



CITY OF LEEDS, ALABAMA

PLANNING AND ZONING COMMISSION AGENDA

1412 9th St - Annex

April 14, 2022 @ 5:00 PM

CALL TO ORDER:

ROLL CALL:

DETERMINATION OF QUORUM:

APPROVAL OF MINUTES FROM PREVIOUS MEETING(S):

OLD BUSINESS:

NEW BUSINESS:

1. SA22-000004 - A request by JH Pugh Renovations LLC - Jason Pugh, Owner and Applicant, for a resurvey plat "Resurvey of Lots 17, 18, 19, 20, 21, 22 and 23 Block BA, according to the survey of Leeds" located at 1710 Morgan St, Leeds, TPID 2500164013004000, Jefferson County.
2. SA22-000005 - A request by Tiffany Joes, Owner, and Applicant, for a resurvey " Resurvey of Lots 335 & 336 of Final Plat Spring Valley Phase Three" located at 921 Valley Cir, Leeds, AL 35094, TPID PART OF 2500301001002000, Jefferson County, Zoned R-5, Garden Home District, Jefferson County.
3. SA22-000006 - Duplicate Case - Void- A request by Gonzalez, Strength & Associates, Applicant, Hillary Drummond, Owner for a preliminary plat "Hillary Drummond Add to Elliot Lane Plat No. 2" consisting of one (1) lot located at 7389 Elliot Ln, Leeds, AL 35094, TPID2500293000002001. Zoned, A-1, Agriculture, Jefferson County
4. SA22-000009 - A request by Schoel Engineering, Applicant, United States Steel, Owner for a preliminary plat - "Grand River Townhomes" located at 9995 Rex Lake Rd, Leeds, AL 35094, TPID 2400264000001000, Zoned PCD - Planned Community Development, Jefferson County
5. SA22-000010 - A request by Frank Sweatt, Owner, and Applicant, for a certified plat "Frank Sweatt's Addition to Elliot Ln" consisting of one (1) lot located at 7442 Elliot Lane, Leeds, AL 35094, TPID 2500294000002005, Zoned A-1, Agriculture, Jefferson County.
6. SA22-000011 - A request by Gonzalez, Strength & Associates - Fred Cox , Applicant - Hillary Drummond, Owner - for a certified plat - HILLARY DRUMMOND ADD TO ELLIOT LANE PLAT NO. 2 - located at 7245 Elliot Ln, 35094, TPID: 2500294000002000 - Zoned A-1 Agriculture

PUBLIC ADDRESS:

OTHER BUSINESS:

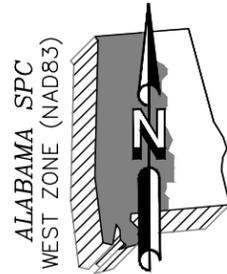
CHAIRPERSON'S COMMUNICATION:

ADJOURNMENT:

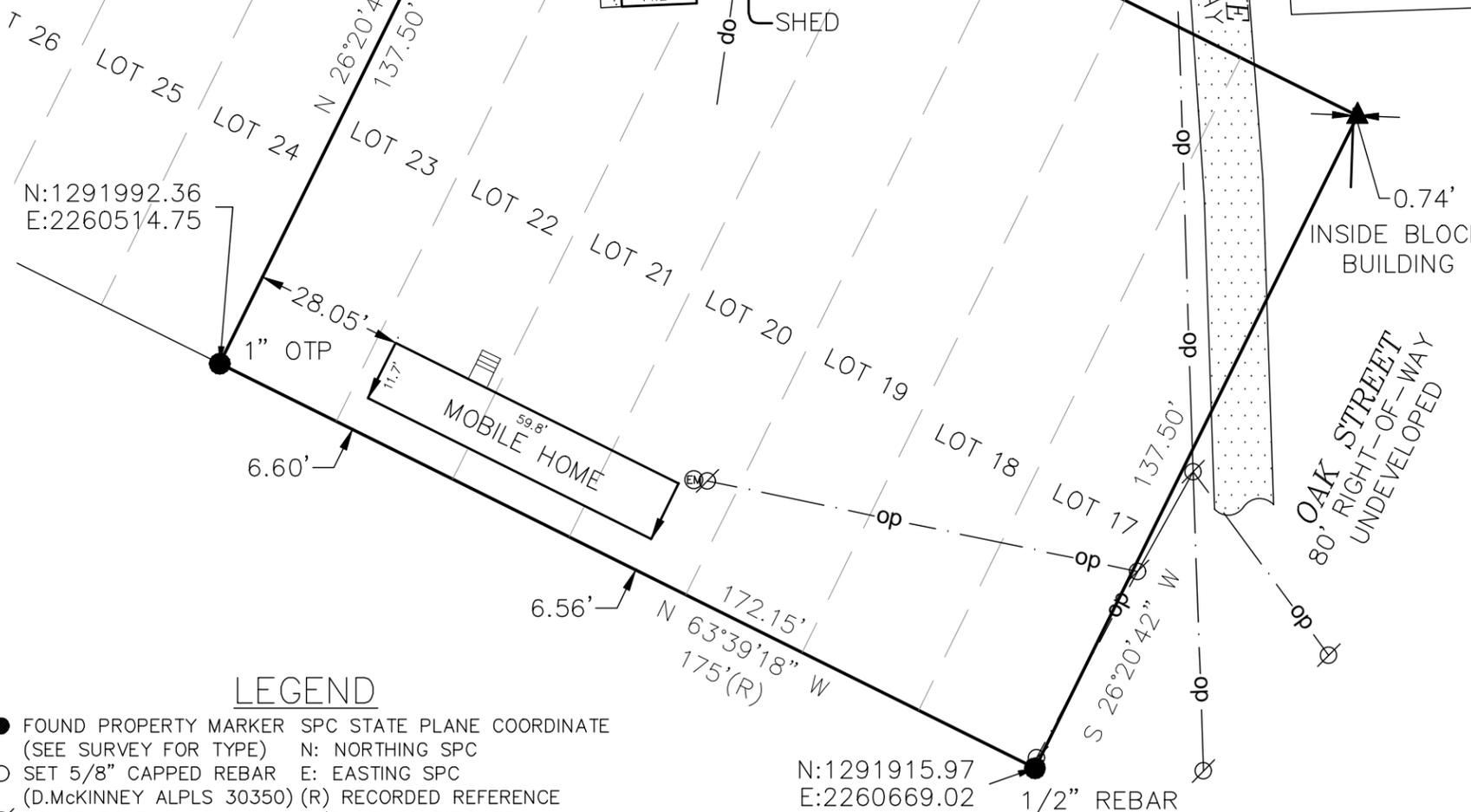
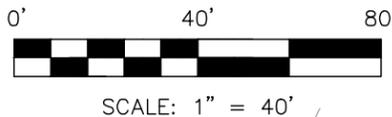
In compliance with the Americans with Disabilities Act, those requiring accommodation for Council meetings should notify the City Clerk's Office at least 24 hours prior to the meeting at 205-699-2585.

File Attachments for Item:

1. SA22-000004 - A request by JH Pugh Renovations LLC - Jason Pugh, Owner and Applicant, for a resurvey plat "Resurvey of Lots 17, 18, 19, 20, 21, 22 and 23 Block BA, according to the survey of Leeds" located at 1710 Morgan St, Leeds, TPID 2500164013004000, Jefferson County.



Grid Factor 1.000030986691
Convergence N 00°31'47" W
Magnetic Declination 03°51' W



LEGEND

- FOUND PROPERTY MARKER SPC STATE PLANE COORDINATE (SEE SURVEY FOR TYPE) N: NORTHING SPC
- SET 5/8" CAPPED REBAR E: EASTING SPC (D.McKINNEY ALPLS 30350) (R) RECORDED REFERENCE
- ⊙ POWER POLE A/C AIR CONDITIONER
- ↓ GUY WIRE POB POINT OF BEGINNING
- ☀ LIGHT POLE OTP OPEN TOP PIPE
- ASPHALT
- CONCRETE
- COVERED
- EM ELECTRIC METER
- ▲ CALCULATED POINT
- SS SANITARY SEWER MANHOLE
- op OVERHEAD POWER FENCE

NOTE: RECORDED & MEASURED BEARINGS AND DISTANCES ARE THE SAME UNLESS OTHERWISE NOTED

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY APPEARS TO LIE IN FLOOD ZONE "X" AND "X SHADED" AND "AE" OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 010125 PANEL 0441 G, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006, AND IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA.

AS-BUILT SURVEY
STATE OF ALABAMA
COUNTY OF JEFFERSON

TO ALL INTERESTED PARTIES:
SCALE: 1" = 40'

I, David D. McKinney, Alabama Registered No. 30350, hereby state that all parts of this survey, performed on the 14th day of August, 2021, and the drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

Legal Description (Instrument # 2018069867)

Lots 17, 18, 19, 20, 21, 22 and 23, Block BA, according to the Survey of Leeds, as recorded in Map Book 10, Page 21, in the Probate Office of Jefferson County, Alabama

That there are no rights-of-way, easements, joint driveways or encroachments, over or across said land, visible on the surface or shown on recorded map, except as shown; that this survey shows the improvements located on said property; and that there are no electrical or telephone wires, (excluding wire which serve the premises only) or structures or supports thereof, including poles, anchors and guy wires, on or over said property, except as shown.

Note: No title or abstract research was performed by the undersigned.

GIVEN UNDER MY HAND AND SEAL, this the 20th day of August, 2021.

David D. McKinney
Alabama Registered No. 30350

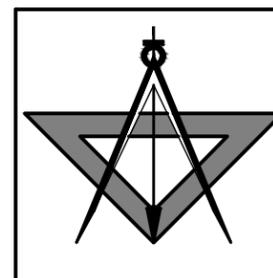
PROPERTY ADDRESS
1714 Morgan Street
Leeds, Alabama 35094



SURVEYOR'S NOTES

1. This is an As-built Survey, made on the ground under the supervision of an Alabama Registered Land Surveyor. Date of field survey is August 14th, 2021.
2. The following surveying instruments were used at time of field visit: Topcon GM55, Total Station, Reflectorless, Topcon Hiper SR G.P.S. receiver.
3. Bearings are Based on Alabama State Plane Coordinate System West Zone by GPS RTK network observation with ALDOT transmitted corrections. Elevations (if shown are NAVD 88, Geoid 18).
4. No underground utilities, underground encroachments or building foundations were measured or located as a part of this survey, unless otherwise shown. Trees and shrubs not located, unless otherwise shown.
5. This survey was conducted for the purpose of an As-built Survey only, and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other similar entity.
6. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to reproduction. This should be taken into consideration when obtaining scaled data.
7. This Survey was conducted with out the benefit of an Abstract Title search.
8. Survey shown hereon conforms to the Minimum Requirements as set forth by the State Board for a Class "A" Survey.
9. Field data upon which this map or plat is based has a closure precision of not less than one-foot in 15,000 feet (1':15,000') and an angular error that does not exceed 10 seconds times the square root of the number of angles turned. Field traverse was not adjusted.
10. This survey is not valid without the original signature and the original seal of a state licensed surveyor and mapper.
11. Survey may be subject to easements, rights-of-way or other instruments of record not shown on this survey.

PROJECT NO. 21-064



David D. McKinney
Alabama Professional Land Surveyor
54 White Oak Circle
Lincoln, Alabama 35096
Scheduling: (256) 375-2710 Cell: (205) 281-5723

TYPE OF SURVEY AS-BUILT			
CLIENT Holley Copeland			
DATE:	DRAWN:	CHKD:	SCALE:
08/19/21	DM	DM	1"=40'

Revision	Description	Date

File Attachments for Item:

2. SA22-000005 - A request by Tiffany Joes, Owner, and Applicant, for a resurvey " Resurvey of Lots 335 & 336 of Final Plat Spring Valley Phase Three" located at 921 Valley Cir, Leeds, AL 35094, TPID PART OF 2500301001002000, Jefferson County, Zoned R-5, Garden Home District, Jefferson County.

LEGEND

- SQ. FT..... SQUARE FEET
- AC..... ACRES
- +/-..... MORE OR LESS
- Δ..... DELTA ANGLE
- d..... DEFLECTION ANGLE
- T..... TANGENT
- R..... RADIUS
- CH..... CHORD
- L..... LENGTH
- ESMT..... EASEMENT
- EX..... EXISTING
- M.B..... MAP BOOK
- PG..... PAGE
- FND..... FOUND
- ROW..... RIGHT-OF-WAY
- O..... REBAR SET
- MIN..... MINIMUM
- C..... CENTERLINE
- D.B..... DEED BOOK
- NOT TO SCALE
- IRON FOUND
- IRON SET



RESURVEY OF LOTS 335 & 336 OF FINAL PLAT SPRING VALLEY PHASE THREE

BEING A RESURVEY OF LOTS 335 & 336 OF FINAL PLAT OF SPRING VALLEY PHASE THREE, AS
RECORDED IN MAP BOOK 227, PAGE 13, IN THE OFFICE OF THE JUDGE OF PROBATE
JEFFERSON COUNTY, ALABAMA

SITUATED IN THE NE 1/4 OF SECTION 30, TOWNSHIP 17 SOUTH, RANGE 1 EAST
JEFFERSON COUNTY, ALABAMA

State of Alabama
Jefferson County)

The undersigned, Steven J. Clinkscales, a Registered Land Surveyor, State of Alabama, Bob Mathews and Jason Mathews owners, hereby certify that this plat or map was made pursuant to a survey made by said surveyor, and that this plat or map was made at the instance of said owner, that this plat or map is a true and correct plat or map of land shown therein and known or to be known as RESURVEY OF LOTS 335 & 336 OF FINAL PLAT OF SPRING VALLEY PHASE THREE, showing the subdivisions into which it is proposed to divide said lands, giving the length and bearings of the boundaries of each lot and its number, showing the streets, alleys and public grounds, giving the bearings, length, width and name of each street, as well as the number of each lot and block, and showing the relation of the lands to the government survey of Section 30, Township 17 South, Range 2 East, and that iron pins have been installed at all lot corners and curve points as shown and designated by small open circles on said plat or map. I, Steven J. Clinkscales, hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information and belief. Said owner also certifies that it is the owner of said lands, and that the same is not subject to any mortgage. Said owner agrees that the City of Leeds may, at any time, change the natural or existing grade of any street, alley or public grounds, or any part thereof, from the natural or existing grade to the permanent grade without the payment of compensation or damages to the abutting owner; and this agreement shall be a covenant running with the lands. The undersigned appoints the City of Leeds as agent for the purpose of filing said plat or map, together with this instrument, for record, and certifies that we have full authority to execute this instrument and map.

In Witness Whereof, we have hereunto set our hands this the ____ day of _____, 2022.

By: Steven J. Clinkscales By: Odarah Jones - Owner By: Tiffany Jones - Owner
Steven J. Clinkscales, Odarah Jones - Owner Tiffany Jones - Owner
Reg. LS # 37248



State of Alabama
Jefferson County)

I, _____, as Notary Public in and for said County and State, do hereby certify that Steven J. Clinkscales, whose name is signed to the foregoing certificate as Land Surveyor, who is known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, he executed same voluntarily and with full authority therefor.

Given under my hand and seal this ____ day of _____, 2021. By: _____
Notary Public - Commission Exp.:

State of Alabama
Jefferson County)

I, _____, as Notary Public in and for said County and State, do hereby certify that Odarah Jones, whose name is signed to the foregoing certificate as Owner, and who is known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, she executed same voluntarily and with full authority therefor.

Given under my hand and seal this ____ day of _____, 2022. By: _____
Notary Public - Commission Exp.:

State of Alabama
Jefferson County)

I, _____, as Notary Public in and for said County and State, do hereby certify that Tiffany Jones, whose name is signed to the foregoing certificate as Owner, and who is known to me, acknowledged before me, on this date, that being informed of the contents of said certificate, she executed same voluntarily and with full authority therefor.

Given under my hand and seal this ____ day of _____, 2022. By: _____
Notary Public - Commission Exp.:

APPROVED BY _____ DATE: _____
CHAIRMAN, PLANNING COMMISSION

APPROVED BY _____ DATE: _____
OPERATOR SEWER SERVICE

APPROVED BY _____ DATE: _____
LEEDS WATER BOARD

NOTE:
Environmental Services Department approval indicates that easements have been dedicated for future Jefferson County sanitary sewers however this does not mean sanitary sewers have been built or will be built in the future. Any change in the Right-of-Way or Easement boundaries after this date may void this approval.

APPROVED: _____ DATE: _____
DIRECTOR OF ENVIRONMENTAL SERVICES

NOTES:
ALL EASEMENTS ON THIS MAP ARE FOR PUBLIC UTILITIES, SANITARY SEWERS, STORM SEWERS, STORM DITCHES, PRIVATE TELEVISION CABLE SYSTEMS, AND MAY BE USED FOR SUCH PURPOSES TO SERVE PROPERTY BOTH WITHIN AND WITHOUT THIS SUBDIVISION. NO PERMANENT STRUCTURE OR OTHER OBSTRUCTION SHALL BE LOCATED WITHIN THE LIMITS OF A DEDICATED EASEMENT (EXCEPT AS NOTED).

BUILDER IS RESPONSIBLE FOR THE DRAINAGE ON EACH LOT AND IN AND AROUND EACH BUILDING AND FOR SOIL CONDITIONS. THIS ENGINEER/LAND SURVEYOR IS NOT RESPONSIBLE FOR EITHER.

BUILDER WILL BE RESPONSIBLE FOR ADJUSTING THE LIDS OR TOP ELEVATION FOR ALL MANHOLES AND YARD INLETS ON EACH LOT.

THE LOT OWNER/BUILDER SHALL USE APPROPRIATE METHODS, WHETHER PIPES, UNDERDRAIN, DITCHES, GRADING OR OTHER MEANS, TO PROVIDE A BUILDING SITE FREE OF SURFACE OR SUBSURFACE DRAINAGE PROBLEMS WITHOUT ADVERSELY AFFECTING ADJACENT LOTS.

THE LOT OWNER/BUILDER SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF SANITARY SEWER SERVICE LINE OR SEPTIC TANK LOCATION PRIOR TO CONSTRUCTION OF BUILDING FOUNDATIONS.

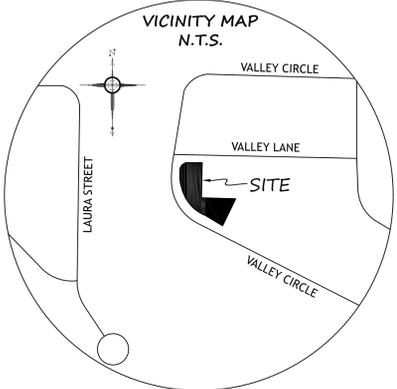
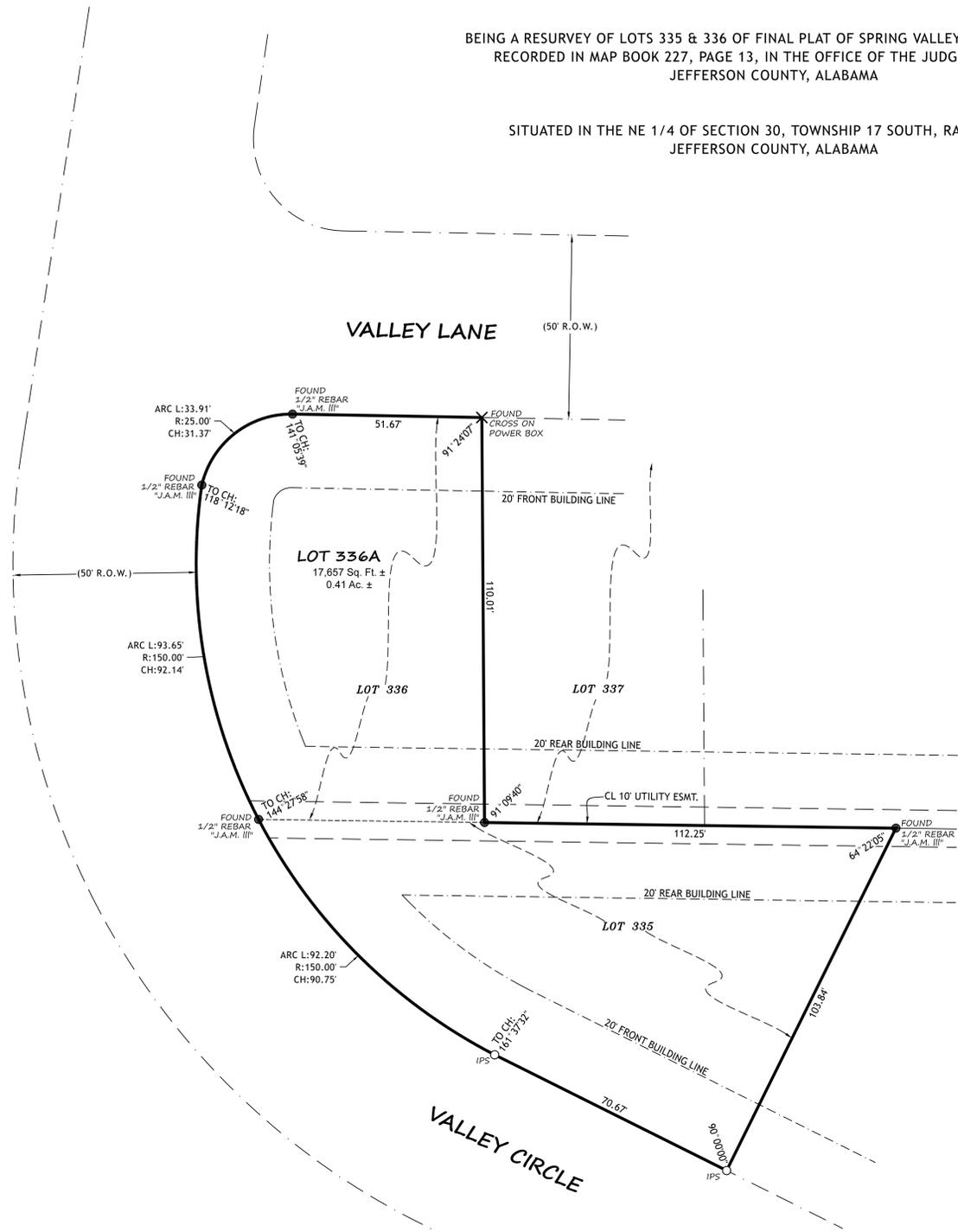
ELEVATION OF ALL SANITARY SEWER LATERALS TO EACH LOT SHOULD BE VERIFIED BY BUILDER PRIOR TO SETTING LOWEST FLOOR OF RESIDENCE TO BE SERVICED.

NO HOUSE SHALL HAVE A FINISHED FLOOR ELEVATION LESS THAN TWO (2) FEET ABOVE TOP OF ANY ADJACENT STORM SEWER WITHOUT ENGINEER'S APPROVAL.

NO FENCE SHALL IMPEDE THE FLOW OF WATER IN ANY DRAINAGE WAY.

CLINKSCALES LAND SURVEYING LLC. IS NOT RESPONSIBLE FOR SOIL COMPACTIONS AND DID NOT CONDUCT ANY SURFACE AND SUBSURFACE INVESTIGATIONS.

NORTH ARROW SHOWN ON THIS MAP IS NOT TRUE NORTH AND SHOULD ONLY BE CONSIDERED AS APPROXIMATE.



THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (ZONE "X") AS PER MAP NO. 01073C0439H, DATED SEPTEMBER 24, 2021.

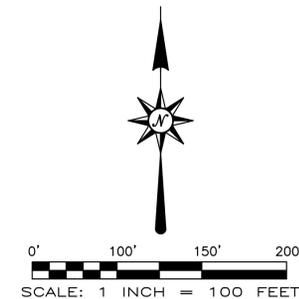
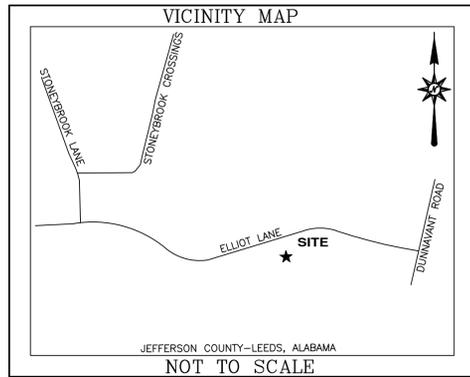
Notes: (a) No title search of the public records has been performed by this firm, and land shown hereon was not abstracted for easements and/or rights-of-way, recorded or unrecorded. The parcel shown hereon is subject to setbacks, easements, zoning, and restrictions that may be found in the public records of said county and/or city. (b) All bearings and/or angles are deed/record map unless otherwise noted in such form as Measured (Deed). (c) Underground portions of foundations, footings, and/or other underground structures, utilities, cemeteries or burial sites were not located unless otherwise noted. (d) The shown north arrow is based on deed/record map. (e) This survey is not transferable. (f) Easements not shown on recorded map are not shown above. (g) All iron pins set (IPS) by this firm are 5/8" rebar with a yellow rebar cap or a 1/2" rebar with a red cap inscribed CLINKSCALES CA-1084LS and shall not be removed.

	CLINKSCALES LAND SURVEYING, LLC		
	SCALE: 1" = 20'	APPROVED BY: Steven J. Clinkscales PLS AL REG. NO. 37248	
DATE: 02/28/2022	SURVEYED BY: SJC / DRAWN BY: TSD	TEL: 205-671-1033	P.O. Box 326 Chelsea, AL 35043 ClinkSurveying.com
Job #: 22-099		GRAPHIC SCALE: 1" = 20' Copyright ©	

File Attachments for Item:

3. SA22-000006 - Duplicate Case - Void- A request by Gonzalez, Strength & Associates, Applicant, Hillary Drummond, Owner for a preliminary plat "Hillary Drummond Add to Elliot Lane Plat No. 2" consisting of one (1) lot located at 7389 Elliot Ln, Leeds, AL 35094, TPID2500293000002001. Zoned, A-1, Agriculture, Jefferson County

LEGEND	
■	FOUND CONCRETE MONUMENT
●	IRON PIN FOUND
●	IRON PIN SET (5/8" REBAR w/CAP)
○	CALCULATED POINT
—	RIGHT OF WAY



STATE OF ALABAMA
SHELBY COUNTY

The undersigned, Derek S. Meadows, a Registered Land Surveyor in the State of Alabama hereby certify that this plat or map was made pursuant to a survey made by said surveyor and that said survey and this plat or map were made at the instance of said owners; that this plat or map is a true and correct map of lands shown therein and known as Hillary Drummond Add to Elliott Lane Plat No. 2, showing the subdivisions into which it is proposed to divide said lands, giving the length and bearings of the boundaries of each lot and its number, showing the streets, alleys, and public grounds, giving the bearings length, width and name of each street, as well as the number of each lot and block, and showing the relation of the lands to the government survey and that iron pins have been installed at all lot corners and curve points as shown and designated by small solid circles on said plat or map and that all parts of this survey and plat (or drawing) have been completed in accordance with the requirements of the Standards for the Practice of Surveying in the State of Alabama to the best of my knowledge and belief. Said owners also certify that they are the owners of said lands and that the same are subject to a mortgage.

DATED: _____, 2016. OWNER: Hillary Drummond
GONZALEZ - STRENGTH & ASSOC., INC. By: _____
By: Derek S. Meadows, Reg. No. 29996 ITS: _____
DATED: _____, 2022. DATED: _____, 2022.

STATE OF ALABAMA
JEFFERSON COUNTY

I, the undersigned, a Notary Public in and for said County and State, do hereby certify that Derek S. Meadows, whose name is signed to the foregoing certificate as surveyor and who is known to me, acknowledged before me, on this date, that after having been duly informed on the contents of said certificate, he executed same voluntarily as such individual with full authority therefor.

Given under my hand this _____ day of _____, 2022.
Notary Public _____ My Commission Expires: _____

STATE OF ALABAMA
JEFFERSON COUNTY

I, the undersigned, a Notary Public in and for said County and State, do hereby certify that Hillary Drummond, as owner of said property whose names are signed to the foregoing certificate as owner and who are known to me, acknowledged before me, on this date, that after having been duly informed on the contents of said certificate, they executed same voluntarily as such individual with full authority therefor.

Given under my hand this _____ day of _____, 2022.
Notary Public _____ My Commission Expires: _____

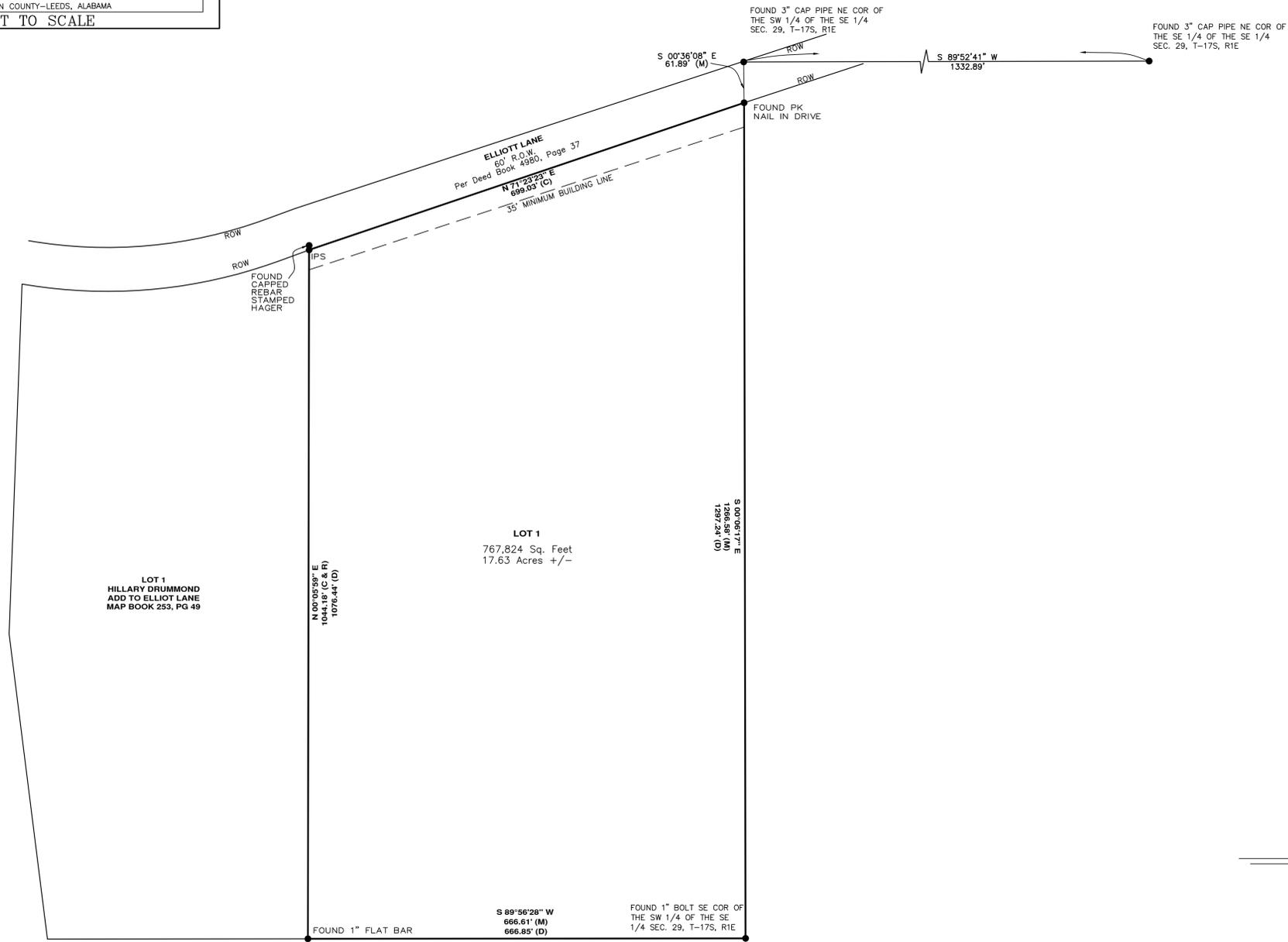
APPROVED: _____ DATE: _____
City Engineer

APPROVED: _____ DATE: _____
City of Leeds Planning & Zoning Commission

APPROVED: _____ DATE: _____
City of Leeds Water Works Board

APPROVED: ALAGASCO DATE: _____

DIRECTOR OF ENVIRONMENTAL SERVICES DATE _____
Environmental Services Department approval indicates that this document has been reviewed for provision of future or existing sanitary sewers; however this does not mean sanitary sewers have been built or will be built in the future. Any change in Right of Way or Easement boundaries after this date may void this approval.



FINAL PLAT

**HILLARY DRUMMOND
ADD TO ELLIOT LANE
PLAT NO. 2**

BEING A SURVEY OF A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 1 EAST, JEFFERSON COUNTY, ALABAMA

Prepared by:

GONZALEZ - STRENGTH & ASSOCIATES, INC.
ENGINEERING, LAND PLANNING, & SURVEYING
1550 WOODS OF RIVERCHASE DRIVE SUITE 200
HOOVER, ALABAMA 35524-4
PHONE: (205) 942-2486
FAX: (205) 942-3033
Gonzalez-Strength.com

ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA.

File Attachments for Item:

4. SA22-000009 - A request by Schoel Engineering, Applicant, United States Steel, Owner for a preliminary plat - "Grand River Townhomes" located at 9995 Rex Lake Rd, Leeds, AL 35094, TPID 2400264000001000, Zoned PCD - Planned Community Development, Jefferson County

GRAND RIVER SOUTH TOWNHOME DEVELOPMENT LEEDS, AL

DRAWING INDEX

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3	TOPOGRAPHIC SURVEY AREA 2
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5	INITIAL CLEARING AND GRUBBING PLAN AREA 2
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7	INTERMEDIATE EROSION AND SEDIMENTATION CONTROL PLAN AREA 2
8	DEMOLITION PLAN
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11	SITE PLAN AREA 2
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29-31	DETAILS



VICINITY MAP
N.T.S.

OWNER

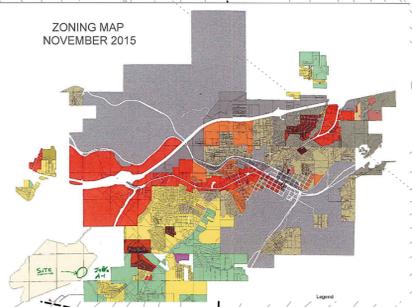
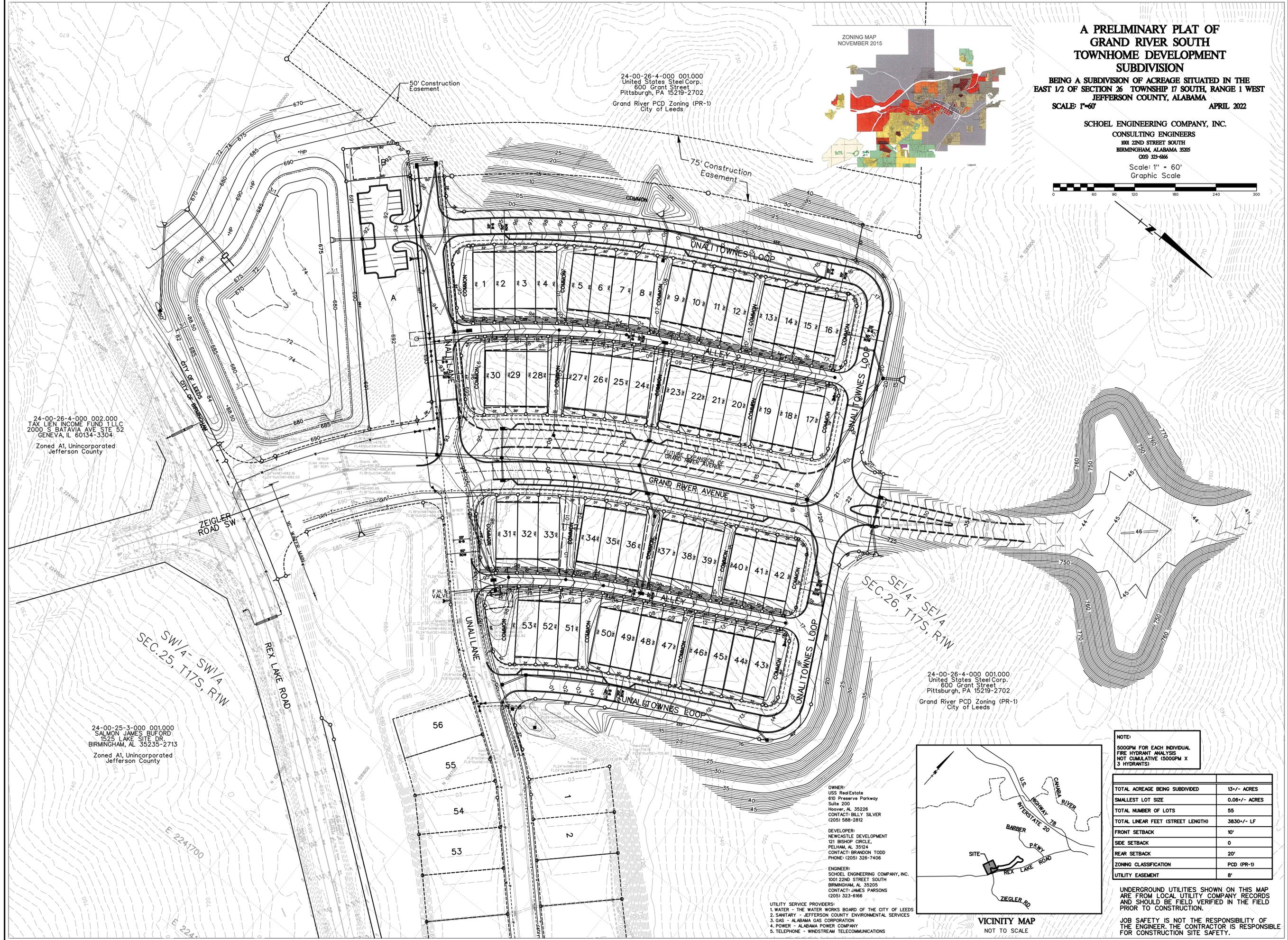
USS Real Estate
610 Preserve Parkway
Suite 200
Hoover, AL 35226
CONTACT: BILLY SILVER
(205) 588-2812

DEVELOPER

NEWCASTLE DEVELOPMENT
121 BISHOP CIRCLE,
PELHAM, AL 35124
CONTACT: BRANDON TODD
PHONE: (205) 326-7406

CIVIL ENGINEER

SCHOEL ENGINEERING CO , INC
1001 22ND STREET SOUTH
BIRMINGHAM, AL 35205
CONTACT: JAMES PARSONS
PHONE: (205) 313-1134



**A PRELIMINARY PLAT OF
GRAND RIVER SOUTH
TOWNHOME DEVELOPMENT
SUBDIVISION**

BEING A SUBDIVISION OF ACREAGE SITUATED IN THE
EAST 1/2 OF SECTION 26 TOWNSHIP 17 SOUTH, RANGE 1 WEST
JEFFERSON COUNTY, ALABAMA

SCALE: 1"=60' APRIL 2022

SCHOEL ENGINEERING COMPANY, INC.
CONSULTING ENGINEERS
1001 22ND STREET SOUTH
BIRMINGHAM, ALABAMA 35205
(205) 323-6166

Scale: 1" = 60'
Graphic Scale



Civil Engineering | Land Surveying | Licensure Architecture
Environmental | Water Resources | Laser Scanning | Modeling

SCHOEL

1001 22nd Street South | 7500 Memorial Pkwy, SW, Ste 209
Birmingham, Alabama 35205 | Huntsville, Alabama 35892
205.323.6166 | 256.539.1221
SCHOEL.COM



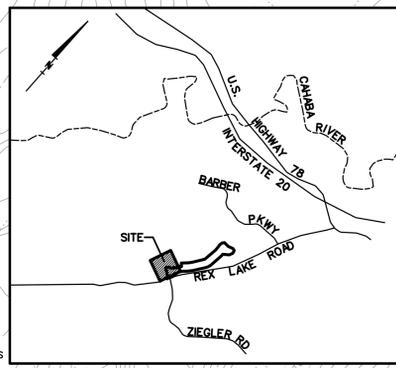
**GRAND RIVER SOUTH
TOWNHOME DEVELOPMENT
LEEDS, AL**

DRAWING SET:
APPROVAL SET 03-14-2022
REVISIONS:

**PRELIMINARY
PLAT**

DRAWN BY: SFS/RJS/JMH
CHECKED BY: J.M.P.
FILE NAME: 21601_PP1

g7/21/601/Civil/Design/



NOTE:
500GPM FOR EACH INDIVIDUAL
FIRE HYDRANT ANALYSIS
NOT CUMULATIVE (500GPM X
3 HYDRANTS)

TOTAL ACREAGE BEING SUBDIVIDED	13 +/- ACRES
SMALLEST LOT SIZE	0.08 +/- ACRES
TOTAL NUMBER OF LOTS	55
TOTAL LINEAR FEET (STREET LENGTH)	3830 +/- LF
FRONT SETBACK	10'
SIDE SETBACK	0
REAR SETBACK	20'
ZONING CLASSIFICATION	PCD (PR-1)
UTILITY EASEMENT	8'

UNDERGROUND UTILITIES SHOWN ON THIS MAP
ARE FROM LOCAL UTILITY COMPANY RECORDS
AND SHOULD BE FIELD VERIFIED IN THE FIELD
PRIOR TO CONSTRUCTION.

JOB SAFETY IS NOT THE RESPONSIBILITY OF
THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE
FOR CONSTRUCTION SITE SAFETY.

SITE CONTROL:

Control Point #1: N 1281197.71 E 2241255.31 Elev. 688.77 Capped Rebar
 Control Point #2: N 1281408.10 E 2240925.75 Elev. 698.96 Capped Rebar
 Control Point #3: N 1281707.57 E 2241219.00 Elev. 705.11 Capped Rebar
 Control Point #4: N 1281705.37 E 2241302.11 Elev. 703.16 Cross

NOTES:

1. Site control was established by GNSS observations. Horizontal datum is NAD83, Alabama State Plane Coordinate System, West Zone. Vertical datum is NAVD 88, Geoid 12b.
2. This property is not located within the 100 year flood area and is in Unshaded Zone "X" (areas determined to be out of 0.2% annual chance Floodplain) as shown on the National Flood Insurance Programs "FIRM" Flood Insurance Rate Map of Jefferson County, Alabama, according to Panel 438 of 755, Map Number 01073C0438H dated September 24, 2021, as published by the Federal Emergency Management Agency.
3. No investigation into the existence or location of underground utilities has been performed for the purpose of this survey. The information shown hereon is from visible surface indications only.
4. This survey is not valid without the original signature and seal of the Professional Land Surveyor.
5. This topographic survey was produced from ground-run survey data performed by the surveyor and publicly available contour data. Areas of ground-run survey data are indicated by the presence of spot elevations.
6. Mark W. Clark can be contacted by telephone at (205) 313-1140 or by email at mclark@schoel.com.

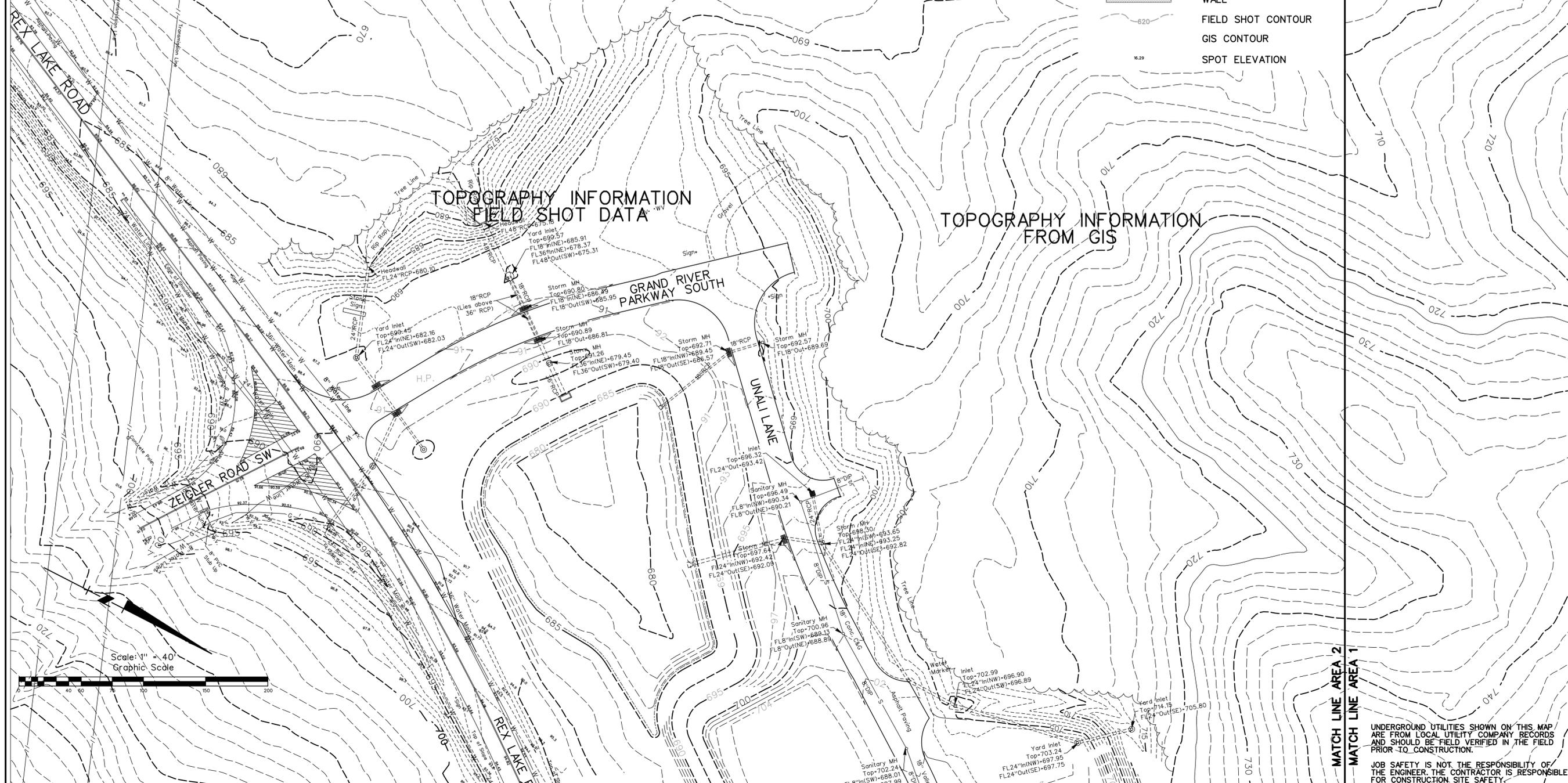
LEGEND

- S — SANITARY SEWER
- STORM SEWER
- ° WV WATER VALVE
- WM WATER METER
- ICV or ° ICV IRRIGATION CONTROL VALVE
- MH MANHOLE
- ▭ CONCRETE WALL
- 620 FIELD SHOT CONTOUR
- GIS CONTOUR
- SPOT ELEVATION

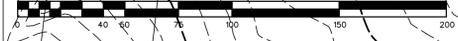
TOPOGRAPHY INFORMATION FROM GIS

TOPOGRAPHY INFORMATION FIELD SHOT DATA

TOPOGRAPHY INFORMATION FROM GIS



Scale: 1" = 40'



MATCH LINE AREA 2
MATCH LINE AREA 1

UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM LOCAL UTILITY COMPANY RECORDS AND SHOULD BE FIELD VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.

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GRAND RIVER SOUTH TOWNHOME DEVELOPMENT LEEDS, AL

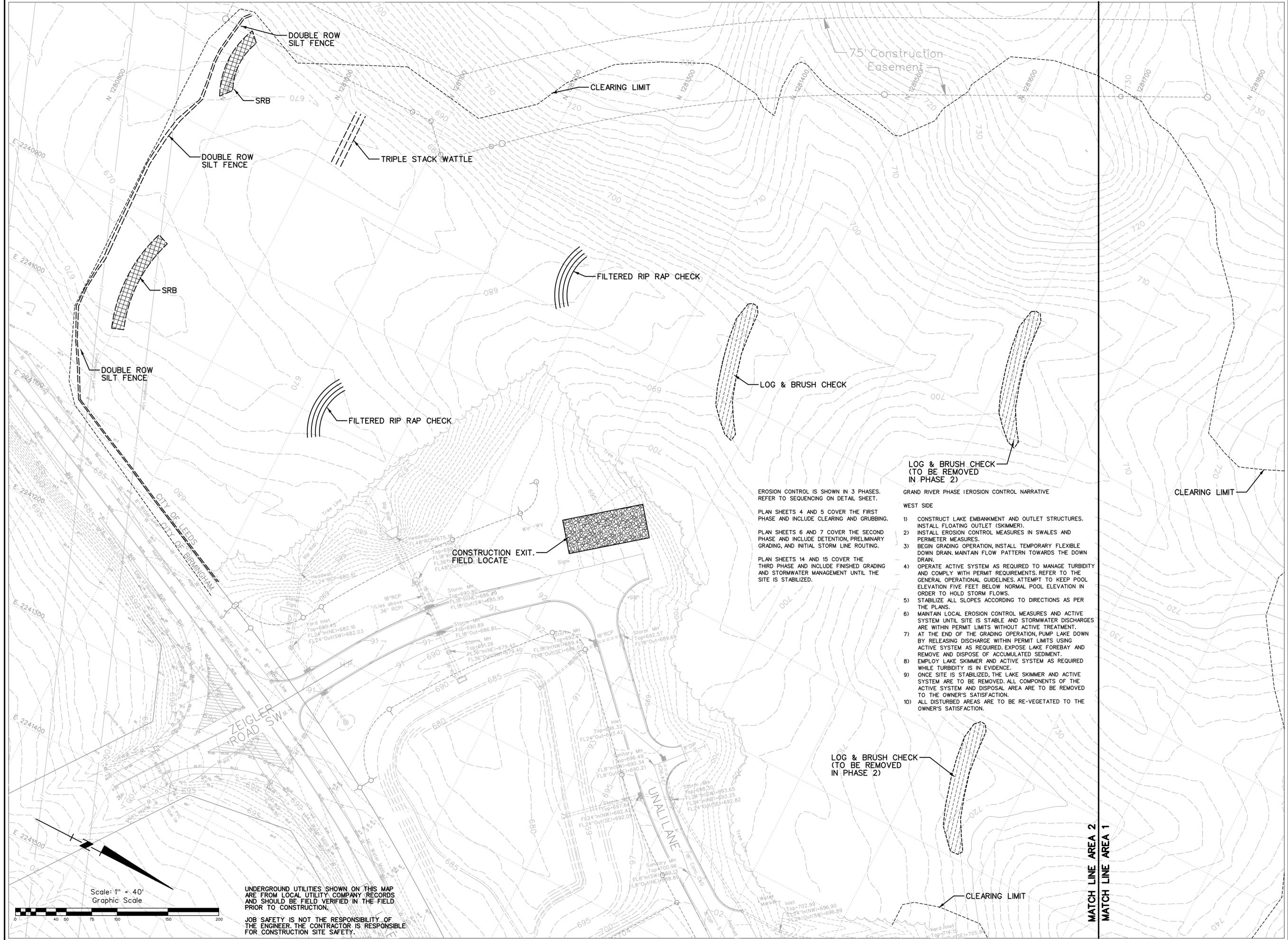
DRAWING SET:
 APPROVAL SET 03-14-2022

REVISIONS:

NO.	DATE	DESCRIPTION

TOPOGRAPHIC SURVEY AREA 1

DATE: FEBRUARY 2022
 DRAWN BY: WTM
 CHECKED BY: MWC
 FIELD BOOK: #3217
 FIELD CREW: JWW
 FILE NAME: 21601_IP1



**LOG & BRUSH CHECK
(TO BE REMOVED
IN PHASE 2)**

EROSION CONTROL IS SHOWN IN 3 PHASES. REFER TO SEQUENCING ON DETAIL SHEET.

PLAN SHEETS 4 AND 5 COVER THE FIRST PHASE AND INCLUDE CLEARING AND GRUBBING.

PLAN SHEETS 6 AND 7 COVER THE SECOND PHASE AND INCLUDE DETENTION, PRELIMINARY GRADING, AND INITIAL STORM LINE ROUTING.

PLAN SHEETS 14 AND 15 COVER THE THIRD PHASE AND INCLUDE FINISHED GRADING AND STORMWATER MANAGEMENT UNTIL THE SITE IS STABILIZED.

GRAND RIVER PHASE 1 EROSION CONTROL NARRATIVE

- WEST SIDE
- 1) CONSTRUCT LAKE EMBANKMENT AND OUTLET STRUCTURES. INSTALL FLOATING OUTLET (SKIMMER).
 - 2) INSTALL EROSION CONTROL MEASURES IN SWALES AND PERIMETER MEASURES.
 - 3) BEGIN GRADING OPERATION. INSTALL TEMPORARY FLEXIBLE DOWN DRAIN. MAINTAIN FLOW PATTERN TOWARDS THE DOWN DRAIN.
 - 4) OPERATE ACTIVE SYSTEM AS REQUIRED TO MANAGE TURBIDITY AND COMPLY WITH PERMIT REQUIREMENTS. REFER TO THE GENERAL OPERATIONAL GUIDELINES. ATTEMPT TO KEEP POOL ELEVATION FIVE FEET BELOW NORMAL POOL ELEVATION IN ORDER TO HOLD STORM FLOWS.
 - 5) STABILIZE ALL SLOPES ACCORDING TO DIRECTIONS AS PER THE PLANS.
 - 6) MAINTAIN LOCAL EROSION CONTROL MEASURES AND ACTIVE SYSTEM UNTIL SITE IS STABLE AND STORMWATER DISCHARGES ARE WITHIN PERMIT LIMITS WITHOUT ACTIVE TREATMENT.
 - 7) AT THE END OF THE GRADING OPERATION, PUMP LAKE DOWN BY RELEASING DISCHARGE WITHIN PERMIT LIMITS USING ACTIVE SYSTEM AS REQUIRED. EXPOSE LAKE FOREBAY AND REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT.
 - 8) EMPLOY LAKE SKIMMER AND ACTIVE SYSTEM AS REQUIRED WHILE TURBIDITY IS IN EVIDENCE.
 - 9) ONCE SITE IS STABILIZED, THE LAKE SKIMMER AND ACTIVE SYSTEM ARE TO BE REMOVED. ALL COMPONENTS OF THE ACTIVE SYSTEM AND DISPOSAL AREA ARE TO BE REMOVED TO THE OWNER'S SATISFACTION.
 - 10) ALL DISTURBED AREAS ARE TO BE RE-VEGETATED TO THE OWNER'S SATISFACTION.

**LOG & BRUSH CHECK
(TO BE REMOVED
IN PHASE 2)**

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Scale: 1" = 40'
Graphic Scale



**GRAND RIVER SOUTH
TOWNHOME DEVELOPMENT
LEEDS, AL**

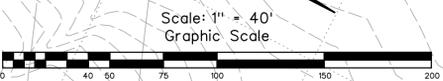
DRAWING SET:
APPROVAL SET 03-14-2022

REVISIONS:

NO.	DESCRIPTION	DATE

**INITIAL CLEARING
AND GRUBBING
PLAN AREA 1**

DRAWN BY: SFS/RJS/JMH
CHECKED BY: J.M.P.
FILE NAME: 21601_EC1



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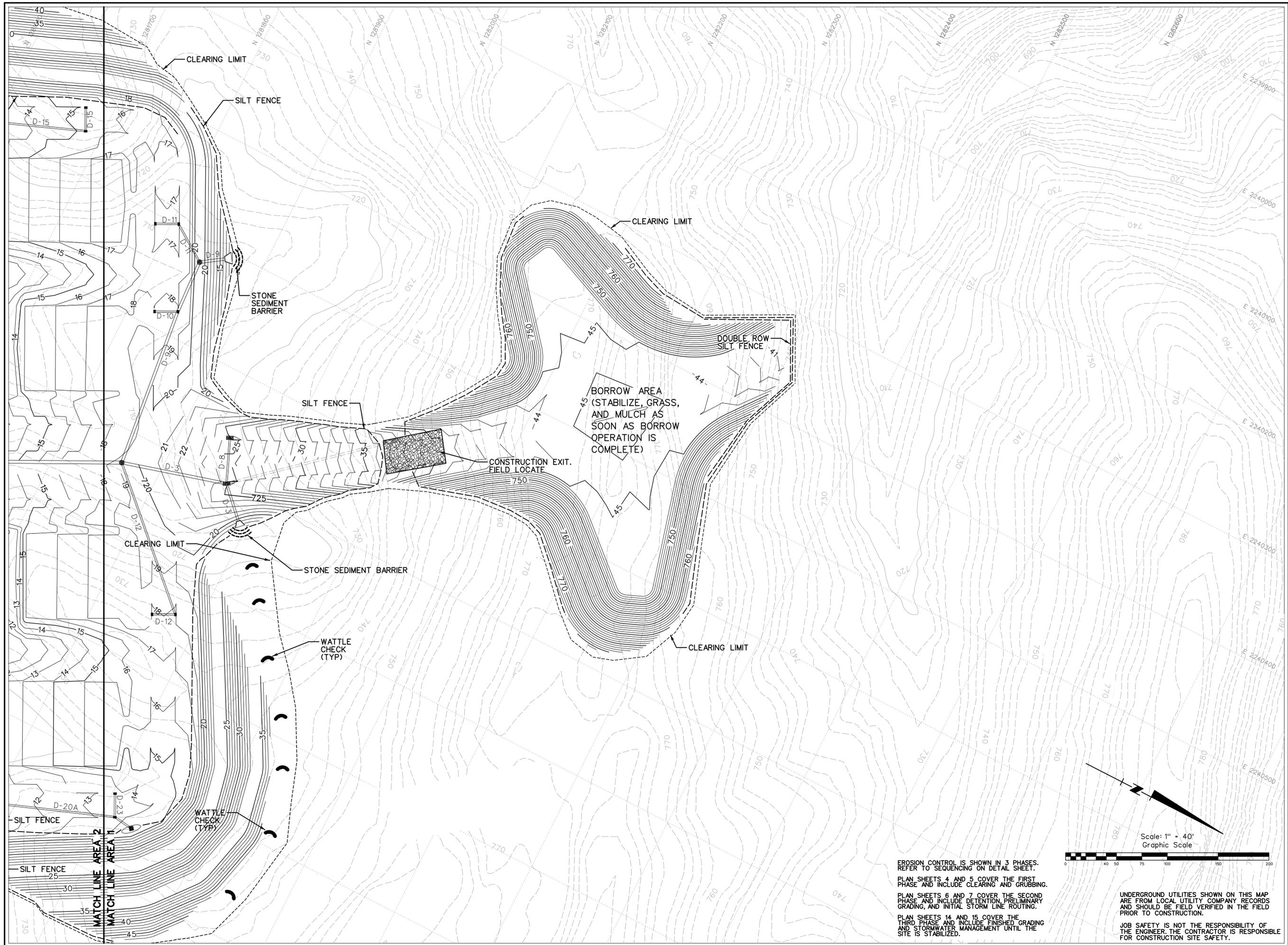


GRAND RIVER SOUTH TOWNHOME DEVELOPMENT LEEDS, AL

DRAWING SET:
 APPROVAL SET 03-14-2022
 REVISIONS:

INTERMEDIATE EROSION
 AND SEDIMENT
 CONTROL PLAN AREA 1

DRAWN BY: SFS/RJS/JMH
 CHECKED BY: J.M.P.
 FILE NAME: 21601_EC2



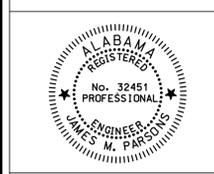
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GRAND RIVER SOUTH TOWNHOME DEVELOPMENT LEEDS, AL

DRAWING SET:
 APPROVAL SET 03-14-2022

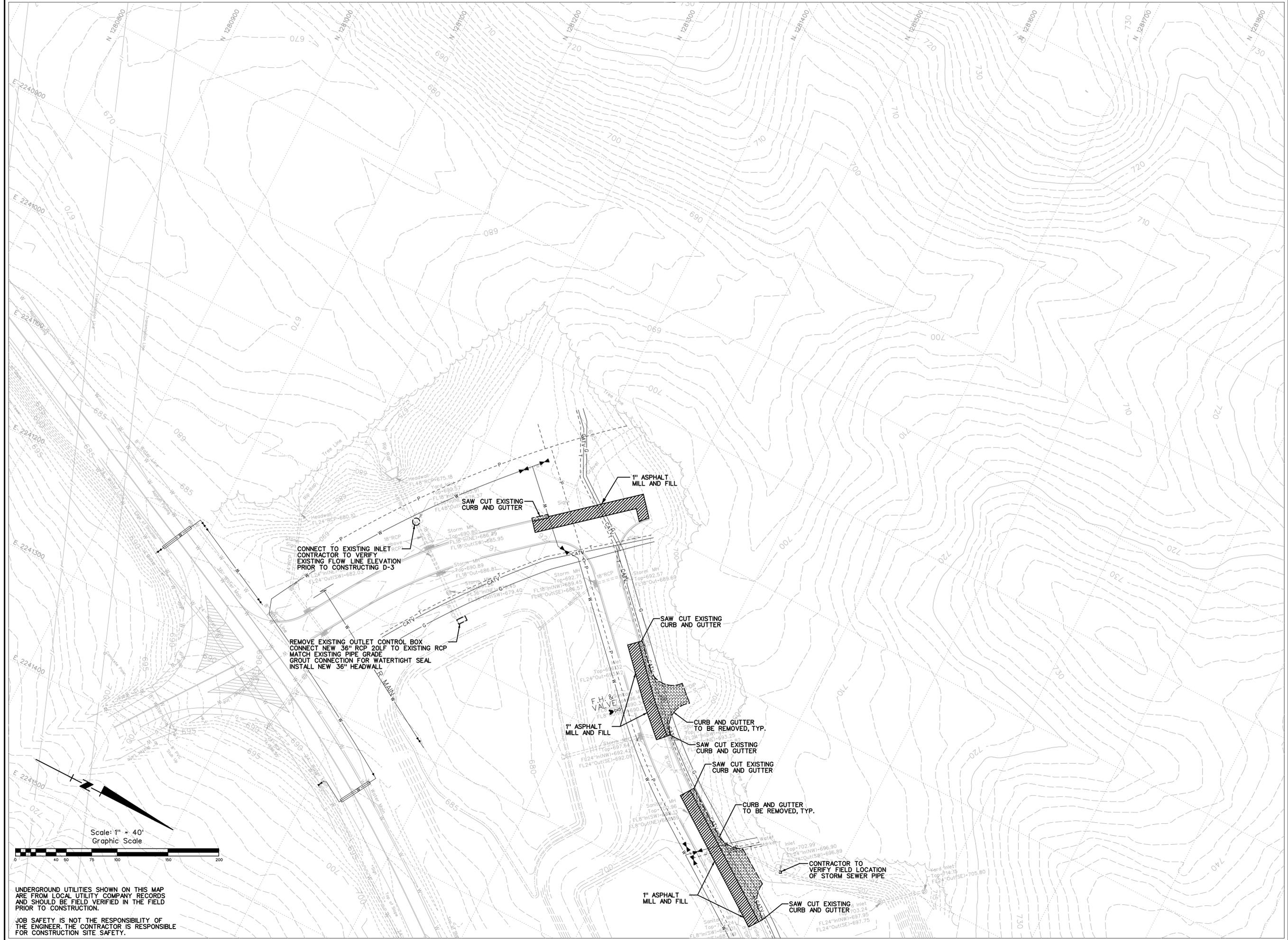
REVISIONS:

No.	Description

INTERMEDIATE EROSION
 AND SEDIMENT
 CONTROL PLAN AREA 2

DRAWN BY: SFS/RJS/JMH
 CHECKED BY: J.M.P.
 FILE NAME: 21601_EC2A

gr/21/601/Civil/Design/



CONNECT TO EXISTING INLET
CONTRACTOR TO VERIFY
EXISTING FLOW LINE ELEVATION
PRIOR TO CONSTRUCTING D-3

REMOVE EXISTING OUTLET CONTROL BOX
CONNECT NEW 36" RCP 20LF TO EXISTING RCP
MATCH EXISTING PIPE GRADE
GROUT CONNECTION FOR WATERTIGHT SEAL
INSTALL NEW 36" HEADWALL

1" ASPHALT
MILL AND FILL

SAW CUT EXISTING
CURB AND GUTTER

1" ASPHALT
MILL AND FILL

CURB AND GUTTER
TO BE REMOVED, TYP.

SAW CUT EXISTING
CURB AND GUTTER

SAW CUT EXISTING
CURB AND GUTTER

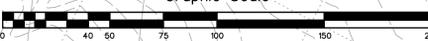
CURB AND GUTTER
TO BE REMOVED, TYP.

1" ASPHALT
MILL AND FILL

CONTRACTOR TO
VERIFY FIELD LOCATION
OF STORM SEWER PIPE

SAW CUT EXISTING
CURB AND GUTTER

Scale: 1" = 40'
Graphic Scale



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FOR CONSTRUCTION SITE SAFETY.



GRAND RIVER SOUTH TOWNHOME DEVELOPMENT LEEDS, AL

DRAWING SET:
APPROVAL SET 03-14-2022

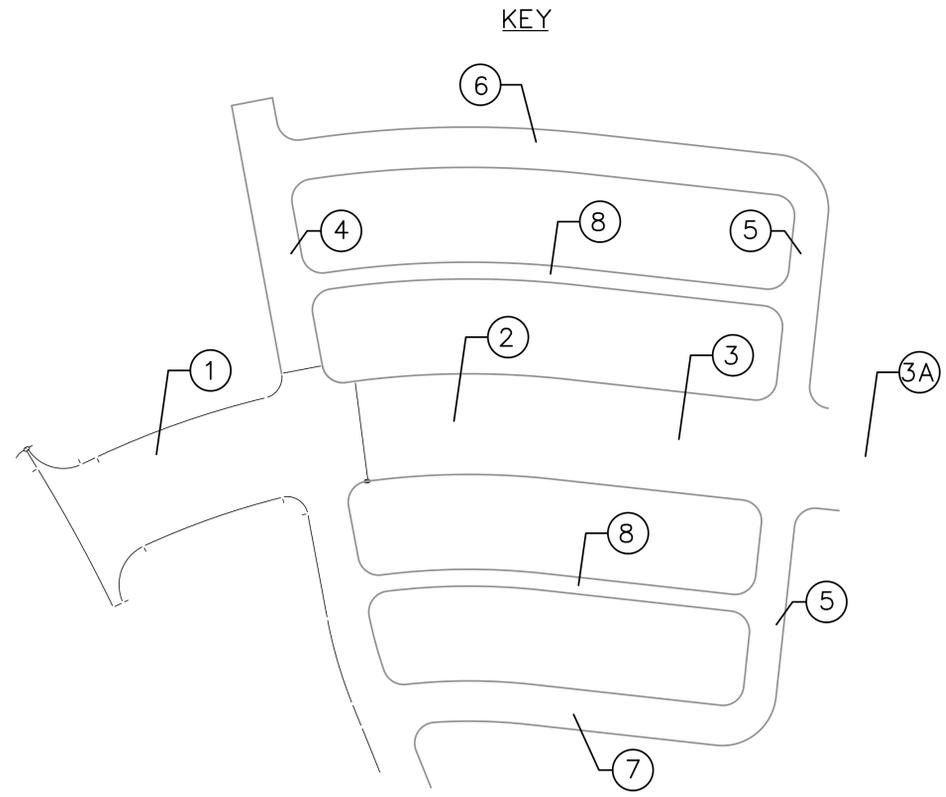
REVISIONS:

NO.	DESCRIPTION

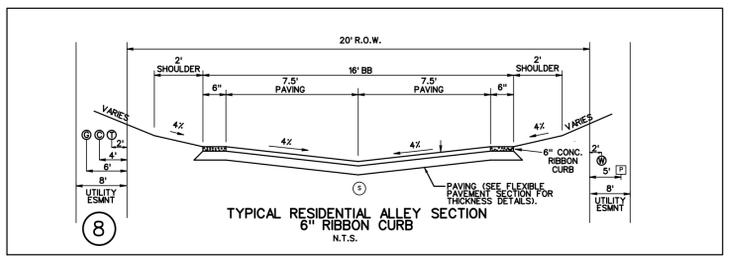
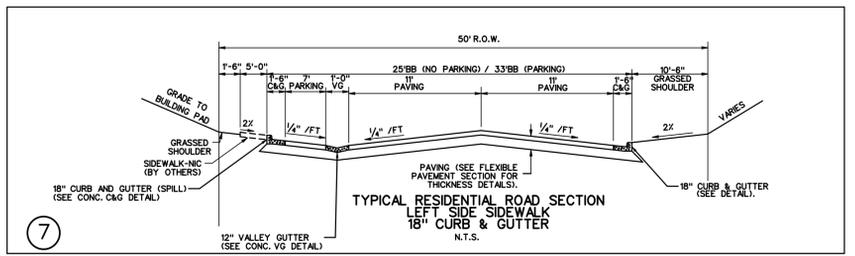
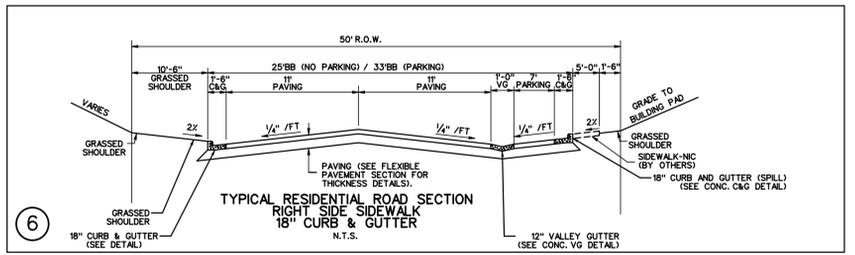
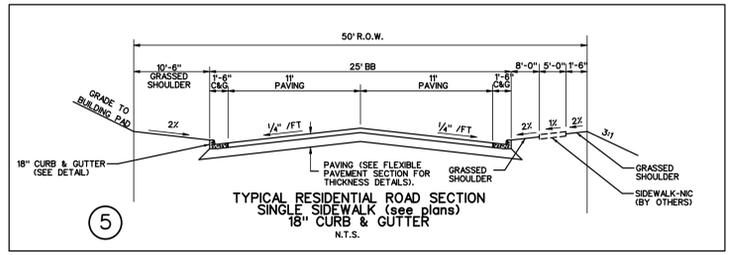
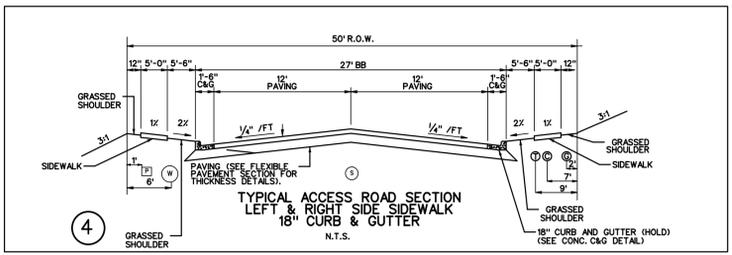
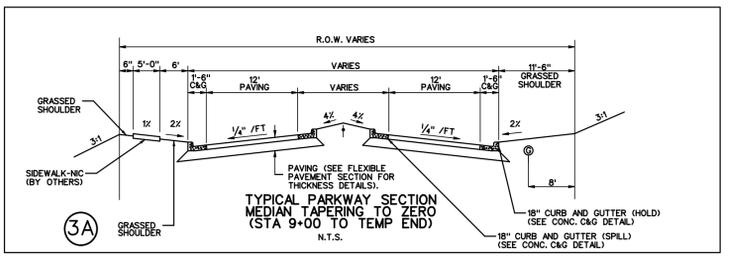
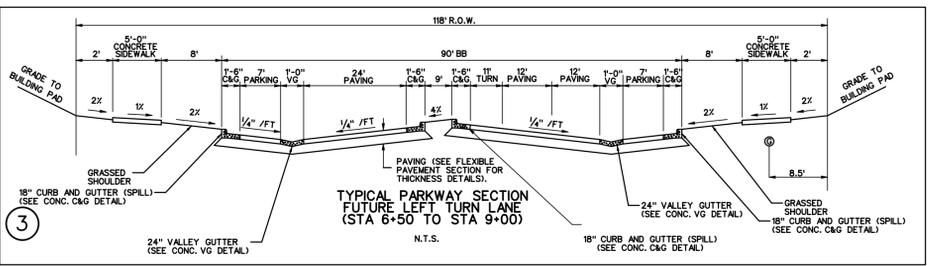
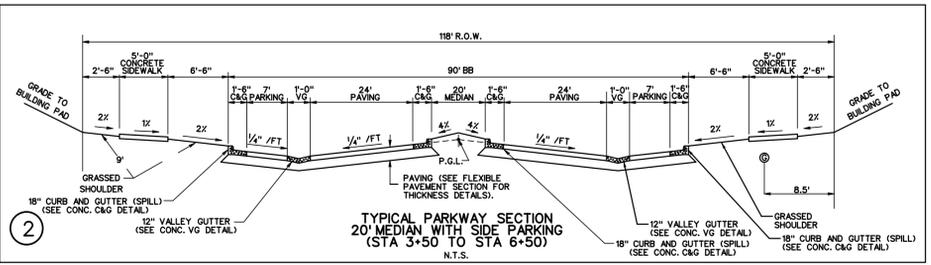
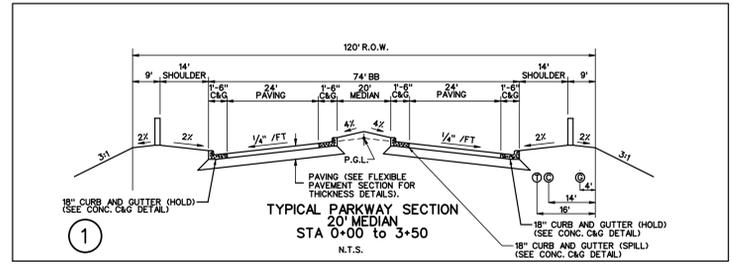
DEMOLITION PLAN

DRAWN BY: SFS/RJS/JMH
CHECKED BY: J.M.P.
FILE NAME: 21601_DP1

g/21/601/Civil/Design/



SEE LAYOUT PLAN FOR TRANSITION AREAS
SEE GRADING PLAN FOR ADDITIONAL INFORMATION



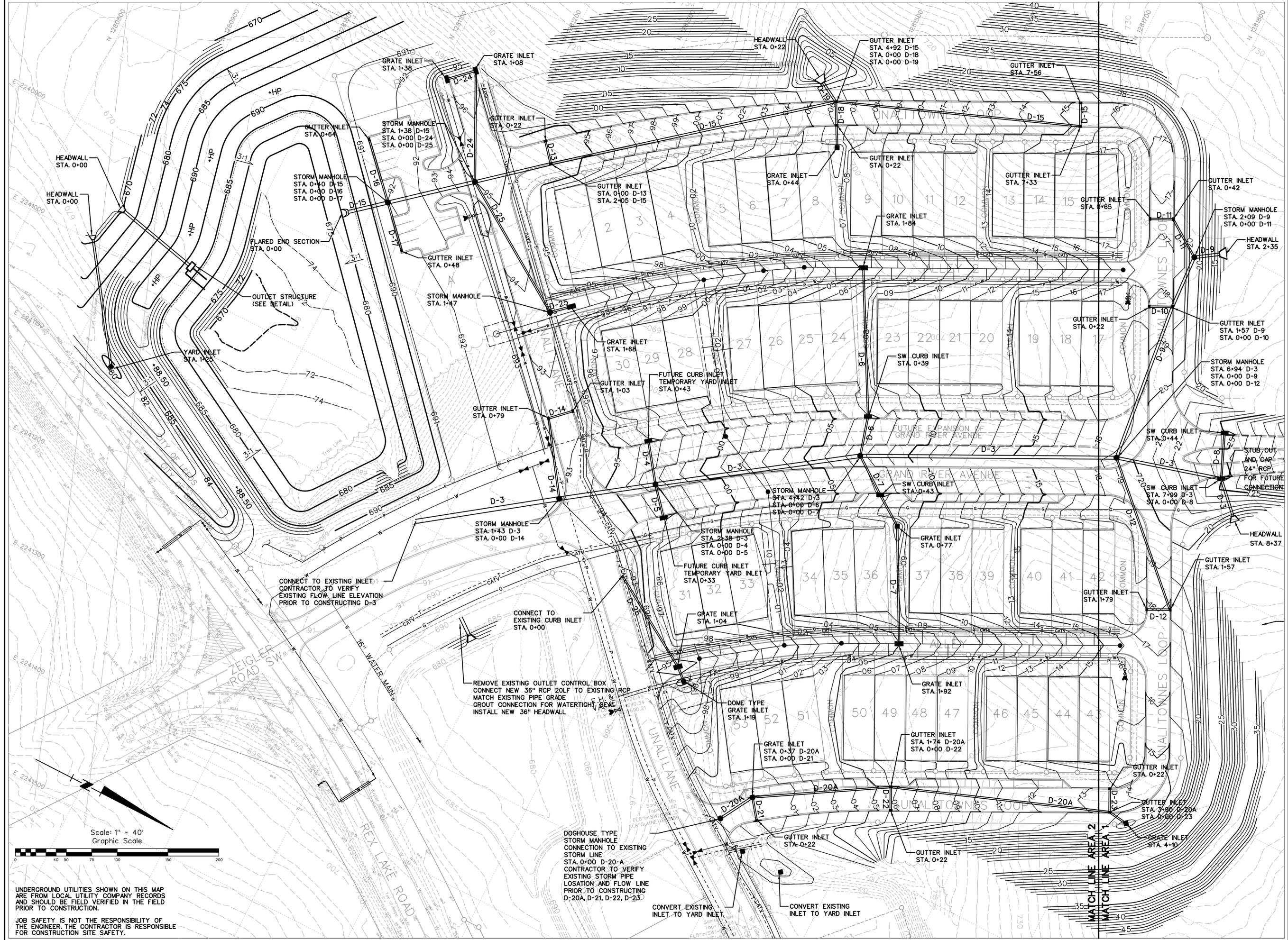
GRAND RIVER SOUTH
TOWNHOME DEVELOPMENT
LEEDS, AL

DRAWING SET:
APPROVAL SET 03-14-2022

REVISIONS:

TYPICAL ROAD SECTIONS

DRAWN BY: SFS/RJS/JMH
CHECKED BY: J.M.P.
FILE NAME: 21601-TYPICAL ROAD SECTIONS
g/21/601/Civil/Design/



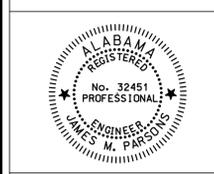
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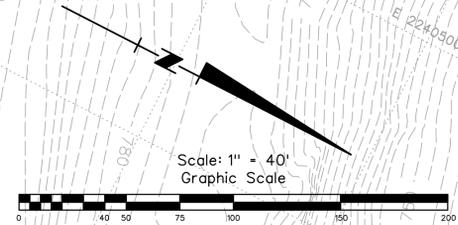
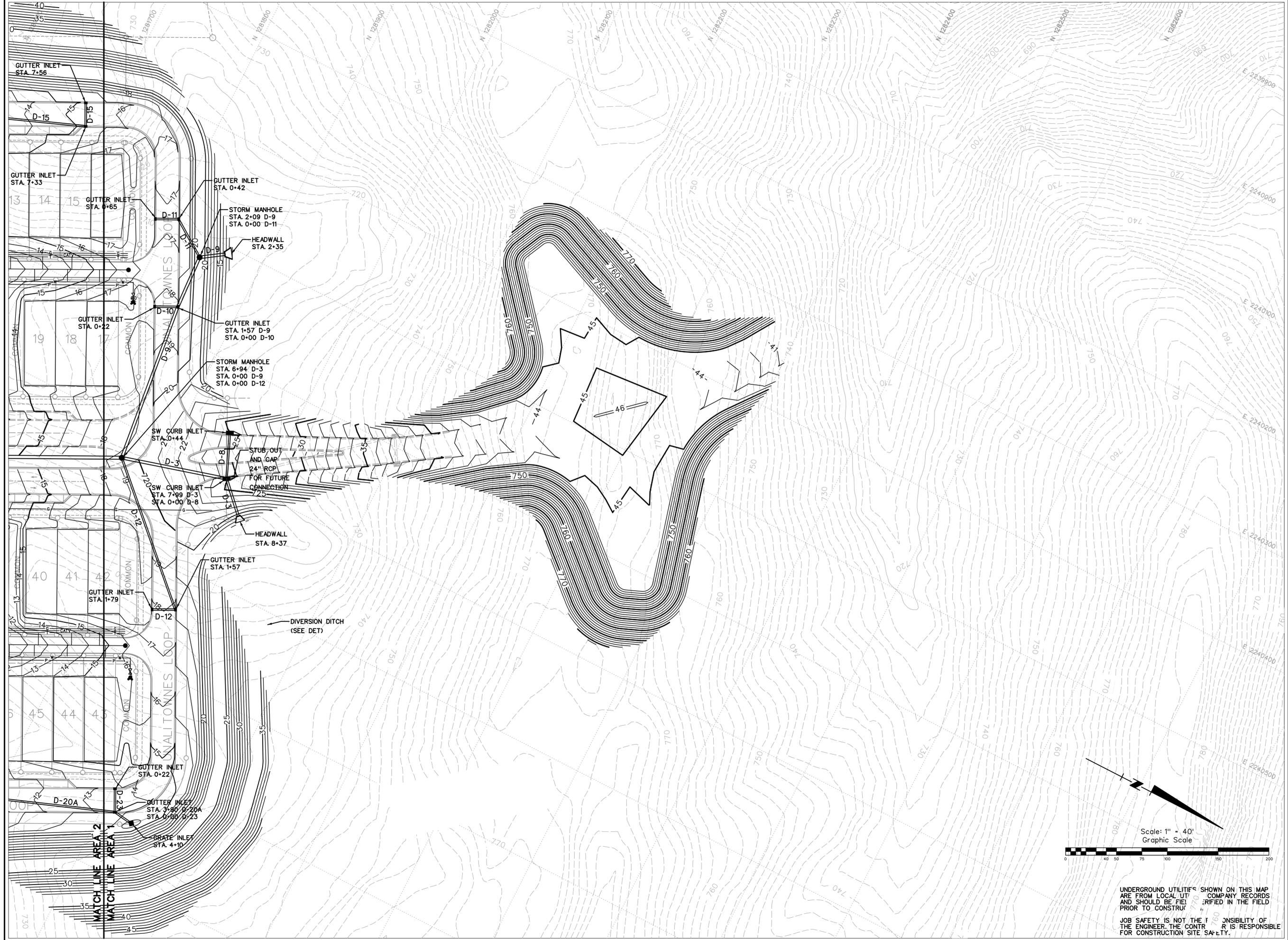
GRAND RIVER SOUTH TOWNHOME DEVELOPMENT LEEDS, AL

DRAWING SET:
 APPROVAL SET 03-14-2022

REVISIONS:

GRADING AND DRAINAGE PLAN AREA 1

DRAWN BY: SFS/RJS/JMH
 CHECKED BY: J.M.P.
 FILE NAME: 21601_GP1

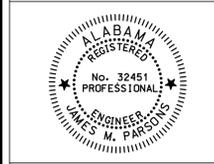


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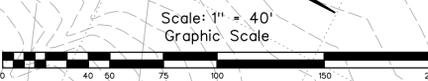
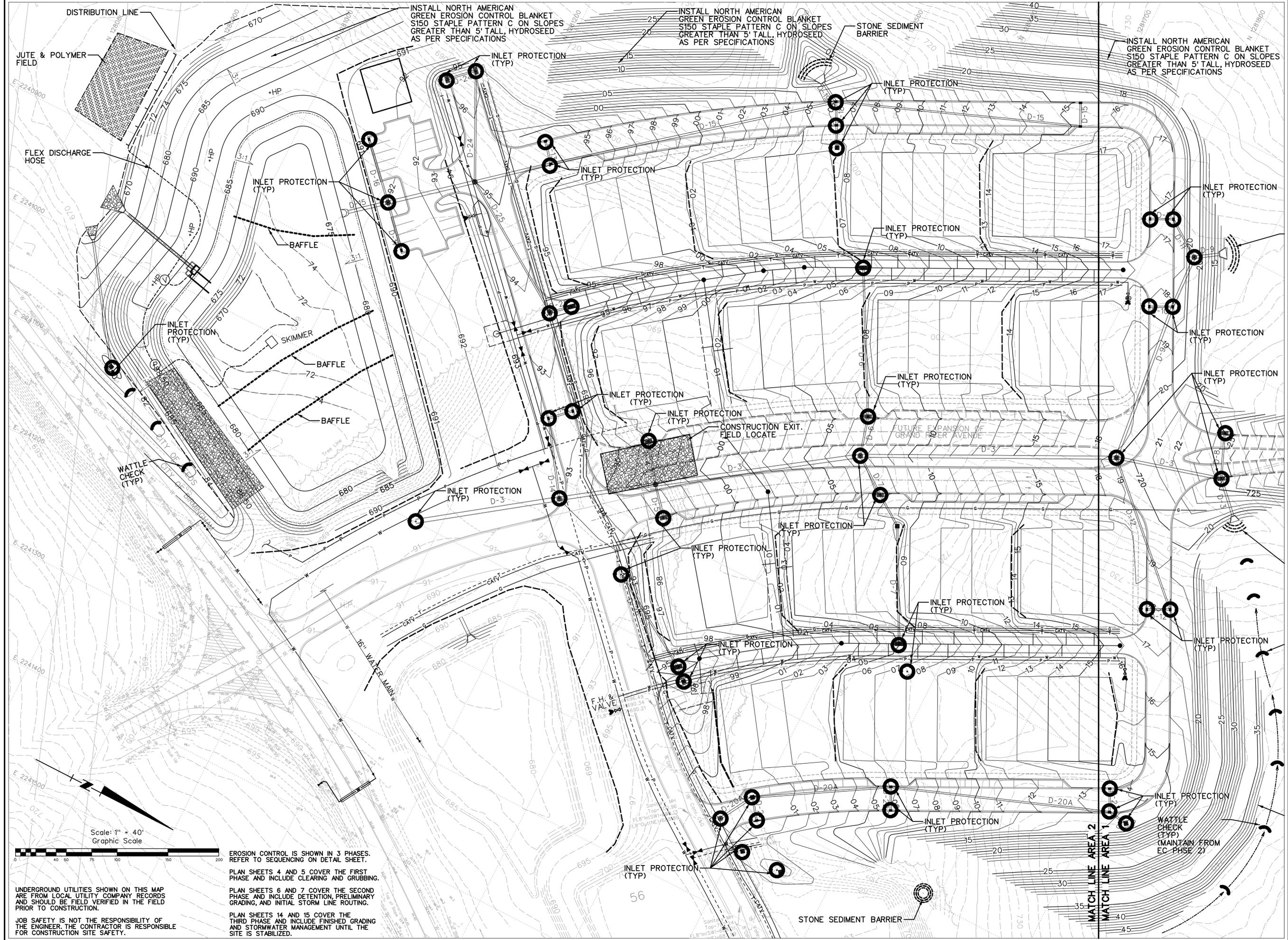
GRAND RIVER SOUTH TOWNHOME DEVELOPMENT LEEDS, AL

DRAWING SET:
 APPROVAL SET 03-14-2022

REVISIONS:

**GRADING AND
 DRAINAGE
 PLAN AREA 2**

DRAWN BY: SFS/RJS/JMH
 CHECKED BY: J.M.P.
 FILE NAME: 21601_GP2



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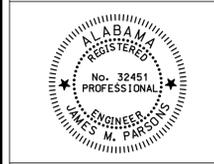
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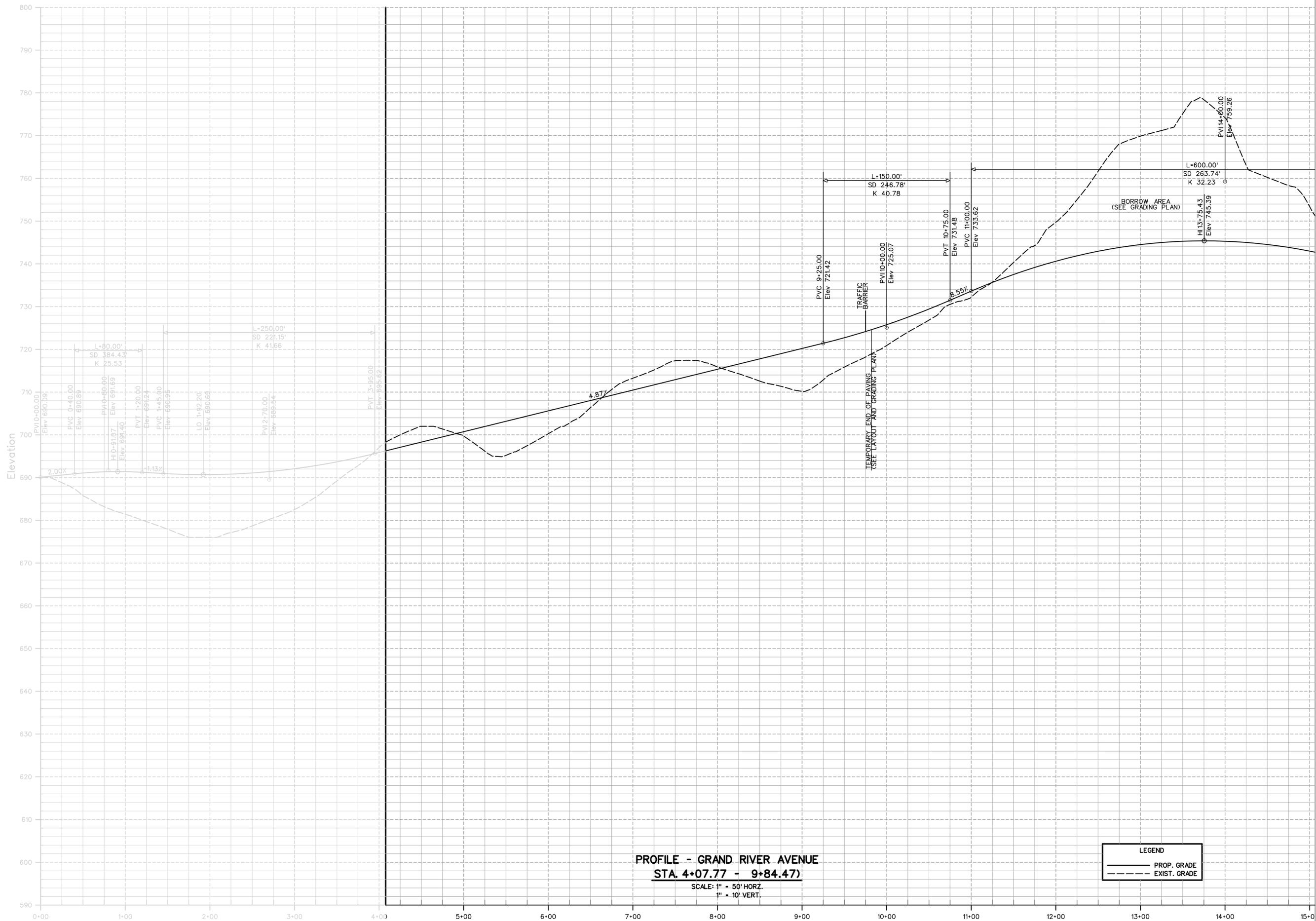


GRAND RIVER SOUTH TOWNHOME DEVELOPMENT LEEDS, AL

DRAWING SET:
 APPROVAL SET 03-14-2022
 REVISIONS:

FINAL EROSION AND SEDIMENTATION CONTROL PLAN AREA 1

DRAWN BY: SFS/RJS/JMH
 CHECKED BY: J.M.P.
 FILE NAME: 21601_EC3



PROFILE - GRAND RIVER AVENUE
STA. 4+07.77 - 9+84.47)

SCALE: 1" = 50' HORZ.
 1" = 10' VERT.

LEGEND	
	PROP. GRADE
	EXIST. GRADE



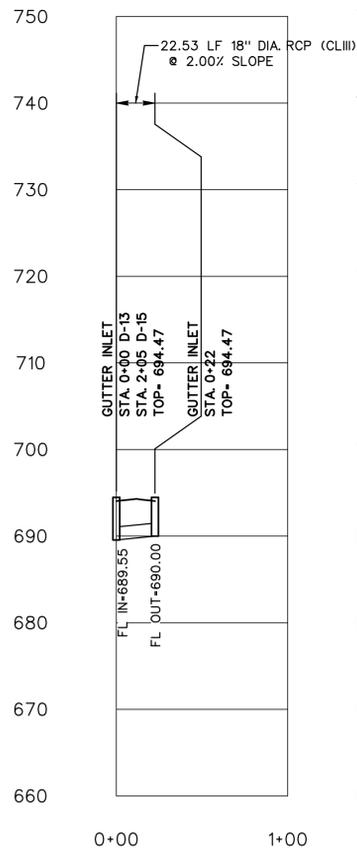
GRAND RIVER SOUTH
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DRAWING SET:	
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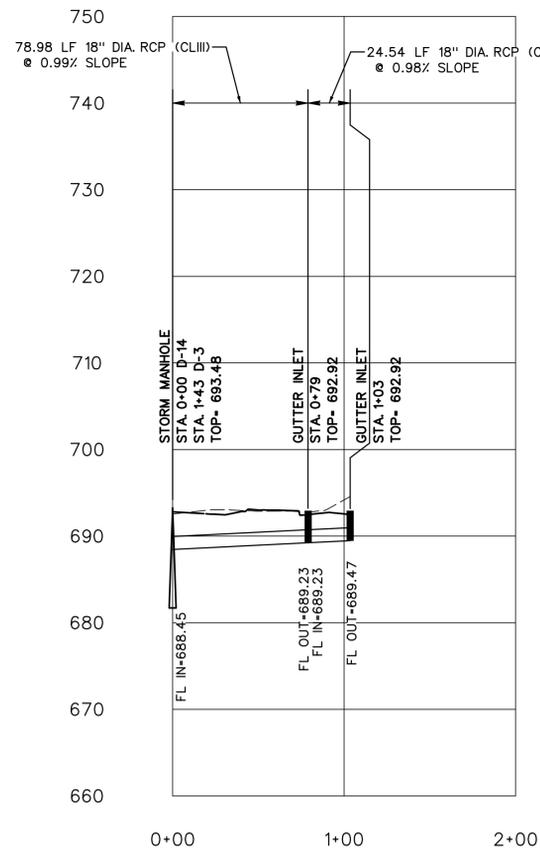
ROAD PROFILES

DRAWN BY: SFS/RJS/JMH
 CHECKED BY: J.M.P.
 FILE NAME: 21601-RDPRO3

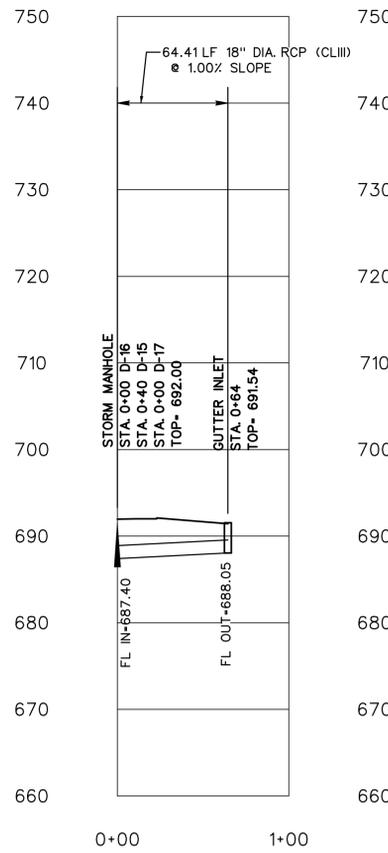
g/21/601/Civil/Design/



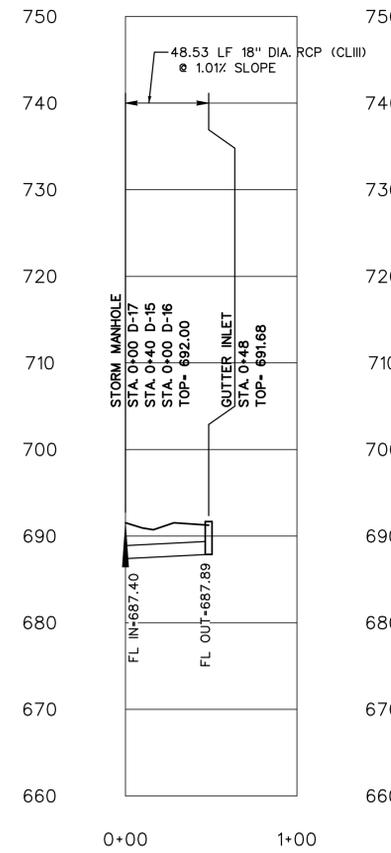
PROFILE STORM LINE D13
SCALE 1" = 50' HORZ.
1" = 10' VERT.



PROFILE STORM LINE D14
SCALE 1" = 50' HORZ.
1" = 10' VERT.

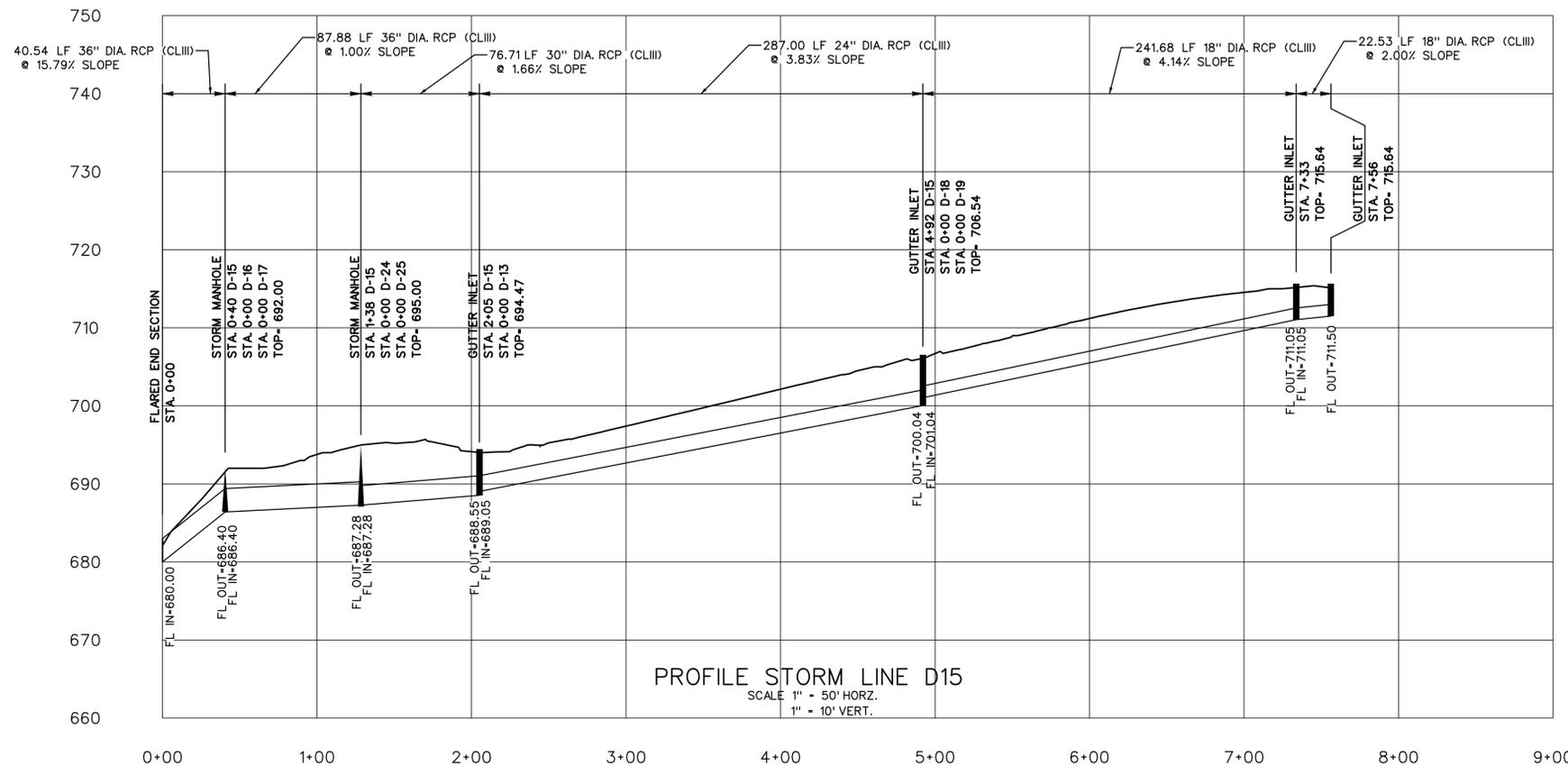


PROFILE STORM LINE D16
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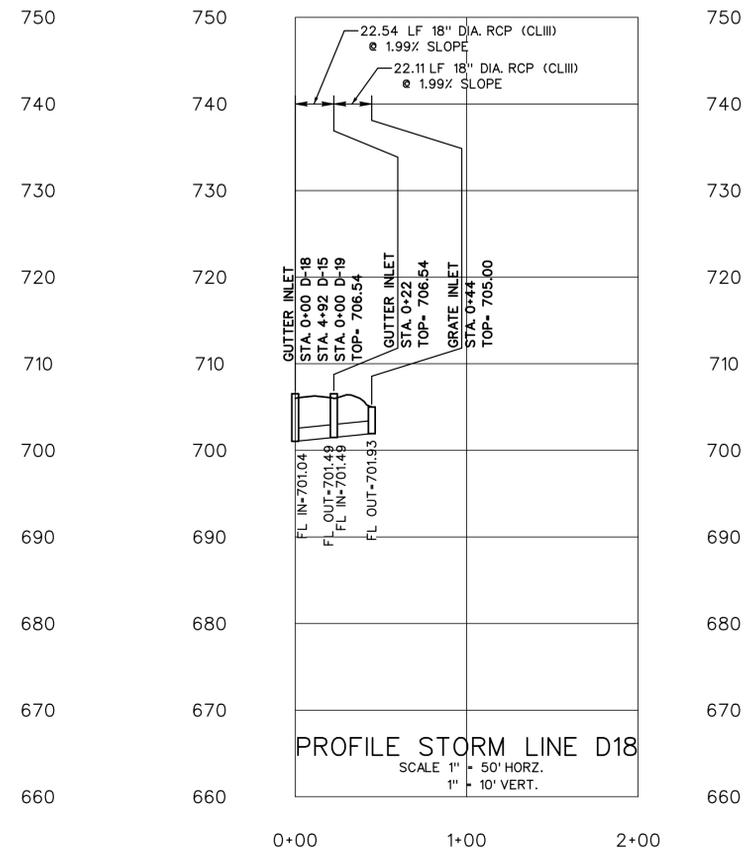


PROFILE STORM LINE D17
SCALE 1" = 50' HORZ.
1" = 10' VERT.

LEGEND
 ——— PROP. GRADE
 - - - - - EXIST. GRADE



PROFILE STORM LINE D15
SCALE 1" = 50' HORZ.
1" = 10' VERT.



PROFILE STORM LINE D18
SCALE 1" = 50' HORZ.
1" = 10' VERT.

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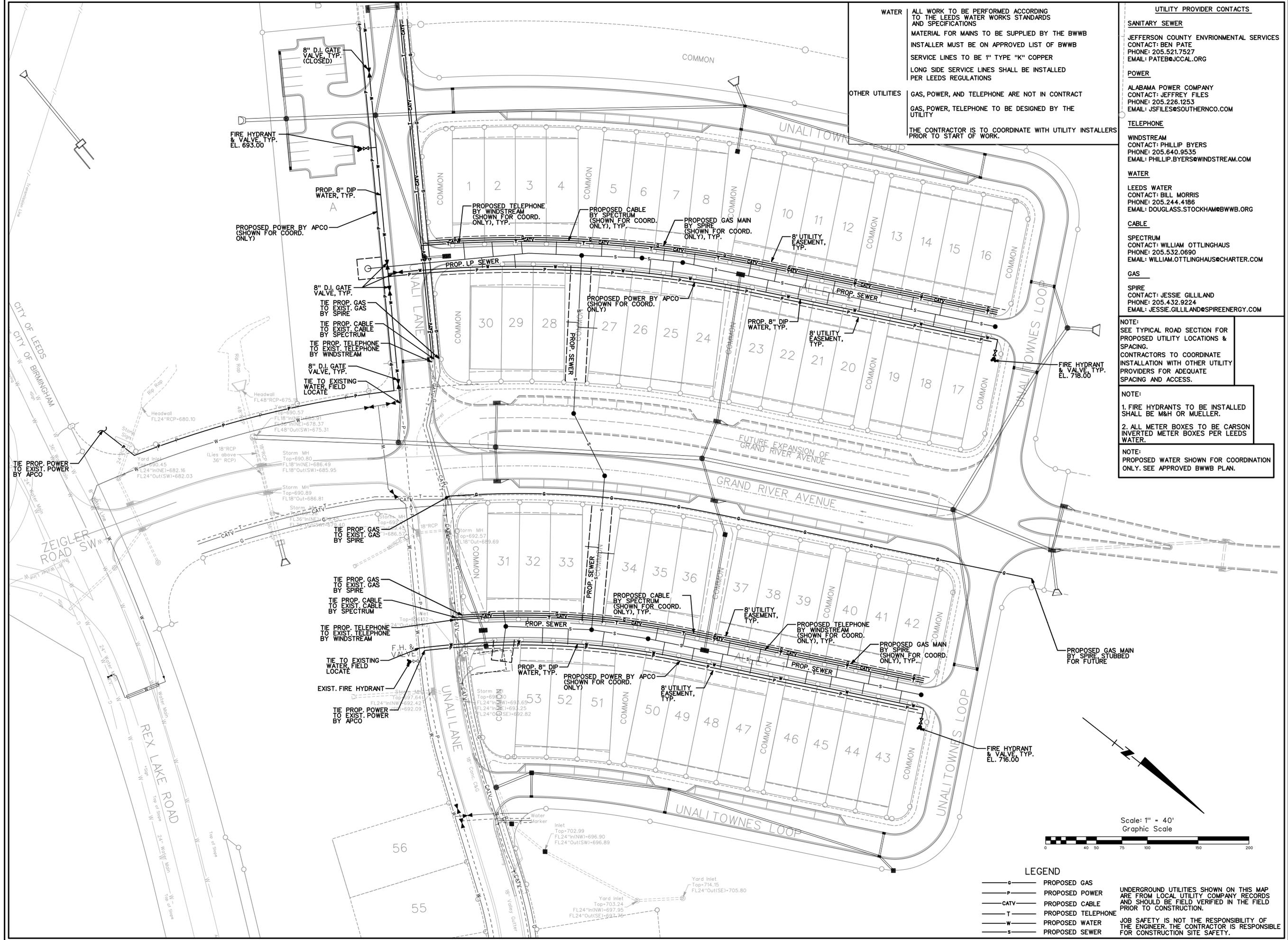
GRAND RIVER SOUTH TOWNHOME DEVELOPMENT LEEDS, AL

DRAWING SET:
 APPROVAL SET 03-14-2022

REVISIONS:

STORM
 PROFILES

DRAWN BY: SFS/RJS/JMH
 CHECKED BY: J.M.P.
 FILE NAME: 21601-STMPRO3



WATER
ALL WORK TO BE PERFORMED ACCORDING TO THE LEEDS WATER WORKS STANDARDS AND SPECIFICATIONS
MATERIAL FOR MAINS TO BE SUPPLIED BY THE BWBW
INSTALLER MUST BE ON APPROVED LIST OF BWBW
SERVICE LINES TO BE 1" TYPE "K" COPPER
LONG SIDE SERVICE LINES SHALL BE INSTALLED PER LEEDS REGULATIONS

OTHER UTILITIES
GAS, POWER, AND TELEPHONE ARE NOT IN CONTRACT
GAS, POWER, TELEPHONE TO BE DESIGNED BY THE UTILITY
THE CONTRACTOR IS TO COORDINATE WITH UTILITY INSTALLERS PRIOR TO START OF WORK.

UTILITY PROVIDER CONTACTS

SANITARY SEWER
JEFFERSON COUNTY ENVIRONMENTAL SERVICES
CONTACT: BEN PATE
PHONE: 205.521.7527
EMAIL: PATEB@JCCAL.ORG

POWER
ALABAMA POWER COMPANY
CONTACT: JEFFREY FILES
PHONE: 205.226.1253
EMAIL: JSFILES@SOUTHERNCO.COM

TELEPHONE
WINDSTREAM
CONTACT: PHILLIP BYERS
PHONE: 205.640.9535
EMAIL: PHILLIP.BYERS@WINDSTREAM.COM

LEADS WATER
CONTACT: BILL MORRIS
PHONE: 205.244.4186
EMAIL: DOUGLASS.STOCKHAM@BWBW.ORG

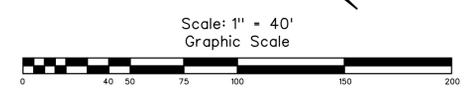
CABLE
SPECTRUM
CONTACT: WILLIAM OTTLINGHAUS
PHONE: 205.532.0890
EMAIL: WILLIAM.OTTLINGHAUS@CHARTER.COM

GAS
SPIRE
CONTACT: JESSIE GILLILAND
PHONE: 205.432.9224
EMAIL: JESSIE.GILLILAND@SPIREENERGY.COM

NOTE:
SEE TYPICAL ROAD SECTION FOR PROPOSED UTILITY LOCATIONS & SPACING.
CONTRACTORS TO COORDINATE INSTALLATION WITH OTHER UTILITY PROVIDERS FOR ADEQUATE SPACING AND ACCESS.

NOTE:
1. FIRE HYDRANTS TO BE INSTALLED SHALL BE M&H OR MUELLER.
2. ALL METER BOXES TO BE CARSON INVERTED METER BOXES PER LEEDS WATER.

NOTE:
PROPOSED WATER SHOWN FOR COORDINATION ONLY. SEE APPROVED BWBW PLAN.



LEGEND

- G — PROPOSED GAS
- P — PROPOSED POWER
- CATV — PROPOSED CABLE
- T — PROPOSED TELEPHONE
- W — PROPOSED WATER
- S — PROPOSED SEWER

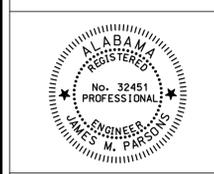
UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM LOCAL UTILITY COMPANY RECORDS AND SHOULD BE FIELD VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.

JOB SAFETY IS NOT THE RESPONSIBILITY OF THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SITE SAFETY.

Civil Engineering | Land Surveying | Landscape Architecture
Environmental | Water Resources | Laser Scanning / Modeling

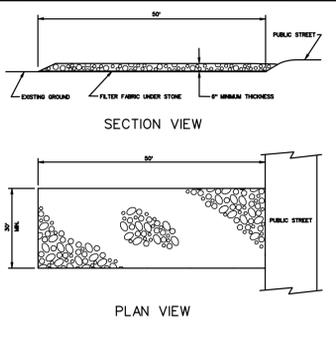
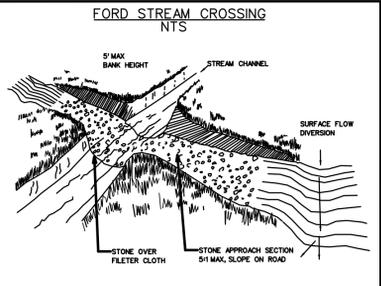
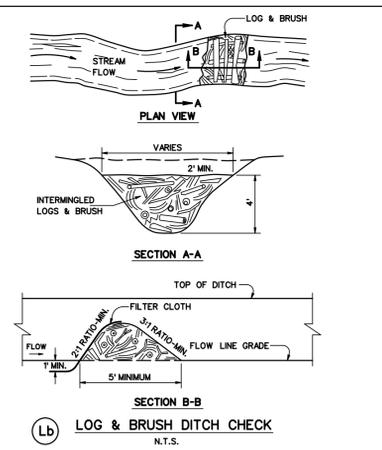
SCHOEL

1001 22nd Street South
Birmingham, Alabama 35205
256.939.1221
schoel.com



GRAND RIVER SOUTH TOWNHOME DEVELOPMENT LEEDS, AL

DRAWING SET:	03-14-2022
REVISIONS:	
UTILITY PLAN	
DRAWN BY: SFS/RJS/JMH	
CHECKED BY: J.M.P.	
FILE NAME: 21601_UT1	
g/21/601/Civil/Design/	
24 OF 31	



STONE SHALL BE ALDOT COARSE AGGREGATE GRADATION NO.1 STONE WHICH IS 2" TO 3" AVERAGE DIAMETER STONE MATERIAL.

A STABILIZED PAD OF CRUSHED STONE SHALL BE LOCATED WHERE TRAFFIC WILL BE LEAVING OR ENTERING A CONSTRUCTION SITE TO OR FROM A PUBLIC STREET.

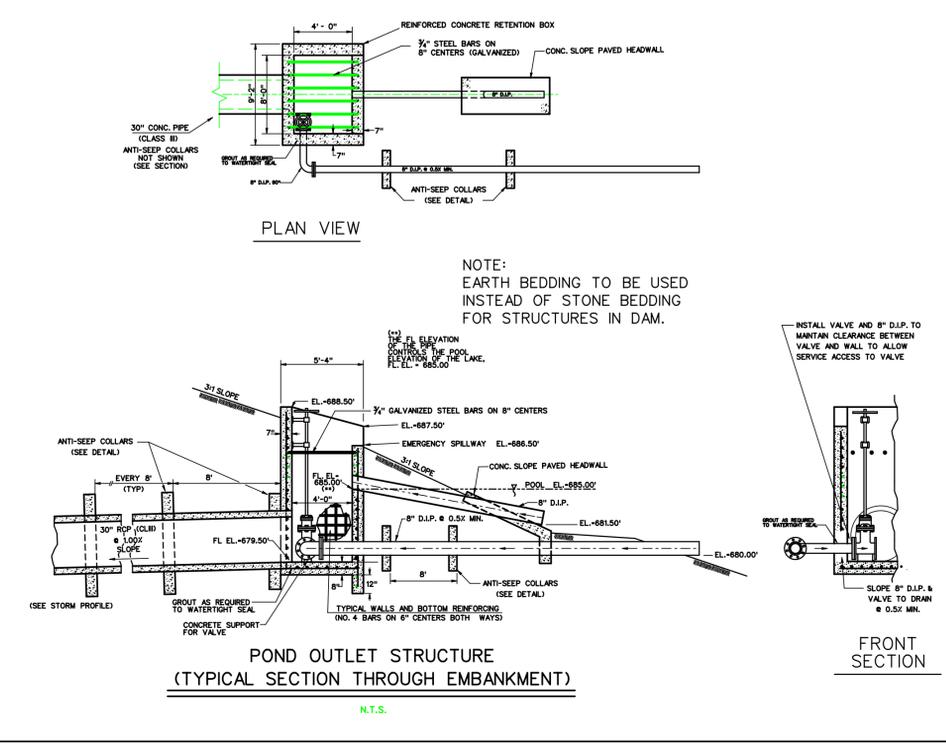
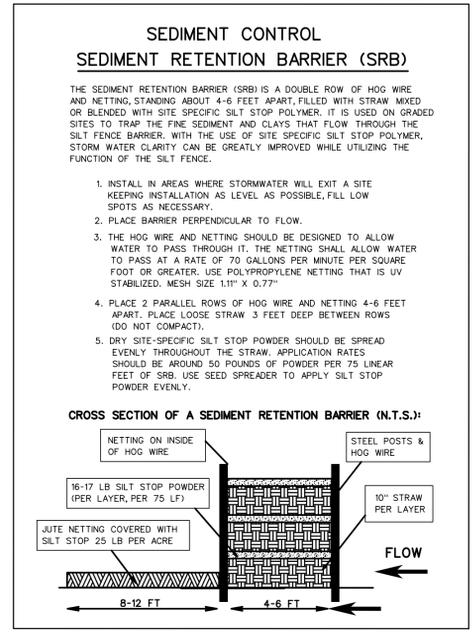
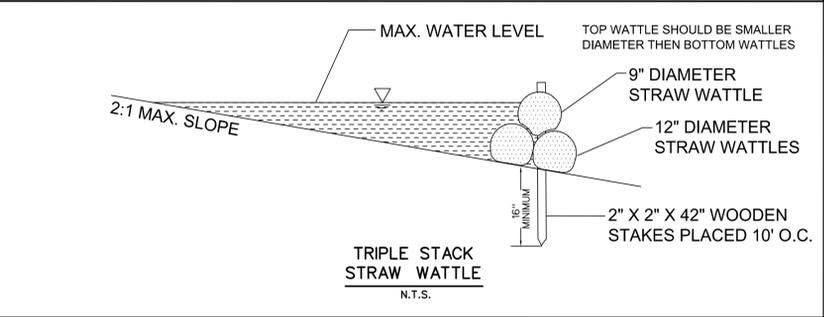
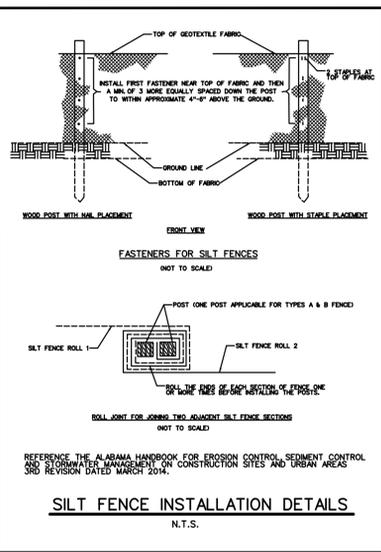
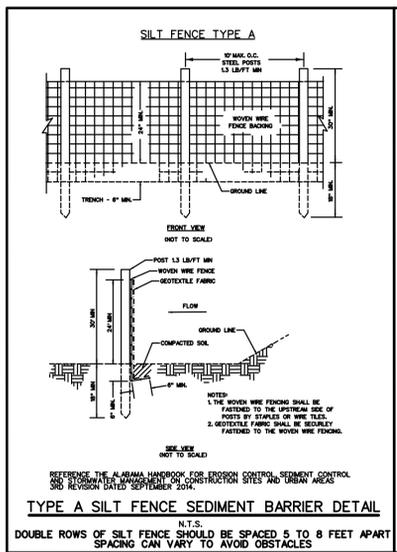
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY.

FILTER FABRIC SHOULD BE CLASS IV NON-WOVEN GEOTEXTILE

EROSION CONTROL NARRATIVE

- 1) INSTALL ALL MEASURES SHOWN ON SHEETS 4 AND 5 PRIOR TO ANY CLEARING. LIMIT EQUIPMENT CROSSING OF DRAINAGE AREAS TO THOSE SPECIFIED ON THE PLANS.
- 2) CONSTRUCT LAKE, OUTLET STRUCTURE, THEN BLOCK LOWER LEVEL OUTLET UNTIL STEP 3 IS COMPLETE. CONTRACTOR TO PAY ATTENTION TO THE WEATHER FORECAST WHEN SCHEDULING THIS WORK, AS THE POND HAS LIMITED HOLDING CAPACITY.
- 3) CONTRACTOR TO BRING GRADING UP ADJACENT TO POND, AS NEEDED, IN A MANNER TO MANAGE AND CONTROL RUNOFF.
- 4) INSTALL JUTE AND POLYMER FIELD, THEN GRAVITY DISTRIBUTION AND DISCHARGE HOSES, THEN SKIMMER.
- 5) BEGIN MASS GRADING OPERATION.
- 6) OPERATE ACTIVE SYSTEM (DESCRIBED ABOVE) AS REQUIRED TO MANAGE TURBIDITY AND COMPLY WITH PERMIT REQUIREMENTS. ATTEMPT TO KEEP POOL ELEVATION FIVE FEET BELOW NORMAL POOL ELEVATION BY PROPERLY DISCHARGING STORM WATER IN ORDER TO PROVIDE STORM WATER STORAGE.
- 7) AS SITE GRADES MOVE TOWARD FINAL SITE GRADES, INSTALL REMAINING DRAINAGE AND ASSOCIATED EROSION CONTROL MEASURES. ALL LOG AND BRUSH CHECKS MUST BE REMOVED COMPLETELY.
- 8) STABILIZE ALL AREAS ACCORDING TO DIRECTIONS AS PER THE PLANS.
- 9) MAINTAIN LOCAL EROSION CONTROL MEASURES AND ACTIVE SYSTEM UNTIL SITE IS STABLE AND STORMWATER DISCHARGES ARE WITHIN PERMIT LIMITS WITHOUT ACTIVE TREATMENT.
- 10) AT THE END OF THE GRADING OPERATION, PUMP LAKE DOWN BY RELEASING DISCHARGE WITHIN PERMIT LIMITS USING ACTIVE SYSTEM AS REQUIRED. REMOVE AND DISPOSE OF ACCUMULATED SEDIMENT BACK TO ORIGINAL LAKE BOTTOM.
- 11) CONTINUE TO EMPLOY THE LAKE SKIMMER AND ACTIVE SYSTEM, AS REQUIRED WHILE TURBIDITY IS IN EVIDENCE.
- 12) ONCE SITE IS ESTABLISHED, THE LAKE SKIMMER AND ACTIVE SYSTEM ARE TO BE REMOVED. ALL COMPONENTS OF THE ACTIVE SYSTEM AND DISPOSAL AREA ARE TO BE REMOVED.
- 13) ALL DISTURBED AREAS ARE TO BE RE-VEGETATED. TOPSOIL RE-PLATING AND VEGETATION SHALL BE INSTALLED AS GRADING IS COMPLETED.



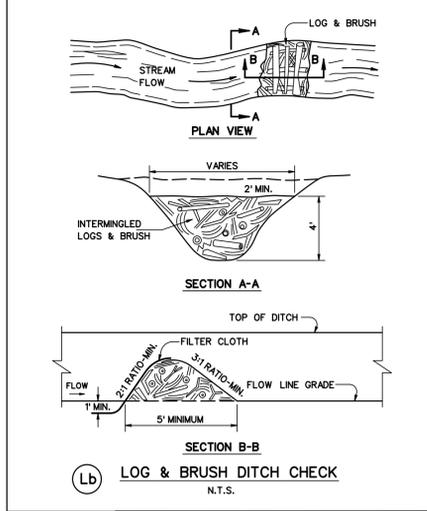
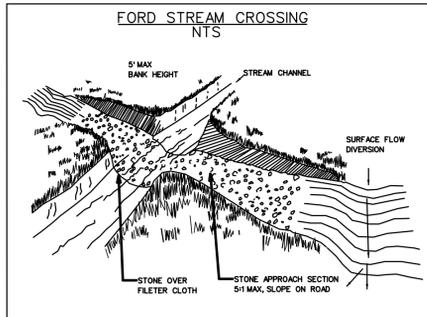
SCHOEEL
 Civil Engineering | Land Surveying | Landscape Architecture
 Environmental | Water Resources | Laser Scanning + Modeling

ALABAMA REGISTERED PROFESSIONAL ENGINEER
 No. 32451
 M. PARSONS

GRAND RIVER SOUTH TOWNHOME DEVELOPMENT
 LEEDS, AL

DRAWING SET:
 APPROVAL SET 03-14-2022
 REVISIONS:
 DRAWN BY: SFS/RJS/JMH
 CHECKED BY: J.M.P.
 FILE NAME: 21601-DET1
 g7/21/601/Civil/Design/

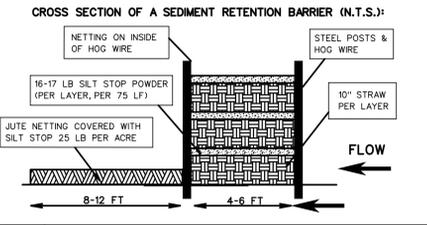
27 OF 31
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**SEDIMENT CONTROL
SEDIMENT RETENTION BARRIER (SRB)**

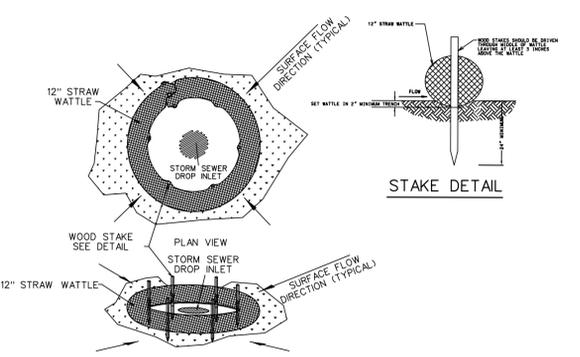
THE SEDIMENT RETENTION BARRIER (SRB) IS A DOUBLE ROW OF HOG WIRE AND NETTING, STANDING ABOUT 4-6 FEET APART, FILLED WITH STRAW MIXED OR BLENDED WITH SITE SPECIFIC SILT STOP POLYMER. IT IS USED ON GRADED SITES TO TRAP THE FINE SEDIMENT AND CLAYS THAT FLOW THROUGH THE SILT FENCE BARRIER. WITH THE USE OF SITE SPECIFIC SILT STOP POLYMER, STORM WATER CLARITY CAN BE GREATLY IMPROVED WHILE UTILIZING THE FUNCTION OF THE SILT FENCE.

1. INSTALL IN AREAS WHERE STORMWATER WILL EXIT A SITE KEEPING INSTALLATION AS LEVEL AS POSSIBLE, FILL LOW SPOTS AS NECESSARY.
2. PLACE BARRIER PERPENDICULAR TO FLOW.
3. THE HOG WIRE AND NETTING SHOULD BE DESIGNED TO ALLOW WATER TO PASS THROUGH IT. THE NETTING SHALL ALLOW WATER TO PASS AT A RATE OF 70 GALLONS PER MINUTE PER SQUARE FOOT OR GREATER. USE POLYPROPYLENE NETTING THAT IS UV STABILIZED. MESH SIZE: 1.31" X 0.77"
4. PLACE 2 PARALLEL ROWS OF HOG WIRE AND NETTING 4-6 FEET APART. PLACE LOOSE STRAW 3 FEET DEEP BETWEEN ROWS (DO NOT COMPACT).
5. DRY SITE-SPECIFIC SILT STOP POWDER SHOULD BE SPREAD EVENLY THROUGHOUT THE STRAW. APPLICATION RATES SHOULD BE AROUND 50 POUNDS OF POWDER PER 75 LINEAR FEET OF SRB. USE SEED SPREADER TO APPLY SILT STOP POWDER EVENLY.

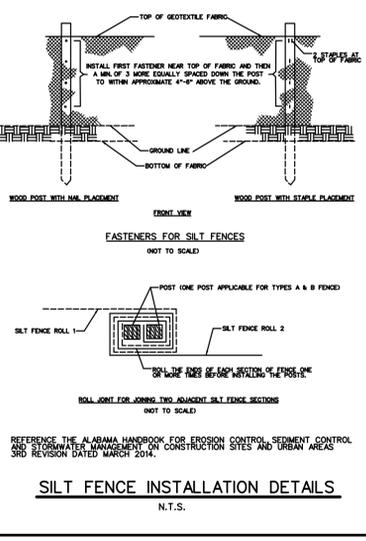
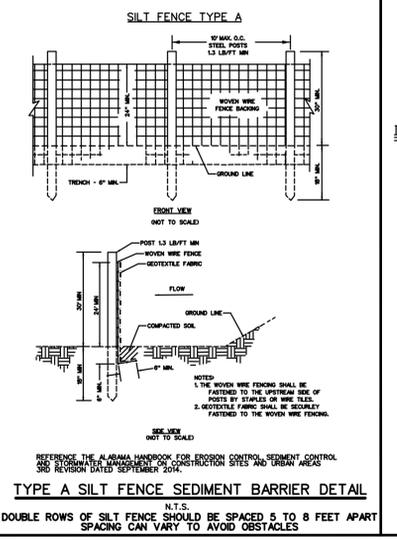
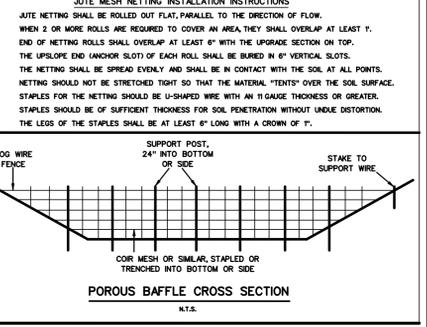
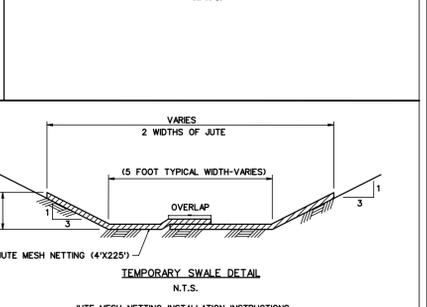
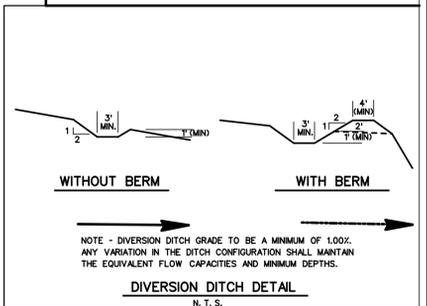
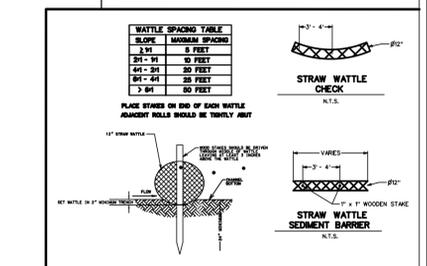
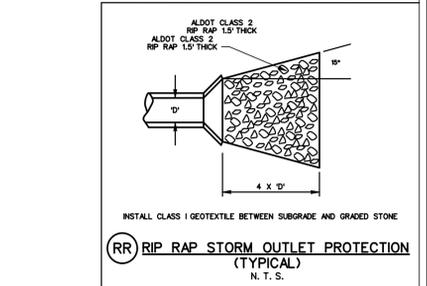
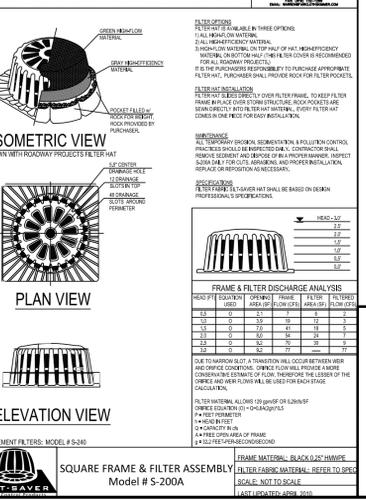
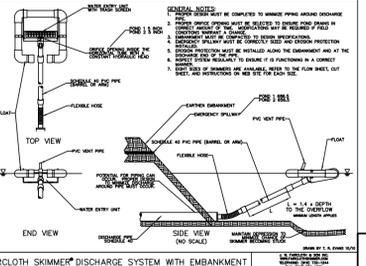
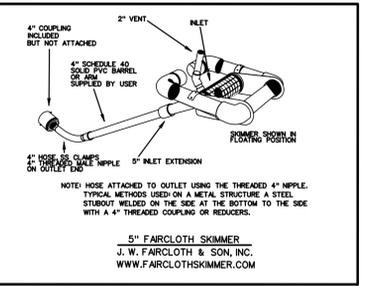
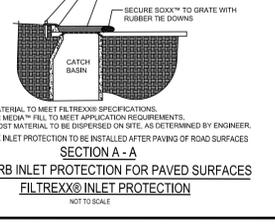
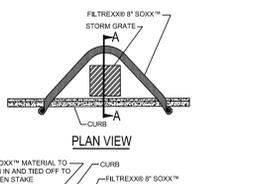
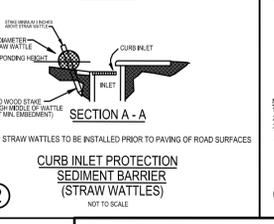
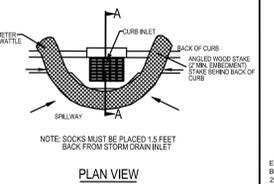


NOTE: INLET PROTECTION PHASES

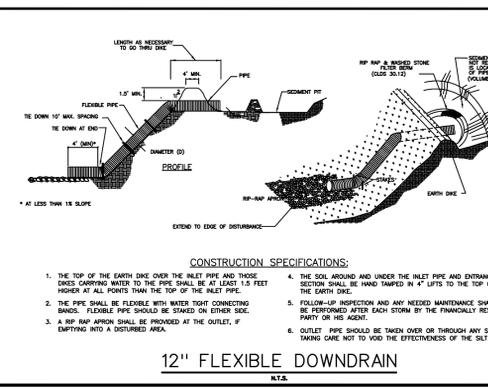
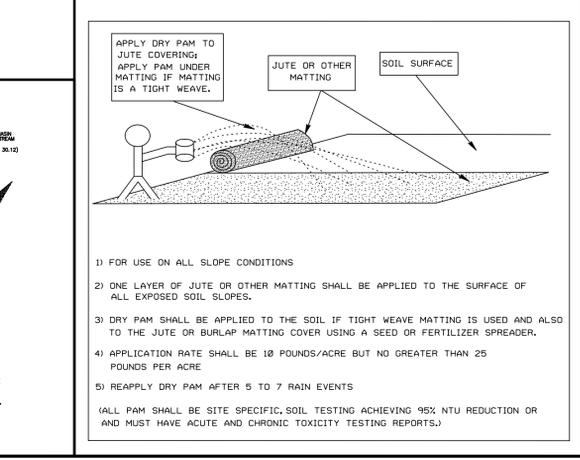
1. USE STRAW WATTLE INLET PROTECTION DETAIL FOR INITIAL INLET STRUCTURE INSTALLATION
2. USE STRAW WATTLE CURB INLET PROTECTION DETAIL FOR INITIAL CURB & GUTTER INSTALLATION
3. USE FILTREXX INLET PROTECTION DETAIL AFTER PAVING SURFACE IS APPLIED



1 STRAW WATTLE INLET PROTECTION N.T.S.



PM-M DRY POWDER FORM SOFT ARMORING TECHNIQUE FOR MATTING



**GRAND RIVER SOUTH
TOWNHOME DEVELOPMENT
LEEDS, AL**

DRAWING SET:
APPROVAL SET 03-14-2022

REVISIONS:

NO.	DATE	DESCRIPTION

INTERMEDIATE
EROSION AND
SEDIMENTATION
CONTROL
DETAILS

DRAWN BY: SFS/RJS/JMH
CHECKED BY: J.M.P.
FILE NAME: 21601-DET2

g7/21/601/Civil/Design/

28 OF 31

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COVER BACK
N.T.S.

COVER TOP
N.T.S.

SECTION A-A
N.T.S.

GASKET DETAIL
N.T.S.

PICKHOLE DETAIL
N.T.S.

ESTIMATED WEIGHTS
FRAME 174 LBS.
COVER 124 LBS.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

STANDARD MANHOLE
FRAME & COVER DETAILS

NOV. 1999

APPROVED: [Signature]

STANDARD DRAWING NO. SD1510

MANHOLE BASE PLAN
N.T.S.

BASE SECTION
N.T.S.

SECTION
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

PRECAST MANHOLE
FOR PIPES 18" DIAMETER
OR LESS

NOV. 1999

APPROVED: [Signature]

STANDARD DRAWING NO. SD1500

GRATE INLET
N.T.S.

SECTION A-A
N.T.S.

SECTION B-B
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

FORCE MAIN COMBINATION
SEWAGE AIR VACUUM RELEASE VALVE
AND MAINTENANCE VALVE ASSEMBLY

MAY 2006

APPROVED: [Signature]

STANDARD DRAWING NO. SD2071

SANITARY SEWER SERVICE LINE CLEANOUT
N.T.S.

SECTION A-A
N.T.S.

SECTION B-B
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

FORCE MAIN COMBINATION
SEWAGE AIR VACUUM RELEASE VALVE
AND MAINTENANCE VALVE ASSEMBLY

MAY 2006

APPROVED: [Signature]

STANDARD DRAWING NO. SD2071

MANHOLE JOINT STRAP DETAIL
N.T.S.

PRECAST MANHOLE
N.T.S.

SECTION E-E
N.T.S.

SECTION F-F
N.T.S.

SECTION G-G
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

PRECAST MANHOLE
JOINT DETAILS

NOV. 1999

APPROVED: [Signature]

STANDARD DRAWING NO. SD1515

MANHOLE STEP DETAILS
N.T.S.

SECTION
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

MANHOLE STEP DETAILS

NOV. 1999

APPROVED: [Signature]

STANDARD DRAWING NO. SD1580

LARGE MANHOLE
N.T.S.

SECTION A-A
N.T.S.

SECTION B-B
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

FORCE MAIN COMBINATION
SEWAGE AIR VACUUM RELEASE VALVE
AND MAINTENANCE VALVE ASSEMBLY

MAY 2006

APPROVED: [Signature]

STANDARD DRAWING NO. SD2071

YARD INLET
N.T.S.

SECTION A-A
N.T.S.

SECTION B-B
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

FORCE MAIN COMBINATION
SEWAGE AIR VACUUM RELEASE VALVE
AND MAINTENANCE VALVE ASSEMBLY

MAY 2006

APPROVED: [Signature]

STANDARD DRAWING NO. SD2071

CLEAN-OUT ASSEMBLY DETAIL
N.T.S.

CLEAN-OUT ASSEMBLY DETAIL - PLAN VIEW
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

FORCE MAIN CLEANOUT
DETAILS

MAY 2006

APPROVED: [Signature]

STANDARD DRAWING NO. SD2200

CURB INLET
N.T.S.

SECTION A-A
N.T.S.

SECTION B-B
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

FORCE MAIN CLEANOUT
DETAILS

MAY 2006

APPROVED: [Signature]

STANDARD DRAWING NO. SD2200

REINFORCED CONCRETE HEADWALL DETAIL
N.T.S.

SECTION A-A
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

FORCE MAIN CLEANOUT
DETAILS

MAY 2006

APPROVED: [Signature]

STANDARD DRAWING NO. SD2200

SLOPEDOWN SIDEWALK DETAIL
N.T.S. (NOT IN CONTRACT)

SECTION A-A
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

FORCE MAIN CLEANOUT
DETAILS

MAY 2006

APPROVED: [Signature]

STANDARD DRAWING NO. SD2200

R.C.P. BEDDING AND INITIAL BACKFILL DETAIL UNDER UNIMPROVED SURFACES
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

FORCE MAIN CLEANOUT
DETAILS

MAY 2006

APPROVED: [Signature]

STANDARD DRAWING NO. SD2200

24" CONCRETE VALLEY GUTTER
N.T.S.

SECTION A-A
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

FORCE MAIN CLEANOUT
DETAILS

MAY 2006

APPROVED: [Signature]

STANDARD DRAWING NO. SD2200

12" CONCRETE VALLEY GUTTER
N.T.S.

SECTION A-A
N.T.S.

JEFFERSON COUNTY ALABAMA
ENVIRONMENTAL SERVICES DEPARTMENT

FORCE MAIN CLEANOUT
DETAILS

MAY 2006

APPROVED: [Signature]

STANDARD DRAWING NO. SD2200

LIGHT DUTY PAVING SECTION
N.T.S.

SECTION A-A
N.T.S.

ALABAMA DEPARTMENT OF TRANSPORTATION
STANDARD SPECIFICATIONS FOR HIGHWAY
CONSTRUCTION - 2001 EDITION

ITEM

429-A ① REQUIRED 1" (108 lbs/S.Y.) BITUMINOUS CONCRETE WEARING LAYER (1/2" MAX.) ESAL RANGE A (ASPHALT) COMPACTED

405-A ② REQUIRED TACK COAT 0.05 GAL./S.Y. (MAX)

429-B ③ REQUIRED 2" BITUMINOUS CONCRETE, BINDER LAYER (3/4" MAX.) ESAL RANGE A (ASPHALT) (FULL WIDTH)

401-A ④ REQUIRED BITUMINOUS TREATMENT TYPE A (FOR PRIME) (ASPHALT) (FULL WIDTH) 0.23 GAL./S.Y. (APPROX.)

301-A ⑤ REQUIRED 8" CRUSHED AGGREGATE BASE COURSE IN TWO LAYERS, TYPE B PLANT MIXED (FULL WIDTH) COMPACTED

⑥ SUB-GRADE

File Attachments for Item:

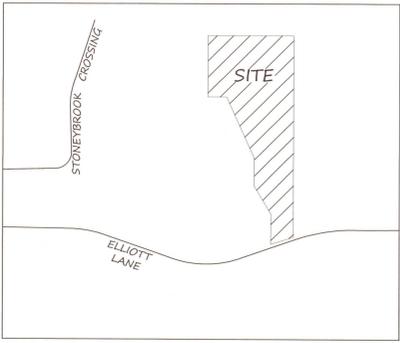
5. SA22-000010 - A request by Frank Sweatt, Owner, and Applicant, for a certified plat "Frank Sweatt's Addition to Elliot Ln" consisting of one (1) lot located at 7442 Elliot Lane, Leeds, AL 35094, TPID 2500294000002005, Zoned A-1, Agriculture, Jefferson County.

FRANK SWEATT'S ADDITION TO ELLIOTT LANE

A ONE LOT MINOR SUBDIVISION SITUATED IN THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 1 EAST JEFFERSON COUNTY, ALABAMA

PREPARED BY:
CLINKSCALES LAND SURVEYING, LLC
12254 HWY 280
STERRETT, AL 35147
(205) 671-1033

PREPARED FOR:
FRANK SWEATT
7442 ELLIOTT LN
LEEDS, AL 35094
(205) 602-4776



VICINITY MAP
NOT TO SCALE

SURVEYOR'S CERTIFICATE AND DESCRIPTION OF LAND PLATTED STATE OF ALABAMA COUNTY OF JEFFERSON

I, Steven J. Clinkscapes, a registered Surveyor in the State of Alabama (including the jurisdiction of the City of Leeds, Alabama) hereby certify that I have surveyed the property of Frank Sweatt, situated in the City of Leeds, Jefferson County, Alabama and described as follows:

DESCRIPTION: Begin at the Northeast corner of Northwest quarter of the Southeast quarter of said Section 29; thence S 87 degrees 27'27" W a distance of 558.94' to a point; thence S 02 degrees 30'00" E a distance of 403.91' to a point; thence N 97 degrees 30'00" E a distance of 122.80' to a point; thence S 28 degrees 37'16" E a distance of 442.29' to a point; thence S 02 degrees 30'00" E a distance of 180.75' to a point; thence S 33 degrees 28'02" E a distance of 210.80' to a point; thence S 02 degrees 30'00" E a distance of 232.45' to a point; thence N 70 degrees 05'00" E a distance of 153.97' to a point; thence N 02 degrees 30'00" W a distance of 1355.90' to a point; being the point of beginning.

And that the plat or map contained hereon is a true and correct map showing the subdivision into which the property described is divided giving the length and bearings of the boundaries of each lot and its number and showing the streets, alleys and public grounds and giving the bearings, length, width, and name of the streets, said map further shows the relation of the land so Platted to the Government Survey, and that permanent monuments have been placed at all points marked thus (a monument set by this surveyor, or a monument found by this surveyor) as hereon shown. I further hereby state that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama, to the best of my knowledge, information and belief.

Witness my hand this the _____ day of _____, 2022.

Steven J. Clinkscapes
Steven J. Clinkscapes
Alabama Licensed Surveyor
Registration #37248
Date: March 29, 2022



DEDICATION: Frank Sweatt of Leeds, Alabama, as Owner, has caused the land embraced in the within plat to be surveyed, laid out and platted to be known as FRANK SWEATT'S ADDITION TO ELLIOTT LANE, a part of the Northwest 1/4 of the Southeast 1/4 of Section 29, Township 17 South, Range 1 East, City of Leeds, Jefferson County, Alabama, and that the (Streets, Drives, Alleys, etc.) as shown on said plat are hereby dedicated to the use of the public.

Signed and sealed in the presence of

Frank Sweatt

Witness

ACKNOWLEDGEMENT STATE OF ALABAMA COUNTY OF JEFFERSON

I, _____, a Notary Public in and for said County, in said State, hereby certify that Frank Sweatt, as owner, whose name is signed to the foregoing instrument, and who is known to me, acknowledged before me on this day that, being informed of the contents of the instrument, executed the same voluntarily.

GIVEN under my hand and official seal this the _____ day of _____, 2022.

Notary Public

CERTIFICATE OF APPROVAL BY THE PLANNING AND ZONING COMMISSION

The within plat of FRANK SWEATT'S ADDITION TO ELLIOTT LANE, Jefferson County, Alabama, is hereby approved by the Planning and Zoning Commission of the City of Leeds, Alabama, this the _____ day of _____, 2022.

PLANNING AND ZONING COMMISSION FOR THE CITY OF LEEDS, ALABAMA

(sign)

(print)
Chairman

CERTIFICATE OF APPROVAL BY THE CITY ENGINEER

The undersigned, as City Engineer of Leeds, Alabama, hereby approved the within plat for the recording of same in the Probate Office of JEFFERSON County, Alabama, this the _____ day of _____, 2022.

(sign)

(print)
City Engineer, City of Leeds, Alabama

CERTIFICATE OF APPROVAL BY THE JEFFERSON COUNTY HEALTH DEPARTMENT

The undersigned, as authorized by the JEFFERSON County Alabama Health Department, hereby approved the within plat for the recording of same in the Probate Office of Jefferson County, Alabama, this the _____ day of _____, 2022.

Health Officer, Jefferson County, Alabama

CERTIFICATE OF APPROVAL BY THE WATER WORKS BOARD

The undersigned, as authorized by the Water Works Board, hereby approved the within plat for the recording of the same in the Probate Office of Jefferson County, Alabama, this the _____ day of _____, 2022.

(sign)

(print name, title)
Water Works Board, City of Leeds, Alabama

SURVEYOR'S NOTES:

- 1. SEE CURRENT SETBACK DISTANCES AS PRESCRIBED BY THE CITY OF LEEDS ZONING REGULATIONS.
- 2. 1/2" RED CAPPED REBAR STAMPED PLS #37248 CA-1084-LS SET UNLESS OTHERWISE NOTED.

SURVEY CONTROL:
THE BASIS OF BEARINGS SHOWN ON THIS SURVEY ARE BASED ON ALABAMA STATE PLANE EAST ZONE, GRID NORTH, NAD 83(2011), AND THE VERTICAL DATUM IS NAVD 88 (GEOID 12B). ELEVATION AND POSITION WERE OBTAINED FROM B.T.K. OBSERVATION USING THE ALDOT CORS NETWORK AS CONTROL.



CLINKSCALES LAND SURVEYING, LLC

SCALE: 1" = 60'
DATE: 03/29/2022
APPROVED BY: Steven J. Clinkscapes, PLS
AL REG. NO. 37248
DATE OF SURVEY: 03/29/2022
SURVEYED/DRAWN BY: Steven J. Clinkscapes, PLS / JLW
Cell: 205-671-1033
P.O. Box 326
Chelsea, AL 35043
ClinkSurveying.com
Job #: 22-075

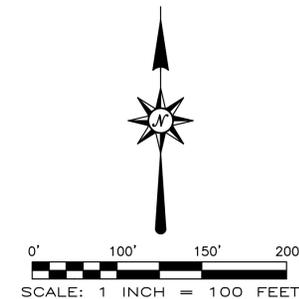
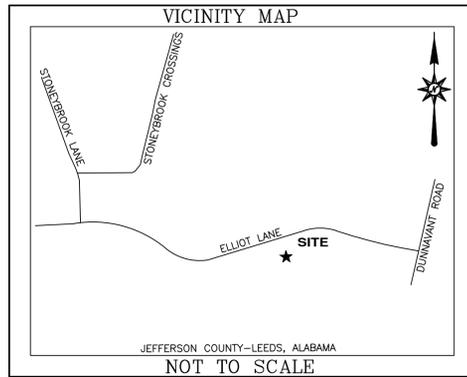


GRAPHIC SCALE: 1" = 60'

File Attachments for Item:

6. SA22-0000011 - A request by Gonzalez, Strength & Associates - Fred Cox , Applicant - Hillary Drummond, Owner - for a certified plat - HILLARY DRUMMOND ADD TO ELLIOT LANE PLAT NO. 2 - located at 7245 Elliot Ln, 35094, TPID: 2500294000002000 - Zoned A-1 Agriculture

LEGEND	
■	FOUND CONCRETE MONUMENT
●	IRON PIN FOUND
●	IRON PIN SET (5/8" REBAR w/CAP)
○	CALCULATED POINT
—	RIGHT OF WAY



STATE OF ALABAMA
SHELBY COUNTY

The undersigned, Derek S. Meadows, a Registered Land Surveyor in the State of Alabama hereby certify that this plat or map was made pursuant to a survey made by said surveyor and that said survey and this plat or map were made at the instance of said owners; that this plat or map is a true and correct map of lands shown therein and known as Hillary Drummond Add to Elliott Lane Plat No. 2, showing the subdivisions into which it is proposed to divide said lands, giving the length and bearings of the boundaries of each lot and its number, showing the streets, alleys, and public grounds, giving the bearings length, width and name of each street, as well as the number of each lot and block, and showing the relation of the lands to the government survey and that iron pins have been installed at all lot corners and curve points as shown and designated by small solid circles on said plat or map and that all parts of this survey and plat (or drawing) have been completed in accordance with the requirements of the Standards for the Practice of Surveying in the State of Alabama to the best of my knowledge and belief. Said owners also certify that they are the owners of said lands and that the same are subject to a mortgage.

DATED: _____, 2016. OWNER: Hillary Drummond
GONZALEZ - STRENGTH & ASSOC., INC. By: _____
By: Derek S. Meadows, Reg. No. 29996 ITS: _____
DATED: _____, 2022. DATED: _____, 2022.

STATE OF ALABAMA
JEFFERSON COUNTY

I, the undersigned, a Notary Public in and for said County and State, do hereby certify that Derek S. Meadows, whose name is signed to the foregoing certificate as surveyor and who is known to me, acknowledged before me, on this date, that after having been duly informed on the contents of said certificate, he executed same voluntarily as such individual with full authority therefor.

Given under my hand this _____ day of _____, 2022.
Notary Public My Commission Expires: _____

STATE OF ALABAMA
JEFFERSON COUNTY

I, the undersigned, a Notary Public in and for said County and State, do hereby certify that Hillary Drummond, as owner of said property whose names are signed to the foregoing certificate as owner and who are known to me, acknowledged before me, on this date, that after having been duly informed on the contents of said certificate, they executed same voluntarily as such individual with full authority therefor.

Given under my hand this _____ day of _____, 2022.
Notary Public My Commission Expires: _____

APPROVED: _____ DATE: _____
City Engineer

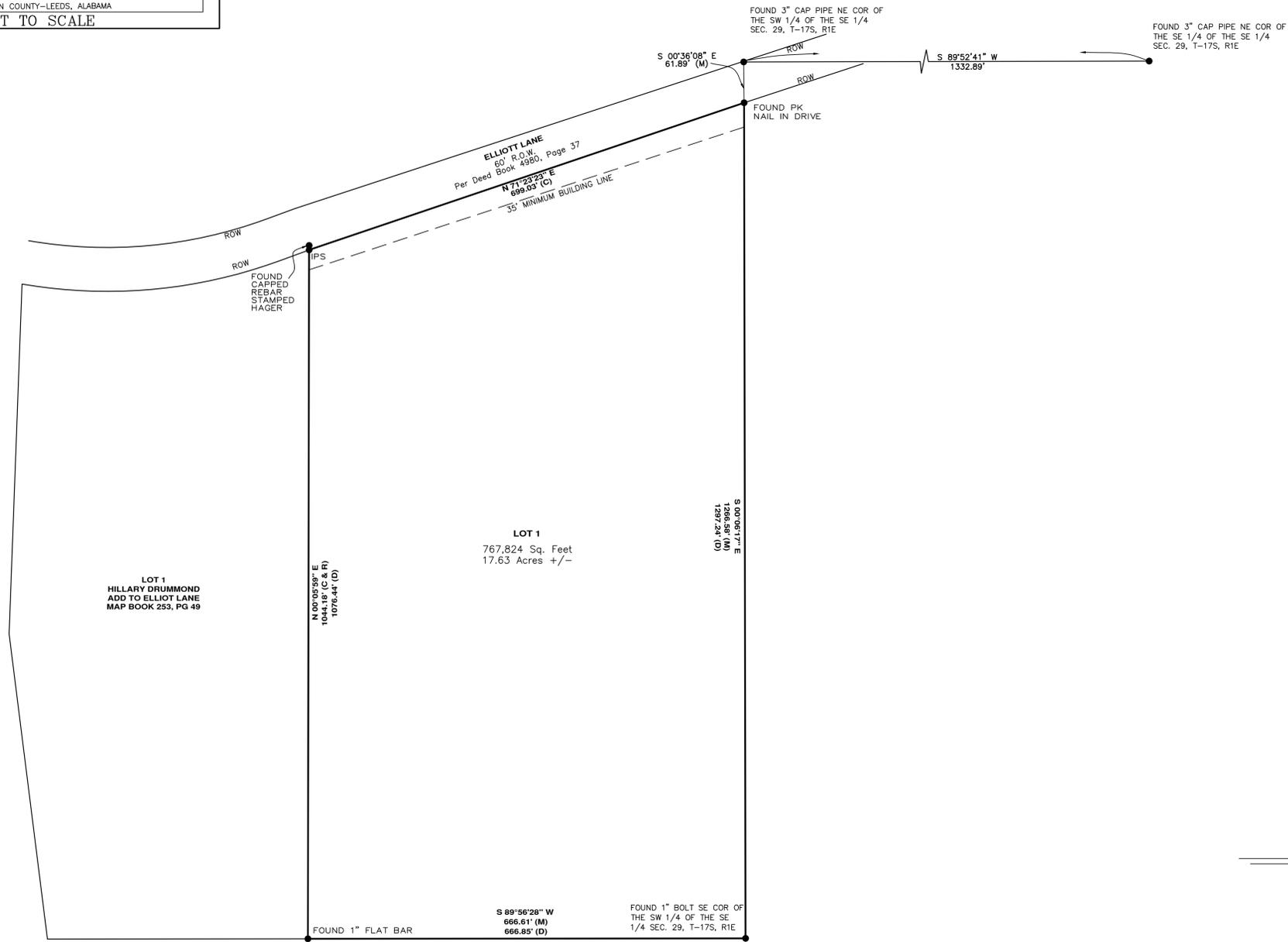
APPROVED: _____ DATE: _____
City of Leeds Planning & Zoning Commission

APPROVED: _____ DATE: _____
City of Leeds Water Works Board

APPROVED: ALAGASCO DATE: _____

DIRECTOR OF ENVIRONMENTAL SERVICES DATE _____

Environmental Services Department approval indicates that this document has been reviewed for provision of future or existing sanitary sewers; however this does not mean sanitary sewers have been built or will be built in the future. Any change in Right of Way or Easement boundaries after this date may void this approval.



FINAL PLAT

**HILLARY DRUMMOND
ADD TO ELLIOT LANE
PLAT NO. 2**

BEING A SURVEY OF A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 1 EAST, JEFFERSON COUNTY, ALABAMA

Prepared by:

GONZALEZ - STRENGTH & ASSOCIATES, INC.
ENGINEERING, LAND PLANNING, & SURVEYING
1550 WOODS OF RIVERCHASE DRIVE SUITE 200
HOOVER, ALABAMA 35524
PHONE: (205) 942-2486
FAX: (205) 942-3033
Gonzalez-Strength.com

ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA.