



Dr. Christopher Harvey, Mayor
Emily Hill, Mayor Pro Tem, Place 1
Anne Weir, Place 2
Maria Amezcua, Place 3
Sonia Wallace, Place 4
Aaron Moreno, Place 5
Deja Hill, Place 6

City Council Workshop

Wednesday, April 17, 2024 at 5:30 PM

Manor City Hall, Council Chambers, 105 E. Eggleston St.

AGENDA

CALL TO ORDER AND ANNOUNCE A QUORUM IS PRESENT

PRESENTATIONS

- A. Dalfen Industrial - Manor Downs Industrial Park Annexation and Development**
Presented by: Tyler McElroy and Tim Kraftson with Dalfen Industrial

ADJOURNMENT

In addition to any executive session already listed above, the City Council reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Section §551.071 (Consultation with Attorney), §551.072 (Deliberations regarding Real Property), §551.073 (Deliberations regarding Gifts and Donations), §551.074 (Personnel Matters), §551.076 (Deliberations regarding Security Devices) and §551.087 (Deliberations regarding Economic Development Negotiations).

POSTING CERTIFICATION

I, the undersigned authority do hereby certify that this Notice of Meeting was posted on the bulletin board, at the City Hall of the City of Manor, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: Friday, April 12, 2024, by 5:00 PM and remained so posted continuously for at least 72 hours preceding the scheduled time of said meeting.

/s/ Lluvia T. Almaraz, TRMC
City Secretary for the City of Manor, Texas

NOTICE OF ASSISTANCE AT PUBLIC MEETINGS:

The City of Manor is committed to compliance with the Americans with Disabilities Act. Manor City Hall and the Council Chambers are wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 10 days prior to this meeting. Please contact the City Secretary at 512.215.8285 or e-mail lalmaraz@manortx.gov

Manor Downs Industrial Park Annexation into the City of Manor

Dalfen
INDUSTRIAL



April 2024

Site Plan

Dalfen Industrial is proposing the annexation of 1,247,560 SF of industrial space, across 6 buildings, into the City of Manor



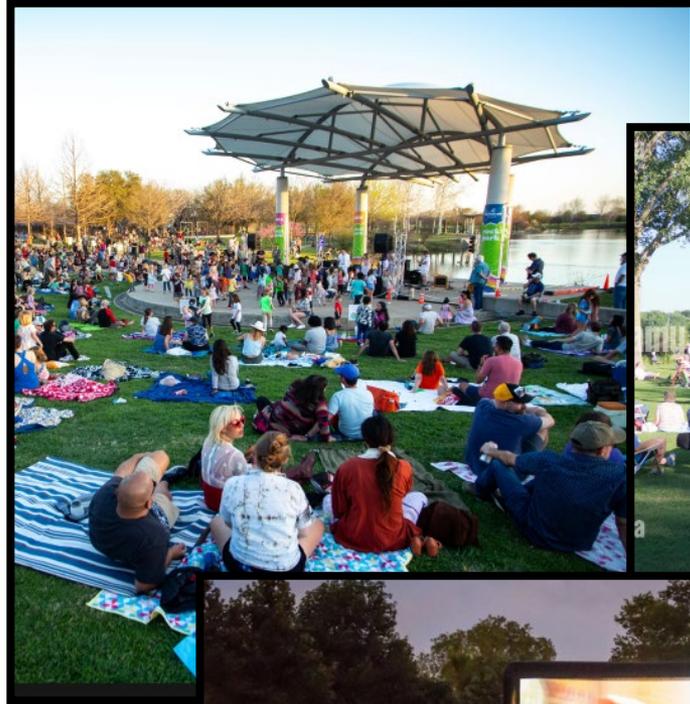
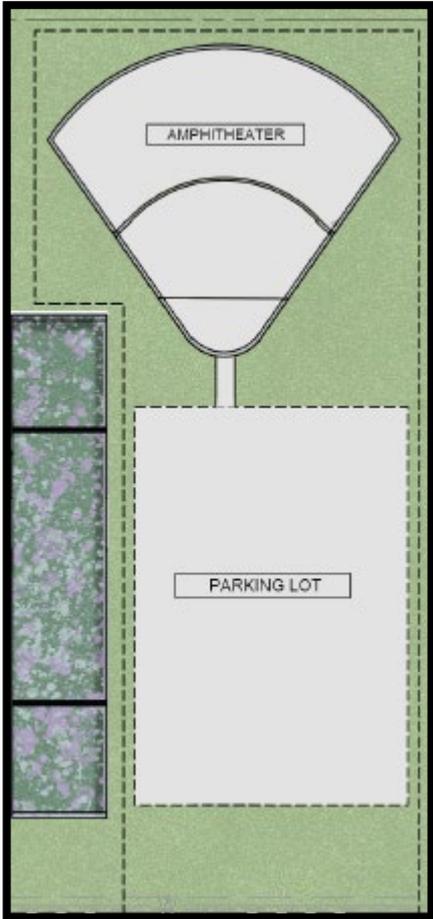
City of Manor Boundaries



Proposed Howard Lane Extension



Proposed Future Community Area (to be developed by City of Manor)



Annexation LOI Terms

1. **Taxes Abatement** – The City will review a tax abatement for the property once the results of the Economic Impact Study are available.
2. **Wetland/Environmental Features** – The City will acknowledge that it has reviewed the environmental report (the “Bowman Report”) provided by Bowman Consultants and accepts the findings of The Bowman Report. The City will acknowledge there are no other environmental features that will affect permitting or the development other than those defined in the Bowman Report.
3. **Cut/Fill** – The City will acknowledge there are no restrictions to the amount of cut/fill required to develop the site.
4. **Floodplain** – The City will acknowledge that there is no active floodplain on the property as defined in the FEMA flood maps.
5. **TIA** – The City will acknowledge that a TIA is not necessary given the amount of road improvements included by the Property. The City agrees to allow the Owner to dedicate the North-South connector road to the city after completion and acceptance of the road.
6. **Sewer** – The City will, in the event that the Property is released/removed from the City of Austin wastewater service area, provide wastewater through the City as defined in the feasibility study (the “Feasibility Study”).
7. **Permit Review** – The City will expedite permit review for the project and agree to provide approval to begin grading no later than 90 days after approval of the Annexation.

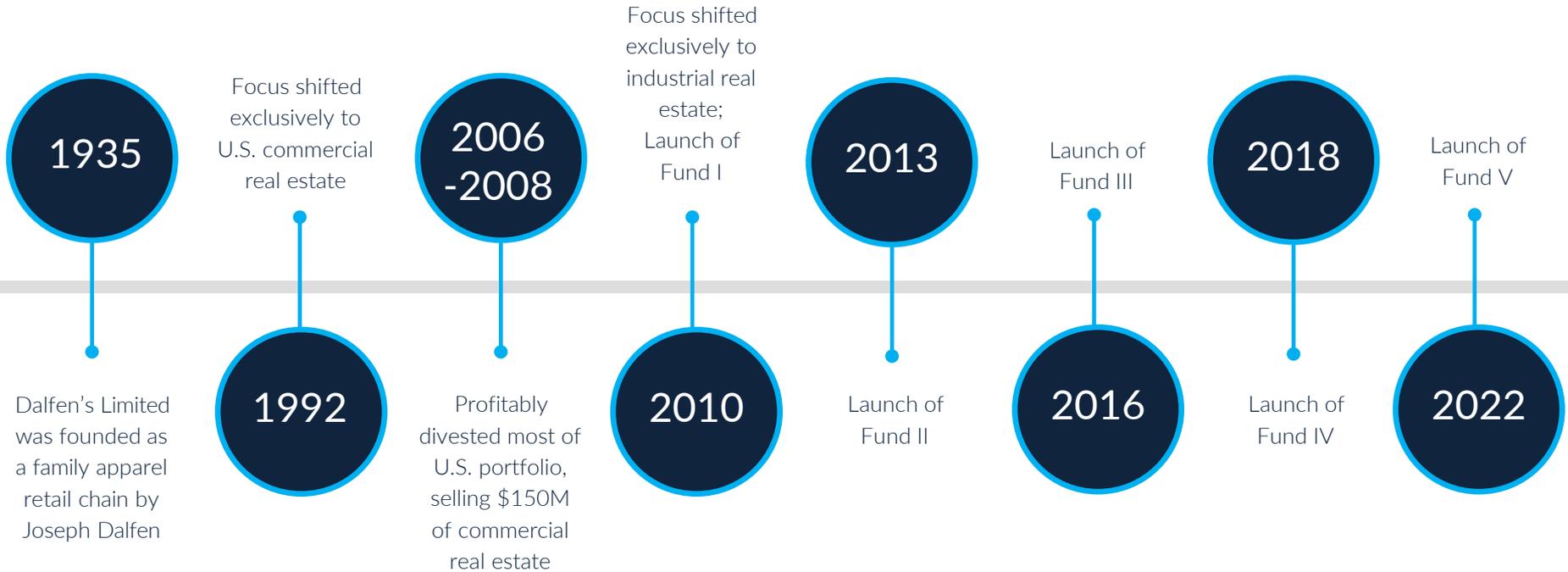


Dalfen Industrial Overview

Dalfen
INDUSTRIAL

Dalfen's History

Founded as a family apparel retail chain in the 1930s and has been exclusively focused on industrial real estate since 2010



Seasoned Management Team

Fully Vertically Integrated Platform with 85+ Employees Nationwide

Dalfen's Executive Team¹



Murray Dalfen
Chairman



Sean Dalfen
CEO



Fred Tkalec
CFO



Max Gagliardi
CIO



Mariam Ghoul
MD, HR
& Operations



Joseph Walker
General Counsel
& CCO



Shelly Drakes
EVP, Property
Management



Mike Cohen
Head of
Acquisitions



Christine Moore
Head of
Leasing



Alex Steele
SMD,
Sales

Overseeing dedicated in-house teams across disciplines¹



23
Accounting /
Finance
Professionals



15
Asset / Property
Management
Professionals



5
Capital Markets
Professionals



17
Acquisition/
Development
Professionals



8
Administrative
and HR
Professionals



2
Legal
Professionals

**11 Offices Across
North America**

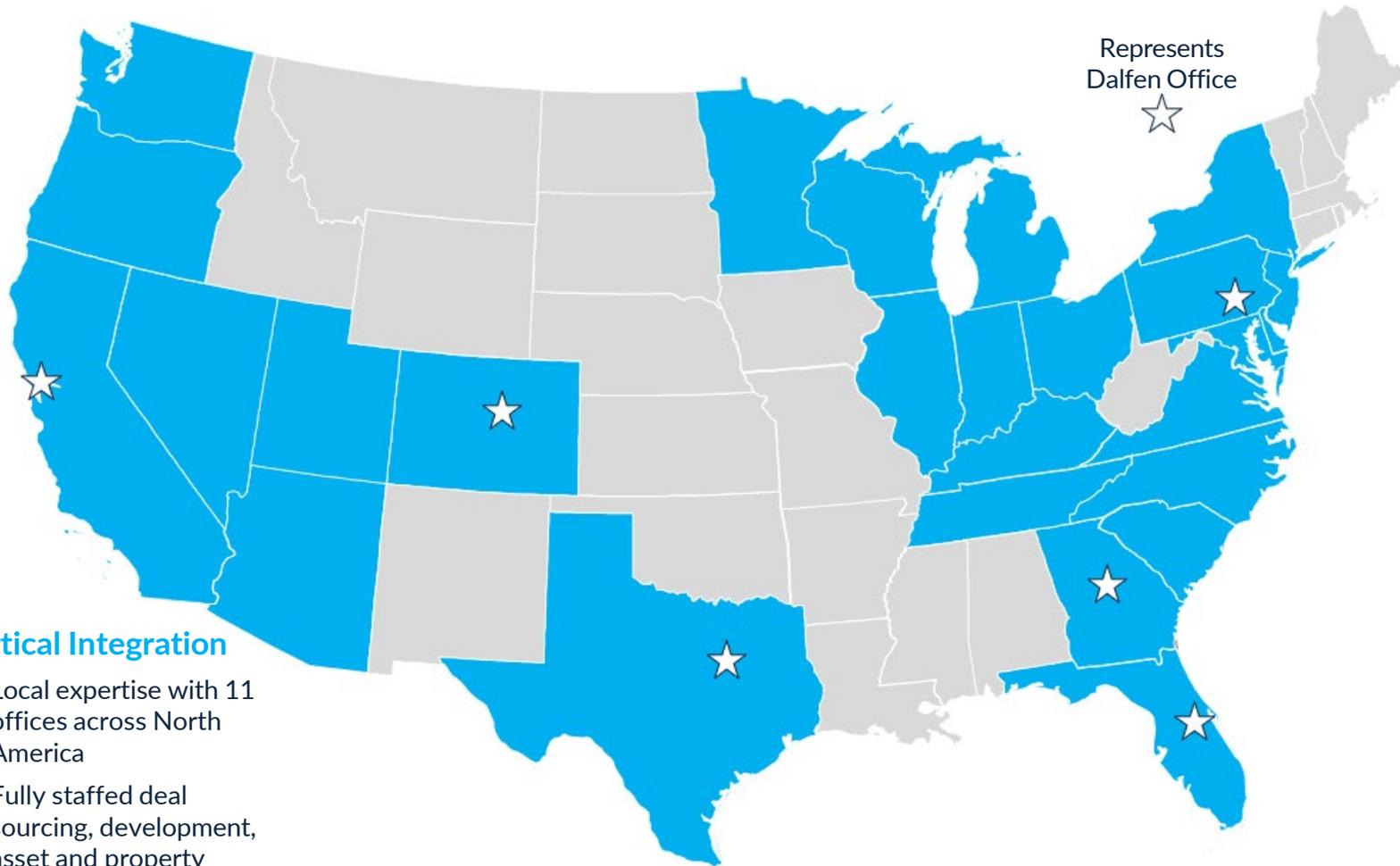
**87+
Employees**

**~Exec. Tenure
12 Years²**

**~\$4 Billion
AUM³**

**~55M SF
Invested Across
Dalfen Platform⁴**

Dalfen's Competitive Advantage



Vertical Integration

- ✓ Local expertise with 11 offices across North America
- ✓ Fully staffed deal sourcing, development, asset and property management capabilities across the country

The Following Tenants are Clients of Dalfen Industrial





DALLAS | MONTREAL | DENVER | ORLANDO | ATLANTA | BAY AREA
AUSTIN | CHICAGO | CINCINNATI | PHILADELPHIA

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