



# **CITY OF LEEDS, ALABAMA**

## **PLANNING AND ZONING COMMISSION AGENDA**

Leeds Civic Center Meeting Room -1000 Park Drive, Leeds, Alabama 35094

**February 13, 2020 @ 5:00 PM**

---

**CALL TO ORDER:**

**ROLL CALL:**

**DETERMINATION OF QUORUM:**

**APPROVAL OF MINUTES FROM PREVIOUS MEETING(S):**

**OLD BUSINESS:**

**NEW BUSINESS:**

1. [SA20-000001](#): A request by Andrew and Lacey Barnwell, Applicant and Owner, to subdivide a parcel located at 1732 Whitmire St, Leeds, AL 35094, TPID 2500164012005000, Jefferson County, R-2 Single-Family. The proposed subdivision will consist of 2 lots.
2. SA20-000007 - FINAL PLAT - A request by AMAC Builders Group for final plat approval of the "Cottages at Lane" Subdivision located at 1916 Lane Dr, Leeds, AL 35094, TPID 2500162012008000, Jefferson County, zoned R-2, Single-Family District.
3. Election of Officers.

**PUBLIC ADDRESS:**

**OTHER BUSINESS:**

**CHAIRPERSON'S COMMUNICATION:**

**ADJOURNMENT:**

---

In compliance with the Americans with Disabilities Act, those requiring accommodation for Council meetings should notify the City Clerk's Office at least 24 hours prior to the meeting at 205-699-2585.

# NOTICE OF PUBLIC HEARING

City of Leeds, Alabama  
Planning and Zoning Commission

Application for Subdivision  
Resurvey of W.N. Lee Subdivision

## APPLICATION

An application for a record subdivision plat approval has been filed with the City of Leeds Planning and Zoning Commission for “Resurvey of W.N. Lee Subdivision”. This proposed subdivision consists of 2 lots and is zoned R-2, Single Family District.

## PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission is vested with the responsibility and authority of determining conformity with the City of Leeds Subdivision Regulations.

<b>CASE #:</b>	<b>SA20-000001</b>
<b>APPLICANT NAME:</b>	<b>ANDREW AND LACEY BARNWELL</b>
<b>PROPERTY OWNER:</b>	<b>ANDREW AND LACEY BARNWELL</b>
<b>TAX PARCEL ID#s:</b>	<b>2500164012005000</b>
<b>CASE ADDRESS:</b>	<b>1732 WHITMIRE ST, LEEDS, AL 35094</b>
	<b>JEFFERSON COUNTY</b>
<b>ZONED:</b>	<b>R-2, SINGLE FMAILY DISTRICT</b>

**NOTICE IS HEREBY GIVEN** that the Planning and Zoning Commission will hold a public hearing on the proposed RECORD plat. The hearing is scheduled on

**Date:** Thursday, February 13, 2020  
**Time:** 5:00 p.m.  
**Place:** Leeds Civic Center Meeting Room  
1000 Park Drive  
Leeds, AL 35094

**Public Information:** Any interested persons or their representative may appear at the meeting and comment on the application. Written comments may also be mailed to the Commission.

For more information about the application and related issues or to schedule an appointment:

**Phone:** 205-699-0943  
**E-mail:** [development@leedsalabama.gov](mailto:development@leedsalabama.gov)

**Mailing Address:**  
City of Leeds  
Planning and Zoning Commission  
1404 9<sup>th</sup> Street  
Leeds, AL 35094

For more information, visit [www.leedsalabama.org](http://www.leedsalabama.org)

**REESER SURVEYING & MAPPING, LLC**

15788 ALABAMA HIGHWAY #174  
 Pell City, Alabama 35125  
 Phone 205-338-2558  
 reesersurveying@gmail.com

**SURVEYOR'S CERTIFICATE**

I, Darrell E. Reeser, the undersigned, do hereby certify that I am a Registered Land Surveyor in the State of Alabama, and that the RE-SURVEY OF LOT 5 BLOCK 2 OF W.N. LEE'S SURVEY, consisting of one sheet correctly represents a survey made under my supervision on the 30th day of DECEMBER, 2019; that all monuments shown hereon actually exist; that the positions are accurately shown; that said plat shows the subdivisions into which it is proposed to divide said lands, giving the bearings and lengths of said boundaries at said lot and its number and shows the relation of the lands to the Government Survey of Section 16, Township 17 South, Range 1 East, Jefferson County, Alabama; that iron pins have been installed at all lot corners and curve points as shown and designated by small open circles on said plat or map; and that all parts of this survey and drawing have been completed in accordance with the requirements of the Standards for the Practice of Land Surveying in the State of Alabama to the best of my knowledge, information, and belief.

Darrell E. Reeser PLS No. 12158

STATE OF ALABAMA  
 JEFFERSON COUNTY

I, \_\_\_\_\_, a Notary Public in and for said County and State do hereby certify that Darrell E. Reeser, a Registered Land Surveyor in the State of Alabama, and who is known to me, acknowledged before me on this date after being duly informed of the contents of the said certificate, executed the same voluntarily as an act of said Land Surveyor, given under my hand and seal this the \_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public  
 My commission expires \_\_\_\_\_.

**OWNER'S CERTIFICATE AND DEDICATION**

I, the undersigned John Whitmere, do hereby certify that I am the owner of and the only person having any right, title, or interest in the land shown on the plat of RE-SURVEY OF LOT 5 BLOCK 2 OF W.N. LEE'S SURVEY, situated in the Southeast 1/4 of the Southeast 1/4 of Section 16, Township 17 South, Range 1 East, Jefferson County, and the plat represents a correct survey of the above described property made with my consent, and that I hereby dedicate to the public use all the streets as shown on said plat. The easements shown on said plat are created for the installation and maintenance of public utilities within and without this subdivision. I hereby guarantee a clear title to all lands so dedicated from myself and my heirs or assigns forever, and has caused the same to be released from all encumbrances so that the title is clear, except as shown in the Abstractor's Certificate.

WITNESS \_\_\_\_\_ hand, this the \_\_\_\_ day of \_\_\_\_\_, 2020.  
 John Whitmere

STATE OF ALABAMA  
 JEFFERSON COUNTY

I, \_\_\_\_\_, a Notary Public in and for said County and State do hereby certify that Darrell E. Reeser, a Registered Land Surveyor in the State of Alabama, and who is known to me, acknowledged before me on this date after being duly informed of the contents of the said certificate, executed the same voluntarily as an act of said Land Surveyor, given under my hand and seal this the \_\_\_\_ day of \_\_\_\_\_, 2020.

Notary Public  
 My commission expires \_\_\_\_\_.

**CITY OF LEEDS CERTIFICATE OF APPROVAL FOR RECORDING**

I hereby certify that the subdivision plat for RE-SURVEY OF LOT 5 BLOCK 2 OF W.N. LEE'S SURVEY has been found to comply with the subdivision regulations for the City of Leeds, Alabama, with the exception of such variances, if any, are noted in the minutes of the Planning Commission; that it has been approved for recording in the Office of the Probate Judge of Jefferson County, Alabama, this the \_\_\_\_ day of \_\_\_\_\_, 2020.

Chairman of Planning Commission

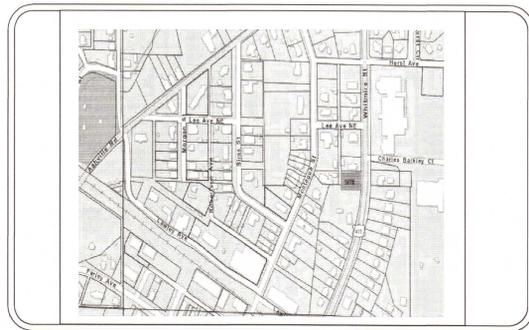
**CITY OF LEEDS, COUNCIL ACCEPTANCE OF PUBLIC DEDICATION**

Be it Resolved by the City Council of the City of Leeds, Alabama, that the dedications shown on the attached plat of RE-SURVEY OF LOT 5 BLOCK 2 OF W.N. LEE'S SURVEY are hereby accepted.  
 Adopted by the City Council of the City of Leeds, this the \_\_\_\_ day of \_\_\_\_\_, 2020.

Mayor \_\_\_\_\_ Date \_\_\_\_\_ Clerk \_\_\_\_\_ Date \_\_\_\_\_

ZONED R-4 SINGLE FAMILY RESIDENTIAL

**FLOOD NOTE:** By graphic plotting only, this property was found to be located within Flood Zone(s) \_\_\_\_\_ of the Flood Insurance Rate Map, Community Panel No. \_\_\_\_\_ 01073C0441G which bears an effective date of 9/29/2006 and is not in a Special Flood Hazard Area. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or an application for a variance from the Federal Emergency Management Agency.



Vicinity Map - Not To Scale

- LEGEND:**
- AE - AERIAL EASEMENT
  - BL - BUILDING LINE
  - BLDG - BUILDING
  - ESMT - EASEMENT
  - FND - FOUND
  - IP - IRON PIPE
  - IR - IRON ROD
  - POB - POINT OF BEGINNING
  - POC - POINT OF COMMENCING
  - PS - PARKING SPACES
  - ROW - RIGHT OF WAY
  - SQ. FT. - SQUARE FEET
  - UE - UTILITY EASEMENT
  - x - BARBED WIRE FENCE
  - o - CHAIN LINK FENCE
  - o - CONCRETE
  - o - COVERED CONCRETE
  - E- OVERHEAD ELECTRIC LINES
  - WOOD FENCE
  - WROUGHT IRON FENCE
  - GUY WIRE
  - o - CATCH BASIN
  - o - CABLE BOX
  - o - ELECTRIC BOX
  - o - ELECTRIC MH
  - o - FIRE HYDRANT
  - o - FIBER OPTIC MARKER
  - o - FLAG POLE
  - o - GAS METER
  - o - GAS VALVE
  - o - CURB INLET
  - o - LIGHT POLE
  - o - MANHOLE
  - o - IRRIGATION VALVE
  - o - GAS MARKER
  - o - POWER POLE
  - o - POWER POLE & LIGHT
  - o - SANITARY MANHOLE
  - o - STORM MANHOLE
  - o - TELEPHONE PEDESTAL
  - o - TRANSFORMER
  - o - TRAFFIC SIGNAL BOX
  - o - TRAFFIC SIGNAL POLE
  - o - UNDERGROUND CABLE MARKER
  - o - WATER WELL
  - o - WATER METER
  - o - WATER VALVE
  - o - BENCHMARK
  - o - RAILROAD SIGNAL
  - o - HANDICAP PARKING
  - o - SANITARY CLEANOUT
  - o - SIGN
  - o - AIR CONDITION UNIT
  - o - IRRIGATION BOX
  - o - Storm Pipe
  - o - Found 1/2" Rebar

**CURVE - C1**  
**CENTRAL ANGLE=1°34'13"**  
**R=1097.19'**  
**L=30.07'**  
**LC=30.07'**

**MONTAGUE STREET**

**E.Y. REW'S SUBDIVISION**  
 MB 13 PAGE 58

**W.N. LEE'S SURVEY**  
 BLOCK 2  
 MB 13 PAGE 05

**6**

WILLIAM D. & BARBARA HARKINS  
 1675 MONTAGUE STREET  
 LEEDS, AL 35094-1283  
 PARCEL ID#2500164012010.000

JAMES H. & BETTY JO MOORE  
 8317 FARLEY AVENUE  
 LEEDS, AL 35094-4111  
 PARCEL ID#2500164012007.000

WILLIAM D. & BARBARA HARKINS  
 1675 MONTAGUE STREET  
 LEEDS, AL 35094-1283  
 PARCEL ID#2500164012010.000

**4**

DIANNE S. THOMPSON  
 1669 MONTAGUE STREET  
 LEEDS, AL 35094-1093  
 PARCEL ID#2500164012011.000

**5**

JAMES BARNWELL  
 1732 WHITMIRE STREET  
 LEEDS, AL 35094  
 PARCEL ID#2500164012005.000

JAMES BARNWELL  
 1732 WHITMIRE STREET  
 LEEDS, AL 35094  
 PARCEL ID#2500164012005.000

JOSEPH D. JR. & ANDREA MCCARTHY  
 1657 MONTAGUE STREET  
 LEEDS, AL 35094-1283  
 PARCEL ID#2500164012012.000

**4**

CLK INVESTMENTS LLC  
 1171 ASHVILLE ROAD  
 LEEDS, AL 35094-1269  
 PARCEL ID#2500164012013.000

**3**

ANTONIO & JUAN RIVAS  
 1728 WHITMIRE STREET  
 LEEDS, AL 35094-1272  
 PARCEL ID#2500164012004.007

**7**

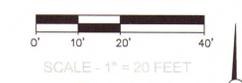
**WHITMIRE PARK**  
 MB 183 PAGE 38

**6**

**1**

**2**

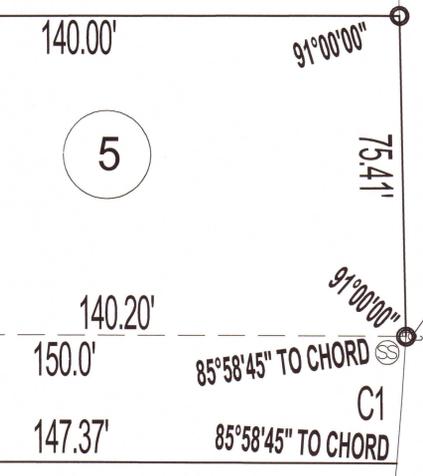
**3**



SCALE - 1" = 20 FEET

**WHITMIRE STREET (U.S. 411) (70.0'RAW)**

BASIS OF BEARING - SUBDIVISION PLAT BEARINGS



**CENTRAL ANGLE=3°40'38"**  
**R=1097.19'**  
**L=70.41'**  
**LC=70.40'**

**CENTRAL ANGLE=9°28'57"**  
**R=1097.19'**  
**L=181.58'**  
**LC=181.38'**

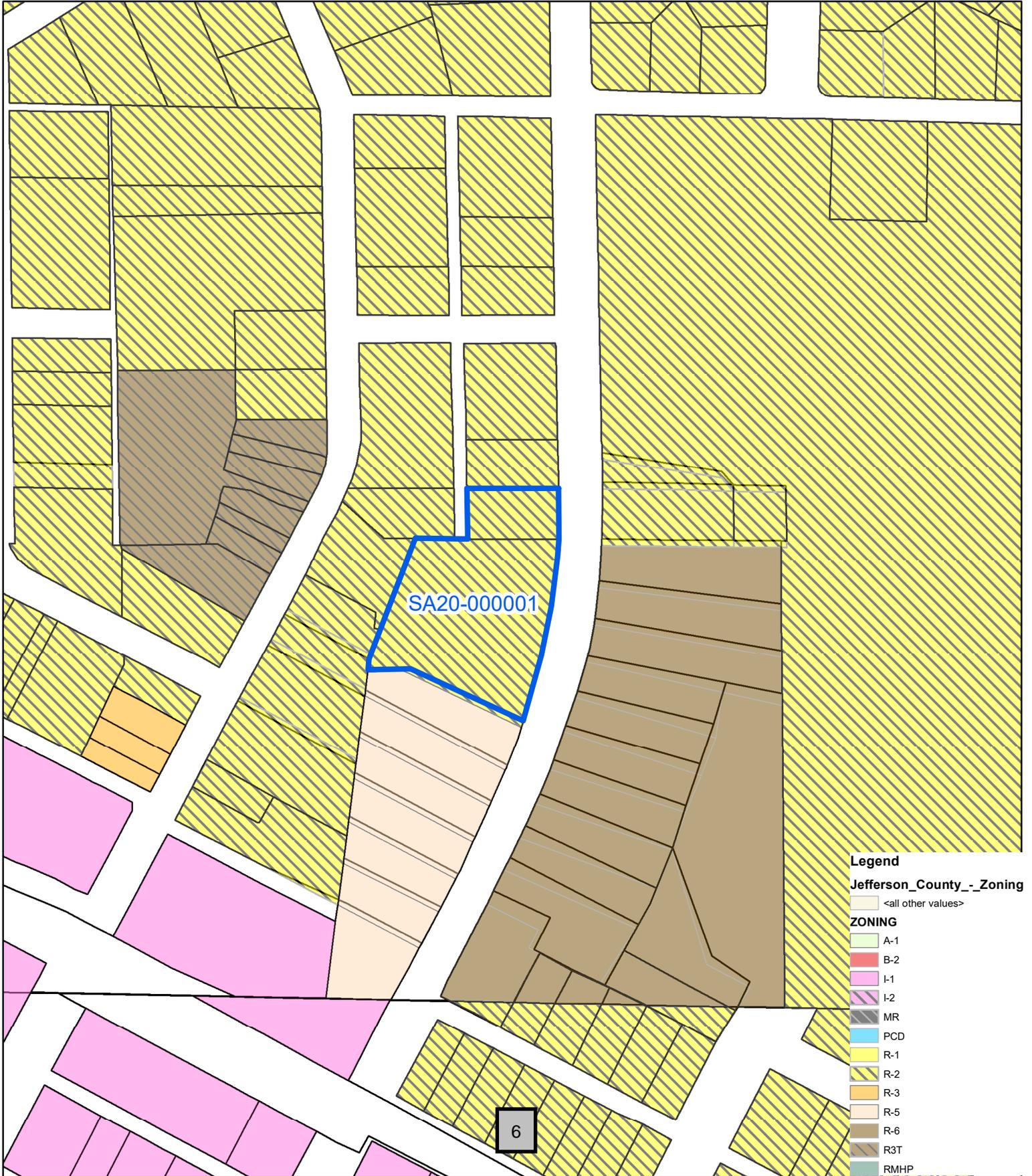
SA20-000001  
AERIAL  
2500164012005000  
1732 WHITMIRE ST.



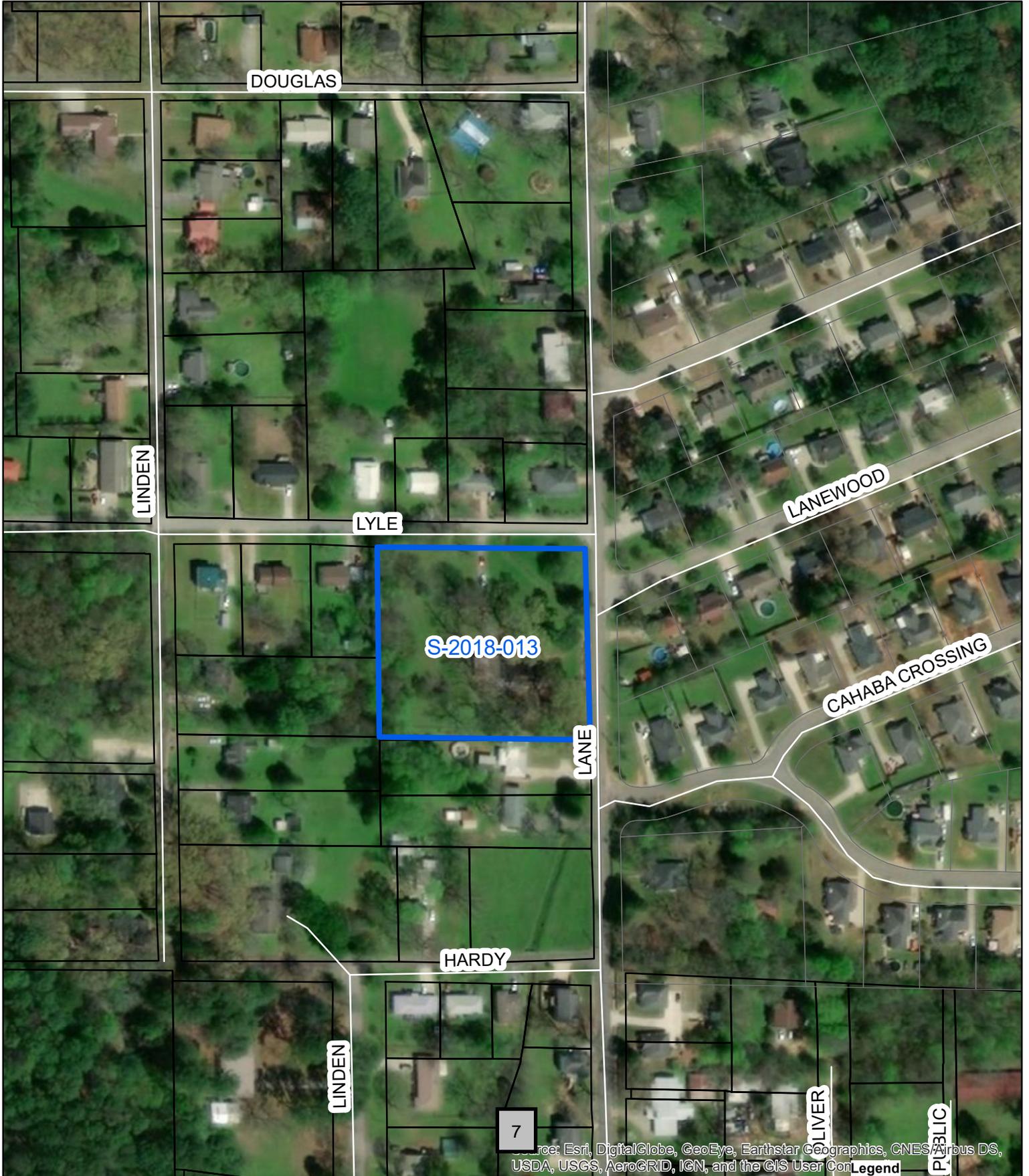
SA20-000001  
STREET  
2500164012005000  
1732 WHITMIRE ST.



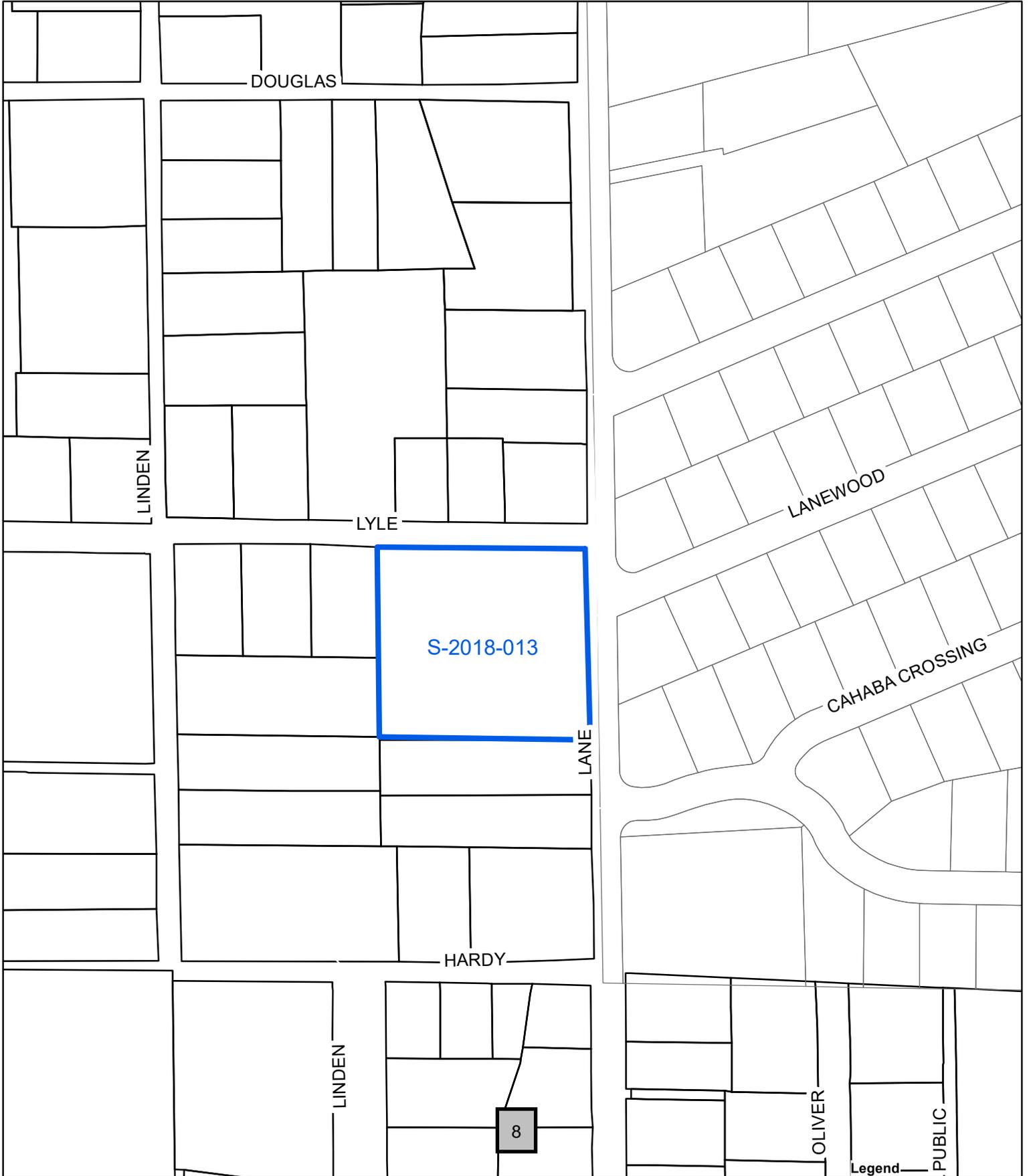
SA20-000001  
ZONING  
2500164012005000  
1732 WHITMIRE ST.



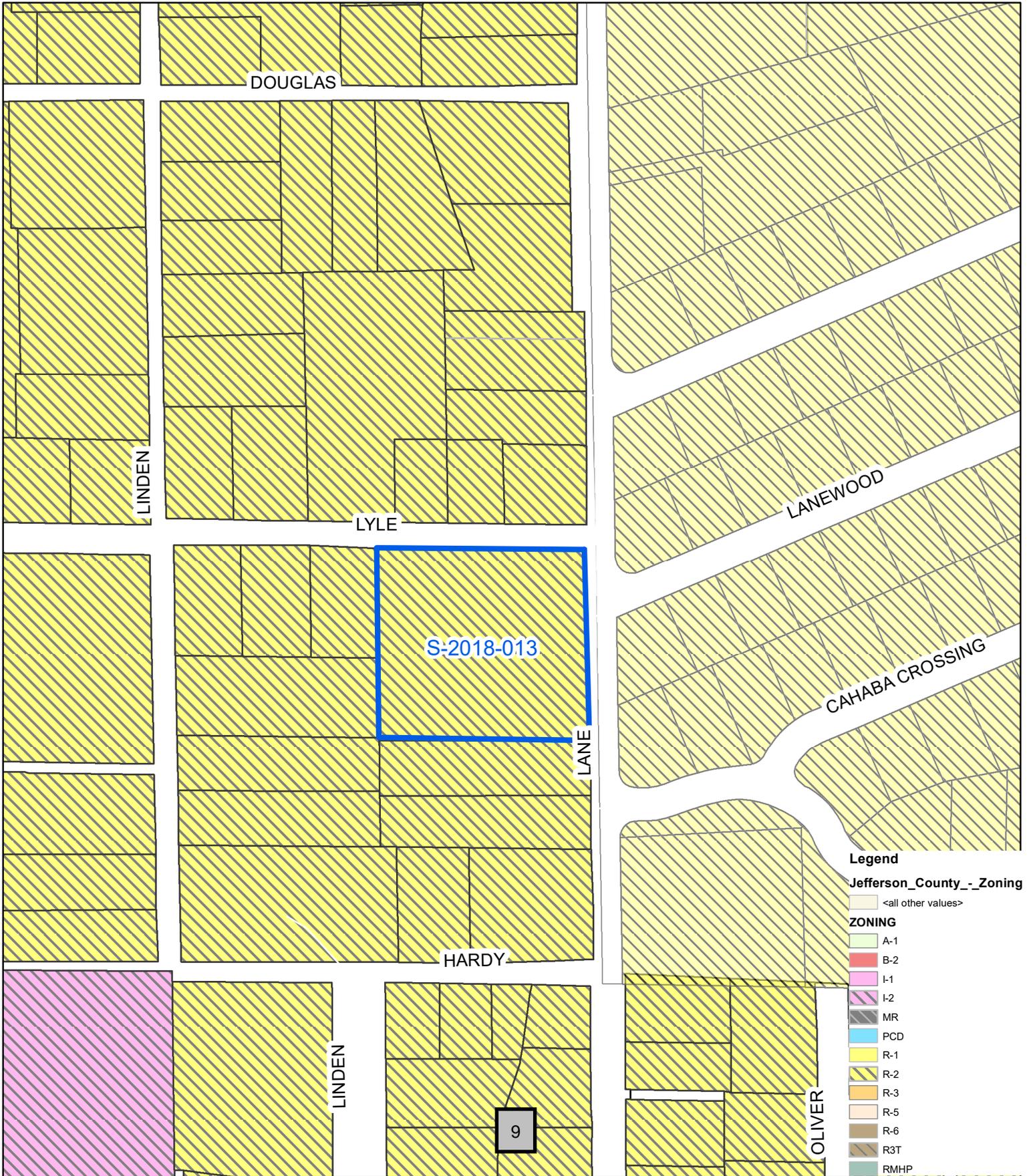
SA19-000007  
1916 LANE DR  
2500162012008000  
AERIAL

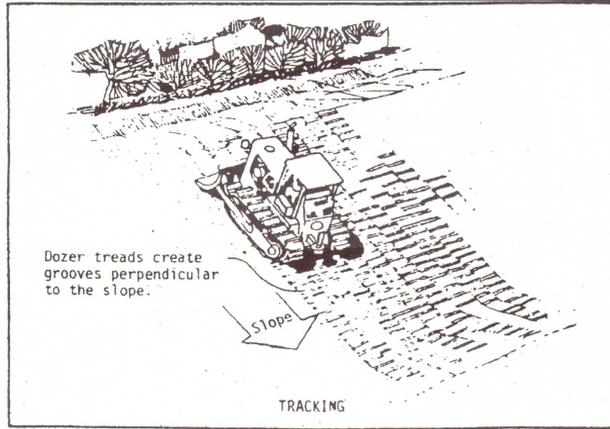


SA19-000007  
1916 LANE DR  
2500162012008000  
STREET



SA19-000007  
1916 LANE DR  
2500162012008000  
ZONING

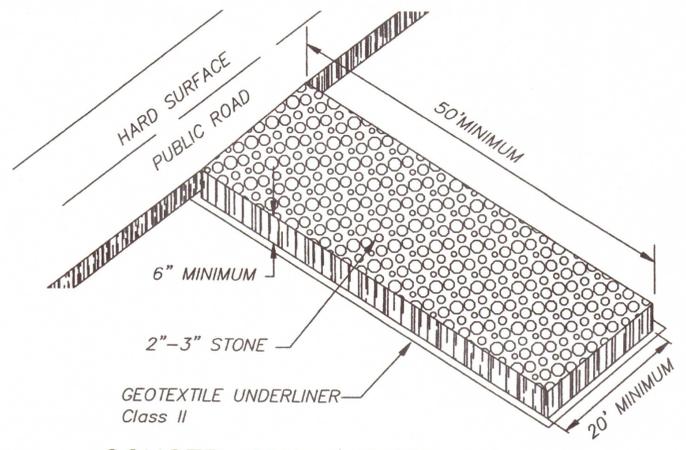




Dozer treads create grooves perpendicular to the slope.

TRACKING

**SURFACE ROUGHENING OFF ROW ONLY**



**CONSTRUCTION ENTRANCE**  
N.T.S.

652.2 SEED AND CONSTRUCTION SEQUENCE

TEMPORARY AND PERMANENT SEEDING RATES

BERMUDA	APRIL 1 - JULY 1	USE 10 LBS PER ACRE
FESCUE, TALL	SEPT 1 - NOV 1	USE 40 - 50 LBS PER ACRE
SERCEA	MARCH 15 - JULY 15	40 - 50 LBS PER ACRE
COMMON BERMUDA	MARCH 15 - JULY 15	10 LBS PER ACRE

Table MU-1 Mulching Materials and Application Rates

Material	Rate Per Acre and (Per 1000 ft. <sup>2</sup> )	Notes
Use? Straw with Seed	1 1/2-2 tons (70 lbs-90 lbs)	Spread by hand or machine to attain 75% groundcover; anchor when subject to blowing.

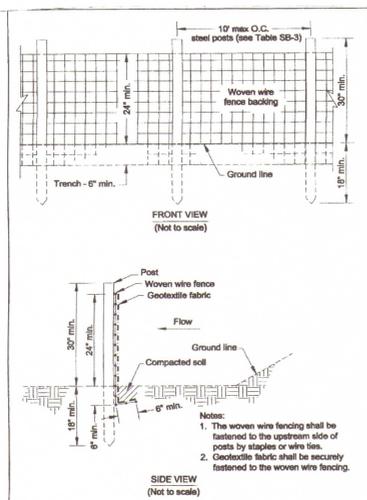


Figure SB-1 Silt Fence-Type A

(1) For fabric material requirements see Table SB-1  
(2) For post material requirements see Tables SB-3 and SB-4

Table SB-1 Specifications for Silt Fence

Specifications	Type A
Tensile Strength (Lbs. Min./ASTM D-4632)	Warp - 250 Fill - 100
Elongation (% Max.) (ASTM D-4632)	40
AOS (Apparent Opening Size) (Max. Sieve Size) (ASTM D-4751)	no. 30
Flow Rate (Gal/Min/Sq. Ft.) (DOT-47)	70
Ultraviolet Stability (ASTM D-4632 after 300 hours weathering in accordance with ASTM D-4355)	80
Bursting Strength (PSI Min.) (ASTM D-3788 Diaphragm Bursting Strength Tester)	175
Minimum Fabric Width (Inches)	36

<sup>1</sup> Minimum roll average of 5 specimens.  
<sup>2</sup> Percent of required initial minimum tensile strength.

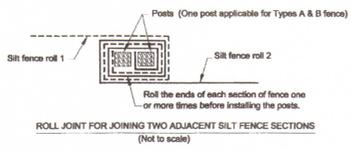
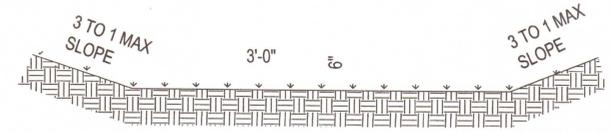
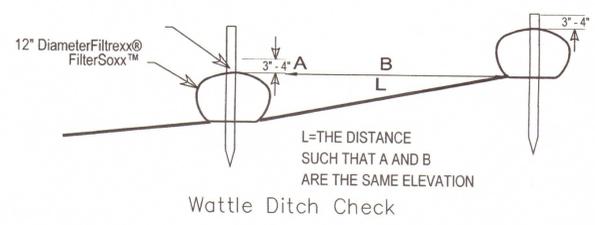
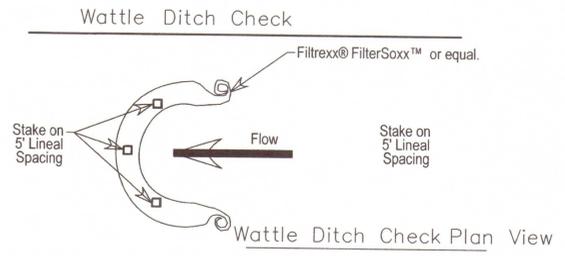


Figure SB-4 Silt Fence Installation Details



**GRASSED SWALE**  
N.T.S.



**Wattle Ditch Check**

- Temporary Methods**
- Mulches**  
Mulch offers a fast, effective means of controlling dust when properly applied. See Mulching practice for guidelines for planning and installing the practice.
  - Temporary Vegetative Cover**  
For disturbed areas where no activity is anticipated for 14 days or longer, temporary seeding can effectively control dust. Establish vegetative cover according to Temporary Seeding practice guidelines.
  - Calcium Chloride**  
Calcium chloride may be applied by mechanical spreader as loose, dry granules or flakes at a rate that keeps the surface moist but not so high as to cause water pollution or plant damage. Sites may need to be retreated because the product degrades over time.
  - Sprinkling or Irrigation**  
Sprinkling is especially effective for dust control on haul roads and other traffic routes. Sprinkle the site until the surface is wet. Repeat as needed. Also bare areas may be kept wet with irrigation to control dust as an emergency treatment.
  - Tillage**  
Tillage is used to roughen the site and bring clods and moist soil to the surface. This is a temporary emergency measure that can be used on large open disturbed areas as soon as soil blowing starts. Begin tilling on the windward edge of the site. The depth of tillage is determined by the depth to moist soil and the amount of moist soil desired at the surface. In sandy soils, the depth to moist soil may make tillage impractical.
  - Barriers**  
A board fence, wind fence, sediment fence, hay bales, or similar barriers can control air currents and blowing soil. Place barriers perpendicular to prevailing air currents at intervals about 15 times the barrier height.

Table SB-3 Post Size for Silt Fence

Type	Minimum Length	Type of Post	Size of Post
Type A	4'	Steel	1.380 ft. min.

M T M  
ENGINEERS, INC.  
CONSULTING ENGINEERS - LAND SURVEYORS  
2217 10TH COURT SOUTH, BIRMINGHAM, AL 35205  
TELEPHONE (205) 320-0114



EROSION CONTROL DETAILS  
**COTTAGES AT LANE**  
SITUATED IN SE 1/4 OF NW 1/4 SECTION 16 TOWNSHIP 17 SOUTH, RANGE 1 EAST  
CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



REVISIONS

DATE	REVISIONS

JOB NO:

FILE NAME: I/SUBDIVISIONS  
ROCK HAMPTON  
DATE:  
Jan. 9th, 2019  
DRAWN:  
JAM  
CHECKED:  
JAM III  
SCALE:  
nts  
SHEET





- B. There are no wooded areas, wetlands, unstable soils or slopes and any other adverse conditions affecting the site.
- C. Site Assessment:
- (a) geologic formations - None
  - (b) soils classifications - See Index at left
  - (c) colluvium - None
  - (d) bluffs - None
  - (e) sinkholes - None
  - (f) caves - None
  - (g) landslides (active and inactive) - None
  - (h) lineaments - None
  - (i) springs - None
  - (j) seeps - None
  - (k) streams (perennial, intermittent, wet weather) - None
  - (l) wetlands - None
  - (m) Groundwater recharge points - None
  - (n) vegetative communities, including the five most abundant tree and floral species for each community, in order of abundance and including the approximate age of each community, =
  - (o) endangered and threatened species as determined by the US Fish and Wildlife Service - None
  - (p) evidence of recent or ancient quarry operations - None
  - (q) spoils areas - None
  - (r) dump sites (active, inactive, or covered/reclaimed) - None
  - (s) existing fills and excavations - None

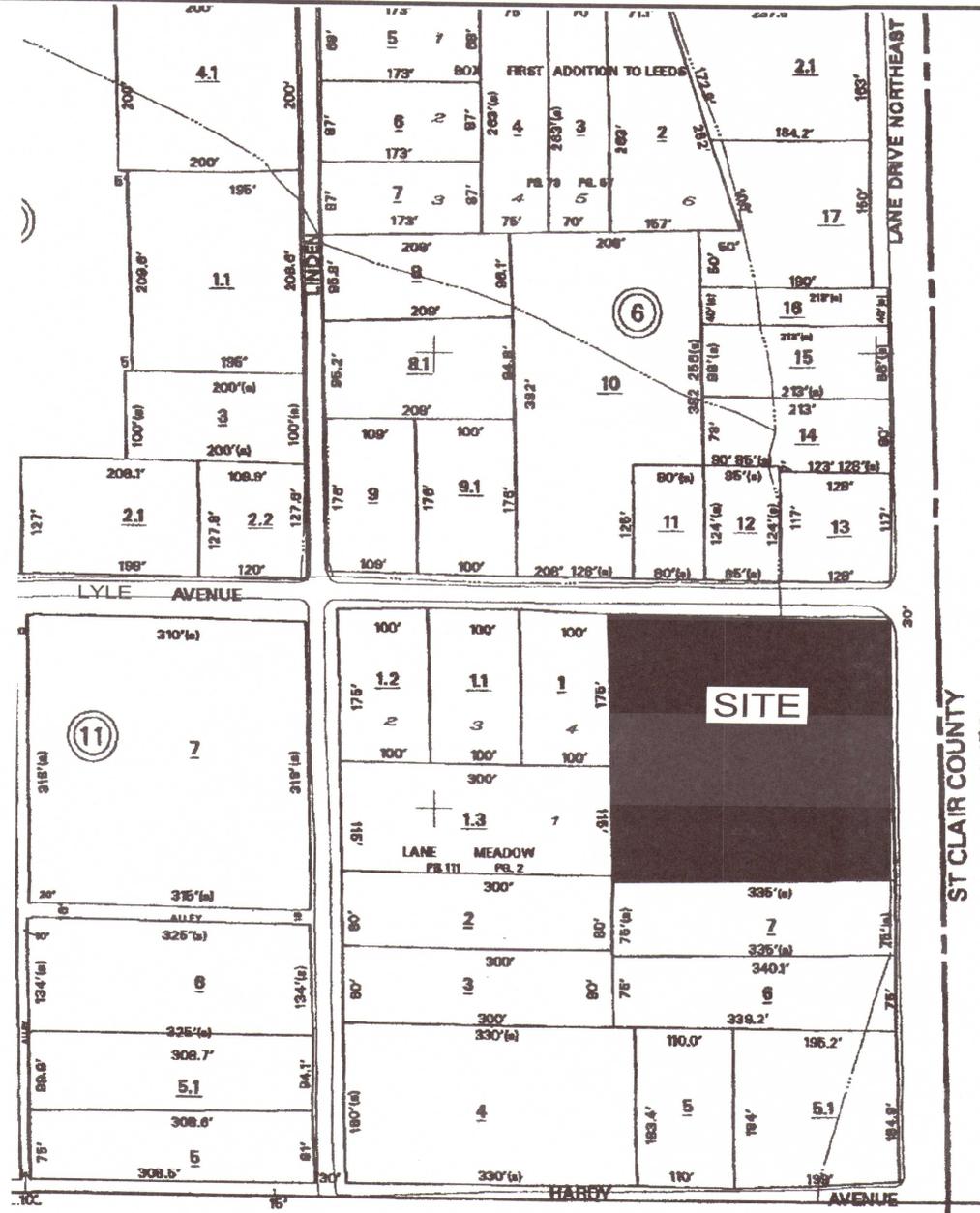
D. There are no wooded areas, wetlands, unstable soils or slopes and any other adverse conditions affecting the site.

- E. Site Assessment:
- (a) geologic formations - None
  - (b) soils classifications - See Index at left
  - (c) colluvium - None
  - (d) bluffs - None
  - (e) sinkholes - None
  - (f) caves - None
  - (g) landslides (active and inactive) - None
  - (h) lineaments - None
  - (i) springs - None
  - (j) seeps - None
  - (k) streams (perennial, intermittent, wet weather) - None
  - (l) wetlands - None
  - (m) Groundwater recharge points - None
  - (n) vegetative communities, including the five most abundant tree and floral species for each community, in order of abundance and including the approximate age of each community. See table at right
  - (o) endangered and threatened species as determined by the US Fish and Wildlife Service - None
  - (p) evidence of recent or ancient quarry operations - None
  - (q) spoils areas - None
  - (r) dump sites (active, inactive, or covered/reclaimed) - None
  - (s) na
  - (t) drainage retention and detention areas see plan
  - (u) wells, whether active or inactive, open or closed storage tanks, regardless of contents, both above ground and underground - None

- F. Site assessment map
- (a) Joseph A. Miller, III, PE/LS 17054. Observed during site walk through for items a-t
  - (b) Soils types by graphic plotting from Soils Conservation Service Map
  - (c) Soils types shown on site assessment map
  - (d) No other findings
  - (e) There are no adverse effects from items a-u.
  - (f) There are no adverse effects from items a-u.
  - (g) 25' Required front and 30' building setback lines for all Lots.

- G. Site Information
- a. Site acreage = 2.3 acres
  - b. smallest lot = 10,500 sf / 0.24 acres
  - c. 7 R-2 Lots
  - d. 205 LF Private Street
- Note:
- Fiber optic lines runs across southerly part of property, 16.5' easement

- (b) Soils Classifications
- 9- Bodine-Fullerton association, steep Vegative communities covers entire site.
- (n) Trees  
Pine Trees are most abundant species estimated 10, 20 to 40 years old  
Various species of hardwoods are next most abundant, estimated 5, 50-100 years old.  
No native flowers observed



VICINITY MAP (nts)

NOTES:

- ALL TRAFFIC CONTROL DEVICES AND THEIR INSTALLATION SHALL BE IN ACCORDANCE WITH THE MOST CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY LEEDS STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- NOTIFY CITY OF LEEDS 48 HOURS BEFORE BEGINNING CONSTRUCTION.
- UTILITY LOCATIONS SHOWN ARE GRAPHICALLY PLOTTED FROM UTILITY COMPANY RECORDS AND ARE NOT FIELD VERIFIED. CONTRACTOR SHALL HAVE ALL UTILITIES FIELD LOCATED BEFORE BEGINNING CONSTRUCTION.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE SO AS TO MINIMIZE THE AREA OF EXPOSED SOIL AT ONE TIME.
- ANY SEDIMENT REACHING THE ROADWAY SHALL BE REMOVED BY STREET CLEANING, NOT BY FLUSHING, BEFORE THE END OF EACH DAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- JOB SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- STONE BACKFILL SHALL BE USED THE FULL DEPTH OF TRENCH UNDER ALL PAVEMENT IN ROW ONLY.
- SITE WILL SHEET FLOW
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION & MAINTANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS AND WATERWAYS.
- CONTRACTOR AND DEVELOPER RESPONSIBLE FOR PROVIDING A BUILDING SITE FREE OF DRAINAGE PROBLEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A PROPER TRAFFIC CONTROL PLAN FOR PUBLIC SAFETY ADJACENT TO CONSTRUCTION SITE. THE TRAFFIC CONTROL PLAN SHALL BE IN ACCORDANCE WITH AMUTC, LATEST EDITION.
- ALL UTILITIES SHALL BE BACKFILLED WITH STONE.
- NO SUBSURFACE INVESTIGATION HAS BEEN DONE BY MTM ENGINEERS, INC. A GEOTECHNICAL ENGINEER SHOULD REVIEW THE SITE BEFORE BEGINNING CONSTRUCTION.
- ALL EXISTING UTILITIES APPURTENANCES, DRAINAGE STRUCTURES AND ACCESSORIES SHOULD BE DETERMINED TO MAINTAIN MINIMUM COVERAGE
- ALL DISTURBED AREAS TO BE SEEDED OR SODDED PER LATEST AL DOT SPECIFICATIONS FOR GRASSING OR LANDSCAPED PER LANDSCAPE PLAN.
- SANITARY SEWER SHALL MEET ALL STANDARDS AND SPECIFICATIONS OF JEFFERSON COUNTY ENVIRONMENTAL SERVICES
- WATER MAINS SHALL MEET ALL STANDARDS AND SPECIFICATIONS OF LEEDS WATER WORKS.

DESCRIPTION

SHEET	TITLE SHEET
1	PRELIMINARY PLAN
2	EROSION SEDIMENT CONTROL PLAN
3	WATER MAIN EXTENSION
4	EROSION CONTROL DETAILS
5	STREET PLAN AND PROFILE
6	SANITARY SEWER PLAN AND PROFILE
7	STANDARD DETAILS
8	SANITARY SEWER DETAILS
9	EXSITING CONDITIONS

MTM ENGINEERS, INC.  
CONSULTING ENGINEERS-LAND SURVEYORS  
2217 10TH COURT SOUTH, BIRMINGHAM, AL 35205  
TELEPHONE (205) 320-0114



COTTAGES AT LANE

SITUATED IN SE 1/4 OF NW 1/4 SECTION 16 TOWNSHIP 17 SOUTH, RANGE 1 EAST CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



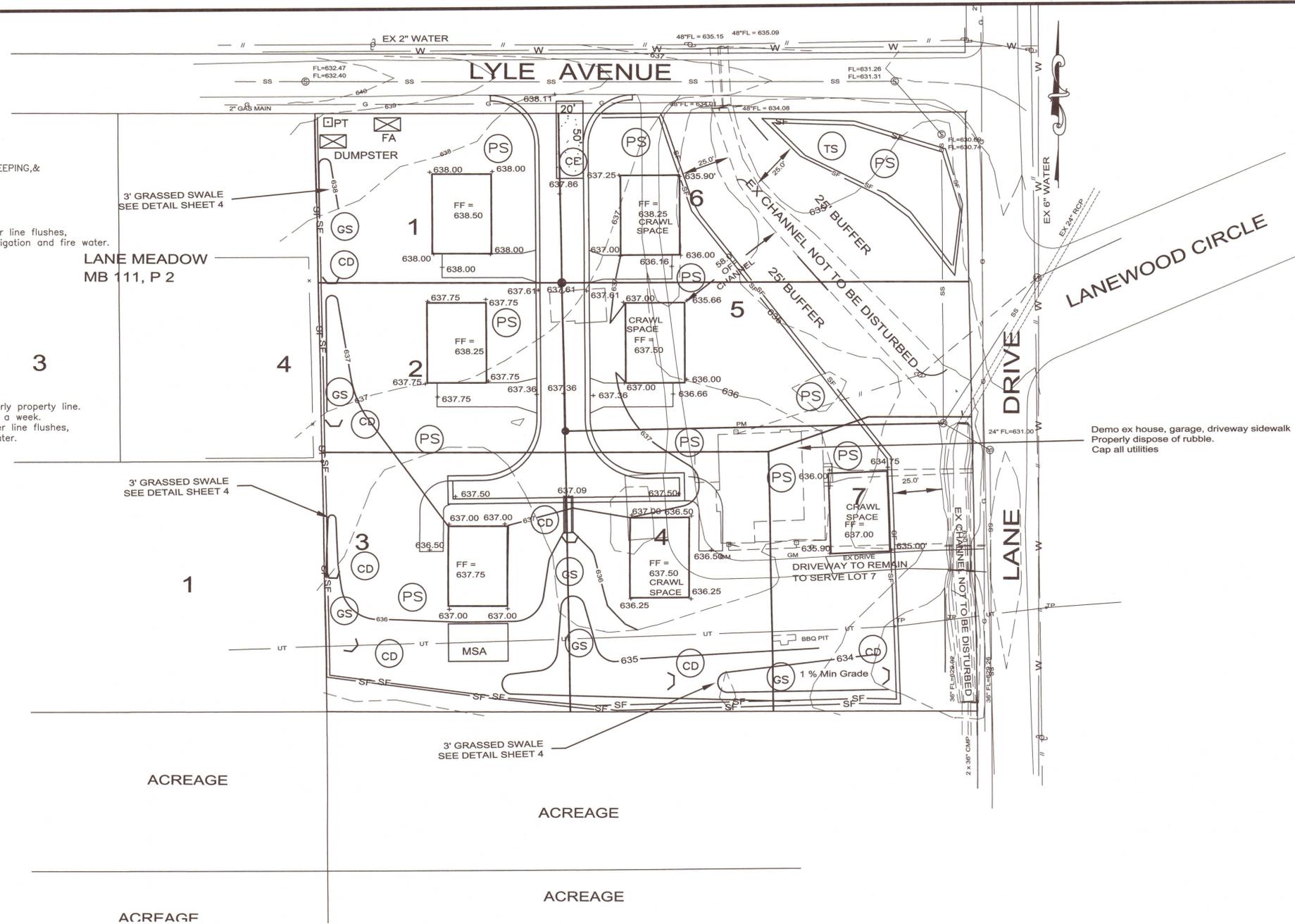
REVISIONS	DATE

JOB NO.	
FILE NAME I/SUBDIVISIONS	COTTAGES AT LANE
DATE:	JUNE 18th, 2018
DRAWN:	JAM
CHECKED:	JAM III
SCALE:	
NTS	
SHEET	T

1. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE JOB SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
2. ALL CONSTRUCTION SHALL BE DONE IN A LOGICAL SEQUENCE SO TO MINIMIZE THE AREA OF EXPOSED SOIL AT ANY ONE TIME. DO NOT GRADE UNTIL READY TO BUILD IMPROVEMENTS IN THAT AREA.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SITE SAFETY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
5. NO WORK IS TO BEGIN UNTIL COPIES OF ALL REQUIRED PERMITS IS FURNISHED TO THE OWNER.
6. THE CONTRACTOR IS TO INSTALL ALL EROSION CONTROL DEVICES BEFORE ANY CONSTRUCTION BEGINS. SUCH DEVICES SHALL BE INSPECTED AFTER EVERY 0.75" RAINFALL AND BE REPAIRED AND MAINTAINED DAILY UNTIL ALL CONSTRUCTION IS COMPLETED.
7. ALL DISTURBED GROUND LEFT INACTIVE FOR 13 OR MORE DAYS SHALL BE STABILIZED BY SEEDING, OR SODDING PER AL. DOT STANDARDS AND SPECIFICATIONS.
8. ANY SEDIMENT REACHING THE ROADWAY SHALL BE REMOVED BY STREET CLEANING/SHOVELING, MECHANICAL OR MANUAL SWEEPING, AND NOT BY FLUSHING BEFORE THE END OF EACH DAY.
9. ALL DISTURBED SHALL BE SODDED OR SEEDDED & MULCHED AS PER AL. D.O.T. STANDARDS AND SPECIFICATIONS. FOR DETAILS SHEET 4.
10. ALL SEEDING AND MULCH WILL BE PER AL. DOT STANDARDS AND SPECIFICATIONS.
11. Site will have 2.0 disturbed acres
12. There are no allowable sources of non storm water discharges except Dust control, fire hydrant flushes, potable water line flushes, building wash down without detergents, air condensations or compressor condensations, ground or spring water, landscape irrigation and fire water.
13. Once site is stabilized and grassed, NPDES permit properly terminated BMP to be removed.
14. Care is to be taken fueling equipment, properly clean up spills, properly dispose of contaminated soils in appropriate environmental landfill.
15. Contractor shall keep on hand sufficient oil and grease absorbing materials to contain and cleanup fuel spills or leaks. No additional BMP required. Spill kit to contain at minimum: 2 x 48" socks, 10 x soak up pads, 2 x disposal bag and ties. Instruction manual.
16. Respread using best methods any silt/ sediment buildup captured behind BMP and reseed and compact on site.
17. Remove any silt/sediment entering storm sewers inlets and pipes, respread and compact on site.
18. Remove silt/sediment when at 50% of BMP, monitor BMPs for this weekly.
19. Remove any silt/sediment that reaches offsite, bring back to site, respread and compact.
20. This BMP plan may be updated as required by changes to construction, ADEM, weather patterns or new technologies as directed by the engineer, local, state or federal officials.
21. No turbidity testing required
22. No wetlands or riparian zones on the site.
23. Stormwater Discharge point for entire site is along southerly and easterly property lines. Water of U.S. is along easterly property line.
24. Trash, construction waste, debris, garbage, etc shall be disposed in waste containers and properly disposed of once a week.
25. There are no allowable sources of non storm water discharges except Dust control, fire hydrant flushes, potable water line flushes, building wash down without detergents, air condensations or compressor condensations, ground or spring water, and fire water.
26. NA
27. 2.0 Disturbed Acres, No Stormwater Turbidity monitoring is required.
28. Latitude = 33°33'14" N, Longitude = 86°32'37" W = Front Gate
29. SIC Code = 1521
30. CBPPP prepared by Joseph A. Miller, III, PE/LS 17054
31. Contact CBMPP Information at right.
32. NO VEHICLE WASHOUT AREA OR VEHICLE WASHING WITH SOAP THIS SITE.
33. NO UNIQUE FEATURES TO BE PROTECTED THIS SITE.
34. No additional applicable Federal, State programs this site.
35. All records will be kept at Engineer's office and Contractor's office for 3 years and will be available on request by ADEM.
36. Corrective action log will be kept on site and updated by Engineer.

**LEGEND**

- GRASSSED SWALE
- SEED AND MULCH ALL DISTURBED AREAS AS PER AL. D.O.T. STANDARDS AND SPECIFICATIONS SEE SHEET 4
- DUST CONTROL AS REQUIRED, SEE SHEET 4
- TWO ROWS OF TYPE A SILT FENCE
- CONSTRUCTION EXIT SEE SHEET 4
- SURFACE ROUGHENING SEE SHEET 4
- PORTABLE TOILET LOCATION
- FUELING AREA
- CONSTRUCTION DUMPSTER
- CONSTRUCTION MATERIALS STAGING AREA
- WATTLE CHECK DAM WITH GRASSSED SWALE SEE SHEET 4



INSPECTIONS WILL BE ONCE BMP MEASURES ARE INSTALLED AND EVERY 0.75" RAIN WITHIN 24 HOURS, AND MONTHLY NO DELEGATION OF AUTHORITY THIS PROJECT CORRECTIVE LOG WILL BE KEPT BY CONTRACTOR ON SITE INSPECTION REPORTS WILL BE SENT TO OWNER, CONTRACTOR AND KEPT BY QCP BMP MAY BE UPDATED, REVISED AND CHANGED IF SITE CONDITIONS WARRANT. CHANGES WILL BE LOGGED IN ACTION LOG AND BMP PLAN. REVISIONS WILL BE NOTED AND DATED UPDATED LOG WILL BE KEPT ON SITE AND COPY IN ENGINEER'S OFFICE REVISIONS WILL BE MADE 24 HOURS FROM INSPECTION CBMPP WILL BE EVALUATION INSPECTION WILL BE 6 MONTHS BY QCP

**BMP MAINTENANCE SCHEDULE**

BMP TYPE MAINTENANCE SCHEDULE STAFF TYPE A SILT FENCE PERIMETER, INSPECT 0.75" RAIN WITHIN 24 HOURS AND MONTHLY BY QCP SURFACE ROUGHENING, SLOPES, INSPECT AS INSTALLED BY QCP INSPECT 0.75" RAIN WITHIN 24 HOURS AND MONTHLY BY QCP CONSTRUCTION EXIT, 0.75" RAIN WITHIN 24 HOURS AND MONTHLY DAILY BY QCP ON SITE SEDIMENT TRAPPED IN BMPs, INSPECT 0.75" RAIN WITHIN 24 HOURS AND MONTHLY BY QCP WATTLE CHECK DAMS, INSPECT EVERY 0.75" RAIN WITHIN 24 HOURS AND MONTHLY BY QCP AT 6 MONTHS INTO THE PROJECT, QCP WILL EVALUATE CBMPP WITH AN INSPECTION WALK THRU SITE DAILY INSPECTING BMPs BY STAFF

**Description of erosion & sediment controls for major grubbing, clearing and grading activities**

1. PRE CONSTRUCTION INSPECTION OF SITE REQUIRED. DAILY WALK THRU OF SITE REQUIRED.
2. INSTALL TYPE A SILT FENCES ALONG THE SIDE SLOPE AND DOWN-SLOPE BOUNDARIES OF THE PROPERTY.
3. NO INLETS DOWNSTREAM THIS PROJECT. SURFACE WATER DRAINS THRU GRASSSED SWALES TO EXISTING WATER OF U.S. WHICH FLOWS ALONG EASTERLY LANE DR. ROW.
4. APPLY STONE TO DRIVE WAY TO STABILIZE CONSTRUCTION EXIT TO LOT.
5. There are no fuel tanks or other items stored on site.
6. CLEARING GRUBBING GRADING AS REQUIRED FOR INSTALLATION OF ROADS, STORM SEWER, AND OTHER UTILITIES.
7. INSTALL TYPE A SILT FENCE AROUND STOCKPILES SOIL.
8. COMPLETE GRADING. CHECK ALL BMPs.
9. BUILD ROADS, INSTALL UTILITIES AND STORM SEWERS AND CHECK ALL BMPs.
10. TEMPORARILY OR PERMANENTLY SEED, MULCH AND STABILIZE STRIPPED AREAS AND STOCKPILES WITHIN 13 DAYS OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
11. COMPLETE CONSTRUCTION AND INSTALL PERMANENT SEEDING
12. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE, REMOVE SILT FENCE AND RESEED ANY BARE SPOTS OR WASHES.

**M T M ENGINEERS, INC.**  
CONSULTING ENGINEERS—LAND SURVEYORS  
2217 10th COURT SOUTH, BIRMINGHAM, AL. 35205  
TELEPHONE (205) 920-0114

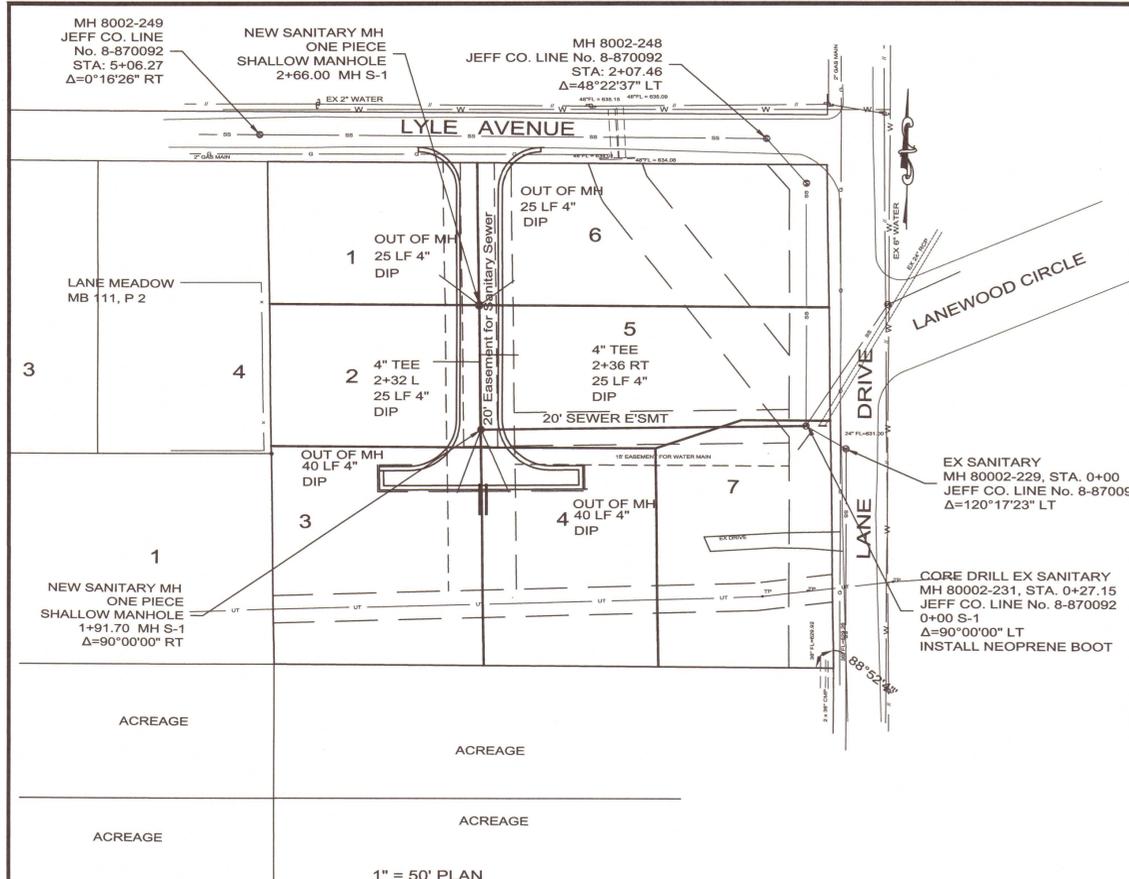


EROSION CONTROL PLAN FOR  
**COTTAGES AT LANE**  
SITUATED IN SE 1/4 OF NW 1/4 SECTION 16 TOWNSHIP 17 SOUTH, RANGE 1 EAST  
CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA

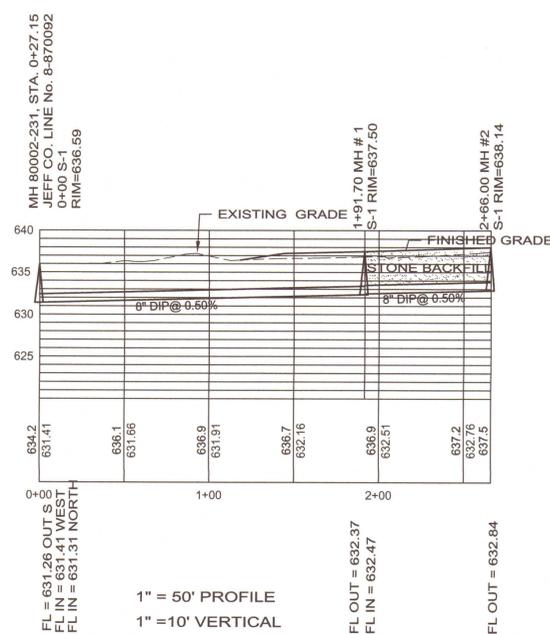
ENGINEER  
**JAM III**  
Professional Engineer  
No. 17054  
2-5-19

DATE	REVISIONS
12.14.18	Issues & Drives shown
02.05.19	Spot elevations added

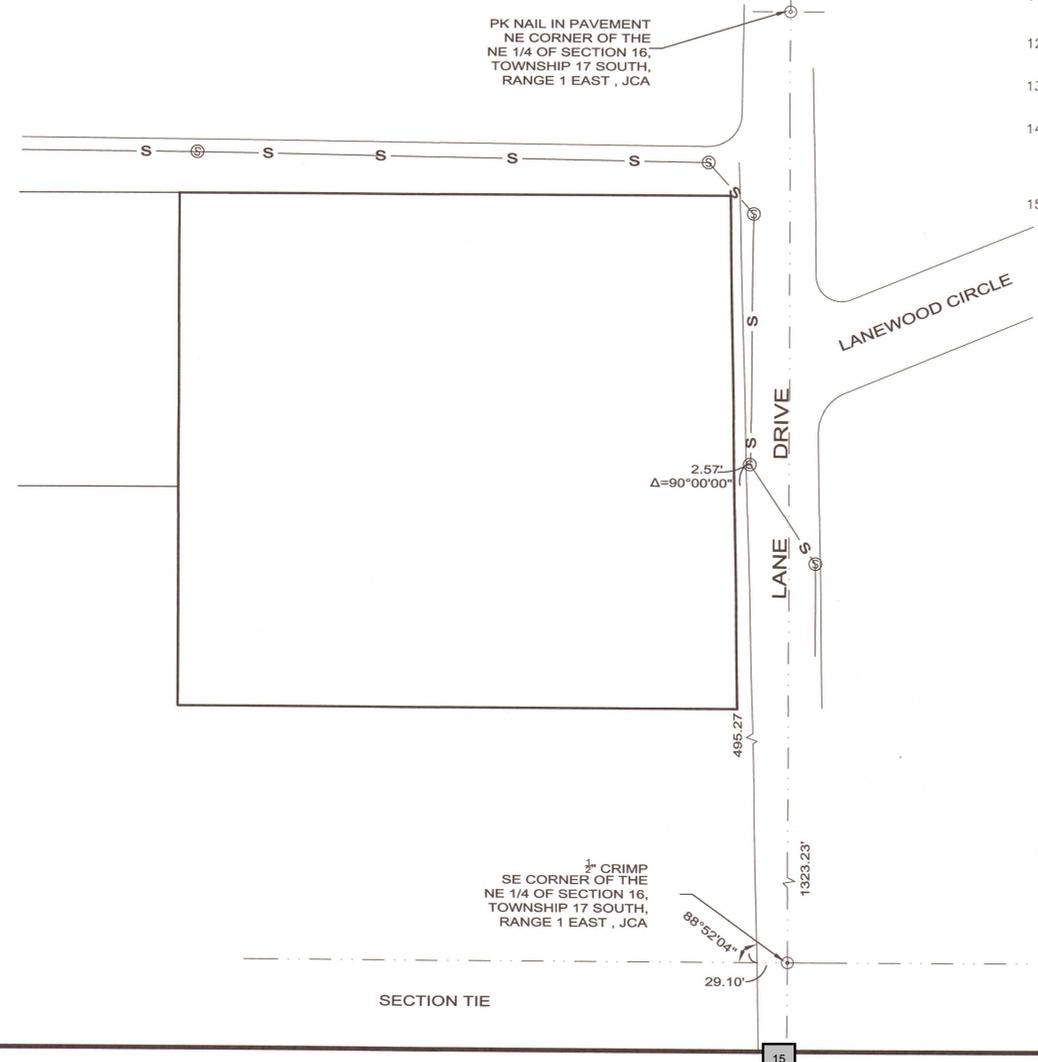
JOB NO:  
FILE NAME: I/SUBDIVISIONS  
**ROCK HAMPTON**  
DATE:  
Jan. 9th, 2019  
DRAWN:  
JAM  
CHECKED:  
JAM III  
SCALE:  
1"=30"  
SHEET  
**02**



1" = 50' PLAN



1" = 50' PROFILE  
1" = 10' VERTICAL



SECTION TIE

STANDARD JEFFERSON ENVIRONMENTAL SERVICES SEWER NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATION OF JEFFERSON COUNTY, THE LOCAL MUNICIPALITY AND/OR THE STATE HIGHWAY DEPARTMENT, AND APPLICABLE O.S.H.A. REGULATIONS, AS APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT 325-5127 AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION. THERE SHALL BE NO CHANGES IN DRAWINGS WITHOUT WRITTEN APPROVAL BY THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.
- DUCTILE IRON PIPE SHALL BE CLASS 52 OR BETTER.
- PVC PIPE SHALL BE AWWA C900, CAST IRON (CI) STANDARD DIMENSIONS. DIMENSION RATIO (DR) 18. PRESSURE CLASS (PC) 150 PSI OR BETTER.
- IN EARTH TRENCH, FOUR INCHES OF CRUSHED STONE SHALL BE PLACED UNDER SEWER LINES OF 12 INCHES IN DIAMETER OR SMALLER AND SIX INCHES OF CRUSHED STONE SHALL BE PLACED UNDER SEWER LINES LARGER THAN 12 INCHES IN DIAMETER. IN ROCK TRENCHES, SIX INCHES OF CRUSHED STONE SHALL BE PLACED UNDER ALL SEWERS. THE DITCH SHALL BE BACKFILLED WITH CRUSHED STONE TO A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE. WHEN CROSSING EXISTING ROADS, STREETS, AND ALL PAVEMENT IN AND OUT OF THE R.O.W., THE TOTAL BACKFILL SHALL BE CRUSHED STONE AND PROPERLY CHOKED.
- AT THE DIRECTION OF THE ESD INSPECTOR, A CONNECTION OF SANITARY SEWER PIPES (8 INCH THROUGH 16 INCH) OF DISSIMILAR SIZES OR FOR REPAIR OF SANITARY SEWER PIPES OF SIMILAR MATERIALS MAY BE MADE BY MEANS OF AN APPROVED MECHANICAL SEAL TYPE ADJUSTABLE COUPLING. COUPLINGS WITH ANY REQUIRED ADAPTING BUSHINGS SHALL BE MANUFACTURED OF AN APPROVED PREFORMED ELASTOMERIC MATERIAL SPECIFICALLY FOR DIMENSIONS OF THE PIPE MATERIALS TO BE CONNECTED. COUPLINGS OF THE MECHANICAL SEAL TYPE SHALL HAVE NUT AND BOLT TIGHTENING CLAMPS OR DEVICES MADE OF 316 STAINLESS STEEL, WITH AN ADJUSTABLE STAINLESS STEEL SHEAR RING, AND STAINLESS STEEL HARDWARE. A CONCRETE COLLAR AS SHOWN ON APPENDIX STANDARD DRAWING SD2060 IS REQUIRED. THE ADJUSTABLE COUPLING SHALL BE INSTALLED AS RECOMMENDED AND SPECIFIED BY THE MANUFACTURER. EACH COUPLING SHALL BEAR THE MANUFACTURER'S NAME AND REQUIRED MARKINGS.
- MANHOLES SHALL MEET ASTM SPECIFICATION C-478. JOINTS BETWEEN THE MANHOLE SECTIONS SHALL BE OFFSET TONGUE AND GROOVE "PUSH ON" TYPE, SUPPLIED WITH TYLOX SUPER SEAL PRE-LUBRICATED GASKET AS MANUFACTURED BY HAMILTON KENT MEETING THE REQUIREMENTS OF ASTM C443. EACH JOINT SHALL ALSO BE SUPPLIED WITH CONSEAL CS-231 WATERSTOP SEALANT AS MANUFACTURED BY CONCRETE SEALANTS, IN WIDTHS AS RECOMMENDED BY THE MANUFACTURER. MANHOLES SHALL HAVE A MINIMUM DIAMETER OF 48 INCHES AND A MINIMUM THICKNESS OF 5 INCHES. ALL MANHOLE CONES SHALL BE OF THE CONCENTRIC TYPE. MANHOLES MAY BE FINISHED TO STREET GRADE WITH BRICK AND MORTAR. THIS ADJUSTMENT HEIGHT SHALL NOT EXCEED 16 INCHES.
- STUBOUTS FOR SANITARY SEWER SERVICE LINES SHALL END ON OR NEAR THE PROPERTY LINE UNLESS OTHERWISE NOTED. ON "DOWNHILL" SIDE LOTS INSTALL LATERALS ON A MINIMUM 1% GRADE. ON "UPHILL" SIDE LOTS, INSTALL SERVICE LINES TO GRADE THAT WILL TERMINATE A MAXIMUM DEPTH OF 10 FEET. THE FIRST JOINT OUT OF A MANHOLE, FOR BUILDING OR HOUSE SERVICE, SHALL BE DUCTILE IRON PIPE CLASS 52 OR BETTER (MINIMUM 8 FEET). ANY BUILDING SERVICE LINE SET OUTSIDE OF EASEMENT OR R.O.W. MUST BE INSTALLED BY A MASTER PLUMBER AND HAVE A SEWER CONNECTION PERMIT FOR EACH LOT.
- IF THE CONTRACTOR IS INSTALLING SERVICE LINES AT THE SAME TIME AS MAIN LINE, THE SERVICE LINE SHALL BE INSTALLED IN ACCORDANCE WITH JEFFERSON COUNTY STANDARDS FOR CONSTRUCTION OF SERVICE LINES AND CONNECTIONS, AND INSPECTED/TESTED BY COUNTY INSPECTOR BEFORE IT IS BACKFILLED.
- ALL SERVICE LINE STUBOUTS INSTALLED IN ROAD ROW OR UNDER ASPHALT SHALL BE PER STANDARD SPECIFICATIONS FOR SANITARY SEWER SERVICE LINES AND CONNECTIONS SECTION 4.
- CONSTRUCTION SIGNS FOR WORK WITHIN AND ADJACENT TO PUBLIC ROADS, HIGHWAYS, AND ALLEYS SHALL BE IN ACCORDANCE WITH ALDOT STANDARDS.
- CONTRACTOR WILL BE RESPONSIBLE FOR THE CONTINUOUS AND PROPER OPERATION OF ALL EXISTING UTILITIES LOCATED ON OR ADJACENT TO THE PROJECT SITE AND WITHIN THE CONSTRUCTION LIMITS OF THIS PROJECT.
- ALL EMBANKMENT FILL AREAS SHALL BE FILLED AND COMPACTED PRIOR TO EXCAVATION OF SEWER LINE TRENCHES.
- CONTRACTOR WILL BE RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS AND FOR ACQUISITION OF ALL PERMITS DURING CONSTRUCTION TO INSURE THAT DAMAGE DOES NOT OCCUR TO ADJACENT PROPERTIES, PUBLIC ROADS AND/OR DITCHES (CREEKS, STREAMS).
- UPON COMPLETION OF ALL OR ANY PART OF A SANITARY SEWER LINE, THE CONTRACTOR WILL BE REQUIRED TO TEST SAID SEWER FOR ACCEPTABILITY. GRAVITY SEWERS WILL BE PRESSURE TESTED WITH AIR. FORCE MAIN SEWERS WILL BE PRESSURE TESTED WITH WATER. MANHOLES WILL BE VACUUM TESTED. ALL TESTS WILL BE CONDUCTED IN THE PRESENCE OF THE COUNTY SEWER CONSTRUCTION INSPECTOR IN ACCORDANCE WITH SECTION 5.00 STANDARDS FOR COMMERCIAL AND RESIDENTIAL CONSTRUCTION OF SANITARY SEWER SYSTEMS. GRAVITY SANITARY SEWERS WILL BE TELEVISION INSPECTED FOLLOWING AIR TESTING WITH THE FINAL VIDEO TAPE AND LOG FURNISHED TO THE COUNTY FOR RECORD INFORMATION.

Owner:  
Allen McWilliams  
Amac Design Builders  
608 Forest Drive  
Leeds, Al. 35094  
Phone : 205-568-9087

Engineer  
Joseph A. Miller, III PE/LS 17054  
MTM Engineers  
2217 10th Court South  
Birmingham, AL. 35205  
Phone 205-320-0114  
email : jimiller@mtmengineers.com  
Cell: 205-283-5878

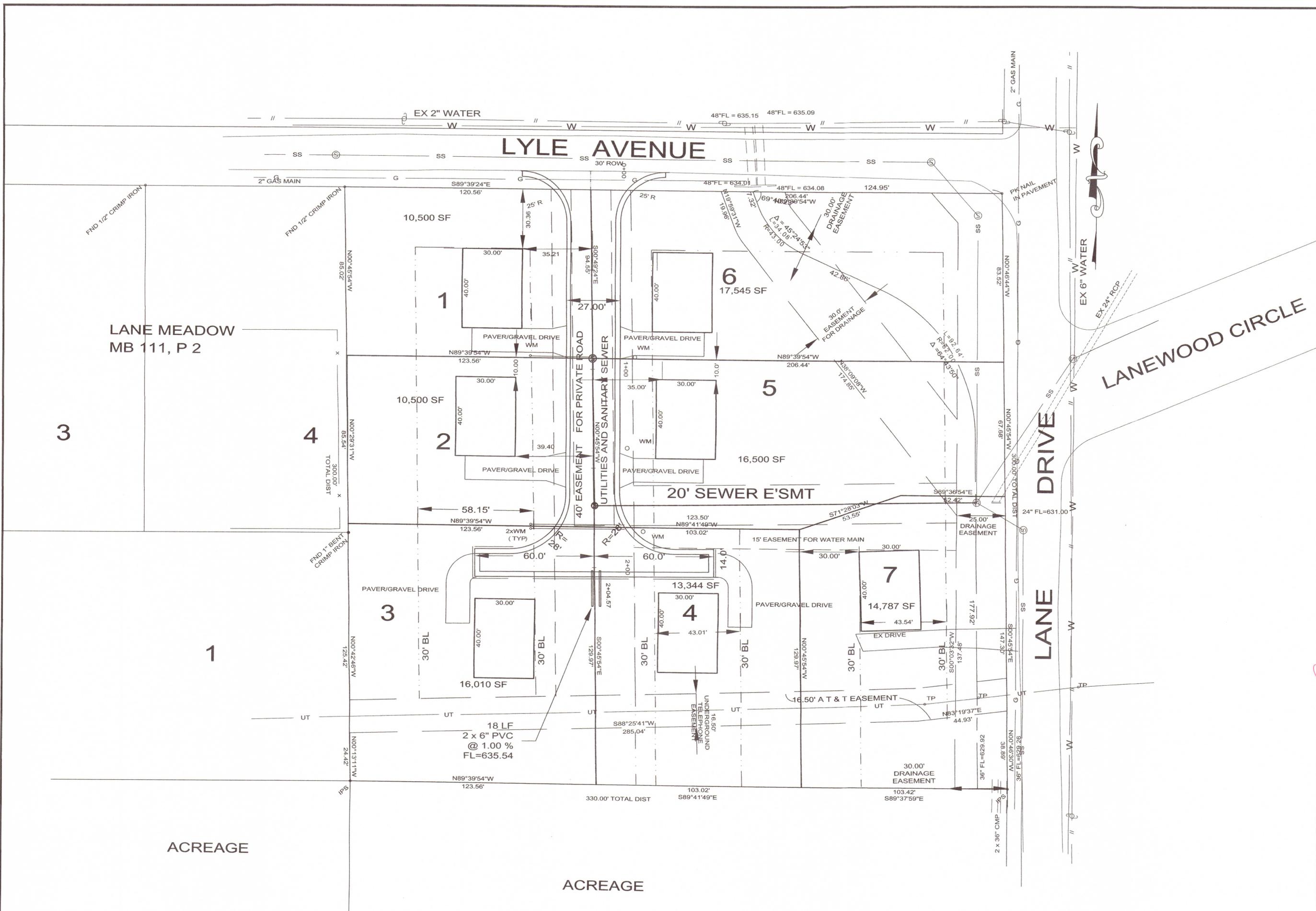
MTM ENGINEERS, INC.  
CONSULTING ENGINEERS—LAND SURVEYORS  
2217 10th COURT SOUTH, BIRMINGHAM, AL. 35205  
TELEPHONE (205) 320-0114



SANITARY SEWER MAIN EXTENSION  
PROJECT  
COTTAGES AT LANE  
SITUATED IN SE 1/4 OF NW 1/4 SECTION 16, TOWNSHIP 17 SOUTH, RANGE 1 EAST  
CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



REVISIONS	DATE	JOB NO:
		FILE NAME: I/SUBDIVISIONS
		LANE DRIVE
		DATE: JAN. 9, 2019
		DRAWN: JAM
		CHECKED: JAM III
		SCALE: 1"=50'
		SHEET 06



LANE MEADOW  
MB 111, P 2

ACREAGE

ACREAGE

M T M  
ENGINEERS, INC.  
CONSULTING ENGINEERS—LAND SURVEYORS  
2217 10th COURT SOUTH, BIRMINGHAM, AL 35205  
TELEPHONE (205) 320-0114

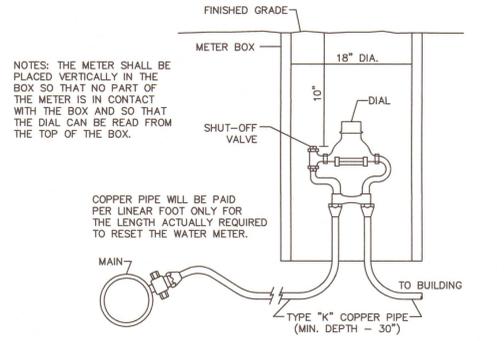


PRELIMINARY PLAN FOR  
**COTTAGES AT LANE**  
SITUATED IN SE 1/4 OF NW 1/4 SECTION 16 TOWNSHIP 17 SOUTH, RANGE 1 EAST  
CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA

ENGINEER  
DATE  
REVISIONS

DATE	REVISIONS
12.14.18	Houses & Drives shown

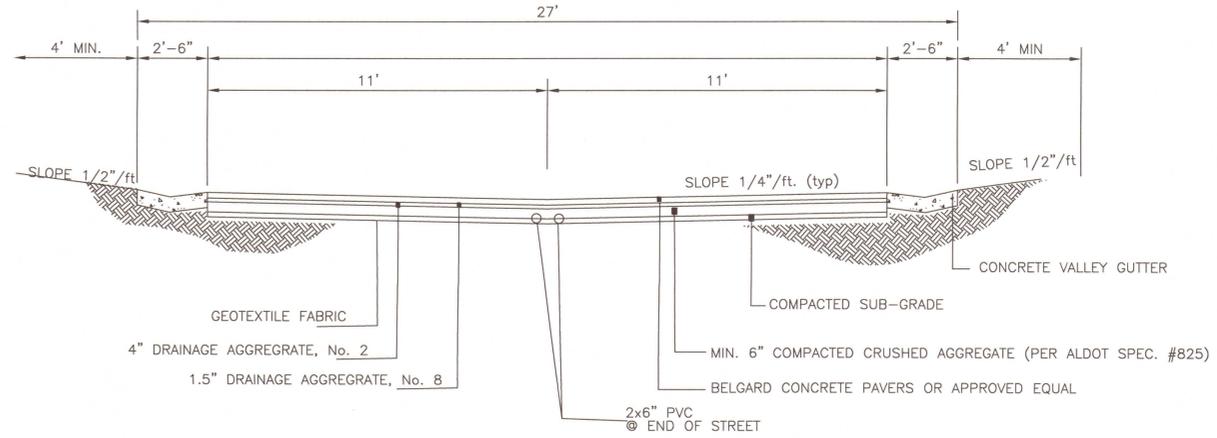
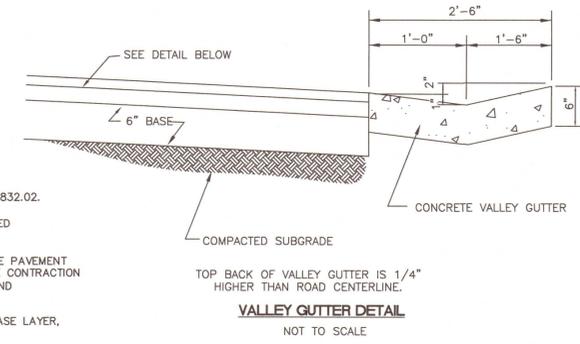
JOB NO:  
FILE NAME: I/SUBDIVISIONS  
ROCK HAMPTON  
DATE:  
JUNE 18th, 2018  
DRAWN:  
JAM  
CHECKED:  
JAM III  
SCALE:  
1"=20'  
SHEET



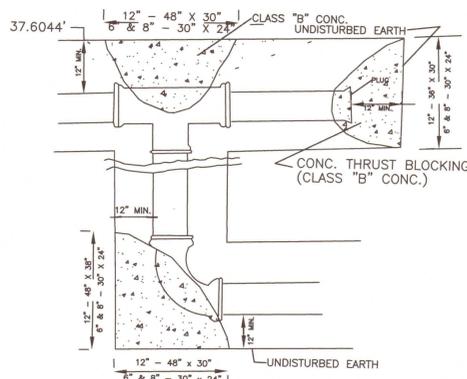
DETAIL FOR SETTING WATER METERS

GENERAL NOTES FOR CONCRETE VALLEY GUTTER

1. EXPANSION JOINTS SHALL BE PLACED IN CURB AND/OR GUTTER TO MATCH THOSE IN CONCRETE PAVEMENT WHERE THE TWO ARE ADJACENT.
2. EXPANSION JOINTS 3/4 INCH WIDE SHALL BE PLACED WHERE CURB AND/OR GUTTER TERMINATES AGAINST RIGID OBJECTS.
3. EXPANSION JOINT FILLER AND SEALER SHALL MEET THE REQUIREMENTS OF ARTICLES 832.01 AND 832.02. EXPANSION JOINT FILLER SHALL EXTEND FROM THE BOTTOM TO THE CURB AND/OR GUTTER TO WITHIN ONE INCH OF THE TOP. THE SEALER SHALL BE 3/4 INCH THICK AND SHALL BE RECESSED 1/4 INCH FROM THE TOP.
4. CONTRACTION JOINTS SHALL BE PLACED IN CURB AND/OR GUTTER TO MATCH THOSE IN CONCRETE PAVEMENT WHERE THE TWO ARE ADJACENT, BUT IN NO INSTANCE MORE THAN 20 FEET BETWEEN JOINTS. THE CONTRACTION JOINTS SHALL BE SAWS OR OTHERWISE CUT 2 INCHES DEEP BY 1/8 INCH WIDE AND SHALL EXTEND 2 INCHES BELOW THE PAVEMENT SURFACE.
5. CONTRACTOR MAY BE PERMITTED TO EXCEED MIN. CURB HEIGHT IN ORDER TO PLACE CURB ON BASE LAYER, IF HE SO DESIRES.



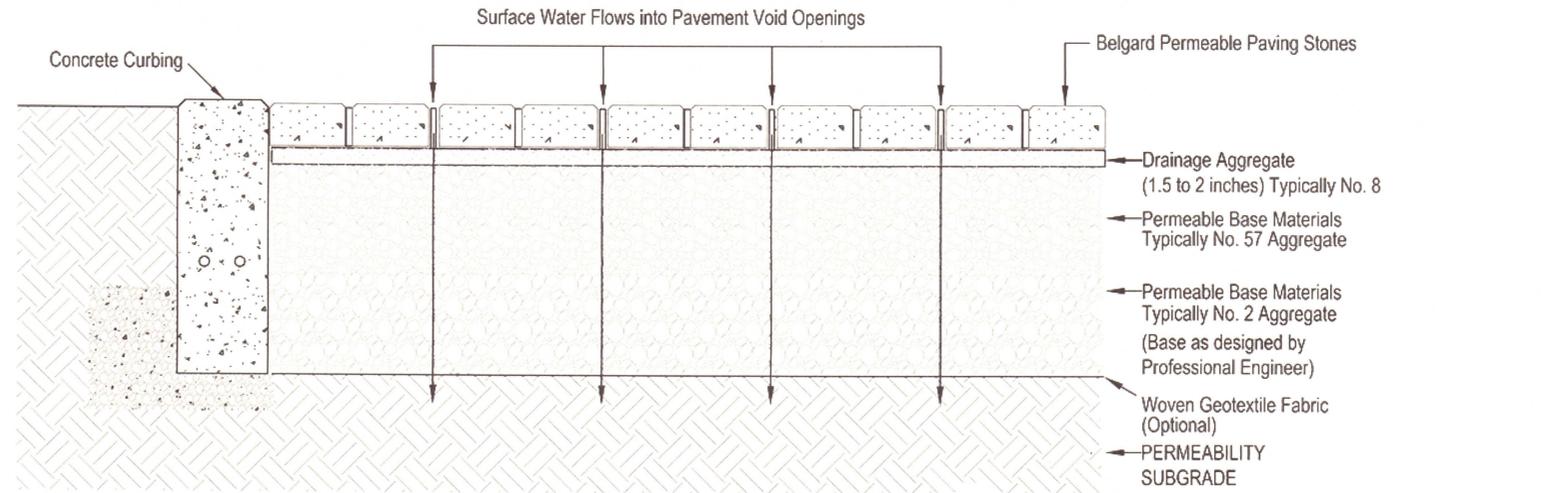
TYPICAL ROAD SECTION NOT TO SCALE



FOR 11'4"; 22'2"; 45' BENDS  
USE FOLLOWING DIMENSIONS  
FOR THRUST BLOCKS

PIPE SIZE	TOTAL LENGTH ALONG TRENCH (CENTER AT BEND)	DEPTH
6" & 8"	24"	18"

CONCRETE THRUST BLOCKING AT BENDS - USE AT ALL BENDS NOT TO SCALE



SECTION X-X

D	W
6" OR LESS	24"
8"	28"
10" OR 12"	30"
15" OR LARGER	4/3 D + 12"

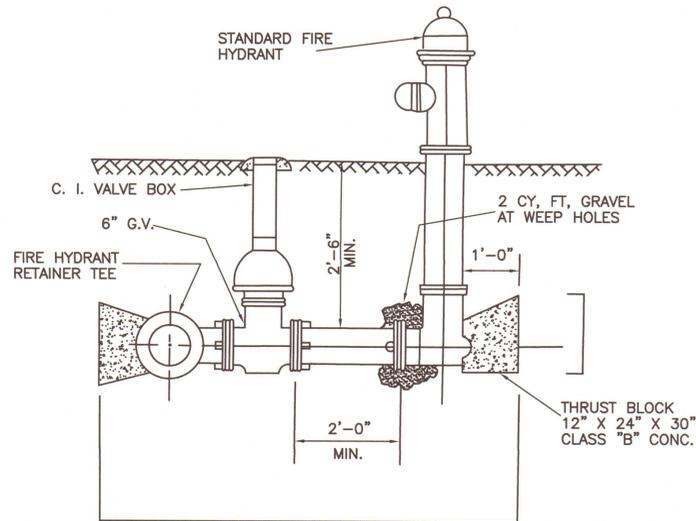
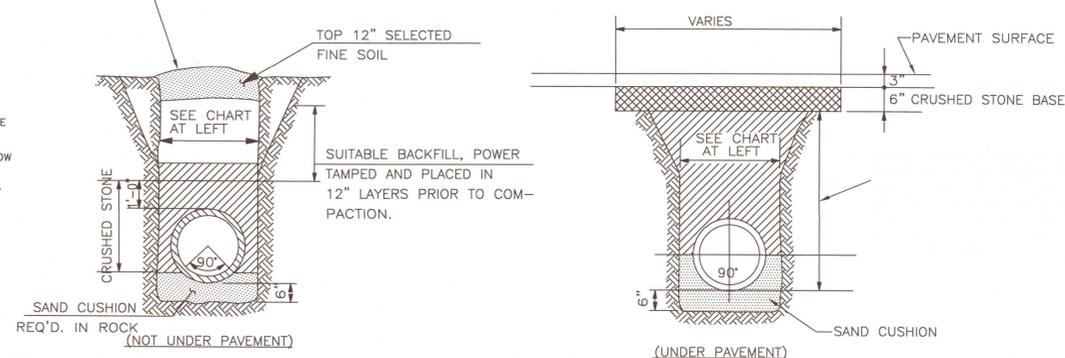
FOR ARCH & ELLIPTICAL PIPE, D EQUALS SPAN DIMENSION.

IF ROCK IS ENCOUNTERED IN THE PIPE TRENCH, ROCK EXCAVATION WILL BE PAID FROM THE TOP OF THE ROCK TO 6" BELOW THE OUTSIDE BOTTOM OF THE PIPE WITHIN THE PAY LIMIT WIDTH SHOWN. THERE WILL BE NO PAYMENT FOR EARTH EXCAVATION IN THE PIPE TRENCH.

CLASS "C" BEDDING, ASTM C12, BEDDING MATERIAL TO BE CRUSHED STONE (NON-PAY ITEM)

ROCK EXCAVATION + BACKFILL

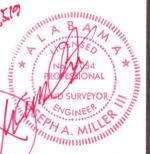
UNLESS IN ESTABLISHED YARD, CONTRACTOR TO HEAP BACKFILL OVER TRENCH WIDTH TO ALLOW FOR SETTLEMENT. IF IN ESTABLISHED YARD, BACKFILL TO MATCH EXISTING ELEVATION.



TYPICAL FIRE HYDRANT



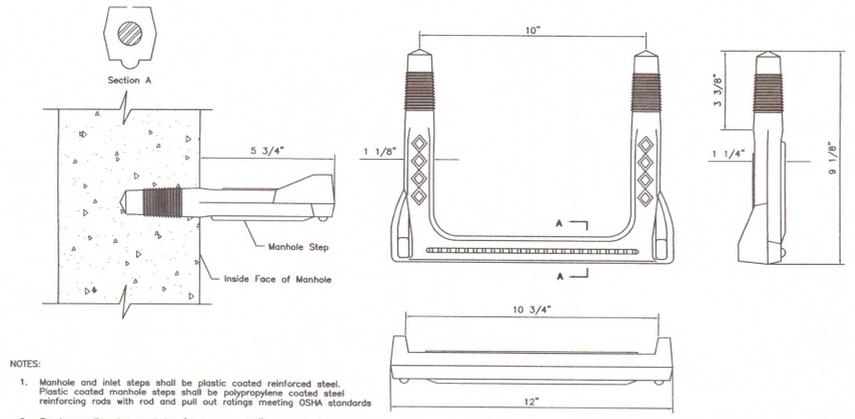
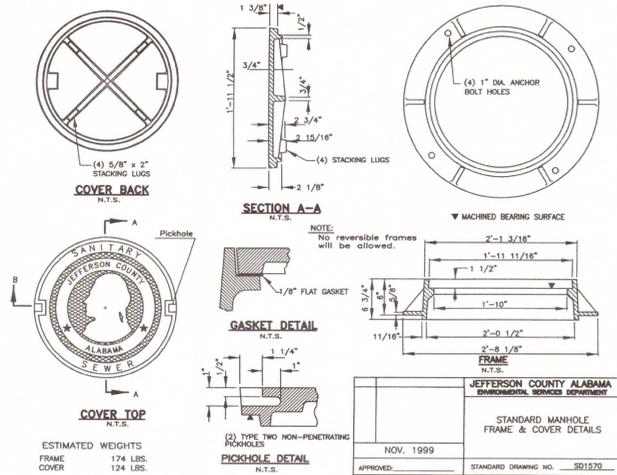
PROJECT



REVISIONS	DATE	DATE

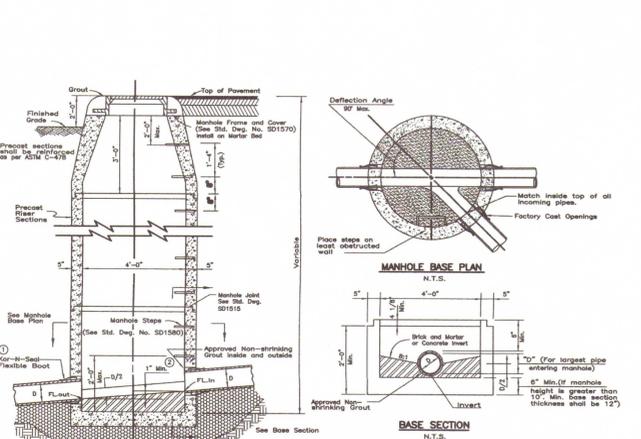
JOB NO:	FILE NAME: 1/SUBDIVISIONS LANE DRIVE
DATE:	Jan. 9th, 2019
DRAWN:	JAM
CHECKED:	JAM III
SCALE:	NTS
SHEET	07



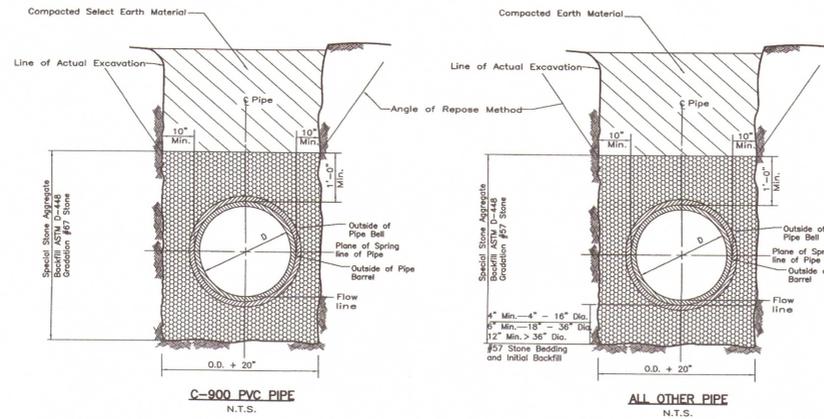


- NOTES:
- Manhole and inlet steps shall be plastic coated reinforced steel. Plastic coated manhole steps shall be polypropylene coated steel reinforcing rods with rod and pull out ratings meeting OSHA standards.
  - For larger diameter manholes (deeper than 22') a caged aluminum ladder shall be used.
  - Manhole and inlet steps shall be installed at maximum 16' intervals.

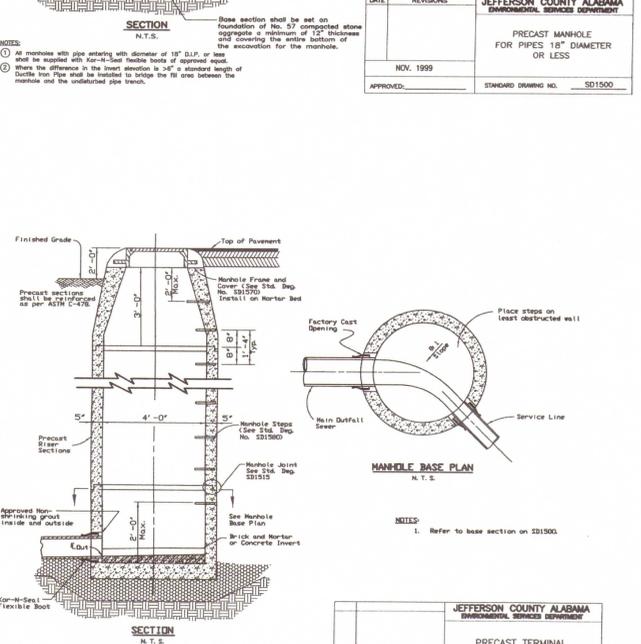
JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
MANHOLE STEP DETAILS	
NOV. 1999	STANDARD DRAWING NO. SD1580
APPROVED: _____	STANDARD DRAWING NO. SD1580



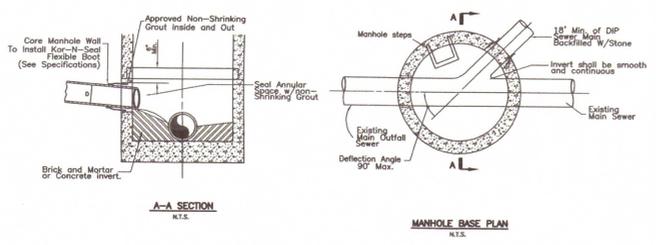
JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
PRECAST MANHOLE FOR PIPES 18\"/>	
NOV. 1999	STANDARD DRAWING NO. SD1500
APPROVED: _____	STANDARD DRAWING NO. SD1500



JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
PIPE BEDDING AND BACKFILL DETAILS UNIMPROVED SURFACES	
NOV. 1999	STANDARD DRAWING NO. SD2010 RCC
APPROVED: _____	STANDARD DRAWING NO. SD2010 RCC

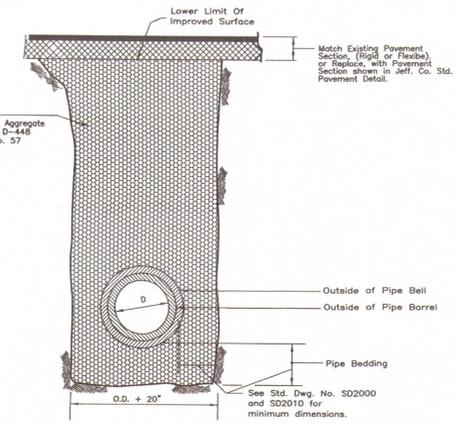


JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
PRECAST TERMINAL MANHOLE	
NOV. 1999	STANDARD DRAWING NO. SD1510
APPROVED: _____	STANDARD DRAWING NO. SD1510

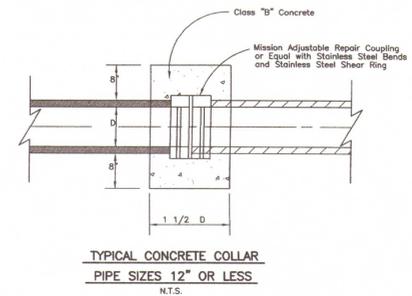


JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
CONNECTIONS 8\"/>	
NOV. 1999	STANDARD DRAWING NO. SD2046
APPROVED: _____	STANDARD DRAWING NO. SD2046

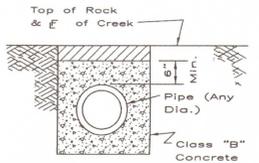
- NOTES:
- Trench configuration shown depicts the use "Trenchwall Shoring" Method, which shall be used under all paved areas unless otherwise directed by the Engineer.
  - The contractor shall refer to applicable "O.S.H.A. Regulations for "Open Trench Excavations".



JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
PIPE BEDDING AND BACKFILL DETAILS UNDER PAVEMENT	
NOV. 1999	STANDARD DRAWING NO. SD2030 RCC
APPROVED: _____	STANDARD DRAWING NO. SD2030 RCC



TYPICAL CONCRETE COLLAR  
PIPE SIZES 12\"/>



JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
SUGGESTED DETAILS FOR PIPE PROTECTION FOR PIPES CROSSING STREAMS WITH NO OVERBURDEN.	
NOV. 1999	STANDARD DRAWING NO. SD2085
APPROVED: _____	STANDARD DRAWING NO. SD2085

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATION OF JEFFERSON COUNTY, THE LOCAL MUNICIPALITY AND/OR THE STATE HIGHWAY DEPARTMENT, AND APPLICABLE O.S.H.A. REGULATIONS, AS APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT 325-5127 AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION. THERE SHALL BE NO CHANGES IN DRAWINGS WITHOUT WRITTEN APPROVAL BY THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.
- DUCTILE IRON PIPE SHALL BE CLASS 52 OR BETTER.
- PVC PIPE SHALL BE AWWA C900, CAST IRON (CI) STANDARD DIMENSIONS. DIMENSION RATIO (DR) 18. PRESSURE CLASS (PC) 150 PSI OR BETTER.
- IN EARTH TRENCH, FOUR INCHES OF CRUSHED STONE SHALL BE PLACED UNDER SEWER LINES OF 12 INCHES IN DIAMETER OR SMALLER AND SIX INCHES OF CRUSHED STONE SHALL BE PLACED UNDER SEWER LINES LARGER THAN 12 INCHES IN DIAMETER. IN ROCK TRENCHES, SIX INCHES OF CRUSHED STONE SHALL BE PLACED UNDER ALL SEWERS. THE DITCH SHALL BE BACKFILLED WITH CRUSHED STONE TO A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE. WHEN CROSSING EXISTING ROADS, STREETS, AND ALL PAVEMENT IN AND OUT OF THE R.O.W., THE TOTAL BACKFILL SHALL BE CRUSED STONE AND PROPERLY CHOKED.
- AT THE DIRECTION OF THE ESD INSPECTOR, A CONNECTION OF SANITARY SEWER PIPES (8 INCH THROUGH 16 INCH) OF DISSIMILAR SIZES OR FOR REPAIR OF SANITARY SEWER PIPES OF SIMILAR MATERIALS MAY BE MADE BY MEANS OF AN APPROVED MECHANICAL SEAL TYPE ADJUSTABLE COUPLING. COUPLINGS WITH ANY REQUIRED ADAPTING BUSHINGS SHALL BE MANUFACTURED OF AN APPROVED PREFORMED ELASTOMERIC MATERIAL SPECIFICALLY FOR DIMENSIONS OF THE PIPE MATERIALS TO BE CONNECTED. COUPLINGS OF THE MECHANICAL SEAL TYPE SHALL HAVE NUT AND BOLT TIGHTENING CLAMPS OR DEVICES MADE OF 316 STAINLESS STEEL, WITH AN ADJUSTABLE STAINLESS STEEL SHEAR RING, AND STAINLESS STEEL HARDWARE. A CONCRETE COLLAR AS SHOWN ON APPENDIX STANDARD DRAWING SD2080 IS REQUIRED. THE ADJUSTABLE COUPLING SHALL BE INSTALLED AS RECOMMENDED AND SPECIFIED BY THE MANUFACTURER. EACH COUPLING SHALL BEAR THE MANUFACTURER'S NAME AND REQUIRED MARKINGS.
- MANHOLES SHALL MEET ASTM SPECIFICATION C-478. JOINTS BETWEEN THE MANHOLE SECTIONS SHALL BE OFFSET TONGUE AND GROOVE "PUSH ON" TYPE, SUPPLIED WITH TYLOX SUPER SEAL PRE-LUBRICATED GASKET AS MANUFACTURED BY HAMILTON KENT MEETING THE REQUIREMENTS OF ASTM C443. EACH JOINT SHALL ALSO BE SUPPLIED WITH CONSEAL CS-231 WATERSTOP SEALANT AS MANUFACTURED BY CONCRETE SEALANTS, IN WIDTHS AS RECOMMENDED BY THE MANUFACTURER. MANHOLES SHALL HAVE A MINIMUM DIAMETER OF 48 INCHES AND A MINIMUM THICKNESS OF 5 INCHES. ALL MANHOLE CONES SHALL BE OF THE CONCENTRIC TYPE. MANHOLES MAY BE FINISHED TO STREET GRADE WITH BRICK AND MORTAR. THIS ADJUSTMENT HEIGHT SHALL NOT EXCEED 16 INCHES.
- STUBOUTS FOR SANITARY SEWER SERVICE LINES SHALL END ON OR NEAR THE PROPERTY LINE UNLESS OTHERWISE NOTED. ON "DOWNHILL" SIDE LOTS INSTALL LATERALS ON A MINIMUM 1% GRADE. ON "UPHILL" SIDE LOTS, INSTALL SERVICE LINES TO GRADE THAT WILL TERMINATE A MAXIMUM DEPTH OF 10 FEET. THE FIRST JOINT OUT OF A MANHOLE, FOR BUILDING OR HOUSE SERVICE, SHALL BE DUCTILE IRON PIPE CLASS 52 OR BETTER (MINIMUM 8 FEET). ANY BUILDING SERVICE LINE SET OUTSIDE OF EASEMENT OR R.O.W. MUST BE INSTALLED BY A MASTER PLUMBER AND HAVE A SEWER CONNECTION PERMIT FOR EACH LOT.
- IF THE CONTRACTOR IS INSTALLING SERVICE LINES AT THE SAME TIME AS MAIN LINE, THE SERVICE LINE SHALL BE INSTALLED IN ACCORDANCE WITH JEFFERSON COUNTY STANDARDS FOR CONSTRUCTION OF SERVICE LINES AND CONNECTIONS, AND INSPECTED/TESTED BY COUNTY INSPECTOR BEFORE IT IS BACKFILLED.
- ALL SERVICE LINE STUBOUTS INSTALLED IN ROAD ROW OR UNDER ASPHALT SHALL BE PER STANDARD SPECIFICATIONS FOR SANITARY SEWER SERVICE LINES AND CONNECTIONS SECTION 4.
- CONSTRUCTION SIGNS FOR WORK WITHIN AND ADJACENT TO PUBLIC ROADS, HIGHWAYS, AND ALLEYS SHALL BE IN ACCORDANCE WITH ALDOT STANDARDS.
- CONTRACTOR WILL BE RESPONSIBLE FOR THE CONTINUOUS AND PROPER OPERATION OF ALL EXISTING UTILITIES LOCATED ON OR ADJACENT TO THE PROJECT SITE AND WITHIN THE CONSTRUCTION LIMITS OF THIS PROJECT.
- ALL EMBANKMENT FILL AREAS SHALL BE FILLED AND COMPACTED PRIOR TO EXCAVATION OF SEWER LINE TRENCHES.
- CONTRACTOR WILL BE RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS AND FOR ACQUISITION OF ALL PERMITS DURING CONSTRUCTION TO INSURE THAT DAMAGE DOES NOT OCCUR TO ADJACENT PROPERTIES, PUBLIC ROADS AND/OR DITCHES (CREEKS, STREAMS).
- UPON COMPLETION OF ALL OR ANY PART OF A SANITARY SEWER LINE, THE CONTRACTOR WILL BE REQUIRED TO TEST SAID SEWER FOR ACCEPTABILITY. GRAVITY SEWERS WILL BE PRESSURE TESTED WITH AIR. FORCE MAIN SEWERS WILL BE PRESSURE TESTED WITH WATER. MANHOLES WILL BE VACUUM TESTED. ALL TESTS WILL BE CONDUCTED IN THE PRESENCE OF THE COUNTY SEWER CONSTRUCTION INSPECTOR IN ACCORDANCE WITH SECTION 5.00 STANDARDS FOR COMMERCIAL AND RESIDENTIAL CONSTRUCTION OF SANITARY SEWER SYSTEMS. GRAVITY SANITARY SEWERS WILL BE TELEVISION INSPECTED FOLLOWING AIR TESTING WITH THE FINAL VIDEO TAPE AND LOG FURNISHED TO THE COUNTY FOR RECORD INFORMATION.

M T M  
ENGINEERS, INC.  
CONSULTING ENGINEERS-LAND SURVEYORS  
2217 10TH COURT SOUTH, BIRMINGHAM, AL. 35205  
TELEPHONE (205) 320-0114



SANITARY SEWER DETAILS  
COTTAGES AT LANE  
SITUATED IN SE 1/4 OF NW 1/4 SECTION 16 TOWNSHIP 17 SOUTH, RANGE 1 EAST  
CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



PROJECT	REVISIONS
ENGINEER	DATE
JOB NO:	FILE NAME: I/SUBDIVISIONS
DATE:	JUNE 18th, 2018
DRAWN:	JAM
CHECKED:	JAM III
SCALE:	NTS
SHEET	08