

**AGENDA
PLANNING COMMISSION**

Thursday, May 07, 2020

7:00 PM

**City Hall Council Chambers
232 W. Sierra Madre Boulevard
Sierra Madre, California 91024**



This meeting will be conducted utilizing teleconference communications and will be recorded for live streaming. In accordance with the State of California Executive Order N-29-20 dated March 17, 2020, all City of Sierra Madre public meetings will be solely available via live streaming and made available on the City's official website.

- **Watch the meeting on Channel 3 (Government Access Channel) or live on the City's website at www.cityofsierramadre.com**
 - **Email public comments to: publiccomment@cityofsierramadre.com by 6:00 PM**
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ROLL CALL

Chair Hutt, Vice-chair Denison, Commissioners Catalano, Desai, Pevsner, Spears

APPROVAL OF AGENDA

Majority vote of the Commission to proceed with Commission business

APPROVAL OF MINUTES

1. [Approval of minutes of April 2, 2020 Planning Commission Meeting](#)

COMMUNITY INPUT

At this time, any person may address the Planning Commission concerning an item that is not on the Agenda. The Commission welcomes your attendance and participation. When addressing the Commission, please begin by providing your name and address for the record. Please keep comments to no more than five minutes to assure an orderly and timely meeting.

Copies of the Agenda are available for your convenience at the rear of the Council Chambers. State legislation (Govt. Code Section 54954.2) limits the Commission's ability to take action on specific requests. Govt. Code Section 54954.2 limits the placement of items on the Agenda for action 72 hours prior to meetings, except for specific findings.

No action or discussion may be undertaken by the Planning Commission on any item if not posted on the Agenda, except that Commissioners or staff may briefly respond to statements made or questions posed by the public, or a Commissioner or staff liaison may ask a question for clarification, or make a brief report on his or her own activities. A Commissioner or the Commission itself may provide a reference to staff to report back to the Commission at a subsequent meeting concerning any matter or may direct staff to place a matter of business on a future agenda.

PRESENTATION

PUBLIC HEARING

Disclosure of Site Visits and Ex-parte Contacts

Disclosure by Commissioners of site visits and Ex-parte Contacts

1. [Hillside Development Permit 14-02 \(HDP 14-02\) and Conditional Use Permit 14-08 \(CUP 14-08\); to allow construction of a new single family residence with an attached two-car garage for a total of 4,502 square feet at 9 Nathaniel Terrace, Lot 5 of Tract 54016, in the Stonegate development area](#)

[It is recommended that the Planning Commission approve Hillside Development Permit 14-02 and Conditional Use Permit 14-08, subject to the conditions of approval in Planning Commission Resolution 19-13.](#)

2. [Modification to Administrative Hillside Development Permit 17-02: A request to modify the previously approved plans and elevations of the primary residence at 751 Oak Crest Drive](#)

[It is recommended that the Planning Commission continue Administrative Hillside Development Permit 17-02, and provide the applicant and staff with direction.](#)

PLANNING COMMISSION REPORTS

PLANNING & COMMUNITY PRESERVATION STAFF REPORTS

ADJOURNMENT

If you require special assistance to participate in this meeting, please call the City Manager's Office at 626-355-7135 at least 48 hours prior to the meeting

INFORMATION TO THE PUBLIC

The Planning Commission will consider the last item at 10:30 p.m. and they will adjourn the meeting by 11:00 p.m. The Planning Commission will continue all unfinished business to an adjourned meeting on the following Thursday at 7:00 p.m. or to a different time and date certain.

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No action or discussion may be undertaken by the Planning Commission on any item if not posted on the agenda, except that Commissioners or staff may briefly respond to statements made or questions posed by the public, a Council member or its staff may ask a question for clarification, make a brief announcement, or make a brief report on his or her own activities. A Commissioner or the Planning Commission itself may provide a reference to staff to report back to the Planning Commission at a subsequent meeting concerning any matter or may direct staff to place a matter of business on a future agenda.

REQUIRED FINDINGS

Conditional Use Permit and Variance considerations are "quasi-judicial" decisions made by the Planning Commission. As such, these decisions may be challenged in court. Accordingly, courts require an adequate "record" to exercise judicial review. This means that the documentation supporting the approval or denial of a project must include an explanation of how the Planning Commission processed the raw information and evidence considered in reaching its decision. The California Supreme Court has laid down distinct, definitive principles of law detailing the need for findings when a public agency approves or denies a project while acting in a "quasi-judicial" roll. This decision is based upon the case, *Topanga Assoc. For a Scenic Community v. County of Los Angeles* ("Topanga"). The "Topanga" court outlined the following 5 purposes for making findings:

- Provide a framework for making principled decisions, enhancing the integrity of the administrative process;
- Facilitate orderly analysis and reduce the likelihood the agency will randomly leap from evidence to conclusions;
- Serve a public relations function by helping to persuade the parties that the administrative decision making is careful, reasoned, and equitable;
- Enable the parties to determine whether and on what basis they should seek judicial review and remedies; and,
- Apprise the reviewing court of the basis for the agency's decision.

For more information on the necessary "Findings" that the Planning Commission must make, please contact the Development Services Department at (626) 355-7138.

(Source: Curtin's California Land Use & Planning Law, Daniel

Item Attachment Documents:

1. Approval of minutes of April 2, 2020 Planning Commission Meeting

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CITY OF SIERRA MADRE PLANNING COMMISSION MINUTES

Regular Meeting of
Thursday, April 2, 2020 at 7:00 p.m.
City Council Chambers, 232 W. Sierra Madre Blvd.

This meeting will be conducted utilizing teleconference communications and will be recorded for live streaming. In accordance with the State of California Executive Order N-29-20 dated March 17, 2020, all City of Sierra Madre public meetings will be solely available via live streaming and made available on the City's official website.

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CALL TO ORDER

Chair Hutt called the meeting to order at 7:06 p.m.

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ROLL CALL

19 **Present:** Chair Hutt, Vice Chair Denison, Commissioners Catalano, Dallas, Desai,
20 Pevsner, Spears

21 **Staff:** Vincent Gonzalez, Director of Planning and Community Preservation
22 Jennifer Peterson, Administrative Analyst
23 Clare Lin, Associate Planner
24 Joshua Wolf, Assistant Planner
25 Aleks R. Giragosian, Assistant City Attorney
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APPROVAL OF AGENDA

Commissioner Catalano moved to approve the agenda. Commissioner Spears seconded.

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APPROVAL OF MINUTES OF MARCH 5, 2020

Commissioners Catalano and Dallas abstained due to their absence.

Commissioner Denison moved to approve the minutes. Commissioner Spears seconded.
Motion carried.

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AUDIENCE COMMENTS

None.

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PUBLIC HEARING

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Disclosure of site visit - Ex Parte

40 The Commission disclosed if they visited the project sites, and if they had any
41 communication with the applicants

1. HILLSIDE DEVELOPMENT PERMIT 14-02 (HDP 14-02) AND CONDITIONAL USE PERMIT 14-08 (CUP 14-08)

Address: 9 Nathaniel Terrace (Lot 5)

Applicant: LCRA Architects

Continued from January 16, 2020

Continue to April 16, 2020

Director Gonzalez stated that the applicant had requested an additional extension to May 7, 2020.

Chair Hutt requested that the applicant would update the public notice sign.

Commissioner Denison moved to continue this item to May 7, 2020. Commissioner Spears seconded. Motion carried unanimously.

2. DESIGN REVIEW PERMIT 19-06 (DRP 19-06)

Address: 1910 Santa Anita Avenue

Applicant: PDS Studio Inc.

Continued from February 20, 2020

Associate Planner Lin delivered the staff report.

Commissioner Catalano expressed concern with the step down of the garage.

Phillip Chan

Project designer

Mr. Chan addressed concerns from the previous meeting. He also addressed Commissioner Catalano's concerns of the step down garage with code compliance.

Director Gonzalez noted that no email comments had been received regarding this project.

Commissioner Catalano noted that the neighbor had requested that the hole in the fence be repaired.

Discussion

Commissioner Catalano felt that all of the previous issues have been addressed.

Commissioner Desai stated that he had no major issues with the project.

Commissioner Spears stated that he can make the findings.

Chair Hutt agreed, and also appreciated the design study.

Action: Commissioner Desai moved to approve Design Review Permit 19-06 as submitted. Commissioner Catalano seconded. Motion carried unanimously.

3. DESIGN REVIEW PERMIT 19-05 (DRP 19-05)

Address: 686 Mariposa Avenue

Applicant: Sarah Calipers

Assistant Planner Wolf delivered the staff report

Commissioner Desai inquired if a Topo survey had been prepared. Assistant Planner Wolf stated that there had not.

Commissioner Pevsner inquired about the increase in lot coverage of the hardscape concerning drainage. Assistant Planner Joshua Wolf stated that the proposed scope of work is below the required 40% lot coverage and that due to the addition exceeding 500 square feet, a low impact development report would be required. Commissioner Denison inquired about the amount of square footage being added and it was clarified by Assistant Planner Joshua Wolf that the newly added square footage included both the 300 square feet accessory structure and the infill construction taking place of the raised wooden deck located between the house and the garage. Commissioner Pevsner inquired if there was added hardscape as a result of the parking for the accessory dwelling unit. Assistant Planner Joshua Wolf stated that only a space needed to be provided, not a parking pad and that the applicant had provided that space over an existing grass area.

Commissioner Desai inquired about the fence on the rear property line. Commissioner Denison stated that he recalled observing a chain link or wood fence with a hedge growing over it, confirming it was not a solid block wall.

Chair Hutt inquired about the Director's interpretation of a Second Unit being exempt from finding #8 of a Design Review Permit given that State Law provides that approval of an accessory dwelling unit cannot have discretionary review. Chair Hutt continued and inquired about the ability the City has in ensuring the building is used as Second Unit. Assistant Planner Joshua Wolf stated that a Deed Restriction will be filed with the property to which the owner agrees to maintain the structure for use as a Second Unit. The Commission had some concerns with the intent of use by the current owner on how the structure will be realistically used. Assistant City Attorney Giragosian stated that the purpose of the State Law is to increase the supply of housing and that there is no State Law requiring a Second Unit to be lived in or rented out. Assistant City Attorney Giragosian continued stating that a Deed Restriction would be the tool to implement and ensure that the structure be used for the purposes of housing.

Commissioner Catalano questioned Project Designer Henry Ortiz the reason for the alignment of the addition on the existing west setback. Commissioner Catalano had concerns about the footings under the garage being able to support a two-story dwelling under the current building code. Commissioner Catalano continued stating that the existing garage is not a fait accompli and that encroachment into the angle plane is not necessary. Commissioner Catalano continued stating that building code allows existing conditions of structures to be maintained unless new load is being added in which case, the structure would need to comply with the present building code. Commissioner Catalano continued stating that detached garages were typically built with a haunch slab foundation that would be unable to support a two story structure under present building code.

Commissioner Desai continued inquiring the reasoning for the encroachment into the angle plane. Mr. Ortiz responded that the encroachment is not necessary and agreed to move the massing out of the angle plane encroachment. Commissioner Dallas offered input on

possible solutions implementing dormers on the addition while stepping back the massing which encroaches beyond the angle plane.

Commissioner Dallas inquired the reasoning for the two story volume in the proposed family room. Mrs. Sarah Calipes, owner, explained that the intent of the design is to incorporate the addition to the second story in a sensible way while also having the desired open feel. Because there were concerns from the neighbor about blocking mountain views, Commissioner Dallas suggested that the volume be reduced in height since the space is otherwise unusable.

Chair Hutt acknowledged the public comment received by letter.

Discussion

Commissioner Spears felt that the plans were incomplete and felt that many of the issues that were addressed at the meeting could have been solved by an engineer. Commissioner Spears continued by promoting that work done by architects be reviewed because there is more brought to the table and that the issues brought up concerning the garage and the support for a second story could have been addressed between the owner and an architect or an engineer. Commissioner Spears stated that two existing trees on the property were large enough that the proposed project would not impose an impact on views toward the mountain for the southerly neighbor. Commissioner Spears noted that the designer took full advantage of the topography by incorporating the second story massing at the lower grade portion of the property which attributed to blending in with the neighborhood. Commissioner Spears concluded requesting the applicant return with additional engineering on whether the addition could function successfully over the garage or return with engineering showing a design otherwise.

Commissioner Desai had issues with the plans, layout and the encroachment. He also agreed with Commissioner Spears that the plans need more clarity. Commissioner Desai continued stating that the project requires a topographic survey and that point elevations are necessary when reviewing a project with distinctive changes in grading. He continued by stating there was room for further study and pointed out, as an example, the ability to drop the massing of the living room in order to further alleviate encroachment beyond the angle plane. He also disputed the finding concerning the impact of enjoyment of property as the massing of the structure provides clear visibility in the neighboring property.

Commissioner Dallas agreed that more information was needed on the plans. She would like to see a longitudinal drawing displaying the relationship of the proposed structure with the existing structures on neighboring properties in all directions.

Commissioner Catalano concurred adding that there are specific reasons and specific findings for approving proposed additions encroaching beyond the angle plane as opposed to a simple request. Commissioner Spears added that there should be concern for how the sewer line from the proposed Second Unit would work while it is required to be connected to the main sewer line.

Commissioner Pevsner concurred adding that a better design could be produced if the garage was demolished and rebuilt.

Chair Hutt concurred adding an appreciation for the benefits of the design.

Commissioner Denison feels that this is a good first pass and concurred with Chair Hutt's appreciation for the benefits of the design, but felt that the project ultimately needs more thought. He agreed that a longitudinal drawing of the proposed addition with relation to the neighboring properties would be essential in reviewing the impact on views out of neighboring properties.

Henry Ortiz

Applicant's representative

Mr. Ortiz addressed the Commission's concerns about the lack of information on the plans, and with the design process in general.

Sara Calipes

Owner

Ms. Calipes stated that she appreciated the feedback. She stated that she would like to go back to the design process noting that there will be consideration of the blocked view, and a potential redesign with the demolition of the garage in mind.

**Action: Commissioner Spears moved to continue this item to a date uncertain.
Commissioner Denison seconded. Motion carried unanimously.**

Oral Communication

Audience

None.

Planning Commission

Commissioner Pevsner wanted to publicly appreciate Danny Osti's community efforts in assisting residents in need.

Commissioner Catalano requested an update on the potential Monastery project. Director Gonzalez stated that the matter will be scheduled before the City Council.

The Assistant City Attorney noted that the project would be required to comply with CEQA before any review by the Planning Commission.

Staff

225 Director Gonzalez stated that there are no items scheduled for April 16th and noted that this
226 meeting will be cancelled.

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228 Commissioner Denison requested an update on Commercial Code revisions.
229 Director Gonzalez stated that that City Council remanded the matter to the Planning
230 Commission for revision in combination with the parking code update.

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232 Chair Hutt adjourned the meeting at 8:38 pm.

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236 Secretary to the Planning Commission
237 Vincent Gonzalez, Director of Planning & Community Preservation

Item Attachment Documents:

1. Hillside Development Permit 14-02 (HDP 14-02) and Conditional Use Permit 14-08 (CUP 14-08); to allow construction of a new single family residence with an attached two-car garage for a total of 4,502 square feet at 9 Nathaniel Terrace, Lot 5 of Tract 54016, in the Stonegate development area

It is recommended that the Planning Commission approve Hillside Development Permit 14-02 and Conditional Use Permit 14-08, subject to the conditions of approval in Planning Commission Resolution 19-13.



Planning Commission **STAFF REPORT**

John Hutt, Chair
Thomas Denison, Vice-Chair
Joseph Catalano, Commissioner
Peggy Dallas, Commissioner
Manish Desai, Commissioner
William Pevsner, Commissioner
Bob Spears, Commissioner

Vincent Gonzalez, Director
Planning & Community Preservation

DATE: May 7, 2020

TO: Planning Commission

FROM: Vincent Gonzalez, Director of Planning & Community Preservation

PREPARED BY: Clare Lin, Associate Planner

SUBJECT: **Hillside Development Permit 14-02 (HDP 14-02) and Conditional Use Permit 14-08 (CUP 14-08); to allow construction of a new single family residence with an attached two-car garage for a total of 4,502 square feet at 9 Nathaniel Terrace, Lot 5 of Tract 54016, in the Stonegate development area**

RECOMMENDATION

Staff recommends that the Planning Commission approve Hillside Development Permit 14-02 and Conditional Use Permit 14-08, subject to the conditions of approval in Planning Commission Resolution 19-13.

ALTERNATIVES

1. Approve the application for Hillside Development Permit 14-02 and Conditional Use Permit 14-08 pursuant to Resolution 19-13, subject to the conditions of approval.
2. Approve with modifications the application for Hillside Development Permit 14-02 and Conditional Use Permit 14-08 with modifications pursuant to Resolution 19-13, subject to the conditions of approval.
3. Deny the application for Hillside Development Permit 14-02 and Conditional Use Permit 14-08, identifying the findings the Commission feels cannot be made and the basis for rejecting those findings.
4. Continue the subject project, and provide direction to staff and applicant.

EXECUTIVE SUMMARY

The applicant, LCRA Architecture & Planning, on behalf of Robert Ho, is requesting that the Planning Commission consider Hillside Development Permit 14-02 (HDP 14-02) and Conditional Use Permit 14-08 (CUP 14-08) to allow construction of a two-story, single family residence and garage for a total of 4,502 square feet. Pursuant to SMMC Section 17.52.070.C.2, construction of a single family dwelling unit on an existing legal lot in the Hillside Management Zone requires approval of a HDP. Pursuant to Condition of Approval No. 159 of Tract Map 54016, any development which can be seen from the location of the Macomber Cabin, Carter Barn or the Willis Estate is subject to a CUP to ensure that the development contrasts with the design of these cultural resources, and to protect these cultural resources by distinguishing them from their non-historic context.

At the January 16, 2020 public hearing, the Commission recommended continuance of the application for further study of the design development by the architect. Applicant has returned with revised site plan, floor plan, elevation and renderings addressing Planning Commission's comments. Staff recommends that the Planning Commission approve DRP 19-06 pursuant to Planning Commission Resolution 19-03 with the conditions of approval.

BACKGROUND

Lot 9 is a 17,562 square-foot vacant lot that is zoned H (Hillside Management) and has a General Plan Land Use designation of H (Hillside). The subject property is located on the northwest side of Baldwin Court and Nathaniel Terrace in the center of the Stonegate development area. The other lots, which are currently vacant, are located to the north, west, and east of the subject site. The site is an irregular and roughly square-shaped lot contoured by the abutting streets with a building pad on its south side. All of the adjacent properties are zoned H (Hillside Management) and are also located within the Stonegate development area.

The two-story house is designed in the Italian Renaissance Revival style with an asymmetrical primary elevation facing Nathaniel Court. The house exhibits many characteristic features of the Style, including: a low pitched, hipped, red clay barrel tile roof with eaves and corbels; smooth plaster walls with deeply recessed windows and doors; arched openings; casement windows and French doors with divided lights; classically styled, load bearing columns; paneled doors; a ground floor loggia and front yard deck with wrought iron guard rail. Additional features include cast stone columns, wrought iron guard rail, trim, walls caps, finials, and medallions; decorative wrought iron railings and gates; engaged scrollwork on the walls; and Period-revival style decorative metal light fixtures.

PROPOSED REVISIONS:

On January 16, 2020, the Commission made comments and addressed several design issues. Based on the Commission's comments, the architect has revised the project as follows:

Commission Comment #1: Study the orientation of the massing by placing the courtyard to the south toward the views.

Architect's Response: Building footprint is revised to become more compact by eliminating the porte cochère, enlarged the rear yard, increased the south side yard setback by 4'-10", and introduce a south facing courtyard that faces the views as an extension to the dining room.

Commission Comment #2: Consider moving the mass to the north, reduce the stucco massing on the west facing building elevation, and study the prominent southwest corner with lower arms to the south.

Architect's Response: Second floor massing is relocated to the northeast corner. Library and the deck above set back 8 feet from the front wall. South facing building elevation is condensed by eliminating the lower wing wall and bedroom on the second floor. Bulk and mass are significantly reduced at the southwest corner.

Commission Comment #3: Consider a different color hue or material changes to soften appearance and reduce the height of the building.

Architect's Response: Exterior finishes of the library on the south elevation is changed to fire retardant-treated wood panels, and introduce a Maltese balcony on the north elevation to soften the appearance. The wooden finishes minimized the massing and diminish views of the structure at a distance. Also, wood window shutters are added to balance the vertically of the window.

Commission Comment #4: Consider lowering the pad elevation or a subterranean garage.

Architect's Response: Architect explored the options and lowered the pad elevation by 3 feet from 1240' to 1237'. Any further excavation or grading to the site will be an impact to the environment and not be economically feasible.

PROJECT SUMMARY

Category	Existing	Proposed	Code Requirement or Allowed by Settlement Agreement	Complies with HMZ or Settlement Agreement
Lot size	23,540 s.f.	No Change	23,540 s.f.	Yes¹
Lot Coverage	N/A	4,465 s.f. (building + impervious areas)	5,009 s.f. (110 % of allowable gross floor area)	Yes²
Building Height	N/A	23'-11"	25'	Yes³
Gross Floor Area	N/A	4,502 sf.	4,554 sf.	Yes⁴
Building Setbacks: <u>Front</u> <u>Sides</u> North South <u>Rear</u>	N/A	35'-6" 15'-8" 14'-10" 161'-10"	25' 22'-3" (30% of cumulative width of 90' with a minimum 10% of lot width on either side) 15'	Yes⁵
Parking	N/A	2 car garage	2 spaces per dwelling unit in a garage or carport	Yes⁶

¹ Complies with Section 5.2 of the Settlement Agreement.

² Complies with HMZ Section 17.52.120.A.6

³ Complies with HMZ Section 17.52.160.C.b

⁴ Complies with Exhibit H of Settlement Agreement.

⁵ Complies with HMZ Section 17.52.120.A.4, which requires lots in the HMZ to comply with the setback requirements found within Section 17.20.060 of the Municipal Code (R-1 Zoning standards).

⁶ Complies with HMZ Section 17.52.120.A.9, which requires lots in the HMZ to comply with parking requirements found within Section 17.68.020 of the Municipal Code (Parking Spaces Required).

CRITERIA FOR REVIEW OF THE PROPOSED PROJECT

The project is subject to the requirements of the Hillside Management Zone and the conditions of approval associated with Tract Map 54016. In addition, the project is subject to agreed-upon exceptions to several requirements of the HMZ Ordinance which are identified in a Settlement Agreement approved on March 23, 2010 as resolution to a lawsuit filed against the City by the predecessor of the current property owner, CETT

Investments Corporation. These exceptions include maximum allowable floor area, placement of buildings over slopes, parking, and height restrictions of the Settlement Agreement.

DESIGN COMPLIANCE REVIEW REGARDING WILLIS ESTATE

Condition of Approval (COA) No. 159 of Tract Map 54016 (the Stonegate area) “requires that any development on a lot created by the Map which can be seen from the location of the Macomber Cabin, the Carter Barn or the Willis Estate shall contrast with the design of these historic resources.” Sapphos Environmental Inc. conducted a design compliance review of the project subject to COA No. 159. On October 22, 2019. Sapphos submitted a Memorandum for the Record stating that the proposed project is sufficiently differentiated from the existing historic structures in that it is a contrasting Italian Renaissance Revival Style design. The new project is differentiated because it is designed in the Italian Renaissance Revival Style. The new building uses smooth plaster, metal clad windows, terra cotta tile, etc.), it will have different massing, and it will have a different site orientation to the street and environs.

ENVIRONMENTAL REVIEW

The proposed project qualifies for a Categorical Exemption (Class 3), pursuant to Section 15303(a) New Construction or Conversion of Small Structures, of the California Environmental Quality Act (CEQA) because it proposes the construction of one new single family residence in a residential zoning district.

ANALYSIS/ FINDINGS

Hillside Development Permit

In approving a Hillside Development Permit, the Planning Commission shall make all of the following findings:

- a. **The proposed development is consistent with and serves to implement the General Plan and specifically, those General Plan goals and policies that pertain to hillside development;** in that the project site has a General Plan Land Use Designation of H (Hillside) and the request for a HDP is consistent with the following Objectives and Policies of the City’s General Plan:

Objective L12: Facilitate hillside preservation through development standards and guidelines which provide direction and encourage development sensitive to the unique characteristic found in the hillside area of the city.

Policy L12.1: Determine that development density of sites based on a calculation that uses slope as a primary factor, that is, the steeper the slope, the more restrictive the density.

Policy L12.2: Ensure that development in the hillside areas is located in those areas resulting in the least environmental impact.

Objective L13: Ensure that hazards are minimized in the hillside.

Policy L13.1: Minimize the amount of grading and removal of natural vegetation allowed to prevent creation of land instability or fire hazards.

Objective L14: Protect the views to and from hillside areas in order to maintain the image and identity of the City as a village of the foothills.

Policy L14.1: Require the use of natural materials and earth tone colors for all structures to blend with the natural landscape and natural chaparral vegetative growth.

- b. **The proposed development is consistent with the purposes of Chapter 17.52;** in that it complies with all applicable development standards including setbacks, height, floor area, lot coverage, and parking. The house would be located on an existing building pad and the project minimizes impacts to the sloped areas and natural undisturbed hillside.
- c. **The design of the development minimizes exposure of persons to natural hazards and maximizes access to public open space areas;** in that the proposed residence would be constructed in compliance with all building and fire code provisions concerning exposure to natural hazards. The majority of the house and garage would be located on the flat pad on the property in order to avoid impact sloped areas. The project would not affect access to public open space areas.
- d. **The design and location of structures or uses avoids, eliminates, or adequately mitigates each of the environmental constraints described in this chapter and other significant environmental impacts identified upon environmental review of the application;** in that the majority of the proposed house would be constructed within an existing flat building pad, thereby preserving natural features of the property. Most of the house and garage construction will be limited to an area categorized as Slope Category 1 (0 to 14.9 percent). Vegetation removal will be limited to those species identified by the City's Fire Marshal as having potential for moderate to high flammability and which are not listed as sensitive or critical habitat.
- e. **The proposed development complies with the standards set forth in this chapter, including Section 17.52.120 (Design and development standards for uses requiring hillside development permits) and Section 17.52.160 (Architectural and site design standards);** in that one single family dwelling unit is proposed for the lot. The project complies with all applicable development standards including setbacks, height, floor area, lot coverage, and parking. The

siting, massing, landscaping, and earth tone colors of the house are compatible with the hillside setting.

Conditional Use Permit Findings

The CUP is required to ensure that the design of the proposed residence, which can be seen from the Macomber Cabin, Carter Barn and Willis Estate, contrasts with the design of these structures. Pursuant to Municipal Code Section 17.60.040, before any conditional use permit is granted, the application shall show to the reasonable satisfaction of the Planning Commission the existence of the following facts:

1. **That the site for the proposed use is adequate in size, shape and topography;** in that the site is sufficiently large to accommodate the proposed residence while meeting all requirements set forth in the City's Municipal Code, including setbacks, lot coverage and parking. The size, shape and topography of the site do not affect the design of the residence in terms of its contrast with the design of the Macomber Cabin, Carter Barn and Willis Estate.
2. **That the site has sufficient access to streets which are adequate, in width and pavement type to carry the quantity and quality of traffic generated by the proposed use;** in that Nathaniel Terrace was built to serve the levels of traffic generated by the lots in the subdivision.
3. **That the proposed use will not unreasonably interfere with the use, possession and enjoyment of surrounding and adjacent properties;** in that the Italian Renaissance Revival Style house will use modern materials (plaster, metal windows), it will have different building massing, and it will have a different site orientation to the street and environs. These features and materials will distinguish the new construction from existing historic structures in the vicinity. The proposed single-family residential use is consistent with existing and future single-family residential development in the vicinity.
4. **That there is a demonstrated need for the use requested;** in that the subject lot was created through a subdivision map so as to allow construction of new residences such as the one proposed in the application.
5. **That the use will, as to location and operation, be consistent with the objectives of the General Plan;** in that the residential use is consistent with objectives of the General Plan:

Objective L12: Facilitate hillside preservation through development standards and guidelines which provide direction and encourage development sensitive to the unique characteristic found in the hillside area of the city.

Policy L12.2: Ensure that development in the hillside areas is located in those areas resulting in the least environmental impact.

Objective L14: Protect the views to and from hillside areas in order to maintain the image and identity of the City as a village of the foothills.

6. **That the public interest, convenience, and necessity require that the use be permitted at the location requested;** in that the proposed residential use is a permitted use in the H (Hillside Management) Zone and is meeting the intent of the City's General Plan and Zoning Ordinance's development standards pursuant to the subject zone as prescribed by Chapter 17.52. The project site contains an existing building pad intended for single-family residential development. The project's design and contemporary materials distinguish it from existing historic structures in the vicinity, which complies with Condition of Approval No. 159.

PUBLIC NOTICE PROCESS

This item has been noticed through the regular agenda notification process. Copies of this report are available at the City Hall public counter, the Sierra Madre Public Library, and on the City's website.

Attachments:

- Attachment A: Planning Commission Resolution 19-13
- Attachment B: Project Narrative
- Attachment C: Revised Plans, Elevations, Sections and Illustrations

ATTACHMENT A:
PLANNING COMMISSION RESOLUTION 19-13

PC RESOLUTION 19-13

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SIERRA MADRE APPROVING HILLSIDE DEVELOPMENT PERMIT 14-02 (HDP 14-02) AND CONDITIONAL USE PERMIT 14-08 (CUP 14-08): A REQUEST TO ALLOW CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE WITH AN ATTACHED TWO-CAR GARAGE FOR A TOTAL OF 4,502 SQUARE FEET AT 9 NATHANIEL TERRACE (LOT 5 of TRACT 54016) IN THE STONEGATE DEVELOPMENT AREA

THE PLANNING COMMISSION OF THE CITY OF SIERRA MADRE DOES HEREBY RESOLVE:

WHEREAS, an application for Hillside Development Permit and Conditional Use Permit were filed by:

**Lim Chang Rohling & Associates
35 Hugus Alley
Pasadena, CA 91103**

WHEREAS, the request for HILLSIDE DEVELOPMENT PERMIT AND CONDITIONAL USE PERMIT can be described as:

A request to allow construction of a new single family residence with an attached two-car garage for a total of 4,502 square feet at 9 Nathaniel Terrace (Lot 5 of Tract 54016) in the Stonegate development area.

WHEREAS, Pursuant to SMMC Section 17.52.070.C.2, construction of a single family dwelling unit on an existing legal lot in the Hillside Management Zone requires approval of a Hillside Development permit;

WHEREAS, Pursuant to Condition of Approval No. 159 of Tract Map 54016, any development which can be seen from the location of the Macomber Cabin, Carter Barn or the Willis Estate is subject to a Conditional Use Permit to ensure that the development contrasts with the design of these cultural resources, and to protect these cultural resources by distinguishing them from their non-historic context.

WHEREAS, the Planning Commission has received the report and recommendations of staff;

WHEREAS, a public hearing was held before the Planning Commission on January 16, 2020 and May 7, 2020 with all testimony received being made part of the public record;

WHEREAS, the project qualifies for a Categorical Exemption (Class 3), pursuant to Section 15303(a) New Construction or Conversion of Small Structures, of the California Environmental Quality Act (CEQA) because it proposes the construction of one new single family residence in a residential zoning district; and

NOW THEREFORE, in consideration of the evidence received at the

hearing, and for the reasons discussed by the Commissioners at said hearing, the Planning Commission now finds as follows:

Hillside Development Permit Findings

In approving a Hillside Development Permit, the Planning Commission shall make all of the following findings pursuant to Municipal Code Section 17.52.090.E.3:

In approving a Hillside Development Permit, the Planning Commission shall make all of the following findings:

- a. **The proposed development is consistent with and serves to implement the General Plan and specifically, those General Plan goals and policies that pertain to hillside development;** in that the project site has a General Plan Land Use Designation of H (Hillside) and the request for a HDP is consistent with the following Objectives and Policies of the City's General Plan:

Objective L12: Facilitate hillside preservation through development standards and guidelines which provide direction and encourage development sensitive to the unique characteristic found in the hillside area of the city.

Policy L12.1: Determine that development density of sites based on a calculation that uses slope as a primary factor, that is, the steeper the slope, the more restrictive the density.

Policy L12.2: Ensure that development in the hillside areas is located in those areas resulting in the least environmental impact.

Objective L13: Ensure that hazards are minimized in the hillside.

Policy L13.1: Minimize the amount of grading and removal of natural vegetation allowed to prevent creation of land instability or fire hazards.

Objective L14: Protect the views to and from hillside areas in order to maintain the image and identity of the City as a village of the foothills.

Policy L14.1: Require the use of natural materials and earth tone colors for all structures to blend with the natural landscape and natural chaparral vegetative growth.

- b. **The proposed development is consistent with the purposes of Chapter 17.52;** in that it complies with all applicable development standards including setbacks, height, floor area, lot coverage, and parking. The house would be located on an existing building pad and the project minimizes impacts to the sloped areas and natural undisturbed hillside.

- c. **The design of the development minimizes exposure of persons to natural hazards and maximizes access to public open space areas;** in that the proposed residence would be constructed in compliance with all building and fire code provisions concerning exposure to natural hazards. The majority of the house and garage would be located on the flat pad on the property in order to avoid impact sloped areas. The project would not affect access to public open space areas.
- d. **The design and location of structures or uses avoids, eliminates, or adequately mitigates each of the environmental constraints described in this chapter and other significant environmental impacts identified upon environmental review of the application;** in that the majority of the proposed house would be constructed within an existing flat building pad, thereby preserving natural features of the property. Most of the house and garage construction will be limited to an area categorized as Slope Category 1 (0 to 14.9 percent). Vegetation removal will be limited to those species identified by the City's Fire Marshal as having potential for moderate to high flammability and which are not listed as sensitive or critical habitat.
- e. **The proposed development complies with the standards set forth in this chapter, including Section 17.52.120 (Design and development standards for uses requiring hillside development permits) and Section 17.52.160 (Architectural and site design standards);** in that one single family dwelling unit is proposed for the lot. The project complies with all applicable development standards including setbacks, height, floor area, lot coverage, and parking. The siting, massing, landscaping, and earth tone colors of the house are compatible with the hillside setting.

Conditional Use Permit Findings

The CUP is required to ensure that the design of the proposed residence, which can be seen from the Macomber Cabin, Carter Barn and Willis Estate, contrasts with the design of these structures. Pursuant to Municipal Code Section 17.60.040, before any conditional use permit is granted, the application shall show to the reasonable satisfaction of the Planning Commission the existence of the following facts:

- 1. **That the site for the proposed use is adequate in size, shape and topography;** in that the site is sufficiently large to accommodate the proposed residence while meeting all requirements set forth in the City's Municipal Code, including setbacks, lot coverage and parking. The size, shape and topography of the site do not affect the design of the residence in terms of its contrast with the design of the Macomber Cabin, Carter Barn and Willis Estate.
- 2. **That the site has sufficient access to streets which are adequate, in width and pavement type to carry the quantity and quality of traffic generated by**

the proposed use; in that Nathaniel Terrace was built to serve the levels of traffic generated by the lots in the subdivision.

3. **That the proposed use will not unreasonably interfere with the use, possession and enjoyment of surrounding and adjacent properties;** in that the Italian Renaissance Revival Style house will use modern materials (plaster, metal windows), it will have different building massing, and it will have a different site orientation to the street and environs. These features and materials will distinguish the new construction from existing historic structures in the vicinity. The proposed single-family residential use is consistent with existing and future single-family residential development in the vicinity.
4. **That there is a demonstrated need for the use requested;** in that the subject lot was created through a subdivision map so as to allow construction of new residences such as the one proposed in the application.
5. **That the use will, as to location and operation, be consistent with the objectives of the General Plan;** in that the residential use is consistent with objectives of the General Plan:

Objective L12: Facilitate hillside preservation through development standards and guidelines which provide direction and encourage development sensitive to the unique characteristic found in the hillside area of the city.

Policy L 12.2: Ensure that development in the hillside areas is located in those areas resulting in the least environmental impact.

Objective L14: Protect the views to and from hillside areas in order to maintain the image and identity of the City as a village of the foothills.

6. **That the public interest, convenience, and necessity require that the use be permitted at the location requested;** in that the proposed residential use is a permitted use in the H (Hillside Management) Zone and is meeting the intent of the City's General Plan and Zoning Ordinance's development standards pursuant to the subject zone as prescribed by Chapter 17.52. The project site contains an existing building pad intended for single-family residential development. The project's design and contemporary materials distinguish it from existing historic structures in the vicinity, which complies with Condition of Approval No. 159.

PURSUANT TO THE ABOVE FINDINGS, IT IS RESOLVED that the Planning Commission APPROVES Hillside Development Permit 14-02 and Conditional Use Permit 14-08, subject to the conditions of approval in the attached Exhibit A.

The approval is final, unless appealed to the City Council in writing within ten (10) days following the adoption of this Resolution, pursuant to the provisions of Section 17.60.120 of the Sierra Madre Municipal Code.

The time in which to seek judicial review of this decision shall be governed by Code of Civil Procedure Section 1094.6. The Planning Commission Secretary shall certify to the adoption of this resolution, transmit copies of the same to the applicant and his counsel, if any, together with a proof of mailing in the form required by law and shall enter a certified copy of this resolution in the book of resolution of the City.

APPROVED, the 7th day of May 2020, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

John Hutt, Chair
Sierra Madre Planning Commission

ATTEST:

Vincent Gonzalez, Director
Planning & Community Preservation Department

EXHIBIT A

CONDITIONS OF APPROVAL HDP 14-02 and CUP 14-08

General Conditions:

The applicant shall:

1. Comply with all applicable provisions of the Sierra Madre Municipal Code, including but not limited to those Chapters pertaining to Zoning, Building and Construction, Vehicles and Traffic, and Health and Safety, and including all such provisions which may be contained in Uniform Codes which have been incorporated by reference within the Sierra Madre Municipal Code.
2. Comply with all applicable provisions of Federal, State and Los Angeles County law and regulations, including but not limited to the California Environmental Quality Act.
3. Execute and deliver to the City's Department of Planning & Community Preservation an Affidavit of Acceptance of Conditions on a form to be provided by such Department within ten business days of the date of this approval. This approval shall not be effective for any purpose until the Applicant complies with this condition.
4. To the fullest extent permitted by law, fully protect the City, its employees, agents and officials from any loss, injury, damage, claim, lawsuit, expense, attorneys' fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this approval, or the activities conducted pursuant to this approval. Accordingly, to the fullest extent permitted by law, the applicant shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorneys' fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this approval, or the activities conducted pursuant to this approval. Applicant shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

Planning Conditions:

The applicant and property owner shall:

1. Construct the project in substantial conformance with all applications and supporting materials presented to the Planning Commission on January 16, 2020. Inaccuracies and misrepresentations will be grounds for immediate revocation of the Hillside Development Permit and Conditional Use Permit.
2. Submit construction plans, for 1st Plan Check within one (1) year of the date of this approval; failure to do so will constitute an abandonment of the entitlement, and shall render this approval null and void.
3. Pay Development Impact Fees to the City's Planning and Community Preservation Department prior to issuance of building permits for new development.
4. The applicant or property owner will not be granted a building permit unless all requirements in the Deferred Improvement Agreement entered into on or about August 2, 2007, between One Carter, LLC and the City of Sierra Madre and recorded against the property on or about August 22, 2007 ("DIA") have been completed, except that a building permit (but not a certificate of occupancy) may be issued prior to compliance with section 3.5 of the DIA. No building permit may be issued unless such issuance would be consistent with the requirements of the Deferred Improvement Agreement and any document incorporated by the Deferred Improvement Agreement.
5. Provide appropriate screening/temporary fencing of the construction areas and equipment during grading and construction to the satisfaction of the Director of Planning and Community Preservation. (MM 4.8-2a)
6. Prior to the issuance of building permits, prepare siting studies for the review and approval by the Planning and Community Preservation Department that conclusively demonstrates that all proposed structures are set back at least 15 feet from the toe of any ascending slope, or that demonstrate that through the construction of retaining walls, which have minimum freeboards of two feet, unconsolidated soils mantling natural slopes near proposed structures are adequately retained. (MM 4.2-2b and 4.2-7a)
7. Prior to the issuance of building permits, provide a letter to the Planning and Community Preservation Department certifying that the grading was accomplished in accordance with the approved set of plans and that the grading complies with his or her recommendations for site grading.
8. Prior to the issuance of a building permit for a residence on any individual lot, the Applicant shall ensure that the licensed landscape architect prepares a landscaping plan for the review and approval of the Director of Planning and

Community Preservation.

9. All Utilities are underground.
10. Applicant shall comply with California Building Code and install a solar photovoltaic system for all new residential construction.
11. Ensure that project elevations and materials of proposed structures and facilities shall not produce excessive glare and shall be appropriately screened from views off site.
12. Ensure that all security light fixtures and standards shall be either shielded or directed away from neighboring properties and streets. Exposed bulbs shall not be permitted. All fixtures shall have glare control shields.
13. Require compliance with Water Efficient Landscape Ordinance.
14. The exterior stucco walls, fence and retaining walls shall be painted an earth tone color. Under no circumstances shall any paint color selected for the exterior of the house, stucco fences or retaining walls exceed a light reflective value of 70.
15. Applicant shall pay for an arborist of the City's choice to observe the on-site construction of infrastructure structures and ensure the integrity and health of the roots and canopy of the oak tree located on the adjacent lot at the south east corner of the property.
16. The project shall comply with California Energy Code (CEC) 150.1(b)14. All solar equipment shall be integrated with the project design to minimize any aesthetic impacts.

Public Works Department Conditions

The applicant and property owner shall include for Plan Submittal Completion:

1. Arborist report is accepted and all recommendations for tree protection shall be followed.
2. Project must be in compliance with the City's Water Efficient Landscape Ordinance. All buildings must be connected to public sewer.
3. Ensure that the type and location of lighting standards and the intensity of lighting shall be approved by the City Public Works Director. (MM 4.6-5c and 4.8-4).
4. Satisfy all of the following conditions prior to the issuance of a building permit:
 - Los Angeles County Flood Control District has accepted the transfer of the

- entire storm drain system to its jurisdiction for operation and maintenance; and
 - Owner to confirm that the issuance of and compliance with all regulatory permits associated with the debris basins for Los Angeles County maintenance program for the 1 Carter Debris Basin; and
 - The Community Facilities District established January 10, 2012 under City Council Resolutions 11-94, 11-95, and 12-05 shall be modified to have its per parcel assessment amounts increased to cover all costs of the maintenance and operation of the entire storm drain system, including the debris basins, catch basins, clarifier, and underground piping. Such costs shall include all costs associated with issuance of and compliance with all regulatory permits associated with the debris basins and drainage system.
5. Submit a final precise grading, low impact development plan and drainage plan for review and approval by the Public Works Department prior to issuance of building permit.
 6. Demonstrate that each subsequent application for a phase of development includes a conceptual grading plan to indicate at a minimum:
 - Preliminary quantity estimates for grading.
 - Techniques and methods which will be used to prevent erosion and sedimentation during and after the grading process in compliance with the City Standards and NPDES requirements.
 - Preliminary pad and roadway elevations.
 - Designation of any borrow or stockpile site location for import/export material (including, but not limited to, soil, rock, and various construction materials)
 - No material shall be stockpiled for more than 30 days. Stockpiles shall be covered when is in place for more than ten days or when the five-day weather forecast calls for a greater than 60% chance of rain.
 - Approximate time frames for development including the identification of areas, which will be graded between October 15th and April 15th.
 - Hydrology and hydraulic concerns and mitigations.
 7. Ensure that all provisions of the Tree Ordinance (SMMC 12.20) shall apply to the construction of infrastructure and to future construction on individual residential lots, prior to first plan check submittal.
 8. Ensure that the type and location of lighting standards and the intensity of lighting shall be approved by the City Public Works Director. (MM 4.6-5c and 4.8-4)

Conditions of approval for Grading and Low Impact Development (LID)

1. Applicant to retain the services of CA licensed civil engineer. The Private Engineer of record (or Engineer of record) shall design the drainage systems, and provide engineering calculations, in accordance with these directives to

retain, and infiltrate the 85th percentile of rainfall for Sierra Madre, which varies between 1.05 and 1.12 inches. Engineer of record shall design the drainage configuration of the development to account for this directive.

2. Private Engineer to prepare a grading drainage, LID plan to a scale not less than 1"=10'.
3. Engineer of record to prepare a hydrology/LID report to address compliance with the MS4 /NPDES requirements.
4. The engineer of record shall also in addition to the LID design provide a design of the drainage system for a 50 year storm.
5. This project is subject to LID requirements, since it is proposing to add more than 500 square feet of impervious surfaces. Private engineer or architect to design a runoff infiltration system, to retain onsite and infiltrate onsite a volume of runoff equal to the total area of new impervious areas proposed multiplied by 85th percentile rainfall. The retention and infiltration volume shall be calculated in cubic feet.
6. Private engineer to design an infiltration system which conforms with LA County LID Manual, and all permit requirements
7. **SOILS/GEOTECHNICAL REPORT REQUIRED** Applicant/owner to retain the services of a geotechnical engineer to obtain an adequate numbers of soil samples from the site , analyze the samples and prepare a soils/geotechnical report and make recommendations on the condition of the soil at the project site. At least one of the sample to be located in the area where the proposed infiltration units will be located. The analysis and report shall conform to CBC requirements, latest edition, and SMMC.
8. **PERCOLATION RATE STUDY**
 - a. Soils engineer for the project to submit a soil percolation rate value based on a study from soil sample taken at the site at the depth of where the infiltration units will percolate the runoff to the soil strata. A soil percolation test for storm water infiltration may not be required, if engineer can determine the type of soil in the area, based on official maps and records, or an existing or new soils report of the property and establish a range of values for the percolation rate of the soil, at the project address, based on soils engineering reference studies. If this record search cannot be established then a soils percolation test will be required.

- b. Soils/geotechnical engineer of record shall submit an analysis (in a separate report) on the extent of soil settlement beneath the infiltration units. Soils/geotechnical engineer to make recommendations on measures to be implemented by the Contractor to minimize excessive settlement of the soils strata beneath the infiltration units Report and analysis to be prepared following guidelines included in the LA County LID Manual. Report should indicate the maximum ground settlement expected with the type of soil on the lot.
9. Soils engineer of record to prepare on a separate sheet calculations for the time it will take any runoff to percolate through the soils strata. The maximum time allowed for runoff to percolate is 96 hours.

Fire Department Conditions:

The applicant and property owner shall:

1. Install fire sprinklers in all structures per NFPA 13D or CRC R313.
2. Compliant with CBC 7A Wildland.
3. Prior to issuance of building permits, submit fire sprinkler plans to the Fire Department for review and approval. (CFC Article 10, CBC Chapter 9).
4. Prior to issuance of building permits, submit plans for structural protection from vegetation fires to the Fire Department for review and approval, and provide fuel modification zones. (CFC Appendix II-A).
5. Prior to issuance of a building permit, submit to the Fire Department a simple plot plan or map in an electronic file of the .DWG format or another format acceptable to the Fire Department.

(end of conditions)

ATTACHMENT B:
PROJECT NARRATIVE

Lot 5 Revised Project Narrative

Lot 5 of tract number 054016 is an empty lot; therefore, no demolition is required on the site. There are no existing trees on the graded portion of the lot where the structure is to be located. The proposed project is a construction of a single-family residence on the property. At 4,502 square feet, this 2 story SFD is designed in the Italian Renaissance Revival Style architecture, with a maximum height of 25 feet, on a 23,540 square foot lot. On the first floor it includes a 2-car garage; living, library, dining, a family room; kitchen; a nook, powder room; laundry; a bedroom with a private bathroom. On the second floor, there are two bedrooms and a loft with a covered deck. The master suite has its own private bathroom and an open deck. The house is equipped with a private elevator serving two floors.

The required setbacks per zoning ordinance are as followed: front - 25ft, sides – cumulative 27ft (with minimum of 9ft on either side), and rear yard 15ft. The maximum height limit of 25ft measured from existing grade to top of ridge shall be maintained. The proposed project allows for the following setbacks: front – 35'-0" ft (at south corner, where building is closest to property line) sides – cumulative 30'-6" (14'-10" and 15'-8"), and rear yard of 161'- 10".

Stonegate Design Guidelines

(B-1.1) Building is sited to minimize silhouettes against the skyline.

The building lot is the third lot down from the top of this hillside community. To minimize its silhouette against the skyline, the building is located farther back than the required front setback. Required front setback is 25 ft. With a curved front property line, proposed setbacks are: 35'-0" ft (at south corner, where building is closest to property line). The building is set back 14'-10" from the south property line.

(B-1.2) Doors and windows are visible from the street, a sense of privacy is provided at the front entry door by a loggia and covered second floor deck (for loft).

(B-1.4) The building siting minimizes impacts to significant views from neighboring properties by providing more than the required front and side setbacks and further setting back the second floor massing of the house.

(B-2.1) Driveway follows existing grading.

(B-2.3 B-2.4) The two-car garage is pushed way back into the lot preceded by a motor court behind a large arched opening which avoids establishing the garage as a prominent feature of the front elevation.

(B-2.7) As suggested, the garage door is recessed 16 inches.

(C-1.1) The design of the building is stylistically consistent with Italian Renaissance Revival Style architecture:

- Symmetrical regarding massing and window/door placement
- Low-pitched barrel shaped clay tile roof
- Balanced, rectangular shape, simple massing
- Wide overhanging eaves with brackets and cornices
- Balustraded front entry terrace
- Vertically proportioned windows

(C-1.2) Per design guideline “Diversity of design and individual expression are encouraged, provided that new buildings relate to existing buildings in the community in a way that creates a harmonious collective neighborhood.”

Lot 5 is designed in Italian Renaissance Revival style architecture, depicting the formal but simplistic form of houses in Northern Italy. This style is characterized by rectangular simple massing, symmetrically placed vertically proportioned windows, low-pitched barrel shaped clay tile roof, overhanging eaves and minimal but elegant ornamentation. This style of architecture relates harmoniously with the traditional architectural styles in the City of Sierra Madre, like Mission Revival, Formal Spanish & Victorian.

The proposed architectural designs of Lot 5 and its neighbor Lot 7 are unique and customized to the individual lot and architectural style. Lot 5 is designed in the Italian Renaissance Revival which is a traditional style inspired by regional architecture. Lot 7 is designed in Contemporary style architecture. The two proposed designs are different in their individual style of architecture, but they do complement each other in some common design principles through use of simple massing and thoughtful articulation.

(D-1.1) The massing is appropriate for Italian Renaissance Revival Style architecture with simple two-story volume at the front center section of the house transitioning down to one-story volume at the sides and at the rear.

(D-1.2) The proposed structure will be placed on a flat pad (there is no slope). The structure is placed on the lot with increased front setbacks and side setbacks to limit impact to the natural terrain. Landscaping will be provided to minimize the visible impact of the building.

(D-1.3, D-1.4, D-1.5) The building does not call undue attention with its massing or entry. The two-story mass is broken by a horizontal precast concrete trim band. The front wall/massing of the house is concentrated more at the center of

the lot towards the north, away from the southwest corner where there is an existing tall mound.

The precast concrete entry vestibule surround is in harmonious proportion with the rest of the front façade. Deep recessed front windows and doors, covered loggia and covered second floor deck also help reduce mass and bulk by providing a greater sense of depth to the front plane.

(D-1.6, D-1.7) The front center section of the house transitions down to one-story volume at the sides and at the rear to avoid the appearance of large two-story boxes and provide privacy for and from the neighboring properties.

(D-1.8, D-1.9) The details of the elevation have been carried out throughout all four sides of the building to accomplish the continuity. Architectural details are in harmonious proportion to the overall building massing.

(D-2.1, D-2.2, D-2.4, D-2.6, D-2.7) The same care has been given to the design of the roof and the eave details as they are consistent throughout the building. Roof material colors are to compliment the colors of the surrounding landscape.

(D-4.1, D-4.2, D-4.3, D-4.4, D-4.5, D-4.6, D-4.7) – Durable, low maintenance materials have been selected to compliment the Italian Renaissance Revival style proposed (exterior plaster, pre-cast columns and trims). There are limited materials used consistently applied to all the sides. Changes of materials occur where it is recommended and none of the materials deemed inappropriate by the design guidelines have been used.

(D-5.1, D-5.2, D-5.3, D-5.4, D-5.5, D-5.6) The colors and materials selected are durable, non-reflective, complementary to one another, appropriate for the architectural style. The design guideline recommendations have been followed regarding the number and selection of colors / finishes for both the main house as well as the trims.

(D-6.1, D-6.2, D-6.3, D-6.4) Windows are designed to match the Italian Renaissance Revival style of the architecture. Vertically proportioned casement windows with clear glass are proposed for all elevations. The placement of windows is balanced and consistent. Window shutters are provided at most window locations.

(D-6.7) Per design guidelines, highly reflective glass will not be used.

(D-6.9) Large windows and use of glass will maximize natural daylight and reduce reliance on electrical lighting.

(D-6.10) Wood entry door and metal-clad French doors are proposed to compliment the architectural style.

(D-6.11, D-6.14) Window and door sizes and locations are related to the overall scale and proportion of the building elevation. The proportion of solid to open elements is balanced on all sides.

(D-7.1) All mechanical equipment will be screened off from off-site views using architectural features such walls or landscaping.

(D-7.2) The trash area will be completely enclosed and designed to match the overall architectural style. All exposed metals will be painted to match adjacent building material.

(D-7.3) Gutters and downspouts will be integrated into the exterior design and finished to blend in with the background material.

(D-8.1, D-8.4) Front porches are encouraged. The front loggia/porch at the first floor and the covered deck above it are at minimum 6 ft. deep.

(D-8.2) The front loggia/porch utilizes Roman arched openings with columns, complementing the arched windows on the opposite side of the façade.

(D-8.3) Porch/loggia and deck elements such as the columns are sized and placed appropriately in relation to the opening and the overall façade.

(D-8.6) Wrought iron railings proposed at the deck to match the overall architecture.

(E-9.1) Landscape has been designed to be an integral component of overall design (please see landscape narrative for more detailed information).

(E-9.2) Water efficient landscaping is proposed.

(E-9.3) Plantings have been designed to reduce the visual impact of the residence while providing a vegetated screen from the neighbors.

(E-9.4) Plants have been selected to compliment the community landscape pallet.

(F-1.1, F-1.2, F-1.3) Paving materials and patterns have been selected to compliment the Italianate architectural style. The design follows the natural topography and encourages gradual transition from man-made to natural elements.

(F-1.4, F-1.6) Concrete and pavers are selected to have muted tones to blend with the landscape. Permeable pavers are integrated into the hardscape design.

(G-1.1) Wall and fence heights low per design guidelines.

(G-1.2, G-1.3, G-1.4) Finishes, colors and materials for the site walls and fencing are consistent and complimentary to the house. Durable materials, (exterior plaster, precast columns and trims, clay roof tile & metal clad wood windows and French doors), that are appropriate for exterior use have been selected.

(G-2.1) Retaining walls have been designed to blend into the natural contours and are designed to reflect the Italian Renaissance Revival style of the architecture.

(G-3.1) Plant materials have been selected to screen and transition the walls into the natural landscape.

(H-1.1) Exterior lights are placed, shielded and / or directed away from neighboring properties.

(H-1.2) The lighting fixtures selected match the architectural style of the house.

(H-1.4) Exterior night lighting is kept to a minimum and all light are activated for short term use only.

(J-1.1, J-1.2) The building is sited to take advantage of solar orientation and natural daylighting.

(J-1.3, J-1.4) Water conservation features that are incorporated into the landscape include a state of the art irrigation system that complies with the State Model Water Efficient Ordinance, drought-tolerant plant species, and minimal use of cultured lawn and grouping of plantings into irrigation zones.

(J-1.5) Energy efficient features such as energy-efficient appliance, dual paned windows, etc. will be incorporated into the design.

ATTACHMENT C:
REVISED PLANS, ELEVATIONS, SECTIONS &
ILLUSTRATIONS



9 NATHANIEL TERRACE (Stonegate Lot 5)

ROBERT HO

PROJECT DIRECTORY

Owner/Developer	Robert Ho
2633 S. Baldwin Ave.	
Arcadia, CA 91007	
Architect:	Adele Chang
Lim Chang Rohling & Associates	
35 Hugus Alley, Suite 220	
Pasadena, CA 91103	
Landscape Architect:	Gary Fishbeck
Gary Fishbeck Landscape Architecture	
35 Hugus Alley, Suite 220	
Pasadena, CA 91103	
Civil Engineer:	Hank Jong
EGL Associates, Inc.	
11819 Goldring Road, Unit A	
Arcadia, CA 91006	

PROJECT DATA

Project Address	9 Nathaniel Terrace
Tract No.	54016
Lot No.	5
Project Description	Single Family Residence
APN	5762-030-006
Building Height Limit	25' Max Measured from Datum
Building Height Proposed	23'-11" Measured from Datum
Covered Parking	2
Gross Lot Area	23,540 sf

PROJECT SUMMARY

First Floor Area	2,288 sf
Second Floor Area	1,762 sf
Total	4,050 sf
Garage	452 sf
Total Floor Area	4,502 sf
Max Allowable Floor Area	4,554 sf
Maximum Lot Coverage:	110% of Maximum Lot FAR
(Structure and impervious ground coverage)	
4,554 sf Lot FAR X 1.10 = 5,009 sf (max. lot coverage)	
(17.52.120 sec. A-6.)	
Total Structure Footprint	3,081 sf
Pervious Paving	1,791 sf
Impervious Paving	1,077 sf
Site Walls	307 sf
Total Hardscape & Structure	6,256 sf

Lot Coverage
(Structure+Site Walls+ Impervious paving): 3,081+307+1,077= 4,465 sf
4,465 sf<5,009 sf

Impervious coverage:
Maximum coverage to be no more than 60% of graded pad area.
Impervious surfaces include building footprints, concrete driveways,
walkways, patios, swimming pools, spas and other features that do not
allow percolation of water into the ground.
8,128 sf pad area X 0.60 = 4,877 sf (max. impervious coverage)
(C.O.A. 40b)
Impervious Coverage 4,465 sf < 4,877 sf - OK

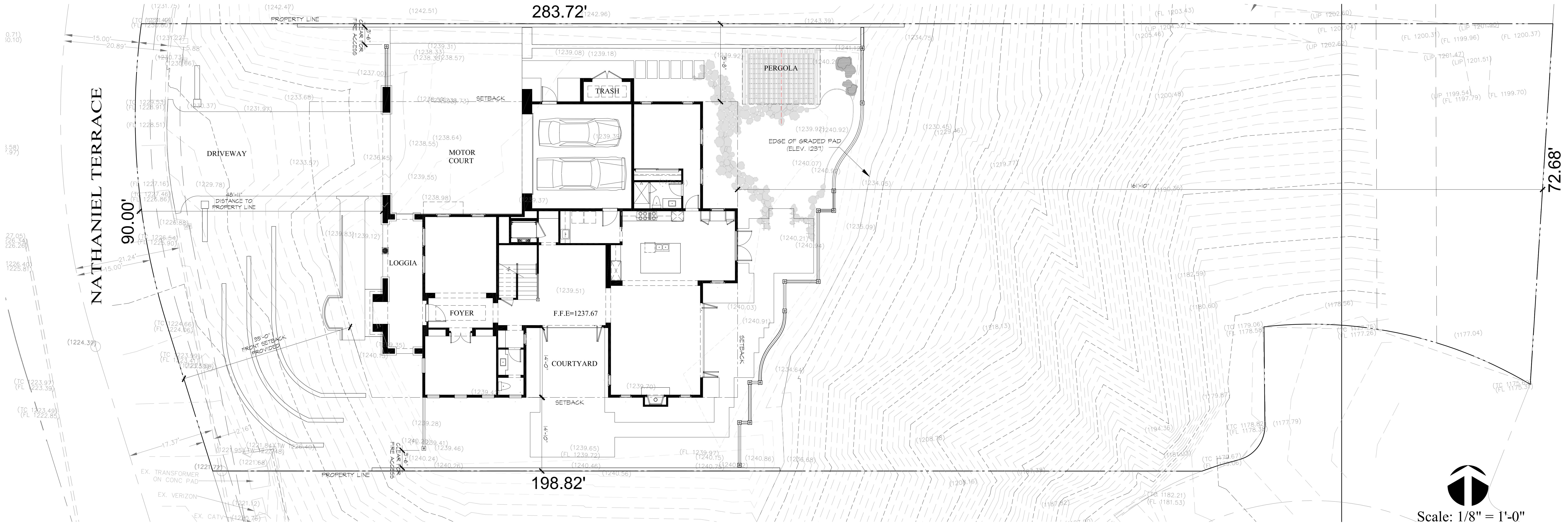
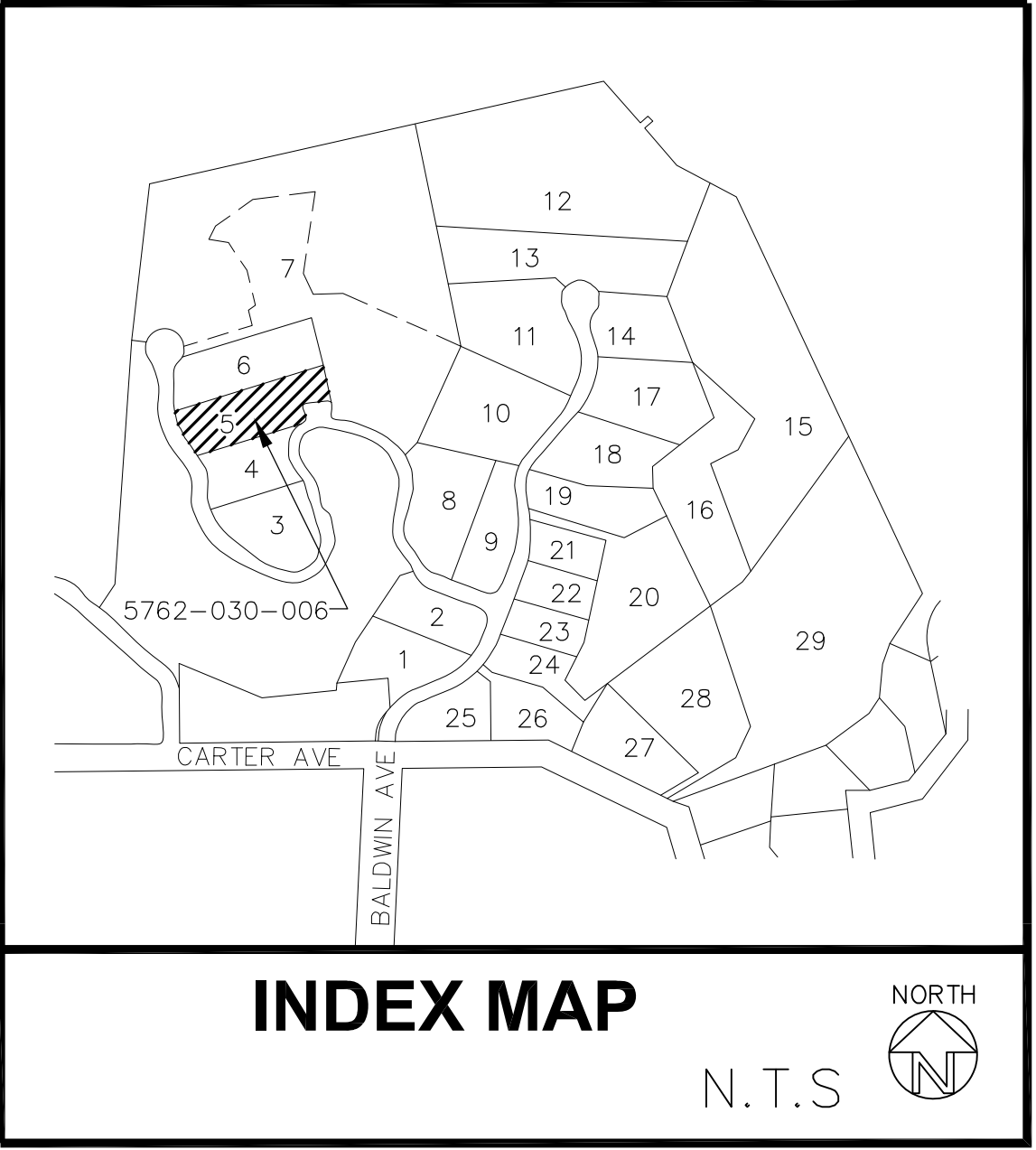
BUILDING SETBACKS:

Front Setback Required	25'-0"
Front Setback Provided	35'-0"
Rear Setback Required	15'-0"
Rear Setback Provided	161'-10"

Side Yard Setback Required: 30% cumulative ((of Lot width),with a minimum 10% lot width on either side)

Lot width at Front= 90.00'
Based on width of 90.00', 0.3X90.00' =
27.0' cumulative side setback required, with a
minimum 9'-0" on either side

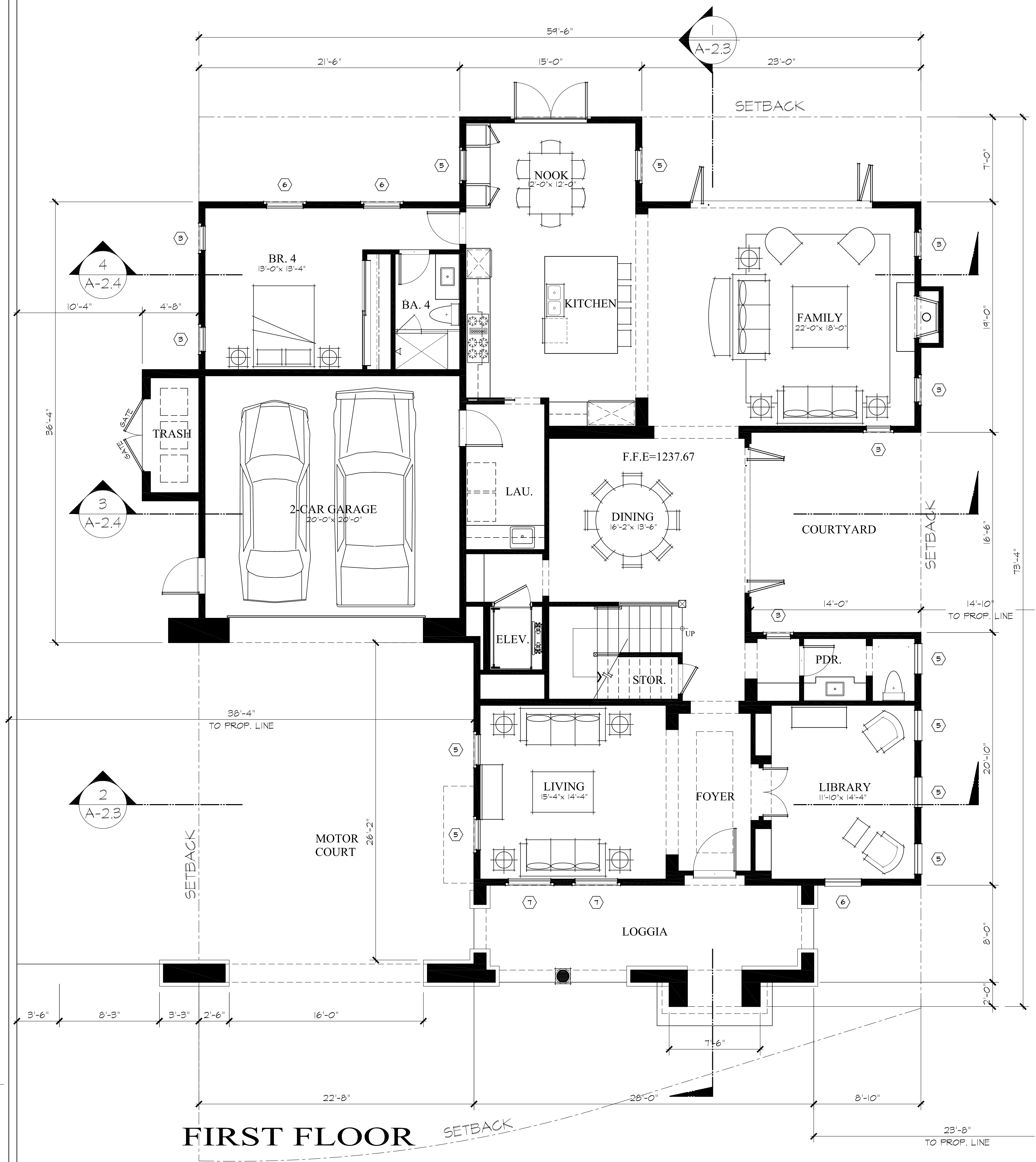
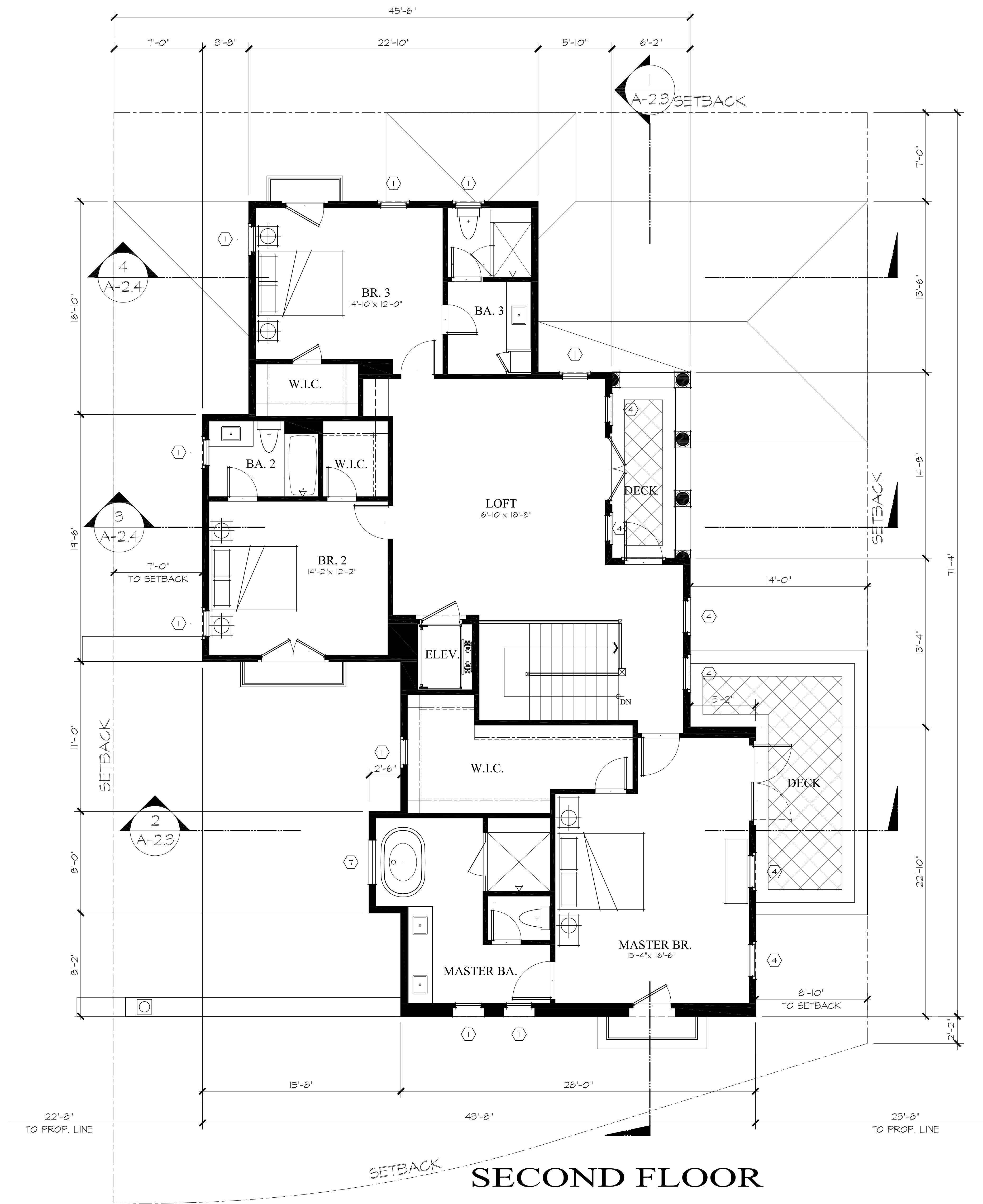
Side Yard Setback Provided 14'-10" South, 15'-8" North = 30'-6"



SITE PLAN

9 NATHANIEL TERRACE (Stonegate Lot 5)

CONCEPTUAL SITE PLAN A-1.0



WINDOW SCHEDULE (SIERRA PACIFIC ALUMINUM-CLAD WOOD WINDOWS, OR EQUAL)

① (2'-0" X 4'-6") CASEMENT WINDOW	⑤ (2'-6" X 6'-0") CASEMENT WINDOW
② (2'-0" X 5'-0") CASEMENT WINDOW	⑥ (3'-0" X 6'-0") CASEMENT WINDOW
③ (2'-0" X 6'-0") CASEMENT WINDOW	⑦ (3'-6" X 6'-0") FRENCH CASEMENT WINDOW
④ (2'-6" X 4'-6") CASEMENT WINDOW	

* WINDOWS REQUIRE TEMPERED GLASS AT ONE SIDE PER CBC 7A



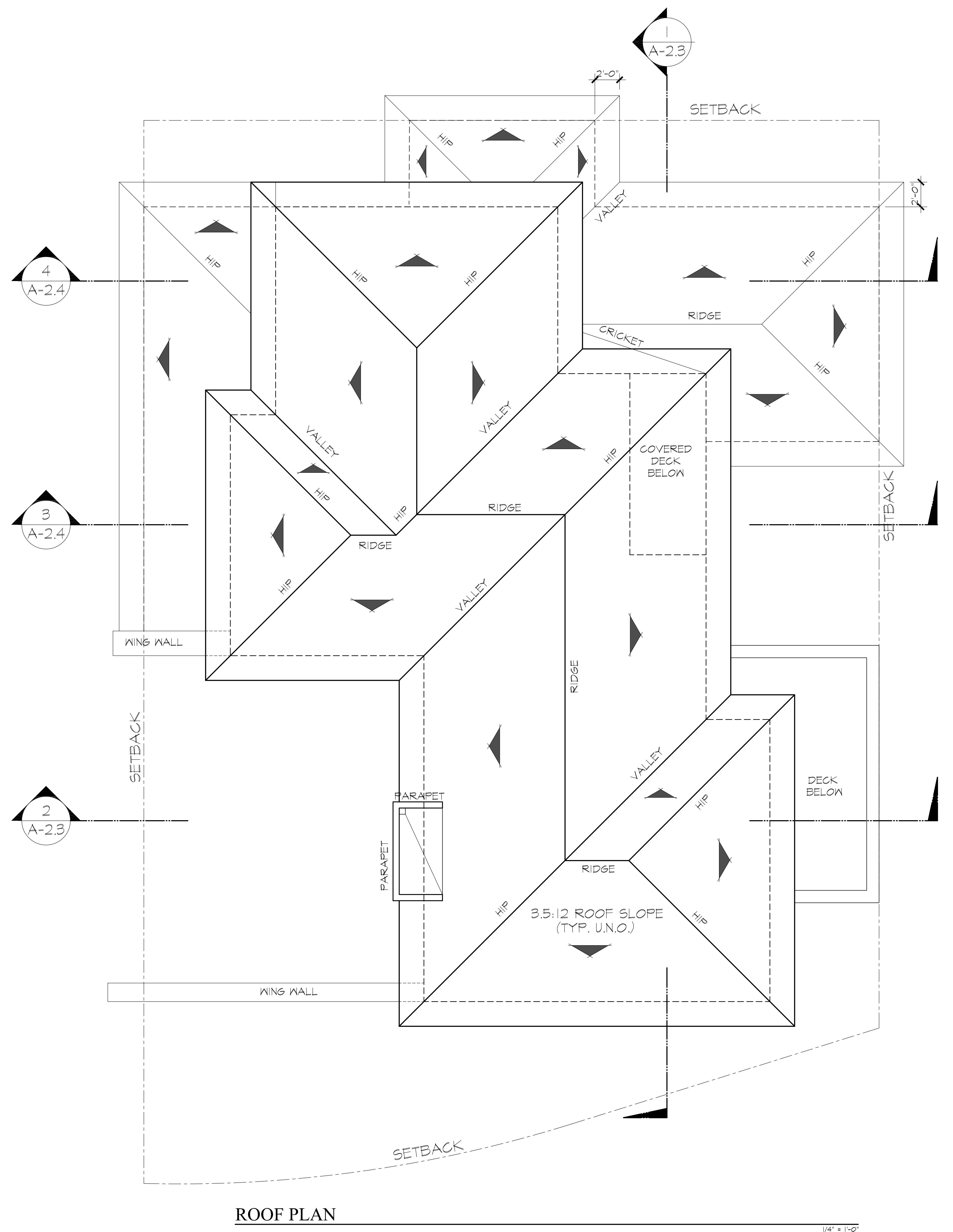
9 NATHANIEL TERRACE (Stonegate Lot 5)

ROBERT HO
April 24, 2020

CONCEPTUAL FLOOR PLANS A-1.1

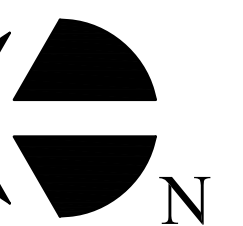
SCALE: 1/4" = 1'-0"

LCRA



ROOF PLAN

1/4" = 1'-0"



9 NATHANIEL TERRACE (Stonegate Lot 5)

CONCEPTUAL FLOOR PLANS A-1.2

SCALE: 1/4" = 1'-0"

ROBERT HO
April 24, 2020





WEST ELEVATION



SOUTH ELEVATION

9 NATHANIEL TERRACE (Stonegate Lot 5)

CONCEPTUAL ELEVATIONS A-2.1



NORTH ELEVATION



EAST ELEVATION

9 NATHANIEL TERRACE (Stonegate Lot 5)

CONCEPTUAL ELEVATIONS A-2.2

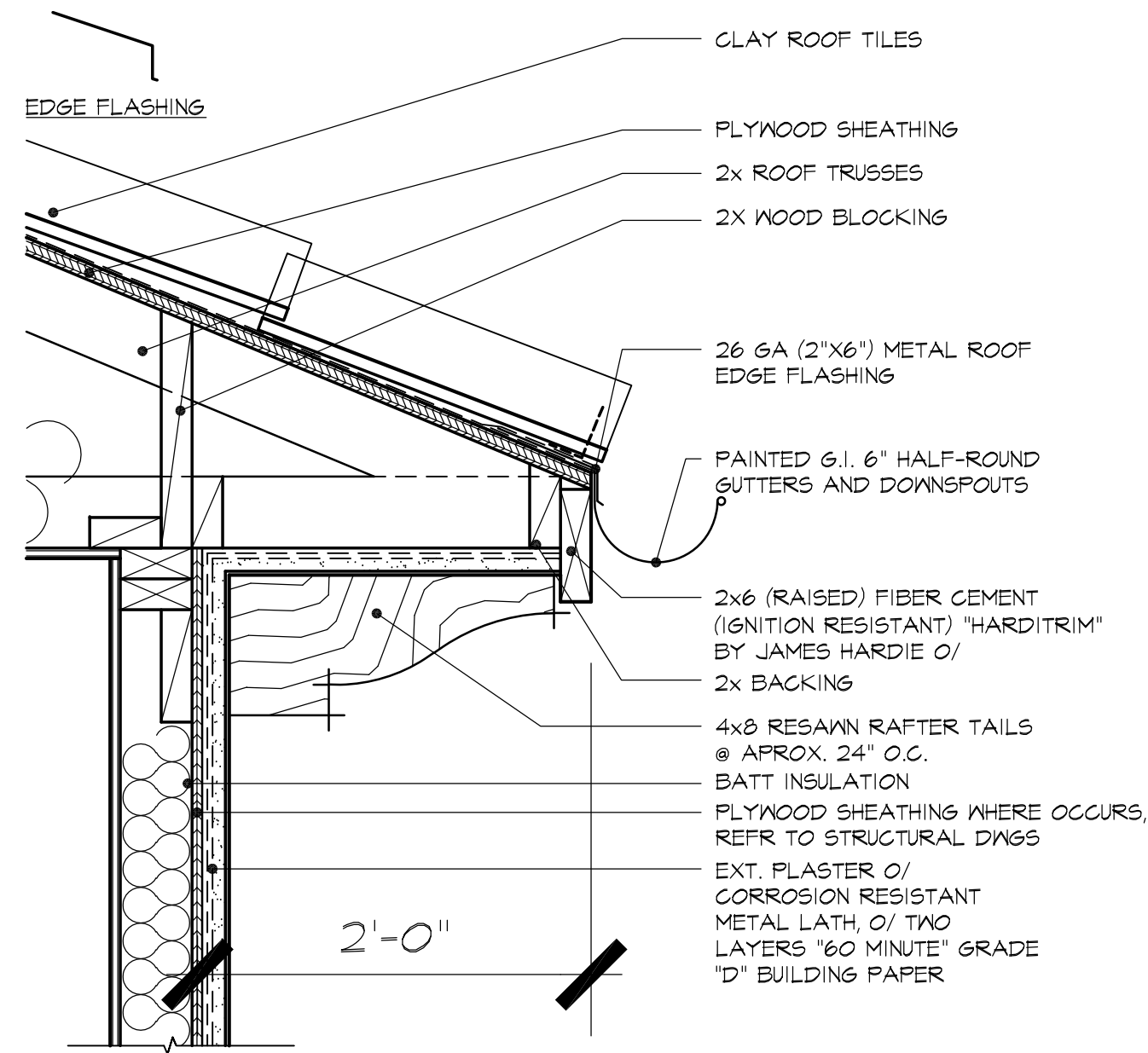
ROBERT HO
April 24, 2020

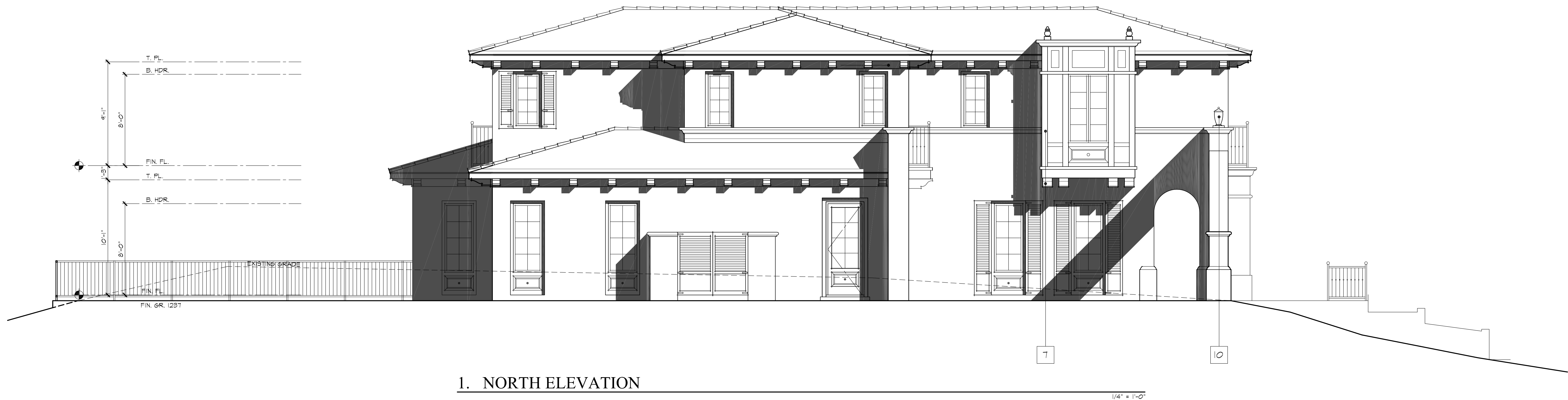
SCALE: 1/4" = 1'-0"

LCRA

ELEVATION NOTES

- 1 EXTERIOR PLASTER W/ SMOOTH FINISH
- 2 2-PIECE CLAY ROOF TILES
- 3 METAL CLAD WOOD WINDOWS & FRENCH DOORS
- 4 METAL CLAD WOOD FOLDING DOORS
- 5 WOOD ENTRY DOOR
- 6 8X WOOD CORBELS
- 7 WOOD TRIM/PANEL (FIRE RETARDANT-TREATED)
- 8 H.D. FOAM TRIM/CORBEL W/ SMOOTH PLASTER FINISH
- 9 H.D. FOAM SCROLL W/ SMOOTH PLASTER FINISH
- 10 PRE-CAST CONCRETE COLUMN/MEDALLION/FINIAL/BASE
- 11 PRE-CAST CONCRETE SURROUND/LINTEL/SILL/CORBEL/CORNICE/TRIM
- 12 WROUGHT IRON GUARD RAIL
- 13 PAINTED SECTIONAL GARAGE DOOR
- 14 PAINTED WOOD WINDOW SHUTTERS





ELEVATION NOTES

- 1 EXTERIOR PLASTER W/ SMOOTH FINISH
- 2 2-PIECE CLAY ROOF TILES
- 3 METAL CLAD WOOD WINDOWS & FRENCH DOORS
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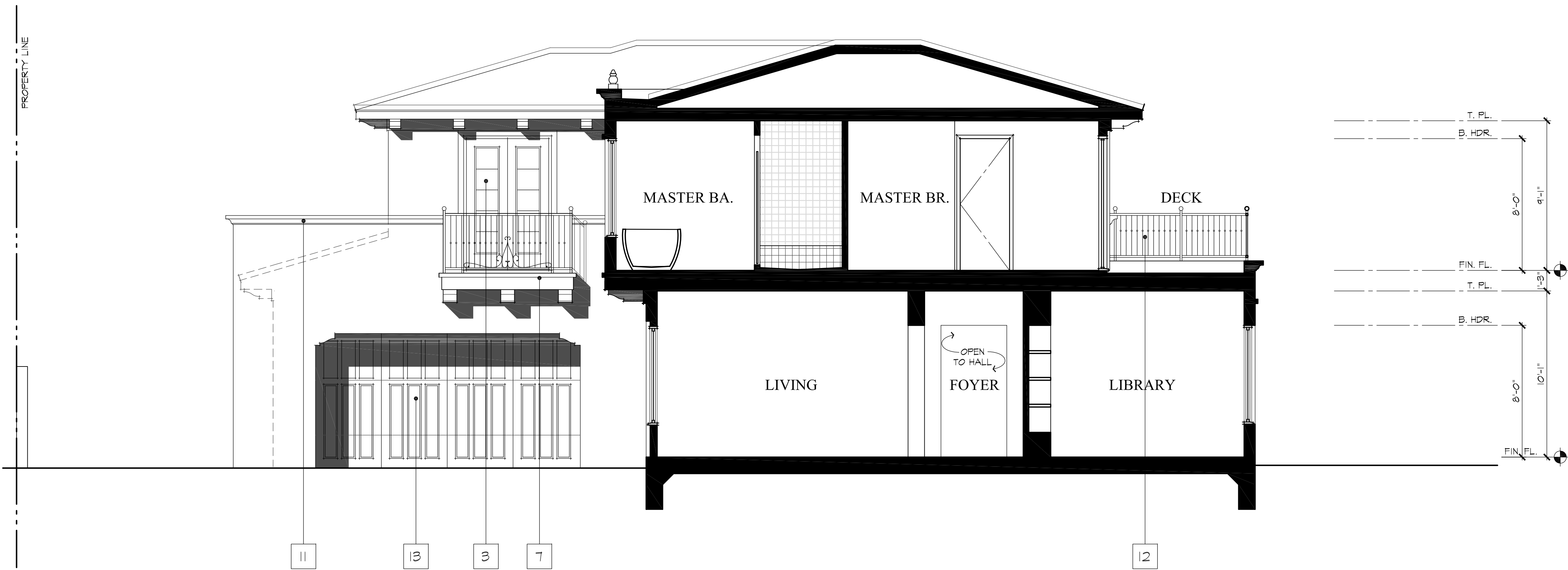
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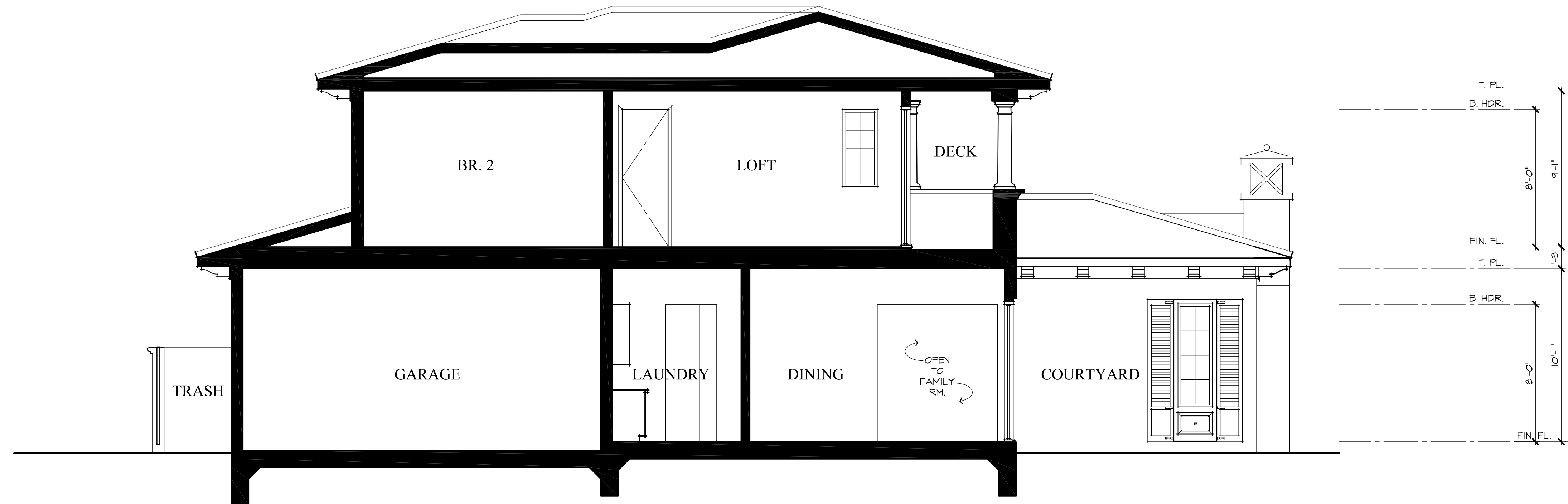
1. LONGITUDINAL SECTION

1/4" = 1'-0"



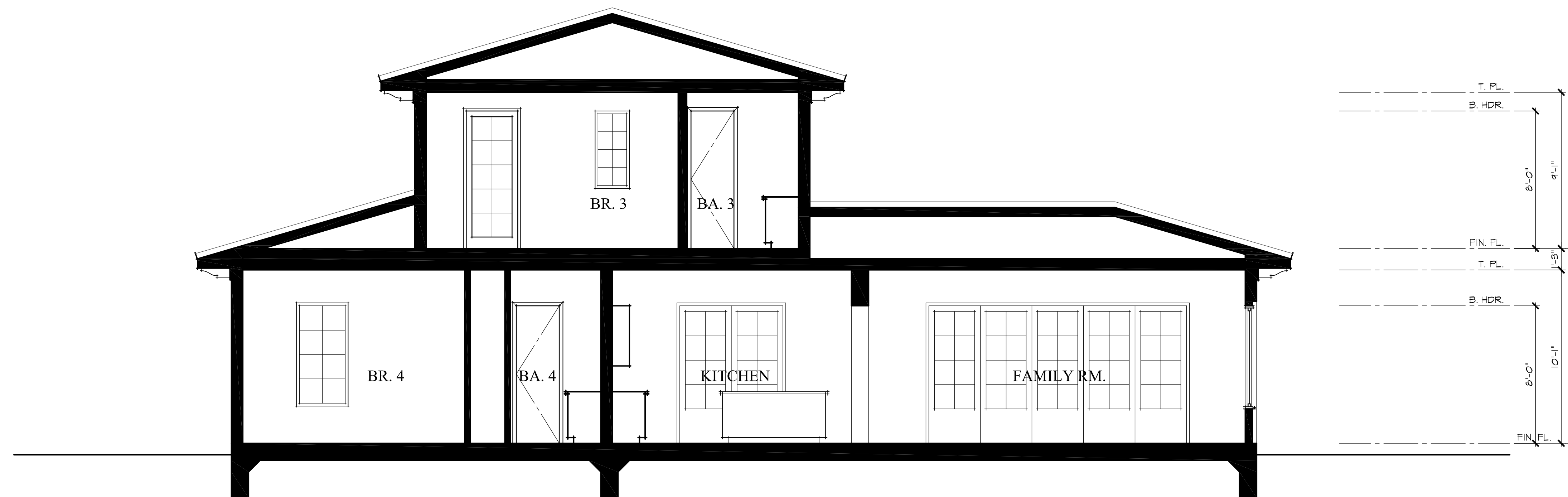
2. CROSS SECTION

1/4" = 1'-0"



3. CROSS SECTION

1/4" = 1'-0"

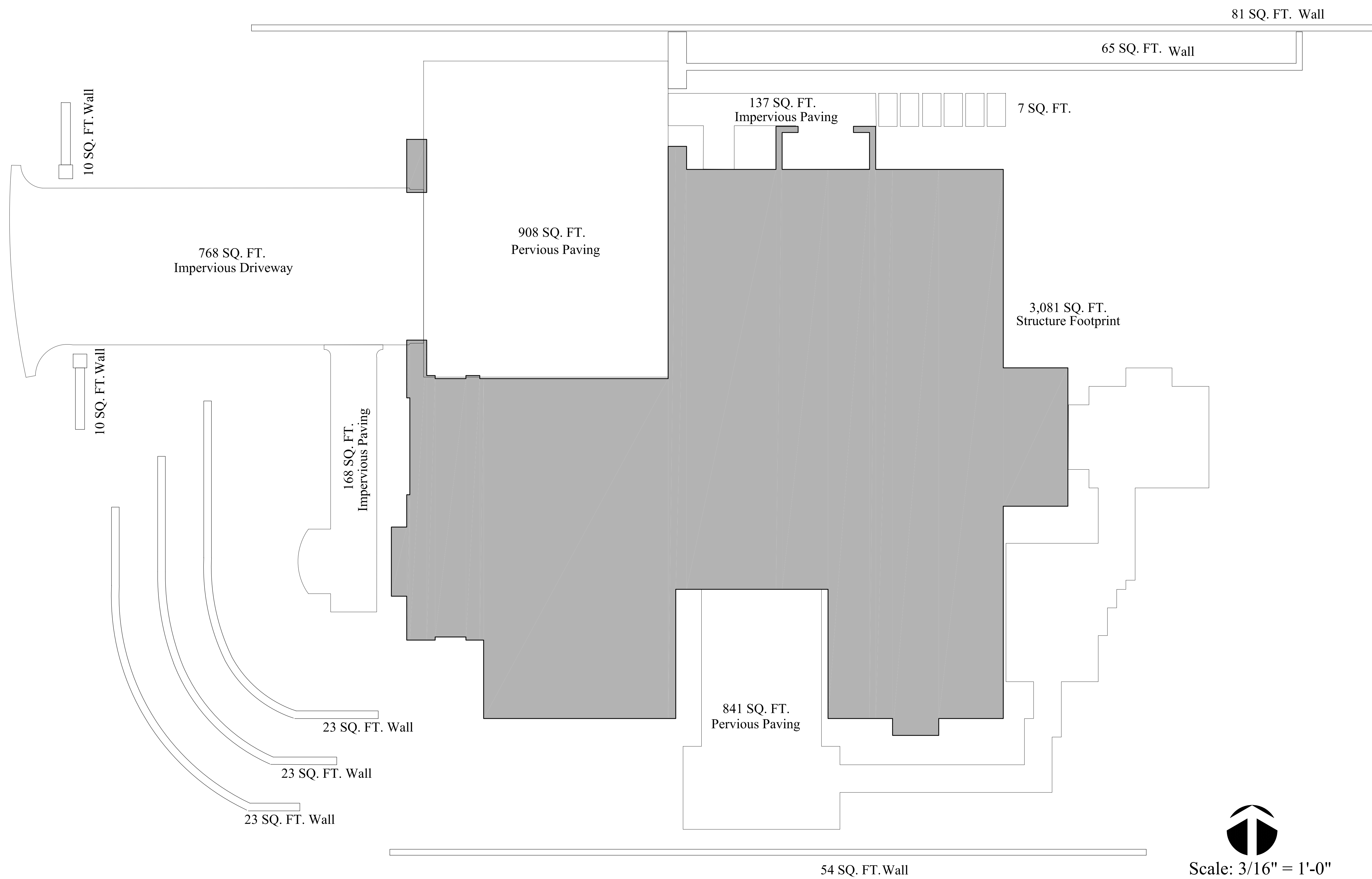


4. CROSS SECTION

1/4" = 1'-0"



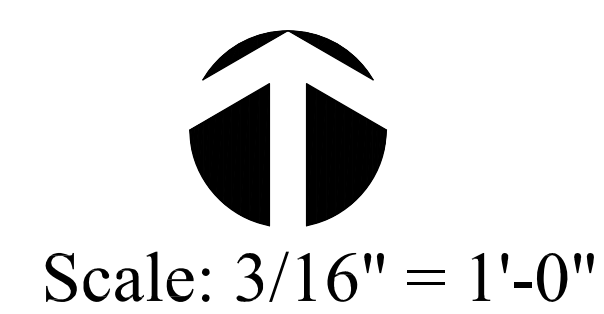
9 NATHANIEL TERRACE (Stonegate Lot 5)



Maximum Lot Coverage: 110% of Maximum Lot FAR
(Structure and impervious ground coverage)
4,554 sf Lot FAR X 1.10 = **5,009 sf (max. lot coverage)**

	(17.52.120 sec. A-6.)
Total Structure Footprint	3,081 sf
Pervious Paving	1,791 sf
Impervious Paving	1,077 sf
Site Walls	307 sf
Total Hardscape & Structure	6,256 sf

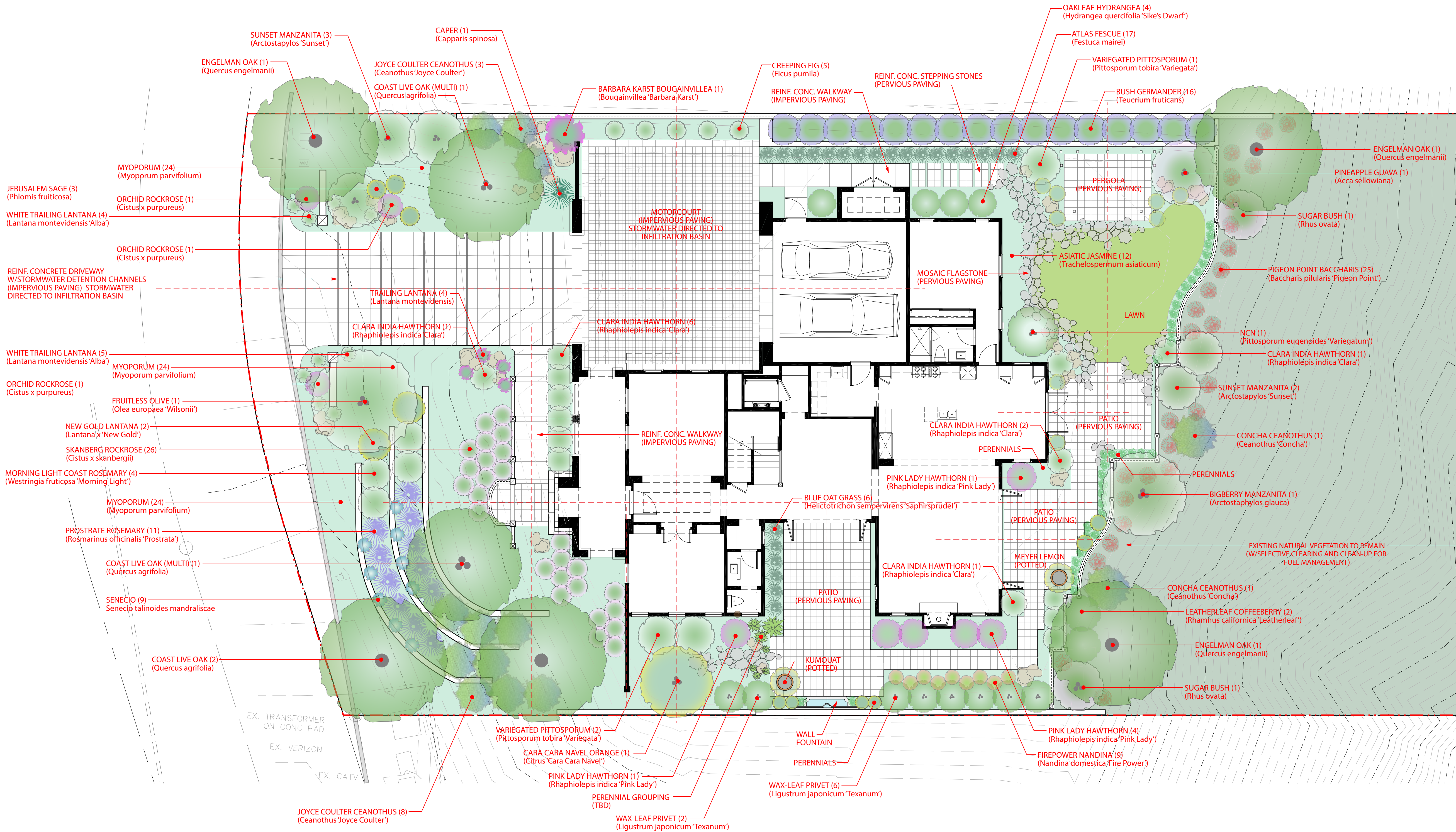
Lot Coverage
(Structure+Site Walls+ Impervious paving): 3,081+307+1,077= 4,465 sf
4,465 sf<5,009 sf



Impervious Coverage **4,465 sf < 4,877 sf - OK**

9 NATHANIEL TERRACE (Stonegate Lot 5)

LOT COVERAGE DIAGRAM A-3.1



Project Landscape Data

Proposed Landscape: 8,583 sf
Existing Natural Area to Remain: 11,771 sf
Total Landscape Area: 20,354 sf

Paving Data

Impervious Driveway Paving: 763 sf
Impervious Motorcourt Paving: 864 sf
Impervious Walkways: 265 sf
Pervious Patio and Walkways: 1,126 sf

PLANT LIST

KEY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
AG	BIGBERRY MANZANITA	ARCTOSTAPHYLOS GLAUCA	30" BOX	MULTI (3-5 STEM), SPECIMEN, TAG
AS	STRAWBERRY GUAVA	ACCA SELLOWIANA	24" BOX	SPECIMEN, TAG
ASM	SUNSET MANZANITA	ARCTOSTAPHYLOS 'SUNSET'	24" BOX	SPECIMEN, TAG
BBK	BARBARA KARST BOUGAINVILLEA	BOUGAINVILLEA 'BARBARA KARST'	15 GAL	LUSH
BPP	PIGEON POINT BACCHARIS	BACCHARIS PILULARIS 'PIGEON POINT'	5 GAL	LUSH
CC	CONCHA CALIFORNIA LILAC	CEANOTHUS 'CONCHA'	15 GAL	FULL TO GRADE
CCN	CARA CARA NAVEL ORANGE	CITRUS 'CARA CARA NAVEL'	36" BOX	SPECIMEN, TAG
CJC	JOYCE COULTER CALIF. LILAC	CEANOTHUS 'JOYCE COULTER'	15 GAL	FULL TO GRADE
CNK	NAGAMI KUMQUAT	CITRUS 'NAGAMI KUMQUAT'	24" BOX	SPECIMEN, TAG
CS	CAPER	CAPPARIS SPINOSA	15 GAL	FULL TO GRADE
CXP	ORCHID ROCK ROSE	CISTUS X PUPUREUS	5 GAL	FULL TO GRADE
CXS	SKANBERG ROCK ROSE	CISTUS X SKANBERGII	5 GAL	FULL TO GRADE
FM	ATLAS FESCUE	FESTUCA MAIREI	5 GAL	LUSH
FP	CREEPING FIG	FICUS PUMILA	5 GAL	LUSH, STAKED
HSS	BLUE OAT GRASS	Helictotrichon sempervirens 'Saphirsprudel'	5 GAL	LUSH
HQ	OAKLEAF HYDRANGEA	HYDRANGEA QUERCIFOLIA	5 GAL	LUSH, STAKED
LJT	JAPANESE PRIVET	LIGUSTRUM JAPONICUM 'TEXANUM'	24" BOX	FULL TO GRADE (HEDGE FORM)
LM	TRAILING LANTANA	LANTANA MONTEVIDENSIS	5 GAL	FULL TO GRADE

KEY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
LMA	TRAILING LANTANA	LANTANA MONTEVIDENSIS 'ALBA'	1 GAL	FULL TO GRADE
MP	NCN	MYOPORUM PARVIFOLIUM	1 GAL	LUSH
NDF	DWARF HEAVENLY BAMBOO	NANDINA DOMESTICA 'FIRE POWER'	5 GAL	FULL TO GRADE
OEW	FRUITLESS OLIVE	OLEA EUROPAEA 'WILSONII'	48" BOX	SPECIMEN, TAG
PEV	NCN	PITOSPORUM EUGENOIDES 'VARIEGATUM'	24" BOX	SPECIMEN, TAG
PF	JERUSALEM SAGE	PHLOMIS FRUTICOSA	5 GAL	FULL TO GRADE
PTV	VARIEGATED JAP. PITOSPORUM	PITOSPORUM TOBIRA 'VARIEGATA'	15 GAL	FULL TO GRADE
QA	COAST LIVE OAK	QUERCUS AGRIFOLIA	60" BOX	SPECIMEN, TAG
QE	ENGELMAN OAK	QUERCUS ENGELMANNII	60" BOX	SPECIMEN, TAG
RCL	LEATHERLEAF CALIF. COFFEEBERRY	RHAMNUS CALIFORNICA 'LEATHERLEAF'	15 GAL	FULL TO GRADE
RIC	CLARA INDIA HAWTHORN	RHAPHIOLEPIS INDICA 'CLARA'	15 GAL	FULL TO GRADE
RIP	PINK LADY INDIA HAWTHORN	RHAPHIOLEPIS INDICA 'PINK LADY'	15 GAL	FULL TO GRADE
RO	SUGAR BUSH	RHUS OVATA	24" BOX	FULL TO GRADE
ROP	PROSTRATE ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATA'	5 GAL	FULL TO GRADE
STM	BLUE CHALKSTICKS	SENECIO TALINOIDES MANDRAUSCAE	1 GAL	LUSH
TFA	AZURE BUSH GERMANDER	TEUCRIUM FRUTICANS 'AZUREUM'	5 GAL	FULL TO GRADE
WFM	MORN. LIGHT COAST ROSEMARY	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	5 GAL	SPECIMEN, TAG

LOT 5 NARRATIVE - LANDSCAPE DESIGN

THE PLANTING DESIGN FOR STONGATE LOT 5 HAS BEEN CONCEIVED IN RESPONSE TO SEVERAL IMPORTANT FACTORS, INCLUDING THE MEDITERRANEAN STYLE OF THE ARCHITECTURE, THE FUNCTIONAL AND AESTHETIC DESIRES OF THE OWNER, GEOLOGY, TOPOGRAPHY, MICROCLIMATE, SOIL TYPE, WATER CONSERVATION, ECOLOGY AND THE EXISTING NATURAL CONTEXT.

THE PREDOMINANT THEME OF THE PLANTING DESIGN IS CALIFORNIA NATIVE WITH SOME MEDITERRANEAN GARDEN PLANTS AND A FEW DRY SUBTROPICAL GARDEN PLANTS TO MINIMIZE IRRIGATION NEEDS. IN ALL CASES, THE PLANTS SELECTED ARE AESTHETICALLY COMPATIBLE WITH SOUTHWESTERN CHAPARRA, GIVEN THE CLOSE PROXIMITY TO THE ADJACENT FOOTHILLS.

THE ECOLOGY AND NATURAL CONTEXT OF THE AREA IS RESPECTED BY USING PLANTS THAT ARE WELL-SUITED TO THE LOCAL CLIMATE. AVOIDING USE OF INVASIVE SPECIES, AND USING PLANTS THAT REQUIRE LITTLE IF ANY FERTILIZER. MANY OF THE PLANTS SPECIES SELECTED ARE EITHER NATIVE TO CALIFORNIA SOUTHWEST CHAPARRAL, OR ARE NATIVE TO SIMILAR PLANT COMMUNITIES SUCH AS THE MEDITERRANEAN BASIN (MAQUIS), SOUTH AFRICA (FYNBOS) OR AUSTRALIA (KWONGAN). PLANTS SPECIFIED AT THE INTERFACE BETWEEN CULTURED PLANTINGS AND THE NATIVE VEGETATION ON THE REAR SLOPE ARE BOTH ECOLOGICALLY AND AESTHETICALLY COMPATIBLE.

GIVEN THE STEEP CATEGORY 4 SLOPES ON THE EAST SIDE OF THE PROPERTY, ALL EXCAVATION AND GRADING OPERATIONS WILL BE DONE CAREFULLY AND PROPERLY, AND PLANTS WITH STRONG SOIL-HOLDING ABILITY WILL BE SPECIFIED. SELECT CLEARING OF FUEL MATERIAL WILL BE UNDERTAKEN WITH CARE AND AS LITTLE DISTURBANCE TO THE CATEGORY 4 SLOPE TO REDUCE POTENTIAL OR EXCESSIVE EROSION.

SOIL TEXTURE HAS BEEN CONSIDERED IN TERMS OF PLANT SELECTION AND DRAINAGE. GIVEN THE RELATIVELY FINE-TEXTURED SOILS, AN ATTRACTIVE UNIFORM GROUND COVER WILL BE EMPLOYED IN LIEU OF BARE SOIL TO HELP MINIMIZE SURFACE RUN-OFF.

WATER CONSERVATION IS ACHIEVED BY PROPOSED USE OF A STATE-OF-THE-ART IRRIGATION SYSTEM, BROAD USE OF DROUGHT-TOLERANT PLANT SPECIES/CULTIVARS, AND MINIMAL USE OF CULTURED LAWN. ALL PLANTINGS ARE CAREFULLY ORGANIZED INTO IRRIGATION ZONES ACCORDING TO SEASONAL WATER NEEDS. PLANTINGS AND IRRIGATION WILL COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE PURSUANT TO CHAPTER 15.60 OF THE SIERRA MADRE MUNICIPAL CODE.

LOW IMPACT DEVELOPMENT IS ADDRESSED BY MEASURES STATED ABOVE (PLANT SELECTION, IRRIGATION, ECOLOGICAL SENSITIVITY, ETC.) AND BY BROAD USE OF PERVIOUS PAVING. IMPERVIOUS PAVING IS MINIMIZED NOT ONLY BECAUSE OF THE MAXIMUM IMPERVIOUS REQUIREMENT ON THE LOT, BUT ALSO BECAUSE OF THE OWNER'S DESIRE TO BE ENVIRONMENTALLY RESPONSIBLE IN TERMS OF STORMWATER MANAGEMENT. THE UNDERLYING OBJECTIVE OF PERVIOUS PAVEMENT, WHICH IS TO MINIMIZE RUN-OFF BEYOND PROPERTY LINES AND TO RECHARGE GROUNDWATER, IS ALSO ACHIEVED BY DIRECTING STORMWATER TO INFILTRATION AREAS ON THE PROPERTY. THE LIMITED AMOUNT OF STORMWATER THAT IS EVENTUALLY DIRECTED TO THE STREET IS FIRST TREATED VIA INFILTRATION BASINS AND/OR PLANTED AREAS.

City Submittal

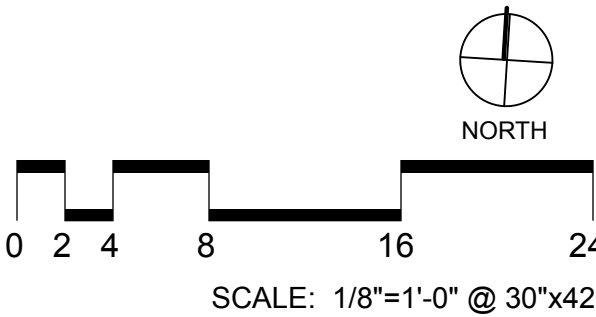
ROBERT HO
9 NATHANIEL TERRACE (LOT 5)
SIERRA MADRE, CA

HO RESIDENCE - Illustrative Site / Planting Plan

26 NOVEMBER 2014 REVISED: 11 MARCH 2015 REVISED: 18 NOVEMBER 2019 REVISED 24 APRIL 2020

SHEET

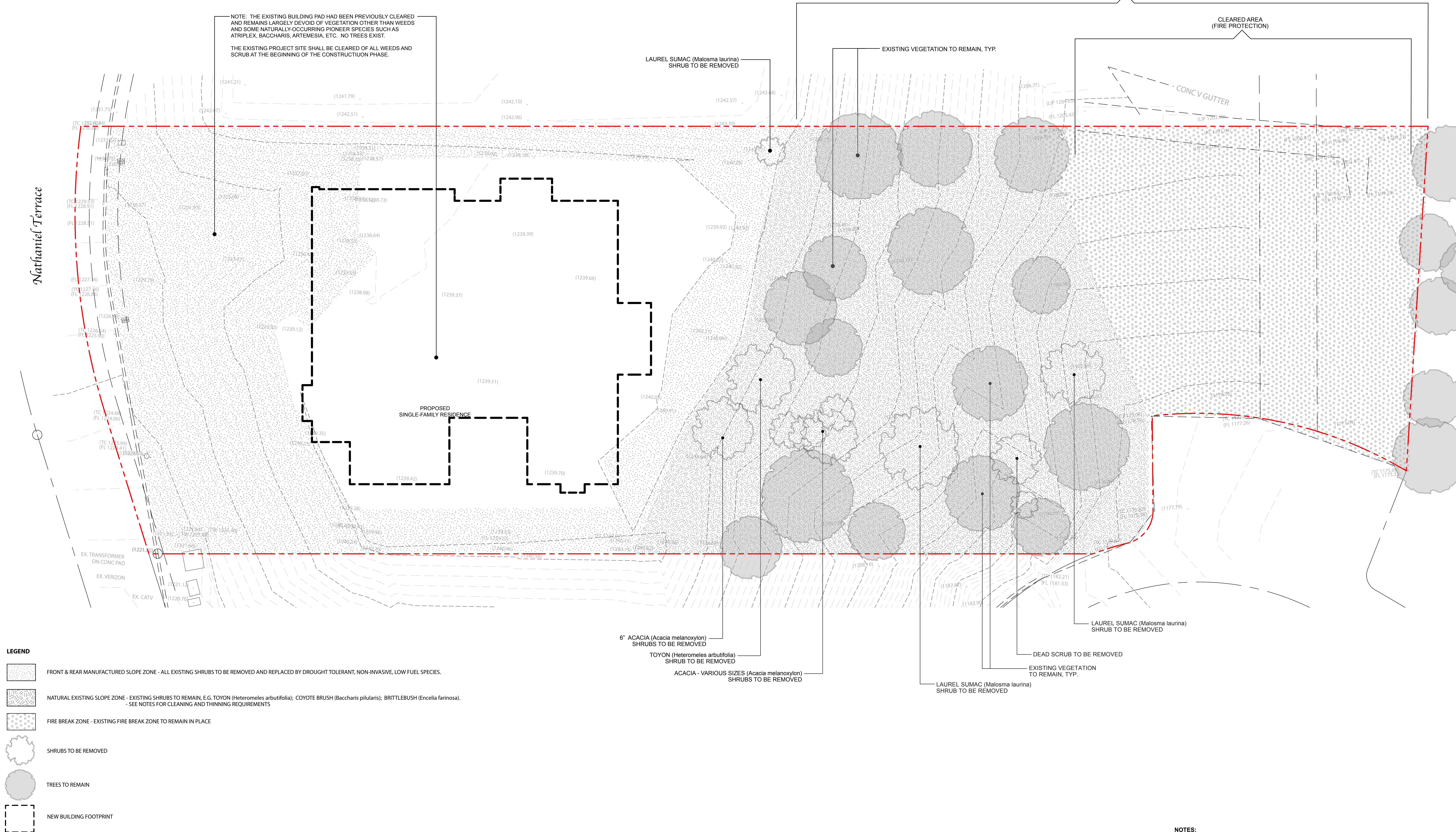
LS - 1



GARYFISHBECK
Landscape Architecture

942 Dale Street
Pasadena, CA 91106
garyfishbeck.com
626 864 0038

THIS AREA OF THE PROPERTY SHALL REMAIN PROTECTED AND UNDISTURBED EXCEPT FOR SELECTIVE MANUAL REMOVAL OF FIRE-PRONE MATERIALS PER LA COUNTY FUEL-MODIFICATION REQUIREMENTS. NO MACHINERY OR OPERATIONS THAT MAY PRECIPITATE EROSION OR EXCESSIVE GROWTH OF WEEDS SHALL BE USED IN THIS AREA.



NOTES:
REMOVALS SHALL MEET LA COUNTY FUEL MODIFICATION REQUIREMENTS.

City Submittal

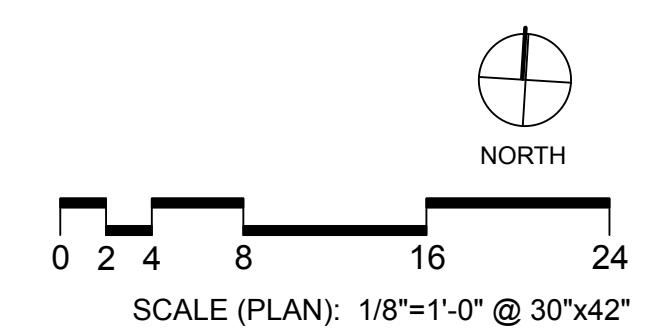
ROBERT HO
9 NATHANIEL TERRACE (LOT 5)
SIERRA MADRE, CA

HO RESIDENCE - Existing Conditions & Removals Plan

26 NOVEMBER 2014 REVISED: 11 MARCH 2015 REVISED: 18 NOVEMBER 2019 REVISED 24 APRIL 2020

SHEET

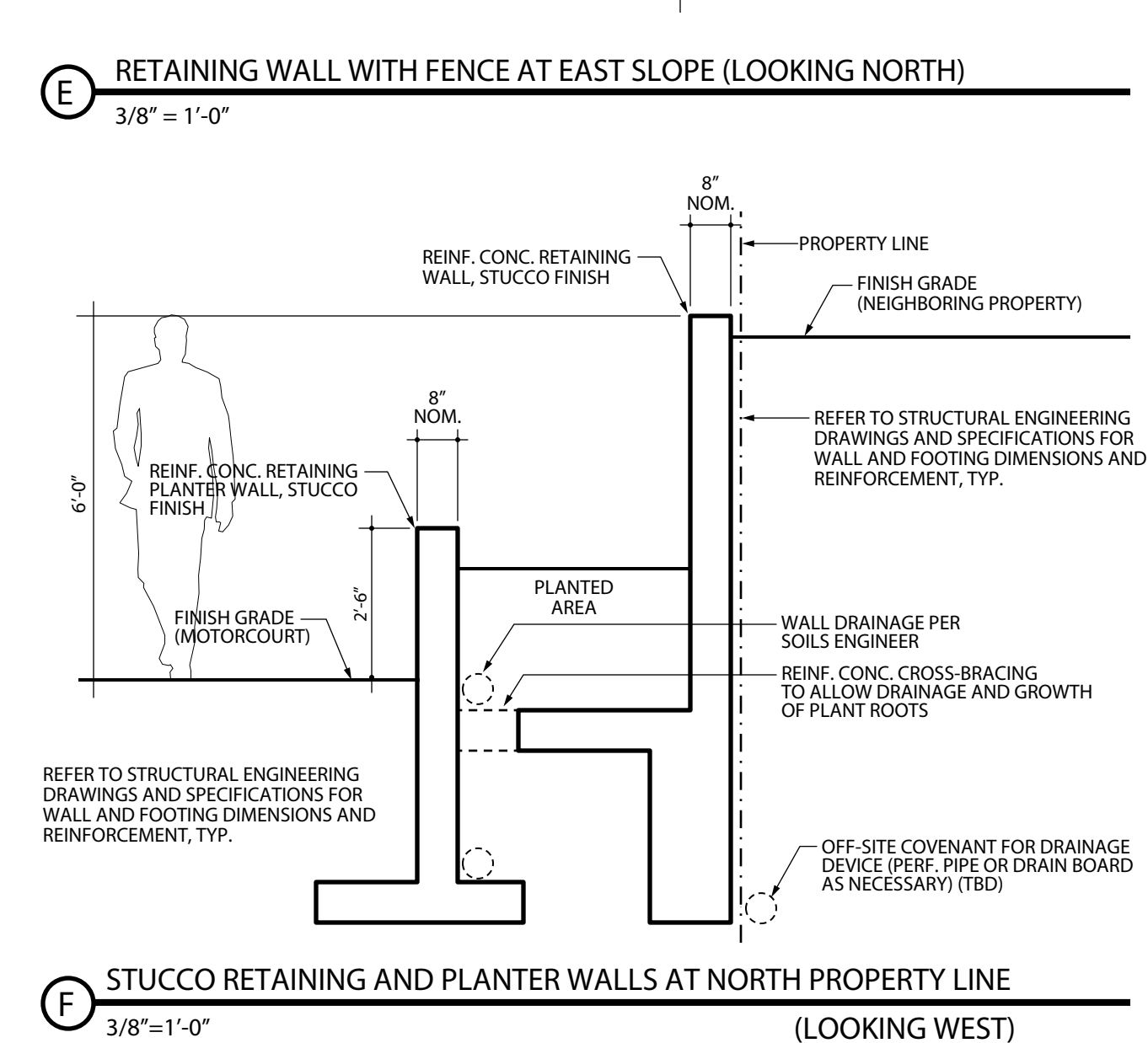
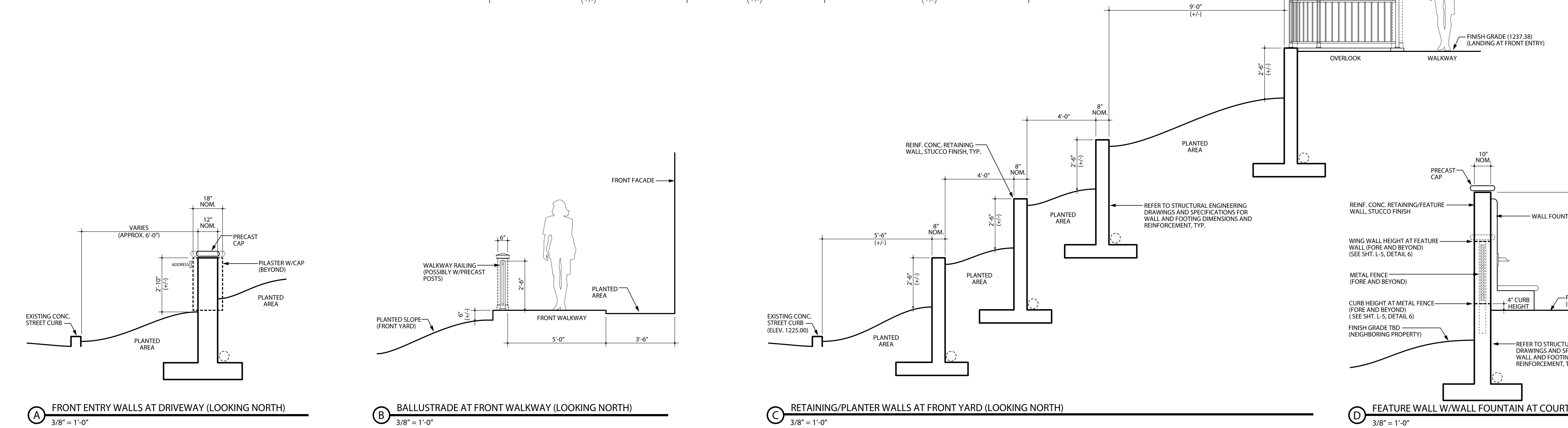
LS - 2



GARYFISHBECK
Landscape Architecture

442 Dale Street
Pasadena, CA, 91106





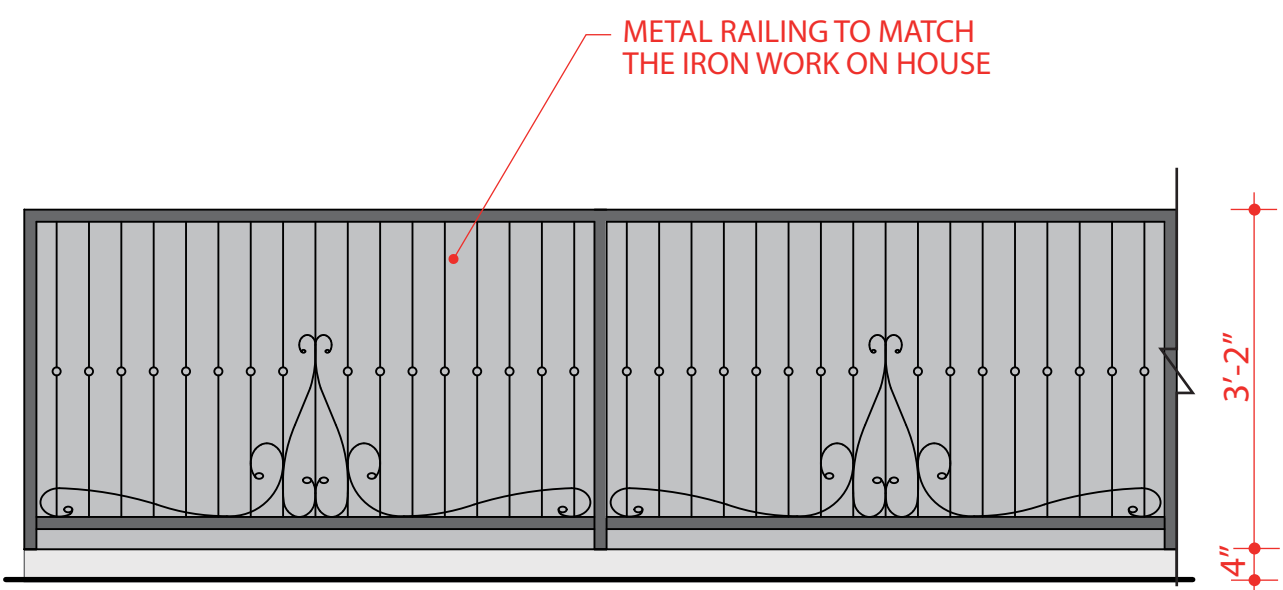
942 Dale Street
Pasadena, CA 91106

0 2 4 8 16 24

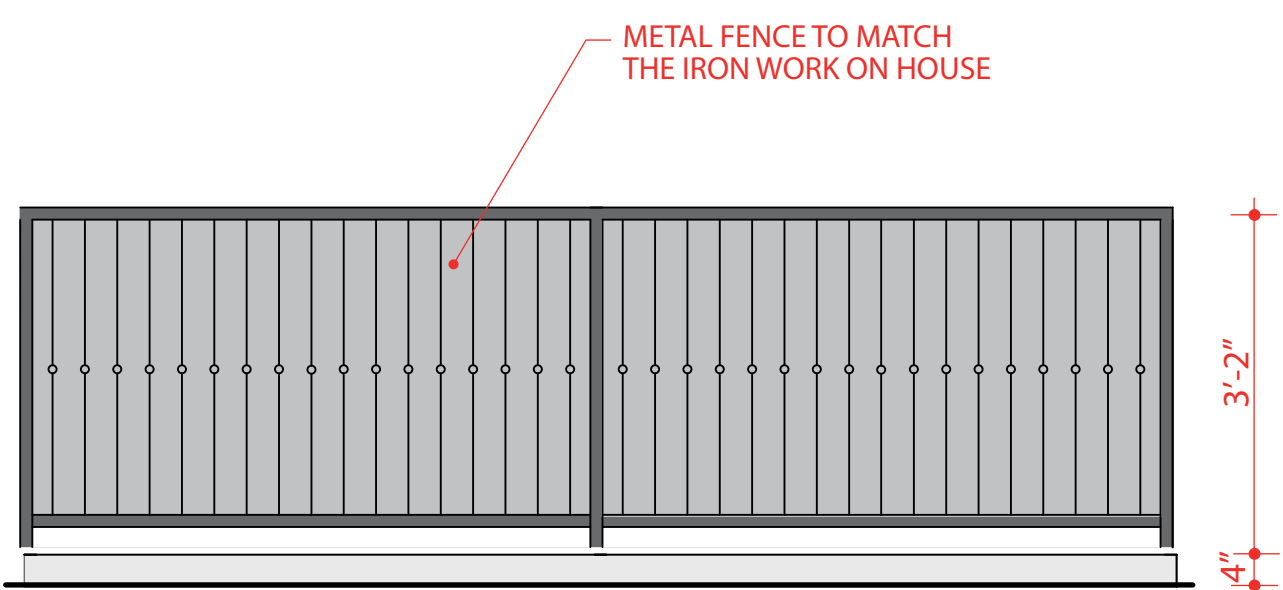
SCALE (PLAN): 1/8"=1'-0" @ 30°x42"



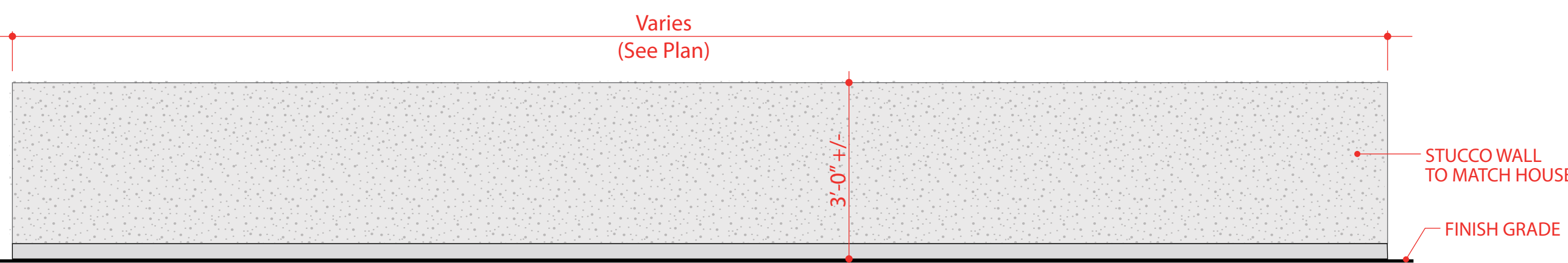
West Elevation
NTS



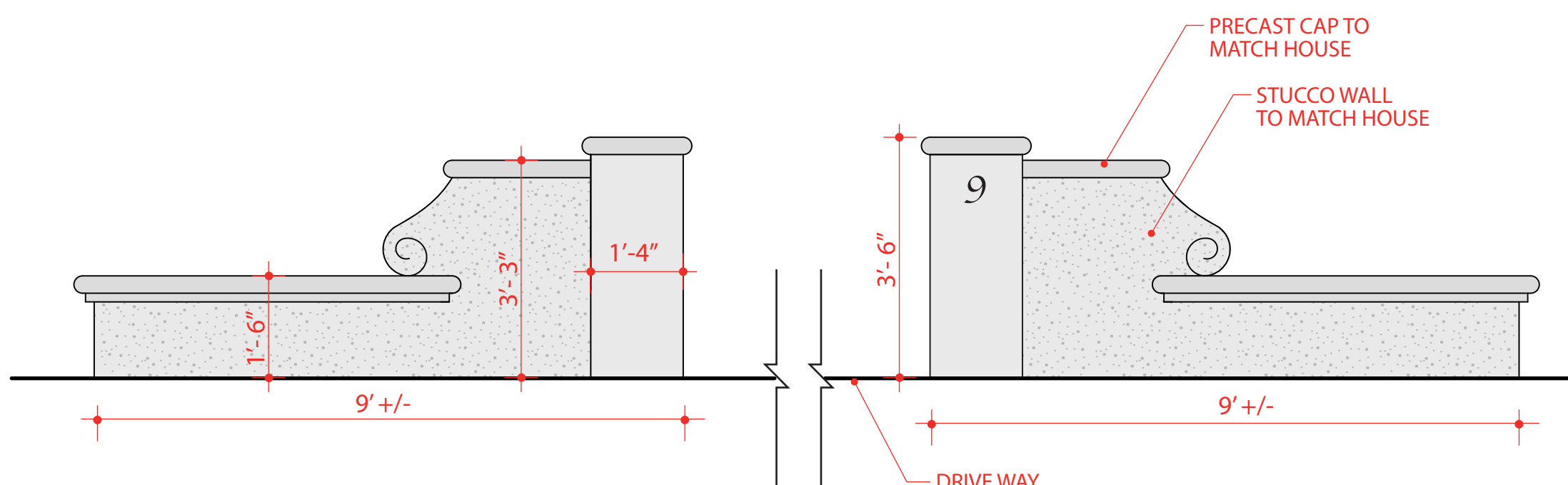
Detail 5: Metal Railing at Front Walkway (Similar)
NTS



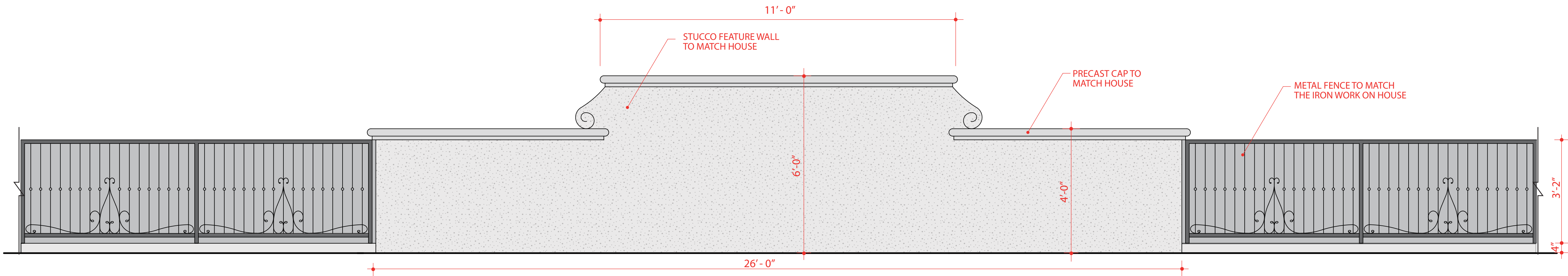
Detail 6: Metal Fence at Rear and Side Yards
NTS



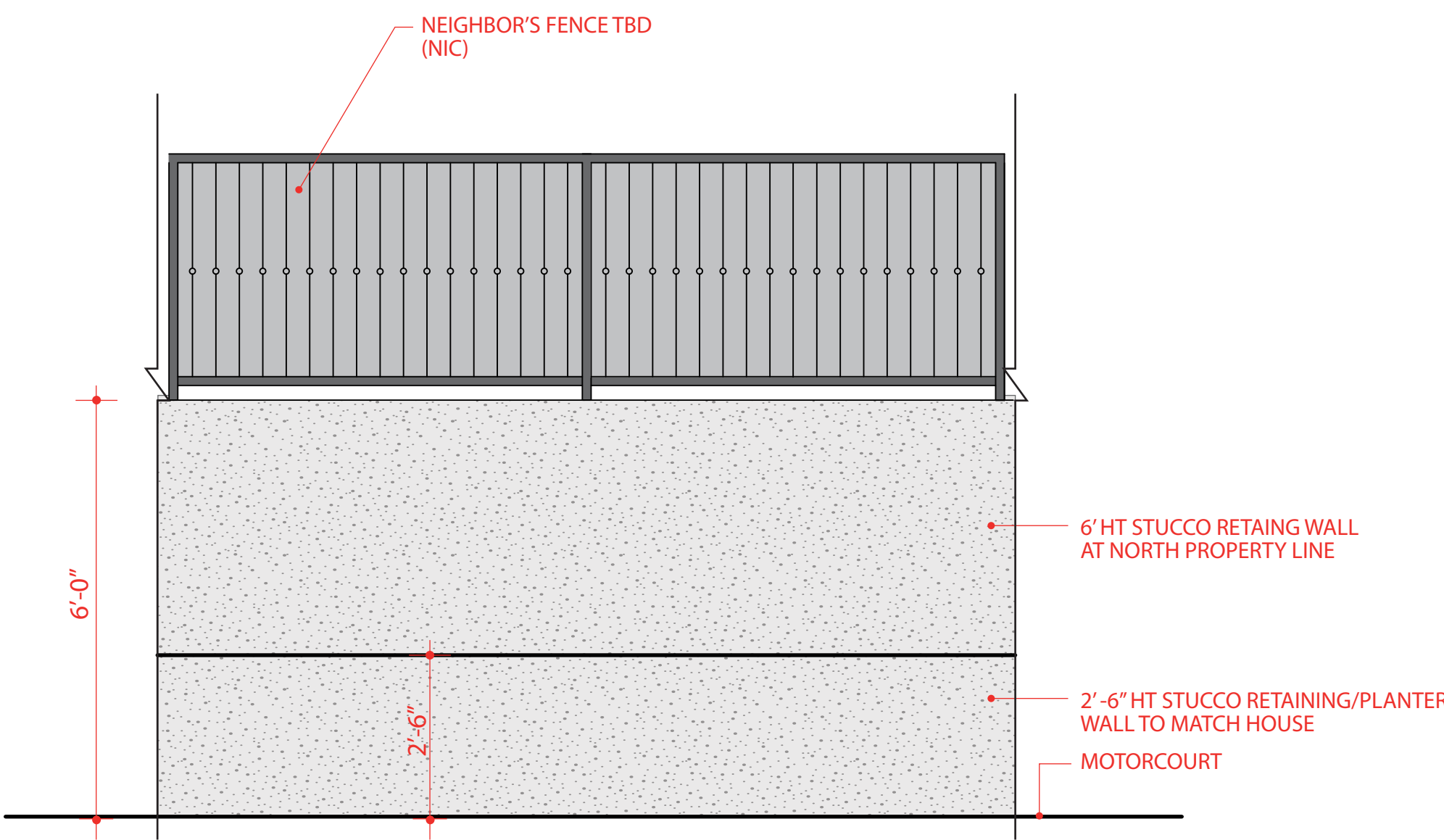
Detail 7: Stucco Retaining Walls at Front Yard
NTS



Detail 2: Front Entry Walls at Driveway
NTS



Detail 3: Stucco Feature Wall with Metal Fence at South Property Line
NTS



Detail 4: Stucco Retaining Wall w/Planter Wall at North Property Line
NTS



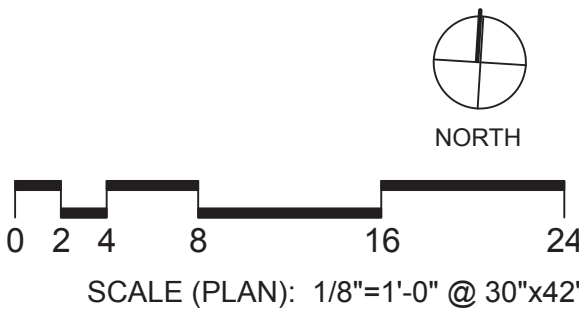
Detail 1: Wall Fountain (Representative Example)
NTS

City Submittal

ROBERT HO
9 NATHANIEL TERRACE (LOT 5)
SIERRA MADRE, CA

HO RESIDENCE - Conceptual Elevations & Details

26 NOVEMBER 2014 REVISED: 11 MARCH 2015 REVISED: 18 NOVEMBER 2019 REVISED: 24 APRIL 2020

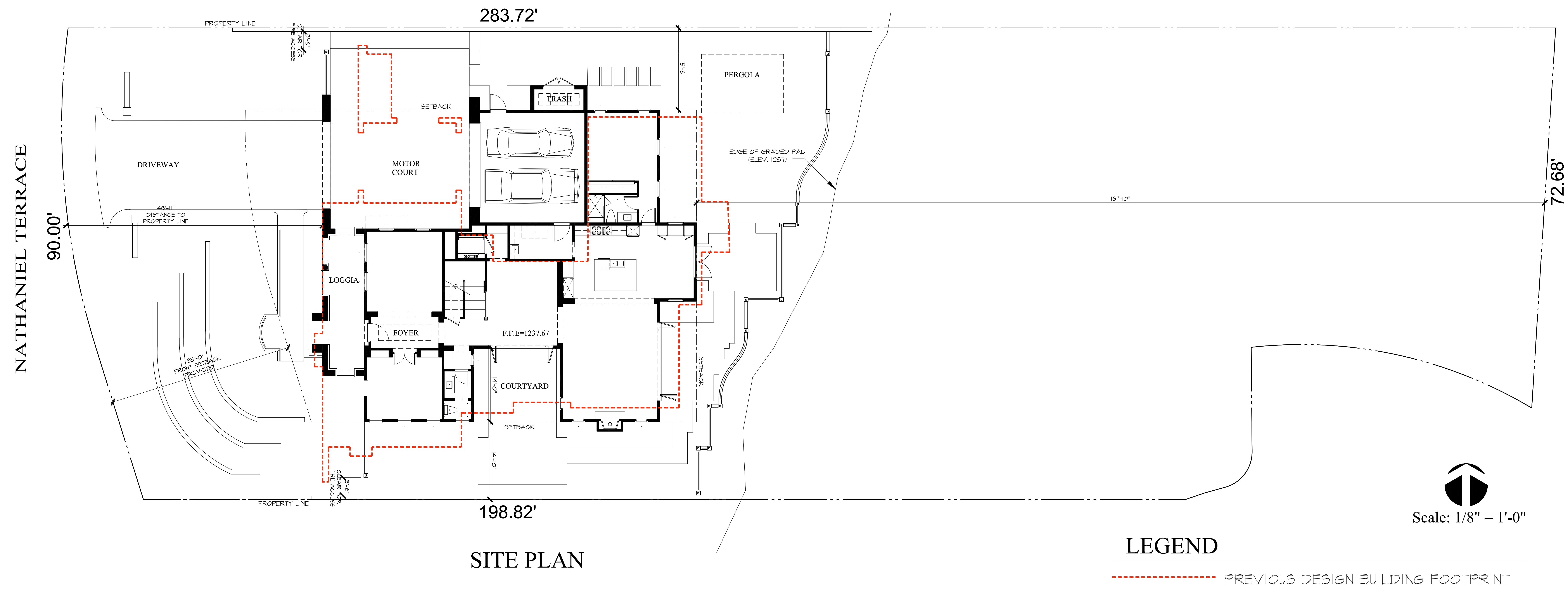


GARYFISHBECK
Landscape Architecture
942 Dale Street
Pasadena, CA, 91106
garyfishbeck.com
626.864.0038

PREVIOUS DESIGN
COMPARED WITH REVISED DESIGN

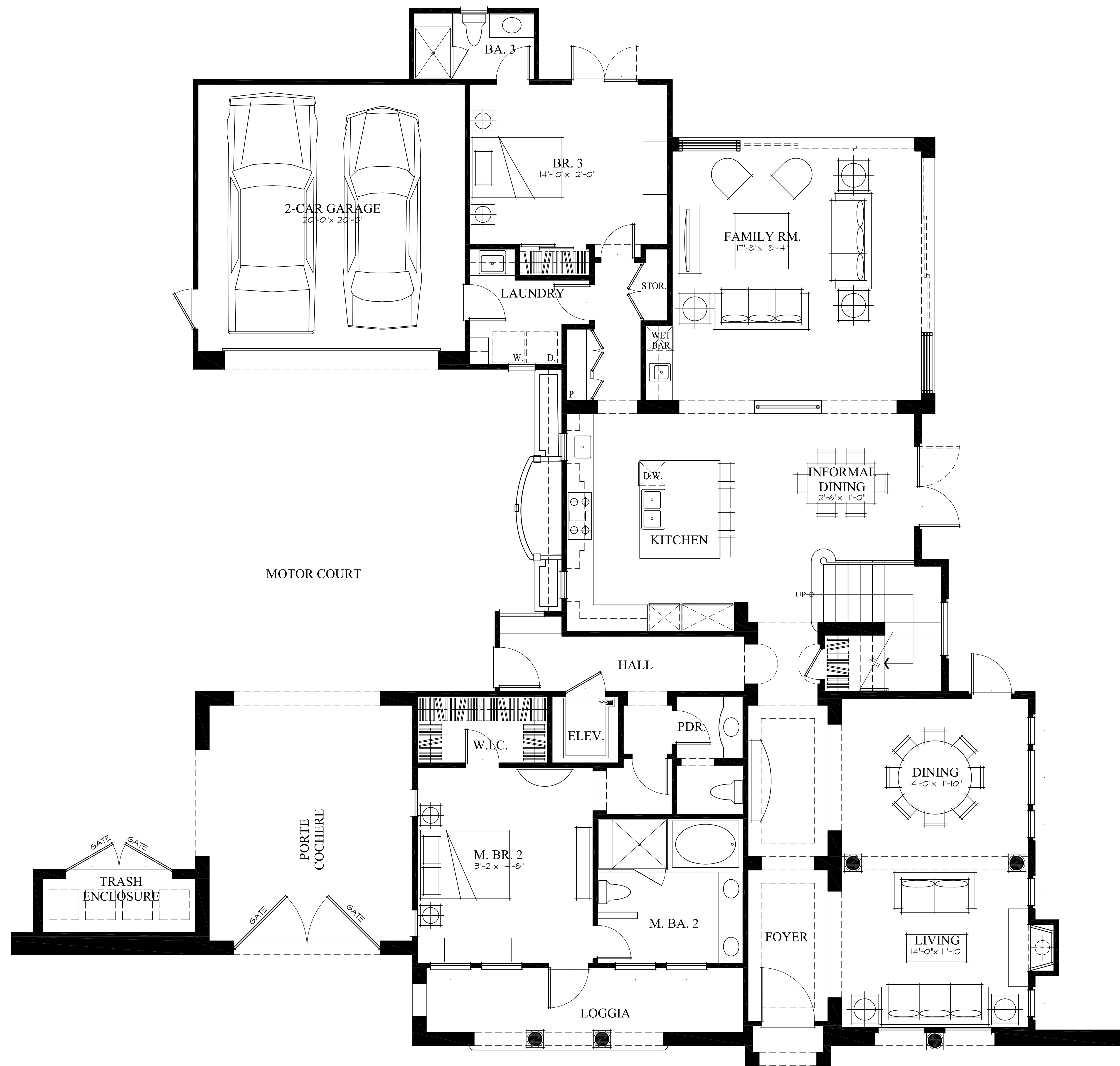
REVISIONS TO BUILDING FOOTPRINT:

- 1) Revised footprint is more compact, smaller structure footprint of 3,060sf, vs. previous structure footprint of 3,180sf, reduction of 120sf.
- 2) Port cochere element eliminated in re-design.
- 3) Increased rear yard area.
- 4) Increased south yard setback by additional 4'-10"
- 5) Courtyard provided at south yard per recommendation from commissioner.
- 6) Building mass significantly reduced at the southwestern corner.

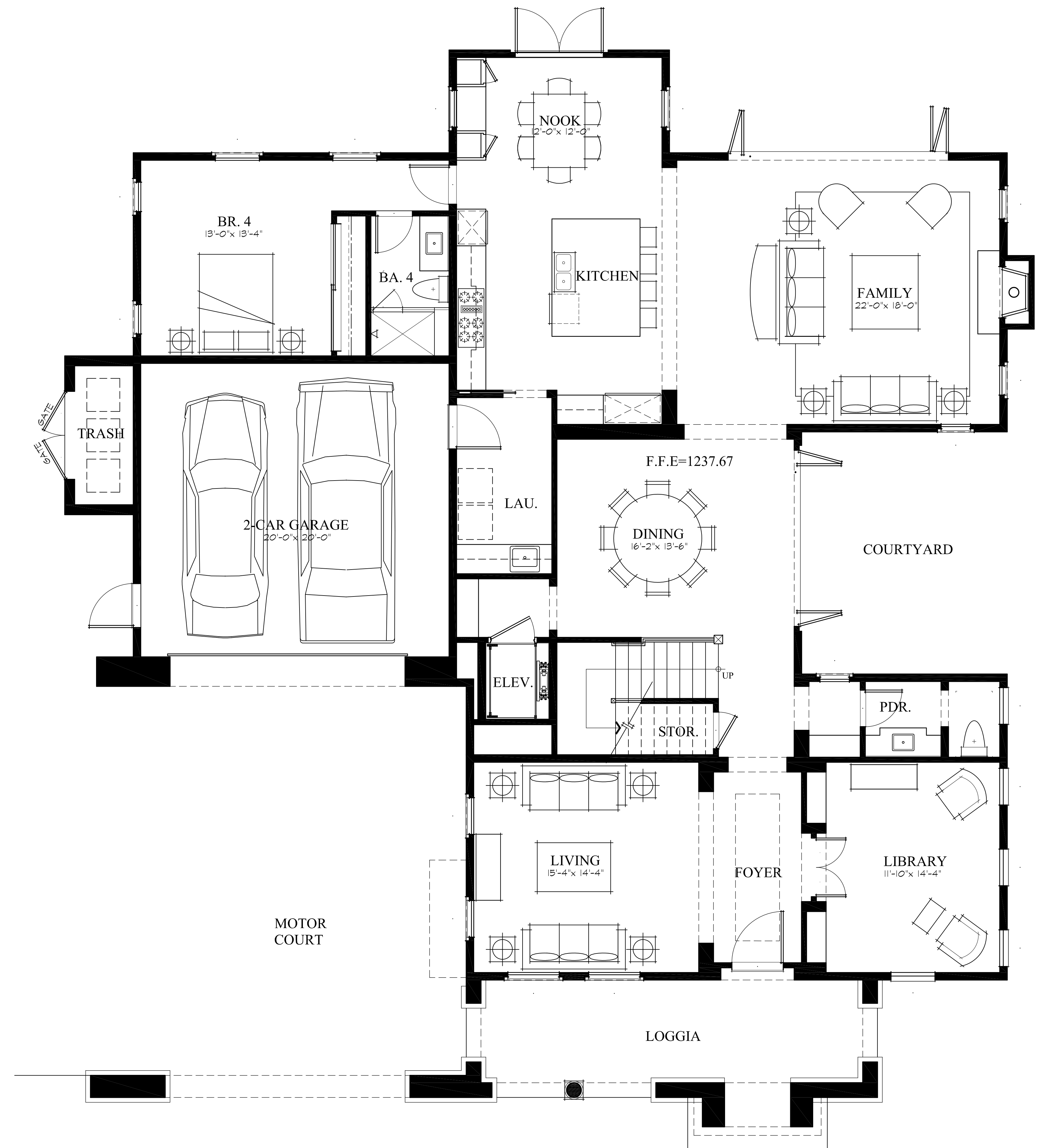


9 NATHANIEL TERRACE (Stonegate Lot 5)

BUILDING FOOTPRINT COMPARISON



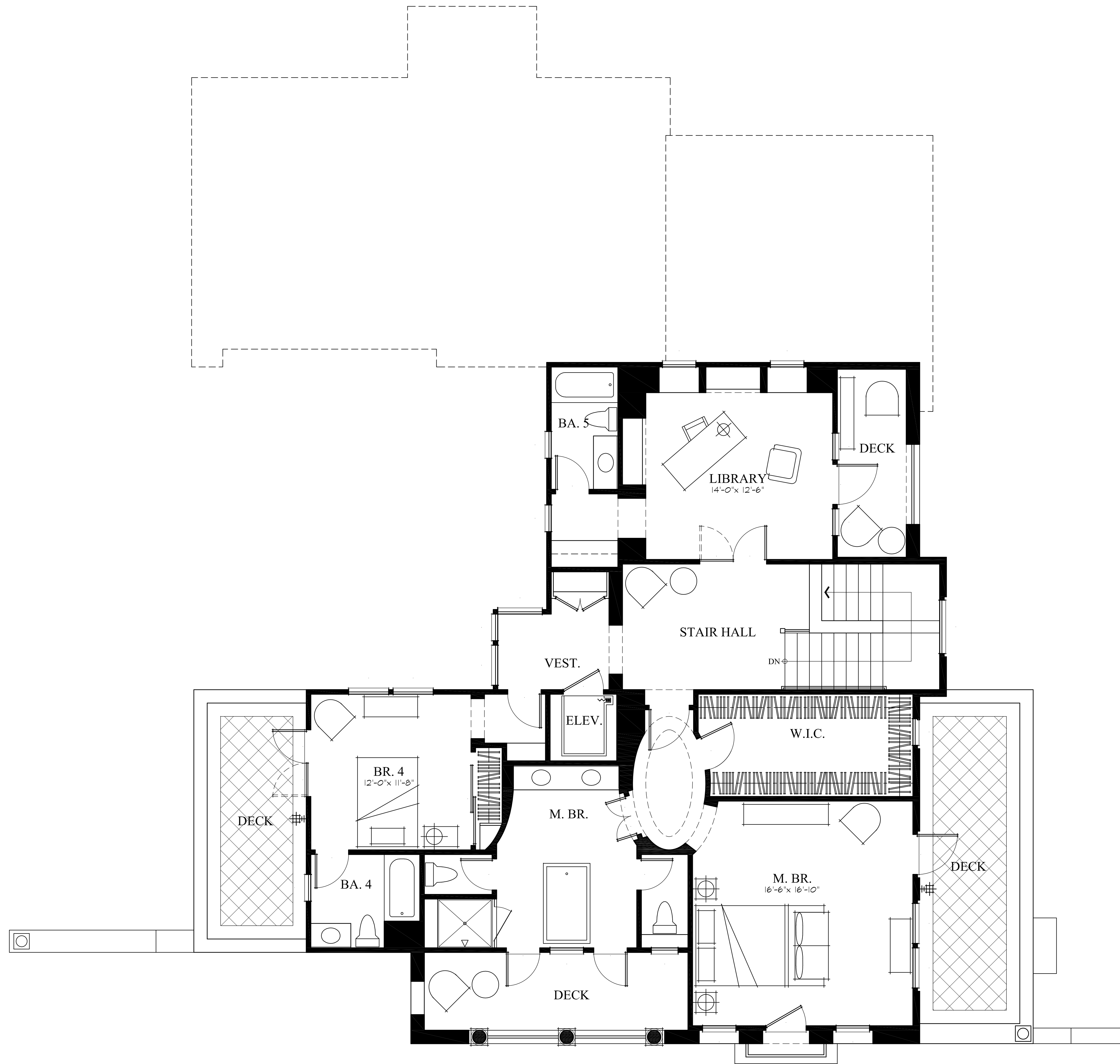
PREVIOUS FIRST FLOOR



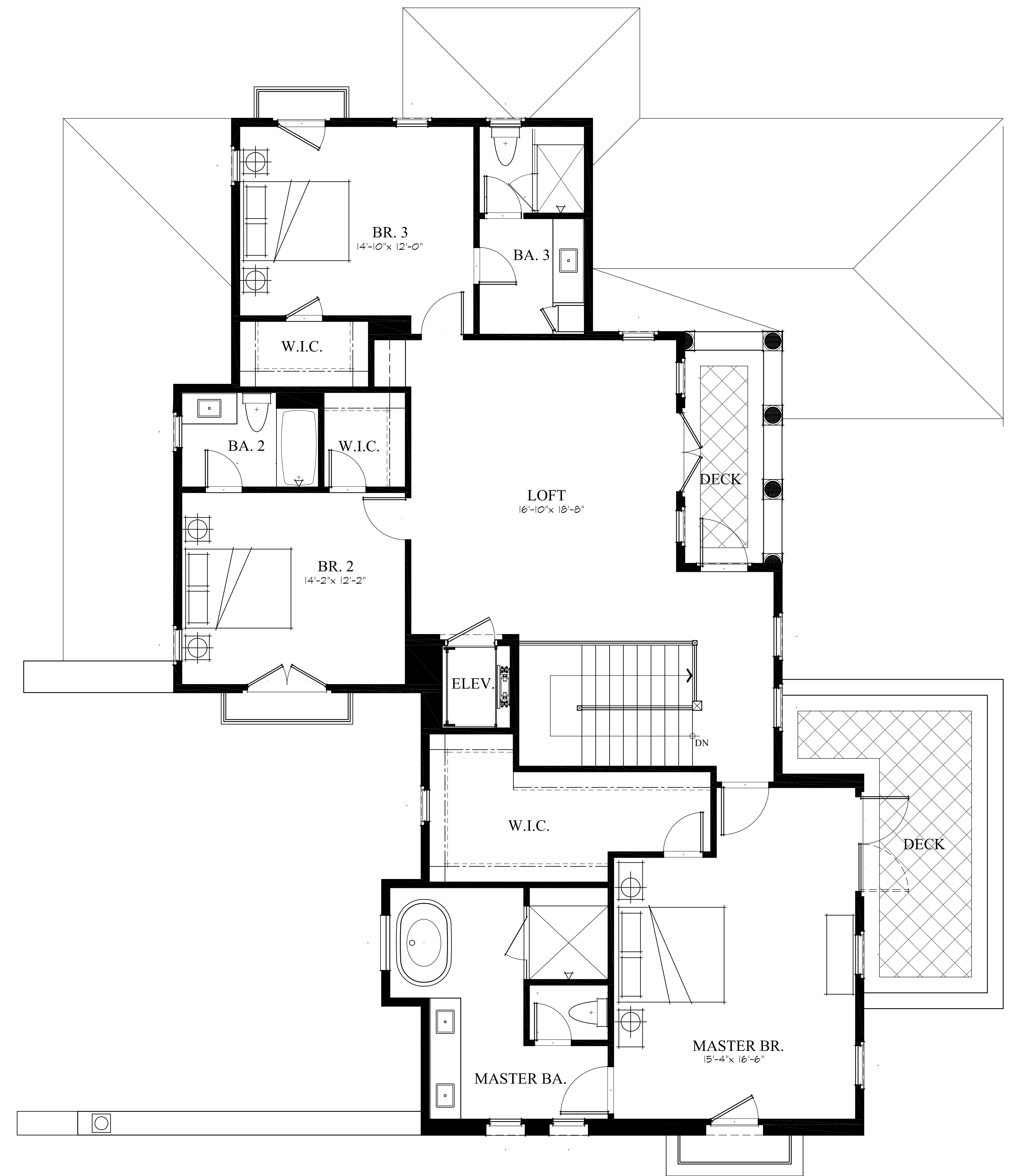
REVISED FIRST FLOOR

9 NATHANIEL TERRACE (Stonegate Lot 5)

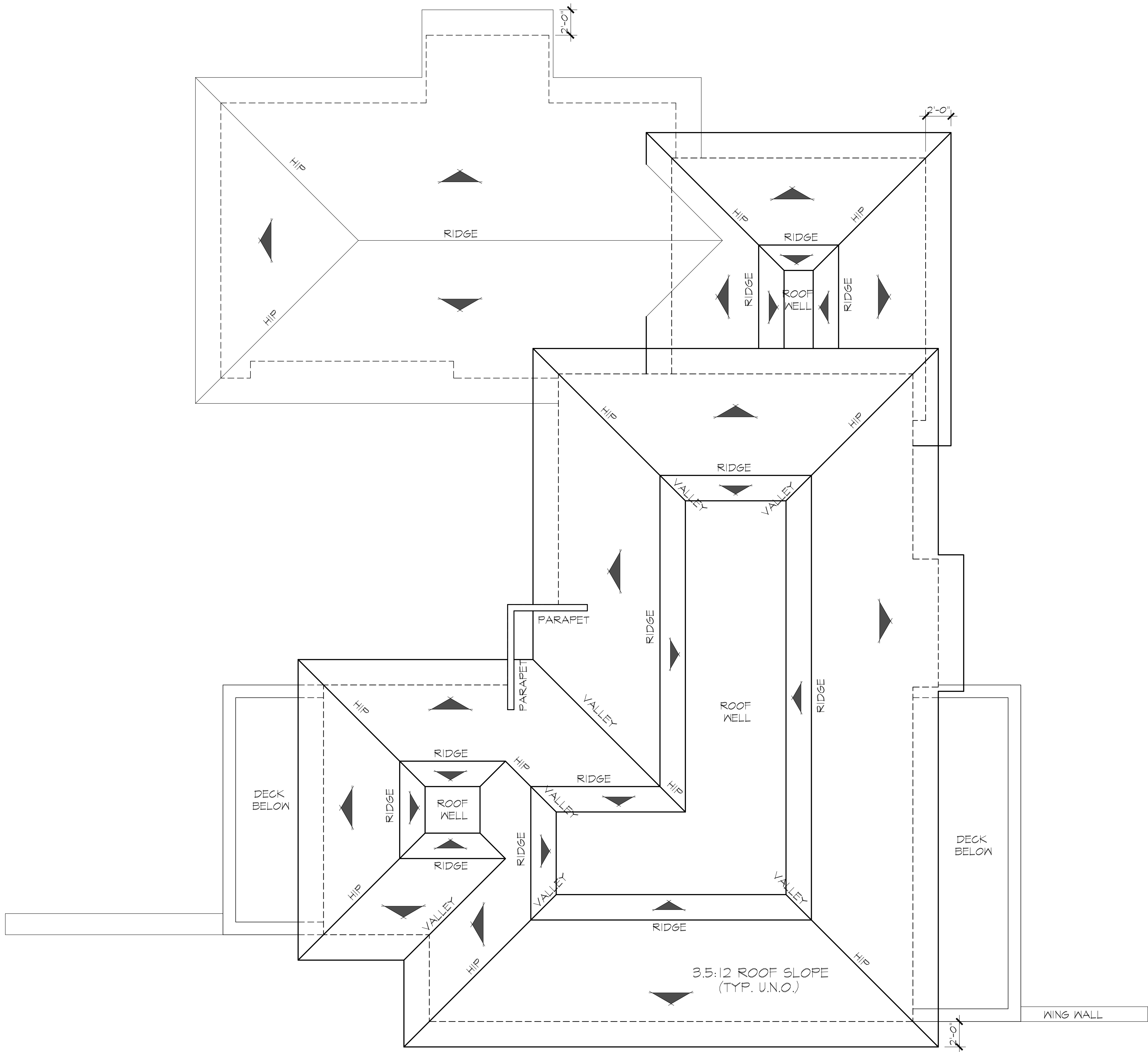
FLOOR PLANS COMPARISON



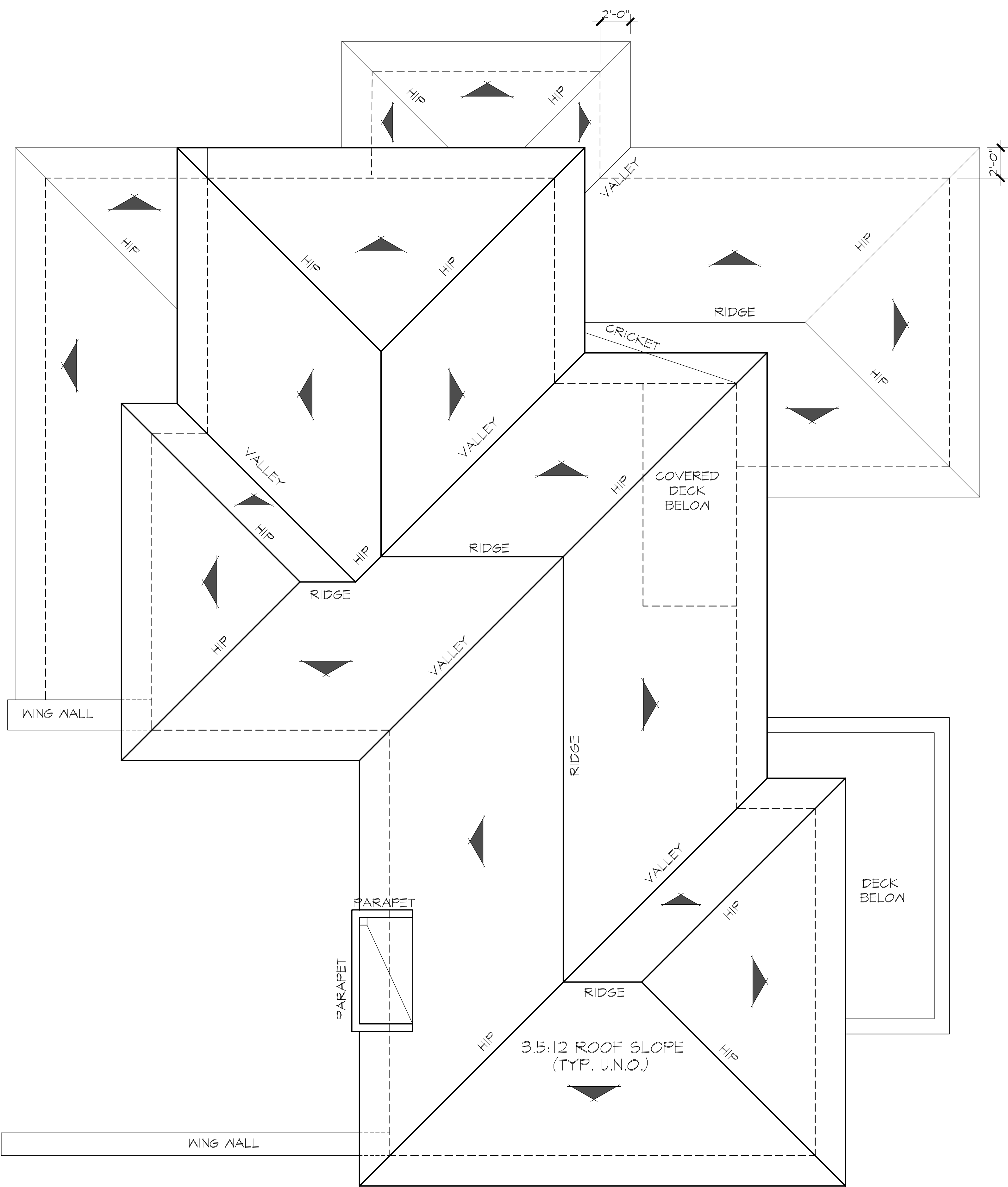
PREVIOUS SECOND FLOOR



REVISED SECOND FLOOR



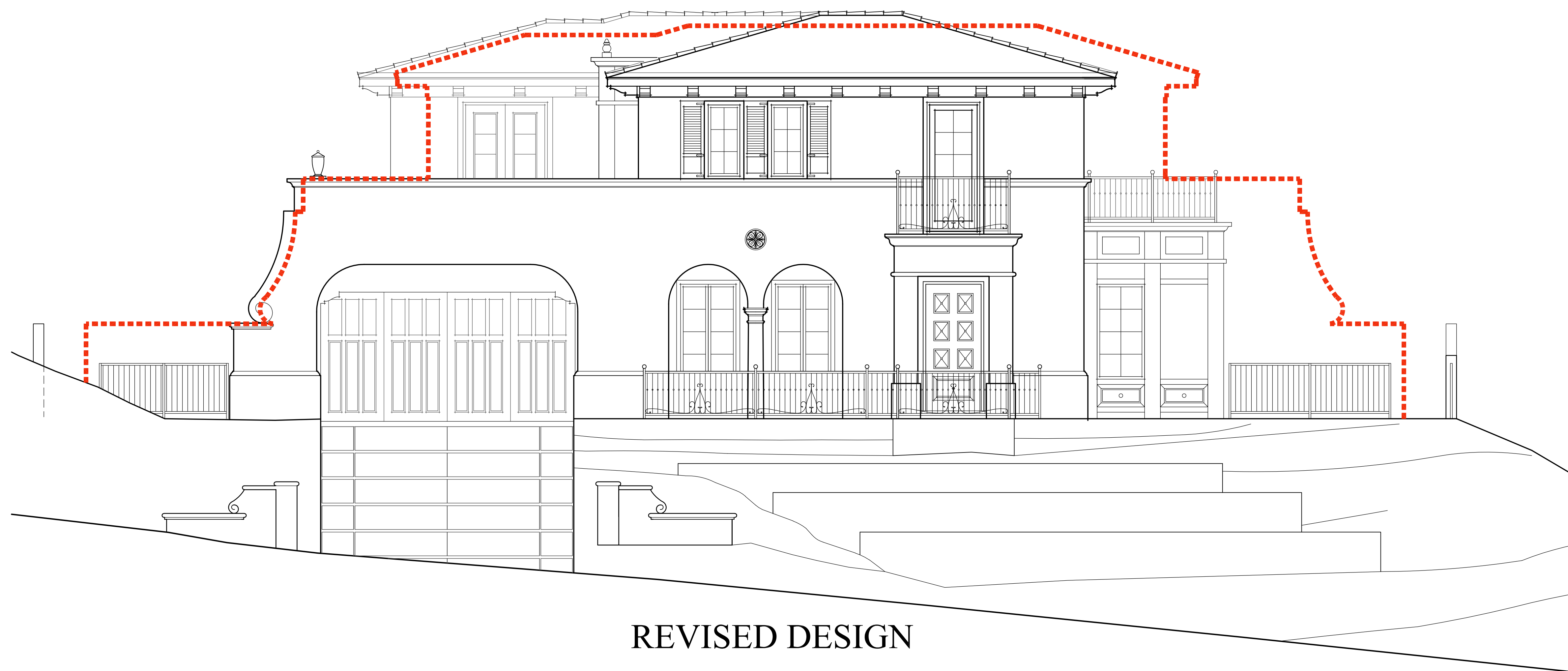
PREVIOUS ROOF PLAN



REVISED ROOF PLAN

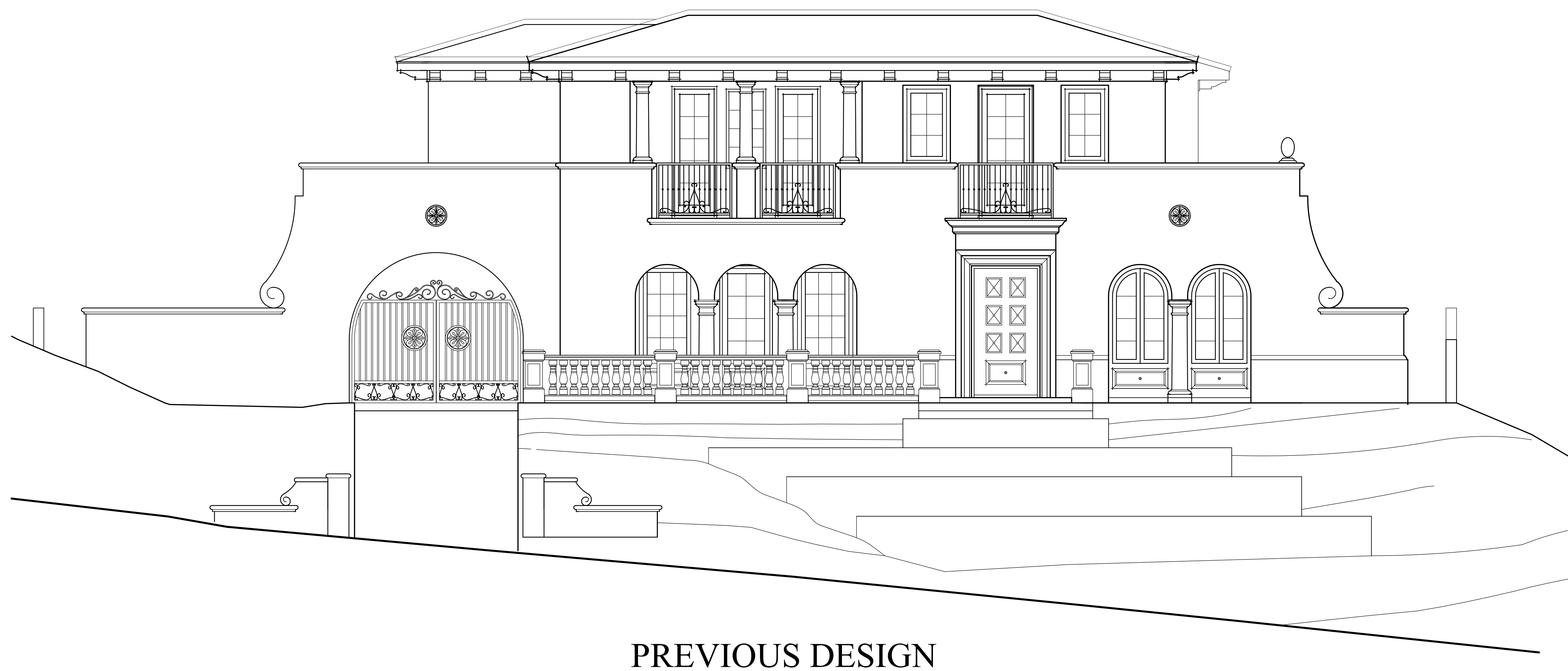
9 NATHANIEL TERRACE (Stonegate Lot 5)

ROOF PLAN PLANS COMPARISON



LEGEND

..... PREVIOUS DESIGN BUILDING PROFILE

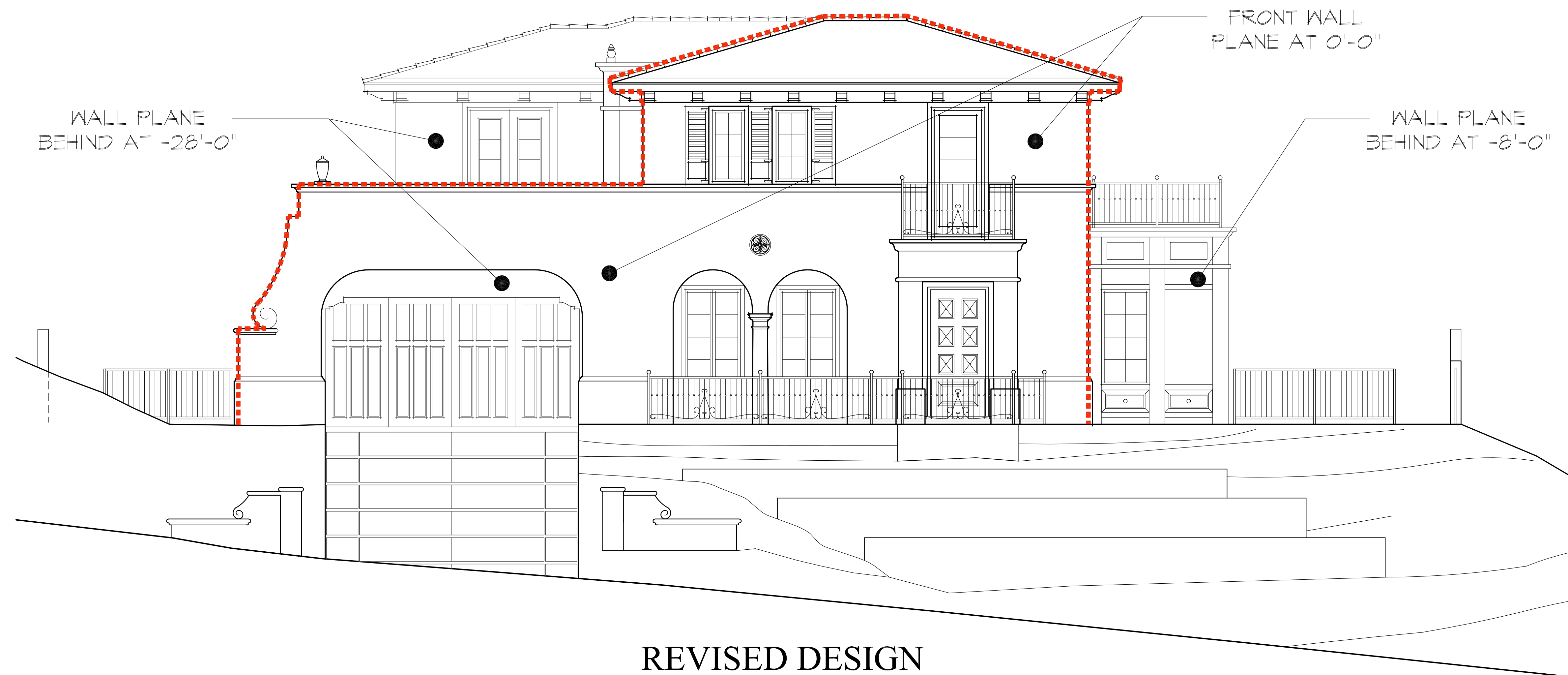


REVISIONS TO BUILDING PROFILE:

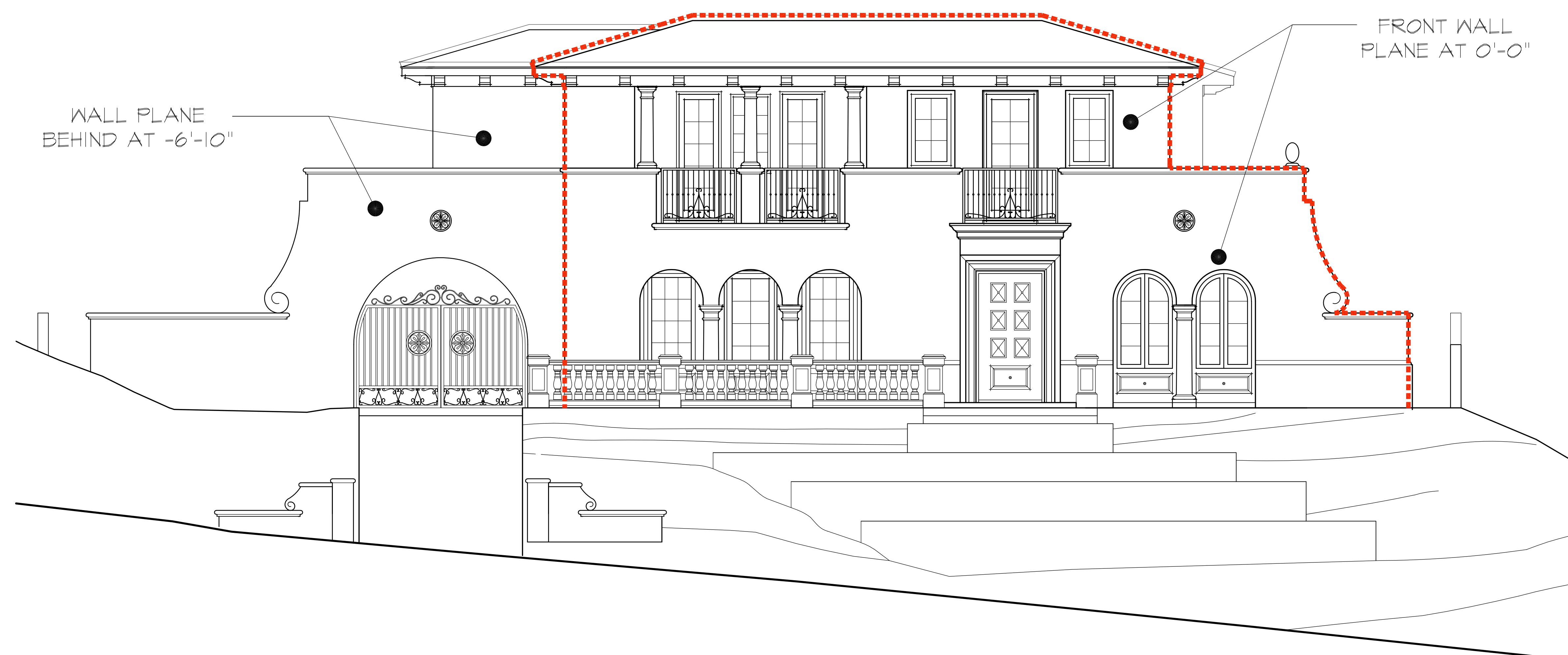
- 1) Building front elevation/profile as seen on Nathaniel Terrace is narrower due to the reduced mass and shortened wing walls.

9 NATHANIEL TERRACE (Stonegate Lot 5)

BUILDING FRONT ELEVATION PROFILE COMPARISON



REVISED DESIGN



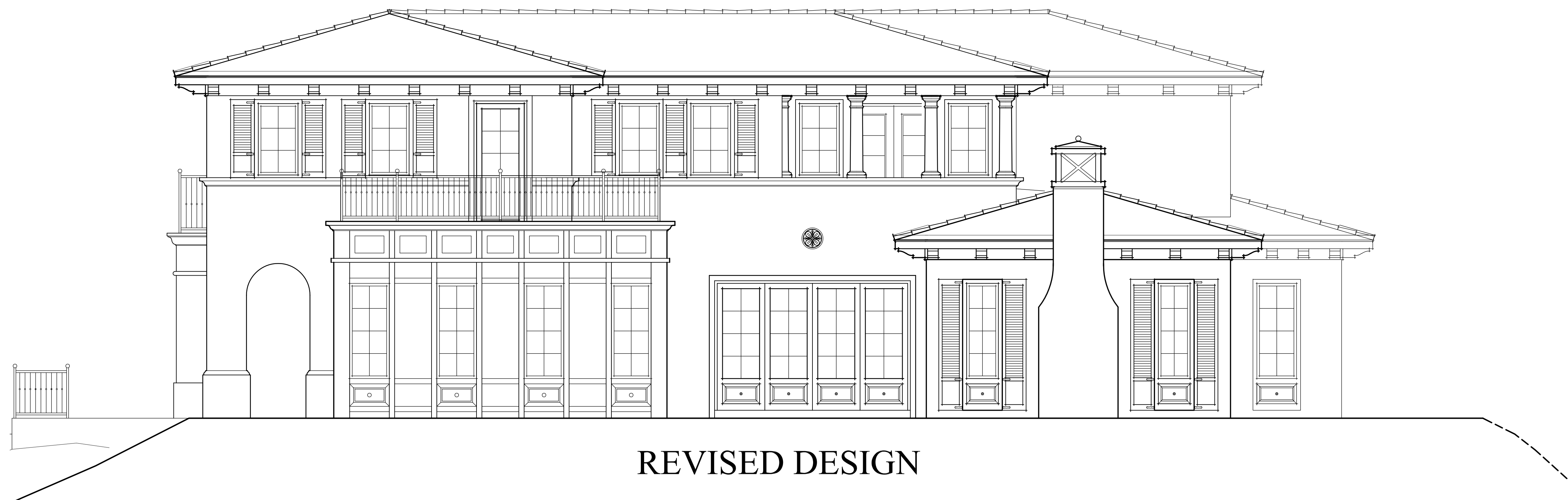
PREVIOUS DESIGN

FRONT WALL/MASSING COMPARISON:

- 1) Front wall/massing of revised design focused more on center of lot towards the north, per recommendation by commissioners. The previous design was a more expansive wall/massing which gets very close to the southwestern corner of the lot, a concern for the commissioners because the mass and wall over the tall mound results in a very prominent structure.
- 2) Revised design has the Master Br. deck set back 8'-0" from the front wall. The deck guardrail is wrought iron, to maximize view to the outdoors and reduce wall mass. In contrast, previous design had deck aligned with front wall and deck guardrail provided was solid stucco wall.

LEGEND

..... FRONT WALL/MASSING OF BUILDING

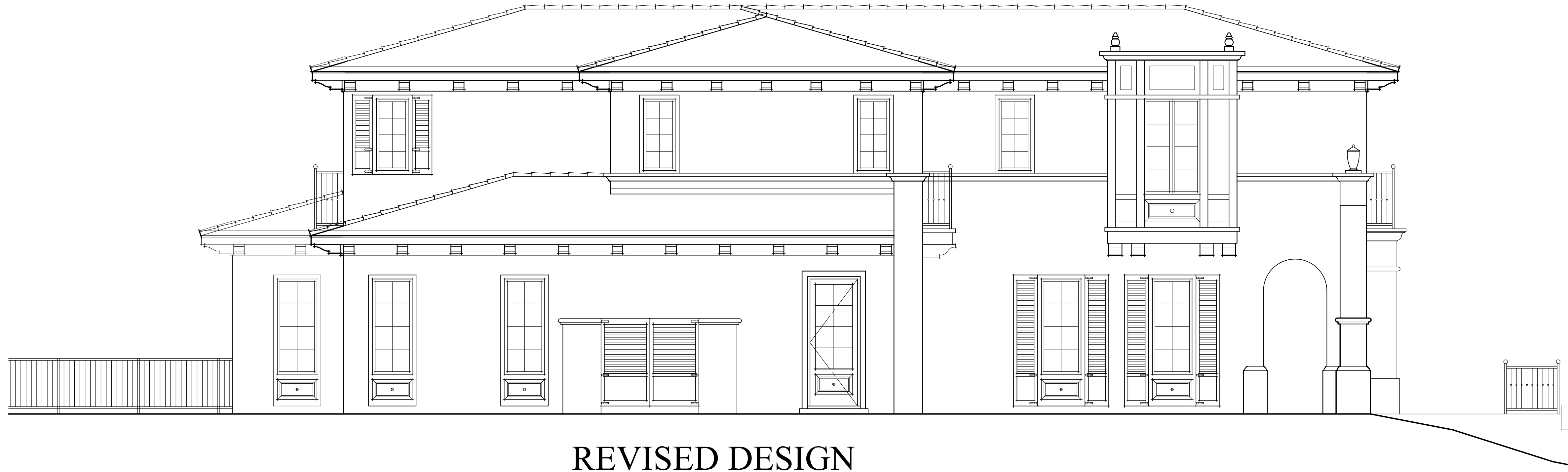




REVISED DESIGN



PREVIOUS DESIGN



REVISED DESIGN



PREVIOUS DESIGN

Item Attachment Documents:

2. Modification to Administrative Hillside Development Permit 17-02: A request to modify the previously approved plans and elevations of the primary residence at 751 Oak Crest Drive

It is recommended that the Planning Commission continue Administrative Hillside Development Permit 17-02, and provide the applicant and staff with direction.



Planning Commission **STAFF REPORT**

*John Hutt, Chair
Thomas Denison, Vice-Chair
Joseph Catalano, Commissioner
Peggy Dallas, Commissioner
Manish Desai, Commissioner
William Pevsner, Commissioner
Bob Spears, Commissioner*

*Vincent Gonzalez, Director
Planning & Community Preservation*

DATE: May 7, 2020

TO: Planning Commission

FROM: Vincent Gonzalez, Director of Planning & Community Preservation

PREPARED BY: Clare Lin, Associate Planner

SUBJECT: Modification to Administrative Hillside Development Permit 17-02: A request to modify the previously approved plans and elevations of the primary residence at 751 Oak Crest Drive

RECOMMENDATION

Staff recommends that the Planning Commission continue Administrative Hillside Development Permit 17-02, and provide the applicant and staff with direction.

ALTERNATIVES

1. Approve the application for Administrative Hillside Development Permit 17-02, and direct staff to prepare a resolution and conditions approving the project.
2. Approve with modifications the application for Administrative Hillside Development Permit 17-02.
3. Deny the application for Administrative Hillside Development Permit 17-02, identifying the findings the Commission feels cannot be made and the basis for rejecting those findings.
4. Continue the subject project, and provide direction to staff and applicant.

EXECUTIVE SUMMARY

The applicant, Fiona Wu of FW Design, on behalf of Jonathan Tsang, is requesting that the Planning Commission consider Administrative Hillside Development Permit 17-02 (HDP 17-02); to allow modification to the previously approved plans and elevations of Administrative Hillside Development Permit 17-02, granting the addition of 540 square-

feet of new exterior decking and new standing seam metal roof to the primary structure, alteration to the garage roof, and new trash enclosure at 751 Oak Crest Drive.

Pursuant to SMMC Section 17.52.070.B.2, any remodels of, or additions to, existing, legal, primary structures which are consistent in character with the original structure and compatible in scale, proportion and character with neighboring properties, shall be subject to the granting of an administrative hillside development permit. Modification to the approved Administrative Hillside Development Permit 17-02 is no longer consistent with the original structure and therefore requires Planning Commission review.

BACKGROUND

This project was originally submitted to the Planning & Community Preservation Department on September 19, 2017. On October 19, 2017, the staff deemed the application complete and approved the application on November 13, 2017 with required public notice procedure. Building plan check started on April 23, 2018 and finalized sets of plans were stamped with approval by Building Official on September 4, 2019; subsequently, plan check was extended for applicant to obtain construction bids.

On April 13, 2020, the applicant submitted revised materials to modify the approved plans. Staff felt the modification is beyond the authority of administrative review, and is therefore requesting the Planning Commission's evaluation of the project.

Approved site plans and floor plans

The primary building, built in 1975, is a pyramid shaped structure with entrance to the main level, lower ground level and second level, and a guest structure with attached one-car garage against the hillside. The three level house is situated on the southeastern half and a one-story guest house, garage, motor court, and driveway on the northeastern half. The total floor area for the project is 4,566 square feet. The 3,563 square feet main house has a square footprint that measures approximately 43' x 43'. It includes three bedrooms, three bathrooms, living room, dining room, family room, library, kitchen, and powder room. The detached guest structure is 737 square feet and the one-car garage is 266 square feet. The footprint of the house and garage are located on a nearly flat, existing building pad.

Vehicular access to the one-car garage is from a sloped driveway from top of Oak Crest Drive. The front (south) setback of the house from Oak Crest Drive is 113', the side setbacks are 5'-0" and 161'-0" respectively; and the rear setback from the northern property line is 64'. Within the setbacks are retaining walls, a deck, landscaped areas, and trash enclosure along the driveway. The majority of the side and rear yard, located on the north-eastern half of the property, is proposed to remain in its existing condition with natural, undeveloped landscape.

Architecture, building form, and materials

The three-story house is designed in contemporary architectural style. The previously approved design transformed the original pyramid that made of glass panels to a

habitable residence while maintaining the original structure and characteristic pyramidal shape. The proposed materials include standing seam metal roof, stucco exterior finishes, engineering wood plank siding, aluminum clad windows and doors, and engineered wood decking with cable railing.

Colors and finishes

The color palette is primarily earth tone with a dark gray colors. The exterior walls are finished with stucco in pewter color, the wood cladded siding in walnut color, the cable railing is in dark gray color, window frame in dark bronze anodized aluminum, and the standing seam metal roof is in dark bronze color.

PROPOSED MODIFICATIONS

The proposed modifications to the previously approved plans and elevations include changes to the layout of floor plans, alteration of the interior vertical access stairs, exterior elevations and new roof configuration within the existing footprint.

The floor plans are modified but remain under the same use as the original approved plan. The lower floor plan has replaced the laundry room with a utility closet, enlarged the bedroom and bathroom, and reconfigured the staircase leading up to the main floor. The main floor has a new laundry room and wine room in the original storage spaces, and a new staircase replacing the spiral stair access to the upper floor, which was previously indicated as a fire access concern. The upper floor has a reconfigured layout to the bedroom, bathroom, walk in closet, open deck and a new vertical volume for the staircase. The proposed low pitched shed roof design is appropriate for contemporary style architecture and the new roof design will be 5'-2" lower than the original approved pyramid shape. Although the design has been modified, the square footage remains the same as the original approved plans and remains below the allowable floor area allowed by the HMZ.

The proposed renovation is intended to bring this unique and unoccupied residence to be more compatible in scale, proportion and character with neighboring properties and improve the energy efficiency as well as the aesthetics of the structure. However, the proposed design has deviated from the original character and design of the structure, and for this reason, staff is requesting Planning Commission review.

PROJECT SUMMARY

Category	Existing	Previously Approved	Proposed	Code Requirement or Allowed	Complies with HMZ
Lot size	44,431 s.f.	No Change	No Change	Existing	Yes
Lot Coverage	2,758 sf	No Change	No Change	7,307 sf	Yes
Building Height	37'	No Change	32'-2"	25'	Yes ¹
Gross Floor Area	4,287 sf	4,566 sf	No Change	6,643 sf	Yes
Building Setbacks: <u>Front</u> <u>Sides</u> East West <u>Rear</u>	113' 5' 161' 64'	No Change	No Change	25' TBD 30% of cumulative width with a minimum 10% of lot width on either side 15'	Yes ¹
Parking	1 car garage	No Change	No Change	2 spaces per dwelling unit in a garage or carport	Yes ¹

¹ The structures on the property are existing non-conforming.

ENVIRONMENTAL REVIEW

The proposed project qualifies for a Class 1 Categorical Exemption, pursuant to Section 15301 (e) Addition to existing structures of the California Environmental Quality Act (CEQA) in that it involves demolition and renovation to existing residence.

ANALYSIS/ FINDINGS

Hillside Development Permit

This Administrative Hillside Development Permit is hereby granted pursuant to the findings below:

- a. **The proposed development is consistent with and serves to implement the General Plan and specifically, those General Plan goals and policies that pertain to hillside development;** in that the primary residence is existing non-conforming, and the alteration to the main level and the second level of the roofline and new vertical stair access are consistent with the Goals and Policies of the City's General Plan land use designation of H (Hillside) with the following Objectives and Policies of the City's General Plan:

Objective L12: Facilitate hillside preservation through development standards and guidelines which provide direction and encourage development sensitive to the unique characteristic found in the hillside area of the city.

Policy L12.2: Ensure that development in the hillside areas is located in those areas resulting in the least environmental impact.

Objective L14: Protect the views to and from hillside areas in order to maintain the image and identity of the City as a village of the foothills.

Policy L14.1: *Require the use of natural materials and earth tone colors for all structures to blend with the natural landscape and natural chaparral vegetative growth.*

- b. **The proposed development is consistent with the purposes of Chapter 17.52;** in that the proposed modification to the existing non-conforming structure complied with all applicable development standards where alteration will not negatively impact views to and from hillside areas, does not cause environmental impacts, is designed to fit within the existing footprint, and does not impact natural features of hillside areas.
- c. **The design of the development minimizes exposure of persons to natural hazards and maximizes access to public open space areas;** in that the proposed modification of floor plans, access staircases and alteration to the primary structure roofline would be constructed to meet all building and fire code provisions as it relates to minimizing exposure to natural hazards, it would be built within the flat pad area of the property so as not to impact sloped areas, and it would have no impact on access to public open spaces areas. Due to the topography and location of the property, there are no properties north and east of the site, and the residences to the west and south have different views and sight lines. The design of the development will not interfere with the use, possession and enjoyment of the surrounding and adjacent property owners.
- d. **The design and location of structures or uses avoids, eliminates, or adequately mitigates each of the environmental constraints described in this chapter and other significant environmental impacts identified upon environmental review of the application;** in that the proposed modification to the floor plan, access staircases and alteration to the primary structure roofline are

within the existing building footprint and no additional living space will be added thereby eliminating any grading needs and preserving natural features of the property.

- e. **The proposed development complies with standards set forth in this chapter, including Section 17.52.120 (Design and development standards for uses requiring hillside development permits) and Section 17.52.160 (Architectural and site design standards);** in that the proposed development to the existing non-conforming structure complies with standards such that proposed height of the new roof configuration will be less non-conforming as it is 5'-2" lower than the pyramid shaped roof. The project improvements will stay within the existing building envelope and footprint. The mass, form, and profile of the proposed project will not interfere with the character and profile of natural slopes as the overall building pyramid shape will remain and there will be no additional living square footage added. Lastly, there will be no change to the existing topography and the project will not require grading thus helping preserve the natural undisturbed areas of the property.

PUBLIC NOTICE PROCESS

This item has been noticed through the regular agenda notification process. The packet can be accessed online through the City's website at www.cityofsierramadre.com.

Attachments:

- Attachment A: Project Narrative
- Attachment B: Proposed plans, elevations and material board
- Attachment C: Approve set of plans dated September
- Attachment D: Site Photographs
- Attachment E: Planning Application HDP 17-02

ATTACHMENT A :
PROJECT NARRATIVE

751 OAK CREST DRIVE PROJECT NARRATIVE

This project was previously approved under the Administrative Hillside Development Permit. Due to the level of custom work required for the original proposed roof design, we would like to propose to make modifications to the original design for a more practical roof shape.

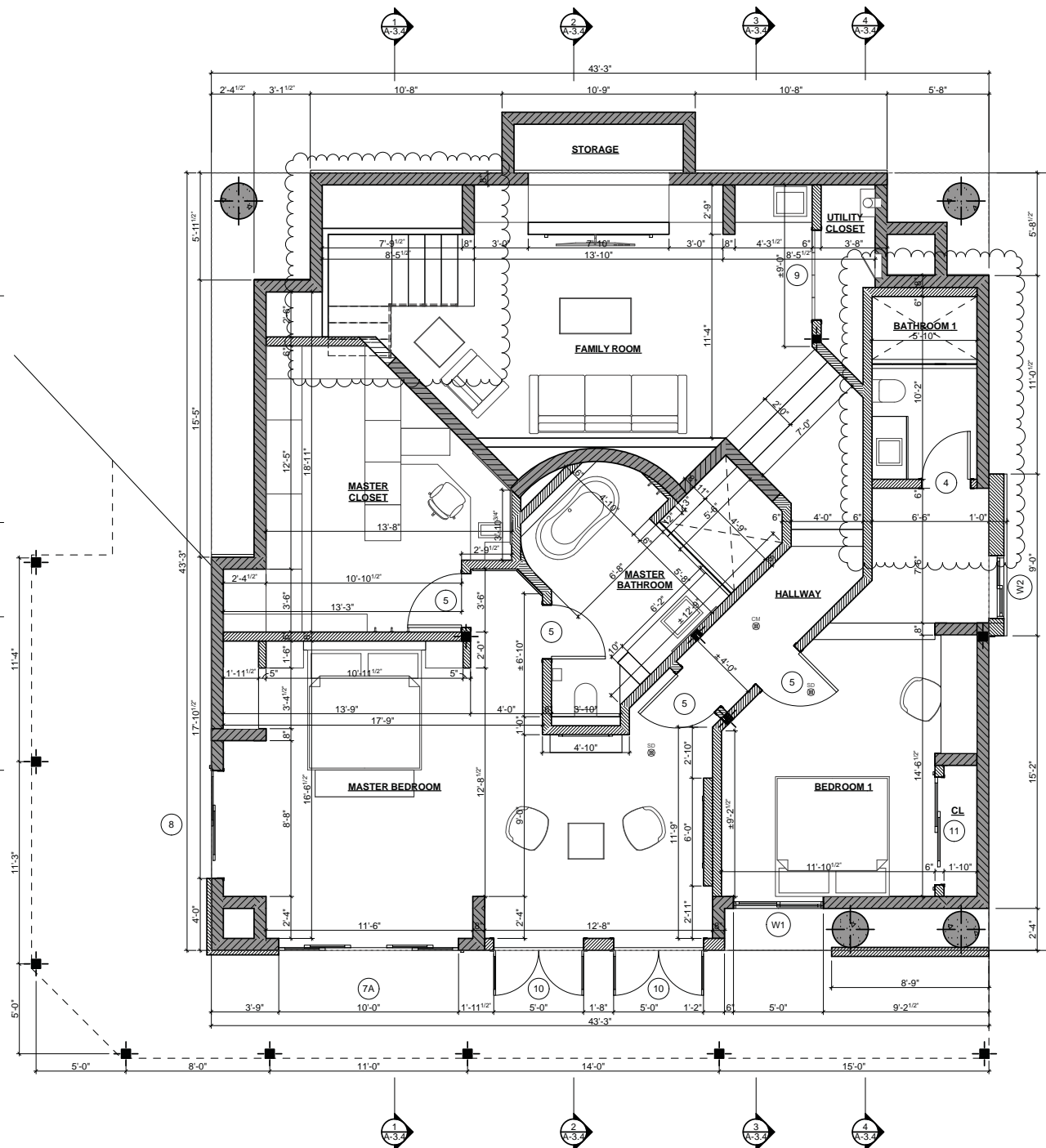
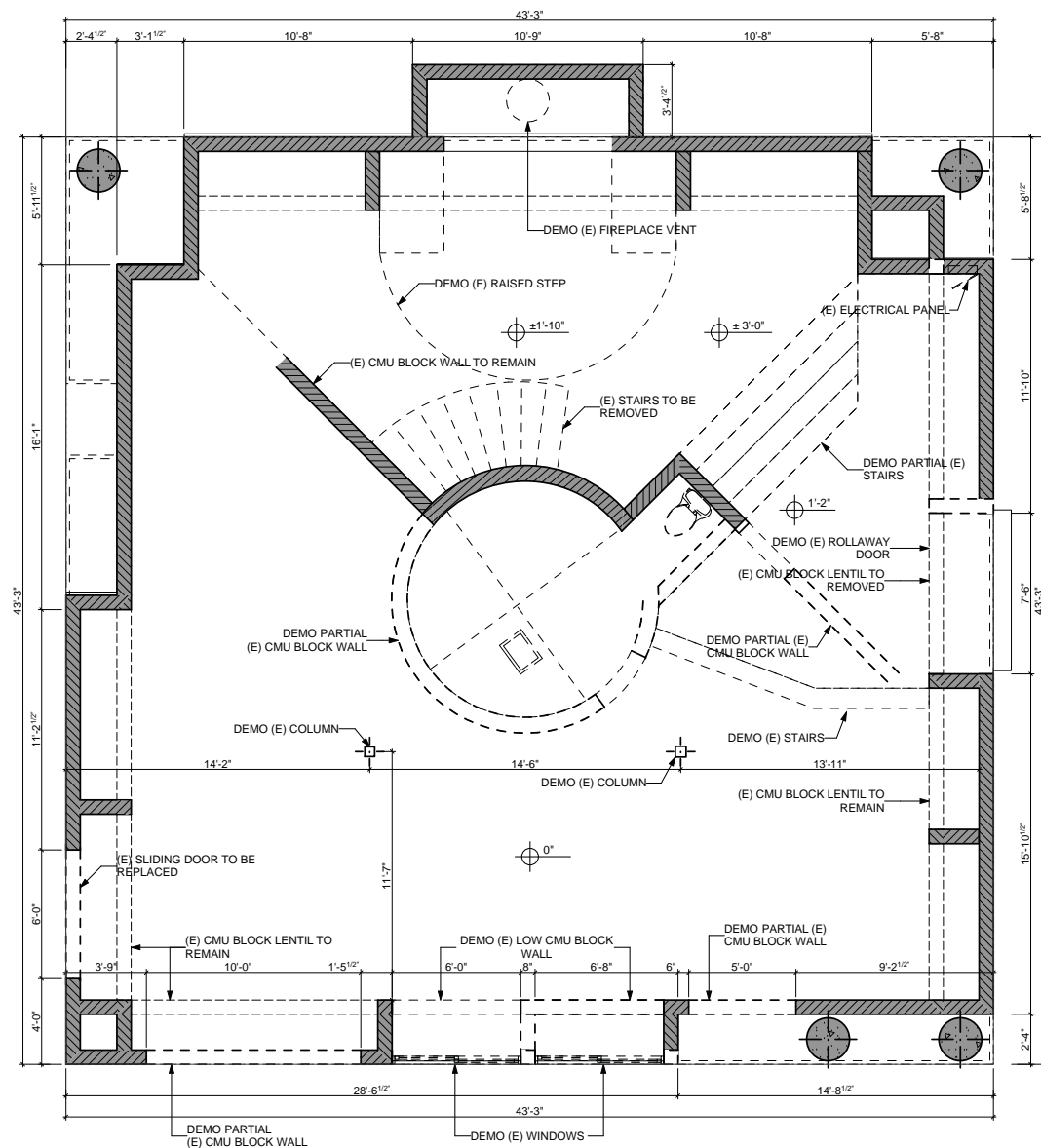
The proposal for the property at 751 Oak Crest Drive is a complete renovation of the existing main house and existing second unit. Designed with contemporary architecture in mind, this 3,563 square feet, 3 story split level single family residence is renovated within the existing footprint of the original structure. The new roofline is designed as a low slope shed roof design, appropriate for a contemporary styled home. The new roof design is comparably lower than the original approved pyramid shape. The floor plans for the lower floor and main floor have been slightly modified but remain under the same use as the original approved plan. The lower floor has 2 bedrooms, a master bedroom with a full bath and walk in closet and a secondary bedroom with its own private bath. The main floor houses a new laundry room and wine room in the original storage spaces. The upper floor has a single bedroom with a bathroom, walk in closet and an open deck. Although the design has been modified, the square footage remains the same as the original approved plans and remains below the allowable floor area allowed by the HMZ.

The renovation will improve the currently inhabitable property and bring the home up to date and improve the energy efficiency as well as the aesthetics (which will also be beneficial for the neighborhood). This property has been continuously vacant for many years due to the inhabitable conditions caused by the current building materials. Due to the vacancy, the home is now in dire need of TLC. With the property being rather unique and unoccupied, it has potential to bring many unwanted visitors into the area. We hope to update the home and occupy the space so that there will be no more trespassing and disruptions to our neighbors. We also feel that with the proposed renovations, the overall comfort and value of our neighborhood would increase.

Due to the topography and location of the property, site views are not blocked for surrounding neighbors. There are no properties north and east of site. The residence west and south have different views and site lines due to the area topography. The proposed renovation does not interfere with the use, possession and enjoyment of the surrounding and adjacent property owners. The proposed renovation complies with the standards of the hillside management as well as the design and development standards. The proposed request is compatible with the character of the surrounding area and does not change the essential character of that in the general plan.

ATTACHMENT B :

PROPOSED PLANS, ELEVATIONS, 3D VIEWS AND MATERIAL BOARD



PROJECT DIRECTORY

CLIENT:

JONATHAN TSANG
751 OAK CREST DRIVE
SIERRA MADRE, CA 91024
PHONE: 626.623.2986
CONTACT: JONATHAN TSANG

DESIGNER:

FW DESIGN
P.O. BOX 80701,
SAN MARINO, CA 91118
PHONE: 626.354.4649
EMAIL: fiona.s.wu@gmail.com
CONTACT: FIONA WU

CIVIL ENGINEER:

CALLAND ENGINEERING
576 E. LAMBERT ROAD,
BREA, CA 92821
PHONE: 714.671.1050
CONTACT: JASON LEE

PROJECT DATA

ADDRESS: 751 OAK CREST DRIVE
SIERRA MADRE, CA 91024

ASSESSORS ID: 5761-027-013

BUILDING USE: SINGLE FAMILY RESIDENCE

BUILDING HEIGHT: (E) BUILDING HEIGHT \pm 36'-8"

ZONING: H & RL (R-H)
LOT SIZE: 44,431.2 SF (1.02 ± ACRES)

PERMISSIBLE GROSS FLOOR AREA ALLOWED :
3,300 S.F. ALLOWABLE PLUS 10% OF EXCESS
44,431.2 - 11,000 = 33,431
33,431 x 10% = 3,343.1 S.F.
TOTAL ALLOWABLE: 3,300 + 3,343 = (6,643 S.F.) MAX.
6,500 S.F.
TOTAL AREA: 4,566 S.F.

PROJECT SUMMARY

(E) AREA CALCULATION:

PRIMARY STRUCTURE

(E) GROUND FLOOR	1,780 S.F.
(E) FIRST FLOOR	1,252 S.F.
(E) SECOND FLOOR	256 S.F.
TOTAL:	3,284 S.F.

SECOND UNIT (NO CHANGE)

(E) GUEST HOUSE	737 S.F.
(E) 1 CAR GARAGE	266 S.F.
TOTAL:	1,003 S.F.

(N) AREA CALCULATION:

PRIMARY STRUCTURE

(E) GROUND FLOOR	1,780 S.F.
(N) FIRST FLOOR	1,391 S.F.
(N) SECOND FLOOR	392 S.F.
TOTAL:	3,563 S.F.

SECOND UNIT (NO CHANGE)

(E) GUEST HOUSE	737 S.F.
(E) 1 CAR GARAGE	266 S.F.
TOTAL:	1,003 S.F.



PROJECT DIRECTORY

CLIENT:

JONATHAN TSANG
751 OAK CREST DRIVE
SIERRA MADRE, CA 91024
PHONE: 626.623.2986
CONTACT: JONATHAN TSANG

DESIGNER:

FW DESIGN
P.O. BOX 80701,
SAN MARINO, CA 91118
PHONE: 626.354.4649
EMAIL: fiona.s.wu@gmail.com
CONTACT: FIONA WU

CIVIL ENGINEER:

CALLAND ENGINEERING
576 E. LAMBERT ROAD,
BREA, CA 92821
PHONE: 714.671.1050
CONTACT: JASON LEE

PROJECT DATA

ADDRESS: 751 OAK CREST DRIVE
SIERRA MADRE, CA 91024
ASSESSORS ID: 5761-027-013
BUILDING USE: SINGLE FAMILY RESIDENCE
BUILDING HEIGHT: (E) BUILDING HEIGHT ± 36'-8"
ZONING: H & RL (R-H)
LOT SIZE: 44,431.2 SF (1.02 ± ACRES)

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44,431.2 - 11,000 = 33,431
33,431 x 10% = 3,343.1 S.F.
TOTAL ALLOWABLE: 3,300 + 3,343 = (6,643 S.F.) MAX:
6,500 S.F.
TOTAL AREA: 4,566 S.F.

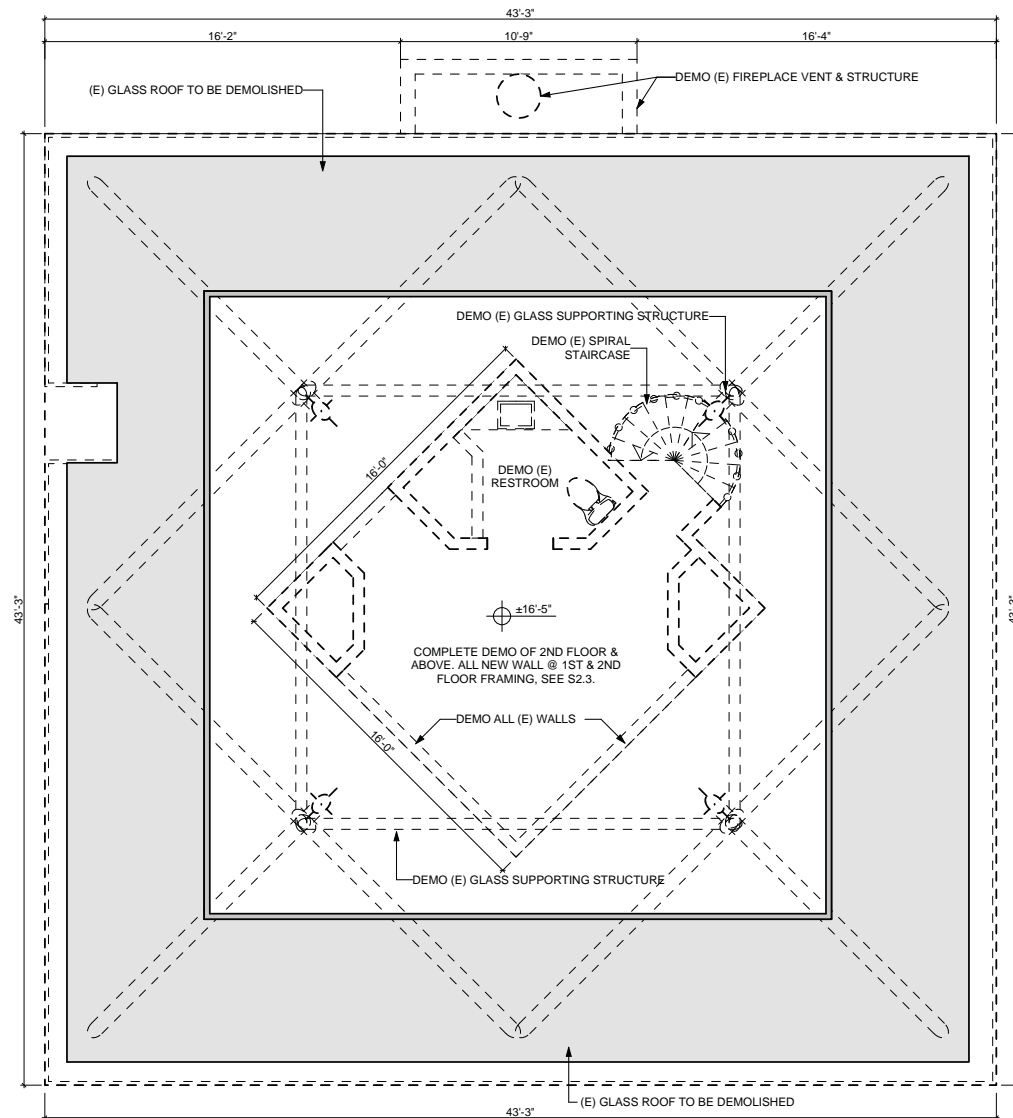
PROJECT SUMMARY

(E) AREA CALCULATION:

PRIMARY STRUCTURE
(E) GROUND FLOOR 1,780 S.F.
(E) FIRST FLOOR 1,252 S.F.
(E) SECOND FLOOR 256 S.F.
TOTAL: 3,284 S.F.
SECOND UNIT (NO CHANGE)
(E) GUEST HOUSE 737 S.F.
(E) 1 CAR GARAGE 266 S.F.
TOTAL: 1,003 S.F.

(N) AREA CALCULATION:

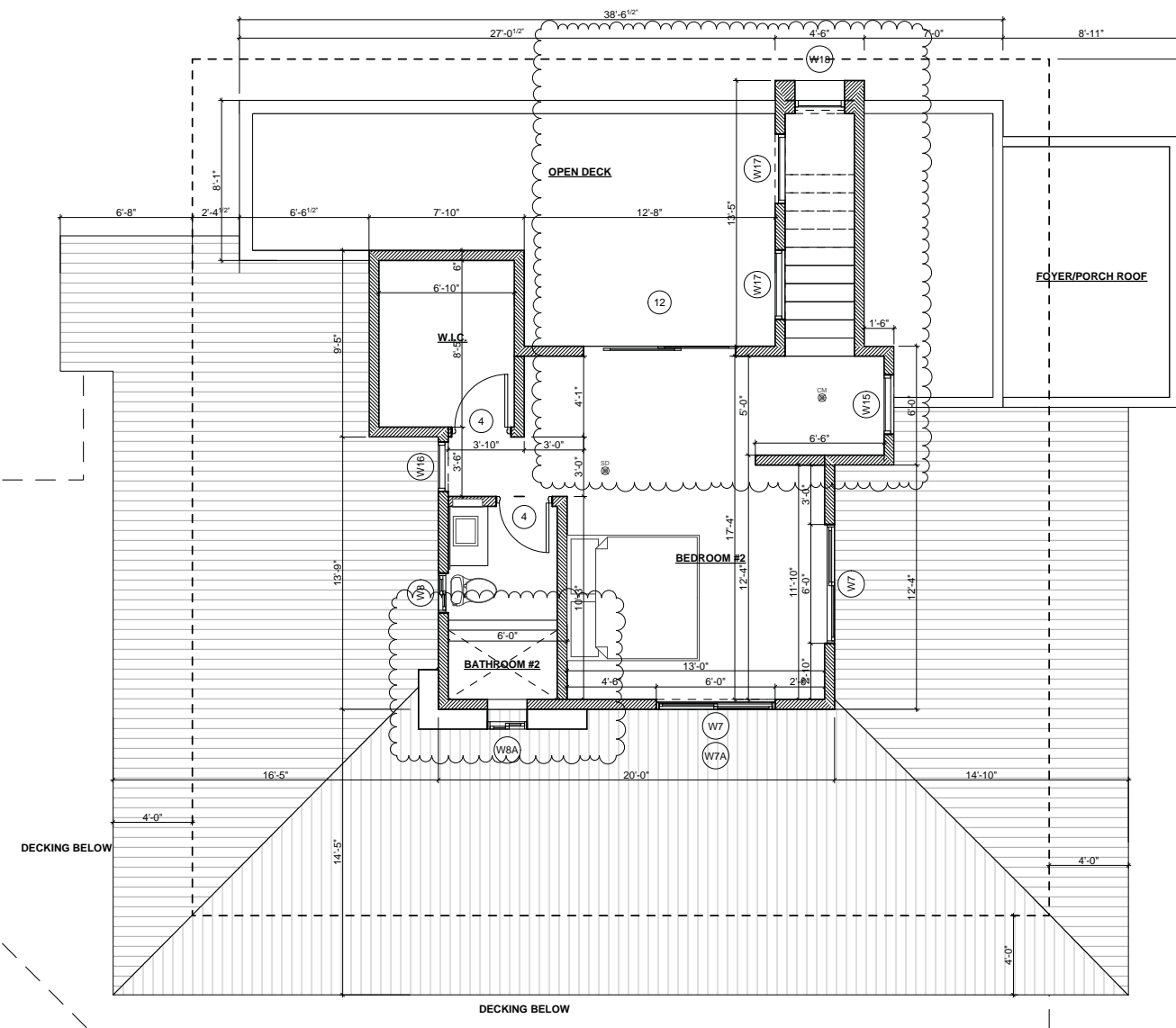
PRIMARY STRUCTURE
(E) GROUND FLOOR 1,780 S.F.
(N) FIRST FLOOR 1,391 S.F.
(N) SECOND FLOOR 392 S.F.
TOTAL: 3,563 S.F.
SECOND UNIT (NO CHANGE)
(E) GUEST HOUSE 737 S.F.
(E) 1 CAR GARAGE 266 S.F.
TOTAL: 1,003 S.F.



SECOND FLOOR EXISTING / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

2



SECOND FLOOR PROPOSED PLAN

SCALE: 1/4" = 1'-0"

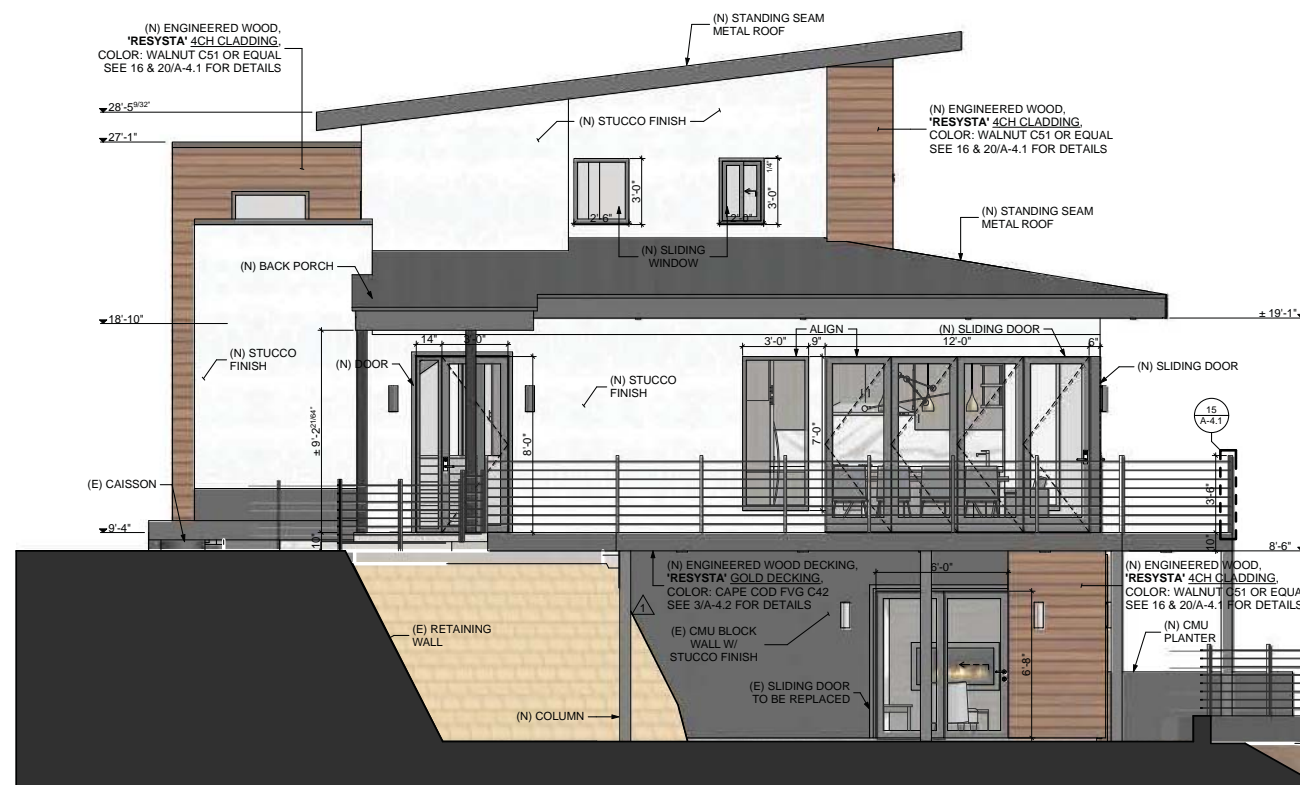
1



FW DESIGN
FIONA WU
P.O. BOX 80701, SAN MARINO CA 91118
TEL: 626.354.4649 E-MAIL: fiona.s.wu@gmail.com

751 OAK CREST DRIVE
SIERRA MADRE, CA 91024

SECOND FLOOR EXISTING & PROPOSED PLANS



NORTHWEST ELEVATION

SCALE: 1/4" = 1'-0"

4

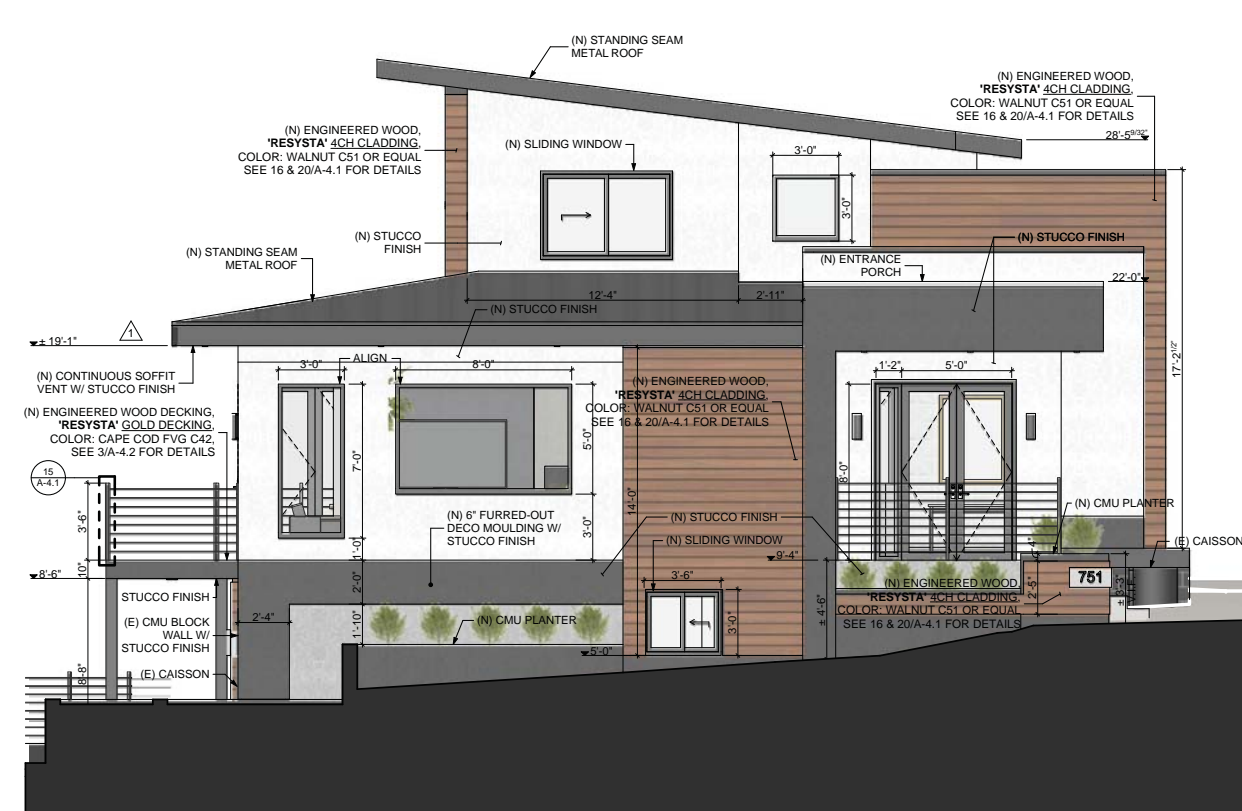


NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTHWEST ELEVATION



SOUTHEAST ELEVATION

SCALE: 1/4" = 1'-0"

1

EXTERIOR FINISH SCHEDULE

EXTERIOR WALL STUCCO

STCO-1	STUCCO FINISH COLOR (DARK GREY) 'LA HABRA' , <u>PAREX COLOR COLLECTION</u> , TUXEDO 3033L (12)
STCO-2	STUCCO FINISH COLOR (GREY) 'LA HABRA' , <u>PAREX COLOR COLLECTION</u> , PEWTER 3016L (29)
STCO-3	STUCCO FINISH COLOR (WHITE) 'LA HABRA' , STANDARD COLLECTION, DOVE GREY 40 (66) BASE 200

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SEMI

TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

JONATHAN TSANG

[illegible]

PROJECT #:	000
SCALE:	AS SHOWN
DATE:	2/17/2020
DRAWN BY:	FW
CHECKED BY:	FW
SHEET TITLE:	

EXTERIOR ELEVATIONS

SHEET NO.

A-3.1



751 OAK CREST DRIVE SIERRA MADRE, CA 91024



FW DESIGN
FIONA WU
P.O. BOX 80701, SAN MARINO CA 91118
TEL: 626.354.4649 E-MAIL: fiona.s.wu@gmail.com

TSANG RESIDENCE

2/17/2020

EXTERIOR 3D VIEW



751 OAK CREST DRIVE SIERRA MADRE, CA 91024

2/17/2020

EXTERIOR 3D VIEW



FW DESIGN
 FIONA WU
 P.O. BOX 80701, SAN MARINO CA 91118
 TEL: 626.354.4649 E-MAIL: fiona.s.wu@gmail.com

TSANG RESIDENCE

2



751 OAK CREST DRIVE SIERRA MADRE, CA 91024



FW DESIGN
FIONA WU
P.O. BOX 80701, SAN MARINO CA 91118
TEL: 626.354.4649 E-MAIL: fiona.s.wu@gmail.com

TSANG RESIDENCE

2/17/2020

EXTERIOR 3D VIEW



751 OAK CREST DRIVE SIERRA MADRE, CA 91024



FW DESIGN
FIONA WU
P.O. BOX 80701, SAN MARINO CA 91118
TEL: 626.354.4649 E-MAIL: fiona.s.wu@gmail.com

TSANG RESIDENCE

2/17/2020

EXTERIOR 3D VIEW



751 OAK CREST DRIVE SIERRA MADRE, CA 91024



FW DESIGN
FIONA WU
P.O. BOX 80701, SAN MARINO CA 91118
TEL: 626.354.4649 E-MAIL: fiona.s.wu@gmail.com

TSANG RESIDENCE

2/17/2020
EXTERIOR 3D VIEW



MATERIAL LEGEND

STCO-1	STUCCO FINISH COLOR (DARK GREY) 'LA HABRA', PAREX COLOR COLLECTION, TUXEDO 3033L
STCO-2	STUCCO FINISH COLOR (GREY) 'LA HABRA', STANDARD COLLECTION, TITANIUM P-1661
STCO-3	STUCCO FINISH COLOR (WHITE) 'LA HABRA', STANDARD COLLECTION, CRYSTAL WHITE X-50
FIBRE	FIBER CEMENT PANEL 'NICHHA' VINTAGEWOOD, AWP 1818, COLOR: CEDAR

EWD-1	(N) ENGINEERED WOOD DECKING, 'RESYSTA' GOLD DECKING, COLOR: CAPE COD FVG C42
MTLR-1	STANDING SEAM METAL ROOF 'WESTERN LOCK STANDING SEAM', STANDARD, DARK BRONZE
LTG-A	LED CYLINDER WALL SCONCE 'SUNLITE', BLACK ALUMINUM WALL CYLINDER, 5000K
W & D	THERMALLY BROKEN ALUMINUM WINDOWS & DOORS DARK BRONZE ANODIZED FINISH

ATTACHMENT C :

APPROVED SET OF PLANS DATED SEPTEMBER



TSANG RESIDENCE
751 OAK CREST DRIVE, SIERRA MADRE, CA 91024

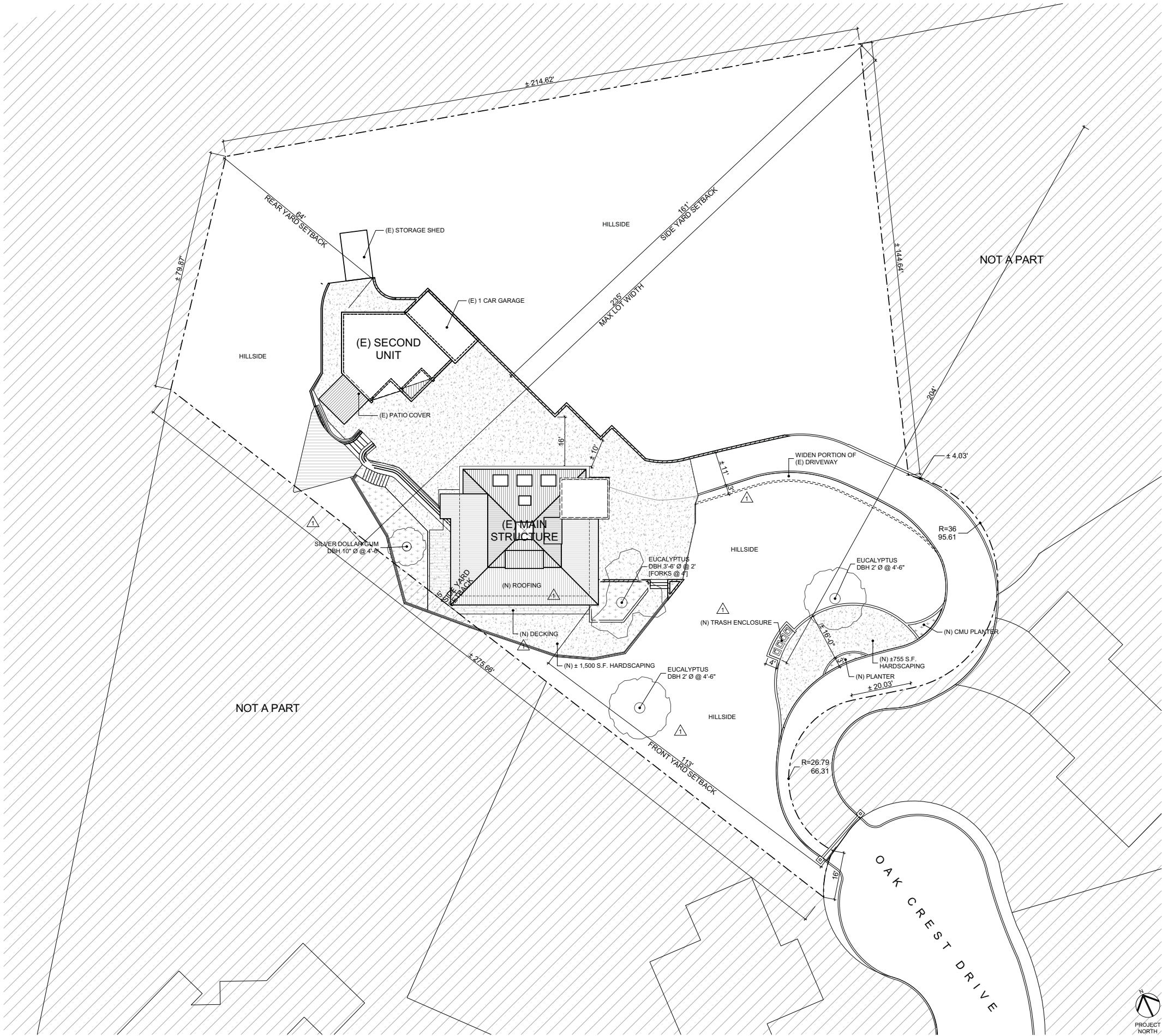


FW DESIGN
FIONA WU, DESIGNER fiona.s.wu@gmail.com

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SITE PLAN
SCALE: 1/16" = 1'-0"

1

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SEAL

TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

PROJECT

NO.	SUBMITTALS / REVISIONS	DATE
1	1ST PLANNING PLAN CHECK	08/09/17
2	2ND PLANNING RESUBMITAL	09/19/17
3	1ST BUILDING PLAN CHECK	04/23/18
4	2ND BLDING SUBMITTAL	08/14/18
5	3RD BLDING SUBMITTAL	12/15/18

PROJECT #: 000
SCALE: AS SHOWN
DATE: 5/15/2019
DRAWN BY: FW
CHECKED BY: FW
SHEET TITLE:

SITE PLAN (FOR
REFERENCE ONLY)

SHEET NO:

A-1.1



FW DESIGN
FIONA WUI DESIGNER fiona.wui@gmail.com
P.O. BOX 80701, SAN MARINO, CA 91118 PHONE: 626.354.4649

JONATHAN TSANG
751 OAK CREST DRIVE SIERRA MADRE CA 91024

CURT

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CONTRACTOR TO PROVIDE SHORING AS REQUIRED FOR MODIFICATION / DEMOLITION OF LOAD BEARING WALLS. REFER TO STRUCTURAL DRAWINGS FOR REINFORCEMENT INFORMATION.

CONTRACTOR TO VERIFY EXISTING CONDITIONS AND SHALL MATCH EXISTING SUBGRADE AND SLAB SPECS FOR ALL BACKFILL AND FILL-IN SLABS

CONTRACTOR TO VERIFY SITE CONDITIONS

IF ANY SPECIFICATION DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DWGS, CONTACT FOR CLARIFICATION

DEMOLITION NOTES:

1. REMOVAL AS DESCRIBED HEREIN SHALL BE ACCOMPLISHED WITHOUT STORING ON THE FLOOR EXCESSIVE QUANTITIES OF ANY MATERIALS, RUBBISH, DIRT, DEBRIS, OR WASTE OF ANY SORT RESULTING FROM THE REMOVAL OPERATIONS ON THE FLOOR.
2. ALL DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION SITE DAILY.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO MAINTAIN FREE PROTECTED ACCESS OF ALL TENANTS, SERVICE PERSONNEL AND THE PUBLIC THROUGH THE AREAS INVOLVED.
4. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING MANAGEMENT REGULATIONS AS APPLICABLE.
5. THE CONTRACTOR SHALL REMOVE ALL PIPE SLEEVES PROJECTING THROUGH SLAB, PATCH ALL PENETRATIONS, HOLES, ETC.
6. ALL PIPES AND CONDUITS IN WALLS THAT ARE TO BE DEMOLISHED ARE TO BE REMOVED AND/ OR RELOCATED AS REQUIRED.
7. THE CONTRACTOR SHALL COORDINATE REMOVAL OF ALL EXISTING TELEPHONE EQUIPMENT WITH TELEPHONE COMPANY AND OWNER.
8. REFER TO ALL OTHER PLANS INCLUDING, BUT NOT LIMITED TO ENGINEERING, COMMUNICATION, ETC., FOR SCOPE OF WORK TO BE INCLUDED IN BID AND PRIOR TO COMMENCEMENT OF DEMOLITION.
9. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES AND PERFORM ALL OPERATIONS REQUIRED FOR COMPLETE INTERIOR DEMOLITION AND RELATED WORK AS DESCRIBED AND SPECIFIED HEREIN, AND AS MAY BE REASONABLY IMPLIED AS NECESSARY TO COMPLETE THE WORK IN ALL RESPECTS.
10. WORK SHALL CONFORM TO THE LATEST EDITION OF ALL APPLICABLE REFERENCE SPECIFICATIONS AND TO GOVERNING BUILDING CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
11. JOBSITE INSPECTION MUST BE CONDUCTED TO EXAMINE EXISTING CONDITIONS, TO DETERMINE NATURE AND SCOPE OF WORK OR ANY DIFFICULTIES THAT MIGHT ARISE AT TIME OF WORK. IN ADDITION, EXAMINE ALL WORK THAT IS INTENDED TO REMAIN AS PART OF THE COMPLETED PROJECT AND REPORT ALL UNSATISFACTORY CONDITIONS TO OWNER PRIOR TO COMMENCEMENT OF WORK. EXERCISE EXTREME CARE DURING DEMOLITION SO AS NOT TO DAMAGE CONSTRUCTION AND OTHER STRUCTURES THAT ARE INTENDED TO REMAIN. ANYTHING DAMAGED AT TIME OF WORK IS TO BE REPAIRED AND/ OR REPLACED TO MATCH EXISTING CONSTRUCTION AT CONTRACTORS EXPENSE.
12. REFER TO ENGINEERING, AND / OR COMMUNICATIONS DRAWINGS FOR EXISTING ITEM/ SYSTEMS TO REMAIN (DUCTWORK, SPRINKLERS, PLUMBING RISERS, TELE/ ELEC. FEEDS AND PANELS, ETC.). ALL ITEMS NOT SCHEDULED FOR REUSE SHALL BE DEMOLISHED.
13. CONTRACTOR TO PROVIDE DUST BARRIER FOR PROTECTION OF EXISTING AREAS TO REMAIN AS REQUIRED.
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16. REMOVE ALL FLOORING MATERIALS, WALL BASE, WALLCOVERING, WOODWORK AND OTHER FINISH ITEMS UNLESS OTHERWISE NOTED.
17. REMOVE ALL CEILING SUSPENSION SYSTEMS, LIGHT FIXTURES AND ASSORTED ITEMS (ELECTRICAL FEEDS NO LONGER REQUIRED, HANGERS, ETC.), UNLESS OTHERWISE NOTED. PATCH SLAB TO MAINTAIN FIREPROOFING REQUIREMENTS.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF EXISTING PARTITIONS, MOLDINGS, BASES (RUBBER, VINYL, METAL, CONCRETE, ETC.), SUSPENDED CEILINGS, LIGHT FIXTURES, SWITCHES, DOOR AND BUCKS, HARDWARE, ETC., AND ALL OTHER ITEMS REQUIRED TO BE DEMOLISHED TO ACCOMMODATE THE SCOPE OF WORK FOR NEW CONSTRUCTION.

WALL LEGEND:

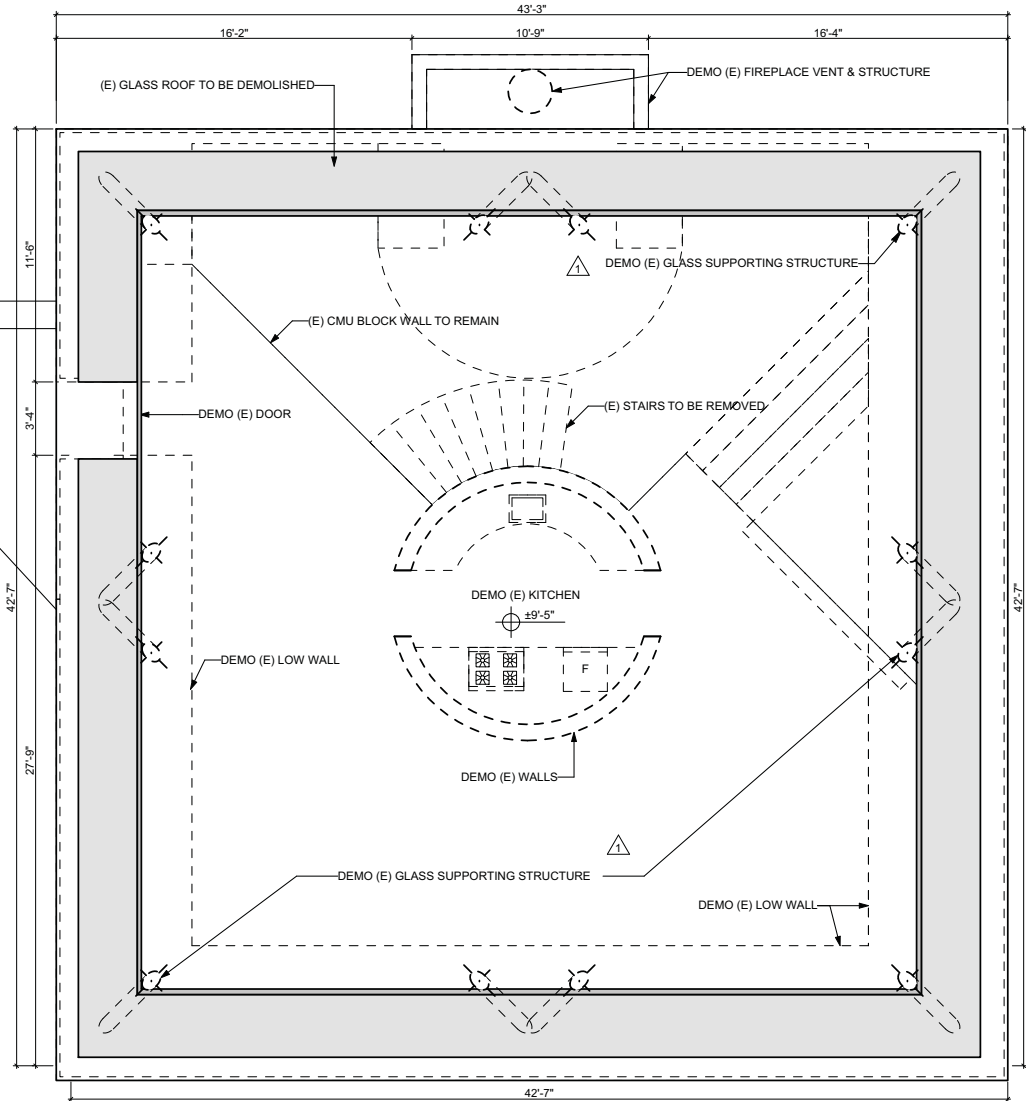
- EXISTING CMU WALL TO REMAIN
- EXISTING INTERIOR WALL TO REMAIN
- INTERIOR WALLS TO BE DEMOLISHED

PROJECT INFORMATION

(E) AREA CALCULATION:

PRIMARY STRUCTURE	
(E) GROUND FLOOR	1,780 S.F.
(E) FIRST FLOOR	1,252 S.F.
(E) SECOND FLOOR	256 S.F.
TOTAL:	3,284 S.F.

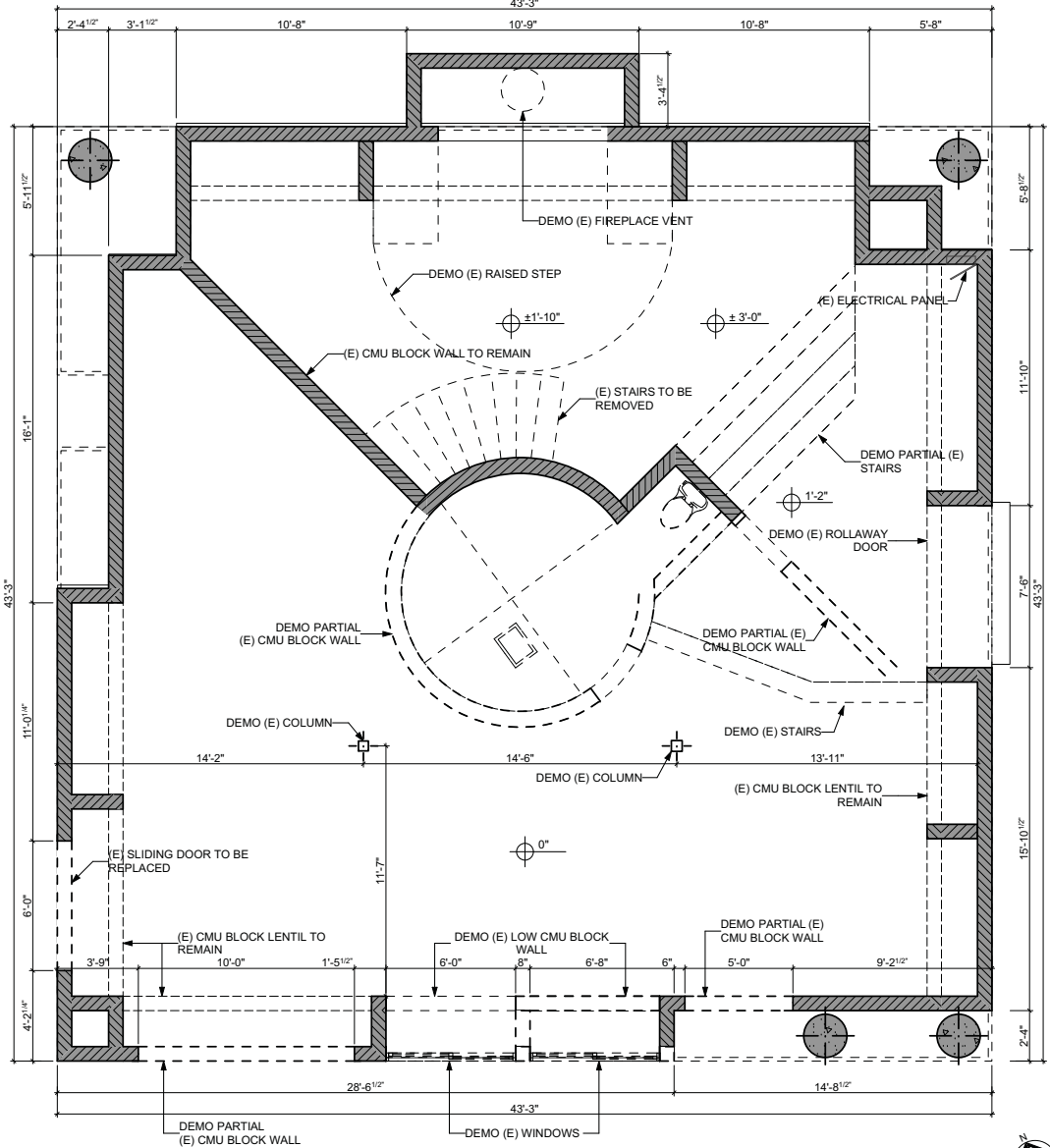
SECOND UNIT (NO CHANGE)	
(E) GUEST HOUSE	737 S.F.
(E) 1 CAR GARAGE	266 S.F.
TOTAL:	1,003 S.F.



FIRST FLOOR EXISTING / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

2



GROUND FLOOR EXISTING / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

1

TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

PROJECT: 000
CLIENT: JONATHAN TSANG
751 OAK CREST DRIVE SIERRA MADRE CA 91024

NO.	SUBMITTALS / REVISIONS	DATE
1	1ST PLANNING PLAN CHECK	08/09/17
2	2ND PLANNING RESUBMITTAL	09/19/17
3	1ST BUILDING PLAN CHECK	04/23/18
4	2ND BLDG SUBMITTAL	08/14/18
5	3RD BLDG SUBMITTAL	12/15/18

PROJECT #: 000
SCALE: AS SHOWN
DATE: 12/14/2018
DRAWN BY: FW
CHECKED BY: FW

SHEET TITLE:
GROUND & FIRST FLOOR EXISTING / DEMOLITION PLAN

SHEET NO:

A-2.0

CONTRACTOR TO PROVIDE SHORING AS REQUIRED FOR MODIFICATION / DEMOLITION OF LOAD BEARING WALLS. REFER TO STRUCTURAL DRAWINGS FOR REINFORCEMENT INFORMATION.

CONTRACTOR TO VERIFY EXISTING CONDITIONS AND SHALL MATCH EXISTING SUBGRADE AND SLAB SPECS FOR ALL BACKFILL AND FILL-IN SLABS

CONTRACTOR TO VERIFY SITE CONDITIONS

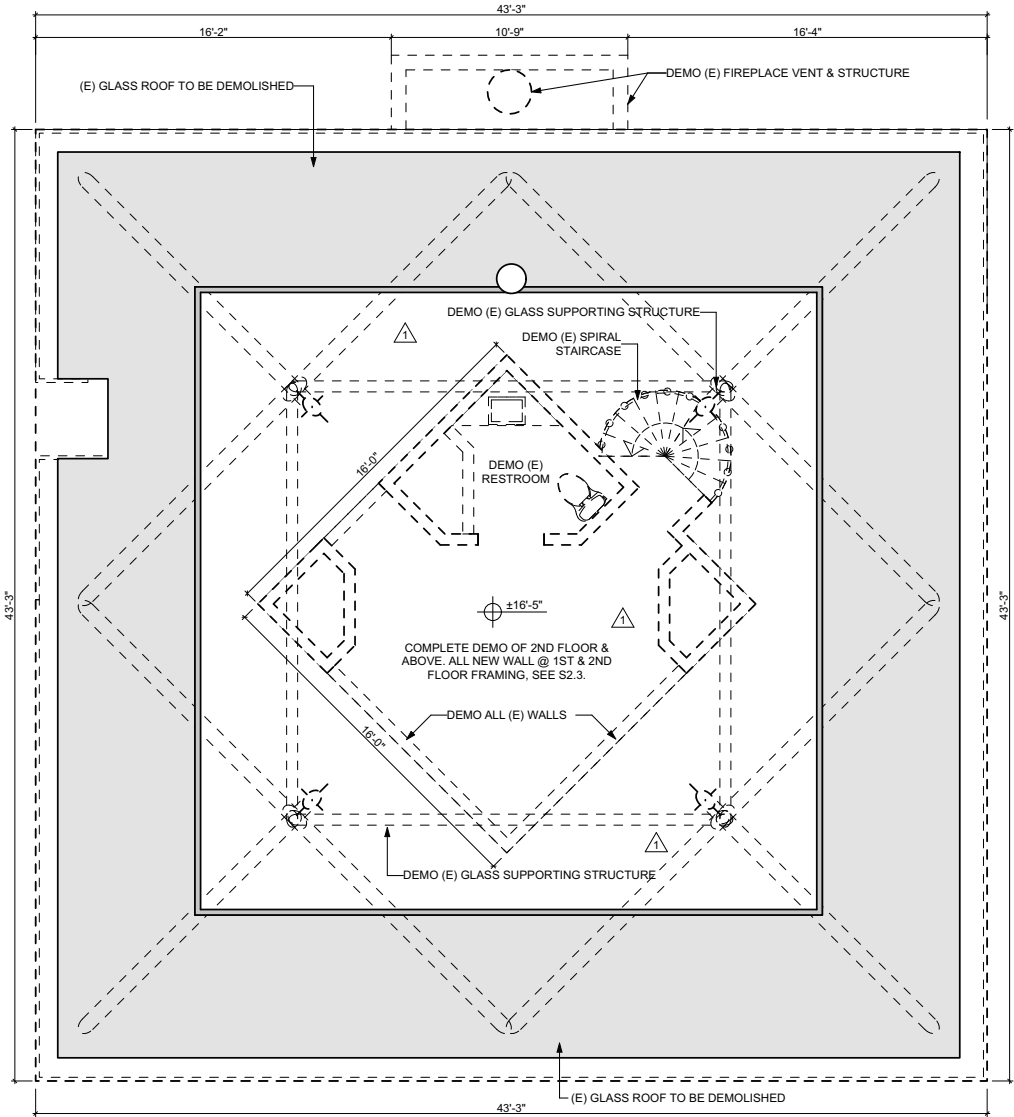
IF ANY SPECIFICATION DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DWGS, CONTACT FOR CLARIFICATION

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WALL LEGEND:

- EXISTING CMU WALL TO REMAIN
- EXISTING INTERIOR WALL TO REMAIN
- INTERIOR WALLS TO BE DEMOLISHED



SECOND FLOOR EXISTING / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

1

PROJECT INFORMATION

(E) AREA CALCULATION:

PRIMARY STRUCTURE	
(E) GROUND FLOOR	1,780 S.F.
(E) FIRST FLOOR	1,252 S.F.
(E) SECOND FLOOR	256 S.F.
TOTAL:	3,284 S.F.

SECOND UNIT (NO CHANGE)	
(E) GUEST HOUSE	737 S.F.
(E) 1 CAR GARAGE	266 S.F.
TOTAL:	1,003 S.F.

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SEAL

TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

PROJECT

NO.	SUBMITTALS / REVISIONS	DATE
1	1ST PLANNING PLAN CHECK	08/09/17
2	2ND PLANNING RESUBMITAL	09/19/17
3	1ST BUILDING PLAN CHECK	04/23/18
4	2ND BLDING SUBMITTAL	08/14/18
5	3RD BLDING SUBMITTAL	12/5/18

PROJECT #: 000
SCALE: AS SHOWN
DATE: 12/4/2018
DRAWN BY: FW
CHECKED BY: FW

SHEET TITLE:
SECOND FLOOR
EXISTING /
DEMOLITION PLAN

SHEET NO:

A-2.1



FW DESIGN
P.O. BOX 80701, SAN MARINO, CA 91118
PHONE: 626.354.4649

JONATHAN TSANG
751 OAK CREST DRIVE SIERRA MADRE CA 91024

CONTRACTOR TO VERIFY SITE CONDITIONS

IF ANY SPECIFICATION DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DWGS, CONTACT FOR CLARIFICATION

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PROJECT INFORMATION

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SECOND UNIT (NO CHANGE)
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(E) 1 CAR GARAGE 266 S.F.
TOTAL 1,003 S.F.

(N) AREA CALCULATION:

PRIMARY STRUCTURE
(E) GROUND FLOOR 1,780 S.F.
(N) FIRST FLOOR 1,391 S.F.
(N) SECOND FLOOR 392 S.F.
TOTAL 3,563 S.F.

SECOND UNIT (NO CHANGE)
(E) GUEST HOUSE 737 S.F.
(E) 1 CAR GARAGE 266 S.F.
TOTAL 1,003 S.F.

DEMOLITION NOTES:

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GENERAL NOTES:

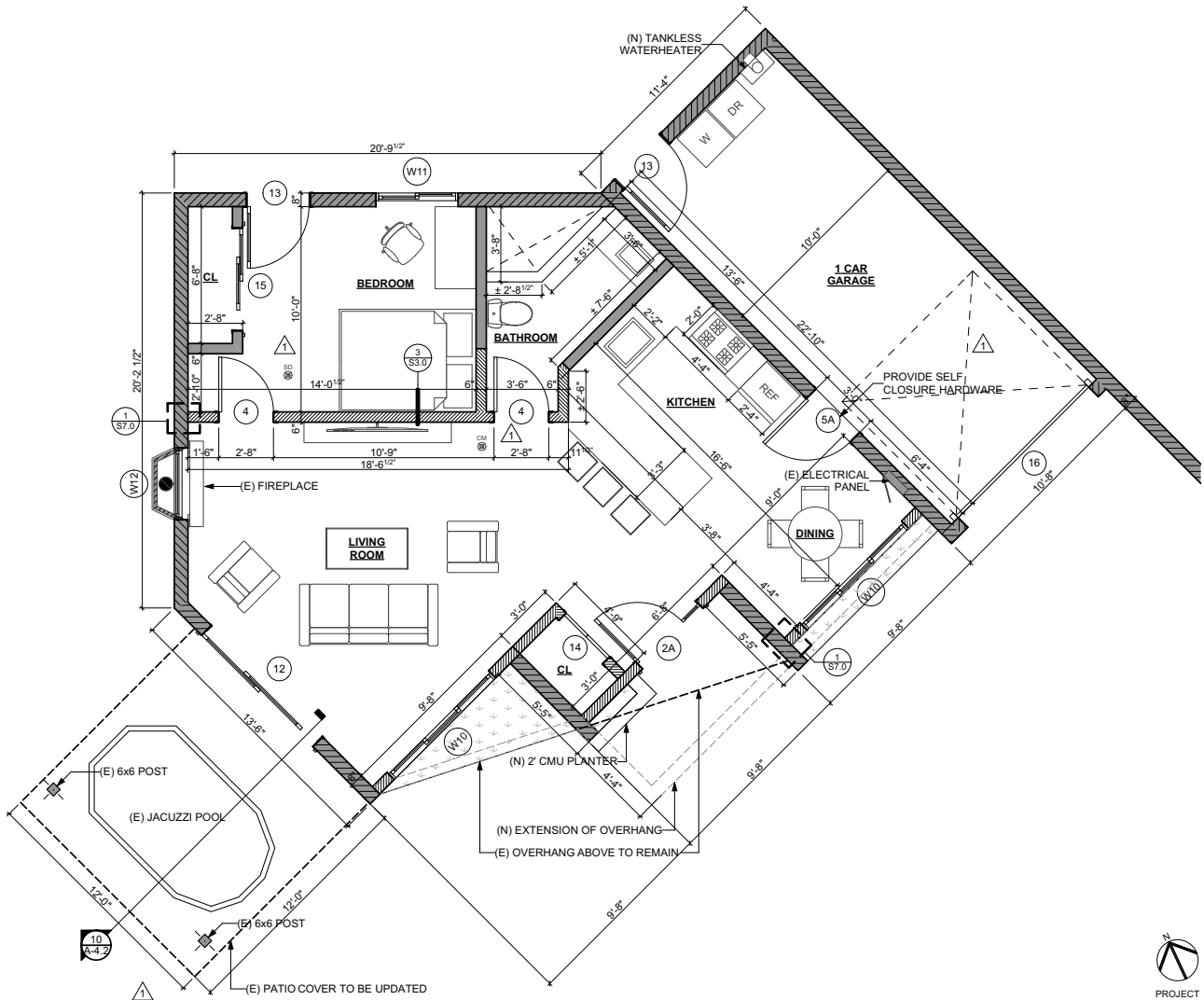
- REFER TO REFLECTED CEILING PLANS FOR LOCATIONS OF LIGHT FIXTURES.
- VERIFY EXISTING BUILDING DIMENSIONS AND ELEVATIONS IN THE FIELD AND NOTIFY DESIGNER OF ANY MAJOR DISCREPANCIES PRIOR TO STARTING WORK.
- CONTRACTOR TO VERIFY IN FIELD REQUIRED RATINGS @ (E) DEMISING WALLS AND CEILINGS AND PROVIDE (N) GYPSUM BOARD AND/OR FURRING NECESSARY TO ACHIEVE REQUIRED RATING.
- CONTRACTOR SHALL SUBMIT MILLWORK SHOP DRAWINGS FOR DESIGNER'S APPROVAL PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY (V.I.F.) EXISTING SLAB AND PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE THAT ALL FLOORS ARE SMOOTH, LEVEL AND FLUSH.
- CONTRACTOR TO REMOVE GYPSUM BOARD AT EXISTING PARTITION WALLS WHERE REQUIRED TO INSTALL ELECTRICAL CONDUIT OR BLOCKING. CONTRACTORS TO PATCH WALLS AND PAINT WALLS.

WALL LEGEND:

- EXISTING CMU WALL TO REMAIN
- NEW 2x6 EXTERIOR STUD WALL
- NEW 2x4 INTERIOR STUD WALL
- NEW 2x4 INTERIOR LOW WALL
- EXISTING INTERIOR WALL TO REMAIN

FLOOR PLAN LEGEND:

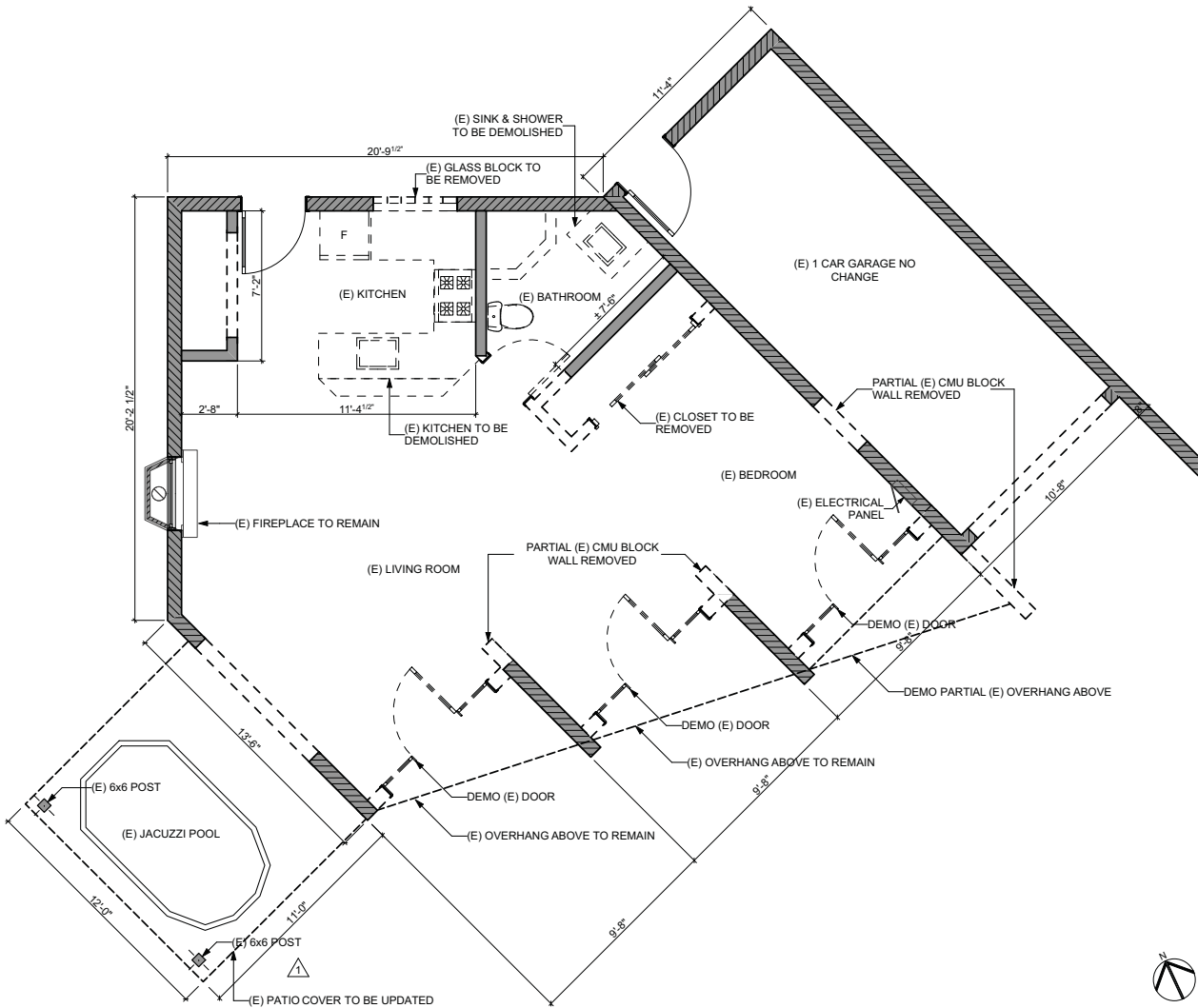
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR



SECOND UNIT PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

2



SECOND UNIT EXISTING / DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

1

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TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

NO.	SUBMITTALS / REVISIONS	DATE
1	1ST PLANNING PLAN CHECK	08/09/17
2	2ND PLANNING RESUBMITTAL	09/19/17
3	1ST BUILDING PLAN CHECK	04/23/18
4	2ND BLDG SUBMITTAL	08/14/18
5	3RD BLDG SUBMITTAL	12/15/18

PROJECT # 000
SCALE: AS SHOWN
DATE: 12/14/2018
DRAWN BY: FW
CHECKED BY: FW
SHEET TITLE:

EXISTING / DEMO & PROPOSED PLAN (2ND UNIT)

SHEET NO:

A-2.2



CONTRACTOR TO VERIFY SITE CONDITIONS

IF ANY SPECIFICATION DISCREPANCIES
BETWEEN ARCHITECTURAL AND
ENGINEERING DWGS, CONTACT FOR
CLARIFICATION

GENERAL NOTES:

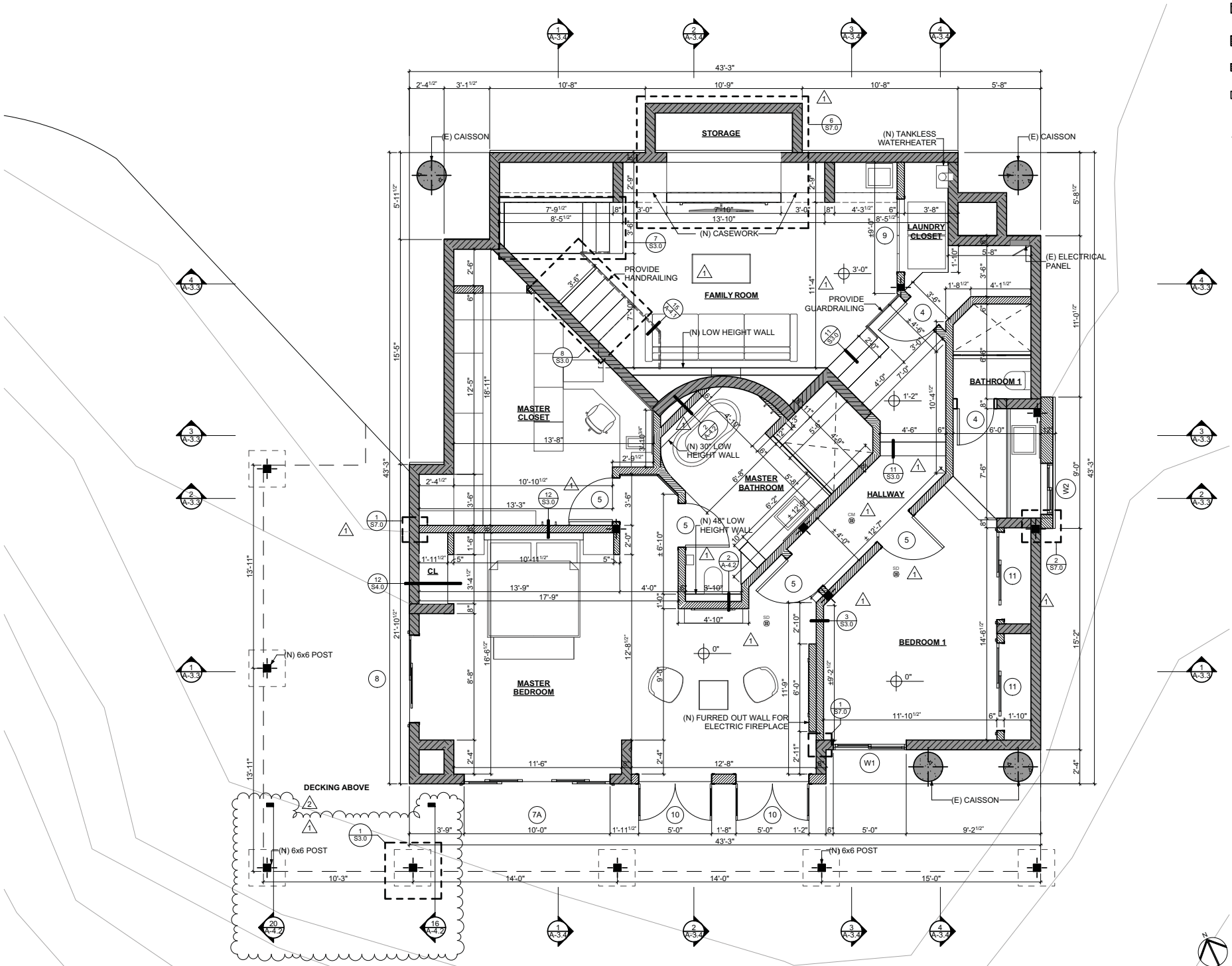
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WALL LEGEND:

- EXISTING CMU WALL TO REMAIN
- NEW 2x6 EXTERIOR STUD WALL
- NEW 2x4 INTERIOR STUD WALL
- NEW 2x4 INTERIOR LOW WALL

FLOOR PLAN LEGEND:

- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR



GROUND FLOOR PROPOSED PLAN

SCALE: 1/4" = 1'-0"

1

PROJECT INFORMATION
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PROJECT: 000
CLIENT: JONATHAN TSANG
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5	3RD BLDING SUBMITTAL	12/5/18

PROJECT #: 000
SCALE: AS SHOWN
DATE: 12/4/2018
DRAWN BY: FW
CHECKED BY: FW
SHEET TITLE:

GROUND FLOOR
PROPOSED PLAN

SHEET NO:
A-2.3

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GENERAL NOTES:

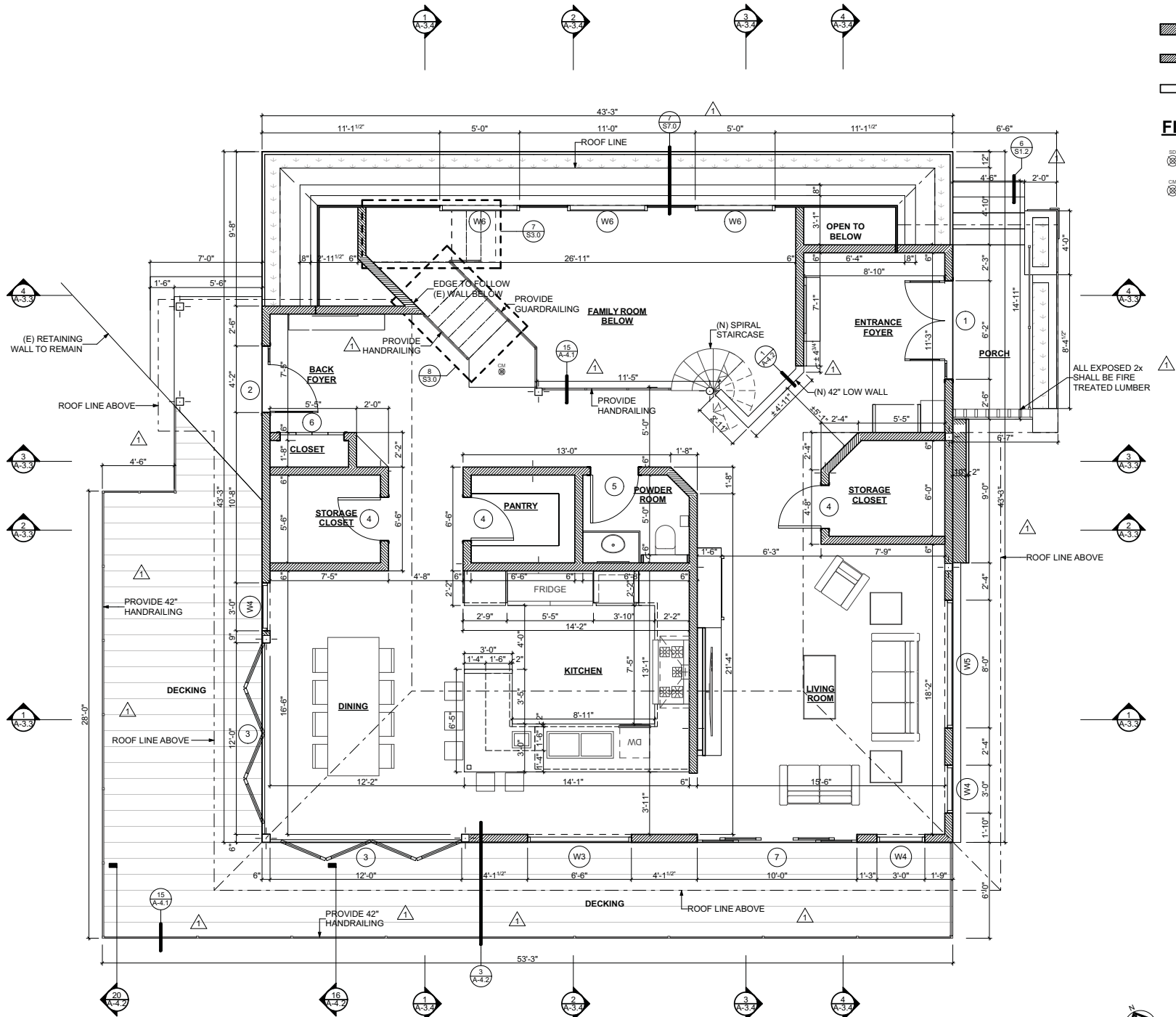
1. RREFER TO REFLECTED CEILING PLANS FOR LOCATIONS OF LIGHT FIXTURES.
2. VERIFY EXISTING BUILDING DIMENSIONS AND ELEVATIONS IN THE FIELD AND NOTIFY DESIGNER OF ANY MAJOR DISCREPANCIES PRIOR TO STARTING WORK.
3. CONTRACTOR TO VERIFY IN FIELD REQUIRED RATINGS @ (E) DEMISING WALLS AND CEILINGS AND PROVIDE (N) GYPSUM BOARD AND/OR FURRING NECESSARY TO ACHIEVE REQUIRED RATING.
4. CONTRACTOR SHALL SUBMIT MILLWORK SHOP DRAWINGS FOR DESIGNER'S APPROVAL PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO VERIFY (V.I.F.) EXISTING SLAB AND PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE THAT ALL FLOORS ARE SMOOTH, LEVEL AND FLUSH.
6. CONTRACTOR TO REMOVE GYPSUM BOARD AT EXISTING PARTITION WALLS WHERE REQUIRED TO INSTALL ELECTRICAL CONDUIT OR BLOCKING. CONTRACTORS TO PATCH WALLS AND PAINT WALLS.

WALL LEGEND:

- EXISTING CMU WALL TO REMAIN
- NEW 2x6 EXTERIOR STUD WALL
- NEW 2x4 INTERIOR STUD WALL
- NEW 2x4 INTERIOR LOW WALL

FLOOR PLAN LEGEND:

- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR



FIRST FLOOR PROPOSED PLAN

SCALE: 1/4" = 1'-0"

PROJECT INFORMATION
(N) AREA CALCULATION:

PRIMARY STRUCTURE	
(E) GROUND FLOOR	1,780 S.F.
(N) FIRST FLOOR	1,391 S.F.
(N) SECOND FLOOR	392 S.F.
TOTAL:	3,563 S.F.
SECOND UNIT (NO CHANGE)	
(E) GUEST HOUSE	737 S.F.
(E) 1 CAR GARAGE	266 S.F.
TOTAL:	1,003 S.F.

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SEAL

TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

PROJECT

NO.	SUBMITTALS / REVISIONS	DATE
1	1ST PLANNING PLAN CHECK	08/09/17
2	2ND PLANNING RESUBMITAL	09/19/17
3	1ST BUILDING PLAN CHECK	04/23/18
4	2ND BLDING SUBMITTAL	08/14/18
5	3RD BLDING SUBMITTAL	12/5/18

PROJECT #:

SCALE:

DATE:

DRAWN BY:

CHECKED BY:

SHEET TITLE:

FIRST FLOOR
PROPOSED PLAN

SHEET NO:

A-2.4

CONTRACTOR TO VERIFY SITE CONDITIONS

IF ANY SPECIFICATION DISCREPANCIES
BETWEEN ARCHITECTURAL AND
ENGINEERING DWGS, CONTACT FOR
CLARIFICATION

GENERAL NOTES:

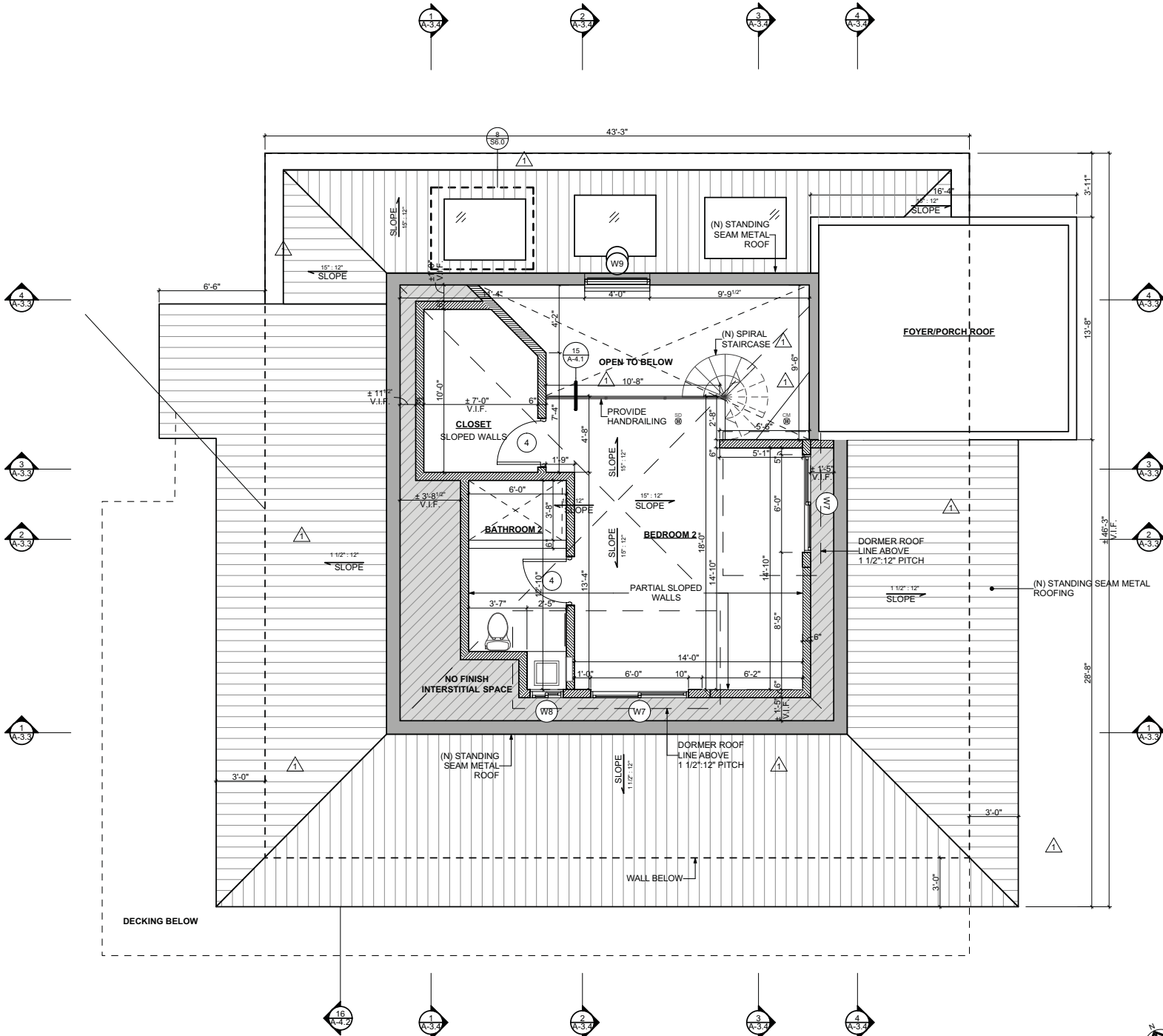
1. RREFER TO REFLECTED CEILING PLANS FOR LOCATIONS OF LIGHT FIXTURES.
2. VERIFY EXISTING BUILDING DIMENSIONS AND ELEVATIONS IN THE FIELD AND NOTIFY DESIGNER OF ANY MAJOR DISCREPANCIES PRIOR TO STARTING WORK.
3. CONTRACTOR TO VERIFY IN FIELD REQUIRED RATINGS @ (E) DEMISING WALLS AND CEILINGS AND PROVIDE (N) GYPSUM BOARD AND/OR FURRING NECESSARY TO ACHIEVE REQUIRED RATING.
4. CONTRACTOR SHALL SUBMIT MILLWORK SHOP DRAWINGS FOR DESIGNER'S APPROVAL PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO VERIFY (V.I.F.) EXISTING SLAB AND PROVIDE FLOOR LEVELING AS REQUIRED TO INSURE THAT ALL FLOORS ARE SMOOTH, LEVEL AND FLUSH.
6. CONTRACTOR TO REMOVE GYPSUM BOARD AT EXISTING PARTITION WALLS WHERE REQUIRED TO INSTALL ELECTRICAL CONDUIT OR BLOCKING. CONTRACTORS TO PATCH WALLS AND PAINT WALLS.

WALL LEGEND:

- EXISTING CMU WALL TO REMAIN
- NEW 2x6 EXTERIOR STUD WALL
- NEW 2x4 INTERIOR STUD WALL
- NEW 2x4 INTERIOR LOW WALL

FLOOR PLAN LEGEND:

- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR



SECOND FLOOR PROPOSED PLAN

SCALE: 1/4" = 1'-0"



PROJECT INFORMATION

(N) AREA CALCULATION:

PRIMARY STRUCTURE	
(E) GROUND FLOOR	1,780 S.F.
(N) FIRST FLOOR	1,391 S.F.
(N) SECOND FLOOR	392 S.F.
TOTAL:	3,563 S.F.
SECOND UNIT (NO CHANGE)	
(E) GUEST HOUSE	737 S.F.
(E) 1 CAR GARAGE	266 S.F.
TOTAL:	1,003 S.F.

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SEAL

TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

PROJECT

NO.	SUBMITTALS / REVISIONS	DATE
1	1ST PLANNING PLAN CHECK	08/09/17
2	2ND PLANNING RESUBMITAL	09/19/17
3	1ST BUILDING PLAN CHECK	04/23/18
4	2ND BLDING SUBMITTAL	08/14/18
5	3RD BLDING SUBMITTAL	12/5/18

PROJECT #:

SCALE:

DATE:

DRAWN BY:

CHECKED BY:

SHEET TITLE:

SECOND FLOOR
PROPOSED PLAN

SHEET NO:

A-2.5

PROJECT INFORMATION

(N) AREA CALCULATION:

PRIMARY STRUCTURE

(E) GROUND FLOOR

(N) FIRST FLOOR

(N) SECOND FLOOR

TOTAL:

SECOND UNIT (NO CHANGE)

(E) GUEST HOUSE

(E) 1 CAR GARAGE

TOTAL:

PROJECT INFORMATION

(N) AREA CALCULATION:

PRIMARY STRUCTURE

(E) GROUND FLOOR

(N) FIRST FLOOR

(N) SECOND FLOOR

TOTAL:

SECOND UNIT (NO CHANGE)

(E) GUEST HOUSE

(E) 1 CAR GARAGE

TOTAL:

CEILING LEGEND:

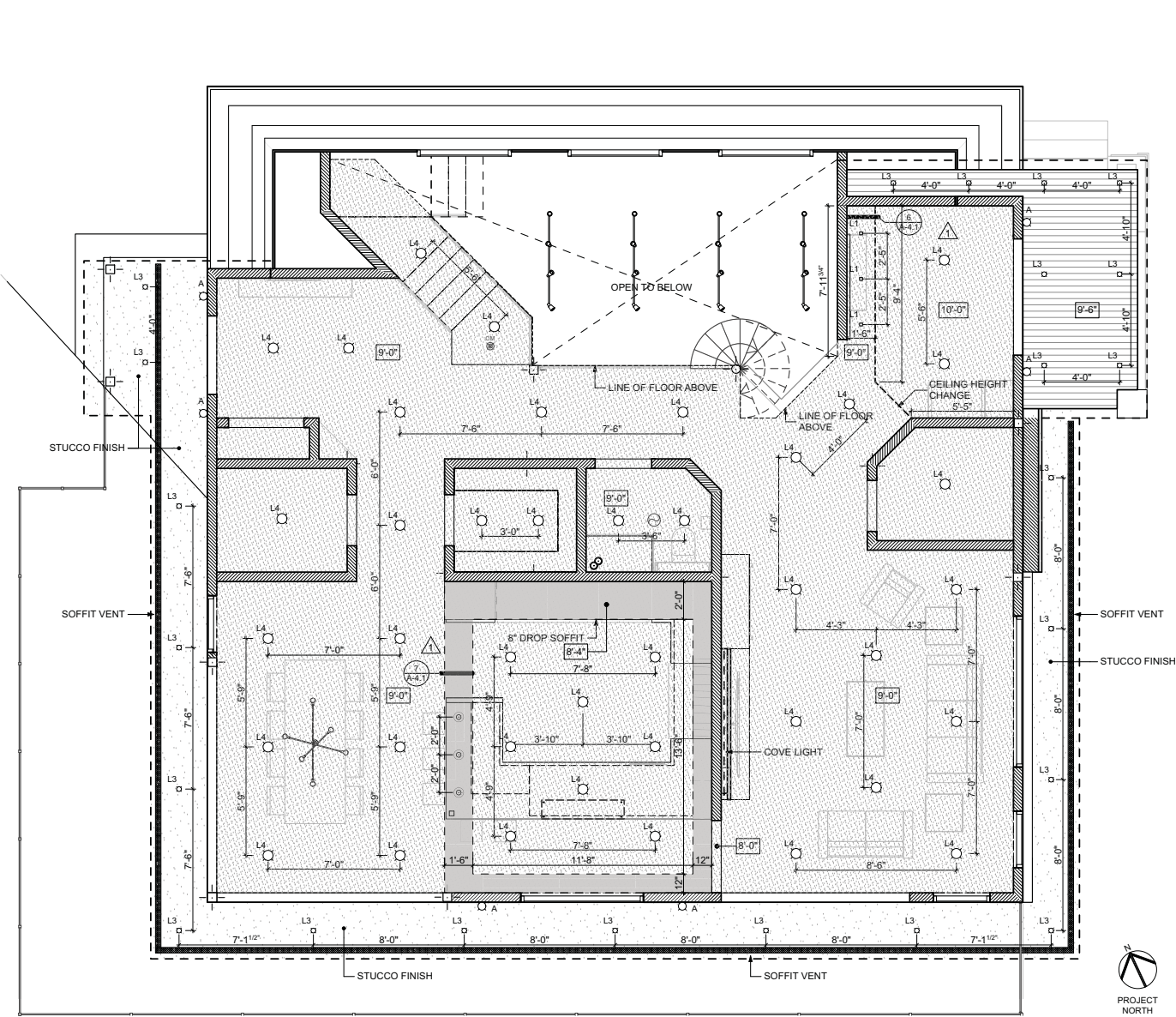
	5/8" TYPE 'X' GYPSUM BOARD CEILING, PAINTED COLOR (WHITE).
	STUCCO FINISH CEILING, 'LA HABRA', PAREX COLOR COLLECTION, PEWTER 3016L (29)
	ENGINEERED WOOD PLANK CLADDING SYSTEM 'RESYSTA' 4CH CLADDING, COLOR: WALNUT C51 CONTACT: TOM CZLAPINSKI, 909.393.2888, TOM@RSWDIST.COM
	CONTINUOUS VENT 'VULCAN' CONTINUOUS SOFFIT VENT, VSC2120
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

CONTRACTOR TO VERIFY SITE CONDITIONS

IF ANY SPECIFICATION DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DWGS, CONTACT FOR CLARIFICATION

LIGHTING LEGEND

TYPE	SYMBOL	QTY	DESCRIPTION	MANUFACTURER	SPEC	MOUNTING HEIGHT	NOTE / REMARKS	TYPE	SYMBOL	QTY	DESCRIPTION	MANUFACTURER	SPEC	MOUNTING HEIGHT	NOTE / REMARKS
A		11	LED CYLINDER WALL SCONCE	SEA GULL LIGHTING	8413891S-753, COLOR: BRUSHED NICKEL	VARIES		L3		23	3" DIA. LED RECESSED DOWNLIGHT			SEE PLAN	
B		1	CRYSTAL CHANDELIER			5'-6" A.F.F.		L4		146	6" DIA. LED RECESSED DOWNLIGHT	ELITE LIGHTING	B6-LED SERIES: 2000 LUMENS	SEE PLAN	CONTACT: KACEY TRAN, kacey@iuseelite.com, 323.895.8827
C		1	MOBILE CHANDELIER - GRAND	WEST ELM	COLOR: ANTIQUE BRASS	5'-6" A.F.F.	www.westelm.com	M		3	ACCENT PENDANT (MASTER BATH)			VARIES	
D		3	LED LINEAR SHOP LIGHT (GARAGE)			7'-0" A.F.F.		N		3	ACCENT PENDANT (2ND UNIT)			5'-6" A.F.F.	
E		3	MERWRY 52" CEILING FAN W/ LED LIGHT	HOME DECORATORS COLLECTION	SW1422, COLOR: NICKEL/BLACK	VARIES		O		1	LARGE LED PENDANT (2ND UNIT)			5'-6" A.F.F.	
F		4	LED TRACK LIGHT (5' TRACK)	ELITE LIGHTING	ET-LED-322 (HEAD), FINISH: BLACK	13'-0" A.F.F.	CONTACT: KACEY TRAN, kacey@iuseelite.com, 323.895.8827	P		4	ACCENT PENDANT (MASTER BED)			VARIES	
G		7	2" RECESSED FLOOR UPLIGHT			SEE PLAN		Q		3	ACCENT PENDANT (KITCHEN)			5'-6" A.F.F.	
H		11	LED COVE LIGHT			SEE PLAN		R		4	ACCENT PENDANT (BATHROOM)			VARIES	
L1		3	3" DIA. LED RECESSED WALLWASH DOWNLIGHT			SEE PLAN									

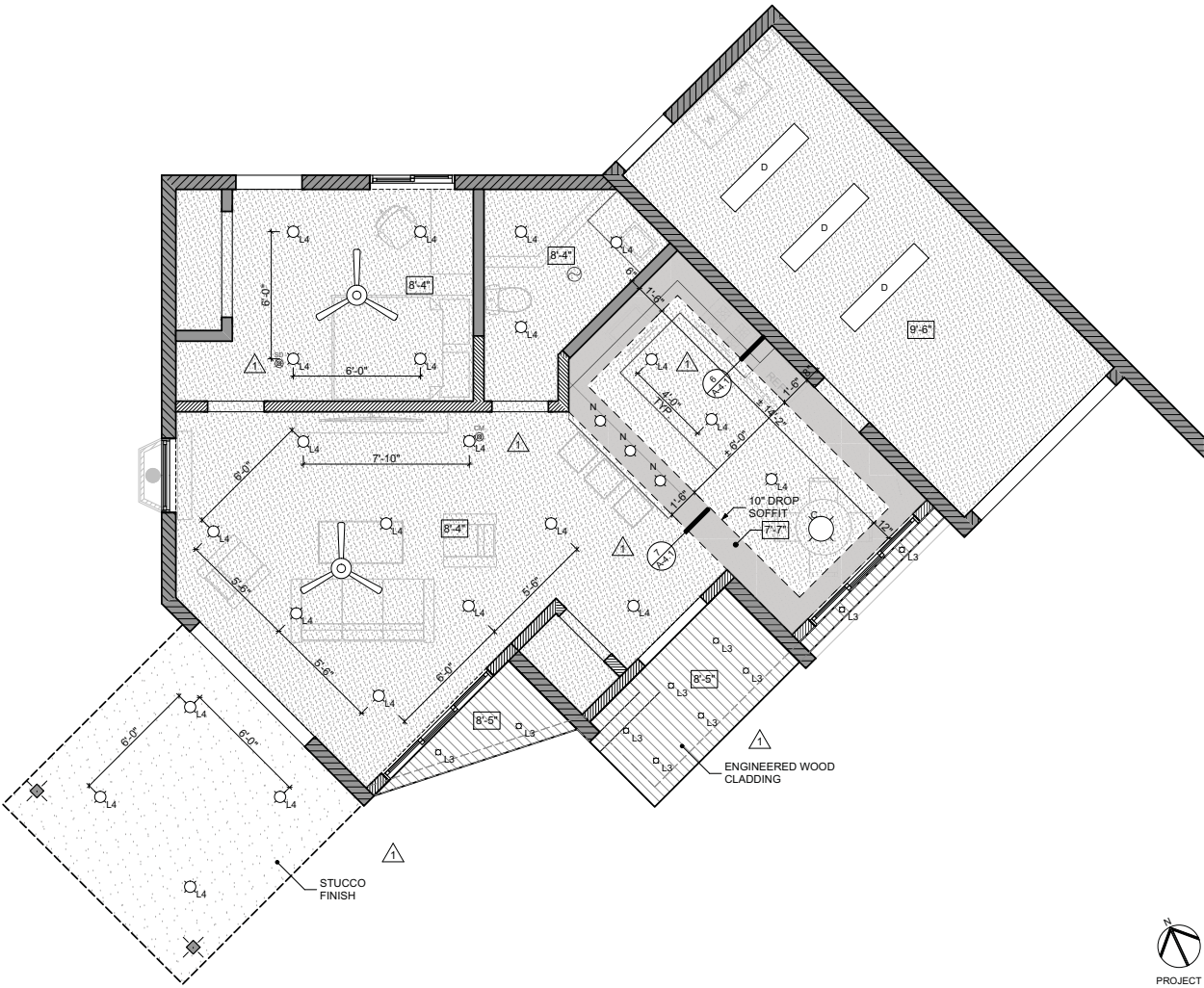


CEILING LEGEND:

	5/8" TYPE 'X' GYPSUM BOARD CEILING, PAINTED COLOR (WHITE).
	STUCCO FINISH CEILING, 'LA HABRA', PAREX COLOR COLLECTION, PEWTER 3016L (29)
	ENGINEERED WOOD PLANK CLADDING SYSTEM 'RESYSTA' 4CH CLADDING, COLOR: WALNUT C51 CONTACT: TOM CZLAPINSKI, 909.393.2888, TOM@RSWDIST.COM
	CONTINUOUS VENT 'VULCAN' CONTINUOUS SOFFIT VENT, VSC2120
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

CONTRACTOR TO VERIFY SITE CONDITIONS

IF ANY SPECIFICATION DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DWGS, CONTACT FOR CLARIFICATION

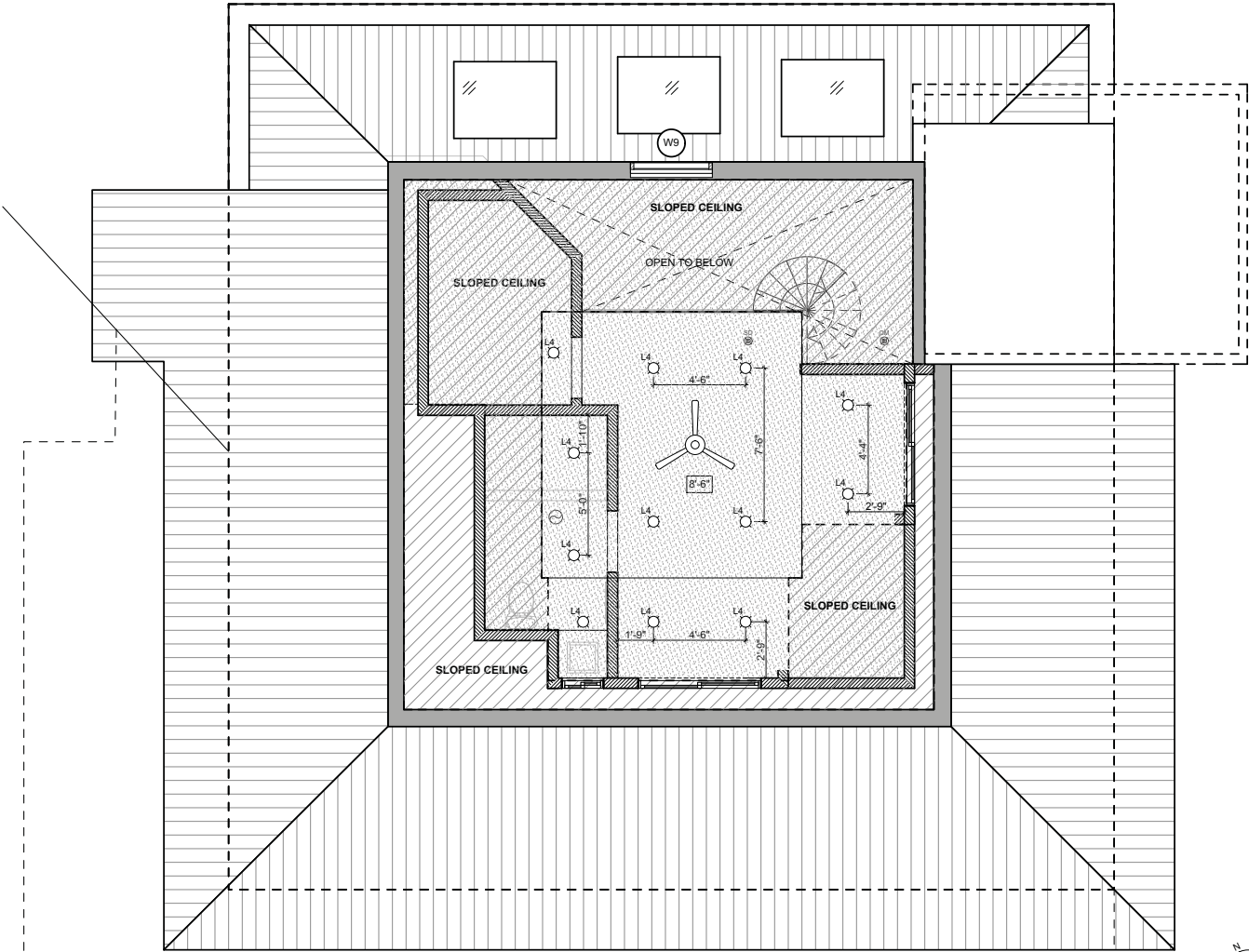


SECOND UNIT REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



LIGHTING LEGEND

TYPE	SYMBOL	QTY	DESCRIPTION	MANUFACTURER	SPEC	MOUNTING HEIGHT	NOTE / REMARKS	TYPE	SYMBOL	QTY	DESCRIPTION	MANUFACTURER	SPEC	MOUNTING HEIGHT	NOTE / REMARKS
A		11	LED CYLINDER WALL SCONCE	SEA GULL LIGHTING	8413891S-753, COLOR: BRUSHED NICKEL	VARIES		L3		23	3" DIA. LED RECESSED DOWNLIGHT			SEE PLAN	
B		1	CRYSTAL CHANDELIER			5'-6" A.F.F.		L4		146	6" DIA. LED RECESSED DOWNLIGHT	ELITE LIGHTING	B6-LED SERIES: 2000 LUMENS	SEE PLAN	CONTACT: KACEY TRAN, kacey@iuseelite.com, 323.895.8827
C		1	MOBILE CHANDELIER - GRAND	WEST ELM	COLOR: ANTIQUE BRASS	5'-6" A.F.F.	www.westelm.com	M		3	ACCENT PENDANT (MASTER BATH)			VARIES	
D		3	LED LINEAR SHOP LIGHT (GARAGE)			7'-0" A.F.F.		N		3	ACCENT PENDANT (2ND UNIT)			5'-6" A.F.F.	
E		3	MERWRY 52" CEILING FAN W/ LED LIGHT	HOME DECORATORS COLLECTION	SW1422, COLOR: NICKEL/BLACK	VARIES		O		1	LARGE LED PENDANT (2ND UNIT)			5'-6" A.F.F.	
F		4	LED TRACK LIGHT (5' TRACK)	ELITE LIGHTING	ET-LED-322 (HEAD), FINISH: BLACK	13'-0" A.F.F.	CONTACT: KACEY TRAN, kacey@iuseelite.com, 323.895.8827	P		4	ACCENT PENDANT (MASTER BED)			VARIES	
G		7	2" RECESSED FLOOR UPLIGHT			SEE PLAN		Q		3	ACCENT PENDANT (KITCHEN)			5'-6" A.F.F.	
H		11	LED COVE LIGHT			SEE PLAN		R		4	ACCENT PENDANT (BATHROOM)			VARIES	
L1		3	3" DIA. LED RECESSED WALLWASH DOWNLIGHT			SEE PLAN									



SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



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SEAL

TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

PROJECT

NO.	SUBMITTALS / REVISIONS	DATE
1	1ST PLANNING PLAN CHECK	08/09/17
2	2ND PLANNING RESUBMITAL	09/19/17
3	1ST BUILDING PLAN CHECK	04/23/18
4	2ND BLDG SUBMITTAL	08/14/18
5	3RD BLDG SUBMITTAL	12/5/18

PROJECT #: 000
SCALE: AS SHOWN
DATE: 12/4/2018
DRAWN BY: FW
CHECKED BY: FW
SHEET TITLE:
SECOND FLOOR &
SECOND UNIT
REFLECTED CEILING
PLAN
SHEET NO:

A-2.7

JONATHAN TSANG
751 OAK CREST DRIVE SIERRA MADRE CA 91024

CURT

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FW DESIGN

FIONA WU DESIGNER fiona.wu@gmail.com
P.O. BOX 80701, SAN MARINO, CA 91118 PHONE: 626.354.4649



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TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

JONATHAN TSANG
7751 OAK CREST DRIVE SIERRA MADRE CA 91024

PROJECT:

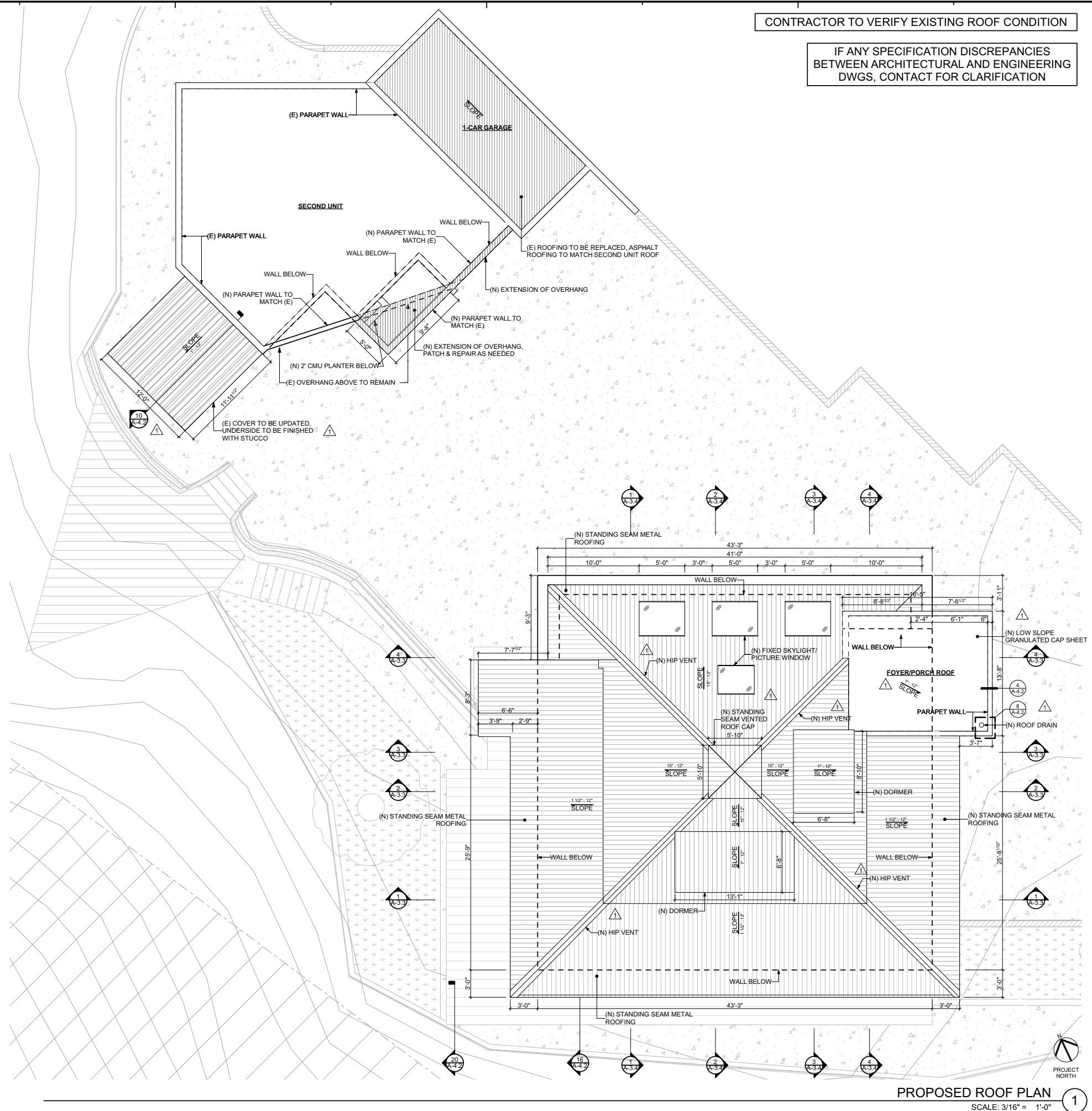
NO.	SUBMITTALS / REVISIONS	DATE
1	1ST PLANNING PLAN CHECK	08/09/17
2	2ND PLANNING RESUBMITAL	09/19/17
3	1ST BUILDING PLAN CHECK	04/23/18
4	2ND BLDING SUBMITTAL 	08/14/18
5	3RD BLDING SUBMITTAL 	12/5/18

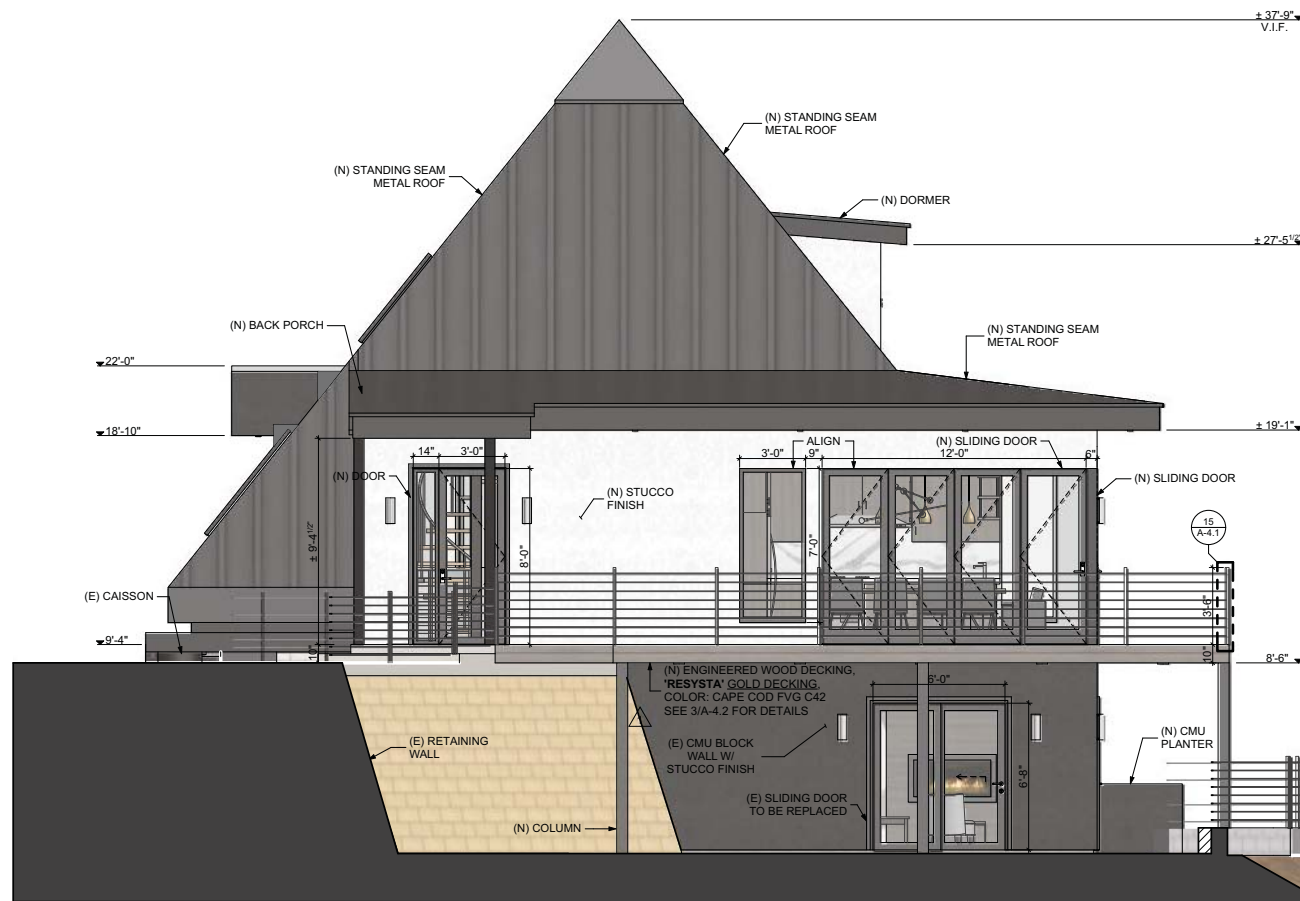
PROJECT #:	000
SCALE:	AS SHOWN
DATE:	12/4/2018
DRAWN BY:	FW
CHECKED BY:	FW
SHEET TITLE:	

ROOF PLAN

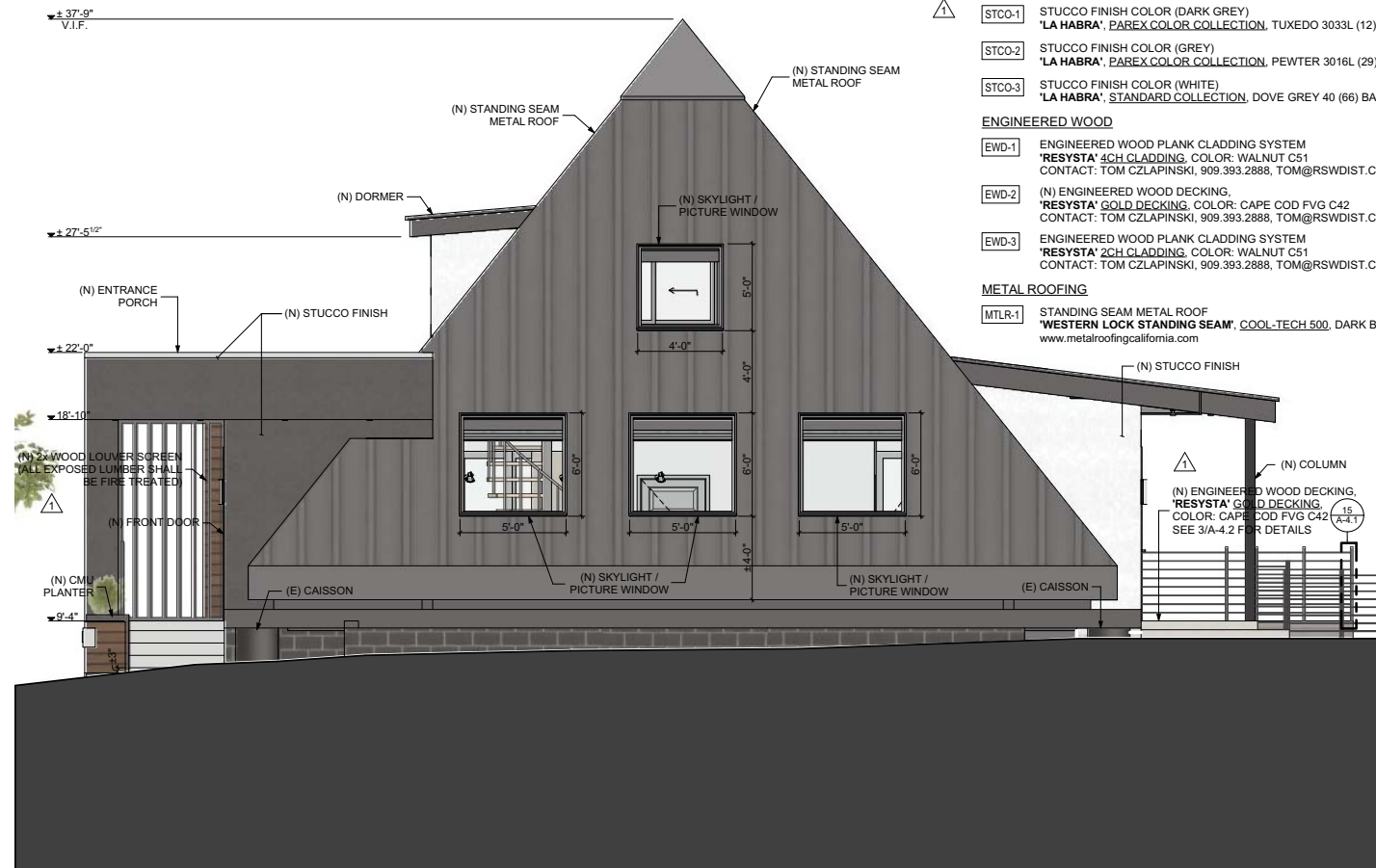
SHEET NO:

A-2.8

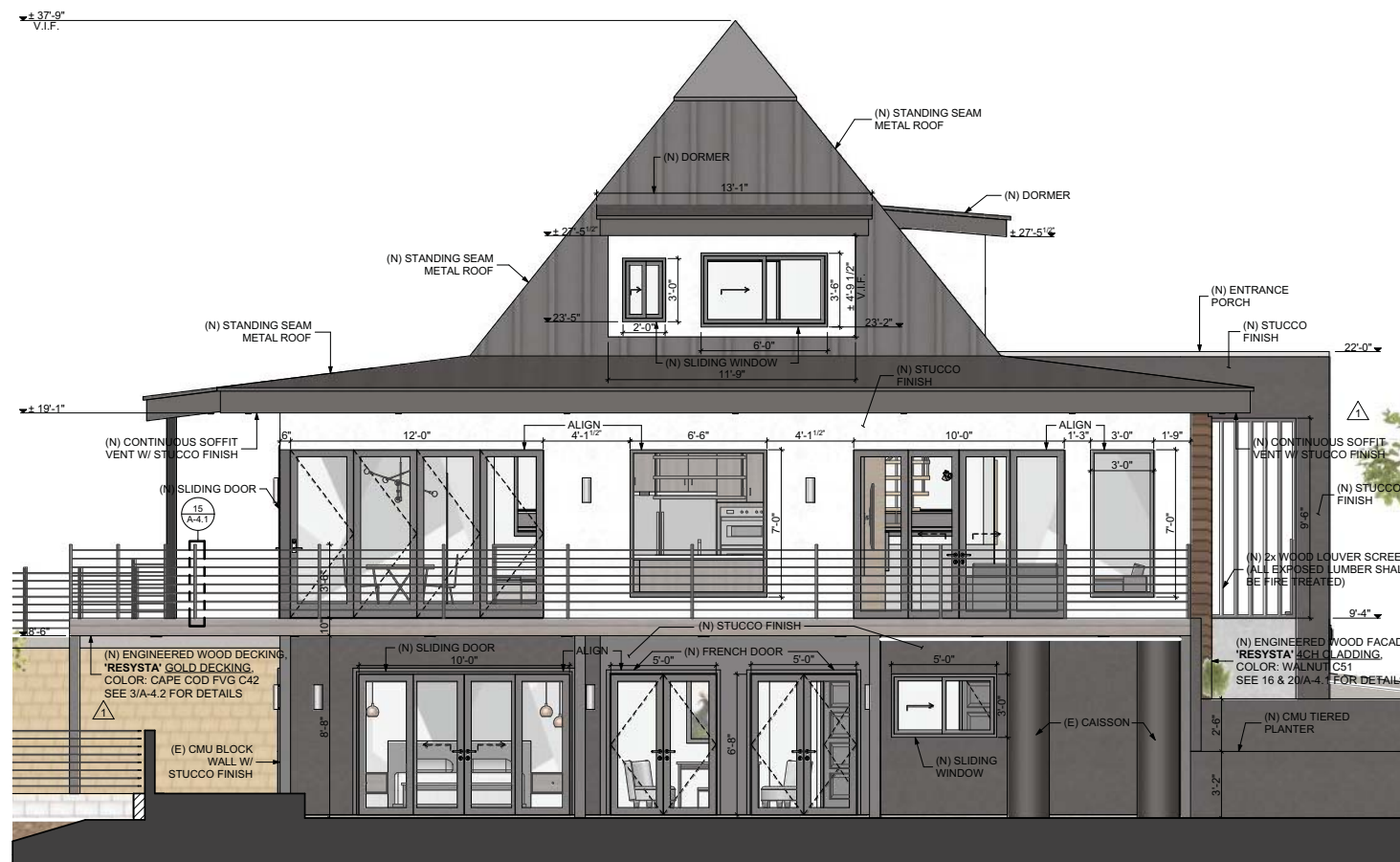




NORTHWEST ELEVATION 4
SCALE: 1/4" = 1'-0"



NORTHEAST ELEVATION 3
SCALE: 1/4" = 1'-0"



SOUTHWEST ELEVATION 2
SCALE: 1/4" = 1'-0"



SOUTHEAST ELEVATION 1
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

EXTERIOR WALL STUCCO

- STCO-1 STUCCO FINISH COLOR (DARK GREY)
'LA HABRA', PAREX COLOR COLLECTION, TUXEDO 3033L (12)
- STCO-2 STUCCO FINISH COLOR (GREY)
'LA HABRA', PAREX COLOR COLLECTION, PEWTER 3016L (29)
- STCO-3 STUCCO FINISH COLOR (WHITE)
'LA HABRA', PAREX COLOR COLLECTION, DOVE GREY 40 (66) BASE 200

ENGINEERED WOOD

- EWD-1 ENGINEERED WOOD PLANK CLADDING SYSTEM
'RESYSTA' 4CH CLADDING, COLOR: WALNUT C51
CONTACT: TOM CZLAPINSKI, 909.393.2888, TOM@RSWDIST.COM
- EWD-2 (N) ENGINEERED WOOD DECKING,
'RESYSTA' GOLD DECKING, COLOR: CAPE COD FVG C42
CONTACT: TOM CZLAPINSKI, 909.393.2888, TOM@RSWDIST.COM
- EWD-3 ENGINEERED WOOD PLANK CLADDING SYSTEM
'RESYSTA' 2CH CLADDING, COLOR: WALNUT C51
CONTACT: TOM CZLAPINSKI, 909.393.2888, TOM@RSWDIST.COM

METAL ROOFING

- MLR-1 STANDING SEAM METAL ROOF
'WESTERN LOCK STANDING SEAM', COOL-TECH 500, DARK BRONZE
www.metalroofingcalifornia.com

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PROJECT: TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

SEAL

TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

PROJECT

NO.	SUBMITTALS / REVISIONS	DATE
1	1ST PLANNING PLAN CHECK	08/09/17
2	2ND PLANNING RESUBMITTAL	09/19/17
3	1ST BUILDING PLAN CHECK	04/23/18
4	2ND BLDG SUBMITTAL	08/14/18
5	3RD BLDG SUBMITTAL	12/15/18

PROJECT #: 000
SCALE: AS SHOWN
DATE: 12/14/2018
DRAWN BY: FW
CHECKED BY: FW
SHEET TITLE:

EXTERIOR
ELEVATIONS

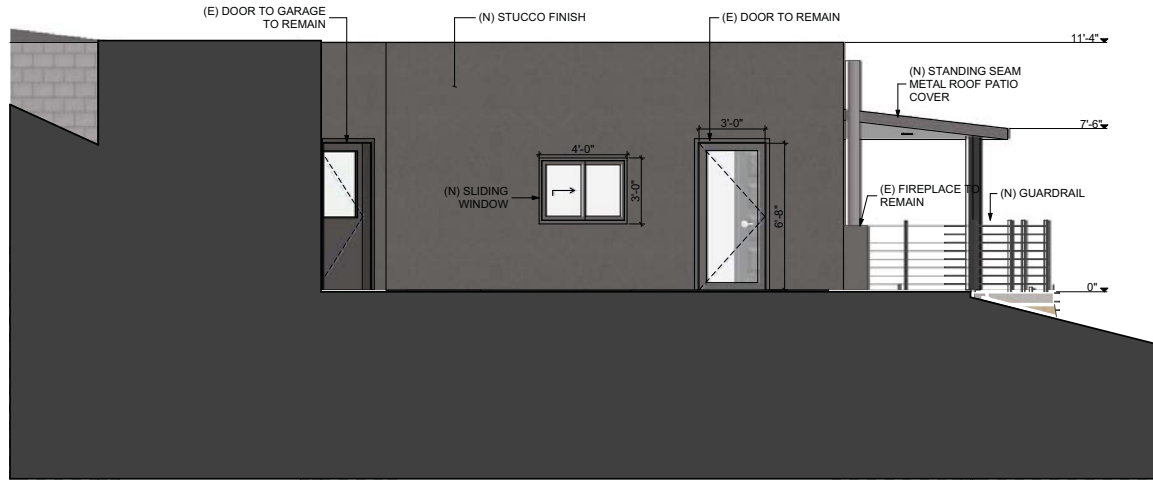
SHEET NO:

A-3.1

FW DESIGN

FW DESIGN
FIONA WU, DESIGNER
P.O. BOX 80701, SAN MARINO, CA 91118
PHONE: 626.354.4649

CLIENT: JONATHAN TSANG
751 OAK CREST DRIVE SIERRA MADRE CA 91024



NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"

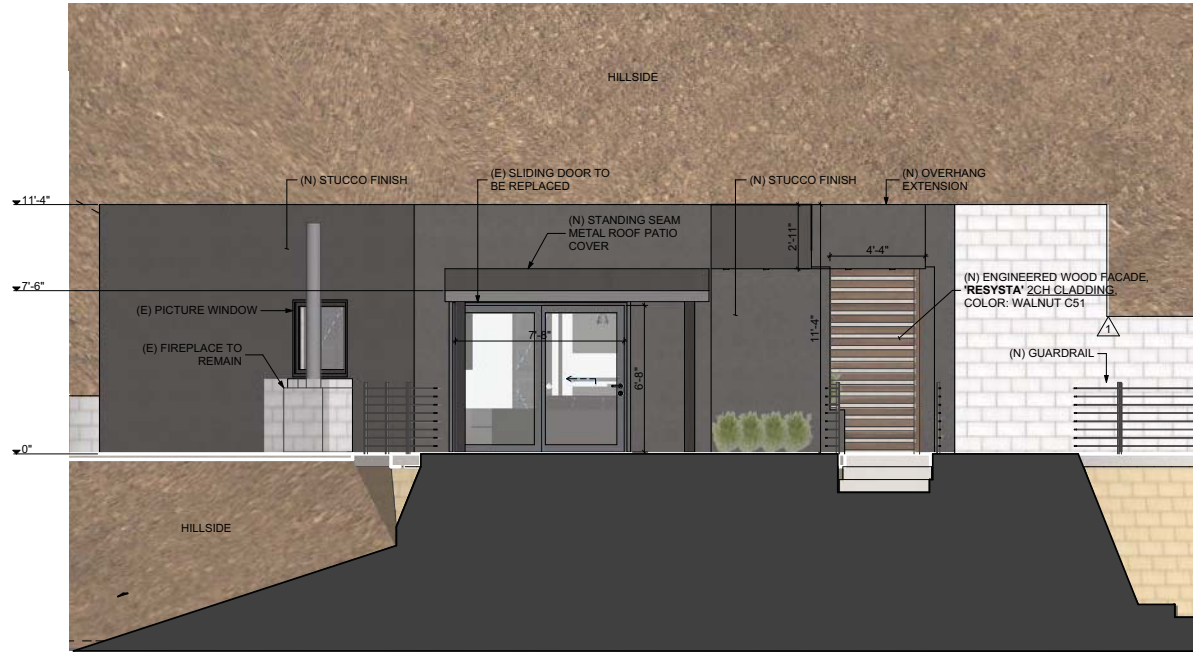
4



NORTHWEST ELEVATION

SCALE: 1/4" = 1'-0"

3



WEST ELEVATION

SCALE: 1/4" = 1'-0"

2



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

1

EXTERIOR FINISH SCHEDULE

EXTERIOR WALL STUCCO

- STCO-1 STUCCO FINISH COLOR (DARK GREY)
'LA HABRA', PAREX COLOR COLLECTION, TUXEDO 3033L (12)
- STCO-2 STUCCO FINISH COLOR (GREY)
'LA HABRA', PAREX COLOR COLLECTION, PEWTER 3016L (29)
- STCO-3 STUCCO FINISH COLOR (WHITE)
'LA HABRA', STANDARD COLLECTION, DOVE GREY 40 (66) BASE 200

ENGINEERED WOOD

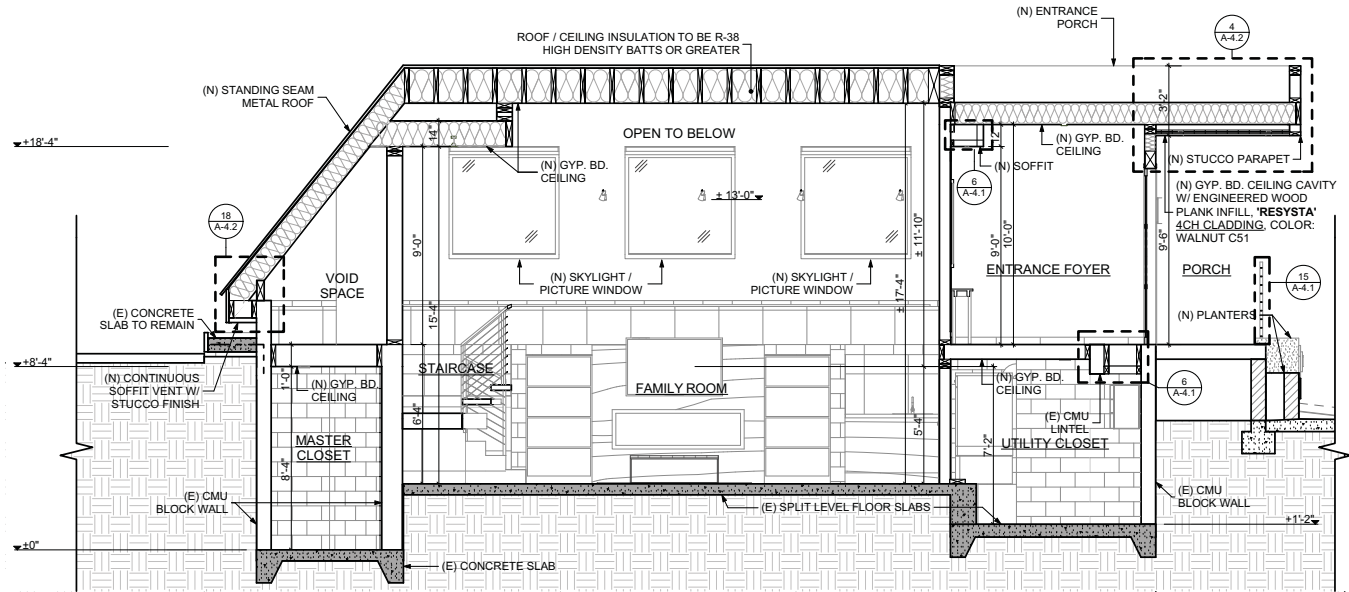
- EWD-1 ENGINEERED WOOD PLANK CLADDING SYSTEM
'RESYSTA' 4CH CLADDING, COLOR: WALNUT C51
CONTACT: TOM CZLAPINSKI, 909.393.2888, TOM@RSWDIST.COM
- EWD-2 (N) ENGINEERED WOOD DECKING,
'RESYSTA' GOLD DECKING, COLOR: CAPE COD FVG C42
CONTACT: TOM CZLAPINSKI, 909.393.2888, TOM@RSWDIST.COM
- EWD-3 ENGINEERED WOOD PLANK CLADDING SYSTEM
'RESYSTA' 2CH CLADDING, COLOR: WALNUT C51
CONTACT: TOM CZLAPINSKI, 909.393.2888, TOM@RSWDIST.COM

METAL ROOFING

- MLR-1 STANDING SEAM METAL ROOF
'WESTERN LOCK STANDING SEAM', COOL-TECH 500, DARK BRONZE
www.metalroofingcalifornia.com

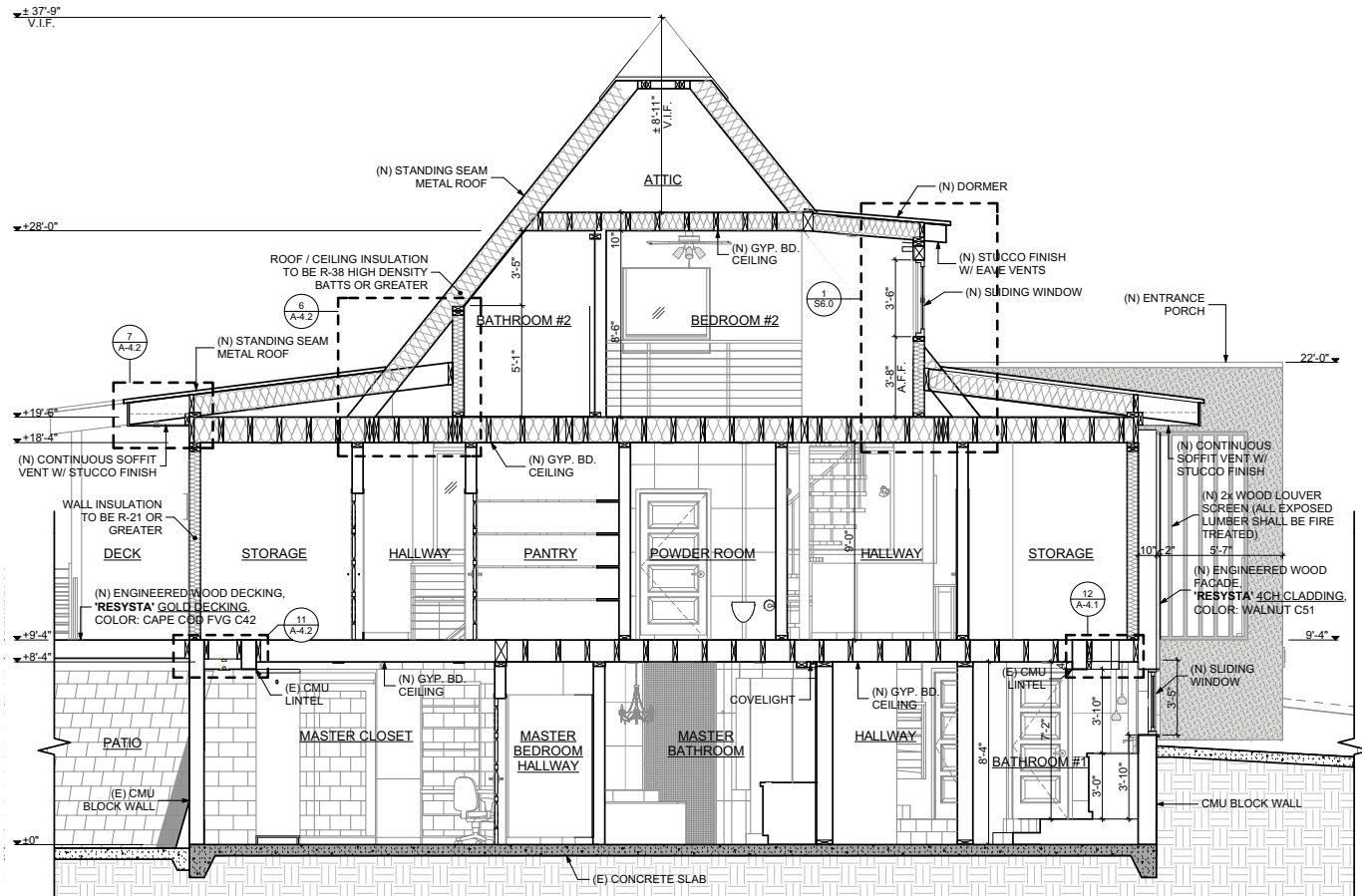
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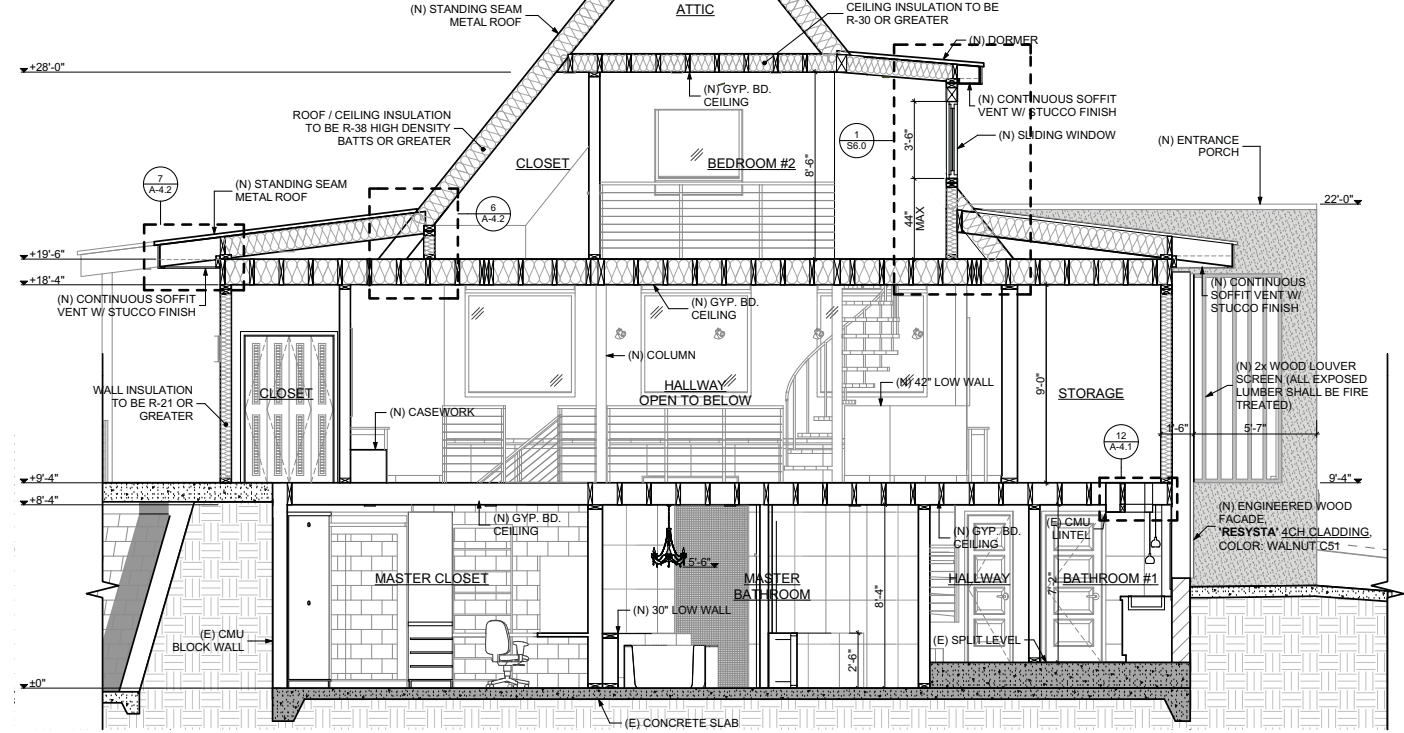
BUILDING SECTION 4

SCALE: 1/4" = 1'-0"



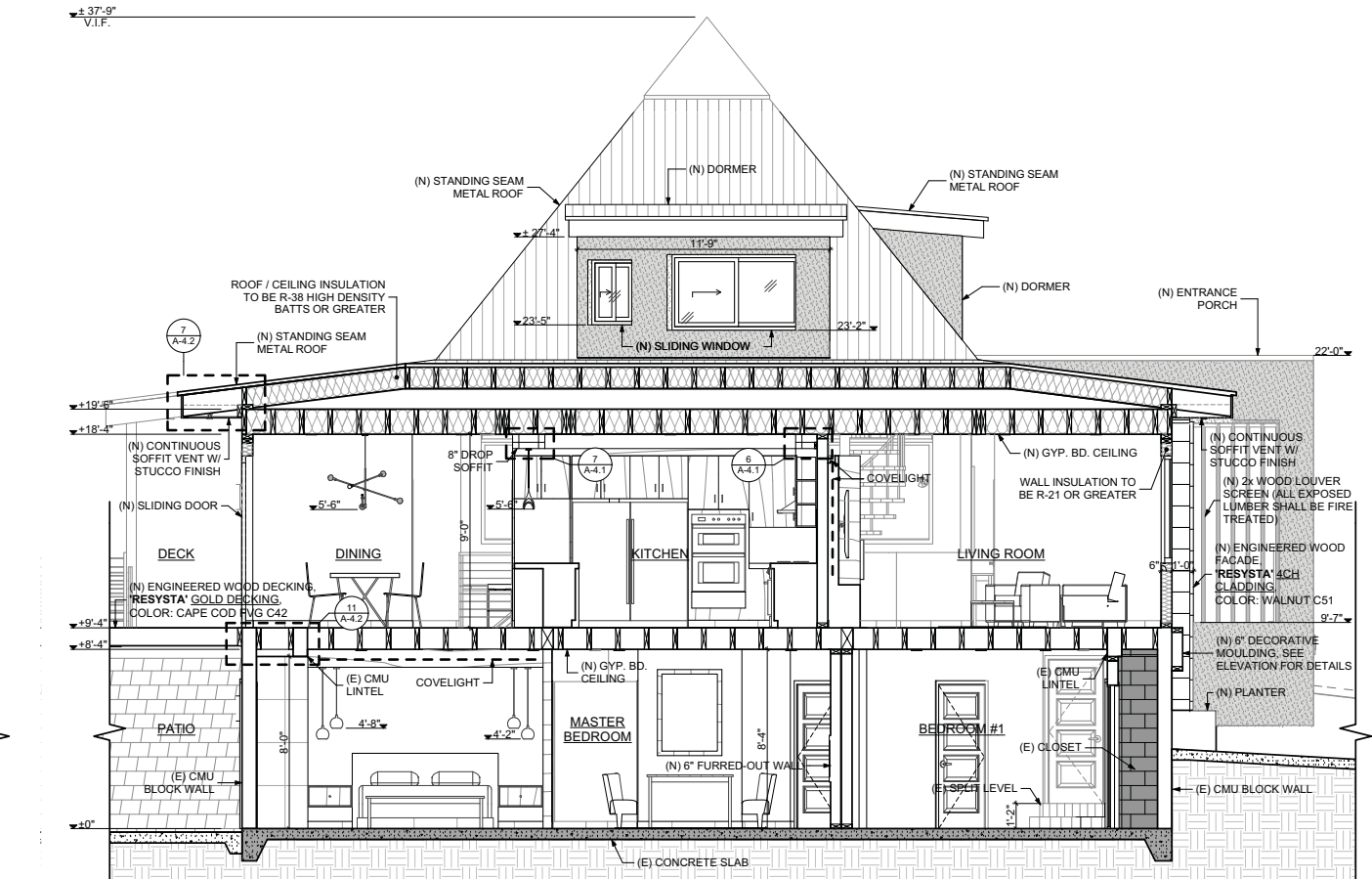
BUILDING SECTION 2

SCALE: 1/4" = 1'-0"



BUILDING SECTION 3

SCALE: 1/4" = 1'-0"



BUILDING SECTION 1

SCALE: 1/4" = 1'-0"

TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

CLIENT: JONATHAN TSANG
751 OAK CREST DRIVE SIERRA MADRE CA 91024

NO.	SUBMITTALS / REVISIONS	DATE
1	1ST PLANNING PLAN CHECK	08/09/17
2	2ND PLANNING RESUBMITTAL	09/19/17
3	1ST BUILDING PLAN CHECK	04/23/18
4	2ND BLDG SUBMITTAL	08/14/18
5	3RD BLDG SUBMITTAL	12/5/18

PROJECT # 000
SCALE: AS SHOWN
DATE: 12/4/2018
DRAWN BY: FW
CHECKED BY: FW
SHEET TITLE:

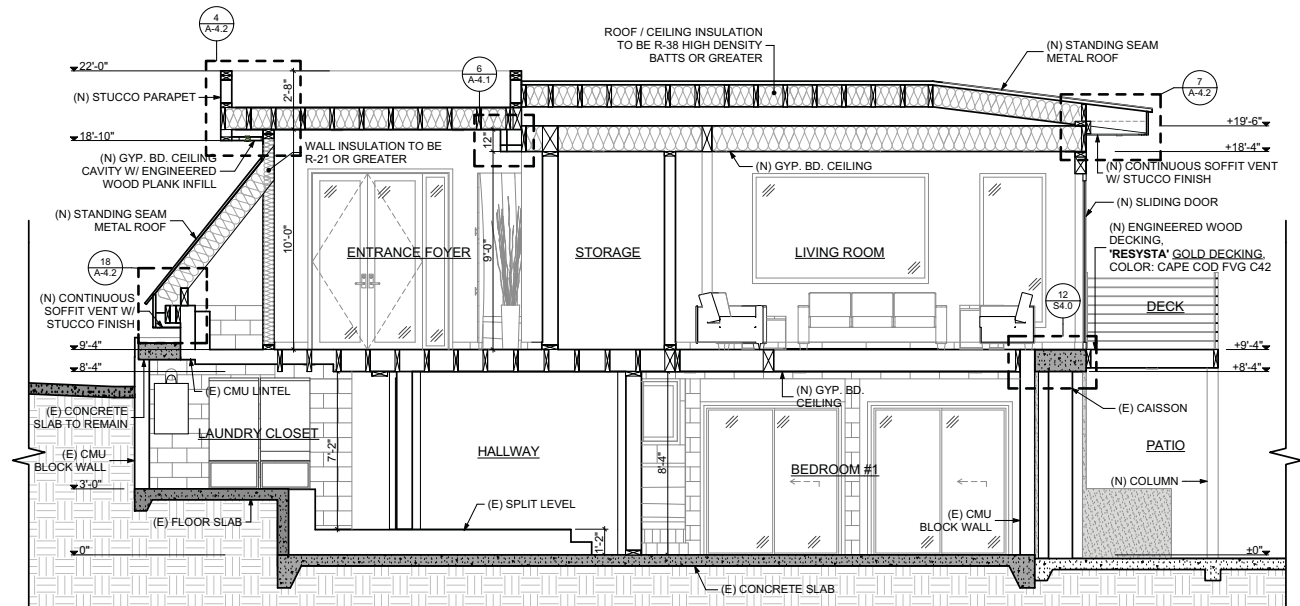
BUILDING SECTIONS

SHEET NO:

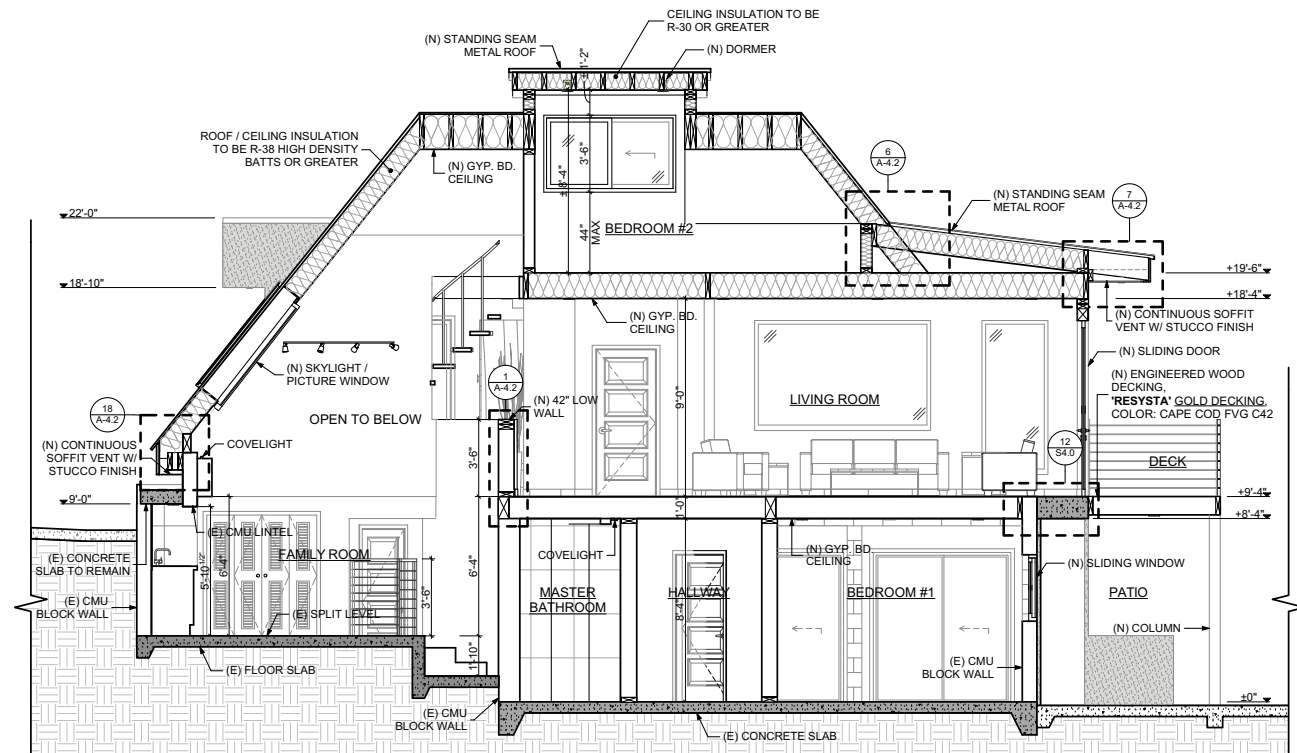
A-3.3

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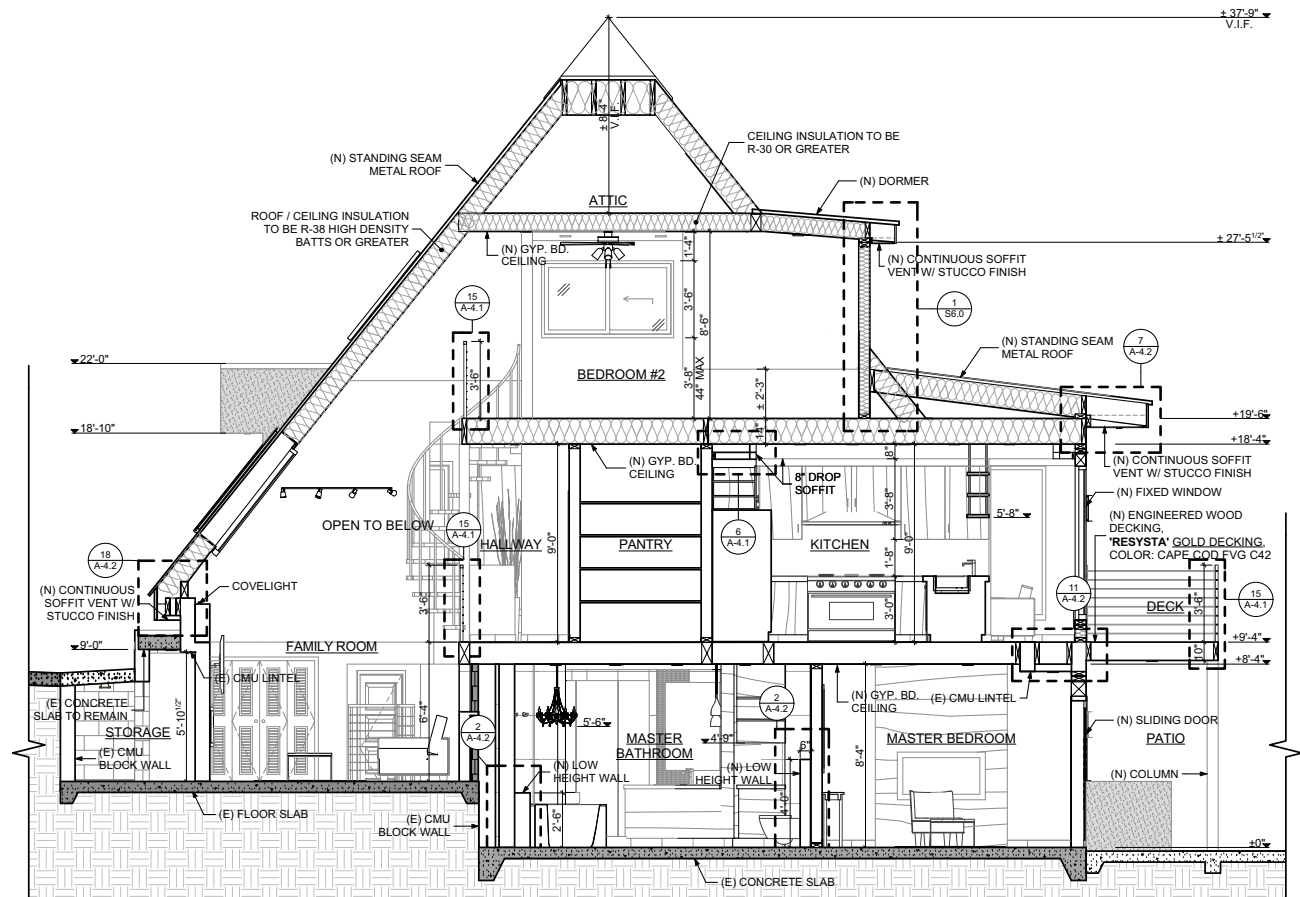
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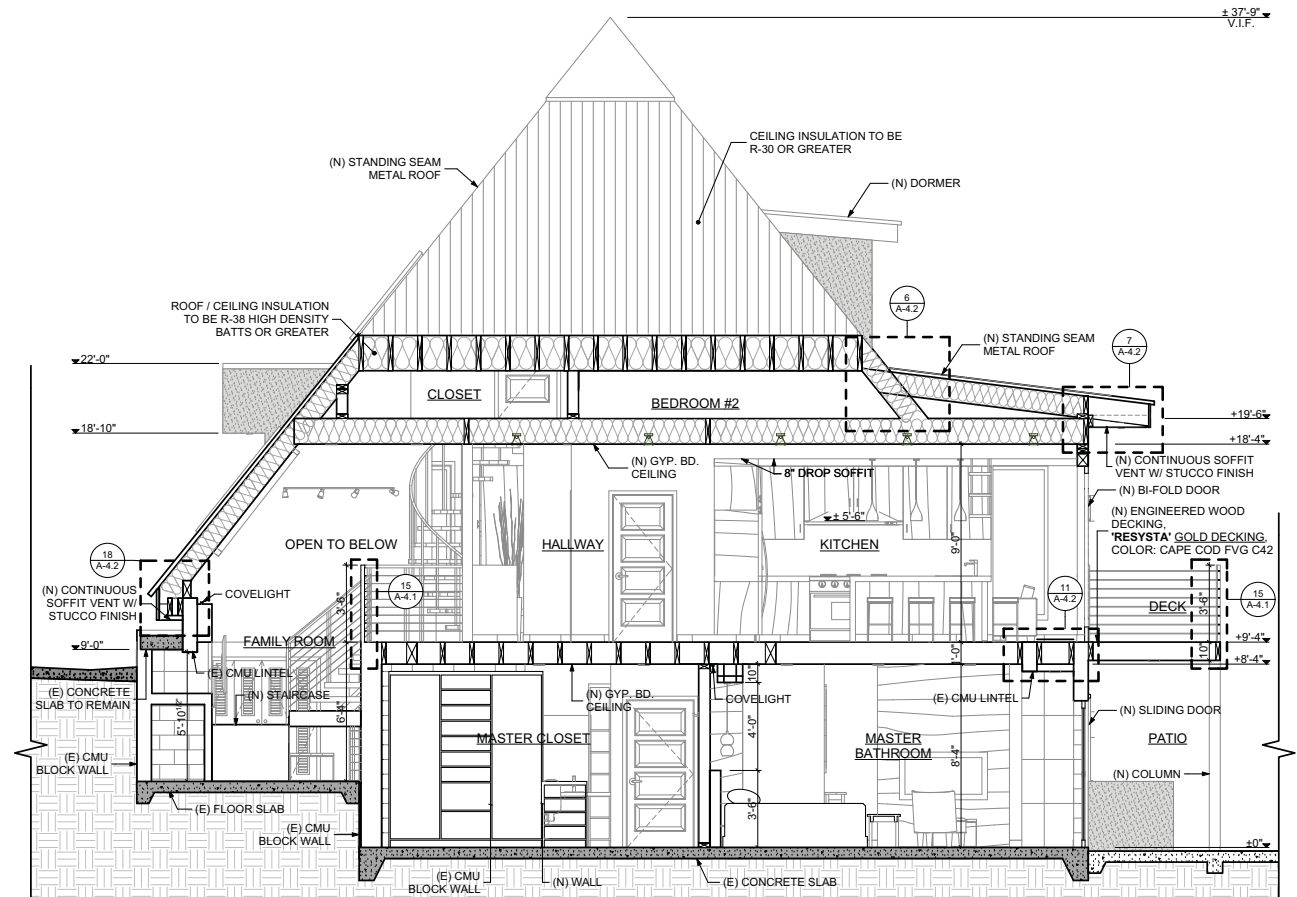
BUILDING SECTION 4
SCALE: 1/4" = 1'-0"



BUILDING SECTION 3
SCALE: 1/4" = 1'-0"



BUILDING SECTION 2
SCALE: 1/4" = 1'-0"



BUILDING SECTION 1
SCALE: 1/4" = 1'-0"

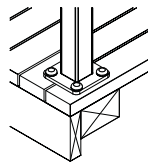
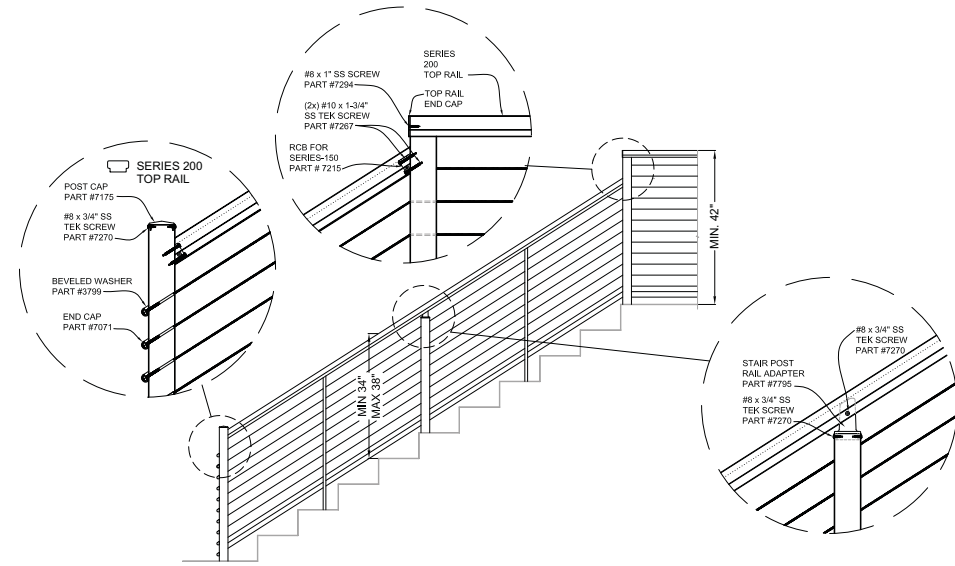
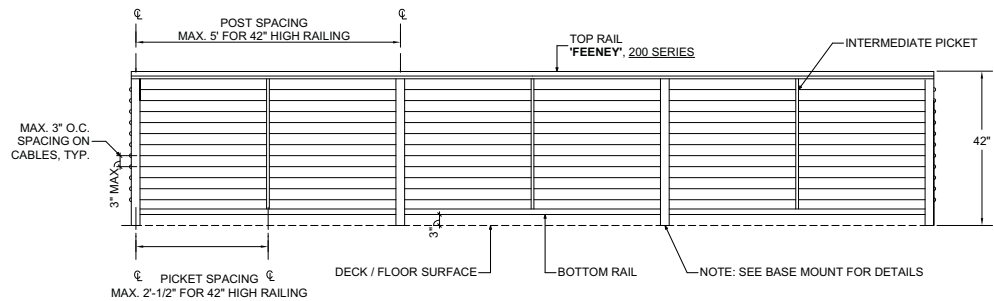
TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

JONATHAN TSANG
751 OAK CREST DRIVE SIERRA MADRE CA 91024

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4	2ND BLDG SUBMITTAL	08/14/18
5	3RD BLDG SUBMITTAL	12/15/18

PROJECT # 000
SCALE: AS SHOWN
DATE: 12/4/2018
DRAWN BY: FW
CHECKED BY: FW
SHEET TITLE: BUILDING SECTIONS

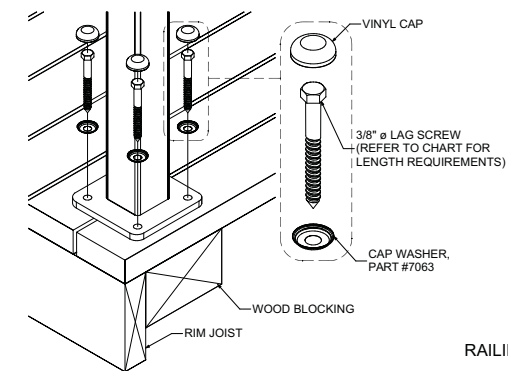
SHEET NO. **A-3.4**



NOTES:
MINIMUM LAG PENETRATION DIMENSION, REFER TO REQUIREMENTS FOR LAG SCREW PENETRATION INTO SOLID LUMBER. LUMBER ASSUMED TO HAVE A MINIMUM 0.43 SPECIFIC GRAVITY (ie: HEM-FIR)

WOOD DECK BOARDS MUST BE PROPERLY ATTACHED TO STRUCTURE TO ACCOUNT FOR PORTION OF THE LAG SCREW PENETRATION REQUIREMENT.

IF USING COMPOSITE MATERIAL AS DECKING, DECK BOARDS WILL NOT CONTRIBUTE TO PENETRATION REQUIREMENT. LAG SCREW LENGTH AND BLOCKING MUST BE ADJUSTED TO ACCOUNT FOR ADDITIONAL LENGTHS AS NECESSARY.



	INTERIOR	EXTERIOR
RESIDENTIAL 36"-42"		
COMMERCIAL (MAX 5' O.C.) 42"		

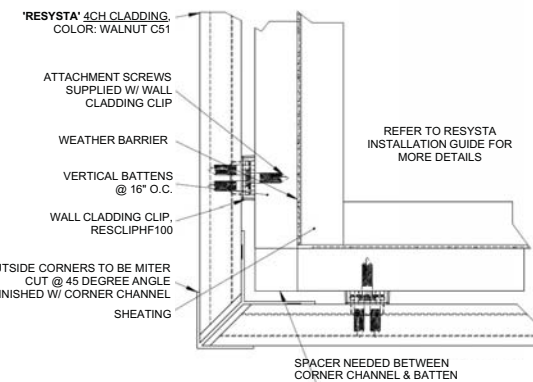
DesignRail® Detail Drawing:
Base Mount with Lag Screws

RAILING: 'FEENEY', DESIGNRAIL-200 SERIES, BLACK OR EQUAL

CABLE RAILING DETAIL

SCALE: 1/2" = 1'-0"

15

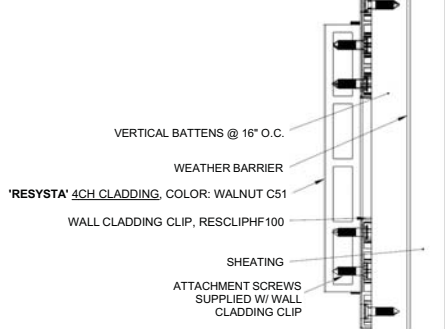


CLADDING CORNER DETAIL

NOT TO SCALE

20

NOTE: EACH HF CLIP REQUIRES 3 SCREWS. TWO ARE #8 x 1/2" SMS SCREWS TO ATTACH THE CLIP TO THE RESYSTA WALL CLADDING BOARD AND ONE IS TO ATTACH THE WALL CLADDING BOARD WITH THE CLIP TO THE BATTENS.



WALL CLADDING DETAIL

NOT TO SCALE

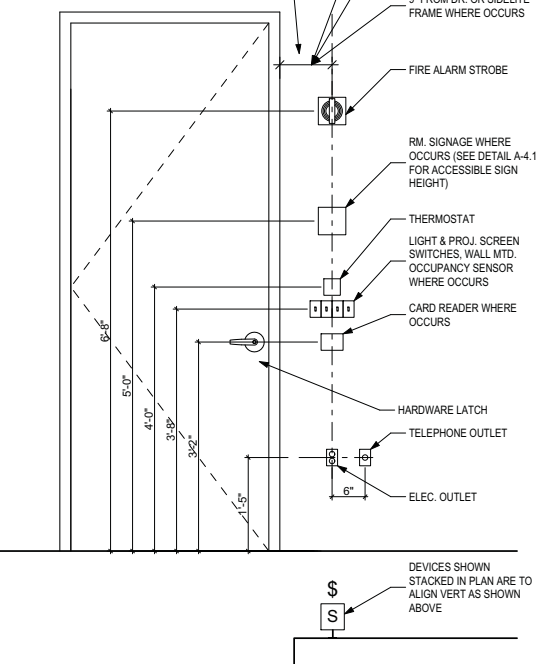
16

NOTES:

1. LOCATE SWITCHPLATES, ELEC. & TEL. WALL OUTLETS AT NEAREST STUD FROM SCALED LOCATION ON PLAN, UNLESS SPECIFICALLY DIMENSIONED ON PLAN, ELEVATION, OR LOCATED AS PER DIAGRAM ABOVE.

2. IN SITUATIONS WHERE FIRE ALARM STROBES AND FIRE EXTINGUISHER CABINETS OCCUR TOGETHER IN PUBLIC AREAS, CENTER FIRE ALARM STROBES DIRECTLY ABOVE FIRE EXTINGUISHER CABINETS. THIS IS NOT REQUIRED IN EXIT PASSAGEWAYS AND CORRIDORS.

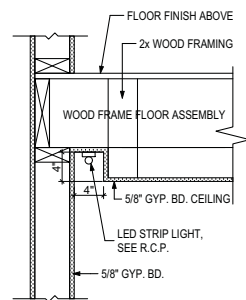
ALIGN CENTERLINE ALL DEVICES AT LOCATION AS DIMENSIONED ON PLAN OR NEXT TO DOOR / OPENING AS DIMENSIONED BELOW



TYPICAL SWITCH AND OUTLET HEIGHTS

SCALE: 3/4" = 1'-0"

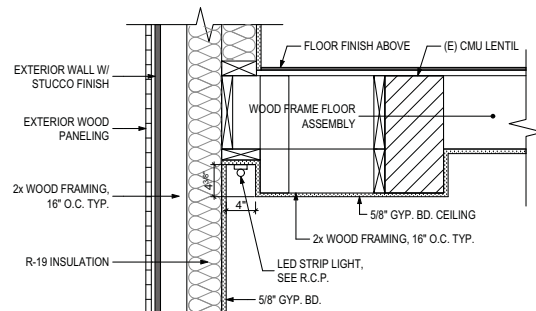
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LED COVE LIGHT DETAIL

SCALE: 1" = 1'-0"

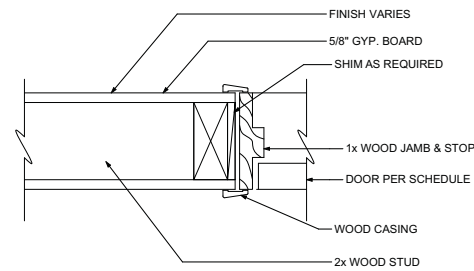
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LED COVE LIGHT DETAIL

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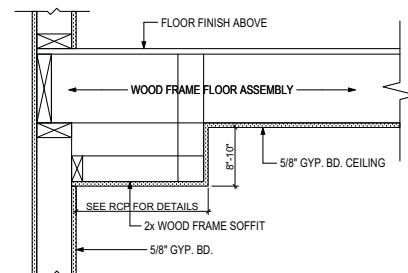
12



DOOR JAMB @ WD STD WALL

SCALE: 3" = 1'-0"

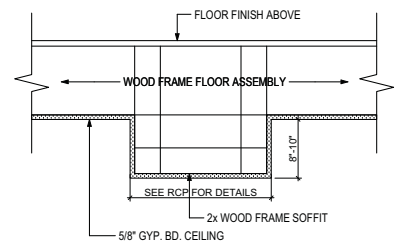
5



DROP SOFFIT DETAIL

SCALE: 1" = 1'-0"

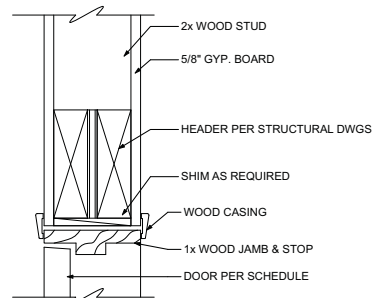
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DROP SOFFIT DETAIL

SCALE: 1" = 1'-0"

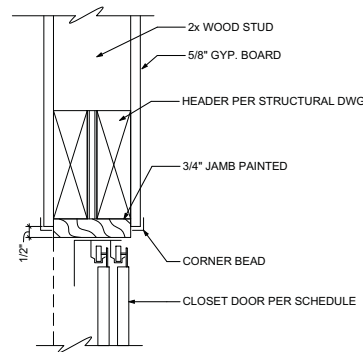
7



DOOR HEAD @ WD STD WALL

SCALE: 3" = 1'-0"

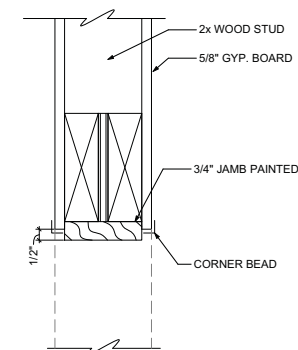
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DOOR HEAD @ WARDROBE DOOR

SCALE: 3" = 1'-0"

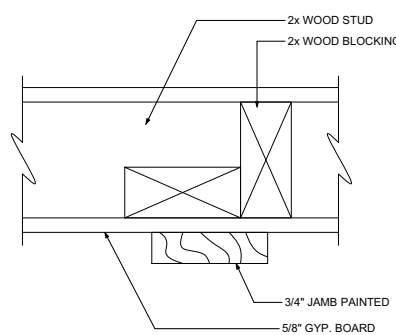
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DOOR JAMB @ WARDROBE DOOR

SCALE: 3" = 1'-0"

3



DOOR JAMB @ WARDROBE DOOR

SCALE: 3" = 1'-0"

4

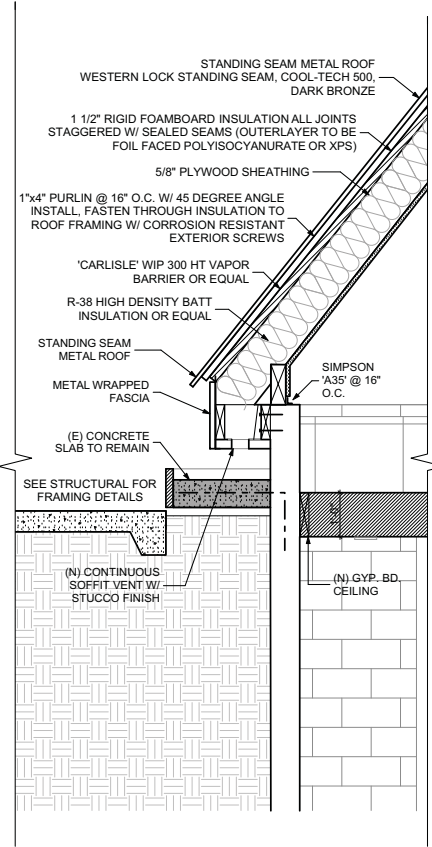
NO.	SUBMITTALS / REVISIONS	DATE
1	1ST PLANNING PLAN CHECK	08/09/17
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5	3RD BLDG SUBMITTAL	12/15/18

PROJECT #:	000
SCALE:	AS SHOWN
DATE:	12/14/2018
DRAWN BY:	FW
CHECKED BY:	FW
SHEET TITLE:	

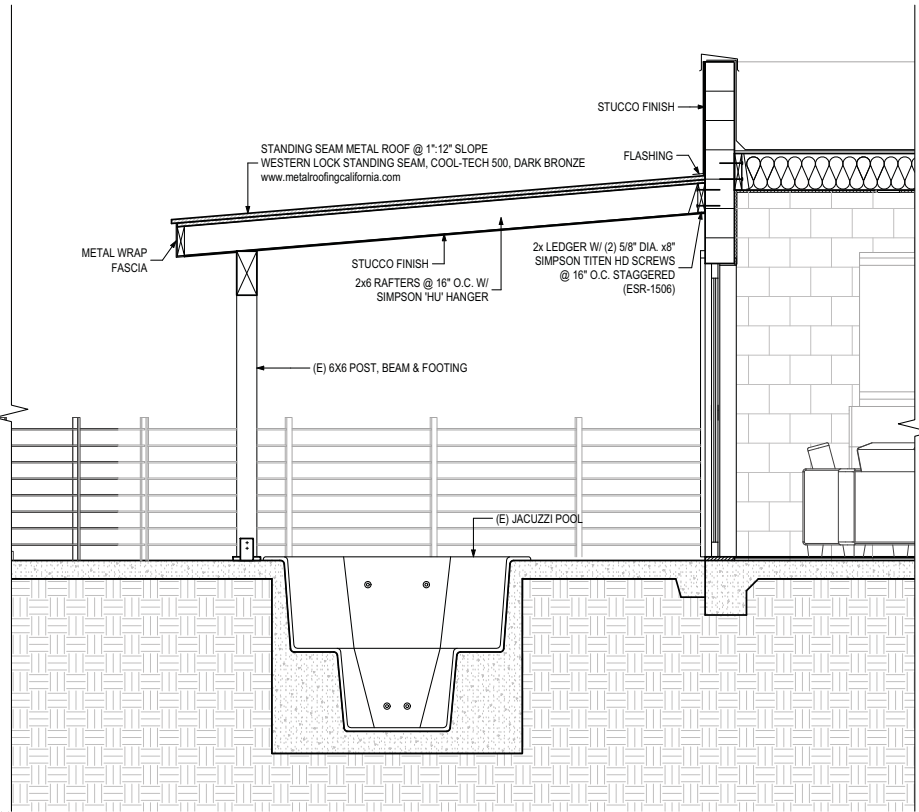
ARCHITECTURAL DETAILS

SHEET NO:

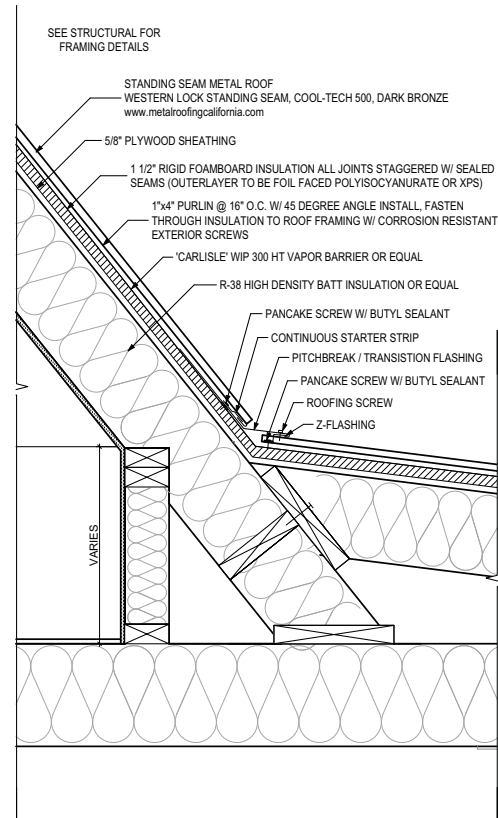
A-4.1



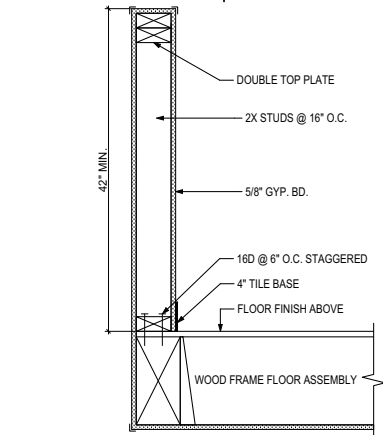
SOFFIT EAVE VENT DETAIL
SCALE: 1/2" = 1'-0"



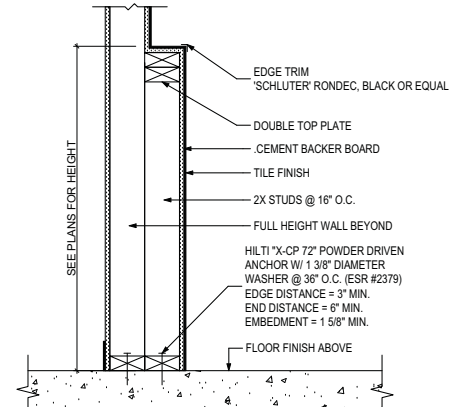
2ND UNIT PATIO SECTION
SCALE: 1/2" = 1'-0"



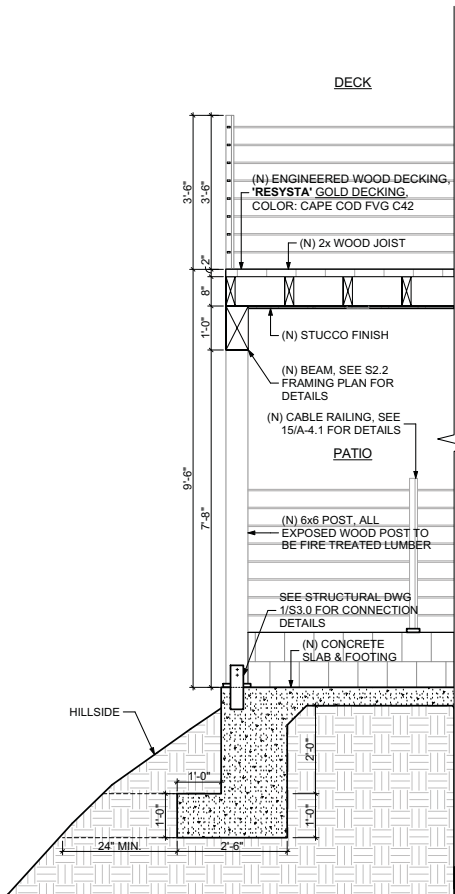
METAL ROOF & PITCHBREAK DETAIL
SCALE: 1" = 1'-0"



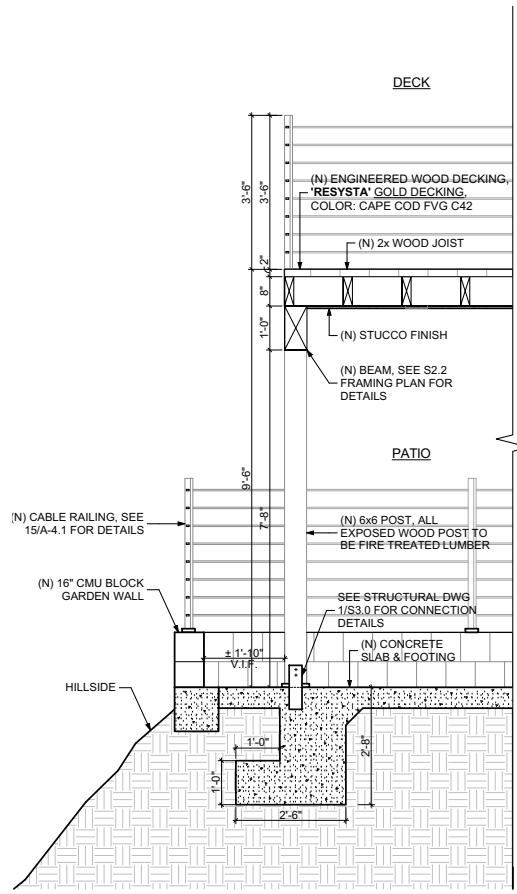
LOW HEIGHT WALL @ FOYER DETAIL
SCALE: 1" = 1'-0"



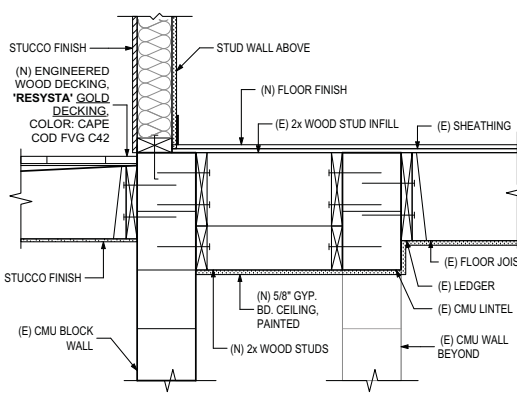
LOW HEIGHT WALL DETAIL
SCALE: 1" = 1'-0"



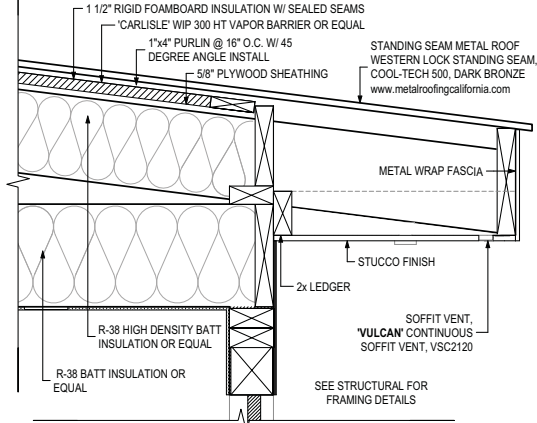
DECK SECTION
SCALE: 1/2" = 1'-0"



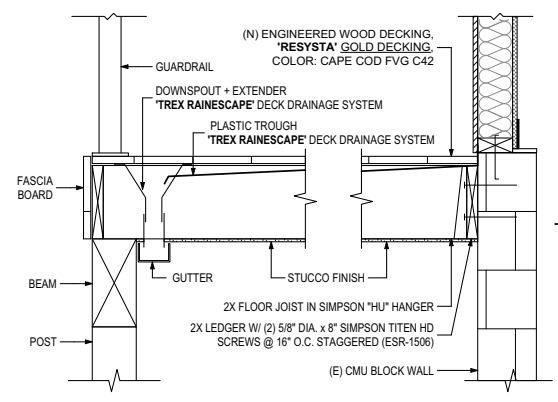
DECK SECTION
SCALE: 1/2" = 1'-0"



SECTION @ (E) CMU LINTEL DETAIL
SCALE: 1" = 1'-0"

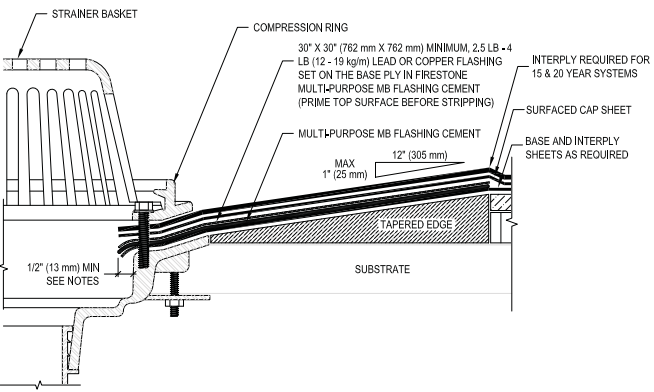


METAL ROOF & EAVE DETAIL
SCALE: 1" = 1'-0"

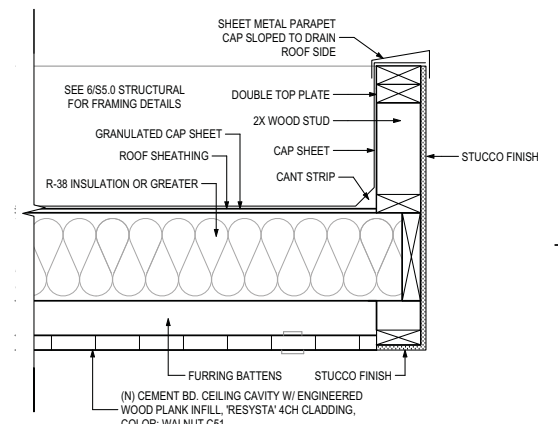


DECK DRAINAGE DETAIL
SCALE: 1" = 1'-0"

- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION.
 2. WHEN DRAIN SUMP EXCEEDS 1:12, THE USE OF A DRAIN INSERT IS RECOMMENDED.
 3. THE MEMBRANE SHOULD EXTEND A MIN OF 1/2" (13 mm) BEYOND THE CLAMPING RING AND SHOULD NOT BE SMALLER THAN THE DIAMETER OF THE LEADER PIPE.
 4. IF A FIELD SEAM IS BETWEEN 6" - 9" (152 mm - 229 mm) OF DRAIN COMPRESSION RING, A SMOOTH SBS MODIFIED BITUMEN TARGET PATCH IS REQUIRED.
 5. NO SEAM CAN BE LESS THAN 6" (152 mm) FROM THE CLAMPING RING.



ROOF DRAIN DETAIL
NOT TO SCALE



PORCH PARAPET DETAIL
SCALE: 1" = 1'-0"

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PROJECT: TSANG RESIDENCE
751 OAK CREST DRIVE, SIERRA MADRE, CA 91024

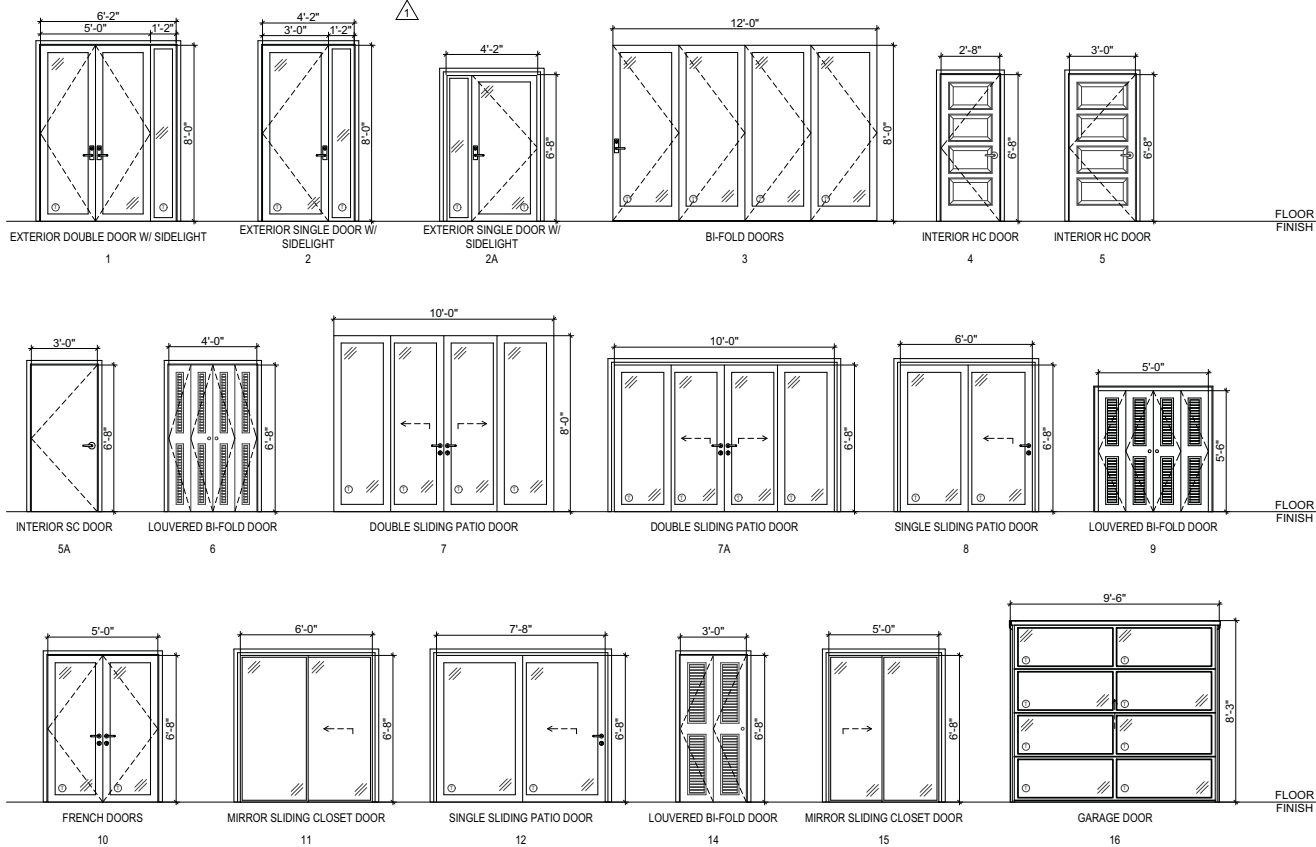
CLIENT: JONATHAN TSANG
751 OAK CREST DRIVE SIERRA MADRE CA 91024

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NO.	SUBMITTALS / REVISIONS	DATE
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3	1ST BUILDING PLAN CHECK	04/23/18
4	2ND BLDG SUBMITTAL	08/14/18
5	3RD BLDG SUBMITTAL	12/5/18

PROJECT #: 000
SCALE: AS SHOWN
DATE: 12/04/2018
DRAWN BY: FW
CHECKED BY: FW
SHEET TITLE: ARCHITECTURAL DETAILS
SHEET NO: A-4.2

DOOR TYPES



WINDOW TYPES



DOOR SCHEDULE

NO.	NEW / EX	QNTY	TYPE	W	H	THK	DOOR			FRAME		DETAILS			HWR GROUP	KEYNOTES / REMARKS
							MAT	FINISH	GLAZ	MAT	FINISH	HEAD	JAMB	SILL		
1	New	1	EXTERIOR DOUBLE DOOR W/ SIDELIGHT	5'-0"	8'-0"	0'-1 1/8"	ALUM / GL	D.ANOD	CGL-IN-T	ALUM	D.ANOD					ALUMINUM SERIES T5122 - MODEL SWI-SXX
2	New	1	EXTERIOR SINGLE DOOR W/ SIDELIGHT	3'-0"	8'-0"	0'-1 1/8"	ALUM / GL	D.ANOD	CGL-IN-T	ALUM	D.ANOD					ALUMINUM SERIES T5122 - MODEL SWI-SR
2A	New	1	EXTERIOR SINGLE DOOR W/ SIDELIGHT	3'-0"	6'-8"	0'-1 1/8"	ALUM / GL	D.ANOD	CGL-IN-T	ALUM	D.ANOD					ALUMINUM SERIES T5122 - MODEL SWI-S
3	New	2	BI-FOLD DOORS	12'-0"	8'-0"	0'-2"	ALUM / GL	D.ANOD	CGL-IN-T	ALUM	D.ANOD					ALUMINUM SERIES T5123 - MODEL 4 PANEL
4	New	1	INTERIOR HC DOOR	2'-6"	6'-8"	0'-1 1/8"	HC	PTD		HC	SGPT					PANEL STYLE
4	New	8	INTERIOR HC DOOR	2'-8"	6'-8"	0'-1 1/8"	HC	PTD		HC	SGPT					PANEL STYLE
5	New	5	INTERIOR HC DOOR	3'-0"	6'-8"	0'-1 1/8"	HC	PTD		HC	SGPT					PANEL STYLE
5A	New	1	INTERIOR SC DOOR	3'-0"	6'-8"	0'-1 1/8"	SC	PTD		SC	SGPT				CL	
6	New	1	LOUVERED BI-FOLD DOOR	4'-0"	6'-8"	0'-1 1/8"	WD	PTD		WD	SGPT					TBD
7	New	1	DOUBLE SLIDING PATIO DOOR	10'-0"	8'-0"	0'-1 1/8"	ALUM / GL			ALUM	D.ANOD					ALUMINUM SERIES T5121 - MODEL AL-PD-OXXX
7A	New	1	DOUBLE SLIDING PATIO DOOR	10'-0"	6'-8"	0'-1 1/8"	ALUM / GL	D.ANOD	CGL-IN-T	ALUM	D.ANOD					ALUMINUM SERIES T5121 - MODEL AL-PD-OXXX
8	New	1	SINGLE SLIDING PATIO DOOR	6'-0"	6'-8"	0'-1 1/8"	ALUM / GL	D.ANOD	CGL-IN-T	ALUM	D.ANOD					ALUMINUM SERIES T5121 - MODEL AL-PD-OX
9	New	1	LOUVERED BI-FOLD DOOR	5'-0"	5'-6"	0'-1 1/8"	WD	PTD		WD	SGPT					TBD
10	New	2	FRENCH DOORS	5'-0"	6'-8"	0'-1 1/8"	ALUM / GL	D.ANOD	CGL-IN-T	ALUM	D.ANOD					ALUMINUM SERIES T5122 - MODEL SWO-XX
11	New	2	MIRROR SLIDING CLOSET DOOR	6'-0"	6'-8"	0'-1 1/8"										
12	New	1	SINGLE SLIDING PATIO DOOR	7'-8"	6'-8"	0'-1 1/8"	ALUM / GL	D.ANOD	CGL-IN-T	ALUM	D.ANOD					ALUMINUM SERIES T5121 - MODEL AL-PD-OX
13	Existing	2	EXTERIOR DOOR	3'-0"	6'-8"	0'-1 1/8"	ALUM / GL	PTD	CGL-T	ALUM	SGPT					
14	New	1	LOUVERED BI-FOLD DOOR	3'-0"	6'-8"	0'-1 1/8"	WD	PTD		WD	SGPT					TBD
15	New	1	MIRROR SLIDING CLOSET DOOR	5'-0"	6'-8"	0'-1 1/8"										

GENERAL DOOR NOTES:

- GLASS & GLAZING AT LOCATIONS SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH 2016 IBC STANDARD.
- HINGES FOR OUT-SWINGING DOORS SHALL BE EQUIPPED WITH NON-REMOVABLE HINGE PINS OR A MECHANICAL INTERLOCK TO PRECLUDE REMOVAL OF DOOR FROM EXTERIOR BY REMOVING HINGE PINS.
- GLAZING WITHIN 40° OF THE LOCKING DEVICE OF DOOR SHALL BE FULLY TEMPERED.
- ALL EXTERIOR DOORS EQUIPPED WITH LEVER-HANDLED LOCKING DEVICE WHICH OPERATE THE DEADBOLT SHALL HAVE THRESHOLDS DESIGNED AND INSTALLED SO AS TO PREVENT THE PASSING OF RIGID MATERIALS BETWEEN THE DOOR AND THRESHOLD TO THE INTERIOR.
- HARDWARE SHALL BE REPLACED FOR ANY EXISTING DOORS TO REMAIN.

DOOR KEYNOTES:

- DEADBOLTS SHALL HAVE A HARDENED INSERT WITH A MINIMUM 1" THROW AND 5/8" EMBEDMENT INTO THE JAMB. IF A LATCH HAS A KEY LOCKING FEATURE IT SHALL BE A DEAT LATCH TYPE.
- SAFETY GLAZING IS REQUIRED IN ALL SWINGING, SLIDING, STORM AND BI-FOLD DOORS.
- PROVIDE THRESHOLD AND WEATHER STRIPPING FOR ALL EXTERIOR DOORS AS REQUIRED.
- ALL EXTERIOR DOORS TO HAVE AN ENTRANCE LATCH AND KEY LOCK.

DOOR & WINDOW SCHEDULE ABBREVIATIONS:

MATERIAL / FINISHES:

ALUM ALUMINUM
ANOD ANODIZED
B.ANOD BRONZE ANODIZED
C.ANOD CLEAR ANODIZED
GL GLASS
HC HOLLOW CORE
HDWD HARDWOOD
HM HOLLOW METAL
F.F. FACTORY FINISH
FOAM FOAM CORE
MTL METAL
PCC POLYMER CELL CORE
P.LAM PLASTIC LAMINATE
P.MTL PRESSED METAL
P.NICK POLISHED NICKEL
PTD PAINTED
S.ANOD SATIN ANODIZED
SC SOLID CORE
SGPT SEMI-GLOSS PAINT
S.S. STAINLESS STEEL
STL STEEL
STN STAIN
WD WOOD

HARDWARE:

3H (3) HINGES
CL CLOSER
DC DROP CAP
DS DOOR STOP
DV DOOR VIEWER (180°)
ENTRY ENTRY LATCH
FH FLOOR HINGE SET
FL FLOOR LOCK
H.B.M. HARDWARE BY MANUF.
KL KEY LOCK
KP KICK PLATE
PASSAGE PASSAGE LATCH
PANIC PANIC DEVICE
PANIC WIA PANIC DEVICE W/ ALARM
PRIVACY PRIVACY LATCH
PUSH/PULL PUSH / PULL HARDWARE
STORE RM STORE ROOM LATCH
TH THRESHOLD
WS WEATHER STRIPPING

GLAZING TYPE:

CGL CLEAR GLASS
OGL OBSCURE GLASS
TGL TINTED GLASS
MP MULTI-PANED
-IN INSULATED, DOUBLE PANE
-T TEMPERED

WINDOW SCHEDULE

NO.	NEW / EX	QNTY	OPERATION	WIDTH	HEIGHT	SILL HEIGHT	AREA	TYPE	FRAME		DETAILS			U	SHGC	F.R.	KEYNOTES / REMARKS
									MAT	FINISH	HEAD	JAMB	SILL				
W1	New	1	SLIDING	5'-0"	3'-0"	3'-8"	15	MP-T	---						---		ALUMINUM SERIES T5101 - BRONZE ALUMINUM
W2	New	1	SLIDING	3'-6"	3'-0"	5'-0"	11	MP-T	---						---		ALUMINUM SERIES T5101 - BRONZE ALUMINUM
W3	New	1	FIXED	6'-6"	7'-0"	1'-0"	46	MP-T	---						---		ALUMINUM SERIES T5106 - BRONZE ALUMINUM
W4	New	3	FIXED	3'-0"	7'-0"	1'-0"	21	MP-T	---						---		ALUMINUM SERIES T5106 - BRONZE ALUMINUM
W5	New	1	FIXED	8'-0"	5'-0"	3'-0"	40	MP-T	---						---		ALUMINUM SERIES T5106 - BRONZE ALUMINUM
W6	New	3	FIXED SKYLIGHT	5'-0"	6'-0"	2'-10"	30	MP-T	---						---		
W7	New	2	SLIDING	6'-0"	3'-6"	3'-10"	21	MP-T	---						---		ALUMINUM SERIES T5101 - BRONZE ALUMINUM
W8	New	1	SLIDING	2'-0"	3'-0"	4'-1"	6	MP-T	---						---		ALUMINUM SERIES T5101 - BRONZE ALUMINUM
W9	New	1	FIXED SKYLIGHT	4'-0"	5'-0"	12'-6"	20	MP-T	---						---		
W10	New	2	SLIDING	7'-0"	4'-0"	2'-3"	28	MP-T	---						---		ALUMINUM SERIES T5101 - BRONZE ALUMINUM
W11	New	1	SLIDING	4'-0"	3'-0"	2'-3"	12	MP-T	---						---		ALUMINUM SERIES T5101 - BRONZE ALUMINUM
W12	Existing	1	FIXED	3'-6"	3'-6"	2'-8"	12	MP-T	---						---		

GENERAL WINDOW NOTES:

- REFER TO WINDOW TYPES FOR TEMPERED / SAFETY GLAZING LOCATIONS.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING.
- EMERGENCY ESCAPE AND RESCUE OPENING SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.
- PROVIDE EXTERIOR OPENING FOR NATURAL VENTILATION WITH AN AREA EQUAL TO 4 PERCENT OF THE FLOOR AREA.
- SLOPED MONOLITHIC OR MULTIPLE LAYER GLAZING SYSTEMS SHALL BE LAMINATED GLASS WITH A MINIMUM 30 MIL POLYVINYL BUTYRAL INTERLAYER, WIRED GLASS, LIGHT-TRANSMITTING PLASTIC MATERIALS MEETING THE REQUIREMENTS OF SECTION 2607, HEAT-STRENGTHENED GLASS OR FULLER TEMPERED GLASS.

WINDOW KEYNOTES:

- EMERGENCY EGRESS WINDOWS OPENING SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
- EMERGENCY EGRESS WINDOWS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20".
- OPERATION OF EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE.
- EXTERIOR WINDOWS SHALL BE MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR MINIMUM 20-MIN. RATED OR COMPLIES WITH SFM 12-71-2, (708A.2.1 CBC)



THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. THE DESIGNS SHOWN AND DESCRIBED HEREIN ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED, COPIED, OR COMMERCIALY EXPLOITED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, CLAIMS AND LOSSES, INCLUDING DEFENSE COSTS, ARISING OUT OF ANY REUSE OF THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT OF RECORD.

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REAL

TSANG RESIDENCE
751 OAK CREST DRIVE,
SIERRA MADRE, CA 91024

PROJECT

CLIENT

NO.	SUBMITTALS / REVISIONS	DATE
1	1ST PLANNING PLAN CHECK	08/09/17
2	2ND PLANNING RESUBMITAL	09/19/17
3	1ST BUILDING PLAN CHECK	04/23/18
4	2ND BLDING SUBMITTAL	08/14/18
5	3RD BLDING SUBMITTAL	12/5/18

PROJECT #: 000
SCALE: AS SHOWN
DATE: 12/4/2018
DRAWN BY: FW
CHECKED BY: FW

SHEET TITLE:
DOOR AND WINDOW
SCHEDULE

SHEET NO:

A-6.1

ATTACHMENT D :

SITE PHOTOGRAPHS



SOUTH ELEVATION



SOUTHWEST ELEVATION



NORTHWEST ELEVATION



NORTHEAST ELEVATION

4/6/2020

751 OAK CREST DRIVE SIERRA MADRE, CA 91024

EXISTING PHOTOS MAIN UNIT



FW DESIGN
FIONA WU
P.O. BOX 80701, SAN MARINO CA 91118
TEL: 626.354.4649 E-MAIL: fiona.s.wu@gmail.com



SOUTHEAST ELEVATION



WEST ELEVATION

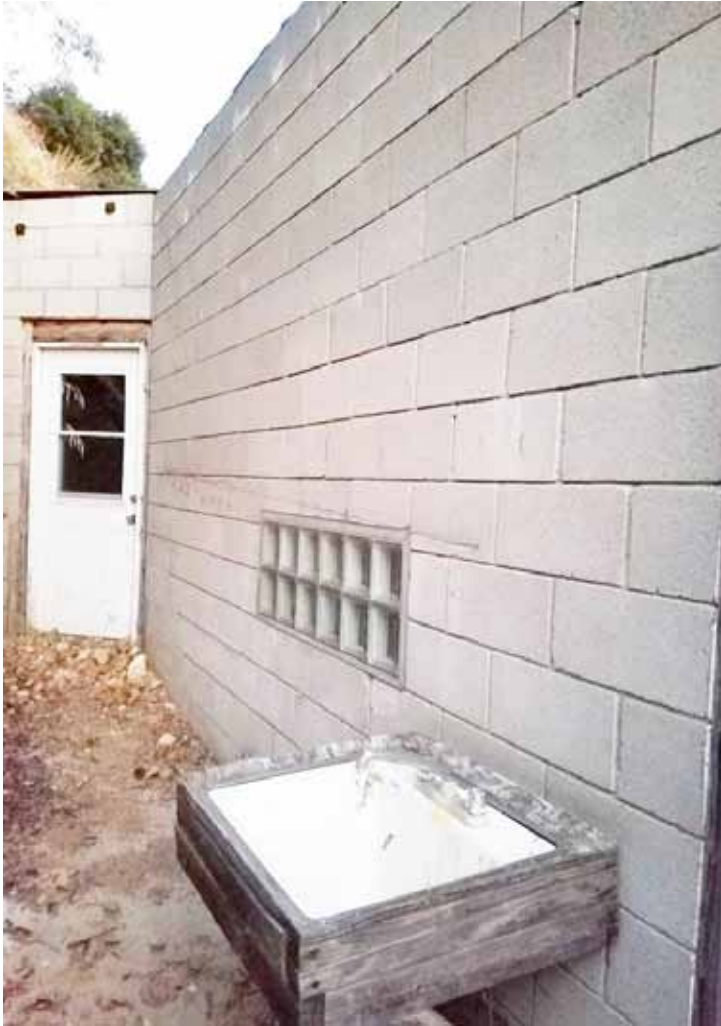
4/6/2020

751 OAK CREST DRIVE SIERRA MADRE, CA 91024

EXISTING PHOTOS SECOND UNIT



FW DESIGN
FIONA WU
P.O. BOX 80701, SAN MARINO CA 91118
TEL: 626.354.4649 E-MAIL: fiona.s.wu@gmail.com



NORTHEAST ELEVATION



NORTHWEST ELEVATION

ATTACHMENT E :

PLANNING APPLICATION HDP 17-02



City of Sierra Madre
Administrative Hillside Development Permit
Application Form

232 W. Sierra Madre Blvd. Sierra Madre, CA 91024
626-355-7135 Fax: 626-355-2251

Date Received

Project No.

Project Address 751 OAK CREST DRIVE, SIERRA MADRE, CA 91024

APN # 5761-027-013 General Plan & Zoning H & RL

Applicant Information

Name:

FIONA WU

Address:

PO BOX 80701, SAN MARINO, CA 91118



H: N/A

Cell: (626) 354-4649

W: N/A

Fax: N/A

Property Owner Information

Name:

JONATHAN TSANG

Address:

PO BOX 80701, SAN MARINO, CA 91118



H: N/A

Cell: (626) 623-2986

W: N/A

Fax: N/A

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CITY OF SIERRA MADRE
PLANNING & BUILDING

Exact Legal Description:

TRACT NO 30242 LOT 3

Applicant Requests:

1. RENOVATION OF MAIN UNIT : INTERIOR FLOOR PLAN OF
EXISTING 3,567 SF STRUCTURE AND NEW 540 SF DECKING.

2. INTERIOR RENOVATION OF SECOND UNIT : GARAGE ROOF @ 1003 SF.

3. NEW ROOF @ PRIMARY MAIN STRUCTURE.

4. NEW MECHANICAL, ELECTRICAL & PLUMBING WORK.

5. EXISTING DECK RENOVATION.

6. NEW TRASH ENCLOSURE

Registered Engineer Information

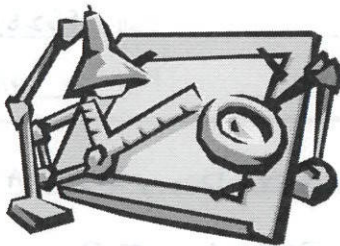
Company: _____ Contact: _____
Address: _____ Phone: _____
_____ Fax: _____

Licensed Surveyor Information

Company: _____ Contact: _____
Address: _____ Phone: _____
_____ Fax: _____

Architect Information

Name: Fiona Wu Contact: fiona.s.wu@gmail.com
Address: PO Box 80701 Phone: (626) 354-4649
SAN MARINO, CA 91118 Fax: _____



Please list (if any):

COVENANTS, CONDITIONS AND/OR RESTRICTIONS:



**City of Sierra Madre
Administrative Hillside Development Permit
Application Form**

232 W. Sierra Madre Blvd. Sierra Madre, CA 91024
626-355-7135 Fax: 626-355-2251

Date Received

8/9/17

Project No.

ADHP 17-02

Project Address 751 OAK CREST DR., SIERRA MADRE, CA 91024

APN # 5761-027-013

General Plan & Zoning _____

Applicant Information

Name:

FIONA WU

Address:

PO BOX 80701, SAN MARINO, CA 91118

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PLANNING & BUILDING



H:

N/A

Cell:

(626) 354-4649

W:

" "

Fax:

N/A

Property Owner Information

Name:

JONATHAN TSANG

Address:

1039 E. VALLEY BLVD., STE. B111, SAN GABRIEL, CA 91776



H:

N/A

Cell:

(626) 623-2986

W:

" "

Fax:

N/A

Exact Legal Description:

751 OAK CREST DR, SIERRA MADRE, CA 91024

TRACT NO. 30242 LOT 3

Applicant Requests:

1. RENOVATION OF MAIN UNIT & INTERIOR FLOOR PLAN

@ 3567 SF + NEW DECKING.

2. INTERIOR RENOVATION OF 2ND UNIT & GALAPAGOS ROOF @ 1003 SF

3. NEW ROOF @ MAIN UNIT & NEW PROPOSED CARPORT

4. NEW MECHANICAL, ELECTRICAL & PLUMBING WORK

5. EXISTING DECK RENOVATION

Application Completeness: Only applications that include all of the required documents described on the following page will be deemed "complete." The Department of Development Services retains the right to review documents and determine that they are adequate in their ability to convey the applicant's request to the decision making body. Applicants will be notified if the application is not complete, within 30 days of filling the application and paying all required fees.

Refund: Applicants will be entitled to refunds of relevant fees only if an application has been submitted and received in error by City Staff. Fees will not be refunded to an applicant who decides not to pursue a project which has been submitted.

The City will work with one individual, or firm, who is the "applicant." It is expected that the applicant will convey all project related information to the individuals involved in the project.



Certification

I certify that I am the duly authorized applicant for this project. Further, I certify that all of the above information is true and correct. (If the undersigned is different from the legal property owner, a letter of authorization must accompany this form.)

I have read and agree to comply with the above stated conditions:

Fiona Wu [Signature] 8/7/17
Name of Applicant Signature

N/A _____
Name of 2nd Applicant Signature

PLEASE NOTE: THE ABOVE SIGNATURE(S) MUST BE NOTARIZED.

**CERTIFICATE
ATTACHED**

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**CITY OF BOSTON
PLANNING & BUILDING**



Application Completeness

- ☒ ADMINISTRATIVE HILLSIDE DEVELOPMENT PERMIT APPLICATION
- ☒ ENVIRONMENTAL INFORMATION FORM
- ☒ PROJECT DESCRIPTION & ANALYSIS: Attach a separate sheet describing the proposal including current use of the property, demolition (if any), proposed construction, proposed use and any other relevant information to the applicant request. Submit all information listed on the analysis form.
- ☒ SITE PLAN: Attach a dimensioned site plan including all property lines indicating existing and proposed structures and the current and proposed use of all structures. Indicate the location of any structures within 5 feet of the abutting site(s). The site plan must indicate a north direction, the architect's name, the owner's name, existing trees & plant materials, internal & external right-of-ways, yard dimensions, and a scale.
- ☒ DIMENSIONED FLOOR PLANS: Must indicate North direction, architect's name, owner's name, and a scale.
- ☒ ELEVATIONS: Dimensioned elevations must be included for each side of the property. Elevations must identify the relevant property lines, natural & finished grade, and missing of structures on adjacent properties.
- ☒ Colored rendering of front elevation
- ☒ Owner's Affidavit
- ☒ NOTIFICATION: A **300** foot radius map (see attached example) and the names of the property owner's within a 1000 foot radius. Submit a master list and 2 sets of typed labels of property owners.
Please also include two (2) self-addressed labels for mailing information purposes.
- ☐ SITE SURVEY: The survey must be completed by a licensed surveyor and show existing grades, structures, and other relevant information. (If required by the Planning Department)
- ☐ Tree removal plan (if necessary) for review by the Tree Advisory Commission
- ☒ Entry onto Private Land. By submitting said form a property owner grants permission to staff and the Planning Commissioners the right to enter private property to evaluate the request.
- ☒ PHOTOGRAPHS: Include pictures of all four (4) directions (N, S, E & W) of existing site and abutting properties looking in and out.
- ☐ **REQUIRED PRINTS: Three (3) Blue Print size.**

***Pursuant to Section 17.52.100 subsection B, the Director may require additional items listed in Section 17.52.100 subsection A.**

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PLANNING & BUILDING

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of Los Angeles)

On AUGUST 7, 2017 before me, PI NING CHEUNG - NOTARY PUBLIC,
Date Here Insert Name and Title of the Officer

personally appeared FIONA WU
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Application Form Document Date: _____

Number of Pages: _____ Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

☐ Corporate Officer — Title(s): _____

☐ Partner — ☐ Limited ☐ General

☐ Individual ☐ Attorney in Fact

☐ Trustee ☐ Guardian or Conservator

☐ Other: _____

Signer Is Representing: _____

Signer's Name: _____

☐ Corporate Officer — Title(s): _____

☐ Partner — ☐ Limited ☐ General

☐ Individual ☐ Attorney in Fact

☐ Trustee ☐ Guardian or Conservator

☐ Other: _____

Signer Is Representing: _____

CEQA: California Environmental Quality Act

Appendix G

ENVIRONMENTAL INFORMATION FORM

(To be Completed by Applicant)

Date Filed _____

General Information

1. Name and address of developer or project sponsor: JONATHAN TSANG
2. Address of project: 751 OAK CREST DR., SIERRA MADRE, CA 91024
Assessor's Block and Lot Number: 5761 - 027 - 013 / 30242 LOT 3
3. Name, address, and telephone number of person to be contacted concerning this project:
FIONA WU (626) 354-4649
PO BOX 80701, SAN MARINO, CA 91118
4. Indicate number of the permit application for the project to which this form pertains: 1
5. List and describe any other related permits and other public approvals required for this project, including those required by city, regional, state and federal agencies:
N/A
6. Existing zoning district: R-H
7. Proposed use of site (Project for which this form is filed): RESIDENCE

Project Description

8. Site size. 1.02 ± ACRES
9. Square footage. 4,570 SF
10. Number of floors of construction. 3
11. Amount of off-street parking provided. N/A
12. Attach plans. YES
13. Proposed scheduling. YES
14. Associated projects. N/A
15. Anticipated incremental development. N/A
16. If residential, include the number of units, schedule of unit sizes, range of sale prices or rents, and type of household size expected. MAIN HOUSE + 2ND UNIT
17. If commercial, indicate the type, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities. N/A
18. If industrial, indicate type, estimated employment per shift, and loading facilities. N/A

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PLANNING & BUILDING

CEQA: California Environmental Quality Act

19. If institutional, indicate the major function, estimated employment per shift, estimated occupancy, loading facilities, and community benefits to be derived from the project. **N/A**
20. If the project involves a variance, conditional use or rezoning application, state this and indicate clearly why the application is required. **N/A**

Are the following items applicable to the project or its effects? Discuss below all items checked yes (attach additional sheets as necessary).

- | | Yes | No |
|--|--------------------------|-------------------------------------|
| 21. Change in existing features of any bays, tidelands, beaches, or hills, or substantial alteration of ground contours. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 22. Change in scenic views or vistas from existing residential areas or public lands or roads. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 23. Change in pattern, scale or character of general area of project. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Significant amounts of solid waste or litter. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Change in dust, ash, smoke, fumes or odors in vicinity. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 26. Change in ocean, bay, lake, stream or ground water quality or quantity, or alteration of existing drainage patterns. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 27. Substantial change in existing noise or vibration levels in the vicinity. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 28. Site on filled land or on slope of 10 percent or more. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 29. Use of disposal of potentially hazardous materials, such as toxic substances, flammables or explosives. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 30. Substantial change in demand for municipal services (police, fire, water, sewage, etc.). | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 31. Substantially increase fossil fuel consumption (electricity, oil, natural gas, etc.). | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 32. Relationship to a larger project or series of projects. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Environmental Setting

33. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site. Snapshots or polaroid photos will be accepted.
- MAIN RESIDENCE @ 3567 3, 2ND UNIT + GARAGE @ 1003 SF (NO CHANGE)**
34. Describe the surrounding properties, including information on plant and animals and any cultural, historical or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one-family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, set-back, rear yard, etc.). Attach photographs of the vicinity. Snapshots or polaroid photos will be accepted.

RESIDENTIAL HILLSIDE (NO CHANGE TO HEIGHT + SETBACKS)

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Date _____

Signature _____

For _____

Fiona Wu

Administrative Hillside Development Permit Application

- A. The current proposal for the property at 751 Oak Crest Drive is a complete renovation of the main house and second unit. The renovation will improve the currently inhabitable property and bring the home up to date and improve the energy efficiency as well as the aesthetics (which will also be beneficial for the neighborhood). There will be no additional living space added to the existing squarefootage and it still remains below the allowable floor area allowed by the HMZ.
- B. The proposed renovation works within the existing building envelope and footprint. There is no change to the size and topography of said property. The overall building integrity and shape remains with the exception of improvement to ventilation. In order to update the structure and provide an adequate flow of natural ventilation, modification to the exterior elevation of doors and windows have been added. Otherwise the building remains within the original envelope with most modifications occurring within the interior space.
- C. Due to the topography and location of the property, site views are not blocked for surrounding neighbors. There are no properties north and east of site. The residence west and south have different views and site lines due to the area topography. The proposed renovation does not interfere with the use, possession and enjoyment of the surrounding and adjacent property owners.
- D. This property has been continuously vacant for many years due to the inhabitable conditions caused by the current building materials. Due to the vacancy, the home is now in dire need of TLC. With the property being rather unique and unoccupied, it has potential to bring many unwanted visitors into the area. We hope to update the home and occupy the space so that there will be no more trespassing and disruptions to our neighbors. We also feel that with the proposed renovations, the overall comfort and value of our neighborhood would increase.
- E. Improvement to the overall aesthetics of the property and maintenance will guarantee occupancy which will reduce the chances of trespassing and disturbances to our neighbors and increase the safety and comfort of the neighborhood. The proposed renovation complies with the standards of the hillside management as well as the design and development standards. The proposed request is compatible with the character of the surrounding area and does not change the essential character of that in the general plan.

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PLANNING & BUILDING

NOTICE AND REVIEW PROCEDURE

An Administrative Hillside Development Permit shall be processed in compliance with the requirements for a minor conditional use permit set forth in Chapter 17.60 of the municipal code. The director may refer any application for an administrative hillside development permit to the Planning Commission if the director determines at the director's sole discretion that the proposed development has the potential to result in significant environmental impacts or alteration of the natural terrain. In the event the director refers an application to the Planning Commission, the Planning Commission shall follow the requirements for a conditional use permit set forth in chapter 17.60 of the municipal code.

FINDINGS REQUIRED

In approving an administrative hillside development permit the reviewing authority shall make all of the following findings: (Attach separate sheets if necessary)

- A. That the proposed request will not be detrimental, or otherwise be inconsistent with the residential character of the neighborhood.

NO

- B. That the site of the proposed request is adequate in size, shape and topography to accommodate the request.

YES

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FINDINGS REQUIRED

- C. That the proposed request will not unreasonably interfere with the use, possession and enjoyment of surrounding and adjacent property owners.

YES WILL NOT INTERFERE.

- D. That there is a demonstrated need for the use requested. .

YES TO BE HABITABLE.

- E. That the proposed request will be arranged, designed, constructed, operated and/pr maintained so as to be compatible with the intended character of the surrounding area and shall not change the essential character of the surrounding area from that intended in the general plan.

YES.

MODIFICATION OF STANDARDS UPON CERTAIN ADDITIONAL FINDINGS

A. For remodels of, or additions to, existing, legal, primary structures, which result in an increase in gross floor area of **25 percent (25%) or less** of the original structure, the reviewing authority may modify the requirements of section 17.52.120.A.4 and A.6 through A.11 (Design and Development Standards) where: (Attach separate sheets if necessary)

1. Requiring strict compliance would be contrary to the purposes of chapter 17.52; and

NO. NO ADDITION TO ORIGINAL STRUCTURE. MODIFICATION OF ROOF & INT.

RENOVATION.

2. Allowing the modification would substantially advance the purposes of chapter 17.52.

YES.

B. For **new construction or remodels beyond the scope of subsection A above**, the reviewing authority may modify the requirements of Section 17.52.120.A.4, 6, 7 or 9 through A.11 (Design and Development Standards) where:

1. Requiring strict compliance would run contrary to the purposes of chapter 17.52 and;

2. Allowing the modification would substantially advance the purposes of chapter 17.52.

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Fill in the following information:

Structures/Square Footage

Existing Dwelling . . . **RECEIVED** . . . ~~3567 SF~~ 3,284 S.F.
 Existing Garage . . . **SEP 19 2017** . . . 266 CF
 Other Structure(s) . . . **CITY OF SIERRA MADRE** . . . 737 SF
 Proposed Addition . . . **PLANNING & BUILDING** . . . ~~Ø~~ NO CHANGE

Allowable Floor Area see chapter 17.52.120

Maximum Allowable Floor Area 6,500 SF
 Existing Floor Area 4,287 S.F. ~~4,570 SF~~
 Proposed Floor Area 4,566 S.F. ~~4,570 SF (NO CHANGE)~~

Permissible Lot Coverage see chapter 17.52.120

Permitted Lot Coverage 7,307.3 SF
 Existing Lot Coverage 2793 SF
 Proposed Lot Coverage 2793 SF (NO CHANGE)

Front Yard Setbacks (see chapter 17.20.50 to 17.20.70 of the R-I Zone)

Front Yard Setback ~~99 FEET~~ 113 FEET
 Required 25 FEET
 Existing Front Yard Setback 99 FEET
 Proposed Front Yard Setback NO CHANGE

Side Yard Setbacks (see chapter 17.20.50 to 17.20.70 of the R-I Zone)

Required—30% aggregate/average setback 69.3 FEET
 Existing Structure 158 FEET
 Proposed Addition NO CHANGE

Rear yard Setback (see chapter 17.20.50 to 17.20.70 of the R-I Zone)

Height see chapter 17.52.160

Parking see chapter 17.52.120

Any trees, shrubs, or vegetation to be removed? ☒ NO ☐ YES If YES, please describe type and total numbers.

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PLANNING & BUILDING

Proposed Landscaping includes:

ARTIFICIAL TURF / DROUGHT TOLERANT PLANTS.

Fill in the following information:

Rear yard Setback (see chapter 17.20.50 to 17.20.70 of the R-I Zone)

Required	.	.	.	.	.	.	.	_____
Existing Structure	.	.	.	.	.	.	.	_____
Proposed Structure	.	.	.	.	.	.	.	<u>NO CHANGE</u>

Height see chapter 17.52.160

Existing Structure	.	.	.	.	.	.	.	_____
Proposed Structure	.	.	.	.	.	.	.	<u>NO CHANGE</u>

Parking see chapter 17.52.120

Existing	.	.	.	.	.	.	.	<u>1 CAR GARAGE</u>
Proposed	.	.	.	.	.	.	.	<u>CARPORT</u>

Any trees, shrubs, or vegetation to be removed? ☒ NO ☐ YES If YES, please describe type and total numbers.

Proposed Landscaping includes:

ARTIFICIAL TURF, DROUGHT TOLERANT PLANTS + SHRUBS.

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Any existing structure(s) to be demolished? _____ NO ☒ YES _____ If YES, please describe structure.

EXISTING ROOF TO BE DEMO & UPDATED TO STANDING SEAM METAL ROOF. INTERIOR DEMO + RENOVATION.

Is the site on the Register of Historic Cultural Landmarks? NO ☒ YES _____

Is the site in the Community Redevelopment Area? NO ☒ YES _____

Will the site be graded? NO ☒ YES _____

Cubic Yards _____ Cut _____ Fill _____

Import _____ Export _____

Will a wall be constructed? NO ☒ YES _____

Height _____ Length _____ Material _____

City of Sierra Madre

ENTRY ONTO PRIVATE LAND

In the performance of their functions, the staff of the City of Sierra Madre may enter upon my land located at

751 OAK CREST DR., SIERRA MADRE

and make examinations provided that the entries and examinations do not interfere with the use of the land by

those persons lawfully entitled to the possession thereof.



Signature of Land Owner

8/8/17

Date

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CITY OF SIERRA MADRE
PLANNING & BUILDING


City of Sierra Madre

OWNER'S AFFIDAVIT

I am the owner of the property located at 751 OAK CREST DR, SIERRA MADRE.

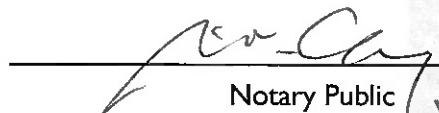
I have read the foregoing application for the planning permits and know the contents thereof and give the City of Sierra Madre permission to process such permits.

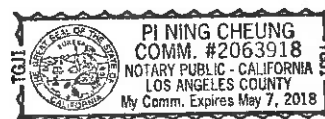
I certify under penalty of perjury that the foregoing is true and correct.


Signature

Please print: Name JONATHAN TSANG
Address 1039 E. VALEY BLVD., STE. B111
SAN GABRIEL, CA 91776
Telephone (626) 623-2986

Subscribed and sworn to me this 2nd day of AUGUST, 2017.


Notary Public



Stamp

City of Sierra Madre

OWNERSHIP LIST

I, Vincent P. Acuna, hereby certify that the attached list contains the Names, Complete Addresses, and Zip Codes of all persons to whom all property is assessed as they appear on the LATEST AVAILABLE ASSESSMENT ROLL OF THE LOS ANGELES COUNTY ASSESSOR*, within the area described and for a distance of one-thousand (1000) ~~three-hundred (300)~~ feet from the exterior boundaries of the property described as:

Legal Description:

751 Oak Crest Drive
Sierra Madre, CA 91024

Assessor's Pin: 5761 — 027 — 013

Signature



RECEIVED

AUG 09 2017

CITY OF SIERRA MADRE
PLANNING & BUILDING**PLEASE NOTE: THE ABOVE SIGNATURE MUST BE NOTARIZED.**

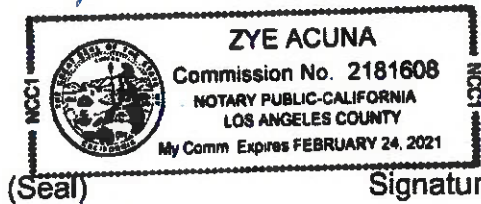
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of LOS ANGELES

Subscribed and sworn to (or affirmed) before me on this 7th
day of AUGUST, 2017, by VINCENT P. ACUNA

proved to me on the basis of satisfactory evidence to be the
person(s) who appeared before me.



Signature

[Handwritten Signature]