; clockwise to add tension, counterclockwise to release tension. Adjust each side evenly.
4. Test operation. If not operating properly, reinstall. If not successful, call us for recommendations.



Pivot Pin/Cam Pivot/Tilt Pin Replacement

Depending on the specific type of window you have, pin styles may vary slightly from the illustrations. These pins are located at the bottom corners of each sash.

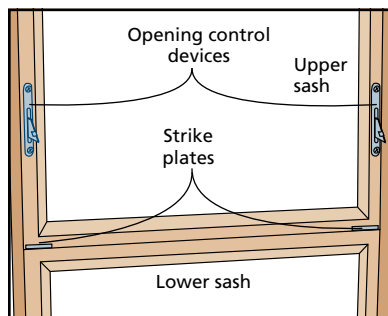
1. Remove sash.
2. Locate pins at sash corners. Note the position of the pin before removing it. Operational problems may occur if new pin is not installed in the same position.
3. Unscrew and remove pin.
4. For Torx pin, use a Torx socket wrench or vise grips, unscrew and remove.
5. For older pins, locate nail and/or screw and remove (some versions have a screw and some have a nail and screw).
6. Install new pin.
7. Replace sash and test operation. If not operating properly, remove and reinstall.



HARDWARE REPLACEMENT AND ADJUSTMENT *CONTINUED*

Optional Window Opening Control Device Replacement

1. Unscrew and remove old opening control device and/or strike plate.
2. Install new part in the same orientation as the old part.
3. Verify device operates properly.



Weatherstrip Replacement

Inspecting and maintaining weatherstrip can help avoid costly structural damage from water leakage and energy loss due to air and/or water infiltration. Replace weatherstrip that is missing, torn, cracked, brittle, discolored, gummy, or that has no "bounce back" when pressed down.

NOTE: When ordering, ask for the same weatherstrip type you have. If the original is not available, a suitable substitute may be provided.

Determine amount and type needed:

1. Measure each piece needing replacement; add 2" to each measurement.
2. Add all measurements, then add an additional 10%.
3. Round up to the nearest foot.
4. Call us to order new weatherstrip.
5. If painting the sash after weatherstrip removal, make sure paint is completely dry before installing new weatherstrip.
6. Remove sash.

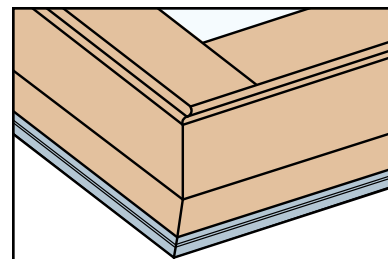
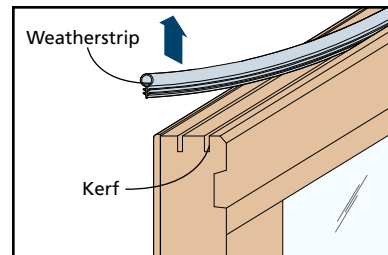
7. Grip and gently pull existing weatherstrip from kerf.

NOTE: On some windows, there are two kerfs in the top and bottom rails; on the top rail, the weatherstrip goes in the interior kerf; on the bottom rail, the weatherstrip goes in the exterior kerf. On the Smart Fit, weatherstrip is located in the head jamb, check rail, and the sill.

8. Cut new weatherstrip to length of existing weatherstrip + 1".

For sash corners:

- a. Press new weatherstrip into kerf with 1/2" extending past each corner.
- b. Trim each piece at corners the same as old weatherstrip (either at a 45° or 90° angle to fit tightly at the corners).



For frame:

- a. Press new weatherstrip into horizontal kerf at top and/or bottom of frame and trim 90° at each end.
- b. Press new weatherstrip into vertical kerf overlapping horizontal weatherstrip 1" for trimming.
- c. Trim vertical piece to overlap horizontal piece.
- d. Reinstall sash.
- e. Check window operation, if not operating correctly, remove and reinstall weatherstrip. If unsuccessful, call us for recommendations.

PROPER WINDOW INSTALLATION

- Proper installation is essential for keeping windows operating smoothly. If a window fails to operate properly, an inspection is necessary to determine if it was installed correctly.
- These inspection instructions apply to flat window types. Bow windows, bay windows, and unusual geometric-shaped windows are more complicated and should be inspected by a window professional.
- A contractor or installer can assist in determining the cause of a window being "out of specification" and possibly correct it. Window problems due to improper installation are usually not covered by the manufacturer's warranty. For installation instructions, contact us or your supplier.
- The specifications and measurements referenced in this guide are taken from ASTM E2112 Standard Practice for Installation of Exterior Windows, Doors and Skylights.

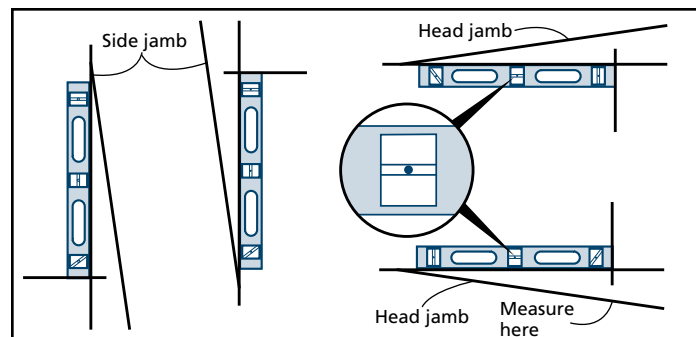
NOTE: These instructions do not address inspection for proper "water tightness" or flashing. A "water tight" inspection requires removal of the exterior siding around the window. Seek professional assistance regarding this issue.

Level Indicator

Accurate measurements are essential in determining level and plumb. Most carpenters' levels have several bubble level indicators, making it possible to measure all parts of the window.

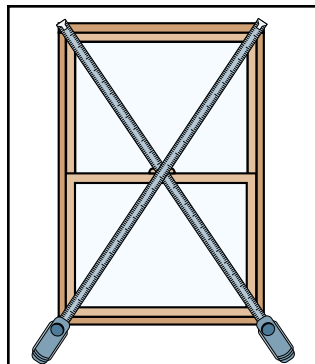
Examine the horizontal indicator. If the bubble is centered between the lines of the indicator, it is level.

If the bubble is not exactly centered, measure how far "out of level" or "out of plumb" by maneuvering the end of the level until the bubble is exactly centered. Measure the farthest gap between the level and the surface. On a 2' level, the gap must not exceed 1/16", or on a 4' level (or longer), the gap must not exceed 1/8", or the surface is out of level/plumb.



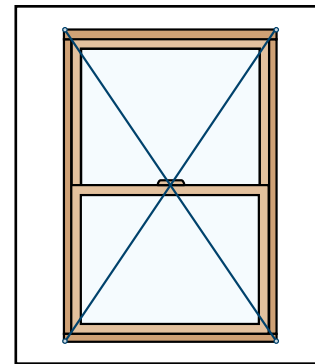
Square

Measure frame/sash from top left to bottom right corner and from top right to bottom left corner. If measurements differ by 1/8" for windows up to 20 sq. ft. or 1/4" for windows larger than 20 sq.ft., unit is out-of-square.



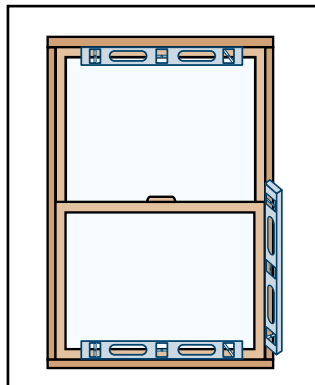
Frame Twists

Attach two pieces of string to frame/sash, corner to corner. If there is a gap between strings at center point larger than 1/8" for windows up to 4' wide or high, or 3/16" for windows larger than 4' wide or high, the frame is not flat. Repeat by switching strings and re-measuring.



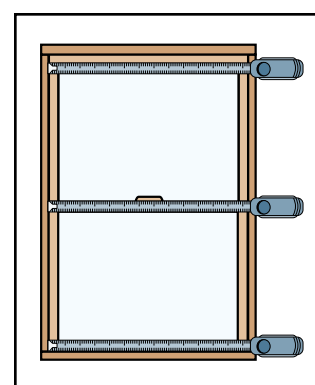
Level and Plumb

For plumb, place level against each side jamb or use a plumb bob. For level, place level against head jamb and sill.



Proper Shimming

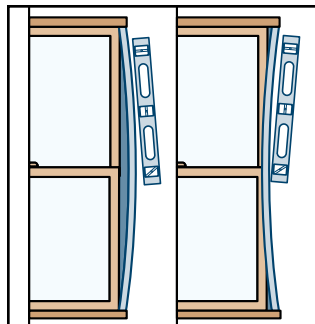
Measure width of frame at top, center, and bottom. If any two measurements differ more than 1/16", the frame is over or under shimmed. Repeat process and measure height of frame.



PROPER WINDOW INSTALLATION - CONTINUED

Straight Side Jambs

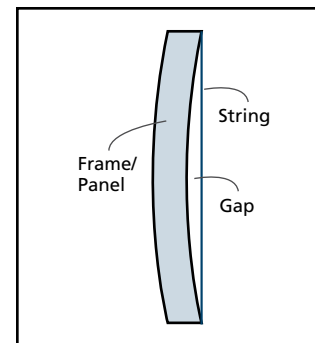
Place level against inside of side jamb. Look for gaps anywhere between level and side jamb. Repeat steps for other side jamb. Some Double-Hungs with balances have adjustment screws located about half way up the balance. Turn screws in 1/4 turn increments until gap is less than 1/16".



Frame/Panel Bow

Inspect interior and exterior frame jambs, or stiles/rails of panel (not glass) to determine if bowed.

1. Cut piece of string slightly longer than height of frame or panel.
2. Pull tightly and stretch string to upper and lower corners of jambs, or stiles or rails of panel. Tape securely.
3. Look for gap between string and frame or panel. If gap measures more than 1/4" at any point, the panel is bowed.



TROUBLESHOOTING OPERATIONAL PROBLEMS

Note! Please check each possible cause, including verifying proper installation, before contacting us for assistance.

PROBLEM	POSSIBLE CAUSES	POSSIBLE SOLUTIONS
Sash will not open	Sash locked	Make sure lock latch is in unlocked position, try again.
	Obstructions	Remove obstructions/shipping blocks.
	Sash is stuck, finished or painted shut to the frame or weatherstrip.	<ul style="list-style-type: none"> • Grip sash and gently shake to loosen. If these solutions do not solve the problem: <ul style="list-style-type: none"> • Carefully score along paint line with utility knife. After sash is loose, if necessary, clean weatherstrip with small amount denatured alcohol (do not use on fuzzy weatherstrip).
	Sash damaged	Repair or replace sash
	Lock damaged or broken	Replace lock
	Keeper loose or damaged	Tighten if loose, replace if damaged.
	Weatherstrip loose or damaged	Reattach if loose, replace if damaged.
	Pivot pins damaged, misaligned, or missing	Re-align and/or replace if damaged or missing.
	Jamb liner damaged or broken	Remove sash and examine jamb liner for damage. Replace if damaged.
	There could be overshot trim nails in the balance.	Remove and re-nail overshot trim nails.
Sash will not close	Improper installation	Inspect installation
	Sash locked	Make sure lock latch is in unlocked position, try again.
	Obstructions	Remove obstructions/shipping blocks.
	Pivot pins may not be properly engaged in the balance system	Remove and reinstall sash. Make sure pins are engaged properly.
	Keeper loose or damaged	Reattach if loose, replace if damaged.
	Lock latch misaligned or damaged	Adjust if misaligned, replace if damaged.
	Weatherstrip loose or damaged	Reattach if loose, replace if damaged.
	Jamb liner damaged	Remove sash and examine jamb liner for damage. Replace if damaged.
	Pivot pins damaged or misaligned	Replace if damaged or re-align.
	Balance or clutch (inside jamb liner) misaligned or damaged	Replace balance or jamb liner assembly.
	Sashes do not line up at check (meeting) rails/stiles	Make sure both sashes are completely closed. If rails/stiles do not meet correctly, first check frame/sash for square. Then call for assistance.
	Improper installation	Inspect installation

TROUBLESHOOTING OPERATIONAL PROBLEMS - CONTINUED

PROBLEM	POSSIBLE CAUSES	POSSIBLE SOLUTIONS
Sash binds or drags	Obstructions	Remove obstructions/shipping blocks.
	Weatherstrip loose or damaged	Reattach if loose, replace if damaged.
	Hardware loose, misaligned or damaged	Tighten loose hardware. Re-align if misaligned. Replace if damaged.
	Jamb liner misaligned or damaged	Remove sash and examine jamb liner. Re-align or replace if damaged.
	Pivot pins misaligned or damaged	Replace if damaged or re-align.
	Balance or clutch misaligned or damaged	Replace balance/jamb liner.
	Improper installation	Inspect installation
Sash will not lock properly	Lock misaligned or damaged	Realign if misaligned, replace if damaged.
	Sashes do not line up at check (meeting) rails/stiles	Make sure both sashes are completely closed. If rails/stiles do not meet correctly, first check frame/sash for square. Then call for assistance.
	Improper installation	Inspect installation
Sash will not stay up or down	Cam pivots (pivot pins) disengaged or damaged	Remove and reinstall sash. Replace cam pivots/pivot pins if damaged.
	Balance out of adjustment	Adjust balance (if applicable).
	Jamb liner damaged	Remove sash and examine Jamb liner for damage. Replace if damaged.
	The jamb liner could contain the wrong spring	Replace balance spring.
	Improper installation	Inspect installation
Sash appears crooked in frame	Obstructions	Remove obstructions/shipping blocks.
	Balance damaged	Remove sash and examine balance for damage. Replace if damaged.
	Improper installation	Inspect installation
The window surface fogs up	Condensation. See also our Care and Maintenance Condensation document at: http://www.jeld-wen.com/product-support/documents/care-maintenance	<p>If condensation is on an interior surface:</p> <ul style="list-style-type: none"> • Raise the average temperature of the house one or two degrees and do not block vents. • Vent all appliances to the outdoors and run exhaust fans. • Open window blinds for air circulation. • Turn humidifiers down as the temperature gets colder (unless used for medical purposes). <p>If condensation is on an exterior surface:</p> <ul style="list-style-type: none"> • Close window coverings to reduce cooling of the glass surface by air-conditioning. • Remove or trim shrubbery close to windows to promote air circulation. <p>If condensation is between glass panes:</p> <ul style="list-style-type: none"> • Seal failure. Replace either the insulating glass assembly or the entire sash. This determination should be made by a service representative.
Water leaks through the window	Weatherstrip damaged or missing	Reattach if loose, replace if damaged.
	Sash damaged or loose at joints	Replace sash
Metal cladding is dull (metal clad windows only)	Cladding is dirty or oxidized. See the product care and maintenance guide at http://www.jeld-wen.com/product-support/documents/care-maintenance	<ul style="list-style-type: none"> • Rinse with water from top to bottom to prevent dirty run-down and streaking. If needed, use a soft bristle brush while rinsing. • Air or wipe dry with chamois or soft, lint-free, dry cloth. <p>Apply high quality, non-abrasive car wax to clad surface for protective finish (follow wax manufacturer's instructions).</p>

GLOSSARY

Balance

The hardware in the side jamb of a single or double-hung window that is part of the system that allows the window to operate up and down.

Balance Shoe/Clutch

A part of the balance system into which the pivot bar/tilt pin is inserted or engaged.

Cam Lock

A single-point locking mechanism that uses a “cam” action to lock and to pull the window sash against the frame forming a tight weather seal; large windows may have more than one cam lock.

Double-Hung

A window with two sashes, upper and lower, that slide vertically past each other.

Jamb

The vertical frame members of a window or door assembly.

Jamb Liner

This is the component that covers the inside surface and side jambs of a window, containing the balance components that offset the weight of the sash to allow for easier operation.

Keeper

A bracket utilized as a latching point.

Pivot Bar/Tilt Pin

The pins on the bottom corners of single- and double-hung sash that engage the balance and also allow the sash to “pivot” for easy removal and reinstallation.

Sash

An assembly comprised of stiles (vertical pieces), rails (horizontal pieces) and the window's glass and glazing bead.

Tilt Latch

A tilt latch is a mechanism at the end of a window checkrail that allows a sash to release from the jamb liners and tilt into the structure.

Tilt Window

A double-hung window designed in such a way that the sashes tilt inward for easy cleaning of the outside of the glass.

Weatherstrip

A strip of material that covers the joint between two separate parts of a window or patio door and is used to prevent rain, snow, and cold air from entering.



McKinley & Associates (818) 240-1358

Arborist Report

**287 East Montecito Avenue
Sierra Madre, California**

Prepared for:

**Ms. Vanessa Roberts
287 East Montecito Avenue
Sierra Madre, CA 91024**

Prepared by:

**William R. McKinley, Consulting Arborist
American Society of Consulting Arborists
Certified Arborist #WE-4578A
International Society of Arboriculture
1734 Del Valle Avenue
Glendale, CA 91208**

Arborists and Environmental Consultants



McKinley & Associates (818) 240-1358

September 29, 2017

Ms. Vanessa Roberts
287 East Montecito Avenue
Sierra Madre, CA 91024

Dear Ms. Roberts:

Recently you contacted me regarding a City required Arborist Report pertaining to some proposed planned construction on your property located at 287 East Montecito Avenue, Sierra Madre. I was asked to inspect your property and document any protected trees. The following report summarizes my findings:

Background

On Friday, July 28, 2017 at approximately 4:30 p.m. I arrived at your property located at 287 East Montecito Avenue, Sierra Madre. You directed me to the back yard and explained that there would be a room addition taking place at the rear of your existing single family home. I was told that the City of Sierra Madre wanted a protected tree report concerning the native Oak trees growing on the property. The following Tree/Site Inspection Section describes my observations concerning the subject trees and the impact of proposed back yard improvements on these trees.

Tree/Site Inspection

Tree #1 is a Quercus agrifolia or Coast Live Oak. The tree measures 28 inches in diameter at D.B.H. (Diameter Breast Height) as measured 54 inches above the soil grade. The tree has a drip line, which measures roughly 25 feet from the tree's trunk. The spread of the tree is approximately 31 feet. The height of the tree is estimated to be roughly 50 feet tall. The tree is located in the back yard of the subject property. It is 14 feet south of the wire fence which runs along the north boundary of the subject property and one foot east of the wire fence which runs along the west boundary. The Oak is near the northwest corner of the subject property. It is situated in bare soil. No irrigation or landscape was observed near the tree. Surface roots were observed near the tree's trunk. The lower trunk area is intact. No mushrooms, cavities or decay was observed. The tree's trunk leans and grows approximately 30 degrees southwest into the neighbor's property. The trunk is only 2 feet east of the neighbor's guest building-garage. There are stress cracks on the south side of the tree. There is minor checking and cracking of the bark tissue on the east

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Page 1



Tree/Site Inspection-Continued

and north side of the tree's trunk. The Oak is crowded by other nearby trees. The crown is unbalanced and asymmetrical. Minor dead wood was observed in the tree's crown. The foliage size and color appears normal. The crown density is normal. The tree is in slightly below average health and condition. Rating: C-

Tree #2 is a Quercus agrifolia or Coast Live Oak. The tree measures 18 inches in diameter at D.B.H. The tree has a drip line, which measures roughly 35 feet from the tree's trunk. The spread of the tree is approximately 35 feet. The height of the tree is estimated to be roughly 35 feet tall. The tree is located in the back yard of the subject property. It is 3 feet southeast of Tree #1 and 4 feet east of the wire fence which runs along the west boundary of the subject property. It is situated in bare soil. No irrigation or landscape was observed near the tree. The lower trunk area is intact. No mushrooms, cavities or decay was observed. The tree's trunk leans and grows approximately 40 degrees south over the northern edge of the children's play structure. The tree's crown is crowded and suppressed by the crown of the nearby Coast Live Oak identified as Tree #1. The tree's crown has been pruned and raised. It is unbalanced and asymmetrical. The foliage size and color appears normal. The crown density is normal. The tree is in slightly below average health and condition. Rating: C-

Tree #3 is a Quercus agrifolia or Coast Live Oak. The tree measures 4 inches in diameter at D.B.H. The tree has a drip line, which measures roughly 4 feet from the tree's trunk. The spread of the tree is approximately 6 feet. The height of the tree is estimated to be roughly 25 feet tall. The tree is located in the back yard of the subject property. It is east of the Gazebo near the east boundary. The Oak is surrounded by a grove of Shamel Ash trees. No irrigation or landscape was observed near the tree. It has been topped and this has produced epicormic sprouting at the topping point. The Oak is crowded by other nearby trees. The crown is unbalanced and asymmetrical. The foliage size and color appears normal. The crown density is fair. The tree is in below average health and condition. Rating: D+

General Observations

The subject property is situated in a single family home residential neighborhood in the City of Sierra Madre. The subject property and nearby properties appear clean and well maintained. The front yard has a lawn and sprinklers along with trees and shrubs. The back yard is rather informal with almost no formal irrigation and is composed of mostly trees many of which appear to be volunteer trees planted by birds or squirrels. There are only three protected native Coast Live Oaks growing on the subject property and these are all located in the latter one third of the back yard. During my inspection I observed



General Observations-Continued

many non-native tree species growing on the property. These included: Camphor, Camellia, Crape Myrtle, Holly, Deodar Cedar, Victorian Box Pittosporum, Olive, Jacaranda, Shamel Ash, Norfolk Island Pine, Pink Trumpet Tree, American Elm, Pecan, Avocado, Persimmon and Orange trees. The leaning low-growing structure of Coast Live Oak Tree #2 is problematic for construction of the new 2-car garage and swimming pool equipment area. Pruning this tree back to accommodate this construction will destroy most of the tree's canopy and structure. The remaining aesthetic value would be ruined. It will be necessary to apply for a Protected Tree Removal Permit from the City of Sierra Madre. The City may require replacement tree planting as mitigation for the removal.

Recommendation

Based upon my inspection of the subject trees and property it is my expert opinion that the following tree protection measures be implemented during construction:

- 1) The proposed construction will take place within the drip line and protected zone of the Oak trees. These Oak trees shall be preserved and protected during construction. A free standing T-Panel chain-link fence should be placed as far as possible from the trunks of the Oak trees to protect the trunks and roots from injury. Orange plastic fencing should be attached to the chain-link. The placement of the fence shall be approved by a Certified Arborist or the designated representative of the City of Sierra Madre.
- 2) Protective fencing shall remain around the Oaks. This fencing shall be maintained in a vertical position throughout the construction period and shall not be removed or relocated without written authorization from the City and any relocation of the protective fence shall be done under the supervision of a Certified Arborist.
- 3) Prohibit dumping of all paints, solvents, stucco, cement, concrete, mortar, excess soil and other foreign materials within the area defined as five feet beyond the drip line of the Oaks to be preserved.
- 4) Avoid grading (cutting or adding soil), storage of vehicles and building materials within the area defined as five feet beyond the drip line or protected zone of Oak trees to be preserved.
- 5) Avoid trenching or continuous digging for utilities, plumbing or electrical or footings and foundations within the area defined as five feet beyond the drip line of trees to be protected. Should any such work be required then it must be hand-dug and minimize cutting of large roots two inches diameter and larger.

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- 6) Roots, which are encountered during excavation, should be avoided if possible. Roots, which are cut, torn or damaged, must be pruned back to the side of the excavation with a clean, sharp pruning tool. Root ends must be kept moist. Where possible cover the root ends with moist burlap or cloth until back-fill can occur. Water exposed root ends 2 to 3 times per day until back-fill can occur to prevent the root ends from drying out.
- 7) Pruning of Oak tree branches should be done under the supervision of a Certified Arborist. Pruning should attempt to eliminate dead wood, enhance the structure, eliminate defects and provide clearance. In general, the goal is avoid unnecessary cuts over 2 inches in diameter and not remove more than one-third of the tree's foliage at one-time. In the case of Coast Live Oak and Valley Oak trees, they should have no more than 25% of the live wood removed at the time of pruning. Tree pruning must conform to International Society of Arboriculture Guidelines and ANSI A-300 Pruning Standards.
- 8) Timing of pruning is very important. It is important to know the pruning requirements of your trees. A Certified Arborist can assist you with identifying trees and their individual needs. Prune evergreen native Oaks such as Coast Live Oak in summer. Pruning the trees at the correct time of year prevents insect and disease infestation.
- 9) Irrigation and landscape plans and installation must be reviewed and approved by a licensed landscape architect or Certified Arborist to insure that the trees requirements are met. No irrigation trenching must be allowed within the five feet beyond the drip line of the Oak tree. Irrigation can be applied near the drip line of the trees but must not water near the trunk of the Oaks. Mulch or wood chips or shavings should be applied at a depth of 2 to 4 inches under the drip line of the Oak. Ground covers should not be planted under the Oak trees. Native California shrubs should be used as landscape near the native Oaks.
- 10) A Certified Arborist should be retained to supervise and monitor the condition of the Oak trees during construction.
- 11) The Coast Live Oak identified as Tree #2 will require removal due to building clearance issues with the garage and pool equipment area. A Protected Tree Removal Permit Application must be filled out and submitted to the City along with a copy of this Arborist Report. The City may require the planting of a replacement native Oak tree as a condition of approval.



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Summary/Conclusion

In conclusion, it is my professional opinion that it will be necessary to remove Tree #2 in order to construct the 2-car garage and the pool equipment area. A Protected Tree Removal Permit Application must be filled out and submitted to the City of Sierra Madre along with a copy of this Arborist Report. The planting of a replacement native Oak tree may be required as a condition of permit approval. If the above stated recommendations are followed then the remaining Oaks should survive and provide beauty and value to the subject property and neighborhood for many years to come.

Limitations

Information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection. The inspection was limited to visual examination of accessible items without excavation, drilling or boring. Due to time constraints I was only able to expose and inspect the root crowns at the base of the subject trees. Arboriculture is not an exact science and there is much that is still to be learned about trees. The observations and recommendations provided in this report reflect the latest research, knowledge and training available through university and professional research. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the trees or property in question may not arise in the future.

I sincerely hope you find this information useful in obtaining your tree removal and building permits from the City of Sierra Madre. Thank you for the opportunity to serve you and your environmental and horticultural needs. If you have any further questions, please feel free to contact me on my business cell phone at (818) 426-2432 or you may call my office phone at (818) 240-1358.

Yours truly,

William R. McKinley, Consulting Arborist
American Society of Consulting Arborists
Certified Arborist #WE-4578A
International Society of Arboriculture

Arborists and Environmental Consultants

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Curriculum Vitae

WILLIAM R. MCKINLEY – MCKINLEY & ASSOCIATES

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Home (818) 240-1358

SUMMARY of QUALIFICATIONS

Practicing Consulting Arborist. Member of American Society of Consulting Arborists (ASCA). Certified Arborist, International Society of Arboriculture since September 30, 1999. I.S.A. Arborist #WE-4578A. Recognized Oak Tree Expert throughout Southern California. Prepare arborist reports for developers, homeowners and attorneys. Assess the landscape value of trees. Assess and identify hazardous trees in the landscape. Provided hillside and Oak Woodland landscape and irrigation recommendations. Provide expert witness testimony on arboriculture related cases. Public speaker and presenter at community service group meetings, homeowner's association meetings and speaker at professional seminars and conferences. Presenter at Trees, People and Our Urban Environment Seminar, March 2002. Arbor Day Guest Speaker, City of Glendale, March 2005. Tree City USA Award Presenter – Glendale Arbor Day 2010, Tree City USA Award Presenter – Glendale Arbor Day 2012, Arbor Day Guest Speaker, Glendale, March 2014.

FULL TIME EMPLOYMENT HISTORY

City of Glendale, Parks, Recreation & Community Services

Park Services Manager-Contract Administration

2001-present

Performs contract administration for Park Services Section. Manage grounds maintenance for sports fields, community buildings, parks, medians, and historic areas. Administers the City's landscape maintenance contract. Writes contract specifications. Administers the bidding process. Awards contracts to successful bidders. Conducts construction meetings and oversees the construction and inspection for these projects. Performs and assumes all former duties and responsibilities under the former Administrative Analyst position. Writes arborist reports. Hazardous tree assessment. Serves as expert witness in tree related cases.

Administrative Analyst

1988-2001

Administer landscape maintenance contract for medians, reservoirs, pump houses and misc. areas. Administer and supervise the Division's Work Management System involving the scheduling and tracking of work and performance of over 50 full-time employees. Supervise one part-time data entry employee and supervise and coordinate with the California Conservation Corps, Boy Scouts and other community service volunteers in the parks. Supervise, monitor and report water and utility usage in the parks. Administer and supervise all tree planting projects and programs including the Arbor Day and Urban Forest Donation programs. Assist with budget preparation and acquisition of capital equipment. Prepare Capital Improvement Project specifications and assist with administering contracts. Administer the City of Glendale's Indigenous Oak Tree Ordinance. Coordinate with Planning, Permit Services, Engineering, Building, Neighborhood Services and Fire Department to insure the care and protection of trees, both during and after construction. Review grading, construction, landscape and irrigation plans. Modify and approve plans as necessary to protect indigenous trees. Perform field inspections on hazardous trees and make recommendations to park staff and the public. Serve as code enforcement officer and paralegal during Administrative Office Hearings regarding Indigenous Oak Tree Ordinance. Perform tree and landscape appraisals. Served as special show and marketing consultant to the Glendale Rose Pruning and Garden Show Committee.

Assistant Planner-Parks

1983-1988

Assisted in park inventory development and implementation of the Work Management System. Served as guest speaker at the National Parks and Recreation Conference on the subject of computers and their role in park maintenance. Supervised the Capital Improvement Project Construction at Pacific Park and Brand Park. Coordinated with and supervised California Conservation Corps. Crews in planting, staking and tying hundreds of trees as part of the Arbor Day Program. Served as Arbor Day Co-Chairman, Glendale Rose Pruning & Garden Show Co-Chairman and President of Glendale Beautiful. Served as Ways and Means Chairman C.P.R.S. District XIV.

EDUCATION

- 1983 California Polytechnic University, Pomona
Bachelor of Science Degree, Park Administration
Graduated Magna Cum Laude, Grade Point Average: 3.57
- 1983-Present CEU's-University of California, Landscape Contract Maintenance, Hazardous Tree Identification & Assessment, Specimen Tree Appraisal, Advanced Tree Appraisal Theory and Practice, Tree and Landscape Liability – Trees and the Law, Oak Tree Symposium Graduate, Knowledge of oak tree physiology and native plant habitat, ASCA 2007 Consulting Academy, National Arbor Day Foundation Graduate, Symposiums: Construction Around Trees: Trees and the Law, Recognized Tree Expert: City of Los Angeles, County of Los Angeles, City of Pasadena, City of La Canada Flintridge, City of Burbank, City of Calabasas, County of Ventura, City of Santa Clarita.

HONORS & ACTIVITIES

- 1999 - Present - Certified Arborist-International Society of Arboriculture
1996-1999 - Secretary/Treasurer, C.P.R.S. Park Operations Section
1994-1995 - President, C.P.R.S. District XIV
1994-1995 - Treasurer, Glendale Beautification Advisory Council
1992-1994 - Treasurer, C.P.R.S. District XIV
1993, 1994, 1995 C.P.R.S. Park Operations Scholarship
First, Second and Third Year, Graduate, Pacific Southwest Maintenance Mgmt. School
1988-1990 – President, Glendale Beautiful
1980, 1981 - Twice placed on Dean's Honor List
1982 - Who's Who in American Colleges and Universities
1978 - Recipient of Wayne Striker Memorial Scholarship
1975 - Awarded Eagle Scout Rank, Boy Scouts of America
Member - American Society of Consulting Arborists (ASCA)
Member - International Society of Arboriculture
Member - Western Chapter, International Society of Arboriculture
Member – Glendale Beautiful
Past Member - National Arbor Day Foundation
Past Member - California Oak Foundation

REFERENCES

- | | |
|--|----------------|
| Randall S. Stamen, Attorney/Arborist | (951) 787-9788 |
| Susan & Gary Sims, Sims Tree Specialists | (951) 685-6662 |
| Peter & Diana Harnisch, Harnisch Tree Care | (626) 444-7997 |

PROFESSIONAL SERVICE FEE

- | | | |
|-----------------|---|-------------------|
| Site Inspection | - | \$100.00 per hour |
| Consultation | - | \$125.00 per hour |
| Arborist Report | - | \$150.00 per hour |
| Public Hearing | - | \$200.00 per hour |
| Arbitration | - | \$225.00 per hour |
| Deposition | - | \$250.00 per hour |
| Court Witness | - | \$350.00 per hour |

PC RESOLUTION 19-10

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SIERRA
MADRE APPROVING DISCRETIONARY DEMOLITION PERMIT 19-05 AND DESIGN
REVIEW PERMIT 19-08 AT THE PROPERTY LOCATED AT
287 EAST MONTECITO AVENUE**

THE PLANNING COMMISSION OF THE CITY OF SIERRA MADRE DOES
HEREBY RESOLVE:

WHEREAS, an application for a Discretionary Demolition Permit and a Design Review Permit were filed by:

**Marc and Vanessa Roberts
287 East Montecito Avenue
Sierra Madre, CA 91024**

WHEREAS, the request for a DISCRETIONARY DEMOLITION PERMIT AND DESIGN REVIEW PERMIT can be described as:

A request to allow the partial demolition of an existing single family residence that is older than 75 years of age (circa 1908), and to construct 1,443-square foot first- and second-story additions, and a two-car garage to the existing single-family residence. The project proposes a total of 4,266 square feet including the house, garage and covered rear yard patio.

WHEREAS, according to the historic resources survey prepared for the property, the report indicates that the house and garage constructed in 1908 are not eligible, under Criterion A–Historic; however, the house has retained the distinctive character defining features that define Dutch Colonial Revival style architecture, and is therefore, eligible for Local Landmark designation under Criterion B–Architectural, and

WHEREAS, Pursuant to SMMC 17.60.056.C.3, no structure which was constructed seventy-five years or more prior to the date of application for review shall be demolished in part or whole without a discretionary demolition permit, and

WHEREAS, Pursuant to SMMC Section 17.20.027.C.3, approval of a design review permit is required to allow gross floor area of over 3,500 square feet on a single lot, either by addition or new construction, in the R-1 Zone (Single-Family Residential); and

WHEREAS, Pursuant to SMMC Section 17.20.027.C.3, approval of a design review permit is required to allow gross floor area for all structures on a single lot that exceeds, either by addition or new construction, three thousand five hundred square feet of floor area on lot areas from eleven thousand one and up; and

WHEREAS, the Planning Commission has received the report and recommendations of staff; and

WHEREAS, a public hearing was held before the Planning Commission on October 3, 2019, with all testimony received being made part of the public record; and

WHEREAS, the proposed project qualifies for a Categorical Exemption (Class 3), pursuant to Section 15303(a) New Construction or Conversion of Small Structures, of the California Environmental Quality Act (CEQA) as it involves additions and alterations to a single-family residence. The Historic Resource Evaluation report concluded that the property is eligible for local historic designation under the SMMC. Therefore, the exterior alterations and new construction shall be evaluated with the *Secretary of the Interior's Standards* and the findings for the discretionary demolition permit and design review permit.

NOW THEREFORE, in consideration of the evidence received at the hearing, and for the reasons discussed by the Commissioners at said hearing, the Planning Commission now finds as follows:

Discretionary Demolition Permit Findings

Pursuant to Code Section 17.60.056, approval of a Discretionary Demolition Permit requires that the following findings be made:

1. **The structure proposed for demolition a) has no local, state or natural historic significance as determined by the historic resources survey pursuant to Code Section 17.60.056.D.1; or b) is deemed eligible for local listing or designation under the California Historic Resource Code 1 to 5, or a contributor to an existing or potential district, and all environmental review has been conducted and/or a historical resources evaluation report with identified mitigation measures has been prepared that will allow the project to proceed with a certificate of appropriateness, including, but not limited to construction of a replacement structure in substantially similar architectural style and façade, maintenance of a plaque, photographs and/or publication describing the original structure and its local, state or national historic value, or other mitigation measures described in the environmental review document;** in that the property is eligible for designation as a local landmark under Section 17.82.050B—Architectural. A historic assessment report was prepared for the proposed project. The proposed project meets the applicable *Secretary of the Interior's Standards*, in and meets the findings required for approval of a design review permit.
2. **That the proposed demolition activities will not unreasonably interfere with the use, possession, and enjoyment of surrounding and adjacent properties;** in that demolition is being undertaken according to all applicable requirements for demolition, including specified construction hours.
3. **That there is a demonstrated need for the demolition activity requested;** in that demolition of portions of the roof, exterior and interior walls and framing is necessary to accommodate the new additions and the interior renovation.

4. **That the result of the demolition activity is consistent with the objectives of the General Plan;** in that the demolition complies with all requirements of the R-1 (Single Family Residential) Zone which codifies and implements the objectives of the General Plan with respect to Residential Low Density development.
5. **That the public interest, convenience, and necessity require that the demolition activity be undertaken at the location requested;** in that the demolition is required shall meet all requirements of the California Building Code, the City's Fire Code and Zoning Code.

Design Review Permit Findings

The granting of a Design Review Permit is subject to the following findings pursuant to Code Section 17.60.041.D:

1. **The proposed project is consistent with the general plan, zoning code, and any applicable design standards;** in that the proposed project's use will remain a single family residential use and is therefore consistent with the site's current use as well as the goals of its General Plan designation of Residential – Low Density. The project complies with General Plan Objective L6 in that the project is done in harmony with its neighborhood and preserves and protects the privacy, mountain and basin views of neighboring properties. The project complies with the regulations of the Zoning Code. The project complies with the *Secretary of the Interior's Standards*.
2. **The project will not unreasonably interfere with the use, possession, and enjoyment of surrounding adjacent properties;** in that the proposed one- and two-story additions are designed to complement the Dutch Colonial Revival architecture of the existing house. The house is predominantly sited in the center of the lot. The additions will not exceed the height of the existing house. The new second story balcony will face the large northern rear yard, away from neighboring residences. The house will continue its use as a single-family residence and will not unreasonably interfere with the use, possession, and enjoyment of surrounding adjacent properties.
3. **The height, bulk, scale, mass, and siting of the proposed project be compatible with the existing neighborhood, landforms, and surroundings;** in that the additions on the rear and east elevations will match the existing height of the house. The house will maintain the Dutch Colonial Revival architecture. The residence, was constructed in 1908. The surrounding residential tract is a mix of single- and two-story homes, built 60 years after the subject property was developed.
4. **The proposed project reflects the scale of the neighborhood in which it is proposed and does not visually overpower or dominate the neighborhood and is not ill-proportioned so as to produce either architecture or design that detracts from foothill village setting;** in that the additions on north, west and east elevations will match the existing height of the house. The house will maintain its Dutch Colonial Revival architectural style, which is unique to the neighborhood. The project design is well-proportioned relative to the site as well as to the foothill village setting of Sierra Madre, and will not overpower or dominate the neighborhood.

5. **The proposed project neither unreasonably interferes with public views or the views and privacy of neighbors, produces unreasonable noise levels, nor causes material adverse impacts;** in that the proposed additions are on the rear and east elevations of the house. The additions will match the existing height and pitch of the roof and do not interfere with public views. The proposed second story rear balcony will face the northern rear yard, away from neighboring residences. The views of the house from adjacent properties will largely remain the same in terms of overall bulk and mass of a two-story house. As the proposed landscape plan matures, the property may have less visual connection directly to the adjacent neighbors. The proposed project will not produce unreasonable noise levels or material adverse impacts beyond those allowed and regulated through the construction process.
6. **The proposed project exhibits a coherent project-wide design, and each structure or portion thereof (especially additions) on the site is compatible with other portions of the project, regardless of whether the same are publically visible;** the additions will occur on the rear and east elevations and will match the existing height and roof design of the house. The house will retain the Dutch Colonial Revival architectural design which is consistent on all elevations.
7. **For proposed projects seeking relief from development standards, where allowed, to accommodate characteristics of an identifiable architectural style (such as additional height, pursuant to section 17.20.020(A)), that the proposed project adheres to the norms of such identifiable architectural style and that such style is consistently carried through on all elevations of the building, regardless of whether the same are publically visible;** in that this finding is not applicable to the project. The project does not seek relief from development standards to accommodate characteristics of an identifiable architectural style.
8. **For proposed projects that require discretionary review due to exceeding size thresholds (pursuant to Sections 17.20.027(C), 17.30.045(B), 17.28.070(A)1. or similar), that the proposed is a superior project that would enhance its neighborhood and exhibit exceptional design through a combination of most, if not all, the following:**
 - a. **Innovative, thoughtful and/or noteworthy architecture that is responsive to the specific site, rather than standard, or generic, or “cookie-cutter” plans;** in that the additions will maintain the unique Dutch Colonial Revival architectural design of the house. The additions are in-scale and architecturally consistent with the original design.
 - b. **Where applicable, adaptive reuse or other preservation and restoration of historic structures;** in that the in that the house constructed in 1908 is eligible for historic designation based on Criterion B – Architectural. The additions are intended to be integrated with the original design of the house. The additions will reference but not duplicate the Dutch Colonial Revival architectural design.
 - c. **Preservation of the natural landscape to the extent possible by such means as minimizing grade changes and retaining protected specimen trees;** in that

landscape improvements will incorporate the two of the three protected Coast live oak trees in the rear yard. Removal of one Coast Live Oak with a health and condition rating of below average (D+) is will be removed and appropriate mitigation will be determined for replacement value. Grading within the yards will be minimal. The property will retain the flat front yard and sloped rear yard.

- d. **Siting of structure in keeping with landforms and so as to maximize open space, public views, and neighbor views and privacy;** in that the house will maintain its two-story appearance form the street. The house is sited towards the center of the yard. The additions are located on the rear and east elevations of the house. The additions will match the existing roofline of the house and do not interfere with public views. The proposed second story balcony will face the large northern yard, away from neighboring residences. An existing second-story balcony along the eastern elevation will be repositioned closer to the street facing elevation, thereby minimizing views from the neighboring property to the east. The proposed landscape improvements will retain the open landscaped character of the site.
- e. **High quality architectural details and building materials compatible with the overall project design;** in that the project proposes materials that are compatible with the Dutch Colonial Revival style architecture of the house.
- f. **Sustainable building and landscaping practices, especially water-saving features;** in that the proposed project will comply with all applicable building codes to satisfy sustainable building and landscaping practices. The landscape project includes capturing, reusing and infiltrating an estimated minimum of 7,000 to 8,000 gallons of water per year that will be applied to the native, climate-appropriate gardens. Existing hardscape materials to be removed will be repurposed including asphalt driveway, concrete surfaces, and existing boulders.

Secretary of The Interior's Standards for Rehabilitation Findings

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

- 1. **A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment;** in that the property will continue to be used as a single family residence containing a house and a garage.
- 2. **The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;** in that the character defining features of the property—Dutch Gable roof and eave detail, original fenestration on the primary elevation; front door, sidelights, scored concrete porch—will be maintained and

restored. The house will retain its original two-story appearance from the street. The new windows align with the original fenestration and the window design will be slightly differentiated in order to distinguish the new construction from the original house.

3. **Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken;** in that the character-defining elements of the house will be preserved. The additions to the north and east elevations are consistent with the architecture style of the house. The project does not propose to add conjectural features or architectural elements of a different style.
4. **Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved;** in that the house was constructed in 1908. The eastern half of the front elevation includes a side screened porch. The street facing portion of this feature will be retained. Preserving the feature of the house as viewed from the street. The remaining porched area will be incorporated into the living and dining room addition.
5. **Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved;** in that the original Dutch Gable roof and eave detail, the building height, fenestration, and primary materials of wood will be retained and referenced in the new construction.
6. **Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence;** project does not propose any alterations that would cause damage to historic features or require such features to be restored on the street facing elevation.
7. **Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;** in that the project does not propose any harsh treatments that would cause damage to the historic features of the house.
8. **Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken;** in that no archeological resources have been identified on the property.
9. **New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment;** in that partial demolition of existing walls and windows on the secondary elevations is required in order construct additions to the house. The additions are not voluminous. The new windows align with the original fenestration and the window design will be slightly differentiated in order to distinguish the new construction from the original house. The Dutch Colonial Revival roof and eave design will match the original roof. The additions will match the existing two-story building

height. The rear (north) elevation complements the design of the existing two-story component of the existing house.

10. **New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired;** in that the additions are intended to be integrated with the original design of the house. The house will retain its two-story massing, fenestration, roof and eave design, and building height. The balconies on the rear elevation will be attached to newly constructed walls.

PURSUANT TO THE ABOVE FINDINGS, IT IS RESOLVED that the Planning Commission APPROVES Discretionary Demolition Permit 19-05 (DDP 19-05); Design Review Permit 19-08 (DRP 19-08), subject to the attached conditions of approval in the Attached Exhibit A.

The approval is final, unless appealed to the City Council in writing within ten (10) days following the adoption of this Resolution, pursuant to the provisions of Section 17.60.120 of the Sierra Madre Municipal Code.

The time in which to seek judicial review of this decision shall be governed by Code of Civil Procedure Section 1094.6. The Planning Commission Secretary shall certify to the adoption of this resolution, transmit copies of the same to the applicant and his counsel, if any, together with a proof of mailing in the form required by law and shall enter a certified copy of this resolution in the book of resolution of the City.

APPROVED, the 3rd day of October 2019, by the following vote:

AYES:

NOES:


ABSTAIN:

ABSENT:



John Hutt, Chair
Sierra Madre Planning Commission

ATTEST:



Vincent Gonzalez, Director
Planning & Community Preservation Department

**CONDITIONS OF APPROVAL
DISCRETIONARY DEMOLITION PERMIT 19-05; DESIGN REVIEW PERMIT 19-08**

General Conditions:

The applicant and property owner shall:

1. Comply with all applicable provisions of the Sierra Madre Municipal Code, including but not limited to those Chapters pertaining to Zoning, Building and Construction, Vehicles and Traffic, and Health and Safety, and including all such provisions which may be contained in Uniform Codes which have been incorporated by reference within the Sierra Madre Municipal Code.
2. Comply with all applicable provisions of Federal, State and Los Angeles County law and regulations, including but not limited to the California Environmental Quality Act.
3. Execute and deliver to the City's Department of Development Services an Affidavit of Acceptance of Conditions on a form to be provided by such Department within ten business days of the date of this approval. This approval shall not be effective for any purpose until the Applicant complies with this condition.
4. To the fullest extent permitted by law, fully protect the City, its employees, agents and officials from any loss, injury, damage, claim, lawsuit, expense, attorneys' fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this approval, or the activities conducted pursuant to this approval. Accordingly, to the fullest extent permitted by law, the applicant and property owner shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorneys' fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this approval, or the activities conducted pursuant to this approval. Applicant and property owner shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

Planning Department Conditions:

The applicant and property owner shall:

1. Per Planning Commission direction, add additional trees west of the detached garage with roof deck; and east of the second-story addition to minimize views to neighboring properties.

2. Per Planning Commission direction, in lieu of concrete block select an alternate material for the outdoor kitchen. Work with staff to determine a more appropriate material that blends with the architectural features of the addition.
3. Construct the project in substantial conformance with all applications and supporting materials presented to the Planning Commission on October 3, 2019. Inaccuracies and misrepresentations will be grounds for immediate revocation of the Design Review permit.
4. Ensure that all security and landscape lighting shall be either shielded, directed downward, and/or away from neighboring properties or streets. Exposed light bulbs shall not be permitted.
5. Submit construction plans, for 1st Plan Check within one (1) year of the date of this approval; failure to do so will constitute an abandonment of the entitlement, and shall render this approval null and void.
6. Prior to the issuance of building permits, provide a letter to the Planning and Community Preservation Department certifying that the grading was accomplished in accordance with the approved set of plans and that the grading complies with his or her recommendations for site grading.
7. Applicant shall comply with the requirements of the Water Efficient Landscape and Irrigation Ordinance.
8. Utilities (telephone/cable) shall be underground and connected to the utility pole.

Public Works Department Conditions:

1. The applicant shall identify all protected trees on property by species, diameter at breast height, and identify canopy of protected trees with an eight-point compass measurement from trunk. Also identify encroaching canopy of any protected trees on neighboring properties.
2. The applicant shall describe any proposed removal or pruning impacts (root zone or canopy) that will be required for the construction of the new structure for each protected tree onsite or encroaching from neighboring properties.
3. The applicant shall propose mitigation for all protected trees to be removed and/or substantially pruned.
4. Plan shall, at a minimum, indicate how the protected trees will be fenced to protect low branches and root zones, and prevent storage of construction materials under the tree.
5. Review the Procedures for Demolition of a building.
6. Review the requirements for construction plans, grading and drainage plans and LID requirements.
7. List of forms to be filled out and submitted for approval.

Conditions of Approval:

- A. All tree protective recommendations shall be followed throughout the construction process.
- B. "Per Arborist Report, the Coast Live Oak *Quercus agrifolia* identified as Tree #2 and recommended for removal is approved for removal. However, per the approved mitigation matrix, the mitigation for this tree is based on an 18 inch diameter at breast height (dba) and a Grade 3 (corresponding with the Arborist's grade of C-) which would require 3 for 1 mitigation. Three trees, of a species approved by the Department of Public Works must be planted on the property. If it is determined that the planting of mitigation trees is infeasible or otherwise inadvisable, the applicant may pay an in-lieu mitigation fee of \$550.00 per tree."
- C. All buildings shall be connected to the public sewer.
- D. Driveway approach to be added and abandoned drive approaches to be replaced with all damaged curb and gutter, separate PW permit required.
- E. Public improvements on the city parkway shall be permitted and inspected by the Public Works Department.

Fire Department Conditions:

The applicant and property owner shall:

- 1. Submit fire sprinkler plans for review and approval per CFC Article 10, CBC Chapter 9.
- 2. "Fire Sprinklers required" shall be noted on construction plans.
- 3. Fire sprinklers shall be installed in all structures per NFPA 13D or CRC R313.
- 4. Fire sprinkler system shall be compliant with CBC 7A Wildland requirements.

(End of conditions)