



Felix Paiz, Chair, Place 4  
Prince Chavis, Vice Chair, Place 2  
Julie Leonard, Place 1  
Cresandra Hardeman, Place 3  
Celestine Sermo, Place 5  
Cecil Meyer, Place 6  
Jim Terry, Place 7  
Gabriel Nila, Alternate No. 1  
Gabrielle Orion, Alternate No. 2

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## Planning & Zoning Commission Called Special Session

Tuesday, February 13, 2024 at 6:30 PM

Manor City Hall, Council Chambers, 105 E. Eggleston St.

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### AGENDA

This meeting will be live streamed on Manor's YouTube Channel  
You can access the meeting at <https://www.youtube.com/@cityofmanorsocial/streams>

#### CALL TO ORDER AND ANNOUNCE A QUORUM IS PRESENT

#### PUBLIC COMMENTS

*Non-Agenda Item Public Comments (white card): Comments will be taken from the audience on non-agenda related topics for a length of time, not to exceed three (3) minutes per person.*

*Agenda Item Public Comments (yellow card): Comments will be taken from the audience on non-agenda and agenda items combined for a length of time, not to exceed five (5) minutes total per person on all items, except for Public Hearings. Comments on Public Hearing items must be made when the item comes before the Commission and, not to exceed two (2) minutes per person. No Action or Discussion May be Taken by the Commission during Public Comments on Non-Agenda Items.*

*To address the Commission, please complete the white or yellow card and present it to the city staff designee prior to the meeting.*

#### PUBLIC HEARING

- 1. Conduct a public hearing on a Rezoning Application for Lots 8-10, Block 68, Town of Manor, locally known as 104 East Townes St., from Single Family Suburban (SF-1) to Townhome (TH).**  
*Applicant: Development and Consulting Bridgeway LLC.*  
*Owner: Carlos Moyeda*
- 2. Conduct a Public Hearing on a Short Form Final Plat for the Resubdivision of the Manor Addition Subdivision, three (3) lots on 30.86 acres, more or less, and being located near the intersection of US Hwy 290 E and Bois D'Arc Road, Manor, TX.**  
*Applicant: Kimley-Horn*  
*Owner: Laureate-Wealth Management*

## CONSENT AGENDA

*All of the following items on the Consent Agenda are considered to be self-explanatory by the Planning and Zoning Commission and will be enacted with one motion. There will be no separate discussion of these items unless requested by the Chairperson or a Commission Member; in which event, the item will be removed from the consent agenda and considered separately.*

- 3. Consideration, discussion, and possible action to approve the minutes of January 10, 2024, P&Z Commission Regular Meeting.**

## REGULAR AGENDA

- 4. Consideration, discussion, and possible action on a Rezoning Application for Lots 8-10, Block 68, Town of Manor, locally known as 104 East Townes St., from Single Family Suburban (SF-1) to Townhome (TH).**  
*Applicant: Development and Consulting Bridgeway LLC.*  
*Owner: Carlos Moyeda*
- 5. Consideration, discussion, and possible action on a Short Form Final Plat for the Resubdivision of the Manor Addition Subdivision, three (3) lots on 30.86 acres, more or less, and being located near the intersection of US Hwy 290 E and Bois D’Arc Road, Manor, TX.**  
*Applicant: Kimley-Horn*  
*Owner: Laureate-Wealth Management*
- 6. Consideration, discussion, and possible action on a Rezoning Application for the Dominium development, one (1) lot on 15.42 acres, more or less, and being located at 12200 Tower Rd, Manor, TX from (IN-1) Light Industrial to (MF-2) Multifamily – 25.**  
*Applicant: Dominium*  
*Owner: Kenneth Tumlinson*
- 7. Consideration, discussion, and possible action on a Coordinated Sign Plan for 15721 US Hwy 290.**  
*Applicant: The Glass House*  
*Owner: The Glass House*

## ADJOURNMENT

In addition to any executive session already listed above, the City Council reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Section §551.071 (Consultation with Attorney), §551.072 (Deliberations regarding Real Property), §551.073 (Deliberations regarding Gifts and Donations), §551.074 (Personnel Matters), §551.076 (Deliberations regarding Security Devices) and §551.087 (Deliberations regarding Economic Development Negotiations).



### **CONFLICT OF INTEREST**

*In accordance with Section 12.04 (Conflict of Interest) of the City Charter, "No elected or appointed officer or employee of the city shall participate in the deliberation or decision on any issue, subject or matter before the council or any board or commission, if the officer or employee has a personal financial or property interest, direct or indirect, in the issue, subject or matter that is different from that of the public at large. An interest arising from job duties, compensation or benefits payable by the city shall not constitute a personal financial interest."*

*Further, in accordance with Chapter 171, Texas Local Government Code (Chapter 171), no Planning & Zoning Commission member and no City officer may vote or participate in discussion of a matter involving a business entity or real property in which the Planning & Zoning Commission member or City officer has a substantial interest (as defined by Chapter 171) and action on the matter will have a special economic effect on the business entity or real property that is distinguishable from the effect on the general public. An affidavit disclosing the conflict of interest must be filled out and filed with the City Secretary before the matter is discussed.*

### **POSTING CERTIFICATION**

I, the undersigned authority do hereby certify that this Notice of Meeting was posted on the bulletin board, at the City Hall of the City of Manor, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: Friday, February 9, 2024, by 5:00 PM and remained so posted continuously for at least 72 hours preceding the scheduled time of said meeting.

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/s/ Lluvia T. Almaraz, TRMC  
City Secretary for the City of Manor, Texas

### **NOTICE OF ASSISTANCE AT PUBLIC MEETINGS:**

The City of Manor is committed to compliance with the Americans with Disabilities Act. Manor City Hall and the Council Chambers are wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 10 days prior to this meeting. Please contact the City Secretary at 512.215.8285 or e-mail [lalmaraz@manortx.gov](mailto:lalmaraz@manortx.gov)



## AGENDA ITEM SUMMARY FORM

**PROPOSED MEETING DATE:** February 13, 2024  
**PREPARED BY:** Scott Dunlop, Director  
**DEPARTMENT:** Development Services

### AGENDA ITEM DESCRIPTION:

**Conduct a public hearing on a Rezoning Application for Lots 8-10, Block 68, Town of Manor, locally known as 104 East Townes St., from Single Family Suburban (SF-1) to Townhome (TH).**

*Applicant: Development and Consulting Bridgeway LLC.*

*Owner: Carlos Moyeda*

### BACKGROUND/SUMMARY:

This item is discretionary.

The property is currently three platted lots that are zoned Single Family Suburban (SF-1) across from Jennie Lane Park. There exists one home situated on both Lots 9 and 10. Under their current entitlements, the property owner can remove the existing home and construct three single-family homes. They are proposing to rezone the property to Townhome (TH) and construct one building with four residential units.

In the Comprehensive Plan, this area is designated as Neighborhood Mixed-Use, which is a combination of dense residential and nonresidential uses in a compact, neighborhood-scale design to create a walkable environment. Residential development intensities within Neighborhood Mixed-Use encourage single-family attached (townhomes) and small multi-family, ranging in unit densities of 4-20 per acre. The four proposed units, on a per acre density on this property, which is .396 of an acre, would be approximately 10 units/acre, which is within the range suggested in Neighborhood Mixed Use.

**LEGAL REVIEW:** *Not Applicable*

**FISCAL IMPACT:** *NO*

**PRESENTATION:** *NO*

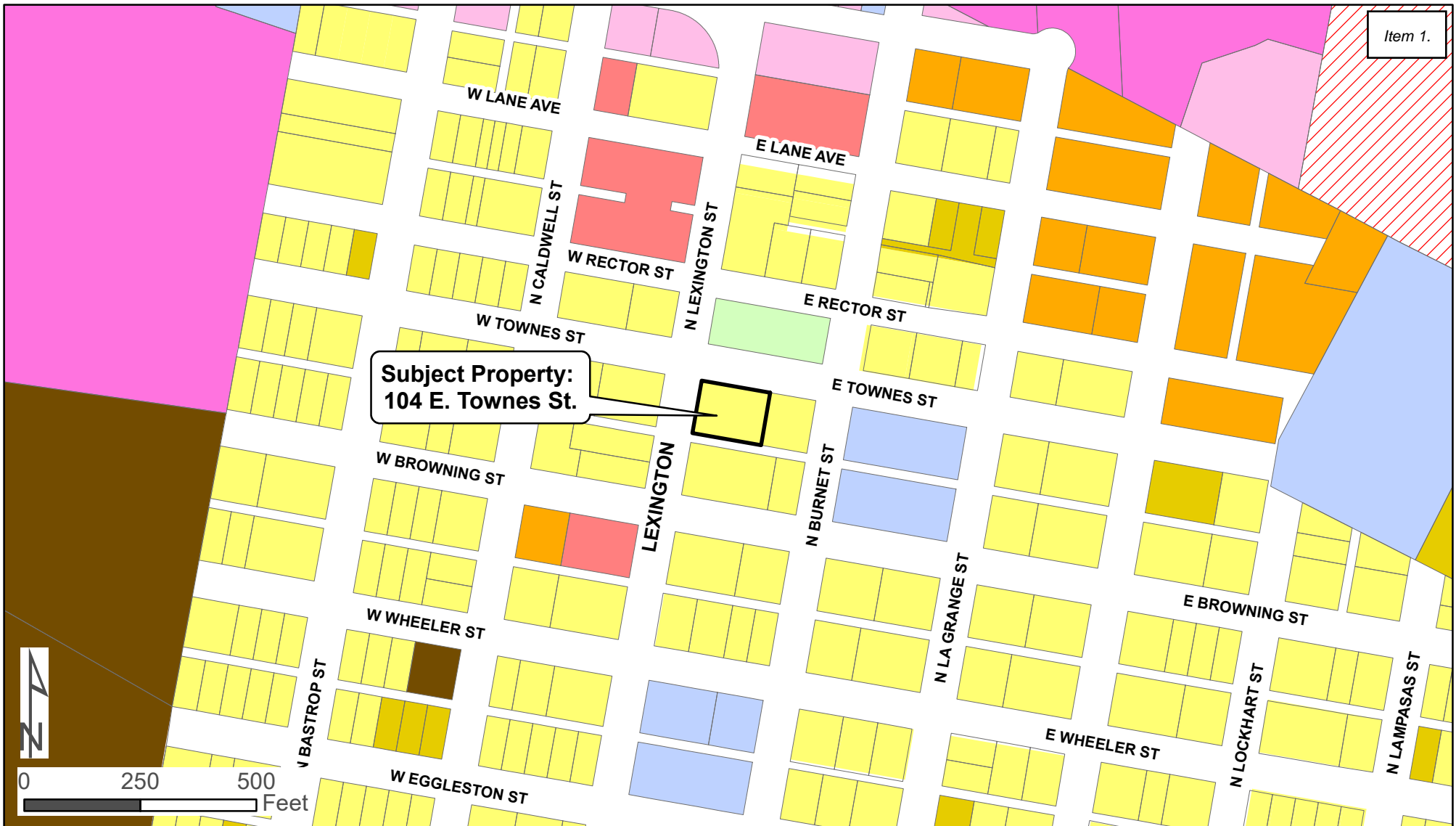
**ATTACHMENTS:** *YES*

- Rezoning Map
- Aerial Image
- FLUM
- Neighborhood Mixed-Use Dashboard
- Sample townhome design
- Sample townhome floorplan
- Survey
- Public Notice and Mailing Labels

### STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission conduct a public hearing on a Rezoning Application for Lots 8-10, Block 68, Town of Manor, locally known as 104 East Townes St., from Single Family Suburban (SF-1) to Townhome (TH).

**PLANNING & ZONING COMMISSION:**      **Recommend Approval**      **Disapproval**      **None**



Current:  
(SF-1) Single Family Suburban

Proposed:  
(TH) Townhome

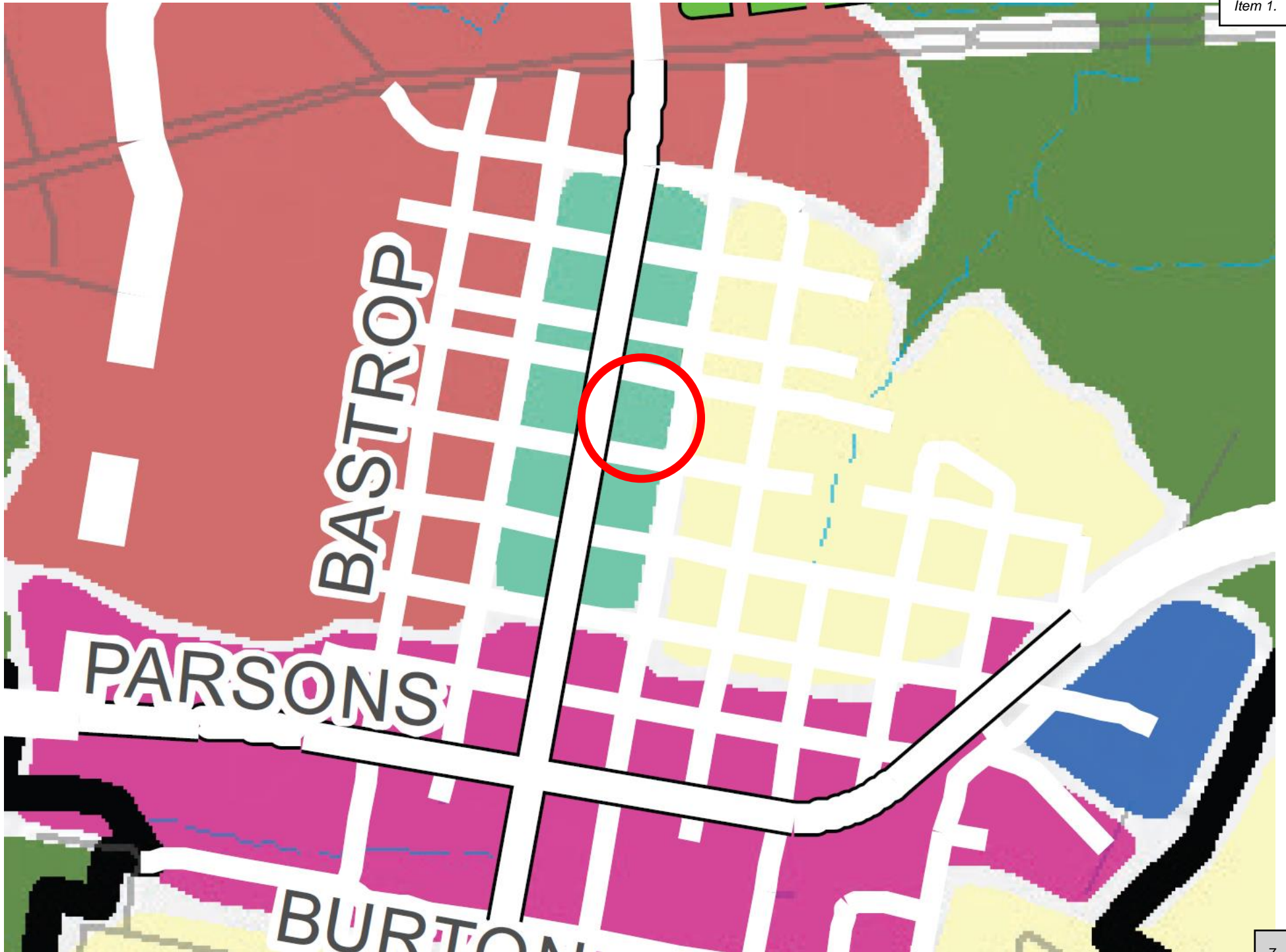
#### Zone

A - Agricultural	GO - General Office
SF-1 - Single Family Suburban	C-1 - Light Commercial
SF-2 - Single Family Standard	C-2 - Medium Commercial
TF - Two Family	C-3 - Heavy Commercial
TH - Townhome	NB - Neighborhood Business
MF-1 - Multi-Family 15	DB - Downtown Business
MF-2 - Multi-Family 25	IN-1 - Light Industrial
MH-1 - Manufactured Home	IN-2 - Heavy Industrial
I-1 - Institutional Small	PUD - Planned Unit Development
I-2 - Institutional Large	ETJ









## NEIGHBORHOOD MIXED-USE

Neighborhood Mixed-Use allows a combination of dense residential and nonresidential uses in a compact, neighborhood-scale design to create a walkable environment.

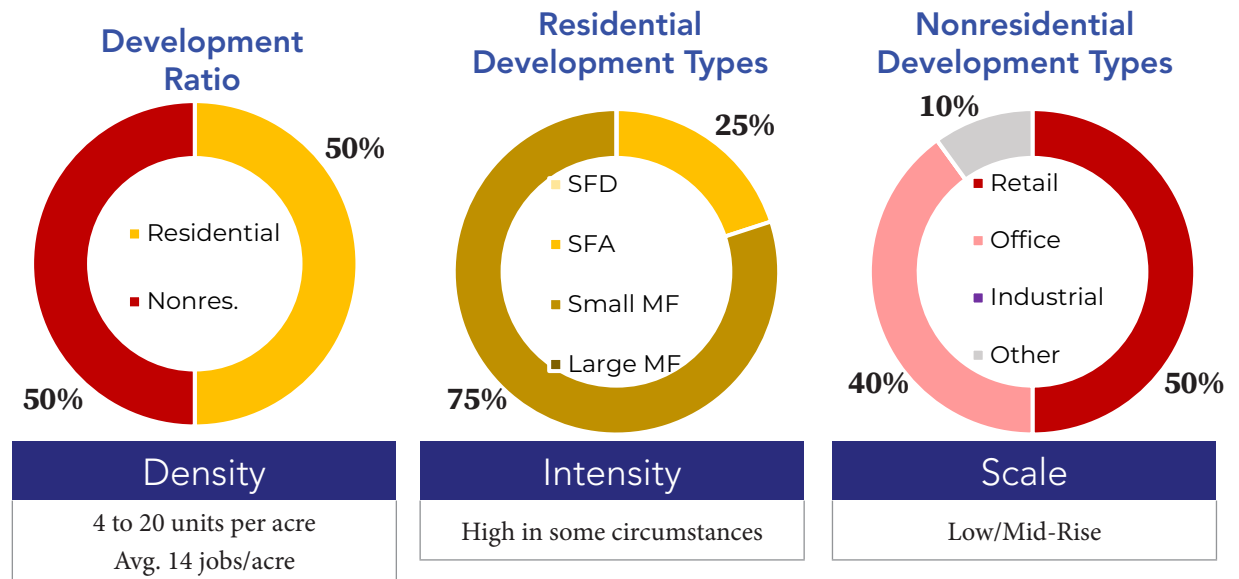
Neighborhood mixed-use areas allow residential units in close proximity to goods, services and civic activities, thus reducing dependence on the car and promoting community interaction, belonging, identity, and pride.

These places emphasize urban design and the experience created through density, intensity and scale; the mix of housing; walkability; streetscapes and a high quality public realm; parking management; and access to amenities such as parks, civic spaces and neighborhood services.

Often situated around an activity-generating element or an active public gathering spot, mixing of uses can take shape as either or both vertical (stacked on top of each other) and horizontal (next to each other). In vertical mixed-use, the ground floor is encouraged to be food and beverage or pedestrian-oriented retail and services, to promote foot traffic and activity.

Adaptive reuse of residential structures to commercial purposes and infill commercial buildings with residential design characteristics are common and appropriate in these areas.

Figure 3.8. Neighborhood Mixed-Use Land Use Mix Dashboard



DEVELOPMENT TYPE	APPROPRIATENESS	CONDITIONS
Single-Family Detached (SFD)	●○○○○	Not considered appropriate since the intent of mixed-use is to provide retail/services, activity centers and diversified housing in more dense and compact forms; these uses will provide opportunities and amenities to surrounding lower density neighborhoods.
SFD + ADU	●○○○○	
SFA, Duplex	●○○○○	
SFA, Townhomes and Detached Missing Middle	●●●○○	This can be appropriate provided that the overall Neighborhood Mixed-Use area also contains mixed-use buildings and/or shopping centers with which this product integrates in a manner to promote walkability and access. Can be utilized as a transition between Neighborhood Mixed-Use and other uses.
Apartment House (3-4 units)	●●●○○	
Small Multifamily (8-12 units)	●●●○○	
Large Multifamily (12+ units)	●○○○○	Not considered appropriate due to incompatible scale with neighborhoods
Mixed-Use Urban, Neighborhood Scale	●●●●●	This is the ideal form of development within the Neighborhood Mixed Use category; provides for activity centers, retail, services and diverse housing options at a scale compatible with and supportive of surrounding neighborhoods. Promotes walkability and 10-minute neighborhoods.
Mixed-Use Urban, Community Scale	●●○○○	Not generally considered appropriate due to incompatible scale with neighborhoods; may be appropriate if adjacent to green space or more intensive uses.
Shopping Center, Neighborhood Scale	●●●●○	While less preferred, this use can provide retail and services at a scale compatible with and supportive of surrounding neighborhoods, promoting walkability and 10-minute neighborhoods. Becomes more appropriate if a horizontal approach to mixed-use is deployed.
Shopping Center, Community Scale	●●○○○	Not generally considered appropriate due to incompatible scale with neighborhoods; may be appropriate if adjacent to green space or more intensive uses.
Light Industrial Flex Space	●●○○○	Not generally considered appropriate due to incompatible scale with neighborhoods, but can be if particularly small-scale and included alongside more appropriate development types; examples might include artisan-scale manufacturing, maker spaces, and similar businesses.
Manufacturing	●○○○○	Not considered appropriate.
Civic	●●●●●	Considered supportive to the function and livability of this future land use category, government buildings, schools and community facilities can serve as activity hubs.
Parks and Open Space	●●●●●	Generally considered appropriate or compatible within all Land Use Categories.









LEXINGTON STREET

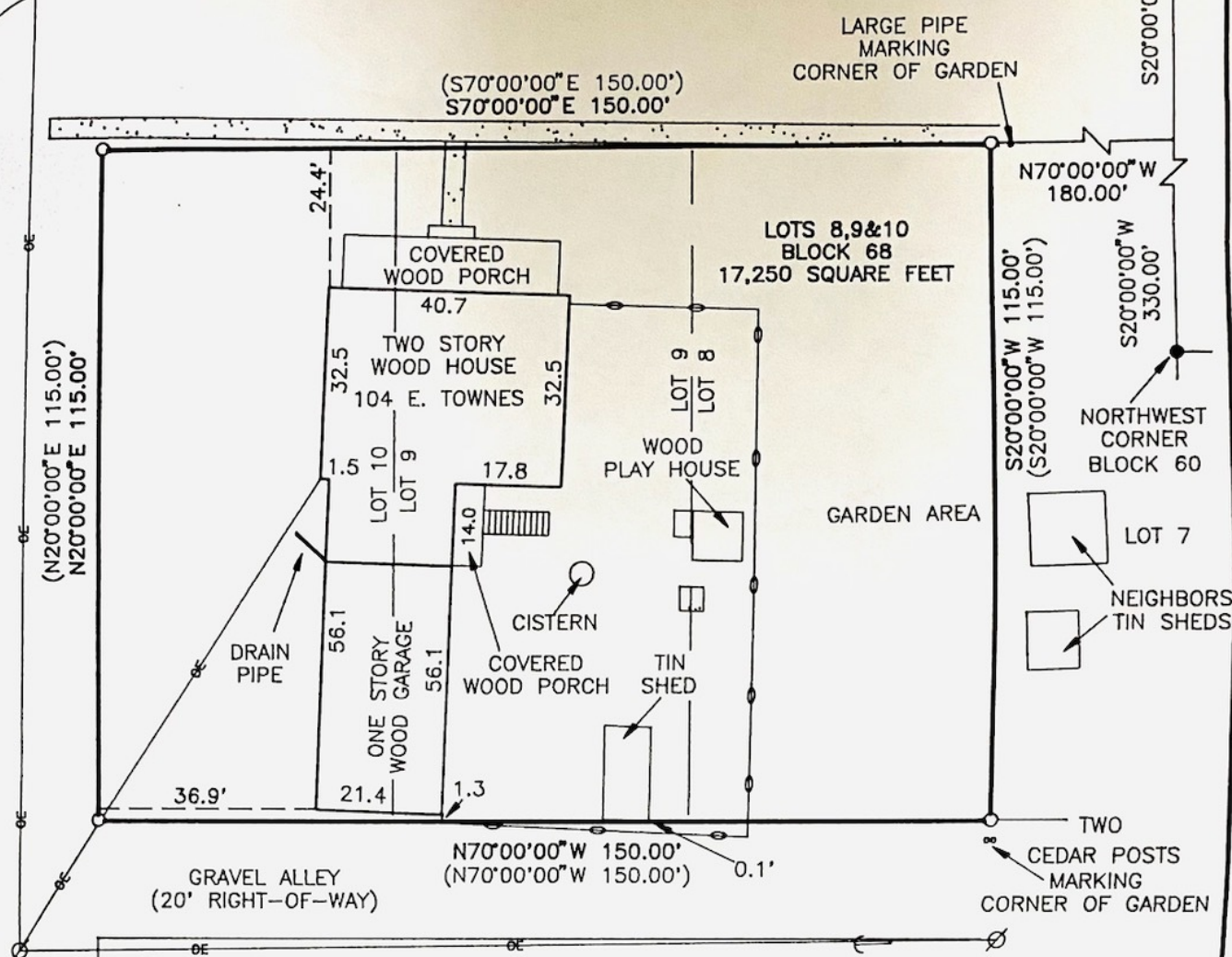
(80' RIGHT-OF-WAY)  
— VOLUME "V", PAGE 796  
T.C.D.R.

# TOWNES STREET

(80' RIGHT-OF-WAY)  
VOLUME "V", PAGE 796  
T.C.D.R.

SOUTHWEST  
CORNER  
BLOCK 14  
Item 1.

EDGE OF ASPHALT



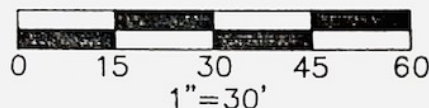
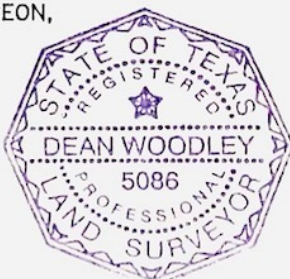
## NOTES:

1. ANY EASEMENTS AND BUILDING LINES AS PER TITLE COMMITMENT GF# GF#9610002 AS SUPPLIED BY HEART OF TEXAS TITLE COMPANY, DATED DECEMBER 18, 1996. NO ADDITIONAL RESEARCH WAS DONE BY LIVE OAK SURVEYING FOR ANY EASEMENTS, RESTRICTIONS, OR CONDITIONS OF RECORD WHICH MAY AFFECT THIS PROPERTY.
2. THE PROPERTY SHOWN HEREON IS IN FLOOD ZONE "X", AREAS OUTSIDE THE 500 YEAR FLOOD, AS IDENTIFIED BY THE FLOOD INSURANCE RATE MAP PANEL NO. 481027-0055-E, DATED: JUNE 16, 1993

TO ROBERT CHASE OZMENT, A'LISA CAROL OZMENT, BECKY ANDERSON KLAUS, HEART OF TEXAS TITLE AND FIDELITY NATIONAL TITLE GF#9610002  
THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND OF THE PROPERTY SHOWN HEREON AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT THERE ARE NO DISCREPANCIES, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINE OR ROADS IN PLACE, EXCEPT AS SHOWN HEREON, AND SAID PROPERTY ADJOINS A PUBLIC ROADWAY, EXCEPT AS SHOWN HEREON

DEAN A. WOODLEY  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 5086

DATE:



## LEGEND

- 1/2" IRON ROD FOUND
- 1/2" IRON ROD SET
- ( ) RECORD INFORMATION
- Ø UTILITY POLE
- GUY WIRE
- CHAIN FENCE
- OVERHEAD ELECTRIC
- CONCRETE
- T.C.D.R. TRAVIS COUNTY DEED RECORDS

CLIENT: Heart of Texas  
FIELD BOOK: 9  
DRAWN BY: D.W.  
PROJECT NO.: 129-74-97  
DATE: 2-13-97  
FILE: 1297497.DWG

**SURVEY**  
OF LOTS 8, 9 & 10, BLOCK 68  
TOWN OF MANOR  
AS RECORDED IN VOLUME "V", PAGE 796  
TRAVIS COUNTY, TEXAS



**LIVE OAK  
SURVEYING**  
12905 IRONGATE AVE.  
AUSTIN, TX 78727-4314  
(512) 837-1011



1/26/24

## City of Manor Development Services

# Notification for a Rezoning Application

Project Name: 104 E. Townes Rezoning from SF-1 to TH

Case Number: 2024-P-1612-ZO

Case Manager: Michael Burrell

Contact: [mburrell@manortx.gov](mailto:mburrell@manortx.gov) – 512-215-8158

The City of Manor Planning and Zoning Commission will be conducting a Special Called meeting and the City of Manor City Council will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon a Rezoning Application for 104 E. Townes St., Manor, TX from (SF-1) Single Family Suburban to (TH) Townhome. The request will be posted on the agenda as follows:

**Public Hearing: Conduct a public hearing on a Rezoning Application for Lots 8-10, Block 68, Town of Manor, locally known as 104 East Townes St., from Single Family Suburban (SF-1) to Townhome (TH).**

***Applicant: Development and Consulting Bridgeway LLC.***

***Owner: Carlos Moyeda***

The Planning and Zoning Commission will meet at 6:30PM on February 13, 2024 at 105 East Eggleston Street in the City Hall Council Chambers.

The City of Manor City Council will meet at 7:00PM on February 21, 2024 at 105 East Eggleston Street in the City Hall Council Chambers

You are being notified because you own property within 300 feet of the property for which this Rezoning Application has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

105 E. EGGLESTON STREET • P.O. BOX 387 • MANOR, TEXAS 78653  
(T) 512.272.5555 • (F) 512.272.8636 • [WWW.CITYOFMANOR.ORG](http://WWW.CITYOFMANOR.ORG)

GUERRERO RUDY & ALICE R (217648)  
121 E. KILLEN LN  
TEMPLE TX 76501-1420

REYNOLDS STACIE & MARGARET SALEEM  
(1854871)  
505 N LEXINGTON ST  
MANOR TX 78653-3341

SOSA BENTURA & PATRICIA ANN (397177)  
PO BOX 26  
MANOR TX 78653-0026

RICH RICHARD (1674648)  
PO BOX 374  
MANOR TX 78653-0374

LEXINTON BROWNING LLC (1923599)  
1410 E PALM VALLEY BLVD  
ROUND ROCK TX 78664-4549

WINKLER MARIE A (1461366)  
1807 LEXINGTON ST  
TAYLOR TX 76574-1564

NINH JAMIE D (1693000)  
409 BURNETT ST  
MANOR TX 78653-3422

MOSELEY CHRISTINE ANDERSON  
(217639)  
PO BOX 593  
MANOR TX 78653-0593

BAUER DOUGLAS A & LAURALEA (217642)  
PO BOX 1048  
MANOR TX 78653-1048

DOVER GARY WAYNE (1978698)  
101 E Rector St  
Manor TX 78653-3316

MORENO DANIEL & RUPERTA &  
(1670228)  
505 NORTH BURNET ST  
MANOR TX 78653-3366

GONZALEZ LEOPOLDO (1582565)  
107 RECTOR ST  
MANOR TX 78653-3316

FLORES FRANCISCO JR & (1782491)  
9705 DALLUM DR  
AUSTIN TX 78753-4309

MANOR UNITED METHODIST CHURCH  
(215687)  
PO BOX J  
MANOR TX 78653



## AGENDA ITEM SUMMARY FORM

**PROPOSED MEETING DATE:** February 13, 2024  
**PREPARED BY:** Scott Dunlop, Director  
**DEPARTMENT:** Development Services

### AGENDA ITEM DESCRIPTION:

**Conduct a Public Hearing on a Short Form Final Plat for the Resubdivision of the Manor Addition Subdivision, three (3) lots on 30.86 acres, more or less, and being located near the intersection of US Hwy 290 E and Bois D'Arc Road, Manor, TX.**

*Applicant: Kimley-Horn*

*Owner: Laureate-Wealth Management*

### BACKGROUND/SUMMARY:

This plat has been approved by our engineers and is non-discretionary.

This property was originally platted as one 30.86-acre lot in February 2022. It was zoned to Multi-Family 25 (MF-2) and Medium Commercial (C-2) by Ordinance 627 in October 2021. This plat will create three lots along the boundary lines of the zoning approved in 2021, so Lot 1 would be a 24.07-acre multi-family lot, and Lots 2 and 3 would be 3.36 and 3.44-acre commercial lots, respectively.

A site development plan for a two-phase approximately 600-unit multi-family development is under review.

**LEGAL REVIEW:** *Not Applicable*  
**FISCAL IMPACT:** *NO*  
**PRESENTATION:** *NO*  
**ATTACHMENTS:** *YES*

- Plat
- Engineer Comments
- Conformance Letter
- Public Notice
- Mailing Labels

### STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission conduct the public hearing a Short Form Final Plat for the Resubdivision of the Manor Addition Subdivision, three (3) lots on 30.86 acres, more or less, and being located near the intersection of US Hwy 290 E and Bois D'Arc Road, Manor, TX.

**PLANNING & ZONING COMMISSION:**      **Recommend Approval**      **Disapproval**      **None**





VICINITY MAP

SCALE: 1" = 2000'

GREENBERRY  
GATES  
SURVEY NO. 63  
ABSTRACT NO. 315

MATCHLINE

GRID N: 10,100,249.40  
GRID E: 3,182,662.63

DRAINAGE  
EASEMENT  
DOC. NO. 202200036

80' BUILDING SETBACK  
(3 STORY)

50' BUILDING SETBACK  
(2 STORY)

25' BUILDING SETBACK  
(1 STORY)

SEE  
DETAIL "B"

GRID N: 10,100,007.10  
GRID E: 3,183,087.03

A.C. CALDWELL  
SURVEY NO. 52  
ABSTRACT NO. 154

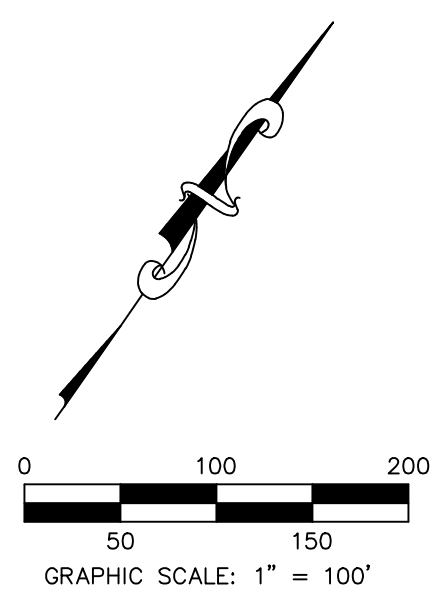
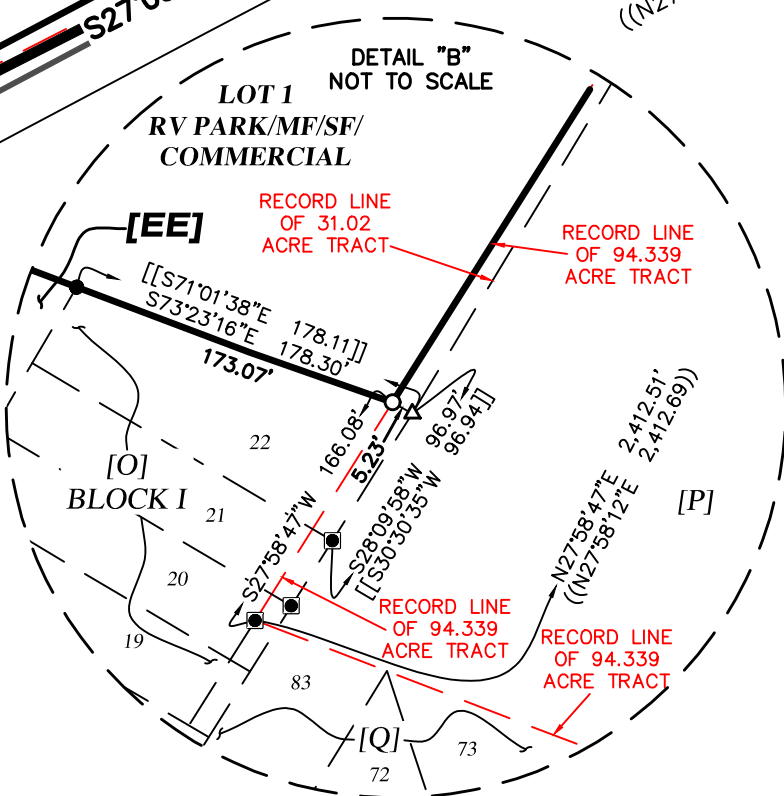
LOT 1  
(MF-2)

LOT 2  
(COMMERCIAL)

LOT 3  
(COMMERCIAL)

[P]  
CALLED 84.2717 ACRES  
("TRACT 1")  
MANOR290 OZ REAL ESTATE LP  
DOC. # 2021172435, O.P.R.T.C.T.  
AND CORRECTED IN  
IN DOC. # 2022056842  
O.P.R.T.C.T.

LOT SUMMARY:		
LOT 1	24.0681 AC.	1,048,407 SQ. FT.
LOT 2	3.3588 AC.	146,308 SQ. FT.
LOT 3	3.4374 AC.	149,735 SQ. FT.
OVERALL	30.8643 AC.	1,344,450 SQ. FT.



# RESUBDIVISION OF MANOR ADDITION City of Manor, Travis County, Texas



PO Box 90876, Austin Texas 78709  
WWW.4WARDLS.COM (512) 537-2384  
TBPLS FIRM #10174300

Date:	12/19/2023
Project:	00835
Scale:	1" = 100'
Reviewer:	DV
Tech:	TE
Field Crew:	TE/JC
Survey Date:	MAR. 2019
Sheet:	1 OF 3





1500 County Road 269  
Leander, TX 78641

P.O. Box 2029  
Leander, TX 78646-2029

Date: Thursday, September 21, 2023

Anna Ford  
Kimley-Horn  
5301  
AUSTIN TX  
anna.ford@kimley-horn.com

Permit Number 2023-P-1568-SF  
Job Address: 13113 US 290, Manor, TX. 78653

Dear Anna Ford,

The first submittal of the Manor RV Subdivision Short Form Final Plat (*Short Form Final Plat*) submitted by Kimley-Horn and received on February 05, 2024, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

### Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. **Lots 2 and 3 will need access to wastewater services. The owner of lot 1 will need to provide an easement through lot 1 for lots 2 and 3 to access their wastewater connection. The wastewater connection for this site is on the south side of lot 1. The easement must be shown on the final plat. Also, City Legal will need to review the easement.**
- ii. ~~Reminder: The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.~~
- iii. ~~Identification and location of proposed uses and reservations for all lots within the subdivision. Provide a call out of each lot's proposed use.~~
- iv. ~~Provide certification from a registered professional engineer and approval by the State Health Department (if applicable) that water satisfactory for human consumption is available in adequate supply at the time of submission, except that such certification is not required if the property will be served by the City water system. (Manville Water).~~
- v. ~~Provide the location of building setback lines, as required by the City's Zoning Ordinance and indicated by dashed lines on the plat, and the location, dimensions, and descriptions of all required easements within the subdivision, intersecting, or contiguous with its boundaries or forming such boundaries. As per Manor Code of Ordinance Chapter 14 Section 14.02.007.~~
- vi. ~~Provide a current tax certificate. The one provided is from 2018.~~
- vii. ~~Provide the following note "Performance and maintenance guarantees as required by the city".~~
- viii. ~~The current Mayor of Manor is Dr. Christopher Harvey.~~

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

A handwritten signature in black ink, appearing to read 'Tyler Shows', followed by a long horizontal flourish.

Tyler Shows  
Staff Engineer  
GBA



November 6, 2023

Tyler Shows  
1500 County Road 269  
P.O Box 2029  
Leander, TX 78641-2029

**RE: *Manor RV Subdivision Short Form Final Plat (2023-P-1568-SF)***

The purpose of this letter is to provide satisfactory answers to the comments/questions issued in a comment letter dated September 21, 2023. The answers are listed below in bold and are preceded by the comments/questions listed in the original letter.

**Comments:**

- i. Lots 2 and 3 will need access to wastewater services. The owner of lot 1 will need to provide an easement through lot 1 for lots 2 and 3 to access their wastewater connection. The wastewater connection for this site is on the south side of lot 1.

**Response: Note 15, " A Public wastewater easement must be dedicated by separate instrument across Lot 1 to provide service to Lots 2 and 3 prior to the initiation of construction on Lot 1."**

- ii. Reminder: The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.

**Response: Noted, once the plat is approved the plat will be sealed.**

- iii. Identification and location of proposed uses and reservations for all lots within the subdivision. Provide a call out of each lot's proposed use.

**Response: Proposed uses have been provided.**

- iv. Provide certification from a registered professional engineer and approval by the State Health Department (if applicable) that water satisfactory for human consumption is available in adequate supply at the time of submission, except that such certification is not required if the property will be served by the City water system. (Manville Water).

**Response: the subdivision is located within the Manville Water Supply CCN and a will serve letter has been provided.**

- v. Provide the location of building setback lines, as required by the City's Zoning Ordinance and indicated by dashed lines on the plat, and the location, dimensions, and descriptions of all required easements within the subdivision, intersecting, or contiguous with its boundaries or forming such boundaries. As per Manor Code of Ordinance Chapter 14 Section 14.02.007.

**Response: Setback lines have been added and called out.**

- vi. Provide a current tax certificate. The one provided is from 2018.

**Response: Current tax certificate has been provided.**



- vii. Provide the following note "Performance and maintenance guarantees as required by the city".

**Response: note 14 has been added.**

- viii. The current Mayor of Manor is Dr. Christopher Harvey.

**Response: Noted, signature block has been updated.**

Please contact me at 737-241-9081 if additional information is required.

Sincerely,

*Anna Ford*

Anna Ford  
KIMLEY-HORN AND ASSOCIATES, INC.



1500 County Road 269  
Leander, TX 78641

P.O. Box 2029  
Leander, TX 78646-2029

Date: Monday, December 4, 2023

Anna Ford  
Kimley-Horn  
5301  
AUSTIN TX  
anna.ford@kimley-horn.com

Permit Number 2023-P-1568-SF  
Job Address: 13113 US 290, Manor 78653

Dear Anna Ford,

The subsequent submittal of the Manor RV Subdivision Short Form Final Plat submitted by Kimley-Horn and received on February 05, 2024, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

### Engineer Review

The following comments have been provided by Tyler Shows. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. **Lots 2 and 3 will need access to wastewater services. The owner of lot 1 will need to provide an easement through lot 1 for lots 2 and 3 to access their wastewater connection. The wastewater connection for this site is on the south side of lot 1. The easement must be shown on the final plat. Also, City Legal will need to review the easement.**
- ii. ~~Reminder: The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.~~
- iii. ~~Identification and location of proposed uses and reservations for all lots within the subdivision. Provide a call out of each lot's proposed use.~~
- iv. ~~Provide certification from a registered professional engineer and approval by the State Health Department (if applicable) that water satisfactory for human consumption is available in adequate supply at the time of submission, except that such certification is not required if the property will be served by the City water system. (Manville Water).~~
- v. ~~Provide the location of building setback lines, as required by the City's Zoning Ordinance and indicated by dashed lines on the plat, and the location, dimensions, and descriptions of all required easements within the subdivision, intersecting, or contiguous with its boundaries or forming such boundaries. As per Manor Code of Ordinance Chapter 14 Section 14.02.007.~~
- vi. ~~Provide a current tax certificate. The one provided is from 2018.~~
- vii. ~~Provide the following note "Performance and maintenance guarantees as required by the city".~~
- viii. ~~The current Mayor of Manor is Dr. Christopher Harvey.~~

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at [pgray@gbateam.com](mailto:pgray@gbateam.com).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Lead AES  
GBA



December 26, 2023

Tyler Shows  
1500 County Road 269  
P.O Box 2029  
Leander, TX 78641-2029

**RE: *Manor RV Subdivision Short Form Final Plat (2023-P-1568-SF)***

The purpose of this letter is to provide satisfactory answers to the comments/questions issued in a comment letter dated December 04, 2023. The answers are listed below in bold and are preceded by the comments/questions listed in the original letter.

**Comments:**

- i. Lots 2 and 3 will need access to wastewater services. The owner of lot 1 will need to provide an easement through lot 1 for lots 2 and 3 to access their wastewater connection. The wastewater connection for this site is on the south side of lot 1. The easement must be shown on the final plat. Also, City Legal will need to review the easement.

Response: Note 15, " A Public wastewater easement must be dedicated by separate instrument across Lot 1 to provide service to Lots 2 and 3 prior to the initiation of construction on Lot 1." Note approval from the City of Manor has been provided by Scott Dunlop, approval email has been provided with this updated.

Please contact me at 737-241-9081 if additional information is required.

Sincerely,

*Anna Ford*

Anna Ford  
KIMLEY-HORN AND ASSOCIATES, INC.





1500 County Road 269  
Leander, TX 78641

P.O. Box 2029  
Leander, TX 78646-2029

Date: Wednesday, February 7, 2024

Anna Ford  
Kimley-Horn  
5301  
AUSTIN TX  
anna.ford@kimley-horn.com

Permit Number 2023-P-1568-SF  
Job Address: 13113 US 290, Manor 78653

Dear Anna Ford,

The submittal of the revised Manor RV Subdivision Short Form Final Plat Site Plans submitted by Kimley-Horn and received by our office on 2/5/2024, has been reviewed for compliance with the City of Manor Zoning Ordinance 185. The Plans appear to be in general compliance with City Ordinance requirements and we therefore take no exception to their approval as presented.

**Please submit a hard copy of the cover sheet to Scott Dunlop at the City of Manor for signatures. A copy of the signed cover sheet will be uploaded under project files on the my permit now website.**

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads 'Pauline M. Gray'.

Pauline Gray, P.E.  
Lead AES  
GBA



1/26/24

## City of Manor Development Services

### Notification for a Subdivision Short Form Final Plat

Project Name: Manor RV Subdivision Short Form Final Plat

Case Number: 2023-P-1568-SF

Case Manager: Michael Burrell

Contact: [mburrell@manortx.gov](mailto:mburrell@manortx.gov) – 512-215-8158

The City of Manor Planning and Zoning Commission will be conducting a Special Called meeting and the City of Manor City Council will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon a Subdivision Short Form Final Plat for the Manor RV Park being located near the intersection of US Hwy 290 E and Bois D’Arc Road, Manor, TX. The request will be posted on the agenda as follows:

**Public Hearing: Conduct a Public Hearing on a Short Form Final Plat for the Resubdivision of the Manor Addition Subdivision, three (3) lots on 30.86 acres, more or less, and being located near the intersection of US Hwy 290 E and Bois D’Arc Road, Manor, TX.**

***Applicant: Kimley-Horn***

***Owner: Laureate-Wealth***

The Planning and Zoning Commission will meet at 6:30PM on February 13, 2024 at 105 East Eggleston Street in the City Hall Council Chambers.

The City of Manor City Council will meet at 7:00PM on February 21, 2024 at 105 East Eggleston Street in the City Hall Council Chambers

You are being notified because you own property within 300 feet of the property for which this Subdivision Short Form Final Plat has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

105 E. EGGLESTON STREET • P.O. BOX 387 • MANOR, TEXAS 78653  
(T) 512.272.5555 • (F) 512.272.8636 • [WWW.CITYOFMANOR.ORG](http://WWW.CITYOFMANOR.ORG)

NSJ Enterprise Inc  
11700 Dessau Rd  
Austin, TX 78754

Candelaria Calderon  
12907 Armstrong Ave  
Manor, TX 78653

Aguster Powell  
709 Delmar Ave  
Austin, TX 78752

Lucille Spears  
106 Billingsley Hts  
Cedar Creek, TX 78612

Pablo Mijares  
17005 John Michael Dr  
Manor, TX 7865

Shenea Wade  
12905 Armstrong Ave  
Manor, TX 78653

Emmitt Spears  
5337 Westminster Dr  
Austin, TX 78723

Frank Muniz  
PO Box 238  
Manor, TX 78653

Hilaria Reyes  
PO Box 169  
Manor, TX 78653

Guadalupe Hernandez  
12907 Cedar St  
Manor, TX 78653

Manor 290 OZ Real Estates LP  
76 Renfield Dr  
Princeton, NJ 08540-6263

Daniel Perez  
12200 Johnson Rd  
Manor, TX 78653

IBC Partners LTD  
9900 US 290 E  
Manor, TX 78653

Alberto Fernandez  
6311 Capriola Dr  
Austin, TX 78745

Greystone Holdings, LLC  
10016 37<sup>th</sup> Ave, Apt 1-B  
Corona, NY 11368

Amy Deleon  
12915 Cedar St  
Manor, TX 78653

Presidential Glen LTD  
9900 US Hwy 290 E  
Manor, TX 78653

Mecanika LLC  
3901 N Hills Dr  
Austin, TX 78731

GFAA Partners Inc  
4125 E Austin St  
Giddings, TX 78942

Lion Capital LLC  
433 W North Loop  
Houston, TX 77008

Raul Lopez  
12917 US Hwy 290 E  
Manor, TX 78653

Barbara Robertson  
19701 Smith Gin St  
Manor, TX 78653

Landmark at Manor Prop Holdings LLC  
21500 Biscayne Blvd STE 42  
Aventura, FL 33180

Anika Diana Flores  
12901 Cedar St  
Manor, TX 78653

Silvia Villa  
9909 Oboe Rd  
Houston, TX 77025

Howard Hester  
19492 Bolin Rd  
Montgomery, TX 77356

Dominga Reyes  
12924 Cedar St  
Manor, TX 78653

Robert Marciel  
12917 Armstrong Ave  
Manor, TX 78653

Alicia Pena  
12913 Armstrong Ave  
Manor, TX 78653

1-40 Group  
PO BOX 3888  
Lubbock, TX 79452



## AGENDA ITEM SUMMARY FORM

**PROPOSED MEETING DATE:** February 13, 2024  
**PREPARED BY:** Scott Dunlop, Director  
**DEPARTMENT:** Development Services

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### AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action to approve the minutes of January 10, 2024, P&Z Commission Regular Meeting.

### BACKGROUND/SUMMARY:

**LEGAL REVIEW:** Not Applicable  
**FISCAL IMPACT:** No  
**PRESENTATION:** No  
**ATTACHMENTS:** Yes

- January 10, 2024, P&Z Commission Regular Session Minutes

### STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve the minutes of the January 10, 2024, P&Z Commission Regular Meeting.

**PLANNING & ZONING COMMISSION:** Recommend Approval Disapproval None

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**PLANNING AND ZONING COMMISSION  
REGULAR SESSION MINUTES  
JANUARY 10, 2024**

*This meeting was live streamed on Manor's YouTube Channel at  
<https://www.youtube.com/@cityofmanorsocial/streams>*

**PRESENT:**

**COMMISSIONERS:**

Felix Paiz, Chair, Place 4  
Prince Chavis, Vice Chair, Place 2  
Julie Leonard, Place 1  
Cresandra Hardeman, Place 3  
Celestine Sermo, Place 5  
Cecil Meyer, Place 6 (Absent)  
Jim Terry, Place 7  
Gabriel Nila, Alternate No. 1  
Gabrielle Orion, Alternate No. 2

**CITY STAFF:**

Scott Dunlop, Development Services Director  
Mandy Miller, Development Services Supervisor  
Officer Vega  
Emily Hill, Mayor Pro Tem  
Aaron Moreno, City Council – Place 5  
Scott Moore, City Manager

**REGULAR SESSION: 6:30 P.M.**

**CALL TO ORDER AND ANNOUNCE A QUORUM IS PRESENT**

With a quorum of the Planning and Zoning (P&Z) Commission present, the Regular Session of the Manor P&Z Commission was called to order by Vice Chair Paiz at 6:41 p.m. on Wednesday, January 10, 2024, in the Council Chambers of the Manor City Hall, 105 E. Eggleston St., Manor, Texas.

*Vice Chair Paiz requested P&Z Commissioner Nila join the Commissioners on the dais in the position of Place 6.*

## PUBLIC COMMENTS

No one appeared to speak at this time.

*At the request of Chair Paiz the following items, Public Hearing Item No. 3 and Regular Item No. 9, were pulled from the agenda and placed on the February 13, 2024, agenda.*

- 3. Conduct a public hearing on a Subdivision Short Form Final Plat for the Junction Subdivision, two (2) lots on 9.2 acres, more or less, and being located at the intersection of La Grange St. and Murray Ave., Manor, TX. Applicant: BGE Inc. Owner: Junction Development, LLC.**
- 9. Consideration, discussion, and possible action on a Subdivision Short Form Final Plat for the Junction Subdivision, two (2) lots on 9.2 acres, more or less, and being located at the intersection of La Grange St. and Murray Ave., Manor, TX. Applicant: BGE Inc. Owner: Junction Development, LLC.**

## REGULAR AGENDA

- 5. Consideration, discussion, and possible action to appoint a Planning and Zoning Commission Chairperson to serve a 1-year term.**

City Staff recommended that the P&Z Commission appoint a Planning and Zoning Commission Chairperson to serve a 1-year term.

Director Dunlop spoke regarding this item.

**MOTION:** Upon a motion made by Commissioner Chavis and seconded by Commissioner Leonard to appoint Commissioner Paiz as P&Z Commission Chair.

There was no further discussion.

**Motion to Appoint Commissioner Paiz as Chair carried 7-0**

- 6. Consideration, discussion, and possible action to appoint a Planning and Zoning Commission Vice-Chair to serve a 1-year term.**

City Staff recommended that the P&Z Commission appoint a Planning and Zoning Commission Vice-Chair to serve a 1-year term.

**MOTION:** Upon a motion made by Commissioner Leonard and seconded by Commissioner Nila to appoint Commissioner Chavis as P&Z Commission Vice-Chair.

There was no further discussion.

**Motion to Appoint Commissioner Chavis as Vice Chair carried 7-0**

## PUBLIC HEARING

1. **Conduct a public hearing on a Rezoning Application for the Dominion development, one (1) lot on 15.42 acres, more or less, and being located at 12200 Tower Rd, Manor, TX from (IN-1) Light Industrial to (MF-2) Multifamily – 25.** Applicant: Dominion. Owner: Kenneth Tumlinson.

City Staff recommended that the P&Z Commission conduct a public hearing.

Chair Paiz opened the public hearing.

Mat Nugent with BKV Group, 222 2<sup>nd</sup> Street North, Minneapolis, Minnesota, submitted a speaker card in support of this item. Mr. Nugent did not wish to speak; however, he was available for any questions.

Neal Route with Dominion Inc., 4835 Lyndon B Johnson Fwy., Ste. 1000, Dallas, Texas, submitted a speaker card in support of this item. Mr. Route did not wish to speak; however, he was available for any questions.

David D'Amelio with Dominion Inc., 4835 Lyndon B Johnson Fwy., Ste. 1000, Dallas, Texas, presented handouts of the presentation and memos on the road and traffic type issues, drainage, and flooding type issues involved with the development. (*see attached documents*) Mr. D'Amelio gave the presentation and answered questions about the schools they have reached out to regarding this development.

Ben Green with Kimley-Horn & Associates, 10814 Jollyville Road Austin, Texas, stated he was the project engineer on this project. Mr. Green gave information about the traffic impact analysis (TIA). He addressed concerns regarding the current and future traffic issues in the area of this development.

Andrew Graham with Kimley-Horn & Associates, 10814 Jollyville Road Austin, Texas, gave additional information on the TIA and answered questions regarding the study details.

Mr. D'Amelio stated this property would be covered under Section 42. He explained the differences between Section 42 and Section 8 affordable housing.

Concerns were raised regarding the property safety of the residents. Commissioner Leonard suggested enclosed garages or a gate access in conjunction with the perimeter wall around the development.

Discussion was held regarding the stormwater runoff from the property.

Denice Martinez, 12,200 Tower Road, Manor, Texas, submitted a speaker card to speak in opposition of this item. She stated the address currently being used by the developer was her address and would like for this issue to be addressed by the developer. She expressed her concerns regarding the stormwater runoff, the larger culvert causing new flooding issues, the increase in traffic and roadway congestion.

Mr. D'Amelio answered additional questions regarding the property access points.



Additional discussion was held regarding the TIA and the property location. Mr. D'Amelio responded to questions about the thought process of choosing this property. He gave information on the TIA data collection and the organizations they have met with to gather information or feedback.

**MOTION:** Upon a motion made by Vice Chair Chavis and seconded by Commissioner Hardeman to close the public hear.

There was no further discussion.

**Motion to Close carried 7-0**

**2. Conduct a public hearing on a Rezoning Application for Manor Commons Phase 3, one (1) lot on 0.98 acres, more or less, and being located at the northeast corner of US HWY 290 and FM 973, Manor, TX from (A) Agricultural to (C-1) Light Commercial.**

Applicant: Greenview Development Corp. Owner: Timmerman Commercial Investments LP.

City Staff recommended that the P&Z Commission conduct a public hearing.

Chair Paiz opened the public hearing.

Director Dunlop gave information regarding the size, location, and zoning of the property. He responded to questions regarding the applicant and owner. He provided additional information regarding the reasons behind the rezoning request.

**MOTION:** Upon a motion made by Commissioner Hardeman and seconded by Commissioner Leonard to close the public hear.

There was no further discussion.

**Motion to Close carried 7-0**

**PUBLIC COMMENTS**

Robert Battaile, 502 E. Eggleston Street, Manor, Texas, submitted a speaker card to speak in opposition of Agenda Item No. 10. Mr. Battaile criticized the City of Manor and Police Department and the Developer handling of the development near the cemetery.

Barry Franklin with Gosey Group, LLC, 800 Lexington Street, Manor, Texas, submitted a speaker card to speak in support of Agenda Item #11. Mr. Franklin stated that his business specializes in end-of-life planning. He stated there were no plans to have services at this location.

Dwight Hill with Gosey Group LLC, 800 Lexington Street, Manor, Texas, submitted a speaker card to speak in support of Agenda Item #11. Mr. Hill stated they wanted to join the 5 (five) lots.

## CONSENT AGENDA

### 4. Consideration, discussion, and possible action to approve the minutes of December 13, 2023, P&Z Commission Regular Meeting.

**MOTION:** Upon a motion made by Commissioner Leonard and seconded by Commissioner Nila to approve the consent agenda.

There was no further discussion.

**Motion to Approve carried 7-0**

## REGULAR AGENDA

### 7. Consideration, discussion, and possible action on a Rezoning Application for the Dominion development, one (1) lot on 15.42 acres, more or less, and being located at 12200 Tower Rd, Manor, TX from (IN-1) Light Industrial to (MF-2) Multifamily – 25. Applicant: Dominion. Owner: Kenneth Tumlinson.

City Staff recommended that the P&Z Commission approve the Rezoning Application for the Dominion development, one (1) lot on 15.42 acres, more or less, and being located at 12200 Tower Rd, Manor, TX from (IN-1) Light Industrial to (MF-2) Multifamily – 25.

**MOTION:** Upon a motion made by Commissioner Sermo and seconded by Commissioner Hardeman to postpone this item to the February 13, 2024, P&Z Commission Meeting to allow time for the developer to provide additional information.

Discussion was held regarding the information that was being requested by the Commissioners.

Commissioner Sermo clarified that she would like additional information on the TIA, such as time frames and other details about the TIA data collection, and the property entrances.

Commissioner Leonard reiterated that she would like to see information regarding Fire's response to the planned access points.

Commissioner Hardeman stated that she would like to see more information on the property drainage, how the change would impact neighboring properties, and other options considered.

Commissioner Leonard stated she would like for the developer to meet with and get feedback from the Charter School.

**Motion to Postpone carried 7-0**

### 8. Consideration, discussion, and possible action on a Rezoning Application for Manor Commons Phase 3, one (1) lot on 0.98 acres, more or less, and being located at the northeast corner of US HWY 290 and FM 973, Manor, TX from (A) Agricultural to (C-1) Light Commercial. Applicant: Greenview Development Corp. Owner: Timmerman Commercial Investments LP.

City Staff recommended that the P&Z Commission approve the Rezoning Application for Manor Commons Phase 3, one (1) lot on 0.98 acres, more or less, and being located at the northeast corner of US HWY 290 and FM 973, Manor, TX from (A) Agricultural to (C-1) Light Commercial.

Discussion was held regarding the benefits of allowing the rezoning of this property.

Director Dunlop gave information about the surrounding properties that have already been rezoned.

**MOTION:** Upon a motion made by Commissioner Leonard and seconded by Commissioner Hardeman to approve the rezoning application for Manor Commons Phase 3, one (1) lot on 0.98 acres, more or less, and being located at the northeast corner of US HWY 290 and FM 973, Manor, TX from (A) Agricultural to (C-1) Light Commercial

There was no further discussion.

**Motion to Approve carried 7-0**

**10. Consideration, discussion, and possible action on a Preliminary Plat for the New Haven Subdivision, two-hundred ninety-three (293) on 90.3 acres, more or less, and being located at Gregg Lane and FM 973, Manor, TX.** Applicant: Gregg Lane Dev. LLC. Owner: Quiddity.

City Staff recommended that the P&Z Commission approve the Preliminary Plat for the New Haven Subdivision, two-hundred ninety-three (293) on 90.3 acres, more or less, and being located at Gregg Lane and FM 973, Manor, TX subject to a final easement being approved by the city engineer.

John Alvarez with Quiddity Engineering, 3100 Alvin Devane Blvd., Suite 130, Austin, Texas, submitted a speaker card in support of this item. Mr. Alvaraz did not wish to speak; however, he was available for any questions.

Robert Battaile, 502 E. Eggleston Street, Manor, Texas, submitted a speaker card in opposition of this item.

Director Dunlop recapped the postponement of this item from the last meeting. He stated the additional information that was requested at the last meeting was provided in the backup information on this item. He stated the information included parks and amenities details as well as a copy of the PUD.

Discussion was held regarding the details of the prior postponement of this item which included concerns regarding the park locations for the development.

Mr. Alvarez answered questions regarding the park. He explained the availability for better environment for the amenities at that location due to topography.

Director Dunlop explained the necessary steps and potential downside to requiring the developer to move the park location. He stated there were easements still pending approval for this item; therefore, conditional approval is being sought.

**MOTION:** Upon a motion made by Commissioner Nila and seconded by Commissioner Leonard to approve the Preliminary Plat for the New Haven Subdivision, two-hundred ninety-three (293) on 90.3 acres, more or less, and being located at Gregg Lane and FM 973, Manor, TX, conditionally to the final easement being approved by the city engineer.

There was no further discussion.

**Motion to Approve carried 7-0**

**11. Consideration, discussion, and possible action on a Joined Lot Affidavit for Lot 1-5, Block 12, Town of Manor, locally known as 800 N. Lexington Street, Manor, Texas. Applicant: Bobby Gosey. Owner: Bobby Gosey.**

City Staff recommended that the P&Z Commission approve the Joining Lot Affidavit for Lot 1-5, Block 12, Town of Manor, Travis County, Texas.

Director Dunlop stated this item was postponed at the last meeting with the request to have the applicant or owner appear to address questions from the Commission. He reminded the Commission that those individuals spoke during the Public Comment section.

Director Dunlop spoke regarding the commonality of this type of request especially in the area of town where this property is located. He reviewed the join lot process.

Discussion was held and concerns were expressed regarding parking for this property.

Dwight Hill addressed concerns regarding parking. He stated the business would primarily be for administrative uses only therefore large amounts of parking would not be necessary for the business.

Director Dunlop clarified the parking requirement would be 13 (thirteen) to 19 (nineteen) parking spaces. Parking would be accessed at 1:150 for the designation of funeral services.

Barry Franklin stated only small services would have the option of on location services. Mr. Franklin stated most of the services would be held at Churches or other facilities that could accommodate larger crowds. He stated any embalming, receiving, dressing, and casketing would take place at the Taylor location. He stated the focus for the Manor location would be meetings, planning, preparation of services and pre-arrangements.

Mr. Hill stated prior businesses failed to meet city requirements, but they were trying to work with the city. He answered questions regarding any future remodeling or expansion plans for the property.

Director Dunlop replied to concerns for this type of development being aligned with the Comprehensive Plan. He responded to the non-compliance issues from past tenants.

Mr. Hill and Mr. Franklin answered questions regarding the business aspects, such as adjustments to doorways, hearse being onsite, and already prepared bodies in the building.

**MOTION:** Upon a motion made by Commissioner Nila and seconded by Vice Chair Chavis to approve the Joined Lot Affidavit for Lot 1-5, Block 12, Town of Manor, locally known as 800 N. Lexington Street, Manor, Texas.

There was no further discussion.

**Motion to Adjourn carried 7-0**

## **ADJOURNMENT**

**MOTION:** Upon a motion made by Commissioner Leonard and seconded by Vice Chair Chavis to adjourn the regularly scheduled P&Z Commission meeting at 8:31 p.m. on Wednesday, January 10, 2024.

There was no further discussion.

**Motion to Adjourn carried 7-0**

These minutes were approved by the Planning and Zoning Commission on the 13th day of February 2024.

### **APPROVED:**

\_\_\_\_\_  
Felix Paiz  
Chairperson

### **ATTEST:**

\_\_\_\_\_  
Mandy Miller  
Development Services Supervisor



# Tower Road Apartments

## City Council Meeting

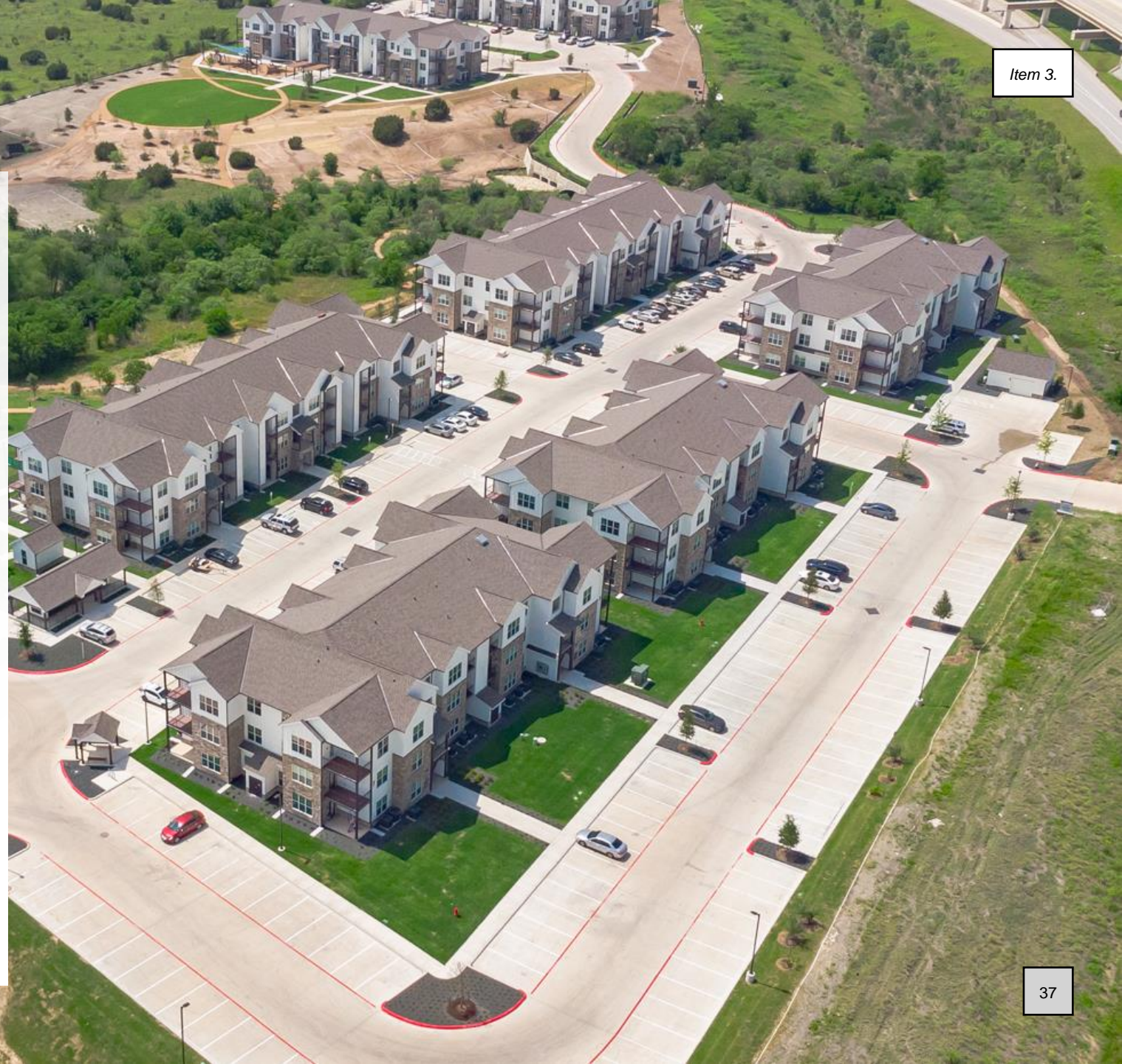
What we do hits H O M E





# DOMINIUM

## About Us





# Dominium

Focused on results and long-term value

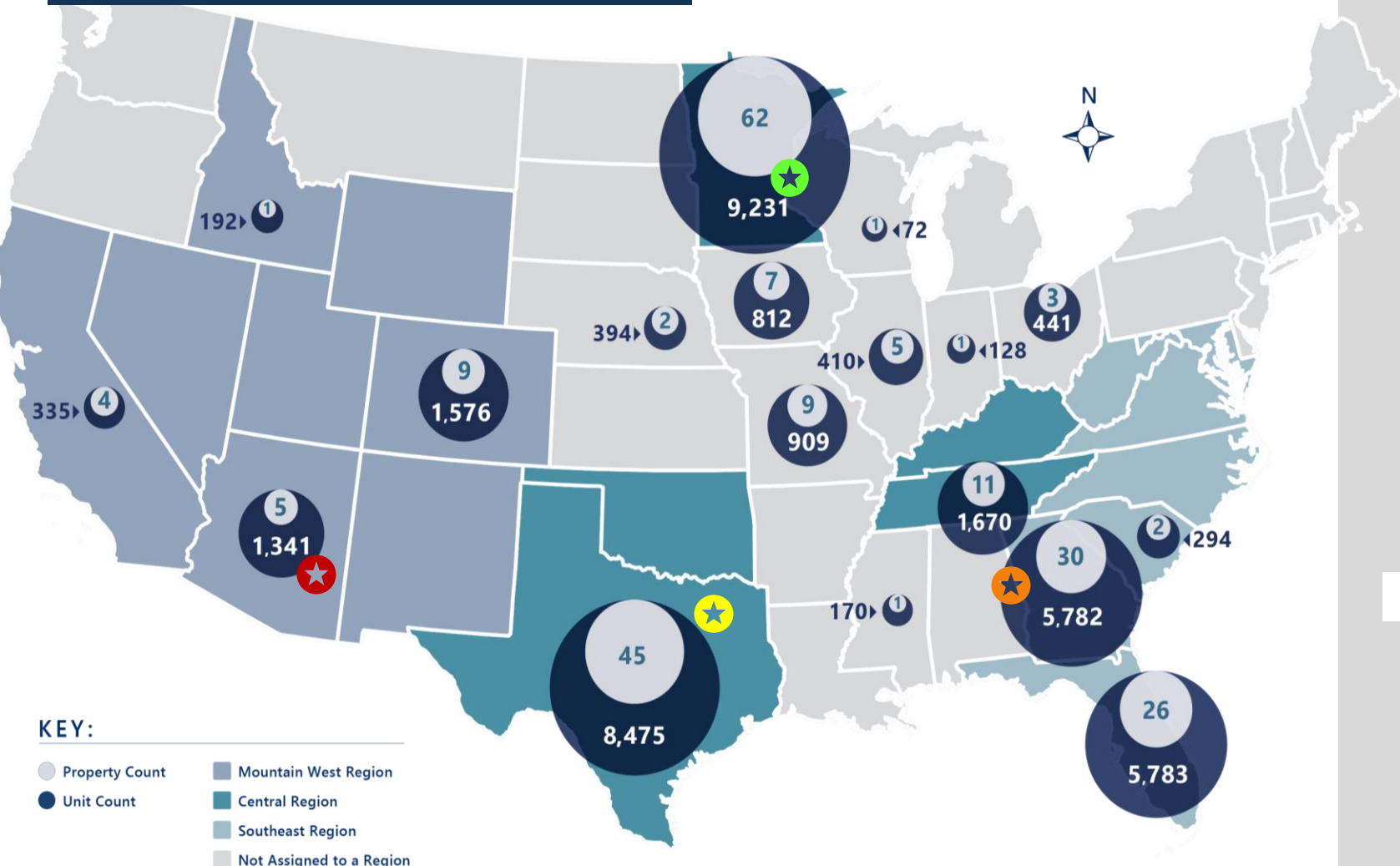
- Founded in 1972
- 2<sup>nd</sup> largest private developer of workforce housing
- Over 220 properties in portfolio nationwide
- Four regional offices, own properties in 19 states
- On track to become the country's pre-eminent developer, owner, and property manager of high-quality, workforce housing



Crossroad Commons  
Austin, TX



FOOTPRINT BY STATE



KEY:

Property Count

Unit Count

Mountain West Region

Central Region

Southeast Region

Not Assigned to a Region

\*Data as of 04.2023

PORTFOLIO	SITES	UNI
TOTAL	225	38,207

PROPERTIES OWNED FOR:

0-4 Years:	82	10-14 Years:	40
5-9 Years:	63	15+ Years:	40
Site:	838		
Corporate:			
Property Management	122		
Corporate Services/HR	170		
Development/Construction	101		

TOTAL	1,231
-------	-------

REGIONS	OFFICES	MSA GROWTH <sup>1</sup>
Southeast	Atlanta <sup>2</sup>	5,409,115
	Tampa <sup>3</sup>	
	Washington DC <sup>3</sup>	
Central	Dallas <sup>2</sup>	3,785,341
	Minneapolis <sup>2</sup>	
Mountain West	Phoenix <sup>2</sup>	2,814,835
	Denver <sup>3</sup>	

<sup>1</sup> Regional MSA growth 2010-2019 | <sup>2</sup> Regional Headquarters Office | <sup>3</sup> Development

# Giving Back to Our Communities

Item 3.

## DOMINIUM GIVES

### DONATES



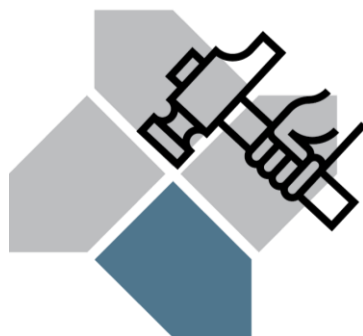
#### DOMINIUM FOUNDATION

Direct donations to organizations that build stronger families and neighborhoods

Includes a Scholarship Program and Resident Internship Program

2019-2021: \$8.0mm

### BUILDS



#### DOMINIUM PRO BONO PROGRAM

Free development services to nonprofit housing providers

To date, more than 2,500 workforce units across 13 developments worth over \$860mm

Closed or working on over 700 units designed to address U.S. homeless crisis

### ASSISTS



#### DOMINIUM EMPLOYEE EMERGENCY FUND (EEF)

Employees donate to assist colleagues

Funds available for employees in need

Employee participation of more than 35%

Helping 86 families annually

### VOLUNTEERS



#### DOMINIUM VOLUNTEER PROGRAM

Aligns company resources with employee passion

Dominium donates matching funds

750 Employees

30,000 Hours





# DOMINIUM

## Development Overview

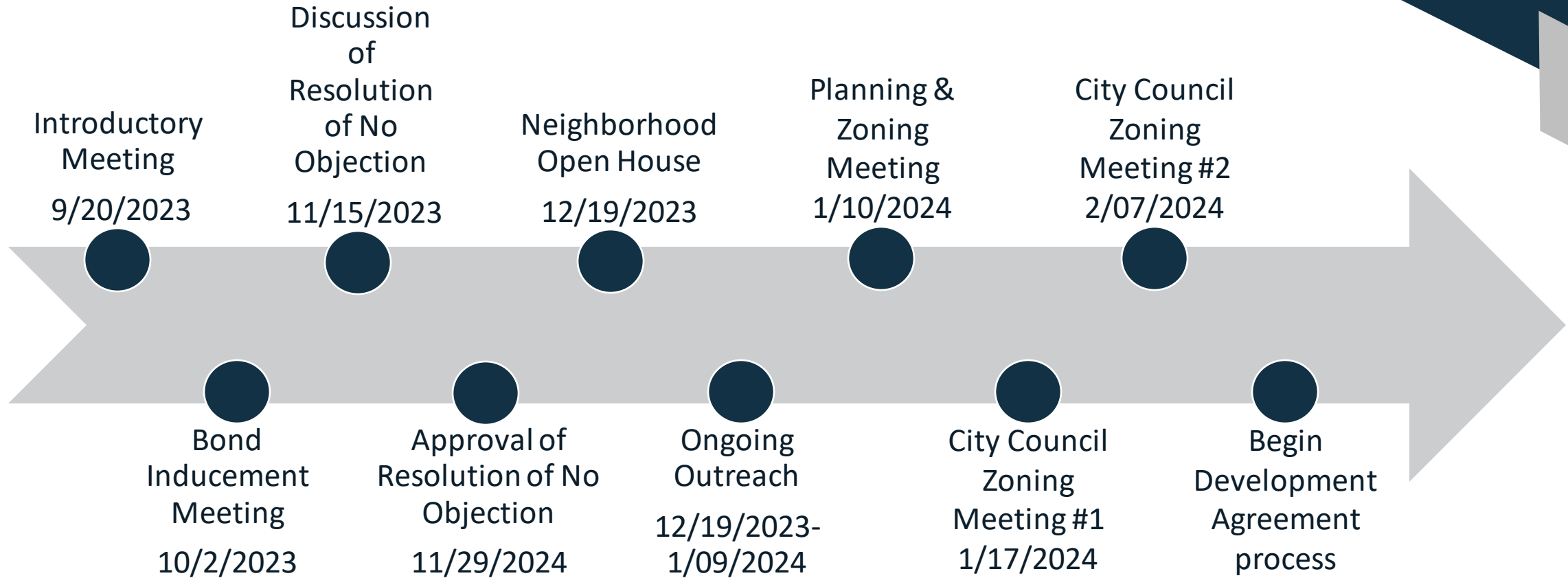
# Manor Housing

- In February, City Council set the following housing goals:
  - Add an economic development tool
  - Building a community to support fixed wage-earning professionals
  - Address affordable housing initiatives
  - Build a collaborative public private partnership
  - Building a housing product that is needed in the community.
- Partnership with the City of Manor will allow Dominion to provide the residents of Manor with rents that are restricted and lower than the market rate average.



## DOMINIUM

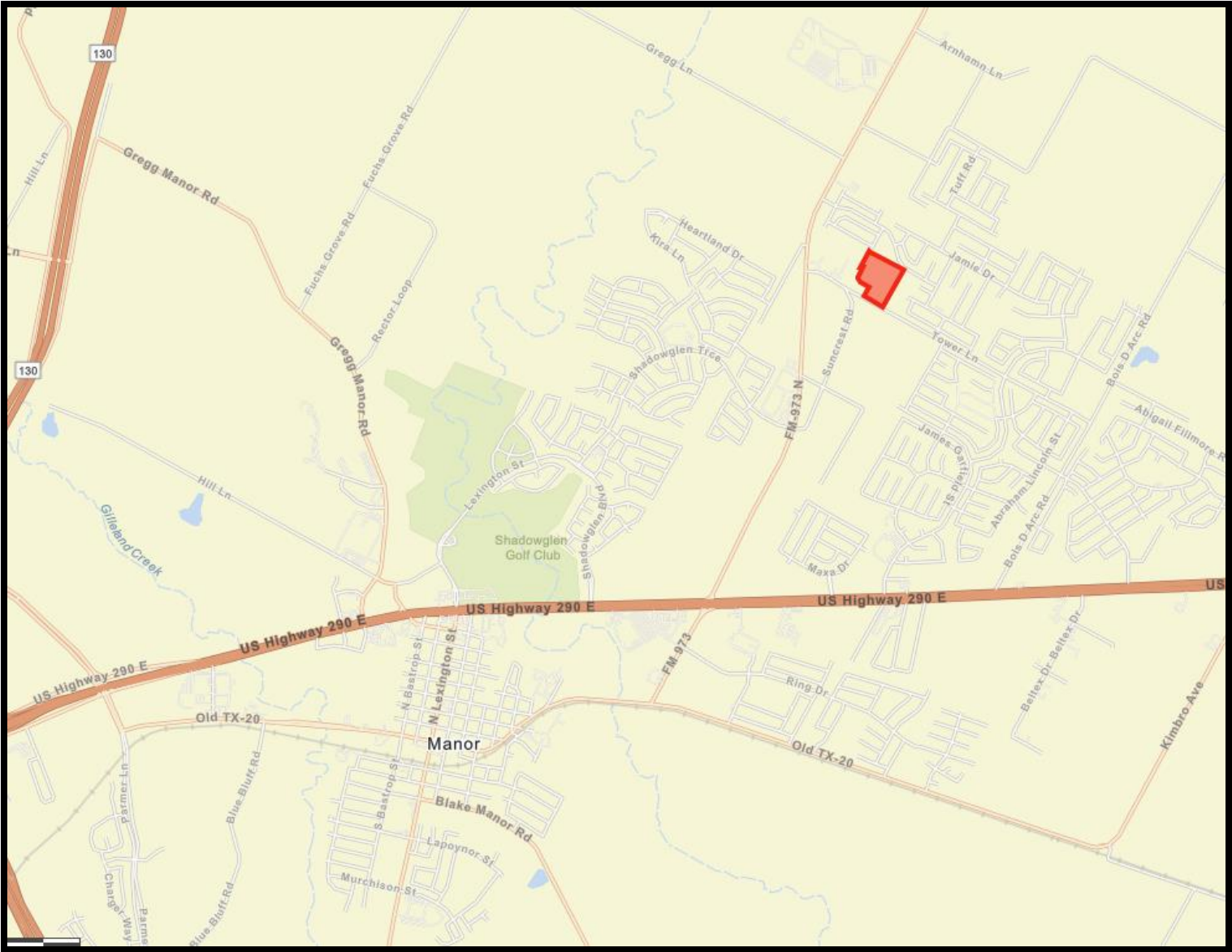
# Milestones





# Location

Item 3.



# Unit Types & Restrictions

- Total of 324 units: 72 Two Bedroom, 186 Three Bedroom, 66 Four Bedroom
- 100% of the units will be income restricted to 60% Area Median Income through a 30-year period.
- Rents: \$1,512 – \$1,744 – \$1,940
- Income Limits Per Bedroom Type
  - 2 Person Income Limit – \$56,100
  - 3 Person Income Limit – \$63,120
  - 4 Person Income Limit – \$70,080





# Concept Site Plan





# Zoning

- The site is zoned for Industrial Use.
  - The proposed development will establish a buffer zone between the industrial and residential homes
  - Marketing efforts on the tract for other uses have proved unsuccessful
- Manor Comprehensive Plan – Mixed Density Neighborhoods
- Access Points will be off Tower Road.
- Ordered a traffic study to analyze traffic impact
- Fencing, landscaping, and screening requirements will be followed.

















# Comparable Community Rendering

*Crossroad Commons – Austin, TX*

Item 3.





# Completed Community

Crossroad Commons – Austin, TX

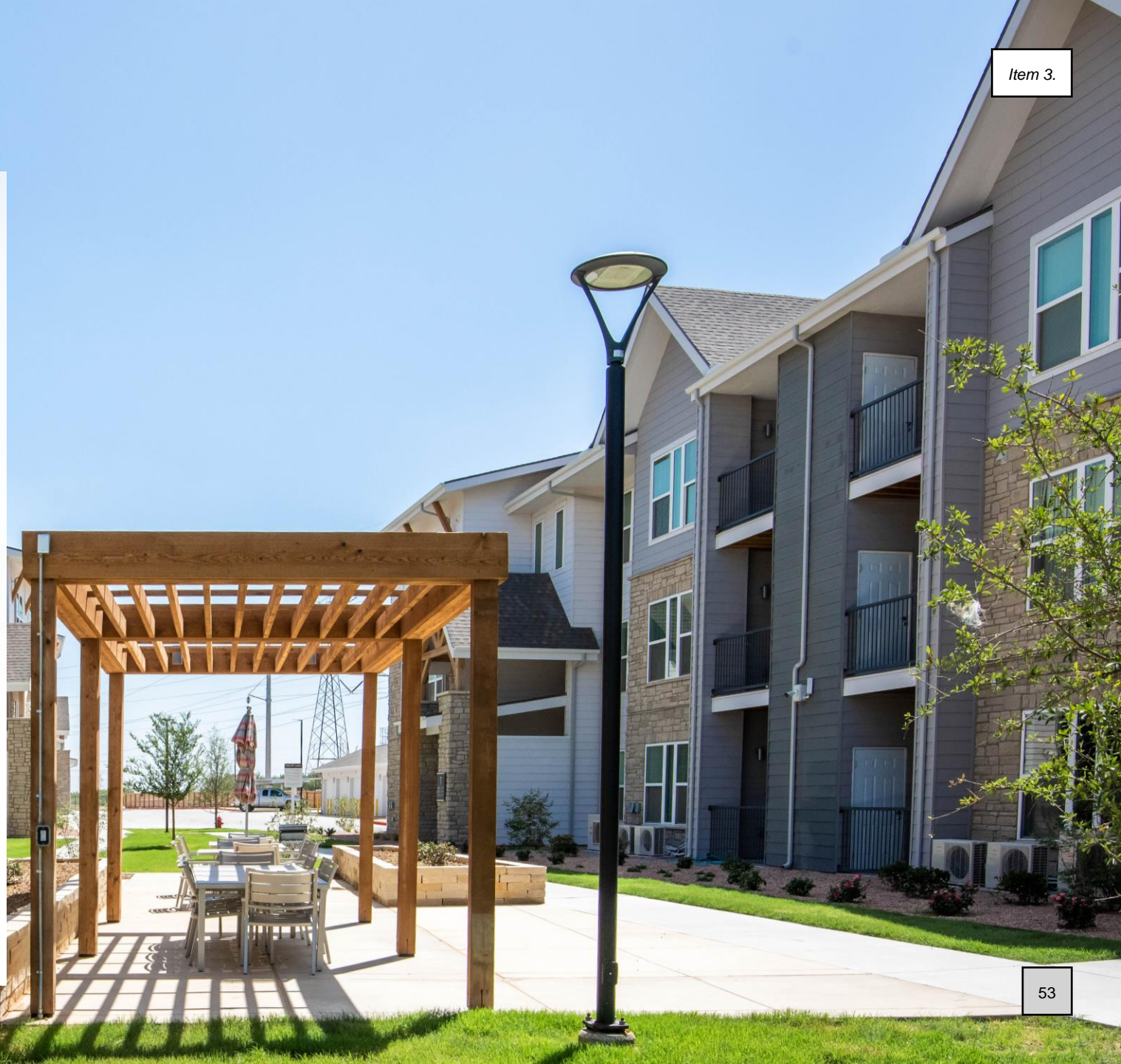
Item 3.







# DOMINIUM Development Amenities





# Amenity Overview

Item 3.

## In-Unit Amenities

- Private Balcony
- Full-size washer and dryer
- Gourmet Kitchens with full stainless steel appliance package
- Vinyl plank flooring, 9-foot ceilings, and walk-in closets

## Community Amenities

- Clubhouse
- Picnic and grill areas
- Fitness center
- Business Center
- Professional on-site management
- Outdoor dining ramadas
- Outdoor game area
- Swimming Pool
- Playgrounds
- Resident Cafe
- Community Kitchen
- Learning Center



# In-Unit Amenities

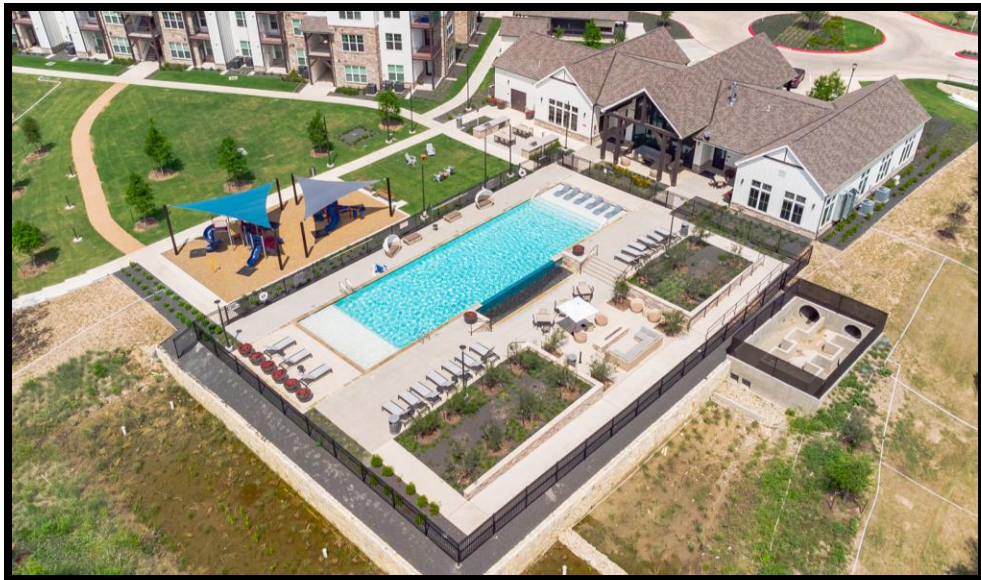
Item 3.





# Community Amenities

Item 3.





# Resident Services

Resident services are provided in all Dominion communities. Below are the resident services we provide to our Crossroad Commons Community in Austin, TX.

- Annual income tax preparation (offered by an income tax prep service) or IRS-certified VITA (Volunteer Income Tax Assistance) program.
- Annual health fair provided by a health care professional.
- Twice monthly arts, crafts, and other recreational activities.
- Twice monthly on-site social events.
- Monthly food pantry.
- Quarterly events through partnerships with local law enforcement and first responders

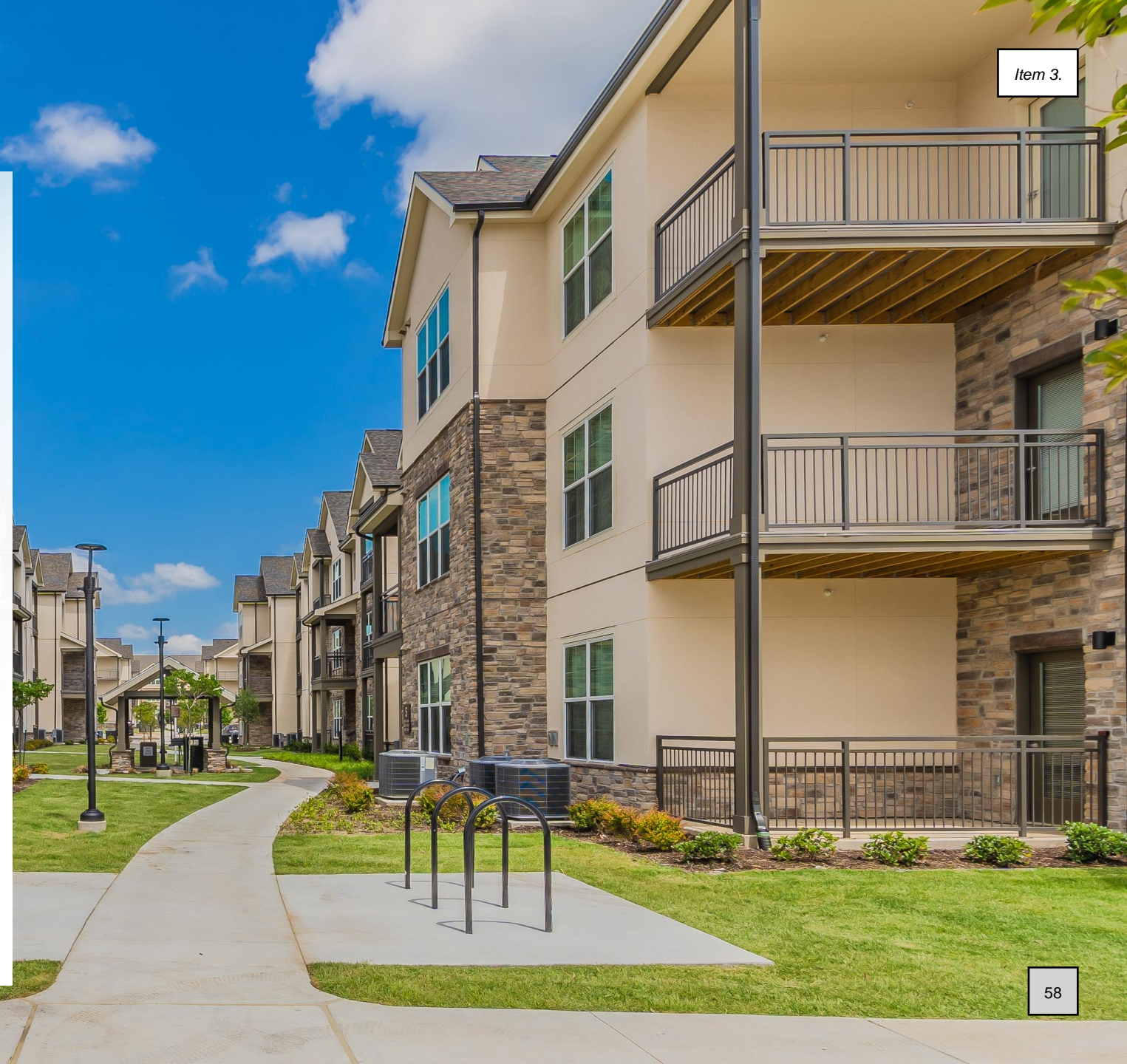






# DOMINIUM

## Residents & Rent Savings





## **Daniela and Her Daughter**

Enrollment Manager at  
iKids U Central Texas

Annual Income: \$52,000

2-Person Income Limit: \$56,100

2-Bedroom Rent: \$1,512



\*PER PUBLISHED SALARIES ON ZIPRECRUITER

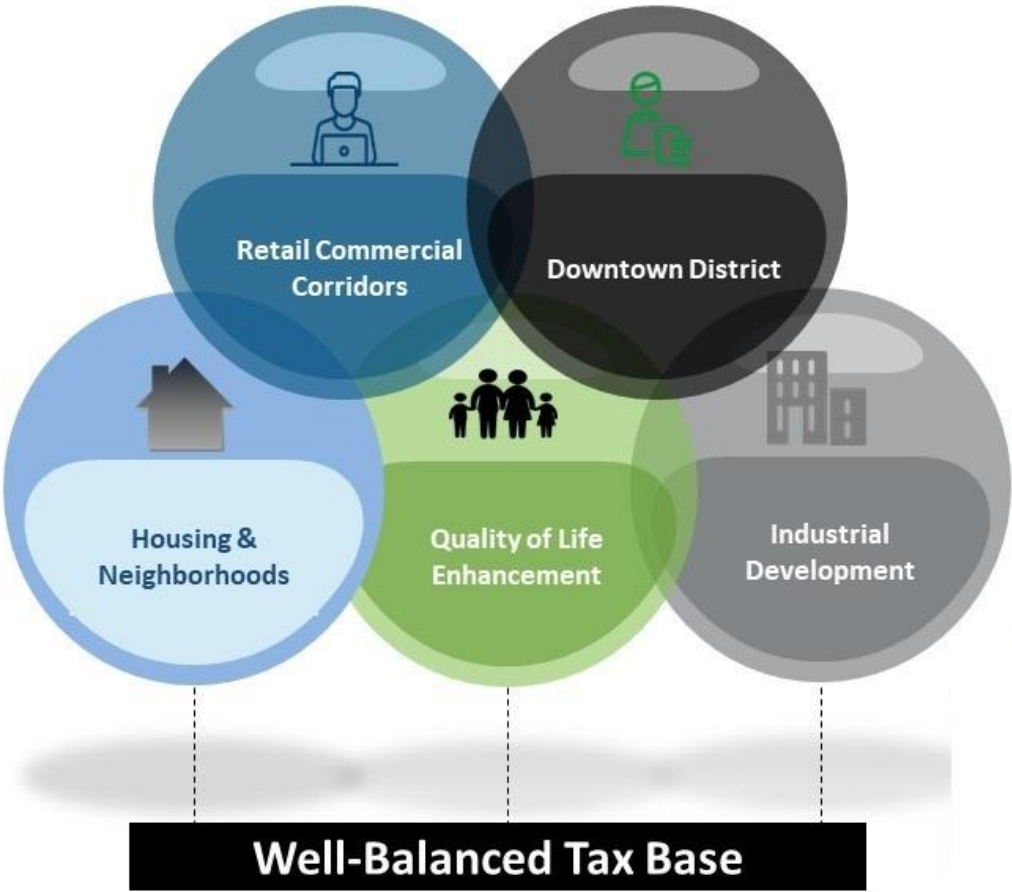
**Umar & Sarah K and Two Kids**  
Education Assistant at ShadowGlen  
Elementary & Manor ISD Bus  
Mechanic

Annual Income: \$67,154  
4-Person Income Limit: \$70,080  
4-Bedroom Rent: \$1,940





# Housing as Economic Development



# Annual Benefit

Item 3.

## Two Bedroom Rent

- Our Rent – \$1,512
- Manor Market Rent – \$1,729
- Annual Resident Savings – \$2,604

## Three Bedroom Rent

- Our Rent – \$1,744
- Manor Market Rent – \$2,135
- Annual Resident Savings – \$4,692

## Four Bedroom Rent

- Our Rent – \$1,940
- Manor Market Rent – \$2,175
- Annual Resident Savings – \$2,820



# 15 Year Benefit

Item 3.

- **Two Bedroom**
  - Yearly Savings (Property Wide – 72 Units) - \$187,488
    - 3% Inflated Value Over 15 Years = \$3,440,764
- **Three Bedroom**
  - Yearly Savings (Property Wide – 186 Units) - \$872,712
    - 3% Inflated Value Over 15 Years = \$16,015,934
- **Four Bedroom**
  - Yearly Savings (Property Wide – 66 Units) - \$186,120
    - 3% Inflated Value Over 15 Years = \$3,415,658
- **Totals**
  - Yearly Savings (Property Wide – 324 Units) - \$1,246,320
    - 3% Inflated Value Over 15 Years = \$22,872,356







DOMINIUM

Community Outreach







SAFE | stop abuse for everyone



# Feedback

- Traffic
  - Adding center turn lane
  - Widening road
  - Relocating stop sign
  - Reconfiguring intersection
- Flooding
  - Currently there is a 24-inch pipe to convey water
  - Results in flooding in minor rainfall
  - Installation of four 3x6 box culverts
  - Two-year rain event will be kept under road
- Schools and Children
  - Addition of outdoor game area (ping pong, horseshoes)
  - Addition of after school learning center
  - Homework and tutoring services M-F, 15 hours / week
  - Partnership with ISD
    - Waiver of application fees
    - Pre-leasing event(s)



# Thank You



**David D'Amelio** 🧑

(214) 960-1309 📞

David.Amelio@dominiuminc.com ✉

**Neal Route** 🧑

(214) 960-1162 📞

nroute@dominiuminc.com ✉

DominiumApartments.com 🌐

**Nicholas Koutani** 🧑

(214) 233-3104 📞

Nicholas.Koutani@dominiuminc.com ✉



PROPERTY PROFILE

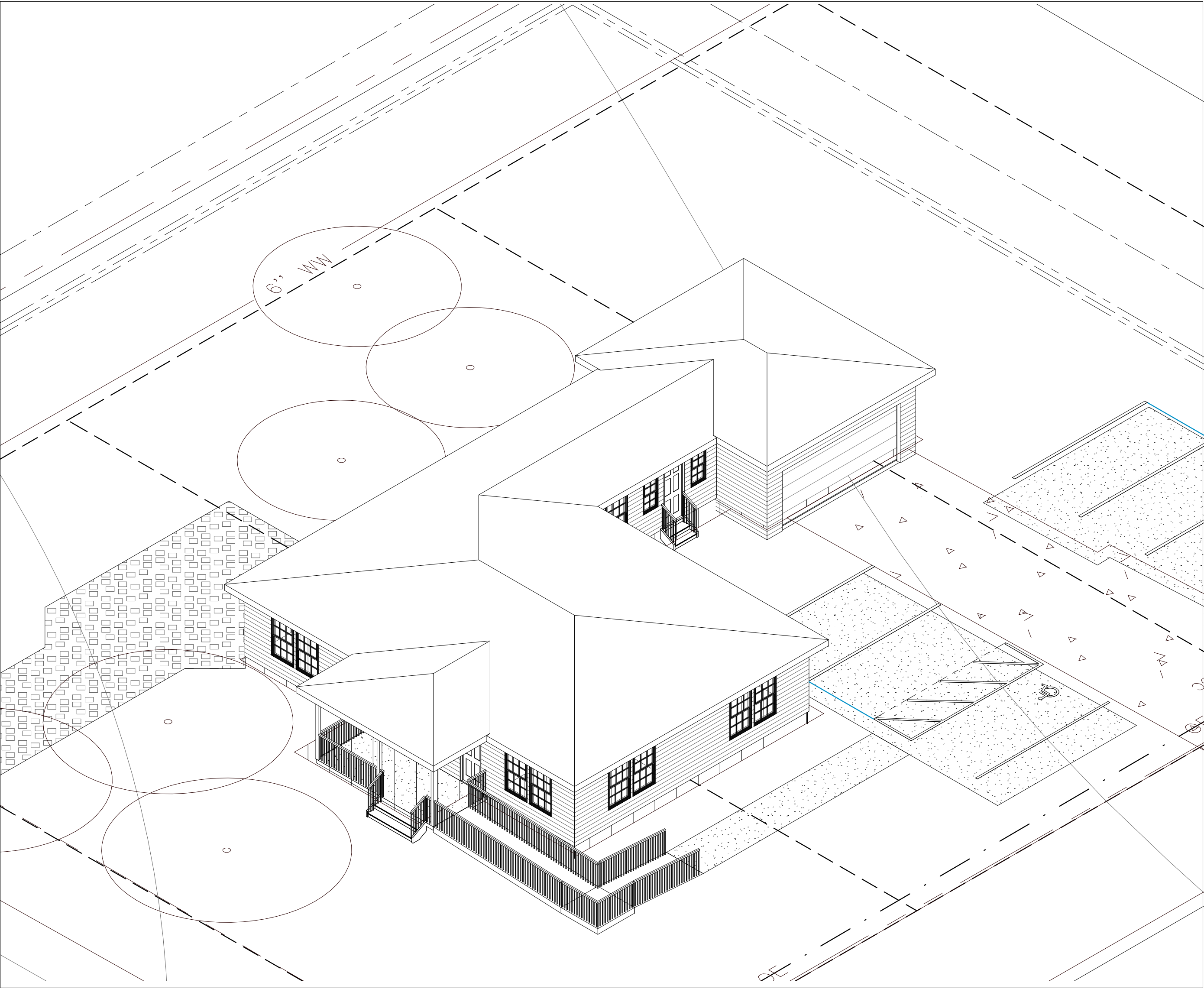
OWNER: GOSEY BOBBY AND SHELDONG LIVING  
ADDRESS: 800 LEXINGTON ST , 78653  
LEGAL DESCRIPTION: LOT 1 - 5 BLK 12 LANE A E ADDITION  
ZONING: NB  
PROPERTY ID: 240911  
LAND: 33, 730.69 SQFT ( 0.7744 ACRES )

SCOPE OF WORK

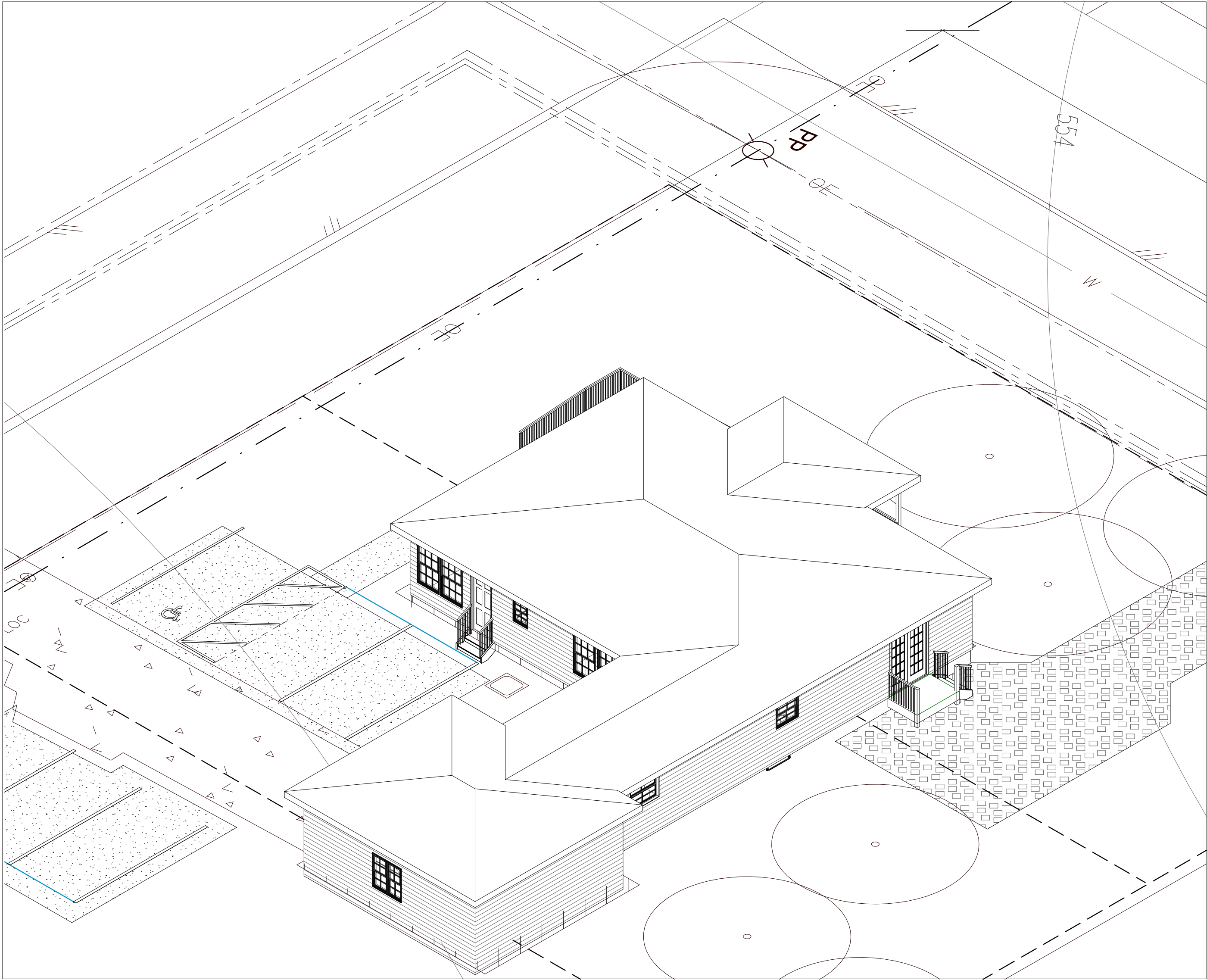
- NEW FUNERAL HOME TENANT FINISHOUT , NO ADDITION TO STRUCTUR, NEW STANDARD AND ADA PARKING LOTS

BUILDING AREA	
Area	Name
1685 SF	1ST FLOOR
0 SF	Concrete Flatwork
115 SF	FRONT PORCH
471 SF	GARAGE
2272 SF	
2272 SF	

SHEET LIST			
SHEET NAME	SHEET #	DRAWN BY	APPROVED BY
TITLE PAGE	A0	Author	Approver
SITE PLAN	A101	Author	Approver
EROSION CONTROL PLAN	A102	Author	Approver
TREE PLAN	A103	Author	Approver
TREE PLAN CONT.	A104	Author	Approver
EXISTING / DEMO	A106	Author	Approver
NEW FLOOR PLAN	A106.1	Author	Approver
ACCESSIBILITY PLAN	A106.2	Author	Approver
EXISTING ELEVATIONS	A201	Author	Approver
EXISTING ELEVATIONS	A202	Author	Approver
NEW ELEVATIONS	A203	Author	Approver
NEW ELEVATIONS	A204	Author	Approver
SCHEDULE	A601	Author	Approver
ELECTRICAL	E1	Author	Approver
GENERAL NOTES	G1	Author	Approver
ADA NOTES	G2	Author	Approver

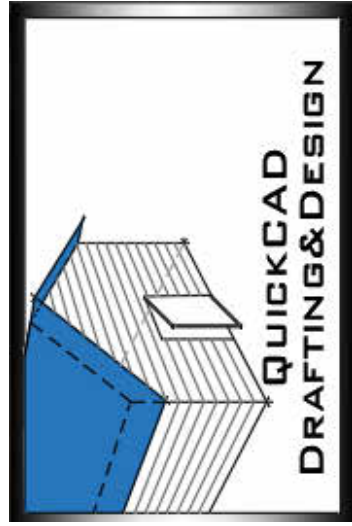


1 FRONT AXON



2 BACK AXON

REV. #	DESC.	DATE



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Ste#105, Austin TX

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Equickcaddesign@outlook.com

Project Number

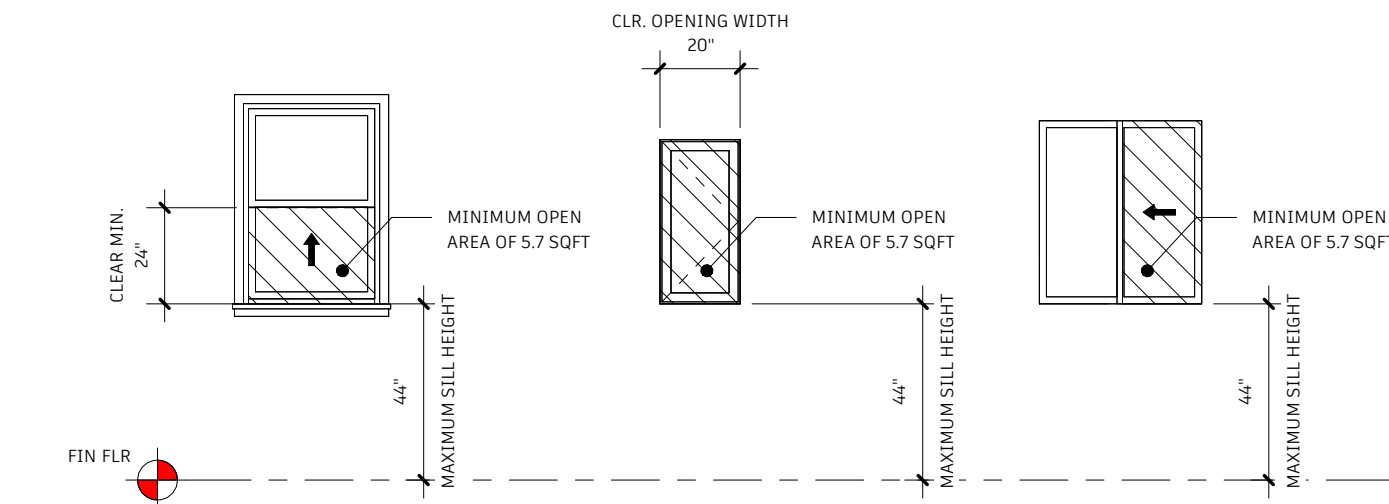
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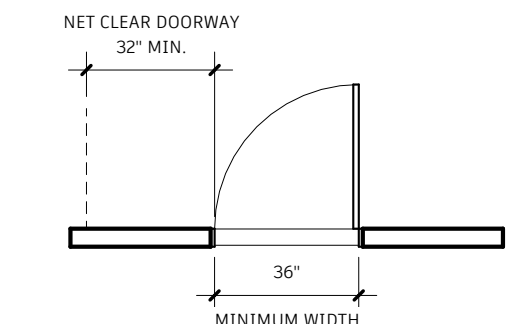


DOOR & WINDOWS NOTES

- ALL DOORS AND WINDOWS MUST COMPLY WITH CURRENT BUILDING CODES.
- ALL INTERIOR DOORS 6'8 HOLLOW. UNLESS OTHERWISE NOTED.
- EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH A SILL FINISH HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPEN AREA OF 5.7 SQFT.
- EGRESS WINDOWS SHALL NOT HAVE AN OPERABLE AREA LESS THAN 20"WIDE OR 24" HIGH.
- DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1- 3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOORS SHALL BE SELF CLOSING.
- EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOORS SHALL BE OPERABLE FROM INSIDE WITH OUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS.
- THESE DOCUMENTS REFLECT NOMINAL WINDOW SIZES. WINDOW MANUFACTURER TO USE STANDARD SIZES UNLESS NOTED OTHERWISE



EGRESS WINDOW  
1/4" = 1'-0"



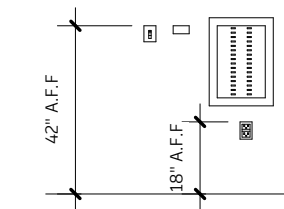
EGRESS DOOR  
1/4" = 1'-0"

GLAZING/WINDOWS NOTES

- GLAZING IN SIDE HINGED DOORS EXCEPT JALOUSIES.
- GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD CLOSET DOORS ASSEMBLIES.
- GLAZING IN STORM DOORS
- GLAZING IN ALL UNFRAMED SWINGING DOORS.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITH-IN A 24 INCH ARC OF THE DOOR IN A CLOSED POSITION. AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES FROM THE FLOOR OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL OTHER THAN THOSE LOCATIONS DESCRIBED ABOVE, THAT MEETS ALL THE FOLLOWING CONDITIONS.
  - EXPOSED ARE OF AN INDIVIDUAL PANE GREATER THAN 9 SQ FT.
  - TOP EDGE GREATER THAN 36" ABOVE FINISHED FLOOR.

ELECTRICAL NOTES

- ALL INSTALLATION TO BE IN ACCORDANCE WITH LOCAL CODES AND THE NATIONAL ELECTRICAL CODE.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND INSPECTIONS.
- CONVENIENCE OUTLETS TO BE MOUNTED AT 18" A.F.F MAX.
- OUTLETS MOUNTED ABOVE CABINETS TO BE 6" ABOVE THE NOMINAL WORKING SURFACE AREA. SPECIALTY OUTLETS AS NOTED OR ACCORDING TO STANDARD PRACTICE.
- REFRIGERATOR AND APPLIANCES OUTLETS SHALL BE AT 44" A.F.F
- BATHROOM OUTLETS LABELED CT SHALL BE MOUNTED 6" ABOVE COUNTER.
- SWITCH BOXES TO BE MOUNTED 42" MAX A.F.F TO CENTERLINE OF BOX CLUSTER.
- MICROWAVE OUTLETS SHALL BE 20AMP. SEPARATE.
- ATTIC LIGHT SWITCH BOX TO BE MOUNTED AT 84" A.F.F.
- ATTIC LIGHTS SWITCH TO BE KEYLESS FIXTURE WITH INTEGRATED CONVENIENCE OUTLET LOCATED CONVENIENT TO ACCESS.
- WASHER TO HAVE SEPARATE 20 AMP DUPLEX OUTLET AT 44" A.F.F
- DRYER TO HAVE SEPARATE 220V 30AMP SINGLE OUTLET AT 44" A.F.F
- ALL EXTERIOR OUTLETS TO BE GFCI AND WEATHERED PROTECTED.
- TELEPHONE OUTLETS: PROVIDE BOX AT 14" A.F.F.FOR 6" ABOVE COUNTER.
- CABLE OUTLETS: PROVIDE BOX AT 14" A.F.F OR 6" ABOVE COUNTER.
- SMOKE ALARMS SHALL COMPLY W/NFPA72 & SECTION R314 OF THE INTERNATIONAL RESIDENTIAL CODE.

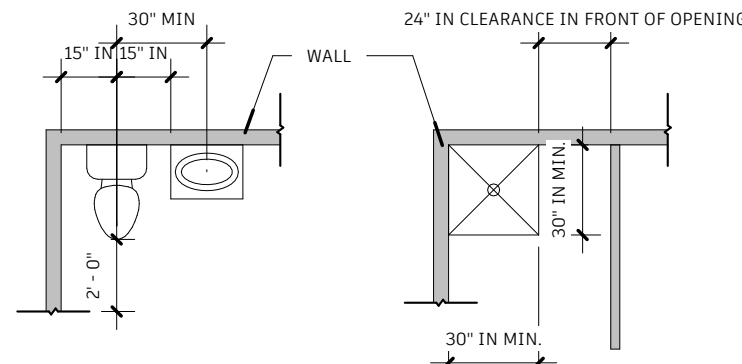


ELECTRICAL HEIGHT GUIDE  
1/4" = 1'-0"

GENERAL CONTRACTOR NOTES

- THESE PLANS ARE INTENDED TO PROVIDE THE BASIC CONSTRUCTION INFORMATION NECESSARY TO CONSTRUCT THIS STRUCTURE.THESE PLANS MUST BE FIELD VERIFIED AND CHECKED COMPLETELY BY THE GENERAL CONTRACTOR OR SUB-CONTRACTOR IN AUTHORITY FOR THE JOB. ANY DISCREPANCIES, ERROR, AND/OR OMISSION IF FOUND IS TO BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCING CONSTRUCTION,WORK, OF PURCHASE MADE.
- ALL CODES, ORDINANCES, AND REQUIREMENTS FEDERAL, STATE, AND LOCAL, TAKE PRECEDENT OVER ANY PART OF THESE DOCUMENTS, WHICH MAY CONFLICT WITH THESE AGENCIES RULES AND OR REGULATIONS AND MUST BE ADHERED TO BEFORE AND DURING CONSTRUCTION.
- ALL NOTES & DRAWINGS SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS AS PRODUCED BY THE INTERNATIONAL CODE COUNCIL. ALL REFERENCES WERE/ARE TAKEN FORM THE 2021 ISSUE.
- UNLESS OTHER WISE PERMITTED OR REQUIRED BY THE DRYER MFG, INSTALLATION INSTRUCTION OR APPROVED BY THE BLDG OFFICIAL DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF A 14' INCLUDING TWO 90 D ELBOWS IN EXCESS OF TWO.
- ATTIC ACCESS ARE PROVIDED ON PLANS TO SERVICES MECH. EQUIPMENT AND LIMITED LIGHT STORAGE BUT IN NO CASE SHALL THE COMBINED DECK ATTIC AREAS EXCEED 500 PSF.
- SHOWER STALLS TO BE TILED FLOOR TO CEILING.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOM THROUGH NATURAL OR MECHANICAL MEANS AND COMPLY WITH R303.3 AND R303.4.
- APPROVED SMOKE DETECTORS LOCATIONS SHALL COMPLY WITH SECTION R314.
- IF AN ENGINEER STAMP/PLANS HAVE BEEN SUPPLIED BY OTHER AND ARE PRESENT. THE ENGINEER OF RECORD SHALL BEAR ALL STRUCTURAL RESPONSIBILITIES OF THE STRUCTURE CONTAINED HEREIN.
- ALL ANGLES TO BE 45 D UNLESS NOTED OTHERWISE.
- DIMENSIONS SHOWN ON THE FLOOR PLAN ARE NOMINAL, SLIGHT FIELD ADJUSTMENTS MAY BE NECESSARY TO ALLOW FOR ACTUAL MATERIAL SIZES AND PRACTICALITY OF THE CONVENTIONAL CONSTRUCTION METHODS. DETAILS AND NOTES NOT PROVIDED WITH THE DRAWINGS SHOULD BE PROVIDED BY THE MFG.
- ALL AGREEMENTS AS OUT IN THE CONSTRUCTION AGREEMENT SHALL HOLD PRECEDENCE OVER ANY SPECIFICATIONS AS OUTLINED OR DEFINED IN THESE DRAWINGS.
- INSULATE FOR SOUND AT ALL BATHS, MECH., AND LAUNDRY ROOM.
- ANY WORK COMPLETED BY ANY SUBCONTRACTOR SHALL BE ONLY CONDUCTED UPON A WRITTEN AGREEMENT/CONTRACT BETWEEN THE BUILDER AND SAID SUBCONTRACTOR WITH THE FULL SCOPE OF WORK TO BE COMPLETED DULY NOTE IN THE PROPOSAL. IN ADDITION THE AGREEMENT/CONTRACT SHALL ALSO STATE EXACT COSTS TO BE INCURRED AND FULL DRAW AND PAYMENT INSTRUCTIONS/DEMANDS. NO SUBCONTRACT SHALL CHANGE ANY SPECIFICATION AS DEFINED BY THESE DRAWINGS WITHOUT THE WRITTEN CONSENT FROM BOTH THE OWNER AND BUILDER.
- BUILDER SHALL NOTE THE FOLLOWING SPECIFIC CONSTRUCTION GUIDELINES IN ADDITION TO THE GENERAL NOTES SUPPLIED IN THESE DRAWINGS.

- ALL WINDOWS SHALL BE APPROVED LOW E GLASS
- FURNACES INSTALLED SHALL MEET A MINIMUM OF AN 80% AFUE RATING
- ALL AIR CONDITIONING SYSTEMS SHALL BE A MINIMUM OF 12 SEER UNITS AS PER 2021 INTERNATIONAL ENERGY CONSERVATION CODE IECC.
- MECHANICAL DUCTING REFER TO 2021 IECC REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE A MINIMUM OR R-13 INSULATION.
- ALL CLOSED DOOR ROOMS SHALL RECEIVED A RETURNED AIR GRILL FOR PROPER AIR CIRCULATION.



TOILET AND SHOWER MIN CLEARANCES  
PER IRC  
3/16" = 1'-0"

2017 NEC GFCI REQUIREMENTS FOR DWELLING UNITS

ARTICLE 210.8 STATES THAT GROUND FAULT INTERRUPTERS SHALL BE USED FOR ALL 125 VOLT SINGLE PHASE 15 AND 20 AMP RECEPTACLES IN THE FOLLOWING LOCATIONS.

- BATHROOM: ALL RECEPTACLES
- EXCEPTIONS: RECEPTACLES SUPPLYING ONLY PERMANENTLY INSTALLED FIRE ALARM OR BURGLAR ALARM SYSTEM, RECEPTACLES THAT ARE NOT READILY ACCESSIBLE, RECEPTACLES ON A DEDICATED CIRCUIT AND LABELED FOR USED WITH A PLUG-IN EQUIPMENT.
- KITCHENS: ALL RECEPTACLES SERVING COUNTERTOP AREAS AND ANY RECEPTACLE WITHIN 4 FEET OF A SINK.
- LAUNDRY, UTILITY, AND WET BARS: WHERE RECEPTACLES ARE PLACED WITHIN SIX FEET OF THE OUTSIDE EDGE OF THE SINK.

CODES TO FOLLOW

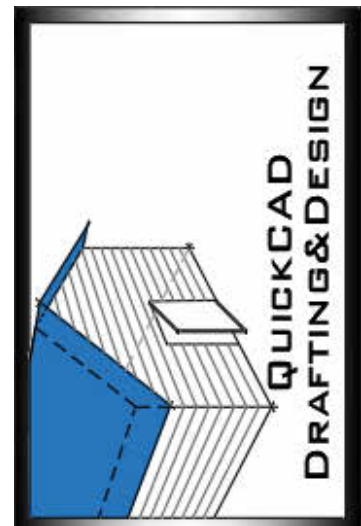
- INTERNATIONAL BUILDING CODE 2021
- INTERNATIONAL RESIDENTIAL CODE 2021
- INTERNATIONAL ENERGY CONSERVATION CODE 2021
- INTERNATIONAL FIRE CODE 2021
- UNIFORM MECHANICAL CODE 2021
- UNIFORM PLUMBING CODE 2021
- NATIONAL ELECTRICAL CODE 2020
- AMERICAN NATIONAL STANDARD ACCESSIBLE & USABLE

ABBREVIATIONS

ABV	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
A/C	AIR CONDITIONED UNIT
AB	ANCHOR BOLT
BR	BEDROOM
CAB	CABINET
CLG	CEILING
CSMT	CASEMENT
CLO	CLOSET
CL D	CLOTHES DRYER
CONC FLOOR	CONCRETE FLOOR
CNTR	COUNTER
DW	DISHWASHER
DWH	DOMESTIC WATER HEATER
DS	DOWNSPOUT
ESMT	EASEMENT
EXST GR	EXISTING GRADE
EF	EXTERIOR FINISH
FOS	FACE OF STUD
FOW	FACE OF WALL
FIN	FNISH
FF EL	FINISH FLOOR ELEVATION
FIN GR	FINISH GRADE
GA	GAUGE
GYP BD	GYPSUM BOARD
HC	HOLLOW CORE
HB	HOSE BIB
INSUL	INSULATION
LAU	LAUNDRY
MTL	METAL



BROWN FUNERAL HOUSE  
800 Lexington St, Manor TX



4926 Spicewood Springs RD  
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As Indicated

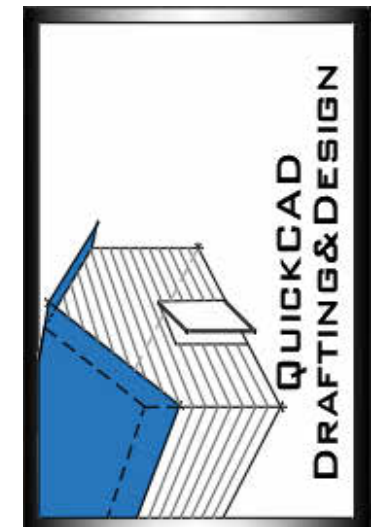
Project Number

G1

GENERAL NOTES



REV. #	DESC.	DATE



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As indicated

Project Number

A101

SITE PLAN

GENERAL SITE PLAN NOTES

- BUILDER TO RESCULPTURE TOPO/FINISHED GRADE TO PROVIDE PROPER DRAINAGE OF SURFACE WATER AWAY FROM BUILDING AS REQ'D.
- BUILDER TO CONFIRM FINAL LOCATION OF PROPOSED RESIDENCE
- UTILITY LINES DRAWN ON PLAN FOR REPRESENTATIONAL PURPOSES ONLY.GENERAL CONTRACTOR TO FIELD VERIFY UTILITY LINE LOCATIONS.
- EXPPOSED FOUNDATION TO BE A MINIMUM OF 8" AND A MAXIMUM OF 24" ABOVE FINISHED GRADE OR PER SUBDIVISION REQUIREMENTS, UNDERPIN ALL EXPOSED FOUNDATIONS.
- VERIFY METER AND UTILITY SERVICE LOCATIONS PRIOR TO INSTALLATION.
- EROSION CONTROL BARRIERS TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- STABILIZED TEMPORARY CONSTRUCTION DRIVEWAY TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONFIRM ALL DRIVEWAY, WALKWAY AND PVC LAYOUTS/LOCATIONS PRIOR TO COMMENCING WORK.
- PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALKS AND PATIOS.
- LOCATION OF MAILBOX AND EXTERIOR DRIVEWAY LIGHT(S) TO BE VERIFIED PRIOR TO INSTALLATION.
- ALL CONSTRUCTION MATERIALS AND WASTE TO BE STORED ON SITE DURING CONSTRUCTION.
- LANDSCAPE PLANS TO BE PROVIDED BY OTHERS AND PERMIT FOR SAME TO BE OBTAINED SEPARATELY FROM THESE PLANS.
- CONTRACTOR SHALL CLEAN UP AREAS AFFECTED BY DAILY WORK AND REMOVE DEBRIS AND MATERIALS FROM THE SITE UPON COMPLETION OF THE WORK.
- DRIVEWAY TO BE INSTALLED PER COUNTY ORDINANCES

SITE LEGEND		MIN CLEAR SPACE
-----	ROOF OVERHANG	
●	TREE TRUNK	
////	ELECTRICAL SERVICE PANEL	
⏚	ELECTRICAL METER	
⛽	GAS METER	
⚓	WATER METER	
⚡	UTILITY POLE	
—OH— — —OH—	OVER HEAD LINES	
—X— —X— —X—	FENCE	
⚙	GRINDER PUMP	
⛽	PROPANE TANK	

SITE PLAN LEGEND  
1/4" = 1'-0"

PARKING REQUIREMENTS

BUILDING OCCUPANCY = GROUP A-3

FUNERAL PARLOR  
BUILDING OCCUPANCY = GROUP A-3

PARKING REQUIRED  
1 SPACE PER 300 SF OF SPACE +/- 1459 = 5 PARKING SPOTS  
1 to 25 RATIO ACCESSIBLE PARKING REQUIRED = 1

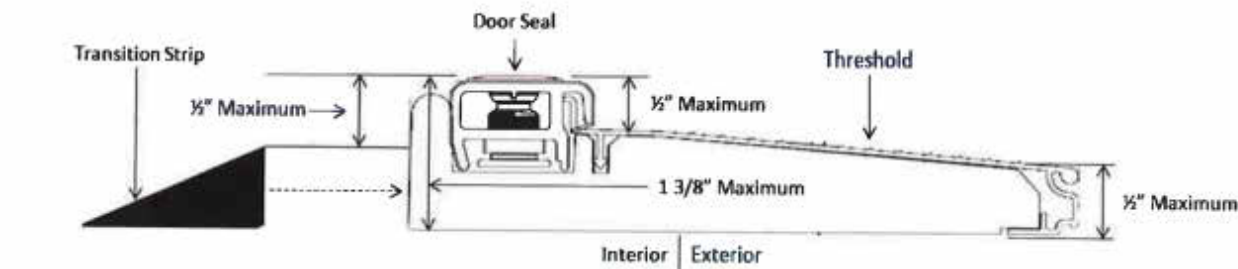
PARKING PROVIDED  
STANDARD PARKING = 5  
ACCESSIBLE PARKING = 1

TOTAL PARKING PROVIDED = 6

PARKING REQUIREMENTS  
3/8" = 1'-0"

VISITABILITY LEGEND

→	ACCESSIBLE / EGRESS ROUTE
□	MIN CLEAR SPACE
EXIT	EXIT SIGN DISPLAY 216.4.1 EXIT DOORS. DOORS AT EXIT PASSAGEWAY,EXIT DISCHARGE AND EXIT STAIRWAYS SHALL BE IDENTIFIED BY TACTILE SIGNS COMPLYING WITH 703.1, 703.2
FEC	FIRE EXTINGUISHER CABINET, RECESSED. PROVIDE OCCULT CABINET, STAINLESS FINISH WITH VERTICAL DUO WINDOW
⦿	VISITABLE ENTRANCE VISITABLE NO STEP ENTRY MAX 1/2" BEVELED THRESHOLD 3'X3' MIN LANDING WITH MAX 1/4"/' FT SLOPE



VISITABILITY LEGEND  
3/8" = 1'-0"

SITE PLAN  
3/32" = 1'-0"



GENERAL DEMOLITION NOTES

1. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
2. WHEN DEMOLITION IS INDICATED OF AN ASSEMBLY, ALL COMPONENTS OF THE ASSEMBLY SHALL BE REMOVED WHETHER HIDDEN WITHIN THE NEW WORK.
3. WHERE EXISTING CEILING IS INDICATED TO BE REMOVED, ALL COMPONENTS OF THAT ASSEMBLY SHALL BE REMOVED. DUCTWORK WILL REMAIN IN PLACE UNLESS OTHERWISE NOTED.
4. BUILDER SHALL COORDINATE THE TERMINATION AND RELOCATION OF ALL ELECTRICAL SYSTEMS, SWITCH GEAR, EQUIPEMENT, ETC. BEFORE STARTING ANY DEMOLITION OR REMOVAL OF ANY ASSEMBLIES.
5. REMOVE ELECTRICAL FIXTURES, WIRING, AND EQUIPMENT AS REQUIRED. REMOVE CONDUIT AND WIRES SERVICING ELECTRICAL EQUIPMENT TO DISTRIBUTION PANELS UNLESS OTHERWISE NOTED.
6. EXISTING UTILITIES TO REMAIN ARE TO BE KEPT IN SERVICE THROUGHT COURSE OF THE WORK. CERTAIN SERVICE ELEMENTS MAY BE LOCATED IN AND THROUGH DEMOLISHED ASSEMBLIES. THESE SERVICES SHALL BE REMOVED, RE ROUTED, AND REPLACED AS REQUIRED BY THE BUILDER.
7. IF ANY CONFLICT BETWEEN ELECTRICAL, MECHANICAL, OR STRUCTURAL ELEMENTS IN REGARDS TO THE DESIGN SHOULD OCCUR, THE BUILDER IS RESPONSIBLE FOR CONTACTING THE ARCHITECT.
8. REMOVE TELEPHONE FIXTURES, WIRING, AND EQUIPMENT AS REQUIRED.
9. UPON COMPLETION OF DEMOLITION WORK, ALL TOOLS, EQUIPMENT, AND DEMOLISHED MATERIALS ARE TO BE REMOVED FROM THE SITE. PROTECTION APPLIED TO ANY FINISH WORK IS TO BE REMOVED AND INTERIOR AREAS ARE TO BE LEFT BROOM CLEAN.

DEMOLITION KEY NOTES

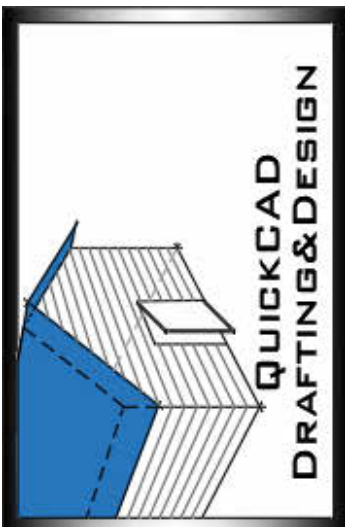
1	DEMO FOR NEW DOOR OPENING 4'WX7'H
2	REMOVE EXISTING VANITY SINK , REPLACEC WITH ADA COMPLIANCE
3	REMOVE AND DISPOSE TUB, PLUBING FIXUTRES AND RELATED FINISHES
4	REMOVE DOOR AND TRIM
5	DEMO WALL FORE NEW DOOR OPENING 5'WX7'H
6	REMOVE PORTION RAIL TO ALLOW NEW ADA RAMP
7	REMOVE AND CAP OFF EXISTING PLUMBING FIXTURES

EXAMPLES OF DEMO NOTES  
DELETE THOSE NOT NEEDED

DEMOLITION LEGEND

	WALLS, FLOORS, AND FIXTURES TO BE DEMOLISHED
	WINDOWS TO BE REMOVED
	DOOR TO BE REMOVED

REV. #	DESC.	DATE



4926 Spicewood Springs RD  
Ste#105, Austin TX

T: 512-822-5143  
Equickcaddesign@outlook.com

As indicated

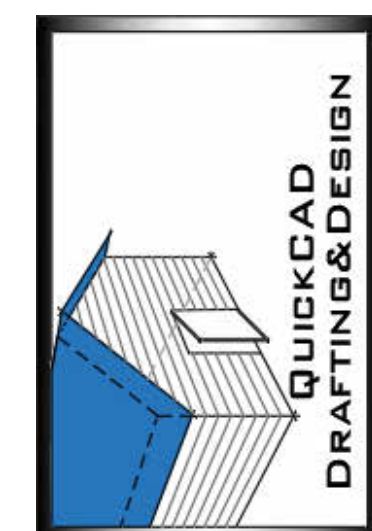
Project Number

A106

EXISTING / DEMO



800 Lexington St, Manor TX

[illegible]

Project Number

NEW FLOOR PLAN

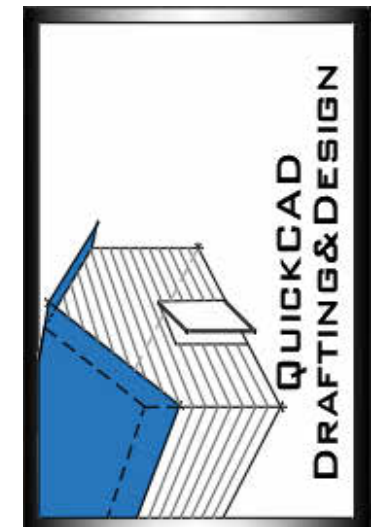
REMODEL KEY NOTES	
1	NEW INTERIOR DOUBLE DOOR 5'W X 6'8"H
2	NEW EXTERIOR DOOR 5'W X 6'8" H
3	NEW WALL HANG ADA COMPLIANT SINK
4	INSTALL NEW SAFETY GRAB BARS
5	NEW ADA COMPLIANT RAMP REFERE TO ADA GENERAL NOTES FOR SLOPE,HANDRAILS AND LANDINGS
6	REMOVE PORTION RAIL TO ALLOW NEW ADA RAMP
7	REMOVABLE SAFETY CHAIN

$$1/4'' = 1'-0''$$

1 NEW FLOOR PLAN  
1/4" = 1'-0"



REV. #	DESC.	DATE



4926 Spicewood Springs RD  
Ste#105, Austin TX

T: 512-822-5143  
Equickcaddesign@outlook.com

As indicated

Project Number

A106.2

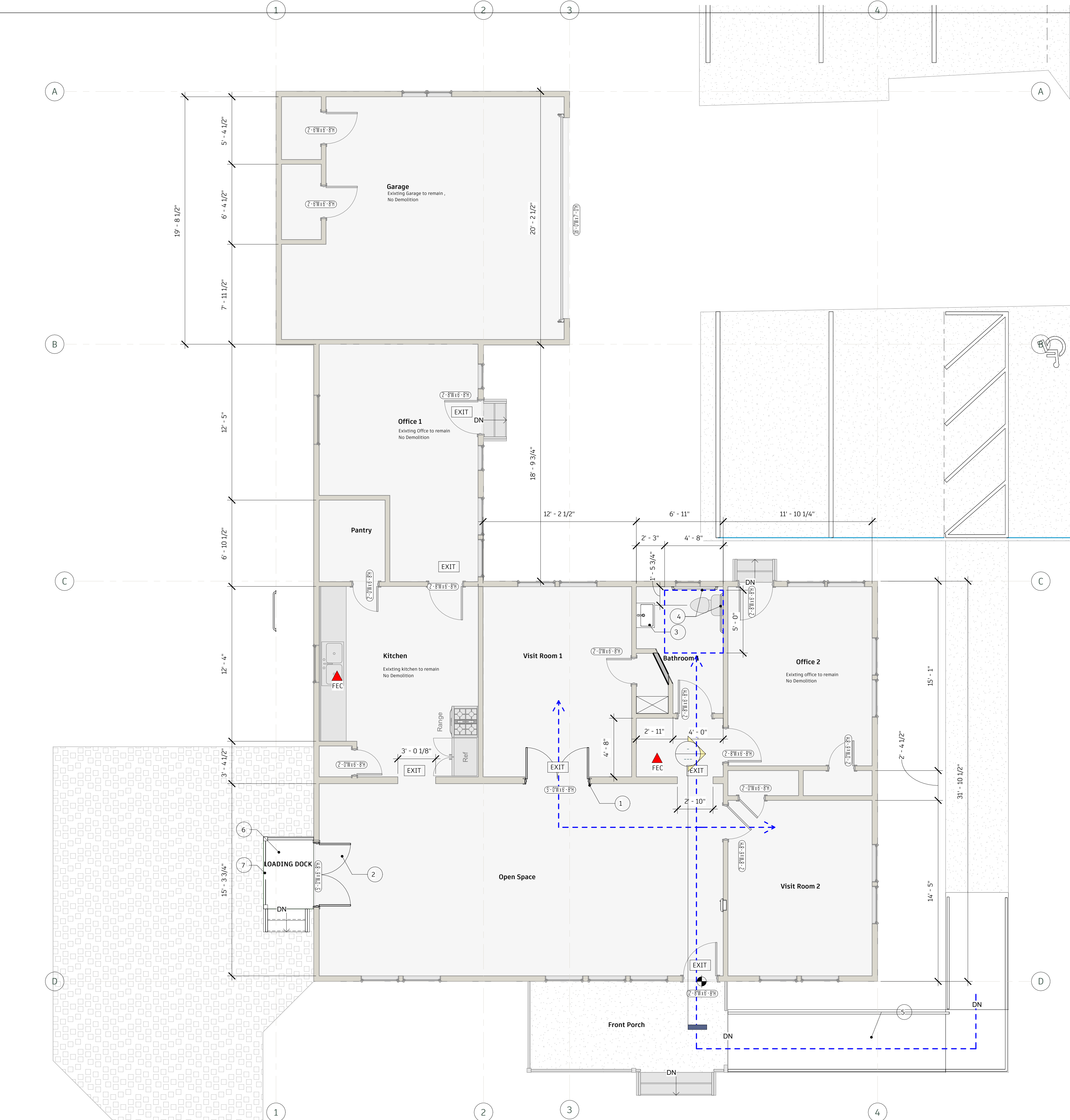
ACCESSIBILITY PLAN

REMODEL KEY NOTES	
1	NEW INTERIOR DOUBLE DOOR 5'W X 6'8"H
2	NEW EXTERIOR DOOR 5'W X 6'8" H
3	NEW WALL HANG ADA COMPLIANT SINK
4	INSTALL NEW SAFETY GRAB BARS
5	NEW ADA COMPLIANT RAMP REFERE TO ADA GENERAL NOTES FOR SLOPE,HANDRAILS AND LANDINGS
6	REMOVE PORTION RAIL TO ALLOW NEW ADA RAMP
7	REMOVABLE SAFETY CHAIN

REMODEL KEY NOTES  
1/4" = 1'-0"

VISITABILITY LEGEND	
	ACCESSIBLE / EGRESS ROUTE
	MIN CLEAR SPACE
	EXIT SIGN DISPLAY 216.4.1 EXIT DOORS. DOORS AT EXIT PASSAGEWAY,EXIT DISCHARGE AND EXIT STAIRWAYS SHALL BE IDENTIFIED BY TACTILE SIGNS COMPLYING WITH 703.1 , 703.2
	FIRE EXTINGUISHER CABINET, RECESSED. PROVIDE OCCULT CABINET, STAINLESS FINISH WITH VERTICAL DUO WINDOW
	VISITABLE ENTRANCE  VISITABLE NO STEP ENTRY MAX 1/2" BEVELED THRESHOLD 3'X3' MIN LANDING WITH MAX 1/4"/' FT SLOPE

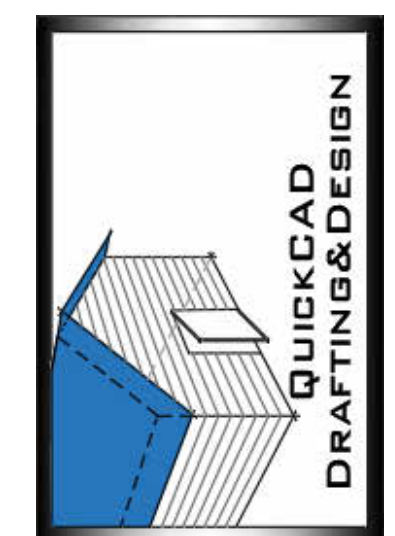
VISITABILITY LEGEND  
3/8" = 1'-0"



1 ACCESSIBILITY FLOOR PLAN  
1/4" = 1'-0"

# BROWN FUNERAL HOUSE

800 Lexington St, Manor TX

[illegible]

4926 Spicewood Springs RD  
Ste#105, Austin TX

T: 512-822-5143  
E: quickcaddesign@outlook.com

$$1/4'' = 1'-0''$$

















































Project Number


# A201

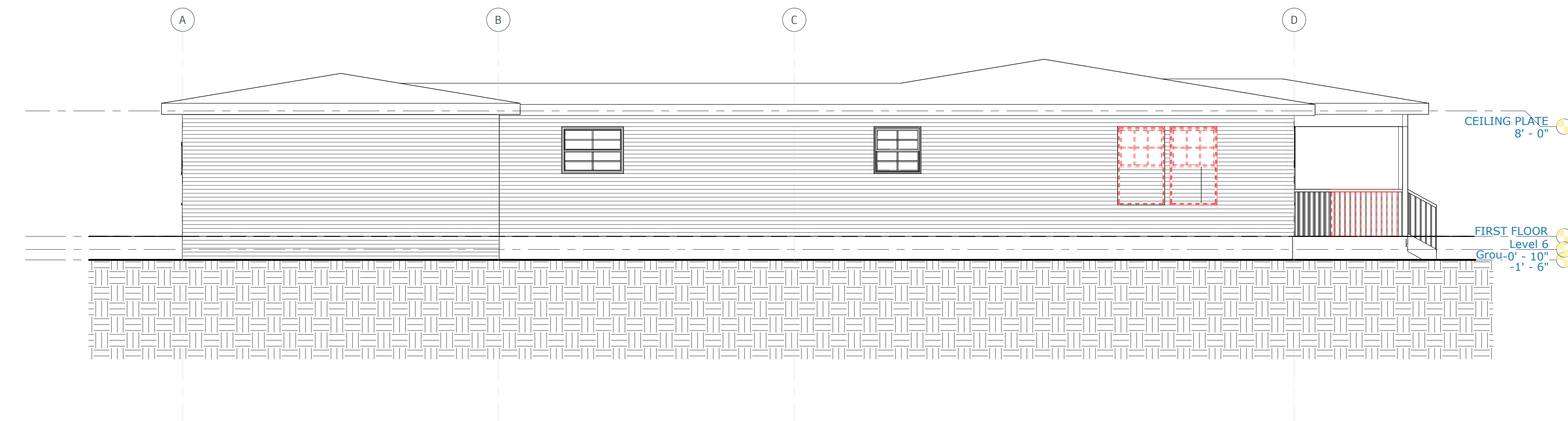
~~EXISTING  
ELEVATIONS~~



① EXISTING NORTH ELEVATION  
1/4" = 1'-0"

- 





- — MATERIAL 1
- 





- — MATERIAL 1
- 





- — MATERIAL 1
- 





- — MATERIAL 1
- 





- — MATERIAL 1
- 





- — MATERIAL 1
- 





- — MATERIAL 1
- 





- — MATERIAL 1

 MATERIAL LEGEND  
1/4" = 1'-0"



② EXISTING LEFT ELEVATION  
1/4" = 1'-0"

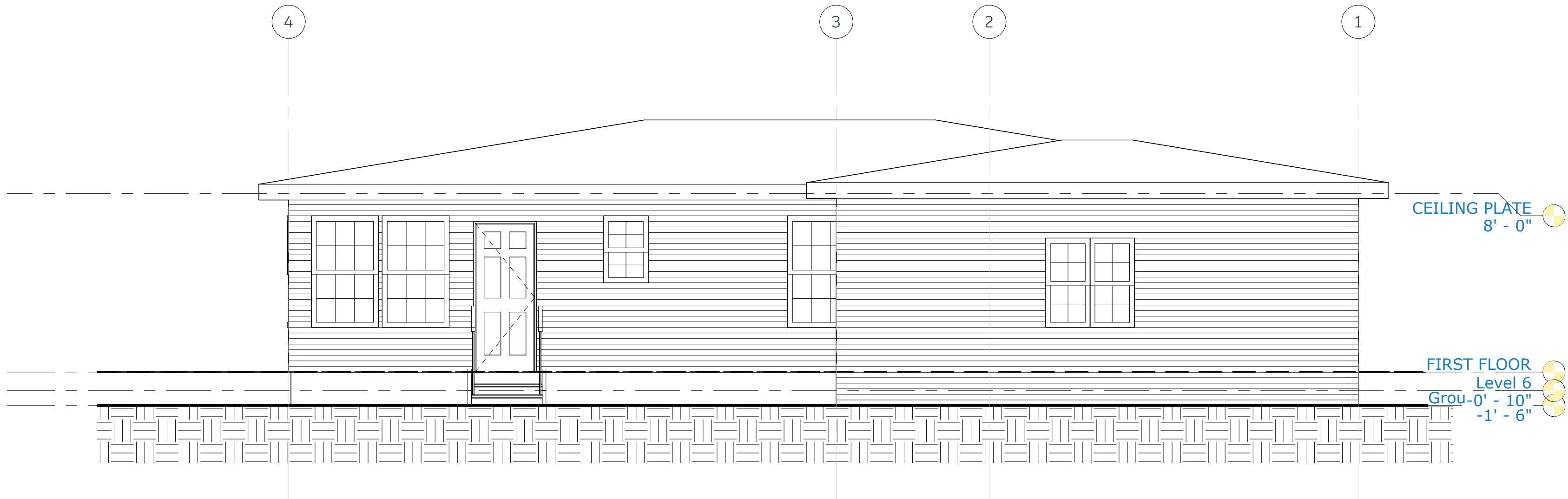


BROWN FUNERAL HOUSE

800 Lexington St, Manor TX

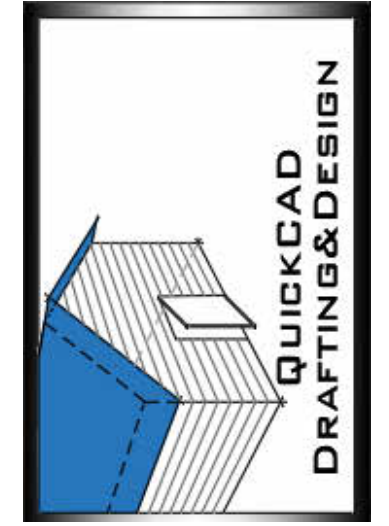


1 EXISTING RIGHT ELEVATION  
1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION  
1/4" = 1'-0"

REV. #	DESC.	DATE



4926 Spicewood Springs RD  
Ste#105, Austin TX

T: 512-822-5143  
Equickcad@outlook.com

1/4" = 1'-0"

Project Number

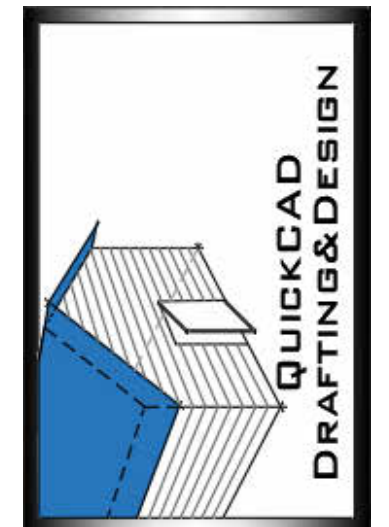
A202

EXISTING  
ELEVATIONS

BROWN FUNERAL HOUSE

800 Lexington St, Manor TX

REV. #	DESC.	DATE



4926 Spicewood Springs RD  
Ste#105, Austin TX

T: 512-822-5143  
Equickcaddesign@outlook.com

1/4" = 1'-0"

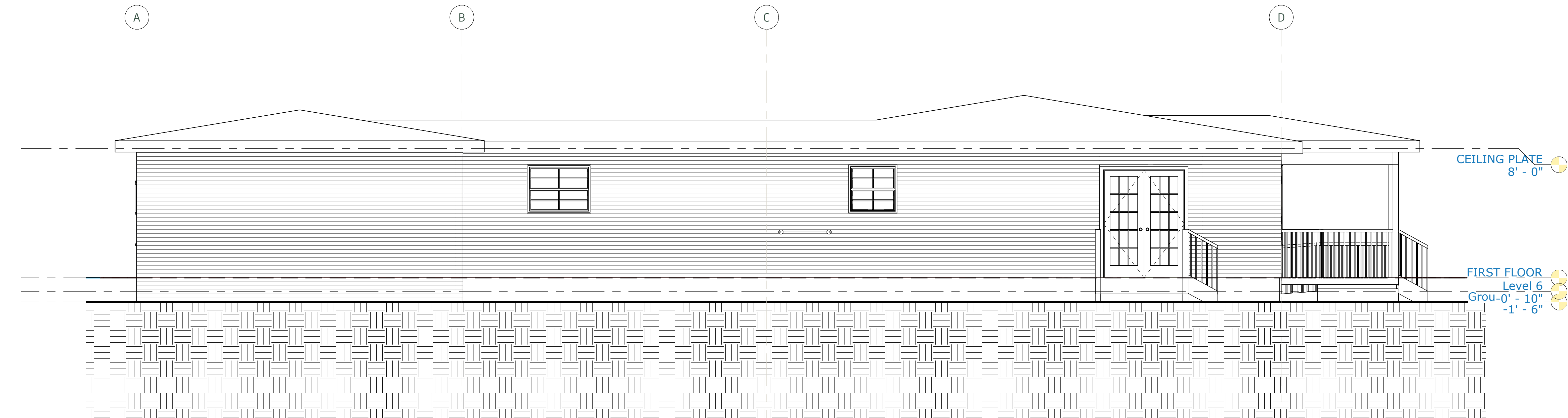
Project Number

A203

NEW ELEVATIONS



2 NEW NORTH ELEVATION  
1/4" = 1'-0"



1 NEW LEFT ELEVATION  
1/4" = 1'-0"

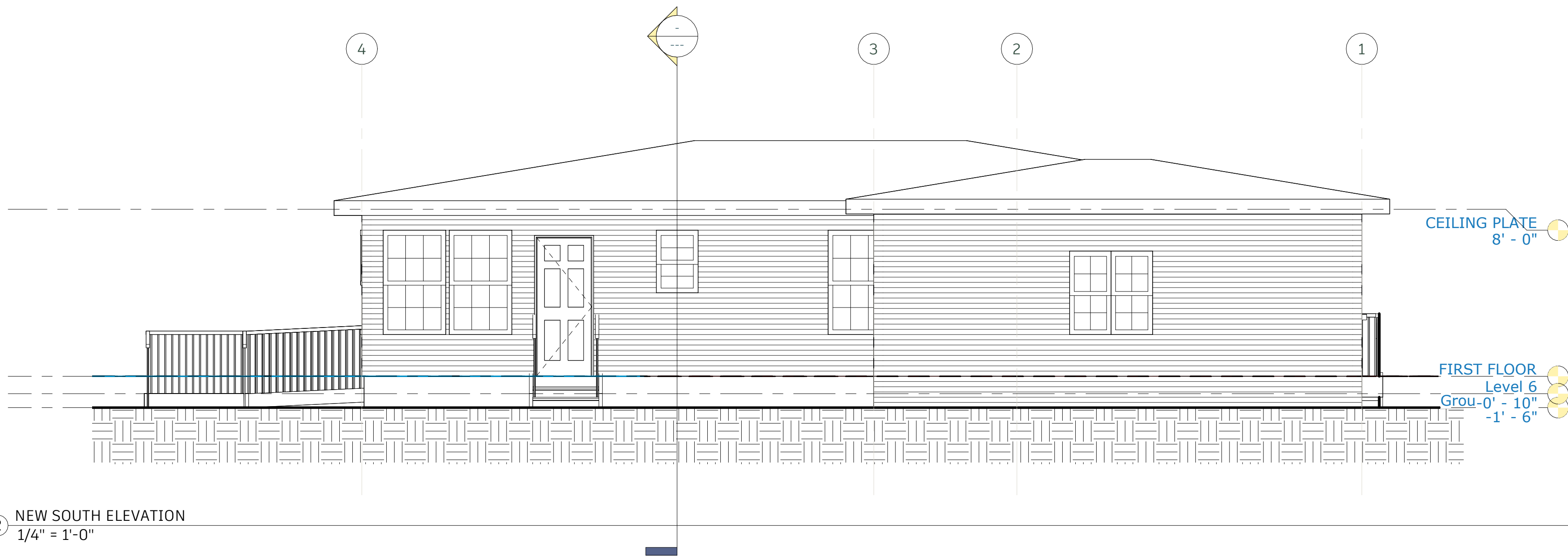


BROWN FUNERAL HOUSE

800 Lexington St, Manor TX

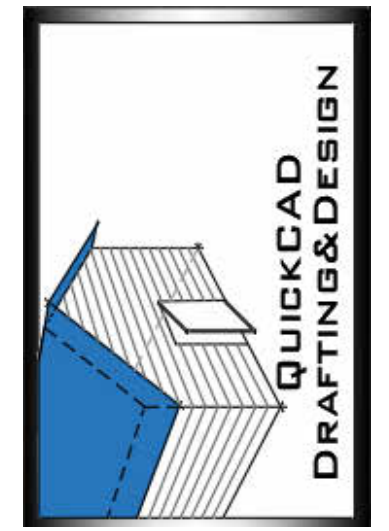


1 NEW RIGHT ELEVATION  
1/4" = 1'-0"



2 NEW SOUTH ELEVATION  
1/4" = 1'-0"

REV. #	DESC.	DATE



4926 Spicewood Springs RD  
Ste#105, Austin TX  
T: 512-822-5143  
Equickcad@outlook.com

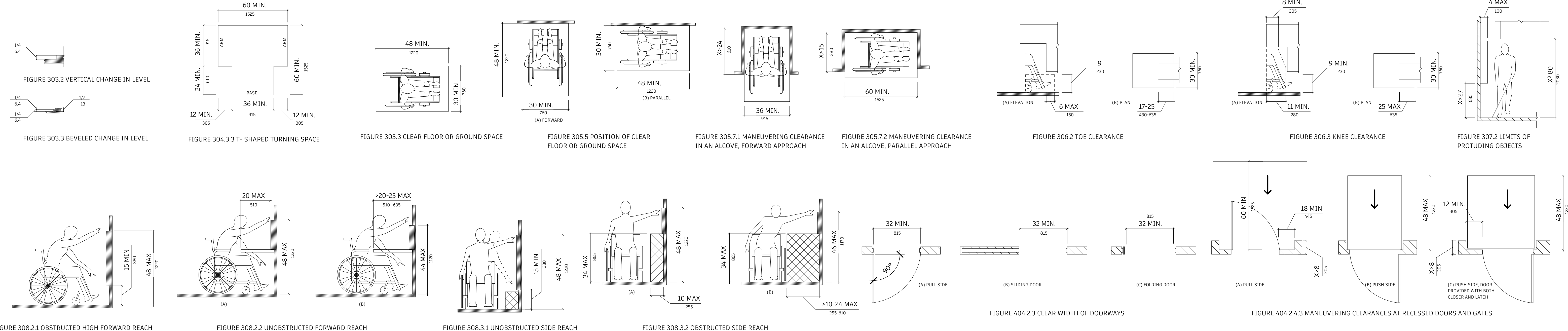
1/4" = 1'-0"

Project Number

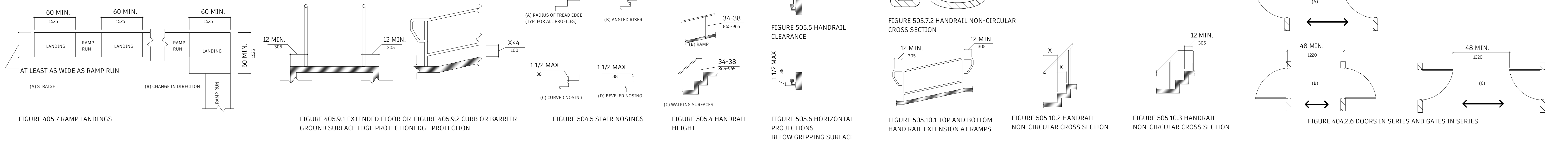
A204

NEW ELEVATIONS

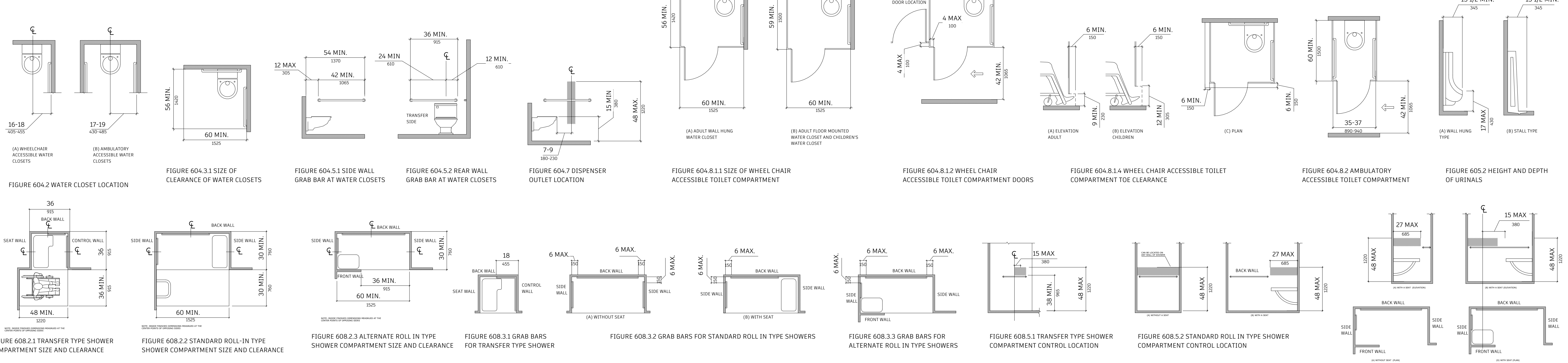
GENERAL



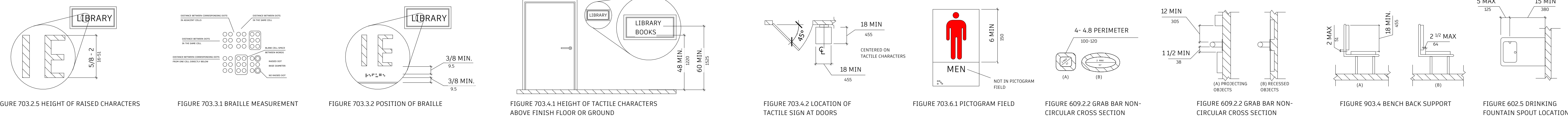
RAMPS AND STAIRS



TOILET AND BATHING ROOMS



SIGNAGE



MEMBER

**A B D**

AMERICAN INSTITUTE OF BUILDING DESIGN

**BROWN FUNERAL HOUSE**  
800 Lexington St, Manor TX

REV. #	DATE	DESC.

4926 Spicewood Springs RD  
Ste#105, Austin TX

T: 512-822-5143  
Equickcadesign@outlook.com

As indicated

Project Number

**G2**

ADA NOTES





## AGENDA ITEM SUMMARY FORM

**PROPOSED MEETING DATE:** February 13, 2024  
**PREPARED BY:** Scott Dunlop, Director  
**DEPARTMENT:** Development Services

### AGENDA ITEM DESCRIPTION:

**Consideration, discussion, and possible action on a Rezoning Application for Lots 8-10, Block 68, Town of Manor, locally known as 104 East Townes St., from Single Family Suburban (SF-1) to Townhome (TH).**

*Applicant: Development and Consulting Bridgeway LLC.*

*Owner: Carlos Moyeda*

### BACKGROUND/SUMMARY:

This item is discretionary.

The property is currently three platted lots that are zoned Single Family Suburban (SF-1) across from Jennie Lane Park. There exists one home situated on both Lots 9 and 10. Under their current entitlements, the property owner can remove the existing home and construct three single-family homes. They are proposing to rezone the property to Townhome (TH) and construct one building with four residential units.

In the Comprehensive Plan, this area is designated as Neighborhood Mixed-Use, which is a combination of dense residential and nonresidential uses in a compact, neighborhood-scale design to create a walkable environment. Residential development intensities within Neighborhood Mixed-Use encourage single-family attached (townhomes) and small multi-family, ranging in unit densities of 4-20 per acre. The four proposed units, on a per acre density on this property, which is .396 of an acre, would be approximately 10 units/acre, which is within the range suggested in Neighborhood Mixed Use.

**LEGAL REVIEW:** *Not Applicable*

**FISCAL IMPACT:** *NO*

**PRESENTATION:** *NO*

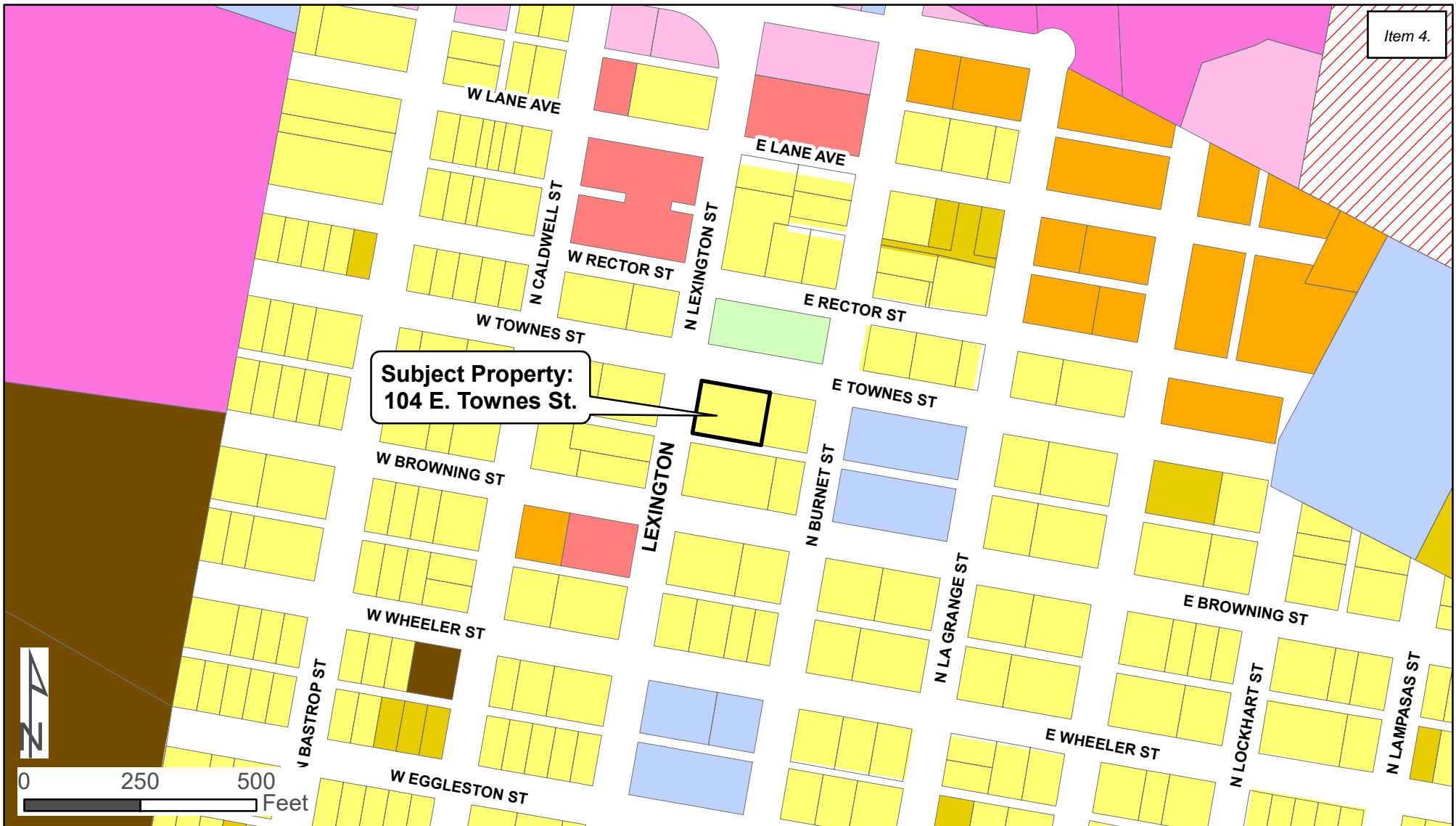
**ATTACHMENTS:** *YES*

- Rezoning Map
- Aerial Image
- FLUM
- Neighborhood Mixed-Use Dashboard
- Sample townhome design
- Sample townhome floorplan
- Survey
- Public Notice and Mailing Labels

### STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve a Rezoning Application for Lots 8-10, Block 68, Town of Manor, locally known as 104 East Townes St., from Single Family Suburban (SF-1) to Townhome (TH).

**PLANNING & ZONING COMMISSION:**      **Recommend Approval**      **Disapproval**      **None**



Current:  
(SF-1) Single Family Suburban

Proposed:  
(TH) Townhome

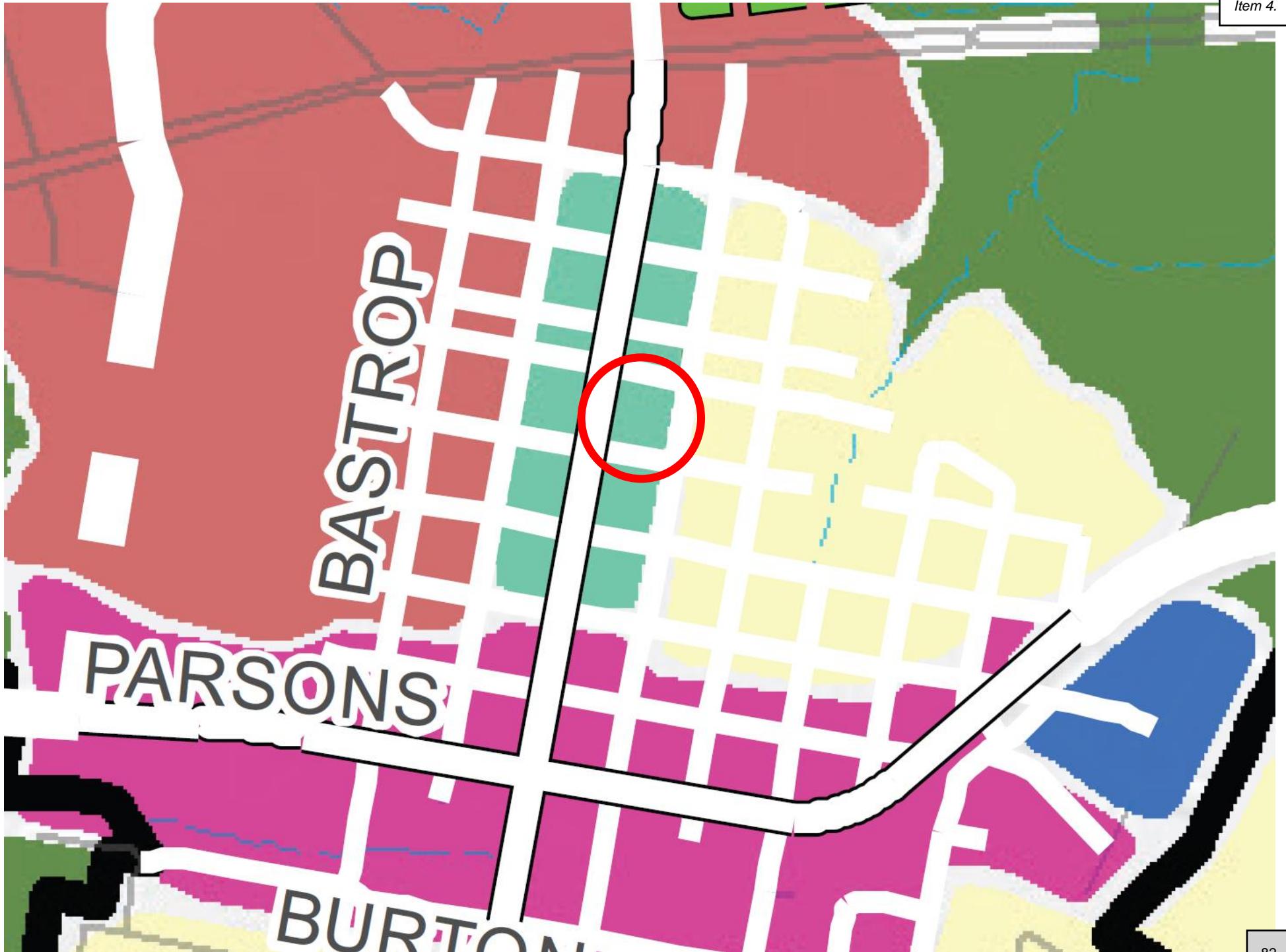
#### Zone

A - Agricultural	GO - General Office
SF-1 - Single Family Suburban	C-1 - Light Commercial
SF-2 - Single Family Standard	C-2 - Medium Commercial
TF - Two Family	C-3 - Heavy Commercial
TH - Townhome	NB - Neighborhood Business
MF-1 - Multi-Family 15	DB - Downtown Business
MF-2 - Multi-Family 25	IN-1 - Light Industrial
MH-1 - Manufactured Home	IN-2 - Heavy Industrial
I-1 - Institutional Small	PUD - Planned Unit Development
I-2 - Institutional Large	ETJ











# NEIGHBORHOOD MIXED-USE

Neighborhood Mixed-Use allows a combination of dense residential and nonresidential uses in a compact, neighborhood-scale design to create a walkable environment.

Neighborhood mixed-use areas allow residential units in close proximity to goods, services and civic activities, thus reducing dependence on the car and promoting community interaction, belonging, identity, and pride.

These places emphasize urban design and the experience created through density, intensity and scale; the mix of housing; walkability; streetscapes and a high quality public realm; parking management; and access to amenities such as parks, civic spaces and neighborhood services.

Often situated around an activity-generating element or an active public gathering spot, mixing of uses can take shape as either or both vertical (stacked on top of each other) and horizontal (next to each other). In vertical mixed-use, the ground floor is encouraged to be food and beverage or pedestrian-oriented retail and services, to promote foot traffic and activity.

Adaptive reuse of residential structures to commercial purposes and infill commercial buildings with residential design characteristics are common and appropriate in these areas.

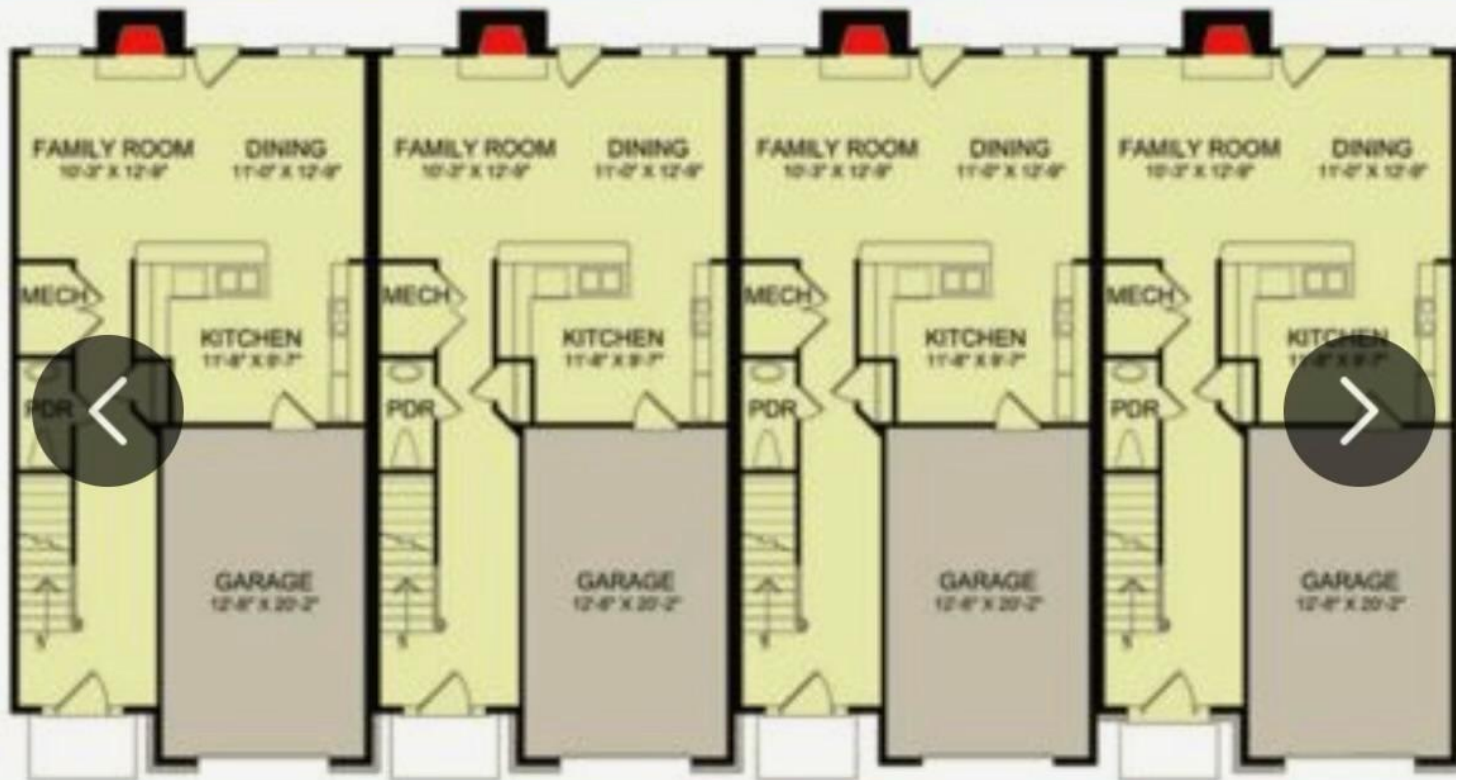
Figure 3.8. Neighborhood Mixed-Use Land Use Mix Dashboard



DEVELOPMENT TYPE	APPROPRIATENESS	CONDITIONS
Single-Family Detached (SFD)	●○○○○	Not considered appropriate since the intent of mixed-use is to provide retail/services, activity centers and diversified housing in more dense and compact forms; these uses will provide opportunities and amenities to surrounding lower density neighborhoods.
SFD + ADU	●○○○○	
SFA, Duplex	●○○○○	
SFA, Townhomes and Detached Missing Middle	●●●○○	This can be appropriate provided that the overall Neighborhood Mixed-Use area also contains mixed-use buildings and/or shopping centers with which this product integrates in a manner to promote walkability and access. Can be utilized as a transition between Neighborhood Mixed-Use and other uses.
Apartment House (3-4 units)	●●●○○	
Small Multifamily (8-12 units)	●●●○○	
Large Multifamily (12+ units)	●○○○○	Not considered appropriate due to incompatible scale with neighborhoods
Mixed-Use Urban, Neighborhood Scale	●●●●●	This is the ideal form of development within the Neighborhood Mixed Use category; provides for activity centers, retail, services and diverse housing options at a scale compatible with and supportive of surrounding neighborhoods. Promotes walkability and 10-minute neighborhoods.
Mixed-Use Urban, Community Scale	●●○○○	Not generally considered appropriate due to incompatible scale with neighborhoods; may be appropriate if adjacent to green space or more intensive uses.
Shopping Center, Neighborhood Scale	●●●●○	While less preferred, this use can provide retail and services at a scale compatible with and supportive of surrounding neighborhoods, promoting walkability and 10-minute neighborhoods. Becomes more appropriate if a horizontal approach to mixed-use is deployed.
Shopping Center, Community Scale	●●○○○	Not generally considered appropriate due to incompatible scale with neighborhoods; may be appropriate if adjacent to green space or more intensive uses.
Light Industrial Flex Space	●●○○○	Not generally considered appropriate due to incompatible scale with neighborhoods, but can be if particularly small-scale and included alongside more appropriate development types; examples might include artisan-scale manufacturing, maker spaces, and similar businesses.
Manufacturing	●○○○○	Not considered appropriate.
Civic	●●●●●	Considered supportive to the function and livability of this future land use category, government buildings, schools and community facilities can serve as activity hubs.
Parks and Open Space	●●●●●	Generally considered appropriate or compatible within all Land Use Categories.









LEXINGTON STREET

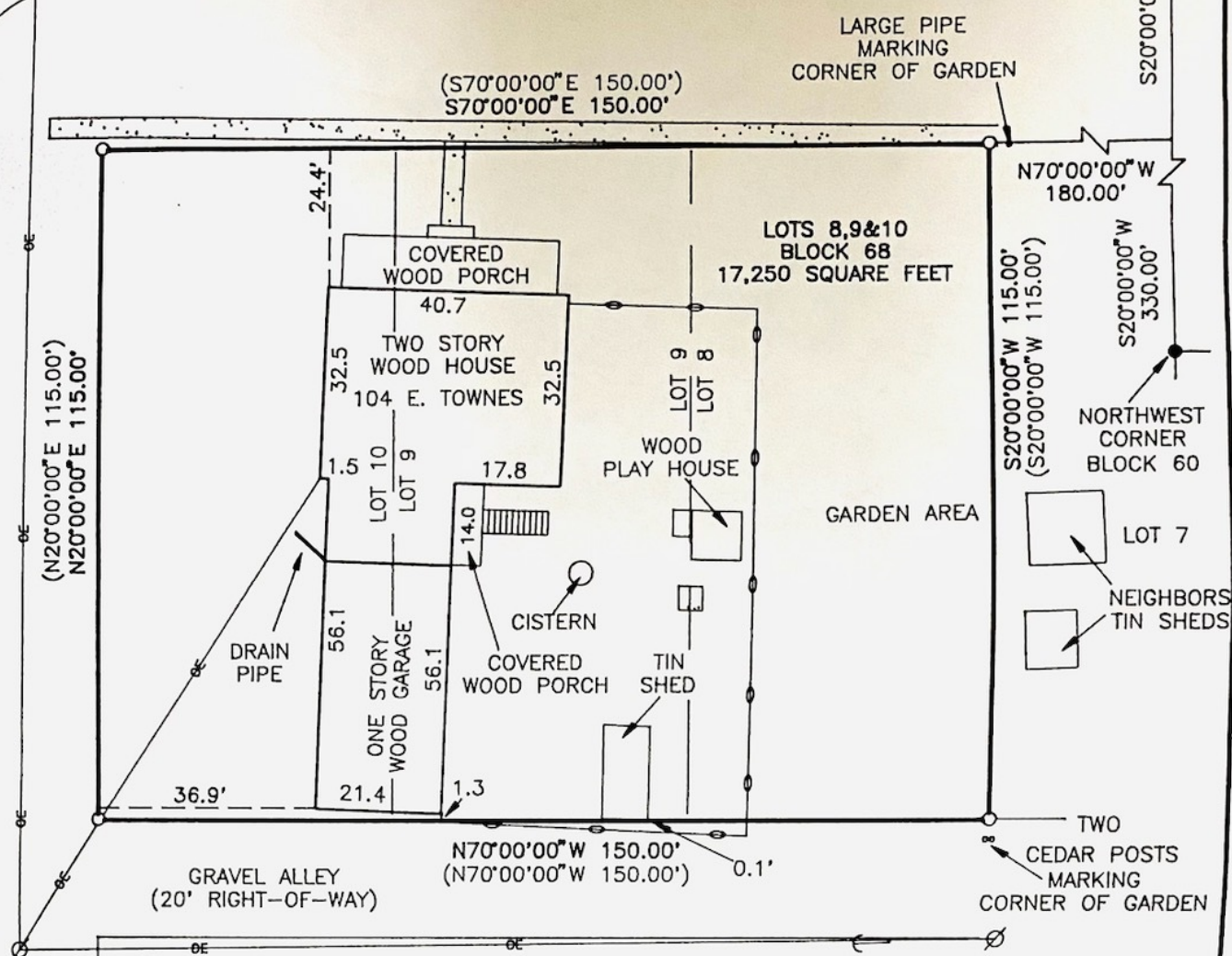
(80' RIGHT-OF-WAY)  
— VOLUME "V", PAGE 796  
T.C.D.R.

# TOWNES STREET

(80' RIGHT-OF-WAY)  
VOLUME "V", PAGE 796  
T.C.D.R.

SOUTHWEST  
CORNER  
BLOCK 14  
Item 4.

EDGE OF ASPHALT



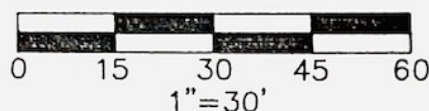
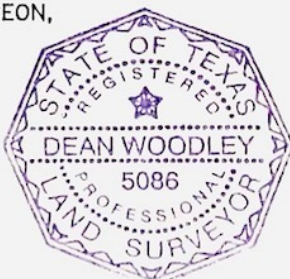
## NOTES:

1. ANY EASEMENTS AND BUILDING LINES AS PER TITLE COMMITMENT GF# GF#9610002 AS SUPPLIED BY HEART OF TEXAS TITLE COMPANY, DATED DECEMBER 18, 1996 NO ADDITIONAL RESEARCH WAS DONE BY LIVE OAK SURVEYING FOR ANY EASEMENTS, RESTRICTIONS, OR CONDITIONS OF RECORD WHICH MAY AFFECT THIS PROPERTY.
2. THE PROPERTY SHOWN HEREON IS IN FLOOD ZONE "X", AREAS OUTSIDE THE 500 YEAR FLOOD, AS IDENTIFIED BY THE FLOOD INSURANCE RATE MAP PANEL NO. 481027-0055-E, DATED: JUNE 16, 1993

TO ROBERT CHASE OZMENT, A'LISA CAROL OZMENT, BECKY ANDERSON KLAUS, HEART OF TEXAS TITLE AND FIDELITY NATIONAL TITLE GF#9610002  
THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND OF THE PROPERTY SHOWN HEREON AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT THERE ARE NO DISCREPANCIES, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINE OR ROADS IN PLACE, EXCEPT AS SHOWN HEREON, AND SAID PROPERTY ADJOINS A PUBLIC ROADWAY, EXCEPT AS SHOWN HEREON

DEAN A WOODLEY  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 5086

DATE:



## LEGEND

- 1/2" IRON ROD FOUND
- 1/2" IRON ROD SET
- ( ) RECORD INFORMATION
- Ø UTILITY POLE
- GUY WIRE
- CHAIN FENCE
- OVERHEAD ELECTRIC
- CONCRETE
- T.C.D.R. TRAVIS COUNTY DEED RECORDS

CLIENT: Heart of Texas  
FIELD BOOK: 9  
DRAWN BY: D.W.  
PROJECT NO.: 129-74-97  
DATE: 2-13-97  
FILE: 1297497.DWG

**SURVEY**  
OF LOTS 8, 9 & 10, BLOCK 68  
TOWN OF MANOR  
AS RECORDED IN VOLUME "V", PAGE 796  
TRAVIS COUNTY, TEXAS



**LIVE OAK  
SURVEYING**  
12905 IRONGATE AVE.  
AUSTIN, TX 78727-4314  
(512) 837-1011



1/26/24

## City of Manor Development Services

# Notification for a Rezoning Application

Project Name: 104 E. Townes Rezoning from SF-1 to TH

Case Number: 2024-P-1612-ZO

Case Manager: Michael Burrell

Contact: [mburrell@manortx.gov](mailto:mburrell@manortx.gov) – 512-215-8158

The City of Manor Planning and Zoning Commission will be conducting a Special Called meeting and the City of Manor City Council will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon a Rezoning Application for 104 E. Townes St., Manor, TX from (SF-1) Single Family Suburban to (TH) Townhome. The request will be posted on the agenda as follows:

**Public Hearing: Conduct a public hearing on a Rezoning Application for Lots 8-10, Block 68, Town of Manor, locally known as 104 East Townes St., from Single Family Suburban (SF-1) to Townhome (TH).**

***Applicant: Development and Consulting Bridgeway LLC.***

***Owner: Carlos Moyeda***

The Planning and Zoning Commission will meet at 6:30PM on February 13, 2024 at 105 East Eggleston Street in the City Hall Council Chambers.

The City of Manor City Council will meet at 7:00PM on February 21, 2024 at 105 East Eggleston Street in the City Hall Council Chambers

You are being notified because you own property within 300 feet of the property for which this Rezoning Application has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

105 E. EGGLESTON STREET • P.O. BOX 387 • MANOR, TEXAS 78653  
(T) 512.272.5555 • (F) 512.272.8636 • [WWW.CITYOFMANOR.ORG](http://WWW.CITYOFMANOR.ORG)



GUERRERO RUDY & ALICE R (217648)  
121 E. KILLEN LN  
TEMPLE TX 76501-1420

REYNOLDS STACIE & MARGARET SALEEM  
(1854871)  
505 N LEXINGTON ST  
MANOR TX 78653-3341

SOSA BENTURA & PATRICIA ANN (397177)  
PO BOX 26  
MANOR TX 78653-0026

RICH RICHARD (1674648)  
PO BOX 374  
MANOR TX 78653-0374

LEXINTON BROWNING LLC (1923599)  
1410 E PALM VALLEY BLVD  
ROUND ROCK TX 78664-4549

WINKLER MARIE A (1461366)  
1807 LEXINGTON ST  
TAYLOR TX 76574-1564

NINH JAMIE D (1693000)  
409 BURNETT ST  
MANOR TX 78653-3422

MOSELEY CHRISTINE ANDERSON  
(217639)  
PO BOX 593  
MANOR TX 78653-0593

BAUER DOUGLAS A & LAURALEA (217642)  
PO BOX 1048  
MANOR TX 78653-1048

DOVER GARY WAYNE (1978698)  
101 E Rector St  
Manor TX 78653-3316

MORENO DANIEL & RUPERTA &  
(1670228)  
505 NORTH BURNET ST  
MANOR TX 78653-3366

GONZALEZ LEOPOLDO (1582565)  
107 RECTOR ST  
MANOR TX 78653-3316

FLORES FRANCISCO JR & (1782491)  
9705 DALLUM DR  
AUSTIN TX 78753-4309

MANOR UNITED METHODIST CHURCH  
(215687)  
PO BOX J  
MANOR TX 78653



## AGENDA ITEM SUMMARY FORM

**PROPOSED MEETING DATE:** February 13, 2024

**PREPARED BY:** Scott Dunlop, Director

**DEPARTMENT:** Development Services

### AGENDA ITEM DESCRIPTION:

**Consideration, discussion, and possible action on a Short Form Final Plat for the Resubdivision of the Manor Addition Subdivision, three (3) lots on 30.86 acres, more or less, and being located near the intersection of US Hwy 290 E and Bois D'Arc Road, Manor, TX.**

*Applicant: Kimley-Horn*

*Owner: Laureate-Wealth Management*

### BACKGROUND/SUMMARY:

This plat has been approved by our engineers and is non-discretionary.

This property was originally platted as one 30.86-acre lot in February 2022. It was zoned to Multi-Family 25 (MF-2) and Medium Commercial (C-2) by Ordinance 627 in October 2021. This plat will create three lots along the boundary lines of the zoning approved in 2021, so Lot 1 would be a 24.07-acre multi-family lot, and Lots 2 and 3 would be 3.36 and 3.44-acre commercial lots, respectively.

A site development plan for a two-phase approximately 600-unit multi-family development is under review.

**LEGAL REVIEW:** *Not Applicable*

**FISCAL IMPACT:** *NO*

**PRESENTATION:** *NO*

**ATTACHMENTS:** *YES*

- Plat
- Engineer Comments
- Conformance Letter
- Public Notice
- Mailing Labels

### STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve a Short Form Final Plat for the Resubdivision of the Manor Addition Subdivision, three (3) lots on 30.86 acres, more or less, and being located near the intersection of US Hwy 290 E and Bois D'Arc Road, Manor, TX.

**PLANNING & ZONING COMMISSION:**

**Recommend Approval**

**Disapproval**

**None**





VICINITY MAP

SCALE: 1" = 2000'

GREENBERRY  
GATES  
SURVEY NO. 63  
ABSTRACT NO. 315

MATCHLINE

GRID N: 10,100,249.40  
GRID E: 3,182,662.63

GRID N: 10,100,007.10  
GRID E: 3,183,087.03

MANOR ETJ  
MANOR FULL PURPOSE  
25' BUILDING SETBACK

DRAINAGE  
EASEMENT  
DOC. NO. 202200036

80' BUILDING SETBACK  
(3 STORY)

50' BUILDING SETBACK  
(2 STORY)

25' BUILDING SETBACK  
(1 STORY)

A.C. CALDWELL  
SURVEY NO. 52  
ABSTRACT NO. 154

LOT 1  
(MF-2)

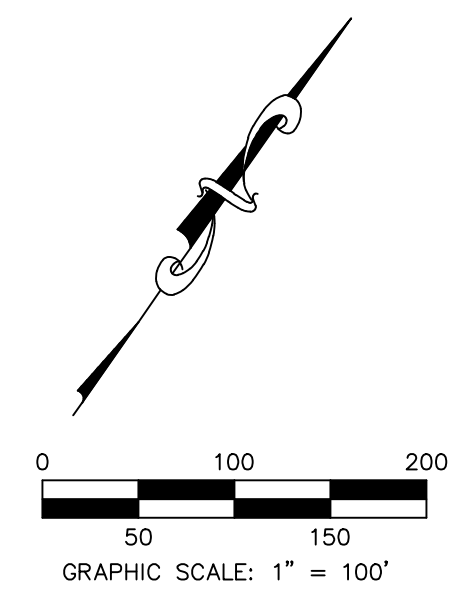
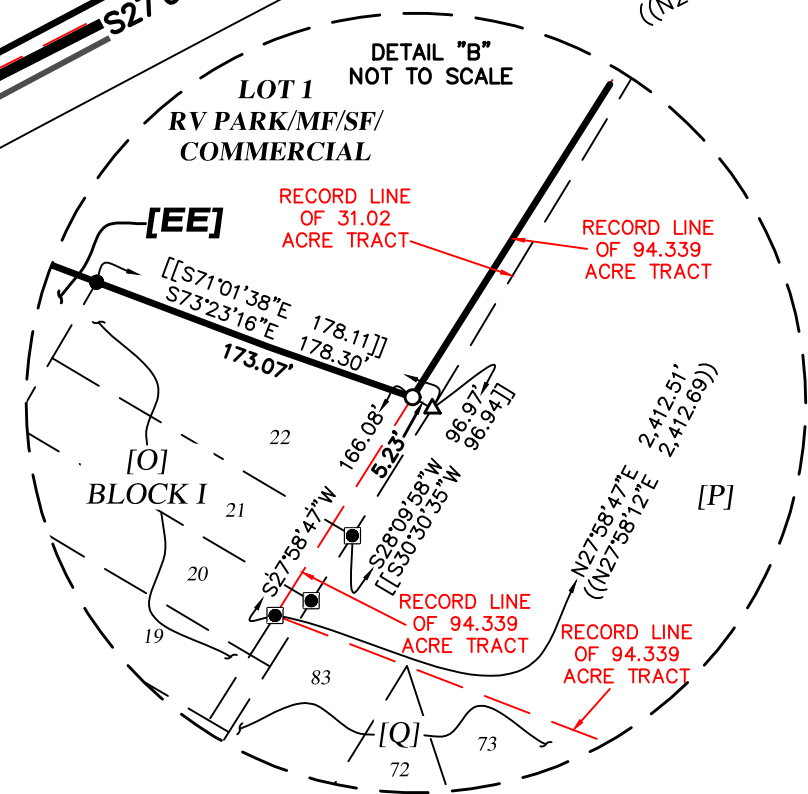
LOT 2  
(COMMERCIAL)

LOT 3  
(COMMERCIAL)

[P]  
CALLED 84.2717 ACRES  
("TRACT 1")  
MANOR290 OZ REAL ESTATE LP  
DOC. # 2021172435, O.P.R.T.C.T.  
AND CORRECTED IN  
IN DOC. # 2022056842  
O.P.R.T.C.T.

LOT SUMMARY:

LOT 1	24.0681 AC.	1,048,407 SQ. FT.
LOT 2	3.3588 AC.	146,308 SQ. FT.
LOT 3	3.4374 AC.	149,735 SQ. FT.
OVERALL	30.8643 AC.	1,344,450 SQ. FT.



# RESUBDIVISION OF MANOR ADDITION City of Manor, Travis County, Texas



PO Box 90876, Austin Texas 78709  
WWW.4WARDLS.COM (512) 537-2384  
TBPLS FIRM #10174300

Date:	12/19/2023
Project:	00835
Scale:	1" = 100'
Reviewer:	DV
Tech:	TE
Field Crew:	TE/JC
Survey Date:	MAR. 2019
Sheet:	1 OF 3



1500 County Road 269  
Leander, TX 78641

P.O. Box 2029  
Leander, TX 78646-2029

Date: Thursday, September 21, 2023

Anna Ford  
Kimley-Horn  
5301  
AUSTIN TX  
anna.ford@kimley-horn.com

Permit Number 2023-P-1568-SF  
Job Address: 13113 US 290, Manor, TX. 78653

Dear Anna Ford,

The first submittal of the Manor RV Subdivision Short Form Final Plat (*Short Form Final Plat*) submitted by Kimley-Horn and received on February 05, 2024, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

### Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. **Lots 2 and 3 will need access to wastewater services. The owner of lot 1 will need to provide an easement through lot 1 for lots 2 and 3 to access their wastewater connection. The wastewater connection for this site is on the south side of lot 1. The easement must be shown on the final plat. Also, City Legal will need to review the easement.**
- ii. ~~Reminder: The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.~~
- iii. ~~Identification and location of proposed uses and reservations for all lots within the subdivision. Provide a call out of each lot's proposed use.~~
- iv. ~~Provide certification from a registered professional engineer and approval by the State Health Department (if applicable) that water satisfactory for human consumption is available in adequate supply at the time of submission, except that such certification is not required if the property will be served by the City water system. (Manville Water).~~
- v. ~~Provide the location of building setback lines, as required by the City's Zoning Ordinance and indicated by dashed lines on the plat, and the location, dimensions, and descriptions of all required easements within the subdivision, intersecting, or contiguous with its boundaries or forming such boundaries. As per Manor Code of Ordinance Chapter 14 Section 14.02.007.~~
- vi. ~~Provide a current tax certificate. The one provided is from 2018.~~
- vii. ~~Provide the following note "Performance and maintenance guarantees as required by the city".~~
- viii. ~~The current Mayor of Manor is Dr. Christopher Harvey.~~



Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

A handwritten signature in black ink, appearing to read 'Tyler Shows', followed by a long horizontal flourish.

Tyler Shows  
Staff Engineer  
GBA



November 6, 2023

Tyler Shows  
1500 County Road 269  
P.O Box 2029  
Leander, TX 78641-2029

**RE: *Manor RV Subdivision Short Form Final Plat (2023-P-1568-SF)***

The purpose of this letter is to provide satisfactory answers to the comments/questions issued in a comment letter dated September 21, 2023. The answers are listed below in bold and are preceded by the comments/questions listed in the original letter.

**Comments:**

- i. Lots 2 and 3 will need access to wastewater services. The owner of lot 1 will need to provide an easement through lot 1 for lots 2 and 3 to access their wastewater connection. The wastewater connection for this site is on the south side of lot 1.

**Response: Note 15, " A Public wastewater easement must be dedicated by separate instrument across Lot 1 to provide service to Lots 2 and 3 prior to the initiation of construction on Lot 1."**

- ii. Reminder: The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.

**Response: Noted, once the plat is approved the plat will be sealed.**

- iii. Identification and location of proposed uses and reservations for all lots within the subdivision. Provide a call out of each lot's proposed use.

**Response: Proposed uses have been provided.**

- iv. Provide certification from a registered professional engineer and approval by the State Health Department (if applicable) that water satisfactory for human consumption is available in adequate supply at the time of submission, except that such certification is not required if the property will be served by the City water system. (Manville Water).

**Response: the subdivision is located within the Manville Water Supply CCN and a will serve letter has been provided.**

- v. Provide the location of building setback lines, as required by the City's Zoning Ordinance and indicated by dashed lines on the plat, and the location, dimensions, and descriptions of all required easements within the subdivision, intersecting, or contiguous with its boundaries or forming such boundaries. As per Manor Code of Ordinance Chapter 14 Section 14.02.007.

**Response: Setback lines have been added and called out.**

- vi. Provide a current tax certificate. The one provided is from 2018.

**Response: Current tax certificate has been provided.**





- vii. Provide the following note "Performance and maintenance guarantees as required by the city".

**Response: note 14 has been added.**

- viii. The current Mayor of Manor is Dr. Christopher Harvey.

**Response: Noted, signature block has been updated.**

Please contact me at 737-241-9081 if additional information is required.

Sincerely,

*Anna Ford*

Anna Ford  
KIMLEY-HORN AND ASSOCIATES, INC.



1500 County Road 269  
Leander, TX 78641

P.O. Box 2029  
Leander, TX 78646-2029

Date: Monday, December 4, 2023

Anna Ford  
Kimley-Horn  
5301  
AUSTIN TX  
anna.ford@kimley-horn.com

Permit Number 2023-P-1568-SF  
Job Address: 13113 US 290, Manor 78653

Dear Anna Ford,

The subsequent submittal of the Manor RV Subdivision Short Form Final Plat submitted by Kimley-Horn and received on February 05, 2024, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

### Engineer Review

The following comments have been provided by Tyler Shows. Should you have any questions or require additional information regarding any of these comments, please contact Tyler Shows by telephone at (737) 247-7552 or by email at tshows@gbateam.com.

- i. **Lots 2 and 3 will need access to wastewater services. The owner of lot 1 will need to provide an easement through lot 1 for lots 2 and 3 to access their wastewater connection. The wastewater connection for this site is on the south side of lot 1. The easement must be shown on the final plat. Also, City Legal will need to review the easement.**
- ii. ~~Reminder: The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.~~
- iii. ~~Identification and location of proposed uses and reservations for all lots within the subdivision. Provide a call out of each lot's proposed use.~~
- iv. ~~Provide certification from a registered professional engineer and approval by the State Health Department (if applicable) that water satisfactory for human consumption is available in adequate supply at the time of submission, except that such certification is not required if the property will be served by the City water system. (Manville Water).~~
- v. ~~Provide the location of building setback lines, as required by the City's Zoning Ordinance and indicated by dashed lines on the plat, and the location, dimensions, and descriptions of all required easements within the subdivision, intersecting, or contiguous with its boundaries or forming such boundaries. As per Manor Code of Ordinance Chapter 14 Section 14.02.007.~~
- vi. ~~Provide a current tax certificate. The one provided is from 2018.~~
- vii. ~~Provide the following note "Performance and maintenance guarantees as required by the city".~~
- viii. ~~The current Mayor of Manor is Dr. Christopher Harvey.~~



Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to [www.mygovernmentonline.org](http://www.mygovernmentonline.org) and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at [pgray@gbateam.com](mailto:pgray@gbateam.com).

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.  
Lead AES  
GBA



December 26, 2023

Tyler Shows  
1500 County Road 269  
P.O Box 2029  
Leander, TX 78641-2029

**RE: *Manor RV Subdivision Short Form Final Plat (2023-P-1568-SF)***

The purpose of this letter is to provide satisfactory answers to the comments/questions issued in a comment letter dated December 04, 2023. The answers are listed below in bold and are preceded by the comments/questions listed in the original letter.

**Comments:**

- i. Lots 2 and 3 will need access to wastewater services. The owner of lot 1 will need to provide an easement through lot 1 for lots 2 and 3 to access their wastewater connection. The wastewater connection for this site is on the south side of lot 1. The easement must be shown on the final plat. Also, City Legal will need to review the easement.

Response: Note 15, " A Public wastewater easement must be dedicated by separate instrument across Lot 1 to provide service to Lots 2 and 3 prior to the initiation of construction on Lot 1." Note approval from the City of Manor has been provided by Scott Dunlop, approval email has been provided with this updated.

Please contact me at 737-241-9081 if additional information is required.

Sincerely,

*Anna Ford*

Anna Ford  
KIMLEY-HORN AND ASSOCIATES, INC.



1500 County Road 269  
Leander, TX 78641

P.O. Box 2029  
Leander, TX 78646-2029

Date: Wednesday, February 7, 2024

Anna Ford  
Kimley-Horn  
5301  
AUSTIN TX  
anna.ford@kimley-horn.com

Permit Number 2023-P-1568-SF  
Job Address: 13113 US 290, Manor 78653

Dear Anna Ford,

The submittal of the revised Manor RV Subdivision Short Form Final Plat Site Plans submitted by Kimley-Horn and received by our office on 2/5/2024, has been reviewed for compliance with the City of Manor Zoning Ordinance 185. The Plans appear to be in general compliance with City Ordinance requirements and we therefore take no exception to their approval as presented.

**Please submit a hard copy of the cover sheet to Scott Dunlop at the City of Manor for signatures. A copy of the signed cover sheet will be uploaded under project files on the my permit now website.**

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads 'Pauline M. Gray'.

Pauline Gray, P.E.  
Lead AES  
GBA





1/26/24

## City of Manor Development Services

### Notification for a Subdivision Short Form Final Plat

Project Name: Manor RV Subdivision Short Form Final Plat

Case Number: 2023-P-1568-SF

Case Manager: Michael Burrell

Contact: [mburrell@manortx.gov](mailto:mburrell@manortx.gov) – 512-215-8158

The City of Manor Planning and Zoning Commission will be conducting a Special Called meeting and the City of Manor City Council will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon a Subdivision Short Form Final Plat for the Manor RV Park being located near the intersection of US Hwy 290 E and Bois D'Arc Road, Manor, TX. The request will be posted on the agenda as follows:

**Public Hearing: Conduct a Public Hearing on a Short Form Final Plat for the Resubdivision of the Manor Addition Subdivision, three (3) lots on 30.86 acres, more or less, and being located near the intersection of US Hwy 290 E and Bois D'Arc Road, Manor, TX.**

***Applicant: Kimley-Horn***

***Owner: Laureate-Wealth***

The Planning and Zoning Commission will meet at 6:30PM on February 13, 2024 at 105 East Eggleston Street in the City Hall Council Chambers.

The City of Manor City Council will meet at 7:00PM on February 21, 2024 at 105 East Eggleston Street in the City Hall Council Chambers

You are being notified because you own property within 300 feet of the property for which this Subdivision Short Form Final Plat has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

105 E. EGGLESTON STREET • P.O. BOX 387 • MANOR, TEXAS 78653  
(T) 512.272.5555 • (F) 512.272.8636 • [WWW.CITYOFMANOR.ORG](http://WWW.CITYOFMANOR.ORG)

NSJ Enterprise Inc  
11700 Dessau Rd  
Austin, TX 78754

Candelaria Calderon  
12907 Armstrong Ave  
Manor, TX 78653

Aguster Powell  
709 Delmar Ave  
Austin, TX 78752

Lucille Spears  
106 Billingsley Hts  
Cedar Creek, TX 78612

Pablo Mijares  
17005 John Michael Dr  
Manor, TX 7865

Shenea Wade  
12905 Armstrong Ave  
Manor, TX 78653

Emmitt Spears  
5337 Westminster Dr  
Austin, TX 78723

Frank Muniz  
PO Box 238  
Manor, TX 78653

Hilaria Reyes  
PO Box 169  
Manor, TX 78653

Guadalupe Hernandez  
12907 Cedar St  
Manor, TX 78653

Manor 290 OZ Real Estates LP  
76 Renfield Dr  
Princeton, NJ 08540-6263

Daniel Perez  
12200 Johnson Rd  
Manor, TX 78653

IBC Partners LTD  
9900 US 290 E  
Manor, TX 78653

Alberto Fernandez  
6311 Capriola Dr  
Austin, TX 78745

Greystone Holdings, LLC  
10016 37<sup>th</sup> Ave, Apt 1-B  
Corona, NY 11368

Amy Deleon  
12915 Cedar St  
Manor, TX 78653

Presidential Glen LTD  
9900 US Hwy 290 E  
Manor, TX 78653

Mecanika LLC  
3901 N Hills Dr  
Austin, TX 78731

GFAA Partners Inc  
4125 E Austin St  
Giddings, TX 78942

Lion Capital LLC  
433 W North Loop  
Houston, TX 77008

Raul Lopez  
12917 US Hwy 290 E  
Manor, TX 78653

Barbara Robertson  
19701 Smith Gin St  
Manor, TX 78653

Landmark at Manor Prop Holdings LLC  
21500 Biscayne Blvd STE 42  
Aventura, FL 33180

Anika Diana Flores  
12901 Cedar St  
Manor, TX 78653

Silvia Villa  
9909 Oboe Rd  
Houston, TX 77025

Howard Hester  
19492 Bolin Rd  
Montgomery, TX 77356

Dominga Reyes  
12924 Cedar St  
Manor, TX 78653

Robert Marciel  
12917 Armstrong Ave  
Manor, TX 78653

Alicia Pena  
12913 Armstrong Ave  
Manor, TX 78653

1-40 Group  
PO BOX 3888  
Lubbock, TX 79452



## AGENDA ITEM SUMMARY FORM

**PROPOSED MEETING DATE:** February 13, 2024  
**PREPARED BY:** Scott Dunlop, Director  
**DEPARTMENT:** Development Services

### AGENDA ITEM DESCRIPTION:

**Consideration, discussion, and possible action on a Rezoning Application for the Dominion development, one (1) lot on 15.42 acres, more or less, and being located at 12200 Tower Rd, Manor, TX from (IN-1) Light Industrial to (MF-2) Multifamily – 25.**

*Applicant: Dominion*

*Owner: Kenneth Tumlinson*

### BACKGROUND/SUMMARY:

This item is discretionary.

This property was annexed into the city in 2010 by Ord. 383. It was zoned from interim zoning to IN-1 Light Industrial in December 2017 by Ord. 499. A previous rezoning case was heard by the Commission on Sept. 14, 2022 to rezone the property from IN-1 to MF-2 Multi-Family 25. The Commission recommended MF-1 Multi-Family 15, but the City Council denied the request at their Nov. 2, 2022 meeting. They requested the seller spend more time marketing to industrial users before considering a residential use.

At the time of the first multi-family zoning request, the seller did not have an end user for the property. Since Nov. 2022, a new group – Dominion, has approached the city's Public Facilities Corporation with the intent to partner with the PFC to provide affordable rental units. As part of their process to partner with PFC and gain funding, they need proper zoning entitlements so they have filed to rezone the property to Multi-Family 25 (MF-2).

The property is 15.4217 acres and has frontage on Tower Road. To the west are existing light industrial buildings, to the north is the Stonewater Subdivision, and to the east is a 6-acre tract that has 1 single-family dwelling. The northern property boundary to Stonewater only directly abuts 1 single-family dwelling, with the majority of the northern property boundary being adjacent to a detention pond or Tinajero Way. The northern and eastern property boundaries abut less intense residential uses so the multi-family property would have 80' building setbacks along those boundaries and of those 80 feet, 25' would be landscaping bufferyards that would have additional tree and shrub planting as well as a minimum 6' privacy screening fence.

At 15.4217 acres and 25 units/acre under MF-2, the property would be entitled to 386 units. They are planning to have 324 units, and through the city's PFC, they all would be affordable to people earning 60% of the area median income (AMI).

The developer plans to have access points on Tower Road and has indicated they'll conduct a Traffic Impact Analysis.



This property on our Future Land Use Map is designated as Mixed-Density Neighborhoods. Mixed-Density Neighborhoods support residential uses that are 12-25 units per acre. Mixed Density Neighborhoods primarily support a mix of housing options that may consist of one or more of the following housing types from more dense single family homes to small multifamily, with a higher proportion of attached, missing middle, and multifamily products than the Neighborhood category. The mixed density neighborhood areas are intended to diversify residential areas and allow for infill of different housing types among new or existing single family homes. This use can serve as an appropriate transition from nonresidential and mixed-use areas to the lower density Neighborhoods.

At the January P&Z meeting, the public hearing was conducted but action on this item was postponed so the applicant could supply more information regarding the Traffic Impact Analysis and when the traffic counts were collected or would be collected, if the developer had spoken with Compass Rose of MISD about school traffic in the area, modifications to their entrances including gates and fire access into Stonewater, more details about their proposed mitigations on Tower Road, and to have the property receive a 911 address.

<b>LEGAL REVIEW:</b>	<i>Not Applicable</i>
<b>FISCAL IMPACT:</b>	<i>NO</i>
<b>PRESENTATION:</b>	<i>YES</i>
<b>ATTACHMENTS:</b>	<i>YES</i>

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>• Letter of Intent</li> <li>• Rezoning Map</li> <li>• Aerial Image</li> <li>• Renderings</li> <li>• Traffic Count Methodology</li> </ul> | <ul style="list-style-type: none"> <li>• Drainage Memo and Exhibit</li> <li>• Future Land Use Map</li> <li>• Mixed-Density Neighborhood Dashboard</li> <li>• Public Notice</li> <li>• Mailing Labels</li> </ul> |
|---|---|

**STAFF RECOMMENDATION:**

It is the City Staff's recommendation that the Planning and Zoning Commission approve a Rezoning Application for the Dominion development, one (1) lot on 15.42 acres, more or less, and being located at 12200 Tower Rd, Manor, TX from (IN-1) Light Industrial to (MF-2) Multifamily – 25.

<b>PLANNING &amp; ZONING COMMISSION:</b>	<b>Recommend Approval</b>	<b>Disapproval</b>	<b>None</b>
--	---------------------------	--------------------	-------------



December 1<sup>st</sup>, 2023  
Scott Dunlop  
Development Services Director  
City of Manor  
105 E Eggleston St.  
Manor, TX 78653

***RE: Zoning Application, 12200 Tower Road, Manor, TX 78653***

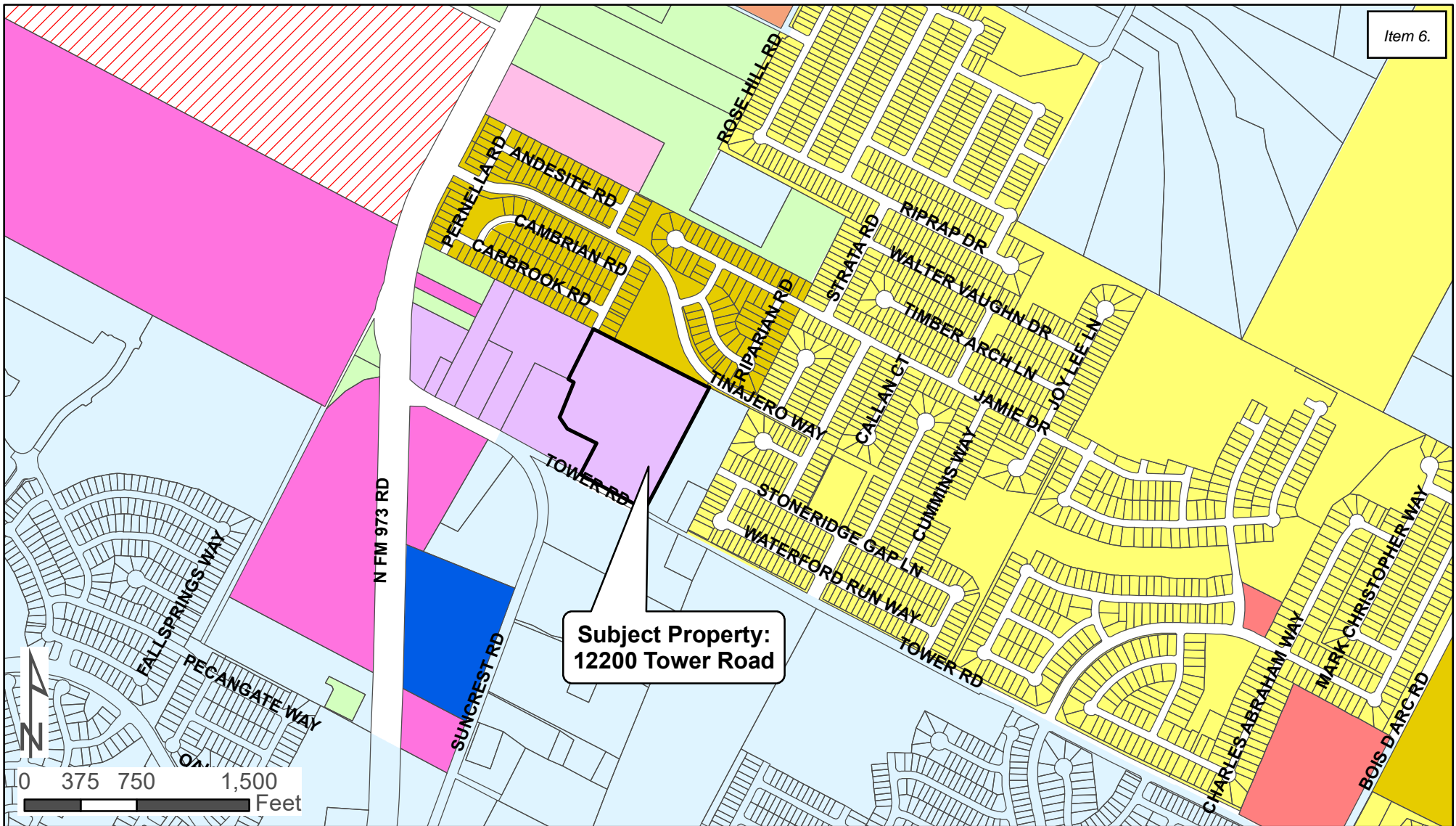
Mr. Dunlop,

Dominium is requesting that the City of Manor accept our zoning application for the above-referenced property. We intend to rezone the property from Light Industrial (IN-1) to Multi-Family 25 (MF-2). This will give us the opportunity to partner with Manor PFC to provide affordable homes where there is much-needed demand. The intention is to develop 324 affordable homes across eleven 3-story garden-style buildings. All units will be restricted to 60% Area Median Income. The subject parcel has been marketed with the current zoning for over a year and has had minimal interest. Limited demand for industrial space on the parcel arises from its size being too small for extensive industrial use and excessively large for light industrial use. The proposed rezoning will establish a buffer zone between the present industrial facilities to the west and the surrounding residential homes. Accepting this letter will allow us to continue pursuing the anticipated development.

Thank you for considering this request.

Sincerely,

Mr. Neal Route  
Dominium  
Vice President & Project Partner



**Current:**  
Light Industrial (IN-1)

**Proposed:**  
Multi-Family 25 (MF-2)

**Zone**

A - Agricultural	I-1 - Institutional Small	MH-1 - Manufactured Home	NB - Neighborhood Business
SF-1 - Single Family Suburban	I-2 - Institutional Large	GO - General Office	DB - Downtown Business
SF-2 - Single Family Standard	C-1 - Light Commercial	IN-1 - Light Industrial	IN-2 - Heavy Industrial
TF - Two Family	C-2 - Medium Commercial	PUD - Planned Unit Development	ETJ
TH - Townhome	C-3 - Heavy Commercial		
MF-1 - Multi-Family 15			
MF-2 - Multi-Family 25			



Aerial image

Write a description for your map.

Legend

1220 Item 6. d



Hiland Dairy Foods

Ornamental Iron and Fence Supply

Tinajero Way

Riparian Rd

Tinajero Way

Bordin Ct

Tinajero Way

Greywacke Dr

Tower Rd

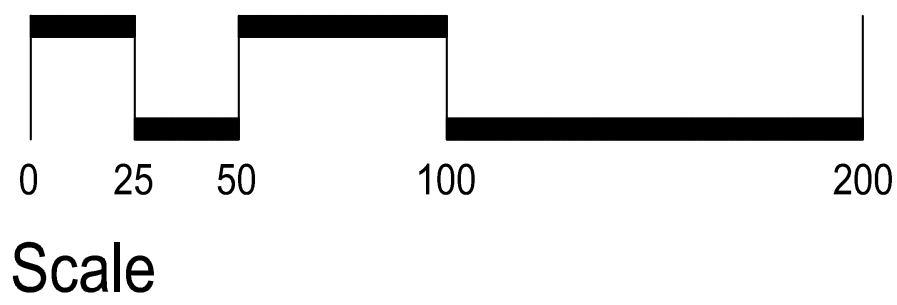
Tower Rd

Suncrest Rd





Site Data				
Family - 3 Stories Unit Mix		No.	%	
2 Bedroom		78	24.1	
3 Bedroom		180	55.5	
4 Bedroom		66	20.4	
Totals		324		
Parking Required			Parking Provided	
2 Beds	2.0/unit	156	516	1.59/unit
3 Beds	2.5/unit	450		
4 Beds	2.5/unit	165		
Total Res.	2.38/unit	771		
Guest	10%	77		
Total	2.62/unit	848		















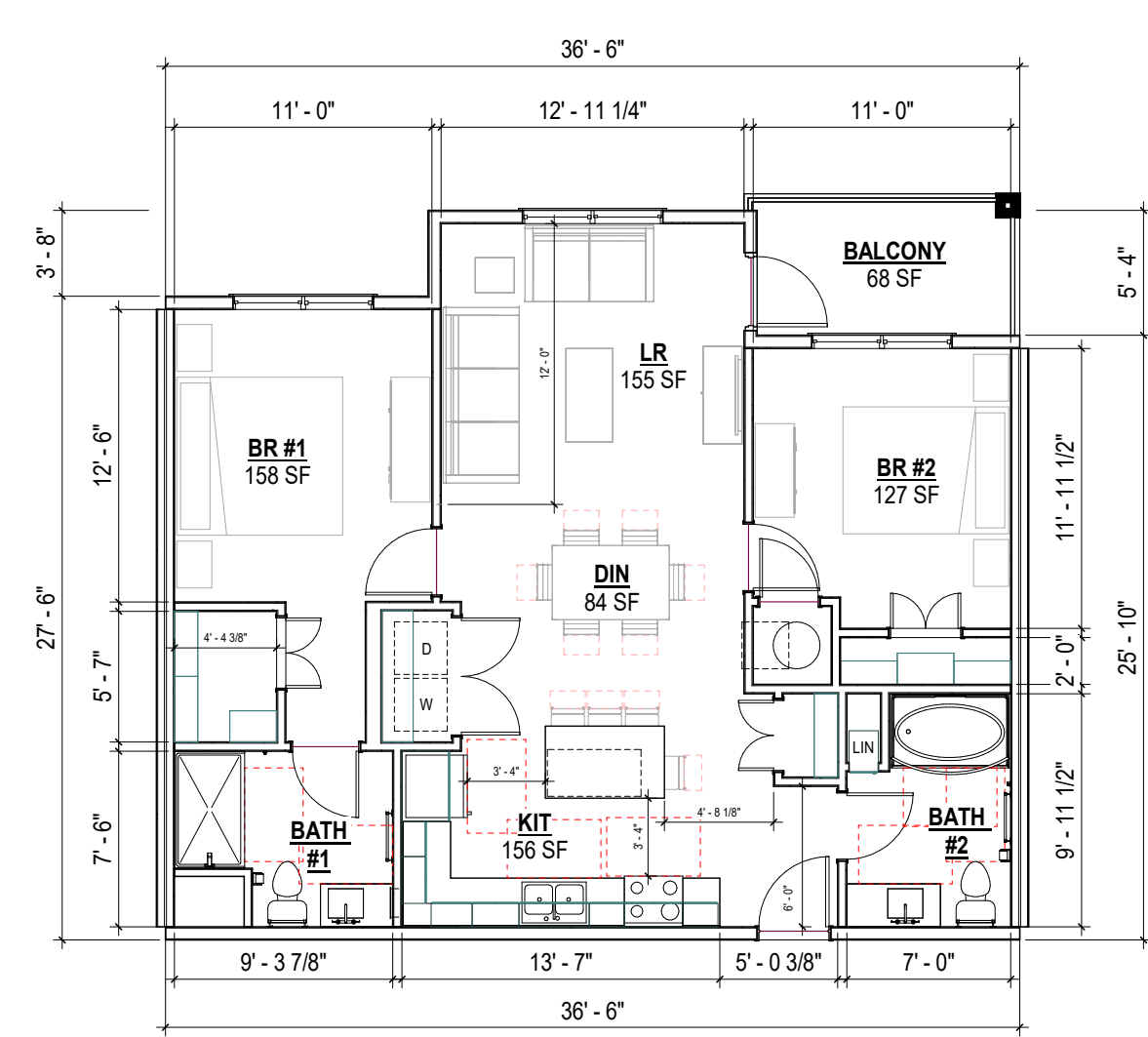




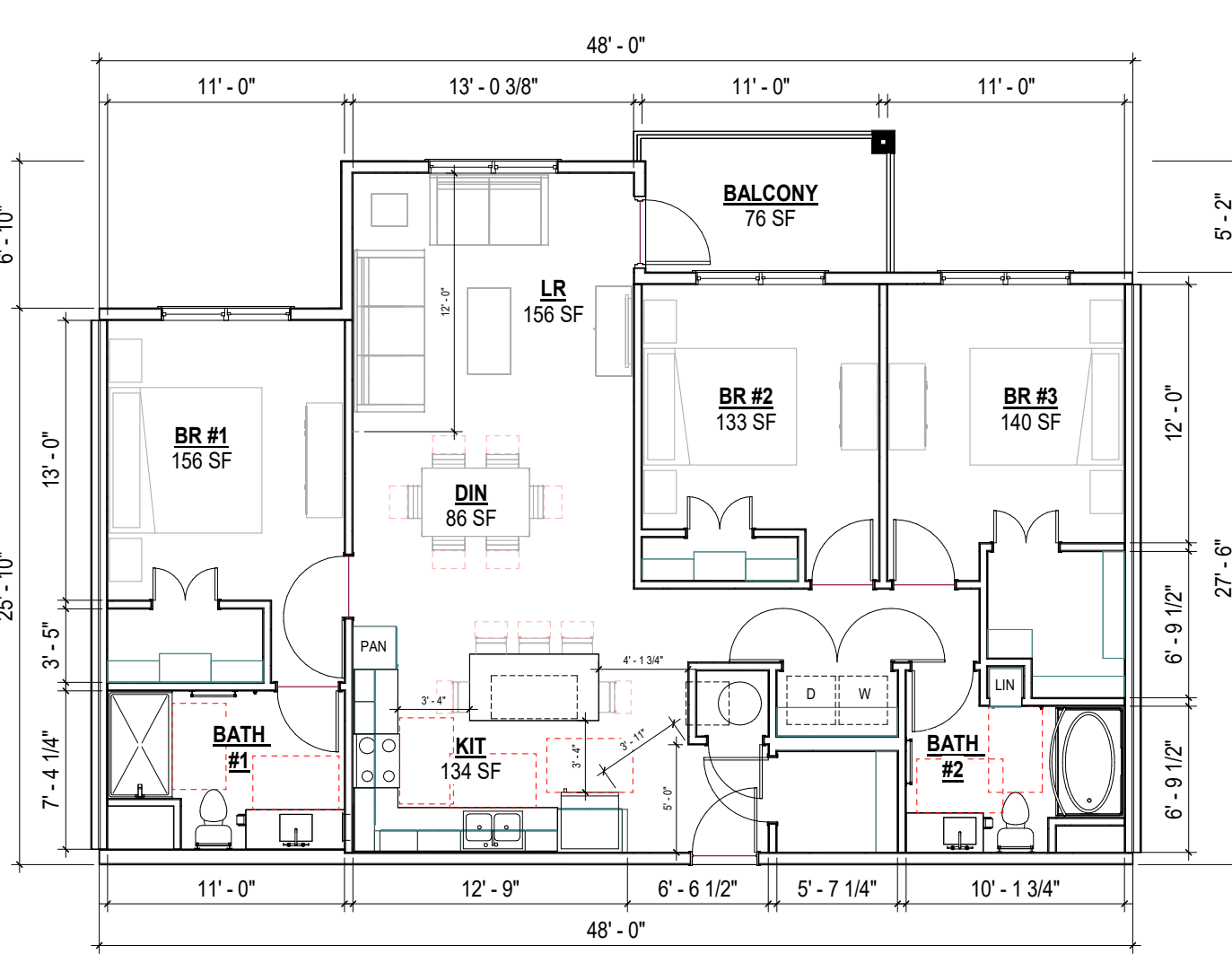




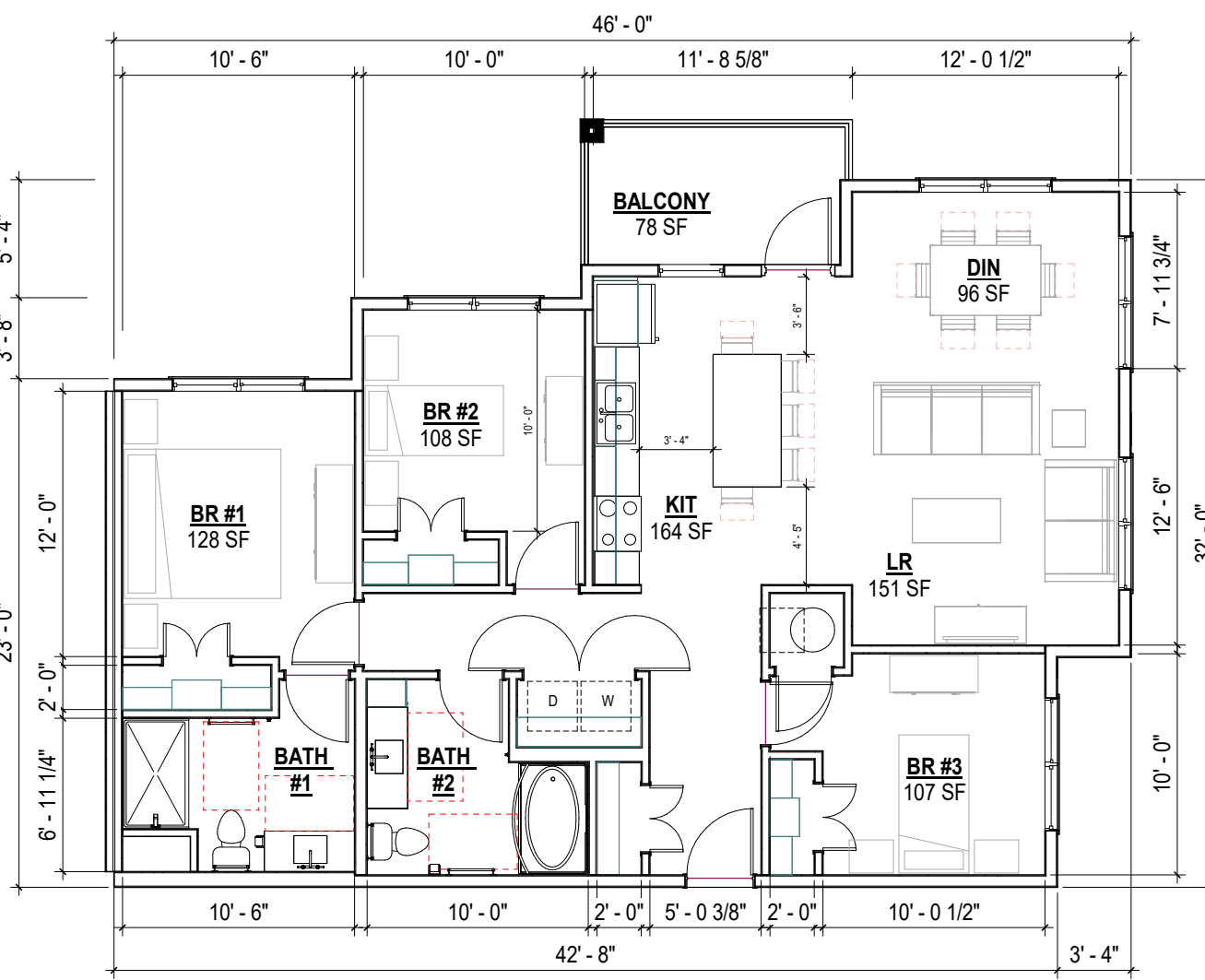
SCHARBAUER FLATS - MIDLAND, TX



2 BR IN-LINE SPLIT



3 BR IN-LINE SPLIT



3 BR CORNER

UNIT PLAN EXAMPLES



**T E C H N I C A L   M E M O R A N D U M**

**DATE:** February 8, 2024

**TO:** City of Manor  
**FROM:** Ben Plett, P.E.

**RE:** Dominion Manor Multifamily Traffic Count Methodology

This memorandum documents the traffic counts methodology for the Dominion Manor Development. The site is located north of US 290 and between FM 973 and Bois D'Arc Road in the City of Manor, Travis County, Texas. The objective of this memo is to summarize the traffic count methodology.

Weekday AM and PM peak period turning movement counts were collected by Quality Counts, LLC. Quality Counts is a national traffic data collection company with 15+ offices nationwide and are a trusted partner to Kimley-Horn and other transportation engineers throughout the county.

Quality Counts records turning movement counts with video cameras and tabulates the data using artificial intelligence, manual review, and a proprietary quality control application. The counts were collected at the following study intersections from 7:00am to 9:00am and from 4:00pm to 6:00pm while school was in session on Thursday, December 7<sup>th</sup>, 2023. It should be noted that one day of traffic counts is an industry standard and the subconsultant verifies that there are no issues that interfere with the integrity of the data collection including inclement weather, construction, vehicle crashes, and/or any other atypical roadway operations.

The peak hour is defined as the 60-minute period in which the greatest number of vehicles enter an intersection. The peak hour at each intersection was observed as follows:

1. FM 973 at Suncrest Road
  - AM Peak Hour: 7:00 AM – 8:00 AM
  - PM Peak Hour: 4:30 PM – 5:30 PM
2. Suncrest Road at Tower Road
  - AM Peak Hour: 7:00 AM – 8:00 AM
  - PM Peak Hour: 5:00 PM – 6:00 PM
3. Bois D'Arc Road at Tower Road
  - AM Peak Hour: 7:00 AM – 8:00 AM
  - PM Peak Hour: 5:00 PM – 6:00 PM

School times were captured during the AM peak period, however higher volumes of traffic from individuals returning home from work were identified to be during 5-6pm for the PM peak period. While school is let out before the PM peak hour, generally more traffic is observed between 4pm and 6pm, thus this is referred to as the PM peak hour. Through field observation, the existing counts indicate there are no pedestrian volumes near the site. The raw count sheets are provided in **Appendix A**.


## Appendix A: Traffic Counts



Traffic Count Database System  
(TCDS)

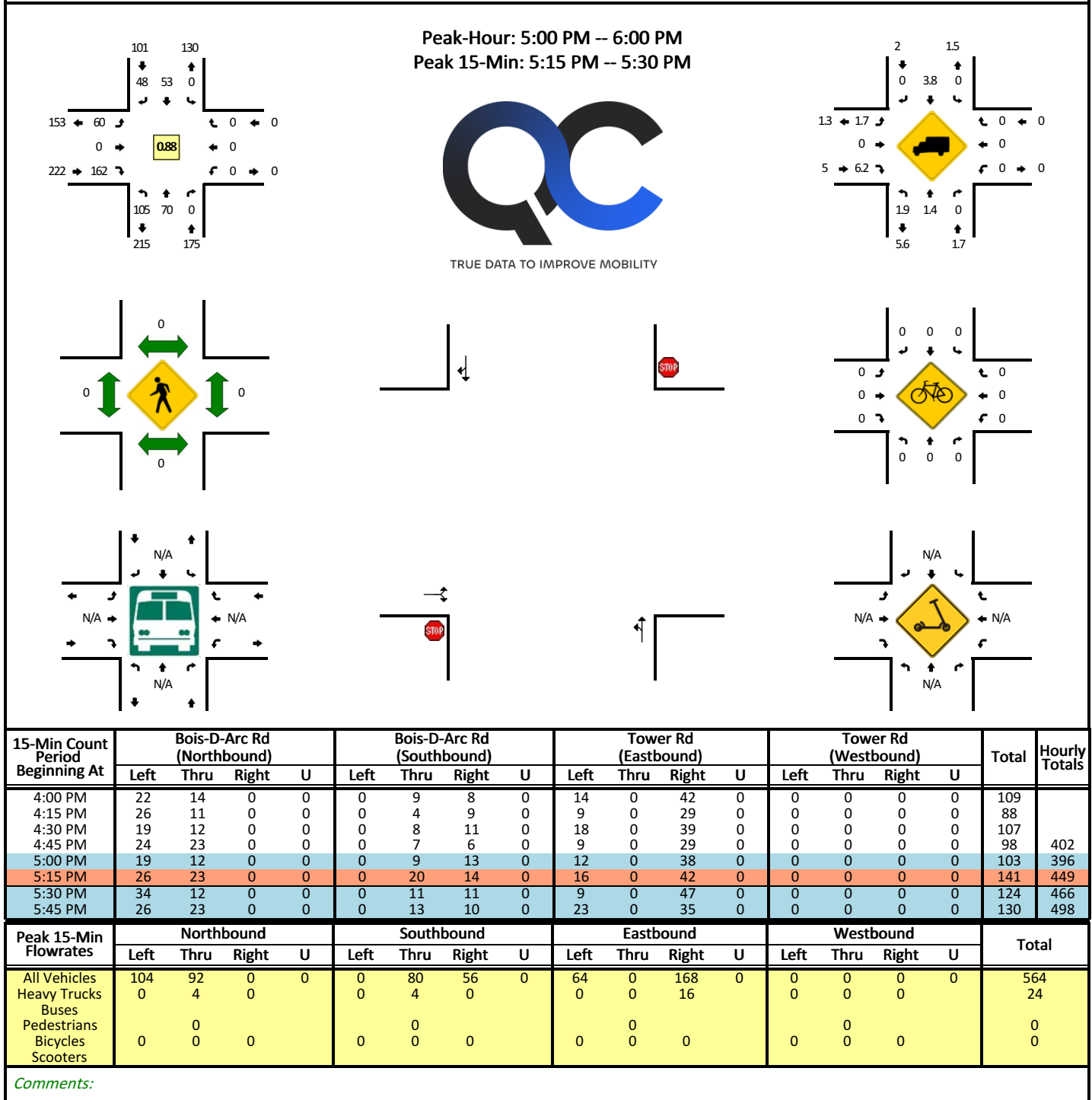
# Volume Count Report

LOCATION INFO		INTERVAL: 15-MIN					
Location ID	227H31	Time	15-min Interval				Hourly Count
Type	SPOT		1st	2nd	3rd	4th	
Funct'l Class	4	0:00-1:00	32	35	28	33	128
Located On	FM0973	1:00-2:00	19	19	22	20	80
Loc On Alias	FM0973-KG	2:00-3:00	21	20	17	16	74
Direction	2-WAY	3:00-4:00	28	22	35	31	116
County	Travis	4:00-5:00	39	52	72	65	228
Community	Manor	5:00-6:00	125	155	197	221	698
MPO ID	90	6:00-7:00	226	262	258	294	1,040
HPMS ID	ASSIGNED	7:00-8:00	277	255	254	270	1,056
Agency	Texas DOT	8:00-9:00	238	228	224	211	901
		9:00-10:00	235	212	228	211	886
		10:00-11:00	200	183	220	219	822
		11:00-12:00	249	229	199	217	894
		12:00-13:00	227	236	227	230	920
		13:00-14:00	225	228	243	207	903
		14:00-15:00	222	228	243	229	922
		15:00-16:00	248	250	288	293	1,079
		16:00-17:00	313	291	300	310	1,214
		17:00-18:00	328	316	312	305	1,261
		18:00-19:00	281	295	253	245	1,074
		19:00-20:00	176	169	177	164	686
		20:00-21:00	137	163	136	127	563
		21:00-22:00	125	104	103	99	431
		22:00-23:00	101	89	57	71	318
		23:00-24:00	65	52	54	32	203
		Total					16,497
		AADT					15,772
		AM Peak	06:15-07:15 1,091				
		PM Peak	16:45-17:45 1,266				

COUNT DATA INFO	
Count Status	Accepted
Holiday	No
Start Date	Mon 12/20/2021
End Date	Tue 12/21/2021
Start Time	4:00:00 AM
End Time	4:00:00 AM
Direction	
Notes	
Station	
Study	
Speed Limit	
Description	
Sensor Type	Axle/Tube
Source	
Latitude, Longitude	30.351029, -97.537562 

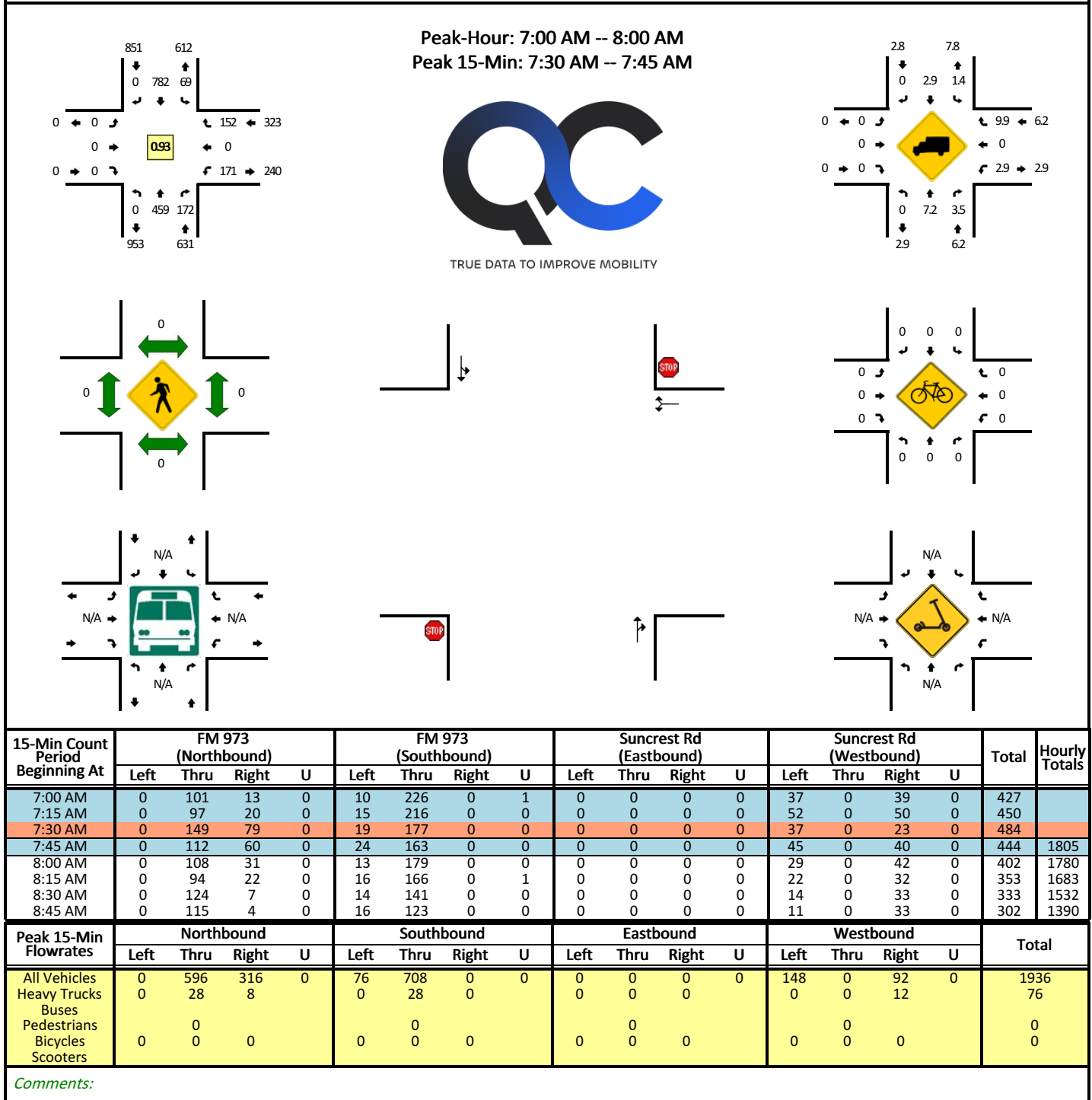
**LOCATION:** Bois-D-Arc Rd -- Tower Rd  
**CITY/STATE:** Manor, TX

**QC JOB #:** 16426706  
**DATE:** Thu, Dec 7 2023



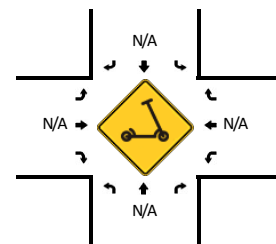
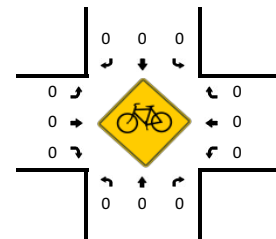
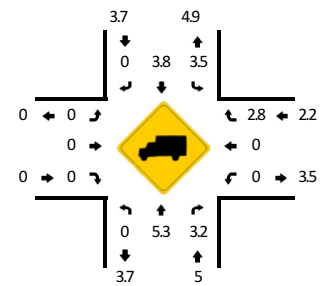
**LOCATION:** FM 973 -- Suncrest Rd  
**CITY/STATE:** Manor, TX

**QC JOB #:** 16426701  
**DATE:** Thu, Dec 7 2023





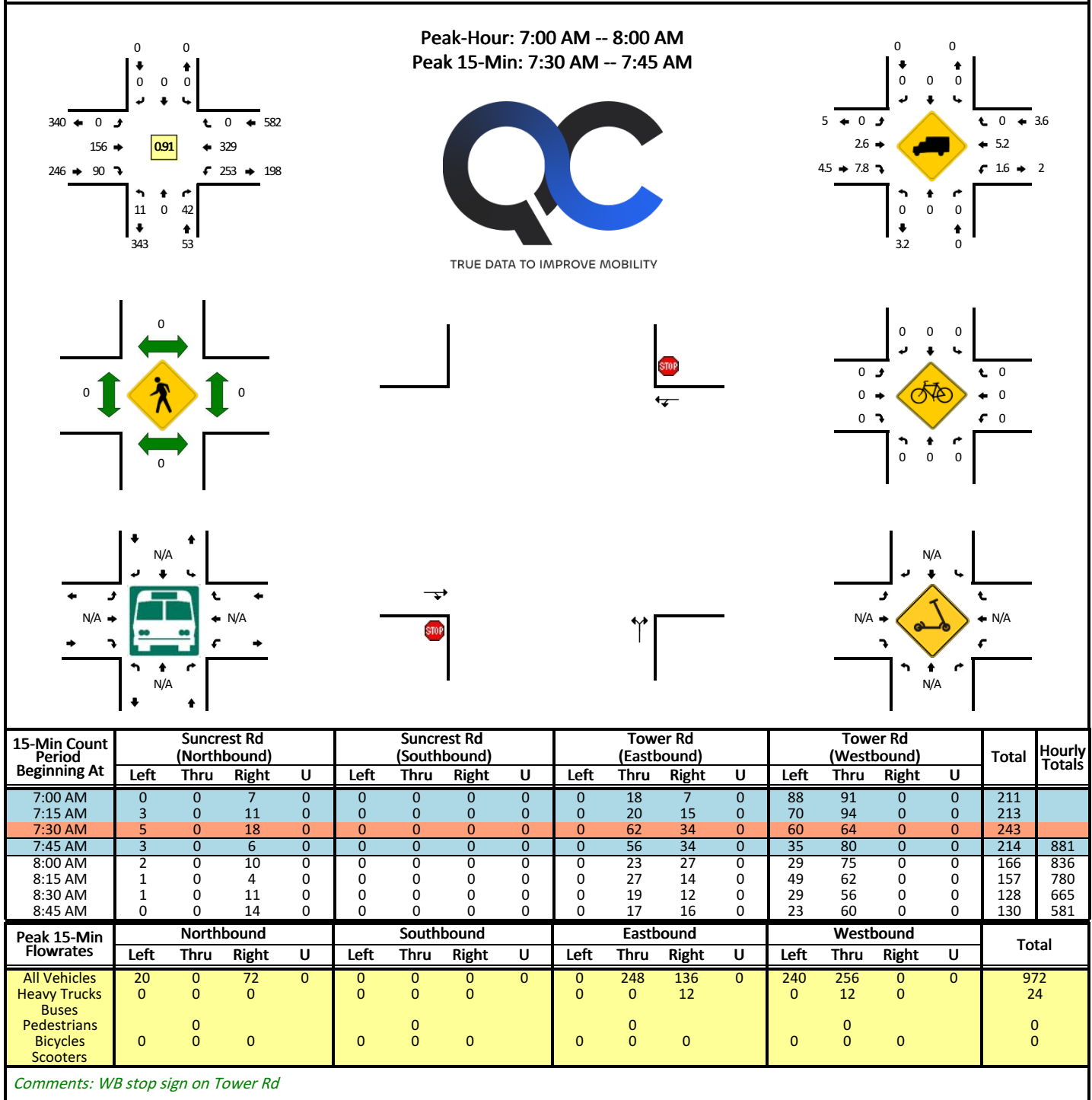
QC JOB #: 16426702  
DATE: Thu, Dec 7 2023



*Comments:*

**LOCATION:** Suncrest Rd -- Tower Rd  
**CITY/STATE:** Manor, TX

**QC JOB #:** 16426703  
**DATE:** Thu, Dec 7 2023

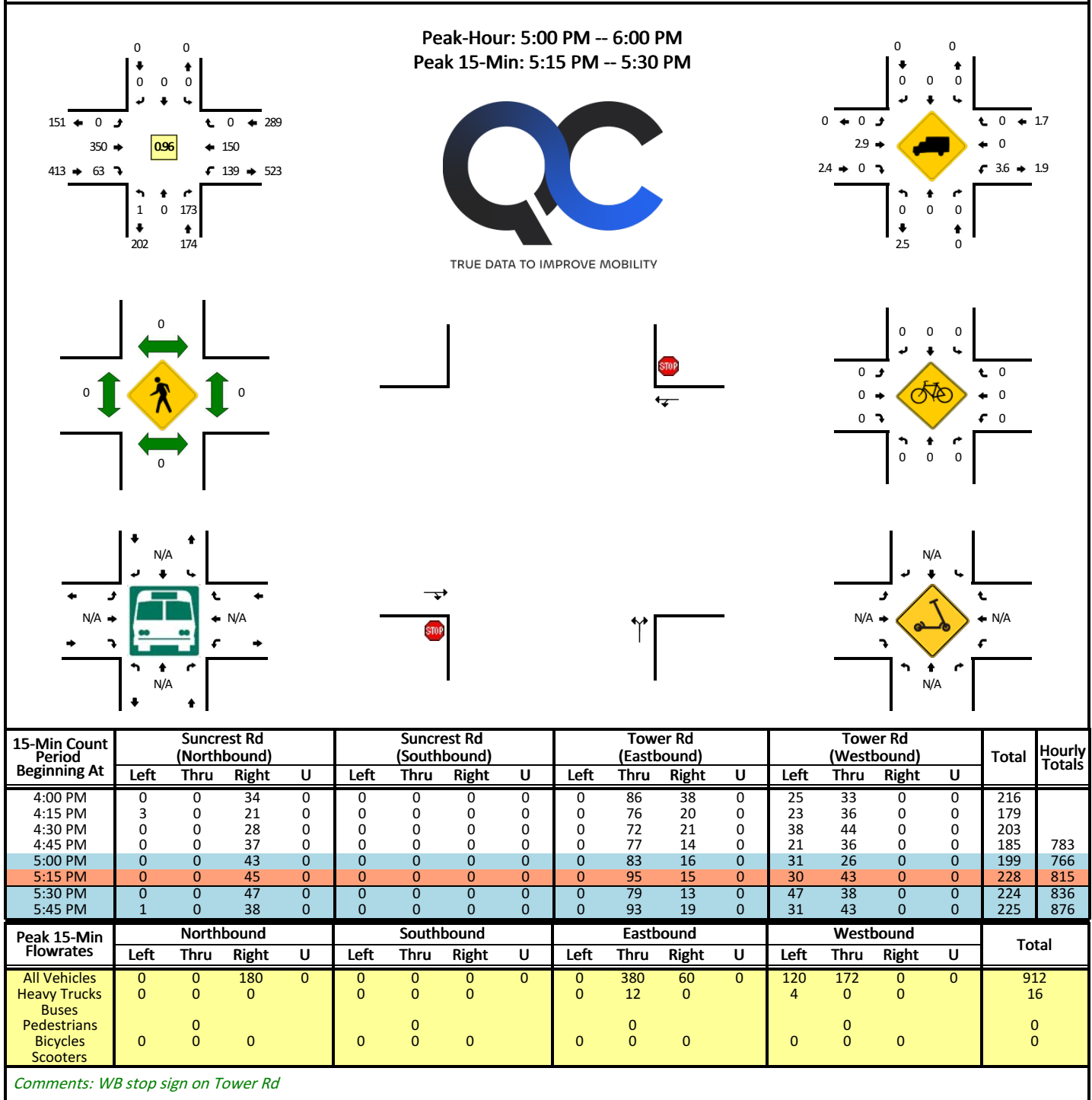


Report generated on 12/11/2023 1:35 PM

SOURCE: Quality Counts, LLC (<http://www.qualitycounts.net>) 1-877-580-2212

**LOCATION:** Suncrest Rd -- Tower Rd  
**CITY/STATE:** Manor, TX

**QC JOB #:** 16426704  
**DATE:** Thu, Dec 7 2023



Report generated on 12/11/2023 1:35 PM

SOURCE: Quality Counts, LLC (<http://www.qualitycounts.net>) 1-877-580-2212







## Memorandum

To: Dominion Inc.

From: Ben L. Green, P.E. – Kimley-Horn and Associates

Date: February 8, 2024

Subject: **Technical Memo: Tower Road Drainage Improvements**

---

The content of this memo is based on a 15.49-acre tract of land located in City of Manor, approximately 500 feet east of the intersection of Tower Road and Suncrest Road. Kimley-Horn (KH) has prepared this memo to evaluate the existing drainage conditions of Tower Road at this location and to provide possible solutions to minimize the current flooding in this area. KH has been made aware that there is frequent flooding along Tower Road at this location which has prompted the need for this analysis.

The following summarizes the technical elements of the existing drainage problems and proposed drainage improvements on Tower Road for this location:

- Currently there is an existing 24" corrugated metal pipe storm culvert crossing under Tower Road. Per KH's analysis, this culvert is severely undersized resulting in frequent flooding during all significant storm events including the 2-year storm event.
- KH has determined that constructing four (4) - 3'X6' box culverts would allow sufficient storm water to pass under Tower Road and to prevent water from backing up and overtopping the existing roadway in the 2-year storm event and flooding in larger storm events such as the 25-year and 100-year would be reduced.

Tower Road experiences flooding in the lowest commonly analyzed rain event, the 2-year storm event, and it can be expected to flood in smaller rain events multiple times per year. This 2-year storm event is defined as approximately 4 inches of rain over 24 hours and statistically has a 50% chance to occur each year, per NOAA ATLAS 14 precipitation estimates, the latest available data from the National Weather Service.

In the existing condition, the volume of water generated by the 2-year storm can be expected to surcharge the existing undersized culvert. As the culvert fills with water, excess water will back up behind the roadway, causing water to overtop Tower Road at a depth of approximately 1.5 feet over the pavement at its deepest location. This overtopping flow spans along Tower Road for approximately 239 feet which creates an unsafe driving condition during most sustained rain events.

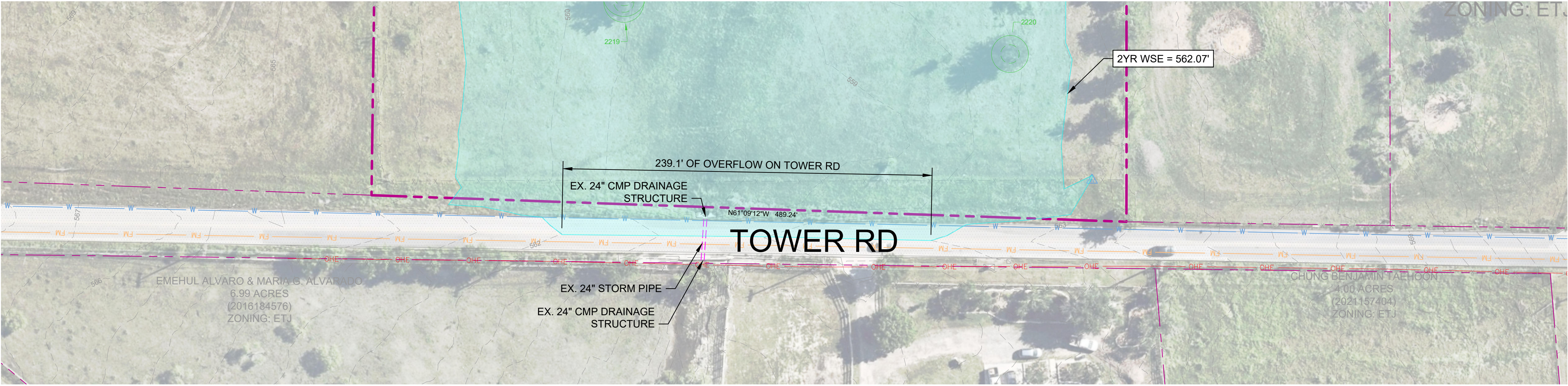
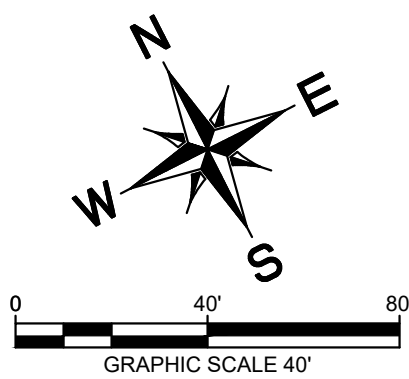
With the installation of the four (4) 3'X6' culverts, drainage will be improved such that water during the 2-year storm event and smaller storm events would be fully conveyed underneath the roadway and contained within underground storm infrastructure. In essence, the proposal would be to replace the

existing pipe with larger culverts, which have more flow capacity due an increased opening area which allows water to pass through instead of backing up behind the roadway. The proposed box culverts would not be conveying more flow downstream. Rather, the same amount of water that would originally be passing above the roadway would be passing underneath the roadway in the proposed box culverts. Per Texas Water Code and City of Manor regulations, the amount of flow downstream will not be allowed to increase, but the manner in which the flow will be conveyed will be safer for motorists. Since the water will no longer overtop the roadway; this will ensure Tower Road remains functional during the majority of rain events through the year.

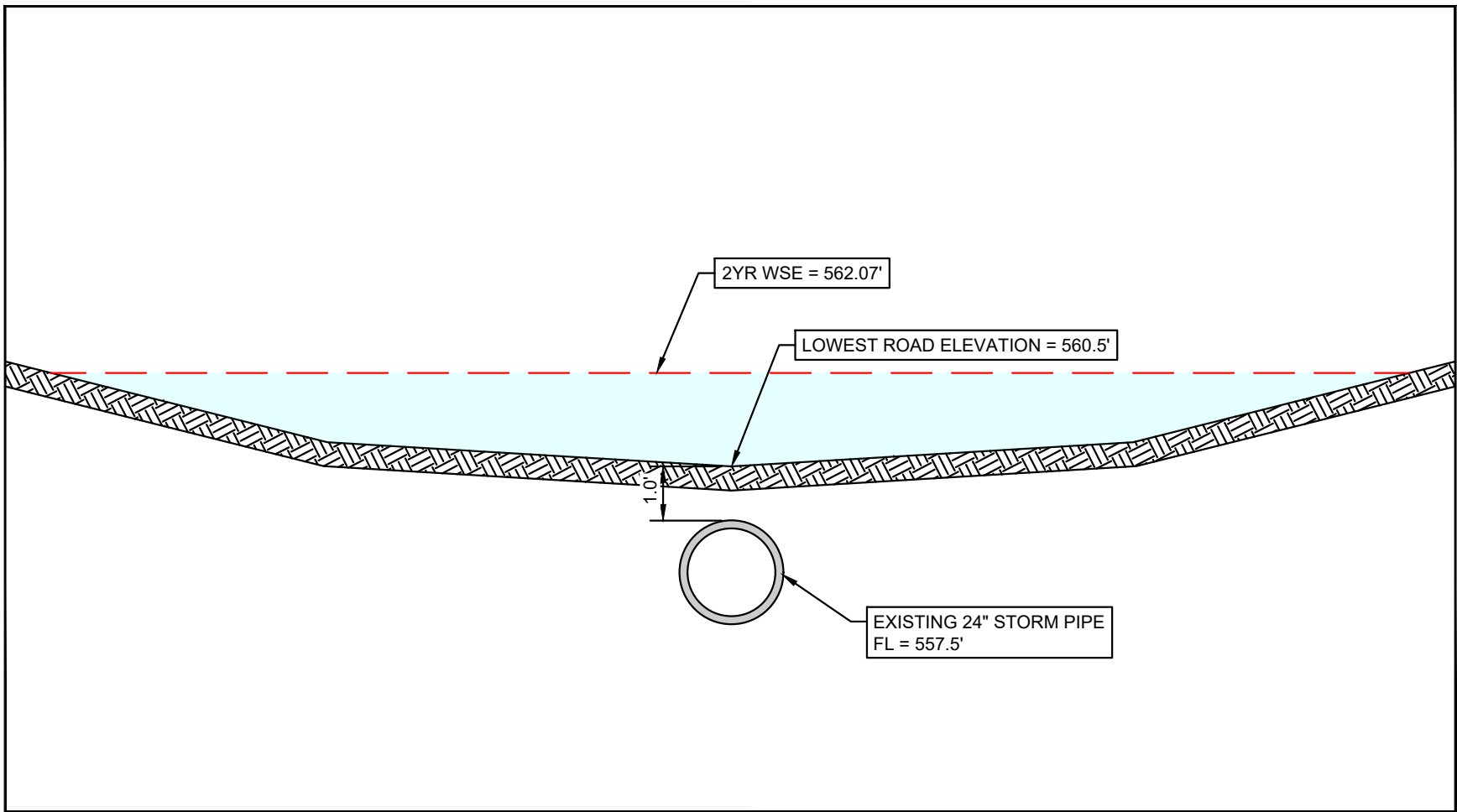
Per standard engineering practice and in conformance with the Texas Water Code and City of Manor regulations, the proposed development will be required to ensure that the proposed development will not increase flow downstream of the development. During the course of design of the onsite civil plans, KH will perform a drainage model using Soil Conservation Service Curve Number model methodology to ensure the flow of water downstream does not increase when additional impervious cover proposed by the development is constructed. The maximum amount of impervious cover proposed onsite will be dictated by the zoning. The proposed culverts under Tower Road will not impact the amount of impervious cover allowed or designed. KH will propose a variety of storm maintenance measures, including underground pipe conduit, open channels, and detention ponds, to reduce the proposed flows generated by the additional impervious cover to be lower than the flow in existing conditions. The City of Manor will have to approve of the drainage design for the development in order for the development to receive Site Development Permits.

The Culvert Exhibit provided depicts the existing and proposed conditions described above.

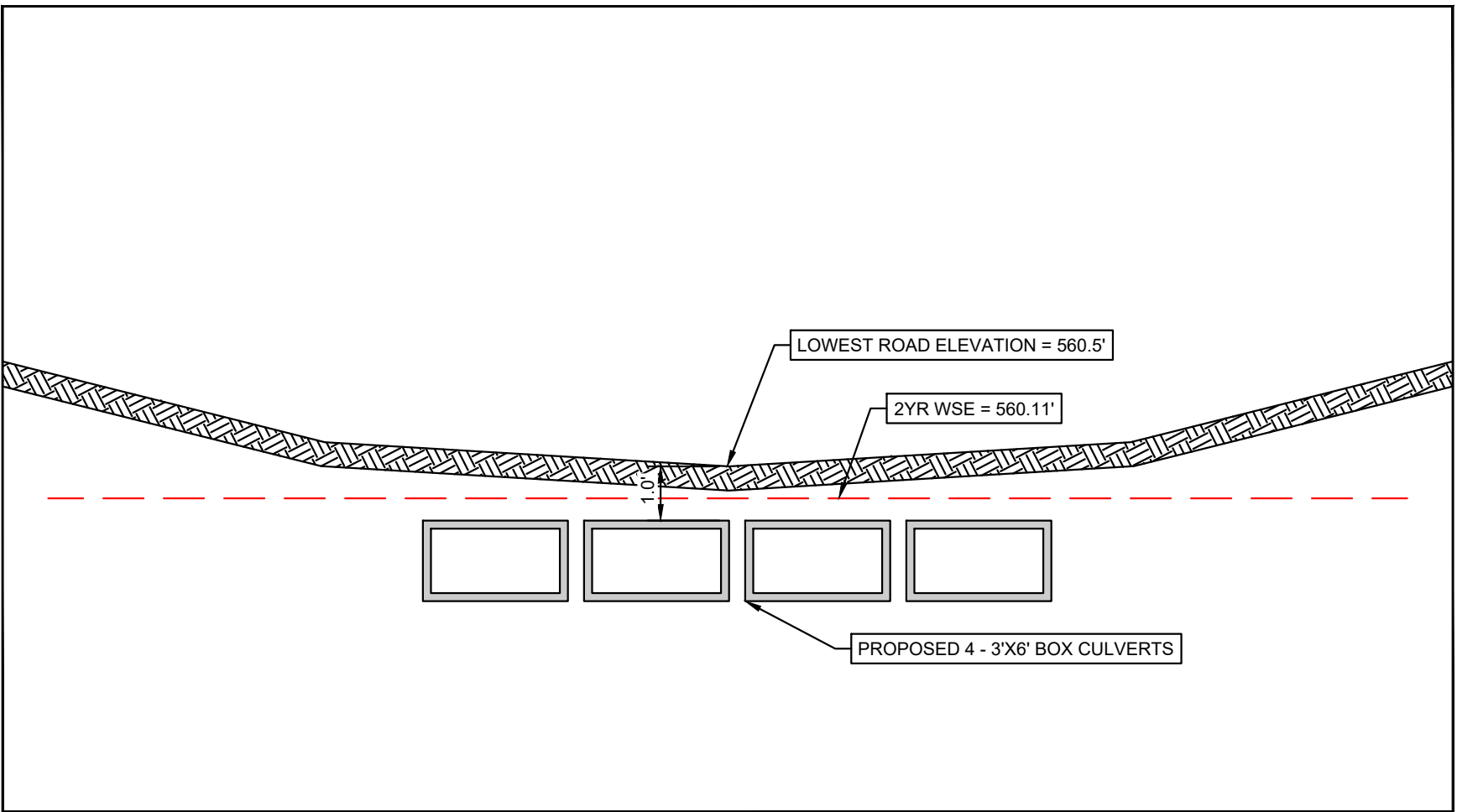




LEGEND	
	PROPERTY LINE
	EXISTING WASTEWATER LINE
	EXISTING WATER LINE
	EXISTING FORCE MAIN LINE
	EXISTING WASTEWATER MANHOLE
	EXISTING STORM DRAIN LINE
	EXISTING FIRE HYDRANT
	EXISTING STORM DRAIN INLET
	EXISTING OVERHEAD POWERLINE
	EXISTING POWER POLE



ROAD PROFILE - EXISTING OVERTOPPING DEPTH  
N.T.S.

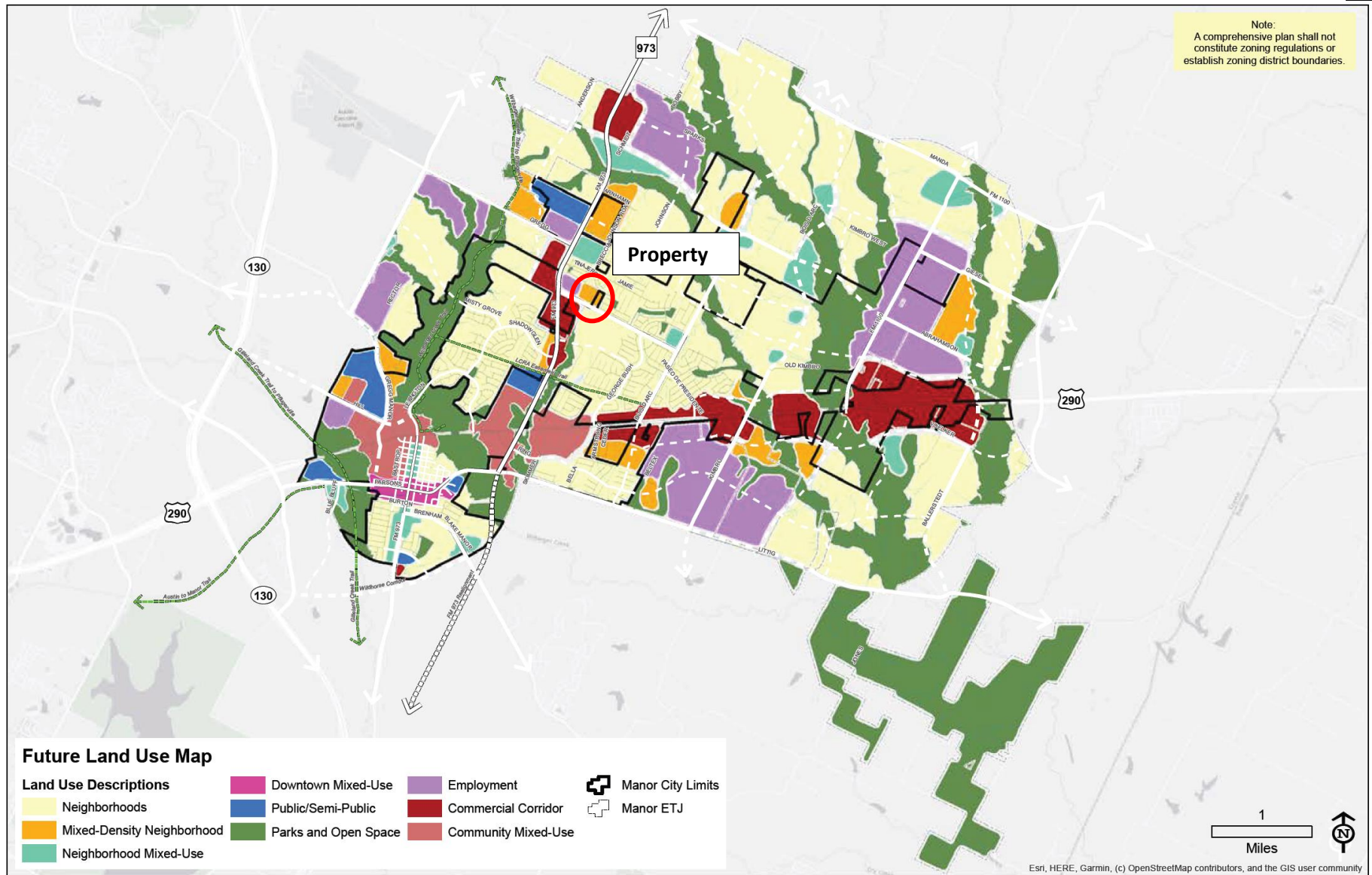


ROAD PROFILE - PROPOSED OVERTOPPING DEPTH  
N.T.S.

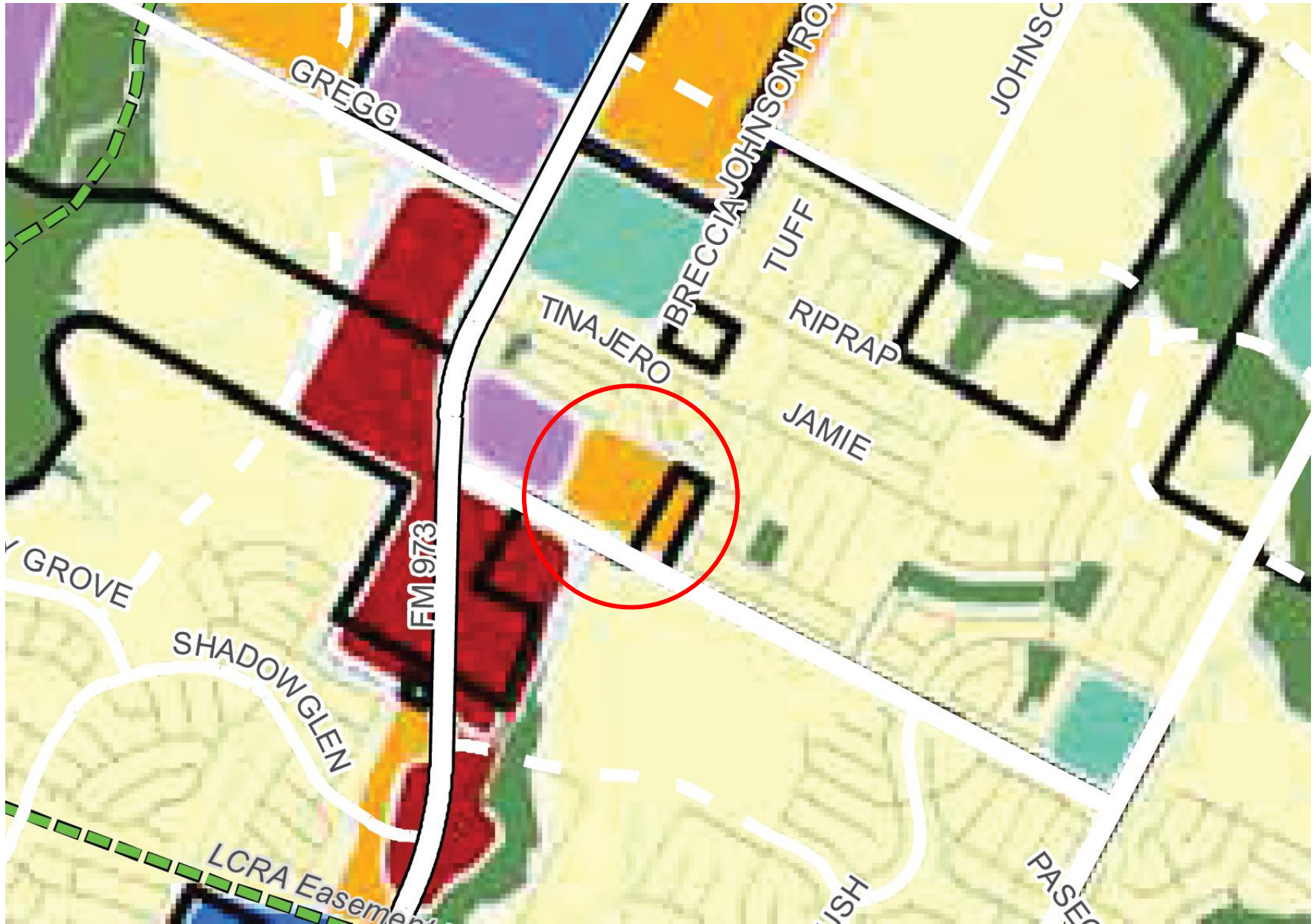
TOWER RD  
CULVERT EXHIBIT  
MANOR, TEXAS  
December 23

Kimley»Horn  
5301 SOUTHWEST PARKWAY  
BUILDING 2, SUITE 100  
AUSTIN, TEXAS 78746  
512-646-2237  
State of Texas Registration No. F-928





Map 3.1. Future Land Use Map





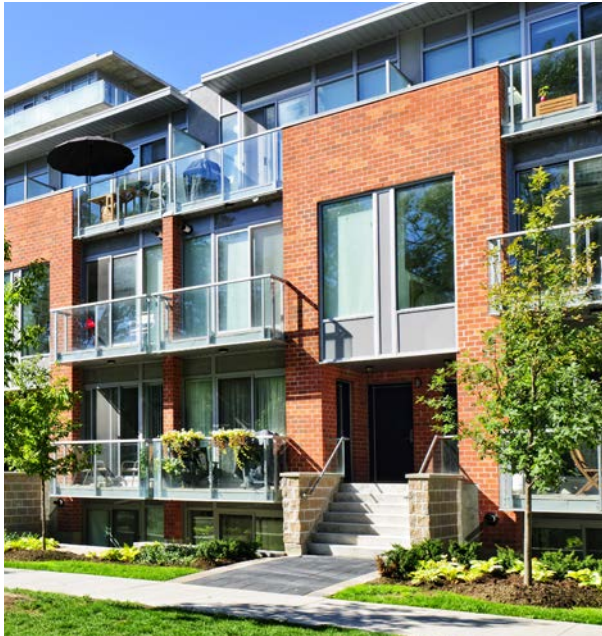
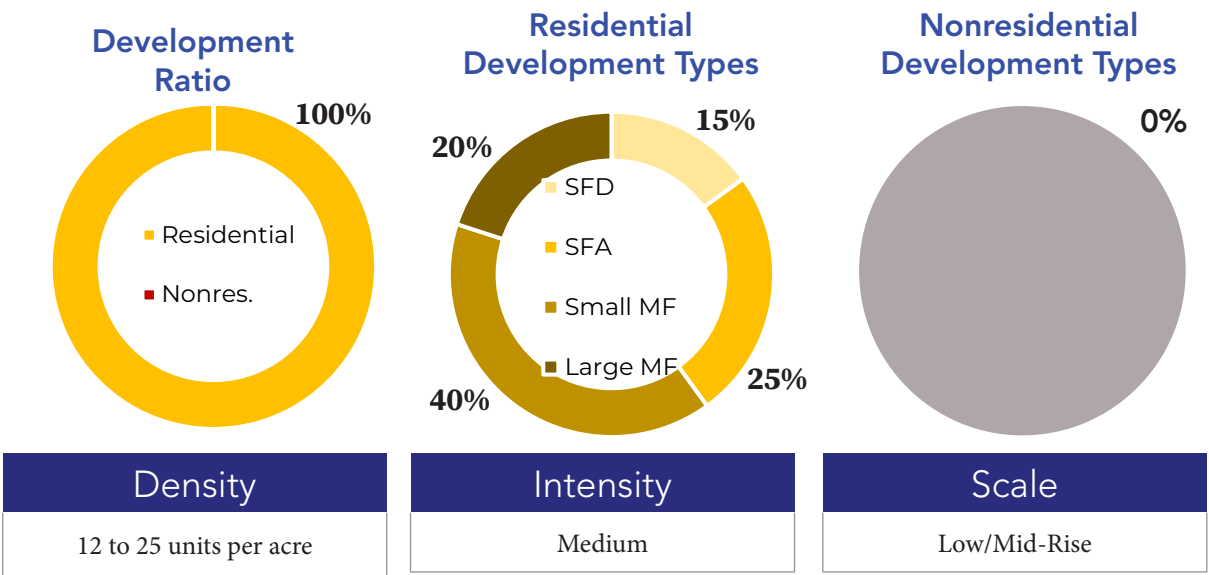
### MIXED DENSITY NEIGHBORHOODS

Mixed Density Neighborhoods primarily support a mix of housing options that may consist of one or more of the following housing types from more dense single family homes to small multifamily, with a higher proportion of attached, missing middle, and multifamily products than the Neighborhood category.

The mixed density neighborhood areas are intended to diversify residential areas and allow for infill of different housing types among new or existing single family homes.

This use can serve as an appropriate transition from nonresidential and mixed-use areas to the lower density Neighborhoods.

Figure 3.5. Mixed Density Neighborhoods Land Use Mix Dashboard



DEVELOPMENT TYPE	APPROPRIATENESS	CONDITIONS
Single-Family Detached (SFD)	●●●○○	Appropriate if a denser product on smaller lots, condo regime, or “build-to-rent” products.
SFD + ADU	●●●●○	
SFA, Duplex	●●●●●	
SFA, Townhomes and Detached Missing Middle	●●●●●	Appropriate overall.
Apartment House (3-4 units)	●●●●●	
Small Multifamily (8-12 units)	●●●●●	
Large Multifamily (12+ units)	●●●○○	Appropriate when adjacent to retail and employment opportunities, with superior access to open space and roadways. Should be integrated with small multifamily and other missing middle housing options.
Mixed-Use Urban, Neighborhood Scale	●○○○○	Not considered appropriate, but may occur in other future land use categories adjacent to Mixed-Density Neighborhoods.
Mixed-Use Urban, Community Scale	●○○○○	
Shopping Center, Neighborhood Scale	●○○○○	
Shopping Center, Community Scale	●○○○○	
Light Industrial Flex Space	●○○○○	
Manufacturing	●○○○○	Not considered appropriate.
Civic	●●●●●	Considered supportive to the function and livability of this future land use category; government buildings, schools and community facilities can serve as activity hubs within neighborhoods.
Parks and Open Space	●●●●●	Generally considered appropriate or compatible within all Land Use Categories.





12/27/23

## City of Manor Development Services

# Notification for a Rezoning Application

Project Name: Dominion Multi-Family Rezoning  
 Case Number: 2023-P-1596-ZO  
 Case Manager: Michael Burrell  
 Contact: [mburrell@manortx.gov](mailto:mburrell@manortx.gov) – 512-215-8158

The City of Manor Planning and Zoning Commission and City Council will be conducting Regularly Scheduled meetings for the purpose of considering and acting upon a Rezoning Application for the Dominion Multi-Family apartments located at 12200 Tower Rd, Manor, TX from (IN-1) Industrial-Light to (MF-2) Multi-Family 25. The request will be posted on the agenda as follows:

**Public Hearing: Conduct a public hearing on a Rezoning Application for the Dominion, one (1) lot on 15.42 acres, more or less, and being located at 12200 Tower Rd, Manor, TX from (IN-1) Industrial Light to (MF-2) Multifamily – 25.**

***Applicant: Dominion***  
***Owner: Kenneth Tumlinson***

The Planning and Zoning Commission will meet at 6:30PM on January 10, 2024 at 105 East Eggleston Street in the City Hall Council Chambers.

The Manor City Council will meet at 7:00 PM on January 17, 2024 at 105 East Eggleston Street in the City Hall Council Chambers.

You are being notified because you own property within 300 feet of the property for which this Rezoning Application has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

105 E. EGGLESTON STREET • P.O. BOX 387 • MANOR, TEXAS 78653  
 (T) 512.272.5555 • (F) 512.272.8636 • [WWW.CITYOFMANOR.ORG](http://WWW.CITYOFMANOR.ORG)



Shaterica & Wesley Roberson  
14401 ESTUARY RD  
MANOR, TX 78653

Josias Gaona & Elvira Fernadez  
14405 ESTUARY RD  
MANOR, TX 78653

Willie Earl Easley & Tracy Y. Lee  
14409 ESTUARY RD  
MANOR, TX 78653

Donald R. & Cindy L. Williams  
14413 ESTUARY RD  
MANOR, TX 78653

Gaurav Dhingra & Saxena B. Charul  
2688 Corey Pl  
SAN RAMON, CA 94583

Marco A. Zarate  
14421 ESTUARY RD  
MANOR, TX 78653

Phillip & Lillian Howard  
11740 CARBROOK RD  
MANOR, TX 78653

Jorge Nicanor  
11736 CARBROOK RD  
MANOR, TX 78653

Tommy Ortegon & Amy Martinez  
11732 CARBROOK RD  
MANOR, TX 78653

Yvonne & Christopher T. Solis  
11728 CARBROOK RD  
MANOR, TX 78653

Jiacheng Hong & Duan Yuqiong  
1436 CABRILLO AVE  
BURLINGAME, CA 94010

Dechard & Doris Freeman  
11720 CARBROOK RD  
MANOR, TX 78653

John Allan Doranski  
1801 ROBERT TYLER DR  
KILLEN, TX 76542

Magdaleno C. Moreno Jr.  
11725 CARBROOK RD  
MANOR, TX 78653

Mary Davis & Jordan Wesley Barrs  
11729 CARBROOK RD  
MANOR, TX 78653

Chasalyn M. Rowlett  
11733 CARBROOK RD  
MANOR, TX 78653

Jeremiah Gonzales & Ashley D.  
Endicott  
11737 CARBROOK RD  
MANOR, TX 78653

Kevin J. Carlin & Taylor Nicole Radke  
11741 CARBROOK RD  
MANOR, TX 78653

Standford B. Routt  
1926 MULLIGAN DR  
ROUND ROCK, TX 78664

Vishal & Aparna Bhatnagar  
11913 RIPARIAN RD  
MANOR, TX 78653

Kenyata B. Jones  
11917 RIPARIAN RD  
MANOR, TX 78653

Sebastian Joseph & Lauren Ann Breci  
11921 RIPARIAN RD  
MANOR, TX 78653

Tsegaye K. Alemu & Birru A. Ejigayehu  
11925 RIPARIAN RD  
MANOR, TX 78653

Vishnu Santhi Kallam  
24300 SW HIDDEN VALLEY RD  
PECULIAR, MO 64078

Mary L. Geil  
11933 RIPARIAN RD  
MANOR, TX 78653

Portia R. Vincent  
11937 RIPARIAN RD  
MANOR, TX 78653

Maria M. Williams  
12001 RIPARIAN RD  
MANOR, TX 78653

Rochan Bhuptani  
752 SPRINGFIELD DR  
CAMPBELL, CA 95008

Rafaela Resendez & Juana Rosales  
12009 RIPARIAN RD  
MANOR, TX 78653

Fidele Kimararungu & Nyabirori Odette  
12013 RIPARIAN RD  
MANOR, TX 78653



Douglas & Glenda Sparks  
12017 RIPARIAN RD  
MANOR, TX 78653

Christopher & Denise Martinez  
12200 TOWER RD  
MANOR, TX 78653

Benjamin Taehoon Chung  
PO BOX 812  
MANOR, TX 78653

Stan Voelker  
14401 N FM 973  
MANOR, TX 78653

Emehul & Maria Alvarado  
12101 TOWER RD  
MANOR, TX 78653

Dee L. Brown  
14200 SUNCREST RD  
MANOR, TX 78653





## AGENDA ITEM SUMMARY FORM

**PROPOSED MEETING DATE:** February 13, 2024

**PREPARED BY:** Scott Dunlop, Director

**DEPARTMENT:** Development Services

### AGENDA ITEM DESCRIPTION:

**Consideration, discussion, and possible action on a Coordinated Sign Plan for 15721 US Hwy 290.**

*Applicant: The Glass House*

*Owner: The Glass House*

### BACKGROUND/SUMMARY:

This item is discretionary.

A Coordinated Sign Plan (CSP) sets the signage regulations for a property that individual signs, when applied for, would need to follow. A Coordinated Sign Plan is required either when one business is located in two or more buildings on one property, or one building has four or more tenants. This property has one business that is located in two buildings.

This CSP includes only one 23.275-square-foot backlit sign.

**LEGAL REVIEW:** *Not Applicable*

**FISCAL IMPACT:** *NO*

**PRESENTATION:** *NO*

**ATTACHMENTS:** *YES*

- Coordinated Sign Plan

### STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve a Coordinated Sign Plan for 15721 US Hwy 290.

**PLANNING & ZONING COMMISSION:**

**Recommend Approval**

**Disapproval**

**None**





9012 Research Blvd., Ste C-9  
Austin, TX 78759  
a@autistinsigno.com  
512.371.0999  
www.austinsigno.com

This proof represents the size, color, and look of your sign. Once the proof is approved it proceeds into production as it appears here. If you have any changes, additions, or questions please let us know and we will revise the proof as requested. We provide unlimited revisions and will not produce your sign until we have an approval from you. Austin Sign Co is not responsible for reprints if the sign produced matches the proof that was approved.

## SIGN PLAN PAGE 1 OF 2

### GLAZING CALCULATIONS OF PRIMARY FACADE

TOTAL S.F. OF PRIMARY FACADE: 1,750 S.F.		PROPOSED
10% GLAZING OF PRIMARY FACADE: 175 S.F.		
a.	GLAZING	968 S.F.
TOTAL GLAZING COVERAGE OF PRIMARY FACADE		968 S.F. 60% OF 100% PRIMARY FACADE

### APPLICABLE ARCHITECTURAL REQUIREMENTS

- CANOPIES, AWNINGS, OR PORTICOS
- MINIMUM OF TWO BUILDING MATERIALS, DIFFERENTIATED BY TEXTURE, COLOR, OR MATERIAL
- ARTICULATED GROUND FLOOR LEVELS OR BASE
- ARTICULATED CORNICE LINE
- HORIZONTAL & VERTICAL ARTICULATION OF PRIMARY FACADE
- MINIMUM 10% GLAZING (SEE GLAZING CALCULATIONS)



Qty: 1 Custom Cabinets with PushThru Acrylic letters & dots - 72"x46.5"

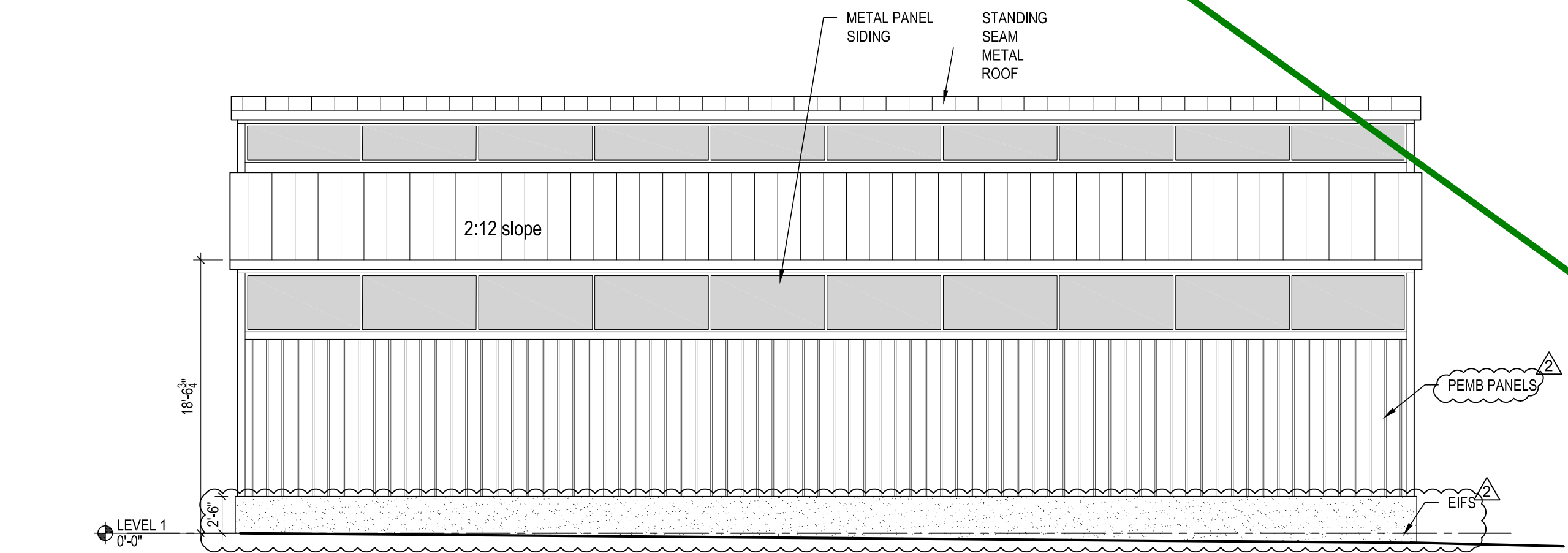
Invoice #: 16026  
Date: 11-18-22  
Customer: The Glass House  
Due Date: 12-28-22

Size: See Above  
Color Specs (if specified): Full Color  
Material: Push Thru Acrylic custom cab  
Material Thickness: Standard

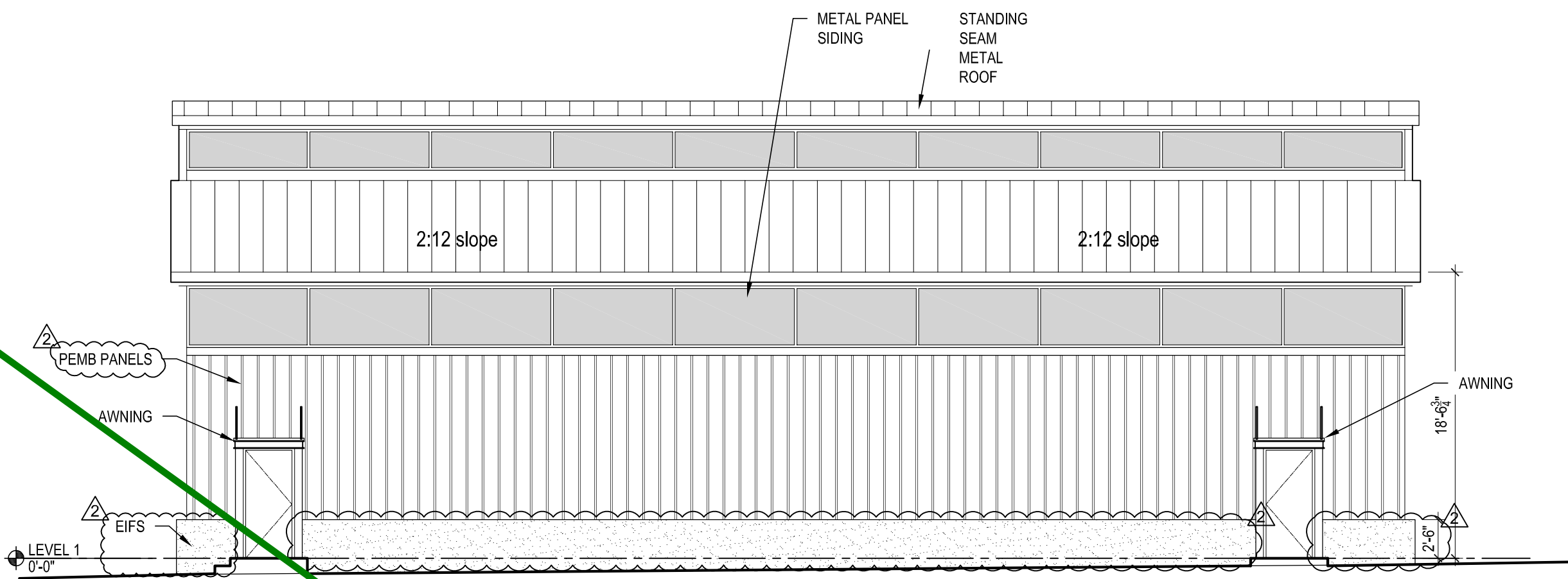
Qty: 1  
Designer: Adam  
Notes:

## COORDINATED SIGN PLAN The Glass House, Inc. 15721 Hwy 290 E

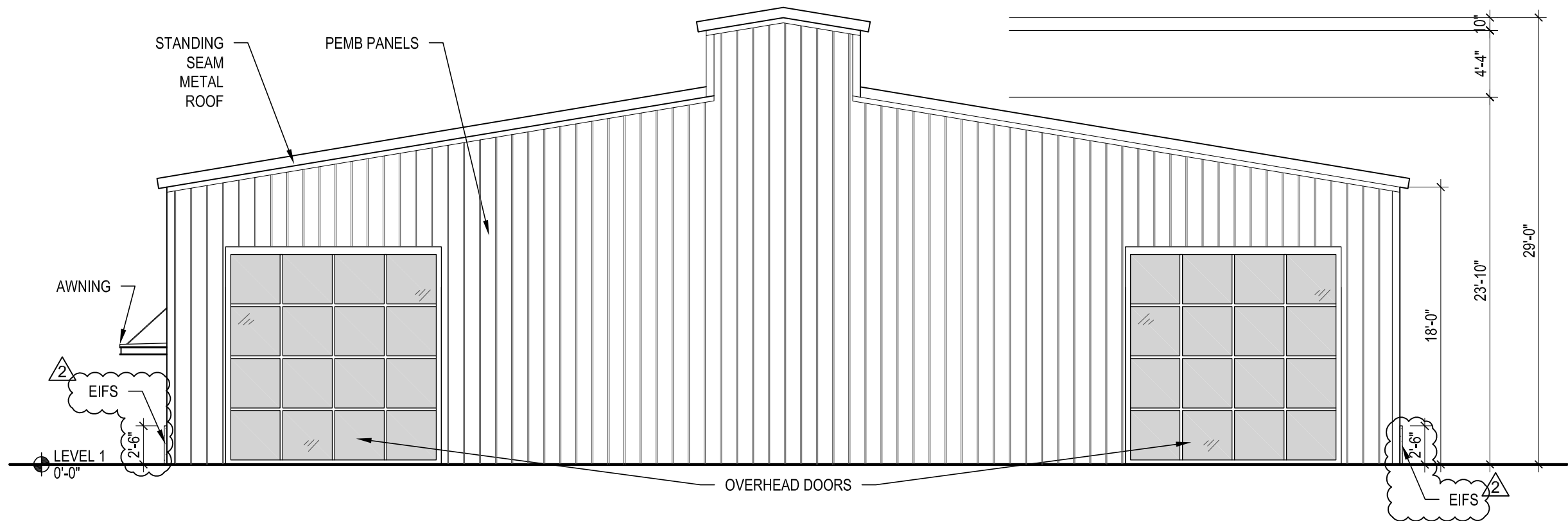
One 72" wide x 46.55" tall  
back lit sign



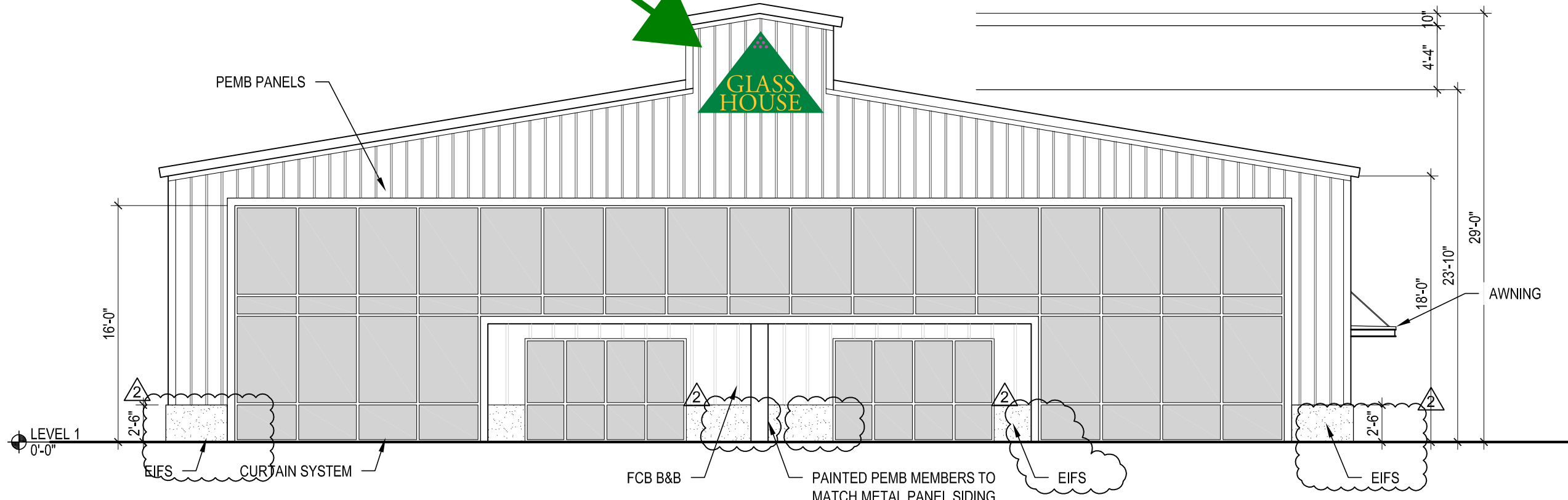
04 EAST ELEVATIONS  
SCALE: 1/8" = 1'-0"



02 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



03 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



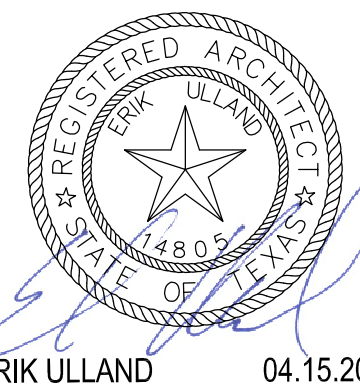
01 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

GLASS HOUSE

15721 US HWY 290 E  
TRAVIS COUNTY  
MANOR, TEXAS 78621

NOTE: This document, the ideas and design incorporated herein are and shall remain the property of h+u architects. These documents are not to be used or altered, in whole or in part, for other than the original intended use, nor are they to be assigned to any third party without written permission from h+u architects.

NOTE: By act of submitting a bid for the proposed contract, the bidder warrants that the bidder, and all subcontractors and material suppliers he intends to use have carefully and thoroughly reviewed the drawings and specifications and other construction documents and have found them complete and free from any ambiguities and sufficient for the purpose intended. The bidder further warrants that to the best of their or their subcontractor's and material supplier's knowledge all materials and products specified or indicated herein are acceptable for all applicable codes and authorities.



ISSUE DATES:	
11.24.2021	ISSUE FOR PERMIT
02.01.2022	TC ESD NO.12 COMMENTS
04.15.2022	CITY COMMENTS REV 1
....	....
....	....
....	....
....	....
....	....
....	....

WAREHOUSE  
EXTERIOR  
ELEVATIONS

A-202



Building sign here - see elevation page

EXISTING	PROPOSED	DESCRIPTION
— — — — —		PROPERTY LINE
— — — — —		ADJOINING LOT LINES
— — — — —		EASEMENT LINES
— — — — — X — — — — —		FENCING
— — — — — OU — — — — —		OVERHEAD ELECTRIC LINE
	— FIRE —	FIRE LANE STRIPING
	— LOC — LOC —	LIMITS OF CONSTRUCTION

1. THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING SIZE, TYPE, AND LOCATION OF UNDERGROUND, SURFACE, AND AERIAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT "TEXAS 811" AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, IN THE R.O.W. AND ON PRIVATE PROPERTY, AFFECTED BY CONSTRUCTION FOR THIS PROJECT. IN ORDER TO AVOID DAMAGING THESE UTILITIES AND SHALL BE FULLY RESPONSIBLE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES TO THE UTILITY COMPANY'S APPROVAL AT THE EXPENSE OF THE CONTRACTOR.

3. EXISTING WATER, WASTEWATER, ELECTRICAL AND TELECOMMUNICATION SERVICES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.

1. THIS PLAN IS BASED ON A SIGNED & SEALED SURVEY BY HOLT CARSON  
INCORPORATED PROFESSIONAL LAND SURVEYORS DATED 03/07/2021.

2. FOR BENCHMARK AND SURVEY INFORMATION CONTACT HOLT CARSON  
INCORPORATED PROFESSIONAL LAND SURVEYORS AT (512) 442-0990

1. ALL DIMENSIONS ARE TO FACE OF CURB/FACE OF BUILDING UNLESS NOTED ON PLANS

2. BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO LAYOUT OF SITE.
3. ALL ADA ACCESSIBLE SIDEWALK SHALL BE A MINIMUM WIDTH OF 5-FT UNLESS OTHERWISE INDICATED.
4. ALL PARKING SPACES ARE 90 DEGREES AND 11.00-FT WIDE BY 20.00-FT DEEP, UNLESS OTHERWISE INDICATED.
5. ALL CURB RADII ARE INDICATED ON PLANS.

EVERY ACCESSIBLE PARKING SPACE MUST BE IDENTIFIED BY A SIGN, CENTERED AT THE HEAD OF THE PARKING SPACE. THE SIGN MUST INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND STATE RESERVED, OR EQUIVALENT LANGUAGE. CHARACTERS AND SYMBOLS ON SUCH SIGNS MUST BE LOCATED 60" MINIMUM ABOVE THE GROUND SO THAT THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. [IBC 1110.1, ANSI 502.7]

<u>BUILDING HEIGHT:</u>	17'-0"
<u>TOTAL FLOOR AREA:</u>	3,474 SF
<u>OCCUPANCY TYPE:</u>	B
<u>CONSTRUCTION TYPE:</u>	VB

BUILDING HEIGHT:	26'-0"
TOTAL FLOOR AREA:	6,400 SF
OCCUPANCY TYPE:	F2
CONSTRUCTION TYPE:	2B

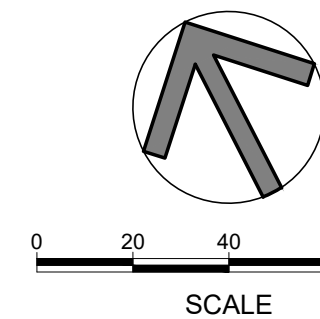
SITE AREA TOTAL (PROPERTY LIMITS) =	96,051 SF	(2.21 AC.)
PROPOSED LIMITS OF CONSTRUCTION =	108,900 SF	(2.50 AC.)
EXISTING IMPERVIOUS COVER (TO REMAIN) =	4,604 SF	(0.11 AC.)
PROPOSED IMPERVIOUS COVER =	27,351 SF	(0.63 AC.)
TOTAL PROPOSED IMPERVIOUS COVER =	31,955 SF	(0.73 AC.)

REQUIRED PARKING	
OFFICE WAREHOUSE (1/250 GFA) = $\{3,477 \text{ SF} / 250\}$ =	14
WAREHOUSE (1/1000 GFA) = $\{6,400 \text{ SF} / 1000\}$ =	6
TOTAL PARKING REQUIRED =	20
ALLOWABLE PARKING REDUCTIONS	
PROVIDING SHOWERS & LOCKERS = 5% REDUCTION = $20 \times 0.05$ =	1
TOTAL PARKING REQUIRED (WITH REDUCTIONS) = $20 - 1$ =	19
PROPOSED PARKING	
TOTAL	19
STANDARD	18
ADA ACCESSIBLE (VAN)	1

1. THIS PROJECT DOES NOT REQUIRE ANY NEW WATER AND/OR WASTEWATER SERVICE. ALL EXISTING SERVICES SHALL REMAIN IN USE.

2. THE EXISTING SITE IS SERVED BY MANVILLE WATER AND AN APPROVED ON-SITE SEPTIC FACILITY (OSSF) PER TRAVIS COUNTY PERMIT #1999-OS-0154.

3. TRAVIS COUNTY ESD 12 IS NOT REQUIRING ANY NEW FIRE HYDRANTS OR FIRE SUPPRESSION AT THIS TIME. REFER TO SHEET 6 FOR ADDITIONAL INFORMATION



## SIDEWALK DETAIL