



**TOWN OF PAONIA**  
**214 GRAND AVENUE**  
**WEDNESDAY, MAY 01, 2024**  
**PLANNING COMMISSION MEETING AGENDA 5:30 PM**  
**JOIN ZOOM MEETING**  
**[HTTPS://US02WEB.ZOOM.US/J/88407567347](https://us02web.zoom.us/j/88407567347)**  
**MEETING ID: 884 0756 7347**

**Roll Call**

**Appointment of Officers**

**Approval of Agenda**

**Approval of Minutes**

April 3, 2024 Planning Commission Minutes

**Actions & Presentations**

**Public Hearing**

Presentation of the draft element portion of the Comprehensive Plan – Transportation; Parks & Recreation Trails and Urban Forest.

**This is a presentation only, no action will be taken on this item.**

**Public Hearing**

Consideration of a recommendation to the Board of Trustees, of a variance for the parking minimums of the Paonia Municipal Code for The Learning Council, for the use of The Hearth at the property located at 138 Grand Avenue.

**Adjournment**

AS ADOPTED BY:  
TOWN OF PAONIA, COLORADO  
RESOLUTION NO. 2017-10 – Amended May 22, 2018

I. RULES OF PROCEDURE

**Section 1. Schedule of Meetings.** Regular Board of Trustees meetings shall be held on the second and fourth Tuesdays of each month, except on legal holidays, or as re-scheduled or amended and posted on the agenda prior to the scheduled meeting.

**Section 2. Officiating Officer.** The meetings of the Board of Trustees shall be conducted by the Mayor or, in the Mayor's absence, the Mayor Pro-Tem. The Town Clerk or a designee of the Board shall record the minutes of the meetings.

**Section 3. Time of Meetings.** Regular meetings of the Board of Trustees shall begin at 6:30 p.m. or as scheduled and posted on the agenda. Board Members shall be called to order by the Mayor. The meetings shall open with the presiding officer leading the Board in the Pledge of Allegiance. The Town Clerk shall then proceed to call the roll, note the absences and announce whether a quorum is present. Regular Meetings are scheduled for three hours, and shall be adjourned at 9:30 p.m., unless a majority of the Board votes in the affirmative to extend the meeting, by a specific amount of time.

**Section 4. Schedule of Business.** If a quorum is present, the Board of Trustees shall proceed with the business before it, which shall be conducted in the following manner. Note that all provided times are estimated:

- (a) Roll Call - (5 minutes)
- (b) Approval of Agenda - (5 minutes)
- (c) Announcements (5 minutes)
- (d) Recognition of Visitors and Guests (10 minutes)
- (e) Consent Agenda including Approval of Prior Meeting Minutes (10 minutes)
- (f) Mayor's Report (10 minutes)
- (g) Staff Reports: (15 minutes)
  - (1) Town Administrator's Report
  - (2) Public Works Reports
  - (3) Police Report
  - (4) Treasurer Report
- (h) Unfinished Business (45 minutes)
- (i) New Business (45 minutes)
- (j) Disbursements (15 minutes)
- (k) Committee Reports (15 minutes)
- (l) Adjournment

\* This schedule of business is subject to change and amendment.

**Section 5. Priority and Order of Business.** Questions relative to the priority of business and order shall be decided by the Mayor without debate, subject in all cases to an appeal to the Board of Trustees.

**Section 6. Conduct of Board Members.** Town Board Members shall treat other Board Members and the public in a civil and polite manner and shall comply with the Standards of Conduct for Elected Officials of the Town. Board Members shall address Town Staff and the Mayor by his/her title, other Board Members by the title of Trustee or the appropriate honorific (i.e.: Mr., Mrs. or Ms.), and members of the public by the appropriate honorific. Subject to the Mayor's discretion, Board Members shall be limited to speaking two times when debating an item on the agenda. Making a motion, asking a question or making a suggestion are not counted as speaking in a debate.

**Section 7. Presentations to the Board.** Items on the agenda presented by individuals, businesses or other organizations shall be given up to 5 minutes to make a presentation. On certain issues, presenters may be given more time, as determined by the Mayor and Town Staff. After the presentation, Trustees shall be given the opportunity to ask questions.

**Section 8. Public Comment.** After discussion of an agenda item by the Board of Trustees has concluded, the Mayor shall open the floor for comment from members of the public, who shall be allowed the opportunity to comment or ask questions on the agenda item. Each member of the public wishing to address the Town Board shall be recognized by the presiding officer before speaking. Members of the public shall speak from the podium, stating their name, the address of their residence and any group they are representing prior to making comment or asking a question. Comments shall be directed to the Mayor or presiding officer, not to an individual Trustee or Town employee. Comments or questions should be confined to the agenda item or issue(s) under discussion. The speaker should offer factual information and refrain from obscene language and personal attacks.

**Section 9. Unacceptable Behavior.** Disruptive behavior shall result in expulsion from the meeting.

**Section 10. Posting of Rules of Procedure for Paonia Board of Trustees Meetings.** These rules of procedure shall be provided in the Town Hall meeting room for each Board of Trustees meeting so that all attendees know how the meeting will be conducted.

## **II. CONSENT AGENDA**

**Section 1. Use of Consent Agenda.** The Mayor, working with Town Staff, shall place items on the Consent Agenda. By using a Consent Agenda, the Board has consented to the consideration of certain items as a group under one motion. Should a Consent Agenda be used at a meeting, an appropriate amount of discussion time will be allowed to review any item upon request.

**Section 2. General Guidelines.** Items for consent are those which usually do not require discussion or explanation prior to action by the Board, are non-controversial and/or similar in content, or are those items which have already been discussed or explained and do not require further discussion or explanation. Such agenda items may include ministerial tasks such as, but not limited to, approval of previous meeting minutes, approval of staff reports, addressing routine correspondence, approval of liquor licenses renewals and approval or extension of other Town licenses. Minor changes in the minutes such as non-material Scribner errors may be made without removing the minutes from the Consent Agenda. Should any Trustee feel there is a material error in the minutes, they should request the minutes be removed from the Consent Agenda for Board discussion.

**Section 3. Removal of Item from Consent Agenda.** One or more items may be removed from the Consent Agenda by a timely request of any Trustee. A request is timely if made prior to the vote on the Consent Agenda. The request does not require a second or a vote by the Board. An item removed from the Consent Agenda will then be discussed and acted on separately either immediately following the consideration of the Consent Agenda or placed later on the agenda, at the discretion of the Board.

## **III. EXECUTIVE SESSION**

**Section 1.** An executive session may only be called at a regular or special Board meeting where official action may be taken by the Board, not at a work session of the Board. To convene an executive session, the Board shall announce to the public in the open meeting the topic to be discussed in the executive session, including specific citation to the statute authorizing the Board to meet in an executive session and identifying the particular matter to be discussed “in as much detail as possible without compromising the purpose for which the executive session is authorized.” In the event the Board plans to discuss more than one of the authorized topics in the executive session, each should be announced, cited and described. Following the announcement of the intent to convene an executive session, a motion must then be made and seconded. In order to go into executive session, there must be the affirmative vote of two thirds (2/3) of Members of the Board.

**Section 2.** During executive session, minutes or notes of the deliberations should not be taken. Since meeting minutes are subject to inspection under the Colorado Open Records Act, the keeping of minutes would defeat the private nature of executive session. In addition, the deliberations carried out during executive session should not be discussed outside of that session or with individuals not participating in the session. The contents of an executive session are to remain confidential unless a majority of the Trustees vote to disclose the contents of the executive session.

**Section 3.** Once the deliberations have taken place in executive session, the Board should reconvene in regular session to take any formal action decided upon during the executive session. If you have questions regarding the wording of the motion or whether any other information should be disclosed on the record, it is essential for you to consult with the Town Attorney on these matters.

## **IV. SUBJECT TO AMENDMENT**

**Section 1. Deviations.** The Board may deviate from the procedures set forth in this Resolution, if, in its sole discretion, such deviation is necessary under the circumstances.

**Section 2. Amendment.** The Board may amend these Rules of Procedures Policy from time to time.

**Minutes**  
**Planning Commission Meeting**  
**Town of Paonia, Colorado**  
**April 03, 2024**

**RECORD OF PROCEEDINGS**

**Roll Call**

**PRESENT**

Chair Knutson  
Vice-Chair Bachran  
Secretary Howe  
Commissioner Watson

**ABSENT**

Commissioner Clisset

**Approval of Agenda**

Vice-Chair Bachran makes a motion, seconded by Secretary Howe, to approve the agenda.

Motion carries unanimously.

**Approval of Minutes**

Vice-Chair Bachran makes a motion, seconded by Secretary Howe, to approve the March 13, 2024 Planning Commission Minutes.

Motion carries unanimously.

**Actions & Presentations**

**1. Public Hearing**

Presentation of the draft element portion of the Comprehensive Plan – Economic Development; Governance and Community Participation.

**No Formal Action Will be Taken.**

Chair Knutson starts the public hearing at 5:10PM

Calla Rose Ostrander and Marissa Mommaerts, Phoenix Rising Resources LLC, present the overview, vision, values, and policies for the components that make up the Economic Development and Governance & Community participation. Updates to downtown and

regulation improvements were discussed as well.

Libby Christensen, CSU, discusses activities in food areas, grants, and partnership with CSU.

Jess Dervin-Ackerman, Executive Director of NFCC, explains plans for funding requests. States that the application was very competitive and thinking about economic development, that the master plan explains our story. Would like to apply for state level grants. Explains other programs for getting additional monies/grants.

David Marek, previously served on HWY 133 Overlay Committee, speaks in favor of annexation areas near Highway.

Town Administrator Wynn explains the purpose of this public hearing is to solicit feedback.

Chair Knutson suggests comments should be done one element at a time.

The Planning Commission discusses the purpose of comments, inclusion of other events, transportation elements, density, and zoning. Additional data on non-profits is discussed along with substandard services that may need improvement.

Phoenix Rising's recommendations include prioritizing implementation of adopted plans, have accessible and transparent budgeting, accessible information, build civic capacity, and participate in regional efforts.

Planning Commission members agree relationships has been great and to continue pushing for further communication with the public. Comments on this element will be open until April 17th. Options for how to comment are explained.

Chair Knutson ends the Public Hearing at 5:58PM

## **2. Public Hearing**

Consideration of the Application from Double Shot Twins LLC to Rezone the Parcels at 215 North Fork Avenue.

Chair Knutson starts the Public Hearing at 5:58PM

Chair Knutson and Vice-Chair Bachran disclose they have driven by the property discussed.

Town Administrator Wynn presents his staff presentation. Code 16-14-20 zoning reference, he shows properties in question on zoning map located on mid-block zoning. Section 16-2-30 explained. 16-2-80 also explained. Town must default to 1996 Comprehensive plan since it is the only one that has been adopted. Explains the six

general land use development actions. Recommends approval.

Town Attorney Melinda Culley has no comments to add.

Applicant Lori Mason, representing Double Shot Twins, explains rezoning to residential is to be able to offer another residential lot for locals. Cleaned up old oil facility and is part of clean Colorado act. Lot is ready to be built on.

Public comment:

Sharon Kain speaks to noise from laundromat being a nuisance.

Jeff Thompson speaks in favor of rezoning.

Public comment closed.

Planning Commission discussion includes adding a buffer zone, allowing for higher fencing, zoning map area, and additional concerns regarding removing a commercial lot.

Town Administrator Wynn refocuses commissioners to rezoning and not restrictions.

Town Attorney Melinda Culley explains that any buffer would not be a requirement but an encouragement to property owners.

Secretary Howe makes a motion, seconded by Vice-Chair Bachran, to recommend the approval of SRV 2024-01 because it does not adversely affect the public health, safety and welfare of the existing residential neighborhood, and that the rezoning substantially conforms to the comprehensive master plan that we're considering, and that the conditions of the area affected have changed materially since the area was last zoned, and since the bulk fuel storage tanks have since been removed, with the following condition; that the applicant also receives a favorable determination from the Board of Trustees.

Voting Aye: Chair Knutson, Vice-Chair Bachran, Secretary Howe

Voting Nay: Commissioner Watson

Motion carries with a 3-1 vote.

Chair Knutson ends the public hearing at 6:34 PM

### **3. Public Hearing**

Consideration of the Application for a Change of Use for a Room at the Property at 130 Grand Avenue from a Community Space for Tenants to a Bar Open to the Public.

Chair Knutson starts the Public Hearing at 6:41PM

Town Administrator Wynn presents his staff report with recommendations of certain conditions be placed, such as off-street parking agreement, to receive a favorable decision.

Applicant Rene Verduin and Contractor Steve Wilson (Wilson & Sons) make their presentation. They express frustration with length application approval and feel their change would benefit the town.

Public comments:

Robin Arthur speaks in favor of approval.

David Marek speaks in favor of approval.

Karen Goodwin speaks in favor of approval.

Julie Bennette speaks about parking requirements.

Lori Mitchell speaking in favor in approval, doesn't feel parking requirement should be an issue.

Lori Marek speaks in favor of approval.

Town Administrator Wynn discusses how parking requirements are nothing new and an agreement should be made with town for approval.

Planning Commission discussion centers around off-street parking requirement asked of applicant and should be structured like the agreement with Blue Sage Center for the Arts.

Vice-Chair Bachran makes a motion, seconded by Secretary Howe, to recommend the approval of SRV 2024-04 because the plan substantially conforms to the Comprehensive Master Plan. The review criteria and performance standards as required by the Panamanian Municipal Code had been met by the applicant with the following conditions: that the applicants complete an off-street parking agreement with the town of Paonia prior to receiving a temporary or permanent certificate of occupancy that any future uses or combination of uses that aren't allowable by right. Receive a special review that parking calculations are also adjusted. And that parking calculations are also adjusted for future uses. That the applicant completes the improvements on or before October 23, 2024. And that the application receives a favorable determination from the Board of Trustees.

Chair Knutson calls for a roll call vote:

Voting Aye: Chair Knutson, Vice-Chair Bachran, Secretary Howe, Commissioner Watson

Voting Nay:  
None

Motion carries unanimously.

Chair Knutson closes the public hearing at 7:26 PM.

### **Adjournment**

Training for new Board members on April 16th to be put on by CIRSA.

Chair Knutson adjourns the meeting at 7:28PM

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Ruben Santiago, Deputy Clerk

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Dave Knutson, Chair

DRAFT

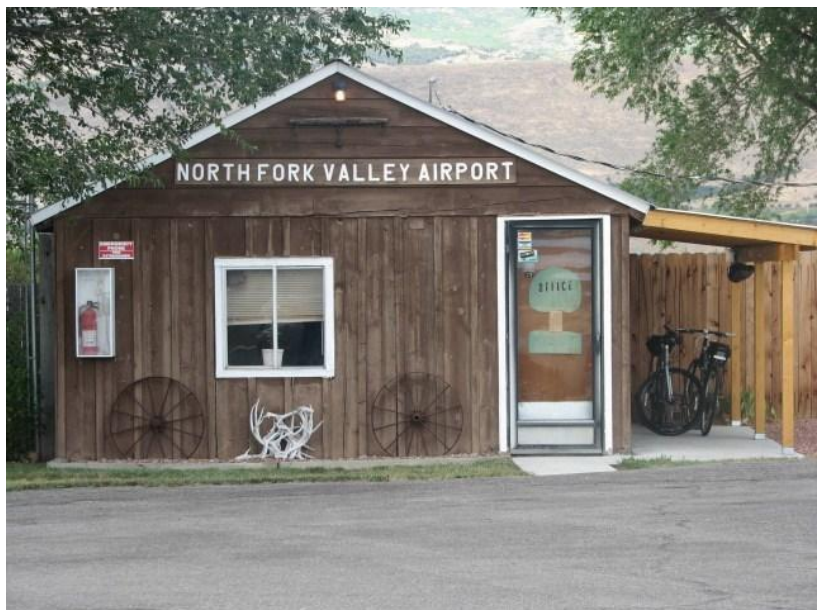
**BACKGROUND:** Paonia sits to the south of CO State Highway 133, which serves to connect Paonia to Somerset, Crested Butte, and the Roaring Fork Valley to the east/northeast, and to the larger cities of Delta, Montrose, and Grand Junction to the west. Paonia is not connected to any major cities or transportation hubs by public transit and is difficult to access without a car. Transit between Paonia and other communities in the North Fork Valley and Delta County is limited to a few services that provide access to community facilities like schools and healthcare facilities. The Town's remote location may be a limiting factor to the Town's accessibility. However, with its compact size and tree-lined streets, the Town of Paonia itself is already a reasonably walkable and bikeable community. Town residents who responded to the 2020 Revitalizing Main Street study provided the following information on which mode of transportation they use when they visit Grand Avenue: 88% drove a personal automobile, 56% walked and 30% rode a bike.<sup>1</sup> Respondents were allowed to choose more than one mode, indicating that many folks who drive downtown also visit by walking or biking.

BREAKOUT BOX: "The size, shape and speed of automobiles have changed. There is more interest in the walkability of the Town and we see more bicycles, e-bikes, skateboards and scooters on Grand Ave. With an aging, yet active, population there are more people walking and riding bikes than ever. Sidewalks and crosswalks must accommodate wheelchairs and walkers."-CDOT REVITALIZING MAIN STREET, INTERIM REPORT 2021

**GETTING TO PAONIA:** The nearest international airports are in Denver (4.5 hours) and Salt Lake City (5.5 hours), with regional airports located in Montrose (1 hour) and Grand Junction (1 hour 20 min).

Amtrak train stations are located in Glenwood Springs (1 hour 30 min) and Grand Junction (1 hour 15 minutes).\*

The shortest route to reach Paonia from I-70 or Roaring Fork Valley (Aspen, Snowmass Village, Basalt, Glenwood Springs, and Carbondale) to the north is by crossing McClure Pass (elevation 8,755 ft), which is occasionally closed for hours or days due to inclement weather, particularly in the winter. In late spring/early summer 2023, damage from a sinkhole caused Highway 133 north of Paonia to be closed for nearly two months, severely impacting tourism and commuting between the North Fork Valley and Roaring Fork Valley until the highway was repaired by Colorado Department of Transportation (CDOT). Following this incident, CDOT began a \$33.4 million slope stabilization project to reduce erosion and improve highway safety and functionality.<sup>2</sup> Alternate routes from Denver to Paonia are via Grand Junction or Gunnison, adding an additional 50 minutes to 1.5 hours of travel time.



<sup>1</sup> CDOT REVITALIZING MAIN STREET, INTERIM REPORT 2021

<sup>2</sup> CO 133 Paonia Slope Stabilization, Colorado Department of Transportation, accessed 12/31/2023.  
<https://www.codot.gov/projects/co133paoniagunnisonslope>

\*All travel times listed in the Transportation element are approximate.

From nearby cities, Carbondale and Delta, there are no regular public transit options available to reach Paonia, nor are there any taxis or commercial ride sharing services in Paonia or the surrounding areas. Travelers without a car can hitch, rideshare, or pay for a private ride to Delta or Glenwood Springs and then utilize the Bustang public bus service operated by CDOT, which travels along I-70 to and from Denver and between Grand Junction and Durango. Currently there are no known plans to expand Bustang service to the North Fork Valley. From Glenwood Springs or Carbondale travelers can also utilize the Roaring Fork Transportation Authority bus system to reach Aspen Airport.

**HEALTHCARE ACCESS:** Lack of regional and local public transportation makes it challenging to connect Paonia and the North Fork Valley to larger cities where hospitals are located. EMS ambulance services are provided by North Fork EMS, a local five-member board special district funded by a mill levy. The ambulance service is responsible for responding to all 9-1-1 calls in a 1,500-square-mile area over three counties as well as maintaining three stations in the region<sup>3</sup>. The nearest non-emergency healthcare clinic is in neighboring Hotchkiss (9 miles/17 minutes. This location does not provide 24 hrs services. The nearest hospital and emergency room with 24hr services is in Delta (26 miles/39 minutes), with more specialized care available in Montrose (50 miles/1 hours) and Grand Junction (71 miles/1 hour 20 min). Several private taxi services exist which accept insurance and Medicaid to pay for travel to healthcare visits. Health First Colorado (Colorado's Medicaid program) operates its own Med-Ride service available 24/7 for non-emergency healthcare visits. In addition, the nonprofit All Points Transit offers low-cost trips predominantly for seniors and disabled people (healthcare visits can be covered by Medicaid) and the North Fork Senior Connections nonprofit runs Neighborly Connections, a volunteer-based program to help seniors get to their healthcare visits.

**SCHOOL ACCESS:** Delta County Joint School District 50J buses students from Paonia to North Fork High School, the area's only public high school, located in Hotchkiss (11 miles/20 minutes from Paonia); and to the North Fork Montessori School, located in Crawford (16 miles/25 minutes) from Paonia). The Paonia K-8 school and the North Fork School of Integrated Studies are both located within walking distance of downtown Paonia.

**COMMUTING:** A significant portion of people employed within the Town of Paonia commute from outside of Town, and a significant portion of people who reside within Town limits commute to work elsewhere. This dynamic is due in part to relatively high housing costs paired with relatively low wages in the local economy and is addressed in greater detail in the 2023 Town of Paonia Housing Needs Assessment (source of the data in the chart below).<sup>4</sup>

Commuter Type	Source	Percentage of Workforce
Employed in ToP, live outside Town	U.S. Census	79%
Employed in Paonia CCD, live outside this area (U.S.	U.S. Census	53%

<sup>3</sup> North Fork EMS Policies <https://northforkems.com/board/>

<sup>4</sup> 2023 Town of Paonia Housing Needs Assessment and Housing Action Plan, Urban Rural Continuum. [https://townofpaonia.colorado.gov/sites/townofpaonia/files/documents/20231115\\_PaoniaHousingNeedsAssessmentandHousingActionPlan.pdf](https://townofpaonia.colorado.gov/sites/townofpaonia/files/documents/20231115_PaoniaHousingNeedsAssessmentandHousingActionPlan.pdf)

Census)		
Employed in Paonia area, live outside this area	2023 Employer Questionnaire from ToP Housing Needs Assessment by Urban Rural Continuum	20%
Live in Town of Paonia, employed outside Town	U.S. Census	77%
Live in Paonia CCD, employed outside this area	U.S. Census	71%

**STREETS & SIDEWALKS:** Paonia has four primary roads that run east to west and approximately 32 streets and alleyways that cross at least two of these longer thoroughfares from north to south. Collectively these equal approximately 22 miles of road, over 98% of which are asphalt roads,<sup>5</sup> some concrete paved roadways, and some single lane gravel roads (largely alleyways or short dead end branches).<sup>6</sup> Only two of the four east/west streets, “2nd” and “3rd,” cross the railroad tracks that separate about one third of the Town to the east, while two thirds, including the downtown, remain to the west of the tracks. The downtown street is “Grand Avenue,” not to be confused with “Main” which is one street to the west of the commercial and creative downtown core.

**BREAKOUT BOX** The Town maintains roads within its boundaries: the intersection of 4th and Grand to the north, intersection of Samuel Wade and Highway 133 to the west, the intersection of Mathews Lane and Niagara Ave, intersection of 1st St and Lamborn Mesa Rd, the intersection of Colorado Ave and Meadowbrook Blvd to the south, the intersection of 7th St and Black Bridge Rd to the east. The side streets between Highway 133 and the North Fork of the Gunnison River are the responsibilities of the County.

There are two main connection points from Town to Hwy 133: 4025 Road (also referred to as the “P” Road), which enters to the west of Town and becomes Third Street, and State Highway 187, which follows a southern direction from State Highway 133 and becomes Grand Avenue. Both of these roads utilize bridges that cross the North Fork of the Gunnison River. Access routes to the Town from the south include Matthew’s Lane from the southwest, 4100 Road from the south and Dry Gulch from the southeast.

According to the 2021 Asset Inventory, while there are some recent sections of newly paved concrete road, “most sections of Paonia asphalt roads exhibit moderate to severe surface wear and defects referred to as raveling and polishing, [while] virtually all sections of the roads exhibit some type of surface cracking. The **PASER** scale, which is a 1-10 rating system for road pavement condition, was used in asset evaluation which showed that only 4 major street sections were rated in “excellent” condition, 17 in “good” while 68 sections received “poor” or “fair” ratings and 11 section received “very poor” or “failing”.

<sup>5</sup> NOTE: The SGM Asset Inventory appears to have a typo and lists “2.35” miles of asphalt roads. However, a previous draft of the Paonia Master Plan lists 21.68 miles of roads. Assuming a typo, with a corrected number of 21.35 and adding the .24 miles also listed by SGM gives a total of 21.59 miles which is an acceptable comparison with the previous draft plan-which unfortunately did not contain a citation for its number of 21. 68.

<sup>6</sup> ASSET INVENTORY/CAPITAL IMPROVEMENT PLAN, SGM 2021 Section 2.1

According to the “Paonia in Motion” Parks, Recreation & Trails Master Plan there are 40 miles<sup>7</sup> of sidewalk area, while less than half of this area has sidewalks installed.<sup>8</sup> Much of the existing sidewalk infrastructure lacks curb ramps and or ends abruptly at the neighboring yard. By Town municipal code, “every owner or occupant of any premises within the Town having a sidewalk or walkway on or adjacent to the premises shall have the duty to keep the sidewalk clean of snow and ice.”<sup>9</sup> A sidewalk fee is currently assessed for all residents and businesses. Even with less than 50% of sidewalk areas paved, this fee does not cover annual maintenance needs. The current patchwork of sidewalk pavement is unnavigable for wheelchairs and dangerous for walking, performs poorly in heavy rain and under icy conditions, and is not designed to be copacetic with urban and street trees as they continue to grow.

*Revenue for the Town of Paonia’s Sidewalk Fund is generated by a \$3.00 per month sidewalk fee, approved in 2013, that is paid by in-town residents. The town’s Sidewalk Fund is designated for the repair and replacement of existing sidewalks within Paonia. This fee is set to expire in December 2024 unless voters approve a renewal/extension. \_ Paonia In Motion*

#### **BREAKOUT BOX: Characteristics of Complete Streets:**

- Sidewalks
- Bicycle lanes or wide, paved shoulders
- Shared use paths
- Safe and accessible transit stops
- Frequent and safe crossings for pedestrians, including median islands, accessible pedestrian signals, and curb extensions
- Identified wildlife crossings that connect with green corridors

**WALKABILITY & BIKEABILITY:** Like many towns in the West, the street system in Paonia was originally a series of dirt or gravel roads with horse access and then a common speed limit for cars and yield signs at key intersections. As roads have been paved, the traffic system has not formally evolved to control for speed or passthrough/commercial traffic routes. Neither has it formally incorporated other means of transportation such as biking or pedestrians. While surveys have shown that many people in Paonia ride their bikes to school,<sup>10</sup> to do errands or to social outings, or reach the Mount Jumbo trail system, there are no designated bike lanes on Paonia’s streets. Likewise there are no dedicated bike paths nor bike lanes to connect town residents to Big B’s or other businesses along Hwy 133, nor to Volunteer Park on Mathews Lane which is heavily used for youth sport leagues and other activities. There is no continuous system of sidewalks or routes for residents to walk downtown or for children and youth to walk to school.

In addition to repairing and maintaining sidewalks, walkability and bikeability can be enhanced by dedicating routes and building new pathways for these modes of transport. In particular, there is a prime opportunity to support measures that encourage biking and walking along 3rd Street while funneling non-residential vehicle traffic to 2nd Street. 3rd Street is almost entirely residential east of Onarga Avenue and is already heavily used by pedestrians and cyclists accessing the parks and schools, while 2nd Street is currently zoned commercial and light industrial from Main Street to Oak Avenue. At a Town of Paonia Board meeting in June 2023, citizens requested ToP reduce the speed limit while improving signage and

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<sup>7</sup> Several different numbers have been used for sidewalk mileage in Paonia in previous reports. This report chosed to cite the most recently published and adopted plan, the 2022 “Paonia in Motion Parks, Recreation & Trails Master Plan” which in turn provides the following citation *Data Source(s): ESRI ArcGIS; MTB Project; and 2022 Town of Paonia Budget*

<sup>8</sup> CDOT Revitalizing Main Streets Application 2022

<sup>9</sup> Paonia Municipal code (Ord. No. 2014-04, § 1, 1-13-2015)

<sup>10</sup> CDOT Revitalizing Main Streets Application 2022

enforcement for safety purposes, particularly on 3rd Street and Rio Grande Avenue near Apple Valley Park.<sup>11</sup> In addition, the Parks, Recreation & Trails Master Plan provides recommendations for a trail along Mathews Lane to improve safety and connectivity between Town and Volunteer Park. Clearly directing vehicular and non-motorized traffic along distinct, designated routes—supported by well-maintained sidewalks, and bike lanes, and trails; appropriate speed limits and signage,; and safe crossings—would improve safety and traffic flows through Town.

**AIRPORT:** The North Fork Valley airport is located 4 miles outside Paonia on Back River Road and is jointly owned by Delta County and the Town of Paonia. The airport currently services a low volume of local and recreational flights, with potential to offer connecting commercial flights to regional airports in the coming decade. The Town should work proactively with Delta County to understand the potential to develop the Airport as both an Enterprise account and as a source of tourism income for the area.

**RAILROAD:** The iconic coal train that runs through Paonia was inaugurated in 1902 as the North Fork Line of the Denver & Rio Grande Railroad. The route was built to service the coal industry, with the added benefit of serving the agricultural regions up and down the valley, including transport of fruit, cattle, and passengers.<sup>12</sup> What is now the North Fork Branch of the Union Pacific Railroad is still utilized to export coal from the West Elk Mine in Somerset. The North Fork Branch connects Somerset to the City of Delta, where the North Fork Branch ties into the Montrose Branch. The Montrose Branch runs between the City of Montrose and the City of Grand Junction. There is precedent for the utilization ....closure date....

#### **BREAKOUT BOX: Key Takeaways from the 2020 CDOT Main St Revitalization Interim Report**

- Strong perception of inadequate parking on Grand Ave
- Lack of awareness of alternate parking options (side streets, public lots, etc.)
- General support for more trees, flowers, green space, benches, bike racks, and art in the downtown economic corridor<sup>13</sup>

**PARKING & SIGNAGE:** A community survey from the 2020 CDOT-funded Main Street Revitalization study identified a strong perception of inadequate parking on Grand Ave coupled with a lack of awareness of alternate parking options (side streets, public lots, etc.) as one of the main limitations of the downtown business and creative district.

ACTION ITEMS	TIMING
<b>ACTION TRANSPORT-1:</b> Apply for funding to assess and plan for safe streets for all. Work to increase alternative transit activity to every day destinations and ensure that all residents have a safe 10 minute walk to a park or green space.	<b>1-2yrs</b>

<sup>11</sup> June 13, 2023 Town of Paonia Agenda Packet–Regular Town Board Meeting Packet  
file:///C:/Users/Marissa/Downloads/AgendaPacket-Regular%20Town%20Board%20Meeting-June%2013,%202023%206.30%20PM%20(1).pdf

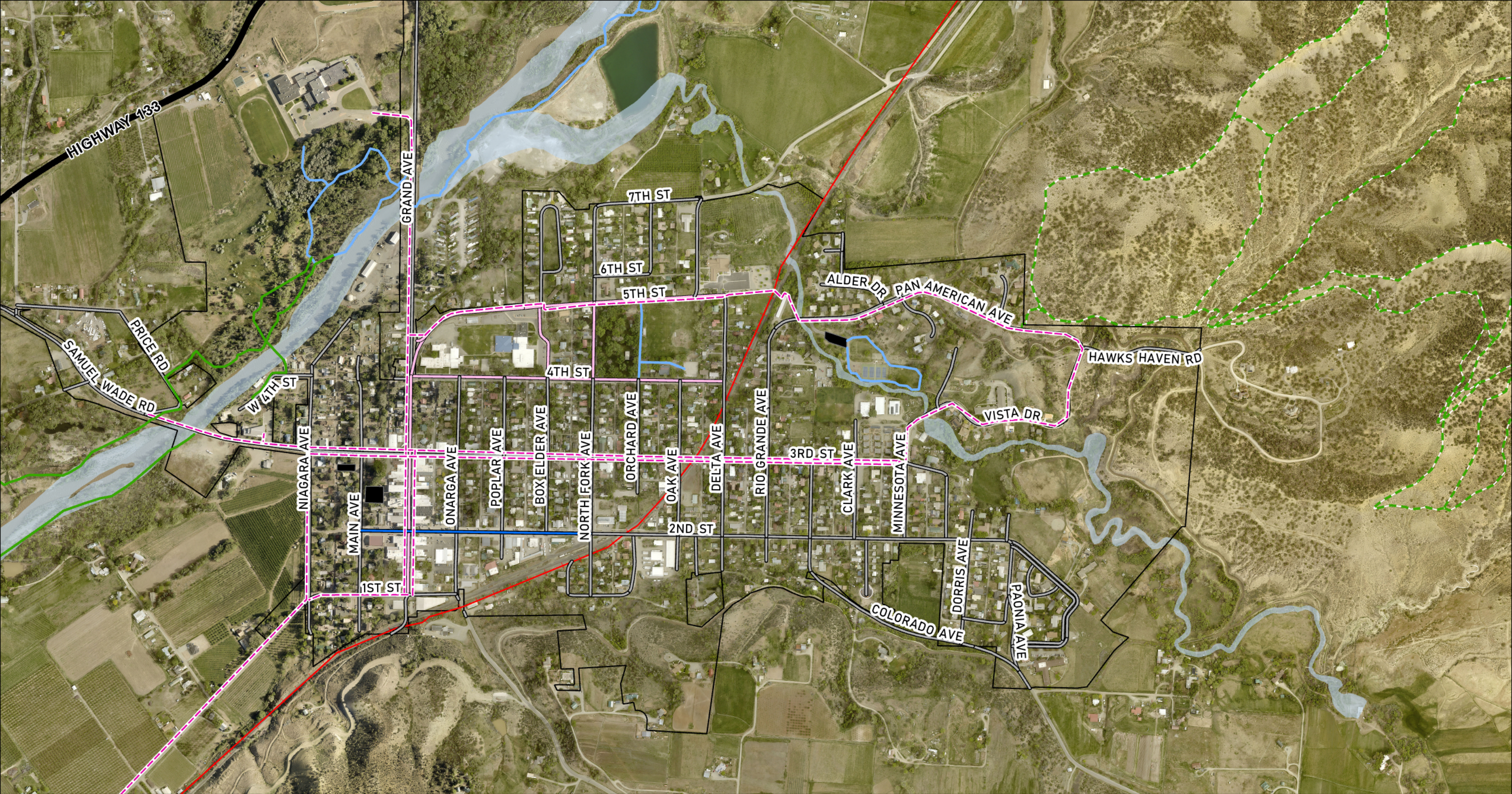
<sup>12</sup> DRGW.net | North Fork Branch. (2024). Drgw.net. <https://www.drgw.net/info/NorthForkBranch>

<sup>13</sup> Brett, E. (n.d.). NOVEMBER 3, 2020 SUBMITTED CDOT REVITALIZING MAIN STREET INTERIM REPORT TOWN OF PAONIA. Retrieved April 10, 2024, from [https://townofpaonia.colorado.gov/sites/townofpaonia/files/2020-12/cdot\\_interim\\_summary\\_v1.0\\_0.pdf](https://townofpaonia.colorado.gov/sites/townofpaonia/files/2020-12/cdot_interim_summary_v1.0_0.pdf)

<b>ACTION TRANSPORT-2:</b> Conduct a rate study for sidewalk fees.	<b>1-2yrs</b>
<b>ACTION TRANSPORT-3:</b> Establish an annual budget to fund street and sidewalk maintenance and additions in alignment with safe routes to schools and park access. Establish this in conjunction with the Delta County paving plan and include funds for the repairs and construction of curb and gutter and sidewalks.	<b>3-5yrs</b>
<b>ACTION TRANSPORT-4:</b> Identify and designate routes for motorized commercial and passthrough traffic on East/West streets. Develop crossing infrastructure along these routes.	<b>1-2yrs</b>
<b>ACTION TRANSPORT-5:</b> Update the Town's standards and specifications for streets, sidewalks, parking layout, excavation and others. Promote materials that perform well with ice and moisture and allow for street tree growth. Make ADA requirements clear.	<b>1-2yrs</b>
<b>ACTION TRANSPORT-6:</b> Replace yield signs with stop signs and provide speed limit signage along 2nd and 3rd Streets.	<b>3-5yrs</b>
<b>ACTION TRANSPORT-7:</b> Collaborate with public and private landowners to facilitate easements for expansion of non-motorized connections and trail systems. Explore the creation of bike paths connecting the Town of Paonia with Big B's and Volunteer Park.	<b>Ongoing</b>
<b>ACTION TRANSPORT-8:</b> Improve signage for public parking areas in the Downtown Core. Work with downtown businesses and Creative District to educate employees and the public about parking, walking and biking options.	<b>1-2yrs</b>
<b>ACTION TRANSPORT-9:</b> Revisit parking regulations to allow for creative and flexible solutions downtown. Consider reestablishing the parking fund. Reexamine landscaping requirements for parking lots.	<b>1-2yrs</b>
<b>ACTION TRANSPORT-10:</b> Increase shade/tree canopy, benches, bike parking and public art in downtown to promote walkability and pedestrian comfort.	<b>Ongoing</b>
<b>ACTION TRANSPORT-11:</b> Work with stakeholders to begin exploration of future rail or rails-to-trails conversion of existing railroad tracks.	<b>3-5yrs</b>

## PARKS, RECREATION & TRAILS

ACTION ITEMS	TIMING
ACTION REC-1: Implement "Paonia in Motion" Parks, Recreation and Trails Master Plan, prioritizing collaboration with partners to bring resources and capacity.	Ongoing
ACTION REC-2: Formalize a volunteer Community Action Team to support implementation of PRTMP as called for in the Plan.	Short-term (1-2 yrs)
ACTION REC-3: Establish a dedicated source of funding for the operation, maintenance, and improvement of Paonia's parks, recreation amenities, trails, and trees. Also consider grants, in-kind contributions from partners, and volunteer labor.	Ongoing
ACTION REC-4: Collaborate with and support relevant nonprofit and government stakeholders to improve access to river, riparian corridor, and wildlands.	Ongoing
ACTION REC-5: Facilitate easements and other agreements to expand public access to river, riparian corridor and wildlands.	
ACTION REC-6: Work with partners to develop a plan to expand trails.	Long-term (5+ yrs)
ACTION REC-7: Improve accessibility of Town Park by designating handicapped parking spaces and developing ADA compliant pathways.	Short-term (1-2 yrs)



## INTERIM AD DRAFT

This is the proof of your ad scheduled to run in **Delta County Independent** on the dates indicated below. If changes are needed, please contact us prior to deadline at **(970) 249-3444**.

Notice ID: Ovx9lhoQ48o7iQFL3Jn5 | **Proof Updated: Apr. 05, 2024 at 06:21am MDT**  
Notice Name: Transporation Element Presentation

See Proof on Next Page

**This is not an invoice. Below is an estimated price, and it is subject to change. You will receive an invoice with the final price upon invoice creation by the publisher.**

**FILER**

Samira Vetter  
samirav@townofpaonia.com  
(970) 527-4101

**FILING FOR**

Delta County Independent

**Columns Wide:** 1 **Ad Class:** Legals

**Total Column Inches:** 4.95

**Number of Lines:** 46

04/11/2024: Custom	16.56
04/18/2024: Custom	11.96
04/25/2024: Custom	11.96

Subtotal	\$40.48
Tax	\$0.00
Processing Fee	\$0.00
<b>Total</b>	<b>\$40.48</b>

**TOWN OF PAONIA, COLORADO  
NOTICE OF PUBLIC HEARING**

NOTICE is hereby given that the Town of Paonia Planning Commission will hold a Public Hearing at 5:30 pm on Wednesday, May 1, 2024, at the Paonia Town Hall, 214 Grand Avenue, Paonia, CO 81428.

The purpose of the Public Hearing will be the presentation of the draft element portion of the Comprehensive Plan – Transportation; Parks & Recreation Trails and Urban Forest. The Planning Commission will discuss and give and receive feedback on the draft Plan but will not take any formal action concerning the Plan's potential adoption at the meeting scheduled for May 1, 2024. The draft will be available for inspection by the public at the Town Hall at 214 Grand Avenue Paonia CO 81428 and on the Town of Paonia website beginning April 15, 2024. Any person may appear at the Public Hearing and be heard regarding the matters under consideration. For further information concerning the Public Hearing, please contact the Town Clerk at 970-527-4101 during regular business hours.

Dated the 5th day of April, 2024.

TOWN OF PAONIA, COLORADO

Samira M Vetter  
Town Clerk

Published Thursday, April 11, 18, 25, 2024



**TOWN OF PAONIA  
PLANNING COMMISSION  
STAFF REPORT**

<b>AGENDA ITEM:</b>	PH - Consideration of a recommendation to the Board of Trustees, of a variance for the parking minimums of the PMC for the Learning Council, for the Use of the Hearth at the Property located at 138 Grand Avenue.
<b>SUBMITTED BY:</b>	Stefen Wynn, Town Administrator
<b>DATE:</b>	4.26.2024
<b>BACKGROUND:</b>	<p>After reviewing the application and during the course of research, the Town Administrator found disparate information and further investigation is necessary. The use of an assembly space such as the Hearth section of the building may be permissible as a "Commercial recreational," use, but the Town doesn't have record of an approved Special Review for that use.</p> <p>Inclusion of this item on the Planning Commission may be premature, as a Special Review for the actual use may be necessary.</p> <p>A new public hearing and noticing period will be required, and additional information will need to be reviewed. The Learning Council currently has two building permits: 2022-06 Commercial Remodel; and 2023-07 New PV System.</p> <p>Parking Requirements for the mix of uses are: Assembly Space (Hearth), 1,063 sq. ft. TBD depending on number of seats - more information needed from the applicant, per §16-6-10; and 2.63 spaces for the ice cream shop, classified as a restaurant.</p> <p>§16-6-10 (a) states, "the following number of off-street parking spaces shall be provided with the construction, addition, or change of use, which requires a SPECIAL REVIEW to any of the buildings, and uses listed in Table 16-5 below".</p>
<b>BUDGET:</b>	N/A
<b>RECOMMENDATION:</b>	<p><b>RECOMMENDED MOTION:</b></p> <p>I move to table the variance request pending further investigation between the Town and the applicant.</p>
<b>ATTACHMENT:</b>	<p>Attachment A: Special Review/Variance Application 138 Grand Avenue</p> <p>Attachment B: 138 Grand Avenue 2022-06 12-16-2022 (Inspection Report)</p>



## SPECIAL REVIEW/VARIANCE APPLICATION

Name The Learning Counsel Application Date 10/23/2023  
Property Address 138 J Grand Ave ZBOA Hearing Date \_\_\_\_\_  
Telephone Number 970-433-5882 Council Hearing Date \_\_\_\_\_

11.01 Intent. Each established zoning district is intended for a specific type or category of land use (e.g., single family dwelling in an R-1 district). However, there are certain uses, which may or may not be appropriate in a district depending on the situation. For example, the location, nature of the proposed use, character of the surrounding area, traffic capacities of adjacent streets, and potential environmental effects all may dictate that the circumstances of the development should be individually reviewed. The special review process is established to provide for these specific uses without establishing numerous separate zoning classifications. It is the intent of this chapter to provide a review of such uses so that the community is assured that the proposed uses are compatible with the location and surrounding land uses.

11.02: When Allowed. Within each zoning district, certain land uses are permitted by right, by special review or prohibited. Special review uses may be permitted in designated districts upon review by the Planning and Zoning Commission and approval by the Town Board.

11.03: Site Plan and Supporting Documents. There shall be filed with each special review application a site plan drawn to scale and an appropriate number of copies as determined by the Town Manager. The site plan shall be drawn in black ink on Mylar. Following approval by the Town Board the applicant shall submit a reproducible copy of the original site plan to the Town for the Town's permanent records.

### The special review application shall include the following:

- ☐ The site plan showing the location of all buildings, structures and other improvements to be placed on the real property. A building envelope may be used in lieu of showing the exact building or structure location to allow for minor variations in the location. *Site plan*
- ☐ A legal description of the property, which may require a survey. *Blue print*
- ☐ A list of the names and addresses of all property owners within 200 ft. of the property.
- ☐ All off-street parking and loading areas. *Site plan*
- ☐ The location of all ways for ingress and egress to all buildings, and parking areas. *Site plan*
- ☐ Service and refuse collection areas. *Site plan*
- ☐ Major screening proposals.
- ☐ The size, shape, height and character of all signs. *site plan Attachment (Sign application)*
- ☐ The area and location of all open space and recreation areas. *site plan*
- ☐ The location and type of outdoor lighting. *site plan attachments*
- ☐ The character and type of landscaping to be provided. The landscaping shall be indicated in tabular form showing the type of plant material, minimum size and quantity. The approximate location of landscaping shall be indicated on the site plan. *Site plan*
- ☐ The anticipated timetable for completion. If the project is to be completed in phases, then the data for completion of each phase shall be indicated.

- ☒ All owners and lien-holders of the property shall sign the following agreement that will be placed on the original special review site plan.
- ☐ Home Owner's association Written plan approval (if applicable)

The undersigned agree that the real property described on the site plan shall be developed only in accordance with the approved special review site plan and other provisions of the zoning regulations of the Town of Paonia.

## I. Site Plan

Any application for Special Review/Variance that includes a new structure or improvement to an existing structure will require a site plan. Plans may be hand drawn, but must be clearly written with accurate measurements indicated. The Site Plan may be submitted as two separate drawings or one drawing with an overlay.

## II. Project Summary

Please answer only the questions that apply to your Special Review/Variance request. Any additional information, which would be beneficial in the consideration, may be noted in the "Comments" section.

- a. Reason for Special Review/Variance Parking Requirements exceed what we have
- b. Current Zoning of Property C-1
- c. What land boundary changes are necessary? Parking variance
- d. What addition/changes to existing buildings/structures will be made? Reference Building Permit 403900
- e. What new buildings/structures will be constructed? Reference Building Permit 403900
- f. What additions/changes in utilities will be necessary? Include water, sewer, gas, and electric. Reference Building Permit 403900
- g. Will property have Commercial/Private or Public Use? All of the above uses
- h. Anticipated traffic flow and volume? Regularly less than 20 for special events 2-8 x 3 per year up to 200 people.

- i. Detail the Safety and Disabled Access accommodations? RAMP Rear  
Entrance, 1 ADA Bathroom,
- j. Detail the possible environmental impact; such as noise, lighting glare, pollutants, etc. NA

Comments: \_\_\_\_\_

### III. Public Notice Requirements

All property owners within 200 feet of the property being reviewed shall be notified via certified mail of a public hearing whereby the Zoning Board of Adjustments shall consider this application. It is incumbent upon the applicant to request the names of the property owners from the Delta County GIS Department (970-874-2119). Please have the GIS e-mail the information to [StefenW@townofpaonia.com](mailto:StefenW@townofpaonia.com). Applications for Special Review shall be filed at least 30 days in advance of the meeting at which they are to be considered by the Zoning Board of Adjustments. Incomplete applications shall result in denial of application acceptance and returned for completion, consequentially delaying hearings.

### IV. Acknowledgement to Pay Fees

This application must be completed and a fee of **\$250.00** is assessed to include preliminary costs of administrative services and initial correspondence. Additional charges will be invoiced for, publication and certified mailings to property owners within 200 feet of said property.

**Payment must accompany this application.**

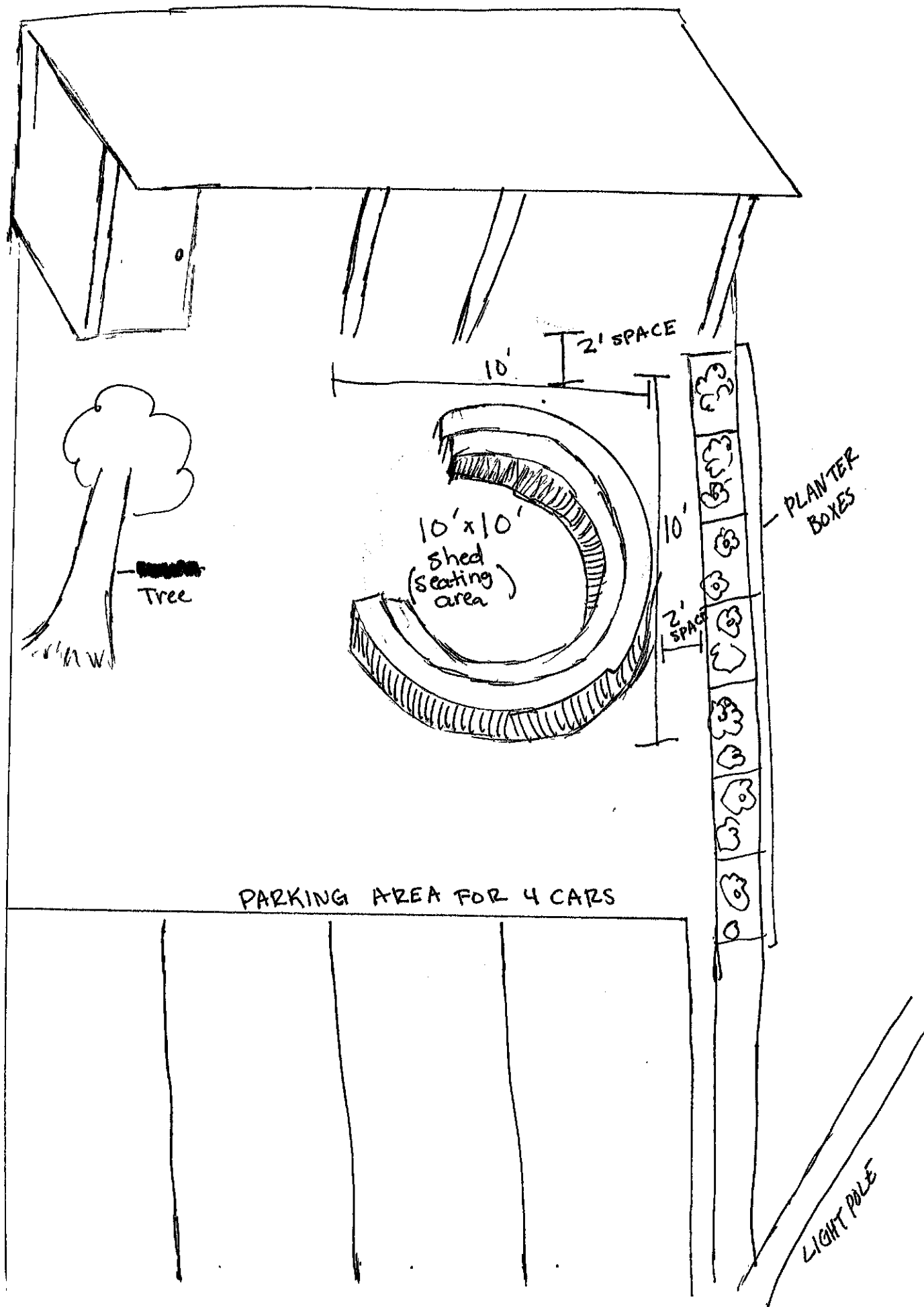
**FEES PAID HEREUNDER ARE NON-REFUNDABLE UPON SIGNING**

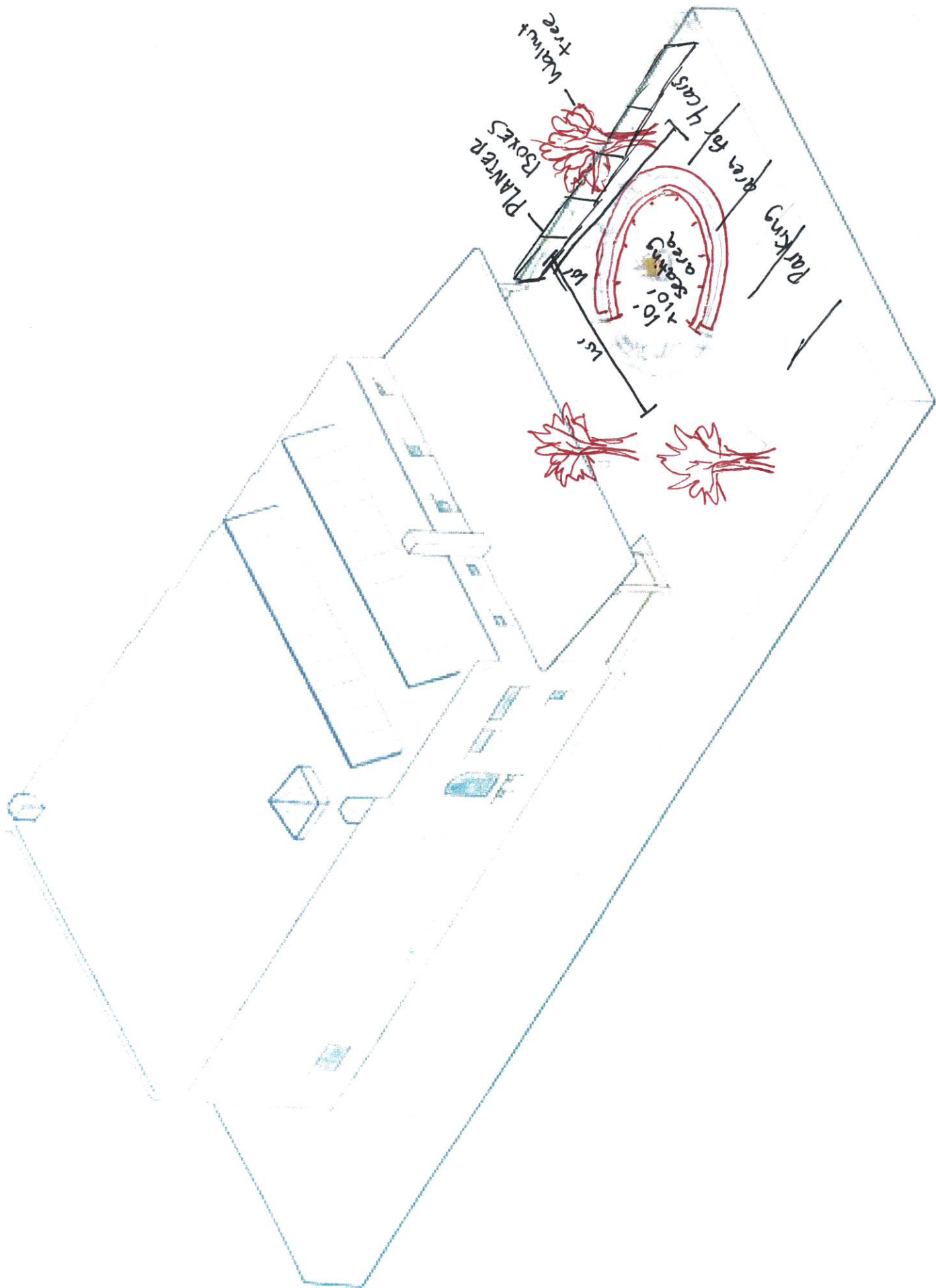
**By signing below, I acknowledge that I will be billed for any overages of costs incurred for this Special Review/Variance. I am aware that upon acceptance of the Special Review/Variance by the Planning and Zoning Commission, a building permit must be applied and approved by the Building Inspector, if applicable.**

SIGNED Alicia Michelsen

PRINTED NAME Alicia Michelsen DATE: 10/30/2023

Clerks Acceptance \_\_\_\_\_ DATE \_\_\_\_\_



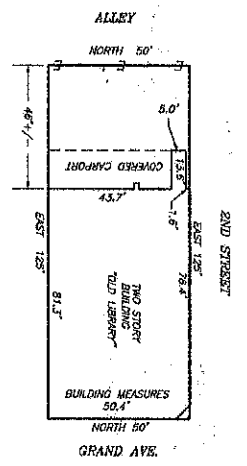


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FOR CODE  
COMPLIANCE

# IMPROVEMENT LOCATION CERTIFICATE

THIS IS NOT A SURVEY

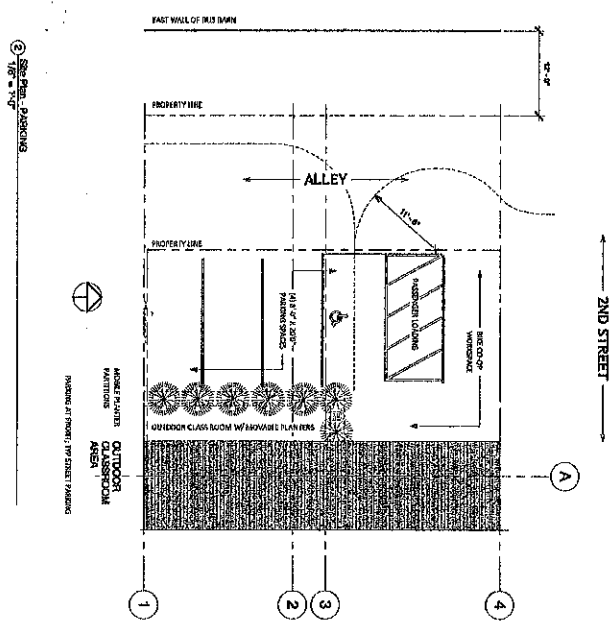
BOBROWER(S): TOM D. AND SUSAN G. COBBLE  
 ORDERED BY: RE/MAX WEST  
 PROPERTY ADDRESS: 138 GRAND AVE. PAONIA  
 GENERAL LOCATION: PAONIA  
 DATE: APRIL 27, 2007



- TYPICAL LEGEND**
- ① Road (as with map)
  - ② Boundary
  - ③ Boundary (dashed)
  - ④ Building
  - ⑤ Building (dashed)
  - ⑥ Building (dashed)
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- LEGAL DESCRIPTION:**  
 LOT 19 AND 20 IN BLOCK 2 OF THE ORIGINAL TOWN OF PAONIA,  
 COLORADO  
 DEER COUNTY,  
 STATE OF COLORADO.

**DISCLAIMER:** BY ORDER AND COMPANY PROFESSIONAL LAND SURVEYING INC. P.O. BOX 16582,  
 408 GRAND AVENUE, PAONIA, COLORADO 81428 (707)587-4800 FAX (707)587-4802  
 I hereby certify that this improvement location certificate was prepared solely for  
 the use of the client and that it is not to be relied upon for any other purpose.  
 I further certify that the improvements on the above described parcels on the 27th day of  
 April, 2007, existing as shown above, that there are no other improvements on the  
 above described parcels on the 27th day of April, 2007, existing as shown above,  
 and that there is no apparent evidence of any easement existing on the parcel  
 except as noted.

**W.C. Moore and Company**  
 Professional Land Surveying Inc.  
 1095 LIZARDSON APRIL 27, 2007  
 DRAWN BY: JTC & R/W  
 FIELD: JTC & R/W  
 PROFESSIONAL LAND SURVEYOR COLORADO 58878



② SEE PLAN, PARAGRAPHS  
 16 & 17



STUDIO MM  
 138 GRAND AVE. SUITE 100  
 PAONIA, CO 81428  
 (707) 587-4800  
 www.studiomm.com

**NOTES:**  
 1. This certificate is based on the information provided by the client and is not a survey.  
 2. The client is responsible for the accuracy of the information provided.  
 3. This certificate is not to be used for any other purpose.  
 4. The client is responsible for the accuracy of the information provided.  
 5. This certificate is not to be used for any other purpose.

## THE HEARTH - RENOVATION

138 GRAND AVE, PAONIA, CO  
 PERMIT SET

L1.0  
 SITE PLAN

10/16/2002 10:00:00 AM  
 01/16/2002 10:00:00 AM

## 05/18/2022 5:25:39 PM

## 26



Any questions regarding the Value of the Service or your liability risk to be covered with the Designer before construction, any construction, intermediate or final, coordination to be immediately brought to the attention of the Designer before resuming work. Failure to notify Value of the Service regarding such issues within the 30-day period may constitute a waiver of the Designer's responsibility. Changes made to the original documents without the consent of the Designer will not be considered.

The fee schedule displayed, your total dimensions, Contract Designer's name, information provided.

THE HEARTH - RENOVATION  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

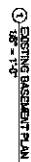
Project number	Project Name
Date	May 12, 2008
Drawn by	Architect
Checked by	Engineer

**A1.0**  
**EXISTING**  
**PLANS**

Scale: 1/8" = 1'-0"

Notes: Refer to Notes 1 through 10 on Drawing A1.0.

DATE: 10-10-2010



REVIEWED  
FOR CODE  
COMPLIANCE

05/16/2022 5:55:29 PM



**NOTES**  
Any questions or concerns should be directed to the architect or engineer. The architect and engineer are not responsible for the construction of the project. The contractor is responsible for obtaining all necessary permits and for ensuring that the project complies with all applicable codes and regulations. The architect and engineer are not responsible for the construction of the project.

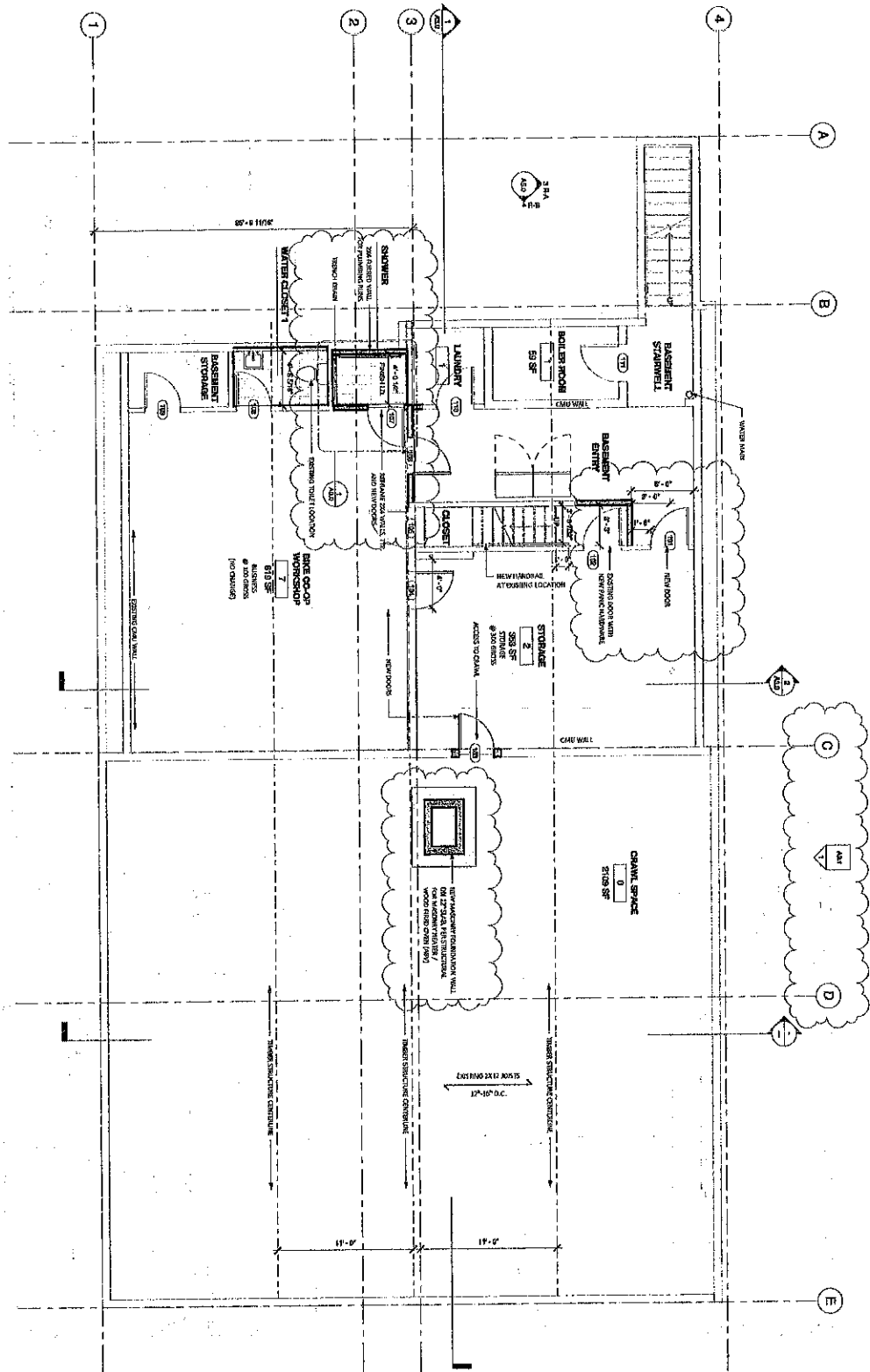
**REVISIONS**

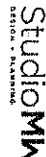
NO.	DATE	DESCRIPTION
1	05/16/2022	ISSUED FOR PERMIT

**THE HEARTH - RENOVATION**  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

Project Name	138 GRAND AVE, PAONIA, CO
Client	THE HEARTH
Architect	STUDIO MM
Engineer	STUDIO MM

**A1.1**  
**PROPOSED**  
**BASEMENT**  
1/8" = 1'-0"  
DATE: 05/16/2022 02:02:11 PM





www.stevens.edu  
135 Grand Ave., P.O. Box 7087  
Pawnee, CO 80655  
303-633-4022  
Copyright © 2006, All Rights Reserved.

[illegible]

## REFERENCES

THE HEARTH - RENOVATION  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

## A1.2

**PROPOSED  
FIRST FLOOR**

Address: Hotel Astoria, 17 Portland Ave, Astoria, OR 97103

REVIEWED  
FOR CODE  
COMPLIANCE

05/10/2022 5:05:30 PM



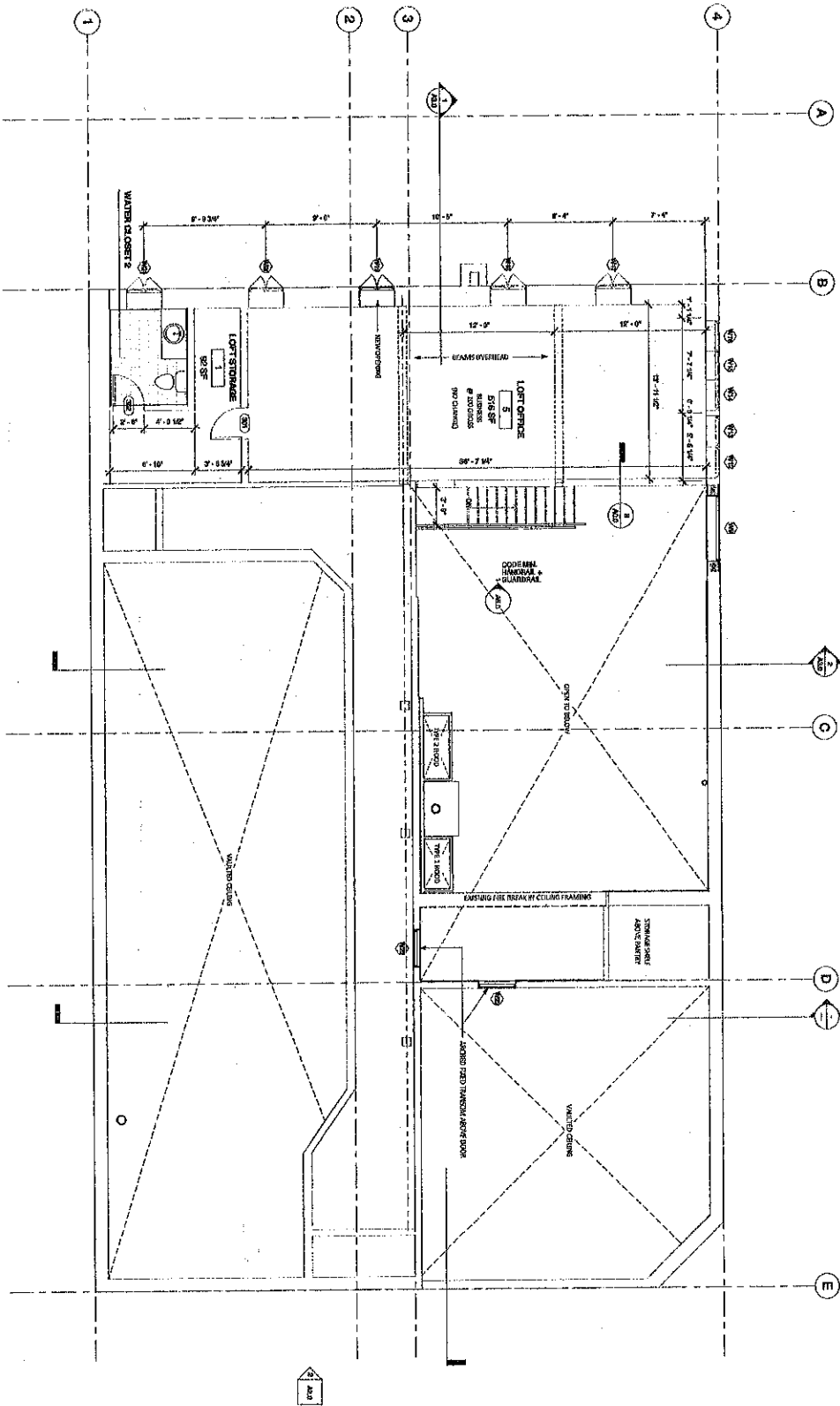
NOTES:  
1. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC) as adopted by the City of Paonia, Colorado.  
2. The owner is responsible for obtaining all necessary permits and approvals from the appropriate authorities.  
3. The contractor is responsible for obtaining all necessary permits and approvals from the appropriate authorities.  
4. The contractor is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

PERMITS:

THE HEARTH - RENOVATION  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

Prepared by: [Name]  
Checked by: [Name]  
Date: 05/10/2022  
Scale: 1/8" = 1'-0"

PROPOSED  
LOFT FLOOR  
A1.3  
1/8" = 1'-0"  
05/10/2022 5:05:30 PM



REVIEWED  
FOR CODE  
COMPLIANCE

DATE: 02/02/2023 2:25:40 PM



NOTES:  
1. All construction shall conform to the latest edition of the International Building Code (IBC) and the International Residential Code (IRC) as adopted by the State of Colorado.  
2. All construction shall conform to the latest edition of the Colorado Building Code (CBC) as adopted by the State of Colorado.  
3. All construction shall conform to the latest edition of the Colorado Fire Code (CFC) as adopted by the State of Colorado.  
4. All construction shall conform to the latest edition of the Colorado Electrical Code (CEC) as adopted by the State of Colorado.  
5. All construction shall conform to the latest edition of the Colorado Mechanical Code (CMC) as adopted by the State of Colorado.  
6. All construction shall conform to the latest edition of the Colorado Plumbing Code (CPC) as adopted by the State of Colorado.  
7. All construction shall conform to the latest edition of the Colorado Energy Code (CEC) as adopted by the State of Colorado.  
8. All construction shall conform to the latest edition of the Colorado Accessibility Code (CAC) as adopted by the State of Colorado.  
9. All construction shall conform to the latest edition of the Colorado Environmental Code (CEC) as adopted by the State of Colorado.  
10. All construction shall conform to the latest edition of the Colorado Safety Code (CSC) as adopted by the State of Colorado.

REVISIONS:

# THE HEARTH - RENOVATION

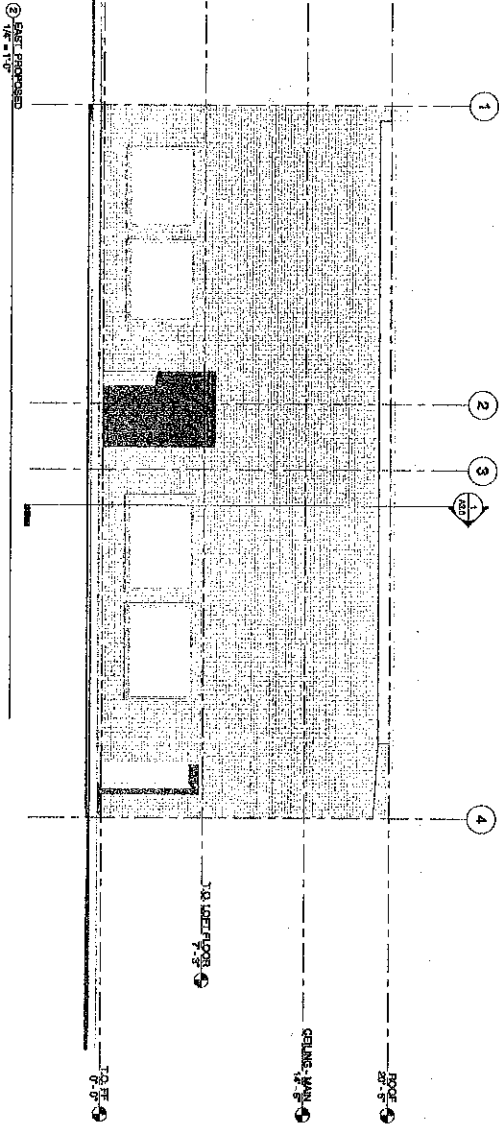
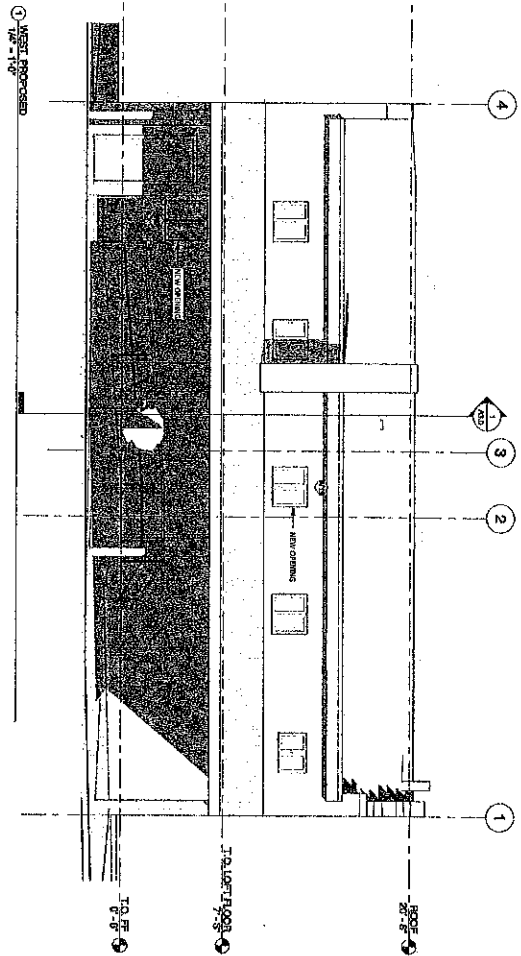
138 GRAND AVE, PAONIA, CO

## PERMIT SET

Project Name: THE HEARTH - RENOVATION  
Date: May 12, 2022  
Submitted By: [Signature]  
Checked By: [Signature]  
Drawn By: [Signature]

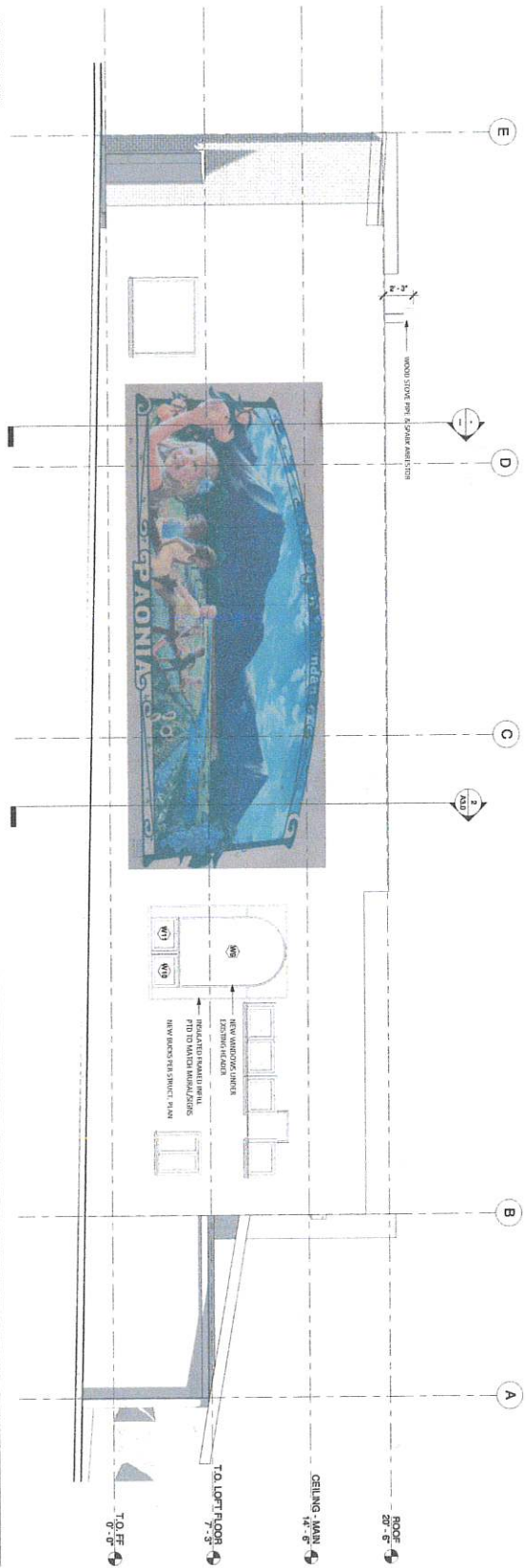
A2.0  
PROPOSED  
ELEVATIONS

Sheet: 1 of 1  
Date: 02/02/2023 2:25:40 PM



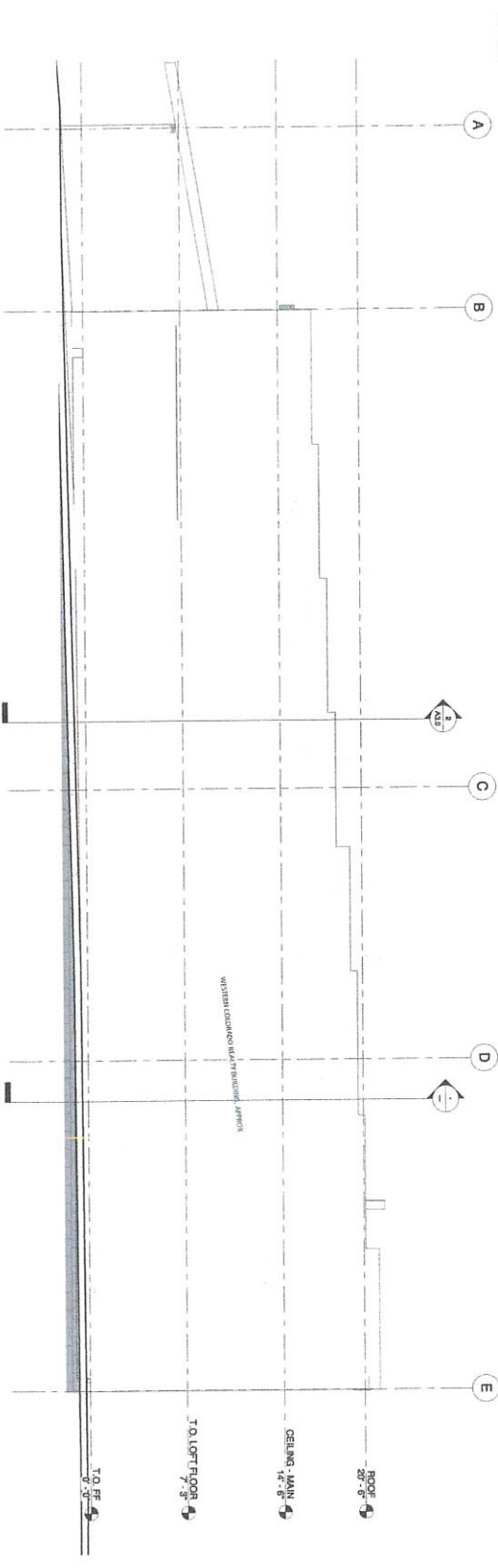
REVIEWED  
FOR CODE  
COMPLIANCE

05/16/2022 5:53:40 PM



**NOTES**  
Any conditions or specifications are to be confirmed by the contractor prior to construction. The contractor is responsible for obtaining all necessary permits and for ensuring that the construction complies with all applicable codes and regulations. The contractor is also responsible for protecting existing conditions and for restoring the site to its original condition after construction is complete.

**REVISIONS:**



**THE HEARTH - RENOVATION**  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

**A2.1**  
**PROPOSED ELEVATIONS**  
Project Number: 138 Grand Ave, Paonia, CO 81450  
Drawn By: [Name]  
Checked By: [Name]  
Date: 05/17/2022  
Scale: 1/4" = 1'-0"

2 SOUTH PROPOSED  
1/4" = 1'-0"

REVIEWED  
FOR CODE  
COMPLIANCE

04/18/2023 3:25:43 PM



Any questions, please call the designer of the drawing. The designer is responsible for the accuracy of the drawing. The designer is not responsible for the accuracy of the information provided by the client. The designer is not responsible for the accuracy of the information provided by the client. The designer is not responsible for the accuracy of the information provided by the client.

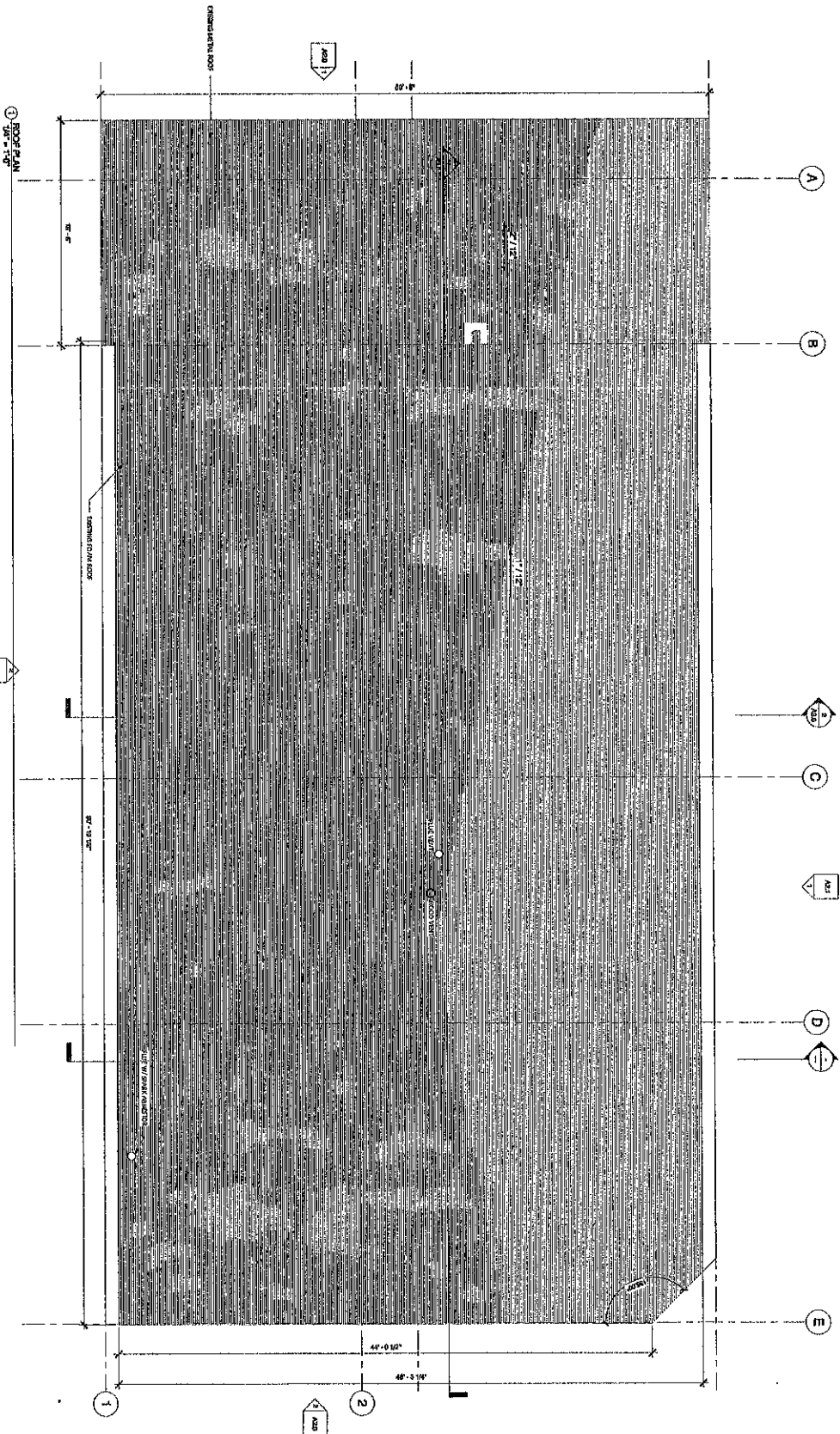
#### REVISIONS

**THE HEARTH - RENOVATION**  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

Project number: 138 Grand Ave  
Date: May 17, 2023  
Drawn by: A. J. J. J.  
Checked: A. J. J. J.

**A1.5**  
**ROOF PLAN**

Scale: 1/4" = 1'-0"  
Date: 04/18/2023 3:25:43 PM





05/18/2022 5:25:39 PM



202 Grand Ave. 1<sup>st</sup> Fl., Box 1007  
 Portland, OR 97208  
 503-255-4007  
 camp@trentmccormick.com

with the Developer before installation. Any  
Developer's instructions to that  
effect will be immediately brought to the  
attention of the Publisher before any further

Do not include questions, lists, feedback, drawings, or other material in answers.

REVIEWS:

ON

AT  
a, CC

EN  
PAO  
ET

H  
AV  
RMI

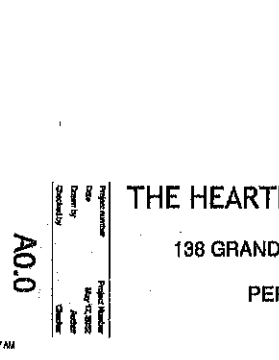
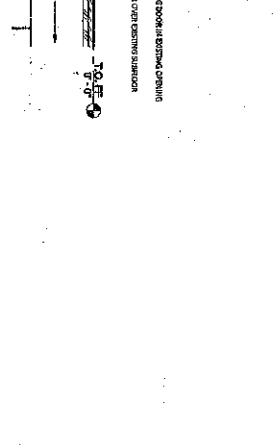
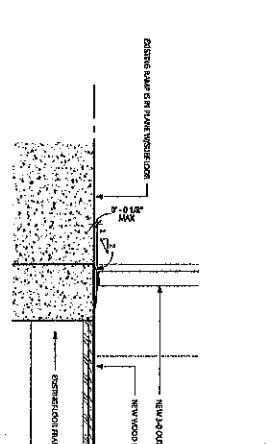
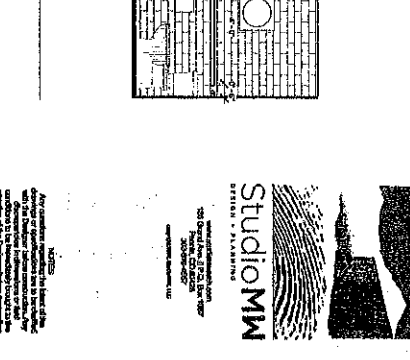
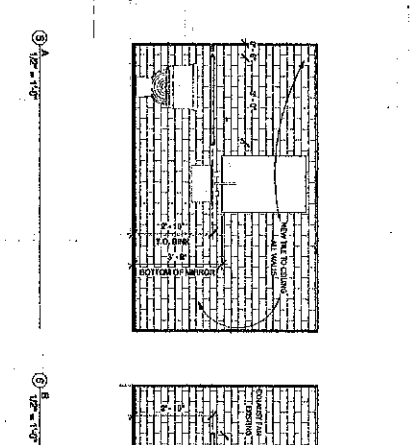
EA  
GRA

HE

Project number	Project Number
Date	May 12, 2022

A0.0

## & DETAILS

[illegible]

Project name	Project Number
Date	May 14, 2002
Drawn by	Author
Checked by	Checker

**AA.0.0**

**GENERAL INFO  
& DETAILS**

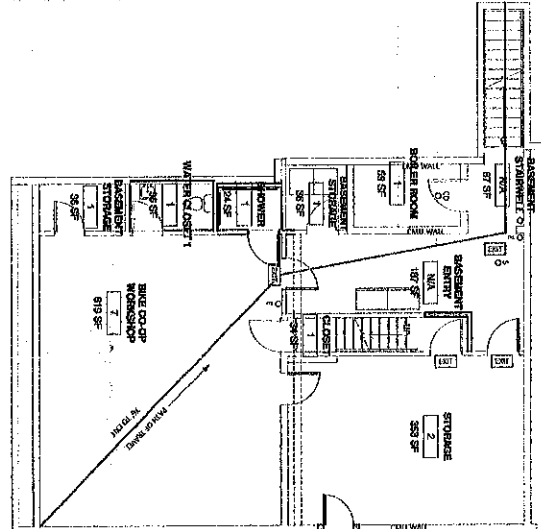
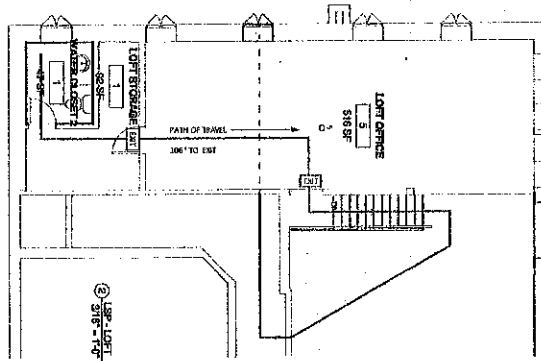
Scale	As indicated
-------	--------------

Notes: Half models if provided @ 50% or 75% or 100%

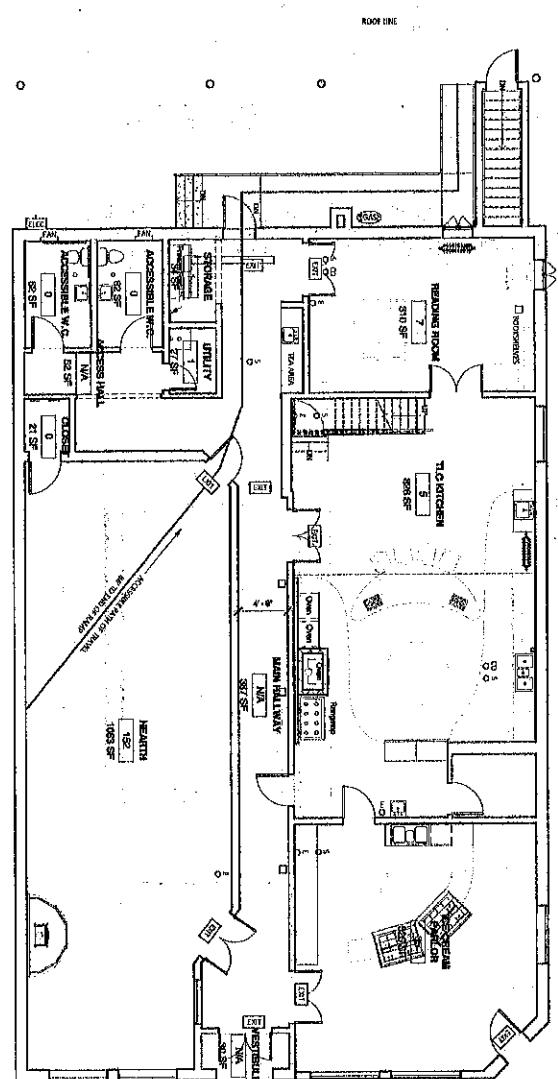
PR 07/0027 09/01/02

REVIEWED  
FOR CODE  
COMPLIANCE

09/16/2022 5:05:28 PM



1st FLOOR - 1st



1st FLOOR - 1st

- LEGEND:**
- FIRE EXTINGUISHER
  - CARBON MONOXIDE DETECTOR
  - ILLUMINATED EXIT SIGN
  - UNINSURED
  - EXISTING
  - OCCUPANCY FOOTING

**AO.1**

**LIFE SAFETY PLANS**

6/17/2022 10:46:54 AM

**THE HEARTH - RENOVATION**

138 GRAND AVE, PAONIA, CO

**PERMIT SET**

NOTES:

1. All work shall be done in accordance with the City of Paonia Building Code and the International Building Code, 2018 Edition, as amended.

2. The owner shall be responsible for obtaining all necessary permits and approvals from the City of Paonia.

3. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Paonia.

4. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Paonia.

5. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Paonia.

**StudioMM**

DESIGN + PLANNING

138 GRAND AVE, 1ST FLOOR, PAONIA, CO 80651

781-234-0877

www.studiomm.com



Wesley J. Richardson, Jr.  
156 Grand Ave., P.O. Box 1097  
Pomona, CA 91768  
714/869-4507  
wjr@jw2002.com, wjr@jw2002.com, USA

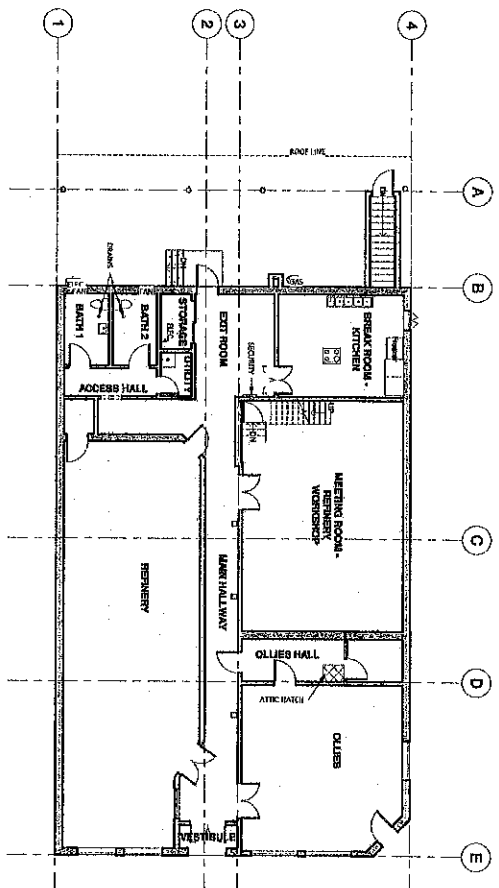
Any questions regarding the scope of the drawing or specification can be directed to the Designer before construction. Any discrepancies in the drawing or specification are to be immediately brought to the attention of the Designer before proceeding with work. Failure to notify Designer of discrepancies could result in the Designer not being responsible for the work. Designer shall not be responsible for the work. Designer shall not be responsible for the work.

THE HEARTH - RENOVATION  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

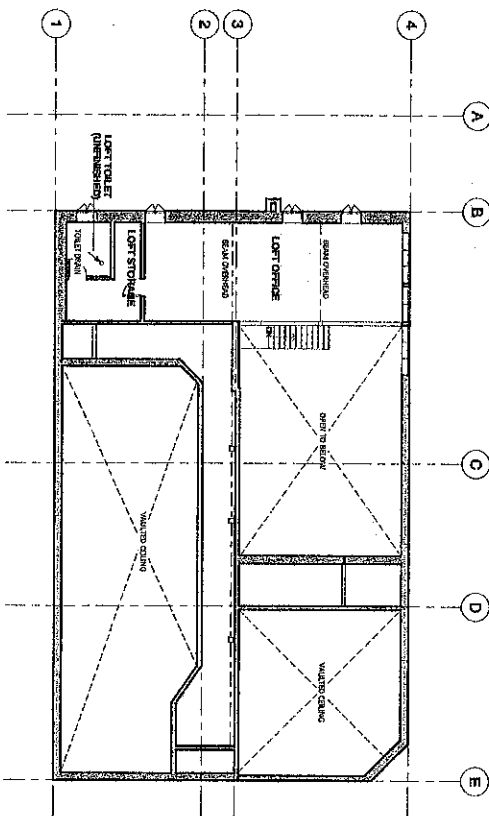
Project number	Project Name
Date	May 17, 2000
Drawn by	Author
Checked by	Checker

**A1.0**  
**EXISTING**  
**PLANS**

Grade	$1/R^2 = T^2 Q^2$
Notes: $H_{\text{eff}}$ equals 0 if produced by SOFC and $\pi/2$ otherwise	



② EXISTING FIRST FLOOR PLAN  
1/8" = 1'-0"



EXISTING LOFT PLAN  
1/8" = 1'-0"



**REVISIONS:**

Project number	Project Name
Date	May 17, 2022
Drawn by	Author
Checked by	Checker

# A1.1

## PROPOSED BASEMENT

Scale 1/4" = 1'-0"

Sheet No. 1 of 1 Project No. 220404-01-01

REVIEWED  
FOR CODE  
COMPLIANCE

05/13/2022 5:55:50 PM



150 Grand Ave 17401, Paonia, CO 81454  
970-210-4527  
www.studiomm.com



NOTES

Any questions regarding the details of the design should be directed to the architect or engineer. The contractor is responsible for obtaining all necessary permits and for ensuring that the construction complies with all applicable codes and regulations. The architect and engineer are not responsible for the construction of the project.

REVISIONS:

THE HEARTH - RENOVATION  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

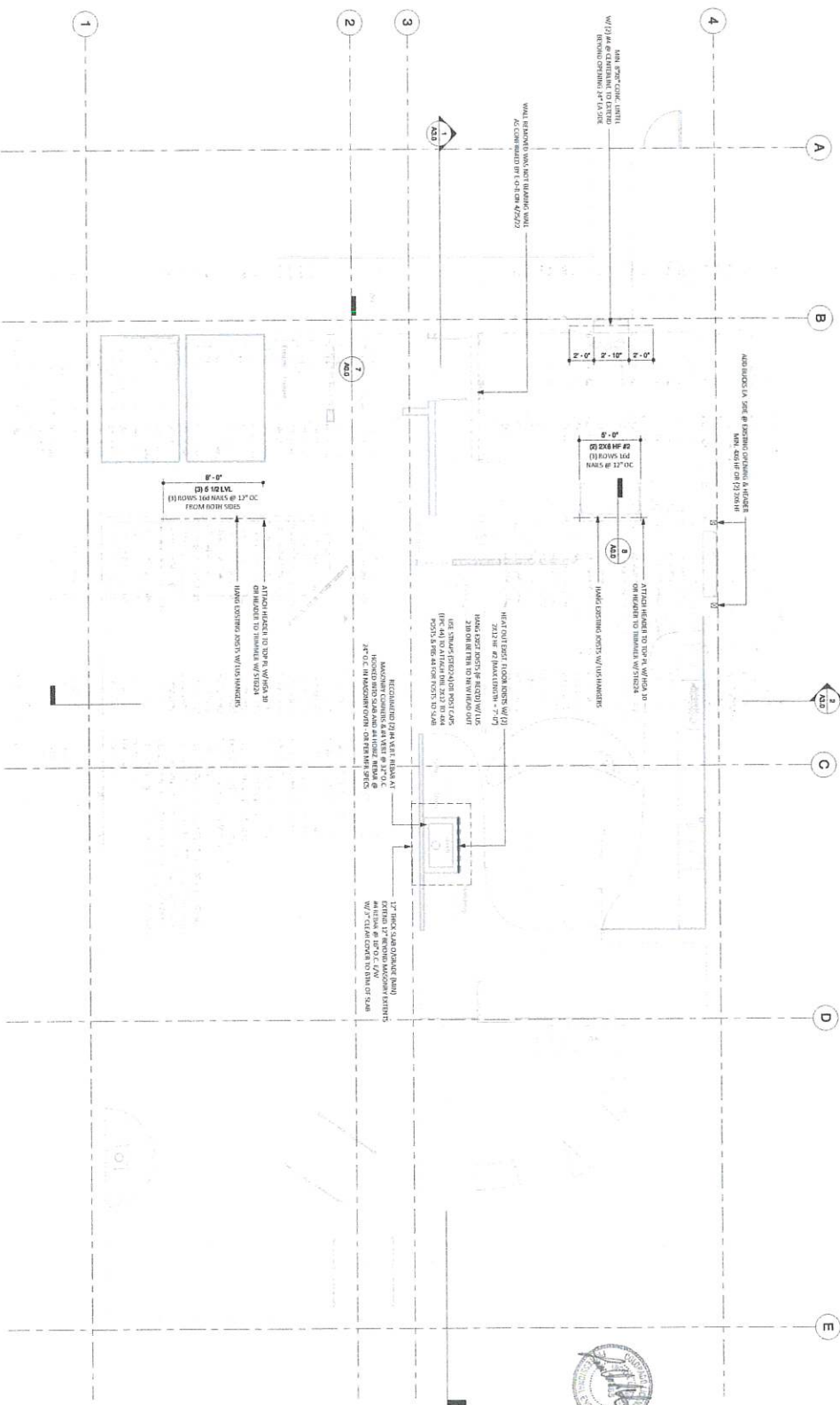
S1.0

STRUCTURAL  
PLAN

Scale: 1/4" = 1'-0"  
Notes: Half section if present @ 1/2" = 1'-0"

5/13/2022 4:50:52 PM

Project Number: 138 Grand Ave  
Date: May 13, 2022  
Drawn by: [Name]  
Checked by: [Name]  
Author: [Name]  
Checker: [Name]



1. STRUCTURAL PLAN  
1/4" = 1'-0"



**NOTES**

Any questions regarding the abstracts (an abstract is a summary of a paper) or the chemistry or spectroscopy can be directed to the Chemistry Liaison Societies. Any other questions (historical or just curiosity) can be directed to the Liaison Society through the secretary of the Chemistry Liaison Society. Send an e-mail to [liaison@chemsoc.org](mailto:liaison@chemsoc.org) or write to: Liaison Society Secretary, The Chemistry Liaison Society, 1000 North Dearborn Avenue, Suite 100, Dearborn, MI 48126-3000. Do not send anything else (e.g., resumes) to the Liaison Society. Do not send anything to the Liaison Society if you are not a member of the Liaison Society. Do not send anything to the Liaison Society if you are not a member of the Liaison Society.

## REVISIONS

THE HEARTH - RENOVATION  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

## A7.0

### SCHEDULES

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FOR CODE  
COMPLIANCE

09/16/2022 3:05:59 PM



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120 Grand Ave, Suite 100  
Paonia, CO 81454  
970.252.4227  
www.studiomm.com

**NOTES**  
1. All work shall be in accordance with the City of Paonia Building Code, 2018 Edition, and all applicable state and federal codes.  
2. All work shall be completed within the specified time frame.  
3. All work shall be completed within the specified budget.  
4. All work shall be completed within the specified scope of work.  
5. All work shall be completed within the specified quality standards.

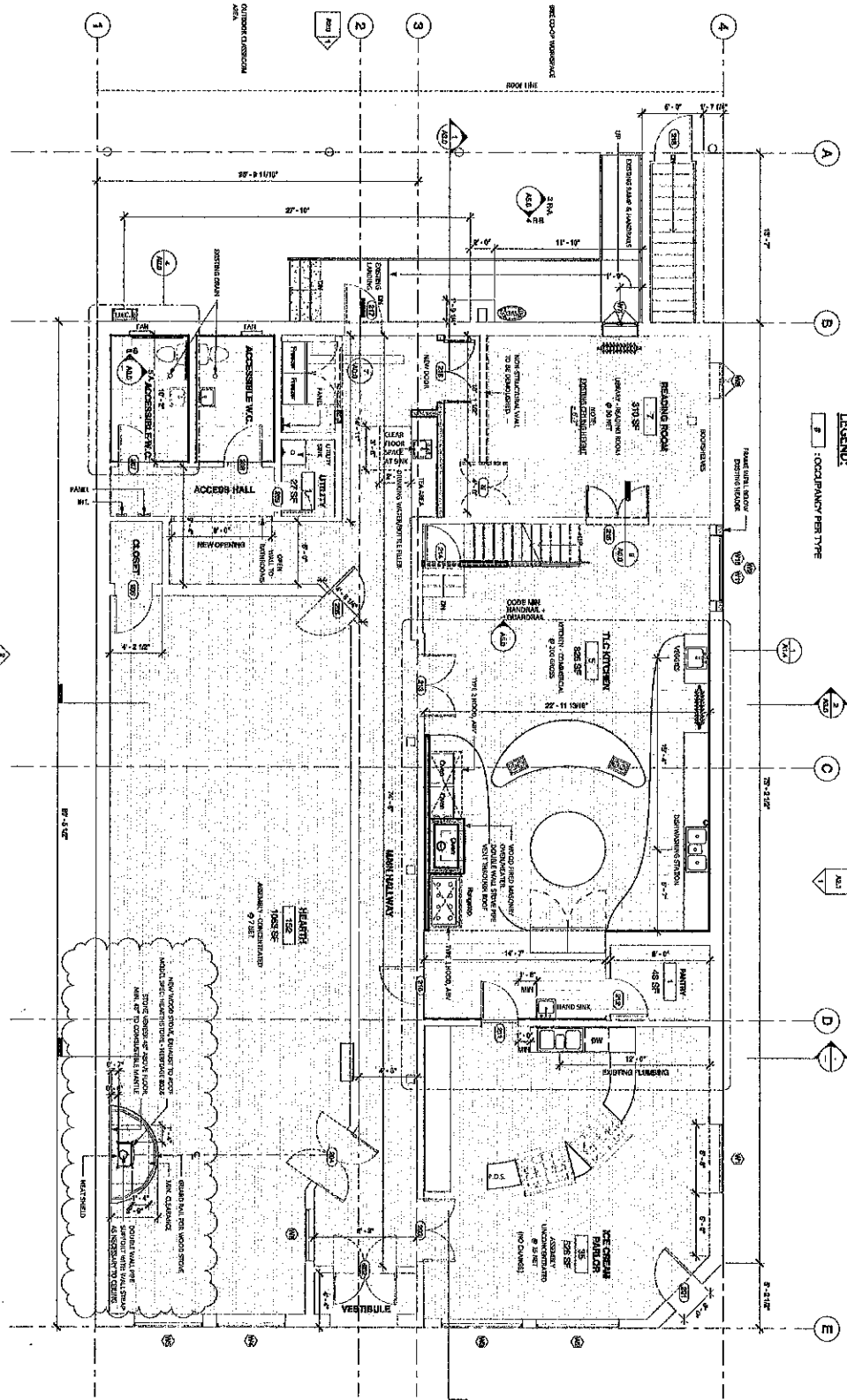
**PERSONS:**

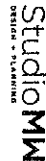
**THE HEARTH - RENOVATION**  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

**A1.2**

**PROPOSED  
FIRST FLOOR**

10/16/2021 10:20:11 AM  
10/16/2021 10:20:11 AM  
10/16/2021 10:20:11 AM





DESIGN + PLANNING

www.stjohnshealth.com  
125 Grand Ave., 5<sup>th</sup> Fl., Box 1067  
Fountain, CO 80901

**REVISIONS:** Any reasonable number of revisions or specifications are to be obtained with the Designer before construction. Any change orders by the owner or field construction to the design shall be the responsibility of the owner. The Designer will not be responsible for any work or failure to notify the Designer of changing conditions unless the Designer is specifically notified in writing. Changes made by the owner are not to be made without the approval of the Designer. The Designer will not be responsible for any work or failure to notify the Designer of changing conditions unless the Designer is specifically notified in writing. Changes made by the owner are not to be made without the approval of the Designer. The Designer will not be responsible for any work or failure to notify the Designer of changing conditions unless the Designer is specifically notified in writing. Changes made by the owner are not to be made without the approval of the Designer.

Project Number	May 17, 2002
Date	Audio
Location	Chorus
Operator	

**A1.3**  
**PROPOSED**  
**LOFT FLOOR**  
Scale: 1/4" = 1'-0"  
After: New double glassed @ 50% and 17.5"  
01/17/2002 10:50:01 AM



**Studio M**  
DESIGN • PLANNING

www.21stcenturypharm.com  
535 Grand Ave., P.O. Box 14922  
Parsippany, NJ 07054  
201-666-4557  
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**NOTES:**

Any questions regarding the above or the findings or recommendations are to be handled with the Designated Safety Coordinator. Any correspondence in this matter should be directed to the Designated Safety Coordinator. The Designated Safety Coordinator is to be immediately notified in the event of an accident involving personnel or equipment, or in the event of a safety hazard or safety concern. The Designated Safety Coordinator is to be immediately notified in the event of a safety hazard or safety concern. The Designated Safety Coordinator is to be immediately notified in the event of a safety hazard or safety concern.

Do not send drawings, view angles, dimensions, clearance drawings & more information is needed.

Designator is not needed.

## REVISIONS

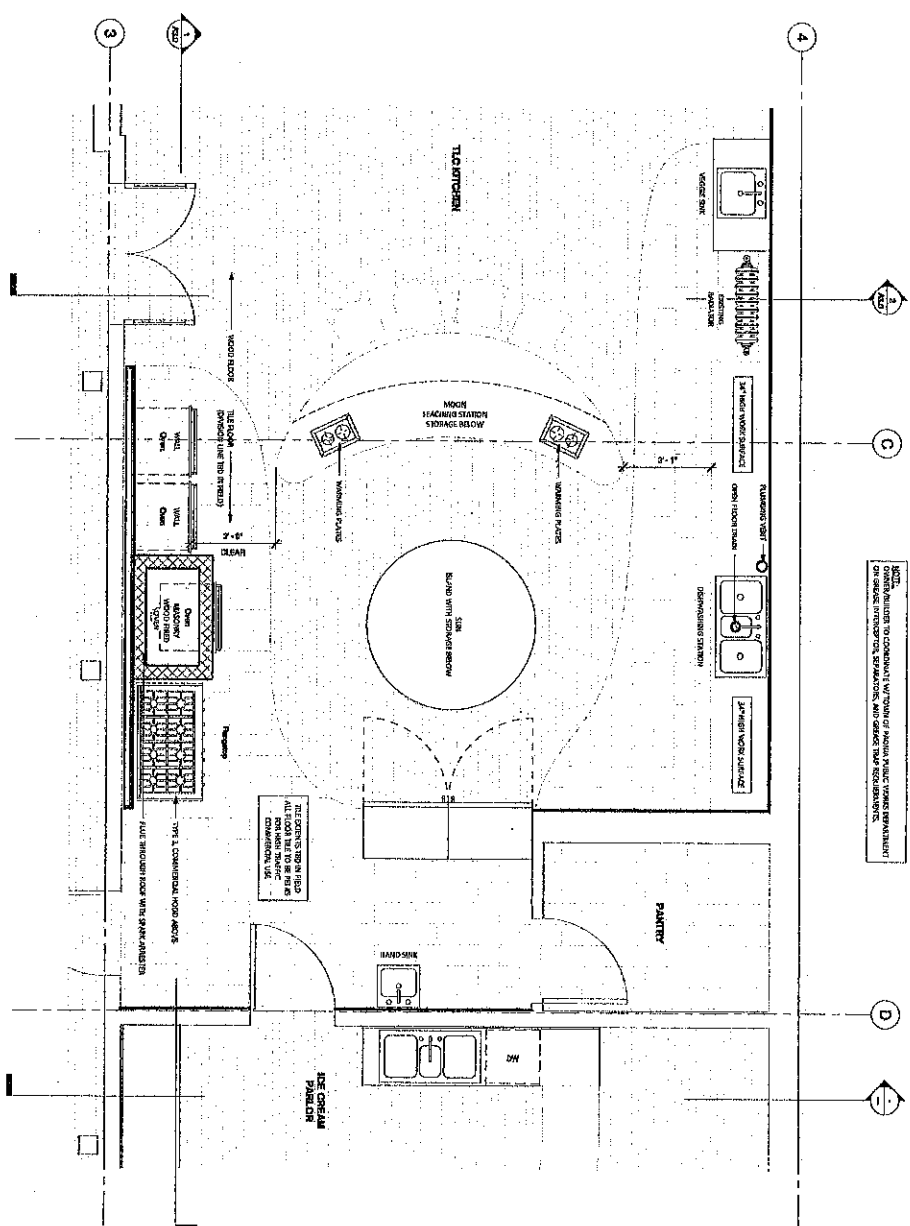
THE HEARTH - RENOVATION  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

Project number	Project Name
Date	May 12, 2011
Drawn by	Author
Checked by	Checker

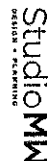
## A1.4

**PROPOSED  
KITCHEN**

Scale	1/2 = 1/4
Notes: 1/2 = 1/4	



① COMMERCIAL KITCHEN PLAN  
1 1/2" = 1'-0"



www.enr.com/2007/07/23  
236 Grand Ave., 8th Fl., New York  
New York, NY 10017  
212-512-2000  
www.enr.com/2007/07/23

Any questions regarding the nature of the demands or expectations are to be handled with the Developer before completion. Any discrepancies in timelines or field conditions to be immediately brought to the attention of the Developer during the proceeding with work. Failure to notify Developer of changing conditions releases the Developer of responsibility. Changes made to the answer Documents without the consent of the Developer are unauthorized.

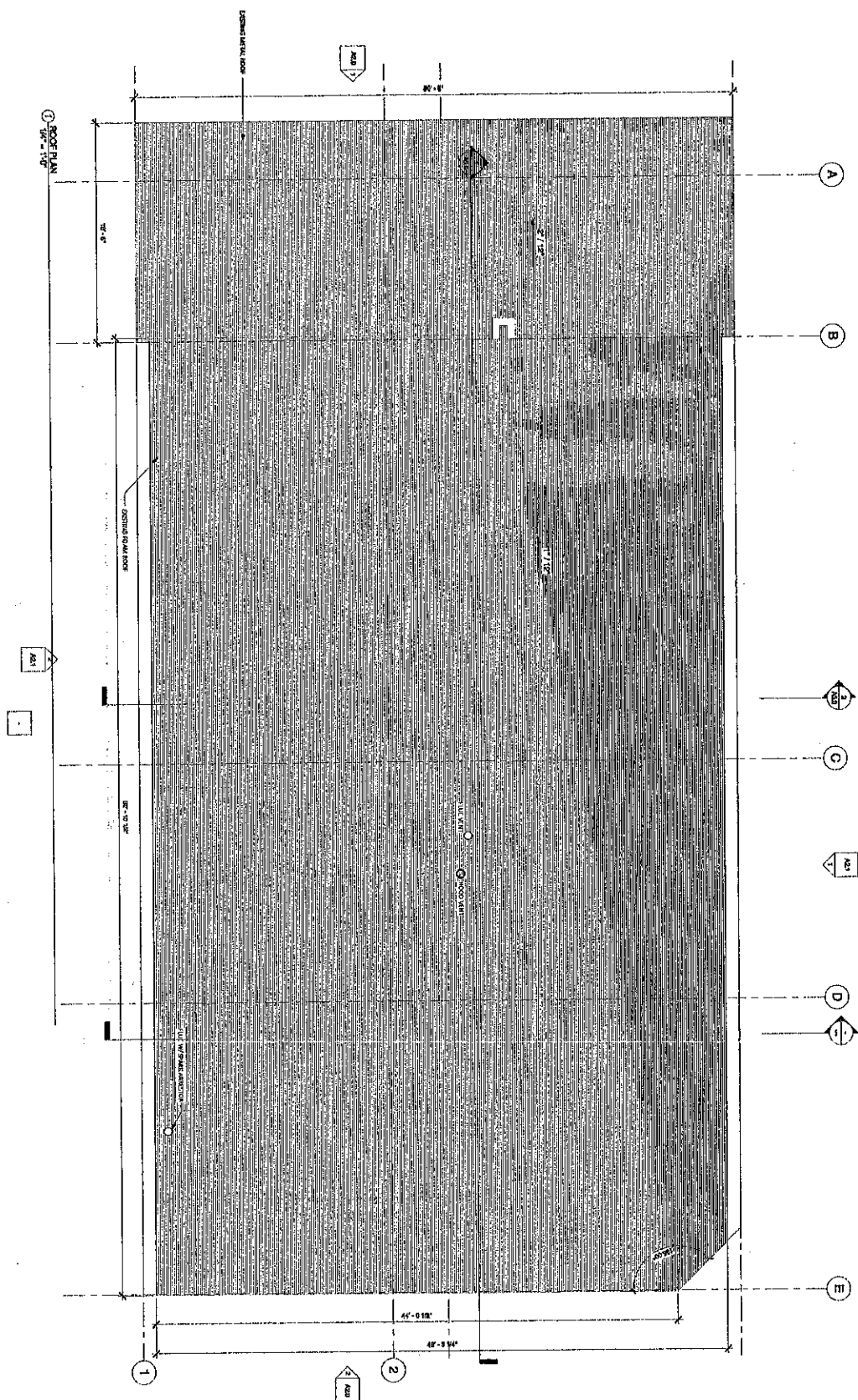
Be clear about planning, use proper dimensions. Contact Developer if you're interested to proceed.

## REVIEWS

THE HEARTH - RENOVATION  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

## A1.5 ROOF PLAN

Scale  $1/6'' = 1'-0''$   
 Plotter: High scale if printed @ 300% on 741x717"



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FOR CODE  
COMPLIANCE

05/16/2022 5:25:46 PM



Studio MIM  
DESIGN + PLANNING

138 GRAND AVE, 1ST FLOOR, PAONIA, CO 81450  
303.820.4227  
www.studiomim.com

NOTES:  
1. All construction shall conform to the latest edition of the International Building Code (IBC) and the International Residential Code (IRC) as adopted by the State of Colorado.  
2. The design of this project is based on the information provided by the owner and the architect. The architect is not responsible for the accuracy of the information provided.  
3. The design of this project is based on the information provided by the owner and the architect. The architect is not responsible for the accuracy of the information provided.

REVISIONS:

# THE HEARTH - RENOVATION

138 GRAND AVE, PAONIA, CO

## PERMIT SET

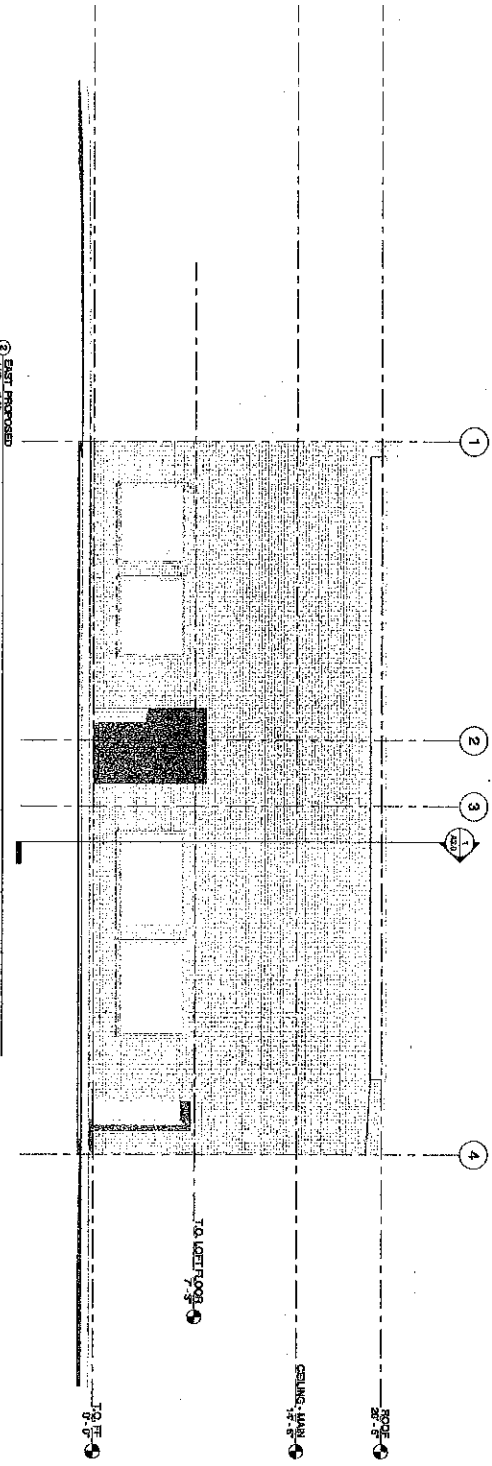
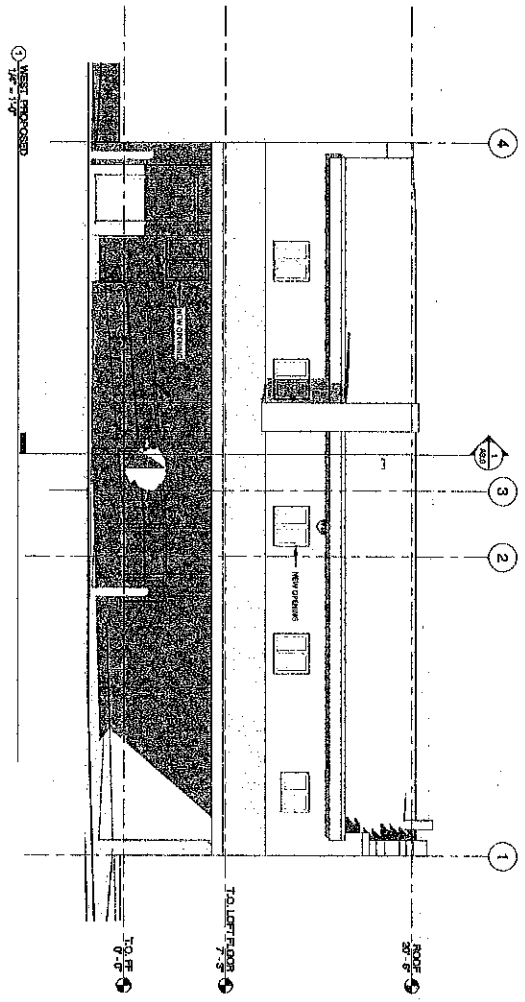
Project Number: 138-GRAND-01  
Date: May 17, 2022  
Drawn By: [Name]  
Checked By: [Name]

A2.0

PROPOSED  
ELEVATIONS

Scale: 1/8" = 1'-0"

Printed: 05/16/2022 10:50:00 AM





www.2dofarmath.com  
136 Grand Ave. // P.O. Box 1067  
Pueblo, CO 81425  
303-919-4667

Copyright 2004, 2dofarmath, LLC

**NOTES**

Any questions regarding the intent of the drawings or specifications are to be clarified with the Designer before construction. Any discrepancies in dimensions or field conditions to be immediately brought to the attention of the Designer before proceeding with work. Failure to notify Designer of changing conditions releases the Designer of responsibility. Changes made to the printed Documents without the consent of the Designer are unauthorized.

Do not use this drawing as a rated dimension. Contact Designer if more information is needed.

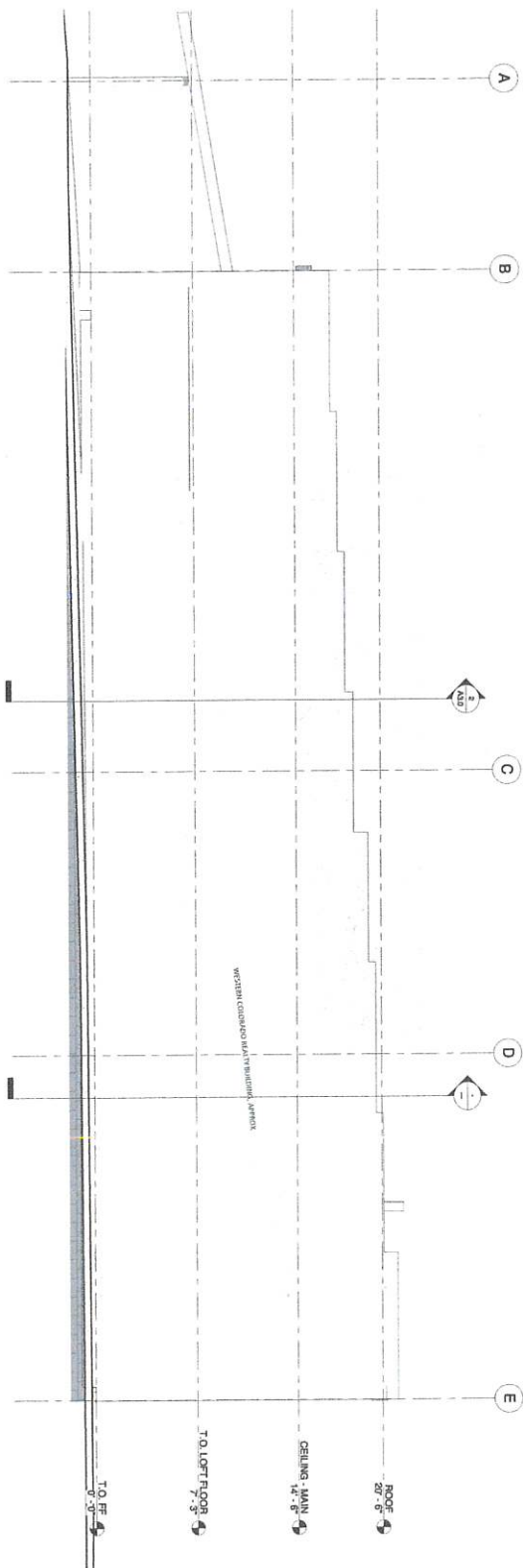
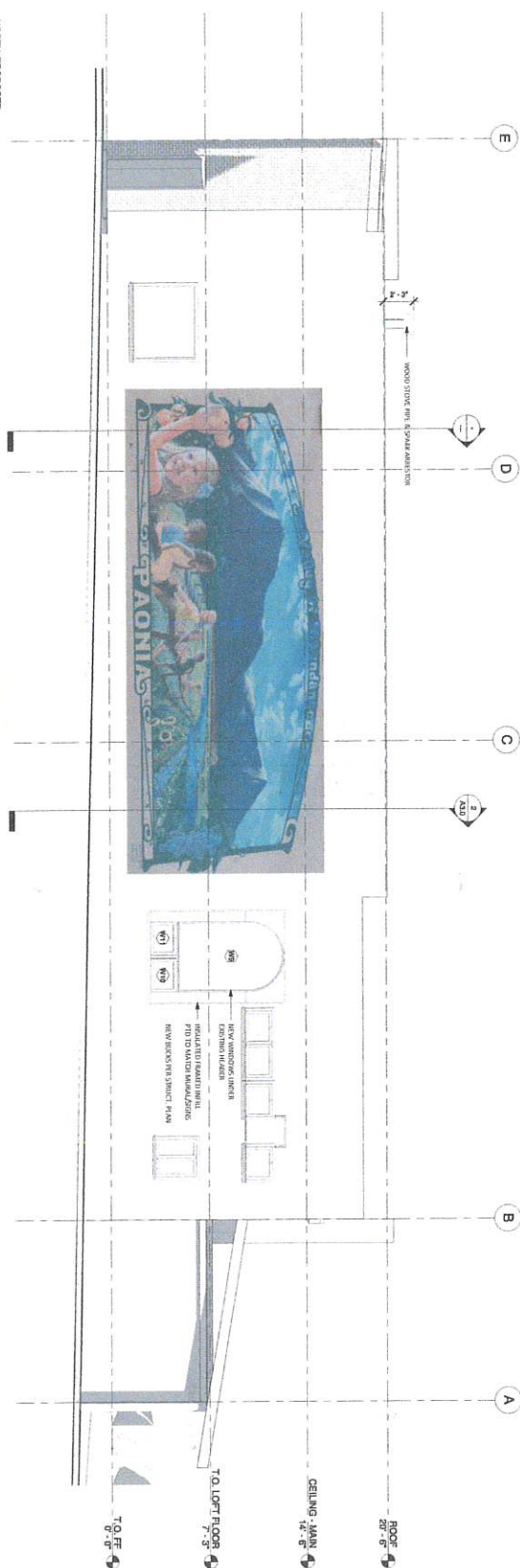
Figure 1. (a) A schematic diagram of the experimental setup. (b) A photograph of the experimental setup. (c) A photograph of the experimental setup. (d) A photograph of the experimental setup.

## A2.1

PROPOSED  
ELEVATIONS

Scale	$1/4 = 1.0$
-------	-------------

② SOUTH PROPOSED  
1/4" = 1'-0"



05/18/2022 5:25:40 PM



StudioM  
DESIGN • PLANNING

The Grand Ave. S.P.O. Box 108  
 Pueblo, CO 81001  
 303-618-1007  
[info@pueblo.spo.org](mailto:info@pueblo.spo.org)

**NOTES:**

Any questions regarding the below article, drawings or specifications are to be directed with the District before construction. Any correspondence to administration or field concerning the drawings or specifications is the responsibility of the Designer before proceeding with work. Failure to notify District of any questions before the District has accepted the drawings is the responsibility of the Contractor. Changes made to the drawings after District acceptance will be at the Contractor's expense.

Designs were constructed:  
Do not make changes to the listed elevations. Contact District if any information is needed.

## REVISIONS

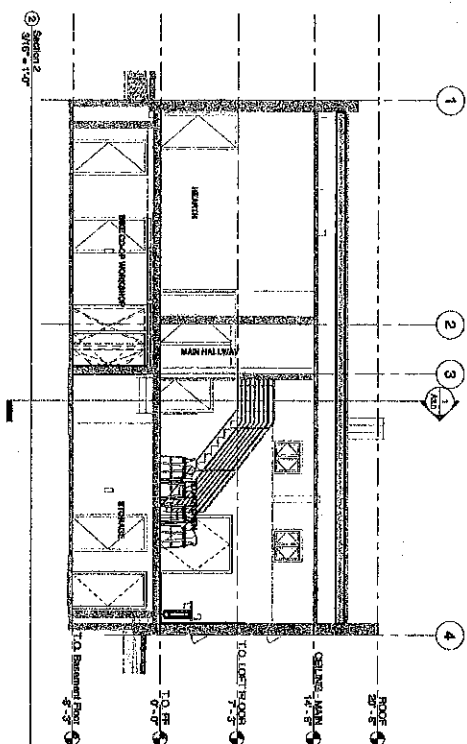
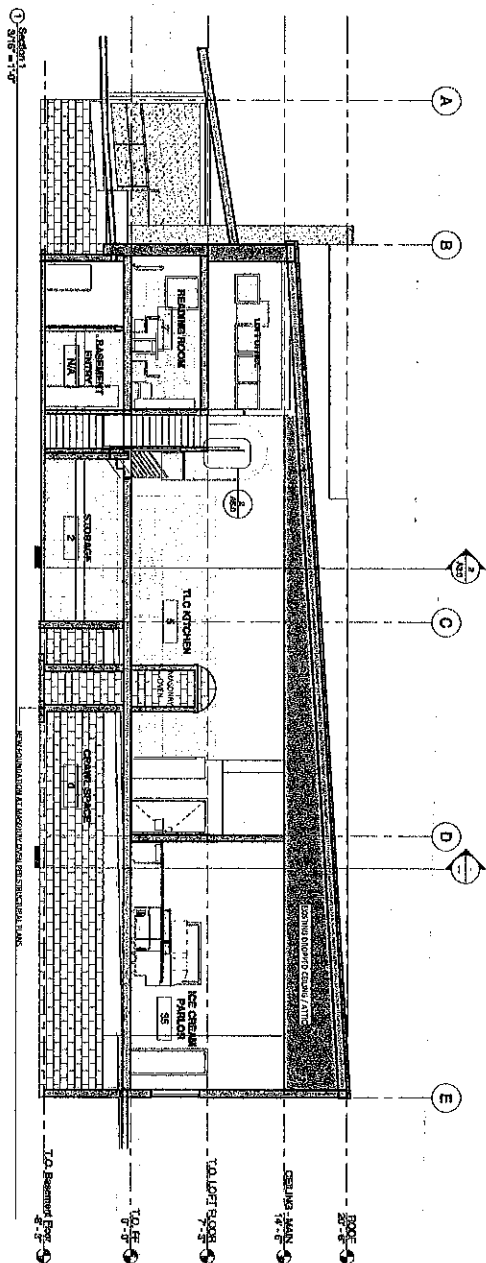
138 GRAND AVE, PAONIA, CO

**PERMIT SET**

### A3.0

## BUILDING SECTIONS

2/18/14



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FOR CODE  
COMPLIANCE

06/16/2022 5:55:40 PM



**StudioMM**  
DESIGN + PLANNING

325 S. Main, Suite 100  
Paonia, CO 81450  
303.777.4477  
www.studiomm.com

**NOTES**

1. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC) as applicable.

2. The contractor shall be responsible for obtaining all necessary permits and ensuring that all work complies with local, state, and federal regulations.

3. The contractor shall maintain clear access to all existing utilities and structures throughout the project.

4. The contractor shall be responsible for the safety of all workers and the public during the construction process.

5. The contractor shall provide a detailed schedule of work and progress reports to the owner and architect.

6. The contractor shall be responsible for the removal and disposal of all debris and materials from the site.

7. The contractor shall be responsible for the protection of all existing structures and landscaping on the site.

8. The contractor shall be responsible for the completion of all work within the specified time frame.

9. The contractor shall be responsible for the payment of all subcontractors and suppliers.

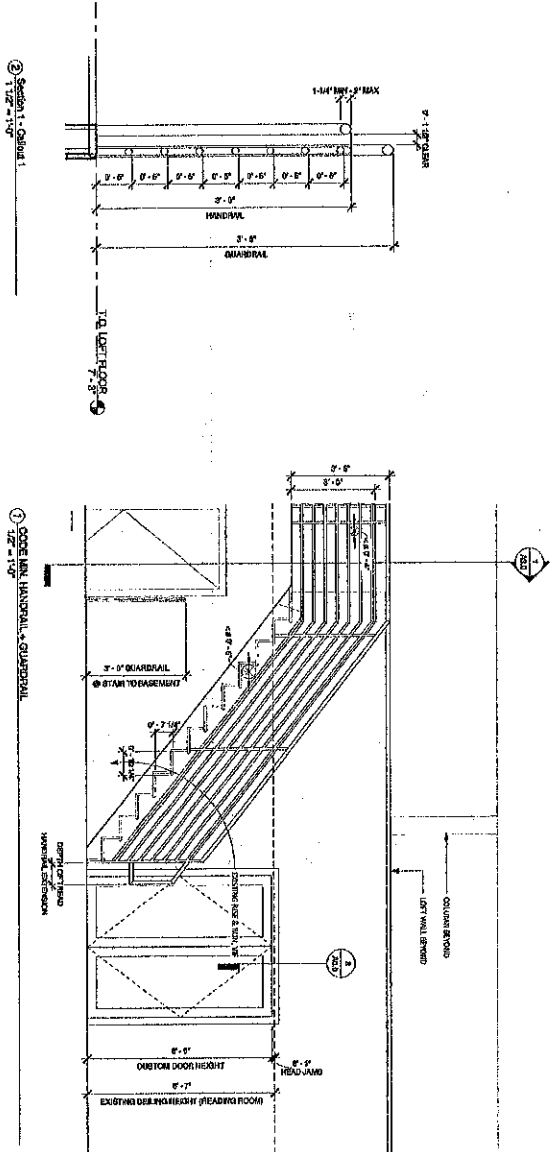
10. The contractor shall be responsible for the maintenance of the site during the construction process.

**REVISIONS**

NO.	DATE	DESCRIPTION

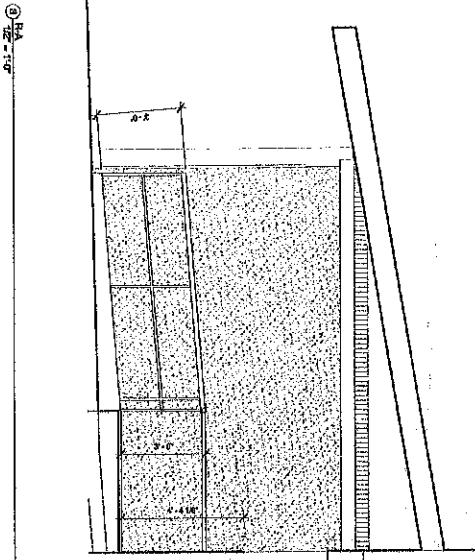
**THE HEARTH - RENOVATION**  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

Project Name	THE HEARTH - RENOVATION
Owner	Mr. & Mrs. [Name]
Architect	StudioMM
Engineer	AS5.0
Permit Set	STAIR + RAMP DETAILS
Scale	1/2" = 1'-0"
Drawn by	[Name]
Checked by	[Name]
Date	06/16/2022

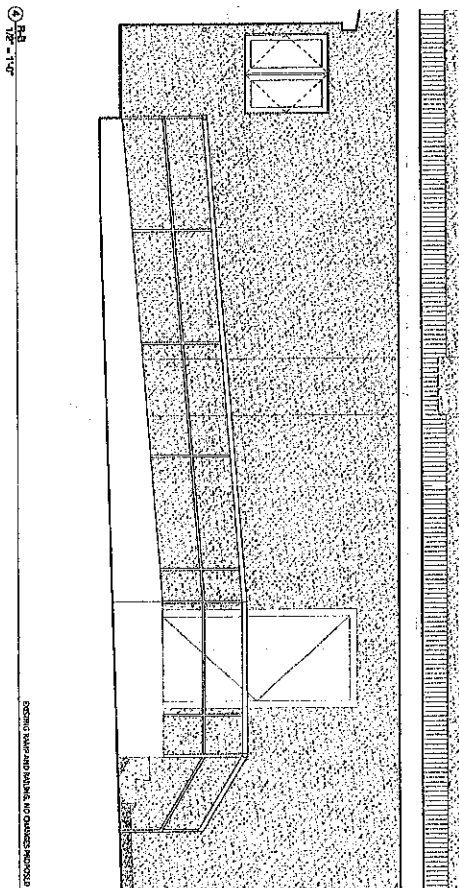


② Section 1 - Detail  
1/2" = 1'-0"

① CODE MIN. HANDRAIL + GUARDRAIL  
1/2" = 1'-0"



③ Section 2 - Detail  
1/2" = 1'-0"



④ Section 3 - Detail  
1/2" = 1'-0"

EXISTING MATERIALS SHOWN. NO CHANGES INDICATED.



**NOTES:**

Any candidate requiring the literature, the specific or qualitative work to be studied with the Douglas Institute contracts, any laboratory, biochemical or field conditions is, in principle, subject to the selection of the Douglas Institute personnel with work. Failure to notify Douglas of changing conditions affects the Douglas's responsibility. Changes must be to the subject. Douglas does not accept the following:

- Douglas can conduct work.
- Do not accept training, the same chemical, chemical, Douglas's name, international research.

## REVISIONS

Project Number	Project Number
Date	May 15, 2000
Designed by	Author
Checked by	Classified

## A7.0

## SCHEDULES

Neck: High school & graduate of 1950s-1960s

[illegible]

THE NEW ABOVE DOOR TO HEAD LOCK TO BEHOLD UNLOCKED DURING BUSINESS HOURS

Window Schedule							
Week	Month	Day(s)	Level	Sat. Height	Type	How Opened?	Comments
W1	5 <sup>th</sup> - 9 <sup>th</sup>	4 <sup>th</sup> - 7 <sup>th</sup>	1.O. FF	1 <sup>st</sup> - 11 <sup>th</sup>	Window Fixed	EXISTING	
W2	10 <sup>th</sup> - 14 <sup>th</sup>	1 <sup>st</sup> - 5 <sup>th</sup>	1.O. FF	1 <sup>st</sup> - 11 <sup>th</sup>	Window Fixed	EXISTING	
W3	15 <sup>th</sup> - 19 <sup>th</sup>	4 <sup>th</sup> - 7 <sup>th</sup>	1.O. FF	1 <sup>st</sup> - 11 <sup>th</sup>	Window Fixed	EXISTING	
W4	15 <sup>th</sup> - 19 <sup>th</sup>	4 <sup>th</sup> - 7 <sup>th</sup>	1.O. FF	1 <sup>st</sup> - 11 <sup>th</sup>	Window Fixed	EXISTING	
W5	5 <sup>th</sup> - 9 <sup>th</sup>	1 <sup>st</sup> - 5 <sup>th</sup>	1.O. FF	1 <sup>st</sup> - 11 <sup>th</sup>	Window Fixed	EXISTING	
W6	10 <sup>th</sup> - 14 <sup>th</sup>	1 <sup>st</sup> - 5 <sup>th</sup>	1.O. FF	1 <sup>st</sup> - 11 <sup>th</sup>	Window Fixed	EXISTING	
W7	15 <sup>th</sup> - 19 <sup>th</sup>	1 <sup>st</sup> - 5 <sup>th</sup>	1.O. FF	1 <sup>st</sup> - 11 <sup>th</sup>	Window Fixed	EXISTING	
W8	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	5 <sup>th</sup> - 6 <sup>th</sup>	Window-Casement Double	PROPOSED	
W9	5 <sup>th</sup> - 9 <sup>th</sup>	7 <sup>th</sup> - 10 <sup>th</sup>	1.O. FF	5 <sup>th</sup> - 6 <sup>th</sup>	Window-Casement Double	EXISTING	
W10	10 <sup>th</sup> - 14 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	5 <sup>th</sup> - 6 <sup>th</sup>	Window-Casement Double	EXISTING	
W11	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	5 <sup>th</sup> - 6 <sup>th</sup>	Window-Awning Single	PROPOSED	
W12	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W13	5 <sup>th</sup> - 9 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W14	10 <sup>th</sup> - 14 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W15	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W16	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W17	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W18	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W19	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W20	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W21	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W22	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W23	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W24	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W25	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W26	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W27	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W28	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W29	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W30	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W31	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W32	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W33	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W34	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W35	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W36	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W37	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W38	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W39	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W40	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W41	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W42	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W43	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W44	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W45	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W46	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W47	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W48	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W49	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W50	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W51	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W52	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W53	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W54	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W55	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W56	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W57	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W58	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W59	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W60	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W61	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W62	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W63	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W64	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W65	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W66	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W67	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W68	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W69	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W70	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W71	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W72	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W73	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W74	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W75	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W76	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W77	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W78	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W79	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W80	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W81	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W82	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W83	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W84	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W85	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W86	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W87	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W88	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W89	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W90	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W91	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W92	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W93	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W94	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W95	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W96	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W97	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W98	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W99	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W100	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W101	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W102	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W103	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W104	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W105	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W106	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W107	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W108	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W109	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W110	2 <sup>nd</sup> - 10 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11 <sup>th</sup>	Window-Awning Single	EXISTING	
W111	15 <sup>th</sup> - 19 <sup>th</sup>	5 <sup>th</sup> - 6 <sup>th</sup>	1.O. FF	10 <sup>th</sup> - 11			



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DESIGN + PLANNING  
138 GRAND AVE, PAONIA, CO 80651  
781.350.1027  
www.studiomm.com

NOTES:  
1. Any questions regarding these drawings should be directed to the architect or engineer of record.  
2. The contractor is responsible for obtaining all necessary permits and approvals from the local authority having jurisdiction.  
3. The contractor is responsible for ensuring that all construction complies with the applicable building codes and standards.  
4. The contractor is responsible for maintaining the safety of the construction site at all times.  
5. The contractor is responsible for protecting the existing structure and utilities during construction.  
6. The contractor is responsible for keeping the site clean and free of debris at all times.  
7. The contractor is responsible for providing adequate access to the site for all vehicles and equipment.  
8. The contractor is responsible for providing adequate lighting for the construction site at all times.  
9. The contractor is responsible for providing adequate ventilation for the construction site at all times.  
10. The contractor is responsible for providing adequate fire protection for the construction site at all times.

#### REVISIONS:

NO.	DATE	DESCRIPTION
1	05/18/2022	ISSUED FOR PERMIT

## THE HEARTH - RENOVATION

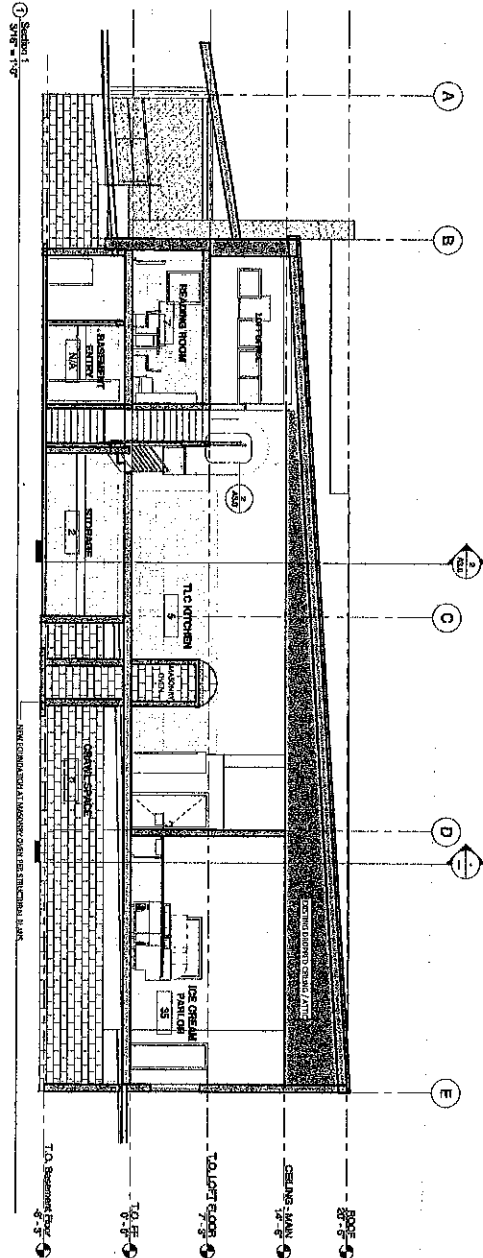
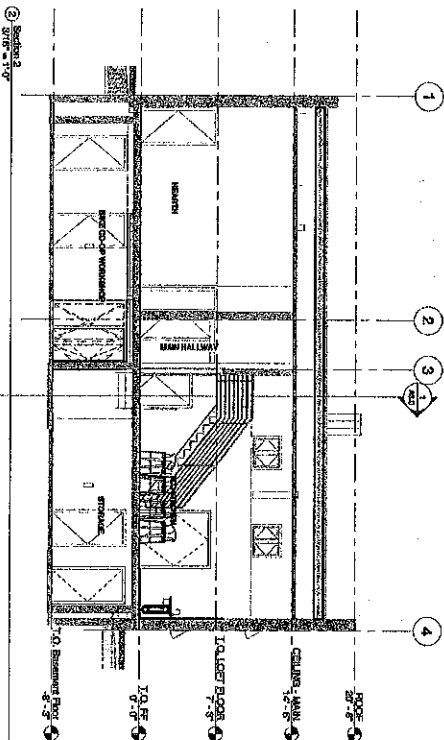
138 GRAND AVE, PAONIA, CO

### PERMIT SET

A3.0

#### BUILDING SECTIONS

Scale: 3/8" = 1'-0"  
Notes: See notes on drawings for details and specifications.



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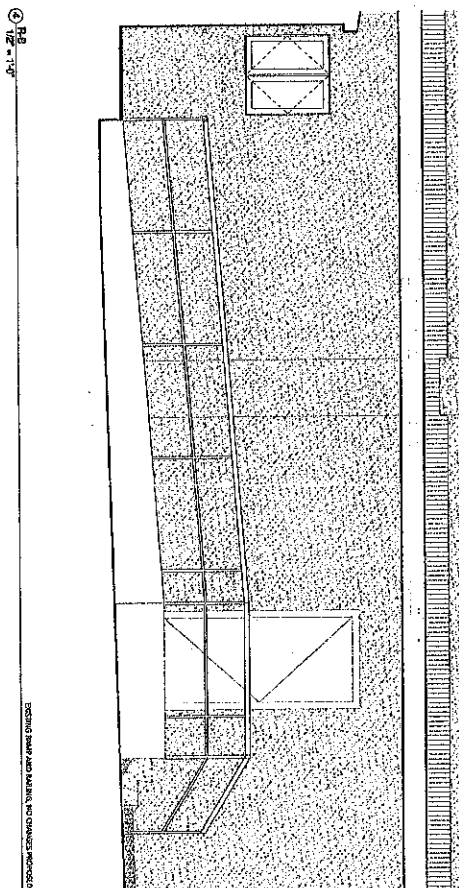
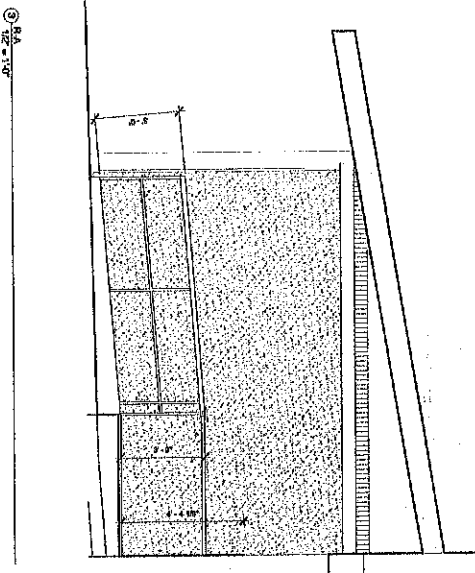
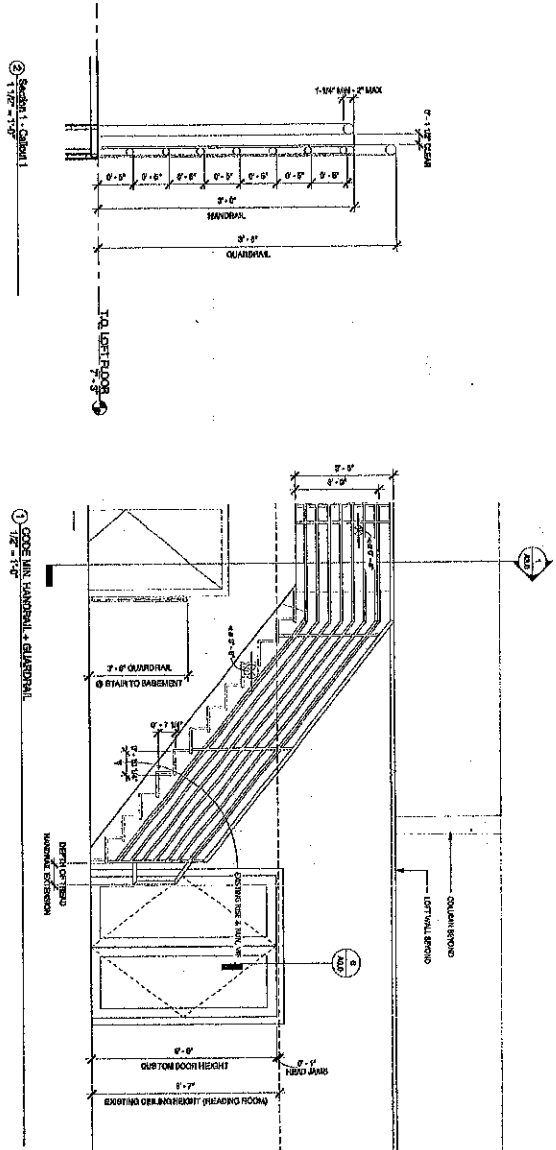
**NOTES**  
Any questions or clarifications by the client should be directed to the architect or engineer. The architect or engineer is not responsible for the design of the building or the construction of the building. The architect or engineer is only responsible for the design and construction of the stairs and ramp shown on this set of drawings. The architect or engineer is not responsible for the design of the building or the construction of the building. The architect or engineer is only responsible for the design and construction of the stairs and ramp shown on this set of drawings.

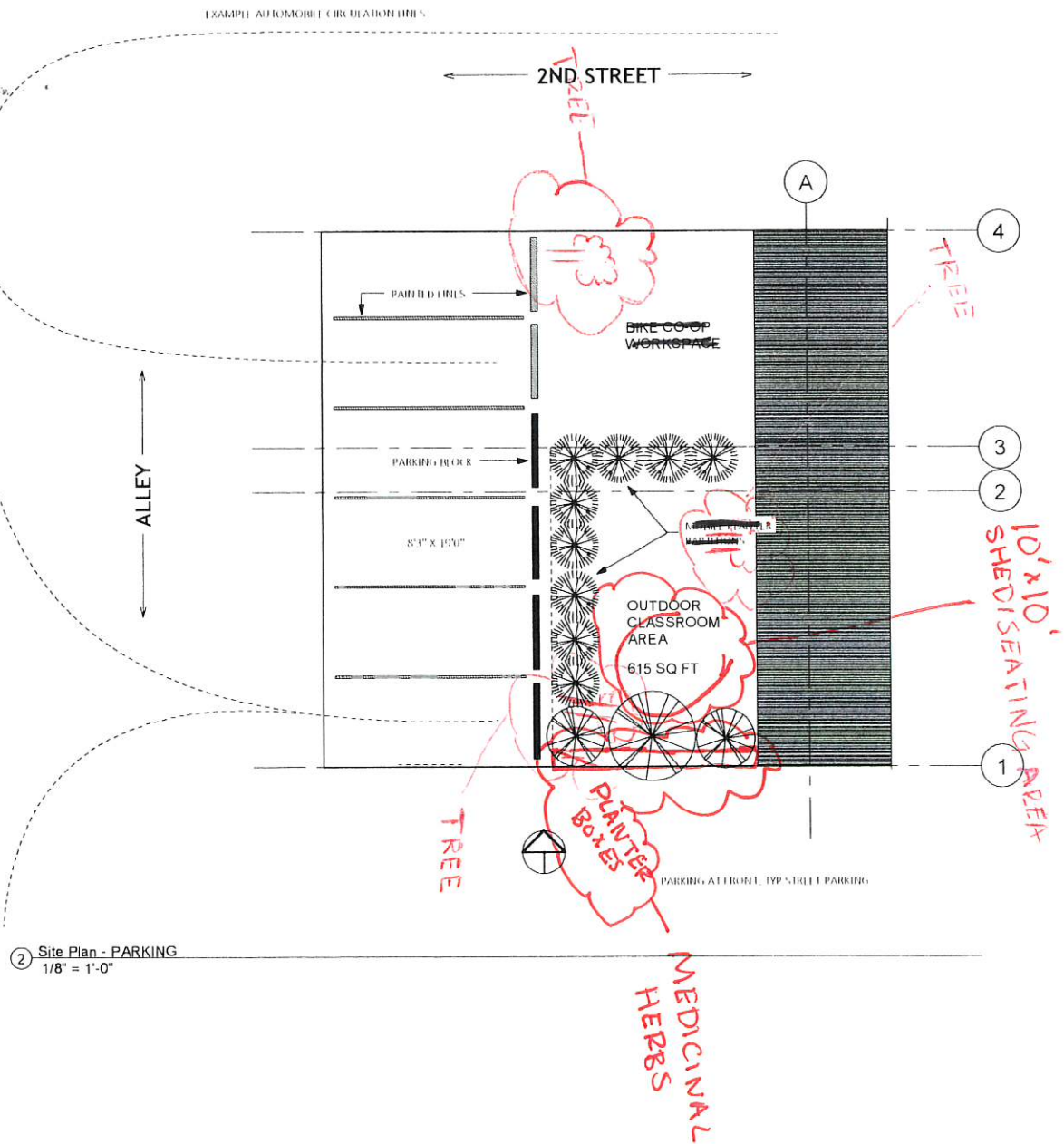
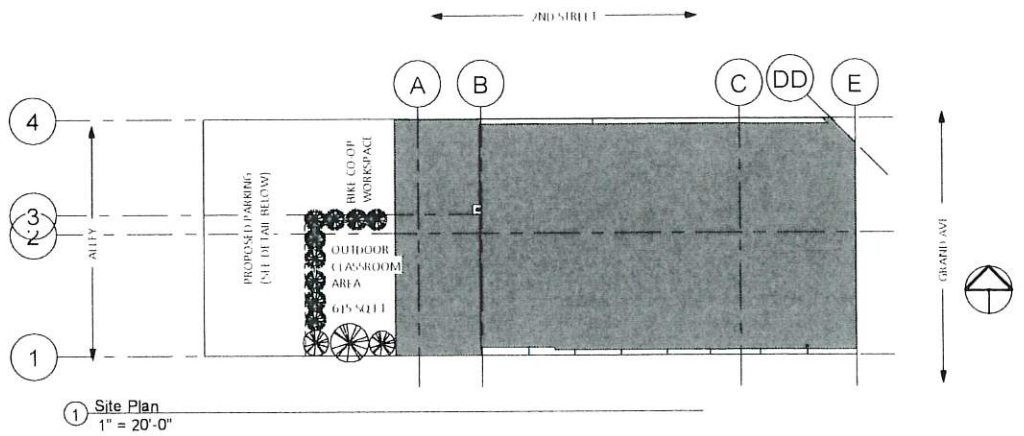
**REVISIONS**

**THE HEARTH - RENOVATION**  
138 GRAND AVE, PAONIA, CO  
PERMIT SET

**Architect** THE HEARTH RENOVATION  
**Design** THE HEARTH RENOVATION  
**Drawn By** THE HEARTH RENOVATION  
**Checked By** THE HEARTH RENOVATION  
**Date** MAY 11, 2022  
**Sheet** A5.0

**STAIR + RAMP  
DETAILS**  
A5.0  
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# The Learning Council

education, creativity, & life skills

PO Box 1744 Paonia, CO 81428 970-433-5852

Oct 30, 2023

## The Hearth timetable for Completion

### Interior projects

Ice Cream Corner and Bike Shop/basement space Approved by Dan Reardon 2021+2022

TLC Kitchen December 2023 goal for approval of use

Windows completed October 2023

The Hearth Space December 2023 Goal for approval of use pending on parking variance

TLC office space mezzanine goal for approval December 2023

Restrooms approved

### Exterior projects

Roof Compleat November 2023

Solar panel installation Completed by July 2024

Shed/Classroom seating- March 2024

Walk in cooler December 2023

Planting of three trees and medicinal herbs spring-fall 2024

Build guild Exterior Art Project December 2024

WOODS KAY  
PO BOX 682  
CO, PAONIA  
81428-0682

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LYPPS FRAME REVOCABLE TRUST  
158 MYSTERY LN  
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81224-0026

LYPPS NICHOLAS J REVOCABLE TRUST  
PO BOX 356  
CO, PAONIA  
81428-0356

UNITED BUSINESS BANK  
500 YGNACIO VALLEY RD SUITE 200  
CA, WALNUT CREEK  
94596-3845

DELTA COUNTY JOINT SCHOOL DIST 50  
145 W 4TH ST  
CO, DELTA  
81416-1839

LEGG LORETTA M TRUST  
2245 I RD  
CO, GRAND JUNCTION  
81505-9319

SMITH DONALD L  
PO BOX 1658  
CO, CRESTED BUTTE  
81224-1658

BOOKOUT CHELSEA A  
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VM & ML LLC  
40018 M RD  
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PENSCO TRUST COMPANY FBO JACKSON MICHAEL L IRA 100%  
PO BOX 981012  
MA, BOSTON  
02298-1012

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53717-2152

HAYES LOUIS G  
PO BOX 1713  
CO, PAONIA  
81428-1713

JACKSON MICHAEL L  
PO BOX 74  
CO, PAONIA  
81428-0074

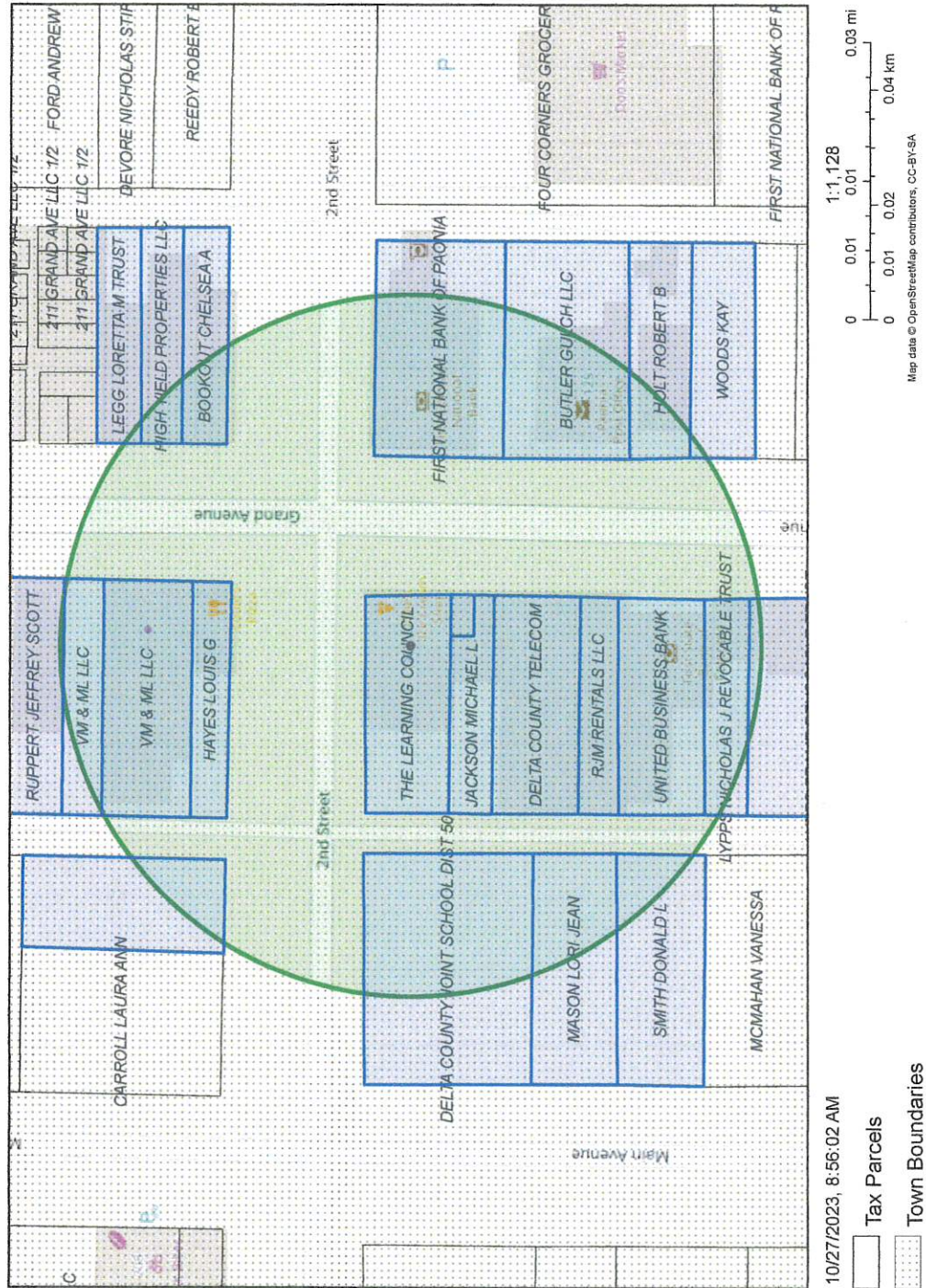
RUPPERT JEFFREY SCOTT  
PO BOX 1809  
CO, PAONIA  
81428-1809

BUTLER GULCH LLC  
75 COLUMBIA AVENUE  
NY, CEDARHURST  
11516-2011

FIRST NATIONAL BANK OF PAONIA  
PO BOX 100  
CO, PAONIA  
81428-0100

HOLT ROBERT B  
PO BOX 23  
CO, PAONIA  
81428-0023

# 138 Grand Ave - Notify Property Owner List



10/27/2023, 8:56:02 AM  
Tax Parcels  
Town Boundaries  
1:1,128  
0 0.01 0.02 0.03 mi  
0 0.01 0.02 0.04 km  
Map data © OpenStreetMap contributors, CC-BY-SA  
Delta County Co - GIS  
Map data © OpenStreetMap contributors, CC-BY-SA | Delta County GIS cad | Delta County Colorado GIS |

Type of Plant Material	Minimum Size	Quantity
Tree	2' tall	3
Medicinal Herbs	1"x1"	150

RECEIPT

**Town of Paonia**

214 Grand Avenue  
Paonia CO 81428  
970-527-4101

NO. **359993**

**PAYED** 36.23

DATE  
OCT 30 2023

RECEIVED FROM TLC

Two Hundred Fifty Dollars \$ **250** DOLLARS

FOR Zoning Board - Perkins Variance Fee

AMOUNT OF ACCOUNT		
THIS PAYMENT	250	
BALANCE DUE		

- ☐ CASH  
☒ CHECK **250**  
☐ CREDIT CARD  
☐ MONEY ORDER

BY

*[Signature]*

# Colorado Code Consulting, LLC

4610 S Ulster Street, Suite 150

Denver, CO 80237

## PAONIA INSPECTION REPORT

To request an inspection, call Paonia Town Hall at 1-970-527 4101

Job Address 138 Grand Avenue

Permit Number 2022-06

Date of Inspection 12/16/22

Contact Name/Phone Number Alicia 970-433-5852

Additional Information (Parking Required For Assembly Area Is The Only Outstanding Question) / And Kitchen Finish

Construction or work for which a permit is required shall be subject to inspection. Such construction or work shall remain accessible and exposed for inspection purposes until approved. Approval as a result of an inspection shall not be construed to be an approval of a violation of the provisions of the applicable code(s) or of other ordinances of the jurisdiction. All inspections marked below as failed MUST be reinspected. If a reinspection fee has been noted below, no further inspections will be conducted until the fee has been paid.

☐ REINSPECTION FEE DUE – Amount \$ \_\_\_\_\_

### Inspection Result(s)

Called	Inspection Type	Pass	Partial	Fail
	CONST. METER			
	FOOTINGS/CAISSONS			
	FOUNDATION			
	DAMPROOFING			
	UNDERGROUND PLBG			
	ROOF/WALL SHEATHING			
	ROUGH PLUMBING			
	GAS PIPING			
	ROUGH MECHANICAL			
	ROUGH ELECTRICAL			
	TEMP HEAT ELECTRICAL			
	FRAMING			
	INSULATION			
	DRYWALL FASTENING			
	MID-ROOF			
	ROOF			
	MASONRY/LATH			

Called	Inspection Type	Pass	Partial	Fail
	FIRE PROTECTION			
	UNDERGROUND ELECT			
	ELECTRICAL SERVICE			
	FIREPLACE/GAS LOG			
	WATER SERVICE			
	SEWER SERVICE			
	BACKFLOW PREVENTER			
	FINAL PLUMBING			
	FINAL MECHANICAL			
	FINAL ELECTRICAL			
12/14/22	FINAL BUILDING			
	ENFORCEMENT ACTION			
	CONSULTATION			
	PERMIT COMPLETE			

- \* Please Provide Pipe Protection For Lav Drains Per Accessibility Requirements
- Comments \* Minimum Size Fire Extinguisher For Basement should be three 10BC Fire Extinguishers for Basement
- ✓ 3A 10BC Fire Extinguisher In Place For Upstairs
- ✓ Door Hardware For Basement Is Good For Egress
- \* Basement Stairs Require A Handrail On Each Side
- ✓ Guard And Handrails In Place Leading To Mezzanine
- \* "Corn Stalk" Leaf Features Interrupt Smooth Grip On Outside Handrail - Please Make Adjustments
- ✓ Replacement Windows For Mezzanine Office U-Value 0.29
- Basement Shower Room May Have Cement-Board Installed As Soon As You Pass Rough Plumbing
- ✓ Egress Path For Bike Shop Is Clear - Exit Signs With Emergency Lights Are In Place - Bike Shop May Be Occupied
- Inspector: [Signature]
- 59 Office Mezzanine May Be Occupied
- \* Kitchen Area Is The Only Area Not Ready For Occupancy

## INTERIM AD DRAFT

This is the proof of your ad scheduled to run in **Delta County Independent** on the dates indicated below. If changes are needed, please contact us prior to deadline at **(970) 249-3444**.

Notice ID: a7Eoh5uOVsZtysizcm7G | **Proof Updated: Apr. 05, 2024 at 05:41am MDT**  
Notice Name: SRV 2024-03

See Proof on Next Page

**This is not an invoice. Below is an estimated price, and it is subject to change. You will receive an invoice with the final price upon invoice creation by the publisher.**

**FILER**

Samira Vetter  
samirav@townofpaonia.com  
(970) 527-4101

**FILING FOR**

Delta County Independent

**Columns Wide:** 1 **Ad Class:** Legals

**Total Column Inches:** 6.02

**Number of Lines:** 56

04/11/2024: Custom	20.16
04/18/2024: Custom	14.56
04/25/2024: Custom	14.56

Subtotal	\$49.28
Tax	\$0.00
Processing Fee	\$0.00
<b>Total</b>	<b>\$49.28</b>

**TOWN OF PAONIA, COLORADO  
NOTICE OF PUBLIC HEARING**

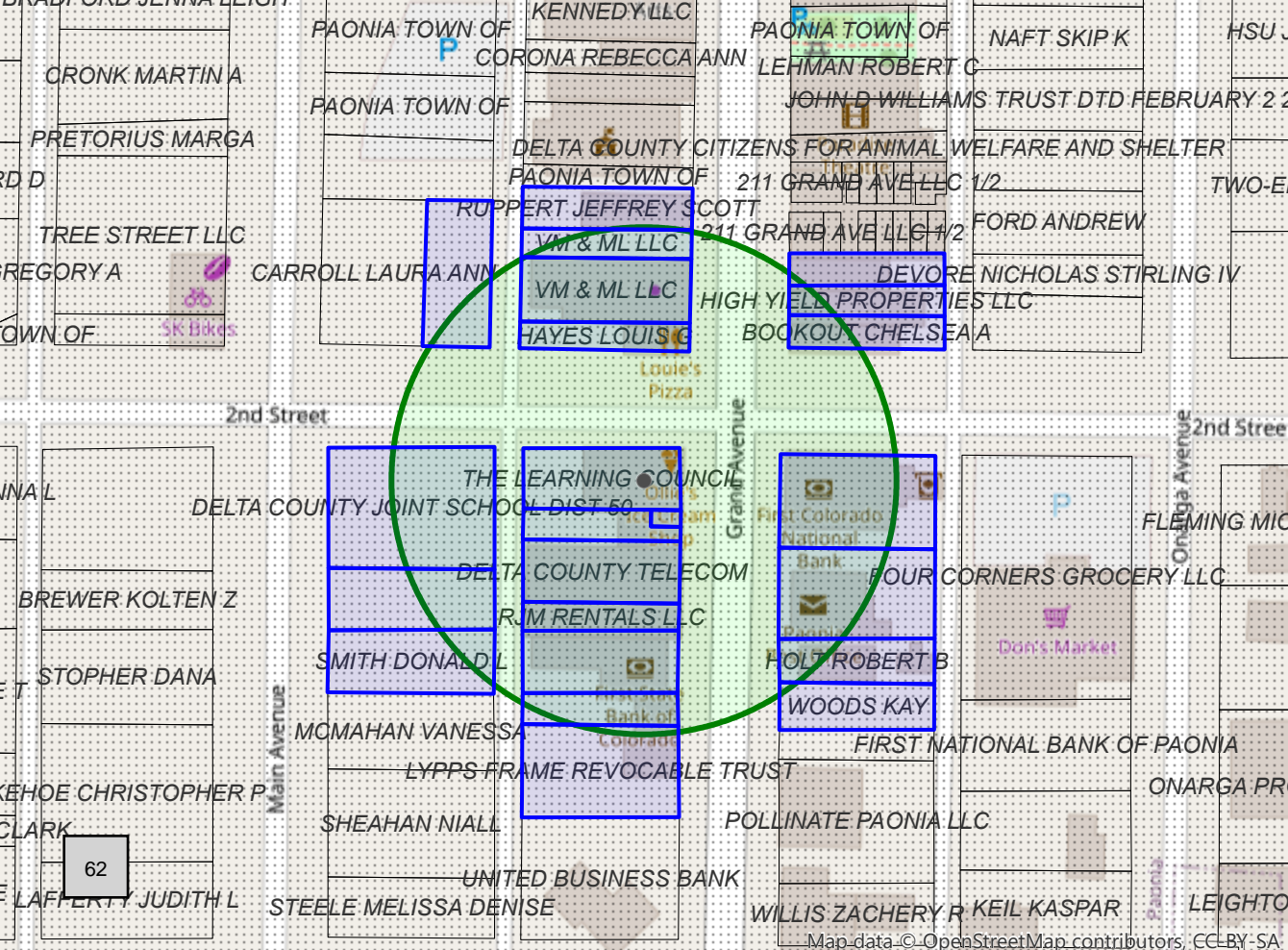
**Notice** is hereby given that the Planning Commission of the Town of Paonia will hold a Public Hearing commencing Wednesday, May 1, 2024, at 5:00 p.m., at the Paonia Town Hall, 214 Grand Avenue, Paonia, Colorado 81428. The purpose of the Public Hearing is to consider a variance for the parking minimums of the Paonia Municipal Code. The petitioners, The Learning Council, requested the variance for the use of The Hearth at the property located at 138 Grand Avenue.

**Further Notice** is hereby given that the Board of Trustees of the Town of Paonia will hold a Public Hearing commencing Tuesday, May 28, 2024 at 6:30 p.m., at the Paonia Town Hall, 214 Grand Avenue, Paonia, Colorado 81428. The purpose of the Public Hearing is to consider a variance for the parking minimums of the Paonia Municipal Code. The petitioners, The Learning Council, requested the variance for the use of The Hearth at the property located at 138 Grand Avenue.

Any person may appear at the Public Hearings and be heard regarding the matters under consideration. Copies of the application and related application materials are on file and available for public inspection in the office of the Town Clerk, 214 Grand Avenue, Paonia, Colorado 81428.

Dated the 12th day of March, 2024.

**TOWN OF PAONIA, COLORADO**  
Samira Vetter, Town Clerk  
Published Thursday, April 11, 18, 25, 2024



CRONK MARTIN A

PRETORIUS MARGA

RD D

TREE STREET LLC

REGORY A

TOWN OF

SK Bikes

PAONIA TOWN OF

CORONA REBECCA ANN

KENNEDY ILLIC

PAONIA TOWN OF

DELTA COUNTY CITIZENS FOR ANIMAL WELFARE AND SHELTER

PAONIA TOWN OF

211 GRAND AVE LLC 1/2

RUPPERT JEFFREY SCOTT

VM & ML LLC

VM & ML LLC

HAYES LOUISA

CARROLL LAURA ANN

211 GRAND AVE LLC 1/2

FORD ANDREW

DEVORE NICHOLAS STIRLING IV

HIGH YIELD PROPERTIES LLC

BOOKOUT CHELSEA A

2nd Street

INA L

DELTA COUNTY JOINT SCHOOL DIST 50

THE LEARNING COUNCIL

BREWER KOLTEN Z

DELTA COUNTY TELECOM

RJM RENTALS LLC

SMITH DONALD L

STOPHER DANA

FOUR CORNERS GROCERY LLC

HOLT ROBERT B

WOODS KAY

MCMAHAN VANESSA

LYPPS FRAME REVOCABLE TRUST

FIRST NATIONAL BANK OF PAONIA

SHEAHAN NIAL

POLLINATE PAONIA LLC

UNITED BUSINESS BANK

STEELE MELISSA DENISE

WILLIS ZACHERY R KEIL KASPAR

LEIGHTON

62

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