

CITY OF LEEDS, ALABAMA

PLANNING AND ZONING COMMISSION AGENDA

1412 9th St - Annex

January 12, 2023 @ 5:00 PM

CALL TO ORDER:

ROLL CALL:

DETERMINATION OF QUORUM:

APPROVAL OF MINUTES FROM PREVIOUS MEETING(S):

OLD BUSINESS:

 RA22-000005 - A request by Linda Miller, Applicant and Owner, to rezone certain parcels from R-2, Single Family District to B-2, General Business District, at 8163 Lawley Ave, 35094, TPID 2500164013009000, Jefferson County.

NEW BUSINESS:

- 2. RA22-000007 Planning and Zoning Commission to modify the R-5, Garden Home District and to delete the R-6, Garden Home District from the zoning ordinance.
- 3. SA22-000024 A request by Christal Grammer, Applicant, AMAC Design Builders, Owners, for Preliminary Plat and Construction Plans for Rockhampton Phase 2 fifty-one (51) lots, TPID 2500153001004001, Jefferson County, Zoned R-2, Single Family District.
- 4. SA22-000023 A request by Christal Grammer, Applicant, Sheridan South LLC,/ John R. Frawley, Jr., Owner, to resurvey Lots 1-4. 6-10, 13 & 14 of Block 15A of the Survey of Leeds, into two (2) lots located at 8412 Thornton Ave, 35094, TPID(s) 2500211016007000 & 2500211016012000, Zoned I-1, Light Industrial, Jefferson County.
- 5. SA22-000025 Withdrawn by Applicant 1/11/2021- A request by Joe Schifano, Applicant, Wellington Development Owner, for final plat approval of Southern Trace Sector 5, located at 1930 Hawks Rd, Leeds, AL 35094, TPID 2400254000003000, Zoned R-5, Garden Home District, Jefferson County.

PUBLIC ADDRESS:

OTHER BUSINESS:

CHAIRPERSON'S COMMUNICATION:

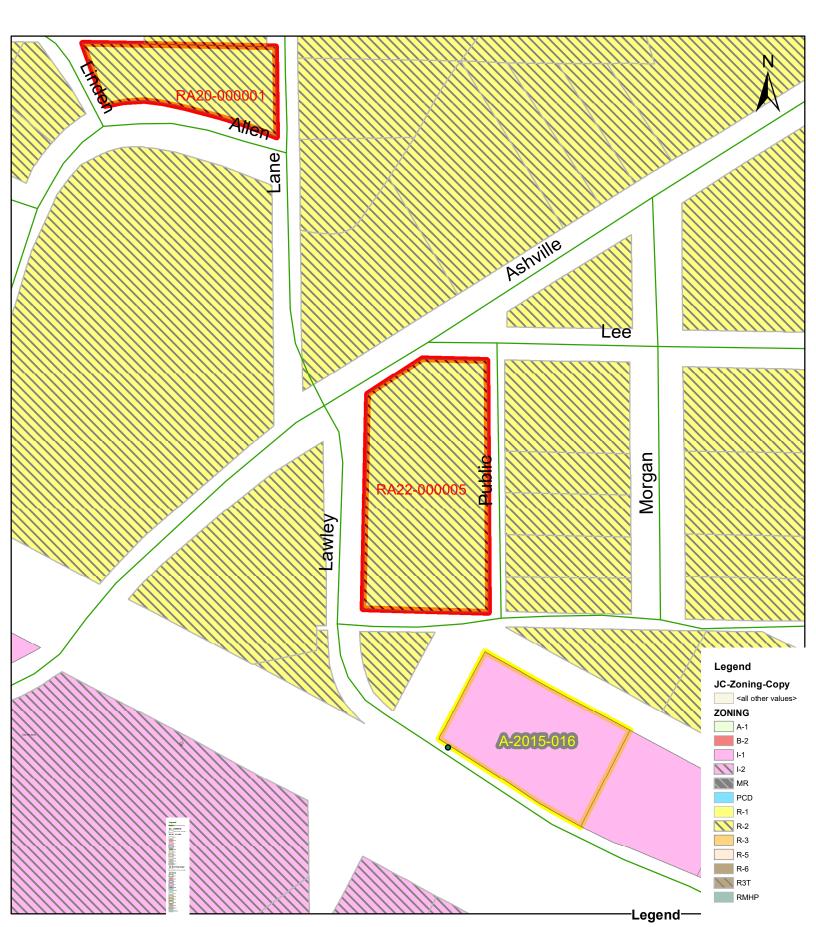
ADJOURNMENT:

In compliance with the Americans with Disabilities Act, those requiring accommodation for Council meetings should notify the City Clerk's Office at least 24 hours prior to the meeting at 205-699-2585.

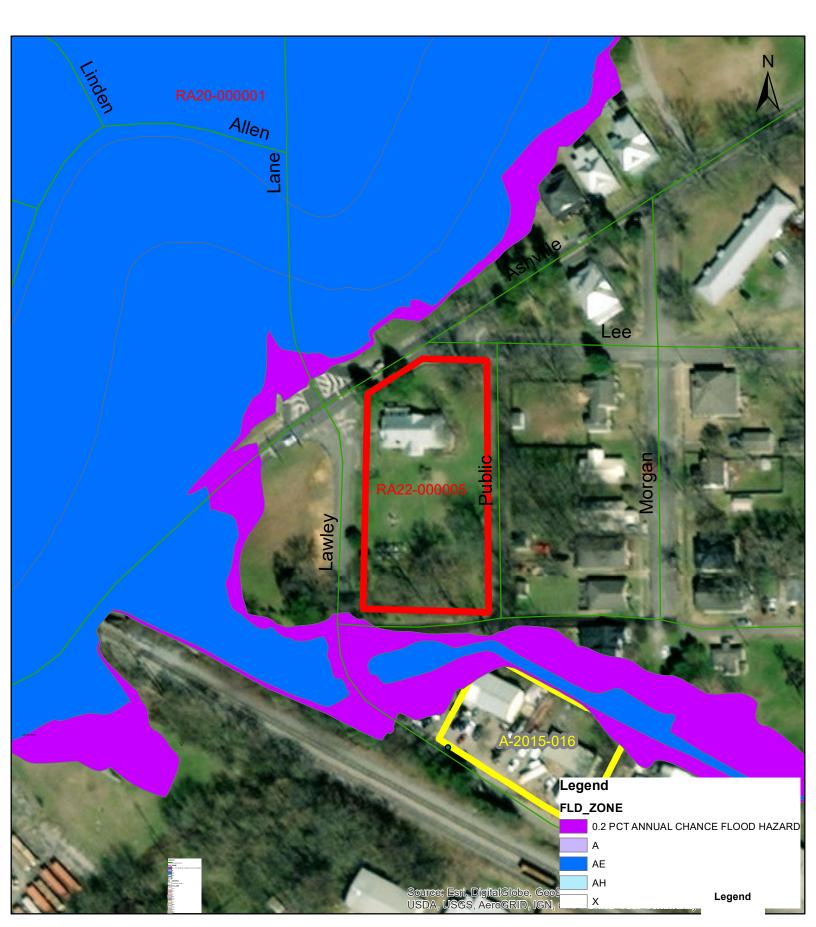
File Attachments for Item:

1. RA22-000005 - A request by Linda Miller, Applicant and Owner, to rezone certain parcels from R-2, Single Family District to B-2, General Business District, at 8163 Lawley Ave, 35094, TPID 2500164013009000, Jefferson County.

RA22-00005 8163 LAWLEY AVE 2500164013009000 ZONE



RA22-00005 8163 LAWLEY AVE 2500164013009000 FLOOD



REZONING APPLICATION FOR THE CITY OF LEEDS, ALABAMA DEPARTMENT OF INSPECTION SERVICES - ZONING DIVISION

1404 9th STREET, LEEDS, AL 35094 P.205.699.2585 NSPECTIONS@LEEDSALABAMA.GOV * leedsalabama.gov

Part 1. Application	
Name of Applicant: Sevala Miller - Linda Miller Mailing Address:	
70 Box 190 Leeds Al 3EMAY	
16 Sp. 299 - 3111 E-ma	Merpgstlab.com
Signature: Mallo	
100 TOOL	ested Hearing Date:
Part 2. Parcel Data	resurks and the supplier paracipality and the supplier paracipalit
Owner of Record: Willer	
Owner Mailing Address:	
POBOX 190 Leeds, A 35094	
Site Address:	
18163 Lawley Ave. Leeds & 35094 Tax Parcel ID # Existing Zoning:	
Tax Parcel ID # Existing Zoning:	Proposed Zoning:
Telephone: E-Mail:	
I Stanature of Authorization (by Owner:	tsi ppriou
Junda Hos Millar	
Part 3. Request	
Reason for Request:	
Proffer of rezoning conditions (if any)	
Part 4 Enclosures (Check all required enclosures with	his application)
O Application Fee	
O Reason for Request	
O Legal Description of the subject Property	
O Vicinity Map	
O Availability of Required Utilities	
O Site Plan	
O Proffer of rezoning conditions (if any)	
NOTICE: The completed and leading and the	
NOTICE: The completed application and all re least 30 (thirty) days prior to the Leeds Zoni	ng Board of Adjustments Public

FOR OFFICE USE ONLY	
Application Number:	Date Received:
Received by:	Scheduled Public Hearing Date:

County Division Code: AL040 Inst. # 2016048335 Pages: 1 of 2 I certify this instrument filed on: 5/17/2016 10:35 AM Doc: D Alan L.King, Judge of Probate Jefferson County, AL Rec: \$19.00 DeedTx: \$71.50

IPWITHH

71,450

THIS INSTRUMENT PREPARED BY: HILL, WEISSKOPF & HILL, P.C. Post Office Box 310 Moody, Alabama 35004

Send Tax Notice To: Post Office Box 190 Leeds, AL 35094

WARRANTY DEED

STATE OF ALABAMA JEFFERSON COUNTY

KNOW ALL MEN BY THESE PRESENTS, That in consideration of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration to the undersigned Grantor (whether one or more), in hand paid by the Grantee herein, the receipt whereof is acknowledged, I or we, Gerald Miller and wife, Linda Miller (herein referred to as Grantor, whether one or more), grant, bargain, sell and convey unto Linda S. Miller (herein referred to as Grantee, whether one or more), the following described real estate, situated in Jefferson County, Alabama, to-wit:

Lots 1, 2, 3, 4, 5 and 6, Block 6, according to the Survey of Lee Spruiell Land Company's first Addition to Leeds, Alabama, as recorded in Map Book 7, page 53, in the probate Office of Jefferson County, Alabama

TO HAVE AND TO HOLD to the said Grantee, his, her or their heirs and assigns forever.

And I (we) do, for myself (ourselves) and for my (our) heirs, executors and administrators, covenant with said Grantee, his, her or their heirs and assigns, that I am (we are) lawfully seized in fee simple of said premises; that they are free from all encumbrances, unless otherwise stated above; that I (we) have a good right to sell and convey the same as aforesaid; that I (we) will, and my (our) heirs, executors and administrators shall warrant and defend the same to the said Grantee, his, her or their heirs and assigns forever, against the lawful claims of all persons.

IN WITNESS WHEREOF, I (we) have hereunto set my (our) hand(s) and seal(s) this day of ______, 2015.

STATE OF ALABAMA ST. CLAIR COUNTY

I, the undersigned authority, a Notary Public in and for said County in said State, hereby certify that Gerald Miller and Linda Miller, whose name(s) are signed to the foregoing conveyance, and who are known to me, acknowledged before me on this day that, being informed of the contents of the conveyance, they executed the same voluntarily on the day the same bears date.

Given under my hand and official seal this 2 day of _

My Commission Expires: 6/1/20/8

Real Estate Sales Validation Form	
Grantor's Name Mailing Address Leeds, AL 35094 Leeds, AL 35094 Mailing Address Leeds, AL 35094	
Property Address 8163 Lawley Ave. Leeds, AL 35094 Total Purchase Price \$ or Actual Value \$ or 71,450.00 Assessor's Market Value \$	
The purchase price or actual value claimed on this form can be verified in the following documentary evidence: (check one) (Recordation of documentary evidence is not required) Bill of Sale Sales Contract Closing Statement Appraisal Other Other	y.
If the conveyance document presented for recordation contains all of the required information refere above, the filing of this form is not required.	nced
Instructions Grantor's name and mailing address - provide the name of the person or persons conveying interes to property and their current mailing address.	t
Grantee's name and mailing address - provide the name of the person or persons to whom interest to property is being conveyed.	•
Property address - the physical address of the property being conveyed, if available.	
Date of Sale - the date on which interest to the property was conveyed.	
Total purchase price - the total amount paid for the purchase of the property, both real and personal being conveyed by the instrument offered for record.	1 .
Actual value - if the property is not being sold, the true value of the property, both real and personal, conveyed by the instrument offered for record. This may be evidenced by an appraisal conducted by licensed appraiser or the assessor's current market value.	
If no proof is provided and the value must be determined, the current estimate of fair market value, excluding current use valuation, of the property as determined by the local official charged with the responsibility of valuing property for property tax purposes will be used and the taxpayer will be penapursuant to Code of Alabama 1975 § 40-22-1 (h).	llized
attest, to the best of my knowledge and belief that the information contained in this document is true accurate. I further understand that any false statements claimed on this form may result in the impost of the penalty indicated in Code of Alabama 1975 § 40-22-1 (h).	
DatePrint James E. Hill, Jr.	
Unattested - Sign - Sign	
(verified by) (Grantor/Grantee/Owher/Agent) circle)one	 n ይፕ-4

NOTICE OF PUBLIC HEARING

City of Leeds, Alabama Planning and Zoning Commission

Application for Rezoning

Site Addresses: 8163 LAWLEY AVE LEEDS, AL 35094

APPLICATION

This request for a zoning change is initiated by MILLER LINDA S.. The City of Leeds Planning & Zoning Commission will consider the request to rezone the described property from R-2, Single-Family Dwelling District, to B-2, General Business District.

PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission is an advisory body to the City of Leeds City Council. The recommendation of the Planning and Zoning Commission is non-binding, and the final determination of this rezoning request is vested solely with the City Council.

CASE #: RA22-000005
PROPERTY OWNERS: MILLER LINDA S.
TAX PARCEL IDs: 2500164013009000

SITE ADDRESSES: 8163 LAWLEY AVE; LEEDS, AL 35094

NOTICE IS HEREBY GIVEN that the Planning and Zoning Commission will hold a public hearing on the proposed preliminary plat. The hearing is scheduled on.

Date: 12/08/2022 Time: 5:00 p.m.

Place: Leeds Annex Meeting Room

1412 9th Street Leeds, AL 35094

Public Information: Any interested persons or their representative may appear at the meeting and comment on the application - Comments are limited to two (2) minutes. Written comments may also be mailed to the Commission. For more information about the application and related issues or to schedule an appointment:

Contact Person: Brad Watson

Phone: 205-699-0943

E-mail: bwatson@leedsalabama.gov

Mailing Address:

City of Leeds Planning and Zoning commission 1404 9th Street

Leeds, AL 35094

RA22-00005 8163 LAWLEY AVE 2500164013009000 AERIAL



File Attachments for Item:

2. RA22-000007 - Planning and Zoning Commission to modify the R-5, Garden Home District and to delete the R-6, Garden Home District from the zoning ordinance.

§8.00 R-5 Garden Home Residential District

8.01 Intent

To provide areas suitable for the development of residential garden homes along with selected institutional and commercial uses which are integrally related to residential neighborhoods.

8.02 <u>Uses Permitted</u>

The following uses shall be permitted in the R-5 Garden Home District:

A. Agricultural Uses

- 1. Non-Commercial Greenhouses and Gardens
- B. Residential Uses
 - 1. Residential Garden Homes
 - 2. Accessory Structures and Buildings, subject to Article VII, § 6.00.
- C. Institutional Uses
 - 1. Home Instruction
 - 2. Public Utility Services
- D. Temporary Uses
 - 1. Garage of Yard Sales, subject to Article VII, § 9.00.

8.03 Special Exception Uses

The following uses may be permitted subject to approval of the Zoning Board of Adjustment and the appropriate permits being issued by the City. See Article VIII, Special Exception Uses, § 1.00 and subsections 1.01 and 1.02.

A. Commercial Uses

1. Home Occupations, subject to Article VIII, § 9.00.

8.04 <u>Area and Dimensional Regulations</u>

Except as may be provided for elsewhere in this Ordinance, the following area and dimensional regulations shall be required:

Minimum Lot Width at The Building Line:

60 Feet

Minimum Lot Area: 6,000 Square Feet

Minimum Yards:

Front 7 Feet Rear: 5 Feet

Side: 5 Feet

Maximum Height 38 Feet or 2 ½ Stories

Minimum Livable Floor

Area in Square Feet: One Story – 1,200 Total

One and One-Half Story – 800 First Floor Second Floor – 400 for total of 1,200

Two Story – First Floor – 700

Two Story – Second Floor – 700 for total of 1,400

Corner Lots: Setbacks shall be the same on streets, roads, or highways.

Note: A <u>Site Development Plan</u> is required for all garden home developments as per Article subsection 2.02.

8.05 <u>Buffer Requirements</u>

As described in the Buffer Matrix and subsection 1.05 of this Article. 8.06

8.06 Additional Regulations

- 1. No fence shall be permitted forward of the front building face of the house, other fences shall not exceed seven (7) feet in height.
- 2. No two homes constructed in this district shall be closer to one another than fifteen (15) feet.
- 3. All utilities shall be placed underground.
- 4. There shall be two (2) paved parking spaces provided for each dwelling, the depth of which shall be measured from the back of the curb. Twenty percent (20%) of the parking shall be dedicated to landscaping. There shall be no on-street parking along existing interior streets.
- 5. Customary accessory buildings or structures, one (1) per lot, shall not exceed two hundred (200) square feet.
- 6. All lots shall have vehicular access from the rear of the property (front access shall only be permitted by exception of the Planning Commission)
- 7. An ADA compliant sidewalk shall be provided on each lot as designed during the subdivision process. All new subdivisions shall require a sidewalk system (this requirement may be waived upon the issuance of a waiver by the Planning and Zoning Commission).

[END OF R-5, GARDEN HOME RESIDENTIAL DISTRICT]

Delete R-6, Patio Home District

File Attachments for Item:

3. SA22-000024 - A request by Christal Grammer, Applicant, AMAC Design Builders, Owners, for Preliminary Plat and Construction Plans for Rockhampton Phase 2 - fifty-one (51) lots, TPID 2500153001004001, Jefferson County, Zoned R-2, Single Family District.

OTICE OF PUBLIC HEARING

City of Leeds, Alabama Planning and Zoning Commission

Application for Subdivision Rock Hampton Phase 2

APPLICATION

An application for subdivision plat approval has been filed with the City of Leeds Planning and Zoning Commission for "Rock Hampton Phase 2". This proposed subdivision consists of 51.

PLANNING AND ZONING COMMISSION

APPLICANT NAME:

The Planning and Zoning Commission is vested with the responsibility and authority of determining conformity with the City of Leeds Subdivision Regulations

CASE #: SA22-000024

PROPERTY OWNER: TASS INC

TAX PARCEL ID#S: 2500153001004001

CASE ADDRESS: 1250 MAITLAND RD; LEEDS, AL 35094

NOTICE IS HEREBY GIVEN that the Planning and Zoning Commission will hold a public hearing on the proposed preliminary plat. The hearing is scheduled on.

Christal Grammer

Date: 01/12/2023 Time: 5:00 p.m.

Place: Leeds Annex Meeting Room

1412 9th St Leeds, AL 35094

Public Information: Any interested persons or their representative may appear at the meeting and comment on the application. Written comments may also be mailed to the Commission.

For more information about the application and related issues or to schedule an appointment:

Contact Person: Brad Watson Phone: 205-699-0907

E-mail: development@leedsalabama.gov

Mailing Address:

City of Leeds Planning and Zoning commission 1404 9th Street Leeds, AL 35094

PRELIMINARY PLAN AND CONSTRUCTION PLANS FOR

ROCK HAMPTON PHASE 2

A PROPOSED SINGLE FAMILY RESIDENTIAL DEVELOPMENT

AN ACREAGE TRACT SITUATED SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15, TOWNSHIP 17 SOUTH, RANGE 1 EAST CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA

(8) ALL TRAFFIC CONTROL DEVICES AND THEIR INSTALLATION SHALL BE IN ACCORDANCE WITH THE MOST CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND

(12) JOB SAFETY IS THE SOLE RESPONSIBLITY OF THE CONTRACTOR. (13) STONE BACKFILL SHALL BE USED THE FULL DEPTH OF TRENCH UNDER ALL PAVEMENT IN ROW ONLY.

(14) CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION & MAINTANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, (15) CONTRACTOR AND DEVELOPER RESPONSIBLE FOR PROVIDING A BUILDING SITE FREE OF DRAINAGE PROBLEMS. (16) CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A PROPER TRAFFIC CONTROL PLAN FOR PUBLIC SAFETY ADJACENT TO CONSTRUCTION SITE. THE TRAFFIC CONTROL PLAN SHALL

BE'IN ACCORDANCE WITH AMUTCD, LATEST EDITION. (17) NO SUBSURFACE INVESTIGATION HAS BEEN DONE BY MTM ENGINEERS, INC. A GEOTECHNICAL ENGINEER SHOULD REVIEW THE SITE BEFORE BEGINNING CONSTRUCTION.

(18) ALL EXISTING UTILITIES APPURTENANCES, DRAINAGE STRUCTURES AND ACCESSORIES SHOULD BE DETERMINED TO MAINTAIN MINIMUM COVERAGE (19) ALL DISTURBED AREAS TO BE SEEDED OR SODDED PER LATEST AL DOT SPECIFICATIONS FOR GRASSING OR LANDSCAPED PER LANDSCAPE PLAN.

(20) WATER MAINS SHALL MEET ALL STANDARDS AND SPECIFICATIONS OF LEEDS WATER WORKS. (21) SEWER LINE CONSTRUCTION SHALL COMPLY WITH JEFFERSON COUNTY HEALTH DEPT REGULATIONS AND SPECIFICATIONS.

(9) ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE SO AS TO MINIMIZE THE AREA OF EXPOSED SOIL AT ONE TIME.

(10) ANY SEDIMENT REACHING THE ROADWAY SHALL BE REMOVED BY STREET CLEANING, NOT BY FLUSHING, BEFORE THE END OF EACH DAY.

(22) DATUM IS U.S.G.S. JEFF. CO. SUPPLIED TOPO.

OF LEEDS. CONTRACTOR SHALL NOTIFY CITY ENGINEER OF LEEDS BEFORE BEGINNING CONSTRUCTION.

(2) UTILITY CONTRACTOR SHALL OBTAIN PERMIT FROM CITY OF LEEDS BEFORE INSTALLING UTILITIES.

(6) ALL EASEMENTS SHOWN IN THIS SUBDIVISION ARE TO SERVE PUBLIC UTILITIES, SANITARY AND

STORM SEWERS, AND DRAINAGE DITCHES BOTH WITHIN AND WITHOUT THIS SUBDIVISION. (7) ALL TRAFFIC CONTROL SIGNS AND PAINT STRIPING ARE TO BE FURNISHED AND INSTALLED

(3) WATER FOR THIS PROJECT WILL BE FURNISHED BY THE LEEDS WATER BOARD. (4) UTILITY LOCATIONS ARE FROM UTILITY COMPANY RECORDS AND ARE APPROXIMATE. UTILITY LINES SHOULD BE FIELD CHECKED BEFORE BEGINNING ANY CONSTRUCTION. (5) THE NUMBER, LOCATION AND SPACING OF FIRE HYDRANTS SHALL BE IN ACCORD WITH THE

(11) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.

RECOMMENDATIONS OF THE CITY ENGINEER AND\OR FIRE CHIEF.

(23) CONTOUR INTERVAL IS ONE FOOT.

SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

(24) SITE BENCHMARK IS CRIMP IRON AT SE CORNER OF PROPERTY. ELEV =ELEVATION = 599.28

AND PARAGON CAP ON EASTERLY PROPERTY LINE. ELEV = 602.57 (25) BOUNDARY OF PHASE IV CLOSES 1 IN 10000 MEETING 3RD ORDER ACCURACY.

(26) There are no wooded areas, wetlands, unstable soils or slopes and any other adverse condition affecting the site

VICINITY MAP (1" = 300' + /-)

85.4' 85.4' 85' 85' 86.4' 75.8'

B. There are no wooded areas, wetlands, unstable soils or slopes and any other adverse conditions affecting the site. C. Site Assement: (a) geologic formations — None soils classifications — See Index at right colluvium - None d) bluffs – None sinkholes – None caves — None landslides (active and inactive) — None h) lineaments — None sprinas - None seeps — None streams (perennial, intermittent, wet weather) - None Groundwater recharge points — None (n) vegetative communities, including the five most abundant tree and floral species for each community, in order of abundance and including the approximate age of each community. (o) endangered and threatened species as determined by the US Fish and Wildlife Service — None evidence of recent or ancient quarry operations — None spoils areas— None dump sites (active, inactive, or covered/reclaimed)— None D.There are wetlands, unstable soils or slopes and any other adverse condition affecting the site. E. Site Assement: geologic formations — None soils classifications — See Index at right colluvium - None bluffs - None sinkholes - None caves — None landslides (active and inactive) - None lineaments — None springs – None seeps — None) streams (perennial, intermittent, wet weather) — None l) wetlands — None Groundwater recharge points — None (n) vegetative communities, including the five most abundant tree and floral species for each community, in order of abundance and including the approximate age of each community. (o) endangered and threatened species as determined by the US Fish and Wildlife Service — None evidence of recent or ancient quarry operations — None spoils areas— None dump sites (active, inactive, or covered/reclaimed)— None existing fills and excavations— the streets and detention pond were graded in 2003. existing drainage retention and detention areas— See Sheet # 9 wells, whether active or inactive, open or closed storage tanks, regardless of contents, both above ground and underground-None Site assessment map (a) Joseph A. Miller, III, PE/LS 17054, Observed during site walk through for items a-u

1. Pine trees over 6" in diameter = 155, age 15 years 2. Clusters of mimosa trees over 6" in diameter = 43, age 15 years 3. Oak trees over 6", larger ones 15-24" in diameter = 10, age 150 years Oak trees 6"-12" in diameter = 25, age 50 years Sweetgum Trees 6" in diameter = 20, age 15 years

(d)There are no adverse effects from items a-u. (e)There are no adverse effects from items a—u.

SITE AREA: 15.57 acres SMALLEST LOT: 6,300 SF / 0.14 acres

20' Required front and 30'rear

Fullerton-Bodine complex, 8 to 20 percent slopes

G. Site Information

51 LOTS 1475 LF streets

9 The entire site soils type:

Vegative communities

5. Elm Trees, 6" in diameter = 8, age 15 years No flowers were observed.

1. No part of this subdivisions subtending land falls within 200 ft. of any Gas Transmission Pipeline or Fiber optic trunk line.

(b) Soils types by graphic plotting from Soils Conservation Service Map: Bodine-Fullerton association, steep

All easements shown on this map are for public utilities, storm sewers, sanitary sewers, open storm sewer ditches and may be used for such purposes to serve both within and without this subdivision

Prepared for Amac Design Builders

CONSTRUCTION ACTIVITIES

- 1. INSTALL SILT FENCES ALONG THE SIDE SLOPE AND DOWN-SLOPE BOUNDARIES OF THE PROPERTY. 2. PROTECTION STORM DRAIN INLETS DOWN STREAM OF CONSTRUCTION FOR INDIVIDUAL LOTS WITH HAY
- BARRIER AND/OR OTHER PROTECTIVE MEASURES. 3. CLEARING AND GRUBBING AS REQUIRED.
- 4. APPLY STONE TO DRIVE WAY TO STABILIZE ENTRANCE TO LOT. 5. INSTALL SILT FENCE AROUND STOCKPILES SOIL.
- CONSTRUCT ROADS, INFRASTRUCTURE, GRADING FOR HOUSE SITES. TEMPORARILY OR PERMANENTLY STABILIZE STRIPPED AREAS AND STOCKPILES WITHIN 13 DAYS OF LAST
- CONSTRUCTION ACTIVITY IN THAT AREA. 8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTINGS.
- 10. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE, REMOVE SILT FENCE AND RESEED ANY BARE SPOTS OR

EROSION CONTROL NOTES

- 1. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE JOB SITE AND MAINTAINED UNTIL PERMENANT GROUND COVER IS ESTABLISHED. 2. ALL CONSTRUCTION SHALL BE DONE IN A LOGICAL SEQUENCE SO TO MINIMIZE THE AREA OF EXPOSED
- SOIL AT ANY ONE TIME.

 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SITE SAFETY.

 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.

 NO WORK IS TO BEGIN UNTIL COPIES OF ALL REQUIRED PERMITS IS FURNISHED TO THE OWNER. 5. THE CONTRACTOR IS TO INSTALL ALL EROSION CONTROL DEVICES BEFORE ANY CONSTRUCTION BEGINS. SUCH DEVICES SHALL BE INSPECTED AFTER EVERY 0.50" RAINFALL AND BE REPAIRED AND MAINTAINED
- 6. ALL DISTURBED GROUND LEFT INACTIVE FOR 13 OR MORE DAYS SHALL BE STABILIZED BY SEEDING, OR 7. ANY SEDIMENT REACHING THE ROADWAY SHALL BE REMOVED BY STREET CLEANING, AND NOT BY FLUSHING,
- BEFORE THE END OF EACH DAY. 8. ALL DISTURBED SHALL BE SEEDED & MULCHED AS PER AL. D.O.T. STANDARDS AND SPECIFICATIONS OR

SHEET NO.	TITLE
Т	TITLE SHEET
01	PRELIMINARY PLAN
02	PLAN AND PROFILE STREET
03	PLAN AND PROFILE STREET
04	GRADING PLAN
05	STORM PLAN
06	SANITARY SEWER PLAN AND PROFILES
07	SANITARY SEWER PLAN AND PROFILES
08	SANITARY SEWER DETAILS
09	STORM PROFILES
10 11	STORM PROFILES
12	STORM PROFILES WATER MAIN EXTENSION PLAN
13	DETAILS
14	DETAILS
15	EROSION CONTROL DETAILS
16	SITE ASSESSMENT MAP
17	BMP NOTES
18	PHASE 1 EXISTING BMP AND PROPOSED IMPROVMENTS
19 20	BMP PLAN PHASE 1 BMP PLAN PHASE 2
21	BMP PLAN PHASE 3
22	FINAL BMP PLAN

Owner / Developer: Allen McWilliams Amac Design Builders 608 Forest Drive Leeds, Al. 35094 Phone: 205-568-9087

Engineer

Joseph A. Miller, III PE/LS 17054 MTTR ENGINEERS, INC. CONSULTING ENGINEERS-LAND SURVEYORS

MTTR Engineers 2500 Southlake Park , Suite 100 Hoover, Al. 35244

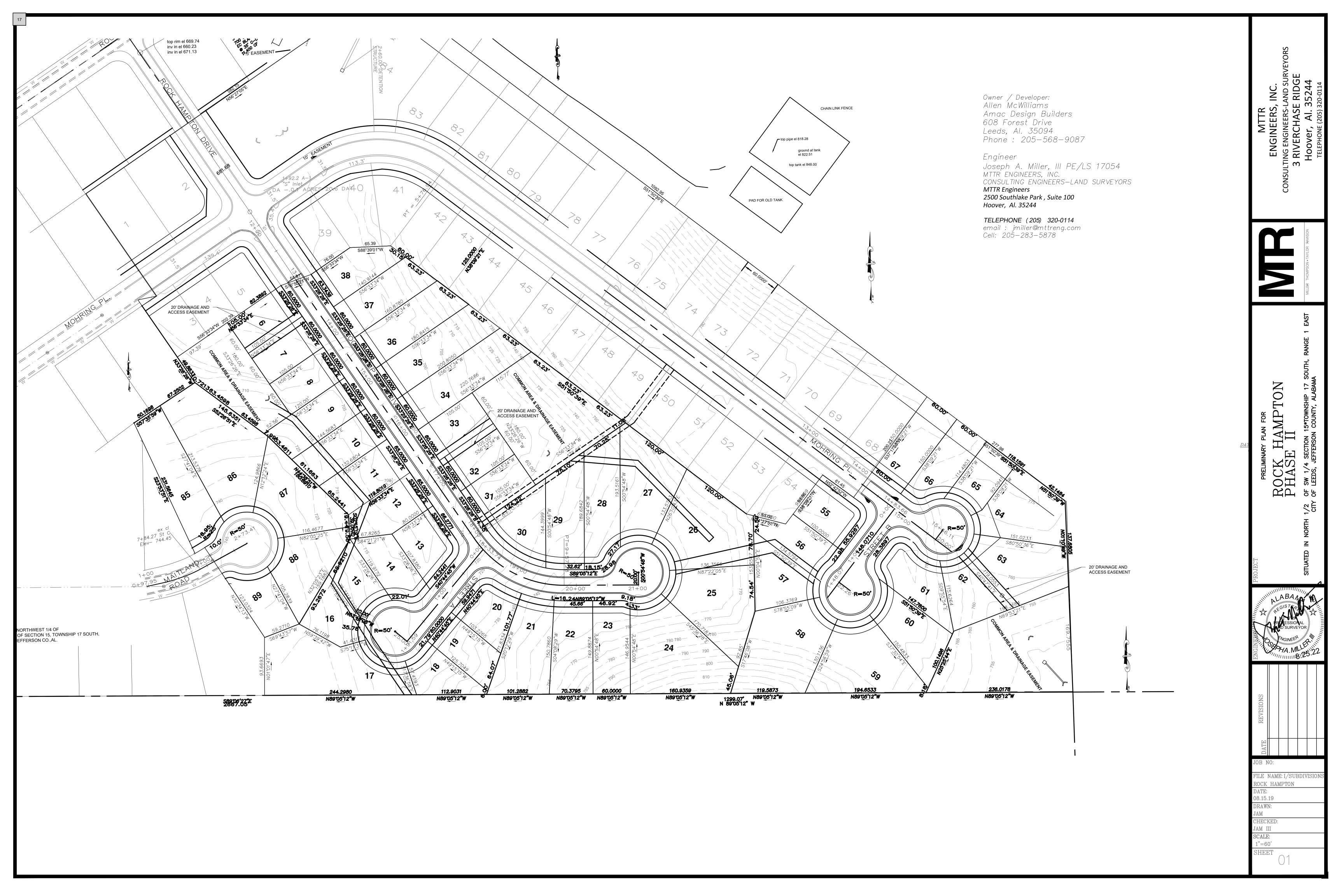
TELEPHONE (205) 320-0114 email: imiller@mttreng.com Cell: 205-283-5878

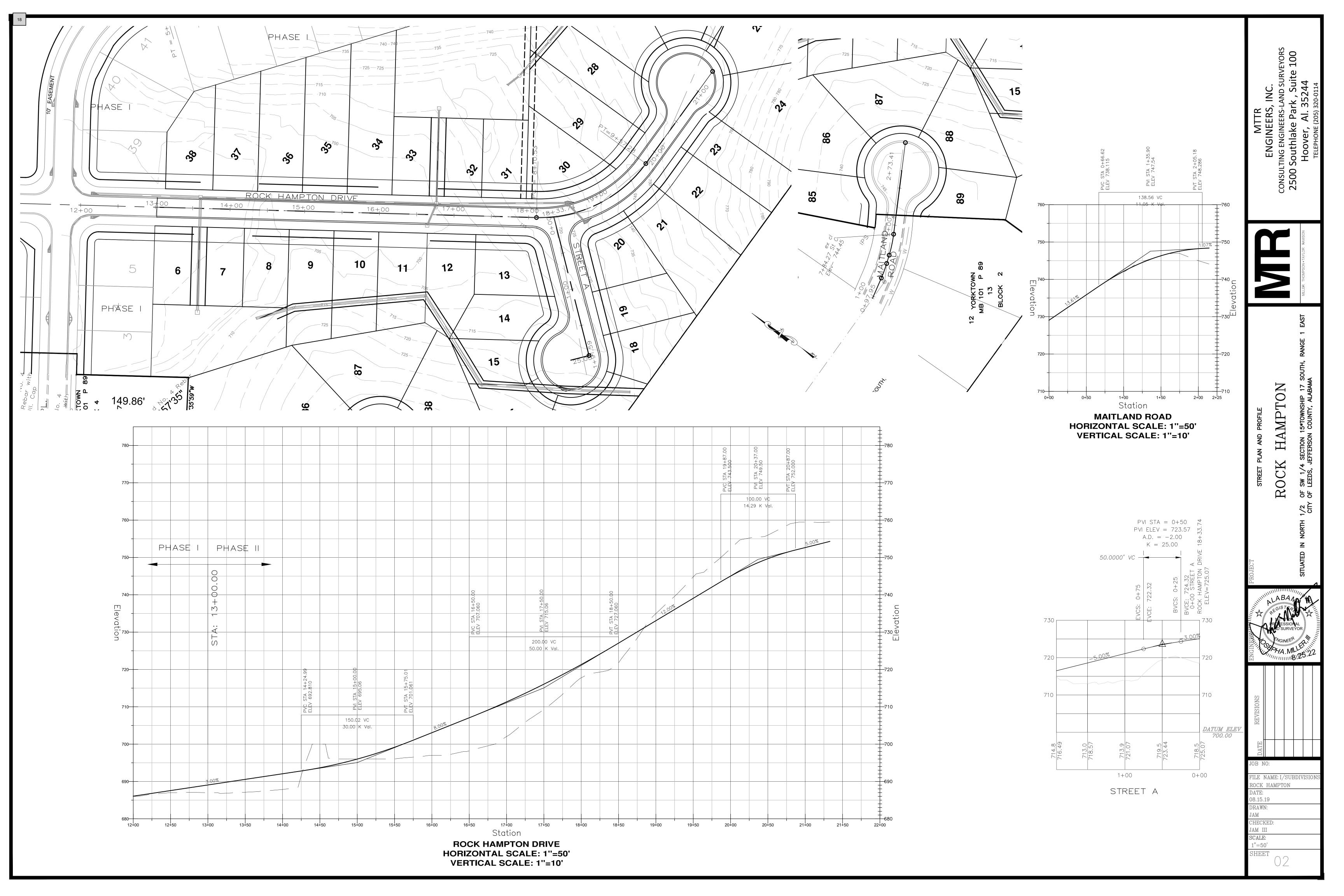
01-25-15-3-001-4.10 DEED/PAGE Subject Property Owner: Allen McWilliams Amac Design Builders 608 Forest Drive Leeds, Al. 35094 Phone: 205-568-9087

> Site Breakdown: SITE AREA: 15.57 acres SMALLEST LOT: 6,300 SF / 0.14 acres

2

FILE NAME: August 15th, 2019 DRAWN: HECKED:



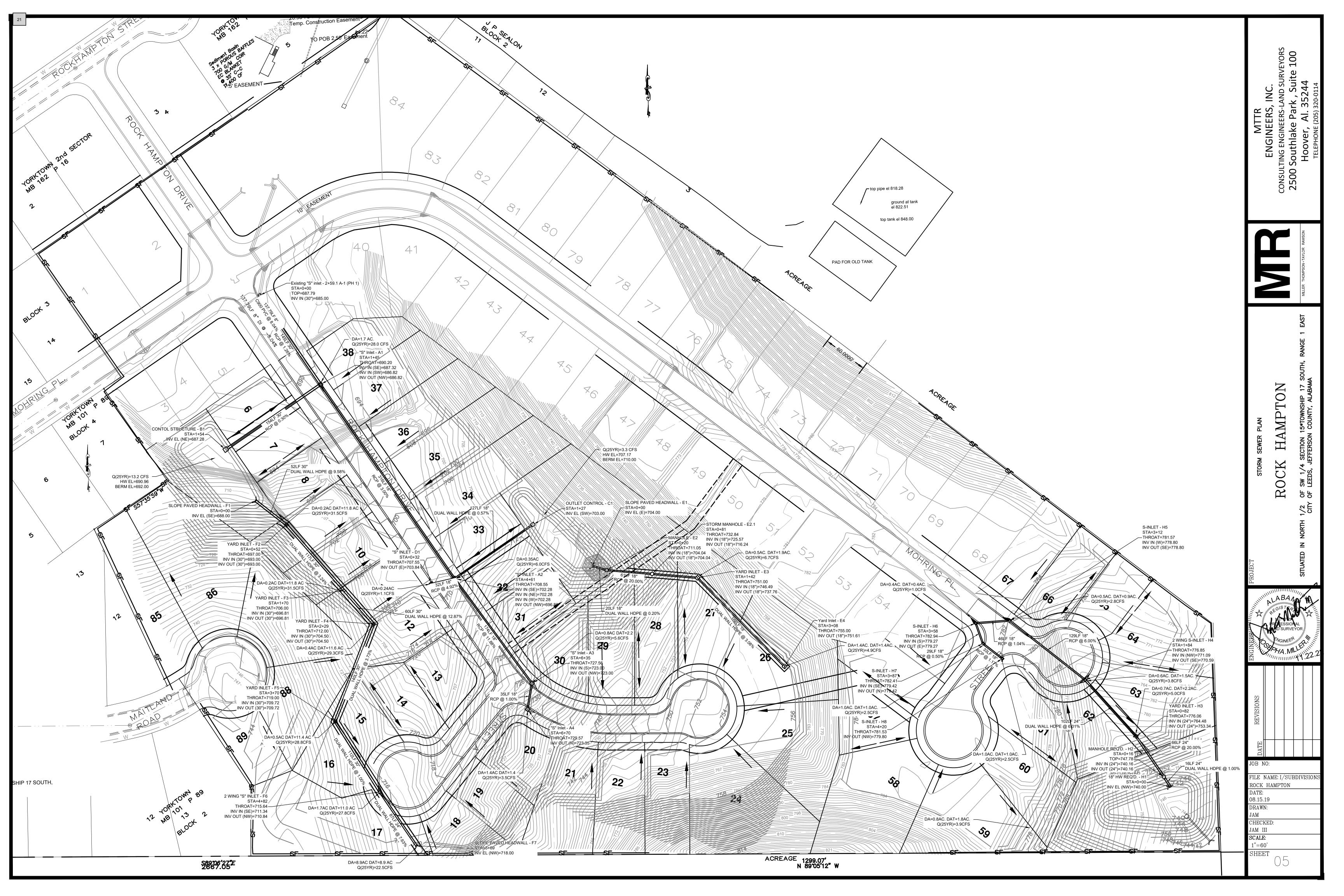


ROCI

FILE NAME: I/SUBDIVISIO ROCK HAMPTON

DRAWN: SCALE: 1"=50'





Enginee

Joseph A. Miller, III PE/LS 17054
MTTR ENGINEERS, INC.
CONSULTING ENGINEERS—LAND SURVEYORS
MTTR Engineers

2500 Southlake Park , Suite 100 Hoover, Al. 35244

TELEPHONE (205) 320-0114

Cell: 205-283-5878

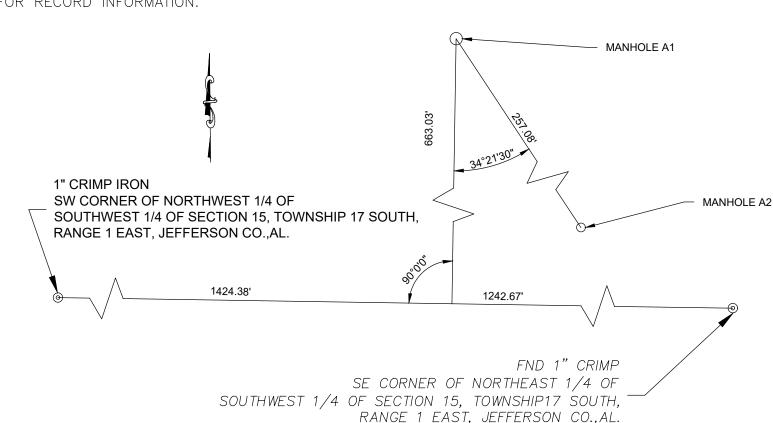
email : jmiller@mttreng.com

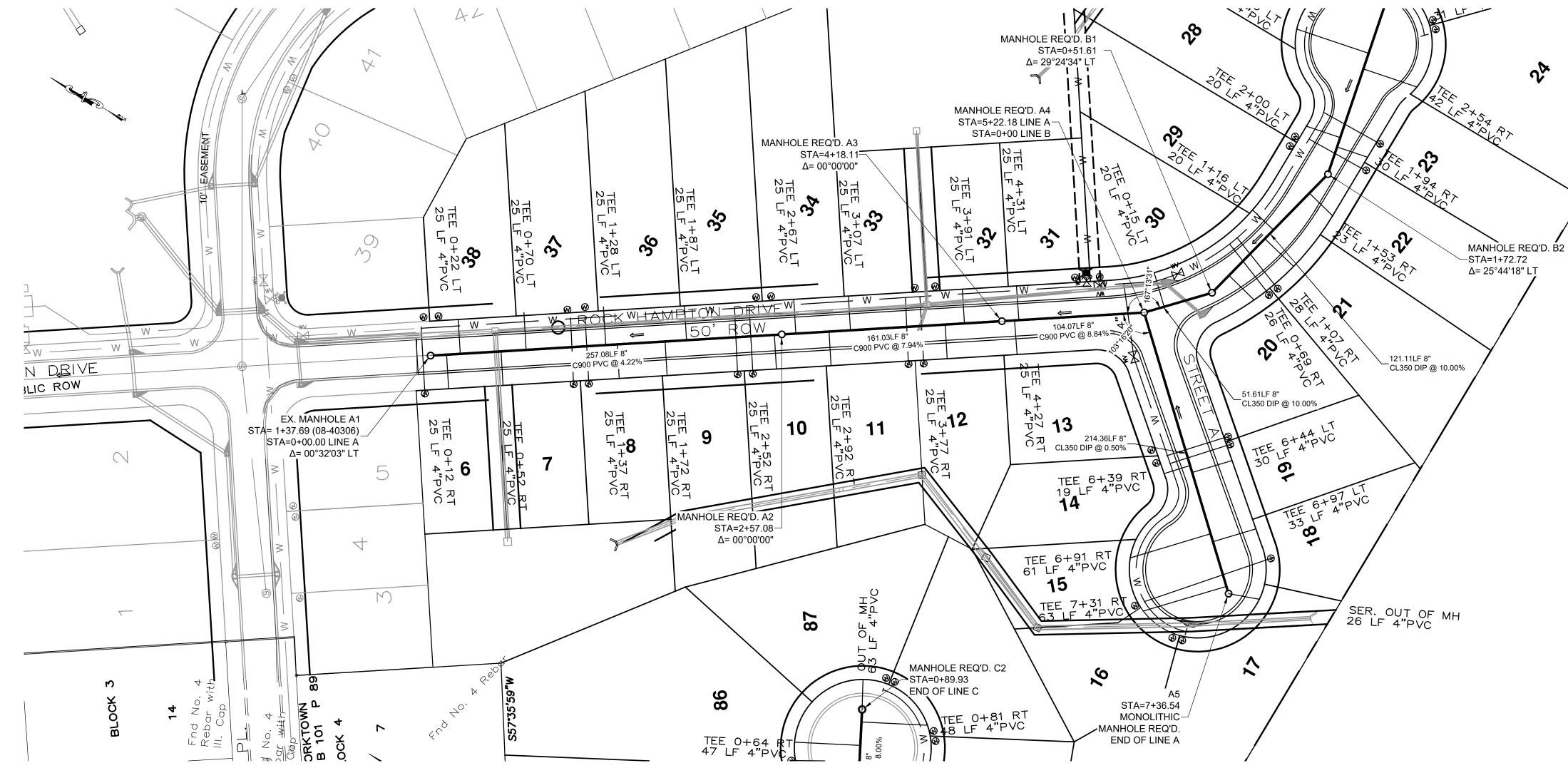
FOR 8 INCH AND LARGER SANITARY SEWERS

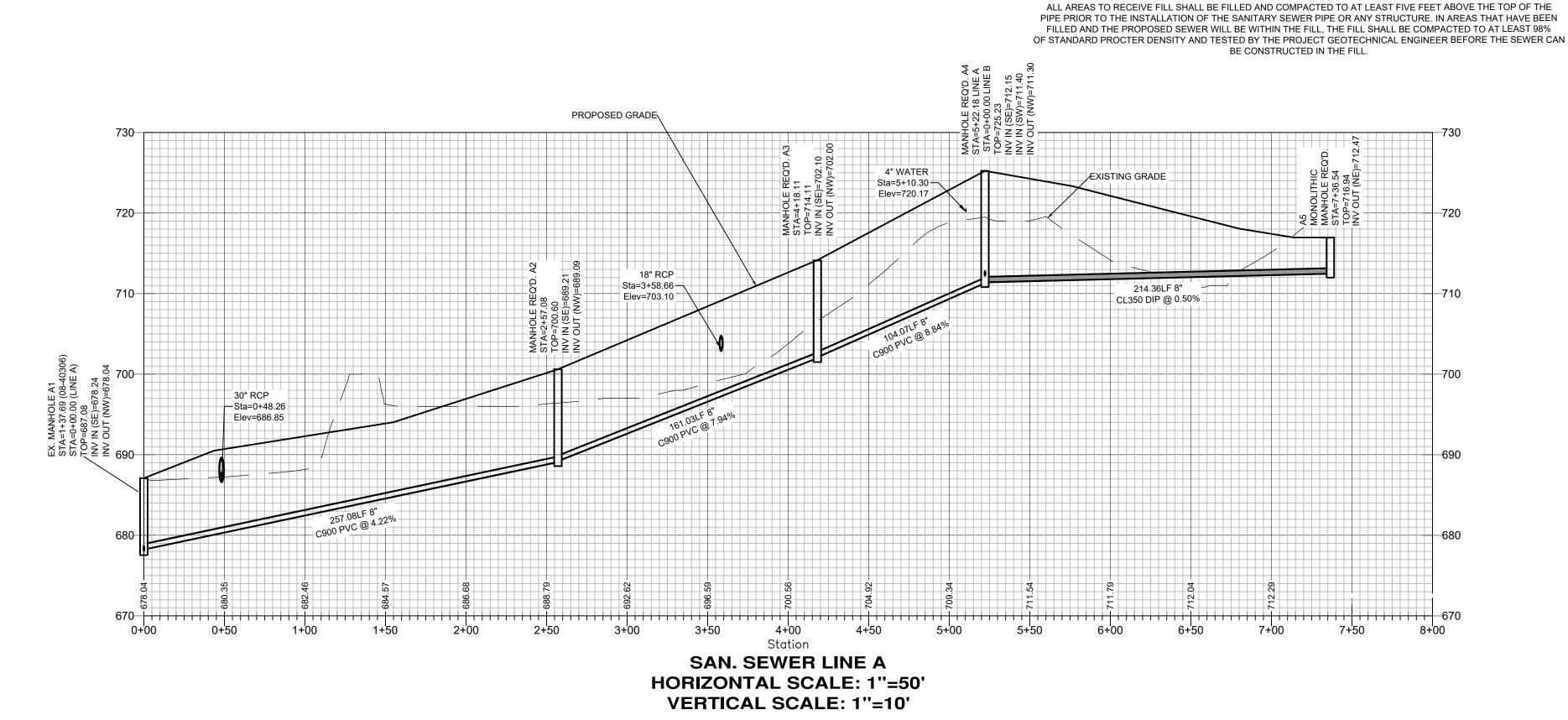
- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATION OF JEFFERSON COUNTY, THE LOCAL MUNICIPALITY AND/OR THE STATE HIGHWAY DEPARTMENT, AND APPLICABLE O.S.H.A. REGULATIONS, AS APPLICABLE.
- 2. THE CONTRACTOR SHALL NOTIFY THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT 325—5127 AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION. THERE SHALL BE NO CHANGES IN DRAWINGS WITHOUT WRITTEN APPROVAL BY THE JEFFERSON COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.
- 3. DUCTILE IRON PIPE SHALL BE CL350 OR BETTER.
- 4. PVC PIPE SHALL BE AWWA C900, CAST IRON (CI) STANDARD DIMENSIONS. DIMENSION RATIO (DR) 18. PRESSURE CLASS (PC) 150 PSI OR BETTER.
- 5. IN EARTH TRENCH, FOUR INCHES OF CRUSHED STONE SHALL BE PLACED UNDER SEWER LINES OF 12 INCHES IN DIAMETER OR SMALLER AND SIX INCHES OF CRUSHED STONE SHALL BE PLACED UNDER SEWER LINES LARGER THAN 12 INCHES IN DIAMETER. IN ROCK TRENCHES, SIX INCHES OF CRUSHED STONE SHALL BE PLACED UNDER ALL SEWERS. THE DITCH SHALL BE BACKFILLED WITH CRUSHED STONE TO A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE. WHEN CROSSING EXISTING ROADS, STREETS, AND ALL PAVEMENT IN AND OUT OF THE R.O.W., THE TOTAL BACKFILL SHALL BE CRUSED STONE AND PROPERLY CHOKED.
- 6. AT THE DIRECTION OF THE ESD INSPECTOR, A CONNECTION OF SANITARY SEWER PIPES (8 INCH THROUGH 16 INCH) OF DISSIMILAR SIZES OR FOR REPAIR OF SANITARY SEWER PIPES OF SIMILAR MATERIALS MAY BE MADE BY MEANS OF AN APPROVED MECHANICAL SEAL TYPE ADJUSTABLE COUPLING. COUPLINGS WITH ANY REQUIRED ADAPTING BUSHINGS SHALL BE MANUFACTURED OF AN APPROVED PREFORMED ELASTOMERIC MATERIAL SPECIFICALLY FOR DIMENSIONS OF THE PIPE MATERIALS TO BE CONNECTED. COUPLINGS OF THE MECHANICAL SEAL TYPE SHALL HAVE NUT AND BOLT TIGHTENING CLAMPS OR DEVICES MADE OF 316 STAINLESS STEEL, WITH AN ADJUSTABLE STAINLESS STEEL SHEAR RING, AND STAINLESS STEEL HARDWARE. A CONCRETE COLLAR AS SHOWN ON APPENDIX STANDARD DRAWING SD2060 IS REQUIRED. THE ADJUSTABLE COUPLING SHALL BE INSTALLED AS RECOMMENDED AND SPECIFIED BY THE MANUFACTURER. EACH COUPLING SHALL BEAR THE MANUFACTURER'S NAME AND REQUIRED MARKINGS.
- 7. MANHOLES SHALL MEET ASTM SPECIFICATION C-478. JOINTS BETWEEN THE MANHOLE SECTIONS SHALL BE OFFSET TONGUE AND GROOVE "PUSH ON" TYPE, SUPPLIED WITH TYLOX SUPER SEAL PRE-LUBRICATED GASKET AS MANUFACTURED BY HAMILTON KENT MEETING THE REQUIREMENTS OF ASTM C443. EACH JOINT SHALL ALSO BE SUPPLIED WITH CONSEAL CS-231 WATERSTOP SEALANT AS MANUFACTURED BY CONCRETE SEALANTS, IN WIDTHS AS RECOMMENDED BY THE MANUFACTURER. MANHOLES SHALL HAVE A MINIMUM DIAMETER OF 48 INCHES AND A MINIMUM THICKNESS OF 5 INCHES. ALL MANHOLE CONES SHALL BE OF THE CONCENTRIC TYPE. MANHOLES MAY BE FINISHED TO STREET GRADE WITH BRICK AND MORTAR. THIS ADJUSTMENT HEIGHT SHALL NOT EXCEED 6 INCHES.
- 8. STUBOUTS FOR SANITARY SEWER SERVICE LINES SHALL END ON OR NEAR THE PROPERTY LINE UNLESS OTHERWISE ON "DOWNHILL" SIDE LOTS INSTALL LATERALS ON A MINIMUM 1 LINES TO GRADE THAT WILL TERMINATE A MAXIMUM DEPTH OF 10 FEET. THE FIRST JOINT OUT OF A MANHOLE, FOR BUILDING OR HOUSE SERVICE, SHALL BE DUCTILE IRON PIPE CLASS 52 OR BETTER (MINIMUM 8 FEET). ANY BUILDING SERVICE LINE SET OUTSIDE OF EASEMENT OR R.O.W. MUST BE INSTALLED BY A MASTER PLUMBER
- 9. IF THE CONTRACTOR IS INSTALLING SERVICE LINES AT THE SAME TIME AS MAIN LINE, THE SERVICE LINE SHALL BE INSTALLED IN ACCORDANCE WITH <u>JEFFERSON COUNTY STANDARDS FOR CONSTRUCTION OF SERVICE LINES AND CONNECTIONS</u>, AND INSPECTED/TESTED BY COUNTY INSPECTOR BEFORE IT IS BACKFILLED.
- 10. ALL SERVICE LINE STUBOUTS INSTALLED IN ROAD ROW OR UNDER ASPHALT SHALL BE PER STANDARD SPECIFICATIONS FOR SANITARY SEWER SERVICE LINES AND CONNECTIONS SECTION 4.
- 11. CONSTRUCTION SIGNS FOR WORK WITHIN AND ADJACENT TO PUBLIC ROADS, HIGHWAYS, AND ALLEYS SHALL BE IN ACCORDANCE WITH ALDOT STANDARDS.
- 12. CONTRACTOR WILL BE RESPONSIBLE FOR THE CONTINUOUS AND PROPER OPERATION OF ALL EXISTING UTILITIES LOCATED ON OR ADJACENT TO THE PROJECT SITE AND WITHIN THE CONSTRUCTION LIMITS OF THIS PROJECT.
- 13. ALL EMBANKMENT FILL AREAS SHALL BE FILLED AND COMPACTED PRIOR TO EXCAVATION OF SEWER
- 14. CONTRACTOR WILL BE RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS AND FOR ACQUISITION OF ALL PERMITS DURING CONSTRUCTION TO INSURE THAT DAMAGE DOES NOT OCCUR TO ADJACENT PROPERTIES, PUBLIC ROADS AND/OR DITCHES (CREEKS, STREAMS).
- 15. UPON COMPLETION OF ALL OR ANY PART OF A SANITARY SEWER LINE, THE CONTRACTOR WILL BE REQUIRED TO TEST SAID SEWER FOR ACCEPTABILITY. GRAVITY SEWERS WILL BE PRESSURE TESTED WITH AIR. FORCE MAIN SEWERS WILL BE PRESSURE TESTED WITH WATER. MANHOLES WILL BE VACUUM TESTED. ALL TESTS WILL BE CONDUCTED IN THE PRESENCE OF THE COUNTY SEWER CONSTRUCTION INSPECTOR IN ACCORDANCE WITH SECTION 5.00 STANDARDS FOR COMMERCIAL AND RESIDENTIAL CONSTRUCTION OF SANITARY SEWER SYSTEMS. GRAVITY SANITARY SEWERS WILL BE TELEVISION INSPECTED FOLLOWING

AIR TESTING WITH THE FINAL VIDEO TAPE AND LOG FURNISHED TO THE COUNTY FOR RECORD INFORMATION.

AND HAVE A SEWER CONNECTION PERMIT FOR EACH LOT.







JCES SHEET 1 OF 3

ALL 3/4" WATER SERVICES ARE TO BE PLACED 36" BELOW THE FINISHED GRADE UNLESS OTHERWISE

SPECIFIED.

MTTR
ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
2500 Southlake Park, Suite 100
Hoover, Al. 35244

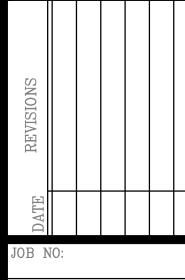
MILLER THOMPSON • TAYLOR RAWSON

K HAMPTON

PHASE 2

1/4 SECTION 15*TOWNSHIP 17 SOUTH, RANG

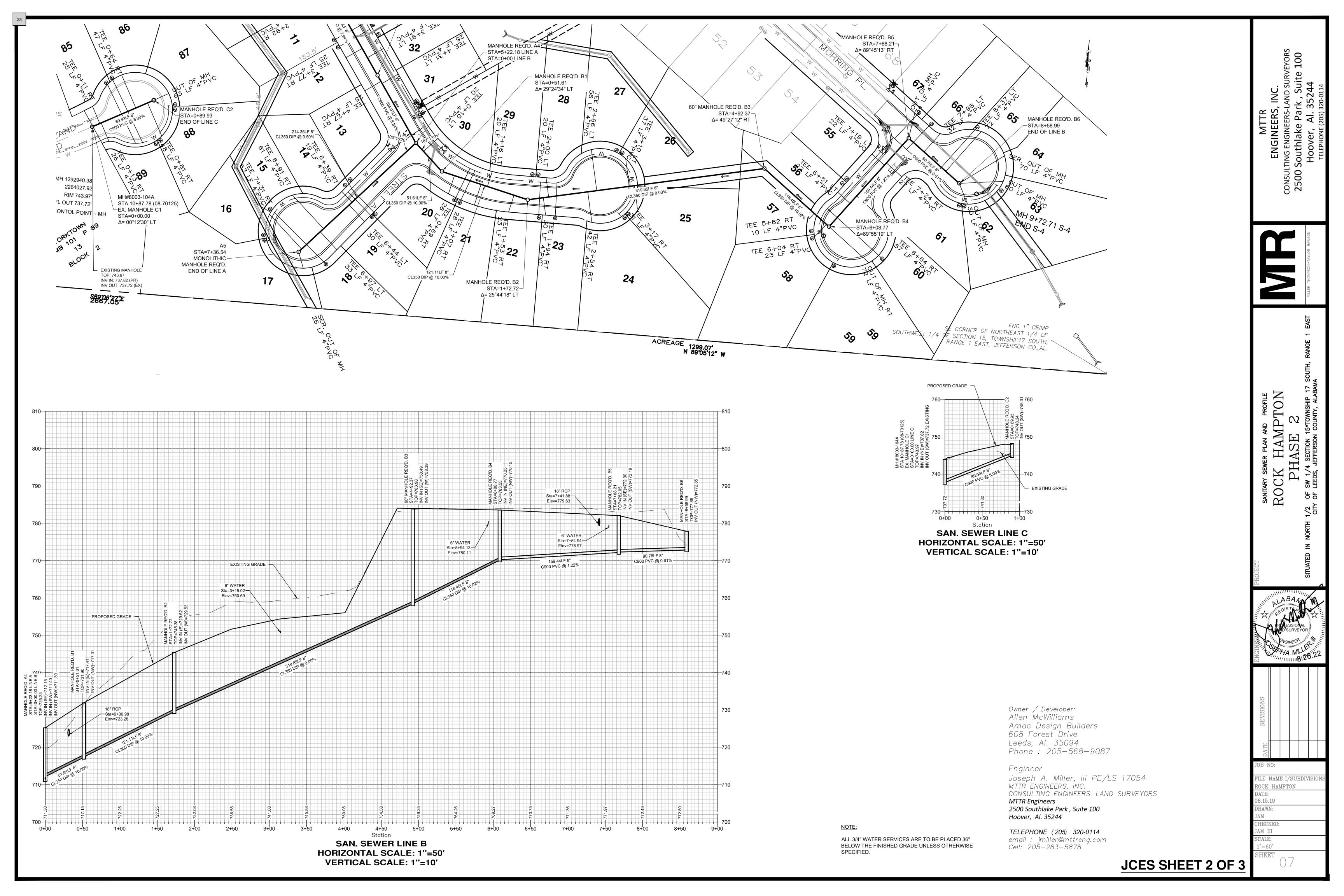
SANITARY SEWER ${
m ROCK}$ I SITUATED IN NORTH 1/2 OF SW 1/4 S

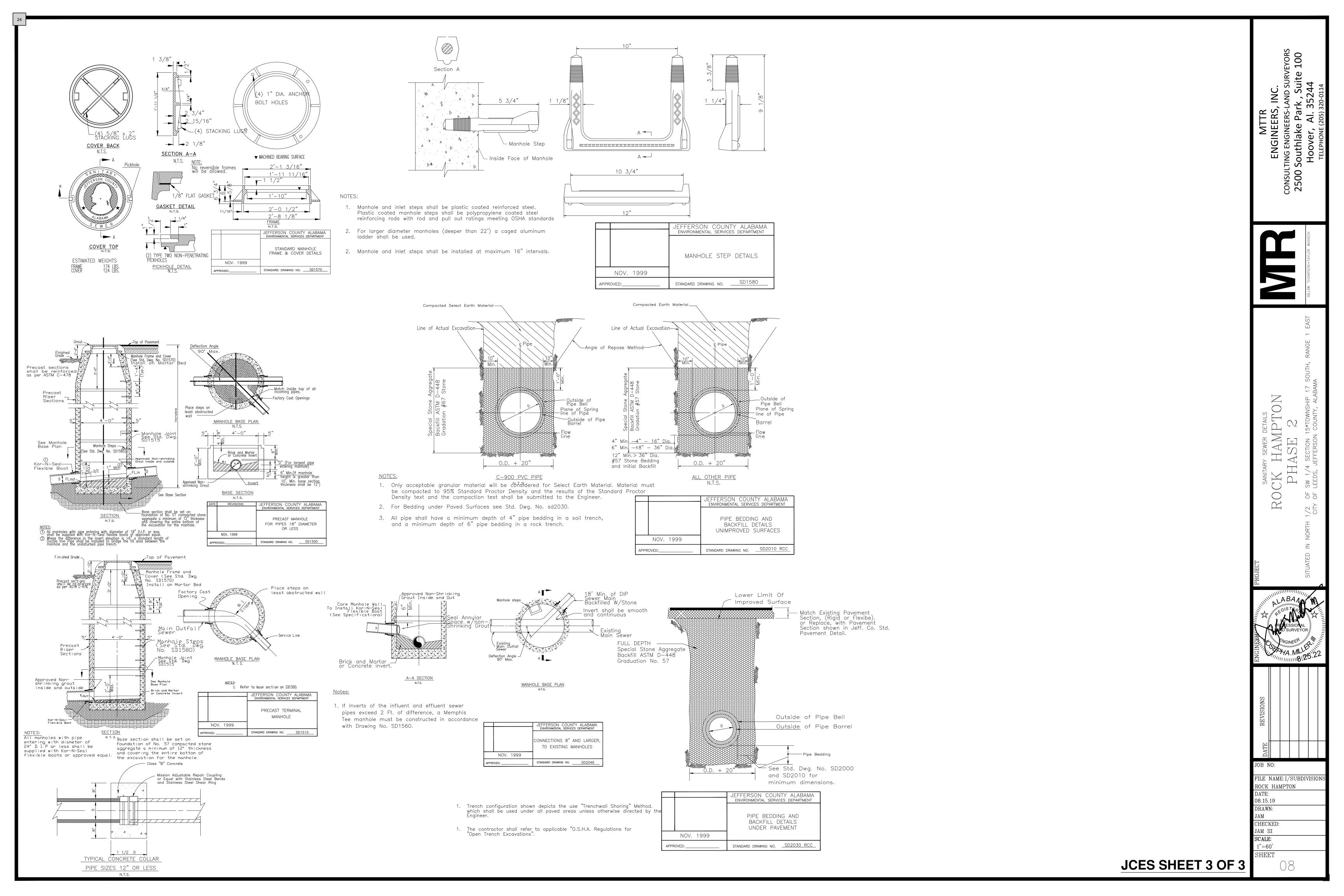


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FILE NAME: I/SUBDIVISION
ROCK HAMPTON
DATE:
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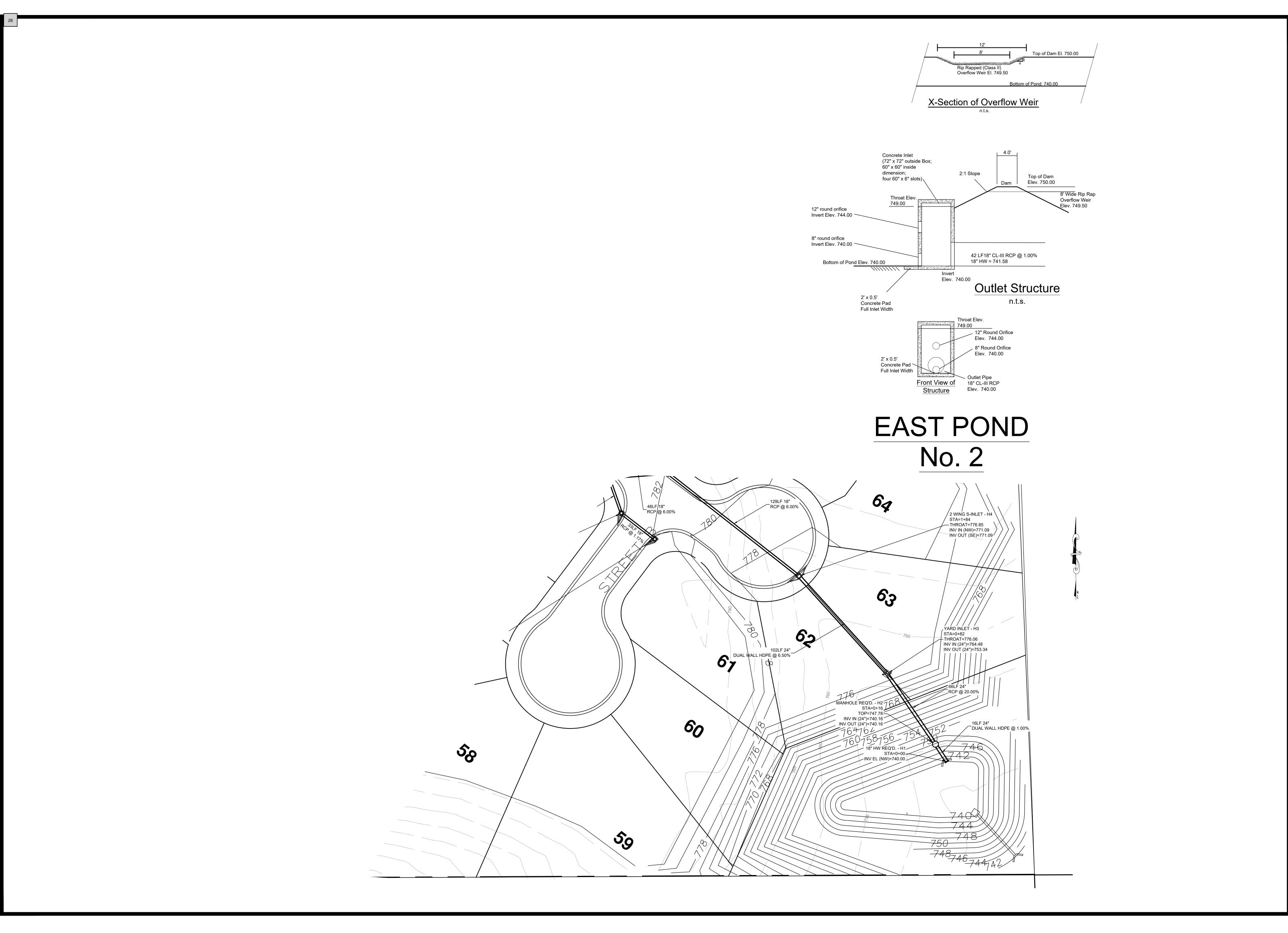
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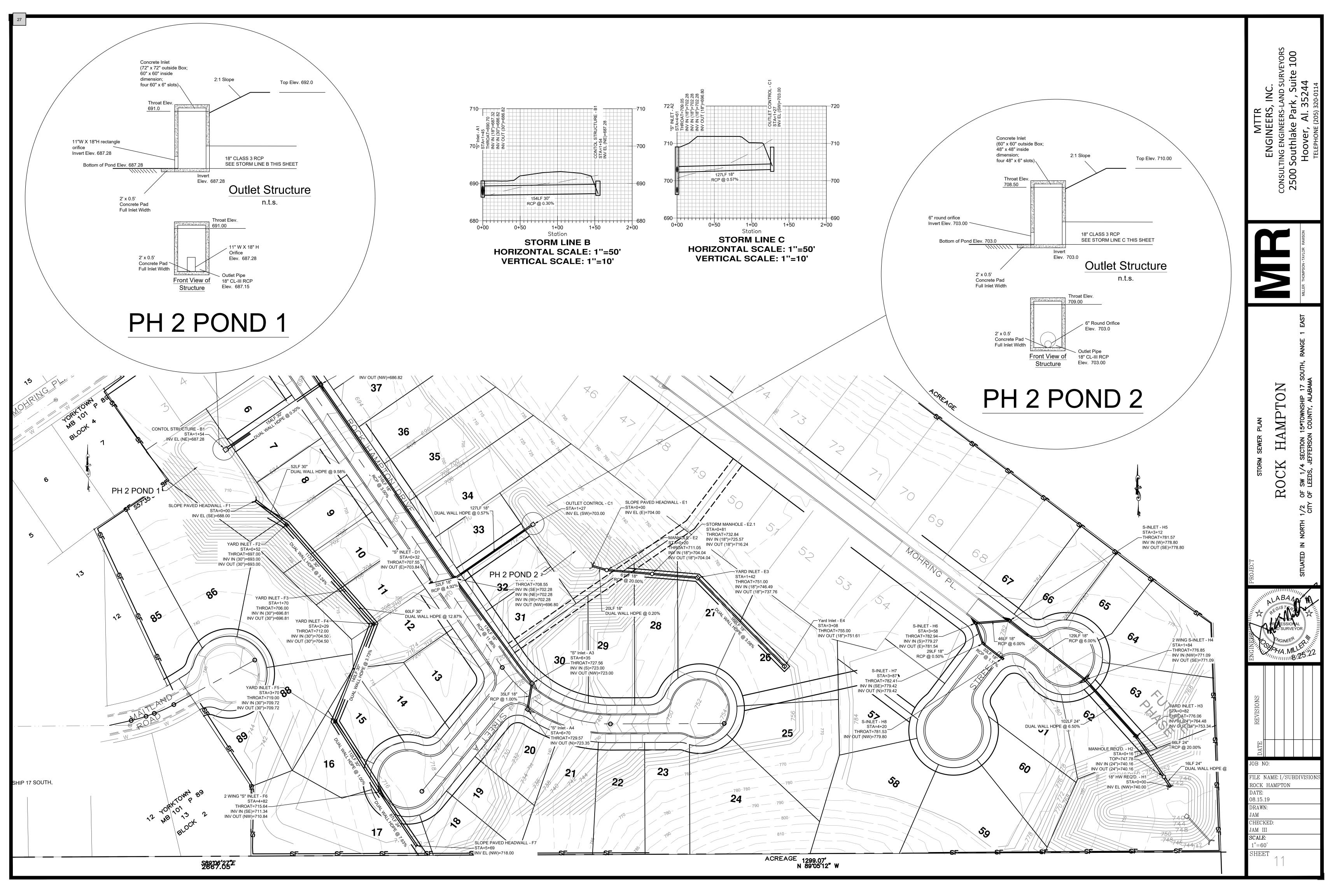
AND SURVEYORS k, Suite 100 35244 CONSULTING ENGINEER
2500 Southlake F
Hoover, A

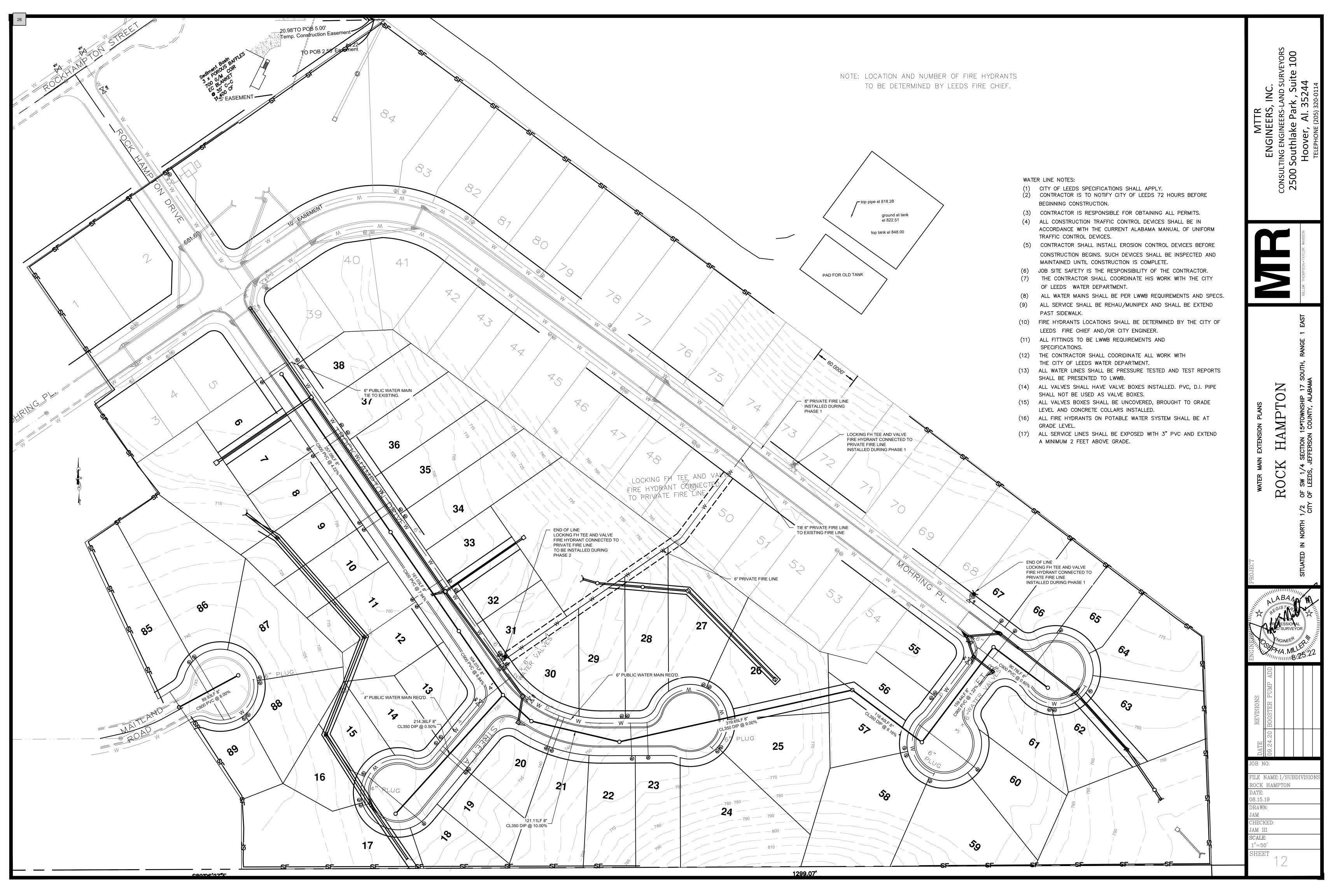
AMPTON

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TLE NAME: I/SUBDIVISIO ROCK HAMPTON DRAWN:

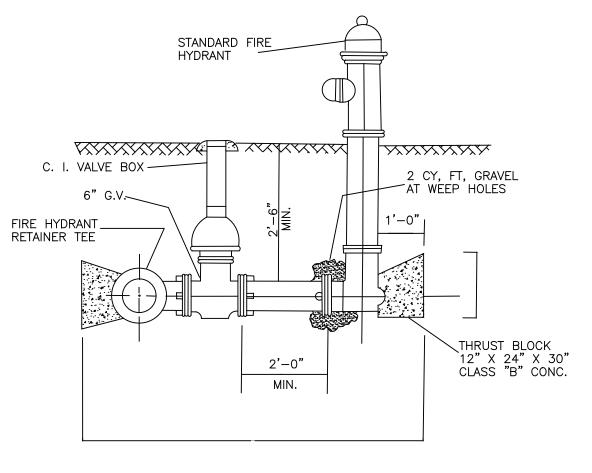
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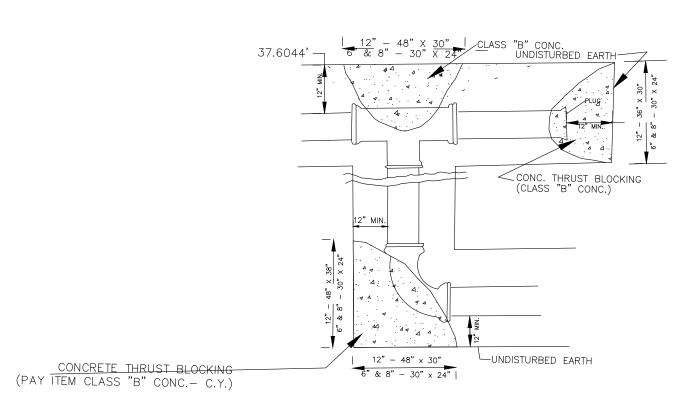


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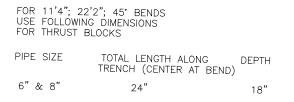
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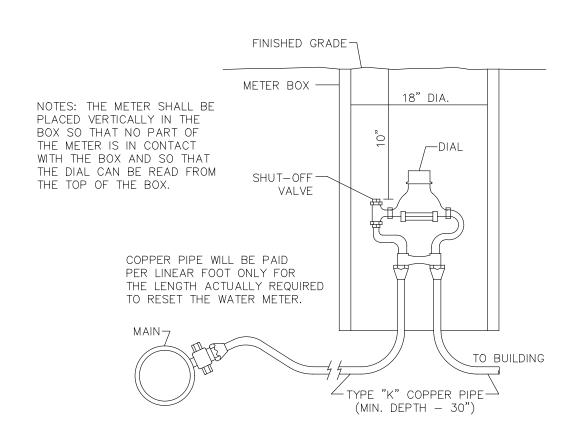


TYPICAL FIRE HYDRANT

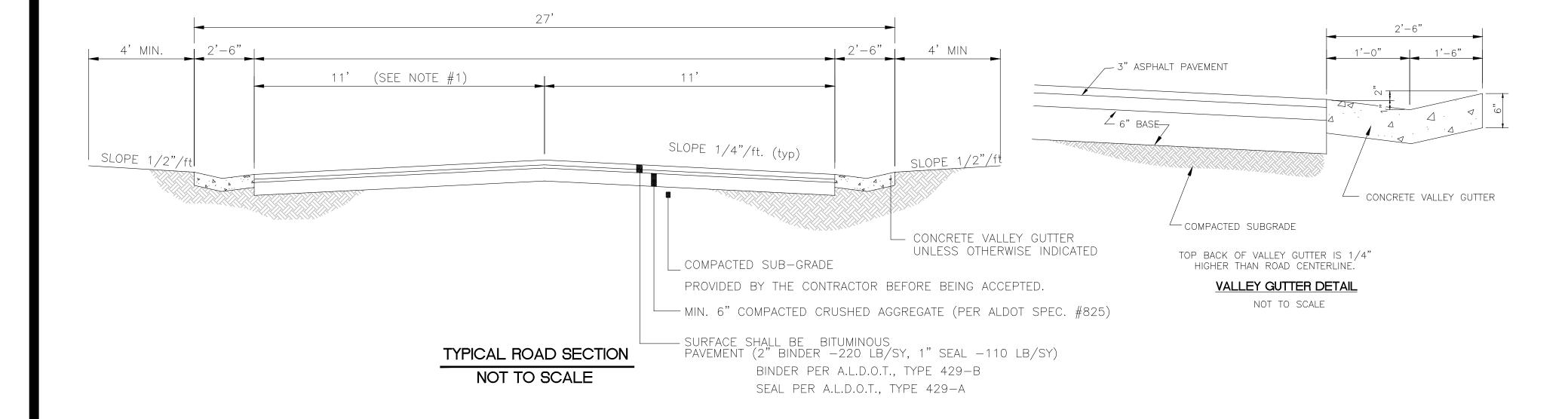


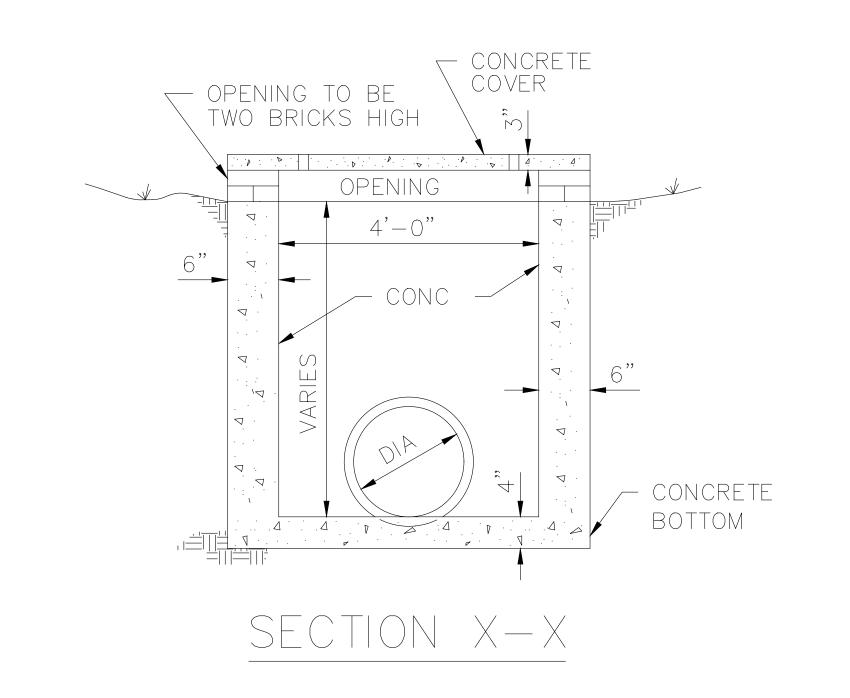
CONCRETE THRUST BLOCKING AT BENDS — USE AT ALL BENDS NOT TO SCALE

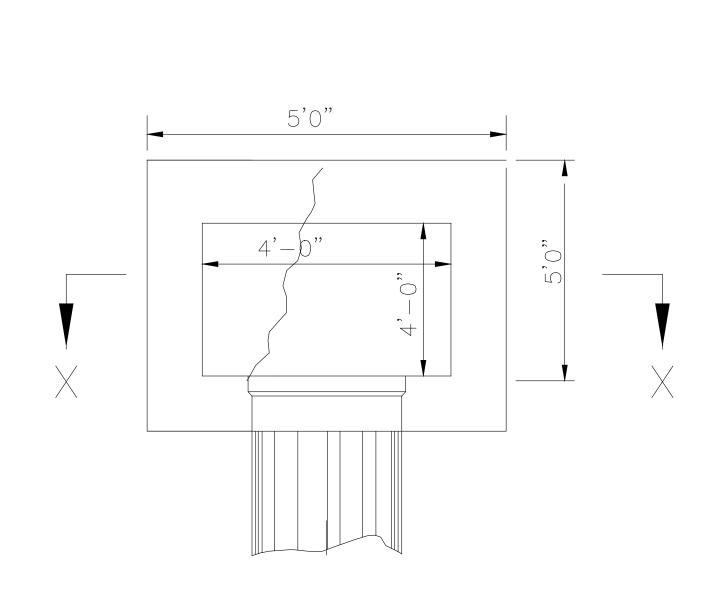




DETAIL FOR SETTING WATER METERS

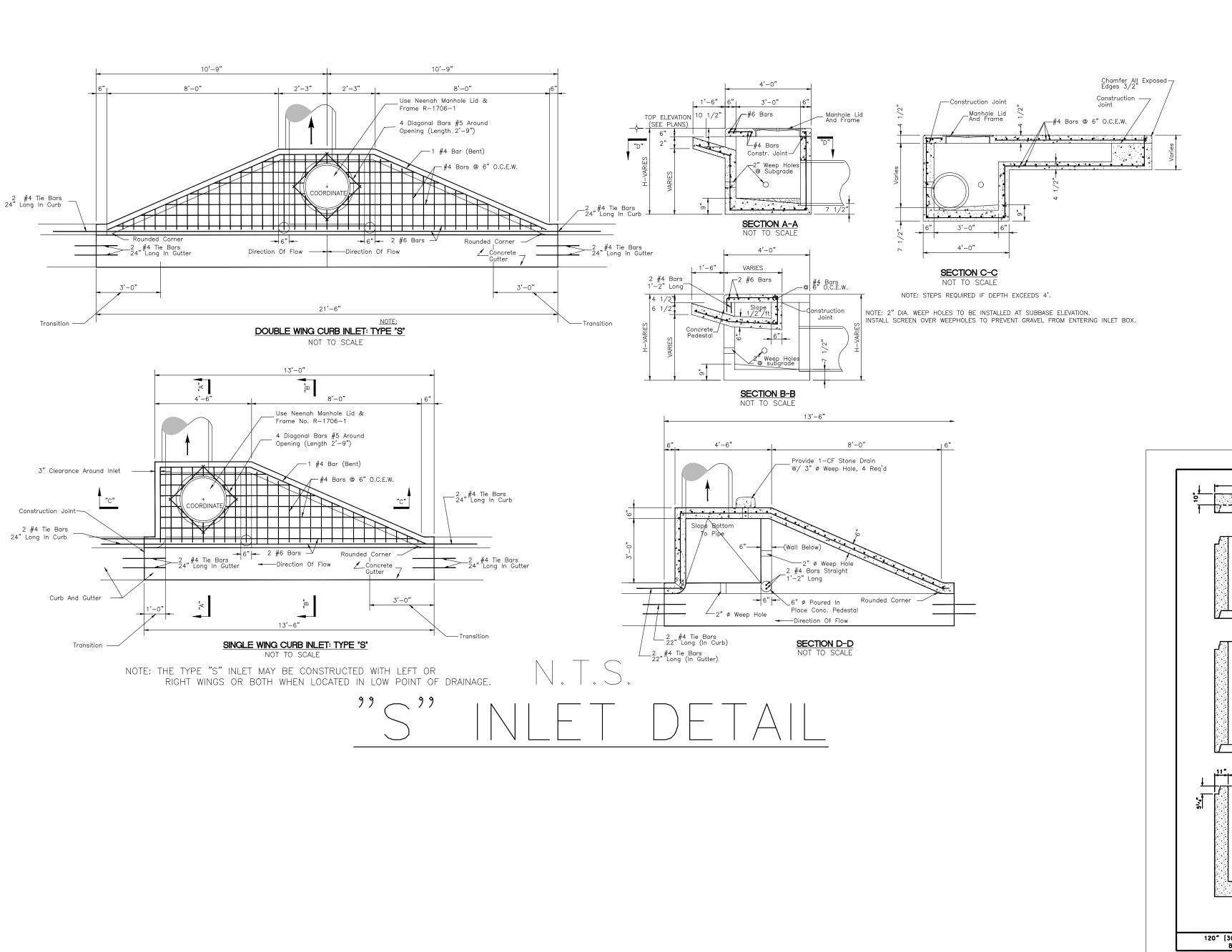






PLAN YARD INLET

PRECAST OR CAST IN PLACE



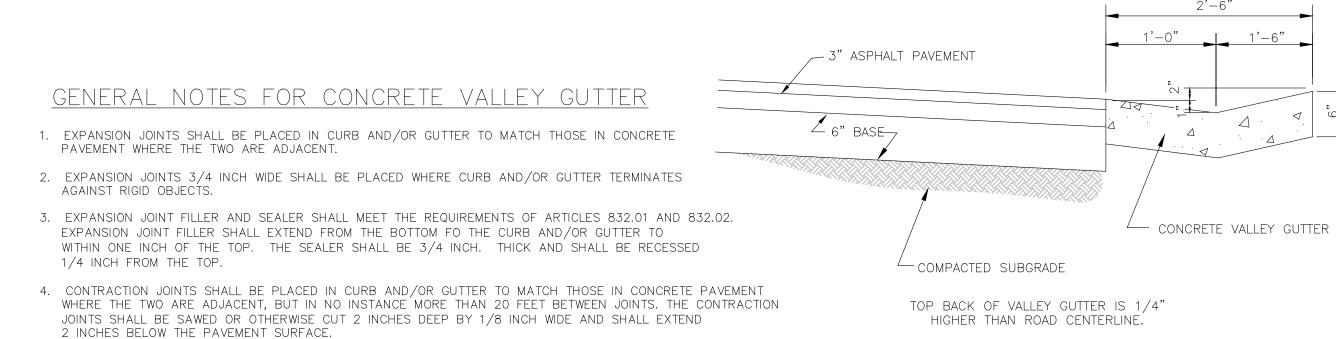
6x6 W2.9xW2.9 W.W.F.

SEE PLAN FOR PIPE SIZE

CONCRETE SLOPED PAVED HEADWALL DETAIL

N.T.S.

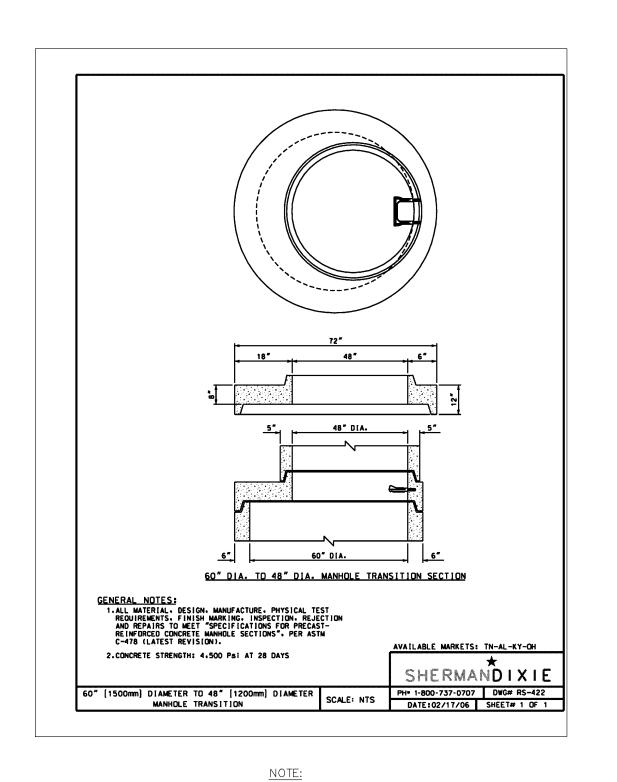
FLOW LINE



RISER

GENERAL NOTES:

1.1. ALL MATERIAL, DESIGN. MANUFACTURE, MANUFAC



VALLEY GUTTER DETAIL

NOT TO SCALE

STORM MANHOLE

N.T.S.

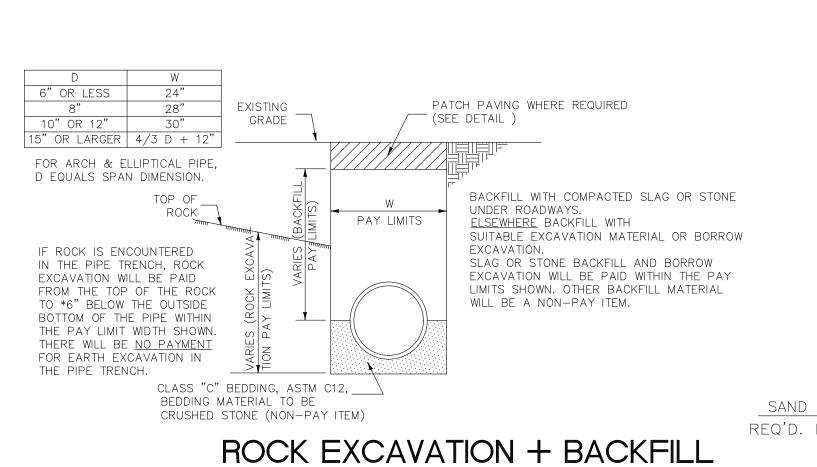
USE SHERMAN DIXIE OR

UNLESS IN ESTABLISHED YARD, CONTRACTOR TO

APPROVED EQUAL.

5. CONTRACTOR MAY BE PERMITTED TO EXCEED MIN. CURB HEIGHT IN ORDER TO PLACE CURB ON BASE LAYER,

PRE CAST REINFORCED CONCRETE MANHOLES COMPLYING WITH ASTM SPEC. C-478-64T MUST BE USED. RISER SECTIONS OF PRECAST MANHOLES SHALL HAVE AN INSIDE DIAMETER OF 48".



HEAP BACKFILL OVER TRENCH WIDTH TO ALLOW FOR SETTLEMENT. IF IN ESTABLISHED YARD, BACKFILL TO MATCH EXISTING ELEVATION. VARIES TOP 12" SELECTED -PAVEMENT SURFACE FINE SOIL 6" CRUSHED STONE BASE SEE CHART AT LEFT SUITABLE BACKFILL, POWER STONE BACKFILL (POWER TAMPED) REQUIRED UNDER PAVED PAVED TAMPED AND PLACED IN STREETS AND IN LOCATIONS SHOWN 12" LAYERS PRIOR TO COM-ON THE PLANS OR AS REQUIRED BY PACTION. THE SPECIFICATIONS. BACKFILL TO BE PLACED IN 12" LAYERS PRIOR TO COMPACTION. REQ'D. IN ROCK -SAND CUSHION (NOT UNDER PAVEMENT) (UNDER PAVEMENT)

MITIR
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2500 Southlake Park, Suite
Hoover, Al. 35244

MILLER THOMPSON *TAYLOR RAWSON

K HAMPTON

SITUATED IN NORTH 1/2 OF

JOB NO:
FILE NAME:

DATE:
August 15th, 2019

OATE: August 15th, 2019 ORAWN: AM III CHECKED:

SHEET:

SOIL AT ANY ONE TIME. DO NOT GRADE UNTIL READY TO BUILD IMPROVEMENTS IN THAT AREA.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SITE SAFETY. 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.

NO WORK IS TO BEGIN UNTIL COPIES OF ALL REQUIRED PERMITS IS FURNISHED TO THE OWNER.

5. THE CONTRACTOR IS TO INSTALL ALL EROSION CONTROL DEVICES BEFORE ANY CONSTRUCTION BEGINS.

SUCH DEVICES SHALL BE INSPECTED AFTER EVERY 0.75" RAINFALL AND BE REPAIRED AND MAINTAINED DAILY UNTIL ALL CONSTRUCTION IS COMPLETED.

6. ALL DISTURBED GROUND LEFT INACTIVE FOR 13 OR MORE DAYS SHALL BE STABILIZED BY SEEDING, OR

SODDING PER AL. DOT STANDARDS AND SPECIFICATIONS. 7. ANY SEDIMENT REACHING THE ROADWAY SHALL BE REMOVED BY STREET CLEANINGSHOVELING,MECHANICAL OR MANUAL SWEEPING,& AND NOT BY FLUSHING BEFORE THE END OF EACH DAY.

8. ALL DISTURBED SHALL BE SODDED OR SEEDED & MULCHED AS PER AL. D.O.T. STANDARDS AND SPECIFICATIONS OR

9. ALL SEEDING AND MULCH WILL BE PER AL DOT STANDARDS AND SPECIFICATIONS.

10. Site will have 9.5 disturbed acres

11. There are no allowable non-stormwater discharges from this site except dust control.

12. Once site is stablized and grassed, NPDES permit properly terminated BMP to be removed. 13. Care is to be taken fueling equipment, properly clean up spills, properly dispose of contaminated soils

in appropriate environmental landfill. Contractor shall keep on hand sufficent oil and grease absorbing materials to contain and cleanup

fuel spills or leaks. No additional BMP required. Spill kit to contain at minimum: 2 x 48" socks, 10 x soak up pads. 2 x disposal bag and ties. Instruction manual.

14. Respread using best methods any silt/ sediment buildup captured behind BMP and repread and compact on site.

Remove any silt/sediment entering storm sewers inlets and pipes, respread and compact on site. Remove silt/sediment when at 50% of BMP, monitor BMPs for this weekly.

Remove any silt/sediment that recheaches offsite, bring back to site, respread and compact. 15. This BMP plan may be updated as required by changes to contruction, ADEM, weather

patterns or new technologies as directed by the engineer, local, state or federal officials.

16. No turbidity testing required

17. No wetlands or riparian zones on the site.

18. Stormwater Discharge point for entire site is along southern property line.

19. Trash, construction waste, debris, garbage, etc shall be disposited in waste containers and properly disposed of once a week.

20. There are no allowable sources of non storm water discharges except Dust control, vehicle washdown and fire water.

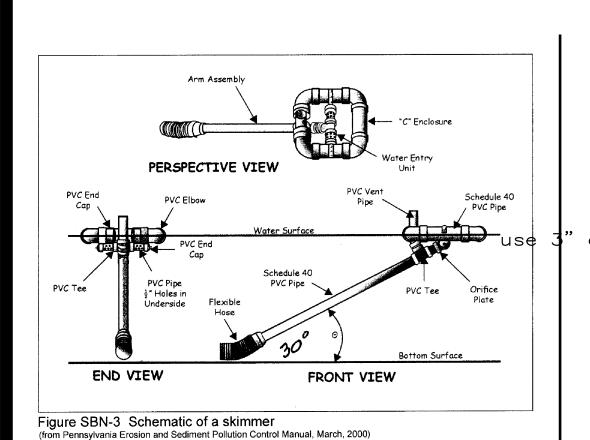
9.5 Disturbed Acres this phase

23. Latitude = 33°33"06" N, Longitude = 86°31'49" W = Front Gate

SIC Code = 1542 CBPPP prepared by Joseph A. Miller, III, PE/LS 17054

26. Contact CBMPP Information at right.
27. NO VEHICLE WASHOUT AREA OR VEHICLE WASHING WITH SOAP THIS SITE.
28. NO UNIQUE FEATURES TO BE PROTECTED THIS SITE.
29. No additional applicable Federal, State programs this site.
30. All records will be kept at Engineer's officer and Contractor's office for 3 years and will be available on request by ADEM.
31. Corrective action log will be kept on site and undated by Engineer.

31. Corrective action log will be kept on site and updated by Engineer.



44,371 None 4.5 29,645 23,427 4.0 17,941 13,186

2.0

1.5

1.0

9,144

5,852

3,292

1,463

Orifice | Outflow Rate

6- inch skimmer (H = 0.417 ft)

9.5 Acres \times 3600 cf / acre / 3 days = 11,400 cf / day

Summary:	Temporary Sediment Trap
Emergency Spillway:	Trapezoidal spillway with non-erosive lining.
	10 – year, 24 – hour rainfall event
Recommended Maximum	10 acres
Drainage Area:	
Minimum Volume:	3,600 cubic feet per acre of drainage area
Minimum L/W Ratio:	2:1
Minimum Depth:	2 feet
Dewatering Mechanism:	Skimmer(s) or other approved basin dewatering
	device.
Dewatering Time:	2 – 5 days
Baffles Required:	3

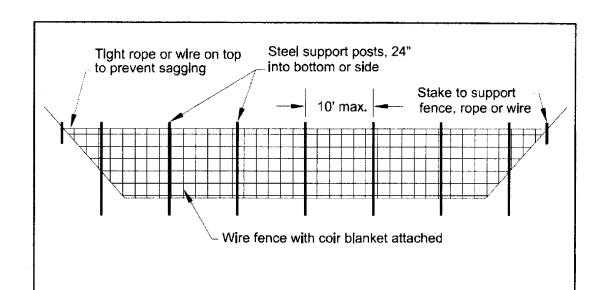


Figure SBN-2 Cross-section of a porous baffle in a sediment basin Note there is no weir because the water flows through the baffle material (from North Carolina Erosion and Sediment Control Planning and Design Manual.)

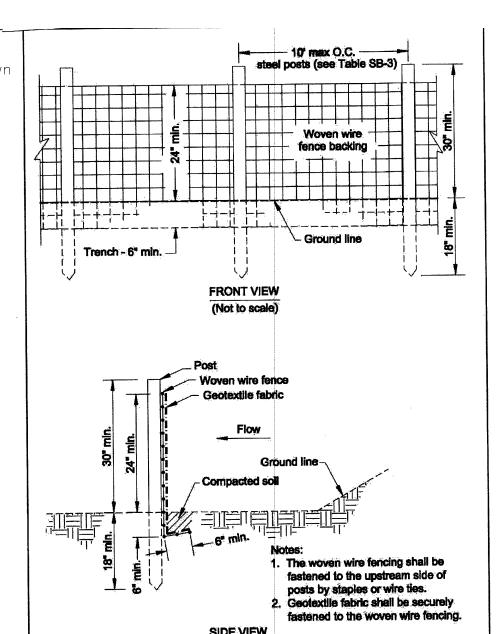


Figure SB-1 Silt Fence-Type A (1) For fabric material requirements see Table SB-1

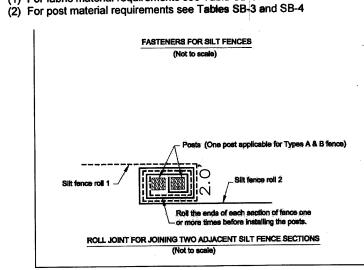
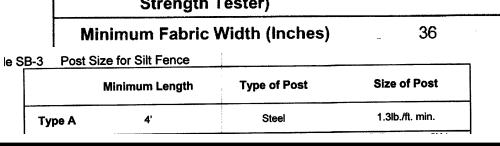
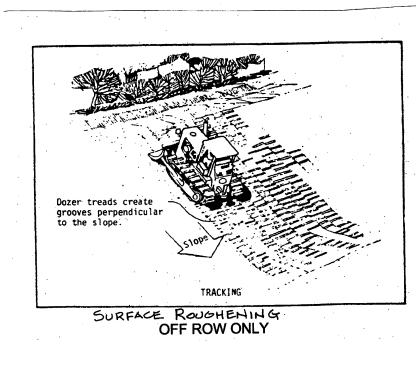


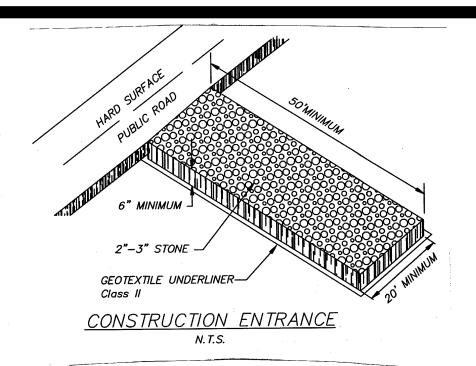
Figure SB-4 Silt Fence Installation Detail

Table SB-1 Specifications for Silt Fence

Specifications	Type A
Tensile Strength (Lbs. Min. ¹ ASTM D-4632)	Warp – 260 Fill – 100
Elongation (% Max.) (ASTM D-4632)	40
AOS (Apparent Opening Size) (Max. Sieve Size) (ASTM D-4751)	no.30
Flow Rate (Gal/Min/Sq. Ft.) (GDT-87)	70
Ultraviolet Stability ² (ASTM D-4632 after 300 hours weathering in accordance with ASTM D-4355)	80
Bursting Strength (PSI Min.) (ASTM D-3786 Diaphragm Bursting Strength Tester)	175
Minimum Fabric Width (Inches)	36







10 LBS PER ACRE

Material Use 7	Rate Per Acre and (Per 1000 ft. ²)	Notes
Straw with	1 ½-2 tons (70 lbs-90 lbs)	Spread by hand or machine to attain 75% groundcover; anchor when subject to blowing

652.2 SEED AND CONSTRUCTION SEQUENCE

COMMON BERMUDA MARCH 15 - JULY 15

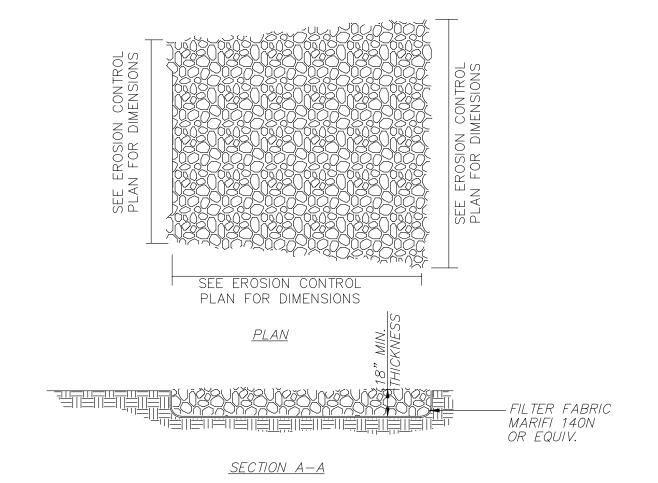
TEMPORARY SEEDING RATES

DROP INLET PROTECTION 1

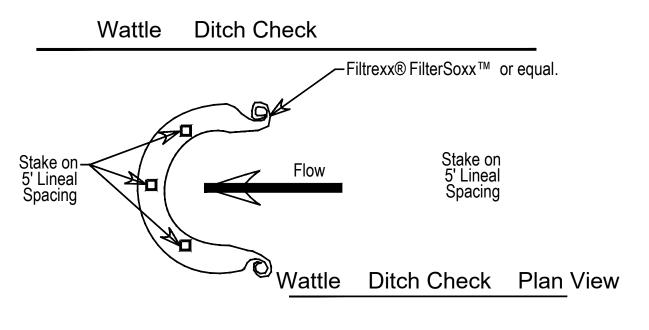
NO SCALE 15

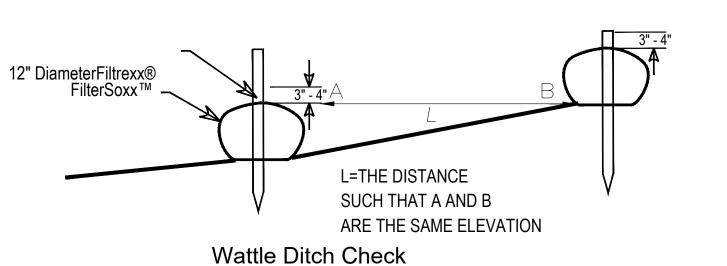
NOTES: COST OF WOOD STAKES OR EQUAL SHALL BE INCLUDED IN COST OF WATTLES.

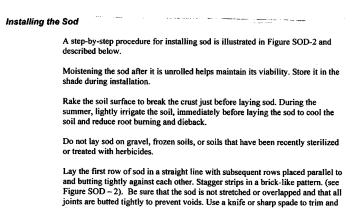
BERMUDA APRIL 1 - JULY 1 USE 10 LBS PER ACRE FESCUE, TALL USE 40 - 50 LBS PER ACRE SEPT 1 - NOV 1 SERCEA MARCH 15 - JULY 15 40 - 50 LBS PER ACRE



THE STONES SHALL BE RESISTANT TO WATER EROSION. UNLESS OTHERWISE SPECIFIED, ALL STONES USED AS RIP-RAP SHALL WEIGH BETWEEN 50-150 POUNDS EACH, AND AT LEAST 60 PERCENT OF THE STONES SHALL WEIGH MORE THAN 100 POUNDS EACH.



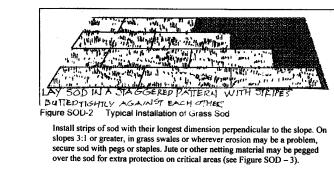


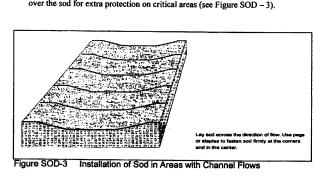


REFERENCE FISCAL SHEET PROJECT NO. YEAR NO.

--SPECIFICATIONS-CURRENT ALABAMA DEPARTMENT OF TRANSPORTATION

SPECIAL PROJECT DETAIL





As sodding of clearly defined areas is completed, use a weighted roller on the sod After rolling, irrigate until the soil is wet at least 6" below the sod. Keep sodden areas moist to a depth of 4" until the grass takes root. This can be determined by gently tugging on the sod. Resistance indicates that rooting has Mowing should not be attempted until the sod is firmly rooted, usually in 2 to 3

Temporar	y Methods
Mulches	
	Mulch offers a fast, effective means of controlling dust when properly applied. See Mulching practice for guidelines for planning and installing the practice.
Temporary	Vegetative Cover
	For disturbed areas where no activity is anticipated for 14 days or longer, temporary seeding can effectively control dust. Establish vegetative cover according to Temporary Seeding practice guidelines.
Calcium Cl	nloride
	Calcium chloride may be applied by mechanical spreader as loose, dry granules

or flakes at a rate that keeps the surface moist but not so high as to cause water pollution or plant damage. Sites may need to be retreated because the product

Sprinkling is especially effective for dust control on haul roads and other traffic routes. Sprinkle the site until the surface is wet. Repeat as needed. Also bare areas may be kept wet with irrigation to control dust as an emergency treatme

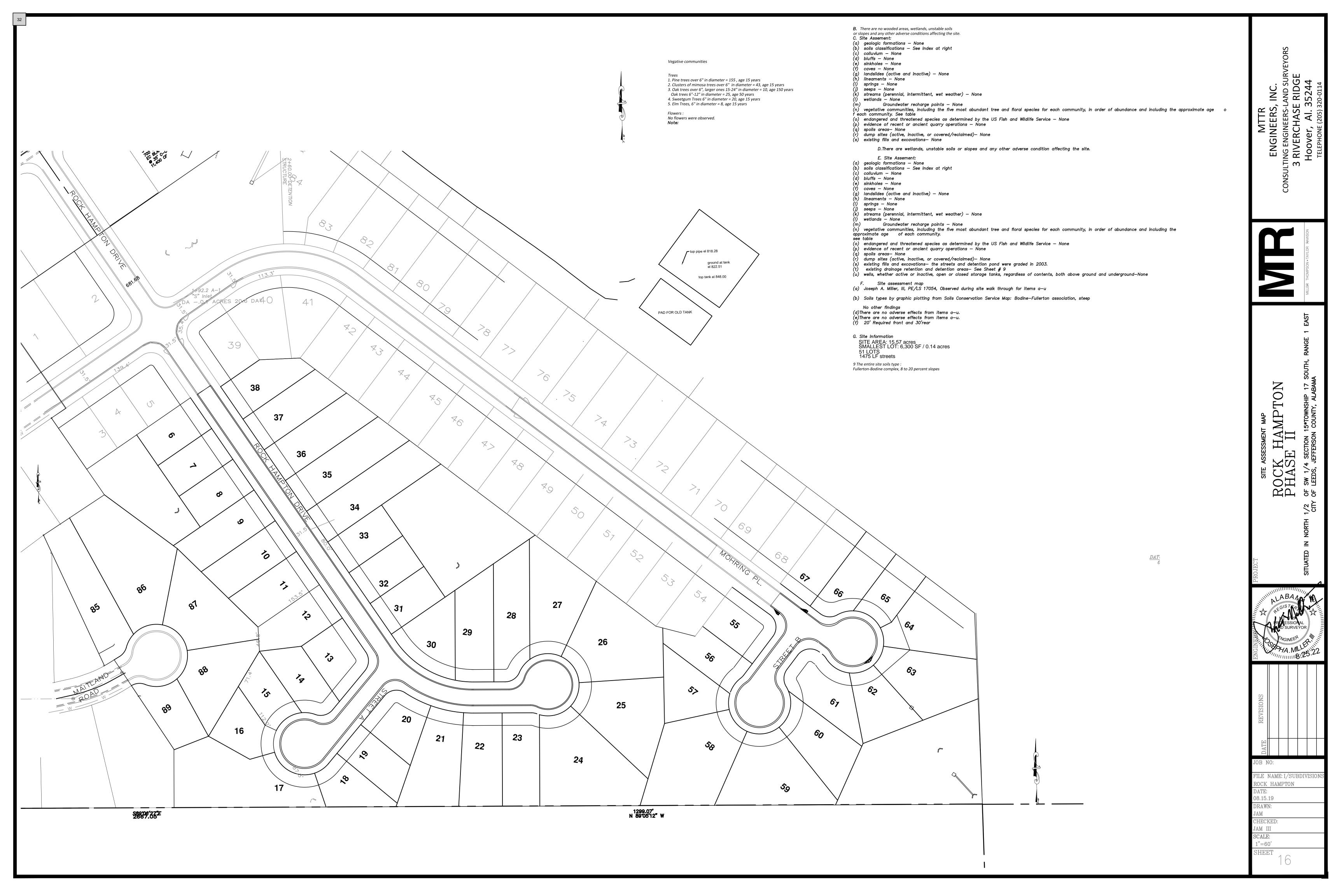
Tillage is used to roughen the site and bring clods and moist soil to the surface. This is a temporary emergency measure that can be used on large open disturbed areas as soon as soil blowing starts. Begin tilling on the windward edge of the site. The depth of tillage is determined by the depth to moist soil and the amount of moist soil desired at the surface. In sandy soils, the depth to moist soil may make tillage imprecial

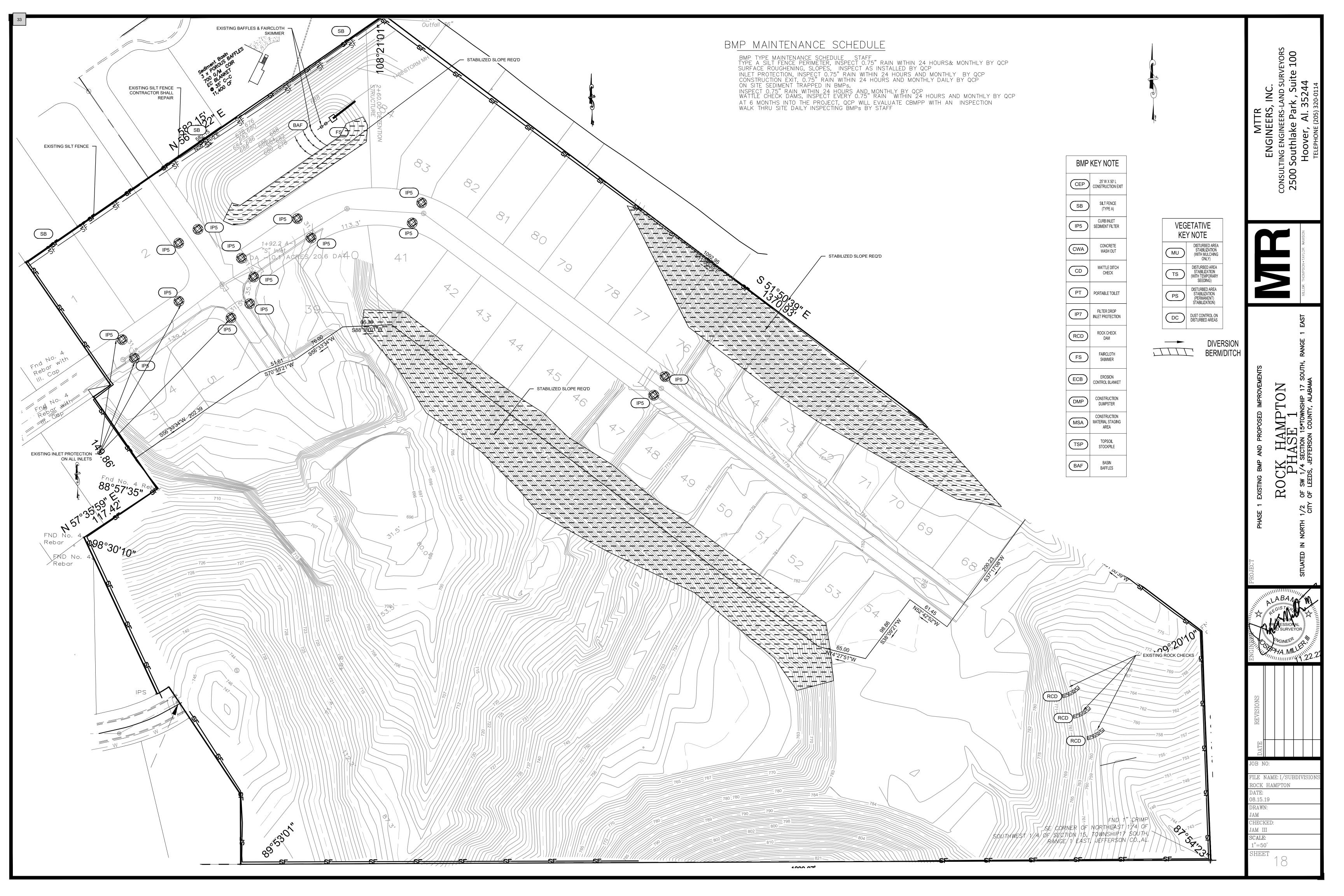
> A board fence, wind fence, sediment fence, hay bales, or similar barriers can control air currents and blowing soil. Place barriers perpendicular to prevailing

outhlake Hoover,

ILE NAME: August 15th, 2019 RAWN:

HECKED:





EROSION AND SEDIMENT

CONTROL NOTES THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT ALL PUBLIC AND PRIVATE PROPERTY FROM DAMAGE CAUSED BY INSTALLATION OF CONTROLS OR GRADING OPERATIONS AND TO REDUCE STORM WATER POLLUTION TO THE MAXIMUM PRACTICABLE. NO

LAND-DISTURBING ACTIVITIES SHALL BE UNDERTAKEN

EXCEPT IN ACCORDANCE WITH THE FOLLOWING:

- CONTRACTOR SHALL FOLLOW THE PROJECT PHASING SHOWN ON THE PLANS. THE CONTRACTOR SHALL INSURE THAT THE MINIMUM AREA IS STRIPPED OF ITS NATURAL COVER AND FOR A MINIMUM AMOUNT OF TIME AS PRACTICAL THROUGH OUT THE GRADING PHASES.
- CONTRACTOR SHALL KEEP A COPY OF THE APPROVED LAND DISTURBANCE PERMIT AND ALL OTHER REQUIRED DOCUMENTS REQUIRED BY ADEM AND LOCAL OFFICIALS.
- CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES THROUGHOUT CONSTRUCTION. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY, BUT SHALL BE REPLACED AT THE END OF THE WORK DAY OR SOONER IF UNFAVORABLE WEATHER IS EXPECTED.
- ANY SLOPE OR FILL WHICH HAS BEEN GRADED SHALL, WITHIN THIRTEEN (13) DAYS OF THE COMPLETION OF SUCH GRADING OR THE COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, MATERIALS, DEVICES OR STRUCTURES SUFFICIENT TO PREVENT EROSION. THE BMPS SHALL REMAIN IN PLACE IN ACCORDANCE WITH THE BMP PLAN UNTIL THE GRADED SLOPE OR FILL IS STABILIZED. PERMANENT VEGETATION SHALL BE INSTALLED AS SOON AS POSSIBLE AFTER THE AREA IS AT FINIAL GRADE.
- THE CONSTRUCTION BEST MANAGEMENT PRACTICE PLAN (CBMPP) IS COMPRISED OF THESE DRAWINGS, STANDARD DETAILS, THE PERMIT AND ALL SUBSEQUENT REPORTS AND
- RELATED DOCUMENTS. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF ALABAMA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES
- PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE
- OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL, AND STORMWATER MANAGEMENT, WHICHEVER IS MORE STRINGENT. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS
- DIRECTED BY PERMITTING AGENCY OR OWNER. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, & AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE COLLECTED IN WATERTIGHT CONTAINERS AND COLLECTED MATERIAL TO BE DISPOSED OF IN AN APPROVED LANDFILL WHEN THE CONTAINER REACHES 75% OF ITS CAPACITY. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON-SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS. DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST CONTROL IS NOT ALLOWED.
- 10. ALL EROSION CONTROL MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE, BUT PRIOR TO THE COMMENCEMENT OF EARTH MOVING
- 11. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY 13. CONTRACTORS OR SUBCONTRACTORS WILL BE
- RESPONSIBLE FOR REMOVING SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM WATER DRAINAGE OUTLET IN CONJUNCTION WITH STABILIZATION OF THE SITE. 14. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS
- SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- 15. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- 16. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
- ADDITIONAL PROTECTION: ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT FROM LEAVING THE PROJECT CONFINES DUE TO UNFORESEEN CONDITIONS, ACCIDENT OR HOW WORK IS
- 18. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD AND PARKING CONSTRUCTION.
- 19. USE OF DETERGENTS FOR LARGE SCALE WASHING IS PROHIBITED. CHEMICALS, PAINT, SOLVENTS, FERTILIZERS AND OTHER TOXIC MATERIAL MUST BE STORED IN WATERPROOF CONTAINERS, EXCEPT DURING APPLICATION. THE CONTENT MUST BE KEPT IN TRUCKS OR WITHIN STORAGE FACILITIES. RUNOFF CONTAINING SUCH MATERIAL MUST BE COLLECTED, REMOVED FROM THE SITE OR TREATED AND DISPOSED AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY.
- 20. NO BELOW GROUND STORAGE WILL BE ALLOWED. CONTRACTOR SHALL PROVIDE EMERGENCY CONTAINMENT FOR ANY HAZARDOUS MATERIAL STORED ONSITE. THIS CONTAINMENT SHALL BE EARTHEN BERMS OR EQUIVALENT. THE CONTAINMENT SHALL COMPLY WITH SPILL PREVENTION CONTROL AND COUNTER MEASURES (SPCC) REGULATIONS FOR PAINT, OIL, GREASE, OTHER PETROLEUM PRODUCTS, OR ANY OTHER MATERIALS.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE
- 22. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, FLUMES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
- 23. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EROSION AND SEDIMENT CONTROL DEVICES ON-SITE DURING CONSTRUCTION IN ACCORDANCE WITH THE ABOVE, AS A MINIMUM STANDARD, AND SHALL REMOVE ANY SILT BEYOND THE PROPERTY RESULTING FROM CONSTRUCTION. ONCE THE SITE IS STABILIZED AND ACCEPTED, CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL DEVICES.

INSPECTIONS AND SYSTEM MAINTENANCE

- DAILY OBSERVATIONS: EACH DAY THERE IS ACTIVITY ON THE SITE, THE PERMITTEE OR HIS DESIGNATED SITE PERSONNEL SHALL VISUALLY OBSERVE THAT PORTION OF THE CONSTRUCTION PROJECT WHERE DISTURBANCE, WORK OR CONSTRUCTION OCCURRED TO NOTE ANY RAINFALL MEASUREMENTS SINCE THE PREVIOUS OBSERVATION AND ANY APPARENT BMP DEFICIENCIES IN THE AREA. ALL SUCH DAILY OBSERVATIONS SHALL BE PERFORMED BY THE DESIGNATED SITE PERSONNEL AND SHALL BE MAINTAINED IN A LOG TO REMAIN ON-SITE.
- SITE INSPECTIONS: A SITE INSPECTION SHALL CONSIST OF A COMPLETE AND COMPREHENSIVE OBSERVATION OF THE ENTIRE CONSTRUCTION SITE INCLUDING ALL AREAS OF LAND DISTURBANCE, STAGING AREAS EXPOSED TO STORMWATER, AFFECTED DITCHES AND OTHER STORMWATER CONVEYANCES, AS WELL AS ALL OUTFALLS AND RECEIVING WATERS TO ENSURE THAT: (1) EFFECTIVE EROSION CONTROLS AND SEDIMENT CONTROLS HAVE BEEN FULLY IMPLEMENTED AND MAINTAINED IN ACCORDANCE WITH THE PERMIT, THE SITE CBMPP AND THE ALABAMA HANDBOOK, (2) POLLUTANT DISCHARGES HAVE BEEN PREVENTED/MINIMIZED TO THE MAXIMUM EXTENT POSSIBLE, AND (3) DISCHARGES DO NOT RESULT IN A CONTRAVENTION OF APPLICABLE STATE WATER QUALITY STANDARDS FOR THE RECEIVING WATERS.
- SITE INSPECTIONS SHALL BE PERFORMED BY A QCI, QCP OR A QUALIFIED PERSON UNDER THE DIRECT SUPERVISION OF A QCP.
- 1. SITE INSPECTIONS SHALL BE PERFORMED ONCE EACH MONTH AND AFTER A QUALIFYING PRECIPITATION EVENT (0.75" OR GREATER IN A 24-HOUR PERIOD), COMMENCING AS PROMPTLY AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER RESUMING OR CONTINUING ACTIVE CONSTRUCTION AND COMPLETED NO LATER THAN 72 HOURS FOLLOWING A QUALIFYING PRECIPITATION EVENT (0.75" OR GREATER IN A 24-HOUR
- 2. SITE INSPECTIONS SHALL BE PERFORMED AS OFTEN AS NECESSARY UNTIL ANY POORLY FUNCTIONING EROSION CONTROLS OR SEDIMENT CONTROLS, NON-COMPLIANT DISCHARGES OR ANY OTHER DEFICIENCIES OBSERVED DURING A PRIOR INSPECTION ARE CORRECTED AND DOCUMENTED AS BEING IN COMPLIANCE WITH THE REQUIREMENTS OF THE PERMIT.
- 3. SITE INSPECTION FINDINGS SHALL BE RECORDED ON ADEM FORM 23, "ADEM NPDES CONSTRUCTION STORMWATER INSPECTION REPORT AND BMP CERTIFICATION." COPIES OF THE INSPECTION REPORT SHALL BE SENT TO THE SITE SUPERVISOR. THE QCI/QCP SHALL ALSO KEEP COPIES OF THE INSPECTION REPORTS FOR HIS RECORDS TO SUBMIT TO ADEM AT THE NPDES PERMIT REQUIRED INTERVALS SEE APPENDIX D FOR SAMPLE OF ADEM FORM 23).
- CBMPP EVALUATIONS: THE QCP SHALL PERFORM AN ON-SITE EVALUATION OF ALL EROSIONS AND SEDIMENT CONTROLS BEING IMPLEMENTED FOR ADEQUACY AND CONSISTENCY WITH SITE CONDITIONS. THE CBMPP EVALUATION SHALL BE PERFORMED AS OFTEN AS NECESSARY UNTIL POORLY FUNCTIONING OR DAMAGED EROSION CONTROLS AND SEDIMENT CONTROLS ARE CORRECTED, AND, AT A MINIMUM, ONCE EVERY SIX MONTHS. IF, BASED ON THE CBMPP EVALUATION, THE QCP IDENTIFIES ANY NEEDED MODIFICATIONS OR ADDITIONS TO EROSION AND SEDIMENT CONTROLS, THE CBMPP SHALL BE UPDATED IN ACCORDANCE WITH PART III.D.4 OF THE PERMIT. THE PERMITTEE SHALL MAINTAIN APPROPRIATE DOCUMENTATION OF THE CBMPP EVALUATION.
- CORRECTIVE ACTION:
- 1. ANY POORLY FUNCTIONING EROSION CONTROLS OR SEDIMENT CONTROLS, NON-COMPLIANT DISCHARGES, OR ANY OTHER DEFICIENCIES OBSERVED DURING THE INSPECTIONS REQUIRED BY THE PERMITEE SHALL BE CORRECTED AS SOON AS POSSIBLE, BUT NOT TO EXCEED FIVE (5) DAYS OF THE
- INSPECTION UNLESS PREVENTED BY UNSAFE WEATHER CONDITIONS. 2. IN THE EVENT OF A BREACH OF A SEDIMENT BASIN/POND TEMPORARY CONTAINMENT MEASURES SHALL BE TAKEN WITHIN 24 HOURS AFTER THE INSPECTION. PERMANENT CORRECTIVE MEASURES SHALL BE IMPLEMENTED WITHIN FIVE (5) DAYS OF THE INSPECTION; HOWEVER, IF PERMANENT CORRECTIVE
- MEASURES CAN NOT BE IMPLEMENTED WITHIN THE TIMEFRAMES STATED THEN THE PERMITTEE SHALL CONTACT ADEM. 3. THE OPERATOR SHALL PROMPTLY TAKE ALL REASONABLE STEPS TO REMOVE, TO THE MAXIMUM EXTENT PRACTICAL, POLLUTANTS DEPOSITED OFF-SITE OR IN ANY WATER BODY OR STORMWATER CONVEYANCE
- STRUCTURE. SUSPENSION OF MONITORING: SUSPENSION OF APPLICABLE MONITORING AND INSPECTION REQUIREMENTS MAY BE GRANTED PROVIDED: (1) ADEM IS NOTIFIED IN WRITING AT LEAST 30 DAYS PRIOR TO THE REQUESTED SUSPENSION. (2) THE PERMITTEE AND THE QCP CERTIFY IN THE REQUEST THAT ALL DISTURBANCE HAS BEEN GRADED, STABILIZED, AND/OR FULLY VEGETATED OR OTHERWISE PERMANENTLY
- COVERED AND THAT THE APPROPRIATE AND EFFECTIVE STEPS HAVE BEEN AND WILL BE TAKEN BY THE PERMITTEE TO ENSURE COMPLIANCE WITH THE REQUIREMENTS OF THE PERMIT AND COMMIT THAT THESE MEASURES WILL REMAIN CONTINUALLY EFFECTIVE UNTIL THE PERMIT IS PROPERLY TERMINATED, AND (3) THE PERMITTEE NOTIFIES ADEM PRIOR TO THE RESUMPTION OF DISTURBANCE OR COMMENCEMENT OF THE NEXT PHASE OF DEVELOPMENT AND THE PERMITTEE COMPLIES WITH THE REQUIREMENTS OF THE PERMIT PRIOR TO COMMENCEMENT OF ADDITIONAL DISTURBANCE.
- PRECIPITATION MEASUREMENT: THE PERMITTEE SHALL MEASURE AND RECORD ALL PRECIPITATION OCCURRING AT THE CONSTRUCTION SITE. PRECIPITATION MEASUREMENTS SHALL BE TAKEN USING DAILY READINGS OF AN ON-SITE RAIN GAUGE OR OTHER MEASUREMENT DEVICE ACCEPTABLE TO ADEM.

APPROXIMATE CONSTRUCTION SCHEDULE MONTH 1 MONTH 2 MONTH 3 MONTH 4-12 SILT FENCE AND CONSTRUCTION EXIT INSTALL REMAINING SEDIMENT AND EROSION CONTROL DEVICIES

BUILDING CONSTRUCTION • TEMPORARY GRASSING PERMANENT GRASSING CONTROL MEASURES FINAL LANDSCAPING

. CONTRACTOR SHALL UPDATE THE TABLE BY DATING APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.

2. THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR

PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

SPILL PREVENTION
PRACTICES SUCH AS GOOD HOUSEKEEPING, PROPER HANDLING OF HAZARDOUS PRODUCTS AND PROPER SPILL CONTROL PRACTICES WILL BE FOLLOWED TO REDUCE THE RISK OF SPILL AND SPILLS FROM DISCHARGING INTO STORMWATER RUNOFF.

QUANTITIES OF PRODUCTS STORED ONSITE WILL BE LIMITED TO AMOUNT NEED FOR THE JOB.

PRODUCTS AND MATERIALS WILL BE STORED IN A NEAT, ORDERLY MANNER IN APPROPRIATE CONTAINERS PROTECTED FROM RAINFALL, WHERE POSSIBLE. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH MANUFACTURER LABELS LEGIBLE AND VISIBLE.

PRODUCT MIXING, DISPOSAL AND DISPOSAL OF PRODUCT CONTAINERS WILL BE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. SITE MATERIAL/EQUIPMENT, STORAGE/LAYDOWN YARDS SHALL BE FIELD LOCATED AS REQUIRED BY CONTRACTOR, TO CONSIST OF A MINIMUM 4" STONE BED AND BE LOCATED AS TO MINIMIZE THE POSSIBILITY OF STORMWATER COMING INTO CONTACT WITH CHEMICALS OR PETROLEUM PRODUCTS.

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE CBMPP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

THE CONTRACTOR WILL IMPLEMENT THE SITE SPILL PREVENTION, CONTROL AND COUNTERMEASURES (SPCC) PLAN AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORMWATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORMWATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER. IT. SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.

MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE

ALL SANITARY WASTE UNITS WILL BE LOCATED ON LEVEL GROUND IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORM WATER DISCHARGE IS REDUCED TO THE MAXIMUM PRACTICAL EXTENT. ADDITIONAL CONTAINMENT BMP'S MUST BE IMPLEMENTED, SUCH AS GRAVEL BAGS OR SPECIALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORM WATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE CBMPP PHASE II PLAN BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

SANITARY SEWER WILL BE PROVIDED BY MUNICIPAL AUTHORITY SYSTEM AT THE COMPLETION OF THIS PROJECT.

A STABILIZED CONSTRUCTION EXIT HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENT. SEE EROSION CONTROL DETAIL SHEET(S) FOR CONSTRUCTION EXIT LOCATION AND DETAILS. THE PAVED STREET ADJACENT TO THE SITE EXIT WILL BE INSPECTED DAILY FOR TRACKING OF MUD, DIRT OR ROCK. ANY TRACKED MATERIAL SHALL BE REMOVED BY STREET SWEEPING AND PROPERLY DISPOSED OF BY PRACTICAL MEANS OTHER THAN WASHING INTO STORM DRAINS OR DRAINAGE WAYS. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

INVENTORY FOR POLLUTION PREVENTION PLAN
THE FOLLOWING MATERIALS ARE EXPECTED ONSITE DURING CONSTRUCTION: CONCRETE PRODUCTS, ASPHALT, PETROLEUM BASED FUELS AND LUBRICANTS FOR EQUIPMENT, TAR, METAL BUILDING MATERIALS, LUMBER, SHEET ROCK, FLOOR COVERINGS, ELECTRICAL WIRE AND FIXTURES, PAINTS/STAINS/FINISHING TREATMENTS, PAINTS, POINT SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CLEANING SOLVENTS, PESTICIDES, FERTILIZERS, HERBICIDES, CRUSHED STONE, PLASTIC AND METAL PIPES.

LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL 2. MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO: BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND,

SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS. 3. SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.

4. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS.

FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER). THE NATIONAL RESPONSE CENTER (NCR) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675.

6. FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NCR) WILL BE CONTACTED WITH 24 HOURS AT 1-800-426-2675. SEE PROJECT SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN (SPCCP) FOR REPORTING REQUIREMENTS.

PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS AND TARS WILL BE OBSERVED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY OBSERVATIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATERS, NATURAL DRAINS AND STORM WATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER, SPILL PREVENTION CONTAINMENT, & COUNTERMEASURES PLAN, TO PREVENT SITE CONTAMINATION. DISCHARGE OF OILS, FUELS AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS.

PAINTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

CONCRETE TRUCKS WASHING - NO CONCRETE TRUCK WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONSITE UNLESS AN APPROVED METHOD OF CONTAINMENT IS USED.

FERTILIZER - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURE'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE "ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS", LATEST EDITION, ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ONSITE. ALL SUCH BUILDING MATERIALS WILL BE DISPOSED OF IN A PROPER WASTE DISPOSAL PROCEDURES.

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET OIL SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE PER WEEK OR MORE OFTEN IF NECESSARY AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED.

ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOB SITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

ALL NON-STORM WATER DISCHARGES WILL BE ROUTED THROUGH ON SITE BMPS AND THE STORM WATER, DEWATERING OF WATER DISCHARGES INCLUDE FLUSHING OF WATER AND FIRE LINES, IRRIGATION WATER, GROUND WATER, DEWATERING OF PITS OR DEPRESSIONS WITHIN THE CONSTRUCTION SITE AND RINSE OFF WATER OF NON-TOXIC MATERIALS.

DUST CONTROL

EARTHMOVING ACTIVITIES - APPLICATION OF WATER BY MEANS OF TRUCKS AT SUFFICIENT FREQUENCY AND QUANTITY PRIOR TO CONDUCTING, DURING, AND AFTER EARTHMOVING OPERATIONS. CONTRACTOR SHALL DETERMINE ADEQUATE FREQUENCY BASED ON AREA

STORAGE PILES - APPLICATION OF WATER BY MEANS OF TRUCKS, HOSES, SPRINKLERS, ETC. AT A FREQUENCY TO PROVIDE A STABLE DUST-FREE SURFACE. CONTRACTOR SHALL DETERMINE ADEQUATE FREQUENCY BASED ON AREA CONDITIONS.

INACTIVE CONSTRUCTION AREAS - APPLICATION OF WATER BY MEANS OF TRUCKS, HOSES, SPRINKLERS, ETC. TO DEVELOP A SURFACE CRUST. CONTRACTOR SHALL DETERMINE ADEQUATE FREQUENCY BASED ON AREA CONDITIONS

CONCRETE WASTE MANAGEMENT PERTAINS TO WASTE FROM CONCRETE READY-MIX TRUCKS, MASONRY OPERATIONS, AND SIMILAR WASTE STATE AND/OR LOCAL REGULATIONS DO NOT PROHIBIT CONCRETE WASH OUT ONSITE

- DISCHARGE OF EXCESS OR WASTE CONCRETE AND/OR WASH WATER FROM CONCRETE TRUCKS IS ALLOWED AT THE CONSTRUCTION SITE. ONLY COMMERCIALLY AVAILABLE ABOVE GROUND PORTABLE CONCRETE WASHOUT CONTAINERS ARE ALLOWED AND MUST BE PROTECTED FROM VEHICLE TRAFFIC AND CLEARLY IDENTIFIED BY LEGIBLE SIGNAGE, AND MUST BE LOCATED OUTSIDE OF VEGETATED BUFFERS AND AS FAR AS PRACTICABLE FROM STORMWATER CONVEYANCES AND IMPOUNDMENTS AND WATER BODIES. PORTABLE CONCRETE WASHOUT CONTAINERS
- SHALL CONTAIN AND/OR ACTIVELY MANAGE BOTH, SOLID AND FLUID, COMPONENTS OF THE MIX. CONCRETE WASHOUT CONTAINERS MUST BE CLEANED OR EXCHANGED WHEN THE REMAINING VOLUME IS REDUCED BY 85% TO PREVENT ANY POTENTIAL OVERFLOW IN A STORM EVENT
- 4. ALTERNATIVELY, WASTE CONCRETE CAN BE PLACED INTO FORMS TO MAKE RIP RAP AND/OR OTHER USEFUL CONCRETE PRODUCTS. PORTABLE CONCRETE WASHOUT CONTAINERS SHALL BE DISPOSED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE GC IS RESPONSIBLE FOR ASSURING THAT THESE PROCEDURES, APPLICABLE LAWS, AND ENVIRONMENTAL REGULATIONS ARE FOLLOWED. THE LOCATION OF CONCRETE WASHOUT CONTAINERS SHALL BE SHOWN ON THE SITE MAPS.

SEED MIX WITH MULCHING AND FERTILIZER RATES: SEE DETAIL SHEET C3D

- CONSIDERATION MUST BE GIVEN TO ANTICIPATED CLIMATE AND SEASONAL CONDITIONS WHEN PLANTING SEED 2. SEED SHALL BE FREE OF WEEDY SPECIES AND APPROPRIATE FOR SITE SOILS AND REGIONAL CLIMATE. SEED AND MULCH PER THE CONSTRUCTION DRAWINGS AND THE 02900 PLANTING SPECIFICATION IMMEDIATELY AFTER TOPSOIL
- IS APPLIED AND FINAL GRADE IS REACHED. 3. THE SITE HAS ACHIEVED FINAL STABILIZATION ONCE ALL AREAS ARE COVERED WITH BUILDING FOUNDATION OR PAVEMENT, OTHER LANDSCAPING COVER (STONE, MULCH, ETC.), OR HAVE A STAND OF GRASS WITH A MINIMUM OF 85
- PERCENT DENSITY OVER THE ENTIRE VEGETATED AREA, OR GREATER IN ACCORDANCE WITH THE GENERAL PERMIT REQUIREMENTS. VEGETATED AREAS MUST BE WATERED. FERTILIZED. AND RESEED AS NEEDED TO ACHIEVE THIS REQUIREMENT
- THE VEGETATIVE DENSITY MUST BE MAINTAINED THROUGH PROJECT COMPLETION TO BE CONSIDERED STABILIZED. AREAS PROTECTED BY EROSION CONTROL BLANKETS ARE NOT PERMANENTLY STABILIZED UNTIL THE APPLICABLE GENERAL PERMIT REQUIREMENT FOR FINAL VEGETATIVE DENSITY IS ACHIEVED.
- RIP-RAP, MULCH, GRAVEL, DECOMPOSED GRANITE OR OTHER EQUIVALENT PERMANENT STABILIZATION MEASURES MAY BE EMPLOYED IN LIEU OF VEGETATION BASED ON SITE-SPECIFIC CONDITIONS, DESIGN AND GOVERNING 7. ALL VEGETATED AREAS SHALL BE INSPECTED REGULARLY TO CONFIRM THAT A HEALTHY STAND OF GRASS IS MAINTAINED.

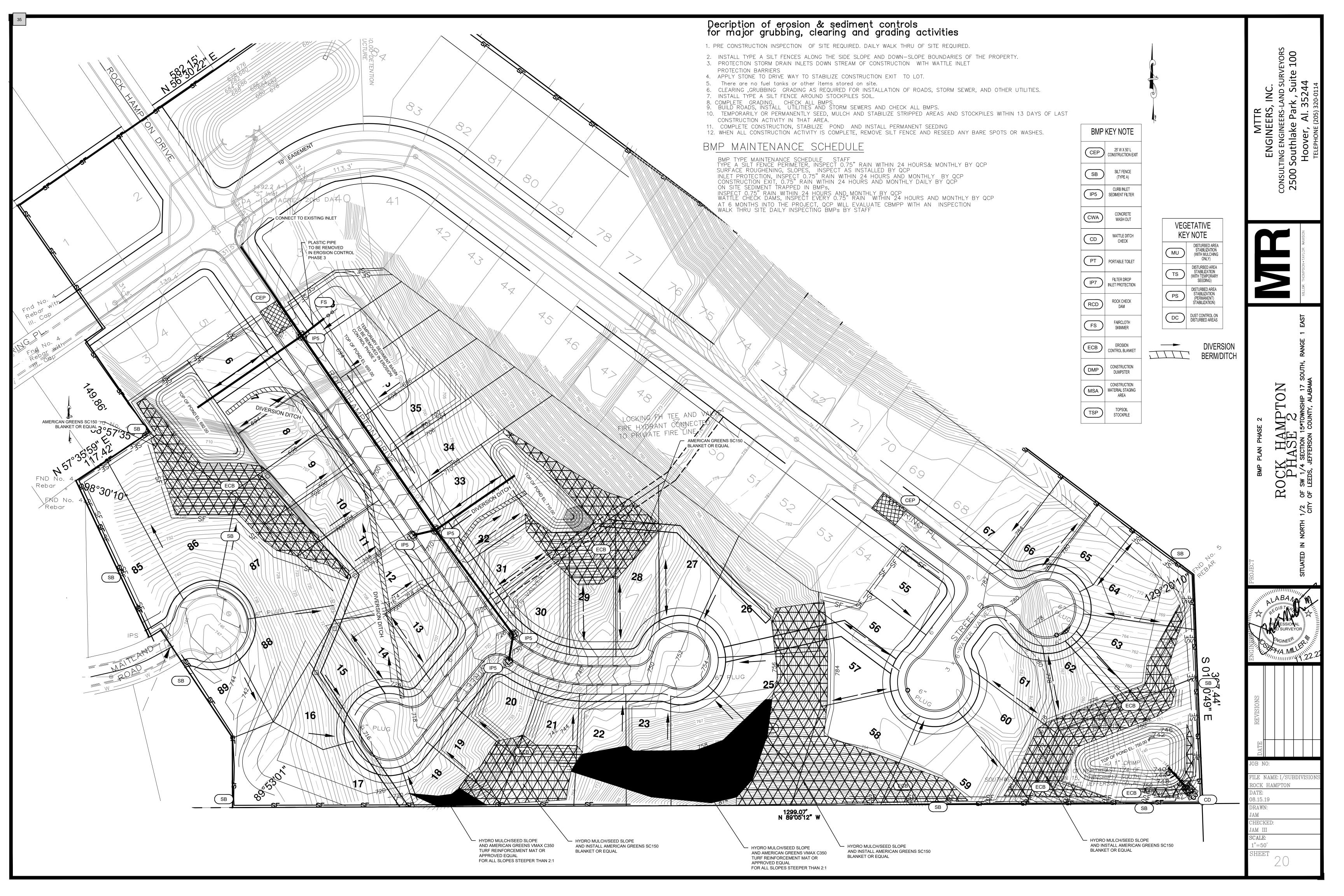
- THE GC IS REQUIRED TO, AT A MINIMUM, INITIATE SOIL STABILIZATION MEASURES IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY
- PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT LIKELY RESUME FOR A PERIOD EXCEEDING 13 CALENDAR DAYS. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC
- ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL NON-VEGETATED MEASURES, IF UTILIZED. ALL DISTURBED AREAS MUST BE STABILIZED TEMPORARILY WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAIN VARIETIES APPROPRIATE FOR SITE SOIL AND CLIMATE CONDITIONS. MULCH IS REQUIRED FOR ALL SEEDING
- APPLICATIONS, AND ALL MULCH APPLICATIONS MUST INCLUDE A SUITABLE FORM OF MULCH ANCHORING TO MINIMIZE MOVEMENT OF MULCH BY WIND OR WATER ALTERNATIVE STABILIZATION MEASURES TO SEEDING, SUCH AS ANCHORED MULCH APPLICATION (WITHOUT SEEDING), MAY BE UTILIZED DURING PERIODS WHEN VEGETATIVE GROWTH IS UNLIKELY (E.G. WINTER MONTHS).
- IT IS NOT ACCEPTABLE TO ALLOW BARE SOIL TO REMAIN EXPOSED AT ANY TIME DURING THE YEAR, REGARDLESS OF WEATHER/TEMPERATURE/SITE CONDITIONS ALTERNATIVE STABILIZATION MEASURES INCLUDE, BUT ARE NOT LIMITED TO: ANCHORED STRAW/HAY MULCH, WOOD CELLULOSE FIBER MULCH, SPRAY-ON SOIL GLUES/BINDERS, AND ROLLED EROSION CONTROL PRODUCTS. ALL
- ROLLED EROSION CONTROL PRODUCTS SHALL HAVE CURRENT QDOR(TM) STATUS ISSUED BY THE EROSION CONTROL TECHNOLOGY COUNCIL (ECTC) PLUS ANY STATE OR AGENCY-SPECIFIC REQUIREMENTS. EVIDENCE OF QDOR(TM) APPROVAL SHALL ACCOMPANY THE PRODUCT SHIPPED TO THE JOBSITE FOR READY IDENTIFICATION BY THE CONTRACTOR OR AGENCY INSPECTOR
- ROLLED EROSION CONTROL PRODUCTS (NETS, BLANKETS, TURF REINFORCED MATES) AND VEGETATED AREAS NOT MEETING REQUIRED VEGETATIVE DENSITIES FOR FINAL STABILIZATION MUST BE INSPECTED DAILY. RILING, RUTTING AND OTHER SIGNS OF EROSION INDICATE THE SPECIFIED EROSION CONTROL DEVICE IS NOT FUNCTIONING OR INSTALLED PROPERLY AND/OR ADDITIONAL EROSION CONTROL DEVICES ARE WARRANTED.

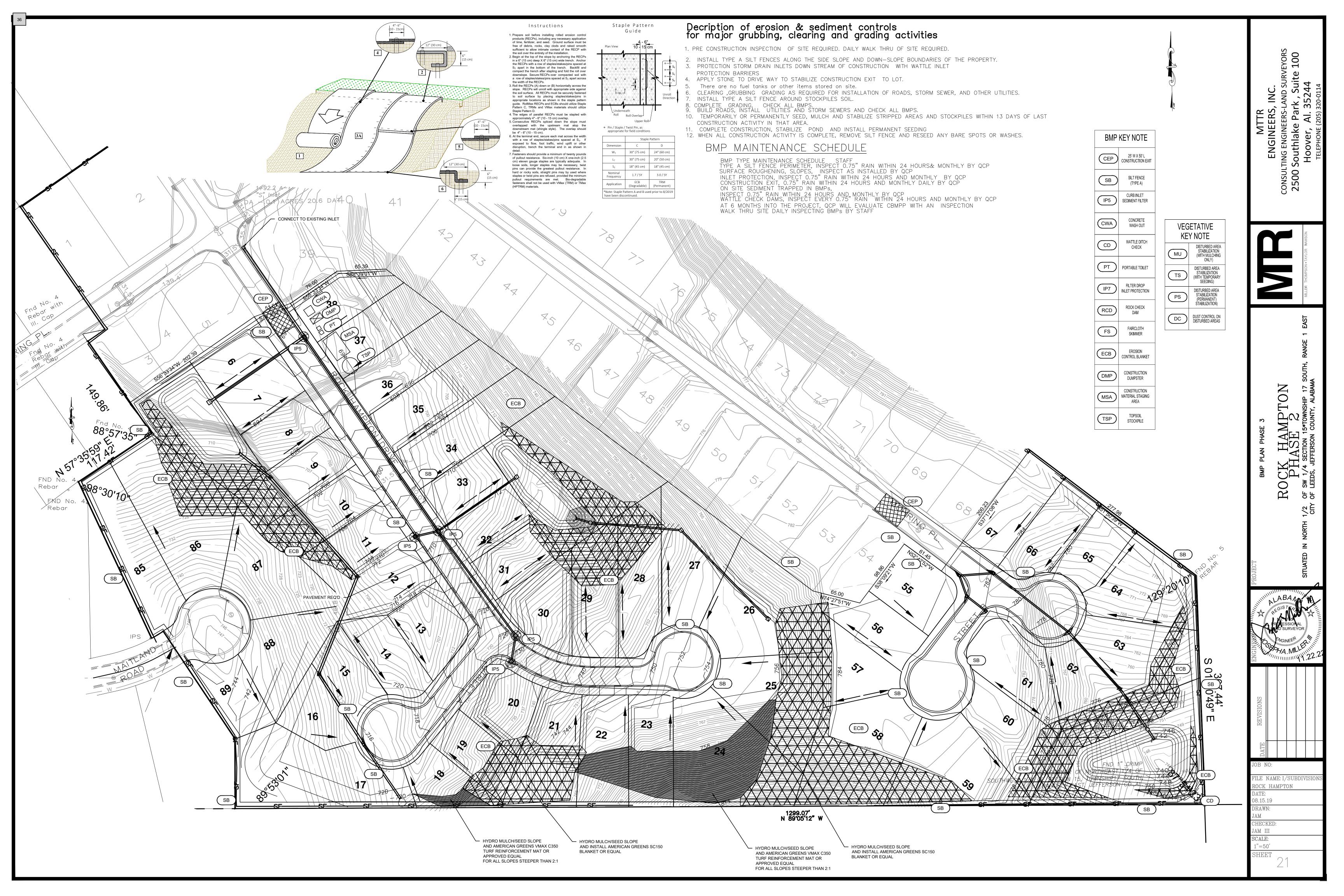
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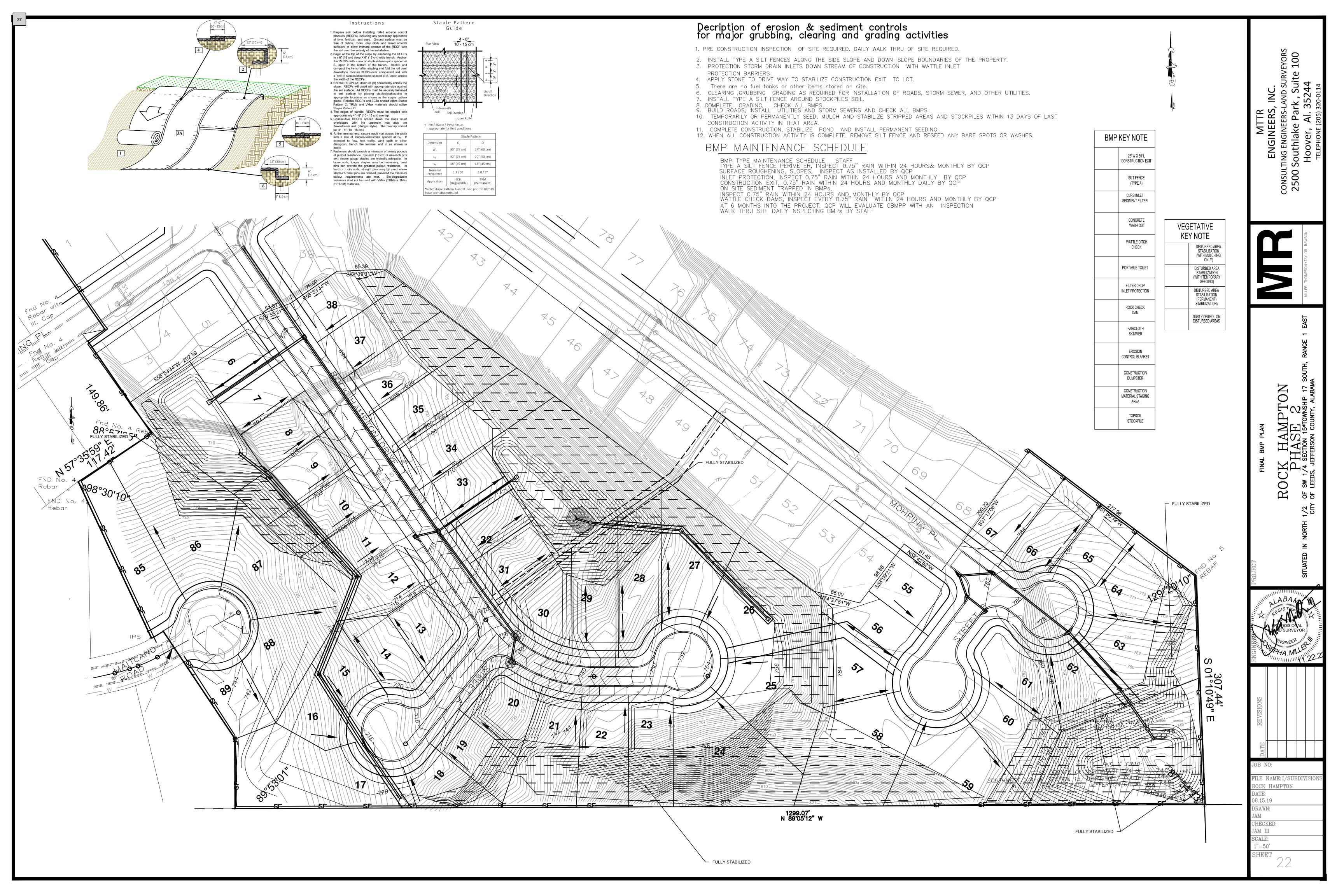
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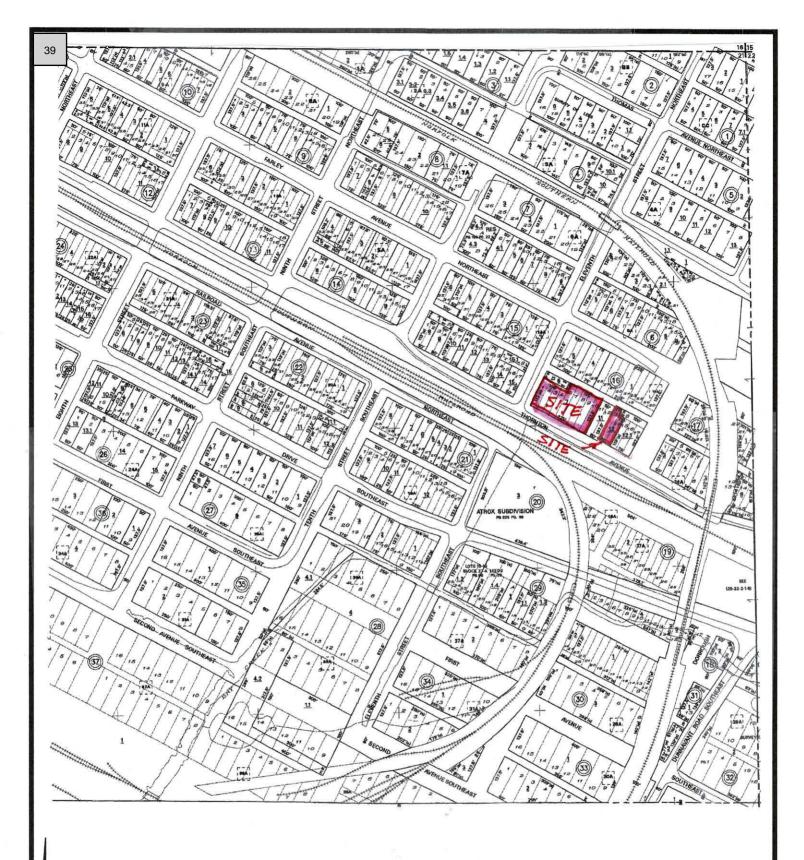






File Attachments for Item:

4. SA22-000023 - A request by Christal Grammer, Applicant, Sheridan South LLC,/ John R. Frawley, Jr., Owner, to resurvey Lots 1-4. 6-10, 13 & 14 of Block 15A of the Survey of Leeds, into two (2) lots located at 8412 Thornton Ave, 35094, TPID(s) 2500211016007000 & 2500211016012000, Zoned I-1, Light Industrial, Jefferson County.



RESURVEY OF LOTS 1-4, 6-10, 13 AND 14

OF BLOCK 15-A OF THE SURVEY OF LEEDS
BEING A RESURVEY OF LOTS 1-4, 6-10 AND 13 AND 14
OF BLOCK 15-A OF THE SURVEY OF LEEDS
AS RECORDED IN MAP BOOK 10 PAGE 21, JEFF CO AL
SITUATED IN THE NE 1/4 OF SECTION 21 TOWNSHIP 17 SOUTH,
RANGE 1 EAST, CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA
1.22.22

VICINITY MAP
PREPARED BY
JOSEPH A. MILLER, III
PE/LS 17054
MTTR ENGINEERS, INC.
3 Riverchase Ridge
Hoover, Al. 35244
TELEPHONE (205) 320-01

RESURVEY OF LOTS 1-4, 6-10, 13 AND 14 OF BLOCK 15-A OF THE SURVEY OF LEEDS

BEING A RESURVEY OF LOTS 1-4, 6-10 AND 13 AND 14 OF BLOCK 15-A OF THE SURVEY OF LEEDS AS RECORDED IN MAP BOOK 10 PAGE 21, JEFF CO AL SITUATED IN THE NE 1 4 OF SECTION 21 TOWNSHIP 17 SOUTH, RANGE 1 EAST, CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA

> THE PURPOSE OF THIS RESURVEY IS TO COMBINE LOTS 1-4 AND LOTS 6-10 INTO ONE LOT AND TO COMBINE LOTS 13 AND 14 INTO ONE LOT.

> > GRAPHIC SCALE 1 inch = 30 ft.

STATE OF ALABAMA JEFFERSON COUNTY

THE UNDERSIGNED, JOSEPH A. MILLER III, SURVEYOR, AND JOHN R. FRAWLEY, JR. FOR SHERIDAN SOUTH, LLC, , OWNER HEREBY CERTIFY THAT THIS PLAT OR MAP WAS MADE PURSANT TO A SURVEY MADE BY SAID SURVEYOR AND THIS PLAT OR MAP WAS MADE AT THE INSISTANCE OF SAID OWNER, THAT THIS PLAT OR MAP IS A TRUE AND CORRECT MAP OF LANDS SHOWN THEREIN AND AND KNOWN OR TO BE KNOWN AS RESURVEY OF LOTS 1-4, 6-10, 13 AND 14 OF BLOCK 15-A OF THE SURVEY OF LEEDS, SHOWING THE SUBDIVISIONS INTO WHICH IT PROPOSED TO DIVIDE SAID LANDS, GIVING THE LENGTH AND BEARINGS OF EACH LOT AND ITS NUMBER, SHOWING STREES, ALLEYS, AND PULIC GROUNDS, GIVING THE BEARINGS, LENGTH, AND WIDTH AND NAME OF EACH STREET. AND SHOWING THE RELATION OF THE LANDS TO THE SURVEY OF LEEDS AS RECORDED IN MAP BOOK 10, PAGE 21 IN THE JUDGE OF PROBATE OFFICE OF JEFFERSON COUNTY, ALABAMA, SITUATED IN THE NORTHEAST 1\4 OF SECTION 21, TOWNSHIP 17 SOUTH, RANGE 1 EAST, JEFFERSON COUNTY, ALABAMA, AND THAT IRON PINS HAVE BEEN LOCATED OR INSTALLED AT ALL LOT CORNERS AND CURVE POINTS AS SHOWN AND DESIGNATED BY SMALL OPEN CIRCLES ON SAID PLAT OR MAP. NO STREET DEDICATIONS BY THIS MAP, THEREFOR THE USUAL STREET DEDICATION IS OMITTED.

Joseph A. Miller, III, PE/PLS AL Reg. No. 17054 MTTR ENGINEERS, INC. CONSULTING ENGINEERS-LAND SURVEYORS 3 RIVERCHASE RIDGE HOOVER, ALABAMA 35244

JOHN R. FRAWLEY, JR. FOR SHERIDAN SOUTH, LLC

State of Alabama) Jefferson County)

_____, as Notary Public in and for said County and State, do hereby certify that Joseph A. Miller, III, whose name is signed to the foregoing certificate, and who is known to me, acknowledged before me on this date, that after having been duly informed of the contents of said certificate, he executed same

voluntarily as such authorized representative and with authority thereof

DATE

My commission expires: ______

State of Alabama) Jefferson County)

I, ______, as Notary Public in and for said County and State, do hereby certify that JOHN R. FRAWLEY, JR., whose name is signed to the foregoing certificate as an authorized representative for SHERIDAN SOUTH, LLC and who is known to me, acknowledged before me on this date, that after having been duly informed of the contents of said certificate, he executed same voluntarily as such authorized representative and with authority thereof.

Given under my hand and seal this ____ day of _____, 2022.

My commission expires: ______

OWNER'S CERTIFICATE AND DEDICATION. I, JOHN R. FRAWLEY, JR., FOR SHERIDAN SOUTH, LLC, do hereby certify that we are the owners of and only person having any right, title or interest in the land shown on the plat of RESURVEY OF LOTS 1-4, 6-10, 13 AND 14OF BLOCK 15-A OF THE SURVEY OF LEEDS

, and that the plat represents a correct survey of the above described property made with our consent, and that we hereby dedicate to the public use all the streets as shown on said plat.

The easements as shown on the plat are created for the installation and maintenance of public utilities. We hereby guarantee a clear title to all lands so dedicated from ourselves and our heirs or assigns forever, and have caused the same to be released from all encumbrances so that the title is clear, except as shown in the abstractor's certificate.

RESTRICTIONS: NONE

Witness: _____ hand this ____ day of _____, 2022.

- 1. THE CITY OF LEEDS IS NOT RESPONSIBLE FOR DITCH OR PIPE MAINTENANCE OUTSIDE OF PUBLIC STREET RIGHT OF WAYS.
- ALL EASEMENTS OUTSIDE OF STREET ROW TO BE MAINTAINED BY HOME-OWNERS ASSOCIATION AND/OR THE INDIVIDUAL LOT OWNER. 2. SITE IS NOT IN A FLOOD HAZARD AREA PER FIRM MAP No. 01073C0441 H DATE: SEPTEMBER 24, 2021,
- 3. ALL ROAD ROWS ARE EXISTING CITY OF LEEDS PUBLIC STREETS, NO NEW ROW DEDICATED BY THIS MAP.
- 4. BASIS OF BEARINGS: ASSUMED
- 5. NO FENCES ALLOWED IN DRAINAGE EASEMENTS.
- 6. UNLESS SHOWN OTHERWISE, THESE LOTS HAVE A 10' UTILITY EASEMENT ACROSS THE FRONT LINE OF THE LOT.
- 7. ALL EASEMENTS SHOWN ON THIS MAP ARE FOR PUBLIC UTILITIES, SANITARY SEWERS, STORM SEWERS AND OPEN STORM DITCHES AND MAY BE USED FOR SUCH PURPOSES TO SERVE BOTH WITHIN AND WITHOUT THIS SUBDIVISION.
- 8. I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS

OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE. INFORMATION AND BELIEF.

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FILE NAME: I/AAAPLOTS\ LEEDS-LEEDS NOVEMBER 18, 2022

DRAWN: CHECKED:

JAM III SCALE: 1"=30'

SHEET