



# Town of Johnstown

## PLANNING & ZONING COMMISSION REGULAR MEETING

450 S. Parish, Johnstown, CO  
Wednesday, February 15, 2023 at 7:00 PM

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*MISSION STATEMENT: Enhancing the quality of life of our residents, businesses, and visitors through community focused leadership.*

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### AGENDA

#### CALL TO ORDER

#### ROLL CALL

#### APPROVAL OF AGENDA

**PUBLIC COMMENTS** - *Regarding items and issues not included as a Public Hearing on this Agenda (limited to 3 minutes each)*

#### NEW BUSINESS

- [1.](#) PUBLIC HEARING - Archdiocese Annexation Nos. 1 and 2 and Establishment of Zoning (H-A and PUD-MU)
- [2.](#) PUBLIC HEARING - Dove Solar Outline Development Plan (Archdiocese Annexation PUD Zone)
- [3.](#) PUBLIC HEARING - Dove Solar LLC - Solar Array Project for a Use by Special Review
- [4.](#) PUBLIC HEARING - Uncle Benny's Site Development Plan, on Marketplace Dr.

#### DEPARTMENTAL REPORT

#### COMMISSIONER REPORTS AND COMMENTS

#### ADJOURN

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### AMERICANS WITH DISABILITIES ACT NOTICE

In accordance with the Americans with Disabilities Act, and other applicable laws, persons who need accommodation in order to attend or participate in this meeting should contact Town Hall at (970) 587-4664 no later than 48 hours before the meeting in order to request such assistance.

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The Community That Cares

[johnstown.colorado.gov](http://johnstown.colorado.gov)

P: 970.587.4664 | 450 S. Parish Ave, Johnstown CO 80534 | F: 970.587.0141



# Town of Johnstown

## PLANNING & ZONING COMMISSION AGENDA MEMORANDUM

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<b>DESCRIPTION:</b>	<b>Archdiocese Annexation Nos. 1 and 2 &amp; Establishment of Zoning (HA-Holding Ag and PUD-MU)</b>
<b>PROJECT NO:</b>	ANX22-0003
<b>LOCATION:</b>	South of WCR 46.5 and the Little Thompson Reservoir, west of WCR 19
<b>APPLICANT:</b>	Archbishop of Denver
<b>STAFF:</b>	Kim Meyer, Planning & Development Director
<b>HEARING DATE:</b>	February 15, 2023

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### ATTACHMENTS

- 1- Vicinity Map
- 2- Annexation Map
- 3- Zoning Map
- 4- COGCC Map

### PROJECT SUMMARY

The Applicant requests Annexation for approximately 82.6 acres of land in Weld County, in two “serial” annexations of 41.06 acres and 41.53. Establishment of zoning is proposed in two parts, with the eastern portion of the property, proposed to support a solar facility with PUD-MU (Mixed Use) zoning; and the western portion proposed to remain in ag production, with an H-A (Holding Ag) zoning district.

An Outline Development Plan as well as an application for a Use by Special Review (USR) for a Solar Facility have also been received and reviewed for this property. These will also be heard concurrently by Planning & Zoning Commission and the Town Council.

### PROPERTY BACKGROUND

The property is located south of Weld County Rd (WCR) 46.5 and west of WCR 19 (Attachment 1). The subject property is presently zoned A - Agricultural in unincorporated Weld County and is being used as farm land. It is bordered to the north by the Hillsborough/Little Thompson Reservoir, to the west by incorporated areas of Johnstown, with the rest being adjacent to unincorporated Weld County and adjacent to the Milliken Growth Management Boundary. The right of way for County Road 46 to the north and east, that just touches this parcel, is already annexed into Milliken.

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## **SURROUNDING ZONING & LAND USE**

North: A – Agricultural (Weld County), Hillsborough/Little Thompson Reservoir  
 South: A – Agricultural (Weld County)  
 East: A – Agricultural (Weld County)  
 West: PUD (Johnstown) with Oil & Gas Well Pads

## **LAND USE HISTORY**

Historically, this property has been used for farming and continues as that use today.

## **OIL & GAS**

COGCC (Oil & Gas) online maps show existing abandoned and plugged and abandoned wells on-site, Attachment 4. These sites are also shown on the Annexation and Zoning maps, as well as an easement for a Kerr-McGee pipeline that bisects the property.

## **IRRIGATION DITCHES**

The Hillsborough/Little Thompson Reservoir, owned and managed by the Extension (Hillsborough) Ditch Company, is partially located on the northwest corner of this property. These are some emergent wetlands along the banks of that water body, identified by the Colorado Wetland Inventory as part of the Colorado Natural Heritage Program.

(<https://csurams.maps.arcgis.com/apps/webappviewer/index.html?id=a8e43760cb934a5084e89e46922580cc>)

## **FLOODPLAIN**

The subject property is not located in any floodplain area.

## **PUBLIC NOTICE & AGENCY REFERRALS**

Notice for the Planning & Zoning Commission hearing was published in the local paper of widest circulation, the Johnstown Breeze, on Thursday, January 26, 2023. This notice provided the date, time, and location of the Planning and Zoning Commission hearing, as well as a description of the project. Notices were mailed to all property owners within 500 feet of the property in question. This notice included a map of the project area. Full state-required annexation packets will be mailed to the county and all taxing districts in advance of the scheduled Council hearing on March 20, 2023.

This project was referred to the Johnstown Review Committee as well as Weld County, Milliken, the Weld RE-5J School District, Little Thompson Water, Xcel and TDS.

## **NEIGHBORHOOD MEETING**

No neighborhood meeting was held for this annexation and zoning.

## **PROJECT DESCRIPTION & ANALYSIS**

### **Annexation**

This 82.6-acre Annexation (Attachment 2) encompasses the full ownership of the Archdiocese in this immediate area, as well as extending across the full existing ROW for Weld CR 19. A dedication of additional ROW, to accommodate future arterial build-out along the parcel frontage, is included with the proposed annexation agreement that the Council will review concurrently with this Annexation request.

The annexation is being considered by the Town for the following reasons:

1. At least 1/6 of the area to be annexed for each individual annexation is contiguous to the Town of Johnstown boundary.

2. The property is located within the Town of Johnstown Growth Management Area.
3. The Town is capable of providing water, sewer, and police service to the property.
4. The Town is authorized to annex the area without an election under Section 30(b) of Article II of the Colorado Constitution.

A Resolution finding Substantial Conformance with C.R.S. requirements and setting the public hearing was approved by Town Council on February 6, 2023.

### **Zoning & Development Standards**

The current zoning for the property is Agricultural in unincorporated Weld County. There are no known existing conditional uses or uses by special review that apply to the property.

The applicant requests two separate zones – H-A- Holding Ag and PUD-MU – upon annexation. (Attachment 3) Zone H-A would permit the owner to continue using the property for agricultural uses. The PUD zoning has an associated Outline Development Plan being proposed, as well, that would permit a solar facility to be developed on the site. Additional future development will be required to create subdivision plats and development plans, to be reviewed and approved by the Town through public hearing processes. Detailed engineering and construction plans are part of that future technical review.

This area of the Johnstown Growth Management Area is indicated for Low or Very Low Intensity and Density types of development. The continuation of agricultural uses into the future, as well as the use of the area for very low intensity energy resource development are in alignment with this designation and intention. Staff has no outstanding concerns related to this Annexation and Establishment of Zoning.

### **RECOMMENDED PLANNING AND ZONING COMMISSION FINDINGS AND MOTIONS**

Staff recommends that the Planning and Zoning Commission send a recommendation for Approval to Town Council for the Annexation and Establishment of H-A and PUD-MU Zoning based upon the following findings:

1. The area is contiguous to the Town of Johnstown along at least 1/6 of its boundaries.
2. The property is located within the Town of Johnstown Growth Management Area.
3. The Town can adequately and efficiently provide utility and police services.
4. The property is eligible for annexation without election pursuant to the Colorado Constitution Article II, Section 30(b).

#### **Recommended Motion: Motion to Approve:**

Based on the application materials received, analysis and presentations at this hearing, and findings noted in this staff memorandum, I move that the Planning & Zoning Commission recommend Approval to the Town Council for the Archdiocese Annexation and Establishment of H-A and PUD-MU Zoning Districts for this property.

#### **Motion to Recommend Approval on Annexation, and modification of Zoning District:**

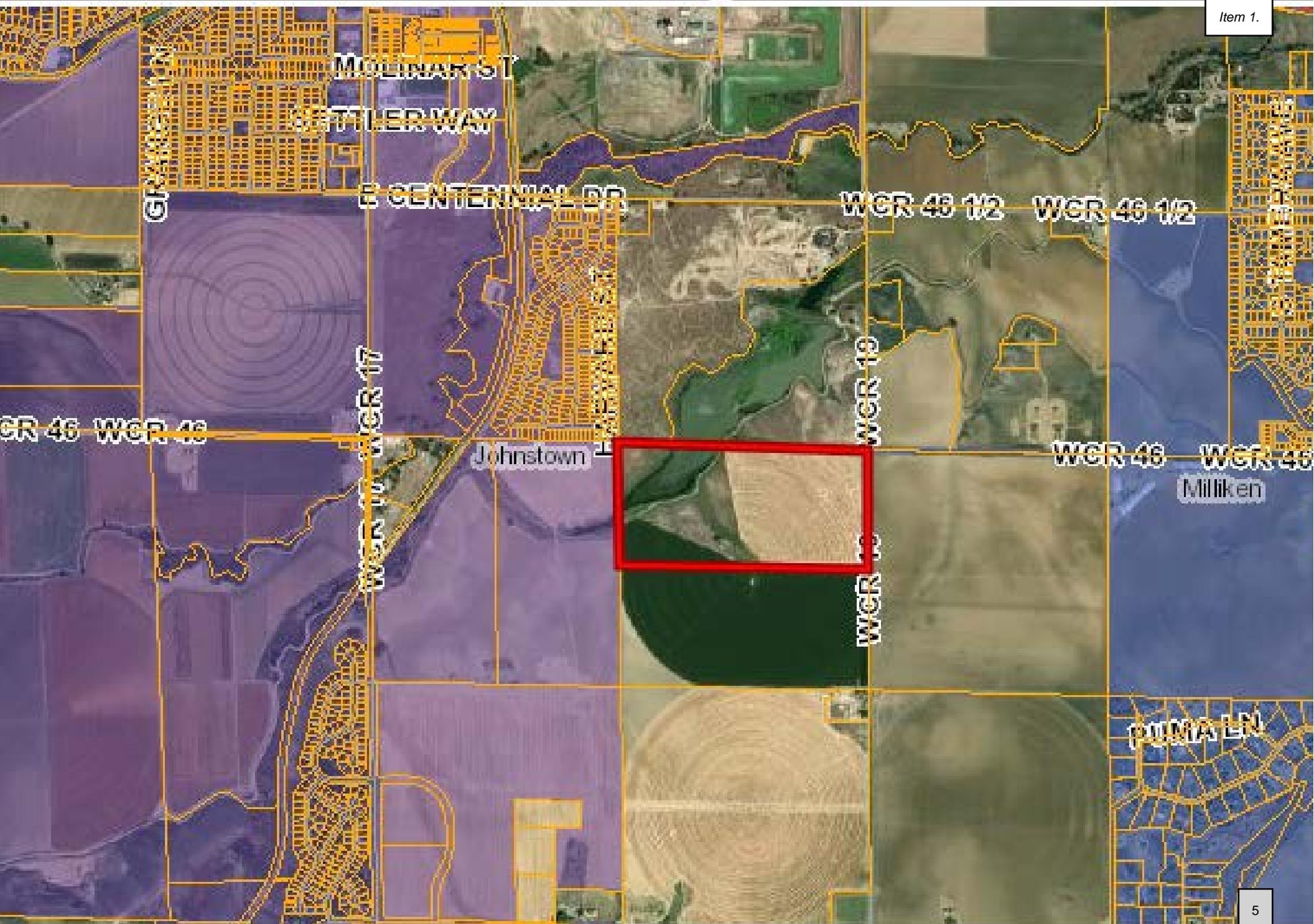
I move that the Commission recommend to the Town Council Approval of the Archdiocese Annexation and to Establish Zoning on the property.

#### **Motion to Recommend Denial:**

I move that the Commission recommend to the Town Council Denial of the Archdiocese Annexation and Establishment of Zoning.

# ARCHDIOCESE ANNEX, ZONING AND DOVE SOLAR ODP AND USR

Item 1.



# ARCHDIOCESE ANNEXATION No. 1

## The Northwest Quarter of the Northeast Quarter of Section 16, Township 4 North, Range 67 West of the 6th P.M., County of Weld, State of Colorado

### PROPERTY DESCRIPTION (PER ALTA COMMITMENT ORDER No. N0034909-030-BSB-ES, Amendment No. 1):

The N1/2 of the NE1/4 of Section 16, Township 4 North, Range 67 West of the 6th P.M., County of Weld, State of Colorado

### PROPERTY DESCRIPTION - ARCHDIOCESE ANNEXATION No. 1:

An area of land being the Northwest Quarter of the Northeast Quarter (NW1/4NE1/4) of Section Sixteen (16), Township Four North (T.4N.), Range Sixty-seven West (R.67W.) of the Sixth Principal Meridian (6th P.M.), County of Weld, State of Colorado, being more particularly described as follows:

COMMENCING at the Northeast corner of Section 16 and assuming the East line of the Northeast Quarter (NE1/4) of Section 16 as monumented by a 2.5" aluminum pipe with a 3.25" aluminum cap stamped LS 13155 at the North end and by a #6 rebar with a 2.0" aluminum cap stamped LS 22097 at the South end, as bearing South 00°44'50" East, being a grid bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983, a distance of 2592.40 feet, with all other bearings contained herein being relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

THENCE North 88°26'46" West along the North line of the NE1/4 of Section 16 a distance of 1361.50 feet to the calculated position of the East Sixteenth corner of said Section 16 and to the POINT OF BEGINNING;

THENCE South 00°54'49" East along the East line of the NW1/4NE1/4 of said Section 16 a distance of 1309.95 feet to the calculated position of the Northeast Sixteenth corner of said Section 16;

THENCE North 89°01'10" West along the South line of said NW1/4NE1/4 a distance of 1357.21 feet to the Center North Sixteenth corner of said Section 16;

THENCE North 01°04'34" West along the West line of said NW1/4NE1/4 a distance of 1323.71 feet to the North Quarter corner of said Section 16;

THENCE South 88°26'46" East along the North line of said NW1/4NE1/4 a distance of 1361.49 feet to the calculated position of the East Sixteenth corner of said Section 16 and to the POINT OF BEGINNING.

Said area of land contains 41.06 Acres (+/-1,788,614 sq.ft.) and is subject to any rights-of-way or other easements of record as now existing on said described parcel of land.

### OWNER'S APPROVAL

Know all men by these presents, that I/we, Archdiocese of Denver, being the sole owner(s) of the land described herein, have caused said land to be annexed under the name of ARCHDIOCESE ANNEXATION No. 1.

IN WITNESS WHEREOF, we have hereunto set our hands and seals this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By: \_\_\_\_\_ As: \_\_\_\_\_

### NOTARIAL CERTIFICATE

STATE OF \_\_\_\_\_ )  
  )SS  
COUNTY OF \_\_\_\_\_ )

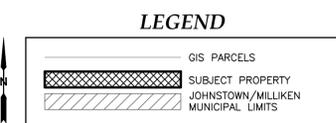
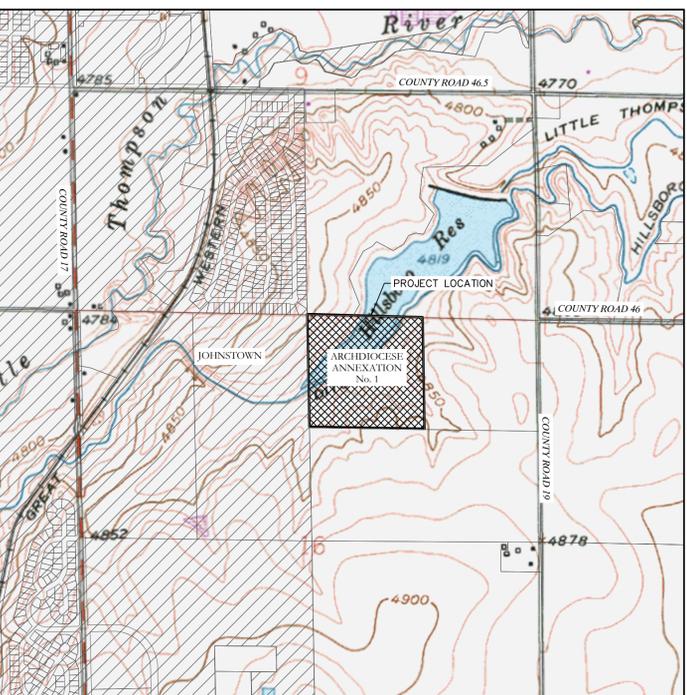
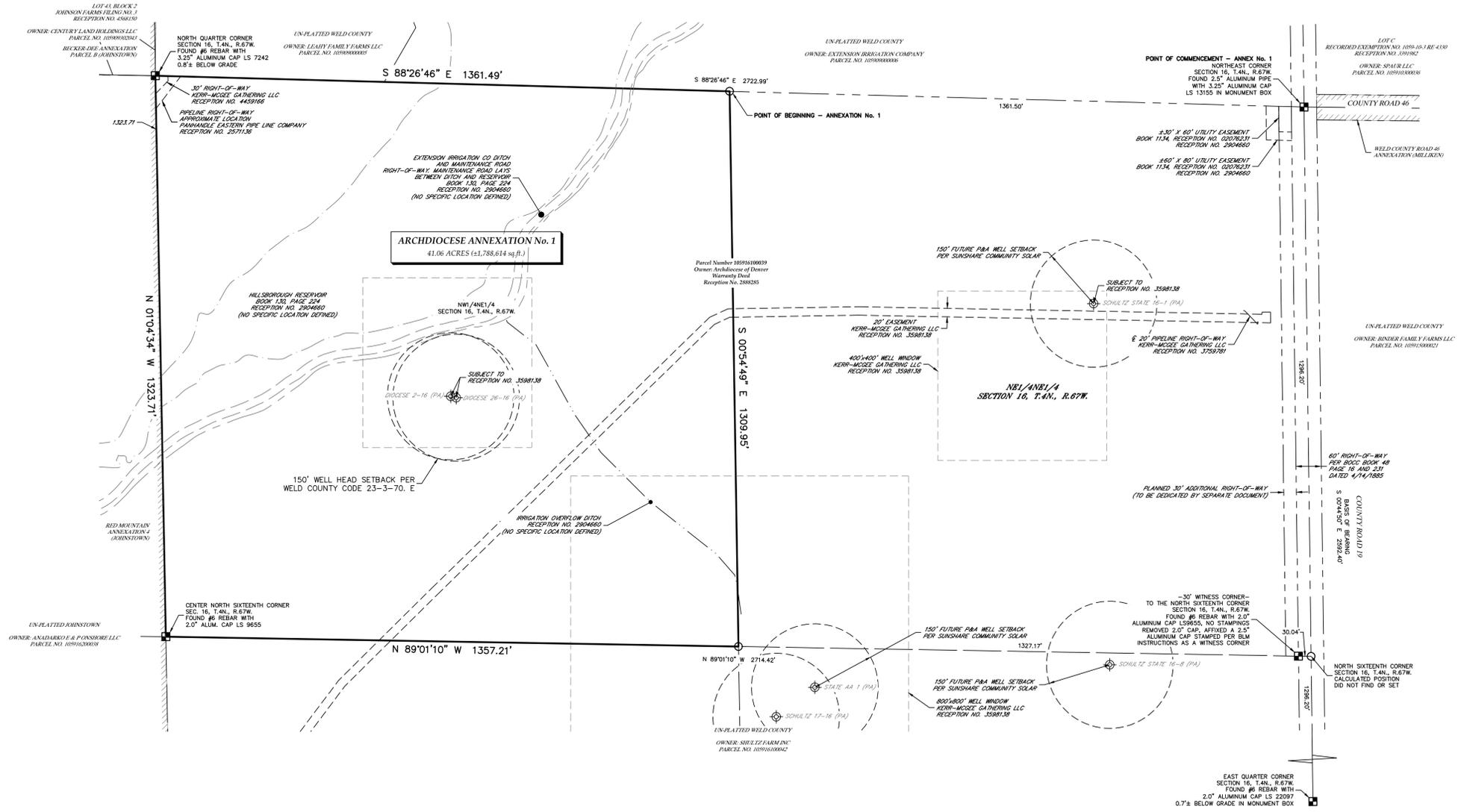
The foregoing instrument was acknowledged before me by \_\_\_\_\_  
this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. Witness my hand and seal.

My commission expires \_\_\_\_\_ Notary Public

### TOWN COUNCIL APPROVAL

This map to be known as ARCHDIOCESE ANNEXATION No. 1 is approved and accepted to the Town of Johnstown, Colorado by ordinance number \_\_\_\_\_, passed and adopted on final reading at the regular meeting of the Town Council of the Town of Johnstown, Colorado, held on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By: \_\_\_\_\_ Mayor Seal      Attest: \_\_\_\_\_ Town Clerk



### TITLE COMMITMENT NOTE

This survey does not constitute a title search by Lat40, Inc. to determine ownership or easements of record. For all information regarding easements, rights-of-way and title of records, Lat40, Inc. relied upon Title Commitment File Number N0034909-030-BSB-ES, Amendment No. 1, having an effective date of June 23, 2022, as prepared by Fidelity National Title Insurance Company to delineate the aforesaid information.

### NOTE

According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown hereon. (13-80-105 C.R.S.)

### SURVEYOR'S STATEMENT

I, Jason S. Allee, a Colorado Licensed Professional Land Surveyor, do hereby state that this Annexation Plat was prepared from an actual survey under my personal supervision, that the monumentation as indicated hereon was found or set as shown, and that the foregoing plat is an accurate representation thereof, all this to the best of my knowledge, information and belief.

SHEET 1 OF 1

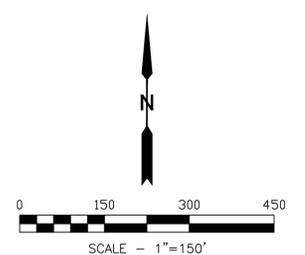
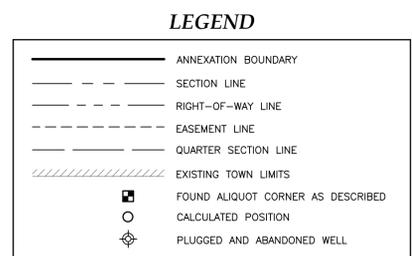
PRELIMINARY

Jason S. Allee—On behalf of Lat40°, Inc.  
Colorado Licensed Professional  
Land Surveyor No. 38479

**LAT 40°**  
Professional Land Surveyors  
6250 W. 10th Street, Unit 2  
Greeley, CO 80634  
O: 970-515-5294

DATE:	7/20/2022	FILE NAME:	2021312.2ANNEX	DRAWN BY:	KMR	CHECKED BY:	JSA	SCALE:	AS NOTED	PROJECT #:	2021312.2
REVISIONS:		DATE:									
ADDRESS TOWN COMMENTS:		9/15/2022									
<b>ARCHDIOCESE ANNEXATION No. 1</b>											
FOR <b>SUNSHARE COMMUNITY SOLAR</b> 1724 GILPIN STREET DENVER CO, 80218											
										<b>1</b>	
										SHEET 1 OF 1	

ANNEXATION TABLE	
CONTIGUOUS BOUNDARY (L.F.)	1323.71
TOTAL BOUNDARY PERIMETER (L.F.)	5352.36
1/6 OF PERIMETER (L.F.)	892.05
ANNEXATION RATIO (1 to X)	4.043
TOTAL LAND AREA (Acres)	41.06



# ARCHDIOCESE ANNEXATION No. 2

## The Northeast Quarter of the Northeast Quarter of Section 16, and a Portion of the Northwest Quarter of the Northwest Quarter of Section 15, Township 4 North, Range 67 West of the 6th P.M., County of Weld, State of Colorado

### PROPERTY DESCRIPTION (PER ALTA COMMITMENT ORDER No. N0034909-030-RSB-ES, Amendment No. 1):

The N1/2 of the NE1/4 of Section 16, Township 4 North, Range 67 West of the 6th P.M., County of Weld, State of Colorado

### PROPERTY DESCRIPTION-ARCHDIOCESE ANNEXATION No. 2:

An area of land being Northeast Quarter of the Northeast Quarter (NE1/4NE1/4) of Section Sixteen (16), Township Four North (T.4N.), Range Sixty-seven West (R.67W.) of the Sixth Principal Meridian (6th P.M.), County of Weld, State of Colorado, being more particularly described as follows:

**BEGINNING** at the Northeast corner of Section 16 and assuming the East line of the Northeast Quarter (NE1/4) of Section 16 as monumented by a 2.5" aluminum pipe with a 3.25" aluminum cap stamped LS 13155 at the North end and by a #6 rebar with a 2.0" aluminum cap stamped LS 22097 at the South end, as bearing South 00°44'50" East, being a grid bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983 (2011), a distance of 2592.40 feet, with all other bearings contained herein being relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

THENCE South 88°26'46" East along the Easterly extension of the North line of said Section 16 a distance of 30.02 feet to the East right-of-way line of County Road 19;  
THENCE South 00°44'50" East along said East right-of-way line a distance of 1295.90 feet to the Easterly extension of the South line of the NE1/4NE1/4 of said section 16;  
THENCE North 89°01'10" West along said extension and said South line a distance of 1387.22 feet to the calculated position of the Northeast Sixteenth corner of said Section 16;  
THENCE North 00°54'49" West along the West line of said NE1/4NE1/4 a distance of 1309.95 feet to the calculated position of the East Sixteenth corner of said section 16;  
THENCE South 88°26'46" East along the North line of said NE1/4NE1/4 a distance of 1361.50 feet to the Northeast corner of said Section 16 and to the **POINT OF BEGINNING**.

Said area of land contains **41.53 Acres** (+/-1,809,007 sq.ft.) and is subject to any rights-of-way or other easements of record as now existing on said described parcel of land.

### OWNER'S APPROVAL

Know all men by these presents, that I/we, Archdiocese of Denver, being the sole owner(s) of the land described herein, have caused said land to be annexed under the name of **ARCHDIOCESE ANNEXATION No. 2**

IN WITNESS WHEREOF, we have hereunto set our hands and seals this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

By: \_\_\_\_\_ As: \_\_\_\_\_

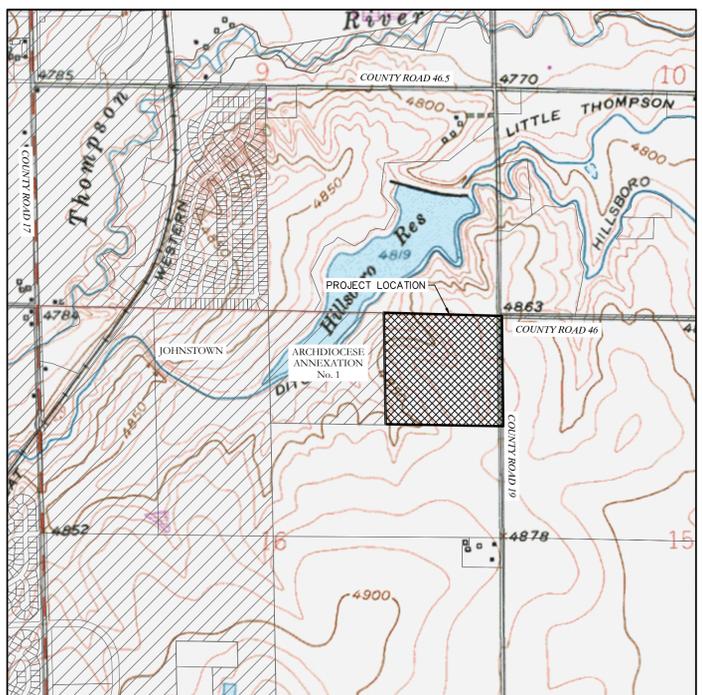
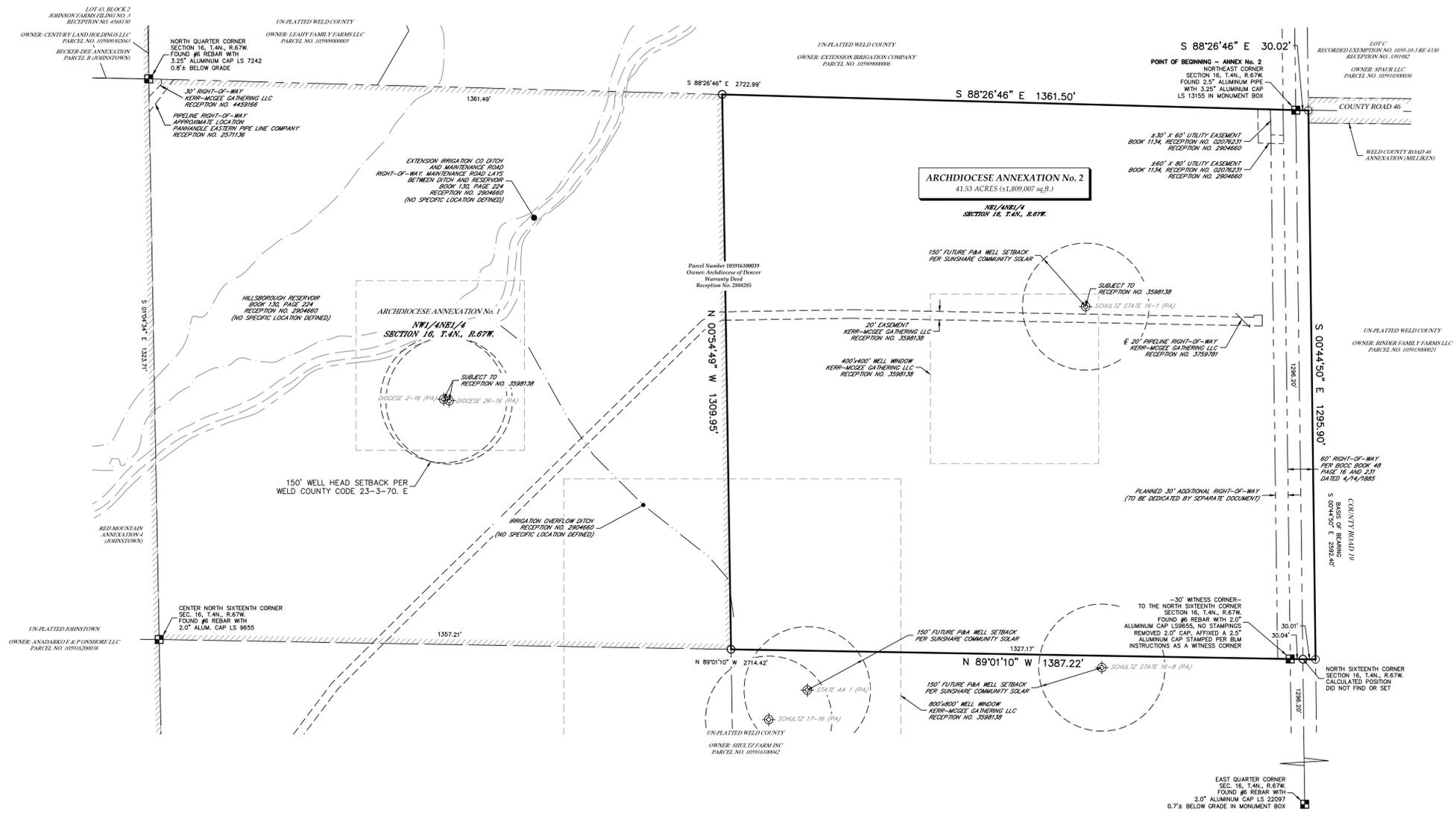
### NOTARIAL CERTIFICATE

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ }  
The foregoing instrument was acknowledged before me by \_\_\_\_\_  
this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. Witness my hand and seal.  
My commission expires \_\_\_\_\_ Notary Public

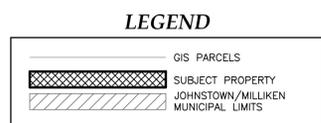
### TOWN COUNCIL APPROVAL

This map to be known as **ARCHDIOCESE ANNEXATION No. 2** is approved and accepted to the Town of Johnstown, Colorado by ordinance number \_\_\_\_\_, passed and adopted on final reading at the regular meeting of the Town Council of the Town of Johnstown, Colorado, held on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By: \_\_\_\_\_ Mayor Seal Attest: \_\_\_\_\_ Town Clerk



VICINITY MAP  
SCALE - 1"=1000'



### TITLE COMMITMENT NOTE

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### SURVEYOR'S STATEMENT

I, Jason S. Allee, a Colorado Licensed Professional Land Surveyor, do hereby state that this Annexation Plat was prepared from an actual survey under my personal supervision, that the monumentation as indicated hereon was found or set as shown, and that the foregoing plat is an accurate representation thereof, all this to the best of my knowledge, information and belief.

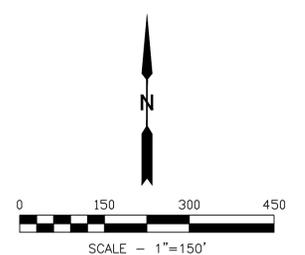
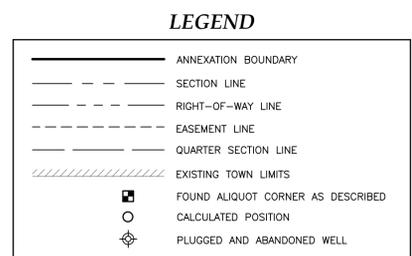
SHEET 1 OF 1 **PRELIMINARY**

Jason S. Allee--On behalf of Lat40, Inc.  
Colorado Licensed Professional  
Land Surveyor No. 38479

**LAT 40**  
Lat40, Inc.  
Professional Land Surveyors  
6250 W. 10th Street, Unit 2  
Greeley, CO 80634  
O: 970-515-5294

DATE: 7/20/2022	FILE NAME: 2021312.2ANNEX	DRAWN BY: KMR	CHECKED BY: JSA	SCALE: AS NOTED	PROJECT #: 2021312.2
REVISIONS: ADDRESS TOWN COMMENTS	DATE: 9/15/2022	<b>ARCHDIOCESE ANNEXATION No. 2</b> FOR <b>SUNSHARE COMMUNITY SOLAR</b> 1724 GILPIN STREET DENVER, CO 80218			
					<b>1</b>
					SHEET 1 OF 1

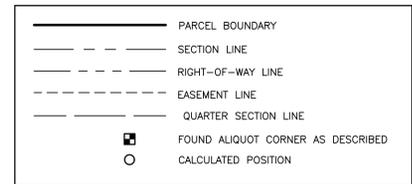
ANNEXATION TABLE	
CONTIGUOUS BOUNDARY (L.F.)	1309.95
TOTAL BOUNDARY PERIMETER (L.F.)	5384.59
1/6 OF PERIMETER (L.F.)	897.43
ANNEXATION RATIO (1 to X)	4.11
TOTAL LAND AREA (Acres)	41.53



# ARCHDIOCESE ANNEXATION ZONING MAP

The North Half of the Northeast Quarter of Section 16, Township 4 North, Range 67 West of the 6th P.M., Town of Johnstown, County of Weld, State of Colorado

## LEGEND



### PROPERTY DESCRIPTION - SUBJECT PROPERTY (PER ALTA COMMITMENT ORDER No. N0034909-030-85B-ES, Amendment No. 1):

The N1/2 of the NE1/4 of Section 16, Township 4 North, Range 67 West of the 6th P.M., County of Weld, State of Colorado

### PROPERTY DESCRIPTION - HA ZONING:

An area of land being the Northwest Quarter of the Northeast Quarter (NW1/4NE1/4) of Section Sixteen (16), Township Four North (T.4N.), Range Sixty-seven West (R.67W.) of the Sixth Principal Meridian (6th P.M.), County of Weld, State of Colorado, being more particularly described as follows:

COMMENCING at the Northeast corner of Section 16 and assuming the East line of the Northeast Quarter (NE1/4) of Section 16 as monumented by a 2.5" aluminum pipe with a 3.25" aluminum cap stamped LS 13155 at the North end and by a #6 rebar with a 2.0" aluminum cap stamped LS 22097 at the South end, as bearing South 00°44'50" East, being a grid bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983 (2011), a distance of 2592.40 feet, with all other bearings contained herein being relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

THENCE North 88°26'46" West along the North line of the NE1/4 of Section 16 a distance of 1361.50 feet to the calculated position of the East Sixteenth corner of said Section 16 and to the POINT OF BEGINNING;

THENCE South 00°54'49" East along the East line of the NW1/4NE1/4 of said Section 16 a distance of 1309.95 feet to the calculated position of the Northeast Sixteenth corner of said Section 16;

THENCE North 89°01'10" West along the South line of said NW1/4NE1/4 a distance of 1357.21 feet to the Center North Sixteenth corner of said Section 16;

THENCE North 01°04'34" West along the West line of said NW1/4NE1/4 a distance of 1323.71 feet to the North Quarter corner of said Section 16;

THENCE South 88°26'46" East along the North line of said NW1/4NE1/4 a distance of 1361.49 feet to the calculated position of the East Sixteenth corner of said Section 16 and to the POINT OF BEGINNING.

Said area of land contains 41.06 Acres (+/-1,788,614 sq.ft.) and is subject to any rights-of-way or other easements of record as now existing on said described parcel of land.

### PROPERTY DESCRIPTION - PUD-MU ZONING:

An area of land being Northeast Quarter of the Northeast Quarter (NE1/4NE1/4) of Section Sixteen (16) and a portion of the Northwest Quarter of the Northwest Quarter (NW1/4NW1/4) of Section Fifteen (15), Township Four North (T.4N.), Range Sixty-seven West (R.67W.) of the Sixth Principal Meridian (6th P.M.), County of Weld, State of Colorado, being more particularly described as follows:

BEGINNING at the Northeast corner of Section 16 and assuming the East line of the Northeast Quarter (NE1/4) of Section 16 as monumented by a 2.5" aluminum pipe with a 3.25" aluminum cap stamped LS 13155 at the North end and by a #6 rebar with a 2.0" aluminum cap stamped LS 22097 at the South end, as bearing South 00°44'50" East, being a grid bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983 (2011), a distance of 2592.40 feet, with all other bearings contained herein being relative thereto.

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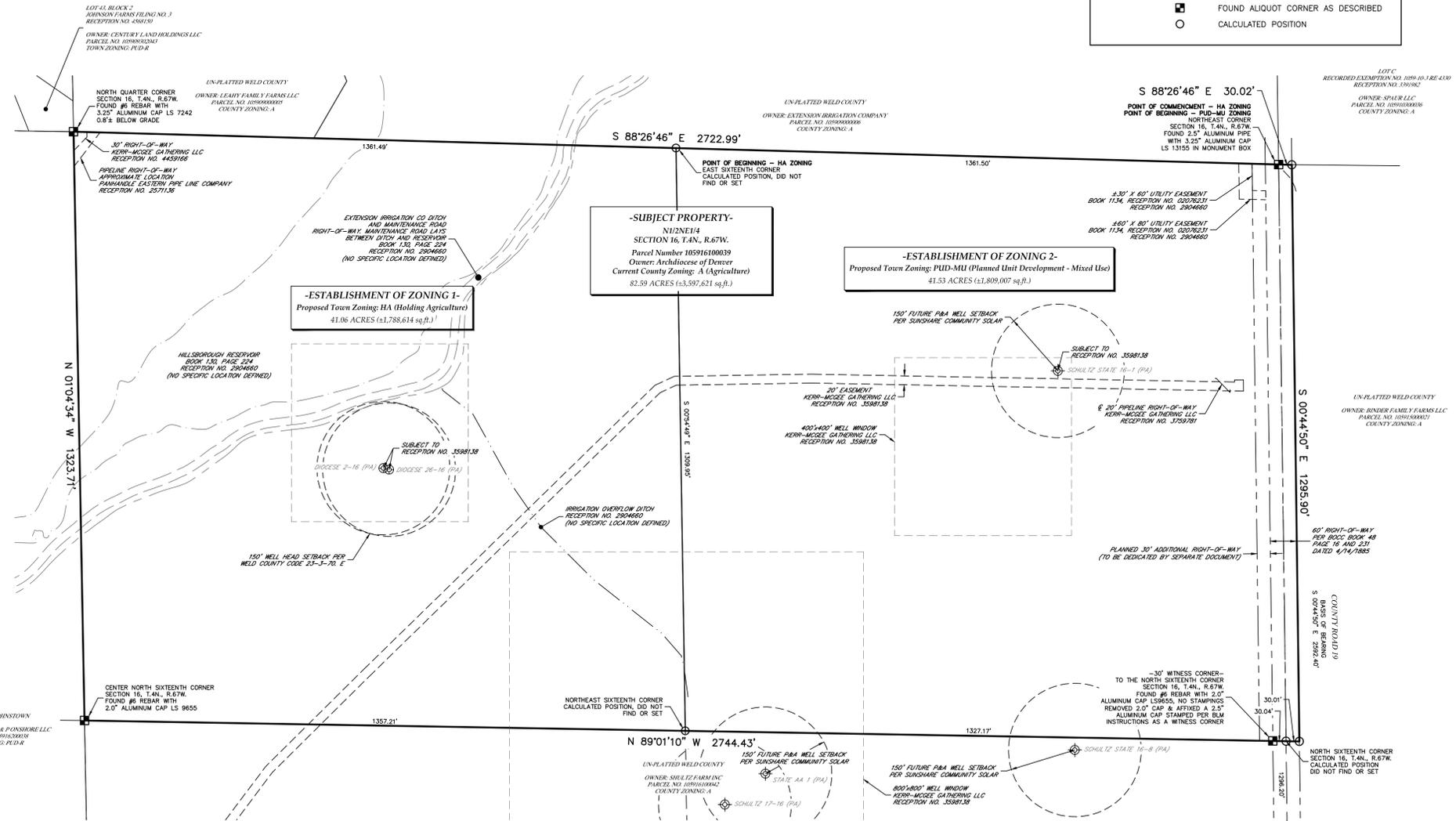
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THENCE South 88°26'46" East along the North line of said NE1/4NE1/4 a distance of 1361.50 feet to the Northeast corner of said Section 16 and to the POINT OF BEGINNING.

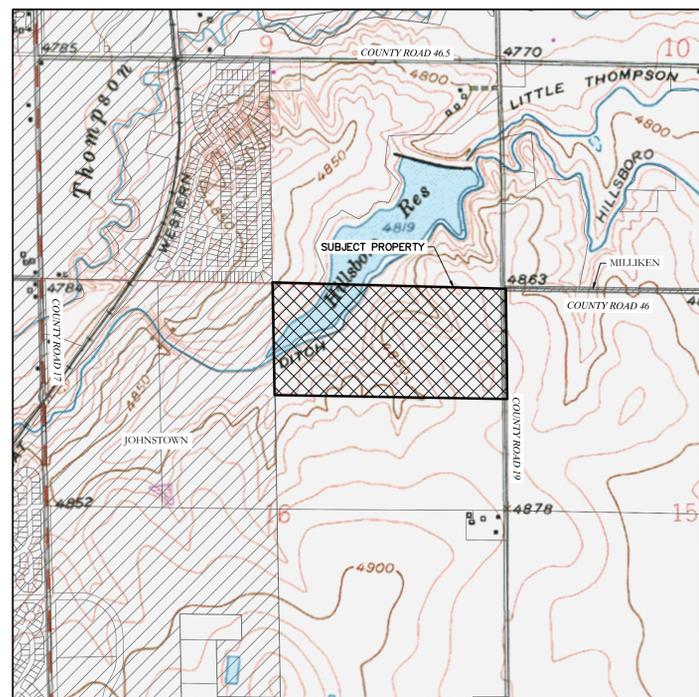
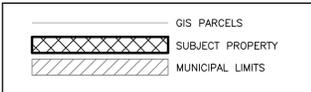
Said area of land contains 41.53 Acres (+/-1,809,007 sq.ft.) and is subject to any rights-of-way or other easements of record as now existing on said described parcel of land.

### TITLE COMMITMENT NOTE

This survey does not constitute a title search by Lat40, Inc. to determine ownership or easements of record. For all information regarding easements, rights-of-way and title of records, Lat40, Inc. relied upon Title Commitment File Number N0034909-030-85B-ES, Amendment No. 1, having an effective date of June 23, 2022, as prepared by Fidelity National Title Insurance Company to delineate the aforesaid information.



## LEGEND



VICINITY MAP  
SCALE - 1"=1000'

### OWNER'S APPROVAL

Know all men by these presents, that we, the Archdiocese of Denver, being the sole owner of the land described herein, have caused said land to be rezoned as HA (Holding Agriculture) Zone District, and PUD-MU (Planned Unit Development--Multi Use) Zone District.

IN WITNESS WHEREOF, we have hereunto set our hands and seals this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

The Archdiocese of Denver, a Colorado Corporation sole by Keith Parsons, as COO, Attorney in Fact for Most Reverend Samuel J Aquila, S.T.L., Archbishop of Denver

### NOTARIAL CERTIFICATE

COUNTY OF DENVER )  
STATE OF COLORADO )SS

The foregoing instrument was acknowledged before me by The Archdiocese of Denver, a Colorado Corporation sole, by Keith Parsons, as COO, Attorney in Fact for Most Reverend Samuel J Aquila, S.T.L., Archbishop of Denver

this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Witness my hand and seal.

Notary Public  
My commission expires \_\_\_\_\_

### TOWN COUNCIL APPROVAL

This map to be known as ARCHDIOCESE ESTABLISHMENT OF ZONING MAP is approved and accepted to the Town of Johnstown, Colorado by ordinance number \_\_\_\_\_, passed and adopted on final reading at the regular meeting of the Town Council of the Town of Johnstown, Colorado, held on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

By: \_\_\_\_\_ Mayor Seal Attest: \_\_\_\_\_ Town Clerk

### SURVEYOR'S STATEMENT

I, Jason S. Allee, a Colorado Licensed Professional Land Surveyor, do hereby state that this Zoning Plat was prepared from an actual survey under my personal supervision, that the monumentation as indicated hereon was found or set as shown, and that the foregoing plat is an accurate representation thereof, all this to the best of my knowledge, information and belief.

Sheet 1 of 1 PRELIMINARY

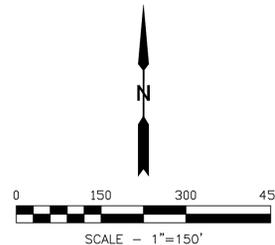
Jason S. Allee--On behalf of Lat40, Inc.  
Colorado Licensed Professional  
Land Surveyor No. 38479

NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years after the date of the certificate shown hereon. (13-80-105 C.R.S.)

DATE:	8/2/2022	FILE NAME:	2021312.ZZONE	DRAWN BY:	KMR	CHECKED BY:	JSA	SCALE:	AS NOTED	PROJECT #:	2021312.2
REVISIONS:		DATE:									
ADDRESS TOWN COMMENTS		2/6/2023									
ADDRESS TOWN COMMENTS		9/15/2022									
ARCHDIOCESE ANNEX ZONING MAP											
FOR SUNSHARE COMMUNITY SOLAR											
1724 GILPIN STREET DENVER, CO 80218											
										1	
										SHEET 1 OF 1	

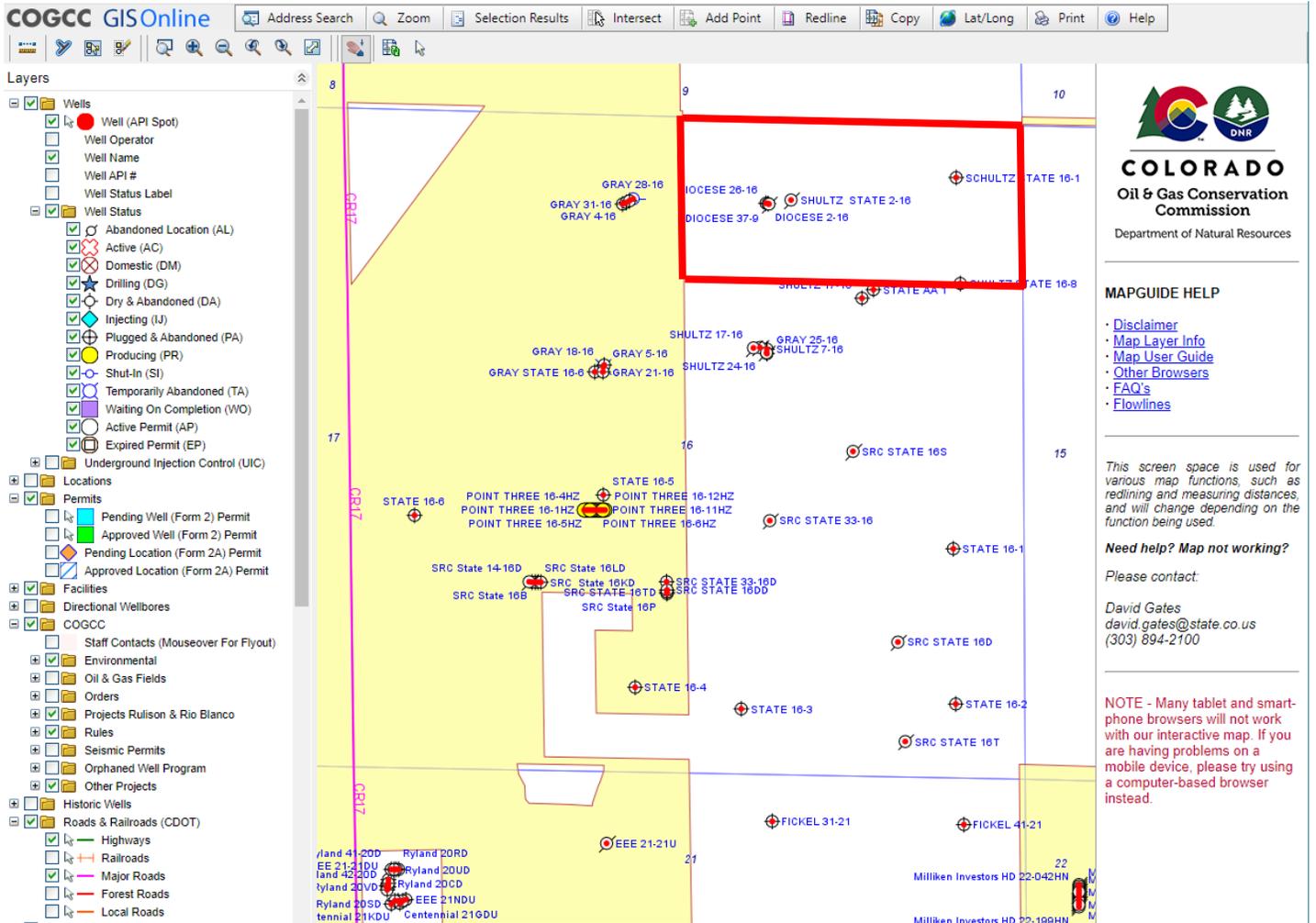


Lat40, Inc.  
Professional Land Surveyors  
6250 W. 10th Street, Unit 2  
Greeley, CO 80634  
O: 970-515-5294



# ARCHDIOCESE ANNEXATION, ZONING, ODP, AND USR – SOLAR

## COGCC MAPPING (2/8/2023)





# Town of Johnstown

## PLANNING & ZONING COMMISSION AGENDA MEMORANDUM

---

**DESCRIPTION:** Dove Solar Outline Development Plan

**PROJECT NO:** ANX22-0003

**LOCATION:** South of WCR 46.5 and the Little Thompson Reservoir, west of WCR 19

**APPLICANT:** SunSolar (Applicant) / Archbishop of Denver (Owner)

**STAFF:** Kim Meyer, Planning & Development Director

**HEARING DATE:** February 15, 2023

---

### ATTACHMENTS

- 1- Vicinity Map
- 2- Outline Development Plan

### PROJECT SUMMARY

The Applicant requests the approval of an Outline Development Plan (ODP) for approximately 82.6 acres of land being considered for annexation to the Town of Johnstown, as the Archdiocese Annexation Nos. 1 and 2. (Attachment 2) Zoning proposed for the site includes approximately half the acreage as H-A, Holding Agriculture, for ongoing agricultural uses; and the other half as PUD-MU, Planned Unit Development Mixed Use. This ODP would apply to the PUD zone district of that property and permit the development of a 30± acre solar field.

The ODP permits only an Agricultural Area, and the Solar Use Area as an interim (20-40 years) use prior to future development that may occur on-site. Rezoning and subdivision, as well as extensive engineering would be required in the future to accommodate additional uses and development.

### PROPERTY BACKGROUND

The property is located south of Weld County Rd (WCR) 46.5 and west of WCR 19. The subject property is presently zoned A - Agricultural in unincorporated Weld County and is being used as farm land. It is bordered to the north by the Hillsborough/Little Thompson Reservoir, to the west by incorporated areas of Johnstown, with the rest being adjacent to unincorporated Weld County and adjacent to the Milliken Growth Management Boundary. (Attachment 1)

### SURROUNDING ZONING & LAND USE

North: A – Agricultural (Weld County), Hillsborough/Little Thompson Reservoir  
 South: A – Agricultural (Weld County)  
 East: A – Agricultural (Weld County)  
 West: PUD (Johnstown) with Oil & Gas Well Pads

**LAND USE HISTORY**

Historically, this property has been used for farming and continues as that use today.

**OIL & GAS**

COGCC (Oil & Gas) online maps show existing abandoned and plugged and abandoned wells on-site. These sites are also shown on the Annexation and Zoning maps.

**IRRIGATION DITCHES**

The Hillsborough/Little Thompson Reservoir, owned and managed by the Extension (Hillsborough) Ditch Company, is partially located on the northwest corner of this property. These are some emergent wetlands along the banks of that water body, identified by the Colorado Wetland Inventory as part of the Colorado Natural Heritage Program.

<https://csurams.maps.arcgis.com/apps/webappviewer/index.html?id=a8e43760cb934a5084e89e46922580cc>

The reservoir and surrounding areas of interest are located in the H-A zoning district area and will be undisturbed by the proposed solar use on the PUD-MU zoned area.

**FLOODPLAIN**

The subject property is not located in any floodplain area.

**PUBLIC NOTICE & AGENCY REFERRALS**

Notice for the Planning & Zoning Commission hearing was published in the local paper of widest circulation, the Johnstown Breeze, on Thursday, January 26, 2023. This notice provided the date, time, and location of the Planning and Zoning Commission hearing, as well as a description of the project. Notices were mailed to all property owners within 500 feet of the property in question. This notice included a map of the project area.

This project was referred to the Johnstown Review Committee as well as Weld County, Milliken, the Weld RE-5J School District, Little Thompson Water, Xcel and TDS.

**NEIGHBORHOOD MEETING**

No neighborhood meeting was held for this ODP project.

**PROJECT DESCRIPTION & ANALYSIS**

As noted in the summary above the proposed Dove Solar Outline Development Plan allows for continued ag use, as well as the development of an “interim” solar facility. Current solar contracts with Xcel have been offered as 20-year terms with potential to extend.

As proposed in the accompanying USR (Use by Special Review) for the solar facility, the facility would encompass about 30 acres of land, and be sited to accommodate the oil and gas facility that is in the process of being plugged and abandoned. The use would utilize the existing access to WCR 19 that has been used previously to access the oil and gas site.

No other uses are proposed with this ODP. The uses included within the ODP would not create the need for any utility, transportation, or other public services.

This area of the Johnstown Growth Management Area is indicated for Low or Very Low Intensity and Density types of development. The continuation of agricultural uses into the future, as well as the use of

the area for very low intensity energy resource development are in alignment with this designation and intention. Staff has no outstanding concerns related to this proposed Dove Solar ODP. Staff has no outstanding concerns related to this proposed Outline Development Plan.

### **RECOMMENDED PLANNING AND ZONING COMMISSION FINDINGS AND MOTIONS**

Staff recommends that the Planning and Zoning Commission send a recommendation for Approval to Town Council for the Dove Solar Outline Development Plan based upon the following findings:

1. The proposed uses are in alignment with the Future Land Use Plan within the Area Johnstown Comprehensive Plan.
2. The proposed uses do not require significant public services to be provided by the Town or other public entities.
3. The proposed uses have the ability to be designed to meet all Town codes, regulations and requirements for that type of development.
4. The proposed uses provide an interim use to property that may prove suitable for a different type of development in the future.

#### **Recommended Motion: Motion to Approve**

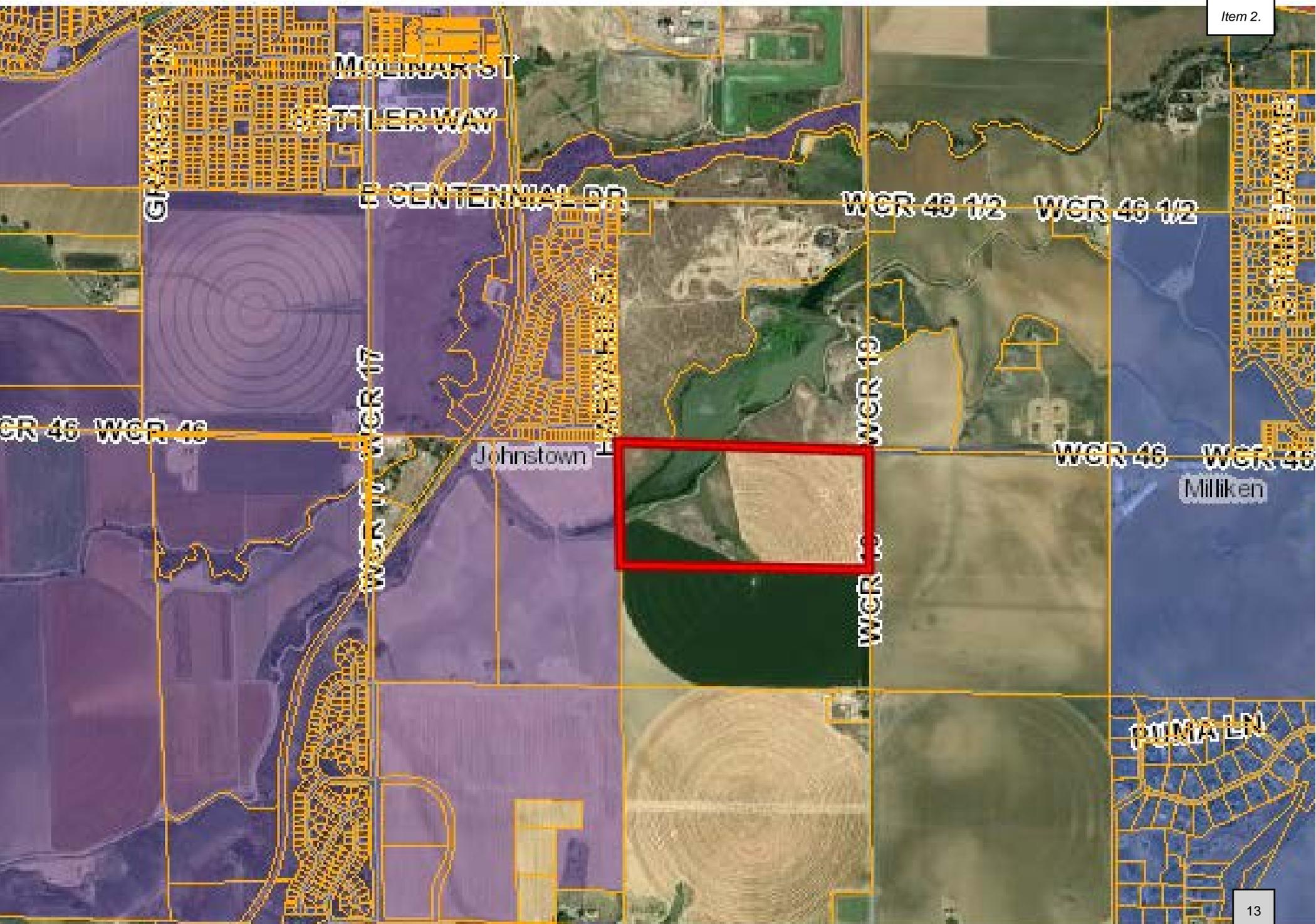
Based on the application materials received, analysis and presentations at this hearing, and findings noted in this staff memorandum, I move that the Planning & Zoning Commission recommend Approval to the Town Council for the Dove Solar Outline Development Plan.

#### **Motion to Recommend Denial**

I move that the Commission recommend to the Town Council Denial of the Dove Solar Outline Development Plan.

# ARCHDIOCESE ANNEX, ZONING AND DOVE SOLAR ODP AND USR

Item 2.



# OUTLINE DEVELOPMENT PLAN DOVE SOLAR

Part of the North Half of the Northeast Quarter of Section 16,  
Township 4 North, Range 67 West of the 6th P.M.,  
Town of Johnstown, State of Colorado

**PROPERTY DESCRIPTION – HA ZONING:**

An area of land being the Northwest Quarter of the Northeast Quarter (NW1/4NE1/4) of Section Sixteen (16), Township Four North (T.4N.), Range Sixty-seven West (R.67W.) of the Sixth Principal Meridian (6th P.M.), County of Weld, State of Colorado, being more particularly described as follows:

**COMMENCING** at the Northeast corner of Section 16 and assuming the East line of the Northeast Quarter (NE1/4) of Section 16 as monumented by a 2.5" aluminum pipe with a 3.25" aluminum cap stamped LS 13155 at the North end and by a #6 rebar with a 2.0" aluminum cap stamped LS 22097 at the South end, as bearing South 00°44'50" East, being a grid bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983 (2011), a distance of 2592.40 feet, with all other bearings contained herein being relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

THENCE North 88°26'46" West along the North line of the NE1/4 of Section 16 a distance of 1361.50 feet to the calculated position of the East Sixteenth corner of said Section 16 and to the **POINT OF BEGINNING**;

THENCE South 00°54'49" East along the East line of the NW1/4NE1/4 of said Section 16 a distance of 1309.95 feet to the calculated position of the Northeast Sixteenth corner of said Section 16;  
THENCE North 89°01'10" West along the South line of said NW1/4NE1/4 a distance of 1357.21 feet to the Center North Sixteenth corner of said Section 16;  
THENCE North 01°04'34" West along the West line of said NW1/4NE1/4 a distance of 1323.71 feet to the North Quarter corner of said Section 16;  
THENCE South 88°26'46" East along the North line of said NW1/4NE1/4 a distance of 1361.49 feet to the calculated position of the East Sixteenth corner of said Section 16 and to the **POINT OF BEGINNING**.

Said area of land contains 41.06 Acres (+/-1,788,614 sq.ft.) and is subject to any rights-of-way or other easements of record as now existing on said described parcel of land.

**PROPERTY DESCRIPTION – MU ZONING:**

An area of land being Northeast Quarter of the Northeast Quarter (NE1/4NE1/4) of Section Sixteen (16) and a portion of the Northwest Quarter of the Northwest Quarter (NW1/4NW1/4) of Section Fifteen (15), Township Four North (T.4N.), Range Sixty-seven West (R.67W.) of the Sixth Principal Meridian (6th P.M.), County of Weld, State of Colorado, being more particularly described as follows:

**BEGINNING** at the Northeast corner of Section 16 and assuming the East line of the Northeast Quarter (NE1/4) of Section 16 as monumented by a 2.5" aluminum pipe with a 3.25" aluminum cap stamped LS 13155 at the North end and by a #6 rebar with a 2.0" aluminum cap stamped LS 22097 at the South end, as bearing South 00°44'50" East, being a grid bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983 (2011), a distance of 2592.40 feet, with all other bearings contained herein being relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

THENCE South 88°26'46" East along the Easterly extension of the North line of said Section 16 a distance of 30.02 feet to the East right-of-way line of County Road 19;  
THENCE South 00°44'50" East along said East right-of-way line a distance of 1295.90 feet to the Easterly extension of the South line of the NE1/4NE1/4 of said section 16;  
THENCE North 89°01'10" West along said extension and said South line a distance of 1387.22 feet to the calculated position of the Northeast Sixteenth corner of said Section 16;  
THENCE North 00°54'49" West along the West line of said NE1/4NE1/4 a distance of 1309.95 feet to the calculated position of the East Sixteenth corner of said section 16;  
THENCE South 88°26'46" East along the North line of said NE1/4NE1/4 a distance of 1361.50 feet to the Northeast corner of said Section 16 and to the **POINT OF BEGINNING**.

Said area of land contains 41.53 Acres (+/-1,809,007 sq.ft.) and is subject to any rights-of-way or other easements of record as now existing on said described parcel of land.

**GENERAL NOTES**

- A. ALL UNPLATTED PROPERTY SHALL REQUIRE A TOWN SUBDIVISION APPROVAL PROCESS PRIOR TO ANY ADDITIONAL USES AND BUILDING PERMITS, BEYOND THE PROPOSED AGRICULTURAL AND SOLAR USES.

**PROJECT INTENT**

THE INTENT OF THIS OUTLINE DEVELOPMENT PLAN (ODP) IS TO PROVIDE AN INTERIM DEVELOPMENT SCHEME TO THE 82.59 ACRE DOVE SOLAR PROJECT. DOVE SOLAR IS ENVISIONED AS 41.06 ACRES FOR HOLDING AGRICULTURE DEVELOPMENT AS WELL AS 41.53 ACRES OF MIXED USE DEVELOPMENT WITH AN INTERIM SOLAR FIELD. THIS DOCUMENT WILL GUIDE THE OVERALL CHARACTER OF DOVE SOLAR TO ENSURE THE QUALITY AND COHESIVENESS DESIRED IN THIS EMERGING PART OF NORTHERN COLORADO. THE INTERIM SOLAR FIELD WILL BE LOCATED ON THE EASTERN PORTION OF THE SITE.

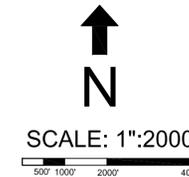
**APPROVALS**

TOWN COUNCIL

THIS OUTLINE DEVELOPMENT PLAN, TO BE KNOWN AS DOVE SOLAR ODP, IS APPROVED AND ACCEPTED BY THE TOWN OF JOHNSTOWN, BY ORDINANCE NUMBER \_\_\_\_\_, PASSED AND ADOPTED ON FINAL READING BY REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF JOHNSTOWN, COLORADO HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
MAYOR TOWN CLERK

**VICINITY MAP**



**RELATIONSHIP TO TOWN CODE & DEVELOPMENT STANDARDS**

THE PROVISIONS OF THIS PUD SHALL PREVAIL AND GOVERN DEVELOPMENT TO THE EXTENT PERMITTED BY THE TOWN OF JOHNSTOWN MUNICIPAL CODE. WHERE STANDARDS, DETAILS, AND GUIDELINES OF THE PUD - OUTLINE, PRELIMINARY, OR FINAL DEVELOPMENT PLANS - DO NOT CLEARLY ADDRESS A SPECIFIC SUBJECT OR ARE SILENT, THE JOHNSTOWN MUNICIPAL AND OTHER STANDARDS, REGULATIONS, AND GUIDELINES SHALL BE USED. ALL PROPOSED DEVELOPMENT IS SUBJECT TO TOWN OF JOHNSTOWN REVIEW PROCEDURES.

DATE  
2/6/2023

SRC087084

PROJECT NAME  
**DOVE SOLAR LLC**

PROJECT LOCATION  
CR 46 & CR 19  
JOHNSTOWN, CO 80534



SHEET NAME

COVER

SHEET NUMBER

ODP-1

SHEET SIZE

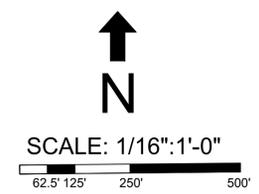
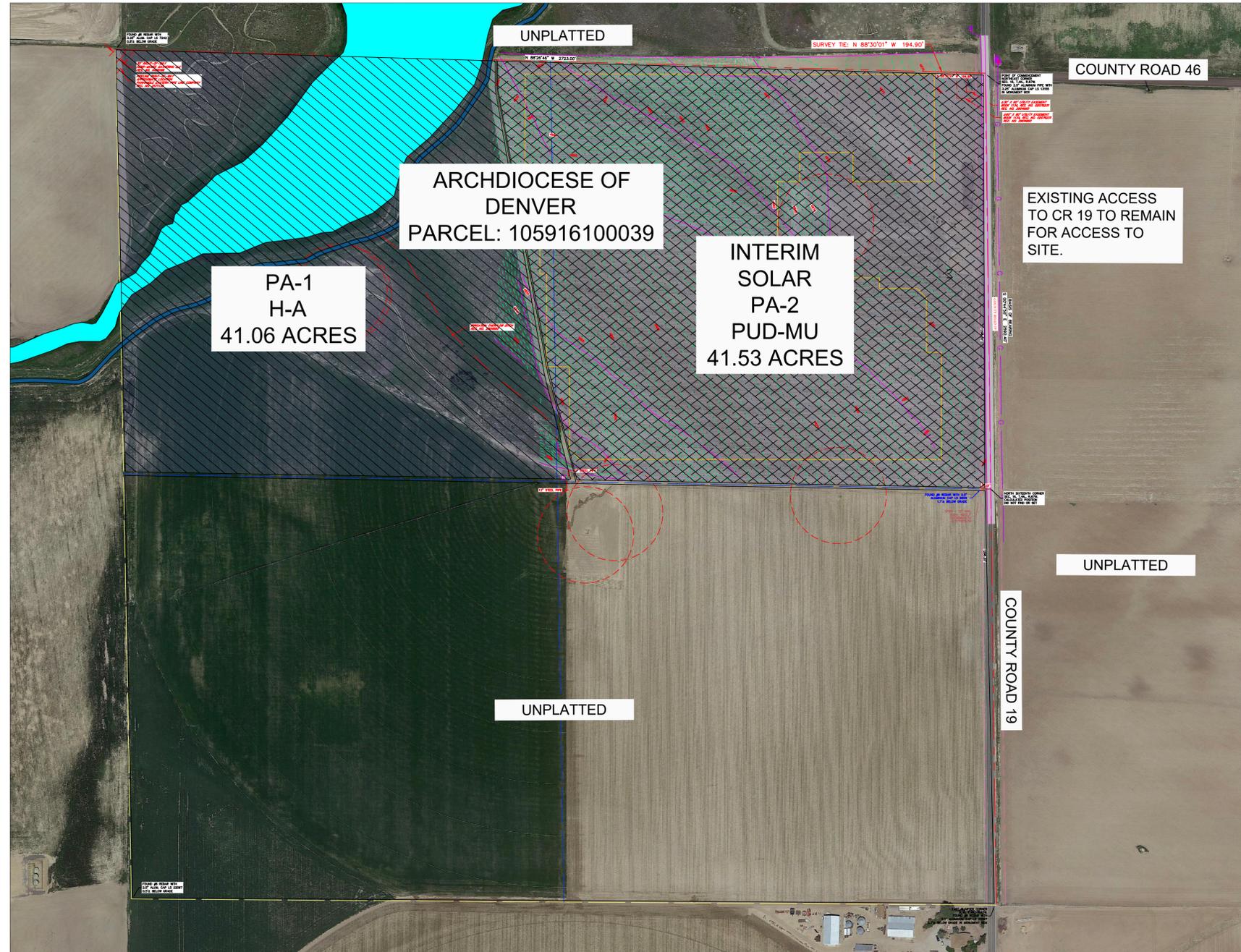
24"x36"

# OUTLINE DEVELOPMENT PLAN DOVE SOLAR

Part of the North Half of the Northeast Quarter of Section 16,  
Township 4 North, Range 67 West of the 6th P.M.,  
Town of Johnstown, State of Colorado

### OUTLINE DEVELOPMENT PLAN (ODP) USES:

1. FUTURE DEVELOPMENT WILL REQUIRE AN AMENDMENT TO THIS ODP TO ESTABLISH USES, DENSITIES, AND INTENSITIES OF USE AS WELL AS MEET ALL TOWN DEVELOPMENT STANDARDS.
2. PA-1 AGRICULTURAL AREA
  - A. AG USES MAY CONTINUE UNTIL FUTURE ODP AMENDMENT AND DEVELOPMENT PROPOSALS
3. PA-2 SOLAR USE AREA
  - A. THE SOLAR USE AREA (PA-2) SHOWN ON THIS ODP IS AN INTERIM USE (20-40 YEARS, OR AS EXTENDED BY PRIVATE AGREEMENT) AND SHALL OBTAIN A SEPARATE SPECIAL USE (USR) APPROVAL FROM THE TOWN OF JOHNSTOWN. THE SPECIAL/CONDITIONAL USE APPLICATION SHALL SHOW ALL DETAIL RELATED TO THE THIS INTERIM USE, SUCH AS BUT NOT LIMITED TO LAYOUT, ACCESS, LANDSCAPING STANDARDS.
  - B. MINIMUM STANDARDS
    - i. 20-FOOT SETBACK OF SOLAR EQUIPMENT FROM PROPERTY LINES
    - ii. 8-FOOT DECORATIVE WILDLIFE FENCE AROUND PERIMETER OF SOLAR FIELD
    - iii. LOW-GRADE NATIVE SEED MIX WITHIN THE SOLAR FIELD AREA
  - C. A TOWN-APPROVED DECOMMISSIONING AND RECLAMATION PLAN AND DUST AND WEED MITIGATION PLAN IS REQUIRED WITH THE THE SOLAR USE BY SPECIAL REVIEW PROJECT.



DATE  
2/6/2023

### LEGEND

- HILLSBOROUGH DITCH CO RESERVOIR
- INTERIM SOLAR
- HOLDING- AG DESIGNATED
- EXISTING PATHWAY
- ARCHDIOCESE OF DENVER PARCEL

SRC087084

PROJECT NAME  
**DOVE SOLAR LLC**

PROJECT LOCATION  
CR 46 & CR 19  
JOHNSTOWN, CO 80534

SUNSHARE LLC  
1724 GILPIN ST., DENVER, CO 80218  
(800)793-0786

SHEET NAME  
CONCEPT SITE PLAN

SHEET NUMBER  
ODP-2

SHEET SIZE  
24"x36"



# Town of Johnstown

## PLANNING & ZONING COMMISSION AGENDA MEMORANDUM

---

**DESCRIPTION:** Dove Solar LLC – Solar Array Project Use by Special Review

**PROJECT NO:** USR22-0002

**LOCATION:** South of WCR 46.5 and the Little Thompson Reservoir, west of WCR 19

**APPLICANT:** SunSolar (Applicant) / Archbishop of Denver (Owner)

**STAFF:** Kim Meyer, Planning & Development Director

**HEARING DATE:** February 15, 2023

---

### ATTACHMENTS

- 1- Vicinity Map
- 2- USR Site Plan
- 3- USR Narrative
- 4- Decommissioning & Reclamation Plan
- 5- Dust and Weed Mitigation Plan

### PROJECT SUMMARY

The Applicant requests the approval of a Use by Special Review (Attachment 2) for approximately 30 acres of land that is also under concurrent consideration for annexation, zoning and an ODP with the Town of Johnstown - as the Archdiocese Annexation Nos. 1 and 2. The Dove Solar Outline Development Plan would allow for the use of a solar facility on the eastern half of that subject property.

### PROPERTY BACKGROUND

The property is located south of Weld County Rd (WCR) 46.5 and west of WCR 19. The subject property is presently zoned A - Agricultural in unincorporated Weld County and is being used as farm land. It is bordered to the north by the Hillsborough/Little Thompson Reservoir, to the west by incorporated areas of Johnstown, with the rest being adjacent to unincorporated Weld County and adjacent to the Milliken Growth Management Boundary. (Attachment 1)

### SURROUNDING ZONING & LAND USE

North: A – Agricultural (Weld County), Hillsborough/Little Thompson Reservoir  
 South: A – Agricultural (Weld County)  
 East: A – Agricultural (Weld County)  
 West: PUD (Johnstown) with Oil & Gas Well Pads

### LAND USE HISTORY

Historically, this property has been used for farming and continues as that use today.

**OIL & GAS**

COGCC (Oil & Gas) online maps show existing abandoned and plugged and abandoned wells on-site. These sites are also shown on the USR site plans.

**IRRIGATION DITCHES**

The Hillsborough/Little Thompson Reservoir, owned and managed by the Extension (Hillsborough) Ditch Company, is partially located on the northwest corner of this property. These are some emergent wetlands along the banks of that water body, identified by the Colorado Wetland Inventory as part of the Colorado Natural Heritage Program.

(<https://csurams.maps.arcgis.com/apps/webappviewer/index.html?id=a8e43760cb934a5084e89e46922580cc>)

The reservoir and surrounding areas of interest are located in the H-A zoning district area and will be undisturbed by the proposed solar use on the PUD-MU zoned area.

**FLOODPLAIN**

The subject property is not located in any floodplain area.

**PUBLIC NOTICE & AGENCY REFERRALS**

Notice for the Planning & Zoning Commission hearing was published in the local paper of widest circulation, the Johnstown Breeze, on Thursday, January 26, 2023. This notice provided the date, time, and location of the Planning and Zoning Commission hearing, as well as a description of the project. Notices were mailed to all property owners within 500 feet of the property in question. This notice included a map of the project area.

This project was referred to the Johnstown Review Committee as well as Weld County, Milliken, the Weld RE-5J School District, Little Thompson Water, Xcel, and TDS.

**NEIGHBORHOOD MEETING**

No neighborhood meeting was held for this USR project.

**PROJECT DESCRIPTION & ANALYSIS**

The proposed USR applies to the 5,000 kW-AC solar array project use that Dove Solar is anticipating installing on this property. This array will consist of approximately 142 rows of over 11,000 modules. This non-reflective array equipment will be installed in the typical rows of arrays, with a maximum height of 10 feet at full tilt. The fencing will be an 8-foot tall game fence of 4x4 inch reinforced mesh. Native seed mix will be cultivated and maintained onsite post construction, with

The total project site, inside the fence, is a little over 30 acres in size, with overall dimensions of approximately 1183 feet wide (east-to-west) and just under 1300 feet north-to-south. This comprises the full frontage of the property along CR 19. The front fencing along the roadway is anticipated to be setback approximately 45-70 feet from the ultimate right-of-way, with another 30 feet to the nearest equipment.

The use would utilize the existing access from CR 19 and creates the needed hammerhead turnaround for the Fire District on-site. No utilities or additional accesses are needed to serve this use. Electrical cables serving the site will be buried underground.

The Use by Special Review would permit this use to continue for up to 40 years from the time the facility is complete and in operation. Any proposed change to the use or additional development plans would initiate a new review by the Town and our reviewing agencies at that time. At the time of decommissioning, the user is required to remove all equipment and improvements and return the site to its current undeveloped state.

The Site Plan is also accompanied by grading and stormwater plans that have been reviewed and approved by the Town Engineer, as well as a Project Narrative, Decommissioning & Reclamation Plan, and Dust and Weed Mitigation Plan (Attachments 3, 4 & 5).

This area of the Johnstown Growth Management Area is indicated for Low or Very Low Intensity and Density types of development. The use of the area for low intensity energy resource development is in alignment with this designation and intention. Staff has no outstanding concerns related to this proposed Dove Solar LLC – Solar Array Project Use by Special Review.

### **RECOMMENDED PLANNING AND ZONING COMMISSION FINDINGS AND MOTIONS**

Staff recommends that the Planning and Zoning Commission send a recommendation for Approval to Town Council for the Dove Solar LLC – Solar Array Project Use by Special Review based upon the following findings, per JMC Sec 17-200:

1. The Special Use is in alignment with the Future Land Use Plan within the Area Johnstown Comprehensive Plan.
2. The Special Use will be compatible with existing surrounding and probably future land uses in the area.
3. The Special Use will not cause any unreasonable demand on Town services.
4. The Special Use will not unreasonable or adversely affect traffic flow in the surrounding area.
5. The Special Use has been designed to meet all Town codes, regulations and requirements for that type of development.
6. The Special Use provides a meaningful interim use, to up 40 years, to the subject property; which may then develop in accordance with future land use compatibility, and town plans and codes in place at that time.

#### **Recommended Motion: Motion to Approve**

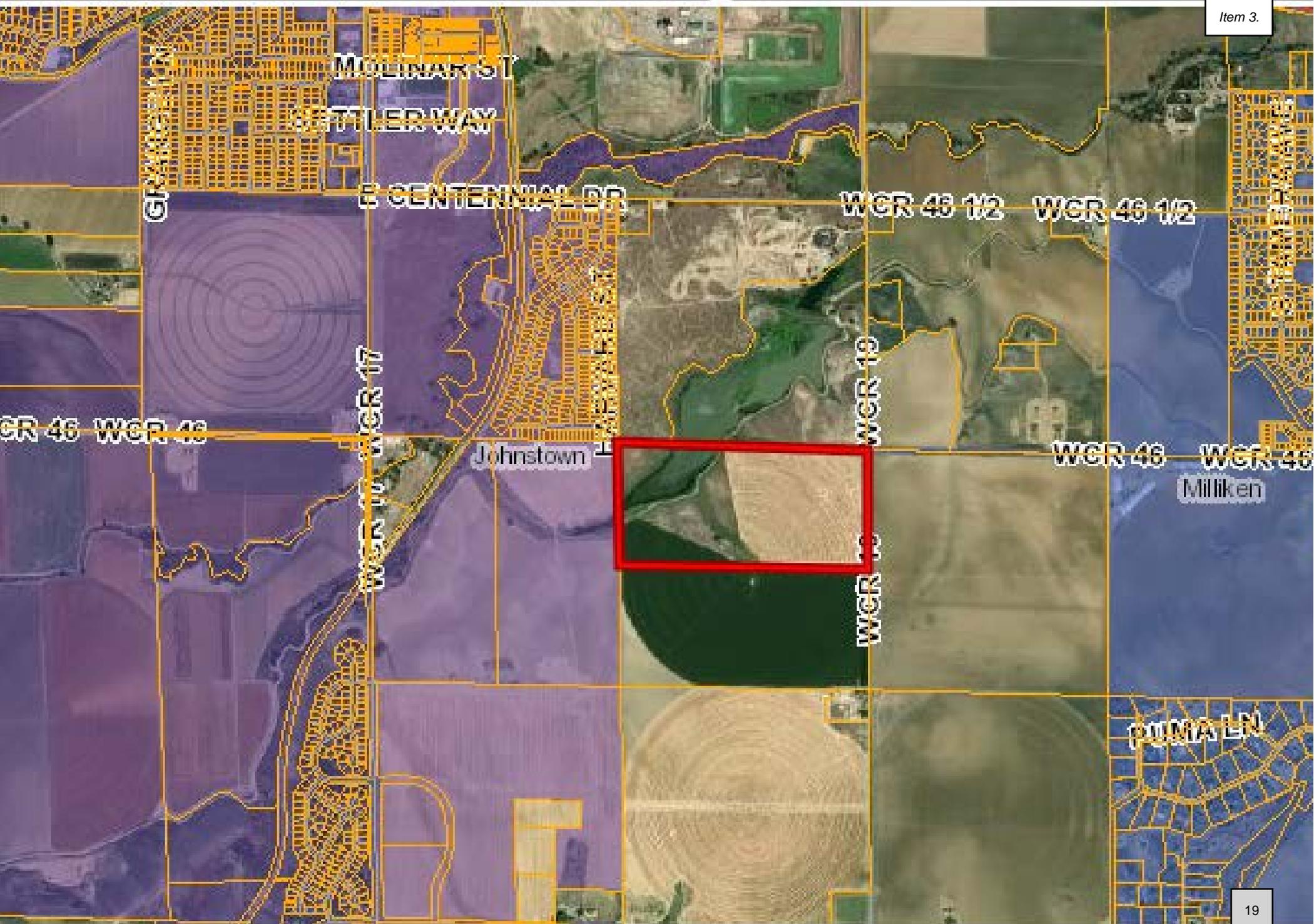
Based on the application materials received, analysis and presentations at this hearing, and findings noted in this staff memorandum, I move that the Planning & Zoning Commission recommend Approval to the Town Council for the Dove Solar LLC – Solar Array Project Use by Special Review.

#### **Motion to Recommend Denial**

I move that the Commission recommend to the Town Council Denial of the Dove Solar LLC – Solar Array Project Use by Special Review.

# ARCHDIOCESE ANNEX, ZONING AND DOVE SOLAR ODP AND USR

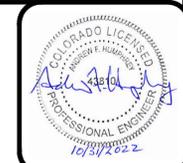
Item 3.



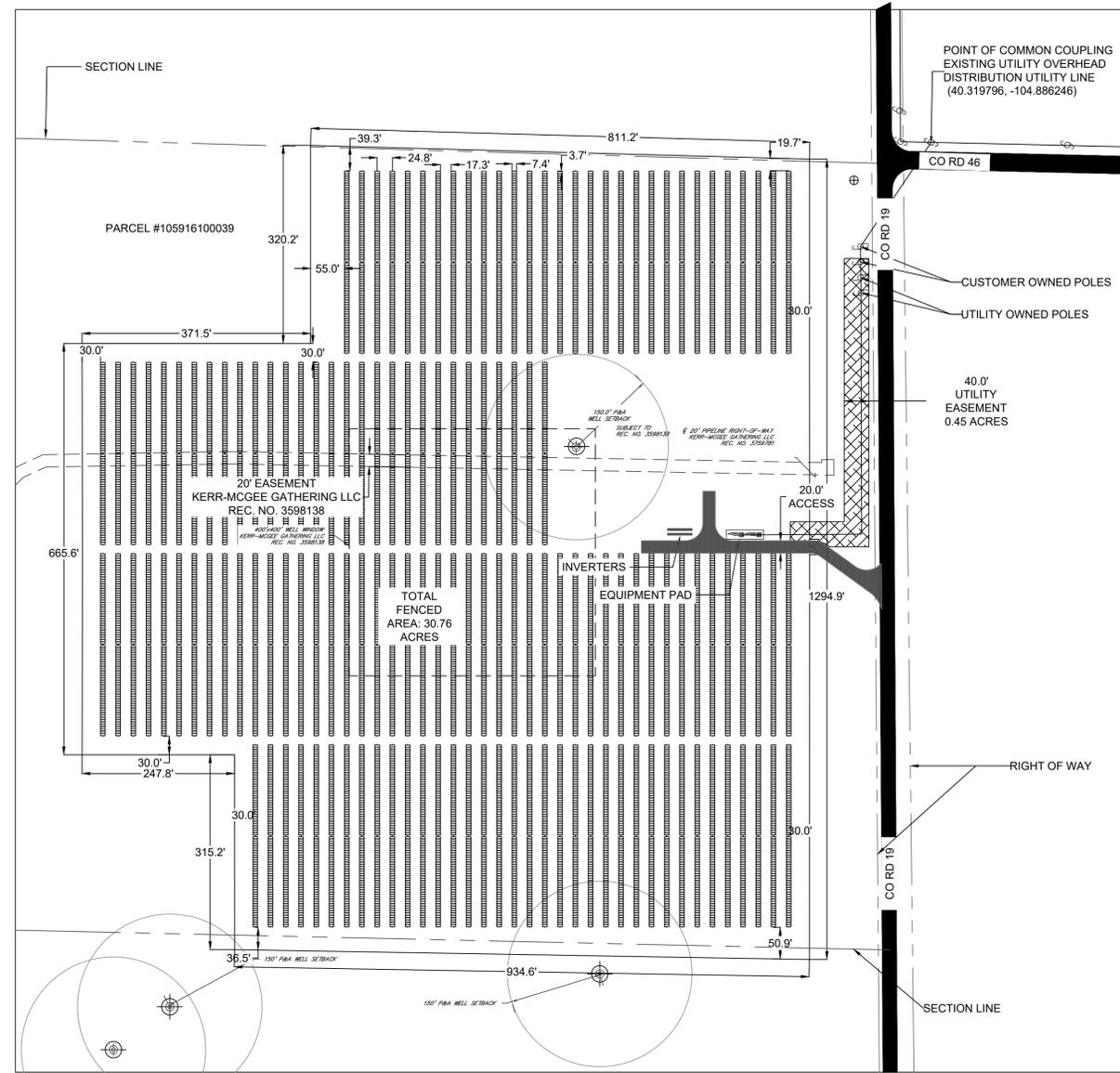
# USE BY SPECIAL REVIEW - DOVE SOLAR LLC

## 5000 kW-AC (5981.04 kW-DC) SOLAR ARRAY PROJECT

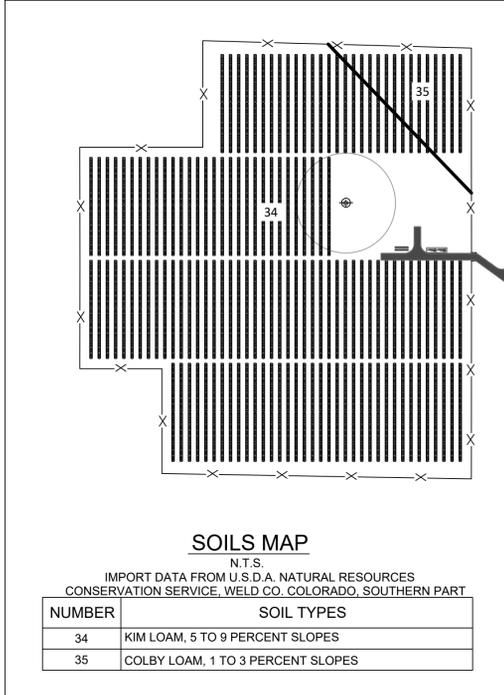
PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 4 NORTH,  
RANGE 67 WEST OF THE 6TH P.M., TOWN OF JOHNSTOWN, STATE OF COLORADO



REV	DATE	DWN.	ENG.	CHK.	DESCRIPTION
0	02/22/22	WA	AFH		FOR PERMIT
1	05/16/22	MM	AFH		FOR PERMIT
2	09/20/22	MM	AFH		FOR PERMIT
3	10/31/22	MM	AFH		FOR PERMIT



- FRONT RANGE FIRE RESCUE NOTES:**
1. THE PROPOSED NEW SOLAR FACILITY SHALL BE PROVIDED WITH A TOWN-ISSUED STREET ADDRESS, WHICH SHALL BE CLEARLY POSTED AT THE ACCESS ROAD POINT OF CONNECTION WITH WCR 19 SO IT IS VISIBLE FROM BOTH DIRECTIONS OF TRAVEL. THE ADDRESS NEEDS TO BE POSTED AS SOON AS THE SITE IS OCCUPIED WITH CONTRACTORS.
  2. IF NONE IS EXISTING, A FIRE HYDRANT WITHIN 600 FEET OF THE ACCESS ROAD, PREFERABLY ON WCR 19 AT THE SITE ACCESS ROAD, SHALL BE PROVIDED.
  3. THE SOLAR FACILITY'S ACCESS ROADWAY SHALL BE A MINIMUM OF 20 FEET WIDE, AS SPECIFIED IN THE ADOPTED 2018 INTERNATIONAL FIRE CODE.
  4. THE FIRE APPARATUS ACCESS ROAD SHALL BE ENGINEERED AND MAINTAINED TO SUPPORT AN 80,000-POUND FIRE APPARATUS IN ALL WEATHER CONDITIONS. REFER TO GEOTECHNICAL ENGINEERING REPORT BY TERRACON DATED SEPTEMBER 21ST, 2022 FOR ROADWAY CONSTRUCTION SPECIFICATIONS.
  5. THE FACILITY IS FULLY FENCED WITH A GATE PROVIDE OFF THE ACCESS ROADWAY. THE FIRE DISTRICT SHALL BE PROVIDED ACCESS THROUGH THIS GATE WITH EITHER AN APPROVED KNOX PADLOCK OR A KNOX KEY SWITCH.
  6. THE SITE SHALL BE MAINTAINED WITH A REGULAR MOWING PROGRAM TO ENSURE THAT LIGHTER FUELS, SUCH AS GRASSES AND WEEDS, ARE MAINTAINED AT APPROPRIATE HEIGHTS THAT DISCOURAGE THE SPREAD OF FIRE THROUGHOUT THE SITE AND PREVENT ACCIDENTAL FIRES OR SPREAD OF FIRES BEYOND THE SITE PERIMETER. REFER TO THE FACILITY SAFETY PLAN.



**SHEET LIST TABLE**

SHEET NUMBER	SHEET TITLE
T.100	COVER
C.101	SEEDING AND FENCING PLAN
E.101	SIGNS
C0.1	LEGEND, NOTES, & ABBREV.
C1.0	CIVIL SITE PLAN
CE1.0	GRADING, UTILITY & EROSION CONTROL PLAN
CE1.1	DETAILED GRADING PLAN
CD1.0	SWMP & SITE DETAILS
CD1.1	DETAILS

**FRONT RANGE FIRE RESCUE**

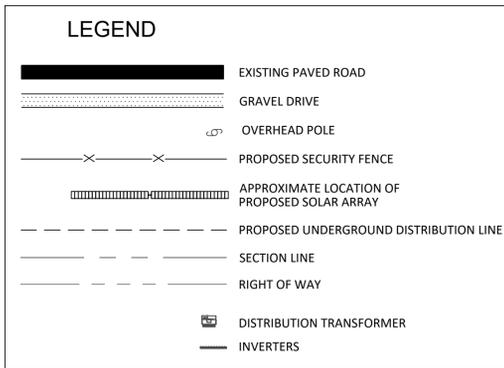
REVIEWED AND ACCEPTED: \_\_\_\_\_ Date \_\_\_\_\_

**TOWN OF JOHNSTOWN**

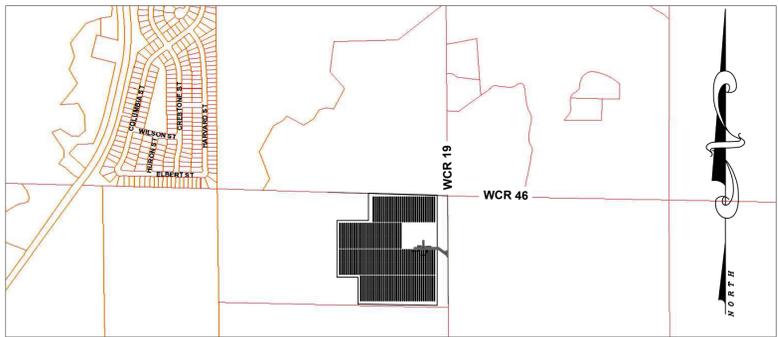
REVIEWED AND ACCEPTED: \_\_\_\_\_ Date \_\_\_\_\_  
Town Engineer, Town of Johnstown

REVIEWED AND ACCEPTED: \_\_\_\_\_ Date \_\_\_\_\_  
Director of Planning and Development, Town of Johnstown

REVIEWED AND ACCEPTED: \_\_\_\_\_ Date \_\_\_\_\_  
Public Works Department, Town of Johnstown



NOTE:  
1. DIMENSIONS ARE APPROXIMATE.



DOVE SOLAR LLC  
40.318276, -104.889787, JOHNSTOWN CO 80543  
COVER



**ANDREW HUMPHREY ENGINEERING**  
PO Box 18430 • Golden, CO 80402 • 303.590.5976  
www.AndrewHumphreyEngineering.com

JOB NO. 2021.136 SCALE AS SHOWN

T.100

# USE BY SPECIAL REVIEW - DOVE SOLAR LLC 5000 kW-AC (5981.04 kW-DC) SOLAR ARRAY PROJECT

PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 4 NORTH,  
RANGE 67 WEST OF THE 6TH P.M., TOWN OF JOHNSTOWN, STATE OF COLORADO



REV	DATE	DNW	ENG.	CHK.	DESCRIPTION
0	02/22/22	WA	WA	AFH	FOR PERMIT
1	05/16/22	MM	MM	AFH	FOR PERMIT
2	09/20/22	MM	MM	AFH	FOR PERMIT
3	10/31/22	AFH	AFH	AFH	FOR PERMIT

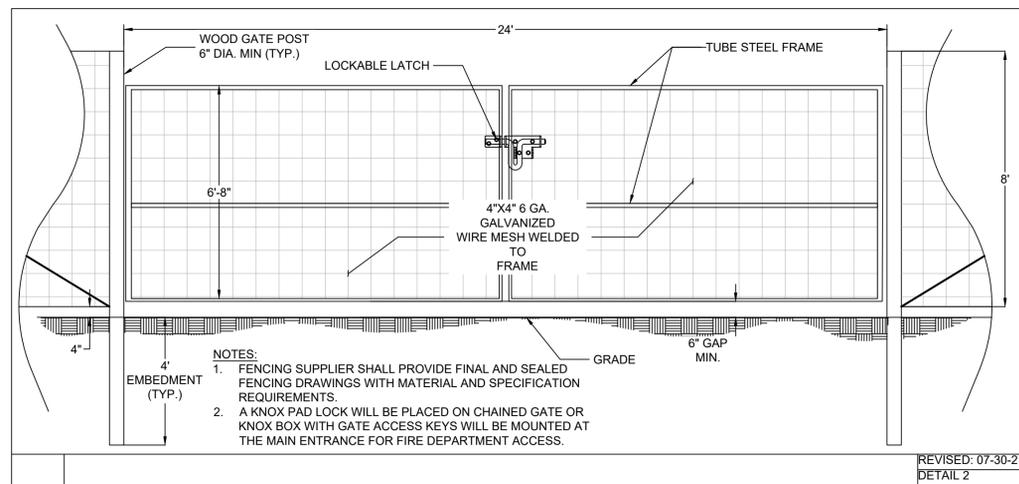
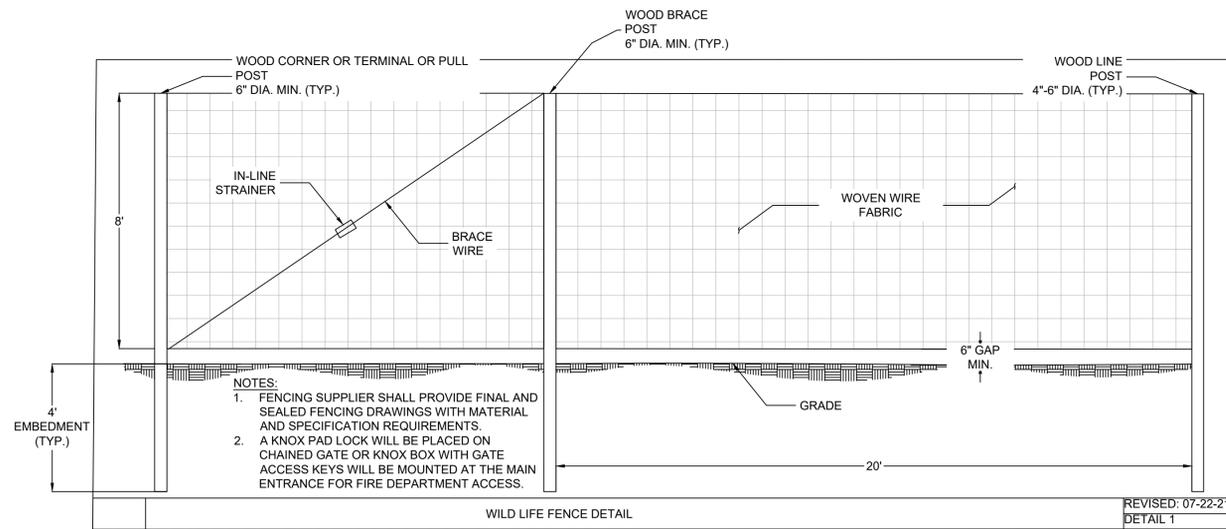
DOVE SOLAR LLC  
40.318276, -104.889787, JOHNSTOWN CO 80543  
**SEEDING AND FENCING PLAN**



ANDREW HUMPHREY ENGINEERING  
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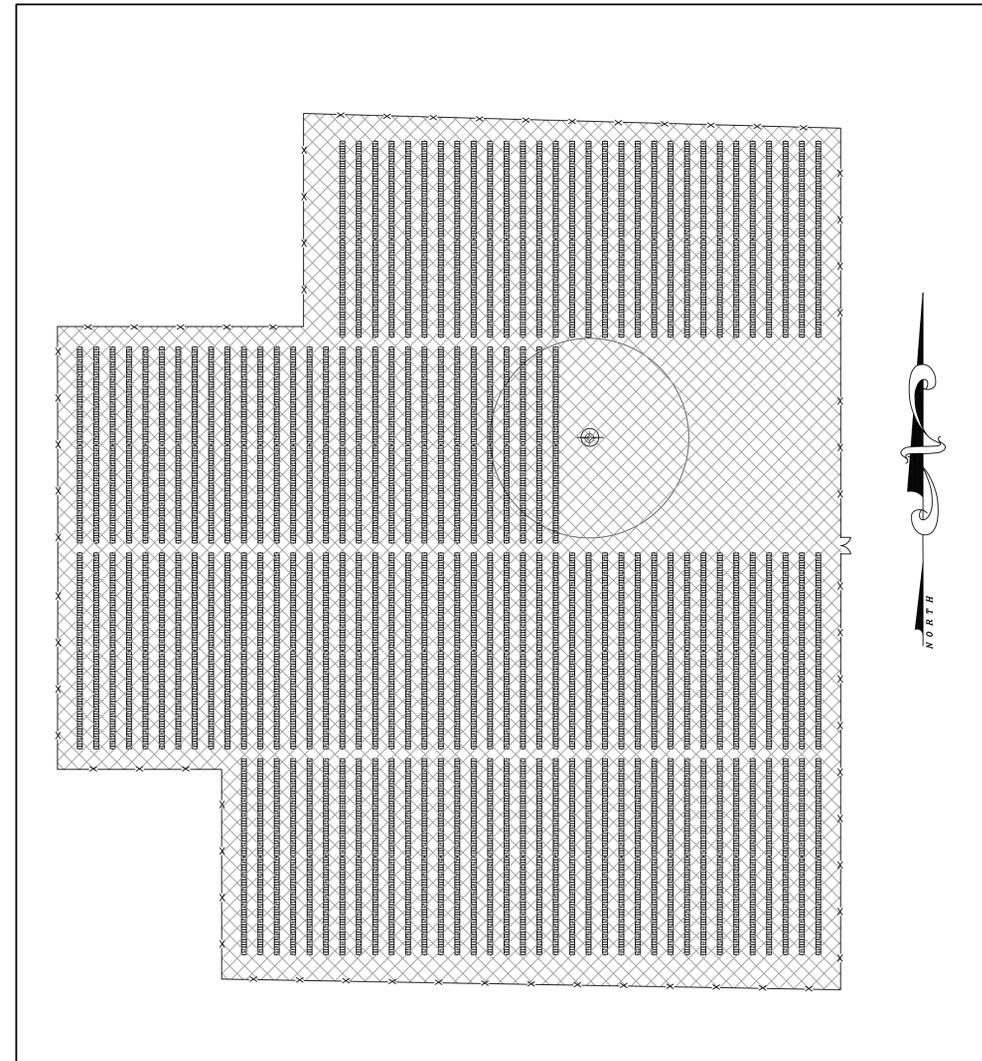
JOB NO. 2021.136 SCALE AS SHOWN

C.101



**NOTES:**

- THIS DEVELOPMENT IS BEING CONSTRUCTED IN A RURAL PART OF WELD COUNTY NEAR JOHNSTOWN, COLORADO. THE SITE IS LOCATED WEST OF THE INTERSECTION OF CR 19 AND CR 46 AND SOUTHWEST OF HILLSBORO RESERVOIR. THE SURROUNDING LAND IS PRIMARY BEING USED FOR AGRICULTURAL, RESIDENTIAL, RANCHING, AND OIL/GAS PURPOSES, WITH THE FOLLOWING USES IN THE IMMEDIATE AREA OF THE SUBJECT PROPERTY: TO THE NORTH IS AGRICULTURAL AND COMMERCIAL; TO THE NORTHWEST IS RESIDENTIAL; TO THE NORTHEAST IS AGRICULTURE; TO THE EAST IS AGRICULTURE AND OIL AND GAS; TO THE SOUTH IS AGRICULTURE, AND TO THE WEST AND SOUTHWEST IS AGRICULTURE AND OIL AND GAS.
- THIS DEVELOPMENT WILL BE CONSTRUCTED ON LEASED LAND.
- FOLLOWING THE START OF CONSTRUCTION, DISTURBED AREAS WITHIN THE LIMITS OF CONSTRUCTION, SUCH AS ROAD CUTS, UTILITY TRENCHES, WASTEWATER DISPOSAL FIELDS, BUILDING SITES, AND OTHER AREAS WHERE VEGETATION HAS BEEN REMOVED, ALTERED, OR ELIMINATED, WILL BE REVEGETATED WITH NATIVE GRASS.
- OTHER AREAS WHERE EXISTING VEGETATION HAS NOT REGROWN WILL BE RESEEDED.
- NOXIOUS WEEDS WILL BE CONTROLLED ON THE SUBJECT PROPERTY.
- FOR SECURITY AND PROTECTION OF THE PUBLIC AND WILDLIFE, THE PROPOSED SOLAR FACILITY WILL BE FENCED WITH A WILDLIFE FRIENDLY DECORATIVE FENCE. THE SELECTED FENCE WILL BLEND WITH THE NATURAL ENVIRONMENT AND WILL PREVENT WILDLIFE FROM ENTERING THE SITE CAUSING DAMAGE AND THEREFORE PROVIDING SECURITY OF THE IMPROVEMENTS.
- FENCING SHALL BE MAINTAINED AS NEEDED TO PROVIDE THE INTENDED SCREENING AND SECURITY OF THE PROPOSED IMPROVEMENTS.
- SCREENING DELINEATED WITH SECTION 23-4-1030C OF WELD COUNTY CODE.

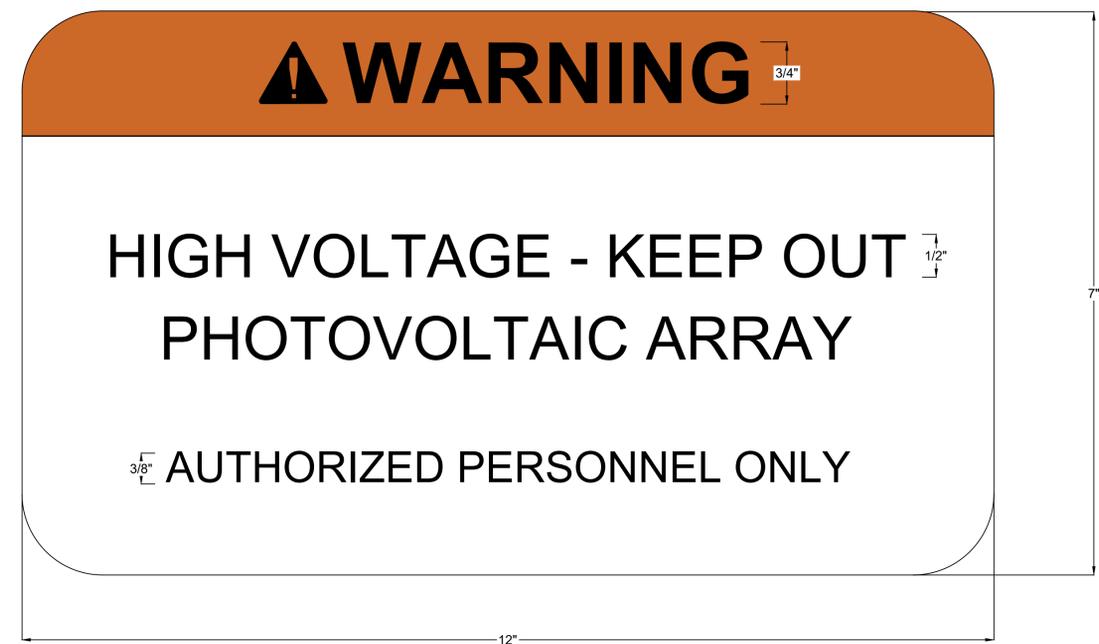


**USE BY SPECIAL REVIEW - DOVE SOLAR LLC**  
**5000 kW-AC (5981.04 kW-DC) SOLAR ARRAY PROJECT**  
 PART OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 16, TOWNSHIP 4 NORTH,  
 RANGE 67 WEST OF THE 6TH P.M., TOWN OF JOHNSTOWN, STATE OF COLORADO



PLANT IDENTIFICATION AT SITE ENTRANCE  
 CONTACT INFO WILL BE REVISED PRIOR TO CONSTRUCTION.

**GENERAL NOTES:**  
 1. ALL SIGNS SHALL BE SHOWN ON THE MAP AND SHALL ADHERE TO CHAPTER 16, ARTICLE XX, SECTION 16-364 OF THE TOWN OF JOHNSTOWN CODE. ADDITIONAL SIGNAGE WILL BE INCLUDED WITHIN THE SITE AS NEEDED PER NATIONAL ELECTRICAL CODE.



WARNING LABEL FOR AGRICULTURAL SECURITY FENCE SPACED EVERY 100 FEET AROUND PERIMETER OF ARRAY.



REV	DATE	DWN	ENG.	CHK	DESCRIPTION
0	02/22/22	WA	WA	AFH	FOR PERMIT
1	05/16/22	MM	MM	AFH	FOR PERMIT
2	09/20/22	MM	MM	AFH	FOR PERMIT
3	10/31/22	AFH	AFH	AFH	FOR PERMIT

DOVE SOLAR LLC  
 40.318276, -104.889787, JOHNSTOWN CO 80543  
**SIGNS**



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JOB NO. 2021.136      SCALE NONE

**E.101**

ABBREVIATIONS

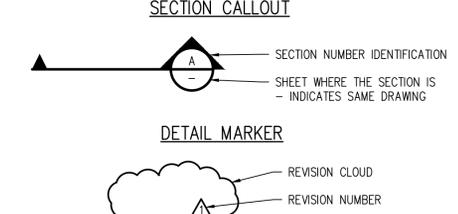
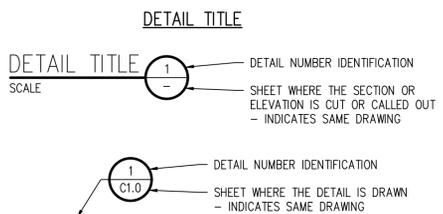
Table of abbreviations for various engineering terms, including AASHTO, ABAN, AC, ADDL, ADDM, ADJ, AL, ALT, AMT, APPROX, ARCH, ARV, ASTM, ASPH, ASSY, ASYM, AUTO, AVG, AWWA, BC, BCV, BLDG, BLK, BM, BMP, BS, BOS, BOT, BSMT, BVCE, BVC5, CB, CCW, CDOT, CIP, CJ, CL, CLR, CMP, CMU, CO, CONC, CONST, CONT, CR, CTR, CY, DEMO, DIA, DIP, DOM, DN, DR, DWG, DWL, E, EA, ECC, EJ, EL, ELEC, ENGR, EQ, EQUIP, EQUIV, ESMT, EST, EVCE, EVCS, EW, EXP, JT, EXIST, FND, FES, FF, FG, FH, FL, FN, FOC, FPM, FFS, FT, FTG, G, GA, GAL, GALV, GCO, GIP, GND, GPD, GPM, GR, GRTG, GSP, GV, H, HB, HE, HDWL, HNDRL, HORIZ, HP, HR, HVAC, HWY, HWL, HYD, INCL, ID, IN, INSUL, INV, IRR, JTS, KO, KPL, KKY, L, LSCAPE, LF, LP, LT, LWL, MAINT, MAN, MATL, MAX, ME, MECH, MFR, MH, MIN, MISC, MJ, NA, NP, NPT, NTS, OC, OD, OPP, OPT, PC, PCO, PCR, PI, PVI, PL, PE, PREFAB, PRELIM, PREP, PROP, PRV, PSF, PSI, PT, PY, PVC, PWMT, QTY, R, RAD, RCP, RD, RE, RECT, REINF, REOD, ROW, SAN, SD, SECT, SPD, SPEC, SQ, SQ IN, SQ FT, SQ YD, SSS, STA, STD, STL, STRUCT, SVC, SWMP, SYM, TB, TBC, TBM, TEMP, TG, THK, TOB, TOC, TOS, TOT, TR, TYP, UBC, UGE, UTIL, VERT, VC, VCP, W, W/O, WOCE, WSE, WW, X SECT, XFMR, YH.

DESIGN LEGEND

Design legend symbols and descriptions: BENCHMARK, MANHOLE, AREA DRAIN, COMBINATION INLET, TYPE R INLET, FLARED END SECTION W/ RIPRAP, TEE W/ THRUST BLOCK, BEND W/ THRUST BLOCK, END CAP W/ THRUST BLOCK, GATE VALVE, REDUCER/INCREASER, WATER METER, FIRE HYDRANT, STORM - 12" AND SMALLER, STORM - LARGER THAN 12", ROOF DRAIN, TRENCH DRAIN, UNDERDRAIN, SANITARY SEWER, FORCE MAIN, WATER, NON POTABLE WATER, POTABLE WATER, IRRIGATION, IRRIGATION - LARGER THAN 12", CABLE TV, DRAIN, ELECTRIC, UNDERGROUND ELECTRIC, OVERHEAD ELECTRIC, TELEPHONE, FIBER OPTIC, LIMITS OF FUEL, GAS, PVC PIPE (MISC), FENCE, FLOW LINE OF DITCH OR WASH, SLOPE ARROW, PROPOSED SPOT ELEVATION, EXIST SPOT ELEVATION, EXIST INDEX CONTOUR, EXIST INTERMEDIATE CONTOUR, PROPOSED INDEX CONTOUR, PROPOSED INTERMEDIATE CONTOUR, CURB AND GUTTER, SPILL/CATCH CURB TRANSITION, SIGN W/ POST, CURB RAMP, SIDEWALK CHASE, SIDEWALK, CONCRETE PAVING, HEAVY DUTY CONCRETE PAVING, HEAVY DUTY ASPHALT PAVING, LIGHT DUTY ASPHALT PAVING, GRAVEL, PROPOSED BUILDING, BUILDING ACCESS, RETAINING WALL, BOULDER/ROCK WALL, LIMITS OF SAWCUT, LIMITS OF FUEL, EASEMENT LINE, PROPERTY LINE, ADJACENT PROPERTY LINE/ROW, MATCHLINE.

GENERAL NOTES

- 1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE TOWN OF JOHNSTOWN, COLORADO DEPARTMENT OF TRANSPORTATION, FRONT RAGE FIRE DISTRICT REQUIREMENTS, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE FRONT RAGE FIRE DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.
2. THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY OWNER, OWNER'S REPRESENTATIVE, MUNICIPAL/DISTRICT INSPECTOR, GEOTECHNICAL ENGINEER, ENGINEER AND/OR UTILITY OWNER AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION, PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
4. THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE ENGINEER AND/OR OWNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS SHOWN ON PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM MUNICIPALITY/UTILITY OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UCCO.ORG). SEE SURVEY UTILITY LOCATION INFORMATION BELOW.
5. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR CITY APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ADJUTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. GROUNDWATER TO BE PUMPED SHALL BE TESTED, PERMITTED, AND PUMPED PER THE STATE OF COLORADO AND LOCAL GROUNDWATER DISCHARGING PERMIT REQUIREMENTS.
7. RIM AND GRATE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.
8. THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, THRESHOLDS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA, EXISTING CONDITIONS, AND DATA PROVIDED BY OTHERS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES.
9. FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN SLOPES ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.
10. ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC.
11. OWNER TO APPROVE ALL PRIVATE CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
12. ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.
13. THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, MILE HIGH FLOOD DISTRICT "URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3", THE M-STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.
14. PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRIPLINE OF TREES.
15. LOCATIONS OF CLEANOUTS, LIGHTS, SIGNAGE, JUNCTION BOXES, AND OTHER SIGNIFICANT SITE FEATURES TO BE STAKED FOR ENGINEER AND OR OWNER APPROVAL PRIOR TO WORK. CLEANOUTS, JUNCTION BOXES, AND ADJACENT GRADES TO BE RAISED ONE-HALF INCH AT ASPHALT/CONCRETE (OR 1" AT LANDSCAPING) TO PROVIDE POSITIVE DRAINAGE AWAY FROM FEATURES.
16. SURVEY INFORMATION:
16.1. BENCHMARK INFORMATION: TOPOGRAPHIC INFORMATION WAS PROVIDED BY LAT40° INC. PROFESSIONAL LAND SURVEYING. SEE ALTA/NSPS LAND TITLE SURVEY DATED 03/02/22. PROJECT BENCHMARK: CP99 -12" SPIKE AT SOUTHWEST CORNER OF SITE. ELEVATION: 4877.8' (NAVDB8).
16.2. BASIS OF BEARINGS: ASSUMING THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 16, T.4N., R.67W., AS MONUMENTED BY A 2.5" ALUMINUM PIPE WITH A 3.25" ALUMINUM CAP STAMPED LS 13155 AT THE NORTH END AND BY A #6 REBAR WITH A 2.0" ALUMINUM CAP STAMPED LS 22097 AT THE SOUTH END, AS BEARING SOUTH 00 44'50" EAST BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 / 2007, A DISTANCE OF 2592.40' FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.
16.3. HORIZONTAL CONTROL INFORMATION: HORIZONTAL CONTROL COORDINATES ARE BASED ON THE REFERENCED SURVEY AND ARE PROVIDED BY THE FOLLOWING POINTS AS SHOWN ON THE PLANS:
CP-1 N:1359002.64 E:3170581.26 PIVOT CENTER
CP-2 N:1361219.91 E:3282559.03 POINT OF COMMENCEMENT (NE CORNER)
CP-99 N:1358932.72 E:3178179.35 ELEV:4877.70 12" NAIL
16.4. SURVEY UTILITY LOCATION INFORMATION PER THE SURVEYOR: SUBSURFACE UTILITIES ARE SHOWN IN APPROXIMATE HORIZONTAL AND VERTICAL LOCATIONS CONSISTENT WITH ASCE 38-02 QUALITY LEVEL "B" (INFORMATION OBTAINED BY THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND HORIZONTAL POSITION OF VIRTUALLY ALL UTILITIES WITHIN THE PROJECT LIMITS. THE INFORMATION OBTAINED IN THIS MANNER IS SURVEYED TO PROJECT CONTROL) AND QUALITY LEVEL "C" (INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D; INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS), AND BASED ON FIELD MEASUREMENTS PROVIDED BY THE OWNER AND THE CONTRACTOR. SUBSURFACE UTILITIES ARE NOT DEPICTED TO THE EXTENT SET FORTH IN ASCE 38-02 QUALITY LEVELS "A" (INFORMATION OBTAINED THROUGH THE NONDESTRUCTIVE EXPOSURE OF UNDERGROUND UTILITIES, AND ALSO PROVIDES THE TYPE, SIZE, CONDITION, MATERIAL AND OTHER CHARACTERISTICS OF UNDERGROUND FEATURES). TO THE EXTENT DEEMED NECESSARY FOR THE PROTECTION OF PERSONS AND PROPERTY, POTHOLES OR OTHER PRECISE MAPPING MAY BE COMPLETED TO CONFIRM THE EXACT LOCATION OF ANY SUBSURFACE UTILITIES. NOTIFY OWNER AND ENGINEER WITH ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION. VISIT HTTPS://WWW.FHWA.DOT.GOV/PROGRAMADMIN/SUEINDEX.CFM FOR MORE INFORMATION.
17. THE CONTRACTOR AT THE CONTRACTORS EXPENSE SHALL FURNISH THE OWNER AND ENGINEER OF RECORD A COMPLETE SET OF CONSTRUCTION RECORD DRAWINGS ("AS-BUILTS") FOR THE CONSTRUCTED IMPROVEMENTS. THE AS-BUILT SET SHALL SHOW SUFFICIENT DIMENSION TIES TO PERMANENT SURFACE FEATURES OR NORTHING/EASTING POINTS FOR ALL BURIED FACILITIES TO ALLOW FOR FUTURE LOCATING. THE AS-BUILT SET SHALL SHOW AS-BUILT DIMENSIONS AND ELEVATIONS OF ASPHALT AND CONCRETE FLATWORK, FLOWLINES, GRADE BREAKS, STAIRS, CROSS-SLOPES, HIGH AND LOW POINTS, AND ADDITIONAL ELEVATIONS TO DEMONSTRATE IMPROVEMENTS WERE CONSTRUCTED PER PLANS. THE AS-BUILT SET SHALL SHOW ELEVATIONS OF ALL DETENTION/WATER QUALITY FACILITIES, INCLUDING BUT NOT LIMITED TO BERMS, SPILLWAYS, BASIN BOTTOM, PIPE INVERTS, AND CONTROL STRUCTURE FEATURES (AS SURVEYED AND STAMPED BY A CERTIFIED P.L.S.). THE AS-BUILT SET SHALL ALSO INCLUDE ELEVATIONS OF MANHOLES, PIPES, INLETS, GRATES, AND SIZES OF ALL UTILITIES. THE AS-BUILT SET SHALL SHOW ANY AND ALL VARIATIONS FROM THE APPROVED PLAN. ENGINEER WILL PRODUCE FINAL RECORD DRAWINGS.



SURVEY LEGEND

Survey legend symbols and descriptions: WATER LINE, WATER VALVE, WATER METER, FIRE HYDRANT, SANITARY SEWER LINE, SANITARY SEWER MANHOLE, STORM DRAINAGE LINE, STORM DRAINAGE MANHOLE, CURB INLET, UNDERGROUND ELECTRICAL LINE, OVERHEAD ELECTRICAL LINE, ELECTRICAL POLE, GUY WIRE, ELECTRICAL TRANSFORMER, ELECTRICAL RISER, ELECTRIC VAULT, LIGHT POLE, DECORATIVE LIGHT, FIBEROPTIC LINE, TELEPHONE LINE, TELEPHONE RISER, GAS LINE, INDICATION OF ACCESS, BUILDING, BENCHMARK AS DESCRIBED, FOUND MONUMENT, TEST CP, UTILITY LOCATED FROM MAP, AS MEASURED AT TIME OF SURVEY, CALCULATED FROM RECORD AND AS MEASURED INFORMATION, PLAT, RECORDED, MAILBOX, CONCRETE, EDGE OF ASPHALT, GRAVEL, FENCE, GUARDRAIL, BOLLARD, SIGN, CONFEROUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS), DECIDUOUS TREE (TRUNK DIAMETER/DRIP LINE RADIUS), BOULDER.

NOTE: SHADED ITEMS REPRESENT EXIST FEATURES

Logo for CONSULTING ENGINEERS, JVA, Inc., 1319 Spruce Street, Boulder, CO 80302, 303.444.1951, www.jvayva.com

Table with columns: REV, DATE, DWNL, MGS, CHK, DESCRIPTION, K/C, FIRST SUBMITTAL, K/C, VILLAGE COMMENTS, K/C, VILLAGE COMMENTS, K/C, FIRE DIST. COMMENTS.

DOVE SOLAR LLC, 40-318252, -104-886743 WELD COUNTY, CO 80543, LEGEND, NOTES & ABBREV.

SunShare logo and ANDREW HUMPHREY ENGINEERING logo.

ANDREW HUMPHREY ENGINEERING logo and contact information: PO Box 18430 • Golden, CO 80402 • 303-990-9976, www.AndrewHumphreyEngineering.com

JOB NO. 2022.0XX, SCALE 1"=1', SRC083130, C0.1



Know what's below. Call before you dig.



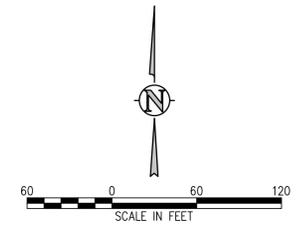
REV	DATE	DWN	ENG	CHK	DESCRIPTION
0	5/18/22	MGS	KMH	KJC	FIRST SUBMITTAL
1	9/22/22	KMH	KMH	KJC	VILLAGE COMMENTS
2	10/4/22	KMH	KMH	KJC	VILLAGE COMMENTS
3	11/21/22	KMH	KMH	KJC	FIRE DIST. COMMENTS

**HORIZONTAL CONTROL NOTES:**

1. ALL DIMENSIONS AND RADI ARE TO EDGE OF DRIVEWAY OR PROPOSED FENCE.
2. CONTRACTOR TO REPAIR/REPLACE ALL DAMAGE TO EXISTING FLATWORK OR SITE FEATURES NOT INTENDED FOR DEMOLITION.
3. REFER TO GRADING AND DRAINAGE PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER, CHASES, AND DRAINAGE PANS.

**HORIZONTAL CONTROL LEGEND**

GRAVEL DRIVE



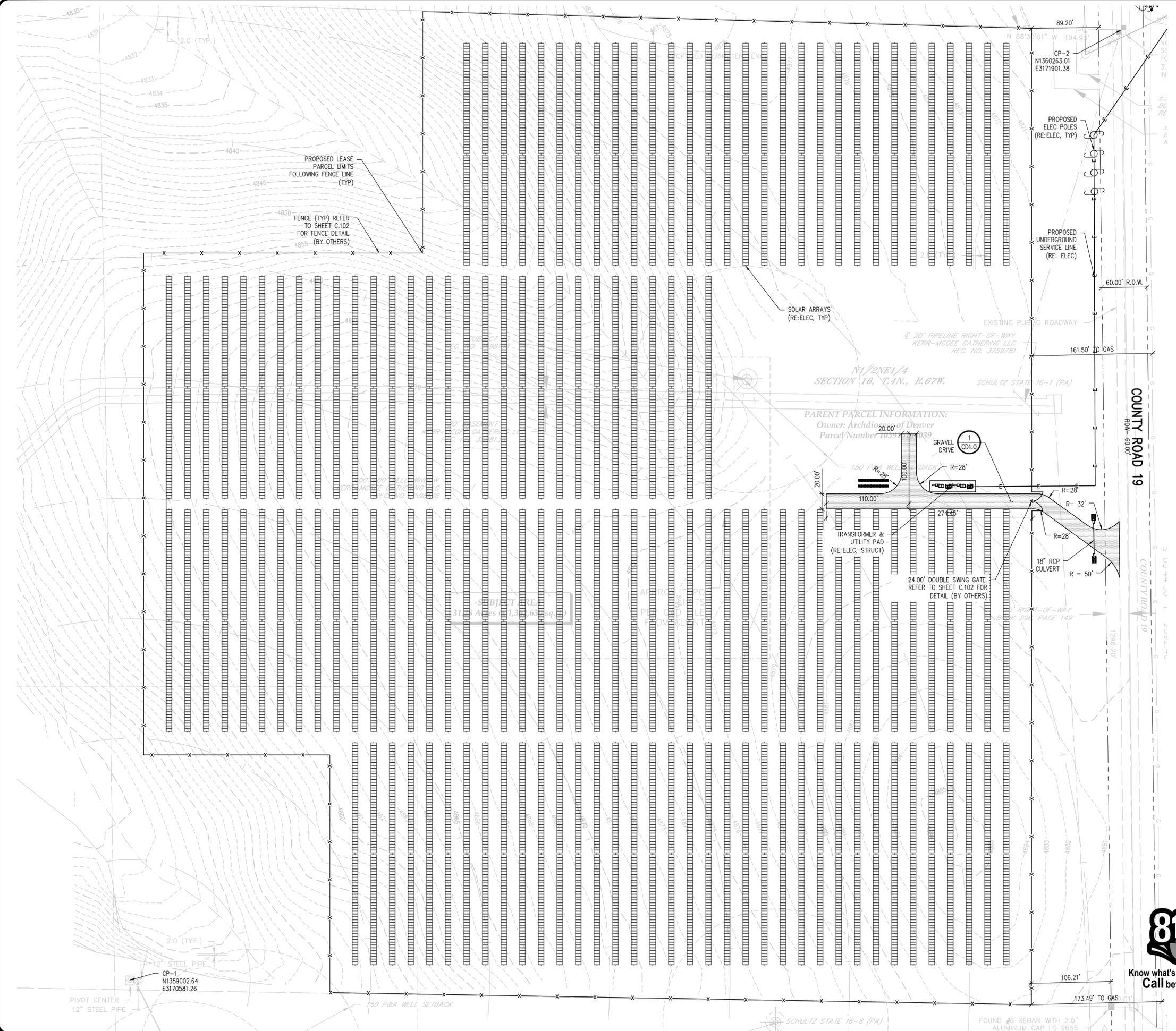
**DOVE SOLAR LLC**  
 40.318252, -104.886743 WELD COUNTY, CO 80543  
 CIVIL SITE PLAN



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JOB NO. SRC083130  
 SCALE 1" = 80'

**C1.0**





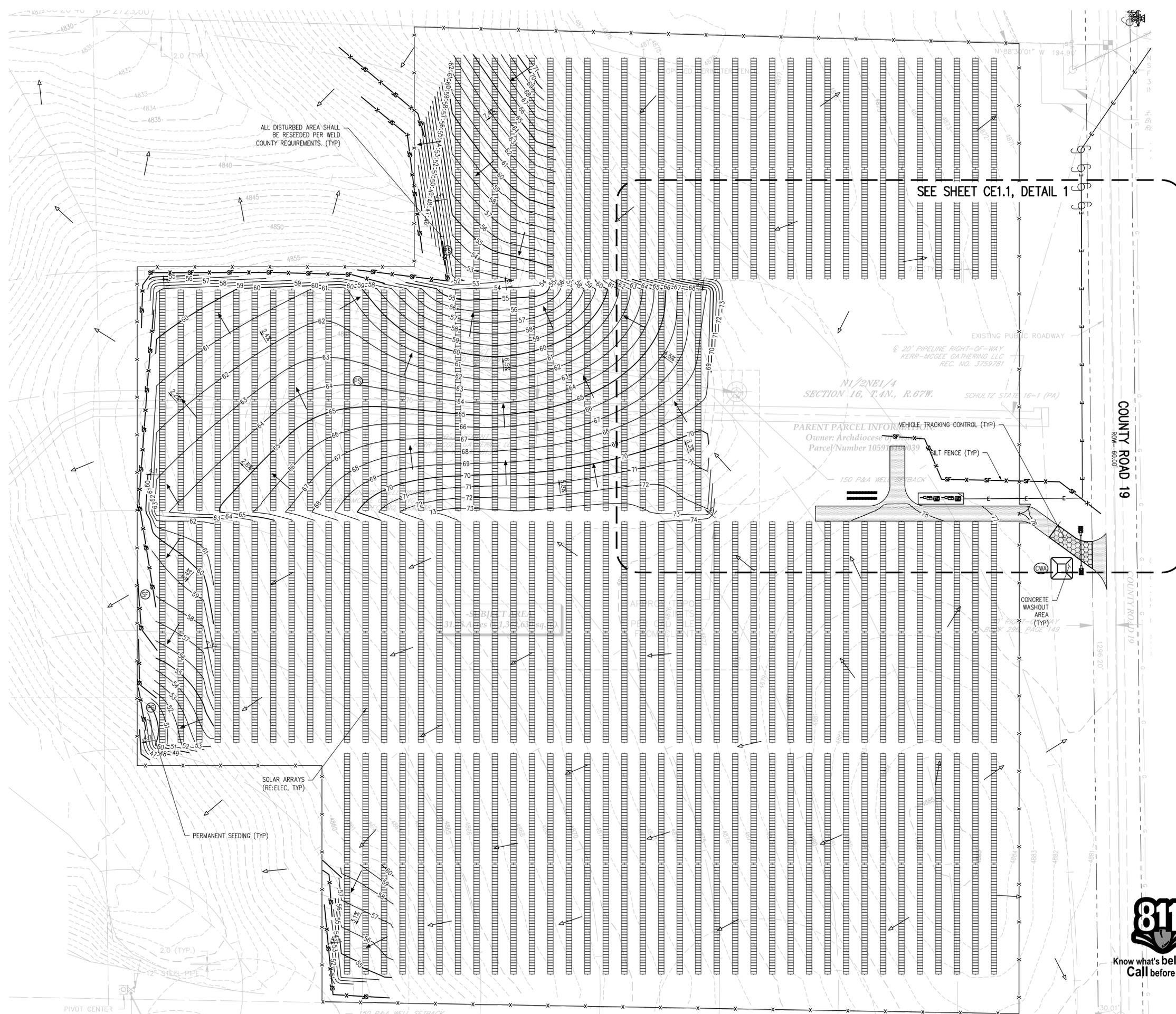
REV	DATE	DWNL	ENG.	CHK	DESCRIPTION
0	5/18/22	MG	KMH	KJC	FIRST SUBMITTAL
1	9/22/22	KMH	KMH	KJC	VILLAGE COMMENTS
2	10/4/22	KMH	KMH	KJC	VILLAGE COMMENTS
3	11/21/22	KMH	KMH	KJC	FIRE DIST. COMMENTS

**DOVE SOLAR LLC**  
 40.318252, -104.886743 WELD COUNTY, CO 80543  
**GRADING, UTILITY & EROSION CONTROL PLAN**



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 SCALE 1" = 80'  
**CE1.0**



**GRADING AND DRAINAGE NOTES:**

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
- REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER, CHASES, AND DRAINAGE PANS.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS.
- ALL SPOT ELEVATIONS ARE TO FINISHED GRADE OR FLOWLINE UNLESS OTHERWISE SPECIFIED.
- IF WALL IS SHOWN, TG DENOTES THE FINISHED GRADE ADJACENT TO THE HIGH SIDE OF THE WALL. BG DENOTES THE FINISHED GRADE ADJACENT TO THE LOW SIDE OF THE WALL. REFER TO ARCH PLANS/DETAILS FOR WALL ELEVATIONS BEYOND THE ADJACENT FINISHED GRADES (EXPOSED WALL, CAP/FOOTER, ETC.)

**EROSION AND SEDIMENTATION NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL CONTROLS DURING INITIAL, INTERIM, AND FINAL CONDITIONS.
- ALL CONTROLS SHALL BE INSTALLED WITHIN THE PROPERTY LINES UNLESS OTHERWISE SPECIFIED. WHEN CONSTRUCTION ACTIVITIES DISTURB ADJACENT AND/OR RIGHT-OF-WAY PROPERTIES, COORDINATION WITH PROPERTY OWNERS IS REQUIRED PRIOR TO CONSTRUCTION.

**EROSION CONTROL BMP SEQUENCING:**

INITIAL (PRIOR TO CONSTRUCTION)

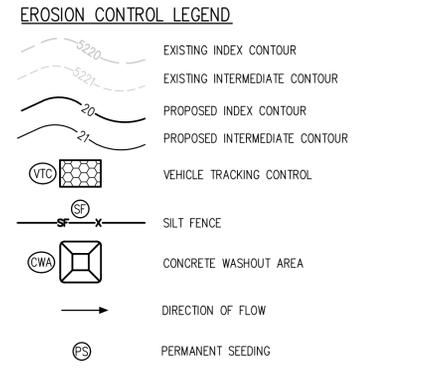
- INSTALL SILT FENCE
- INSTALL CWA
- INSTALL VTC

INTERIM (DURING CONSTRUCTION)

- MAINTAIN ALL BMP'S

FINAL (AFTER CONSTRUCTION)

- REMOVE SILT FENCE
- REMOVE CWA
- REMOVE VTC
- PERMANENT SEEDING FOR ALL DISTURBED AREAS

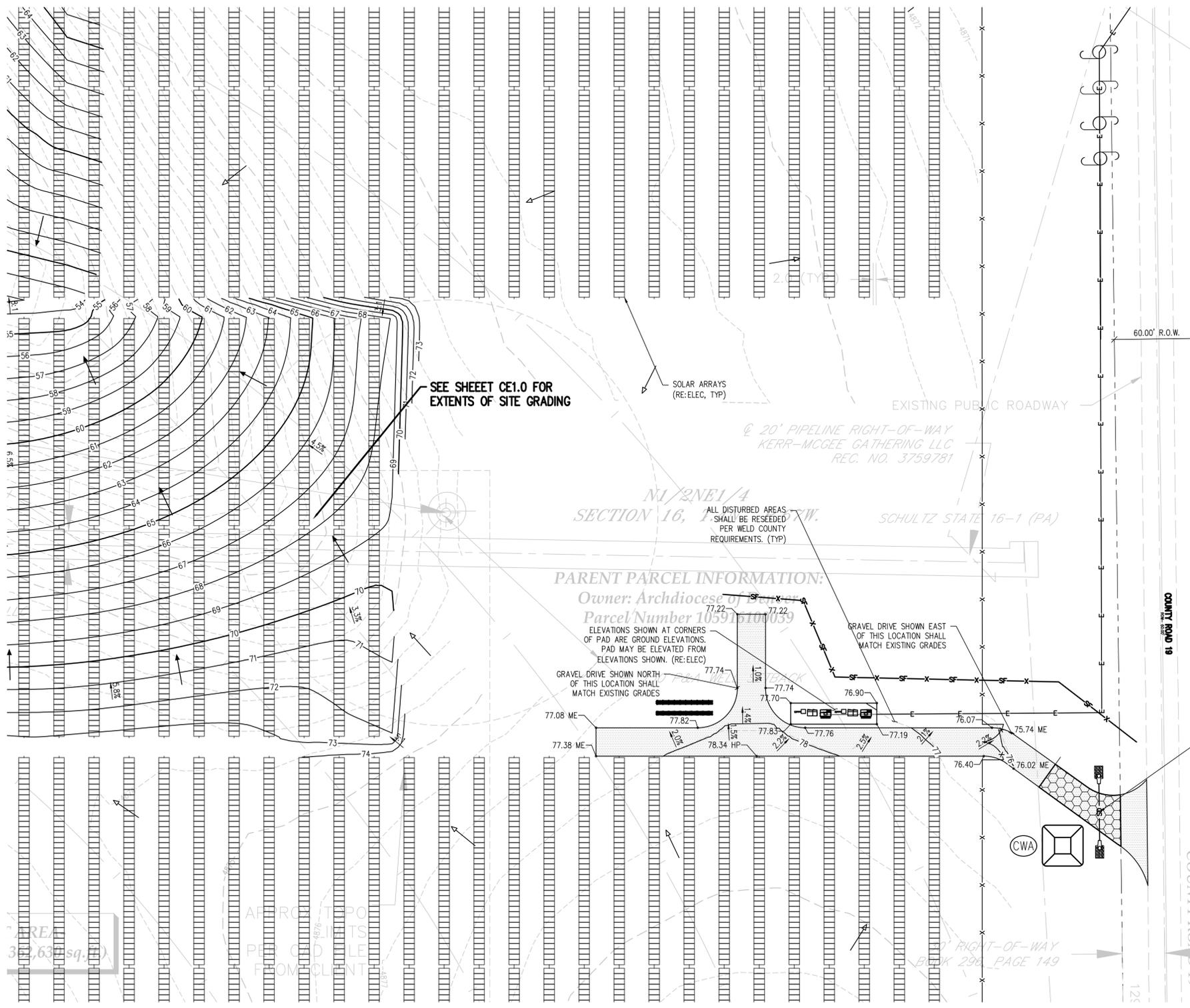


Know what's below.  
 Call before you dig.

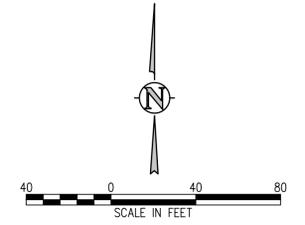


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REV	DATE	BY	CHK	DESCRIPTION
0	5/18/22	MGS	KJC	FIRST SUBMITTAL
1	9/22/22	KMH	KJC	VILLAGE COMMENTS
2	10/4/22	KMH	KJC	VILLAGE COMMENTS
3	11/21/22	KMH	KJC	FIRE DIST. COMMENTS



REC. NO. 2904660  
 ±60' X 80' UTILITY EASEMENT  
 BOOK 1134, REC. NO. 02076231  
 REC. NO. 2904660



**GRADING AND DRAINAGE NOTES:**

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
- REFER TO HORIZONTAL CONTROL PLAN FOR FURTHER INFORMATION PERTAINING TO CURB & GUTTER, CHASES, AND DRAINAGE PANS.
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**EROSION CONTROL BMP SEQUENCING:**

INITIAL (PRIOR TO CONSTRUCTION)

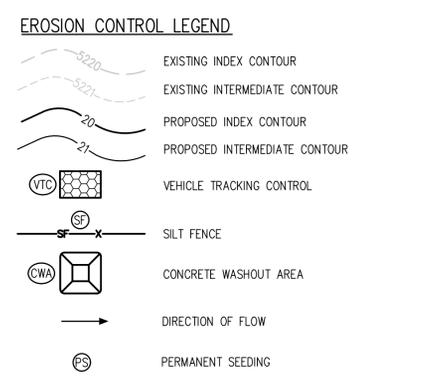
- INSTALL SILT FENCE
- INSTALL CWA
- INSTALL VTC

INTERIM (DURING CONSTRUCTION)

- MAINTAIN ALL BMP'S

FINAL (AFTER CONSTRUCTION)

- REMOVE SILT FENCE
- REMOVE CWA
- REMOVE VTC
- PERMANENT SEEDING FOR ALL DISTURBED AREAS



**DOVE SOLAR LLC**  
 40.318252, -104.886743 WELD COUNTY, CO 80543  
 DETAILED GRADING PLAN



**ANDREW HUMPHREY ENGINEERING**  
 PO Box 18430 • Golden, CO 80402 • 303.590.5976  
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JOB NO. 2022.0XX SCALE 1" = 40'  
 SRC083130  
**CE1.1**



# STORMWATER MANAGEMENT PLAN (SWMP)

THIS STORMWATER MANAGEMENT PLAN IS TO BE RETAINED AND MAINTAINED ONSITE INCLUDING FINAL LANDSCAPING PLANS AND ANY OTHER EROSION CONTROL DOCUMENTATION. A SWMP ADMINISTRATOR WILL BE DESIGNATED BY THE CONTRACTOR AND IS RESPONSIBLE FOR DEVELOPING, IMPLEMENTING, MAINTAINING, AND REVISING THIS SWMP. THE SWMP ADMINISTRATOR IS THE CONTACT FOR ALL SWMP-RELATED ISSUES AND IS RESPONSIBLE FOR ITS ACCURACY, COMPLETENESS, AND IMPLEMENTATION. THE FOLLOWING HAS BEEN DESIGNATED AS THE SWMP ADMINISTRATOR FOR THIS PROJECT:

NAME: \_\_\_\_\_  
 CONTACT INFO: \_\_\_\_\_

THE SITE IS LOCATED SW OF THE INTERSECTION AT COUNTY ROAD 46 AND COUNTY ROAD 19 AND AT APPROXIMATELY 40.31825 LATITUDE, -104.886743 LONGITUDE. THE PROPOSED PROJECT CONSISTS OF OVERLOT GRADING, AN 18" DRAINAGE CULVERT AND AN ENTRANCE DRIVE CONSTRUCTION IN THE TOWN OF JOHNSTOWN. THE TOTAL SITE AREA IS APPROXIMATELY 39.96 ACRES WITH AT TOTAL DISTURBANCE OF 7.74 ACRES. NO AREAS GREATER THAN 40 ACRES SHALL BE DISTURBED AT ANY GIVEN TIME. NO CONSTRUCTION ACTIVITIES SHALL OCCUR OFFSITE OR OUTSIDE OF THE CONSTRUCTION LIMITS SHOWN ON THE CONSTRUCTION DOCUMENTS. THE SEQUENCE OF CONSTRUCTION STARTS IS AS FOLLOWS:

PHASE	ESTIMATED	ACTUAL
CONSTRUCTION START	TBD	_____
GRAVEL DRIVE AND OVERLOT GRADING	TBD	_____
GRAVEL ROAD INSTALLATION	TBD	_____
SITE RESTORATION	TBD	_____

THE EXISTING SITE CONSISTS OF NATIVE GRASSLAND, VEGETATION, AND OPEN RANGE. THE ESTIMATED HISTORIC AND DEVELOPED RUNOFF COEFFICIENTS ARE 0.13 AND 0.13 RESPECTIVELY.

THE EXISTING SITE CURRENTLY DOES NOT HAVE ANY REGIONAL DETENTION OR WATER QUALITY FEATURES. HISTORICALLY THE SITE HAS A DRAINAGE DIVIDE NEAR THE EAST OF THE SITE BREAKING IT INTO TWO DRAINAGE BASINS H-1, H-2. HISTORIC BASIN H-1 IS SLOPED FROM EAST TO WEST TOWARD THE EXISTING OVERFLOW DITCH TOWARD HILLSBORO RESERVOIR. HISTORIC BASIN H-2 IS FLOWS NORTHEAST AT A RELATIVE UNIFORM SLOPE. PLEASE REFER TO THE HISTORIC DRAINAGE MAP (FIG-1) FOR MORE INFORMATION ON EXISTING DRAINAGE PATTERNS. A DRAINAGE REPORT FOR THIS DEVELOPMENT HAS BEEN SUBMITTED TO THE ENGINEER ON RECORD.

OTHER POTENTIAL POLLUTION SOURCES SUCH AS VEHICLE FUELING, STORAGE OF FERTILIZER OR CHEMICALS, VEHICLE WASHING, WASTE INCINERATION, HAUL-ROADS, LOADING/ UNLOADING AREAS DO NOT EXIST AT THIS SITE. NON-STORMWATER COMPONENTS OF THE DISCHARGE, SUCH AS SPRINGS, LANDSCAPE IRRIGATION RETURN FLOW ARE NOT ON SITE.

### BEST MANAGEMENT PRACTICES FOR STORMWATER MANAGEMENT

NON STRUCTURAL BMPs WILL BE IMPLEMENTED TO THE MAXIMUM EXTENT POSSIBLE. THE UTILIZATION OF NON STRUCTURAL BMPs WILL BE AN ONGOING PROCESS DIRECTED AT PREVENTING EROSION. THE NON STRUCTURAL BMPs WILL RECEIVE CONTINUOUS EMPHASIS THROUGHOUT CONSTRUCTION BECAUSE THEY AVERT PROBLEMS BEFORE THEY OCCUR AND REDUCE THE NEED FOR STRUCTURAL BMPs. NON STRUCTURAL BMPs WILL CONSIST PRIMARILY OF PRESERVATION OF EXISTING MATURE VEGETATION AND TREES, PLANNING AND SCHEDULING CONSTRUCTION ACTIVITIES AIMED AT ACHIEVING THE GOAL OF MINIMIZING EROSION. FURTHERMORE, CONSTRUCTION PERSONNEL WILL BE INSTRUCTED AND SUPERVISED IN CONSTRUCTION METHODS CONSISTENT WITH EROSION PREVENTION PRACTICES.

PLANNED STRUCTURAL BMPs FOR EROSION AND SEDIMENT CONTROL ARE SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN. IMPLEMENTING THESE MEASURES SHOULD MINIMIZE NUISANCE SILT AND SEDIMENTATION EXITING THE SITE AND PREVENT CLOGGING EXISTING STORM SEWERS AND STREET GUTTERS.

APPLICATION OF THESE BMPs FOR STORMWATER MANAGEMENT ARE FOR CONSTRUCTION PERIODS AND ARE CONSIDERED TEMPORARY.

### VEHICLE TRACKING CONTROL (VTC)

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED AT COUNTY ROAD 46. THE CONSTRUCTION ACCESS AND PARKING WILL BE GRADED AND COVERED WITH A CRUSHED STONE BASE COURSE DURING CONSTRUCTION. THE VEHICLE TRACKING CONTROL WILL BE RELOCATED WITH THE CONSTRUCTION ACCESS AS NECESSARY.

### SILT FENCING (SF) AND SEDIMENT CONTROL LOGS (SCL)

SILT FENCING AND SEDIMENT CONTROL LOGS SHALL BE INSTALLED WITH RESPECT TO PROPOSED DRAINAGE PATTERNS. SILT FENCE AND SEDIMENT CONTROL LOGS SHALL BE CONSTRUCTED ALONG THE PORTIONS OF THE EAST AND NORTH SIDE OF THE PROPERTY AND ALONG ANY DRAINAGE AREAS SUBJECT TO EROSION. THE SILT FENCING AND SEDIMENT CONTROL LOGS SHALL BE INSTALLED AT THE DOWNHILL SIDE OF THE EXISTING SLOPES ACROSS THE SITE AND AT ALL POINT DISCHARGE AREAS WHETHER SHOWN OR NOT. SILT FENCE AND SEDIMENT CONTROL LOGS SHALL BE MAINTAINED AS NEEDED THROUGHOUT THE CONSTRUCTION PROCESS. THE TEMPORARY SILT FENCE AND SEDIMENT CONTROL LOGS WILL REMAIN UNTIL THE STORM SEWER STRUCTURES ARE COMPLETED AND GROUND COVER IS EFFECTIVE.

### OVERLOT GRADING

ALL OPEN AREAS WILL BE TREATED WITHIN 14 DAYS OF COMPLETION OF THE OVERLOT GRADING. ALL OVERLOT GRADING IN THE NON-IRRIGATED AREAS WILL HAVE THE SURFACE ROUGHENED AND WILL BE PERMANENTLY LANDSCAPED OR TEMPORARILY SEEDED UNTIL THE PLANNED INSTALLATIONS ARE COMPLETED. AT THE COMPLETION OF THE MASS GRADING, ALL EXPOSED SOIL AREAS WILL HAVE THE SURFACE ROUGHENED AND PLANTED WITH A REVEGETATION SEED MIX. VEGETATION IS TO BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR UNTIL AREAS ARE PERMANENTLY LANDSCAPED. ALTERNATELY, ROUGH-CUT DRIVEWAYS OR PROPOSED PAVED AREAS CAN BE COVERED WITH A LAYER OF AGGREGATE, ROAD BASE OR ASPHALT PAVING.

### DUST CONTROL MEASURES

DISTURBED AREAS NOT YET READY TO BE SEEDED, LANDSCAPED, PAVED, OR OTHERWISE STABILIZED SHALL BE WATERED, OR RIPPED AS NECESSARY TO PRECLUDE VISIBLE DUST EMISSIONS.

ITEMS ARE SCHEDULED TO BE IMPLEMENTED ACCORDING TO THE CONSTRUCTION SCHEDULE. AS WORK PROCEEDS, IMPLEMENTATION OF INDIVIDUAL BMPs IS TO COINCIDE WITH THE CONSTRUCTION THEREBY MINIMIZING THE EXPOSURE OF UNPROTECTED AREAS. THE SILT FENCE, INLET PROTECTION (FOR EXISTING INLETS), AND GRAVELING OF THE CONSTRUCTION ENTRANCE WILL BE PERFORMED WHEN THE GRADING BEGINS. THE INLET PROTECTION WILL BE INSTALLED AS THE STORM SEWER STRUCTURES ARE CONSTRUCTED. THE RIPRAP PROTECTION WILL BE INSTALLED AS THE STORM SEWER OUTFALLS OR CULVERTS ARE CONSTRUCTED. THE STRUCTURAL BMPs THAT DO NOT BECOME PART OF THE PERMANENT STORMWATER MANAGEMENT PLAN ARE TO BE REMOVED, AS THE PAVING, LANDSCAPING, AND OTHER PERMANENT GROUNDCOVER INSTALLATIONS ARE COMPLETED. FUGITIVE DUST EMISSIONS RESULTING FROM GRADING ACTIVITIES AND/OR WIND SHALL BE CONTROLLED USING THE BEST AVAILABLE CONTROL TECHNOLOGY AS DEFINED BY THE COLORADO DEPARTMENT OF HEALTH AT THE TIME OF GRADING. THE GRAVELING IS TO BE MAINTAINED AND EXTENDED CONSTRUCTION PROGRESSES ESPECIALLY AROUND THE BUILDING SITE. THE STRUCTURAL BMPs ARE TO BE REMOVED, AS THE PERMANENT LANDSCAPING INSTALLATIONS ARE COMPLETED.

THE EROSION AND SEDIMENT CONTROL PLAN MAY BE MODIFIED BY THE (DEPARTMENT OF HIGHWAYS AND TRANSPORTATION, OWNER'S ENGINEER, COUNTY ENGINEERING INSPECTORS, MUNICIPALITY, OR ITS AUTHORIZED REPRESENTATIVE AS FIELD CONDITIONS WARRANT.

### STORMWATER DETENTION AND WATER QUALITY

STORMWATER DETENTION IS NOT PROVIDED ONSITE. WATER QUALITY TREATMENT IS NOT PROVIDED ONSITE.

### TEMPORARY SEEDING AND MULCHING

ALL SEEDS FURNISHED SHALL BE FREE FROM NOXIOUS SEEDS SUCH AS RUSSIAN OR CANADIAN THISTLE, COURSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAPWEED, AND LEAFY SPURGE, THE FORMULA USED FOR DETERMINING THE QUALITY OF PURE LIVE SEED (PLS) SHALL BE (POUNDS OF SEED) X (PURITY) X (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS). SEEDING RECOMMENDATIONS ARE PROVIDED BELOW, BUT MAY BE MODIFIED WITH THE OWNER'S APPROVAL TO MAKE THE BEST USE OF EXISTING CLEARINGS AND GRUBBINGS:

SPECIES	COMMON NAME	VARIETY	LBS/ACRE
AGROPYRON SMITHI	WESTERN WHEATGRASS	ARRIBA	8.0
ARRHENATHERUM ELATES	TALL OATGRASS		3.0
LOLIUM PERENNE	PERENNIAL RYEGRASS	PENNFINE	2.0

ALL SEEDS SHALL BE DRILLED NOT HYDROSEEDED. ALL DISTURBED AREAS SHALL BE SEEDED AND CRIMP MULCHED IF PERMANENT VEGETATION IS NOT IMMEDIATELY INSTALLED. AFTER SEEDING HAS BEEN COMPLETED, A RATE OF 4,000 LBS. OF STRAW PER ACRE SHALL BE APPLIED UNIFORMLY, CRIMPED IN WITH A CRIMPER OR OTHER APPROVED EQUIPMENT OR OTHERWISE ATTACHED. A TACKIFIER OR JUTE NETTING TO ATTACH MULCH MAY BE USED WITH THE OWNER'S APPROVAL. THE SEEDED AREA SHALL BE CRIMPED MULCHED AND THE MULCH ATTACHED WITHIN TWENTY-FOUR (24) HOURS AFTER SEEDING. AREAS NOT MULCHED AND ATTACHED WITHIN TWENTY-FOUR (24) HOURS AFTER SEEDING MUST BE RESEDED WITH THE SPECIFIED MIX AT THE CONTRACTOR'S EXPENSE. PRIOR TO MULCHING AND ATTACHING, ON STEEP SLOPES OR OTHER SPECIFIED AREAS AS SHOWN ON THE PLANTING PLAN, WHICH ARE DIFFICULT TO MULCH AND ATTACH BY CONVENTIONAL METHOD, BURLAP OR OTHER BLANKETING MATERIALS PROPERLY ANCHORED AND SECURED MAY BE USED WHEN APPROVED BY THE TOWN ENGINEER.

### PERMANENT STABILIZATION MEASURES

RIPRAP FOR STORM DRAIN OUTFALLS AND ROCK CHECK DAMS WILL BECOME PART OF THE PERMANENT STORMWATER MANAGEMENT PLAN AND WILL NOT BE REMOVED. PERMANENT LANDSCAPING WILL INCLUDE (SODDING, SEEDING, TREES, SHRUBS, OR OTHER VEGETATIVE COVER TO OPEN AREAS. NATIVE PERENNIAL SEEDING WILL BE ESTABLISHED IN NON-IRRIGATED AREAS AND SOD OR OTHER VEGETATIVE COVER WILL BE ESTABLISHED IN IRRIGATED OPEN AREAS. ALL PERMANENT STABILIZATION MEASURES WILL BE SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER.

### PERMANENT SEEDING MIX

ALL SEED MIXES MUST MEET THE TOWN OF JOHNSTOWN VEGETATION MAINTENANCE AND SEEDING SPECIFICATIONS. SEEDS FURNISHED SHALL BE FREE FROM NOXIOUS SEEDS SUCH AS RUSSIAN OR CANADIAN THISTLE, COURSE FESCUE, EUROPEAN BINDWEED, JOHNSON GRASS, KNAPWEED, AND LEAFY SPURGE, THE FORMULA USED FOR DETERMINING THE QUALITY OF PURE LIVE SEED (PLS) SHALL BE (POUNDS OF SEED) X (PURITY) X (GERMINATION) = POUNDS OF PURE LIVE SEED (PLS). SEEDING RECOMMENDATIONS ARE PROVIDED BELOW, BUT MAY BE MODIFIED WITH THE OWNER'S APPROVAL TO MAKE THE BEST USE OF EXISTING CLEARINGS AND GRUBBINGS:

### Grasses + Wildflowers

Species	PLS lbs / acre
Buffalograss ( <i>Bouteloua dactyloides</i> )	8.40
Western wheatgrass ( <i>Pascopyrum smithii</i> )	4.30
Slender wheatgrass ( <i>Elymus trachycalyx ssp. trachycalyx</i> )	3.00
Sideoats grama ( <i>Bouteloua curtipendula</i> )	2.50
Blue grama ( <i>Bouteloua gracilis</i> )	0.60
Sand dropseed ( <i>Sporobolus cryptandrus</i> )	0.10
Western yarrow ( <i>Achillea millefolium var. occidentalis</i> )	0.02
Blanket flower ( <i>Gaillardia aristata</i> )	0.50
Blue flax ( <i>Linum perenne</i> )	0.20
Lance-leaved coreopsis ( <i>Coreopsis lanceolata</i> )	0.20
Plains coreopsis ( <i>Coreopsis tinctoria</i> )	0.05
Prairie aster ( <i>Machaeranthera tanacetifolia</i> )	0.10
<b>Total PLS lbs / acre</b>	<b>19.97</b>

### MATERIALS AND SPILL PREVENTION

THE CONTRACTOR WILL STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN CONFINED AREAS ON SITE FROM WHICH RUNOFF WILL BE CONTAINED AND FILTERED. MATERIALS WILL BE STORED OFF THE GROUND AND PROTECTED FROM THE WEATHER BY A COVER OR STORED IN A CONTAINER SUCH AS A VAN OR TRAILER. AN EARTHEN DIKE WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE FUEL STORAGE AREA TO PREVENT MATERIALS FROM CONTACT WITH SURFACE RUNOFF. EQUIPMENT MAINTENANCE WILL BE PERFORMED IN A DESIGNATED AREA AND STANDARD MAINTENANCE PROCEDURES, SUCH AS THE USE OF DRIP PANS, WILL BE USED TO CONTAIN PETROLEUM PRODUCTS.

### INSPECTION AND MAINTENANCE

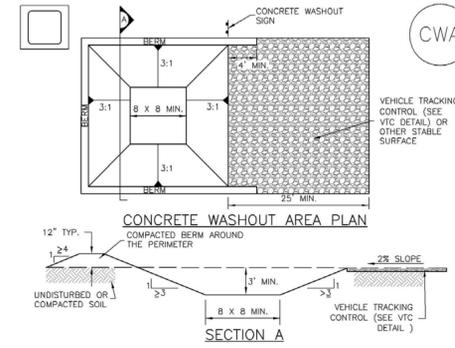
THE EROSION CONTROL MEASURES WILL BE INSPECTED DAILY DURING CONSTRUCTION BY THE CONTRACTOR AND AFTER EACH RAIN EVENT. ALL INSPECTIONS SHALL BE DOCUMENTED AND SHALL INCLUDE THE DATE OF INSPECTION, ANY INCIDENCE OF NON-COMPLIANCE, SIGNED CERTIFICATION THAT THE SITE IS IN COMPLIANCE, AND ANY NOTES, DRAWINGS, MAPS, ETC. PERTAINING TO REPAIRS. COPIES OF ALL DOCUMENTATION SHALL BE DISTRIBUTED TO MUNICIPALITIES AND OWNER ON A REGULAR BASIS AS SPECIFIED BY OWNER. SILT FENCE AND STRAW BALE BARRIERS WILL BE CHECKED FOR UNDERMINING AND BYPASS AND REPAIRED OR EXPANDED AS NEEDED. SEDIMENT SHOULD BE REMOVED FROM INLET FILTERS AND SILT FENCING BEFORE ONE HALF OF THE DESIGN DEPTH HAS BEEN FILLED. SEDIMENTS DEPOSITED IN THE PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY. THE TEMPORARY VEGETATION OF BARE SOILS WILL BE CHECKED REGULARLY AND AREAS WHERE IT IS LOST OR DAMAGED WILL BE RESEDED. AT MINIMUM THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL BMPs EVERY 14 DAYS AND AFTER SIGNIFICANT PRECIPITATION OR SNOWMELT EVENTS. INSTALLATIONS AND MODIFICATIONS AS REQUIRED BY THE (CITY/TOWN/COUNTY) WILL BE IMPLEMENTED WITHIN 48 HOURS OF NOTIFICATION. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.

### FINAL STABILIZATION AND LONG-TERM STORMWATER QUALITY

FINAL STABILIZATION IS REACHED WHEN ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND UNIFORM VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% OR PRE-DISTURBANCE LEVELS OR EQUIVALENT PERMANENT, PHYSICAL EROSION REDUCTION METHODS HAVE BEEN EMPLOYED. FINAL STABILIZATION WILL BE ACHIEVED USING SOD, NATIVE SEEDING, PERMANENT BMP'S, AND OTHER METHODS. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL STABILIZATION REGARDLESS OF ACCEPTANCE BY OWNER OF THE CONTRACTOR ITEM.

## Concrete Washout Area (CWA)

MM-1



CWA-1. CONCRETE WASHOUT AREA

### CWA INSTALLATION NOTES

- SEE PLAN VIEW FOR: -CWA INSTALLATION LOCATION.
- DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
- THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
- CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
- BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
- VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
- USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

November 2010 Urban Drainage and Flood Control District CWA-3  
 Urban Storm Drainage Criteria Manual Volume 3

## MM-1 Concrete Washout Area (CWA)

### CWA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE, CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
- THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD).  
 NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CWA-4 Urban Drainage and Flood Control District November 2010  
 Urban Storm Drainage Criteria Manual Volume 3



Know what's below.  
 Call before you dig.



REV	DATE	DWNL	ENG.	CHK	DESCRIPTION
0	5/18/22	MGS	KMH	KJC	FIRST SUBMITTAL
1	9/22/22	KMH	KMH	KJC	VILLAGE COMMENTS
2	10/4/22	KMH	KMH	KJC	VILLAGE COMMENTS
3	11/21/22	KMH	KMH	KJC	FIRE DIST. COMMENTS

DOVE SOLAR LLC  
 40.318252, -104.886743 WELD COUNTY, CO 80543  
 SWMP & SITE DETAILS

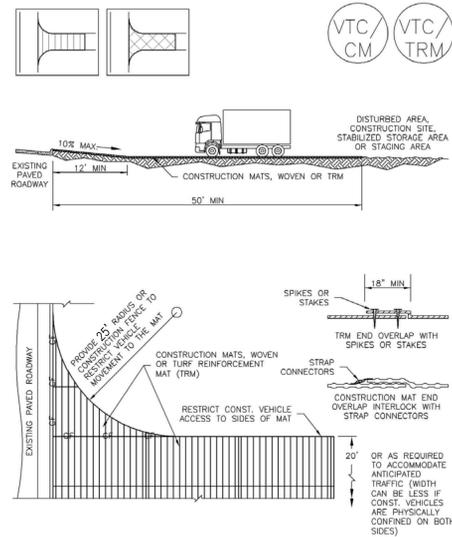


ANDREW HUMPHREY ENGINEERING  
 PO Box 18430 • Golden, CO 80402 • 303.990.9976  
 www.AndrewHumphreyEngineering.com

JOB NO. 2022.0XX	SCALE 1" = 1'
SRC083130	
CD1.0	

**Vehicle Tracking Control (VTC)**

**SM-4**



**VTC-3. VEHICLE TRACKING CONTROL W/ CONSTRUCTION MAT OR TURF REINFORCEMENT MAT (TRM)**

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 VTC-5

**SM-4 Vehicle Tracking Control (VTC)**

**STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
  - TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
- CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

**STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

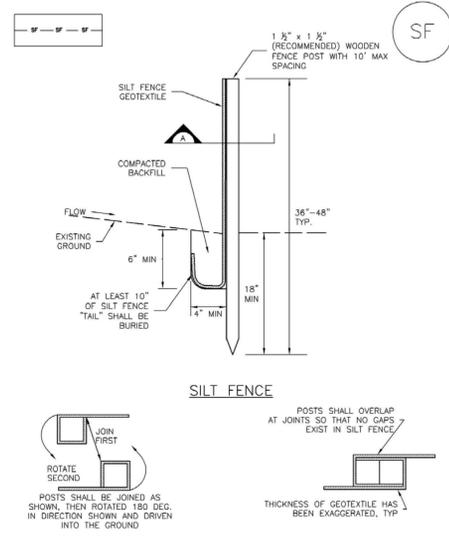
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

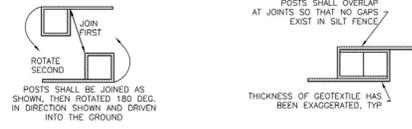
VTC-6 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

**Silt Fence (SF)**

**SC-1**



**SILT FENCE**



**SECTION A**

**SF-1. SILT FENCE**

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**SC-1 Silt Fence (SF)**

**SILT FENCE INSTALLATION NOTES**

- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-3 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
- A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
- COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES; THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
- AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK" OR "U-HOOK". THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

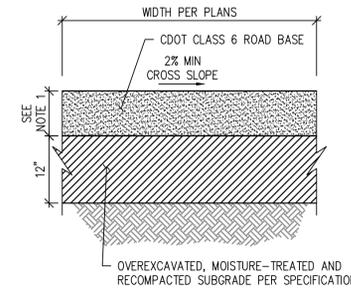
**SILT FENCE MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
- REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
- SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
- WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDS AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF ALPINE, NOT AVAILABLE IN AUTOCAD)

SF-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010



NOTES:  
1. MIN DEPTH SHALL BE 12" OR AS DIRECTED BY GEOTECH TO SUPPORT DESIGN LOADS.

**GRAVEL DRIVE ACCESS SECTION DETAIL**



REV	DATE	BY	CHK	DESCRIPTION
0	5/18/22	MGS	KJC	FIRST SUBMITTAL
1	9/22/22	KMH	KJC	VILLAGE COMMENTS
2	10/4/22	KMH	KJC	VILLAGE COMMENTS
3	11/21/22	KMH	KJC	FIRE DIST. COMMENTS

**DOVE SOLAR LLC**  
40.318252, -104.886743 WELD COUNTY, CO 80543  
**SITE DETAILS**



**ANDREW HUMPHREY ENGINEERING**  
PO Box 18430 • Golden, CO 80402 • 303.990.9976  
www.AndrewHumphreyEngineering.com

JOB NO. 2022.0XX SCALE 1"=40'  
**SRC083130**  
**CD1.1**





Use by Special Development Standards  
for  
Dove Solar Facility  
Johnstown, Weld County, Colorado  
June 2022

SunShare, LLC, a Colorado limited liability company, is pleased to present our application for a Zoning Permit for a Medium-Scale Solar Energy Facility (“SEF”) on property owned by the Archdiocese of Denver located on approximately 30 acres of Parcel ID No. 105916100039 in the northeast corner of Section 16, Township 4 N, Range 67 W in Weld County, CO.

The current zoning on the parcel is Agricultural (A), however the landowner does not possess any water rights for this parcel. SunShare has executed a lease agreement with the Archdiocese of Denver for a joint solar facility which will provide solar energy to the Archdiocese’s housing recipients.

This 5,000 kW-AC (5,976 kW-DC) project will use standard photovoltaic technologies that have been proven safe and effective through deployment across the United States in thousands of utility or commercial-scale solar developments. The solar panels are mounted to single-axis tracking arrays, which sit parallel to the ground and follow the path of the sun across the sky. The panels face east in the morning, lay flat at noon, and face west in the evening. The tracking arrays produce DC current, which is converted into AC current by inverters for synchronization and delivery of energy into the utility’s distribution grid at a utility transformer. The modules utilize a non-reflective glass which eliminates glare concerns and all electrical cables on the improved area will be buried, except for the direct current string wires that connect between solar collectors, direct current collection circuits between rows of solar arrays that are no more than four (4) feet above grade crossings, substations, switch yards, and circuits voltages greater than 34.5 kilovolts (where necessary.) There will be no permanent employees on site during operation, and maintenance visits are expected to occur quarterly on average.

The appearance of the solar arrays is uniform and symmetrical. Solar panels will not exceed ten (10) feet in height above the grade, at maximum tilt. The facility will be constructed in accordance with IBC 2021 and NEC 2020 and will be surrounded by an 8’ high game fence made of 4’ X 4” reinforced mesh.

This project is in discussions with the relevant oil and gas entities to build within the setbacks surrounding their infrastructure. All other setbacks are in accordance with the development standards and are identified on T.100 of the Sketch Plan. Fence details are on page C.102 of the Sketch Plan. All oil and gas facility and pipeline owners have been identified and contacted. All adjacent area landowners within 500





ft of the project area have been contacted with no known objections to date.

Access to the facility will be from the east off Weld County Road 19 via a 20' wide all-weather access driveway. The entrance to the site will include a 20' wide all-weather access driveway with an emergency hammerhead turnaround. SunShare will apply for any necessary access permit prior to construction.

This project site has areas where the slope exceeds the acceptable limit for solar panels. As a result, cut and fill work will take place once permitted to create a level space. This SEF will abide by all dust mitigation standards laid out by the County and/or Town.

Following the eventual decommissioning of this project, this land will be left more suitable for farming due to its improved topography. The project is not located within any FEMA designated Special Flood Hazard Areas. The Stormwater Management shall be addressed via the attached Surface Drainage Analysis. Conceptual design details can be found in the enclosed Sketch Plan, T.100.

This site currently houses a pivot irrigation system for agricultural purposes. The pivot will be easily adjusted to avoid the SEF and will still be fully capable of supplying water to any surrounding crops.

The operational life of an SEF is generally between 20-40 years. The SEF has an initial 20-year contract with Public Service Company of Colorado (Xcel) to sell power into the Xcel Electric grid, and the major equipment components have warranty options up to 30 years, with a useful life of 35-40 years. Upon decommissioning, SunShare will entirely remove all SEF components (fencing, steel racking, cabling, solar panels and associated interconnection equipment) and undertake measures to restore the land to its original state.

SunShare will obtain all required permits and approvals, including utility interconnection agreements, prior to commencing construction. The project's engineers and general contractor will be made up of local experienced and individuals licensed in Colorado, who will ensure that all required codes and standards are followed throughout the design and construction. The project will comply with all applicable provisions by Johnstown. SunShare looks forward to working with Johnstown to successfully complete this proposed development and bring the benefits of community solar energy to the Town.





## Use by Special Review - Medium Scale Solar Energy Facility Questionnaire for Dove Solar LLC, PID 105916100039

### 1. Explain the proposed use and business name.

SunShare LLC, d/b/a Dove Solar LLC proposes a Medium-Scale Solar Energy Facility (SEF) to be placed at Weld County PID 105916100039. The SEF will have a nameplate capacity of 5,000 kW AC and will cover approximately 30 acres on the east side of the total parcel.

This project has the explicit purpose of benefiting low-income and energy burdened families. 100% of the energy generated from this project will go to households that are qualified as low-income or nonprofit and religious organizations that provide essential services to these households. The recipients of the energy will receive savings on their monthly electricity bills. A secondary benefit of the project will be to provide job training for individuals looking to enter the solar and electrical trades.

### 2. Explain the need for the proposed use.

This project meets a multitude of needs in the community:

- Energy costs disproportionately impact low-income households and drain resources from low-income services organizations. This project is being developed to help solve this issue. In addition to being the landowner, the Archdiocese of Denver is helping to develop the project and will be directing a large portion of the electricity and savings to its large network of low-income service organizations that are operating in Weld County and who are eager to participate in the project. These organizations include schools that serve low-income students, homeless shelters, and food banks, among others.
- The Parcel Landowner (the Archdiocese of Denver) is interested in being annexed by the Town of Johnstown so long as this solar facility is also permitted with the annexation
- The Landowner (the Archdiocese of Denver) does not have water rights for the property and is therefore unable to secure any significant financial value from the land. The lease revenue paid the landowner will enable them to hold on to the land for the long term and have revenue that can be dedicated for the funding of services for low-income households.
- Households, Businesses, and Nonprofits in Colorado have not traditionally had a choice in who their utility provider is and where their energy comes from. Community solar solves this issue by providing ratepayers with an opportunity for choice, and an option to choose locally generated electricity.
- The Town of Johnstown, Weld County, and Colorado as a whole, are experiencing massive growth in electricity consumption. More electricity generation is needed to meet this need. Local solar projects like this help the state and county diversify its electricity sources and have local generation that result in a more stable and resilient grid. Weld County has long been the energy capital of Colorado and adding solar in the County will further diversify the County's energy mix and further its role as an energy leader in Colorado.



- Weld County’s Comprehensive plan specifically calls out a goal of supporting “*responsible energy and mineral development.*” This project meets the definition of responsible (see answer to question 21).
- The Town of Johnstown’s comprehensive plan calls for energy projects, specially calling for “*flexible regulations that accommodate evolving economic trends and industries, and attract new business interests and investment (e.g., renewable energy...)*”.

**3. Describe the current and previous use of the land.**

The specific location of the project has historically been used for oil and natural gas extraction and agriculture. This land is not currently incorporated into the city limits of any city in Weld County.

Occidental Petroleum Corporation previously drilled on this land for oil and natural gas resources. They have since plugged and abandoned the 2 wells present which remain onsite, abandoned the pipeline which remains (underground) onsite, and fully removed the battery that was previously onsite. This site is no longer used for oil and gas activity.

The Landowner is currently leasing the land to a Tennent Farmer who traditionally farms barley crops. The Landowner does not have water rights for this parcel and is therefore unable to secure any significant value from its current agricultural use.

The western side of this parcel (where we do not intend to develop) houses additional agriculture, as well as an irrigation reservoir.

**4. Describe the proximity of the proposed use to residences.**

There are no residences within 500 feet of the proposed SEF. The area overall is rural with limited residential buildings and units. The closest homes are over eight tenths of a mile away and will experience no impacts from the SEF.

**5. Describe the hours and days of operation (i.e., Monday thru Friday 8:00 a.m. to 5:00 p.m.).**

Once construction is complete, the SEF will continuously operate 24/7, but will produce power only during daylight hours. The proposed SEF will use single-axis trackers, which will angle the solar modules accordingly as the sun shifts in the sky. These trackers allow for maximized energy production. While the array will be running all day, it will create no disturbances. Solar arrays are nearly silent and produce no smoke, smog, vapors, or dust. Construction will run during normal business hours for the duration of about 3 months.

**6. Describe the number of employees including full-time, part-time and contractors. If shift work is proposed, detail number of employees, schedule and duration of shifts.**

During construction: Construction during daytime hours will range from 7 to 14 during the early mobilization and site preparation stage with site construction workers peaking at 50 to 60 workers midway through the project and reducing back down to 7 and 14 workers during the final commissioning and testing stage.



Once operational: The SEF will have a maintenance crew visit once quarterly (or as needed if damage occurs due to weather), otherwise the SEF will be unmanned.

**7. Describe the maximum number of users, patrons, members, buyers or other visitors that the site will accommodate at any one time.**

N/A. This proposed use will be for energy production only and will not host patrons, etc.

**8. List the types and maximum numbers of animals to be on the site at any one time (for dairies, livestock, confinement operations, kennels, etc.).**

SunShare values the prominence of agriculture in Weld County, and we often make efforts to support the industry when constructing SEFs. One practice that we offer at our SEF is working with a local sheep rancher (with whom we have a pre-existing partnership), offering our site as grazing land for his sheep. This allows for the SEF site's vegetation to be maintained, while benefitting a local rancher (rather than employing mechanical mowers). We will have to complete a more thorough analysis of the current vegetation of the area to determine if there is enough growth for the sheep, and if it is all safe for the sheep.

Should we move forward with sheep grazing, there will be approximately 60 sheep present onsite. The site will be fully fenced in, containing the sheep, and the rancher will have access to the site whenever needed. The sheep will visit for a few weeks at a time, as frequently as needed onsite.

**9. List the types and number of operating and processing equipment.**

There will be a total of 11,076 540w monocrystalline modules, forty 125kVA inverters, and 142 rows of single-axis trackers. The system consists of string level DC to AC conversion inverters, two main equipment pads with AC Recombiners, switchgear and MV step up transformers that connect to Xcel's grid.

**10. List the types, number and uses of the existing and proposed structures.**

There are no existing structures onsite. There will be no structures associated with the proposed solar facility other than the solar array itself, which will be used for energy generation.

**11. Describe the size of any stockpile, storage or waste areas.**

During the construction phase, there will be a materials and equipment laydown yard located on the interior of the facility. This laydown area will be approximately 50' X 250' in size. When the construction is completed, there will be in place a metal connex container for storing spare modules and other spare parts.

**12. If storage or warehousing is proposed, what type of items will be stored?**

*Response: A steel container (8' X 40') is being proposed to store equipment and spare parts for the solar facility. The container is proposed to be positioned in the interior of the solar*



arrays, which should lessen its visual impact. The container will be painted a light tan to help blend the container with the natural environment.

**13. Describe where and how storage and/or stockpile of wastes, chemicals, and/or petroleum will occur on this site.**

*Response: N/A - There will be no stockpiles of wastes, chemicals, or petroleum associated with this facility.*

**14. If there will be fuel storage on site, indicate the gallons and the secondary containment. State the number of tanks and gallons per tank.**

*Response: N/A – There will be no fuel storage associated with this facility.*

**15. Describe the method and time schedule of removal or disposal of debris, junk and other wastes associated with the proposed use.**

During the construction phase, waste will be stored in refuse dumpsters, which will be emptied on a regular basis or as needed. Once the facility is operational, there will be no waste or refuse produced from the solar operation.

**16. Include a timetable showing the periods of time required for the construction of the operation.**

- Solar Facility Components First Deliver Day 1
- Perimeter Fence Installation Day 1 to Day 11
- Solar Panel Foundation Installation Day 1 to Day 30
- Racking, Trenching, Wiring Day 30 to Day 64
- Solar Panel Installation Day 64 to Day 94
- Inspection & Set Meters Day 94 to Day 99
- System Testing & Commissioning Day 99 to Day 109

**17. Describe the proposed and existing lot surface type and the square footage of each type (i.e., asphalt, gravel, landscaping, dirt, grass, buildings).**

The west side of the parcel is currently a reservoir and farmed agriculture. This will not change as we are not impacting this area whatsoever.

The subject area (30 acres on the east side of the parcel) is currently agricultural land and will need to be re-seeded within the construction area. Following the completion of the construction for each phase, disturbed areas within the limits of construction, such as roadcuts, utility trenches, and other areas where vegetation has been removed, altered, or eliminated, will be reseeded with native seed mix. There will be approximately 9,339 square feet of gravel access including the hammerhead turnaround. In addition, there will be a gravel laydown area that is approximately 12,500 square feet, for a total of 21,839 square feet of gravel surface area. There will be two (2) concrete transformer pads, each measuring approximately 48 square feet, for a total of 96 square feet of concrete area.



**18. How many parking spaces are proposed? How many handicap-accessible parking spaces are proposed?**

There will be two (2) internal parking spaces for vehicles servicing the facility. There will be no ADA parking spaces, as this is not a facility for general public use.

**19. Describe the existing and proposed fencing and screening for the site including all parking and outdoor storage areas.**

To comply with the National Electric Code, there will be an 8' tall game fence installed around the entire perimeter of the site. The fence and gate will be constructed of 4" X 4" welded rod material. The two (2) internal parking spaces will be screened by the solar array. There will be no outdoor storage associated with this proposed solar facility.

**20. Describe the existing and proposed landscaping for the site.**

The entire affected area of the parcel has been used for agricultural purposes and has been covered by crops, by unplanted land, and oil and gas infrastructures such as wells and batteries. The remainder of the parcel has also been used for agriculture or houses a reservoir. The unaffected area's landscaping will not change. Once the construction phase is completed, the affected area within the solar facility fence will be seeded with a native seed mixture. As previously mentioned, there are no residences or commercial buildings nearby, so screening trees and shrubs will not be needed.

**21. Describe reclamation procedures to be employed as stages of the operation are phased out or upon cessation of the Use by Special Review activity.**

Once the site is no longer used for the proposed solar facility, the panels, racking, cabling, inverters, and all associated equipment will be removed from the site and recycled and/or disposed of in a responsible manner. The site will be returned to the condition it was in prior to the solar facility being constructed with the exception of certain site improvements desired by the landowner or system design such as re-grading and leveling. Solar leaves behind no ground contamination, so there will be no hazardous elements left behind on the land.

**22. Describe the proposed fire protection measures.**

The subject property is within the Front Range Fire Rescue Fire Protection District. Fire access within the facility will be via a 20'-wide gravel driveway, with a hammerhead turnaround at the end of the drive. Grasses within the solar facility will be mowed as needed, to help prevent the spread of range fires.

**23. Explain how this proposal will be compatible with future development of the surrounding area or adopted master plans of affected municipalities.**

The subject parcel falls within the Intergovernmental Agreement Boundary for the towns of Johnstown and Milliken, though it is just outside the town limits for either town. The



landowner is interested in allowing annexation of the parcel by the Town of Johnstown so long as it is inclusive of approval of this proposed SEF.

This proposal is compatible with the 2021 Comprehensive Plan (CP) for the Town of Johnstown. The Town’s CP includes the following goal:

“W1.1. Collaborate interdepartmentally to create flexible regulations that accommodate evolving economic trends and industries, and attract new business interests and investment (e.g., renewable energy, business incubators, artists/makers spaces, synergistic businesses, etc.)” (Page 36). This goal shows the Town’s great willingness and interest in supporting and fostering new energy sources, such as solar. Additionally, the CP sites that it received feedback from its residents requesting “Focus on sustainable industry[ies] and honor our agricultural heritage by being good stewards of the land” (Page 18). Our proposed SEF supports this request from residents as it will create no environmental contamination. Additionally, the land beneath the array will be planted with a native seed mix, supporting the native vegetation of Weld County.

Additionally, the proposed solar facility will be in place for approximately 20-40 years (depending on possible operation extensions). Following the decommissioning of the SEF, the land will be free and clear for any potential uses that the Town of Johnstown may want to pursue with the landowner, such as commercial or residential development. The freed land will allow for the Town to implement new and different goals, as well as expand its footprint.

**24. Explain how this proposal impacts the protection of the health, safety and welfare of the inhabitants of the neighborhood and the County.**

This development will positively impact the health, safety, and welfare of the inhabitants of the surrounding area, the Town, and County.

The SEF will create no airborne or ground contaminants, making it nonhazardous for residents near and far. The SEF is also nearly silent when operating, thus it will not contribute to any noise pollution. The SEF will produce local electricity without adding any pollution to the air.

Most importantly, however, this SEF will generate a source of revenue and energy savings that will help provide affordable housing, food, and resources to those who are struggling and are qualified as low-income. This project has the explicit purpose of benefiting low-income and energy burdened families. 100% of the energy generated from this project will go to households that are qualified as low-income or nonprofit and religious organizations that provide essential services to these households. The recipients of the energy will receive savings on their monthly electricity bills.

**25. Explain how this proposal complies with Article V and Article XI of Chapter 23 if the proposal is located within any Overlay Zoning District (Airport, Geologic Hazard, or**



**Historic Townsites Overlay Districts) or a Special Flood Hazard Area identified by maps officially adopted by the County.**

N/A – The subject property is not located within any Overlay Zoning District or Special Flood Hazard Area.

**27. Detail known State or Federal permits required for your proposed use(s) and the status of each permit. Provide a copy of any application or permit.**

SunShare will need to apply for the following permits to complete this SEF:

Local/County:

- Building permit
- Grading permit
- Access permit
- ROW Agreement or Road Maintenance Agreement, if deemed necessary

State:

- CDPHE SWPPP

# Decommissioning/Reclamation Plan

For a USR Permit  
Dove Solar LLC

Case Number: USR22-0003  
Archdiocese of Denver (Parcel ID No. 105916100039)

Prepared for:  
TOWN OF JOHNSTOWN  
PO BOX 609  
JOHNSTOWN CO 80534

Prepared by:  
SunShare, LLC  
Denver, Colorado



Date Prepared: November 2022

## 1.0 Overview

As a condition of approval for the Site-Specific Development Plan and Use by Special Review Permit, Johnstown required that SunShare prepare a *Decommissioning/Reclamation Plan* for the solar facility, that is to be reviewed and approved by the Johnstown Review Committee. The intent of this *Decommissioning/Reclamation Plan* is to provide a comprehensive plan for removal of the solar facility after its useful life and/or the termination of power generation operations; and to return the subject property to conditions that existed prior to the solar facility's construction.

The solar power generation facility has an estimated useful life of 30 years or more, with an opportunity for a life of 50 years or more with equipment replacement and repowering. At the end of the useful life of the facility, SunShare will cease power generation, decommission the facility, and remove the components of the facility from the subject property. The site will be reclaimed and returned to the agricultural use that existed prior to the facility being constructed.

This *Decommissioning/Reclamation Plan* is subject to refinement should future best practices or alternate methods be developed by the solar industry, during the life of this facility. SunShare will follow solar industry standards and best management practices (BMPs) that exist at the time of decommissioning and reclamation of the site.

### 1.1 Procedures for Decommissioning the Solar Facility After Useful Life & Termination of Power Generation

The solar facility consists of numerous recyclable materials, including glass, semiconductor material, steel, aluminum, copper, and plastics. When the facility reaches the end of its operational life, the component parts can be dismantled, and for the most part, salvaged or recycled at properly licensed facilities.

Some site features, such as internal roads, driveways, drainage features/improvements, and electrical interconnections may remain on the site, depending upon the anticipated future use of the property. All such improvements, that are scheduled to remain after the decommissioning of the site, will be approved by the JRC.

The following steps will be followed in the decommissioning of the solar facility:

- Approximately one year prior to the planned decommissioning of the facility, SunShare will schedule a pre-closure meeting with the JRC to discuss the process for the site decommissioning and restoration. The final decommissioning details will be developed through consultation with the JRC and other departments and agencies that have jurisdiction over activities in the decommissioning process. Any required permits will be obtained prior to implementation of the *Decommissioning/Reclamation Plan*.
- Appropriate temporary (construction-related) erosion and sedimentation control BMPs will be applied during the decommissioning phase of the project. The BMPs will be inspected on a regular basis to ensure proper functionality.
- Effectively, the decommissioning of the solar facility proceeds in reverse order of the installation:
  1. A site-specific health and safety plan shall be developed, prior to beginning decommissioning activities, which incorporates the specific sequence and procedures to be followed.
  2. Coordination with local departments and agencies to develop route plans and obtain necessary permits for the transportation of materials and equipment to and from the site.
  3. The solar facility shall be disconnected from the utility grid. This process will be coordinated with Xcel Energy.
  4. PV modules shall be disconnected, collected and transported to a properly licensed recycling facility.
  5. Above ground and underground electrical interconnection and distribution cabling shall be removed and salvaged or recycled off-site at an approved recycling facility.
  6. The aluminum racking that supports the PV modules shall be removed and salvaged or recycled off-site at an approved recycling facility.

7. PV module support steel and support posts shall be removed and salvaged or recycled off-site at an approved recycling facility.
8. Electrical and electronic devices, including transformers, semiconductors materials, inverters, and batteries, shall be removed and salvaged or recycled off-site at an approved recycling facility.
9. Concrete foundations shall be removed and will be recycled off-site at an approved concrete recycling facility.
10. Fencing shall be removed and will be recycled off-site at an approved recycling facility.
11. The site will be restored to its original condition, including any necessary sculpting of soils to match existing natural contours and the re-seeding of native grasses. Any soil that had been re-located for construction purposes will be redistributed on the site or used for landscaping purposes. Soils will be compacted for those areas where foundations or piers have been removed.

## 1.2 Equipment to be Used for the Decommissioning of the Solar Facility

The decommissioning of the solar facility will be undertaken using traditional heavy construction equipment, including front-end loaders, bull dozers, cranes, excavators (track-mounted and rubber-tired), water tankers, trucks, and pick-ups. Semi-trucks will be used to transport materials to off-site salvage or recycle centers.

## 1.3 Dust Mitigation During the Decommissioning Phase

Water tankers will be used to help control dust while the decommissioning activities are occurring on the site. During the decommissioning of the facility, SunShare will exercise BMPs to limit fugitive dust from being airborne and traveling beyond the property lines. Dust control efforts will be monitored by the site foreman on a regular basis to ensure fugitive dust is adequately controlled. Water spray will be applied, as needed, to unpaved areas during periods of dry weather. Care will be taken not to over-apply water and create mud. Vehicle tracking devices will be installed at truck exit drives, per the requirements of the Town. Vehicles

operating on the site during the decommissioning phase will limit their speed to 15 mph or less, to minimize dust emissions.

## 1.4 Decommissioning/Reclamation Cost Estimates

Decommissioning/reclamation cost estimates, which shall be updated every five (5) years from the establishment and submittal of the Security, shall include all costs associated with the dismantlement, recycling, and safe disposal of facility components and site reclamation activities, including the following elements:

Decommissioning:

Fencing	\$3000.00
Structures	\$60,000.00
Modules	\$30,000.00
Electrical	\$20,000.00
Site Restoration	\$25,000.00
<hr/>	
Total	\$138,000.00

Clarifications – Inclusions and Exclusions

1. Based on project drawings provided.
2. Includes the specified appropriate project management and mobilization to adhere to the project schedule.
3. Breakouts provided for accounting purposes only.
4. All work is to be done in a single phase.
5. Includes recycling of steel, aluminum, modules and copper.
6. Includes restoration of the site back to like conditions before the solar array was installed.

Scope specifically includes:

1. Electrical permit fees included.
2. Removal and disposal of game fence.
3. Removal of racking support structure and foundations.
4. Module removal, package and recycle.
5. Removal of electrical distribution equipment, transformers and electrical equipment pads.
6. Removal of electrical DC string wiring and AC underground.
7. Site restoration.
8. Safety and protection as required.

9. Waste disposal fees and containers.
10. Temporary Restrooms and site facilities for workers.

**Specifically excludes:**

1. Payment and Performance Bond.
2. All utility specific tie in work to disconnect the site outside of property.
3. Engineering, fees, errors, omissions additional design intent not clearly delivered or identified on the referenced drawings.
4. Import or export of soils.

# Dust and Weed Mitigation Plan

For a Medium-Scale Solar Facility  
Dove Solar, LLC

Case Number: USR Number – USR22-0003  
Archdiocese of Denver (Parcel ID No. 105916100039)

Prepared for:  
TOWN OF JOHNSTOWN  
PO BOX 609  
JOHNSTOWN CO 80534

Prepared by:  
SunShare, LLC  
Denver, Colorado



Date Prepared: November 2022

## 1.0 Overview

As a condition of approval for the Site-Specific Development Plan and Use by Special Review Permit, the Town of Johnstown required that SunShare prepare a *Dust and Weed Mitigation Plan* for the solar facility, that is to be reviewed and approved by the Johnstown Review Committee. The intent of this *Dust and Weed Mitigation Plan* is to provide a comprehensive plan for control of dust, noxious weeds, and any drainage issues that could cause erosion from the solar facility.

### 1.1 Dust Mitigation During the Construction Phase

Water tankers will be used to help control dust while the construction activities are occurring on the site. During the construction of the facility, SunShare will exercise BMPs to limit fugitive dust from being airborne and traveling beyond the property lines. Dust control efforts will be monitored by the site foreman on a regular basis to ensure fugitive dust is adequately controlled. Water spray will be applied, as needed, to unpaved areas during periods of dry weather. Care will be taken not to over-apply water and create mud. Vehicle tracking devices will be installed at truck exit drives. Vehicles operating on the site during the construction phase will limit their speed to 15 mph or less, to minimize dust emissions.

### 1.2 Noxious Weed Management

The Colorado Department of Agriculture (CDA) requires landowners to prevent the spread of State Listed Noxious Weeds. Construction activities on the site have the potential to introduce new noxious weed species to the site, or spread existing species on to or off of the site. This noxious weed management program was developed to prevent further spread of noxious weeds. SunShare will comply with CDA regulations through implementation of this plan. Periodic reviews and updates to this plan will be completed as necessary to keep it current with noxious weed control issues. This plan will be implemented throughout the life of the solar facility.

Appropriate management actions will be implemented whenever noxious weed species are observed growing within the project area. The goals of weed management are to:

- 1.) Identify and manage noxious weeds within and immediately adjacent to the project areas to be disturbed and after the area has been reclaimed;
- 2.) Conduct pre-treatment and post-treatment evaluations, and continue or modify treatment measures as necessary;
- 3.) Minimize the potential for transportation and importation of noxious weed species;

- 4.) Educate field personnel in order to encourage compliance with weed management program goals and assist with identification and control efforts.

To prevent or minimize the infestation and spread periodic inspections of the project area during the beginning, middle, and end of the growing season will evaluate presence or absence, degree of invasion, and the response of previous treatments. SunShare's operational staff will conduct regular site inspections and ensure implementation of this plan. Specific treatment methodologies and timetables will be developed based on species of concern, location and extent of the infestation(s), and other pertinent factors.

## 1.2 (a) Noxious Weed Prevention

Noxious weeds are spread through dispersal of seed and/or transport of plant propagules (i.e. spores, seeds, roots, etc.). The most effective way to control noxious weeds is to prevent their introduction into the site in the first place. A combination of methods and practices will be employed to prevent the introduction of weed species and their regeneration within the project area.

The following methods and practices may be employed, either singly or in combination, to prevent the introduction of weeds into the solar site:

- 1.) A thorough cleaning of equipment will be conducted before entering the project area to prevent the introduction of seed and plant propagules from other sites;
- 2.) Seed mixtures used for revegetation or temporary site stabilization will be free of noxious weeds;
- 3.) Hay, straw, and/or other materials used for mulch or other purposes will be certified weed free;
- 4.) A periodic inspection will be conducted to identify any new weed infestations that may have occurred. Any new infestations will be scheduled for management before they become well established and/or spread;
- 5.) Communication and coordination with adjacent land holders whose property is infested with noxious weeds that may threaten the site should occur. Establishing partnerships for weed management within the local area is essential for successful long-term weed management;
- 6.) Noxious and pest weed infestations that threaten natural and reclaimed areas will be treated with accepted Integrated Weed Management (IWM) methods. These methods are further discussed below.

## 1.2 (b) Integrated Weed Management (IWM)

An Integrated Weed Management approach will be implemented for treatment of noxious weeds within the project area. An IWM approach enables selection of one or more weed management methods based on site specific environmental conditions and control needs. The following weed management methods will be considered for the project area:

- 1.) Cultural – Planting native or desirable plant species for site colonization and promoting healthy vegetation communities in reclaimed areas. Prevent unnecessary disturbance through precise planning of construction projects and other activities. Prompt revegetation of disturbed areas.
- 2.) Mechanical – Mowing, pulling, disking, and plowing may be used on weedy species for which these treatments are effective.
- 3.) Biological – Introduction of insects or other biologic agents which are known to inhibit or prevent reproduction of noxious weed species. If biological agents are employed, control methods will be coordinated with the Colorado Department of Agricultural Insectary in Palisade, Colorado.
- 4.) Chemical – Application of appropriate herbicides by a licensed applicator. All herbicides will be applied in accordance with the manufacturer’s label and in accordance with Colorado laws.

In some cases, only one control method may be warranted, while in other cases a combination of control methods may be appropriate. Control methods selected will be dependent upon species of concern, and the location and extent of the infestation.

The use of IWM methods will protect pollinators, reduce hazards to wildlife, reduce the possibility of herbicide resistance, and minimize persistence and mobility of herbicides in the soil. Weed control methods and practices will be applied in a manner that conforms to applicable federal, state, and local laws.

## 1.2 (b) 1 – Cultural Control

Germination and establishment of noxious weeds can be reduced by following accepted revegetation and vegetation management techniques that favor the growth of desirable plants. These include prompt seeding and revegetation of disturbed areas with appropriate seed mixes, maintaining optimum fertility and moisture levels, planting at optimum density of pure live seed, minimizing use of fertilizers, and selecting suitable species for revegetation. Minimizing areas of disturbance and exposed soil prevents opportunities for aggressive species to establish.

A revegetation plan has been developed for the site that utilizes native species that are well-adapted to the site. Seeding native species in conjunction with other management practices will provide some level of competition with noxious weeds, and minimize the opportunity for new infestations to become established.

## 1.2 (b) 2 – Mechanical Control

Mechanical Control of noxious weeds can be an effective tool to physically disrupt noxious weed growth and seed development. A combination of mechanical methods may be used including tilling or disking, mowing, hand-held weed trimmers, mulching, hand-pulling, hoeing, or livestock grazing. Mechanical weed control practices must be applied with correct timing to maximize their effectiveness in preventing vegetation development or seed production.

Annual weedy species may be readily controlled with mowing or physical removal. Perennial species such as Dalmatian toadflax have extensive root systems. For such weed species, mowing may only control seed production without seriously affecting the plant's survival. Mowing after seed production has occurred may spread the plants. Disking or tilling areas containing perennial noxious species may increase the area of infestation due to root sprouting. In most cases, mechanical control methods used alone are not effective against noxious weed species.

## 1.2 (b) 3 – Biological Control

Biological control of noxious weeds can be an effective tool to physically disrupt plant growth and seed development. A combination of biological methods may be used including introduction of insect weed predators and species-specific plant diseases. Biological weed control methods and practices will be applied with appropriate timing to maximize their effectiveness in preventing seed production. It must be noted that the use of biological controls normally does not eradicate an infestation of weeds; rather they are capable of reducing weed species vigor and reproduction. The Colorado Department of Agriculture's Biological Pest Control Program has on-going biological control programs for several noxious weed species. Note, the use of insect bio-controls typically require large populations of the target weed to sustain the population of bio-control agents. Biological controls should not be expected to eliminate the entire infestation of a noxious weed, but instead to bring the infestation down to a more manageable level.

## 1.2 (b) 4 – Chemical Control

Chemical control of noxious and pest weeds can be an effective tool to disrupt plant growth and seed development. Herbicides can kill targeted species, prevent development and/or germination of noxious weed seed, can be used with minimal disturbance to soils, and in some cases, can be selective to specific species or groups of plants. Herbicides must be applied at the

appropriate time to maximize their effectiveness in preventing seed production, for disrupting plant establishment and growth, or achieving kill of noxious species. To avoid development of resistance to a particular herbicide through repeated use over prolonged periods of time, herbicides with varying modes of action to be used. Also, herbicides will be applied according to manufacturer's label recommendations (i.e. application rate, method, and timing) to prevent development of plant resistance. Herbicide selection will be based on weed emergence, timing of application, past applications, and ground and weather conditions during the applications.

Successful IWM begins with an understanding of the target plant species and the environment within which it grows. Next, the physiologic effects of an herbicide on plant growth and development must be understood. Understanding a pesticide's chemical nature is also important in minimizing impacts to non-target species, the applicator, endangered species, and pollinators, as well as surface water runoff hazards and leaching into groundwater. Every herbicide label contains information regarding environmental hazards. This information will be evaluated for each herbicide considered for use at the site and herbicides will be selected which pose minimal to no environmental hazards.

All pesticides will be handled with care, and applied by qualified personnel. Properly identifying the weed problem and the most effective chemical control method for use during the plant growth cycle is critical to effective weed control. Equipment will be properly calibrated before herbicides are applied and appropriate Personal Protective Equipment (PPE) will be used. Empty containers will be disposed of promptly, safely and according with product labeling.

Herbicides vary in the amount of time after an application before it is safe to re-enter the treated area without protective clothing and equipment. The site re-entry time is affected by the rate of application, size of the area treated and the amount of time to be spent in the field. For the safety of employees and contractors, the Restricted Entry Interval (REI) listed on the herbicide's label will be followed. Appropriate herbicide application records will be maintained as specified by the CDA.

## 1.2 (c) – Monitoring and Follow-Up

Even with effective weed management strategies, it often takes several seasons to eradicate or bring weed populations to an acceptable level. With well-established infestations, it is likely that a seed bank has developed in the soil capable of producing new plants for many years. An infestation of weeds can easily re-invade treated areas in one growing season if control and treatment activities are prematurely curtailed. Weed management efforts should be carried out over an adequate number of growing seasons to realize effective weed management within the target area.

As with all weed management, this multi-season effort is best served by effective documentation of control efforts and continued vigilance in successive seasons of management.

Information can be used to modify treatment priorities and weed management strategies over time. Vigilance is required against new infestations that may be moving into the site. These new sources of infestation may be worked into prevention and management plans as necessary.

This weed management plan will be modified over time as site conditions change. Weed management strategies and priorities can be modified as weed infestations change in response to continued control efforts.

## 1.3 – Drainage and Erosion Control

Installation of the solar facility will not alter existing drainage patterns or flow rates on the site and runoff water quality will not be impacted by the solar facility components. Installation of water quality or detention facilities would require clearing, grubbing, grading and reseeding of a portion of the site and would likely increase the potential for erosion, sediment transport and concentrated flow. Accordingly, water quality and detention are not recommended for this project.

Appropriate temporary (construction-related) erosion and sedimentation control Best Management Practices (BMPs), will be applied during the construction phase of the project. The BMPs will be inspected on a regular basis to ensure proper functionality.

Prepared by: **Richard L. Miller, AICP**  
**Development Manager**



# Town of Johnstown

## PLANNING & ZONING COMMISSION STAFF ANALYSIS REPORT

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<b>ITEM:</b>	<b>Uncle Benny’s Building Supplies Site Development Plan</b>
<b>PROJECT NO:</b>	<b>DEV22-0007</b>
<b>DESCRIPTION:</b>	Retail Building Supply Store and Yard (Light Industrial), on 5 acres
<b>LOCATION:</b>	Marketplace Drive
<b>APPLICANT:</b>	Uncle Benny’s Building Supplies, LLC
<b>STAFF:</b>	Kim Meyer, Planning & Development Director
<b>HEARING DATE:</b>	February 15, 2023

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### ATTACHMENTS

- 1. Vicinity Map
- 2. Site Development Plan – Site, Architecture, Landscape
- 3. Johnson’s Corner PUD Exhibit (from Annexation Agreement)

### PROJECT SUMMARY

The Applicant is requesting consideration of a Site Development Plan for a project called the Uncle Benny’s Building Supplies Retail Store and Yard. The project site east of the Frontage Road on Marketplace Drive, just east of Candlelight Dinner Playhouse. The retail site will include a 9,600 square foot (SF) main retail store, several covered sheds for building materials in a rear yard that offers pull-through pick-up, as well as a 3,900 SF marketplace kiosk to offer small spaces to artisans, craftsman, and makers. Parking will be provided with pull through spaces for large trucks and trailers.

### PROPERTY BACKGROUND

This property was annexed into the Town with the Johnson’s Corner Annexation No 2 in 1999, and zoned PUD-JC (Johnson’s Corner) at that time Attachment 3. The Uncle Benny’s Marketplace Resubdivision (2022) was a replat of the Great Colorado Marketplace Subdivision (2001) and created this 5 acre lot, as well as dedicated right of way for a future N/S connection along the LCR 3E alignment.

Marketplace Drive was constructed to just east of the site; water and sanitary sewer were extended in/to Marketplace as well, with prior development.

This site has no floodplain, irrigation ditches, or oil and gas facilities or wells located on site. There is a small drainage ditch that runs across the property, that is being addressed through site engineering.

**ZONING & LAND USE**

- Site Zoning:** PUD-JC – Johnson’s Corner - undeveloped
- North** PUD-JC – Johnson’s Corner – Auto Sales
- East** PUD-JC – Johnson’s Corner - Candlelight theater
- South** PUD-JC – Johnson’s Corner – Exodus Moving
- West** PUD-MU – undeveloped, ag land and oil and gas facilities

**PUBLIC NOTICE**

Notice for the Planning & Zoning Commission hearing was published in the Johnstown Breeze, on Thursday, January 26, 2023. This notice provided the date, time, and location of the Planning and Zoning Commission hearing. Notices were mailed to all property owners within 500 feet of the property in question. This notice included a vicinity map and the proposed site plan. No neighborhood meeting was required.

**PROJECT DESCRIPTION & ANALYSIS**

*Review Criteria*

Per Johnstown Municipal Code §16-145(e)(1)c, as this project is not currently governed by a set of detailed design guidelines for the PUD, it is therefore subject to Full Review by the Planning & Zoning Commission and Town Council. The standards and elements for review within the Code (JMC §16-145(j)), include:

- Zoning and land use
- Height, bulk, yard setbacks, building coverage, & other site considerations
- PUD / ODP Design Guidelines
- Utilities
- Stormwater and drainage
- Parking
- Loading
- Stacking
- Landscaping
- Lighting
- Signs
- Circulation – vehicular
- Circulation – pedestrian
- Town plans and design guidelines

The code further states that the final reviewing body “shall approve a proposed development plan application if... it conforms” to all of the appropriate and applicable standards.

In Staff and the JRC review of the project, we have determined that the project is in conformance with the Town codes, standards, and regulations, and in alignment with the comprehensive plan. The use falls within the uses permitted by the zoning district. No traffic study was required, given the classification of Marketplace Drive and the proposed use. While a few remaining items are being revised by the Applicant, based on JRC comments, staff feels confident that this project will meet all technical and engineering standards necessary.

*The Project*

This proposed development will create a 5-acre site for Uncle Benny’s Building Supplies to relocate from a prior site north of Berthoud. Drive access will be pulled from Marketplace Drive, and ultimately be shared with the three surrounding lots created by that 2022 Uncle Benny’s Marketplace Resubdivision.

The site is organized around a central, street-facing building that serves as the main sales office and shop, with a circular drive that moves around the site to allow large vehicles to load/unload building materials,

with a small vehicle parking area in front of the shop. The rear yard will be a functional storage and loading area, screened with solid fencing as well as five large 3-sided covered structures (200 to 349 feet in length, 12' 7" wide/deep) which will house and protect much of the building supply materials. A smaller building is proposed inline with the main store to offer leased "marketplace" spaces to other builders, craftsman and artisans.

The architecture provides for well-articulated and interesting front-facing façades, with varied rooflines, materials and a covered front "porch" area. The front facades of the main buildings use vertical barn wood siding, and horizontal ship lap, and a main building that stands 30' to the top parapet, with a ceiling height of approx. 22'. The side elevations mimic the colors of the façade, but use a vertical metal siding as the primary material over a horizontal shiplap along the main floor. The parapet to the roof wraps around the full side of the building. The Marketplace building parapet extends to 22' at its highest, and angles back along the sides. The storage "sheds" in the materials yard use the same color and materials as the main building – and stand 18 feet tall to the peak of the half-gable roof. Industrial use buildings are permitted to use metal as a primary material, within the Town Design Guidelines. Staff appreciates the efforts to provide an attractive façade to Marketplace Dr and the customer-facing areas.

Site utilities will be brought to the site, and a larger stormwater facility will be built with the subdivision to provide detention and water quality to all lots within this smaller development. Marketplace Drive will be extended along the frontage of this lot, at minimum.

#### *Johnstown Review Committee (JRC)*

As noted above, the JRC has reviewed these development plans, as well as the accompanying engineering and construction drawings, and worked with the Applicant to institute appropriate revisions to ensure compliance with Town standards, guidelines, and specifications, as they relate to this property and Site Development Plan. All JRC members have indicated the site substantially conforms to town standards and prior master development plans and reports, and, with final requested revisions of engineering plans, is anticipated to meet all applicable codes, standards and regulations. This review, and that of the prior subdivision, included coordinating referrals with Front Range Fire, a water engineer, Public Works, and Utilities, as well as the contracted Town engineer. Final approved and accepted plans and reports are required prior to construction on-site, with the exception of some early grading work. A Water and Sewer Service Agreement is required prior to issuing a building permit – this owner did purchase sufficient water to meet the demand of this use and site.

#### *Conclusion*

After considerable coordination with the Applicant in conjunction with our review partners, Staff has no outstanding concerns and believes this Site Development Plan meets the requirements indicated within the municipal code and associated design standards and specifications.

*The Community That Cares*

[www.johnstown.colorado.gov](http://www.johnstown.colorado.gov)

P: 970.587.4664 | 450 S. Parish Ave, Johnstown CO | F: 970.587.0141

**RECOMMENDED PLANNING AND ZONING COMMISSION FINDINGS AND MOTIONS****Recommended Findings**

It is recommended that Planning and Zoning Commission send a recommendation for Approval with Conditions to Town Council that the requested Uncle Benny's Building Supplies Site Development Plan be approved based upon the following findings:

1. The proposed development is consistent with the Johnstown Area Comprehensive Plan.
2. The proposed development is in compliance with the Town's municipal code, regulations, and requirements.

**Recommended Motion – Motion to Approve**

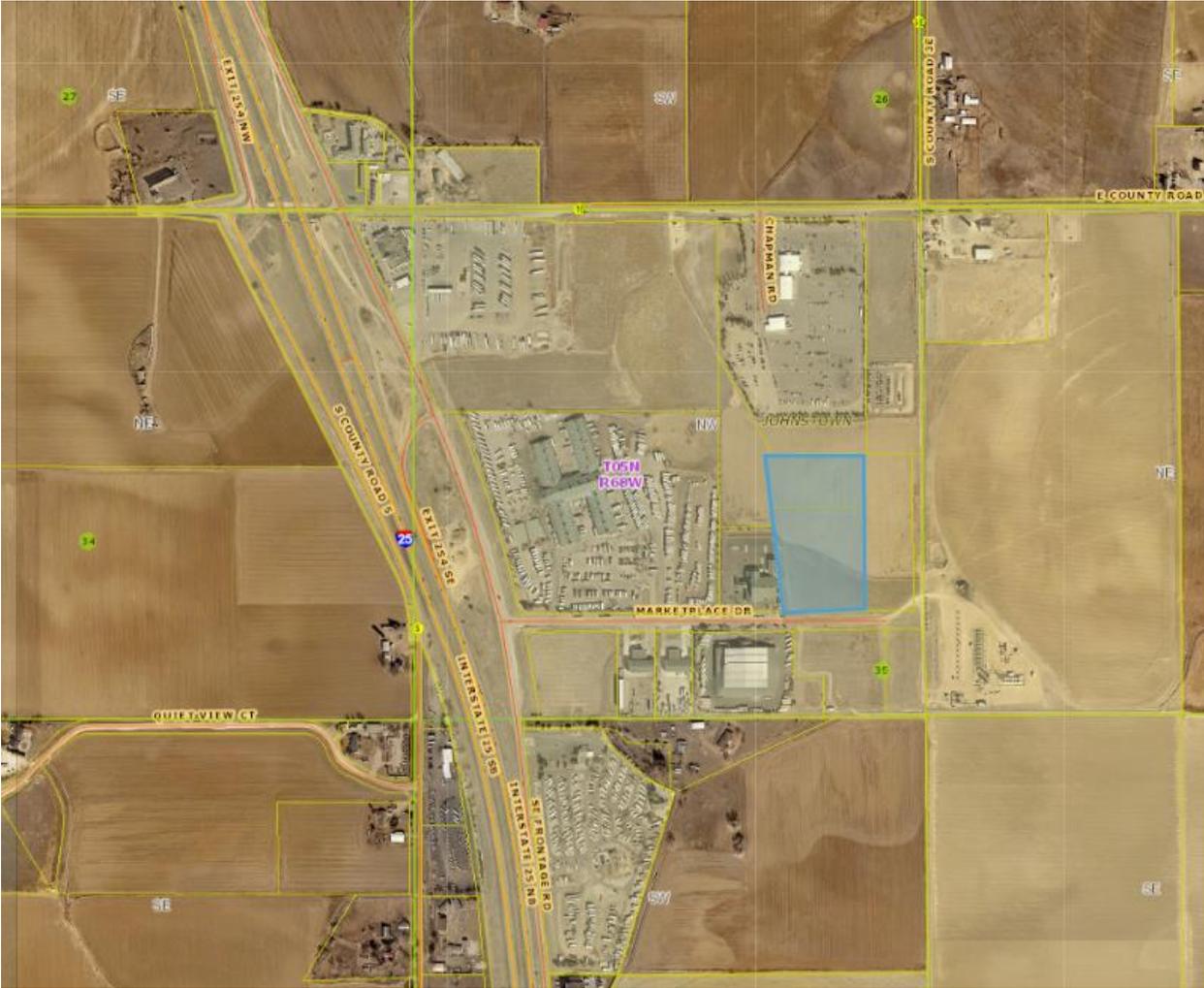
Based on the application received, associated submittal materials, and the preceding analysis, I move that the Planning & Zoning Commission Recommend Approval of the Uncle Benny's Building Supplies Site Development Plan to the Town Council based upon the findings as stated above.

**Alternate Motion – Motion to Deny**

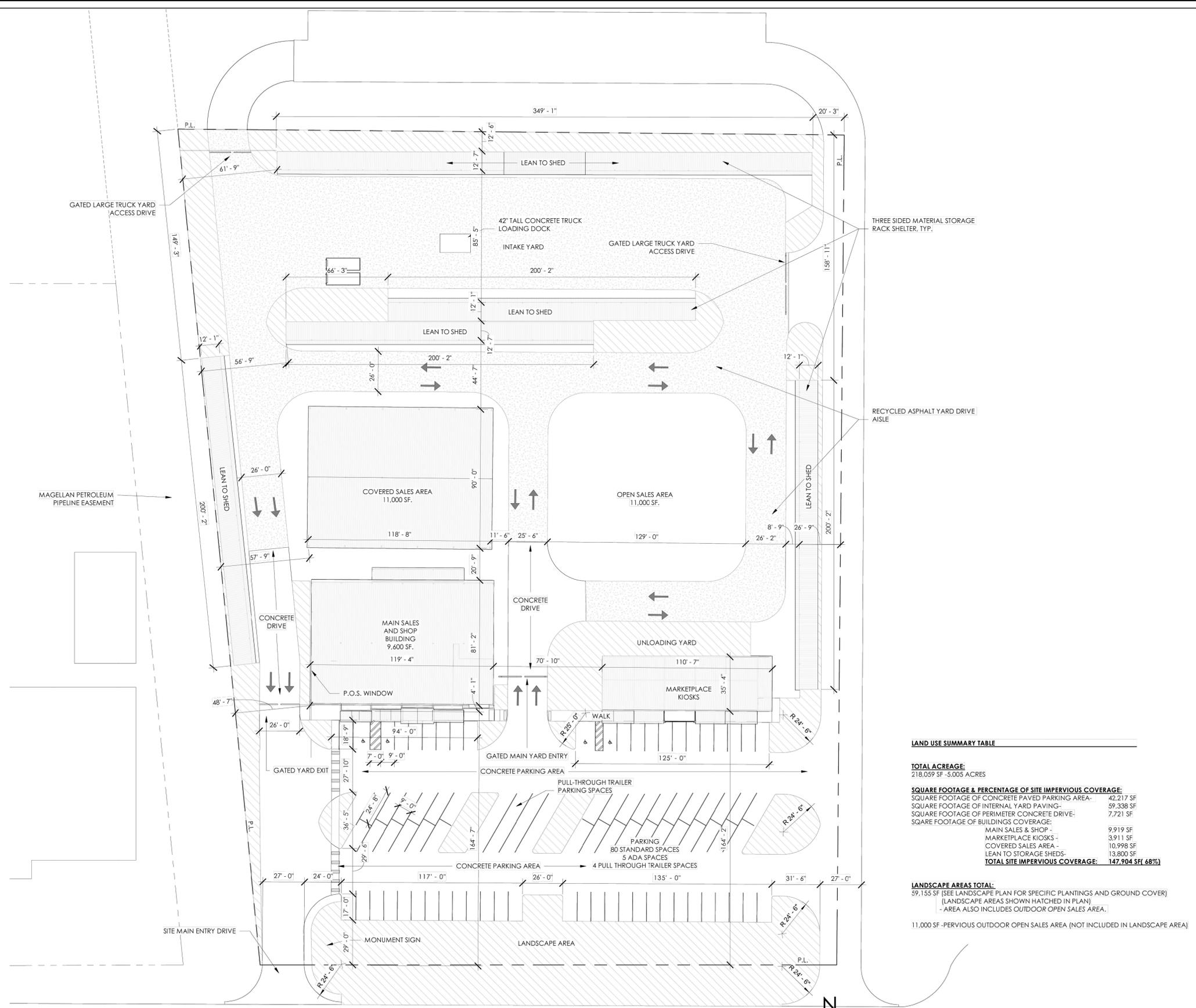
I move that the Planning & Zoning Commission recommend Denial of Uncle Benny's Building Supplies Site Development Plan to the Town Council, based upon the following findings...

# VICINITY MAP UNCLE BENNY'S

Marketplace Dr., east of the Frontage Road; east of Candlelight Theater



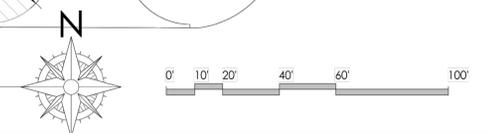
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**LAND USE SUMMARY TABLE**

<b>TOTAL ACREAGE:</b>	218,059 SF - 5.005 ACRES
<b>SQUARE FOOTAGE &amp; PERCENTAGE OF SITE IMPERVIOUS COVERAGE:</b>	
SQUARE FOOTAGE OF CONCRETE PAVED PARKING AREA-	42,217 SF
SQUARE FOOTAGE OF INTERNAL YARD PAVING-	59,338 SF
SQUARE FOOTAGE OF PERIMETER CONCRETE DRIVE-	7,721 SF
SQARE FOOTAGE OF BUILDINGS COVERAGE:	
MAIN SALES & SHOP-	9,919 SF
MARKETPLACE KIOSKS -	3,911 SF
COVERED SALES AREA -	10,998 SF
LEAN TO STORAGE SHEDS-	13,800 SF
<b>TOTAL SITE IMPERVIOUS COVERAGE:</b>	<b>147,904 SF ( 68%)</b>
<b>LANDSCAPE AREAS TOTAL:</b>	59,155 SF (SEE LANDSCAPE PLAN FOR SPECIFIC PLANTINGS AND GROUND COVER)
	(LANDSCAPE AREAS SHOWN HATCHED IN PLAN)
	- AREA ALSO INCLUDES OUTDOOR OPEN SALES AREA.
	11,000 SF -PERVIOUS OUTDOOR OPEN SALES AREA (NOT INCLUDED IN LANDSCAPE AREA)

**1 SITE PLAN**  
SCALE: 1/32" = 1'-0"



REVISIONS	
Date	By
Date	By
Date	By

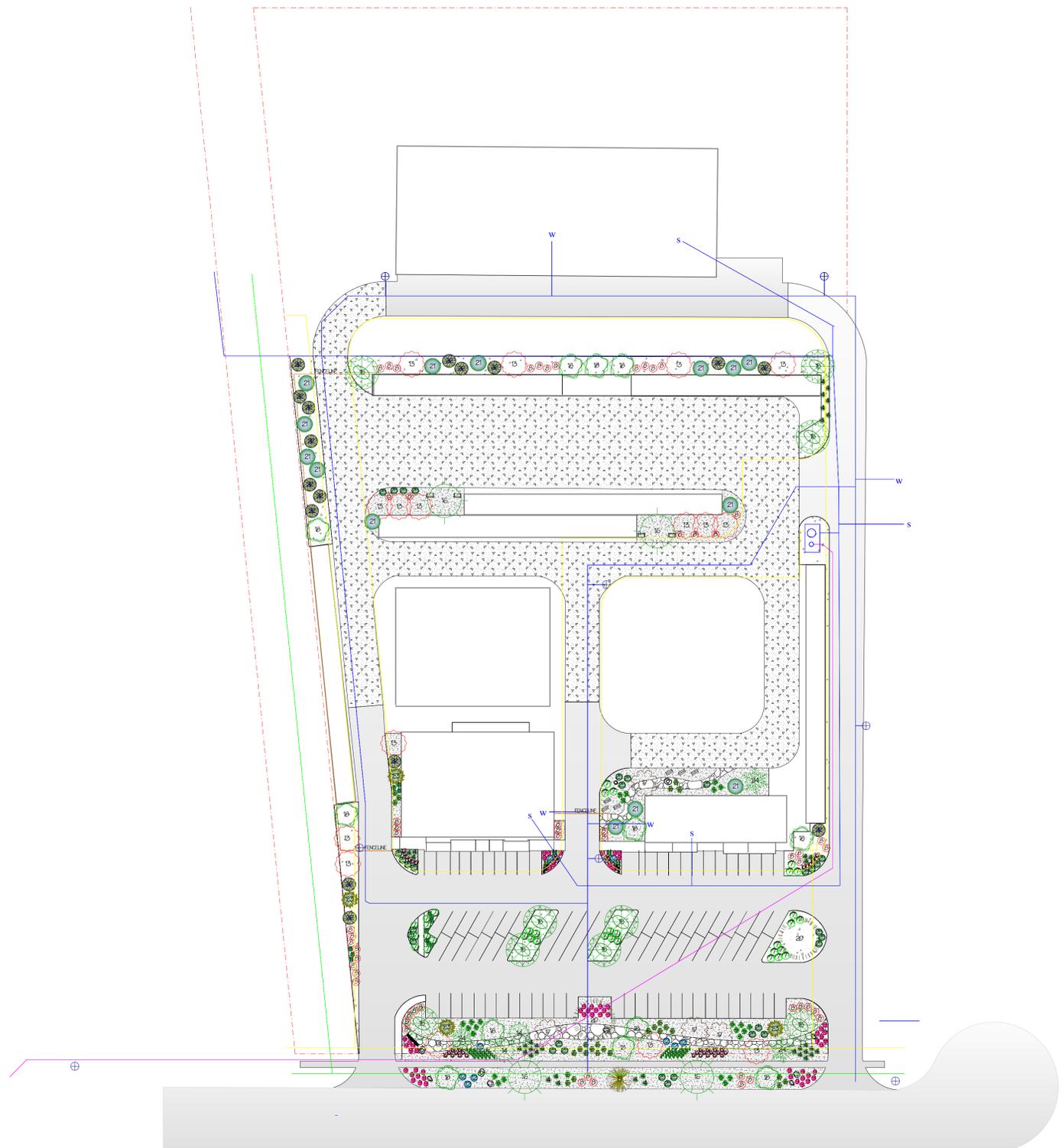
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Field Book		Checked	<b>J.V.S.</b>
Scale	<b>1" = 30'</b>	Approved	<b>J.V.S.</b>

CLIENT  
**UNCLE BENNY'S BUILDING SUPPLIES**

LODESTONE DESIGN GROUP  
206 FIFTH STREET, SUITE 200, FREDERICK, CO 80530-0440  
PHONE: (303) 800-8366

TITLE  
**SITE PLAN**  
**LOTS 1 & 2, UNCLE BENNY'S MARKETPLACE RE-SUBDIVISION**  
JOHNSTOWN, COLORADO

PROJECT NO.	20-102	SHEET NO.	<b>1</b>	NO. OF SHEETS	<b>10</b>
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KEY	
	CONCRETE
	ROADBASE
NEW MATERIALS	
QUANTITIES	
	17,333 SF
	16,210 SF 15,064 SF IRRIGATED
	3,500 SF 70% 2-4" COBBLE 15% 6-18" ACCENT COBBLE 10% PEA GRAVEL "POOLS" 5% 3/4" RIVER ROCK DRY RIVER BED
	12 BOULDER TYPE TBD
	530 LF
	4
	6

Utilities	
	forced main
	waterline
	gas line
	electric line
	fire hydrant
	lift station
	property line

Utilities courtesy of Shear Engineering Corp.  
See project 3184-01-21 sheet 5/18 for utility details. Betterland Design does not accept responsibility for damage to any utilities, known or unknown. Final responsibility for proper grading, drainage and utility locates rests with the client and project installers. Client retains final responsibility for accurate determination of property lines.

LEGEND			
	BOTANICAL NAME	COMMON NAME	QTY
FLOWER, GRASS	1 SCHIZACHYRIUM SCOPARILUM	LITTLE BLUESTEM	68
FLOWER, PERENNIAL	2 RUDEBECKIA FULLGIDA VAR. SPECIOSA	RUDEBECKIA, BLACK EYED SUSAN	8
	3 SALVIA MAY NIGHT	SALVIA, BLUE MAY NIGHT	10
SHRUB, CACTI	4 EPHEDRA VIRIDIS	MORMON TEA	37
SHRUB, DECIDUOUS	5 CHRYSOTHAMNUS NAUSEOSUS	RABBITBRUSH	24
	6 FALLUGIA PARADOXA	APACHE PLUME	27
	7 PRUNUS BESSEYI 'PAWNEE BUTTES'	CREeping WESTERN SAND CHERRY	34
	8 ROSA WOODSII	WOOD'S ROSE	54
SHRUB, EVERGREEN BROADLEAF	9 ARCTOSTAPHYLOS UVA-URSI 'MASSAC'	KINNICKINICK	57
	10 HESPERALOE PARVIFOLIA	YUCCA, RED	35
SHRUB, EVERGREEN CONIFER	11 JUNIPERUS VIRGINIANA 'TAYLOR'	JUNIPER, TAYLOR	13
	12 PICEA PUNGENS 'COMPACTA'	SPRUCE, GLOBE	9
TREE, DECIDUOUS	13 AVELANCHER X GRAND 'AUTUMN BRILLIANCE'	AVELANCHER, AUTUMN BRILLIANCE	16
	14 CRATAEGUS CRUS-GALLI	HAWTHORN, COCKSPUR	2
	15 GLEDITSIA TRIACANTHOS INERMIS	HONEYLOCUST, IMPERIAL	9
	16 GYMNOCLADUS DIOICA	KENTUCKY COFFEE TREE	4
	17 MALUS X 'SPRING SNOW'	CRABAPPLE, SPRING SNOW	4
	18 QUERCUS GAMBELLI	OAK, GAMBEL	12
	19 SYRINGA RETICULATA	LILAC, JAPANESE TREE	1
	20 TILIA GORDATA 'GLENLEVEN'	LINDEN, GLENLEVEN	2
TREE, EVERGREEN	21 JUNIPERUS SCOPULORUM 'MOON GLOW'	JUNIPER, MOONGLOW	14
	22 JUNIPERUS SCOPULORUM	JUNIPER, ROCKY MOUNTAIN	16
	23 PICEA PUNGENS 'BAKERI'	BLUE SPRUCE, BAKERI	4
	24 PINUS PONDEROSA	PINE, PONDEROSA	3
	25 PINUS MUGO FUMILO	PINE, MUGHO DWARF	31

**DESIGNER NOTES**

- Landscape areas are designed in accordance with the Town of Johnstown Landscape Standards and Specifications (ToJLS&S).
- All irrigation elements shall meet the requirements listed in section H.5 of JLS&S and focus on xeric principal. See Irrigation Detail Design, sheet 2/2, for irrigation details.
- Plants are shown at 2/3 mature size. Plant species details are available through the Uncle Benny's Master Plant List Compendium.
- All mulched areas must have a water permeable weed barrier underlayment.
- All mulched areas should have a depth of no less than 4" of material.
- All planting beds must be amended with a minimum of 3 cubic yards of organic material for 1000 square feet of existing soil, tilled to a minimum depth of 6 inches.
- Trees and shrub pits shall be backfilled using a mixture of one third native soil, one third top soil, and one third organic matter.
- The crown of newly installed plants must be covered with mulch to prevent rapid water evaporation and stressfull conditions on the newly established plant material
- It is the responsibility of the Developer and their Contractors to build the project according to approved plans and details and in accordance with current ToJLS&S.
- Maintenance will be carried out in accordance to section H.6 of the ToJLS&S.
- Always call for locates before digging
- Contact Emily Weakland at Betterland design with any questions or concerns in regards to this landscape design.
- Betterland Design does not accept responsibility for damage to any utilities, known or unknown. Final responsibility for proper grading, drainage and utility locates rests with the client and project installers. Client retains final responsibility for accurate determination of property lines.



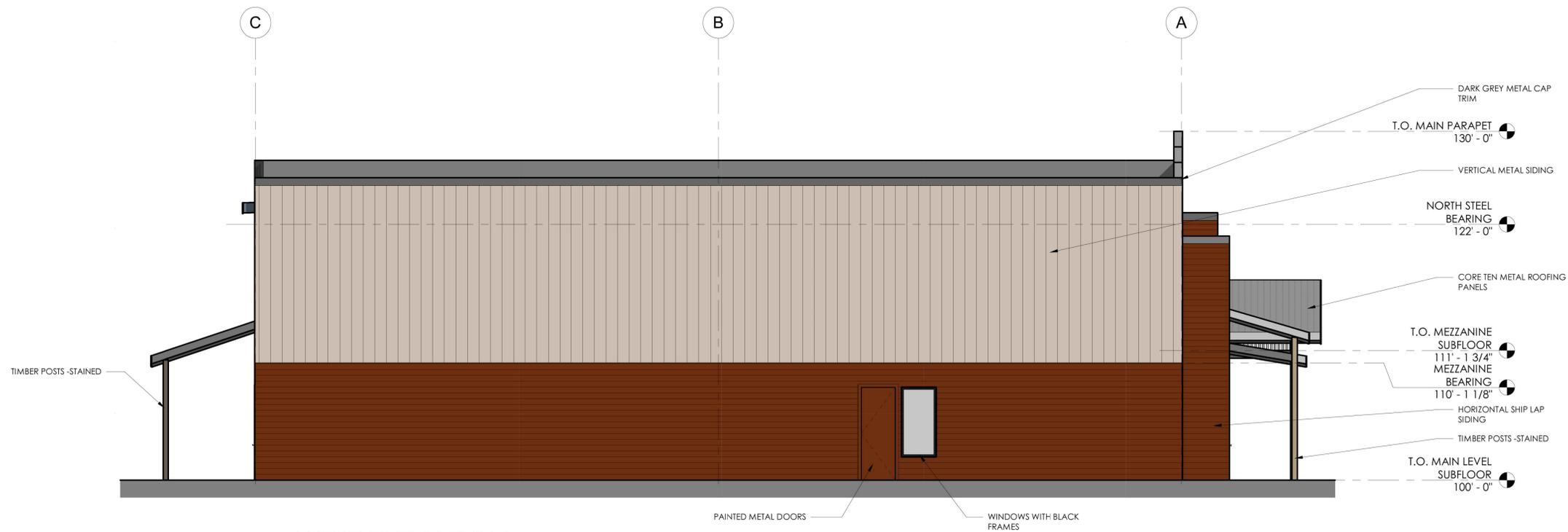
Revision #: 2/2  
Date: 11/2/2022

Scale:  
1" = 50'

Landscape Plan: 318 Page:1/2  
**Uncle Benny's Johnstown**

Landscape Design by: Emily Weakland  
**Betterland Design**





**1 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 SOUTH/FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

Nov 02, 2022 - 1:53pm H:\Shared drives\Lodestone MS Sync\Projects\20-102 Uncle Benny's Building Supply\Correspondence\Planning Reviews\2022 October\_Submittal\IBBS BUILDING ELD.S 10-22.dwg jef

REVISIONS	
Date	By
Date	By
Date	By

Date	<b>OCTOBER 2022</b>	Drawn	<b>J.V.S.</b>
Field Book		Checked	<b>J.V.S.</b>
Scale	<b>3/16" = 1'-0"</b>	Approved	<b>J.V.S.</b>

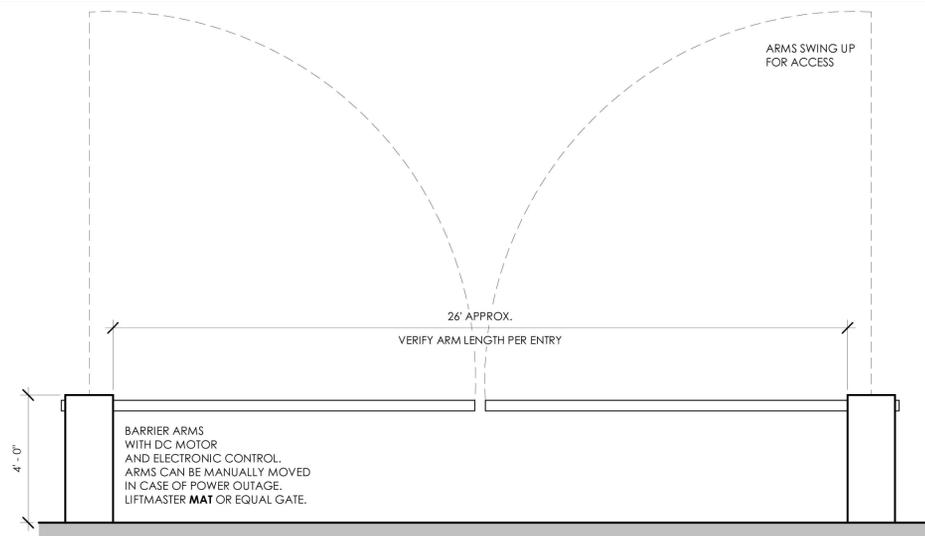
CLIENT  
**UNCLE BENNY'S BUILDING SUPPLIES**

**LODESTONE DESIGN GROUP**  
206 FIFTH STREET, SUITE 200, FREDERICK, CO 80530-0440  
PHONE: (303) 800-8366

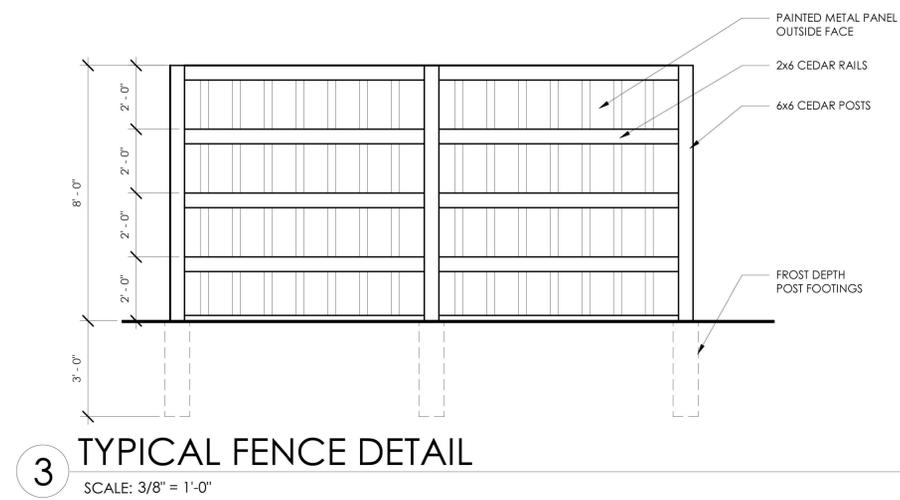
TITLE **BUILDING ELEVATIONS - MAIN SALES AND SHOP**  
**LOTS 1 & 2, UNCLE BENNY'S MARKETPLACE RE-SUBDIVISION**  
JOHNSTOWN, COLORADO

PROJECT NO.  
**20-102**

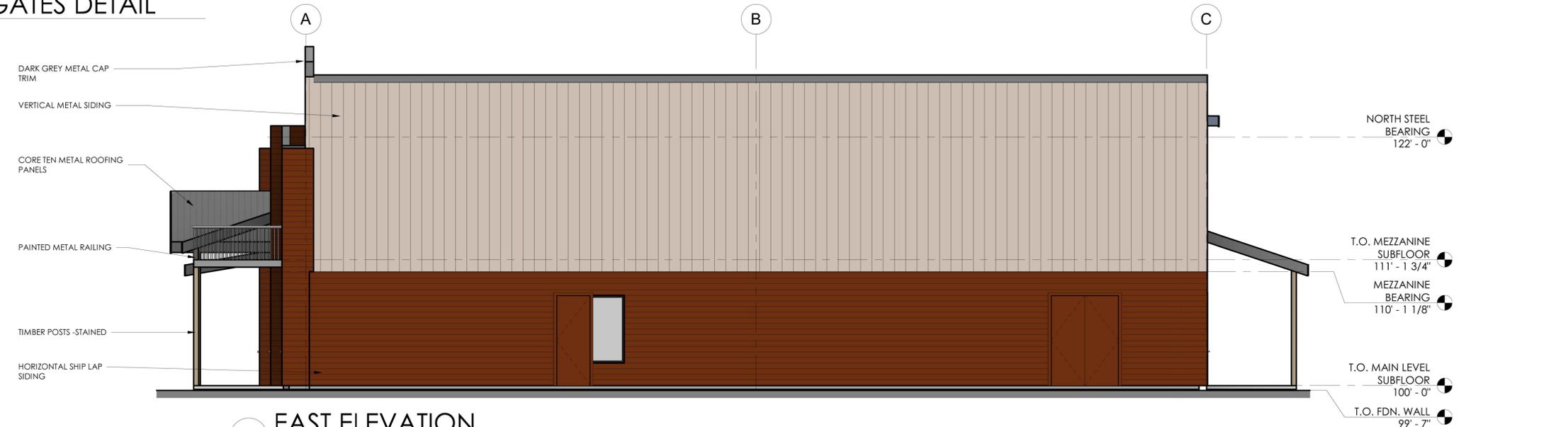
SHEET NO.	NO. OF SHEETS
<b>5</b>	<b>10</b>



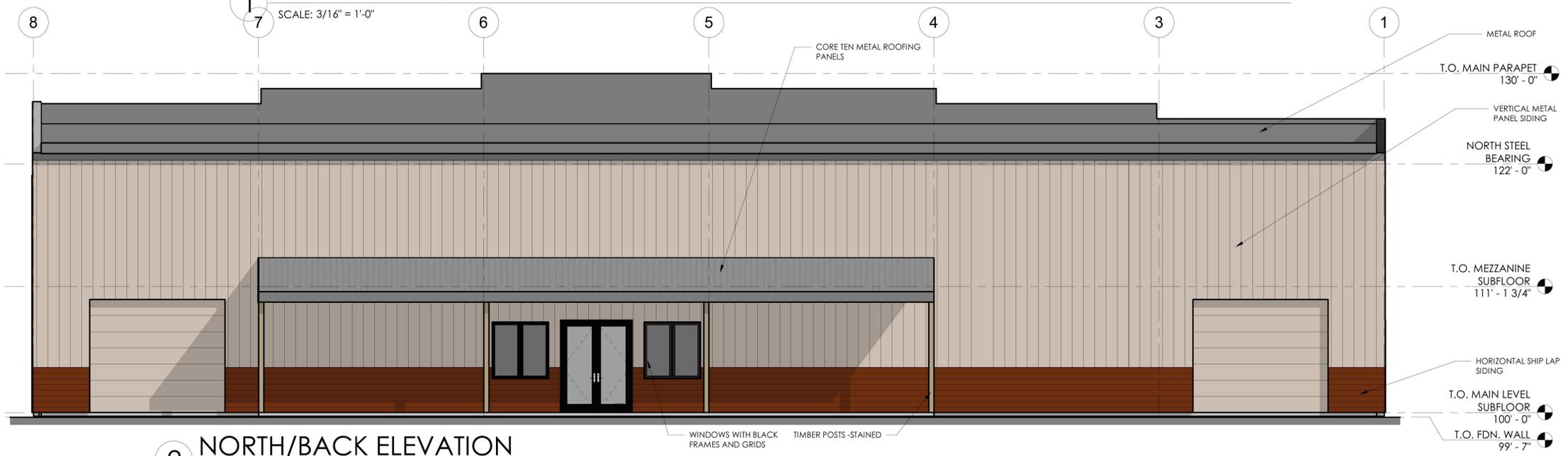
**4 TRAFFIC GATES DETAIL**  
SCALE: 3/8" = 1'-0"



**3 TYPICAL FENCE DETAIL**  
SCALE: 3/8" = 1'-0"



**1 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 NORTH/BACK ELEVATION**  
SCALE: 3/16" = 1'-0"

Nov 02, 2022 - 1:53pm H:\Shared drives\Lodestone BUS Sync\Projects\20-102 Uncle Benny's Building Supply\Correspondence\Planning Reviews\2022 October\_Submittal\LIBS BUILDING ELEVS 10-22.dwg jefr

REVISIONS	
Date	By
Date	By
Date	By

Date	<b>OCTOBER 2022</b>	Drawn	<b>J.V.S.</b>
Field Book		Checked	<b>J.V.S.</b>
Scale	<b>3/16" = 1'-0"</b>	Approved	<b>J.V.S.</b>

CLIENT	<b>UNCLE BENNY'S BUILDING SUPPLIES</b>
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<b>LODESTONE DESIGN GROUP</b> 206 FIFTH STREET, SUITE 200, FREDERICK, CO 80530-0440 PHONE: (303) 800-8366
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TITLE	<b>BUILDING ELEVATIONS - MAIN SALES AND SHOP</b>
	<b>LOTS 1 &amp; 2, UNCLE BENNY'S MARKETPLACE RE-SUBDIVISION</b>
	<b>JOHNSTOWN, COLORADO</b>

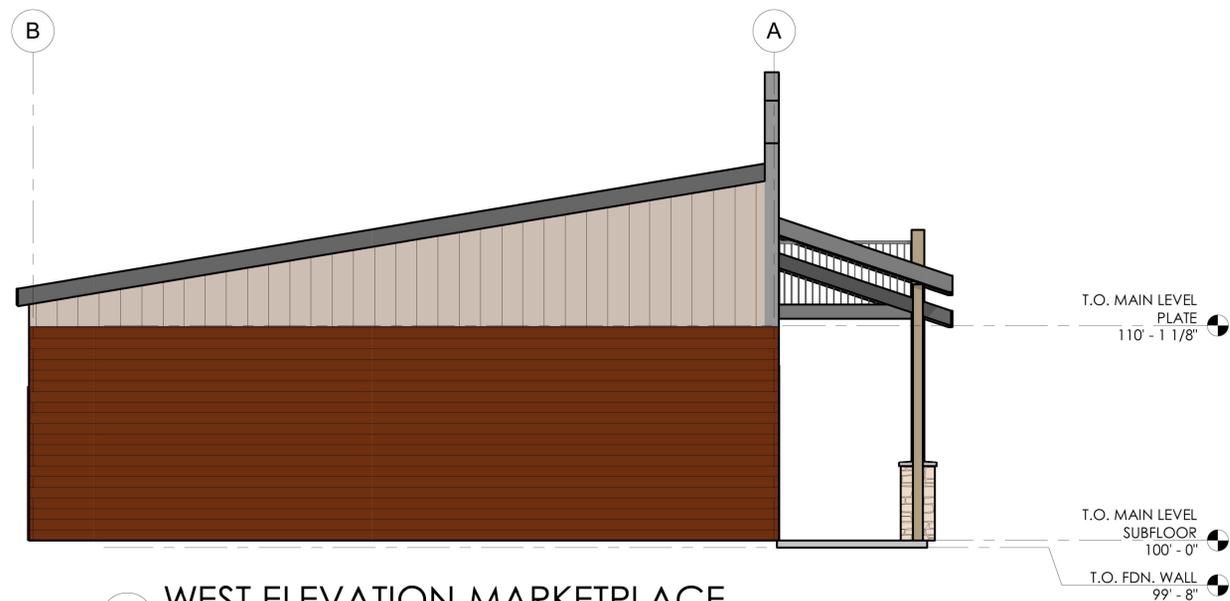
PROJECT NO.	<b>20-102</b>
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SHEET NO.	<b>6</b>	NO. OF SHEETS	<b>10</b>
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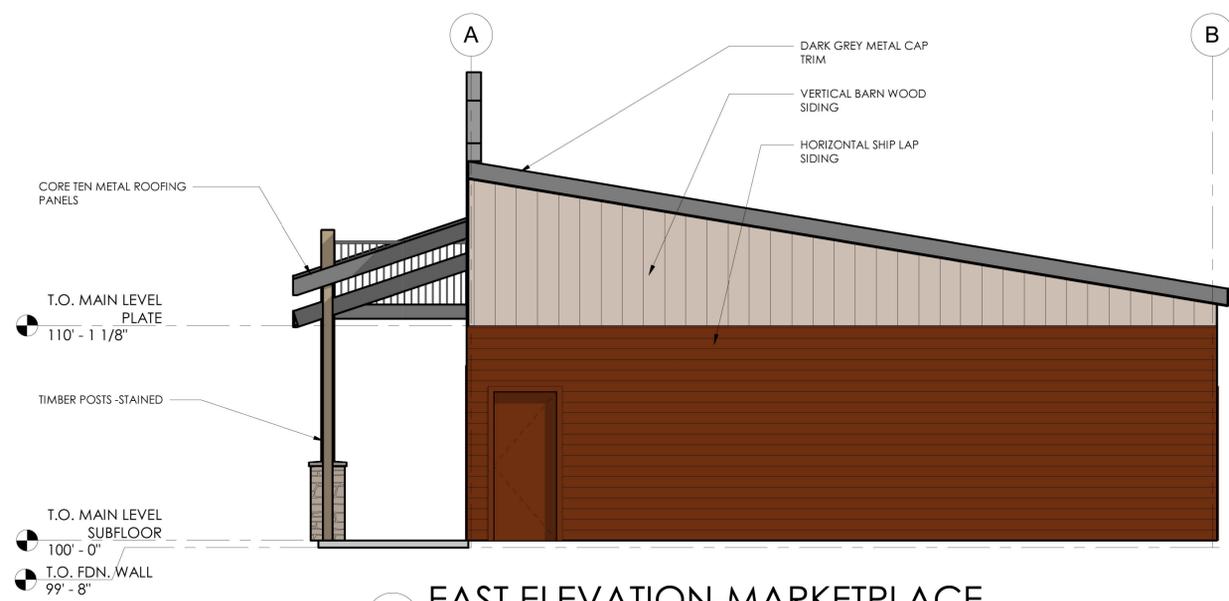
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**2 SOUTH ELEVATION-MARKETPLACE**  
SCALE: 1/4" = 1'-0"



**1 WEST ELEVATION-MARKETPLACE**  
SCALE: 1/4" = 1'-0"



**3 EAST ELEVATION-MARKETPLACE**  
SCALE: 1/4" = 1'-0"

REVISIONS	
Date	By
Date	By
Date	By

Date	<b>OCTOBER 2022</b>	Drawn	<b>J.V.S.</b>
Field Book		Checked	<b>J.V.S.</b>
Scale	<b>1/4" = 1'-0"</b>	Approved	<b>J.V.S.</b>

CLIENT	<b>UNCLE BENNY'S BUILDING SUPPLIES</b>
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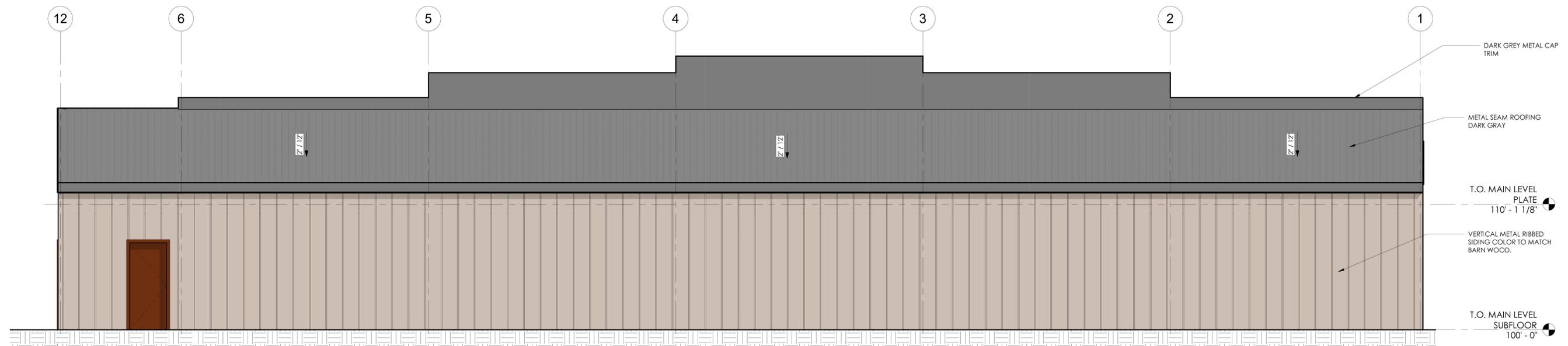
<b>LODESTONE DESIGN GROUP</b> 206 FIFTH STREET, SUITE 200, FREDERICK, CO 80530-0440 PHONE: (303) 800-8366
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TITLE	<b>BUILDING ELEVATIONS - MARKETPLACE</b>
	<b>LOTS 1 &amp; 2, UNCLE BENNY'S MARKETPLACE RE-SUBDIVISION</b>
	<b>JOHNSTOWN, COLORADO</b>

PROJECT NO.	<b>20-102</b>
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SHEET NO.	<b>7</b>	NO. OF SHEETS	<b>10</b>
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**1 NORTH ELEVATION-MARKETPLACE**  
 SCALE: 1/4" = 1'-0"

REVISIONS	
Date	By
Date	By
Date	By

Date	<b>OCTOBER 2022</b>	Drawn	<b>J.V.S.</b>
Field Book		Checked	<b>J.V.S.</b>
Scale	<b>1/4" = 1'-0"</b>	Approved	<b>J.V.S.</b>

CLIENT	<b>UNCLE BENNY'S BUILDING SUPPLIES</b>
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<b>LODESTONE DESIGN GROUP</b> 206 FIFTH STREET, SUITE 200, FREDERICK, CO 80530-0440 PHONE: (303) 800-8366
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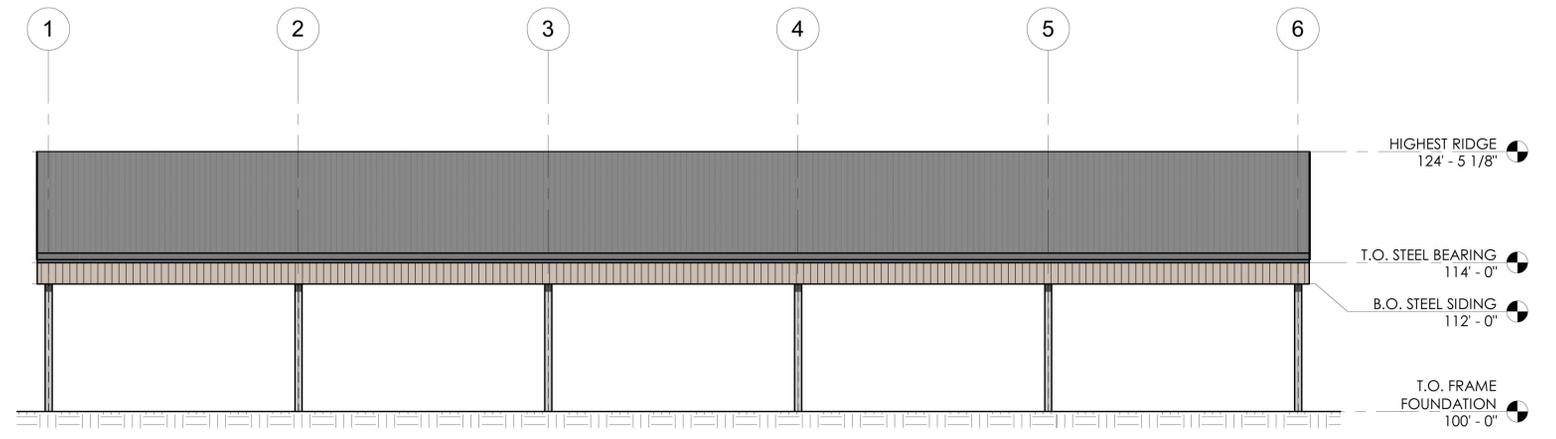
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	<b>LOTS 1 &amp; 2, UNCLE BENNY'S MARKETPLACE RE-SUBDIVISION</b>
	<b>JOHNSTOWN, COLORADO</b>

PROJECT NO.	<b>20-102</b>
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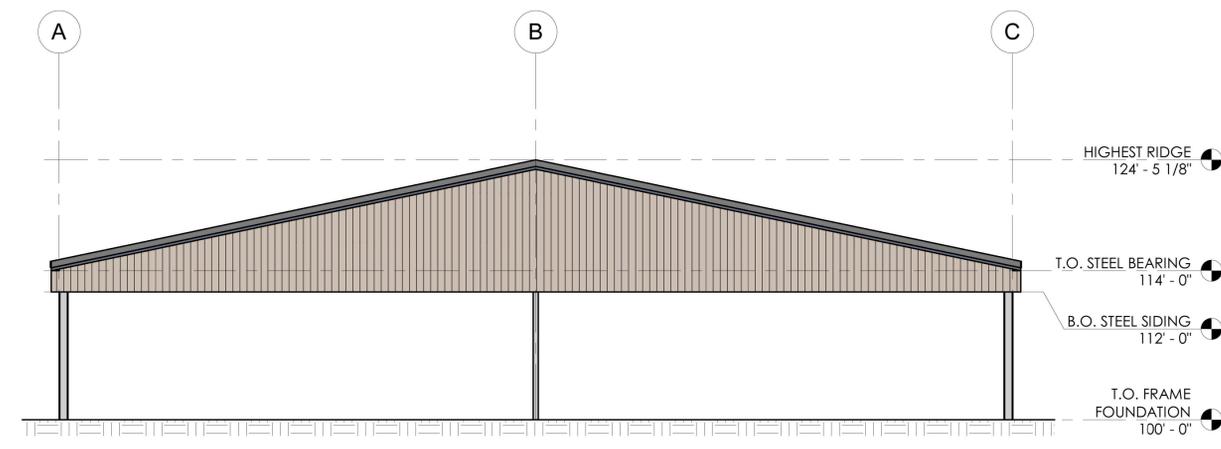
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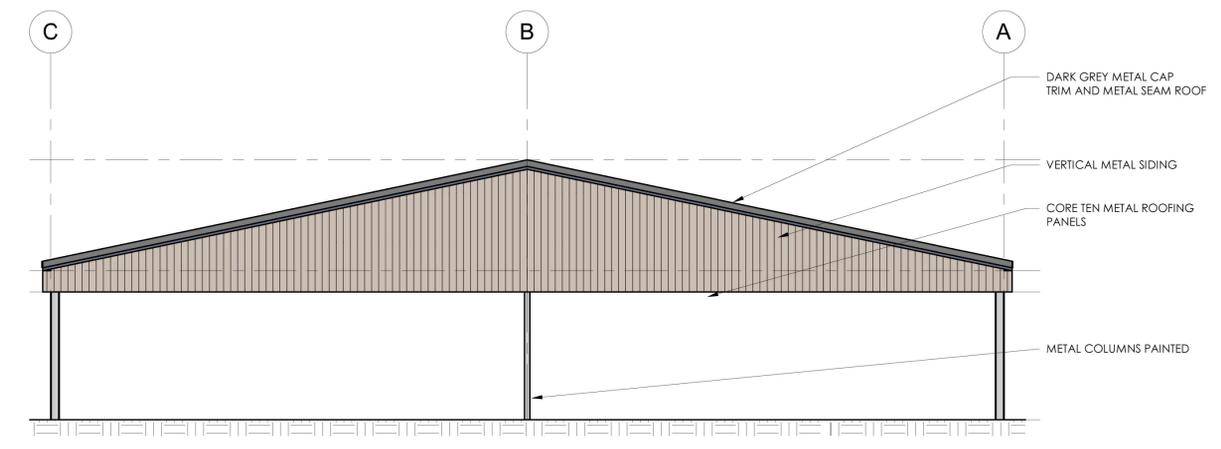
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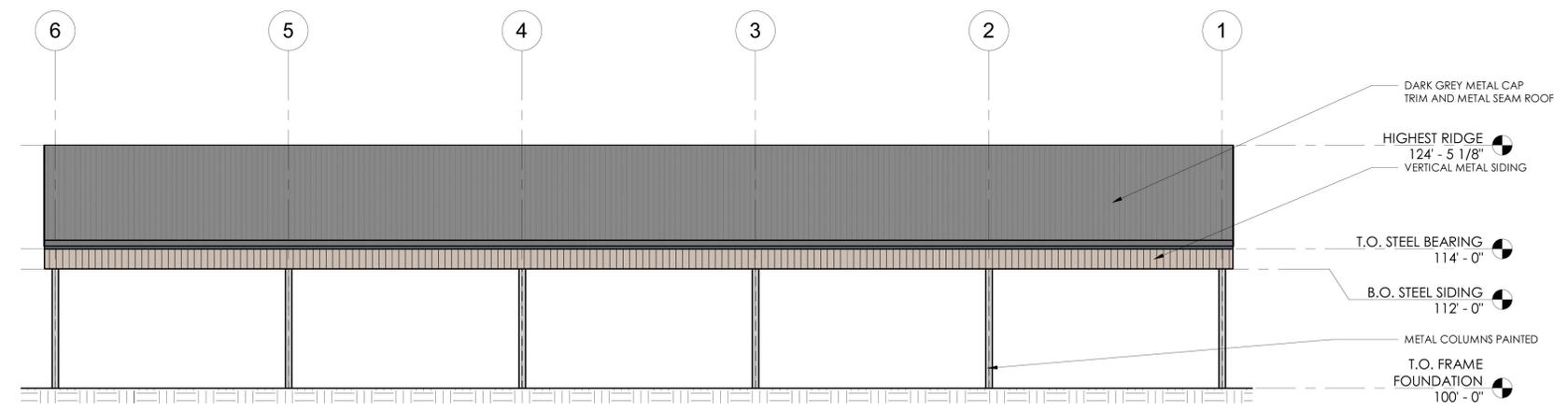
2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

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REVISIONS	
Date	By
Date	By
Date	By

Date	By	Date	By
Field Book	1/8" = 1'-0"	Checked	J.V.S.
Scale	1/8" = 1'-0"	Approved	J.V.S.

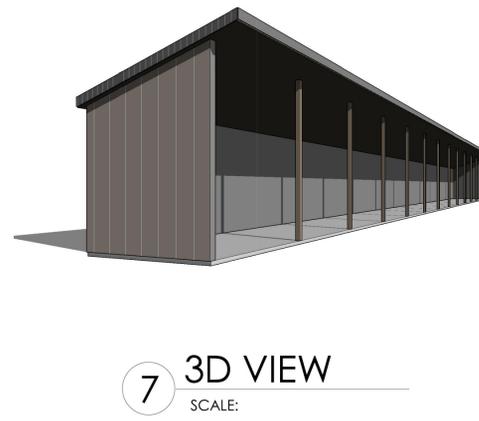
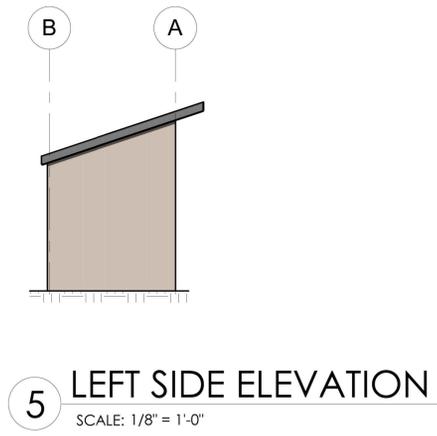
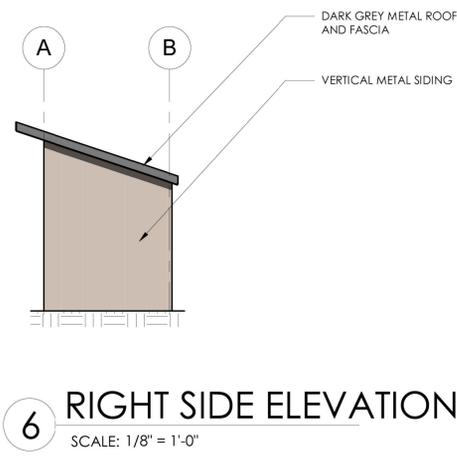
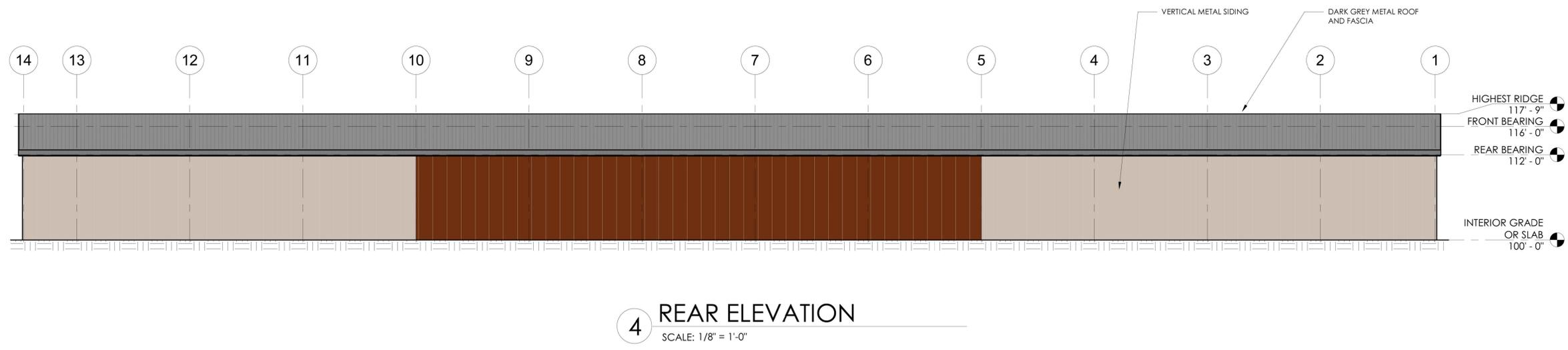
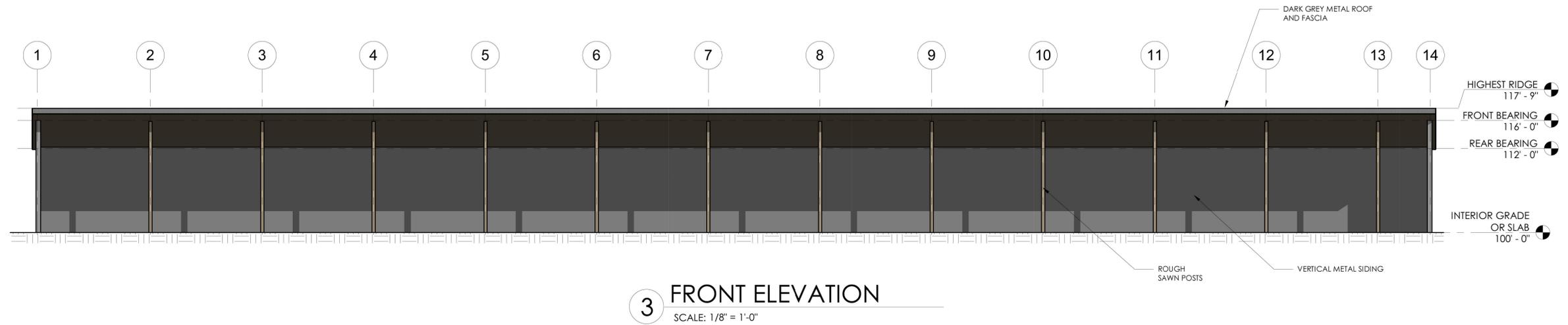
CLIENT  
UNCLE BENNY'S BUILDING SUPPLIES

LODESTONE DESIGN GROUP  
206 FIFTH STREET, SUITE 200, FREDERICK, CO 80530-0440  
PHONE: (303) 800-8366

TITLE BUILDING ELEVATIONS - COVERED OUTDOOR SALES  
LOTS 1 & 2, UNCLE BENNY'S MARKETPLACE RE-SUBDIVISION  
JOHNSTOWN, COLORADO

PROJECT NO.  
20-102

SHEET NO.	NO. OF SHEETS
9	10



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REVISIONS	
Date	By
Date	By
Date	By

Date	<b>OCTOBER 2022</b>	Drawn	<b>J.V.S.</b>
Field Book		Checked	<b>J.V.S.</b>
Scale	<b>1/8" = 1'-0"</b>	Approved	<b>J.V.S.</b>

CLIENT	<b>UNCLE BENNY'S BUILDING SUPPLIES</b>
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<b>LODESTONE DESIGN GROUP</b> 206 FIFTH STREET, SUITE 200, FREDERICK, CO 80530-0440 PHONE: (303) 800-8366
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TITLE	<b>BUILDING ELEVATIONS - LEAN-TO MATERIAL SHELTER</b>
PROJECT NO.	<b>20-102</b>
<b>LOTS 1 &amp; 2, UNCLE BENNY'S MARKETPLACE RE-SUBDIVISION</b> JOHNSTOWN, COLORADO	

SHEET NO.	<b>10</b>	NO. OF SHEETS	<b>10</b>
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**EXHIBIT B****LAND USES**

Subject to site plan approval by the Town, the following uses shall be permitted: residential (no more than 30 acres of total property) truck services, truck stops, truck wash and lubes, RV parks, manufactured housing and RV dealerships, restaurants, food courts, liquor stores and taverns, entertainment uses such as go-carts, miniature golf, trout ponds, indoor and outdoor amphitheaters, big box retail, tourist village shops, indoor and outdoor fleas markets, factory outlet stores, marketplaces, farmers' markets, shopping centers, grocery stores, auction facilities, outdoor storage, mini storage, small amusement parks, light industrial, distribution facilities, warehouses, multistory office buildings, gas stations and convenience stores, hotels, motels, and car dealerships.