



LaKesha Small, Chairperson, Place 7
Felix Paiz, Vice Chair Place 4
Julie Leonard, Place 1
Prince John Chavis, Place 2
Cresandra Hardeman, Place 3
Celestine Sermo, Place 5
Cecil Meyer, Place 6

Planning & Zoning Commission Regular Meeting

Wednesday, September 13, 2023, at 6:30 PM

Manor City Hall, Council Chambers, 105 E. Eggleston St.

AGENDA

This meeting will be live streamed on Manor's YouTube Channel
You can access the meeting at <https://www.youtube.com/@cityofmanorsocial/streams>

CALL TO ORDER AND ANNOUNCE A QUORUM IS PRESENT

PUBLIC COMMENTS

Non-Agenda Item Public Comments (white card): Comments will be taken from the audience on non-agenda related topics for a length of time, not to exceed three (3) minutes per person.

Agenda Item Public Comments (yellow card): Comments will be taken from the audience on non-agenda and agenda items combined for a length of time, not to exceed five (5) minutes total per person on all items, except for Public Hearings. Comments on Public Hearing items must be made when the item comes before the Board/Commission/Committee and, not to exceed two (2) minutes per person. No Action or Discussion May be Taken by the Board/Commission/Committee during Public Comments on Non-Agenda Items.

To address the Board/Commission/Committee, please complete the white or yellow card and present it to the city staff designee prior to the meeting.

PUBLIC HEARING

- 1. Conduct a public hearing on amendments to Chapter 14 Zoning of the Manor code of ordinances to modify the provisions for the residential land use table relating to Single Family Attached (2 units) and Single Family Attached (3 or more units); industrialized housing standards; and office, commercial, institutional architectural standards.**
- 2. Conduct a public hearing on a Planned Unit Development (PUD) Amendment for the Manor Heights (Carillon) Subdivision located at 13201 Old Kimbro Road, Manor, TX.
Applicant: Kimley Horn and Associates, Inc
*Owner: RHOF, LLC***

- 3.** Conduct a public hearing on a Final PUD for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX.
Applicant: Sotol Ventures
Owner: Dalton Wallace
- 4.** Conduct a public hearing on a Subdivision Preliminary Plat for Shadowglen, three-hundred and six (306) lots on 103.7 acres, more or less, and being located near the intersection of Gregg Manor Road and Rector Loop.
Applicant: Kimley Horn
Owner: SG Land Holdings, LLC
- 5.** Conduct a public hearing on a Short Form Final Plat for the Light Grove Subdivision located at 414 & 416 W. Parsons Street, Manor, TX.
Applicant: Trine Engineering, PLLC
Owner: Al Noor MCC

CONSENT AGENDA

All of the following items on the Consent Agenda are considered to be self-explanatory by the Planning and Zoning Commission and will be enacted with one motion. There will be no separate discussion of these items unless requested by the Chairperson or a Commission Member; in which event, the item will be removed from the consent agenda and considered separately.

- 6.** Consideration, discussion, and possible action to approve the minutes of August 9, 2023, P&Z Commission Regular Meeting.

REGULAR AGENDA

- 7.** Consideration, discussion, and possible action on amendments to Chapter 14 Zoning of the Manor code of ordinances to modify the provisions for the residential land use table relating to Single Family Attached (2 units) and Single Family Attached (3 or more units); industrialized housing standards; and office, commercial, institutional architectural standards.
- 8.** Consideration, discussion, and possible action on a Planned Unit Development (PUD) Amendment for the Manor Heights (Carillon) Subdivision located at 13201 Old Kimbro Road, Manor, TX.
Applicant: Kimley Horn and Associates, Inc
Owner: RHOF, LLC
- 9.** Consideration, discussion, and possible action a Final PUD for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX.
Applicant: Sotol Ventures
Owner: Dalton Wallace
- 10.** Consideration, discussion, and possible action on a Subdivision Preliminary Plat for Shadowglen, three-hundred and six (306) lots on 103.7 acres, more or less, and being located near the intersection of Gregg Manor Road and Rector Loop.
Applicant: Kimley Horn
Owner: SG Land Holdings, LLC

- 11. Consideration, discussion, and possible action on a Short Form Final Plat for the Light Grove Subdivision located at 414 & 416 W. Parsons Street, Manor, TX.**
Applicant: Trine Engineering, PLLC
Owner: Al Noor MCC
- 12. Consideration, discussion, and possible action on a Final Plat for the Shadowglen Subdivision, Phase 2 Section 18B, twenty (20) lots on 6.102 acre, more or less, and being located near the intersection of Arbor Hill Cove and Pinyon Way, Manor, TX.**
Applicant: Kimley-Horn and Associates, Inc.
Owner: SG Land Holdings, LLC
- 13. Consideration, discussion, and possible action on a Final Plat for the Las Entradas-Gregg Manor Road Subdivision, being 2.663 acres of right-of-way dedicated to the city, and being located near the intersection of Gregg Manor Road and Tur Weg Lane, Manor, TX.**
Applicant: Sotol Ventures
Owner: Okra Land Inc.
- 14. Consideration, discussion, and possible action on a Rezoning Application for two (2) lots on .297 acres, more or less, at 108 W Boyce & 104 W Boyce St., Manor, TX from Single Family (SF-1) to Downtown Business (DB).**
Applicant: Jiwon Jung
Owner: Build Block

ADJOURNMENT

In addition to any executive session already listed above, the Planning & Zoning Commission reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Section §551.071 (Consultation with Attorney), §551.072 (Deliberations regarding Real Property), §551.073 (Deliberations regarding Gifts and Donations), §551.074 (Personnel Matters), §551.076 (Deliberations regarding Security Devices) and §551.087 (Deliberations regarding Economic Development Negotiations).

CONFLICT OF INTEREST

In accordance with Section 12.04 (Conflict of Interest) of the City Charter, “No elected or appointed officer or employee of the city shall participate in the deliberation or decision on any issue, subject or matter before the council or any board or commission, if the officer or employee has a personal financial or property interest, direct or indirect, in the issue, subject or matter that is different from that of the public at large. An interest arising from job duties, compensation or benefits payable by the city shall not constitute a personal financial interest.”

Further, in accordance with Chapter 171, Texas Local Government Code (Chapter 171), no Planning & Zoning Commission member and no City officer may vote or participate in discussion of a matter involving a business entity or real property in which the Planning & Zoning Commission member or City officer has a substantial interest (as defined by Chapter 171) and action on the matter will have a special economic effect on the business entity or real property that is distinguishable from the effect on the general public. An affidavit disclosing the conflict of interest must be filled out and filed with the City Secretary before the matter is discussed.

POSTING CERTIFICATION

I, the undersigned authority do hereby certify that this Notice of Meeting was posted on the bulletin board, at the City Hall of the City of Manor, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: Friday, September 8, 2023, by 5:00 PM and remained so posted continuously for at least 72 hours preceding the scheduled time of said meeting.

/s/ Lluvia T. Almaraz, TRMC
City Secretary for the City of Manor, Texas

NOTICE OF ASSISTANCE AT PUBLIC MEETINGS:

The City of Manor is committed to compliance with the Americans with Disabilities Act. Manor City Hall and the Council Chambers are wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 10 days prior to this meeting. Please contact the City Secretary at 512.215.8285 or e-mail lalmaraz@manortx.gov



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023
PREPARED BY: Scott Dunlop, Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Conduct a public hearing on amendments to Chapter 14 Zoning of the Manor code of ordinances to modify the provisions for the residential land use table relating to Single Family Attached (2 units) and Single Family Attached (3 or more units); industrialized housing standards; and office, commercial, institutional architectural standards.

BACKGROUND/SUMMARY:

Zoning Ordinance Amendments

Section 3: Adds two-family unit type as permitted in Townhome zoning.

- This was approved on first reading in the last Zoning Ordinance update, but the ordinance provided to the City Council for second reading was an earlier version that contained an error, so this corrects the previous ordinance.

Section 4: Related to section 3 in correcting an error from the last Ordinance.

Section 5: The City Council by Ordinance 713 approved on 8/2/23 moved the development standards for Industrialized (modular) housing from Chapter 14 Zoning to Chapter 3 Building Codes. This update to the zoning ordinance removes those standards and references to them in the Building Code chapter.

Section 6: This amendment adds that commercial, office, and institutional buildings less than 1,000 sf are exempt from the horizontal and vertical articulation standards.

LEGAL REVIEW: Yes, Veronica Rivera
FISCAL IMPACT: NO
PRESENTATION: NO
ATTACHMENTS: YES

- Ordinance

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission conduct a public hearing on amendments to Chapter 14 Zoning of the Manor code of ordinances to modify the provisions for the residential land use table relating to Single Family Attached (2 units) and Single Family Attached (3 or more units); industrialized housing standards; and office, commercial, institutional architectural standards.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF MANOR, TEXAS, AMENDING CHAPTER 14, ZONING, OF THE CODE OF ORDINANCES OF THE CITY OF MANOR, TEXAS, BY PROVIDING FOR AMENDMENTS TO THE RESIDENTIAL LAND USE TABLE; MOVING REGULATIONS FOR INDUSTRIALIZED HOUSING FROM CHAPTER 14, ZONING TO A STAND-ALONE SECTION OF THE CODE OF ORDINANCES; MODIFYING OFFICE, COMMERCIAL, AND INSTITUTIONAL ARCHITECTURAL STANDARDS; PROVIDING AN EFFECTIVE DATE, SAVINGS, SEVERABILITY, AND OPEN MEETINGS CLAUSES; AND PROVIDING FOR RELATED MATTERS.

Whereas, the Planning & Zoning Commission held a public hearing on the proposed amendments to the City's zoning ordinance, and forwarded its recommendation on the amendments to the City Council;

Whereas, after publishing notice of the public hearing at least fifteen days prior to the date of such hearing, the City Council at a public hearing has considered the proposed amendments to the City's Zoning Ordinance and finds that the amendments are reasonable and necessary to protect the health, safety, and welfare of the present and future residents of the City;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, THAT:

Section 1. Findings. The findings and recitations set out in the preamble of this Ordinance are found to be true and correct and that they are hereby adopted by the City Council and made a part hereof for all purposes.

Section 2. Amendment of Code of Ordinances. The City Council hereby amends Chapter 14, Zoning of the Manor Code of Ordinances (the "Zoning Ordinance") to amend the residential land use table and architectural standards as provided for in Sections 3 through 6 of this Ordinance.

Section 3. Amendment of Section 14.02.005 Residential Land Use Table. Section 14.02.005(b) of the Zoning Ordinance is hereby amended to revise the Residential Land Uses in Residential Zoning Districts use "Single-Family Attached (2 units)" to read as follows:

	A	SF-E	SF-1	SF-2	TF	TH	MF-1	MF-2	MH-1	MH-2
Single-Family Attached (2 units)					P	C				

Section 4. Amendment of Section 14.02.005 Residential Land Use Table. Section 14.02.005(b) of the Zoning Ordinance is hereby amended to revise the Residential Land Uses in Residential

Zoning Districts use “Single-Family Attached (3 or more units)” to read as follows:

	A	SF-E	SF-1	SF-2	TF	TH	MF-1	MF-2	MH-1	MH-2
Single-Family Attached (3 or more units)						P	C	C		

Section 5. Amendment of Section 14.02.061 Industrialized Homes. Section 14.02.061(d) of the City of Manor Code of Ordinances is hereby amended in its entirety to read as follows:

(d) *Industrialized homes.*

(1) This subsection applies to industrialized or modular homes, as defined in this chapter, that are constructed in agricultural (A), single-family estate (SF-E), single-family suburban (SF-1), single-family standard (SF-2), and two-family (TF) districts.

(2) The industrialized home must meet the criteria set forth in Article 3.09 of the Code.

Section 6. Amendment of Section 14.02.065 Office, Commercial, Institutional. Section 14.02.065(b)(3)(D) of the City of Manor Code of Ordinances is hereby amended in its entirety to read as follows:

(D) *Articulation standards.* Any primary façade shall include projections or recesses and vertical variations in the roof line in accordance with the horizontal and vertical articulation requirements set forth below. Buildings less than 1,000 square feet are exempt from articulation standards.

(i) *Horizontal articulation.*

a. A building facade may not extend for a distance greater than three times its average height without a perpendicular offset of at least ten percent of such building height.

b. The total length of all facade walls in a single plane may not exceed 60 percent of the total facade length.

c. Regardless of facade length, all primary facades shall have at least one horizontal offset of the required percentage.

(ii) *Vertical articulation.*

a. A horizontal wall may not extend for a distance greater than three times its height without a change in elevation of at least 15 percent of such height.

b. The total length of all vertical elevation changes in the roofline shall be no less than 20 percent and no more than 40 percent of the total facade length.

c. Regardless of the facade length, all primary facades shall have at least one vertical elevation change.

d. Flat roofs with a parapet wall are permitted, provided the roofline meets the vertical articulation requirements.

Section 7. Effective Date. This Ordinance shall take effect immediately from and after its passage.

Section 8. Amendment of Conflicting Ordinances. All ordinances or parts of ordinances in conflict with this Ordinance are hereby amended to the extent of a conflict herewith. In the event of a conflict between another ordinance of the City and this Ordinance, this Ordinance shall control.

Section 9. Savings Clause. All rights and remedies of the City of Manor are expressly saved as to any and all violations of the provisions of any ordinances within the City which have accrued at the time of the effective date of this Ordinance affecting zoning; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

Section 10. Severability. If any provision of this Ordinance or the application of any provision to any person or circumstance is held invalid, the invalidity shall not affect other provisions or applications hereof which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are declared to be severable.

Section 11. Open Meetings. It is hereby officially found and determined that the meeting at which this Ordinance is passed was open to the public as required and that public notice of the time, place, and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Tex. Gov't. Code.

PASSED AND APPROVED on this _____ day of _____, 2023.

ATTEST:

THE CITY OF MANOR, TEXAS

Lluvia Almaraz, City Secretary

Dr. Christopher Harvey, Mayor



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023
PREPARED BY: Scott Dunlop, Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Conduct a public hearing on a Planned Unit Development (PUD) Amendment for the Manor Heights (Carillon) Subdivision located at 13201 Old Kimbro Road, Manor, TX.

Applicant: Kimley Horn and Associates, Inc
Owner: RHOF, LLC

BACKGROUND/SUMMARY:

This amendment:

1. Adds 9.41 acres of C-2 commercial to a tract that fronts along Old Kimbro Road and connects to existing commercial along US 290. The area was left as undeveloped open space and not counted as parkland since there was a higher level of soil contamination from a prior use of property (gun range). The soil can be remediated to permit commercial uses, but not residential.
2. Updates the list of permitted uses in NB and C-2 to match current codes in regard to allowable uses, conditions on uses, specific use permits, and terminology/definitions.
3. Modifies tables to show increase in commercial acreages and decrease in open space acreages.
4. Updates architectural standards to provide for double-height garages, but limits the number to 20% of homes in sections 2-1A and 2-1B. Total of 32 houses.

LEGAL REVIEW: *Not Applicable*
FISCAL IMPACT: *NO*
PRESENTATION: *NO*
ATTACHMENTS: *YES*

- Letter of intent
- Amended PUD
- Mailing Labels and Notice

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission conduct a public hearing on a Planned Unit Development (PUD) Amendment for the Manor Heights (Carillon) Subdivision located at 13201 Old Kimbro Road, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**

December 15, 2022

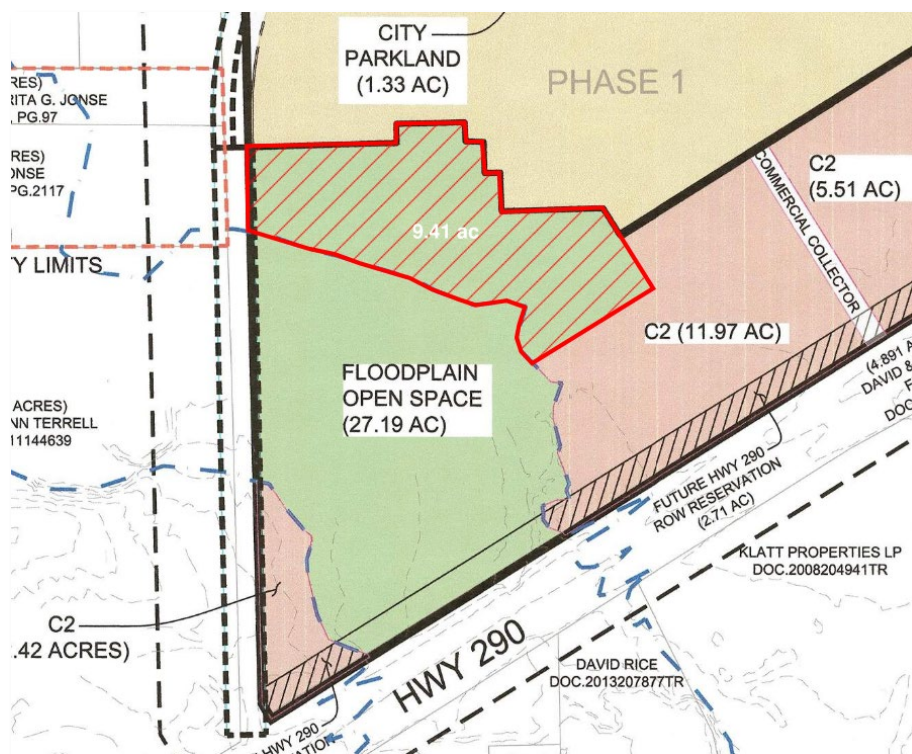
City of Manor
Attn: Scott Dunlop
105 E. Eggleston St.
Manor, Texas 78653

Re: Application for to amend the Manor Heights PUD to amend the base zoning on an approximately 9.41 acre portion of the PUD generally located at 13201 Old Kimbro Road (TCAD 236952)

To Whom It May Concern:

Please accept this Summary Letter for the above-referenced project. The Property to be rezoning is located at 13201 Old Kimbro Road in Manor, Travis County, Texas.

The proposed amendment intends to modify the base zoning of an approximately 9.41-acre parcel within the PUD from Floodplain/Open Space designation to Highway Commercial (C-2). Also, proposed are updates to the permitted use table to match the current UDC and modify the table to allow mini-storage warehouse as a permitted use with certain conditions.



As part of the PUD amendment, the uses in the respective zoning districts were modified to remove certain uses, add certain uses, or update to add uses that would comply with the current zoning district. Below, a table outlines the uses in each zoning district and what changes were made.

Modified C-2

Land Use	Status
Adult Day Care new use	Updated to match current C-2 zoning district
Alcoholic Beverage Establishment	Updated to match current C-2 zoning district
Amusement (indoor) (C)	Updated to match current C-2 zoning district
Amusement (outdoor) (C)	Updated to match current C-2 zoning district
Antique Shop new use	Updated to match current C-2 zoning district
Art Gallery	No change
Art Workshop	No change
Auto rental (C)	Conditional in current C-2 zoning district
Automobile repair minor (C)	Conditional in current C-2 zoning district
Automobile repair, major (C)	Updated to match current C-2 zoning district
Automobile sales (C)	Conditional in current C-2 zoning district
Automobile washing (C)	Conditional in current C-2 zoning district
Aviation services remove	Removed
Bail bond remove – Included in Financial Services, alternative	Removed (included in an updated land use category)
Brewery, micro new use	Updated to match current C-2 zoning district
Brewpub new use	Updated to match current C-2 zoning district
Business support services	Updated to match current C-2 zoning district
Building maintenance Services remove – Included in Business Support Services	Removed (included in an updated land use category)
Business and trade schools remove – Included in School, business or trade	Removed (included in an updated land use category)
Camp remove	Removed
Campground remove	Removed
Carriage stable remove	Removed
Cemetery remove	Removed

Child Care Center	Updated to match current C-2 zoning district
Club or Lodge	No change
College or University remove – Included in School, college or university	Removed (included in an updated land use category)
Commercial Blood Plasma (C) remove	Removed
Commercial off Street parking remove	Removed
Commercial service facilities remove – Included in Commercial Services or Facilities	Removed (included in an updated land use category)
Commercial services or facilities	Updated to match current C-2 zoning district
Communication Services remove	Removed
Community Events remove – Included in Event Center	Removed (included in an updated land use category)
Community Recreation remove – Undefined term, included in Amusement Indoor, Event Center	Removed (included in an updated land use category)
Construction and equipment sales (minor)	Updated to match current C-2 zoning district
Construction Sales and Services remove – Included in Construction and Equipment Sales (minor)	Removed (included in an updated land use category)
Consumer repair services	No change
Convenience Storage remove	Removed
Counseling Services remove	Removed
Day Care Services remove – Included in Child Care Center	Removed (included in an updated land use category)
Distillery, micro new use	Updated to match current C-2 zoning district
Employee Recreation remove - Undefined term, included in Amusement Indoor, Event Center	Removed (included in an updated land use category)
Event Center new use	Updated to match current C-2 zoning district
Financial Services (C)	Conditional in current C-2 zoning district
Financial Services, alternative (C)	Updated to match current C-2 zoning district
Florist (C)	Conditional in current C-2 zoning district
Food Court Establishment remove	Removed
Food preparation (C)	Conditional in current C-2 Zoning district
Food sales (C)	Conditional in current C-2 zoning district
Funeral services (C)	Conditional in current C-2 zoning district

Game Rooms (C/S)	C/S in current C-2 zoning district
Garden Center (C)	Updated to match current C-2 zoning district
Gasoline Station (limited) (C/S)	Updated to match current C-2 zoning district
General Retail sales (convenience)	Updated to match current C-2 zoning district
General Retail sales (general)	Updated to match current C-2 zoning district
Government Facilities	Updated to match current C-2 zoning district
Hotel & motel remove – Included in Hotel	Removed (included in an updated land use category)
Hotel (C)	Updated to match current C-2 zoning district
Indoor entertainment remove – Included in Amusement (indoor)	Removed (included in an updated land use category)
Indoor sports and recreation remove - Included in Amusement (indoor)	Removed (included in an updated land use category)
Kennels (C)	Conditional in current C-2 zoning district
Laundry Services	No change
Laundry Services (self)	Updated to match current C-2 zoning district
Liquor Sales	No change
Local utility services remove – Included in Utility Services, minor	Removed (included in an updated land use category)
Marina remove	Updated to match current C-2 zoning district
Mini-storage warehouse (C)*	Updated to match current C-2 zoning district
Monument retail sales remove – Included in General Retail Sales	Removed (included in an updated land use category)
Offices, government	Updated to match current C-2 zoning district
Off-site accessory parking	No change
Outdoor entertainment remove – Included in Amusement (outdoor)	Removed (included in an updated land use category)
Outdoor sports and recreation remove - Included in Amusement (outdoor)	Removed (included in an updated land use category)
Park and recreation facilities remove - Included in Amusement (outdoor)	Removed (included in an updated land use category)
Pawnshop (C)	No change
Personal Improvement Services	No change
Personal Services	No change
Pet Services remove – Included in Pet Store	Removed (included in an updated land use category)

Pet Store (C)	Updated to match current C-2 zoning district
Plant Nursery remove – Included in Garden Center	Removed (included in updated land use category)
Postal Facilities remove – Included in Government Facilities	Removed (included in updated land use category)
Printing and Publishing (C)	Conditional in current C-2 zoning district
Private primary and secondary education remove – Included in School, private or parochial	Removed (included in updated land use category)
Public primary and secondary education remove – Included in School, public	Removed (included in updated land use category)
Recreation equipment sales (C)	Conditional in current C-2 zoning district
Religious assembly	No change
Restaurant	No change
Restaurant drive-in or drive-through (C)	Conditional in current C-2 zoning district
Safety Services remove - Included in Government Facilities and Offices, government	Removed (included in updated land use category)
School, boarding new use	Updated to match current C-2 zoning district
School, business or trade	Updated to match current C-2 zoning district
School, college or university	Updated to match current C-2 zoning district
School, private or parochial	Updated to match current C-2 zoning district
School, public	Updated to match current C-2 zoning district
Semi-permanent food establishment (C)	Updated to match current C-2 zoning district
Service Station remove – Included Gas Station (limited)	Removed (included in updated land use category)
Smoke shop or tobacco store new use	Updated to match current C-2 zoning district
Theater	No change
Transportation terminal (C)	Updated to match current C-2 zoning district
Truck and trailer sales and rental (C)	Updated to match current C-2 zoning district
Transportation services remove	Removed
Utility Services, minor	Updated to match current C-2 zoning district
Veterinary Services, large (C)	Updated to match current C-2 zoning district

Veterinary Services, small (C)	Updated to match current C-2 zoning district
Wireless Transmission Facility, attached (C) new use	Updated to match current C-2 zoning district
Wireless Transmission Facility, stealth (C) new use	Updated to match current C-2 zoning district
All other civic remove - Included in Government Facilities and Offices, government	Removed (included in updated land use category)

If you have any questions or comments regarding this request, please contact me at 512-617-8504.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Ethan Harwell
Project Manager

December 15, 2022

Ethan Harwell
Kimley-Horn and Associates, Inc.
10814 Jollyville Road, Campus IV, Suite 200
Austin, TX 78759

Re: Agent Authorization – Application to Amend an approximately 9.41 ac portion of the Manor Heights PUD generally located at 13201 Old Kimbro Road.

Dear Mr. Harwell:

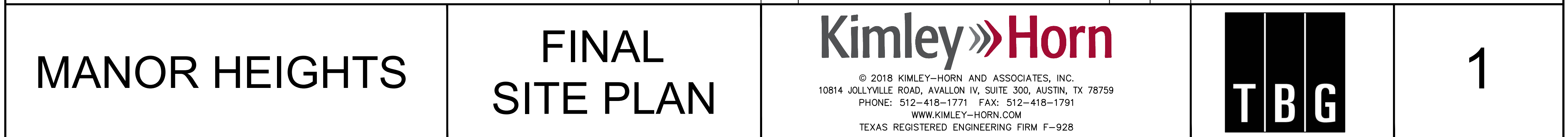
This letter shall serve as authorization for Kimley-Horn and Associates, Inc. to represent and act on behalf of RHOF LLC for the purpose of preparing and submitting all required applications associated with the rezoning application for the approximately 9.41 acre tract within the Manor Heights PUD generally located at 13201 Old Kimbro Road.

Please contact Jordan Litwiniak at 716-675-1200 if additional information is required.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jordan Litwiniak', with a large, stylized flourish extending to the left.

RHOF LLC
Name: Jordan Litwiniak
Title: Manager



PUD DATA TABLES

1. APPROVED LAND USES

THE LAND USES SHOWN ON THE PLAN SHALL BE PERMITTED. CHANGES TO THE LOCATION OF THE LAND USES SHOWN ON THE PLAN SHALL BE GRANTED BY THE PLANNING AND ZONING COMMISSION IF: (A) THE PROPOSED LAND USES ARE CONSISTENT WITH THE FOLLOWING TABLE; OR (B) THE CHANGE IN LOCATION OF LAND USES DOES NOT RESULT IN A HIGHER DENSITY USE THAN THE USE SHOWN ON THE PLAN. ANY APPLICATION FOR A CHANGE IN LOCATION OF LAND USES IS DEEMED APPROVED IF THE PLANNING AND ZONING COMMISSION DOES NOT DISAPPROVE IT WITHIN 30 DAYS AFTER THE DATE THE APPLICATION IS FILED WITH THE CITY SECRETARY. IF THE PLANNING AND ZONING COMMISSION DISAPPROVES AN APPLICATION FOR A CHANGE OF LAND USES, THEN THE APPLICANT MAY APPEAL THAT DISAPPROVAL TO THE CITY COUNCIL. THE CITY COUNCIL WILL ACT ON THE APPEAL WITHIN 30 DAYS OF THE DATE THE APPEAL IS FILED WITH THE CITY SECRETARY.

LAND USE	ORIGINAL PUD ACREAGE	AMENDMENT	TOTAL ACREAGE	PERCENTAGE OF TOTAL ACREAGE
SINGLE-FAMILY RESIDENTIAL (PUD SF-1)	234.0	0.0	234.0	48.98%
PUD MEDIUM DENSITY	46.6	0.0	46.6	9.74%
HIGHWAY COMMERCIAL (C-2)	19.8	9.4	29.2	6.11%
NEIGHBORHOOD BUSINESS (NB)	3.9	0.0	3.9	0.82%
HOA AMENITY	1.7	0.0	1.7	0.36%
CITY PARKLAND	25.9	0.0	25.9	5.42%
FLOODPLAIN OPEN SPACE	126.2	-9.4	116.8	24.45%
MAJOR ROADWAYS	19.7	0.0	19.7	4.12%
TOTAL	477.8	0.0	477.8	100%

2. MINIMUM LOT SIZE, HEIGHT AND PLACEMENT REQUIREMENTS

LAND USE	FRONT YARD SETBACK (FT)	SIDE YARD SETBACK (FT)	STREET SIDE YARD SETBACK (FT)	REAR YARD SETBACK (FT)	MINIMUM LOT SIZE (SF)	MINIMUM LOT WIDTH (FT)	MAXIMUM HEIGHT LIMIT (FT)
PUD SF-1	20	5	15	10	6,250	50	35
PUD MEDIUM DENSITY	*10 OR 20	5	15	* 20 OR 10	3,300	30	35
C-2 AND NB	25	7	15	15	7,500	50	60

* FOR LOTS WITH PROPOSED 10-FOOT FRONT YARD SETBACKS, ALLEYS ARE TO BE PROVIDED ALONG WITH REQUIRED 20' REAR YARD SETBACK TO ACCOMMODATE FOR PARKING REQUIREMENTS. FOR LOTS WITH 10-FOOT REAR YARD SETBACKS, A 20' FRONT YARD SETBACK MUST BE PROVIDED TO ACCOMMODATE FOR PARKING REQUIREMENTS

3. LOT COVERAGE

LAND USE	MAIN BUILDINGS	MAIN AND ACCESSORY BUILDINGS
PUD SF-1	50%	60%
PUD MEDIUM DENSITY	55%	65%
C-2 AND NB	60%	70%
CITY PARKLAND	50%	60%

4. PARKING

OFF-STREET PARKING FOR MORE THAN FIVE VEHICLES AND LOADING AREAS SHALL BE EFFECTIVELY SCREENED BY A PRIVATE FENCE, HEDGE, PLANTING OR NATURAL VEGETATION OR TOPOGRAPHY ON EACH SIDE WHICH ADJOINS LAND DESIGNATED FOR A RESIDENTIAL USE OR A RESIDENTIAL USE.

5. LANDSCAPING

THE FOLLOWING PERCENTAGE OF THE NET AREA OF EACH LOT SHALL BE LANDSCAPED. THE NET LOT AREA SHALL EQUAL THE TOTAL LOT AREA LESS THE AREA TO BE LEFT UNIMPROVED BECAUSE OF THE EXISTENCE OF NATURAL FEATURES THAT ARE WORTHY OF PRESERVATION OR THAT WOULD MAKE IMPROVEMENTS IMPRACTICAL.

LAND USE	NET LOT AREA
PUD SF-1	SEE NOTE
PUD MEDIUM DENSITY	20%
C-2 AND NB	15%
PARKLAND	20%

NOTE: MINIMUM LANDSCAPE REQUIREMENTS FOR EACH LOT WITHIN A SINGLE-FAMILY, OR DWELLING, SHALL BE A MINIMUM OF TWO (2) TWO-INCH TREES, SIX (6) TWO-GALLON SHRUBS AND LAWN GRASS FROM ALL SIDES OF THE STRUCTURE, TO THE FRONT, REAR, AND SIDE PROPERTY LINES. RESIDENTIAL STRUCTURES ON REVERSE FRONTAGE LOTS SHALL ALSO BE REQUIRED TO SCREEN THE REAR OF THE STRUCTURE FROM THE ABUTTING HIGHWAY, ACCESS ROAD, OR OTHER PUBLIC RIGHT-OF-WAYS.

LANDSCAPING PLACED WITHIN PUBLIC RIGHT-OF-WAY SHALL NOT BE CREDITED TO THE MINIMUM LANDSCAPE REQUIREMENTS BY THIS SECTION UNLESS THE DEVELOPER AND THE CITY NEGOTIATE A LICENSE AGREEMENT BY WHICH THE DEVELOPER ASSUMES THE RESPONSIBILITY FOR THE MAINTENANCE, REPAIR AND REPLACEMENT FOR ALL LANDSCAPING LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY.

6. LOT MIX FOR SF-1 PUD AREAS

THE FOLLOWING PERCENTAGE OF THE MIX LOT SHALL BE MET WITHIN SF-1 PUD AREAS WITHIN +/- 5%.

LOT WIDTH	PERCENTAGE MIX
50' WIDE	70%
55' WIDE	15%
60' WIDE	15%

7. MAXIMUM DENSITY

LAND USE	MINIMUM DENSITY	MAXIMUM DENSITY
PUD SF-1	1500 SF (LIVING AREA)	-
PUD MEDIUM DENSITY	1 UNIT/ACRE	9 UNITS PER ACRE
C-2 AND NB	0.2 FAR	1.8 FAR

8. PARKLAND

PARKLAND	
LAND USE	AREA (AC)
TOTAL AREA OF DEVELOPMENT	477.75
REQUIRED PARKLAND (5% OF TOTAL AREA)	23.9
PROPOSED PARKLAND OUTSIDE FLOODPLAIN	25.9
*EXCESS OF REQUIRED PARKLAND	2.0

9. TRAFFIC

ESTIMATED LAND USE TABLE FOR PRELIMINARY TRAFFIC IMPACT

Land Use Type	Square Feet or Units	% of Category	FAR
PUD SF-1	935-995	100%	
Restaurant (Commercial)	20,735	8%	0.2
Retail (Commercial)	154,564	61%	0.25
Self Storage (Commercial)	78,670	31%	0.2
PUD MEDIUM DENSITY	340-400	100%	-
CITY PARKLAND	N/A	100%	-

NOTE: THESE VALUES ARE INTENDED FOR PRELIMINARY TRIP GENERATION REPORTS ONLY AND MAY VARY FROM VALUES PROVIDED IN THE FINAL SITE DESIGN AND TRAFFIC IMPACT ANALYSIS.

10. WET UTILITIES

ESTIMATED LUE'S FOR PRELIMINARY ANALYSIS

SITE SUMMARY 477.8 ACRES			
LAND USE	ACRES	NO. LOTS	LUE'S
PUD SF-1	234.0	935-995	935-995
PUD MEDIUM DENSITY	46.6	340-400	238-280*
C-2 AND NB	33.1	N/A	250**
HOA AMENITY	1.7	-	5***
CITY PARKLAND	25.9	-	6***
OPEN SPACE FLOODPLAIN	116.8	-	-
MAJOR ROADWAYS	19.7	-	-
TOTALS	477.8		1435-1536

* PUD MEDIUM DENSITY (9 UNITS/ACRE) (7 LUE/UNIT)
** COMMERCIAL : 10% RESTAURANT (200 SF/LUE), 90% RETAIL (1660 SF/ LUE)
*** CITY PARKLAND (6 LUE's)

NOTE: THESE VALUES ARE INTENDED FOR PRELIMINARY ANALYSIS ONLY AND MAY VARY FROM VALUES PROVIDED IN THE FINAL SITE DESIGN.

PERMITTED NEIGHBORHOOD BUSINESS (NB)

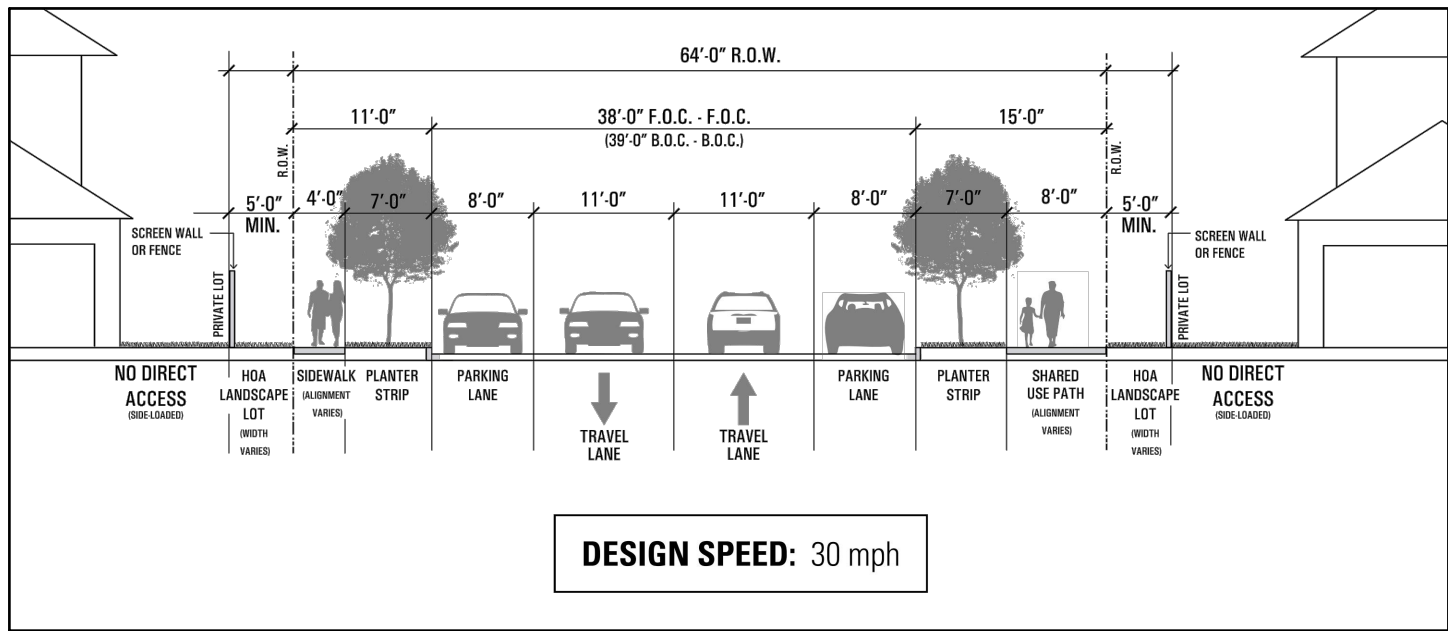
Amusement (indoor) C
Antique Shop P
Art Gallery P
Art Workshop P
Business Support Services P
Child Care Center P
Club or Lounge P
Community Garden C
Communication services or facilities P
Consumer Repair Services P
Event Center C
Financial Services C
Florist C
Food Preparation C
Food Sales C
Funeral Services C
General Retail (convenience) P
General Retail (General) P
Government Facilities P
Hospital Services P
Hotel C
Laundry Services (self) P
Liquor Sales C
Medical Clinic P
Offices, government P
Offices, medical P
Offices, professional P
Personal Improvement Services P
Personal Services P
Pet Store P
Printing and Publishing C
Product development services (general) P
Religious Assembly P
Restaurant P
Research services (general) P
School, boarding P
School, business or trade P
School, college or university P
School, private or parochial P
School, public P
Veterinary Services, small C
Wireless transmission facilities, attached C
Wireless transmission facilities, stealth C

PERMITTED MEDIUM COMMERCIAL (C2)

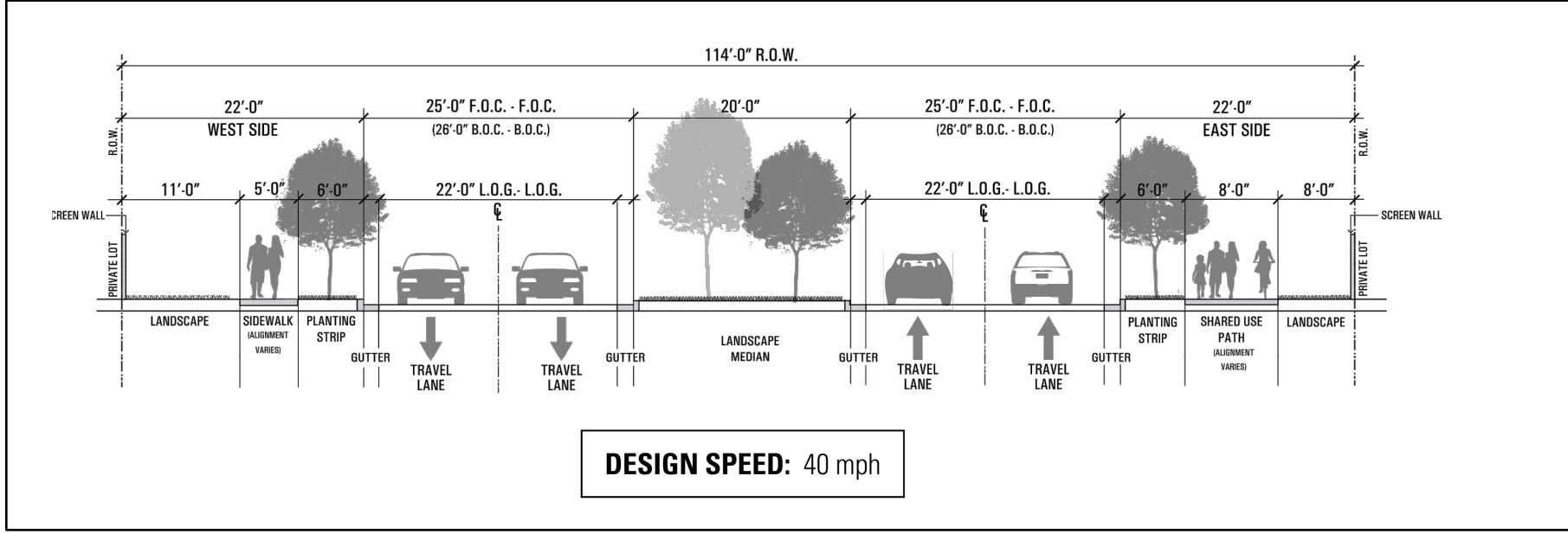
Adult Day Care P
Alcoholic Beverage Establishment P
Amusement (Indoor) C
Amusement (Outdoor) C
Antique Shop P
Art Studio or Gallery P
Automobile Repair (major) C
Automobile Repair (minor) C
Automobile Washing C
Brewery, micro P
Brewpub P
Business Support Services P
Child Care Center P
Club or Lodge P
Commercial Off-Street Parking C
Communication Services or Facilities P
Construction and Equipment Sales (minor) P
Consumer Repair Services P
Distillery, micro P
Event Center P
Financial Services C
Florist C
Food Court Establishment C/S
Food Preparation C
Food Sales C
Funeral Services C
Garden Center C
Gasoline Station (full service) C/S
Gasoline Station (limited) C/S
General Retail Sales (convenience) P
General Retail Sales (general) P
Governmental Facilities P
Hotel C
Kennel C
Liquor Sales P
Mini-storage Warehouse C *See note 25
Offices, Government P
Offices, Showroom P
Off-site Accessory Parking P
Personal Improvement Services P
Personal Services P
Pet Store C
Printing and Publishing C
Religious Assembly P
Restaurant P
Restaurant--Drive-in or Drive-through C
School, boarding P
School, business or trade P
School, college or university P
School, private or parochial P
School, public P
Smoke shop or tobacco store P
Theatre P
Utility Services, minor P
Veterinary Services, large C
Veterinary Services, small C
Wireless Transmission Facility, attached C
Wireless Transmission Facility, stealth C

PUD NOTES

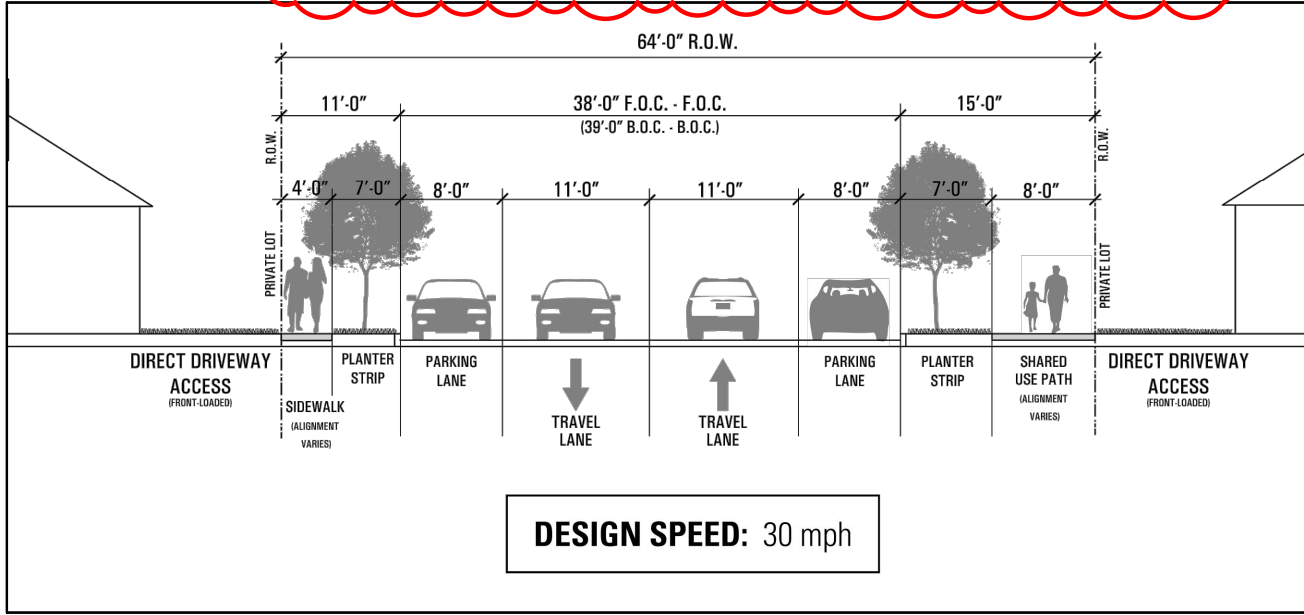
- AN AERIAL PHOTOGRAPH MAY BE SUBMITTED AT THE PRELIMINARY PLAT STAGE RATHER THAN A TREE SURVEY.
- AN INVENTORY OF SIGNIFICANT TREES THAT IDENTIFIES THE NUMBER OF SIGNIFICANT TREES BY CATEGORY (TREES 18 INCHES IN CALIPER OR LARGER AND TREES BETWEEN 8 AND 18 INCHES IN CALIPER) TO REMAIN DURING CONSTRUCTION AND THE NUMBER OF SIGNIFICANT TREES IN EACH CATEGORY DESIGNATED TO BE REMOVED DURING CONSTRUCTION SHALL BE SUBMITTED WITH CONSTRUCTION PLANS.
- THE NUMBER OF REPLACEMENT TREES THAT WILL BE INSTALLED, WITHOUT THE IDENTIFICATION OF THE PARTICULAR LOCATION AT WHICH THE REPLACEMENT TREES SHALL BE INSTALLED, WILL BE SUBMITTED WITH FOR REVIEW WITH THE CONSTRUCTION PLANS, ON A PER PHASE BASIS.
- SIGNIFICANT COTTONWOOD, HACKBERRY OR MESQUITE TREES REMOVED SHALL BE REPLACED AT A RATE OF 50% PER CALIPER INCH WITH AN APPROVED HARDWOOD TREE. ALL OTHER SIGNIFICANT TREES MUST BE REPLACED AT THE RATIOS DEFINED IN THE CITY'S SUBDIVISION ORDINANCE.
- THE MINIMUM LOT AREA AND LOT WIDTH REQUIREMENTS (INCLUDING THE PERCENTAGE OF TOTAL LOTS WITHIN THE LAND PLAN THAT ARE PERMITTED TO BE OF SUCH MINIMUM LOT AREA AND LOT WIDTH CATEGORY), HEIGHT AND SETBACK REQUIREMENTS, LOT COVERAGE REQUIREMENTS, PARKING REQUIREMENTS, AND LANDSCAPING REQUIREMENTS FOR EACH LOT SHALL BE AS SET FORTH IN THE MINIMUM DEVELOPMENT STANDARDS FOR LOTS WITHIN THE LAND PLAN AND OUTSIDE THE CORPORATE BOUNDARIES OF THE CITY OR AS SET FORTH IN THE PUD VARIANCES FOR LOTS WITHIN THE PUD AND THE CORPORATE BOUNDARIES OF THE CITY.
- LOTS SHALL NOT BE REQUIRED TO FACE A SIMILAR LOT ACROSS THE STREET.
- SIDE LOT LINES SHALL NOT BE REQUIRED TO PROJECT AWAY FROM THE FRONT LOT LINE AT APPROXIMATELY RIGHT ANGLES TO STREET LINES AND RADIAL TO CURVED STREET LINES.
- THE CONSTRUCTION OF SIDEWALKS IN RESIDENTIAL AND COMMERCIAL AREAS NEED NOT BE COMPLETED PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF A FINAL PLAT, BUT MUST BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR WITHIN 2 YEARS FROM THE APPROVAL OF THE FINAL PLAT. A COST ESTIMATE FOR THE CONSTRUCTION OF ANY SIDEWALKS IN RESIDENTIAL AREAS NOT CONSTRUCTED PRIOR TO THE FINAL APPROVAL AND ACCEPTANCE OF THE FINAL PLAT SHALL BE PREPARED AND A BOND FOR 110% OF SUCH COSTS SHALL BE POSTED WITH THE CITY. EACH YEAR THE DEVELOPER AND CITY MAY AGREE TO THE ADDITIONAL SIDEWALKS IN RESIDENTIAL AREAS THAT WERE COMPLETED DURING THE PREVIOUS YEAR AND REDUCE THE AMOUNT OF THE BOND TO REFLECT THE CONSTRUCTION COSTS OF THE SIDEWALKS THAT HAVE BEEN COMPLETED. SIDEWALKS IN RESIDENTIAL AREAS NOT COMPLETED PRIOR TO THE END OF THE 2-YEAR PERIOD SHALL BE COMPLETED BY THE DEVELOPER OR BY THE CITY WITH THE BOND FUNDS. FAILURE TO PROVIDE SUFFICIENT BONDS OR COMPLETE THE SIDEWALKS IN RESIDENTIAL AREAS SHALL NOT OBLIGATE THE CITY TO BUILD SIDEWALKS. THE CONSTRUCTION OF SIDEWALKS IN NON-RESIDENTIAL AREAS SHALL BE COMPLETED DURING SUBDIVISION CONSTRUCTION.
- THE MINIMUM SINGLE-FAMILY RESIDENTIAL LOT SHALL BE 6,250 SQUARE FEET WITHIN PUD-SF-1, AND 3300 SQUARE FEET WITHIN PUD-MEDIUM DENSITY.
- LOT FRONTAGE WIDTHS OF PUD SF-1 SHALL BE AS FOLLOWS:
 - ALL LOTS EXCEPT THOSE IN CUL-DE-SACS OR ALONG A CURVED ROADWAY TO HAVE A MINIMUM FRONTAGE OF NO LESS THAN 50 FEET.
 - LOTS ALONG CUL-DE-SACS AND CURVED ROADWAY TO HAVE A MINIMUM FRONTAGE OF NO LESS THAN 30 FEET AT THE RIGHT OF WAY, AND 50' WIDE FRONTAGE MEASURED AT THE PROPERTY SETBACK LINE.
- SINGLE-FAMILY RESIDENTIAL LOTS HAVE A MINIMUM SIDE SET BACK OF FIVE (5) FEET FOR EACH LOT.
- SINGLE-FAMILY RESIDENTIAL LOTS HAVE A MINIMUM REAR SET BACK OF TEN (10) FEET FOR EACH LOT.
- OFF-STREET PARKING SPACES AND LOADING FACILITIES FOR THE COMMERCIAL TRACTS HAVE BEEN CONTEMPLATED AND WILL MEET CITY OF MANOR'S PARKING CALCULATION TABLES REQUIREMENTS.
- EXISTING SITE TOPOGRAPHY CONTAINS RELATIVELY FLAT SLOPES RANGING FROM 1% TO 5%. PROPOSED ROADWAY GRADES WILL BE SUITABLE FOR EMERGENCY ACCESS AND WILL MEET CITY OF AUSTIN TRANSPORTATION CRITERIA MANUAL AND EMERGENCY SERVICE DISTRICT 12 REQUIREMENTS.
- LANDSCAPING AND SCREENING WILL BE INTEGRATED INTO THE FINAL OVERALL SITE DESIGN AND WILL BE PROVIDED TO CREATE ADEQUATE BUFFERS TO SHIELD LIGHTS, NOISE, MOVEMENT OR ACTIVITIES FROM ADJACENT PROPERTIES.
- NO DUPLEXES ARE ALLOWED IN THIS PUD.
- THE DEVELOPMENT WILL BE IN ACCORDANCE WITH THE ENVIRONMENTAL ASSESSMENT FOR THE SITE.
- MINIMUM ON-SITE PARKING REQUIREMENTS FOR PUD MEDIUM DENSITIES SHALL BE TWO SPACES FOR EACH LIVING UNIT AND ONE-HALF SPACE FOR EACH ADDITIONAL BEDROOM ABOVE TWO PLUS 10% ADDITIONAL SPACES FOR VISITOR PARKING. TANDEM SPACES ARE ALLOWABLE. OFF-SITE PARKING TO MEET THIS PARKING REQUIREMENT IS SUBJECT TO APPROVAL BY THE CITY DEVELOPMENT SERVICES DEPARTMENT.
- ALL RESIDENTIAL HOMES WITHIN THIS PUD WILL FOLLOW THE DESIGN STANDARDS THAT ARE AGREED UPON BETWEEN THE DEVELOPER AND CITY OF MANOR.
- THERE WILL BE A (4) FOUR HOUR MAXIMUM TIME LIMIT FOR THE PARKING ON RESIDENTIAL STREETS.
- PUBLIC TRAILS SHOWN ALONG FLOODPLAIN, CITY PARKLAND, AND OPEN SPACE SHALL BE A MINIMUM OF 8' WIDE AND SHALL BE COMPOSED OF A COMBINATION OF DECOMPOSED GRANITE AND CONCRETE DEPENDING ON SITE CONDITIONS AT TRAIL LOCATIONS.
- THE MINIMUM FRONT FACADE MASONRY IS 30%, MASONRY MUST BE STONE, BRICK, OR STUCCO.
- HOUSE PLANS SUBMITTED TO THE CITY SHALL BE STAMPED OR INDICATED BY LETTER OF TRANSMITTAL (OR SIMILAR LANGUAGE) THAT THE ARCHITECTURAL REVIEW COMMITTEE (ARC) HAS REVIEWED AND APPROVED THE HOUSE PLANS AS COMPLYING WITH THE PUD ARCHITECTURAL DESIGN REQUIREMENTS FOR CITY REVIEW.
- LOTS UNDER THE PUD MEDIUM DENSITY CATEGORY SHALL BE ALLEY LOADED WHEN THE PROPOSED FRONT YARD SETBACK IS 10 FEET.
- THE MINI-STORAGE WAREHOUSE IS PERMITTED WITH ALL CONDITIONS ESTABLISHED IN UDC 14.02.018 FOR THE USE. ADDITIONALLY, NO PORTION OF THE MINI-STORAGE WAREHOUSE USE SHALL BE LOCATED WITHIN 500-FEET OF U.S. HIGHWAY 290.
- 20% OF THE HOMES LOCATED IN SECTIONS 2-1A AND 2-1B OF PHASE 2 OF THE PROJECT MAY INCLUDE THE "DOUBLE HEIGHT GARAGE PLAN", AS SUCH PLAN IS GENERALLY ILLUSTRATED ON SHEET 4 OF THIS PUD.



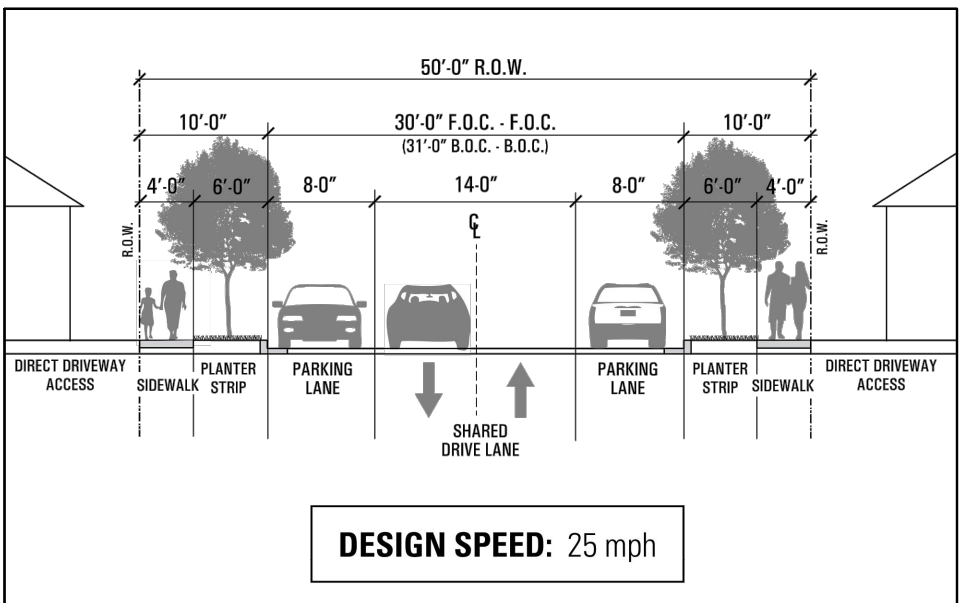
PRIMARY COLLECTOR (WITH NO SF-1 FRONTAGE)



MAD 4 DESIGN



PRIMARY COLLECTOR (WITH SF-1 FRONTAGE)



STANDARD RESIDENTIAL ROADWAY SECTION

APPROVAL AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL FOR THE CITY OF MANOR, TEXAS.
DATED THIS ____ DAY OF _____, 20__
BY:
HONORABLE MAYOR RITA G. JONSE
MAYOR OF THE CITY OF MANOR, TEXAS

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY OF COUNCIL.
DATED THIS ____ DAY OF _____, 20__
BY:
WILLIAM MYERS, CHAIRPERSON

DESCRIPTION	DATE	BY
UPDATE PLANA/CREAGE CALCULATIONS TO REFLECT OPEN SPACE LOT AT SOUTHEAST CORNER AS COMMERCIAL (C-2). ADD IN DOUBLE HEIGHT GARAGE NOTES.	06/30/23	SFS

MANOR HEIGHTS

PUD GUIDELINES & NOTES

Kimley»Horn
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TEXAS REGISTERED ENGINEERING FIRM F-928

T B G



Front Facades are defined as residential elevations facing a street or park. Facades adjacent to a park with a wall or fence between the façade and park is not a front façade. Both street facing facades on corner lots are considered front facades and must be articulated; continue the siding material palette on both street-facing facades and incorporate architectural elements. The percentage of design elements, materials and detailing are not required to be consistent on both facades.

Streetscape Variety. The same elevation can be repeated no more than every fourth Lot. The same elevation cannot be placed on a Lot directly across the street or diagonal from any other plan with the same elevation. No elevations may be repeated on a cul-de-sac having less than six (6) Lots. No color palette may be repeated more than seven times on any block of more than 21 lots.



Variety of facade articulation. Front elevations shall have at least two different design features to break the wall plane. The following are examples of the types of design features that meet this requirement:

- Horizontal offsets, recesses or projections, breezeways, porte-cochères, canopies, ornamental cornices, ornamental and bay windows, vertical “elevation” off-sets, peaked roof forms, arches, architectural details such as tile work or moldings integrated into the façade, integrated planters or wing walls, accent materials, varied roof heights, or similar design features

Front Facades should create visual interest through horizontal and vertical articulation of the building elevation. A variety of textured surfaces and natural materials may be used, particularly at the pedestrian eye-level, with windows and entrances that face the street. Blank walls should be minimized.

Front Facades

1 August 2018

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Garage doors flush with the street-facing façade require design features on the façade that de-emphasizes the visual impact of the garage. At least one of the following is required on a flush garage:

- Integrated trim or banding around the garage door that matches the residential building
- Garage door relief detailing; windows are a preferred element
- An overhead eave or porte-cochere extended above the face of the garage door in front of the garage door face
- Decorative hardware such as hinges, handles, etc.

Front-loaded Garage - Flush with Facade

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On lots less than 55’ in frontage, entries must be one-story scaled entries and either recessed or covered with a porch, canopy, or other shading device. A variety of front door types is required.

Articulated use of details and accent materials should be used at building entries to emphasize human-scale. Building entrances may be marked by porch elements, trellises, canopies, awnings or special roof treatments. Oversized and grandiose archways are discouraged.



Front Entries

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Garages projecting in front of the street facing building façade may protrude in front of the building provided that design features are provided on all exposed garage facades to de-emphasize the visual impact of the garage. A projecting garage may be side loaded (garage doors perpendicular to the street). Some combination of the following is required on a projecting garage:

- Extend and integrate the building siding materials on the garage façades
- Integrated trim or banding around the garage door that matches the residential building
- Garage door windows
- Single garage doors
- An architectural roof above the garage, such as a gabled roof

Front-loaded Garage - Projecting

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Materials. Exterior surface area (all stories) may consist of ledge stone, fieldstone, cast stone, cementitious-fiber planking and board and batten (not panels), painted or tinted stucco and brick. Solid wood planking, decorative cementitious-fiber panels, galvanized metal and other durable materials may be used for accent features. The minimum front facade masonry is 30%, masonry must be stone, brick or stucco.

Detailing. Design elements and detailing, including the presence of windows and window treatments, trim detailing and exterior wall materials should be continued around the primary building; the percentage of design elements, materials and detailing may vary from façade to façade to encourage architectural variety and are not required to be consistent.

Residential buildings that back up to a collector street or higher street category shall be limited to one-story height to minimize the visual impact of rear facades being prominently viewed by the public.

Exteriors of Residential Buildings

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Stain or paint colors for garage doors shall be compatible with the color palette of the building façade siding or trim of the home to deemphasize the garage door and emphasize the architectural building façade. Detailing and articulation of the garage doors is required.

General. Individual or two-car garage doors are permitted. The use of three garage doors is permitted provided at least one of the doors is offset two feet from the other doors. The driveway width at the curb line may be no wider than 17’ or the width of a 2-door garage.

Garage Door Articulation

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A garage door recessed from the face of the front façade that emphasizes the living area of the home from the street is a permitted garage type.

Front-loaded Garage - Living Area Forward

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Simple roof lines are encouraged and can be achieved by including hips, gables, projections (e.g. dormers) and roof form changes in keeping with a selected architectural style. On buildings with pitched roofs, the minimum main roof pitch is 5:12. Lower roof pitches are acceptable on porch elements, awnings or architectural feature elements.

Pitched roofs shall be clad in 25-year minimum composition shingles or low reflectivity coated metal roofing materials. The materials and colors of canopies, awnings and trellises should be compatible with the roof materials and complement and harmonize with the exterior design of the building.

An overhead eave or porte-cochere may extend above the face of the garage door in front of the garage door face. The overhead eave or the porte-cochere may extend five feet into the building setback line.

Roofs and Overhead Structures

1 August 2018

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	DESCRIPTION	DATE	BY
⚠	UPDATE PLAN/ACREAGE CALCULATIONS TO REFLECT OPEN SPACE LOT AT SOUTHEAST CORNER AS COMMERCIAL (C-2). ADD IN DOUBLE HEIGHT GARAGE NOTES.	06/30/23	SFS

MANOR HEIGHTS

EXHIBIT B
PUD DESIGN
STANDARDS

Kimley»Horn

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TEXAS REGISTERED ENGINEERING FIRM F-928



3



Medium Density Residential

1 August 2018

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MEDIUM DENSITY RESIDENTIAL

All guidelines set forth in in these Design Guidelines apply to this housing type. In addition, the following apply to Medium Density Residential buildings and site design:

Architectural style

A variety of quality and durable residential buildings within a condominium lot or small lot site must include a variety of architectural features and colors to establish an appealing streetscape character.

Form and mass

A single, large building mass should be avoided. Building designs should incorporate visually heavier and more massive elements, details or colors at the building base, and visually lighter elements, details or colors above the base. Groups of buildings must have variety of colors. Four-flat and Mansion Home buildings are permitted.

Long walls and facades

Up to six attached dwellings may be attached in a single row as a group.

Windows and transparency

All walls and elevations on all floors of attached residential buildings must include windows or doors with glass, except as appropriate to assure privacy for adjacent residents.

The PUD shall provide for a collection of privately owned, common open space lots set within the PUD and made available for residential use. Common open space will be designed to (i) serve the recreational needs of the residents (ii) provide places and opportunities for interaction within the community and (iii) provide opportunities for interaction with the natural environment.

All private open space and structures thereon shall be conveyed to and permanently owned and maintained by a Home Owner Association (HOA) or other responsible entity. The HOA may adopt rules and regulations regarding access, permitted uses, security (policing) and maintenance responsibilities for the open spaces.

Any lot designated as common open space shall consist of at least six thousand (6,000) square feet. The area of the common open space lot shall be measured and calculated to the property line of the lot.

Parking for common open space uses within the PUD may be provided with adjacent on-street parking. Off-street parking may also be provided within a common open space lot, at the option of the Developer.

Common Open Space

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Medium Density Residential

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Building roofs

On buildings with pitched roofs, the minimum roof pitch is 6:12 on the main structure. On buildings where flat roofs are the predominant roof type, parapet walls should be provided.

Mechanical equipment screening

Rooftop mechanical equipment must be hidden or screened with architecturally integral elements at least as high as the equipment to be screened. Makeshift equipment screens, such as wooden or plastic fences, are prohibited. Ground mounted mechanical equipment must be hidden or screened with architecturally integral wing walls and/or landscaping. Mechanical equipment must be located where their acoustics will minimize disruption to abutting residential dwelling units.

Solar panels and rain collection devices are exempt from mechanical equipment screening standards.

A Master Homeowner Association shall be created and maintained for the community, empowered to govern and establish design guidelines, review architectural and landscape designs and enforce regulations and design guidelines. These regulations and guidelines will provide practical design direction which will create a special residential community environment that is consistent with these architectural design guidelines.

Each new residential unit in Manor Heights will be subject to design criteria that will be detailed in design guidelines as referenced in the Declaration of Covenants, Conditions, and Restrictions (CCRs) to be established by Owner and enforced by the Architectural Review Committee (ARC) which will be created pursuant to the CCRs.

House plans submitted to The City shall be stamped or indicated by letter of transmittal (or similar language) that architectural review committee (ARC) has reviewed and approved the house plans as complying with the PUD Design Requirements for City Review.

Design Review and Enforcement

1 August 2018

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DOUBLE HEIGHT GARAGES (PHASE 2 ONLY) (SEE PUD NOTE 26)



DOUBLE HEIGHT GARAGES (PHASE 2 ONLY) (SEE PUD NOTE 26)

	DESCRIPTION	DATE	BY
⚠	UPDATE PLAN/ACREAGE CALCULATIONS TO REFLECT OPEN SPACE LOT AT SOUTHEAST CORNER AS COMMERCIAL (C-2). ADD IN DOUBLE HEIGHT GARAGE NOTES.	06/30/23	SFS



8/30/2023

City of Manor Development Services

Notification for a PUD Amendment

Project Name: Manor Heights PUD Amendment

Case Number: 2022-P-1500-ZO

Case Manager: Michael Burrell

Contact: mburrell@manortx.gov – 512-215-8158

The City of Manor Planning and Zoning Commission and City Council will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon on a Planned Unit Development (PUD) Amendment for the Manor Heights (Carillon) Subdivision, one thousand three-hundred and ninety-five (1,395) lots on 477.8 acres, more or less, and being located at 13201 Old Kimbro Rd., Manor, TX. The request will be posted on the agenda as follows:

Public Hearing: Conduct a public hearing on a Planned Unit Development (PUD) Amendment for the Manor Heights (Carillon) Subdivision located at 13201 Old Kimbro Rd., Manor, TX.

Applicant: Kimley Horn

Owner: RHOF LLC

The Planning and Zoning Commission will meet at 6:30PM on September 13, 2023 at 105 East Eggleston Street in the City Hall Council Chambers.

The Manor City Council will meet at 7:00 PM on September 20, 2023 at 105 East Eggleston Street in the City Hall Council Chambers.

You are being notified because you own property within 300 feet of the property for which this PUD Amendment has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

105 E. EGGLESTON STREET • P.O. BOX 387 • MANOR, TEXAS 78653
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1221 MEADGREEN DR
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1201 PORTERFIELD DR
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NGUYEN THANH K & THONG Q VU
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TIMMERMAN PROPERTIES INC
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13105 FM 1100 LLC
5808 BALCONES DR, STE 200
AUSTIN, TX US 78731-4265

13105 FM 1100 LLC
5808 BALCONES DR, STE 200
AUSTIN, TX US 78731-4265

AUSTIN, 21 LLC
117 FORT HOOD LN
GEORGETOWN, TX 78628-6007

TANI INVESTMENTS LLC ETAL
608 PETERSON LANE
LAKEWAY, TX US 78734-4108

KLATT PROPERTIES LP
2001 PICADILLY DR
ROUND ROCK, TX 78664-9511

MB & MS ENTERPRISES INC
PO BOX 82653
AUSTIN, TX 78708-2653

KRANTZ PROPERTIES LLC
14807 US HIGHWAY 290 E
MANOR, TX 78653-4513

SUAREZ DOMINGO
14121 BOIS D ARC LN
MANOR, TX 78653-3815

COFFEY JOSEPH MURPHY
14212 BOIS D ARC LN
MANOR, TX 78653-3448

FIVE STAR INVESTMENTS LLC
1611 WESTMEADOW TRL
ROUND ROCK TX 78665-1258

BLOMBERG JOHN E & LISA KANETTE
14424 BOIS D ARC LN
MANOR, TX 78653-3802

GALVAN FELIPE VEGA
14604 BOIS D ARC LN
MANOR, TX 78653-3803

REYES DAVID
14420 BOIS D ARC LN
MANOR, TX 78653-3802

COFFEY JOSEPH MURPHY
14212 BOIS D ARC LN
MANOR, TX 78653-3448

CHEN WENKAI
1132 NORTHWESTERN AVE UNIT A
AUSTIN, TX US 78702

PADILLA ANDRES & MARIA E
14831 BOIS D ARC RD
MANOR, TX 78653-4039

LANFORD LAWRENCE LEE II &
14405 KIMBRO WEST ROAD MANOR,
TX US 78653-3807

SCHAFER DENNIS D
2616 BUTLER WAY ROUND ROCK TX
78665-3842

PORTILLO ZOILA
13342 OLD KIMBRO RD
AUSTIN, TX 78653-4511

JONSE JOHN & RITA
PO BOX 21
MANOR, TX 78653-0021

FAY WALTER F (VLB)
7405 CHISOS PASS
AUSTIN, TX 78724-3205

JONSE KIRK J & CATHY W
13326 OLD KIMBRO RD
MANOR, TX 78653-4511

BRANT MARGARET L
545 WASHINGTON BLVD
MARINA DEL REY, CA 90292-5420

RUIZ GUADALUPE J
14775 BOIS D ARC LN
MANOR, TX 78653-3535

LOPEZ MARIA LUISA
14525 BOIS D ARC LN
MANOR, TX 78653-3812

RUIZ J GUADALUPE
14775 BOIS D ARC LN
MANOR, TX 78653-3535

PEREZ-FABELA OSWALDO
14605 BOIS D ARC LN
MANOR, TX 78653-3804

GONZALEZ JOSE & MARIBELLA CORTZ
14845 BOIS D ARC LN
MANOR, TX 78653-3626

TIFFANY BRICK CO L P
300 E JOHN CARPENTER FRWY STE
1645 IRVING TX 75062-2772

SALAS ISIDORO RODRIGUEZ & OSCAR
GERARDO MACEDO
11900 BRIARCREEK LOOP
MANOR, TX 78653-4622

LY DWIGHT CHUAN ETAL
PO BOX 1139
MANOR, TX US 78653-1139

PATRICK DAVID L
14805 BOIS D ARC LN
MANOR, TX 78653-3626

BMR LAND LLC ETAL
5260 N PALM AVE STE 400
FRESNO, CA US 93704-2217

NELSON LESTER C (LIFE ESTATE)
8813 LITTLE LAURA
AUSTIN, TX 78757-6863

KIMCAP LLC
PO BOX 14171
AUSTIN, TX 78761-4171

KONDRATH AMY L & JEREMY C
14601 US HWY 290E UNIT B
MANOR, TX 78653-4568

MASON MARILYN M & RONALD J
14601 US HIGHWAY 290 E APT C
MANOR, TX 78653-4568

MASON-DARNELL TODD & KIM
14601 US HIGHWAY 290 E
APT D
MANOR, TX 78653-4568

GALINDO THOMAS ELISIO III LIFE
ESTATE
PO BOX 343
MANOR, TX 78653-0343

BELLO BENIGNO JR & SONIA
14401 BOIS D ARC LN
MANOR, TX 78653-3810

JONSE JOHN A & MARY
14311 BOIS D ARC LN
MANOR, TX 78653-3811

JONSE JOHN A & MARY
14311 BOIS D ARC LN
MANOR, TX 78653-3811

MORALES RENIEL RODRIGUEZ &
GRISELDA GARCIANDIA MIRON
14421 BOIS D ARC LN
MANOR, TX 78653-3810

SUAREZ ERNESTO
14121 BOIS D ARC LN
MANOR, TX 78653-3815

LANDEROS LETICIA C & JOSE J
REVOCABLE TRUST
14315 BOIS D ARC LN
MANOR, TX 78653-3811

CONTRERAS JUVENTINO & EVA
14509 BOIS D ARC LN
MANOR, TX 78653-3812

ARANDA LORENZO & MARIA
20918 GALILEE CT
MANOR, TX 78653-2816

GEBAUER JOHN JR
13330 OLD KIMBRO RD
MANOR, TX 78653-4511

BELLO BENIGNO JR & SONIA
14401 BOIS D ARC LN
MANOR, TX 78653-3810

DUFFY PATRICK N & TERRIE L
14215 BOIS D ARC LN
MANOR, TX 78653-3814

PATRICK DAVID L
14805 BOIS D ARC LN
MANOR, TX 78653-3626

PATRICK CASEY ROSE
14809 BOIS D ARC LN
MANOR, TX 78653-4097

PATRICK JOSHUA DAVID
14809 BOIS D ARC LN
MANOR, TX 78653-4097

SBS MANOR, I LLC
1350 E FLAMINGO RD STE 13B PMB
849
LAS VEGAS, NV 89111

AUSPRO ENTERPRISES LP
PO BOX 13549
AUSTIN, TX 78711-3549

MOE RANDALL JAMES
1 COUNTY ROAD 473
THRALL, TX 76578-8797

SON DAU TRUST & RANDAL
MOE
5516 HWY 71 E RICHARD C KING C
EDAR CREEK, TX 78612-3940

DUQUE STATES LLC
2311 W HOWARD LN
AUSTIN, TX 78728-7618

HEART OF TEXAS METALWORKS LLC
14405 KIMBRO WEST RD MANOR, TX
78653-3807

GONZALEZ JOSE & MARIBELLA CORTZ
14845 BOIS D ARC LN
MANOR, TX 78653-3626

AUSTIN, 21 LLC
117 FORT HOOD LN
GEORGETOWN TX 78628-6007

MARSALISE LEE J
110 RAYMOND DR
DERIDDER, LA 70634-5806

CARBAJAL NICOLAS & MARIA Y
14014 FM RD 1100
AUSTIN, TX 78653

LGI HOMES - TEXAS LLC
1450 LAKE ROBBINS DR STE 430
THE WOODLANDS, TX

AH4R PROPERTIES LLC
23975 PARK SORRENTO STE 300
CALABASAS, CA 91302

BEHARRY NIGEL & DEBORAHJ CANTU
BEHARRY
20209 GROVER CLEVELAND WAY
MANOR, TX 78653-2075

AH4R PROPERTIES LLC
23975 PARK SORRENTO STE 300
CALABASAS. CA 91302-4012

GAO SHUXIANG & JOSEPHUS NI
20217 GROVER CLEVELAND WAY
MANOR, TX 78653-2075

HERBERT BROCK L
20221 GROVER CLEVELAND WAY
MANOR, TX 78653-2075

CARBAJAL NICOLAS GERARDO
14014 FM 1100 RD
MANOR, TX 78653-4187

ESPARZA JOSE RUIZ
14793 BOIS D ARC LN
MANOR, TX 78653-3654

KEARNEY SHEILA CHRISTINE
13617 MILLARD FILLMORE ST
MANOR, TX USA 78653-2009

NAYLOR JALEN & ISAIAH PIPPEN
13621 MILLARD FILLMORE ST
MANOR, TX USA 78653-2009

NAYLOR JALEN & ISAIAH PIPPEN
13621 MILLARD FILLMORE ST M
ANOR TX USA 78653-2009

WITTKKE GLENN & ANDELIA G ADAME
19716 ANDREW JACKSON ST
MANOR, TX USA 78653-2143

RUSS JONATHAN JR & LILLIE
19712 ANDREW JACKSON ST
MANOR, TX USA 78653-2143

L4S LLC
1101 W 34TH ST
#308
AUSTIN, TX 78705-1907

L4S LLC
1101 W 34TH ST
#308
AUSTIN, TX 78705-1907

L4S LLC
1101 W 34TH ST #308
AUSTIN, TX 78705-1907

EARTC INVESTMENTS DOS LLC
14719 E U S HWY 290 STE 106
MANOR, TX 78653-4588

TADI SANDEEP
19725 ABIGAIL FILLMORE RD
MANOR, TX 78653-2461

BRIONES JUAN RODRIGO MELENDEZ
19729 ABIGAIL FILLMORE RD
MANOR, TX 78653-2461

MULUKUNTLA SUNNY & MOUNIKA
GADDAM
19733 ABIGAIL FILLMORE RD
MANOR, TX 78653-2461

QUONOEY LOGAN
19801 ABIGAIL FILLMORE RD
MANOR, TX 78653-2454

AKINTITAN ISAAC
19805 ABIGAIL FILLMORE RD
MANOR, TX 78653-2454

OLIVEIRA LUCIANO VALENTE DE
19809 ABIGAIL FILLMORE RD
MANOR, TX 78653-2454

LOPEZ JORGE & ESTRELLA
12601 US 290-E APT E102
MANOR, TX 78653

MARTINEZ GLORIA JAIMES
19724 ABIGAIL FILLMORE RD
MANOR, TX 78653-2461

VALDEZ BEATRIZ & ELLEN DEL RIO
1400 AMBER DAY DR
PFLUGERVILLE, TX 78660-5733

DARBY BEULAH
19716 ABIGAIL FILLMORE RD
MANOR, TX 78653-2461

RAO SAHIB & SHELLY
19712 ABIGAIL FILLMORE RD
MANOR, TX 78653-2461

KARRER DUSTIN WILLIAM
19813 ANN RICHARDS AVE
MANOR, TX 78653-2473

NAVARRO JORGE ANTONIO SALAZAR &
CASANDRA MORALES RUIZ
19817 ANN RICHARDS AVE
MANOR, TX 78653-2473

ADOMAKO-ADJEI SETH YAW & CANDY
M
19901 ANN RICHARDS AVE
MANOR, TX 78653-2474

FOSTER MEGAN MARIE
19905 ANN RICHARDS AVE
MANOR, TX 78653-2474

ABBASI CASSANDRA RAE ABBASI AND
AZIZ
19909 ANN RICHARDS AVE
MANOR, TX 78653-2474

GONZALEZ ANA CAREN RESENDIZ &
BEATRIZ RESENDIZ GONZALEZ
19913 ANN RICHARDS AVE
MANOR, TX 78653-2474

HERNANDEZ HUGO DANIEL & BERENISE
BATRES-ROMAN
19917 ANN RICHARDS AVE
MANOR, TX 78653-2474

SUMMERS DANIEL ELLIS
19921 ANN RICHARDS AVE
MANOR, TX 78653-2474

VU DAVIS H & HANH THI NGUYEN
13801 CHARLES E HUGHES ST
MANOR, TX 78653-2468

MORALES ALEX ANDRES
13805 CHARLES E HUGHES ST
MANOR, TX 78653-2468

GUTIERREZ DIONNYS ARGUELLES
13809 CHARLES E HUGHES ST
MANOR, TX 78653-2468

SMITH JENNIFER MICHELLE & BRYAN
CHASE BARGSLEY
13813 CHARLES E HUGHES ST
MANOR, TX 78653-2468

13817 CHARLES E HUGHES ST MANOR,
TX 78653-2468
13817 CHARLES E HUGHES ST
MANOR, TX 78653-2468

NGUYEN VY NGOC & ZHIMING XIE
19928 ANN RICHARDS AVE
MANOR, TX 78653-2474

KHAN MUHAMMAD ADIL
19924 ANN RICHARDS AVE
MANOR, TX 78653-2474

AVILA VICTORIA
19920 ANN RICHARDS AVE
MANOR, TX 78653-2474

PENA YURISNEL TAMAYO & YENEY
GONZALEZ RODRIGUEZ
19916 ANN RICHARDS AVE
MANOR, TX 78653-2474

FOO KAM MUN & JINNY CARMEN TAM
19912 ANN RICHARDS AVE
MANOR, TX 78653-2474

OSEGUERA CRHISTOFER B PINEDA &
ADRIANA ARELI LOPEZ SOTO
13901 ALLAN SHIVERS ST
MANOR, TX 78653-2469

DURAN PABLO DAVID MORAN &
JOCELYN SELENA ZUNIGA
13905 ALLAN SHIVERS ST
MANOR, TX 78653-2469

SUN YAN & WANG QIULAN
13909 ALLAN SHIVERS ST
MANOR, TX 78653-2469

KULKARNI ANANT MANOHAR
13913 ALLAN SHIVERS ST
MANOR, TX 78653-2469

GUGLIELMELLI GIULIA & ADAM
WITHERSPOON
13917 ALLAN SHIVERS ST
MANOR, TX 78653-2469

FILSINGER TY JAMES
13921 ALLAN SHIVERS ST
MANOR, TX 78653-2469

MCGINTY KAYLEY
19816 CAROLINE HARRISON ST
MANOR, TX 78653-2480

CHEN MIKE
19812 CAROLINE HARRISON ST
MANOR, TX 78653-2480

GARCIA BORIS TEODORO CUA & LIDIA
LOPEZ IBARRA
19808 CAROLINE HARRISON ST
MANOR, TX 78653-2480

MIMS CASEY & CODY HARTFORD
19804 CAROLINE HARRISON ST
MANOR, TX 78653-2480

ALFANO KEITH MICHAEL
19800 CAROLINE HARRISON ST
MANOR, TX 78653-2480

AU RACHEL PUI
19720 CAROLINE HARRISON ST
MANOR, TX 78653-2479

STARLING DARRIEN MARQUI &
PRECIOUS DESTINY RAYFIELD
19716 CAROLINE HARRISON ST
MANOR, TX 78653-2479

CONTRERAS NICOLAS ACOSTA & ALEXIS
LABRA ANTUNEZ
19712 CAROLINE HARRISON ST
MANOR, TX 78653-2479

GRASSEL CHRISTOPHER
19708 CAROLINE HARRISON ST
MANOR, TX 78653-2479

VARGAS-FLORES ALEJANDRO JOEL &
DIANA CAROLINA LOPEZ-GUERRA
19704 CAROLINE HARRISON ST
MANOR, TX 78653-2479

THALAN MITCHELL TUAN-CONG
19700 CAROLINE HARRISON ST
MANOR, TX 78653-2479

CORONA KIMBERLY & MELANIA SONIA
RUIZ
19624 CAROLINE HARRISON ST
MANOR, TX 78653-2478

ESCAMILLA MICHAEL & CHRISTA M
COOK
19620 CAROLINE HARRISON ST
MANOR, TX 78653-2478

CHEPURI VARUN KUMAR
19616 CAROLINE HARRISON ST
MANOR, TX 78653-2478

XAVIER FRANICS & BINCY
19612 CAROLINE HARRISON ST
MANOR, TX 78653-2478

REYES-ESPARZA ALEJANDRO
19608 CAROLINE HARRISON ST
MANOR, TX 78653-2478

KITCHENS DEVIN BLAEC
19604 CAROLINE HARRISON ST
MANOR, TX 78653-2478

JAIN PRASHANT
10102 TALLEYRAN DR
AUSTIN, TX 78750-3836

CONTINENTAL HOMES OF TEXAS LP
1070 PECAN PARK BLVD
SUITE 400
AUSTIN, TX 78750

CONTINENTAL HOMES OF TEXAS LP
1070 PECAN PARK BLVD
SUITE 400
AUSTIN, TX 78750

BUTLER KATHERINE NICOLE & JEREMY
GLEN DAVILA
14021 MAMIE EISENHOWER RD
MANOR, TX 78653

PACHECO ANALYDIA
15001 MAMIE EISENHOWER RD
MANOR, TX 78653-2477

ADKINS WALLACE H JR ETAL
15005 MAMIE EISENHOWER RD
MANOR, TX 78653

PATEL VARUNKUMAR
15009 MAMIE EISENHOWER RD
MANOR, TX 78653

BRIONES DULCE MARIA SANCHEZ &
ELISEO HERNANDEZ
15013 MAMIE EISENHOWER RD
MANOR, TX 78653

PEDREGON JEREMY MARTIN
15004 MAMIE EISENHOWER RD
MANOR, TX 78653

MALDONADO RICARDO AVELAR &
MARIO ENRIQUE AVELAR MALDONADO
15000 MAMIE EISENHOWER RD
MANOR, TX 78653

GEA ALBERT CHUARNSHIN &
YEUNJONG GEA
14020 MAMIE EISENHOWER RD
MANOR, TX 78653

MARTINEZ HAZEL CONSUELO &
CARLOS ALBERTO
14016 MAMIE EISENHOWER RD
MANOR, TX 78653

TO ANH THI HOANG
14012 MAMIE EISENHOWER RD
MANOR, TX 78653

SCOTT RAY CHARLES JR
14008 MAMIE EISENHOWER RD
MANOR, TX 78653

GOULD CHERYL ANN
14004 MAMIE EISENHOWER RD
MANOR, TX 78653

FILSINGER JANET SUSAN
14000 MAMIE EISENHOWER RD
MANOR, TX US 78653

MARTINEZ CARLOS ANTONIO
HERNANDEZ & ANDREA BEATRIZ
AMAYA
13916 MAMIE EISENHOWER RD
MANOR, TX 78653
CITY OF MANOR TEXAS
105 E EGGLESTON ST
MANOR, TX USA 78653-3463

FLORES JOSE ELEUTERIO & MARTHA
SAMANO RODRIQUEZ
13912 MAMIE EISENHOWER RD
MANOR, TX 78653-2475

TAPIA JASIRIS
13908 MAMIE EISENHOWER RD
MANOR, TX 78653-2475

VALLE CORINA M
19601 CAROLINE HARRISON ST
MANOR, TX 78653-2478

HIPOLITO DAVID LUNA & IRENE
GONZALEZ SERRANO
19605 CAROLINE HARRISON ST
MANOR, TX 78653-2478

UGARTE MARIBEL ESQUIVEL & JUAN
CARLOS PADRON MEDINA
19609 CAROLINE HARRISON ST
MANOR, TX 78653-2478

SHETH RUCHI CHANDRAKANT &
DARSHIT R
208 ROLLING FORK BND
IRVING TX, 75039-3808

ALCANTARA MARCO
19617 CAROLINE HARRISON ST
MANOR, TX 78653-2478

CRUZ DANIEL MELCHOR
19621 CAROLINE HARRISON ST
MANOR, TX 78653-2478

FARHAT HUMAYUN & HAMIDA
19625 CAROLINE HARRISON ST
MANOR, TX 78653-2478

HAOUI ALI
19701 CAROLINE HARRISON ST
MANOR, TX 78653-2479

WORKMAN BRITTANY NICOLE
19705 CAROLINE HARRISON ST
MANOR, TX 78653-2479

RODRIGUEZ KATIE SUE & JOHN
THOMAS
19709 CAROLINE HARRISON ST
MANOR, TX 78653-2479

OCHOA MEZZIE LEE
19713 CAROLINE HARRISON ST
MANOR, TX 78653-2479

OTHMAN SAEB
19717 CAROLINE HARRISON ST
MANOR, TX 78653-2479

TAYLOR RAYNARD SCOTT
19721 CAROLINE HARRISON ST
MANOR, TX 78653-2479

DOMINGUEZ OMAR TORAL & LEONILA
HERNANDEZ CABRERA
19801 CAROLINE HARRISON ST
MANOR, TX 78653-2480

ASFAW ESKEDAR & BEGASHAW GEBRE
19805 CAROLINE HARRISON ST
MANOR, TX 78653-2480

PIEDRA JORGE LUIS SOSA
19809 CAROLINE HARRISON ST
MANOR, TX 78653-2480

CHRISTIAN ELADIO RODRIGUEZ
19813 CAROLINE HARRISON ST
MANOR, TX 78653-2480

DOUGLAS HOWARD III ETAL
19812 ANN RICHARDS AVE
MANOR, TX 78653-2473

ROJAS ROBERTO NORBERTO PEREZ &
DIANELIS ACOSTA MUNOZ
19808 ANN RICHARDS AVE
MANOR, TX 78653-2473

WALSH BRIAN EDWARD
19804 ANN RICHARDS AVE
MANOR, TX 78653-2473

MACIAS JAIME
19800 ANN RICHARDS AVE
MANOR, TX 78653-2473

HERNANDEZ-ALVAREZ IVETTE
19720 ANN RICHARDS AVE
MANOR, TX 78653-2472

FELICIANO MISSOKI JAIMES & ISIDRO
19716 ANN RICHARDS AVE
MANOR, TX 78653-2472

SALKELD JAMES B & AMERICA A
19704 ANN RICHARDS AVE
MANOR, TX 78653-2472

BYRD RODNEY
19620 ANN RICHARDS AVE
MANOR, TX 78653-2471

DURING OLUFUNMILAYO O
19608 ANN RICHARDS AVE
MANOR, TX 78653-2471

FORESTAR REAL ESTATE GROUP INC
2221 E LAMAR BLVD
STE 790
ARLINGTON, TX 76006-7458

GARCIA EVELYN PLACERES
20001 ABIGAIL FILLMORE RD
MANOR, TX 78653

KHUDHEYER MUNTADAR FADEL &
SHAHAD SARMAH
19824 ABIGAIL FILLMORE RD
MANOR, TX 78653

CORDOVA-PINOT REBECCA & DANERY
JOHEL PINOT MORAZAN
19812 ABIGAIL FILLMORE RD
MANOR, TX 78653

TOVAR JOSE & MARIEL JUDITH
19821 ABIGAIL FILLMORE RD
MANOR, TX 78653

FORESTAR REAL ESTATE GROUP INC
ATTN JOHN MABERRY
2221 E LAMAR BLVD STE 790
ARLINGTON TX 76006-7458

FEUMY GEORGES HERVE & CARINE
NGATCHA EPSE
19712 ANN RICHARDS AVE
MANOR, TX 78653-2472

LIMBU APANA PHAGO
19700 ANN RICHARDS AVE
MANOR, TX 78653-2472

KONGPACHIT JUSTIN THOM
19616 ANN RICHARDS AVE
MANOR, TX 78653-2471

ECHELMAYER HENRY M
19604 ANN RICHARDS AVE
MANOR, TX 78653-2471

GOVEA CESAR
20004 PRICE DANIEL DR
MANOR, TX 78653

WALSH CAITLYN & CODY WALTHER
19912 ABIGAIL FILLMORE RD
MANOR, TX 78653

BENITEZ JAIENE & JUAN DAVID
DOMINGUEZ PACHECO
19820 ABIGAIL FILLMORE RD
MANOR, TX 78653

DAR MIKE
19813 ABIGAIL FILLMORE RD
MANOR, TX 78653

HESTAND DANA ELAINE
19825 ABIGAIL FILLMORE RD
MANOR, TX 78653

IRIGOLLEN CESAR & CYNTHIA L PEREZ
20220 ANDREW JOHNSON DR
MANOR, TX 78653

GUTIERREZ VICTOR VENE
JASMINA DEL CARMEN ACEVEDO
OLIVAS
19708 ANN RICHARDS AVE
MANOR, TX 78653-2472
TETTEY FERDINAND OWUSU
19624 ANN RICHARDS AVE
MANOR, TX 78653-2471

TORALES MARIA LAURA SANTOS
19612 ANN RICHARDS AVE
MANOR, TX 78653-2471

MARTINEZ ROGELIO BENITEZ & JORGE
ARCE CHAPARRO
19600 ANN RICHARDS AVE
MANOR, TX 78653-2471

LE KHAN
20000 PRICE DANIEL DR
MANOR, TX 78653

OFORI-NKWAGYIE FREDERICK & MAVIS
19828 ABIGAIL FILLMORE RD
MANOR, TX 78653

SMITH JORDAN S
19816 ABIGAIL FILLMORE RD
MANOR, TX 78653

JAHANI NATASHA NUREZ & AL-KARIM
JAHANI
19817 ABIGAIL FILLMORE RD
MANOR, TX 78653

WYNNE JARED D WYNNE & ANNA
19829 ABIGAIL FILLMORE RD
MANOR, TX 78653

MARLER ROBERT & ALICIA
20216 ANDREW JOHNSON DR
MANOR, TX 78653

GOMEZ FLORES JORGE L & MARTHA
GONZALEZ GONZALEZ & JORGE L
GOMEZ GONZALEZ
20212 ANDREW JOHNSON DR
MANOR, TX 78653

LAKSHMINARAYANA VENKATESH
PRABHANJAN
21017 PRICE DANIEL DR
MANOR, TX 78653

VEERAMACHANENI RAVITEJ &
RAMYAPRATYUSHA TATIKONDA
21029 PRICE DANIEL DR
MANOR, TX 78653

ALVAREZ MIGUEL JR
13605 REBECCA LATIMER RD
MANOR, TX 78653

JIMENEZ DANIEL JONATHAN & JAIME
JIMENEZ MACEDONIO
13617 REBECCA LATIMER RD
MANOR, TX 78653

FEROSE JULIA MICHELLE & AJ
ANTHONY-JOSEPH FINK
21000 ABIGAIL FILLMORE RD
MANOR, TX 78653

BAWANI SHAMS ZULFIQAR
20020 ABIGAIL FILLMORE RD
MANOR, TX 78653

WOOLBERT KENNAN & LAURA
20008 ABIGAIL FILLMORE RD
MANOR, TX 78653

BERRY NICHOLAS
19916 ABIGAIL FILLMORE RD
MANOR, TX 78653

YIN FENGJIE & MINJAE JUNG
20013 ABIGAIL FILLMORE RD
MANOR, TX 78653

KNORI LAUREN & DYLAN REED
20208 ANDREW JOHNSON DR
MANOR, TX 78653

HOLMES ASPEN JADE & JARED SCOTT
ARAGON
21021 PRICE DANIEL DR
MANOR, TX 78653

GUERRERO SAMUEL
21031 PRICE DANIEL DR
MANOR, TX 78653

GRANT DENIANN
13609 REBECCA LATIMER RD
MANOR, TX 78653

NGUYEN LAM THANH
21008 ABIGAIL FILLMORE RD
MANOR, TX 78653

KANNAN SRIPATI
20028 ABIGAIL FILLMORE RD
MANOR, TX 78653

PANNELL CHRISTOPHER
20016 ABIGAIL FILLMORE RD
MANOR, TX 78653

LUCEY MICHAEL C & YAIZA E LARA
20004 ABIGAIL FILLMORE RD
MANOR, TX 78653

HASANOVA SAFIYYA & EMIL GARAYEV
20005 ABIGAIL FILLMORE RD
MANOR, TX 78653

REDIN CATHY JANE & KENNETH LEE
20017 ABIGAIL FILLMORE RD
MANOR, TX 78653

LE QUANG TUYEN, THI KIM
PHAM, PHAM QUYNH TRAM LE & THUY
TO UYEN LE

20204 ANDREW JOHNSON DR
MANOR, TX 78653
SANCHEZ BRANDON & BRAYAN
SANCHEZ CRUZ
21025 PRICE DANIEL DR
MANOR, TX 78653

PEREZ GABRIEL LEONGUERRERO
13601 REBECCA LATIMER RD
MANOR, TX 78653

KAMIKUBO HIKARU
13613 REBECCA LATIMER RD
MANOR, TX 78653

HARRINGTON PRISCILLA & BAMIDELE
OGUNTUASE
21004 ABIGAIL FILLMORE RD
MANOR, TX 78653

MARTINEZ MELANIE RENEE
20024 ABIGAIL FILLMORE RD
MANOR, TX 78653

MARROQUIN JEFFREY & LUCIA PINON
20012 ABIGAIL FILLMORE RD
MANOR, TX 78653

RODRIGUEZ JULIO CESAR BRIZUELA &
NORMA ANGELICA DIAZ ACOSTA
20000 ABIGAIL FILLMORE RD
MANOR, TX 78653

PENA JOSHUA CHARLES & ROBERT
MAHOR JR
20009 ABIGAIL FILLMORE RD
MANOR, TX 78653

KHAN AVNER ANWAR
20021 ABIGAIL FILLMORE RD
MANOR, TX 78653

TRUJILLO MARIA D MALDONADO &
ABRIL G RODRIGUEZ MALDONADO &
BEATRIZ MALDONADO
20025 ABIGAIL FILLMORE RD
MANOR, TX 78653
HICKMOTT CYNTHIA LENAN
21017 ABIGAIL FILLMORE RD
MANOR, TX 78653

DOMINGUEZ CARMEN M
20029 ABIGAIL FILLMORE RD
MANOR, TX 78653

REYES RICHARD & ADOLFINA
21001 ABIGAIL FILLMORE RD
MANOR, TX 78653

Item 2.

SAHA SANDIPAN
21021 ABIGAIL FILLMORE RD
MANOR, TX 78653

AVILA RICARDO MANUEL & YURIDIA
ESTELLA
21025 ABIGAIL FILLMORE RD
MANOR, TX 78653

ABDULMAJEED TARIQ
21029 ABIGAIL FILLMORE RD
MANOR, TX 78653

PATIL HEMANT JIVRAM
21028 PRICE DANIEL DR
MANOR, TX 78653

BLACK BRUCE FREDRICK JR & JENNIFER
WOLELY
21024 PRICE DANIEL DR
MANOR, TX 78653

RENFRO ROSS & WONCHANOK
VISITSAK
21020 PRICE DANIEL DR
MANOR, TX 78653

AL-GBURI AHMED SABRI KHAZENDAR &
MARYAM AL-GBURI
21016 PRICE DANIEL DR
MANOR, TX 78653

DICKEY ERIC ASHTON & MARTA
LORENA FONSECA
21012 PRICE DANIEL DR
MANOR, TX 78653

GUERRERO JOANA & CEZAR
20028 PRICE DANIEL DR
MANOR, TX 78653

RAUT NIDHI
20024 PRICE DANIEL DR
MANOR, TX 78653

SUAREZ JOSE A JIMENEZ
20020 PRICE DANIEL DR
MANOR, TX 78653

NGUYEN KHOA THANH
20016 PRICE DANIEL DR
MANOR, TX 78653

GONZALEZ ANA MARIA ESPARZA &
FRANCISCO LUCIO
20012 PRICE DANIEL DR
MANOR, TX 78653

KINCELL ALEX & KRYSTAL ALANA
KINCELL & FRANK KINCELL
20008 PRICE DANIEL DR
MANOR, TX 78653

CONTINENTAL HOMES OF TEXAS L P
10700 PECAN PARK BLVD
STE 400
AUSTIN, TX 78750

NGUYEN NGHIA TRUNG
21012 ABIGAIL FILLMORE RD
MANOR, TX US 78653

LE MINH TAN
21005 ABIGAIL FILLMORE RD
MANOR, TX 78653

FORESTAR REAL ESTATE GROUP INC
ATTN JOHN MABERRY
2221 E LAMAR BLVD STE 790
ARLINGTON, TX 76006

DUQUE STATES LLC
2311 W HOWARD LN
AUSTIN, TX 78728



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023
PREPARED BY: Scott Dunlop, Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Conduct a public hearing on a Final PUD for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX.

Applicant: Sotol Ventures

Owner: Dalton Wallace

BACKGROUND/SUMMARY:

Updates from Preliminary PUD Site Plan:

The Preliminary PUD Site Plan was approved by P&Z on 8/9/23 and by the City Council on 8/16/23. The Final PUD was updated to show an additional sidewalk trail connecting from a trail in Shadowglen to the entrance on the east side of the property as well as a painted crosswalk along the trail extending along the southern boundary where a minor road will cross the trail.

Project Background:

This Final PUD allows up to 325 single family lots with up to 80% of the lots being 50' and 20% being 60' wide. The minimum lot size is 6,000 (50' x 120') and the minimum dwelling unit size (heated/cooled area) is 1,700 sf.

There are 4.1 acres of C-2 Medium Commercial on FM 973 with certain uses prohibited.

The PUD is consistent with the land use designations in the Comprehensive Plan's Future Land Use Map with Commercial Corridor uses on FM 973 and Neighborhood uses between the commercial and Wilbarger Creek. The PUD is also consistent with the Trails Plan and Thoroughfare Plan in the Comprehensive Plan.

The PUD has 8.8 acres of non-floodplain, non-detention area parkland in three areas and connected by a trail system. The amount of parkland acreage exceeds code requirements by 3.88 acres. Within the parkland, they'll construct a 2-5 year old playground, 5-12 year old playground, minimum 20 stall parking lot, 10,000 sf dog park, minimum 20'x30' pavilion, and a basketball court. These are public amenities but maintained by the HOA.

Additionally, the owner is retaining the floodplain/open space but is dedicating an access easement for a regional trail that will be constructed with this PUD that connects to the Shadowglen trail(s) in the south and Monarch Ranch to the north, as well as internal trails that connect to the proposed Monarch Ranch internal trails. To provide a safe trail crossing across the collector road, a crosswalk with pedestrian-activated flashing lights will be installed.

The PUD also contains two unloaded collector roads that are 64' ROW, one of which is on our Thoroughfare Plan and would be a parallel north-south route to FM 973. This roadway, Silent Falls Way, would extend through Okra and Monarch Ranch, then cross Gregg Lane and extend north through the New Haven and Mustang Valley

subdivisions to Anderson Lane ending at Schmidt Lane. Similar to Mustang Valley, New Haven and Monarch Ranch, the collector roads will have a 10' landscaping buffer along them and upgraded subdivision fencing with masonry columns.

TxDOT has provided and the developer has agreed in-lieu of a TIA they will extend the center turn lane from Tinajero to the northern connection of Suncrest with it tapering off past Suncrest. A right turn lane on southbound FM 973 will also be added. No signal is planned. Travis County also waived a TIA as the County roads that are being connected to within Shadowglen are built-out and no further improvements would be required. No existing city roads are being connected to so the city is not requiring a TIA as TxDOT has worked out the necessary mitigations with the developer.

LEGAL REVIEW: *Not Applicable*

FISCAL IMPACT: *NO*

PRESENTATION: *YES*

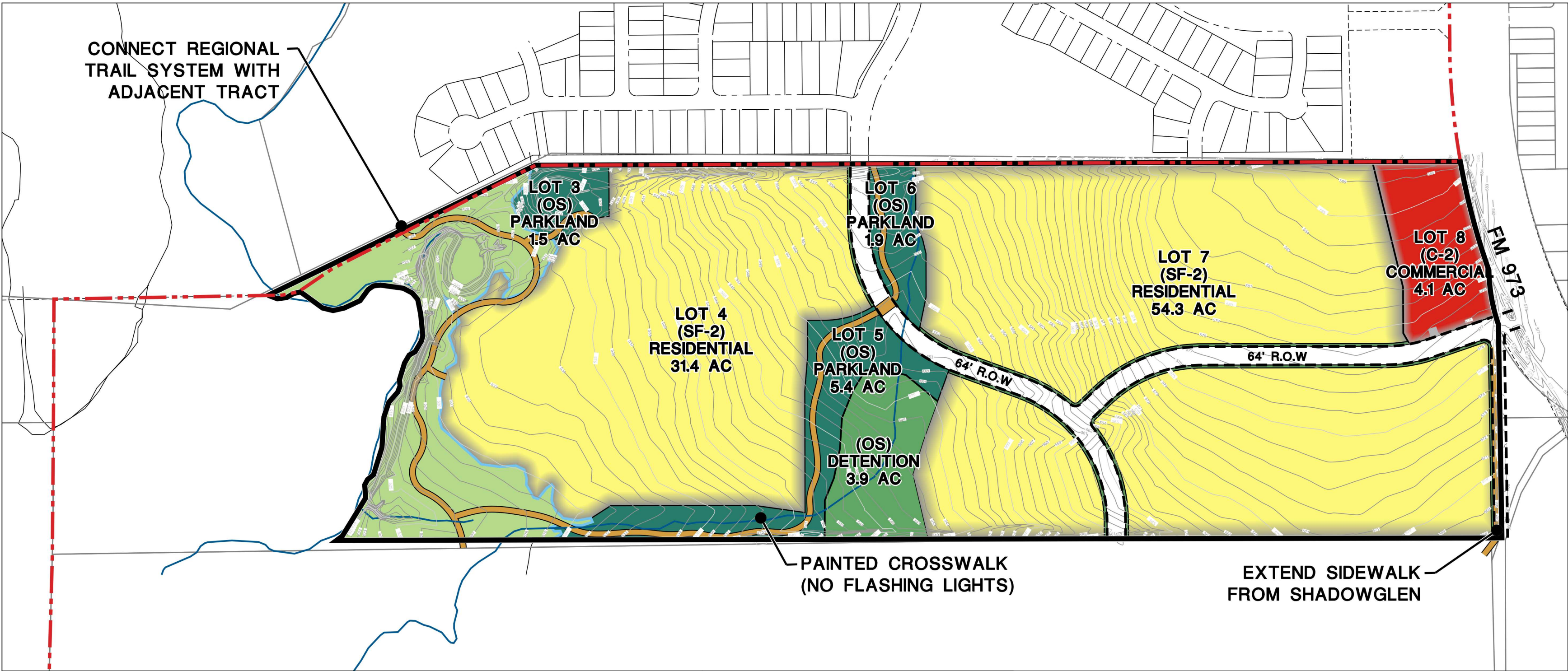
ATTACHMENTS: *YES*

- Final PUD Site Plan
- Aerial Image
- FLUM
- Commercial Corridor Dashboard
- Neighborhood Dashboard
- Mailing Labels and Notice

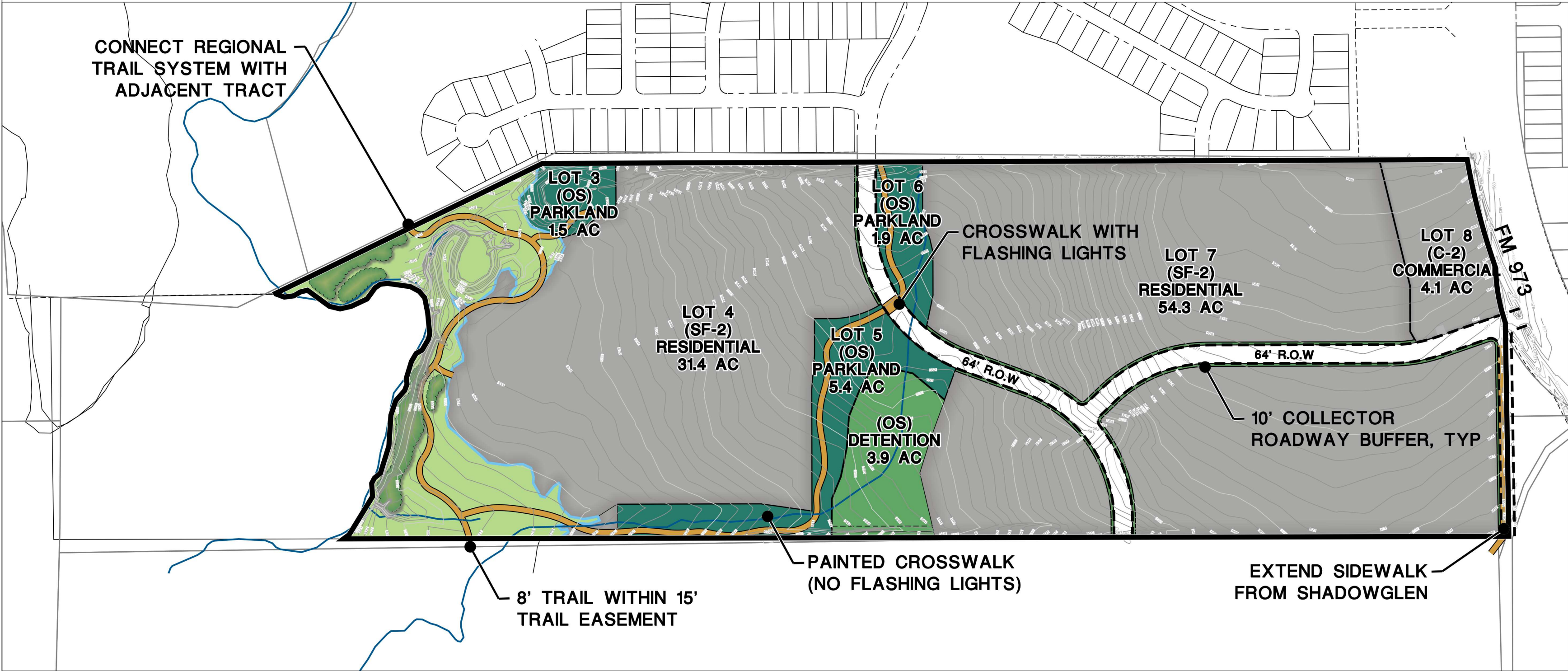
STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission conduct a public hearing on a Final PUD for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**



LAND USE PARCEL TABLE				LEGEND	
LAND USE	ACREAGE	LOTS	DENSITY		
(SF-2) RESIDENTIAL	86.0 ACRES	325 LOTS	3.7 DU/AC		PLAN BOUNDARY
(C-2) MEDIUM COMMERCIAL	4.1 ACRES	1 LOTS			PROPOSED RIGHT-OF-WAY
FLOODPLAIN (RETAINED BY OWNER)	10.9 ACRES	1 LOTS			CITY LIMITS
(OS) PARKLAND	8.8 ACRES	3 LOTS			8' TRAILS
(OS) DETENTION	3.9 ACRES	1 LOTS			
TOTAL	113.4 ACRES		2.9 DU/AC		



PARK PLAN

PARK LAND DEDICATION:

325

(number of dwelling units)

/66 x 1 =

4.9

(required park acreage)

8.8

(proposed park acreage)

8' CONCRETE TRAILS 4,733 L.F

Approval and authorized for record by the City Council for the City of Manor, Texas.

Dated this ____ Day of _____, 20__

By: _____
Honorable Mayor Dr. Christopher Harvey
Mayor of the City of Manor, Texas

A. Purpose and Intent

1. The Okra Tract Planned Unit Development (PUD) is comprised of approximately 136.3 acres. The development of this Property is a combination of light commercial along FM 973 at the Eastern edge of the Property and a single-family detached residential community on the remainder of the Property.

B. Applicability and Base Zoning

1. All aspects regarding the development of this PUD shall comply with the City of Manor Code of Ordinances, except as established in this exhibit, titled Final PUD Site Plan.
2. For the purpose of establishing development standards for the PUD, the following base zoning districts have been selected from the Manor Code of Ordinances:

SF-2 (Single-Family Standard)
C-2 (Medium Commercial)

C. Conceptual Site Layout and Land Use Plan

1. The Land Use Plan has been attached to this PUD to illustrate the design intent for the Property. The Final PUD Site Plan is intended to serve as a guide to illustrate the general community vision and design concept and is not intended to serve as a final document.

D. Allowable/Prohibited Uses

1. The allowable residential use shall be detached single-family dwellings on individually platted lots. The maximum residential lot count shall be three hundred and twenty five (325). Commercial uses shall be consistent with allowable C-2 (Medium Commercial) land uses as defined in Division 3, Section 14.02.017 of City of Manor Code of Ordinances except as modified herein.
2. The following uses shall be prohibited within the C-2 area of the PUD:
- Amusement (outdoor)
 - Automobile Repair (minor)
 - Automobile Repair (major)
 - Commercial Off-Street Parking
 - Contractor's Shop
 - Financial Services (alternative)
 - Funeral Services
 - Kennel
 - Laundry Services
 - Mini-Storage Warehouse
 - Off-Site Accessory Parking
 - Pawnshop
 - Recreational Vehicle Sales and Rental
 - Truck and Trailer Sales and Rental
 - Veterinary Service, Large

E. Residential Development Standards

1. To ensure product diversity, the following single-family detached residential percentages shall apply to the residential district within this PUD:
- a. A maximum of 80 percent (80%) of the total lots may have a width of less than sixty feet (60').
- b. A minimum of 20 percent (20%) of the total shall have a width of sixty feet (60') or wider.
2. The Okra Tract residential development will comply with the Development Standards set forth below:

RESIDENTIAL USES

Lot Area: 6,000 s.f. Minimum (fronted loaded garage)
Lot Width: (minimum)50 ft.
Front Setback: (minimum)25 ft.
Side Setback: (minimum)5 ft.
Street Side Setback: (minimum)15 ft.
Rear Setback to residential:(minimum)10 ft.
Rear Setback to commercial: 15 ft
Minimum dwelling unit size: 1,700 sq. ft.
Maximum building coverage: 50%
Maximum building coverage plus accessory structures: 60%

3. Standards not listed follow code, as amended

F. Commercial Development Standards

1. The Okra Tract commercial development shall comply with the C-2 (Medium Commercial) development standards set forth in the City of Manor Code of Ordinances, as amended.

G. Drainage Dedication and Facilities

1. Residential drainage facilities shall utilize earthen berms and be designed with a curvilinear shape where possible. If concrete retaining walls are required in the design of detention facilities, such areas shall be limited to not more than forty percent (40%) of the perimeter of the pond.

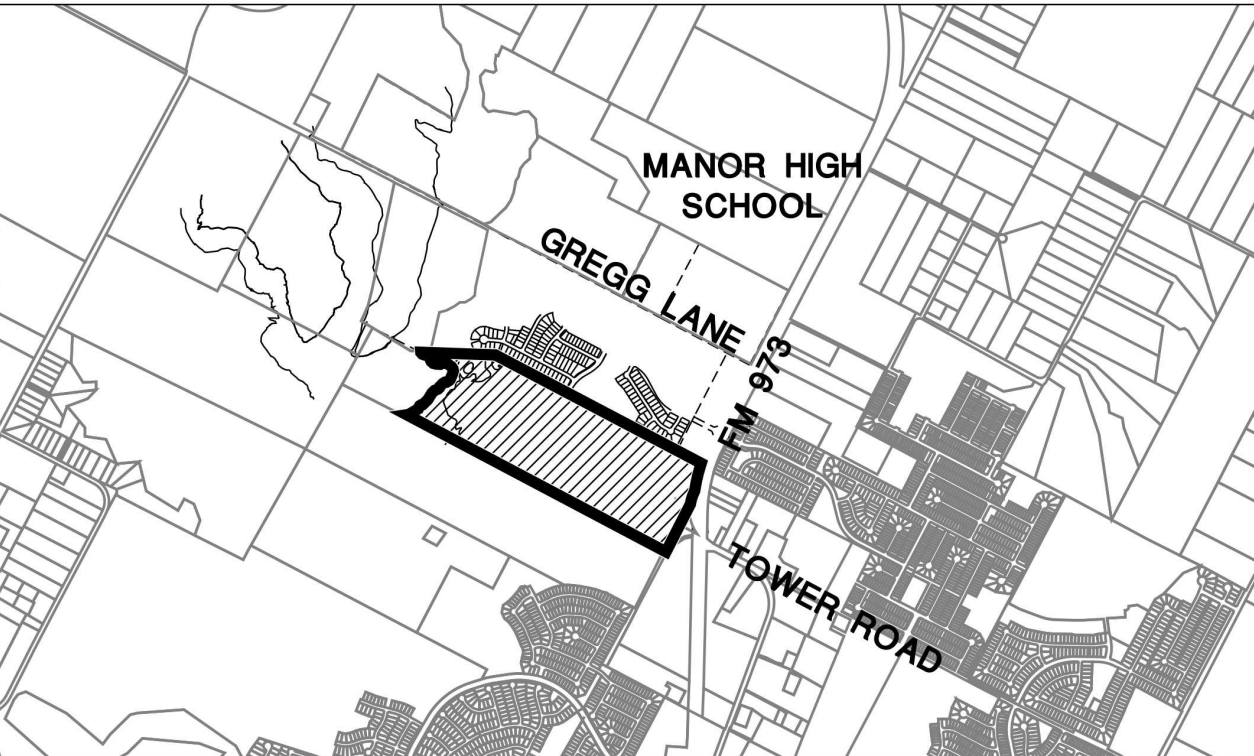
H. Parkland and Open Space

1. This Final PUD Site Plan provides approximately 8.8 acres of park and open space with the dedication of three (3) tracts of land as illustrated on the Parks Plan on this sheet. The parks and open space will include detention facilities for the project, tree preservation areas, trail corridor easement and active programmed parkland.
2. An eight-foot (8') concrete trail located within a fifteen-foot (15') public trail easement shall provide pedestrian/bike access along the owner retained floodplain connecting from the north property boundary to the south property boundary, as depicted on Park Plan. Trees shall be planted parallel to the concrete trail at a spacing of one (1) tree for every forty (40) linear feet. Trees shall be a minimum of three (3) inch caliper and selected from the Type A/B tree list of the City of Manor Code of Ordinances.
3. Parkland amenities located within the Okra Tract PUD shall include a minimum of the following recreational elements: playground, parking area, dog park, picnic areas, picnic pavilion and open lawn/gaming area.
- a. Age 5-12 playground
b. Age 2-5 playground
c. Parking area with a minimum of 20 parking spaces
d. Minimum 10,000 square foot dog park (may be allowed within detention area)
e. Minimum 20 foot by 30 foot picnic pavilion
f. Basketball Court
4. The proposed parkland and public regional trail shall be dedicated to the City of Manor and privately maintained by the Okra Tract Homeowner's Association.

I. Landscaping

1. Unloaded Collector Landscape Buffer.
- a. For internal, unloaded collector roadways, a minimum ten (10) foot landscape buffer, measured from the edge of the collector right of way, shall be provided. One (1), minimum three (3) inch caliper, Type A large or Type B medium native tree (as defined by the Manor Code of Ordinances) and five (5), minimum three (3) gallon, shrubs shall be planted per 50 linear feet of landscape buffer.
- b. Subdivision wall fence standard for fence walls along the unloaded collector roadways, a minimum (6) foot masonry wall with masonry columns a minimum of (200) foot apart.
2. Storm Water Detention
- a. Storm water detention facilities, if required shall be screened according to the requirements outlined in the City of Manor Code of Ordinances, Section 15.03.021 (f).
3. All landscape buffers and walls shall be privately maintained by the Okra Tract Homeowners Association.

VICINITY MAP
Scale: 1" = 1/2 Mile



Item 3.

SEC Planning, LLC
Austin, Texas
LAND PLANNING
LANDSCAPE ARCHITECTURE
COMMUNITY BRANDING
4201 W. Parmer Lane Bldg A Suite 220
Austin, TX 78727
T 512.246.7703
www.secplanning.com
Email : info@secplanning.com

OKRA TRACT
FINAL PUD SITE PLAN
MANOR, TEXAS

J:\220013-DWAL\Cadfiles\PLANNING\Submittals\PUID Site Plan	
Issued:	
1. PUD Submittal	2/10/2023
2.	
3.	
4.	
5.	
Revisions:	
1. 3/29/2023	
2. 8/17/2023	
3. 8/25/2023	
4.	
5.	
Issue Date: 2/10/2023	

Drawn By: TW
Reviewed By: MB

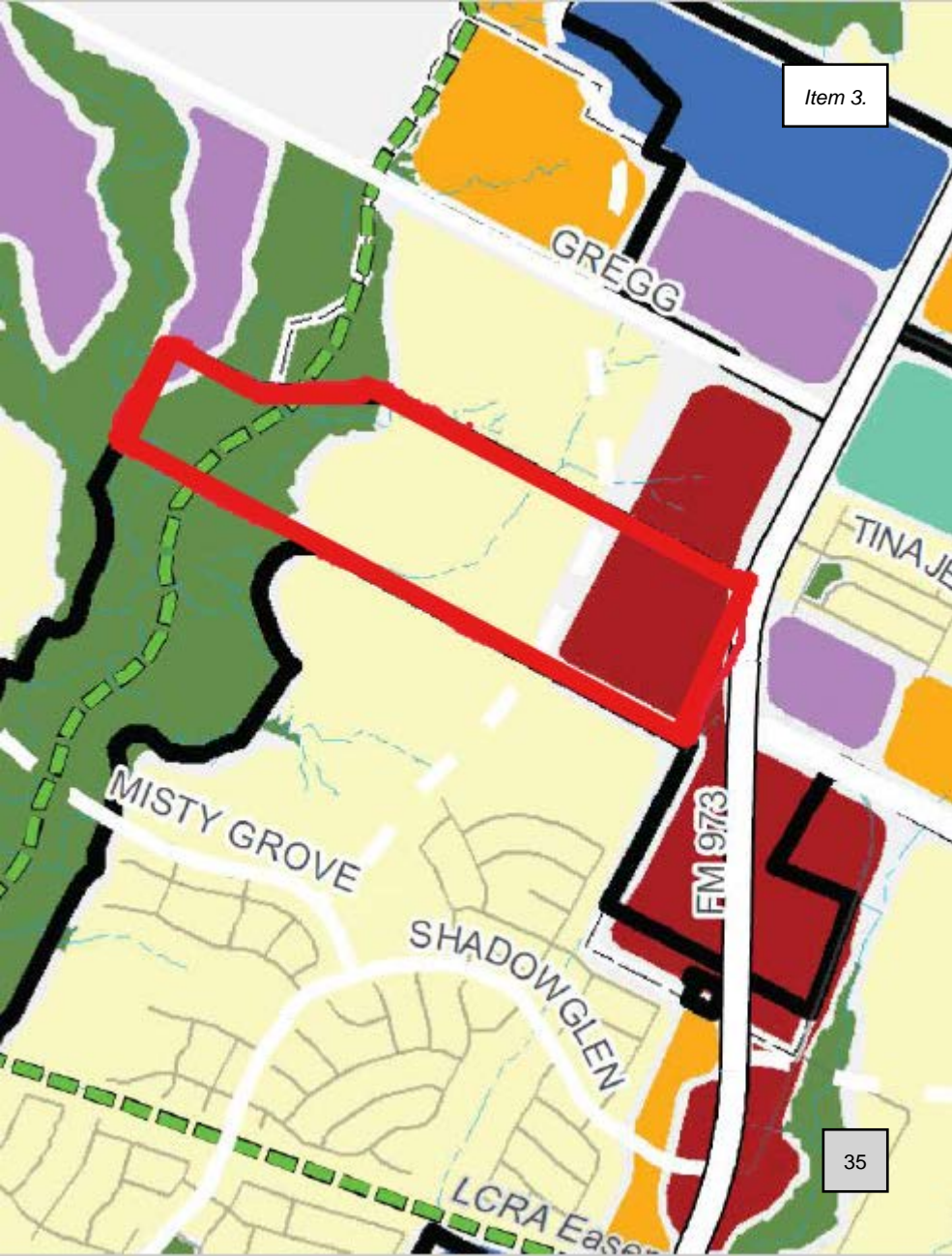
Project No.
220013 - BBGR

SHEET 1 of 1

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SEC Planning, LLC



Item 3.



COMMERCIAL CORRIDOR

Commercial Corridors consist of nonresidential land uses that meet the needs of both local and regional residents. This includes big box stores and multi-tenant commercial or retail uses.

They are typically located along high volume roadways or at high volume intersections and generate large amounts of sales tax revenue.

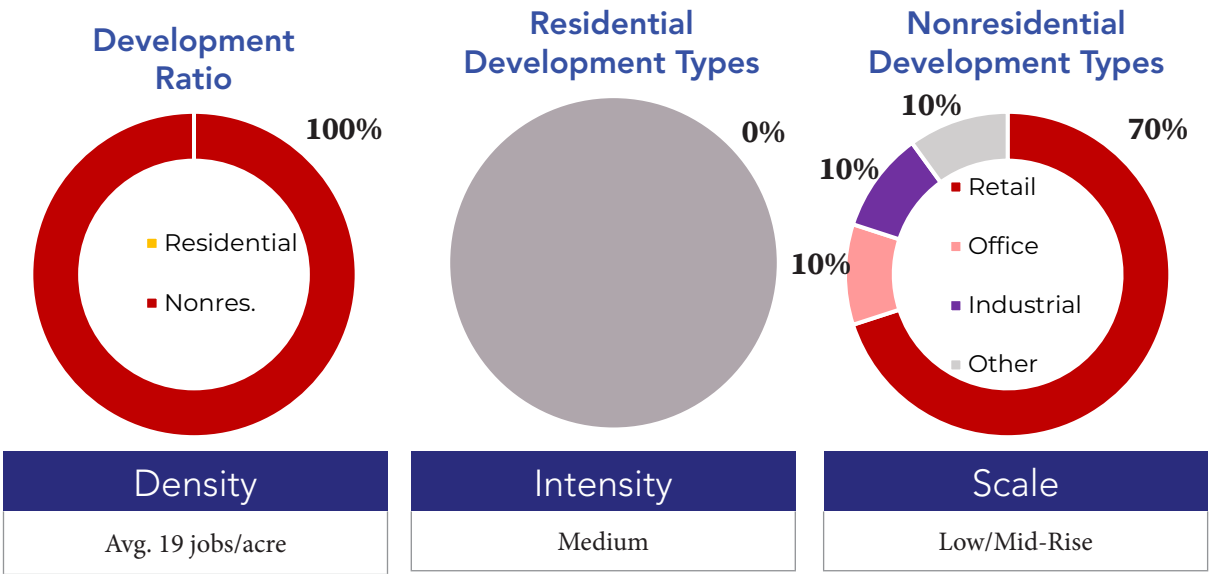
Commercial corridors often consist of traditional and suburban commercial development with large surface parking lots that front a major roadway or highway.

While it is recognized these corridors rely upon automobile accessibility and exposure, development should seek opportunities to leverage different forms with elements of mixed-use within the non-residential use framework. This introduces walkability for people once they arrive, reducing the number of trips and increasing the area’s appeal as a destination.

This district is especially appropriate for several needs that residents of Manor currently look elsewhere to provide, including:

- Healthcare services, including hospitals.
- Retail and entertainment.
- Specialized facilities that support workforce and skills development, such as information technology, skilled trades and advanced manufacturing.

Figure 3.6. Commercial Corridor Land Use Mix Dashboard



DEVELOPMENT TYPE	APPROPRIATENESS	CONDITIONS
Single-Family Detached (SFD)	●○○○○	Not considered appropriate, as the Commercial Corridors are generally oriented towards uses that rely on access and visibility to major roadways and highways and residential is not encouraged along the major roadways and highways for environmental justice and quality of life reasons. The activity and traffic generated by Commercial Corridor uses is not compatible with residential housing.
SFD + ADU	●○○○○	
SFA, Duplex	●○○○○	
SFA, Townhomes and Detached Missing Middle	●○○○○	
Apartment House (3-4 units)	●○○○○	
Small Multifamily (8-12 units)	●○○○○	
Large Multifamily (12+ units)	●○○○○	
Mixed-Use Urban, Neighborhood Scale	●●●○○	May be nonresidential mixed-use, such as office over retail or some residential can be appropriate if deeper within a site and less proximate to the major roadways. Residential mixed-use can also be appropriate to support transition to adjacent, lower density or residential areas. To note, mixed-use buildings are typically considered the highest fiscally performing development type on a per-acre basis.
Mixed-Use Urban, Community Scale	●●●○○	
Shopping Center, Neighborhood Scale	●●●●●	Appropriate overall.
Shopping Center, Community Scale	●●●●●	
Light Industrial Flex Space	●●○○○	Not considered appropriate due to limited potential for sales tax revenue generation and lower dependence on direct exposure to major roadways; can be appropriate if deeper within a site and less proximate to the major roadways, but should not be predominant use.
Manufacturing	●○○○○	Not considered appropriate.
Civic	●●●●●	Considered supportive to the function of this future land use category; likely more functional facilities, such as utilities, rather than people-centered or community serving facilities.
Parks and Open Space	●●●●●	Generally considered appropriate or compatible within all Land Use Categories.

NEIGHBORHOODS

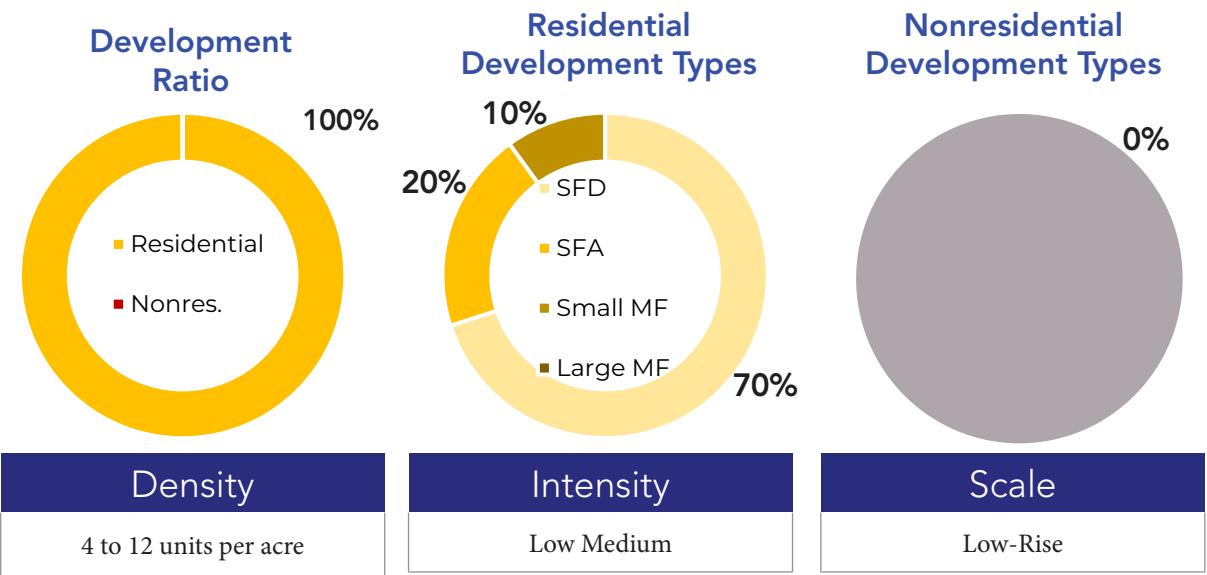
Residential one- and two-family/duplex homes make up the majority of this land use category. Some townhomes and lower density missing middle housing should be included to create diversity and housing choice and are good options to create transitions between neighborhoods and other land use areas. A mixture of housing types allows people to stay in the neighborhood even as their housing needs change, promoting long-term stability.

These housing types typically fall under the International Residential Code for one- and two-family dwellings, and can be financed via conventional Federally-backed mortgages.

While some neighborhood areas are currently adjacent to commercial centers, a more appropriate transition between the two would be the Mixed-Density Neighborhood land use categories.

Neighborhood lots are typically 5,000 square feet to 15,000 square feet for one- and two-family homes, with townhome lots being between 2,000 square feet and 3,000 square feet. Given the density expectations, smaller lot sizes should be offset by open space with an emphasis on creating interconnected greenways that connect neighborhoods to one another and to jobs, services, and parks.

Figure 3.4. Neighborhoods Land Use Mix Dashboard



DEVELOPMENT TYPE	APPROPRIATENESS	CONDITIONS
Single-Family Detached (SFD)	●●●●○	Appropriate overall, but with this housing type being so prominent in the City currently, seek to integrate with other forms of housing to create diversity and housing choice. Encourage diversity of lot sizes. Encourage joint driveways, alley access and rear parking.
SFD + ADU	●●●●●	Lot and site design should accommodate an ADU to the side or rear; ADU should be clearly secondary to the primary residence.
SFA, Duplex	●●●●●	Similar in character and lot standards to single-family detached; Joint/shared driveways encouraged, as well as alleys and rear parking; ADUs can be included consistent with the above.
SFA, Townhomes and Detached Missing Middle	●●●●●	Townhouses and Bungalow Courts should include at least 4 units, Pocket Neighborhoods 8-12 units. Functions best at corner properties (excluding townhomes). Encouraged especially when retail/services are nearby. Encourage joint driveways, alley access and rear parking. ADUs consistent with above.
Apartment House (3-4 units)	●●●●○	Can be part of a diverse housing type palette within the Neighborhood category. Similar in character and lot standards to SFD; functions best at corner properties. Encouraged especially when retail/services are nearby. Encourage joint driveways, alley access and rear parking.
Small Multifamily (8-12 units)	●●●○○	Scale is not typically appropriate with neighborhood-scale, unless adjacent to Neighborhood Mixed Use. May be appropriate as a transitional use from land use categories containing nonresidential uses.
Large Multifamily (12+ units)	●○○○○	Not considered appropriate, but may occur in other future land use categories adjacent to Neighborhoods.
Mixed-Use Urban, Neighborhood Scale	●○○○○	
Mixed-Use Urban, Community Scale	●○○○○	Not considered appropriate.
Shopping Center, Neighborhood Scale	●○○○○	Not considered appropriate, but may occur in other future land use categories adjacent to Neighborhoods.
Shopping Center, Community Scale	●○○○○	Not considered appropriate.
Light Industrial Flex Space	●○○○○	
Manufacturing	●○○○○	
Civic	●●●●●	Considered supportive to the function and livability of this future land use category; government buildings, schools and community facilities can serve as activity hubs within neighborhoods.
Parks and Open Space	●●●●●	Generally considered appropriate or compatible within all Land Use Categories.



8/30/2023

City of Manor Development Services

Notification for a Final PUD Site Plan

Project Name: Okra Tract Final PUD
Case Number: 2023-P-1570-ZO
Case Manager: Michael Burrell
Contact: mburrell@manortx.gov – 512-215-8158

The City of Manor Planning and Zoning Commission and City Council will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon on a Subdivision Final Planned Use Development (PUD) for the Okra Tract Subdivision located at 14418 N. FM 973, Manor, TX. The request will be posted on the agenda as follows:

Public Hearing: Conduct a public hearing on a Final PUD for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX.

Applicant: Sotol Ventures

Owner: Dalton Wallace

The Planning and Zoning Commission will meet at 6:30PM on September 13, 2023 at 105 East Eggleston Street in the City Hall Council Chambers.

City Council will meet at 7:00PM on September 20, 2023 at 105 East Eggleston Street in the City Hall Council Chambers.

You are being notified because you own property within 300 feet of the property for which this Final PUD Site Plan has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners and Council Members during the discussion of this item.

14420 Pernella Rd Intervivos Revocable Trust
14420 Pernella Rd
Manor, TX 78653

ANDERSSON CATHERINE & DANIEL
13917 HEARTLAND DR
Manor, TX 78653

Arthur Ray & Odette Vanessa Taylor
14416 Pernella Rd
Manor, TX 78653

BAJWA NAJM US SAQIB & TAHIRA NAJM
139 HEARTLAND DR
Manor, TX 78653

BIREDDY ANVESH REDDY
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BRASSELL REBECCA & PATRICK
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CABRERA KEVIN E & ISABEL S
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CITY OF MANOR
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CONROY KEVIN
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De Jesus-Martinez Ignacio ETAL
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DEROCH MANDY BARBER
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DICK GEOFFREY SCOTT & ANIKA VAN BOOM
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Enfield Partners LLC ETAL
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Austin, TX 78746

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Gliberto & Maria Estrada
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GUZMAN MASON ANDREW
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HAYNES BUCHANAN CAROL M
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Henrietta Velasquez
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Manor, TX 78653

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Austin, TX 78746

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Juan Chaparro
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KALE MICHAEL & LASHONDRA M
14013 HEARTLAND DR
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Kristine & Matthew Escobedo
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Manor, TX 78653

KURIAN CLEMENT & LIZ MANDAPATHIL
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LAKE ELIJAH & KANESHA
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Pflugerville, TX 78660

LEONARD SCOTT
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BALACHANDRA
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Manor, TX 78653

Mary Clark
14404 Pernella Rd
Manor, TX 78653

Masrur Reza, Mustafa Ali Reza Chowdhury, Fauzia Zaman
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Manor, TX 78653

MCCUE KEVIN & BRITTANY BAMBERG
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Austin, TX 78704

Meritage Homes of Texas LLC
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Pflugerville, TX 78660

Monarch Ranch at Manor LLC
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Oxford, MS 38655

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Manor, TX 78653

PERRY HOMES LLC
PO BOX 34306
Houston, TX 77234

Roy & Frank Velasquez
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RUSSELL RACHEL R & WILLIAM B WRIGHT
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Manor, TX 78653

RUST CREEK LLC
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Austin, TX 78724

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Irvine, CA 92612

SG LAND HOLDINGS LLC
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Irvine, CA 92612

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SORATHIA BHARGAV
3472 Fitzsimmons Cmn
Fremont, CA 94538

SRIHARI FNU & PRIYANKA PUPPALA
14009 Heartland Dr
Manor, TX 78653

Stanley & Sandra Voelker
14401 FM 973 N
Manor, TX 78653

STEVES DANIEL & JANELLE
14400 HEARTLAND DR
Manor, TX 78653

STEWART MARIANNE K & LARRY N
14300 HEARTLAND DR
Manor, TX 78653

STONE LEISA M & ZACHARY P
14413 HEARTLAND DR
Manor, TX 78653

SUTT DYLAN J
14104 Heartland Dr
Manor, TX 78653

THOMPSON MATTHEW
14505 HEARTLAND DR
Manor, TX 78653

Timmerman Commercial Investments LP
501 Vale ST
Austin, TX 78746

TRIPATHI ANKIT MANI
14205 HEARTLAND DR
Manor, TX 78653

UNAL BELGIN & AYHAN
14320 HEARTLAND DR
Manor, TX 78653

VALENZUELA MELINDA S & MATTHEW R
14204 HEARTLAND DR
Manor, TX 78653

Item 3.

WANG YILI & YUNQING XIA
14001 HEARTLAND DR
Manor, TX 78653

WEISS KERMIT R & EMMAGENE
PO BOX 25
Manor, TX 78653

WILLIAMS LAURA
14305 HEARTLAND DR
Manor, TX 78653

YINGST ALEX BICERA
13920 Heartland Dr
Manor, TX 78653

,



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023

PREPARED BY: Scott Dunlop, Director

DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Conduct a public hearing on a Subdivision Preliminary Plat for Shadowglen, three-hundred and six (306) lots on 103.7 acres, more or less, and being located near the intersection of Gregg Manor Road and Rector Loop.

Applicant: Kimley Horn

Owner: SG Land Holdings, LLC

BACKGROUND/SUMMARY:

This plat has been approved by our engineers. Phase 3, Section 1 and 2 has 354 single family lots and 7 open space and drainage lots. Sections 1 and 2 of Phase 3 are along Rector Loop, just north of Gregg Manor Road.

LEGAL REVIEW: *Not Applicable*

FISCAL IMPACT: *NO*

PRESENTATION: *NO*

ATTACHMENTS: *YES*

- Letter of Intent
- Plat
- Engineer Comments
- Acceptance Letter
- Notice and Mailing Labels

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission conduct a public hearing on a Subdivision Preliminary Plat for Shadowglen, three-hundred and six (306) lots on 103.7 acres, more or less, and being located near the intersection of Gregg Manor Road and Rector Loop.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**



October 25, 2018

City of Manor
Engineering Department
105 E. Eggleston Street
Manor, TX 78653

RE: *Summary Letter – Shadowglen Phase 3 – Section 1 & 2*

Dear Engineering Department:

Kimley-Horn and Associates, Inc. has prepared the following Summary Letter to support the submittal of the Preliminary Plan for the above referenced project. The project entails 306 lots, which is comprised of 299 single-family lots, 7 open space/drainage lots, street and sidewalk improvements, storm, water, wastewater improvements, and detention/water quality improvements. The streets will be constructed to city of Manor standards and be surfaced with asphalt. Water quality improvements will be comprised of partial sedimentation / filtration ponds and vegetative filter strips, and detention ponds will be constructed to reduce peak runoff rates to less than or equal to existing conditions. The subdivision will be serviced by 12" and 8" water mains and 12" and 8" wastewater mains (see Utility Demand Calculations Letter support document for utility demands). Per the approved PUD Document governing the overall Shadowglen development, no parkland dedication will be required as this criterion has already been met.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jason Reece".

Jason Reece, P.E.
Project Manager
TBPE F-928

PRELIMINARY PLAN ONLY - NOT FOR RECORDATION

FOR

SHADOWGLEN PHASE 3

SECTION 1 & 2

CITY OF MANOR, TRAVIS COUNTY COUNTY, TEXAS

WATERSHED STATUS :

THIS SITE IS LOCATED IN THE WILBARGER CREEK WATERSHED.

FLOODPLAIN INFORMATION:

A PORTION OF THE SITE IS IN THE 100-YEAR, ATLAS 14 FLOODPLAIN. A CLOMR (CASE NO. 19-06-0028R) HAS BEEN APPROVED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR THE PROPOSED IMPROVEMENTS WITHIN THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) 48453C0485J EFFECTIVE (8/18/2014). ALL FFE MUST BE 2 FT ABOVE THE 100-YEAR, ATLAS 14 FLOODPLAIN.

LEGAL DESCRIPTION

BEING 103.728 ACRE TRACT OUT OF CALLED 349.79 ACRE TRACT 1 CONVEYED TO MERITAGE HOMES OF TEXAS, LLC. DOC. NO. 2020148949, OPRTC SUMNER BACON SURVEY NO. 62, ABSTRACT NO. 63 CITY OF MANOR, TRAVIS COUNTY, TEXAS

ENGINEER



10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300
AUSTIN, TEXAS 78759
CERTIFICATE OF REGISTRATION #928
CONTACT: JACOB KONDO, P.E.

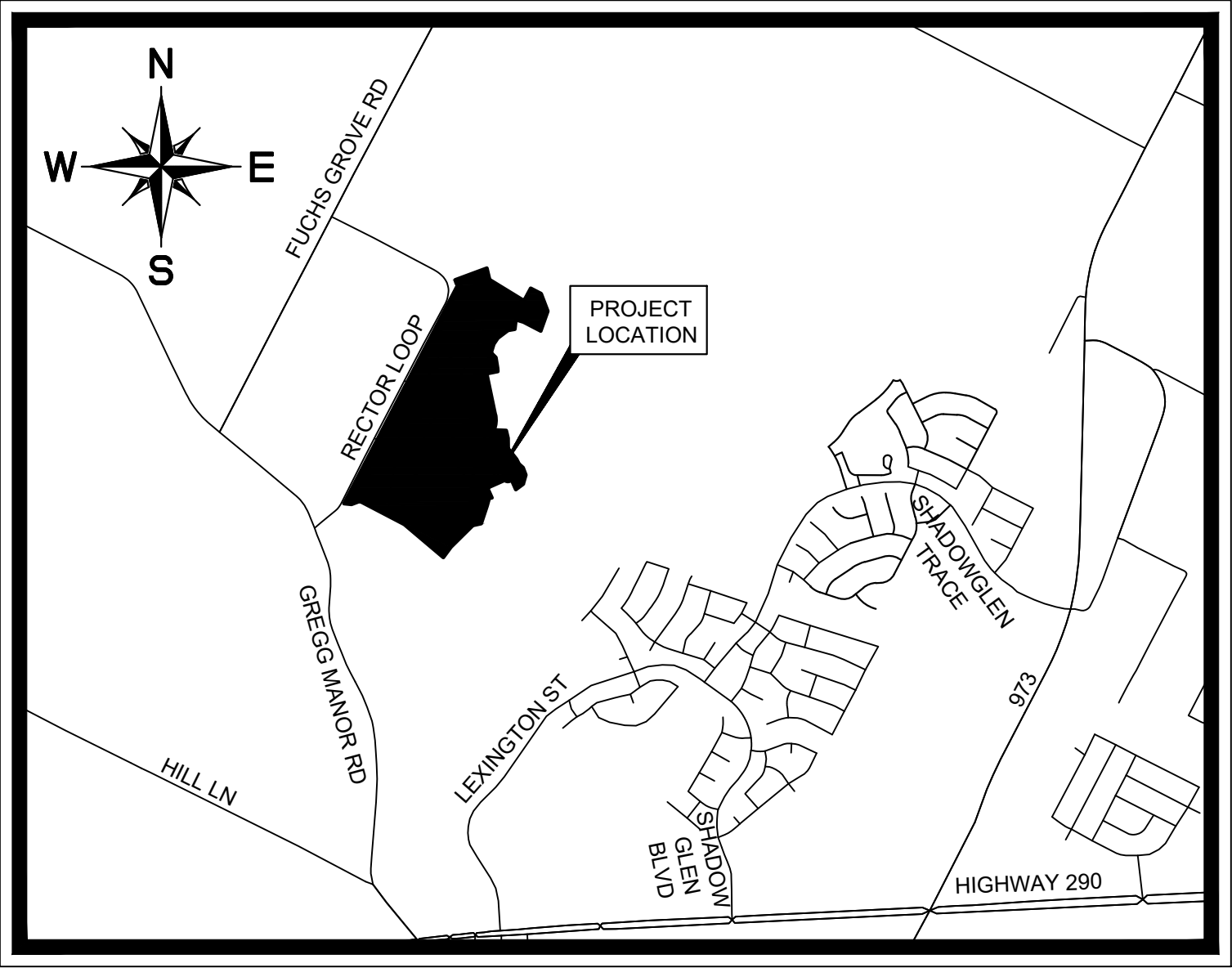
Tel. No. (512) 418-1771
Fax No. (512) 418-1791

OWNER/DEVELOPER

MERITAGE HOMES OF TEXAS, LLC
8920 BUSINESS PARK DRIVE, SUITE 350
AUSTIN, TEXAS 78759
TEL: 512.610.4316
CONTACT: Brandon Hammon

SURVEYOR

KIMLEY-HORN
601 NW LOOP 410, SUITE 350
SAN ANTONIO, TEXAS 78216
TEL: 210.541.9166
CONTACT: GREG MOSIER



VICINITY MAP

SCALE: 1" = 2,000'

JANUARY 2023

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	OVERALL PRELIMINARY PLAN
3	PRELIMINARY PLAN - SECTION 1 (SHEET 1 OF 2)
4	PRELIMINARY PLAN - SECTION 2 (SHEET 2 OF 2)
5	PRELIMINARY PLAN - LOT AREAS CURVE & LINE TABLES
EX A	EXISTING DRAINAGE AREA MAP
EX B	PROPOSED DRAINAGE AREA MAP
EX C	INLET DRAINAGE AREA MAP - SECTION 1 (SHEET 1 OF 2)
EX D	INLET DRAINAGE AREA MAP - SECTION 2 (SHEET 2 OF 2)
EX E	DRAINAGE CALCULATIONS (SHEET 1 OF 2)
EX F	DRAINAGE CALCULATIONS (SHEET 2 OF 2)
EX G	PRELIMINARY WATER QUALITY PLAN
EX H	PRELIMINARY WATER QUALITY CALCULATIONS
EX I	PRELIMINARY WATER PLAN - SECTION 1 (SHEET 1 OF 2)
EX J	PRELIMINARY WATER PLAN - SECTION 2 (SHEET 2 OF 2)
EX K	PRELIMINARY WASTEWATER PLAN - SECTION 1 (SHEET 1 OF 2)
EX L	PRELIMINARY WASTEWATER PLAN - SECTION 2 (SHEET 2 OF 2)

APPROVAL AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL FOR THE CITY OF MANOR, TEXAS.

DATED THIS ____ DAY OF _____, 20 ____

BY:
HONORABLE MAYOR DR. CHRISTOPHER HARVEY
MAYOR OF THE CITY OF MANOR, TEXAS

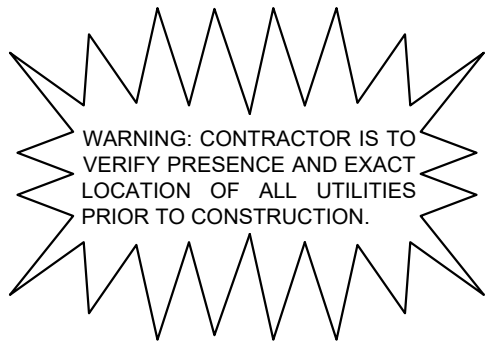
THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY OF COUNCIL.

DATED THIS ____ DAY OF _____, 20 ____

BY:
JULIE LEONARD, CHAIRPERSON



Know what's below.
Call before you dig.



TRAVIS COUNTY ESD No. 12 NOTES:

1. FIRE HYDRANTS APPROVED AND INSTALLED AS A PART OF THE PROPOSED PROJECT ARE PART OF A FIRE PROTECTION SYSTEM.

2. MINIMUM REQUIRED FIRE FLOW SHALL MEET OR EXCEED THE REQUIREMENTS OF APPENDIX B OF THE 2015 INTERNATIONAL FIRE CODE. MINIMUM FIRE FLOW SHALL NOT BE LESS THAN 1000 GALLONS PER MINUTE FOR THIS PROJECT.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF MANOR, TRAVIS COUNTY T.N.R. AND TRAVIS COUNTY ESD No. 12 MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER. REVIEW OF THE SUBMITTED MATERIALS DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR ORDINANCE COMPLIANCE BY THE CITY ENGINEER.



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10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300, AUSTIN, TX 78759
PHONE: 512-418-1771 FAX: 512-418-1791
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928



KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
069254503	JANUARY 2022	AS SHOWN	JBR	ADD	JBR

COVER SHEET

PRELIMINARY PLANS FOR
SHADOWGLEN
PHASE 3
CITY OF MANOR
TRAVIS COUNTY, TEXAS

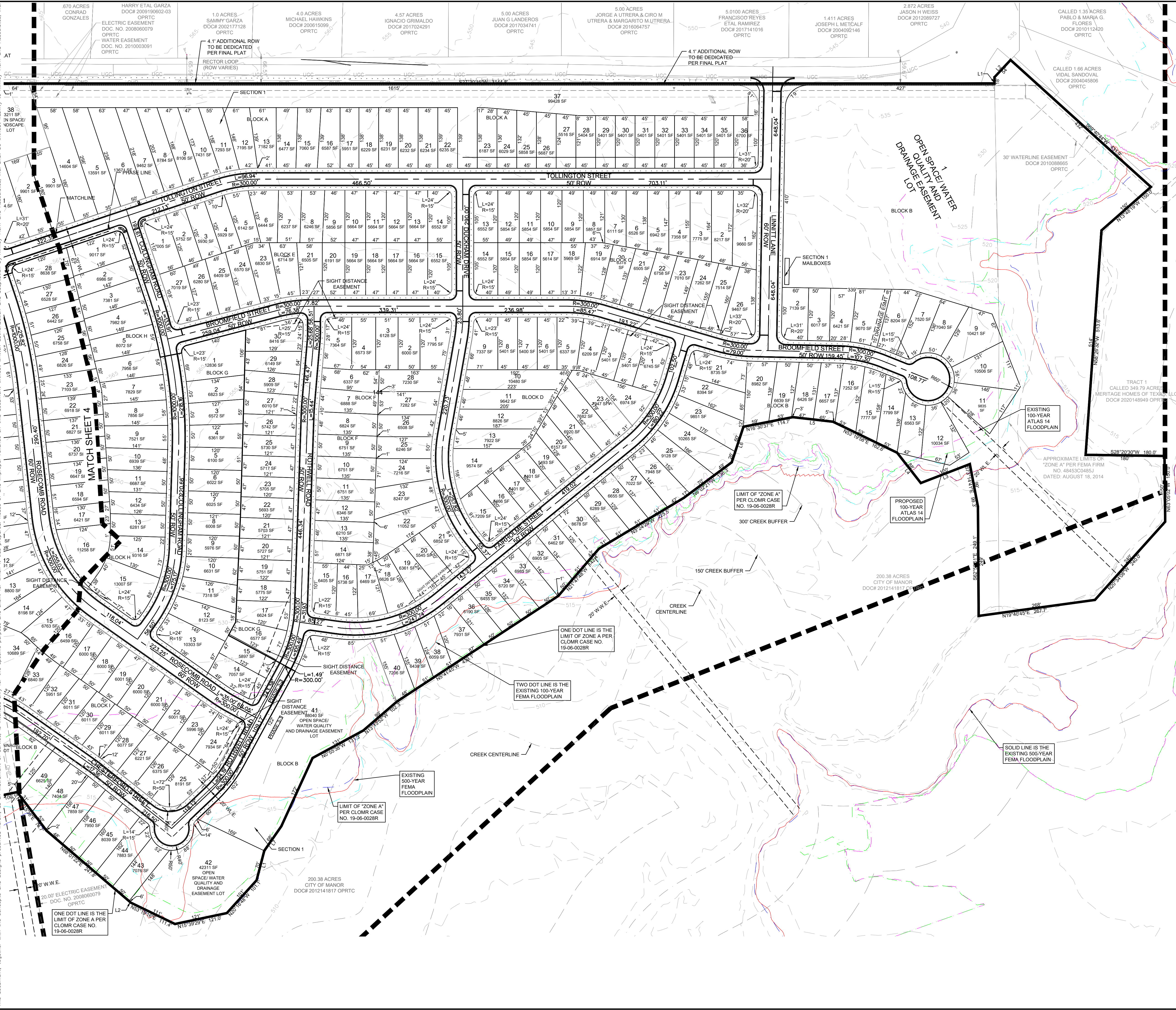
SHEET NUMBER
1

PRELIMINARY PLAN

KHA PROJECT NO. 069254503

SHADOWGLEN PHASE 3 - SECTION 1 & 2

Plotted By: Carlos, Jonathan Date: June 14, 2023 03:41:52pm File Path: K:\AUS-Civil\069254503-Shadowglen Phase 3\3a Preliminary\PlanSheets\3a Preliminary Plans.dwg
This document, together with the concepts and designs presented herein, is an instrument of service, intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

	PHASE LINE
	PROPERTY BOUNDARY
	LIMIT OF "ZONE A" PER CLOMR
	EXISTING 100-YEAR FEMA FLOODPLAIN
	EXISTING 500-YEAR FEMA FLOODPLAIN
	PROPOSED 100-YEAR ATLAS 14 FLOODPLAIN
	EXISTING 100-YEAR ATLAS 14 FLOODPLAIN
	150' CREEK BUFFER
	300' CREEK BUFFER
	PROPOSED SIDEWALK
	EXISTING OVERHEAD POWER LINE
	EXISTING WATER LINE
	EXISTING WASTE WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING WASTE WATER MANHOLE

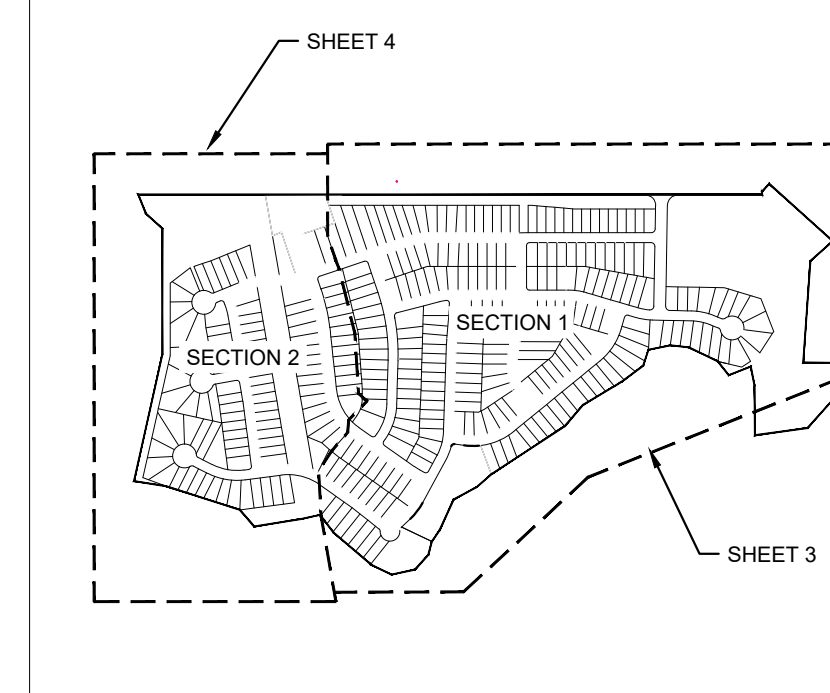
NOTES:

- SEE SHEET 2 FOR PRELIMINARY PLAN NOTES.
- SEE SHEET 5 FOR LOT AREAS, CURVE, AND NOTE TABLES.
- A CERTIFICATION FROM A REGISTERED ACCESSIBILITY SPECIALIST WILL BE PROVIDED WITH THE CONSTRUCTION PLANS STATING COMPLIANCE WITH ACCESSIBILITY STANDARDS HAS BEEN MET PER CHAPTER 482.202(2).

SHADOWGLEN SECTION 1 GENERAL INFORMATION:

TOTAL ACREAGE.....	55.52
LINEAR FEET OF 50' ROW.....	6,532
ACREAGE OF PUBLIC 50' ROW.....	7.3
LINEAR FEET OF 60' ROW.....	909
ACREAGE OF PUBLIC 60' ROW.....	1.24
ACREAGE OF PUBLIC ROW TO BE DEDICATED.....	0.29
NUMBER OF SINGLE FAMILY LOTS.....	195
ACREAGE OF SINGLE FAMILY LOTS.....	29.2
NUMBER OF OPEN SPACE & DRAINAGE LOTS.....	3
ACREAGE OF OPEN SPACE & DRAINAGE LOTS.....	16.96
NUMBER OF OPEN SPACE & LANDSCAPE LOTS.....	1
ACREAGE OF OPEN SPACE & LANDSCAPE LOTS.....	0.53
TOTAL NUMBER OF LOTS.....	199

WATER SERVICE AND WASTEWATER SERVICE TO BE PROVIDED BY WILBARGER CREEK MUD NO. 2



KEY MAP
N.T.S.
BENCHMARKS

BM #101	1"X IN CONCRETE AROUND A WATER MANHOLE LOCATED 2281' SOUTHWEST OF THE SOUTHWEST CORNER OF THE CENTERLINE 100' ROW TRAIL AND 1770' SOUTHWEST OF THE SOUTHEAST RIGHT-OF-WAY LINE OF PACE GROVE ROAD	ELEV: +557.13 (NAVD 83)
BM #102	1"X SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND PACE GROVE ROAD	ELEV: +538.05 (NAVD 83)
BM #103	5"X BORN ROD WITH A PLASTIC CAP SET IN ASPHALT ON THE EAST SIDE OF RECTOR LOOP MIDWAY THROUGH WHERE THE ROAD CURVES FROM SOUTHEAST TO SOUTHWEST JUST SOUTH OF THE GATED ENTRANCE TO THE SITE	ELEV: +538.73 (NAVD 83)

Know what's below.
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

Item 4

B

DATE

REVISIONS

No.

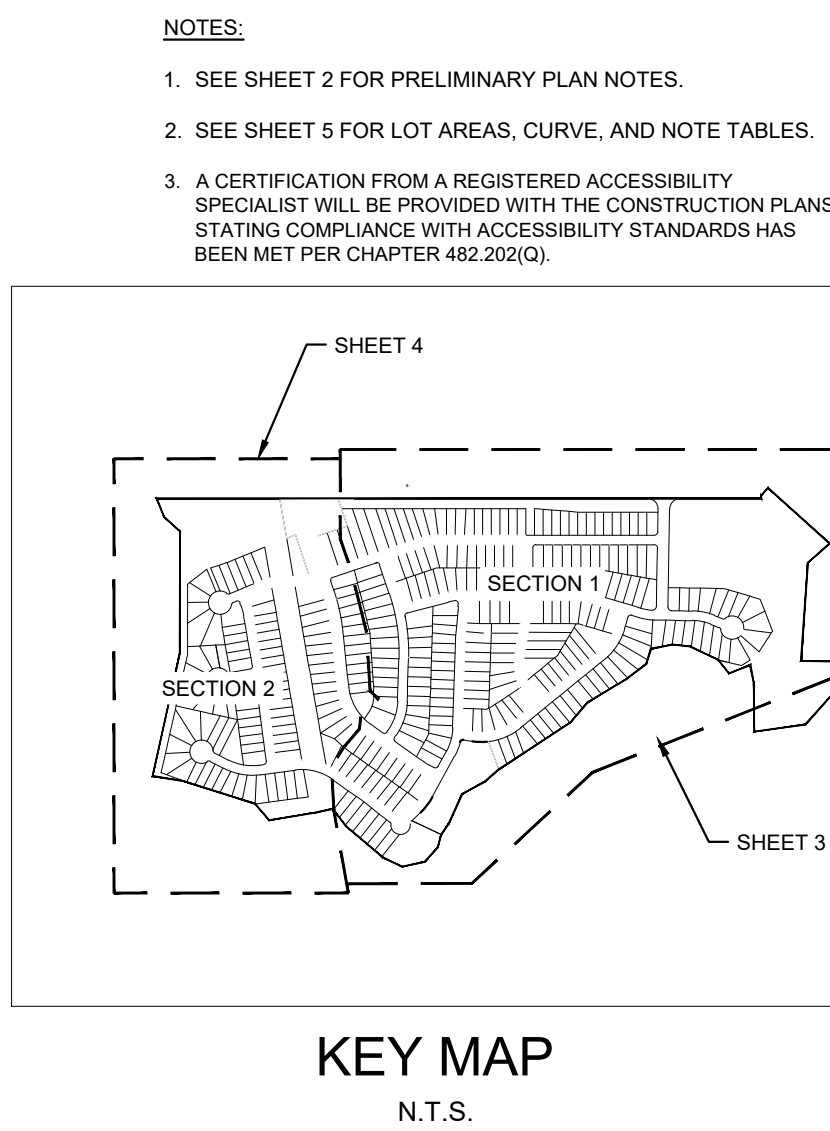
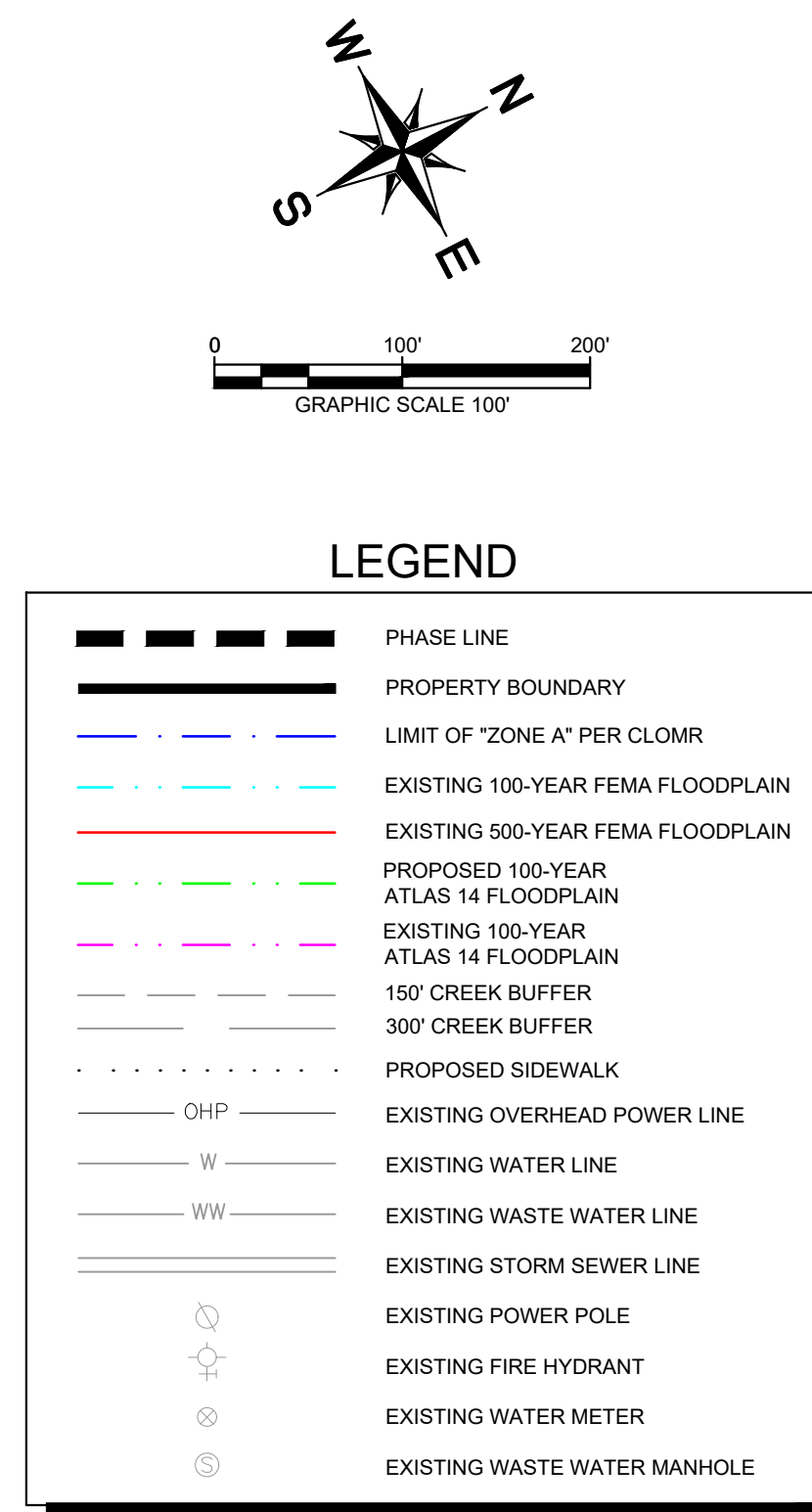
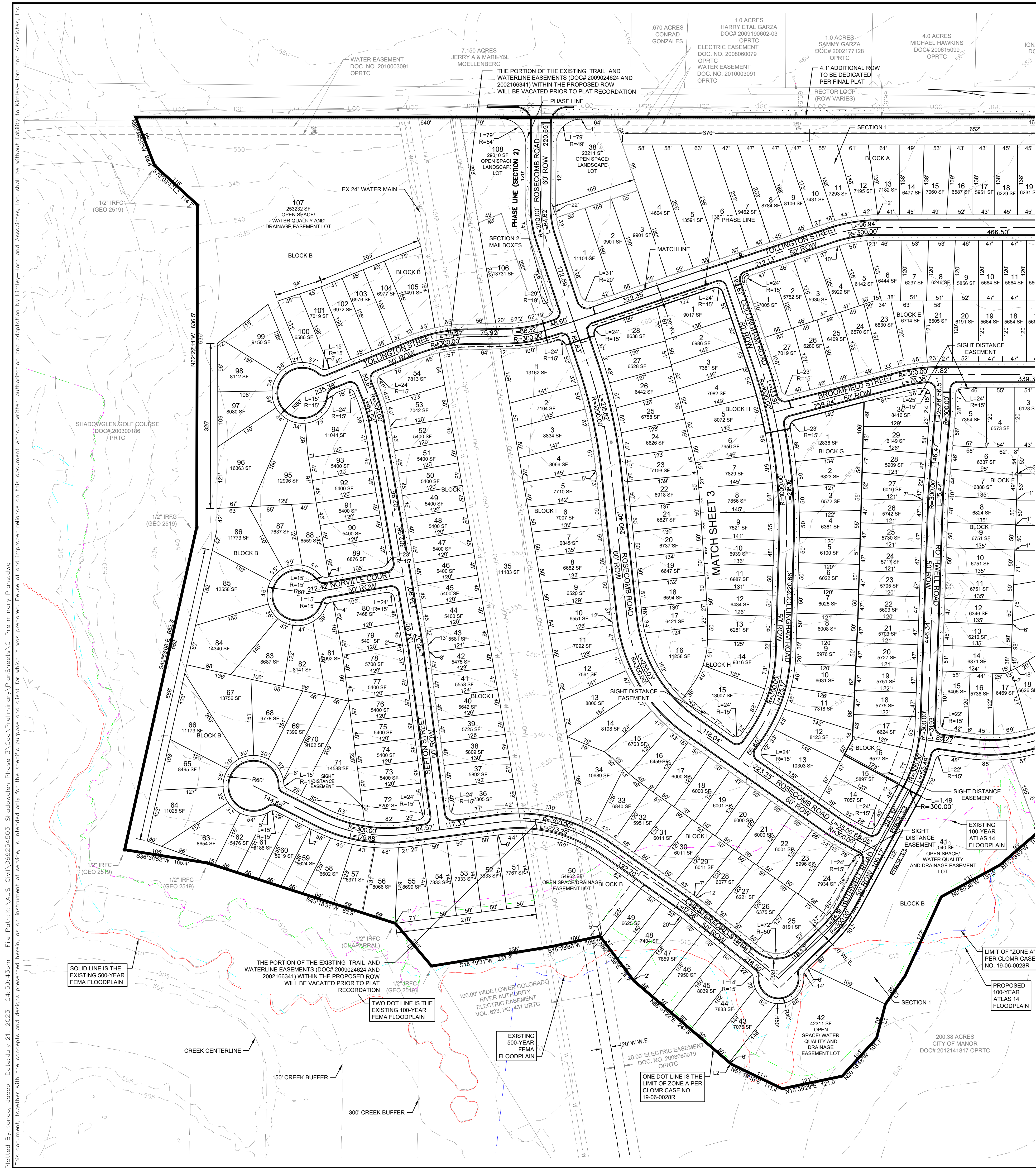
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PHONE: 512-418-1771 FAX: 512-418-791
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928

KHA PROJECT	069254503
DATE	JANUARY 2022
SCALE	AS SHOWN
DESIGNED BY:	JBR
DRAWN BY:	ADD
CHECKED BY:	JBR

PRELIMINARY PLANS FOR
SHADOWGLEN
PHASE 3
CITY OF MANOR
TRAVIS COUNTY, TEXAS

PRELIMINARY PLAN -
SECTION 1 (SHEET 1 OF 2)

SHEET NUMBER
3



SHADOWGLEN SECTION 2 GENERAL INFORMATION:



TOTAL ACREAGE.....	48.21
LINEAR FEET OF 50' ROW.....	5,556
ACREAGE OF PUBLIC 50' ROW.....	6.91
ACREAGE OF PUBLIC ROW TO BE DEDICATED.....	0.14
NUMBER OF SINGLE FAMILY LOTS.....	159
ACREAGE OF SINGLE FAMILY LOTS.....	28.33
NUMBER OF OPEN SPACE & DRAINAGE LOTS.....	4
ACREAGE OF OPEN SPACE & DRAINAGE LOTS.....	12.16
NUMBER OF OPEN SPACE & LANDSCAPE LOTS.....	1
ACREAGE OF OPEN SPACE & LANDSCAPE LOTS.....	0.67
TOTAL NUMBER OF LOTS.....	164

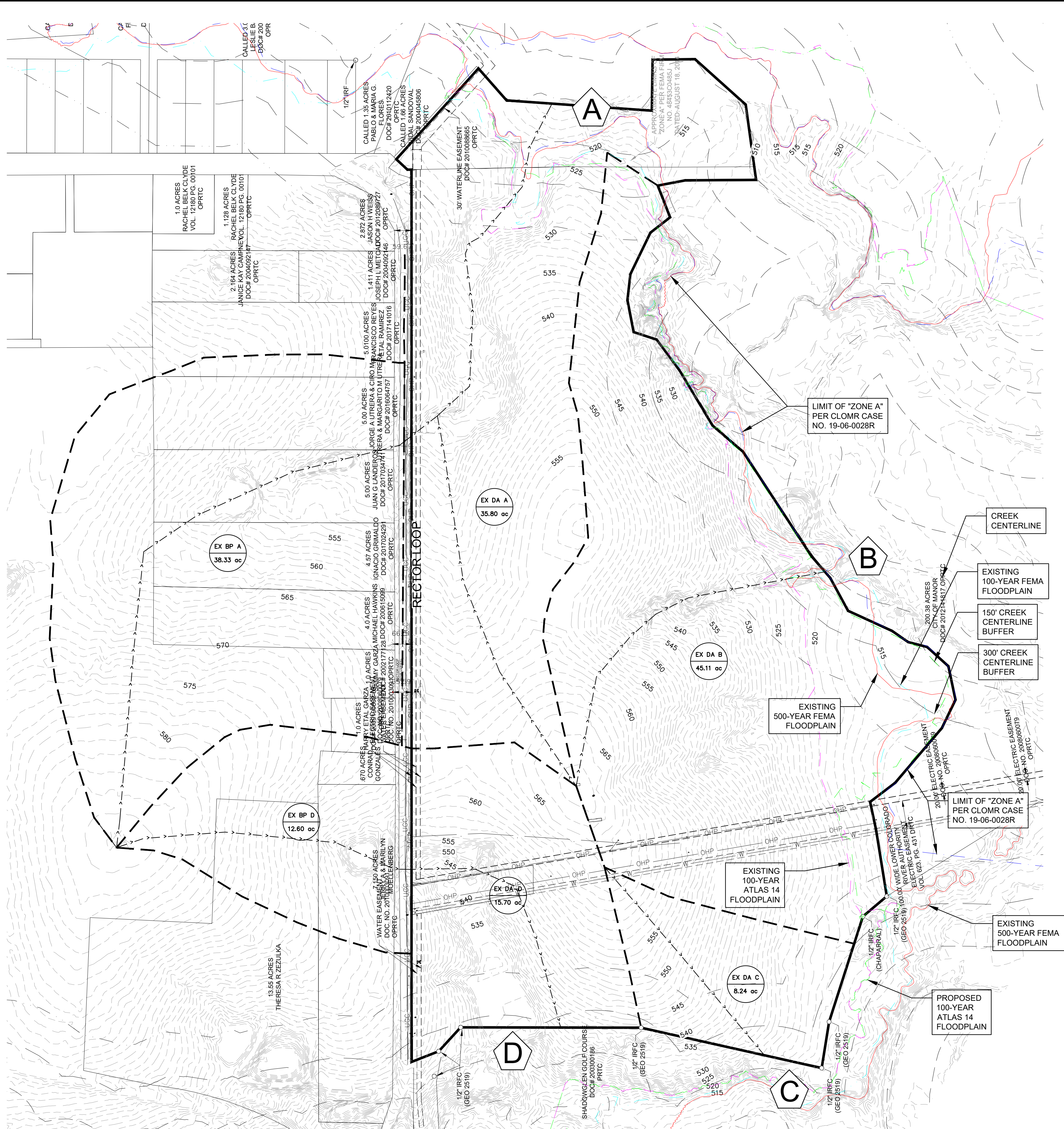
WATER SERVICE AND WASTEWATER SERVICE TO BE PROVIDED
BY WILBARGER CREEK MUD NO. 2



**Know what's below.
Call before you dig.**

**WARNING: CONTRACTOR IS TO
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LOCATION OF ALL UTILITIES
PRIOR TO CONSTRUCTION.**

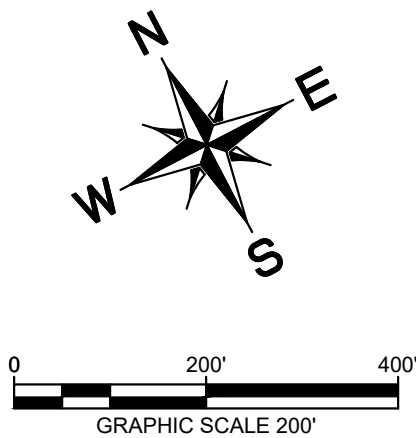
SHEET NUMBER	PRELIMINARY PLANS FOR SHADOWGLEN PHASE 3 CITY OF MANOR TRAVIS COUNTY, TEXAS	PRELIMINARY PLAN - SECTION 2 (SHEET 2 OF 2)	KHA PROJECT 069254503 DATE JANUARY 2022 SCALE: AS SHOWN DESIGNED BY: JBR DRAWN BY: AGD CHECKED BY: JBR	 7/21/2022	 © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300, AUSTIN, TX 78759 PHONE: 512-418-1771 FAX: 512-418-1791 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM F-928	No.	REVISIONS	DATE	Item 4.



SHADOWGLEN PHASE 3 PRELIMINARY PLAN
Drainage Calculations - SCS Method

DRAINAGE AREA	AREA (sf)	AREA (Ac.)	IMPERVIOUS COVER (Ac.)	IMPERVIOUS COVER %	PERVIOUS COVER Cn ¹	WEIGHTED CURVE NO. Cn ²	SHEET FLOW				SHALLOW CONCENTRATED FLOW										CHANNEL FLOW										TOTAL Tc ³ (min)				
							P-30/24hr 4.06 IN				Grass Surface					Paved Surface					Channel Flow					Pipe Flow									
							N	L (ft)	S (ft/ft)	T _{min}	L (ft)	V (fps)	S (ft/ft)	T _{min}	L	V (fps)	S	T _{min}	L (ft)	V (fps)	a (ft ^{-1.48})	Pw (ft)	r	n	S (ft/ft)	T _{min}	L (ft)	V (fps)	a (ft ^{-1.48})	Pw (ft)		r	n	S (ft/ft)	T _{min}
EX DA A	1,559,448	35.80	0.480	1.34	80.00	80.24	0.24	100	0.010	16.717	948	2.55	0.025	6.19	-	-	-	0.00	1214	3.5	10	15.7	0.64	0.03	0.020	5.78	-	-	-	-	-	0.013	0.010	0.00	28.69
OS BP A	1,669,655	38.33	0.000	0.00	80.00	80.00	0.24	100	0.010	16.72	2054	2.55	0.025	13.42	-	-	-	0.00	1006	3.5	10	15.7	0.64	0.03	0.020	4.79	-	-	-	-	-	0.013	0.010	0.00	34.93
EX DA B	1,984,992	45.11	0.00	0.00	80.00	80.00	0.24	100	0.015	14.21	480	3.23	0.040	2.48	-	-	-	0.00	618	3.5	10	15.7	0.64	-	0.040	2.94	-	-	-	-	-	0.013	0.010	0.00	19.64
EX DA C	358,934	8.24	0.000	0.00	80.00	80.00	0.24	100	0.010	16.72	2054	2.55	0.025	13.42	-	-	-	0.00	1006	3.5	10	15.7	0.64	0.03	0.020	4.79	-	-	-	-	-	0.013	0.010	0.00	34.93
EX DA D	683,892	15.70	0.00	0.00	80.00	80.00	0.24	100	0.015	14.21	480	3.23	0.040	2.48	-	-	-	0.00	618	3.5	10	15.7	0.64	-	0.040	2.94	-	-	-	-	-	0.013	0.010	0.00	19.64
EX BP D	548,856	12.60	0.381	3.02	80.00	80.54	0.24	100	0.010	16.72	1065	3.23	0.040	5.50	-	-	-	0.00	0	3.5	10	15.7	0.64	0.03	0.050	0.00	-	-	-	-	-	0.013	0.010	0.00	22.22

Existing Condition:
¹ Grassland Type D soil. A Cn of 98 was used for impervious surfaces to calculate weighted Cn.
² Cn Values based on USDA TR-55 Manual
³ The minimum Tc is 5 minutes per the TR-55.



LEGEND

X

POINT OF ANALYSIS

X-1

AREA DESIGNATOR

9.9 ac

AREA IN ACRES

A-1

INLET NUMBER

PROPERTY LINE

PROPOSED STORM SEWER LINE

EXISTING STORM SEWER LINE

PROPOSED DRAINAGE DIVIDE

o

PROPOSED STORM SEWER INLET

o

PROPOSED STORM SEWER MANHOLE

PROPOSED STORM SEWER HEADWALL

PROPOSED FLOW DIRECTION

PROPOSED CONTOUR

EXISTING CONTOUR

TIME OF CONCENTRATION PATH

LIMIT OF "ZONE A" PER CLOMR

EXISTING 100-YEAR FEMA FLOODPLAIN

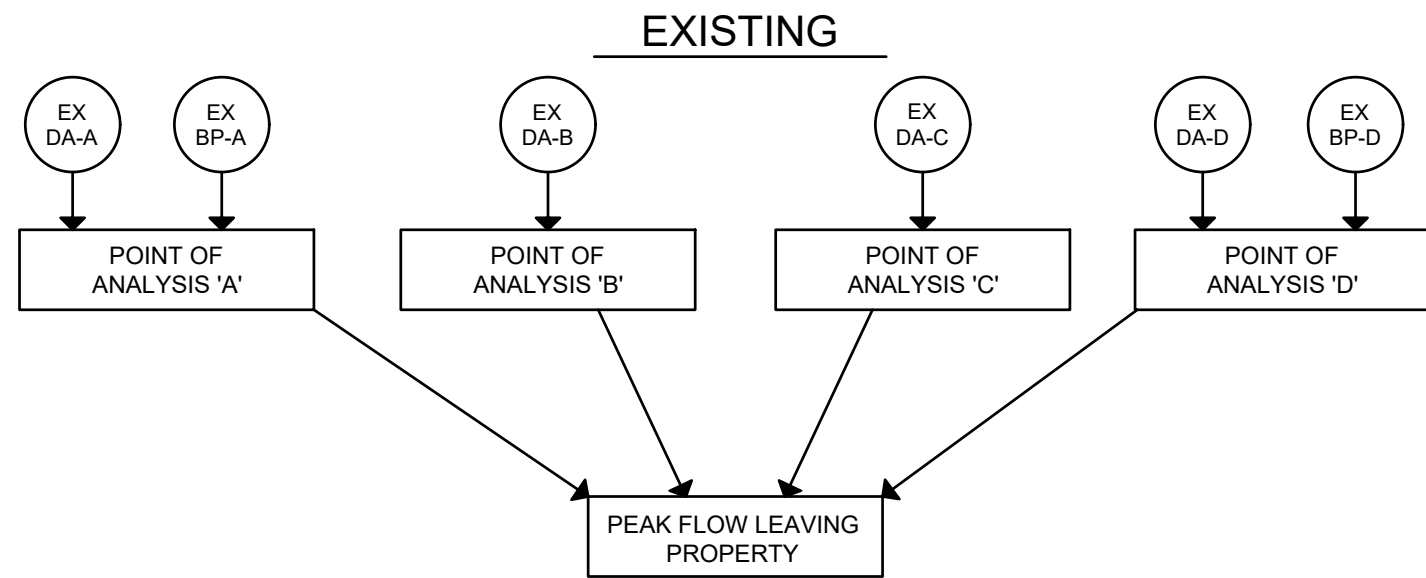
EXISTING 500-YEAR FEMA FLOODPLAIN

PROPOSED 100-YEAR ATLAS 14 FLOODPLAIN

EXISTING 100-YEAR ATLAS 14 FLOODPLAIN

150' CREEK BUFFER

300' CREEK BUFFER



SHADOWGLEN PHASE 3 PRELIMINARY PLAN
DETENTION RESULTS - SCS METHOD

Point of Analysis	Total Drainage Area (Acres)	Total Impervious Cover Area (acres)	Impervious Area (%)	Storm Event	Existing Runoff (cfs)
A	74.13	0.48	0.65%	2	117.28
				10	228.97
				25	307.59
				100	439.58
B	45.11	0.00	0.00%	2	93.38
				10	180.48
				25	241.07
				100	343.74
C	8.24	0.00	0.00%	2	12.54
				10	24.56
				25	32.96
				100	47.08
D	28.30	0.38	1.35%	2	56.95
				10	110.49
				25	147.57
				100	209.50
COMBINED PEAK FLOWS LEAVING PROPERTY	155.78	0.86	0.55%	2	280.15
				10	544.50
				25	729.19
				100	1039.90

BENCHMARKS

BM #101 "X" IN CONCRETE AROUND A WATER MANHOLE LOCATED 2281' SOUTH OF THE SOUTHWEST CORNER OF THE 100-ACRE TRACT AND 170' SOUTH OF THE SOUTHEAST CORNER OF THE SOUTHEAST RIGHT-OF-WAY LINE OF FIDUCIO ROAD. ELEV: 1557.13' (NAVD 83)

BM #102 "X" SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND FIDUCIO ROAD. ELEV: 1538.05' (NAVD 83)

BM #103 "X" 60" IRON ROD WITH A PLASTIC CAP SET IN ASPHALT ON THE EAST SIDE OF RECTOR LOOP MIDWAY THROUGH WHERE THE ROAD CURVES FROM SOUTHWEST TO SOUTHEAST JUST SOUTH OF THE GATED ENTRANCE TO THE SITE. ELEV: 1538.73' (NAVD 83)



WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

Item 4.

B

DATE

REVISIONS

No.

Kimley»Horn

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10814 JOLLYVILLE ROAD, AVALON IV, SUITE 300, AUSTIN, TX 78759
PHONE: 512-418-1771 FAX: 512-418-791
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928

Jacob Kondo

JACOB KONDO
15813
LICENSED PROFESSIONAL ENGINEER
6/14/2023

KHA PROJECT 069254503

DATE JANUARY 2022

SCALE: AS SHOWN

DESIGNED BY: JBR

DRAWN BY: ADD

CHECKED BY: JBR

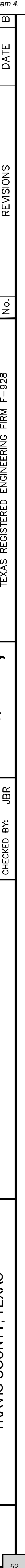
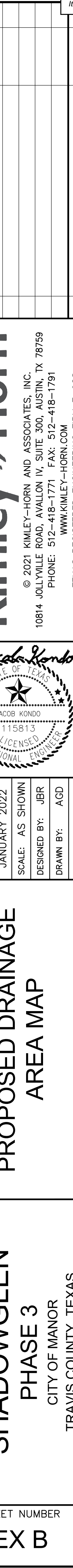
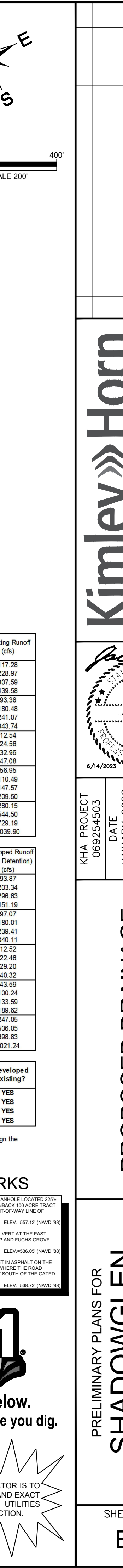
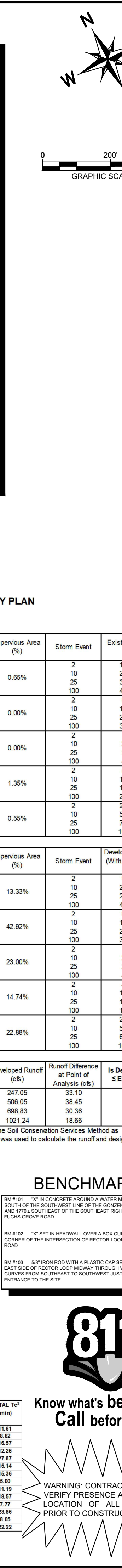
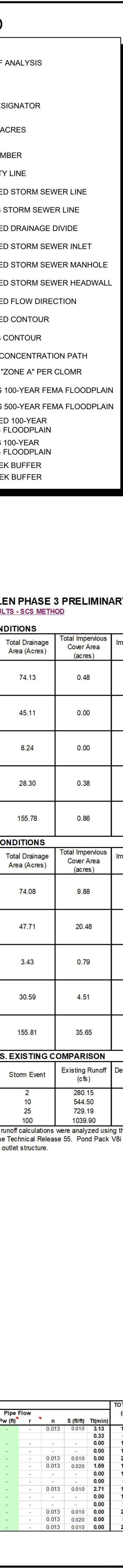
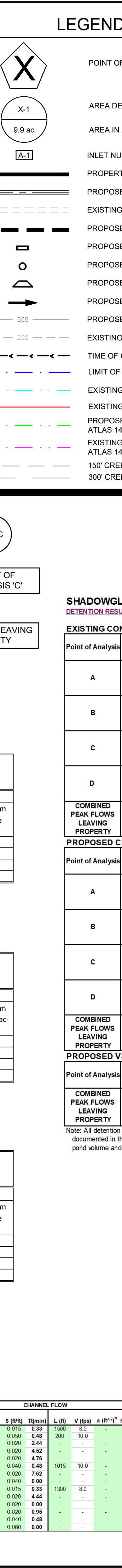
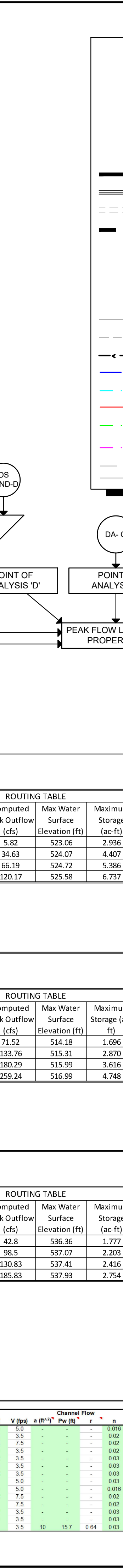
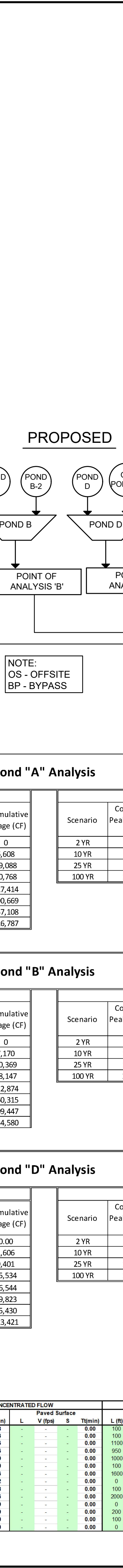
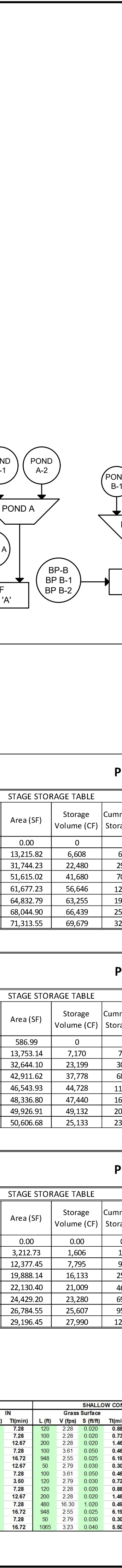
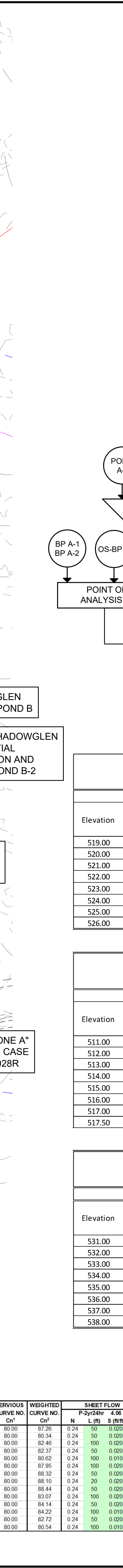
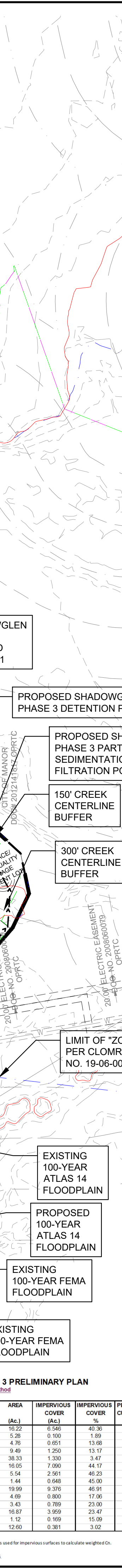
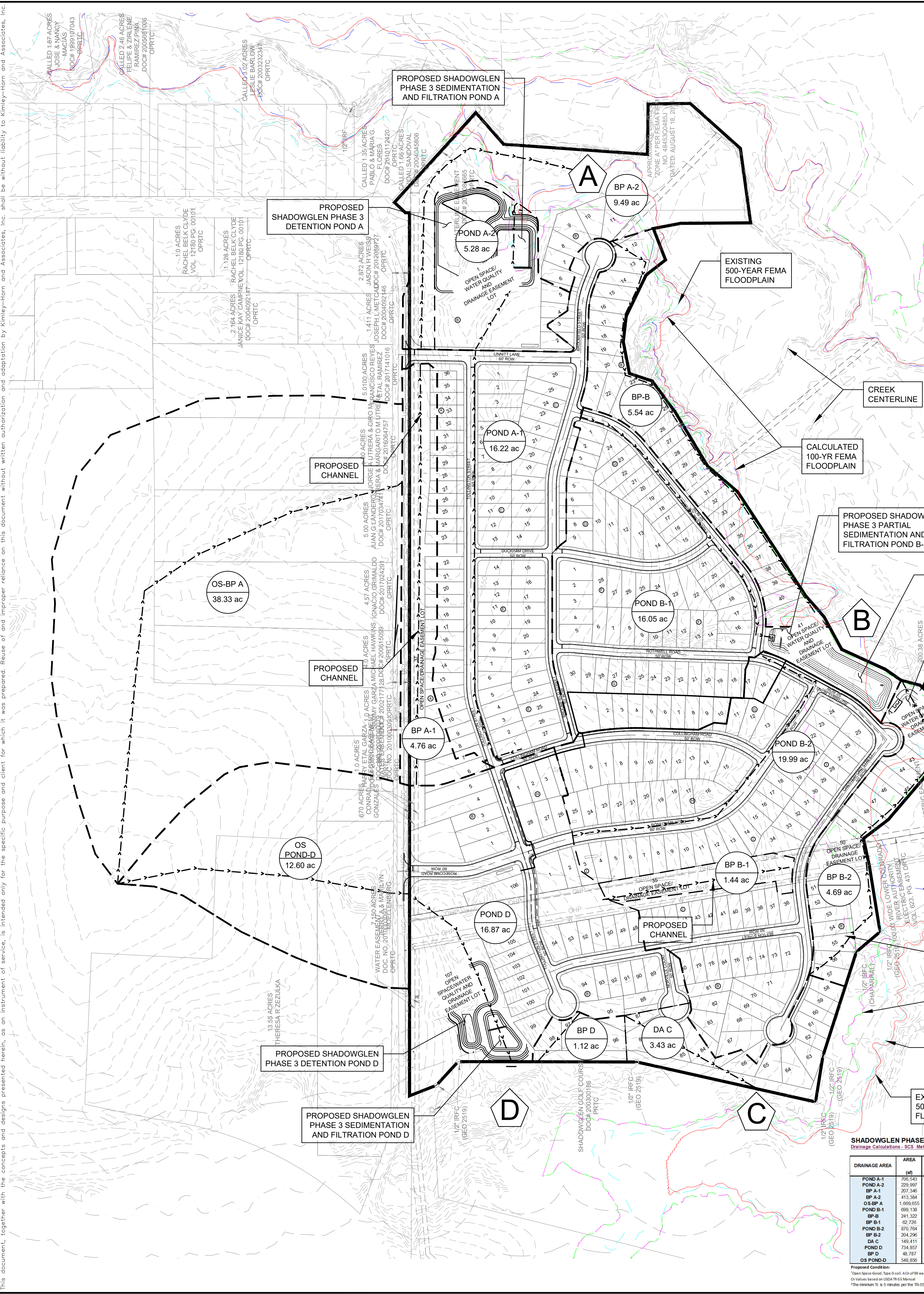
EXISTING DRAINAGE AREA MAP

PRELIMINARY PLANS FOR SHADOWGLEN PHASE 3 CITY OF MANOR TRAVIS COUNTY, TEXAS

SHEET NUMBER EX A

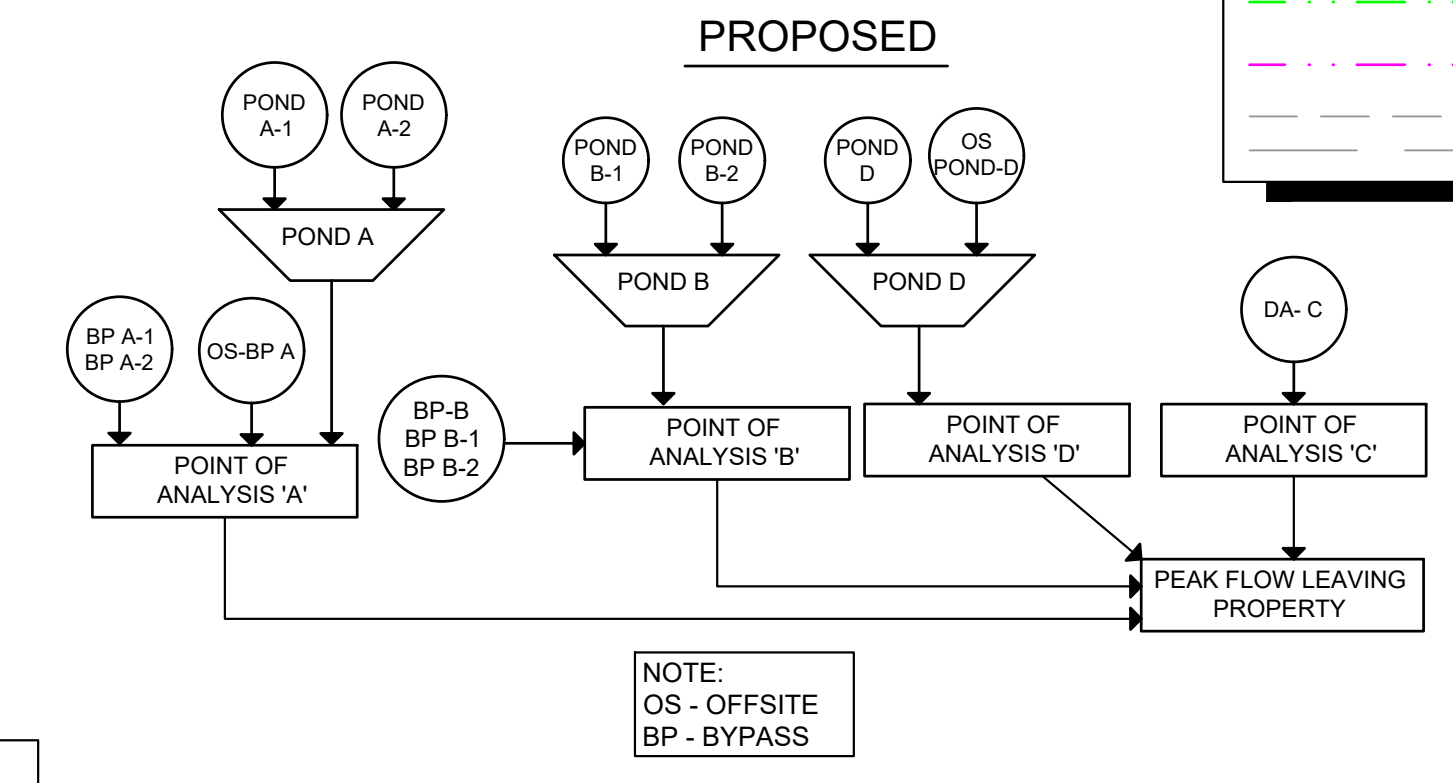
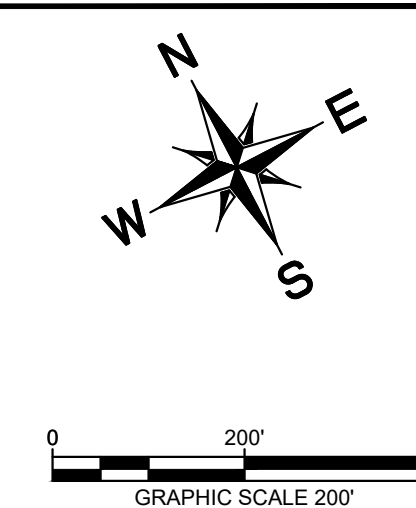
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LEGEND

- POINT OF ANALYSIS
- AREA DESIGNATOR
- AREA IN ACRES
- INLET NUMBER
- PROPERTY LINE
- PROPOSED STORM SEWER LINE
- EXISTING STORM SEWER LINE
- PROPOSED DRAINAGE DIVIDE
- PROPOSED STORM SEWER INLET
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM SEWER HEADWALL
- PROPOSED FLOW DIRECTION
- PROPOSED CONTOUR
- EXISTING CONTOUR
- TIME OF CONCENTRATION PATH
- LIMIT OF "ZONE A" PER CLOMR
- EXISTING 100-YEAR FEMA FLOODPLAIN
- EXISTING 500-YEAR FEMA FLOODPLAIN
- PROPOSED 100-YEAR ATLAS 14 FLOODPLAIN
- EXISTING 100-YEAR ATLAS 14 FLOODPLAIN
- 150' CREEK BUFFER
- 300' CREEK BUFFER



NOTE: OS - OFFSITE BP - BYPASS

Pond "A" Analysis				
STAGE STORAGE TABLE				ROUTING TABLE
Elevation	Area (SF)	Storage Volume (CF)	Cummulative Storage (CF)	
519.00	0.00	0	0	Scenario Computed Peak Outflow (cfs) Max Water Surface Elevation (ft) Maximum Storage (ac-ft)
520.00	13,215.82	6,608	6,608	
521.00	31,744.23	22,480	29,088	
522.00	51,615.02	41,680	70,768	
523.00	61,677.23	56,646	127,414	
524.00	64,832.79	63,255	190,669	2YR 5.82 523.06 2.936
525.00	68,044.50	66,439	257,108	
526.00	71,313.55	69,679	326,787	
527.00	74,644.10	72,999	400,000	
528.00	78,034.10	76,369	476,369	

Pond "B" Analysis				
STAGE STORAGE TABLE				ROUTING TABLE
Elevation	Area (SF)	Storage Volume (CF)	Cummulative Storage (CF)	
511.00	586.99	0	0	Scenario Computed Peak Outflow (cfs) Max Water Surface Elevation (ft) Maximum Storage (ac-ft)
512.00	13,753.14	2,170	2,170	
513.00	32,644.10	23,199	30,369	
514.00	42,911.62	37,778	68,147	
515.00	46,543.93	44,728	112,874	
516.00	48,336.80	47,440	160,315	2YR 71.52 514.18 1.696
517.00	49,926.91	49,132	209,447	
518.00	51,517.02	50,824	260,271	
519.00	53,107.13	52,516	312,787	
520.00	54,697.24	54,208	367,000	

Pond "D" Analysis				
STAGE STORAGE TABLE				ROUTING TABLE
Elevation	Area (SF)	Storage Volume (CF)	Cummulative Storage (CF)	
531.00	0.00	0.00	0.00	Scenario Computed Peak Outflow (cfs) Max Water Surface Elevation (ft) Maximum Storage (ac-ft)
532.00	3,212.73	1,606	1,606	
533.00	12,377.45	7,795	9,401	
534.00	19,888.14	16,133	25,534	
535.00	22,130.40	21,009	46,544	
536.00	24,429.20	23,280	69,823	2YR 42.8 536.36 1.777
537.00	26,784.55	25,607	95,430	
538.00	29,196.45	27,990	123,420	
539.00	31,608.35	30,373	153,793	
540.00	34,020.25	32,756	186,549	

SHADOWGLEN PHASE 3 PRELIMINARY PLAN

DETENTION RESULTS - RCS METHOD

EXISTING CONDITIONS

Point of Analysis	Total Drainage Area (Acres)	Total Impervious Cover Area (Acres)	Impervious Area (%)	Storm Event	Existing Runoff (cfs)
A	74.13	0.48	0.65%	2	117.28
B	45.11	0.00	0.00%	2	93.38
C	8.24	0.00	0.00%	2	12.54
D	28.30	0.38	1.35%	2	58.55
COMBINED PEAK FLOWS LEAVING PROPERTY	155.78	0.86	0.55%	2	280.15

PROPOSED CONDITIONS

Point of Analysis	Total Drainage Area (Acres)	Total Impervious Cover Area (Acres)	Impervious Area (%)	Storm Event	Developed Runoff (With Detention) (cfs)
A	74.08	9.88	13.33%	2	83.87
B	47.71	20.48	42.92%	2	180.01
C	3.43	0.79	23.00%	2	43.59
D	30.59	4.51	14.74%	2	100.24
COMBINED PEAK FLOWS LEAVING PROPERTY	155.81	35.65	22.88%	2	544.50

PROPOSED VS. EXISTING COMPARISON

Point of Analysis	Storm Event	Existing Runoff (cfs)	Developed Runoff (cfs)	Runoff Difference at Point of Analysis (cfs)	Is Developed 5 Existing?
COMBINED	2	280.15	247.05	33.10	YES
PEAK FLOWS LEAVING PROPERTY	25	544.50	500.05	44.45	YES
	100	698.83	30.36	668.47	YES
	100	1021.24	18.66	1002.58	YES

Note: All detention runoff calculations were analyzed using the Soil Conservation Services Method as documented in the Technical Release 55. Pond Peak V6 was used to calculate the runoff and design the pond volume and outlet structure.

BENCHMARKS

- BM #101 "1" IN CONCRETE AROUND A WATER MANHOLE LOCATED 2281' SOUTH OF THE SOUTHWEST LINE OF THE SHADOWGLEN 100 ACRE TRACT AND 1770' SOUTHWEST OF THE SOUTHEAST RIGHT-OF-WAY LINE OF FLORES GROVE ROAD. ELEV: 1557.13 (NAVD 83)
- BM #102 "1" SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LANE AND FLORES GROVE ROAD. ELEV: 1538.05 (NAVD 83)
- BM #103 "1" SET IN CONCRETE AROUND A WATER MANHOLE LOCATED 2281' SOUTH OF THE SOUTHWEST LINE OF THE SHADOWGLEN 100 ACRE TRACT AND 1770' SOUTHWEST OF THE SOUTHEAST RIGHT-OF-WAY LINE OF FLORES GROVE ROAD. ELEV: 1557.13 (NAVD 83)



WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

PRELIMINARY PLANS FOR

SHADOWGLEN

PHASE 3

CITY OF MANOR

TRAVIS COUNTY, TEXAS

Item 4.

B

DATE

REVISIONS

No.

Kimley»Horn

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TEXAS REGISTERED ENGINEERING FIRM F-928

Jacob Kondo

JACOB KONDO

15513

6/14/2023

KHA PROJECT

069254503

DATE

JANUARY 2022

SCALE

AS SHOWN

DESIGNED BY

JBR

DRAWN BY

ACD

CHECKED BY

JBR

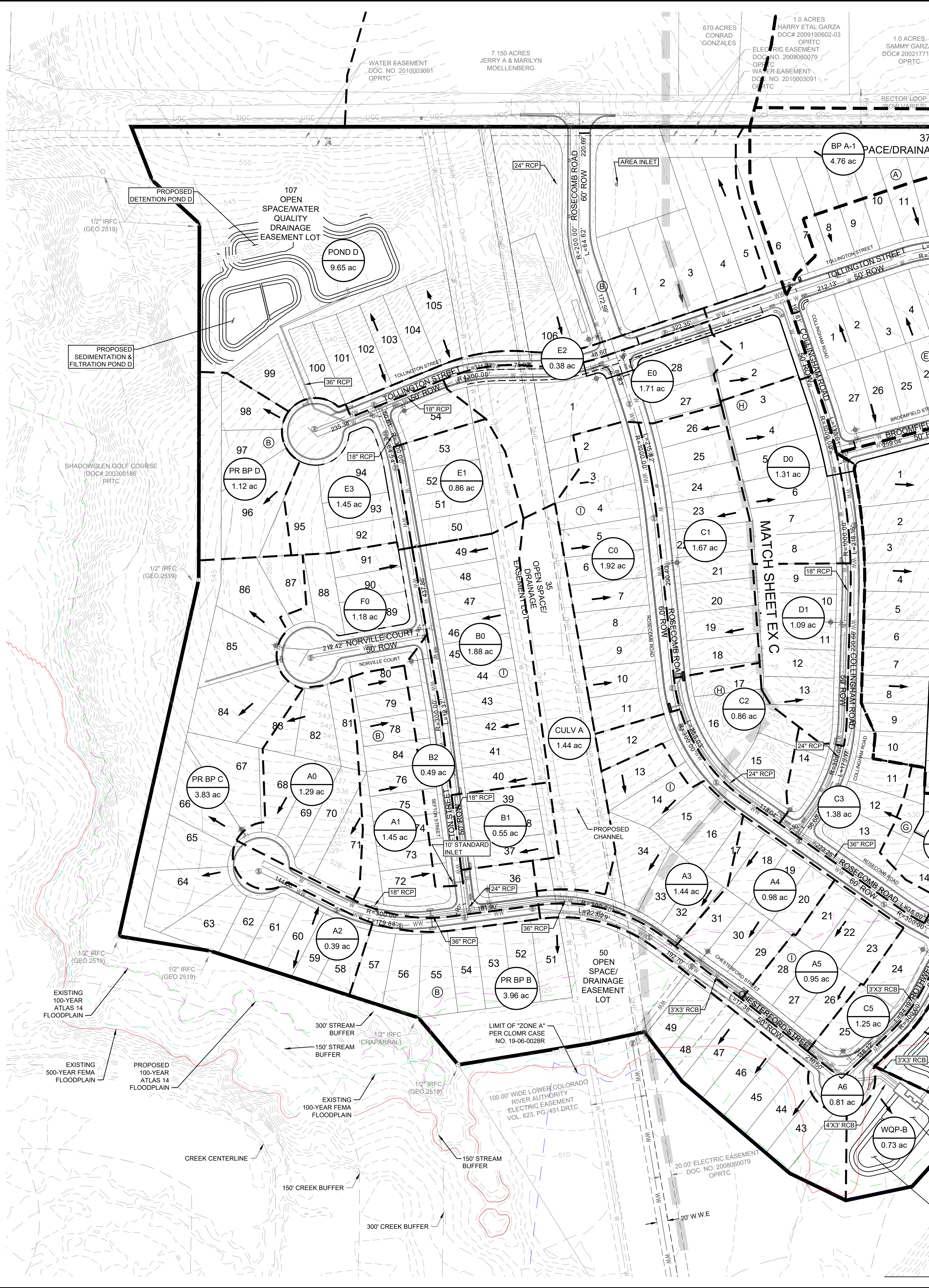
PROPOSED DRAINAGE

AREA MAP

SHEET NUMBER

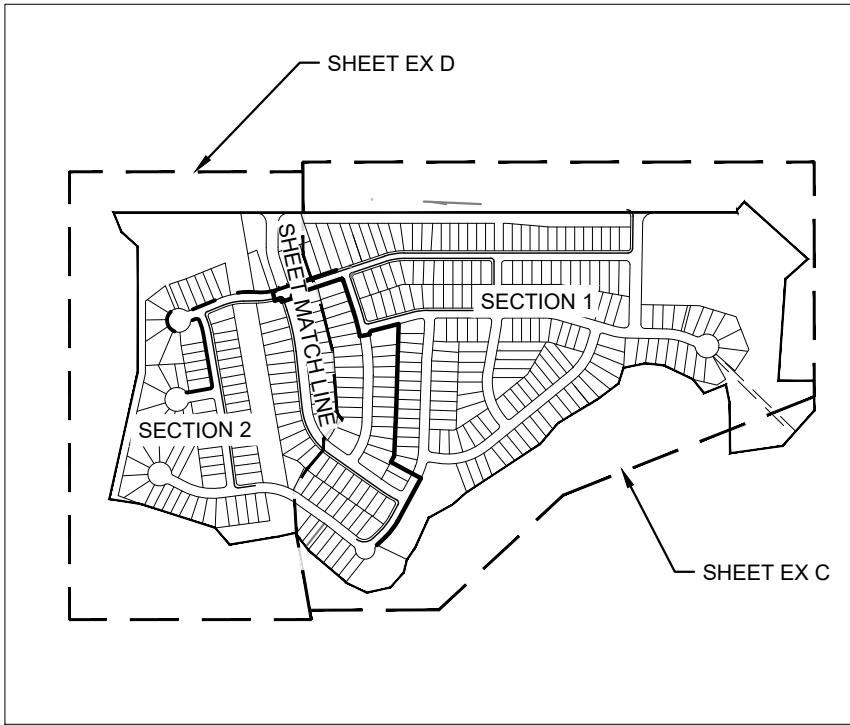
EX B

52



LEGEND

	AREA DESIGNATOR
	AREA IN ACRES
	PROPERTY LINE
	PROPOSED STORM SEWER LINE
	EXISTING STORM SEWER LINE
	PROPOSED DRAINAGE DIVIDE
	PROPOSED STORM SEWER INLET
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER HEADWALL
	PROPOSED FLOW DIRECTION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	LIMIT OF "ZONE A" PER CLOMR
	EXISTING 100-YEAR FEMA FLOODPLAIN
	EXISTING 500-YEAR FEMA FLOODPLAIN
	PROPOSED 100-YEAR ATLAS 14 FLOODPLAIN
	EXISTING 100-YEAR ATLAS 14 FLOODPLAIN
	150' CREEK BUFFER
	300' CREEK BUFFER



KEY MAP

N.T.S.

BENCHMARKS

BM #101 "1" IN CONCRETE AROUND A WATER MANHOLE LOCATED 225'1" SOUTH OF THE CENTERLINE OF THE CENTERLINE 100' WIDE TRAIL AND 177'0" SOUTHWEST OF THE SOUTHEAST RIGHT-OF-WAY LINE OF PUECO GROVE ROAD. ELEV: 1557.12' (NAVD 83)

BM #102 "1" SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND PUECO GROVE ROAD. ELEV: 1538.05' (NAVD 83)

BM #103 "1" 50" IRON ROD WITH A PLASTIC CAP SET IN ASPHALT ON THE EAST SIDE OF RECTOR LOOP MIDWAY THROUGH WHERE THE ROAD CURVES FROM SOUTHEAST TO SOUTHWEST JUST SOUTH OF THE GATED ENTRANCE TO THE SITE. ELEV: 1538.72' (NAVD 83)

Know what's below.
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

Item 4.

B

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REVISIONS

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TEXAS REGISTERED ENGINEERING FIRM F-928

6/14/2023

KHA PROJECT	069254503
DATE	JANUARY 2022
SCALE	AS SHOWN
DESIGNED BY:	JBR
DRAWN BY:	ADD
CHECKED BY:	JBR

PRELIMINARY PLANS FOR
SHADOWGLEN
PHASE 3
CITY OF MANOR
TRAVIS COUNTY, TEXAS

INLET DRAINAGE
AREA MAP - SECTION 2
(SHEET 2 OF 2)

SHEET NUMBER
EX D

Plotted By:Calzada, Jonathan Date:June 14, 2023 03:46:30pm File Path:K:\AUS_Civil\069254503-Shadowglen Phase 3\Coord Preliminary\PlanSheets\3-C-Drainage Area Map.dwg
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Shadowglen Phase 3 Section 1 Proposed "C" Value Calculations											
DRAINAGE AREA	AREA	AREA	Lots	SF of Lots	LF of Local	SF of Local	IMPERVIOUS COVER	IMPERVIOUS COVER	Comp. C ₁₀	Comp. C ₂₅	Comp. C ₁₀₀
	(sf)	(Ac.)					(sf)	%			
UNDR A	32,670.00	0.75	2.00	6,300	750	14250	20,550	63%	0.64	0.70	0.78
UNDR B	7,840.80	0.18	0.00	0	300	5700	5,700	73%	0.68	0.75	0.83
A0	49,658.40	1.14	5.00	15,750	540	10260	26,010	52%	0.59	0.65	0.73
A1	45,302.40	1.04	6.00	18,900	400	7600	26,500	58%	0.62	0.68	0.76
A2	34,848.00	0.80	4.50	14,175	175	3325	17,500	50%	0.58	0.64	0.72
A3	39,639.60	0.91	6.00	18,900	165	3135	22,035	56%	0.61	0.66	0.74
A4	43,995.60	1.01	6.00	18,900	360	6840	25,740	59%	0.62	0.68	0.76
A5	74,487.60	1.71	8.00	25,200	515	9785	34,985	47%	0.57	0.62	0.70
A6	39,639.60	0.91	6.00	18,900	370	7030	25,930	65%	0.65	0.71	0.79
A7	48,787.20	1.12	6.00	18,900	220	4180	23,080	47%	0.57	0.62	0.70
A8	47,916.00	1.10	5.00	15,750	110	2090	17,840	37%	0.52	0.57	0.65
A9	33,105.60	0.76	5.00	15,750	275	5225	20,975	63%	0.64	0.70	0.78
A10	75,358.80	1.73	4.00	12,600	890	16910	29,510	39%	0.53	0.58	0.66
A11	15,681.60	0.36	0.00	0	600	11400	11,400	73%	0.68	0.75	0.83
B0	61,419.60	1.41	5.50	17,325	575	10925	28,250	46%	0.56	0.62	0.69
B1	27,007.20	0.62	2.00	6,300	425	8075	14,375	53%	0.59	0.65	0.73
C0	69,696.00	1.60	1.00	3,150	1700	32300	35,450	51%	0.58	0.64	0.72
D0	79,279.20	1.82	8.00	28,000	375	7125	35,125	44%	0.55	0.61	0.69
D1	71,874.00	1.65	8.00	28,000	180	3420	31,420	44%	0.55	0.60	0.68
D2	25,264.80	0.58	1.50	5,250	375	7125	12,375	49%	0.58	0.63	0.71
D3	57,499.20	1.32	5.00	15,750	550	10450	26,200	46%	0.56	0.61	0.69
D4	28,749.60	0.66	0.00	0	1150	21850	21,850	76%	0.70	0.76	0.85
E0	64,033.20	1.47	5.50	19,250	610	11590	30,840	48%	0.57	0.63	0.71
E1	51,836.40	1.19	4.50	14,175	275	5225	19,400	37%	0.52	0.57	0.65
E2	25,700.40	0.59	1.00	3,150	525	9975	13,125	51%	0.58	0.64	0.72
F0	74,487.60	1.71	7.00	22,050	650	12350	34,400	46%	0.56	0.62	0.70
F1	56,628.00	1.30	7.00	22,050	180	3420	25,470	45%	0.56	0.61	0.69
F2	51,836.40	1.19	7.50	23,625	450	8550	32,175	62%	0.64	0.69	0.78
F3	49,222.80	1.13	7.00	22,050	240	4560	26,610	54%	0.60	0.65	0.74
CULVERT A	207,345.60	4.76	0.00	0	2000	38000	38,000	18%	0.43	0.48	0.55

Shadowglen Phase 3 Section 2 Proposed "C" Value Calculations											
DRAINAGE AREA	AREA	AREA	Lots	SF of Lots	LF of Local	SF of Local	IMPERVIOUS COVER (SF)	IMPERVIOUS COVER %	Comp. C ₁₀	Comp. C ₂₅	Comp. C ₁₀₀
	(sf)	(Ac.)									
A0	56,192.40	1.29	6.00	14,700	360	7025	21,725	39%	0.53	0.58	0.66
A1	63,162.00	1.45	10.00	24,500	428	8350	32,850	52%	0.59	0.64	0.73
A2	16,988.40	0.39	0.00	0	704	13719	13,719	81%	0.72	0.79	0.87
A3	62,726.40	1.44	8.00	22,400	154	3006	25,406	41%	0.54	0.59	0.67
A4	42,688.80	0.98	6.00	16,800	151	2938	19,738	46%	0.56	0.62	0.70
A5	41,382.00	0.95	6.00	16,800	145	2829	19,629	47%	0.57	0.62	0.70
A6	52,707.60	1.21	1.50	4,725	1923	37504	42,229	80%	0.72	0.78	0.87
B0	81,892.80	1.88	10.00	24,500	448	8742	33,242	41%	0.54	0.59	0.67
B1	23,958.00	0.55	3.00	7,350	135	2632	9,982	42%	0.54	0.59	0.67
B2	21,344.40	0.49	0.00	0	652	12716	12,716	60%	0.62	0.68	0.76
C0	83,635.20	1.92	10.00	28,000	518	10101	38,101	46%	0.56	0.61	0.69
C1	72,745.20	1.67	9.00	25,200	459	8957	34,157	47%	0.57	0.62	0.70
C2	37,461.60	0.86	3.50	9,800	327	6367	16,167	43%	0.55	0.60	0.68
C3	60,112.80	1.38	3.50	9,800	1164	22692	32,492	54%	0.60	0.65	0.74
C4	33,978.80	0.78	3.00	8,400	215	4200	12,600	37%	0.52	0.57	0.65
C5	37,026.00	0.85	1.50	4,200	973	18982	23,182	63%	0.64	0.70	0.78
D0	57,063.60	1.31	6.00	16,800	343	6685	23,485	41%	0.54	0.59	0.67
D1	47,480.40	1.09	5.00	14,000	325	6336	20,336	43%	0.55	0.60	0.68
E0	74,487.60	1.71	3.00	8,400	715	13950	22,350	30%	0.49	0.54	0.61
E1	37,461.60	0.86	4.00	9,800	184	3585	13,385	36%	0.51	0.57	0.64
E2	16,552.80	0.38	0.00	0	668	13028	13,028	79%	0.71	0.78	0.86
E3	63,162.00	1.45	5.00	12,250	988	19269	31,519	50%	0.58	0.63	0.71
F0	51,400.80	1.18	4.00	9,800	927	18086	27,886	54%	0.60	0.66	0.74
CULVERT A	62,726.40	1.44	0.00	0	0	0	0	0%	0.35	0.39	0.46
	204,296.40	4.69	14.00	39,200	0	0	39,200	19%	0.44	0.48	0.56
PR DA C	218,235.60	5.01	19.00	46,550	927	18086	64,636	30%	0.49	0.54	0.61
PR POND D1	191,664.00	4.40	12.00	67,200	2555	49832	117,032	61%	0.63	0.69	0.77
PR DA D2	419,918.40	9.64	14.00	34,300	0	0	34,300	8%	0.39	0.43	0.50
OS POND D	548,420.40	12.59	0.00	0	862	16800	16,800	3%	0.36	0.41	0.48
BP POND D	48,787.20	1.12	3.00	7,350	0	0	7,350	15%	0.42	0.46	0.54

Storm Event C'	Fair Condition 2-7%	
	Pervious	Impervious
C ₁₀	0.35	0.81
C ₁₀	0.35	0.81
C ₂₅	0.39	0.88
C ₁₀₀	0.46	0.97

Shadowglen Phase 3 Section 1														
Drainage Calculations - SCS Method														
DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW				TOTAL Tc** (min)	
	P-2yr24hr 3.44 IN				Grass Surface				Channel Flow					
	N	L (ft)	S (ft/ft)	Tt(min)	L (ft)	V (fps)	S (ft/ft)	Tt(min)	L (ft)	V (fps)	n	S (ft/ft)		Tt(min)
UNDR A	0.24	50	0.020	7.905	100	2.3	0.020	0.730	275	3.6	0.016	0.01	1.26	9.89
UNDR B	0.24	20	0.020	3.798	0	2.3	0.020	0.000	150	3.6	0.016	0.01	0.69	5.00
A0	0.24	50	0.022	7.609	75	2.4	0.022	0.522	540	5.9	0.016	0.026	1.53	9.66
A1	0.24	50	0.020	7.905	55	2.3	0.020	0.402	400	5.5	0.016	0.023	1.21	9.51
A2	0.24	50	0.022	7.609	175	2.4	0.022	1.219	175	4.5	0.016	0.015	0.65	9.48
A3	0.24	50	0.016	8.643	175	2.0	0.016	1.429	165	3.6	0.016	0.01	0.75	10.83
A4	0.24	50	0.011	10.041	55	1.7	0.011	0.542	360	3.6	0.016	0.01	1.64	12.23
A5	0.24	50	0.020	7.905	175	2.3	0.020	1.278	515	7.8	0.016	0.046	1.10	10.28
A6	0.24	50	0.015	8.869	55	2.0	0.015	0.464	370	4.9	0.016	0.018	1.26	10.59
A7	0.24	50	0.030	6.722	185	2.8	0.030	1.103	220	3.6	0.016	0.01	1.01	8.83
A8	0.24	50	0.027	7.011	200	2.7	0.027	1.257	110	3.6	0.016	0.01	0.50	8.77
A9	0.24	50	0.020	7.905	75	2.3	0.020	0.548	275	3.6	0.016	0.01	1.26	9.71
A10	0.24	20	0.015	4.261	0	2.0	0.015	0.000	890	4.3	0.016	0.014	3.44	7.70
A11	0.24	50	0.019	8.069	75	2.2	0.019	0.562	600	3.6	0.016	0.01	2.74	11.37
B0	0.24	50	0.015	8.869	75	2.0	0.015	0.633	575	5.0	0.016	0.019	1.91	11.41
B1	0.24	20	0.020	3.798	0	2.3	0.020	0.000	425	4.5	0.016	0.015	1.59	5.38
D0	0.24	50	0.015	8.869	200	3.4	0.045	0.974	100	6.9	0.016	0.036	0.24	10.08
D1	0.24	50	0.015	8.869	275	3.2	0.040	1.420	180	6.1	0.016	0.028	0.49	10.78
D2	0.24	50	0.030	6.722	125	2.3	0.020	0.913	50	3.6	0.016	0.01	0.23	7.86
D3	0.24	50	0.015	8.869	20	2.0	0.015	0.169	550	5.2	0.016	0.02	1.78	10.81
D4	0.24	20	0.015	4.261	0	2.0	0.015	0.000	850	3.6	0.016	0.01	3.88	8.14
E0	0.24	50	0.020	7.905	100	3.0	0.035	0.552	120	8.0	0.016	0.048	0.25	8.71
E2	0.24	20	0.015	4.261	0	2.0	0.015	0.000	525	6.6	0.016	0.033	1.32	5.58
E1	0.24	50	0.020	7.905	100	3.0	0.035	0.552	275	6.3	0.016	0.03	0.73	9.18
F0	0.24	50	0.020	7.905	200	2.8	0.030	1.193	180	8.4	0.016	0.053	0.36	9.46
F1	0.24	50	0.020	7.905	200	2.7	0.028	1.235	180	8.0	0.016	0.048	0.38	9.52
F2	0.24	50	0.015	8.869	55	2.0	0.015	0.464	400	8.0	0.016	0.048	0.83	10.17
F3	0.24	50	0.015	8.869	200	2.8	0.030	1.193	185	5.2	0.016	0.02	0.60	10.66
CULVERT A	0.24	50	0.015	8.869	50	2.0	0.015	0.422	1550	5.8	0.016	0.025	4.48	13.77

Plotted By:Calzada, Jonathan Date:June 14, 2023 03:46:35pm File Path:K:\AUS_Civil\069254503--Shadowglen Phase 3\Coat Preliminary\PlanSheets\CL--Drainage Area Map.dwg

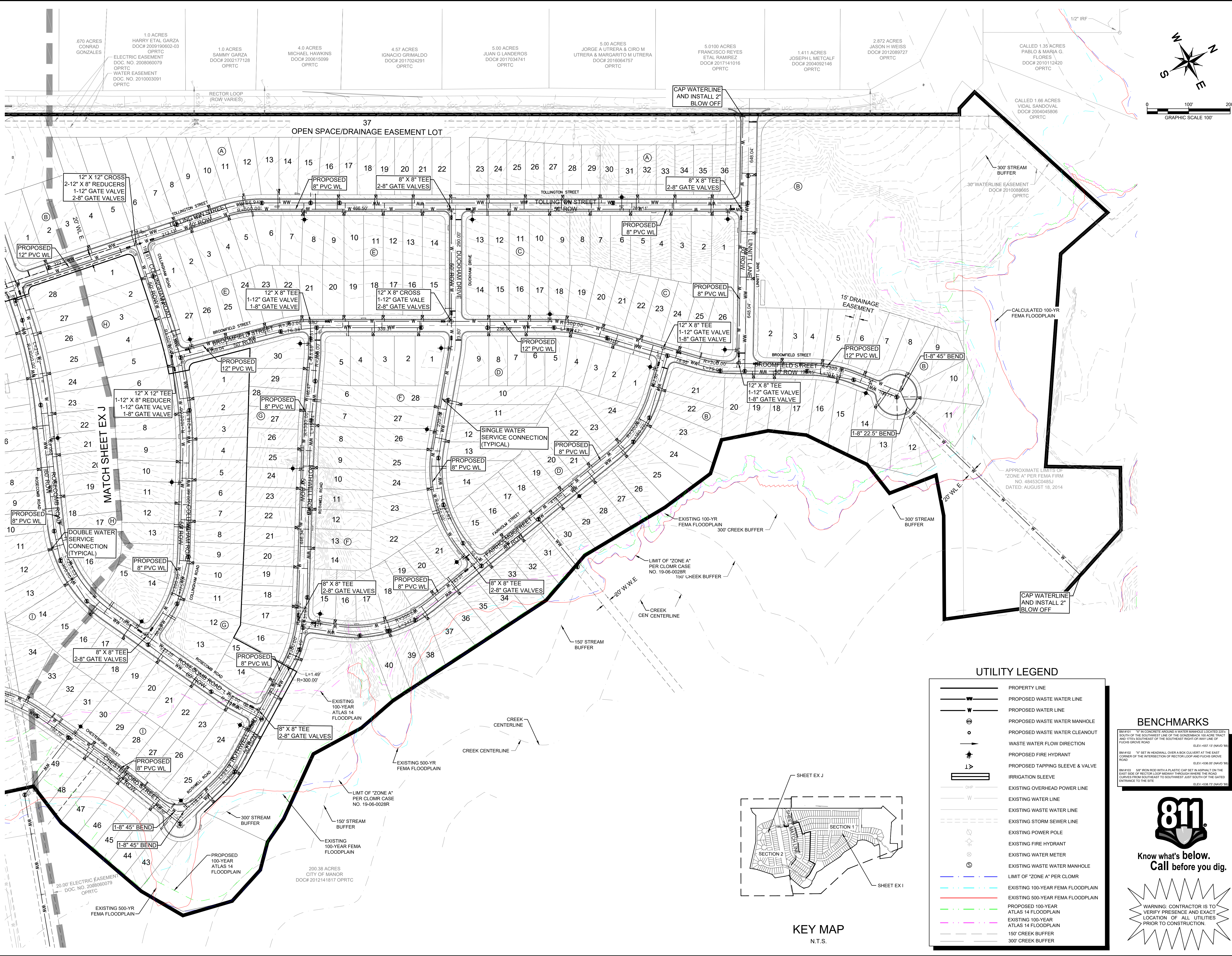
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Shadowglen Phase 3 Section 1 INLET FLOW CALCULATION TABLE (25-Yr Flows)																						
Parabolic Crown																						
Inlet No.	Inlet Type	Drainage Area No.	Street Width (FOC - FOC)	K0	K1	K2	Q (cfs)	Q Pass (cfs)	Q Total (Qa) (cfs)	Slope (%)	a (in.)	yo (ft.)	Ponded Width (ft)	R.F. (%)	Qa/La	La (ft)	Length (ft)	L/La	a/yo	Q/Qa	Q (cfs)	Q Pass (cfs)
A0	Grade	A0	30'	2.85	0.50	3.03	1.4	0.0	1.4	2.80%	5.0	0.232	4.01	10	0.68	1.99	10	5.04	1.80	1.00	1.4	0.0
A1	Grade	A1	30'	2.85	0.50	3.03	5.9	0.0	5.9	2.30%	5.0	0.383	7.75	10	0.84	6.98	10	1.43	1.09	1.00	5.9	0.0
A2	Grade	A2	30'	2.85	0.50	3.03	4.3	0.0	4.3	1.50%	5.0	0.370	7.34	10	0.83	5.15	10	1.94	1.13	1.00	4.3	0.0
A3	Grade	A3	30'	2.85	0.50	3.03	4.8	0.0	4.8	1.00%	5.0	0.411	8.68	10	0.87	5.50	10	1.82	1.01	1.00	4.8	0.0
A4	Grade	A4	30'	2.85	0.50	3.03	5.2	0.0	5.2	1.00%	5.0	0.422	9.07	10	0.88	5.87	10	1.70	0.99	1.00	5.2	0.0
A5	Grade	A5	30'	2.85	0.50	3.03	8.6	0.0	8.6	4.80%	5.0	0.388	7.89	10	0.85	10.17	15	1.47	1.07	1.00	8.6	0.0
A6	Grade	A6	30'	2.85	0.50	3.03	5.2	0.0	5.2	1.80%	5.0	0.383	7.74	10	0.84	6.17	10	1.62	1.09	1.00	5.2	0.0
A7	Grade	A7	30'	2.85	0.50	3.03	6.0	0.0	6.0	1.00%	5.0	0.442	9.89	10	0.90	6.59	10	1.52	0.94	1.00	6.0	0.0
A8	Grade	A8	30'	2.85	0.50	3.03	5.4	0.0	5.4	1.00%	5.0	0.428	9.30	10	0.89	6.08	10	1.64	0.97	1.00	5.4	0.0
A9	Grade	A9	30'	2.85	0.50	3.03	4.4	0.0	4.4	1.00%	5.0	0.400	8.29	10	0.86	5.13	10	1.95	1.04	1.00	4.4	0.0
A10	Sump	A10	30'	2.85	0.50	3.03	9.0	0.0	9.0	1.40%	SEE SUMP INLET CALCULATIONS											
A11	Sump	A11	30'	2.85	0.50	3.03	2.1	0.0	2.1	1.00%	SEE SUMP INLET CALCULATIONS											
B0	Grade	B0	30'	2.85	0.50	3.03	6.8	0.0	6.8	1.90%	5.0	0.414	8.79	10	0.87	7.73	10	1.29	1.01	1.00	6.8	0.0
B1	Grade	B1	30'	2.85	0.50	3.03	4.0	0.0	4.0	1.50%	5.0	0.362	7.13	10	0.82	4.89	10	2.04	1.15	1.00	4.0	0.0
C0	Sump	C0	30'	2.85	0.50	3.03	8.6	0.0	8.6	1.00%	SEE SUMP INLET CALCULATIONS											
D0	Grade	D0	30'	2.85	0.50	3.03	9.0	0.0	9.0	3.60%	5.0	0.410	8.64	10	0.87	10.38	15	1.45	1.02	1.00	9.0	0.0
D1	Grade	D1	30'	2.85	0.50	3.03	7.9	0.0	7.9	2.80%	5.0	0.410	8.63	10	0.87	9.13	15	1.64	1.02	1.00	7.9	0.0
D2	Grade	D2	30'	2.85	0.50	3.03	3.3	0.0	3.3	0.70%	5.0	0.384	7.77	10	0.84	3.87	10	2.59	1.09	1.00	3.3	0.0
D3	Sump	D3	30'	2.85	0.50	3.03	6.4	0.0	6.4	1.00%	SEE SUMP INLET CALCULATIONS											
D4	Sump	D4	30'	2.85	0.50	3.03	4.4	0.0	4.4	1.00%	SEE SUMP INLET CALCULATIONS											
E0	Grade	E0	30'	2.85	0.50	3.03	7.9	0.0	7.9	4.80%	5.0	0.375	7.49	10	0.83	9.52	10	1.05	1.11	1.00	7.9	0.0
E2	Grade	E2	30'	2.85	0.50	3.03	3.7	0.0	3.7	3.30%	5.0	0.310	5.76	10	0.76	4.86	10	2.06	1.34	1.00	3.7	0.0
E1	Grade	E1	30'	2.85	0.50	3.03	5.8	0.0	5.8	3.00%	5.0	0.365	7.19	10	0.82	7.02	10	1.42	1.14	1.00	5.8	0.0
F0	Grade	F0	30'	2.85	0.50	3.03	8.8	0.0	8.8	5.30%	5.0	0.382	7.71	10	0.84	10.50	15	1.43	1.09	1.00	8.8	0.0
F1	Grade	F1	30'	2.85	0.50	3.03	6.6	0.0	6.6	4.80%	5.0	0.353	6.87	10	0.81	8.19	15	1.83	1.18	1.00	6.6	0.0
F2	Grade	F2	30'	2.85	0.50	3.03	6.7	0.0	6.7	4.80%	5.0	0.355	6.92	10	0.81	8.30	15	1.81	1.17	1.00	6.7	0.0
F3	Grade	F3	30'	2.85	0.50	3.03	5.9	0.0	5.9	2.00%	5.0	0.393	8.07	10	0.85	6.95	10	1.44	1.06	1.00	5.9	0.0

Sump Inlets										
Inlet No.	Inlet Type	Drainage Area No.	Street Width (CL - FOC)	Q (cfs)	Q Pass (cfs)	Q Total (Qa) (cfs)	R.F. (%)	Length (ft)	Rfx L (ft)	yo + a (ft.)
A10	Sump	A10	15.0'	9.0	0.0	9.0	10%	10.0	9.0	1.00
A11	Sump	A11	15.0'	2.1	0.0	2.1	10%	10.0	9.0	0.23
C0	Sump	C0	15.0'	8.6	0.0	8.6	10%	10.0	9.0	0.96
D3	Sump	D3	15.0'	6.4	0.0	6.4	10%	10.0	9.0	0.72
D4	Sump	D4	15.0'	4.4	0.0	4.4	10%	10.0	9.0	0.49

Shadowglen Phase 3 Section 1																							
INLET FLOW CALCULATION TABLE (100-Yr Flows)																							
Parabolic Crown																							
Inlet No.	Inlet Type	Drainage Area No.	Street Width (FOC - FOC)	K0	K1	K2	Q (cfs)	Q Pass (cfs)	Q Total (Qa) (cfs)	Slope (%)	a (in.)	yo (ft.)	Ponded Width (ft)	R.F. (%)	Qa/La	La (ft)	Length (ft)	L/La	a/yo	Qa	Q/Qa	Q (cfs)	Q Pass (cfs)
A0	Grade	A0	30'	2.85	0.50	3.03	1.88	0.0	1.9	2.60%	5.0	0.258	4.56	10	0.71	2.64	10	3.78	1.62	7.10	1.00	1.9	0.0
A1	Grade	A1	30'	2.85	0.50	3.03	8.33	0.0	8.3	2.30%	5.0	0.430	9.40	10	0.89	9.35	10	1.07	0.97	8.92	1.00	8.3	0.0
A2	Grade	A2	30'	2.85	0.50	3.03	6.06	0.0	6.1	1.50%	5.0	0.416	8.84	10	0.88	6.92	10	1.44	1.00	8.76	1.00	6.1	0.0
A3	Grade	A3	30'	2.85	0.50	3.03	6.85	0.0	6.8	1.00%	5.0	0.463	10.89	10	0.93	7.38	10	1.35	0.90	9.27	1.00	6.8	0.0
A4	Grade	A4	30'	2.85	0.50	3.03	7.42	0.0	7.4	1.00%	5.0	0.475	11.64	10	0.94	7.88	10	1.27	0.88	9.41	1.00	7.4	0.0
A5	Grade	A5	30'	2.85	0.50	3.03	12.30	0.0	12.3	4.80%	5.0	0.437	9.66	10	0.90	13.71	15	1.09	0.95	13.48	1.00	12.3	0.0
A6	Grade	A6	30'	2.85	0.50	3.03	7.36	0.0	7.4	1.80%	5.0	0.430	9.39	10	0.89	8.26	10	1.21	0.97	8.91	1.00	7.4	0.0
A7	Grade	A7	30'	2.85	0.50	3.03	8.50	0.0	8.5	1.00%	5.0	0.497	13.80	10	0.97	8.80	10	1.14	0.84	9.66	1.00	8.5	0.0
A8	Grade	A8	30'	2.85	0.50	3.03	7.75	0.0	7.8	1.00%	5.0	0.482	12.15	10	0.95	8.17	10	1.22	0.86	9.49	1.00	7.8	0.0
A9	Grade	A9	30'	2.85	0.50	3.03	6.25	0.0	6.2	1.00%	5.0	0.449	10.20	10	0.91	6.85	10	1.46	0.93	9.12	1.00	6.2	0.0
A10	Sump	A10	30'	2.85	0.50	3.03	12.86	0.0	12.9	1.40%	SEE SUMP INLET CALCULATIONS												
A11	Sump	A11	30'	2.85	0.50	3.03	2.97	0.0	3.0	1.00%	SEE SUMP INLET CALCULATIONS												
B0	Grade	B0	30'	2.85	0.50	3.03	9.73	0.0	9.7	1.90%	5.0	0.467	11.16	10	0.93	10.43	10	0.96	0.89	9.33	0.96	9.3	0.4
B1	Grade	B1	30'	2.85	0.50	3.03	5.60	0.4	6.0	1.50%	5.0	0.414	8.79	10	0.87	6.86	10	1.46	1.01	8.74	1.00	6.0	0.4
C0	Sump	C0	30'	2.85	0.50	3.03	12.26	0.0	12.3	1.00%	SEE SUMP INLET CALCULATIONS												
D0	Grade	D0	30'	2.85	0.50	3.03	12.94	0.0	12.9	3.60%	5.0	0.462	10.86	10	0.93	13.97	15	1.07	0.90	13.90	1.00	12.9	0.0
D1	Grade	D1	30'	2.85	0.50	3.03	11.42	0.0	11.4	2.80%	5.0	0.462	10.87	10	0.93	12.32	15	1.22	0.90	13.90	1.00	11.4	0.0
D2	Grade	D2	30'	2.85	0.50	3.03	4.61	0.0	4.6	0.65%	5.0	0.436	9.63	10	0.90	5.14	10	1.95	0.96	8.98	1.00	4.6	0.0
D3	Sump	D3	30'	2.85	0.50	3.03	9.25	0.0	9.3	1.00%	SEE SUMP INLET CALCULATIONS												
D4	Sump	D4	30'	2.85	0.50	3.03	6.20	0.0	6.2	1.00%	SEE SUMP INLET CALCULATIONS												
E0	Grade	E0	30'	2.85	0.50	3.03	11.27	0.0	11.3	4.80%	5.0	0.421	9.04	10	0.88	12.79	10	0.78	0.99	8.81	0.78	8.8	2.5
E2	Grade	E2	30'	2.85	0.50	3.03	5.20	0.0	5.2	3.30%	5.0	0.347	6.70	10	0.80	6.49	10	1.54	1.20	8.02	1.00	5.2	0.0
E1	Grade	E1	30'	2.85	0.50	3.03	8.28	0.0	8.3	3.00%	5.0	0.411	8.67	10	0.87	9.51	10	1.05	1.01	8.70	1.00	8.3	0.0
F0	Grade	F0	30'	2.85	0.50	3.03	12.59	0.0	12.6	5.30%	5.0	0.430	9.37	10	0.89	14.14	15	1.06	0.97	13.36	1.00	12.6	0.0
F1	Grade	F1	30'	2.85	0.50	3.03	9.47	0.0	9.5	4.80%	5.0	0.397	8.21	10	0.86	11.07	15	1.36	1.05	12.84	1.00	9.5	0.0
F2	Grade	F2	30'	2.85	0.50	3.03	9.55	0.0	9.6	4.80%	5.0	0.399	8.24	10	0.86	11.15	15	1.35	1.05	12.86	1.00	9.6	0.0
F3	Grade	F3	30'	2.85	0.50	3.03	8.46	0.0	8.5	2.00%	5.0	0.442	9.91	10	0.90	9.35	10	1.07	0.94	9.05	1.00	8.5	0.0
Sump Inlets																							
Inlet No.	Inlet Type	Drainage Area No.	Street Width (CL - FOC)				Q (cfs)	Q Pass (cfs)	Q Total (Qa) (cfs)					R.F. (%)	Length (ft)	RFX (ft)	Q/L (cfs/ft)	yo + a (ft)					
A10	Sump	A10	15'0"				12.86	-3.2	9.66					10%	10.0	9.0	1.07	0.50					
A11	Sump	A11	15'0"				2.97	0.0	6.17					10%	10.0	9.0	0.88	0.37					
C0	Sump	C0	15'0"				12.26	0.0	12.26					10%	15.0	13.5	0.91	0.45					
D3	Sump	D3	15'0"				9.25	0.0	9.25					10%	10.0	9.0	1.03	0.49					
D4	Sump	D4	15'0"				6.20	0.0	6.20					10%	10.0	9.0	0.69	0.38					

Plotted By: Carlos, Jonathan Date: June 14, 2023 03:48:55pm File Path: K:\AUS-Civil\069254503-Shadowglen Phase 3\Cad Preliminary\PlanSheets\C-Water Plan.dwg
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Item 4.	
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 6/14/2023	
KHA PROJECT 069254503	DATE JANUARY 2022
SCALE AS SHOWN	DESIGNED BY JBR
DRAWN BY ADD	CHECKED BY JBR
PRELIMINARY PLANS FOR SHADOWGLEN PHASE 3 CITY OF MANOR TRAVIS COUNTY, TEXAS	
PRELIMINARY WATER PLAN - SECTION 1 (SHEET 1 OF 2)	
SHEET NUMBER EX I	

Plotted By: Colorado, Jonathan Date: June 14, 2023 03:49:03pm File Path: K:\AUS\069254503-Shadowglen Phase 3\Coa Preliminary\PlanSheets\Co-Water Plan.dwg
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UTILITY LEGEND

	PROPERTY LINE
	PROPOSED WASTE WATER LINE
	PROPOSED WATER LINE
	PROPOSED WASTE WATER MANHOLE
	PROPOSED WASTE WATER CLEANOUT
	WASTE WATER FLOW DIRECTION
	PROPOSED FIRE HYDRANT
	PROPOSED TAPPING SLEEVE & VALVE
	IRRIGATION SLEEVE
	EXISTING OVERHEAD POWER LINE
	EXISTING WATER LINE
	EXISTING WASTE WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING WASTE WATER MANHOLE
	LIMIT OF "ZONE A" PER CLMOR
	EXISTING 100-YEAR FEMA FLOODPLAIN
	EXISTING 500-YEAR FEMA FLOODPLAIN
	PROPOSED 100-YEAR ATLAS 14 FLOODPLAIN
	EXISTING 100-YEAR ATLAS 14 FLOODPLAIN
	150' CREEK BUFFER
	300' CREEK BUFFER

KEY MAP

N.T.S.

BENCHMARKS

BM #101	1" IN CONCRETE AROUND A WATER MANHOLE LOCATED 225' SOUTHWEST OF THE SOUTHWEST CORNER OF THE 100-ACRE TRACT, AND 170' SOUTHWEST OF THE SOUTHWEST CORNER OF THE 100-ACRE TRACT.	ELEV: 1557.12 (NAVD 83)
BM #102	"X" SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND FUCHS GROVE ROAD.	ELEV: 1538.05 (NAVD 83)
BM #103	5" BORN ROD WITH A PLASTIC CAP SET IN ASPHALT ON THE EAST SIDE OF RECTOR LOOP MIDWAY THROUGH WHERE THE ROAD CURVES FROM SOUTHEAST TO SOUTHWEST JUST SOUTH OF THE GATED ENTRANCE TO THE SITE.	ELEV: 1538.72 (NAVD 83)

Know what's below.
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

Item 4.
B
DATE

REVISIONS

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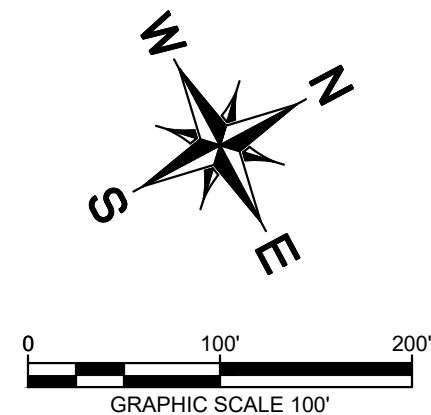
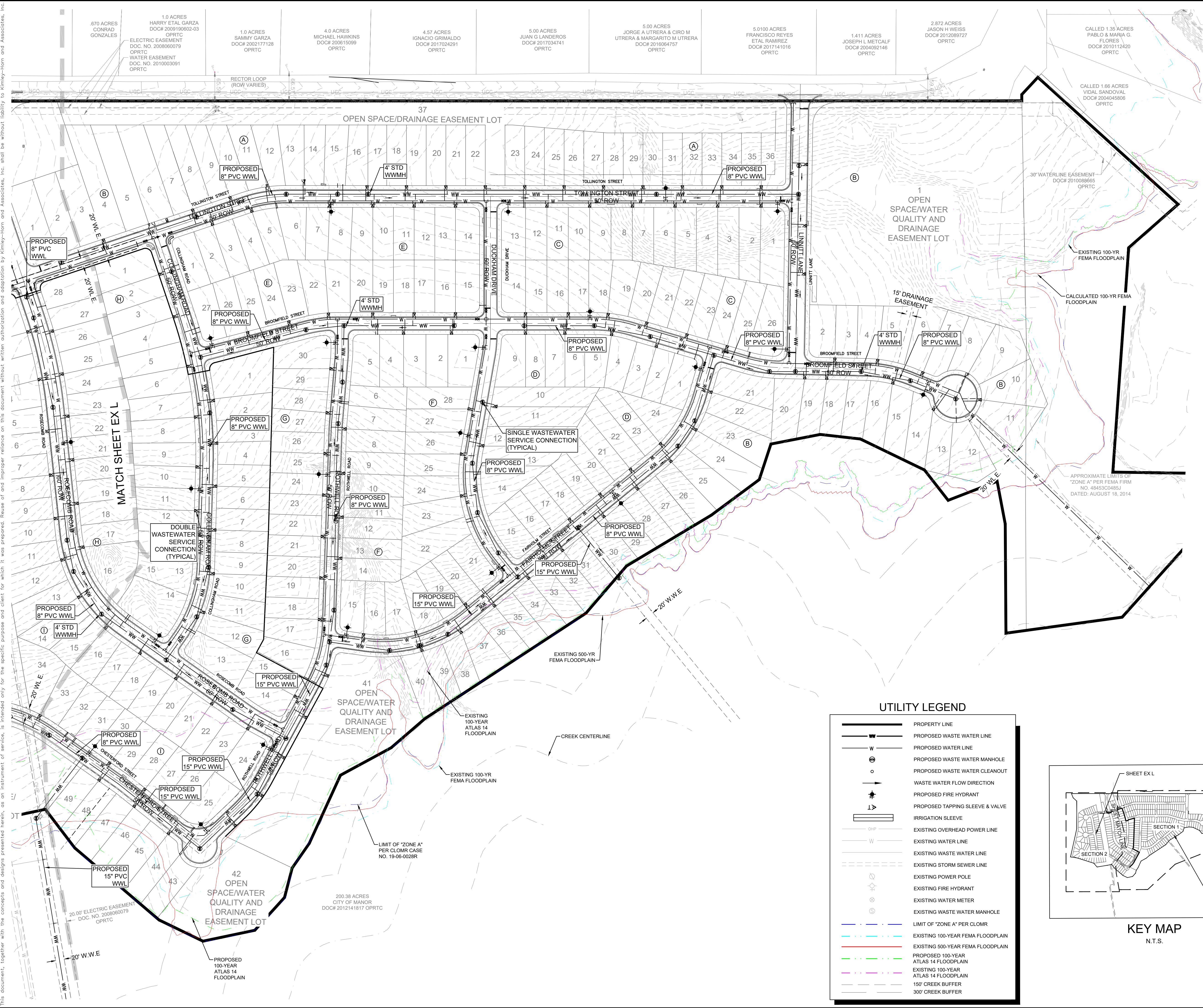
KHA PROJECT	069254503
DATE	JANUARY 2022
SCALE	AS SHOWN
DESIGNED BY:	JBR
DRAWN BY:	ADD
CHECKED BY:	JBR

PRELIMINARY PLANS FOR
SHADOWGLEN
PHASE 3
CITY OF MANOR
TRAVIS COUNTY, TEXAS

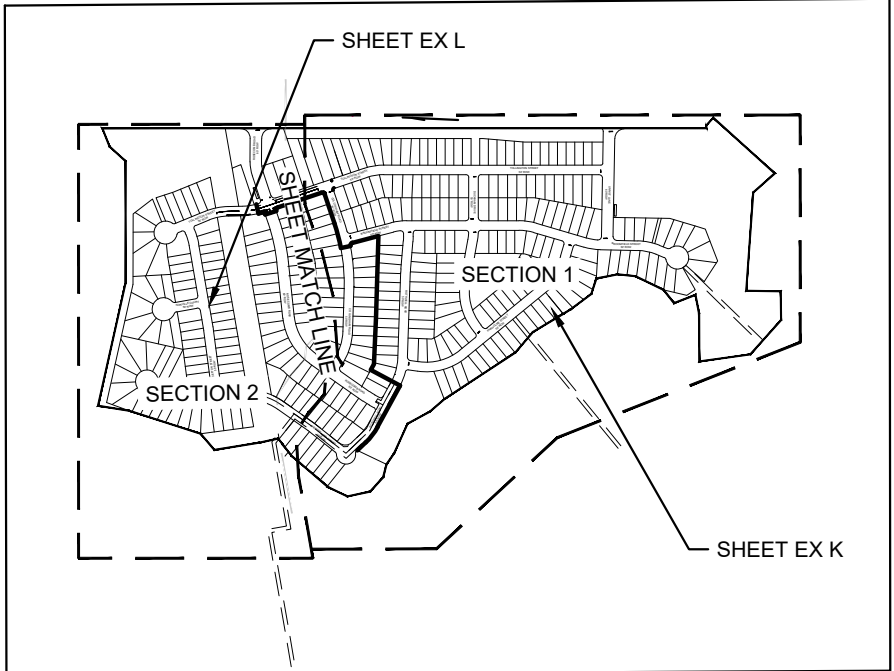
PRELIMINARY WATER
PLAN - SECTION 2
(SHEET 2 OF 2)

SHEET NUMBER
EX J

Plotted By: Colorado, Jonathan Date: June 14, 2023 03:50:04pm File Path: K:\AUS\069254503-Shadowglen Phase 3\CD Preliminary\PlanSheets\G-Wastewater Plan.dwg
This document, together with the concepts and designs presented herein, is an instrument of service, intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



UTILITY LEGEND	
	PROPERTY LINE
	PROPOSED WASTE WATER LINE
	PROPOSED WATER LINE
	PROPOSED WASTE WATER MANHOLE
	PROPOSED WASTE WATER CLEANOUT
	WASTE WATER FLOW DIRECTION
	PROPOSED FIRE HYDRANT
	PROPOSED TAPPING SLEEVE & VALVE
	IRRIGATION SLEEVE
	EXISTING OVERHEAD POWER LINE
	EXISTING WATER LINE
	EXISTING WASTE WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING WASTE WATER MANHOLE
	LIMIT OF "ZONE A" PER CLOMR
	EXISTING 100-YEAR FEMA FLOODPLAIN
	EXISTING 500-YEAR FEMA FLOODPLAIN
	PROPOSED 100-YEAR ATLAS 14 FLOODPLAIN
	EXISTING 100-YEAR ATLAS 14 FLOODPLAIN
	150' CREEK BUFFER
	300' CREEK BUFFER



BENCHMARKS

BM #101 1" IN CONCRETE AROUND A WATER MANHOLE LOCATED 225'1" SOUTH OF THE SOUTHWEST CORNER OF THE GARDENBACH 100 ACRE TRACT, AND 170'1" SOUTHWEST OF THE SOUTHEAST RIGHT-OF-WAY LINE OF PICKS GROVE ROAD. ELEV: 1557.13' (NAVD 83)

BM #102 1" SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND PICKS GROVE ROAD. ELEV: 1538.05' (NAVD 83)

BM #103 3/4" IRON ROD WITH A PLASTIC CAP SET IN ASPHALT ON THE EAST SIDE OF RECTOR LOOP MIDWAY THROUGH WHERE THE ROAD CURVES FROM SOUTHEAST TO SOUTHWEST JUST SOUTH OF THE GATED ENTRANCE TO THE SITE. ELEV: 1538.73' (NAVD 83)

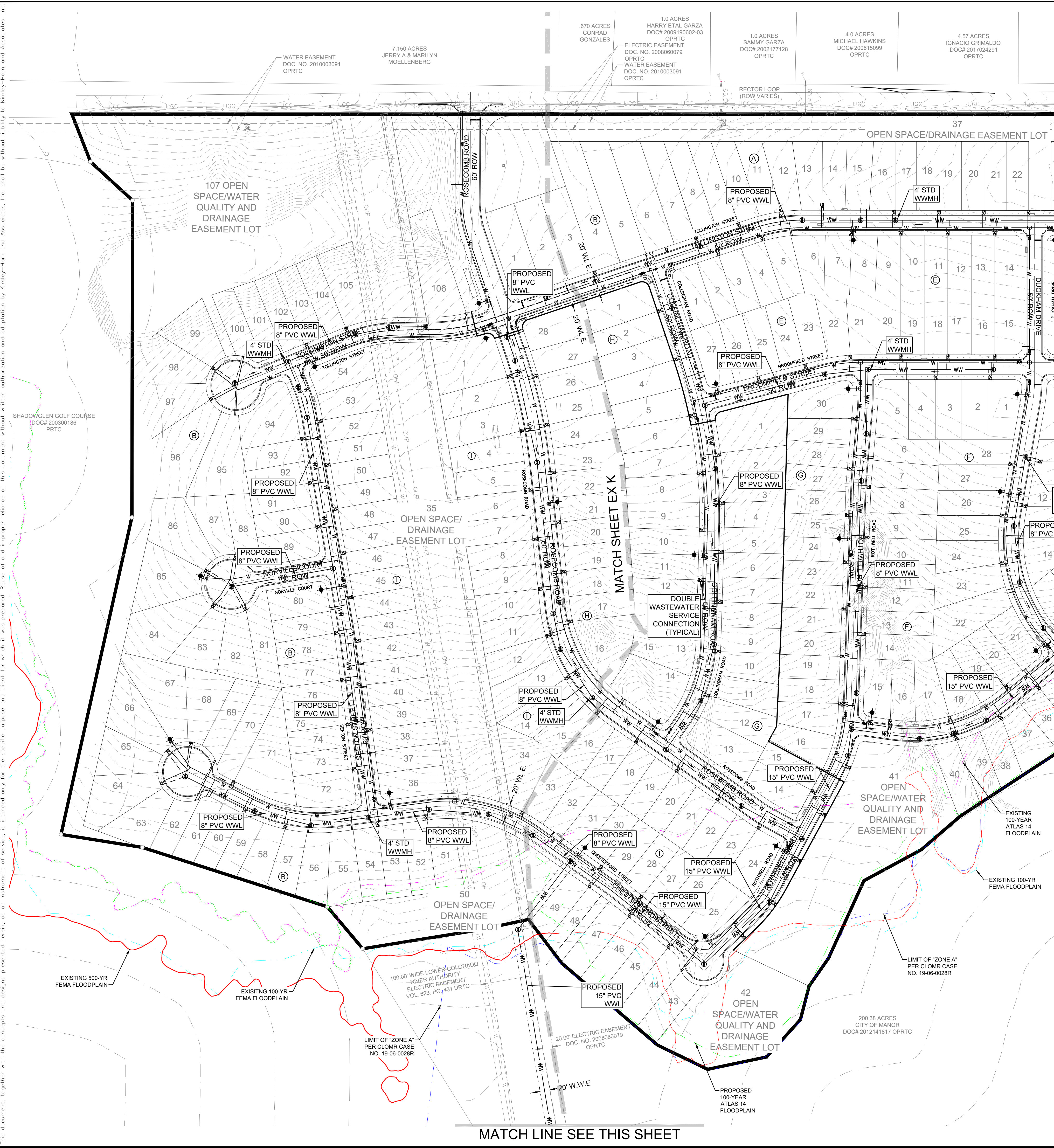
811

Know what's below.
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

PRELIMINARY PLANS FOR SHADOWGLEN PHASE 3 CITY OF MANOR TRAVIS COUNTY, TEXAS		SHEET NUMBER EX K	
PRELIMINARY WASTEWATER PLAN - SECTION 1 (SHEET 1 OF 2)		KHA PROJECT 069254503 DATE JANUARY 2022 SCALE: AS SHOWN DESIGNED BY: JBR DRAWN BY: ADD CHECKED BY: JBR	
 © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 10814 JOLLYVILLE ROAD, AVALON IV, SUITE 300, AUSTIN, TX 78759 PHONE: 512-418-1771 FAX: 512-418-791 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM F-928		Item 4. B DATE REVISIONS No.	

Plotted By: Carlos, Jonathan Date: June 14, 2023 03:50:11pm File Path: K:\AUS-Civil\069254503-Shadowglen Phase 3\Code\Preliminary\PlanSheets\C-Wastewater Plan.dwg
This document, together with the concepts and designs presented herein, is an instrument of service. It is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.





1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Wednesday, November 14, 2018

Jason Reece
Kimley Horn
10814 Jollyville Road
Austin 78759
Jason.Reece@kimley-horn.com

Permit Number 2018-P-1154-PP
Job Address: Shadowglen Phase 3 Section 1 & 2 Preliminary Plan, Manor, TX. 78653

Dear Jason Reece,

The first submittal of the Shadowglen Phase 3 Section 1 & 2 Preliminary Plan (*Preliminary Plan*) submitted by Kimley Horn and received on July 31, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (737) 247-7557 or by email at pgray@gbateam.com.

1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(2)(iii), Significant Trees, within the boundaries of the subdivision and of 8-inch caliper and larger, shall be shown accurately to the nearest one (1) foot, Critical Root Zones of these trees shall also be shown on the preliminary plat.
2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(2)(vii), the locations, sizes and descriptions of all existing utilities, including but not limited to wastewater lines, lift stations, wastewater and storm sewer manholes, waterlines, water storage tanks, and wells within the subdivision, and/or adjacent thereto should be shown on the preliminary plat.
3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and rights-of-way; and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions be shown on the preliminary plat.
4. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(3)(vii), Significant Trees to remain during construction showing the Critical Root Zones as solid circles, and Significant Trees designated to be removed showing the Critical Root Zones as dashed circles on the preliminary plat.
5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(3)(viii), Replacement Trees shall be shown on the Preliminary Plat based on a replacement ratio (inches removed to inches planted) of:
 - a) 1:2 for Significant Trees eighteen (18) inches in caliper and larger, and
 - b) 1: 1 for Significant Trees between eight (8) and eighteen (18) in caliper.
 - c) Replacement Trees shall not be required for the removal of trees smaller than eight (8) inches in caliper. The removal of Significant Trees larger than eighteen inches in caliper require Commission approval.
6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv), Traffic Impact Analysis (TIA), consistent with the City of Austin Transportation Criteria Manual is required. A scoping meeting must be conducted with City Staff prior to assembly of the TIA document.
7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(3)(vi), the lengths of each proposed property line of all lots. The area of each non-rectangular lot shall be provided.
8. Some of the drawings appear to be cut off. Adding matchlines where applicable may help to clarify where each section is located.
9. The MUD number that will serve the proposed project is not listed on under the General Information on Sheet 2.

10. Clearly differentiate between existing and proposed waterline and wastewater lines.
11. Clearly show where the proposed waterline and wastewater lines will tie in to the existing systems.
12. The following comments pertain to the requested variances:
 - i. The lot sizes have been determined for the entire Shadowglen Development. Per the Development Agreement (DA), 25% can be 5,000 sf, 20% can be 5,500 sf, 20% can be 6,000 sf, 20% can be 6,500 sf, 7.5% can be 7,400 sf and 7.5% can be 8,000 sf. These are percentages for what has been already been constructed and approved. It should be shown how many of each lot type has already been constructed and approved and how many are proposed with this Phase.
 - ii. There are set percentages for lot widths that need to be followed: 15% = 65 ft, 20%=60 ft, 20%=55 ft, 20%=50 ft and 25%=40 ft. You can deviate from those percentages +/- 5%. It would be helpful to have a table of where the development currently is and what it will be at with the proposed lots.
 - iii. Is taken from the DA and is fine.
 - iv. Is taken from the DA and is fine.
 - v. Is taken from the DA and is fine.
 - vi. Is taken from the DA and is fine.
 - vii. This needs to be clarified as to what the development plan and report are. Would this show the lot sizes and widths for Shadowglen overall?
 - viii. Clarify what was revoked.
 - ix. Would full construction plan sets be submitted for the pathways?
 - x. Is ok.
 - xi. Please provide documentation as to when the variance request was granted along with a copy of the approved request.
13. There appears to be now variance process in the DA so the only way to have any new variances approved would be through an amendment to the DA. There are already agreed to variances in the DA, so if additional ones are requested the DA would need to be amended.
14. It is highly unlikely that any waivers to deviate from the DA will be granted.
15. Parkland is required to be dedicated with Phase 3 of Shadowglen and should be consistent with Exhibit I of the DA. For Phase 3, 6.4 acres of greenbelt trails/linear parks and 8.5 acre community park is required.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



11/14/2018 4:58:19 PM
Shadowglen Phase 3 Section 1 & 2 Preliminary Plan
2018-P-1154-PP
Page 4

Pauline Gray, P.E.
Lead AES
GBA



February 18, 2019

City of Manor
Pauline Gray, P.E.
105 E. Eggleston Street
Manor, TX 78653

**RE: Preliminary Plan for Shadowglen Phase 3 (Permit No. 2018-P-1154-PP)
Section 1 & 2
Manor, Texas 78653**

Dear Ms. Gray:

Please accept this Comment Response Letter for the above reference project. This submittal is in response to the comments provided by the City of Manor on November 14, 2018. The original comments have also been included below, for reference.

Comment 1. Significant Trees, within the boundaries of the subdivision and of 8-inch caliper and larger, shall be shown accurately to the nearest one (1) foot, Critical Root Zones of these trees shall also be shown on the preliminary plat.

Response: A tree survey has been included with this submittal.

Comment 2. The locations, sizes and descriptions of all existing utilities, including but not limited to wastewater lines, lift stations, wastewater and storm sewer manholes, waterlines, water storage tanks, and wells within the subdivision, and/or adjacent thereto should be shown on the preliminary plat.

Response: All existing utilities have been shown and labeled.

Comment 3. The locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and rights-of-way; and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions be shown on the preliminary plat

Response: Proposed street names, easements, right-of-way and dimensions have been shown on the Preliminary Plan.

Comment 4. Significant Trees to remain during construction showing the Critical Root Zones as solid circles, and Significant Trees designated to be removed showing the Critical Root Zones as dashed circles on the preliminary plat.

Response: All Significant Trees within the project limits to remain and/or removed have been shown with this submittal.

Comment 5. The Replacement Trees shall be shown on the Preliminary Plat based on a replacement ratio (inches removed to inches planted) of:

- a) 1:2 for Significant Trees eighteen (18) inches in caliper and larger, and
- b) 1:1 for Significant Trees between eight (8) and eighteen (18) in caliper.
- c) Replacement Trees shall not be required for the removal of trees smaller than eight (8) inches in caliper. The removal of Significant Trees larger than eighteen inches in caliper require Commission approval

Response: **The Development Agreement requires a minimum of 2 – 2” caliper trees to be planted for each residential lot.**

Comment 6. A Traffic Impact Analysis (TIA), consistent with the City of Austin Transportation Criteria Manual is required. A scoping meeting must be conducted with City Staff prior to assembly of the TIA document.

Response: **TIA Scope has been approved and will be submitted as soon as it has been completed.**

Comment 7. Provide the lengths of each proposed property line of all lots. The area of each non-rectangular lot shall be provided

Response: **Lengths are depicted for each proposed property line for all lots except for future lots on Sheet 3 & 4. Area for every lot is provided in Sheet 5.**

Comment 8. Some of the drawings appear to be cut off. Adding match lines where applicable may help to clarify where each section is located

Response: **Match lines have been added. In addition, a Key Map is provided on each sheet where drawings are cut off.**

Comment 9. The MUD number that will serve the proposed project is not listed on under the General Information on Sheet 2.

Response: **The MUD that will serve the proposed project is Wilbarger Creek M.U.D. #1 and is noted in Note 3 on Sheet 2.**

Comment 10. Clearly differentiate between existing and proposed waterline and wastewater lines.

Response: **All proposed utilities are shown in bold and existing utilities are thin.**

Comment 11. Clearly show where the proposed waterline and wastewater lines will tie in to the existing systems.

Response: **The proposed wastewater connection tie-in location is shown on Sheet EX-L and the proposed water tie-in locations are shown on Sheet EX-J.**

Comment 12. The following comments pertain to the requested variances:

- i. The lot sizes have been determined for the entire Shadowglen Development. Per the Development Agreement (DA), 25% can be 5,000 sf, 20% can be 5,500 sf, 20% can be 6,000 sf, 20% can be 6,500 sf, 7.5% can be 7,400 sf and 7.5% can be

8,000 sf. These are percentages for what has been already been constructed and approved. It should be shown how many of each lot type has already been constructed and approved and how many are proposed with this Phase.

Response: This information was shown on the Cover Sheet (Sheet #1) just under the Vicinity Map.

- ii. There are set percentages for lot widths that need to be followed: 15% = 65 ft, 20%=60 ft, 20%=55 ft, 20%=50 ft and 25%=40 ft. You can deviate from those percentages +/- 5%. It would be helpful to have a table of where the development currently is and what it will be at with the proposed lots.

Response: This information was shown on the Cover Sheet (Sheet #1) just under the Vicinity Map.

- iii. Is taken from the DA and is fine.

Response: Noted

- iv. Is taken from the DA and is fine.

Response: Noted

- v. Is taken from the DA and is fine.

Response: Noted

- vi. Is taken from the DA and is fine.

Response: Noted

- vii. This needs to be clarified as to what the development plan and report are. Would this show the lot sizes and widths for Shadowglen overall?

Response: The report and development plan were submitted with the initial submittal of the Preliminary Plan review.

- viii. Clarify what was revoked.

Response: This noted was copied from Phase 2 Preliminary Plan. This note has been removed.

- ix. Would full construction plan sets be submitted for the pathways?

Response: Yes, a full separate construction plan set will be submitted for the pathways.

- x. Is ok.

Response: Noted

- xi. Please provide documentation as to when the variance request was granted along with a copy of the approved request.

Response: This noted was copied from Phase 2 Preliminary Plan. There are no new variance being requested. The variance as discussed in the general notes refers to the existing approved PUD variances.

Comment 13. There appears to be now variance process in the DA so the only way to have any new variances approved would be through an amendment to the DA. There are already agreed to variances in the DA, so if additional ones are requested the DA would need to be amended

Response: No additional waivers to deviate from the Development Agreement are being requested at this time.

Comment 14. It is highly unlikely that any waivers to deviate from the DA will be granted.

Response: No additional waivers to deviate from the Development Agreement are being requested at this time.

Comment 15. Parkland is required to be dedicated with Phase 3 of Shadowglen and should be consistent with Exhibit I of the DA. For Phase 3, 6.4 acres of greenbelt trails/linear parks and 8.5-acre community park is required.

Response: Lot 1 in Section 1 (7.7 acres) will be utilized for the amenity center and detention pond. The subsequent sections of Shadowglen Phase 3 will satisfy the remaining parkland requirements.

Please contact me at 512-551-1839 if additional information is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Jason Reece, P.E.
Project Manager



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Wednesday, March 27, 2019

Jason Reece
Kimley Horn
10814 Jollyville Road
Austin 78759
Jason.Reece@kimley-horn.com

Permit Number 2018-P-1154-PP
Job Address: Shadowglen Phase 3 Section 1 & 2 Preliminary Plan, Manor 78653

Dear Jason Reece,

The subsequent submittal of the Shadowglen Phase 3 Section 1 & 2 Preliminary Plan submitted by Kimley Horn and received on July 31, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (737) 247-7557 or by email at pgray@gbateam.com.

1. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance-263B Section 22(c)(2)(iii), Significant Trees, within the boundaries of the subdivision and of 8-inch caliper and larger, shall be shown accurately to the nearest one (1) foot, Critical Root Zones of these trees shall also be shown on the preliminary plat.~~
2. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance-263B Section 22(c)(2)(vii), the locations, sizes and descriptions of all existing utilities, including but not limited to wastewater lines, lift stations, wastewater and storm sewer manholes, waterlines, water storage tanks, and wells within the subdivision, and/or adjacent thereto should be shown on the preliminary plat.~~
3. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance-263B Section 22(c)(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and rights of way, and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions be shown on the preliminary plat.~~
4. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance-263B Section 22(c)(3)(vii), Significant Trees to remain during construction showing the Critical Root Zones as solid circles, and Significant Trees designated to be removed showing the Critical Root Zones as dashed circles on the preliminary plat.~~
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 - a) ~~1:2 for Significant Trees eighteen (18) inches in caliper and larger, and~~
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6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv), Traffic Impact Analysis (TIA), consistent with the City of Austin Transportation Criteria Manual is required. ~~A scoping meeting must be conducted with City Staff prior to assembly of the TIA document.~~

~~7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(3)(vi), the lengths of each proposed property line of all lots. The area of each non-rectangular lot shall be provided.~~

~~8. Some of the drawings appear to be cut off. Adding matchlines where applicable may help to clarify where each section is located.~~

9. The MUD number that will serve the proposed project is not listed on under the General Information on Sheet 2. (See upper left corner of sheet).

~~10. Clearly differentiate between existing and proposed waterline and wastewater lines.~~

~~11. Clearly show where the proposed waterline and wastewater lines will tie in to the existing systems.~~

12. The following comments pertain to the requested variances:

- i. The lot sizes have been determined for the entire Shadowglen Development. Per the Development Agreement (DA), 25% can be 5,000 sf, 20% can be 5,500 sf, 20% can be 6,000 sf, 20% can be 6,500 sf, 7.5% can be 7,400 sf and 7.5% can be 8,000 sf. These are percentages for what has been already been constructed and approved. It should be shown how many of each lot type has already been constructed and approved and how many are proposed with this Phase.
- ii. There are set percentages for lot widths that need to be followed: 15% = 65 ft, 20% = 60 ft, 20% = 55 ft, 20% = 50 ft and 25% = 40 ft. You can deviate from those percentages +/- 5%. It would be helpful to have a table of where the development currently is and what it will be at with the proposed lots.
- iii. Is taken from the DA and is fine.
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- viii. Clarify what was revoked.
- ix. Would full construction plan sets be submitted for the pathways?
- x. Is ok.
- xi. Please provide documentation as to when the variance request was granted along with a copy of the approved request.

~~13. There appears to be a new variance process in the DA so the only way to have any new variances approved would be through an amendment to the DA. There are already agreed to variances in the DA, so if additional ones are requested the DA would need to be amended.~~

~~14. It is highly unlikely that any waivers to deviate from the DA will be granted.~~

15. Parkland is required to be dedicated with Phase 3 of Shadowglen and should be consistent with Exhibit I of the DA. For Phase 3, 6.4 acres of greenbelt trails/linear parks and an 8.5 acre community park is required. The 8.5 acres is shown on the park plan as a contiguous tract that is 100% non-floodplain and contains only approved "Parkland Infrastructure". Lot 1 in Section 1 is shown as open space on the park plan, which is separate from the required community park space, and the lot contains detention facilities which are not approved "Parkland Infrastructure" for a community park. Any lot proposed to meet the "Additional Land" requirement of the DA should be labeled as only "Additional Land" or "Upland Park" with separately defined acreage from any open space or drainage lots.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Lead AES
GBA



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Wednesday, September 9, 2020

Jason Reece
Kimley Horn
10814 Jollyville Road
Austin 78759
Jason.Reece@kimley-horn.com

Permit Number 2018-P-1154-PP
Job Address: Shadowglen Phase 3 Section 1 & 2 Preliminary Plan, Manor, TX. 78653

Dear Jason Reece,

The first submittal of the Shadowglen Phase 3 Section 1 & 2 Preliminary Plan (*Preliminary Plan*) submitted by Kimley Horn and received on July 31, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (737) 247-7557 or by email at pgray@gbateam.com.

THE FOLLOWING COMMENTS ARE FOR THE FIRST SUBMITTAL OF THE DETENTION WAIVER REQUEST:

1. The detention waiver request will need to be approved by TRAVIS COUNTY as well the City of Manor.

2. Clarify why the Areas for the curve numbers are different for existing vs proposed in Table 3.
3. Clarify which section of the City of Austin Drainage Criteria Manual you are requesting the Waiver Request for.
4. Per the City of Austin Drainage Criteria Manual Section 1.2.2(D), stormwater runoff peak flow rates shall not be increased at any point of discharge from a site for the two (2), ten (10), 25 and 100-year storm frequency events.
5. The waiver request states that minor changes in velocity occur within Wilbarger Creek and that the changes are minor. The report states that increases in peak flows during the 2- and 25-year storm events are less than 0.02% of their existing peak flows and will have no adverse impact on Wilbarger Creek and no additional adverse flooding will take place as a result of the proposed development. Please provide calculations showing that the increased velocities will not affect erosion.
6. Provide calculations showing that the developed intensity curve numbers include streets, sidewalks and any other impervious cover items in their calculations. The residential curve numbers appear low.

7. PROVIDE DOCUMENTATION THAT THE WAIVER REQUEST HAS BEEN APPROVED BY TRAVIS COUNTY.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Lead AES
GBA

André Betit, PE
 Daniela Guthrie, PE
 Travis County TNR Road and Bridge
 Mailing Address: P.O. Box 1748; Austin, TX 78701-1748
 Physical Address: 700 Lavaca Street; Austin, TX 78701

Traffic Impact Analysis for Shadowglen Phase 3 TIA

Please accept this *Comment Response Letter* in reply to Travis County Completion Check review, dated December 14, 2020 regarding the referenced project. Original comments have been included for reference, while Kimley-Horn responses are listed in **maroon**.

COMPLETION CHECK COMMENTS

1. Sight Distance Analysis: The TIA shall include horizontal and vertical sight distance analysis for both Stopping Sight Distance (SSD) and Intersection Sight Distance (ISD); however, only the horizontal intersection sight distance analysis was included in the report. Please include all exhibits as part of the update.

Response: Vertical sight distance figures have been included in this submittal in Appendix M along with the horizontal sight distance figures.

2. Section I.5.d requires a roadway sizing analysis for all connecting internal roadways. It appears the driveways/internal roadways weren't included in the report.

Response: A roadway sizing analysis has been included in the Phase 1 section of the report (Page 40-41) for the primary entrance roads to the Phase 1 development (2023) – called Driveway 1 and Driveway 2. The roadway sizing analysis for Driveway 3/Misty Grove Boulevard is included with the Phase 2 development (2025) of the report (Page 60).

The roadway classifications are noted on the overall site plan included as Figure 1, including notes for each classification used.

3. Section II.1 (a): Annual growth rate. Please provide printouts or screen shots of the TxDOT count maps in the appendix of the report.

Response: Growth rate calculations and the relevant TxDOT historical data has been included in Appendix C.

The growth rate table included shows an average growth rate of 9%; however, we are proposing a 3% growth rate as a more realistic growth rate to be sustainable over a 5-year development schedule. A 3% growth rate also aligns with the growth trends utilized in the background projects included in this TIA, as shown in the table below.

Project	Growth Rate
Wildhorse PUD	*
Lagos	1.00%
Equinox East	3.00%
Shadowglen PUD	2.00%
*Not included in report provided	

4. Please provide the electronic version of the NCHRP 457 spreadsheets. They appear to be missing.

Response: The Excel spreadsheets are included with this submittal.

Please contact me with questions or if additional information is required before January 4, 2021. I can be reached at 979 307 5030 or via email at allison.adams@kimley-horn.com.

Sincerely,



Allison Adams, P.E.

For future communication, questions and comments may continue to be directed to Santiago Araque Rojas, P.E., the project manager, using the following information:

Santiago A. Araque Rojas, P.E.
Project Manager
santiago.araque@kimley-horn.com
(512) 418-4514

February 8, 2021

Mr. Santiago A. Araque Rojas, P.E.
Kimley-Horn and Associates, Inc.
10814 Jollyville Road
Campus IV, Suite 200
Austin, TX 78759

SUBJECT: Review Comments for Traffic Impact Analysis Report
Shadowglen – Phase 3 (Manor, TX) (1st Submittal)

As requested by the City of Manor, GBA's traffic and transportation engineers have completed a technical review of the above referenced Traffic Impact Analysis (TIA) report submitted by Kimley-Horn. This TIA report submittal was received by the City of Manor on January 8, 2021 and provided to GBA at that time. In addition, we have also reviewed your supplemental information provided in response to the Travis County Completion Check review, dated December 14, 2020.

We would offer the following comments and observations regarding both our independent review of the submitted TIA report, as well as the County's comments provided during their content review and Kimley-Horn's subsequent responses:

1. There are several minor mistakes within the report document's Table of Contents:
 - It appears that there is a gap in the report page numbering, with Pages 12-19 missing.
 - The "Trip Distribution and Assignment" description is actually provided on Page 10.
 - In the Listing of Tables, **Tables 9-10** (2023 AM/PM Queuing Summary) and **Tables 16-17** (2025 AM/PM Queuing Summary) have been omitted, and items from **Table 9** to **Table 21** have been mislabeled as a result.
2. We find the submitted TIA report to be in general compliance with the Scope & Study Area guidance provided by Travis County personnel, as depicted in **Appendix A**, but would offer these observations:
 - We generally concur with the "factoring" of the existing traffic counts, including Kimley-Horn's COVID adjustment process and the use of some historical traffic growth factors to adjust 2019 traffic counts to current conditions (see further discussion of utilized traffic growth factors provided below in comment #4).
 - Please provide additional description, clarification and illustrations of the data collected for the purposes of calibrating the existing Synchro operational analyses.
 - We noted that there was an increase of 6 dwelling units proposed within the development between the scoping stage and this report submittal, resulting in negligible increases in expected trip generation of 58 daily trips, 4 total AM trips, and 6 total PM trips.
 - In **Appendix B**, the **Exhibit B1** does not explicitly provide the trip generation estimates for each adjacent approved project individually as required, nor does **Exhibit B2** allow for any tracking of site-generated trips from these adjacent projects on an individual basis with the way that these trips have been aggregated and summarized.
 - While we did note that existing traffic signal timing sheets were included within the electronic submittal package, they were not included in the Appendix of the TIA as listed in Submittal Requirement #5.
3. Please clarify the background traffic development volumes used for the purposes of this TIA. Good description is provided for the adjacent approved developments on Page 3 for the 2023

scenario. However, different (i.e., higher) assumptions for the background traffic from the adjacent approved developments may have been appropriate for the 2025 scenario.

- Was additional traffic beyond Phase 1 of the Lagos development included in the 2025 scenario, as this development progresses toward completion in 2030? If not, why?
- The Equinox East development is expected to be completed by 2027. Should additional traffic (up to 75% if linear growth is assumed) from this development have been considered for the 2025 scenario?

4. We have independently reviewed the supplemental TxDOT historical data provided by Kimley-Horn and summarized in the attached **Appendix C**. We understand that a 3% annual growth rate appears consistent with the growth trends utilized in the several background projects included in this TIA report, and why it is therefore recommended for use by Kimley-Horn. The TIA report also says that this 3% growth rate has previously received concurrence from both City and County staff.

However, our independent review of the TxDOT data in **Appendix C** indicates that annual growth rates in the range of 6% to 12% have been demonstrated over the five-year period from 2015 to 2019 at several of the nearby count stations, most notably those on US-290, Lexington Street south of US-290, and at the two locations on FM 0973 to the north of US-290. Therefore, more substantial background traffic growth has recently been demonstrated and sustained in the vicinity of this project site, and a more aggressive background growth rate may be advisable. We would note that any substantial increase in the background traffic volumes under the 2023 and 2025 development thresholds could result in additional mitigation countermeasures being required at the study intersections.

5. When reviewing the provided Trip Generation estimates in **Table 4** and **Appendix D**, we confirmed that Kimley-Horn utilized the Average Rates from ITE for Land Use 210. In this case, we concur with the use of these Average Rates since doing so represents a “conservative” approach that actually generates additional daily, AM, and PM trips from the Shadowglen – Phase 3 development.
6. Please provide additional clarification and/or justification for the intermittent usage of both ICU and HCM – 6th Ed. overall intersection Levels of Service within **Table 6**. These appear to be used interchangeably at times, and in some cases the summarized LOS values do not correlate with the provided Synchro analysis for each respective intersection? We would suggest a thorough review to ensure the completeness and accuracy of this table.
7. Regarding the traffic signal warrants provided throughout the TIA report for both the 2023 and 2025 scenarios, please provide additional clarification for your recommendations about MUTCD Peak Hour Warrant 3. If the poor operations at several of the study intersections will not be improved using traffic signalization per Kimley-Horn’s recommendations, what additional geometric and/or traffic control mitigation countermeasures should be considered, if any?
8. We have reviewed the Sight Distance Analysis provided within this TIA, both the prior horizontal measurements and the supplemental vertical analysis now included in **Appendix M**. Although the Intersection Sight Distance (ISD) condition looking west from Drive 1 onto Rector Loop is marginally deficient (i.e., by about 35 feet from the 400 feet required), in general we concur that no detrimental sight conditions are expected for egress drivers at the site access street connections onto either Rector Loop (Drives 1 and 2) or Fuchs Grove Road (Drive 3).

9. The roadway sizing analyses completed for Drives 1 and 2 during Phase 1 of this development, as well as for Drive 3 during Phase 2, appear to be complete and accurate. As noted by Kimley-Horn, the proposed roadway classifications are included on **Figure 1** provided in the TIA report.
10. We have reviewed the Excel calculation spreadsheets provided by Kimley-Horn to perform evaluations for the mainline auxiliary turn lane warrants, as described by NCHRP 457. We have independently confirmed the results of these auxiliary turn lane warrant analyses, in particular those at the location of Drive 3 onto Fuchs Grove Road (see Pages 61-63 of the TIA report) that indicate both a southbound left-turn lane and a northbound right-turn lane are warranted. These recommended mainline turn lane improvements appear to have been properly accounted within the phased mitigation plans and “pro rata” cost estimates within the TIA, with the southbound left-turn lane being accommodated by the recommended roadway widening to provide a three-lane section with a two-way left-turn lane (TWLTL) on Fuchs Grove Road from Rector Loop to Gregg Lane and the northbound right-turn lane indicated as the last item in **Table 21** on Page 75.
11. In **Tables 11-12** and **Tables 18-19**, there are numerous instances where the lane group MOEs provided (i.e., v/c ratios and movement delays) do not directly correspond with the associated LOS colorations and are misrepresented. This is especially true for many of the shared mainline through/right-turn lane groups. It would be very helpful if the overall delay and LOS results for the signalized intersections was also depicted in these tables. For the AM conditions provided in **Table 11**, the comparative overall signalized data provided references the Existing PM Peak Hour results and should instead reference the Existing AM Peak Hour MOEs in our opinion.

Again, please provide additional clarification and/or justification for the intermittent usage of both ICU and HCM – 6th Ed. overall intersection Levels of Service within these tables. These appear to be used interchangeably at times, or in some cases the summarized LOS does not correlate with either LOS found in the provided Synchro analysis for each respective intersection? We would suggest a thorough review to ensure the completeness and accuracy of these MOE summary tables.
12. The adopted Austin Transportation Criteria Manual (TCM) considers an LOS “F” to be unacceptable. The TIA report must include proposed improvements that will raise the level of service to an acceptable level. Please confirm during your review of the reported MOEs in revised versions of **Tables 11-12** and **Tables 18-19** that these acceptable levels have been achieved at all study intersections.
13. **Tables 16-17** appear to be mislabeled, as they are supposed to be indicating the “2025” AM and PM Queue and Storage Length summaries.
14. Comments from Travis County and TxDOT have not been included within this review letter.
15. Additional comments may be generated as the requested information is provided. A comment response letter, indicating how each comment has been addressed, must be submitted with the resubmittal. Review of this submittal does not constitute a verification of all data, information, and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not the City Engineers review the application for Ordinance compliance.

16. The phased mitigation cost estimates and “pro rata” cost sharing summaries may need to be reviewed pending the identification of any additional mitigation countermeasures at the study intersections.

Please feel free to contact us if you should have any questions regarding these independent review comments or need additional information.

Sincerely,

GEORGE BUTLER ASSOCIATES, INC.



Eric Sierra-Ortega, P.E.
Project Manager



David J. Mennenga, P.E., PTOE
Traffic Engineer

cc: City of Manor, TX
Pauline M. Gray, P.E. (GBA)
file



January 31st, 2022

City of Manor
Pauline Gray, P.E.
105 E. Eggleston Street
Manor, TX 78653

**RE: Preliminary Plan for Shadowglen Phase 3 (Permit No. 2018-P-1154-PP)
Section 1 & 2
Manor, Texas 78653**

Dear Pauline Gray:

Please accept this Comment Response Letter for the above reference project. This submittal is in response to the comments provided by the City of Manor on March 27th, 2019. The original comments have also been included below, for reference. A summary of changes made since the previous submittal has also been included with this submittal.

Comment 1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv), Traffic Impact Analysis (TIA), consistent with the City of Austin Transportation Criteria Manual is required.

Response: **Noted. The TIA for this project has been submitted and is currently in the final stages of review/approval.**

Comment 2. The MUD number that will serve the proposed project is not listed on under the General Information on Sheet 2. (See upper left corner of sheet).

Response: **Noted. The MUD number has been added to Sheet 2.**

Comment 3. Parkland is required to be dedicated with Phase 3 of Shadowglen and should be consistent with Exhibit I of the DA. For Phase 3, 6.4 acres of greenbelt trails/linear parks and an 8.5 acre community park is required. The 8.5 acres is shown on the park plan as a contiguous tract that is 100% non-floodplain and contains only approved "Parkland Infrastructure". Lot 1 in Section 1 is shown as open space on the park plan, which is separate from the required community park space, and the lot contains detention facilities which are not approved "Parkland Infrastructure" for a community park. Any lot proposed to meet the "Additional Land" requirement of the DA should be labeled as only "Additional Land" or "Upland Park" with separately defined acreage from any open space or drainage lots.

Response: **Noted.**



Please contact me at 512-551-1839 if additional information is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "Jason Reece".

Jason Reece, P.E.
Project Manager



KHA #069254503

12/19/2022

David Peyton
 Travis County TNR
 Mailing Address: P.O. Box 1748; Austin, TX 78701-1748
 Physical Address: 700 Lavaca Street; Austin, TX 78701

Re: Project: APP-Sub 450
Shadowglen Ph 3 Sec 1 & 2

Dear David Peyton,

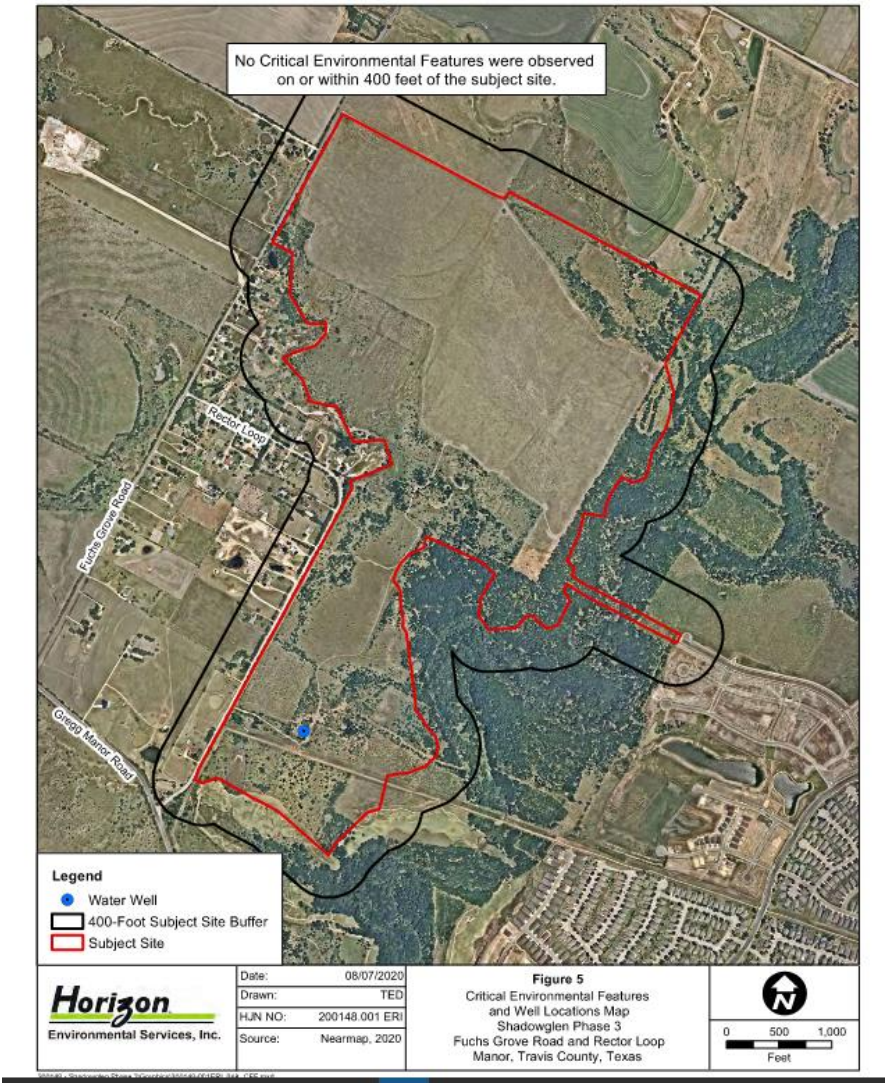
Please accept this Comment Response Letter in reply to the Traffic Engineering Division review, dated March 10th, 2022, regarding the above-referenced project. Original comments have been included below for reference. All Kimley-Horn's responses are listed in **Blue**

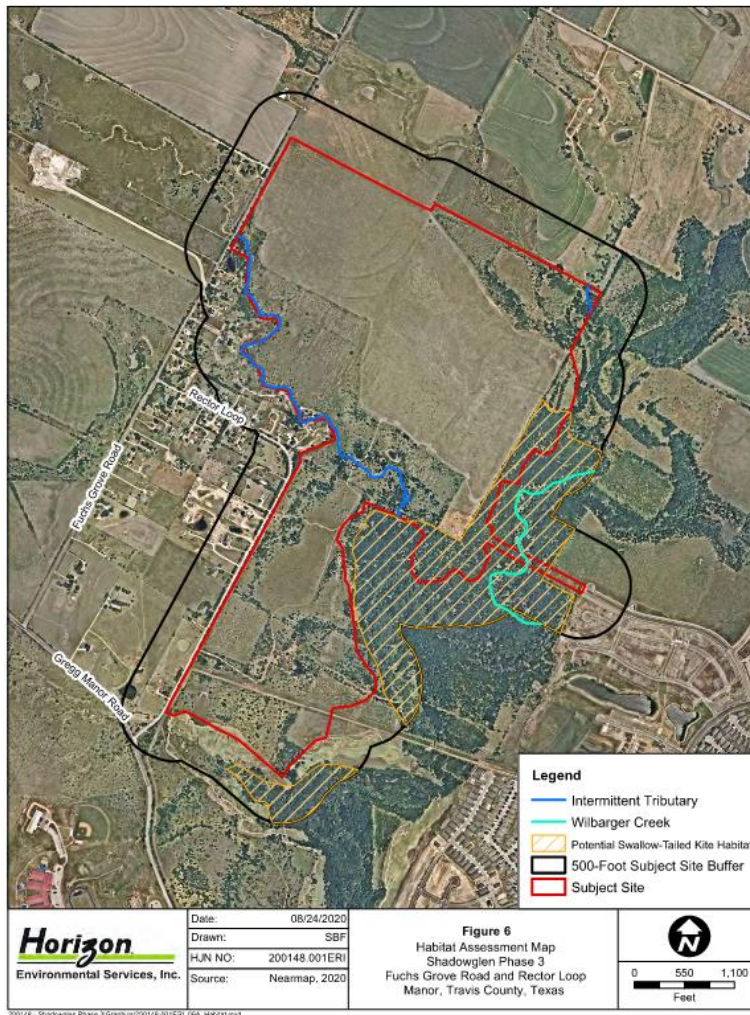
GENERAL

1. Add subdivision plat notes from 482.945.
Response: Acknowledged. Subdivision plat notes have been added to page 4 of the plat.
2. **Note:** If applicable, add a note when the preliminary plan associated with this project was approved.
Response: We are currently resubmitting for our preliminary plan for this project.

WATERWAY, CEF SETBACK AND TREE PRESERVATION

3. Provide a copy of the full environmental resource inventory more per the requirements found in 482.942.
Response: Acknowledged. A copy of the ERI has been attached with this submittal titled "Phase 3 ERI"
4. Any waterway and or critical environmental feature setback areas identified by the ERI must be shown as a protective, platted easement, and once the plat is approved by the County Executive, must be recorded by the owner in the Official Public Records of Travis County, Texas as stated in 482.914.
Response: Based on the ERI there are no CEFs or waterways within the property. See Figure 5 and 6 (sheet 17 and 18) of the ERI.

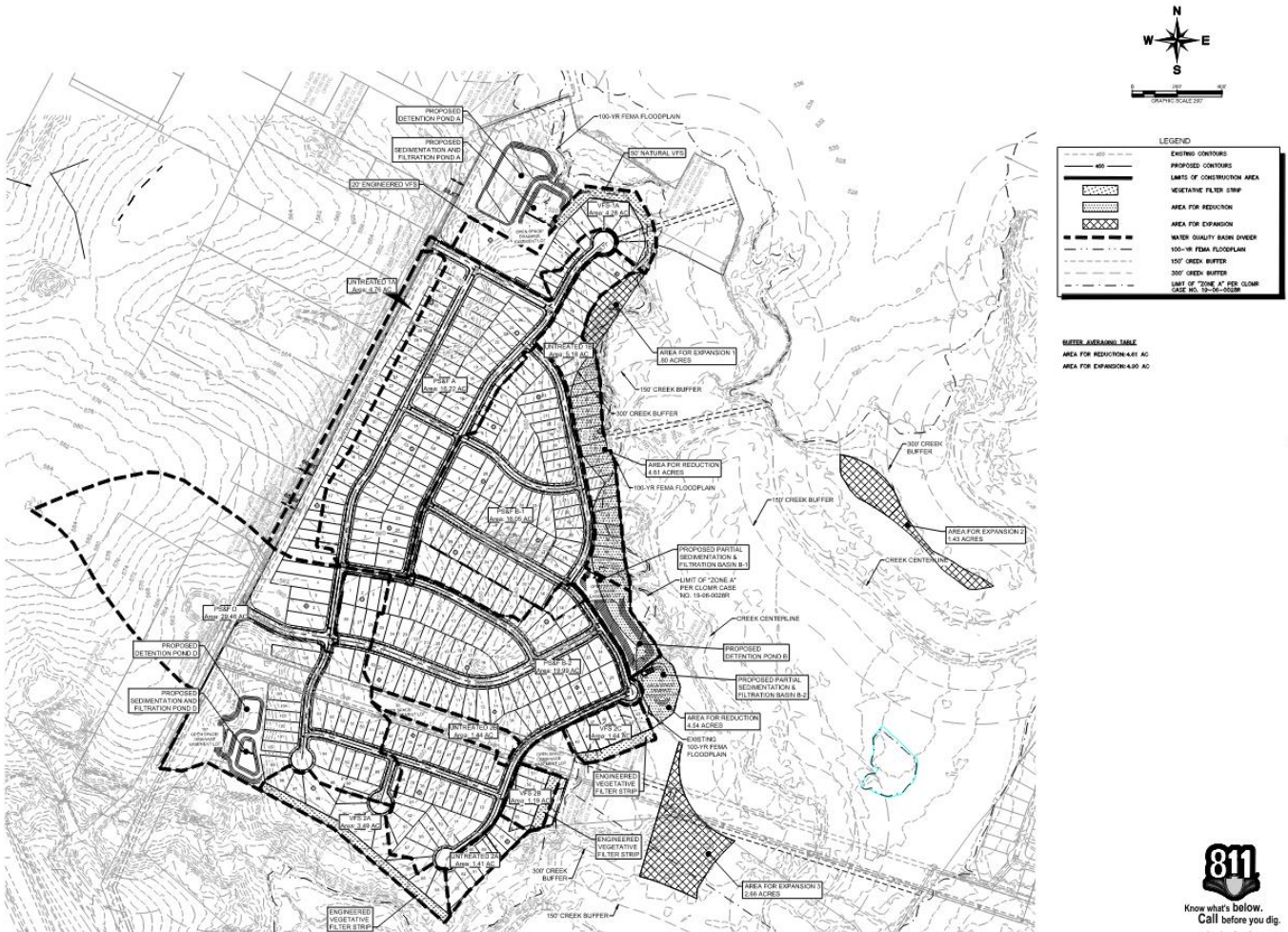




5. An exception request would need to be approved by the Division Director under 482.941.j.7. for the waterway buffer encroachments noted.

Please submit your request for approval.

Response: As discussed in our previous comment response a buffer averaging is proposed for the residential lots and Pond B located within the 300' setback per COA ECM 1.5.2.D. The 4.61ac area of reduction shown on Exhibit B will be averaged with three areas of expansion that account for a total of 4.9 acres. See exhibit G below and on sheet 12 of the prelim plan.



PERMANENT WATER QUALITY BMPs

6. Provide a general description of any future improvements (permanent water quality controls (PWQC) or storm water plan) that are planned for the site as described in Sec 482.931.b.

Response: The proposed improvements include storm network, a wet pond and 2 partial sedimentation/filtration ponds for water quality and detention as shown in the Preliminary Engineering report attached with this submittal.

7. NOTE

Clearly mark and label the location and dimensions of any easement for placement of a permanent water quality control.

A Protective Easement document has been must be submitted to postinspection@traviscountytx.gov for review and approval prior to notarizing it.

Once the easement document receives review approval, the document will be returned to be legally recorded with the County Clerk's Office. A digital recorded copy must be provided.

Response: Water Quality Easement Lots have been called out on plat and coordination has been started for easement documents. Recordation number will be provided when available.

8. Please add the following permanent water quality plat note:

As depicted on the plat, all water quality easement areas are subject to periodic inspection and monitoring by Travis County for the purpose of ensuring water quality compliance, as applicable, according to Sec. 16.014 of the Texas Water Code.

Response: Acknowledged. The note has been added to general notes as note #21.

****** PLEASE NOTE ******

1. *Additional ENV comments may be issued and based on the answers and information provided to items listed above.*
2. *Include a response to comments memo.*
3. *When resubmitting information on mypermitnow.org please include an email to david.peyton@traviscountytx.gov indicating that new information has been added to the application. **REEFERNCE YOUR APPLICATION #***

End of Report

Please contact me at (512) 418-1771 if additional information is required.



Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in black ink that reads "Jacob Kondo".

Jacob Kondo, P.E.
Project Manager

6. Please remove the duplicate numbering shown on the lots for clarity.
R1: Cleared.
7. Please show all line weights in the legend on all applicable sheets.
R1: Cleared.
8. Please provide approval from the Fire Marshal.
R1: Cleared.
9. Please ensure and confirm the preliminary plan complies with all requirements of 482.203.
R1: Cleared.

Transportation

10. Please show that you have the 50-foot minimum tangent between curves including on Tollington Street. Please show all tangent measurements where required for curves.
R1: Cleared.
11. Please provide information on what criteria are being met with the site distance exhibits in accordance with the COA TCM. Please ensure the building setback lines are clearly visible so we can ensure the sight distance easement is outside of the building envelope.
R1: Cleared.
12. Confirm all sight-distance easements have been shown on the preliminary plan.
R1: Cleared.
13. Ensure and confirm your vision clearance conforms to the 30 mile per hour design speed.
R1: Cleared.
14. Per 482.203(b)19, are there any proposed clustered mailboxes and roadway pullouts with the subdivision? Please indicate the location on the preliminary plan and subsequent final plat and construction plans.
R1: Cleared.
15. Please confirm the classification of roadway that is assumed for Rector Loop and the minimum right-of-way that will be available from the center line with this preliminary plan. This is to confirm that the boundary street ROW per Chapter 482.202(G).
R1: Cleared.
16. Please include the dotted line indicator for sidewalk construction along Rector Loop.
R1: Cleared.
17. Per Chapter 482.202(Q), please include sidewalks along both sides of the street for all streets located internally in the subdivision including along Rothwell Road. Please also make sure the dotted line for sidewalk locations is visible where the phasing line is shown.
R1: Cleared.
18. Please include a note indicating that a certification from a Registered Accessibility Specialist will be provided with the construction plans stating compliance with accessibility standards has been met per Chapter 482.202(Q).
R1: Cleared.
19. Ensure and confirm all cul-de-sacs and eyebrows comply with Chapter 482.202(J).

R1: Cleared.

Drainage

20. Confirm and ensure that all drainage analysis and calculations comply with Chapter 482 and the DCM.
R1: Cleared.
21. The drainage report shows two different CN values pages 3 and 4 for existing conditions. Please clarify or correct the discrepancy in the two CN values stated in the report for on-site drainage (page 3) and water quality detention (page 4).
R1: Cleared.
22. Please show the FEMA 500-year and Atlas-14 fully developed conditions and show that the greater extents of these two floodplains is contained within a drainage easement or confirm you will be constructing under Alt Fiscal and processing a LOMR before you can record the plat, per chapter 482.207(e). Please provide all associated analysis and calculations for drainage conditions.
R1: Cleared.
23. Please note a LOMR will need to be recorded prior to platting the lots containing floodplain that will significantly impact the buildable area.
R1: Cleared.
24. Please note that right-of-way cannot be located in a floodplain drainage easement unless the roadway is intentionally crossing the floodplain. A LOMR will be required prior to recordation of FEMA 500-year floodplain in the right-of-way.
R1: Cleared.
25. Please note the final plat cannot be recorded until all improvements for the subdivision have been removed from the floodplain including drainage pond improvements.
R1: Cleared.
26. Please confirm time of concentration calculations accurately reflect the conditions shown on sheet 6 and 7, in particular the segments that are shown as channel flow.
R1: Cleared for preliminary. Please note the following that will need to be addressed prior to construction plan approval: TC path for EX BP A and EX BP D have TC lines that cross into another drainage area. Please revise. Channel flow for EX DA C does not make sense for the drainage area shown. Please review and revise all TC paths and calculations.
27. Please include a time of concentration calculation for each drainage area shown. There are more drainage areas than time of concentration calculations in the tables on sheet 7, including but not limited to, BP A-1.
R1: Cleared for preliminary. Please note the following that will need to be addressed prior to construction plan approval: Please clarify if BP D is included in the analysis.
28. Please be sure all drainage areas are included in the analysis on sheet 7. There are more drainage areas on the plan than in the Pond Pack schematic for points of analysis.

R1: Cleared for preliminary. Please note the following that will need to be addressed prior to construction plan approval: There are several points of analysis that show increased flows in the post-developed condition where flows leave the site. Please revise.

29. Please be sure all drainage areas have flow arrows, time of concentration paths, and TC paths that are contained within the drainage area boundary. At a minimum, OS-BP A and BP A-1 have TC paths that appear to cross drainage boundaries.

R1: Cleared.

30. Please clarify the TC path for BP A-1 and why it starts in the middle of the drainage area and crosses drainage area boundaries.

R1: Cleared.

31. Please be sure all labels in the plan match the labels in the table. For example, BP A is shown in the table but is not shown in the plans on sheet 7.

R1: Cleared.

32. Ensure that all lots can provide driveways that allow for a minimum transition of 10 feet from the inlet. For example, Block F, Lot 26 appears to have an inlet in the middle of the lot. Please ensure the transition can be met or relocated the inlet. Please note the minimum inlet size is 10-feet.

R1: Cleared.

Advisory Comments

33. Please be advised every time a final plat is submitted a drainage report will need to demonstrate all proposed flows leaving the portion of the project area to be platted do not exceed the existing flows leaving the site.



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Monday, August 21, 2023

Alex Rubio
Kimley Horn
10814 Jollyville Road
Austin TX 78759
Alex.Rubio@Kimley-Horn.com

Permit Number 2018-P-1154-PP

Job Address: Shadowglen Phase 3 Section 1 & 2 Preliminary Plan, Manor 78653

Dear Alex Rubio,

The submittal of the revised Shadowglen Phase 3 Section 1 & 2 Preliminary Plan Site Plans submitted by Kimley Horn and received by our office on 7/31/2023, has been reviewed for compliance with the City of Manor Zoning Ordinance 185. The Plans appear to be in general compliance with City Ordinance requirements and we therefore take no exception to their approval as presented.

Please submit a hard copy of the cover sheet to Scott Dunlop at the City of Manor for signatures. A copy of the signed cover sheet will be uploaded under project files on the my permit now website.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads 'Pauline M. Gray'.

Pauline Gray, P.E.
Lead AES
GBA



8/30/2023

City of Manor Development Services

Notification for a Subdivision Preliminary Plat

Project Name: Shadowglen Phase 3 Section 1 & 2 Preliminary Plan

Case Number: 2018-P-1154-PP

Case Manager: Michael Burrell

Contact: mburrell@manortx.gov – 512-215-8158

The City of Manor Planning and Zoning Commission will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon on a Subdivision Preliminary Plat for Shadowglen located at the intersection of Rector Loop and Gregg Manor Rd., Manor, TX. The request will be posted on the agenda as follows:

Public Hearing: Conduct a public hearing on a Subdivision Preliminary Plat for Shadowglen, three-hundred and six (306) lots on 103.7 acres, more or less, and being located at 13301 E US Hwy 290, Manor, TX.

Applicant: Kimley Horn

Owner: SG Land Holdings, LLC

The Planning and Zoning Commission will meet at 6:30PM on September 13, 2023 at 105 East Eggleston Street in the City Hall Council Chambers.

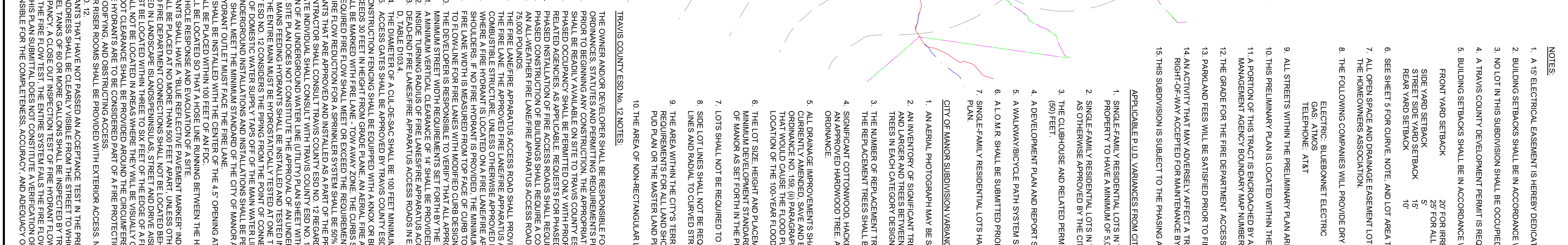
You are being notified because you own property within 300 feet of the property for which this Subdivision Preliminary Plat has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

2.672 ACRES
JASON H. WEISS
DOC# 2014289727
OPRTC

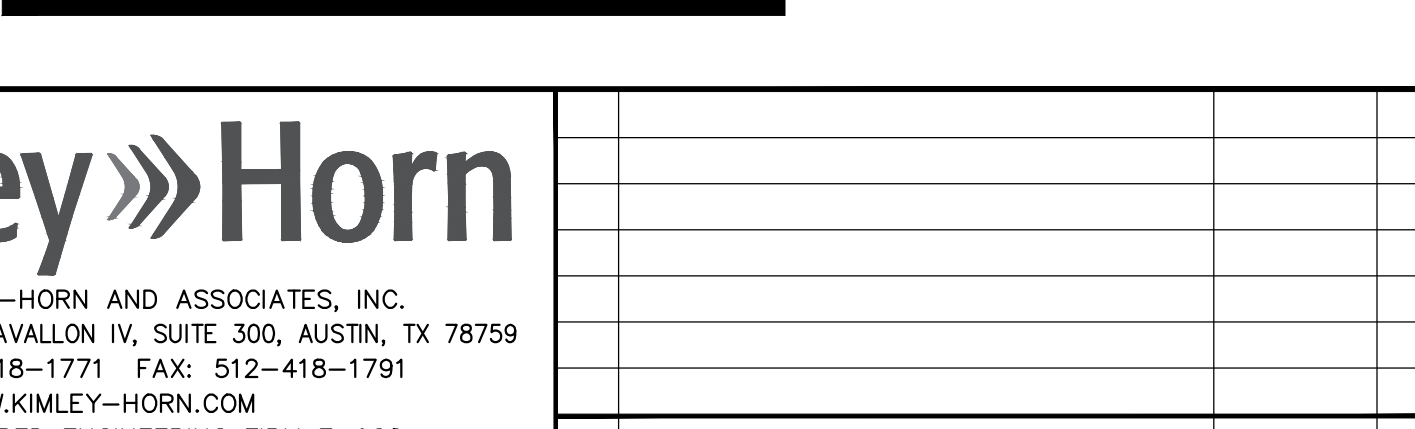
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ROBERTA ACRES
DOC# 2014289727
OPRTC

3.35 ACRES
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PARLO & MARIA G. FLORES
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OPRTC

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- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING FIRE ALARM
- EXISTING WATER MANHOLE
- LIMIT OF 100-YEAR FLOODPLAIN
- EXISTING 100-YEAR FEMA FLOODPLAIN



1. NO CUT OR FILL ON ANY LOT W/AN EXCEED EIGHT FEET, INCLUDING DRIVEWAYS, STRUCTURES FOOTPRINT, OR A PARKING AREA FOOTPRINT, IN ACCORDANCE WITH TRAVIS COUNTY CODE.
2. AS DIRECTED ON THE PLAN, THE SETBACK AREA IDENTIFIED FOR EACH WATERWAY PROJECT EXISTENCE THAT MUST REMAIN UNDEVELOPED AND ACTIVITIES SHALL BE LIMITED TO CONSTRUCTION, MAINTENANCE, REPAIR, REPLACEMENT, IMPROVEMENT, DEVELOPMENT, AND OTHER ALTERATIONS EXCEPT WHEN SPECIFICALLY APPROVED IN A TRAVIS COUNTY DEVELOPMENT PERMIT.
3. BEFORE BEGINNING CONSTRUCTION ACTIVITIES IN A SUBDIVISION OF THE OWNED OR PARTIALLY OWNED PROPERTY, THE TRAVIS COUNTY DEVELOPMENT PERMIT SHALL OBTAIN A TRAVIS COUNTY DEVELOPMENT PERMIT AND WHEN APPLICABLE, IMPLEMENT STORM WATER POLLUTION PREVENTION PLAN (SWP) THE SWP REQUIRES IMPLEMENTATION OF BEST MANAGEMENT PRACTICES (BMP) TO PREVENT OR MINIMIZE POLLUTION AND SEDIMENT CONTROL, AS WELL AS PROTECT OF STORM WATER RUNOFF QUALITY IN ACCORDANCE WITH THE TRAVIS COUNTY CODE.
4. THE OWNER IS RESPONSIBLE FOR MAINTAINING AND OPERATING ALL REMAINDING QUALITY CONTROL IN COMPLIANCE WITH ALL APPLICABLE STANDARDS AND RECORD OF THE TRAVIS COUNTY CODE.
5. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENT OF THE TRAVIS COUNTY CODE.
6. STONE EASEMENT BEHIND LOT WILL BE REQUIRED FOR FILL/CUT SLOPES SUPPORTING ADJACENT PROPERTY.
7. ADJACENT PROPERTY SHALL BE PROTECTED BY A MINIMUM OF 10' WIDE UNPAVED ROW/DRIVEWAY WHICH EXTENDS BEYOND THE RIGHT OF WAY.
8. WITHIN A 30' LINE EASEMENT ANY OBSTRUCTION OF SIGHT LINE BY VEGETATION SHALL BE MAINTAINED AND REMOVED AS NECESSARY TO MAINTAIN CLEARANCE OF 10' TO 12' TO THE HORIZONTAL. A PERMANENTLY MAINTAINED 10' TO 12' CLEARANCE OF THE HORIZONTAL TO THE HORIZONTAL OF THE ADJACENT PROPERTY SHALL BE MAINTAINED AND REMOVED AS NECESSARY TO MAINTAIN CLEARANCE OF 10' TO 12' TO THE HORIZONTAL OF THE ADJACENT PROPERTY. THE PROPERTY OWNER SHALL MAINTAIN AN UNOBSTRUCTED VIEW CORRIDOR WITHIN THE BOUNDS OF SUCH AREA ALL TIMES.
9. A SETBACK SHALL BE PROVIDED FOR ALL RETENTION, RETENTION, AND WATER QUALITY FACILITIES FOR SINGLE-FAMILY OR DURED RESIDENTIAL DEVELOPMENT. NO LOT SHALL BE LOCATED WITHIN 5' OF A RESIDENTIAL STRUCTURE.
10. PUBLIC SEWERAGE SHALL BE LOCATED TO THE REAR OF THE LOT.
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 PROPERTY SHALL BE MAINTAINED BY THE OWNER AND/OR
 SHALL PROVIDE FOR ACCESS TO THE DRAINAGE
 PROHIBIT ACCESS BY TRAVIS COUNTY FOR
 EISENMENT
 TO THE CITY OF MANOR AND TRAVIS COUNTY FOR REVIEW
 RINDOFF SHALL BE HELD TO THE AMOUNT EXISTING AT
 OTHER APPROVED METHODS.
- BENCHMARKS**
- OVERALL PRELIMINARY
 PLAN

- [illegible]

Juan Landeros
13700 Rector Loop
Manor, TX 78653

Conrad Gonzales

PO Box 35
Manor, TX 78653

Michael Hawkins

13606 RECTOR LOOP
Manor, TX 78653

Antonio Angel & Maria Hernandez

13913 RECTOR LOOP
Manor, TX 78653

Pablo & Maria Flores

13909 RECTOR LOOP
Manor, TX 78653

Shadowglen Golf LP

12801 Lexington St
Manor, TX 78653

Francisco Reyes Ramirez Et Al

11109 Liberty Farms
Austin, TX 78754

Vidal Sandoval

13905 RECTOR LOOP
Manor, TX 78653

Ignacio Grimaldo

11800 Bastrop St
Manor, TX 78653

Harry & Sammy Garza

13514 RECTOR LOOP
Manor, TX 78653

Jason Weiss

13918 Rector Loop
Manor, TX 78653

Theresa Zezulka

13245 Gregg Manor Rd
Manor, TX 78653

Joseph & Carol Metcalfe

13550 Carpenter Lane
Manchaca, TX 78652

Aus-Tex Parts Service Ltd

Javier Aguillon & Monges Blanc
13417 RECTOR LOOP
Manor, TX 78653

Jorge, Ciro, & Margarito Utrera

13718 RECTOR LOOP
Manor, TX 78653

Jerry & Marilyn Moellenberg

PO Box 156
Manor, TX 78653

Cottonwood Holdings, Ltd c/o Dwyer

Realty Co

9900 US Hwy 290 E
Manor, TX 78653



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023

PREPARED BY: Scott Dunlop, Director

DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Conduct a public hearing on a Short Form Final Plat for the Light Grove Subdivision located at 414 & 416 W. Parsons Street, Manor, TX.

Applicant: Trine Engineering, PLLC

Owner: Al Noor MCC

BACKGROUND/SUMMARY:

This plat has been approved by our engineers. It is combining two lots into one. A religious assembly use has filed a site development plan to construct on this lot.

LEGAL REVIEW: *Not Applicable*

FISCAL IMPACT: *NO*

PRESENTATION: *NO*

ATTACHMENTS: *YES*

- Plat
- Engineer Comments
- Conformance Letter
- Notice and Mailing Labels

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission conduct a public hearing on a Short Form Final Plat for the Light Grove Subdivision located at 414 & 416 W. Parsons Street, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**

August 2, 2023 — 09:03 Dwg Name: P:\617032 Trine Engineering PLLC\003 416 W Parsons St. Manor, Tx 78655\dwg\Surv\Final Drawings\ Plat of Subdivision\032003-FinalPlat.dwg Updated By: Marmstrong

STATE OF TEXAS §
COUNTY OF TRAVIS §

KNOW ALL MEN BY THESE PRESENTS:

THAT AL NOOR MUSLIM COMMUNITY CENTER OF MANOR, A TEXAS NON-PROFIT CORPORATION, BEING THE OWNERS OF 1.004 ACRES BEING THAT CERTAIN 0.341 ACRE TRACT DESCRIBED IN DEED OF RECORD IN DOCUMENT NO. 2022128812, AND THAT CERTAIN 0.671 ACRE TRACT DESCRIBED IN DEED OF RECORD IN DOCUMENT NO. 2016124868, BOTH OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, DO HEREBY SUBDIVIDE THE SAID 1.004 ACRES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, PURSUANT TO CHAPTER 212 OF THE TEXAS LOCAL GOVERNMENT CODE TO BE KNOWN AS:

LIGHT GROVE

AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

AL NOOR MUSLIM COMMUNITY CENTER OF MANOR

BY: INAMULLA M IYOOB DATE:
900 LOW BRIM COVE
PFLUGERVILLE, TEXAS 78660

STATE OF TEXAS §
COUNTY OF TRAVIS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED INAMULLA M IYOOB, KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THE CAPACITY THEREIN STATED FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, GIVEN

UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____,

20____, AD.

NOTARY PUBLIC FOR THE STATE OF TEXAS

(NAME: _____)

MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATION:

THE STATE OF TEXAS §
COUNTY OF TRAVIS §

THAT I, ABRAM C. DASHNER, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH VOLUME IV, TITLE 30 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE

ABRAM C. DASHNER
RPLS NO. 5901
6448 E HWY 290
SUITE B-105
AUSTIN, TEXAS 78723

THIS SUBDIVISION PLAT IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS

DATE _____ DAY OF _____, 20____

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY

OF MANOR, TEXAS, ON THIS THE _____ DAY OF _____, 20____.

APPROVED: _____ ATTEST: _____

LAKESHA SMALL, CHAIRPERSON

LLUVIA T. ALMARAZ, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, ON

THIS THE _____ DAY OF _____, 20____.

APPROVED: _____ ATTEST: _____

HONORABLE DR. CHRISTOPHER HARVEY, MAYOR
OF THE CITY OF MANOR, TEXAS

LLUVIA T. ALMARAZ, CITY SECRETARY

OWNER: AL NOOR MUSLIM COMMUNITY CENTER OF MANOR
900 LOW BRIM COVE
PFLUGERVILLE, TEXAS 78660

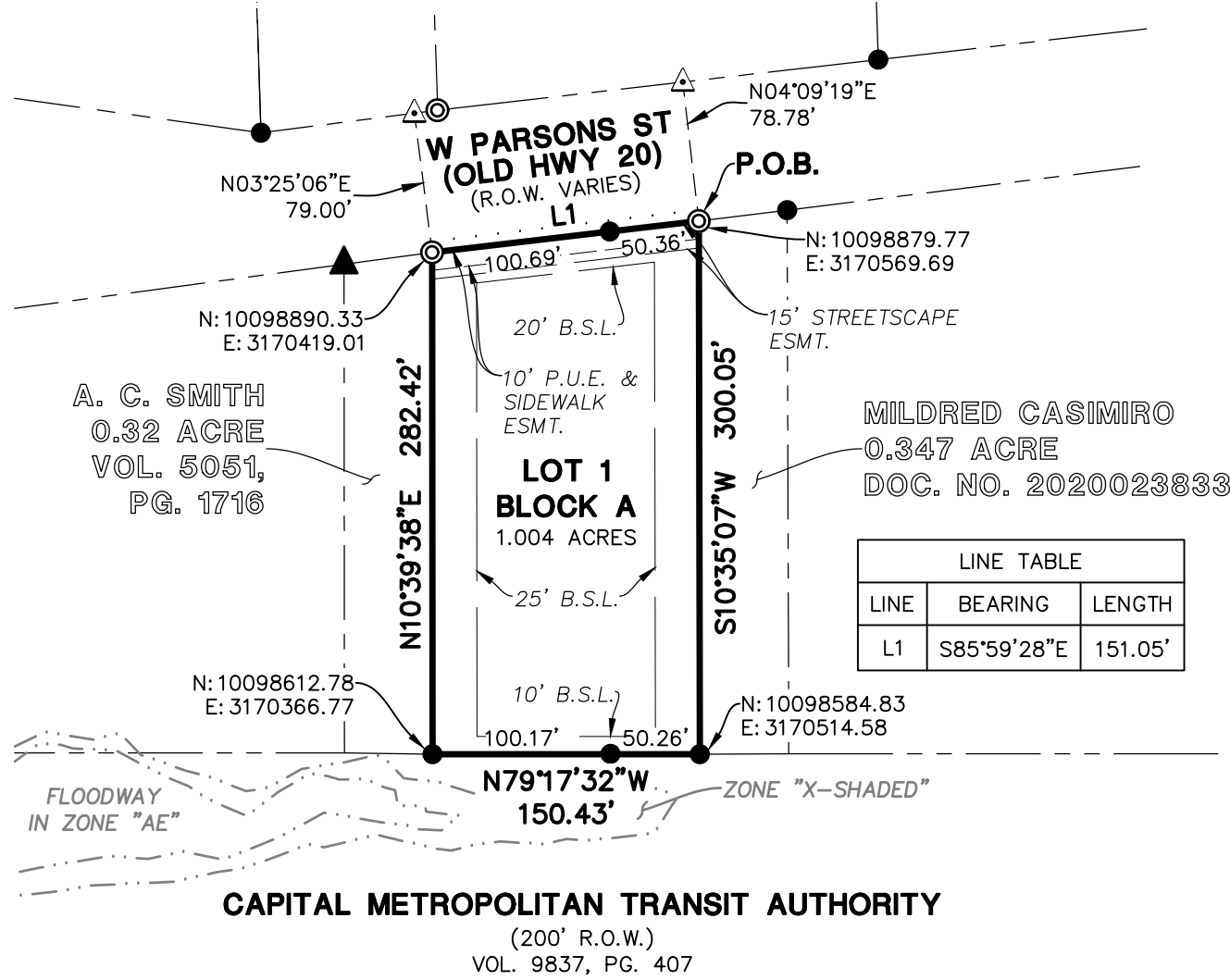
ACREAGE: 1.004
PATENT SURVEY: JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546
NUMBER OF BLOCKS: 1
LINEAR FEET OF NEW STREETS: 0
ACREAGE BY LOT TYPE: DEVELOPMENT: 1.004
NEW R.O.W.: N/A
NUMBER OF LOTS BY TYPE: DEVELOPMENT: 1

SURVEYOR: ABRAM DASHNER, RPLS
MANHARD CONSULTING, LTD.
6448 E. HWY 290, STE. B-105
AUSTIN, TX 78723
(512) 244-3395

ENGINEER: JAVIER BARAJAS, P.E.
TRINE ENGINEERING, PLLC
5307 W. HIGHWAY 290, BLDG. BN
SUITE 6
AUSTIN, TEXAS 78735
(512) 913-5080

FINAL PLAT
OF
LIGHT GROVE

1.004 ACRES OUT OF THE JAMES MANOR SURVEY NO. 40,
ABSTRACT NO. 546, TRAVIS COUNTY, TEXAS



GENERAL NOTES

1) THE BEARINGS, DISTANCES, AREAS AND COORDINATES SHOWN HEREON ARE BASED ON TEXAS COORDINATE SYSTEM GRID, CENTRAL ZONE (FIPS 4203) (NAD'83), THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.

2) ALL LOT CORNERS OF THIS SUBDIVISION SHALL BE MONUMENTED WITH A 1/2 -INCH IRON ROD WITH A BLUE PLASTIC CAP STAMPED "MANHARD CONSULTING" PRIOR TO ANY/ALL LOT SALES, UNLESS OTHERWISE NOTED.

3) THE PROPERTY OWNERS OF THE LOTS ON WHICH THE WASTEWATER EASEMENTS ARE LOCATED AS SHOWN ON ON THIS PLAT SHALL PROVIDE ACCESS TO THE CITY OF MANOR IN ORDER FOR THE CITY OF MANOR TO INSPECT AND MAINTAIN THE UNDERGROUND FACILITIES LOCATED WITHIN ANY OF SUCH EASEMENTS.

4) A 10' PUBLIC UTILITY AND SIDEWALK EASEMENT IS HEREBY DEDICATED ALONG AND ADJACENT TO ALL STREET RIGHTS OF WAY.

5) PUBLIC SIDEWALKS BUILT TO CITY OF MANOR STANDARDS, ARE REQUIRED ALONG ALL STREETS WITHIN THIS SUBDIVISION, THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE ADJOINING LOT BEING OCCUPIED, FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE COVERING BODY OR UTILITY COMPANY.

6) DRIVEWAY AND DRAINAGE CONSTRUCTION STANDARDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE CITY OF MANOR STANDARDS UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE CITY OF MANOR.

7) THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF MANOR.

8) NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTION IS MADE TO THE CITY OF MANOR WATER AND WASTEWATER SYSTEM.

9) NO BUILDINGS SHALL BE CONSTRUCTED OF MAINTAINED WITHIN THE WASTEWATER EASEMENT OR THE UNDERGROUND STORM WATER FACILITIES EASEMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF MANOR, THE CITY OF MANOR IS NOT RESPONSIBLE FOR THE DAMAGE TO OR REPLACING ANY PORTIONS OF ANY FENCING, LANDSCAPING OR OTHER IMPROVEMENTS CONSTRUCTED WITHIN ANY OF SUCH THREE EASEMENTS WHICH WERE NOT APPROVED BY THE CITY OF MANOR BEFORE THEIR CONSTRUCTION DUE TO THE NECESSARY AND CUSTOMARY WORK BY THE CITY OF MANOR IN REPAIRING, MAINTAINING, OR REPLACING THE UNDERGROUND PIPES AND RELATED FACILITIES WITHIN SUCH EASEMENTS.

10) ALL STREETS, DRAINAGE IMPROVEMENTS, SIDEWALKS, WATER AND WASTEWATER LINES, AND EROSIONS CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF MANOR STANDARDS.

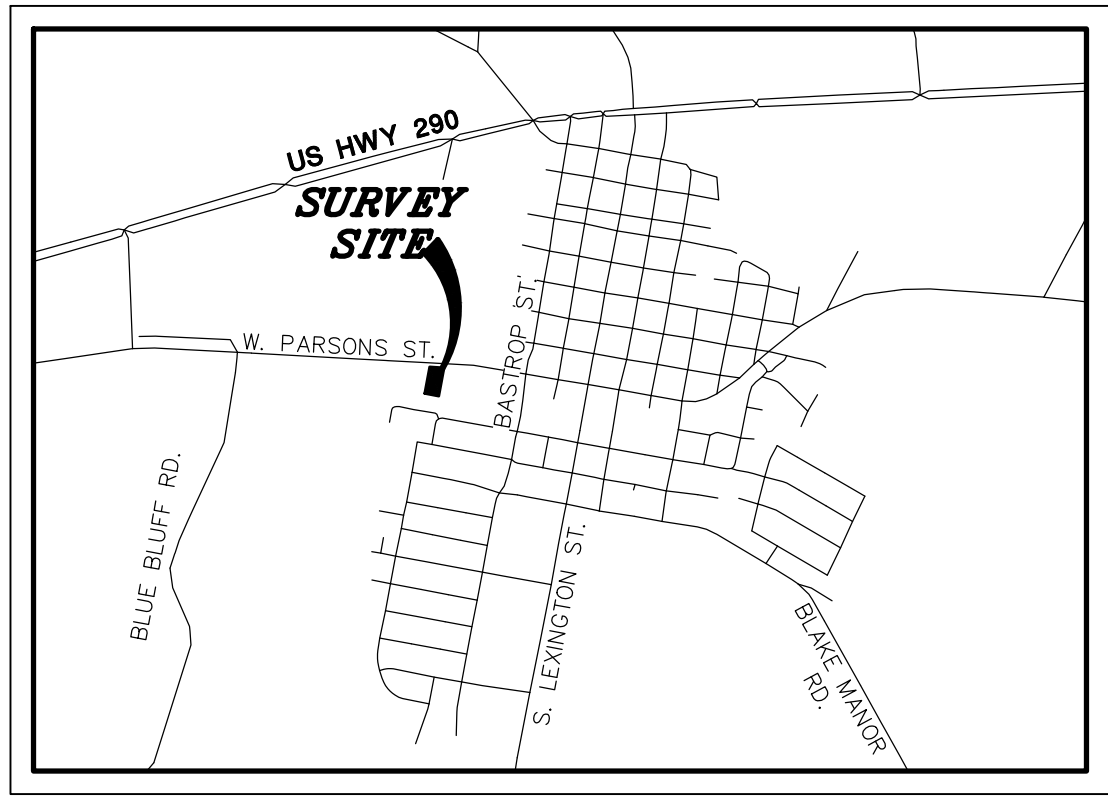
11) EROSION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON INDIVIDUAL LOTS, INCLUDING DETACHED SINGLE FAMILY IN ACCORDANCE WITH SECTION 1.4.0 OF THE CITY OF AUSTIN ENVIRONMENTAL CONTROL MANUAL.

12) PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF MANOR.

13) THE SUBDIVISION OWNER/DEVELOPER AS IDENTIFIED ON THIS PLAN IS RESPONSIBLE FOR POSTING FISCAL SURVEY FOR THE CONSTRUCTION OF ALL SIDEWALKS AS SHOWN OR LISTED ON THE PLAN, WHETHER INSTALLED BY THE OWNER/DEVELOPER OR INDIVIDUAL HOMEBUILDERS. IT IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE ALL SIDEWALKS ARE ADA COMPLIANT UNLESS A WAIVER HAS BEEN GRANTED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION.

14) THE LOTS IN THIS SUBDIVISION ARE INTENDED TO BE USED FOR COMMERCIAL PURPOSES.

15) PERFORMANCE AND MAINTENANCE GUARANTEES AS REQUIRED BY THE CITY.



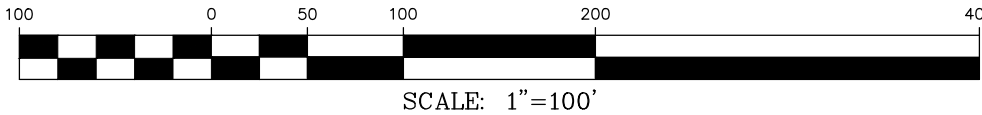
LOCATION MAP

1"=2000'

LEGEND

- = FOUND 1/2-INCH IRON ROD
- ▲ = FOUND NAIL
- ⊙ = FOUND IRON PIPE
- △ = CALCULATED POINT
- = PROPERTY LINE
- - - = EASEMENT LINE
- . - = ADJOINING PROPERTY LINE
- ... = PROPOSED SIDEWALK
- - - - - = FLOOD PLAIN LIMIT LINE
- B.S.L. = BUILDING SETBACK LINE
- P.O.B. = POINT OF BEGINNING

GRAPHIC SCALE



ENGINEER'S CERTIFICATION:

I, JAVIER BARAJAS, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS, TO PRACTICE THE PROFESSION OF ENGINEERING, AND DO HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF THE CITY OF MANOR, TX SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

THE TRACT IS WITHIN ZONE X AS DEPICTED ON FEMA FLOOD INSURANCE RATE MAP NO. 48453C0480J WITH EFFECTIVE DATE AUGUST 18, 2014.

JAVIER BARAJAS, P.E. DATE:
REGISTERED PROFESSIONAL ENGINEER NO. 99998
5307 W. HIGHWAY 290, BLDG. B SUITE 6
AUSTIN, TEXAS 78735
(512) 913-5080

THE STATE OF TEXAS
COUNTY OF TRAVIS

I, DYANA LIMON-MERCADO, CLERK OF TRAVIS COUNTY, TEXAS DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____, 20____, AD. AT _____ O'CLOCK ____M., AND DULY RECORDED ON THE _____ DAY OF _____, 20____ AD. AT _____O'CLOCK ____M., PLAT RECORDS OF SAID COUNTY AND STATE IN DOCUMENT NO. _____ OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS _____, DAY OF _____, 20____ AD,

DYANA LIMON-MERCADO, COUNTY CLERK, TRAVIS COUNTY, TEXAS

BY _____
DEPUTY

1.004 ACRES - JAMES MANOR SURVEY NO. 40, A-546

414 & 416 W PARSONS ST, MANOR, TEXAS 78653

FINAL PLAT

REVISED: 08/02/23
PROJ. MGR.: AD
DRAWN BY: TRS
SURVEY DATE: 12/15/22
ISSUE DATE: 12/20/22
SCALE: 1"=100'

SHEET

1 OF 1



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Friday, June 23, 2023

Javier Barajas, P.E.
Trine Engineering, PLLC
5307 W Hwy. 290, Ste 6
Austin TX 78735
jbarajas@trineengineering.com

Permit Number 2023-P-1544-SF
Job Address: 414 & 416 W Parsons St., Manor, TX, TX. 78653

Dear Javier Barajas, P.E.,

The first submittal of the Light Grove Short Form Final Plat (*Short Form Final Plat*) submitted by Trine Engineering, PLLC and received on August 03, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. ~~Is ROW being dedicated along W Parsons St? If so, provide the ROW width instead of ROW varies.~~
- ii. ~~Using the state plane coordinate system, provide X and Y coordinates for four (4) property corners.~~
- iii. ~~Provide a copy of the deed.~~
- iv. ~~Add the following note under general notes "Performance and maintenance guarantees as required by the City."~~
- v. ~~The current City of Manor Chairperson is Lakesha Small. The current Mayor is Dr. Christopher Harvey.~~
- vi. **The current Travis County clerk is Dyana Limon-Mercado. The clerk's name was only updated in one of the two locations.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

6/23/2023 9:11:01 AM
Light Grove Short Form Final Plat
2023-P-1544-SF
Page 2

Item 5.

A handwritten signature in black ink, appearing to read "Tyler Shows", followed by a long horizontal flourish.

Tyler Shows
Staff Engineer
GBA



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Dear reviewer, below please find responses to your plat comments in red. Thank you.

Date: Friday, June 23, 2023

Javier Barajas, P.E.
Trine Engineering, PLLC
5307 W Hwy. 290, Ste 6
Austin TX 78735
jbarajas@trineengineering.com

Permit Number 2023-P-1544-SF
Job Address: 414 & 416 W Parsons St., Manor, TX, TX. 78653

Dear Javier Barajas, P.E.,

The first submittal of the Light Grove Short Form Final Plat (*Short Form Final Plat*) submitted by Trine Engineering, PLLC and received on May 24, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. Is ROW being dedicated along W Parsons St? If so, provide the ROW width instead of ROW varies.
RESPONSE: We are not intending to dedicate ROW unless the city requires it. Ties have been added to show the width. The street is classified per city as an Urban Main Street.
- ii. Using the state plane coordinate system, provide X and Y coordinates for four (4) property corners.
RESPONSE: X and Y coordinates have been included as indicated.
- iii. Provide a copy of the deed.
RESPONSE: Attached are unofficial copies of the deeds downloaded from the County Clerk's website.
- iv. Add the following note under general notes "Performance and maintenance guarantees as required by the City."
RESPONSE: The note has been added as Note #15.
- v. The current City of Manor Chairperson is Lakesha Small. The current Mayor is Dr. Christopher Harvey.
RESPONSE: The City of Manor Chairperson and Mayor have been corrected as indicated.
- vi. The current Travis County clerk is Dyana Limon-Mercado.
RESPONSE: The current Travis Clerk has been included as indicated.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Tuesday, August 1, 2023

Javier Barajas, P.E.
Trine Engineering, PLLC
5307 W Hwy. 290, Ste 6
Austin TX 78735
jbarajas@trineengineering.com

Permit Number 2023-P-1544-SF
Job Address: 414 & 416 W Parsons St., Manor, TX 78653

Dear Javier Barajas, P.E.,

The subsequent submittal of the Light Grove Short Form Final Plat submitted by Trine Engineering, PLLC and received on August 03, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

Engineer Review

The following comments have been provided by Tyler Shows. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. ~~Is ROW being dedicated along W Parsons St? If so, provide the ROW width instead of ROW varies.~~
- ii. ~~Using the state plane coordinate system, provide X and Y coordinates for four (4) property corners.~~
- iii. ~~Provide a copy of the deed.~~
- iv. ~~Add the following note under general notes "Performance and maintenance guarantees as required by the City."~~
- v. ~~The current City of Manor Chairperson is Lakesha Small. The current Mayor is Dr. Christopher Harvey.~~
- vi. **The current Travis County clerk is Dyana Limon-Mercado. The clerk's name was only updated in one of the two locations.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

Pauline Gray, P.E.
Lead AES
GBA

Dear reviewer, below please find the response to your comment in red.

Item 5.



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Tuesday, August 1, 2023

Javier Barajas, P.E.
Trine Engineering, PLLC
5307 W Hwy. 290, Ste 6
Austin TX 78735
jbarajas@trineengineering.com

Permit Number 2023-P-1544-SF
Job Address: 414 & 416 W Parsons St., Manor, TX 78653

Dear Javier Barajas, P.E.,

The subsequent submittal of the Light Grove Short Form Final Plat submitted by Trine Engineering, PLLC and received on July 07, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

Engineer Review

The following comments have been provided by Tyler Shows. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. ~~Is ROW being dedicated along W Parsons St? If so, provide the ROW width instead of ROW varies.~~
- ii. ~~Using the state plane coordinate system, provide X and Y coordinates for four (4) property corners.~~
- iii. ~~Provide a copy of the deed.~~
- iv. ~~Add the following note under general notes "Performance and maintenance guarantees as required by the City."~~
- v. ~~The current City of Manor Chairperson is Lakesha Small. The current Mayor is Dr. Christopher Harvey.~~
- vi. **The current Travis County clerk is Dyana Limon-Mercado. The clerk's name was only updated in one of the two locations. RESPONSE: The correction has been made, thanks.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

Pauline Gray, P.E.
Lead AES
GBA



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Monday, August 7, 2023

Javier Barajas, P.E.
Trine Engineering, PLLC
5307 W Hwy. 290, Ste 6
Austin TX 78735
jbarajas@trineengineering.com

Permit Number 2023-P-1544-SF
Job Address: 414 & 416 W Parsons St., Manor, TX 78653

Dear Javier Barajas, P.E.,

We have conducted a review of the final plat for the above-referenced project, submitted by Javier Barajas, P.E. and received by our office on August 03, 2023, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads 'Pauline M. Gray'.

Pauline Gray, P.E.
Lead AES
GBA



8/30/2023

City of Manor Development Services

Notification for a Subdivision Short Form Final Plat

Project Name: Light Grove Short Form Final Plat
 Case Number: 2023-P-1544-SF
 Case Manager: Michael Burrell
 Contact: mburrell@manortx.gov – 512-215-8158

The City of Manor Planning and Zoning Commission will be conducting a regularly scheduled meeting for the purpose of considering and acting upon on a Subdivision Short Form Final Plat, one (1) lot on 1.004 acres, more or less, and being located at 414 & 416 W. Parsons St., Manor, TX. The request will be posted on the agenda as follows:

Public Hearing: Conduct a public hearing on a Subdivision Short Form Final Plat located at 414 & 416 W. Parsons St., Manor, TX.

Applicant: Trine Engineering, PLLC
Owner: Al Noor MCC

The Planning and Zoning Commission will meet at 6:30PM on September 13, 2023 at 105 East Eggleston Street in the City Hall Council Chambers.

You are being notified because you own property within 300 feet of the property for which this Subdivision Short Form Final Plat has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

Manuel Torres & J Miramontes
19337 W T Gallaway Street
Manor, TX 78653-3991

Jordan Jimenez
12206 Abernathy ST
Manor, TX 78653-5373

Jones Samuel Dell Jr. & Rachel R Jones
P.O. Box 416
Manor, TX 78653-0416

Arthur & Nydia Y Jimenez
11301 Carrie Manor ST
Manor, TX 78653-5369

Felipe H Carbajol & Isabel Ortuno
P.O. Box 214
manor, TX 78653-0214

Lions Club of Manor, Inc.
P.O. Box 68
Manor, TX 78653-0068

Manor I.S.D.
P.O. Box 359
Manor, TX 78653-0359

Julie Li
24431 Cavendish Ave W
Novi, MI, 48375-2358

Mildred Casimiro
412 W Parsons Street
Manor, TX 78653-4704

Burns Memorial Temple
P.O. Box 1061
Manor, TX 78653-1061

Chioma Okoro
3101 E 12th ST, Unit C4
Austin, TX 78702-2526

Joetta Wilson
411 W Parsons Street
Manor, TX 78653-4719

Chioma Okoro
P.O. Box 964
Del Valle, TX 78617

Robert Hein
409C W Parsons ST
Manor, TX 78653-4719

Audrey B Smith
10304 Ivy Jade
Schertz, TX 78154-6255

Finish Milligan
3811 Liberty Square Trail
Fresno, TX 77545-8817

Travis County Trustee
517 Marcia PL
New Braunfels, TX 78130

Manor MF, LLC
17B First Field RD, STE 203
Gaithersburg, MD 20878

Travis County
ATTN Roger A El Khoury
P.O. Box 1748
Austin, TX 78767-1748



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023
PREPARED BY: Scott Dunlop, Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action to approve the minutes of August 9, 2023, P&Z Commission Regular Meeting.

BACKGROUND/SUMMARY:

LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- August 9, 2023, P&Z Commission Regular Session Minutes

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve the minutes of the August 9, 2023, P&Z Commission Regular Meeting.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**



**PLANNING AND ZONING COMMISSION
REGULAR SESSION MINUTES
AUGUST 09, 2023**

*This meeting was live-streamed on Manor's YouTube Channel
You can access the meeting at <https://www.youtube.com/@cityofmanorsocial/streams>*

PRESENT:

COMMISSIONERS:

LaKesha Small, Chair Place 7
Felix Paiz, Vice Chair, Place 4
Julie Leonard, Chair, Place 1
Anthony Butler, Place 2
Cresandra Hardeman, Place 3
Celestine Sermo, Place 5
Cecil Meyer, Place 6

CITY STAFF:

Michael Burrell, Planning Coordinator
Audrey Guthrie, City Attorney
Pauline Gray, City Engineer
Scott Jones, Director of Economic Development
Sonia Wallace, City Council
Mandy Miller, Development Services Supervisor
Michael Pachnick, IT Technician

REGULAR SESSION: 6:30 P.M.

CALL TO ORDER AND ANNOUNCE A QUORUM IS PRESENT

With a quorum of the Planning and Zoning (P&Z) Commission present, the Regular Session of the Manor P&Z Commission was called to order by Chair Small at 6:32 p.m. on Wednesday, August 9, 2023, in the Council Chambers of the Manor City Hall, 105 E. Eggleston St., Manor, Texas.

REGULAR AGENDA

- 21. Consideration, discussion, and possible action on Rezoning Application for five (5) lots on .23 acres, more or less, out of the South 40 ft of Lots 6-10, Block 1, AE Lanes Addition, and being located at 707 Bastrop St, Manor, TX from Single-Family Suburban (SF-1) to Two-Family Residential (TF). Applicant: Saavy ATX Realty LLC. Owner: Wenkai Chen.**

City Staff recommended that the P&Z Commission pull from consideration the Rezoning Application for five (5) lots on .23 acres, more or less, out of the South 40 ft of Lots 6-10, Block 1, AE Lanes Addition, and being located at 707 Bastrop St, Manor, TX from Single-Family Suburban (SF-1) to Two-Family Residential (TF).

Chair Small removed this item from the agenda. She reminded the Commissioners that this item was postponed multiple times. She informed the Commissioners that the applicant had submitted a new application therefore this item would not need to be reviewed.

PUBLIC COMMENTS

Robert Battaile, 502 E. Eggleston St., Manor, Texas, submitted a speaker card to speak during public comment regarding his concerns. He invited everyone to visit his Facebook page *Manor Community Coalition*. He spoke regarding Manor Code of Ordinance Section 1.05.035, Section 1.05.039(4), and the Manor Comprehensive Plan. Mr. Battaile spoke on Regular Agenda #14 – Okra Tract. He expressed his displeasure with the use of the words Open Space, Park Land, and Parkland in the Preliminary Plan for this development.

PUBLIC HEARING

- 1. Conduct a public hearing on a Rezoning Application for five (5) lots on .23 acres, more or less, out of the South 40 ft of Lots 6-10, Block 1, AE Lanes Addition, and being located at 707 Bastrop St, Manor, TX from Single-Family Suburban (SF-1) to Two-Family Residential (TF). Applicant: Saavy ATX Realty LLC. Owner: Wenkai Chen.**

City Staff recommended that the P&Z Commission conduct the public hearing on a Rezoning Application for five (5) lots on .23 acres, more or less, out of the South 40 ft of Lots 6-10, Block 1, AE Lanes Addition, and being located at 707 Bastrop St, Manor, TX from Single-Family Suburban (SF-1) to Two-Family Residential (TF).

Chair Small opened the public hearing.

Robert Battaile, 502 E. Eggleston St., Manor, Texas, submitted a speaker card to speak in opposition of this item. He stated that he would like to see a *Tiny Home* Community in this space to keep the development more in line with a Historical District appearance.

Katherine Chen with Savvy Realty, 100 Congress Ave., Suite 2000, Austin, Texas, submitted a speaker card to speak in support of this item. Ms. Chen informed the Commission of the history of these lots. She explained the small size of the lots and the plans for building only 2 homes on the 5 lots. She answered questions regarding the differences between the original renderings for the houses versus the ones she is currently presenting. She addressed concerns regarding the visibility of the homes, and the accessibility of houses. She stated that use of the alley would play a role in the accessibility. Ms. Chen demonstrated on the maps how this would occur. She did confirm that fire has not seen or approved these plans. Planning Coordinator Burrell informed the Commissioners on when the Fire Department would review the plans.

Ms. Chen answered questions regarding pricing. She confirmed that price points have not been established yet. She stated the average cost for a 1200 square foot house in this area of Manor would sell for about \$400,000.00. She reiterated that she was trying to build more affordable housing with the focus on housing with more square footage for about the same price as the 1200 sq ft houses.

MOTION: Upon a motion made by Commissioner Leonard and seconded by Vice Chair Paiz to close the public hearing.

There was no further discussion.

Motion to Close carried 7-0

- 2. Conduct a public hearing on a Rezoning Application for two (2) lots on .297 acres, more or less, at 108 W Boyce & 104 W Boyce St., Manor, TX from Single Family (SF-1) to Downtown Business (DB). Applicant: Jiwon Jung. Owner: Build Block.**

City Staff recommended that the P&Z Commission conduct the public hearing on a Rezoning Application for two (2) lots on .297 acres, more or less, at 108 W Boyce & 104 W Boyce St., Manor, TX from Single Family (SF-1) to Downtown Business (DB).

Chair Small opened the public hearing.

Planning Coordinator Burrell gave background information on this item. He stated previously it was recommended to be denied due to the residential property located between the lots. This issue has been resolved and the applicant has also provided a conceptual layout for this site at the request of the Commission.

Junghoom Sohn with Build Block, 107 W. Boyce Street, Manor, Texas, submitted a speaker card in support of this item. He did not wish to speak; however, was available for any questions.

Mr. Sohn responded to questions regarding the history of this item. He confirmed that he did purchase the residential lot next to his development. He stated the zoning request did not change after he acquired the new lot. Mr. Sohn gave details regarding the development of the property with Residential Space above Commercial Space on the ground level. He stated the neither the businesses nor the business types have been determined and he was open to suggestions from the Commissioners and the Community as a whole.

Director Jones introduced himself as the Director of Economic Development for the City of Manor. He stated that he has been working with Build Block for months. He was trying to put together incentives for them; however, this process was based on the approval of the zoning request. Mr. Jones stated that he would assist, if necessary, with the recommendation and tenant selection for this development. He did confirm that discussions have favored service type business like shops, retail businesses and food establishments.

Mr. Sohn responded to additional clarification questions. He stated his business with approximately 3 other business per building would make up the lower level. The number of residential spaces that would be available has not been determined. He stated this would be determined by the number of required parking spaces for the buildings; however, they were aiming for a 3-story building with about 8 residential units.

Director Jones stated the specifics for this development was still in the design phase.

Commissioners expressed their concerns regarding conflicting information already obtained regarding this project. They requested more information from Mr. Sohn's on his business and how many employees would be housed in the residential section of the development.

Director Jones stated Build Block was a developer. They would be constructing the buildings and overseeing the leasing of the buildings. Mr. Jones stated that parking would be in the final design by the developer.

Commissioner Leonard stated that she felt a more detailed conceptional drawing may be warranted to help everyone get a better visual idea on the plans for this development.

Robert Battaile, 502 E. Eggleston St., Manor, Texas, submitted a speaker card to speak in opposition of this item. Mr. Battaile stated this area was mostly residential neighborhoods in the Historical District of Manor and this was not the place for this type of development. He expressed his disagreement with allowing this type of development in downtown. He reiterated the importance of preserving our history by not approving this item.

MOTION: Upon a motion made by Vice Chair Paiz and seconded by Commissioner Meyer to close the public hearing.

There was no further discussion.

Motion to Close carried 7-0

3. **Conduct a public hearing on a Rezoning Application for one (1) lot on .132 acres, more or less, and being located at 209 N. Lexington Street, Manor, TX from Single Family Suburban (SF-1) to Neighborhood Business (NB). Applicant: Marcos Chavez. Owner: Marcos Chavez.**

City Staff recommended that the P&Z Commission conduct the public hearing on a Rezoning Application for one (1) lot on .132 acres, more or less, and being located at 209 N. Lexington St., Manor, TX from Single Family Suburban (SF-1) to Neighborhood Business (NB).

Chair Small opened the public hearing.

Planning Coordinator Burrell stated the applicant is requesting the rezoning from Single Family to Neighborhood Business, which is the City's most restrictive commercial zoning destination. He stated the owner plans to turn the residence into a hair salon. Mr. Burrell stated this did fall in line with the Comprehensive Plan.

Robert Battaile, 502 E. Eggleston St., Manor, Texas, submitted a speaker card to speak in support of this item. Mr. Battaile stated that he felt this item reflected exactly what the residents of Manor wanted in their downtown.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Commissioner Hardman to close the public hearing.

There was no further discussion.

Motion to Close carried 7-0

4. **Conduct a public hearing on a Preliminary Planned Unit Development (PUD) Site Plan for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX. Applicant: Sotol Ventures. Owner: Dalton Wallace.**

City Staff recommended that the P&Z Commission conduct the public hearing on a Preliminary Planned Unit Development (PUD) Site Plan for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX.

Chair Small opened the public hearing.

Anand Jayanti, 14032 Heartland Drive, Manor, Texas, submitted an email comment for this item. *(See attached)*

Tyler Sneed, 13908 Heartland Drive, Manor, Texas, submitted an email comment for this item. *(See attached.)*

Planning Coordinator Burrell briefly summarized the Okra Tract PUD citing details on the amount of park land, types of amenities and the connectivity to the neighboring subdivisions.

Rachel Shanks with Sotol Ventures, 9505 Johnny Morris Rd, Austin, Texas, submitted a speaker card to speak in support of this item. She gave a presentation on the Preliminary Planned Unit Development Site Plan for the Okra Tract Development. *(See attached presentation.)*

Ms. Shanks responded to questions regarding the park land, parking, lot size, number of units and the roadway system throughout the development. Ms. Shanks gave details on how these items would work cohesively with the Shadowglen and Monarch Ranch.

Discussion was held regarding the streets, connector roads, and roadway improvements. Ms. Shanks gave detailed information about the proposed turn lanes on FM 973.

Ms. Shanks answered questions regarding the history behind the naming of this development. Ms. Shanks spoke regarding the owner and his preference for the name Okra Tract.

Robert Battaile, 502 E. Eggleston St., Manor, Texas, submitted a speaker card to speak in opposition of this item. Mr. Battaile expressed his complaints regarding the way this property is being developed and with the dedication of the land.

Planning Coordinator Burrell informed the Commissioners that this item, due to the lack of quorums at the last few meetings, has already been sent to City Council. City Council has approved first reading and is only pending the recommendation of the P&Z Commission to move forward with the Okra Tract Preliminary PUD.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Commissioner Leonard to close the public hearing.

There was no further discussion.

Motion to Close carried 7-0

- 5. Conduct a public hearing on a Planned Unit Development (PUD) Amendment for the Shadowglen PUD and being located at the intersections of Lexington Street and US Hwy 290 as well as Shadowglen Boulevard and US Hwy 290, Manor, TX. Applicant: Marcus Equity. Owner: Cottonwood Holdings Limited, LLC.**

City Staff recommended that the P&Z Commission conduct the public hearing on a Planned Unit Development (PUD) Amendment for the Shadowglen PUD and being located at the intersections of Lexington Street and US Hwy 290 as well as Shadowglen Boulevard and US Hwy 290, Manor, TX.

Chair Small opened the public hearing.

Planning Coordinator Burrell gave background information on this item. He stated the purpose of this item was to update the current map to reflect what already exists.

Dennis Young, 709 Clayton Lane, Taylor, Texas, submitted a speaker card. He did not wish to speak; however, was available for any questions.

Katherine Nicely with Metcalfe Wolff Stuart & Williams, LLP, 221 W. 6th Street, Austin, Texas, submitted a speaker card in support of this item. She did not wish to speak; however, was available for any questions.

Cindy Leber, 16704 Christina Garza, Manor, Texas, submitted a speaker card to speak in opposition of this item. Ms. Leber voiced her opposition to the multi-family development shown on the map at the corner of Hwy 290 and Lexington Street. She stated that she had a lot of questions. She wanted to know if this was a done deal and if anything could be done regarding the zoning designation listed. She expressed her confusion on the already established items reflected that has not been developed out yet. She also expressed her concerns regarding the traffic in the area and wanted to know what kind of Traffic Studies had been done. She stated she wanted to reintegrate that she was opposed to any future development that resulted in more housing at the corner of Lexington and Hwy 290.

Planning Coordinator Burrell stated that the original Development Agreement has been amended any times over the years since it was first signed. The items listed in the backup for this item only reflect what already existed.

City Attorney Guthrie clarified the items being amendment to the Shadowglen PUD. She stated that this amendment does not affect the residential areas. This amendment will update the PUD to reflect what already exists for the commercial, golf course and open space areas. It is consistent with the Comprehensive Plan and the 2018 Plan. The amendment does not add any new residential. It does not affect the current residential areas. It does not change any current zonings or functional change the use of the land within the PUD. This step is only a technicality to update the map to be more consistent with all the other areas of the PUD.

City Attorney Guthrie addressed questions and concerns from the Commissioners regarding specific areas of the map. She explained the areas on the map that reflected the land located in the ETJ and pointed out the areas that would change like the green space and golf course.

Discussion was held regarding the public hearing notice and the confusion it created for the residents who received it. City Attorney Guthrie confirmed that the City could legally draft a more informative notice to send out to the residents; however, she could not direct the City to do so.

Katherine Nicely answered questions from the Commissioners regarding this amendment. She explained the this was originally passed with the PUD and Development Agreement in 1998. The amendments that changed the PUD were only done with the written Development Agreement but not in the Planned Utility Development Agreement. This amendment is simply updating the graphics.

MOTION: Upon a motion made by Commissioner Leonard and seconded by Vice Chair Paiz to close the public hearing.

There was no further discussion.

Motion to Close carried 7-0

Commissioner Sermo left the dais at 7:47 p.m.

- 6. Conduct a public hearing on a Short Form Final Plat for one (1) lot on .23 acres, more or less, and being located at 707 Bastrop St, Manor, TX with variances to allow for 40 ft lot width, 20 ft front setback, 5 ft side setbacks, and 10 ft rear setback, and a depth-to-width ratio of 6.25:1. Applicant: SAVVY ATX REALTY LLC. Owner: Wenkai Chen.**

City Staff recommended that the P&Z Commission conduct the public hearing on a Short Form Final Plat for one (1) lot on .23 acres, more or less, and being located at 707 Bastrop St, Manor, TX with variances to allow for 40 ft lot width, 20 ft front setback, 5 ft side setbacks, and 10 ft rear setback, and a depth-to-width ratio of 6.25:1.

Chair Small opened the public hearing.

Planning Coordinator Burrell gave detailed information regarding the lot, it's size and ability to be developed. He stated it was in compliment to the rezoning application previously heard in the meeting for 707 Bastrop Street.

Katherine Chen with Savvy Realty, 100 Congress Ave., Suite 2000, Austin, Texas, submitted a speaker card to speak in support of this item. Ms. Chen gave details regarding the original layout of the lots involved.

Discussion was held regarding the lots involved.

Ms. Chen answered questions regarding the division and sale of the lots. She addressed questions regarding any existing structures on the lots.

MOTION: Upon a motion made by Vice Chair Paiz and seconded by Commissioner Meyer to close the public hearing.

There was no further discussion.

Motion to Close carried 7-0

- 7. Conduct a public hearing on a Subdivision Short Form Final Plat for the Las Entradas North Subdivision, two (2) lots on 0.769 acres, more or less, and located at 13301 E US Hwy 290, Manor, TX and being filed with a variance from Manor Code of Ordinances, Chapter 10, Exhibit A, Article III, Section 45(6) and (7) relating to lot shape. Applicant: Estacado Interests. Owner: Llano Las Entradas I, LLC**

City Staff recommended that the P&Z Commission conduct the public hearing on a Subdivision Short Form Final Plat for the Las Entradas North Subdivision, two (2) lots on 0.769 acres, more or less, and located at 13301 E US Hwy 290, Manor, TX and being filed with a variance from Manor Code of Ordinances, Chapter 10, Exhibit A, Article III, Section 45(6) and (7) relating to lot shape.

Chair Small opened the public hearing.

Planning Coordinator Burrell gave a background information for this item. He gave details on the location of this site. He explained there is a waterline easement on the eastern property boundary that caused an irregular lot shape.

City Engineer Gray addressed questions regarding the Short Form Final Plat. She explained that the lots are not the typical shape as defined by City Ordinance.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Commissioner Hardeman to close the public hearing.

There was no further discussion.

Motion to Close carried 6-0

8. Conduct a public hearing on a Subdivision Short Form Final Plat for the Manor ISD Senior High School, three (3) lots on 69.316 acres, more or less, and being located at 14832 N, FM 973, Manor, TX. Applicant: Claycomb Associates, Inc. Owner: Manor ISD.

City Staff recommended that the P&Z Commission conduct the public hearing on a Subdivision Short Form Final Plat for the Manor ISD Senior High School, three (3) lots on 69.316 acres, more or less, and being located at 14832 N, FM 973, Manor, TX.

Chair Small opened the public hearing.

Planning Coordinator Burrell gave details regarding the history of this item. He explained it was previously reviewed last year. There was issue with the way the roadway was shown and the number of lots listed. The Short Form Final Plat has been updated and reviewed by the City Engineers.

The Commissioners requested clarification on how the discrepancy was missed last year.

City Engineer Gray explained that new development in the area created a need to expand the *right of way* near the school. Manor ISD was accommodating to the City's need for additional right of way footage, therefore the Short Form Final Plat needed to be adjusted.

Robert Battaile, 502 E. Eggleston St., Manor, Texas, submitted a speaker card to speak regarding of this item. Mr. Battaile requested that the Mayor recuse himself from this item and any other item involving Manor ISD whom he is employed by. He expressed his concerns regarding conflict of interest.

MOTION: Upon a motion made by Commissioner Chavis and seconded by Vice Chair Paiz to close the public hearing.

There was no further discussion.

Motion to Close carried 6-0

9. Conduct a public hearing on a Specific Use Permit for a Medical Clinic located at the southwest corner of US Hwy 290 and Gregg Manor Road, Manor, TX. Applicant: StreetLevel Investments. Owner: SL Manor 290 LP.

City Staff recommended that the P&Z Commission conduct the public hearing on a Specific Use Permit for a Medical Clinic located at the southwest corner of US Hwy 290 and Gregg Manor Road, Manor, TX. Applicant: StreetLevel Investments. Owner: SL Manor 290 LP.

Chair Small opened the public hearing.

Planning Coordinator Burrell gave details regarding the Specific Use Permit. The property is currently zones C-1 (Light Commercial) which permits office and medical uses with the approval of a Specific Use Permit. He stated the applicant wants to open a medical clinic that offers 24-Hour Emergency Services. If approved, they will be partnering with Travis County EMS to include a facility for their use.

Discussion was held regarding the site layout, possible facility uses, and roadway improvements.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Vice Chair Paiz to close the public hearing.

There was no further discussion.

Motion to Close carried 6-0

CONSENT AGENDA

10. Consideration, discussion, and possible action to approve the P&Z Commission minutes for:

- May 10, 2023, P&Z Commission Regular Session,
- June 14, 2023, P&Z Commission Regular Session; and
- July 12, 2023, Commission Regular Session.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Vice Chair Paiz to approve the consent agenda.

There was no further discussion.

Motion to Approve carried 6-0

REGULAR AGENDA

11. Consideration, discussion, and possible action on Rezoning Application for five (5) lots on .23 acres, more or less, out of the South 40 ft of Lots 6-10, Block 1, AE Lanes Addition, and being located at 707 Bastrop St, Manor, TX from Single-Family Suburban (SF-1) to Two-Family Residential (TF). Applicant: Saavy ATX Realty LLC. Owner: Wenkai Chen.

City Staff recommended that the P&Z Commission approve the Rezoning Application for five (5) lots on .23 acres, more or less, out of the South 40 ft of Lots 6-10, Block 1, AE Lanes Addition, and being located at 707 Bastrop St, Manor, TX from Single-Family Suburban (SF-1) to Two-Family Residential (TF).

Discussion was held regarding the location and size of the properties. Chair Small reminded the Commissioners that this item was strictly for the rezoning of the property. Consideration was given to the layout of the lots and the accessibility to the property specifically for emergency vehicles like a fire truck if there was a need to respond to these properties.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Vice Chair Paiz to deny the Rezoning Application for five (5) lots on .23 acres, more or less, out of the South 40 ft of Lots 6-10, Block 1, AE Lanes Addition, and being located at 707 Bastrop St, Manor, TX from Single-Family Suburban (SF-1) to Two-Family Residential (TF).

There was no further discussion.

Motion to Deny carried 6-0

12. Consideration, discussion, and possible action on a Rezoning Application for two (2) lots on .297 acres, more or less, at 108 W Boyce & 104 W Boyce St., Manor, TX from Single Family (SF-1) to Downtown Business (DB). Applicant: Jiwon Jung. Owner: Build Block.

City Staff recommended that the P&Z Commission approve the Rezoning Application for two (2) lots on .297 acres, more or less, at 108 W Boyce & 104 W Boyce St., Manor, TX from Single Family (SF1) to Downtown Business (DB).

Discussion was held by the Commissioners regarding renderings of the potential development of the property.

MOTION: Upon a motion made by Commissioner Leonard and seconded by Commissioner Hardeman to postpone Rezoning Application for two (2) lots on .297 acres, more or less, at 108 W Boyce & 104 W Boyce St., Manor, TX from Single Family (SF-1) to Downtown Business (DB) until the September 13, 2023, P&Z Commission Regular Session scheduled meeting to allow time for the applicant to provide renderings that show parking and structure layout.

There was no further discussion.

Motion to Postpone carried 5-1; Commissioner Meyer opposed.

Director Jones requested clarification on the motion the Commissioners approved. He voiced his aggravation on the prior two meetings not having quorum followed by the Commissioners postponing this item to the next meeting. It was confirmed they wanted site layout and renderings of the potentially proposed buildings to be presented at the next meeting or emailed in advance of the next meeting for the Commissioners to make a more informed decision on the request.

13. Consideration, discussion, and possible action on a Rezoning Application for one (1) lot on .132 acres, more or less, and being located at 209 N. Lexington Street, Manor, TX from Single Family Suburban (SF-1) to Neighborhood Business (NB). Applicant: Marcos Chavez. Owner: Marcos Chavez.

City Staff recommended that the P&Z Commission approve the Rezoning Application for one (1) lot on .132 acres, more or less, and being located at 209 N. Lexington Street, Manor, TX from Single Family Suburban (SF-1) to Neighborhood Business (NB).

MOTION: Upon a motion made by Commissioner Meyer and seconded by Commissioner Hardeman to approve the Rezoning Application for one (1) lot on .132 acres, more or less, and being located at 209 N. Lexington Street, Manor, TX from Single Family Suburban (SF-1) to Neighborhood Business (NB).

There was no further discussion.

Motion to Approve carried 6-0

14. Consideration, discussion, and possible action on a Preliminary Planned Unit Development (PUD) Site Plan for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX. Applicant: Sotol Ventures. Owner: Dalton Wallace.

City Staff recommended that the P&Z Commission that the P&Z Commission approve the Preliminary Planned Unit Development (PUD) Site Plan for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX with one additional trail connection be made into Shadowglen from the sidewalk trail that extends from Allard Drive to the southern boundary of the Okra Tract.

Chair Small reminded the Commissioners that this item had been approved for the first reading by City Council.

Ms. Shanks addressed questions regarding the amenities. Ms. Shanks confirmed all amenities will be open to the public and not just available for the residents of the Okra Tract Development.

MOTION: Upon a motion made by Commissioner Leonard and seconded by Vice Chair Paiz to approve the Preliminary Planned Unit Development (PUD) Site Plan for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX.

There was no further discussion.

Motion to Approve carried 6-0

15. Consideration, discussion, and possible action on a Planned Unit Development (PUD) Amendment for the Shadowglen PUD and being located at the intersections of Lexington Street and US Hwy 290 as well as Shadowglen Boulevard and US Hwy 290, Manor, TX. Applicant: Marcus Equity. Owner: Cottonwood Holdings Limited, LLC.

City Staff recommended that the P&Z Commission approve the Planned Unit Development (PUD) Amendment for the Shadowglen PUD and being located at the intersections of Lexington Street and US Hwy 290 as well as Shadowglen Boulevard and US Hwy 290, Manor, TX.

Discussion was held the PUD Amendment. Chair Small requested information from the City Attorney regarding ramifications if they did not approve this item.

City Attorney Guthrie stated that denying this item would not change what already exists. By not approving this item, It would leave our zoning inconsistent with the Development Agreement and complicate future development.

City Attorney Guthrie addressed questions regarding the notification of residents. She confirmed sending out a subsequent notice could be added to the recommendation to City Council. She also confirmed the City of Manor could send a representative to the HOA meetings if needed to hold a Q&A session to clear up confusion.

Concerns were expressed by the Committee regarding the zoning changes made that have not been developed out. Commissioners expressed their desire for the property owner to reconsider the current zoning and find an alternate solution to development other than multi-family development.

Katherine Nicely answered follow up questions from the Commissioners regarding the zoning shown on the map. Ms. Nicely explained the designations for the zoning are the ones already in place. No rezoning would need to occur to build out the non-developed commercial lots or the multifamily lot. She also confirmed that City Council would need a super-majority vote to approve the amendment if it was denied approval at the P&Z Commission meeting.

Ms. Nicely demonstrated on the map which properties were in the City Limits and EJT. She pointed out the properties had been developed and the ones that had not. She explained the development agreement was the written description of the development that would occur over the next 30 years or so.

Ms. Nicely addressed questions about the information that would be present to P&Z Commission, such as site plans, final plats etc. in relation to the undeveloped properties. She stated that she was not aware of any pending development plans for the undeveloped properties she pointed out.

Ms. Nicely stated that Manor is not the only jurisdiction with this issue.

Commissioners wanted to know if a breakdown or separation of developed and undeveloped zoning could be considered for this amendment and deal only with the already developed properties. Attorney Guthrie explained the options available. She detailed the action that would need to take place before consideration of the developed and undeveloped properties separately was an option.

MOTION: Upon a motion made by Vice Chair Paiz and seconded by Commissioner Leonard to approve the Planned Unit Development (PUD) Amendment for the Shadowglen PUD with the recommendation to include sending notifications to the residents that gave more specific details on the amendment and potentially send a representative from the City to the HOA meeting to answer questions that may be needed for clarification purposes.

There was no further discussion.

Motion to Approve carried 6-0

16. Consideration, discussion, and possible action on a Short Form Final Plat for one (1) lot on .23 acres, more or less, and being located at 707 Bastrop St, Manor, TX with variances to allow for 40 ft lot width, 20 ft front setback, 5 ft side setbacks, and 10 ft rear setback, and a depth-to-width ratio of 6.25:1. Applicant: SAVVY ATX REALTY LLC. Owner: Wenkai Chen.

City Staff recommended that the P&Z Commission approve the Short Form Final Plat for one (1) lot on .23 acres, more or less, and being located at 707 Bastrop St, Manor, TX with variances to allow for 40 ft lot width, 20 ft front setback, 5 ft side setbacks, and 10 ft rear setback, and a depth-to-width ratio of 6.25:1.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Commissioner Hardeman to deny the Short Form Final Plat for one (1) lot on .23 acres, more or less, and being located at 707 Bastrop St, Manor, TX with variances to allow for 40 ft lot width, 20 ft front setback, 5 ft side setbacks, and 10 ft rear setback, and a depth-to-width ratio of 6.25:1.

There was no further discussion.

Motion to Deny carried 6-0

- 17. Consideration, discussion, and possible action on a Subdivision Short Form Final Plat for the Las Entradas North Subdivision, two (2) lots on 0.769 acres, more or less, and located at 13301 E US Hwy 290, Manor, TX and being filed with a variance from Manor Code of Ordinances, Chapter 10, Exhibit A, Article III, Section 45(6) and (7) relating to lot shape. Applicant: *Estacado Interests*. Owner: *Llano Las Entradas I, LLC*.**

City Staff recommended that the P&Z Commission approve the Subdivision Short Form Final Plat for the Las Entradas North Subdivision, two (2) lots on 0.769 acres, more or less, and located at 13301 E US Hwy 290, Manor, TX and being filed with a variance from Manor Code of Ordinances, Chapter 10, Exhibit A, Article III, Section 45(6) and (7) relating to lot shape.

Commissioners requested to know if this item was discretionary or non-discretionary. Planning Coordinator Burrell confirmed that this was a *Discretionary* item.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Vice Chair Paiz to approve the Subdivision Short Form Final Plat for the Las Entradas North Subdivision, two (2) lots on 0.769 acres, more or less, and located at 13301 E US Hwy 290, Manor, TX and being filed with a variance from Manor Code of Ordinances, Chapter 10, Exhibit A, Article III, Section 45(6) and (7) relating to lot shape.

There was no further discussion.

Motion to Approve carried 6-0

- 18. Consideration, discussion, and possible action on a Subdivision Short Form Final Plat for the Manor ISD Senior High School, three (3) lots on 69.316 acres, more or less, and being located at 14832 N, FM 973, Manor, TX. Applicant: *Claycomb Associates, Inc*. Owner: *Manor ISD*.**

City Staff recommended that the P&Z Commission approve the Subdivision Short Form Final Plat for the Manor ISD Senior High School, three (3) lots on 69.316 acres, more or less, and being located at 14832 N, FM 973, Manor, TX.

The Commission wanted to know if there were recusal rules related to items on an agenda that involved a Council, Board, Committee Member's employer. City Attorney Guthrie explained when an individual would need to recuse themselves if the item was related to one's employer. She gave the definition and explained the difference between Conflict of Interest and nepotisms. She also explained that the Commission could send a message to recuse but could not make it a condition of the approval.

MOTION: Upon a motion made by Commissioner Leonard and seconded by Commissioner Chavis to approve the Subdivision Short Form Final Plat for the Manor ISD Senior High School, three (3) lots on 69.316 acres, more or less, and being located at 14832 N, FM 973, Manor, TX with a note requesting that if they have any situations where it could be seen as a conflict of interest, regardless if there is a Legal Conflict of Interest, to recuse themselves to avoid any appearance of impropriety.

There was no further discussion.

Motion to Approve carried 6-0

19. Consideration, discussion, and possible action on a Specific Use Permit for a Medical Clinic located at the southwest corner of US Hwy 290 and Gregg Manor Road, Manor, TX. Applicant: StreetLevel Investments. Owner: SL Manor 290 LP.

City Staff recommended that the P&Z Commission approve the Specific Use Permit for a Medical Clinic located at the southwest corner of US Hwy 290 and Gregg Manor Road, Manor, TX.

MOTION: Upon a motion made by Vice Chair Paiz and seconded by Commissioner Hardeman to approve the Specific Use Permit for a Medical Clinic located at the southwest corner of US Hwy 290 and Gregg Manor Road, Manor, TX.

There was no further discussion.

Motion to Approve carried 6-0

20. Consideration, discussion, and possible action on a Final Plat for the Holley-Smith (Mustang Valley) Subdivision, one hundred and forty-five (145) lots on 60.416 acres, more or less, and being located near the intersection of N. FM 973 and Arnham Lane, Manor, TX. Applicant: Carlson, Brigrance, & Doering, Inc. Owner: KB Homes Lone Star, Inc.

City Staff recommended that the P&Z Commission approve the Final Plat for the Holley-Smith (Mustang Valley) Subdivision, one hundred and forty-five (145) lots on 60.416 acres, more or less, and being located near the intersection of N. FM 973 and Arnham Lane, Manor, TX.

Planning Coordinator Burrell gave a detailed summary of this item.

MOTION: Upon a motion made by Commissioner Leonard and seconded by Vice Chair Paiz to approve the consent agenda.

Commissioners requested zoning information on the lots. Planning Coordinator Burrell confirmed the lots would single-family residents.

There was no further discussion.

Motion to Approve carried 6-0

ADJOURNMENT

MOTION: Upon a motion made by Vice Chair Paiz and seconded by Commissioner Chavis to adjourn the regularly scheduled P&Z Commission at 8:49 p.m. on Wednesday, August 9, 2023.

There was no further discussion.

Motion to Adjourn carried 6-0

These minutes were approved by the Planning and Zoning Commission on the 13th day of September 2023. *(Audio recording archived).*

APPROVED:

LaKesha Small
Chairperson

ATTEST:

Mandy Miller
Development Services Supervisor

Item # 4 & 14

From: Anand Jayanti [REDACTED]
Sent: Monday, June 12, 2023 7:59 PM
To: Michael Burrell <mburrell@manortx.gov>
Subject: Okra Tract Preliminary PUD

Hello Mr. Burrell,

Thank you for inviting a public forum on this topic of the construction in the Okra Tract area. My name is Anand Jayanti and I live with my wife Kritika Jain at 14032 Heartland Drive.

It is the opinion of several members of my community on Heartland Drive and surrounding streets that further development in the northern direction would bring noise and dust pollution, pest intrusion, as well as reduce some of the beauty of the land as it currently is. Furthermore, developing homes on this land would increase traffic on the main artery out of Manor and into Austin. There is already a great deal of congestion at these junctions, and accidents like the one that occurred last week can double a half hour commute. Bringing development to this area without expanding the infrastructure out of the city would make the commute into Austin very difficult at particular times of the day. I work at the hospital in Mueller but often have to travel to downtown Austin, as well, which is true of many of our community members.

Manor has been our home for almost 1 year, and we are proud residents of our burgeoning community. The people of Manor have welcomed us with open arms with their hospitality. There are many here in Shadowglen who are slowly building up lives, families, and careers, and turning their new houses into homes. We would appreciate if you would consider our request to hold off on construction in the proposed plot.

Thank you,
Anand

--

Anand Jayanti, MD
Child & Adolescent Psychiatry Fellow | Writer | Illustrator
UT Dell Child & Adolescent Psychiatry Fellowship, Austin, 2024
UT Health Science Center Residency Program, Tyler, 2022
Texas A&M College of Medicine, 2018
The University of Texas at Austin, 2012

Item # 4 & 14

From: Tyler Snell [REDACTED]
Sent: Wednesday, June 7, 2023 11:51 AM
To: Michael Burrell <mburrell@manortx.gov>
Subject: Okra Tract Preliminary PUD

Hello,

My name is Tyler Snell, and I live at 13908 Heartland Dr. Manor, TX 78653.

I received notification of the Preliminary PUD Site Plan and have a few comments. The Commercial C-2 area of the property has several uses prohibited. I'd also like to propose adding gasoline station as a prohibited use. While it is great that we see Manor continue to grow there is already a gas station at FM 973 and ShadowGlen boulevard and I believe another one is planned to be across from it. I'd rather see other facilities such as shops or restaurants in that area instead of another gasoline station.

I think the planned trail system and recreational activities such as the playgrounds, dog park, etc are great. But I'd just like to express that we ensure the developer follows through with this plan and installs these features. Currently in the ShadowGlen neighborhood there are only 2 playgrounds. Adding two more to the Okra Tract will ensure there is plenty of space for recreation. Additionally, I'd like to express that the trail be made from concrete or material that is not mulch to make it easier for kids, elderly people and dogs to walk on.

Thanks,

Tyler Snell
[REDACTED]

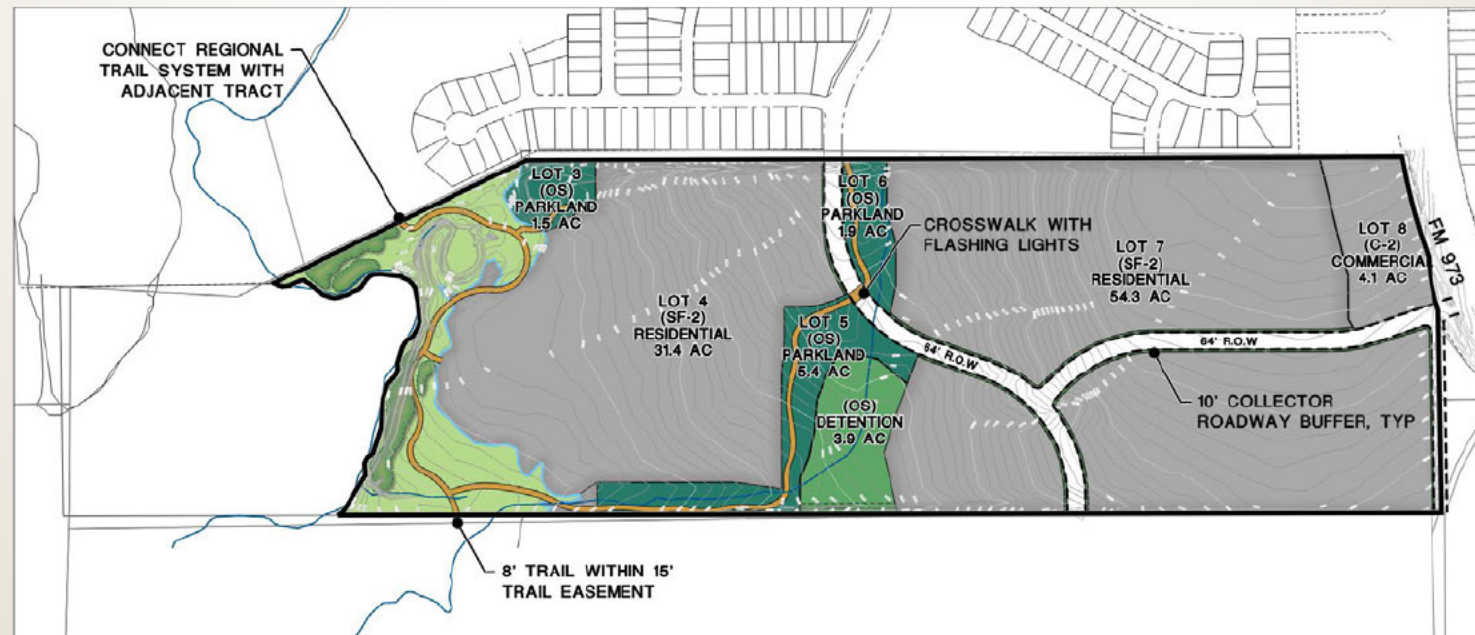


OKRA

Located off FM 973

OKRA

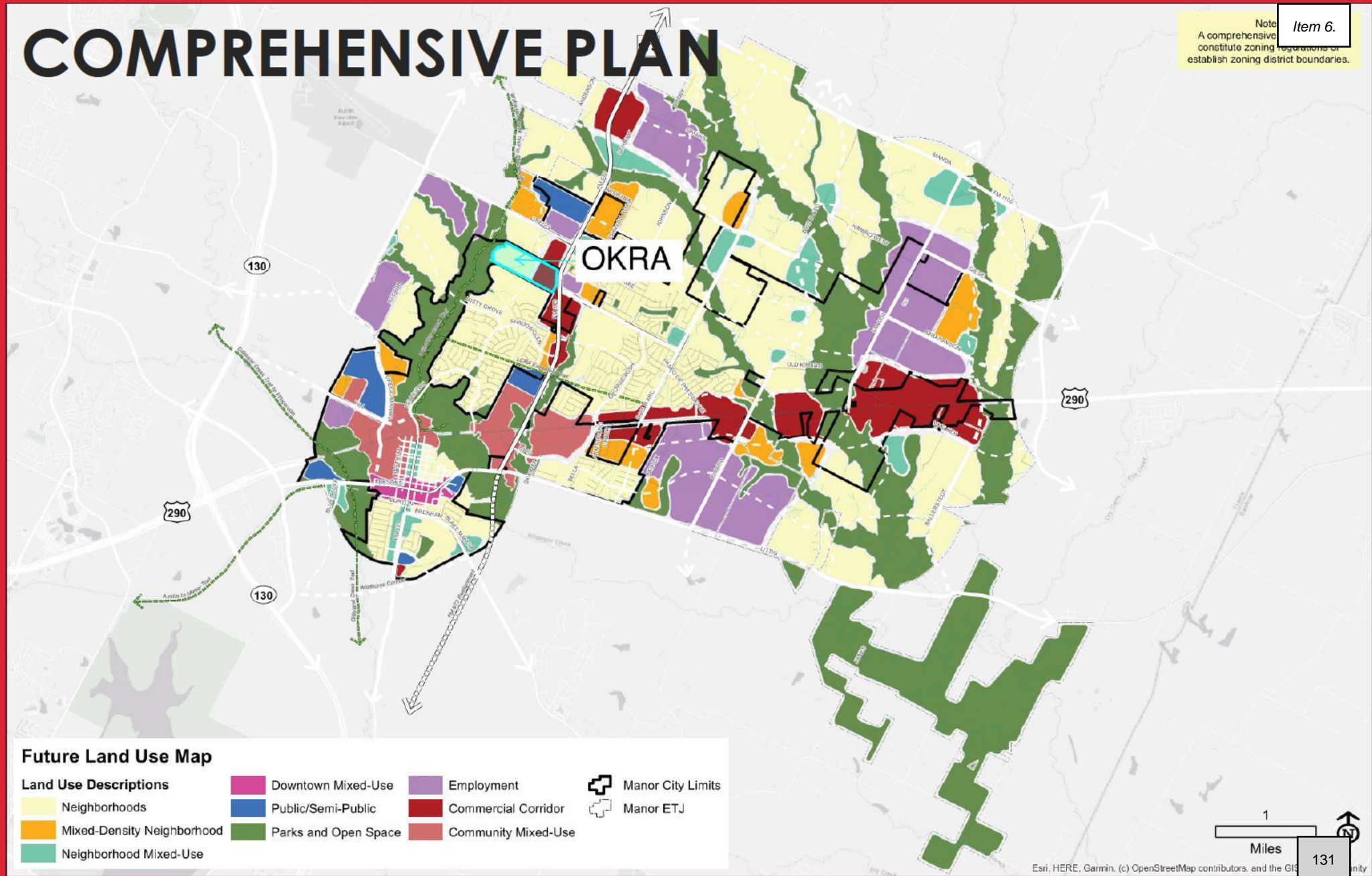
- 113.415 acres
- Currently zoned C2
- Proposed mix-use development with commercial and residential

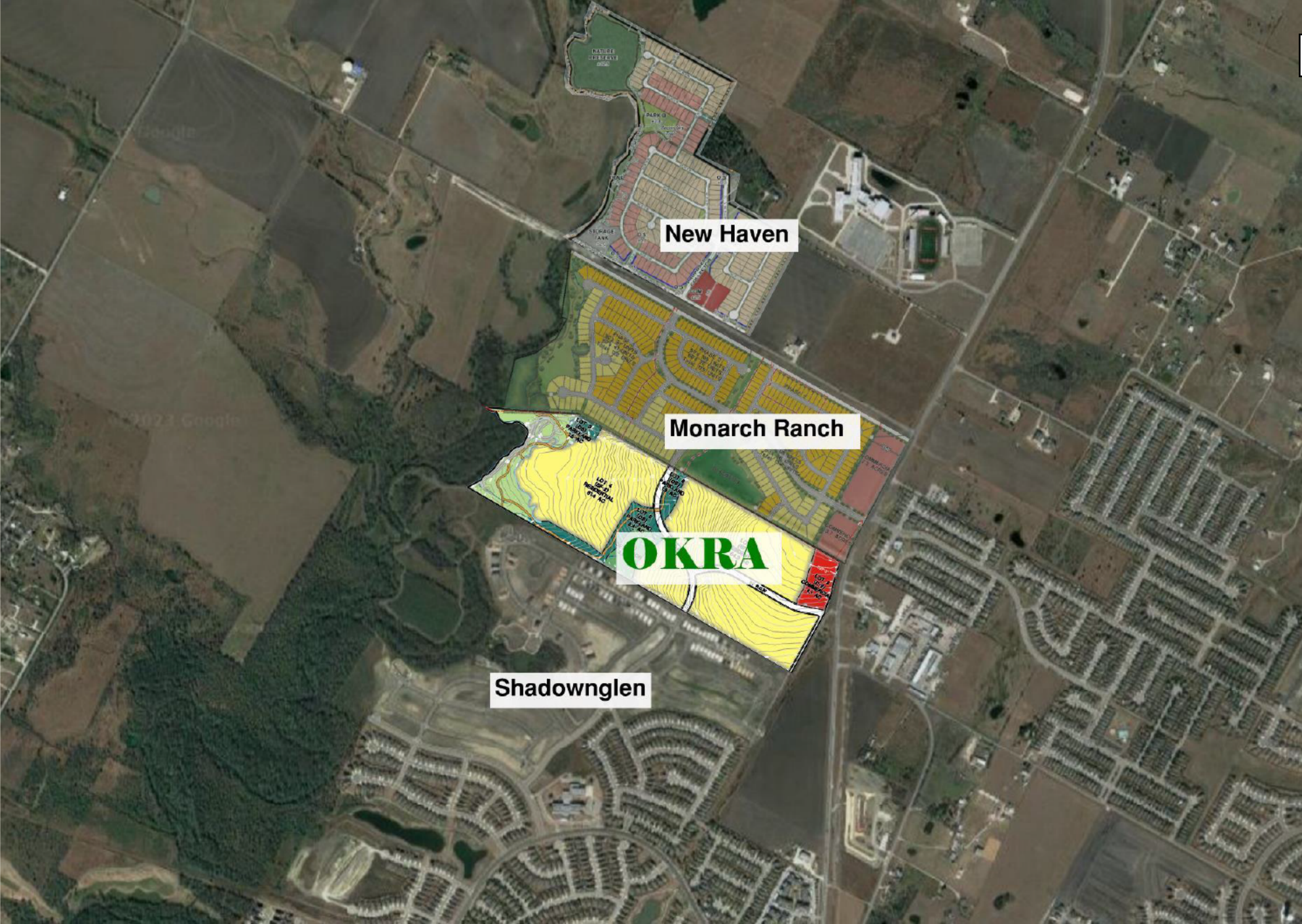


COMPREHENSIVE PLAN

Note
A comprehensive
constitute zoning regulations or
establish zoning district boundaries.

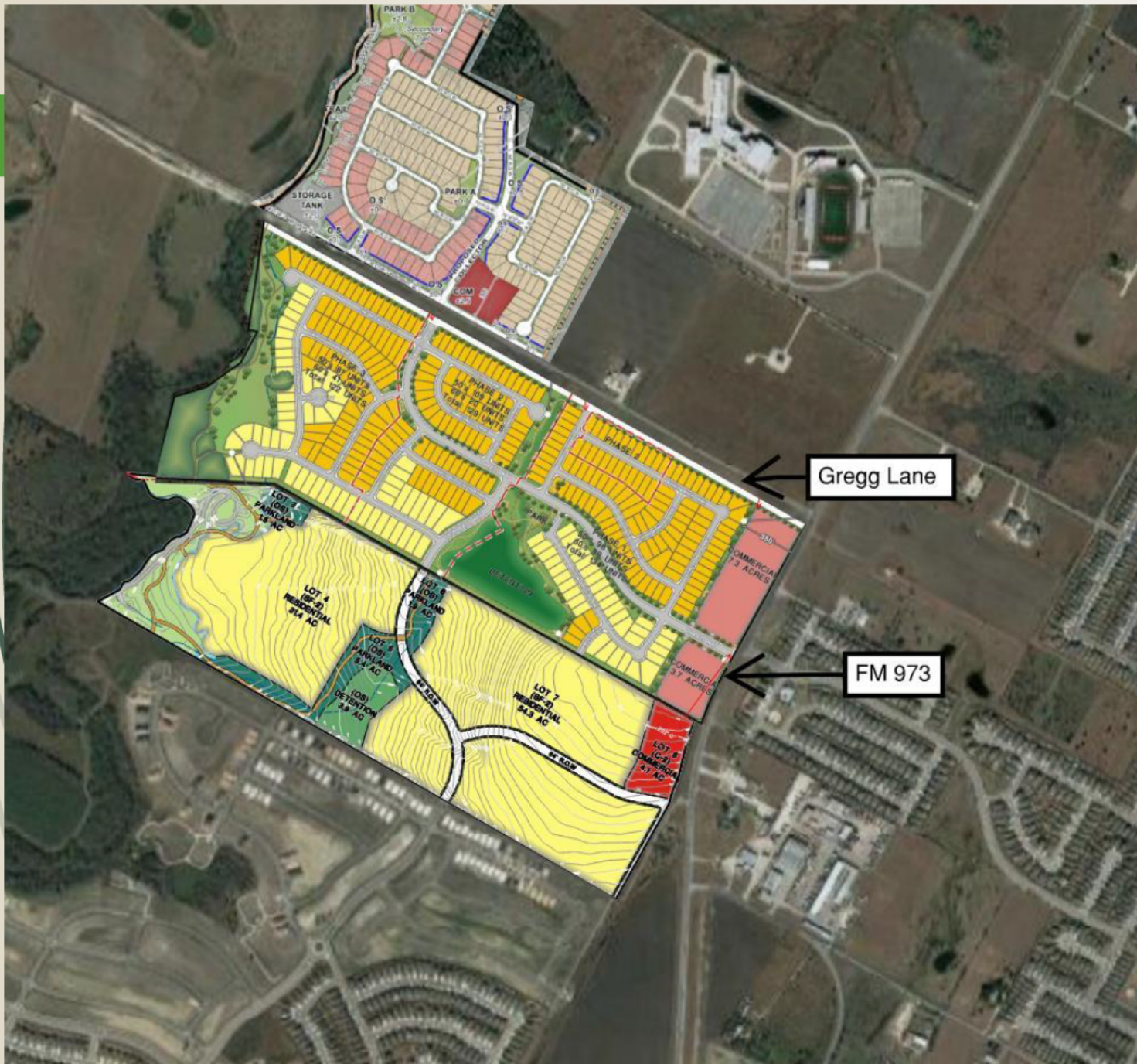
Item 6.





INTERNAL ROAD IMPROVEMENTS

- 64' Silent Falls Way collector road from Shadowglen to New Haven
- 64' collector road entrance off FM 973



EXTERNAL ROAD IMPROVEMENTS

- Extend the Center Lane that ends at Tinajero Way past Suncrest
- Add a Right Hand Turn Lane into OKRA

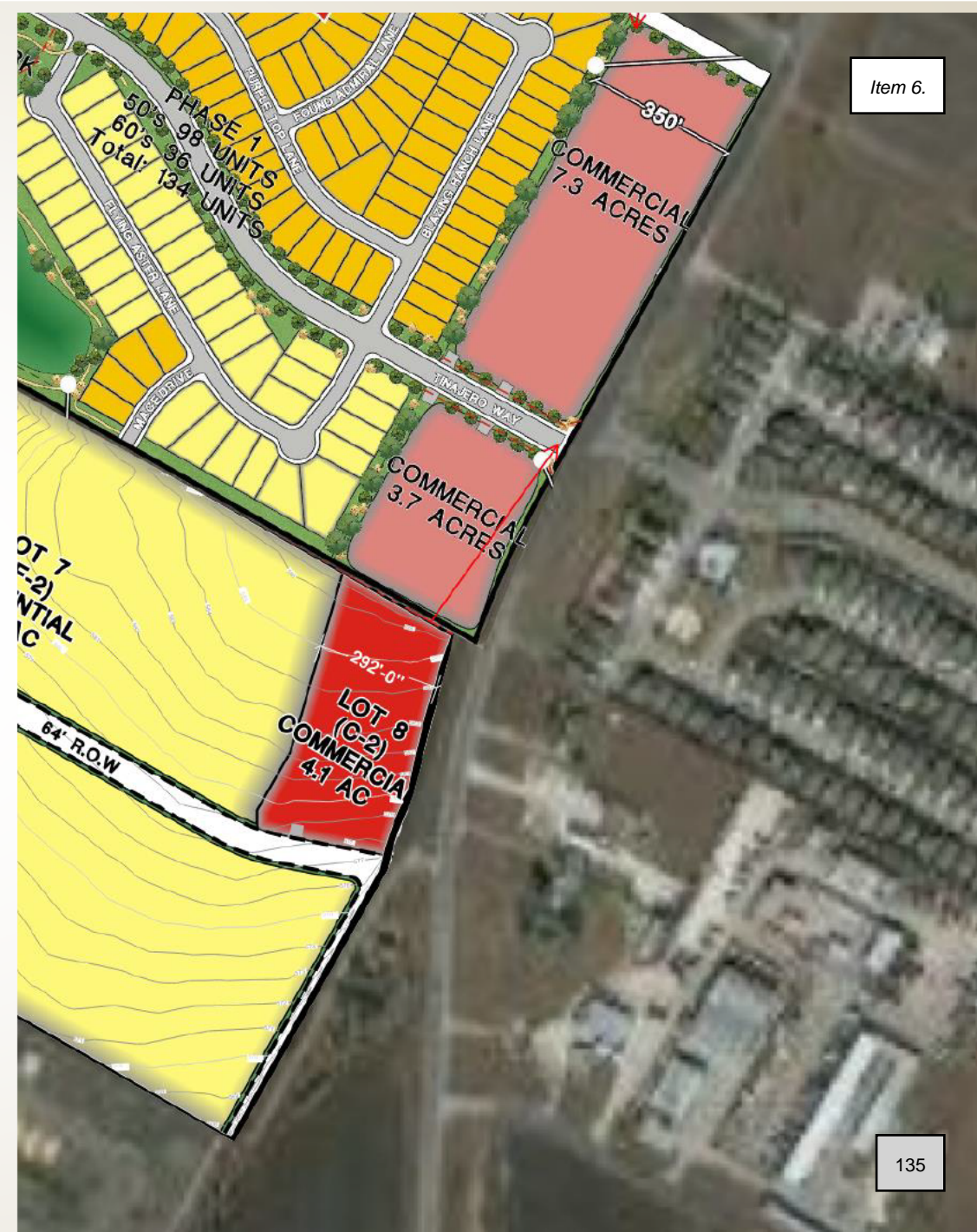


COMMERCIAL – C2

➤ 4.1 acres commercial

The following uses shall be prohibited within the C-2 area of the PUD:

- Amusement (outdoor)
- Automobile Repair (minor)
- Automobile Repair (major)
- Commercial Off-Street Parking
- Contractor's Shop
- Financial Services (alternative)
- Funeral Services
- Kennel
- Laundry Services
- Mini-Storage Warehouse
- Off-Site Accessory Parking
- Pawnshop
- Recreational Vehicle Sales and Rental
- Truck and Trailer Sales and Rental
- Veterinary Service, Large



RESIDENTIAL – SF2



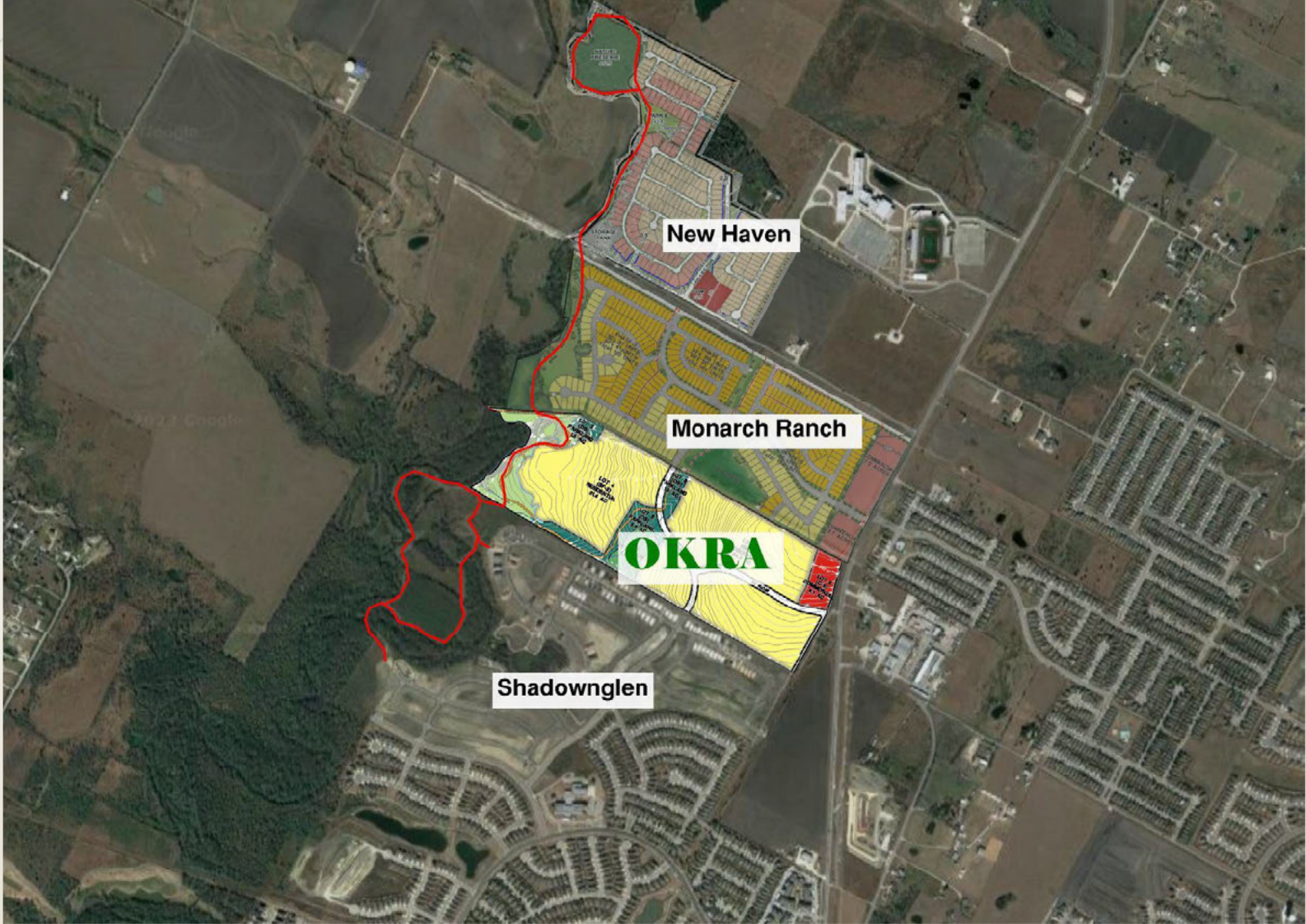
- Mixture of 60' and 50' lots
- Lot depth 120 ft
- ~300 homes

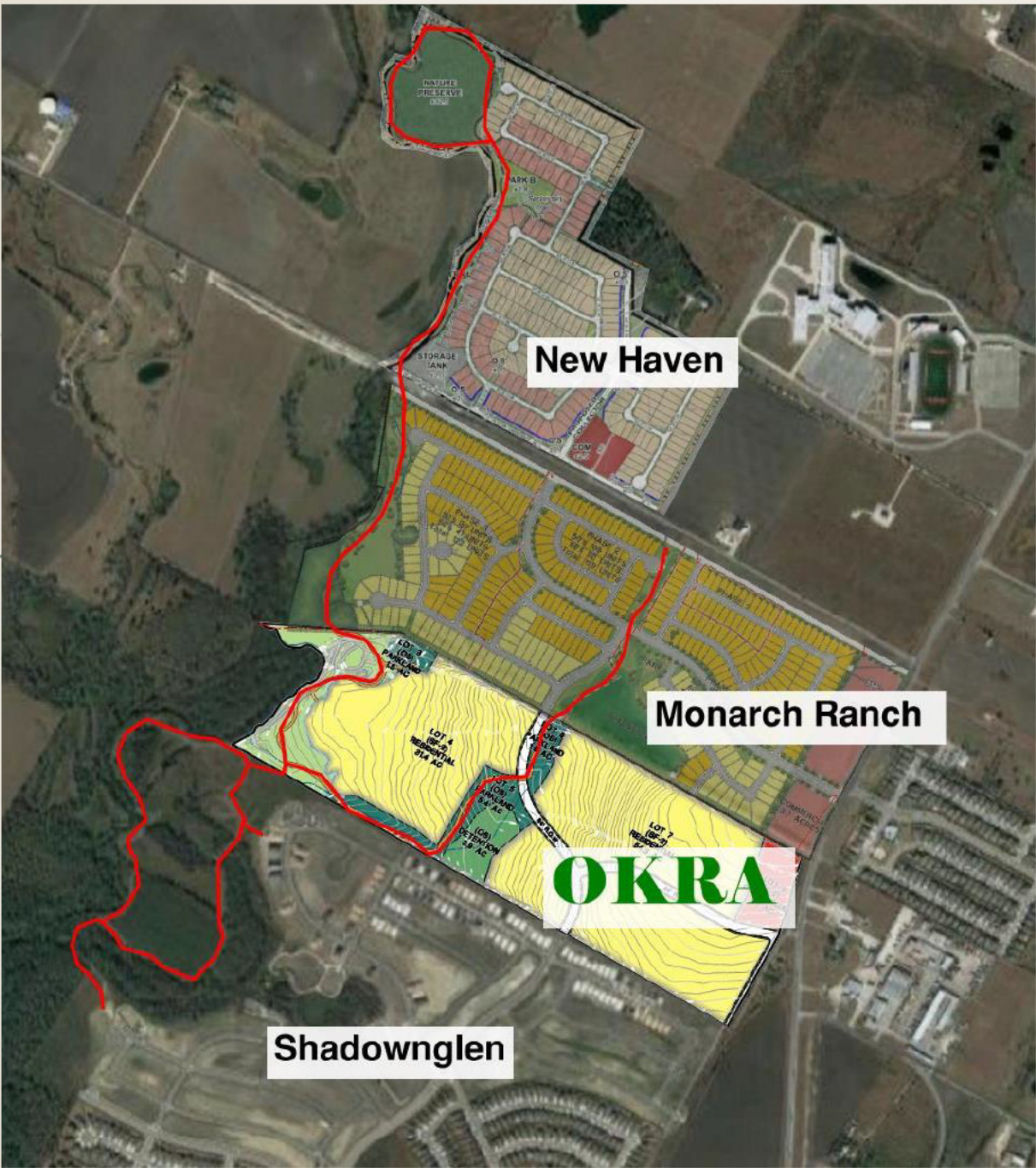
PARKLAND- INTERNAL

- Connected to Monarch Ranch's public parkland land through trails and a crosswalk
- 8.8 acres
 - Detention is not included in the parkland calculation
- Amenities:
 - Two playgrounds
 - Parking
 - Dog park
 - Basketball court
 - Pavilion



PARKLAND REGIONAL





- Regional Trail and Public Park on OKRA maintained by OKRA HOA



Questions?



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023

DATE:

PREPARED BY: Scott Dunlop, Director

DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on amendments to Chapter 14 Zoning of the Manor code of ordinances to modify the provisions for the residential land use table relating to Single Family Attached (2 units) and Single Family Attached (3 or more units); industrialized housing standards; and office, commercial, institutional architectural standards.

BACKGROUND/SUMMARY:

Zoning Ordinance Amendments

Section 3: Adds two-family unit type as permitted in Townhome zoning.

- This was approved on first reading in the last Zoning Ordinance update, but the ordinance provided to the City Council for second reading was an earlier version that contained an error, so this corrects the previous ordinance.

Section 4: Related to section 3 in correcting an error from the last Ordinance.

Section 5: The City Council by Ordinance 713 approved on 8/2/23 moved the development standards for Industrialized (modular) housing from Chapter 14 Zoning to Chapter 3 Building Codes. This update to the zoning ordinance removes those standards and references to them in the Building Code chapter.

Section 6: This amendment adds that commercial, office, and institutional buildings less than 1,000 sf are exempt from the horizontal and vertical articulation standards.

LEGAL REVIEW: Yes, Veronica Rivera

FISCAL IMPACT: NO

PRESENTATION: NO

ATTACHMENTS: YES

- Ordinance

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve amendments to Chapter 14 Zoning of the Manor code of ordinances to modify the provisions for the residential land use table relating to Single Family Attached (2 units) and Single Family Attached (3 or more units); industrialized housing standards; and office, commercial, institutional architectural standards.

PLANNING & ZONING COMMISSION:

Recommend	Approval	Disapproval	None
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ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF MANOR, TEXAS, AMENDING CHAPTER 14, ZONING, OF THE CODE OF ORDINANCES OF THE CITY OF MANOR, TEXAS, BY PROVIDING FOR AMENDMENTS TO THE RESIDENTIAL LAND USE TABLE; MOVING REGULATIONS FOR INDUSTRIALIZED HOUSING FROM CHAPTER 14, ZONING TO A STAND-ALONE SECTION OF THE CODE OF ORDINANCES; MODIFYING OFFICE, COMMERCIAL, AND INSTITUTIONAL ARCHITECTURAL STANDARDS; PROVIDING AN EFFECTIVE DATE, SAVINGS, SEVERABILITY, AND OPEN MEETINGS CLAUSES; AND PROVIDING FOR RELATED MATTERS.

Whereas, the Planning & Zoning Commission held a public hearing on the proposed amendments to the City's zoning ordinance, and forwarded its recommendation on the amendments to the City Council;

Whereas, after publishing notice of the public hearing at least fifteen days prior to the date of such hearing, the City Council at a public hearing has considered the proposed amendments to the City's Zoning Ordinance and finds that the amendments are reasonable and necessary to protect the health, safety, and welfare of the present and future residents of the City;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, THAT:

Section 1. Findings. The findings and recitations set out in the preamble of this Ordinance are found to be true and correct and that they are hereby adopted by the City Council and made a part hereof for all purposes.

Section 2. Amendment of Code of Ordinances. The City Council hereby amends Chapter 14, Zoning of the Manor Code of Ordinances (the “Zoning Ordinance”) to amend the residential land use table and architectural standards as provided for in Sections 3 through 6 of this Ordinance.

Section 3. Amendment of Section 14.02.005 Residential Land Use Table. Section 14.02.005(b) of the Zoning Ordinance is hereby amended to revise the Residential Land Uses in Residential Zoning Districts use “Single-Family Attached (2 units)” to read as follows:

	A	SF-E	SF-1	SF-2	TF	TH	MF-1	MF-2	MH-1	MH-2
Single-Family Attached (2 units)					P	C				

Section 4. Amendment of Section 14.02.005 Residential Land Use Table. Section 14.02.005(b) of the Zoning Ordinance is hereby amended to revise the Residential Land Uses in Residential

Zoning Districts use “Single-Family Attached (3 or more units)” to read as follows:

	A	SF-E	SF-1	SF-2	TF	TH	MF-1	MF-2	MH-1	MH-2
Single-Family Attached (3 or more units)						P	C	C		

Section 5. Amendment of Section 14.02.061 Industrialized Homes. Section 14.02.061(d) of the City of Manor Code of Ordinances is hereby amended in its entirety to read as follows:

(d) *Industrialized homes.*

(1) This subsection applies to industrialized or modular homes, as defined in this chapter, that are constructed in agricultural (A), single-family estate (SF-E), single-family suburban (SF-1), single-family standard (SF-2), and two-family (TF) districts.

(2) The industrialized home must meet the criteria set forth in Article 3.09 of the Code.

Section 6. Amendment of Section 14.02.065 Office, Commercial, Institutional. Section 14.02.065(b)(3)(D) of the City of Manor Code of Ordinances is hereby amended in its entirety to read as follows:

(D) *Articulation standards.* Any primary façade shall include projections or recesses and vertical variations in the roof line in accordance with the horizontal and vertical articulation requirements set forth below. Buildings less than 1,000 square feet are exempt from articulation standards.

(i) *Horizontal articulation.*

a. A building facade may not extend for a distance greater than three times its average height without a perpendicular offset of at least ten percent of such building height.

b. The total length of all facade walls in a single plane may not exceed 60 percent of the total facade length.

c. Regardless of facade length, all primary facades shall have at least one horizontal offset of the required percentage.

(ii) *Vertical articulation.*

a. A horizontal wall may not extend for a distance greater than three times its height without a change in elevation of at least 15 percent of such height.

b. The total length of all vertical elevation changes in the roofline shall be no less than 20 percent and no more than 40 percent of the total facade length.

c. Regardless of the facade length, all primary facades shall have at least one vertical elevation change.

d. Flat roofs with a parapet wall are permitted, provided the roofline meets the vertical articulation requirements.

Section 7. Effective Date. This Ordinance shall take effect immediately from and after its passage.

Section 8. Amendment of Conflicting Ordinances. All ordinances or parts of ordinances in conflict with this Ordinance are hereby amended to the extent of a conflict herewith. In the event of a conflict between another ordinance of the City and this Ordinance, this Ordinance shall control.

Section 9. Savings Clause. All rights and remedies of the City of Manor are expressly saved as to any and all violations of the provisions of any ordinances within the City which have accrued at the time of the effective date of this Ordinance affecting zoning; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

Section 10. Severability. If any provision of this Ordinance or the application of any provision to any person or circumstance is held invalid, the invalidity shall not affect other provisions or applications hereof which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are declared to be severable.

Section 11. Open Meetings. It is hereby officially found and determined that the meeting at which this Ordinance is passed was open to the public as required and that public notice of the time, place, and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Tex. Gov't. Code.

PASSED AND APPROVED on this _____ day of _____, 2023.

ATTEST:

THE CITY OF MANOR, TEXAS

Lluvia Almaraz, City Secretary

Dr. Christopher Harvey, Mayor



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023
PREPARED BY: Scott Dunlop, Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Planned Unit Development (PUD) Amendment for the Manor Heights (Carillon) Subdivision located at 13201 Old Kimbro Road, Manor, TX.

Applicant: Kimley Horn and Associates, Inc

Owner: RHOF, LLC

BACKGROUND/SUMMARY:

This amendment:

1. Adds 9.41 acres of C-2 commercial to a tract that fronts along Old Kimbro Road and connects to existing commercial along US 290. The area was left as undeveloped open space and not counted as parkland since there was a higher level of soil contamination from a prior use of property (gun range). The soil can be remediated to permit commercial uses, but not residential.
2. Updates the list of permitted uses in NB and C-2 to match current codes in regards to allowable uses, conditions on uses, specific use permits, and terminology/definitions.
3. Modifies tables to show increase in commercial acreages and decrease in open space acreages
4. Updates architectural standards to provide for double-height garages, but limits the number to 20% of homes in sections 2-1A and 2-1B. Total of 32 houses.

LEGAL REVIEW: *Not Applicable*
FISCAL IMPACT: *NO*
PRESENTATION: *NO*
ATTACHMENTS: *YES*

- Letter of intent
- Amended PUD
- Mailing Labels and Notice

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve a Planned Unit Development (PUD) Amendment for the Manor Heights (Carillon) Subdivision located at 13201 Old Kimbro Road, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**

December 15, 2022

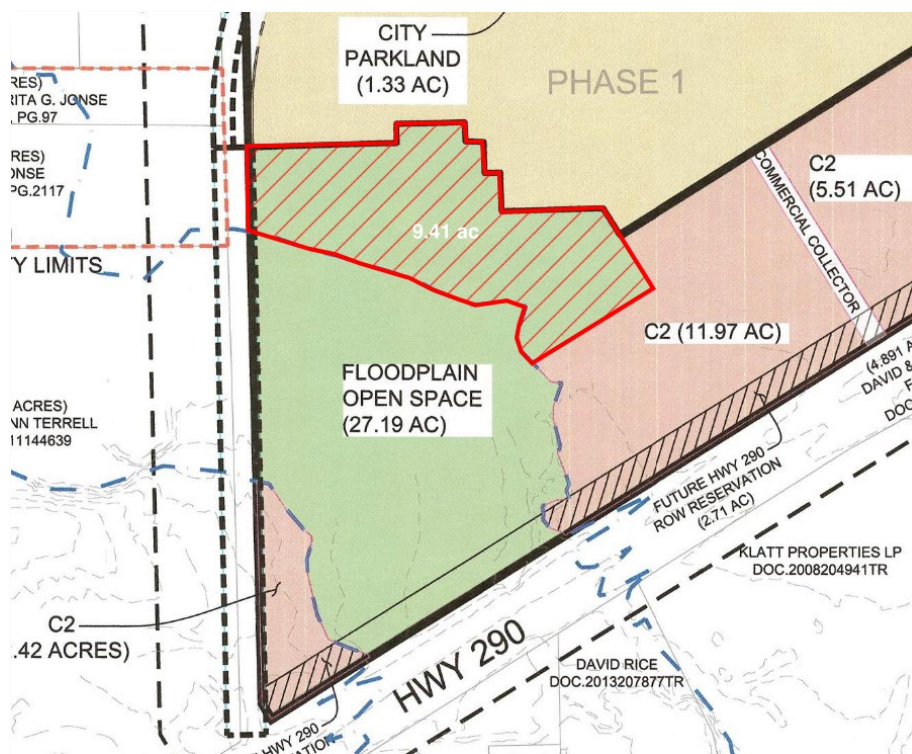
City of Manor
Attn: Scott Dunlop
105 E. Eggleston St.
Manor, Texas 78653

Re: Application for to amend the Manor Heights PUD to amend the base zoning on an approximately 9.41 acre portion of the PUD generally located at 13201 Old Kimbro Road (TCAD 236952)

To Whom It May Concern:

Please accept this Summary Letter for the above-referenced project. The Property to be rezoning is located at 13201 Old Kimbro Road in Manor, Travis County, Texas.

The proposed amendment intends to modify the base zoning of an approximately 9.41-acre parcel within the PUD from Floodplain/Open Space designation to Highway Commercial (C-2). Also, proposed are updates to the permitted use table to match the current UDC and modify the table to allow mini-storage warehouse as a permitted use with certain conditions.



As part of the PUD amendment, the uses in the respective zoning districts were modified to remove certain uses, add certain uses, or update to add uses that would comply with the current zoning district. Below, a table outlines the uses in each zoning district and what changes were made.

Modified C-2

Land Use	Status
Adult Day Care new use	Updated to match current C-2 zoning district
Alcoholic Beverage Establishment	Updated to match current C-2 zoning district
Amusement (indoor) (C)	Updated to match current C-2 zoning district
Amusement (outdoor) (C)	Updated to match current C-2 zoning district
Antique Shop new use	Updated to match current C-2 zoning district
Art Gallery	No change
Art Workshop	No change
Auto rental (C)	Conditional in current C-2 zoning district
Automobile repair minor (C)	Conditional in current C-2 zoning district
Automobile repair, major (C)	Updated to match current C-2 zoning district
Automobile sales (C)	Conditional in current C-2 zoning district
Automobile washing (C)	Conditional in current C-2 zoning district
Aviation services remove	Removed
Bail bond remove – Included in Financial Services, alternative	Removed (included in an updated land use category)
Brewery, micro new use	Updated to match current C-2 zoning district
Brewpub new use	Updated to match current C-2 zoning district
Business support services	Updated to match current C-2 zoning district
Building maintenance Services remove – Included in Business Support Services	Removed (included in an updated land use category)
Business and trade schools remove – Included in School, business or trade	Removed (included in an updated land use category)
Camp remove	Removed
Campground remove	Removed
Carriage stable remove	Removed
Cemetery remove	Removed

Child Care Center	Updated to match current C-2 zoning district
Club or Lodge	No change
College or University remove – Included in School, college or university	Removed (included in an updated land use category)
Commercial Blood Plasma (C) remove	Removed
Commercial off Street parking remove	Removed
Commercial service facilities remove – Included in Commercial Services or Facilities	Removed (included in an updated land use category)
Commercial services or facilities	Updated to match current C-2 zoning district
Communication Services remove	Removed
Community Events remove – Included in Event Center	Removed (included in an updated land use category)
Community Recreation remove – Undefined term, included in Amusement Indoor, Event Center	Removed (included in an updated land use category)
Construction and equipment sales (minor)	Updated to match current C-2 zoning district
Construction Sales and Services remove – Included in Construction and Equipment Sales (minor)	Removed (included in an updated land use category)
Consumer repair services	No change
Convenience Storage remove	Removed
Counseling Services remove	Removed
Day Care Services remove – Included in Child Care Center	Removed (included in an updated land use category)
Distillery, micro new use	Updated to match current C-2 zoning district
Employee Recreation remove - Undefined term, included in Amusement Indoor, Event Center	Removed (included in an updated land use category)
Event Center new use	Updated to match current C-2 zoning district
Financial Services (C)	Conditional in current C-2 zoning district
Financial Services, alternative (C)	Updated to match current C-2 zoning district
Florist (C)	Conditional in current C-2 zoning district
Food Court Establishment remove	Removed
Food preparation (C)	Conditional in current C-2 Zoning district
Food sales (C)	Conditional in current C-2 zoning district
Funeral services (C)	Conditional in current C-2 zoning district

Game Rooms (C/S)	C/S in current C-2 zoning district
Garden Center (C)	Updated to match current C-2 zoning district
Gasoline Station (limited) (C/S)	Updated to match current C-2 zoning district
General Retail sales (convenience)	Updated to match current C-2 zoning district
General Retail sales (general)	Updated to match current C-2 zoning district
Government Facilities	Updated to match current C-2 zoning district
Hotel & motel remove – Included in Hotel	Removed (included in an updated land use category)
Hotel (C)	Updated to match current C-2 zoning district
Indoor entertainment remove – Included in Amusement (indoor)	Removed (included in an updated land use category)
Indoor sports and recreation remove - Included in Amusement (indoor)	Removed (included in an updated land use category)
Kennels (C)	Conditional in current C-2 zoning district
Laundry Services	No change
Laundry Services (self)	Updated to match current C-2 zoning district
Liquor Sales	No change
Local utility services remove – Included in Utility Services, minor	Removed (included in an updated land use category)
Marina remove	Updated to match current C-2 zoning district
Mini-storage warehouse (C)*	Updated to match current C-2 zoning district
Monument retail sales remove – Included in General Retail Sales	Removed (included in an updated land use category)
Offices, government	Updated to match current C-2 zoning district
Off-site accessory parking	No change
Outdoor entertainment remove – Included in Amusement (outdoor)	Removed (included in an updated land use category)
Outdoor sports and recreation remove - Included in Amusement (outdoor)	Removed (included in an updated land use category)
Park and recreation facilities remove - Included in Amusement (outdoor)	Removed (included in an updated land use category)
Pawnshop (C)	No change
Personal Improvement Services	No change
Personal Services	No change
Pet Services remove – Included in Pet Store	Removed (included in an updated land use category)

Pet Store (C)	Updated to match current C-2 zoning district
Plant Nursery remove – Included in Garden Center	Removed (included in updated land use category)
Postal Facilities remove – Included in Government Facilities	Removed (included in updated land use category)
Printing and Publishing (C)	Conditional in current C-2 zoning district
Private primary and secondary education remove – Included in School, private or parochial	Removed (included in updated land use category)
Public primary and secondary education remove – Included in School, public	Removed (included in updated land use category)
Recreation equipment sales (C)	Conditional in current C-2 zoning district
Religious assembly	No change
Restaurant	No change
Restaurant drive-in or drive-through (C)	Conditional in current C-2 zoning district
Safety Services remove - Included in Government Facilities and Offices, government	Removed (included in updated land use category)
School, boarding new use	Updated to match current C-2 zoning district
School, business or trade	Updated to match current C-2 zoning district
School, college or university	Updated to match current C-2 zoning district
School, private or parochial	Updated to match current C-2 zoning district
School, public	Updated to match current C-2 zoning district
Semi-permanent food establishment (C)	Updated to match current C-2 zoning district
Service Station remove – Included Gas Station (limited)	Removed (included in updated land use category)
Smoke shop or tobacco store new use	Updated to match current C-2 zoning district
Theater	No change
Transportation terminal (C)	Updated to match current C-2 zoning district
Truck and trailer sales and rental (C)	Updated to match current C-2 zoning district
Transportation services remove	Removed
Utility Services, minor	Updated to match current C-2 zoning district
Veterinary Services, large (C)	Updated to match current C-2 zoning district

Veterinary Services, small (C)	Updated to match current C-2 zoning district
Wireless Transmission Facility, attached (C) new use	Updated to match current C-2 zoning district
Wireless Transmission Facility, stealth (C) new use	Updated to match current C-2 zoning district
All other civic remove - Included in Government Facilities and Offices, government	Removed (included in updated land use category)

If you have any questions or comments regarding this request, please contact me at 512-617-8504.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Ethan Harwell
Project Manager

December 15, 2022

Ethan Harwell
Kimley-Horn and Associates, Inc.
10814 Jollyville Road, Campus IV, Suite 200
Austin, TX 78759

Re: Agent Authorization – Application to Amend an approximately 9.41 ac portion of the Manor Heights PUD generally located at 13201 Old Kimbro Road.

Dear Mr. Harwell:

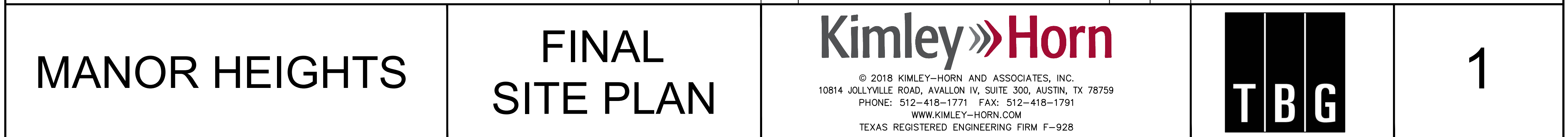
This letter shall serve as authorization for Kimley-Horn and Associates, Inc. to represent and act on behalf of RHOF LLC for the purpose of preparing and submitting all required applications associated with the rezoning application for the approximately 9.41 acre tract within the Manor Heights PUD generally located at 13201 Old Kimbro Road.

Please contact Jordan Litwiniak at 716-675-1200 if additional information is required.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jordan Litwiniak', with a stylized flourish at the end.

RHOF LLC
Name: Jordan Litwiniak
Title: Manager



PUD DATA TABLES

1. APPROVED LAND USES

THE LAND USES SHOWN ON THE PLAN SHALL BE PERMITTED. CHANGES TO THE LOCATION OF THE LAND USES SHOWN ON THE PLAN SHALL BE GRANTED BY THE PLANNING AND ZONING COMMISSION IF: (A) THE PROPOSED LAND USES ARE CONSISTENT WITH THE FOLLOWING TABLE; OR (B) THE CHANGE IN LOCATION OF LAND USES DOES NOT RESULT IN A HIGHER DENSITY USE THAN THE USE SHOWN ON THE PLAN. ANY APPLICATION FOR A CHANGE IN LOCATION OF LAND USES IS DEEMED APPROVED IF THE PLANNING AND ZONING COMMISSION DOES NOT DISAPPROVE IT WITHIN 30 DAYS AFTER THE DATE THE APPLICATION IS FILED WITH THE CITY SECRETARY. IF THE PLANNING AND ZONING COMMISSION DISAPPROVES AN APPLICATION FOR A CHANGE OF LAND USES, THEN THE APPLICANT MAY APPEAL THAT DISAPPROVAL TO THE CITY COUNCIL. THE CITY COUNCIL WILL ACT ON THE APPEAL WITHIN 30 DAYS OF THE DATE THE APPEAL IS FILED WITH THE CITY SECRETARY.

LAND USE	ORIGINAL PUD ACREAGE	AMENDMENT	TOTAL ACREAGE	PERCENTAGE OF TOTAL ACREAGE
SINGLE-FAMILY RESIDENTIAL (PUD SF-1)	234.0	0.0	234.0	48.98%
PUD MEDIUM DENSITY	46.6	0.0	46.6	9.74%
HIGHWAY COMMERCIAL (C-2)	19.8	9.4	29.2	6.11%
NEIGHBORHOOD BUSINESS (NB)	3.9	0.0	3.9	0.82%
HOA AMENITY	1.7	0.0	1.7	0.36%
CITY PARKLAND	25.9	0.0	25.9	5.42%
FLOODPLAIN OPEN SPACE	126.2	-9.4	116.8	24.45%
MAJOR ROADWAYS	19.7	0.0	19.7	4.12%
TOTAL	477.8	0.0	477.8	100%

2. MINIMUM LOT SIZE, HEIGHT AND PLACEMENT REQUIREMENTS

LAND USE	FRONT YARD SETBACK (FT)	SIDE YARD SETBACK (FT)	STREET SIDE YARD SETBACK (FT)	REAR YARD SETBACK (FT)	MINIMUM LOT SIZE (SF)	MINIMUM LOT WIDTH (FT)	MAXIMUM HEIGHT LIMIT (FT)
PUD SF-1	20	5	15	10	6,250	50	35
PUD MEDIUM DENSITY	*10 OR 20	5	15	* 20 OR 10	3,300	30	35
C-2 AND NB	25	7	15	15	7,500	50	60

* FOR LOTS WITH PROPOSED 10-FOOT FRONT YARD SETBACKS, ALLEYS ARE TO BE PROVIDED ALONG WITH REQUIRED 20' REAR YARD SETBACK TO ACCOMMODATE FOR PARKING REQUIREMENTS. FOR LOTS WITH 10-FOOT REAR YARD SETBACKS, A 20' FRONT YARD SETBACK MUST BE PROVIDED TO ACCOMMODATE FOR PARKING REQUIREMENTS

3. LOT COVERAGE

LAND USE	MAIN BUILDINGS	MAIN AND ACCESSORY BUILDINGS
PUD SF-1	50%	60%
PUD MEDIUM DENSITY	55%	65%
C-2 AND NB	60%	70%
CITY PARKLAND	50%	60%

4. PARKING

OFF-STREET PARKING FOR MORE THAN FIVE VEHICLES AND LOADING AREAS SHALL BE EFFECTIVELY SCREENED BY A PRIVATE FENCE, HEDGE, PLANTING OR NATURAL VEGETATION OR TOPOGRAPHY ON EACH SIDE WHICH ADJOINS LAND DESIGNATED FOR A RESIDENTIAL USE OR A RESIDENTIAL USE.

5. LANDSCAPING

THE FOLLOWING PERCENTAGE OF THE NET AREA OF EACH LOT SHALL BE LANDSCAPED. THE NET LOT AREA SHALL EQUAL THE TOTAL LOT AREA LESS THE AREA TO BE LEFT UNIMPROVED BECAUSE OF THE EXISTENCE OF NATURAL FEATURES THAT ARE WORTHY OF PRESERVATION OR THAT WOULD MAKE IMPROVEMENTS IMPRACTICAL.

LAND USE	NET LOT AREA
PUD SF-1	SEE NOTE
PUD MEDIUM DENSITY	20%
C-2 AND NB	15%
PARKLAND	20%

NOTE: MINIMUM LANDSCAPE REQUIREMENTS FOR EACH LOT WITHIN A SINGLE-FAMILY, OR DWELLING, SHALL BE A MINIMUM OF TWO (2) TWO-INCH TREES, SIX (6) TWO-GALLON SHRUBS AND LAWN GRASS FROM ALL SIDES OF THE STRUCTURE, TO THE FRONT, REAR, AND SIDE PROPERTY LINES. RESIDENTIAL STRUCTURES ON REVERSE FRONTAGE LOTS SHALL ALSO BE REQUIRED TO SCREEN THE REAR OF THE STRUCTURE FROM THE ABUTTING HIGHWAY, ACCESS ROAD, OR OTHER PUBLIC RIGHT-OF-WAYS.

LANDSCAPING PLACED WITHIN PUBLIC RIGHT-OF-WAY SHALL NOT BE CREDITED TO THE MINIMUM LANDSCAPE REQUIREMENTS BY THIS SECTION UNLESS THE DEVELOPER AND THE CITY NEGOTIATE A LICENSE AGREEMENT BY WHICH THE DEVELOPER ASSUMES THE RESPONSIBILITY FOR THE MAINTENANCE, REPAIR AND REPLACEMENT FOR ALL LANDSCAPING LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY.

6. LOT MIX FOR SF-1 PUD AREAS

THE FOLLOWING PERCENTAGE OF THE MIX LOT SHALL BE MET WITHIN SF-1 PUD AREAS WITHIN +/- 5%.

LOT WIDTH	PERCENTAGE MIX
50' WIDE	70%
55' WIDE	15%
60' WIDE	15%

7. MAXIMUM DENSITY

LAND USE	MINIMUM DENSITY	MAXIMUM DENSITY
PUD SF-1	1500 SF (LIVING AREA)	-
PUD MEDIUM DENSITY	1 UNIT/ACRE	9 UNITS PER ACRE
C-2 AND NB	0.2 FAR	1.8 FAR

8. PARKLAND

PARKLAND	
LAND USE	AREA (AC)
TOTAL AREA OF DEVELOPMENT	477.75
REQUIRED PARKLAND (5% OF TOTAL AREA)	23.9
PROPOSED PARKLAND OUTSIDE FLOODPLAIN	25.9
*EXCESS OF REQUIRED PARKLAND	2.0

9. TRAFFIC

ESTIMATED LAND USE TABLE FOR PRELIMINARY TRAFFIC IMPACT

Land Use Type	Square Feet or Units	% of Category	FAR
PUD SF-1	935-995	100%	-
Restaurant (Commercial)	20,735	8%	0.2
Retail (Commercial)	154,564	61%	0.25
Self Storage (Commercial)	78,670	31%	0.2
PUD MEDIUM DENSITY	340-400	100%	-
CITY PARKLAND	N/A	100%	-

NOTE: THESE VALUES ARE INTENDED FOR PRELIMINARY TRIP GENERATION REPORTS ONLY AND MAY VARY FROM VALUES PROVIDED IN THE FINAL SITE DESIGN AND TRAFFIC IMPACT ANALYSIS.

10. WET UTILITIES

ESTIMATED LUE'S FOR PRELIMINARY ANALYSIS

SITE SUMMARY 477.8 ACRES			
LAND USE	ACRES	NO. LOTS	LUE'S
PUD SF-1	234.0	935-995	935-995
PUD MEDIUM DENSITY	46.6	340-400	238-280*
C-2 AND NB	33.1	N/A	250**
HOA AMENITY	1.7	-	5***
CITY PARKLAND	25.9	-	6***
OPEN SPACE FLOODPLAIN	116.8	-	-
MAJOR ROADWAYS	19.7	-	-
TOTALS	477.8	-	1435-1536

* PUD MEDIUM DENSITY (9 UNITS/ACRE) (7 LUE/UNIT)
** COMMERCIAL : 10% RESTAURANT (200 SF/LUE), 90% RETAIL (1660 SF/ LUE)
*** CITY PARKLAND (6 LUE's)

NOTE: THESE VALUES ARE INTENDED FOR PRELIMINARY ANALYSIS ONLY AND MAY VARY FROM VALUES PROVIDED IN THE FINAL SITE DESIGN.

PERMITTED NEIGHBORHOOD BUSINESS (NB)

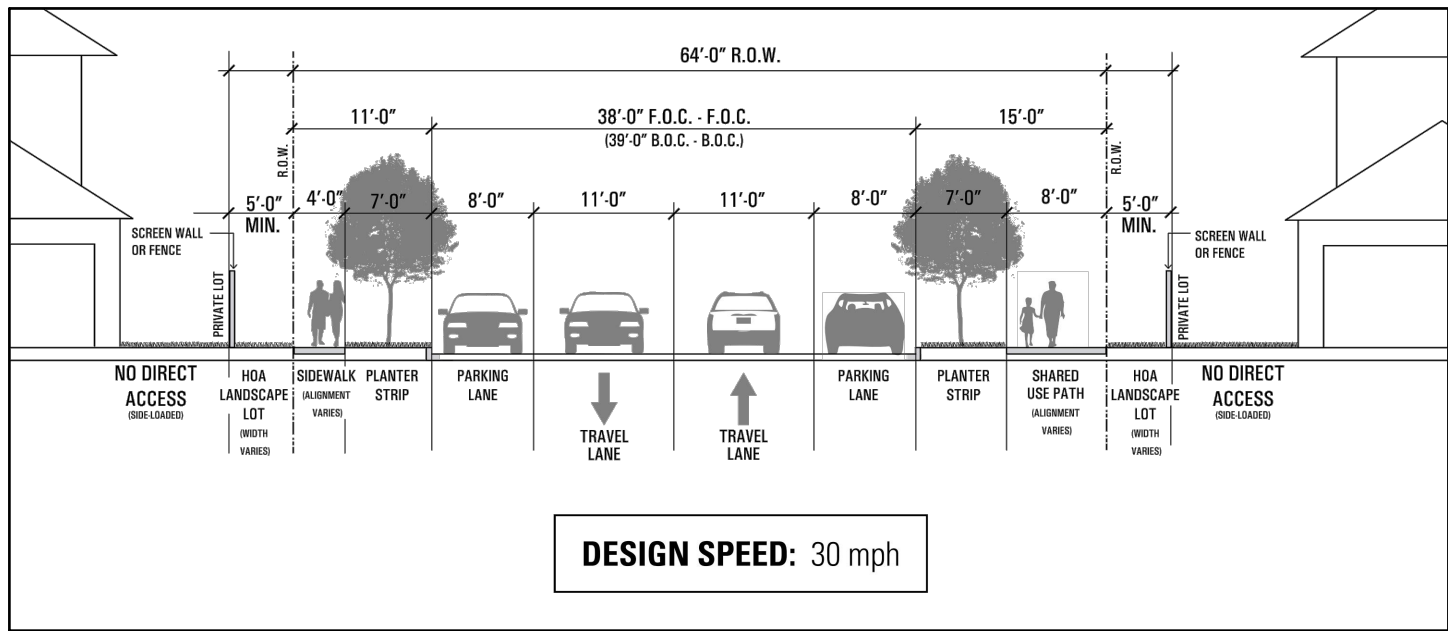
Amusement (indoor) C
Antique Shop P
Art Gallery P
Art Workshop P
Business Support Services P
Child Care Center P
Club or Lounge P
Community Garden C
Communication services or facilities P
Consumer Repair Services P
Event Center C
Financial Services C
Florist C
Food Preparation C
Food Sales C
Funeral Services C
General Retail (convenience) P
General Retail (General) P
Government Facilities P
Hospital Services P
Hotel C
Laundry Services (self) P
Liquor Sales C
Medical Clinic P
Offices, government P
Offices, medical P
Offices, professional P
Personal Improvement Services P
Personal Services P
Pet Store P
Printing and Publishing C
Product development services (general) P
Religious Assembly P
Restaurant P
Research services (general) P
School, boarding P
School, business or trade P
School, college or university P
School, private or parochial P
School, public P
Veterinary Services, small C
Wireless transmission facilities, attached C
Wireless transmission facilities, stealth C

PERMITTED MEDIUM COMMERCIAL (C2)

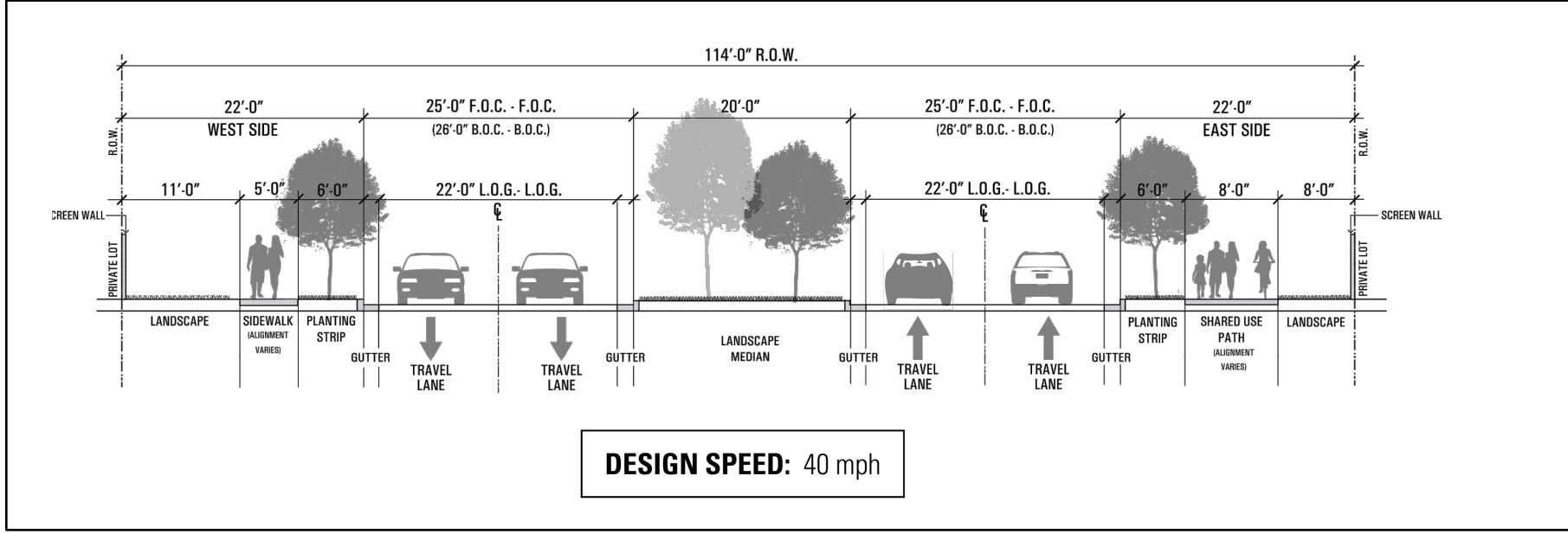
Adult Day Care P
Alcoholic Beverage Establishment P
Amusement (Indoor) C
Amusement (Outdoor) C
Antique Shop P
Art Studio or Gallery P
Automobile Repair (major) C
Automobile Repair (minor) C
Automobile Washing C
Brewery, micro P
Brewpub P
Business Support Services P
Child Care Center P
Club or Lodge P
Commercial Off-Street Parking C
Communication Services or Facilities P
Construction and Equipment Sales (minor) P
Consumer Repair Services P
Distillery, micro P
Event Center P
Financial Services C
Florist C
Food Court Establishment C/S
Food Preparation C
Food Sales C
Funeral Services C
Garden Center C
Gasoline Station (full service) C/S
Gasoline Station (limited) C/S
General Retail Sales (convenience) P
General Retail Sales (general) P
Governmental Facilities P
Hotel C
Kennel C
Liquor Sales P
Mini-storage Warehouse C *See note 25
Offices, Government P
Offices, Showroom P
Off-site Accessory Parking P
Personal Improvement Services P
Personal Services P
Pet Store C
Printing and Publishing C
Religious Assembly P
Restaurant P
Restaurant--Drive-in or Drive-through C
School, boarding P
School, business or trade P
School, college or university P
School, private or parochial P
School, public P
Smoke shop or tobacco store P
Theatre P
Utility Services, minor P
Veterinary Services, large C
Veterinary Services, small C
Wireless Transmission Facility, attached C
Wireless Transmission Facility, stealth C

PUD NOTES

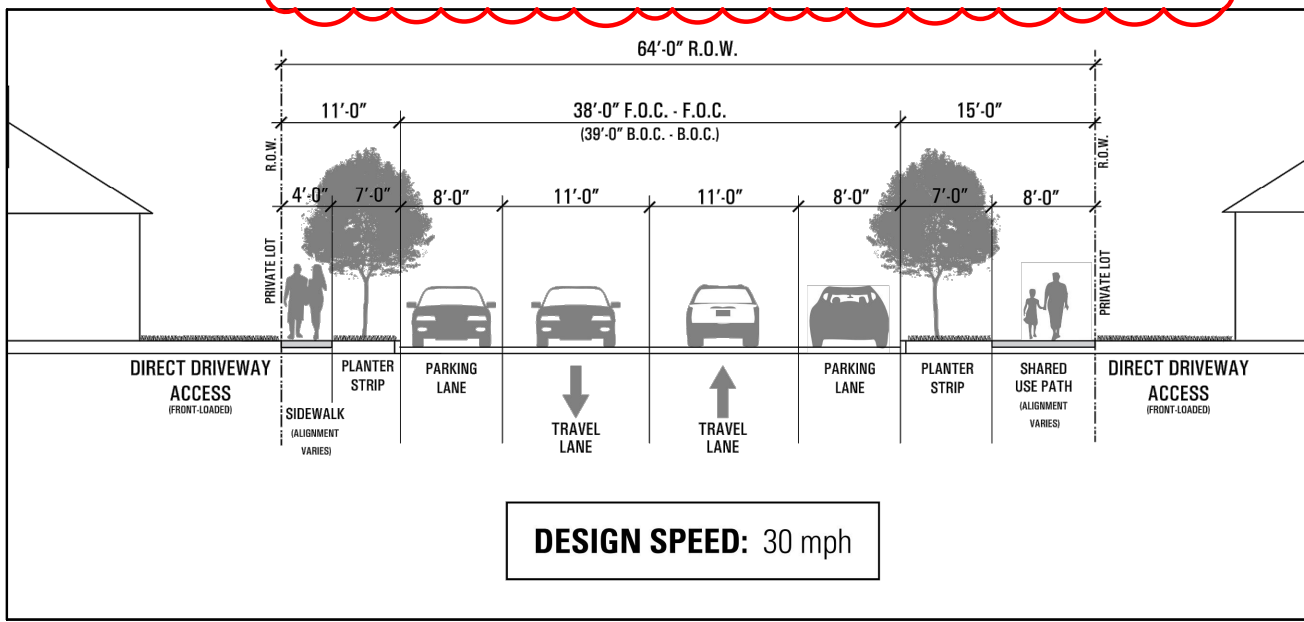
- AN AERIAL PHOTOGRAPH MAY BE SUBMITTED AT THE PRELIMINARY PLAT STAGE RATHER THAN A TREE SURVEY.
- AN INVENTORY OF SIGNIFICANT TREES THAT IDENTIFIES THE NUMBER OF SIGNIFICANT TREES BY CATEGORY (TREES 18 INCHES IN CALIPER OR LARGER AND TREES BETWEEN 8 AND 18 INCHES IN CALIPER) TO REMAIN DURING CONSTRUCTION AND THE NUMBER OF SIGNIFICANT TREES IN EACH CATEGORY DESIGNATED TO BE REMOVED DURING CONSTRUCTION SHALL BE SUBMITTED WITH CONSTRUCTION PLANS.
- THE NUMBER OF REPLACEMENT TREES THAT WILL BE INSTALLED, WITHOUT THE IDENTIFICATION OF THE PARTICULAR LOCATION AT WHICH THE REPLACEMENT TREES SHALL BE INSTALLED, WILL BE SUBMITTED WITH FOR REVIEW WITH THE CONSTRUCTION PLANS, ON A PER PHASE BASIS.
- SIGNIFICANT COTTONWOOD, HACKBERRY OR MESQUITE TREES REMOVED SHALL BE REPLACED AT A RATE OF 50% PER CALIPER INCH WITH AN APPROVED HARDWOOD TREE. ALL OTHER SIGNIFICANT TREES MUST BE REPLACED AT THE RATIOS DEFINED IN THE CITY'S SUBDIVISION ORDINANCE.
- THE MINIMUM LOT AREA AND LOT WIDTH REQUIREMENTS (INCLUDING THE PERCENTAGE OF TOTAL LOTS WITHIN THE LAND PLAN THAT ARE PERMITTED TO BE OF SUCH MINIMUM LOT AREA AND LOT WIDTH CATEGORY), HEIGHT AND SETBACK REQUIREMENTS, LOT COVERAGE REQUIREMENTS, PARKING REQUIREMENTS, AND LANDSCAPING REQUIREMENTS FOR EACH LOT SHALL BE AS SET FORTH IN THE MINIMUM DEVELOPMENT STANDARDS FOR LOTS WITHIN THE LAND PLAN AND OUTSIDE THE CORPORATE BOUNDARIES OF THE CITY OR AS SET FORTH IN THE PUD VARIANCES FOR LOTS WITHIN THE PUD AND THE CORPORATE BOUNDARIES OF THE CITY.
- LOTS SHALL NOT BE REQUIRED TO FACE A SIMILAR LOT ACROSS THE STREET.
- SIDE LOT LINES SHALL NOT BE REQUIRED TO PROJECT AWAY FROM THE FRONT LOT LINE AT APPROXIMATELY RIGHT ANGLES TO STREET LINES AND RADIAL TO CURVED STREET LINES.
- THE CONSTRUCTION OF SIDEWALKS IN RESIDENTIAL AND COMMERCIAL AREAS NEED NOT BE COMPLETED PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF A FINAL PLAT, BUT MUST BE COMPLETED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR WITHIN 2 YEARS FROM THE APPROVAL OF THE FINAL PLAT. A COST ESTIMATE FOR THE CONSTRUCTION OF ANY SIDEWALKS IN RESIDENTIAL AREAS NOT CONSTRUCTED PRIOR TO THE FINAL APPROVAL AND ACCEPTANCE OF THE FINAL PLAT SHALL BE PREPARED AND A BOND FOR 110% OF SUCH COSTS SHALL BE POSTED WITH THE CITY. EACH YEAR THE DEVELOPER AND CITY MAY AGREE TO THE ADDITIONAL SIDEWALKS IN RESIDENTIAL AREAS THAT WERE COMPLETED DURING THE PREVIOUS YEAR AND REDUCE THE AMOUNT OF THE BOND TO REFLECT THE CONSTRUCTION COSTS OF THE SIDEWALKS THAT HAVE BEEN COMPLETED. SIDEWALKS IN RESIDENTIAL AREAS NOT COMPLETED PRIOR TO THE END OF THE 2-YEAR PERIOD SHALL BE COMPLETED BY THE DEVELOPER OR BY THE CITY WITH THE BOND FUNDS. FAILURE TO PROVIDE SUFFICIENT BONDS OR COMPLETE THE SIDEWALKS IN RESIDENTIAL AREAS SHALL NOT OBLIGATE THE CITY TO BUILD SIDEWALKS. THE CONSTRUCTION OF SIDEWALKS IN NON-RESIDENTIAL AREAS SHALL BE COMPLETED DURING SUBDIVISION CONSTRUCTION.
- THE MINIMUM SINGLE-FAMILY RESIDENTIAL LOT SHALL BE 6,250 SQUARE FEET WITHIN PUD-SF-1, AND 3300 SQUARE FEET WITHIN PUD-MEDIUM DENSITY.
- LOT FRONTAGE WIDTHS OF PUD SF-1 SHALL BE AS FOLLOWS:
 - ALL LOTS EXCEPT THOSE IN CUL-DE-SACS OR ALONG A CURVED ROADWAY TO HAVE A MINIMUM FRONTAGE OF NO LESS THAN 50 FEET.
 - LOTS ALONG CUL-DE-SACS AND CURVED ROADWAY TO HAVE A MINIMUM FRONTAGE OF NO LESS THAN 30 FEET AT THE RIGHT OF WAY, AND 50' WIDE FRONTAGE MEASURED AT THE PROPERTY SETBACK LINE.
- SINGLE-FAMILY RESIDENTIAL LOTS HAVE A MINIMUM SIDE SET BACK OF FIVE (5) FEET FOR EACH LOT.
- SINGLE-FAMILY RESIDENTIAL LOTS HAVE A MINIMUM REAR SET BACK OF TEN (10) FEET FOR EACH LOT.
- OFF-STREET PARKING SPACES AND LOADING FACILITIES FOR THE COMMERCIAL TRACTS HAVE BEEN CONTEMPLATED AND WILL MEET CITY OF MANOR'S PARKING CALCULATION TABLES REQUIREMENTS.
- EXISTING SITE TOPOGRAPHY CONTAINS RELATIVELY FLAT SLOPES RANGING FROM 1% TO 5%. PROPOSED ROADWAY GRADES WILL BE SUITABLE FOR EMERGENCY ACCESS AND WILL MEET CITY OF AUSTIN TRANSPORTATION CRITERIA MANUAL AND EMERGENCY SERVICE DISTRICT 12 REQUIREMENTS.
- LANDSCAPING AND SCREENING WILL BE INTEGRATED INTO THE FINAL OVERALL SITE DESIGN AND WILL BE PROVIDED TO CREATE ADEQUATE BUFFERS TO SHIELD LIGHTS, NOISE, MOVEMENT OR ACTIVITIES FROM ADJACENT PROPERTIES.
- NO DUPLEXES ARE ALLOWED IN THIS PUD.
- THE DEVELOPMENT WILL BE IN ACCORDANCE WITH THE ENVIRONMENTAL ASSESSMENT FOR THE SITE.
- MINIMUM ON-SITE PARKING REQUIREMENTS FOR PUD MEDIUM DENSITIES SHALL BE TWO SPACES FOR EACH LIVING UNIT AND ONE-HALF SPACE FOR EACH ADDITIONAL BEDROOM ABOVE TWO PLUS 10% ADDITIONAL SPACES FOR VISITOR PARKING. TANDEM SPACES ARE ALLOWABLE. OFF-SITE PARKING TO MEET THIS PARKING REQUIREMENT IS SUBJECT TO APPROVAL BY THE CITY DEVELOPMENT SERVICES DEPARTMENT.
- ALL RESIDENTIAL HOMES WITHIN THIS PUD WILL FOLLOW THE DESIGN STANDARDS THAT ARE AGREED UPON BETWEEN THE DEVELOPER AND CITY OF MANOR.
- THERE WILL BE A (4) FOUR HOUR MAXIMUM TIME LIMIT FOR THE PARKING ON RESIDENTIAL STREETS.
- PUBLIC TRAILS SHOWN ALONG FLOODPLAIN, CITY PARKLAND, AND OPEN SPACE SHALL BE A MINIMUM OF 8' WIDE AND SHALL BE COMPOSED OF A COMBINATION OF DECOMPOSED GRANITE AND CONCRETE DEPENDING ON SITE CONDITIONS AT TRAIL LOCATIONS.
- THE MINIMUM FRONT FACADE MASONRY IS 30%, MASONRY MUST BE STONE, BRICK, OR STUCCO.
- HOUSE PLANS SUBMITTED TO THE CITY SHALL BE STAMPED OR INDICATED BY LETTER OF TRANSMITTAL (OR SIMILAR LANGUAGE) THAT THE ARCHITECTURAL REVIEW COMMITTEE (ARC) HAS REVIEWED AND APPROVED THE HOUSE PLANS AS COMPLYING WITH THE PUD ARCHITECTURAL DESIGN REQUIREMENTS FOR CITY REVIEW.
- LOTS UNDER THE PUD MEDIUM DENSITY CATEGORY SHALL BE ALLEY LOADED WHEN THE PROPOSED FRONT YARD SETBACK IS 10 FEET.
- THE MINI-STORAGE WAREHOUSE IS PERMITTED WITH ALL CONDITIONS ESTABLISHED IN UDC 14.02.018 FOR THE USE. ADDITIONALLY, NO PORTION OF THE MINI-STORAGE WAREHOUSE USE SHALL BE LOCATED WITHIN 500-FEET OF U.S. HIGHWAY 290.
- 20% OF THE HOMES LOCATED IN SECTIONS 2-1A AND 2-1B OF PHASE 2 OF THE PROJECT MAY INCLUDE THE "DOUBLE HEIGHT GARAGE PLAN", AS SUCH PLAN IS GENERALLY ILLUSTRATED ON SHEET 4 OF THIS PUD.



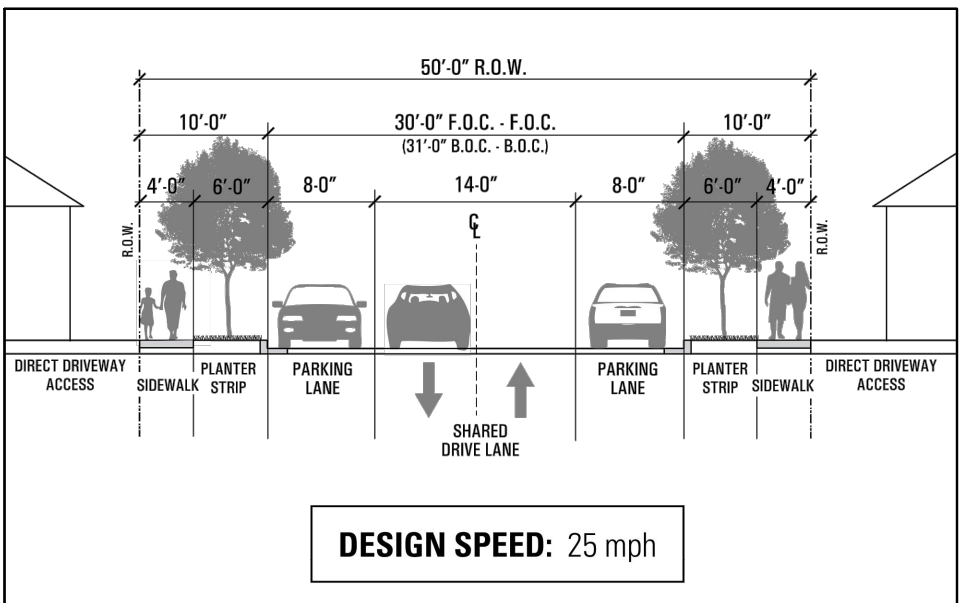
PRIMARY COLLECTOR (WITH NO SF-1 FRONTAGE)



MAD 4 DESIGN



PRIMARY COLLECTOR (WITH SF-1 FRONTAGE)



STANDARD RESIDENTIAL ROADWAY SECTION

APPROVAL AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL FOR THE CITY OF MANOR, TEXAS.

DATED THIS ____ DAY OF _____, 20__

BY:
HONORABLE MAYOR RITA G. JONSE
MAYOR OF THE CITY OF MANOR, TEXAS

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY OF COUNCIL.

DATED THIS ____ DAY OF _____, 20__

BY:
WILLIAM MYERS, CHAIRPERSON

DESCRIPTION	DATE	BY
UPDATE PLANACREAGE CALCULATIONS TO REFLECT OPEN SPACE LOT AT SOUTHEAST CORNER AS COMMERCIAL (C-2). ADD IN DOUBLE HEIGHT GARAGE NOTES.	06/30/23	SFS

MANOR HEIGHTS

PUD GUIDELINES & NOTES

Kimley»Horn

© 2018 KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300, AUSTIN, TX 78759
PHONE: 512-418-1771 FAX: 512-418-1791
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928

T B G

2



Front Facades are defined as residential elevations facing a street or park. Facades adjacent to a park with a wall or fence between the façade and park is not a front façade. Both street facing facades on corner lots are considered front facades and must be articulated; continue the siding material palette on both street-facing facades and incorporate architectural elements. The percentage of design elements, materials and detailing are not required to be consistent on both facades.

Streetscape Variety. The same elevation can be repeated no more than every fourth Lot. The same elevation cannot be placed on a Lot directly across the street or diagonal from any other plan with the same elevation. No elevations may be repeated on a cul-de-sac having less than six (6) Lots. No color palette may be repeated more than seven times on any block of more than 21 lots.



Variety of facade articulation. Front elevations shall have at least two different design features to break the wall plane. The following are examples of the types of design features that meet this requirement:

- Horizontal offsets, recesses or projections, breezeways, porte-cochères, canopies, ornamental cornices, ornamental and bay windows, vertical “elevation” off-sets, peaked roof forms, arches, architectural details such as tile work or moldings integrated into the façade, integrated planters or wing walls, accent materials, varied roof heights, or similar design features

Front Facades should create visual interest through horizontal and vertical articulation of the building elevation. A variety of textured surfaces and natural materials may be used, particularly at the pedestrian eye-level, with windows and entrances that face the street. Blank walls should be minimized.

Front Facades

1 August 2018

Page 3



Front-loaded Garage - Flush with Facade

1 August 2018

Page 7



On lots less than 55’ in frontage, entries must be one-story sealed entries and either recessed or covered with a porch, canopy, or other shading device. A variety of front door types is required.

Articulated use of details and accent materials should be used at building entries to emphasize human-scale. Building entrances may be marked by porch elements, trellises, canopies, awnings or special roof treatments. Oversized and grandiose archways are discouraged.



Front Entries

1 August 2018

Page 4



Garages projecting in front of the street facing building façade may protrude in front of the building provided that design features are provided on all exposed garage facades to de-emphasize the visual impact of the garage. A projecting garage may be side loaded (garage doors perpendicular to the street). Some combination of the following is required on a projecting garage:

- Extend and integrate the building siding materials on the garage façades
- Integrated trim or banding around the garage door that matches the residential building
- Garage door windows
- Single garage doors
- An architectural roof above the garage, such as a gabled roof

Front-loaded Garage - Projecting

1 August 2018

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Materials. Exterior surface area (all stories) may consist of ledge stone, fieldstone, cast stone, cementitious-fiber planking and board and batten (not panels), painted or tinted stucco and brick. Solid wood planking, decorative cementitious-fiber panels, galvanized metal and other durable materials may be used for accent features. The minimum front facade masonry is 30%, masonry must be stone, brick or stucco.

Detailing. Design elements and detailing, including the presence of windows and window treatments, trim detailing and exterior wall materials should be continued around the primary building; the percentage of design elements, materials and detailing may vary from façade to façade to encourage architectural variety and are not required to be consistent.

Residential buildings that back up to a collector street or higher street category shall be limited to one-story height to minimize the visual impact of rear facades being prominently viewed by the public.

Exteriors of Residential Buildings

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Stain or paint colors for garage doors shall be compatible with the color palette of the building façade siding or trim of the home to deemphasize the garage door and emphasize the architectural building façade. Detailing and articulation of the garage doors is required.

General. Individual or two-car garage doors are permitted. The use of three garage doors is permitted provided at least one of the doors is offset two feet from the other doors. The driveway width at the curb line may be no wider than 17’ or the width of a 2-door garage.

Garage Door Articulation

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A garage door recessed from the face of the front façade that emphasizes the living area of the home from the street is a permitted garage type.

Front-loaded Garage - Living Area Forward

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Simple roof lines are encouraged and can be achieved by including hips, gables, projections (e.g. dormers) and roof form changes in keeping with a selected architectural style. On buildings with pitched roofs, the minimum main roof pitch is 5:12. Lower roof pitches are acceptable on porch elements, awnings or architectural feature elements.

Pitched roofs shall be clad in 25-year minimum composition shingles or low reflectivity coated metal roofing materials. The materials and colors of canopies, awnings and trellises should be compatible with the roof materials and complement and harmonize with the exterior design of the building.

An overhead eave or porte-cochere may extend above the face of the garage door in front of the garage door face. The overhead eave or the porte-cochere may extend five feet into the building setback line.

Roofs and Overhead Structures

1 August 2018

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	DESCRIPTION	DATE	BY
⚠	UPDATE PLAN/ACREAGE CALCULATIONS TO REFLECT OPEN SPACE LOT AT SOUTHEAST CORNER AS COMMERCIAL (C-2). ADD IN DOUBLE HEIGHT GARAGE NOTES.	06/30/23	SFS

MANOR HEIGHTS

EXHIBIT B
PUD DESIGN
STANDARDS

Kimley»Horn

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3



Medium Density Residential

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MEDIUM DENSITY RESIDENTIAL

All guidelines set forth in in these Design Guidelines apply to this housing type. In addition, the following apply to Medium Density Residential buildings and site design:

Architectural style

A variety of quality and durable residential buildings within a condominium lot or small lot site must include a variety of architectural features and colors to establish an appealing streetscape character.

Form and mass

A single, large building mass should be avoided. Building designs should incorporate visually heavier and more massive elements, details or colors at the building base, and visually lighter elements, details or colors above the base. Groups of buildings must have variety of colors. Four-flat and Mansion Home buildings are permitted.

Long walls and facades

Up to six attached dwellings may be attached in a single row as a group.

Windows and transparency

All walls and elevations on all floors of attached residential buildings must include windows or doors with glass, except as appropriate to assure privacy for adjacent residents.

The PUD shall provide for a collection of privately owned, common open space lots set within the PUD and made available for residential use. Common open space will be designed to (i) serve the recreational needs of the residents (ii) provide places and opportunities for interaction within the community and (iii) provide opportunities for interaction with the natural environment.

All private open space and structures thereon shall be conveyed to and permanently owned and maintained by a Home Owner Association (HOA) or other responsible entity. The HOA may adopt rules and regulations regarding access, permitted uses, security (policing) and maintenance responsibilities for the open spaces.

Any lot designated as common open space shall consist of at least six thousand (6,000) square feet. The area of the common open space lot shall be measured and calculated to the property line of the lot.

Parking for common open space uses within the PUD may be provided with adjacent on-street parking. Off-street parking may also be provided within a common open space lot, at the option of the Developer.

Common Open Space

1 August 2018

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Medium Density Residential

1 August 2018

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Building roofs

On buildings with pitched roofs, the minimum roof pitch is 6:12 on the main structure. On buildings where flat roofs are the predominant roof type, parapet walls should be provided.

Mechanical equipment screening

Rooftop mechanical equipment must be hidden or screened with architecturally integral elements at least as high as the equipment to be screened. Makeshift equipment screens, such as wooden or plastic fences, are prohibited. Ground mounted mechanical equipment must be hidden or screened with architecturally integral wing walls and/or landscaping. Mechanical equipment must be located where their acoustics will minimize disruption to abutting residential dwelling units.

Solar panels and rain collection devices are exempt from mechanical equipment screening standards.

A Master Homeowner Association shall be created and maintained for the community, empowered to govern and establish design guidelines, review architectural and landscape designs and enforce regulations and design guidelines. These regulations and guidelines will provide practical design direction which will create a special residential community environment that is consistent with these architectural design guidelines.

Each new residential unit in Manor Heights will be subject to design criteria that will be detailed in design guidelines as referenced in the Declaration of Covenants, Conditions, and Restrictions (CCRs) to be established by Owner and enforced by the Architectural Review Committee (ARC) which will be created pursuant to the CCRs.

House plans submitted to The City shall be stamped or indicated by letter of transmittal (or similar language) that architectural review committee (ARC) has reviewed and approved the house plans as complying with the PUD Design Requirements for City Review.

Design Review and Enforcement

1 August 2018

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DOUBLE HEIGHT GARAGES (PHASE 2 ONLY) (SEE PUD NOTE 26)



DOUBLE HEIGHT GARAGES (PHASE 2 ONLY) (SEE PUD NOTE 26)

	DESCRIPTION	DATE	BY
⚠	UPDATE PLAN/ACREAGE CALCULATIONS TO REFLECT OPEN SPACE LOT AT SOUTHEAST CORNER AS COMMERCIAL (C-2). ADD IN DOUBLE HEIGHT GARAGE NOTES.	06/30/23	SFS

MANOR HEIGHTS

EXHIBIT B
PUD DESIGN
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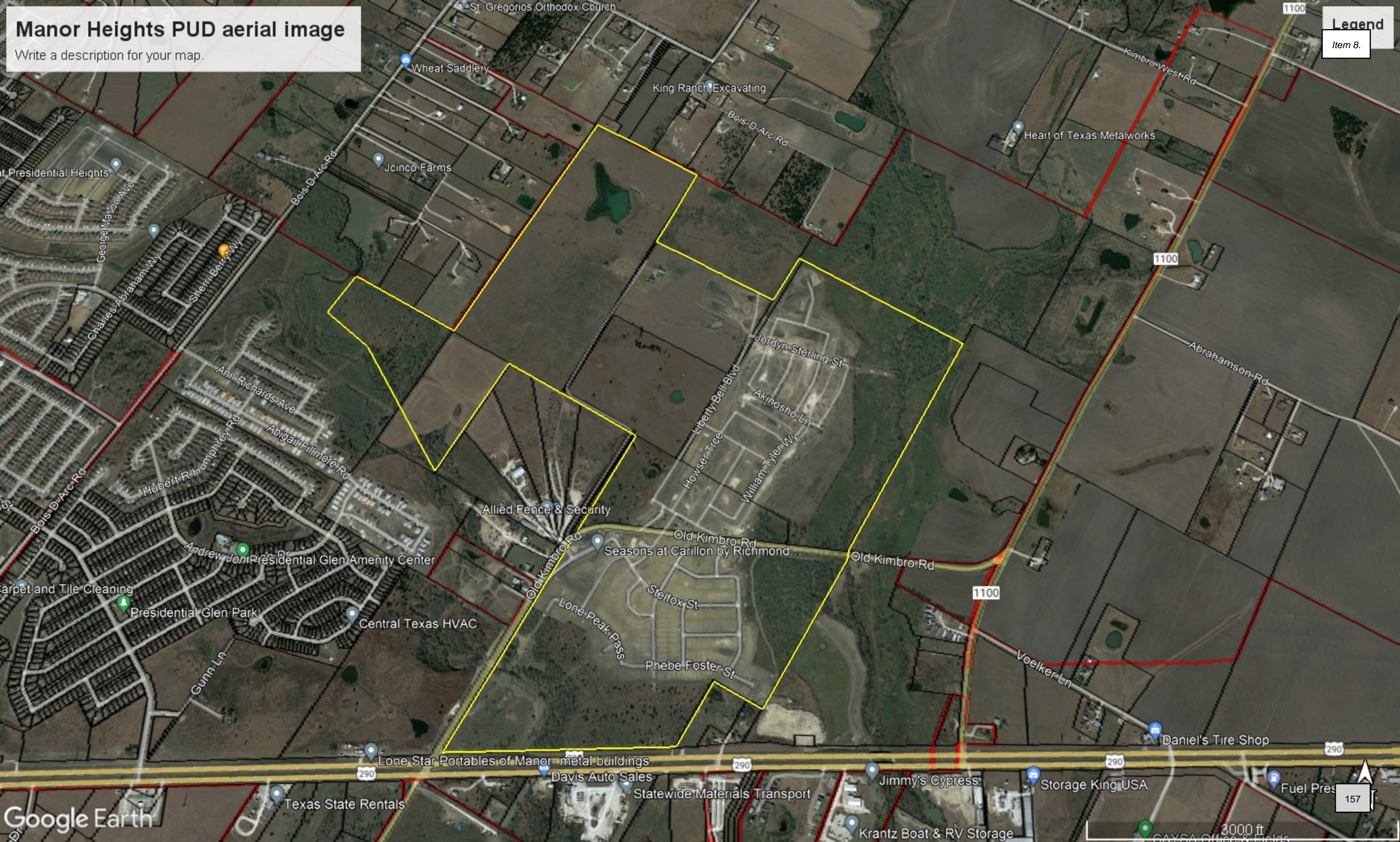
4

Manor Heights PUD aerial image

Write a description for your map.

Legend

Item 8.





8/30/2023

City of Manor Development Services

Notification for a PUD Amendment

Project Name: Manor Heights PUD Amendment

Case Number: 2022-P-1500-ZO

Case Manager: Michael Burrell

Contact: mburrell@manortx.gov – 512-215-8158

The City of Manor Planning and Zoning Commission and City Council will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon on a Planned Unit Development (PUD) Amendment for the Manor Heights (Carillon) Subdivision, one thousand three-hundred and ninety-five (1,395) lots on 477.8 acres, more or less, and being located at 13201 Old Kimbro Rd., Manor, TX. The request will be posted on the agenda as follows:

Public Hearing: Conduct a public hearing on a Planned Unit Development (PUD) Amendment for the Manor Heights (Carillon) Subdivision located at 13201 Old Kimbro Rd., Manor, TX.

Applicant: Kimley Horn

Owner: RHOF LLC

The Planning and Zoning Commission will meet at 6:30PM on September 13, 2023 at 105 East Eggleston Street in the City Hall Council Chambers.

The Manor City Council will meet at 7:00 PM on September 20, 2023 at 105 East Eggleston Street in the City Hall Council Chambers.

You are being notified because you own property within 300 feet of the property for which this PUD Amendment has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

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(T) 512.272.5555 • (F) 512.272.8636 • WWW.CITYOFMANOR.ORG

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DARSHIT R
208 ROLLING FORK BND
IRVING TX, 75039-3808

ALCANTARA MARCO
19617 CAROLINE HARRISON ST
MANOR, TX 78653-2478

CRUZ DANIEL MELCHOR
19621 CAROLINE HARRISON ST
MANOR, TX 78653-2478

FARHAT HUMAYUN & HAMIDA
19625 CAROLINE HARRISON ST
MANOR, TX 78653-2478

HAOUI ALI
19701 CAROLINE HARRISON ST
MANOR, TX 78653-2479

WORKMAN BRITTANY NICOLE
19705 CAROLINE HARRISON ST
MANOR, TX 78653-2479

RODRIGUEZ KATIE SUE & JOHN
THOMAS
19709 CAROLINE HARRISON ST
MANOR, TX 78653-2479

OCHOA MEZZIE LEE
19713 CAROLINE HARRISON ST
MANOR, TX 78653-2479

OTHMAN SAEB
19717 CAROLINE HARRISON ST
MANOR, TX 78653-2479

TAYLOR RAYNARD SCOTT
19721 CAROLINE HARRISON ST
MANOR, TX 78653-2479

DOMINGUEZ OMAR TORAL & LEONILA
HERNANDEZ CABRERA
19801 CAROLINE HARRISON ST
MANOR, TX 78653-2480

ASFAW ESKEDAR & BEGASHAW GEBRE
19805 CAROLINE HARRISON ST
MANOR, TX 78653-2480

PIEDRA JORGE LUIS SOSA
19809 CAROLINE HARRISON ST
MANOR, TX 78653-2480

CHRISTIAN ELADIO RODRIGUEZ
19813 CAROLINE HARRISON ST
MANOR, TX 78653-2480

DOUGLAS HOWARD III ETAL
19812 ANN RICHARDS AVE
MANOR, TX 78653-2473

ROJAS ROBERTO NORBERTO PEREZ &
DIANELIS ACOSTA MUNOZ
19808 ANN RICHARDS AVE
MANOR, TX 78653-2473

WALSH BRIAN EDWARD
19804 ANN RICHARDS AVE
MANOR, TX 78653-2473

MACIAS JAIME
19800 ANN RICHARDS AVE
MANOR, TX 78653-2473

HERNANDEZ-ALVAREZ IVETTE
19720 ANN RICHARDS AVE
MANOR, TX 78653-2472

FELICIANO MISSOKI JAIMES & ISIDRO
19716 ANN RICHARDS AVE
MANOR, TX 78653-2472

SALKELD JAMES B & AMERICA A
19704 ANN RICHARDS AVE
MANOR, TX 78653-2472

BYRD RODNEY
19620 ANN RICHARDS AVE
MANOR, TX 78653-2471

DURING OLUFUNMILAYO O
19608 ANN RICHARDS AVE
MANOR, TX 78653-2471

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SHAHAD SARMAH
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MANOR, TX 78653

CORDOVA-PINOT REBECCA & DANERY
JOHEL PINOT MORAZAN
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MANOR, TX 78653

TOVAR JOSE & MARIEL JUDITH
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LIMBU APANA PHAGO
19700 ANN RICHARDS AVE
MANOR, TX 78653-2472

KONGPACHIT JUSTIN THOM
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MANOR, TX 78653-2471

ECHELMAYER HENRY M
19604 ANN RICHARDS AVE
MANOR, TX 78653-2471

GOVEA CESAR
20004 PRICE DANIEL DR
MANOR, TX 78653

WALSH CAITLYN & CODY WALTHER
19912 ABIGAIL FILLMORE RD
MANOR, TX 78653

BENITEZ JAIENE & JUAN DAVID
DOMINGUEZ PACHECO
19820 ABIGAIL FILLMORE RD
MANOR, TX 78653

DAR MIKE
19813 ABIGAIL FILLMORE RD
MANOR, TX 78653

HESTAND DANA ELAINE
19825 ABIGAIL FILLMORE RD
MANOR, TX 78653

IRIGOLLEN CESAR & CYNTHIA L PEREZ
20220 ANDREW JOHNSON DR
MANOR, TX 78653

GUTIERREZ VICTOR VENE
JASMINA DEL CARMEN ACEVEDO
OLIVAS
19708 ANN RICHARDS AVE
MANOR, TX 78653-2472
TETTEY FERDINAND OWUSU
19624 ANN RICHARDS AVE
MANOR, TX 78653-2471

TORALES MARIA LAURA SANTOS
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MANOR, TX 78653-2471

MARTINEZ ROGELIO BENITEZ & JORGE
ARCE CHAPARRO
19600 ANN RICHARDS AVE
MANOR, TX 78653-2471

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20000 PRICE DANIEL DR
MANOR, TX 78653

OFORI-NKWAGYIE FREDERICK & MAVIS
19828 ABIGAIL FILLMORE RD
MANOR, TX 78653

SMITH JORDAN S
19816 ABIGAIL FILLMORE RD
MANOR, TX 78653

JAHANI NATASHA NUREZ & AL-KARIM
JAHANI
19817 ABIGAIL FILLMORE RD
MANOR, TX 78653

WYNNE JARED D WYNNE & ANNA
19829 ABIGAIL FILLMORE RD
MANOR, TX 78653

MARLER ROBERT & ALICIA
20216 ANDREW JOHNSON DR
MANOR, TX 78653

GOMEZ FLORES JORGE L & MARTHA
GONZALEZ GONZALEZ & JORGE L
GOMEZ GONZALEZ
20212 ANDREW JOHNSON DR
MANOR, TX 78653

LAKSHMINARAYANA VENKATESH
PRABHANJAN
21017 PRICE DANIEL DR
MANOR, TX 78653

VEERAMACHANENI RAVITEJ &
RAMYAPRATYUSHA TATIKONDA
21029 PRICE DANIEL DR
MANOR, TX 78653

ALVAREZ MIGUEL JR
13605 REBECCA LATIMER RD
MANOR, TX 78653

JIMENEZ DANIEL JONATHAN & JAIME
JIMENEZ MACEDONIO
13617 REBECCA LATIMER RD
MANOR, TX 78653

FEROSE JULIA MICHELLE & AJ
ANTHONY-JOSEPH FINK
21000 ABIGAIL FILLMORE RD
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BAWANI SHAMS ZULFIQAR
20020 ABIGAIL FILLMORE RD
MANOR, TX 78653

WOOLBERT KENNAN & LAURA
20008 ABIGAIL FILLMORE RD
MANOR, TX 78653

BERRY NICHOLAS
19916 ABIGAIL FILLMORE RD
MANOR, TX 78653

YIN FENGJIE & MINJAE JUNG
20013 ABIGAIL FILLMORE RD
MANOR, TX 78653

KNORI LAUREN & DYLAN REED
20208 ANDREW JOHNSON DR
MANOR, TX 78653

HOLMES ASPEN JADE & JARED SCOTT
ARAGON
21021 PRICE DANIEL DR
MANOR, TX 78653

GUERRERO SAMUEL
21031 PRICE DANIEL DR
MANOR, TX 78653

GRANT DENIANN
13609 REBECCA LATIMER RD
MANOR, TX 78653

NGUYEN LAM THANH
21008 ABIGAIL FILLMORE RD
MANOR, TX 78653

KANNAN SRIPATI
20028 ABIGAIL FILLMORE RD
MANOR, TX 78653

PANNELL CHRISTOPHER
20016 ABIGAIL FILLMORE RD
MANOR, TX 78653

LUCEY MICHAEL C & YAIZA E LARA
20004 ABIGAIL FILLMORE RD
MANOR, TX 78653

HASANOVA SAFIYYA & EMIL GARAYEV
20005 ABIGAIL FILLMORE RD
MANOR, TX 78653

REDIN CATHY JANE & KENNETH LEE
20017 ABIGAIL FILLMORE RD
MANOR, TX 78653

LE QUANG TUYEN, THI KIM
PHAM, PHAM QUYNH TRAM LE & THUY
TO UYEN LE

20204 ANDREW JOHNSON DR
MANOR, TX 78653
SANCHEZ BRANDON & BRAYAN
SANCHEZ CRUZ
21025 PRICE DANIEL DR
MANOR, TX 78653

PEREZ GABRIEL LEONGUERRERO
13601 REBECCA LATIMER RD
MANOR, TX 78653

KAMIKUBO HIKARU
13613 REBECCA LATIMER RD
MANOR, TX 78653

HARRINGTON PRISCILLA & BAMIDELE
OGUNTUASE
21004 ABIGAIL FILLMORE RD
MANOR, TX 78653

MARTINEZ MELANIE RENEE
20024 ABIGAIL FILLMORE RD
MANOR, TX 78653

MARROQUIN JEFFREY & LUCIA PINON
20012 ABIGAIL FILLMORE RD
MANOR, TX 78653

RODRIGUEZ JULIO CESAR BRIZUELA &
NORMA ANGELICA DIAZ ACOSTA
20000 ABIGAIL FILLMORE RD
MANOR, TX 78653

PENA JOSHUA CHARLES & ROBERT
MAHOR JR
20009 ABIGAIL FILLMORE RD
MANOR, TX 78653

KHAN AVNER ANWAR
20021 ABIGAIL FILLMORE RD
MANOR, TX 78653

TRUJILLO MARIA D MALDONADO &
ABRIL G RODRIGUEZ MALDONADO &
BEATRIZ MALDONADO
20025 ABIGAIL FILLMORE RD
MANOR, TX 78653
HICKMOTT CYNTHIA LENAN
21017 ABIGAIL FILLMORE RD
MANOR, TX 78653

DOMINGUEZ CARMEN M
20029 ABIGAIL FILLMORE RD
MANOR, TX 78653

REYES RICHARD & ADOLFINA
21001 ABIGAIL FILLMORE RD
MANOR, TX 78653

Item 8.

SAHA SANDIPAN
21021 ABIGAIL FILLMORE RD
MANOR, TX 78653

AVILA RICARDO MANUEL & YURIDIA
ESTELLA
21025 ABIGAIL FILLMORE RD
MANOR, TX 78653

ABDULMAJEED TARIQ
21029 ABIGAIL FILLMORE RD
MANOR, TX 78653

PATIL HEMANT JIVRAM
21028 PRICE DANIEL DR
MANOR, TX 78653

BLACK BRUCE FREDRICK JR & JENNIFER
WOLELY
21024 PRICE DANIEL DR
MANOR, TX 78653

RENFRO ROSS & WONCHANOK
VISITSAK
21020 PRICE DANIEL DR
MANOR, TX 78653

AL-GBURI AHMED SABRI KHAZENDAR &
MARYAM AL-GBURI
21016 PRICE DANIEL DR
MANOR, TX 78653

DICKEY ERIC ASHTON & MARTA
LORENA FONSECA
21012 PRICE DANIEL DR
MANOR, TX 78653

GUERRERO JOANA & CEZAR
20028 PRICE DANIEL DR
MANOR, TX 78653

RAUT NIDHI
20024 PRICE DANIEL DR
MANOR, TX 78653

SUAREZ JOSE A JIMENEZ
20020 PRICE DANIEL DR
MANOR, TX 78653

NGUYEN KHOA THANH
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MANOR, TX 78653

GONZALEZ ANA MARIA ESPARZA &
FRANCISCO LUCIO
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MANOR, TX 78653

KINCELL ALEX & KRYSTAL ALANA
KINCELL & FRANK KINCELL
20008 PRICE DANIEL DR
MANOR, TX 78653

CONTINENTAL HOMES OF TEXAS L P
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STE 400
AUSTIN, TX 78750

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LE MINH TAN
21005 ABIGAIL FILLMORE RD
MANOR, TX 78653

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ARLINGTON, TX 76006

DUQUE STATES LLC
2311 W HOWARD LN
AUSTIN, TX 78728



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023
PREPARED BY: Scott Dunlop, Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action a Final PUD for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX.

Applicant: Sotol Ventures

Owner: Dalton Wallace

BACKGROUND/SUMMARY:

Updates from Preliminary PUD Site Plan:

The Preliminary PUD Site Plan was approved by P&Z on 8/9/23 and by the City Council on 8/16/23. The Final PUD was updated to show an additional sidewalk trail connecting from a trail in Shadowglen to the entrance on the east side of the property as well as a painted crosswalk along the trail extending along the southern boundary where a minor road will cross the trail.

Project Background:

This Final PUD allows up to 325 single family lots with up to 80% of the lots being 50' and 20% being 60' wide. The minimum lot size is 6,000 (50' x 120') and the minimum dwelling unit size (heated/cooled area) is 1,700 sf.

There are 4.1 acres of C-2 Medium Commercial on FM 973 with certain uses prohibited.

The PUD is consistent with the land use designations in the Comprehensive Plan's Future Land Use Map with Commercial Corridor uses on FM 973 and Neighborhood uses between the commercial and Wilbarger Creek. The PUD is also consistent with the Trails Plan and Thoroughfare Plan in the Comprehensive Plan.

The PUD has 8.8 acres of non-floodplain, non-detention area parkland in three areas and connected by a trail system. The amount of parkland acreage exceeds code requirements by 3.88 acres. Within the parkland, they'll construct a 2-5 year old playground, 5-12 year old playground, minimum 20 stall parking lot, 10,000 sf dog park, minimum 20'x30' pavilion, and a basketball court. These are public amenities but maintained by the HOA.

Additionally, the owner is retaining the floodplain/open space but is dedicating an access easement for a regional trail that will be constructed with this PUD that connects to the Shadowglen trail(s) in the south and Monarch Ranch to the north, as well as internal trails that connect to the proposed Monarch Ranch internal trails. To provide a safe trail crossing across the collector road, a crosswalk with pedestrian-activated flashing lights will be installed.

The PUD also contains two unloaded collector roads that are 64' ROW, one of which is on our Thoroughfare Plan and would be a parallel north-south route to FM 973. This roadway, Silent Falls Way, would extend through Okra and Monarch Ranch, then cross Gregg Lane and extend north through the New Haven and Mustang Valley

subdivisions to Anderson Lane ending at Schmidt Lane. Similar to Mustang Valley, New Haven and Monarch Ranch, the collector roads will have a 10' landscaping buffer along them and upgraded subdivision fencing with masonry columns.

TxDOT has provided and the developer has agreed in-lieu of a TIA they will extend the center turn lane from Tinajero to the northern connection of Suncrest with it tapering off past Suncrest. A right turn lane on southbound FM 973 will also be added. No signal is planned. Travis County also waived a TIA as the County roads that are being connected to within Shadowglen are built-out and no further improvements would be required. No existing city roads are being connected to so the city is not requiring a TIA as TxDOT has worked out the necessary mitigations with the developer.

LEGAL REVIEW: *Not Applicable*

FISCAL IMPACT: *NO*

PRESENTATION: *YES*

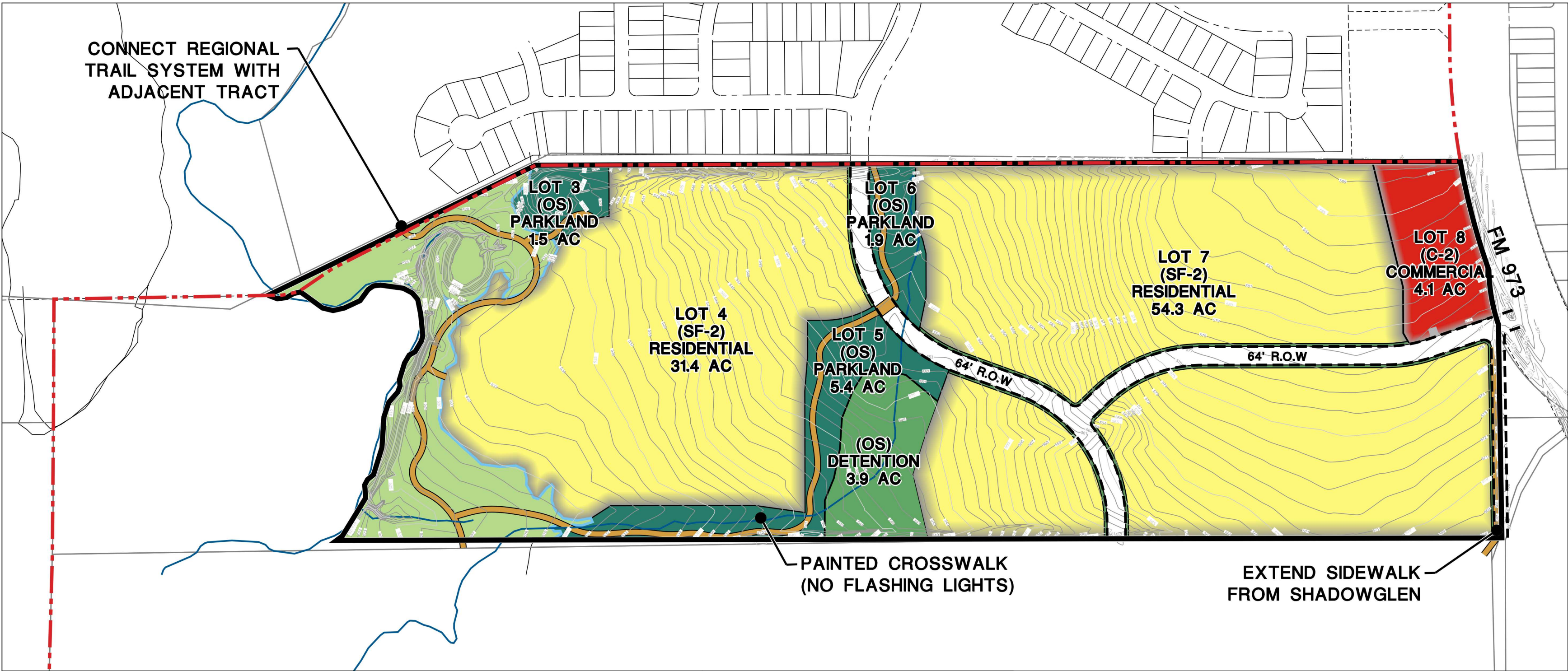
ATTACHMENTS: *YES*

- Final PUD Site Plan
- Aerial Image
- FLUM
- Commercial Corridor Dashboard
- Neighborhood Dashboard
- Mailing Labels and Notice

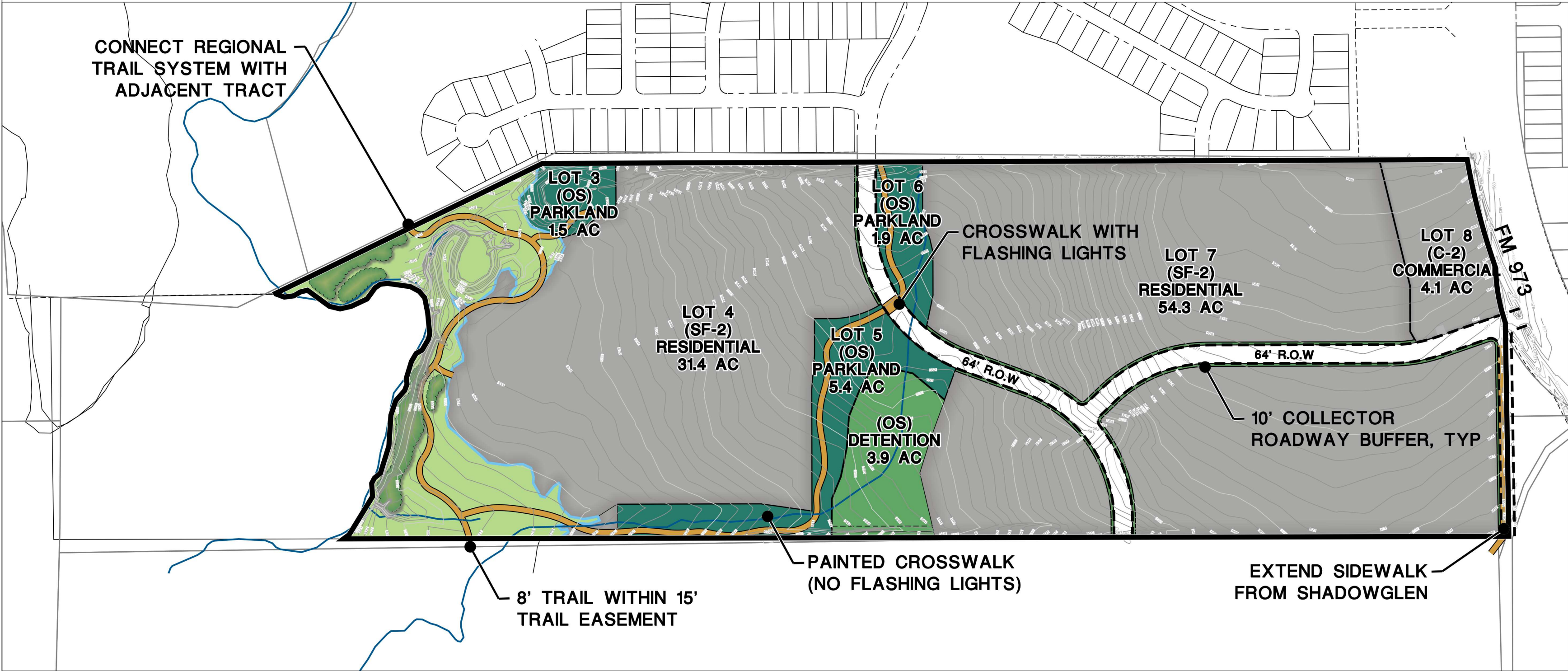
STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve a Final PUD for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**



LAND USE PARCEL TABLE				LEGEND	
LAND USE	ACREAGE	LOTS	DENSITY		
(SF-2) RESIDENTIAL	86.0 ACRES	325 LOTS	3.7 DU/AC		PLAN BOUNDARY
(C-2) MEDIUM COMMERCIAL	4.1 ACRES	1 LOTS			PROPOSED RIGHT-OF-WAY
FLOODPLAIN (RETAINED BY OWNER)	10.9 ACRES	1 LOTS			CITY LIMITS
(OS) PARKLAND	8.8 ACRES	3 LOTS			8' TRAILS
(OS) DETENTION	3.9 ACRES	1 LOTS			
TOTAL	113.4 ACRES		2.9 DU/AC		



PARK PLAN

PARK LAND DEDICATION:

325 /66 x 1 = 4.9 8.8
(number of dwelling units) (required park acreage) (proposed park acreage)

8' CONCRETE TRAILS 4,733 L.F

Approval and authorized for record by the City Council for the City of Manor, Texas.

Dated this ____ Day of _____, 20__

By: _____
Honorable Mayor Dr. Christopher Harvey
Mayor of the City of Manor, Texas

A. Purpose and Intent

- The Okra Tract Planned Unit Development (PUD) is comprised of approximately 136.3 acres. The development of this Property is a combination of light commercial along FM 973 at the Eastern edge of the Property and a single-family detached residential community on the remainder of the Property.

B. Applicability and Base Zoning

- All aspects regarding the development of this PUD shall comply with the City of Manor Code of Ordinances, except as established in this exhibit, titled Final PUD Site Plan.
- For the purpose of establishing development standards for the PUD, the following base zoning districts have been selected from the Manor Code of Ordinances:

SF-2 (Single-Family Standard)
C-2 (Medium Commercial)

C. Conceptual Site Layout and Land Use Plan

- The Land Use Plan has been attached to this PUD to illustrate the design intent for the Property. The Final PUD Site Plan is intended to serve as a guide to illustrate the general community vision and design concept and is not intended to serve as a final document.

D. Allowable/Prohibited Uses

- The allowable residential use shall be detached single-family dwellings on individually platted lots. The maximum residential lot count shall be three hundred and twenty five (325). Commercial uses shall be consistent with allowable C-2 (Medium Commercial) land uses as defined in Division 3, Section 14.02.017 of City of Manor Code of Ordinances except as modified herein.
- The following uses shall be prohibited within the C-2 area of the PUD:
 - Amusement (outdoor)
 - Automobile Repair (minor)
 - Automobile Repair (major)
 - Commercial Off-Street Parking
 - Contractor's Shop
 - Financial Services (alternative)
 - Funeral Services
 - Kennel
 - Laundry Services
 - Mini-Storage Warehouse
 - Off-Site Accessory Parking
 - Pawnshop
 - Recreational Vehicle Sales and Rental
 - Truck and Trailer Sales and Rental
 - Veterinary Service, Large

E. Residential Development Standards

- To ensure product diversity, the following single-family detached residential percentages shall apply to the residential district within this PUD:
 - A maximum of 80 percent (80%) of the total lots may have a width of less than sixty feet (60').
 - A minimum of 20 percent (20%) of the total shall have a width of sixty feet (60') or wider.
- The Okra Tract residential development will comply with the Development Standards set forth below:

RESIDENTIAL USES

Lot Area: 6,000 s.f. Minimum (fronted loaded garage)
Lot Width: (minimum)50 ft.
Front Setback: (minimum)25 ft.
Side Setback: (minimum)5 ft.
Street Side Setback: (minimum)15 ft.
Rear Setback to residential:(minimum)10 ft.
Rear Setback to commercial: 15 ft.
Minimum dwelling unit size: 1,700 sq. ft.
Maximum building coverage: 50%
Maximum building coverage plus accessory structures: 60%

- Standards not listed follow code, as amended

F. Commercial Development Standards

- The Okra Tract commercial development shall comply with the C-2 (Medium Commercial) development standards set forth in the City of Manor Code of Ordinances, as amended.

G. Drainage Dedication and Facilities

- Residential drainage facilities shall utilize earthen berms and be designed with a curvilinear shape where possible. If concrete retaining walls are required in the design of detention facilities, such areas shall be limited to not more than forty percent (40%) of the perimeter of the pond.

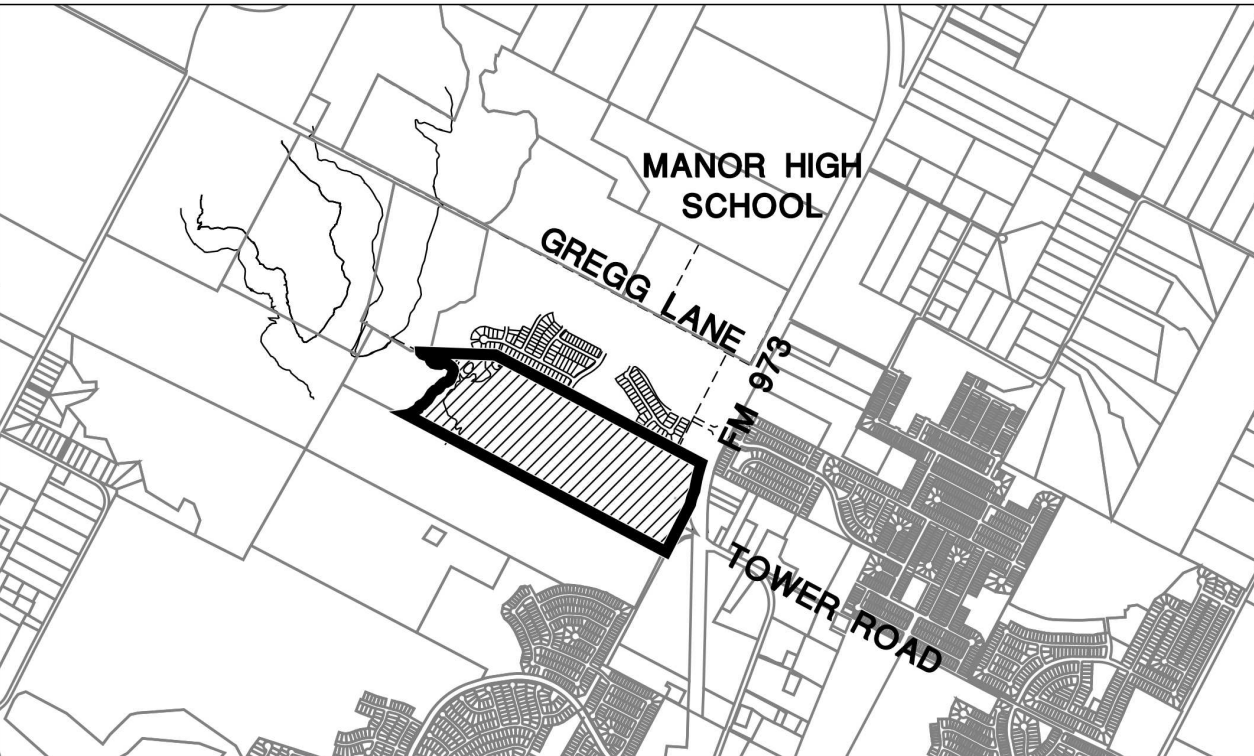
H. Parkland and Open Space

- This Final PUD Site Plan provides approximately 8.8 acres of park and open space with the dedication of three (3) tracts of land as illustrated on the Parks Plan on this sheet. The parks and open space will include detention facilities for the project, tree preservation areas, trail corridor easement and active programmed parkland.
- An eight-foot (8') concrete trail located within a fifteen-foot (15') public trail easement shall provide pedestrian/bike access along the owner retained floodplain connecting from the north property boundary to the south property boundary, as depicted on Park Plan. Trees shall be planted parallel to the concrete trail at a spacing of one (1) tree for every forty (40) linear feet. Trees shall be a minimum of three (3) inch caliper and selected from the Type A/B tree list of the City of Manor Code of Ordinances.
- Parkland amenities located within the Okra Tract PUD shall include a minimum of the following recreational elements: playground, parking area, dog park, picnic areas, picnic pavilion and open lawn/gaming area.
 - Age 5-12 playground
 - Age 2-5 playground
 - Parking area with a minimum of 20 parking spaces
 - Minimum 10,000 square foot dog park (may be allowed within detention area)
 - Minimum 20 foot by 30 foot picnic pavilion
 - Basketball Court
- The proposed parkland and public regional trail shall be dedicated to the City of Manor and privately maintained by the Okra Tract Homeowner's Association.

I. Landscaping

- Unloaded Collector Landscape Buffer.
 - For internal, unloaded collector roadways, a minimum ten (10) foot landscape buffer, measured from the edge of the collector right of way, shall be provided. One (1), minimum three (3) inch caliper, Type A large or Type B medium native tree (as defined by the Manor Code of Ordinances) and five (5), minimum three (3) gallon, shrubs shall be planted per 50 linear feet of landscape buffer.
 - Subdivision wall fence standard for fence walls along the unloaded collector roadways, a minimum (6) foot masonry wall with masonry columns a minimum of (200) foot apart.
- Storm Water Detention
 - Storm water detention facilities, if required shall be screened according to the requirements outlined in the City of Manor Code of Ordinances, Section 15.03.021 (f).
- All landscape buffers and walls shall be privately maintained by the Okra Tract Homeowners Association.

VICINITY MAP
Scale: 1" = 1/2 Mile



**OKRA TRACT
FINAL PUD SITE PLAN
MANOR, TEXAS**

J:\220013-DWAL\Cadfiles\PLANNING\Submittals\PUID Site Plan

Issued:	
1. PUD Submittal	2/10/2023
2.	
3.	
4.	
5.	
Revisions:	
1. 3/29/2023	
2. 8/17/2023	
3. 8/25/2023	
4.	
5.	
Issue Date: 2/10/2023	

Drawn By: TW
Reviewed By: MB

Project No.
220013 - BBGR

SHEET 1 of 1

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Item 9.



COMMERCIAL CORRIDOR

Commercial Corridors consist of nonresidential land uses that meet the needs of both local and regional residents. This includes big box stores and multi-tenant commercial or retail uses.

They are typically located along high volume roadways or at high volume intersections and generate large amounts of sales tax revenue.

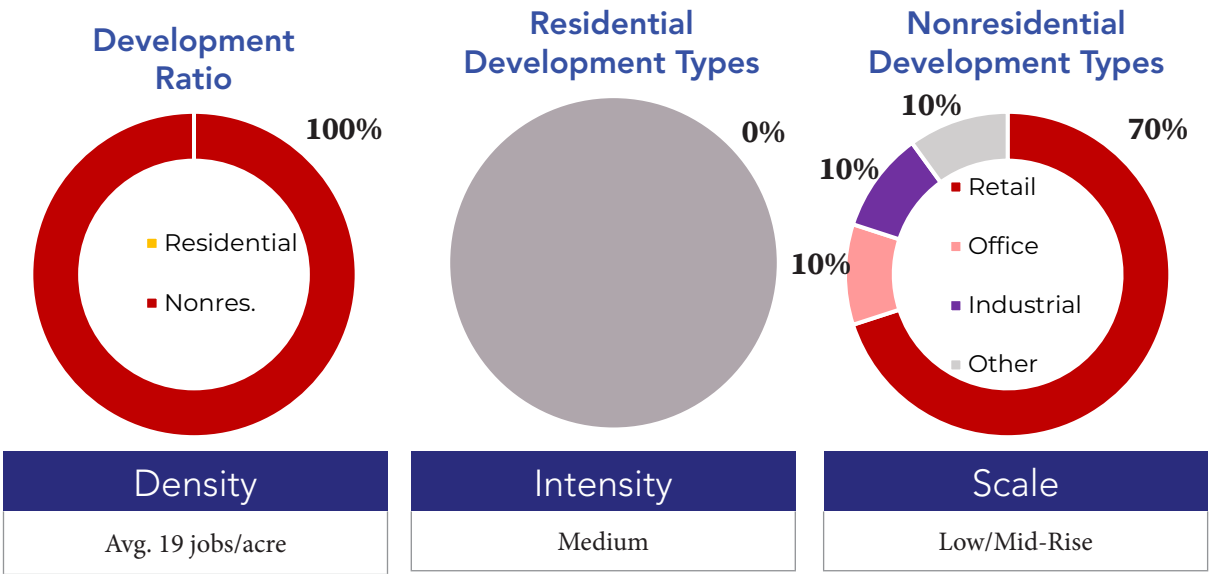
Commercial corridors often consist of traditional and suburban commercial development with large surface parking lots that front a major roadway or highway.

While it is recognized these corridors rely upon automobile accessibility and exposure, development should seek opportunities to leverage different forms with elements of mixed-use within the non-residential use framework. This introduces walkability for people once they arrive, reducing the number of trips and increasing the area’s appeal as a destination.

This district is especially appropriate for several needs that residents of Manor currently look elsewhere to provide, including:

- Healthcare services, including hospitals.
- Retail and entertainment.
- Specialized facilities that support workforce and skills development, such as information technology, skilled trades and advanced manufacturing.

Figure 3.6. Commercial Corridor Land Use Mix Dashboard



DEVELOPMENT TYPE	APPROPRIATENESS	CONDITIONS
Single-Family Detached (SFD)	●○○○○	Not considered appropriate, as the Commercial Corridors are generally oriented towards uses that rely on access and visibility to major roadways and highways and residential is not encouraged along the major roadways and highways for environmental justice and quality of life reasons. The activity and traffic generated by Commercial Corridor uses is not compatible with residential housing.
SFD + ADU	●○○○○	
SFA, Duplex	●○○○○	
SFA, Townhomes and Detached Missing Middle	●○○○○	
Apartment House (3-4 units)	●○○○○	
Small Multifamily (8-12 units)	●○○○○	
Large Multifamily (12+ units)	●○○○○	
Mixed-Use Urban, Neighborhood Scale	●●●○○	May be nonresidential mixed-use, such as office over retail or some residential can be appropriate if deeper within a site and less proximate to the major roadways. Residential mixed-use can also be appropriate to support transition to adjacent, lower density or residential areas. To note, mixed-use buildings are typically considered the highest fiscally performing development type on a per-acre basis.
Mixed-Use Urban, Community Scale	●●●○○	
Shopping Center, Neighborhood Scale	●●●●●	Appropriate overall.
Shopping Center, Community Scale	●●●●●	
Light Industrial Flex Space	●●○○○	Not considered appropriate due to limited potential for sales tax revenue generation and lower dependence on direct exposure to major roadways; can be appropriate if deeper within a site and less proximate to the major roadways, but should not be predominant use.
Manufacturing	●○○○○	Not considered appropriate.
Civic	●●●●●	Considered supportive to the function of this future land use category; likely more functional facilities, such as utilities, rather than people-centered or community serving facilities.
Parks and Open Space	●●●●●	Generally considered appropriate or compatible within all Land Use Categories.

NEIGHBORHOODS

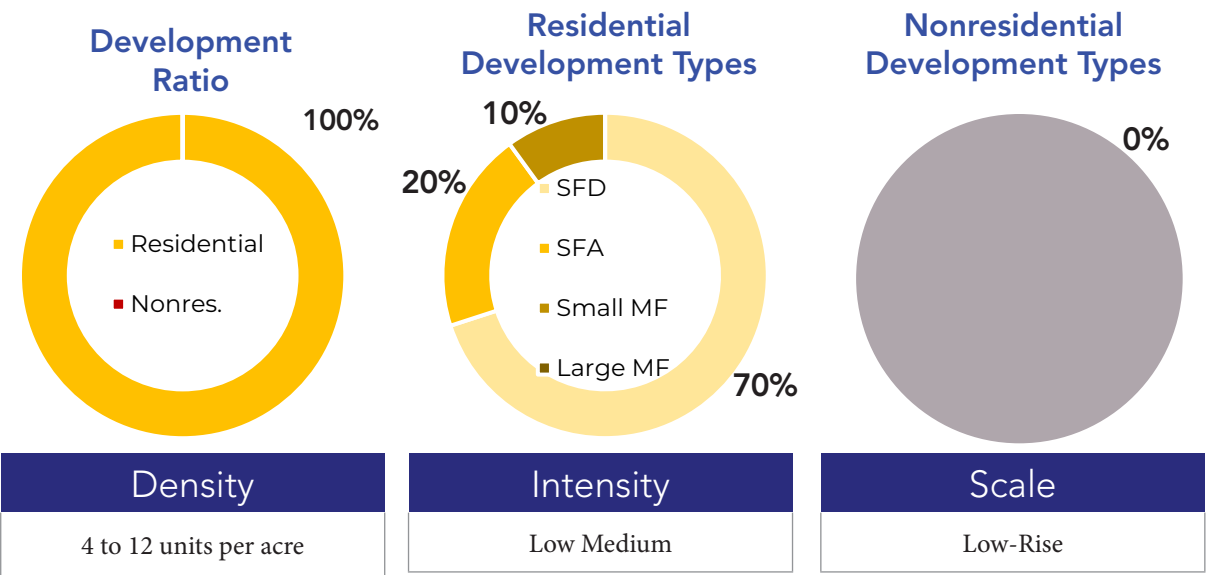
Residential one- and two-family/duplex homes make up the majority of this land use category. Some townhomes and lower density missing middle housing should be included to create diversity and housing choice and are good options to create transitions between neighborhoods and other land use areas. A mixture of housing types allows people to stay in the neighborhood even as their housing needs change, promoting long-term stability.

These housing types typically fall under the International Residential Code for one- and two-family dwellings, and can be financed via conventional Federally-backed mortgages.

While some neighborhood areas are currently adjacent to commercial centers, a more appropriate transition between the two would be the Mixed-Density Neighborhood land use categories.

Neighborhood lots are typically 5,000 square feet to 15,000 square feet for one- and two-family homes, with townhome lots being between 2,000 square feet and 3,000 square feet. Given the density expectations, smaller lot sizes should be offset by open space with an emphasis on creating interconnected greenways that connect neighborhoods to one another and to jobs, services, and parks.

Figure 3.4. Neighborhoods Land Use Mix Dashboard



DEVELOPMENT TYPE	APPROPRIATENESS	CONDITIONS
Single-Family Detached (SFD)	●●●●○	Appropriate overall, but with this housing type being so prominent in the City currently, seek to integrate with other forms of housing to create diversity and housing choice. Encourage diversity of lot sizes. Encourage joint driveways, alley access and rear parking.
SFD + ADU	●●●●●	Lot and site design should accommodate an ADU to the side or rear; ADU should be clearly secondary to the primary residence.
SFA, Duplex	●●●●●	Similar in character and lot standards to single-family detached; Joint/shared driveways encouraged, as well as alleys and rear parking; ADUs can be included consistent with the above.
SFA, Townhomes and Detached Missing Middle	●●●●●	Townhouses and Bungalow Courts should include at least 4 units, Pocket Neighborhoods 8-12 units. Functions best at corner properties (excluding townhomes). Encouraged especially when retail/services are nearby. Encourage joint driveways, alley access and rear parking. ADUs consistent with above.
Apartment House (3-4 units)	●●●●○	Can be part of a diverse housing type palette within the Neighborhood category. Similar in character and lot standards to SFD; functions best at corner properties. Encouraged especially when retail/services are nearby. Encourage joint driveways, alley access and rear parking.
Small Multifamily (8-12 units)	●●●○○	Scale is not typically appropriate with neighborhood-scale, unless adjacent to Neighborhood Mixed Use. May be appropriate as a transitional use from land use categories containing nonresidential uses.
Large Multifamily (12+ units)	●○○○○	Not considered appropriate, but may occur in other future land use categories adjacent to Neighborhoods.
Mixed-Use Urban, Neighborhood Scale	●○○○○	
Mixed-Use Urban, Community Scale	●○○○○	Not considered appropriate.
Shopping Center, Neighborhood Scale	●○○○○	Not considered appropriate, but may occur in other future land use categories adjacent to Neighborhoods.
Shopping Center, Community Scale	●○○○○	Not considered appropriate.
Light Industrial Flex Space	●○○○○	
Manufacturing	●○○○○	
Civic	●●●●●	Considered supportive to the function and livability of this future land use category; government buildings, schools and community facilities can serve as activity hubs within neighborhoods.
Parks and Open Space	●●●●●	Generally considered appropriate or compatible within all Land Use Categories.



8/30/2023

City of Manor Development Services

Notification for a Final PUD Site Plan

Project Name: Okra Tract Final PUD
Case Number: 2023-P-1570-ZO
Case Manager: Michael Burrell
Contact: mburrell@manortx.gov – 512-215-8158

The City of Manor Planning and Zoning Commission and City Council will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon on a Subdivision Final Planned Use Development (PUD) for the Okra Tract Subdivision located at 14418 N. FM 973, Manor, TX. The request will be posted on the agenda as follows:

Public Hearing: Conduct a public hearing on a Final PUD for the Okra Tract Development, three hundred and thirty-one (331) lots on 113.4 acres, more or less, and being located at 14418 N. FM 973, Manor, TX.

Applicant: Sotol Ventures

Owner: Dalton Wallace

The Planning and Zoning Commission will meet at 6:30PM on September 13, 2023 at 105 East Eggleston Street in the City Hall Council Chambers.

City Council will meet at 7:00PM on September 20, 2023 at 105 East Eggleston Street in the City Hall Council Chambers.

You are being notified because you own property within 300 feet of the property for which this Final PUD Site Plan has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners and Council Members during the discussion of this item.

14420 Pernella Rd Intervivos Revocable Trust
14420 Pernella Rd
Manor, TX 78653

ANDERSSON CATHERINE & DANIEL
13917 HEARTLAND DR
Manor, TX 78653

Arthur Ray & Odette Vanessa Taylor
14416 Pernella Rd
Manor, TX 78653

BAJWA NAJM US SAQIB & TAHIRA NAJM
139 HEARTLAND DR
Manor, TX 78653

BIREDDY ANVESH REDDY
14012 Heartland Dr
Manor, TX 78653

BRASSELL REBECCA & PATRICK
14005 HEARTLAND DR
Manor, TX 78653

CABRERA KEVIN E & ISABEL S
14401 HEARTLAND DR
Manor, TX 78653

CITY OF MANOR
105 E EGGLESTON ST
Manor, TX 78653

CONROY KEVIN
13916 Heartland Dr
Manor, TX 78653

DAVIS ANISSA CHEREE & ARTHUR JR
13925 HEARTLAND DR
Manor, TX 78653

De Jesus-Martinez Ignacio ETAL
14405 FM 973 N
Manor, TX 78653

DEROCH MANDY BARBER
14108 HEARTLAND DR
Manor, TX 78653

DIACONU MARIANA & GERALD BRANDON TODD
14420 Heartland Dr
Manor, TX 78653

DICK GEOFFREY SCOTT & ANIKA VAN BOOM
14316 HEARTLAND DR
Manor, TX 78653

Enfield Partners LLC ETAL
2303 Camino Alto
Austin, TX 78746

GHAFFAR AAMIR & SOPHIA BAWANY
13933 HEARTLAND DR
Manor, TX 78653

Gliberto & Maria Estrada
1411 FM 973 N
Manor, TX 78653

GLORIA ALVARO F
13904 Heartland Dr
Manor, TX 78653

GUZMAN MASON ANDREW
14208 HEARTLAND DR
Manor, TX 78653

HAYNES BUCHANAN CAROL M
14200 HEARTLAND DR
Manor, TX 78653

Henrietta Velasquez
14315 Old Manor-Taylor Rd
Manor, TX 78653

JACKSON NICOLETTE & CARSON JAMES GOSSETT
14029 Heartland Dr
Manor, TX 78653

JAIN KRITIKA & ANAND BHAVANE JAYANTI
14032 Heartland Dr
Manor, TX 78653

JEFF 1 LLC
5001 PLAZA ON THE LATE #200
Austin, TX 78746

JOHN LIPIKA R & SHERVIN AMBANATTU BABU
13901 Heartland Dr
Manor, TX 78653

Juan Chaparro
14408 Pernella Rd
Manor, TX 78653

KALE MICHAEL & LASHONDRA M
14013 HEARTLAND DR
Manor, TX 78653

Kristine & Matthew Escobedo
14400 Pernella Rd
Manor, TX 78653

KURIAN CLEMENT & LIZ MANDAPATHIL
14004 Heartland Dr
Manor, TX 78653

LAKE ELIJAH & KANESHA
14301 HEARTLAND DR
Manor, TX 78653

LEKCAM Communication LLC
16404 Marcello Dr
Pflugerville, TX 78660

LEONARD SCOTT
13921 Heartland Dr
Manor, TX 78653

MADHYASTHA SUHASA & ASHRITHA PURADAMANE
BALACHANDRA
14309 HEARTLAND DR
Manor, TX 78653

Mary Clark
14404 Pernella Rd
Manor, TX 78653

Masrur Reza, Mustafa Ali Reza Chowdhury, Fauzia Zaman
14412 Pernella Rd
Manor, TX 78653

MCCUE KEVIN & BRITTANY BAMBERG
14033 Heartland Dr
Manor, TX 78653

Meritage Homes of Texas LLC
611 S Congress Ave, suite 510
Austin, TX 78704

Meritage Homes of Texas LLC
17101 Orinda Lane
Pflugerville, TX 78660

Monarch Ranch at Manor LLC
310 Enterprise Dr.
Oxford, MS 38655

PADILLA ELIAS JOSE
14308 HEARTLAND DR
Manor, TX 78653

PERRY HOMES LLC
PO BOX 34306
Houston, TX 77234

Roy & Frank Velasquez
14301 Old Manor-Taylor Rd
Manor, TX 78653

RUSSELL RACHEL R & WILLIAM B WRIGHT
14421 HEARTLAND DR
Manor, TX 78653

RUST CREEK LLC
9606 OLD MANOR RD #1
Austin, TX 78724

SAMUEL ANCY & SIJU THOMAS VARGHESE
14325 HEARTLAND DR
Manor, TX 78653

SANTIAGO JONA FATIMA P & HONOFRE JOEY
14017 HEARTLAND DR
Manor, TX 78653

SG LAND HOLDINGS LLC
2646 DUPONT DR STE 60 PMB 520
Irvine, CA 92612

SG LAND HOLDINGS LLC
2646 DUPONT DR STE 60 PMB 520
Irvine, CA 92612

SG LAND HOLDINGS LLC
2646 DUPONT DR STE 60 PMB 520
Irvine, CA 92612

SNELL TYLER & MATTIE
13908 HEARTLAND DR
Manor, TX 78653

SNYDER JACOB ADAM
13913 HEARTLAND DR
Manor, TX 78653

SORATHIA BHARGAV
3472 Fitzsimmons Cmn
Fremont, CA 94538

SRIHARI FNU & PRIYANKA PUPPALA
14009 Heartland Dr
Manor, TX 78653

Stanley & Sandra Voelker
14401 FM 973 N
Manor, TX 78653

STEVES DANIEL & JANELLE
14400 HEARTLAND DR
Manor, TX 78653

STEWART MARIANNE K & LARRY N
14300 HEARTLAND DR
Manor, TX 78653

STONE LEISA M & ZACHARY P
14413 HEARTLAND DR
Manor, TX 78653

SUTT DYLAN J
14104 Heartland Dr
Manor, TX 78653

THOMPSON MATTHEW
14505 HEARTLAND DR
Manor, TX 78653

Timmerman Commercial Investments LP
501 Vale ST
Austin, TX 78746

TRIPATHI ANKIT MANI
14205 HEARTLAND DR
Manor, TX 78653

UNAL BELGIN & AYHAN
14320 HEARTLAND DR
Manor, TX 78653

VALENZUELA MELINDA S & MATTHEW R
14204 HEARTLAND DR
Manor, TX 78653

Item 9.

WANG YILI & YUNQING XIA
14001 HEARTLAND DR
Manor, TX 78653

WEISS KERMIT R & EMMAGENE
PO BOX 25
Manor, TX 78653

WILLIAMS LAURA
14305 HEARTLAND DR
Manor, TX 78653

YINGST ALEX BICERA
13920 Heartland Dr
Manor, TX 78653

,



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023

PREPARED BY: Scott Dunlop, Director

DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Subdivision Preliminary Plat for Shadowglen, three-hundred and six (306) lots on 103.7 acres, more or less, and being located near the intersection of Gregg Manor Road and Rector Loop.

Applicant: Kimley Horn

Owner: SG Land Holdings, LLC

BACKGROUND/SUMMARY:

This plat has been approved by our engineers. Phase 3, Section 1 and 2 has 354 single family lots and 7 open space and drainage lots. Sections 1 and 2 of Phase 3 are along Rector Loop, just north of Gregg Manor Road.

LEGAL REVIEW: Not Applicable

FISCAL IMPACT: NO

PRESENTATION: NO

ATTACHMENTS: YES

- Letter of Intent
- Plat
- Engineer Comments
- Acceptance Letter
- Notice and Mailing Labels

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve a Subdivision Preliminary Plat for Shadowglen, three-hundred and six (306) lots on 103.7 acres, more or less, and being located near the intersection of Gregg Manor Road and Rector Loop.

PLANNING & ZONING COMMISSION:

Recommend Approval

Disapproval

None



October 25, 2018

City of Manor
Engineering Department
105 E. Eggleston Street
Manor, TX 78653

RE: *Summary Letter – Shadowglen Phase 3 – Section 1 & 2*

Dear Engineering Department:

Kimley-Horn and Associates, Inc. has prepared the following Summary Letter to support the submittal of the Preliminary Plan for the above referenced project. The project entails 306 lots, which is comprised of 299 single-family lots, 7 open space/drainage lots, street and sidewalk improvements, storm, water, wastewater improvements, and detention/water quality improvements. The streets will be constructed to city of Manor standards and be surfaced with asphalt. Water quality improvements will be comprised of partial sedimentation / filtration ponds and vegetative filter strips, and detention ponds will be constructed to reduce peak runoff rates to less than or equal to existing conditions. The subdivision will be serviced by 12" and 8" water mains and 12" and 8" wastewater mains (see Utility Demand Calculations Letter support document for utility demands). Per the approved PUD Document governing the overall Shadowglen development, no parkland dedication will be required as this criterion has already been met.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jason Reece".

Jason Reece, P.E.
Project Manager
TBPE F-928

PRELIMINARY PLAN ONLY - NOT FOR RECORDATION

FOR

SHADOWGLEN PHASE 3

SECTION 1 & 2

CITY OF MANOR, TRAVIS COUNTY COUNTY, TEXAS

WATERSHED STATUS :

THIS SITE IS LOCATED IN THE WILBARGER CREEK WATERSHED.

FLOODPLAIN INFORMATION:

A PORTION OF THE SITE IS IN THE 100-YEAR, ATLAS 14 FLOODPLAIN. A CLOMR (CASE NO. 19-06-0028R) HAS BEEN APPROVED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR THE PROPOSED IMPROVEMENTS WITHIN THE SPECIAL FLOOD HAZARD AREA (SFHA) SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) 48453C0485J EFFECTIVE (8/18/2014). ALL FFE MUST BE 2 FT ABOVE THE 100-YEAR, ATLAS 14 FLOODPLAIN.

LEGAL DESCRIPTION

BEING 103.728 ACRE TRACT OUT OF CALLED 349.79 ACRE TRACT 1 CONVEYED TO MERITAGE HOMES OF TEXAS, LLC. DOC. NO. 2020148949, OPRTC SUMNER BACON SURVEY NO. 62, ABSTRACT NO. 63 CITY OF MANOR, TRAVIS COUNTY, TEXAS

ENGINEER



10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300
AUSTIN, TEXAS 78759
CERTIFICATE OF REGISTRATION #928
CONTACT: JACOB KONDO, P.E.

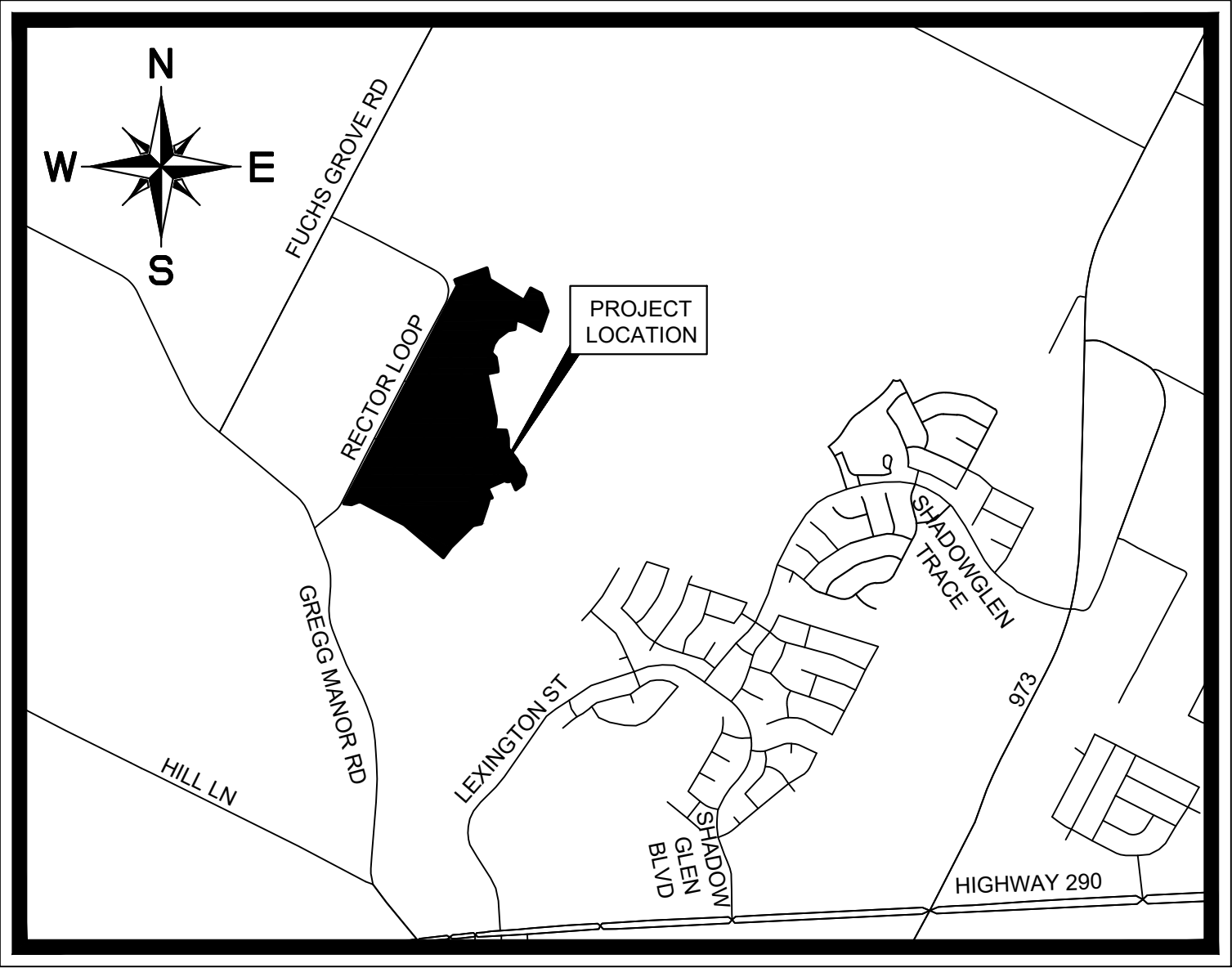
Tel. No. (512) 418-1771
Fax No. (512) 418-1791

OWNER/DEVELOPER

MERITAGE HOMES OF TEXAS, LLC
8920 BUSINESS PARK DRIVE, SUITE 350
AUSTIN, TEXAS 78759
TEL: 512.610.4316
CONTACT: Brandon Hammon

SURVEYOR

KIMLEY-HORN
601 NW LOOP 410, SUITE 350
SAN ANTONIO, TEXAS 78216
TEL: 210.541.9166
CONTACT: GREG MOSIER



VICINITY MAP

SCALE: 1" = 2,000'

JANUARY 2023

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	OVERALL PRELIMINARY PLAN
3	PRELIMINARY PLAN - SECTION 1 (SHEET 1 OF 2)
4	PRELIMINARY PLAN - SECTION 2 (SHEET 2 OF 2)
5	PRELIMINARY PLAN - LOT AREAS CURVE & LINE TABLES
EX A	EXISTING DRAINAGE AREA MAP
EX B	PROPOSED DRAINAGE AREA MAP
EX C	INLET DRAINAGE AREA MAP - SECTION 1 (SHEET 1 OF 2)
EX D	INLET DRAINAGE AREA MAP - SECTION 2 (SHEET 2 OF 2)
EX E	DRAINAGE CALCULATIONS (SHEET 1 OF 2)
EX F	DRAINAGE CALCULATIONS (SHEET 2 OF 2)
EX G	PRELIMINARY WATER QUALITY PLAN
EX H	PRELIMINARY WATER QUALITY CALCULATIONS
EX I	PRELIMINARY WATER PLAN - SECTION 1 (SHEET 1 OF 2)
EX J	PRELIMINARY WATER PLAN - SECTION 2 (SHEET 2 OF 2)
EX K	PRELIMINARY WASTEWATER PLAN - SECTION 1 (SHEET 1 OF 2)
EX L	PRELIMINARY WASTEWATER PLAN - SECTION 2 (SHEET 2 OF 2)

APPROVAL AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL FOR THE CITY OF MANOR, TEXAS.

DATED THIS ____ DAY OF _____, 20____

BY:
HONORABLE MAYOR DR. CHRISTOPHER HARVEY
MAYOR OF THE CITY OF MANOR, TEXAS

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY OF COUNCIL.

DATED THIS ____ DAY OF _____, 20____

BY:
JULIE LEONARD, CHAIRPERSON

Know what's below.
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

TRAVIS COUNTY ESD No. 12 NOTES:

1. FIRE HYDRANTS APPROVED AND INSTALLED AS A PART OF THE PROPOSED PROJECT ARE PART OF A FIRE PROTECTION SYSTEM.
2. MINIMUM REQUIRED FIRE FLOW SHALL MEET OR EXCEED THE REQUIREMENTS OF APPENDIX B OF THE 2015 INTERNATIONAL FIRE CODE. MINIMUM FIRE FLOW SHALL NOT BE LESS THAN 1000 GALLONS PER MINUTE FOR THIS PROJECT.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF MANOR, TRAVIS COUNTY T.N.R. AND TRAVIS COUNTY ESD No. 12 MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER. REVIEW OF THE SUBMITTED MATERIALS DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR ORDINANCE COMPLIANCE BY THE CITY ENGINEER.



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10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300, AUSTIN, TX 78759
PHONE: 512-418-1771 FAX: 512-418-1791
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928



KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
069254503	JANUARY 2022	AS SHOWN	JBR	ADD	JBR

COVER SHEET

PRELIMINARY PLANS FOR
SHADOWGLEN
PHASE 3
CITY OF MANOR
TRAVIS COUNTY, TEXAS

SHEET NUMBER
1

PRELIMINARY PLAN

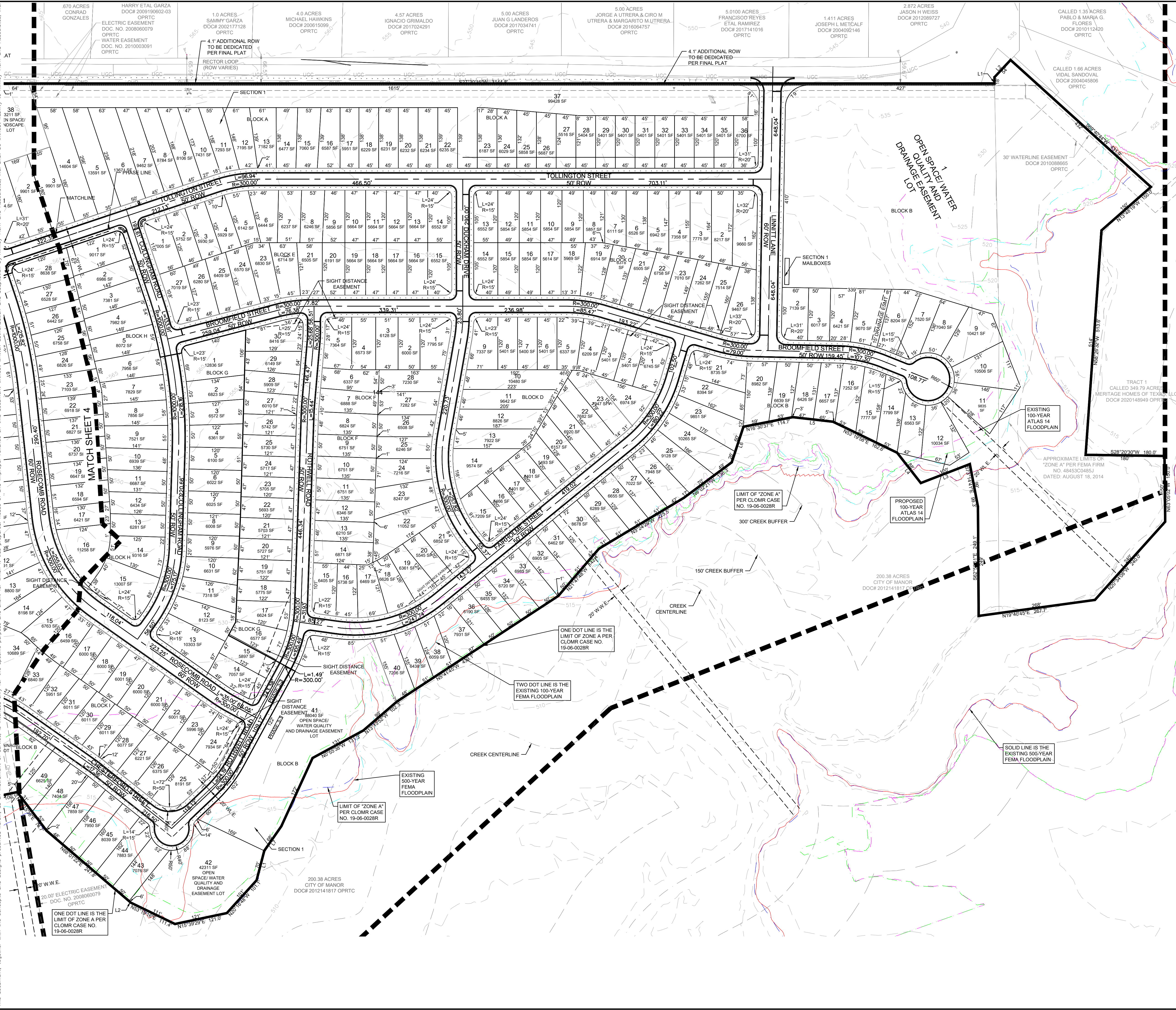
KHA PROJECT NO. 069254503

SHADOWGLEN PHASE 3 - SECTION 1 & 2

WATER SERVICE AND WASTEWATER SERVICE TO BE PROVIDED BY WILBARGER CREEK MUD NO. 2

18-

Plotted By: Carlos, Jonathan Date: June 14, 2023 03:41:52pm File Path: K:\VAUS-Civil\069254503-Shadowglen Phase 3\3-Cover\Preliminary\PlanSheets\3-C-Preliminary Plans.dwg
This document, together with the concepts and designs presented herein, is an instrument of service, intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

- PHASE LINE
- PROPERTY BOUNDARY
- LIMIT OF "ZONE A" PER CLOMR
- EXISTING 100-YEAR FEMA FLOODPLAIN
- EXISTING 500-YEAR FEMA FLOODPLAIN
- PROPOSED 100-YEAR ATLAS 14 FLOODPLAIN
- EXISTING 100-YEAR ATLAS 14 FLOODPLAIN
- 150' CREEK BUFFER
- 300' CREEK BUFFER
- PROPOSED SIDEWALK
- EXISTING OVERHEAD POWER LINE
- EXISTING WATER LINE
- EXISTING WASTE WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WASTE WATER MANHOLE

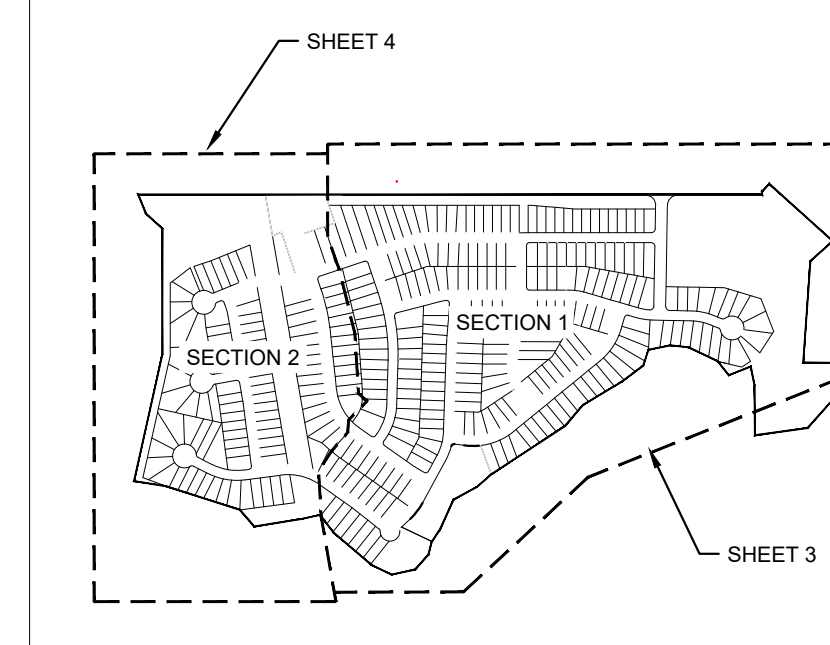
NOTES:

- SEE SHEET 2 FOR PRELIMINARY PLAN NOTES.
- SEE SHEET 5 FOR LOT AREAS, CURVE, AND NOTE TABLES.
- A CERTIFICATION FROM A REGISTERED ACCESSIBILITY SPECIALIST WILL BE PROVIDED WITH THE CONSTRUCTION PLANS STATING COMPLIANCE WITH ACCESSIBILITY STANDARDS HAS BEEN MET PER CHAPTER 482.202(2).

SHADOWGLEN SECTION 1 GENERAL INFORMATION:

TOTAL ACREAGE.....	55.52
LINEAR FEET OF 50' ROW.....	6,532
ACREAGE OF PUBLIC 50' ROW.....	7.3
LINEAR FEET OF 60' ROW.....	909
ACREAGE OF PUBLIC 60' ROW.....	1.24
ACREAGE OF PUBLIC ROW TO BE DEDICATED.....	0.29
NUMBER OF SINGLE FAMILY LOTS.....	195
ACREAGE OF SINGLE FAMILY LOTS.....	29.2
NUMBER OF OPEN SPACE & DRAINAGE LOTS.....	3
ACREAGE OF OPEN SPACE & DRAINAGE LOTS.....	16.96
NUMBER OF OPEN SPACE & LANDSCAPE LOTS.....	1
ACREAGE OF OPEN SPACE & LANDSCAPE LOTS.....	0.53
TOTAL NUMBER OF LOTS.....	199

WATER SERVICE AND WASTEWATER SERVICE TO BE PROVIDED BY WILBARGER CREEK MUD NO. 2



KEY MAP
N.T.S.
BENCHMARKS

BM #101	1"X IN CONCRETE AROUND A WATER MANHOLE LOCATED 228'1" SOUTH OF THE SOUTHWEST CORNER OF THE INTERSECTION OF 100' ROW TRAIL AND 170' ROW TRAIL OF THE SOUTHEAST RIGHT-OF-WAY LINE OF PACE GROVE ROAD	ELEV: +557.13 (NAVD 83)
BM #102	1"X SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND PACE GROVE ROAD	ELEV: +538.05 (NAVD 83)
BM #103	1"X SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND PACE GROVE ROAD	ELEV: +538.05 (NAVD 83)
BM #104	1"X SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND PACE GROVE ROAD	ELEV: +538.05 (NAVD 83)

811
Know what's below.
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

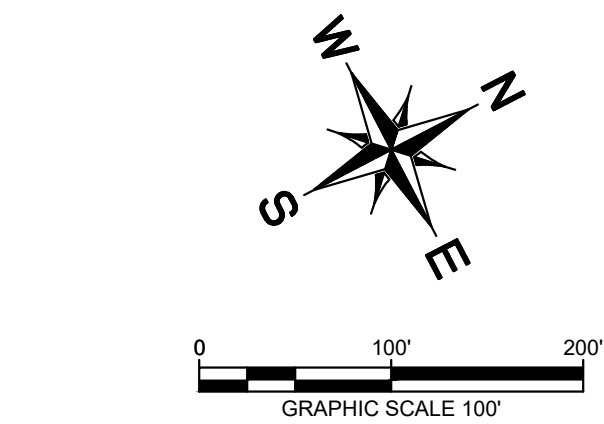
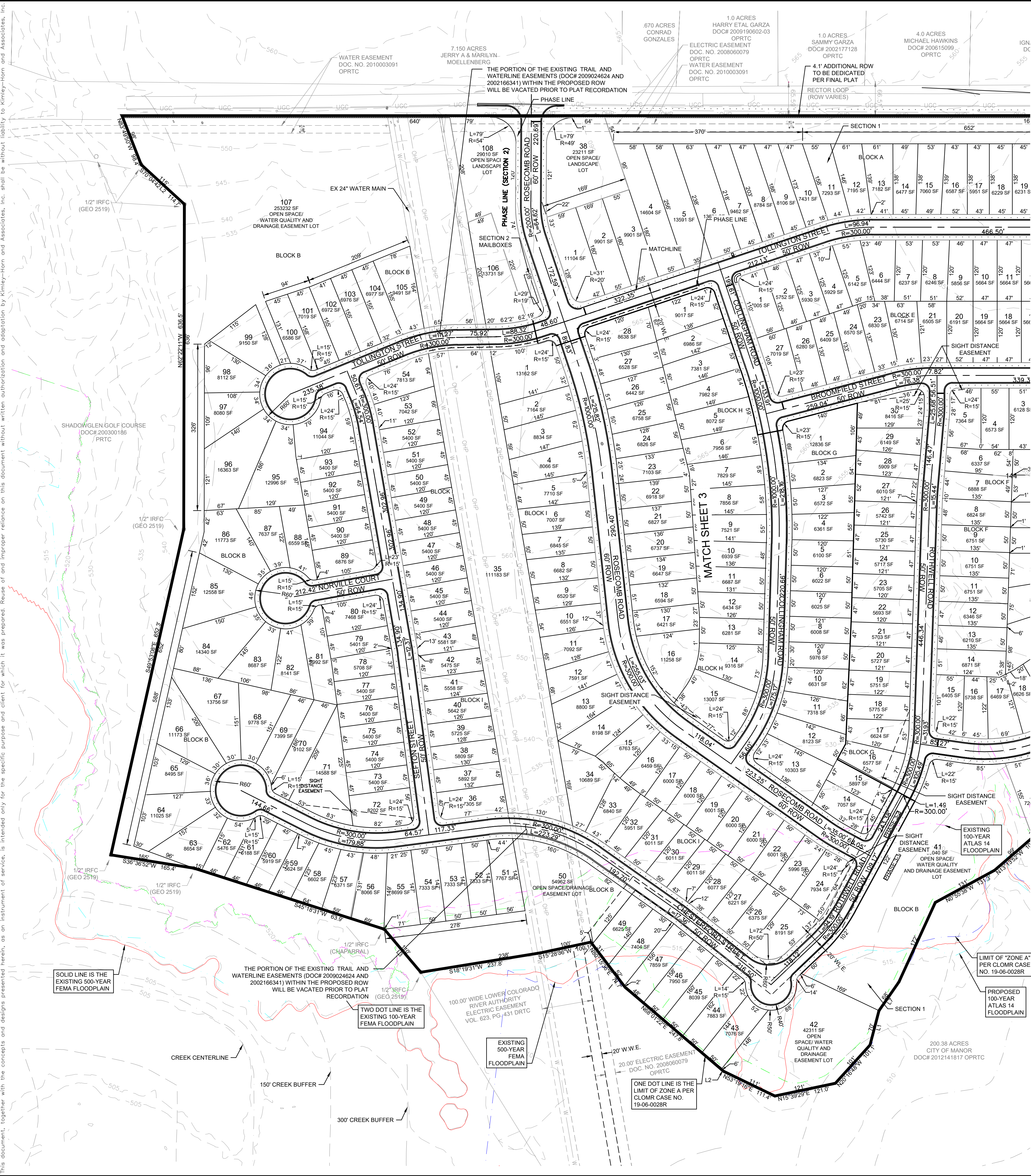
Kimley»Horn
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10814 JOLLYVILLE ROAD, AVALON IV, SUITE 300, AUSTIN, TX 78759
PHONE: 512-418-1771 FAX: 512-418-791
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928

PRELIMINARY PLAN - SHADOWGLEN
SECTION 1 (SHEET 1 OF 2)

PHASE 3
CITY OF MANOR
TRAVIS COUNTY, TEXAS

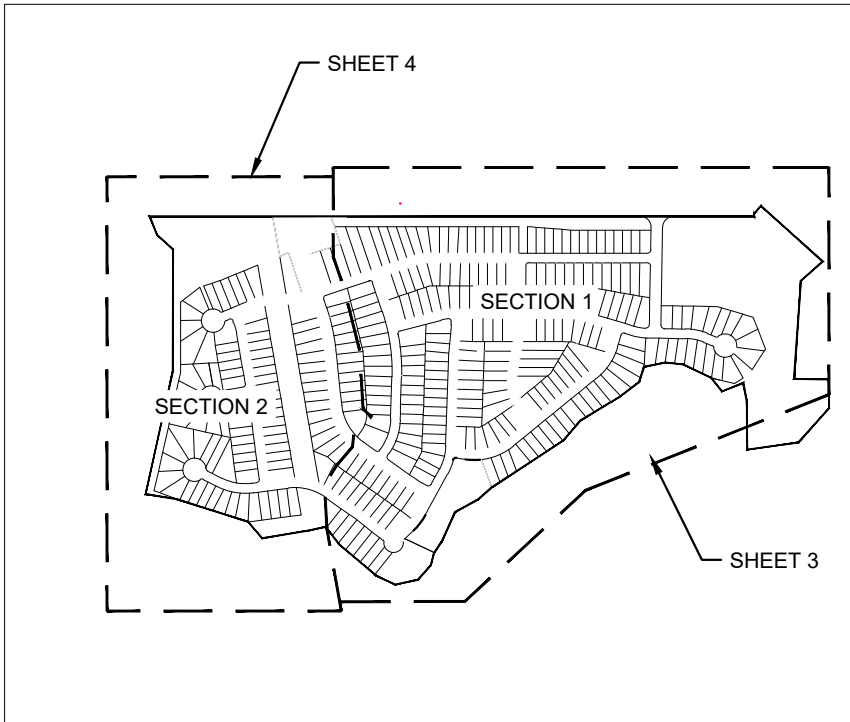
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LEGEND	
	PHASE LINE
	PROPERTY BOUNDARY
	LIMIT OF "ZONE A" PER CLOMR
	EXISTING 100-YEAR FEMA FLOODPLAIN
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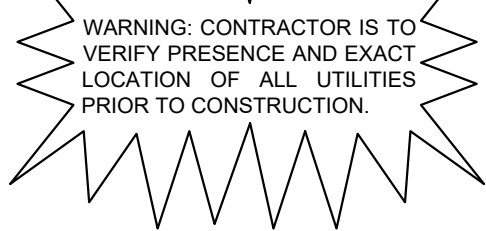
- NOTES:
- SEE SHEET 2 FOR PRELIMINARY PLAN NOTES.
 - SEE SHEET 5 FOR LOT AREAS, CURVE, AND NOTE TABLES.
 - A CERTIFICATION FROM A REGISTERED ACCESSIBILITY SPECIALIST WILL BE PROVIDED WITH THE CONSTRUCTION PLANS STATING COMPLIANCE WITH ACCESSIBILITY STANDARDS HAS BEEN MET PER CHAPTER 482.202(Q).



KEY MAP
N.T.S.

BENCHMARKS

BM #101 - "X" IN CONCRETE AROUND A WATER MANHOLE LOCATED 225' SOUTHWEST OF THE SOUTHWEST CORNER OF THE INTERSECTION OF RECTOR LOOP AND FLORENCE GROVE ROAD	ELEV. 1557.15 (NAVD 83)
BM #102 - "X" SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND FLORENCE GROVE ROAD	ELEV. 1538.05 (NAVD 83)
BM #103 - 50' BORN ROD WITH A PLASTIC CAP SET IN ASPHALT ON THE EAST SIDE OF RECTOR LOOP MIDWAY THROUGH WHERE THE ROAD CURVES FROM SOUTHEAST TO SOUTHWEST JUST SOUTH OF THE GATED ENTRANCE TO THE SITE	ELEV. 1538.73 (NAVD 83)



SHADOWGLEN SECTION 2 GENERAL INFORMATION:	
TOTAL ACREAGE.....	48.21
LINEAR FEET OF 50' ROW.....	5,566
ACREAGE OF PUBLIC 50' ROW.....	6.91
ACREAGE OF PUBLIC ROW TO BE DEDICATED.....	0.14
NUMBER OF SINGLE FAMILY LOTS.....	159
ACREAGE OF SINGLE FAMILY LOTS.....	28.33
NUMBER OF OPEN SPACE & DRAINAGE LOTS.....	4
ACREAGE OF OPEN SPACE & DRAINAGE LOTS.....	12.16
NUMBER OF OPEN SPACE & LANDSCAPE LOTS.....	1
ACREAGE OF OPEN SPACE & LANDSCAPE LOTS.....	0.67
TOTAL NUMBER OF LOTS.....	164

WATER SERVICE AND WASTEWATER SERVICE TO BE PROVIDED BY WILBARGER CREEK MUD NO. 2

Item 10.

DATE

REVISIONS

No.

Kimley»Horn

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10814 JOLLYVILLE ROAD, AVALON IV, SUITE 300, AUSTIN, TX 78759
PHONE: 512-418-1771 FAX: 512-418-791
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928

Jacob Kondo

JACOB KONDO
115813
LICENSED PROFESSIONAL ENGINEER
7/21/2023

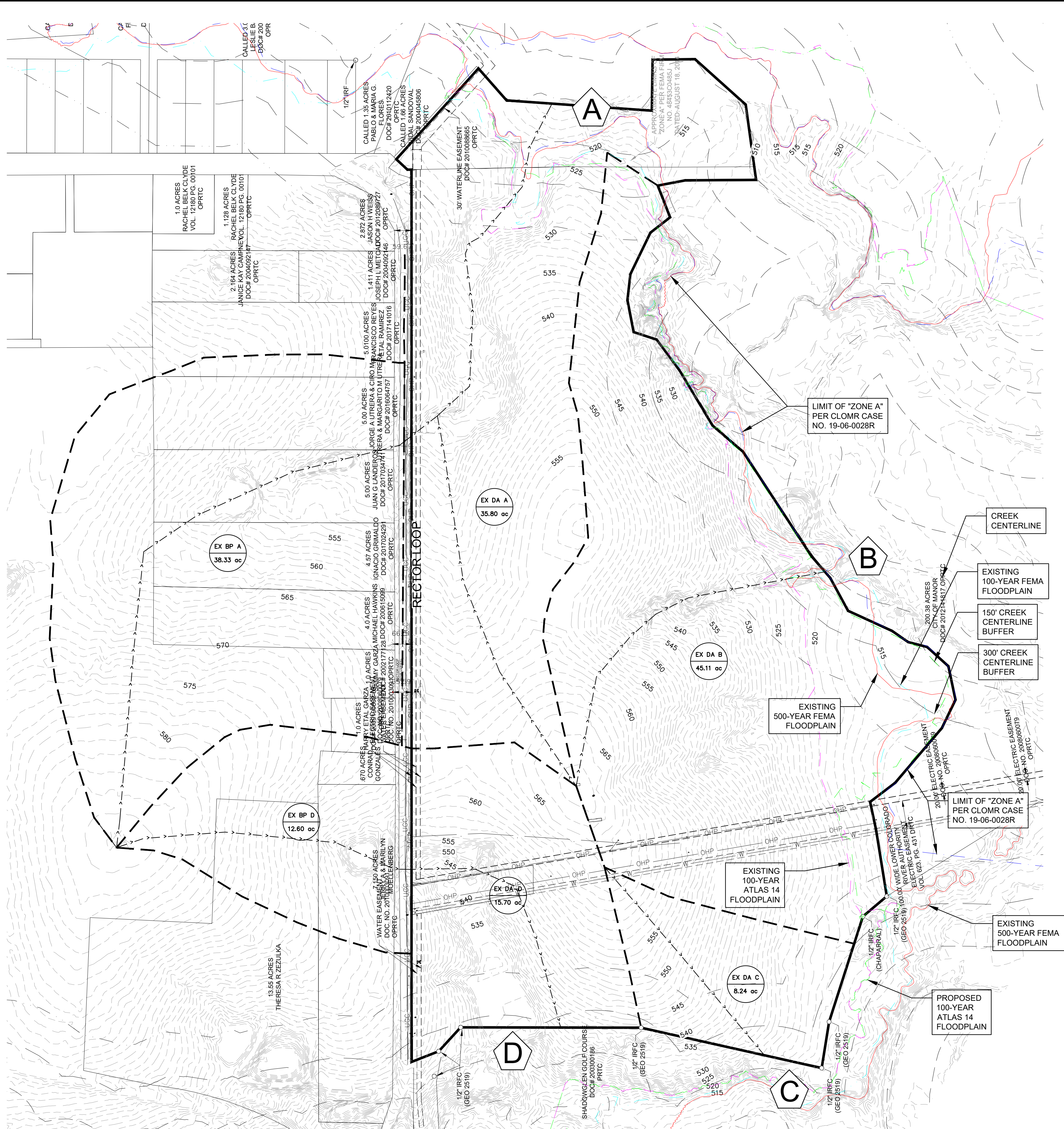
KHA PROJECT
069254503
DATE
JANUARY 2022
SCALE: AS SHOWN
DESIGNED BY: JBR
DRAWN BY: ADO
CHECKED BY: JBR

PRELIMINARY PLANS FOR
SHADOWGLEN
PHASE 3
CITY OF MANOR
TRAVIS COUNTY, TEXAS

PRELIMINARY PLAN -
SECTION 2 (SHEET 2 OF 2)

SHEET NUMBER
4

186



SHADOWGLEN PHASE 3 PRELIMINARY PLAN
Drainage Calculations - SCS Method

DRAINAGE AREA	AREA (sf)	AREA (Ac)	IMPERVIOUS COVER (Ac)	IMPERVIOUS COVER %	PERVIOUS CURVE NO. Cn ¹	WEIGHTED CURVE NO. Cn ²	SHEET FLOW				SHALLOW CONCENTRATED FLOW										CHANNEL FLOW										TOTAL Tc ³ (min)				
							P=30% ⁴ 4.06 IN				Grass Surface					Paved Surface					CHANNEL FLOW														
							N	L (ft)	S (ft/ft)	T _{min} (min)	L (ft)	V (fps)	S (ft/ft)	T _{min} (min)	L	V (fps)	S	T _{min} (min)	L (ft)	V (fps)	a (ft ^{-1.48})	Pw (ft)	r	n	S (ft/ft)	T _{min} (min)	L (ft)	V (fps)	a (ft ^{-1.48})	Pw (ft)		r	n	S (ft/ft)	T _{min} (min)
EX DA A	1,559,448	35.80	0.480	1.34	80.00	80.24	0.24	100	0.010	16.717	948	2.55	0.025	6.19	-	-	-	0.00	1214	3.5	10	15.7	0.64	0.03	0.020	5.78	-	-	-	-	-	0.013	0.010	0.00	28.69
OS BP A	1,669,655	38.33	0.000	0.00	80.00	80.00	0.24	100	0.010	16.72	2054	2.55	0.025	13.42	-	-	-	0.00	1006	3.5	10	15.7	0.64	0.03	0.020	4.79	-	-	-	-	-	0.013	0.010	0.00	34.93
EX DA B	1,984,992	45.11	0.00	0.00	80.00	80.00	0.24	100	0.015	14.21	480	3.23	0.040	2.48	-	-	-	0.00	618	3.5	10	15.7	0.64	-	0.040	2.94	-	-	-	-	-	0.013	0.010	0.00	19.64
EX DA C	358,934	8.24	0.000	0.00	80.00	80.00	0.24	100	0.010	16.72	2054	2.55	0.025	13.42	-	-	-	0.00	1006	3.5	10	15.7	0.64	0.03	0.020	4.79	-	-	-	-	-	0.013	0.010	0.00	34.93
EX DA D	683,892	15.70	0.00	0.00	80.00	80.00	0.24	100	0.015	14.21	480	3.23	0.040	2.48	-	-	-	0.00	618	3.5	10	15.7	0.64	-	0.040	2.94	-	-	-	-	-	0.013	0.010	0.00	19.64
EX BP D	548,856	12.60	0.381	3.02	80.00	80.54	0.24	100	0.010	16.72	1065	3.23	0.040	5.50	-	-	-	0.00	0	3.5	10	15.7	0.64	0.03	0.050	0.00	-	-	-	-	-	0.013	0.010	0.00	22.22

Existing Condition:
¹ Grassland Type D soil. A Cn of 98 was used for impervious surfaces to calculate weighted Cn.
² Cn Values based on USDA TR-55 Manual
³ The minimum Tc is 5 minutes per the TR-55.

SHADOWGLEN PHASE 3 PRELIMINARY PLAN
DETENTION RESULTS - SCS METHOD

Point of Analysis	Total Drainage Area (Acres)	Total Impervious Cover Area (acres)	Impervious Area (%)	Storm Event	Existing Runoff (cfs)
A	74.13	0.48	0.65%	2	117.28
				10	228.97
				25	307.59
				100	439.58
B	45.11	0.00	0.00%	2	93.38
				10	180.48
				25	241.07
				100	343.74
C	8.24	0.00	0.00%	2	12.54
				10	24.56
				25	32.96
				100	47.08
D	28.30	0.38	1.35%	2	56.95
				10	110.49
				25	147.57
				100	209.50
COMBINED PEAK FLOWS LEAVING PROPERTY	155.78	0.86	0.55%	2	280.15
				10	544.50
				25	729.19
				100	1039.90

BENCHMARKS

BM #101 "X" IN CONCRETE AROUND A WATER MANHOLE LOCATED 2281' SOUTH OF THE SOUTHWEST CORNER OF THE SOUTHWEST 100 ACRE TRACT AND 1770' SOUTHEAST OF THE SOUTHEAST RIGHT-OF-WAY LINE OF FIDUCIO GROVE ROAD. ELEV: +557.13' (NAVD 83)

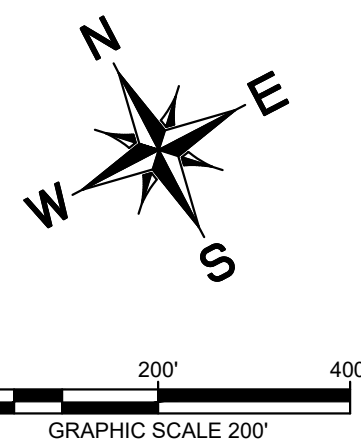
BM #102 "X" SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND FIDUCIO GROVE ROAD. ELEV: +538.05' (NAVD 83)

BM #103 "60\"/>



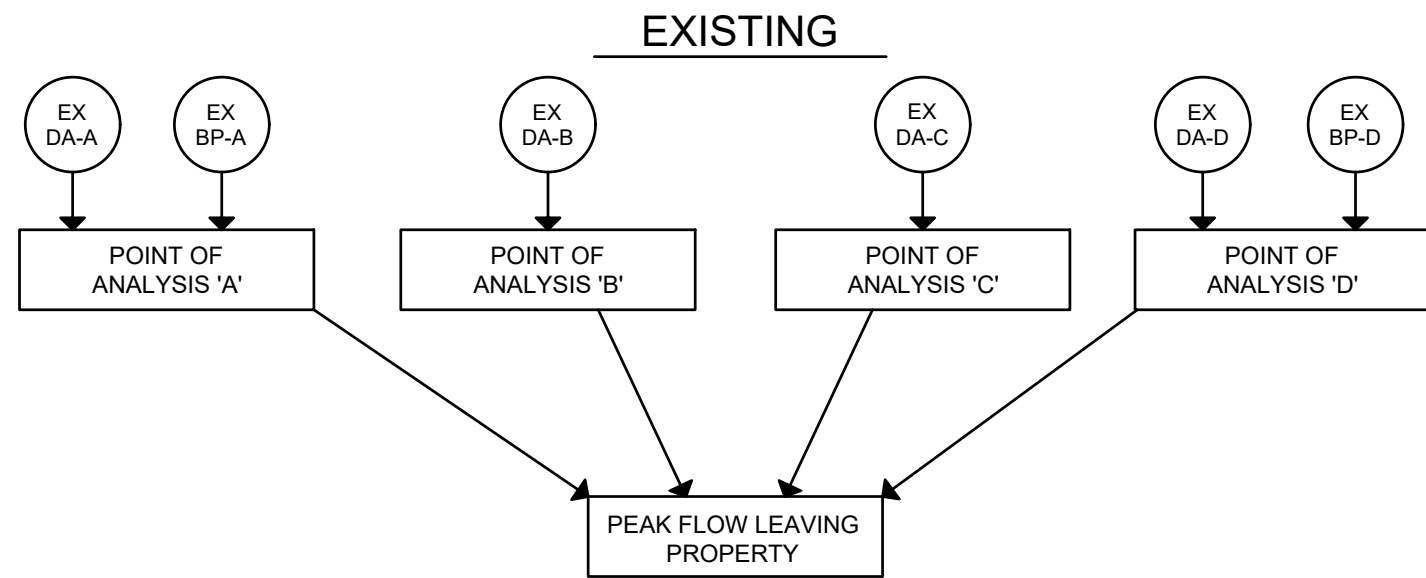
Know what's below.
Call before you dig.

WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



LEGEND

	POINT OF ANALYSIS
	AREA DESIGNATOR
	AREA IN ACRES
	INLET NUMBER
	PROPERTY LINE
	PROPOSED STORM SEWER LINE
	EXISTING STORM SEWER LINE
	PROPOSED DRAINAGE DIVIDE
	PROPOSED STORM SEWER INLET
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER HEADWALL
	PROPOSED FLOW DIRECTION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	TIME OF CONCENTRATION PATH
	LIMIT OF "ZONE A" PER CLOMR
	EXISTING 100-YEAR FEMA FLOODPLAIN
	EXISTING 500-YEAR FEMA FLOODPLAIN
	PROPOSED 100-YEAR ATLAS 14 FLOODPLAIN
	EXISTING 100-YEAR ATLAS 14 FLOODPLAIN
	150' CREEK BUFFER
	300' CREEK BUFFER



Item 10.

B

DATE

REVISIONS

Kimley»Horn

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10814 JOLLYVILLE ROAD, AVALON IV, SUITE 300, AUSTIN, TX 78759
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TEXAS REGISTERED ENGINEERING FIRM F-928

Jacob Kondo

STATE OF TEXAS
JACOB KONDO
15813
LICENSED PROFESSIONAL ENGINEER
6/14/2023

KHA PROJECT 069254503

DATE JANUARY 2022

SCALE: AS SHOWN

DESIGNED BY: JBR

DRAWN BY: ADD

CHECKED BY: JBR

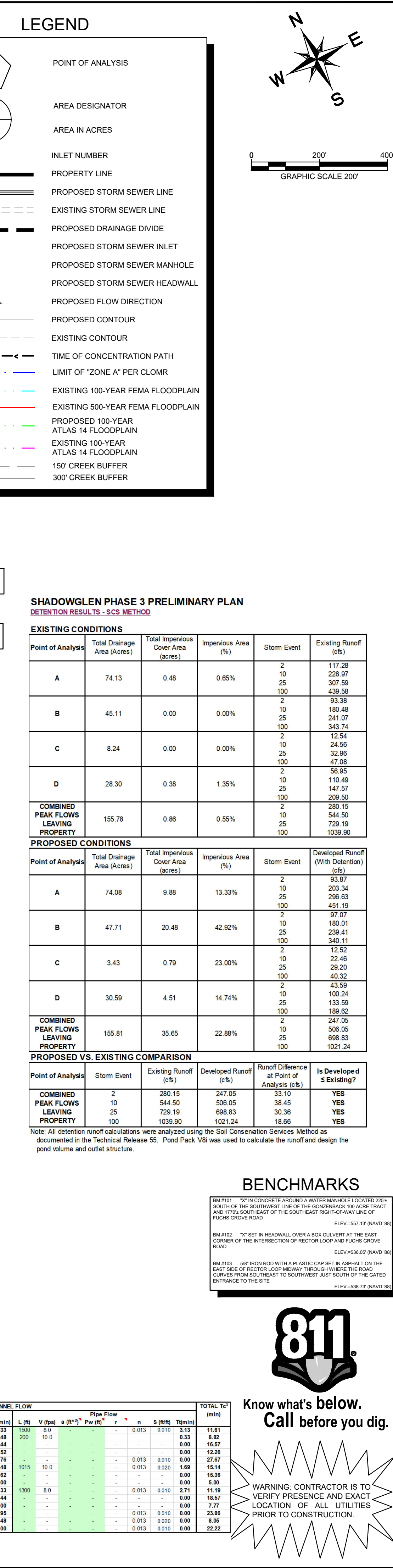
EXISTING DRAINAGE AREA MAP

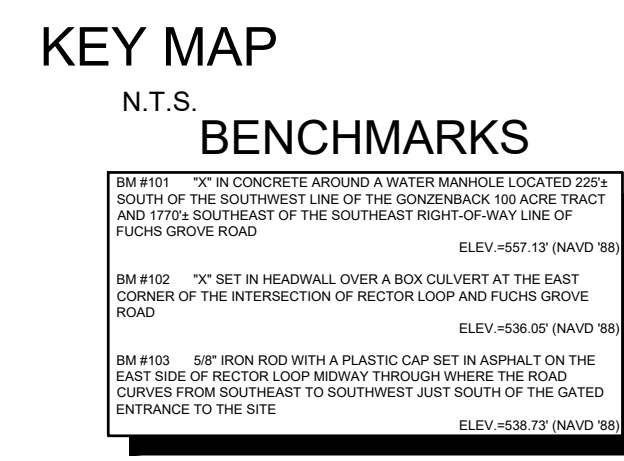
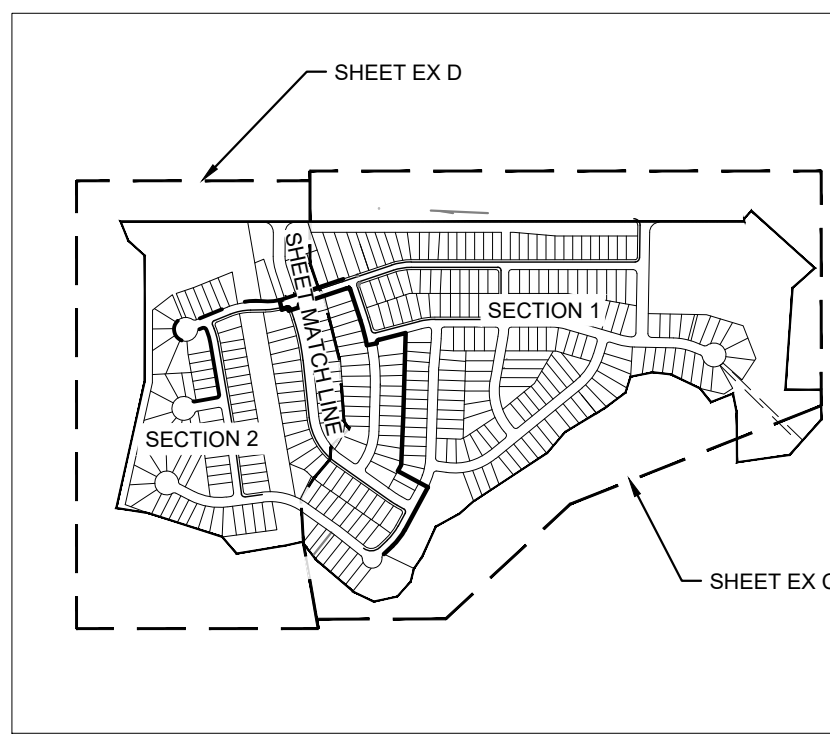
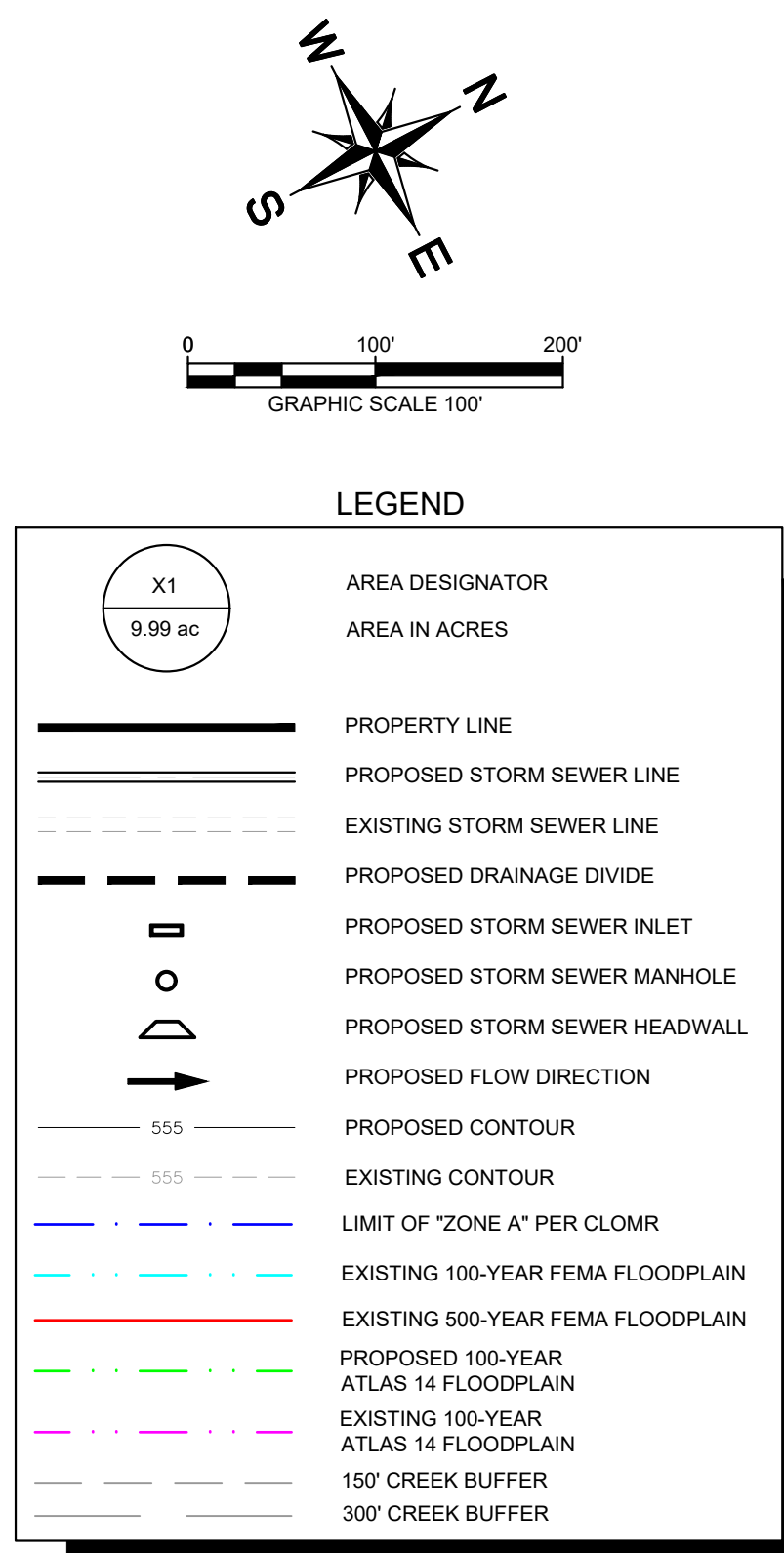
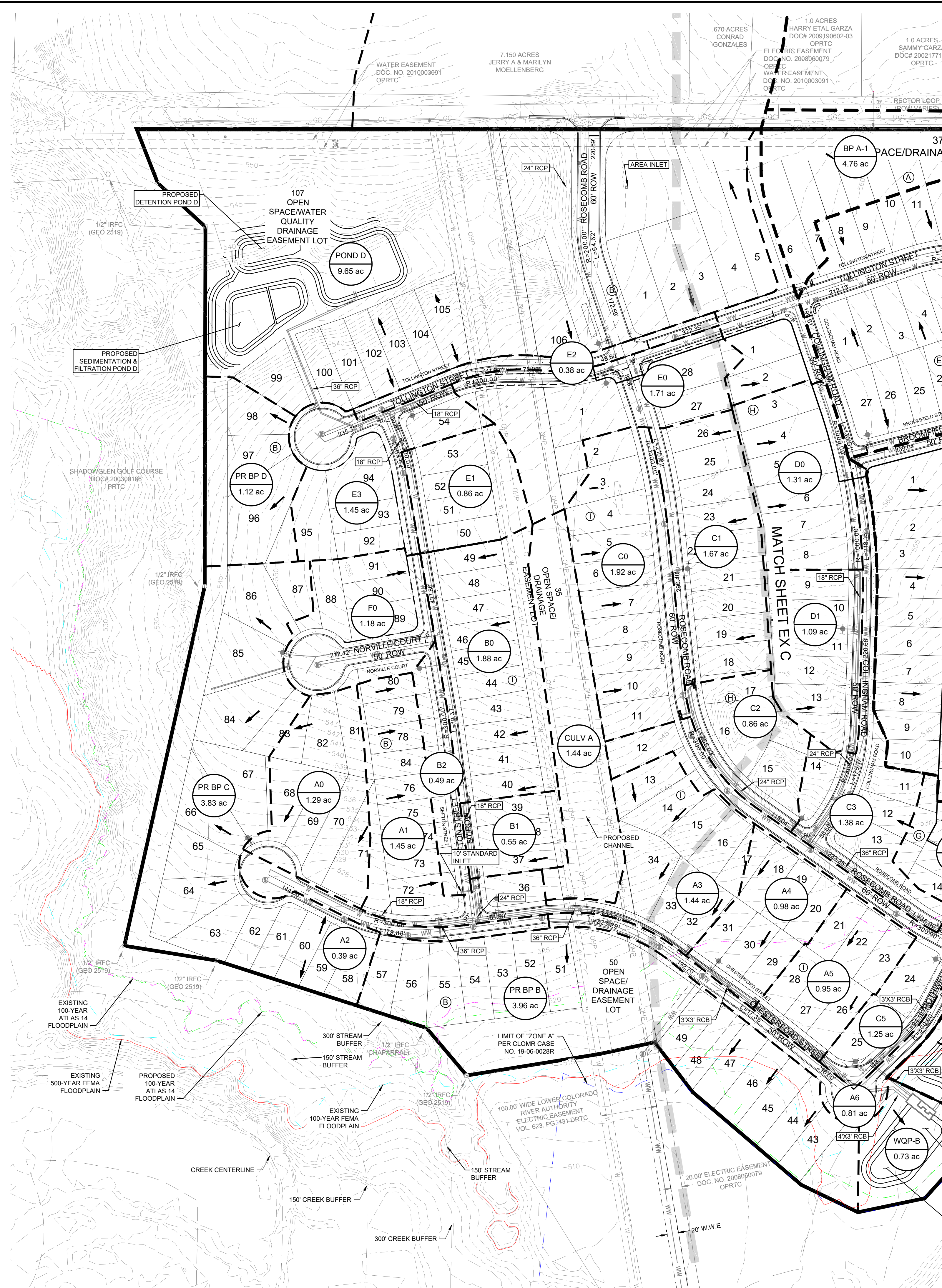
PRELIMINARY PLANS FOR SHADOWGLEN PHASE 3 CITY OF MANOR TRAVIS COUNTY, TEXAS

SHEET NUMBER

EX A

188





Plotted By:Calzada, Jonathan Date:June 14, 2023 03:46:30pm File Path:K:\AUS_Civil\069254503-Shadowglen Phase 3\Coord Preliminary\PlanSheets\3C--Drainage Area Map.dwg
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Shadowglen Phase 3 Section 1 Proposed "C" Value Calculations											
DRAINAGE AREA	AREA	AREA	Lots	SF of Lots	LF of Local	SF of Local	IMPERVIOUS COVER	IMPERVIOUS COVER	Comp. C ₁₀	Comp. C ₂₅	Comp. C ₁₀₀
	(sf)	(Ac.)					(sf)	%			
UNDR A	32,670.00	0.75	2.00	6,300	750	14250	20,550	63%	0.64	0.70	0.78
UNDR B	7,840.80	0.18	0.00	0	300	5700	5,700	73%	0.68	0.75	0.83
A0	49,658.40	1.14	5.00	15,750	540	10260	26,010	52%	0.59	0.65	0.73
A1	45,302.40	1.04	6.00	18,900	400	7600	26,500	58%	0.62	0.68	0.76
A2	34,848.00	0.80	4.50	14,175	175	3325	17,500	50%	0.58	0.64	0.72
A3	39,639.60	0.91	6.00	18,900	165	3135	22,035	56%	0.61	0.66	0.74
A4	43,995.60	1.01	6.00	18,900	360	6840	25,740	59%	0.62	0.68	0.76
A5	74,487.60	1.71	8.00	25,200	515	9785	34,985	47%	0.57	0.62	0.70
A6	39,639.60	0.91	6.00	18,900	370	7030	25,930	65%	0.65	0.71	0.79
A7	48,787.20	1.12	6.00	18,900	220	4180	23,080	47%	0.57	0.62	0.70
A8	47,916.00	1.10	5.00	15,750	110	2090	17,840	37%	0.52	0.57	0.65
A9	33,105.60	0.76	5.00	15,750	275	5225	20,975	63%	0.64	0.70	0.78
A10	75,358.80	1.73	4.00	12,600	890	16910	29,510	39%	0.53	0.58	0.66
A11	15,681.60	0.36	0.00	0	600	11400	11,400	73%	0.68	0.75	0.83
B0	61,419.60	1.41	5.50	17,325	575	10925	28,250	46%	0.56	0.62	0.69
B1	27,007.20	0.62	2.00	6,300	425	8075	14,375	53%	0.59	0.65	0.73
C0	69,696.00	1.60	1.00	3,150	1700	32300	35,450	51%	0.58	0.64	0.72
D0	79,279.20	1.82	8.00	28,000	375	7125	35,125	44%	0.55	0.61	0.69
D1	71,874.00	1.65	8.00	28,000	180	3420	31,420	44%	0.55	0.60	0.68
D2	25,264.80	0.58	1.50	5,250	375	7125	12,375	49%	0.58	0.63	0.71
D3	57,499.20	1.32	5.00	15,750	550	10450	26,200	46%	0.56	0.61	0.69
D4	28,749.60	0.66	0.00	0	1150	21850	21,850	76%	0.70	0.76	0.85
E0	64,033.20	1.47	5.50	19,250	610	11590	30,840	48%	0.57	0.63	0.71
E1	51,836.40	1.19	4.50	14,175	275	5225	19,400	37%	0.52	0.57	0.65
E2	25,700.40	0.59	1.00	3,150	525	9975	13,125	51%	0.58	0.64	0.72
F0	74,487.60	1.71	7.00	22,050	650	12350	34,400	46%	0.56	0.62	0.70
F1	56,628.00	1.30	7.00	22,050	180	3420	25,470	45%	0.56	0.61	0.69
F2	51,836.40	1.19	7.50	23,625	450	8550	32,175	62%	0.64	0.69	0.78
F3	49,222.80	1.13	7.00	22,050	240	4560	26,610	54%	0.60	0.65	0.74
CULVERT A	207,345.60	4.76	0.00	0	2000	38000	38,000	18%	0.43	0.48	0.55

Shadowglen Phase 3 Section 2 Proposed "C" Value Calculations											
DRAINAGE AREA	AREA	AREA	Lots	SF of Lots	LF of Local	SF of Local	IMPERVIOUS COVER (SF)	IMPERVIOUS COVER %	Comp. C ₁₀	Comp. C ₂₅	Comp. C ₁₀₀
	(sf)	(Ac.)									
A0	56,192.40	1.29	6.00	14,700	360	7025	21,725	39%	0.53	0.58	0.66
A1	63,162.00	1.45	10.00	24,500	428	8350	32,850	52%	0.59	0.64	0.73
A2	16,988.40	0.39	0.00	0	704	13719	13,719	81%	0.72	0.79	0.87
A3	62,726.40	1.44	8.00	22,400	154	3006	25,406	41%	0.54	0.59	0.67
A4	42,688.80	0.98	6.00	16,800	151	2938	19,738	46%	0.56	0.62	0.70
A5	41,382.00	0.95	6.00	16,800	145	2829	19,629	47%	0.57	0.62	0.70
A6	52,707.60	1.21	1.50	4,725	1923	37504	42,229	80%	0.72	0.78	0.87
B0	81,892.80	1.88	10.00	24,500	448	8742	33,242	41%	0.54	0.59	0.67
B1	23,958.00	0.55	3.00	7,350	135	2632	9,982	42%	0.54	0.59	0.67
B2	21,344.40	0.49	0.00	0	652	12716	12,716	60%	0.62	0.68	0.76
C0	83,635.20	1.92	10.00	28,000	518	10101	38,101	46%	0.56	0.61	0.69
C1	72,745.20	1.67	9.00	25,200	459	8957	34,157	47%	0.57	0.62	0.70
C2	37,461.60	0.86	3.50	9,800	327	6367	16,167	43%	0.55	0.60	0.68
C3	60,112.80	1.38	3.50	9,800	1164	22692	32,492	54%	0.60	0.65	0.74
C4	33,978.80	0.78	3.00	8,400	215	4200	12,600	37%	0.52	0.57	0.65
C5	37,026.00	0.85	1.50	4,200	973	18982	23,182	63%	0.64	0.70	0.78
D0	57,063.60	1.31	6.00	16,800	343	6685	23,485	41%	0.54	0.59	0.67
D1	47,480.40	1.09	5.00	14,000	325	6336	20,336	43%	0.55	0.60	0.68
E0	74,487.60	1.71	3.00	8,400	715	13950	22,350	30%	0.49	0.54	0.61
E1	37,461.60	0.86	4.00	9,800	184	3585	13,385	36%	0.51	0.57	0.64
E2	16,552.80	0.38	0.00	0	668	13028	13,028	79%	0.71	0.78	0.86
E3	63,162.00	1.45	5.00	12,250	988	19269	31,519	50%	0.58	0.63	0.71
F0	51,400.80	1.18	4.00	9,800	927	18086	27,886	54%	0.60	0.66	0.74
CULVERT A	62,726.40	1.44	0.00	0	0	0	0	0%	0.35	0.39	0.46
BP B-2	204,296.40	4.69	14.00	39,200	0	0	39,200	19%	0.44	0.48	0.56
PR DA C	218,235.60	5.01	19.00	46,550	927	18086	64,636	30%	0.49	0.54	0.61
PR POND D1	191,664.00	4.40	12.00	67,200	2555	49832	117,032	61%	0.63	0.69	0.77
PR DA D2	419,918.40	9.64	14.00	34,300	0	0	34,300	8%	0.39	0.43	0.50
OS POND D	548,420.40	12.59	0.00	0	862	16800	16,800	3%	0.36	0.41	0.48
BP POND D	48,787.20	1.12	3.00	7,350	0	0	7,350	15%	0.42	0.46	0.54

Storm Event C'	Fair Condition 2-7%	
	Pervious	Impervious
C ₁₀	0.35	0.81
C ₁₀	0.35	0.81
C ₂₅	0.39	0.88
C ₁₀₀	0.46	0.97

Shadowglen Phase 3 Section 1														
Drainage Calculations - SCS Method														
DRAINAGE AREA	SHEET FLOW				SHALLOW CONCENTRATED FLOW				CHANNEL FLOW				TOTAL Tc** (min)	
	P-2yr24hr 3.44 IN				Grass Surface				Channel Flow					
	N	L (ft)	S (ft/ft)	Tt(min)	L (ft)	V (fps)	S (ft/ft)	Tt(min)	L (ft)	V (fps)	n	S (ft/ft)		Tt(min)
UNDR A	0.24	50	0.020	7.905	100	2.3	0.020	0.730	275	3.6	0.016	0.01	1.26	9.89
UNDR B	0.24	20	0.020	3.798	0	2.3	0.020	0.000	150	3.6	0.016	0.01	0.69	5.00
A0	0.24	50	0.022	7.609	75	2.4	0.022	0.522	540	5.9	0.016	0.026	1.53	9.66
A1	0.24	50	0.020	7.905	55	2.3	0.020	0.402	400	5.5	0.016	0.023	1.21	9.51
A2	0.24	50	0.022	7.609	175	2.4	0.022	1.219	175	4.5	0.016	0.015	0.65	9.48
A3	0.24	50	0.016	8.643	175	2.0	0.016	1.429	165	3.6	0.016	0.01	0.75	10.83
A4	0.24	50	0.011	10.041	55	1.7	0.011	0.542	360	3.6	0.016	0.01	1.64	12.23
A5	0.24	50	0.020	7.905	175	2.3	0.020	1.278	515	7.8	0.016	0.046	1.10	10.28
A6	0.24	50	0.015	8.869	55	2.0	0.015	0.464	370	4.9	0.016	0.018	1.26	10.59
A7	0.24	50	0.030	6.722	185	2.8	0.030	1.103	220	3.6	0.016	0.01	1.01	8.83
A8	0.24	50	0.027	7.011	200	2.7	0.027	1.257	110	3.6	0.016	0.01	0.50	8.77
A9	0.24	50	0.020	7.905	75	2.3	0.020	0.548	275	3.6	0.016	0.01	1.26	9.71
A10	0.24	20	0.015	4.261	0	2.0	0.015	0.000	890	4.3	0.016	0.014	3.44	7.70
A11	0.24	50	0.019	8.069	75	2.2	0.019	0.562	600	3.6	0.016	0.01	2.74	11.37
B0	0.24	50	0.015	8.869	75	2.0	0.015	0.633	575	5.0	0.016	0.019	1.91	11.41
B1	0.24	20	0.020	3.798	0	2.3	0.020	0.000	425	4.5	0.016	0.015	1.59	5.38
D0	0.24	50	0.015	8.869	200	3.4	0.045	0.974	100	6.9	0.016	0.036	0.24	10.08
D1	0.24	50	0.015	8.869	275	3.2	0.040	1.420	180	6.1	0.016	0.028	0.49	10.78
D2	0.24	50	0.030	6.722	125	2.3	0.020	0.913	50	3.6	0.016	0.01	0.23	7.86
D3	0.24	50	0.015	8.869	20	2.0	0.015	0.169	550	5.2	0.016	0.02	1.78	10.81
D4	0.24	20	0.015	4.261	0	2.0	0.015	0.000	850	3.6	0.016	0.01	3.88	8.14
E0	0.24	50	0.020	7.905	100	3.0	0.035	0.552	120	8.0	0.016	0.048	0.25	8.71
E2	0.24	20	0.015	4.261	0	2.0	0.015	0.000	525	6.6	0.016	0.033	1.32	5.58
E1	0.24	50	0.020	7.905	100	3.0	0.035	0.552	275	6.3	0.016	0.03	0.73	9.18
F0	0.24	50	0.020	7.905	200	2.8	0.030	1.193	180	8.4	0.016	0.053	0.36	9.46
F1	0.24	50	0.020	7.905	200	2.7	0.028	1.235	180	8.0	0.016	0.048	0.38	9.52
F2	0.24	50	0.015	8.869	55	2.0	0.015	0.464	400	8.0	0.016	0.048	0.83	10.17
F3	0.24	50	0.015	8.869	200	2.8	0.030	1.193	185	5.2	0.016	0.02	0.60	10.66
CULVERT A	0.24	50	0.015	8.869	50	2.0	0.015	0.422	1550	5.8	0.016	0.025	4.48	13.77

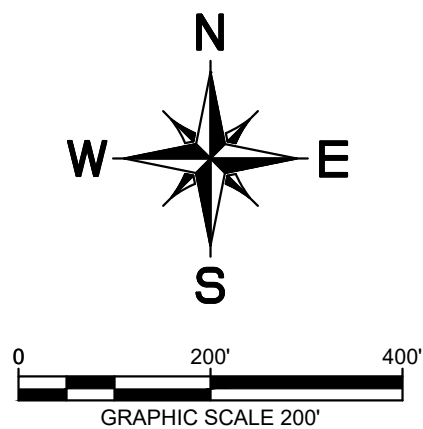
Plotted By:Calzada, Jonathan Date:June 14, 2023 03:46:35pm File Path:K:\AUS_Civil\069254503-Shadowglen Phase 3\Coat Preliminary\PlanSheets\CL--Drainage Area Map.dwg

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Shadowglen Phase 3 Section 1																						
INLET FLOW CALCULATION TABLE (25-Yr Flows)																						
Parabolic Crown																						
Inlet No.	Inlet Type	Drainage Area No.	Street Width (FOC - FOC)	K0	K1	K2	Q (cfs)	Q Pass (cfs)	Q Total (Qa) (cfs)	Slope (%)	a (in.)	yo (ft.)	Ponded Width (ft)	R.F. (%)	Qa/La	La (ft)	Length (ft)	L/La	a/yo	Q/Qa	Q (cfs)	Q Pass (cfs)
A0	Grade	A0	30'	2.85	0.50	3.03	1.4	0.0	1.4	2.60%	5.0	0.232	4.01	10	0.68	1.99	10	5.04	1.80	1.00	1.4	0.0
A1	Grade	A1	30'	2.85	0.50	3.03	5.9	0.0	5.9	2.30%	5.0	0.383	7.75	10	0.84	6.98	10	14.3	1.09	1.00	5.9	0.0
A2	Grade	A2	30'	2.85	0.50	3.03	4.3	0.0	4.3	1.50%	5.0	0.370	7.34	10	0.83	5.15	10	1.94	1.13	1.00	4.3	0.0
A3	Grade	A3	30'	2.85	0.50	3.03	4.8	0.0	4.8	1.00%	5.0	0.411	8.68	10	0.87	5.50	10	1.82	1.01	1.00	4.8	0.0
A4	Grade	A4	30'	2.85	0.50	3.03	5.2	0.0	5.2	1.00%	5.0	0.422	9.07	10	0.88	5.87	10	1.70	0.99	1.00	5.2	0.0
A5	Grade	A5	30'	2.85	0.50	3.03	8.6	0.0	8.6	4.60%	5.0	0.388	7.89	10	0.85	10.17	15	1.47	1.07	1.00	8.6	0.0
A6	Grade	A6	30'	2.85	0.50	3.03	5.2	0.0	5.2	1.80%	5.0	0.383	7.74	10	0.84	6.17	10	1.62	1.09	1.00	5.2	0.0
A7	Grade	A7	30'	2.85	0.50	3.03	6.0	0.0	6.0	1.00%	5.0	0.442	9.89	10	0.90	6.59	10	1.52	0.94	1.00	6.0	0.0
A8	Grade	A8	30'	2.85	0.50	3.03	5.4	0.0	5.4	1.00%	5.0	0.428	9.30	10	0.89	6.08	10	1.64	0.97	1.00	5.4	0.0
A9	Grade	A9	30'	2.85	0.50	3.03	4.4	0.0	4.4	1.00%	5.0	0.400	8.29	10	0.86	5.13	10	1.95	1.04	1.00	4.4	0.0
A10	Sump	A10	30'	2.85	0.50	3.03	9.0	0.0	9.0	1.40%	SEE SUMP INLET CALCULATIONS											
A11	Sump	A11	30'	2.85	0.50	3.03	2.1	0.0	2.1	1.00%	SEE SUMP INLET CALCULATIONS											
B0	Grade	B0	30'	2.85	0.50	3.03	6.8	0.0	6.8	1.90%	5.0	0.414	8.79	10	0.87	7.73	10	1.29	1.01	1.00	6.8	0.0
B1	Grade	B1	30'	2.85	0.50	3.03	4.0	0.0	4.0	1.50%	5.0	0.362	7.13	10	0.82	4.89	10	2.04	1.15	1.00	4.0	0.0
C0	Sump	C0	30'	2.85	0.50	3.03	8.6	0.0	8.6	1.00%	SEE SUMP INLET CALCULATIONS											
D0	Grade	D0	30'	2.85	0.50	3.03	9.0	0.0	9.0	3.60%	5.0	0.410	8.64	10	0.87	10.38	15	1.45	1.02	1.00	9.0	0.0
D1	Grade	D1	30'	2.85	0.50	3.03	7.9	0.0	7.9	2.80%	5.0	0.410	8.63	10	0.87	9.13	15	1.64	1.02	1.00	7.9	0.0
D2	Grade	D2	30'	2.85	0.50	3.03	3.3	0.0	3.3	0.70%	5.0	0.384	7.77	10	0.84	3.87	10	2.59	1.09	1.00	3.3	0.0
D3	Sump	D3	30'	2.85	0.50	3.03	6.4	0.0	6.4	1.00%	SEE SUMP INLET CALCULATIONS											
D4	Sump	D4	30'	2.85	0.50	3.03	4.4	0.0	4.4	1.00%	SEE SUMP INLET CALCULATIONS											
E0	Grade	E0	30'	2.85	0.50	3.03	7.9	0.0	7.9	4.80%	5.0	0.375	7.49	10	0.83	9.52	10	1.05	1.11	1.00	7.9	0.0
E2	Grade	E2	30'	2.85	0.50	3.03	3.7	0.0	3.7	3.30%	5.0	0.310	5.76	10	0.76	4.86	10	2.06	1.34	1.00	3.7	0.0
E1	Grade	E1	30'	2.85	0.50	3.03	5.8	0.0	5.8	3.00%	5.0	0.365	7.19	10	0.82	7.02	10	1.42	1.14	1.00	5.8	0.0
F0	Grade	F0	30'	2.85	0.50	3.03	8.8	0.0	8.8	5.30%	5.0	0.382	8.50	10	0.84	10.50	15	1.43	1.09	1.00	8.8	0.0
F1	Grade	F1	30'	2.85	0.50	3.03	6.6	0.0	6.6	4.80%	5.0	0.353	6.87	10	0.81	8.19	15	1.83	1.18	1.00	6.6	0.0
F2	Grade	F2	30'	2.85	0.50	3.03	6.7	0.0	6.7	4.80%	5.0	0.355	6.92	10	0.81	8.30	15	1.81	1.17	1.00	6.7	0.0
F3	Grade	F3	30'	2.85	0.50	3.03	5.9	0.0	5.9	2.00%	5.0	0.393	8.07	10	0.85	6.95	10	1.44	1.06	1.00	5.9	0.0

Sump Inlets										
Inlet No.	Inlet Type	Drainage Area No.	Street Width (CL - FOC)	Q (cfs)	Q Pass (cfs)	Q Total (Qa) (cfs)	R.F. (%)	Length (ft)	Rfx L (ft)	yo + a (ft.)
A10	Sump	A10	15.0'	9.0	0.0	9.0	10%	10.0	9.0	1.00
A11	Sump	A11	15.0'	2.1	0.0	2.1	10%	10.0	9.0	0.23
C0	Sump	C0	15.0'	8.6	0.0	8.6	10%	10.0	9.0	0.96
D3	Sump	D3	15.0'	6.4	0.0	6.4	10%	10.0	9.0	0.72
D4	Sump	D4	15.0'	4.4	0.0	4.4	10%	10.0	9.0	0.49

Shadowglen Phase 3 Section 1																							
INLET FLOW CALCULATION TABLE (100-Yr Flows)																							
Parabolic Crown																							
Inlet No.	Inlet Type	Drainage Area No.	Street Width (FOC - FOC)	K0	K1	K2	Q (cfs)	Q Pass (cfs)	Q Total (Qa) (cfs)	Slope (%)	a (in.)	yo (ft.)	Ponded Width (ft)	R.F. (%)	Qa/La	La (ft)	Length (ft)	L/La	a/yo	Qa	Q/Qa	Q (cfs)	Q Pass (cfs)
A0	Grade	A0	30'	2.85	0.50	3.03	1.88	0.0	1.9	2.50%	5.0	0.258	4.56	10	0.71	2.64	10	3.78	1.62	7.10	1.00	1.9	0.0
A1	Grade	A1	30'	2.85	0.50	3.03	8.33	0.0	8.3	2.30%	5.0	0.430	9.40	10	0.89	9.35	10	1.07	0.97	8.92	1.00	8.3	0.0
A2	Grade	A2	30'	2.85	0.50	3.03	6.06	0.0	6.1	1.50%	5.0	0.416	8.84	10	0.88	6.92	10	1.44	1.00	8.76	1.00	6.1	0.0
A3	Grade	A3	30'	2.85	0.50	3.03	6.85	0.0	6.8	1.00%	5.0	0.463	10.89	10	0.93	7.38	10	1.35	0.90	9.27	1.00	6.8	0.0
A4	Grade	A4	30'	2.85	0.50	3.03	7.42	0.0	7.4	1.00%	5.0	0.475	11.64	10	0.94	7.88	10	1.27	0.88	9.41	1.00	7.4	0.0
A5	Grade	A5	30'	2.85	0.50	3.03	12.32	0.0	12.3	4.60%	5.0	0.437	9.66	10	0.90	13.71	15	1.09	0.95	13.48	1.00	12.3	0.0
A6	Grade	A6	30'	2.85	0.50	3.03	7.36	0.0	7.4	1.80%	5.0	0.430	9.39	10	0.89	8.26	10	1.21	0.97	8.91	1.00	7.4	0.0
A7	Grade	A7	30'	2.85	0.50	3.03	8.50	0.0	8.5	1.00%	5.0	0.497	13.80	10	0.97	8.80	10	1.14	0.84	9.66	1.00	8.5	0.0
A8	Grade	A8	30'	2.85	0.50	3.03	7.75	0.0	7.8	1.00%	5.0	0.482	12.15	10	0.95	8.17	10	1.22	0.86	9.49	1.00	7.8	0.0
A9	Grade	A9	30'	2.85	0.50	3.03	6.25	0.0	6.2	1.00%	5.0	0.449	10.20	10	0.91	6.85	10	1.46	0.93	9.12	1.00	6.2	0.0
A10	Sump	A10	30'	2.85	0.50	3.03	12.86	0.0	12.9	1.40%	SEE SUMP INLET CALCULATIONS												
A11	Sump	A11	30'	2.85	0.50	3.03	2.97	0.0	3.0	1.00%	SEE SUMP INLET CALCULATIONS												
B0	Grade	B0	30'	2.85	0.50	3.03	9.73	0.0	9.7	1.90%	5.0	0.467	11.16	10	0.93	10.43	10	0.96	0.89	9.33	0.96	9.3	0.4
B1	Grade	B1	30'	2.85	0.50	3.03	5.60	0.4	6.0	1.50%	5.0	0.414	8.79	10	0.87	6.86	10	1.46	1.01	8.74	1.00	6.0	0.4
C0	Sump	C0	30'	2.85	0.50	3.03	12.26	0.0	12.3	1.00%	SEE SUMP INLET CALCULATIONS												
D0	Grade	D0	30'	2.85	0.50	3.03	12.94	0.0	12.9	3.60%	5.0	0.462	10.86	10	0.93	13.97	15	1.07	0.90	13.90	1.00	12.9	0.0
D1	Grade	D1	30'	2.85	0.50	3.03	11.42	0.0	11.4	2.80%	5.0	0.462	10.87	10	0.93	12.32	15	1.22	0.90	13.90	1.00	11.4	0.0
D2	Grade	D2	30'	2.85	0.50	3.03	4.61	0.0	4.6	0.65%	5.0	0.436	9.63	10	0.90	5.14	10	1.95	0.96	8.98	1.00	4.6	0.0
D3	Sump	D3	30'	2.85	0.50	3.03	9.25	0.0	9.3	1.00%	SEE SUMP INLET CALCULATIONS												
D4	Sump	D4	30'	2.85	0.50	3.03	6.20	0.0	6.2	1.00%	SEE SUMP INLET CALCULATIONS												
E0	Grade	E0	30'	2.85	0.50	3.03	11.27	0.0	11.3	4.80%	5.0	0.421	9.04	10	0.88	12.76	10	0.78	0.99	8.81	0.78	8.8	2.5
E2	Grade	E2	30'	2.85	0.50	3.03	5.20	0.0	5.2	3.30%	5.0	0.347	6.70	10	0.80	6.49	10	1.54	1.20	8.02	1.00	5.2	0.0
E1	Grade	E1	30'	2.85	0.50	3.03	8.28	0.0	8.3	3.00%	5.0	0.411	8.67	10	0.87	9.51	10	1.05	1.01	8.70	1.00	8.3	0.0
F0	Grade	F0	30'	2.85	0.50	3.03	12.59	0.0	12.6	5.30%	5.0	0.430	9.37	10	0.89	14.14	15	1.06	0.97	13.36	1.00	12.6	0.0
F1	Grade	F1	30'	2.85	0.50	3.03	9.47	0.0	9.5	4.80%	5.0	0.397	8.21	10	0.81	11.07	10	1.21	0.86	12.10	1.00	9.5	0.0
F2	Grade	F2	30'	2.85	0.50	3.03	9.55	0.0	9.6	4.80%	5.0	0.399	8.24	10	0.86	11.15	15	1.35	1.05	12.86	1.00	9.6	0.0
F3	Grade	F3	30'	2.85	0.50	3.03	8.46	0.0	8.5	2.00%	5.0	0.442	9.91	10	0.90	9.35	10	1.07	0.94	9.05	1.00	8.5	0.0



EXISTING CONTOURS
PROPOSED CONTOURS
LIMITS OF CONSTRUCTION CANAL
VEGETATIVE FILTER STRIP
AREA FOR REDUCTION
AREA FOR EXPANSION
WATER QUALITY BASIN DIVIDER
LIMIT OF "ZONE A" PER CLOMR
EXISTING 100-YEAR FEMA FLOODPLAIN
EXISTING 500-YEAR FEMA FLOODPLAIN
PROPOSED 100-YEAR
ATLAS 14 FLOODPLAIN
EXISTING 100-YEAR
ATLAS 14 FLOODPLAIN
150' CREEK BUFFER
300' CREEK BUFFER

BUFFER AVERAGING TABLE



WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.



Plotted By: Celardo, Jonathan Date: June 14, 2023 03:47:51pm File Path: K:\AUS-Civil\069254503-Shadowglen Phase 3\03a Preliminary\PlanSheets\03-Water Quality Planning

SHADOWGLEN PHASE 3 CONSTRUCTION PLANS
TSS Removal Calculations 04-20-2009
Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell. Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348. Characters shown in red are data entry fields. Characters shown in black (Bold) are calculated fields. Changes to these fields will remove the equations used in the spreadsheet.

1. The Required Load Reduction for the total project: Calculations from RG-348 Pages 3-27 to 3-30

2. Drainage Basin Parameters (This information should be provided for each basin):

3. Indicate the proposed BMP Code for this basin:

4. Calculate Maximum TSS Load Removed (L_u) for this Drainage Basin by the selected BMP Type:

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area:

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area:

7. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area:

8. Calculate Maximum TSS Load Removed (L_u) for this Drainage Basin by the selected BMP Type:

9. Filter area for Sand Filters:

9A. Full Sedimentation and Filtration System:

9B. Partial Sedimentation and Filtration System:

1. The Required Load Reduction for the total project: Calculations from RG-348 Pages 3-27 to 3-30

2. Drainage Basin Parameters (This information should be provided for each basin):

3. Indicate the proposed BMP Code for this basin:

4. Calculate Maximum TSS Load Removed (L_u) for this Drainage Basin by the selected BMP Type:

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area:

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area:

7. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area:

8. Calculate Maximum TSS Load Removed (L_u) for this Drainage Basin by the selected BMP Type:

9. Filter area for Sand Filters:

9A. Full Sedimentation and Filtration System:

9B. Partial Sedimentation and Filtration System:

1. The Required Load Reduction for the total project: Calculations from RG-348 Pages 3-27 to 3-30

2. Drainage Basin Parameters (This information should be provided for each basin):

3. Indicate the proposed BMP Code for this basin:

4. Calculate Maximum TSS Load Removed (L_u) for this Drainage Basin by the selected BMP Type:

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area:

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area:

7. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area:

8. Calculate Maximum TSS Load Removed (L_u) for this Drainage Basin by the selected BMP Type:

9. Filter area for Sand Filters:

9A. Full Sedimentation and Filtration System:

9B. Partial Sedimentation and Filtration System:

TSS REMOVAL SUMMARY SECTION 1

AREA NAME	BMP TYPE	TSS REMOVAL EFFICIENCY	Basin Area (AC.)	IMPERVIOUS (AC.)	IMPERVIOUS (%)	REQUIRED TSS LOAD REMOVAL (LBS.)	PROVIDED TSS LOAD REMOVAL (LBS.)
WQP A	Sand Filter	93	16.22	8.25	51%	7181	8250
WQP B-1	Sand Filter	89	16.05	7.09	44%	6171	7100
VFS-1	Vegetated Filter Strips	85	4.28	1.07	25%	931	1054
UNTREATED	NONE	0	10.59	0.56	5%	1393	0
TOTALS:			47.14	16.97	36%	15676	16404

TSS REMOVAL SUMMARY SECTION 2

AREA NAME	BMP TYPE	TSS REMOVAL EFFICIENCY	Basin Area (AC.)	IMPERVIOUS (AC.)	IMPERVIOUS (%)	REQUIRED TSS LOAD REMOVAL (LBS.)	PROVIDED TSS LOAD REMOVAL (LBS.)
WQP D	Sand Filter	93	29.46	4.73	16%	3777	3990
WQP-B2	Sand Filter	89	19.99	9.64	48%	8389	8650
VFS-2A	Vegetated Filter Strips	85	3.49	0.61	17%	531	619
VFS-2B	Vegetated Filter Strips	85	1.19	0.32	27%	280	315
VFS-2C	Vegetated Filter Strips	85	1.64	0.45	27%	392	441
UNTREATED 2A	NONE	0	1.41	0.46	33%	645	0
UNTREATED 2B	NONE	0	1.44	0.00	0%	0	0
TOTALS:			58.62	16.21	28%	14013	14015

TSS REMOVAL SUMMARY SECTION 3

AREA NAME	BMP TYPE	TSS REMOVAL EFFICIENCY	Basin Area (AC.)	IMPERVIOUS (AC.)	IMPERVIOUS (%)	REQUIRED TSS LOAD REMOVAL (LBS.)	PROVIDED TSS LOAD REMOVAL (LBS.)
WQP D	Sand Filter	93	29.46	4.73	16%	3777	3990
WQP-B2	Sand Filter	89	19.99	9.64	48%	8389	8650
VFS-2A	Vegetated Filter Strips	85	3.49	0.61	17%	531	619
VFS-2B	Vegetated Filter Strips	85	1.19	0.32	27%	280	315
VFS-2C	Vegetated Filter Strips	85	1.64	0.45	27%	392	441
UNTREATED 2A	NONE	0	1.41	0.46	33%	645	0
UNTREATED 2B	NONE	0	1.44	0.00	0%	0	0
TOTALS:			58.62	16.21	28%	14013	14015

PRELIMINARY PLANS FOR
SHADOWGLEN
PHASE 3
CITY OF MANOR
TRAVIS COUNTY, TEXAS

PRELIMINARY WATER
QUALITY CALCULATIONS

SHEET NUMBER
EX H

Kimley»Horn

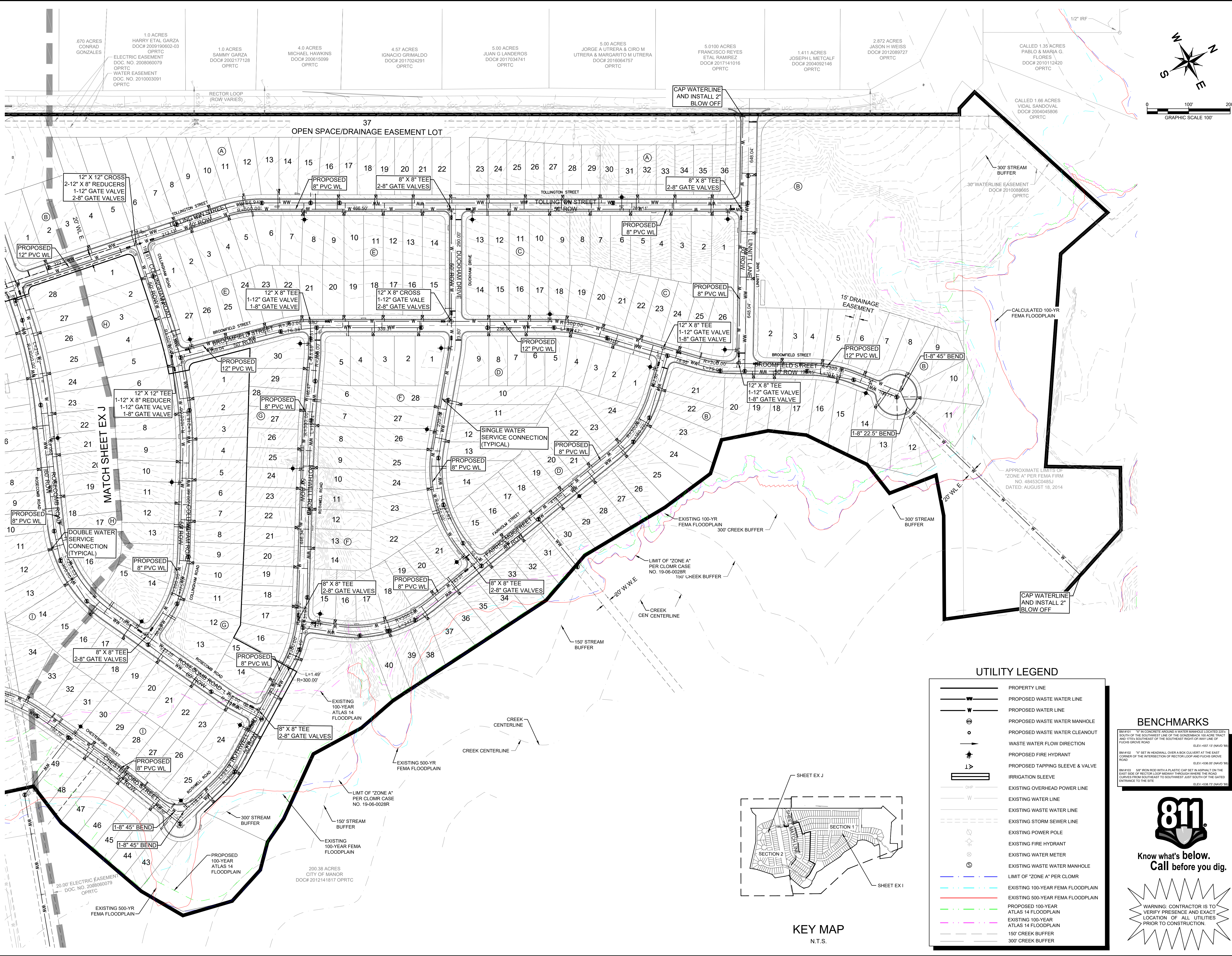
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TEXAS REGISTERED ENGINEERING FIRM F-928

JACOB KONDO
115913
LICENSED PROFESSIONAL ENGINEER
6/14/2023

KHA PROJECT
069254503
DATE
JANUARY 2022
SCALE: AS SHOWN
DESIGNED BY: JBR
DRAWN BY: ADO
CHECKED BY: JBR

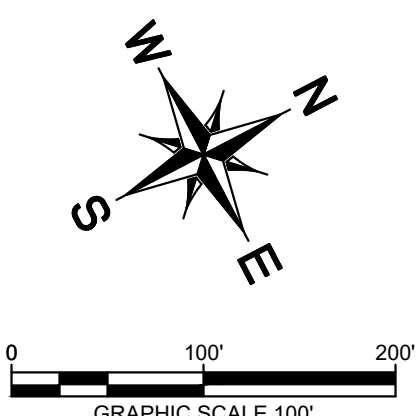
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REVISIONS

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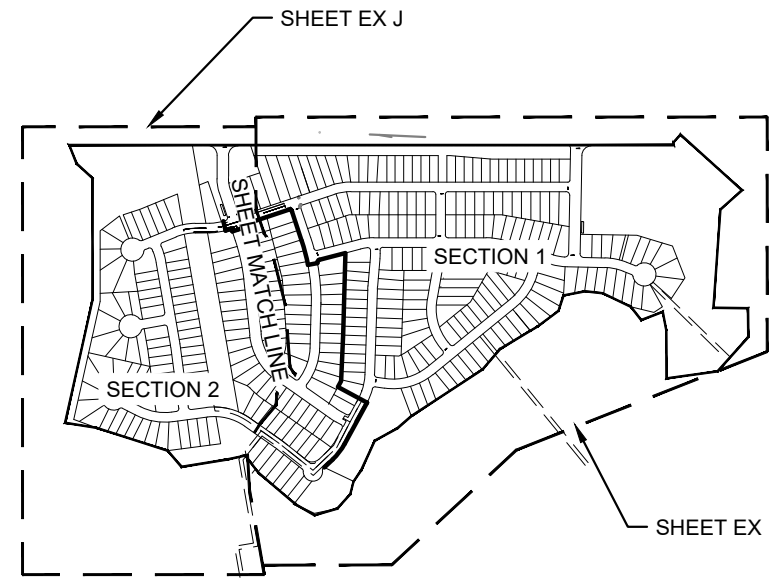
KHA PROJECT 069254503		DATE JANUARY 2022		SCALE AS SHOWN		DESIGNED BY: JBR		DRAWN BY: ADD		CHECKED BY: JBR	
PRELIMINARY PLANS FOR SHADOWGLEN PHASE 3 CITY OF MANOR TRAVIS COUNTY, TEXAS											
PRELIMINARY WATER PLAN - SECTION 1 (SHEET 1 OF 2)											
Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 10814 JOLLYVILLE ROAD, AVALON IV, SUITE 300, AUSTIN, TX 78759 PHONE: 512-418-1771 FAX: 512-418-791 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM F-928											
Jacob Kondo JACOB KONDO 15813 LICENSED PROFESSIONAL ENGINEER 6/14/2023											
SHEET NUMBER EX I											

Plotted By: Colorado, Jonathan Date: June 14, 2023 03:49:03pm File Path: K:\AUS\069254503-Shadowglen Phase 3\Coa Preliminary\PlanSheets\Co-Water Plan.dwg
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



UTILITY LEGEND

	PROPERTY LINE
	PROPOSED WASTE WATER LINE
	PROPOSED WATER LINE
	PROPOSED WASTE WATER MANHOLE
	PROPOSED WASTE WATER CLEANOUT
	WASTE WATER FLOW DIRECTION
	PROPOSED FIRE HYDRANT
	PROPOSED TAPPING SLEEVE & VALVE
	IRRIGATION SLEEVE
	EXISTING OVERHEAD POWER LINE
	EXISTING WATER LINE
	EXISTING WASTE WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING WASTE WATER MANHOLE
	LIMIT OF "ZONE A" PER CLMOR
	EXISTING 100-YEAR FEMA FLOODPLAIN
	EXISTING 500-YEAR FEMA FLOODPLAIN
	PROPOSED 100-YEAR ATLAS 14 FLOODPLAIN
	EXISTING 100-YEAR ATLAS 14 FLOODPLAIN
	150' CREEK BUFFER
	300' CREEK BUFFER



KEY MAP
N.T.S.
BENCHMARKS

BM #101 1" IN CONCRETE AROUND A WATER MANHOLE LOCATED 2281' SOUTH OF THE SOUTHWEST CORNER OF THE CENTERBOX 100-ACRE TRACT, AND 1770' SOUTHEAST OF THE SOUTHEAST RIGHT-OF-WAY LINE OF PICKS GROVE ROAD
ELEV: +557.12' (NAVD 83)

BM #102 1" SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND PICKS GROVE ROAD
ELEV: +538.05' (NAVD 83)

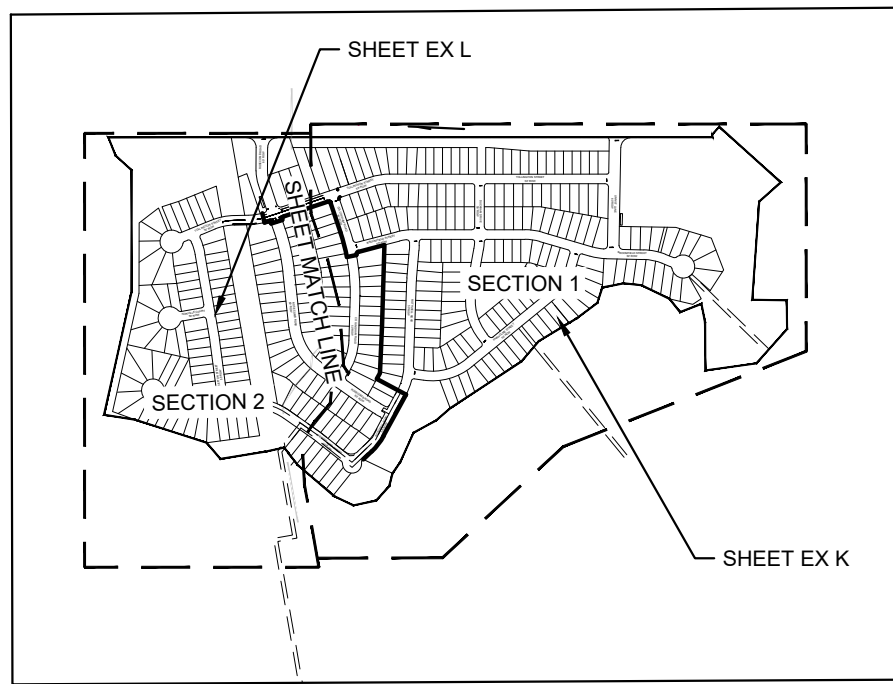
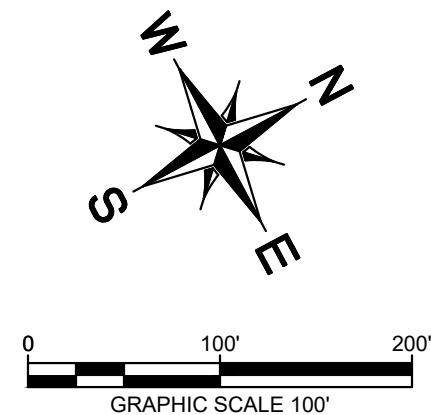
BM #103 1" SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND PICKS GROVE ROAD
ELEV: +538.05' (NAVD 83)

BM #104 1" SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND PICKS GROVE ROAD
ELEV: +538.05' (NAVD 83)



WARNING: CONTRACTOR IS TO VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

Item 10.	
DATE	REVISIONS
No.	
Kimley»Horn	
© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 10814 JOLLYVILLE ROAD, AVALON IV, SUITE 300, AUSTIN, TX 78759 PHONE: 512-418-1771 FAX: 512-418-1791 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM F-928	
KHA PROJECT 069254503	DATE JANUARY 2022
SCALE AS SHOWN	DESIGNED BY: JBR
DRAWN BY: AGD	CHECKED BY: JBR
PRELIMINARY WATER PLAN - SECTION 2 (SHEET 2 OF 2)	
PRELIMINARY PLANS FOR SHADOWGLEN PHASE 3 CITY OF MANOR TRAVIS COUNTY, TEXAS	
SHEET NUMBER EX J	



KEY MAP
N.T.S.

BENCHMARKS

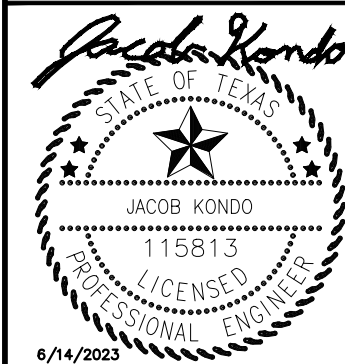
BM #101	"X" IN CONCRETE AROUND A WATER MAIN LOCATED 225' SOUTH OF THE SOUTHWEST LINE OF THE GOMZENBAKE 100 ACRE TRACT AND 172' SOUTH OF THE SOUTHEAST RIGHT-OF-WAY LINE OF FUCHS GROVE ROAD	ELEV.=557.13 (NAVD 88)
BM #102	"3" SET IN HEADWALL OVER A BOX CULVERT AT THE EAST CORNER OF THE INTERSECTION OF RECTOR LOOP AND FUCHS GROVE ROAD	ELEV.=536.05 (NAVD 88)
BM #103	5/8" IRON ROD WITH A PLASTIC CAP SET IN ASPHALT ON THE EAST SIDE OF RECTOR LOOP MIDWAY THROUGH WHERE THE ROAD CURVES FROM SOUTHEAST TO SOUTHWEST JUST SOUTH OF THE GATED ENTRANCE TO THE SITE	ELEV.=538.73 (NAVD 88)



Know what's **below**.
Call before you dig.

WARNING: CONTRACTOR IS
VERIFY PRESENCE AND EXA
LOCATION OF ALL UTILIT
PRIOR TO CONSTRUCTION.

Kimley»»Horn



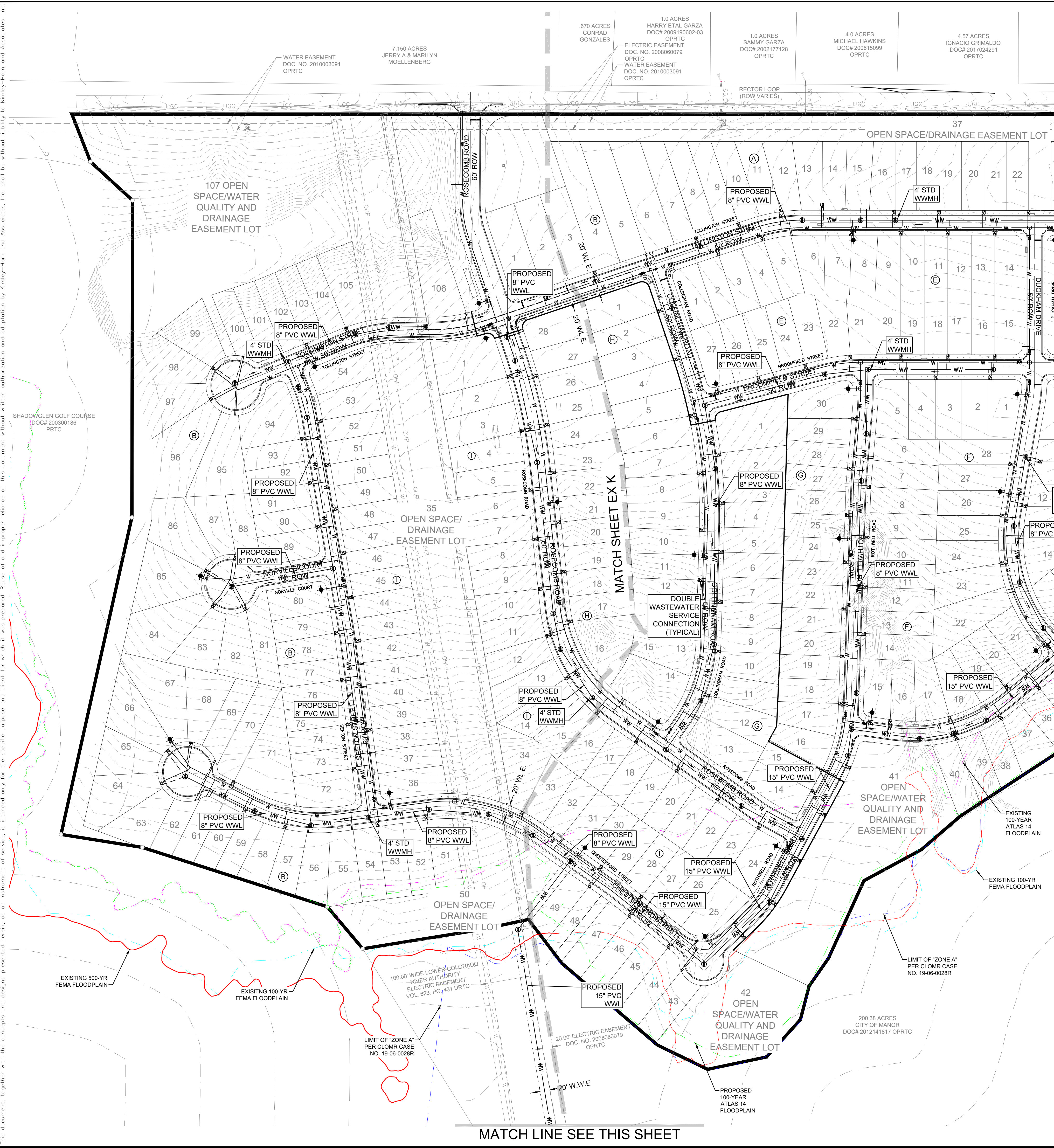
KHA PROJECT 069254503	DATE JANUARY 2022	SCALE: AS SHOWN	DESIGNED BY: JBR	DRAWN BY: AGD	CHECKED BY: JBR
--------------------------	----------------------	-----------------	------------------	---------------	-----------------

PRELIMINARY
WASTEWATER PLAN
- SECTION 1 (SHEET
1 OF 2)

PRELIMINARY PLANS FOR
SHADOWGLEN
PHASE 3
CITY OF MANOR
TRAVIS COUNTY, TEXAS

SHEET NUMBER
EX K

Plotted By: Carlos, Jonathan Date: June 14, 2023 03:50:11pm File Path: K:\AUS-Civil\069254503-Shadowglen Phase 3\Cad\Preliminary\PlanSheets\C-Wastewater Plan.dwg
This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.





1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Wednesday, November 14, 2018

Jason Reece
Kimley Horn
10814 Jollyville Road
Austin 78759
Jason.Reece@kimley-horn.com

Permit Number 2018-P-1154-PP
Job Address: Shadowglen Phase 3 Section 1 & 2 Preliminary Plan, Manor, TX. 78653

Dear Jason Reece,

The first submittal of the Shadowglen Phase 3 Section 1 & 2 Preliminary Plan (*Preliminary Plan*) submitted by Kimley Horn and received on July 31, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (737) 247-7557 or by email at pgray@gbateam.com.

1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(2)(iii), Significant Trees, within the boundaries of the subdivision and of 8-inch caliper and larger, shall be shown accurately to the nearest one (1) foot, Critical Root Zones of these trees shall also be shown on the preliminary plat.
2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(2)(vii), the locations, sizes and descriptions of all existing utilities, including but not limited to wastewater lines, lift stations, wastewater and storm sewer manholes, waterlines, water storage tanks, and wells within the subdivision, and/or adjacent thereto should be shown on the preliminary plat.
3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and rights-of-way; and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions be shown on the preliminary plat.
4. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(3)(vii), Significant Trees to remain during construction showing the Critical Root Zones as solid circles, and Significant Trees designated to be removed showing the Critical Root Zones as dashed circles on the preliminary plat.
5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(3)(viii), Replacement Trees shall be shown on the Preliminary Plat based on a replacement ratio (inches removed to inches planted) of:
 - a) 1:2 for Significant Trees eighteen (18) inches in caliper and larger, and
 - b) 1: 1 for Significant Trees between eight (8) and eighteen (18) in caliper.
 - c) Replacement Trees shall not be required for the removal of trees smaller than eight (8) inches in caliper. The removal of Significant Trees larger than eighteen inches in caliper require Commission approval.
6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv), Traffic Impact Analysis (TIA), consistent with the City of Austin Transportation Criteria Manual is required. A scoping meeting must be conducted with City Staff prior to assembly of the TIA document.
7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(3)(vi), the lengths of each proposed property line of all lots. The area of each non-rectangular lot shall be provided.
8. Some of the drawings appear to be cut off. Adding matchlines where applicable may help to clarify where each section is located.
9. The MUD number that will serve the proposed project is not listed on under the General Information on Sheet 2.

10. Clearly differentiate between existing and proposed waterline and wastewater lines.
11. Clearly show where the proposed waterline and wastewater lines will tie in to the existing systems.
12. The following comments pertain to the requested variances:
 - i. The lot sizes have been determined for the entire Shadowglen Development. Per the Development Agreement (DA), 25% can be 5,000 sf, 20% can be 5,500 sf, 20% can be 6,000 sf, 20% can be 6,500 sf, 7.5% can be 7,400 sf and 7.5% can be 8,000 sf. These are percentages for what has been already been constructed and approved. It should be shown how many of each lot type has already been constructed and approved and how many are proposed with this Phase.
 - ii. There are set percentages for lot widths that need to be followed: 15% = 65 ft, 20%=60 ft, 20%=55 ft, 20%=50 ft and 25%=40 ft. You can deviate from those percentages +/- 5%. It would be helpful to have a table of where the development currently is and what it will be at with the proposed lots.
 - iii. Is taken from the DA and is fine.
 - iv. Is taken from the DA and is fine.
 - v. Is taken from the DA and is fine.
 - vi. Is taken from the DA and is fine.
 - vii. This needs to be clarified as to what the development plan and report are. Would this show the lot sizes and widths for Shadowglen overall?
 - viii. Clarify what was revoked.
 - ix. Would full construction plan sets be submitted for the pathways?
 - x. Is ok.
 - xi. Please provide documentation as to when the variance request was granted along with a copy of the approved request.
13. There appears to be now variance process in the DA so the only way to have any new variances approved would be through an amendment to the DA. There are already agreed to variances in the DA, so if additional ones are requested the DA would need to be amended.
14. It is highly unlikely that any waivers to deviate from the DA will be granted.
15. Parkland is required to be dedicated with Phase 3 of Shadowglen and should be consistent with Exhibit I of the DA. For Phase 3, 6.4 acres of greenbelt trails/linear parks and 8.5 acre community park is required.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



11/14/2018 4:58:19 PM
Shadowglen Phase 3 Section 1 & 2 Preliminary Plan
2018-P-1154-PP
Page 4

Pauline Gray, P.E.
Lead AES
GBA



February 18, 2019

City of Manor
Pauline Gray, P.E.
105 E. Eggleston Street
Manor, TX 78653

**RE: Preliminary Plan for Shadowglen Phase 3 (Permit No. 2018-P-1154-PP)
Section 1 & 2
Manor, Texas 78653**

Dear Ms. Gray:

Please accept this Comment Response Letter for the above reference project. This submittal is in response to the comments provided by the City of Manor on November 14, 2018. The original comments have also been included below, for reference.

Comment 1. Significant Trees, within the boundaries of the subdivision and of 8-inch caliper and larger, shall be shown accurately to the nearest one (1) foot, Critical Root Zones of these trees shall also be shown on the preliminary plat.

Response: A tree survey has been included with this submittal.

Comment 2. The locations, sizes and descriptions of all existing utilities, including but not limited to wastewater lines, lift stations, wastewater and storm sewer manholes, waterlines, water storage tanks, and wells within the subdivision, and/or adjacent thereto should be shown on the preliminary plat.

Response: All existing utilities have been shown and labeled.

Comment 3. The locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and rights-of-way; and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions be shown on the preliminary plat

Response: Proposed street names, easements, right-of-way and dimensions have been shown on the Preliminary Plan.

Comment 4. Significant Trees to remain during construction showing the Critical Root Zones as solid circles, and Significant Trees designated to be removed showing the Critical Root Zones as dashed circles on the preliminary plat.

Response: All Significant Trees within the project limits to remain and/or removed have been shown with this submittal.

Comment 5. The Replacement Trees shall be shown on the Preliminary Plat based on a replacement ratio (inches removed to inches planted) of:

- a) 1:2 for Significant Trees eighteen (18) inches in caliper and larger, and
- b) 1:1 for Significant Trees between eight (8) and eighteen (18) in caliper.
- c) Replacement Trees shall not be required for the removal of trees smaller than eight (8) inches in caliper. The removal of Significant Trees larger than eighteen inches in caliper require Commission approval

Response: **The Development Agreement requires a minimum of 2 – 2” caliper trees to be planted for each residential lot.**

Comment 6. A Traffic Impact Analysis (TIA), consistent with the City of Austin Transportation Criteria Manual is required. A scoping meeting must be conducted with City Staff prior to assembly of the TIA document.

Response: **TIA Scope has been approved and will be submitted as soon as it has been completed.**

Comment 7. Provide the lengths of each proposed property line of all lots. The area of each non-rectangular lot shall be provided

Response: **Lengths are depicted for each proposed property line for all lots except for future lots on Sheet 3 & 4. Area for every lot is provided in Sheet 5.**

Comment 8. Some of the drawings appear to be cut off. Adding match lines where applicable may help to clarify where each section is located

Response: **Match lines have been added. In addition, a Key Map is provided on each sheet where drawings are cut off.**

Comment 9. The MUD number that will serve the proposed project is not listed on under the General Information on Sheet 2.

Response: **The MUD that will serve the proposed project is Wilbarger Creek M.U.D. #1 and is noted in Note 3 on Sheet 2.**

Comment 10. Clearly differentiate between existing and proposed waterline and wastewater lines.

Response: **All proposed utilities are shown in bold and existing utilities are thin.**

Comment 11. Clearly show where the proposed waterline and wastewater lines will tie in to the existing systems.

Response: **The proposed wastewater connection tie-in location is shown on Sheet EX-L and the proposed water tie-in locations are shown on Sheet EX-J.**

Comment 12. The following comments pertain to the requested variances:

- i. The lot sizes have been determined for the entire Shadowglen Development. Per the Development Agreement (DA), 25% can be 5,000 sf, 20% can be 5,500 sf, 20% can be 6,000 sf, 20% can be 6,500 sf, 7.5% can be 7,400 sf and 7.5% can be

8,000 sf. These are percentages for what has been already been constructed and approved. It should be shown how many of each lot type has already been constructed and approved and how many are proposed with this Phase.

Response: This information was shown on the Cover Sheet (Sheet #1) just under the Vicinity Map.

- ii. There are set percentages for lot widths that need to be followed: 15% = 65 ft, 20%=60 ft, 20%=55 ft, 20%=50 ft and 25%=40 ft. You can deviate from those percentages +/- 5%. It would be helpful to have a table of where the development currently is and what it will be at with the proposed lots.

Response: This information was shown on the Cover Sheet (Sheet #1) just under the Vicinity Map.

- iii. Is taken from the DA and is fine.

Response: Noted

- iv. Is taken from the DA and is fine.

Response: Noted

- v. Is taken from the DA and is fine.

Response: Noted

- vi. Is taken from the DA and is fine.

Response: Noted

- vii. This needs to be clarified as to what the development plan and report are. Would this show the lot sizes and widths for Shadowglen overall?

Response: The report and development plan were submitted with the initial submittal of the Preliminary Plan review.

- viii. Clarify what was revoked.

Response: This noted was copied from Phase 2 Preliminary Plan. This note has been removed.

- ix. Would full construction plan sets be submitted for the pathways?

Response: Yes, a full separate construction plan set will be submitted for the pathways.

- x. Is ok.

Response: Noted

- xi. Please provide documentation as to when the variance request was granted along with a copy of the approved request.

Response: This noted was copied from Phase 2 Preliminary Plan. There are no new variance being requested. The variance as discussed in the general notes refers to the existing approved PUD variances.

Comment 13. There appears to be now variance process in the DA so the only way to have any new variances approved would be through an amendment to the DA. There are already agreed to variances in the DA, so if additional ones are requested the DA would need to be amended

Response: No additional waivers to deviate from the Development Agreement are being requested at this time.

Comment 14. It is highly unlikely that any waivers to deviate from the DA will be granted.

Response: No additional waivers to deviate from the Development Agreement are being requested at this time.

Comment 15. Parkland is required to be dedicated with Phase 3 of Shadowglen and should be consistent with Exhibit I of the DA. For Phase 3, 6.4 acres of greenbelt trails/linear parks and 8.5-acre community park is required.

Response: Lot 1 in Section 1 (7.7 acres) will be utilized for the amenity center and detention pond. The subsequent sections of Shadowglen Phase 3 will satisfy the remaining parkland requirements.

Please contact me at 512-551-1839 if additional information is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Jason Reece, P.E.
Project Manager



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Wednesday, March 27, 2019

Jason Reece
Kimley Horn
10814 Jollyville Road
Austin 78759
Jason.Reece@kimley-horn.com

Permit Number 2018-P-1154-PP
Job Address: Shadowglen Phase 3 Section 1 & 2 Preliminary Plan, Manor 78653

Dear Jason Reece,

The subsequent submittal of the Shadowglen Phase 3 Section 1 & 2 Preliminary Plan submitted by Kimley Horn and received on July 31, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (737) 247-7557 or by email at pgray@gbateam.com.

1. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance-263B Section 22(c)(2)(iii), Significant Trees, within the boundaries of the subdivision and of 8-inch caliper and larger, shall be shown accurately to the nearest one (1) foot, Critical Root Zones of these trees shall also be shown on the preliminary plat.~~
2. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance-263B Section 22(c)(2)(vii), the locations, sizes and descriptions of all existing utilities, including but not limited to wastewater lines, lift stations, wastewater and storm sewer manholes, waterlines, water storage tanks, and wells within the subdivision, and/or adjacent thereto should be shown on the preliminary plat.~~
3. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance-263B Section 22(c)(3)(iii), the locations, dimensions, names and descriptions of all proposed streets, alleys, parks, nature preserves, open spaces, blocks, lots, reservations, easements, and rights of way, and areas within the subdivision, indicating the connection to or continuation of other improvements in adjacent subdivisions be shown on the preliminary plat.~~
4. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance-263B Section 22(c)(3)(vii), Significant Trees to remain during construction showing the Critical Root Zones as solid circles, and Significant Trees designated to be removed showing the Critical Root Zones as dashed circles on the preliminary plat.~~
5. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance-263B Section 22(c)(3)(viii), Replacement Trees shall be shown on the Preliminary Plat based on a replacement ratio (inches removed to inches planted) of:~~
 - a) ~~1:2 for Significant Trees eighteen (18) inches in caliper and larger, and~~
 - b) ~~1: 1 for Significant Trees between eight (8) and eighteen (18) in caliper.~~
 - c) ~~Replacement Trees shall not be required for the removal of trees smaller than eight (8) inches in caliper. The removal of Significant Trees larger than eighteen inches in caliper require Commission approval.~~

6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv), Traffic Impact Analysis (TIA), consistent with the City of Austin Transportation Criteria Manual is required. ~~A scoping meeting must be conducted with City Staff prior to assembly of the TIA document.~~

~~7. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(3)(vi), the lengths of each proposed property line of all lots. The area of each non-rectangular lot shall be provided.~~

~~8. Some of the drawings appear to be cut off. Adding matchlines where applicable may help to clarify where each section is located.~~

9. The MUD number that will serve the proposed project is not listed on under the General Information on Sheet 2. (See upper left corner of sheet).

~~10. Clearly differentiate between existing and proposed waterline and wastewater lines.~~

~~11. Clearly show where the proposed waterline and wastewater lines will tie in to the existing systems.~~

12. The following comments pertain to the requested variances:

- i. The lot sizes have been determined for the entire Shadowglen Development. Per the Development Agreement (DA), 25% can be 5,000 sf, 20% can be 5,500 sf, 20% can be 6,000 sf, 20% can be 6,500 sf, 7.5% can be 7,400 sf and 7.5% can be 8,000 sf. These are percentages for what has been already been constructed and approved. It should be shown how many of each lot type has already been constructed and approved and how many are proposed with this Phase.
- ii. There are set percentages for lot widths that need to be followed: 15% = 65 ft, 20% = 60 ft, 20% = 55 ft, 20% = 50 ft and 25% = 40 ft. You can deviate from those percentages +/- 5%. It would be helpful to have a table of where the development currently is and what it will be at with the proposed lots.
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- viii. Clarify what was revoked.
- ix. Would full construction plan sets be submitted for the pathways?
- x. Is ok.
- xi. Please provide documentation as to when the variance request was granted along with a copy of the approved request.

~~13. There appears to be a new variance process in the DA so the only way to have any new variances approved would be through an amendment to the DA. There are already agreed to variances in the DA, so if additional ones are requested the DA would need to be amended.~~

~~14. It is highly unlikely that any waivers to deviate from the DA will be granted.~~

15. Parkland is required to be dedicated with Phase 3 of Shadowglen and should be consistent with Exhibit I of the DA. For Phase 3, 6.4 acres of greenbelt trails/linear parks and an 8.5 acre community park is required. The 8.5 acres is shown on the park plan as a contiguous tract that is 100% non-floodplain and contains only approved "Parkland Infrastructure". Lot 1 in Section 1 is shown as open space on the park plan, which is separate from the required community park space, and the lot contains detention facilities which are not approved "Parkland Infrastructure" for a community park. Any lot proposed to meet the "Additional Land" requirement of the DA should be labeled as only "Additional Land" or "Upland Park" with separately defined acreage from any open space or drainage lots.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Lead AES
GBA



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Wednesday, September 9, 2020

Jason Reece
Kimley Horn
10814 Jollyville Road
Austin 78759
Jason.Reece@kimley-horn.com

Permit Number 2018-P-1154-PP
Job Address: Shadowglen Phase 3 Section 1 & 2 Preliminary Plan, Manor, TX. 78653

Dear Jason Reece,

The first submittal of the Shadowglen Phase 3 Section 1 & 2 Preliminary Plan (*Preliminary Plan*) submitted by Kimley Horn and received on July 31, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (737) 247-7557 or by email at pgray@gbateam.com.

THE FOLLOWING COMMENTS ARE FOR THE FIRST SUBMITTAL OF THE DETENTION WAIVER REQUEST:

- 1. The detention waiver request will need to be approved by TRAVIS COUNTY as well the City of Manor.**
2. Clarify why the Areas for the curve numbers are different for existing vs proposed in Table 3.
3. Clarify which section of the City of Austin Drainage Criteria Manual you are requesting the Waiver Request for.
4. Per the City of Austin Drainage Criteria Manual Section 1.2.2(D), stormwater runoff peak flow rates shall not be increased at any point of discharge from a site for the two (2), ten (10), 25 and 100-year storm frequency events.
5. The waiver request states that minor changes in velocity occur within Wilbarger Creek and that the changes are minor. The report states that increases in peak flows during the 2- and 25-year storm events are less than 0.02% of their existing peak flows and will have no adverse impact on Wilbarger Creek and no additional adverse flooding will take place as a result of the proposed development. Please provide calculations showing that the increased velocities will not affect erosion.
6. Provide calculations showing that the developed intensity curve numbers include streets, sidewalks and any other impervious cover items in their calculations. The residential curve numbers appear low.
- 7. PROVIDE DOCUMENTATION THAT THE WAIVER REQUEST HAS BEEN APPROVED BY TRAVIS COUNTY.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Lead AES
GBA

André Betit, PE
 Daniela Guthrie, PE
 Travis County TNR Road and Bridge
 Mailing Address: P.O. Box 1748; Austin, TX 78701-1748
 Physical Address: 700 Lavaca Street; Austin, TX 78701

Traffic Impact Analysis for Shadowglen Phase 3 TIA

Please accept this *Comment Response Letter* in reply to Travis County Completion Check review, dated December 14, 2020 regarding the referenced project. Original comments have been included for reference, while Kimley-Horn responses are listed in **maroon**.

COMPLETION CHECK COMMENTS

1. Sight Distance Analysis: The TIA shall include horizontal and vertical sight distance analysis for both Stopping Sight Distance (SSD) and Intersection Sight Distance (ISD); however, only the horizontal intersection sight distance analysis was included in the report. Please include all exhibits as part of the update.

Response: Vertical sight distance figures have been included in this submittal in Appendix M along with the horizontal sight distance figures.

2. Section I.5.d requires a roadway sizing analysis for all connecting internal roadways. It appears the driveways/internal roadways weren't included in the report.

Response: A roadway sizing analysis has been included in the Phase 1 section of the report (Page 40-41) for the primary entrance roads to the Phase 1 development (2023) – called Driveway 1 and Driveway 2. The roadway sizing analysis for Driveway 3/Misty Grove Boulevard is included with the Phase 2 development (2025) of the report (Page 60).

The roadway classifications are noted on the overall site plan included as Figure 1, including notes for each classification used.

3. Section II.1 (a): Annual growth rate. Please provide printouts or screen shots of the TxDOT count maps in the appendix of the report.

Response: Growth rate calculations and the relevant TxDOT historical data has been included in Appendix C.

The growth rate table included shows an average growth rate of 9%; however, we are proposing a 3% growth rate as a more realistic growth rate to be sustainable over a 5-year development schedule. A 3% growth rate also aligns with the growth trends utilized in the background projects included in this TIA, as shown in the table below.

Project	Growth Rate
Wildhorse PUD	*
Lagos	1.00%
Equinox East	3.00%
Shadowglen PUD	2.00%
*Not included in report provided	

4. Please provide the electronic version of the NCHRP 457 spreadsheets. They appear to be missing.

Response: The Excel spreadsheets are included with this submittal.

Please contact me with questions or if additional information is required before January 4, 2021. I can be reached at 979 307 5030 or via email at allison.adams@kimley-horn.com.

Sincerely,



Allison Adams, P.E.

For future communication, questions and comments may continue to be directed to Santiago Araque Rojas, P.E., the project manager, using the following information:

Santiago A. Araque Rojas, P.E.
Project Manager
santiago.araque@kimley-horn.com
(512) 418-4514

February 8, 2021

Mr. Santiago A. Araque Rojas, P.E.
Kimley-Horn and Associates, Inc.
10814 Jollyville Road
Campus IV, Suite 200
Austin, TX 78759

SUBJECT: Review Comments for Traffic Impact Analysis Report
Shadowglen – Phase 3 (Manor, TX) (1st Submittal)

As requested by the City of Manor, GBA's traffic and transportation engineers have completed a technical review of the above referenced Traffic Impact Analysis (TIA) report submitted by Kimley-Horn. This TIA report submittal was received by the City of Manor on January 8, 2021 and provided to GBA at that time. In addition, we have also reviewed your supplemental information provided in response to the Travis County Completion Check review, dated December 14, 2020.

We would offer the following comments and observations regarding both our independent review of the submitted TIA report, as well as the County's comments provided during their content review and Kimley-Horn's subsequent responses:

1. There are several minor mistakes within the report document's Table of Contents:
 - It appears that there is a gap in the report page numbering, with Pages 12-19 missing.
 - The "Trip Distribution and Assignment" description is actually provided on Page 10.
 - In the Listing of Tables, **Tables 9-10** (2023 AM/PM Queuing Summary) and **Tables 16-17** (2025 AM/PM Queuing Summary) have been omitted, and items from **Table 9** to **Table 21** have been mislabeled as a result.
2. We find the submitted TIA report to be in general compliance with the Scope & Study Area guidance provided by Travis County personnel, as depicted in **Appendix A**, but would offer these observations:
 - We generally concur with the "factoring" of the existing traffic counts, including Kimley-Horn's COVID adjustment process and the use of some historical traffic growth factors to adjust 2019 traffic counts to current conditions (see further discussion of utilized traffic growth factors provided below in comment #4).
 - Please provide additional description, clarification and illustrations of the data collected for the purposes of calibrating the existing Synchro operational analyses.
 - We noted that there was an increase of 6 dwelling units proposed within the development between the scoping stage and this report submittal, resulting in negligible increases in expected trip generation of 58 daily trips, 4 total AM trips, and 6 total PM trips.
 - In **Appendix B**, the **Exhibit B1** does not explicitly provide the trip generation estimates for each adjacent approved project individually as required, nor does **Exhibit B2** allow for any tracking of site-generated trips from these adjacent projects on an individual basis with the way that these trips have been aggregated and summarized.
 - While we did note that existing traffic signal timing sheets were included within the electronic submittal package, they were not included in the Appendix of the TIA as listed in Submittal Requirement #5.
3. Please clarify the background traffic development volumes used for the purposes of this TIA. Good description is provided for the adjacent approved developments on Page 3 for the 2023

scenario. However, different (i.e., higher) assumptions for the background traffic from the adjacent approved developments may have been appropriate for the 2025 scenario.

- Was additional traffic beyond Phase 1 of the Lagos development included in the 2025 scenario, as this development progresses toward completion in 2030? If not, why?
- The Equinox East development is expected to be completed by 2027. Should additional traffic (up to 75% if linear growth is assumed) from this development have been considered for the 2025 scenario?

4. We have independently reviewed the supplemental TxDOT historical data provided by Kimley-Horn and summarized in the attached **Appendix C**. We understand that a 3% annual growth rate appears consistent with the growth trends utilized in the several background projects included in this TIA report, and why it is therefore recommended for use by Kimley-Horn. The TIA report also says that this 3% growth rate has previously received concurrence from both City and County staff.

However, our independent review of the TxDOT data in **Appendix C** indicates that annual growth rates in the range of 6% to 12% have been demonstrated over the five-year period from 2015 to 2019 at several of the nearby count stations, most notably those on US-290, Lexington Street south of US-290, and at the two locations on FM 0973 to the north of US-290. Therefore, more substantial background traffic growth has recently been demonstrated and sustained in the vicinity of this project site, and a more aggressive background growth rate may be advisable. We would note that any substantial increase in the background traffic volumes under the 2023 and 2025 development thresholds could result in additional mitigation countermeasures being required at the study intersections.

5. When reviewing the provided Trip Generation estimates in **Table 4** and **Appendix D**, we confirmed that Kimley-Horn utilized the Average Rates from ITE for Land Use 210. In this case, we concur with the use of these Average Rates since doing so represents a “conservative” approach that actually generates additional daily, AM, and PM trips from the Shadowglen – Phase 3 development.
6. Please provide additional clarification and/or justification for the intermittent usage of both ICU and HCM – 6th Ed. overall intersection Levels of Service within **Table 6**. These appear to be used interchangeably at times, and in some cases the summarized LOS values do not correlate with the provided Synchro analysis for each respective intersection? We would suggest a thorough review to ensure the completeness and accuracy of this table.
7. Regarding the traffic signal warrants provided throughout the TIA report for both the 2023 and 2025 scenarios, please provide additional clarification for your recommendations about MUTCD Peak Hour Warrant 3. If the poor operations at several of the study intersections will not be improved using traffic signalization per Kimley-Horn’s recommendations, what additional geometric and/or traffic control mitigation countermeasures should be considered, if any?
8. We have reviewed the Sight Distance Analysis provided within this TIA, both the prior horizontal measurements and the supplemental vertical analysis now included in **Appendix M**. Although the Intersection Sight Distance (ISD) condition looking west from Drive 1 onto Rector Loop is marginally deficient (i.e., by about 35 feet from the 400 feet required), in general we concur that no detrimental sight conditions are expected for egress drivers at the site access street connections onto either Rector Loop (Drives 1 and 2) or Fuchs Grove Road (Drive 3).

9. The roadway sizing analyses completed for Drives 1 and 2 during Phase 1 of this development, as well as for Drive 3 during Phase 2, appear to be complete and accurate. As noted by Kimley-Horn, the proposed roadway classifications are included on **Figure 1** provided in the TIA report.
10. We have reviewed the Excel calculation spreadsheets provided by Kimley-Horn to perform evaluations for the mainline auxiliary turn lane warrants, as described by NCHRP 457. We have independently confirmed the results of these auxiliary turn lane warrant analyses, in particular those at the location of Drive 3 onto Fuchs Grove Road (see Pages 61-63 of the TIA report) that indicate both a southbound left-turn lane and a northbound right-turn lane are warranted. These recommended mainline turn lane improvements appear to have been properly accounted within the phased mitigation plans and “pro rata” cost estimates within the TIA, with the southbound left-turn lane being accommodated by the recommended roadway widening to provide a three-lane section with a two-way left-turn lane (TWLTL) on Fuchs Grove Road from Rector Loop to Gregg Lane and the northbound right-turn lane indicated as the last item in **Table 21** on Page 75.
11. In **Tables 11-12** and **Tables 18-19**, there are numerous instances where the lane group MOEs provided (i.e., v/c ratios and movement delays) do not directly correspond with the associated LOS colorations and are misrepresented. This is especially true for many of the shared mainline through/right-turn lane groups. It would be very helpful if the overall delay and LOS results for the signalized intersections was also depicted in these tables. For the AM conditions provided in **Table 11**, the comparative overall signalized data provided references the Existing PM Peak Hour results and should instead reference the Existing AM Peak Hour MOEs in our opinion.

Again, please provide additional clarification and/or justification for the intermittent usage of both ICU and HCM – 6th Ed. overall intersection Levels of Service within these tables. These appear to be used interchangeably at times, or in some cases the summarized LOS does not correlate with either LOS found in the provided Synchro analysis for each respective intersection? We would suggest a thorough review to ensure the completeness and accuracy of these MOE summary tables.
12. The adopted Austin Transportation Criteria Manual (TCM) considers an LOS “F” to be unacceptable. The TIA report must include proposed improvements that will raise the level of service to an acceptable level. Please confirm during your review of the reported MOEs in revised versions of **Tables 11-12** and **Tables 18-19** that these acceptable levels have been achieved at all study intersections.
13. **Tables 16-17** appear to be mislabeled, as they are supposed to be indicating the “2025” AM and PM Queue and Storage Length summaries.
14. Comments from Travis County and TxDOT have not been included within this review letter.
15. Additional comments may be generated as the requested information is provided. A comment response letter, indicating how each comment has been addressed, must be submitted with the resubmittal. Review of this submittal does not constitute a verification of all data, information, and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not the City Engineers review the application for Ordinance compliance.

16. The phased mitigation cost estimates and “pro rata” cost sharing summaries may need to be reviewed pending the identification of any additional mitigation countermeasures at the study intersections.

Please feel free to contact us if you should have any questions regarding these independent review comments or need additional information.

Sincerely,

GEORGE BUTLER ASSOCIATES, INC.



Eric Sierra-Ortega, P.E.
Project Manager



David J. Mennenga, P.E., PTOE
Traffic Engineer

cc: City of Manor, TX
Pauline M. Gray, P.E. (GBA)
file



January 31st, 2022

City of Manor
Pauline Gray, P.E.
105 E. Eggleston Street
Manor, TX 78653

**RE: Preliminary Plan for Shadowglen Phase 3 (Permit No. 2018-P-1154-PP)
Section 1 & 2
Manor, Texas 78653**

Dear Pauline Gray:

Please accept this Comment Response Letter for the above reference project. This submittal is in response to the comments provided by the City of Manor on March 27th, 2019. The original comments have also been included below, for reference. A summary of changes made since the previous submittal has also been included with this submittal.

Comment 1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(iv), Traffic Impact Analysis (TIA), consistent with the City of Austin Transportation Criteria Manual is required.

Response: **Noted. The TIA for this project has been submitted and is currently in the final stages of review/approval.**

Comment 2. The MUD number that will serve the proposed project is not listed on under the General Information on Sheet 2. (See upper left corner of sheet).

Response: **Noted. The MUD number has been added to Sheet 2.**

Comment 3. Parkland is required to be dedicated with Phase 3 of Shadowglen and should be consistent with Exhibit I of the DA. For Phase 3, 6.4 acres of greenbelt trails/linear parks and an 8.5 acre community park is required. The 8.5 acres is shown on the park plan as a contiguous tract that is 100% non-floodplain and contains only approved "Parkland Infrastructure". Lot 1 in Section 1 is shown as open space on the park plan, which is separate from the required community park space, and the lot contains detention facilities which are not approved "Parkland Infrastructure" for a community park. Any lot proposed to meet the "Additional Land" requirement of the DA should be labeled as only "Additional Land" or "Upland Park" with separately defined acreage from any open space or drainage lots.

Response: **Noted.**



Please contact me at 512-551-1839 if additional information is required.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "Jason Reece".

Jason Reece, P.E.
Project Manager



KHA #069254503

12/19/2022

David Peyton
 Travis County TNR
 Mailing Address: P.O. Box 1748; Austin, TX 78701-1748
 Physical Address: 700 Lavaca Street; Austin, TX 78701

**Re: Project: APP-Sub 450
 Shadowglen Ph 3 Sec 1 & 2**

Dear David Peyton,

Please accept this Comment Response Letter in reply to the Traffic Engineering Division review, dated March 10th, 2022, regarding the above-referenced project. Original comments have been included below for reference. All Kimley-Horn's responses are listed in **Blue**

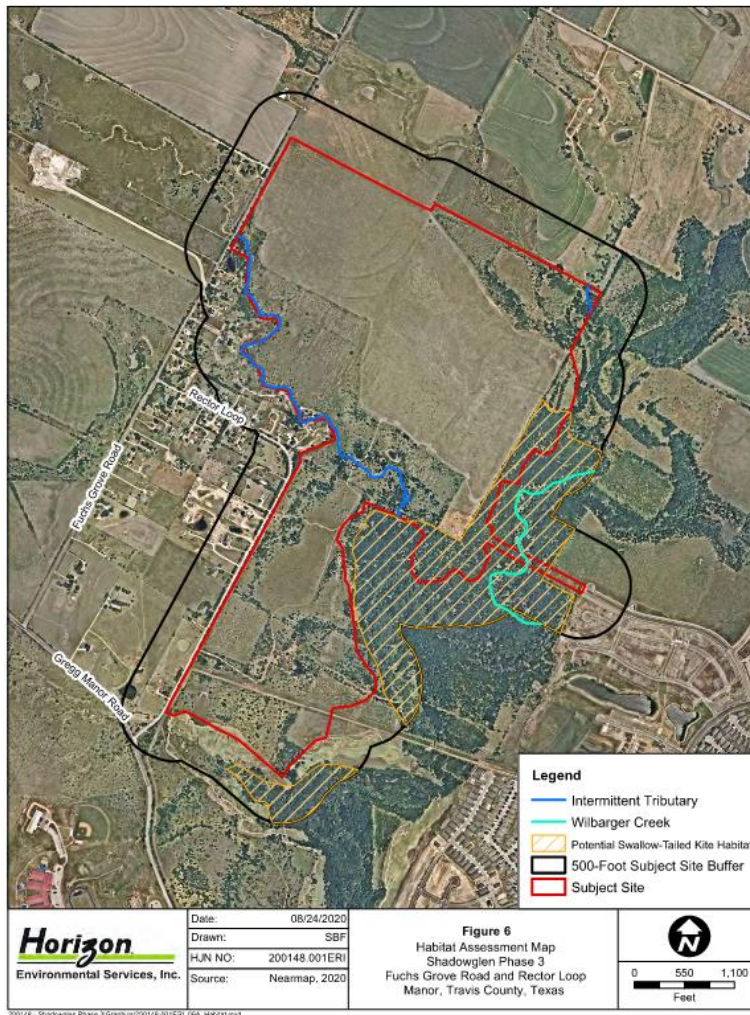
GENERAL

1. Add subdivision plat notes from 482.945.
Response: Acknowledged. Subdivision plat notes have been added to page 4 of the plat.
2. **Note:** If applicable, add a note when the preliminary plan associated with this project was approved.
Response: We are currently resubmitting for our preliminary plan for this project.

WATERWAY, CEF SETBACK AND TREE PRESERVATION

3. Provide a copy of the full environmental resource inventory more per the requirements found in 482.942.
Response: Acknowledged. A copy of the ERI has been attached with this submittal titled "Phase 3 ERI"
4. Any waterway and or critical environmental feature setback areas identified by the ERI must be shown as a protective, platted easement, and once the plat is approved by the County Executive, must be recorded by the owner in the Official Public Records of Travis County, Texas as stated in 482.914.
Response: Based on the ERI there are no CEFs or waterways within the property. See Figure 5 and 6 (sheet 17 and 18) of the ERI.





5. An exception request would need to be approved by the Division Director under 482.941.j.7. for the waterway buffer encroachments noted.

Please submit your request for approval.

Response: As discussed in our previous comment response a buffer averaging is proposed for the residential lots and Pond B located within the 300' setback per COA ECM 1.5.2.D. The 4.61ac area of reduction shown on Exhibit B will be averaged with three areas of expansion that account for a total of 4.9 acres. See exhibit G below and on sheet 12 of the prelim plan.

7. NOTE

Clearly mark and label the location and dimensions of any easement for placement of a permanent water quality control.

A Protective Easement document has been must be submitted to postinspection@traviscountytx.gov for review and approval prior to notarizing it.

Once the easement document receives review approval, the document will be returned to be legally recorded with the County Clerk's Office. A digital recorded copy must be provided.

Response: Water Quality Easement Lots have been called out on plat and coordination has been started for easement documents. Recordation number will be provided when available.

8. Please add the following permanent water quality plat note:

As depicted on the plat, all water quality easement areas are subject to periodic inspection and monitoring by Travis County for the purpose of ensuring water quality compliance, as applicable, according to Sec. 16.014 of the Texas Water Code.

Response: Acknowledged. The note has been added to general notes as note #21.

****** PLEASE NOTE ******

1. *Additional ENV comments may be issued and based on the answers and information provided to items listed above.*
2. *Include a response to comments memo.*
3. *When resubmitting information on mypermitnow.org please include an email to david.peyton@traviscountytx.gov indicating that new information has been added to the application. **REEFERNCE YOUR APPLICATION #***

End of Report

Please contact me at (512) 418-1771 if additional information is required.



Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in black ink that reads "Jacob Kondo". The signature is fluid and cursive, with the first letters of each word being capitalized.

Jacob Kondo, P.E.
Project Manager

Shadowglen Phase 3 Sections 1 And 2 – Formal Review
S-23-147
City of Manor, Precinct 1
July 20, 2023 Lauren Winek, P.E.

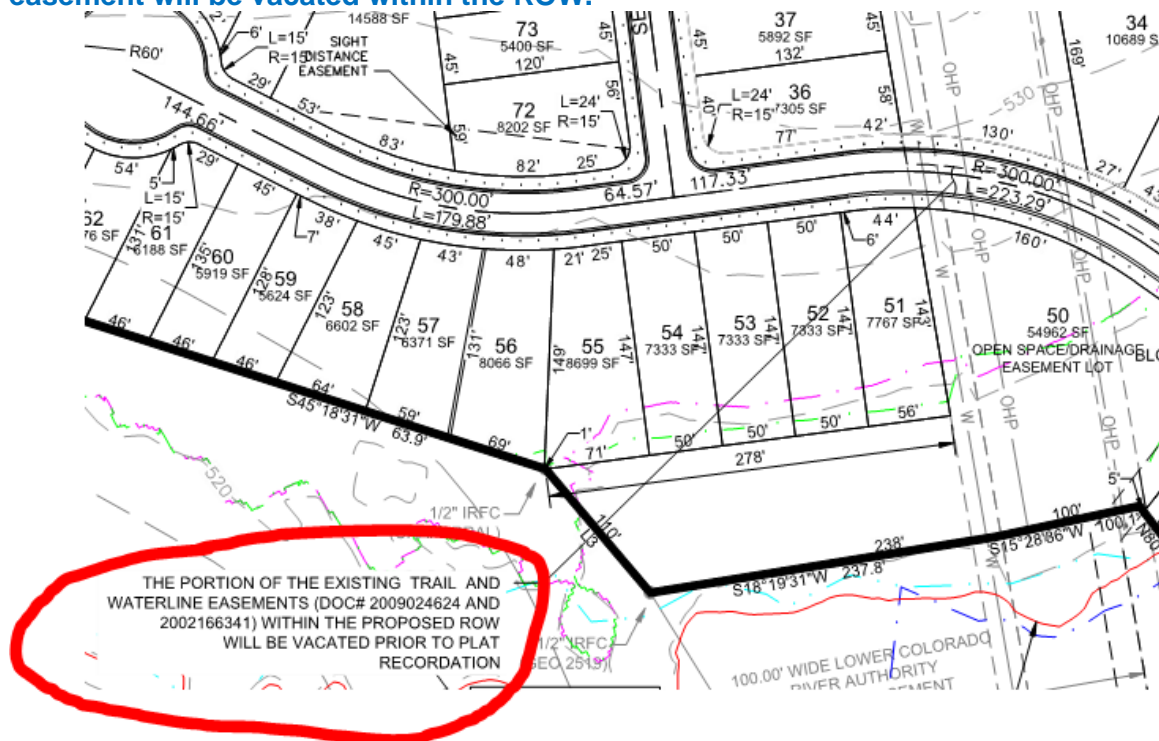
Engineering Review

Lauren Winek, P.E.

General

1. Please submit a signed and sealed code compliance summary.
R1: Cleared.
2. Please provide the subdivision checklist and ensure all applicable documents have been provided.
R1: Cleared.
3. Please provide updated documentation that LCRA has no objection to the roadways and drainage improvements in their easement. The acceptance letter LCRA provided has approval dates of plans from 2019. Plans from 2023 have been submitted to the County. Please show that LCRA has no objection to the current plans.
R1: Cleared.
4. Please clarify if the note that indicates all existing easements will be vacated prior to plat recordation will apply to the existing electrical easements?
R1: Please update the note to accurately reflect the easements that will be vacated.

RESPONSE: Note has been updated to specify that the trail and water easement will be vacated within the ROW.



5. Please label the existing electric easements on all sheets.
R1: Cleared.

6. Please remove the duplicate numbering shown on the lots for clarity.
R1: Cleared.
7. Please show all line weights in the legend on all applicable sheets.
R1: Cleared.
8. Please provide approval from the Fire Marshal.
R1: Cleared.
9. Please ensure and confirm the preliminary plan complies with all requirements of 482.203.
R1: Cleared.

Transportation

10. Please show that you have the 50-foot minimum tangent between curves including on Tollington Street. Please show all tangent measurements where required for curves.
R1: Cleared.
11. Please provide information on what criteria are being met with the site distance exhibits in accordance with the COA TCM. Please ensure the building setback lines are clearly visible so we can ensure the sight distance easement is outside of the building envelope.
R1: Cleared.
12. Confirm all sight-distance easements have been shown on the preliminary plan.
R1: Cleared.
13. Ensure and confirm your vision clearance conforms to the 30 mile per hour design speed.
R1: Cleared.
14. Per 482.203(b)19, are there any proposed clustered mailboxes and roadway pullouts with the subdivision? Please indicate the location on the preliminary plan and subsequent final plat and construction plans.
R1: Cleared.
15. Please confirm the classification of roadway that is assumed for Rector Loop and the minimum right-of-way that will be available from the center line with this preliminary plan. This is to confirm that the boundary street ROW per Chapter 482.202(G).
R1: Cleared.
16. Please include the dotted line indicator for sidewalk construction along Rector Loop.
R1: Cleared.
17. Per Chapter 482.202(Q), please include sidewalks along both sides of the street for all streets located internally in the subdivision including along Rothwell Road. Please also make sure the dotted line for sidewalk locations is visible where the phasing line is shown.
R1: Cleared.
18. Please include a note indicating that a certification from a Registered Accessibility Specialist will be provided with the construction plans stating compliance with accessibility standards has been met per Chapter 482.202(Q).
R1: Cleared.
19. Ensure and confirm all cul-de-sacs and eyebrows comply with Chapter 482.202(J).

R1: Cleared.

Drainage

20. Confirm and ensure that all drainage analysis and calculations comply with Chapter 482 and the DCM.
R1: Cleared.
21. The drainage report shows two different CN values pages 3 and 4 for existing conditions. Please clarify or correct the discrepancy in the two CN values stated in the report for on-site drainage (page 3) and water quality detention (page 4).
R1: Cleared.
22. Please show the FEMA 500-year and Atlas-14 fully developed conditions and show that the greater extents of these two floodplains is contained within a drainage easement or confirm you will be constructing under Alt Fiscal and processing a LOMR before you can record the plat, per chapter 482.207(e). Please provide all associated analysis and calculations for drainage conditions.
R1: Cleared.
23. Please note a LOMR will need to be recorded prior to platting the lots containing floodplain that will significantly impact the buildable area.
R1: Cleared.
24. Please note that right-of-way cannot be located in a floodplain drainage easement unless the roadway is intentionally crossing the floodplain. A LOMR will be required prior to recordation of FEMA 500-year floodplain in the right-of-way.
R1: Cleared.
25. Please note the final plat cannot be recorded until all improvements for the subdivision have been removed from the floodplain including drainage pond improvements.
R1: Cleared.
26. Please confirm time of concentration calculations accurately reflect the conditions shown on sheet 6 and 7, in particular the segments that are shown as channel flow.
R1: Cleared for preliminary. Please note the following that will need to be addressed prior to construction plan approval: TC path for EX BP A and EX BP D have TC lines that cross into another drainage area. Please revise. Channel flow for EX DA C does not make sense for the drainage area shown. Please review and revise all TC paths and calculations.
27. Please include a time of concentration calculation for each drainage area shown. There are more drainage areas than time of concentration calculations in the tables on sheet 7, including but not limited to, BP A-1.
R1: Cleared for preliminary. Please note the following that will need to be addressed prior to construction plan approval: Please clarify if BP D is included in the analysis.
28. Please be sure all drainage areas are included in the analysis on sheet 7. There are more drainage areas on the plan than in the Pond Pack schematic for points of analysis.

- R1: Cleared for preliminary. Please note the following that will need to be addressed prior to construction plan approval: There are several points of analysis that show increased flows in the post-developed condition where flows leave the site. Please revise.**
29. Please be sure all drainage areas have flow arrows, time of concentration paths, and TC paths that are contained within the drainage area boundary. At a minimum, OS-BP A and BP A-1 have TC paths that appear to cross drainage boundaries.
R1: Cleared.
30. Please clarify the TC path for BP A-1 and why it starts in the middle of the drainage area and crosses drainage area boundaries.
R1: Cleared.
31. Please be sure all labels in the plan match the labels in the table. For example, BP A is shown in the table but is not shown in the plans on sheet 7.
R1: Cleared.
32. Ensure that all lots can provide driveways that allow for a minimum transition of 10 feet from the inlet. For example, Block F, Lot 26 appears to have an inlet in the middle of the lot. Please ensure the transition can be met or relocated the inlet. Please note the minimum inlet size is 10-feet.
R1: Cleared.

Advisory Comments

33. Please be advised every time a final plat is submitted a drainage report will need to demonstrate all proposed flows leaving the portion of the project area to be platted do not exceed the existing flows leaving the site.



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Monday, August 21, 2023

Alex Rubio
Kimley Horn
10814 Jollyville Road
Austin TX 78759
Alex.Rubio@Kimley-Horn.com

Permit Number 2018-P-1154-PP

Job Address: Shadowglen Phase 3 Section 1 & 2 Preliminary Plan, Manor 78653

Dear Alex Rubio,

The submittal of the revised Shadowglen Phase 3 Section 1 & 2 Preliminary Plan Site Plans submitted by Kimley Horn and received by our office on 7/31/2023, has been reviewed for compliance with the City of Manor Zoning Ordinance 185. The Plans appear to be in general compliance with City Ordinance requirements and we therefore take no exception to their approval as presented.

Please submit a hard copy of the cover sheet to Scott Dunlop at the City of Manor for signatures. A copy of the signed cover sheet will be uploaded under project files on the my permit now website.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads 'Pauline M. Gray'.

Pauline Gray, P.E.
Lead AES
GBA



8/30/2023

City of Manor Development Services

Notification for a Subdivision Preliminary Plat

Project Name: Shadowglen Phase 3 Section 1 & 2 Preliminary Plan

Case Number: 2018-P-1154-PP

Case Manager: Michael Burrell

Contact: mburrell@manortx.gov – 512-215-8158

The City of Manor Planning and Zoning Commission will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon on a Subdivision Preliminary Plat for Shadowglen located at the intersection of Rector Loop and Gregg Manor Rd., Manor, TX. The request will be posted on the agenda as follows:

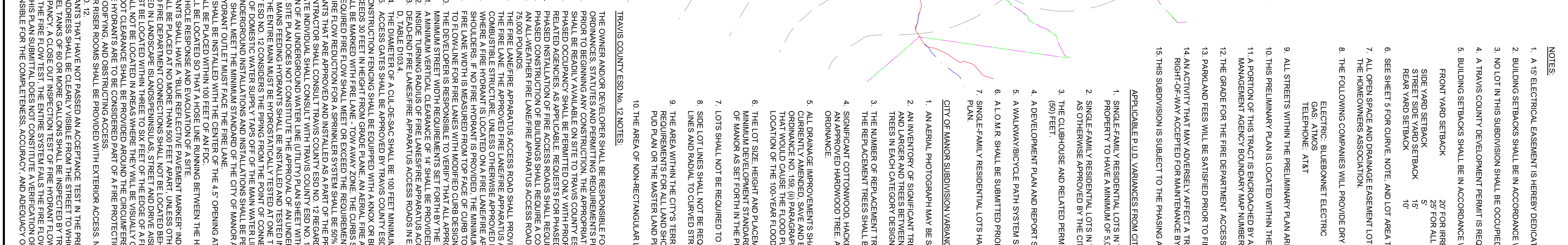
Public Hearing: Conduct a public hearing on a Subdivision Preliminary Plat for Shadowglen, three-hundred and six (306) lots on 103.7 acres, more or less, and being located at 13301 E US Hwy 290, Manor, TX.

Applicant: Kimley Horn

Owner: SG Land Holdings, LLC

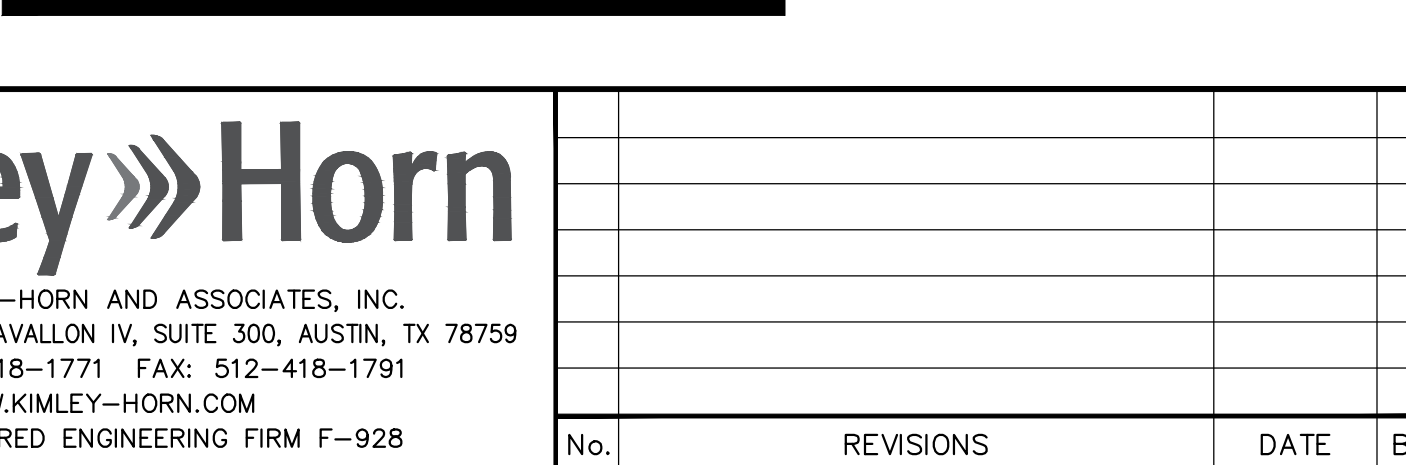
The Planning and Zoning Commission will meet at 6:30PM on September 13, 2023 at 105 East Eggleston Street in the City Hall Council Chambers.

You are being notified because you own property within 300 feet of the property for which this Subdivision Preliminary Plat has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.



- LEGEND**

	PHASE LINE
	SUBDIVISION BOUNDARY LINE
	EXISTING OVERHEAD POWER LINE
	EXISTING WATER LINE
	EXISTING WASTE WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING POWER POLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING WASTE WATER MANHOLE
	LIMIT OF ZONE A FIRM COLOR
	EXISTING 100-YEAR FIRM FLOODPLAIN



- [illegible]

811

S	SHEET NUMBER	2

Juan Landeros
13700 Rector Loop
Manor, TX 78653

Conrad Gonzales
PO Box 35
Manor, TX 78653

Michael Hawkins
13606 RECTOR LOOP
Manor, TX 78653

Antonio Angel & Maria Hernandez
13913 RECTOR LOOP
Manor, TX 78653

Pablo & Maria Flores
13909 RECTOR LOOP
Manor, TX 78653

Shadowglen Golf LP
12801 Lexington St
Manor, TX 78653

Francisco Reyes Ramirez Et Al
11109 Liberty Farms
Austin, TX 78754

Vidal Sandoval
13905 RECTOR LOOP
Manor, TX 78653

Ignacio Grimaldo
11800 Bastrop St
Manor, TX 78653

Harry & Sammy Garza
13514 RECTOR LOOP
Manor, TX 78653

Jason Weiss
13918 Rector Loop
Manor, TX 78653

Theresa Zezulka
13245 Gregg Manor Rd
Manor, TX 78653

Joseph & Carol Metc
13550 Carpenter Lane
Manchaca, TX 78652

Aus-Tex Parts Service Ltd
Javier Aguillon & Monges Blanc
13417 RECTOR LOOP
Manor, TX 78653

Jorge, Ciro, & Margarito Utrera
13718 RECTOR LOOP
Manor, TX 78653

Jerry & Marilyn Moellenberg
PO Box 156
Manor, TX 78653

Cottonwood Holdings, Ltd c/o Dwyer
Realty Co
9900 US Hwy 290 E
Manor, TX 78653



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023

PREPARED BY: Scott Dunlop, Director

DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Short Form Final Plat for the Light Grove Subdivision located at 414 & 416 W. Parsons Street, Manor, TX.

Applicant: Trine Engineering, PLLC

Owner: Al Noor MCC

BACKGROUND/SUMMARY:

This plat has been approved by our engineers. It is combining two lots into one. A religious assembly use has filed a site development plan to construct on this lot.

LEGAL REVIEW: *Not Applicable*

FISCAL IMPACT: *NO*

PRESENTATION: *NO*

ATTACHMENTS: *YES*

- Plat
- Engineer Comments
- Conformance Letter
- Notice and Mailing Labels

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve a Short Form Final Plat for the Light Grove Subdivision located at 414 & 416 W. Parsons Street, Manor, TX.

PLANNING & ZONING COMMISSION:

Recommend Approval

Disapproval

None

August 2, 2023 — 09:03 Dwg Name: P:\617032 Trine Engineering PLLC\003 416 W Parsons St. Manor, Tx 78655\dwg\Surv\Final Drawings\ Plat of Subdivision\032003-FinalPlat.dwg Updated By: Marmstrong

STATE OF TEXAS §
COUNTY OF TRAVIS §

KNOW ALL MEN BY THESE PRESENTS:

THAT AL NOOR MUSLIM COMMUNITY CENTER OF MANOR, A TEXAS NON-PROFIT CORPORATION, BEING THE OWNERS OF 1.004 ACRES BEING THAT CERTAIN 0.341 ACRE TRACT DESCRIBED IN DEED OF RECORD IN DOCUMENT NO. 2022128812, AND THAT CERTAIN 0.671 ACRE TRACT DESCRIBED IN DEED OF RECORD IN DOCUMENT NO. 2016124868, BOTH OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, DO HEREBY SUBDIVIDE THE SAID 1.004 ACRES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, PURSUANT TO CHAPTER 212 OF THE TEXAS LOCAL GOVERNMENT CODE TO BE KNOWN AS:

LIGHT GROVE

AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

AL NOOR MUSLIM COMMUNITY CENTER OF MANOR

BY: INAMULLA M IYOOB DATE:
900 LOW BRIM COVE
PFLUGERVILLE, TEXAS 78660

STATE OF TEXAS §
COUNTY OF TRAVIS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED INAMULLA M IYOOB, KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THE CAPACITY THEREIN STATED FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, GIVEN

UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____,

20____, AD.

NOTARY PUBLIC FOR THE STATE OF TEXAS

(NAME: _____)

MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICATION:

THE STATE OF TEXAS §
COUNTY OF TRAVIS §

THAT I, ABRAM C. DASHNER, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH VOLUME IV, TITLE 30 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE

ABRAM C. DASHNER
RPLS NO. 5901
6448 E HWY 290
SUITE B-105
AUSTIN, TEXAS 78723

THIS SUBDIVISION PLAT IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS

DATE _____ DAY OF _____, 20____

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY

OF MANOR, TEXAS, ON THIS THE _____ DAY OF _____, 20____.

APPROVED: _____ ATTEST: _____

LAKESHA SMALL, CHAIRPERSON

LLUVIA T. ALMARAZ, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, ON

THIS THE _____ DAY OF _____, 20____.

APPROVED: _____ ATTEST: _____

HONORABLE DR. CHRISTOPHER HARVEY, MAYOR
OF THE CITY OF MANOR, TEXAS

LLUVIA T. ALMARAZ, CITY SECRETARY

OWNER: AL NOOR MUSLIM COMMUNITY CENTER OF MANOR
900 LOW BRIM COVE
PFLUGERVILLE, TEXAS 78660

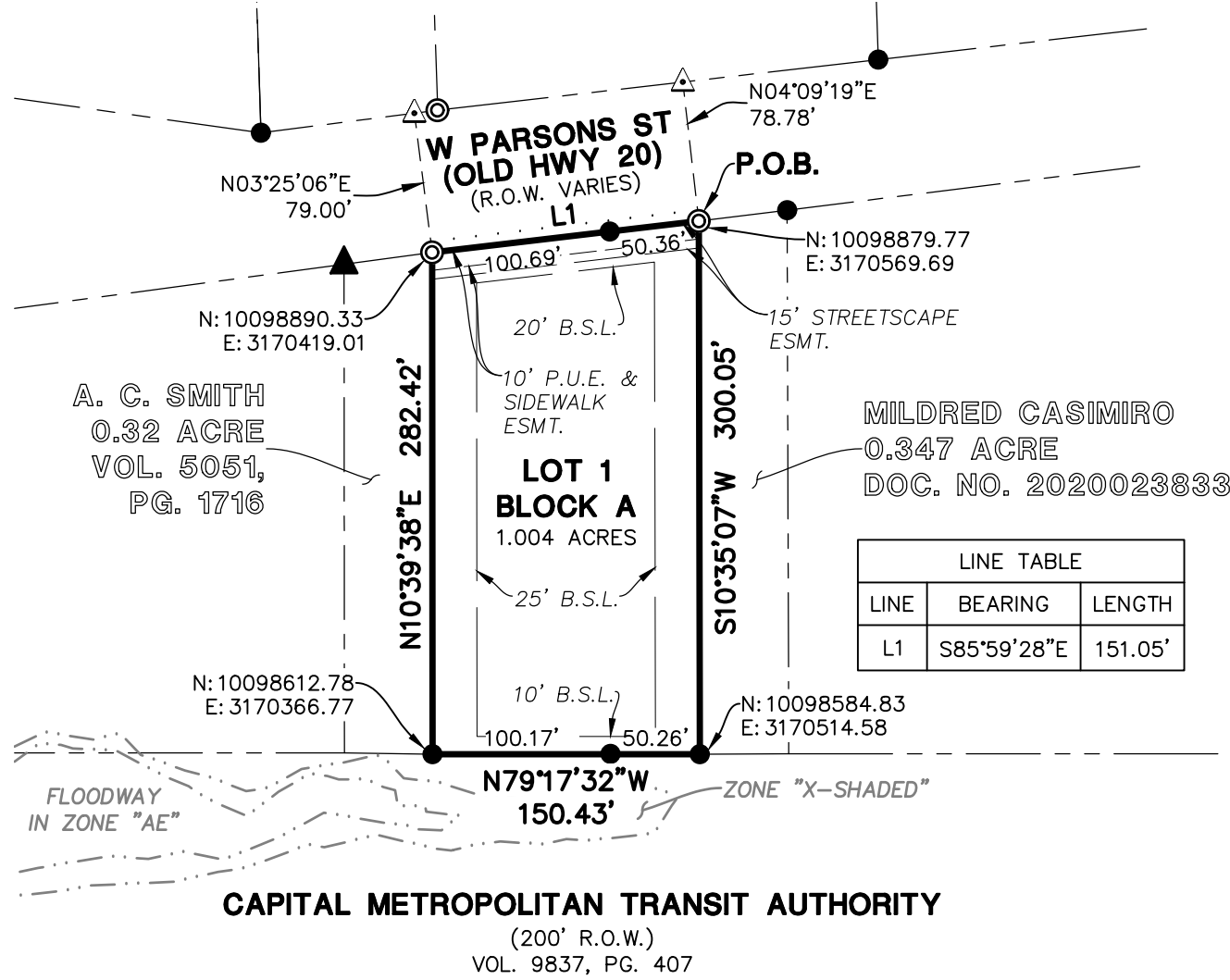
ACREAGE: 1.004
PATENT SURVEY: JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546
NUMBER OF BLOCKS: 1
LINEAR FEET OF NEW STREETS: 0
ACREAGE BY LOT TYPE: DEVELOPMENT: 1.004
NEW R.O.W.: N/A
NUMBER OF LOTS BY TYPE: DEVELOPMENT: 1

SURVEYOR: ABRAM DASHNER, RPLS
MANHARD CONSULTING, LTD.
6448 E. HWY 290, STE. B-105
AUSTIN, TX 78723
(512) 244-3395

ENGINEER: JAVIER BARAJAS, P.E.
TRINE ENGINEERING, PLLC
5307 W. HIGHWAY 290, BLDG. BN
SUITE 6
AUSTIN, TEXAS 78735
(512) 913-5080

FINAL PLAT
OF
LIGHT GROVE

1.004 ACRES OUT OF THE JAMES MANOR SURVEY NO. 40,
ABSTRACT NO. 546, TRAVIS COUNTY, TEXAS



GENERAL NOTES

1) THE BEARINGS, DISTANCES, AREAS AND COORDINATES SHOWN HEREON ARE BASED ON TEXAS COORDINATE SYSTEM GRID, CENTRAL ZONE (FIPS 4203) (NAD'83), THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.

2) ALL LOT CORNERS OF THIS SUBDIVISION SHALL BE MONUMENTED WITH A 1/2 -INCH IRON ROD WITH A BLUE PLASTIC CAP STAMPED "MANHARD CONSULTING" PRIOR TO ANY/ALL LOT SALES, UNLESS OTHERWISE NOTED.

3) THE PROPERTY OWNERS OF THE LOTS ON WHICH THE WASTEWATER EASEMENTS ARE LOCATED AS SHOWN ON ON THIS PLAT SHALL PROVIDE ACCESS TO THE CITY OF MANOR IN ORDER FOR THE CITY OF MANOR TO INSPECT AND MAINTAIN THE UNDERGROUND FACILITIES LOCATED WITHIN ANY OF SUCH EASEMENTS.

4) A 10' PUBLIC UTILITY AND SIDEWALK EASEMENT IS HEREBY DEDICATED ALONG AND ADJACENT TO ALL STREET RIGHTS OF WAY.

5) PUBLIC SIDEWALKS BUILT TO CITY OF MANOR STANDARDS, ARE REQUIRED ALONG ALL STREETS WITHIN THIS SUBDIVISION, THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE ADJOINING LOT BEING OCCUPIED, FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE COVERING BODY OR UTILITY COMPANY.

6) DRIVEWAY AND DRAINAGE CONSTRUCTION STANDARDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE CITY OF MANOR STANDARDS UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE CITY OF MANOR.

7) THE OWNER OF THIS SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF MANOR.

8) NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTION IS MADE TO THE CITY OF MANOR WATER AND WASTEWATER SYSTEM.

9) NO BUILDINGS SHALL BE CONSTRUCTED OF MAINTAINED WITHIN THE WASTEWATER EASEMENT OR THE UNDERGROUND STORM WATER FACILITIES EASEMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF MANOR, THE CITY OF MANOR IS NOT RESPONSIBLE FOR THE DAMAGE TO OR REPLACING ANY PORTIONS OF ANY FENCING, LANDSCAPING OR OTHER IMPROVEMENTS CONSTRUCTED WITHIN ANY OF SUCH THREE EASEMENTS WHICH WERE NOT APPROVED BY THE CITY OF MANOR BEFORE THEIR CONSTRUCTION DUE TO THE NECESSARY AND CUSTOMARY WORK BY THE CITY OF MANOR IN REPAIRING, MAINTAINING, OR REPLACING THE UNDERGROUND PIPES AND RELATED FACILITIES WITHIN SUCH EASEMENTS.

10) ALL STREETS, DRAINAGE IMPROVEMENTS, SIDEWALKS, WATER AND WASTEWATER LINES, AND EROSIONS CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF MANOR STANDARDS.

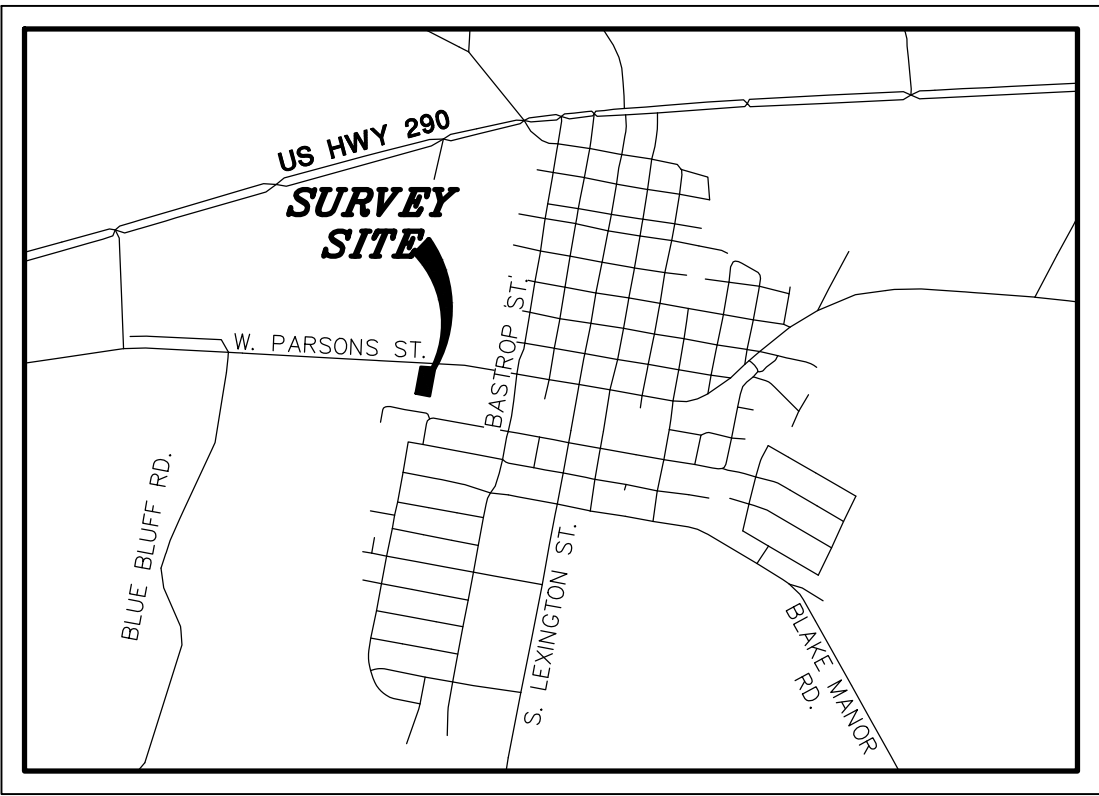
11) EROSION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON INDIVIDUAL LOTS, INCLUDING DETACHED SINGLE FAMILY IN ACCORDANCE WITH SECTION 1.4.0 OF THE CITY OF AUSTIN ENVIRONMENTAL CONTROL MANUAL.

12) PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF MANOR.

13) THE SUBDIVISION OWNER/DEVELOPER AS IDENTIFIED ON THIS PLAN IS RESPONSIBLE FOR POSTING FISCAL SURVEY FOR THE CONSTRUCTION OF ALL SIDEWALKS AS SHOWN OR LISTED ON THE PLAN, WHETHER INSTALLED BY THE OWNER/DEVELOPER OR INDIVIDUAL HOMEBUILDERS. IT IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE ALL SIDEWALKS ARE ADA COMPLIANT UNLESS A WAIVER HAS BEEN GRANTED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION.

14) THE LOTS IN THIS SUBDIVISION ARE INTENDED TO BE USED FOR COMMERCIAL PURPOSES.

15) PERFORMANCE AND MAINTENANCE GUARANTEES AS REQUIRED BY THE CITY.



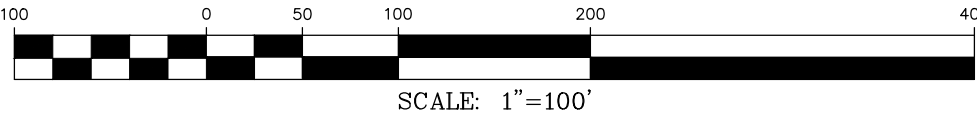
LOCATION MAP

1"=2000'

LEGEND

- = FOUND 1/2-INCH IRON ROD
- ▲ = FOUND NAIL
- ⊙ = FOUND IRON PIPE
- △ = CALCULATED POINT
- = PROPERTY LINE
- - - = EASEMENT LINE
- - - = ADJOINING PROPERTY LINE
- ... = PROPOSED SIDEWALK
- - - = FLOOD PLAIN LIMIT LINE
- B.S.L. = BUILDING SETBACK LINE
- P.O.B. = POINT OF BEGINNING

GRAPHIC SCALE



ENGINEER'S CERTIFICATION:

I, JAVIER BARAJAS, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS, TO PRACTICE THE PROFESSION OF ENGINEERING, AND DO HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF THE CITY OF MANOR, TX SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

THE TRACT IS WITHIN ZONE X AS DEPICTED ON FEMA FLOOD INSURANCE RATE MAP NO. 48453C0480J WITH EFFECTIVE DATE AUGUST 18, 2014.

JAVIER BARAJAS, P.E. DATE:
REGISTERED PROFESSIONAL ENGINEER NO. 99998
5307 W. HIGHWAY 290, BLDG. B SUITE 6
AUSTIN, TEXAS 78735
(512) 913-5080

THE STATE OF TEXAS
COUNTY OF TRAVIS

I, DYANA LIMON-MERCADO, CLERK OF TRAVIS COUNTY, TEXAS DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____, 20____, AD. AT _____ O'CLOCK ____M., AND DULY RECORDED ON THE _____ DAY OF _____, 20____ AD. AT _____O'CLOCK ____M., PLAT RECORDS OF SAID COUNTY AND STATE IN DOCUMENT NO. _____ OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS _____, DAY OF _____, 20____ AD,

DYANA LIMON-MERCADO, COUNTY CLERK, TRAVIS COUNTY, TEXAS

BY _____
DEPUTY

1.004 ACRES - JAMES MANOR SURVEY NO. 40, A-546

414 & 416 W PARSONS ST, MANOR, TEXAS 78653

FINAL PLAT

REVISED: 08/02/23
PROJ. MGR.: AD
DRAWN BY: TRS
SURVEY DATE: 12/15/22
ISSUE DATE: 12/20/22
SCALE: 1"=100'

SHEET

1 OF 1



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Friday, June 23, 2023

Javier Barajas, P.E.
Trine Engineering, PLLC
5307 W Hwy. 290, Ste 6
Austin TX 78735
jbarajas@trineengineering.com

Permit Number 2023-P-1544-SF
Job Address: 414 & 416 W Parsons St., Manor, TX, TX. 78653

Dear Javier Barajas, P.E.,

The first submittal of the Light Grove Short Form Final Plat (*Short Form Final Plat*) submitted by Trine Engineering, PLLC and received on August 03, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. ~~Is ROW being dedicated along W Parsons St? If so, provide the ROW width instead of ROW varies.~~
- ii. ~~Using the state plane coordinate system, provide X and Y coordinates for four (4) property corners.~~
- iii. ~~Provide a copy of the deed.~~
- iv. ~~Add the following note under general notes "Performance and maintenance guarantees as required by the City."~~
- v. ~~The current City of Manor Chairperson is Lakesha Small. The current Mayor is Dr. Christopher Harvey.~~
- vi. **The current Travis County clerk is Dyana Limon-Mercado. The clerk's name was only updated in one of the two locations.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

6/23/2023 9:11:01 AM
Light Grove Short Form Final Plat
2023-P-1544-SF
Page 2

Item 11.

A handwritten signature in black ink, appearing to read 'Tyler Shows', followed by a long horizontal flourish.

Tyler Shows
Staff Engineer
GBA



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Dear reviewer, below please find responses to your plat comments in red. Thank you.

Date: Friday, June 23, 2023

Javier Barajas, P.E.
Trine Engineering, PLLC
5307 W Hwy. 290, Ste 6
Austin TX 78735
jbarajas@trineengineering.com

Permit Number 2023-P-1544-SF
Job Address: 414 & 416 W Parsons St., Manor, TX, TX. 78653

Dear Javier Barajas, P.E.,

The first submittal of the Light Grove Short Form Final Plat (*Short Form Final Plat*) submitted by Trine Engineering, PLLC and received on May 24, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. Is ROW being dedicated along W Parsons St? If so, provide the ROW width instead of ROW varies.
RESPONSE: We are not intending to dedicate ROW unless the city requires it. Ties have been added to show the width. The street is classified per city as an Urban Main Street.
- ii. Using the state plane coordinate system, provide X and Y coordinates for four (4) property corners.
RESPONSE: X and Y coordinates have been included as indicated.
- iii. Provide a copy of the deed.
RESPONSE: Attached are unofficial copies of the deeds downloaded from the County Clerk's website.
- iv. Add the following note under general notes "Performance and maintenance guarantees as required by the City."
RESPONSE: The note has been added as Note #15.
- v. The current City of Manor Chairperson is Lakesha Small. The current Mayor is Dr. Christopher Harvey.
RESPONSE: The City of Manor Chairperson and Mayor have been corrected as indicated.
- vi. The current Travis County clerk is Dyana Limon-Mercado.
RESPONSE: The current Travis Clerk has been included as indicated.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Tuesday, August 1, 2023

Javier Barajas, P.E.
Trine Engineering, PLLC
5307 W Hwy. 290, Ste 6
Austin TX 78735
jbarajas@trineengineering.com

Permit Number 2023-P-1544-SF
Job Address: 414 & 416 W Parsons St., Manor, TX 78653

Dear Javier Barajas, P.E.,

The subsequent submittal of the Light Grove Short Form Final Plat submitted by Trine Engineering, PLLC and received on August 03, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

Engineer Review

The following comments have been provided by Tyler Shows. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. ~~Is ROW being dedicated along W Parsons St? If so, provide the ROW width instead of ROW varies.~~
- ii. ~~Using the state plane coordinate system, provide X and Y coordinates for four (4) property corners.~~
- iii. ~~Provide a copy of the deed.~~
- iv. ~~Add the following note under general notes "Performance and maintenance guarantees as required by the City."~~
- v. ~~The current City of Manor Chairperson is Lakesha Small. The current Mayor is Dr. Christopher Harvey.~~
- vi. **The current Travis County clerk is Dyana Limon-Mercado. The clerk's name was only updated in one of the two locations.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

Pauline Gray, P.E.
Lead AES
GBA

Dear reviewer, below please find the response to your comment in red.

Item 11.



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Tuesday, August 1, 2023

Javier Barajas, P.E.
Trine Engineering, PLLC
5307 W Hwy. 290, Ste 6
Austin TX 78735
jbarajas@trineengineering.com

Permit Number 2023-P-1544-SF
Job Address: 414 & 416 W Parsons St., Manor, TX 78653

Dear Javier Barajas, P.E.,

The subsequent submittal of the Light Grove Short Form Final Plat submitted by Trine Engineering, PLLC and received on July 07, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

Engineer Review

The following comments have been provided by Tyler Shows. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. ~~Is ROW being dedicated along W Parsons St? If so, provide the ROW width instead of ROW varies.~~
- ii. ~~Using the state plane coordinate system, provide X and Y coordinates for four (4) property corners.~~
- iii. ~~Provide a copy of the deed.~~
- iv. ~~Add the following note under general notes "Performance and maintenance guarantees as required by the City."~~
- v. ~~The current City of Manor Chairperson is Lakesha Small. The current Mayor is Dr. Christopher Harvey.~~
- vi. **The current Travis County clerk is Dyana Limon-Mercado. The clerk's name was only updated in one of the two locations. RESPONSE: The correction has been made, thanks.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

Pauline Gray, P.E.
Lead AES
GBA



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Monday, August 7, 2023

Javier Barajas, P.E.
Trine Engineering, PLLC
5307 W Hwy. 290, Ste 6
Austin TX 78735
jbarajas@trineengineering.com

Permit Number 2023-P-1544-SF
Job Address: 414 & 416 W Parsons St., Manor, TX 78653

Dear Javier Barajas, P.E.,

We have conducted a review of the final plat for the above-referenced project, submitted by Javier Barajas, P.E. and received by our office on August 03, 2023, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads 'Pauline M. Gray'.

Pauline Gray, P.E.
Lead AES
GBA



8/30/2023

City of Manor Development Services

Notification for a Subdivision Short Form Final Plat

Project Name: Light Grove Short Form Final Plat
Case Number: 2023-P-1544-SF
Case Manager: Michael Burrell
Contact: mburrell@manortx.gov – 512-215-8158

The City of Manor Planning and Zoning Commission will be conducting a regularly scheduled meeting for the purpose of considering and acting upon on a Subdivision Short Form Final Plat, one (1) lot on 1.004 acres, more or less, and being located at 414 & 416 W. Parsons St., Manor, TX. The request will be posted on the agenda as follows:

Public Hearing: Conduct a public hearing on a Subdivision Short Form Final Plat located at 414 & 416 W. Parsons St., Manor, TX.

Applicant: Trine Engineering, PLLC
Owner: Al Noor MCC

The Planning and Zoning Commission will meet at 6:30PM on September 13, 2023 at 105 East Eggleston Street in the City Hall Council Chambers.

You are being notified because you own property within 300 feet of the property for which this Subdivision Short Form Final Plat has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

Manuel Torres & J Miramontes
19337 W T Gallaway Street
Manor, TX 78653-3991

Jordan Jimenez
12206 Abernathy ST
Manor, TX 78653-5373

Jones Samuel Dell Jr. & Rachel R Jones
P.O. Box 416
Manor, TX 78653-0416

Arthur & Nydia Y Jimenez
11301 Carrie Manor ST
Manor, TX 78653-5369

Felipe H Carbajol & Isabel Ortuno
P.O. Box 214
manor, TX 78653-0214

Lions Club of Manor, Inc.
P.O. Box 68
Manor, TX 78653-0068

Manor I.S.D.
P.O. Box 359
Manor, TX 78653-0359

Julie Li
24431 Cavendish Ave W
Novi, MI, 48375-2358

Mildred Casimiro
412 W Parsons Street
Manor, TX 78653-4704

Burns Memorial Temple
P.O. Box 1061
Manor, TX 78653-1061

Chioma Okoro
3101 E 12th ST, Unit C4
Austin, TX 78702-2526

Joetta Wilson
411 W Parsons Street
Manor, TX 78653-4719

Chioma Okoro
P.O. Box 964
Del Valle, TX 78617

Robert Hein
409C W Parsons ST
Manor, TX 78653-4719

Audrey B Smith
10304 Ivy Jade
Schertz, TX 78154-6255

Finish Milligan
3811 Liberty Square Trail
Fresno, TX 77545-8817

Travis County Trustee
517 Marcia PL
New Braunfels, TX 78130

Manor MF, LLC
17B First Field RD, STE 203
Gaithersburg, MD 20878

Travis County
ATTN Roger A El Khoury
P.O. Box 1748
Austin, TX 78767-1748



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023

PREPARED BY: Scott Dunlop, Director

DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Final Plat for the Shadowglen Subdivision, Phase 2 Section 18B, twenty (20) lots on 6.102 acre, more or less, and being located near the intersection of Arbor Hill Cove and Pinyon Way, Manor, TX.

Applicant: Kimley-Horn and Associates, Inc.

Owner: SG Land Holdings, LLC

BACKGROUND/SUMMARY:

This plat has been approved by our engineers. It has 18 single family lots and 2 non-residential (open space/drainage) lots.

LEGAL REVIEW: *Not Applicable*

FISCAL IMPACT: *NO*

PRESENTATION: *NO*

ATTACHMENTS: *YES*

- Plat
- Engineer Comments
- Conformance Letter

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve a Final Plat for the Shadowglen Subdivision, Phase 2 Section 18B, twenty (20) lots on 6.102 acre, more or less, and being located near the intersection of Arbor Hill Cove and Pinyon Way, Manor, TX.

PLANNING & ZONING COMMISSION:

Recommend Approval

Disapproval

None

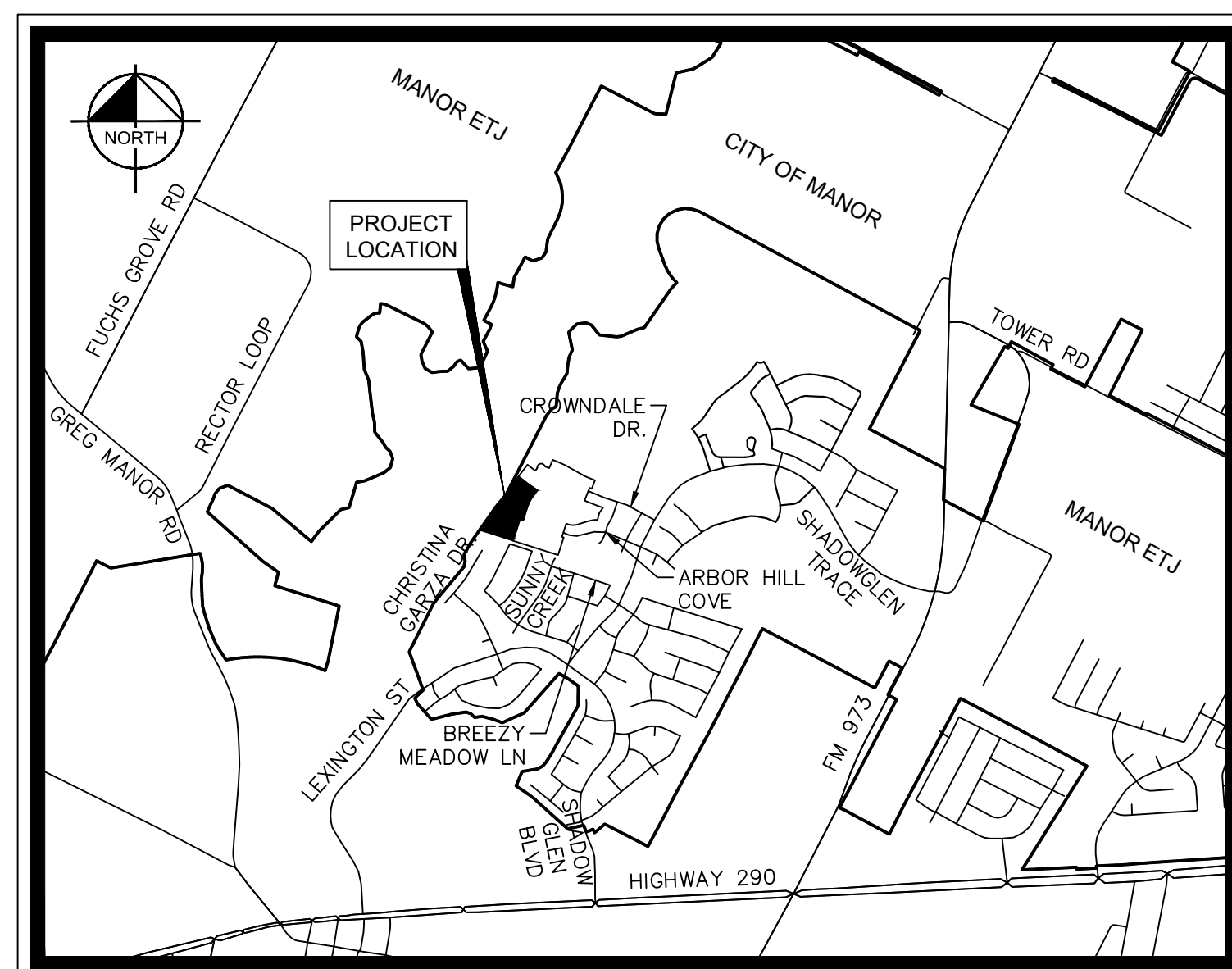
TRAVIS COUNTY CONSUMER PROTECTION NOTICE FOR HOMEBUYERS

IF YOU ARE BUYING A LOT OR HOME, YOU SHOULD DETERMINE WHETHER IT IS INSIDE OR OUTSIDE THE CITY LIMITS.

DEPENDING ON STATE LAW AND OTHER FACTORS, LAND OUTSIDE THE CITY LIMITS MAY BE SUBJECT TO FEWER LOCAL GOVERNMENT CONTROLS OVER THE DEVELOPMENT AND USE OF LAND THAN INSIDE THE CITY LIMITS.

BECAUSE OF THIS, LOCAL GOVERNMENT MAY NOT BE ABLE TO RESTRICT THE NATURE OR EXTENT OF DEVELOPMENT NEAR THE LOT OR HOME NOR PROHIBIT NEARBY LAND USES THAT ARE INCOMPATIBLE WITH A RESIDENTIAL NEIGHBORHOOD.

THIS CAN AFFECT THE VALUE OF YOUR PROPERTY. TRAVIS COUNTY REQUIRES THIS NOTICE TO BE PLACED ON SUBDIVISION PLATS. IT IS NOT A STATEMENT OR REPRESENTATION OF THE OWNER OF THE PROPERTY, THE SUBDIVIDER, OR THEIR REPRESENTATIVES.



VICINITY MAP

SCALE: 1" = 2,000'

SHADOWGLEN PHASE 2 SECTION 18B

6.102 ACRES

OUT OF A CALLED 276.88 ACRE PARCEL 2 CONVEYED TO SG
LAND HOLDINGS LLC

DOC. NO. 2012217281, OPRTC

WILLIAM SANDERFORD SURVEY NO. 69, ABSTRACT NO. 742

WILLIAM SANDERFORD SURVEY NO. 70, ABSTRACT NO. 743

CITY OF MANOR, TRAVIS COUNTY, TEXAS

OWNER/DEVELOPER:
SG LAND HOLDINGS, LLC
2392 MORSE AVENUE
IRVINE, CALIFORNIA 93614
PH: (949) 241-8414
CONTACT: RUSS ALLISON

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD,
BUILDING IV, SUITE 200
AUSTIN, TEXAS 78759
TBPE FIRM REGISTRATION NO. F-928
PH: (512) 418-1771 FAX: (512) 418-1791
CONTACT: JASON REECE, P.E.

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
LAND SURVEYOR NO. 6330
10101 REUNION PLACE, SUITE 400
SAN ANTONIO, TEXAS 78216
PH: (210) 541-9166
CONTACT: JOHN G. MOSIER, R.P.L.S.

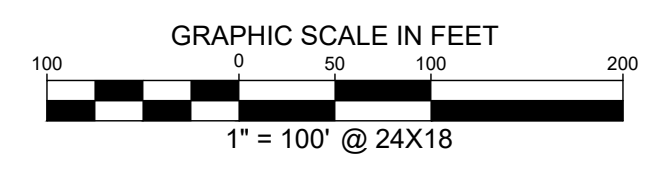
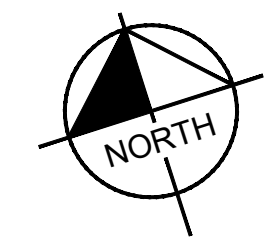
Kimley»Horn

10101 Reunion Place, Suite 400
San Antonio, Texas 78216

FIRM # 10193973

Tel. No. (210) 541-9166
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 2000'	DJG	JGM	5/30/2023	069254501	1 OF 4



CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	56°56'39"	5.00'	4.97'	S79°12'46"W	4.77'
C2	90°00'00"	25.00'	39.27'	N27°18'54"W	35.36'
C3	203°53'19"	50.00'	177.93'	S27°18'54"E	97.83'
C4	56°56'39"	5.00'	4.97'	S46°09'26"W	4.77'
C5	19°50'57"	475.00'	164.55'	N27°36'34"E	163.73'
C6	19°50'57"	500.00'	173.22'	S27°36'34"W	172.35'
C7	19°50'57"	525.00'	181.88'	S27°36'34"W	180.97'

LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	N37°32'03"E	125.45'	L10	N17°41'06"E	169.56'
L2	S38°52'55"W	32.15'	L11	S17°41'06"W	219.56'
L3	S37°32'03"W	50.00'	L12	S17°41'06"W	173.47'
L4	S35°00'30"W	60.92'	L13	N37°32'03"E	104.06'
L5	S27°10'35"W	64.29'	L14	S37°32'03"W	104.06'
L6	S19°36'29"W	59.41'	L15	S37°32'03"W	104.06'
L7	N72°18'54"W	42.26'	L16	N72°18'58"W	41.65'
L8	S72°18'54"E	61.65'			
L9	N72°18'54"W	57.74'			

LEGEND	
IRSC	1/2" IRON ROD W/ "KHA" CAP SET
IRFC	1/2" IRON ROD FOUND W/ CAP
OPRTC	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS
P.O.C.	POINT OF COMMENCING
P.O.B.	POINT OF BEGINNING
ROW	RIGHT OF WAY
D.E.	DRAINAGE EASEMENT
S.D.E.	SIGHT DISTANCE EASEMENT
W.W.E.	WASTEWATER EASEMENT
---	SIDEWALK
---	BUILDING SET BACK LINE
---	APPROXIMATE "ZONE A" PER FEMA FIRM 48453C0485J EFFECTIVE 8/18/2014
---	100-YEAR FLOODPLAIN PER CLOMR CASE NO. 19-06-0028R APPROVED 4/18/2019
---	PHASE LINE
(F)	BLOCK IDENTIFIER

SHADOWGLEN PHASE 2 SECTION 18B

6.102 ACRES
OUT OF A CALLED 276.88 ACRE PARCEL 2 CONVEYED TO SG LAND HOLDINGS LLC
DOC. NO. 2012217281, OPRTC
WILLIAM SANDERFORD SURVEY NO. 69, ABSTRACT NO. 742
WILLIAM SANDERFORD SURVEY NO. 70, ABSTRACT NO. 743
CITY OF MANOR, TRAVIS COUNTY, TEXAS

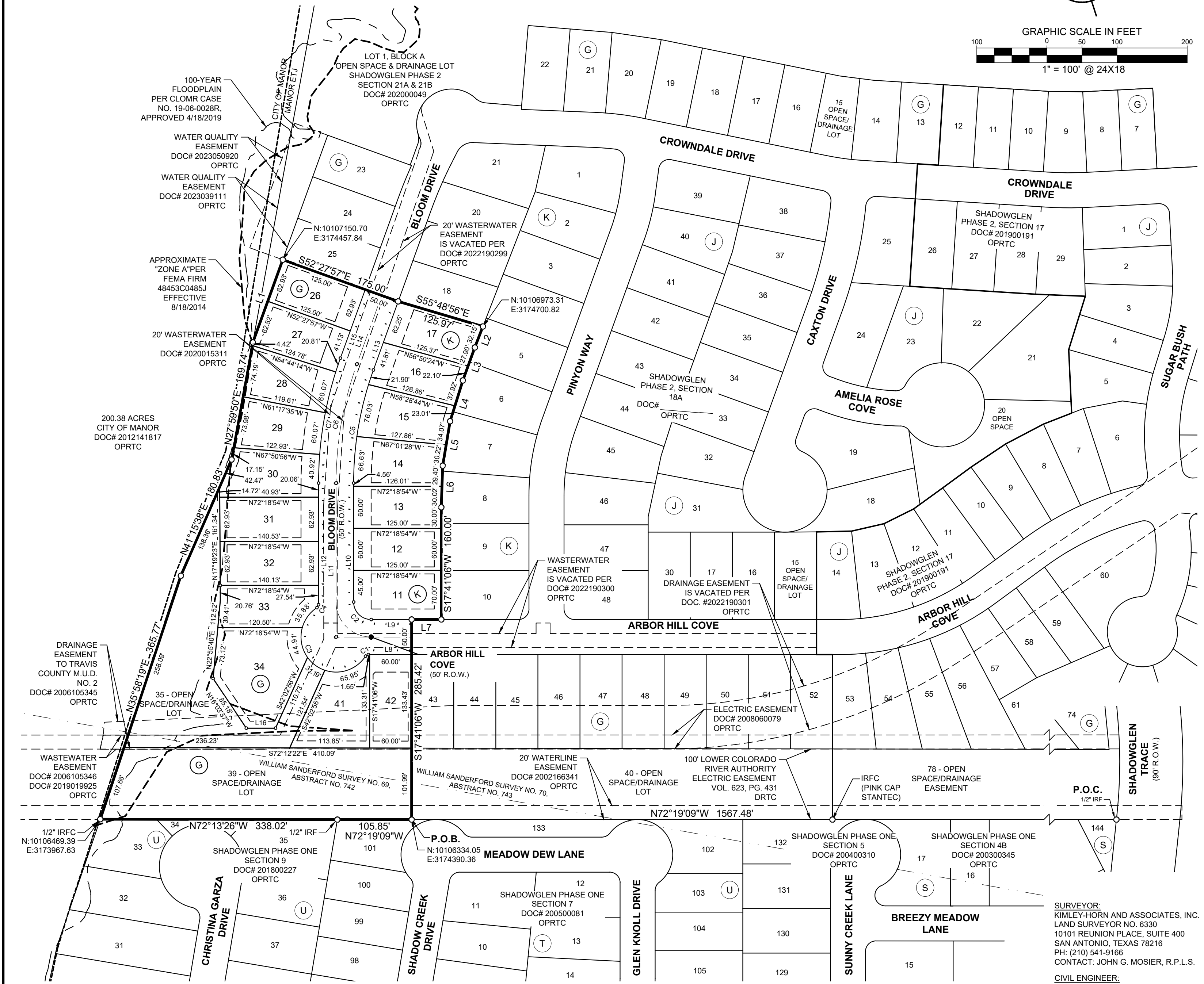
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Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	DJG	JGM	5/30/2023	069254501	2 OF 4



STREET INFORMATION		
	BLOOM DRIVE	ARBOR HILL COVE
SIDEWALK WIDTH	4-ft BOTH SIDES	4-ft BOTH SIDES
R.O.W. WIDTH	50-FT	50-FT
FOC-FOC WIDTH	30-FT	30-FT
LENGTH	496.84'	107.74'

GENERAL INFORMATION:	
TOTAL ACREAGE	6.102 ACRES
TOTAL LINEAR FEET OF 50' ROW	604.58'
ACREAGE OF ROW	0.763 ACRES
NUMBER OF SINGLE FAMILY LOTS	18
ACREAGE OF SINGLE FAMILY LOTS	3.566 ACRES
NUMBER OF NON-RESIDENTIAL LOTS	2
ACREAGE OF NON-RESIDENTIAL LOTS	1.773 ACRES
TOTAL NUMBER OF LOTS	20

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IRVINE, CALIFORNIA 93614
PH: (949) 241-8414
CONTACT: RUSS ALLISON

A METES AND BOUNDS
DESCRIPTION OF A
6.102 ACRE TRACT OF LAND

BEING a 6.102 acre (265,803 square feet) tract of land situated in the William Sanderford Survey No. 69, Abstract No. 742 and the William Sanderford Survey No. 70, Abstract No. 743, Travis County, Texas, and being a portion of a called 276.88 acre Parcel 2 described in instrument to SG Land Holdings LLC in Document No. 2012217281 of the Official Public Records of Travis County; and being more particularly described as follows:

COMMENCING at a 1/2-inch iron rod found on the westerly right-of-way line of Shadowglen Trace (90 feet wide) marking the southeastern-most corner of said Parcel 2, same being the eastern-most corner of Lot 144, Block S of Shadowglen Phase One Section 4(B), plat of which recorded in Document No. 200300345 of the Official Public Records of Travis County;

THENCE, North 72°19'09" West, 1,567.48 feet, departing the westerly right-of-way line of said Shadowglen Tract and along the southerly line of said Parcel 2 to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for the **POINT OF BEGINNING** of the herein described tract, said point being on the northerly line of Lot 101, Block U of Shadowglen Phase One Section 7, plat of which recorded in Document No. 200500081 of the Official Public Records of Travis County;

THENCE, North 72°19'09" West, 105.85 feet, continuing along the southerly line of said Parcel 2 to a 1/2-inch iron rod found marking the northwest corner of said Lot 101, same being the east corner of Lot 35, Block U of Shadowglen Phase One Section 9, plat of which is recorded in Document No. 201800227 of the Official Public Records of Travis County;

THENCE, North 72°13'26" West, 338.02 feet along the northerly line of said Shadowglen Phase One Section 9 to a 1/2-inch iron rod with a plastic cap stamped "SURVCON" found marking the north corner of Lot 33, Block B of said Shadowglen Phase One Section 9, same being the southwest corner of said Parcel 2 on the on the easterly line of a called 200.38 acre tract of land described in instrument to the City of Manor in Document No. 2012141817 of the Official Public Records of Travis County;

THENCE, along the easterly line of said 200.38 acre tract the following three (3) courses and distances:
1. North 35°58'19" East, 365.77 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
2. North 41°15'38" East, 180.83 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
3. North 27°59'50" East, 169.74 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" found marking the southwest corner of Lot 1, Block A of Shadowglen Phase 2 Section 21A & 21B, plat of which is recorded in Document No. 202000049 of the Official Public Records of Travis County;

THENCE, North 37°32'03" East, 125.45 feet departing the easterly line of said 200.38 acre tract and along the southerly line of said Lot 1 to a 1/2-inch iron rod with a plastic cap stamped "KHA" found for corner;

THENCE, departing the southerly line of said Lot 1 and crossing said Parcel 2 the following ten (10) courses and distances:
1. South 52°27'57" East, 175.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
2. South 55°48'56" East, 125.97 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
3. South 38°52'55" West, 32.15 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
4. South 37°32'03" West, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
5. South 35°00'30" West, 60.92 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
6. South 27°10'27" West, 64.28 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
7. South 19°36'38" West, 59.72 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
8. South 17°40'53" West, 159.69 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
9. North 72°18'49" West, 42.25 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
10. South 17°41'08" West, 285.42 feet to the **POINT OF BEGINNING**, and containing 6.1020 acres of land in Travis County, Texas. The basis of bearing for this description is the Texas State Plane Coordinate System Grid, Central Zone (FIPS 4203) (NAD'83). All distances are on the Grid and shown in U.S. Survey Feet. This document was prepared in the office of Kimley-Horn and Associates, Inc. in San Antonio, Texas.

City of Manor Subdivision Variances:

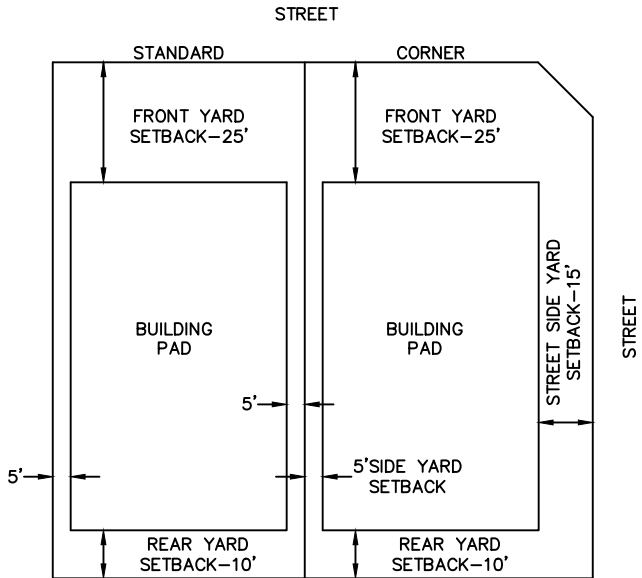
- An aerial photograph may be submitted at the preliminary plat stage rather than a tree survey.
- An inventory of significant trees that identifies the number of significant trees by category (trees 18 inches in caliper and larger and trees between 8 and 18 inches in caliper) to remain during construction and the number of significant trees in each category designated shall be submitted with construction plans.
- The number of replacement trees that will be installed, without the identification of the particular location at which the replacement trees shall be installed, shall be submitted with construction plans.
- Significant cottonwood, hackberry or mesquite trees removed shall be replaced at a rate of 50% per caliper inch with an approved hardwood tree. All other significant trees must be replaced at the ratios defined in the City's Subdivision Ordinance.
- All drainage improvements shall be designed in accordance with the City of Austin's Drainage Criteria Manual ("DCM"), as currently amended, save and except: (i) those provisions of the DCM set out in Section 41(b)(i) of the City of Manor Ordinance No. 195; (ii) Paragraph 1.2.6 of the DCM; (iii) Paragraph 2.2.1.A and 2.2.1.E of the DCM; and (iv) any other provisions of the DCM that would cause the flood plain delineation to be different from the 100-year Floodplain established by FEMA. The location of the 100-year Floodplain shall be the location established by FEMA.
- The lot size, height and placement, lot coverage, parking, and landscaping for each lot shall be as set forth in the minimum development standards for lots within the Master Land Plan and outside the corporate boundaries of the City of as set forth in the P.U.D. Variances for lots within the P.U.D. and the corporate boundaries of the City.
- Lots shall not be required to face a similar lot across the street.
- Side lot lines shall not be required to project away from the front lot line at approximately right angles to street lines and radial to curved street lines.
- The area within the City's Territorial Jurisdiction Zoned District " O-S" shall satisfy the City's Parkland Dedication requirements for all land shown within the P.U.D. plan or on the Master Land Plan shall be dedicated to the City or to a Municipal Utility District.
- The area of non-rectangular lots shall be provided with the filing of a final plat.

Applicable P.U.D. Variances from City of Manor Development Standards:

- Single-family residential lots in the property shall have a minimum of 6,000 sq. ft., and ten percent (10%) of the lots in the property to have a minimum of 5,000 sq. ft.
- Single-family residential lots in the property shall have a minimum of 50 feet of width along the front property line, except as otherwise approved by the City of Manor.
- Single-family residential lots in the property shall have a minimum setback from the front of each lot of twenty (20) feet.
- Single-family residential lots in the property shall have a minimum setback from the sides of each lot of five (5) feet.
- Single-family residential lots in the property shall have a minimum setback from the rear of each lot of ten (10) feet.
- The clubhouse and related permitted structures in the space shall have a maximum height of three (3) stories or fifty (50) feet.
- A development plan and report shall be submitted with the filing of each final plat.
- Revoked by Cotton Holding.
- A walkway/bicycle path system shall be submitted with the filing of each final plat.
- A LOMR shall be submitted prior to final platting of any lot located within the present 100-year Floodplain.
- Single-family residential lots have been granted a variance from the minimum lot widths as shown on the preliminary plat.

LOT TABLE		
LOT NO.	ACRES	SQ. FT.
BLOCK G LOT 26	0.181	7,866
BLOCK G LOT 27	0.185	8,055
BLOCK G LOT 28	0.187	8,142
BLOCK G LOT 29	0.185	8,074
BLOCK G LOT 30	0.201	8,750
BLOCK G LOT 31	0.203	8,856
BLOCK G LOT 32	0.203	8,831
BLOCK G LOT 33	0.184	8,036
BLOCK G LOT 34	0.340	14,813
BLOCK G LOT 35 - OPENSOURCE/DRAINAGE LOT	0.771	33,598
BLOCK G LOT 39 - OPEN SPACE/DRAINAGE LOT	1.002	43,641
BLOCK G LOT 41	0.232	10,114
BLOCK G LOT 42	0.184	8,002
BLOCK K LOT 11	0.198	8,616
BLOCK K LOT 12	0.172	7,500
BLOCK K LOT 13	0.173	7,515
BLOCK K LOT 14	0.190	8,278
BLOCK K LOT 15	0.194	8,451
BLOCK K LOT 16	0.178	7,773
BLOCK K LOT 17	0.176	7,652
BOUNDARY	6.102	265,803
RIGHT-OF-WAY	0.763	33,240

ADJACENT PROPERTY OWNERS		
LOT	OWNER	GEOGRAPHIC I.D.
BLOCK T LOT 8	Joseph & Kathleen Schroeder	0241620215
BLOCK T LOT 9	Aaron & Rebecca Travis	0241620216
BLOCK T LOT 10	Debora & Kerry Elliott	0241620217
BLOCK T LOT 11	Saul Jaimes & Ruby Marquez	0241620218
BLOCK T LOT 12	Stephanie Greatwood	0241652001
BLOCK T LOT 13	Kyle Marienthal	0241652002
BLOCK T LOT 14	Vernon & Andrea Cain	0241652003
BLOCK T LOT 15	Daniella Damiano	0241652004
BLOCK U LOT 29	Elizabeth & Sean Nolton	0241620176
BLOCK U LOT 30	Timothy & Narriet Stevenson	0241620175
BLOCK U LOT 31	Anthony & Audrey Tiger	0243620117
BLOCK U LOT 32	Torvald Tomas Valentijn Hessel & Ryan Elisabeth Grigo Fleming	0243620116
BLOCK U LOT 33	Fernando & Noemi Duran	0243620115
BLOCK U LOT 34	SG Land Holdings LLC	0243620114
BLOCK U LOT 35	Richard & Jessica Flair	0243620113
BLOCK U LOT 36	Everardo & Elizabeth Cabrera	0243620112
BLOCK U LOT 37	Jonathan Pruitt & Meghan Laurin	0243620111
BLOCK U LOT 38	Daniel & Laura Garza	0241620174
BLOCK U LOT 39	Armando Perez	0241620173
BLOCK U LOT 96	Davis Covin & Trevor Harper	0241620110
BLOCK U LOT 97	Jason Lee Hansen	0241620109
BLOCK U LOT 98	Sean & Erin Anderson	0241620108
BLOCK U LOT 99	Joshua & Kaya Jackson	0241620107
BLOCK U LOT 100	Jonathan Law	0243620102
BLOCK U LOT 101	Neil Keller	0243620101
BLOCK U LOT 133	SG Land Holdings LLC	0243650101
BLOCK G LOTS 23 - 25 & 43 - 48	SG Land Holdings LLC	
BLOCK J LOTS 39 - 48	SG Land Holdings LLC	
BLOCK K LOTS 1 - 10 & 18 - 21	SG Land Holdings LLC	
BLOCK A LOT 1 OPEN SPACE & DRAINAGE	Continental Homes of Texas LP	0243650571



TYPICAL SETBACK DETAIL
NOT TO SCALE

SHADOWGLEN PHASE 2 SECTION 18B

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PH: (949) 241-8414
CONTACT: RUSS ALLISON

The State of California §
County of Orange §

Know all men by these presents:

Whereas, SG Land Holdings LLC, the owner of a 6.102 acre tract of land in the William Sanderford Survey No. 69, Abstract No. 742 and the William Sanderford Survey No. 70, Abstract No. 743, Travis County, Texas, and being a portion of that certain called 267.88 acre tract, conveyed to SG Land Holdings LLC, as recorded under document number 2012217281, Official Public Records of Travis County Texas, and do hereby subdivide said tract, pursuant to Chapter 212 and 232 of the Local Government Code.

Now, therefore, know all men by these presents: that the undersigned owner of the land shown on this plat, hereby subdivides said 6.102 acres of land of said in accordance with the attached map or plat to be known as Shadowglen Phase 2, Sections 18B and do hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, public easements, and public places thereon shown for the purposed and consideration therein expressed: subject to any easement or restrictions heretofore granted and not released.

Witness my hand this day _____, ____.

By: _____
Name: _____
Title: _____
Address: 2392 Morse Avenue
Irvine, California 93614

The State of California §
County of Orange §

This instrument was acknowledged before me on the ____ day of _____, 20____, by _____, as _____ of _____, on behalf of said corporation.

Notary Public
Notary Registration Number _____
My commission expires: _____
County of Orange
The State of California

Consent of Lienholder

The undersigned, being the holder of a deed of trust lien dated _____ recorded as Document No. _____ in the Official Public Records of Travis County, Texas and the deed of trust lien dated _____ and recorded as _____ in the Official Public Records of Travis County, Texas hereby consents to the foregoing final plat and agrees that its deed of trust lien is subject to and subordinate to the final plat, and that the undersigned has authority to execute and deliver this consent of lienholder, and that all necessary acts necessary to bind the lienholder have been taken.

International Bank of Commerce

By: _____

Name: _____

Title: _____

The State of Texas §
County of Travis §

This instrument was acknowledged before me on the ____ day of _____, 20____, by _____, as _____ of the International Bank of Commerce, on behalf of said bank.

Notary Public
Notary Registration Number _____
My commission expires: _____
County of Travis
The State of Texas

The State of Texas §
County of Travis §

I, Jason Reece, am authorized under the laws of the State of Texas to practice the profession of engineering, and hereby certify that this plat is feasible from an engineering stand point and complies with the engineering related portion of the City of Manor, Texas Subdivision Ordinance, and is true and correct to the best of my knowledge.

This site is located in the Wilbarger Creek Watershed.

A portion of this tract is located within the designated flood hazard area as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) #48453C0485J, Travis County, Texas, dated August 18, 2014.

Jason Reece, P.E.
Registered Professional Engineer No. 127126
Kimley-Horn and Associates, Inc.
10814 Jollyville Road
Building IV, suite 200
Austin, Texas 78759

The State of Texas §
County of Bexar §

I, John G. Mosier, am authorized under the laws of the State of Texas to practice the profession of surveying, and hereby certify that this plat complies with the surveying related portions of the City of Manor, Texas Subdivision Ordinance is true and correct, and was prepared from an actual survey made on the ground under my direction and supervision.

John G. Mosier
Registered Professional
Land Surveyor No. 6330
10101 Reunion Place, Suite 400
San Antonio, Texas 78216
Ph. 210-541-9166

General Notes:

- The bearings, distances, areas and coordinates shown hereon are Texas State Coordinate System GRID, Central Zone (FIPS 4203) (NAD'83), as determined by the Global Positioning System (GPS). The unit of linear measurement is U.S. Survey Feet.
- All lots will be monumented prior to lot sales and after road construction with a 1/2-inch iron rod with a plastic cap stamped "KHA" unless otherwise noted.
- Public sidewalks built to City of Manor standards, are required along all streets within this subdivision, these sidewalks shall be in place prior to the adjoining lot being occupied, failure to construct the required sidewalks may result in the withholding of certificates of occupancy. Building permits, or utility connections by the covering body or utility company.
- Driveway and drainage construction standards shall be in accordance with the requirement of the City of Manor and Travis County standards unless otherwise specified and approve by the City of Manor and Travis County.
- No lot in this subdivision shall be occupied until connection is made to the Travis County Municipal Utility District No. 2 Water and Wastewater System.
- All streets, drainage improvements, sidewalks, water and wastewater lines, and erosion controls shall be constructed and installed to City of Manor and Travis County standards.
- Erosion controls are required for all construction on individual lots, including detached single family in accordance with Section 1.4.0 of the City of Austin Environmental Criteria Manual.
- All streets in the subdivision shall be constructed to City of Manor Urban Street Standards and Travis County Standards. All streets will be constructed with curb and gutter.
- Prior to construction, except detached single family on any lot in this subdivision, a site development permit must be obtained from the City of Manor.
- The subdivision owner/developer as identified on this plan is responsible for posting fiscal surety for the construction of all sidewalks as shown or listed on the plan, whether installed by the owner/developer or individual homebuilders. It is the responsibility of the owner/developer to ensure all sidewalks are ADA compliant unless a waiver has been granted by the Texas Department of Licensing and Regulation.
- No objects, including but not limited to buildings, fences, landscaping or other structures shall be allowed within any drainage easements or drainage lots except as approved by Travis County and the City of Manor.
- A 15' Electrical, Natural Gas, Propane, Cable T.V., Telephone, and Internet Easement is hereby dedicated along and adjacent to all street rights of way.
- Building setbacks shall be in accordance with the design guidelines of 2010 Shadowglen LLC and his/her assigns.
- A Travis County Development Permit is required prior to site development of any lots in the subdivision.
- Lot Setback Requirements: (SEE SETBACK DETAIL)
Front Yard - 25' for regular lots, 20' for irregular lots
Side Yard - 5'
Street Side Yard - 15'
Rear Yard - 10'
- All open space and drainage lots are restricted to non-residential uses, including no buildings, fences, walls, or similar structures, and shall be designated as "Common Area" as defined under the Subdivision Covenants, Conditions and Restrictions as recorded under Document Number 2003066593 of the Official Public Records of Travis County, Texas. These lots will be "Owned and Maintained" by the Homeowners' Association.
- Property owners and/or his/her assigns shall provide for access to the drainage easements as may be necessary and shall not prohibit access by the City of Manor, Travis County Municipal Utility District No. 2 and Travis County, for inspection or maintenance of said easement.
- All drainage easements on private property shall be maintained by the owner or his/her assigns.
- Before beginning construction activities on a subdivision lot, the owner must obtain a Travis County Development Permit and, when applicable, implement a Storm Water Pollution Prevention Plan (SWP3). The SWP3 requires implementation of temporary and permanent best management practices, including erosion and sediment controls, for protection of storm water runoff quality, in accordance with the Travis County code.
- Parkland for 18 residential units has been satisfied with this plat.
- Within a sight distance easement any obstruction of sight line by vegetation, fencing, earthwork, buildings, signs or any other object which is determined to cause a traffic hazard is prohibited and may be removed by order of the Travis County Commissioners Court at the owner's expense. The property owner is to maintain an unobstructed view corridor within the bounds of such easement at all times.
- An activity that may adversely affect a tree of eight inches or more in trunk diameter (measured at four feet height above the ground) in a right-of-way accepted for maintenance by Travis County must comply with all standards and requirements in the Travis County Code.
- Drainage plans shall be submitted to the City of Manor and Travis County for review prior to site development. Rainfall run-off shall be held to the amount existing at undeveloped status by ponding or other approved methods.
- This subdivision is subject to the Travis County 2016 Water Quality Rules.
- No cut or fill on any lot may exceed eight feet, excluding driveways, a building structure's footprint, or a parking area footprint, in accordance with the Travis County Code.
- As depicted on the plat, each protective easement from a critical environmental feature, including a cave, sinkhole, point recharge feature, bluff, canyon rimrock feature, wetland, and spring must remain in its existing, undeveloped, natural state. Natural vegetative cover must be retained. Construction activities, wastewater disposal, and wastewater irrigation are prohibited within a protective easement. A residential lawn or trail is allowed if it is located at least 50 feet from the edge of a critical environmental feature in accordance with the Travis County Code.
- As depicted on the plat, the setback area identified for each waterway is a protective easement that must remain undeveloped, and activities must be limited within the easement. The protective easement must remain free of construction, development, and other alterations except when specifically approved in a Travis County development permit.
- Before beginning construction activities on a subdivision lot, the owner must obtain a Travis County development permit and, when applicable, obtain and implement a Storm Water Pollution Prevention Plan (SWP3). The SWP3 requires implementation of temporary and permanent Best Management Practices, including erosion and sediment controls, for protection of storm water runoff quality, in accordance with the Travis County Code.
- The owner is responsible for maintaining and operating all permanent water quality controls in compliance with all applicable standards and requirements of the Travis County Code. See Document _____.
- An activity that may adversely affect a tree of eight inches or more in trunk diameter (measured at four feet height above the ground) in a right-of-way accepted for maintenance by Travis County must comply with all standards and requirements in the Travis County Code.
- The preliminary plan associated with this project was approved on _____.
- Performance and maintenance guarantees as required by the City.

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
LAND SURVEYOR NO. 6330
10101 REUNION PLACE, SUITE 400
SAN ANTONIO, TEXAS 78216
PH: (210) 541-9166
CONTACT: JOHN G. MOSIER, R.P.L.S.

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD,
BUILDING IV, SUITE 200
AUSTIN, TEXAS 78759
TBPE FIRM REGISTRATION NO. F-928
PH: (512) 418-1771 FAX: (512) 418-1791
CONTACT: JASON REECE, P.E.

OWNER/DEVELOPER:
SG LAND HOLDINGS, LLC
2392 MORSE AVENUE
IRVINE, CALIFORNIA 93614
PH: (949) 241-8414
CONTACT: RUSS ALLISON

CITY OF MANOR ACKNOWLEDGMENTS

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE. ____ DAY OF _____, 20____.

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, ON THIS THE DATE. ____ DAY OF _____, 20____.

APPROVED:

ATTEST:

LAKESHA SMALL, CHAIRPERSON

LLUVIA T. ALMARAZ, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, ON THIS THE DATE. ____ DAY OF _____, 20____.

APPROVED:

ATTEST:

DR. CHRISTOPHER HARVEY, MAYOR

LLUVIA T. ALMARAZ, CITY SECRETARY

The State of Texas §
County of Travis §

I, DYANA LIMON - MERCADO, CLERK OF TRAVIS COUNTY, TEXAS DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, 20____, A.D. AT ____ O'Clock ____M., DULY RECORDED ON THE ____ DAY OF _____, 20____, A.D. AT ____ O'Clock ____M., OF SAID COUNTY AND STATE IN DOCUMENT NUMBER _____ OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS ____ DAY OF _____, 20____, A.D.

DYANA LIMON - MERCADO, COUNTY CLERK
TRAVIS COUNTY, TEXAS

DEPUTY

The State of Texas §
County of Travis §

I, DYANA LIMON - MERCADO, CLERK OF THE COUNTY COURT, OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT ON THE ____ DAY OF _____, 20____, A.D., THE COMMISSIONERS' COURT OF TRAVIS COUNTY, TEXAS, PASSED AN ORDER AUTHORIZING THE FILING FOR RECORD OF THIS PLAT, AND THAT SAID ORDER WAS DULY ENTERED IN THE MINUTES OF SAID COURT.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY COURT OF SAID COUNTY, THE ____ DAY OF _____, 20____, A.D.

DYANA LIMON - MERCADO, COUNTY CLERK, TRAVIS COUNTY, TEXAS

DEPUTY

Water and Wastewater:

The tract of land shown hereon is within the boundaries of Travis County Municipal Utility District (M.U.D.) No. 2 and said M.U.D. has water and wastewater service available upon completion of facilities by the developer.

Date _____ M.U.D. Engineer _____

The State of Texas §
County of Travis §

Commissioners Court Resolution

In approving this plat, the Commissioners Court of Travis County, Texas, assumes no obligation to build the streets, roads, and other public thoroughfares shown on this plat or any bridges or culverts in connection therewith. The building of all streets, roads, and other public thoroughfares shown on this plat, and all bridges and culverts necessary to be constructed or placed in such streets, roads, or other public thoroughfares or in connection therewith, is the responsibility of the owner and/or developer of the tract of land covered by this plat in accordance with plans and specifications prescribed by the Commissioners Court of Travis County, Texas.

The owner(s) of the subdivision shall construct the subdivision's street and drainage improvements (the "improvements") to County standards in order for the County to accept the public improvements for maintenance or to release fiscal security posted to secure private improvements. To secure this obligation, the owner(s) must post fiscal security with the County in the amount of the estimated cost of improvements. The owner(s) obligation to construct the improvement to County standards and to post the fiscal security to secure such construction is a continuing obligation binding the owner(s) and their successors and assigns until the public improvements have been accepted for maintenance by the County, or the private improvements have been constructed and are performing to County standards.

The authorization of this plat by the Commissioners Court for filing or the subsequent acceptance for maintenance by Travis County, Texas, of roads and streets in the subdivision does not obligate the County to install street name signs or erect traffic control signs, such as speed limit, stop signs, and yield signs, which is considered to be part of the developer's construction.

SHADOWGLEN PHASE 2 SECTION 18B

6.102 ACRES

OUT OF A CALLED 276.88 ACRE PARCEL 2 CONVEYED TO SG
LAND HOLDINGS LLC

DOC. NO. 2012217281, OPRTC

WILLIAM SANDERFORD SURVEY NO. 69, ABSTRACT NO. 742
WILLIAM SANDERFORD SURVEY NO. 70, ABSTRACT NO. 743
CITY OF MANOR, TRAVIS COUNTY, TEXAS

Kimley»Horn

10101 Reunion Place, Suite 400
San Antonio, Texas 78216 FIRM # 10193973

Tel. No. (210) 541-9166
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	DJG	JGM	5/30/2023	069254501	4 OF 4



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Wednesday, June 28, 2023

Jacob Kondo
Kimley-Horn
10814 Jollyville Road, Building 4, Suite 300
Austin 78759
jacob.kondo@kimley-horn.com

Permit Number 2023-P-1525-FP
Job Address: Shadowglen Phase 2 Section 18B Final Plat,

Dear Jacob Kondo,

The subsequent submittal of the Shadowglen Phase 2 Section 18B Final Plat submitted by Kimley-Horn and received on July 18, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

Engineer Review

The following comments have been provided by Tyler Shows. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. ~~Reminder: The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.~~
- ii. ~~Include the north arrow with Vicinity Map.~~
- iii. ~~Per City of Manor Ordinance Chapter 10, Section 21 Concept Plan (c)(15), including the location of City limit lines and/or outer border of the City's extra-territorial jurisdiction in the Vicinity Map.~~
- iv. ~~Per City of Manor Subdivision Ordinance Exhibit A Article II Section 28 (c) — Section 24 (c)(3)(i), include true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. **Using the said system, X and Y coordinates shall be identified for four (4) property corners.**~~
- v. ~~Provide building setback lines indicated by dashed lines on the plat. As per Manor Code of Ordinance Chapter 14 Section 14.02.007.~~
- vi. ~~Provide a letter requesting approval for any variances from the City of Manor Development Standards. (The variances listed on sheet 3 must be approved).~~
- vii. ~~Under general notes include the following "Performance and maintenance guarantees as required by the City".~~
- viii. ~~Per City of Manor Subdivision Ordinance Exhibit A Article II Section 21 (c)(13), provide approximate boundaries and anticipated timing of proposed phases of development and uses.~~
- ix. ~~Per City of Manor Subdivision Ordinance Exhibit A Article II Section 21 (c)(16), provide a proposed phasing plan for the development of future sections.~~
- x. ~~Provide documentation that water is available in adequate supply at the time of submission. Water is provided by the Travis County Municipal Utility No .2. (If a subdivision is located in an area served by any utility other than the City, the developer shall furnish a letter from such utility certifying their approval of the location of the utility easements shown on the plat and indicating the utility's intent to serve the property.)~~
- xi. ~~The 100-year flood plain is near this site, show the location of it on page 2.~~
- xii. ~~For projects located within the City's extra-territorial jurisdiction, one (1) extra copy of the above-referenced items must be provided to the County for review and approval. The applicant shall be responsible for any additional information required by the County for Final Plat approval. (Referenced is Any attendant documents needed to supplement the information provided on the Final Plat)~~
- xiii. **The signature block for Commissioners Court is missing from the plat.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Lead AES
GBA



KHA Job No. 069254501

June 1, 2023

Tyler Shows, P.E.
Staff Engineer
Jay Engineering Company, Inc.
P.O. Box 1220
Leander, Texas 78646

**RE: Shadowglen Section 18B
Manor, TX 78653
Permit No. 2023-P-1525-FP**

Dear Tyler Shows:

Please accept this **Comment Response Letter** in response to Jay Engineering Company, Inc.'s report to the above-mentioned project dated June 18, 2021. Original comments have been included for review. Kimley-Horn responses are listed in maroon.

1. Reminder: The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.

Response: *Noted. Engineer and surveyor shall affix seals upon approval.*

2. Include the north arrow with Vicinity Map.

Response: *North arrow included in reference to Vicinity Map.*

3. Per City of Manor Ordinance Chapter 10, Section 21 Concept Plan (c)(15), including the location of City limit lines and/or outer border of the City's extra-territorial jurisdiction in the Vicinity Map.

Response: *Vicinity map now includes location of City limit lines and border of the extra-territorial jurisdiction.*

4. Per City of Manor Subdivision Ordinance Exhibit A Article II Section 28 (c) – Section 24 (c)(3)(i), include true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using the said system, X and Y coordinates shall be identified for four (4) property corners.

Response: *Four property corners are now identified using said coordinate system.*

5. Provide building setback lines indicated by dashed lines on the plat. As per Manor Code of Ordinance

Chapter 14 Section 14.02.007.

Response: *Building setback lines are now indicated on the final plat as per Manor Code of Ordinance.*

6. Provide a letter requesting approval for any variances from the City of Manor Development Standards. (The variances listed on sheet 3 must be approved).

Response: *Variance request letter has been uploaded to the portal with this submission package.*

7. Under general notes include the following "Performance and maintenance guarantees a's required by the City".

Response: *Note has been added under general notes.*

8. Per City of Manor Subdivision Ordinance Exhibit A Article II Section 21 (c)(13), provide approximate boundaries and anticipated timing of proposed phases of development and uses.

Response: *Shadowglen Phase 2 Section 18B is the final section of Shadowglen Phase 2. Construction will begin pending approvals from Travis County.*

9. Per City of Manor Subdivision Ordinance Exhibit A Article II Section 21 (c)(16), provide a proposed phasing plan for the development of future sections.

Response: *Shadowglen Phase 2 Section 18B is the final section of Shadowglen Phase 2. Construction will begin pending approvals from Travis County.*

10. Provide documentation that water is available in adequate supply at the time of submission. Water is provided by the Travis County Municipal Utility No .2. (If a subdivision is located in an area served by any utility other than the City, the developer shall furnish a letter from such utility certifying their approval of the location of the utility easements shown on the plat and indicating the utility's intent to serve the property.)

Response: *Will serve letter has been uploaded to the portal with this submission package.*

11. The 100-year flood plain is near this site, show the location of it on page 2.

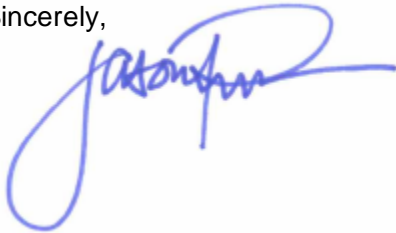
Response: *The 100-year flood plan has been added to this plat on page 2.*

12. For projects located within the City's extra-territorial jurisdiction, one (1) extra copy of the above-referenced items must be provided to the County for review and approval. The applicant shall be responsible for any additional information required by the County for Final Plat approval. (Referenced is Any attendant documents needed to supplement the information provided on the Final Plat)

Response: *Noted.*

Please contact me at (512) 551-1839 or jason.reece@kimley-horn.com should you have any questions.

Sincerely,



Jason Reece, PE
Project Manager



July 17th, 2023

Tyler Shows, P.E.
Staff Engineer
Jay Engineering Company, Inc.
P.O. Box 1220
Leander, Texas 78646

**RE: Shadowglen Section 18B
Manor, TX 78653
Permit No. 2023-P-1525-FP**

Dear Tyler Shows:

Please accept this **Comment Response Letter** in response to Jay Engineering Company, Inc's report to the above-mentioned project dated June 28, 2021. Original comments have been included for review. Kimley-Horn responses are listed in maroon.

13. The signature block for Commissioners Court is missing from the plat.

Response: Signature block added.

Please contact me at (512) 551-1839 or jacob.kondo@kimley-horn.com should you have any questions.

Sincerely,

A handwritten signature in black ink that reads "Jacob Kondo". The signature is written in a cursive, flowing style.

Jacob Kondo, PE
Project Manager



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Monday, August 14, 2023

Jacob Kondo
Kimley-Horn
10814 Jollyville Road, Building 4, Suite 300
Austin 78759
jacob.kondo@kimley-horn.com

Permit Number 2023-P-1525-FP
Job Address: Shadowglen Phase 2 Section 18B Final Plat,

Dear Jacob Kondo,

We have conducted a review of the final plat for the above-referenced project, submitted by Jacob Kondo and received by our office on July 18, 2023, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads 'Pauline M. Gray'.

Pauline Gray, P.E.
Lead AES
GBA



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023

PREPARED BY: Scott Dunlop, Director

DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Final Plat for the Las Entradas-Gregg Manor Road Subdivision, being 2.663 acres of right-of-way dedicated to the city, and being located near the intersection of Gregg Manor Road and Tur Weg Lane, Manor, TX.

Applicant: Sotol Ventures

Owner: Okra Land Inc.

BACKGROUND/SUMMARY:

This plat creates the right-of-way for the newly extended Gregg Manor Road from Tur Weg Lane (near Riata Ford) to Parsons Street (by the Lions Club).

LEGAL REVIEW: *Not Applicable*

FISCAL IMPACT: *NO*

PRESENTATION: *NO*

ATTACHMENTS: *YES*

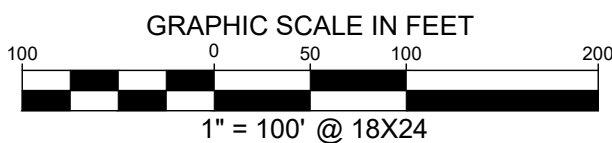
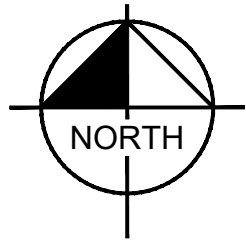
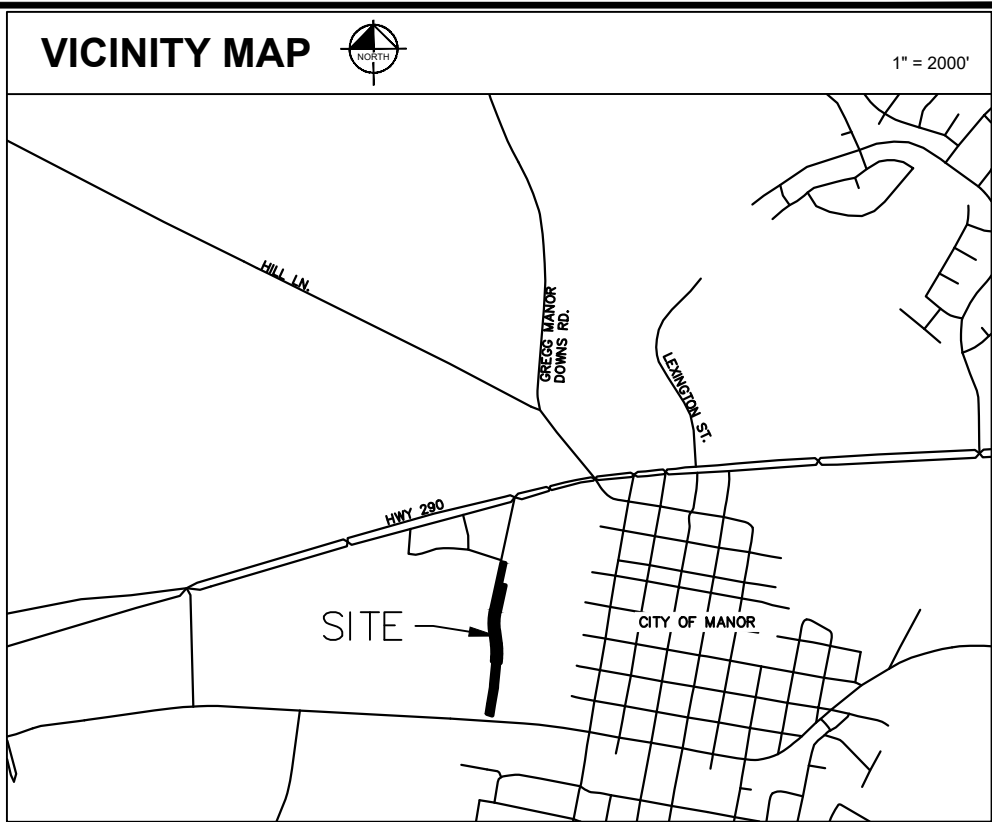
- Plat
- Engineer Comments
- Conformance Letter

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve a Final Plat for the Las Entradas-Gregg Manor Road Subdivision, being 2.663 acres of right-of-way dedicated to the city, and being located near the intersection of Gregg Manor Road and Tur Weg Lane, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**

LEGEND	
○	1/2" IRON ROD W/ "KHA" CAP SET (UNLESS OTHERWISE NOTED)
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
OPRTC	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY
DRTC	DEED RECORDS OF TRAVIS COUNTY
---	SIDEWALK
---	CONTOURS
---	ADJOINER LOT LINE
---	BOUNDARY LINE
---	RIGHT-OF-WAY CENTER LINE
---	RIGHT-OF-WAY LINE
---	EASEMENT LINE



LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	N71°18'09"W	61.15'	L17	S05°31'51"W	113.02'
L2	N08°45'37"E	97.78'	L18	S05°30'59"W	167.77'
L3	N09°37'11"E	180.64'	L19	S03°33'06"W	34.02'
L4	N03°33'06"E	31.33'	L20	S09°37'11"W	182.73'
L5	N05°30'59"E	169.05'	L21	N85°52'15"W	14.50'
L6	N05°31'51"E	68.33'	L22	S08°56'09"W	107.92'
L7	N80°24'18"W	15.04'	L23	N05°31'51"E	43.64'
L8	N80°21'22"W	10.03'	L24	N07°40'11"W	140.56'
L9	N05°31'51"E	42.92'	L25	N12°19'00"E	506.89'
L10	N07°40'11"W	140.56'	L26	S12°19'00"W	155.58'
L11	N12°19'00"E	506.89'	L27	S07°40'11"E	69.29'
L12	S77°41'00"E	50.00'	L28	S05°30'59"W	171.30'
L13	S12°19'00"W	350.97'	L29	S11°58'27"W	141.65'
L14	S73°43'29"E	50.12'	L30	S08°45'37"W	88.77'
L15	S12°19'00"W	152.47'	L31	N12°19'00"E	128.64'
L16	S07°40'11"E	140.56'			

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD TANGENT
C1	13°12'02"	545.00'	125.57'	N01°04'10"W	125.29'
C2	19°59'11"	655.00'	228.48'	N02°19'24"E	227.33'
C3	19°59'11"	555.00'	193.60'	S02°19'24"W	192.62'
C4	13°12'02"	645.00'	148.60'	S01°04'10"E	148.28'
C5	13°12'02"	555.00'	127.87'	N01°04'10"W	127.59'
C6	19°59'11"	645.00'	224.99'	N02°19'24"E	223.85'
C7	19°59'11"	600.00'	209.30'	S02°19'24"W	208.24'
C8	13°11'10"	1500.00'	345.22'	S01°04'36"E	344.45'
C9	6°27'28"	300.00'	33.81'	S08°44'43"W	33.79'
C10	3°12'50"	500.00'	28.05'	S10°22'02"W	28.04'

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
10101 REUNION PLACE, SUITE 400
SAN ANTONIO, TEXAS 78216
PH: (210) 541-9166 FAX: (210) 541-8699
CONTACT: JOHN G. MOSIER, R.P.L.S.
TBPLS FIRM REGISTRATION NO. 10193973

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200
AUSTIN, TEXAS 78759
PH: (512) 418-1771 FAX: (512) 418-1791
CONTACT: JOHN A. PICKENS, P.E.
TBPE FIRM REGISTRATION NO. F-928

OWNER/DEVELOPER:
LAS ENTRADAS DEVELOPMENT CORPORATION
9900 U.S. HIGHWAY 290 E,
MANOR, TEXAS, 78653
PH: (512) 327-7415
CONTACT: DANNY BURNETT

OWNER:
LIONS CLUB OF MANOR INC.
8819 LONE TREE DR.
MANOR, TEXAS, 78653
CONTACT: _____

SUBDIVISION PLAT ESTABLISHING

LAS ENTRADAS-GREGG MANOR ROAD

BEING 2.903 ACRES OF LAND, LOCATED IN THE JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546, TRAVIS COUNTY, TEXAS; AND CONTAINING A PORTION OF THAT CERTAIN 105.170 ACRE TRACT CONVEYED TO LAS ENTRADAS DEVELOPMENT CORPORATION IN DOCUMENT NO. 2007002485, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS; CONTAINING A PORTION OF THAT CERTAIN 6.018 ACRE TRACT CONVEYED TO LIONS CLUB OF MANOR INC, IN DOCUMENT NO. 2012084132, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

Kimley»Horn

10101 Reunion Place, Suite 400 San Antonio, Texas 78216 FIRM # 10193973 Tel. No. (210) 541-9166 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	DJG	JGM	7/11/2023	069241704	1 OF 2

LAS ENTRADAS-GREGG MANOR ROAD GENERAL INFORMATION:

TOTAL ACREAGE.....	2.663 ACRES
ACREAGE OF PROPOSED 90' ROW.....	1.748 ACRES
ACREAGE OF PROPOSED 75' ROW.....	0.777 ACRES
ACREAGE OF PROPOSED 60' ROW.....	0.138 ACRES

No.	DATE	REVISION DESCRIPTION
1	7/11/23	UPDATED PLAT PER GBA COMMENTS.

THE STATE OF TEXAS)
KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF TRAVIS)

WHEREAS, LAS ENTRADAS DEVELOPMENT CORPORATION, A TEXAS CORPORATION, THE OWNER OF 2.135 ACRE TRACT OF LAND LOCATED IN THE JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546, TRAVIS COUNTY, TEXAS; AND BEING A PORTION OF THAT CERTAIN 105.170 ACRE TRACT CONVEYED TO LAS ENTRADAS DEVELOPMENT CORPORATION IN DOCUMENT NO. 2007002485, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS; AND DO HEREBY SUBDIVIDE SAID TRACT, HAVING BEEN APPROVED FOR SUBDIVISION, PURSUANT TO THE PUBLIC NOTIFICATION AND HEARING PROVISION OF CHAPTER 212 AND 232 OF THE LOCAL GOVERNMENT CODE.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS "LAS ENTRADAS-GREGG MANOR ROAD" OF THE CITY OF MANOR, TRAVIS COUNTY, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY SUBDIVIDES SAID 2.903 ACRES OF LAND IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT, AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, PUBLIC EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSED AND CONSIDERATION THEREIN EXPRESSED: SUBJECT TO ANY EASEMENT OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS DAY _____, 20__.

BY: _____
PETER A. DWYER
LAS ENTRADAS DEVELOPMENT CORPORATION
9900 U.S. HIGHWAY 290 E
MANOR, TEXAS 78653-9720

COUNTY OF TRAVIS:
STATE OF TEXAS:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED PETER DWYER KNOWN TO ME TO BE THE PERSON OR AGENT WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY HEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 20__.

NOTARY PUBLIC
NOTARY REGISTRATION NUMBER _____
MY COMMISSION EXPIRES: _____
COUNTY OF TRAVIS
STATE OF TEXAS

CONSENT OF LIENHOLDER

THE UNDERSIGNED, BEING THE HOLDER OF A DEED OF TRUST LIEN DATED _____ RECORDED AS DOCUMENT NO. _____ IN THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS AND THE DEED OF TRUST LIEN DATED _____ AND RECORDED AS _____ IN THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS HEREBY CONSENTS TO THE FOREGOING FINAL PLAT AND AGREES THAT ITS DEED OF TRUST LIEN IS SUBJECT TO AND SUBORDINATE TO THE FINAL PLAT, AND THAT THE UNDERSIGNED HAS AUTHORITY TO EXECUTE AND DELIVER THIS CONSENT OF LIENHOLDER, AND THAT ALL NECESSARY ACTS NECESSARY TO BIND THE LIENHOLDER HAVE BEEN TAKEN.

BANK OZK

BY: _____

NAME: _____

TITLE: _____

THE STATE OF _____ §
COUNTY OF _____ §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____ DAY OF _____, 20__, BY _____, AS _____ OF THE BANK OZK, ON BEHALF OF SAID BANK.

NOTARY PUBLIC
NOTARY REGISTRATION NUMBER _____
MY COMMISSION EXPIRES: _____
COUNTY OF _____
THE STATE OF _____

THE STATE OF TEXAS)
KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF TRAVIS)

WHEREAS, LIONS CLUB OF MANOR, INC., THE OWNER OF 0.788 ACRE TRACT OF LAND LOCATED IN THE JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546, TRAVIS COUNTY, TEXAS; AND BEING A PORTION OF THAT CERTAIN 6.018 ACRE TRACT CONVEYED TO LIONS CLUB OF MANOR INC. IN DOCUMENT NO. 2012084132, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS AND DO HEREBY SUBDIVIDE SAID TRACT, HAVING BEEN APPROVED FOR SUBDIVISION, PURSUANT TO THE PUBLIC NOTIFICATION AND HEARING PROVISION OF CHAPTER 212 AND 232 OF THE LOCAL GOVERNMENT CODE.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS "LAS ENTRADAS-GREGG MANOR ROAD" OF THE CITY OF MANOR, TRAVIS COUNTY, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY SUBDIVIDES SAID 2.903 ACRES OF LAND IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT, AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, PUBLIC EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSED AND CONSIDERATION THEREIN EXPRESSED: SUBJECT TO ANY EASEMENT OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS DAY _____, 20__.

BY: _____

LIONS CLUB OF MANOR INC.
8819 LONE TREE DR.
MANOR, TEXAS 78653

COUNTY OF TRAVIS:
STATE OF TEXAS:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON OR AGENT WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY HEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 20__.

NOTARY PUBLIC
NOTARY REGISTRATION NUMBER _____
MY COMMISSION EXPIRES: _____
COUNTY OF TRAVIS
STATE OF TEXAS

THE STATE OF TEXAS)
COUNTY OF TRAVIS)

I, JOHN A. PICKENS, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STAND POINT AND COMPLIES WITH THE ENGINEERING RELATED PORTION OF THE CITY OF MANOR, TEXAS SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

THIS SITE IS LOCATED IN THE GILLELAND CREEK WATERSHED.

NO PORTION OF THIS SITE LIES WITHIN THE BOUNDARIES OF THE 100 YEAR FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 4846300480J, EFFECTIVE DATE AUGUST 18, 2014, TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

JOHN A. PICKENS, P.E.
REGISTERED PROFESSIONAL ENGINEER No. 110631
KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD
AVALLON IV, SUITE 200
AUSTIN, TEXAS 78759

I, JOHN G. MOSIER, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING, AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEYING RELATED PORTIONS OF THE CITY OF MANOR, TEXAS SUBDIVISION ORDINANCE IS TRUE AND CORRECT, AND WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION.

JOHN G. MOSIER
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6330 - STATE OF TEXAS
10101 REUNION PLACE, SUITE 400
SAN ANTONIO, TEXAS 78216
PH. 210-541-9166

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CITY OF MANOR ACKNOWLEDGMENTS

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE. ____ DAY OF _____, 20__.

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, ON THIS THE DATE. ____ DAY OF _____, 20__.

APPROVED:

ATTEST:

LAKESHA SMALL, CHAIRPERSON

LLUVIA T. ALMARAZ, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, ON THIS THE DATE. ____ DAY OF _____, 20__.

APPROVED:

ATTEST:

DR. CHRISTOPHER HARVEY, MAYOR

LLUVIA T. ALMARAZ, CITY SECRETARY

COUNTY OF TRAVIS:
STATE OF TEXAS:
KNOW ALL ME BY THESE PRESENTS:

I, DYANA LIMON - MERCADO, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE DATE. ____ DAY OF _____, 20__, AT ____ O'CLOCK ____, DULY RECORDED ON THE DAY OF ____ DAY OF _____, 20__, AT ____ O'CLOCK ____ IN THE PLAT RECORDS OF SAID COUNTY AND STATE IN DOCUMENT NUMBER _____, OFFICIAL RECORDS OF TRAVIS COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS ____ DAY OF _____, 20__.

DYANA LIMON - MERCADO, COUNTY CLERK, TRAVIS COUNTY, TEXAS

BY: _____
DEPUTY _____

A METES AND BOUNDS
DESCRIPTION OF
A 2.903 ACRE TRACT OF LAND

BEING a 2.903 acre (126,454 square feet) tract of land situated in the James Manor Survey No. 40, Abstract No. 546, City of Manor, Travis County, Texas; being a portion of that certain 104.825 acre tract described in instrument to Las Entradas Development Corporation in Document No. 2007002485 of the Official Public Records of Travis County, and being a portion of that certain 6.018 acre tract described in instrument to Lions Club of Manor Inc. in Document No. 2012084132 of the Official Public Records of Travis County, Texas; and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with cap found marking the southeast corner of said 6.018 acre tract and the northeast corner a called 0.577 acre tract of land described in instrument to Travis County in Document No. 2007094817 of the Official Public Records of Travis County;

THENCE, North 71°18'09" West, 61.15 feet along the common boundary line of said 6.018 acre tract and 0.577 acre tract to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;

THENCE, departing the boundary line of said 0.577 acre tract, crossing the said 6.018 acre tract, and along the easterly boundary of a 10-foot wide public utility easement recorded in Document No. 2021108629 of the Official Public Records of Travis County, the following seven (7) courses and distances:

1. North 08°45'37" East, 97.78 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
2. North 09°37'11" East, 180.64 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
3. North 03°33'06" East, 31.33 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
4. North 05°30'59" East, 169.65 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
5. North 05°31'51" East, 68.33 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
6. North 80°24'18" West, 15.04 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
7. North 80°21'22" West, 10.03 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner on the northerly boundary of said 6.018 acre tract;

THENCE, departing northerly boundary of said 6.018 acre tract, and crossing said 104.825 acre tract, the following six (6) courses and distances:

1. North 05°31'51" East, 42.92 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for curvature;
2. in a northerly direction along a tangent curve to the left, having a radius of 545.00 feet, a chord of North 01°04'10" West, 125.29 feet, a central angle of 13°12'02", and an arc length of 125.57 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set at a point of tangency;
3. North 07°40'11" West, 140.56 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for curvature;
4. in a northerly direction along a tangent curve to the right, having a radius of 655.00 feet, a chord of North 02°19'24" East, 227.33 feet, a central angle of 19°59'11", and an arc length of 228.48 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set at a point of tangency;
5. North 12°19'00" East, 506.89 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
6. South 77°41'00" East, 10.00 feet to a 1/2-inch iron rod with plastic cap stamped "KHA" set marking the terminus of the easterly right-of-way line of Gregg Manor Road, recorded in Las Entradas South plat in Document No. 201200083 of the Official Public Records of Travis County;

THENCE, South 77°41'00" East, 40.00 feet along the southerly terminus of said Gregg Manor Road to a 1/2-inch iron rod with a cap found for corner on the westerly boundary line of that certain 0.99 acre tract described in instrument to City of Manor, Texas, in Document No. 2005078669 of the Official Public Records of Travis County;

THENCE, South 12°19'00" West; along the westerly boundary line of said 0.99 acre tract; at 229.65 feet passing the corner of said 0.99 acre tract, and the northwest corner of a right-of-way dedication to the City of Manor, in Manor Apartments, plat of which recorded in Document No. 202100145 of the Official Public Records of Travis County; continuing for a total distance of 350.97 feet to a 1/2-inch iron rod with a cap found, marking the southwest corner of said right-of-way dedication;

THENCE, South 73°43'29" East, 50.12 feet along the southerly boundary of said right-of-way dedication to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner on the westerly boundary line of Lot 1, of said Manor Apartments;

THENCE, along the westerly boundary line said Lot 1, the following three (3) courses and distances:

1. South 12°19'00" West, 152.47 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
2. in a southerly direction along a tangent curve to the left, having a radius of 555.00 feet, a chord of South 02°19'24" West, 192.62 feet, a central angle of 19°59'11", and an arc length of 193.60 feet to a 1/2-inch iron rod plastic cap stamped "KHA" set at a point of tangency;
3. South 07°40'11" East, at 3.78 feet passing a 1/2-inch iron rod with a plastic cap stamped "KHA" set marking the northwest corner of a 13.224 acre tract described in instrument to Manor MF LLC, in Document No. 2022156154 of the Official Public Records of Travis County; continuing for a total distance of 140.56 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set at a point of curvature;

THENCE, continuing along the westerly boundary line said 13.224 acre tract the following five (5) courses and distances:

1. in a southerly direction along a tangent curve to the right, having a radius of 645.00 feet, a chord of South 01°04'10" East, 148.28 feet, a central angle of 13°12'02", and an arc length of 148.60 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set at a point of tangency;
2. South 05°31'51" West, 113.02 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
3. South 05°30'59" West, 167.77 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
4. South 03°33'06" West, 34.02 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
5. South 09°37'11" West, 182.73 feet to a 1/2-inch iron rod with cap stamped "KHA" set for corner on the northerly boundary line of a 0.26 acre tract conveyed to Julie Li in Document No. 2019104747 of the Official Public Records of Travis County, and described in Volume 7614, Page 327 of the Deed Records of Travis County; from which a 1/2-inch iron rod with a plastic cap stamped "ABRAM DASHNER RPLS 5901" bears North 69°37'01" East, 0.83 feet;

THENCE, along the boundary of said 0.26 acre tract, the following two (2) courses and distances:

1. North 85°52'15" West, 14.50 feet to a 1/2-inch iron rod with cap stamped "CAPITAL SURVEYING CO. INC." found marking the northwest corner of said 0.26 acre tract;
2. South 08°58'09" West, 107.32 feet to the **POINT OF BEGINNING**, and containing 2.903 acres of land in the City of Manor, Travis County, Texas. The basis of this description is the Texas State Plane Coordinate System, Central Zone (FIPS 4203) (NAD'83). All distances are on the Surface and shown in U.S. Survey Feet. The Combined Surface to Grid Scale Factor is 0.99992337881. This description was generated on 4/5/2023 at 4:33 PM, based on geometry in the drawing file K:\ISNA_Survey\SHADOWVIEW DEVELOPMENT\069241704-LAS ENTRADAS\dwg\KHA PLAT.REV. LAS ENTRADAS GREGG MANOR.dwg, in the office of Kimley-Horn and Associates in San Antonio, Texas.

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
10101 REUNION PLACE, SUITE 400
SAN ANTONIO, TEXAS 78216
PH: (210) 541-9166 FAX: (210) 541-8699
CONTACT: JOHN G. MOSIER, R.P.L.S.
TBPLS FIRM REGISTRATION NO. 10193973

OWNER/DEVELOPER:
LAS ENTRADAS DEVELOPMENT CORPORATION
9900 U.S. HIGHWAY 290 E,
MANOR, TEXAS, 78653
PH: (512) 327-7415
CONTACT: DANNY BURNETT

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200
AUSTIN, TEXAS 78759
PH: (512) 418-1771 FAX: (512) 418-1791
CONTACT: JOHN A. PICKENS, P.E.
TBPE FIRM REGISTRATION NO. F-928

GENERAL NOTES:

1. PUBLIC SIDEWALKS BUILT TO CITY OF MANOR STANDARDS, ARE REQUIRED ALONG ALL STREETS WITHIN THIS SUBDIVISION, THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE ADJOINING LOT BEING OCCUPIED, FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE COVERING BODY OR UTILITY COMPANY.
2. DRIVEWAY AND DRAINAGE CONSTRUCTION STANDARDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE CITY OF MANOR STANDARDS UNLESS OTHERWISE SPECIFIED AND APPROVE BY THE CITY OF MANOR.
3. THE OWNER OF THE SUBDIVISION, AND HIS OR HER SUCCESSORS AND ASSIGNS, ASSUMES RESPONSIBILITY FOR PLANS FOR CONSTRUCTION OF SUBDIVISION IMPROVEMENTS WHICH COMPLY WITH APPLICABLE CODES AND REQUIREMENTS OF THE CITY OF MANOR.
4. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTION IS MADE TO THE CITY OF MANOR WATER AND WASTEWATER SYSTEM.
5. ALL STREETS, DRAINAGE IMPROVEMENTS, SIDEWALKS, WATER AND WASTEWATER LINES, AND EROSION CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF MANOR STANDARDS.
6. EROSION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON INDIVIDUAL LOTS, INCLUDING DETACHED SINGLE FAMILY IN ACCORDANCE WITH SECTION 1.4.0 OF THE ENVIRONMENTAL CRITERIA MANUAL.
7. ALL STREETS IN THE SUBDIVISION SHALL BE CONSTRUCTED TO CITY OF MANOR URBAN STREET STANDARDS. ALL STREETS WILL BE CONSTRUCTED WITH CURB AND GUTTER.
8. PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF MANOR.
9. PERFORMANCE AND MAINTENANCE GUARANTEES AS REQUIRED BY CITY.

SURVEYOR'S NOTES:

1. ALL PROPERTY CORNERS WILL BE MONUMENTED WITH A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "KHA", AFTER CONSTRUCTION, AND PRIOR TO LOT SALES, UNLESS NOTED OTHERWISE.
2. THE BEARING SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (FIPS 4203) (NAD'83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS). ALL DISTANCES SHOWN HEREON ARE ON THE SURFACE. THE COMBINED SURFACE TO GRID SCALE FACTOR FOR THE PROJECT IS 0.99992337881. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.

SUBDIVISION PLAT ESTABLISHING

LAS ENTRADAS-GREGG MANOR ROAD

BEING 2.903 ACRES OF LAND, LOCATED IN THE JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546, TRAVIS COUNTY, TEXAS; AND CONTAINING A PORTION OF THAT CERTAIN 105.170 ACRE TRACT CONVEYED TO LAS ENTRADAS DEVELOPMENT CORPORATION IN DOCUMENT NO. 2007002485, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS; CONTAINING A PORTION OF THAT CERTAIN 6.018 ACRE TRACT CONVEYED TO LIONS CLUB OF MANOR INC, IN DOCUMENT NO. 2012084132, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

<div>Kimley»Horn</div>					
10101 Reunion Place, Suite 400 San Antonio, Texas 78216 FIRM # 10193973 Tel. No. (210) 541-9166 www.kimley-horn.com					
Scale N/A	Drawn by DJG	Checked by JGM	Date 7/11/2023	Project No. 069241704	Sheet No. 2 OF 2



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Friday, June 23, 2023

Jason Reece
Kimley-Horn
10814 Jollyville Road, Building 4, Suite 300
Austin 78759
james.schornick@kimley-horn.com

Permit Number 2023-P-1542-FP
Job Address: , , LA.

Dear Jason Reece,

The first submittal of the Gregg Manor Road Extension Final Plat (*Final Plat*) submitted by Kimley-Horn and received on July 12, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. Provide a revision block.
- ii. Provide the following note under general notes "Performance and maintenance guarantees as required by the City".
- iii. True bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. **Using said system, X and Y coordinates shall be identified for four (4) property corners.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

A handwritten signature in black ink, appearing to read "Tyler Shows", is written over a horizontal line.

6/23/2023 10:30:37 AM
Gregg Manor Road Extension Final Plat
2023-P-1542-FP
Page 2

Item 13.

Tyler Shows
Staff Engineer
GBA



July 12, 2023

Tyler Shows
Staff Engineer
GBA
1500 County Road 269
Leander, TX 78646-2029

RE: *Permit Number 2023-P-1542-FP*

Job Address: Gregg Manor Rd., City of Manor, TX. 78653

The purpose of this letter is to provide satisfactory answers to the comments/questions issued in a comment letter dated **June 23, 2023**. The answers are listed below in bold and are preceded by the comments/questions listed in the original letter.

ENGINEER REVIEW:

Comment 1: Provide a revision block.

Response 1: Revision block has been provided.

Comment 2: Provide the following note under general notes "Performance and maintenance guarantees as required by the City".

Response 2: The above-mentioned note has been added to Sheet 2 of the Final Plat under General Notes.

Comment 3: True bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using said system, X and Y coordinates shall be identified for four (4) property corners

Response 3: Four (4) property corners have been identified using said coordinate system



Please contact me at 757-685-7200 if additional information is required.

Thank You

KIMLEY-HORN AND ASSOCIATES, INC.

A handwritten signature in black ink that reads "John Pickens". The signature is written in a cursive, flowing style.

John Pickens, P.E.
Project Manager



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Monday, August 7, 2023

Jason Reece
Kimley-Horn
10814 Jollyville Road, Building 4, Suite 300
Austin 78759
james.schornick@kimley-horn.com

Permit Number 2023-P-1542-FP
Job Address: ,

Dear Jason Reece,

We have conducted a review of the final plat for the above-referenced project, submitted by Jason Reece and received by our office on July 12, 2023, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads 'Pauline M. Gray'.

Pauline Gray, P.E.
Lead AES
GBA



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: September 13, 2023
PREPARED BY: Scott Dunlop, Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Rezoning Application for two (2) lots on .297 acres, more or less, at 108 W Boyce & 104 W Boyce St., Manor, TX from Single Family (SF-1) to Downtown Business (DB).

Applicant: Jiwon Jung

Owner: Build Block

BACKGROUND/SUMMARY:

The property at 108 W. Boyce was previously requested to be rezoned to Downtown Business by the same applicant. At the February 8th P&Z meeting, discussion was held and the rezoning request for 108 W. Boyce was recommended for denial due to the lot's small size and the remaining single family home at 104 W. Boyce between 108 W. Boyce and 109 N. Lexington. The City Council also denied the request for 108 W. Boyce for the same reasons. The applicant has purchased the lot at 104 W. Boyce to alleviate the prior concerns as the property is now larger and there won't be a single family residence between two commercial/mixed-use developments.

The applicant has provided a conceptual layout of 3-story mixed-use building for the property. Downtown Business zoning is consistent with the area's designation in the Comprehensive Plan's Future Land Use Map as Downtown Mixed-Use. A combination of on-site and off-site (street) parking is envisioned.

Action on this item was postponed at the 8/9/23 P&Z so the applicant can provide additional conceptual renderings. Those have been added to the backup.

LEGAL REVIEW: NO
FISCAL IMPACT: NO
PRESENTATION: NO
ATTACHMENTS: YES

- Letter of Intent
- Rezoning map
- Aerial Image
- Updated Conceptual Site Plan
- FLUM
- Downtown Mixed-Use Dashboard
- Public Notices and Labels

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve a Rezoning Application for two (2) lots on .297 acres, more or less, at 108 W Boyce & 104 W Boyce St., Manor, TX from Single Family (SF-1) to Downtown Business (DB).

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**

May. 15, 2023

Development Services
City of Manor
105 E Eggleston Street
Manor, TX 78653

Letter of Intent for Rezoning

Project Address: 104 Boyce St, Manor, TX 78653

Property ID: 238661

Legal Description: W 1/2 OF LOT 16, 17 & E 1/2 OF LOT 18 BLK 29 MANOR TOWN OF

The property owner seeks to rezone the 0.165-acre lot located at 108 W Boyce St, Manor, TX 78653 from SF-1(Single Family Suburban) to DB (Downtown Business).

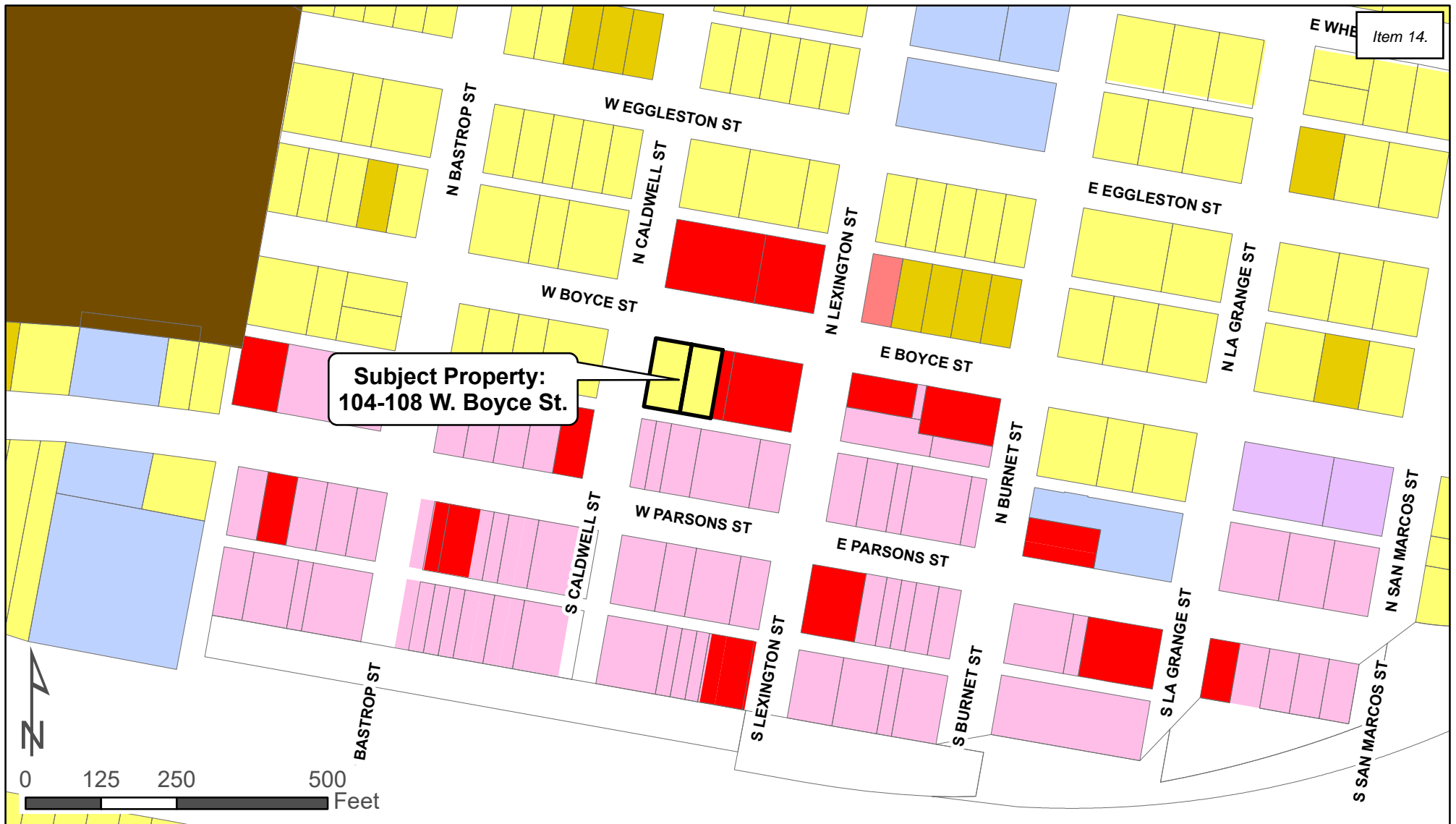
Manor city is planning to expand its central commercial area to revitalize the city and improve the quality of life of adjacent residential areas. To keep up with that idea, dense development of urban areas, especially divided into Downtown Mixed-Use uses including the site, will be required. However, the subject site, which is in the Downtown Mixed-Use area, is currently designated as an SF-1(Single Family Suburban) zone, and only low-density development is possible, which is not in line with Manor city's urban planning. In this situation, I hope that we can create a dense commercial and residential community to meet the idea of Manor city planning, through this zoning change.

As a large multi-family and mixed-use development project such as Manor Crossing Project is planned, the owner seeks an opportunity to respond to the population growth. Rezoning this tract will allow providing opportunities for cultural diversity and commercial growth. The property currently sits along West Boyce Street as a cross lot being DB-zoned parcel. I believe that rezoning the subject tract as proposed will not alter or impair the adjacent uses/properties.

I appreciate your consideration of the proposed rezoning application for approval and will be available to answer questions you might have regarding this matter. Please do not hesitate to email with your questions and comments.

Sincerely,

Jiwon Jung
CEO of Build Block Inc.
2700 E 2nd St
Los Angeles, CA 90033



Current:
Single Family Suburban (SF-1)

Proposed:
Downtown Business (DB)

Zone

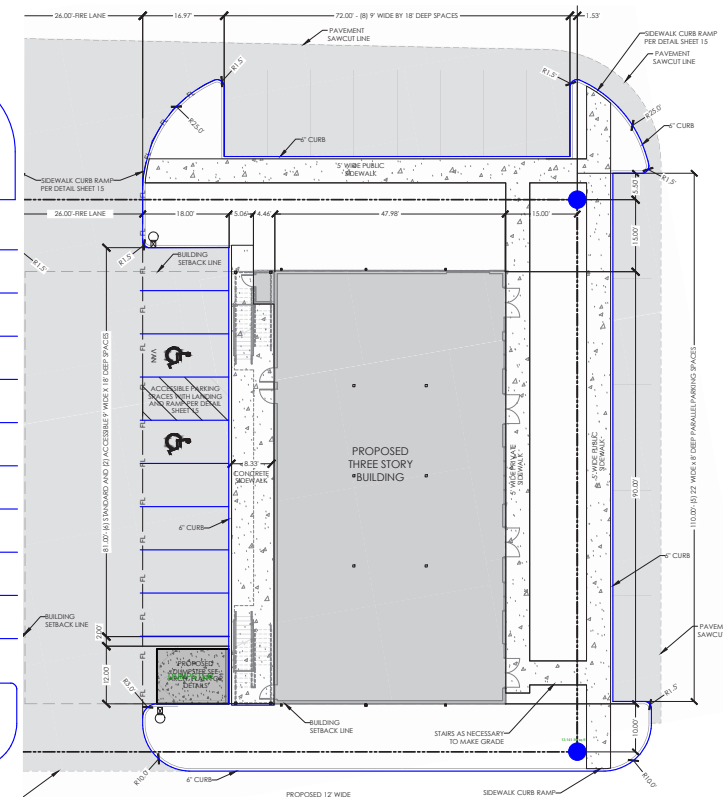
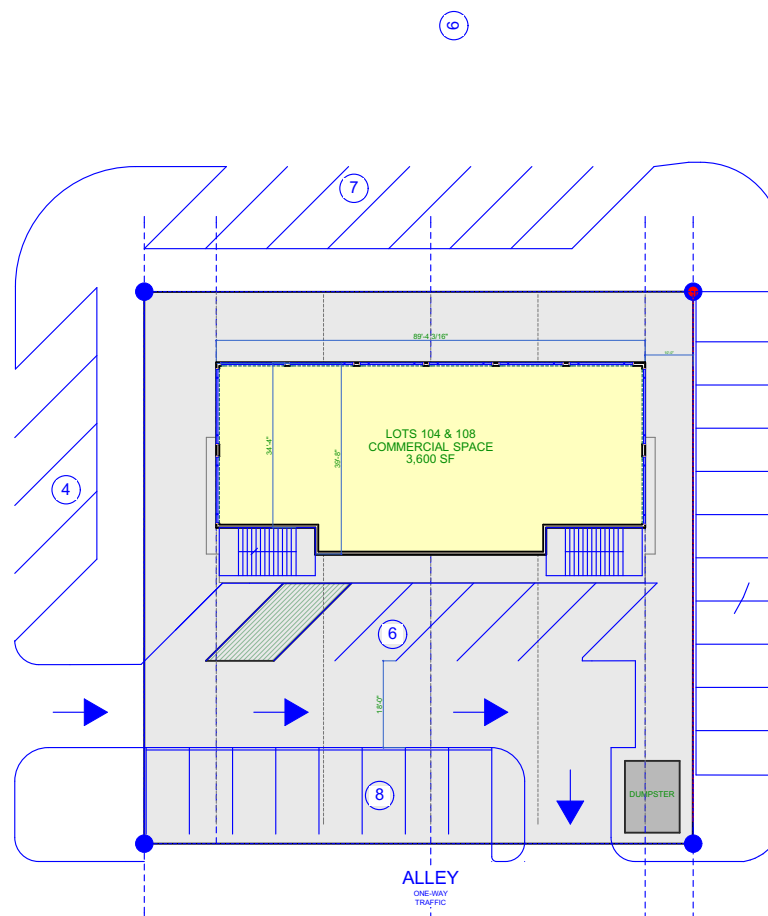
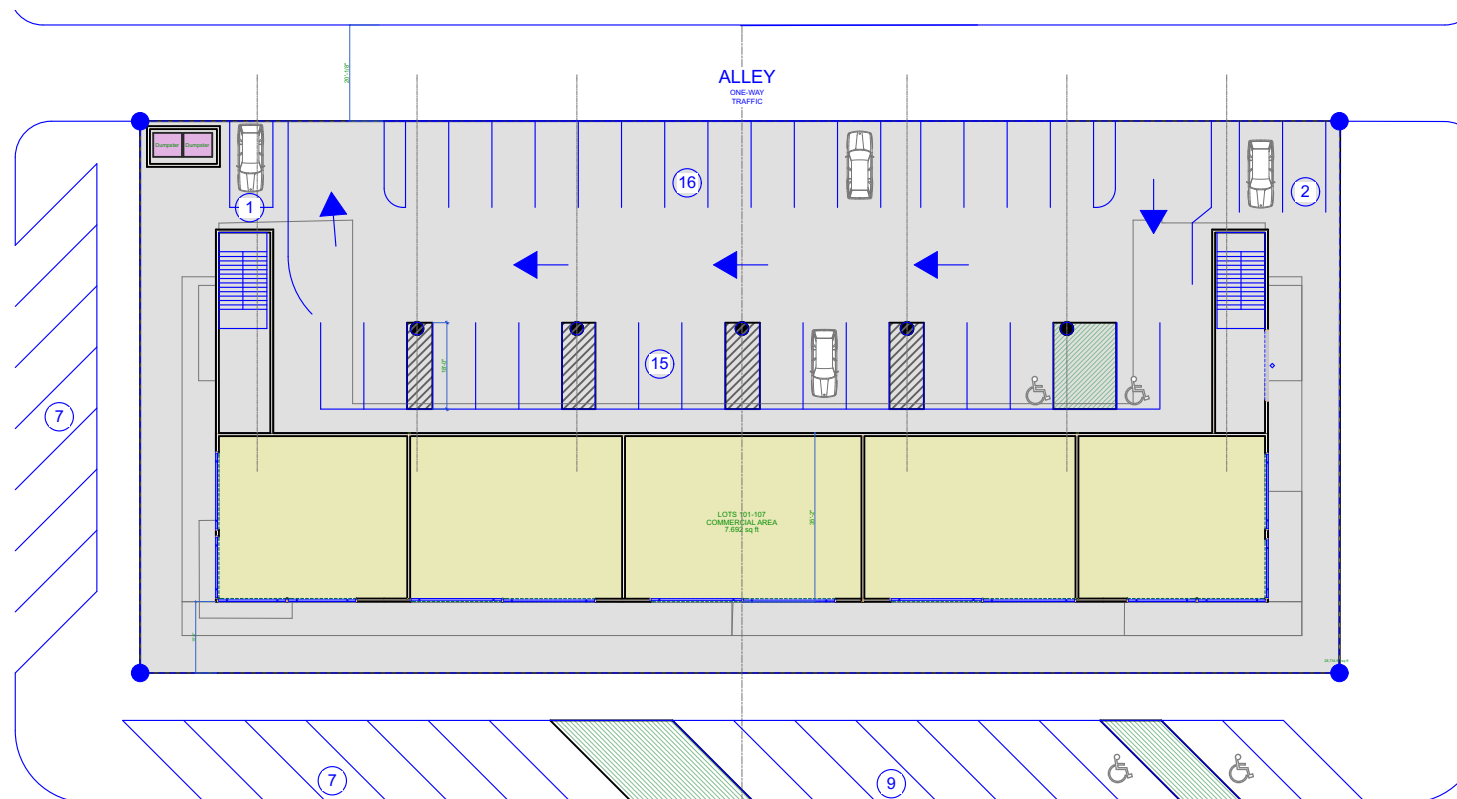
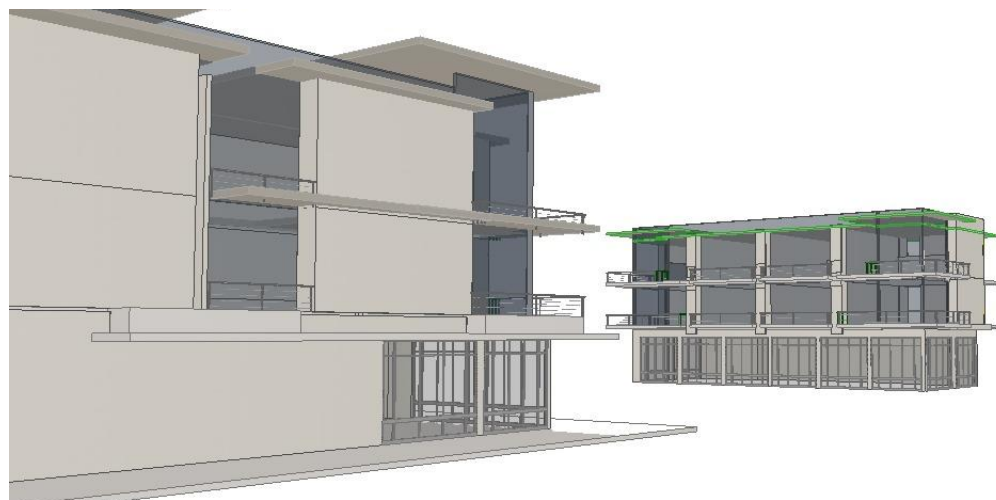
A - Agricultural	GO - General Office
SF-1 - Single Family Suburban	C-1 - Light Commercial
SF-2 - Single Family Standard	C-2 - Medium Commercial
TF - Two Family	C-3 - Heavy Commercial
TH - Townhome	NB - Neighborhood Business
MF-1 - Multi-Family 15	DB - Downtown Business
MF-2 - Multi-Family 25	IN-1 - Light Industrial
MH-1 - Manufactured Home	IN-2 - Heavy Industrial
I-1 - Institutional Small	PUD - Planned Unit Development
I-2 - Institutional Large	ETJ

Legend

- 104 W Boyce
- 108 W Boyce St
- Bright Beginnings Learning Center
- Feature 1
- Feature 2
- Olga book
- Polygon Measure

Item 14.





1 Master Plan Lots 101-107 Lots 104 & 108
SCALE: 1" = 40'

MANOR Mixed Use Development

Lots 101-107
Lots 104 & 108
Boyce Street
Manor, TX 78653

DATE: 8/23/2023

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**FEASIBILITY
ANALYSIS - 1 LOT**

Subject Property: Lots 101-107 W. Boyce Street
Property ID: 238627, 238628
Legal Description:
 Lots 1-3 Block 43 Town of Manor (.396 acres)
 Lots 4-5 Block 43 Town of Manor (.264 acres)
Lot size- .66 acres 28,749.6 sf
Proposed Mixed Use
Zoning- DB
Setbacks:
 Front - 15'-0"
 Side- 0-10' to Non-Residential
 20'-0" to Residential)
 Rear- 20'-0" to Residential
 0-10' to Non Residential
 Street Side - 15'-0"

Max Bldg Ht- 60'-0"
Max Bldg Coverage- 95%
Minimum Dwelling Size- 1000 sf
 500 sf Historic
Max # of Dwelling Units- 25 per Acre
Allowable # of Dwelling units .66 x 25= 16

Dwelling Units Provided:
Level 2- 7 two bedroom units
Level 3- 6 two bedroom units
TOTAL- 13 two bedroom units

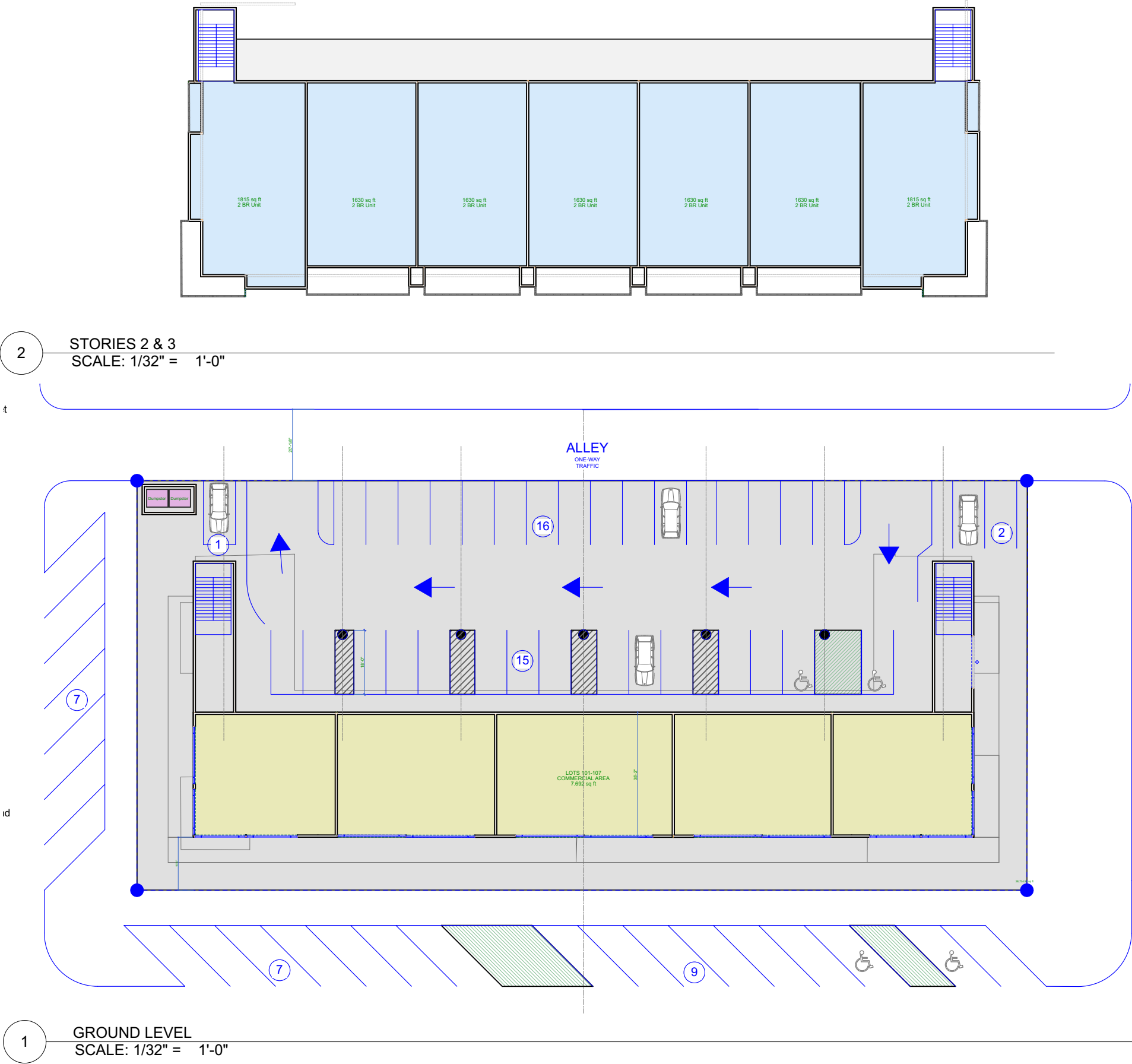
Commercial Space Provided: 7254 sf

Parking Analysis
Residential: 14 Units
1.5 Spaces for each 1 BR dwelling unit
2 Spaces required for each 2=BR dwelling unit and
1/2 space required for each unit above 2
Bedrooms
13 units x 2= 26 Spaces Required

Commercial Parking 1:250
7,692 sf @ 1:250- 31 Spaces Required

TOTAL PARKING SPACES REQUIRED= 57

34 On-Site Parking Spaces Provided
23 Off-Site Street Parking Spaces Provided
TOTAL SPACES PROVIDED= 57



MANOR Mixed Use Development

Lots 101-107
Lots 104 & 108
BoyceStreet
Manor, TX 78653

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**SCHEMATIC
DESIGN -1 LOT
PODIUM**

Subject Property: Lots 101-107 W. Boyce Street
Property ID: 238627, 238628
Legal Description:

Lots 1-3 Block 43 Town of Manor (.396 acres)

Lots 4-5 Block 43 Town of Manor (.264 acres)

Lot size- .66 acres 28,749.6 sf

Proposed Mixed Use

Zoning- DB

Setbacks:

Front - 15'-0"

Side- 0-10' to Non-Residential
20'-0" to Residential)

Rear- 20'-0" to Residential

0-10' to Non Residential

Street Side - 15'-0"

Max Bldg Ht- 60'-0"

Max Bldg Coverage- 95%

Minimum Dwelling Size- 1000 sf

500 sf Historic

Max # of Dwelling Units- 25 per Acre

Allowable # of Dwelling units .66 x 25= 16

Dwelling Units Provided:

Level 2- 5 one bedroom units- 2 two bedroom units

Level 3- 5 one bedroom units- 2 two bedroom units

TOTAL- 10 one bedroom units

4 two bedroom units

Commercial Space Provided: 7254 sf

Parking Analysis

Residential: 14 Units

1.5 Spaces for each 1 BR dwelling unit

2 Spaces required for each 2=BR dwelling unit and
space required for each unit above 2 Bedrooms

10 units x 1.5 (one bedroom)= 15 Spaces Required

4 units x 2 (two bedroom)= 8 Spaces Required

23 Residential Spaces Required

Commercial Parking 1:250

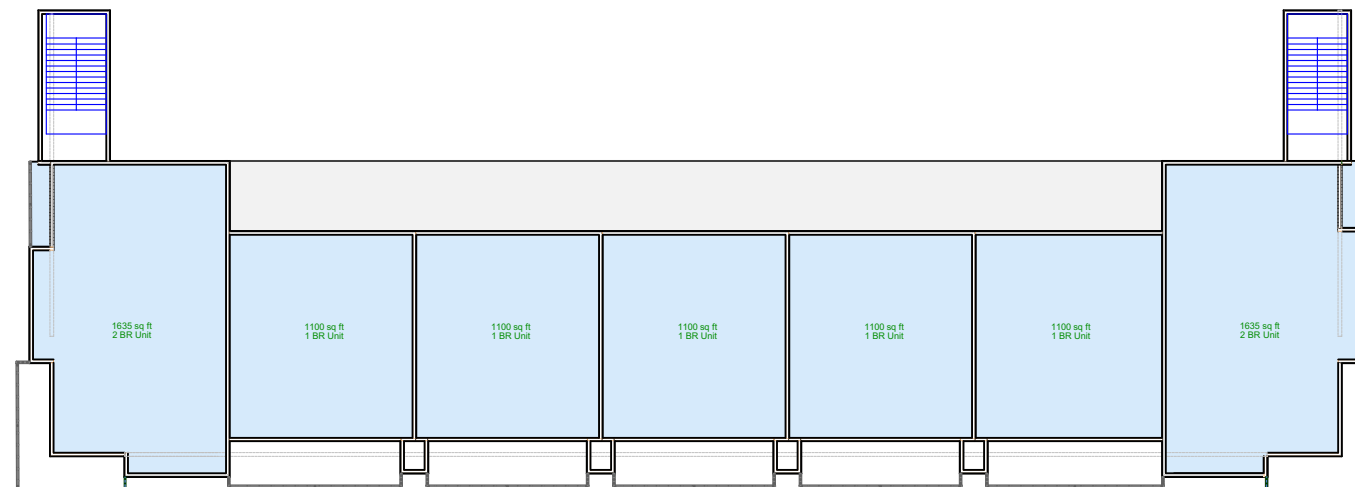
7,692 sf @ 1:250- 31 Spaces Required

TOTAL PARKING SPACES REQUIRED= 54

37 On-Site Parking Spaces Provided

23 Off-Site Street Parking Spaces Provided

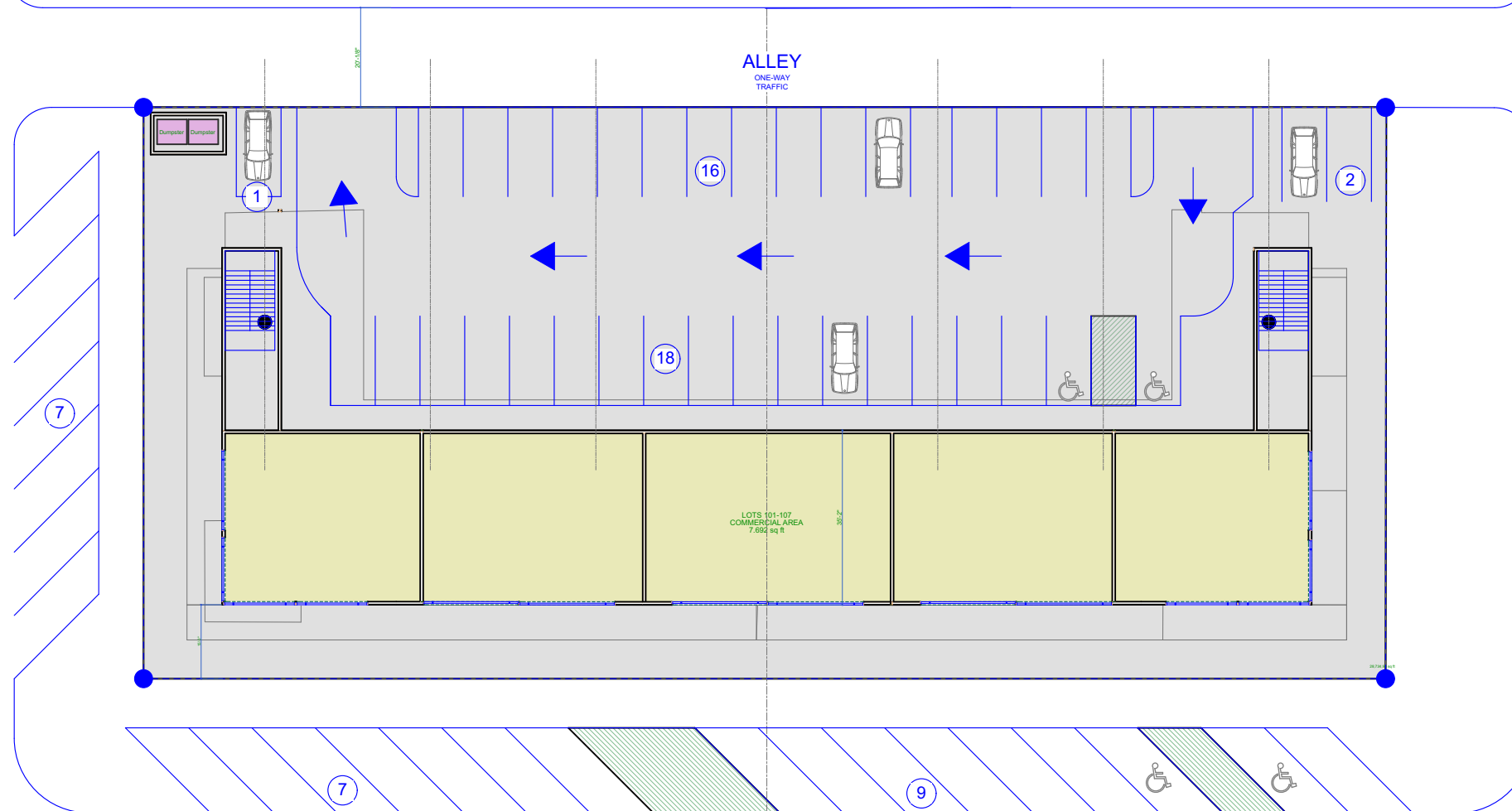
TOTAL SPACES PROVIDED= 60



2

STORIES 2 & 3

SCALE: 1/32" = 1'-0"



2

1

GROUND LEVEL

SCALE: 1/32" = 1'-0"



1212 Chicon, Unit 101
Austin, Texas 78702

MANOR Mixed Use Development

Lots 101-107
Lots 104 & 108
Boyce Street
Manor, TX 78653

DATE: 8/23/2023

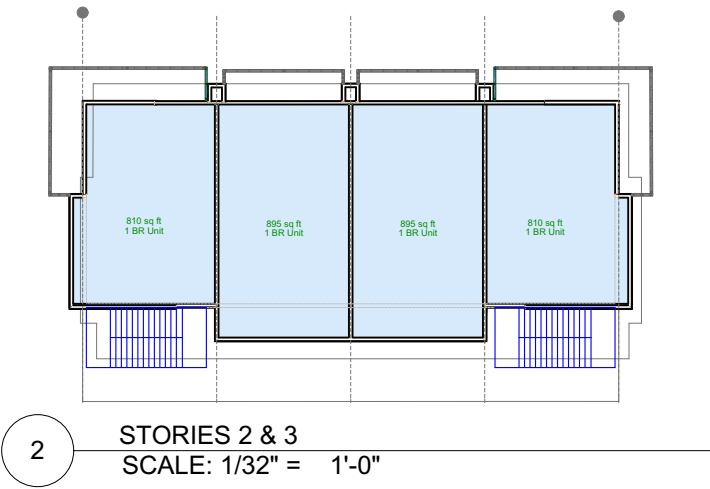
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**SCHEMATIC
DESIGN- 1 LOT-
NO PODIUM**

02.2

275



Subject Property: Lots 104 & 108 W. Boyce Street
Legal Description:
 Lot 104 Block 29 W 1/2 of Lot 16,17 E 1/2 of Lot 18 Town of Manor (.132 acres) 5,749.92 sf
 Lot 108 Block 29 W 1/2 of Lot 18-20 Town of Manor (.165 acres) 7,187.4

Lot size- .297 acres 12,937.32 sf

Proposed Mixed Use

Zoning- DB

Setbacks:

Front - 15'-0"
 Side- 0-10' to Non-Residential
 20'-0" to Residential
 Rear- 20'-0" to Residential
 0-10' to Non Residential
 Street Side - 15'-0"

Max Bldg Ht- 60'-0"
 Max Bldg Coverage- 95%
 Minimum Dwelling Size- 1000 sf
 500 sf Historic
 Max # of Dwelling Units- 25 per Acre
 Allowable # of Dwelling units .297 x 25= 7.4

Dwelling Units Provided:

Level 2- (4) one bedroom units

Level 3- (4) one bedroom units

TOTAL- (8) one bedroom units

Commercial Space Provided: 3600 sf (39.8' deep)

Parking Analysis

Residential: 8 Units

1.5 Spaces for each 1 BR dwelling unit

2 Spaces required for each dwelling unit and 1/2

space required for each unit above 2 Bedrooms

(8) 1 BR units x 1.5 = 12 Spaces Required

Commercial Parking 1:250

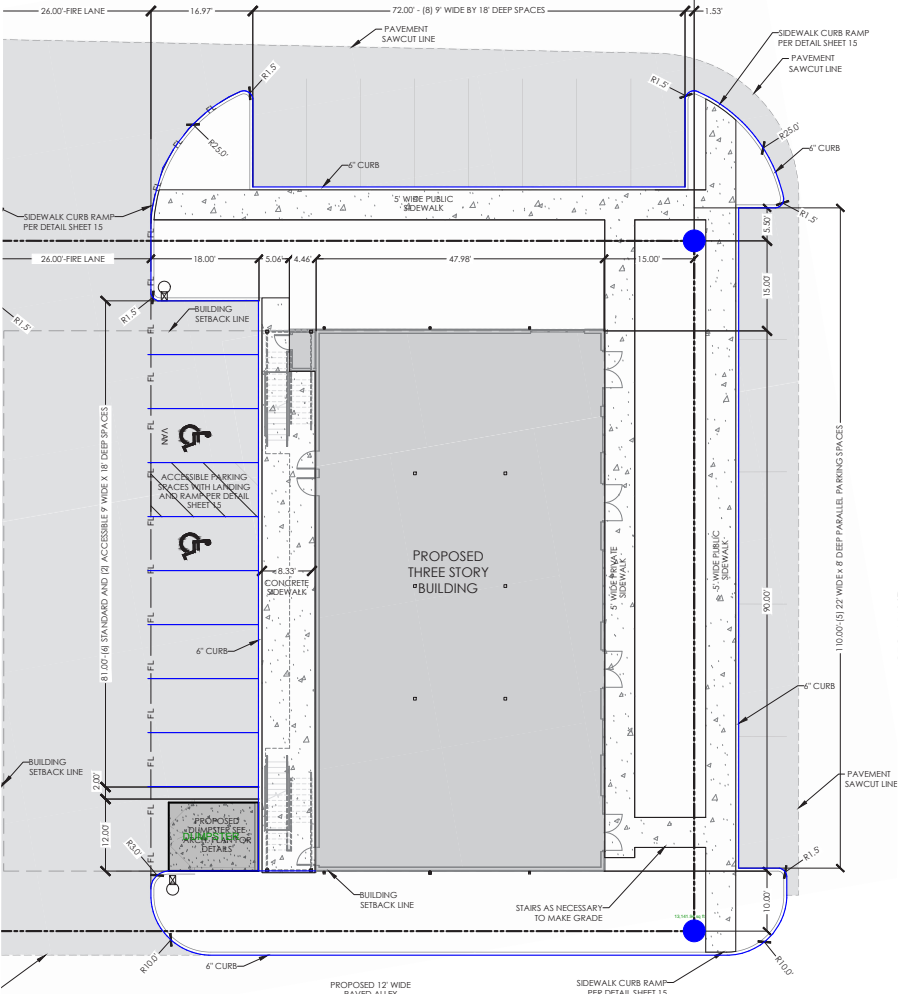
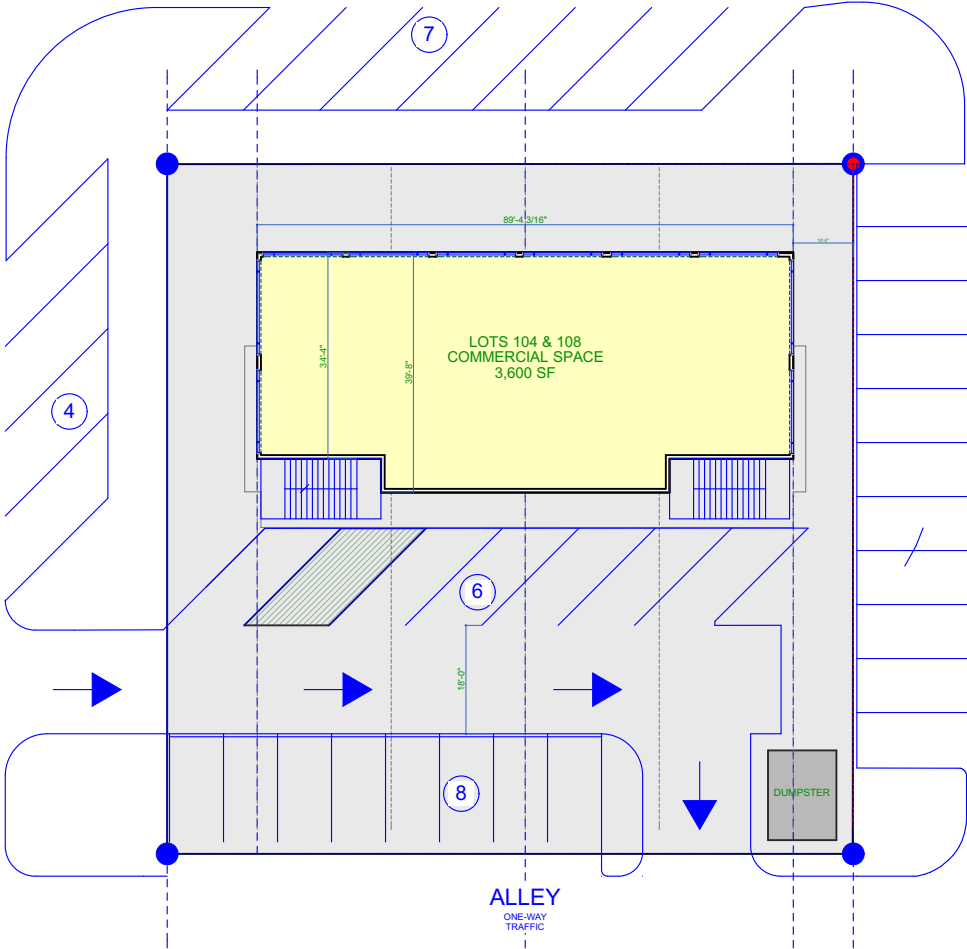
3,600 sf @ 1:250- 14 Spaces Required

TOTAL PARKING SPACES REQUIRED= 26

14 On-Site Parking Spaces Provided

19 Off-Site Street Parking Spaces Provided

TOTAL SPACES PROVIDED= 33



MANOR Mixed Use Development

Lots 101-107
 Lots 104 & 108
 BoyceStreet
 Manor, TX 78653

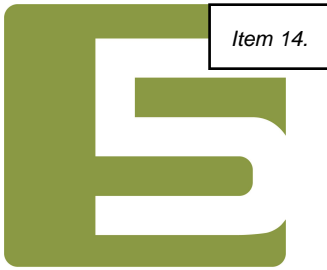
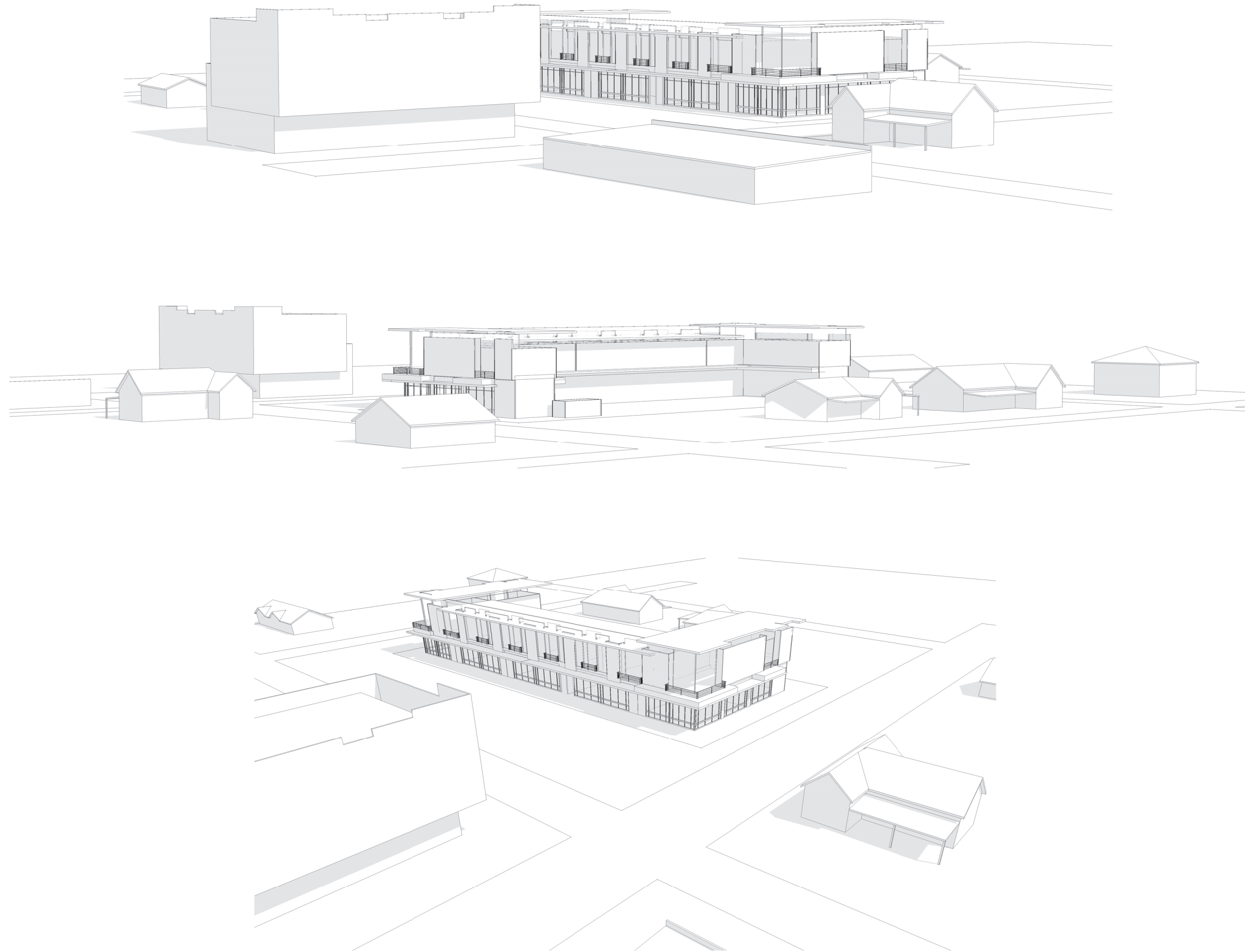
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SCHEMATIC
 DESIGN LOTS 104
 108

03.1



ELEMENT 5
ARCHITECTURE

1212 Chicon, Unit 101
Austin, Texas 78702

MANOR Mixed Use Development

Lots 101-107
Lots 104 & 108
Boyce Street
Manor, TX 78653

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**AERIAL SITE
CONTEXT- 1 LOT**

04.1

277



ELEMENT 5
ARCHITECTURE

1212 Chicon, Unit 101
Austin, Texas 78702

MANOR Mixed Use Development

Lots 101-107
Lots 104 & 108
Boyce Street
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DATE: 8/23/2023

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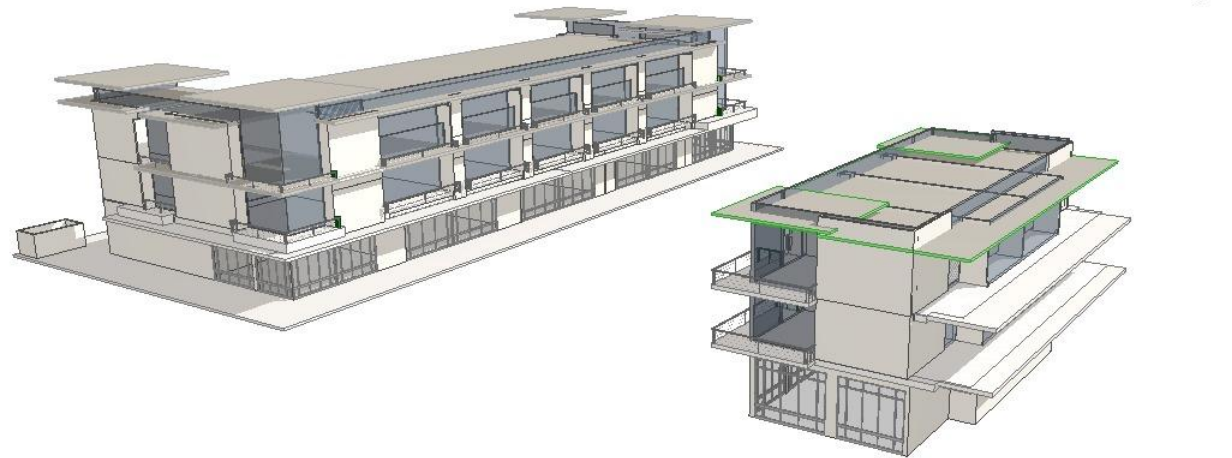
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**SCHEMATIC
DESIGN 1 LOT-
PERSPECTIVES**

05.1



1 Perspective
SCALE: 1:106.67



6 Perspective
SCALE: 1:106.67



2 Perspective
SCALE: 1:111.63



5 Perspective
SCALE: 1:106.67



3 Perspective
SCALE: 1:73.85



4 Perspective
SCALE: 1" = 10'



1 STREET RENDERING

MANOR
Mixed Use
Development

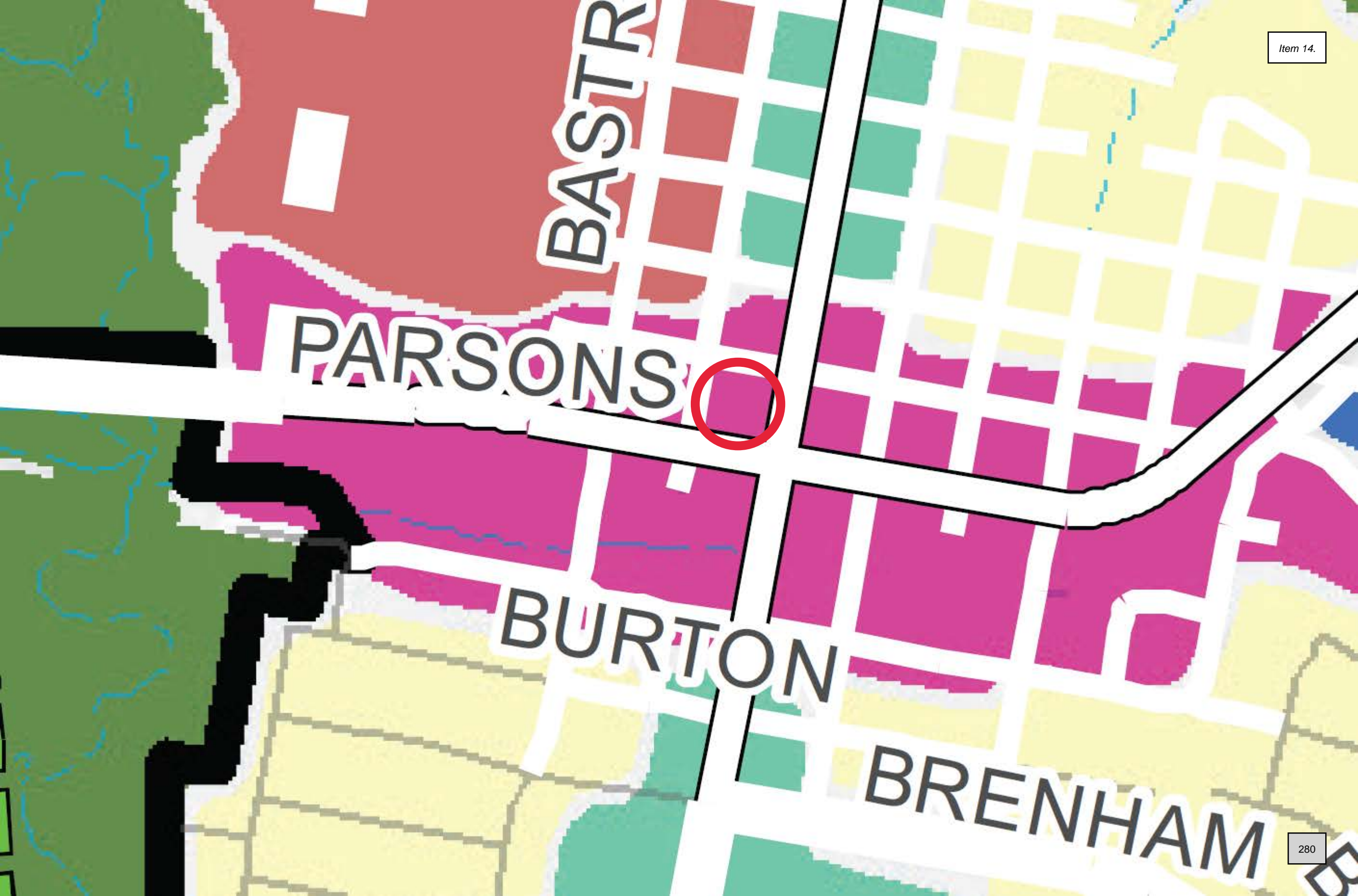
Lots 101-107
Lots 104 & 108
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Street Rendering



DOWNTOWN MIXED-USE

Downtown Mixed-Use is intended for the residential, commercial, business, and office uses that line the Old Highway 20 corridor and adjacent streets, including the traditional downtown shopping district of Manor.

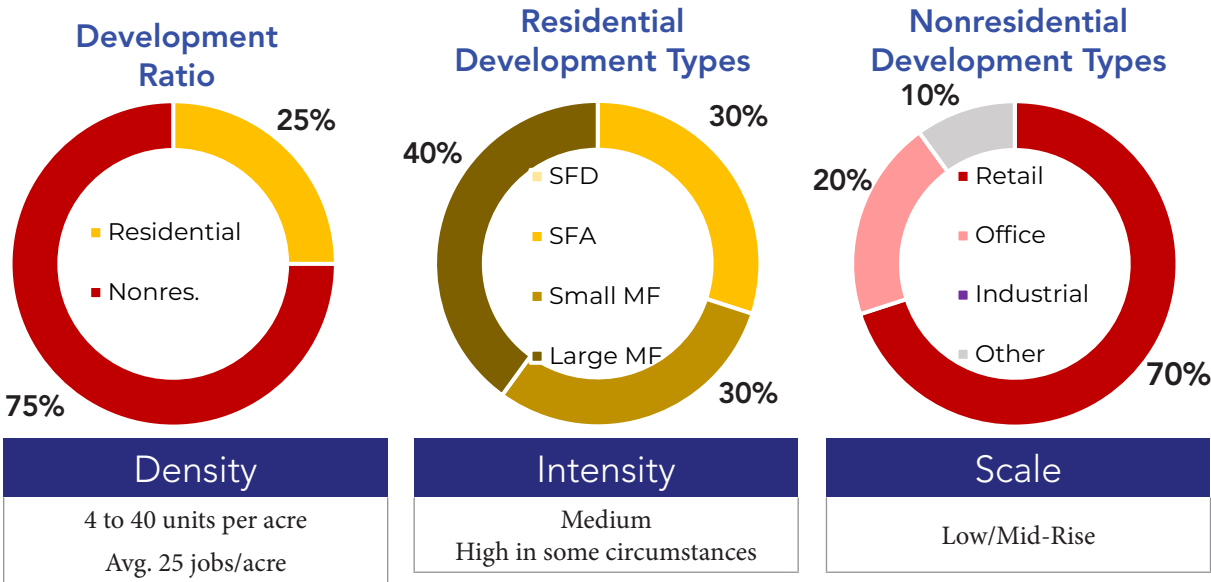
Not only is this area currently a mixed-use environment currently, but it is envisioned to see a strong reinvention via more density and a higher mix of uses in the future. This area should be designed to accommodate transit, should rail services extend to Manor from Austin. However, even if the rail does not come, a downtown that is comprised of high-density mixed-use development will still bring many opportunities and benefits to the community.

Densities range between 4 and 40 units per acre, although individual sites may achieve higher densities if they are coordinated within the rest of the area, provide superior access to services and amenities, and appropriate compatibility to adjacent uses is provided.

Here, infill development especially presents opportunities for small businesses, unique and dense housing options and potentially even small scale/artisan manufacturing.

The pedestrian environment and experience should be top priority in Downtown and feature public gathering places, active streets, engaging storefronts, and sidewalk cafes. This is the best place in Manor to double down on and invest in creating a sense of place and identity for the community.

Figure 3.10. Downtown Mixed-Use Land Use Mix Dashboard



DEVELOPMENT TYPE	APPROPRIATENESS	CONDITIONS
Single-Family Detached (SFD)	●○○○○	Not considered compatible since the intent is to provide retail/services, activity centers and diversified housing to support surrounding neighborhoods and drive community identity/gathering
SFD + ADU	●○○○○	
SFA, Duplex	●○○○○	
SFA, Townhomes and De-tached Missing Middle	●●●○○	This can be compatible provided that the overall Downtown Mixed Use area also contains mixed-use urban flex buildings or shopping centers with which this housing product integrates in a manner to promote walkability and transitions; these development types should be located on secondary roads rather than primary thoroughfares within Downtown, as those areas are best reserved for ground-floor retail and services
Apartment House (3-4 units)	●●●○○	
Small Multifamily (8-12 units)	●●●○○	
Large Multifamily (12+ units)	●●●○○	
Mixed-Use Urban, Neighbor-hood Scale	●●●●●	This is the ideal form of development within the Downtown Mixed Use category; provides for activity centers, retail, services and diverse housing options at a scale compatible with and supportive of surrounding neighborhoods to promote walkability; design should emphasize the pedestrian experience rather than people driving automobiles
Mixed-Use Urban, Communi-ty Scale	●●●○○	Not generally considered compatible due to incompatible scale with neighborhoods, but can be de-pending on adjacencies to green space or more intensive uses
Shopping Center, Neighbor-hood Scale	●●●●○	While less preferred than a mixed-use urban flex building, the use provides for activity centers, retail and services at a scale compatible with and supportive of surrounding neighborhoods to promote walk-ability; becomes more compatible if a horizontal approach to mixed-use is deployed, such as inclusion of small apartments nearby or within the same site, or to match the scale of adjacent historic buildings
Shopping Center, Community Scale	●●○○○	Not generally considered compatible due to incompatible scale with Downtown, but can be depending on adjacencies to green space or more intensive uses; may function better on the western and eastern edges of the Downtown Mixed Use area
Light Industrial Flex Space	●●○○○	Not generally considered compatible due to incompatible scale with Downtown, but can be if particu-larly small-scale and included alongside more appropriate development types, or with integration of a storefront experience. Examples of appropriate uses might include maker spaces, coffee roasting, micro-breweries, and similar businesses
Manufacturing	●○○○○	Not considered compatible
Civic	●●●●●	Considered supportive to the function and livability of this future land use category, government build-ings, schools and community facilities can serve as activity hubs.
Parks and Open Space	●●●●●	Generally considered appropriate or compatible within all Land Use Categories.