

WORK SESSION

TOWN HALL COUNCIL CHAMBERS MONDAY, FEBRUARY 27, 2023 AT 6:00 PM

https://us02web.zoom.us/j/85260321983

AGENDA

CALL TO ORDER

DISCUSSION ITEMS

- 1. Medic presentation (Chief Gerin)
- 2. Cell Tower at Charlotte Soccer Academy (*Travis Morgan*)
- 3. Carolina Logistics Park (Travis Morgan)
- 4. Johnston Road Timeline Update (*Travis Morgan*)
- 5. Board of Adjustment Application (*Lisa Snyder*)
- 6. Planning Board Applications (*Lisa Snyder*)
- 7. Finalize Budget Calendar (*Ryan Spitzer*)

CLOSED SESSION

8. Closed Session pursuant to NCGS 143-318.11 (4) - economic development

ADJOURN

If you require any type of reasonable accommodation as a result of physical, sensory, or mental disability in order to participate in this meeting, please contact Lisa Snyder, Clerk of Council, at 704-889-2291 or lsnyder@pinevillenc.gov. Three days' notice is required.









OUR PEOPLE



OUR STEWARDSHIP

Medic Response Configuration Update

Proposed Changes

- Why: Appropriate resource allocation & patient prioritization
- What: Resource type, mode, and time targets
- Who: Collaborative project under guidance of Medical Direction
 - Medic Agency Board of Commissioners/Medical Control Board
 - Charlotte Fire Department
 - Mecklenburg County Fire Departments/ETJs
 - Charlotte-Mecklenburg Police Departments
 - County law enforcement agencies

Why change response configuration?

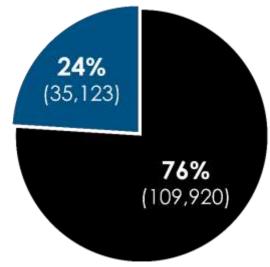
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- Response & outcome are misaligned
- Protect response to the sickest patients

911 RESPONSES

Dispatched As Life Threatening

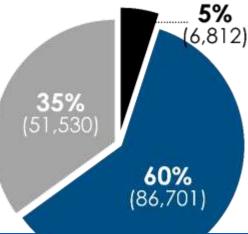
Dispatched As Non-Life Threatening



Determined To Be Life Threatening

Determined To Be Non-Life Threatening

Not Transported



Why reduce lights & sirens?

- Best practices have been evolving since 1990s
- Increases chance of crashes by 50%
- Avg time saved ranges from 42 seconds –
 3.8 minutes
- 6.9% of medical calls w/ lights & sirens result in life-saving interventions



911 CALLER

INCOMING CALLS

CMPD: POLICE, FIRE OR MEDIC

PHONE PICK UP "MEDIC -ADDRESS OF THE EMERGENCY?"

MPDS OR FPDS

CALL TYPE DETERMINED

RESOURCES

Current Response Configuration

Response Time Target	Response Time Reliability	First Responder Resource	% of Call Volume
10:59*	90%	Y-Fire	20%
12:59*	85%	Y-Fire	49%
60	80%	N	22%
ON/OP/OC	N/A	N	9%

Proposed Response Configuration

Response Time Target	Response Time Reliability	First Responder Resource	% of Call Volume
10:59*	90%	Y - FIRE	19%
15	90%	Y/N - FIRE	18%
30	80%	Y/N - FIRE	25%
60	75%	Ν	10%
90	75%	Ν	0.1%
ON/OP/OC	N/A	N	9%
First Responder Only	N/A	Y - FIRE	19%

Is it safe?

12,901

911 calls with a 60-minute response time target from October 21, 2021 - October 31, 2022



65%

Transported to a local Emergency Department

< 1%

Transported as a high priority patient

17%

Cancelled before Medic arrived

17%

Not transported

0%

Negative impact to patient outcomes

What this means for your community...

- Rapid response to high priority emergencies will not change
- Increases safety
 - Ability for Medic to respond to our sickest patients
 - Safer roadways due to decrease use in lights & sirens
- Will receive a response that aligns to the severity of the condition presented, similar to Emergency Department triage
 - May experience longer response times to non-life threatening emergencies
- Greater emphasis on community awareness & proper use of 911



Council Presentations and Media Engagement

- Community education process continues
 - Ongoing Media engagement
 - Launched community info page on Medic911.com
 - County FRs, Town/County Manager Meeting
 - Charlotte City Council
 - Davidson Town Council
 - Matthews Town Council
 - Cornelius Town Council
 - Pineville Town Council
 - Huntersville Town Council
 - Mint Hill Town Council

Community Presentations

- Community presentations in all six districts
 - District 1 North Regional Rec Center
 - District 2 Bette Rae Thomas Rec Center
 - District 3 Eastway Regional Rec Center
 - District 4 Hickory Grove Rec Center
 - District 5 Naomi Drenan Rec Center
 - District 6 Matthews Sportsplex
- Additional sites being identified for the non-English speaking community



Workshop Meeting



To: Town Council

From: Travis Morgan

Date: 2/27/2023

Re: Vogue Tower/Sportsplex Conditional Plan Amendment (Informational Item)

BACKGROUND:

(UPDATE) Approximately 446'-5" of sidewalks have now been included along Dorman Road. See packet attachement #5 C-2.1 and C-2.2.

The property at 13333 Dorman Road has previous received site-specific approval for the Carolina soccer sportsplex from May 8th 2012. Initial applicant request was for a 120 foot tower in the front yard that was not permitted by section 6.5.12 Zoning Ordinance requirements. Tower heigh was increased sixty feet due to back location being that amount lower in elevation: 630 vs 570 elevation.

PROPOSAL:

Applicant Pat Troxell-Tant of Vogue Towers seeks your consideration for a new 180-foot monopole cell tower and associated 25' x 65' fenced equipment area. Communication towers in the RMX zoning district require conditional approval and meet section 6.5.12 (communication facilities and towers) of the Zoning Ordinance. (See following development summary)

DEVELOPMENT SUMMARY:

Location: 13333 Dorman Road (Carolina Sportsplex rear yard area)

Request: 180 foot monopole cell tower within a 25'x65' fenced leased area

Zoning: Existing: RMX (CD)

Proposed: RMX (CD) (amended)

Parcel Size: 56.48 acres
Parcel 13501 Dorman Size: 1.82 acres
Parcel Size: 58.3 acres total

STAFF COMMENT:

Plan is recommended with the addition of the sidewalks as shown. There does seem to be a need for the tower and is located approximately 1,600 feet from Dorman Road and at least 1,200 feet from nearest residences all outside of any fall zone or zoning buffer. Staff recommends any street sidewalk along Dorman Road not within the road right of way to have Town/Public easements. Staff recommends the incorporation of the 13501 Dorman property into the conditional plan. Any future changes to this property to meet all zoning requirements or come back before Town Council for conditional plan amendment. Proposal is found to be reasonable and consistent with adopted plans including the walkability goals and Comprehensive Plan.

PROCEDURE:

This meeting is to familiarize you with the applicant's request go over updates, modifications, and recommendations. The process is legislative with the standard conditional zoning process. This is a workshop meeting intended to refine the development proposal and to get your feedback ahead of any future public hearing and council vote. For any upcoming vote; a general consistency statement is needed for consistent with or inconsistent with adopted plans. Such as: Proposal is found to be reasonable and consistent with adopted plans.





Submit to Planning Department, 200 Dover St, Pineville, NC 28134 Phone (704) 889-2291 Fax (704) 889-2293

Office Use Only:				Applica	tion #:
Payment Metho	od: Cash	_ Check	_ Credit Card	Amount \$	Date Paid
		Zo	ning App	olication	
Note: A	application will no				nents listed have been completed
Applicant's Name	e: Vogue Tower	Partners VII, LL	C	P	Phone: 423-702-0313
Applicant's Maili	ing Address: <u>430</u>) Chestnut Stre	eet, Suite 101-B, Cho	ittanooga, TN, 3740	2
Property Inform	mation:				
Property Location	n: <u>Carolina Spo</u> r	tsplex, Dorma	n Road, Pineville, N	28134	
Property Owner	's Mailing Address:	13333 Dor	man Road, Pineville,	NC 28134	
Property Owner	Name: Carolina	Sportsplex, LL	C (Brad Wylde)	P	'hone:704-708-4166
Tax Map and Pa	arcel Number: 22	2111112		Existing Zo	oning: RMX
	applying (Ched				
Rezoning by Rig	ht Co	onditional Zoni	ingX C	onditional Rezoning	Text Amendment
ill out section	(s) that apply:				
Rezoning by Rig	ght:				
Proposed Rezon	ing Designation				The state of the s
Conditional Zon	ning:				0
Proposed Condit	tional Use <u>Multi-</u>	carrier Commu	nication Facility with	180' monopole	
Acreage05	Square	e Feet	Approx	imate Height18	0' # of Rooms N/A
Parking Spaces	Required N/A	Parking Spc	aces Provided N	/A **Plea	se Attach Site Specific Conditional Plan
Conditional Rez	oning:				
Proposed Condit	tional Rezoning Des	ignation			
Text Amendmen	nt:				
Section	aad oloo solikkolisis siiriigid diramii saa	Reason			
Proposed Text C	Change (Attach if ne	eded)			
	Signature of Applic	scant Control	Sant	D	the best of my knowledge, correct. 5.17. 2022
	Signature of Prope	rty Owner (If r	not Applicant)	D	Date
	Signature of Town	Official			Date

Item 2.

Polaris 3G Map – Mecklenburg County, North Carolina Pineville Alt Location - SE Corner



This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and deeds. Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no le responsibility for the information contained herein.



APPLICATION FOR CONDITIONAL USE APPROVAL BY VOGUE TOWER PARTNERS VII, LLC, FOR THE CONSTRUCTION OF A WIRELESS COMMUNICATION FACILITY

Application: For Town of Pineville approval by Vogue Tower Partners VII, LLC ("Vogue Towers") for a proposed multi-carrier (provider) communications facility.

Site Name: Sugar Creek, NC-091

Project Description: Vogue Towers proposes to construct a multi-tenant 180' monopole structure within a 25'x 65' fenced compound area (see attached design drawings for details). This facility will have provisions for multiple carriers, satisfying the intent of the Town's ordinance to reduce the need for new towers.

Parcel Address: Dorman Road, Pineville, NC 28134

Property Owner: Carolina Sportsplex, LLC

Narrative:

The wireless industry is continually improving networks to best meet the needs of the community. In the present case, the growth in usage at existing locations requires a new tower. The purpose of this proposed wireless facility will be to provide improved capacity, quality, and safety to the area, specifically to customers and residents in and around this portion of Pineville.

As the demand for wireless continues to increase with the use of "smart phones" (24.3% increase in voice, 19.6% increase in data in 2020, per CTIA), there is an increased need for wireless telecommunications infrastructure to keep up with the demand. Each wireless telecommunications facility can handle only a fixed amount of demand and/or cover so far, and this tower is needed to provide additional coverage and capacity for this portion of the community.

This proposal is to construct a multi-carrier monopole communications facility. The applicant will lease the use of space and access as shown on the site plan. Within that area will be a 1,625 sq/ft fenced compound providing room for wireless carriers including Verizon Wireless (a party to this application request), AT&T, and other collocating wireless providers to place equipment cabinets/buildings within the compound of the new tower.

Consideration of this application should not, however, be limited to examining how successfully Vogue Towers has mitigated any negative impact through design and location. The positive impact of the site should be given full

weight as well. We live in a society where our wireless devices have become an essential tool for daily living, a necessity with approximately 80% of E911 calls being made from wireless devices each year and more than one-half of American homes (54.9% as of 2018) with only wireless telephone service (*National Center for Health Statistics*). Furthermore, the benefits of this site to the community go beyond just convenience for residents and businesses. Quality wireless service is part of the critical infrastructure necessary for public safety and first responders in emergency situations such as accidents, crimes, health incidents and natural disasters. Given the design, location and benefits provided by this proposed site, the lack of significant impacts, and compliance with the requirements of the ordinance as more fully demonstrated below, approval of this application is respectfully requested.

6.5.12 Communication Facilities and Towers

In recognition of the Telecommunications Act of 1996, it is the intent of the Town of Pineville to allow communication providers the opportunity to locate towers and related facilities within its jurisdiction in order to provide an adequate level of service to its customers while protecting the health, safety, and welfare of the citizens of Pineville. Wireless towers may be considered undesirable with other types of uses, most notably residential, therefore, special regulations are necessary to ensure that any adverse effects to existing and future development are mitigated.

- A) Wireless telecommunication towers, (including cellular towers, digital towers, and PCS towers), are permitted uses by right in the G-I district pursuant to the regulations set forth in this section. Telecommunication towers require the conditional zoning approval from town council in all other zoning districts pursuant to the regulations set forth in this section and Ordinance. Applicant is seeking conditional zoning approval to place the Communications Facility on a parcel zoned (RMX), Residential Mix-Use.
- B) All telecommunication towers constructed must be of the monopole variety, unless the tower exceeds 199.9 feet, in which case a lattice type tower may be used to ensure structural safety. Towers within the G-I district may be either a monopole or lattice type where the property currently has no structure or is developed for non-residential purposes. Towers constructed on property, which includes residential development, must be of the monopole variety. Applicant complies, proposing a 180' monopole.
- C) It is the intent of the Town to encourage providers to co-locate facilities in an effort to reduce the number of towers in Pineville's jurisdiction. Providers shall exhaust all potential co-location possibilities and provide documentation to such effect before the Town considers any application. As depicted in attached coverage propagation maps generated by Verizon Wireless (Exhibit 1) and mapping of nearby towers (Exhibit 2), there are no viable existing structures to utilize for collocation. In fact, Verizon Wireless is located on, and currently operating from the nearby towers, confirming the need for this additional location.

The Town encourages providers to construct telecommunication towers such that additional telecommunication providers may be afforded the opportunity to co-locate facilities on the tower. The owners of the towers with co-location space shall negotiate in good faith with other providers' space at a reasonable lease cost, and publicize the fact that space is available on a lease basis. The Town further reserves the right to make co-location a condition of any tower permitted as a conditional use under the guidelines listed above.

Applicant complies and has designed this location specifically to offer space to other providers as reflected in the attached site plan.

Mini or micro cell co-locations of the mono-pole type only on top of existing buildings or utility poles are permitted up to twenty (20) feet in height. N/A

D) The maximum height of any tower located in all Residential (R) districts, Business (B) districts, and Office (O) districts is 125 feet unless documentation is provided to show a taller tower is required to meet minimal service levels (i.e. cannot meet reasonable service coverage area). Towers located in the G-I district have a maximum

height limitation of 199.9 feet unless documentation is provided to demonstrate a taller tower is required for a minimal level of service and need. If the property on which the tower is located is developed for residential purposes, the tower will have a maximum height of 125 feet. As noted above, Applicant is seeking to develop a multi-carrier Communications Facility consisting of a 180' monopole. The current zoning of the parcel is RMX and the current use is as the Carolina Sportsplex soccer facility. Vogue Towers seeks to locate and develop their facilities within permitted uses, working diligently to avoid residentially zoned property wherever and whenever possible and selected this location based on its underlying use. The original location was based on higher ground elevation, but the reduced ground elevation at this location requires a higher tower in order for Verizon Wireless to meet the coverage objective.

- E) No telecommunication tower is allowed to be located within the front or side yards of any existing development. **Applicant complies.**
- F) The Town of Pineville, by federal law, cannot prohibit a telecommunication tower nor deny a conditional zoning approval on the basis of environmental or health concerns relating to radio emissions if the tower complies with the Federal Radio Frequency Emission Standards. The Town requires that the provider must provide documentation proving that the proposed tower does comply with the Federal Radio Frequency Emission Standards. Applicant complies and provides attached letter as evidence (Exhibit 3).
- G) A minimum lot size as listed in the underlying zoning district is required, provided all setbacks required herein are met. Applicant does not own the subject parcel, occupying the proposed development location via leasehold interest. However, Applicant does comply with setbacks for the RMX zoning district as well as complies with the minimum 150' tower setback to property lines as demonstrated in the attached site plan.
- H) Wherever feasible, all accessory structures on the ground which contain switching equipment or other related equipment must be designed to closely resemble the neighborhood's basic architecture, or the architecture and style of the principal use on the property. Every effort should be made to conceal a tower within Residential (R) Districts. As illustrated in the attached site plan, Verizon's equipment consists of cabinets and will be visually contained within the fenced and landscaped area.
- Screening is required along all sides of the perimeter of the tower site in accordance with the provisions set forth in Article 5 of this Ordinance. It will be the responsibility of the provider and/or the property owner to keep all landscaping material free from disease and properly maintained in order to fulfill the purpose for which it was established. The owners of the property, and any tenant on the property where screening is required, shall be jointly and severally responsible for the maintenance of all screen materials. Applicant provides evidence of its compliance in the attached site plan, proposing to landscape only three (3) sides of the Communications Facility as the rear, or eastern line, backs up to a wooded area.

Such maintenance shall include all actions necessary to keep the screened area free of litter and debris, to keep plantings healthy, and to keep planting areas neat in appearance. Any vegetation that constitutes part of the screening shall be replaced in the event it dies. In addition, an eight (8) foot high fence must be placed around the structure (before the screening) to avoid creating a nuisance. As depicted in the attached site plan and previous design drawing detail, Applicant complies with the 8' fence and will comply with the ongoing maintenance of the Communications Facility and applicable landscape buffer.

J) In all districts, a minimum setback requirement, on all sides of the property, shall be 150 feet or two feet for every one (1) foot of actual tower height (i.e. a 150 foot tower would require a 300 foot setback), whichever is greater. If the applicant can document a reduced collapse area, then the setback shall be the greater of that distance or 150 feet. Applicant complies with the minimum 150' tower setback for the area by providing an

engineered tower fall zone letter (Exhibit 4) documenting the 180' monopole will be designed with a 50% theoretical fall zone, reducing the area around the communications facility.

- K) Telecommunication towers located in all residential districts and having a height of 199.9 feet or less, shall not contain lights or light fixtures at a height exceeding fifteen (15) feet. Furthermore, lighting of all towers in any district shall be directed toward the tower and/or equipment shelters to reduce the effect of glare. Lighting is not typically required for towers below 200'. Applicant previously obtained approval by the FAA (FAA #2021-ASO-47185-OE) for the original proposed location, the coordinates of which will be revised pending this approval (Exhibit 5).
- L) Towers and related facilities must be removed by the provider and/or the property owner if abandoned (no longer used for its original intent) for a period greater than six (6) consecutive months. **Applicant will comply.**
- M) Additional provider antennas and equipment shelters to an approved telecommunication tower site may be made with the approval of the Planning Director, without additional review by the Planning Board and Town Council, provided said changes do not increase the height of the tower or the type of tower construction. Note, Applicant is seeking approval of the Communications Facility including the initial provider, Verizon Wireless, as shown in the attached design drawings.
- N) Free-standing signs for telecommunication towers are prohibited. One wall sign, for the purpose of identification, is allowed on any equipment shelter provided it does not exceed ten (10) percent of the total wall area of the wall on which it is located. Applicant will comply, providing only site identification signage on gate, emergency contact information and signage as required by regulatory authorities such as FAA or FCC.
- O) The provider must show proof of adequate insurance coverage for any potential damage caused by or to the telecommunication tower prior to the issuance of a conditional use permit. Applicant's certificate of insurance is attached (Exhibit 6).
- P) Outdoor storage of equipment or other related items is prohibited on a telecommunication tower site. **Other** than during construction, Applicant will comply.
- Q) Provider must notify the Town of sale or lease of structure. Applicant's will comply, but requests confirmation that purpose of this section is to receive notice of every Communications Facility or Tower tenant (provider)?
- R) All applications for a conditional approval for a telecommunication tower must include the following information:
 - 1) Identification of intended provider(s); Included in this conditional zoning application, Verizon Wireless, but as previously noted, site will be developed to provide space to additional providers, minimizing the need for additional towers in this area.
 - 2) Documentation by a registered engineer that the tower and foundation have sufficient structural integrity to accommodate more than one user; Applicant has not yet purchased the tower, pending this conditional use approval and required regulatory due diligence. However, the Communications Facility will be designed as a multi-carrier (provider) tower site as depicted in the attached site plan and previous design drawing detail. Applicant confirms the Tower will be designed by and the design sealed by a Professional Engineer, licensed in the State of North Carolina; will be designed in compliance with current ANSI/TIA-222 standards and local building codes to fully comply with the

Town's ordinance and building criteria; and location specific design information will be provided to the Town prior to or included with the submittal for building permit.

- 3) A statement from the owner indicating intent to allow shared use of the tower and how others will be accommodated; See attached letter from Pat Troxell-Tant, CEO of Vogue Tower Partners VII, LLC (Exhibit 7).
- 4) Evidence that the property owners of residentially zoned property within 300 feet of the site have been notified by the applicant of the proposed tower height and design; Per previous correspondence with Staff on 8/4/2021, Staff indicated they would support this task. In addition, per the attached map (Exhibit 8), there are no additional properties within the 300' radius other than the Catawba Lands Conservancy, to the East.
- 5) Documentation that the telecommunication tower complies with the Federal Radio Frequency Emission Standards; Applicant complies and provides attached letter as evidence (Exhibit 3).
- 6) Documentation that towers over 125 feet (or 199.9 feet in the G-I district) are necessary for a minimal level of service; Per §C and §D above, and Exhibits 1 and 2, the reduction of ground elevation of approx. 46' requires exceeding the tower height limit in order to justify and meet the coverage objective for this site.
- 7) Screening must be shown on the site plan detailing the type, number of plantings, and location; and See proposed landscaping included in the attached original design drawings.
- 9) Documentation of collapse zones. See attached fall zone letter (Exhibit 4) and condensed fall radius of 90' in the attached design drawings.

As provided for in this application package, the proposed telecommunications facility meets the conditions and specifications of the Town's Zoning Ordinance, Section 6.5.12, *Communications Facilities and Towers*. Wireless service is increasingly being considered a public necessity as it is often the only means citizens have to emergency services. The location and character of the use, if developed according to the plan submitted and recommended, will be in harmony with the area in which it is to be located. The proposed wireless telecommunications facility will meet the infrastructure needs of this area of the area and will provide much needed access to emergency services.

Respectfully submitted,

Patricia Troxell-Tant Chief Executive Officer

Vogue Tower Partners VII, LLC

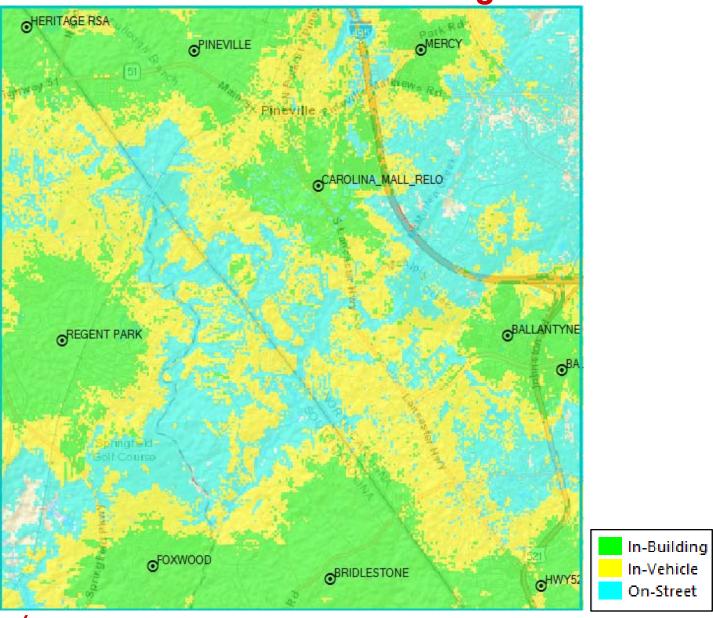
Patricia Troxell-Tant

POLK – Zoning Plots

August 2021 RF Team

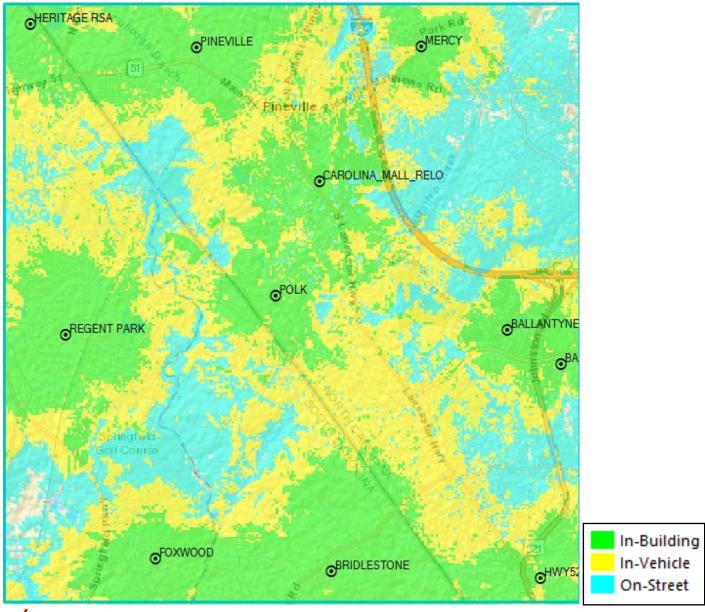


Current VZW 4G LTE Coverage





Proposed VZW 4G LTE Coverage

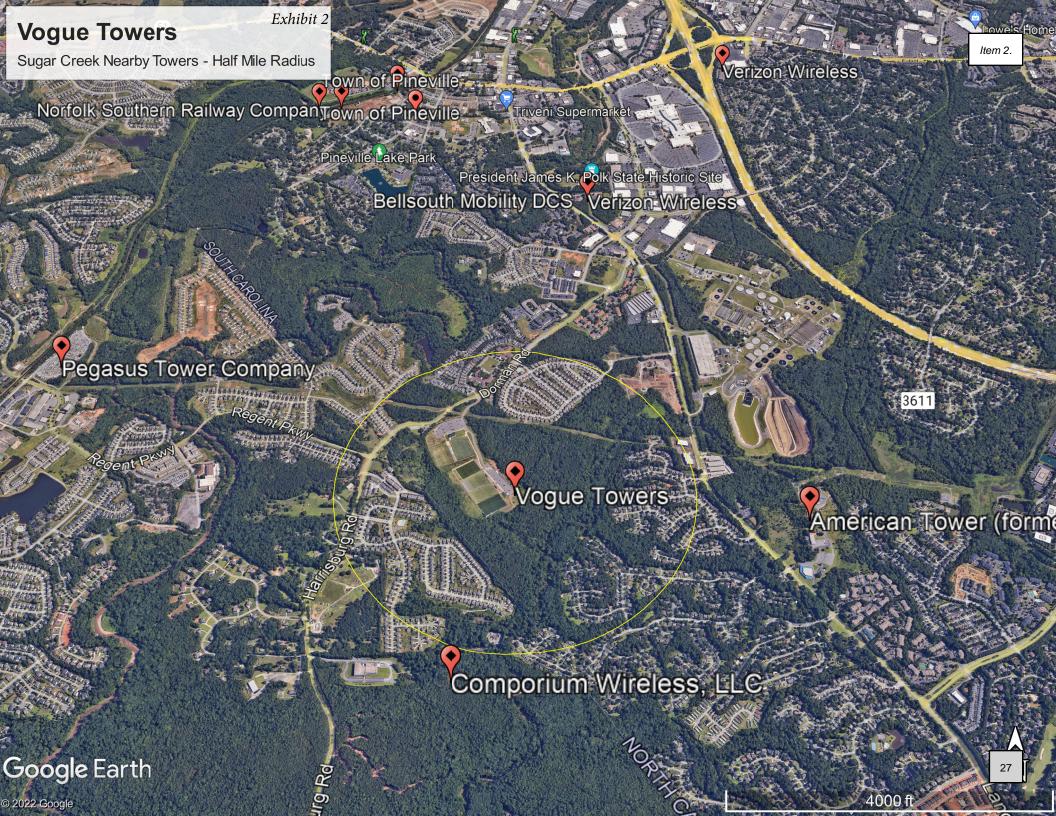




Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.

Thank You





Item 2.

Polaris 3G Map – Mecklenburg County, North Carolina Sugar Creek Tax Map 7-07-2021



This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and data Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no later property are information contained herein.



November 19, 2021

To: Town of Pineville

Transmitted via email to janet@voguetowers.net

RE: Verizon Wireless Polk Macro Site Located at: 13333 Dorman Rd, Pineville, NC 28134

To Whom It May Concern,

We write to inform you that Verizon Wireless has performed a radio frequency (RF) compliance pre-construction evaluation for the above-noted proposed site and based on the result of the evaluation, the site will be compliant with FCC Guidelines.

The FCC has established safety rules relating to potential RF exposure from cell sites. The rules are codified at 47 C.F.R § 1.1310. The FCC provides guidance on how to ensure compliance with its rules in the FCC Office of Engineering and Technology Bulletin 65 (available at

https://transition.fcc.gov/Bureaus/Engineering_Technology/Documents/bulletins/oet65/oet65.pdf). The FCC developed the RF standards, known as Maximum Permissible Exposure (MPE) limits, in consultation with numerous other federal agencies, including the Environmental Protection Agency, the Food and Drug Administration, and the Occupational Safety and Health Administration. The FCC provides information about the safety of radio frequency (RF) emissions from cell towers on its website at:

https://www.fcc.gov/engineering-technology/electromagnetic-compatibility-division/radio-frequency-safety/faq/rf-safety.

Please refer to the FCC Office of Engineering and Technology Bulletin 65 and the attached Verizon Wireless RF Brochure for information on RF exposure guidelines, RF safety, and landlord responsibilities. Questions related to compliance with federal regulations should be directed to VZWRFCompliance@VerizonWireless.com.

Please contact your local Verizon Wireless resource below if you have additional site-specific questions.

Contact Name	Contact Email	Contact Phone
Kelly Quate	Kelly.quate@verizonwireless.com	704-574-5273

Sincerely,

Jignesh Choski

Manager-RF System Design Verizon Wireless

North Point Center East, Suite 251, Alpharetta, Georg

ltem 2.

Regional Offices

Corporate - Wall, New Jersey King of Prussia, Pennsylvania Bethlehem, Pennsylvania Hackettstown, New Jersey Camden, New Jersey Newark, New Jersey New York, New York

May 17, 2022

VOGUE TOWER PARTNERS VII, LLC

430 Chestnut St., Suite 101B Chattanooga, TN 37402

Re Fall Zone Letter for Proposed 180' Monopole Tower

Site Name: Sugar Creek

Site Address: Dorman Road, Pineville, NC 28134, Mecklenburg County

Building Code: IBC 2018

Design Standard: ANSI/TIA-222-H

Dear Vogue Tower Partners VII;

French & Parrello Associates has reviewed the proposed Vogue Tower communications tower installation at the above referenced site. The project will contain a monopole-type antenna support tower with a height of 180' above ground level (AGL). The monopole structure is made up of hot dipped galvanized high strength steel tubing that is typically 48-60" diameter at its base and tapering to 18" diameter at the top.

The antenna cables will be routed from the ground-based equipment up the inside of the pole to the proposed antenna rad center. The tower manufacturer shall supply structural design drawings prepared by a licensed Structural Engineer in the State of North Carolina at the time of Building Permit submission for review by the County before construction can commence.

The tower will be designed in accordance with the North Carolina State Building Code and International Building Code (IBC). Both of these codes have adopted the Telecommunications Industry Association/Electronics Industry Association Standards (ANSI/TIA-222-H). These standards dictate the design of all communications towers and take into consideration the following parameters:

1. Structure Risk Category/Class

Category/Class is chosen based upon the function of risk to human life, potential damage to property in the event of failure and the type of services that the tower will provide (i.e. essential communications vs. services that are optional)

2. Environmental Loading

Includes wind, ice, and seismic loads based upon local county-based data



3. Site Exposure Category

Category is chosen based upon "surface roughness" of local surrounding vegetation, structures and natural topography. This also impacts wind loading calculations

4. Topographic Category

Category is chosen based upon wind "speed-up" effects from surrounding topography, such as towers being located within gently rolling terrain or at the top of a hill or ridge

The design of the tower shall be such that in the unlikely event of structural failure, the monopole will collapse onto itself and not onto a street or a building. In other words, structural failure would be typical of that of a straw bending onto itself, rather than a bowling pin being knocked over. Vogue Partners shall stipulate to the tower manufacturer/designer that the area of probable failure be located in the mid-height of the tower so that the tower would collapse onto itself. This is done by over-designing the tower sections below the failure point as necessary.

In regard to the possibility of any future corrosion of the structure, the monopole shall be constructed with hot dipped galvanized steel, similar to that of highway signs and traffic signal poles. The ANSI/TIA-222-H standards have been based in part on the American Association of State Highway and Transportation Officials (AASHTO) standards which govern the construction and design standards for those structures (which have an extremely rare rate of corrosion related failures). Furthermore, the tower owner will be required to inspect the structure at intervals stipulated by ANSI/TIA-222-H standards or as may be stipulated by the underlying municipal authority, whichever is more stringent.

A geotechnical evaluation will be conducted that will explore the subsurface conditions in the vicinity of the proposed tower and develop geotechnical engineering recommendations to facilitate the design of the tower foundation. A report will be generated that shall be utilized by the tower manufacturer/designer to prepare foundation design drawings to be submitted at the time of Building Permit submission for review by the County before construction can commence. The geotechnical report and design drawings shall all be prepared by licensed Geotechnical Engineers in the State of North Carolina.

In summary, monopole-type antenna support structures are designed for extreme wind conditions with factors of safety that result in a design that is extremely conservative. The occurrence of monopole failure is exceptionally rare and historically these structures have survived after experiencing wind speeds considerably higher than their design speeds.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

John Bosco, P.E.
Senior Project Manager
NC PE # 45436 (Exp: 12/31/2022)



Aeronautical Study No. 2021-ASO-47185-OE

Item 2.

Exhibit 5

Issued Date: 01/27/2022

Janet Gill Vogue Towers Partners VII LLC (JG) 430 Chestnut Street Suite 101-B Chattanooga, TN 37402

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower NC-091

Location: Pineville, NC

Latitude: 35-03-45.72N NAD 83

Longitude: 80-53-17.76W

Heights: 620 feet site elevation (SE)

130 feet above ground level (AGL) 750 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

	At least 10 days prior to start of construction (7460-2, Part 1)
X	Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 07/27/2023 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

Page 1 of 7

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST

BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION

OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO

SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE
ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (718) 553-2611, or angelique.eersteling@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-ASO-47185-OE.

Signature Control No: 502458798-509694108

(DNE)

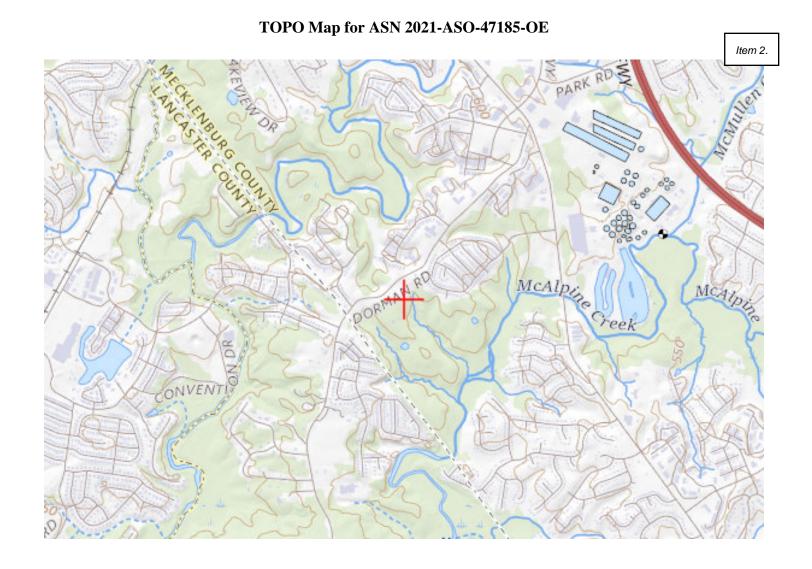
Angelique Eersteling Technician

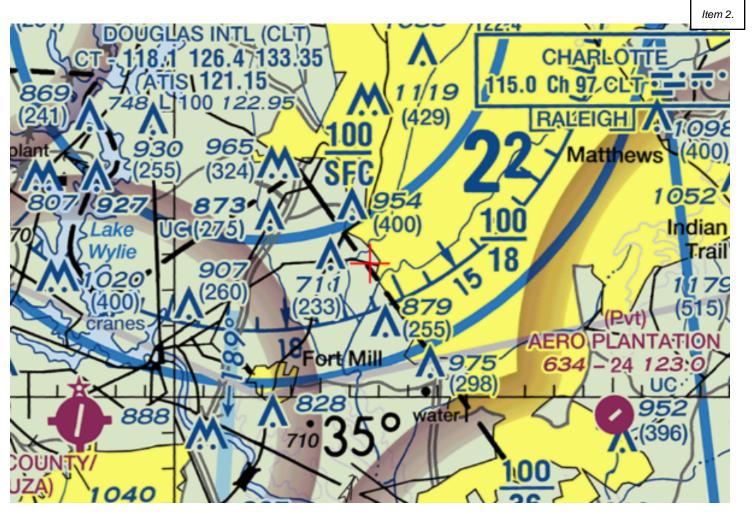
Attachment(s)
Case Description
Frequency Data
Map(s)

cc: FCC

шеп	EDECLIENCY		ERP
		FRP	UNIT
TREQUERCE	OIII	EXI	CIVII
7	GHz	55	dBW
			W
			W
806	MHz	1000	W
901	MHz	500	W
824	MHz	500	W
849	MHz	500	W
866	MHz	500	W
894	MHz	500	W
901	MHz	500	W
902	MHz	7	W
932	MHz	3500	W
931	MHz	3500	W
932	MHz	3500	W
932.5	MHz	17	dBW
940	MHz	1000	W
941	MHz	3500	W
1675	MHz	500	W
1755	MHz	500	W
1910	MHz	1640	W
1990	MHz	1640	W
1990	MHz	1640	W
2025	MHz	500	W
2200	MHz	500	W
2360	MHz	2000	W
2310	MHz	2000	W
2360	MHz	2000	W
2690	MHz	500	W
	901 824 849 866 894 901 902 932 931 932 932.5 940 941 1675 1755 1910 1990 1990 2025 2200 2360 2310 2360	FREQUENCY UNIT 7 GHz 7 GHz 11.7 GHz 19.7 GHz 19.7 GHz 23.6 GHz 698 MHz 698 MHz 806 MHz 901 MHz 849 MHz 866 MHz 901 MHz 902 MHz 932 MHz 931 MHz 932.5 MHz 940 MHz 941 MHz 1755 MHz 1990 MHz 1990 MHz 2025 MHz 2360 MHz 2310 MHz	FREQUENCY UNIT ERP 7 GHz 55 7 GHz 42 11.7 GHz 55 11.7 GHz 42 19.7 GHz 42 23.6 GHz 42 23.6 GHz 42 698 MHz 1000 806 MHz 1000 901 MHz 500 824 MHz 500 849 MHz 500 894 MHz 500 901 MHz 500 902 MHz 7 932 MHz 3500 931 MHz 3500 932.5 MHz 17 940 MHz 1000 941 MHz 500<







Client#: 1869017 140VOGUETOW Exhibit 6

DATE (MM ltem 2.

ACORD _M	CERTIFICATE OF LIABILITY INSURANCE	11/24/	1
HIS CERTIFICATE IS	ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE H	OLDER. T	HI

S CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on

this certificate does not comer any rights to the certificate holder in fied of such endorsement(s).				
PRODUCER	CONTACT Kristen Harris-Powell			
McGriff Insurance Services	PHONE (A/C, No, Ext): 410 480-4429 FAX (A/C, No): 86	6-548-4197		
5850 Waterloo Road, Suite 240	E-MAIL ADDRESS: Kristen.Harris-Powell@McGriff.com			
Columbia, MD 21045	INSURER(S) AFFORDING COVERAGE	NAIC#		
410 480-4400	INSURER A: Hanover Insurance Company	22292		
INSURED	INSURER B:			
Vogue Tower Partners LLC	INSURER C:			
Vogue Tower Partners VII, LLC	INSURER D:			
430 Chestnut Street, Suite 101B	INSURER E:			
Vogue Tower Partners VII, LLC	INSURER F:			

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE		TYPE OF INSURANCE ADDL SUBR INSR WVD PO		POLICY NUMBER	POLICY EFF POLICY E (MM/DD/YYYY) (MM/DD/YY		XP YY) LIMITS	
Α	Χ	COMMERCIAL GENERAL LIABILITY			RHQD07666105	10/21/2021	10/21/2022	EACH OCCURRENCE	\$1,000,000
		CLAIMS-MADE X OCCUR			!			DAMAGE TO RENTED PREMISES (Ea occurrence)	\$1,000,000
								MED EXP (Any one person)	\$10,000
								PERSONAL & ADV INJURY	\$1,000,000
	GEN	I'L AGGREGATE LIMIT APPLIES PER:						GENERAL AGGREGATE	\$2,000,000
		POLICY PRO- JECT X LOC			!			PRODUCTS - COMP/OP AGG	\$2,000,000
		OTHER:							\$
Α	AUT	OMOBILE LIABILITY			RHQD07666105	10/21/2021	10/21/2022	COMBINED SINGLE LIMIT (Ea accident)	\$1,000,000
		ANY AUTO						BODILY INJURY (Per person)	\$
		OWNED SCHEDULED AUTOS ONLY			!			BODILY INJURY (Per accident)	\$
	X	HIRED AUTOS ONLY X NON-OWNED AUTOS ONLY						PROPERTY DAMAGE (Per accident)	\$
									\$
Α	Χ	UMBRELLA LIAB X OCCUR			UHQD07666205	10/21/2021	10/21/2022	EACH OCCURRENCE	\$2,000,000
		EXCESS LIAB CLAIMS-MADE						AGGREGATE	\$2,000,000
		DED X RETENTION \$0							\$
		RKERS COMPENSATION EMPLOYERS' LIABILITY						PER OTH- STATUTE ER	
	ANY	PROPRIETOR/PARTNER/EXECUTIVE CER/MEMBER EXCLUDED?	N/A					E.L. EACH ACCIDENT	\$
	(Mar	ndatory in NH)	IN / A					E.L. DISEASE - EA EMPLOYEE	\$
	If yes, describe under DESCRIPTION OF OPERATIONS below							E.L. DISEASE - POLICY LIMIT	\$
								·	
					!				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

INFORMATIONAL PURPOSES ONLY

CERTIFICATE HOLDER	CANCELLATION
INSURED COPY	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE
	Bariel J. Soul

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430 Chestnut Street – Suite 101-B Chattanooga, TN 37402

423-269-7455

Voguetowers.net

APPLICATION FOR CONDITIONAL USE APPROVAL BY VOGUE TOWERS, LLC, FOR THE CONSTRUCTION OF A WIRELESS TELECOMMUNICATIONS FACILITY AND RELATED APPURTENANCES

November 18, 2021

Mr. Travis Morgan AICP Planning Director Town of Pineville PO Box 249 Pineville, NC 28134

RE: Proposed Communications Facility, 6.5.12.R.3, Collocation Letter of Intent Vogue Tower Site – Sugar Creek Vogue Tower Site # - NC-091
Property Owner – Carolina Sportsplex, LLC

Dear Mr. Morgan:

By submittal of this letter, Vogue Tower Partners VII, LLC, (Vogue Towers) herby confirms its intent to comply with Section 6.5.12.R.3, A statement from the owner indicating intent to allow shared use of the tower and how others will be accommodated, and fully intends on making space on the tower and ground available to additional providers. As a nationally recognized Communications Facility & tower development team, Vogue Towers works with all carriers/providers in the utilization of shared facilities within the boundaries of safe engineering design.

Respectfully submitted,

Pat Troxell-Tant

Pat Troxell-Tant

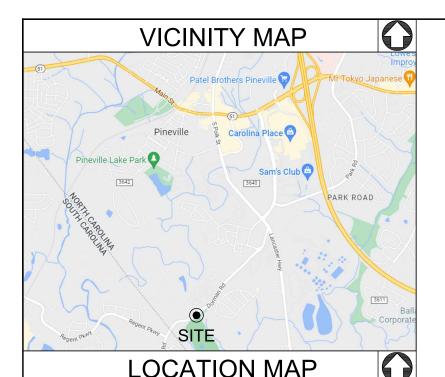
Chief Executive Officer Vogue Towers, LLC

Item 2.

Exhibit 8



This map or report is prepared for the inventory of real property within Mecklenburg County and is compiled from recorded deeds, plats, tax maps, surveys, planimetric maps, and other public records and dau Users of this map or report are hereby notified that the aforementioned public primary information sources should be consulted for verification. Mecklenburg County and its mapping contractors assume no le responsibility for the information contained herein.





SUGAR CREEK

NC-091

13451 DORMAN ROAD PINEVILLE, NC 28134



ZONING APPROVAL

SHEET INDEX

SHEET DESCRIPTION

T-1 COVER SHEET

GN-1 GENERAL NOTES

SITE DETAILS

SITE SURVEY SHEETS

OVERALL SITE PLAN ENLARGED SITE PLAN

C-2.2 PROPOSED SIDEWALK PLAN SIDEWALK ELEVATION SIDEWALK DETAILS

PROJECT SCOPE

THE PROPOSED SCOPE OF WORK WILL CONSIST OF DEVELOPING AND CONSTRUCTING A NEW UNOCCUPIED TELECOMMUNICATIONS FACILITY. THE PROPOSED TOWER SITE WILL LATER INCLUDE NEW TELECOMMUNICATIONS EQUIPMENT ON A PROPOSED CONCRETE PAD PER LESSEE (OR TELECOMMUNICATION CARRIER.) THE PROPOSED CONSTRUCTION WILL INCLUDE THE INSTALLATION OF ANTENNA(S), CABLE(S) AND ANCILLARY EQUIPMENT ON THE TOWER AND THE ANCILLARY EQUIPMENT ON THE GROUND.

LITH ITV S O W	RESPONSIBILITIES

SCOPE OF WORK	BY UTILITY	BY GC
INSTALL NEW SIDEWALK PER NCDOT SPECS		Х
NEW SIDEWALKS SHALL AT MIN MEET NCDOT STANDARDS		Х
NEW CONCRETE CATCH BASINS ARE TO HAVE GRATES 2" OR LESS		Х
CURB TERMINATION TO BE TAPERED FLUSH WITH GUTTER ELEVATIONS.		Х

STATE COUNTY MAP



TOWERS

430 CHESTNUT STREET SUITE 101-B CHATTANOOGA, TN 37402



RECORD OF ISSUE

ZONING

02/09/2023

WAD BANNIN

NOT VALID FOR CONSTRUCTION

SITE NAME:

SUGAR CREEK

SITE NUMBER:

NC-091

SITE ADDRESS:

13451 DORMAN ROAD

PINEVILLE, NC 28134

DRAWN BY:

SHEET NUMBER:

CHECKED BY:

PROJECT MANAGER:

41

KAC

EΒ

CODE BLOCK

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- INTERNATIONAL BUILDING CODE, 2018 EDITION
- INTERNATIONAL PLUMBING CODE, 2018 EDITION
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION
- INTERNATIONAL FIRE CODE, 2018 EDITION
- NATIONAL ELECTRIC CODE, 2017 EDITION
- INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION
- ICC ANSI 117.1 ACCESSIBILITY CODE, 2010 EDITION

ACCESSIBILITY REQUIREMENTS:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2018 IBC BUILDING CODE.



CALL NORTH CAROLINA ONE CALL (800) 632-4949 CALL 3 WORKING DAYS **BEFORE YOU DIG!**

PROJECT SUMMARY SUGAR CREEK

SITE NUMBER: NC-091

SITE ADDRESS: 13451 DORMAN ROAD

PINEVILLE, NC 28134

SITE COORDINATES: LATITUDE (N): 35° 03' 34.8"(35.059667)

LONGITUDE (W): 80° 53' 09.4" (80.885944)

COUNTY: MECKLENBURG COUNTY

JURISDICTION: PINEVILLE TOWNSHIP ZONING:

PROP. OWNER ADDRESS:

APPLICANT:

MAP PARCEL: 22111112 & 22111110

PROP.OWNER NAME: CAROLINA SPORTSPLEX, LLC

13501 DORMAN ROAD

PINEVILLE, NC 28134

VOGUE TOWER PARTNERS VII, LLC 430 CHESTNUT STREET CHATTANOOGA, TN 37402

800-777-9898

MICHAEL.SANDIFER@FPAENGINEERS.COM FPA JOB NO: 15228.035 CLIENT CONTACT: VOGUE TOWERS 430 CHESTNUT STREET, SUITE 101-B CHATTANOOGA, TN 37402

CONSULTANTS

ENGINEERING CONSULTANT: FRENCH & PARRELLO ASSOCIATES

100 N. POINT CENTER E. SUITE 125

CONTACT: MICHAEL SANDIFER

ALPHARETTA, GA 30022

PHONE: 770 309-2031

POWER: DUKE ENERGY

844-723-0252

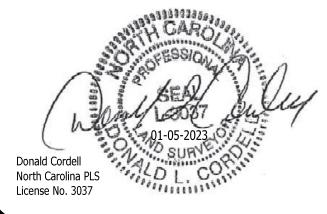
GENERAL NOTES:

- Topographic Survey only. Any property boundary information shown hereon is a composite of information gathered from current or previous Surveys, Plat & Deed Description and/or Assessor's Tax Maps as may be referenced hereon. This Survey is not a Boundary Survey of any Tax Parcels or Deed Tracts, and does not create, combine, or divide any existing properties.
- 2. Survey shown hereon was performed under the supervision of a state-registered Land Surveyor and conforms to all applicable State Board Requirements.
- 3. Instruments Used: One or more of: Topcon Total Station, Topcon Hiperlite Plus GPS, Carlson Surveyor Data Collector, DJI UAV.
- 4. Where shown, improvements (utilities, buildings, trees, fences, etc.) are based on field Survey and/or aerial mapping.
- 5. No underground utilities were marked at time of survey. It is the responsibility of design and construction personnel to determine the locations of underground utilities prior to land disturbance activities.
- 6. Survey as published is not intended to be suitable for recording as a Subdivision Plat.
- 7. This survey may have been reduced or enlarged in size due to subsequent reproduction. This should be taken into consideration when obtaining scaled data.
- 8. Any Flood Zone information presented hereon is according to current FEMA Flood Map information as may be referenced hereon. No Flood Elevation Survey of Certification performed.
- This survey is not valid without the original signature seal of a State-Licensed Land Surveyor, and is not complete without the total of sheets as specified in Survey Title Blocks.

SURVEYOR'S CERTIFICATION

To: Vogue Towers Partners VII, LLC

I, Donald Cordell, certify that this project was completed under my direct and responsible charge from an actual Ground Survey made under my supervision, and meets the requirements of a Class B Survey, and meets other requirements as may be specified in notes upon this Survey.



NORTH ORIENTATION

NORTH CAROLINA STATE PLANE COORDINATE SYSTEM

Based on GPS Survey relative to NGS CORS Network, NAD83 (2011)

ELEVATION DATUM: NAVD88, GEOID 12B DATE OF SURVEY: [FieldDate]

Method: RTK (CORS); Confidence Level: 95%

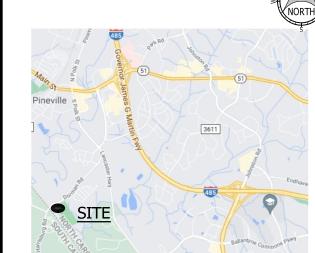
Positional Accuracy: HZ ± 0.10'

EPOCH 2010.0000

FLOOD DATA

FEMA FLOOD MAP PANEL: 371043800L, Effective Date: 09-02-2015 Surveyed Area appears to lie within: ZONE X (Areas of Minimal Flood Hazard)

LOCATION MAP





DONALD L. CORDELL

Professional Land Surveyor

2857 Camp Creek Road Murphy, NC 28906 (828) 494-7058 NC License No: L-3037

PREPARED FOR



28134

Pineville, NC

Road,

Dorman

Carolina

Pineville Township ourg County, North

Mecklenburg

LEGEND

IRON PIPE FOUND

Ø UTILITY POLE

X LIGHT POLE

TELECOM JUNCTION

TELECOM PULLBOX

FIRE HYDRANT

WATER VALVE

SITE BENCHMARK

R/W RIGHT-OF-WAY
C/L CENTER LINE

PUBLIC R/W

TAX PARCEL BOUNDARY

- — — — — PLAT TRACT/DEED LINE

(Not a Boundary Survey of Parent Lands. Not intended for fee simple Land Transfer) TOPOGRAPHIC SURVEY PORTION OF TAX PARCEL 22111.

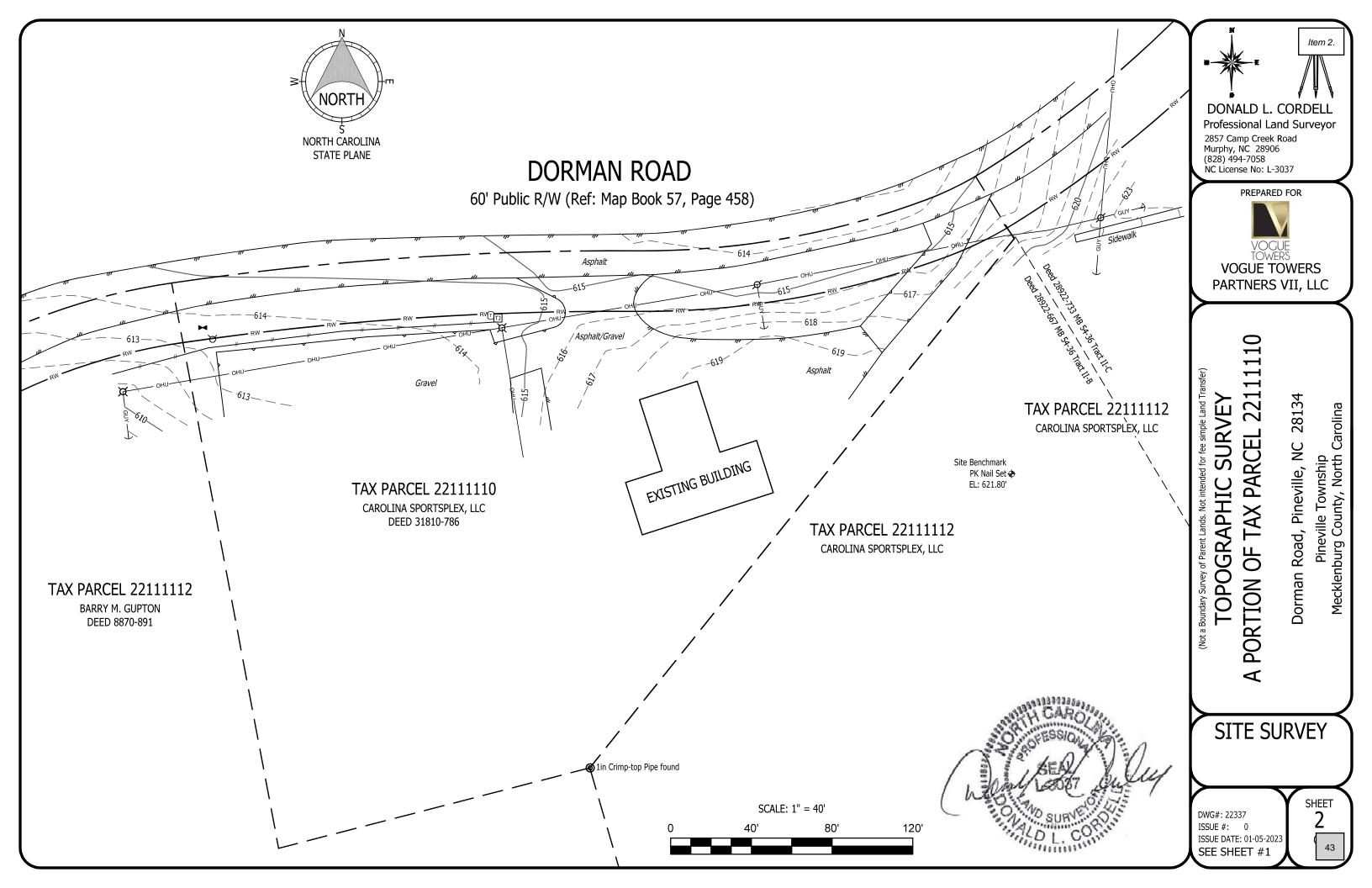
COVER SHEET

DWG#: 22337
ISSUE #: 0
ISSUE DATE: 01-05-2023
SEE SHEET #1

SHEET 1 42

SURVEY ISSUE DATA

#	DETAILS	DATE	DRAWN	APP
0	Original Survey Issue	01-05-2023	NB	DLC



GENERAL NOTES

- THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
- IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL
 TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES, TO SAFELY
 EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
- THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE
 NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER
 PERFORMANCE OF THIS SCOPE OF WORK.
- 4. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- 5. GROUNDING SYSTEM MODIFICATION SHALL COMPLY WITH CARRIER'S GROUNDING STANDARDS, LATEST EDITION, AND COMPLY WITH TOWER OWNER'S GROUNDING REQUIREMENTS, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN. GROUNDING SHALL BE INSTALLED AND READY FOR CONNECTIONS PRIOR TO NEW EQUIPMENT BEING INSTALLED ON SITE.
- ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE LOCATED AS REQUIRED PRIOR TO EXCAVATION.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
- 8. ANY DAMAGE TO THE ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE LANDOWNER ENGINEER CONSTRUCTION MANAGER OR OWNER
- 9. THE CONTRACTOR SHALL CONTACT UTILITIES AND LOCATOR SERVICE A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION. (CALL BEFORE YOU DIG 811).
- 10. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES.
- 12. CONTRACTOR SHALL MAINTAIN 20' HORIZONTAL CLEARANCE FROM CENTERLINE OF EXISTING POWER LINES OR AS REQUESTED BY THE POWER COMPANY.
- 13. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED. IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES.
- 14. SEEDING AND MULCHING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE GRADING.
- 15. PERMITS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS CERTIFICATES, ETC.
- 16. CONTRACTOR TO PROVIDE RED LINE AS BUILT CONSTRUCTION DRAWINGS TO TOWER OWNER AT COMPLETION OF JOB.
- 17. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE GROUND STRUCTURES AND/OR EXISTING UTILITIES BELIEVED TO BE IN THE WORKING AREA. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITIES. WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT THE COST OF THE CONTRACTOR.
- 18. ALL ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE AND IN COMPLIANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL STATE AND LOCAL LAWS AND ORDINANCES, THE REGULATIONS OF THE STATE AND LOCAL AUTHORITIES HAVING JURISDICTION, AND ALL REQUIREMENTS OF THE CARRIER'S SPECIFICATIONS AND PRACTICES.
- ALL ELECTRICAL EQUIPMENT, MATERIALS, AND DEVICES SHALL BE NEW, STANDARD FIRST GRADE THROUGHOUT AND CONFORM TO THE LATEST APPLICABLE STANDARDS ESTABLISHED BY IEEE, ANSI, ASTM, ETC. ELECTRICAL EQUIPMENT SHALL MEET STANDARDS OF UNDERWRITER'S LABORATORIES, INC., AND SHALL BE SO LABELED.
- 20. ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT A NEAT AND MECHANICAL APPEARANCE UPON COMPLETION.
- 21. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, HARDWARE, LABOR AND SERVICES REQUIRED FOR THE INSTALLATION OF COMPLETE AND PROPERLY WORKING INSTALLATIONS AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
- 22. CONTRACTOR SHALL VERIFY EXACT TYPE OF EQUIPMENT TO BE INSTALLED AND THE DIMENSIONS WHICH MAY EFFECT THE EXACT PLACEMENT OF ELECTRICAL WORK.
- 23. ALL RIGID GALVANIZED STEEL (RGS) CONDUIT COUPLINGS AND CONNECTORS SHALL BE STANDARD THREADED TYPE. FLEXIBLE METAL CONDUIT SHALL BE SEALTIGHT, CONSISTING OF FLEXIBLE GALVANIZED STEEL TUBING WITH A LIQUIDTIGHT JACKET OF PVC.
- 24. WHERE RIGID CONDUITS ENTER BOXES THEY SHALL BE SECURED IN PLACE BY APPROVED LOCKNUTS AND BUSHINGS AND SHALL BE PROVIDED WITH A BURNDY GROUNDING CLAMP OR EQUAL. ALL CONDUIT CONNECTIONS TO SHEET METAL BY USE OF CABINETS OR ENCLOSURES SUBJECT TO THE ELEMENTS SHALL TERMINATE WITH RAINTIGHT HUBS.
- 25. ALL PVC CONDUIT SHALL BE MINIMUM SCHEDULE 40
- ALL CONDUCTOR INSULATION SHALL BE MINIMUM 600 VOLT RATED. ALL CABLE SHALL BE NYLON JACKETED, TYPE THHN/THWN UNLESS NOTED
 OTHERWISE.

PINEVILLE TOWNSHIP GENERAL NOTES

- THESE CONSTRUCTION/SITE PLANS ARE PROVIDED TO THE PINEVILLE TOWNSHIP PUBLIC WORKS DEPARTMENT FOR
 ROADWAY/PARKING LOT/DRIVE AISLES, GRADING AND DRAINAGE PLAN REVIEW AND APPROVAL. UTILITIES SHOWN WITHIN ARE
 PROVIDED FOR INFORMATION ONLY. CONTACT THE APPROPRIATE UTILITY AGENCY FOR UTILITY PLAN APPROVAL.
- 2. EROSION CONTROL PLANS AND DETAILS ARE PROVIDED FOR INFORMATION ONLY. PRIOR TO ANY GRADING ACTIVITIES A LAND DISTURBANCE PERMIT MUST BE OBTAINED. CONTACT 704-651-3339 FOR THE PINEVILLE TOWNSHIP PUBLIC WORKS DEPARTMENT TO OBTAIN A PERMIT APPLICATION.
- 3. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE PINEVILLE TOWNSHIP SUBDIVISION REGULATIONS
- 4. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO ADVISE FUTURE BUILDERS AND/OR LOT OWNER'S THAT ALL DRIVEWAYS, SIDEWALKS, AND ACCESSIBLE RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL REGULATIONS, TDOT SPECIFICATIONS, AND PINEVILLE TOWNSHIP SUBDIVISION REGULATIONS AND ZONING ORDINANCES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PINEVILLE TOWNSHIP, DEPARTMENT OF PUBLIC WORKS, A MINIMUM OF 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS. INSPECTIONS ARE REQUIRED BEFORE STORM WATER PIPES ARE BACKFILLED OR ANY CONCRETE IS POURED, INCLUDING INSPECTION OF SIDEWALK FORMS. CONTACT THE PINEVILLE TOWNSHIP, DEPARTMENT OF PUBLIC WORKS AT 704-651-3339 TO ARRANGE INSPECTION TIMES.
- PRIOR TO THE ISSUANCE OF A FINAL USE AND OCCUPANCY PERMIT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL MAINTENANCE, RESHAPING AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS.
- 7. DEVELOPER IS RESPONSIBLE FOR PROVIDING STREET LIGHTING:
 - STREET LIGHTS ARE TO BE INSTALLED PER NATIONAL ELECTRICAL CODE, NATIONAL ELECTRICAL SAFETY CODE, AND LOCAL ELECTRIC
 UTILITY DISTRICT SPECIFICATIONS.
 - STREET LIGHT FIXTURES AND POLE TYPES SHALL BE APPROVED BY THE PINEVILLE TOWNSHIP PUBLIC WORKS DEPARTMENT.
- SIDEWALK NOTES:
 - a. FOR ALL PUBLIC SIDEWALKS, THE STREET SIDE OF THE SIDEWALK SHALL BE 1" ABOVE THE CURB AND SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2 PERCENT. IF SIDEWALKS CANNOT BE CONSTRUCTED WITHIN THESE PARAMETERS, CONTACT THE PUBLIC WORKS DEPARTMENT.
 - b. WHERE DRIVEWAYS AND/OR PEDESTRIAN WAYS MEET THE SIDEWALK, THE SIDEWALK SHALL REMAIN CONTINUOUS AND CONSISTENT WITH BROOM FINISHED CONCRETE.
 - c. EXPANSION JOINTS SHALL BE INSTALLED ON THE FOUR SIDES OF THE SIDEWALK WHERE IT PASSES THROUGH DRIVEWAYS AND/OR PEDESTRIAN WAYS.
 - d. SIDEWALKS AND CURB RAMPS SHALL BE ADA COMPLIANT.
- 9. ALL TRAFFIC CONTROL SIGNS ARE TO BE HIGH INTENSITY GRADE
- 10. FOR ALL RETAINING WALLS WITH A HEIGHT OF 3 FOOT ABOVE GRADE OR MORE, SUBMIT A DESIGN STAMPED BY A LICENSED NORTH CAROLINA
 - ENGINEER TO THE PINEVILLE TOWNSHIP PUBLIC WORKS DEPARTMENT, IF NOT ALREADY INCLUDED IN THIS PLAN SET.
- 11. DRIVEWAY NOTES:

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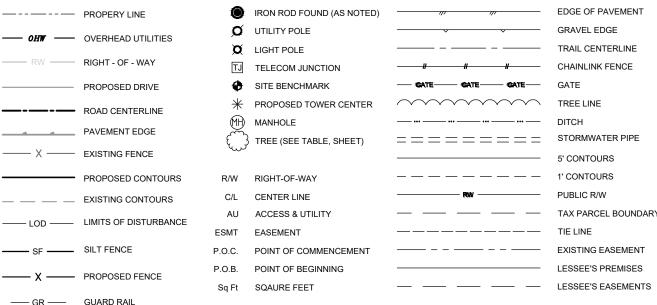
X 555.0

TOP / BOTTOM WALL

ELEVATIONS
FINISHED GRADE

- a. DRIVEWAYS SHALL BE PLACED TO AVOID CONFLICT WITH DRAINAGE STRUCTURES UNLESS APPROVED BY THE CITY ENGINEER
- b. DRIVEWAYS SHOULD HAVE A MAXIMUM SLOPE OF 8% FOR THE FIRST 15' FROM THE BACK OF SIDEWALK AND SHALL NEVER EXCEED 10% IN THE FIRST 15' FROM THE STREET.

PROPOSED LEGEND SURVEY LEGEND





Item 2.

430 CHESTNUT STREET SUITE 101-B CHATTANOOGA, TN 37402



100 N Point Center E. Suite 125, Alpharetta, GA 30022 470.318.6119

DATE RECORD OF ISSUE BY CHI



NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND STAMPED

SITE NAME:

SUGAR CREEK

SITE NUMBER:

NC-091

SITE ADDRESS: 13451 DORMAN ROAD

PINEVILLE, NC 28134

GENERAL NOTES

DRAWN BY:

CHECKED BY:

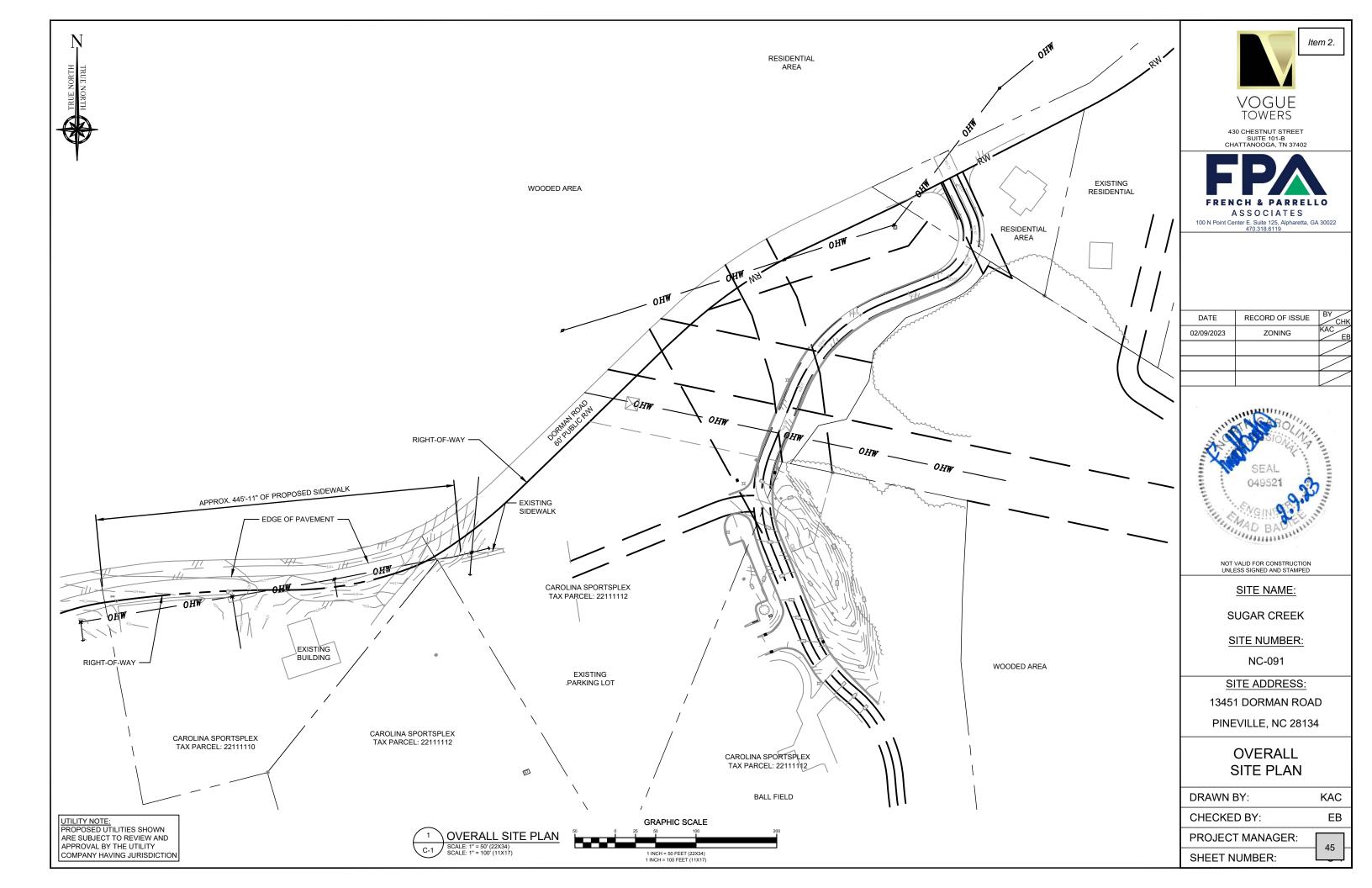
PROJECT MANAGER:

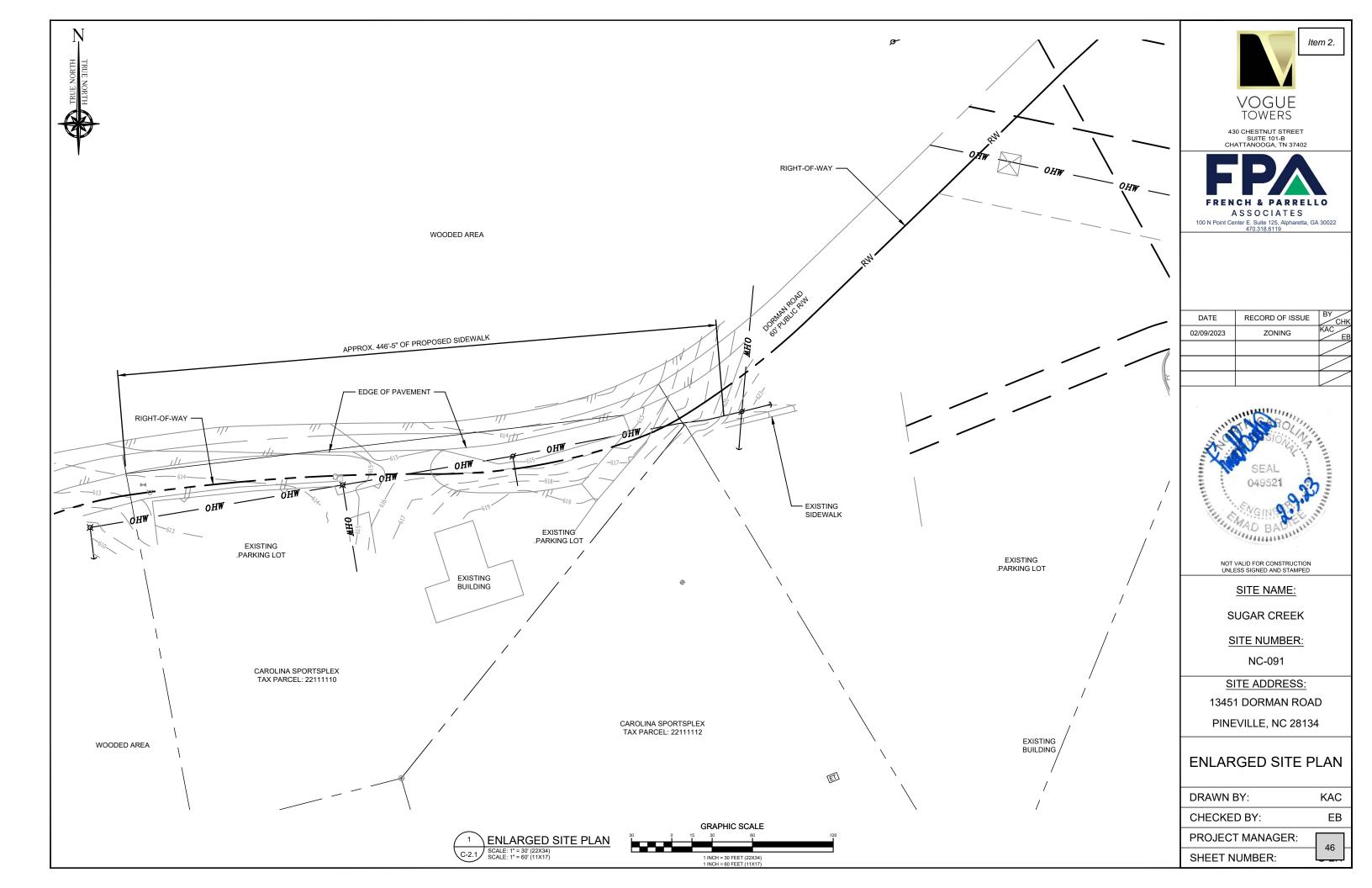
SHEET NUMBER:

44

KAC

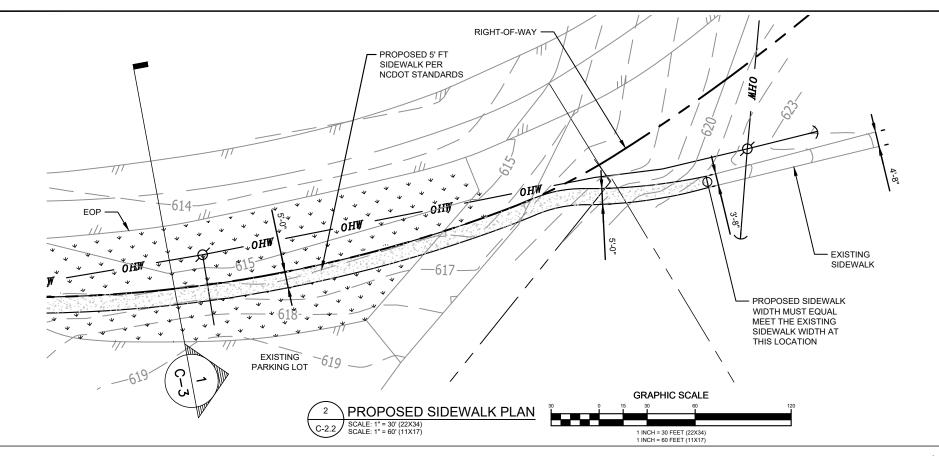
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GENERAL NOTES:

- CONTRACTOR TO MEET NCDOT CLEAR ZONE REQUIREMENTS FOR SIGN PLACEMENT.
- DRIVEWAYS ARE TO BE CONSTRUCTED PER NCDOT DETAIL 848.02 UNLESS OTHERWISE NOTED. DRIVEWAY WIDTHS ARE TO BE THE SAME AS EXISTING AND/OR A MINIMUM 15' FT WIDE. SAW CUT EXISTING DRWAYS AT RIGHT-OF-WAY. SEE DETAIL 848.02.
- ALL NEW SIDEWALKS SHALL AT MINIMUM MEET NCDOT STANDARDS. ADDITIONALLY, SIDEWALKS SHALL BE 6" THICK AT ALL RESIDENTIAL DRIVEWAYS, AND 6" THICK AT ALL NON-RESIDENTIAL DRIVEWAYS.
- 4. ALL CONCRETE CATCH BASINS, MODIFIED OR NEW ARE TO HAVE GRATES OF 2" OR LESS (SMALL DIAMETER OPENING). SEE DETAIL 840.03.
- 5. FIELD VERIFY ALL EXISTING STORM DRAINAGE PIPE SIZES AND MATERIAL TYPES.
- 6. FIELD VERIFY INLETS IN SAGS ARE CONSTRUCTED AT LOW POINTS. FOR INLETS IN SAGS, A TYPE E GRATE IS REQUIRED. SEE DETAIL 840.03.
- 7. ALL CURB TERMINATIONS TO BE TAPERED FLUSH WITH GUTTER ELEVATIONS.
- MINIMUM DRIVEWAY WIDTH IS 15' FT. EXISTING DRIVEWAYS LESS THAN 15' FT, CURB AND GUTTER TURNOUTS WILL BE CENTERED WITH EXISTING DRIVEWAYS.

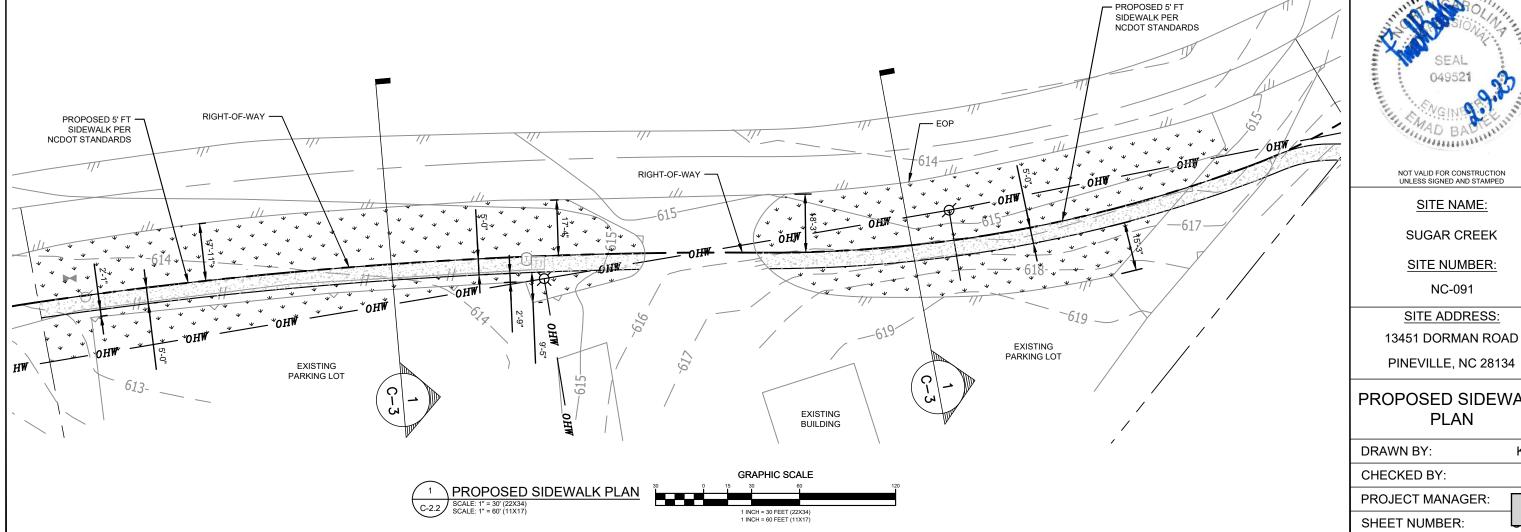






100 N Point Center E. Suite 125, Alpharetta, GA 30022 470.318.6119

DATE	RECORD OF ISSUE	BY CHK
02/09/2023	ZONING	KAC EB



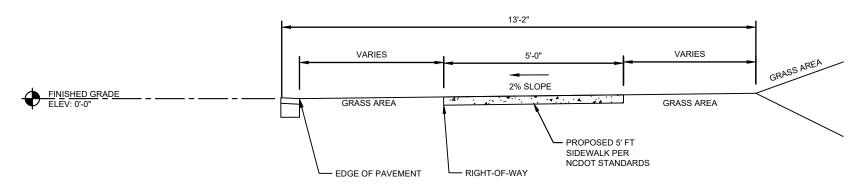


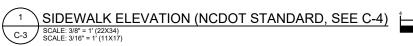
PROPOSED SIDEWALK

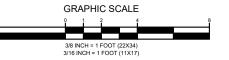
47

KAC EΒ

REFERENCE SHEET C-2.2 FOR LOCATION OF USE









Item 2.



100 N Point Center E. Suite 125, Alpharetta, GA 30022 470.318.6119

DATE	RECORD OF ISSUE	BY
02/09/2023	ZONING	KAC



NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND STAMPED

SITE NAME:

SUGAR CREEK

SITE NUMBER:

NC-091

SITE ADDRESS:

13451 DORMAN ROAD

PINEVILLE, NC 28134

| SIDEWALK ELEVATION

DRAWN BY:

KAC

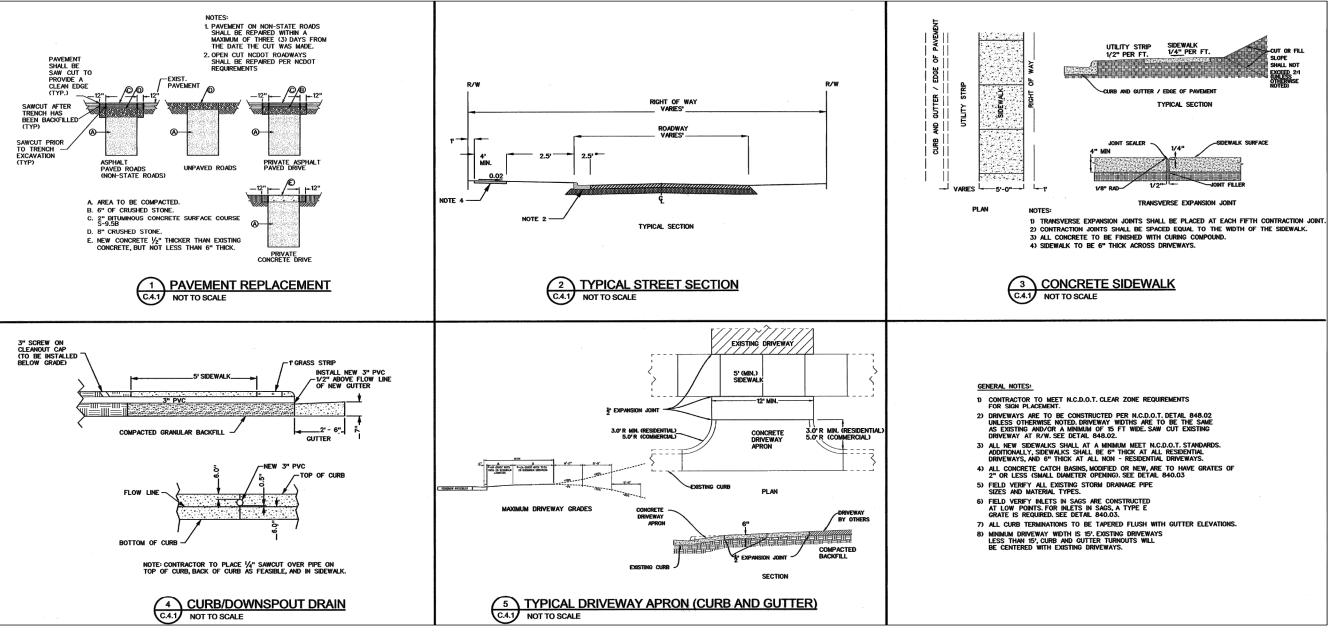
CHECKED BY:

PROJECT MANAGER:

SHEET NUMBER:



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SIDEWALK DETAILS (FOR REFERENCE PURPOSES ONLY)

Output



430 CHESTNUT STREET SUITE 101-B CHATTANOOGA, TN 37402



100 N Point Center E. Suite 125, Alpharetta, GA 30022 470.318.6119

DATE RECORD OF ISSUE BY CHK
02/09/2023 ZONING KAC
EB



NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND STAMPED

SITE NAME:

SUGAR CREEK

SITE NUMBER:

NC-091

SITE ADDRESS:

13451 DORMAN ROAD

PINEVILLE, NC 28134

SIDEWALK DETAILS

DRAWN BY:

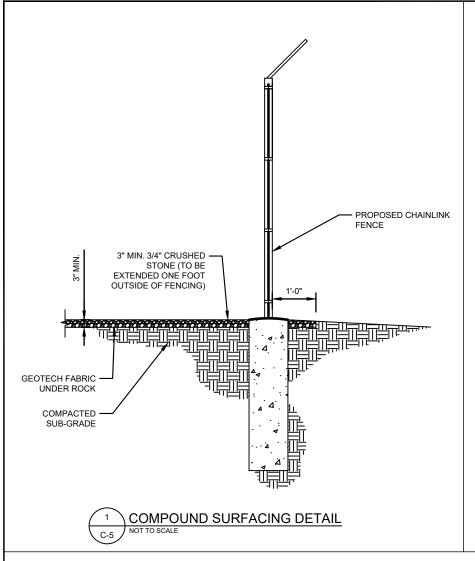
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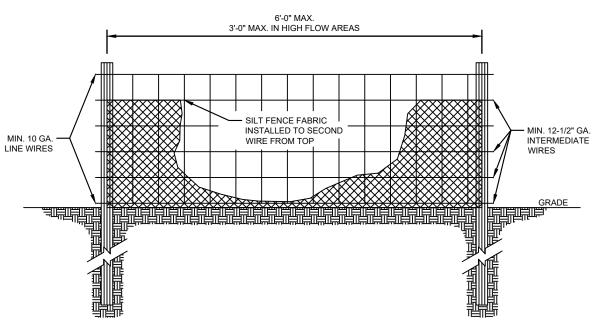
PROJECT MANAGER:

SHEET NUMBER:

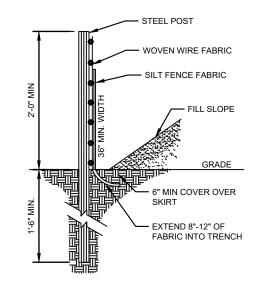
49

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FRONT VIEW



SIDE VIEW



- 1. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSTALLED PRIOR TO ANY GRADING AND ARE TO BE MAINTAINED IN PLACE THROUGHOUT THE COURSE OF CONSTRUCTION. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED ON ALL GRADED AND OR DISTURBED AREAS UNTIL SUCH AREAS HAVE BEEN STABILIZED WITH VEGETATIVE COVER.
- 2. CONTRACTOR SHALL OBTAIN APPLICABLE EROSION AND SEDIMENT CONTROL PERMIT(S) AND COMPLY WITH ALL LOCAL AND STATE LAWS. SEDIMENT SHALL NOT BE ALLOWED TO WASH INTO STORM DRAINS OR ONTO ADJACENT PROPERTIES. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR CLEANUP OF ANY AND ALL DAMAGES RESULTING FROM SILTATION FROM THE CONSTRUCTION SITE.
- 3. SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS ARE CONSIDERED MINIMUM. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING CONTROL AS NECESSARY TO PREVENT EROSION RUNOFF. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- 4. IF FINES OR PENALTIES ARE LEVIED AGAINST THE PROPERTY OR PROPERTY OWNER BECAUSE OF LACK OF EROSION AND/OR SEDIMENTATION CONTROL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF SUCH FINES OR PENALTIES.

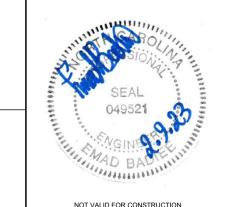




ASSOCIATES

100 N Point Center E. Suite 125, Alpharetta, GA 30022
470.318.6119

DATE	RECORD OF ISSUE	BY CHK
02/09/2023	ZONING	KAC EB



NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND STAMPED

SITE NAME:

SUGAR CREEK

SITE NUMBER:

NC-091

SITE ADDRESS:

13451 DORMAN ROAD

PINEVILLE, NC 28134

SITE DETAILS

DRAWN BY:

CHECKED BY:

PROJECT MANAGER:

SHEET NUMBER:

50

KAC EB

LOCATION MAP



DIRECTIONS

FROM CHARLOTTE DOUGLAS INTERNATIONAL AIRPORT

GET ON I-485 OUTER FROM OLD DOWD ROAD AND US-29 SOUTH/US-74/WILKINSON BLVD. FOLLOW I-485 OUTER TO PINEVILE ROAD. TAKE EXIT 65B FROM I-485 OUTER. TAKE NORTH POLK STREET AND DORMAN ROAD. THE DESTINATION WILL BE ON THE LEFT.

CODE BLOCK

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- INTERNATIONAL BUILDING CODE, 2018 EDITION
- INTERNATIONAL PLUMBING CODE, 2018 EDITION
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION
- INTERNATIONAL FIRE CODE, 2018 EDITION
- NATIONAL ELECTRIC CODE, 2017 EDITION
- INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION
- ICC ANSI 117.1 ACCESSIBILITY CODE, 2010 EDITION

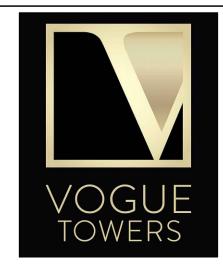
ACCESSIBILITY REQUIREMENTS:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2018 IBC BUILDING CODE



CALL NORTH CAROLINA ONE CALL (800) 632-4949 **CALL 3 WORKING DAYS** BEFORE YOU DIG!





SITE NAME:

SUGAR CREEK

SITE NUMBER:

NC-091 SITE ADDRESS:

DORMAN ROAD PINEVILLE, NC 28134

PROJECT SUMMARY

PROJECT CONSULTANTS

THE PROPOSED PROJECT SCOPE WILL CONSIST OF CONSTRUCTING A NEW

SITE NAME SUGAR CREEK SITE NUMBER NC-091

SITE ADDRESS: DORMAN ROAD PINEVILLE, NC 28134 28134

LATITUDE: 35° 03' 34.8"N SITE COORDINATES: LONGITUDE: 80° 53' 09.4"W COUNTY MECKLENBURG COUNTY

JURISDICTION: PINEVILLE TOWNSHIP **ZONING** RESIDENTIAL MIX-USE (RMX) PROPERTY OWNER: CAROLINA SPORTSPLEX, LLC

TOWER TYPE: MONOPOLE HEIGHT: 180' FT ACREAGE: GROUND ELEVATION: TBD FEET AMSL

APPLICANT: VOGUE TOWER PARTNERS VII, LLC

430 CHESTNUT STREET SUITE 101-B CHATTANOOGA, TN 37402 100 NORTH POINT CENTER E ALPHARETTA, GA 30022 PHONE: 470.318.6119

EMAIL: EMAD.BADIEE@FPAENGINEERS.COM FPA JOB NO: 15228.035

CLIENT CONTACT:

430 CHESTNUT STREET, SUITE 101-B CHATTANOOGA, TN 37402

CONSTRUCTION MANAGER:

POWER: DUKE POWER COMPANY (800)-777-9898

(844)-723-0252

verizon^v

CELLCO PARTNERSHIP D/B/A **VERIZON WIRELESS**

(HEREINAFTER REFERRED TO AS "LESSEE")

SHEET INDEX

SHEET	DESCRIPTION
T-1	COVER SHEET
	SITE SURVEY SHEETS
GN-1	GENERAL NOTES
C-1	OVERALL SITE LAYOUT
C-2	COMPOUND LAYOUT
C-2.1	ENLARGED COMPOUND LAYOUT
C-3	TOWER ELEVATION, ANTENNA LAYOUT, AND SCHEDULE
C-4	ANTENNA AND RRU DETAILS
C-5	FENCE DETAILS
C-6	SITE DETAILS

APPROVALS

AND / TOWER OWNER

SITE ACQUISITION

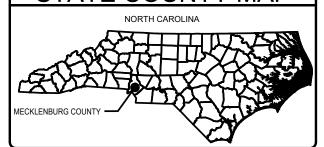
ZONING / PERMITTING

A&E MANAGER

CONSTRUCTION MANAGER

CONTRACTOR SHALL ATTAIN AND VERIFY STRUCTURAL EVALUATION REPORT OF EXISTING TOWER FOR EXACT PLACEMENT OF ANTENNAS AND COAX CABLES. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE STRUCTURAL EVALUATION REPORT AND NOTIFY VERIZON'S CONSTRUCTION MANAGER IN THE CASE OF ANY DISCREPANCIES. ANY STRUCTURAL MODIFICATION, IF REQUIRED, SHALL BE DONE PRIOR TO THE INSTALLATION OF ANTENNAS

STATE COUNTY MAP





430 CHESTNUT STREET SUITE 101-B CHATTANOOGA, TN 37402



DATE RECORD OF ISSUE 0/08/202 **ZONING** 5/03/20 SITE SKETCH 8/15/20 ZONING



SITE NAME:

SUGAR CREEK

SITE NUMBER:

NC-091

SITE ADDRESS:

DORMAN ROAD PINEVILLE, NC 28134

> **COVER** SHEET

DRAWN BY:

CHECKED BY:

PROJECT MANAGER: SHEET NUMBER:



KC

ΕB

PINEVILLE TOWNSHIP GENERAL NOTES

- THESE CONSTRUCTION/SITE PLANS ARE PROVIDED TO THE PINEVILLE TOWNSHIP'S PUBLIC WORKS DEPARTMENT FOR ROADWAY/PARKING LOT/DRIVE AISLES, GRADING AND DRAINAGE PLAN REVIEW AND APPROVAL. UTILITIES SHOWN WITHIN ARE PROVIDED FOR INFORMATION ONLY. CONTACT THE APPROPRIATE UTILITY AGENCY FOR UTILITY PLAN APPROVAL.
- EROSION CONTROL PLANS AND DETAILS ARE PROVIDED FOR INFORMATION ONLY. PRIOR TO ANY GRADING ACTIVITIES A LAND DISTURBANCE PERMIT MUST BE OBTAINED. CONTACT CHIP HILL, PUBLIC WORKS DIRECTOR, AT (704) 651-3339
 - (CHILL@PINEVILLENC.GOV) IN THE PUBLIC WORKS DEPARTMENT TO OBTAIN A PERMIT APPLICATION.
- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE PINEVILLE TOWNSHIPS SUBDIVISION REGULATIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO ADVISE FUTURE BUILDERS AND/OR LOT OWNER'S THAT ALL DRIVEWAYS, SIDEWALKS, AND ACCESSIBLE RAMPS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL REGULATIONS, TDOT SPECIFICATIONS. AND PINEVILLE TOWNSHIP'S SUBDIVISION REGULATIONS AND ZONING ORDINANCES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PINEVILLE TOWNSHIP, DEPARTMENT OF PUBLIC WORKS, A MINIMUM OF 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS. INSPECTIONS ARE REQUIRED BEFORE STORM WATER PIPES ARE BACKFILLED OR ANY CONCRETE IS POURED, INCLUDING INSPECTION OF SIDEWALK FORMS. CALL THE PINEVILLE TOWNSHIP, DEPARTMENT OF PUBLIC WORKS AT (704) 651-3339 TO ARRANGE INSPECTION TIMES.
- PRIOR TO THE ISSUANCE OF A FINAL USE AND OCCUPANCY PERMIT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL MAINTENANCE, RESHAPING AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS.
- DEVELOPER IS RESPONSIBLE FOR PROVIDING STREET LIGHTING:
 - STREET LIGHTS ARE TO BE INSTALLED PER NATIONAL ELECTRICAL CODE, NATIONAL ELECTRICAL SAFETY CODE, AND LOCAL ELECTRIC

GENERAL NOTES

- 1. THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS BEFORE STARTING WORK. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
- 2. IT IS THE INTENTION OF THESE DRAWINGS TO SHOW THE COMPLETED INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, TIES, FORM WORK, ETC. IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL ORDINANCES, TO SAFELY EXECUTE ALL WORK AND SHALL BE RESPONSIBLE FOR SAME. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
- THE CONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMAN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THIS SCOPE OF WORK.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO INDEMNIFY AND HOLD DESIGN ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- GROUNDING SYSTEM MODIFICATION SHALL COMPLY WITH CARRIER'S GROUNDING STANDARDS, LATEST EDITION. AND COMPLY WITH TOWER OWNER'S GROUNDING REQUIREMENTS, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN. GROUNDING SHALL BE INSTALLED AND READY FOR CONNECTIONS PRIOR TO NEW EQUIPMENT BEING INSTALLED ON SITE.
- ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE LOCATED AS REQUIRED PRIOR TO EXCAVATION.
- 7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
- ANY DAMAGE TO THE ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE LANDOWNER, ENGINEER, CONSTRUCTION MANAGER, OR OWNER.
- THE CONTRACTOR SHALL CONTACT UTILITIES AND LOCATOR SERVICE A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION. (CALL BEFORE YOU DIG 811).
- 10. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES.
- 12. CONTRACTOR SHALL MAINTAIN 20' HORIZONTAL CLEARANCE FROM CENTERLINE OF EXISTING POWER LINES OR AS REQUESTED BY THE POWER COMPANY.

UTILITY DISTRICT SPECIFICATIONS.

b. STREET LIGHT FIXTURES AND POLE TYPES SHALL BE APPROVED BY THE PINEVILLE TOWNSHIP.

SIDEWALK NOTES:

- FOR ALL PUBLIC SIDEWALKS, THE STREET SIDE OF THE SIDEWALK SHALL BE 1" ABOVE THE CURB AND SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2 PERCENT. IF SIDEWALKS CANNOT BE CONSTRUCTED WITHIN THESE PARAMETERS, CONTACT THE PUBLIC WORKS
- WHERE DRIVEWAYS AND/OR PEDESTRIAN WAYS MEET THE SIDEWALK, THE SIDEWALK SHALL REMAIN CONTINUOUS AND CONSISTENT WITH BROOM FINISHED CONCRETE.
- EXPANSION JOINTS SHALL BE INSTALLED ON THE FOUR SIDES OF THE SIDEWALK WHERE IT PASSES THROUGH DRIVEWAYS AND/OR PEDESTRIAN WAYS.
- SIDEWALKS AND CURB RAMPS SHALL BE ADA COMPLIANT.
- ALL TRAFFIC CONTROL SIGNS ARE TO BE HIGH INTENSITY GRADE.
- FOR ALL RETAINING WALLS WITH A HEIGHT OF 3 FOOT ABOVE GRADE OR MORE, SUBMIT A DESIGN STAMPED BY A LICENSED NORTH CAROLINA

ENGINEER TO THE PINEVILLE TOWNSHIP PUBLIC WORKS DEPARTMENT, IF NOT ALREADY INCLUDED IN THIS PLAN SET.

- DRIVEWAY NOTES: 11.
- DRIVEWAYS SHALL BE PLACED TO AVOID CONFLICT WITH DRAINAGE STRUCTURES UNLESS APPROVED BY THE CITY ENGINEER.
- DRIVEWAYS SHOULD HAVE A MAXIMUM SLOPE OF 8% FOR THE FIRST 15' FROM THE BACK OF SIDEWALK AND SHALL NEVER EXCEED 10% IN THE FIRST 15' FROM THE STREET.
- 13. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES.
- 14. SEEDING AND MULCHING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE GRADING
- 15. PERMITS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, ETC.
- 16. CONTRACTOR TO PROVIDE RED LINE AS BUILT CONSTRUCTION DRAWINGS TO TOWER OWNER AT COMPLETION OF JOB.
- 17. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE GROUND STRUCTURES AND/OR EXISTING UTILITIES BELIEVED TO BE IN THE WORKING AREA. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITIES. WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT THE COST OF THE CONTRACTOR.
- 18. ALL ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE AND IN COMPLIANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL STATE AND LOCAL LAWS AND ORDINANCES, THE REGULATIONS OF THE STATE AND LOCAL AUTHORITIES HAVING JURISDICTION, AND ALL REQUIREMENTS OF THE CARRIER'S SPECIFICATIONS AND
- 19. ALL ELECTRICAL EQUIPMENT, MATERIALS, AND DEVICES SHALL BE NEW, STANDARD FIRST GRADE THROUGHOUT AND CONFORM TO THE LATEST APPLICABLE STANDARDS ESTABLISHED BY IEEE, ANSI, ASTM, ETC. ELECTRICAL EQUIPMENT SHALL MEET STANDARDS OF UNDERWRITER'S LABORATORIES, INC., AND SHALL BE SO LABELED.
- 20. ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT A NEAT AND MECHANICAL APPEARANCE UPON COMPLETION.
- 21. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, HARDWARE, LABOR AND SERVICES REQUIRED FOR THE INSTALLATION OF COMPLETE AND PROPERLY WORKING INSTALLATIONS AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
- 22. CONTRACTOR SHALL VERIFY EXACT TYPE OF EQUIPMENT TO BE INSTALLED AND THE DIMENSIONS WHICH MAY EFFECT THE EXACT PLACEMENT OF ELECTRICAL WORK.
- 23. ALL RIGID GALVANIZED STEEL (RGS) CONDUIT COUPLINGS AND CONNECTORS SHALL BE STANDARD THREADED TYPE. FLEXIBLE METAL CONDUIT SHALL BE SEALTIGHT, CONSISTING OF FLEXIBLE GALVANIZED STEEL TUBING WITH A LIQUIDTIGHT JACKET OF PVC.
- 24. WHERE RIGID CONDUITS ENTER BOXES THEY SHALL BE SECURED IN PLACE BY APPROVED LOCKNUTS AND BUSHINGS AND SHALL BE PROVIDED WITH A BURNDY GROUNDING CLAMP OR EQUAL. ALL CONDUIT CONNECTIONS TO SHEET METAL BY USE OF CABINETS OR ENCLOSURES SUBJECT TO THE ELEMENTS SHALL TERMINATE WITH RAINTIGHT HUBS.
- 25. ALL PVC CONDUIT SHALL BE MINIMUM SCHEDULE 40.
- 26. ALL CONDUCTOR INSULATION SHALL BE MINIMUM 600 VOLT RATED. ALL CABLE SHALL BE NYLON JACKETED, TYPE THHN/THWN UNLESS NOTED OTHERWISE.



Item 2.

430 CHESTNUT STREET SUITE 101-B CHATTANOOGA, TN 37402

ENGINEER



REV	DATE	RECORD OF ISSUE	BY CHK
Α	10/08/2021	ZONING	KC B
В	05/03/2022	SITE SKETCH	KC EB
С	08/15/2022	ZONING	YH EB



SITE NAME:

SUGAR CREEK

SITE NUMBER:

NC-091

SITE ADDRESS:

DORMAN ROAD PINEVILLE, NC 28134

> **GENERAL** NOTES

DRAWN BY:

CHECKED BY:

PROJECT MANAGER:

SHEET NUMBER:



KC

EΒ







REV	DATE	RECORD OF ISSUE	BY
Α	10/08/2021	ZONING	KC EB
В	05/03/2022	SITE SKETCH	KC EB
С	08/15/2022	ZONING	YH EB



SITE NAME:

SUGAR CREEK

SITE NUMBER:

NC-091

SITE ADDRESS:

DORMAN ROAD PINEVILLE, NC 28134

OVERALL SITE LAYOUT

DRAWN BY:

CHECKED BY:

PROJECT MANAGER:

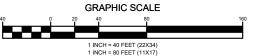
SHEET NUMBER:

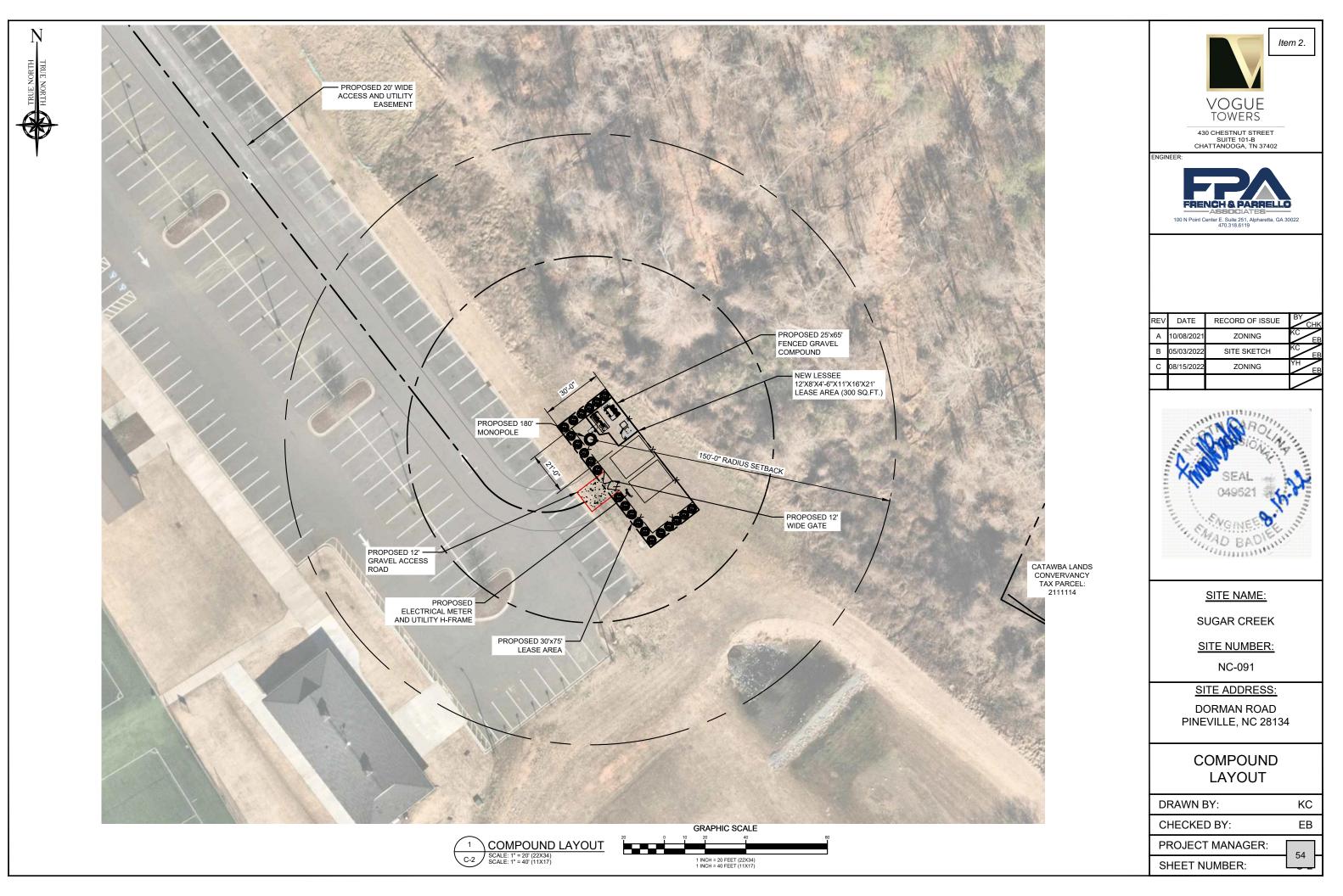
53

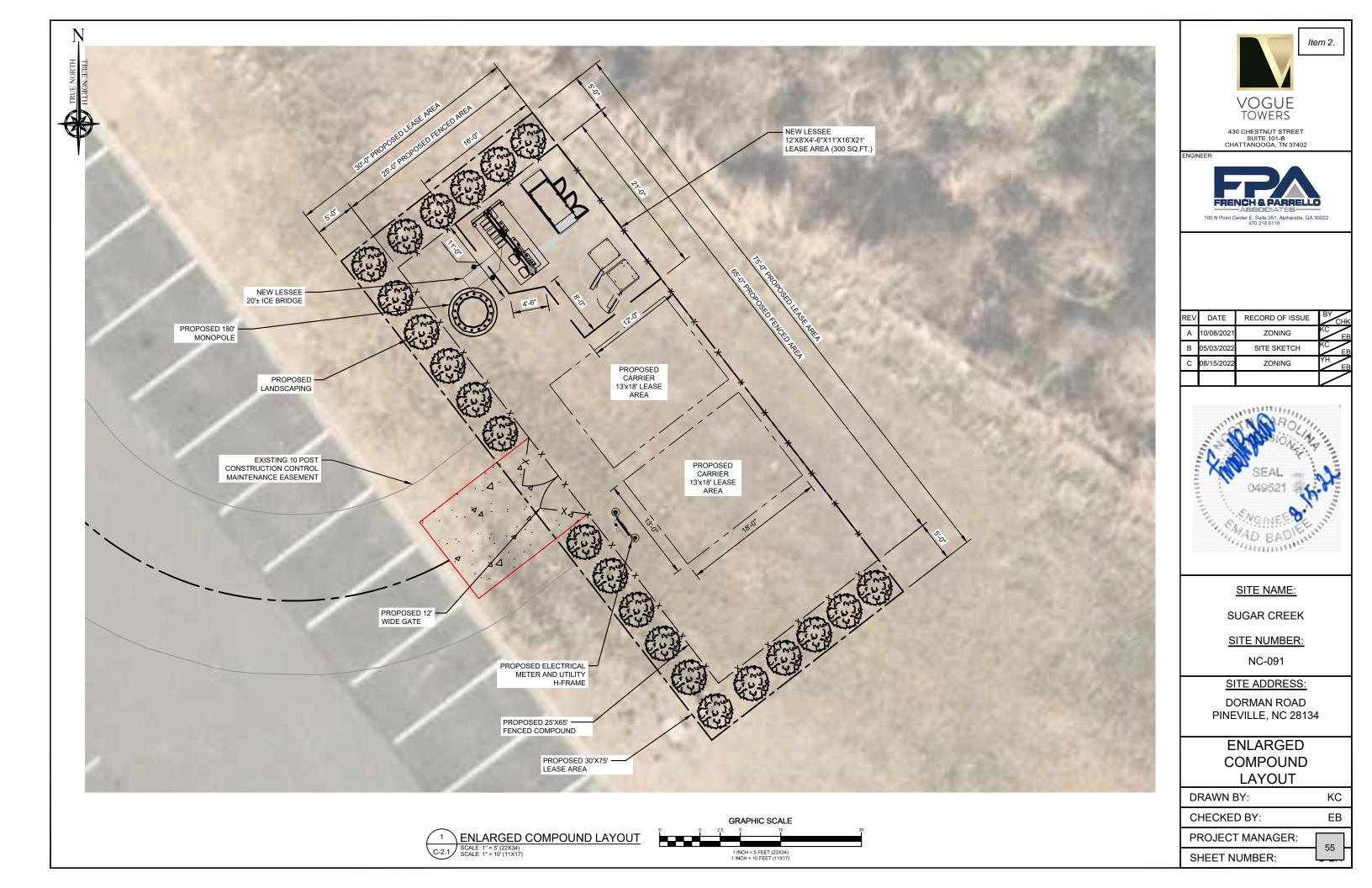
KC

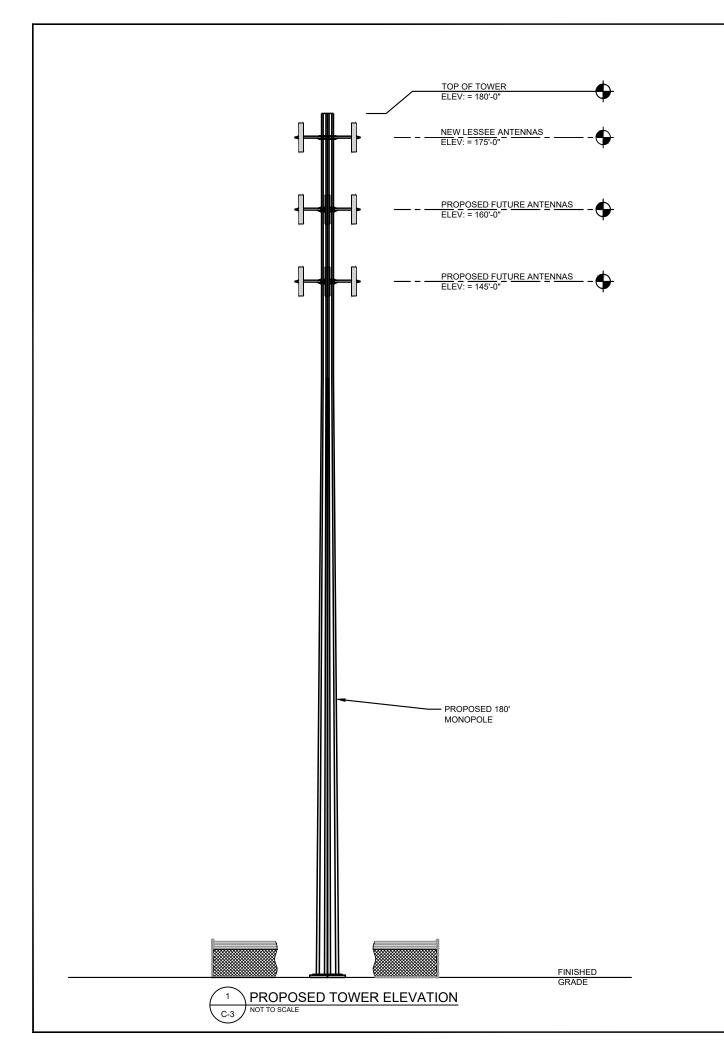
ΕB

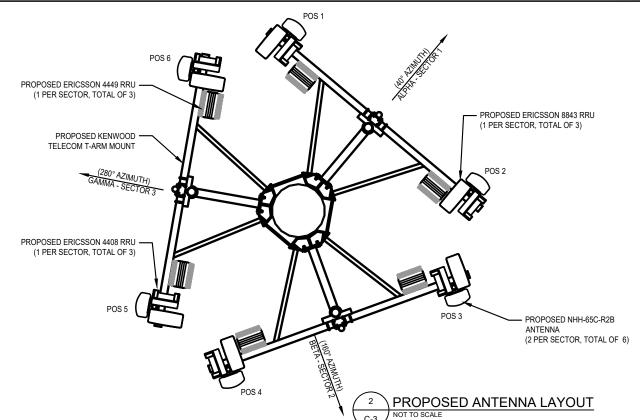












ANTE		ed Configuration			
	Sector 1	Sector 2	Sector 3	Sector 4	Other*
Desired Rad Center (#AGL)	185'	185'	185'		
Antenna Type	Multiband / Sector	Multiband / Sector	Multiband / Sector		
Antenna Quantity	2	2	2		
TX, RX or Both	Both	Both	Both		
Antenna Manufacturer	Commicone	Commiscope	Commicone		
Antenna Model (Attach Spec Sheet)	NHH-65C- R2B	NHH-65C-R2B	NHH-65C- R2B		
Weight (lbs per antenna)	52 Jbs	52 Jbs	52 Jbs		
Antenna Dimensions (HXWXD) (in)	95.984 11.85 x7.087	95.984 11.85 x7.087	95.984 11.85 x7.087		
ERP (watts)	See Comments	See Comments	See Comments		
Antenna Gain (dB)	16 – 18.2	16 – 18.2	16 - 18.2		_
Orientation/Azimuth (degrees)	40	160	280		_
Mechanical Tilt / Electrical Tilt	0/2	0/2	0/2		_
RRU Quantity	3	3	3		_
RRU Manufacturer & Model (Attach Spec Sheet)	Ericsson 4408	Ericsson 4408	Ericsson 4408		
RRU Dimensions (HxWxD) (in)	8.4 × 7.9 × 4.2	8.4 × 7.9 × 4.2	8.4 × 7.9 × 4.2		_
RRU Weight	10.2 Jbs	10.2 Jbs	10.2 lbs		+
RRU Quantity	3	3	3		+
RRU Manufacturer & Model	Ericsson 4449	Ericsson 4449	Ericsson 4449		
(Attach Spec Sheet) RRU Dimensions (HXWXD) (in)	15 x 13.2 x	15 x 13.2 x 9.3	15 x 13.2 x		
RRU Weight	9.3 70 lbs.	70 lbs.	9.3 70 lbs.		_
RRU Quantity	70 lbs.	70 lbs.	70 libs.		_
	_	_	_		-
RRU Manufacturer & Model (Attach Spec Sheet)	Ericsson 8843	Ericsson 8843	Ericsson 8843		
RRU Dimensions (HXWXD) (in)	15 x 13.2 x 11.1	15 x 13.2 x 11.1	15 x 13.2 x 11.1		
RRU Weight	75 Jbs	75 Jbs	75 Jbs		
TMA Quantity	N/A	N/A	N/A		
TMA Manufacturer & Model	N/A	N/A	N/A		
TMA <u>Dimensions(HxWvD)</u>	N/A	N/A	N/A		
TMA RAD Center	N/A	N/A	N/A		
Mount Mfg and Model (Attach Spec Sheet)	Kenwood Z2016KTA	Kenwood Z2016KTA	Kenwood Z2016KTA		
Tower Mount Mounting Height (on tower)	185'	185'	185'		
Transmit Frequency (MHz)	880.0-890.0 891.5-894.0 1975.0-1990.0 776.0-787.0 2145-2155 2120-2130	880.0-890.0 891.5-894.0 1975.0-1990.0 776.0-787.0 2145-2155 2120-2130	880.0-890.0 891.5-894.0 1975.0-1990.0 776.0-787.0 2145-2155 2120-2130		
Receive Frequency (MHz)	835.0-845.0	835.0-845.0	835.0-845.0		
receive reducincy limits	846.5-849.0 1895.0-1910.0 1745-1755, 1720-1730, 746.0-757.0;	846.5-849.0 1895.0-1910.0 1745-1755, 1720-1730, 746.0-757.0;	846.5-849.0 1895.0-1910.0 1745-1755, 1720-1730, 746.0-757.0;		
Number of Coax Cables (per antenna)	3550-3700 2 Hybrid	3550-3700 0	3550-3700 0		
Diameter of Coax Cables (In)	2 Hyloria	N/A	N/A		





ENGINEED:



REV	DATE	RECORD OF ISSUE	BY
Α	10/08/2021	ZONING	KC EB
В	05/03/2022	SITE SKETCH	KC EB
С	08/15/2022	ZONING	YH EB



SITE NAME:

SUGAR CREEK

SITE NUMBER:

NC-091

SITE ADDRESS:

DORMAN ROAD PINEVILLE, NC 28134

TOWER ELEVATION, ANTENNA LAYOUT, AND SCHEDULE

DRAWN BY: CHECKED BY:

KC

PROJECT MANAGER:

SHEET NUMBER:

56

ΕB



PROPOSED ANTENNA MOUNT DETAIL

NHH-65C-R2B



6-port sector antenna, 2x 698–896 and 4x 1695–2360 MHz, 65° HPBW, 2x RET. Both high bands share the same electrical tilt.

- Interleaved dipole technology providing for attractive, low wind load mechanical package
- Internal SBT on low and high band allow remote RET control from the radio over the RF jumper cable
- . Separate RS-485 RET input/output for low and high band
- One RET for low band and one RET for both high bands to ensure same tilt level for 4x Rx or 4x MIMO

Frequency Band, MHz	698-806	806-896	1695-1880	1850-1990	1920-2200	2300-236
Gain, dBi	16.0	16.1	17.3	17.7	18.3	18.2
Beamwidth, Horizontal, degrees	65	62	74	66	62	59
Beamwidth, Vertical, degrees	9.0	7.9	5.6	5.2	4.9	4.5
Beam Tilt, degrees	0-11	0-11	0-7	0-7	0-7	0-7
USLS (First Lobe), dB	21	18	19	20	22	18
Front-to-Back Ratio at 180°, dB	35	31	33	29	29	30
Isolation, Cross Polarization, dB	25	25	25	25	25	25
Isolation, Inter-band, dB	30	30	30	30	30	30
VSWR Return Loss, dB	1.5 14.0	1.5 14.0	1.5 14.0	1.5 14.0	1.5 14.0	1.5 14.0
PIM, 3rd Order, 2 x 20 W, dBc	-153	-153	-153	-153	-153	-153
Input Power per Port, maximum, watts	400	400	350	350	350	300
Polarization	±45°	±45°	±45°	±45°	±45°	±45°
Impedance	50 ohm					

Frequency Band, MHz	698-806	806-896	1695-1880	1850-1990	1920-2200	2300-2360
Gain by all Beam Tilts, average, dBi	15.8	15.9	16.9	17.5	18.0	17.9
Gain by all Beam Tilts Tolerance, dB	±0.4	±0.4	±0.4	±0.3	±0.6	±0.4
	0 ° 15.9	0 ° 15.8	0 ° 16.9	0 ° 17.4	0 ° 17.9	0 ° 17.8
Gain by Beam Tilt, average, dBi	5 ° 15.9	5 ° 16.0	4 ° 17.0	4 ° 17.5	4 ° 18.0	4 ° 17.9
_	11 ° 15.5	11 ° 15.7	7 ° 16.9	7 ° 17.4	7 ° 18.0	7° 17.9
Beamwidth, Horizontal Tolerance, degrees	±1.2	±1.6	±5.3	±3.4	±6	±3.1
Beamwidth, Vertical Tolerance, degrees	±0.6	±0.4	±0.3	±0.2	±0.2	±0.2
USLS, beampeak to 20° above beampeak, dB	15	14	17	16	17	15
Front-to-Back Total Power at 180° ± 30°, dB	26	24	28	25	25	24
CPR at Boresight, dB	18	26	20	25	20	17
CPR at Sector, dB	15	9	11	10	8	2

Array Layout

page 1 of 4 December 5, 2019

COMMSCSPE®



RADIO 4408 Same building practice as Radio 2203/2208

4.2 ln



Now confirmed max measurements/ will not exceed



VOGUE TOWERS

> 430 CHESTNUT STREET SUITE 101-B CHATTANOOGA, TN 37402

Item 2.

DATE

0/08/202

5/03/20

8/15/20



RECORD OF ISSUE

70NING

SITE SKETCH

ZONING

CONFIGURATIONS AND DIMENSIONS FOR 8843 "REV 2"



Supported configurations with 8843 "Rev 2" version

B2 4x40W + B66A 4x40W

4TX/4RX

Tx Power 4x5W

Size and Weight:

Up to 6 LTE carriers, IBW up to 150 MHz

Integrated (Antenna 6524) or external antenna

2x 2.5/5/9.8/10.1Gbps CPRI

AC or 48 VDC Support Units,

Operating Bands: B48/ CBRS

RF Connector: NEX10 2 external alarm) IP 65 -40 to +55 C

ENM dependency (full support 6 carriers in ENM 201Q1)

(single new version, compared to 2208, dual SUP support release TBD)

⇒ B2 2x60W + B66A 2x80W

= B2 4x40W + B66A 2x80W B2 4x20W + B66A 4x60W

Not to exceed dimensions for 8843

Not to exceed Dimensions for Rev 2" version; 36 liters (H; 380mm, W; 335 mm, D; 282 mm)

Not to exceed Weight for "Rev 2" version: 75 lb

Radio 8843 "Rev 2"	Height	Width	Depth (Estimate)	Weight (Estimate)
wo protruding items	15 In (380 mm)	13:2 In (335 mm)	9.3 in, 11.1 in (235 mm), 282 mm	70 lbs (31.7 kg)
w protruding items	18 In	13.2 In	9.4 in, 11.3 in	75 lbs (34.02 kg)
	(455 mm)	(335 mm)	(240 mm), 287 mm	

RADIO 4449 - B13 + B5 (DUAL-BAND) 4TX 4RX PER BAND



4 antenna ports, 4TX/4RX for 2 bands with common RF ports

Up to 320W RF Power shared between 2 bands

> 4x40W on each band or

2x60W each band on two high-power RF ports Carrier Capacity:

> Up to 24 carrier and up to 10+25 MHZ OBW for LTE

2x 10Gbps CPRI Size and Weight

- -48 VDC, 2x20A fuse (2 power AISG TMA & RET support (2 Bias-T, 1 ALD port)
- Type 4.3-10 RF connectors
- IP 65 -40 to +55℃

Q4 '17

PROPOSED RRU DETAIL

SITE NAME:

MAD BADIN

SUGAR CREEK

SITE NUMBER:

NC-091

SITE ADDRESS:

DORMAN ROAD PINEVILLE, NC 28134

ANTENNA AND RRU **DETAILS**

DRAWN BY:

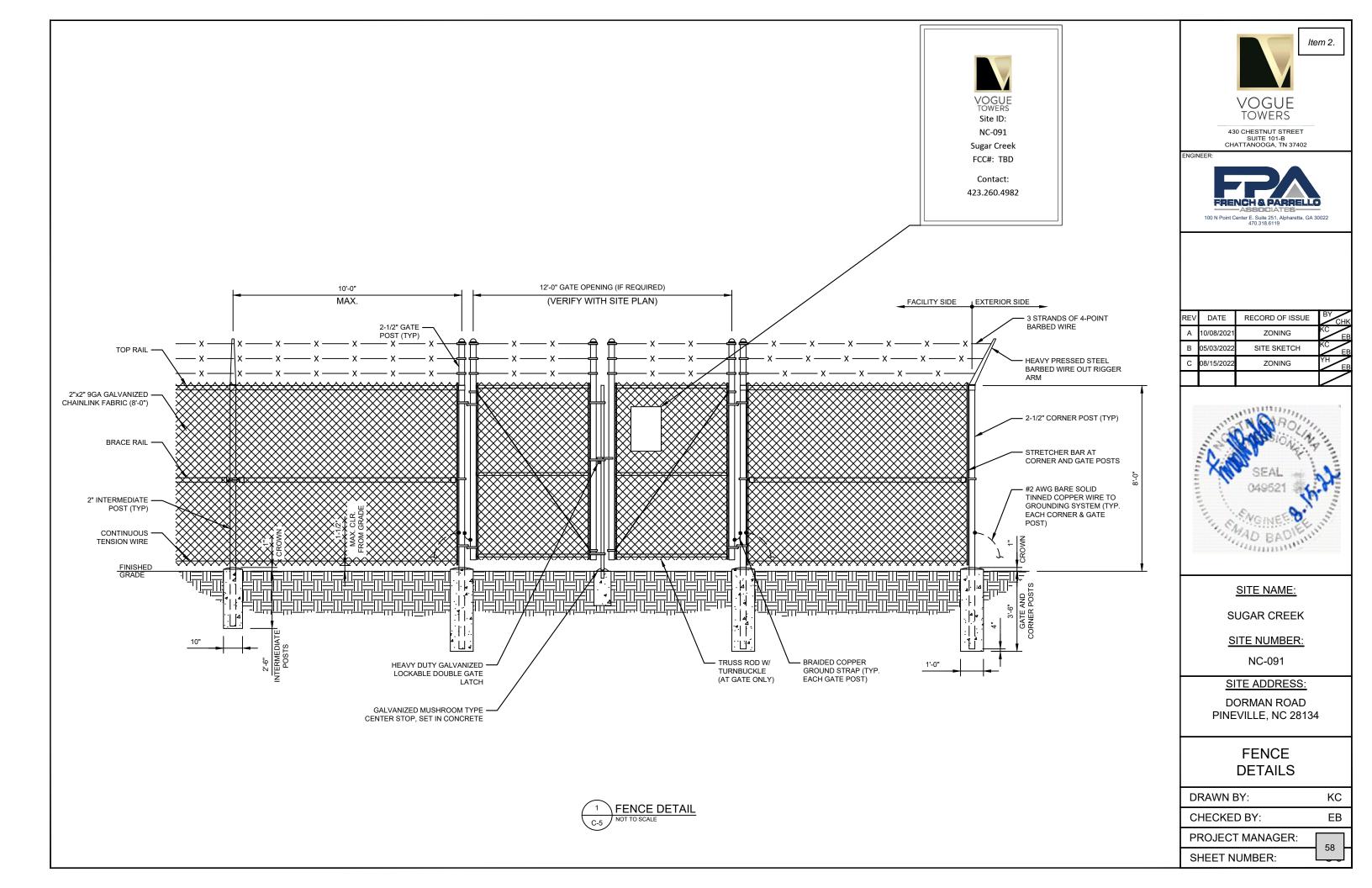
CHECKED BY:

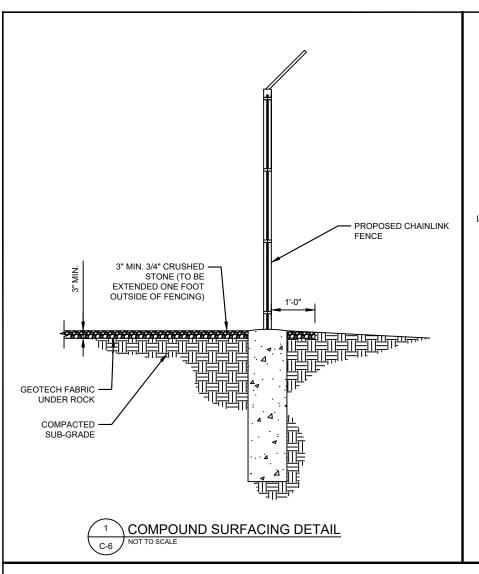
PROJECT MANAGER:

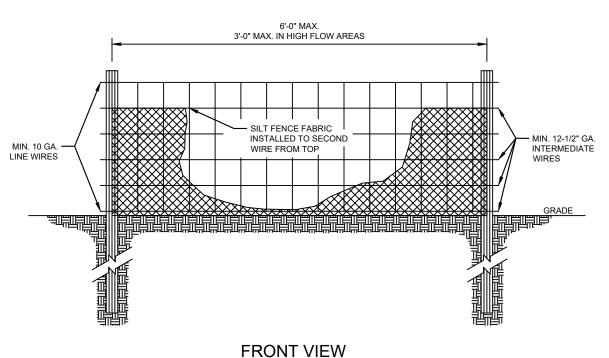
SHEET NUMBER:

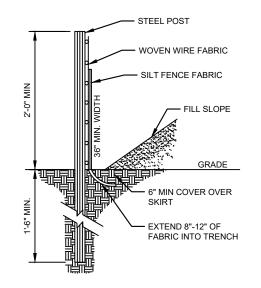
57

KC EΒ



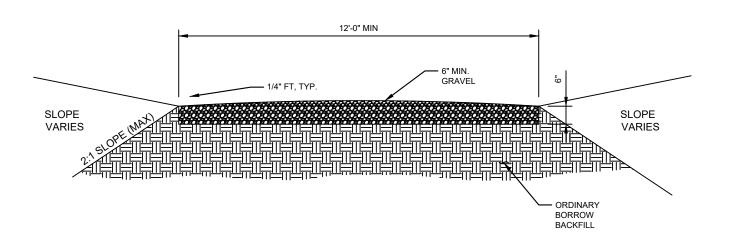






SIDE VIEW





3 GRAVEL ACCESS ROAD DETAIL

ONLY TO SCALE

- 1. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSTALLED PRIOR TO ANY GRADING AND ARE TO BE MAINTAINED IN PLACE THROUGHOUT THE COURSE OF CONSTRUCTION. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED ON ALL GRADED AND OR DISTURBED AREAS UNTIL SUCH AREAS HAVE BEEN STABILIZED WITH VEGETATIVE COVER.
- 2. CONTRACTOR SHALL OBTAIN APPLICABLE EROSION AND SEDIMENT CONTROL PERMIT(S) AND COMPLY WITH ALL LOCAL AND STATE LAWS. SEDIMENT SHALL NOT BE ALLOWED TO WASH INTO STORM DRAINS OR ONTO ADJACENT PROPERTIES. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR CLEANUP OF ANY AND ALL DAMAGES RESULTING FROM SILTATION FROM THE CONSTRUCTION SITE.
- 3. SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THE DRAWINGS ARE CONSIDERED MINIMUM. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING CONTROL AS NECESSARY TO PREVENT EROSION RUNOFF. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- 4. IF FINES OR PENALTIES ARE LEVIED AGAINST THE PROPERTY OR PROPERTY OWNER BECAUSE OF LACK OF EROSION AND/OR SEDIMENTATION CONTROL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF SUCH FINES OR PENALTIES.

- EROSION CONTROL NOTES

C-6 NOT TO SCALE



ENGINEER:



REV	DATE	RECORD OF ISSUE	BY
Α	10/08/2021	ZONING	KC EB
В	05/03/2022	SITE SKETCH	KC EB
С	08/15/2022	ZONING	YH



SITE NAME:

SUGAR CREEK

SITE NUMBER:

NC-091

SITE ADDRESS:

DORMAN ROAD PINEVILLE, NC 28134

> SITE DETAILS

DRAWN BY:

OWN BI.

CHECKED BY: EB

PROJECT MANAGER:

SHEET NUMBER:

59

KC

Workshop Meeting



To: Town Council

From: Travis Morgan

Date: 2/27/2023

Re: Beacon Acquisition of 12516 Downs (Informational Item)

PROPOSAL:

Beacon Partners is interested in possible incorporation of 12516 Downs Road into the CLP project and previous conditional site plan approval.

DEVELOPMENT SUMMARY:

Location: 12516 Downs Road

Request: Reduction of Southern buffer from 100' to 20' (there is existing 20 feet of buffer

along the townhome development to the South. If approved as shown; would

provide 40' of total buffer between properties.

Zoning: Existing: G-I

Proposed: G-I (CD)

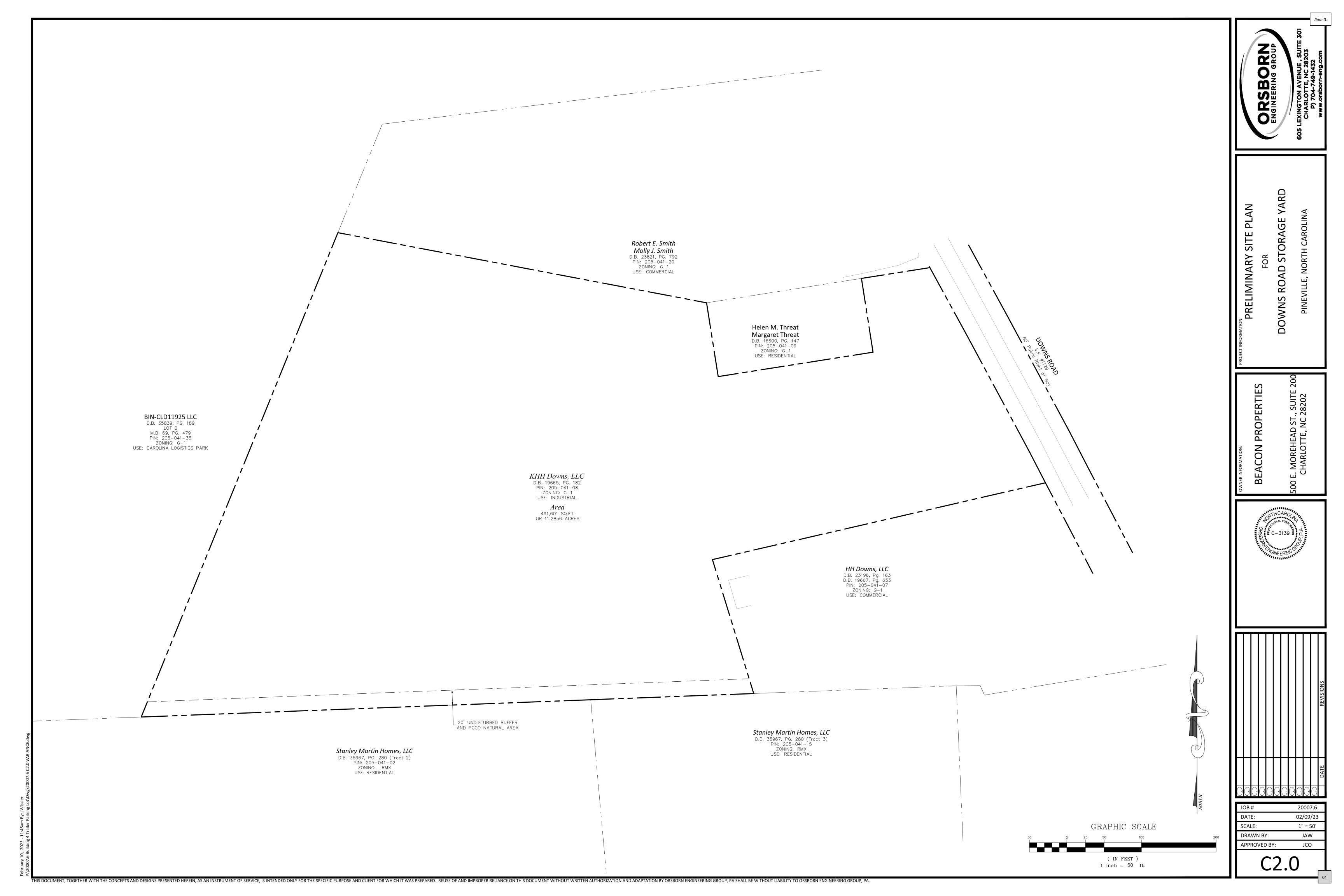
Parcel Size: 12.17 acres

STAFF COMMENT:

Plan does not provide any specifics on development plans nor why the reduced buffer is proposed. There is an existing single family use located at 12432 Downs shown on the plans owned by the Treat family that would also need the 100' buffer. Detail of what is in the reduced buffer is not shown. Without knowing the development plans it is difficult to properly assess buffer needs to the adjacent more sensitive residential uses. The front part of the property is within the flood plain so access through the CLP development parcel could be beneficial. Staff advocates for complete development proposal before we review the request. This to include flood areas, stormwater controls, zoning use of the property, size, location, and design of buildings, trash location, all buffer details and landscaping, sidewalk and streetscape improvements along Downs Road, and all driveways and access points.

PROCEDURE:

This meeting is to familiarize you with the applicant's request go over updates, modifications, and recommendations. The process is legislative with the standard conditional zoning process. This is a workshop meeting intended to refine the development proposal and to get your feedback ahead of any eventual future public hearing and council vote.



Workshop Meeting



To: Town Council **From:** Travis Morgan

Date: 2/27/2023

Re: Johnston Road Additional Grant and Time (Informational/Action Item)

Background:

The Johnston Road realignment project was split into two parts as required by NCDOT. This was noted because the funds (State STP-DA funds) would only cover the immediate area around a state road (Main Street) and not a portion of the Town Road section. Part "A" was the intersection and around Main Street. I was able to secure \$1.175 million with the town paying the remainder or the minimum 20% required town matching funds within Part A. The project had a state project number of EB-5949 assigned.

Part B was southern portion to be Town funded around Childers Lane and was not covered in the original grant.

Proposal:

Ryan was able to get and additional \$1.435 million in grant funds from FHWA or Federal dollars for the EB-5949 realignment project. This was to cover Part B of the remaining projects projected cost. These additional funds needed to be in association with a state numbered project. We were hoping the project would be looked at as the greater or total project. That appears not the case. EB-5949 only includes Part A limits of the project. We cannot use both grants (1.175M and 1.435M) within Part A. Below are the options per NCDOT:

Option 1, the Town contacts the MPO and ask them to create a new project (EB-5949A) as the southern portion of this realignment, which was previously the Town's responsibility. Then have them move the original BGDA funds for EB-5949 (\$1,175,000 @ 80% & \$293,750 @ 20% Local Match) to this newly created TIP (EB-5949A). This would leave the earmarked funds (\$1,435,000) still on EB-5949 and you can move forward with construction on the northern portion after we did another SA to revise the funding again. We would then have to make sure that everything done for this EB-5949A project is per NCDOT Specs/Stnds. This would include your ROW acquisition being done per the Uniform Relocation Act. Hopefully, that was the case since you've already acquired the ROW. We would also need to review/approve your plans, construction estimate, and contract. We would require you to get your ROW Cert and Util/RxR Cert as well. I believe the CE was done for both the northern and southern portions, so you should be fine with the current one. You may want to double check this is correct though. If this above process takes a bit, you will be required to do a CE Consultation form since your NRTR (endangered species study) would be past 2 years old. You would go through the advertising and contract letting process before obtaining concurrence of award from NCDOT. You also need to go through the CEI selection process again, along with rate and CEI contract approval. Option 1 will certainly delay the construction of this southern section but it is an option.

Option 2, the Town continues with the southern portion as previously planned. The southern portion would remain a Town project and completely separate from the northern portion (EB-5949). During EB-5949, the earmarked funds (\$1,435,000) would be expended first and then the original BGDA funds (\$1,175,000) will come into play afterwards. The Town is still responsible for the 20% local match of either funding source. Whatever funds remain, after final invoicing for EB-5949, will be returned to the MPO.

Summary:

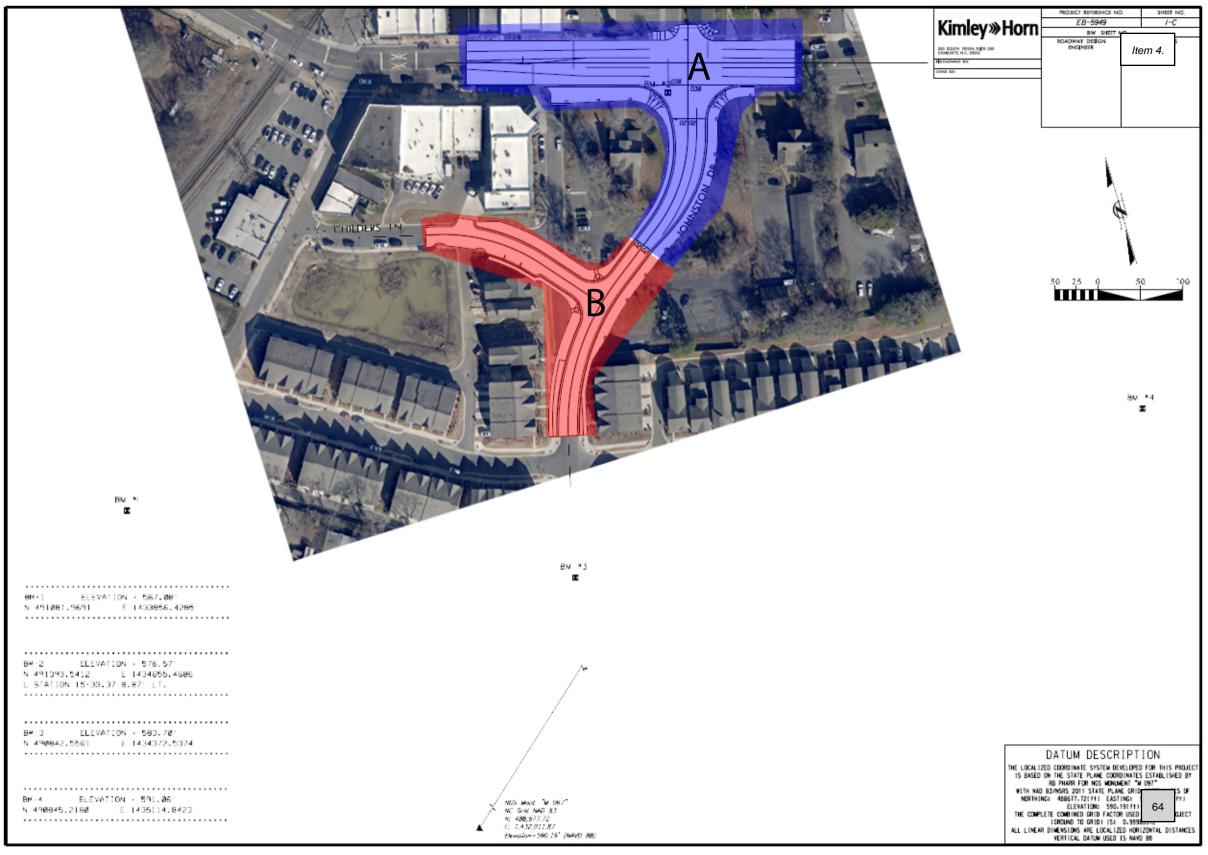
To utilize the additional 1.435M grant money (again this is additional newly available grant money), it will most definitely cause a delay in the project. It is a time vs. money question staff would like Council input and direction. The best guess estimated delay is below:

Based on conversations with Jennifer Stafford, the CRTPO portion of the process was likely 4-6 months. With the review able to overlap for a portion of that timeframe, I would estimate another 2-3 months for Construction Authorization, bidding and award. So call it **6-9 months**.

Thanks, Tony

Tony Spacek, P.E. Kimley-Horn

District 10 of NCDOT is currently looking in to this. Town staff has been communicating with them to see if there are other possibilities. Going back to the CRTPO is a last resort. If the Town does go back through the CRTPO to add the Part B section there is a risk they could make the previously awarded Part A section get reranked or re-qualify. If that is a requirement: that is where the possibility that The Town could lose the previously awarded 1.175 million. If that is the case we could fall back and utilize the new Federal grant of 1.435 million within Part A limits but with a delay due to the process.



Memorandum

To: Mayor and Town Council

From: Lisa Snyder

Date: 2/21/2023

Re: Board openings - BOA



The following Pineville residents have applied for the BOA. **There is one opening for a regular board member** and **one opening for an alternate**. Please note that both residents shown below have also applied for the Planning Board.

BOARD OF ADJUSTMENT

Dusty Gilvin Michelle Shail

Action Requested: Appoint interested residents to this board.



Town of Pineville
P.O. Box 249 ● Pineville, NC 28134
Fax: 704-889-2293

Name: Dusty Alan Gilvin (McCullough)	Date: January 9, 2023
Address:Pineville. NC 28134	Home Phone:
Email Address:	Cell Phone:
Please indicate which Board you are interested in: Planning Boar	d and Board of Adjustment
Please explain briefly why you are seeking appointment to this boato move to the Charlotte area for over 9 years. Between not really find work keeping us away, we just weren't able to make it happen until 2 that change starts at the community level and we are raising our son	ling an area that we felt was right for us and years ago, when we found Pineville. I believe to understand that community involvement
is a civity duty equally as important as voting or serving in the milita	ry.
Please describe any professional experience you may have that we I have been fortunate enough to have served as Vice President of Ope GPRS, the nations largest utility locating company. I have also served Generation Construction & Environmental, where I lead our Hydro-I was also the Vice President at Pilot Drilling Group, a direction drill	erations & Director of the Mountain West for d as Chief Operating Officer for Next -excavation and Civil Construction Division.
Please describe any committees, organizations, or other boards yo educational background you have that would qualify you for a pos multiple boards to include. Director for U.S. Army Physical Disability Association, Infobelt, INC, and Mage Data. I'm currently serving on the serving of the se	sition on this board: <u>I have served on</u> <u>y Agency. University of Arizona Wounded V</u> eterans
Please tell us anything else about yourself that would be beneficial. Veteran with more than 18 years of experience leading and growing and about to complete an MBA in Finance.	
Signatura Dusta Cilvina	Data Lanuary 9 2023



Town of Pineville
P.O. Box 249 • Pineville, NC 28134
Fax: 704-889-2293

Name: Michelle Shail (Chadwick Park) Address: Pineville NC 28134 Email Address: Manderson Shail Franches	Date: January 24, 2023 Home Phone:
Please indicate which Board you are interested in: Planning Board	rd or Board of Adjustment
Please explain briefly why you are seeking appointment to this Ballantyne in June 2022 and I've been in the Charlotte area for 20 ye and absolutely love the neighborhood and the downtown Pineville e so well run and has strong on-going growth potential. I'd like to utilit experience to contribute to the continued growth and development. Please describe any professional experience you may have that I have over 15 years of experience as a Human Resources profession financial services and manufacturing. My career focuses on helping goals through their people strategies. I consult and advise leaders or and recommending efficient and effective organizational structures, employees and mitigating risk.	ars. I built a home in Chadwick Park xperience. The town is full of charm, is ze my time, professional and life of our fantastic town. would be relevant to this board: all in various industries, including ousinesses achieve their priorities and managing their workforce, assessing
Please describe any committees, organizations, or other boards educational background you have that would qualify you for a participation is core to my values. When my children were young, I stounder and serve on the leadership team for a community of practic Development (The OD Roundtable). As a leadership team, we plan a to trends and best practices for our community of 75+ Organization Additionally, I'm a mentor to a graduate student from the McColl Schwhere I earned a Master of Science in Organization Development.	served on this board: Community served on the PTA Board. I'm the coce focused on Organization and facilitate quarterly sessions related Development/HR practitioners.
Please tell us anything else about yourself that would be benefichildren (23, 20, 18 years old) and two rescue fur babies, Tucker the considering my application.	cial to this board: I'm a mom to three dog and Tobi the cat. Thank you for
Signature:	Date: 12423

Memorandum

To: Mayor and Town Council

From: Lisa Snyder

Date: 2/21/2023

Re: Board opening – Planning Board



The following Pineville residents have applied for the Planning Board. There is **one opening for a regular board member** and **one opening for an alternate**.

PLANNING BOARD

Dusty Gilvin Michelle Shail Brandi Wyant Monica White Eagle Bolyn McClung

Action Requested: Appoint interested residents to this board.



Town of Pineville
P.O. Box 249 ● Pineville, NC 28134
Fax: 704-889-2293

Name: Dusty Alan Gilvin	(McCulloligh)	Date: January 9, 2023
Address:	Pineville, NC 28134	Home Phone:
Email Address: Management		Cell Phone:
Please indicate which Board you	u are interested in: <u>Planning Boar</u>	d and Board of Adjustment
to move to the Charlotte area for work keeping us away, we just w that change starts at the commu	over 9 years. Between not really find eren't able to make it happen until 2	ard: My family and I had been planning ing an area that we felt was right for us and years ago, when we found Pineville. I believe to understand that community involvement ry.
I have been fortunate enough to GPRS, the nations largest utility Generation Construction & Env	v locating company. I have also served	rations & Director of the Mountain West for das Chief Operating Officer for Next excavation and Civil Construction Division.
educational background you ha multiple boards to include. Dire	ctor for U.S. Army Physical Disabilit	ou may have participated on or ition on this board: <u>I have served on</u> <u>Y Agency, University of Arizona Wounded Veterans the Advisory Board for B&D Capital Partne</u> rs.
Please tell us anything else about Veteran with more than 18 year and about to complete an MBA	s of experience leading and growing	I to this board: <u>I am a U.S. Navy Combat</u> companies. I have a Masters Degree in Education
Signature: Dusty Gilvin	ı	Date: January 9, 2023



Town of Pineville
P.O. Box 249 • Pineville, NC 28134
Fax: 704-889-2293

Name: Michelle Shail (Chadwick Park)	Date: <u>lanuary 24, 2023</u>
Address: Pineville NC 28134	Home Phone:
Email Address:	Cell Phone: 704-609-1486
Please indicate which Board you are interested in: Planning Boa	rd or Board of Adjustment
Please explain briefly why you are seeking appointment to this Ballantyne in June 2022 and I've been in the Charlotte area for 20 ye and absolutely love the neighborhood and the downtown Pineville e so well run and has strong on-going growth potential. I'd like to utili experience to contribute to the continued growth and development	ars. I built a home in Chadwick Park xperience. The town is full of charm, is ze my time, professional and life
Please describe any professional experience you may have that I have over 15 years of experience as a Human Resources profession financial services and manufacturing. My career focuses on helping goals through their people strategies. I consult and advise leaders of and recommending efficient and effective organizational structures, employees and mitigating risk.	al in various industries, including businesses achieve their priorities and managing their workforce, assessing
Please describe any committees, organizations, or other boards educational background you have that would qualify you for a participation is core to my values. When my children were young, I stounder and serve on the leadership team for a community of practic Development (The OD Roundtable). As a leadership team, we plan a to trends and best practices for our community of 75+ Organization Additionally, I'm a mentor to a graduate student from the McColl Schwhere I earned a Master of Science in Organization Development.	cosition on this board: Community served on the PTA Board. I'm the coce focused on Organization and facilitate quarterly sessions related Development/HR practitioners.
Please tell us anything else about yourself that would be benefichildren (23, 20, 18 years old) and two rescue fur babies, Tucker the considering my application.	cial to this board : I'm a mom to three e dog and Tobi the cat. Thank you for
Signature: Mal	Date: 12423



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Name: Brandi Wyant			Date: Feb 6, 2023
Address:		(Traditions Park)	Home Phone:
Email Address:	wyant@gmsil.com		Cell Phone:
Please indicate which	Board you ar	e interested in: The Planning Board	
			I have lived in Pineville since 2016 and have grown I think Pineville is quickly developing, while still keeping
the charm of a small town.			
-			
			
Professionally I am a controller for company and six years at a pub. I believe they have brought me	or The Sports Busine lic insurance compa e a vast amount of l	ny before joining The Sports Business Journal. W knowledge. In my roles I have run three construc	d be relevant to this board: throughout my career. I spent 12 years at a local language hile my roles are not directly related to the specific board, ction projects, including space selection and planning.
Also in my insurance role I had	two offices that sp	ecialized in construction and government.	
educational backgrou House broader board, along wi for the Charlotte Chamber and boards since I have been wor involved again with the commi	nd you have t th forming and sitting the membership con king with a public or unity.	g as the president of their Young Professionals bo nmittee for the Charlotte City Club. it has been a fe	On on this board: I sat on the International lard. I have also previously sat on the transit committee we years since I participated in the local committees and that I am back in the area full-time I would like to get
	There Ups	Digitally signed by Brandi Wyant Dale: 2023.02.06 10:54:51 -05'00'	Date: Feb 6, 2023



Bridge Specialty Group (Brown & Brown, BRO)

Hull & Company, Braishfield, National Risk Solutions, Peachtree Special Risk Southeast Regional Controller (Prior Accounting/Operations Leader) Charlotte, NC Jun 5, 2016 - Present

General Office Management/Technology

Maintain and purchase all systems, phones, software and computers

Lease analysis and office upfit management

Indirect management of 350+ teammates, direct management of 30 finance/operations teammates

Partnering with the President to drive sales/marketing/company direction

Accounting/Human Resources

Compliance with Sarbanes-Oxley Legislation

Revenue Recognition 606

Month/Quarter/Year-end Compliance/close/reconciliation/reporting/analysis

Journal, AR, AP, restricted cash, prepaid/accrued expenses, intercompany, and trust/operating bank review

Financial statement creation/analysis

Tax and 1099 year end reporting

Yearly and latest estimate budgeting for seven offices creating top and bottom-line targets

Payroll/onboarding/recruiting/hiring/incentive

Lead carrier and internal audits for seven offices

Excess & Surplus tax filings and compliance

Committees

Budget planning and development for all Brown & Brown offices

Lockbox creation/training/development for all Brown & Brown offices

Consolidated payables for all Brown & Brown offices through JP Morgan

Learning development to develop online training courses for teammates

Choice Translating, Inc., TravelingBrand, Inc. & Inuksuk, LLC Director of Client Services Charlotte, NC

Director of Client Services
General Office Management/Technology

Event planning, team building and training

Strategic projects and planning

Research and implement new technologies

Maintain all systems, phones, software and computers

Accounting/Human Resources

General accounting & tax planning in QuickBooks for three companies

Recruiting/Screening/Hiring/Payroll for 15 staff, 200 1099 contractors, and 1000 international contractors

Benefits plan evaluation, selection and administration

Sales/Customer Service/Training

Prepare contracts and negotiation

Account management in SalesForce.com

Notable Accomplishments

Managed the upfit and design of new office space

Transition the company to 100% cloud based solutions and removed all servers and IT services

Implemented ROWE work environment

Implemented SalesForce.com for sales, recruiting and marketing along with integrations

Research and implemented online scheduling software to increase sales and decrease staff time

Education - University of Wisconsin Superior

BS in Accounting

May 2003

Nov 1, 2004 – April 8, 2016

Boards - Chair/President of Young Professionals @ International House

Development committee/board member for the broader International House board

Software/Technology:

Advanced Office 365 (Forms, PowerAutomate, Stream, Excel, Word, Teams, OneDrive, Sharepoint) | Pivot Tables Excel formulas including Vlookups | Basic Macros | SalesForce.com | QuickBooks | Velocity | Rackspace | Workday Panda Firewall/Security | Adobe Captivate | Build, install and troubleshoot PC's | Google Applications | Wix Website



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Name: White Eagle, Monica	Date:2/8/23
Address:	Phone:
Email Address:	Cell Phone:same as above
Which Board do you wish to participate on: Planning Board	✓ Board of Adjustment
Please explain briefly why you are seeking appointment to this l'm seeking appointment to this board as I believe in the potential	
be involved in contributing to the community's future. I've been a fan of Pineville since I first	
discovered it in 2019 when I was scouting places to live in the Charlotte area (having moved from	
Dallas, Texas) and promptly bought in the newest community development at the time, Chadwick	
Park at Downtown Pineville.	
Please describe any professional experience you may have the My background is in the consumer goods industry, centered around vision among others to make it a reality. Whether it was in design leading/influencing teams across various management levels, a larequired strong communication skills, setting clear goals, and institute desired outcome. I'm currently working as a contractor for climanufacturing/marketing which continues to refine my interpersor Please describe any committees, organizations or other board educational background you have that would qualify you for 2014-2015: Graduate of Leadership Irving-Las Colinas, Irving Chaeducating and developing leaders for civic, charitable, and committees.	ind being a visionary and leading that ing/developing the actual product or in arge component of my experience spiring teams to work together to achieve ents in oil and gas extractions, CPG onal and project management skills. Its you may have participated on or this position on the board:
2017-2019: Junius Heights Neighborhood Association, the larges	
involvement in neighborhood events, beautification/alley cleanup	es, historic preservation/zoning efforts.
2019-Present: Active in Chadwick Park community as both reside	-
Please tell us anything else about yourself that would be ben	
I have moved from the fastest-growing metro in the U.S., Dallas-F	
witness to fast urban growth with community-focused development.	
Signature: Monica White Cagle Date:	2/9/23



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Name:Bolyn McClung	Date: January 20, 2023
Address: Pineville. Home Pho	one: 980 250 1293 (Old 70wn)
Email Address:	Cell Phone: \$80 250 1292
Please indicate which Board you are interested	in:Planning Board
Please explain briefly why you are seeking apportunity to get back to serving the community of Adjustments.	pintment to this board: unity. Was previously chair of the Pineville Zoning
Many years serving on Pineville Zoning Boar Charlotte-Mecklenburg Planning Commission	u may have that would be relevant to this board: rd of Adjustment on - 5 years during time when Unified Development
Ordinance was being created.	
Please describe any committees, organizations educational background you have that would quanty years serving on Pineville Zoning Boar	or other boards you may have participated on or ualify you for a position on this board:
Charlotte-Mecklenburg Planning Commission	on - 5 years
Mecklenburg County Bond Campaign for Sch	nool Bonds, CPCC, Parks and Library - 2007 Co-chair
Please tell us anything else about yourself that health and willing to give undivided attention	would be beneficial to this board: _Am retired in good on to any matters necessary
Signature: Bolon M. F.	Date: Jen. 20, 2023

Town of Pineville

FY24 Proposed Council Budget Calendar

March / April 2023 – Budget Workshop Sessions with Council

- March 28 Overview of Revenues, Expenditures and Pressures
- March 30 General Government / Parks and Recreation
- April 4 Public Safety
- April 6 Public Works / Enterprise Funds
- April 7 Good Friday
- April 10-14 CMS SPRING BREAK
- April 17-21 Councilman Samaha Unavailable
- April 27 CIP Projects / Debrief

May 9, 2023 - Council Meeting

- Manager's Recommended Budget presentation
- Hold Public Hearing

June 13, 2023 – Council Meeting

Approve Budget Ordinance and Fee Schedule