



Jeffrey Stensland, Chair, Place 5
Prince Chavis, Vice Chair, Place 2
Julie Leonard, Place 1
Gabrielle Orion, Place 3
Felix Paiz, Chair, Place 4
Cecil Meyer, Place 6
Jim Terry, Place 7
Gabriel Nila, Alternate No. 1
Vacant, Alternate No. 2

Planning & Zoning Commission Regular Meeting

Wednesday, November 13, 2024 at 6:30 PM

Manor City Hall, Council Chambers, 105 E. Eggleston St.

AGENDA

This meeting will be live streamed on Manor's YouTube Channel
You can access the meeting at <https://www.cityofmanor.org/page/livestream>

CALL TO ORDER AND ANNOUNCE A QUORUM IS PRESENT

PUBLIC COMMENTS

Non-Agenda Item Public Comments (white card): Comments will be taken from the audience on non-agenda related topics for a length of time, not to exceed three (3) minutes per person.

Agenda Item Public Comments (yellow card): Comments will be taken from the audience on non-agenda and agenda items combined for a length of time, not to exceed five (5) minutes total per person on all items, except for Public Hearings. Comments on Public Hearing items must be made when the item comes before the Board/Commission/Committee and, not to exceed two (2) minutes per person. No Action or Discussion May be Taken by the Board/Commission/Committee during Public Comments on Non-Agenda Items.

To address the Board/Commission/Committee, please complete the white or yellow card and present it to the city staff designee prior to the meeting.

PUBLIC HEARING

- 1. Conduct a public hearing on a Subdivision Short Form Final Plat for two (2) lots on 5.735 acres, more or less, and being located at 11712 Arnhamn Lane Manor, TX.**

Applicant: Baeza Engineering, PLLC

Owner: John Kerr

CONSENT AGENDA

All of the following items on the Consent Agenda are considered to be self-explanatory by the Planning and Zoning Commission and will be enacted with one motion. There will be no separate discussion of these items unless requested by the Chairperson or a Commission Member; in which event, the item will be removed from the consent agenda and considered separately.

- 2. Consideration, discussion, and possible action to approve the Planning and Zoning Commission minutes for October 9, 2024, Planning and Zoning Commission Regular Session.**

REGULAR AGENDA

- 3. Consideration, discussion, and possible action on a Subdivision Short Form Final Plat for two (2) lots on 5.735 acres, more or less, and being located at 11712 Arnhamn Lane Manor, TX.
Applicant: Baeza Engineering, PLLC
*Owner: John Kerr***
- 4. Consideration, discussion, and possible action on a Permit Extension Request for the Manor Heights Phase 6 Construction Plans, Project Number 2021-P-1389-CO.**
- 5. Consideration, discussion, and possible action for the Las Entradas Shops Coordinated Sign Plan for the planned shopping center located at the northwest corner of Tillgang Pass and E. U S 290 Hwy, Manor, TX.
*Applicant: Comet Signs by Stratus***
- 6. Consideration, discussion, and possible action on a Coordinated Sign Plan for 310 Murray Street Manor, TX.
Applicant: Signarama
*Owner: Carilu Realty***
- 7. Consideration, discussion, and possible action on a request to remove 2 heritage trees in the Boyce Mixed-Use Development Site located at 101 West Boyce St., Manor, TX.**
- 8. Consideration, discussion, and possible action on a Setback Variance Request for three (3) lots on 0.96 acres, more or less and being located at what is currently known as LOTS 1-5 BLOCK 43 & LOTS 16-20 BLOCK 29 TOWN OF MANOR Manor, TX.
Applicant: BuildBlock
*Owner: Jiwon Jung***

ADJOURNMENT

In addition to any executive session already listed above, the Planning & Zoning Commission reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Section §551.071 (Consultation with Attorney), §551.072 (Deliberations regarding Real Property), §551.073 (Deliberations regarding Gifts and Donations), §551.074 (Personnel Matters), §551.076 (Deliberations regarding Security Devices) and §551.087 (Deliberations regarding Economic Development Negotiations).

CONFLICT OF INTEREST

In accordance with Section 12.04 (Conflict of Interest) of the City Charter, "No elected or appointed officer or employee of the city shall participate in the deliberation or decision on any issue, subject or matter before the council or any board or commission, if the officer or employee has a personal financial or property interest, direct or indirect, in the issue, subject or matter that is different from that of the public at large. An interest arising from job duties, compensation or benefits payable by the city shall not constitute a personal financial interest."

Further, in accordance with Chapter 171, Texas Local Government Code (Chapter 171), no Planning & Zoning Commission member and no City officer may vote or participate in discussion of a matter involving a business entity or real property in which the Planning & Zoning Commission member or City officer has a substantial interest (as defined by Chapter 171) and action on the matter will have a special economic effect on the business entity or real property that is distinguishable from the effect on the general public. An affidavit disclosing the conflict of interest must be filled out and filed with the City Secretary before the matter is discussed.

POSTING CERTIFICATION

I, the undersigned authority do hereby certify that this Notice of Meeting was posted on the bulletin board, at the City Hall of the City of Manor, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: Friday, November 08, 2024, by 5:00 PM and remained so posted continuously for at least 72 hours preceding the scheduled time of said meeting.

/s/ Lluvia T. Almaraz, TRMC
City Secretary for the City of Manor,
Texas

NOTICE OF ASSISTANCE AT PUBLIC MEETINGS:

The City of Manor is committed to compliance with the Americans with Disabilities Act. Manor City Hall and the Council Chambers are wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 10 days prior to this meeting. Please contact the City Secretary at 512.215.8285 or e-mail lalmaraz@manortx.gov



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: November 13, 2024
PREPARED BY: Michael Burrell, Interim Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Conduct a public hearing on a Subdivision Short Form Final Plat for two (2) lots on 5.735 acres, more or less, and being located at 11712 Arnhamn Lane Manor, TX.

Applicant: Baeza Engineering, PLLC

Owner: John Kerr

BACKGROUND/SUMMARY: This short form plat has been reviewed and deemed in conformance with our code of ordinances.

LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Plat
- Engineer Comments and Responses
- Approval Letter

- Aerial Image
- Public notice
- Mailing labels

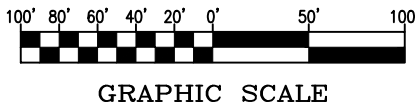
ACTIONS:

<i>Discretion</i>	Non- Discretionary
<i>Subdivision Review Type</i>	Not Applicable
<i>Actions</i>	Open, Close, Postpone

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission conduct a public hearing on a Subdivision Short Form Final Plat for two (2) lots on 5.735 acres, more or less, and being located at 11712 Arnhamn Lane Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**



- LEGEND
- 1/2" REBAR FOUND (OR AS NOTED)
 - 1/2" REBAR WITH CAP STAMPED
 - "RL SURVEYING RPLS 4532" FOUND
 - 1/2" REBAR WITH CAP STAMPED
 - "LSI SURVEY" SET
 - TxDOT TYPE II MONUMENT FOUND
 - O.P.R.T.C.T. OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS
 - R.P.R.T.C.T. REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS
 - (A) BLOCK IDENTIFIER

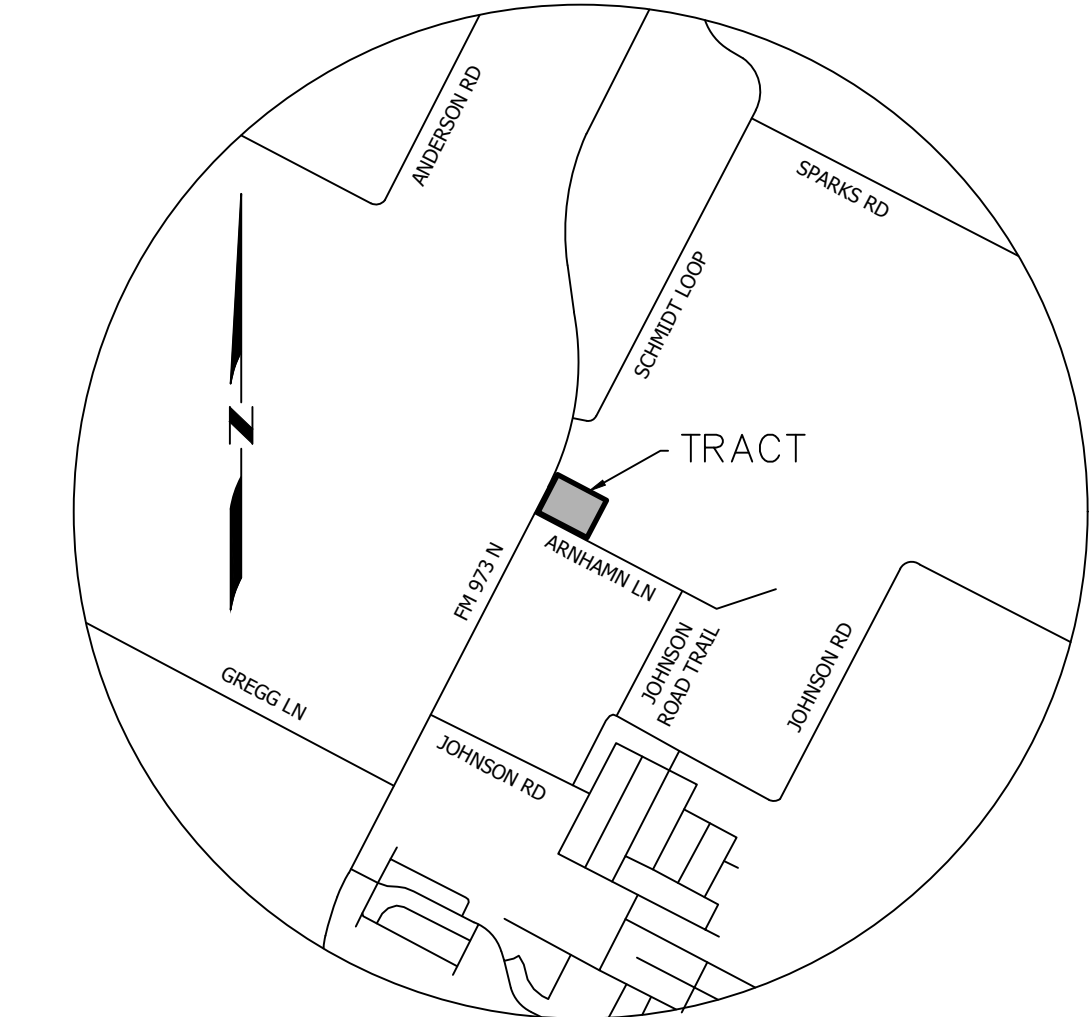
Line Table		
Line #	Direction	Length
L1	N27°30'23"E	59.33'
L2	N17°29'37"W	7.07'
L3	S27°28'16"W	49.94'

ARNHAMN LANE PLAT

REVISIONS	
DATE	DESCRIPTION

PROJECT NAME: BE ARNHAMN LN	DATE: 10/09/2023	SCALE: 1" = 100'
JOB NUMBER: 21-055	DRAWING FILE PATH: K:\21055 - BE ARNHAMN LN\CADD\DWG\BE ARNHAMN LN PLAT.DWG	FIELDNOTE FILE PATH: K:\21055 - BE ARNHAMN LN\DESCRIPTIONS
RPLS: FWF	TECH: JRM	PARTYCHIEF: N/A
CHECKED BY: HAS	FIELDBOOK: N/A	

DRAWING NAME:
BE ARNHAMN LN
PLAT



DETAIL
1" = 2000'

KB HOME LONE STAR INC.
(93.983 ACRES)
DOC. NO. 2021241104
O.P.R.T.C.T.

CONTINENTAL HOMES OF TEXAS, L.P.
(42.933 ACRES)
DOC. NO. 2021275805
O.P.R.T.C.T.

HUONG NHAT HUAN LLP
(14.79 ACRES)
DOC. NO. 2021230063
O.P.R.T.C.T.

TOM R. TRAVER
(5.476 ACRES)
VOL. 12187, VOL. 2642
R.P.R.T.C.T.

11811 ARNHAMN SUBDIVISION
DOC. NO. 201900107
O.P.R.T.C.T.

GENERAL NOTES:

THIS PROJECT IS REFERENCED FOR ALL BEARING AND COORDINATE BASIS TO THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83 - 2011 ADJUSTMENT), CENTRAL ZONE (4203).

DISTANCES AND AREAS SHOWN HEREON ARE SURFACE VALUES REPRESENTED IN U.S. SURVEY FEET BASED ON A GRID-TO-SURFACE COMBINED ADJUSTMENT FACTOR OF 1.0000828100

SOME FEATURES SHOWN HEREON MAY BE OUT OF SCALE FOR CLARITY.

Benchmark Table				
Point #	Northing	Easting	Elevation	Description
1	10115171.42	3182540.11	556.99	Cotton Spindle w/Washer
2	10115579.58	3182712.99	551.74	Cotton Spindle w/Washer

LAND USE SUMMARY: ARNHAMN LANE PLAT	
TOTAL LOTS:	2
NUMBER OF BLOCKS:	1
LOT 1 (AGRICULTURAL A)	4.098 ACRES
LOT 2 (AGRICULTURAL A)	1.637 ACRES
TOTAL ACREAGE:	5.735 ACRES
OWNER: JOHN KERR AND SANDY KERR	
SURVEYOR: LANDESIGN SERVICES, INC.	
ENGINEER: BAEZA ENGINEERING, PLLC	

THAT JOHN KERR AND SALLY KERR, AS THE OWNERS OF 5.801 ACRES OF LAND, SITUATED IN THE GREENBURY GATES SURVEY NO. 63, IN TRAVIS COUNTY, TEXAS, AND BEING ALL OF A CALLED 2.899 ACRE TRACT OF LAND DESCRIBED AS TRACT ONE AND A 2.897 ACRE TRACT OF LAND DESCRIBED AS TRACT TWO, BOTH RECORDED IN DOCUMENT NO. 2009185727 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS (O.P.R.T.C.), DO HEREBY DEDICATE TO THE PUBLIC FOREVER USE OF ALL ADDITIONAL ROW, STREETS, ALLEYS, EASEMENTS, PARKS, AND ALL OTHER LANDS INTENDED FOR PUBLIC DEDICATION, AS SHOWN HEREON TO BE KNOWN AS:

SANDY KERR
1301 LOST CREEK BOULEVARD
AUSTIN, TEXAS 78746

MY COMMISSION EXPIRES: _____

SALVADOR BAEZA, P.E. NO. 101928
BAEZA ENGINEERING
9701 BRODIE LANE #203
AUSTIN, TEXAS 78748
(512) 400-4207
TBPELS FIRM REGISTRATION NO. 19569

LANDESIGN SERVICES, INC.
10090 W HIGHWAY 29
LIBERTY HILL, TEXAS 78642
TBPELS FIRM REGISTRATION NO. 10001800
(512) 238-7901

JULIE LEONARD, CHAIRPERSON

HONORABLE DR. CHRISTOPHER HARVEY
MAYOR OF THE CITY OF MANOR, TEXAS

REBECCA GUERRERO
DEPUTY, COUNTY CLERK
TRAVIS COUNTY, TEXAS

ARNHAMN LANE PLAT

DRAWING NAME:
BE ARNHAMN LN
PLAT

SHEET
02 of 02





1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Tuesday, May 24, 2022

Salvador Baeza
Baeza Engineering, PLLC
9701 Brodie Lane #203
Austin TX 78748
sal@baezaengineering.com

Permit Number 2022-P-1443-SF
Job Address: 11712 Arnham Lane, Manor, TX. 78653

Dear Salvador Baeza,

The first submittal of the 11712 Arnham Lane Short Form Final Plat (*Short Form Final Plat*) submitted by Baeza Engineering, PLLC and received on October 09, 2024, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (737) 247-7557 or by email at pgray@gbateam.com.

- ~~1. Provide the addresses of the owner of record, developer, registered public surveyor, and registered professional engineer if required, platting the tract. The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.~~
- ~~2. Under Plat notes, provide information on who will provide the water and wastewater services.~~
- ~~3. Certification from the County Health District that a subdivision is located in an area that cannot reasonably be served by an organized wastewater collection system and that the use of a septic tank or other means of disposal has been approved by the County Health District. Said certificate shall show the limitations, if any, of such approval. Provide information on wastewater provider or if the property will be on septic.~~
- ~~4. Using the state plane coordinate system, X and Y coordinates shall be identified for four (4) property corners.~~
- ~~5. The plat needs to be sent to Travis County for review and approval since this project is located in the City's extra-territorial Jurisdiction (ETJ) or will this proposed development be annexed into the City?~~
- ~~6. Provide a seal from the surveyor and engineer.~~
- ~~7. The updated City of Manor officials are Julie Leonard P&Z Chairperson and Dr. Christopher Harvey Mayor.~~
- ~~8. The plat notes appear to include typical notes for plats located within the City of Manor. Currently this property is located in the ETJ. Please clarify.~~
- 9. Provide documentation that the existing septic is a permitted system through Travis County. This documentation was not provided with the resubmittal.**
- 10. The project engineer should contact Travis County OSSF to see if they need to review/sign the plat. Per the resubmittal the plat will need to be signed by Travis County OSSF. This signature block should be added to the plat.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



5/24/2022 1:22:26 PM
11712 Arnhamn Lane Short Form Final Plat
2022-P-1443-SF
Page 3

Pauline Gray, P.E.
Lead AES
GBA

Item 1.



August 29, 2022

Pauline Gray, PE
Senior Engineer
Jay Engineering

Re: 11712 Arnhamn Lane
Permit Number 2022-P-1443-SF
Short Form Final Plat Submittal Update

We are providing the following responses to the comment report provided by Jaeco on May 24, 2022 and as part of the resubmittal of the 11712 Arnhamn Lane Final Plat for review.

Engineer Review - Pauline Gray, PE - (512)259-3882

1. **Comment:** Provide the addresses of the owner of record, developer, registered public surveyor, and registered professional engineer if required, platting the tract. The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.
Comment Response: The requested information is provided on sheet two of the plat.
2. **Comment:** Under Plat notes, provide information on who will provide the water and wastewater services.
Comment Response: Water will be provided by Manville WSC. Sanitary sewer will be provided by private on-site septic facility.
3. **Comment:** Certification from the County Health District that a subdivision is located in an area that cannot reasonably be served by an organized wastewater collection system and that the use of a septic tank or other means of disposal has been approved by the County Health District. Said certificate shall show the limitations, if any, of such approval. Provide information on wastewater provider or if the property will be on septic.
Comment Response: The site contains an existing septic facility which will continue to be utilized. Current City sanitary sewer facilities are approximately 2,000' away from the site.
4. **Comment:** Using the state plane coordinate system, X and Y coordinates shall be identified for four (4) property corners.
Comment Response: X-Y coordinates are added for the property corners.
5. **Comment:** The plat needs to be sent to Travis County for review and approval since this project is located in the City's extra-territorial Jurisdiction (ETJ) or will this proposed development be annexed into the City?
Comment Response: This site was recently annexed into the city per ordinance No. 640.
6. **Comment:** Provide a seal from the surveyor and engineer.
Comment Response: Engineer & Surveyor's seals are provided.

7. **Comment:** the updated City of Manor officials are Julie Leonard P&Z Chairperson and Dr. Christopher Harvey Mayor.
Comment Response: The signature blocks are updated as requested.
8. **Comment:** the plat notes appear to include typical notes for plats located within the City of Manor. Currently this property is located in the ETJ. Please clarify.
Comment Response: The site was recently annexed into the full purpose city limits.

END OF REPORT

If you have any questions, please contact Baeza Engineering, PLLC at (512) 400-4207, Sal@BaezaEngineering.com, or Lauren@BaezaEngineering.com.

Sincerely,



Lauren A. Anderson, PE
PE No. 128000

October 9, 2023

Pauline Gray, PE
Senior Engineer
Jay Engineering

Re: Manor Mini-Storage
11712 Arnhamn Lane
Permit Number 2022-P-1443-SF
Short Form Final Plat Submittal Update

Engineer Review - Pauline Gray, PE - (512)259-3882

1-8. **Comments 1-8 Cleared**

9. **New Comment:** Provide documentation that the existing septic is a permitted system through Travis County.

Comment Response: The existing septic system was permitted by Travis County as Permit #96-1816. A copy of the permit is attached.

10. **New Comment:** The project engineer should contact Travis County OSSF to see if they need to review/sign the plat.

Comment Response: Travis County OSSF has confirmed they will review & sign the plat. Brandon Couch's signature block is added & the plat has been submitted to their office for review.

The re-submittal includes a lot line revision that was made to accommodate the sliding gate at the entry driveway after additional coordination with ESD #12 was performed to correctly size the emergency access lane.

END OF REPORT

If you have any questions, please contact Baeza Engineering, PLLC at (512) 400-4207, Sal@BaezaEngineering.com.

Sincerely,



Salvador Baeza, PE
PE No. 101928



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Thursday, November 9, 2023

Salvador Baeza
Baeza Engineering, PLLC
9701 Brodie Lane #203
Austin TX 78748
sal@baezaengineering.com

Permit Number 2022-P-1443-SF
Job Address: 11712 Arnhamn Lane, Manor 78653

Dear Salvador Baeza,

The subsequent submittal of the 11712 Arnhamn Lane Short Form Final Plat submitted by Baeza Engineering, PLLC and received on October 09, 2024, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (737) 247-7557 or by email at pgray@gbateam.com.

- ~~1. Provide the addresses of the owner of record, developer, registered public surveyor, and registered professional engineer if required, platting the tract. The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.~~
- ~~2. Under Plat notes, provide information on who will provide the water and wastewater services.~~
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- ~~7. The updated City of Manor officials are Julie Leonard P&Z Chairperson and Dr. Christopher Harvey Mayor.~~
- ~~8. The plat notes appear to include typical notes for plats located within the City of Manor. Currently this property is located in the ETJ. Please clarify.~~
- 9. Provide documentation that the existing septic is a permitted system through Travis County. This documentation was not provided with the resubmittal.**
- 10. The project engineer should contact Travis County OSSF to see if they need to review/sign the plat. Per the resubmittal the plat will need to be signed by Travis County OSSF. This signature block should be added to the plat.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Lead AES
GBA

Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (737) 247-7557 or by email at pgray@gbateam.com.

1. Provide the addresses of the owner of record, developer, registered public surveyor, and registered professional engineer if required, platting the tract. The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.
2. Under Plat notes, provide information on who will provide the water and wastewater services.
3. Certification from the County Health District that a subdivision is located in an area that cannot reasonably be served by an organized wastewater collection system and that the use of a septic tank or other means of disposal has been approved by the County Health District. Said certificate shall show the limitations, if any, of such approval. Provide information on wastewater provider or if the property will be on septic.
4. Using the state plane coordinate system, X and Y coordinates shall be identified for four (4) property corners.
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6. Provide a seal from the surveyor and engineer.
7. The updated City of Manor officials are Julie Leonard P&Z Chairperson and Dr. Christopher Harvey Mayor.
8. The plat notes appear to include typical notes for plats located within the City of Manor. Currently this property is located in the ETJ. Please clarify.

9. Provide documentation that the existing septic is a permitted system through Travis County. This documentation was not provided with the resubmittal.

10. The project engineer should contact Travis County OSSF to see if they need to review/sign the plat. Per the resubmittal the plat will need to be signed by Travis County OSSF. This signature block should be added to the plat.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Lead AES
GBA



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Wednesday, October 9, 2024

Salvador Baeza
Baeza Engineering, PLLC
9701 Brodie Lane #203
Austin TX 78748
sal@baezaengineering.com

Permit Number 2022-P-1443-SF
Job Address: 11712 Arnham Lane, Manor 78653

Dear Salvador Baeza,

We have conducted a review of the final plat for the above-referenced project, submitted by Salvador Baeza and received by our office on October 09, 2024, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads 'Pauline M. Gray'.

Pauline Gray, P.E.
Lead AES
GBA



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Thursday, November 9, 2023

Salvador Baeza
Baeza Engineering, PLLC
9701 Brodie Lane #203
Austin TX 78748
sal@baezaengineering.com

Permit Number 2022-P-1443-SF
Job Address: 11712 Arnhamn Lane, Manor 78653

Dear Salvador Baeza,

The subsequent submittal of the 11712 Arnhamn Lane Short Form Final Plat submitted by Baeza Engineering, PLLC and received on October 10, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):



10/30/2024

City of Manor Development Services

Notification for a Subdivision Short Form Final Plat

Project Name: 11712 Arnhamn Lane Short Form Final Plat
 Case Number: 2022-P-1443-SF
 Case Manager: Michael Burrell
 Contact: mburrell@manortx.gov – 512-215-8158

The City of Manor Planning and Zoning Commission will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon a Subdivision Short Form Final Plat for 11712 Arnhamn Lane Manor, TX. Subdivision Short Form Final Plats that meet the city's requirements are required to be approved by the Planning and Zoning Commission. The request will be posted on the agenda as follows:

Public Hearing: Conduct a public hearing on a Subdivision Short Form Final Plat for two (2) lots on 5.735 acres, more or less, and being located at 11712 Arnhamn Lane, Manor, TX.

Applicant: Baeza Engineering, PLLC
Owner: John Kerr

The Planning and Zoning Commission will meet at 6:30PM on November 13, 2024 at 105 East Eggleston Street in the City Hall Council Chambers.

You are being notified because you own property within 300 feet of the property for which this Subdivision Short Form Final Plat has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

LAYLA TRUST (1832720)
2008 HERITAGE WELL LN
PFLUGERVILLE TX 78660-2966

KB HOME LONE STAR INC
(1872857)
10800 PECAN PARK BLVD STE 200
AUSTIN TX 78750-1249

HUONG NHAT HUAN LLP (1917826)
1523 BRADBURY LN
AUSTIN TX 78753-7307

TRAVER TOM R (233463)
11806 ARNHAMN LN
MANOR TX 78653-3542

L4S LLC (1691012)
1101 W 34TH ST #308
AUSTIN TX 78705-1907

NGO CHI (1884602)
22304 TRAILRIDERS CV
MANOR TX 78653-3973

MARTINEZ WIFRANO G &
VERONICA (1877192)
2909 WOOD CREEK RD
BRENHAM TX 77833-0620

CONTINENTAL HOMES OF TEXAS LP
(165062)
10700 PECAN PARK BLVD STE 400
AUSTIN TX 78750-1447

AGENDA ITEM NO. 2

AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: November 13, 2024
PREPARED BY: Michael Burrell, Interim Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action to approve the Planning and Zoning Commission minutes for October 9, 2024, Planning and Zoning Commission Regular Session

BACKGROUND/SUMMARY:

LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- October 9, 2024, Planning and Zoning Commission Regular Session

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve the consent agenda.

PLANNING & ZONING COMMISSION: Recommend Approval Disapproval None



**PLANNING AND ZONING COMMISSION
REGULAR SESSION MINUTES
OCTOBER 9, 2024**

This meeting was live streamed on Manor's YouTube channel at:
<https://www.youtube.com/@cityofmanorsocial/stream>

PRESENT:

COMMISSIONERS:

Jeffrey Stensland, Chair, Place 5
Prince Chavis, Vice Chair, Place 2
Julie Leonard, Place 1 (Absent)
Gabrielle Orion, Place 3
Felix Paiz, Chair, Place 4 (Absent)
Cecil Meyer, Place 6
James Terry, Place 7 (Absent)

CITY STAFF:

Michael Burrell, Interim Development Services Director
Deron Henry, City Attorney Representative
Mandy Miller, Development Services Supervisor

REGULAR SESSION: 6:30 P.M.

CALL TO ORDER AND ANNOUNCE A QUORUM IS PRESENT

With a quorum present, the regular session of the Manor Planning and Zoning (P&Z) Commission was called to order by Chair Stensland at 6:33 p.m. on Wednesday, October 9, 2024, in the Council Chambers of the Manor City Hall, 105 E. Eggleston Street, Manor, Texas.

PUBLIC COMMENTS

No one appeared to speak at this time.

PUBLIC HEARING

- 1. Conduct a Public Hearing on a Subdivision Preliminary Plat for the Ventura at Tower Road Apartments for one (1) lot on 15.435 acres, more or less, and being located at located at 12200 Tower Rd., Manor, TX. Applicant: Kimley-Horn. Owner: Kenneth and Susanna Tumlinson.**

City Staff recommended that the Planning and Zoning Commission conduct the public hearing.

Denise Martinez, 12200 Tower Road, Manor, Texas, submitted a speaker card to speak in opposition of this item. Ms. Martinez expressed her displeasure with her address being associated with this project. She expressed concerns with this development affecting the zoning and ETJ status of her property.

MOTION: Upon a motion made by Vice Chair Chavis and seconded by Commissioner Meyer to close the public hearing.

There was no further discussion.

Motion to Close carried 4-0.

CONSENT AGENDA

2. Consideration, discussion, and possible action to approve the Planning and Zoning Commission minutes for September 11, 2024, Planning and Zoning Commission Regular Session.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Vice Chair Chavis to approve the consent agenda.

There was no further discussion.

Motion to Approve carried 4-0.

REGULAR AGENDA

3. Consideration, Discussion, and Possible Action on a Subdivision Preliminary Plat for the Ventura at Tower Road Apartments for one (1) lot on 15.435 acres, more or less, and being located at located at 12200 Tower Rd., Manor, TX. Applicant: Kimley-Horn. Owner: Kenneth and Susanna Tumlinson.

City Staff recommended that the Planning and Zoning Commission approve the Subdivision Preliminary Plan for the Ventura at Tower Road Apartments for one (1) lot on 15.435 acres, more or less, and being located at located at 12200 Tower Rd., Manor, TX.

Andrew Graham with Kimley-Horn, 10814 Jollyville Rd Suite 200, Austin, Texas, speaker card in support of this item. Mr. Graham spoke regarding the address issue.

Attorney Henry addressed questions regarding the appropriate way to word the motion in regard to the address.

Denise Martinez, 12200 Tower Road, Manor, Texas, submitted a speaker card to speak in opposition of this item. Ms. Martinez requested the Commission to not move on this item until the issue with the address could be resolved. She reiterated that she did not want to be annexed into the city at this time.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Vice Chair Chavis to postpone the Subdivision Preliminary Plat for the Ventura at Tower Road Apartments for one (1) lot on 15.435 acres, more or less, and being located at located at 12200 Tower Rd., Manor, TX, to the November 13, 2024, P&Z Commission Regular Session.

AMENDMENT: Upon an amendment made by Commissioner Orion and supported by Commissioner Meyer to include address correction for this agenda item to 12100 Tower Road, Manor, Texas.

Amendment Approved 4-0.

There was no further discussion.

Motion to Postpone carried 4-0.

- 4. Consideration Discussion and Possible Action on a Subdivision Final Plat for the Okra Tract for three hundred twenty-five (325) lots on 113.415 acres, more or less, and being located at located at the intersection of N. FM 973 and Old Manor Taylor Rd, Manor, TX.** Applicant: Jamison Civil Engineering LLC. Owner: Okra Land Incorporated.

City Staff recommended that the Planning and Zoning Commission approve Subdivision Final Plat for the Okra Tract for three hundred twenty-five (325) lots on 113.415 acres, more or less, and being located at located at the intersection of N. FM 973 and Old Manor Taylor Rd, Manor, TX.

Rachel Shanks with Sotol Ventures, 9505 Johnny Morris Road, Austin, Texas, submitted a speaker card to speak in support of this item. Ms. Shanks confirmed this item is for Phase 1 (one) of the development. She answered questions pertaining to expectations for the neighborhood. She gave details about the proposed amenities, landscaping, parkland, and lot sizes.

Discussion was held regarding Phase 1(one) of the Okra Tract Final Plat.

Attorney Henry addressed questions regarding acceptable motions.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Commissioner Orion to approve the Subdivision Final Plat for the Okra Tract Phase 1 (one) for one hundred five (105) lots on 42.459 acres, more or less, and being located at located at the intersection of N. FM 973 and Old Manor Taylor Rd, Manor, TX.

There was no further discussion.

Motion to Approve carried 4-0.

- 5. Consideration, Discussion, and Possible Action on a Subdivision Short Form Final Plat for the Schmidt loop addition for two (2) lots on 19.88 acres, more or less, and being located at 15417 Schmidt Loop Manor, Tx with a variance allowing for a larger lot depth to width ratio.** Applicant: Henderson Professional Engineers. Owner: Alamznza Bulmaro.

City Staff recommended that the Planning and Zoning Commission approve a Subdivision Short Form Final Plat for the Schmidt loop addition for two (2) lots on 19.88 acres, more or less, and being located at 15417 Schmidt Loop Manor, Tx with a variance allowing for a larger lot depth to width ratio.

Interim Director Burrell gave details about the lot depth and width. He explained the reasons behind the variance request for this item.

Jan Henderson with Henderson Professional Engineers, 600 Round Rock W Drive #604, Round Rock, Texas, answered questions about the purpose of the subdivision of this property. Ms. Henderson explained the property owner wished to transfer ownership of a portion of the property into her daughter's name. The lots were already developed with two individual homes and no future development is planned for either lot. She confirmed the property was in Manor ETJ.

MOTION: Upon a motion made by Commissioner Meyer and seconded by Vice Chair Chavis to approve the Subdivision Short Form Final Plat for the Schmidt loop addition for two (2) lots on 19.88 acres, more or less, and being located at 15417 Schmidt Loop Manor, Tx with a variance allowing for a larger lot depth to width ratio.

There was no further discussion.

Motion to Approve carried 4-0.

6. Consideration, discussion, and possible action on a Setback Waiver for Lot 7-A, Block 4 of the Martin and Maria Subdivision, also known as 213 E Brenham St., Manor, TX to permit a 20' front setback, 10' rear setback, and 5' side setback.

City Staff recommended that the Planning and Zoning Commission approve a Setback Waiver for Lot 7-A, Block 4, Town of Manor, also known as 213 E Brenham St., Manor, TX to permit a 20' front setback, 10' rear setback, and 5' side setback.

Interim Director Burrell explained the setback waiver.

Erik Castillo, 309 E. Brenham Street, Manor, Texas, submitted a speaker card in support of this item. Mr. Castillo explained his reasons for this request. He stated he would like to create more room to allow for a shed and more open space in the back yard.

Interim Director Burrell clarified the back side of the property has an alley.

MOTION: Upon a motion made by Commissioner Orion and seconded by Commissioner Meyer to approve the Setback Waiver for Lot 7-A, Block 4 of the Martin and Maria Subdivision, also known as 213 E Brenham St., Manor, TX to permit a 20' front setback, 10' rear setback, and 5' side setback.

There was no further discussion.

Motion to Approve carried 4-0.

7. Consideration, discussion, and possible action on a request to remove 2 heritage trees in the Boyce Mixed-Use Development Site located at 101 West Boyce St., Manor, TX.

City Staff recommended that the Planning and Zoning Commission recommend approval of the tree removal request to remove 2 heritage trees in the Boyce Mixed-Use Development Site located at 101 West Boyce St., Manor, TX.

Interim Director Burrell stated the applicant is requesting the item be postponed until November 13, 2024, so they may be available for any questions pertaining to this request.

MOTION: Upon a motion made by Vice Chair Chavis and seconded by Commissioner Orion to postpone the request to remove 2 heritage trees in the Boyce Mixed-Use Development Site located at 101 West Boyce St., Manor, TX, to the November 13, 2024, P&Z Commission Regular Session.

There was no further discussion.

Motion to Approve carried 4-0.

ADJOURNMENT

MOTION: Upon a motion made by Vice Chair Chavis and seconded by Commissioner Orion to adjourn the Regular Session of the Manor Planning and Zoning Commission at 7:16 p.m. on Wednesday October 9, 2024.

There was no further discussion.

Motion to Adjourn carried 4-0.

The Planning and Zoning Commission approved these minutes on November 13, 2024.

APPROVED:

Jeffrey Stensland
Chairperson

ATTEST:

Mandy Miller
Development Services Supervisor



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: November 13, 2024
PREPARED BY: Michael Burrell, Interim Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Subdivision Short Form Final Plat for two (2) lots on 5.735 acres, more or less, and being located at 11712 Arnham Lane Manor, TX.

Applicant: Baeza Engineering, PLLC

Owner: John Kerr

BACKGROUND/SUMMARY: This short form plat has been reviewed and deemed in conformance with our code of ordinances.

LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Plat
- Engineer Comments and Responses
- Approval Letter
- Aerial Image
- Public notice
- Mailing labels

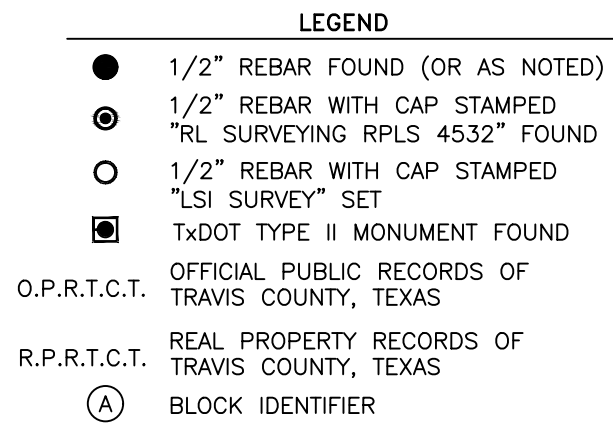
ACTIONS:

<i>Discretion</i>	Non- Discretionary
<i>Subdivision Review Type</i>	Not Applicable
<i>Actions</i>	Approve, Approve with Conditions

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve the Subdivision Short Form Final Plat for two (2) lots on 5.735 acres, more or less, and being located at 11712 Arnham Lane Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**

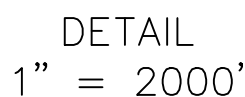


<u>LAND USE SUMMARY: ARNHAMN LANE PLAT</u>	
TOTAL LOTS:	2
NUMBER OF BLOCKS:	1
LOT 1 (AGRICULTURAL A)	4.098 ACRES
LOT 2 (AGRICULTURAL A)	1.637 ACRES
<hr/>	
TOTAL ACREAGE:	5.735 ACRES
OWNER: JOHN KERR AND SANDY KERR	
SURVEYOR: LANDESIGN SERVICES, INC.	
ENGINEER: BAEZA ENGINEERING, PLLC	

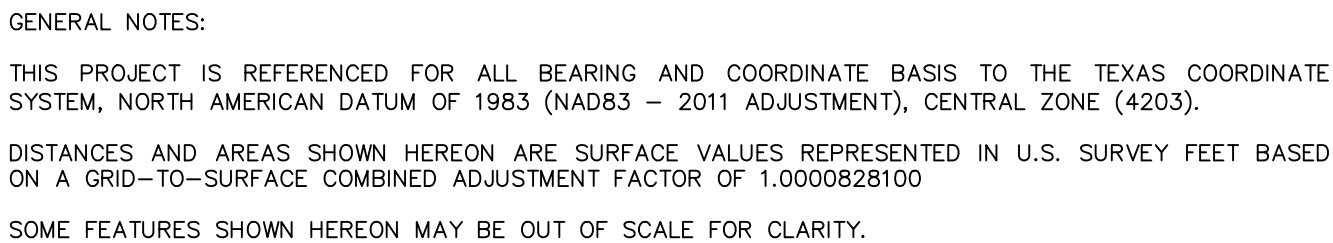
ARNHAMN LANE PLAT

DRAWING NAME:
BE ARNHAMN LN
PLAT

28



KB HOME LONE STAR INC.
(93.983 ACRES)
DOC. NO. 2021241104
O.P.B.T.C.T.



Benchmark Table				
Point #	Northing	Easting	Elevation	Description
1	10115171.42	3182540.11	556.99	Cotton Spindle w/Washer
2	10115579.58	3182712.99	551.74	Cotton Spindle w/Washer

THAT JOHN KERR AND SALLY KERR, AS THE OWNERS OF 5.801 ACRES OF LAND, SITUATED IN THE GREENBURY GATES SURVEY NO. 63, IN TRAVIS COUNTY, TEXAS, AND BEING ALL OF A CALLED 2.899 ACRE TRACT OF LAND DESCRIBED AS TRACT ONE AND A 2.897 ACRE TRACT OF LAND DESCRIBED AS TRACT TWO, BOTH RECORDED IN DOCUMENT NO. 2009185727 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS (O.P.R.T.C.), DO HEREBY DEDICATE TO THE PUBLIC FOREVER USE OF ALL ADDITIONAL ROW, STREETS, ALLEYS, EASEMENTS, PARKS, AND ALL OTHER LANDS INTENDED FOR PUBLIC DEDICATION, AS SHOWN HEREON TO BE KNOWN AS:

SANDY KERR
1301 LOST CREEK BOULEVARD
AUSTIN, TEXAS 78746

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS _____ DAY OF _____, 20____, PERSONALLY APPEARED, JOHN KERR AND SANDY KERR, PERSONALLY KNOWN TO ME (AND PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT (S)HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

MY COMMISSION EXPIRES: _____

THE TRACT SHOWN HEREON DOES NOT APPEAR TO LIE WITHIN A DESIGNATED FLOODPLAIN AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, AS SHOWN ON MAP NO. 48453C0295H, DATED SEPTEMBER 26, 2008 FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

I, FRANK W. FUNK, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE MANOR SUBDIVISION ORDINANCE, IS TRUE AND CORRECT TO THE BEST OF MY ABILITY, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

LANDESIGN SERVICES, INC.
10090 W HIGHWAY 29
LIBERTY HILL, TEXAS 78642
TBPELS FIRM REGISTRATION NO. 10001800
(512) 238-7901

JULIE LEONARD, CHAIRPERSON

HONORABLE DR. CHRISTOPHER HARVEY
MAYOR OF THE CITY OF MANOR, TEXAS

I, REBECCA GUERRERO, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____, 20____ A.D. AT _____ O'CLOCK __.M. AND DULY RECORDED ON THE _____ DAY OF _____, 20____, A.D., AT _____ O'CLOCK __.M. IN THE OFFICIAL PUBLIC RECORDS OF SAID COUNTY AND STATE IN DOCUMENT No. _____.

REBECCA GUERRERO
DEPUTY, COUNTY CLERK
TRAVIS COUNTY, TEXAS

10090 W HIGHWAY 29, LIBERTY HILL, TEXAS 78642
 TBPELS FIRM NO. 10001800
 512-238-7901

ARNHAMN LANE PLAT

DRAWING NAME:
BE ARNHAMN LN
PLAT

SHEET
02 of 02





1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Tuesday, May 24, 2022

Salvador Baeza
Baeza Engineering, PLLC
9701 Brodie Lane #203
Austin TX 78748
sal@baezaengineering.com

Permit Number 2022-P-1443-SF
Job Address: 11712 Arnhamn Lane, Manor, TX. 78653

Dear Salvador Baeza,

The first submittal of the 11712 Arnhamn Lane Short Form Final Plat (*Short Form Final Plat*) submitted by Baeza Engineering, PLLC and received on October 09, 2024, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (737) 247-7557 or by email at pgray@gbateam.com.

- ~~1. Provide the addresses of the owner of record, developer, registered public surveyor, and registered professional engineer if required, platting the tract. The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.~~
- ~~2. Under Plat notes, provide information on who will provide the water and wastewater services.~~
- ~~3. Certification from the County Health District that a subdivision is located in an area that cannot reasonably be served by an organized wastewater collection system and that the use of a septic tank or other means of disposal has been approved by the County Health District. Said certificate shall show the limitations, if any, of such approval. Provide information on wastewater provider or if the property will be on septic.~~
- ~~4. Using the state plane coordinate system, X and Y coordinates shall be identified for four (4) property corners.~~
- ~~5. The plat needs to be sent to Travis County for review and approval since this project is located in the City's extra-territorial Jurisdiction (ETJ) or will this proposed development be annexed into the City?~~
- ~~6. Provide a seal from the surveyor and engineer.~~
- ~~7. The updated City of Manor officials are Julie Leonard P&Z Chairperson and Dr. Christopher Harvey Mayor.~~
- ~~8. The plat notes appear to include typical notes for plats located within the City of Manor. Currently this property is located in the ETJ. Please clarify.~~
- 9. Provide documentation that the existing septic is a permitted system through Travis County. This documentation was not provided with the resubmittal.**
- 10. The project engineer should contact Travis County OSSF to see if they need to review/sign the plat. Per the resubmittal the plat will need to be signed by Travis County OSSF. This signature block should be added to the plat.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

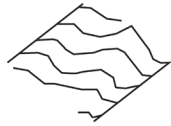
Thank you,



5/24/2022 1:22:26 PM
11712 Arnhamn Lane Short Form Final Plat
2022-P-1443-SF
Page 3

Pauline Gray, P.E.
Lead AES
GBA

Item 3.



August 29, 2022

Pauline Gray, PE
Senior Engineer
Jay Engineering

Re: 11712 Arnhamn Lane
Permit Number 2022-P-1443-SF
Short Form Final Plat Submittal Update

We are providing the following responses to the comment report provided by Jaeco on May 24, 2022 and as part of the resubmittal of the 11712 Arnhamn Lane Final Plat for review.

Engineer Review - Pauline Gray, PE - (512)259-3882

1. **Comment:** Provide the addresses of the owner of record, developer, registered public surveyor, and registered professional engineer if required, platting the tract. The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.
Comment Response: The requested information is provided on sheet two of the plat.
2. **Comment:** Under Plat notes, provide information on who will provide the water and wastewater services.
Comment Response: Water will be provided by Manville WSC. Sanitary sewer will be provided by private on-site septic facility.
3. **Comment:** Certification from the County Health District that a subdivision is located in an area that cannot reasonably be served by an organized wastewater collection system and that the use of a septic tank or other means of disposal has been approved by the County Health District. Said certificate shall show the limitations, if any, of such approval. Provide information on wastewater provider or if the property will be on septic.
Comment Response: The site contains an existing septic facility which will continue to be utilized. Current City sanitary sewer facilities are approximately 2,000' away from the site.
4. **Comment:** Using the state plane coordinate system, X and Y coordinates shall be identified for four (4) property corners.
Comment Response: X-Y coordinates are added for the property corners.
5. **Comment:** The plat needs to be sent to Travis County for review and approval since this project is located in the City's extra-territorial Jurisdiction (ETJ) or will this proposed development be annexed into the City?
Comment Response: This site was recently annexed into the city per ordinance No. 640.
6. **Comment:** Provide a seal from the surveyor and engineer.
Comment Response: Engineer & Surveyor's seals are provided.

7. **Comment:** the updated City of Manor officials are Julie Leonard P&Z Chairperson and Dr. Christopher Harvey Mayor.
Comment Response: The signature blocks are updated as requested.
8. **Comment:** the plat notes appear to include typical notes for plats located within the City of Manor. Currently this property is located in the ETJ. Please clarify.
Comment Response: The site was recently annexed into the full purpose city limits.

END OF REPORT

If you have any questions, please contact Baeza Engineering, PLLC at (512) 400-4207, Sal@BaezaEngineering.com, or Lauren@BaezaEngineering.com.

Sincerely,



Lauren A. Anderson, PE
PE No. 128000

October 9, 2023

Pauline Gray, PE
Senior Engineer
Jay Engineering

Re: Manor Mini-Storage
11712 Arnhamn Lane
Permit Number 2022-P-1443-SF
Short Form Final Plat Submittal Update

Engineer Review - Pauline Gray, PE - (512)259-3882

1-8. **Comments 1-8 Cleared**

9. **New Comment:** Provide documentation that the existing septic is a permitted system through Travis County.

Comment Response: The existing septic system was permitted by Travis County as Permit #96-1816. A copy of the permit is attached.

10. **New Comment:** The project engineer should contact Travis County OSSF to see if they need to review/sign the plat.

Comment Response: Travis County OSSF has confirmed they will review & sign the plat. Brandon Couch's signature block is added & the plat has been submitted to their office for review.

The re-submittal includes a lot line revision that was made to accommodate the sliding gate at the entry driveway after additional coordination with ESD #12 was performed to correctly size the emergency access lane.

END OF REPORT

If you have any questions, please contact Baeza Engineering, PLLC at (512) 400-4207, Sal@BaezaEngineering.com.

Sincerely,



Salvador Baeza, PE
PE No. 101928



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Thursday, November 9, 2023

Salvador Baeza
Baeza Engineering, PLLC
9701 Brodie Lane #203
Austin TX 78748
sal@baezaengineering.com

Permit Number 2022-P-1443-SF
Job Address: 11712 Arnhamn Lane, Manor 78653

Dear Salvador Baeza,

The subsequent submittal of the 11712 Arnhamn Lane Short Form Final Plat submitted by Baeza Engineering, PLLC and received on October 09, 2024, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (737) 247-7557 or by email at pgray@gbateam.com.

- ~~1. Provide the addresses of the owner of record, developer, registered public surveyor, and registered professional engineer if required, platting the tract. The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.~~
- ~~2. Under Plat notes, provide information on who will provide the water and wastewater services.~~
- ~~3. Certification from the County Health District that a subdivision is located in an area that cannot reasonably be served by an organized wastewater collection system and that the use of a septic tank or other means of disposal has been approved by the County Health District. Said certificate shall show the limitations, if any, of such approval. Provide information on wastewater provider or if the property will be on septic.~~
- ~~4. Using the state plane coordinate system, X and Y coordinates shall be identified for four (4) property corners.~~
- ~~5. The plat needs to be sent to Travis County for review and approval since this project is located in the City's extra-territorial Jurisdiction (ETJ) or will this proposed development be annexed into the City?~~
- ~~6. Provide a seal from the surveyor and engineer.~~
- ~~7. The updated City of Manor officials are Julie Leonard P&Z Chairperson and Dr. Christopher Harvey Mayor.~~
- ~~8. The plat notes appear to include typical notes for plats located within the City of Manor. Currently this property is located in the ETJ. Please clarify.~~
- 9. Provide documentation that the existing septic is a permitted system through Travis County. This documentation was not provided with the resubmittal.**
- 10. The project engineer should contact Travis County OSSF to see if they need to review/sign the plat. Per the resubmittal the plat will need to be signed by Travis County OSSF. This signature block should be added to the plat.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Lead AES
GBA

Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (737) 247-7557 or by email at pgray@gbateam.com.

1. Provide the addresses of the owner of record, developer, registered public surveyor, and registered professional engineer if required, platting the tract. The engineer and surveyor shall affix their seals to the plat in conjunction with signing the certification requirements.
2. Under Plat notes, provide information on who will provide the water and wastewater services.
3. Certification from the County Health District that a subdivision is located in an area that cannot reasonably be served by an organized wastewater collection system and that the use of a septic tank or other means of disposal has been approved by the County Health District. Said certificate shall show the limitations, if any, of such approval. Provide information on wastewater provider or if the property will be on septic.
4. Using the state plane coordinate system, X and Y coordinates shall be identified for four (4) property corners.
5. The plat needs to be sent to Travis County for review and approval since this project is located in the City's extra-territorial Jurisdiction (ETJ) or will this proposed development be annexed into the City?
6. Provide a seal from the surveyor and engineer.
7. The updated City of Manor officials are Julie Leonard P&Z Chairperson and Dr. Christopher Harvey Mayor.
8. The plat notes appear to include typical notes for plats located within the City of Manor. Currently this property is located in the ETJ. Please clarify.

9. Provide documentation that the existing septic is a permitted system through Travis County. This documentation was not provided with the resubmittal.

10. The project engineer should contact Travis County OSSF to see if they need to review/sign the plat. Per the resubmittal the plat will need to be signed by Travis County OSSF. This signature block should be added to the plat.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (737) 247-7557, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Lead AES
GBA



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Wednesday, October 9, 2024

Salvador Baeza
Baeza Engineering, PLLC
9701 Brodie Lane #203
Austin TX 78748
sal@baezaengineering.com

Permit Number 2022-P-1443-SF
Job Address: 11712 Arnham Lane, Manor 78653

Dear Salvador Baeza,

We have conducted a review of the final plat for the above-referenced project, submitted by Salvador Baeza and received by our office on October 09, 2024, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads 'Pauline M. Gray'.

Pauline Gray, P.E.
Lead AES
GBA



1500 County Road 269
Leander, TX 78641

P.O. Box 2029
Leander, TX 78646-2029

Date: Thursday, November 9, 2023

Salvador Baeza
Baeza Engineering, PLLC
9701 Brodie Lane #203
Austin TX 78748
sal@baezaengineering.com

Permit Number 2022-P-1443-SF
Job Address: 11712 Arnhamn Lane, Manor 78653

Dear Salvador Baeza,

The subsequent submittal of the 11712 Arnhamn Lane Short Form Final Plat submitted by Baeza Engineering, PLLC and received on October 10, 2023, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):



10/30/2024

City of Manor Development Services

Notification for a Subdivision Short Form Final Plat

Project Name: 11712 Arnhamn Lane Short Form Final Plat
 Case Number: 2022-P-1443-SF
 Case Manager: Michael Burrell
 Contact: mburrell@manortx.gov – 512-215-8158

The City of Manor Planning and Zoning Commission will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon a Subdivision Short Form Final Plat for 11712 Arnhamn Lane Manor, TX. Subdivision Short Form Final Plats that meet the city's requirements are required to be approved by the Planning and Zoning Commission. The request will be posted on the agenda as follows:

Public Hearing: Conduct a public hearing on a Subdivision Short Form Final Plat for two (2) lots on 5.735 acres, more or less, and being located at 11712 Arnhamn Lane, Manor, TX.

Applicant: Baeza Engineering, PLLC
Owner: John Kerr

The Planning and Zoning Commission will meet at 6:30PM on November 13, 2024 at 105 East Eggleston Street in the City Hall Council Chambers.

You are being notified because you own property within 300 feet of the property for which this Subdivision Short Form Final Plat has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

LAYLA TRUST (1832720)
2008 HERITAGE WELL LN
PFLUGERVILLE TX 78660-2966

KB HOME LONE STAR INC
(1872857)
10800 PECAN PARK BLVD STE 200
AUSTIN TX 78750-1249

HUONG NHAT HUAN LLP (1917826)
1523 BRADBURY LN
AUSTIN TX 78753-7307

TRAVER TOM R (233463)
11806 ARNHAMN LN
MANOR TX 78653-3542

L4S LLC (1691012)
1101 W 34TH ST #308
AUSTIN TX 78705-1907

NGO CHI (1884602)
22304 TRAILRIDERS CV
MANOR TX 78653-3973

MARTINEZ WIFRANO G &
VERONICA (1877192)
2909 WOOD CREEK RD
BRENHAM TX 77833-0620

CONTINENTAL HOMES OF TEXAS LP
(165062)
10700 PECAN PARK BLVD STE 400
AUSTIN TX 78750-1447



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: November 13, 2024
PREPARED BY: Michael Burrell, Interim Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Permit Extension Request for the Manor Heights Phase 6 Construction Plans, Project Number 2021-P-1389-CO.

BACKGROUND/SUMMARY: The construction plans have been approved, as of 12/02/2022. Construction has been delayed due to remediation clean-up permitting through TCEQ, which has since commenced. Construction of the public improvements shall not begin until the remediation has been completed and is planned to start in February 2025. The applicant is requesting an extension for the existing permit as it expires on December 2nd of this year. The max allowable extension for the permit is 1 year.

LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Construction plan extension request

ACTIONS:

<i>Discretion</i>	Discretionary
<i>Subdivision Review Type</i>	Not Applicable
<i>Actions</i>	Approve, Approve with Conditions, Deny

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve the Permit Extension Request for the Manor Heights Phase 6 Construction Plans, Project Number 2021-P-1389-CO.

PLANNING & ZONING COMMISSION: **X** Recommend Approval Disapproval None



November 4, 2024

City of Manor
Development Services Department
105 E. Eggleston Street
Manor, TX 78653

***2021-P-1389-CO Manor Heights Phase 6 Construction Plans
Construction Plan Application Extension Request***

Dear City of Manor Development Services Department,

Please accept this letter for the above referenced construction plan application extension request on behalf of RHOF, LLC. We are requesting that an extension be granted for the project. The construction plans have been approved, as of 12/02/2022. Construction has been delayed due to remediation clean-up permitting through TCEQ, which has since commenced. Construction of the public improvements shall not begin until the remediation has been completed and is planned to start in February 2025.

Please contact me at 512.782.0602 if additional information is required.

Sincerely,

A handwritten signature in blue ink that reads "Alejandro E. Granados Rico".

Alejandro E. Granados Rico, P.E
KIMLEY-HORN AND ASSOCIATES, INC.



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: November 13, 2024
PREPARED BY: Michael Burrell, Interim Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action for the Las Entradas Shops Coordinated Sign Plan for the planned shopping center located at the northwest corner of Tillgang Pass and E. U S 290 Hwy, Manor, TX.

Applicant: Comet Signs by Stratus

Owner:

BACKGROUND/SUMMARY:

This coordinated sign plan has been reviewed for compliance by city staff. It is the intended plan for a commercial shopping center currently under review name the "Las Entradas Shops"

It includes two monument signs at 22.6 feet tall entry signs, an additional 22.6-foot-tall monument for the Frost Bank currently under construction on site and varying sized attached signage for the tenant spaces within the buildings. The sizes of the attached signs were drawn in context to the width of the tenant space.

LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Coordinated Sign Plan

ACTIONS:

<i>Discretion</i>	Discretionary
<i>Subdivision Review Type</i>	Not Applicable
<i>Actions</i>	Approve, Approve with Conditions, Deny

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve the Las Entradas Shops Coordinated sign plan for the planned shopping center located at the northwest corner of Tillgang Pass and E. U S 290 Hwy, Manor, TX.

PLANNING & ZONING COMMISSION: **X** **Recommend Approval** **Disapproval** **None**

LAS ENTRADAS

MASTER SIGN PLAN



MANOR, TX 78653

LAS
ENTRADAS

■ Proposal Drawing
□ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
ENTRADAS - MANOR, TX -
SIGN PLAN.cdr

Proposal #: 79834

Revisions (M/D/Y)-(initials): desc.



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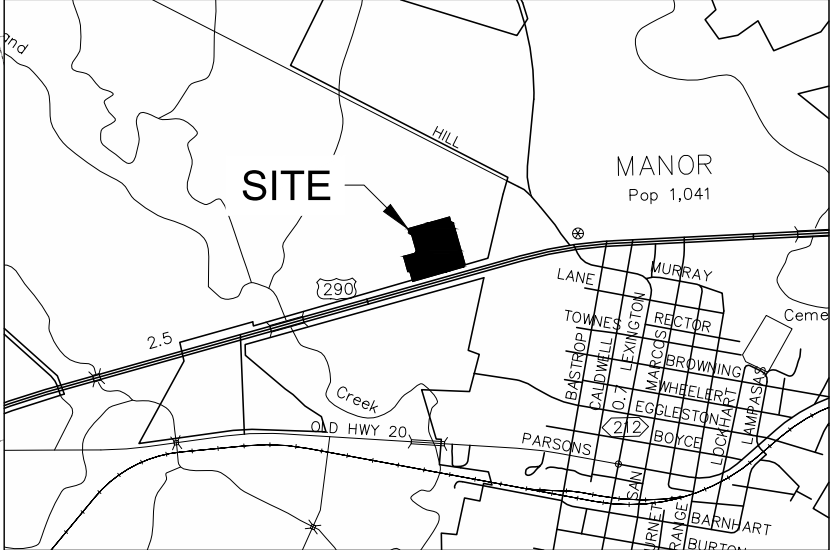


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VICINITY MAP

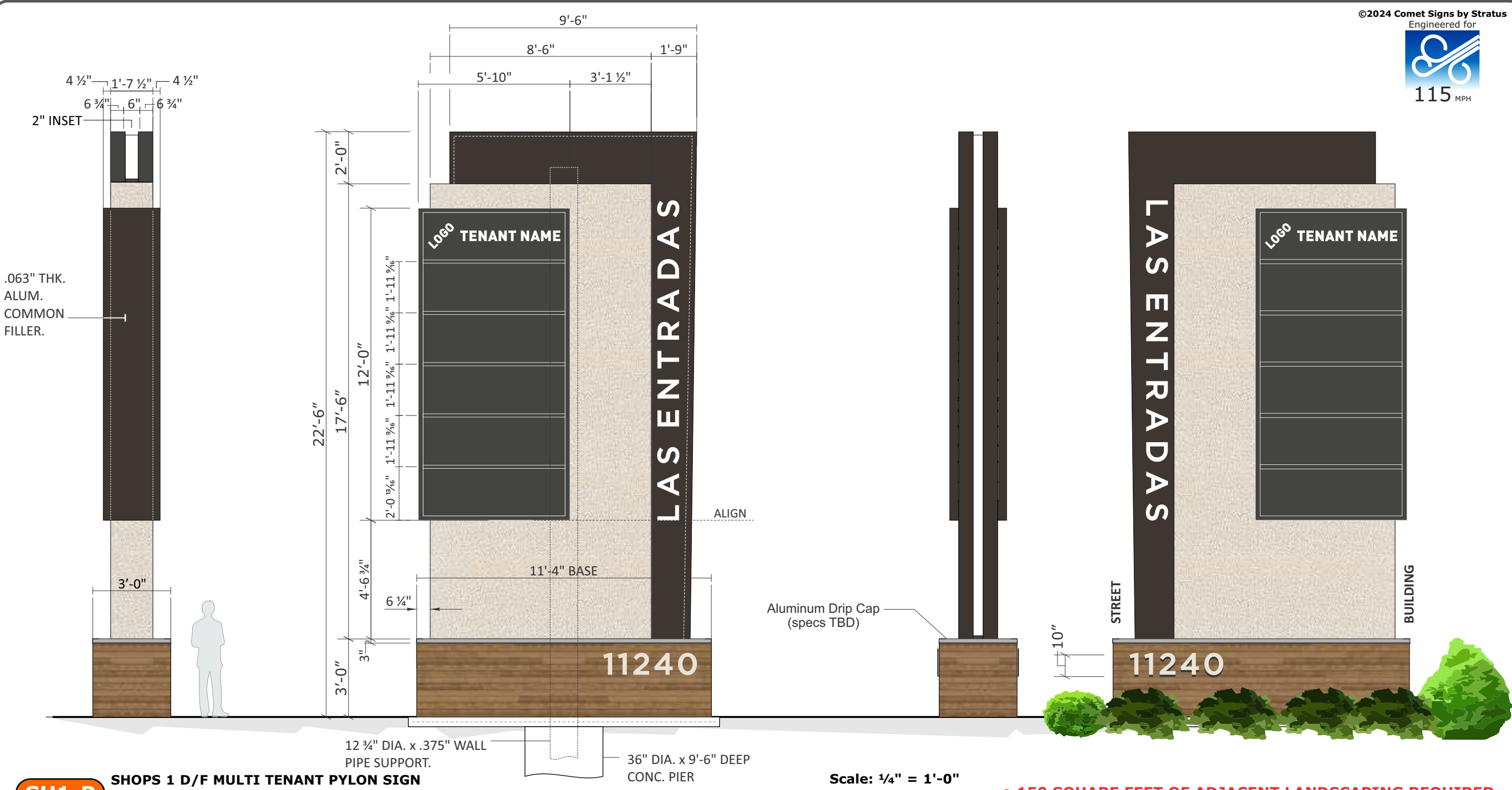


1"=2000'



CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____



Job Name Item 5.

LAS ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS ENTRADAS - MANOR, TX - SIGN PLAN.cdr

Proposal #: 79834

Revisions (M/D/Y)-(initials): desc.

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INTERNATIONAL SIGN ASSOCIATION
TEXAS SIGN ASSOCIATION

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9

SH1-P

SHOPS 1 D/F MULTI TENANT PYLON SIGN

QTY: ONE(1)

SCOPE OF WORK:
FABRICATE AND INSTALL D/F INTERNALLY ILLUMINATED MULTI-TENANT PYLON

1: ANGLE FRAMED POLE COVERS CLAD IN ALUM. AND PAINTED **(P1)** AND **(P2)**. END VIEW TO HAVE WHITE ACRYLIC COVE RUNNING VERTICALLY UP POLE COVER ILLUMINATED W/ 5000K WHITE LEDS

2: ROUTED OUT OF FACES AND BACKED W/ 1/2" PUSH THRU CLEAR ACRYLIC W/ 2ND SURFACE **(V1)** VINYL INTERNALLY ILLUMINATED W/ 5000K WHITE LEDS

3: TENANT PANEL CABINET W/ 2" RETAINERS 1.5" DIVIDER BARS PAINTED **(P1)**. TENANT PANELS TO BE .177" THK. #7328 WHITE ACRYLIC WITH FIRST SURFACE ORACAL #8800-080 BROWN DURANODIC VINYL OVERLAY WITH SHO-THRU WHITE NAME AND LOGO. CABINET INTERNALLY ILLUMINATED W/ 5000K WHITE LEDS. CABINET SHIPS LOOSE

4: BASE FRAME with BELLARA METAL SIDING PANELS (MT-01) TO BE USED AS CLADDING FOR MONUMENT BASE. EXACT SPECS TBD

5: 1/4" THK. ACRYLIC FLAT CUT OUT ADDRESS NUMERALS PAINTED **(NON-TEXTURED P2/ VERIFY PROPER CONTRAST WITH BASE PRINT)** AND MOUNTED 1/4" OFF EACH FACE OF BASE WITH SPACERS TO PREVENT CRUSHING.

6: .090" THK. ALUM. BRAKE FORMED CAP OVER BASE (SPEC'S TO FOLLOW).

7: PRIMARY ELECTRICAL CONNECTION by CUSTOMER'S ELECTRICIAN

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

Scale: 1/4" = 1'-0"

80.0 SQFT

• 150 SQUARE FEET OF ADJACENT LANDSCAPING REQUIRED.

V1

ORACAL 60%
DIFFUSER
VINYL

P1

DARK BROWN
TO MATCH
BUILDING
TRIM/ FRAMING

P2

TEXTURED
FINISH
TO MATCH
STOREFRONT

MT1

BELLARA METAL
SIDING PANELS
- WARM
ROSEWOOD
(18-3271)

P2

SW 7005 PURE
WHITE

V2

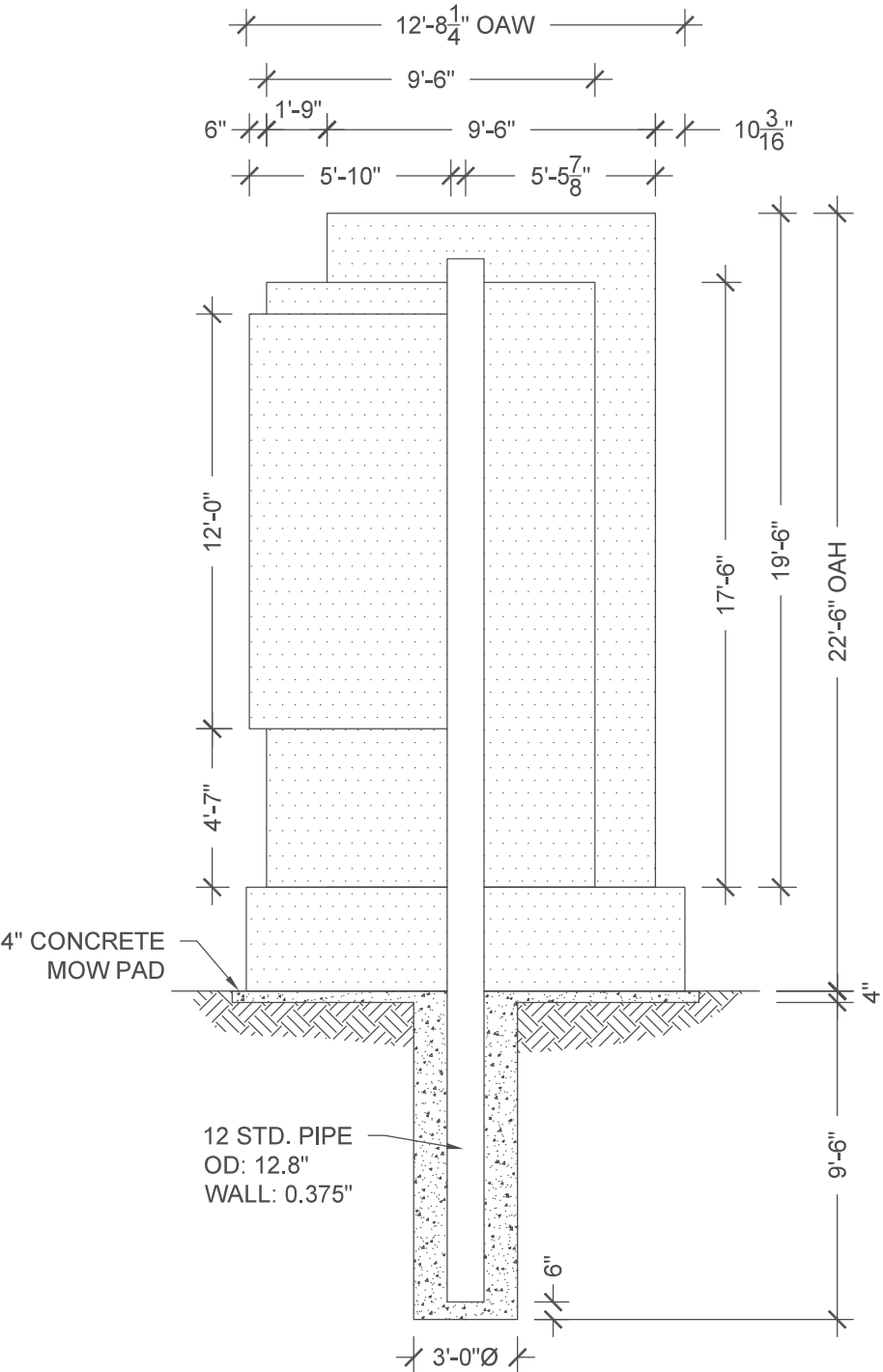
ORACAL 8800-
080
BROWN
DURANODIC



12396 WORLD TRADE DRIVE
SUITE 312, SAN DIEGO, CA 92128
PROJECTMANAGER@SULLAWAYENG.COM
PHONE: 1-858-312-5150 FAX: 1-858-777-3534

PROJECT: LAS ENTRADAS - SIGN TYPE: MONUMENT SIGN - HIGHWAY 290, MANOR, TX
PROJECT #: 47104
CLIENT: COMET SIGNS

DATE: 8-6-2024
ENGINEER: JD
LAST REVISED:



GENERAL NOTES

- DESIGN CODE: IBC 2015
- DESIGN LOADS: ASCE 7-10
- WIND VELOCITY: 115 MPH EXPOSURE C
- CONCRETE 2500 PSI MIN.
- PIPE STEEL ASTM A53, Fy= 35 KSI MIN.
- PROVIDE PROTECTION AGAINST DISSIMILAR METALS USING ANTI-CORROSIVE PAINT OR NEOPRENE GASKETS.
- LATERAL SOIL BEARING PER IBC CLASS 4 (150 PSF/FT)
- ALL DIMENSIONS TO BE VERIFIED PRIOR TO FABRICATION.

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

**STAMPED
ENGINEERING
ON FILE**

Job Name Item 5.

**LAS
ENTRADAS**

☒ **Proposal Drawing**
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
ENTRADAS - MANOR, TX -
SIGN PLAN.cdr

Proposal #: 79834

Revisions (M/D/Y)-(initials): desc.



TDLR: 18010 • MET: E113766

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(713) 943-1831

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LAS
ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
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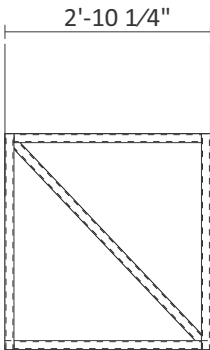
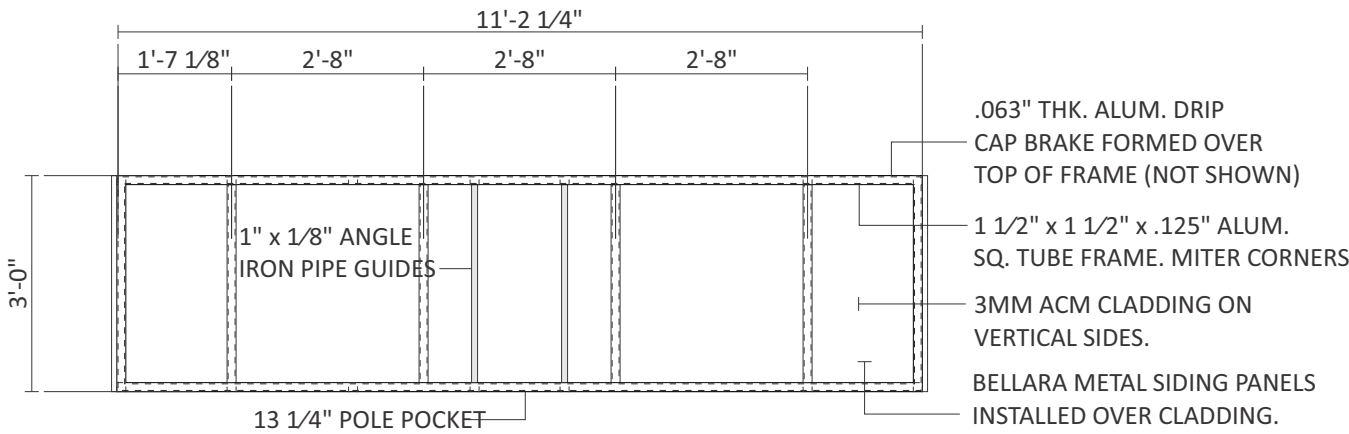
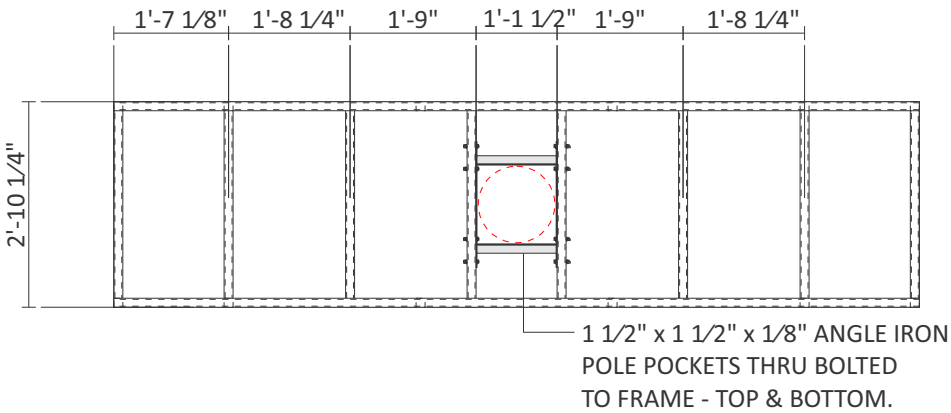
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A

BASE FRAME DETAIL

MFR. (1) AS SHOWN

3/8" = 1'-0"

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

LAS
ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
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Revisions (M/D/Y)-(initials): desc.



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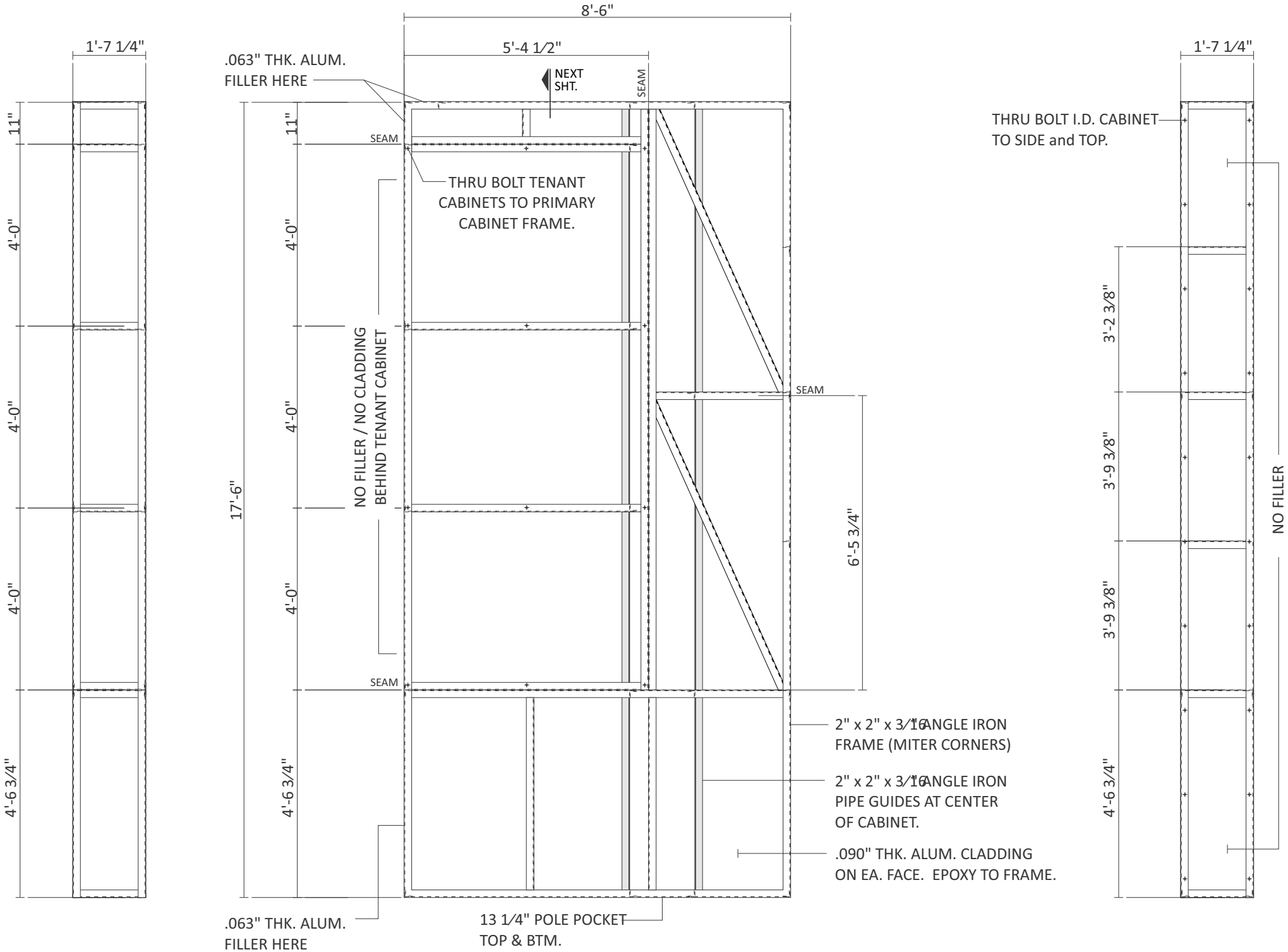
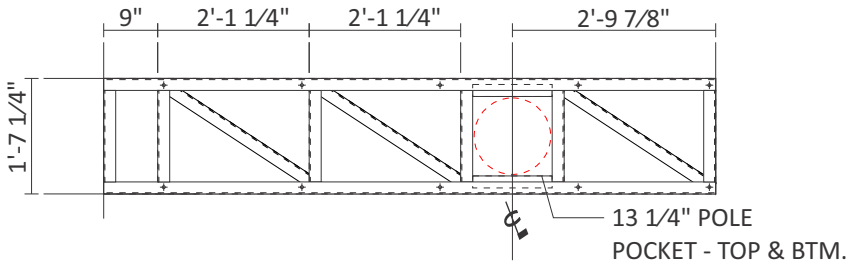
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CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

A

PRIMARY CABINET FRAME DETAIL

MFR. (1) AS SHOWN

3/8" = 1'-0"

LAS
ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
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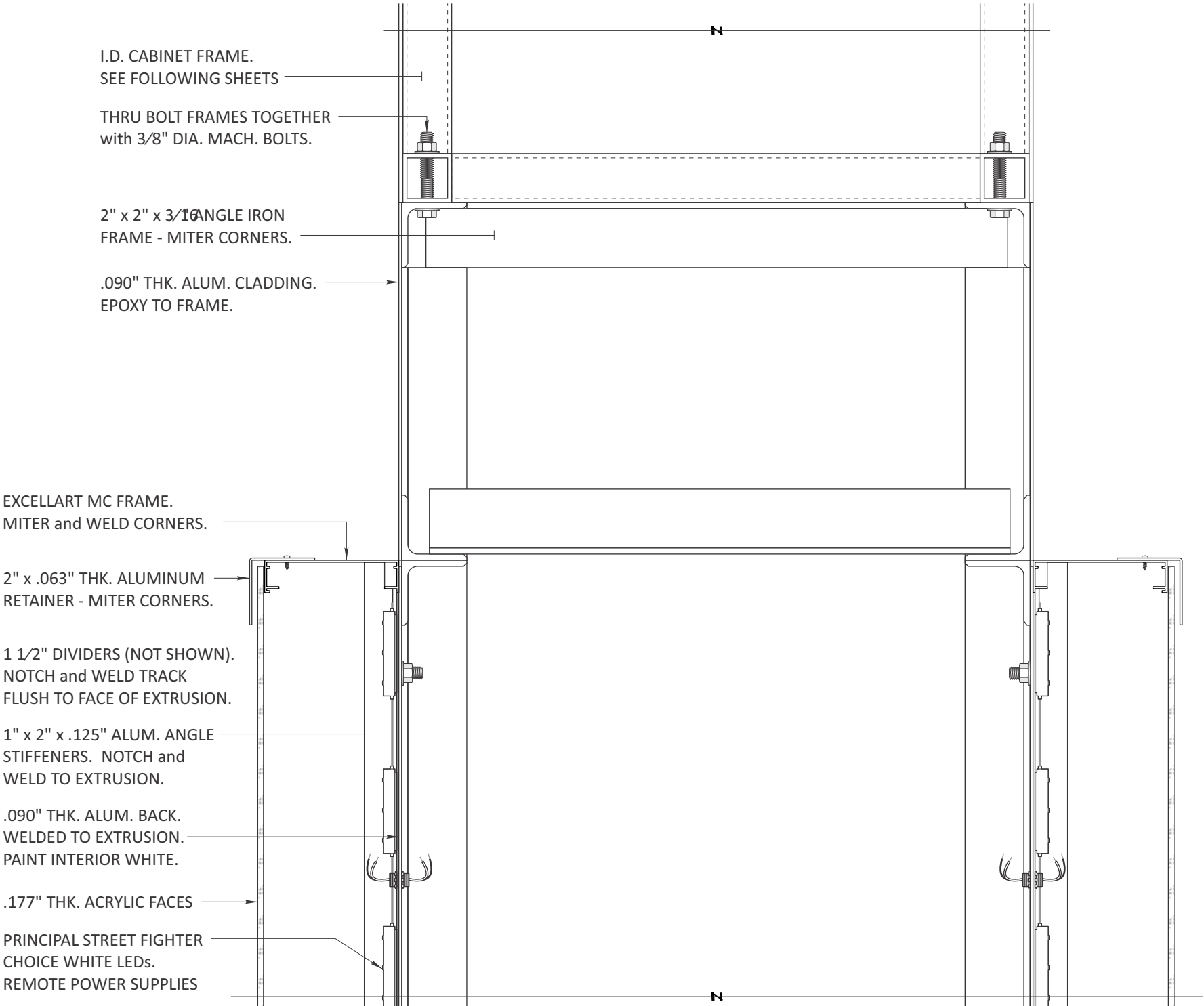
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NOTE: SHIP TENANT CABINETS LOOSE.
INSTALL IN FIELD.

A

SECTION (VERT.)

3" = 1'-0"

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

☒ **Proposal Drawing**
☐ Final Drawing

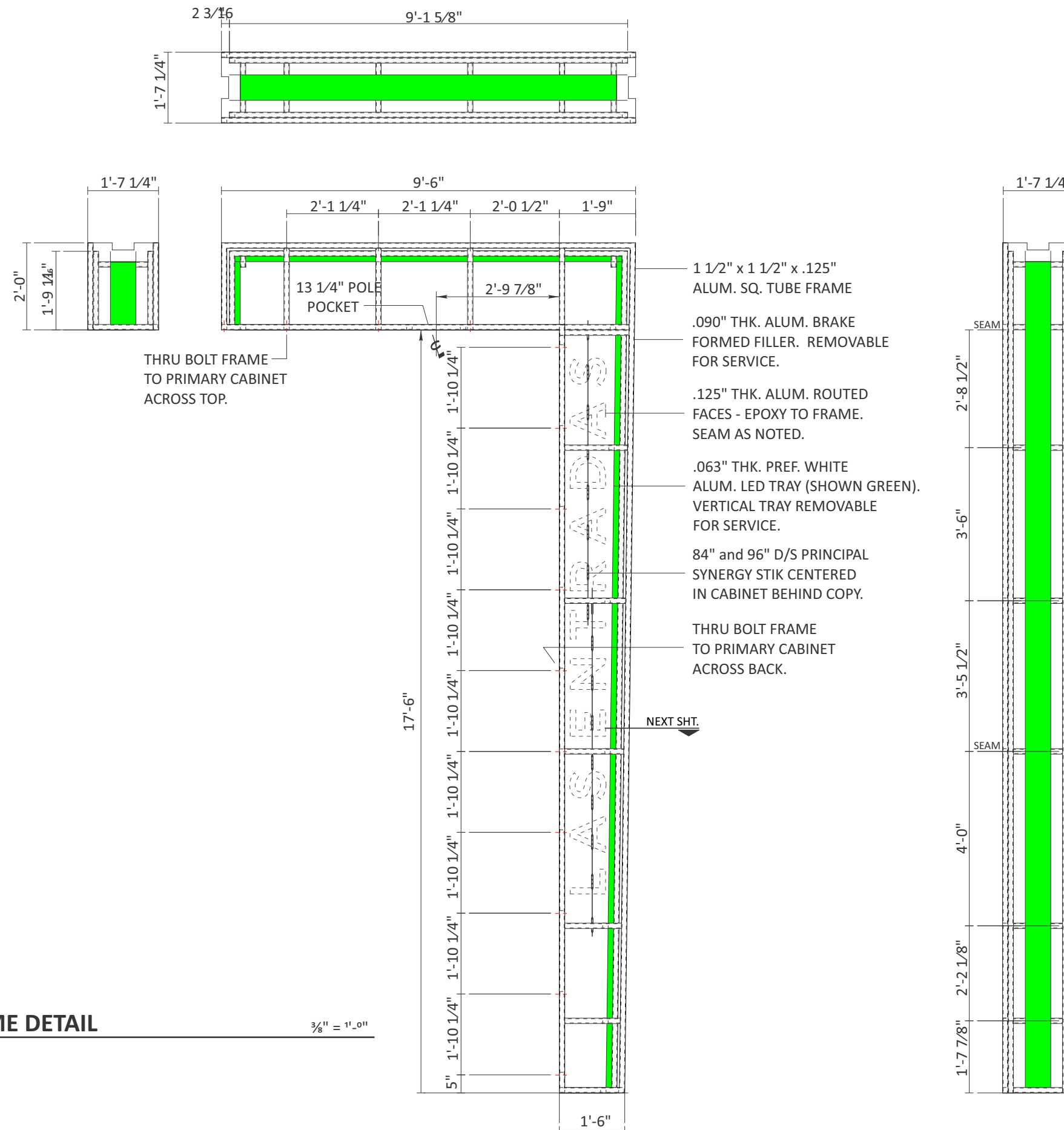
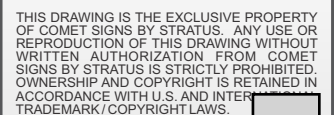
Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
ENTRADAS - MANOR, TX -
SIGN PLAN.cdr

Proposal #: 79834

Revisions (M/D/Y)-(initials): desc.



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(903) 561-4995



A

I.D. CABINET FRAME DETAIL

MFR. (1) AS SHOWN

$$\frac{3}{8}'' = 1'-0''$$

CUSTOMER APPROVAL

APPROVED BY: _____ **DATE:** ____/____/____

LAS
ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
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Revisions (M/D/Y)-(initials): desc.



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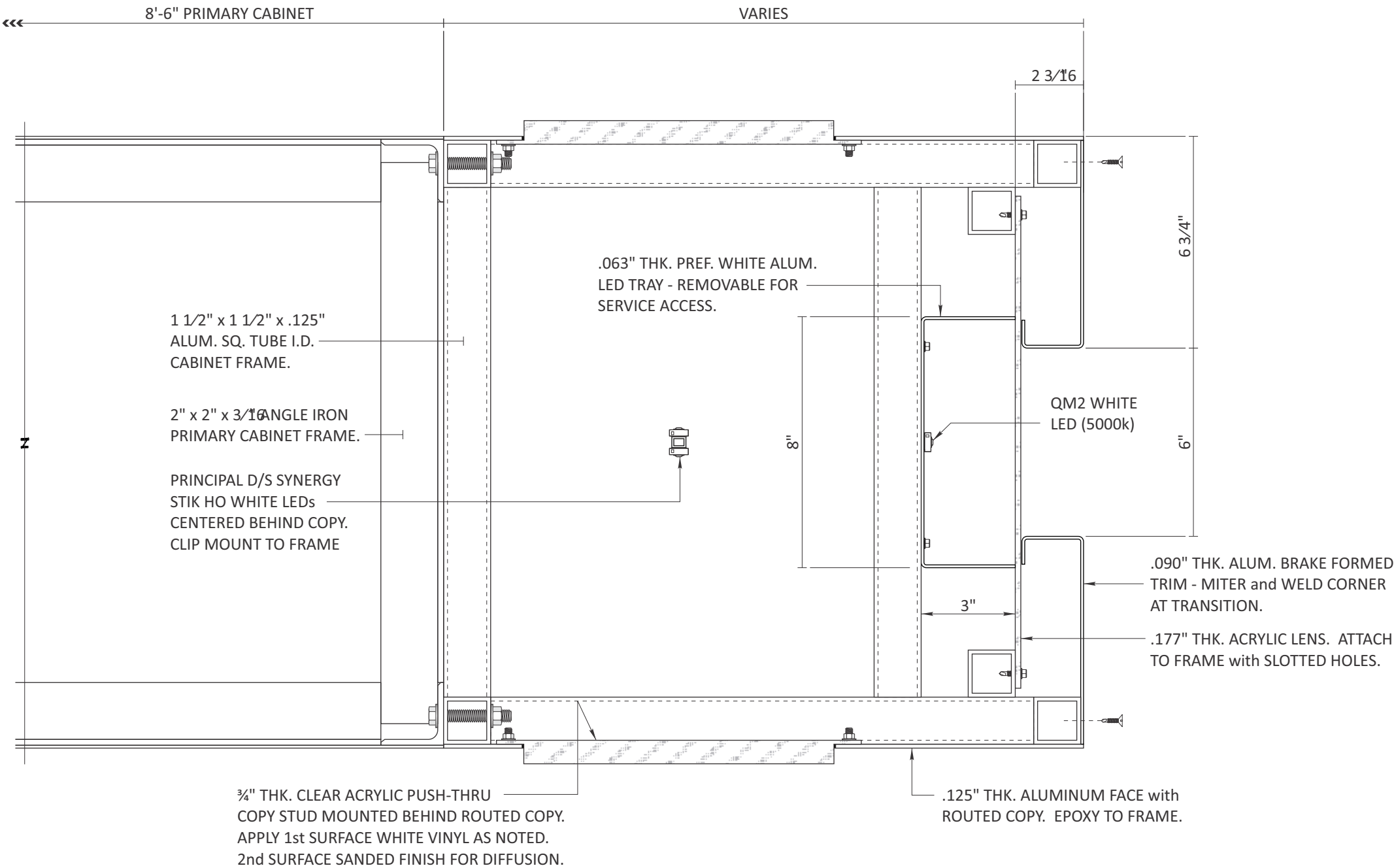
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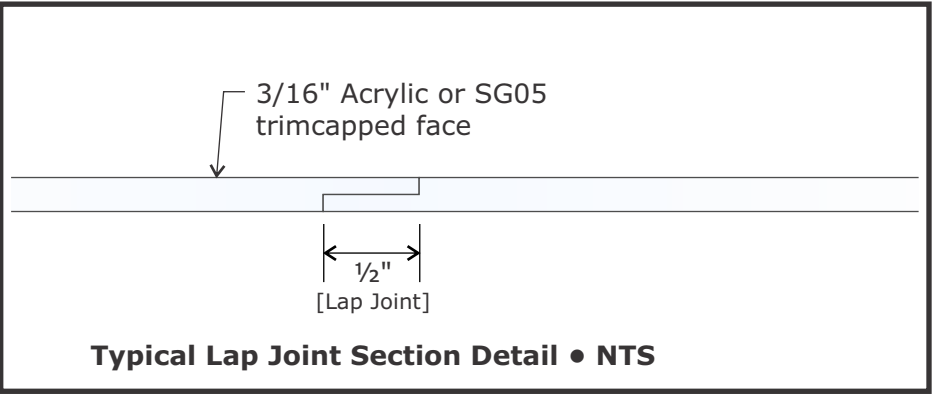
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A

SECTION (HORIZ.)

3" = 1'-0"

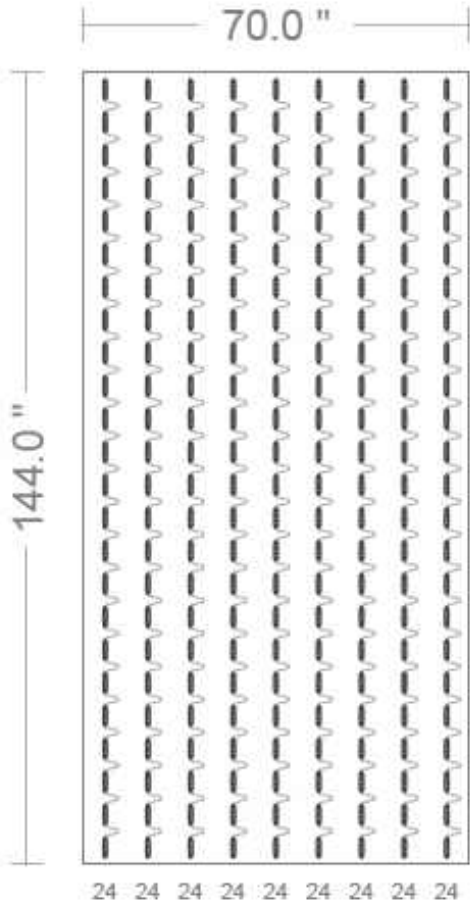


CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____



3490 Venture Dr
San Angelo, TX 76905
325.227.4577
www.principalsloan.com
layouts@pindustries.com



Date	Module	Power Supply	Modules per Foot	Area
August 7, 2024 12:33 PM PDT	(216) Prism Synergy Spec 5000K	(3) Energizer Series Universal 100W (24V) Threaded	2.087	70.00 sq ft
Layout Type	Module Part Number	Power Supply Part Number	Row Spacing	Perimeter
Face Lit	PL-SY4-SP2-P (50)	P-OH100-24-EC-T	7.8 in	35.67 feet
Total Watts	Module SKU	Power Supply SKU	Can Depth	Max Modules per PS
191.81 watts	M-SYSP0-50	P-OH100-24-EC-T	4.00 in	108

NOTICE: THIS LAYOUT IS ONLY AN ESTIMATE
Channel letter depth, face color, materials, and thickness can vary, which may affect the number of modules required. To ensure accuracy, it is recommended that you test light in a darkened environment prior to installing or shipping to the site to ensure that the light output is commercially acceptable. Final material estimates are the responsibility of the sign manufacturer.
ALL LAYOUTS ARE BASED ON THE USE OF ACRYLIC FACES.
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CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

Job Name

Item 5.

LAS
ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
ENTRADAS - MANOR, TX -
SIGN PLAN.cdr

Proposal #: 79834

Revisions (M/D/Y)-(initials): desc.



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325.227.4577
www.principalsloan.com
layouts@pindustries.com

Job Name
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ENTRADAS

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21"	103"	227"
END	TOP	END

ILLUMINATED FILLER PANEL

Date	Module	Power Supply	Modules per Foot	Area
August 14, 2024 11:18 AM PDT	(88) Qwik Mod 2 5000K	(1) Energizer Series Universal 120W	3.043	14.63 sq ft
Layout Type	Module Part Number	Power Supply Part Number	Row Spacing	Perimeter
Face Lit	PL-QM2-NW150-P	P-OH120-12-EC	6.0 in	59.50 feet
Total Watts	Module SKU	Power Supply SKU	Can Depth	Max Modules per PS
68.64 watts	M-QMDX0-50	P-OH120-12-EC	3.00 in	150

NOTICE: THIS LAYOUT IS ONLY AN ESTIMATE
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ALLOWABLE SQUARE FOOTAGE - 2 X THE LENGTH OF EACH TENANT SPACE.

LAS
ENTRADAS

■ Proposal Drawing
□ Final Drawing

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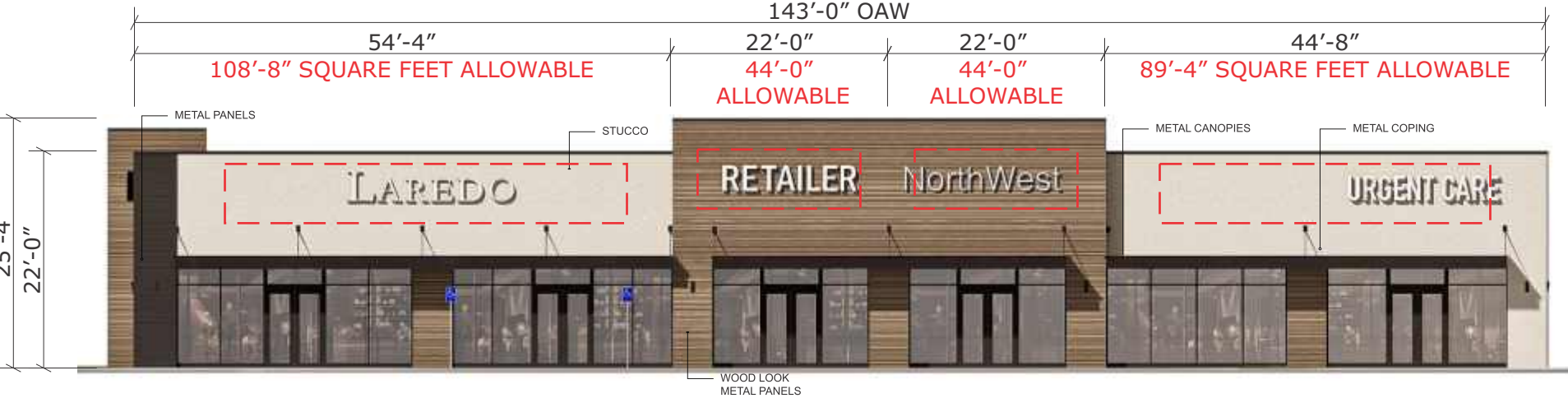
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FACE-LIT CHANNEL LETTERS
AT SHOPS 1
SOUTH ELEVATION.

SH1

SHOPS 1 SOUTH ELEVATION - RACEWAY-MOUNTED FACE-LIT CHANNEL LETTERS

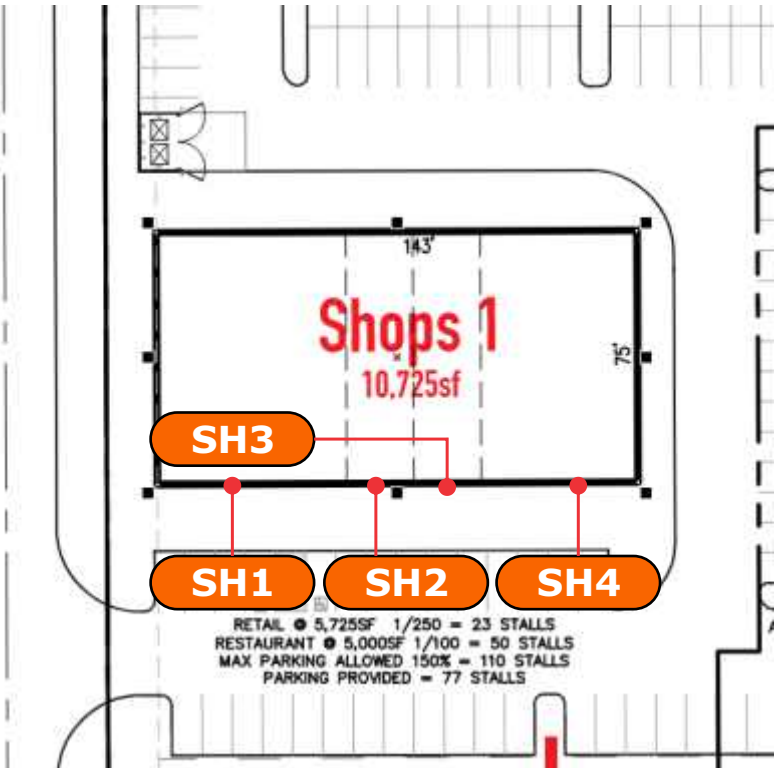
QTY: FOUR (4) SETS.

SCOPE OF WORK:

MANUFACTURE AND INSTALL:

- NEW 5" DEEP ILLUMINATED CHANNEL LETTERS WITH .040" THICK ALUMINUM RETURNS, ACM BACKS PAINTED TO MATCH BRAND GUIDELINES.
- WHITE ACRYLIC FACES WITH 1" WIDE TRIMCAP PAINTED TO MATCH FACES AND RETURNS.
- WHITE LED ILLUMINATION.
- EXTRUDED ALUMINUM RACEWAY-MOUNTED TO SIGN BAND. RACEWAY PAINTED TO MATCH FASCIA.

Scale: 1/16" = 1'-0"



CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

SH1

SECTION (VERT)
RACEWAY MOUNT

3" = 1'-0"

.040" THK. ALUM. RETURNS with
3MM ACM CAD CUT BACKS.

1" TRIMCAP RETAINER.

.187" THK. ACRYLIC FACES.

PRINCIPAL WHITE LEDs

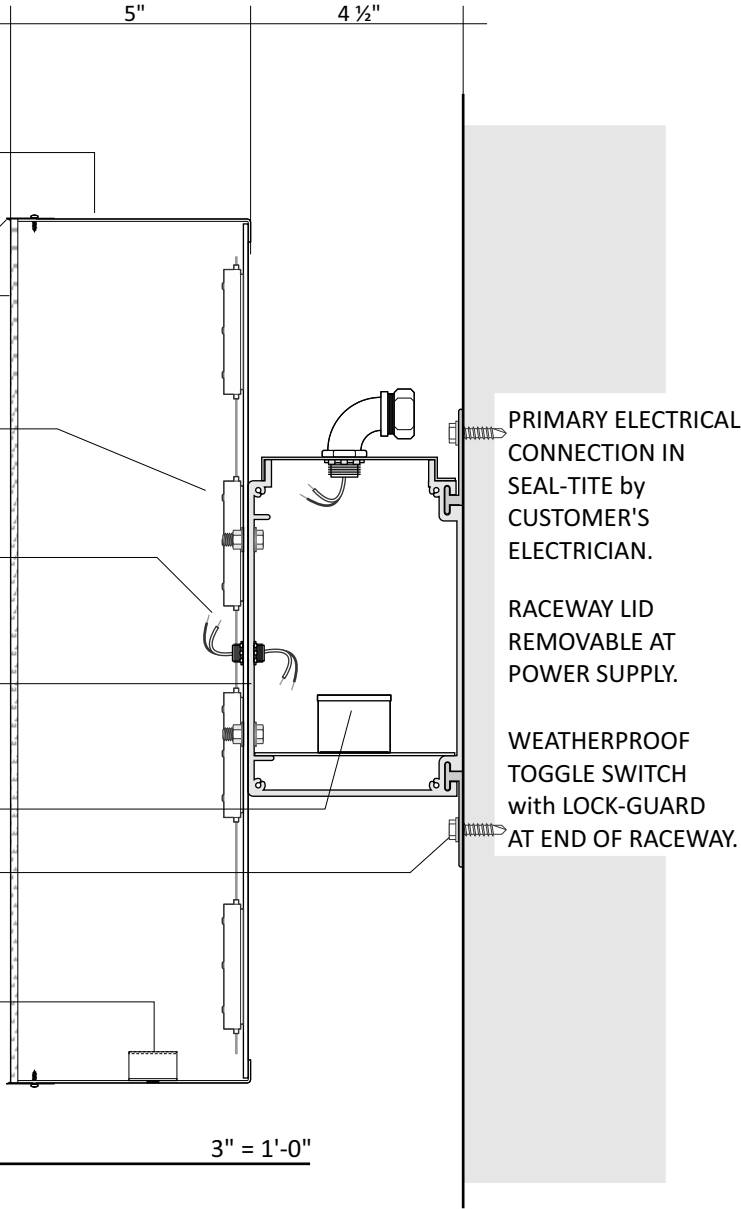
SECONDARY WIRING with
PASS-THRU AT RACEWAY.

EASTERN METALS 7" X 4 1/2" EXTR.
RACEWAY with MTG. CLIPS
ON 48" CENTERS MAXIMUM.

POWER SUPPLY MOUNTED
ON .063" THK. ALUM. FLAT
PANEL ACROSS BOTTOM.

NON-CORROSIVE MTG. HARDWARE
AS REQUIRED PER WALL
CONSTRUCTION.

WEEP HOLES with LIGHT SHIELDS
AT LOW POINTS OF EA. LETTER.



ALLOWABLE SQUARE FOOTAGE - 2 X THE LENGTH OF EACH TENANT SPACE.

101'-2" OAW

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ENTRADAS

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□ Final Drawing

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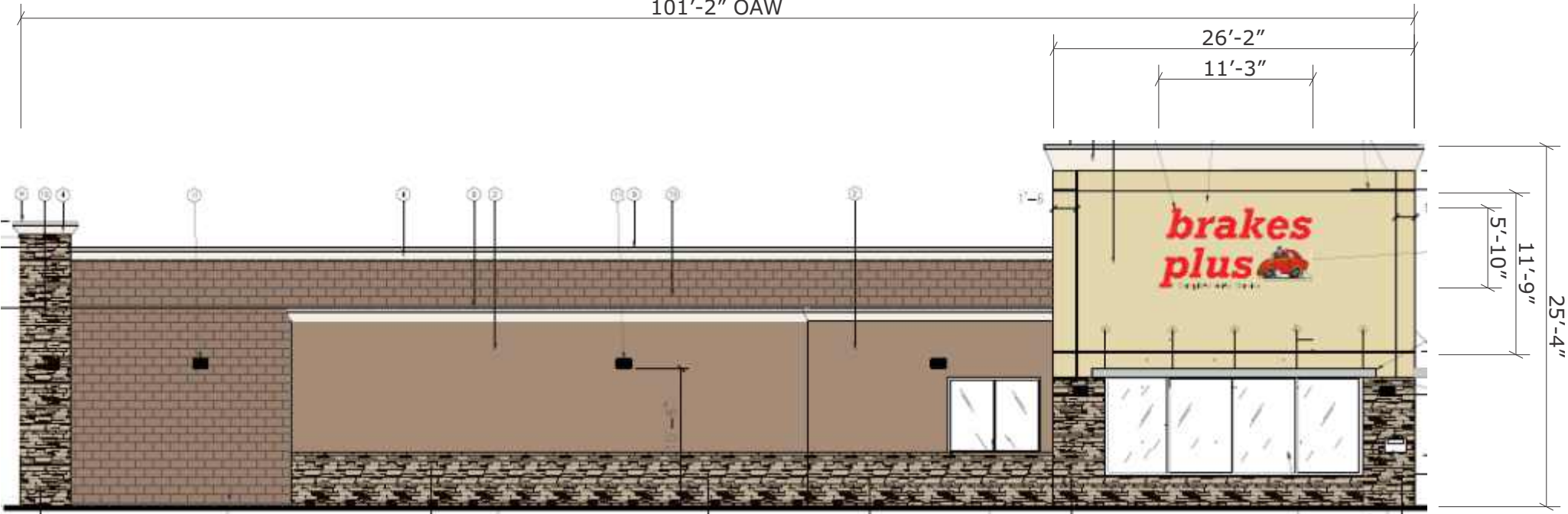
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BP1

WEST ELEVATION - 65.63 SQUARE FEET/ 202.33 ALLOWABLE

QTY: ONE (1) REQUIRED.

Scale: 1/8" = 1'-0"

BP

SECTION (VERT) 3" = 1'-0"

RACEWAY MOUNT

.040" THK. ALUM. RETURNS with
3MM ACM CAD CUT BACKS.

1" TRIMCAP RETAINER.

.187" THK. ACRYLIC FACES.

PRINCIPAL WHITE LEDs

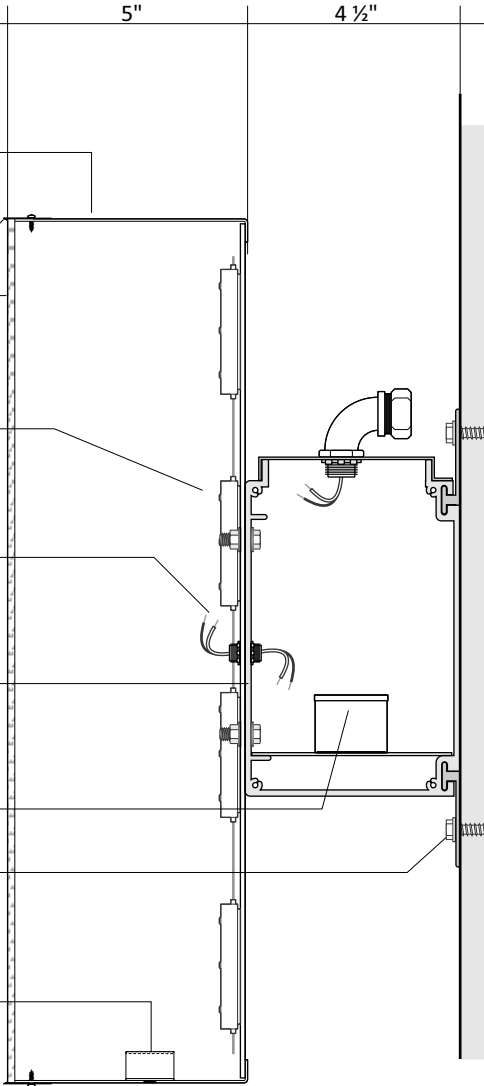
SECONDARY WIRING with
PASS-THRU AT RACEWAY.

EASTERN METALS 7" X 4 1/2" EXTR.
RACEWAY with MTG. CLIPS
ON 48" CENTERS MAXIMUM.

POWER SUPPLY MOUNTED
ON .063" THK. ALUM. FLAT
PANEL ACROSS BOTTOM.

NON-CORROSIVE MTG. HARDWARE
AS REQUIRED PER WALL
CONSTRUCTION.

WEEP HOLES with LIGHT SHIELDS
AT LOW POINTS OF EA. LETTER.



BP2

SOUTH ELEVATION - 65.63 SQUARE FEET/ 98.0 ALLOWABLE

QTY: ONE (1) REQUIRED.

Scale: 1/8" = 1'-0"

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

ALLOWABLE SQUARE FOOTAGE - 2 X THE LENGTH OF EACH TENANT SPACE.

LAS
ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
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Proposal #: 79834

Revisions (M/D/Y)-(initials): desc.



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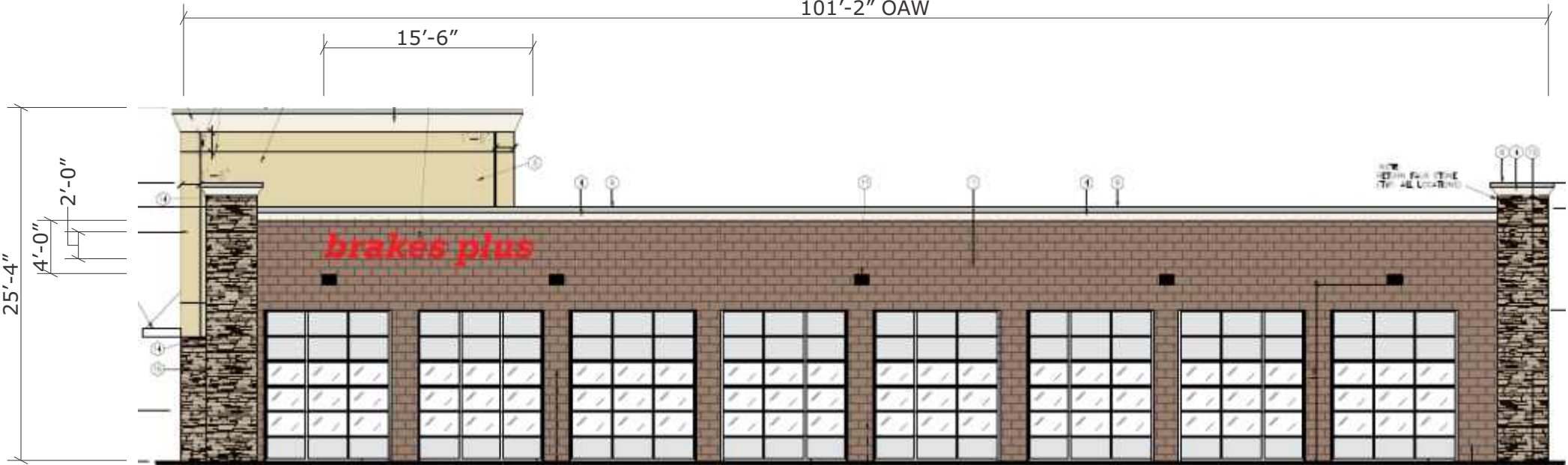
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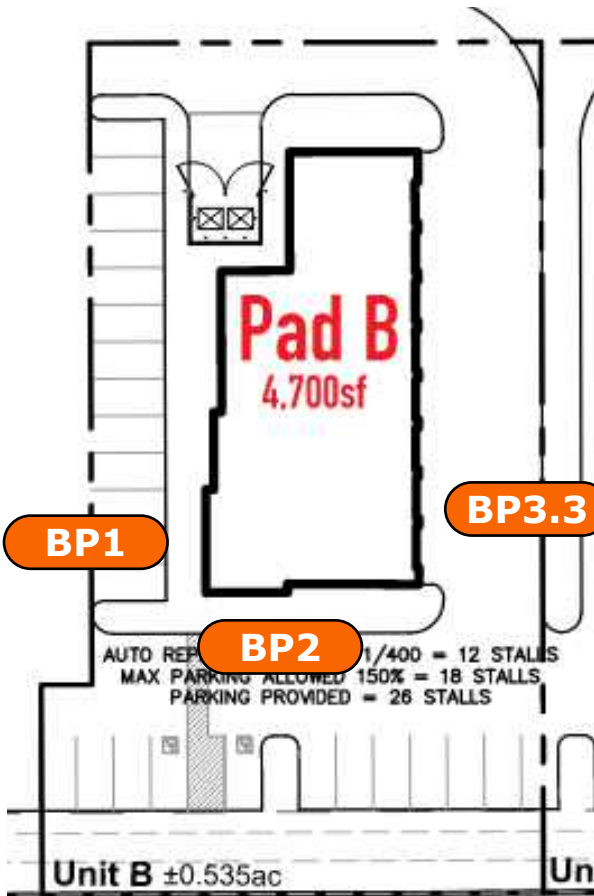


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BP3 EAST ELEVATION - 31.0 SQUARE FEET/ 202.33 ALLOWABLE
QTY: ONE (1) REQUIRED.

Scale: 1/8" = 1'-0"



CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

BP

SECTION (VERT) 3" = 1'-0"
RACEWAY MOUNT

.040" THK. ALUM. RETURNS with
3MM ACM CAD CUT BACKS.

1" TRIMCAP RETAINER.

.187" THK. ACRYLIC FACES.

PRINCIPAL WHITE LEDs

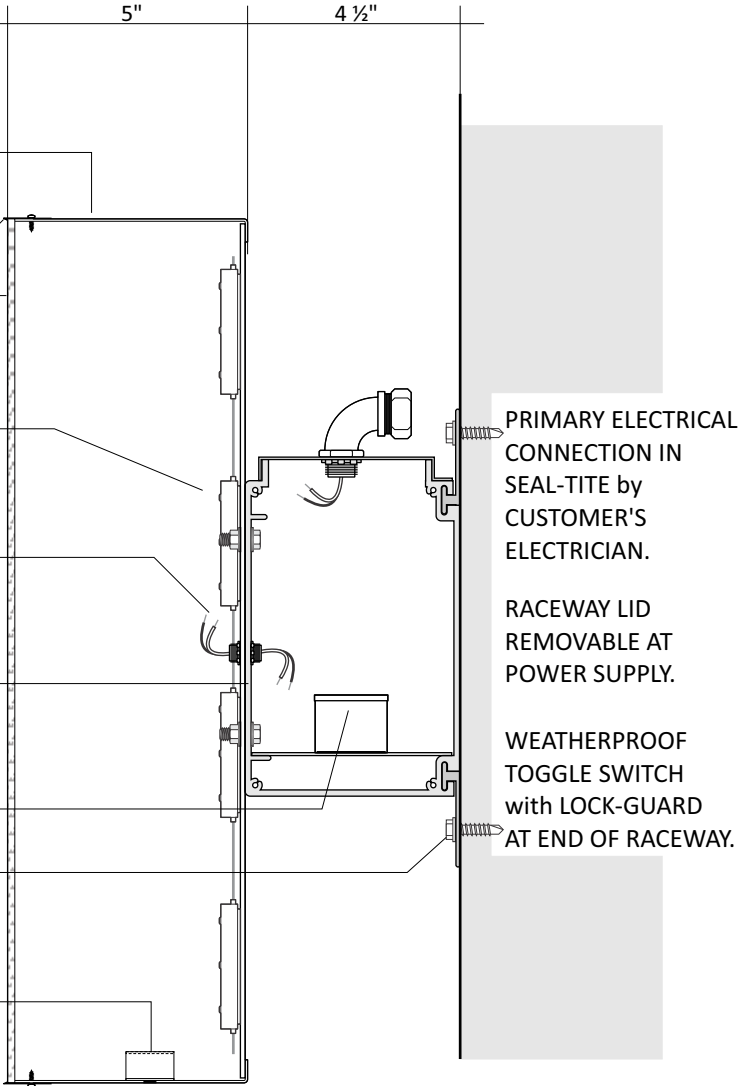
SECONDARY WIRING with
PASS-THRU AT RACEWAY.

EASTERN METALS 7" X 4 ½" EXTR.
RACEWAY with MTG. CLIPS
ON 48" CENTERS MAXIMUM.

POWER SUPPLY MOUNTED
ON .063" THK. ALUM. FLAT
PANEL ACROSS BOTTOM.

NON-CORROSIVE MTG. HARDWARE
AS REQUIRED PER WALL
CONSTRUCTION.

WEEP HOLES with LIGHT SHIELDS
AT LOW POINTS OF EA. LETTER.



LAS
ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
ENTRADAS - MANOR, TX -
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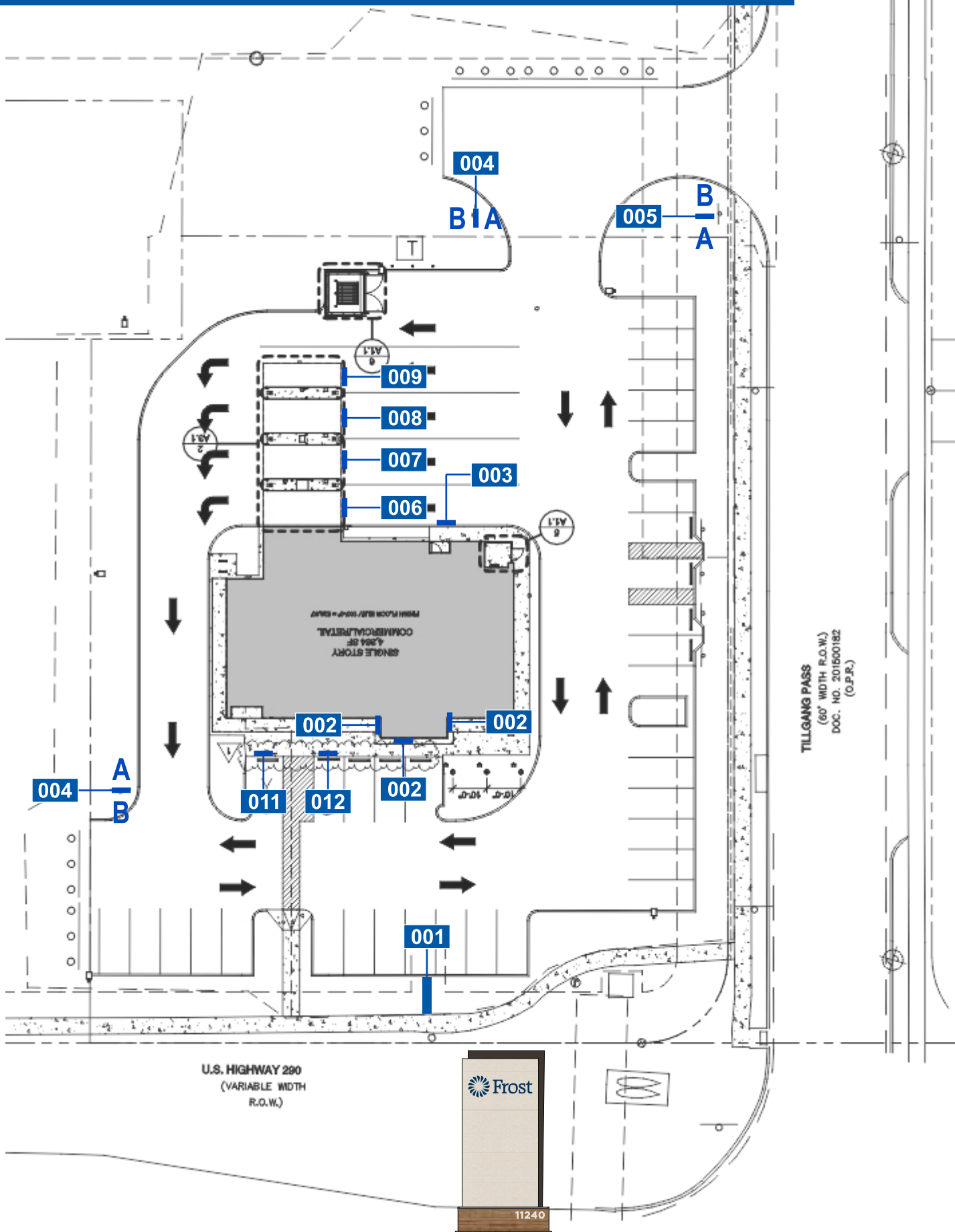
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SITE MAP

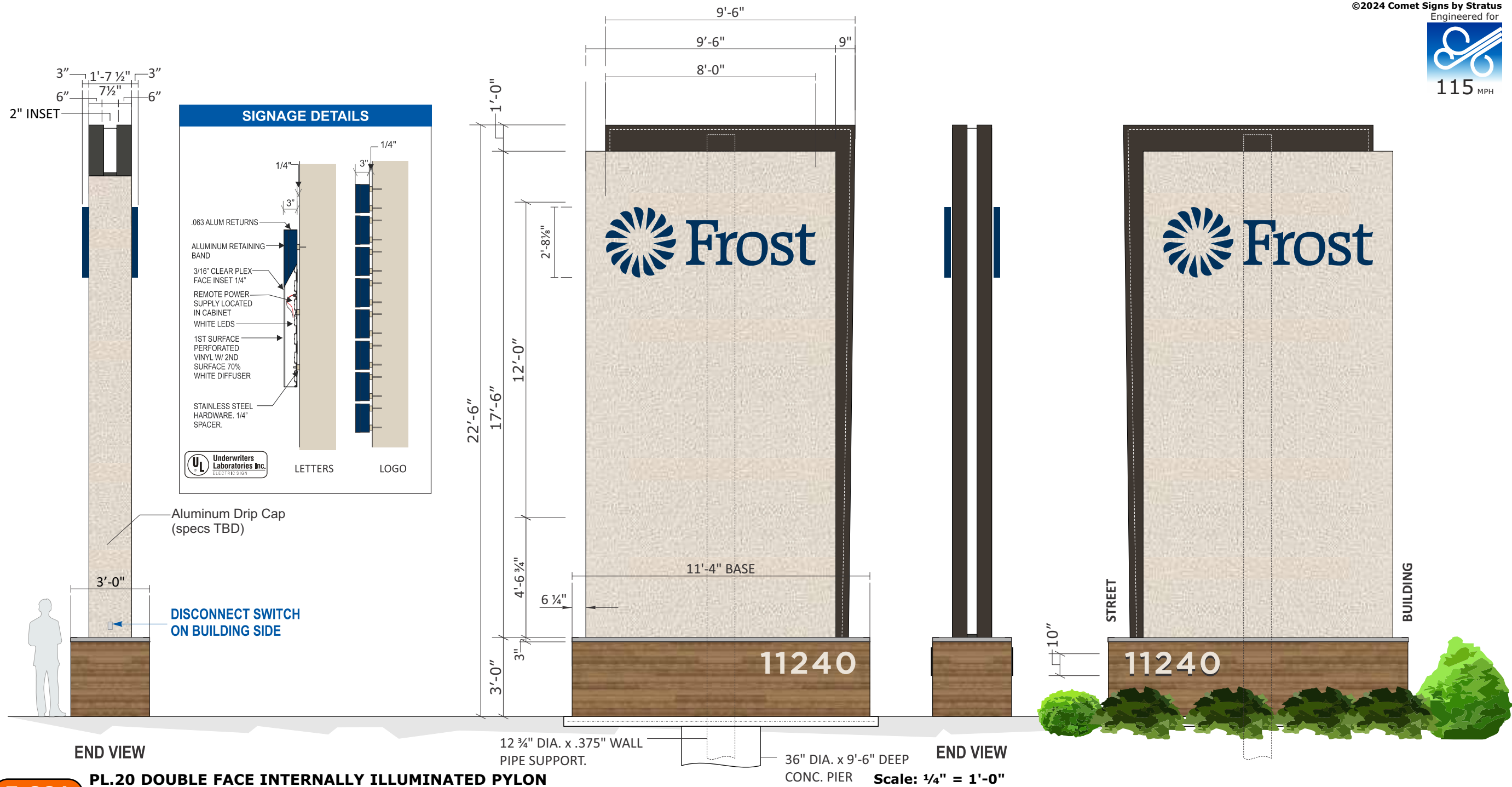


SIGN SCHEDULE

SIGN	SIGN TYPE	QTY	ITEM DESCRIPTION
001			ILLUMINATED PYLON
002	ICL.36.MRW	3	ILLUMINATED CHANNEL LETTERS - MULLION RACEWAY
003	ICL.30	1	ILLUMINATED CHANNEL LETTERS
004	DS.01	2	DIRECTIONAL SIGNAGE
005	DS.01	1	DIRECTIONAL SIGNAGE
006	LD.01	1	LANE DESIGNATORS - COMMERCIAL
007	LD.01	1	LANE DESIGNATORS - ATM / PERSONAL
008	LD.01	1	LANE DESIGNATORS - COMMERCIAL / PERSONAL
009	LD.01	1	LANE DESIGNATORS - PERSONAL
010	DSS.01	4	DEPOSIT SLIP STANDS
011	PS.01	1	RESERVED-PANEL
012	PS.01	1	RESERVED-VAN-PANEL
013	F-PS.03	1	EV-USELAST-PANEL
014	F-PS.03	1	EV-CHARGING-PANEL
015	WC.01	4	WINDOW CLINGS

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____



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Engineered for
115 MPH

Job Name **Item 5.**

LAS ENTRADAS

☒ **Proposal Drawing**
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
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F-001

PL.20 DOUBLE FACE INTERNALLY ILLUMINATED PYLON

QTY: ONE(1)

SCOPE OF WORK:

FABRICATE AND INSTALL D/F INTERNALLY ILLUMINATED MULTI-TENANT PYLON

- 1: ANGLE FRAMED POLE COVERS CLAD IN ALUM. AND PAINTED (**P1**) AND (**P2**). END VIEW TO HAVE WHITE ACRYLIC COVE RUNNING VERTICALLY UP POLE COVER ILLUMINATED W/ 5000K WHITE LEDS
- 2: FACE-LIT CHANNEL LETTERS WITH SANDED 3/16" CLEAR FACE WITH ILLUMINATED 1/4" INSET EDGE. FIRST SURFACE PERFORATED VINYL WITH SECOND SURFACE 70% WHITE DIFFUSER. 3" DEEP x .063" THICK ALUMINUM LETTER RETURNS PAINTED TO MATCH P.M.S. 540-C BLU. 1" RETAINERS PAINTED TO MATCH.
3. BASE FRAME WITH BELLARA METAL SIDING PANELS (MT-01) TO BE USED AS CLADDING FOR MONUMENT BASE. EXACT SPECS TBD
- 4: 1/4" THK. ACRYLIC FLAT CUT OUT ADDRESS NUMERALS PAINTED (**NON-TEXTURED P2/ VERIFY PROPER CONTRAST WITH BASE PRINT**) AND MOUNTED 1/4" OFF EACH FACE OF BASE WITH SPACERS TO PREVENT CRUSHING.
5. .090" THK. ALUM. BRAKE FORMED CAP OVER BASE (SPEC'S TO FOLLOW).
- 6: PRIMARY ELECTRICAL CONNECTION BY CUSTOMER'S ELECTRICIAN

80.0 SQFT

• 150 SQUARE FEET OF
ADJACENT LANDSCAPING REQUIRED.

ORACAL 60% DIFFUSER VINYL	DARK BROWN TO MATCH BUILDING TRIM/ FRAMING	TEXTURED FINISH TO MATCH STOREFRONT	BELLARA METAL SIDING PANELS - WARM ROSEWOOD (18-3271)	SW 7005 PURE WHITE	ORACAL 8800- 080 BROWN DURANODIC
V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C					
V2 - 3M SCOTCHCAL TO MATCH PMS540C					
V3 - DIFFUSER 70% WHITE					

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

ALLOWABLE SQUARE FOOTAGE - 2 X THE LENGTH OF EACH TENANT SPACE.

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Job Name

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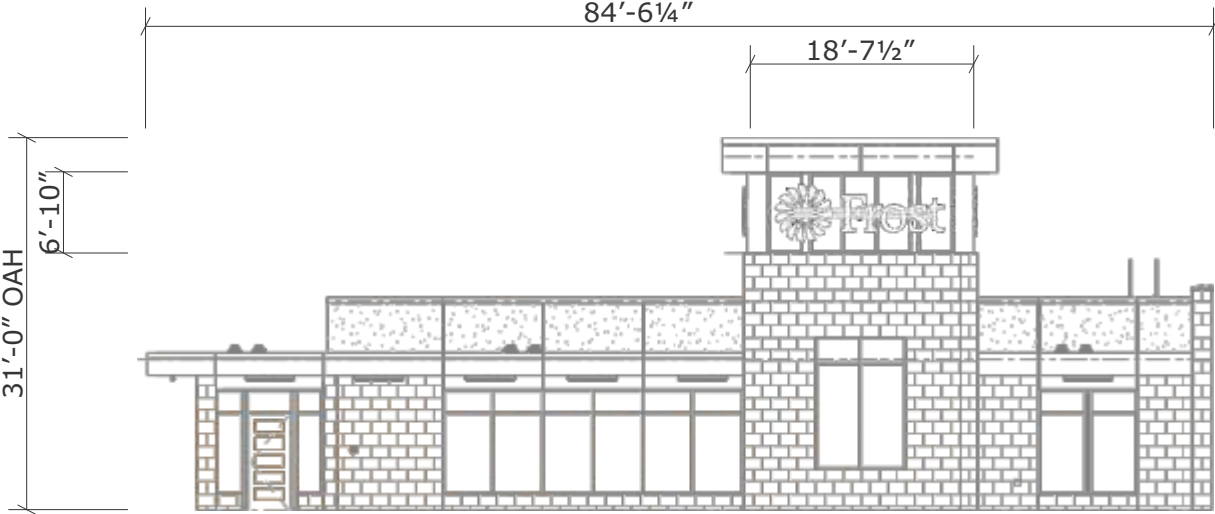
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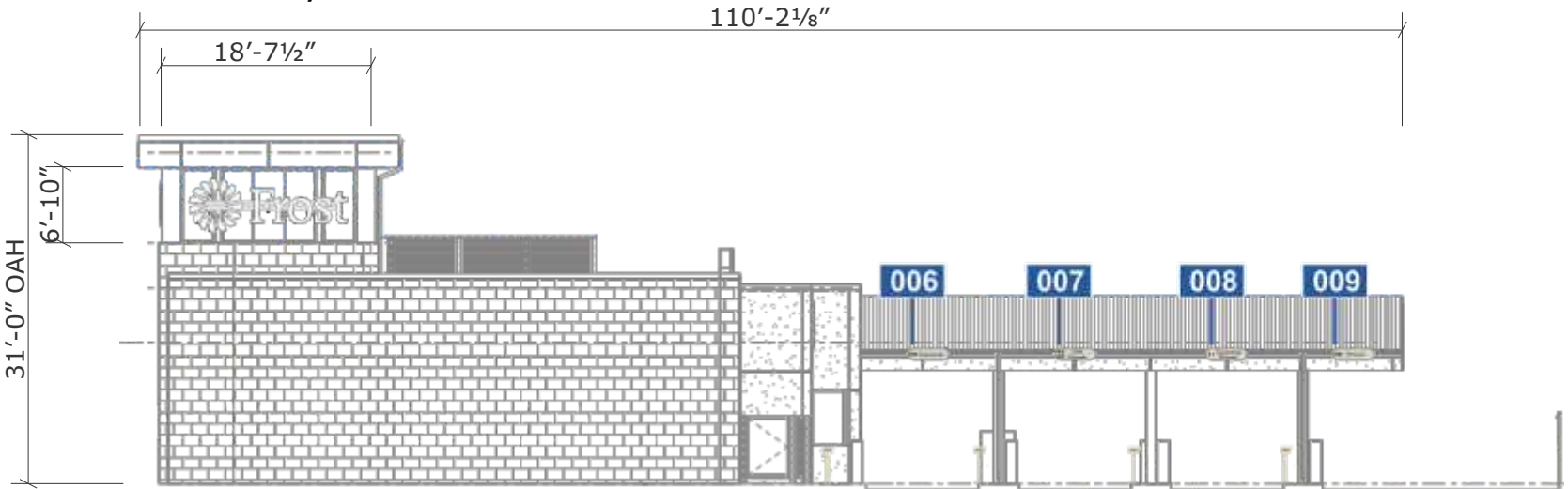


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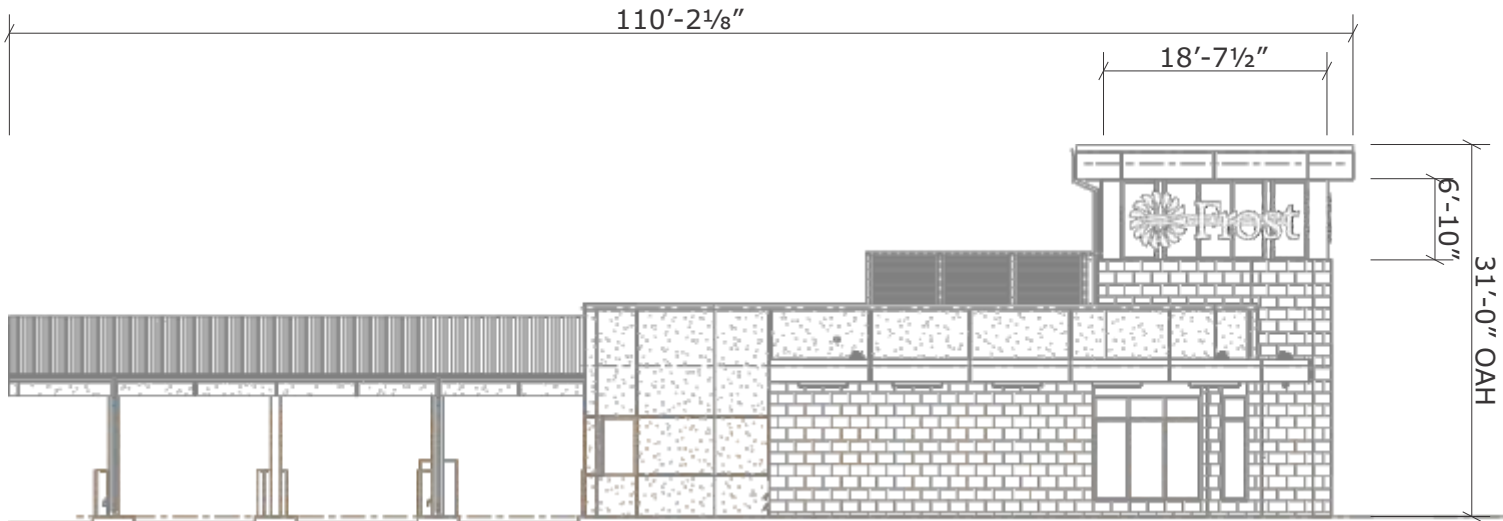
F-002 SOUTH ELEVATION - 47.0 SQUARE FEET
QTY: ONE (1) REQUIRED.

Scale: 1/16" = 1'-0"



F-002 EAST ELEVATION - 47.0 SQUARE FEET
QTY: ONE (1) REQUIRED.

Scale: 1/16" = 1'-0"



F-002 WEST ELEVATION - 47.0 SQUARE FEET
QTY: ONE (1) REQUIRED.

Scale: 1/16" = 1'-0"

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

ALLOWABLE SQUARE FOOTAGE - 2 X THE LENGTH OF EACH TENANT SPACE.

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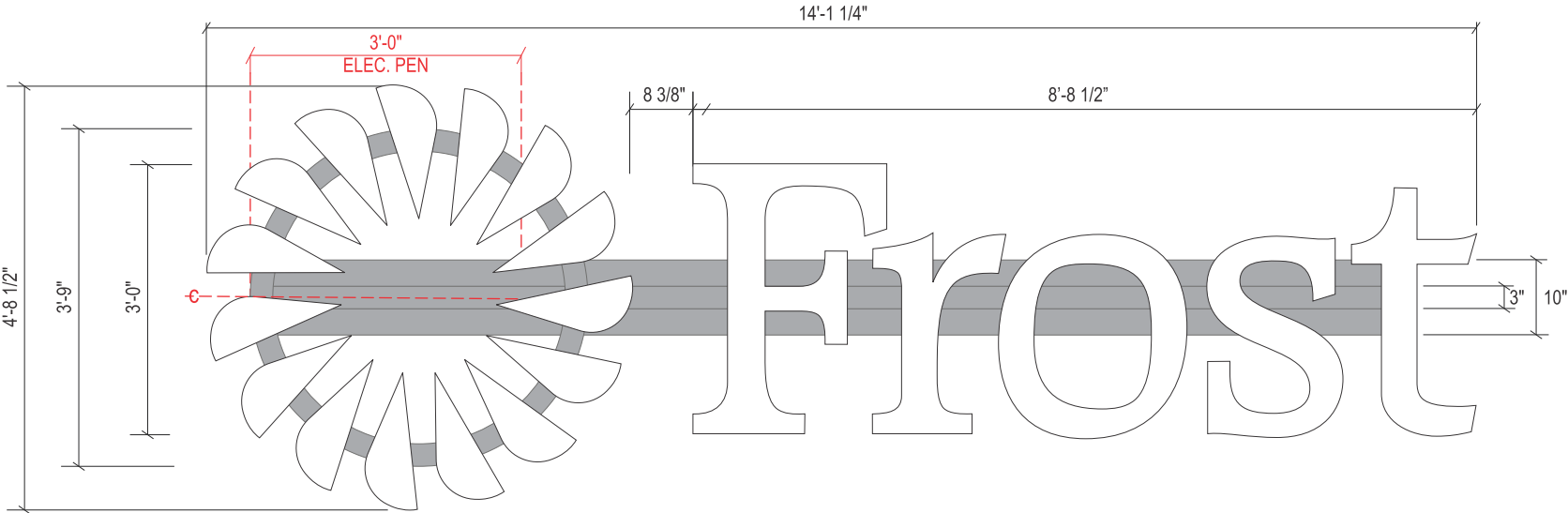
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SPECIFICATIONS

LOGO AND LETTERS:

FACE MATERIAL: 1/2" CLEAR ACRYLIC
FACE FINISH: FIRST SURFACE WHITE TRANSLUCENT VINYL
W/ WHITE DIFFUSER VINYL SECOND SURFACE
RETURN MATERIAL: .063 ALUMINUM
RETURN FINISH: PAINT TO MATCH AKZO NOBEL 422A2
RETURN DEPTH: 2 1/2"
SPACED OFF WALL: RACE WAY LOGO- 1/2" FROST- 1 1/2"
BACK MATERIAL: .090 ALUMINUM
INTERNAL ILLUMINATION: WHITE LED'S

- V1 - WHITE TRANSLUCENT VINYL
- V2 - DIFFUSER - 70% WHITE
- P1 - PAINT TO MATCH AKZO NOBEL 422A2
- P2 - PAINT WIREWAY TO MATCH CLEAR ANODIZED ALUM.



F-002

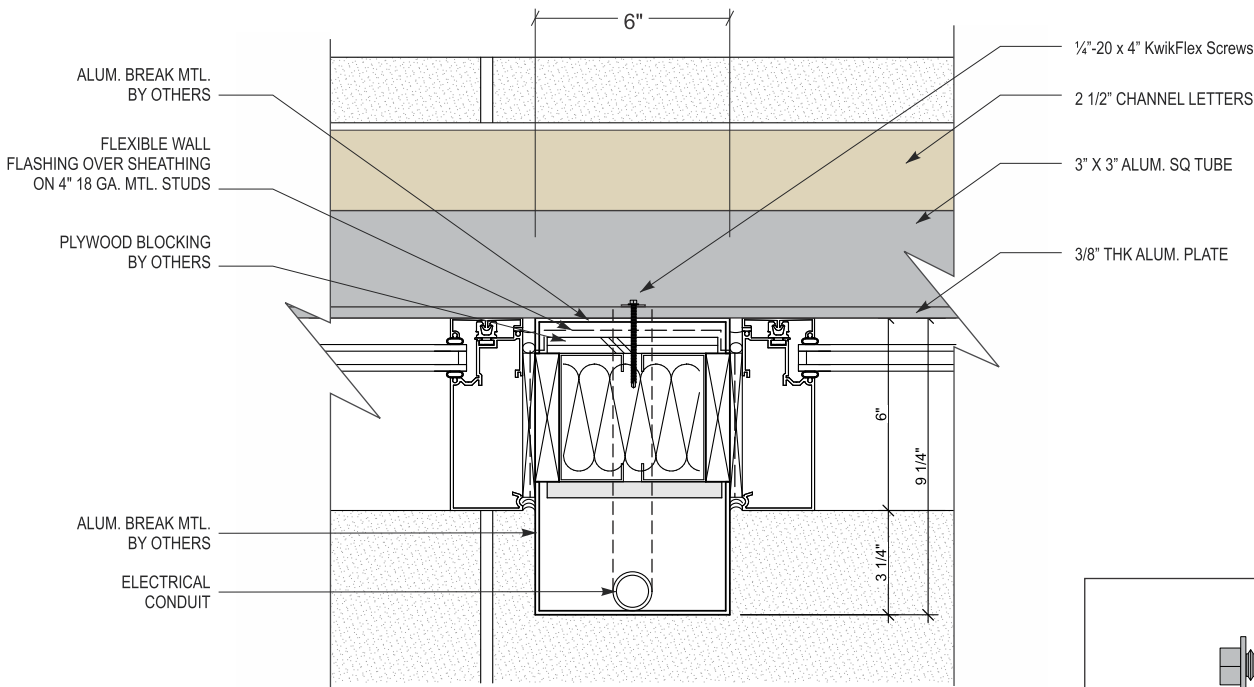
ICL.36.MRW RACEWAY-MOUNTED INTERNALLY ILLUMINATED LETTERS - 47.0 SQUARE FEET

QTY: THREE (3) SETS REQUIRED

Scale: 1/2" = 1'-0"



NIGHT SIMULATION



TOP VIEW - CROSS SECTION

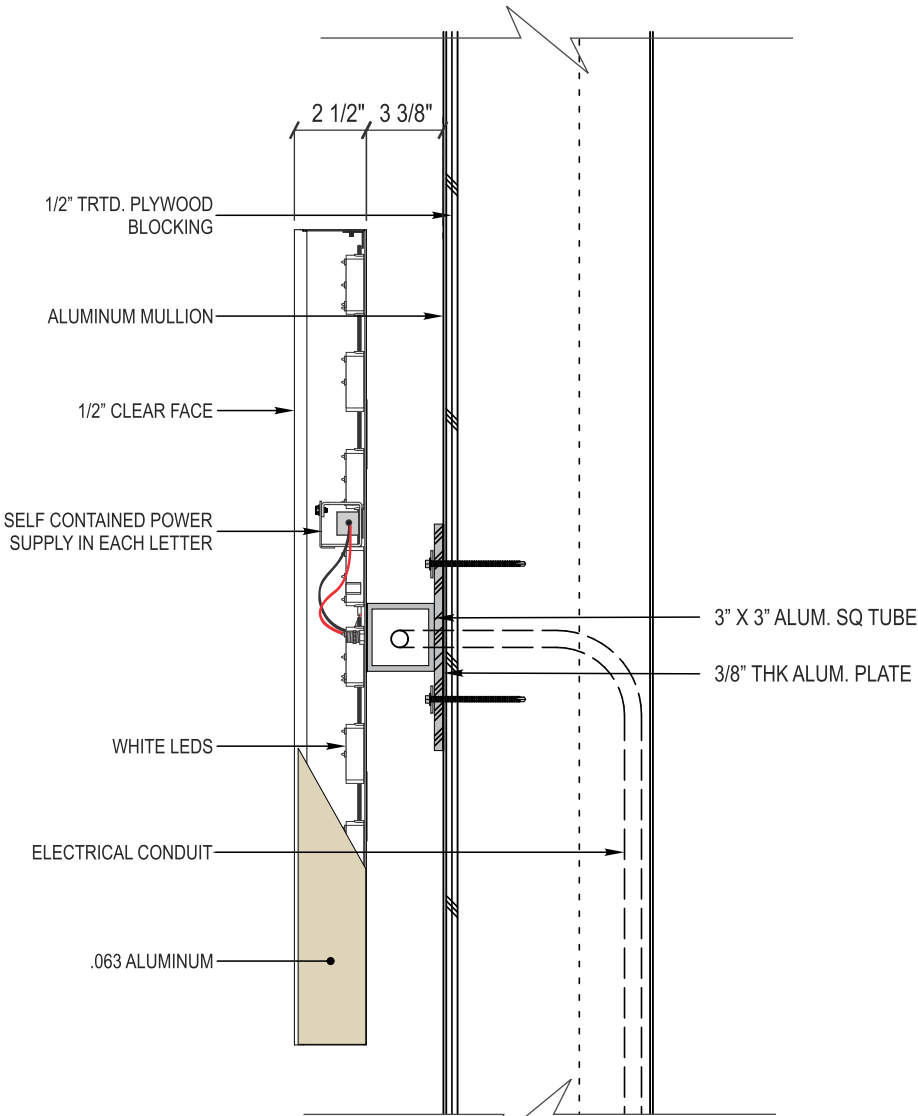
N.T.S.

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____



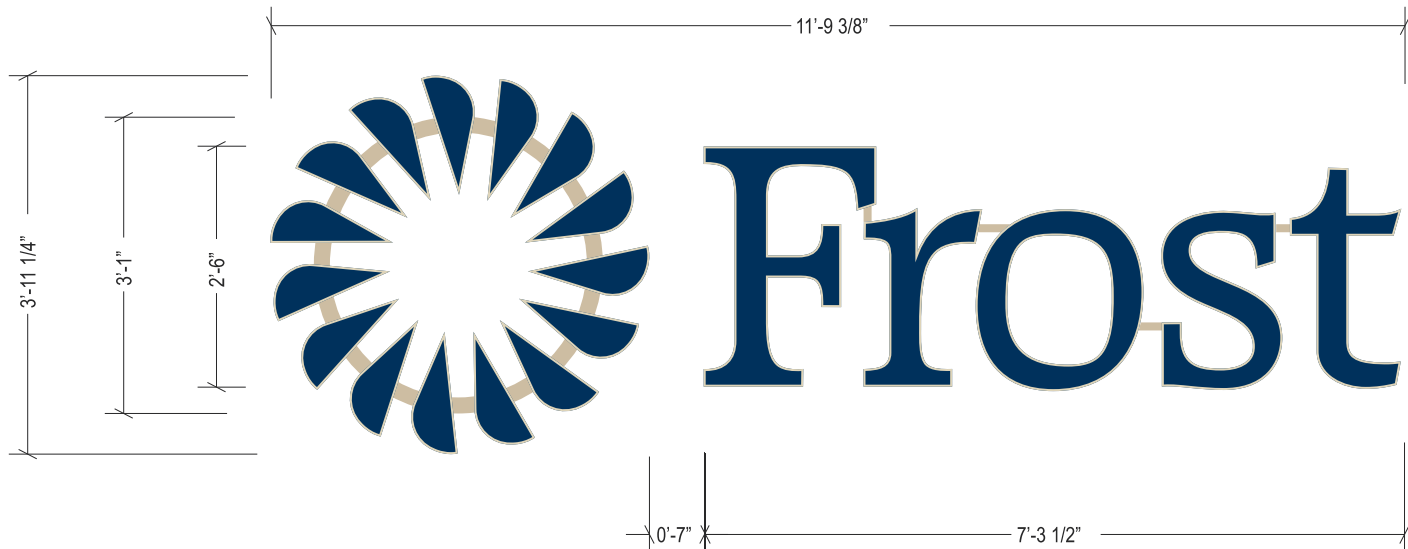
1/4"-20 x 4" KwikFlex Screws



CROSS SECTION

N.T.S.

ALLOWABLE SQUARE FOOTAGE - 2 X THE LENGTH OF EACH TENANT SPACE.



F-003

ICL.30 DAY-NIGHT INTERNALLY ILLUMINATED LETTERS - 34.0 SQUARE FEET

QTY: ONE (1) SET REQUIRED

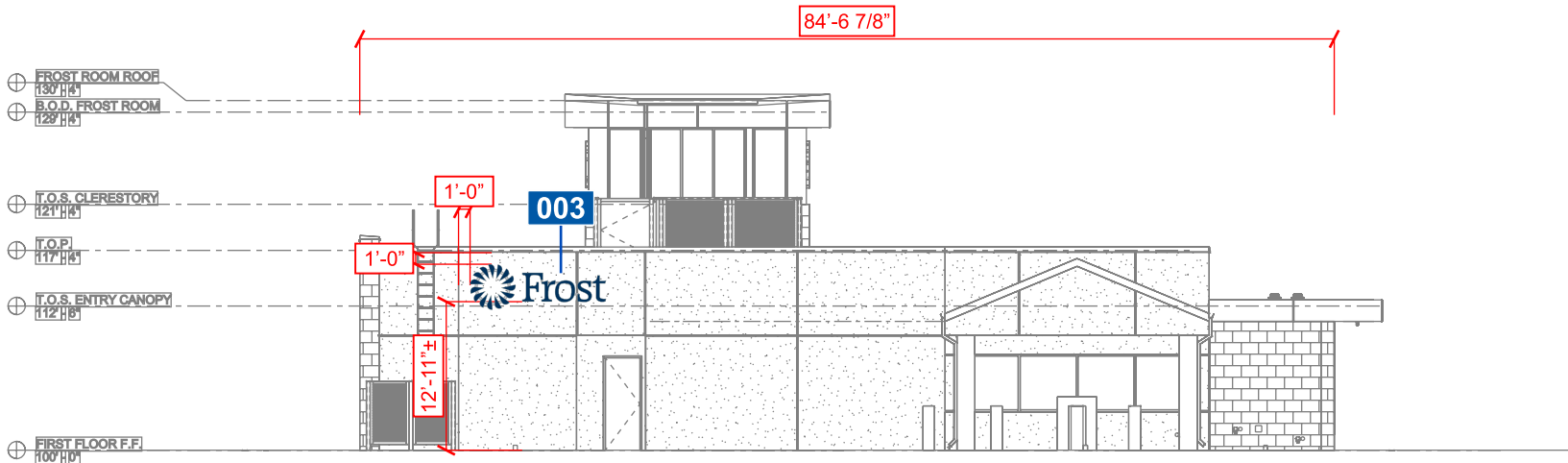
Scale: 1/2" = 1'-0"

SIGN SCHEDULE

LOGO AND LETTERS:

FACE MATERIAL: 1/2" CLEAR ACRYLIC. 1/4" INSET.
FACE FINISH: 3635-210 PMS540C / 1/4" AKZO NOBEL 422A-OPQ
RETURN MATERIAL: .063 ALUMINUM
RETURN FINISH: PAINT TO MATCH AKZO NOBEL 422A2
RETURN DEPTH: 2 1/2"
SPACED OFF WALL: RACE WAY LOGO- 1/2" FROST- 1 1/2"
BACK MATERIAL: .090 ALUMINUM
INTERNAL ILLUMINATION: WHITE LED'S

- V1 - VINYL- 3M SCOTCHCAL 3635-210 PMS540C
- V2 - DIFFUSER - 70% WHITE
- V3 - VINYL- 3M SCOTCHCAL 3630-149 BEIGE
- P1 - PAINT TO MATCH AKZO NOBEL 422A2
- P2 - PAINT WIREWAY TO MATCH SW6106 KILIM BEIGE



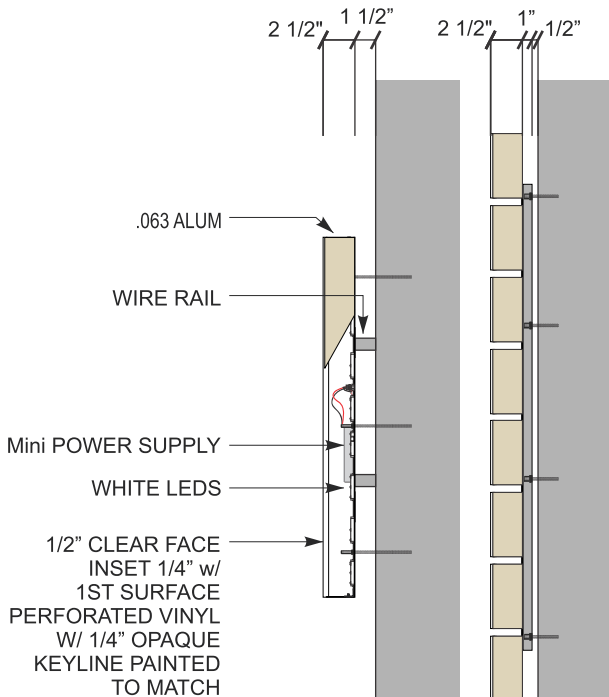
PROPOSED WEST ELEVATION
SCALE: 1/16"=1'

CUSTOMER APPROVAL

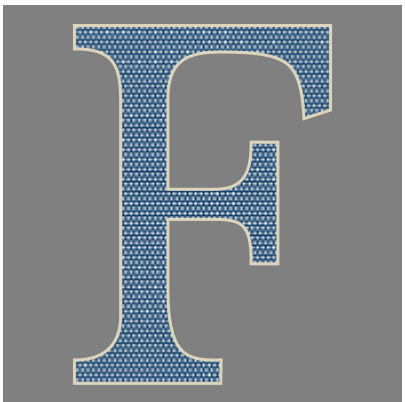
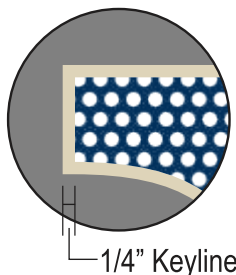
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SIGNAGE DETAILS



LETTERS LOGO



KEYLINE DETAIL
N.T.S.



NIGHT SIMULATION

Job Name Item 5.

LAS
ENTRADAS

Proposal Drawing
Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653
Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
ENTRADAS - MANOR, TX -
SIGN PLAN.cdr

Proposal #: 79834

Revisions (M/D/Y)-(initials): desc.



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**LAS
ENTRADAS**

☒ **Proposal Drawing**
☐ Final Drawing

Client: LAS ENTRADAS
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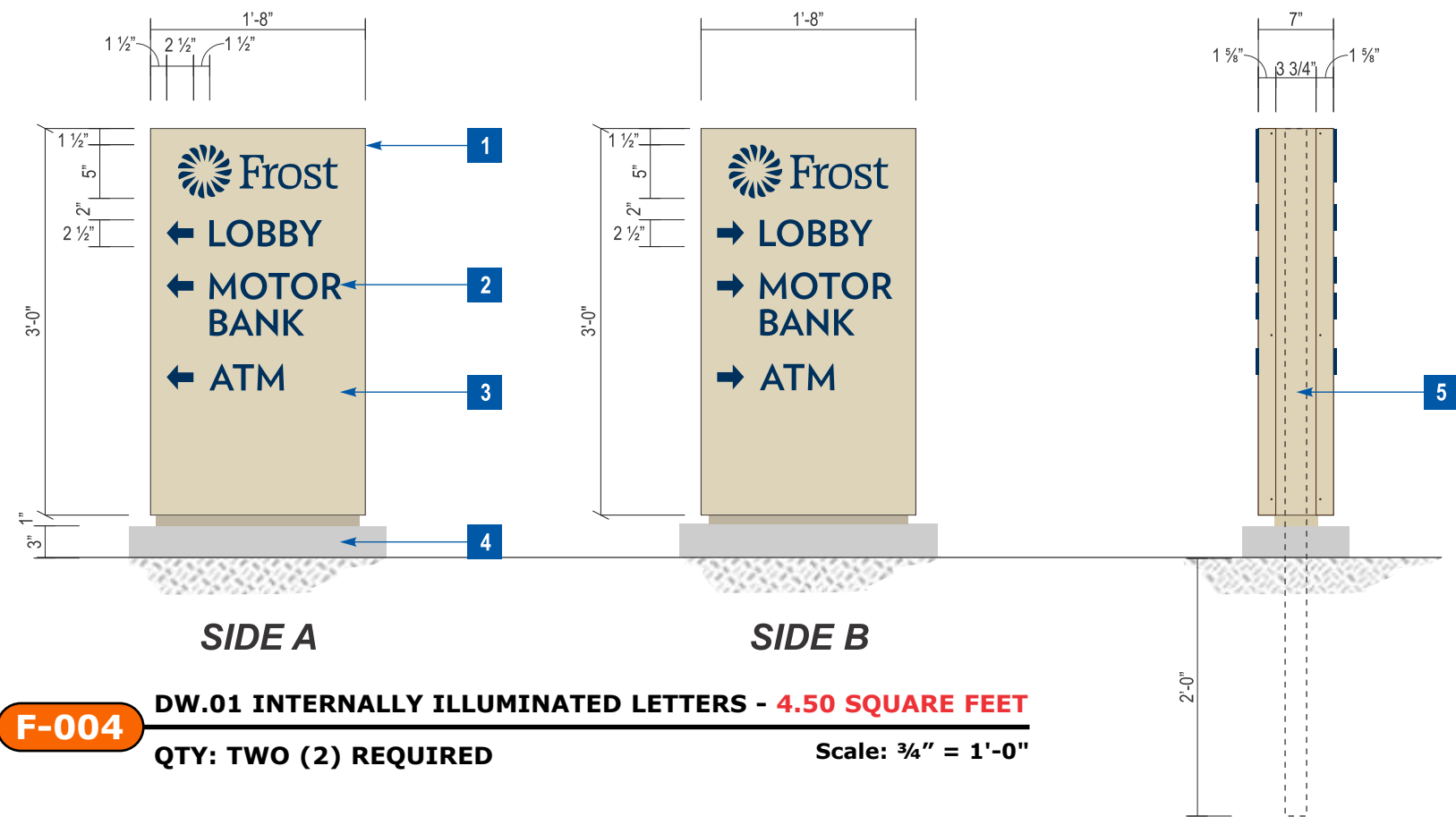
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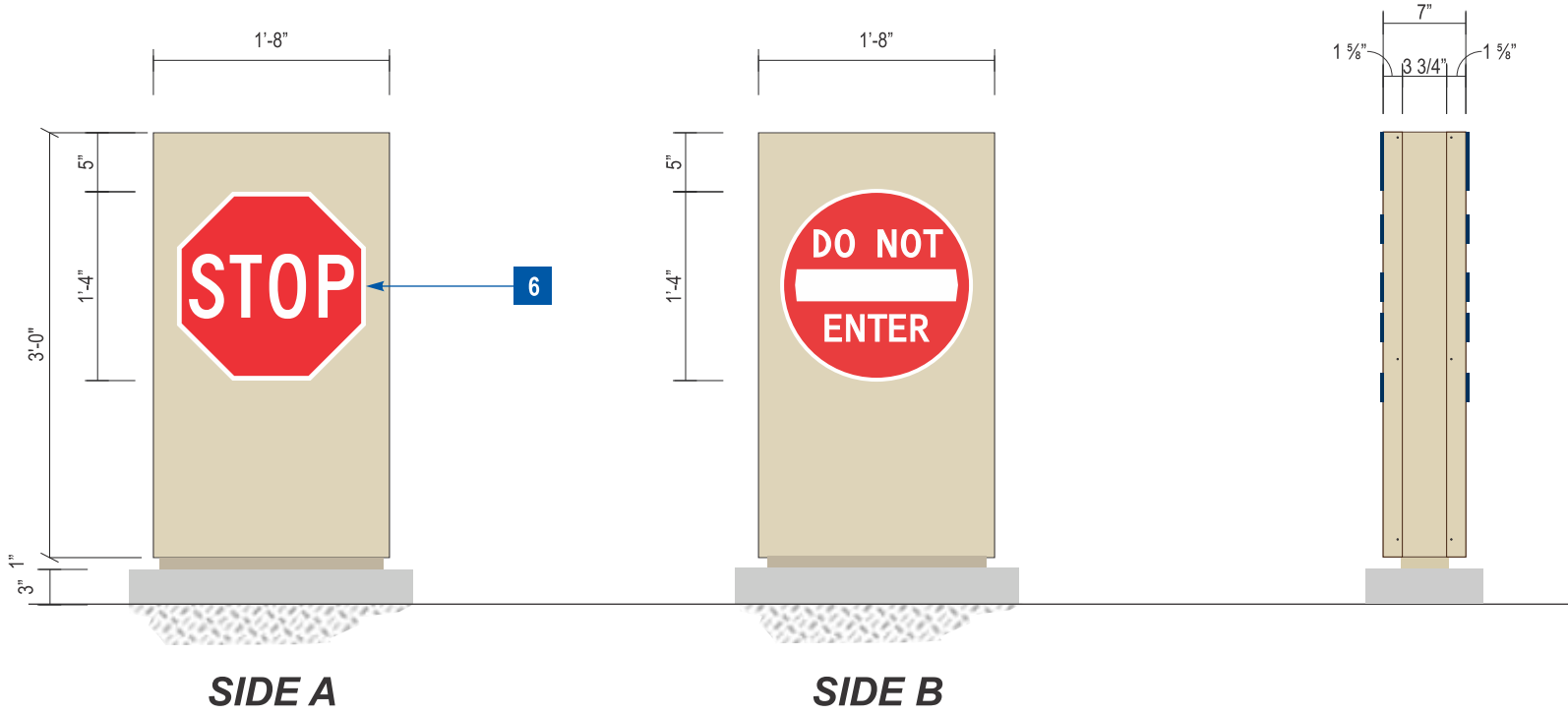
F-004 DW.01 INTERNALLY ILLUMINATED LETTERS - **4.50 SQUARE FEET**
QTY: TWO (2) REQUIRED Scale: 3/4" = 1'-0"

SPECIFICATIONS

1. FABRICATED ALUMINUM CABINET W/ EMS 24-63-215 SIGN FRAME & EMS 24-63-216 SIGN RETAINER. BASE REVEAL TRIM TO BE .125" ALUMINUM .CABINET TO BE PAINTED AKZO NOBLE COLORMAP 422A2.
2. 1/2" PUSHED THRU ACRYLIC PAINTED TO MATCH PMS 540C BLUE.
FONT: VERLAG BOLD
3. .125 ROUTED ALUMINUM FACES PAINTED AKZO NOBEL COLORMAP 422A2
4. NEW CONCRETE PAD
5. CENTER POST IS 2" X 2" X 70" ALUMINUM SQ. TUBE
6. "STOP SIGN"/"DO NOT ENTER" DIGITAL PRINTED TO 3M REFLECTIVE.

***CABINET TO BE SCREWED TO CENTER POLE**
***REMOVE EXISTING CONCRETE PAD**

- V1 - VINYL - DG REFLECTIVE SHEETING 4090DS
- P1 - PAINT TO MATCH PMS 540C - BLUE
- P2 - PAINT TO MATCH AKZO NOBEL 422A2



F-005 DW.01 INTERNALLY ILLUMINATED LETTERS - **4.50 SQUARE FEET**
QTY: ONE (1) REQUIRED Scale: 3/4" = 1'-0"

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

LAS
ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
ENTRADAS - MANOR, TX -
SIGN PLAN.cdr

Proposal #: 79834

Revisions (M/D/Y)-(initials): desc.



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SPECIFICATIONS

1. ALUMINUM SIGN CABINET PAINTED AKZO NOBEL COLORMAP 422A2 BEIGE

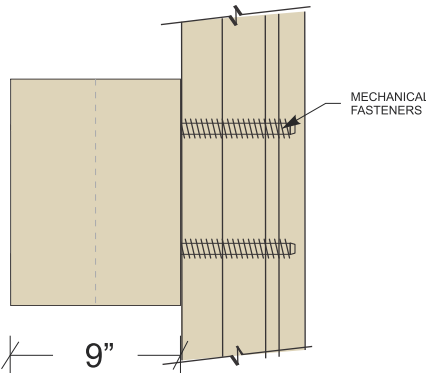
2. ROUTED ALUMINUM FACE PAINTED AKZO NOBEL COLORMAP 422A2 BEIGE.
BACKED UP WHITE PLEX COPY W/ APPLIED 3M SCOTCHCAL 3635-210 PMS540C

FONT: VERLAG BOLD

3. I SIGNS RED & GREEN LED LIGHT INDICATORS

4. FLUSH MOUNTED WITH MECHANICAL FASTENERS AND ANCHORS AS NEEDED

MOUNTING DETAILS



V1 - VINYL - 3M SCOTCHCAL 3635-210 PMS540C
P1 - PAINT TO MATCH AKZO NOBEL 422A2

F-007

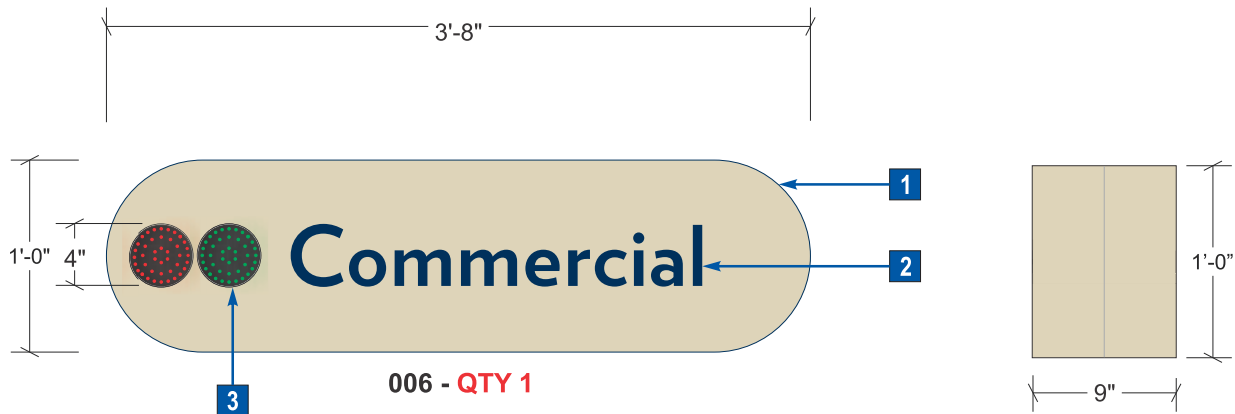
ATM
Personal

F-008

Commercial
Personal

F-009

Personal



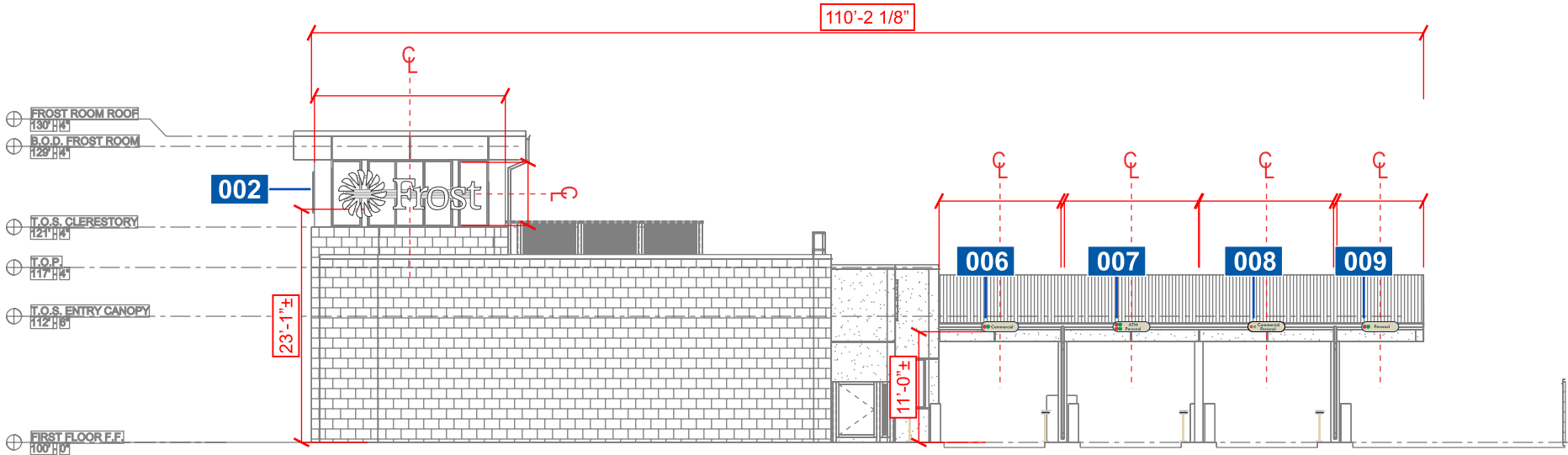
F-006

LANE DESIGNATORS - 3.67 SQUARE FEET

QTY: FOUR (4) REQUIRED

Scale: 1" = 1'-0"

END VIEW



PROPOSED EAST ELEVATION
SCALE: 1/16"=1'

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

LAS
ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
ENTRADAS - MANOR, TX -
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Proposal #: 79834

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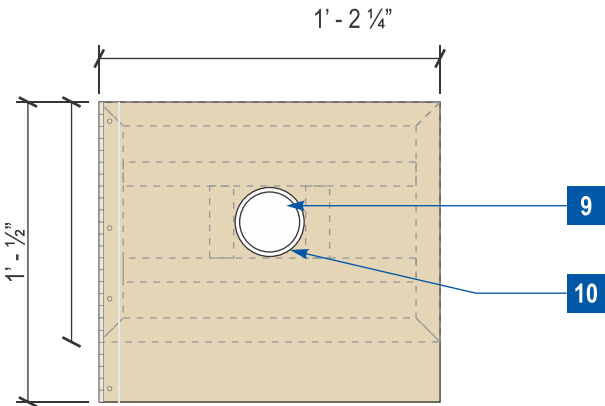


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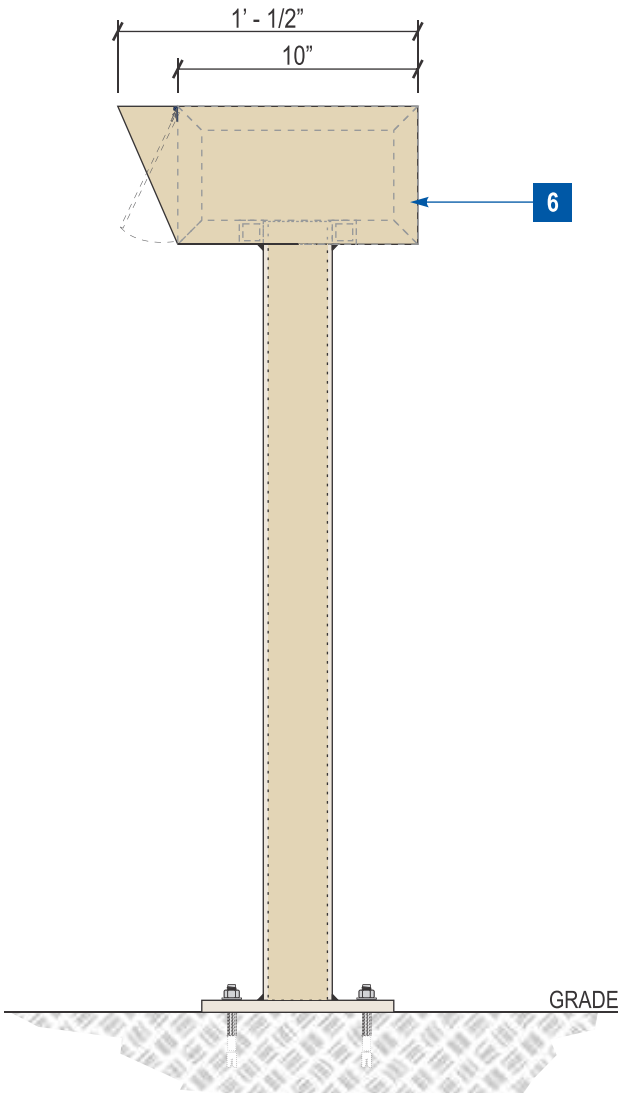
SPECIFICATIONS

1. ½"X8"X8" ALUM PLATE
2. ½" HOLES FOR ⅜" HARDWARE
3. 2 ½" SCH. 40 ALUM. PIPE (2 ⅞" X 4.469 X .203). POWDERCOATED FROST BEIGE
4. 2 ½" SCH. 40 ALUM. PIPE (2 ⅞" X 4.469 X .203). POWDER COATED FROST BEIGE
5. ⅜" HILTI KWICK-BOLT III STAINLESS STEEL (4 PLCS REQ'D) SEE PLATE DETAIL
6. 1"X 1/4" ALUM. SQ TUBE INNER FRAME. POWDER COATED FROST BEIGE (SHOWN BY DOTTED GRAY LINES)
7. 1/4" BREAK FORMED ALUM. SKIN AROUND BANKING SLIP BOX. POWDER COATED FROST BEIGE
8. .080"X 4" SIDE TRAY FOR BANKING SLIPS (3 TOTAL TRAYS REQ'D WITH ALUMINUM SPACER.)
9. 2 ½" SCH. 40 ALUM PIPE (2 ⅞" X 2.469 X .203). POWDER COATED FROST BEIGE.
10. PIPE TO INNER TUBE FRAME
11. 1/8" CLEAR LEXAN DOOR WITH .050 LEAF X 1 ½" PIANO HINGE. POWDER COATED FROST BEIGE (MCMASTER-CARR 15665A247) SPRING LOADED
12. 3M 7725-197 LIGHT NAVY VINYL COPY

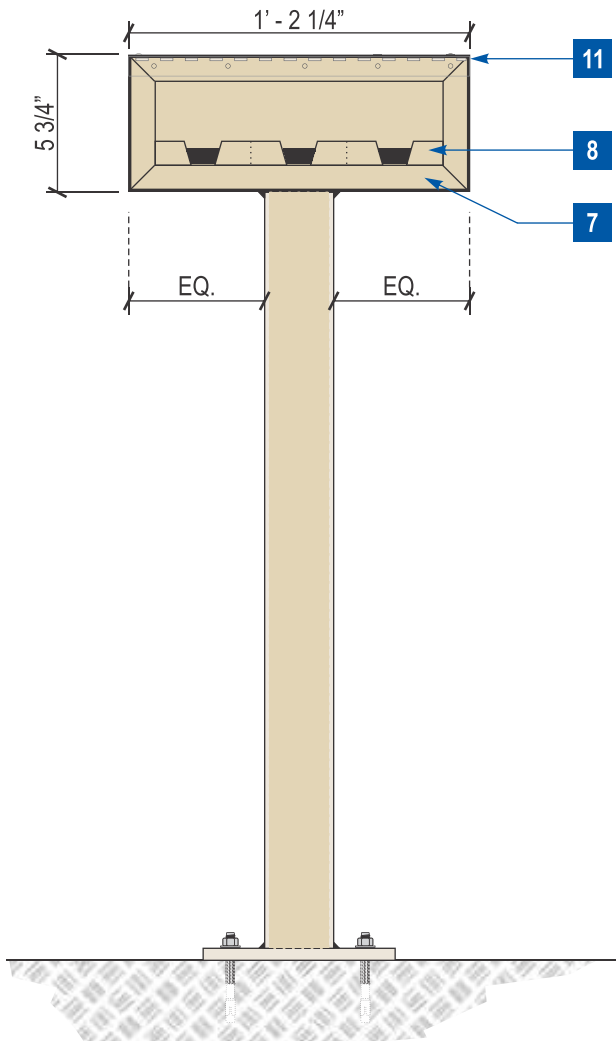
-  V1 - VINYL- 3M SCOTCHCAL 7725-197 LIGHT NAVY
-  P1 - PAINT TO MATCH AKZO NOBEL 422A2



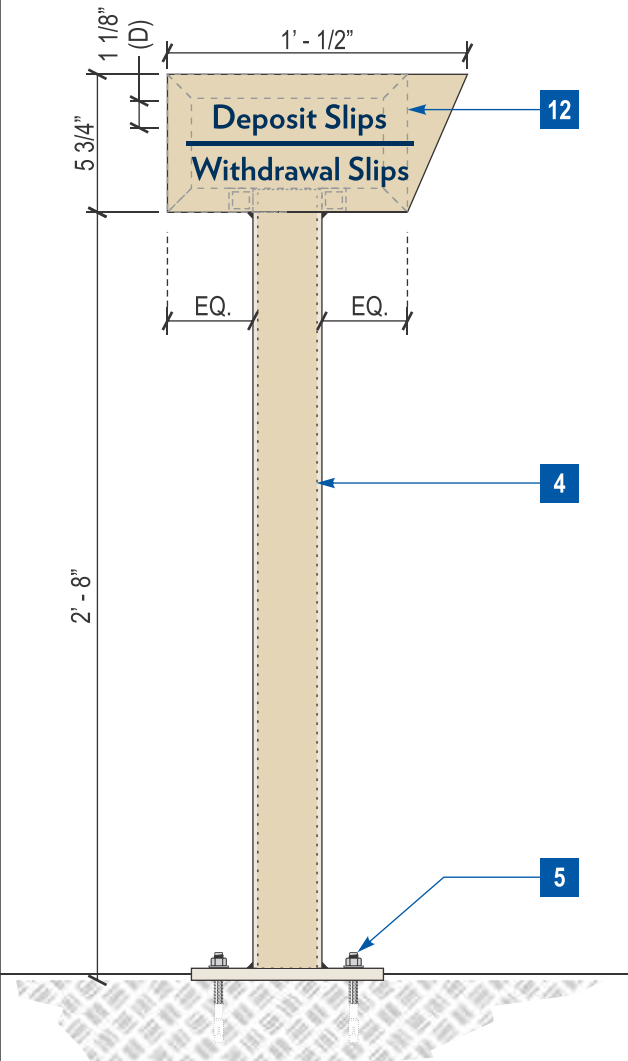
PLAN VIEW



SIDE DETAIL



SIDE DETAIL



SIDE DETAIL

F-010

DEPOSIT SLIP STANDS - 3.67 SQUARE FEET

QTY: FOUR (4) REQUIRED

Scale: 1½" = 1'-0"

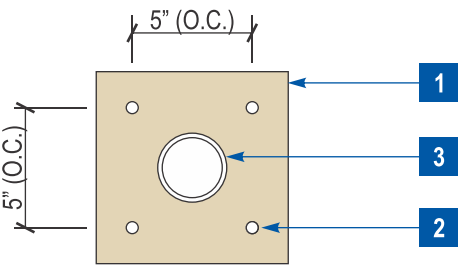


PLATE DETAIL

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

LAS
ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
ENTRADAS - MANOR, TX -
SIGN PLAN.cdr

Proposal #: 79834

Revisions (M/D/Y)-(initials): desc.



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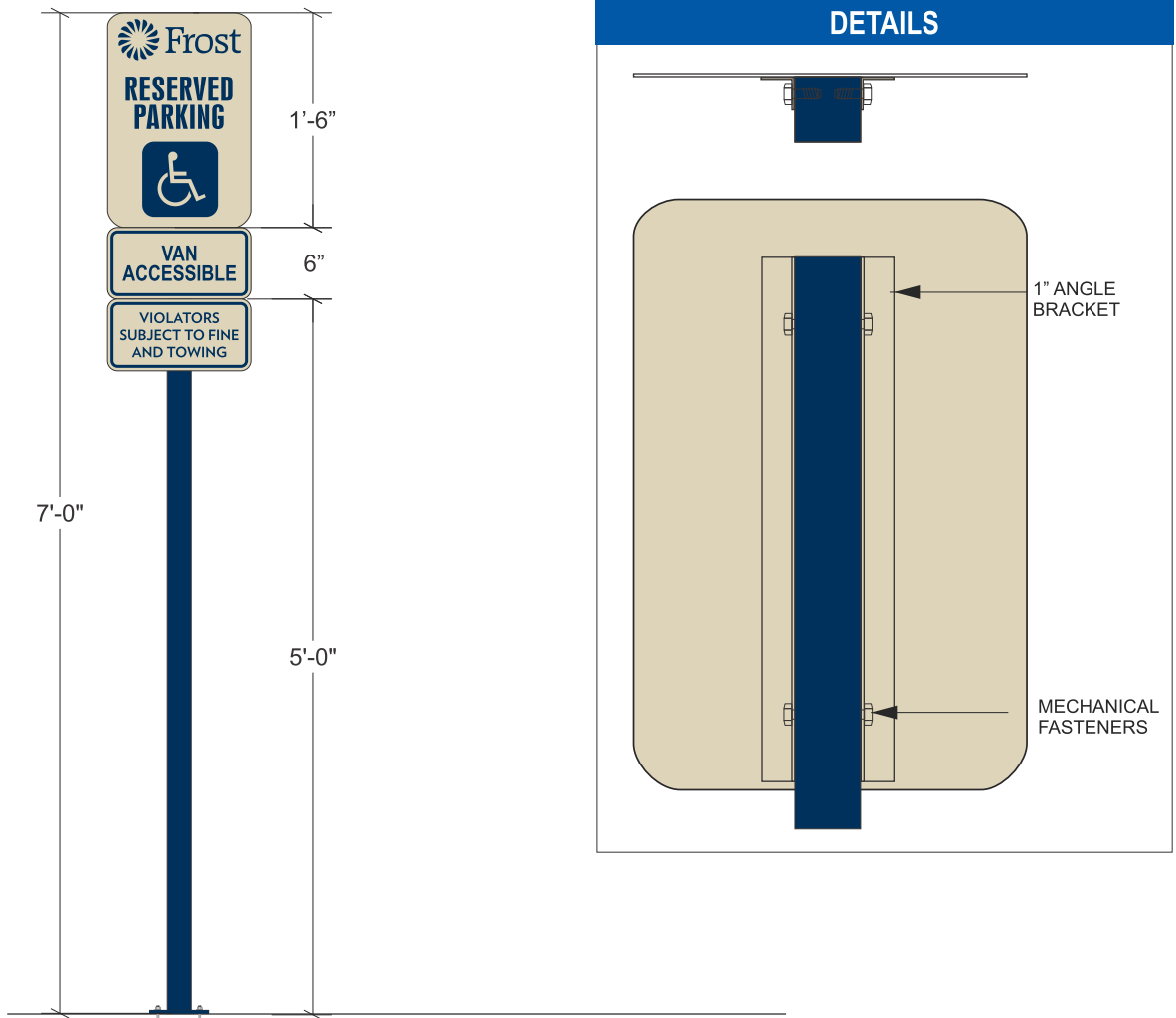
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F-011

PS.01 RESERVED PARKING SIGN - 1.5 SQUARE FEET

QTY: ONE (1) REQUIRED

Scale: 3/4" = 1'-0"

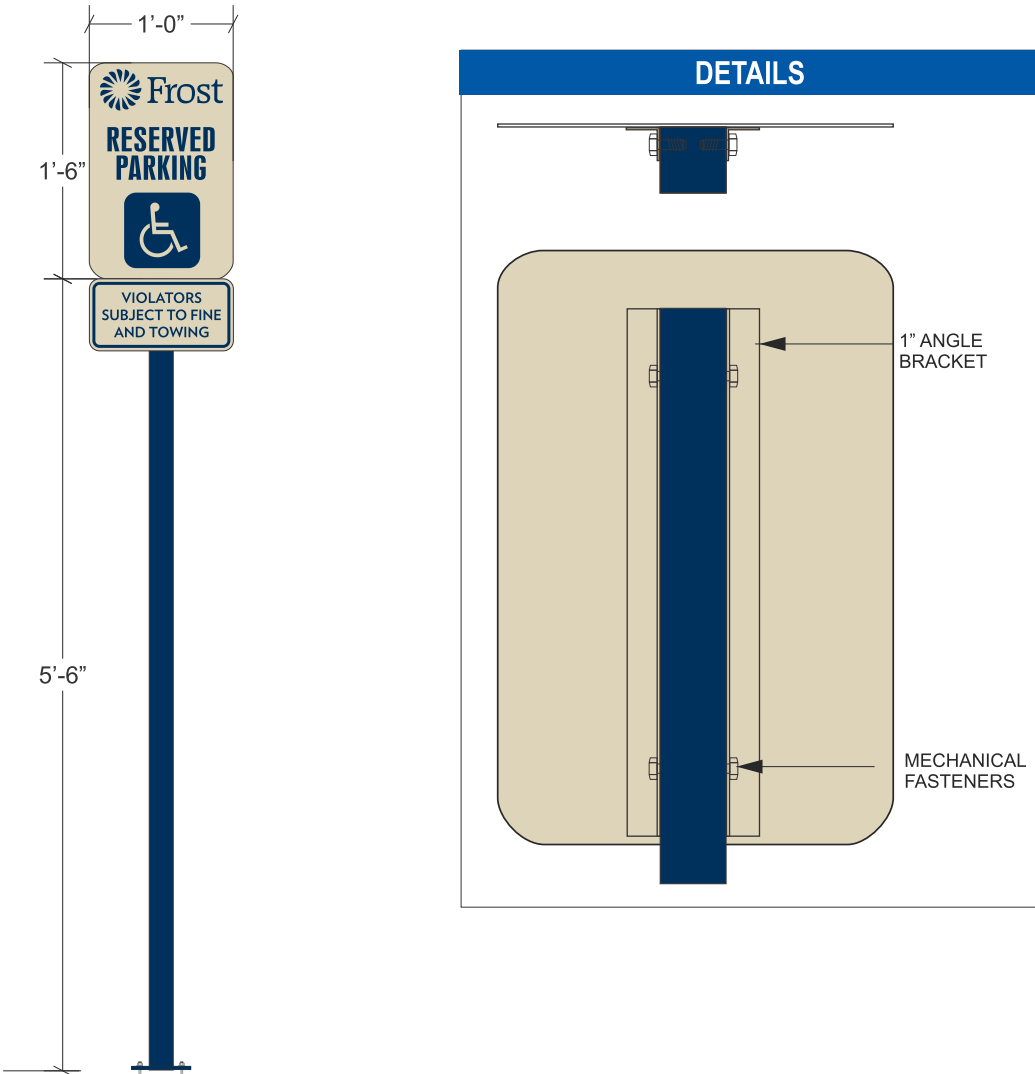
SPECIFICATIONS

1. .080 ALUMINUM PANEL FINISHED IN AKO COLORMAP 422A2 BEIGE WILL BE MOUNTED TO 1" ANGLE USING STRUCTURAL ADHESIVE. BRACKET WILL BE MOUNTED TO USING MECHANICAL FASTENERS

2. 3M SCHOTCAL 7725-197 LIGHT NAVY VINYL GRAPHICS.

3. 2" X 2" X 1/8" ALUMINUM SQ TUBE SUPPORT PAINTED TO MATCH PMS 540C BLUE.

- V1 - VINYL- 3M SCOTCHCAL 7725-197 LIGHT NAVY
- P1 - PAINT TO MATCH PMS 540C - BLUE
- P2 - PAINT TO MATCH AKZO NOBEL 422A2



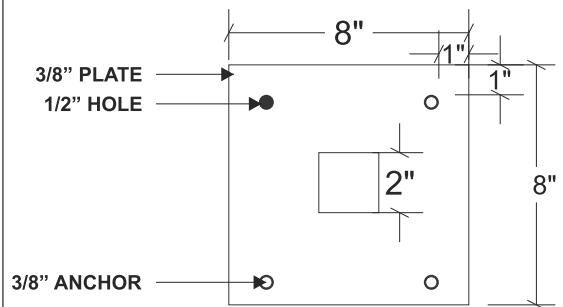
F-012

PS.01 RESERVED PARKING SIGN - 1.5 SQUARE FEET

QTY: ONE (1) REQUIRED

Scale: 3/4" = 1'-0"

HARDSCAPE MOUNT DETAILS



CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

LAS
ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653
Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
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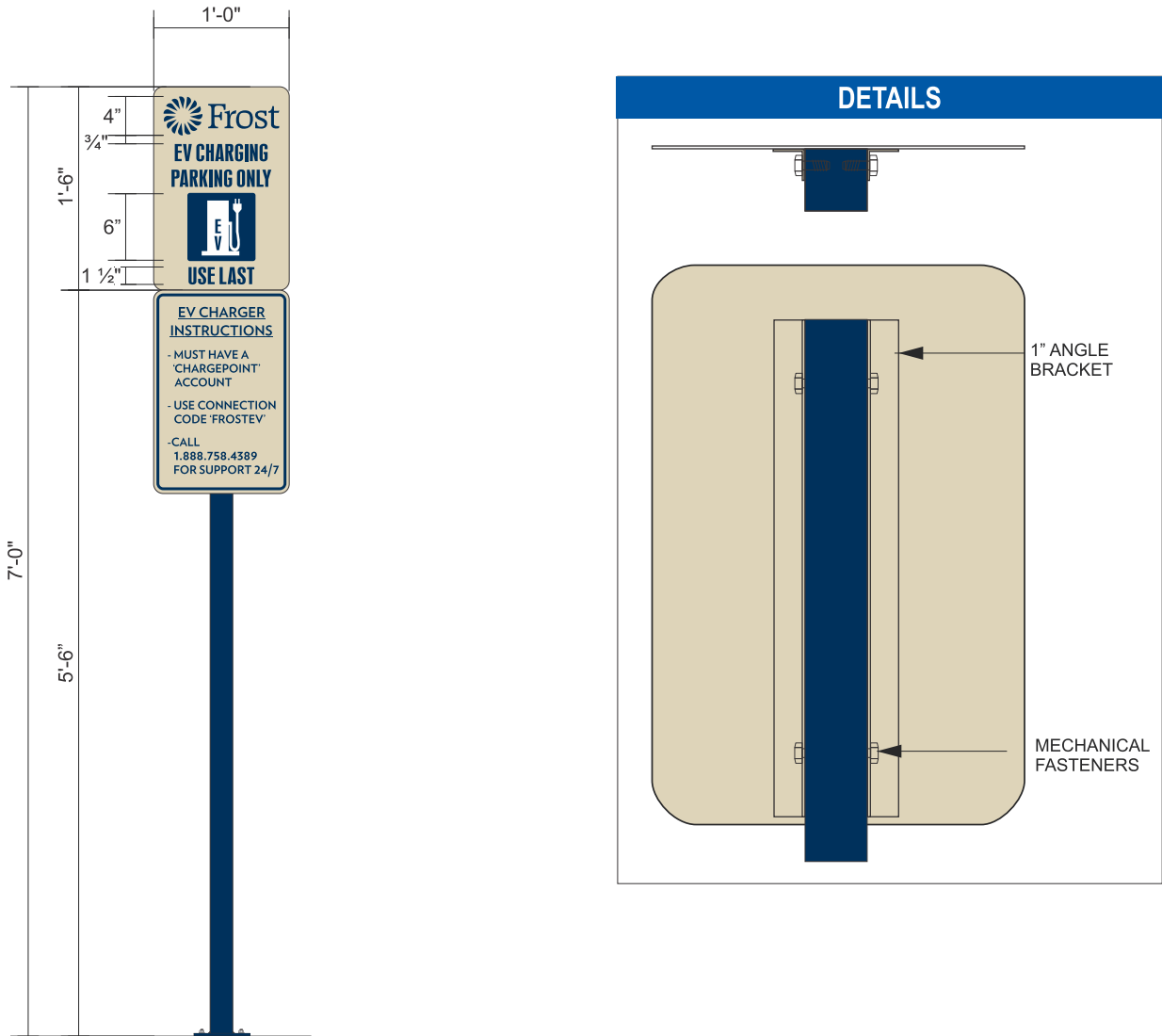
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F-013 PS.03 RESERVED EV PARKING SIGN - 1.5 SQUARE FEET
QTY: ONE (1) REQUIRED Scale: 3/4" = 1'-0"

SPECIFICATIONS

1. .080 ALUMINUM PANEL FINISHED IN AKO COLORMAP 422A2 BEIGE WILL BE MOUNTED TO 1" ANGLE USING STRUCTURAL ADHESIVE. BRACKET WILL BE MOUNTED TO USING MECHANICAL FASTENERS

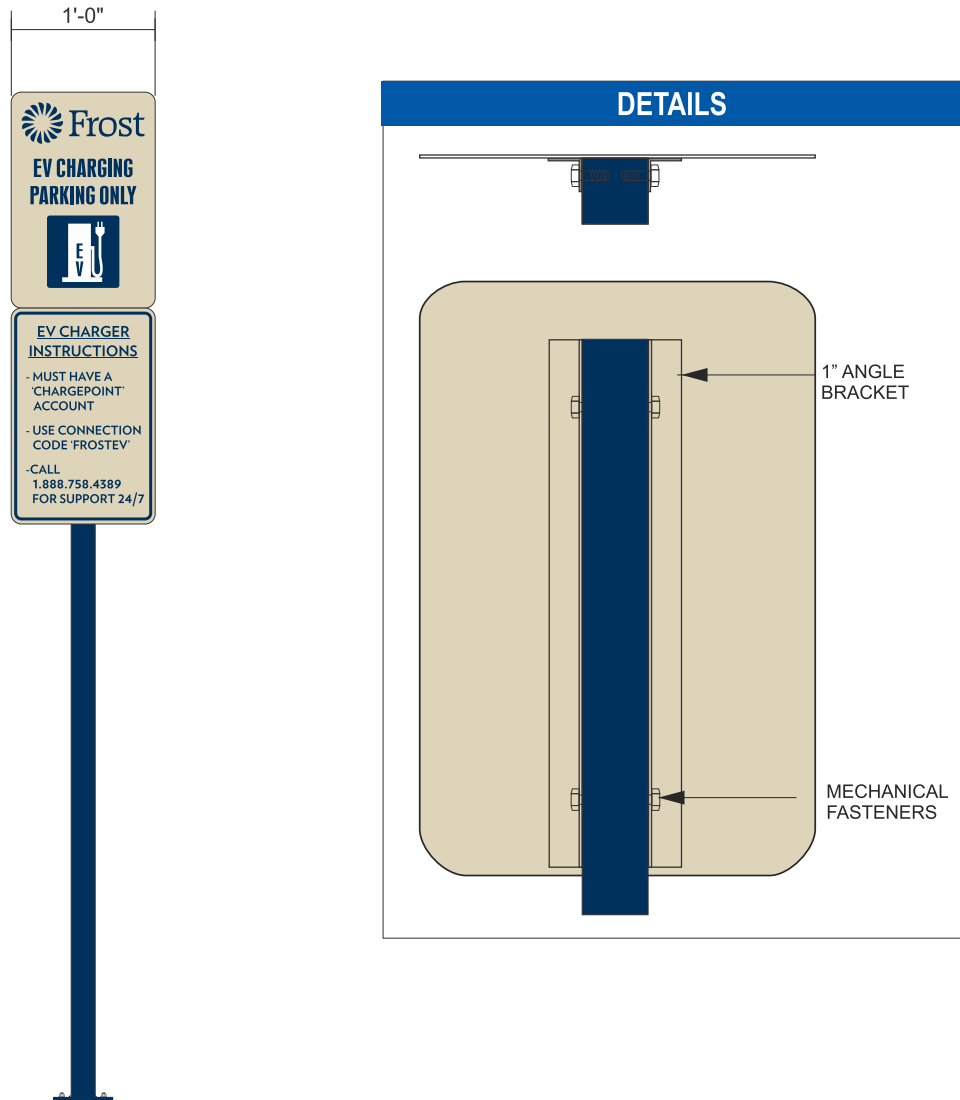
2. 3M SCHOTCAL 7725-197 LIGHT NAVY VINYL GRAPHICS.

3. 2" X 2" X 1/8" ALUMINUM SQ TUBE SUPPORT PAINTED TO MATCH PMS 540C BLUE.

- V1 - VINYL- 3M SCOTCHCAL 7725-197 LIGHT NAVY
- P1 - PAINT TO MATCH PMS 540C - BLUE
- P2 - PAINT TO MATCH AKZO NOBEL 422A2

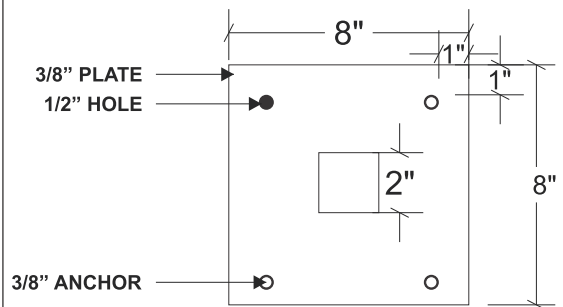
CUSTOMER APPROVAL

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F-014 PS.03 RESERVED EV PARKING SIGN - 1.5 SQUARE FEET
QTY: ONE (1) REQUIRED Scale: 3/4" = 1'-0"

HARDSCAPE MOUNT DETAILS



LAS
ENTRADAS

☒ Proposal Drawing
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
ENTRADAS - MANOR, TX -
SIGN PLAN.cdr

Proposal #: 79834

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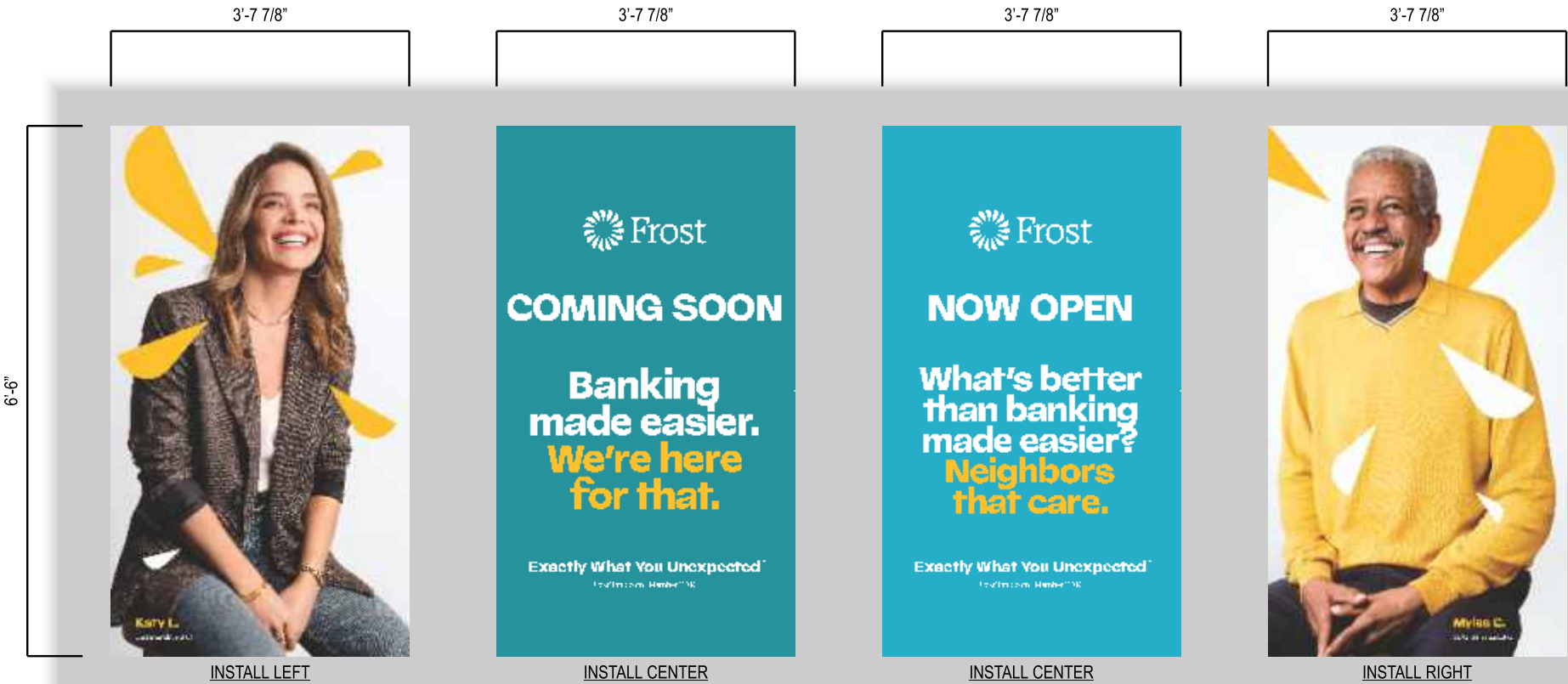
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F-015

WC.01 WINDOW CLINGS - 1.5 SQUARE FEET

QTY: FOUR (4) REQUIRED

Scale: 1/2" = 1'-0"

SPECIFICATIONS

1. DIGITALLY PRINTED WINDOW CLINGS MOUNTED TO THE FIRST SURFACE OF GLASS.

*GRAPHIC WILL REPLACE EXISTING "COMING SOON" GRAPHIC AFTER GRAND OPENING.

*GRAPHIC WILL BE REPLACED AFTER OPENING.

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

em 5.

☒ **Proposal Drawing**
☐ Final Drawing

Proposal #: 79834



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2



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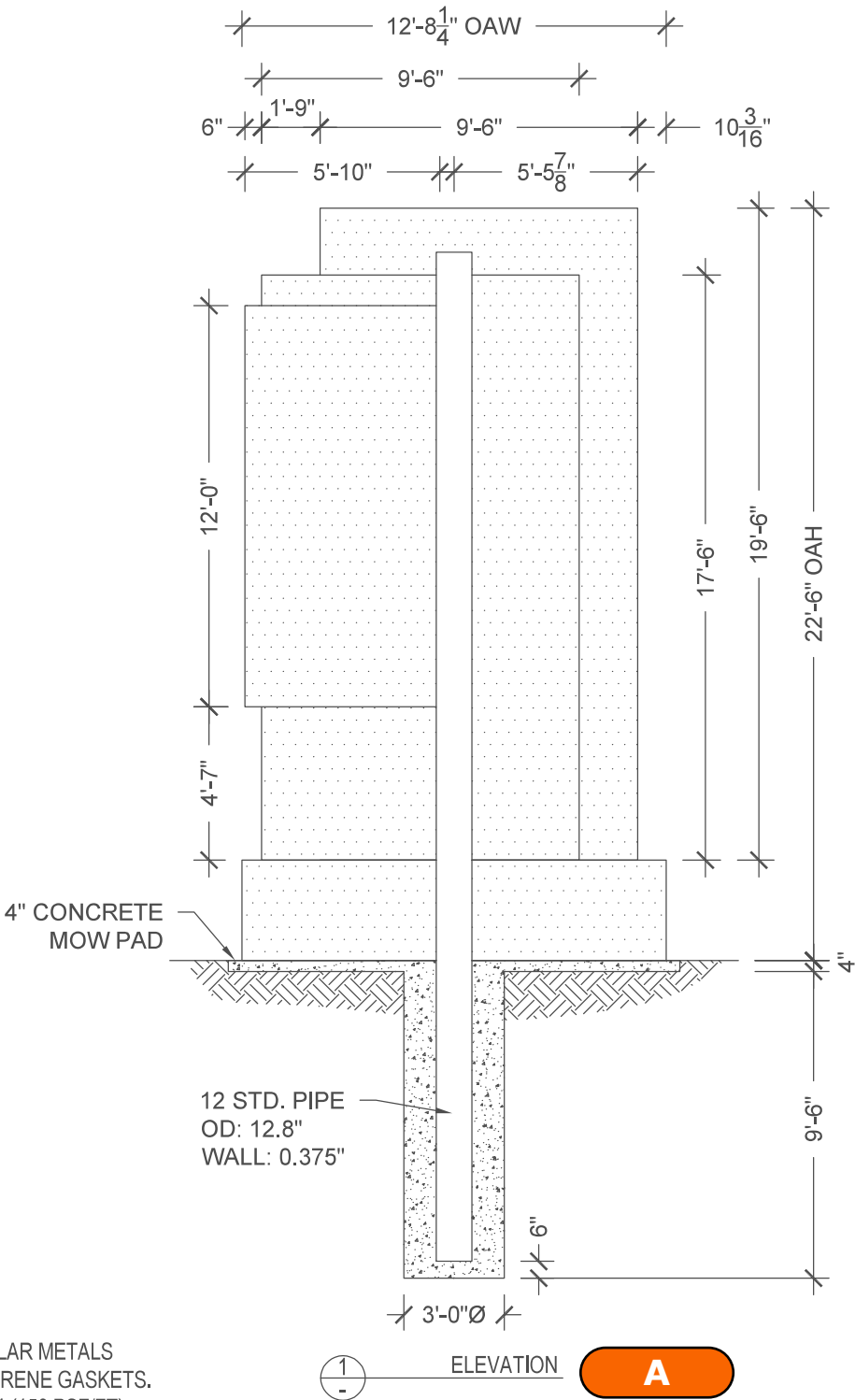
ORACAL 8800-080
BROWN
DURANODIC



12396 WORLD TRADE DRIVE
SUITE 312, SAN DIEGO, CA 92128
PROJECTMANAGER@SULLAWAYENG.COM
PHONE: 1-858-312-5150 FAX: 1-858-777-3534

PROJECT: LAS ENTRADAS - SIGN TYPE: MONUMENT SIGN - HIGHWAY 290, MANOR, TX
PROJECT #: 47104
CLIENT: COMET SIGNS

DATE: 8-6-2024
ENGINEER: JD
LAST REVISED:



GENERAL NOTES

- DESIGN CODE: IBC 2015
- DESIGN LOADS: ASCE 7-10
- WIND VELOCITY: 115 MPH EXPOSURE C
- CONCRETE 2500 PSI MIN.
- PIPE STEEL ASTM A53, Fy= 35 KSI MIN.
- PROVIDE PROTECTION AGAINST DISSIMILAR METALS USING ANTI-CORROSIVE PAINT OR NEOPRENE GASKETS.
- LATERAL SOIL BEARING PER IBC CLASS 4 (150 PSF/FT)
- ALL DIMENSIONS TO BE VERIFIED PRIOR TO FABRICATION.

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

**STAMPED
ENGINEERING
ON FILE**

Job Name **Item 5.**

**LAS
ENTRADAS**

☒ **Proposal Drawing**
☐ Final Drawing

Client: LAS ENTRADAS
Location: MANOR, TX 78653

Salesperson: JAMIE MITOL
Prj. Mngr.: ANDY LEFFLER
Date: 10/17/2024
Designer: CHRIS BLANTON
File Name: 79834 R2- LAS
ENTRADAS - MANOR, TX -
SIGN PLAN.cdr

Proposal #: 79834

Revisions (M/D/Y)-(initials): desc.



TDLR: 18010 • MET: E113766

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Houston, TX 77061
(713) 943-1831

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LAS
ENTRADAS

■ Proposal Drawing
□ Final Drawing

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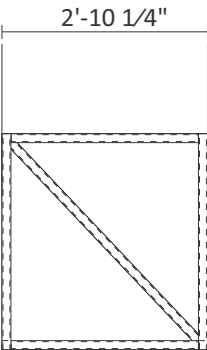
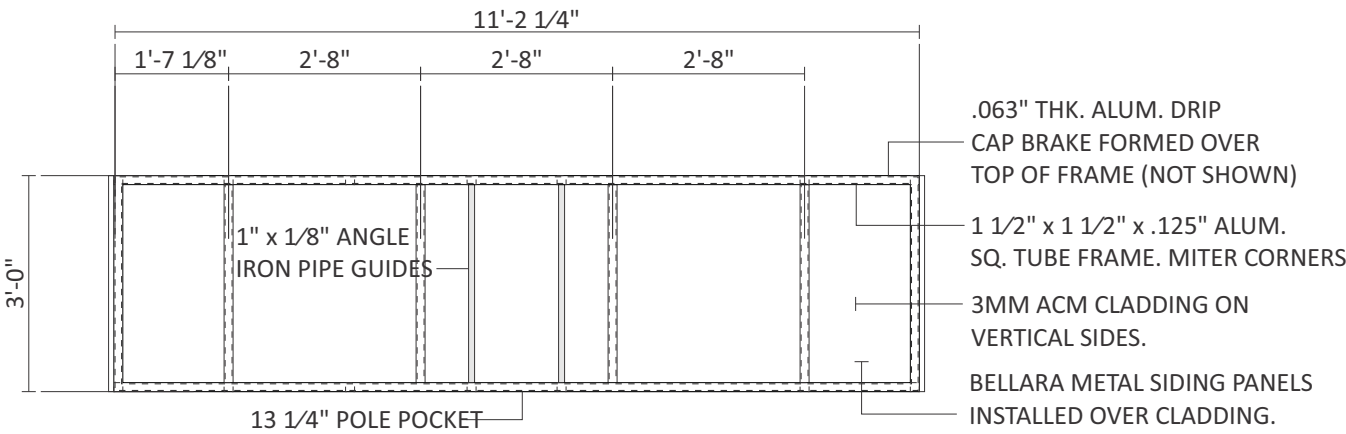
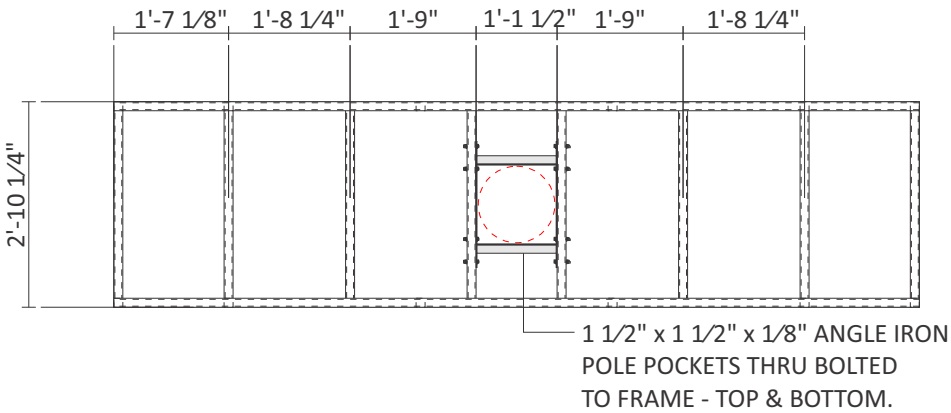
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A

BASE FRAME DETAIL

MFR. (1) AS SHOWN

3/8" = 1'-0"

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

☒ **Proposal Drawing**
☐ Final Drawing

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ENTRADAS - MANOR, TX -
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A

MFR. (1) AS SHOWN

$$\frac{3}{8}'' = 1' - 0''$$

LAS
ENTRADAS

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☐ Final Drawing

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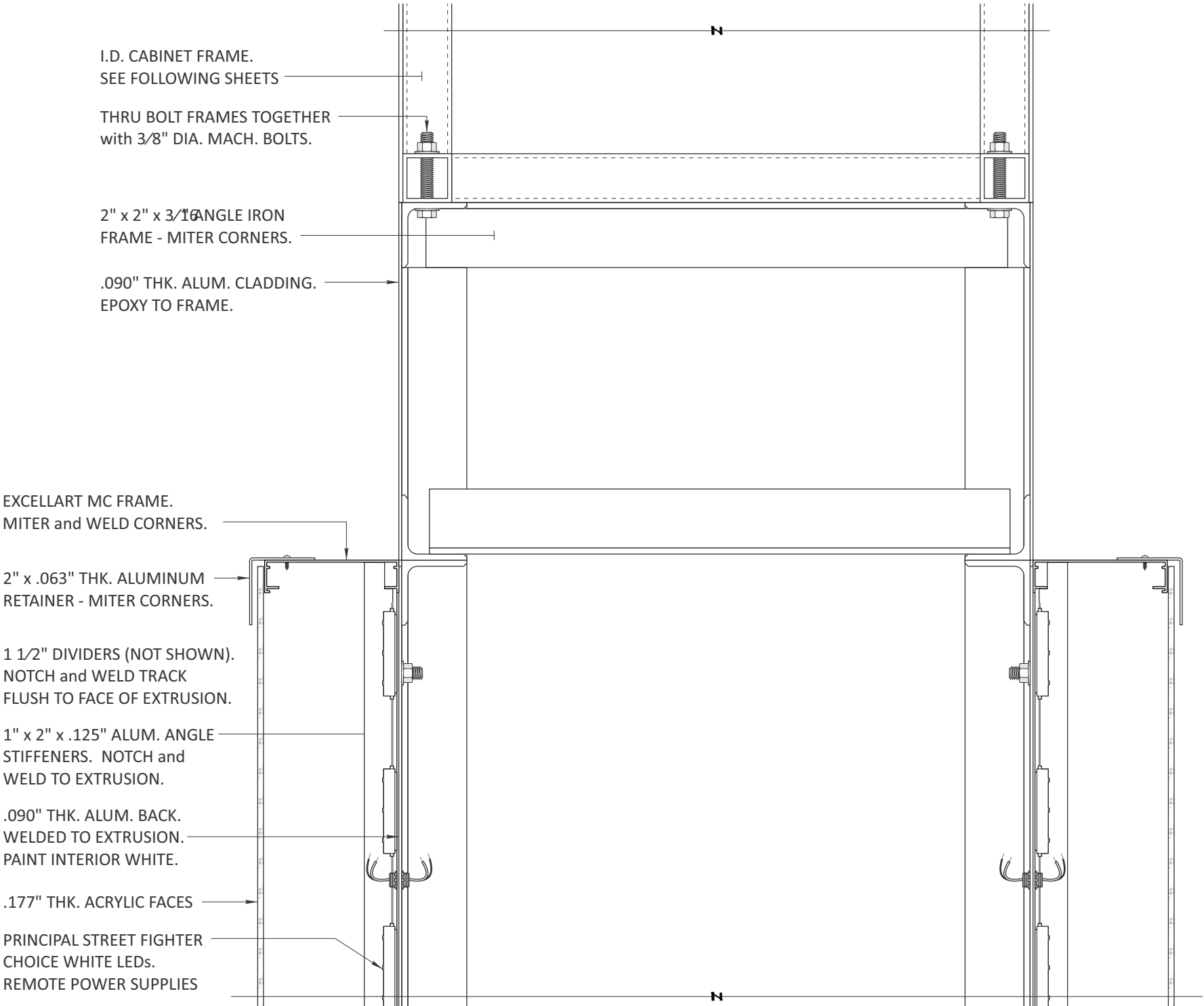
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NOTE: SHIP TENANT CABINETS LOOSE.
INSTALL IN FIELD.

A

SECTION (VERT.)

3" = 1'-0"

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

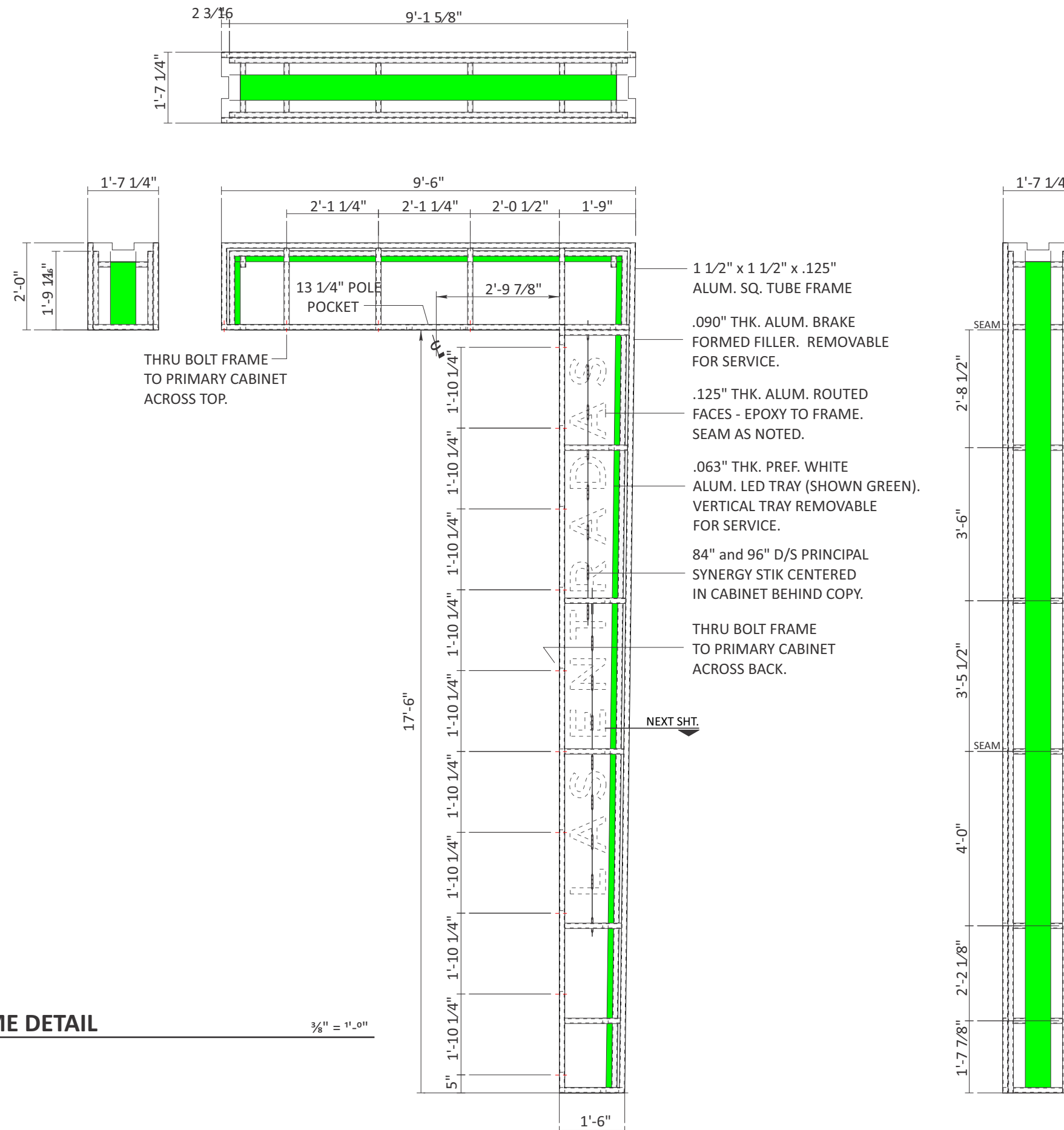
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I.D. CABINET FRAME DETAIL

MFR. (1) AS SHOWN

$$\frac{3}{8}'' = 1'-0''$$

APPROVED BY: _____ **DATE:** ____ / ____ / ____

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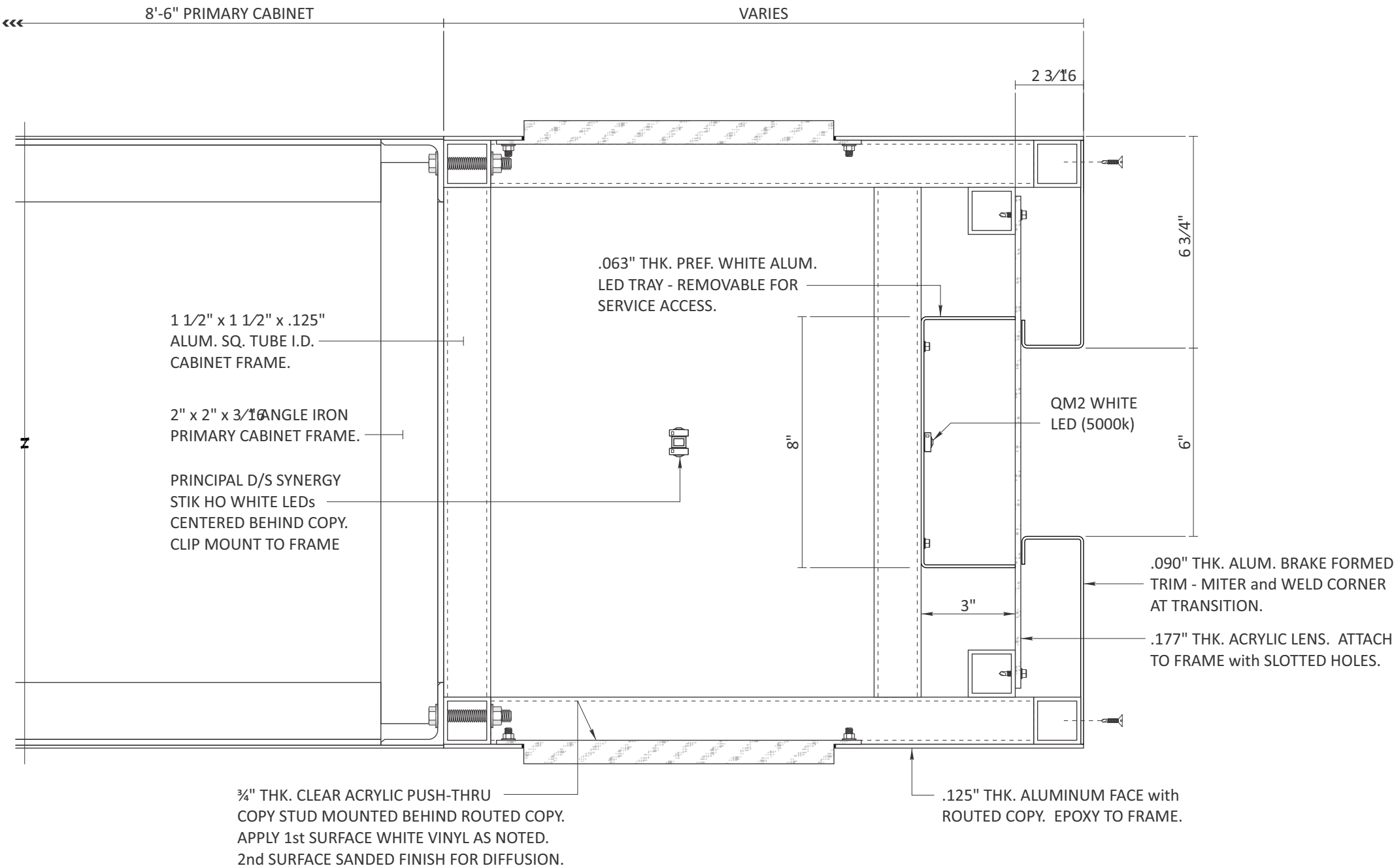
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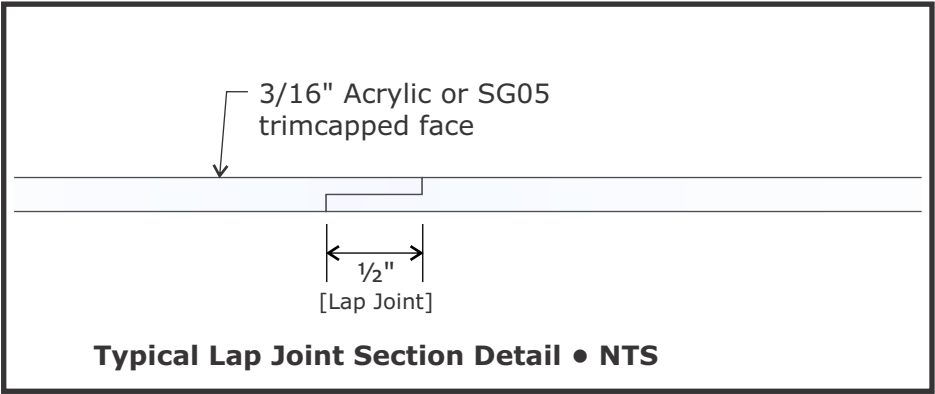
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A

SECTION (HORIZ.)

3" = 1'-0"



Typical Lap Joint Section Detail • NTS

CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

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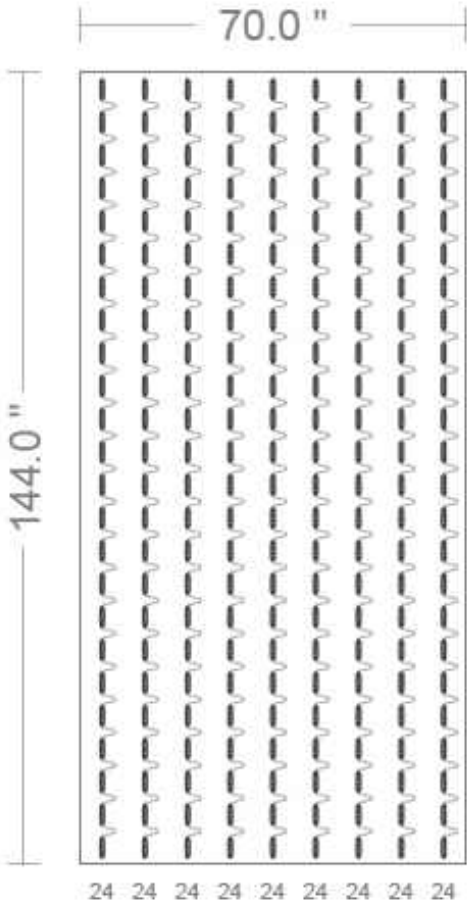
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3490 Venture Dr
San Angelo, TX 76905
325.227.4577
www.principalsloan.com
layouts@pindustries.com



2x

TENANT CABINETS

Date	Module	Power Supply	Modules per Foot	Area
August 7, 2024 12:33 PM PDT	(216) Prism Synergy Spec 5000K	(3) Energizer Series Universal 100W (24V) Threaded	2.087	70.00 sq ft
Layout Type	Module Part Number	Power Supply Part Number	Row Spacing	Perimeter
Face Lit	PL-SY4-SP2-P (50)	P-OH100-24-EC-T	7.8 in	35.67 feet
Total Watts	Module SKU	Power Supply SKU	Can Depth	Max Modules per PS
191.81 watts	M-SYSP0-50	P-OH100-24-EC-T	4.00 in	108

NOTICE: THIS LAYOUT IS ONLY AN ESTIMATE

Channel letter depth, face color, materials, and thickness can vary, which may affect the number of modules required. To ensure accuracy, it is recommended that you test light in a darkened environment prior to installing or shipping to the site to ensure that the light output is commercially acceptable. Final material estimates are the responsibility of the sign manufacturer.

ALL LAYOUTS ARE BASED ON THE USE OF ACRYLIC FACES.

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APPROVED BY: _____ DATE: ____ / ____ / ____



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www.principalsloan.com
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21"	103"	227"
END	TOP	END

ILLUMINATED FILLER PANEL

Date	Module	Power Supply	Modules per Foot	Area
August 14, 2024 11:18 AM PDT	(88) Qwik Mod 2 5000K	(1) Energizer Series Universal 120W	3.043	14.63 sq ft
Layout Type	Module Part Number	Power Supply Part Number	Row Spacing	Perimeter
Face Lit	PL-QM2-NW150-P	P-OH120-12-EC	6.0 in	59.50 feet
Total Watts	Module SKU	Power Supply SKU	Can Depth	Max Modules per PS
68.64 watts	M-QMDX0-50	P-OH120-12-EC	3.00 in	150

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ENERGIZER

105 YEAR WARRANTY

PRINCIPAL SLOAN

Job Name

Item 5.

LAS ENTRADAS

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☐ Final Drawing

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Proposal #: 79834

Revisions (M/D/Y)-(initials): desc.



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A

CUSTOMER APPROVED BY:

APPROVED BY:

ALLOWABLE SQUARE FOOTAGE - 2 X THE LENGTH OF EACH TENANT SPACE.

LAS
ENTRADAS

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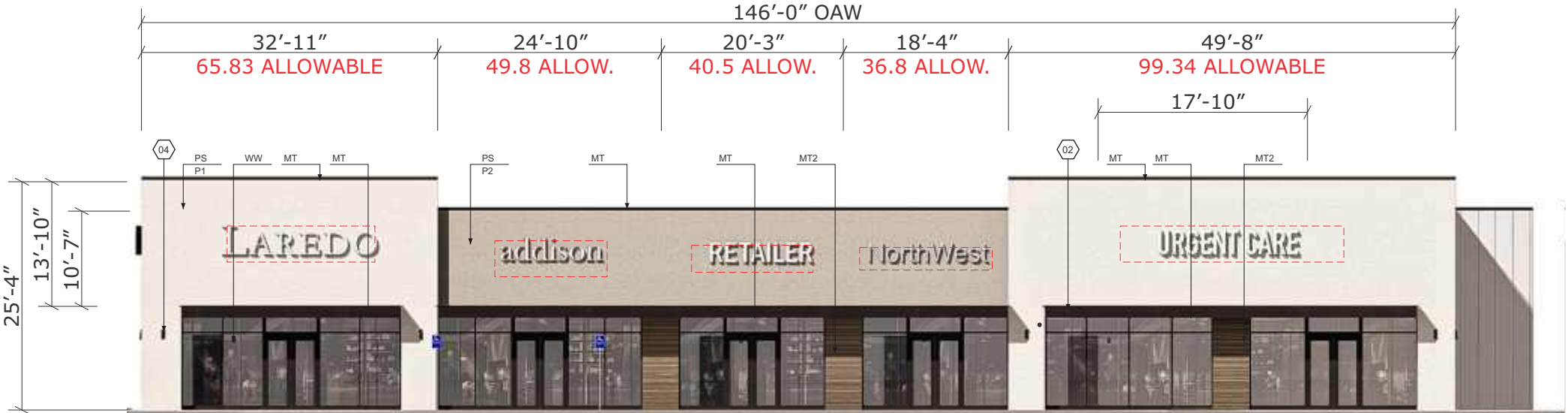
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FACE-LIT CHANNEL LETTERS
AT SHOPS 2
SOUTH ELEVATION.

SH2

SOUTH ELEVATION

QTY: FIVE (5) SPACES AVAILABLE.

Scale: 1/16" = 1'-0"



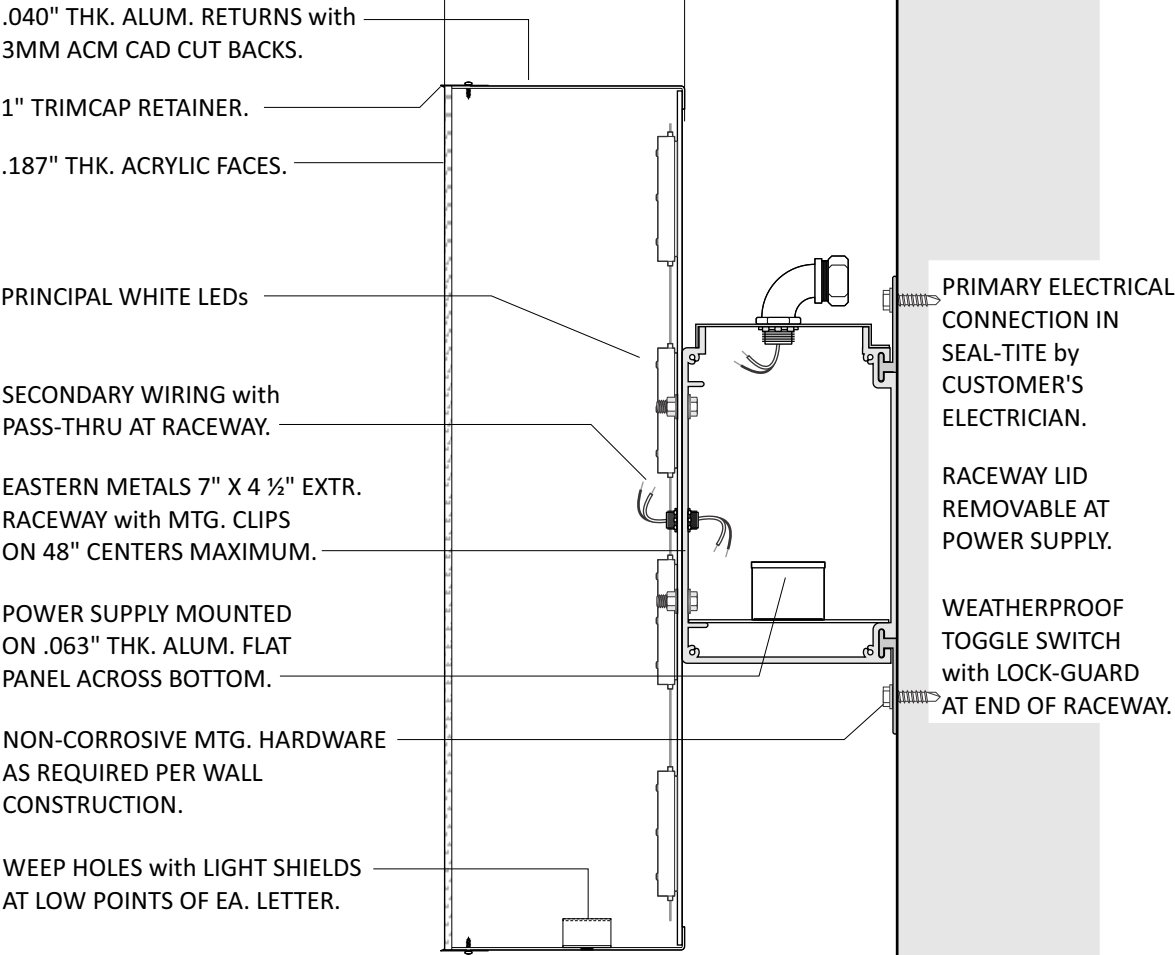
CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____

SH2

SECTION (VERT)
RACEWAY MOUNT

3" = 1'-0"



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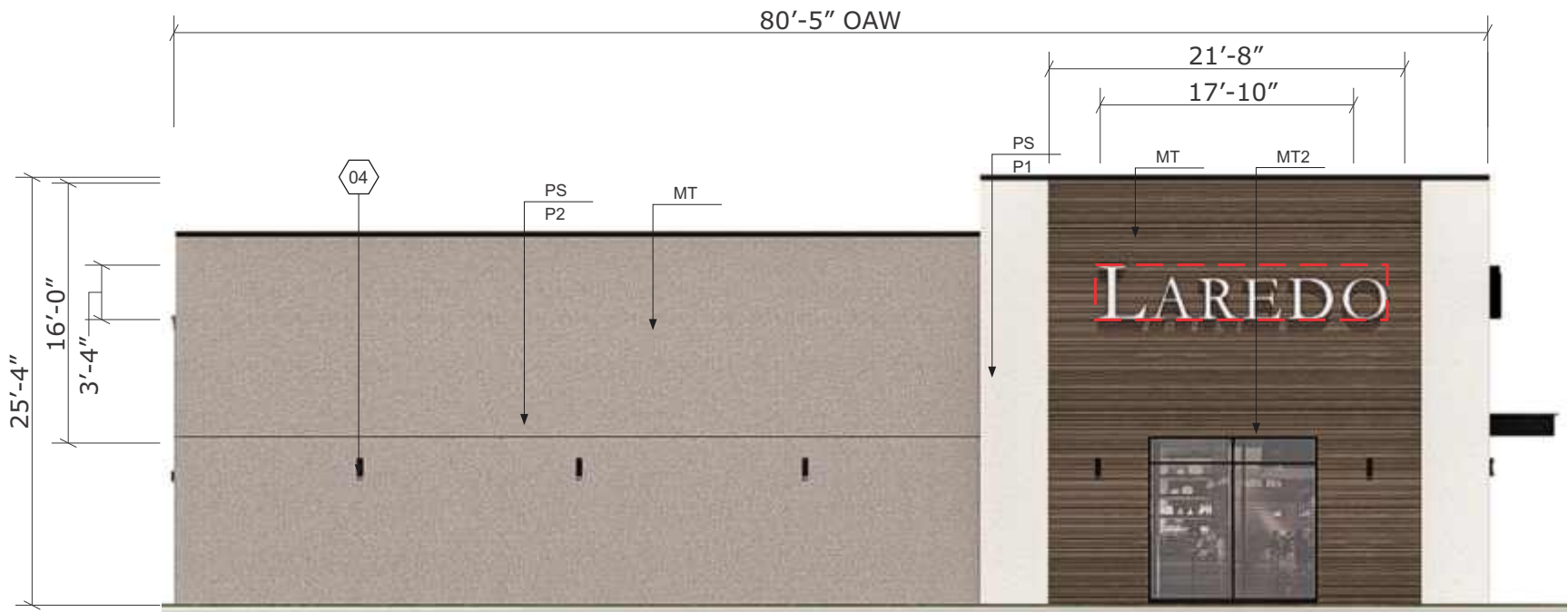
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FACE-LIT CHANNEL LETTERS
AT SHOPS 2
WEST ELEVATION.

SH2

WEST ELEVATION - 60.0 SQUARE FEET/ 160.83 ALLOWABLE

QTY: ONE (1) REQUIRED.

Scale: 1/8" = 1'-0"

.040" THK. ALUM. RETURNS with
3MM ACM CAD CUT BACKS.

1" TRIMCAP RETAINER.

.187" THK. ACRYLIC FACES.

PRINCIPAL WHITE LEDs

SECONDARY WIRING with
PASS-THRU AT RACEWAY.

EASTERN METALS 7" X 4 1/2" EXTR.
RACEWAY with MTG. CLIPS
ON 48" CENTERS MAXIMUM.

POWER SUPPLY MOUNTED
ON .063" THK. ALUM. FLAT
PANEL ACROSS BOTTOM.

NON-CORROSIVE MTG. HARDWARE
AS REQUIRED PER WALL
CONSTRUCTION.

WEEP HOLES with LIGHT SHIELDS
AT LOW POINTS OF EA. LETTER.

PRIMARY ELECTRICAL
CONNECTION IN
SEAL-TITE by
CUSTOMER'S
ELECTRICIAN.

RACEWAY LID
REMOVABLE AT
POWER SUPPLY.

WEATHERPROOF
TOGGLE SWITCH
with LOCK-GUARD
AT END OF RACEWAY.

3" = 1'-0"

SH2

SECTION (VERT)
RACEWAY MOUNT



CUSTOMER APPROVAL

APPROVED BY: _____ DATE: ____ / ____ / ____



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: November 13, 2024
PREPARED BY: Michael Burrell, Interim Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Coordinated Sign Plan for 310 Murray Street Manor, TX.

Applicant: Signarama

Owner: Carilu Realty

BACKGROUND/SUMMARY:

The property at 310 Murray has recently been rezoned to neighborhood business to allow for commercial use within the property. There are four tenant spaces, so a coordinated sign plan has been applied for to properly advertise for the current and future businesses that will exist within the structure. The plan consists of 4 attached wall signs, a hanging sign on the side of the building and a monument sign in the front.

LEGAL REVIEW: Not Applicable

FISCAL IMPACT: No

PRESENTATION: No

ATTACHMENTS: Yes

- Coordinated Sign Plan

ACTIONS:

<i>Discretion</i>	Discretionary
<i>Subdivision Review Type</i>	Not Applicable
<i>Actions</i>	Approve, Approve with Conditions, Deny

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve a Coordinated Sign Plan for 310 Murray Street Manor, TX.

PLANNING & ZONING COMMISSION: **X** **Recommend Approval** **Disapproval** **None**

Carilu Texas Realty

Proposed Signage

310 W Murray St , | Manor, TX 78653



1002 West Pecan Street - Pflugerville, TX 78660
Tel: 512-828-7828 - Fax: 512-377-1544
www.Signarama-NATX.com

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ALL PARTS USED TO BUILD
YOUR SIGN ARE UL LISTED

PFLUGERVILLE S Item 6.
Signarama
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PROJECT NAME:
Monument Sign

CLIENT:
Carilu Texas Realty

CONTACT:

PHONE :

EMAIL :

PROJECT LOCATION:

SITE CONTACT:

CELLPHONE:

PROJECT MANAGER:
Fayrouz

DESIGNER:
Moe Hallak

REVISION DATE & NUMBER:
Rev - 0

FILE LOCATION:

INTERNAL APPROVAL SIGNATURE

CLIENT APPROVAL SIGNATURE

LANDLORD APPROVAL SIGNATURE



TDLR#18936 85

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WE ARE NOT RESPONSIBLE FOR ANY SPELLING ERRORS ONCE CLIENT APPROVAL IS RECEIVED . THERE WILL BE AN Additional CHARGE TO FIX ANY SIGN DUE TO SPELLING ERRORS AFTER PROOF APPROVAL.

ELECTRICAL SIGNS NOTES
Pflugerville Signs Signarama DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician which we can provide at an additional cost separate from sign fabrication and installation . Each sign must have:
1. A minimum of one dedicated 120V 20A circuit
2. Junction box Installed within 6 feet of sign
3. Three wires: Line, Ground, Neutral

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40 ft



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Item 6.

PROJECT NAME:

CLIENT:

CONTACT:

PHONE :

EMAIL :

PROJECT LOCATION:

SITE CONTACT:

CELLPHONE:

PROJECT MANAGER:

DESIGNER:

REVISION DATE & NUMBER:

FILE LOCATION:

INTERNAL APPROVAL SIGNATURE

CLIENT APPROVAL SIGNATURE

LANDLORD APPROVAL SIGNATURE



TDLR#18936

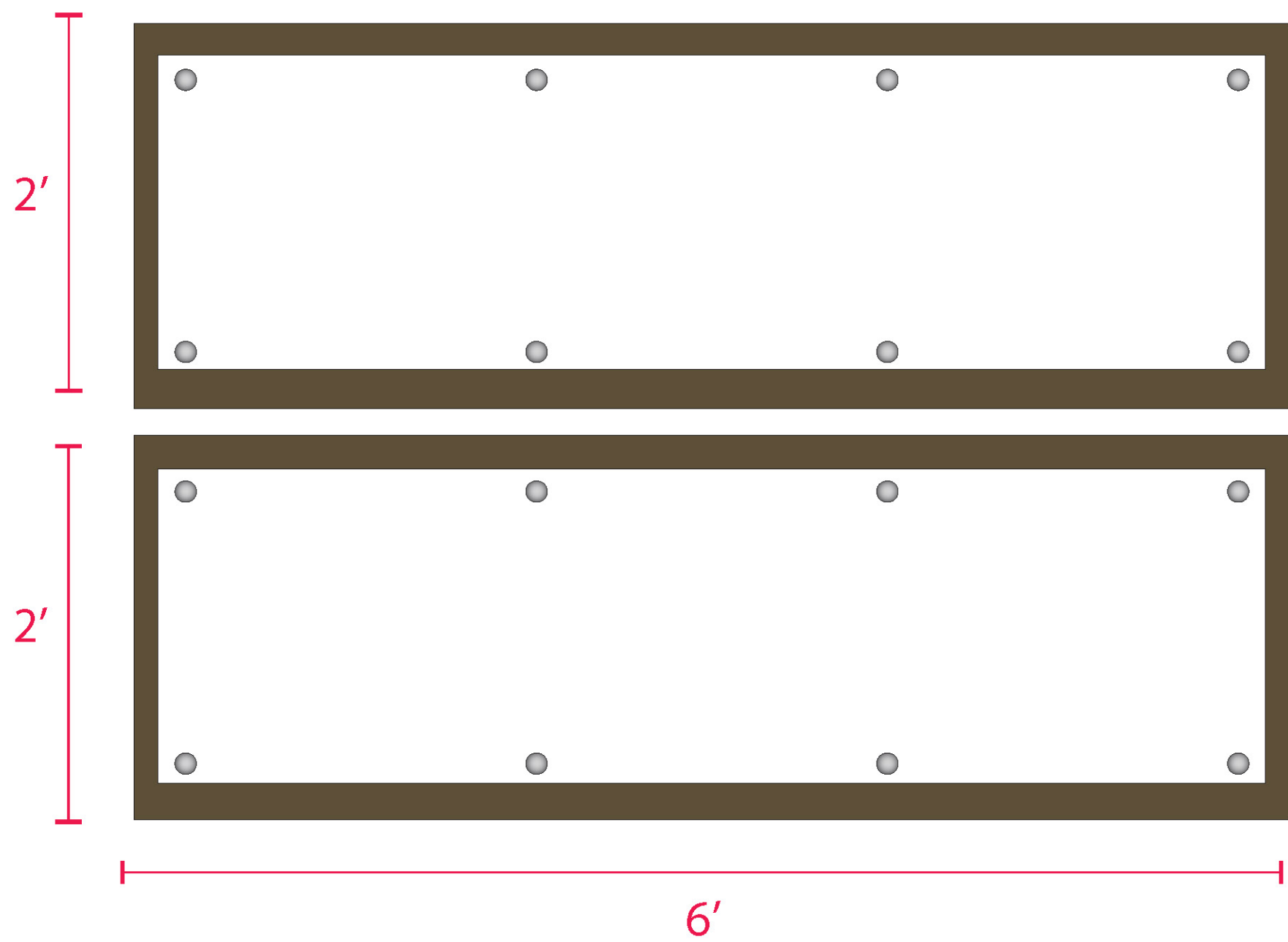
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6' single Tenant double suite Sign Graphics



ALL PARTS USED TO BUILD
YOUR SIGN ARE BL LISTED

PLEASE CHECK ALL SPELLING

WE ARE NOT RESPONSIBLE FOR ANY SPELLING ERRORS ONCE CLIENT APPROVAL IS RECEIVED . THERE WILL BE AN Additional CHARGE TO FIX ANY SIGN DUE TO SPELLING ERRORS AFTER PROOF APPROVAL.

ELECTRICAL SIGNS NOTES

Pflugerville Signs Signarama DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician which we can provide at an additional cost separte from sign fabrication and Installation . Each sign must have:

- 1. A minimum of one dedicated 120V 20A circuit
- 2. Junction box installed within 6 feet of sign
- 3. Three wires: Line, Ground, Neutral

INTELLECTUAL PROPERTY & COPYRIGHTS

© COPYRIGHT 2018, PFLUGERVILLE SIGNS SIGNARAMA LLC. ALL DESIGNS PRESENTED ARE THE SOLE PROPERTY OF PFLUGERVILLE SIGNS SIGNARAMA LLC, & MAY NOT BE REPRODUCED IN PART OR WHOLE, INCLUDING SHARING VIA EMAIL OR ANY DIGITAL MEDIA WITHOUT THE WRITTEN PERMISSION FROM PFLUGERVILLE SIGNS SIGNARAMA LLC.

PFLUGERVILLE S

Signarama

The way to grow your business.

1002 West Pecan Street
Pflugerville, TX 78660

Tel: 512-828-7828 - Fax: 512-377-1544

Item 6.

PROJECT NAME:
Suite Signage

CLIENT:
Carilu Texas Realty LLC
310 W Murray St
Manor, TX 78653

CONTACT:

PHONE :

EMAIL :

PROJECT LOCATION:

SITE CONTACT:

CELLPHONE:

PROJECT MANAGER:

DESIGNER:
Joie

REVISION DATE & NUMBER:
Rev

FILE LOCATION:

INTERNAL APPROVAL SIGNATURE

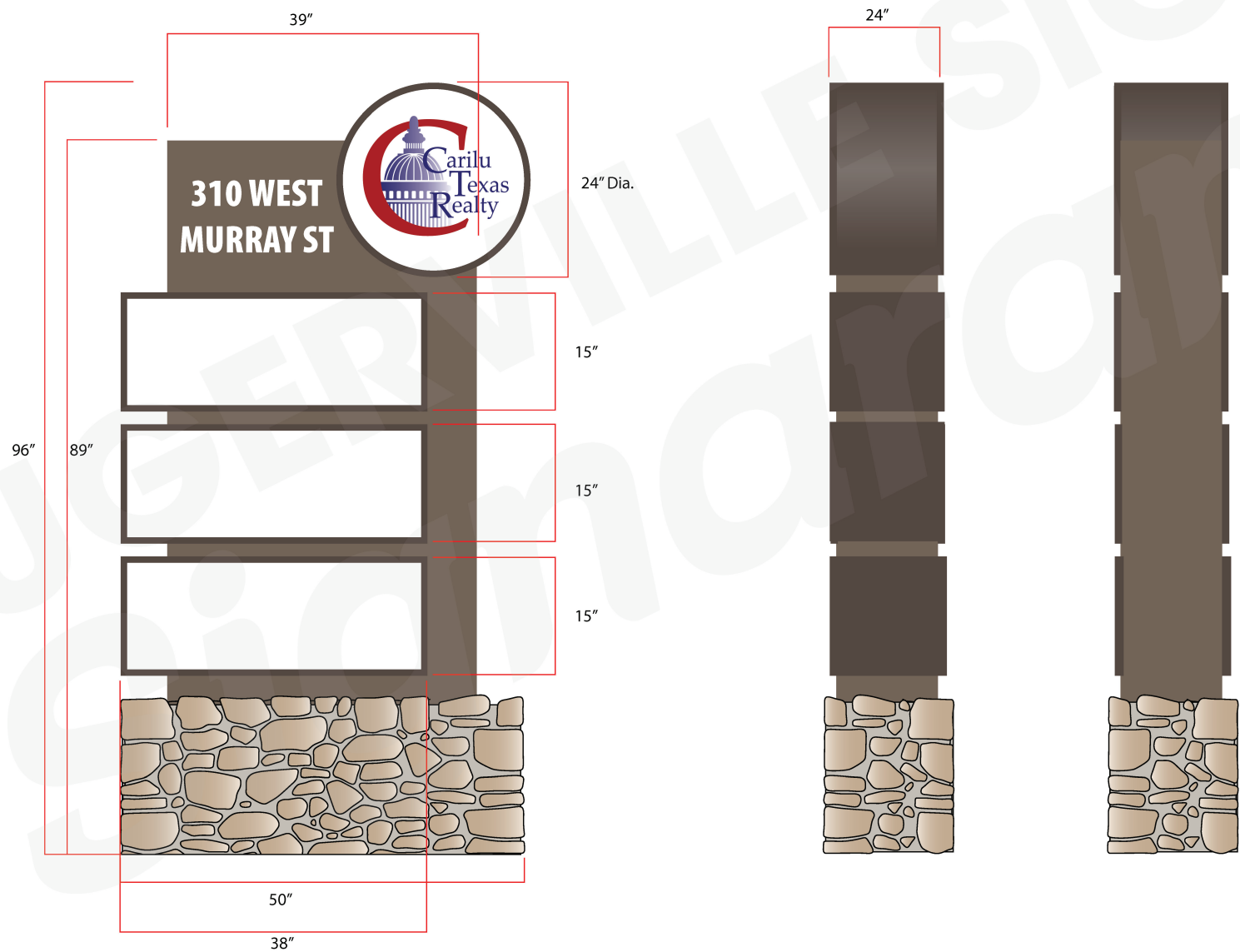
CLIENT APPROVAL SIGNATURE

LANDLORD APPROVAL SIGNATURE



TDLR#18936

Monument Detail - Framed



ALL PARTS USED TO BUILD
YOUR SIGN ARE UL LISTED

PLEASE CHECK ALL SPELLING

WE ARE NOT RESPONSIBLE FOR ANY SPELLING ERRORS ONCE CLIENT APPROVAL IS RECEIVED . THERE WILL BE AN Additional CHARGE TO FIX ANY SIGN DUE TO SPELLING ERRORS AFTER PROOF APPROVAL.

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PFLUGERVILLE

Signarama

The way to grow your business.

1002 West Pecan Street

Pflugerville, TX 78660

Tel: 512-828-7828 - Fax: 512-377-1544

Item 6.

PROJECT NAME:
Monument Sign

CLIENT:
Carilu Texas Realty

CONTACT:

PHONE :

EMAIL :

PROJECT LOCATION:

SITE CONTACT:

CELLPHONE:

PROJECT MANAGER:
Fayrouz

DESIGNER:
Moe Hallak

REVISION DATE & NUMBER:
Rev - 0

FILE LOCATION:

INTERNAL APPROVAL SIGNATURE

CLIENT APPROVAL SIGNATURE

LANDLORD APPROVAL SIGNATURE



PROJECT NAME:

Monument Sign

CLIENT:

Carilu Texas Realty

CONTACT:

PHONE :

EMAIL :

PROJECT LOCATION:

SITE CONTACT:

CELLPHONE:

PROJECT MANAGER:

Fayrouz

DESIGNER:

Moe Hallak

REVISION DATE & NUMBER:

Rev - 0

FILE LOCATION:

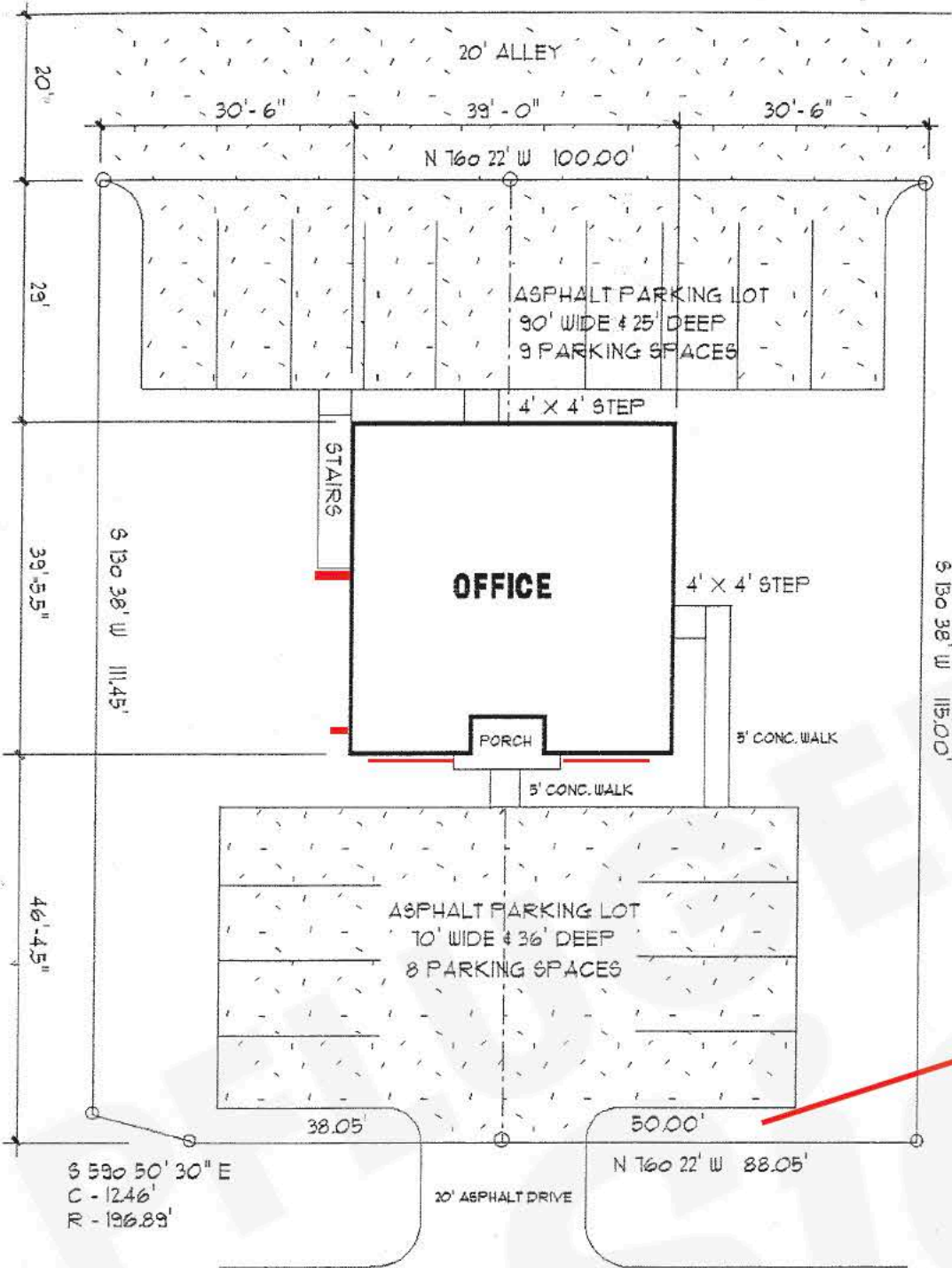
INTERNAL APPROVAL SIGNATURE

CLIENT APPROVAL SIGNATURE

LANDLORD APPROVAL SIGNATURE



TDLR#18936



NOTE:
THESE PLANS ARE INTENDED TO PROVIDE THE BASIC CONSTRUCTION INFORMATION. THIS MEANS THE BUILDER MUST CHECK AND VERIFY PLANS BEFORE PROCEEDING WITH ANY WORK, INCLUDING ORDERING MATERIAL. ALL STRUCTURAL ELEMENTS MUST BE SIZED AND DESIGNED BY A REGISTERED ENGINEER. ALL FEDERAL, STATE, COUNTY AND LOCAL CITY ORDINANCES AND BUILDING CODES TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. ANY DISCREPANCY, ERROR OR OMISSION, IF FOUND, IS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER. THESE PLANS AND THERE USE ARE THE PROPERTY OF HOME SOLUTIONS AND ARE NOT TO BE REUSED WITHOUT PERMISSION.



SEE OWNER FOR CULVERT INFORMATION

MURRAY AVENUE

PLOT PLAN

SCALE ——— 1" = 20'-0"

LOTS 6 & 7, BLOCK 2
A.E. LANE'S ADDITION
MANOR, TEXAS
TRAVIS COUNTY, TEXAS

BALAGIA OFFICE

design by HOME SOLUTIONS

11/ 23/ 98



OPTIONS ARE DISPLAYED SIDE BY SIDE FOR REFERENCE ONLY; ONLY ONE WILL BE INSTALLED.
SIZE IS APPROXIMATE AND NOT TO SCALE.

ALL PARTS USED TO BUILD
YOUR SIGN ARE UL LISTED

PLEASE CHECK ALL SPELLING

WE ARE NOT RESPONSIBLE FOR ANY SPELLING ERRORS ONCE CLIENT APPROVAL IS RECEIVED . THERE WILL BE AN Additional CHARGE TO FIX ANY SIGN DUE TO SPELLING ERRORS AFTER PROOF APPROVAL.

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AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: November 13, 2024
PREPARED BY: Michael Burrell, Interim Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a request to remove 2 heritage trees in the Boyce Mixed-Use Development Site located at 101 West Boyce St., Manor, TX.

BACKGROUND/SUMMARY:

The Boyce Mixed-Use Development is currently having their site development plan reviewed. As part of their proposed development, they need to remove 2 heritage trees. Their development agreement would allow for most landscaping to be in the ROW of their property to meet their landscaping requirement. Due to this and parking lot locations, preserving them would significantly limit the usability of the site. The trees are a 27.5" Elm (multitrunked) and a 38" elm.

They are planting more trees than were previously on site but are unable to accommodate trees of this size.

LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Letter of intent
- Landscape Plan

ACTIONS:

<i>Discretion</i>	Discretionary
<i>Subdivision Review Type</i>	Not Applicable
<i>Actions</i>	Approve, Approve with Conditions, Deny

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission recommend approval of the tree removal request to remove 2 heritage trees in the Boyce Mixed-Use Development Site located at 101 West Boyce St., Manor, TX.

PLANNING & ZONING COMMISSION: **X Recommend Approval** **Disapproval** **None**



carrillo DEAN
Landscape Architecture

Item 7.

June 27, 2024

Planning & Zoning Commission
City of Manor
105 E. Eggleston St.
Manor, TX 78653

Re: Permit Number: 2024-P-1645
101 W. Boyce St.
Heritage Tree Removal Request

To Whom it May Concern:

We are writing to request approval to remove two (2) heritage trees on the site proposed for development at 101 W Boyce St. The trees in question are:

- Tree #89 – 27.5” Elm (multitrunked)
- Tree #90 – 38” Elm

The above referenced trees conflict with proposed building and parking lot locations and preserving them would significantly limit the usability of the site. We request approval to remove these trees and provide mitigation via planting of new trees and/or payment to the city's tree replacement fund.

If you have any questions or require additional information, please contact me at (512) 535-7303.
Sincerely yours,

Patrick T. Dean, PLA

Boyce Street Project

101, 107, 104, 108 W Boyce St,
Manor, TX 78653

















OWNER: JIWON JUNG
101 W. BOYCE STREET
MANOR, TEXAS 78653

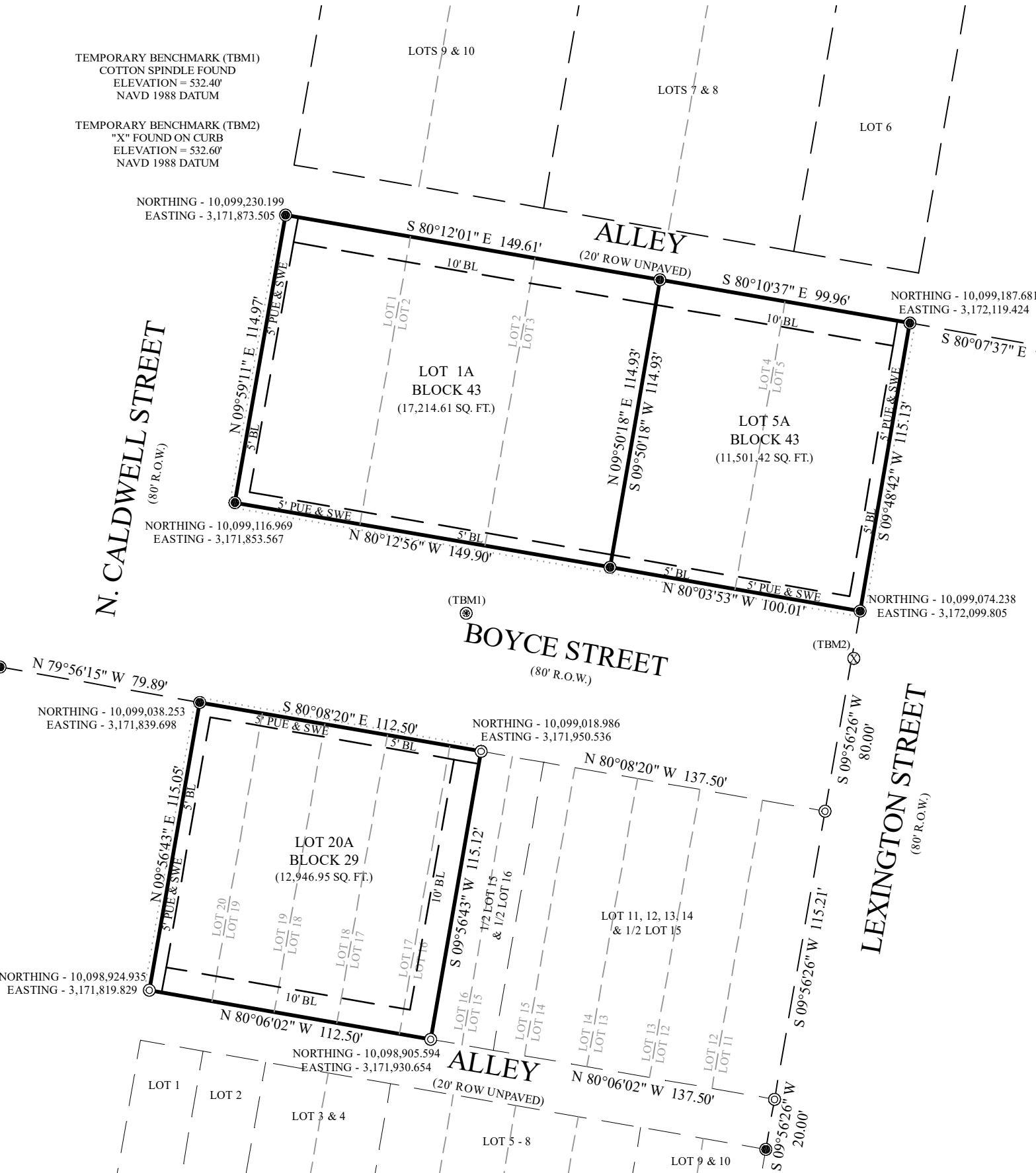
ACREAGE: 41,662.98 SQ. FT. - 0.96 ACRES
NUMBER OF BLOCKS: 2
NUMBER OF LOTS: 3

SUBMITTAL DATE: 02/22/2024
DATE OF REVISION: -

SURVEYOR: ALL STAR LAND SURVEYING - FIRM: 10135000
9020 ANDERSON MILL ROAD, AUSTIN, TEXAS 78729
(512) 249-8149 REF# A0204024

ENGINEER: SOUTHWEST ENGINEERS, INC.
FIRM # F-1909
2631 GATTIS SCHOOL RD., BLDG. 2, STE. 270
ROUND ROCK, TEXAS 78664

PROJECT DATUM: NORTH AMERICAN DATUM 1983 (NAD 83)
PROJECTION: TEXAS STATE PLANE -
CENTRAL ZONE (4203)
UNITS: US SURVEY FEET

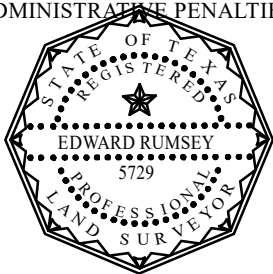


I, CAMPBELL KEY, I.V., AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF THE CITY OF MANOR LAND DEVELOPMENT CODE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

CAMPBELL KEY, I.V., P.E.
LICENSE NO. 147977
SOUTHWEST ENGINEERS FIRM # F-1909
2631 GATTIS SCHOOL RD., BLDG. 2, STE. 270
ROUND ROCK, TEXAS 78664

I, EDWARD C. RUMSEY, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON THE GROUND SURVEY OF THE LAND AND THAT ALL CORNERS MONUMENTS SHOWN THEREON, WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE TRAVIS COUNTY, TEXAS CODES AND ORDINANCES, INCLUDING SECTION 131.25(e), AND CHAPTER 482 OF THE TRAVIS COUNTY, CODE, AND THAT ALL KNOWN EASEMENTS WITHIN THE BOUNDARY OF THE PLAT ARE SHOWN OR DESCRIBED HEREON. I HEREBY ACKNOWLEDGE THAT ANY MISREPRESENTATION REGARDING THIS CERTIFICATION CONSTITUTES A VIOLATION OF THE ACT AND MY RESULT IN CRIMINAL, CIVIL, AND/OR ADMINISTRATIVE PENALTIES AGAINST ME AS AUTHORIZED BY THE ACT.

EDWARD C. RUMSEY R.P.L.S. # 5729
REF# A0204024



DATE

- LEGEND
- 1/2" ROD FOUND
 - 1/2" ROD W/CAP SET "ALLSTAR 5729"
 - COTTON GIN SPINDLE FOUND
 - "X" SCRIBE FOUND IN CONC.
 - () RECORD INFORMATION
 - PROPOSED SIDEWALK
 - BL BUILDING SETBACK LINES
 - PUE PUBLIC UTILITY ESMT
 - SWE SIDEWALK ESMT

STATE OF TEXAS
COUNTY OF TRAVIS

KNOW ALL MEN BY THESE PRESENTS:

THAT I, JIWON JUNG, BEING THE OWNER OF 0.96 ACRE OF LAND, MORE OR LESS, OUT OF THE JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546, BEING CONVEYED TO ME IN WARRANTY DEED RECORDED IN DOCUMENT NO(S). 2021131120, 2021121545, 2021184718 & 2023050595, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS, DO HEREBY PLAT SAID 1 ACRES, PURSUANT TO CHAPTER 212 & 232 OF THE TEXAS LOCAL GOVERNMENT CODE, IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS:

"AMENDED PLAT OF LOTS 1-5 BLOCK 43 & LOTS 16-20 BLOCK 29, TOWN OF MANOR"

AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS THE ____ DAY OF _____, 20__ A.D.

JIWON JUNG
101 W BOYCE STREET
MANOR, TEXAS 78653

STATE OF TEXAS
COUNTY OF TRAVIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JIWON JUNG, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

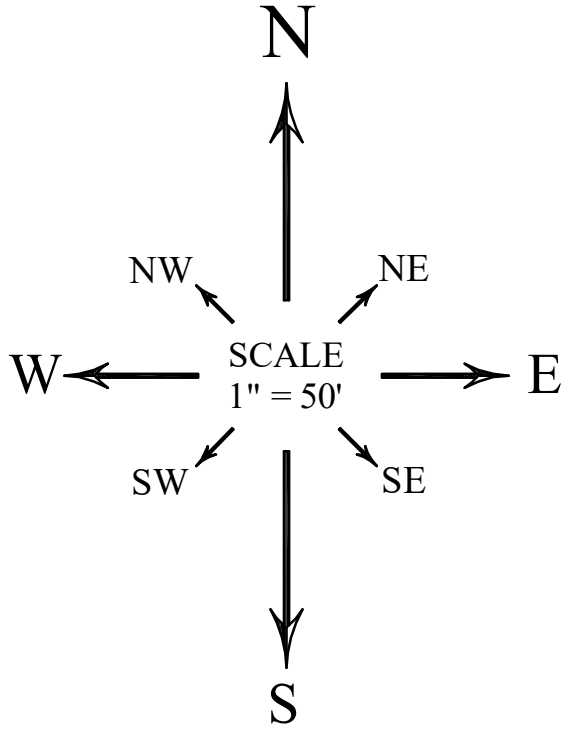
WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE ____ DAY OF _____, 20__ A.D.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME MY COMMISSION EXPIRES

- NOTES:
- WATER AND WASTEWATER SERVICE SHALL BE PROVIDED BY THE CITY OF MANOR.
 - ALL PRIVATE STREET RIGHTS-OF-WAY ARE ALSO DRAINAGE EASEMENTS AND PUBLIC UTILITY EASEMENTS. A VARIANCE HAS BEEN REQUESTED FOR DRAINAGE.
 - PUBLIC SIDEWALKS SHALL BE CONSTRUCTED WITHIN THE FOLLOWING RIGHTS-OF-WAY: BOYCE STREET, N. CALDWELL STREET & LEXINGTON STREET
 - A FRONT AND STREETSIDE YARD SETBACK TO BE FIVE (5') FOOT, AND REAR, AND EXTERIOR SIDE SETBACK AND REAR SETBACK FOLLOWS THE STANDARDS. A VARIANCE HAS BEEN REQUESTED FOR SETBACKS.
 - LOTS 5A, 1A AND 20A ARE EXEMPT FROM DETENTION REQUIREMENTS.
 - BUILDING SETBACK LINES SHALL BE IN CONFORMANCE WITH THE CITY OF MANOR REGULATIONS AT THE TIME OF THE BUILDING PERMIT APPLICATION. A VARIANCE HAS BEEN REQUESTED FOR SETBACKS.
 - ZONING FOR THIS SUBDIVISION IS (DB) DISTRICT.
 - THE PROPOSED USE OF THIS SUBDIVISION IS DOWNTOWN BUSINESS.
 - PERFORMANCE AND MAINTENANCE GUARANTEES AS REQUIRED BY THE CITY.
 - THE BEARINGS, DISTANCES, AREAS AND COORDINATES SHOWN HEREON ARE TEXAS COORDINATE SYSTEM GRID, CENTRAL ZONE (FIPS 4203) (NAD'83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS). THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.
 - PROPERTY OWNERS OF THE LOTS ON WHICH THE (INSERT EASEMENT TYPE) EASEMENTS ARE LOCATED AS SHOWN ON THIS PLAT SHALL PROVIDE ACCESS TO THE CITY OF MANOR IN ORDER FOR THE CITY OF MANOR TO INSPECT AND MAINTAIN THE UNDERGROUND FACILITIES LOCATED WITHIN ANY OF SUCH EASEMENTS.
 - A 5' PUBLIC UTILITY AND SIDEWALK EASEMENT IS HEREBY DEDICATED ALONG AND ADJACENT TO ALL STREET RIGHTS OF WAY.
 - PUBLIC SIDEWALKS BUILT TO CITY OF MANOR STANDARDS, ARE REQUIRED ALONG ALL STREETS WITHIN THIS SUBDIVISION, THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE ADJOINING LOT BEING OCCUPIED, FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE COVERING BODY OR UTILITY COMPANY.
 - DRIVEWAY AND DRAINAGE CONSTRUCTION STANDARDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE CITY OF MANOR STANDARDS UNLESS OTHERWISE SPECIFIED AND APPROVE BY THE CITY OF MANOR.
 - NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTION IS MADE TO THE CITY OF MANOR WATER AND WASTEWATER SYSTEM.
 - NO BUILDINGS SHALL BE CONSTRUCTED OR MAINTAINED WITHIN EASEMENTS OR THE UNDERGROUND STORM WATER FACILITIES EASEMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF MANOR. THE CITY OF MANOR IS NOT RESPONSIBLE FOR THE DAMAGE TO OR REPLACING ANY PORTIONS OF ANY FENCING, LANDSCAPING OR OTHER IMPROVEMENTS CONSTRUCTED WITHIN ANY OF SUCH THREE EASEMENTS WHICH WERE NOT APPROVED BY THE CITY OF MANOR BEFORE THEIR CONSTRUCTION DUE TO THE NECESSARY AND CUSTOMARY WORK BY THE CITY OF MANOR IN REPAIRING, MAINTAINING, OR REPLACING THE UNDERGROUND PIPES AND RELATED FACILITIES WITHIN SUCH EASEMENTS.
 - ALL STREETS, DRAINAGE IMPROVEMENTS, SIDEWALKS, WATER AND WASTEWATER LINES, AND EROSION CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF MANOR STANDARDS.
 - EROSION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON INDIVIDUAL LOTS, INCLUDING DETACHED SINGLE FAMILY IN ACCORDANCE WITH SECTION 1.4.0 OF THE CITY OF AUSTIN ENVIRONMENTAL CONTROL MANUAL.
 - ALL STREETS IN THE SUBDIVISION SHALL BE CONSTRUCTED TO CITY OF MANOR URBAN STREET STANDARDS. ALL STREETS WILL BE CONSTRUCTED WITH CURB AND GUTTER.
 - PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF MANOR.

CASE NUMBER - 2024-P-1637-SF



BEARING BASIS:
BEARINGS ARE GRID NORTH BASED ON THE TEXAS COORDINATE SYSTEM
CENTRAL TEXAS ZONE (4203) NAD83 HARN HORIZONTAL CONTROL.

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE THE 3RD DAY OF JUNE, 2024.

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, ON THIS THE ____ OF _____, 20__ A.D.

APPROVED: ATTEST:
P & Z CHAIRPERSON LLUVIA T. ALMARAZ, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL, CITY OF MANOR, TEXAS, ON THIS THE ____ OF _____, 20__ A.D.

APPROVED: ATTEST:
DR. CHRISTOPHER HARVEY, MAYOR OF THE CITY OF MANOR, TEXAS LLUVIA T. ALMARAZ, CITY SECRETARY

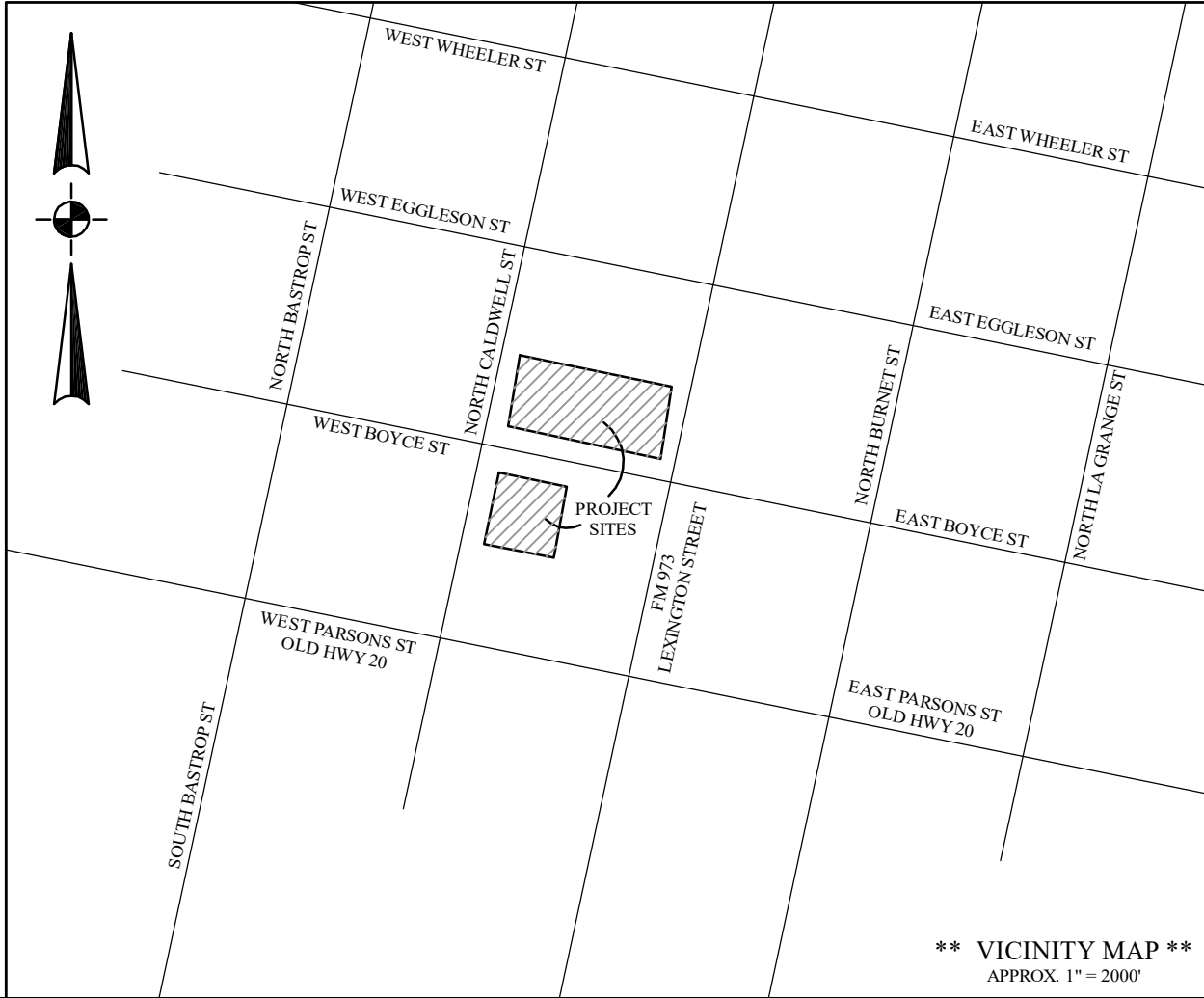
STATE OF TEXAS
COUNTY OF TRAVIS

KNOW ALL MEN BY THESE PRESENTS:

I, DYANA LIMON-MERCADO, COUNTY CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, 20__ A.D. AT ____ O'CLOCK ____ M., IN THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, UNDER DOCUMENT NUMBER ____ FILED FOR RECORD ON THE ____ DAY OF _____, 20__ A.D.

DYANA LIMON-MERCADO
COUNTY CLERK
TRAVIS COUNTY, TEXAS

DEPUTY



** VICINITY MAP **
APPROX. 1" = 2000'

ALLSTAR Land surveying
9020 ANDERSON MILL RD
AUSTIN, TEXAS 78729
(512) 249-8149 PHONE
(512) 331-5217 FAX
TBPELS FIRM NO. 10135000

SCALE: 1" = 50'

BEGIN DATE: 02/22/2024

DRAWN BY: DAVID BAK

JOB NO.: A0204024

REVISED DATE: -

AMENDED PLAT OF LOTS 1-5 BLOCK 43 & LOTS 16-20 BLOCK 29 TOWN OF MANOR

BEING ALL OF THAT CERTAIN 0.96 ACRE TRACT IN THE JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546, TRAVIS COUNTY, TEXAS BEING THE SAME LOTS 1-5 BLOCK 43, 1/2 OF LOT 16, LOT 17-20, BLOCK 29, TOWN OF MANOR, CONVEYED TO JIWON JUNG, RECORDED IN DOCUMENT NO(S). 2021131120, 2021121545, 2021184718 & 2023050595, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS.

F.I.R.M. MAP INFORMATION

THIS PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN AND HAS A ZONE "X". RATINGS SHOWN ON THE FLOOD INSURANCE RATE MAPS

F.I.R.M. MAP NO.: 48453C04K51
PANEL: 04853
DATED: 08/18/2014

THIS CERTIFICATION IS FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THIS PROPERTY WILL OR WILL NOT FLOOD. CONTACT YOUR LOCAL FLOOD PLAIN ADMINISTRATOR FOR THE CURRENT STATUS OF THIS TRACT.

SHEET

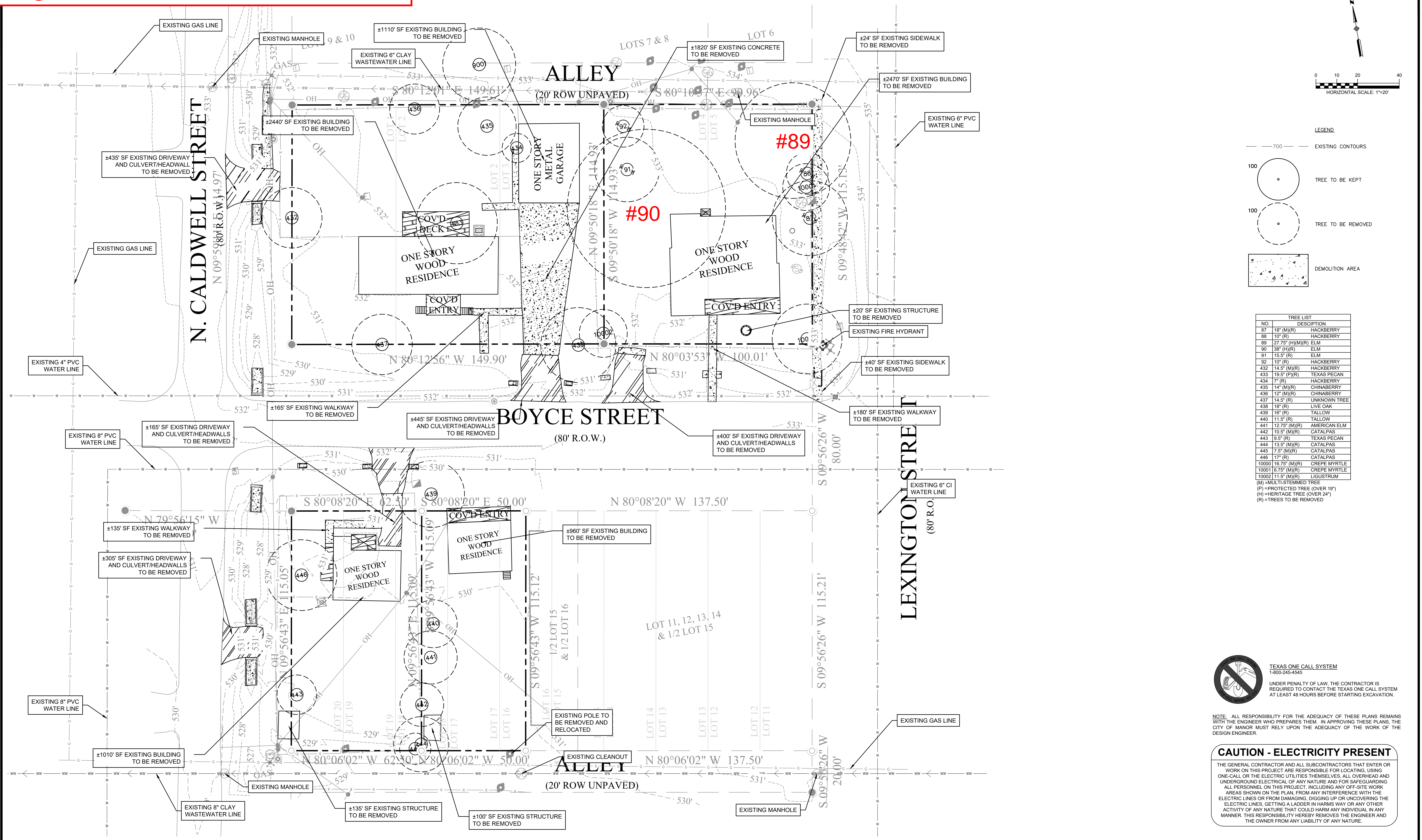
1

OF 1

101

Existing Conditions and Demolition Plan

Item 7.



TREE LIST	
NO.	DESCRIPTION
87	18" (M/R) HACKBERRY
88	10" (R) HACKBERRY
89	27.75" (H)(M)(R) ELM
90	38" (H)(R) ELM
91	15.5" (R) ELM
92	10" (R) HACKBERRY
432	14.5" (M)(R) HACKBERRY
433	19.5" (P)(R) TEXAS PECAN
434	7" (R) HACKBERRY
435	14" (M)(R) CHINABERRY
436	12" (M)(R) CHINABERRY
437	14.5" (R) UNKNOWN TREE
438	18" (R) LIVE OAK
439	16" (R) TALLOW
440	11.5" (R) TALLOW
441	12.75" (M)(R) AMERICAN ELM
442	10.5" (M)(R) CATALPAS
443	9.5" (R) TEXAS PECAN
444	13.5" (M)(R) CATALPAS
445	7.5" (M)(R) CATALPAS
446	17" (R) CATALPAS
10000	16.75" (M)(R) CREPE MYRTLE
10001	6.75" (M)(R) CREPE MYRTLE
10002	11.5" (M)(R) LIGUSTRUM
(M) = MULTI-STEMMED TREE	
(P) = PROTECTED TREE (OVER 19")	
(H) = HERITAGE TREE (OVER 24")	
(R) = TREES TO BE REMOVED	

TEXAS ONE CALL SYSTEM
1-800-245-4545

UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

NOTE: ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARES THEM. IN APPROVING THESE PLANS, THE CITY OF MANOR MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

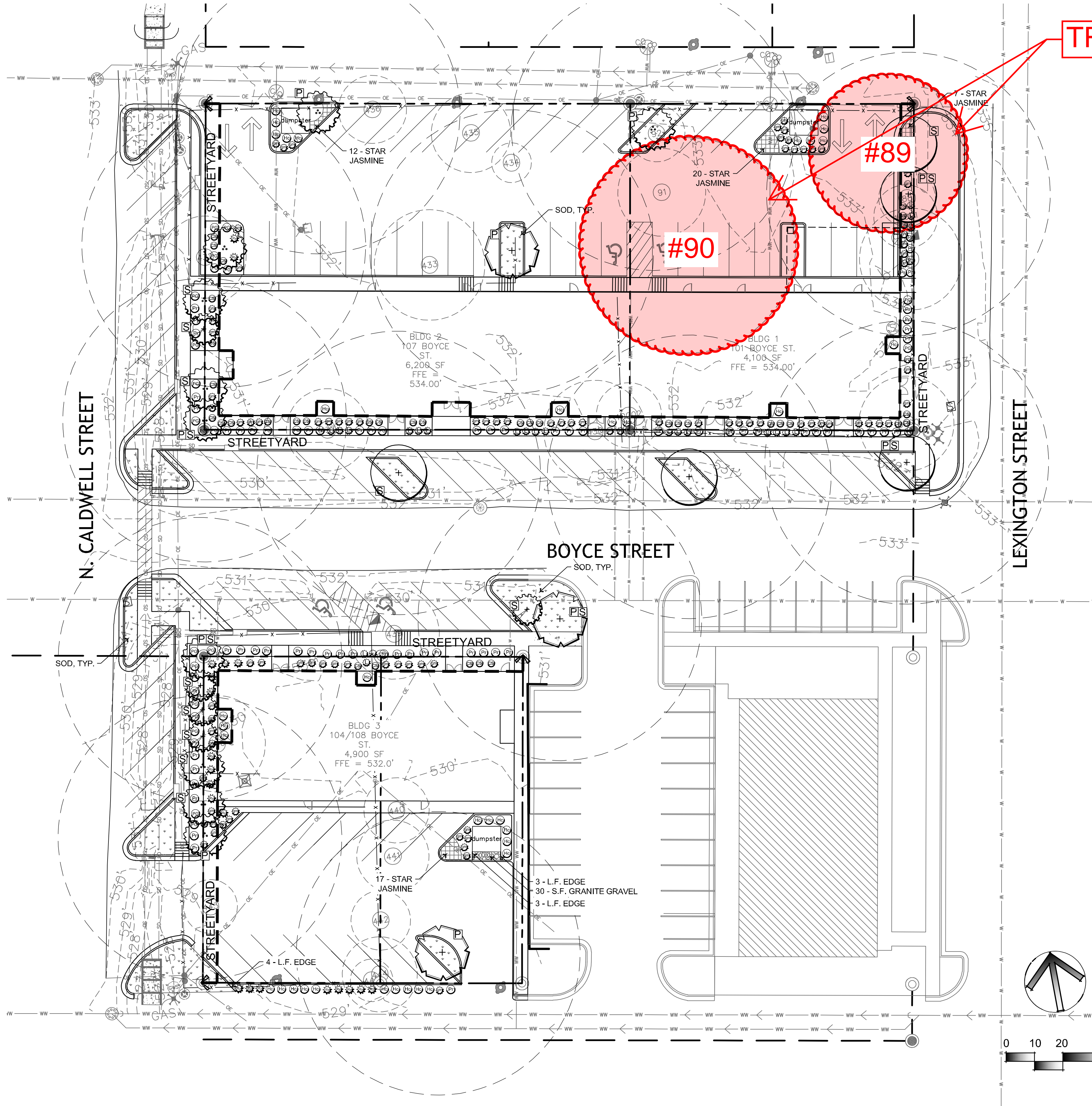
CAUTION - ELECTRICITY PRESENT

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS THAT ENTER OR WORK ON THIS PROJECT ARE RESPONSIBLE FOR LOCATING, USING ONE-CALL OR THE ELECTRIC UTILITIES THEMSELVES, ALL OVERHEAD AND UNDERGROUND ELECTRICAL OF ANY NATURE AND FOR SAFEGUARDING ALL PERSONNEL ON THIS PROJECT, INCLUDING ANY OFF-SITE WORK AREAS SHOWN ON THE PLAN, FROM ANY INTERFERENCE WITH THE ELECTRIC LINES OR FROM DAMAGING, DIGGING UP OR UNCOVERING THE ELECTRIC LINES, GETTING A LADDER IN HARMS WAY OR ANY OTHER ACTIVITY OF ANY NATURE THAT COULD HARM ANY INDIVIDUAL IN ANY MANNER. THIS RESPONSIBILITY HEREBY REMOVES THE ENGINEER AND THE OWNER FROM ANY LIABILITY OF ANY NATURE.

NO.	REVISION	DATE	<div></div>		<div><p>Southwest Engineers</p><p>TBPE NO. F-1909 www.swengineers.com</p></div>		<div><p>HEADQUARTERS</p><p>307 Saint Lawrence Street, Gonzales TX 78629 P: 830.672.7546 F: 830.672.2034</p></div> <div><p>CENTRAL TEXAS</p><p>205 Cimarron Park Loop, Ste. B, Buda TX 78610 P: 512.312.4330</p></div>		<div><p>WARNING</p><p>IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE</p></div> <div><p>DRAWN BY: <u>APCG / BS</u></p></div> <div><p>CHECKED BY: <u>HCD</u></p></div>	<div><p>EXISTING CONDITIONS AND DEMOLITION PLAN</p><p>BOYCE STREET MIXED-USE DEVELOPMENT</p><p>101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653</p></div>		<div><p>PROJECT NO. <u>1168-001-24</u></p></div> <div><p>DRAWING NO. _____</p></div> <div><p>SHEET <u>4</u> OF <u>27</u></p></div>	

O:\CompanyData\Clients\1168 - BuildBlock\001-24_Boyce Street Mixed-Use Development\CAD\Sheets\1168-001_DEMO.dwg -- Wed, Sep 04, 2024, 11:30am, By: ana.cantu

Proposed Plan



CANOPY TREES	
SYMBOL	COMMON NAME
	LIVE OAK
	CEDAR ELM
	TEXAS PISTACHE

NO.	REVISION	DATE

carrillo DEAN
Landscape Architecture

7301 Via Correto Dr. • CarrilloDean.com
Austin, Texas 78749 • Phone: 512-535-7303

PROJECT NAME
BOYCE STREET COMMERCIAL

PROJECT ADDRESS
**101 BOYCE STREET
MANOR, TX 78653**

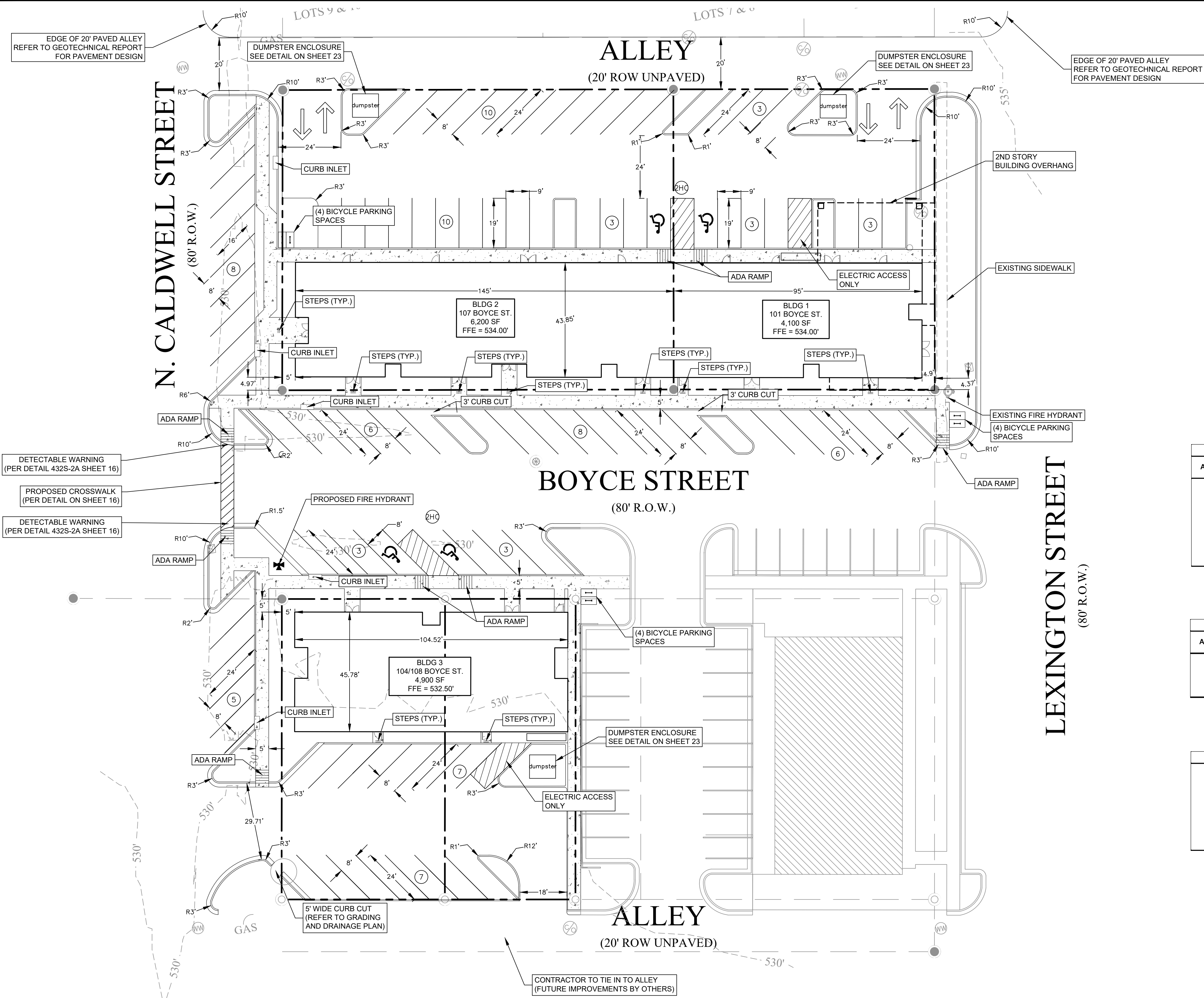
DATE 08/27/24	SCALE AS SHOWN	JOB NO. 128-06
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SHEET TITLE
LANDSCAPE PLAN

SHEET NO.
L1.1

OF X

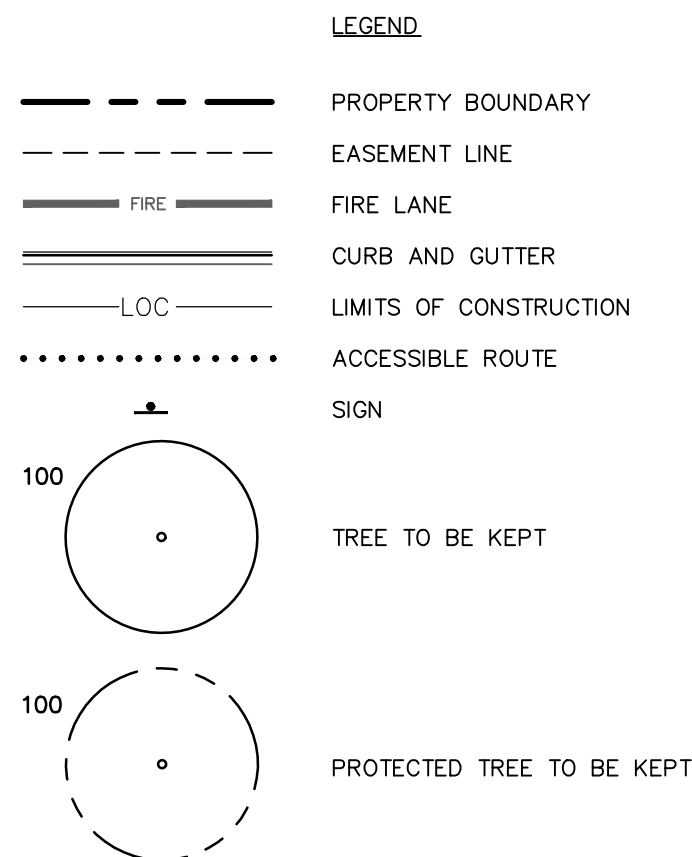
O:\CompanyData\Clients\1168 - BuildBlock\001-24_Boyce Street Mixed-Use Development\CAD\Sheets\1168-001_SITE.dwg -- Layout: "SITE DIMENSIONS CONTROL PLAN" -- Wed, Sep 04, 2024, 4:08pm, By: ana.cantu



SITE DATA TRACTS 1 & 3	
PROPOSED IC - BUILDING	10,320 SF
PROPOSED IC - PARKING/SIDEWALK	14,816 SF
PROPOSED IC - PARKING/SIDEWALK (ROW)	7,941 SF
TOTAL PROPOSED IMPERVIOUS COVER	33,077 SF

SITE DATA TRACTS 2 & 4	
PROPOSED IC - BUILDING	4,917 SF
PROPOSED IC - PARKING/SIDEWALK	6,336 SF
PROPOSED IC - PARKING/SIDEWALK (ROW)	4,974 SF
TOTAL PROPOSED IMPERVIOUS COVER	16,227 SF

BUILDING DATA TRACTS 1, 2, 3 & 4	
TOTAL EXISTING BUILDINGS	6,734 SF
BLDG 101 & 107	33,036 SF
BLDG 104 & 108	14,100 SF
TOTAL GROSS BUILDING AREA	47,136 SF
BUILDING HEIGHT	3 STORIES



PARKING CALCULATIONS (BUILDINGS 1 & 2)						
Area (ac.)	Building No.	Units	Number of Units	Requirement	Parking Required	Parking Provided
0.660	1 (101 Boyce)	One bedroom	5 bedrooms	1.5 spaces for 1 bedroom	8	8
		Two bedroom	2 bedrooms	2 spaces for 2 bedroom	4	4
		Retail (Sales)(SF)	2883 SF	1 space for each 350 SF	8	10
		Retail (Restaurant)(SF)	1500 SF	1 space for each 250 SF	6	6
	2 (107 Boyce)	One bedroom	8 bedrooms	1.5 spaces for 1 bedroom	12	12
		Two bedroom	2 bedrooms	2 spaces for 2 bedroom	4	4
		Retail (Sales)(SF)	3878 SF	1 space for each 350 SF	11	12
		Retail (Restaurant)(SF)	1500 SF	1 space for each 250 SF	6	6
	Subtotal (Bedrooms) + 10% Guest				30.3	-
	Subtotal (Retail) - 10% Reduction				28.2	-
TOTAL (Bedrooms + Retail)					59	62

PARKING CALCULATIONS (BUILDING 3)							
Area (ac.)	Building No.	Units	Number of Units	Requirement	Parking Required	Parking Provided	
0.300	3 (104+108 Boyce)	One Bedroom	4	1.5 spaces for 1 bedroom	6	8	
		Two Bedroom	4	2 spaces for 2 bedroom	8	6	
		Retail (Sales) (SF)	4,013	1 space for each 350 SF	11	12	
		Retail (Restaurant)(SF)	-	-	-	-	
		Subtotal (Bedrooms) + 10% Guest				15.4	-
		Subtotal (Retail) - 10% Reduction				10.3	-
TOTAL (Bedrooms + Retail)				26	26		

PARKING PROVIDED	
Standard:	84
Compact:	0
Parallel:	0
Accessible:	4
Total:	88
Accessible Spaces Required:	4
Bicycle Spaces Provided:	12



TEXAS ONE CALL SYSTEM
1-800-245-4545

UNDER PENALTY OF LAW, THE CONTRACTOR IS REQUIRED TO CONTACT THE TEXAS ONE CALL SYSTEM AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

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CAUTION - ELECTRICITY PRESENT

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NO.	REVISION	DATE



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY A. CAMPBELL KEY IV, PE #147977 ON THE DATE INDICATED. ANY ALTERATIONS OF THIS SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



Southwest Engineers

TBPE NO. F-1909
www.swengineers.com

HEADQUARTERS

307 Saint Lawrence Street, Gonzales TX 78629
P: 830.672.7546 F: 830.672.2034

CENTRAL TEXAS

205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4330

WARNING

IF THIS BAR DOES NOT MEASURE 1", THE DRAWING IS NOT TO SCALE

DRAWN BY: APCG / BS

CHECKED BY: HCD

SITE AND DIMENSION CONTROL PLAN

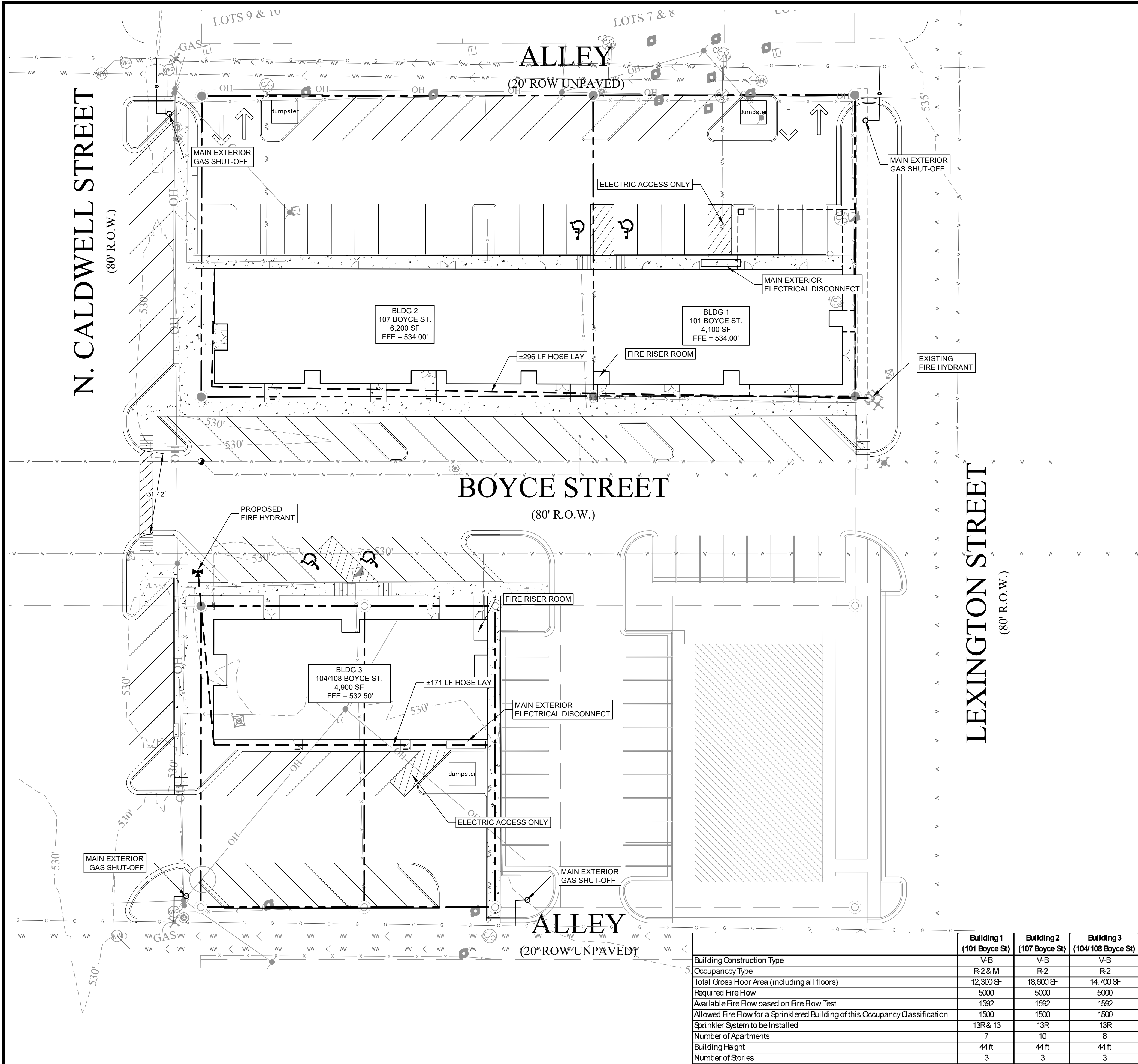
BOYCE STREET MIXED-USE DEVELOPMENT

101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

PROJECT NO. 1168-001-24

DRAWING NO. _____

SHEET 10 OF 27



TRAVIS COUNTY ESD NO. 12 SITE PLAN NOTES

- THE OWNER AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING TRAVIS COUNTY ESD NO. 12 TO ENSURE COMPLIANCE WITH ALL CODES, ORDINANCES, STATUTES AND PERMITTING REQUIREMENTS PRIOR TO CONSTRUCTION.
- PRIOR TO BEGINNING ANY CONSTRUCTION, THE APPROPRIATE TRAVIS COUNTY ESD NO. 12 PERMIT/APPROVAL SHALL BE OBTAINED. THE APPROVED PERMIT SHALL BE READILY AVAILABLE ON SITE TO TRAVIS COUNTY ESD NO. 12.
- PHASED OCCUPANCY SHALL BE PERMITTED ONLY WITH PRIOR APPROVAL FROM TRAVIS COUNTY ESD NO. 12, THE BUILDING DEPARTMENT, AND OTHER RELATED AGENCIES, AS APPLICABLE. REQUESTS FOR PHASED OCCUPANCY SHALL BE MADE PRIOR TO START OF CONSTRUCTION ONLY.
- PHASED INSTALLATION OF FIRE ACCESS ROADS SHALL REQUIRE AN ACCESS PHASING PLAN APPROVED BY TRAVIS COUNTY ESD NO. 12.
- PHASED CONSTRUCTION OF BUILDINGS SHALL REQUIRE A CONSTRUCTION PHASING PLAN APPROVED TRAVIS COUNTY ESD NO. 12.
- AN ALL-WEATHER FIRE LANE/FIRE APPARATUS ACCESS ROAD SHALL BE CONSTRUCTED TO SUPPORT THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 POUNDS.
- THE FIRE LANE/FIRE APPARATUS ACCESS ROAD SHALL PROVIDE FIRE DEPARTMENT ACCESS TO ALL PARTS OF COMBUSTIBLE STRUCTURES WITHIN 150 FEET OF THE FIRE LANE. THE APPROVED FIRE LANE/FIRE APPARATUS ACCESS ROAD MUST BE INSTALLED PRIOR TO AND MAINTAINED DURING CONSTRUCTION OF ANY COMBUSTIBLE STRUCTURE, UNLESS OTHERWISE APPROVED BY TRAVIS COUNTY ESD NO. 12.
- WHERE A FIRE HYDRANT IS LOCATED ON A FIRE LANE/FIRE APPARATUS ACCESS ROAD, THE MINIMUM ROAD WIDTH SHALL BE 26 FEET, EXCLUSIVE OF SHOULDERS. IF NO FIRE HYDRANT IS PROVIDED, THE MINIMUM FIRE LANE/FIRE APPARATUS ACCESS ROAD WIDTH SHALL BE 25 FEET.
- FIRE LANE WIDTH IS MEASURED FROM TOP FACE OF CURB TO TOP FACE OF CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G. ROLLED, RAMPED).
- THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS, STREET IMPROVEMENT AND PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH REQUIREMENTS SET FORTH BY THE FIRE CODE AND ADOPTED BY TRAVIS COUNTY ESD NO. 12.
- A MINIMUM VERTICAL CLEARANCE OF 14' SHALL BE PROVIDED FOR ALL FIRE LANES/FIRE APPARATUS ACCESS ROADS.
- INSIDE TURNING RADIUS OF FIRE LANES/FIRE APPARATUS ACCESS ROADS SHALL BE A MINIMUM OF 25 FEET. THE OUTSIDE RADIUS SHALL BE 50 FEET.
- DEAD-END FIRE LANES/FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET SHALL BE PROVIDED WITH APPROVED TURNAROUND PER 2015 IFC, APPENDIX D, TABLE D103.4.
- THE DIAMETER OF A CUL-DE-SAC SHALL BE 100 FEET MINIMUM PER CITY OF MANOR SPECIFICATIONS.
- ACCESS GATES SHALL BE APPROVED BY TRAVIS COUNTY ESD NO. 12 PRIOR TO INSTALLATION.
- ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH A KNOX OR BREAKAWAY PADLOCK.
- IF BUILDING EXCEEDS 30 FEET IN HEIGHT FROM GRADE PLANE, AN AERIAL FIRE APPARATUS ROAD, 15-30 FEET PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING SHALL BE IN PLACE. (2015 IFC, APPENDIX D105)
- FIRE LANES SHALL BE MARKED WITH FIRE LANE - TOW AWAY ZONE. THE CURBS SHALL BE PAINTED RED AND THE LETTERING SHALL BE 4" IN HEIGHT AND PAINTED WHITE. THE STENCIL SHALL BE PLACED AT INTERVALS OF 35 FEET.
- THE MINIMUM REQUIRED FIRE FLOW SHALL MEET OR EXCEED THE REQUIREMENTS OF APPENDIX B OF THE 2015 INTERNATIONAL FIRE CODE.
- THE MAXIMUM FIRE FLOW REDUCTION FOR A PROJECT SHALL BE BASED ON THE INFORMATION PROVIDED IN THE FIRE FLOW REDUCTION TABLE PROVIDED IN TRAVIS COUNTY ESD NO. 12 DESIGN DOCUMENTS.
- ALL FIRE HYDRANTS THAT ARE APPROVED AND INSTALLED AS A PART OF THE PROPOSED PROJECT SHALL BE PART OF A FIRE PROTECTION SYSTEM.
- THE UTILITY CONTRACTOR SHALL CONSULT TRAVIS COUNTY ESD NO. 12 REGARDING ANY REQUIREMENTS FOR UTILITY CONTRACTORS.
- THE APPROPRIATE INDIVIDUAL SHALL CONSULT WITH TRAVIS COUNTY ESD NO. 12 FOR REQUIREMENTS RELATED TO THE UNDERGROUND WATER MAIN LINE AND SUBSEQUENT INSTALLATION OF THE WATER MAIN/FIRE HYDRANT LINE.
- THE SUBMISSION OF AN UNDERGROUND WATER LINE (UTILITY) PLAN SHEET WITH THE SITE PLAN DOES NOT ALLEVATE THE NEED TO HAVE A SEPARATE UNDERGROUND PLAN SUBMITTED AND APPROVED BY TRAVIS COUNTY ESD NO. 12. THE APPROVAL OF A SITE PLAN DOES NOT CONSTITUTE THE APPROVAL OF AN UNDERGROUND SYSTEM.
- UNDERGROUND MAINS FEEDING HYDRANTS SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH NFPA 24, THE FIRE CODE AND TRAVIS COUNTY ESD NO. 12 ADOPTED AMENDMENTS, BY A CONTRACTOR LICENSED TO PERFORM THE INSTALLATION. THE ENTIRE MAIN MUST BE HYDROSTATICALLY TESTED AT ONE TIME. ISOLATION VALVES ARE PROVIDED BETWEEN TESTED SECTIONS.
- TRAVIS COUNTY ESD NO. 12 CONSIDERS THE PIPING FROM THE POINT OF CONNECTION AT THE MUNICIPAL WATER SUPPLY TO THE FIRE HYDRANTS AND THE BASE OF ANY FIRE SPRINKLER RISER PART OF A FIRE PROTECTION SYSTEM.
- THE PRESENCE OF DOMESTIC WATER SUPPLY TAPS OFF OF THE MAIN WATER LINE OR A SHARED SUPPLY LINE WITH FIRE SPRINKLER RISER DOES NOT OVERRIDE ANY REQUIREMENTS OF TRAVIS COUNTY ESD NO. 12 OR NFPA 24. NFPA 24 SHALL APPLY TO ALL UNDERGROUND INSTALLATIONS AND INSTALLATIONS SHALL BE PERMITTED AND INSPECTED BY TRAVIS COUNTY ESD NO. 12.
- FIRE HYDRANTS SHALL MEET THE MINIMUM STANDARD OF THE CITY OF MANOR AND TRAVIS COUNTY ESD NO. 12. (M511S-17A) AND PAINTED RED.
- THE 4.5" FIRE HYDRANT OUTLET MUST FACE THE FIRE LANE.
- THE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE 4.5" OPENING AT LEAST 18" ABOVE FINISHED GRADE.
- HYDRANTS SHALL BE PLACED WITHIN 100 FEET OF AN FDC.
- HYDRANTS SHALL BE LOCATED SO THAT A HOSE LINE RUNNING BETWEEN THE HYDRANT AND THE FIRE DEPARTMENT CONNECTIONS WILL NOT CROSS DRIVEWAYS, OBSTRUCT ROADS OR FIRE LANES, OR OTHERWISE INTERFERE WITH EMERGENCY VEHICLE RESPONSE AND EVACUATION OF A SITE.
- ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THEIR LOCATION.
- HYDRANTS SHALL BE PLACED AT NO MORE THAN 500 FEET APART, UNLESS OTHERWISE APPROVED BY TRAVIS COUNTY ESD NO. 12. (2015 IFC, TABLE C102.1)
- HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL NOT BE LOCATED BEHIND PARKING STALLS OR IN OTHER LOCATIONS WHERE THEY ARE LIKELY TO BE BLOCKED BY VEHICLES OR OTHER OBJECTS. WHENEVER POSSIBLE, HYDRANTS SHALL BE PLACED IN LANDSCAPE ISLANDS/PENINSULAS, STREET AND DRIVE AISLE INTERSECTIONS IN PREFERENCE TO MID-BLOCK LOCATIONS.
- HYDRANTS MUST BE LOCATED WITHIN THREE TO SIX FEET OF THE EDGE OF A FIRE ACCESS ROADWAY.
- HYDRANTS SHALL NOT BE LOCATED IN AREAS WHERE THEY WILL BE VISUALLY OR OPERATIONALLY OBSTRUCTED (BEHIND FENCES OR WALLS, IN BUSHES, BEHIND PARKING SPACES, ETC.).
- A MINIMUM 3-FOOT CLEARANCE SHALL BE PROVIDED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
- APPROVED FIRE HYDRANTS ARE TO BE CONSIDERED PART OF A FIRE PROTECTION SYSTEM AND SHALL NOT BE REMOVED OR TAMPERED WITH UNLESS APPROVED BY TRAVIS COUNTY ESD NO. 12. TAMPERING SHALL INCLUDE, BUT IS NOT LIMITED TO, PAINTING, MODIFYING, AND OBSTRUCTING ACCESS.
- FIRE SPRINKLER RISER ROOMS SHALL BE PROVIDED WITH EXTERIOR ACCESS. NO INTERIOR ACCESS SHALL BE PROVIDED. THE EXTERIOR ACCESS DOOR SHALL FACE A DESIGNATED FIRE LANE, UNLESS OTHERWISE APPROVED BY TRAVIS COUNTY ESD NO. 12.
- ANY FIRE HYDRANTS THAT HAVE NOT PASSED AN ACCEPTANCE TEST IN THE PRESENCE OF A TRAVIS COUNTY ESD NO. 12 INSPECTOR OR TEMPORARILY INOPERATIVE SHOULD BE WRAPPED WITH A BLACK BAG.
- THE BUILDING ADDRESS SHALL BE CLEARLY VISIBLE FROM THE STREET TO WHICH IT IS ADDRESSED. FINAL NUMBERS HAVE TO BE AT LEAST 6" IN HEIGHT AND OF CONTRASTING COLOR WITH THE BACKGROUND UPON WHICH THEY ARE PLACED.
- TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE INSPECTED BY TRAVIS COUNTY ESD NO. 12 TO ENSURE THE APPROPRIATE REQUIREMENTS ARE MET.
- PRIOR TO OCCUPANCY, A CLOSE OUT INSPECTION TEST OF FIRE HYDRANT FLOW IS REQUIRED BY TRAVIS COUNTY ESD NO. 12. THE CONTRACTOR SHALL CONTACT TRAVIS COUNTY ESD NO. 12 TO SCHEDULE THE ACCEPTANCE TEST. IF ANY HYDRANT FAILS THE FIRE FLOW TEST, THE ENTIRE SYSTEM FAILS THE FIRE FLOW TEST.
- APPROVAL OF THIS PLAN SUBMITTAL DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, CODES, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE LICENSED DESIGNER AND/OR PROFESSIONAL ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF THE SUBMITTAL WHETHER OR NOT THE PLAN SUBMITTAL IS REVIEWED AND APPROVED FOR CODE COMPLIANCE BY TRAVIS COUNTY EMERGENCY SERVICES DISTRICT NO. 12.

LEGEND

- PROPERTY BOUNDARY
- EASEMENT LINE
- FIRE LANE
- CURB AND GUTTER
- LOC
- LIMITS OF CONSTRUCTION
- ACCESSIBLE ROUTE
- HOSE LAY
- SIGN
- TREE TO BE KEPT
- PROTECTED TREE TO BE KEPT

NOTE:

- FIRE PROTECTION ACCESS TO BE PROVIDED VIA N. CALDWELL STREET AND BOYCE STREET.

TEXAS ONE CALL SYSTEM
1-800-245-4545

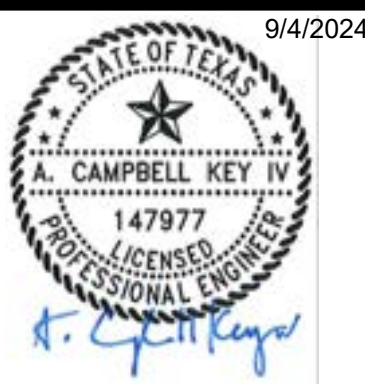
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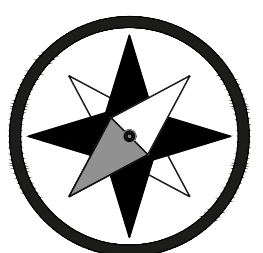
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NO.	REVISION	DATE



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Engineers**TBPE NO. F-1909
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HEADQUARTERS

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CENTRAL TEXAS

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P: 512.312.4330

WARNING

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FIRE PROTECTION PLAN

**BOYCE STREET MIXED-USE
DEVELOPMENT**

101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653

PROJECT NO. 1168-001-24

DRAWING NO. _____

SHEET 11 OF 27




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AT LEAST 48 HOURS BEFORE STARTING EXCAVATION.

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9/4/2024



A circular professional engineer seal for the State of Texas. The outer ring contains the text "STATE OF TEXAS" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by stars. The center features a five-pointed star. Below the star, the text "A. CAMPBELL KEY IV" is written, followed by the license number "147977" and the word "LICENSED". A handwritten signature in blue ink, "A. Campbell Key IV", is written across the bottom of the seal.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY
A. CAMPBELL KEY IV, PE
#147977 ON
THE DATE INDICATED. ANY
ALTERATIONS OF THIS SEALED
DOCUMENT WITHOUT PROPER
NOTIFICATION TO THE
RESPONSIBLE ENGINEER IS AN
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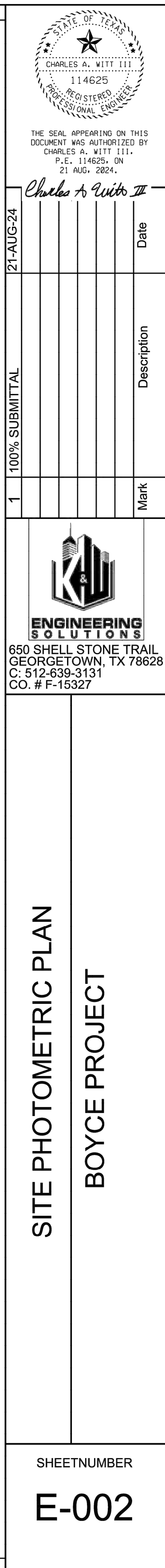
205 Cimarron Park Loop, Ste. B, Buda TX 78610
P: 512.312.4336

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101, 104, 107 & 108 W BOYCE STREET, MANOR, TEXAS, 78653


SHEET 17 OF 27



**Southwest
Engineers**

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CHECKED BY: HCD

PROJECT NO. 1168-001-24

DRAWING NO. _____

SHEET 26 OF 27



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: November 13, 2024
PREPARED BY: Michael Burrell, Interim Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Setback Variance Request for three (3) lots on 0.96 acres, more or less and being located at what is currently known as LOTS 1-5 BLOCK 43 & LOTS 16-20 BLOCK 29 TOWN OF MANOR Manor, TX.

Applicant: BuildBlock

Owner: Jiwon Jung

BACKGROUND/SUMMARY:

This variance request is for the short form plat of the Boyce mixed use development at 101, 104, 107, and 108 Boyce St. Manor, TX which is currently under review. The intention is to reduce the setbacks on the lots to allow for more usability of the full site. Currently the property is zoned for Downtown Business (DB) which requires 20' front setbacks, 10' side setbacks to non-residential uses, 15' streetside setbacks, and 10' rear setback to non-residential. They are requesting all front and streetside setbacks to be 5' and all rear setbacks to be 10'. This allows the applicant to utilize a lot configuration that provides for more internal parking to accommodate their mixed-use buildings, parking requirements, and other on-site requirements.

LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Short Form Plat

ACTIONS:

<i>Discretion</i>	Discretionary
<i>Subdivision Review Type</i>	Not Applicable
<i>Actions</i>	Approve, Approve with conditions, Deny

STAFF RECOMMENDATION:

It is the City Staff's recommendation that the Planning and Zoning Commission approve a setback variance request for the short form plat of LOTS 1-5 BLOCK 43 & LOTS 16-20 BLOCK 29 TOWN OF MANOR Manor, TX.

PLANNING & ZONING COMMISSION: **X** **Recommend Approval** **Disapproval** **None**

OWNER: JIWON JUNG
101 W. BOYCE STREET
MANOR, TEXAS 78653

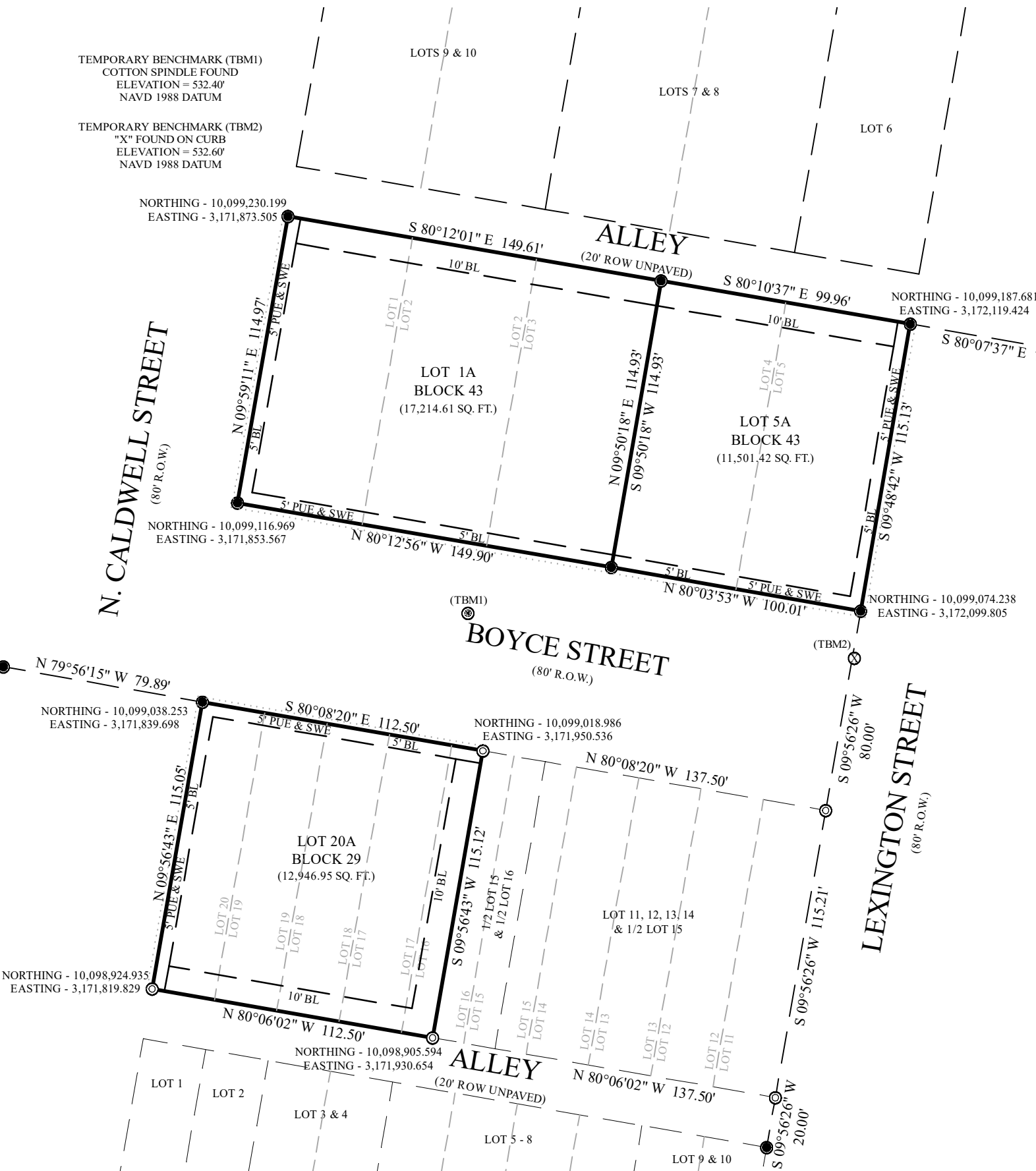
ACREAGE: 41,662.98 SQ. FT. - 0.96 ACRES
NUMBER OF BLOCKS: 2
NUMBER OF LOTS: 3

SUBMITTAL DATE: 02/22/2024
DATE OF REVISION: -

SURVEYOR: ALL STAR LAND SURVEYING - FIRM: 10135000
9020 ANDERSON MILL ROAD, AUSTIN, TEXAS 78729
(512) 249-8149 REF# A0204024

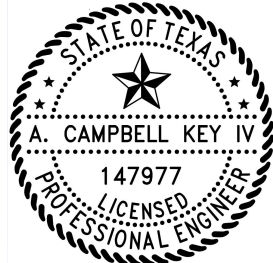
ENGINEER: SOUTHWEST ENGINEERS, INC.
FIRM # F-1909
2631 GATTIS SCHOOL RD., BLDG. 2, STE. 270
ROUND ROCK, TEXAS 78664

PROJECT DATUM: NORTH AMERICAN DATUM 1983 (NAD 83)
PROJECTION: TEXAS STATE PLANE -
CENTRAL ZONE (4203)
UNITS: US SURVEY FEET



I, CAMPBELL KEY, I.V., AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND COMPLIES WITH THE ENGINEERING RELATED PORTIONS OF THE CITY OF MANOR LAND DEVELOPMENT CODE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

CAMPBELL KEY, I.V., P.E.
LICENSE NO. 147977
SOUTHWEST ENGINEERS FIRM # F-1909
2631 GATTIS SCHOOL RD., BLDG. 2, STE. 270
ROUND ROCK, TEXAS 78664



DATE

I, EDWARD C. RUMSEY, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON THE GROUND SURVEY OF THE LAND AND THAT ALL CORNERS MONUMENTS SHOWN THEREON, WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE TRAVIS COUNTY, TEXAS CODES AND ORDINANCES, INCLUDING SECTION 131.25(e), AND CHAPTER 482 OF THE TRAVIS COUNTY, CODE, AND THAT ALL KNOWN EASEMENTS WITHIN THE BOUNDARY OF THE PLAT ARE SHOWN OR DESCRIBED HEREON. I HEREBY ACKNOWLEDGE THAT ANY MISREPRESENTATION REGARDING THIS CERTIFICATION CONSTITUTES A VIOLATION OF THE ACT AND MY RESULT IN CRIMINAL, CIVIL, AND/OR ADMINISTRATIVE PENALTIES AGAINST ME AS AUTHORIZED BY THE ACT.



EDWARD C. RUMSEY R.P.L.S. # 5729
REF# A0204024

DATE

AMENDED PLAT OF LOTS 1-5 BLOCK 43 & LOTS 16-20 BLOCK 29 TOWN OF MANOR

STATE OF TEXAS
COUNTY OF TRAVIS

KNOW ALL MEN BY THESE PRESENTS:

THAT I, JIWON JUNG, BEING THE OWNER OF 0.96 ACRE OF LAND, MORE OR LESS, OUT OF THE JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546, BEING CONVEYED TO ME IN WARRANTY DEED RECORDED IN DOCUMENT NO(S). 2021131120, 2021121545, 2021184718 & 2023050595, OFFICIAL PUBLIC RECORDS, TRAVIS COUNTY, TEXAS, DO HEREBY PLAT SAID 1 ACRES, PURSUANT TO CHAPTER 212 & 232 OF THE TEXAS LOCAL GOVERNMENT CODE, IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS:

"AMENDED PLAT OF LOTS 1-5 BLOCK 43 & LOTS 16-20 BLOCK 29, TOWN OF MANOR"

AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS THE ____ DAY OF _____, 20__ A.D.

JIWON JUNG
101 W BOYCE STREET
MANOR, TEXAS 78653

STATE OF TEXAS
COUNTY OF TRAVIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JIWON JUNG, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE ____ DAY OF _____, 20__ A.D.

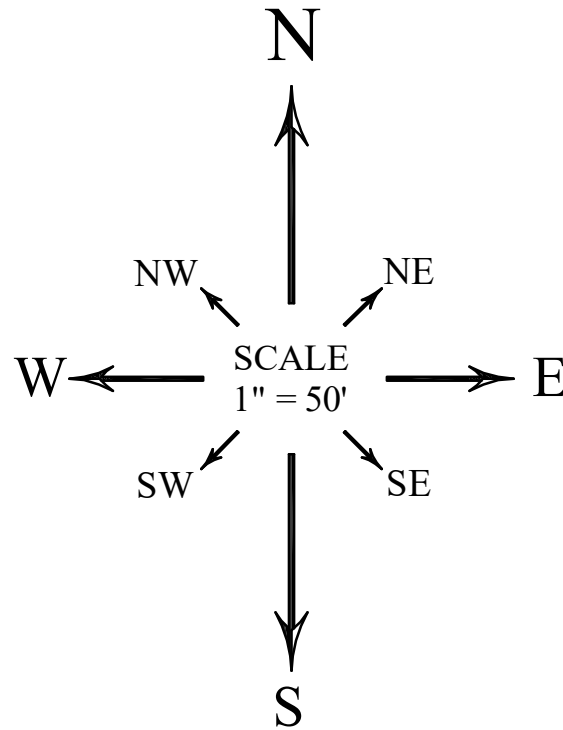
NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME MY COMMISSION EXPIRES

NOTES:

- 1) WATER AND WASTEWATER SERVICE SHALL BE PROVIDED BY THE CITY OF MANOR.
- 2) ALL PRIVATE STREET RIGHTS-OF-WAY ARE ALSO DRAINAGE EASEMENTS AND PUBLIC UTILITY EASEMENTS. A VARIANCE HAS BEEN REQUESTED FOR DRAINAGE.
- 3) PUBLIC SIDEWALKS SHALL BE CONSTRUCTED WITHIN THE FOLLOWING RIGHTS-OF-WAY: BOYCE STREET, N. CALDWELL STREET & LEXINGTON STREET
- 4) A FRONT AND STREETSIDE YARD SETBACK TO BE FIVE (5') FOOT, AND REAR, AND EXTERIOR SIDE SETBACK AND REAR SETBACK FOLLOWS THE STANDARDS. A VARIANCE HAS BEEN REQUESTED FOR SETBACKS.
- 5) LOTS 5A, 1A AND 20A ARE EXEMPT FROM DETENTION REQUIREMENTS.
- 6) BUILDING SETBACK LINES SHALL BE IN CONFORMANCE WITH THE CITY OF MANOR REGULATIONS AT THE TIME OF THE BUILDING PERMIT APPLICATION. A VARIANCE HAS BEEN REQUESTED FOR SETBACKS.
- 7) ZONING FOR THIS SUBDIVISION IS (DB) DISTRICT.
- 8) THE PROPOSED USE OF THIS SUBDIVISION IS DOWNTOWN BUSINESS.
- 9) PERFORMANCE AND MAINTENANCE GUARANTEES AS REQUIRED BY THE CITY.
- 10) THE BEARINGS, DISTANCES, AREAS AND COORDINATES SHOWN HEREON ARE TEXAS COORDINATE SYSTEM GRID, CENTRAL ZONE (FIPS 4203) (NAD'83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS). THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.
- 11) PROPERTY OWNERS OF THE LOTS ON WHICH THE (INSERT EASEMENT TYPE) EASEMENTS ARE LOCATED AS SHOWN ON THIS PLAT SHALL PROVIDE ACCESS TO THE CITY OF MANOR IN ORDER FOR THE CITY OF MANOR TO INSPECT AND MAINTAIN THE UNDERGROUND FACILITIES LOCATED WITHIN ANY OF SUCH EASEMENTS.
- 12) A 5' PUBLIC UTILITY AND SIDEWALK EASEMENT IS HEREBY DEDICATED ALONG AND ADJACENT TO ALL STREET RIGHTS OF WAY.
- 13) PUBLIC SIDEWALKS BUILT TO CITY OF MANOR STANDARDS, ARE REQUIRED ALONG ALL STREETS WITHIN THIS SUBDIVISION, THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE ADJOINING LOT BEING OCCUPIED, FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY, BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE COVERING BODY OR UTILITY COMPANY.
- 14) DRIVEWAY AND DRAINAGE CONSTRUCTION STANDARDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE CITY OF MANOR STANDARDS UNLESS OTHERWISE SPECIFIED AND APPROVE BY THE CITY OF MANOR.
- 15) NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTION IS MADE TO THE CITY OF MANOR WATER AND WASTEWATER SYSTEM.
- 16) NO BUILDINGS SHALL BE CONSTRUCTED OR MAINTAINED WITHIN EASEMENTS OR THE UNDERGROUND STORM WATER FACILITIES EASEMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF MANOR. THE CITY OF MANOR IS NOT RESPONSIBLE FOR THE DAMAGE TO OR REPLACING ANY PORTIONS OF ANY FENCING, LANDSCAPING OR OTHER IMPROVEMENTS CONSTRUCTED WITHIN ANY OF SUCH THREE EASEMENTS WHICH WERE NOT APPROVED BY THE CITY OF MANOR BEFORE THEIR CONSTRUCTION DUE TO THE NECESSARY AND CUSTOMARY WORK BY THE CITY OF MANOR IN REPAIRING, MAINTAINING, OR REPLACING THE UNDERGROUND PIPES AND RELATED FACILITIES WITHIN SUCH EASEMENTS.
- 17) ALL STREETS, DRAINAGE IMPROVEMENTS, SIDEWALKS, WATER AND WASTEWATER LINES, AND EROSION CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF MANOR STANDARDS.
- 18) EROSION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON INDIVIDUAL LOTS, INCLUDING DETACHED SINGLE FAMILY IN ACCORDANCE WITH SECTION 1.4.0 OF THE CITY OF AUSTIN ENVIRONMENTAL CONTROL MANUAL.
- 19) ALL STREETS IN THE SUBDIVISION SHALL BE CONSTRUCTED TO CITY OF MANOR URBAN STREET STANDARDS. ALL STREETS WILL BE CONSTRUCTED WITH CURB AND GUTTER.
- 20) PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF MANOR.
- 21) ANY STRUCTURE CONSTRUCTED WITHIN THE 10' BUILDING SETBACK LINE ALONG THE EAST SIDE OF LOT 20A, BLOCK 29, HAS TO MEET THE ADOPTED FIRE AND BUILDING CODES IN ORDER TO ENCROACH.

CASE NUMBER - 2024-P-1637-SF



BEARING BASIS:
BEARINGS ARE GRID NORTH BASED ON THE TEXAS COORDINATE SYSTEM
CENTRAL TEXAS ZONE (4203) NAD83 HARN HORIZONTAL CONTROL.

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE THE 3RD DAY OF JUNE, 2024.

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, ON THIS THE ____ OF _____, 20__ A.D.

APPROVED:

ATTEST:

FELIZ PAIZ, CHAIRPERSON

LLUVIA T. ALMARAZ, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL, CITY OF MANOR, TEXAS, ON THIS THE ____ OF _____, 20__ A.D.

APPROVED:

ATTEST:

DR. CHRISTOPHER HARVEY,
MAYOR OF THE CITY OF MANOR, TEXAS

LLUVIA T. ALMARAZ
CITY SECRETARY

STATE OF TEXAS

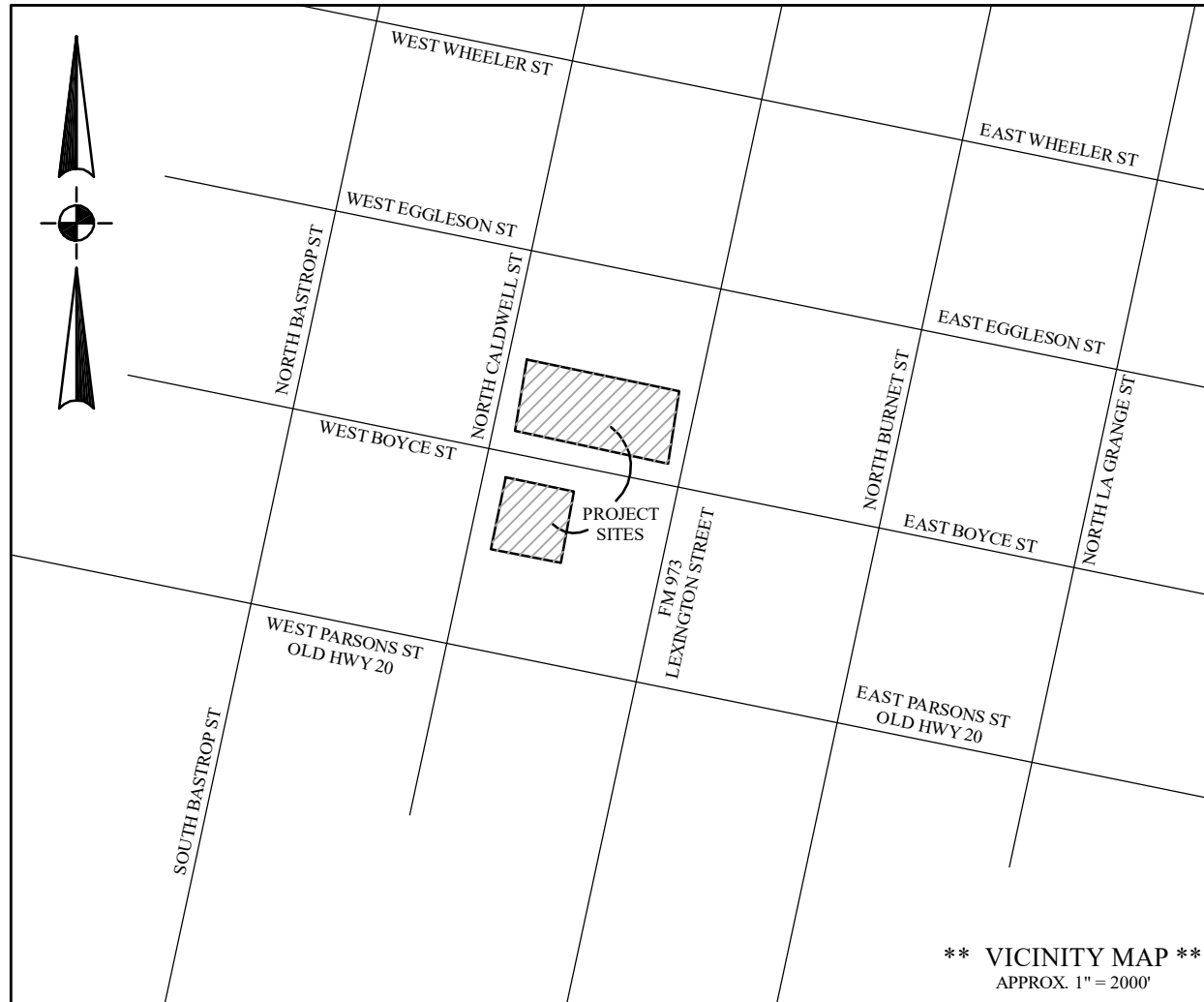
COUNTY OF TRAVIS

KNOW ALL MEN BY THESE PRESENTS:

I, DYANA LIMON-MERCADO, COUNTY CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, 20__ A.D. AT ____ O'CLOCK ____ M., IN THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, UNDER DOCUMENT NUMBER ____ FILED FOR RECORD ON THE ____ DAY OF _____, 20__ A.D.

DYANA LIMON-MERCADO
COUNTY CLERK
TRAVIS COUNTY, TEXAS

DEPUTY



** VICINITY MAP **
APPROX. 1" = 2000'

ALLSTAR Land surveying
9020 ANDERSON MILL RD
AUSTIN, TEXAS 78729
(512) 249-8149 PHONE
(512) 331-5217 FAX
TBPELS FIRM NO. 10135000

SCALE: 1" = 50'

BEGIN DATE: 02/22/2024

DRAWN BY: DAVID BAK

JOB NO.: A0204024

REVISED DATE: -

Item 8.

AMENDED PLAT OF LOTS 1-5 BLOCK 43 & LOTS 16-20 BLOCK 29 TOWN OF MANOR

BEING ALL OF THAT CERTAIN 0.96 ACRE TRACT IN THE JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546, TRAVIS COUNTY, TEXAS BEING THE SAME LOTS 1-5 BLOCK 43, 1/2 OF LOT 16, LOT 17-20, BLOCK 29, TOWN OF MANOR, CONVEYED TO JIWON JUNG, RECORDED IN DOCUMENT NO(S). 2021131120, 2021121545, 2021184718 & 2023050595, OFFICIAL PUBLIC RECORDS, BASTROP COUNTY, TEXAS.

F.I.R.M. MAP INFORMATION

THIS PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN AND HAS A ZONE "X" RATING AS SHOWN ON THE FLOOD INSURANCE RATE MAPS

F.I.R.M. MAP NO.: 48453C04851
PANEL: 04851
DATED: 08/18/2014

THIS CERTIFICATION IS FOR INSURANCE PURPOSES ONLY AND IS NOT A GUARANTEE THAT THIS PROPERTY WILL OR WILL NOT FLOOD. CONTACT YOUR LOCAL FLOOD PLAIN ADMINISTRATOR FOR THE CURRENT STATUS OF THIS TRACT.

SHEET

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OF 1