

CITY OF GREEN COVE SPRINGS PLANNING & ZONING BOARD MEETING

**321 WALNUT STREET, GREEN COVE SPRINGS, FLORIDA
TUESDAY, APRIL 22, 2025 – 5:00 PM**



AGENDA

GENERAL INFORMATION

Anyone wishing to address the Planning and Zoning Board regarding any topic on this evening's agenda is requested to complete a card available at the Clerk's desk. Speakers are respectfully requested to limit their comments to three (3) minutes.

The Planning and Zoning Board prohibits the use of cell phones and pagers which emit an audible sound during all meetings with the exception of Law Enforcement, Fire and Rescue, or Health Care Professionals on call. Persons in violation will be requested to leave the meeting.

ROLL CALL

APPROVAL OF MINUTES

1. Approval of the March 25, 2025 Meeting Minutes

PUBLIC HEARINGS

2. Request for a variance to allow a gazebo to be placed within required setbacks of the property located at 462 Vermont Ave
3. Ordinance O-06-2025 for the Modification of the Graylon Oaks PUD

ACTION ITEMS

4. Review of a Site Development Plan for the Preserve at Green Cove Springs, a Multi-Family Residential Complex

BOARD BUSINESS

Board Discussion / Comments

Staff Comments

ADJOURNMENT

NEXT MEETING: TUESDAY, MAY 27, 2025 AT 5:00PM

Minutes of the Planning & Zoning Board Meeting can be obtained from the City Clerk's office. The Minutes are recorded, but are not transcribed verbatim.

Persons requiring a verbatim transcript may make arrangements with the City Clerk to duplicate the recordings, or arrange to have a court reporter present at the meeting. The cost of duplication and/or court reporter will be at the expense of the requesting party.

ADA NOTICE

In accordance with Section 286.26, Florida Statutes, persons with disabilities needing special accommodations to participate in this meeting should contact the City Clerk's office no later than 5:00 p.m. on the day prior to the meeting.

EXPARTE COMMUNICATIONS

Oral or written exchanges (sometimes referred to as lobbying or information gathering) between a Planning and Zoning Board member and others, including staff, where there is a substantive discussion regarding a quasi-judicial decision by the Planning and Zoning Board. The exchanges must be disclosed by the Planning and Zoning Board.

CITY OF GREEN COVE SPRINGS PLANNING & ZONING BOARD MEETING

321 WALNUT STREET, GREEN COVE SPRINGS, FLORIDA
TUESDAY, MARCH 25, 2025 – 5:00 PM



MINUTES

The meeting was called to order by Chairman Danley at 5:00pm.

ROLL CALL

Board Members Present: Board Member Henrietta Francis, Board Member Justin Hall, Vice Chairman Joshua Hobbs, Chairman Josh Danley

Board Members Absent: Board Member Phil Vetter

Staff Members Present: Lyndie Knowles, Development Services Representative, Gabriel Barro, Planner 1, Heather Fincher, Public Information Officer, Erin West, City Clerk, Michael Daniels, Development Services Director, Jim Arnold, City Attorney, Mike Null, Assistant City Manager, Steve Kennedy, City Manager

APPROVAL OF MINUTES

1. Approval of the Minutes of the February 25, 2025

Motion was made to approve the minutes of the February 25, 2025 meeting.

Motion made by Board Member Francis, Seconded by Vice Chairman Hobbs.

Voting Yea: Board Member Francis, Board Member Hall, Vice Chairman Hobbs, Chairman Danley

Motion passed.

PUBLIC HEARINGS

2. Ordinance No. O-5-2025 regarding Affordable Housing Related Land Development Code Changes **Michael Daniels**

Michael Daniels, Development Services Director, presented the ordinance regarding affordable housing. This ordinance would exempt affordable housing projects from the current garage requirement, would reduce minimum building sizes in all residential zoning districts, allow additional dwelling unit to be built on a homesteaded property and add a modification of street requirements to allow for narrower right of ways to allow for a greater density of development.

Chairman Danley opened the public hearing.

Erick Saks of Operation Lifeline, Carolina Morrow of Clay County Habitat, and Joe Wiggins of Wiggins Construction spoke in support of the ordinance. Mr. Saks asked that the

City explore using proof of restrictive funding as proof of the affordable housing qualification. Ms. Morrow noted that all of Clay Habitat's builds are affordable housing and that the elimination of the garage requirement would be very beneficial for them. Mr. Wiggins asked the board to consider increasing the percentage of the ADUs to allow for a larger living space.

Mr. Daniels agreed that the percentage and the lot area requirements should likely be increased to allow for larger ADUs.

Chairman Danley closed the public hearing.

Board discussion followed. The board asked staff to review an increase of the allowable percentage for the Additional Dwelling Units (ADUs) related to the Primary Structure and to review the language for the affordable housing exemption for the enclosed garage requirement for new residential development.

City Attorney, Jim Arnold, noted the homestead requirement and how the city might need to go about ensuring properties with ADUs are under homestead exemption. Mr. Daniels said he would look into options. Further board discussion followed.

Motion was made to recommend to City Council the approval of Ordinance No. O-5-2025, amending City Code Chapter 113 Article II, Chapter 117 Article I, II, and establishing Chapter 117, Article XI, Section 117-798 Accessory Dwelling Units with staff comments.

Motion made by Board Member Hall, Seconded by Vice Chairman Hobbs.

Voting Yea: Board Member Francis, Board Member Hall, Vice Chairman Hobbs, Chairman Danley

Motion passed.

ADJOURNMENT

Chairman Danley adjourned the meeting at 5:37pm.

NEXT MEETING: TUESDAY, APRIL 22, 2025 AT 5:00PM

CITY OF GREEN COVE SPRINGS, FLORIDA

Joshua Danley, Chairman

Attest:

Lyndie Knowles, Development Services Rep.



STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Planning and Zoning Board **MEETING DATE:** April 22, 2025
FROM: Gabriel Barro, Planning & Zoning
SUBJECT: Request for a variance to allow a gazebo to be placed within required setbacks of the property located at 462 Vermont Ave

PROPERTY DESCRIPTION

APPLICANT: Ravindra Armogan **OWNER:** Ravindra Armogan
PROPERTY LOCATION: 462 Vermont Avenue
PARCEL NUMBER: 017136-001-10
FILE NUMBER: VAR-25-001
CURRENT ZONING: R-2
FUTURE LAND USE DESIGNATION: NEIGHBORHOOD

SURROUNDING LAND USE

NORTH: FLU: Neighborhood Z: R2 Use: Single Family Residential	SOUTH: FLU: Neighborhood Z: R2 Use: Single Family Residential
EAST: FLU: Neighborhood Z: R3 Use: Single Family Residential	WEST: FLU: Neighborhood Z: R3 Use: Single Family Residential

BACKGROUND

Ravindra Armogan, the owner and occupant of the property located at 462 S Vermont Ave, has requested a variance to allow a gazebo to be placed within the minimum setbacks required by the R2 zoning district. On July 2, 2024, a Code Enforcement case was opened for the property for an accessory structure, a wooden gazebo, placed without a permit. On July 11, 2024, the applicant submitted a Building Permit Application (BLD-24-0502) for the gazebo. The gazebo's location places it 3 feet from the side property line and 8 feet from the primary structure. Minimum setbacks for the R2 zoning district require a side setback of 7.5 feet per Sec. 117-88 of the Green Cove Springs city code. All properties within Green Cove Springs require that accessory structures placed within the designated side or rear yard be at least 6 feet from the primary structure.

The Building Permit Application was given a deficiency notice for not meeting the aforementioned setback requirements. There is no possible way for the gazebo to meet the 7.5 foot side setback and the 6-foot primary structure setback.

The applicant was cited for a code enforcement violation and scheduled to appear in front of the Magistrate at the March meeting for failing to secure a building permit as a result of encroachment within the required setback requirements. Subsequently, the applicant applied for a variance to allow the gazebo to be placed within the required setbacks, remaining in its current location. As a result, staff postponed the Magistrate action pending the findings of the variance request.

Definition of a Structure

Green Cove Springs – Structure means anything which is built, constructed or erected, the use of which requires permanent location in or upon the ground, an edifice of any kind, or any piece of work artificially built up or composed of parts joined together in some definite manner, or attachment to something having permanent location on the land. The term "structure" shall be construed as if followed by the words "or part thereof and includes a building and any tents, lunch wagons, diners, camp cars or trailers on wheels or other supports, intended for business use or for use as living quarters.

Florida Building Code, 8th Edition – That which is built or constructed.

Orange Park - Anything which is built or constructed in or upon the ground, an edifice of any kind, or any piece of work artificially built up or composed of parts joined together in some definite manner. The term structure shall be construed as if followed by the words "or part thereof."

Jacksonville - That which is built or constructed, an edifice of any kind or a piece of work artificially built up or composed of parts joined together in some definite manner. The term structure shall be construed as if followed by the words or part thereof and shall include tents, awnings, cabanas and buildings.

Clay County – Anything vertically constructed or erected with a fixed location on the ground or attached to something having or requiring a fixed location on the ground, excluding bulkheads.

Variances To Be Considered as Part of Site Plan Review

(1) Any person desiring to undertake a development activity not in conformance with this subpart may apply for a variance in conjunction with the application for site plan review. The variance shall be granted or denied in conjunction with the approval for site plan review.

(2) All applications for a variance to this subpart shall be in writing and in such form as may be determined by the development services department. Applications shall state fully upon what grounds of hardship the request is made. The planning and zoning board may grant a variance varying terms of this subpart, providing such conditions and circumstances are:

- a. Peculiar to the specific land, structure or building;
- b. Do not apply generally to neighboring properties;
- c. That the strict application of the provisions of this subpart would deprive the applicant of the reasonable use of such land, structure or building;
- d. The peculiar conditions and circumstances are not the result of the actions of the applicant.

(3) Any variance granted will be the minimum variance that will make possible the reasonable use of such land, structure or building.

(4) A nonconforming use of neighboring lands, structures or buildings, legal or illegal, in the same district, or a permitted use in adjacent districts shall not be considered as grounds for issuance of a variance permitting any use not otherwise allowed in the district.

Limitations on Granting Variances

Initial determination. The planning and zoning board shall first determine whether the need for the proposed variance arises out of the physical surroundings, shape, topographical condition, or other physical or environmental conditions that are unique to the specific property involved. If so, the planning and zoning board may grant the variance, based on the required findings, for that site alone. If, however, the condition is common to numerous sites so that requests for similar variances are likely to be received, the planning and zoning board shall make the required findings, based on the cumulative effect of granting the variance, to all who may apply.

The neighboring properties are of the same size and zoning. There are no physical or environmental conditions that are unique to the specific property involved that is different from adjacent and other nearby properties.

The planning and zoning board shall not grant the variance varying the requirements of any provision of this subpart unless it makes a positive finding, based on substantial competent evidence, on each of the following:

- (1) There are no reasonable uses of the property because of the practical or economic difficulties in carrying out the strict letter of the regulation and the hardship is not the result of the applicant's own actions.

The primary use of the property is a single-family home. There is no practical or economic difficulty depriving the owner from this use. The variance request is as a result of the applicant's actions.

- (2) If the applicant complies strictly with the provisions of this subpart, he is deprived of any rights that others in the district are allowed.

The neighboring properties are of the same size and zoning. The neighboring properties also have the same utility easement along the rear of the properties.

- (3) The hardship is suffered only by the applicant rather than by neighbors or the general public.

Neighboring properties are required to meet the same setbacks as the subject property.

- (4) The hardship relates to the land, rather than personal circumstances.

The land is not a contributing factor. All neighboring properties have a similar layout and are held to the same standards.

- (5) The variance requested is the minimum variance that will make reasonable use of the land, building or structure and will not result in the creation or extension of a nonconforming use or structure.

The applicant can make reasonable use of the land without encroaching on the required setback.

- (6) The proposed variance will not substantially increase congestion on surrounding public streets, the danger of fire, or other hazard to the public.

The proposed variance will not increase congestion or hazards.

- (7) The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.

The proposed variance could impact the character of the area because it would create a precedence for future variance approvals for surrounding properties encroaching on approved setback requirements.

Attachments Include:

- Variance Application
- Boundary Survey showing gazebo location

STAFF RECOMMENDATION

Staff is recommending denial of the requested variance based on noncompliance with the following required findings for variance approval set forth in Section 101-159(c)(2):

- There are no reasonable uses of the property because of the practical or economic difficulties in carrying out the strict letter of the regulation and the hardship is not the result of the applicant's own actions.
- If the applicant complies strictly with the provisions of this subpart, he is deprived of any rights that others in the district are allowed.
- The hardship is suffered only by the applicant rather than by neighbors or the general public.
- The hardship relates to the land, rather than personal circumstances.
- The variance requested is the minimum variance that will make reasonable use of the land, building or structure and will not result in the creation or extension of a nonconforming use or structure.



FOR OFFICE USE ONLY

P Z File # VAC-25-001Application Fee: 275⁰⁰Filing Date: 3/18/25 Acceptance Date: 3/25/25 *signed*Review Type: SRDT ☒ P & Z ☒ CC ☐

City of Green Cove Springs Variance Application

A. PROJECT1. Project Name: Grill Gazebo DIY Installation2. Address of Subject Property: 462 S Vermont Avenue3. Parcel ID Number(s) 017136-001-104. Existing Use of Property: SRC5. Future Land Use Map Designation: Neighborhood6. Zoning Designation: R-27. Acreage: .15**B. APPLICANT**1. Applicant's Status ☒ Owner (title holder) ☐ Agent2. Name of Applicant(s) or Contact Person(s): Ravindra Armogan Title: _____

Company (if applicable): _____

Mailing address: 462 S Vermont AvenueCity: Green Cove Springs State: FL ZIP: 32043Telephone: (904) 373-8059 FAX: () _____ e-mail: myarmoganfamily@gmail.com

3. If the applicant is agent for the property owner*:

Name of Owner (title holder): _____

Company (if applicable): _____

Mailing address: _____

City: _____ State: _____ ZIP: _____

Telephone: () _____ FAX: () _____ e-mail: _____ *

Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner. **C. ADDITIONAL****INFORMATION**1. Is there any additional contact for sale of, or options to purchase, the subject property? ☐ Yes ☒ No If yes, list names of all

parties involved: _____ If yes, is the

contract/option contingent or absolute? ☐ Contingent ☐ Absolute

Revised 12/31/2012

D. STATEMENT OF VARIANCE SOUGHT

1. Requested Variance: Install DIY Grill Gazebo off property line 2FT
2. Section of Land Development Regulations under which the variance is sought: Section 14-23
3. Reason Variance is requested: Either side of our property is 10FT from the property line. Except for the backyard which sits on an easement and has a steep slant to it away from the home to the rear fence line. This severely hinders my family from putting together something as small as a DIY Grill Gazebo that is 12x6 and cost \$1000 on either side of our property.
4. Statement of Facts for Requested Variance (Use additional pages if necessary)
My family has lived at 462 S Vermont Avenue for 20 years now. We are a hard working family who is proud to be part of this community. We have a daughter who attends Clay High School with Honors and she wanted a space outside the home to invite her friends over to entertain after school or on the weekends. This space also serves as a space for small family gatherings and a space where we can grill some food and enjoy the time with one another. I never thought this would be an issue as a neighbor a few homes down from us at 456 S Vermont Avenue built a structure attached to the home and on the property (fence) line itself. Below is a recent image of this.



So I just didn't realize this was going to be an issue with that being the case. As you can see with what we have put together is solid and rated for up to 100 MPH winds.

(PLEASE ANSWER THE FOLLOWING QUESTIONS TO THE BEST OF YOUR ABILITY. THESE FACTS WILL BE USED BY THE STAFF TO MAKE A RECOMMENDATION AND THE PLANNING AND ZONING BOARD IN MAKING THEIR DECISION)

- a. Extraordinary and Exceptional Conditions-** What are the extraordinary and exceptional conditions (such as topographic conditions, narrowness, shallowness, or the shape of a parcel of land) pertaining to the particular piece of land for which the variance is sought, that do not generally apply to other land or structures in the same district?

This property is severely narrow on either side of the home and the rear of the property is on an easement with a steep slant to it.

- b. Not Result of Action by Applicant-** Why are the special circumstances not the result of the actions of the applicant?

Due to violation served by Rico Armstrong referencing Section 14-23. After speaking with the Planning and Zoning team Michael Daniels and Gabriel Barro it was brought to my attention that the DIY removable Grill Gazebo was to close to the property line. Both Gabriel and Michael came and visited me at 462 S Vermont Avenue and we discussed an option of moving the DIY Grill Gazebo to the rear of the property but as referenced above the rear of the property is on an easement and has a steep slant to it. It was brought to my attention by both Gabriel Barro and Michael Daniels that if I have the DIY Grill Gazebo moved to the rear of the property and have it permitted, then at any point I could move the DIY Grill Gazebo back to its original location. I was not comfortable with that option at all.

- c. No Special Privilege-** Does the granting of the variance confer any special privilege on the applicant that is denied to other lands or structures in the same zone district?

No

- d. Strict Application Deprives Use-** Would the strict interpretation of the Land Development Regulations to this property effectively prohibit or unreasonably restrict the utilization of the land and result in unnecessary and undue hardship?

Yes

- e. Minimum Variance-** Is the variance the minimum action that will make possible the reasonable use of the land or structure which is not contrary to the public interest, and which would carry out the spirit of these Land Development Regulations?

Yes

- f. Not Detrimental-** Is the granting of the variance detriment to the adjacent land, and the character of the zone district in which the land is located?

No

E. ATTACHMENTS (One hard copy or one copy in PDF format)

1. Copy of Warranty Deed or other proof of ownership
2. Legal description
3. Survey or plot diagram indicating setbacks, proposed construction and requested variance.

F. FEE.

Residential property - \$250
 Non- residential - \$500

- a. The Cost of postage, signs, advertisements, and outside consultants are in addition to the application fee.
- b. The applicant is responsible to pay the cost of the advertisement and signs.
- c. All applications are subject 10% administrative fee and must pay the cost of any outside consultants fees.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees for advertising, signs, necessary technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 3 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

Signature of Applicant

Ravindra Armogan

Typed or printed name and title of applicant

RAVINDRA ARMOGAN

Date 3/18/25

Signature of Co-applicant

Typed or printed name of co-applicant

Date

State of Florida County of Clay

The foregoing application is acknowledged before me this 25 day of March, 2025, by Ravindra Armogan, who is/are personally known to me, or who has/have produced Florida Driver License as identification.

NOTARY SEAL



Signature of Notary Public, State of FL

Julia Ennis

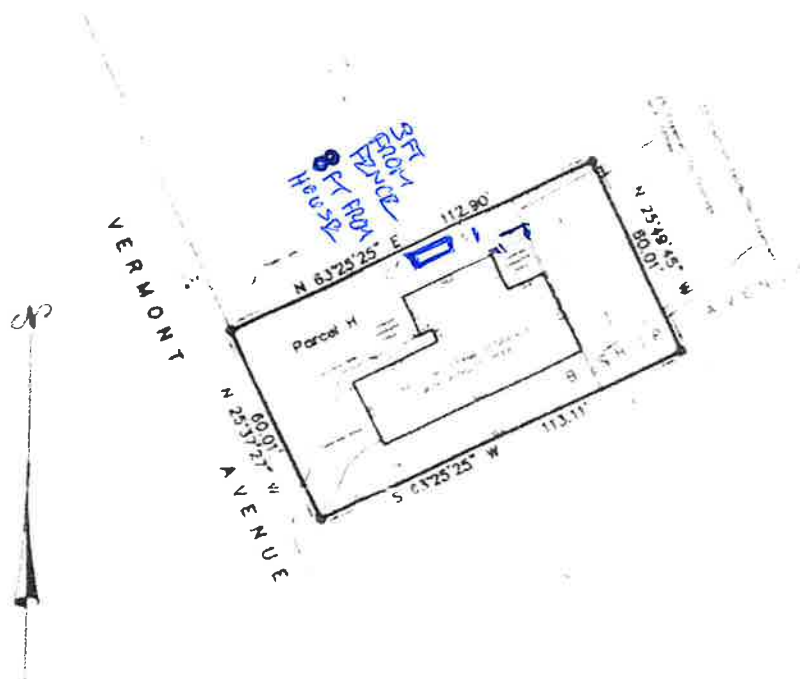
Revised 12/31/2012

BOUNDARY SURVEY

DESCRIPTION:

Parcel H

The Southerly 26 feet of Lot 6 of Block 35 and the Northerly 54 feet of a 50 foot platted road (Bishop Avenue) which is not in use, bounded on the Southwest by a Southeast prolongation of the Southwest line of Block 35 and bounded on the Northeast by a Southeast prolongation of the Northeast line of Lot 6 of Block 35 all in IDLEWILD PARK as per plat thereof recorded in Plat Book 2, Page 62 of the public records of Clay County, Florida. Subject to a 20 foot electrical distribution line easement as per Official Records Book 807, page 651, and Official Records Book 781, pages 414 and 415. Also Reserving a 25 foot easement for drainage and utilities across the Northeast 25 feet thereof.



NOTE: All corners are found 1/2" iron Rod Cap 2081 unless otherwise noted

Reviewed by: Raymond J. Hargrave
Educational Community Credit Union
Sheffield and Goodright Title Services
First American Title Insurance Company
Pine Star Builders, Inc.

SURVEYOR'S CERTIFICATION

I hereby certify that this map is a true and correct representation of a survey made under my supervision and that said survey meets or exceeds minimum technical standards set forth by the Florida Board of Professional Land Surveyors in Chapter 61G17-6 Florida Administrative Code Pursuant to Section 472-027 Florida Statutes.

BY: JOSEPH G. KNAPP Date Signed: 8/2/24 Date of Field Survey: May 4, 2024
JOSEPH G. KNAPP, Registered Land Surveyor, Florida Certificate No. 1200

Land(s) shown hereon as in Flood Insurance Rate Maps, Flood Zones "B" and Flood Zone "V" are shown on this survey as shown by scale from the Federal Emergency Management Agency Flood Insurance Rate Maps Community Panel Number 120065 5001 C and are NOT field located. Bearings refer to the Northerly R/W line of Vermont Ave being N 25°49'45" W.

SURVEYOR'S NOTES

1. Unless this map bears the Signature and the Original Raised Seal of a Florida Licensed Surveyor and Mapper, this map/report is for informational purposes only and is NOT valid.
2. Unless noted no Underground Installations or Improvements were located on this survey.
3. No Instruments of Record reflecting Easements, Right-of-Way and/or Easements were furnished to this Surveyor except as shown.
4. The Survey depicted hereon is NOT protected by Professional Liability Insurance.
5. Ordinary High Water Line NOT located or Lake Front Property.
6. Wetlands/Environmental Sensitive Areas are NOT located. Unless specifically stated.
7. Dimensions from Improvements to Boundary Lines should not be used for construction purposes. Lines or to construct NEW improvements without additional information for Boundary Control & RESURVEY.
8. Riparian/Utilitary rights not located unless expressly noted by written notation. Lines shown to water lines are for informational purposes.

GRAPHIC SCALE



ABBREVIATION KEY

Right of Way	R/W
Official Records	OFF
Utility Easement	UE
Right of Way	R/W
Utility Easement	UE
Right of Way	R/W
Utility Easement	UE
Right of Way	R/W
Utility Easement	UE
Right of Way	R/W
Utility Easement	UE

Utilities Not Located	UNL
Utilities Located	LOC
Utilities Located	LOC
Utilities Located	LOC
Utilities Located	LOC
Utilities Located	LOC

CONTACT INFORMATION

JOSEPH G. KNAPP, Registered Land Surveyor
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Phone: 954.471.1166, Fax: 954.471.1168
2700 Southeast Palmview Avenue
P.O. Box 106, Ft. Lauderdale, Florida 33305
JOSEPH.G.KNAPP@GMAIL.COM



STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Planning and Zoning Board **MEETING DATE:** April 22, 2025

FROM: Gabriel Barro, Planning and Zoning

SUBJECT: Ordinance O-06-2025 for the Modification of the Graylon Oaks PUD

PROPERTY DESCRIPTION

APPLICANT: John Nicols, Trustee **OWNER:** John Nicols, Trustee

PROPERTY LOCATION: Vermont Ave, north of Green Cove Springs Ave

PARCEL NUMBER: 016748-000-00 & 016742-000-00

FILE NUMBER: MOD-25-001

CURRENT ZONING: Planned United Development, PUD

FUTURE LAND USE DESIGNATION: Neighborhood

SURROUNDING LAND USE

NORTH: FLU: Neighborhood Z: R3 Use: Single Family	SOUTH: FLU: Neighborhood Z: R1 Use: Single Family
EAST: FLU: Neighborhood Z: R3/R2 Use: Single Family	WEST: FLU: Neighborhood Z: R1 Use: Single Family

BACKGROUND

The property is approximately 3.8 acres and is located on Vermont Ave north of Green Cove Avenue. The property was approved for a Zoning redesignation to PUD with the The property was approved for a Future Land Use change from Low Density Residential to Medium Density Residential and a zoning change to PUD with the intent of developing 14 duplex lots totaling 28 residential units. The ordinance for the approved Planned Unit Development (O-05-2020) is included in the packet. A Preliminary Plat and Improvement Plan were approved by City Council on September 3, 2024.

The PUD Zoning includes a PUD concept plan, development and buffering requirements set forth in the PUD written description. The project is planned to be completed in a single phase. The approved PUD ordinance and concept plan is enclosed.

DEVELOPMENT DESCRIPTION:

The applicant, John Nicols, is proposing a modification to the written description to split the proposed parcels into two properties, allowing for each half of a duplex to be legally owned separately. The original plat showed 14 lots and a stormwater retention pond. No new plat has been submitted. The updated written description states it will allow for a maximum of 28 lots. This will not make any tangible change to the previously approved PUD plan, it will only change the ownership status from a duplex (2 lots on each) vs a single family attached unit that will have separate owners and share a common wall.

Development Plan

The approved construction plans include 14 residential lots that have a minimum lot size of 60 feet in width and 6,000 square feet in lot area. All of the dwelling units will be a minimum of 1,200 square feet with an enclosed garage.

Ingress, Egress and Circulation

Access shall be provided off of Vermont Avenue. A 6' sidewalk shall also be provided along Vermont Avenue adjacent to the subdivision. Each individual unit shall have a minimum of two parking spaces including an enclosed garage that is a minimum of 10' * 20'.

Drainage Retention

The drainage retention area is shown in the northeastern portion of the site and has been reviewed and approved by the City's stormwater consultant. The project's Civil Engineer, William Schaefer with the Dominion Engineering Group, will self-certify pursuant to the requirements set forth by the Florida Department of Environmental Protection.

Landscaping and Buffer Plan

The landscape plan shows the removal of 1,247 inches of trees. Per code the City requires a mitigation of 440" of trees. The applicant is preserving 6 trees onsite that accounts for 179.5 inches and they will be planting an additional 58 trees for an additional 271 caliper inches in order to comply with the tree planting requirement. In addition, the applicant will provide 9 shrubs per 100 feet along the southern and western perimeters and provide one shade tree per every 50' as required by the approved PUD plan.

A certified arborist shall be hired to evaluate all of the trees to be saved on the site and ensure adequate root area is provided and grade changes and tree protection is not altered during the construction process.

Management of Common Areas

All common areas and stormwater management facilities /drainage areas shall be maintained by a legally established Homeowner's or Property Owner's Association. All finalized legal documents demonstrating the creation of the HOA or POA and its responsibilities must be submitted with the Final Plat submittal for the Graylon Oaks PUD. Regulations regarding Guarantees and Sureties as stipulated in Chapter 101, Article II, Division 5 and Subdivision 5 shall be provided as part of the subdivision approval process.

The Preliminary plat and Improvement Plan have been submitted to staff and have been approved by the Site Development Review Team. This includes the performance bond as required per the City Land Development Code, Chapter 101, Article II, Division 5, Subdivision V which is enclosed.

Development Plan Modifications

The proposed modification would modify the 14 lots to be split into 28 lots allowing for each half of a duplex to be legally owned as a separate property.

The density controls for two family residential buildings will be modified as follows:

	Original Written Description	Modified Written Description
Minimum Lot Area	6,000 SF	3,000 SF
Minimum Lot Width	60 ft	30 ft
Minimum Lot Depth	100 ft	100 ft
Minimum living area	1,000 SF	1,000 SF
Maximum Lot Coverage	40%	40%
Side Setback	7.5 ft / 15 ft (combined)	7.5 ft / 0 ft on common wall

Public Facilities Impact

Traffic Impacts

Land Use ¹	Units	Daily		AM Peak		PM Peak	
(ITE)		Rate	Trips	Rate	Trips	Rate	Trips
Proposed							
Residential Condo/TH (ITE 230)	28	5.81	174	0.52	16	0.54	16
Total	-	-	174	-	16	-	16

1. Source: Institute of Transportation Engineers: Trip Generation Manual 9th Edition

Conclusion: The proposed development of 28 dwelling units on the ±3.8-acre site would result in a potential net increase of 30 Annual Average Daily Trips (AADT).

Potable Water Impacts

System Category	Gallons Per Day (GPD)
Current Permitted Capacity ¹	4,200,000
Less actual Potable Water Flows ¹	1,013,000
Residual Capacity ¹	3,187,000
Projected Potable Water Demand from Proposed Project ²	11,130
Residual Capacity after Proposed Project	3,176,870

1. Source: City of Green Cove Springs Public Works Department

2. Source: City of Green Cove Springs Comprehensive Plan. Formula Used: 30 dwelling units x 2.72 persons per du x 150 gal per person

Conclusion: As shown in the table above, the City of Green Cove Springs has the capacity to meet the demands from the estimated impacts.

Sanitary Sewer Impacts – South Plan WWTP

System Category	Gallons Per Day (GPD)
Current Permitted Capacity ¹	350,000
Current Loading ¹	270,000
Committed Loading ¹	330,000
Projected Potable Water Demand from Proposed Project ²	9,139
Residual Capacity after Proposed Project	260,861

1. Source: City of Green Cove Springs Public Works Department
2. Source: City of Green Cove Springs Comprehensive Plan. Formula Used: 28 dwelling units x 2.65 persons per du x 120 gal per person

Conclusion: The project site is served by the South Plant Wastewater Treatment Plant (WWTP).

Solid Waste Impacts

System Category	LBs Per Day / Tons per Year
Solid Waste Generated by Proposed Project ¹	609 lbs. / 111 tons
Solid Waste Facility Capacity ²	Minimum 3 Years Capacity

1. Source: City of Green Cove Springs Comprehensive Plan. Formula Used: (28 dwelling units x 2.72 persons per dwelling unit x 8 lbs. per day) x 365
2. Source: Clay County Comprehensive Plan

Conclusion: The City of Green Cove Springs' solid waste is disposed of at the Rosemary Hill Solid Waste Management Facility operated by Clay County. Per the Clay County Comprehensive Plan, a minimum of three (3) years capacity shall be maintained at the County's solid waste management facility.

Public School Facilities Impact

Land Use	Units	Elem.		Middle		High	
(ITE)		Rate¹	Total	Rate¹	Total	Rate¹	Total
Proposed							
Condo/TH (ITE 230)	28	0.0329	0.987	0.0099	0.297	0.0205	0.611
Net Generation	-	-	1	-	1	-	1

1. Source: School District of Clay County, Educational Facilities Plan, FY 2018/19-2022/23, based on multifamily

Conclusion: The applicant had reserved capacity until April 2023 but because the project did not move forward the applicant has resubmitted their school concurrency application. Payment/concurrence on school concurrency must be approved prior to issuance of building permitting.

MULTI FAMILY RESIDENCE	
Impact Fees	
Must be paid at Final Plat	
Electric	\$61,000 (\$2,200 per lot)
Must be paid at Issuance	
Water	\$28,000 (\$1,000 per ERU)
Sewer	\$56,000 (\$2,000 per ERU)
To be paid BEFORE equipment check	
County Parks	\$25,340 (\$905 per unit)
County Fire	\$26,376 (\$942 per unit)
County Jails	\$11,592 (\$414 per unit)
County Library	\$7,308 (\$261 per unit)
Transportation Mobility	\$85,232 (\$3044 per unit)
School	\$246,204 (\$8793 per unit)

Attachments Include:

- Proposed PUD Written Statement
- Proposed PUD Concept Plan
- Approved Subdivision Improvement Plan
- Approved Subdivision Landscape Plan
- PUD Modification Application
- Approved PUD Ordinance
- Proposed PUD modification Ordinance

STAFF RECOMMENDATION

Staff is recommending approval of the proposed PUD modification to split proposed lots into two parcels and adjust setback requirements and minimum lot area.

Recommended motion:

Motion to recommend to City Council the approval Ordinance O-06-2025 to amend the Graylon Oaks Planned Unit Development.

TYPE OF DEVELOPMENT: TWO- FAMILY RESIDENTIAL

PROPERTY CHARACTERISTICS

Vegetation, Soils, & Drainage:

Vegetation on the site consists of large oak trees, laurel oaks, cabbage palms, saw palmetto bushes and pine. There are no wetlands onsite. Site has sandy soils throughout with site sloping from west to east to Vermont St. Site has a topography of 51' to the west and dropping to 39' to the east fronting Vermont St.

Utilities:

Central water and wastewater service will be provided by the City of Green Cove Springs; electric service will be provided by the City of Green Cove Springs and installed underground.

ACREAGE SUMMARY

Total Property	3.8 Acres
Wetlands	0 Acres

DEVELOPABLE	3.8 Acres
--------------------	------------------

MAXIMUM UNITS

Maximum units	2830 units
---------------	-----------------------

Proposed development

Residential Single Family & Two- Family Development

The property is consistent with the land use and zoning of the surrounding areas. The character of the proposed development is consistent with those of adjacent multi-family residential developments on Vermont Ave and abutting State Road 16. The parcels directly adjacent to the east and north currently have high-density land use and R-3 zoning. In addition, the subject property is consistent with other similar properties in the surrounding areas of the city and is in conformity with local land use plans and zoning ordinances. The subject property will also create a much-needed affordable housing neighborhood that will have a great economic and fiscal benefit to the area and the community. The affordable

housing community can be achievable by allowing a higher density similar to that of the adjacent properties.

Access

Access is provided from Vermont Ave. The subdivision will not be gated and roads within the development will be turned over to the city and would meet city requirements.

Proposed Density Standards

Residential- Single Family Dwelling

Minimum Lot Area	5000SF
Minimum Lot Width	50 Feet
Minimum Lot Depth	100 Feet
Minimum Living Area	1200 SF
Maximum Lot Coverage	40%

Residential- Two Family Dwelling

Minimum Lot Area <u>(Per attached unit)</u>	6000 3000 SF
Minimum Lot Width <u>(Per attached unit)</u>	60 30 feet
Minimum Lot Depth	100 feet
Minimum required living area	1000 SF
Maximum Lot Coverage	40%

Yard Requirements – Primary Structures*

Front Porch	15 feet
Front Façade	20 feet
Side	<u>7.5 feet from property lines, 0 feet for interior lots with common wall lines, minimum of 15 feet of separation between buildings. 7.5 feet; combined 15 feet</u>
Rear	10 feet
Max Building Height- Primary Structures	35 Feet

Permitted Uses

- Single Family detached residential dwelling units
- Two family residential dwelling units
- Home occupations (pursuant to City Code Requirements).

Ingress, Egress and Circulation

- a. Minimum of 2 parking spaces per dwelling unit (4 per duplex). One parking space will be in driveway and one will be in the attached garage.
- b. The dimension of each driveway must be 10' x 20'.
- c. Each unit must include an attached garage at least 10' x 20'.
- d. There will be a 6' sidewalk along proposed street and along Vermont Avenue.

Landscaping

Landscaping per Section 113-244 of the Land Development Regulations

- a. Landscape requirements for each two-family dwelling (duplex) shall be as follows:
 1. At least one canopy tree, 2.5 inches DBH, shall be located in the required front yard of each dwelling unit. Each duplex will have two canopy trees.
- b. Perimeter Landscaping shall be as follows:
 1. Provide additional perimeter landscaping along Vermont Avenue with one new shade tree per 50' of road frontage subject to the requirements of Sec. 113-244(d)(3) and installation and maintenance requirements set forth in Section 113-247(b).
 2. A minimum of 4 understory/subcanopy trees shall be planted around the intersection of Vermont and the proposed new roadway.
 3. Provide the following buffer to the south and west of the property:

A. Single-Family development:

- Provide a 10' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth on Sec. 113-247(b). Or
- Provide an opaque privacy fence, 6' in height and a landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence, subject to the buffer and landscape design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

B) Two-Family Development:

- Provide a 20' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to the properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth in Sec. 113-247(b). Or
- Provide an Opaque privacy fence, 6' in height and an landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence, subject to the buffer and landscape design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

Tree Survey

- a. A tree survey measuring trees 12" or greater shall be required as part of the subdivision review. Tree removal mitigation will be required as stipulated in City Code Section 113-279

Tree Preservation

1. Trees to be preserved onsite:
 - a. Live Oak Trees
 - b. The rear 20' along the south and west property lines shall be kept in a natural condition with all canopy/shade trees preserved
 - c. Viable shade/canopy trees within 15' of Vermont Avenue shall be preserved.
2. Tree protections requirements shall comply with Section 113-248, and in addition: an ISA certified arborist or equivalent horticulture professional shall be hired to evaluate trees to be saved, ensure adequate root area is provided and grade changes are not altered within critical root area, prescribe treatments to preserve the trees and oversee tree protection during the construction process. Trees or branches of trees that are adjacent to or hanging over into adjacent neighboring properties shall be evaluated for the safety by the certified arborist and removed or appropriately pruned or other measures as required by the certified arborist.

Miscellaneous

Development requirements not specifically mentioned shall be consistent with all requirements for the City of Green Cove Springs R-2 Zoning district and all other applicable Land Development Code Requirements

Development Plan

The project will be developed in a single phase. The required right of way buffers shall be constructed by the developer and completed prior to the issuance of a certificate of

**CITY OF GREEN COVE SPRINGS
GRAYLON OAKS
PUD WRITTEN DESCRIPTION**

Item # 3.

occupancy for any residential dwelling not constructed as a model unit within the subdivision.

All common areas and stormwater management facilities /drainage areas shall be maintained by a legally established Homeowner's or Property Owner's Association. All finalized legal documents demonstrating the creation of the HOA or POA and its responsibilities must be submitted with the Final Plat submittal for the Graylon Oaks PUD.

Stormwater analysis shall be required with the subdivision application that demonstrates consistency with the City of Green Cove Springs and St Johns River Water Management District requirements.

Regulations regarding Guarantees and Sureties as stipulated in Chapter 101, Article II, Division 5 and Subdivision 5 shall be provided as part of the subdivision approval process.



LEGEND

SITE BOUNDARY	---
PROPOSED PAVEMENT	=====
EXISTING PAVEMENT	-----
RADIUS	R
POINT OF CURVATURE	P.C.
POINT OF INTERSECTION	P.I.
POINT OF TANGENCY	P.T.
PRIVATE UNOBSTRUCTED DRAINAGE EASEMENT	PUDE
PUBLIC UNOBSTRUCTED DRAINAGE EASEMENT	UDE
UNOBSTRUCTED DRAINAGE ACCESS EASEMENT	UDAE
STOP SIGN (R1-1)/STREET NAME	SS/SB
SIGN COMBO & 24" WIDE WHITE EXTRUDED THERMOPLASTIC STOP BAR	

GENERAL NOTES

- BOUNDARY INFORMATION AND TOPOGRAPHIC DATA PROVIDED BY BARTRAM TRAIL SURVEYING, INC.
- FOR LOT LINE LOCATIONS, REFER TO PLAT PREPARED BY BARTRAM TRAIL SURVEYING, INC.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED ON PLANS.
- ALL CROSSWALKS SHALL BE 12" WIDE SOLID WHITE.
- ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH THE FDOT STANDARDS FOR SIGN FACE REFLECTIVITY AND SHALL COMPLY WITH THE STANDARD SPECIFICATIONS OF THE CLAY COUNTY TRAFFIC OPERATIONS DIVISION.
- SEE SHEET C6 FOR TYPICAL ROADWAY SECTIONS.
- SITE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SIDEWALK WITHIN COMMON AREAS AND ALL HANDICAP RAMPS.
- ALL STREET SIGNS SHALL BE LOCATED ON TEE POST ON TOP OF STOP SIGNS.
- INSTALL CAST IN PLACE DETECTABLE WARNINGS FOR ALL ADA SIDEWALK RAMPS

SITE INFORMATION

TOTAL AREA = 3.84 Ac.
TOTAL LOTS = 14

SET BACKS

FRONT PORCH = 15'
FRONT FACADE = 20'
SIDE YARD = 7.5'; COMBINED 15'
REAR YARD = 10'
MAX BUILDING HEIGHT (PRIMARY STRUCTURES) = 35'

- * LOT 6 FRONT SETBACK WILL BE 30'
- ** LOT 9 FRONT SETBACK WILL BE 27.5'
- *** LOT 5 FRONT SETBACK WILL BE 25'

ALIGNMENT LINES		
L#	DISTANCE	BEARING
L1	24.59	S69°56'37"W
L2	151.61	S64°02'10"W
L3	41.99	N40°17'03"W
L4	19.34	N20°14'08"W
L5	74.92	N2°17'00"E

ALIGNMENT CURVE				
C#	LENGTH	RADIUS	DELTA	CHORD
C1	52.23	506.60	5.9075	S66°59'24"W
C2	58.26	60.00	55.6314	N88°08'54"W

SWMF LINES		
L#	DISTANCE	BEARING
L6	5.68'	S20°17'27"E
L10	76.37'	N20°09'40"W
L12	49.92'	N70°19'51"E
L14	30.35'	S20°17'27"E
L18	28.52'	S64°02'10"W
L20	84.35'	N20°21'56"W
L22	28.38'	N70°19'51"E

SWMF CURVES				
C#	LENGTH	RADIUS	DELTA	CHORD
C8	23.69'	15.00'	90.49	N25°05'05"E
C9	23.40'	15.00'	89.38	S64°58'48"E
C10	11.35'	10.00'	65.02	S12°13'14"W
C11	22.70'	10.00'	130.05	S20°17'27"E
C12	11.35'	10.00'	65.02	S52°48'07"E
C13	25.03'	15.00'	95.60	N68°09'53"W
C14	23.74'	15.00'	90.70	N24°58'58"E
C15	23.38'	15.00'	89.30	S65°01'02"E
C16	22.10'	15.00'	84.40	S21°50'07"W
C17	25.23'	15.00'	96.38	N68°21'01"W
C18	49.06'	635.00'	4.43	S65°40'27"W
C19	23.09'	15.00'	88.18	S23°47'54"W

DOMINION ENGINEERING GROUP, INC.

PLANNERS AND ENGINEERS

4348 SOUTHPOINT BLVD, SUITE 204, JACKSONVILLE, FLORIDA 32216
TEL: 904-854-4500 C.A. NUMBER: 26821 FAX 904-854-4505
www.dom-eng.com

GRAYLON OAKS

FOR GRAYLON OAKS LAND TRUST

GEOMETRY PLAN

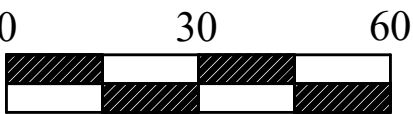
REVISIONS

PLOT DATE:
DRAWN BY: JMM
DESIGNED BY: WES
CHECKED BY: WES
SCALE: AS NOTED
JOB NO.:
© LATEST DATE HEREON
SHEET NO.

C2

OF

04/02/2025

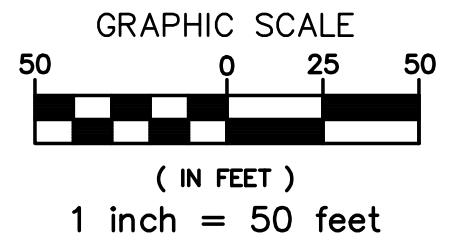


GRAYLON OAKS

PART OF CLARKE'S MILL GRANT, SECTION 38, TOWNSHIP 6 SOUTH, RANGE 26 EAST,
CITY OF GREEN COVE SPRINGS, CLAY COUNTY, FLORIDA
BEING A REPLAT OF LOT C, TOGETHER WITH A PORTION OF LOT B, BLOCK 102, PALMER & FERRIS TRACT,
ACCORDING TO PLAT BOOK 1, PAGE 44 OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA

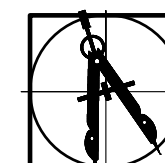
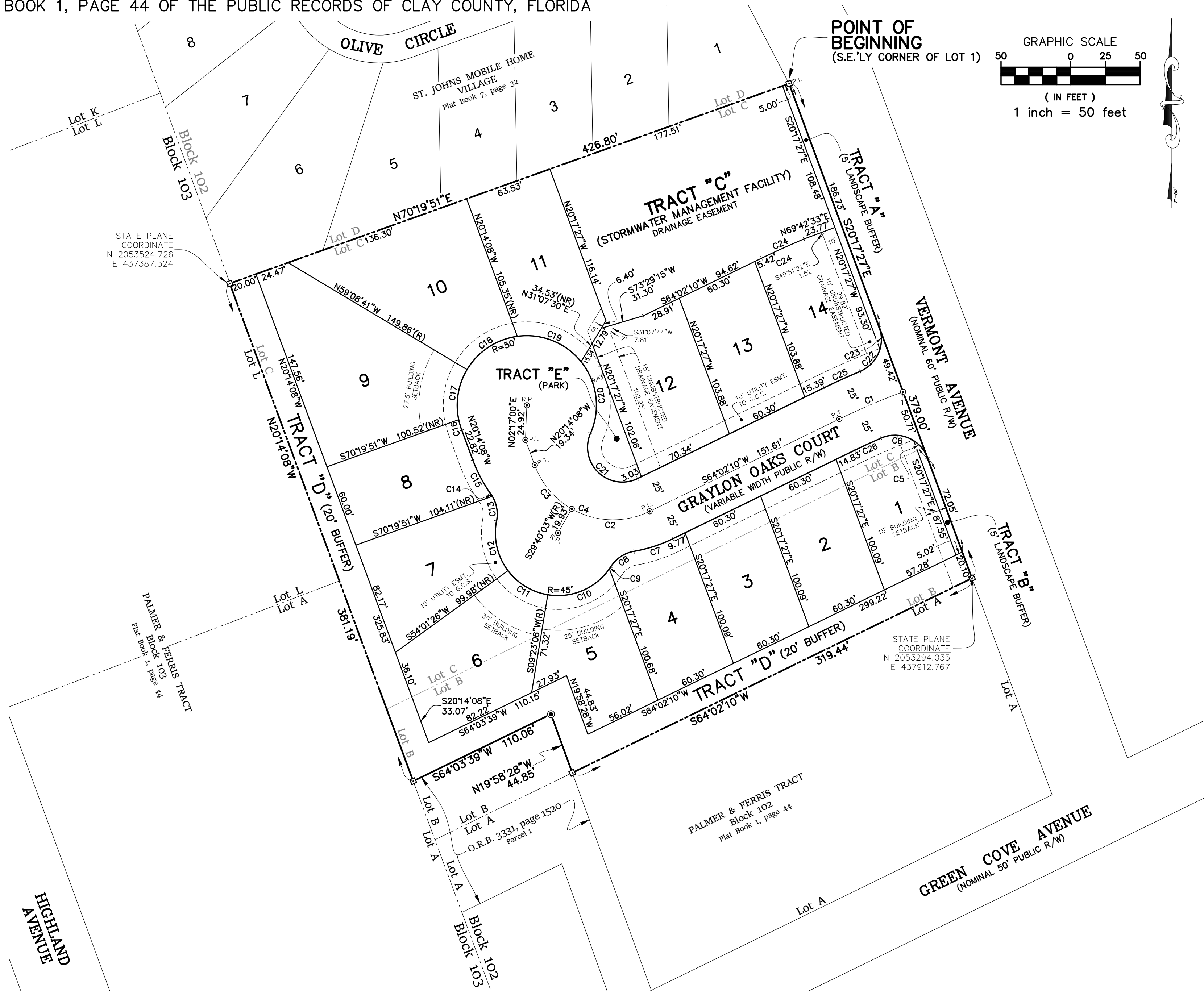
PLAT BOOK PAGE
SHEET 3 OF 3 SHEETS

Legend
G.C.S. - denotes City of Green Cove Springs
CL - denotes Centerline
ESMT. - denotes Easement
(NR) - denotes Non-Radial Line
N.A.D. - denotes North American Datum
N.T.S. - denotes not to scale
O.R.B. - denotes Official Records Book
P.B. - denotes Plat Book
P.C. - denotes Point of Curvature
P.I. - denotes Point of Intersection
P.T. - denotes Point of Tangency
(R) - denotes Radial Line
R.P. - denotes Radius Point
R/W - denotes Right-of-Way
R - denotes Radius
Lot A - denotes part of PALMER & FERRIS TRACT



CURVE TABLE					
CURVE	RADIUS	ARC DISTANCE	CHORD BEARING	CHORD DISTANCE	DELTA
C1	506.60	49.80	S66°51'08"W	49.78	5°37'55"
C2	60.00	58.26	N88°08'54"W	56.00	55°37'53"
C3	60.00	41.99	N40°17'03"W	41.14	40°05'49"
C4	60.00	100.25	N68°05'59"W	88.99	95°43'42"
C5	25.00	16.09	N38°43'33"W	15.81	36°52'12"
C6	25.00	24.57	N85°18'49"W	23.59	56°18'20"
C7	105.00	29.46	N72°04'27"E	29.36	16°04'34"
C8	25.00	20.68	S56°24'39"W	20.10	47°24'10"
C9	45.00	1.70	N33°47'26"E	1.70	2°09'44"
C10	45.00	50.67	N67°07'42"E	48.03	64°30'47"
C11	45.00	34.24	S58°49'13"E	33.42	43°35'22"
C12	45.00	37.81	S12°57'21"E	36.71	48°08'23"
C13	25.00	18.31	N09°51'49"W	17.90	41°57'18"
C14	25.00	1.99	N33°07'18"W	1.99	4°33'40"
C15	105.00	27.79	S27°49'08"E	27.71	15°10'00"
C16	50.00	7.83	S16°25'52"E	7.83	8°58'41"
C17	50.00	37.35	S09°27'24"W	36.49	42°47'50"
C18	50.00	44.80	S56°31'21"W	43.31	51°20'04"
C19	50.00	51.57	N68°15'46"W	49.31	59°05'42"
C20	50.00	54.49	N07°29'47"W	51.83	62°26'17"

CURVE TABLE					
CURVE	RADIUS	ARC DISTANCE	CHORD BEARING	CHORD DISTANCE	DELTA
C21	25.00	60.95	S46°07'14"E	46.94	139°41'12"
C22	25.00	22.05	N41°50'34"E	21.34	50°31'38"
C23	25.00	16.09	N01°51'21"W	15.81	36°52'12"
C24	635.00	33.43	S65°32'39"W	33.42	3°00'58"
C25	530.00	28.40	S65°34'16"W	28.40	3°04'13"
C26	480.00	20.92	S65°17'06"W	20.92	2°29'51"



PREPARED BY:
BARTRAM TRAIL SURVEYING, INC.
CERTIFICATE OF AUTHORIZATION LB #6991
LAND SURVEYORS - PLANNERS - LAND DEVELOPMENT CONSULTANTS
1501 COUNTY ROAD 315 SUITE 106
GREEN COVE SPRINGS, FL 32043
(904) 284-2224 FAX (904) 284-2258



NOTE: A CERTIFIED ISA ARBORIST SHALL INSPECT AND REPORT ON EXISTING TREES TO REMAIN PURSUANT TO REQUIREMENT #2 UNDER TREE PRESERVATION ORDINANCE.

GREEN COVE SPRINGS TREE MITIGATION / PRESERVATION

TREE REMOVAL

Species	DBH	
	Live Oak	Other
Laurel Oak		10
Laurel Oak		14
Laurel Oak		12
Laurel Oak		21
Laurel Oak		12
Laurel Oak		14
Laurel Oak		12
Palm		12
Palm		16
Laurel Oak		14
Laurel Oak		13
Laurel Oak		14
Laurel Oak		14
Laurel Oak		22
Laurel Oak		12
Laurel Oak		12
Laurel Oak		23
Laurel Oak		42
Laurel Oak		15
Laurel Oak		18
Palm		12
Laurel Oak		30
Laurel Oak		13
Laurel Oak		17
Laurel Oak		12
Laurel Oak		14
Laurel Oak		21
Laurel Oak		14
Laurel Oak		16
Laurel Oak		14
Laurel Oak		13
Laurel Oak		16
Laurel Oak		30
Tupelo		12
Laurel Oak		20
Laurel Oak		19
Laurel Oak		36
Laurel Oak		16
Laurel Oak		13
Laurel Oak		13
Laurel Oak		25
Laurel Oak		32
Laurel Oak		12
Laurel Oak		15
Laurel Oak		21
Laurel Oak		16
Laurel Oak		15
Laurel Oak		24
Laurel Oak		15
Palm		17
Laurel Oak		22
Palm		18
Magnolia		45
Laurel Oak		22
Magnolia		34
Live Oak		15
Laurel Oak		13
Laurel Oak		15
Laurel Oak		25
Laurel Oak		12
Laurel Oak		15
Laurel Oak		16
Laurel Oak		16
Laurel Oak		20
Laurel Oak		14
Laurel Oak		29
Laurel Oak		16
Laurel Oak		23
Laurel Oak		24
TOTALS	24	1247

Live Oak Mitigation @ 1:1: 24
Other Mitigation @ 1:3: 416
TOTAL MITIGATION 440

Species	12"-18"		19"-30"		>30"	
	Live Oak	Others	Live Oak	Others	Live Oak	Others
Laurel Oak					36	43
Live Oak						57
Laurel Oak						
Laurel Oak						
Palm						
Live Oak	12	15				
TOTALS	12	27	0	0	36	100

Live Oak Credit	12	0	54	
Others Credit		13.5	0	100
TOTAL	12	13.5	0	100
GRAND TOTAL CREDITS:				179.5

NET MITIGATION (Mitigation - Credits): 260.5

PLANTED TREES			
Tree	Qty.	Caliper	Total "
Dahoon Holly	4	2	8
Eagleston Holly	28	3	84
Live Oak	19	5	95
Cabbage Palm	7	12	84
TOTAL PLANTING:			271

MITIGATION REQUIREMENT IS SATISFIED THROUGH PLANTING

DOMINION ENGINEERING GROUP, INC.
PLANNERS AND ENGINEERS
4348 SOUTHPOINT BLVD, SUITE 204, JACKSONVILLE, FLORIDA 32216
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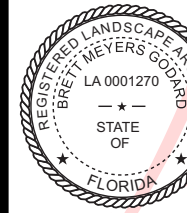
GODARDESIGN
LANDSCAPE ARCHITECTURE / LAND PLANNING
541 Oleander Street, Neptune Beach, FL
Phone: (904) 247-7729 Fax: (904) 373-9177
www.godardesign.com LC 000597

GRAYLON OAKS
FOR
GRAYLON OAKS LAND TRUST
TREE REMOVAL/PRESERVATION PLAN

REVISIONS	
1	1/6/22 TREE REMOVAL
2	5/26/22 CITY REVIEW
3	8/3/22 CITY REVIEW

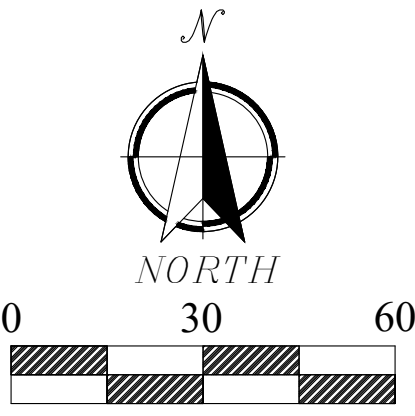
PLOT DATE:	
DRAWN BY: BMG	
DESIGNED BY: BMG	
CHECKED BY: BMG	
SCALE: AS NOTED	
JOB NO.:	
© LATEST DATE HEREON	
SHEET NO.	

Digitally signed by
Brett M Godard
Date: 2022.08.03 09:55:18 -04'00'



L1

OF 4



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL		QTY	REMARKS
IC	Ilex cassine / Dahoon Holly	45-Gallon			4	Min. 8'-10' ht. x 3'-4 sprd., 2" DBH
IOE	Ilex opaca 'Eagleston' / Eagleston Holly	65-Gal.	2.5" DBH		28	Min. 11' - 13' ht. x 3'-4' sprd., 3" CT, 2.5" DBH
QV	Quercus virginiana / Southern Live Oak	-	5"-Cal.		19	Min. 17' - 20' ht. x 8'-10' sprd.
SP15	Sabal palmetto / Cabbage Palmetto	15' CT			7	Shaved trunk, regen.
SHRUBS	BOTANICAL / COMMON NAME	CONT		SPACING	QTY	
VOW	Viburnum obovatum 'Withlacooche' / Withlacooche Walter's Viburnum	7-Gallon		48" o.c.	76	Min. 36" ht. x 24" sprd.

GENERAL NOTES:

- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER.
- ALL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER OR THE LANDSCAPE ARCHITECT.
- MULCH ALL BEDS WITH MIN. 3" SHREDDED CYPRESS MULCH. PULL AWAY FROM SHRUB & TREE STEMS.
- WHERE NUMBERS ON PLANTING PLAN AND PLANT SCHEDULE DIFFER, THE PLANTING PLAN SHALL TAKE PRECEDENCE.
- WHERE SIZES INDICATED DO NOT MATCH CONTAINER SIZE, THE LARGER OF THE TWO SPECIFICATIONS SHALL BE USED.
- SOD ALL DISTURBED AREAS ON THE PROJECT SITE NOT OTHERWISE LANDSCAPED WITH ARGENTINE BAHIA SOD.
- INSTALL ROOT BARRIER PER DETAIL AT RIGHT FOR ALL TREES INDICATED WITH SHADED DOT TO INDICATE 5' OR LESS SEPARATION FROM R.O.W. OR UTILITIES.
- ALL NEW LANDSCAPING WILL BE PROVIDED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SUPPLIED BY A DEDICATED IRRIGATION METER.
- STREET TREES SHALL BE PLANTED AT THE TIME THE LOT ON WHICH THEY ARE PLACED ARE DEVELOPED.

GENERAL NOTES

- It is expected that appropriate substitutions of plant material with the intent to improve the quality and appearance of the project relative to the availability of material and freeze considerations meet with the approval of the Landscape Architect.
- All sod areas shall be verified on plan and on site.
- It is the responsibility of the Landscape Contractor to follow all guidelines set forth from the Landscape Specifications when provided. All plant materials shall be Florida #1 or better (Florida Fancy) as described in "Grades and Standards for Nursery Plants".
- All specimen trees must meet the specifications provided in the plant schedule and plans. Any substitutions for Specimen Trees must meet with the approval of the Landscape Architect.
- Contact the Landscape Architect for any major site changes which alter landscape beds or berming areas.

EARTHWORK

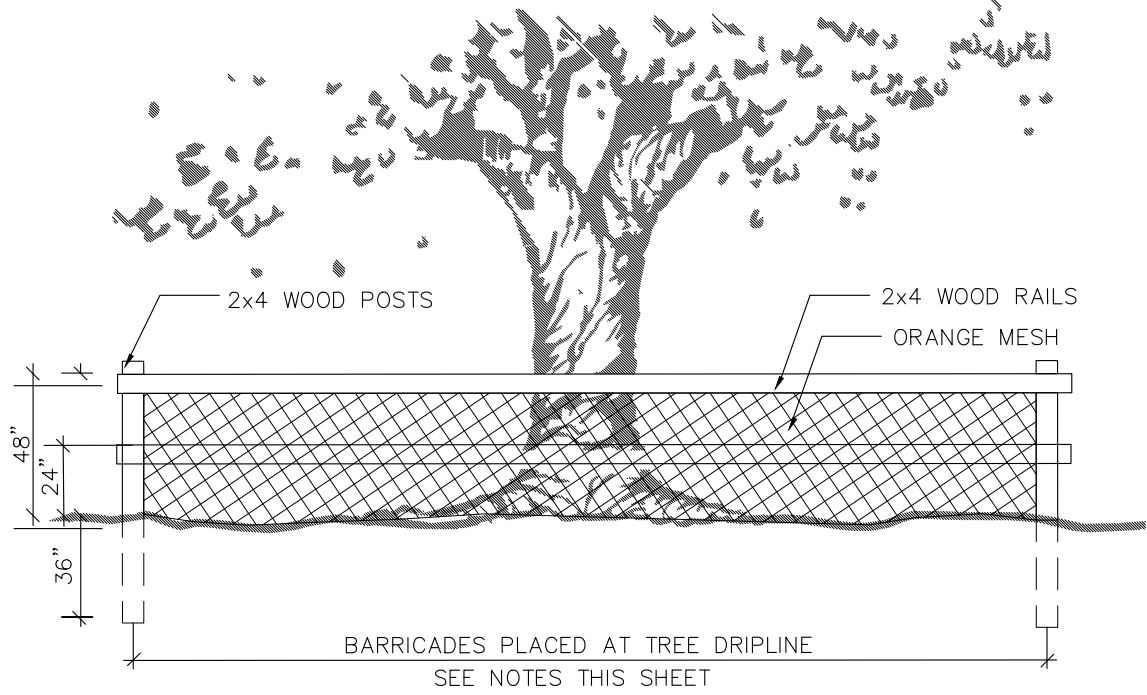
- All site work for rough grading of berms, planters, and planting areas is to be provided by the General Contractor, unless otherwise specified by these plans. Fill for all berms and planters shall be of a suitable, sandy gradation which is porous and percolates well, to insure proper water runoff and drainage. Absolutely no plastic, clayey soil may be used in any planting area.
- The General Contractor shall be responsible for verifying the cubic yard quantities of proposed berms or planter areas.
- The Landscape Contractor is responsible for all final grading of berms, bed areas, and sod areas until acceptable by the Landscape Architect, both before and after landscape installation has begun.
- The Landscape Contractor is to verify soil condition of all planting areas as to pH level and organic stability before planting begins. Recommendations, if any, for improvement to existing soil shall be submitted to Godard Design Assoc. for review and record before installation begins. If soil conditions are found to be unsatisfactory the soil must be amended in accordance with test results and recommendations.
- Any unsuitable material found in landscape beds of berms shall be removed by the General Contractor to a depth of not less than twelve (12) inches and backfilled with said suitable material with reasonable (90%) compaction.
- Any debris, such as wood, concrete, stucco, bricks, etc., shall be removed by the General Contractor and backfilled with suitable material as described in Item

TREE SPADING CONTRACTOR IS RESPONSIBLE FOR:

- Locating and verifying all existing underground utilities in or near proposed tree locations before any trees are placed, and shall coord-inate closely with respective utility contractors involved in those areas.
- Scheduling tree spading operations in any area before sidewalks or other impassable structures are installed.
- Replacing any tree which has died due to improper transplanting, as directed by the Landscape Architect and/or Owner.
- Watering in and fertilizing all spaded trees, as well as amending the surrounding soil, until said trees are established. Established shall mean when tree shows no signs of shock, lack of water, or overall poor health until such time as normal watering as supplied by irrigation system can maintain tree in good health.
- Tree spade contractor shall amend soil in the immediate area of the tree if said soil is not acceptable for transplanting. Notify Landscape Architect in writing of proposed soil amendments.

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR:

- Watering in and guaranteeing all other trees as per specifications listed on these plans or the written sections.
- Providing mulch, peat, potting soil, and/or fertilizer on site as directed by the plans, specifications, or Landscape Architect.
- Providing positive drainage of all landscaped areas around build-ings, islands, amenities, and other areas negatively affected by poor drainage. This note covers all areas not specified on engineering or landscape grading plans.



TREE PROTECTION BARRICADE DETAIL

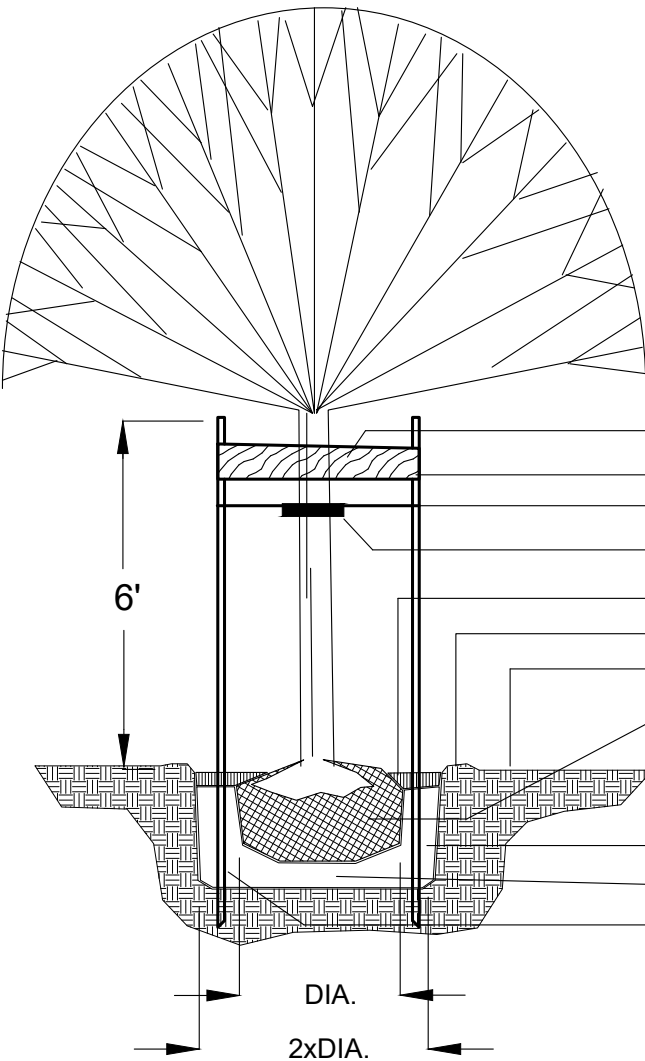
- PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN AGAINST:
 - UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS
 - SKINNING AND BRUISING OF BARK
 - SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN DRIP-LINE
 - FOOT OR VEHICULAR TRAFFIC
 - PARKING VEHICLES WITHIN DRIP-LINE
- ERECT TEMPORARY WOODEN BARRICADES AS SHOWN ON THIS SHEET, BEFORE COMMENCEMENT OF ANY SITE CLEARING OR GRADING. FENCE TO BE 4' HIGH MINIMUM WITH 2 X 4 POSTS AND 2-2X4 RAILS AT 2' AND 4' ABOVE GRADE AND SHALL BE SET DEEP ENOUGH IN THE GROUND TO BE STABLE WITHOUT ADDITIONAL SUPPORT. ALL FENCING SHOULD BE A MINIMUM CLEAR DISTANCE AS NOTED BELOW:

TREES RECEIVING CREDITS FOR COUNTY APPROVAL

The area surrounding a retained tree described by a radius of one foot for each inch of the tree's diameter at breast height shall constitute the minimum undisturbed area required to receive points for that tree. During development activity, encroachment into the undisturbed area for purposes described in paragraph (a) ay be permitted up to twenty-five percent of the radius or up to fifty percent of the radius on one side, but no closer than six feet to the trunk of the protected tree in all events; provided, pavement, including foundation up to a depth of six inches may be permitted within four feet of the trunk of a protected tree.

- (a) Permitted Activities Within the Undisturbed Area -A tree encroachment permit is required for all activities in the undisturbed area except the following:
- Tunneled Utility and Irrigation Lines -Utility lines that are tunneled beneath tree roots in order to protect roots, rather than trenched.
 - Sodding and Ground Cover -Placement of sod or other ground covers, and the preparation of the ground surface for such covers.
 - Pavement -Pavement up to a depth of six inches may be permitted within four feet of the trunk.
- NOTHING SHALL BE PLACED INSIDE OF PROTECTIVE BARRICADES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, MACHINERY, CHEMICALS, OR TEMPORARY SOIL DEPOSITS. WHEN PAVING, EXCAVATION, OR HARDSCAPE MUST BE DONE WITHIN BARRIERS, BARRIERS SHALL BE MOVED BACK TO A SECONDARY LOCATION AT EDGE OF WORK. EXTRA CARE MUST BE TAKEN AT THIS TIME BY THE CONTRACTOR TO INSURE THAT NO DAMAGE TO THE TREE OCCURS.
 - PROVIDE WATER TO TREES AS REQUIRED TO MAINTAIN THEIR HEALTH DURING CONSTRUCTION WORK.
 - NO GRADE CHANGES ARE TO BE MADE WITHIN THE BARRICADES WITHOUT PRIOR APPROVAL OF THE COUNTY.
 - BARRICADES TO BE PLACED AT ALL TREES AS NOTED IN THE CIVIL AND LANDSCAPE DRAWINGS, WHERE INDICATED BY SYMBOLS. DO NOT PLACE IN WETLANDS.
 - WHERE SHOWN ON THE CIVIL PLANS, SILT FENCING SHALL SERVE THE SAME PURPOSE AS TREE PROTECTION BARRICADES WITH RESPECT TO TREE PROTECTION AND PRESERVATION. THE SAME RESTRICTIONS AS NOTED ABOVE FOR STORAGE FILL, AND EXCAVATION SHALL BE ADHERED TO.

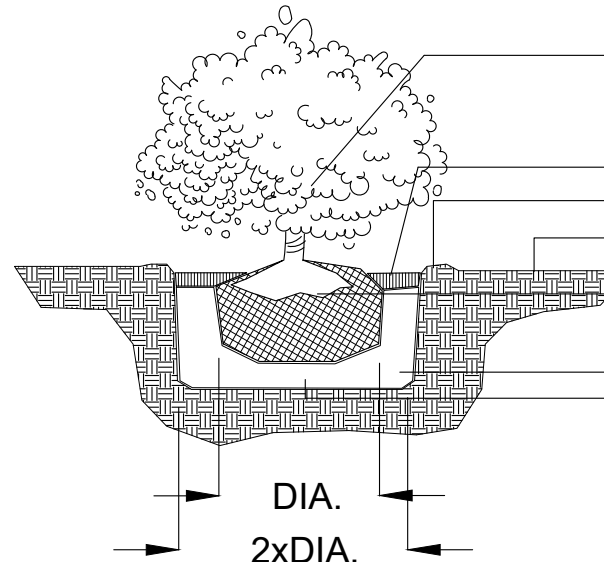
PLANTING DETAILS



TREE STAKING DETAIL

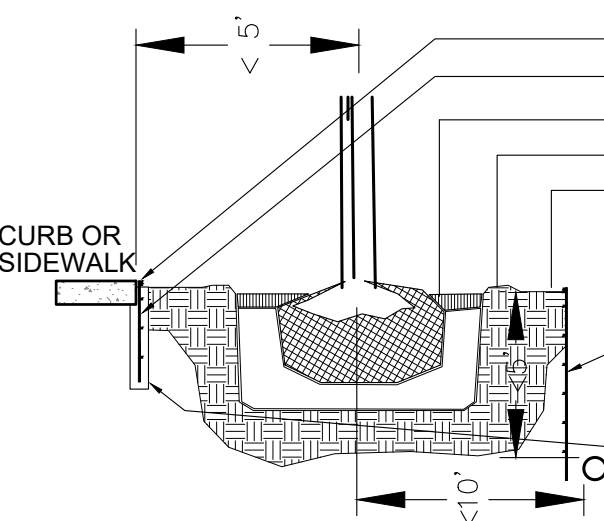
(FOR TREES TO 4" CAL.)

NOT TO SCALE



SHRUB PLANTING DETAIL

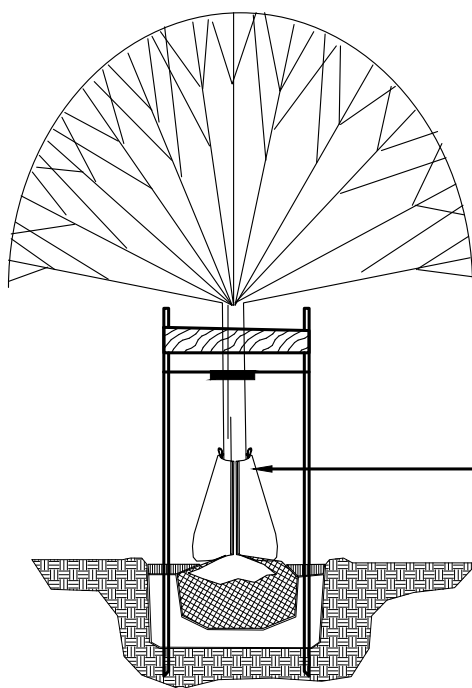
NOT TO SCALE



ROOT BARRIER DETAIL

NOT TO SCALE

Follow manufacturer's installation requirements at www.deeproot.com



TREE WATERING BAG

NOT TO SCALE

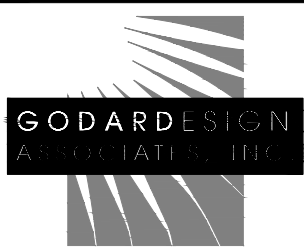
DOMINION ENGINEERING GROUP, INC.

PLANNERS AND ENGINEERS

4348 SOUTHPOINT BLVD, SUITE 204, JACKSONVILLE, FLORIDA 32216

TEL: 904-854-4500 C.A. NUMBER: 26821 FAX 904-854-4505

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www.godarddesign.com LC 0000397

GRAYLON OAKS

FOR GRAYLON OAKS LAND TRUST

LANDSCAPE GENERAL NOTES

REVISIONS

- 1/6/22 TREE REMOVAL
- 5/26/22 CITY REVIEW
- 8/3/22 CITY REVIEW

PLOT DATE:

DRAWN BY: BMG

DESIGNED BY: BMG

CHECKED BY: BMG

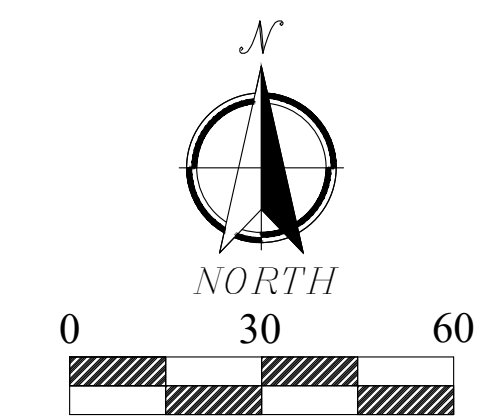
SCALE: AS NOTED

JOB NO.:

© LATEST DATE HEREON SHEET NO.

L2

OF 4



REVISIONS	
1	6/22 TREE REMOVAL
2	5/26/22 CITY REVIEW
3	8/3/22 CITY REVIEW
PLOT DATE:	
DRAWN BY: BMG	
DESIGNED BY: BMG	
CHECKED BY: BMG	AS NOTED
JOB NO.:	
© LATEST DATE HEREON SHEET NO.	
L3	
OF 4	

PART I-GENERAL

1.01 DESCRIPTION OF WORK

- A. The work under this section shall include all services, tools, apparatus, materials, labor and other means of construction required for the landscaping work in accordance with drawing and these specifications.

- Lay out beds, tree locations, shrubs and ground cover as shown on the drawings.
- The work shall include the preparation of the ground, finish grading, sodding, planting, fertilizing, mulching, preparation and applying peat and fertilizers and all other work required by the drawings and specifications.

1.02 APPLICATION DOCUMENTS

- A. The following specifications and standards of the issues listed and referenced to, form a part of this specification to the extent required by the references thereto.

- American Association of Nurserymen, 1949 Edition of Horticultural Standards, (635 - 638 Southern Building, Washington, DC)
- The Standard Encyclopedia of Horticulture, L.H. Bailey, 1953 Edition, 3 Volumes by the MacMillan Company, New York, New York.
- Grades and Standards for Nursery Plants, Part 1 and 11, Department of Agriculture, State of Florida, Division of Plant Industry, Post office Drawer 1289, Gainesville, FL 32601.

PART 2 - GENERAL CONDITIONS

2.01 GENERAL REQUIREMENTS

- A. Approval and Rejection of Materials and Work: The selection of all materials and execution of all operations required under the drawing and specifications shall be subject to the approval of the Landscape Architect. The Landscape Architect or his representative shall have the right to reject any and all work which in his opinion does not meet with the requirements of the specifications at any stage of the operations. All rejected materials shall be removed from the site.

- B. Scientific and Common Names: Attention is called to the fact that the scientific and common names used for the plants required under this contract are generally in conformity with the approved names given in the Standard Plant Names, published by the American Joint Committee on the Horticultural Nomenclature. The names of varieties not included therein are generally in conformity with the names accepted in the nursery trade.

- C. All plants shall conform to the varieties specified in the Plant Schedule. No substitutions of varieties or colors will be allowed without prior written or verbal approval of the Landscape Architect.

- D. All plant materials shall conform to a Florida No. 1 or better (Florida Fancy). Those not listed by "Grades and Standards for Nursery Plants", published by the Division of Plant Industry, shall conform to a Florida No. 1 as to:

- Health and vitality
- Condition of foliage
- Root system
- Freedom from pest or mechanical damage
- Heavily branched and densely foliated according to the accepted normal shape of species or sport.

2.02 DEFINITION AND INTENT OF DOCUMENTS

- A. The contract documents consist of the contract agreement, the drawings and the specifications, including all modifications thereof incorporated in the documents before their execution, it is specifically agreed upon that this contract shall be in all aspects constructed and interpreted in accordance with the laws of the state in which it is executed.

- B. The contract documents are complimentary and what is called for by one shall be as binding as if called for by all. The intent of the documents is to include, unless otherwise stated, all labor, materials, equipment and transportation for the proper execution of the work.

- Where there is a conflict between requirements called for in both these written specifications and the drawings, the more strict of the two shall be the contractual obligation, unless specifically noted buy the other.

2.03 OWNER'S AUTHORIZED REPRESENTATIVE

- A. The Owner shall designate or appoint one (1) person as his representative to work with the Contractor. The Contractor shall be notified in writing of the name and address of this duty appointed representative. This representative shall have full authority to approve work performed by the Contractor, make field changes that are deemed necessary and approve estimate submitted by the Contractor for payment.

2.04 LIABILITY OF CONTRACTOR

- A. The contractor shall be liable for any and all damages to property which result from his performance. He shall, with extra cost restore to original condition any areas and/or construction damaged, defaced, disturbed or destroyed by him or his workmen.

- B. The contractor shall maintain adequate protection of all his work from damages and shall protect the Owner's and adjacent property from injury or loss arising from this contract.

- C. The contractor shall not be obligated to replace, repair or restore any portion of this work which is damaged, defaced, disturbed or destroyed by others or by the owner and/or which results from Owner's negligence.

2.05 TAXES

- A. The contractor shall pay all Federal, State and local sales and use tax applicable to materials, processes or devices purchased or used in connection with the work under this contract.

2.06 EXAMINATION AND VERIFICATION OF DRAWINGS AND SITE

- A. It shall be the contracting installer's responsibility to report to the Owner's Representative any deviations between drawings, specifications, and the site. Failure to do so prior to installing of the plant material and resulting in replacing and/or relocating same shall be done at the contractor's own expense.

2.07 ORDINANCES AND REGULATIONS

- A. All local, municipal and state laws and rules and regulations governing or relating to any portion of this work are hereby incorporated into and made a part of these specifications and their provisions shall be carried out by the contractor. Anything contained in these specifications shall not be construed to conflict with any of the above mentioned Rules and Regulations or requirements, and where the Rules, Regulations or Specifications and/or drawings call for or describe materials, workmanship or construction, or a better quality, higher standard or larger size, these specifications and/or drawings shall take precedent over the requirements of said rules, regulations or codes.

2.08 MATERIALS AND WORKMANSHIP

- A. Whenever any material is specified by name or number thereof, such specification shall be deemed to be used for the purpose of facilitating a description of the materials and establishing quality, and shall be deemed and construed to be

followed by the word "OR APPROVED EQUAL." No substitution will be permitted which has not been submitted for prior approval by the Owner's Representative. All materials shall be new and without flaws or defects and shall be the best of their class and kind. Sufficient literature and/or samples must be furnished for any materials submitted as "equal" substitutes. All materials shall be guaranteed for a period of one (1) year against material defects and workmanship.

- B. All materials and equipment shall be installed in a neat and workmanlike manner. The Owner's Representative reserves the right to direct the removal and replacement of any items, which in his opinion shall not represent an orderly and reasonably neat workmanlike appearance, provided such work be properly installed in such and orderly way, by the usual methods in such work. Such removal and replacement shall be done, when directed in writing, at the Contractor's expense without additional cost.

2.09 PROJECT INSPECTION

- A. It is the intention of these specifications, together with the accompanying drawings to accomplish the work in an efficient and satisfactory manner according to the workmanlike standards established for the nursery industry. Notwithstanding is the fact that these specifications and drawings may be deficient in setting forth a complete detailed description of the work to be done.

2.10 RECORD DRAWINGS

- A. The Owner will furnish the Contractor with two sets of blueprint prints, showing all work required under this contract, for the purpose of having the Contractor record on one set of prints all changes that may be made during actual installation of the landscape.

- B. After final acceptance of the completed installation, the contractor shall be responsible for having complete drawings prepared showing all such changes and these shall be turned over to the Owner for recording purposes.

2.11 MATERIAL STORAGE AND CLEANUP

- A. The contractor shall keep the premises free from rubbish and debris at all times and shall arrange for this storage so as not to interfere with Owners operation of the job. All unused materials, rubbish and debris shall be removed from the site.

2.12 EQUIPMENT, TOOLS AND LABOR

- A. The Contractor shall furnish all such equipment, tools and labor necessary to push work, in an acceptable manner, to a speedy completion. This contract is based on the Contractor furnishing and using his equipment, tools and labor which are suitable to carry out this contract in a first class manner, unless otherwise hereinafter specified.

2.13 CHANGES OR ADDITIONAL WORK

- A. The Owner may, without invalidating the original contract, order such changes or additions as may from time to time be deemed desirable or necessary. In doing so, the contract price shall be adjusted to the mutual agreement of the contractor and the Owner, with all work being done under the conditions of the original contract, except for such adjustments in price and in extension of time as may be necessary.

- B. The contractor shall bring to the attention of the Owner's Representative changes which may necessitate deviation(s) in construction from the original plans by other contractors on the job. Changes in price caused by such deviation(s) shall be agreed upon by both Contractor and Owner's Representative before work proceeds.

PART 3 - MATERIALS

3.01 GENERAL

- A. Topsoil: Planting areas may use existing soil on the site as long as it has been cleared of unsightly underbrush and their roots, limbs, buried construction debris, pockets of clay, rocks and other extraneous matter.

- B. Unsuitable Soil Conditions: Absolutely no plastic or clayey soil is to be used in any planting landscape areas. If such a condition is found, it is to be removed to a depth of 3 feet and 1 foot outside of said planting bed. This area is to be backfilled with materials of suitable sandy gradation which is porous and percolates well with reasonable compaction. If any planting or sod area has a plastic or clayey soil condition which does not allow for proper drainage, then a system of underdrains, turf drain or some other means of releasing underground standing water must be incorporated under the direction of the Landscape Architect and Owner.

- C. Soil Tests: The landscape contractor is to test all soil conditions of all existing planting areas, or areas backfilled or composed primarily of existing soil where contents or PH is not previously known, as to its PH and organic content before planting to be sure all unsuitable material has been removed as per 3.1 B. Before any soil addenda are added to the soil, a soil test shall be taken to determine the type and amount of PH controlling materials needed to bring the soil to PH rating of 6.0. Results of soil tests shall be submitted to the Landscape Architect of his representative prior to application of soil addenda.

- Soil samples shall be taken from 5 different locations throughout the work area. Samples may not be taken closer than 50 feet from any other samples site.
- Samples shall be mixed and tested accordingly.

D. Fertilizer:

- Slow-release commercial fertilizer 866 formula: 50% nitrogen requirement shall be derived from organic sources and the secondary plant foods consisting of 4.5% potash-magnesia, 0.5% manganese sulfate, 0.5% copper sulfate, .05% borax.
- Wettable Sulphur: Shall be finely ground dusting or wettable but must pass a 375 mesh screen. Analysis of sulphur must be between 90% and 93%.
- Iron Sulfate: Analysis of 18% to 19% metallic iron.
- Guarantee of Fertilizer Analysis: Before delivery of fertilizer is made, the contractor shall submit the manufacturer's statement of analysis of the fertilizer indicating the properties of organic matter and the availability of the plant food. The fertilizer is to be delivered to the site in the original containers unopened and bearing a guaranteed analysis fulfilling the required specifications.

- E. Supersorbent: White "Terra-Sorb AG" synthetic acrylamide co-polymer crystals with a particle size of 1 to 3 mm, available from Seedsmiths, 781-9400; Jacksonville, Florida, or approved equal.

- F. Mulch: Mulch shall consist of either pine straw or cypress (Grade A). Cypress mulch will be placed in all planting beds, planters or any other area whether or not specified on the plans. Pine straw is to be placed in all natural areas or any other area specified on the plan. All mulch is to be clean, bright and free of weeds, moss, sticks, sawwood, chips or other debris. All mulch is to be installed evenly to a depth as notated the drawings and cover all areas of the planting beds, etc.

- G. Water: Water used for landscaping is to be from Owner provided sources. Water for plantings occurring prior to final operation of irrigation system shall be supplied by the Contractor at no cost to the Owner.

3.02 TOPSOIL MIXTURE

- A. All topsoil which is used to replace existing soil in tree, shrub and ground cover beds for planting operations as labeled shall be of similar organic content and PH as the existing surrounding soil. Where a topsoil mixture is specifically called for, it shall be prepared and conditioned as follows. These operations shall only be made after consulting with Landscape Architect.

- Mix one part by volume peat and two parts by volume of existing soil and five pounds of 75% organic 6-6-4, 59-8 fertilizer and five pounds of commercial 50% organic 6-6-6 fertilizer to each cubic yard of the mixture. Add wettable sulfur and iron sulphate in quantities necessary to bring the soil to PH rating of 6.0.
- Fill material for berm areas is to be provided by General Contractor unless otherwise directed by Landscape Architect.

3.03 PLANT MATERIAL

- A. Quantity and Size: All plants and trees shall be Florida No. 1 or better, as defined in and in accordance with "Horticultural Standards" (latest edition) of the rules and grading adopted by the American Association of Nurserymen and "Grades and Standards for Nursery Plants". All plants shall have a normal habit of growth and shall be sound, healthy, vigorous and free from insect infestations. Any tree with weak, thin trunks not capable of supporting itself when planted in the open will not be accepted. The minimum acceptable size of all plants, measured before pruning, with branches in normal position, shall conform to dimensions as shown in the Plant Schedule. Specific container sizes, when noted, may be used only when the minimum container size equals the minimum size indicated in the Plant Schedule. Reasonable effort shall be made to locate specific sizes. Smaller sizes may be acceptable only after notification of and approval by Landscape Architect. Larger plants of equal quality may be accepted at no additional cost to the Owner. Specimen trees may be specified to be installed by others at the direction of the Landscape Architect.

- B. Balled Plants: Plants that are balled and burlapped (B&B) shall be adequately balled with firm natural balls of soil sized as set forth in "Horticultural Standards". Balls shall be firmly wrapped in burlap or equal approved strong cloth. No balled plant shall be planted if the ball is cracked or broken before or during the process of planting.

- C. Balled and Wired Plants: Plants that are wire balled and burlapped (WB&B) shall be dug with solid balls of adequate size, the balls securely wrapped with heavy burlap or equal and tightly bound with mesh.

- D. Container Grown Plants: Plants that are container grown shall have been grown in pots, cans, tubs or boxes and shall have sufficient roots to hold earth together intact after removal from containers without being rootbound.

- E. Options as to Methods: Any plant may be furnished container grown instead of balled if all other requirements are met.

- F. Protection Against Drying Out: All plants shall be handled so that roots will be adequately protected at all times from drying out and from other injury, the balls or balled plants which cannot be planted immediately on delivery shall be well protected with soil or other acceptable material.

- G. Plant Labels: Durable, legible labels, stating in weather resistant ink or equal, the correct plant name and size, specified in the plant list, shall be securely attached to all plants, bundles and/or containers or plant material delivered at the planting site, for the purpose of inspection and planting identification.

PART 4 - WORKMANSHIP AND INSTALLATION

4.01 SPECIAL TREATMENT AND HANDLING FOR SPECIMEN PLANTS

- A. Trees and shrubs for isolated specimen planting shall be selected for shape and symmetrical branching habit which at maturity will produce a strong, full-foliated tree, bush or other specimen. Particular care shall be exercised in the digging, binding and wrapping of such specimens to assure safe loading, shipment and handling or the entire operation of transportation from growing location to the replanting locations shown on the drawings and in Plant Schedule.

4.02 SOIL TESTS

- A. Four (4) weeks prior to planting operations, test existing soil for pH and submit report to the University of Florida Extension (IFAS) Soil Testing Laboratory. Collect soil samples in accordance with recommendations of the Laboratory. A soil test kit may be obtained from the County Extension Service.

4.03 GUYING AND STAKING

- A. All trees shall be guyed or staked according to the details provided in the drawings.

- Hose: Hose shall be suitable garden hose not less than 1 1/2" inside diameter.
- Stakes: Stakes for supporting trees and palms shall be of sound wood of uniform size, crosscut or pressure treated by an approved process. Stakes shall not be less than 2 inches by 4 inches nominal dimensions and not less than 12-12 feet in length for guying and not less than 9 feet for staking, and shall be in all cases of sufficient dimensions and length to satisfactorily and firmly guy each tree.
- Wire: Wire shall be galvannealizable, zinc-coated iron not less than No. 12 gauge.
- Turnbuckles: Turnbuckles for guying trees shall be galvanneal or cadmium-plated and shall be of adequate size and strength to properly maintain tight guy wires.
- Option of Contractor: at the option of the contractor, the staking and guying of trees may be omitted. The Contractor assumes all responsibility if he does not stake or guy.

- B. Water in Trees: All trees, whether balled container or spaded, shall be watered in properly, immediately after planting. A water hose is to jet water around the perimeter of the ball at least in three separate places. Watering is to continue until all air pockets have been filled. Additional fill may be needed to bring fill to proper height. Retamp for compaction and grade.

- C. Tree Spading Operations (by outside contractor supervised by Landscape Contractor)

- Spades will be of sufficient size comparable to trunk caliper so as not to damage the root system.
- Trees are to be set so as not to have any part of the root ball side exposed. If this occurs then the tree spade contractor is responsible for adding additional fill and hand grade to match existing slope. Landscape logs may be used by the contractor if the conditions warrant as directed by the Landscape Architect.
- Immediately after spading the tree it is to be watered in properly and a water dish built to retain the water around the root ball.

4.04 PLANT SCHEDULE

- A. The species, size, color or other specific requirements to be furnished, and the number of plants required to complete the planting as indicated on the Landscape Plan are given in the Plant Schedule.

- All dimensions given under the plant schedule shall be the minimum acceptable sizes, unless otherwise approved per 3.3.A.

4.05 INSPECTION OF PLANTS

- A. The contractor shall be responsible for all certificates of inspection of plant materials that may be required by Federal, State or other authorities to accompany shipment of plants. All plants shall be subject to inspection and approval by the Landscape Architect at any place and at any time. Part of the plants required for the work may be inspected at the place of growth but inspection should not in any way impair the right of rejection at the site. All plants must be inspected and approved before they are planted. All plants that are rejected shall be immediately removed from the site.

4.05 PLANTING SEASON

- A. The planting of plant materials may proceed at any time or period or season agreed upon by the Landscape Architect or his representative as being satisfactory.

4.07 GRADING PREPARATIONS

- A. Before the preparations of the planting area begin, all barricades around the remaining trees and other protective areas shall be removed by the Landscape Contractor.

- B. The finish grade of all planting areas shall be 2-1/2" below the top of abutting curbs, walks, paving and abutments.

- C. The General Contractor is responsible for removing all construction debris in any areas to be landscaped at least one day prior to the Landscape Contractors schedule of preparation for landscaping. No debris such as boards, drywall, paint containers, metal bands, pipe, cardboard boxes or any other item which may cause the Landscape Contractor any delayed time, shall be left on the site.

4.08 GRADING

- A. General Contractor is to verify exact amount of fill needed as shown on civil grading plans and stock pile on job, if feasible.

- B. All fill for berming, landscaping areas such as planters, planting beds and in curb islands shall be of suitable construction material.

- C. Absolutely no clay, mulch, gumbo or sandy clay may be used. Suitable material will consist of only clean sand, porous gradation.

- D. Any unsuitable material found in the above landscaping area will be removed to a depth of three feet and one foot outside the planting bed perimeter, then will be filled with suitable material to reasonable compaction.

- E. Rough grading and intermediate rough grading will be done by the General Contractor. Fine grading will be done by the Landscape Contractor.

- Rough grading is the placement of all dirt in designated areas (including planters), balanced to rough grade and shaped to the general intent of the plans as directed by the Landscape Architect.
- Intermediate rough grading is that work which is needed, by request of the Landscape Architect, to repair all erosion problems on site, including washouts, into the lake, roadway or around building pads.
- Fine grading is that work which will be done by the Landscape Contractor exclusively. This work consists of hand grading all areas for sodding, all berms that have been properly balanced and shaped by the General Contractor under rough grading.
- If fine grading has been completed and severe erosion has taken place before sod or plant material has been installed, then intermediate rough grading will be requested and approved by the Landscape Architect and the work shall be the responsibility of the General Contractor.
- If severe erosion has taken place after sod or plant material has been installed, then intermediate rough grading will be requested and approved by the Landscape Architect and the work will be the responsibility of the General Contractor.

4.09 PLANTING OPERATIONS

- A. Laying Out Plant Locations: Locations for all plants and outlines for planting areas shall be staked or appropriately laid out on the ground prior to digging pits. Before plants are set, orientation of plant faces, foliage and branchings shall be adjusted for best views.

- B. Preparation of Plant Pits: All pits shall be circular in outline, at least twice the width in diameter than that of the plant and excavation shall have near vertical sides. The specified for excavation of plant pits shall be the depths below the finished grades and shall be increased as much as may be necessary to accommodate a bed of the topsoil mixture as specified herein beneath the ball of roots.

- C. Obstruction Below Ground: any extraneous matter shall be removed to the depths necessary to permit proper installation of planting. If obstruction is not feasible, remove. The Landscape Architect is to be notified and he is to make adjustment of the plant material.

4.10 SETTING PLANTS

- A. Shrubs and Ground Covers: All plants except as otherwise specified, shall be centered in pits. Deep planting shall be avoided and unless otherwise specified or directed, all plants shall be set at such a level that after settlement, they will bear the same relation to the required grade as they have to the natural grade before being transplanted. Make adjustments of position of plants where necessary and prior to complete planting.

- B. Compact topsoil mixture, as specified, around balls or roots the full diameter of plant pit and water thoroughly and form a ridge of soil around edge of pit to form a saucer.

4.11 PRUNING

- A. All plant materials shall be trimmed and shaped to provide for the desired effect when indicated on plan. All pruning shall be in accordance with standard modern horticultural practice.

4.12 SHRUB & TREE PLANTING

- A. Shrubs, B&B 3 gallons and larger, shall be planted in pits, at least 2 times greater in diameter than the ball of earth. The depth of the pits shall be as deep as necessary to permit the required 6 inches of topsoil mixture beneath the ball and to accommodate the ball or roots when the plant is set to the required grade Backfill with topsoil mixture as specified and thoroughly settle by tamping and watering. A mound of soil shall be formed around each plant so as to produce a shallow saucer.

- B. Where required by the plans, spread supersorbent around new trees only, at a rate recommended by the manufacturer for rapid growth / new plantings. Uniformly spread throughout a 6 foot diameter area centered on each tree. Omit the supersorbent, if the tree is within an area with a normal high water table.

4.13 GROUND COVER PLANTS

- A. Plants planted at a spacing of up to 18 inches and plants of smaller size shall be treated as ground cover plants.

- B. Preparation of top six inches (6") of planting soil shall be prepared as follows (unless noted otherwise in Plant Schedule):

- Fine grade to remove all extraneous matter.
- Spread three inches (3") of peat moss or humus uniformly over entire ground cover area.
- Spread the 50% organic fertilizer at the rate of 40 pounds per 1,000 square feet uniformly over the ground cover area.
- Spread the 75% organic fertilizer at the rate of 25 pounds per 1,000 square feet uniformly over the ground cover area.
- Rotor mix or mix by other method to a depth of six inches (6").
- Regrade to the finished grade before mulching.
- Plant beds that have a spacing of plants that is 12" or less may be mulched before planting.
- Thoroughly water and firm the plants into the ground cover mixture.

- C. Plants shall be oriented so that the spread on the plants will uniformly cover the space between them.

4.14 SODDING

- A. The finish level of all grass areas after settlement shall be one inch below the top abutting curbs, walks, paving and wood borders to allow for the building of turf.

- B. The sub-grade soil shall be loosened by robo-tiller or other approved method to a minimum of six inches and graded to remove all ridges and depressions so that it will be after settlement everywhere parallel to and at the proper level to provide finished grades specified hereinbefore. All stones over two inches in dimensions, sticks, debris and other extraneous matter shall be moved during this operation.

- C. Soil Tests: Before any soil additives are applied to the soil, a soil test shall be taken to determine the type and amount of PH controlling materials needed to bring the soil to a PH rating of 6.0. Results of soil test shall be submitted to the Landscape Architect or his representatives prior to application of soil additives.

- D. Correcting PH: Apply the necessary material to correct the PH.

- E. After preparation of subsoil, commercial fertilizer 6-6-6 50% organic shall be applied on all grass areas at the uniform rate of 20 pounds per 1,000 square feet.

- F. Solid sod shall be sufficiently thick to secure a dense stand of live grass and shall be free from weeds or undesirable grasses. At the time the sod is cut, the grass shall not have a length of more than two inches.

- G. Thickness shall be as uniform as possible, approximately 1-1/2 inches or more, depending on the nature of the sod, so that practically all the dense root system of the grasses will be retained, but exposed in the sod strip, and so that the sod can be handled without undue tearing or breaking.

- H. Sod shall be watered before lifting and in sufficient quantities to provide a well moistened condition of the sod, full depth to which it is to be cut.

- I. The sod shall be live, fresh and uninjured at the time of planting. It shall be planted as soon as possible after being dug and shall be shaded and kept moist from the time it is dug until it is planted. The sod shall be approved by the Landscape Architect before planting.

- J. Sod shall be laid with broken joints and fitted together to form a uniform neat blanket effect. All loose grass, light spots and trash shall be cut out of the sod and patched with good sod.

- K. Watering: The grassed areas shall be kept in moist condition for a least two weeks after it is planted and as long as required for a stand of grass.

- L. Patching: Weed sodded areas which have to be removed and replaced will be done so by cutting out the affected area - graded to a depth equal to bottom of existing sod adjacent and replaced tightly to form a uniform carpet not noticeable where the grade is flat or on a slope.

4.15 MULCHING

- A. After all plants in a group or in a plant bed have been set and approved, the areas between plants shall be cultivated and raked to an even grade to conform to the required premulching finish grades. All plant beds and plant saucers shall then be uniformly covered with three-inch layer of cypress bark, or as specifically noted on drawings.

- B. Trees which are not located in plant beds shall be mulched to 3' radius from center of tree.

- C. Ground cover plants (spacing of more than 12 inches) shall be set in the plant beds before mulching is applied to these areas.

PART V - FINAL COMPLETION AND ACCEPTANCE

5.01 CLEAN-UP AND PROTECTION

- A. Upon completion of the work, the grounds shall be cleared of all debris, superfluous materials and equipment due to landscape operations.

- B. The Contractor shall protect all work included under his contract against trespassing and damage of any kind until final inspection and acceptance. If any material is injured it shall be treated, repaired or replaced as required.

5.02 FINAL INSPECTION

- A. At the conclusion of the planting, a final inspection of the work will be made to determine the condition of plant materials. All plants not in a healthy, growing condition as determined by the Landscape Architect or his representative shall be removed from the site and promptly replaced with plants of the like, kind and size in the same manner as specified for the original planting, at no additional cost to the Owner.

- B. At the conclusion of this final inspection, if the Landscape Architect or Owner has reason to believe that the plants are not of the specified grade, he will request a regrading inspection by the Division of Plant Industry, and such evidence will be the basis for requesting replacement of plants, and for legal or other action taken by the Division of Plant Industry according to law, should this become necessary.

5.03 HURRICANE DAMAGE OR ACTS OF GOD

- A. The Contractor shall not be held responsible for replacement or repairs of plants or planting areas killed or damaged by hurricanes or Acts of God provided he shall have taken all reasonable precautions to minimize their damage.

5.04 GUARANTEE

- A. All plants, ground cover materials, trees and palms shall be guaranteed for a period of one (1) year after final inspection and acceptance by the Owner.

5.05 HARM TO PLANT MATERIAL

- A. The General Contractor is responsible for damage to any plant materials or sod which is harmed by foot traffic, ladders in beds, paint brush cleaning, spillage of chemicals in landscaped areas, heavy equipment traffic, construction debris left laying, roofing materials or any other circumstances which is obviously the result of construction work aftermath.

(End of Section)

DOMINION ENGINEERING GROUP, INC.

PLANNERS AND ENGINEERS

4348 SOUTHPOINT BLVD., SUITE 204, JACKSONVILLE, FLORIDA 32216

FAX 904-854-4505

C.A. NUMBER: 26821

www.dom-eng.com

TEL: 904-854-4500

LANDSCAPE ARCHITECTURE / LAND PLANNING
541 Oleander Street, Neptune Beach, FL
Phone: (904) 247-7129 Fax: (904) 373-9177
www.godarddesign.com LC 000397

GRAYLON OAKS

FOR
GRAYLON OAKS LAND TRUST

LANDSCAPE SPECIFICATIONS

REVISIONS

1	1/6/22	TREE REMOVAL
2	5/26/22	CITY REVIEW
3	8/3/22	CITY REVIEW

PLOT DATE:

DRAWN BY: BMG



MOI-25-001

Item # 3.

FOR OFFICE USE ONLY

P Z File # _____

Application Fee: _____

Filing Date: _____ Acceptance Date: _____

Review Date: SRDT _____ P & Z _____ CC _____

PUD Rezoning Application

A. PROJECT

1. Project Name: Graylon Oaks
2. Address of Subject Property: Graylon Oaks Court
3. Parcel ID Number(s): 38-06-26-016748-000-00 & 38-06-26-016742-000-00
4. Existing Use of Property: Residential
5. Future Land Use Map Designation: Neighborhood
6. Existing Zoning Designation: PUD
7. Proposed Zoning Designation: PUD
8. Acreage: 3.8

B. APPLICANT

1. Applicant's Status ☐ Owner (title holder) ☐ Agent
2. Name of Applicant(s) or Contact Person(s): John Nicols Title: Trustee
Company (if applicable): _____
Mailing address: 1635 Eagle Harbor Pkwy
City: Fleming Island State: FL ZIP: 32003
Telephone: (904-264-1665) FAX: () e-mail: _____
3. If the applicant is agent for the property owner*
Name of Owner (titleholder): _____
Mailing address: _____
City: _____ State: _____ ZIP: _____
Telephone: (904-264-1665) FAX: () e-mail: _____

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

1. Is there any additional contact for sale of, or options to purchase, the subject property?
☐ Yes ☐ No If yes, list names of all parties involved:

If yes, is the contract/option contingent or absolute?
☐ Contingent ☐ Absolute

D. ATTACHMENTS

1. Statement of proposed change, including a map showing the proposed zoning change and zoning designations on surrounding properties
2. A current aerial map (Maybe obtained from the Clay County Property Appraiser.)
3. Plat of the property (Maybe obtained from the Clay County Property Appraiser.)
4. Legal description with tax parcel number.
5. Boundary survey
6. Warranty Deed or the other proof of ownership
7. Site Plan
8. Written Description
9. Binding Letter
10. Fee.
 - a. \$2,000 plus \$20 per acre
 - b. All applications are subject 10% administrative fee and must pay the cost of postage, signs, advertisements and the fee for any outside consultants.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 10 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

[Signature]
Signature of Applicant
JOHN NICHOLS, TRUSTEE
Typed or printed name and title of applicant

Signature of Co-applicant

Typed or printed name of co-applicant

3-3-25
Date

Date

State of FLORIDA County of CLAY

The foregoing application is acknowledged before me this 3RD day of MARCH, 2025, by JOHN NICHOLS

_____, who is/are personally known to me, or who has/have produced _____
as identification.

NOTARY SEAL

[Signature]



Signature of Notary Public, State of FLORIDA

ORDINANCE NO. O-05-2020

AN ORDINANCE OF THE CITY COUNCIL OF GREEN COVE SPRINGS, FLORIDA REZONING ±3.8 ACRES OF PROPERTY LOCATED ON VERMONT AVE IDENTIFIED AS TAX ID NUMBERS 017642-000-00 AND 017648-000-00, MORE PARTICULARLY DESCRIBED BY EXHIBIT "A" AND SHOWN IN EXHIBIT "B", FROM R-1 TO PUD, PLANNED UNIT DEVELOPMENT, SPECIFICALLY DESCRIBED HEREIN AND THROUGH EXHIBIT "C" SITE PLAN; PROVIDING FOR REPEALER, SEVERABILITY AND SETTING AN EFFECTIVE DATE.

RECITALS

WHEREAS, an application for a site-specific amendment to the Official Zoning Map, as described below, has been filed with the City by Brent White ("Agent") on behalf of Graylon Oaks Land Trust ("Owner"); and

WHEREAS, the Owner desires to obtain approval for a Planned Unit Development ("PUD") in the City known as Graylon Oaks Planned Unit Development ("PUD" or "Project"); and

WHEREAS, the Owner wishes to construct the Project, consisting of a fourteen (14) lot subdivision, at 016742-000-00 & 016748-000-00, the legal description for which is attached hereto as Exhibit "A" and is herein referred to as the "Property"; and

WHEREAS, a duly advertised quasi-judicial public hearing on the proposed amendment was conducted on March 26, 2020 by the Planning and Zoning Board, sitting as the Local Planning Agency (LPA) and the LPA reviewed and considered comments received during the public hearing concerning the application and made its recommendation for approval to the City Council; and

WHEREAS, the City Council considered the recommendations of the LPA at duly advertised quasi-judicial public hearings on April 7, 2020 and April 21, 2020 and provided for and received public participation; and

WHEREAS, the City Council has determined and found said application for the amendment, to be consistent with the City of Green Cove Springs Comprehensive Plan and Land Development Regulations; and,

WHEREAS, for reasons set forth in this Ordinance that is hereby adopted and incorporated as findings of fact, that the Green Cove Springs City Council finds and declares that the enactment of this amendment is in the furtherance of the public health, safety, morals, order, comfort, convenience, appearance, prosperity, or general welfare.

NOW, THEREFORE BE IT ENACTED BY THE CITY COUNCIL OF GREEN COVE SPRINGS, FLORIDA AS FOLLOWS:

Section 1. Findings of Fact and Conclusions of Law.

1. The above recitals are true and correct and incorporated herein by reference.
2. The proposed site-specific amendment to the Official Zoning Map is consistent with the Comprehensive Plan and Land Development Regulations.
3. The amendment will not cause a reduction in the adopted level of service standards for transportation, potable water, sanitary sewer, solid waste, stormwater, recreation, or public schools.

Section 2. Official Zoning Map Amended. The Official Zoning Map is hereby amended from Single Family Residential R-1 to Planned Unit Development, PUD, for Tax Parcel Numbers 38-06-26-016742-000-00 and 38-06-26-016748-000-00, in accordance with the legal description found in Exhibit "A" and map found in Exhibit "B" attached hereto and incorporated herein.

Section 3. Development Parameters. The development shall follow the parameters set forth in the PUD Written Description found in Exhibit "C", the PUD Site Plan found in Exhibit "D", and the elevations found in Exhibit "E" attached hereto and incorporated herein.

Section 4. Ordinance to be Construed Liberally. This ordinance shall be liberally construed in order to effectively carry out the purposes hereof which are deemed to be in the best interest of the public health, safety and welfare of the citizens and residents of Green Cove Springs, Florida.

Section 5. Repealing Clause. All ordinances or parts of ordinances in conflict herewith are, to the extent of the conflict, hereby repealed.

Section 6. Severability. It is the declared intent of the City Council of the City of Green Cove Springs that, if any section, sentence, clause, phrase, or provision of this ordinance is for any reason held or declared to be unconstitutional, void, or inoperative by any court or agency of competent jurisdiction, such holding of invalidity or unconstitutionality shall not affect the remaining provisions of this ordinance, and the remainder of the ordinance after the exclusions of such part or parts shall be deemed to be valid.

Section 7. Effective Date. This Ordinance shall be effective upon its passage and adoption on the second and final reading.

INTRODUCED AND APPROVED AS TO FORM ONLY ON THE FIRST READING BY THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, ON THIS 7th DAY OF APRIL 2020.


FLORIDA

CITY OF GREEN COVE SPRINGS,



Steven R. Kelley, Mayor

ATTEST:



Erin West, City Clerk

**PASSED ON SECOND AND FINAL READING BY THE CITY
COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA,
THIS 21ST DAY OF APRIL 2020.**


FLORIDA

CITY OF GREEN COVE SPRINGS,




Steven R. Kelley, Mayor

ATTEST:



Erin West, City Clerk

APPROVED AS TO FORM:



L. J. Arnold, III, City Attorney

EXHIBIT "A"

LEGAL DESCRIPTION:

LEGAL DESCRIPTION AS SHOWN ON OFFICIAL RECORD BOOK 2815 PAGE 524
A PARCEL OF LAND SITUATED IN LOT "C", BLOCK 102, PALMER AND FERRIS TRACT, GREEN COVE SPRINGS, CLAY COUNTY, FLORIDA, ACCORDING TO PLAT

THEREOF RECORDED IN PLAT BOOK 1, PAGE 44 OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF LOT 1, ST. JOHNS MOBILE HOME VILLAGE, ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 32 OF SAID PUBLIC RECORDS; THENCE ON THE WEST LINE OF VERMONT STREET RUN SOUTH 20 DEGREES 17 MINUTES 22 SECONDS EAST. 278.73 FEET TO THE SOUTH LINE OF SAID LOT "C"; THENCE ON SAID SOUTH LINE, SOUTH 64 DEGREE 00 MINUTES 00 SECONDS WEST, 429.41 FEET TO THE WEST LINE OF SAID LOT "C"; THENCE ON SAID WEST LINE, NORTH 20 DEGREE 14 MINUTES 51 SECONDS WEST 326.09 FEET TO THE: SOUTH LINE OF SAID ST. JOHNS MOBILE HOME VILLAGE; THENCE ON SAID SOUTH LINE. NORTH 70 DEGREES 19 MINUTES 51 SECONDS EAST, 427.07 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION AS SHOWN ON OFFICIAL RECORD BOOK 2815 PAGE 522
BEGINNING AT THE SE CORNER OF HENRY LENDERS LAND THENCE RUNNING

EASTERLY SIX CHAINS AND THIRTY-SIX LINKS PARALLEL WITH CYLDEVUE AVENUE TO VERMONT AVENUE, THENCE ALONG THE WEST SIDE OF VERMONT AVENUE NORTHERLY NINETY-SIX FEET, THENCE WESTERLY SIX CHAINS AND THIRTY-SIX LINKS TO H. LENDERS

EAST LINE, THENCE SOUTHERLY ALONG LENDERS EAST LINE ONE HUNDRED FEET TO THE PLACE OF BEGINNING; CONTAINING ONE ACRE MORE OR LESS, THE SAME BEING A PORTION OF A CERTAIN FOUR ACRE LOT CONVEYED BY WM. THOMPSON CO MRS. M.E. BEMIS BY DEED DATED DECEMBER 21ST, 1883, RECORDED IN BOOK "L" PAGES 605 & 606 OF THE PUBLIC RECORDS OF CLAY COUNTY. FLORIDA.

LESS AND EXCEPT OFFICIAL RECORDS BOOK 3331, PAGE 1520 PARCEL 1

A PARCEL OF LAND SITUATED IN LOT "A" AND LOT "B", BLOCK 102, PALMER AND

FERRIS TRACT, IN THE TOWN OF GREEN COVE SPRINGS, CLAY COUNTY, FLORIDA, ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 1 OF THE PUBLIC RECORDS OF SAID COUNTY, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT "A", BLOCK 102, PALMER AND FERRIS TRACT IN THE TOWN OF GREEN COVE SPRINGS, AND RUN NORTH 64 DEGREES 00 MINUTES 00 SECONDS EAST, ALONG THE SOUTH LINE OF LOT "A",

WHICH IS ALSO THE SOUTH LINE OF THE TOWN OF GREEN COVE SPRINGS,
FOR A

DISTANCE OF 79.83 FEET TO THE POINT OF BEGINNING: THENCE CONTINUE
ON LAST SAID LINE NORTH 64 DEGREES 00 MINUTES 00 SECONDS EAST, 30.17
FEET; THENCE NORTH 20 DEGREES 00 MINUTES 00 SECONDS WEST, 211.16
FEET; THENCE

SOUTH 64 DEGREES 00 MINUTES 00 SECONDS WEST, 110. 21 FEET TO THE
WEST LINE OF SAID

LOT "B"; THENCE ON LAST SAID LINE, AND ON THE WEST LINE OF SAID LOT
"A", SOUTH 20 DEGREES 00 MINUTES 00 SECONDS EAST, 100.55 FEET; THENCE
NORTH 64 DEGREES 00 MINUTES 00 SECONDS EAST, 79.83 FEET; THENCE
SOUTH 20 DEGREES 00 MINUTES 00 SECONDS EAST, 110.61 FEET TO THE POINT
OF BEGINNING.

CONTAINING 3.8 ACRES, MORE OR LESS.

SAID LANDS SITUATED, LYING AND BEING IN CLAY COUNTY, FLORIDA.

EXHIBIT "B"

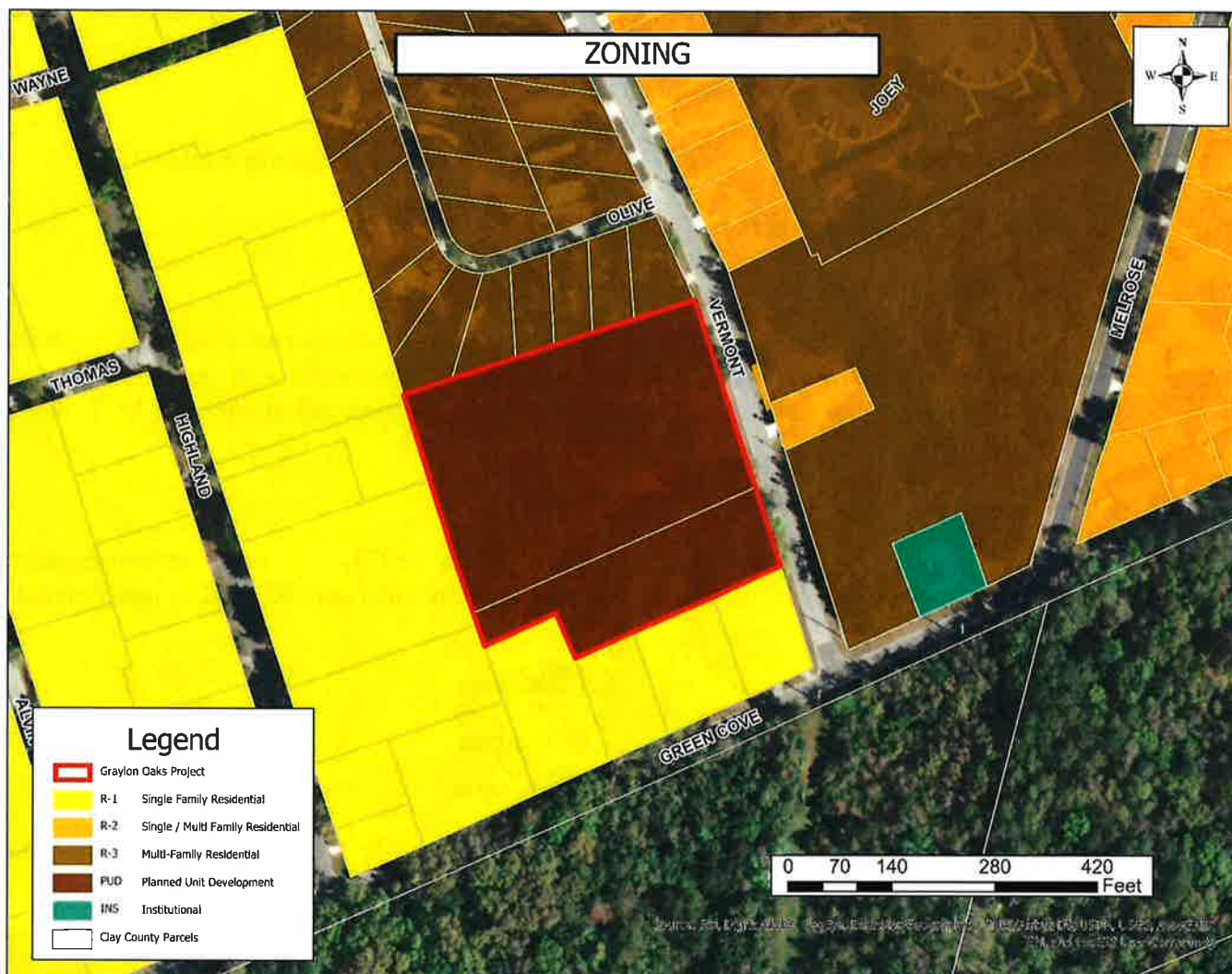


EXHIBIT “C”

PUD Written Description

Graylon Oaks PUD Written Description

Type of Development: **Two- Family Residential or Single Family Residential**

PROPERTY CHARACTERISTICS

Vegetation, Soils, & Drainage:

Vegetation on the site consists of large oak trees, laurel oaks, cabbage palms, saw palmetto bushes and pine. There are no wetlands onsite. Site has sandy soils throughout with site sloping from west to east to Vermont St. Site has a topography of 51’ to the west and dropping to 39’ to the east fronting Vermont St.

Utilities:

Central water and wastewater service will be provided by the City of Green Cove Springs; electric service will be provided by the City of Green Cove Springs and shall be installed underground.

ACREAGE SUMMARY

Total Property	3.8 Acres
Wetlands	0 Acres
DEVELOPABLE	3.8 Acres

MAXIMUM UNITS

Maximum units	30 units
---------------	----------

Proposed development

Residential Single Family & Two- Family Development

The property is consistent with the land use and zoning of the surrounding areas. The character of the proposed development is consistent with those of adjacent multi-family residential developments on Vermont Ave and abutting State Road 16. The parcels directly adjacent to the east and north currently have high-density land use and R-3 zoning. In addition, the subject

property is consistent with other similar properties in the surrounding areas of the city and is in conformity with local land use plans and zoning ordinances. The subject property will also create a much-needed affordable housing neighborhood that will have a great economic and fiscal benefit to the area and the community. The affordable housing community can be achievable by allowing a higher density similar to that of the adjacent properties.

Access

Access is provided from Vermont Ave. The subdivision will not be gated and roads within the development will be turned over to the city and would meet city requirements.

Proposed Density Standards

Residential- Single Family Dwelling

Minimum Lot Area	5000SF
Minimum Lot Width	50 Feet
Minimum Lot Depth	100 Feet
Minimum Living Area	1200 SF
Maximum Lot Coverage	40%

Residential- Two Family Dwelling

Minimum Lot Area	6000 SF
Minimum Lot Width	60 feet
Minimum Lot Depth	100 feet
Minimum required living area	1000 SF
Maximum Lot Coverage	40%

Yard Requirements – Primary Structures*

Front Porch	15 feet
Front Façade	20 feet
Side	7.5 feet; combined 15 feet
Rear	10 feet
Max Building Height- Primary Structures	35 feet

*All corner lots have two front yards. However, structures oriented parallel to a street must have the required front yard on such street, but the front yard on the remaining street may be 15 feet.

Permitted Uses

- a. Single family detached residential dwelling units
- b. Two family residential dwelling units
- c. Home occupations (pursuant to City Code Requirements)

Ingress, Egress and Circulation

- a. Minimum of 2 parking spaces per dwelling unit (4 per duplex). One parking space will be in driveway and one will be in the attached garage.
- b. The dimension of each driveway must be 10' x 20'.
- c. Each unit must include an attached garage at least 10' x 20'.
- d. There will be a 6' sidewalk along proposed street and along Vermont Avenue.

Landscaping

Landscaping per Section 113-244 of the Land Development Regulations

- a. Landscape requirements for each one or two-family dwelling (duplex) shall be as follows:
 1. At least one canopy tree, 2.5 inches DBH, shall be located in the required front yard of each dwelling unit. Each duplex will have two canopy trees.
- b. Perimeter Landscaping shall be as follows:
 1. Provide additional perimeter landscaping along Vermont Avenue with one new shade tree per 50' of road frontage subject to the requirements of Sec. 113-244(d)(3) and installation and maintenance requirements set forth in Section 113-247(b).
 2. A minimum of 4 understory/subcanopy trees shall be planted around the intersection of Vermont and the proposed new roadway
 3. Provide the following buffer to the south and west of the property:
 - A) Single-Family development:
 - Provide a 10' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth in Sec. 113-247(b). Or
 - Provide an opaque privacy fence, 6' in height and a landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence , subject to the buffer and landscape

design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

B) Two-Family Development:

- Provide a 20' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth in Sec. 113-247(b). Or
- Provide an opaque privacy fence, 6' in height and a landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence, subject to the buffer and landscape design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

Tree Survey

- a. A tree survey measuring trees 12" or greater shall be required as part of the subdivision review. Tree removal mitigation will be required as stipulated in City Code Section 113279

Tree Preservation

1. Trees to be preserved onsite:
 - a. Live Oak Trees
 - b. The rear 20' along the south and west property lines shall be kept in a natural condition with all canopy/shade trees preserved
 - c. Viable shade/canopy trees within 15' of Vermont Avenue shall be preserved.
2. Tree protections requirements shall comply with Section 113-248, and in addition: an ISA certified arborist or equivalent horticulture professional shall be hired to evaluate trees to be saved, ensure adequate root area is provided and grade changes are not altered within critical root area, prescribe treatments to preserve the trees and oversee tree protection during the construction process. Trees or branches of trees that are adjacent to or hanging over into adjacent neighboring properties shall be evaluated for safety by the certified arborist and removed or appropriately pruned or other measures as required by the certified arborist.

Miscellaneous

Development requirements not specifically mentioned shall be consistent with all requirements for the City of Green Cove Springs R-2 Zoning district and all other applicable Land Development Code Requirements

Development Plan

The project will be developed in a single phase. The required right of way buffers shall be constructed by the developer and completed prior to the issuance of a certificate of occupancy for any residential dwelling not constructed as a model unit within the subdivision.

All common areas and stormwater management facilities /drainage areas shall be maintained by a legally established Homeowner's or Property Owner's Association. All finalized legal documents demonstrating the creation of the HOA or POA and its responsibilities must be submitted with the Final Plat submittal for the Graylon Oaks PUD.

Stormwater analysis shall be required with the subdivision application that demonstrates consistency with the City of Green Cove Springs and St Johns River Water Management District requirements.

Regulations regarding Guarantees and Sureties as stipulated in Chapter 101, Article II, Division 5 and Subdivision 5 shall be provided as part of the subdivision approval process.

EXHIBIT "D" PUD CONCEPTUAL PLAN

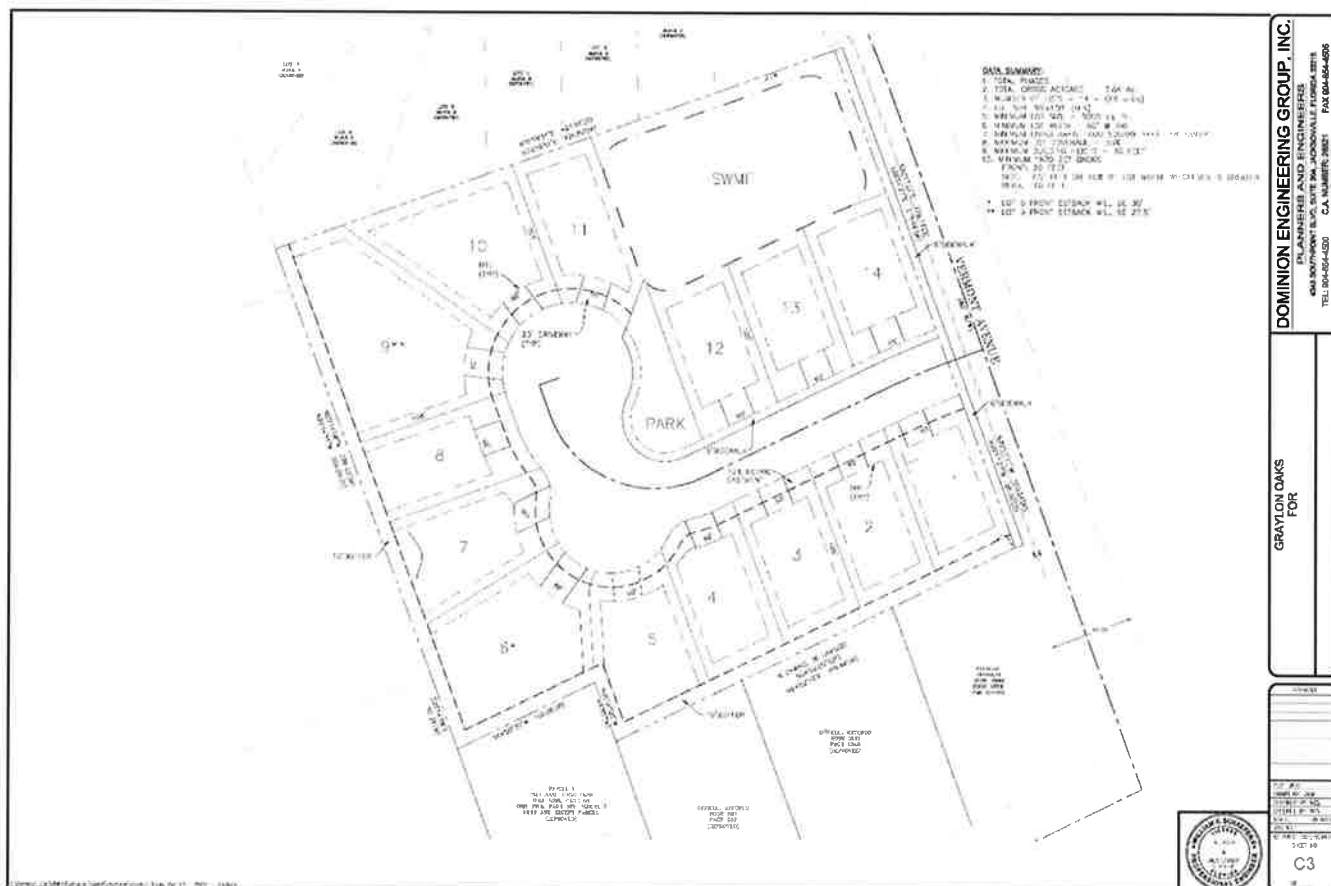


EXHIBIT “E” Elevations



ORDINANCE NO. O-06-2025

AN ORDINANCE AMENDING THE GRAYLON OAKS PLANNED UNIT DEVELOPMENT TO ALLOW FOR PROPOSED DUPLEXES TO BE SPLIT INTO TWO PARCELS PER LOT; AMENDING ATTACHMENT C TO REVISE THE MAXIMUM UNITS TO 28, REVISE THE MINIMUM LOT AREA (PER ATTACHED UNIT) TO 3000 SQUARE FEET, REVISE THE MINIMUM LOT (PER ATTACHED UNIT) WIDTH TO 30 FEET AND TO REVISE THE SIDE SETBACKS TO ALLOW FOR 0 FEET FOR INTERIOR LOTS WITH COMMON WALL LINES; PROVIDING FOR CONFLICTS, SEVERABILITY, AND SETTING AN EFFECTIVE DATE.

WHEREAS, the City Council (the "Council") of the City of Green Cove Springs, Florida (the "City") approved a planned unit development known as Graylon Oaks under Ordinance No. O-05-2020 on April 21, 2020; and

WHEREAS, the City has received a request to amend Exhibit C, to revise the maximum units to 28, revise the minimum lot area (per attached unit) to 3000 square feet, revise the minimum lot (per attached unit) width to 30 feet and to revise the side setbacks to allow for 0 feet for interior lots with common wall lines; and

WHEREAS, the PUD approved for the Rookery in O-05-2020 will be replaced by this ordinance; and

WHEREAS, the City has the authority pursuant to its home rule and other statutory powers to rezone properties within the City; and

WHEREAS, a duly advertised public hearing was conducted on the proposed amendment on April 22, 2025 by the Planning and Zoning Board, sitting as the Local Planning Agency ("LPA") and the LPA reviewed and considered comments received during the public hearing concerning the application and made its recommendation for approval to the City Council; and

WHEREAS, the City Council considered the recommendations of the LPA at duly advertised quasi-judicial public hearings on May 6, 2025 and May 20, 2025 and provided for and received public participation; and

WHEREAS, the City Council has determined and found said application for the amendment to be consistent with the City of Green Cove Springs Comprehensive Plan and Land Development Regulations; and,

WHEREAS, for reasons set forth in this Ordinance that is hereby adopted and incorporated as findings of fact, that the Green Cove Springs City Council finds and declares that the enactment of this amendment is in the furtherance of the public health, safety, morals, order, comfort, convenience, appearance, prosperity, or general welfare.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, AS FOLLOWS:

SECTION 1. Recitals. The above recitals are true and correct and are hereby incorporated herein by reference.

SECTION 2. Graylon Oaks PUD Amended. The Graylon Oaks PUD, for the real property described in Exhibit “A” hereto, is hereby revised.

SECTION 4. That Exhibit “C” regarding the PUD Written Description, is hereby revised and replaced.

SECTION 5. ORDINANCE TO BE CONSTRUED LIBERALLY. This ordinance shall be liberally construed in order to effectively carry out the purposes hereof which are deemed to be in the best interest of the public health, safety and welfare of the citizens and residents of Green Cove Springs, Florida.

SECTION 6. REPEALING CLAUSE. All ordinance or parts of ordinances in conflict herewith are, to the extent of the conflict, hereby repealed.

SECTION 5. SEVERABILITY. It is the declared intent of the City Council of the City of Green Cove Springs that, if any section, sentence, clause, phrase, or provision of this ordinance is for any reason held or declared to be unconstitutional, void, or inoperative by any court or agency of competent jurisdiction, such holding of invalidity or unconstitutionality shall not affect the remaining provisions of this ordinance, and the remainder of the ordinance after the exclusions of such part or parts shall be deemed to be valid.

SECTION 7. EFFECTIVE DATE. Upon its adoption by the City Council, this ordinance shall become effective immediately.

**INTRODUCED AND APPROVED AS TO FORM ONLY ON THE FIRST
READING BY THE CITY COUNCIL OF THE CITY OF GREEN COVE
SPRINGS, FLORIDA, IN REGULAR SESSION THIS 6TH DAY OF MAY 2025.**

CITY OF GREEN COVE SPRINGS, FLORIDA

Steven R. Kelley, Mayor

ATTEST:

Erin West, City Clerk

APPROVED AS TO FORM ONLY:

L. J. Arnold, III, City Attorney

**PASSED ON SECOND AND FINAL READING BY THE CITY COUNCIL OF
THE CITY OF GREEN COVE SPRINGS, FLORIDA, IN REGULAR SESSION
THIS 20TH DAY OF MAY 2025.**

CITY OF GREEN COVE SPRINGS, FLORIDA

Steven R. Kelley, Mayor

ATTEST:

Erin West, City Clerk

APPROVED AS TO FORM ONLY:

L. J. Arnold, III, City Attorney

EXHIBIT "A"

LEGAL DESCRIPTION

LEGAL DESCRIPTION AS SHOWN ON OFFICIAL RECORD BOOK 2815
PAGE 524

A PARCEL OF LAND SITUATED IN LOT "C", BLOCK 102, PALMER AND
FERRIS TRACT, GREEN COVE SPRINGS, CLAY COUNTY, FLORIDA,
ACCORDING TO PLAT

THEREOF RECORDED IN PLAT BOOK 1, PAGE 44 OF THE PUBLIC
RECORDS OF CLAY COUNTY, FLORIDA, SAID PARCEL BEING MORE
PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF LOT 1, ST. JOHNS MOBILE
HOME VILLAGE, ACCORDING TO PLAT THEREOF RECORDED IN PLAT
BOOK 7, PAGE 32 OF SAID PUBLIC RECORDS; THENCE ON THE WEST
LINE OF VERMONT STREET RUN SOUTH 20 DEGREES 17 MINUTES 22
SECONDS EAST. 278.73 FEET TO THE SOUTH LINE OF SAID LOT "C";
THENCE ON SAID SOUTH LINE, SOUTH 64 DEGREE 00 MINUTES 00
SECONDS WEST, 429.41 FEET TO THE WEST LINE OF SAID LOT "C";
THENCE ON SAID WEST LINE, NORTH 20 DEGREE 14 MINUTES 51
SECONDS WEST 326.09 FEET TO THE: SOUTH LINE OF SAID ST. JOHNS
MOBILE HOME VILLAGE; THENCE ON SAID SOUTH LINE. NORTH 70
DEGREES 19 MINUTES 51 SECONDS EAST, 427.07 FEET TO THE POINT OF
BEGINNING.

LEGAL DESCRIPTION AS SHOWN ON OFFICIAL RECORD BOOK 2815
PAGE 522

BEGINNING AT THE SE CORNER OF HENRY LENDERS LAND THENCE
RUNNING

EASTERLY SIX CHAINS AND THIRTY-SIX LINKS PARALLEL WITH
CYLDEVUE AVENUE TO VERMONT AVENUE, THENCE ALONG THE
WEST SIDE OF VERMONT AVENUE NORTHERLY NINETY-SIX FEET,
THENCE WESTERLY SIX CHAINS AND THIRTY-SIX LINKS TO H.
LENDERS

EAST LINE, THENCE SOUTHERLY ALONG LENDERS EAST LINE ONE
HUNDRED FEET TO THE PLACE OF BEGINNING; CONTAINING ONE ACRE
MORE OR LESS, THE SAME BEING A PORTION OF A CERTAIN FOUR
ACRE LOT CONVEYED BY WM. THOMPSON CO MRS. M.E. BEMIS BY
DEED DATED DECEMBER 21ST, 1883, RECORDED IN BOOK "L" PAGES 605
& 606 OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA.

LESS AND EXCEPT OFFICIAL RECORDS BOOK 3331, PAGE 1520 PARCEL 1
A PARCEL OF LAND SITUATED IN LOT "A" AND LOT "B", BLOCK 102,
PALMER AND

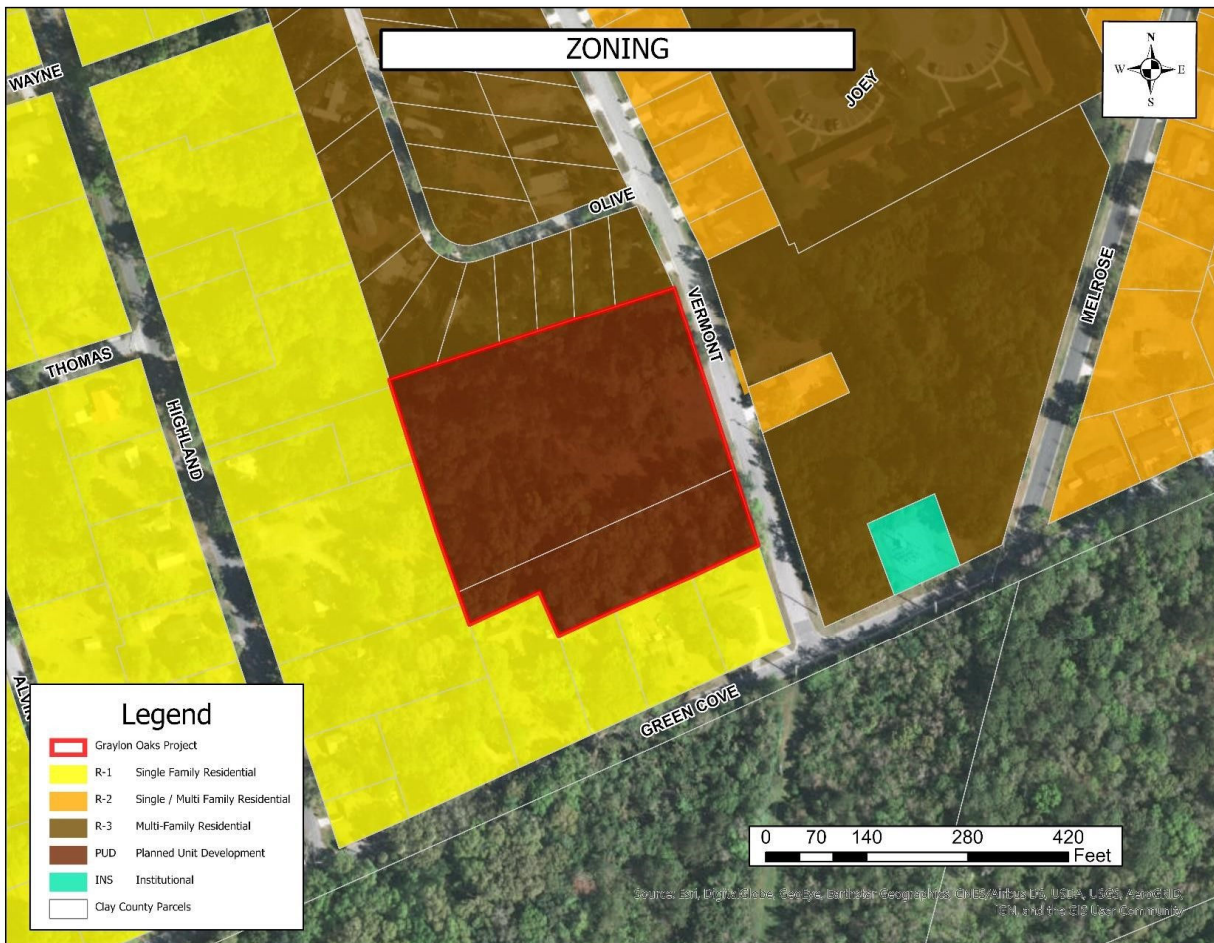
FERRIS TRACT, IN THE TOWN OF GREEN COVE SPRINGS, CLAY
COUNTY, FLORIDA, ACCORDING TO PLAT THEREOF RECORDED IN
PLAT BOOK 2, PAGE 1 OF THE PUBLIC RECORDS OF SAID COUNTY, SAID
PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT "A", BLOCK 102,
PALMER AND FERRIS TRACT IN THE TOWN OF GREEN COVE SPRINGS,

AND RUN NORTH 64 DEGREES 00 MINUTES 00 SECONDS EAST, ALONG THE SOUTH LINE OF LOT "A", WHICH IS ALSO THE SOUTH LINE OF THE TOWN OF GREEN COVE SPRINGS, FOR A DISTANCE OF 79.83 FEET TO THE POINT OF BEGINNING: THENCE CONTINUE ON LAST SAID LINE NORTH 64 DEGREES 00 MINUTES 00 SECONDS EAST, 30.17 FEET; THENCE NORTH 20 DEGREES 00 MINUTES 00 SECONDS WEST, 211.16 FEET; THENCE SOUTH 64 DEGREES 00 MINUTES 00 SECONDS WEST, 110. 21 FEET TO THE WEST LINE OF SAID LOT "B"; THENCE ON LAST SAID LINE, AND ON THE WEST LINE OF SAID LOT "A", SOUTH 20 DEGREES 00 MINUTES 00 SECONDS EAST, 100.55 FEET; THENCE NORTH 64 DEGREES 00 MINUTES 00 SECONDS EAST, 79.83 FEET; THENCE SOUTH 20 DEGREES 00 MINUTES 00 SECONDS EAST, 110.61 FEET TO THE POINT OF BEGINNING.

CONTAINING 3.8 ACRES, MORE OR LESS.

SAID LANDS SITUATED, LYING AND BEING IN CLAY COUNTY, FLORIDA.
EXHIBIT "B"

EXHIBIT "B" ZONING



**EXHIBIT “C”
PUD WRITTEN DESCRIPTION**

CITY OF GREEN COVE SPRINGS
GRAYLON OAKS
PUD WRITTEN DESCRIPTION

TYPE OF DEVELOPMENT: TWO- FAMILY RESIDENTIAL

PROPERTY CHARACTERISTICS

Vegetation, Soils, & Drainage:

Vegetation on the site consists of large oak trees, laurel oaks, cabbage palms, saw palmetto bushes and pine. There are no wetlands onsite. Site has sandy soils throughout with site sloping from west to east to Vermont St. Site has a topography of 51' to the west and dropping to 39' to the east fronting Vermont St.

Utilities:

Central water and wastewater service will be provided by the City of Green Cove Springs; electric service will be provided by the City of Green Cove Springs and installed underground.

ACREAGE SUMMARY

Total Property	3.8 Acres
Wetlands	0 Acres

DEVELOPABLE	3.8 Acres
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MAXIMUM UNITS

Maximum units	2830 units
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Proposed development

Residential Single Family & Two- Family Development

The property is consistent with the land use and zoning of the surrounding areas. The character of the proposed development is consistent with those of adjacent multi-family residential developments on Vermont Ave and abutting State Road 16. The parcels directly adjacent to the east and north currently have high-density land use and R-3 zoning. In addition, the subject property is consistent with other similar properties in the surrounding areas of the city and is in conformity with local land use plans and zoning ordinances. The subject property will also create a much-needed affordable housing neighborhood that will have a great economic and fiscal benefit to the area and the community. The affordable

CITY OF GREEN COVE SPRINGS
GRAYLON OAKS
PUD WRITTEN DESCRIPTION

housing community can be achievable by allowing a higher density similar to that of the adjacent properties.

Access

Access is provided from Vermont Ave. The subdivision will not be gated and roads within the development will be turned over to the city and would meet city requirements.

Proposed Density Standards

Residential- Single Family Dwelling

Minimum Lot Area	5000SF
Minimum Lot Width	50 Feet
Minimum Lot Depth	100 Feet
Minimum Living Area	1200 SF
Maximum Lot Coverage	40%

Residential- Two Family Dwelling

Minimum Lot Area <u>(Per attached unit)</u>	6000 3000 SF
Minimum Lot Width <u>(Per attached unit)</u>	60 30 feet
Minimum Lot Depth	100 feet
Minimum required living area	1000 SF
Maximum Lot Coverage	40%

Yard Requirements – Primary Structures*

Front Porch	15 feet
Front Façade	20 feet
Side	<u>7.5 feet from property lines, 0 feet for interior lots with common wall lines, minimum of 15 feet of separation between buildings. 7.5 feet; combined 15 feet</u>
Rear	10 feet
Max Building Height- Primary Structures	35 Feet

CITY OF GREEN COVE SPRINGS
GRAYLON OAKS
PUD WRITTEN DESCRIPTION

Permitted Uses

- Single Family detached residential dwelling units
- Two family residential dwelling units
- Home occupations (pursuant to City Code Requirements).

Ingress, Egress and Circulation

- a. Minimum of 2 parking spaces per dwelling unit (4 per duplex). One parking space will be in driveway and one will be in the attached garage.
- b. The dimension of each driveway must be 10' x 20'.
- c. Each unit must include an attached garage at least 10' x 20'.
- d. There will be a 6' sidewalk along proposed street and along Vermont Avenue.

Landscaping

Landscaping per Section 113-244 of the Land Development Regulations

- a. Landscape requirements for each two-family dwelling (duplex) shall be as follows:
 1. At least one canopy tree, 2.5 inches DBH, shall be located in the required front yard of each dwelling unit. Each duplex will have two canopy trees.
- b. Perimeter Landscaping shall be as follows:
 1. Provide additional perimeter landscaping along Vermont Avenue with one new shade tree per 50' of road frontage subject to the requirements of Sec. 113-244(d)(3) and installation and maintenance requirements set forth in Section 113-247(b).
 2. A minimum of 4 understory/subcanopy trees shall be planted around the intersection of Vermont and the proposed new roadway.
 3. Provide the following buffer to the south and west of the property:

A. Single-Family development:

- Provide a 10' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth on Sec. 113-247(b). Or
- Provide an opaque privacy fence, 6' in height and a landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence, subject to the buffer and landscape design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

CITY OF GREEN COVE SPRINGS
GRAYLON OAKS
PUD WRITTEN DESCRIPTION

B) Two-Family Development:

- Provide a 20' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to the properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth in Sec. 113-247(b). Or
- Provide an Opaque privacy fence, 6' in height and an landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence, subject to the buffer and landscape design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

Tree Survey

- a. A tree survey measuring trees 12" or greater shall be required as part of the subdivision review. Tree removal mitigation will be required as stipulated in City Code Section 113-279

Tree Preservation

1. Trees to be preserved onsite:
 - a. Live Oak Trees
 - b. The rear 20' along the south and west property lines shall be kept in a natural condition with all canopy/shade trees preserved
 - c. Viable shade/canopy trees within 15' of Vermont Avenue shall be preserved.
2. Tree protections requirements shall comply with Section 113-248, and in addition: an ISA certified arborist or equivalent horticulture professional shall be hired to evaluate trees to be saved, ensure adequate root area is provided and grade changes are not altered within critical root area, prescribe treatments to preserve the trees and oversee tree protection during the construction process. Trees or branches of trees that are adjacent to or hanging over into adjacent neighboring properties shall be evaluated for the safety by the certified arborist and removed or appropriately pruned or other measures as required by the certified arborist.

Miscellaneous

Development requirements not specifically mentioned shall be consistent with all requirements for the City of Green Cove Springs R-2 Zoning district and all other applicable Land Development Code Requirements

Development Plan

The project will be developed in a single phase. The required right of way buffers shall be constructed by the developer and completed prior to the issuance of a certificate of

CITY OF GREEN COVE SPRINGS

GRAYLON OAKS

PUD WRITTEN DESCRIPTION

Item # 3.

occupancy for any residential dwelling not constructed as a model unit within the subdivision.

All common areas and stormwater management facilities /drainage areas shall be maintained by a legally established Homeowner's or Property Owner's Association. All finalized legal documents demonstrating the creation of the HOA or POA and its responsibilities must be submitted with the Final Plat submittal for the Graylon Oaks PUD.

Stormwater analysis shall be required with the subdivision application that demonstrates consistency with the City of Green Cove Springs and St Johns River Water Management District requirements.

Regulations regarding Guarantees and Sureties as stipulated in Chapter 101, Article II, Division 5 and Subdivision 5 shall be provided as part of the subdivision approval process.



STAFF REPORT

CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Planning and Zoning Board **MEETING DATE:** April 22, 2025
FROM: Gabriel Barro, Planning and Zoning
SUBJECT: Review of a Site Development Plan for the Preserve at Green Cove Springs, a Multi-Family Residential Complex

PROPERTY DESCRIPTION

APPLICANT: Eric Conkright, PC Acquisitions, LLC **OWNER:** JP Hall Jr Revocable Trust
 12/17/1993 Et Al
PROPERTY LOCATION: US Highway 17 & CR 209
PARCEL NUMBER: 016499-007-01
FILE NUMBER: SPL-25-001
CURRENT ZONING: PUD
FUTURE LAND USE DESIGNATION: Mixed Use

SURROUNDING LAND USE

NORTH: FLU: Industrial Z: Public Ownership (County) Use: Lodge	SOUTH: FLU: Mixed-Use Z: C-2 Use: Service Shop
EAST: FLU: Mixed-Use RP Z: M-2 Use: Manufacturing	WEST: FLU: Industrial Z: IB Heavy Industrial (County) Use: Manufacturing

BACKGROUND

The applicant has applied for Site Development approval for the subject property for the development of multiple apartment buildings.

The property was annexed by Green Cove Springs in June of 2022. The Future Land Use and Zoning designations were changed to Mixed-Use and PUD, respectively.

In July of 2022, Pegasus Technologies, Inc. and the property owner, Clay County Port, Inc, filed an appeal against the future land use and zoning changes, citing obstruction of air traffic and a lack of consistency with the city's comprehensive plan. In January of 2025, the Florida 5th District Court of Appeals found in favor of the City, affirming the Future Land Use and Zoning Amendments thus allowing the development project to proceed.

The project shall be subject to the PUD conceptual plan, written description and conditions approved by council with the approval of the PUD plan, ordinance O-13-2022:

1. The applicant shall be required to comply with tree preservation requirements set forth in Sec. 113-279. Due to the proposed amount of onsite development and potential grade changes, an ISA certified arborist or equivalent horticulture professional shall be hired to evaluate trees, ensure adequate root area is provided and grade changes are not altered within critical root area, prescribe treatments to preserve the trees and oversee tree protection during the construction process and ensure compliance set forth in City Code Sec. 113-248.
2. Traffic Study pursuant to the requirements set forth in the City's Traffic Impact Analysis Guidelines shall be approved concurrent with the approval of the site development plan.
3. Dumpster shall be screened with landscaping and concrete enclosure as required during the site plan submittal.
4. A disclosure notification shall be provided within the lease agreements for the multifamily units located on the property informing the tenants that the proposed development is located in close proximity to the runway for the Reynolds Airpark.

PROPERTY DESCRIPTION

The site consists of 13.92 acres along the eastern side of US 17 at the intersection of CR 209. It is close in proximity to Reynolds Airpark. As a result, the owner will be required to disclose that information to anyone interested in occupying one of the apartments.

DEVELOPMENT DESCRIPTION

The applicant is proposing the construction of an apartment complex. The site will consist of 7 apartment buildings consisting of 1, 2, and 3 bedroom apartments (260 units), a parking lot, an amenity center, and a drainage retention pond. The site will have two ingress/egress points, one on CR 209, and another on US 17. The amenity center will include a swimming pool for residents of the apartment complex. The parking lot is designed as a loop around the center of the site. An outdoor recreation will be included within the center of the parking area.

Dwelling Units	Number of Units	Spaces per Unit	Total
Studio	20	1.0	20
1 Bedroom	84	1.0	84
2 Bedrooms	122	2.0	244
3 Bedrooms	34	2.0	68
Garage Enclosures			30
Employees & Guests			11
Total	260		457
Parking Ratio			1.75

PARKING, LOADING, & STACKING

The plan shows 437 parking spaces, 20 of which are ADA. The site also includes 30 garage parking spaces.

DRAINAGE RETENTION

The drainage plan shows a retention pond consisting of 61,319 square feet.

TRAFFIC AND ACCESS

The site will include an ingress/egress point on CR 209 and another on US 17. The access point on US 17 is a right-in/right-out only.

UTILITY CONNECTIONS & SOLID WASTE

The project site is within the City's water and electric district.

LANDSCAPE PLAN

A landscape plan has been submitted. The plan shows a combination of existing trees and trees to be planted along the entire perimeter of the project site. An area within the center of the site is to remain untouched and utilized as a park/recreation area. Every parking island contains one shade tree as required by the City's parking landscape standards. The tree preservation plan is showing a deficit of trees being removed on the site, trees removed in excess of the City's tree preservation requirement shall be mitigated for through payment to the City tree bank.

PUBLIC FACILITIES IMPACT

Land Use ¹ (ITE)	Square Footage/Dwelling Units	Daily		AM Peak		PM Peak	
		Rate	Trips	Rate	Trips	Rate	Trips
Apartment	260	6.41	1,742	0.31	103	0.43	132

1. Source: Institute of Transportation Engineers: Trip Generation Manual 9th Edition

Traffic Study Area

Roadway	Segment	Agency	Speed Limit	Adopted LOS	Adopted LOS Peak Hour MSV	Length (Miles)	Lanes	Facility Type	Area Type	Source	2019 ADT Collected	Year 2019 Peak Hour Traffic Volumes	Growth Rate	Year 2022 Peak Hour Traffic Volumes	Existing Conditions V/C Ratio	Existing Conditions LOS
US 17	Green Cove Springs to SR 16 West	FDOT	35	D	2,920	1.26	4 - DIV	Prin. Arterial	Urban	FDOT	24,000	2,160	4.07%	2,435	83.39%	D
US 17	SR 16 West to SR 16 East	FDOT	55	D	3,580	0.63	4 - DIV	Prin. Arterial	Urban	FDOT	21,500	1,935	3.93%	2,172	60.67%	D
US 17	SR 16 East to CR 209	FDOT	55	D	3,580	1.61	4 - DIV	Prin. Arterial	Transition	FDOT	14,100	1,269	5.37%	1,485	41.48%	C
US 17	CR 209 to CR 226	FDOT	55	D	3,580	3.18	4 - DIV	Prin. Arterial	Transition	FDOT	10,900	981	1.14%	1,015	28.35%	C
US 17	CR 226 to Putnam County Line	FDOT	60	B	4,460	10.20	4 - DIV	Highway	Rural	FDOT	12,803	1,152	6.01%	1,372	30.76%	C
SR 16	Oak Ridge Avenue to US 17	FDOT	35	D	2,774	1.12	4-Un Div	Major Arterial	Urban	FDOT	11,500	1,035	4.13%	1,169	42.14%	C
SR 16	US 17 to Slow Tide Road	FDOT	45	E	3,070	1.26	4 - Div	Highway	Transition	FDOT	19,694	1,772	5.92%	2,106	68.60%	D
Oak Ridge Avenue	SR 16 to Green Cove Avenue	GCS	35	D	1,161	0.59	2	Minor Collector	Urban	FDOT	2,200	198	5.26%	231	19.90%	C
Oak Ridge Avenue	Green Cove Avenue to US 17	GCS	35	D	1,161	3.1	2	Minor Collector	Urban	FDOT	2,200	198	5.26%	231	19.90%	C
Green Cove Avenue	US 17 to Oak Ridge Avenue	GCS	25	D	1,161	1.14	2	Local Road	Urban	FDOT	1,600	144	3.85%	161	13.87%	C
First Coast Expressway	SR 16 to US 17	FDOT	65	D	6,700	6.45	4 - DIV	Freeway	Urban	FDOT	-	-	2.00%	-	0.00%	C
CR 209	East of US 17	Clay County	55	D	2,110	1.69	2	Highway	Rural	All Traffic Data	-	-	0.00%	174	8.25%	C

Roadway	Segment	Agency	Speed Limit	Adopted LOS	Adopted LOS Peak Hour MSV	Growth Rate	Year 2022 Peak Hour Traffic Volumes	Existing Conditions V/C Ratio	Year 2027 Background Peak Hour Traffic Volumes	Year 2027 Background Peak Hour V/C Ratio	Year 2027 Background LOS	Residential Project Traffic Assignment	Project Traffic % of MSV	Roadway Segment Impacted	Year 2027 Build-Out Peak Hour Traffic Volumes	Year 2027 Build-Out Traffic % of MSV	Roadway Segment Adversely Impacted	Year 2027 Build-Out LOS
US 17	Green Cove Springs to SR 16 West	FDOT	35	D	2,920	4.07%	2,435	83.39%	2,973	101.82%	F	32	1.10%	No	3,005	102.91%	No	F
US 17	SR 16 West to SR 16 East	FDOT	55	D	3,580	3.93%	2,172	60.67%	2,634	73.58%	D	45	1.26%	No	2,679	74.83%	No	D
US 17	SR 16 East to CR 209	FDOT	55	D	3,580	5.37%	1,485	41.48%	1,929	53.88%	D	88	2.46%	No	2,017	56.34%	No	D
US 17	CR 209 to CR 226	FDOT	55	D	3,580	2.00%	1,015	28.35%	1,121	31.31%	C	41	1.15%	No	1,162	32.46%	No	C
US 17	CR 226 to Putnam County Line	FDOT	60	B	4,460	6.01%	1,372	30.76%	1,837	41.19%	C	9	0.20%	No	1,846	41.39%	No	C
SR 16	Oak Ridge Avenue to US 17	FDOT	35	D	2,774	4.13%	1,169	42.14%	1,431	51.59%	D	11	0.40%	No	1,442	51.98%	No	D
SR 16	US 17 to Slow Tide Road	FDOT	45	E	3,070	5.92%	2,106	68.60%	2,808	91.47%	D	44	1.45%	No	2,852	92.90%	No	D
Oak Ridge Avenue	SR 16 to Green Cove Avenue	GCS	35	D	1,161	5.26%	231	19.90%	298	25.67%	C	2	0.17%	No	300	25.84%	No	C
Oak Ridge Avenue	Green Cove Avenue to US 17	GCS	35	D	1,161	5.26%	231	19.90%	298	25.67%	C	2	0.17%	No	300	25.84%	No	C
Green Cove Avenue	US 17 to Oak Ridge Avenue	GCS	25	D	1,161	3.85%	161	13.87%	194	16.71%	C	-	0.00%	No	194	16.71%	No	C
First Coast Expressway	SR 16 to US 17	FDOT	65	D	6,700	2.00%	-	0.00%	-	0.00%	C	31	0.46%	No	31	0.46%	No	C
CR 209	East of US 17	Clay County	55	D	2,110	2.00%	174	8.25%	192	9.10%	C	3	0.14%	No	195	9.24%	No	C

Note: A minimum of 2.0% Growth Rate was applied to US 17, First Coast Expressway and CR 209

Conclusion: The daily generated trips were calculated in a Traffic Impact Study provided by the applicant in 2022. The traffic study was approved by FDOT as part of the driveway permit on US 17. The traffic study is showing 66% of the traffic heading north on US 17, 31% heading south on US 17 and 2% heading south on CR 209. Pursuant to the mobility fee schedule the applicant shall be required to pay at time of electrical equipment check.

Potable Water Impacts

Commercial

System Category	Gallons Per Day (GPD)
Current Permitted Capacity ¹	4,200,000
Less actual Potable Water Flows ¹	1,013,000
Residual Capacity ¹	3,187,000
Projected Potable Water Demand from Proposed Project ²	11,066.33
Residual Capacity after Proposed Project	3,175,933.67

1. Source: City of Green Cove Springs Public Works Department

2. Source: City of Green Cove Springs Comprehensive Plan. Formula Used: .11 x sq ft (based on historical data)

Conclusion: The impact was calculated based on proposed residential use. As shown in the table above, there is adequate capacity for this use. The City has existing water lines installed at this location

Sanitary Sewer Impacts – South Plant WWTP

Commercial

System Category	Gallons Per Day (GPD)
Current Permitted Capacity ¹	350,000
Current Loading ¹	270,000
Committed Loading ¹	330,000
Projected Sewer Demand from Proposed Project ²	11,066.33
Residual Capacity after Proposed Project	318,933.67

1. Source: City of Green Cove Springs Public Works Department

2. Source: City of Green Cove Springs Comprehensive Plan. Formula Used: .11 x sq ft (based on historical data)

Conclusion: The impact was calculated based on the proposed residential use. The project site is served by the South Wastewater Treatment Plant (WWTP). There is adequate capacity for this use. The city has existing sewage lines in place.

Solid Waste Impacts

Commercial

System Category	LBs Per Day / Tons per Year
Solid Waste Generated by Proposed Project ¹	None
Solid Waste Facility Capacity ²	Minimum 3 Years Capacity

1. Source: City of Green Cove Springs does not provide commercial sanitation services, prospective sanitation collection franchisees shall comply with City Code Section 66-10.

Solid Waste Impacts

The City of Green Cove Springs' solid waste is disposed of at the Rosemary Hill Solid Waste Management Facility operated by Clay County. Per the Clay County Comprehensive Plan, a minimum of three (3) years capacity shall be maintained at the County's solid waste management facility. For commercial developments, the City does not provide Curbside Service; commercial locations must instead contract with an approved franchisee for containerized collection.

Public School Facilities Impact

Land Use	Units	Elem.		Middle		High	
(ITE)		Rate ¹	Total	Rate ¹	Total	Rate ¹	Total
Proposed							
Condo/TH (ITE 230)	260	0.0314	8.164	0.0095	2.47	0.0197	5.122
Net Generation	-	-	8	-	3	-	5

1. Source: School District of Clay County, Educational Facilities Plan, FY 2018/19-2022/23, based on multifamily

Conclusion: The applicant had reserved capacity until April 2022 but because the project did not move forward the applicant has resubmitted their school concurrency application.

MULTI FAMILY RESIDENCE	
Impact Fees	
Must be paid at Building Permit Issuance	
Electric	TBD
Water	\$260,000 (\$1,000 per ERU)
Sewer	\$520,000 (\$2,000 per ERU)
To be paid BEFORE equipment check	
County Parks	\$235,000 (\$905 per unit)
County Fire	\$244,920 (\$942 per unit)
County Jails	\$107,640 (\$414 per unit)
County Library	\$67,860 (\$261 per unit)
Transportation Mobility	\$184,800 (\$3080 per unit)
Transportation Mobility	\$415,000 (\$2075 per unit)
School	\$841,360 (\$3236 per unit)

Project Attachments:

- Construction Plans
- Landscape and Tree Preservation Plans
- PUD Written Description
- PUD Concept Plan
- Extracted portion of Traffic Study
- Fire Truck Turn Analysis
- Compactor Details
- Application

STAFF RECOMMENDATION

Staff is recommending approval of the Preserve Site Plan subject to addressing outstanding staff comments provided in the attached deficiency report

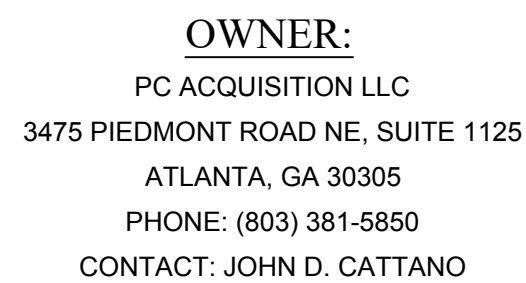
Recommended motion:

Motion to recommend to City Council the approval of the Preserve Site Plan subject to addressing the outstanding staff comments.

A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS CONTRACTORS TO THE OWNER:

MATTHEWS DESIGN GROUP, LLC AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.

Know what's below.
Call before you dig.



PREPARED BY:
Matthews | DCCM
P.O. BOX 3126, 7 WALDO STREET
ST. AUGUSTINE, FL 32084
PHONE: 904.826.1334
mdg.info@dccm.com

RESOURCE LIST		
<u>CITY OF GREEN COVE SPRINGS</u>	<u>FDOT</u>	<u>SJRWMD - PALATKA HEADQUARTERS</u>
321 WALNUT STREET	3600 DOT ROAD	PO BOX 1429
GREEN COVE SPRINGS, FL 32043	ST. AUGUSTINE, FL 32084	PALATKA, FL 32178
(904) 297-7500	(904) 825-5026	(386) 329-4500
<u>FDEP - WATER & SEWER</u>		
8800 BAYMEADOWS WAY, SUITE 100		
JACKSONVILLE, FL 32256		
(904) 256-1700		

PERMITS / APPROVALS	PERMIT NO.	SUBMITTED	RECEIVED
CITY OF GREEN COVE SPRINGS			
CLAY COUNTY UTILITY AUTHORITY			
ST. JOHNS RIVER WATER MANAGEMENT DISTRICT			
FDEP - WATER			
FDEP - SEWER			
FDOT			

THIS SITE IS SHOWN IN FLOOD ZONE "X" AS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12109C0257H, FOR CITY OF GREEN COVE SPRINGS, FLORIDA, EFFECTIVE DECEMBER 7, 2018.

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OUTLINE SPECIFICATIONS FOR CONSTRUCTION OF SEWAGE COLLECTION SYSTEM

01. INTENTION. It is the declared and acknowledged intention to secure a new sewerage system, complete, in accordance with the plans, specifications, and contract documents. All new work shall be in accordance with the City of Green Cove Springs Specifications Manual and C.G.C.S.'s Approved Materials Manual and C.G.C.S. Public Works Department Details and Specifications and any other Government Regulatory Agency. All work shall conform to the above whether or not specifically called out or noted on the plans.

02. GENERAL. All materials shall be of those listed in the C.G.C.S. Approved Materials Manual. Installation shall be warranted by the Contractor as to materials, workmanship and accuracy of the As-built drawings for a period of two years from the date of completion of the work or beneficial use of the facilities. Workmanship shall be of good quality; i.e., sewers shall be laid true to line and grade, fittings shall be properly installed and restrained, trenches shall be properly excavated and backfilled, manholes shall be installed at locations and to elevations shown on the plans.

02.1. CONTRACTOR LICENSE AND APPROVAL. Utility reserves the right to approve or deny approval of contractor prior to construction of any on-site or off-site utility facilities. Contractor must hold a State Of Florida Under Ground Utility Contractors license, that named contracting company being the one doing the work on project, and demonstrate acceptable experience in the field of utility construction.

03. SURVEYS. The Utility Contractor shall provide all surveys necessary for the layout and construction of the work of his contract.

04. EARTHWORK. Earthwork shall include all excavation, fill and backfill (hand/machine), compaction and rough grading of materials encountered. No unsuitable materials like, muck, or peat, removed from pipe trenches are to be used for backfill. All fill or backfill shall be either sand or sandy clay, free of roots, trash or other debris. All backfill alongside of and to a height twenty-four inches above all pipe shall be free of clay or organic material. The first of which shall be to the spring line of the pipe by either hand or machine operation carefully to 98%. All other backfill shall be compacted by either hand or machine operation carefully to 95% (outside of paving), 98% (under paving) of its optimum moisture content as determined by ASTM D698, latest. Copies of compaction density test reports from a licensed testing agency shall be made available to C.G.C.S. if requested.

05. MANHOLES. Manhole bases, sections and cones shall conform to the requirements of ASTM C478, Specifications for Precast Reinforced Concrete Manhole Sections. Cement shall meet the requirements of ASTM C150, Specifications for Portland Cement, Type II. Concrete shall meet the minimum requirements for Class "A" Concrete Work. Minimum wall thickness shall be 1/12 the inside diameter in inches plus one (1) inch. Bases for manholes shall be cast integrally with the concrete manhole. Cast in place Rubber gasket, or RAMM, preformed plastic gaskets; they shall be exactly parallel with a 2 degree slope and nominal 1/16 inch clearance with the tongue equipped with a proper recess for the installation of an O-ring rubber gasket, conforming to ASTM C443, joints for circular concrete pipe. Cast in place PVC water pipe shall be installed with maximum angle of 45 degrees (see Standard Sewer System Cleanout detail) utilizing the proper fittings for the type of pipe specified.

05.1. CAST IRON MANHOLE FRAMES AND COVERS. Cast iron manhole frames and covers shall be as detailed on drawings. Castings shall meet the requirements of ASTM A48, Specifications for Gray Iron Castings, Class No. 30, or Grade 65-45-12, Ductile Iron meeting the requirements of ASTM A536, Standard Specification for Ductile Iron Castings. In either case, manhole frame and cover shall be

designed to withstand on HS20-44 loading defined in the AASHTO Specifications. Frames and covers shall be machined or ground at touching surfaces so as to seat firmly and prevent rocking.

05.2. FLEXIBLE MANHOLE CONNECTOR. All connections between sewer pipe and pre-cast concrete manholes shall be accomplished by a Flexible Connector, "Kor-N-Seal", as manufactured by National Pollution Control Systems, Inc., or approved equal.

05.3. FLOW CHANNELS. Flow channels in manhole base shall be formed of D.O.T. Class I, Type II cement grout with brick or rubble and trowel to a smooth surface finish. Grout surface shall be 1" min. thickness over brick or rubble. While the manholes are under construction, cut off pipes at inside face of the manhole and construct the invert to the shape and sizes of pipe indicated. All inverts shall provide a constant gradient from influent pipe to effluent pipe through manhole. Changes in direction of the sewer and entering branch or branches shall be laid out in smooth curves of the longest possible radius which is tangent to the center lines of adjoining pipelines.

05.4. DROP INLETS. Where shown on the drawings, drop inlets to the manholes shall be constructed as shown on the drawings and specified herein.

06. POLYVINYL CHLORIDE PIPE. Polyvinyl Chloride Sewer Pipe shall conform to the requirements of ASTM D-3034, SDR 26. The PVC compound conforming to ASTM D-1784. Pipe shall be clearly marked marked in 5 Ft. intervals or less, indicating manufacturers name, nominal size, cell classification and legend. Joints shall be push-on rubber gasketed, conforming to ASTM D-3034. All sanitary service laterals shall be installed in accordance with recommended practice ASTM D-2321. Maximum depth of gravity sewer without prior approval shall be 15 feet. Sewers over 15' in depth shall be DR-18 P.V.C. pipe and shall have C.G.C.S. approval prior to design or installation of said sewer.

07. PIPE BETWEEN MANHOLES. All piping installed between manholes shall be the same material and class. No dissimilar pipe material will be allowed anywhere within a single run of pipe.

08. SANITARY SERVICE LATERALS. Sanitary service laterals shall be Polyvinyl Chloride Pipe conforming to the requirements of ASTM D-3034, SDR 26 where cover over top of pipe is 36 inches or greater. Where cover over top of pipe is less than 36 inches, specific construction conditions shall be directed by the City of Green Cove Springs. All sanitary service laterals shall be a minimum of 4'-0" deep at the right-of-way line to top of pipe. Any sanitary service lateral which must be more than 5'-0" deep shall not be installed prior to obtaining permission from the C.G.C.S. field inspector. The C.G.C.S. Public Works Department shall be notified of the lateral to be 6-inch diameter from the main to the right-of-way line with a minimum slope of 0.60X (0.6 feet per hundred feet). In single family residential developments, services shall reduce to 4" in size and terminated at the property line with a 90 degree elbow. A PVC water pipe shall be installed with maximum angle of 45 degrees (see Standard Sewer System Cleanout detail) utilizing the proper fittings for the type of pipe specified.

09. FORCE MAINS. Force mains shall be C900 DR-18 PVC and conform to the requirements of ASTM D-1784, D-2241, D-3139 and F-477. Pipe shall be color coded and marked "FORCE MAIN" on at least two sides and every 12' along the barrel of the pipe. Ductile Iron pipe for force main service shall be polylined. Ductile Iron pipe is not to be used without prior approval of the Clay County Utility Authority. Fittings shall be C110 gray iron and shall be polylined. Force mains less than 3" shall be SCH-80 PVC. All force mains shall be installed with tracer wire per C.G.C.S. standard location wire details.

09.1. LIFT STATION VALVES. Plug valves shall be Dezurik, Clow or M&H, with full port opening. Check valves shall be M&H, Mueller or American Darling.

09.2. FORCE MAIN VALVE. Gate valve, resilient seated, same as specified in Water Distribution System Specifications Section 12 below. Except valve bodies shall be gray iron. Valve box shall have the word "SEWER" cast into the cover.

09.3. FORCE MAIN JOINT RESTRAINT. All fittings shall be properly and adequately restrained against lateral movement at all force main tees, crosses, valves and bends. Restrainors shall be Uni-Flange Series 1300, 1350 or approved equal installed per manufacturer's recommendations and C.G.C.S. standard details and specifications.

OUTLINE SPECIFICATIONS FOR CONSTRUCTION OF WATER DISTRIBUTION SYSTEM

01. INTENTION. It is the declared and acknowledged intention to secure a new water distribution system, complete, in accordance with the plans and specifications, and contract documents. All new work shall be in accordance with C.G.C.S. Specifications and Details and Approved Materials Manual and C.G.C.S. Public Works Department Details and Specifications and any other Government Regulatory Agency. All work shall conform to the above whether or not specifically called out or noted on the plans.

02.1. CONTRACTOR LICENSE AND APPROVAL. Utility reserves the right to approve or deny approval of contractor prior to construction of any on-site or off-site utility facilities. Contractor must hold a State Of Florida Under Ground Utility Contractors license, that named contracting company being the one doing the work on project, and demonstrate acceptable experience in the field of utility construction.

02. GENERAL. All materials shall be of those listed in the C.G.C.S. Approved Materials Manual. Materials shall be warranted by the Contractor as to materials, workmanship and accuracy of As-built drawings for a period of two years from the date of completion of the work or beneficial use of the facilities. Workmanship shall be of good quality; i.e., mains shall be laid in a uniform alignment, fittings shall be properly restrained, trenches shall be properly excavated and backfilled, manholes shall be installed with valve boxes shall be adjusted to finished grade. All water mains shall be installed with tracer wire per C.G.C.S. standard location wire details.

03. SURVEYS. The Utility Contractor shall provide all surveys necessary for the layout and construction of the work of his contract.

04. EARTHWORK. Earthwork shall include all excavation, fill and backfill (hand/machine), compaction and rough grading of materials encountered. No unsuitable materials like, muck, or peat, removed from pipe trenches are to be used for backfill. All fill or backfill shall be either sand or sandy clay, free of roots, trash or other debris. All backfill alongside of and to a height twenty-four inches above all pipe shall be free of clay or organic material, compacted by either hand or machine operation carefully to 98%. All other backfill shall be compacted by either hand or machine operation carefully to 95% (outside of paving), 98% (under paving) of its optimum moisture content as determined by ASTM D698, latest. Copies of compaction density test reports from a licensed testing agency shall be made available to C.G.C.S. if requested.

05. JOINT RESTRAINT. All fittings shall be properly and adequately restrained against lateral movement at all water main tees, crosses, valves bends and hydrants. Restrainors shall be Uni-Flange Series 1300, 1350, or approved equal installed per manufacturer's recommendations and C.G.C.S. Details and Specifications.

06. DUCTILE IRON PIPE. Ductile iron pipe shall conform to ANSI Specification A21.50 (AWWA C150) latest, "Thickness Design of Ductile Iron Pipe", Table 50.5, laying condition Type 2, internal operating pressure of 250 psi, for an 8'-foot depth of cover, Class 51 minimum and shall be ANSI A21.51 (AWWA C151), latest centrifugally cast pipe. Laying lengths shall each length clearly marked with pressure rating, thickness be 20 feet or less, class, height of pipe without lining, length, and manufacturer. Ductile iron pipe for water service shall be furnished with cement lining per AWWA C1110, C115 and C151. The pipe shall have design values of 60,000 P.S.I. minimum tensile strength, and 42,000 P.S.I. minimum yield strength. Ductile iron pipe for water service lines shall be used in any easement, right-of-way, between lots, and any instance where a building foundation or other permanent appearance is within 10' of the water main or a service line larger than 3".

07. DUCTILE IRON FITTINGS shall be C153 cement lined and suitable for the type and class of pipe to which connected. Gaskets shall be suitable for potable, domestic water service. Minimum working pressure shall be 150 P.S.I.

08. POLYVINYL CHLORIDE PIPE. Polyvinyl chloride pipe for water mains 4 inch in diameter and larger, shall be P.V.C. C900, DR-18, conforming to ASTM D-1784, D-2241, D-3139 and F-477, latest, and shall bear the seal of the National Sanitation Foundation. Pipe shall be color coded and marked on at least 2 sides with the word "WATER" and at every 12' along the barrel of the pipe. Couplings shall be rubber gasketed, push-on type conforming to ASTM D-2122. DR-18 shall be used for fire mains.

09.4. FORCE MAIN PIPE FLUSHING. All force main piping shall be flushed clean with water utilizing full pipe diameter flushing for all piping up to and including 8" diameter.

10. INSTALLATION. All sewer lines, manholes, and appurtenances shall be constructed to the dimensions and elevations indicated on the drawings. Trenches shall be excavated to a width approximately twelve inches greater than the outside diameter of the pipe. Machine excavation shall be to a depth one-fourth pipe diameter above proposed pipe grade; the remaining depth shall be hand excavated and shaped to give full support to the lower one-fourth of each pipe. Each smooth surface finish shall be 1" min. thickness over brick or rubble. While the manholes are under construction, cut off pipes at inside face of the manhole and construct the invert to the shape and sizes of pipe indicated. All inverts shall provide a constant gradient from influent pipe to effluent pipe through manhole. Changes in direction of the sewer and entering branch or branches shall be laid out in smooth curves of the longest possible radius which is tangent to the center lines of adjoining pipelines.

11. INSPECTIONS. Each section of the completed sewer system shall be inspected for proper alignment. Inspection shall consist of "tamping" from manhole to manhole. Any section of the sewer system which does not display true, concentric alignment shall be reinstated at no additional expense to the Owner. A written log of inspection shall be kept indicating location of test, potential problems in sewer, dips and depth of water, service locations, and other irregularities in the pipe lines. A video tape in VCR format shall be made of the television inspection and submitted to the Engineer and the City of GCS. Copies of compaction density test reports from a licensed testing agency shall be made available to City of GCS if requested.

11.1. Television inspection will be required on all new gravity sewers constructed. This service shall be provided by the Contractor as a part of this Contract. The new gravity sewers shall be televised the presence of the Inspector of the City of GCS. A full report as to the condition of pipe, type, depth, location of services, length, type, joint and distance between manholes, etc. shall be furnished to the City of GCS inspector prior to the final acceptance of the system. Any pipe found to be cracked, leaking or otherwise defective shall be removed and replaced with new pipe at no additional costs to the Owner. Deflection testing with 7.5% mandrel also required. Any section not passing the mandrel test shall be corrected. Sewer mains shall be televised after curb and lime rock are in place but prior to paving. Curb and limerock shall be installed, finish graded prior to televising the gravity sewer. Limerock priming and paving operations shall not take place until the City of GCS inspector has reviewed the television tape and approves the gravity sewer system. This will be strictly enforced. All gravity sewers must be flushed no sooner than 4 hours prior to any television inspection. Force main lines shall be pressure tested and approved prior to paving, but not prior to subgrade mixing operation and limerock installation, finish graded and compacted. Sewer services shall be viewed by a camera capable of viewing into service lateral connections. Adequate water must be placed within the upstream manhole to flow through the downstream manhole before inspecting with the camera. All work must be accomplished in the presence of the City of GCS inspector and a 48 hour notice must be provided. Contractor shall provide City of GCS with a 48 hr. notice of intent to televise and inspect sewer main. City of GCS inspector shall report to job site at the time specified by contractor at the time of the call-in. City of GCS inspectors will wait the job site no more than one hour for the televising to begin before leaving the job site. Contractor shall reschedule televising giving City of GCS 48 hrs. notice if the above occurs.

11.2. TEST, INFILTRATION: After completion, the sewers or sections thereof, shall be tested and gauged for infiltration. To check the amount of infiltration, the Contractor, at no added expense, shall remove the contract price for the sewer, shall furnish, and install and maintain a V-notch sharp crested weir in a wood frame on the main sewers as directed by the Engineer. Maximum allowable infiltration shall be 50 gallons per mile, per inch of dia. of sewer per 24 hour day at any time.

11.3. TEST, EXFILTRATION: In areas where ground water is not encountered in sewer construction, or it is desired to run exfiltration tests, the Contractor shall furnish and install all necessary materials, equipments, shall supply water, etc., and shall run exfiltration tests to determine acceptance of the sewer. The maximum allowable exfiltration shall be 50 gallons per mile per inch of diameter of sewer per 24 hour day at any time based on two foot minimum internal head.

period of at least two hours. During this period, all joints shall be inspected to determine water tightness of the system. Any leaks detected shall be corrected. Tests shall be in accordance with the C.G.C.S.'s requirements and specifications. Water main lines shall be pressure tested and approved prior to paving, but not prior to subgrade mixing operation and limerock installation, finish graded and compacted. If C.G.C.S. inspector detects the water main has been damaged during priming or paving he shall require the contractor to repair the water main and retest the water main.

18. STERILIZATION. After completion of construction and testing, the water system shall be sterilized with chlorine in accordance with AWWA Standard C651 latest, and State of Florida Department of Environmental Protection requirements before acceptance for domestic operation. The amount of chlorine applied shall be sufficient to provide a dosage of 50 parts per million or more. The chlorine solution shall remain in the system for a period of at least 8 hours, during which time every valve in the system shall remain opened and closed several times to assure contact with every surface of the system. After completion of sterilization procedures, the system shall be flushed using chlorinated water from a domestic water source having a chlorine residual of at least 1 part per million. The contractor shall obtain all bacteriological clearances as required by the Florida Department of Environmental Protection. After bacteriological clearances, the pressure in the main shall not drop below 20 P.S.I. Clearance report to be submitted to the Engineer. The contractor shall be aware that there is a timing maximum related to bacteriological clearance of the main, completion of as-built drawings and Engineer / C.G.C.S. completion of Certificate of Completion. In any project where the bacteriological clearances are greater than 30 days old at the time of submittal of Certificate of Completion to F.D.E.P., the contractor may be required to pull more samples and obtain more bacteriological clearances. Prior to introducing the chlorine solution, the lines shall be thoroughly flushed with clean water utilizing full pipe diameter flushing for pipe up to and including 8" diameter. Contractor shall be responsible for dechlorination of the disinfectant water prior to any discharge to any ditch or surface waters.

19. BACTERIOLOGICAL SAMPLING. Contractor shall assure the project construction is completely finished prior to any bacteriological sampling and testing.

14. CURB STOPS. Curb stops shall be cast bronze, inverted key stop, roadway, with check, lock wing type, for locking in the closed position. Curb stops shall be Ford Ball Valve or Mueller.

14. CORP STOPS. Corp stops shall be cast bronze, inverted key stop, roadway, with check, lock wing type, for locking in the closed position. Corp stops shall be Ford Ball Valve or Mueller.

15. FIRE HYDRANTS. Fire hydrants shall be traffic type, 150 pound working pressure, AWWA Standard C502, latest revisions, with two 2 1/2" nozzles, one 4 1/2" nozzle and 5 1/4" main valve. Fire hydrant shall be compression type with breakable coupling and mechanical pipe end connection shall be mechanical joint. American Flow Control, AFB B-84-B, painted red w/white bonnets and with 1 1/2" penta nuts, opening left.

16. INSTALLATION. The minimum cover over top of potable water main shall be 36" minimum. All water lines and appurtenances shall be thoroughly cleaned of all foreign matter before being lowered into the trench and shall be kept clean during laying operations by means of plugs or other approved methods. All pipe shall be checked for defects before being lowered into the trench. Defective pipe shall not be used. Pipe found to be defective, after installation, shall be removed and replaced with sound pipe at no additional expense to the Owner. The full length of each section of pipe shall rest solidly upon the pipe bed, with recesses excavated to accommodate the bells and joints. All pipe that has the grade or joint disturbed after laying shall be taken up and reinstated. The pipe shall not be laid in water, or, when trench or weather conditions are unsuitable for the work. All joints shall be cleaned of all foreign matter before making the joint. Fittings at bends in the pipe shall be properly restrained with joint restrainers adequately sized to prevent movement and dislocating or blowing off when the line is under pressure. Service laterals shall terminate at the point noted in the details.

17. TESTS. After the pipe is laid, the joints completed, and the trench backfilled, the newly laid pipe and appurtenances shall be subjected to a Hydrostatic and Leakage test of 150 pounds per square inch for a

GENERAL NOTES

1. AS-BUILT DRAWINGS AND ASSOCIATED COSTS. All cost records pertaining to the cost of water, reclaim and sewer facilities donated to the utility shall be provided to the Utility by applicant. Prior to acceptance of any extension to the Utility's system that is completed by a licensed underground utility contractor, the Utility will require that the applicant's contractor provide the Utility, to retain for its permanent records, all field as-built data. During the daily progress of the work, the contractor's job superintendent shall record on his field set of drawings all work installed. All manholes, gravity sewers, force mains, laterals, valves, fittings, fire hydrants, etc. shall be located in the direction of flow and be referenced perpendicular to the right-of-way lines and/or property lines (preferably both) or existing permanent utility structures are acceptable (i.e., manholes, catch basins, fire hydrants, head/end walls, etc.). No power/utility poles may be used for reference. Elevations of manhole inverts and center of cover shall be shown to the nearest hundredth of a foot. Size, type, class and slope of sewer main shall be shown (i.e., 8" PVC, SDR-35). The top elevation of each manhole may be determined by measuring from a surveyed pipe invert to the final adjusted manhole top. Size, type and class of water mains, valves, fittings, fire hydrants, etc. shall be shown (i.e., 8" D.I.P., 6" gate valve). All locations where the top of the water main is less than 36" deep or more than 50" deep shall be noted on the as-builts. Water as-builts, sewer as-builts and reclaim water as-builts shall be on separate sheets. **AS-BUILTS SHALL BE IN NAD 1983 FL EAST-FOOT---STATE PLANE COORDINATES AND REFERENCE THE BM USED FOR THE PROJECT.**

Each page of the as-built drawings shall bear the name, date and original signature of the general contractor responsible for the Work and the name, date, original signature and seal of the registered land surveyor or registered professional engineer who provided the horizontal and vertical dimensions and elevations on the as-built drawings. The signatures shall certify that the as-built drawings do, in fact, reflect the true as-built conditions as located under the direct supervision of the registered surveyor and/or professional engineer. The as-builts shall be at the contractor's expense. A copy of the AutoCAD® ASBUILT DATA SHALL BE FURNISHED ON COMPACT DISK (CD) PLUS (2) SIGNED FULL SIZE PRINTED SET PLUS (1) MYLAR SET by either the design engineer or the applicant's contractor.

2. CONSTRUCTION WARRANTY AND WARRANTY SECURITY PERIOD. Developer shall warranty Utility against defects in the construction of the on-site portion of the water system to be owned by the Utility. Developer shall secure from its Contractor a written and fully assignable warranty that the system installed will be and remain free from all defects, latent or otherwise with respect to workmanship, materials, installation, and accuracy of his as-built drawings in accordance with the Utility approved plans and specifications for a period of two years from the date of the system acceptance by the Utility and immediately assign the same and the right to enforce the same to Utility on or before the date of the Utility's acceptance of the system for ownership and maintenance.

3. CLEAN-UP. All surplus materials of construction shall be removed from the site and disposed of by the Contractor as part of his contract with the owner.

4. RESTORATION. New Sanitary Sewer and Water Main Construction in earthen areas shall be seeded and mulched in accordance with Section 670 of Standard Specifications of the Florida Dept. of Transportation (latest edition). In locations where existing grassed (sodded) areas are disturbed, sod shall be replaced to preconstruction condition and to limits of construction or where directed by the engineer.

5. PERMITS. The Contractor shall be responsible for obtaining all permits required for performing work under this contract, except that the F.D.E.P. permits, and wetland permits, if required, will be secured by the owner or developer.

6. PIPE BEDDING. In the event unsuitable or unstable bedding material is encountered at or below the limits of the excavation required for installation, such material shall be removed and replaced with suitable compacted backfill material specified by the design engineer and approved by the C.G.C.S. so as to provide a stable trench bedding surface suitable for proper pipe installation.

6-A. Pipe Bedding (Rock Bedding Material) Rock material used for pipe bedding shall be #57 stone or crushed concrete (crush-crete) in a #57 size. Rock bedding material shall be completely wrapped in a heavy filter fabric material, overlapped a minimum of one foot, rock bedding shall be installed to the correct grade and compacted to a density which will prevent any settlement, either mechanical tamping or vibration, of the rock supporting the pipe. The rock shall be placed in the backhoe bucket. The compaction shall be approved by C.G.C.S. inspector. The contractor shall be required to have submittal approved by design engineer and C.G.C.S. prior to use of such rock bedding material.

7. DEWATERING. The contractor shall at all time during construction provide ample means and equipment with which to promptly remove and dispose of all water encountered in the trench and structure excavations and shall keep said excavations acceptably dry until the piping and / or structures to be built therein are completed. All water pumped or drained from the work area shall be disposed of in a manner as to not damage sewer, water, electrical or any other piping, structures or property. No pipe shall be laid in water above and no water shall be allowed to rise above the bottom of any pipe while it is being jointed, except as may be approved in writing by the C.G.C.S.

8. HYDROSTATIC TESTING. After all pressure pipes (water mains, services, and force mains) are laid, the joints completed, and the trench backfilled, the newly laid pipe and appurtenances shall be subjected to a hydrostatic test of 150 P.S.I. for a period of at least two hours. The engineer and the C.G.C.S. Public Works shall be notified 48 hours before a test is to be performed. Test shall be as set forth in AWWA standard C600. Any leaks detected shall be corrected and the section of pipeline retested. The two hour test period shall begin when all joints have been determined to be water tight. Leakage shall be limited to that allowance set forth in Section 4 of AWWA Standard C600-87. Hydrostatic and leakage test and blow-down (scrumping and sampling before testing) must occur before testing for bacteriological test. The maximum allowable pressure loss is 5 P.S.I. regardless of the length of pipe.

9. REPORTS. Reports of hydrostatic and leakage tests and sterilization of the newly completed systems shall be submitted to the C.G.C.S. prior to requesting acceptance of the system.

10. DENSITY TESTING. In-place density tests are required at intervals not to exceed 150' along pipelines for every other lift. A minimum of one test between manholes is required for every other lift regardless of the distance between sanitary sewer manholes.

11. CONCRETE. All Portland Cement concrete shall be of Type II Portland Cement, 2,500 P.S.I. minimum, ready minimum concrete shall be placed before the initial set has taken place. State or retempered concrete shall not be used.

12. GATE VALVES AND BOXES. Gate valves shall have a 2" operating nut and open left. Gate valves shall have joints suitable for the type main on which installed. Valves 2" and 3" shall be iron body, bronze fitted. Valves 4" and larger shall be iron body, bronze fitted with resilient seat. The word "WATER" on water boxes and "SEWER" on force main boxes shall be cast in the covers.

13. SEPARATION OF WATER AND SEWER MAINS. Horizontal and vertical separation between potable water system mains and or appurtenances and sanitary or storm sewers, wastewater or storm water force mains, and reclaimed water mains shall be in accordance with Rule 92-855.314 F.A.C.

(a) New or relocated, underground water mains shall be laid to provide a horizontal distance of at least three feet between the outside of the water main and the outside of any existing or proposed sanitary sewer, storm water force main, reclaimed water main regulated under Part III of Chapter 62-610, F.A.C., or proposed vacuum-type sanitary sewer.

(b) New or relocated, underground water mains shall be laid to provide a horizontal distance of at least six feet, and preferably ten feet, between the outside of the water main and the outside of any existing or proposed gravity- or pressure-type sanitary sewer, wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C. The minimum horizontal separation distance between water mains and gravity-type sanitary sewers shall be reduced to three feet where the bottom of the water main is laid at least six inches above the top of the sewer.

(c) New or relocated, underground water mains crossing any existing or proposed gravity- or vacuum-type sanitary sewer or storm sewer shall be laid so the outside of the water main is at least six inches, and preferably 12 inches, above or at least 12 inches below the outside of the other pipeline. However, it is preferable to lay the water main above the other pipeline.

(d) New or relocated, underground water mains crossing any existing or proposed pressure-type sanitary sewer, wastewater or storm water force main, or pipeline conveying reclaimed water shall be laid so the outside of the water main is at least 12 inches above or below the outside of the other pipeline. However, it is preferable to lay the water main above the other pipeline.

(e) At the utility crossings described in paragraphs (c) and (d) above, one full length of water main pipe shall be centered above or below the other pipeline so the water main joints will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all water mains and all gravity-type sanitary sewer joints in vacuum-type sanitary sewers, storm sewers, storm water force mains, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least six feet from all joints in gravity- or pressure-type sanitary sewers, wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

14. NEW CONNECTION TO EXISTING MAIN. New connection to existing main in service shall be accomplished by the "wet tap" method utilizing full circle stainless steel tapping sleeve and mechanical joint tapping valve. Tapping sleeve shall be rated at 200 P.S.I., non-shock working pressure conforming to AWWA Standard C110, latest revision. Stainless steel tapping sleeves shall be arranged so that all water mains and all gravity-type sanitary sewer joints in vacuum-type sanitary sewers, storm sewers, storm water force mains, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least six feet from all joints in gravity- or pressure-type sanitary sewers, wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

15. JOBSITE SAFETY. While on the job site, the contractor shall at all times observe all Federal, State and local safety rules, regulations and laws. This includes, but not limited to, confined spaces and excavation protection systems as per O.S.H.A. standards.

GENERAL NOTES

16. CLOSE OUT / COMPLETION. Minimum items required for Close Out / Completion for submittal to the City of Green Cove Springs will include:

- Construction Warranty from Developer in the form of a Bond, Letter of Credit or Cashier's Check for a two-year period.
- Warranty Certificate for a two-year warranty from the contractor to the Developer and assignment of same to the City of Green Cove Springs (C.G.C.S.).
- Developer's Affidavit certifying there is no outstanding debt against utility assets to be deemed to C.G.C.S.
- Value of Acceptance Report showing value of assets to be deemed to the C.G.C.S.
- Bill of Sale to C.G.C.S.
- Bacteriological Test(s)
- Pressure Test(s)
- Television Reports and Tapes
- Density Reports
- PROPER Final As-Built Drawings and disks

17. C.G.C.S. Shop Drawing and Submittal Process. A signed acknowledgment by the Contractor and the Material Supplier, on the "Shop Drawings and C.G.C.S.'s Approved Materials List Form", that all materials will be in accordance with C.G.C.S.'s Specifications, C.G.C.S.'s Details and C.G.C.S.'s Approved Materials Manual, is the only submittal C.G.C.S. will require for each item of materials with the following exception: any alternate materials requested by the Engineer; any materials not listed in the C.G.C.S. Materials Manual; and materials associated with pumping stations and plant installations. Those exceptions shall have an individual shop drawing submitted for C.G.C.S.'s review and approval prior to any installation of said materials.

This is C.G.C.S.'s procedure and it does not preclude the design engineer from requiring additional submittals and shop drawings as he deems necessary for the project.

18. PUMP STATIONS (TEMPORARY OR PERMANENT). All pump stations shall be constructed in accordance with C.G.C.S. standards, rules and regulations and be approved by C.G.C.S. All work and materials shall meet the requirements of C.G.C.S. Standard Pump Station Details and Specifications or the plans, details and specifications for that specific pump station. A driveway shall be provided from the street (roadway) to within 2 feet of the pump station wellhead, minimum 10 feet wide x 5 inches thick 3,000 P.S.I. concrete. Submersible pump stations shall be fenced completely about the perimeter of the pump station site (location of the pump station site as noted on the plans), including gates and all other items required to make a completely fenced installation. The entire pump station site within the fenced area shall be covered with #57 stone, 6 inch thick minimum, placed over 8 mil visqueen.

19. Information shown on the Drawings as to the location of existing utilities has been prepared from the most reliable data available to the Engineer. The Contractor shall be responsible for requesting underground utility maps and shall assist the utility companies, by every means possible to determine said locations and the locations of recent additions to the systems not shown. Extreme caution shall be exercised to eliminate any possibility of any damage to utilities resulting from Contractor's activities. The locations of all overhead utilities shall also be verified by the Contractor. The Engineer shall be notified of any conflict that may occur. The Contractor shall be responsible for determining which poles will need shoring during excavation and shall provide such shoring and support as required.

20. C.G.C.S. details and specifications (latest available copy) shall be included in all plans submitted for work within the C.G.C.S. utility system. No person shall modify, change, omit, replace any portion of those details and specifications without the express written consent of C.G.C.S.. In any instance where the design engineer has included his written specifications or details in the plans then the more stringent of the two shall govern.

21. All materials to be used for any project within C.G.C.S.'s utility system shall conform to those materials listed in the C.G.C.S. approved material manual in effect at the time final plans for that project are approved by C.G.C.S.

22. Under no circumstance shall any trees be planted within a C.G.C.S. utility easement without:
a.) C.G.C.S. approving landscape and irrigation plans.
b.) C.G.C.S. being notified prior to the planting of trees and giving approval.
c.) C.G.C.S. inspecting and approving the work. The Engineer shall be notified of any conflict which are closer than 10' to any C.G.C.S. utility line) as shown in C.G.C.S. approved material manual and C.G.C.S. roadway cross section details, whether or not shown on the plans.

23. At all Jack & Bore locations a C.G.C.S. inspector shall inspect the casing spacers to verify they are the correct size and have been installed correctly on the pipe prior to the pipe being installed into the pipe casing. The pipe casing shall be clean and free of all dirt, and shall be cleaned with a Vac-Con if necessary. A C.G.C.S. inspector shall be present at all time during this work.

FINAL INSPECTION PROCEDURES

PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING:

- The sewer line T.V. report and tape
- The pressure test and bacteriological clearance analysis report.
- The engineer of record certification to D.E.P. This can be done with completed as-builts.
- Completed as-builts showing at least the following:
 - Location of valves, mains, services, manholes and locate wire boxes.
 - Elevation of sewer lines in the manhole, and stub-outs.
- All services and valves to be plainly marked with a treated fence post, and electronic locate marker when needed.
- Pump station start-up report with draw down data for each pump and with both pumps in operation. All electrical components to be completely installed and in proper working condition.

PRIOR TO FINAL ACCEPTANCE FOR OWNERSHIP, THE FOLLOWING MUST BE COMPLETED:

- The C.G.C.S.'s inspection and distribution and collection departments
- Water services must be lowered and meter boxes installed, valve boxes must be set on all gate valves.
- As-built drawings shall have been updated to accommodate the C.G.C.S. comments and the final elevations of all manhole tops must be included.
- All valves, locate wire boxes, sewer, water and reclaimed services shall be scribed in curb and painted the correct color.
- As-builts, must be accepted and approved by the City of Green Cove Springs Public Works.

PRIOR TO FINAL ACCEPTANCE FOR OWNERSHIP, THE FOLLOWING MUST BE COMPLETED:

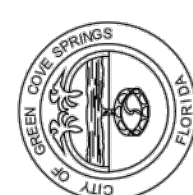
- A preliminary inspection must be coordinated by the underground utility contractor and held a minimum of fifteen (15) working days prior to the final inspection/start-up. The preliminary inspection will compare the approved design drawings to the actual site installation, noting any deficiencies.
- The following must be represented at the preliminary and final inspection:
 - The C.G.C.S.'s inspection and distribution and collection departments
 - The project's developer and/or general contractor
 - The underground utility contractor
 - All subcontractors associated with the lift station (electrical, pump manufacturer, control panel manufacturer, etc.)

PROJECT:

CITY OF GREEN COVE SPRINGS

321 WALNUT STREET

GREEN COVE SPRINGS, FLORIDA 32043



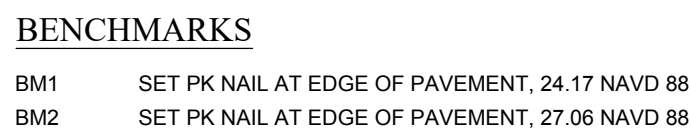
ACAD FILE NAME
SPECIFIC_D.DWG
SHEET NO.

PROPOSED BUILDING TABLE						
AREA DESCRIPTION	GROSS FLOORPRINT (SF)	QUANTITY	TOTAL GROSS FLOORPRINT (SF)	MEAN HEIGHT	APPROX. BUILDING LENGTH (FT)	APPROX. BUILDING WIDTH (FT)
TYPE 3.2 MULTIFAMILY TOTAL FLOOR AREA	35,760.0	1	35,760.0	54.0	167.67	80.00
TYPE 3.3 MULTIFAMILY TOTAL FLOOR AREA	35,544.0	1	35,544.0	54.0	167.67	80.00
TYPE 4.2 MULTIFAMILY TOTAL FLOOR AREA	47,593.0	3	142,779.0	54.0	167.67	80.00
TYPE 4.5 MULTIFAMILY TOTAL FLOOR AREA	43,453.0	2	86,906.0	59.0	155.67	78.00
CLUBHOUSE	5,217.0	1	5,217.0	18.9	96.30	64.33
MAIL KIOSK & PACKAGE ROOM	488.0	1	488.0	10.2	26.33	20.00
GARAGES, FHA	1,403.0	6	8,418.0	10.9	64.00	23.00
MAINTENANCE / PET WASH	1,150.0	1	1,150.0	10.5	50.00	23.00
DUMPSTER ENCLOSURE	640.0	1	640.0	8.7	33.33	16.00
TOTAL BUILDINGS			281,142.00 SF			

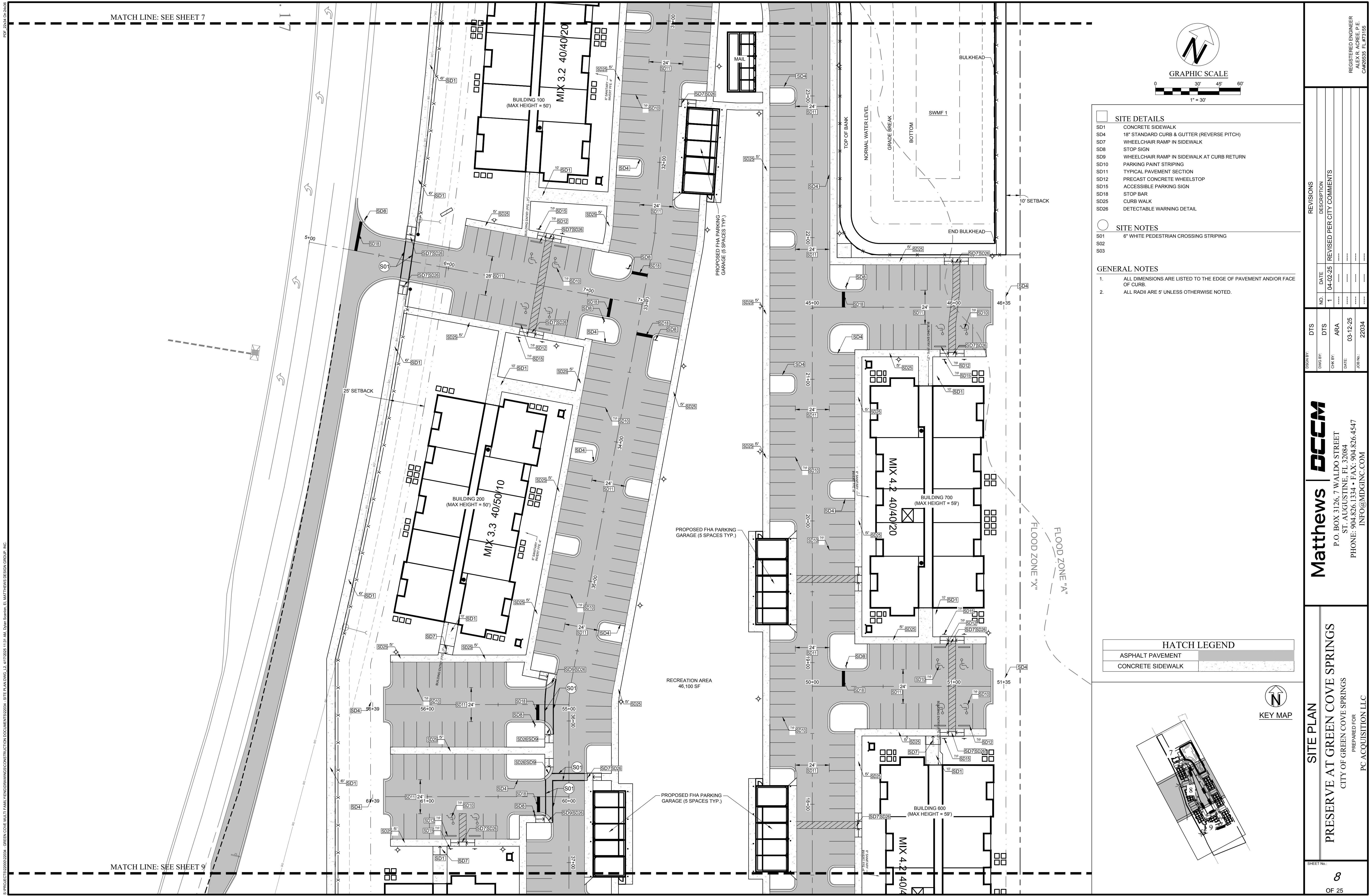
PARKING CALCULATIONS			
USE: MULTI FAMILY	=	1.00 SPACE PER	1 UNIT
STUDIO & 1 BEDROOM UNITS	=	120 UNITS	120 SPACES
USE: MULTI FAMILY	=	2.00 SPACE PER	1 UNIT
2 & 3 BEDROOM UNITS	=	140 UNITS	280 SPACES
EMPLOYEES & GUEST	=	11 SPACES	
GARAGE PARKING	=	30 SPACES	
TOTAL REQUIRED	=	411 SPACES	
PROPOSED STANDARD PARKING	=	441 SPACES	
PROPOSED GARAGE PARKING	=	30 SPACES	
TOTAL PROVIDED	=	441 SPACES	
ADA PROVIDED	=	13 SPACES	
ADA PROVIDED	=	20 SPACES	

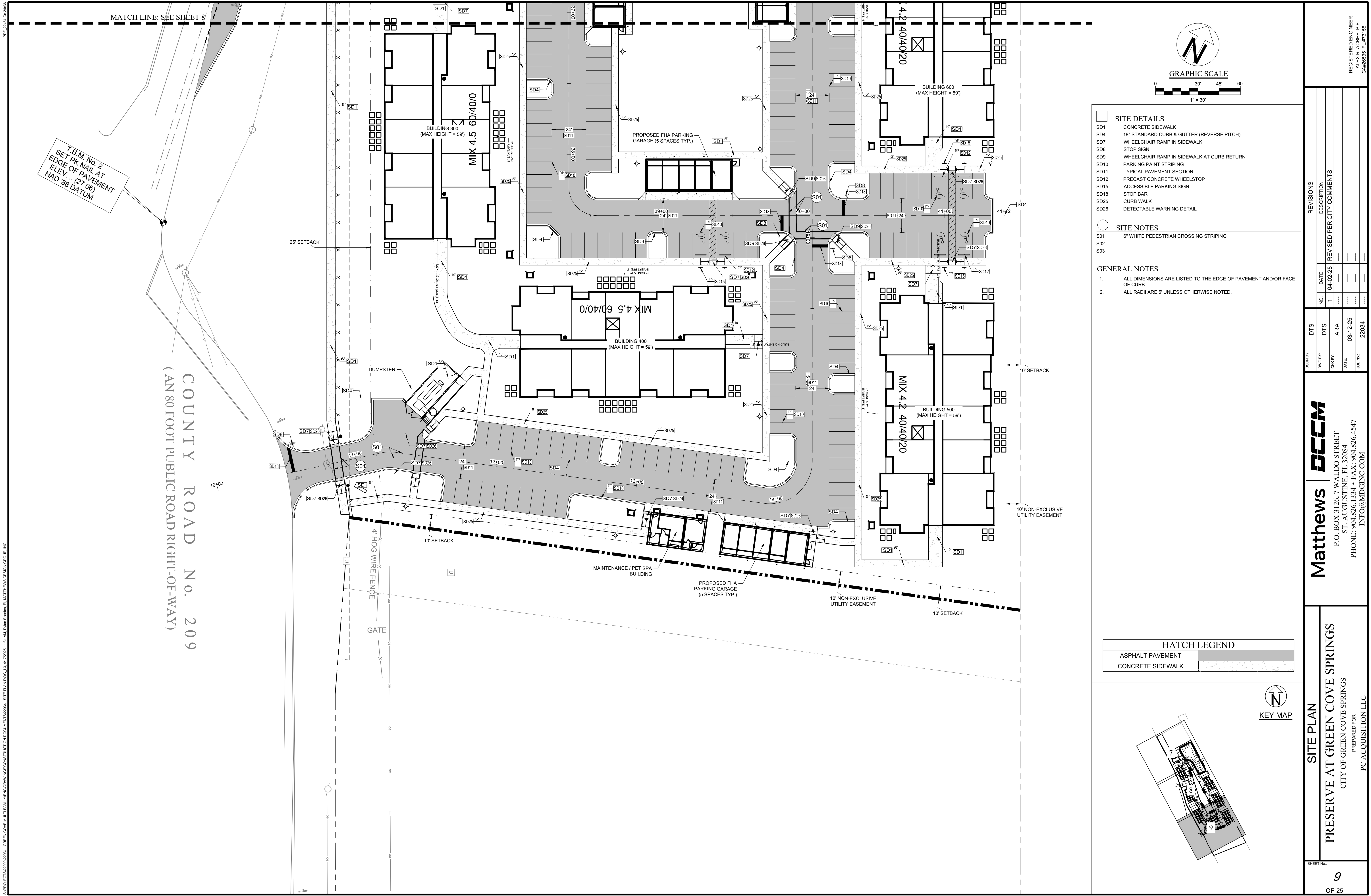
SIGNAGE NOTES

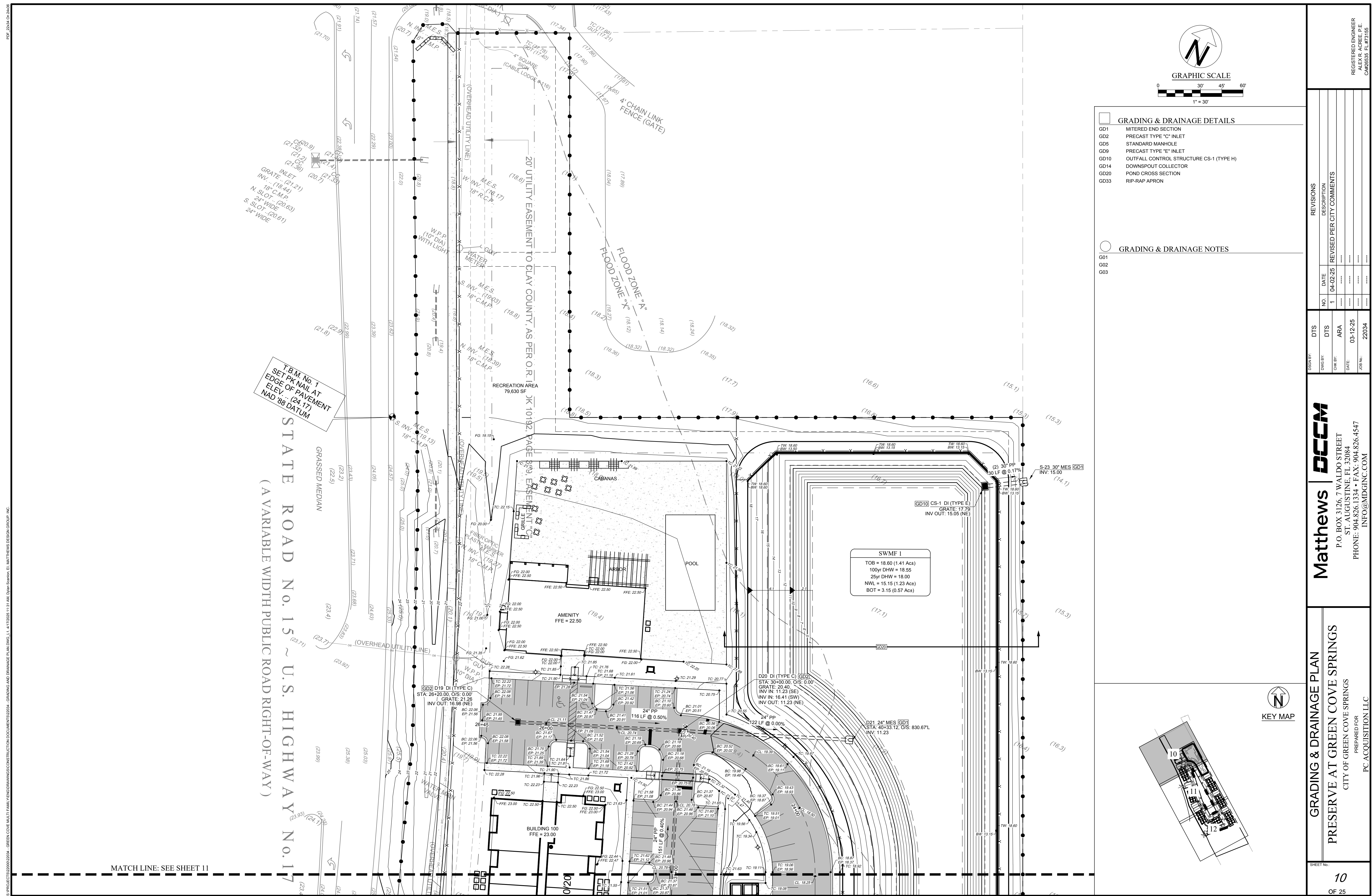
1. MONUMENT SIGNAGE FINAL PLACEMENT AND ORIENTATION IS SUBJECT TO CHANGE WITH FINAL CONSTRUCTION PLAN DESIGN.
2. SIGNAGE SHALL MEET THE APPLICABLE REQUIREMENTS OF THE PUD AND THE CITY OF GREEN COVE SPRINGS CODE SECTION 125-13 AND 125-14
3. SIGNAGE WILL HAVE A MAXIMUM HEIGHT OF 12' AND A MAXIMUM ADVERTISING DISPLAY AREA OF 45 SQUARE FEET
4. SIGNAGE MAY BE INTERNALLY OR EXTERNALLY ILLUMINATED

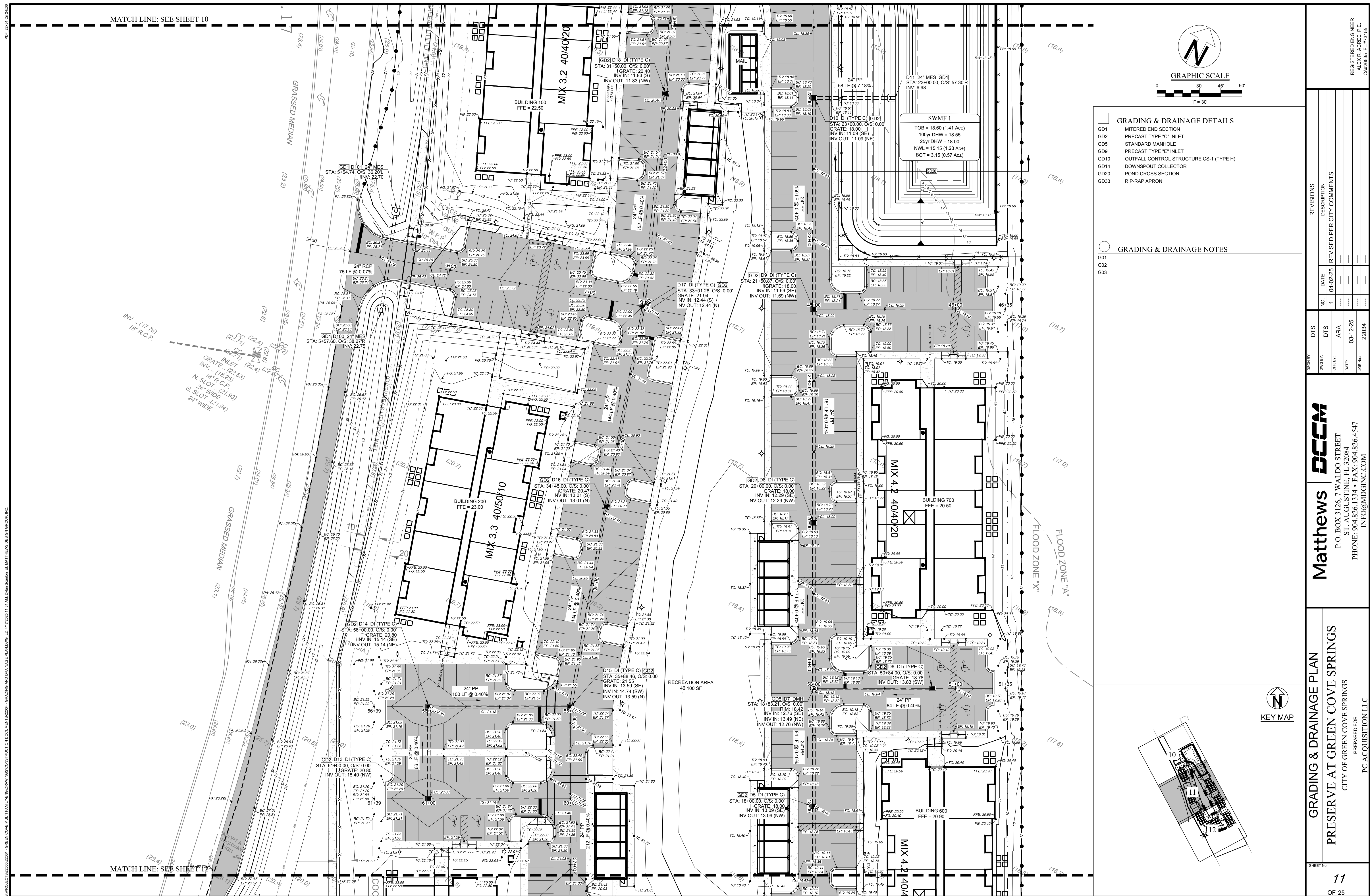


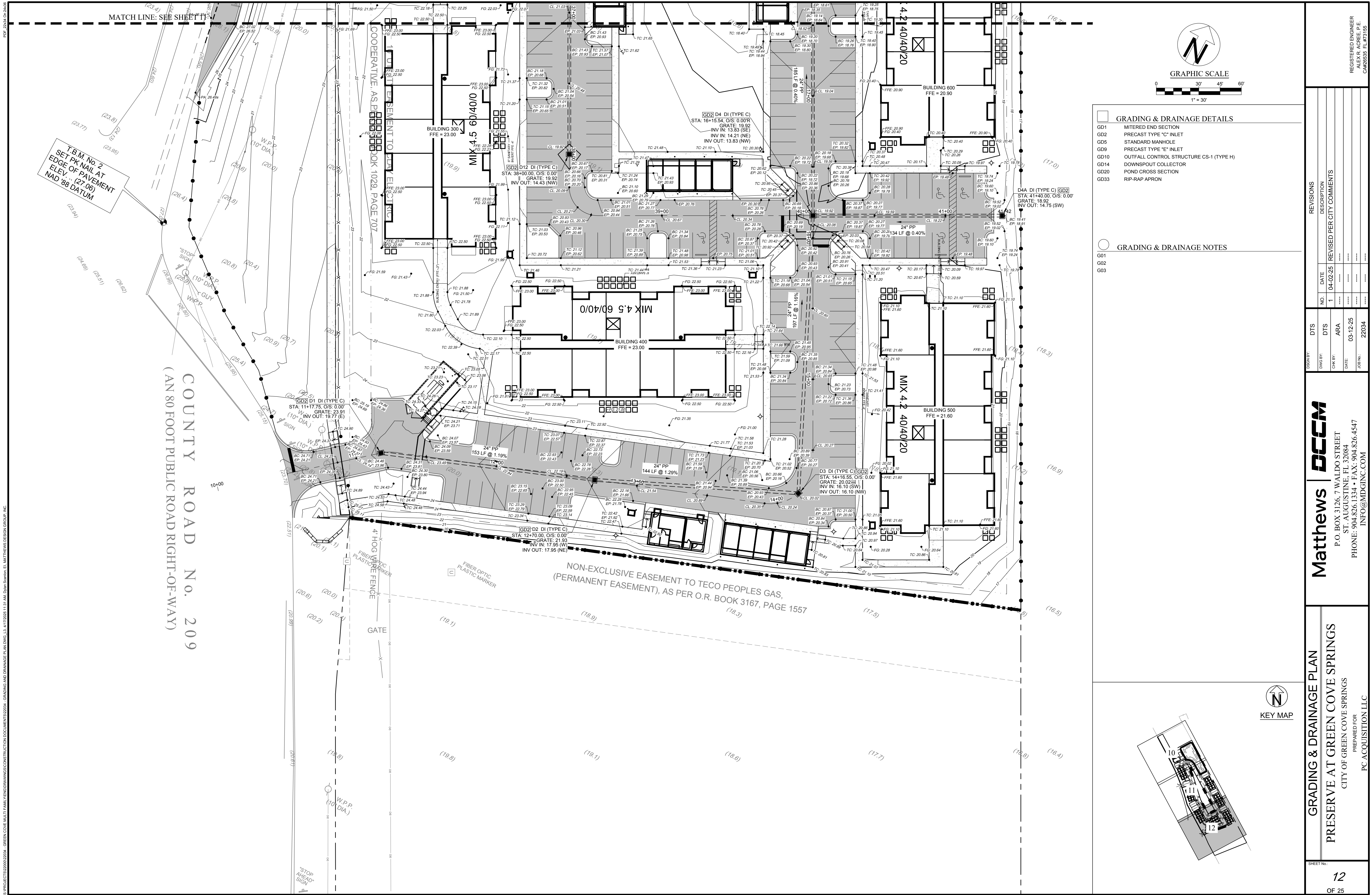




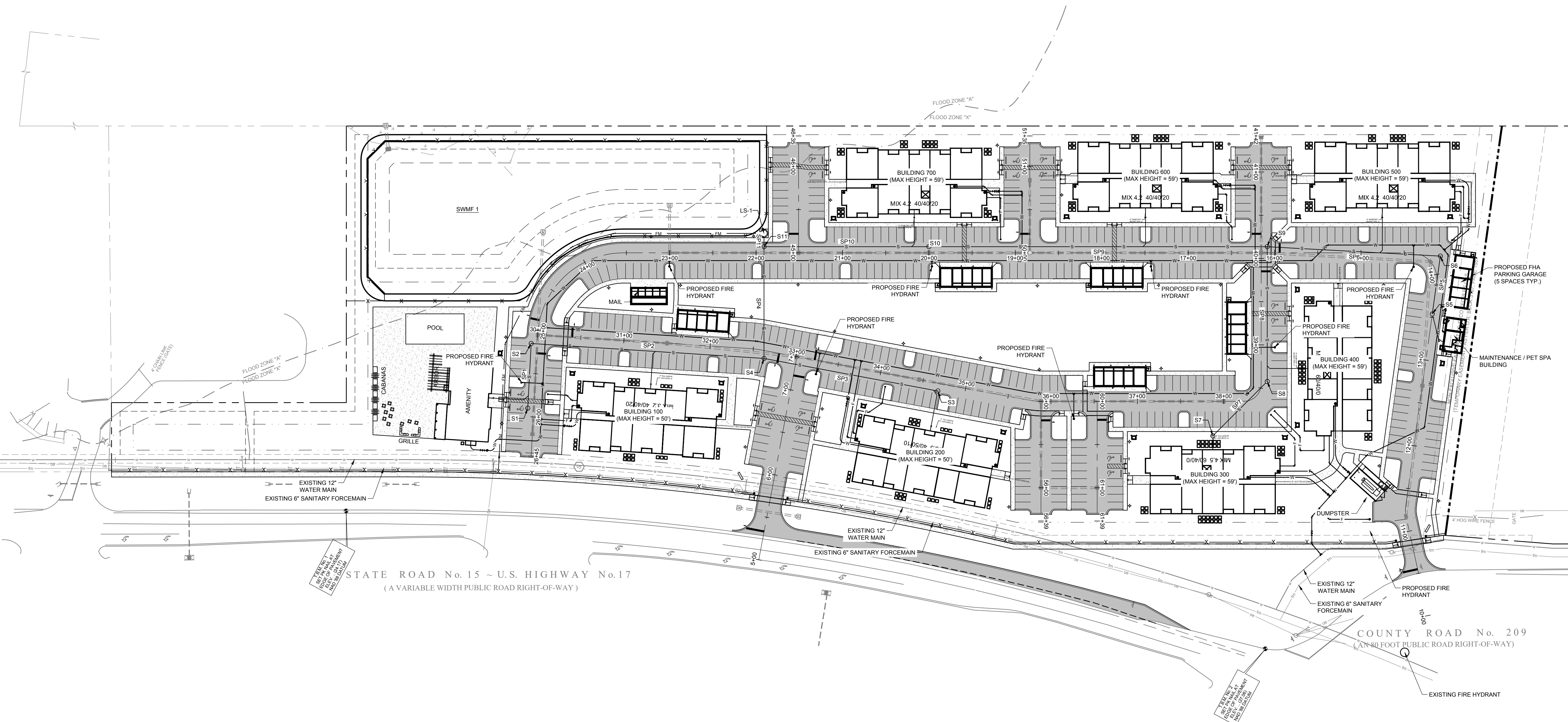








PIPE TABLE				
PIPE	SIZE	MATERIAL	LENGTH	SLOPE
SP1	8"	PVC SDR26	76'	0.40%
SP2	8"	PVC SDR26	270'	0.40%
SP3	8"	PVC SDR26	205'	0.40%
SP4	8"	PVC SDR26	130'	0.40%
SP5	8"	PVC SDR26	68'	0.40%
SP6	8"	PVC SDR26	201'	0.40%
SP7	8"	PVC SDR26	90'	0.40%
SP8	8"	PVC SDR26	156'	0.40%
SP9	8"	PVC SDR26	392'	0.40%
SP10	8"	PVC SDR26	191'	0.40%
SP11	8"	PVC SDR26	16'	0.40%

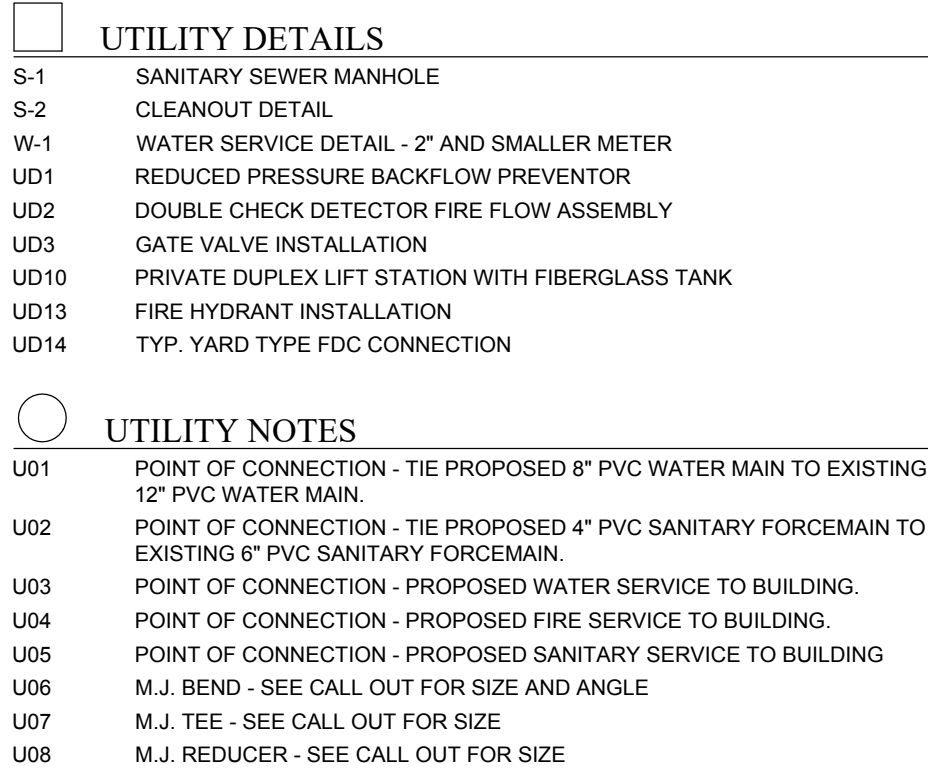


Matthews | **DCCM**

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ST. AUGUSTINE, FL 32084

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INFO@MDGINC.COM

SHEET No.: 13 OF 25



ISSUED BY:		DTS	REVISIONS	
DWG BY:		DTS	NO.	DESCRIPTION
CHEK BY:		ARA	1	REVISED PER CITY COMMENTS
JOB No.:		22034		

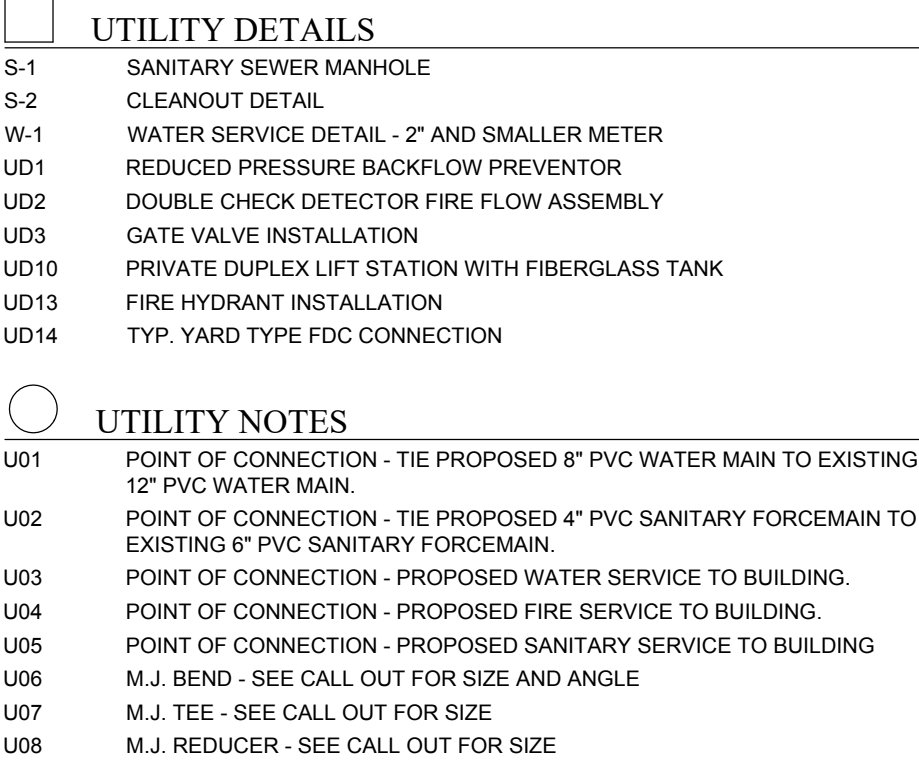
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UTILITY PLAN
PRESERVE AT GREEN COVE SPRINGS
CITY OF GREEN COVE SPRINGS
PREPARED FOR
PC ACQUISITION LLC

14
OF 25



DESIGN BY:		DTS	REVISIONS					
	DWG BY:	DTS	NO.	DATE	DESCRIPTION			
	CHE BY:	ARA	1	04-02-25	REVISED PER CITY COMMENTS			
			PREPARED BY	CHECKED BY	APPROVED BY			
	DATE:	03-12-25						
	JOB No.:	22034						

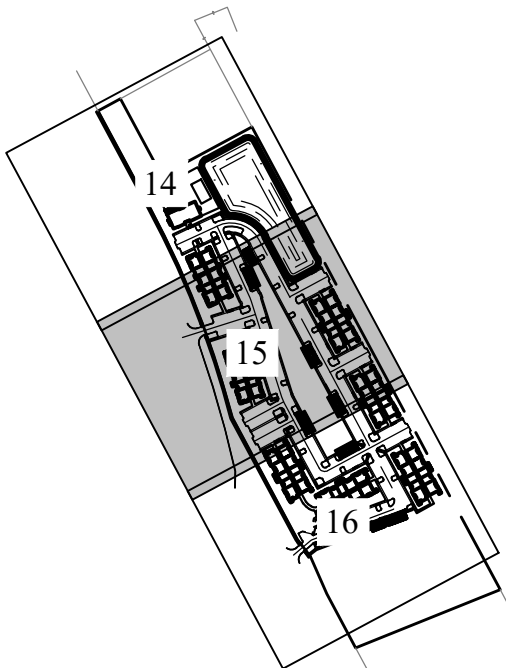
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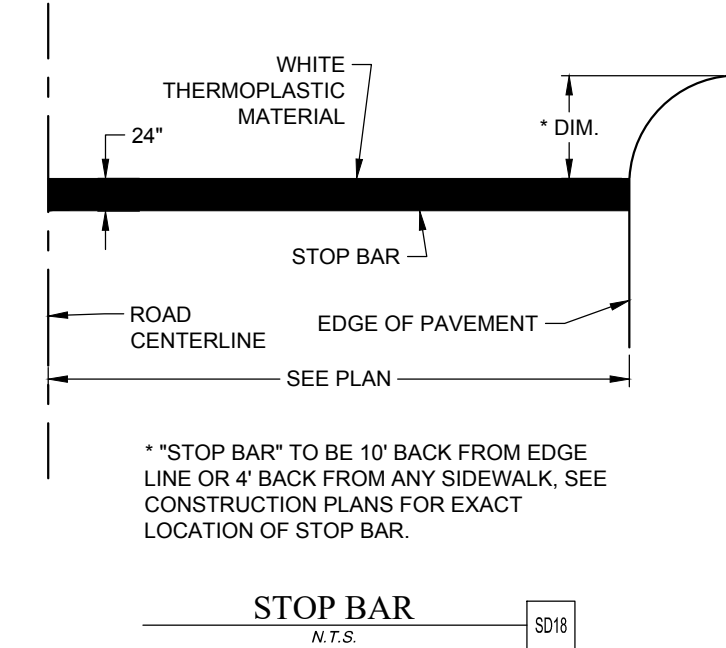
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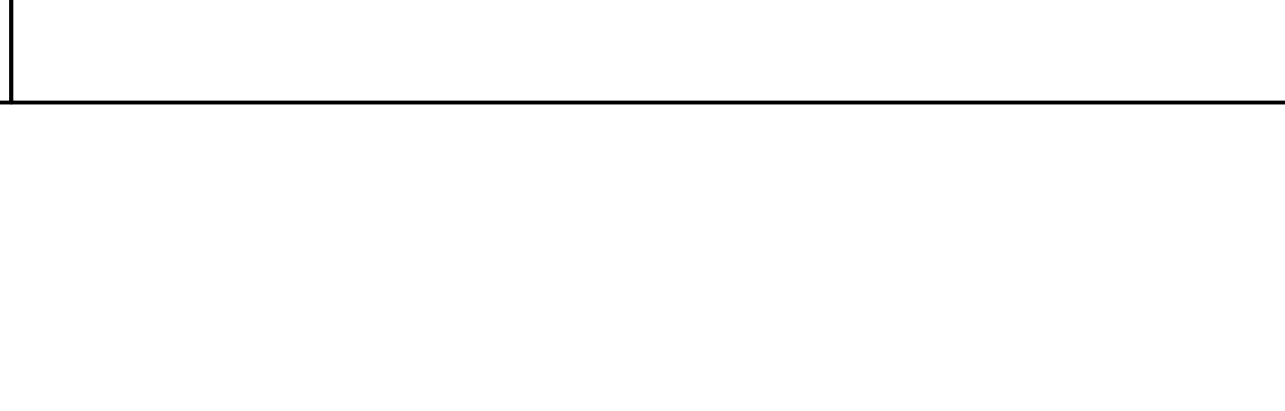
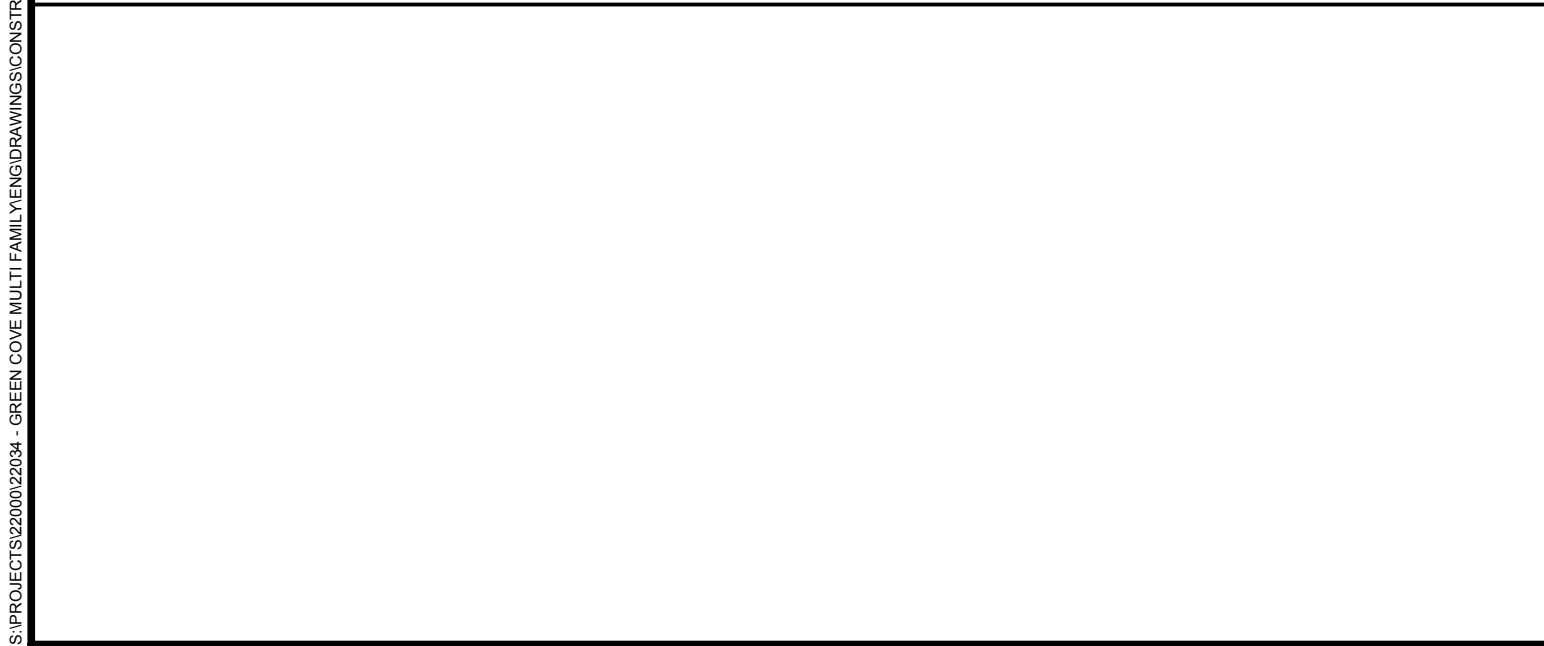
UTILITY PLAN
PRESERVE AT GREEN COVE SPRINGS
CITY OF GREEN COVE SPRINGS
PREPARED FOR
PC ACQUISITION LLC

15
OF 25

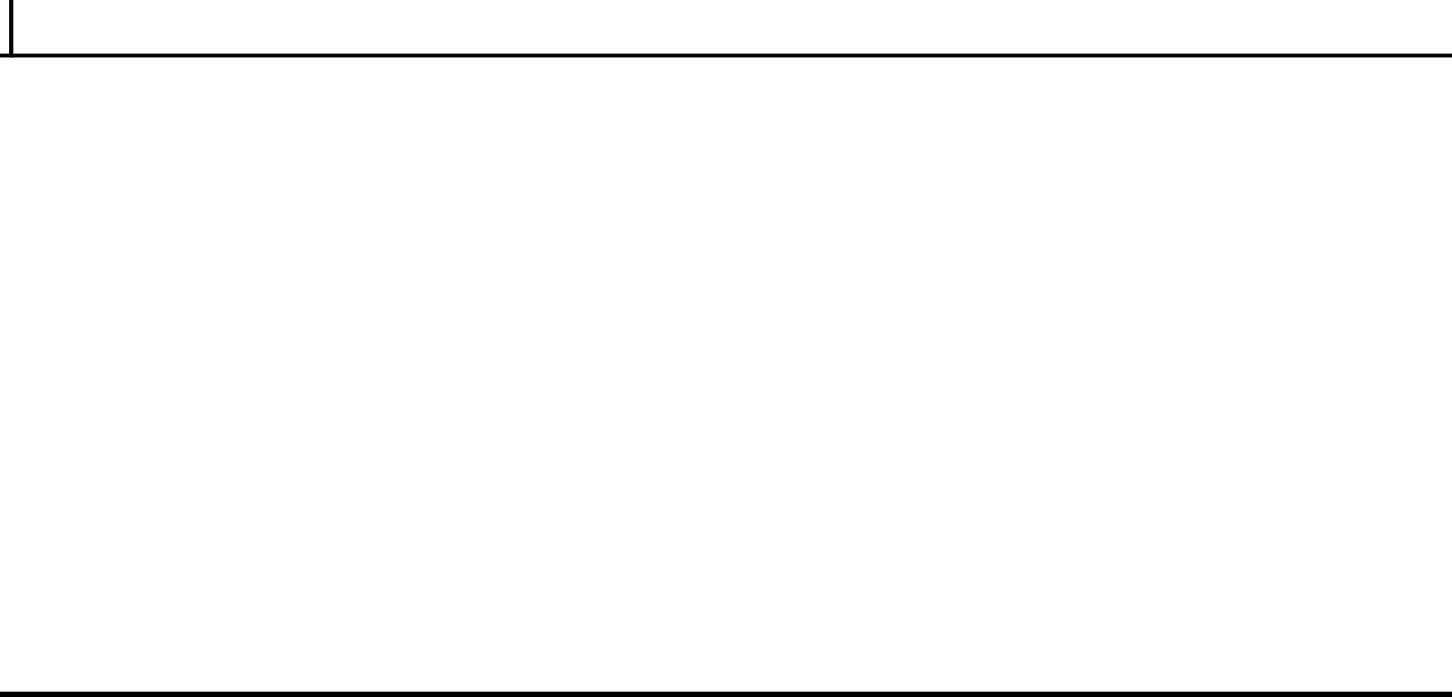
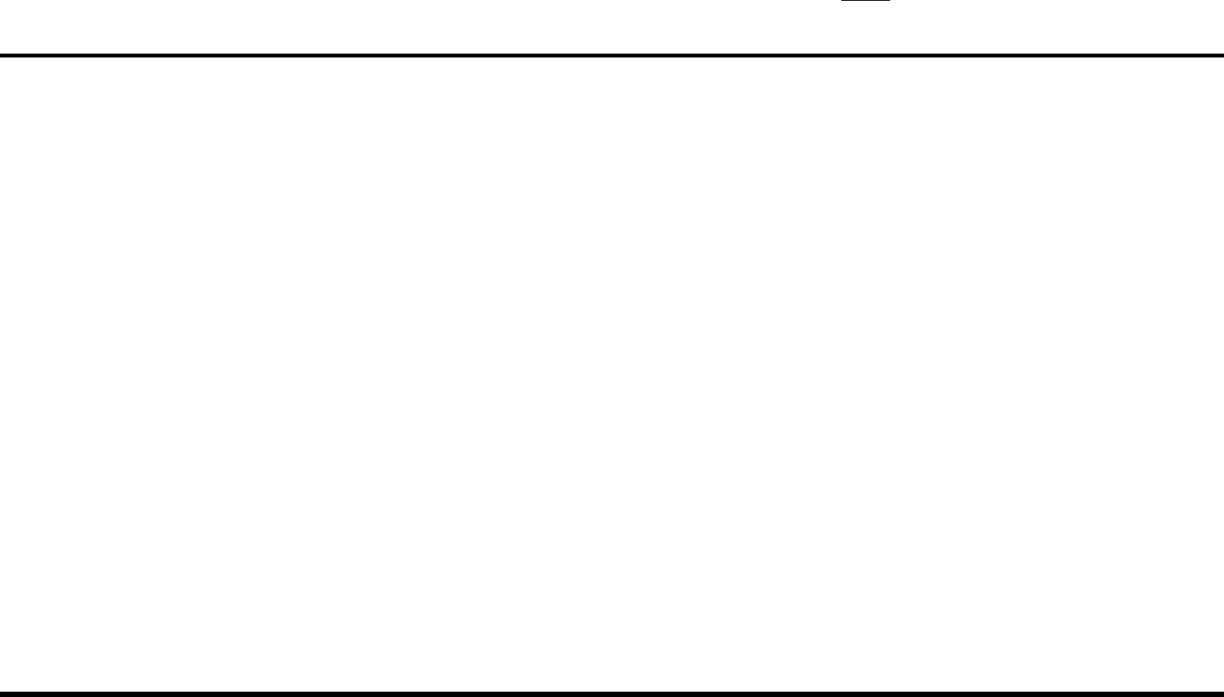


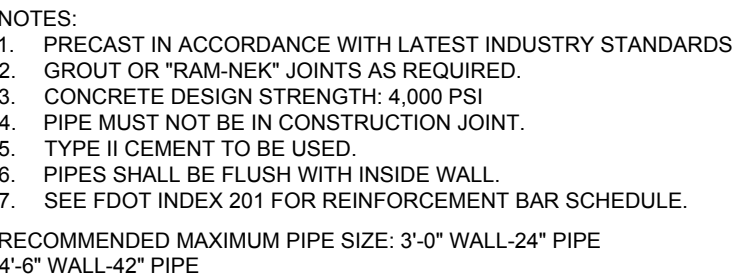
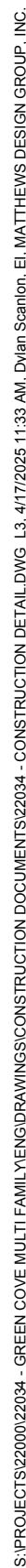






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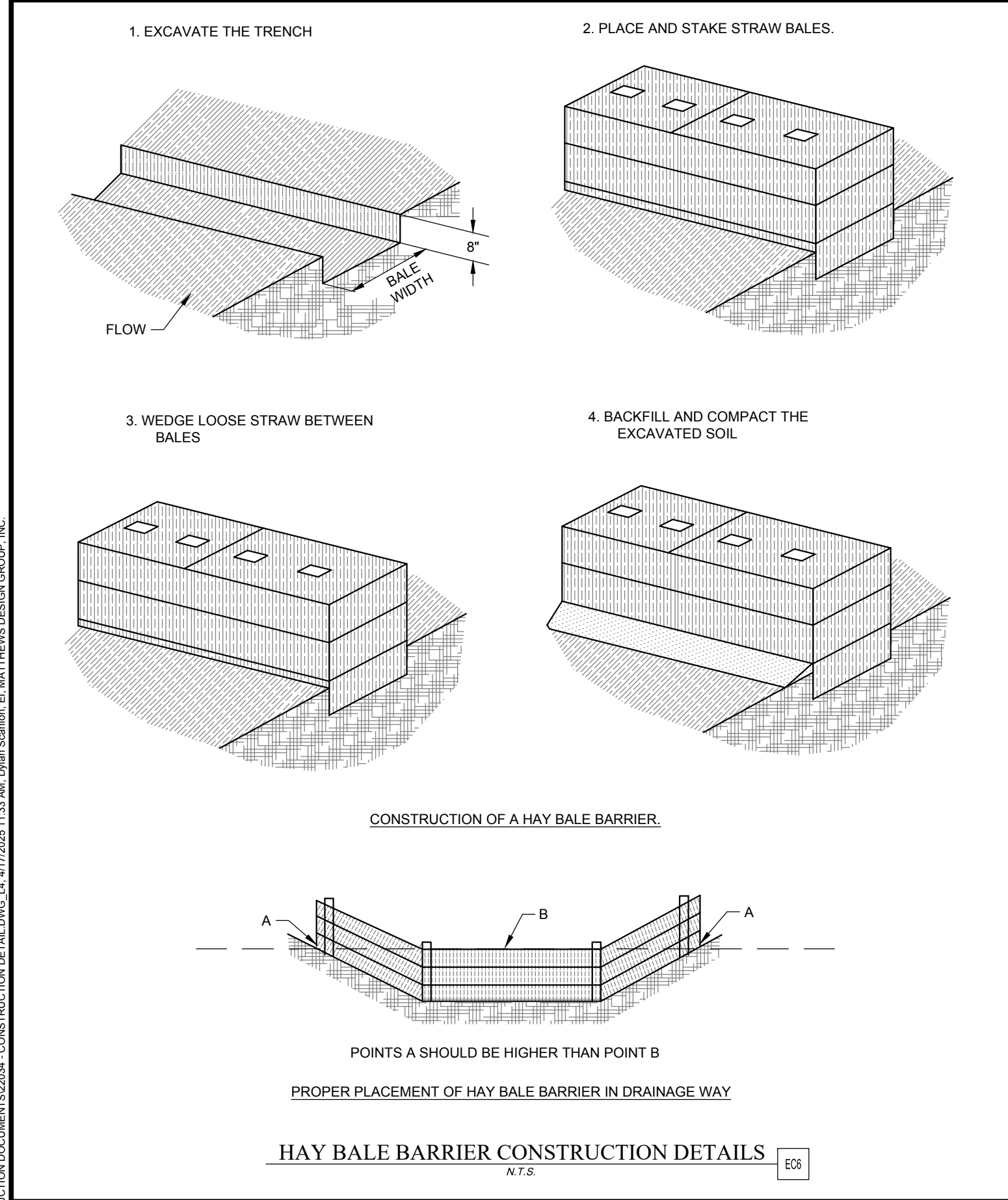
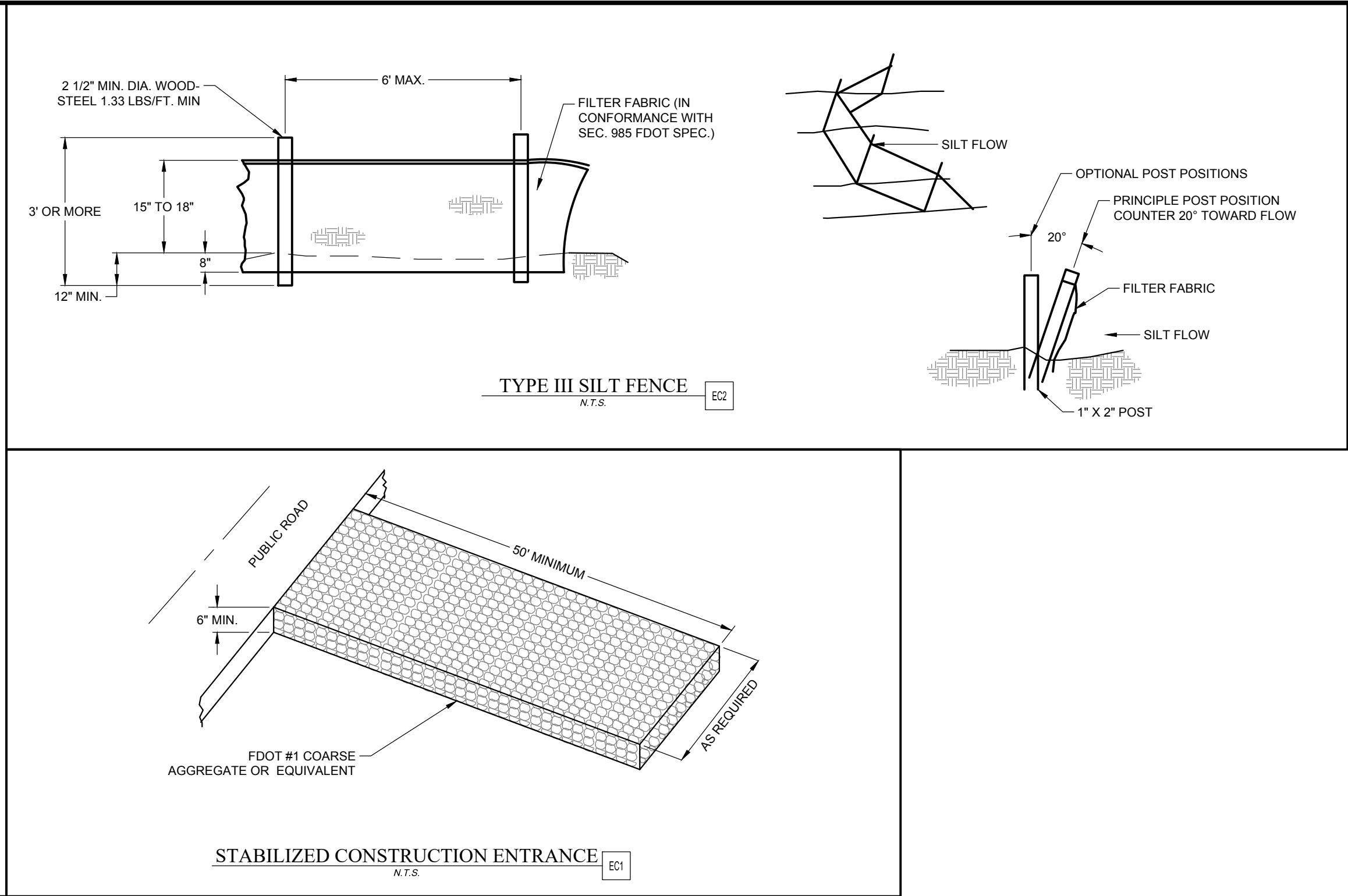
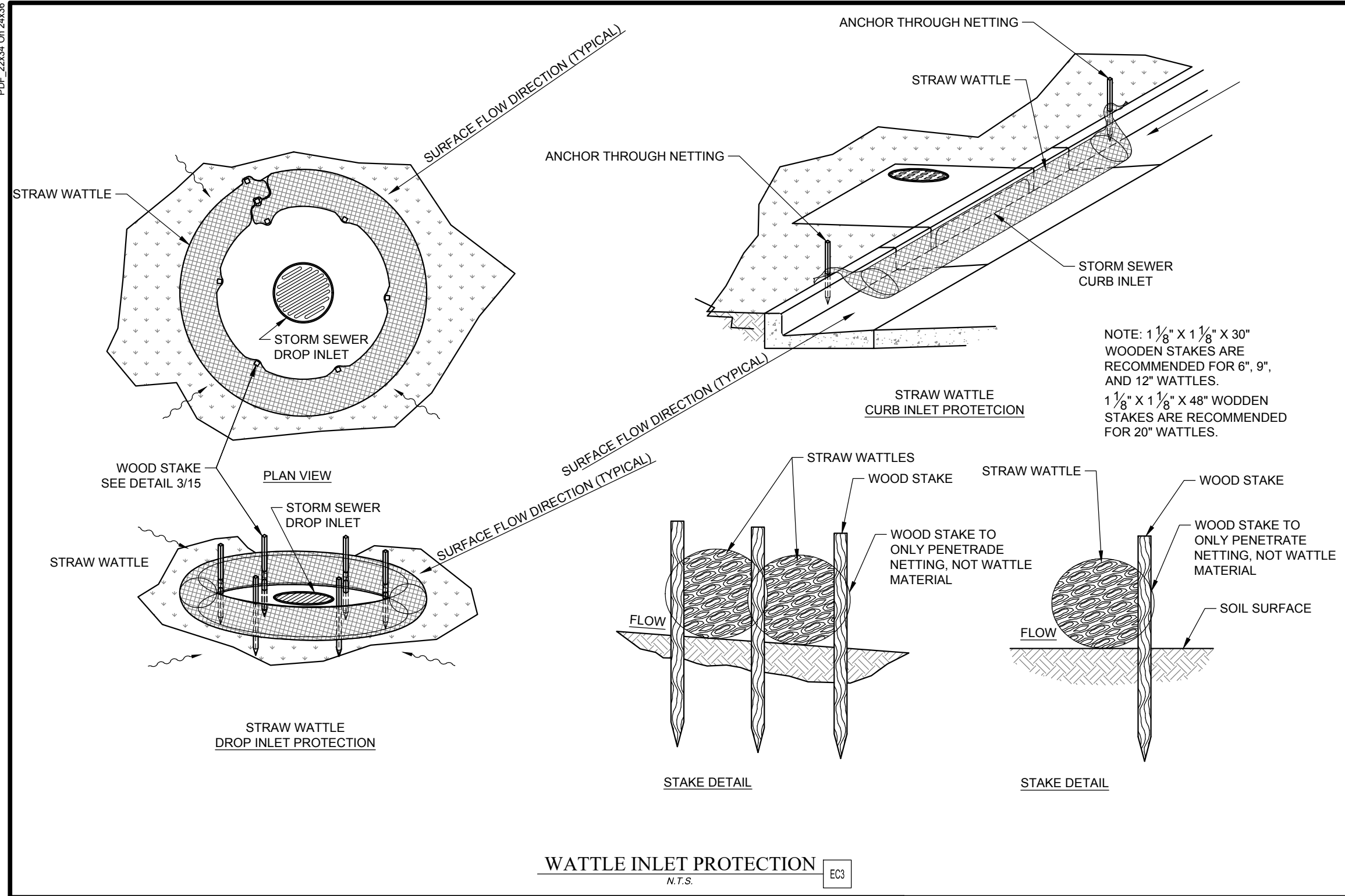
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DSGN BY:	DTS
DWG BY:	DTS
CHK BY:	ARA
DATE:	03-12-25
JOB No.:	22034

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CONSTRUCTION DETAILS

PRESERVE AT GREEN COVE SPRINGS
CITY OF GREEN COVE SPRINGS
PREPARED FOR
PC ACQUISITION LLC

REVISIONS

NO.	DATE	DESCRIPTION
1	04-02-25	REVISED PER CITY COMMENTS

DESIGN BY

DRAWN BY	DTS
CHECK BY	ARA
DATE	03-12-25
JOB NO.	22034

Matthews

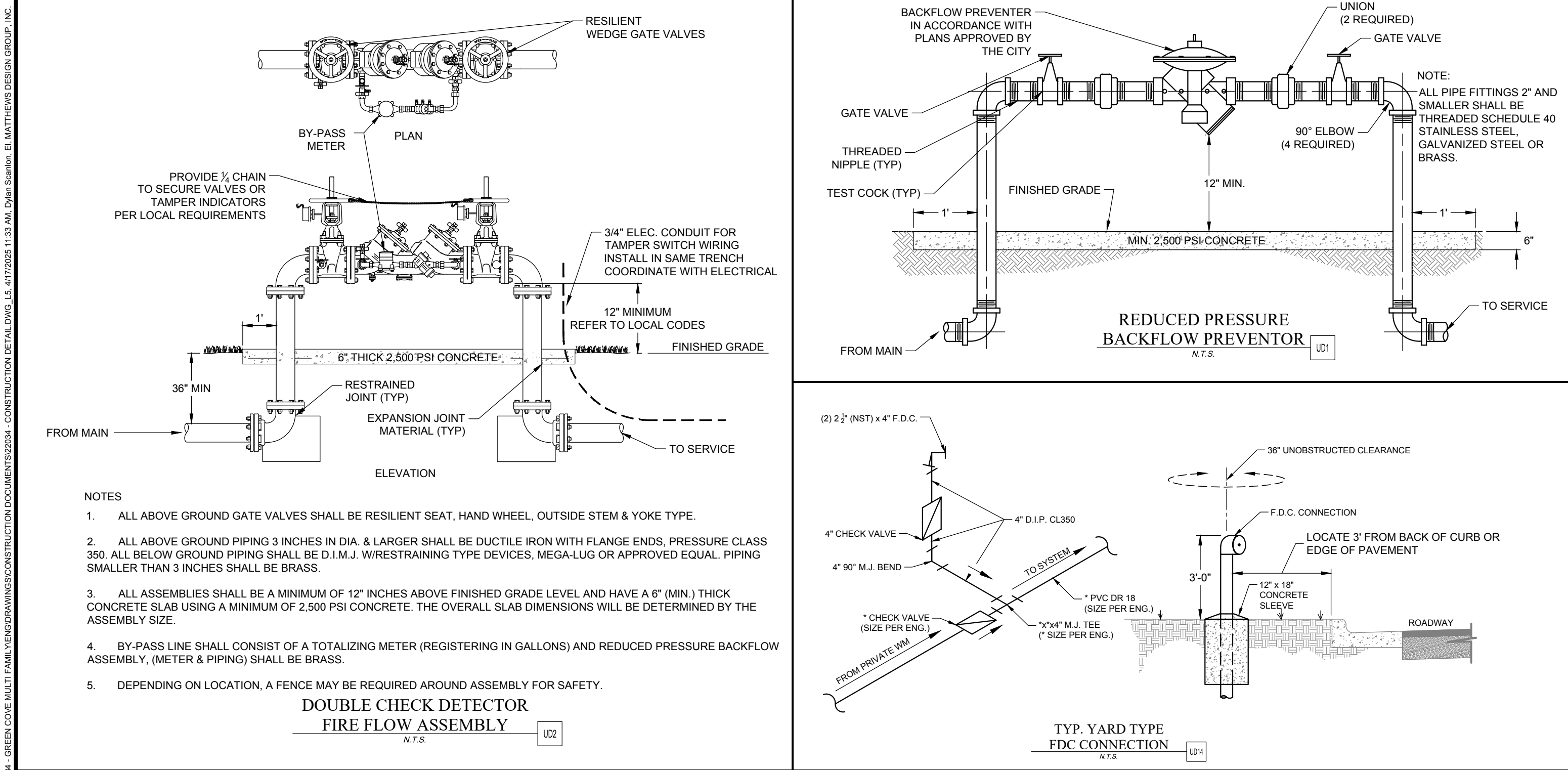
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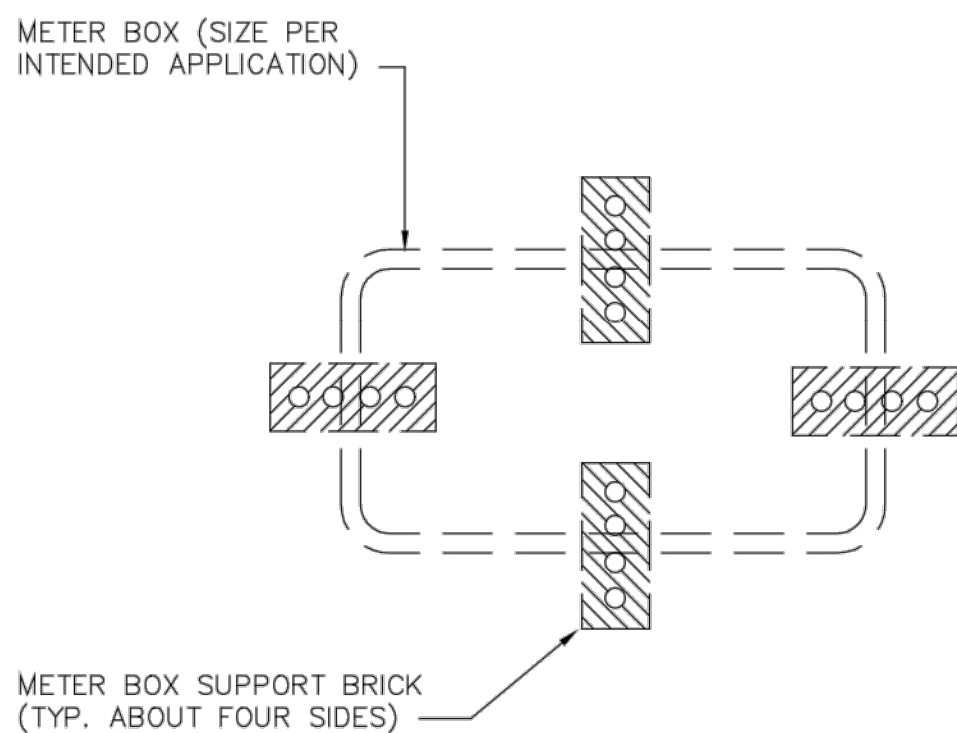
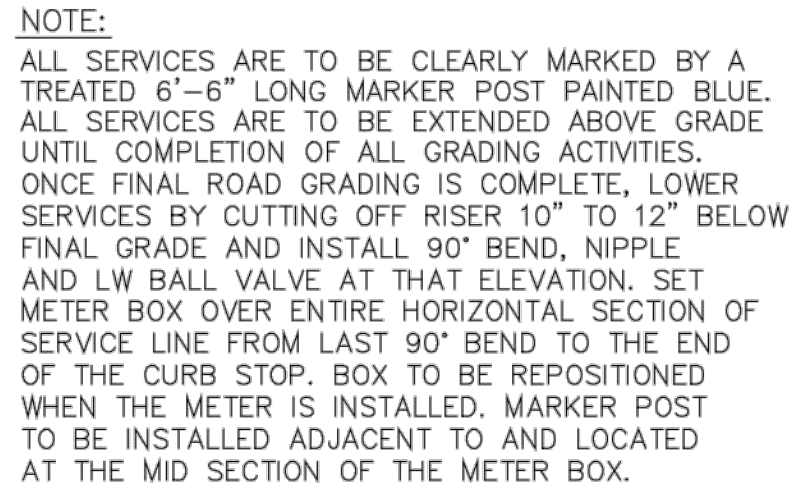
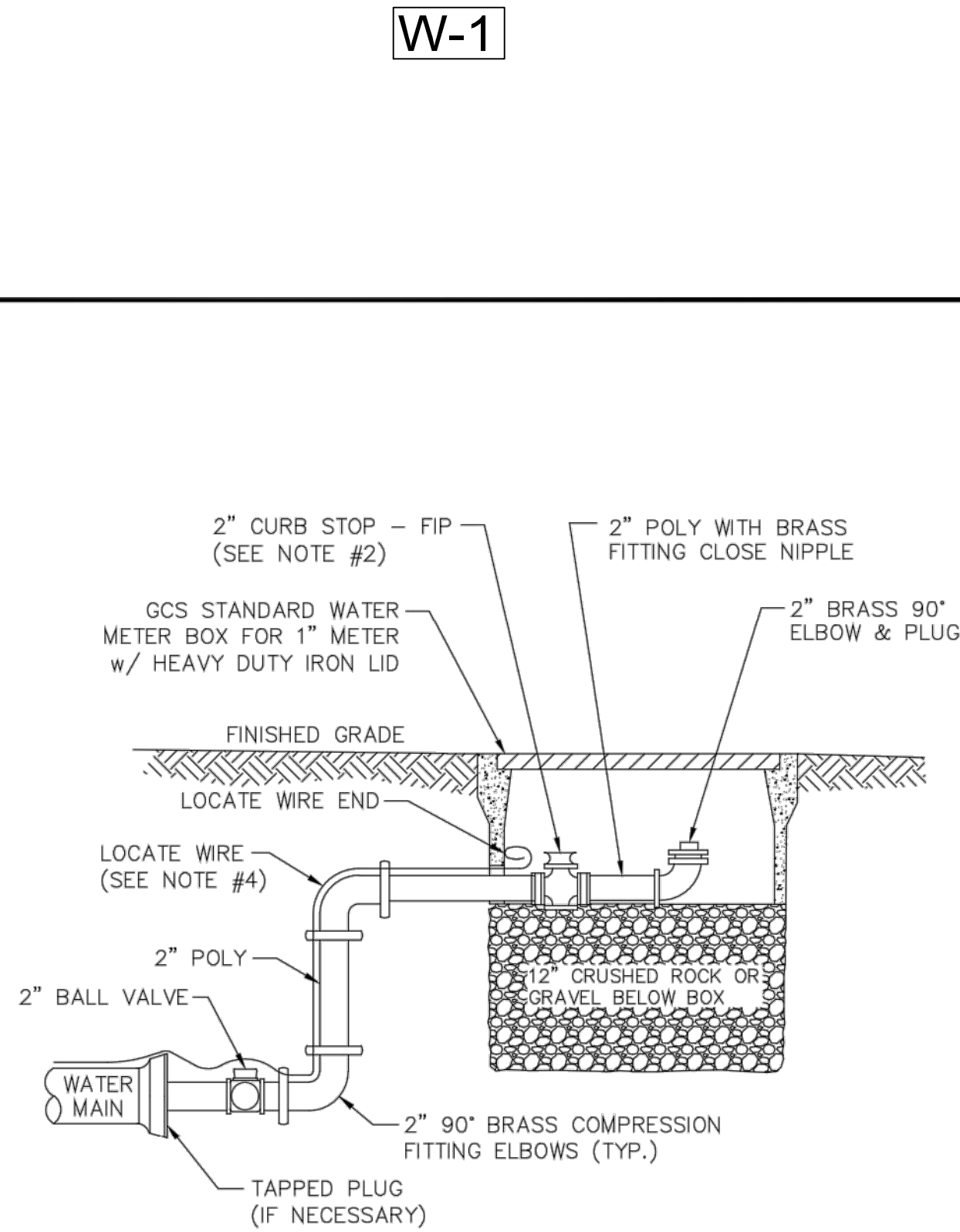
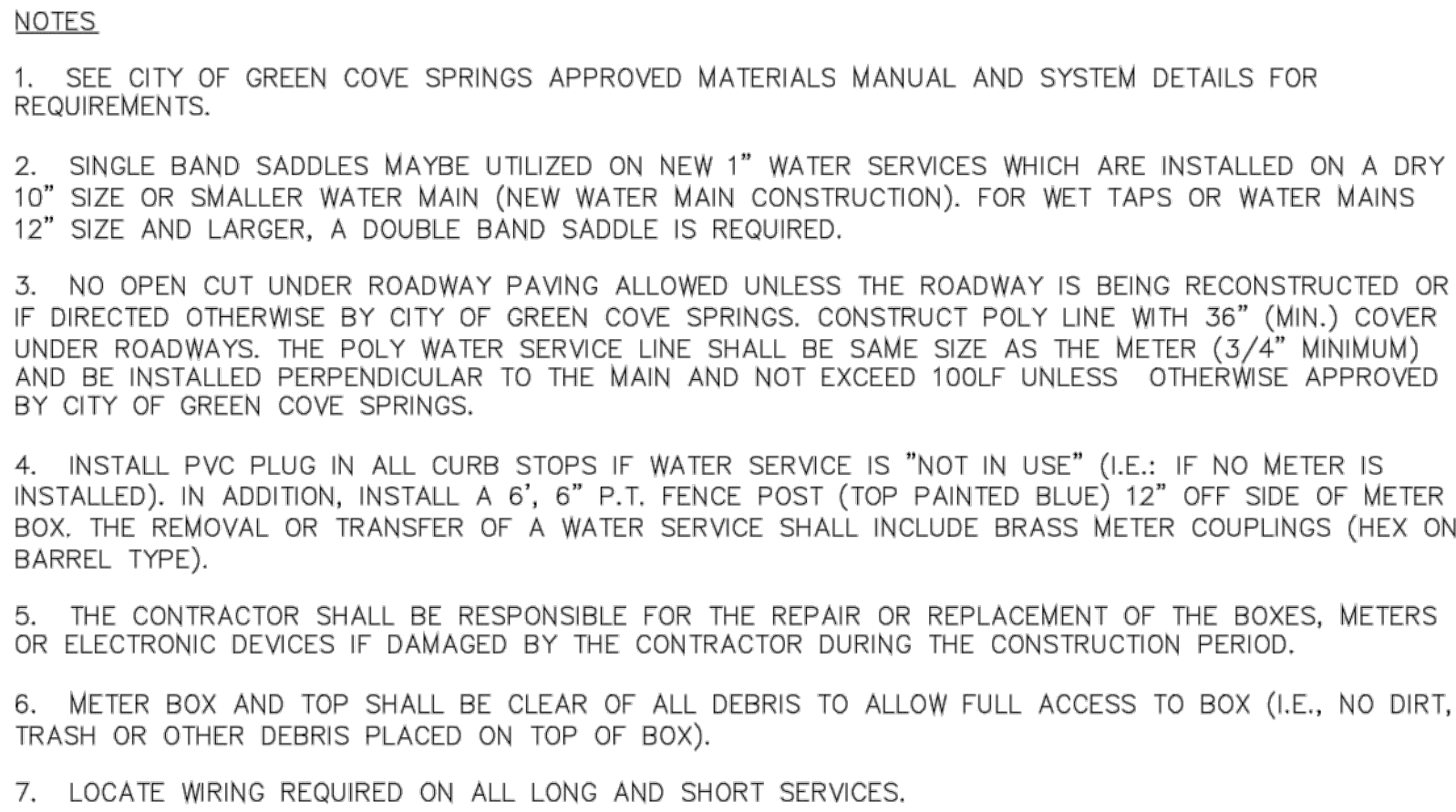
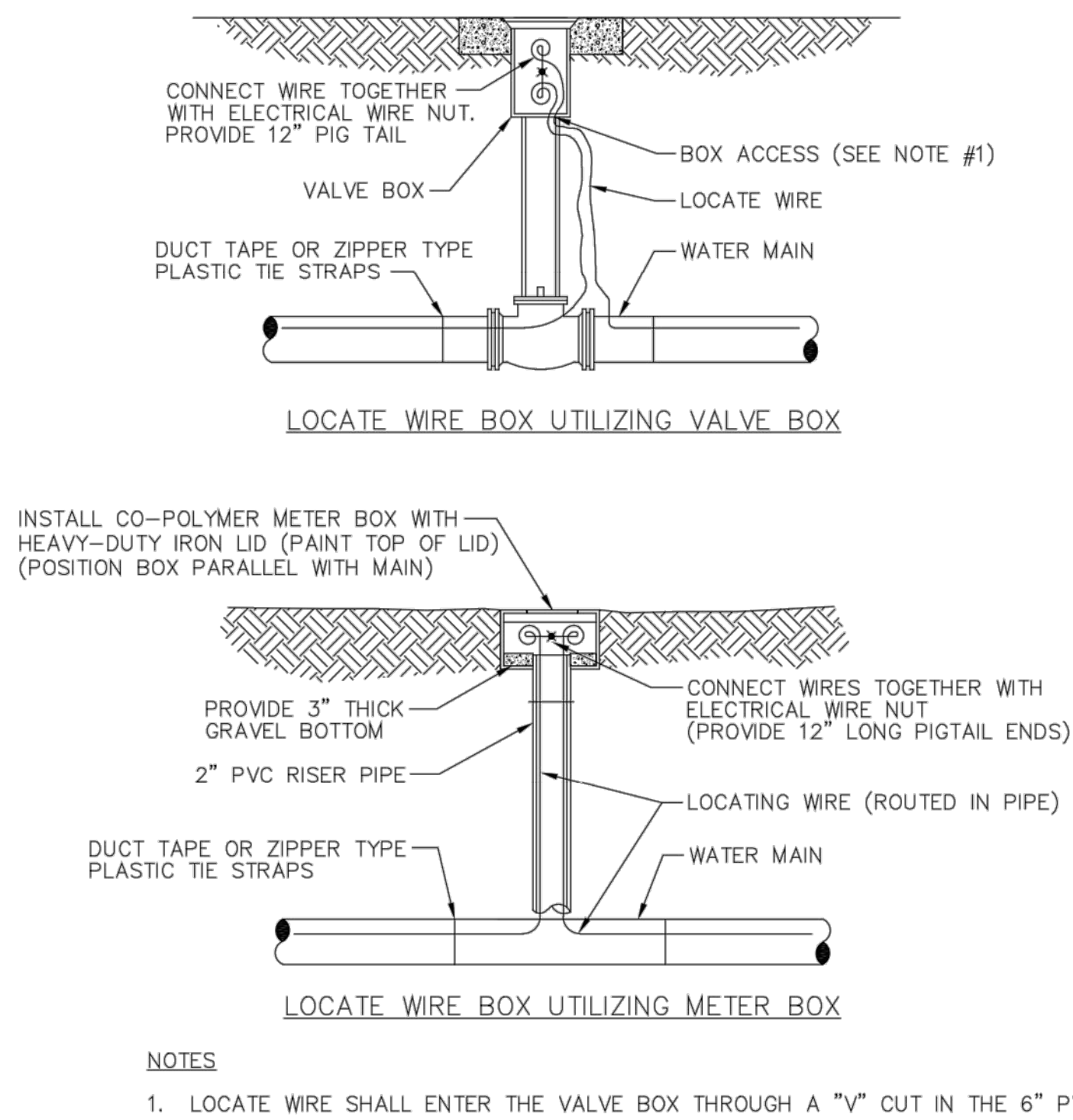
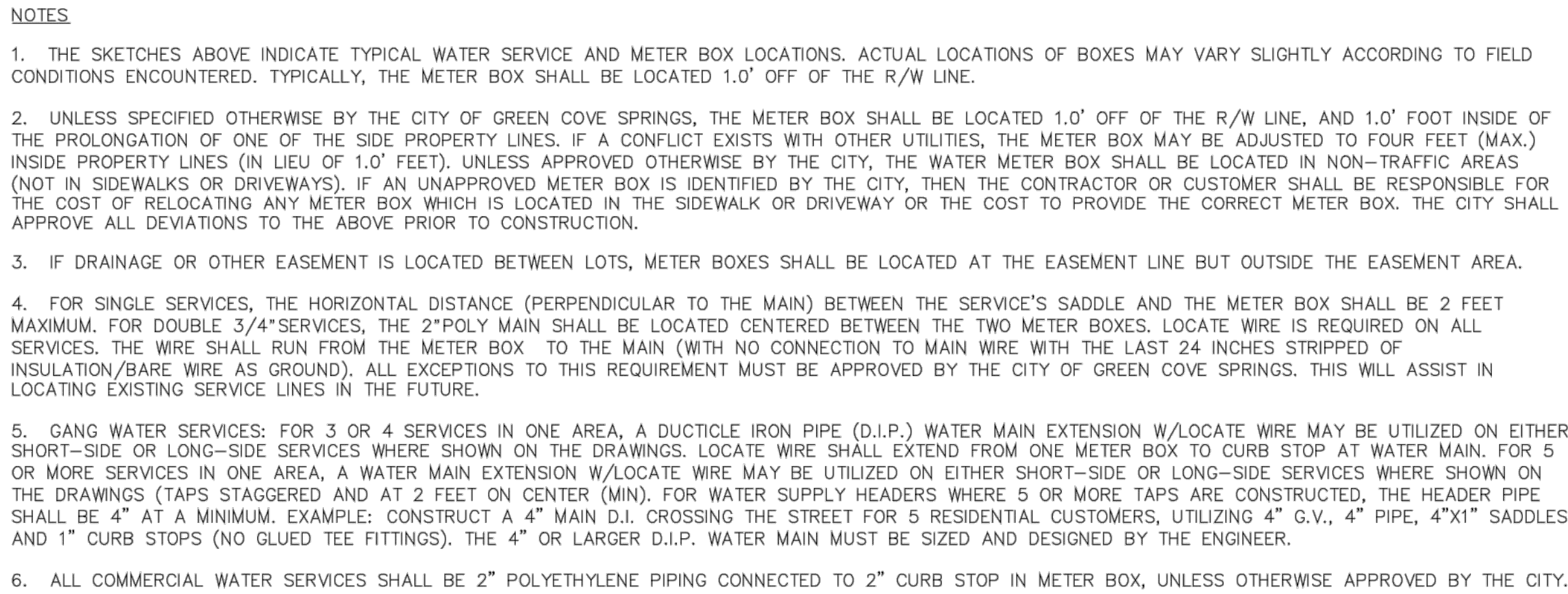
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REGISTERED ENGINEER

ELI MATTHEWS, P.E.
CA26553, FL #7515

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 <p>ACAD FILE NAME SERVICES.DWG</p> <p>SHEET NO.</p>	<p>CITY OF GREEN COVE SPRINGS 321 WALNUT STREET GREEN COVE SPRINGS, FLORIDA 32043</p>	<p>PROJECT: STANDARD WATER SERVICE DETAILS</p>	<p>DESIGN _____</p> <p>DRAWN _____</p> <p>CHECKED _____</p> <p>APPROVED _____</p> <p>DATE _____</p>	<p>NO _____</p> <p>DATE _____</p>	<p>SS _____</p> <p>BY _____</p>	<p>GENERAL UPDATES</p>	<p>REVISION DESCRIPTION</p>
			<p>1</p>	<p>FEB. 2016</p>	<p>SS</p>	<p>GENERAL UPDATES</p>	<p>REVISION DESCRIPTION</p>


CONTRACTOR'S REQUIREMENTS


SIGNATURE / DATE	BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SUBS	RESPONSIBLE FOR DUTIES
		GENERAL CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR
		SUB-CONTRACTOR

<https://www.epa.gov/npdes/construction-general-permit-resources-tools-and-templates#inspection>



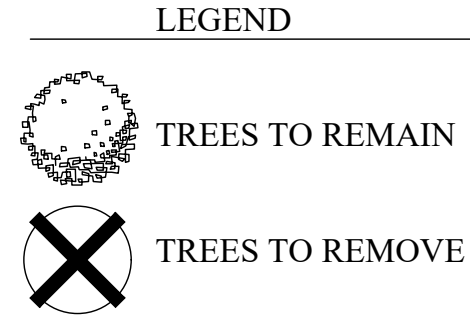
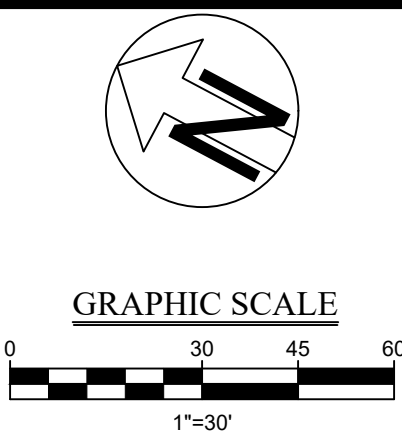
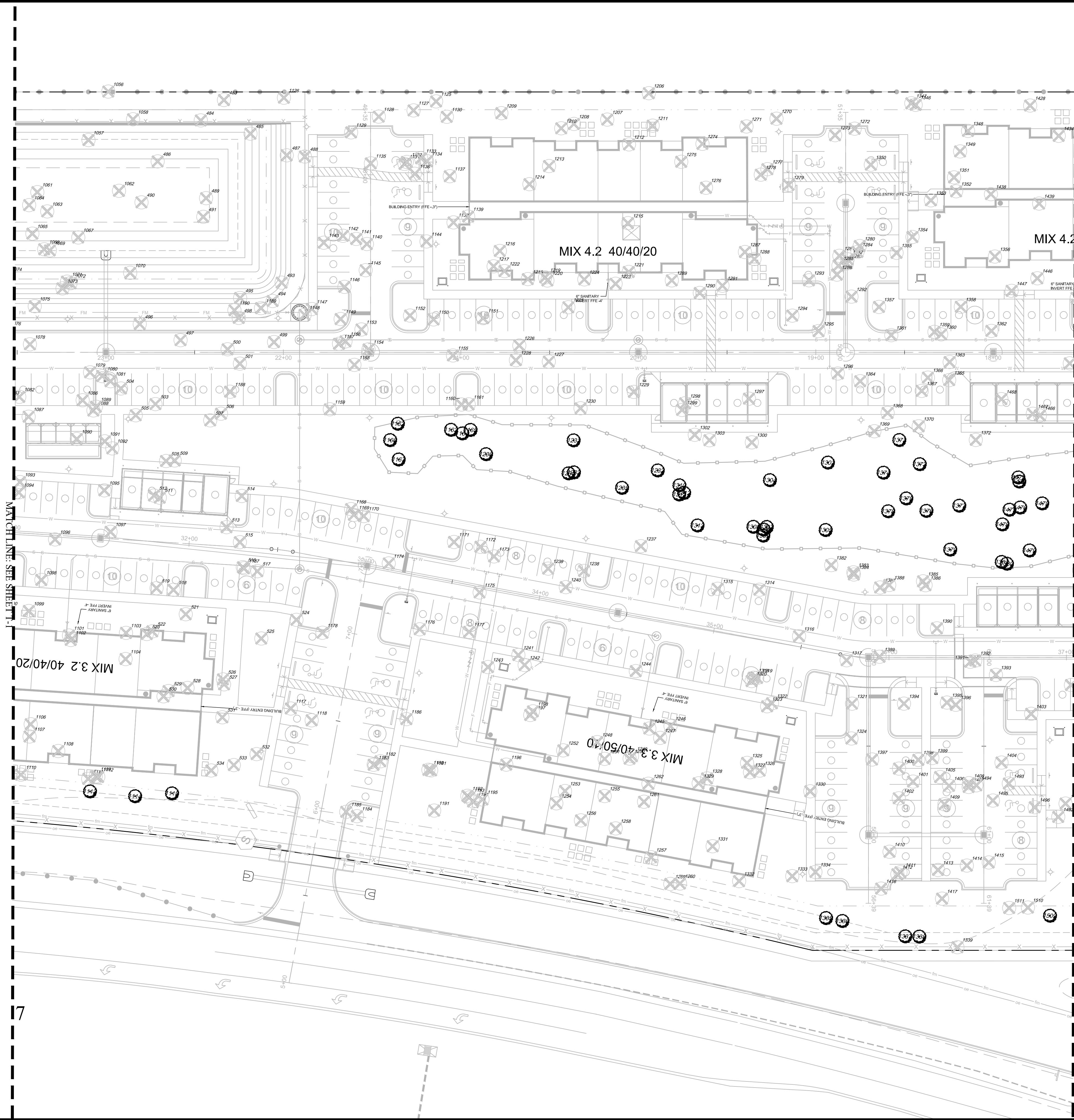
LEGEND

 TREES TO REMAIN

 TREES TO REMOVE

Page 89

PC 2024.02.24.06
GREEN COVE MASTER PLAN DEMOLITION CONSTRUCTION DOCUMENTS 2024 - TREE DEMOLITION PLAN (SHEET 2 OF 2) 2024.02.24.06
GREEN COVE MASTER PLAN DEMOLITION CONSTRUCTION DOCUMENTS 2024 - TREE DEMOLITION PLAN (SHEET 2 OF 2) 2024.02.24.06



Tree Number	Tree and DBH	Live Oak less 11"	Live Oak over 12"	Bald Cypress Inches	Southern Magnolia Inches	Other trees over 12" DBH
1075	TR-OAK, 10	10				
1076	TR-OAK, 14		14			
1077	TR-OAK, 11	11				
1078	TR-OAK, 11	11				
1079	TR-OAK, 18		18			
1080	TR-OAK, 9	9				
1081	TR-OAK, 9	9				
1082	TR-MAP, 6					0
1083	TR-MAP, 8, 8, 7, 7, C					31
1084	TR-OAK, 10	10				
1085	TR-OAK, 6	6				
1086	TR-SCM, 7					0
1087	TR-OAK, 17		17			
1088	TR-SCM, 6					0
1089	TR-SCM, 7					0
1090	TR-PINE, 9					0
1091	TR-PINE, 6					0
1092	TR-PINE, 6					0
1093	TR-OAK, 11	11				
1094	TR-OAK, 12		12			
1095	TR-OAK, 10	10				
1096	TR-OAK, 8, 2	10				
1097	TR-PINE, 7					0
1098	TR-OAK, 17		17			
1099	TR-OAK, 19		19			
1100	TR-OAK, 19		19			
1101	TR-OAK, 13		13			
1102	TR-OAK, 8	8				
1103	TR-OAK, 6, 5	11				
1104	TR-MAP, 8					0
1105	TR-OAK, 5, 4	9				
1106	TR-MAP, 7					0
1107	TR-MAP, 7					0
1108	TR-OAK, 27		27			
1109	TR-OAK, 23, L		23			
1110	TR-PINE, 17					17
1111	TR-MAP, 7, 4					0
1112	TR-MAP, 7					0
1117	TR-OAK, 19, 7, L		26			
1118	TR-OAK, 18		18			
1125	TR-OAK, 11	11				
1126	TR-OAK, 12		12			
1127	TR-OAK, 8	8				
1128	TR-OAK, 11	11				
1129	TR-OAK, 14		14			
1130	TR-OAK, 12		12			
1131	TR-OAK, 7	7				
1132	TR-OAK, 6	6				
1133	TR-OAK, 6	6				
1134	TR-OAK, 8	8				
1135	TR-OAK, 19, 6, D		25			
1136	TR-OAK, 11, 9, D		20			
1137	TR-OAK, 14		14			
1138	TR-OAK, 8	8				
1139	TR-OAK, 13		13			
1140	TR-OAK, 9	9				
1141	TR-OAK, 6	6				
1142	TR-OAK, 8	8				
1143	TR-OAK, 9	9				
1144	TR-OAK, 8, 3, 2, 1, C		12			
1145	TR-PINE, 7					0
1146	TR-OAK, 11	11				
1147	TR-SCM, 8					0
1148	TR-SCM, 6, 5					0
1149	TR-MAP, 8, 8					16
1150	TR-MAP, 6, 3					0
1151	TR-OAK, 15		15			
1152	TR-OAK, 5, 5	10				
1153	TR-MAP, 5, 4					0
1154	TR-MAP, 8					0
1155	TR-OAK, 18		18			
1156	TR-OAK, 6, 3	9				
1157	TR-MAP, 7					0
1158	TR-SCM, 6					0
1159	TR-MAP, 8, 7					15
1160	TR-SCM, 12					12
1161	TR-SCM, 7					0
1168	TR-OAK, 12		12			
1169	TR-OAK, 12		12			
1170	TR-MAP, 4, 4, 4, 3, C					15
1171	TR-OAK, 8	8				
1172	TR-OAK, 10	10				
1173	TR-OAK, 10	10				
1174	TR-OAK, 16, 15, D		31			
1175	TR-OAK, 10	10				
1176	TR-OAK, 16		16			
1177	TR-OAK, 17		17			
1178	TR-OAK, 10	10				
1180	TR-OAK, 12		12			
1181	TR-OAK, 13		13			
1182	TR-OAK, 12		12			
1183	TR-SCM, 7					0
1184	TR-SCM, 9					0
1185	TR-PINE, 17					17
1186	TR-OAK, 20		20			
1187	TR-OAK, 9	9				
1188	TR-PINE, 6					0
1189	TR-OAK, 6	6				
1190	TR-OAK, 6	6				
1191	TR-SCM, 6					0

REGISTERED
LANDSCAPE ARCHITECT
CASE#26335, FL #666667

REVISIONS
NO. DATE DESCRIPTION

E.J.L. G.F.M. E.J.L. XX-XX-XX 22034

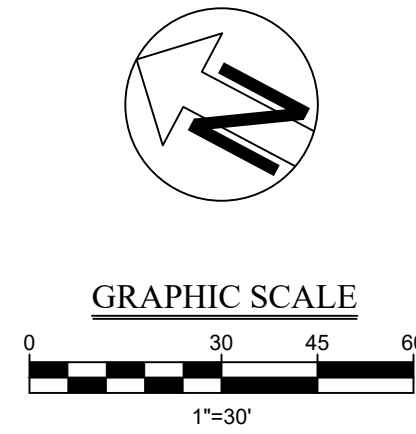
Matthews **DECCM**

P.O. BOX 3126, 7 WALDO STREET
ST. AUGUSTINE, FL 32084
PHONE: 904.826.1334 • FAX: 904.826.4547
INFO@MDGNC.COM

TREE DEMOLITION PLAN

PRESERVE AT GREEN COVE SPRING
CITY OF GREEN COVE SPRING
PREPARED FOR
PC ACQUISITION LLC

SHEET NO.: 7-2 OF XX



Thee Number	Tree and DBH	Live Oak less 11"	Live Oak over 12"	Bald Cypress inches	Southern Magnolia inches	Other trees over 12" DBH
1192	TROSM 9.8					17
1193	TROSM 8					0
1194	TROSM 8					0
1195	TROWK 30		30			
1196	TROWK 18, 13, 5 T.L		36			
1197	TROWK 13		13			
1198	TROWK 15		15			
1206	TROWK 9	9				
1207	TROWK 12		12			
1208	TROWK 9	9				
1209	TROSM 13					13
1210	TROWK 11, 9 D		20			
1211	TROWK 11	11				
1212	TRANE 6					0
1213	TRAMP 7					0
1214	TROWK 12		12			
1215	TROWK 11	11				
1216	TROWK 11, 3 D		14			
1217	TROWK 10	10				
1218	TROWK 7	7				
1219	TROWK 7	7				
1220	TROWK 10	10				
1221	TRANE 6					0
1222	TRANE 6					0
1223	TRANE 6					0
1224	TROWK 10	10				
1225	TRANE 6					0
1226	TRAMP 6.3					0
1227	TRANE 8					0
1228	TROWK 6.3	9				
1229	TROWK 11, 4 D		15			
1230	TROWK 13, 10 D		23			
1231	TROWK 11	11				
1232	TROWK 17		17			
1239	TROWK 11	11	13			
1240	TROWK 10, 3 D					
1241	TROWK 13		13			
1242	TROWK 10	10				
1243	TROWK 13, 9 D		22			
1244	TRANE 7					0
1245	TROWK 9	9				
1246	TROWK 11, 5 D		17			
1247	TROWK 8	8				
1248	TROWK 14, 4 D		18			
1249	TROWK 8	8				
1250	TROWK 8, 7		15			
1251	TROWK 10, 3 D		13			
1252	TROWK 13		13			
1253	TROWK 7	7				
1254	TROWK 13, 7 D		20			
1255	TROWK 30, 3 L		34			
1256	TROWK 11	11				
1257	TROWK 19, 15 D		20			
1258	TROWK 7	7				
1259	TRANE 1-146 6.4 T					23
1260	TRANE 11					0
1261	TRANE 6					0
1262	TRANE 6					0
1270	TRANE 6					0
1271	TROWK 8, 5		13			
1272	TROWK 14		14			
1273	TRANE 6					0
1274	TROWK 7	7				
1275	TROWK 9	9				
1276	TROWK 7, 7		14			
1277	TROWK 8	8				
1278	TROWK 11, 9, 7, 7, C		34			
1279	H2, 8, 3					0
1280	TROSM					0
1281	TROWK 8	8				
1282	TROWK 7	7				
1283	TROWK 8	8				
1284	TROWK 9	9				
1285	TROWK 12		12			
1286	TROWK 6	6				
1287	TROWK 10	10				
1288	TROWK 9	9				
1289	TROWK 11	11				
1290	TROWK 10	10				
1291	TROWK 10	10				
1292	TROWK 7	7				
1293	TROSM 7					0
1294	TRANE 6					0
1295	TROWK 8					0
1296	TROWK 8, 8	8				
1297	TRANE 6					0
1298	TROWK 9	9				
1299	TROWK 8	8				
1300	TROWK 10, 4, 2 T		16			
1302	TROSM 12, 10, 8 T					30
1303	TROWK 10	10				
1314	TROWK 14		14			
1315	TROWK 10, 4		14			
1316	TROWK 11	11				
1317	TROWK 10	10				
1318	TROWK 8	8				
1319	TROWK 10, 5 D		15			
1320	TROWK 7	7				
1321	TRANE 7					0
1322	TROWK 10	10				
1323	TROWK 14		14			
1324	TROWK 10	10				
1325	TRAMP 7					0
1326	TROWK 13		13			
1327	TROWK 6, 4, 4, 2, C		16			
1328	TROWK 14		14			
1329	TROWK 8, 3 L	8				
1330	TROWK 11	11				
1331	TROWK 12		12			
1332	TROWK 8	6				
1333	TROWK 20		20			
1334	TROWK 6, 2	6				

SHEET No.:		TREE DEMOLITION PLAN		<p>Matthews DCCM</p> <p>P.O. BOX 3126, 7 WALDO STREET ST. AUGUSTINE, FL 32084</p> <p>PHONE: 904.826.1354 • FAX: 904.826.4547</p> <p>INFO@MDGNC.COM</p>		<p>DESIGN BY: EUL</p> <p>DWG BY: GPM</p> <p>CHK BY: EUL</p> <p>DATE: XX-XX-XX</p> <p>JOB No.: 22034</p>		<p>NO.</p> <p>DATE</p>		<p>REVISIONS</p>	
<p>PREPARED FOR</p> <p>PC ACQUISITION LLC</p>		<p>PRESERVE AT GREEN COVE SPRING</p> <p>CITY OF GREEN COVE SPRING</p>		<p>P.O. BOX 3126, 7 WALDO STREET ST. AUGUSTINE, FL 32084</p>		<p>DESCRIPTION</p>					



S:\PROJECTS\22000\22034 - GREEN COVE MULTI-FAMILY\DRAWINGS\CONSTRUCTION DOCUMENTS\22034 - TREE DEMOLITION PLANDWG T-4.dwg 10:45 AM Gloria Mura, MATTHEWS DCOM, INC.

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S:\PROJECTS\22000\22034 - GREEN COVE MULTI-FAMILY\DRAWINGS\CONSTRUCTION DOCUMENTS\22034 - TREE DEMOLITION PLANDWG T-4.dwg 10:45 AM Gloria Mura, MATTHEWS DCOM, INC.

Tree Number	Tree and DBH	Live Oak less 11"	Live Oak over 12"	Bald Cypress Inches	Southern Magnolia Inches	Other trees over 12" DBH
3055	TROAK, 11	11				
3056	TROAK, 9	9				
3057	TROAK, 6.4-3T		13			
3058	TROAK, 12		12			
3059	TROAK, 17		17			
3066	TROAK, 8	8				
3067	TROAK, 7	7				
3068	TROAK, 11	11				
3069	TRSGM, 12					12
3070	TROAK, 6	6				
3071	TROAK, 19		19			
3072	TROAK, 9	9				
3073	TROAK, 12		12			
3074	TROAK, 6	6				
3075	TRSGM, 9.6-5T					20
3076	TRSGM, 7.4D					11
3077	TRSGM, 11.4					15
3078	TROAK, 7	7				
3079	TRSGM, 12-7D					19
3080	TRSGM, 8					0
3081	TROAK, 8-4D	10				
3082	TROAK, 5-3-3T	11				
3083	TRSGM, 9-7-4-4C		24			
3084	TRSGM, 10					0
3085	TROAK, 6	6				
3086	TRAMP, 6.5-4T					15
3087	TRSGM, 13					0
3088	TROAK, 6	6				
3089	TROAK, 14-11D		14			
3090	TROAK, 14-14DL		28			
3091	TROAK, 8	8				
3092	TROAK, 6	6				
3093	TROAK, 7	7				
3094	TROAK, 11	11				
3095	TROAK, 7	7				
3096	TROAK, 7	7				
3097	TROAK, 12		12			
3098	TROAK, 6	6				
3099	TROAK, 7.5-2T		14			
3100	TROAK, 7.6-3T		16			
3101	TROAK, 12		12			
3102	TROAK, 12		12			
3103	TROAK, 7	7				
3104	TROAK, 6-6D		12			
3105	TROAK, 8-5D		13			
3106	TROAK, 6.6-4-3C		18			
3107	TROAK, 11	11				
3108	TROAK, 11	11				
3109	TROAK, 5.4-4-3C		16			
3110	TROAK, 9.6-7T		24			
3111	TROAK, 19		19			
3112	TROAK, 14		14			
3113	TROAK, 14		14			
3114	TROAK, 7	7				
3115	TROAK, 6	6				
3116	TROAK, 12-8D		20			
3117	TROAK, 8	8				
3118	TROAK, 13		13			
3119	TROAK, 17		17			
3120	TROAK, 14		14			
3130	TROAK, 9	9				
3131	TROAK, 8.7-6-5C		26			
3132	TROAK, 11	11				
3133	TROAK, 9-7D		16			
3134	TRSGM, 6					0
3135	TROAK, 9	9				
3136	TROAK, 11	11				
3137	TROAK, 6	6				
3138	TROAK, 13		13			
3139	TRSGM, 7.6-6-4C					23
3140	TROAK, 9	9				
3141	TROAK, 8	8				
3142	TROAK, 12		12			
3143	TROAK, 8-4D		12			
3144	TROAK, 7	7				
3145	TROAK, 13		13			
3146	TROAK, 6	6				
3147	TRSGM, 12-11D					23
3148	TROAK, 11	11				
3149	TRSGM, 9	9				
3150	TROAK, 8	8				
3151	TROAK, 6	6				
3152	TROAK, 10	10				
3153	TROAK, 9	9				
3154	TROAK, 9	9				
3155	TROAK, 11	11				
3156	TRSGM, 6					0
3157	TRSGM, 7					0
3158	TRSGM, 9					0
3159	TRSGM, 9					0
3160	TROAK, 8	8				
3161	TROAK, 11	11				

Tree Number	Tree and DBH	Live Oak less 1"	Live Oak over 12"	Bald Cypress Inches	Southern Magnolia Inches	Other trees over 12" DBH
3162	TRSGM, 9					0
3163	TROAK, 11	11				
3164	TROAK, 12		12			
3165	TROAK, 13-7-3T		23			
3166	TROAK, 7-4D	11				
3167	TROAK, 8	8				
3168	TROAK, 7	7				
3169	TROAK, 12		12			
3170	TROAK, 9	9				
3171	TRAMP 7-3D					0
3172	TROAK, 8	8				
3173	TROAK, 9	9				
3174	TROAK, 11	11				
3175	TROAK, 15		15			
3176	TROAK, 10	10				
3177	TROAK, 7	7				
3178	TROAK, 11-7D		18			
3179	TROAK, 8-3D	9				
3180	TROAK, 12		12			
3181	TROAK, 11	11				
3182	TROAK, 11	11				
3183	TROAK, 10	10				
3184	TROAK, 14		14			
3185	TROAK, 11	11				
3186	TRSGM, 10					0
3187	TRSGM, 7-6D					13
3188	TRSGM, 7					0
3189	TRSGM, 6					0
3190	TRSGM, 8-4D					12
3191	TROAK, 5-4-3-3C		15			
3192	TROAK, 8-4-4-4C		20			
3193	TROAK, 14		14			
3194	TROAK, 10	10				
3195	TROAK, 9	9				
3196	TROAK, 38L		38			
3197	TROAK, 9	9				
3198	TROAK, 8-3D	8				
3199	TROAK, 7	7				
3200	TROAK, 9	9				
3201	TROAK, 10-7-6-5, C		28			
3202	TROAK, 7-6-6-4, C		23			
3203	TROAK, 10	10				
3204	TROAK, 7	7				
3205	TROAK, 17		17			
	Totals	2842	3894			760

(We are assuming that 50 % of the oaks surveyed are Live Oaks)
(See sheet L1 showing live oak and other trees proposed and their total inches)

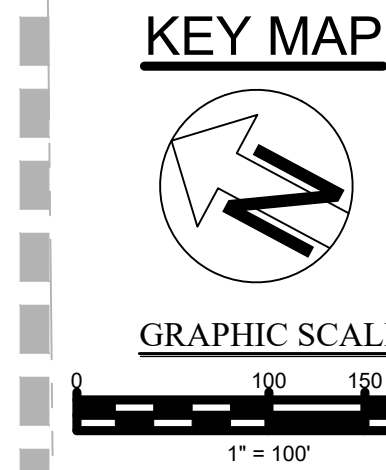
LIVE OAKS REMOVED - LIVE OAKS PLANTED = (3,894"/2) - 246" = 1,701"

OTHER TREES OVER 12" + NON-LIVE OAKS OVER 12" DBH REMOVED - OTHER TREES PLANTED =




FINAL DEFICIT - CREDIT AND TREE FUND PAYMENT =
1,701" - 513.5" = 1,187.5" * \$188 = \$223,250

TREES TO REMAIN		Live Oak, Bald Cypress, Southern Magnolia/Inches				Other species
Tree Number	Tree and DEH	<12" D.B.H.	12"-18" D.B.H.	18"-30" D.B.H.	30"+ D.B.H.	D.B.H 12"+
539	TR-OAK<37				37	
540	TR-SGM+14+12+11+11					48
541	TR-OAK<10	10				
562	TR-PINE+10					0
563	TR-PINE+12					12
564	TR-PINE+6					0
565	TR-OAK+16			16		
566	TR-OAK+12		12			
567	TR-PINE+10					0
568	TR-PINE+9					0
569	TR-PINE+10					0
733	TR-PINE+7					0
1113	TR-PINE+12					12
1114	TR-OAK+13+9+D			22		
1115	TR-PINE+8					0
1162	TR-OAK+12		12			
1163	TR-OAK+18		18			
1164	TR-OAK<7	7				
1165	TR-SGM+15					15
1166	TR-MAP+6					0
1167	TR-OAK+15+11+3+T			29		
1231	TR-OAK+13		13			
1232	TR-OAK+10	10				
1233	TR-MAP+7+2					0
1234	TR-MAP+7					0
1235	TR-OAK<7	7				
1236	TR-MAP+7					0
1301	TR-OAK+18		18			
1304	TR-PINE+6					0
1305	TR-OAK+14+4+D		18			
1306	TR-OAK+6	6				
1307	TR-OAK+9	9				
1308	TR-OAK+14		14			
1309	TR-OAK+6	6				
1310	TR-OAK+6	6				
1311	TR-OAK+11+7+6+T			24		
1312	TR-OAK+6+3	9				
1313	TR-PINE+7					0
1335	TR-PINE+18					18
1336	TR-PINE+10					
1337	TR-PINE+8					
1338	TR-PINE+7					
1371	TR-PINE+9					
1373	TR-PINE+7+3					
1374	TR-PINE+6					
1375	TR-PINE+7					
1376	TR-OAK<7	7				
1377	TR-OAK+21+9+7+5+C				41	
1378	TR-PINE+7					0
1379	TR-OAK+10	10				
1380	TR-OAK+12		12			
1381	TR-OAK+8	8				
1470	TR-OAK+12		12			
1471	TR-OAK+16		16			0
1472	TR-OAK+10	10				
1473	TR-OAK+9	9				
1474	TR-OAK+10	10				
1475	TR-PINE+6					0
1476	TR-OAK+9	9				
1477	TR-PINE+7					0
1478	TR-PINE+8					0
1479	TR-PINE+7					0
1480	TR-PINE+9					0
1502	TR-OAK+12		12			
1507	TR-OAK+12		12			
1508	TR-PINE+24					24
1509	TR-OAK+29			29		
1510	TR-OAK+6	6				
1511	TR-OAK+9	9				
1563	TR-PINE+9					0
1564	TR-PINE+10					0
1688	TR-OAK+14+11+D			25		
1689	TR-OAK+12		12			
1670	TR-OAK+11	11				
1671	TR-OAK+6+4	10				
1672	TR-OAK+10	10				
1673	TR-OAK<7	7				
1674	TR-OAK+12+4+D		16			
1675	TR-OAK+8	8				
1676	TR-OAK+13		13			
1677	TR-OAK+12		12			
1678	TR-OAK<7	7				
	TOTAL		222	145	110	129
						CREDIT
						TOTAL
TREES 12 TO 18: LIVE OAK		111				111
TREES TO 16 ALL OTHERS		111			110.5	55.5
TREES 19 TO 30: LIVE OAK			72.5		111.25	90.625
TREES 19 TO 30 ALL OTHERS				72.5	110.75	54.375
TREES 30+ LIVE OAK				55	111.50	82.5
TREES 30+ ALL OTHERS				55	111	55
ALL OTHER SPECIES 12" +		129			110.5	64.5
						TOTAL CREDIT
						513.5

SHEET No.: T-5 OF XX	TREE DEMOLITION PLAN	PRESERVE AT GREEN COVE SPRING CITY OF GREEN COVE SPRING PREPARED FOR PC ACQUISITION, LLC	Matthews	BCCM P.O. BOX 3126, 7 WALDO STREET ST. AUGUSTINE, FL 32084 PHONE: 904.826.1334 • FAX: 904.826.4547 INFO@GMDINC.COM	PERSON BY: DATE: 11/11/2023 JOB NO.: 22034	EJL GPM EJL XX-XX-XX	NO. DATE NO. DATE NO. DATE NO. DATE NO. DATE NO. DATE NO. DATE	REVISIONS DESCRIPTION
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OVERALL PLANT SCHEDULE

SHRUBS						
	IV	Ilex vomitoria	Yaupon Holly	YES	24" Ht. 36" O.C.	258
	VO	Viburnum obovatum	Walter's Viburnum	YES	24" Ht. 36" O.C.	215
SHRUB AREAS						
	MC	Muhlenbergia capillaris	Pink Muhly Grass	YES	24" Ht. / 36" OC.	247

PROPERTY FRONTING U.S HIGHWAY 17

-CANOPY TREES : 1434 L.F. / 50 = 28.68 = 29 CANOPY TREES REQUIRED
PROPOSED 16 AND EXISTING 17 TREES TO REMAIN= 33 CANOPY TREES.

-NON-CANOPY OR UNDERSTORY TREE : 4 TREES / 100 L.F. = 1434 L.F. / 25 = 57.36 = 57 NON-CANOPY TREES REQUIRED
PROPOSED 36 NON-CANOPY TREES.

-SHRUBS : 9 SHRUBS / 100 L.F. = 1434 L.F. / 11.11 = 129.06 = 129 SHRUBS REQUIRED
PROPOSED 199 SHRUBS.

INTERIOR LANDSCAPE AREA
The trees shall be and equal proportion of shade (canopy and understorey) trees. At minimum, 15% of the site shall be landscaped.

SILT FENCE AREA = 13.65 ACRES X 15% = 2.04 ACRES INTERNAL LANDSCAPE REQUIRED:
PARKING AREA = 151,377 / 43,560 = 3.47 ACRES
PARKING ISLANDS = 18,446 / 43,560 = 0.42 ACRES
INTERNAL LANDSCAPE PROPOSED = 4.60 ACRES
TOTAL CANOPY TREES = 80 PROPOSED
TOTAL NON CANOPY = 36 PROPOSED.

EXISTING 46 TREES TO REMAIN
5 SHRUBS REQUIRED PER EACH PROPOSED TREE = 116 TREES X 5 = 580 SHRUBS REQ. PROPOSED 620 SHRUBS.

BUFFER A:
 -CANOPY TREES : 1/ 50 L.F. = 271 L.F./50 L.F. = 5 CANOPY TREES REQUIRED
 PROPOSED 3 AND EXISTING 2 TREES OFF-SITE= 5 CANOPY TREES.
 -NON-CANOPY OR UNDERSTORY TREE : 1/50 L.F. = 271 L.F. / 50 = 5 NON-CANOPY TREES REQUIRED
 PROPOSED 5 NON-CANOPY TREES.

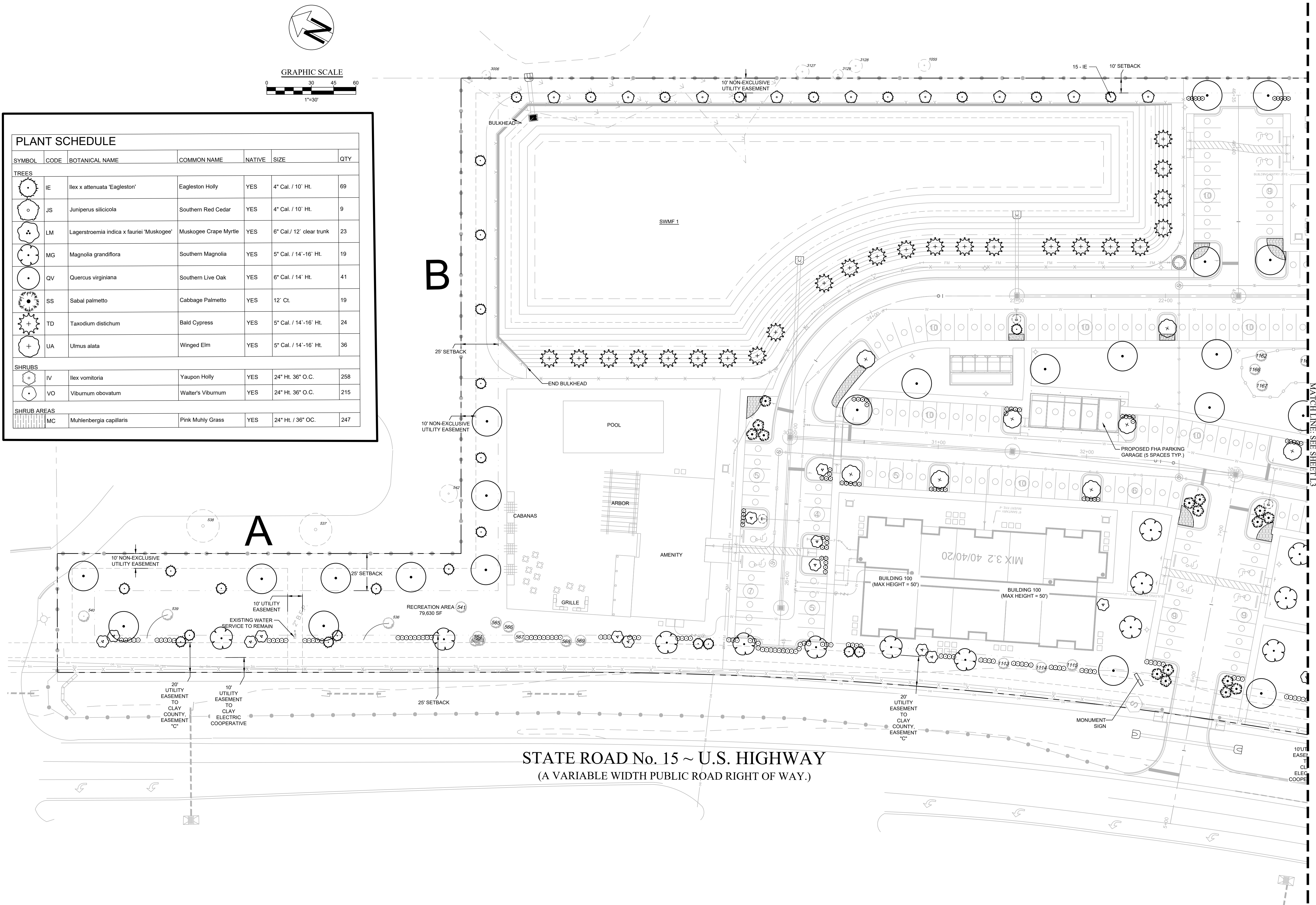
BUFFER B:
 -CANOPY TREES : 1/ 50 L.F. = 319 L.F./50 L.F. = 6 CANOPY TREES REQUIRED
 PROPOSED 3 AND EXISTING 1 TREES OFF-SITE= 4 CANOPY TREES (CAN'T PLANT ON EASEMENT)
 -NON-CANOPY OR UNDERSTORY TREE : 1/50 L.F. = 319 L.F. / 50 = 6 NON-CANOPY TREES REQUIRED
 PROPOSED 6 NON-CANOPY TREES.

BUFFER C:
 -CANOPY TREES : 1/ 50 L.F. = 1,337 L.F./50 L.F. = 27 CANOPY TREES REQUIRED
 PROPOSED 14 AND EXISTING 10 TREES OFF-SITE= 24 CANOPY TREES
 -NON-CANOPY OR UNDERSTORY TREE : 1/50 L.F. = 1,337 L.F. / 50 = 27 NON-CANOPY TREES REQUIRED
 PROPOSED 21 NON-CANOPY TREES.

BUFFER D:
 CANOPY TREES : 1/ 50 L.F. = 477 L.F./50 L.F.= 10 CANOPY TREES REQUIRED
 PROPOSED 2 CANOPY TREES
 NON-CANOPY OR UNDERSTORY TREES : 1/50 L.F. = 477 L.F. / 50 = 10 NON-CANOPY TREES REQUIRED
 PROPOSED 6 NON-CANOPY TREES.

PDF 2024-02-26-05:00
GREEN CODE MULTI-FAMILY RESIDENTIAL CONSTRUCTION DOCUMENTS 2023.04 LANDSCAPE PLANS L-2, 2/12/2023 11:01 AM, GINA M. MATTHEWS, DCCM, INC.

PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE	QTY
TREES						
	IE	Ilex x attenuata 'Eagleston'	Eagleston Holly	YES	4" Cal. / 10' Ht.	69
	JS	Juniperus silicicola	Southern Red Cedar	YES	4" Cal. / 10' Ht.	9
	LM	Lagerstroemia indica x fauriei 'Muskogee'	Muskogee Crape Myrtle	YES	6" Cal. / 12' clear trunk	23
	MG	Magnolia grandiflora	Southern Magnolia	YES	5" Cal. / 14'-16" Ht.	19
	QV	Quercus virginiana	Southern Live Oak	YES	6" Cal. / 14' Ht.	41
	SS	Sabal palmetto	Cabbage Palmetto	YES	12' Cl.	19
	TD	Taxodium distichum	Bald Cypress	YES	5" Cal. / 14'-16" Ht.	24
	UA	Ulmus alata	Winged Elm	YES	5" Cal. / 14'-16" Ht.	36
SHRUBS						
	IV	Ilex vomitoria	Yaupon Holly	YES	24" Ht. 36" O.C.	258
	VO	Viburnum obovatum	Walter's Viburnum	YES	24" Ht. 36" O.C.	215
SHRUB AREAS						
	MC	Muhlenbergia capillaris	Pink Muhly Grass	YES	24" Ht. / 36" OC.	247



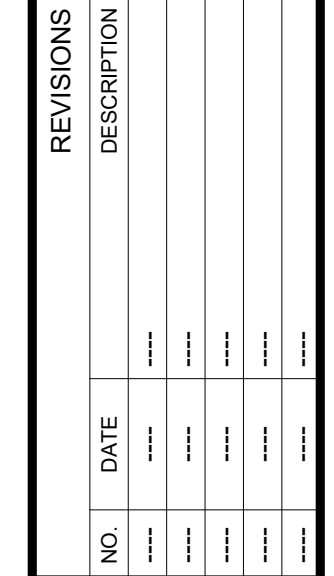
LANDSCAPE PLAN
PRESERVE AT GREEN COVE SPRING
CITY OF GREEN COVE SPRING
PREPARED FOR
PC ACQUISITION LLC

Matthews **DCCM**
P.O. BOX 3126, 7 WALDO STREET
ST. AUGUSTINE, FL 32084
PHONE: 904.826.1334 • FAX: 904.826.4547
INFO@MDGINC.COM

DESIGN BY		EJL	GPM	DATE		JOB No.	
DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.
XX-XX-XX	22034	XX-XX-XX	22034	XX-XX-XX	22034	XX-XX-XX	22034

REGISTERED
LANDSCAPE ARCHITECT
FLORIDA
CA#29335 FL #868687

SHEET NO.:
L-2
OF XX



DSGN BY:	EJL
DWG BY:	GPM
CHK BY:	EJL
DATE:	XX-XX-XX
JOB No.:	22034

Matthews | **DECM**

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LANDSCAPE PLAN
PRESERVE AT GREEN COVE SPRING
CITY OF GREEN COVE SPRING
PREPARED FOR
PC ACQUISITION LLC

SHEET No.:
L-3
OF XX

Preserve at Green Cove Springs Planned Unit Development

City of Green Cove Springs, Florida

March 8, 2022
Revised April 11, 2022

Team Roster

Owners:

J.P. Hall Revocable Trust, Virginia Hall, as Trustee; Virginia Hall Revocable Trust; CHS, LLC; Lyman G. Hall
 2321 Egremont Drive
 Orange Park, Florida 32073

Applicant:

PC Acquisition, LLC
Walter M. Hall, III, Eric Conkright, John Cattano
 3475 Piedmont Road NE, Suite 1125
 Atlanta, Georgia 30305
 (404) 496-4100

Transportation:

Chindalur Traffic Solutions, Inc.
Rajesh Chindalur
 8833 Perimeter Park Boulevard, Suite 103
 Jacksonville, Florida 32216
 (904) 619-3368

Legal:

Rogers Towers, P.A.
Ellen Avery-Smith, Esq.
 100 Whetstone Place, Suite 200
 St. Augustine, Florida 32086
 (904) 825-1615

Exhibit List:

Exhibit "A" – Legal Description of the Property
 Exhibit "B" – Conceptual Development Plan

A. Development Summary

This application proposes to rezone approximately **14** acres that is a portion of Clay County Parcel No. **38-06-26-016499-007-00** (the **“Property”**) from Light Industrial (Clay County) to Planned Unit Development (**“PUD”**) in the City of Green Cove Springs. The Property is owned by John Bishop, as Trustee, et al. (the **“Owner”**), and is under contract for purchase by PC Acquisition, LLC (the **“Applicant”**). A legal description of the Property is attached as **Exhibit “A”**.

The requested PUD rezoning application is a companion to applications to annex the Property into the City of Green Cove Springs and to change the Future Land Use Map designation from Industrial (Clay County) to Mixed-Use in the City. The PUD is consistent with the proposed City Future Land Use Map (**“FLUM”**) designation set forth in the City of Green Cove Springs Comprehensive Plan.

The Property is located east of U.S. Highway 17, north of County Road 209 South, and west of the current corporate limits of Green Cove Springs. The Clay County Port is located to the east of the site.

The Applicant will provide access roads and drives, utilities, recreational facilities and other infrastructure to serve the PUD.

Unless specified otherwise in this PUD text and the PUD ordinance approving the same, the project will comply with applicable provisions of the City of Green Cove Springs Land Development Code (the **“Code”**).

B. The Property

The Property includes approximately 14 acres. Wetlands will be delineated pursuant to requirements of the St. Johns River Water Management District (**“District”**) and Florida Department of Environmental Protection (**“FDEP”**), and any proposed wetland impacts will be permitted by the District and Corps. A conceptual development plan for the Property is illustrated on the Conceptual Development Plan attached as **Exhibit “B”**. The Conceptual Development Plan is subject to modification based on comments from applicable governmental agencies and final site planning and engineering.

C. Residential Development

The Property will include a maximum of 278 multi-family (apartment) residential units (the **“Project”**). There are no wetlands within the Property, so the entire approximately 14 acres is developable.

The Property will include private recreational facilities and recreational areas to serve the proposed residential development. Temporary construction offices and trailers, and essential services including driveways/internal streets, water, sewer, gas, telephone, stormwater management facilities, and other improvements customary in a multi-family residential development will be permitted within of the project.

Minimum required living areas for the multi-family units are:

Studio/Efficiency Apartment: 700 square feet

One bedroom: 750 square feet

Two bedroom: 1,100 square feet

Three bedroom: 1,200 square feet

D. Non-residential Development

There will be no non-residential development within the Property except for uses ancillary to the residential development described in Section C hereof.

E. Site Development Criteria

1. Setbacks: The minimum building setbacks are as follows:
 - a. Property setbacks: A minimum of 25 feet from the right-of-way of U.S. Highway 17 and the northern property boundary and ten (10) feet from the southern and eastern property boundaries.
 - b. Distance between buildings: 30 feet (excluding ancillary structures (i.e., garage enclosures, maintenance buildings, etc.).
2. Maximum building height: Building height shall not exceed 50 feet for buildings located adjacent to U.S. Highway 17 and shall not exceed 59 feet for buildings not located adjacent to U.S. Highway 17, as such building locations are depicted on the Conceptual Development Plan.
3. Maximum impervious surface ratio: 70 percent for the Property (the entire PUD).
4. Maximum lot coverage by buildings: 70 percent for the Property (the entire PUD).
5. Density. Maximum 20 units per acre.

6. Parking: Minimum on-site parking spaces for the Project will be provided as follows:

Dwelling Units	Number of Units	Spaces per Unit	Total
Studio	20	1.0	20
1 Bedroom	84	1.0	84
2 Bedrooms	122	2.0	244
3 Bedrooms	34	2.0	68
Garage Enclosures			30
Employees & Guests			11
Total	260		457
Parking Ratio			1.75

Parking spaces will be nine (9) feet wide by 18 feet long, and drive aisles will be 24 feet wide. Parking can be provided in surface lots or enclosed garages.

7. Signage. On-site signs shall be permitted within the Property. Project signage shall be identified as part of site plan approval and shall meet the applicable requirements of Code Sections 125-13 and 125-14 except as follows:
- At each of the project entrances along U.S. Highway 17 and County Road 209 South, the Applicant shall be permitted one (1) ground sign, with a maximum of 45 square feet of advertising display area. These signs will not exceed 12 feet in height. The generation location of these signs will be depicted on construction plans. The Project signs may be lighted or illuminated. The Applicant may construct a fence, masonry wall or berm or install landscaping and/or vegetation (or provide a combination thereof) to compliment the entrance feature.
 - Construction and/or advertising signs shall be allowed as on-site temporary signs. Such signs must be removed within 30 days after the last unit is sold. The signs may be two (2) sided with each face limited to 16 square feet.
 - Various locational, directional, model home and traffic control signs shall be allowed on site to direct traffic and for identification of sales offices, recreation areas, etc. Such signs will be a maximum of six (6) square feet in size.

G. Infrastructure

1. Drainage: A master stormwater management system shall be owned, constructed and maintained by the Property Owner. The stormwater management system will be constructed in accordance with the requirements of the City of Green Cove Springs and the St. Johns River Water Management District, including the construction of pond sides that slope gently into the ponds for safety purposes. The conceptual master stormwater plan for the entire PUD shall be approved prior to the City's approval of the first final plat.
2. Site Access: Vehicular access within the Property connects off-site to U.S. Highway 17 and County Road 209 South in the locations depicted on the Conceptual Development Plan.
3. Pedestrian Circulation: A six (6)-foot-wide sidewalk will be constructed along U.S. Highway 17 and County Road 209 adjacent to the Property. Internal project pedestrian circulation will be provided via sidewalks, which will be a minimum of five (5) feet in width.
4. Parks, Open Space and Recreational Facilities: The Project will provide private parks and recreational facilities, as depicted on the Conceptual Site Plan. Recreational facilities may include an amenity center, swimming pool, playground, walking trails, multi-purpose trails and others to serve the Project residents.
5. Solid Waste Collection: Solid waste collection will be provided by a City-approved contractor.
6. Utilities: All utilities within the Project shall be underground, to the extent feasible. The City will provide water, sewer and electric service to the Project. The Applicant will submit an underground electric layout for the project to the City for approval prior to final Construction Improvement Plan approval. The Applicant shall provide a non-exclusive utility easement in favor of the City and other applicable utility providers around the perimeter of the Property, in the location depicted on the Conceptual Site Plan. The Applicant will work with the owner of the adjacent Masonic Lodge parcel regarding either the relocation of the existing water line and meter located within the Property that serve the Lodge parcel, or the provision of an easement over the existing water line and meter.
7. Transportation Systems: All transportation systems will comply with applicable provisions of City Code Chapter 113, Article II, Division 2.

H. Buffering and Landscaping

1. Perimeter Buffer: A natural or landscaped buffer a minimum of ten (10) feet wide shall be located along the perimeters of the Property.
2. Landscaping. Tree mitigation and landscaping will comply with applicable provisions of Code Chapter 113, Article VII. A conceptual landscape plan will be provided as part of site plan approval.
3. Upland Buffers: An averaged 25-foot natural vegetative upland buffer shall be required and maintained between developed area and contiguous wetlands. The 25 feet shall be measured from the State jurisdictional wetland line.

I. Temporary Uses

Development of the site and construction of the improvements will require temporary uses such as construction trailers, leasing offices, temporary signage and temporary access. Temporary construction and sales trailers will be removed no later than 45 days following the issuance of a certificate of occupancy for the last building constructed on the Property. The Applicant shall be permitted to erect temporary on-site construction and leasing signage on the Property.

J. Accessory Uses

Standard residential accessory uses will be allowed within the residential building areas of the site, including but not limited to decks, swimming pools, patios, air conditioning units, walkways and sidewalks.

Accessory uses such as private garages and storage buildings; home occupations in compliance with applicable provisions of City Code Section 117-789; model homes; guardhouses; air conditioning units and related heating/cooling units; swimming pools and pool equipment; pool pump house; trash compacter; mail kiosk; fences, walls or hedges; gazebos and other open-air structures; boardwalks, docks and other similar uses shall be permitted within the Property. Accessory uses shall comply with the applicable development criteria set forth in Section E of this PUD text.

K. Project Phasing

The project will be constructed in one (1), ten (10)-year phase. Construction will be commenced by 2025 and shall be completed within three (3) years. For purposes of this PUD, “commencement” shall mean securing approved construction drawings. “Completion” shall be defined as the installation of horizontal infrastructure and City approval of as-builts.

L. Ownership Agreement

The Applicant, on behalf of itself and its successors and assigns, hereby agrees and stipulates to proceed with the proposed development in accordance with the PUD ordinance for this application as adopted by the Green Cove Springs City Council. The Applicant also agrees to comply with all conditions and safeguards established by the City of Green Cove Springs with respect to this Planned Unit Development application.

Exhibit "A"**Legal Description of Property**

A PARCEL OF LAND CONSISTING OF A PORTION OF LOTS 3, 4 AND 5, BLOCK 13, CLINCH ESTATE, ACCORDING TO PLAT BOOK 1, PAGES 31 THROUGH 34 OF THE PUBLIC RECORDS OF CLAY COUNTY FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 3; THENCE ON THE NORTH LINE THEREOF, SOUTH 68°04T4" WEST, A DISTANCE OF 304.53 FEET, TO THE MOST NORTHWESTERLY CORNER OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 718, PAGE 126 OF THE PUBLIC RECORDS OF SAID CLAY COUNTY, FLORIDA; RUN THENCE SOUTH 28°13T5" EAST, ALONG THE WESTERLY LINE OF SAID LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 718, PAGE 126, OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA. A DISTANCE OF 1,104.56 FEET, TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING THUS DESCRIBED, CONTINUE SOUTH 28°13T5" EAST, ALONG THE AFORESAID WESTERLY LINE OF SAID LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 718, PAGE 126, OF THE PUBLIC RECORDS OF SAID CLAY COUNTY, FLORIDA, A DISTANCE OF 1,337.15 FEET, TO A POINT ON THE NORTHERLY LINE OF THAT NON-EXCLUSIVE EASEMENT TO TECO PEOPLES GAS, (TEMPORARY EASEMENT), AS PER OFFICIAL RECORDS BOOK 3167, PAGE 1557 OF THE PUBLIC RECORDS OF SAID CLAY COUNTY, FLORIDA; RUN THENCE, SOUTH 69°38'54" WEST, ALONG THE AFORESAID NORTHERLY LINE OF THAT NON-EXCLUSIVE EASEMENT TO TECO PEOPLES GAS, (TEMPORARY EASEMENT), AS PER OFFICIAL RECORDS BOOK 3167, PAGE 1557 OF THE PUBLIC RECORDS OF SAID CLAY COUNTY, FLORIDA, A DISTANCE OF 478.21 FEET, TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF "COUNTY ROAD No. 209", (AN 80 FOOT PUBLIC ROAD RIGHT-OF-WAY, AS PRESENTLY ESTABLISHED); RUN THENCE, ALONG THE AFORESAID EASTERLY RIGHT-OF-WAY LINE OF "COUNTY ROAD No. 209", (AN 80 FOOT PUBLIC ROAD RIGHT-OF-WAY, AS PRESENTLY ESTABLISHED), THE FOLLOWING THREE (3) COURSES AND DISTANCES:

COURSE No. 1: RUN THENCE, NORTH 23°43'25" WEST, A DISTANCE OF 2.21 FEET, TO A POINT OF INTERSECTION IN SAID RIGHT-OF-WAY LINE;

COURSE No. 2: RUN THENCE, NORTH 36°44'27" WEST, A DISTANCE OF 67.07 FEET, TO A POINT;

COURSE No. 3: RUN THENCE, NORTH 28°13'56" WEST, A DISTANCE OF 430.86 FEET, TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF "STATE ROAD No. 15—U.S. HIGHWAY No. 17", (A VARIABLE WIDTH PUBLIC

ROAD RIGHT-OF-WAY, AS PRESENTLY ESTABLISHED; PRESENTLY); RUN THENCE, ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID "STATE ROAD No. 15-U.S. HIGHWAY No. 17", THE FOLLOWING TWO (2) COURSES AND DISTANCES:

COURSE No. 1: RUN THENCE, NORTHWESTERLY, ALONG AND AROUND THE ARC OF A CURVE, BEING CONCAVE WESTERLY, AND HAVING A RADIUS OF 2,988.79 FEET, THROUGH A CENTRAL ANGLE OF $13^{\circ}36'55''$ TO THE LEFT, AN ARC DISTANCE OF 710.23 FEET, TO THE POINT OF TANGENCY OF LAST SAID CURVE, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH $21^{\circ}26'31''$ WEST, 708.56 FEET;

COURSE No. 2: RUN THENCE, NORTH $28^{\circ}14'52''$ WEST, ALONG THE TANGENCY OF LAST SAID CURVE, A DISTANCE OF 340.34 FEET, TO A POINT, BEING THE MOST SOUTHWESTERLY CORNER OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1523, PAGE 773 OF THE PUBLIC RECORDS OF SAID CLAY COUNTY, FLORIDA; RUN THENCE, NORTH $61^{\circ}42'00''$ EAST, ALONG THE SOUTHERLY LINE OF SAID LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1523, PAGE 773 OF THE PUBLIC RECORDS OF SAID CLAY COUNTY, FLORIDA, A DISTANCE OF 80.07 FEET, TO A POINT, BEING THE MOST NORTHWESTERLY CORNER OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1410, PAGE 756 OF THE PUBLIC RECORDS OF SAID CLAY COUNTY, FLORIDA; RUN THENCE, ALONG THE WESTERLY, AND THEN SOUTHERLY BOUNDARY LINE OF SAID LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1410, PAGE 756 OF THE PUBLIC RECORDS OF SAID CLAY COUNTY, THE FOLLOWING TWO (2) COURSES AND DISTANCES:

COURSE No. 1: RUN THENCE, SOUTH $28^{\circ}13'4''$ EAST, A DISTANCE OF 271.77 FEET, TO A POINT;

COURSE No. 2: RUN THENCE, NORTH $61^{\circ}46'45''$ EAST, A DISTANCE OF 320.01 FEET, TO THE AFORESAID WESTERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 718, PAGE 126 OF THE CURRENT PUBLIC RECORDS OF SAID CLAY COUNTY, FLORIDA, AND THE POINT OF BEGINNING.

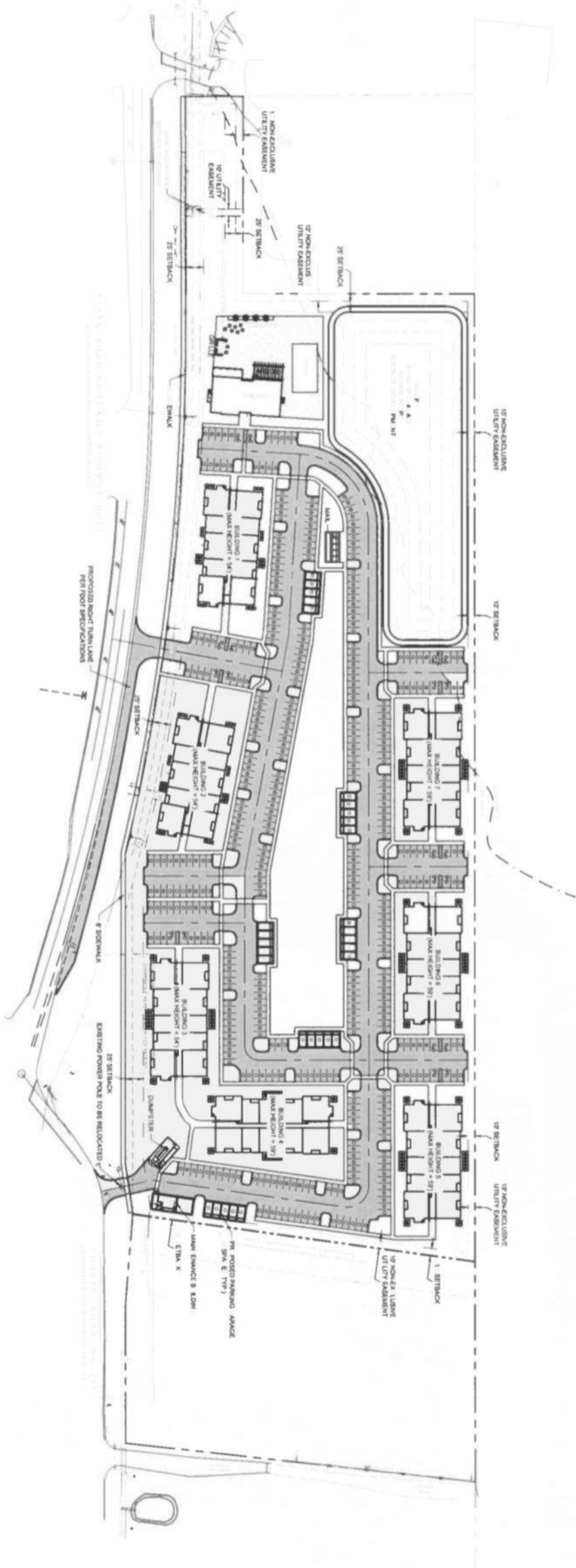
THE LANDS THUS DESCRIBED CONTAINED 606,663 SQUARE FEET, OR 13.92 ACRES, MORE OR LESS, IN AREA.

Exhibit “B”

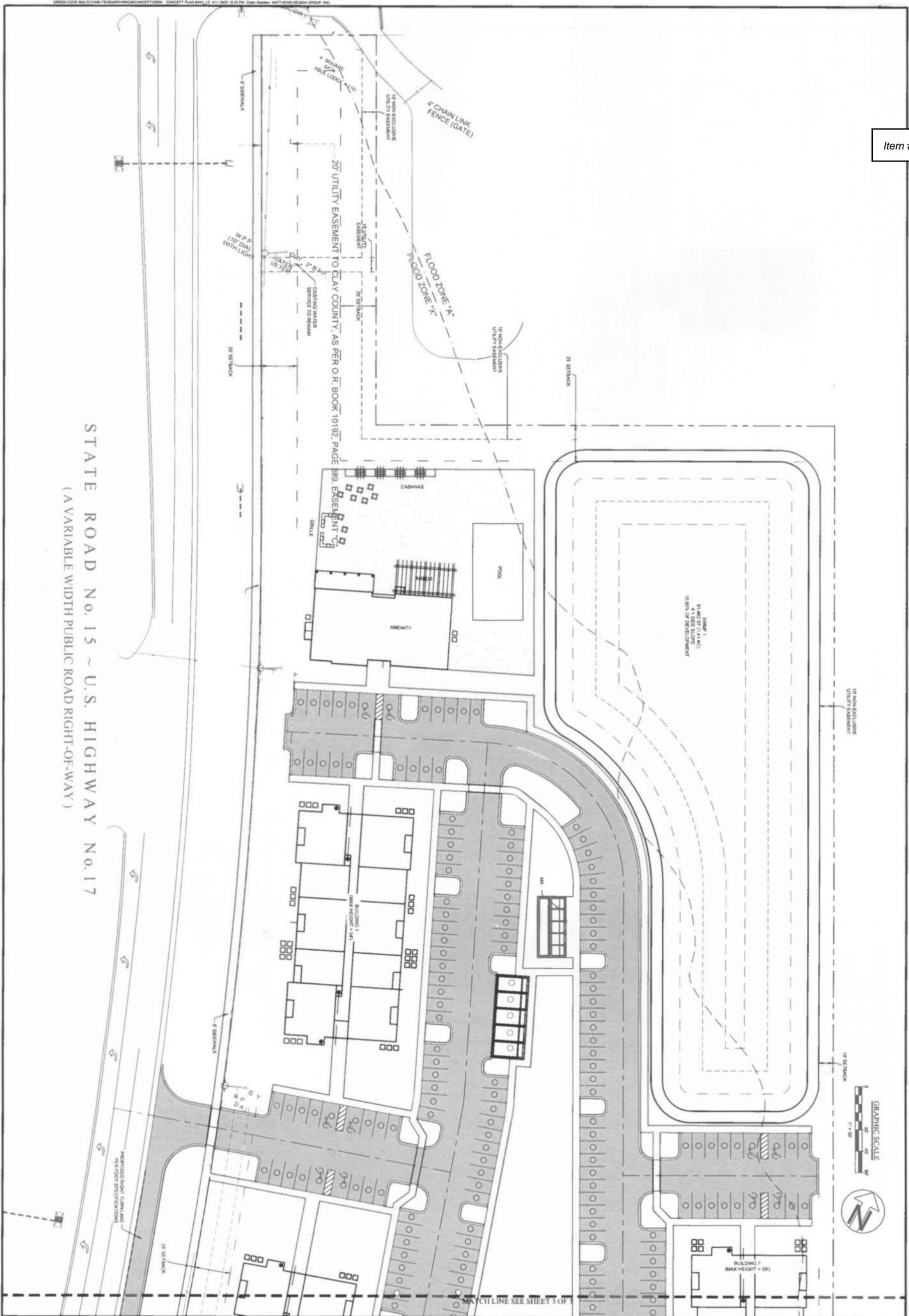
Conceptual Development Plan

PARKING CALCULATIONS	
USE MULTIFAMILY	* 175 SPACE PER 1 UNIT
UNITS	* 280 UNITS 487 SPACES
TOTAL REQUIRED	* 487 SPACES
TOTAL PROVIDED	* 487 SPACES

HATCH LEGEND	
ASPHALT PAVEMENT	
CONCRETE SIDEWALK	



Item # 4.



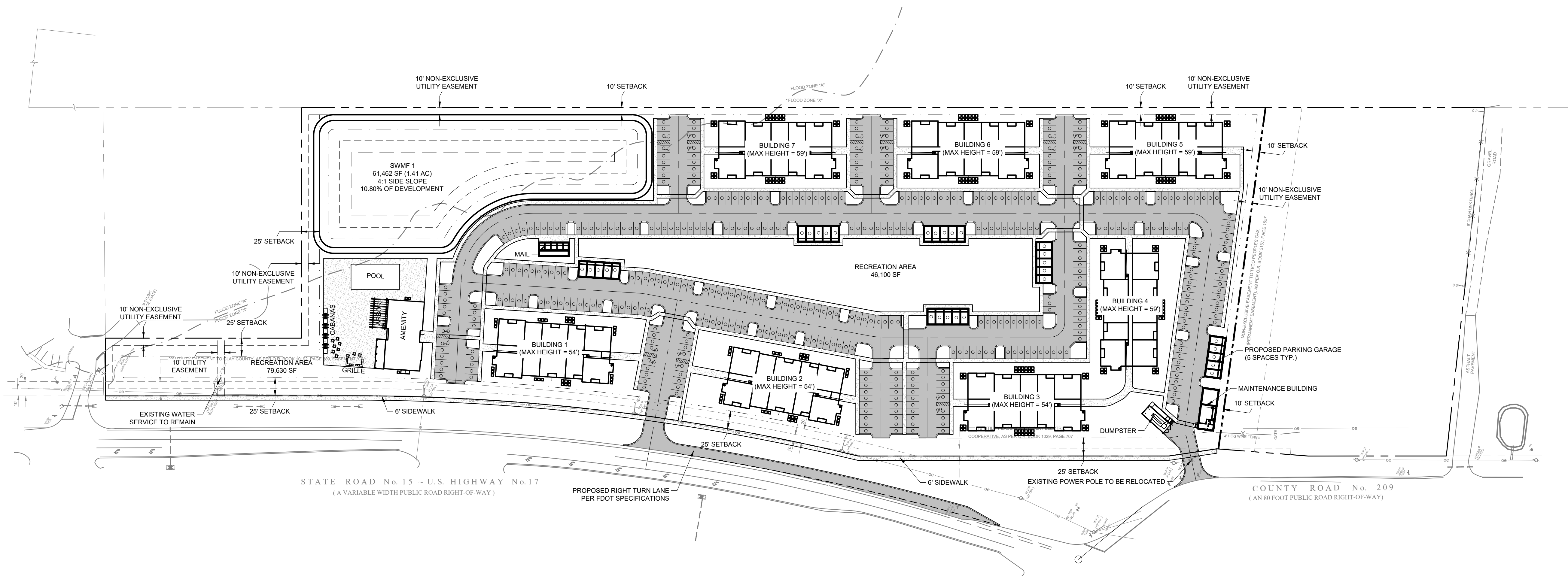
SITE PLAN		MATTHEWS DESIGN GROUP		DESIGN BY DTS		REVISIONS	
GREEN COVE MULTI FAMILY		P.O. BOX 3126, 7 WALDO STREET		DRAWN BY DTS		DESCRIPTION	
GREEN COVE SPRINGS, FLORIDA		ST. AUGUSTINE, FL 32084		CHECK BY ARA			
PREPARED FOR		PHONE: 904.826.1334 • FAX: 904.826.4547		DATE 04-11-2022			
PIEDMONT PRIVATE EQUITY		INFO@MDGINC.COM		JOB NO. 22034			



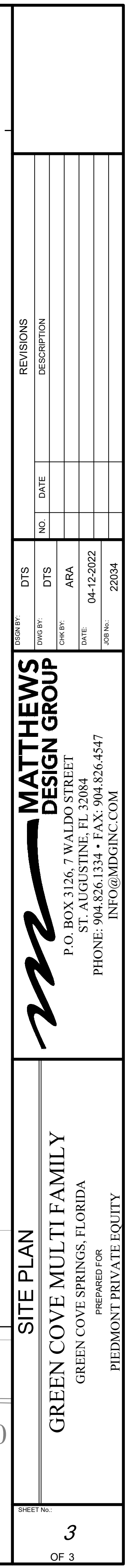
Item # 4.



3 OF 3		SITE PLAN		MATTHEWS DESIGN GROUP		DESIGN BY DTS		REVISIONS	
GREEN COVE MULTI FAMILY		GREEN COVE SPRINGS, FLORIDA		P.O. BOX 3126, 7 WALDO STREET ST. AUGUSTINE, FL 32084		CHECK BY DTS		NO. DATE DESCRIPTION	
PREPARED FOR		PIEDMONT PRIVATE EQUITY		PHONE: 904.826.1334 • FAX: 904.826.4547		DATE 04-11-2022			
				INFO@MDGINC.COM		JOB NO. 22034			

[illegible]





Preserve at Green Cove Springs

Item # 4.

City of Green Cove Springs, Florida

Traffic Impact Analysis



Prepared for:

PC Acquisitions, LLC



Prepared by:



Chindalur Traffic Solutions, Inc.
8833 Perimeter Park Boulevard, Suite 103
Jacksonville, FL 32216
904.619.3368

Project No.: 11
Date: 05/16/2022

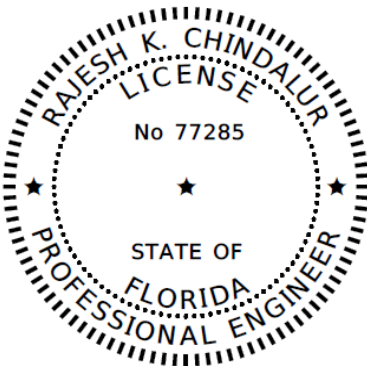
Page 115

PROFESSIONAL ENGINEER CERTIFICATE

I, Rajesh Ramn K. Chindalur, PE #77285, certify that I currently hold an active license in the state of Florida and am competent through education or experience to provide engineering services in the civil discipline contained in this plan, print, specification, or report.

PROJECT:	Preserve at Green Cove Springs – Traffic Impact Analysis
LOCATION:	City of Green Cove Springs, Clay County, Florida
CLIENT:	PC Acquisitions, LLC

I further certify that this plan, print, specification, or report was prepared by me or under my responsible charge as defined in Chapter 61G15-18.001 F.A.C. Moreover, if offered by a corporation, partnership, or through a fictitious name, I certify that the company offering the engineering services, Chindalur Traffic Solutions, Inc., 8833 Perimeter Park Boulevard, Suite 103, Jacksonville, Florida 32216, holds an active certificate of authorization #30806 to provide engineering service.



*THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY*

ON THE DATE ADJACENT TO THE SEAL.

*PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.*

*CHINDALUR TRAFFIC SOLUTIONS, INC.
8833 PERIMETER PARK BOULEVARD, SUITE 103
JACKSONVILLE, FL 32216
CERTIFICATE OF AUTHORIZATION #30806
RAJESH RAMN K. CHINDALUR, P.E. NO. 77285*

*THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THIS DOCUMENT IN
ACCORDANCE WITH RULE 61G15-23.004, F.A.C.*

Table of Contents

Summary and Conclusions	1
Introduction	3
Trip Generation	3
US 17 and CR 209 South Existing Conditions	3
Study Area Segments and Intersections	3
Planned and Programmed Improvements	3
Project Traffic Distribution and Assignment	3
Future Traffic Volumes	4
Roadway Segment Analysis	4
Intersection Capacity Analysis and Access Intersections	4

Figures

Figure 01	Location Map
Figure 02	US 17 and CR 209 South Existing Conditions
Figure 03	Roadway Segments Project Traffic Distribution and Assignment
Figure 04	Year 2022 Peak Hour Traffic Volumes at Study Intersections
Figure 05	Year 2027 Background Traffic Volumes
Figure 06	Project Traffic Distribution and Assignment at Study Intersections
Figure 07	Year 2027 Build-Out Conditions Traffic Volumes

Tables

Table 01	Trip Generation
Table 02	Study Area Segments and Existing Conditions
Table 03	Project Traffic Distribution and Assignment
Table 04	Roadway Segment Analysis
Table 05	HCM Delay and LOS Summary

Attachments

Attachment A	Conceptual Site Plan
Attachment B	Methodology Document
Attachment C	Planned and Programmed Improvements (Source: FDOT)
Attachment D	Travel Demand Model Plots
Attachment E	Historical AADT and Trends Analysis Plots
Attachment F	Traffic Counts Data and FDOT Season Factors
Attachment G	Right Turn Lane Criteria and Guidance
Attachment H	HCM Worksheets
Attachment H1	Year 2022 HCM Worksheets
Attachment H2	Year 2027 Background Conditions HCM Worksheets
Attachment H3	Year 2027 Build-Out Conditions HCM Worksheets

Summary and Conclusions

A multi-family residential development that is anticipated to include 260 dwelling units is proposed for construction in the City of Green Cove Springs, FL. The proposed development will be located on the northeast quadrant of US 17 and CR 209. Access to the proposed development will be provided via a right-in-right-out driveway on US 17 and a second driveway on CR 209. Please note that the zoning allows for a maximum of 278 dwelling units. However, based on the current site plan a maximum of 260 dwelling is proposed for construction.

US 17 is a four-lane divided highway with a posted speed of 60 miles per hour (mph) and CR 209 South is a two-lane undivided roadway with a posted speed of 55 mph.

The proposed residential development is anticipated to generate 1,742 Daily trips which includes 103 AM peak and 132 PM peak trips.

The study area will include all the roadway segments and intersections where in the project traffic is anticipated to be equal to or greater than five percent (5%) of the roadway segment adopted LOS maximum service volume (MSV).

Project traffic distribution percentages on the study roadway segments using the interim year 2025 NERPM_ABv3 travel demand model run.

The proposed development is anticipated to be constructed and occupied by the end of year 2025. However, the traffic impact analysis will be performed under the year 2027 conditions. The future traffic volumes on the study roadway segments were estimated by applying a growth rate to the year 2019 and 2022 traffic volumes. The growth rate was estimated by performing trends analysis of the study roadway segments historical AADT.

The roadway segment will be considered impacted if the project traffic assignment (new trips) is equal to or greater than 5% of its adopted LOS maximum service volume (MSV). A study area roadway segment will be considered adversely impacted if that roadway segment is impacted (project new trips 5% of its adopted LOS MSV) and the total traffic (Existing trips + Reserved Trips + New Project Traffic) exceed 100% of the roadway segments adopted LOS MSV.

None of the study roadway segments are anticipated to be either impacted or adversely impacted under the build-out conditions of the proposed development. Additionally, all the study roadway segments are anticipated to continue operating at LOS D or better under the year 2027 background and project build-out conditions, except for the segment of US 17 between the City of Green Cove Springs City Limits to SR 16 West/Ferris Street. The segment of US 17 between the City of Green Cove Springs City Limits to SR 16 West/Ferris Street is anticipated to operate at LOS F under the year 2027 background and build-out conditions of the proposed development.

Please note that the proposed First Coast Expressway and other proposed roadway improvements (Clay County Programmed Bonded Roadway Improvements) are anticipated to reduce traffic volumes on US 17 roadway segments within the City of Green Cove Springs.

Based on the discussions with FDOT staff, the project access on US 17 will be a right-in-right-out just north of CR 209 intersection and a full access roadway connection on CR 209 South just east of US 17. The above-mentioned access locations are shown in previously mentioned site plan. FDOT staff require the access evaluation to determine the following:

- The need for a northbound right turn lane on US 17 at the proposed project access driveway
- Adequacy of the existing southbound left turn lane on US 17 at CR 209 South intersection

A northbound right turn lane is anticipated to be warranted on US 17 at the proposed Project Access Driveway. As per the guidance included in Chapter 212 of the FDOT Design Manual and the FDOT Median Handbook, for a roadway with a posted speed of 60 mph (design speed of 65 mph), a right turn lane should include 460 feet deceleration and taper distance.

All the critical movements are currently operating at LOS D or better and are anticipated to continue operating at LOS D or better under the future year 2027 background and year 2027 build-out conditions of the proposed development.

The existing southbound left turn on US 17 at CR 209 South is approximately 430 feet long (250 feet full width turn lane + 180 feet taper distance). The 95th percentile queue length on the southbound left turn is anticipated to be no greater than 50 feet. Hence, the existing southbound left turn lane on US 17 at CR 209 South is anticipated to be adequate under the build-out conditions of the proposed development.

Introduction

A multi-family residential development that is anticipated to include 260 units is proposed for construction in the City of Green Cove Springs, FL. The proposed development will be located on the northeast quadrant of US 17 and CR 209. Access to the proposed development will be provided via a right-in-right-out driveway on US 17 and a second driveway on CR 209. A copy of the site plan provided by Matthews Design Group, Inc. is included as **Attachment A**. Please note that the zoning allows for a maximum of 278 dwelling units. However, based on the current site plan a maximum of 260 dwelling is proposed for construction.

The methodology used in this study is consistent with the methodology document provided to the City of Green Cove Springs on 05/10/2022. A copy of the methodology provided to the staff is included as **Attachment B**.

Trip Generation

Trip generation and for the proposed residential portion of the development will be estimated using the rates and equations included in the Trip Generation Manual, 11th Edition published by the ITE. Attached **Table 01** summarizes the Daily, AM and PM peak trips anticipated by the proposed development. As shown in this table, the proposed residential development is anticipated to generate 1,742 Daily trips which includes 103 AM peak and 132 PM peak trips.

US 17 and CR 209 South Existing Conditions

US 17 is a four-lane divided highway with a posted speed of 60 miles per hour (mph) and CR 209 South is a two-lane undivided roadway with a posted speed of 55 mph. **Figure 02** shows the existing conditions on US 17 and CR 209 at the proposed project access locations.

Study Roadway Segments and Intersections

Since the proposed development is anticipated to generate a total of 132 PM peak trips, the study area will include all the roadway segments and intersections where in the project traffic is anticipated to be equal to or greater than five percent (5%) of the roadway segment adopted LOS maximum service volume (MSV). **Table 02** shows the existing conditions of the roadway segments within the vicinity of the proposed development. The existing conditions data for the study roadway segments were obtained from the FDOT traffic counts and Clay County Transportation Analysis Spreadsheet. As shown in this table, all the study roadway segments are currently operating at LOS D or better.

Planned and Programmed Roadways:

The County Capital Improvement Plan (CIP), FDOT Planned and Programmed Improvements and NCTPO LRTP will be reviewed to determine any planned and programmed roadways within study roadway segments. **Attachment C** includes a list of planned and programmed roadways within Clay County in addition to the First Coast Expressway between existing SR 23/Old Jennings Road to US 17.

Project Traffic Distribution & Assignment:

Project traffic distribution percentages on the study roadway segments using the interim year 2025 NERPM_ABv3 travel demand model run. **Attachment D** includes copies of the travel

demand model plots. **Table 03** summarizes the project traffic distribution and assignment on the roadway segments in the vicinity of the proposed development. **Figure 03** shows project traffic distribution and assignment on the study roadway segments.

Future Traffic Volumes:

The proposed development is anticipated to be constructed and occupied by the end of year 2025. However, the traffic impact analysis will be performed under the year 2027 conditions. The future traffic volumes on the study roadway segments were estimated by applying a growth rate to the year 2019 and 2022 traffic volumes. The growth rate was estimated by performing trends analysis of the study roadway segments historical AADT. The historical AADT of the study roadway segments was obtained from the FDOT Traffic Counts Online Portal. **Attachment E** includes copies of the historical AADT, and the trends analysis of the study roadway segments.

Roadway Segment Analysis:

The segment analysis of the study area roadway segments will be performed to determine any impacts and adverse impacts due to the additional trips from the proposed development. The roadway segment will be considered impacted if the project traffic assignment (new trips) is equal to or greater than 5% of its adopted LOS maximum service volume (MSV). A study area roadway segment will be considered adversely impacted if that roadway segment is impacted (project new trips 5% of its adopted LOS MSV) and the total traffic (Existing trips + Reserved Trips + New Project Traffic) exceed 100% of the roadway segments adopted LOS MSV.

Table 04 summarizes the roadway segments analysis of the study roadway segments. As shown in this table, none of the study roadway segments are anticipated to be either impacted or adversely impacted under the build-out conditions of the proposed development. Additionally, all the study roadway segments are anticipated to continue operating at LOS D or better under the year 2027 background and project build-out conditions, except for the segment of US 17 between the City of Green Cove Springs City Limits to SR 16 West/Ferris Street. The segment of US 17 between the City of Green Cove Springs City Limits to SR 16 West/Ferris Street is anticipated to operate at LOS F under the year 2027 background and build-out conditions of the proposed development.

Please note that the proposed First Coast Expressway and other proposed roadway improvements (Clay County Programmed Bonded Roadway Improvements) are anticipated to reduce traffic volumes on US 17 roadway segments within the City of Green Cove Springs.

Intersection Capacity Analysis and Access Intersections:

Based on the discussions with FDOT staff, the project access on US 17 will be a right-in-right-out just north of CR 209 intersection and a full access roadway connection on CR 209 South just east of US 17. The above-mentioned access locations are shown in previously mentioned site plan. FDOT staff require the access evaluation to determine the following:

- The need for a northbound right turn lane on US 17 at the proposed project access driveway
- Adequacy of the existing southbound left turn lane on US 17 at CR 209 South intersection

Since the project traffic is not anticipated to be equal or greater than the study roadway segments' adopted LOS maximum service volume (MSV), intersection analysis other than the above stated intersections is not anticipated to be required.

Existing Traffic Volumes: AM peak and PM peak hour traffic volumes at the above stated study intersections were obtained on April 26th, 2022. These counts were further adjusted with a season factor of 1.19 to account for seasonal variations. This season factor was obtained from the Florida Department of Transportation (FDOT) traffic counts online portal. **Attachment F** includes copies of the traffic counts data and the FDOT season factors. **Figure 04** shows the year 2022 peak hour traffic volumes at the above stated study intersections.

Year 2027 Background Traffic Volumes: The year 2027 background traffic volumes at the above stated study intersections were estimated by applying a growth factor of 1.30 to the year 2022 traffic volumes. This growth factor was estimated by performing trends analysis of the historical AADT on US 17 north of CR 209 South (included in previously stated **Attachment E**). The year 2027 background conditions peak hour traffic volumes at the study intersections are shown in **Figure 05**.

Project Traffic Distribution and Assignment: Project traffic assignment at the above stated study intersections were established by applying the project traffic distribution obtained from the travel demand model run to the peak hour net external trips shown in previously stated **Table 01**. **Figure 06** shows the AM peak and PM peak project traffic assignment at the above stated study intersections.

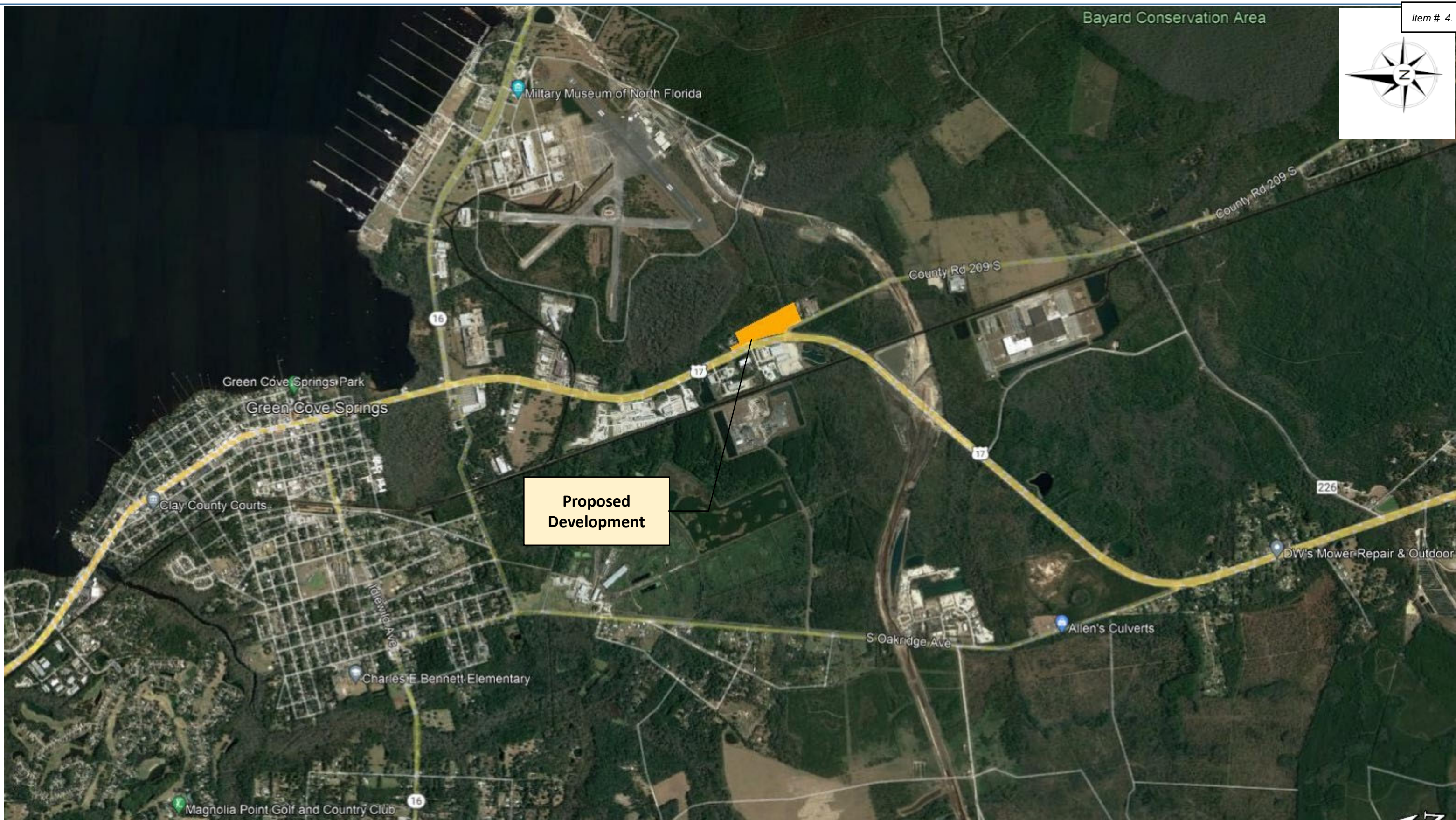
Year 2027 Build-out Traffic Volumes: The year 2027 build-out traffic volumes include the year 2027 background traffic volumes and the peak hour project related traffic assignment at the study intersections. **Figure 07** includes the year 2027 build-out conditions AM peak and PM peak hour traffic volumes at the study intersections.

Right Turn Lane Evaluation: The need for a northbound right turn lane on US 17 at the proposed project access roadway was evaluated using the right turn lane criteria included in the in the FDOT Access Management Guidebook (**Attachment G**). As shown in previously stated **Figure 07**, about 30 northbound right turns are anticipated on US 17 which is very close to the right turn lane threshold of 35 peak hour turns. Hence, a northbound right turn lane is anticipated to be warranted on US 17 at the proposed Project Access Driveway. As per the guidance included in Chapter 212 of the FDOT Design Manual and the FDOT Median Handbook, for a roadway with a posted speed of 60 mph (design speed of 65 mph), a right turn lane should include 460 feet deceleration and taper distance.

Intersection Capacity Analysis: Intersection capacity analysis of the study intersections under the year 2022 existing conditions, year 2027 background and year 2027 build-out conditions was performed using the Synchro 11 software. This software uses the HCM 6 criteria and methodology to determine the LOS and delay at un-signalized intersections. **Table 05** summarizes the delay and LOS for all the critical movements at the study intersections. As shown in this table, all the critical movements are currently operating at LOS D or better and are anticipated to continue operating at

LOS D or better under the future year 2027 background and year 2027 build-out conditions of the proposed development. **Attachment H** includes copies of the HCM Worksheets.

This table also summarizes the 95th percentile queue length on the southbound left turn at the US 17 and CR 209 South intersection under the existing, year 2027 background and year 2027 build-out conditions. The existing southbound left turn on US 17 at CR 209 South is approximately 430 feet long (250 feet full width turn lane + 180 feet taper distance). As shown in this table, the 95th percentile queue length on the southbound left turn is anticipated to be no greater than 50 feet. Hence, the existing southbound left turn lane on US 17 at CR 209 South is anticipated to be adequate under the build-out conditions of the proposed development.



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Figure 01 – Location Map
Preserve at Green Cove Springs – Traffic Impact Study
City of Green Cove Springs, Clay County, Florida

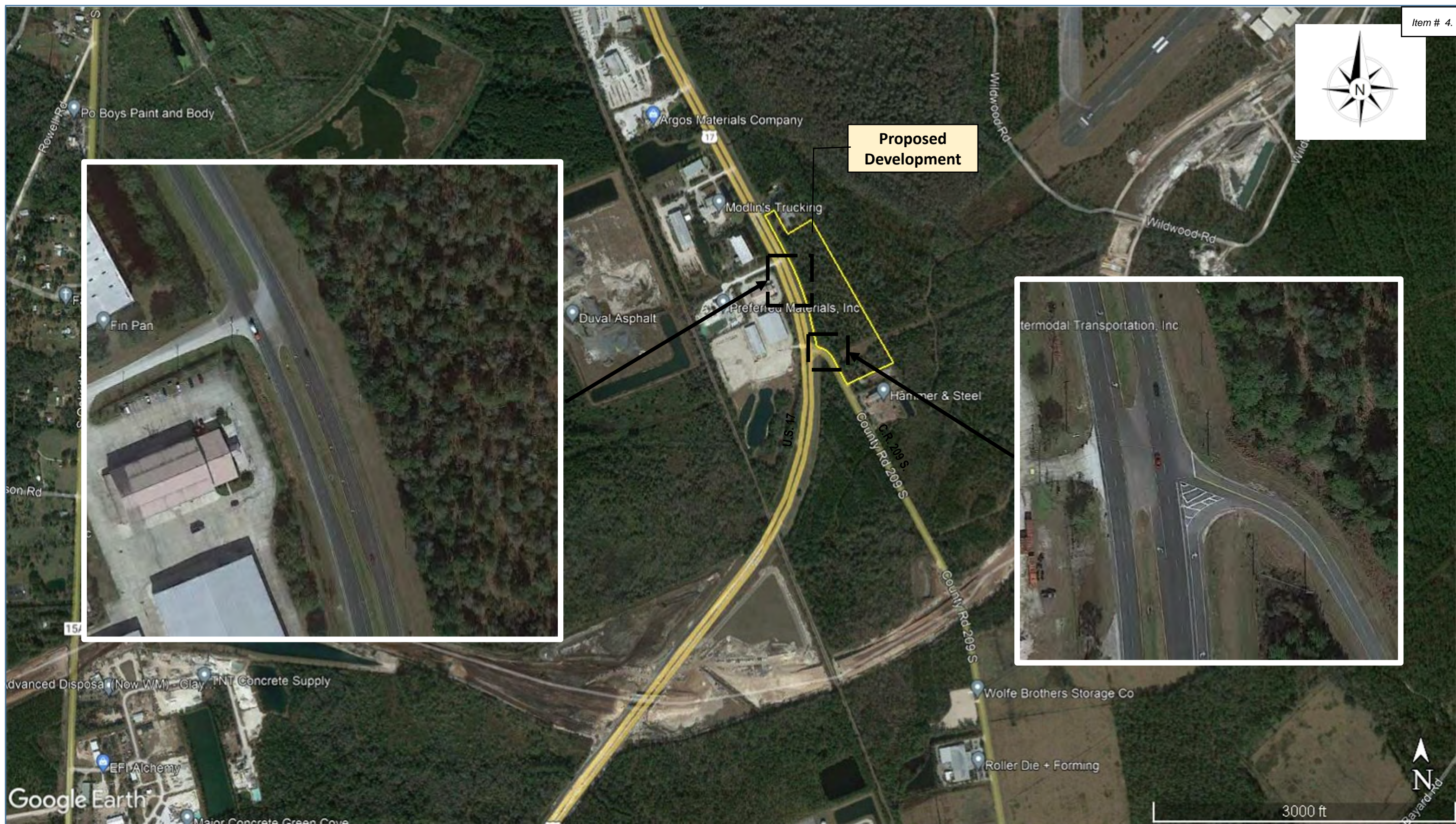


Figure 02 – Existing Conditions
Preserve at Green Cove Springs – Traffic Impact Study
City of Green Cove Springs, Clay County, Florida

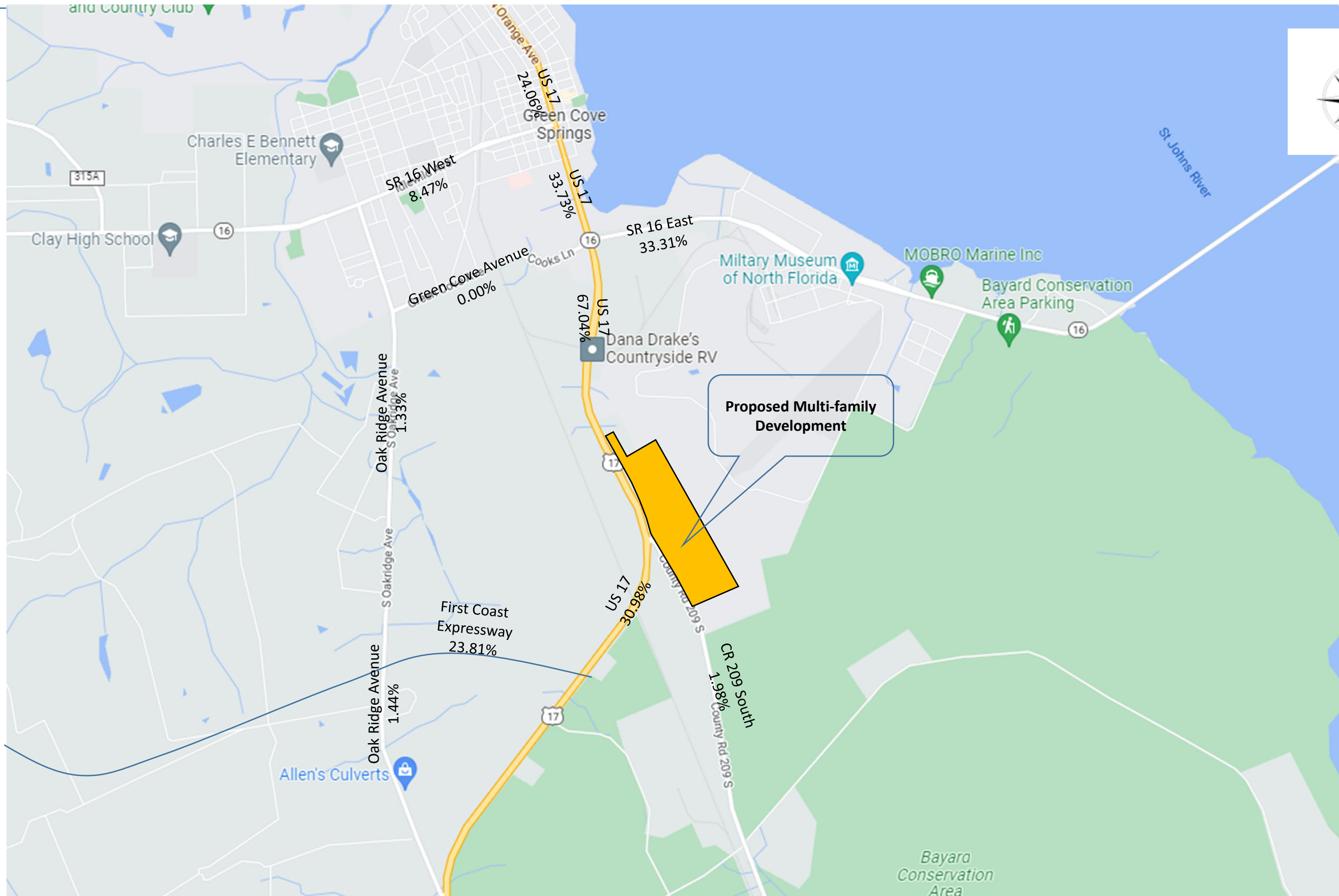
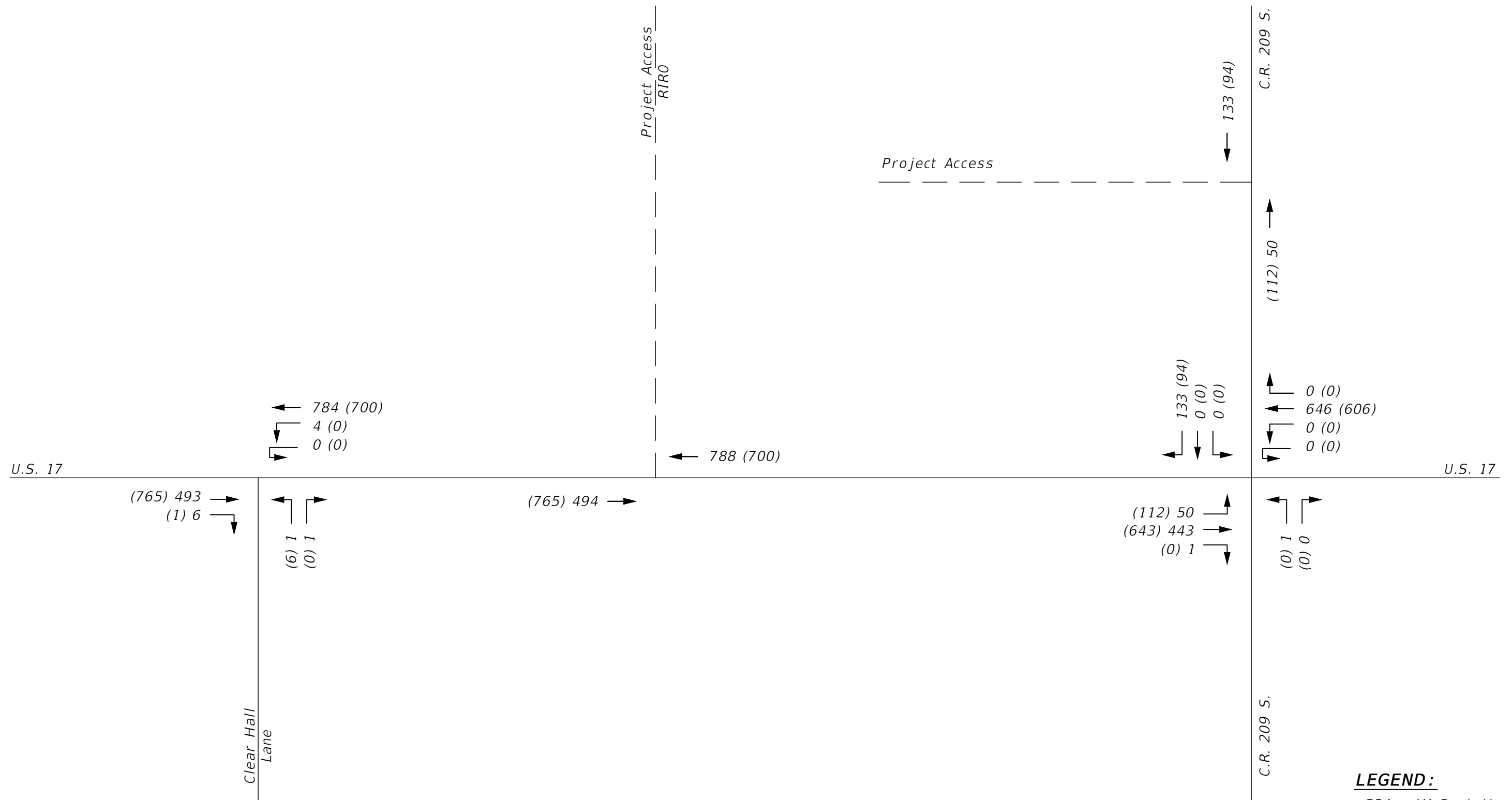


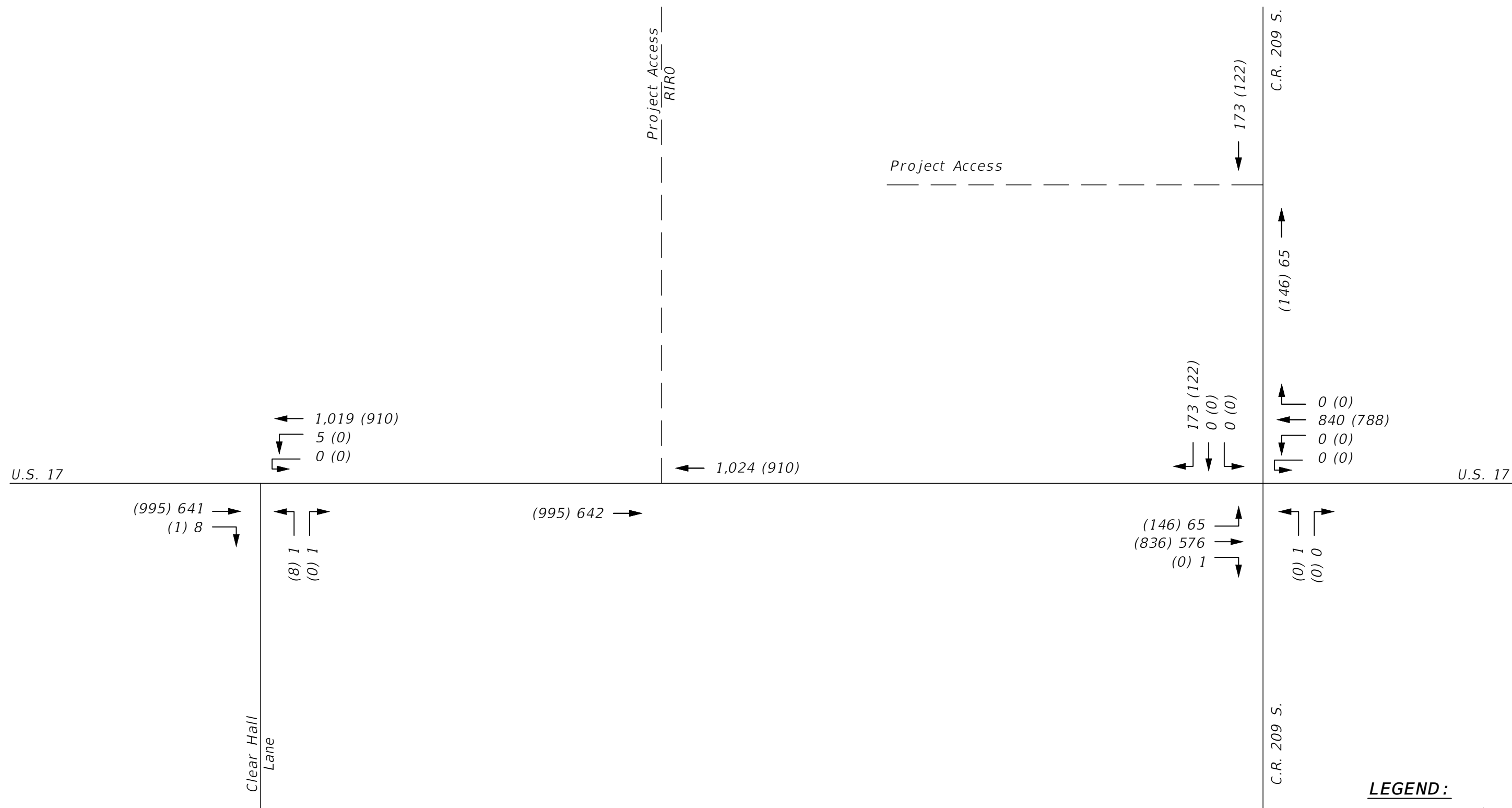
Figure 03 – Project Traffic Distribution and Assignment
 Preserve at Green Cove Springs – Traffic Impact Study
 City of Green Cove Springs, Clay County, Florida





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Figure 04 - Year 2022 AM and PM Peak Hour Traffic Volumes



LEGEND:

534 - AM Peak Hour Traffic

(923)- PM Peak Hour Traffic

Figure 05 - Year 2027 AM and PM Peak Hour Background Traffic Volumes

Preserve at Green Cove Springs - Traffic Study
Clay County



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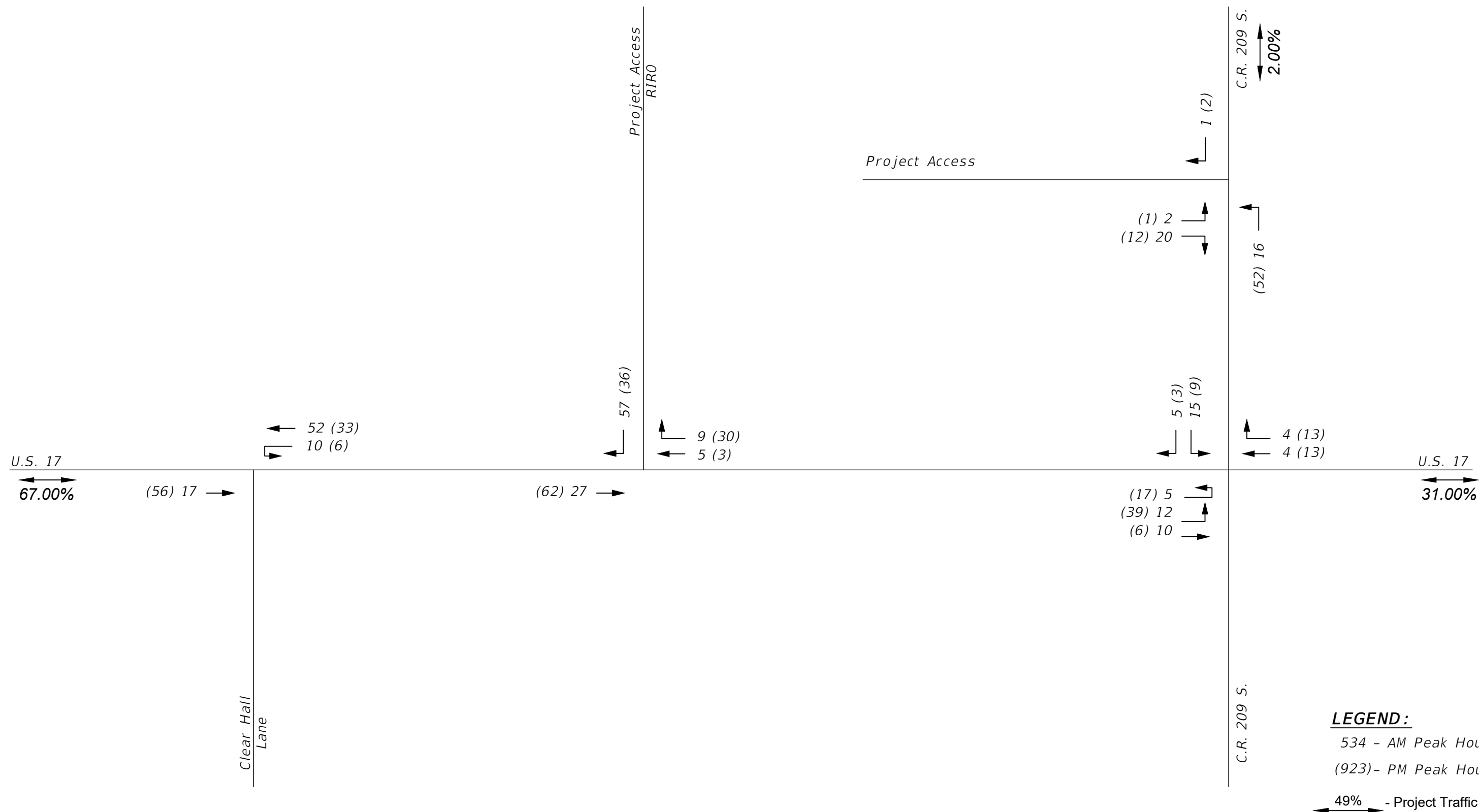
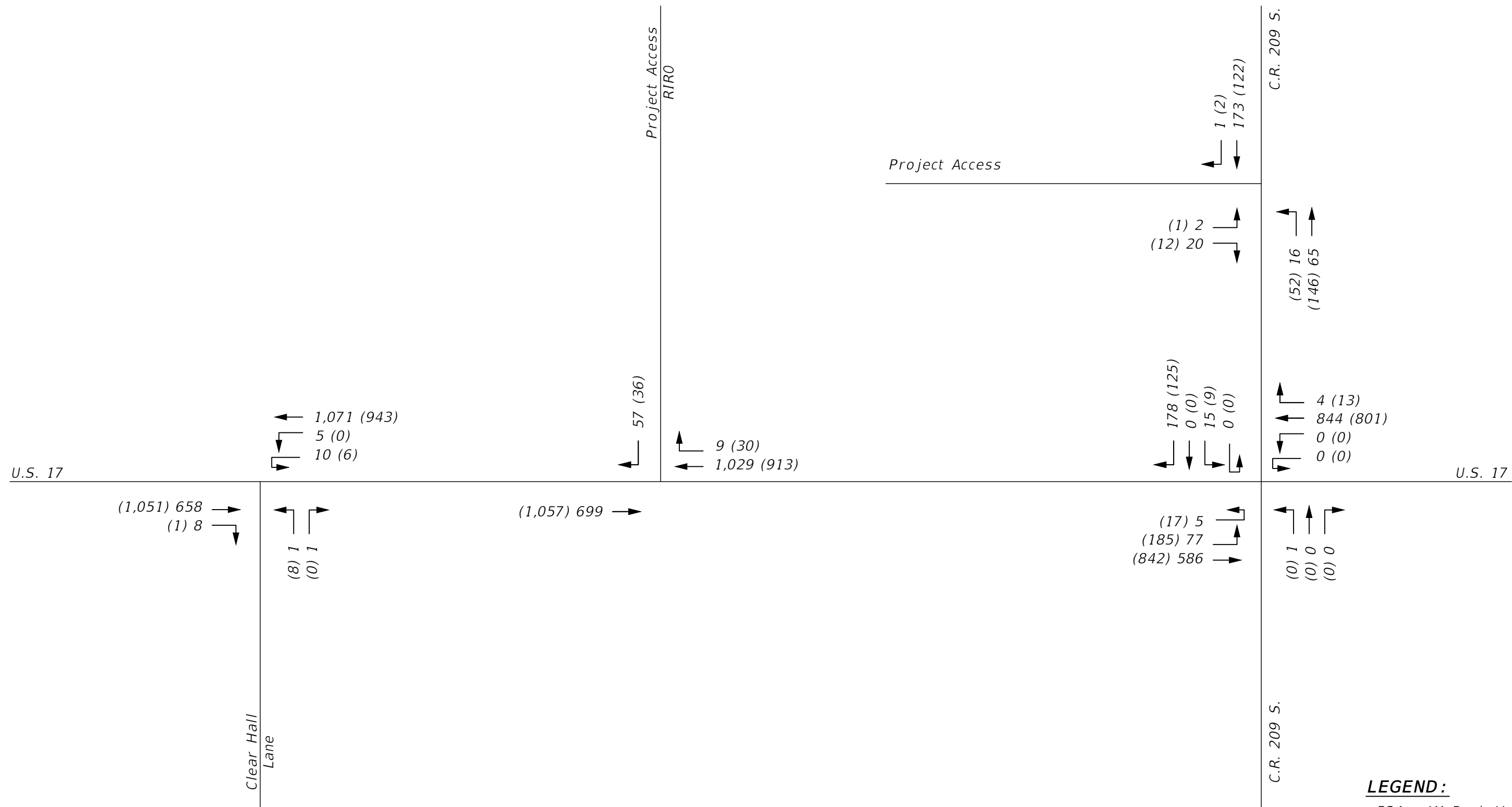


Figure 06 - Year 2027 AM and PM Peak Hour Project Traffic Distribution and Assignment



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Figure 07 - Year 2027 AM and PM Peak Hour Build-Out Traffic Volumes

Preserve at Green Cove Springs - Traffic Study
 Clay County

Table 01
Trip Generation
Preserve at Green Cove Springs TIA, The City of Green Cove Springs, FL

ITE Land Use Code	Description	Quantity	Units	Time Period	Rate or Equation	Percent Traffic		Project Trips		
						Entering	Exiting	Total	Entering	Exiting
220	Multi-family Residential (Apartments)	260	Dwelling Units	Daily	T = 6.41(X) + 75.31	50%	50%	1,742	871	871
				AM Peak	T = 0.31(X) + 22.85	24%	76%	103	25	78
				PM Peak	T = 0.43(X) + 20.55	63%	37%	132	83	49

Source: Trip Generation Manual, 11th Edition, ITE

Note: Please note that the zoning allows for a maximum of 278 dwelling units.
However, based on the current site plan a maximum of 260 dwelling is proposed for construction.

Table 02
Roadway Characteristics Inventory
Preserve at Green Cove Springs TIA, The City of Green Cove Springs, FL

Roadway	Segment	Agency	Speed Limit	Adopted LOS	Adopted LOS Peak Hour MSV	Length (Miles)	Lanes	Facility Type	Area Type	Source	2019 ADT Collected	Year 2019 Peak Hour Traffic Volumes	Growth Rate	Year 2022 Peak Hour Traffic Volumes	Existing Conditions V/C Ratio	Existing Conditions LOS
US 17	Green Cove Springs to SR 16 West	FDOT	35	D	2,920	1.26	4 - DIV	Prin. Arterial	Urban	FDOT	24,000	2,160	4.07%	2,435	83.39%	D
US 17	SR 16 West to SR 16 East	FDOT	55	D	3,580	0.63	4 - DIV	Prin. Arterial	Urban	FDOT	21,500	1,935	3.93%	2,172	60.67%	D
US 17	SR 16 East to CR 209	FDOT	55	D	3,580	1.61	4 - DIV	Prin. Arterial	Transition	FDOT	14,100	1,269	5.37%	1,485	41.48%	C
US 17	CR 209 to CR 226	FDOT	55	D	3,580	3.18	4 - DIV	Prin. Arterial	Transition	FDOT	10,900	981	1.14%	1,015	28.35%	C
US 17	CR 226 to Putnam County Line	FDOT	60	B	4,460	10.20	4 - DIV	Highway	Rural	FDOT	12,803	1,152	6.01%	1,372	30.76%	C
SR 16	Oak Ridge Avenue to US 17	FDOT	35	D	2,774	1.12	4-Un Div	Major Arterial	Urban	FDOT	11,500	1,035	4.13%	1,169	42.14%	C
SR 16	US 17 to Slow Tide Road	FDOT	45	E	3,070	1.26	4 - Div	Highway	Transition	FDOT	19,694	1,772	5.92%	2,106	68.60%	D
Oak Ridge Avenue	SR 16 to Green Cove Avenue	GCS	35	D	1,161	0.59	2	Minor Collector	Urban	FDOT	2,200	198	5.26%	231	19.90%	C
Oak Ridge Avenue	Green Cove Avenue to US 17	GCS	35	D	1,161	3.1	2	Minor Collector	Urban	FDOT	2,200	198	5.26%	231	19.90%	C
Green Cove Avenue	US 17 to Oak Ridge Avenue	GCS	25	D	1,161	1.14	2	Local Road	Urban	FDOT	1,600	144	3.85%	161	13.87%	C
First Coast Expressway	SR 16 to US 17	FDOT	65	D	6,700	6.45	4 - DIV	Freeway	Urban	FDOT	-	-	2.00%	-	0.00%	C
CR 209	East of US 17	Clay County	55	D	2,110	1.69	2	Highway	Rural	All Traffic Data	-	-	0.00%	174	8.25%	C

Attachment B - FDOT Traffic Counts Data

Table 03
Project Traffic Distribution and Assignment
Preserve at Green Cove Springs TIA, The City of Green Cove Springs, FL

132

Roadway	From/To	Adopted LOS Peak Hour MSV	Residential Project Traffic Distribution	Residential Project Traffic Assignment	Project Traffic % of MSV
US 17	Green Cove Springs to SR 16 West	2,920	24.06%	32	1.10%
US 17	SR 16 West to SR 16 East	3,580	33.73%	45	1.26%
US 17	SR 16 East to CR 209	3,580	67.04%	88	2.46%
US 17	CR 209 to CR 226	3,580	30.98%	41	1.15%
US 17	CR 226 to Putnam County Line	4,460	7.18%	9	0.20%
SR 16	Oak Ridge Avenue to US 17	2,774	8.47%	11	0.40%
SR 16	US 17 to Slow Tide Road	3,070	33.31%	44	1.43%
Oak Ridge Avenue	SR 16 to Green Cove Avenue	1,161	1.33%	2	0.17%
Oak Ridge Avenue	Green Cove Avenue to US 17	1,161	1.45%	2	0.17%
Green Cove Avenue	US 17 to Oak Ridge Avenue	1,161	0.00%	-	0.00%
First Coast Expressway	SR 16 to US 17	6,700	23.81%	31	0.46%
CR 209	East of US 17	2,110	1.98%	3	0.14%

Attachment D - Travel Demand Model Plots

Table 04
Roadway Characteristics Inventory
Preserve at Green Cove Springs TIA, The City of Green Cove Springs, FL

Roadway	Segment	Agency	Speed Limit	Adopted LOS	Adopted LOS Peak Hour MSV	Growth Rate	Year 2022 Peak Hour Traffic Volumes	Existing Conditions V/C Ratio	Year 2027 Background Peak Hour Traffic Volumes	Year 2027 Background Peak Hour V/C Ratio	Year 2027 Background LOS	Residential Project Traffic Assignment	Project Traffic % of MSV	Roadway Segment Impacted	Year 2027 Build-Out Peak Hour Traffic Volumes	Year 2027 Build-Out Traffic % of MSV	Roadway Segment Adversely Impacted	Year 2027 Build-Out LOS
US 17	Green Cove Springs to SR 16 West	FDOT	35	D	2,920	4.07%	2,435	83.39%	2,973	101.82%	F	32	1.10%	No	3,005	102.91%	No	F
US 17	SR 16 West to SR 16 East	FDOT	55	D	3,580	3.93%	2,172	60.67%	2,634	73.58%	D	45	1.26%	No	2,679	74.83%	No	D
US 17	SR 16 East to CR 209	FDOT	55	D	3,580	5.37%	1,485	41.48%	1,929	53.88%	D	88	2.46%	No	2,017	56.34%	No	D
US 17	CR 209 to CR 226	FDOT	55	D	3,580	2.00%	1,015	28.35%	1,121	31.31%	C	41	1.15%	No	1,162	32.46%	No	C
US 17	CR 226 to Putnam County Line	FDOT	60	B	4,460	6.01%	1,372	30.76%	1,837	41.19%	C	9	0.20%	No	1,846	41.39%	No	C
SR 16	Oak Ridge Avenue to US 17	FDOT	35	D	2,774	4.13%	1,169	42.14%	1,431	51.59%	D	11	0.40%	No	1,442	51.98%	No	D
SR 16	US 17 to Slow Tide Road	FDOT	45	E	3,070	5.92%	2,106	68.60%	2,808	91.47%	D	44	1.43%	No	2,852	92.90%	No	D
Oak Ridge Avenue	SR 16 to Green Cove Avenue	GCS	35	D	1,161	5.26%	231	19.90%	298	25.67%	C	2	0.17%	No	300	25.84%	No	C
Oak Ridge Avenue	Green Cove Avenue to US 17	GCS	35	D	1,161	5.26%	231	19.90%	298	25.67%	C	2	0.17%	No	300	25.84%	No	C
Green Cove Avenue	US 17 to Oak Ridge Avenue	GCS	25	D	1,161	3.85%	161	13.87%	194	16.71%	C	-	0.00%	No	194	16.71%	No	C
First Coast Expressway	SR 16 to US 17	FDOT	65	D	6,700	2.00%	-	0.00%	-	0.00%	C	31	0.46%	No	31	0.46%	No	C
CR 209	East of US 17	Clay County	55	D	2,110	2.00%	174	8.25%	192	9.10%	C	3	0.14%	No	195	9.24%	No	C

Note: A minimum of 2.0% Growth Rate was applied to US 17, First Coast Expressway and CR 209

Table 05
Intersection Capacity Analysis - HCM Delay and LOS Summary
Preserve at Green Cove Springs TIA, The City of Green Cove Springs, FL

Intersection	Approach	Traffic Control	AM Peak			PM Peak		
			Delay	LOS	95th Percentile Queue (Feet)	Delay	LOS	95th Percentile Queue (Feet)
Year 2022 Existing Conditions								
US 17 at Clear Hall Lane	NBL	Yield	8.60	A	0	0.00	A	0
	EB	Stop	15.9	C	0	17.5	C	25
US 17 at CR 209 South	NBL	Yield	0.00	A	0	0.00	A	0
	SBL	Yield	9.9	A	25	9.5	A	25
	EB	Stop	18.80	C	0	0.00	A	0
	WB	Stop	12.5	B	25	11.4	B	25
Year 2027 Background Conditions								
US 17 at Clear Hall Lane	NBL	Yield	9.10	A	0	0.00	A	0
	EB	Stop	19.6	C	0	22.6	C	25
US 17 at CR 209 South	NBL	Yield	0.00	A	0	0.00	A	0
	SBL	Yield	11.2	B	25	10.8	B	25
	EB	Stop	26.70	D	25	0.00	A	0
	WB	Stop	15.5	C	50	13.1	B	25
Year 2027 Build-Out Conditions								
US 17 at Clear Hall Lane	NBL	Yield	11.60	B	25	18.70	C	25
	EB	Stop	20.7	C	25	24.4	C	25
US 17 at Proposed Project Access Driveway	WBR	Stop	15.40	C	25	13.90	B	25
US 17 at CR 209 South	NBL	Yield	0.00	A	0	0.00	A	0
	SBL	Yield	12.3	B	25	12.8	B	50
	EB	Stop	29.00	D	25	0.00	A	0
	WB	Stop	19.1	C	75	16.3	C	50
CR 209 South at Project Access Driveway	EBL	Yield	7.60	A	0	7.60	A	25
	SB	Stop	9.4	A	25	9.2	A	0

Attachment H - HCM Worksheets

Attachment A

Project Site Plan

Source: Matthews Design Group, Inc.

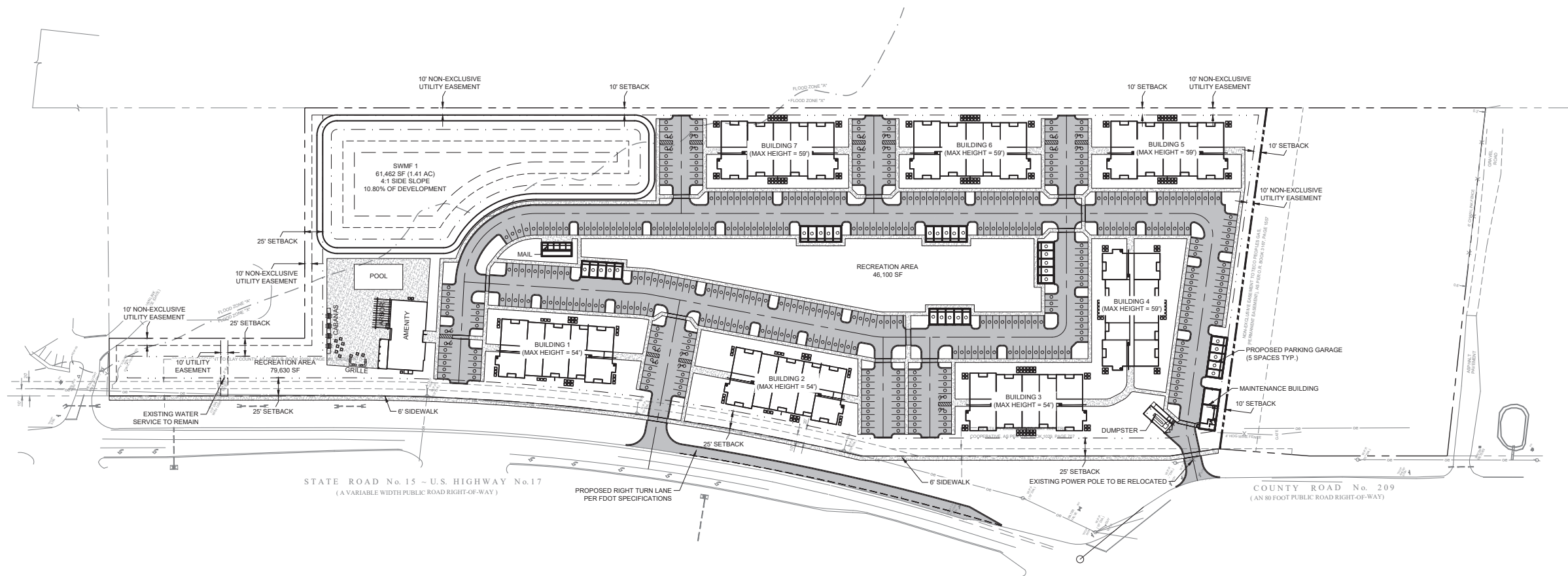
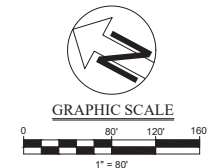
SITE DATA TABLE		
TOTAL SITE AREA	13.93 AC	606,739 SF
PROPOSED BUILDING		100,285 SF
PROPOSED IMPERVIOUS AREA		210,773 SF
PROPOSED POND AREA (WNL)		47,788 SF
PROPOSED RECREATION AREA		125,720 SF
TOTAL IMPERVIOUS		353,847 SF
TOTAL PERVIOUS		248,892 SF
TOTAL IMPERVIOUS %		59.2 %
TOTAL PERVIOUS %		41 %
% BUILDING COVERAGE		17 %
TOTAL FLOOR AREA		354,174 SF
FLOOR AREA RATIO (FAR)		5.40
PARCEL NUMBER(S)	38-06-26-010490 507.40	
911 ADDRESS	US HIGHWAY 17 AND CR 20 SOUTH	
FEMA PANEL NUMBER	12019C0236	
FLOOD ZONE	ZONE X & A	

PARKING CALCULATIONS		
TOTAL MINIMUM REQUIRED	=	457 SPACES
TOTAL PROVIDED	=	467 SPACES

DENSITY		
MAXIMUM ALLOWED DENSITY	=	278 UNITS 20 UNITS / ACRE
DENSITY AS DEPICTED	=	260 UNITS

HATCH LEGEND	
ASPHALT PAVEMENT	
CONCRETE SIDEWALK	

CONCEPT SITE PLAN IS SUBJECT TO REVISIONS BASED ON FINAL SITE
PLAN APPROVAL AND CONSTRUCTION PLAN APPROVAL

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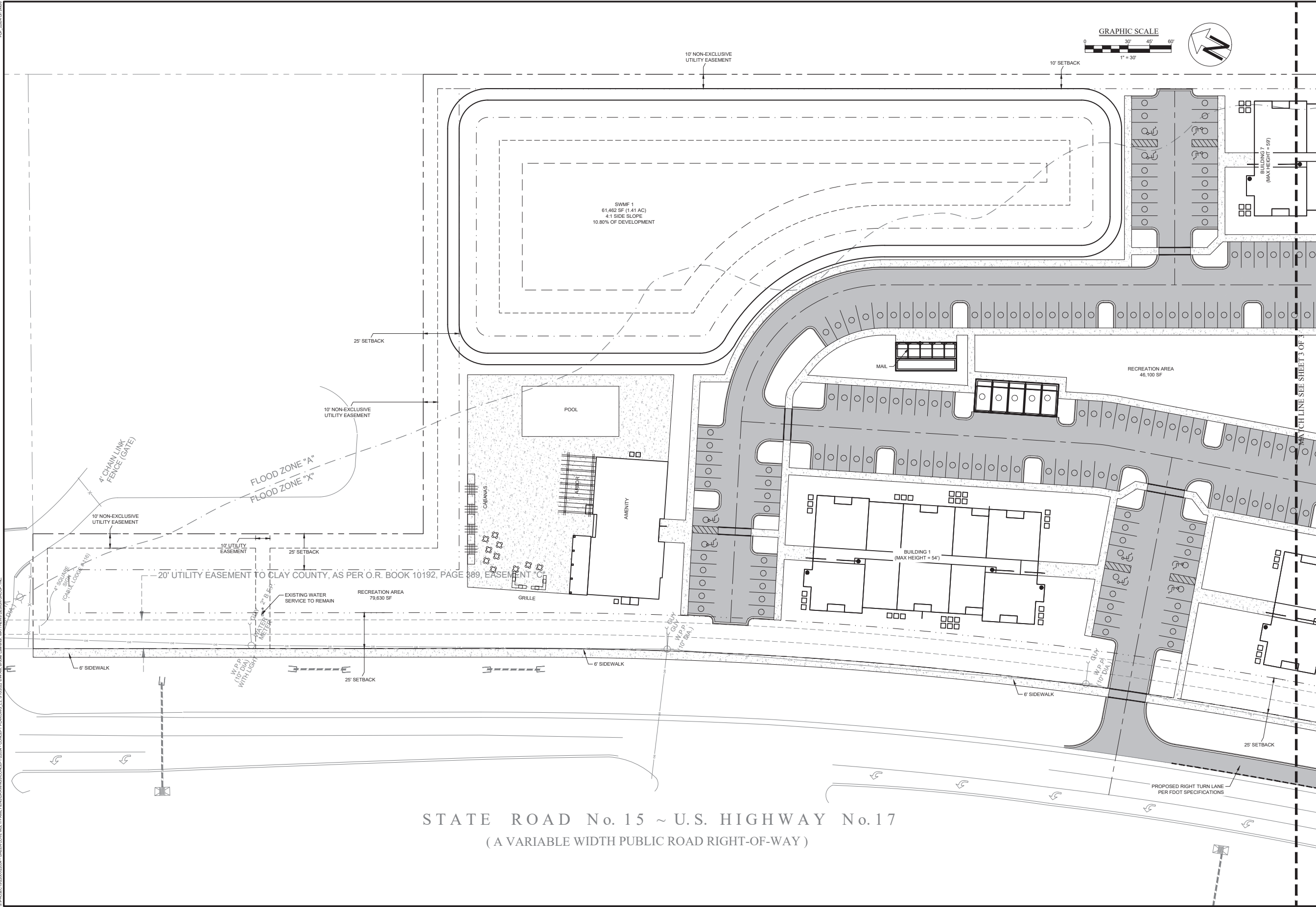
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DWG BY:	DTS
CHK BY:	ARA
DATE:	04-12-2022
JOB No.:	22034

**MATTHEWS
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INFO@MDGINC.COM

MASTER SITE PLAN
GREEN COVE MULTI FAMILY
GREEN COVE SPRINGS, FLORIDA
PREPARED FOR
PIEDMONT PRIVATE EQUITY

PROJECT: 2020102204 - GREEN COVE MULTI-FAMILY VENDOR AWARDS/CONCEPT 10204 - CONCEPT PLANS/02.21.2022 8:44 AM Broome Lawrence MATTHEWS DESIGN GROUP, INC.



STATE ROAD No. 15 ~ U.S. HIGHWAY No. 17
(A VARIABLE WIDTH PUBLIC ROAD RIGHT-OF-WAY)

Item # 4.

REVISIONS	
NO.	DATE

DATE: 04-12-2022

JOB NO.: 22034

MATTHEWS DESIGN GROUP

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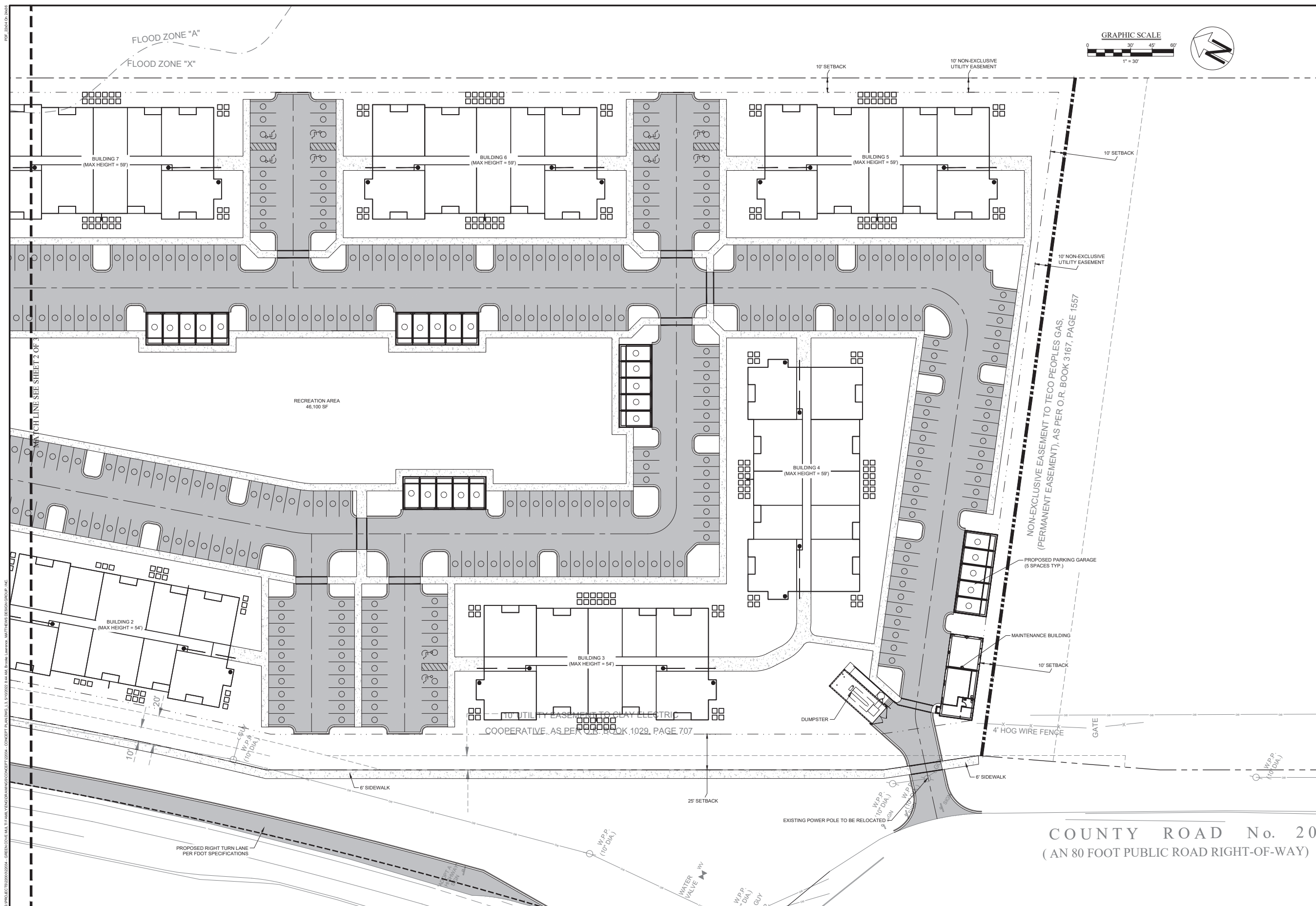
SITE PLAN

GREEN COVE MULTI FAMILY
GREEN COVE SPRINGS, FLORIDA
PREPARED FOR
PIEDMONT PRIVATE EQUITY

SHEET No.: 2

OF 3

Page 138

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DISC BY:	DTS
DWG BY:	DTS
CHK BY:	ARA
DATE:	04-12-2022
JOB No.:	22034

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SITE PLAN

GREEN COVE MULTI FAMILY
GREEN COVE SPRINGS, FLORIDA

PREPARED FOR
PIEDMONT PRIVATE EQUITY

SHEET No.:
3
OF 3

Attachment B

Methodology Document

To: Mr. Michael Daniels, AICP
Planning and Zoning Director
City of Green Cove Springs, FL

From: Rajesh K. Chindalur, P.E., PTOE
Project: Green Cove Springs – Multi-family
Client: PC Acquisitions, LLC
Project No.: 1146-220-007
Date: 05/03/2022

Introduction:

A multi-family residential development that is anticipated to include 260 units is proposed for construction in the City of Green Cove Springs, FL. The proposed development will be located on the northeast quadrant of US 17 and CR 209. Access to the proposed development will be provided via a right-in-right-out driveway on US 17 and a second driveway on CR 209. The following methodology will be adopted to complete the traffic impact study (TIS) to determine the impacts of the proposed development. A copy of the site plan provided by Matthews Design Group, Inc. is included as **Attachment A**.

Trip Generation:

Trip generation and for the proposed residential portion of the development will be estimated using the rates and equations included in the Trip Generation Manual, 11th Edition published by the ITE. Attached **Table 01** summarizes the Daily, AM and PM peak trips anticipated by the proposed development. As shown in this table, the proposed residential development is anticipated to generate 1,742 Daily trips which includes 103 AM peak and 132 PM peak trips.

Study Roadway Segments and Intersections:

Since the proposed development is anticipated to generate a total of 132 PM peak trips (greater than the 50 PM peak trips threshold), the study area will include all the roadway segments and intersections where in the project traffic is anticipated to be equal to or greater than five percent (5%) of the roadway segment adopted LOS maximum service volume (MSV). **Table 02** shows the existing conditions of the roadway segments within the vicinity of the proposed development. The existing conditions data for the study roadway segments were obtained from the FDOT traffic counts and Clay County Transportation Analysis Spreadsheet.

Planned and Programmed Roadways:

The County Capital Improvement Plan (CIP), FDOT Planned and Programmed Improvements and NFTP L RTP will be reviewed to determine any planned and programmed roadways within study roadway segments. The following projects are anticipated to be planned and programmed roadways:

- First Coast Expressway – SR 16 to US 17

Project Traffic Distribution & Assignment:

Project traffic distribution percentages on the study roadway segments using the interim year 2025 NERPM_ABv3 travel demand model run. **Attachment B** includes copies of the travel demand model plots. **Table 03** summarizes the project traffic distribution and assignment on the roadway segments in the vicinity of the proposed development.

Future Traffic Volumes:

The proposed development is anticipated to be constructed and occupied by the end of year 2025. However, the traffic impact analysis will be performed under the year 2027 conditions. The future traffic volumes on the study roadway segments were estimated by applying a growth rate to the year 2019 and 2022 traffic volumes. The growth rate was estimated by performing trends analysis of the study roadway

segments historical AADT. The historical AADT of the study roadway segments was obtained from the FDOT Traffic Counts Online Portal. **Attachment C** includes copies of the historical AADT, and the trends analysis of the study roadway segments.

Roadway Segment Analysis:

The segment analysis of the study area roadway segments will be performed to determine any impacts and adverse impacts due to the additional trips from the proposed development. The roadway segment will be considered impacted if the project traffic assignment (new trips) is equal to or greater than 5% of its adopted LOS maximum service volume (MSV). A study area roadway segment will be considered adversely impacted if that roadway segment is impacted (project new trips 5% of its adopted LOS MSV) and the total traffic (Existing trips + Reserved Trips + New Project Traffic) exceed 100% of the roadway segments adopted LOS MSV. **Table 04** summarizes the roadway segments analysis of the study roadway segments. As shown in this table, none of the study roadway segments are anticipated to be either impacted or adversely impacted under the build-out conditions of the proposed development.

Access Intersections:

Based on the discussions with FDOT staff, the project access on US 17 will be a right-in-right-out just north of CR 209 intersection and a full access roadway connection on CR 209 South just east of US 17. The above-mentioned access locations are shown in previously mentioned site plan. FDOT staff require the access evaluation to determine the following:

- The need for a northbound right turn lane on US 17 at the proposed project access driveway
- Adequacy of the existing southbound left turn lane on US 17 at CR 209 South intersection

Intersection Capacity Analysis:

Since the project traffic is not anticipated to be equal or greater than the study roadway segments' adopted LOS maximum service volume (MSV), intersection analysis other than the above stated intersections is not anticipated to be required.

TIA Report:

A report summarizing the above tasks and the outcome of the analysis will be prepared for submittal to FDOT and the City of Green Cove Springs.

If you have any questions or comments, please give me a call at (904) 422 6923.

Sincerely,
Chindalur Traffic Solutions, Inc.



Rajesh K. Chindalur, P.E., PTOE
8833 Perimeter Park Boulevard, Suite 103, Jacksonville, FL 32216
(904) 619-3368 | Chindalur@ctrfficsolutions.com

cc: Mr. John Cattano (cattanoj@aol.com)
Ms. Ellen Avery Smith (eaverysmith@rtlaw.com)

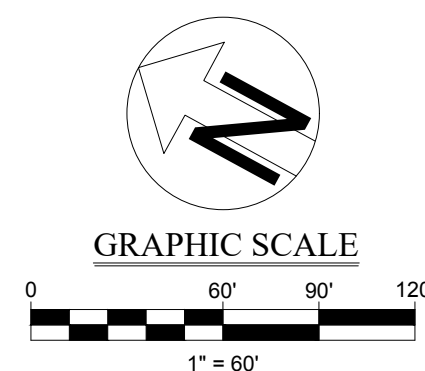
Attachment C

Planned and Programmed Improvements

Attachment C
Planned and Programmed Improvements in Clay County, Florida
Green Cove Springs Multi-family TIA

Project Description	Project Limits	Length	No. Of Lanes	Description	Budeget	Construction	
						Start Date	End Date
Middleburg, CR 218	Cosmos Ave to Pine Tree Lane	2.7	4	Widen from 2 to 4 Lanes	\$ 21,116,633.00	Summer 2022	Fall 2024
Lake Asbury CR 209 (Russell Rd)	CR 315B to US 17 and from CR 315 to South of Peter's Creek	1.1	4	Widen from 2 to 4 Lanes	\$ 11,318,996.00	Summer 2022	Summer 2024
Lake Asbury CR 209 (Russell Rd),	Sandridge Road to Peter's Creek Bridge	3.1	3	Widen from 2 to 3 Lanes	\$ 20,600,481.00	Summer 2023	Fall 2024
Lake Asbury CR739B (Sandridge)	Henley Road to CR 209 (Russell)	2.8	3	Widen from 2 to 3 Lanes	\$ 18,933,785.00	Spring 2023	Fall 2024
Middleburg, CR 220	Baxley Road to West of Henley Road	1.2	4	Widen from 2 to 4 Lanes	\$ 11,101,379.00	Summer 2022	Fall 2024
Green Cove Springs / Lake Asbury (First Coast Connector)	Maryland Avenue to US 17	1.2	4	Widen from 2 to 4 Lanes	\$ 9,604,889.00	Fall 2022	Summer 2024
Green Cove Springs (First Coast Connector)	SR 23 to CR 315/Maryland Ave Intersection	3.3	2	New 2 Lane Roadway	\$ 38,553,380.00	Fall 2022	Summer 2024
					\$ 131,229,543.00		

Source: <https://www.claycountygov.com/government/bonded-transportation-program>



36.500ft
9.583ft
10ft 3.75in
0.998ft
9.583ft

Matthews | **DCCM**

P.O. BOX 3126, 7 WALDO STREET
ST. AUGUSTINE, FL 32084
PHONE: 904.826.1334 • FAX: 904.826.4547
INFO@MDGNC.COM

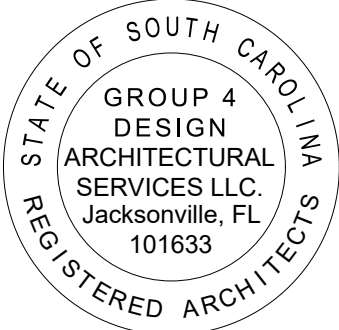
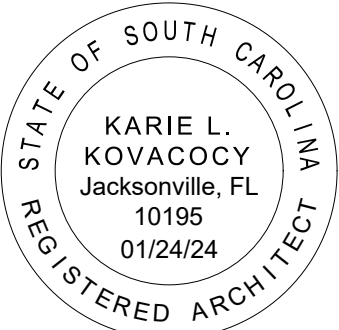
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DATE	03-31-2025
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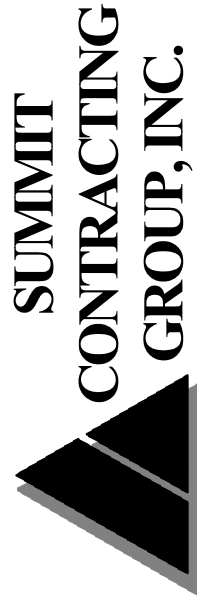
Matthews | **DECM**

P.O. BOX 3126, 7 WALDO STREET
ST. AUGUSTINE, FL 32084

PHONE: 904.826.1334 • FAX: 904.826.4547
INFO@MDMGING.COM



Issues and Revisions									
No.	Date	By	Description						
01	11.10.23	MAS	PERMIT SET						
02									
03									
04									
05									
06									
07									
08									
09									



Project Number: 23.5002.00

Drawn By: TJV

Checked By: JAX

Project Name:

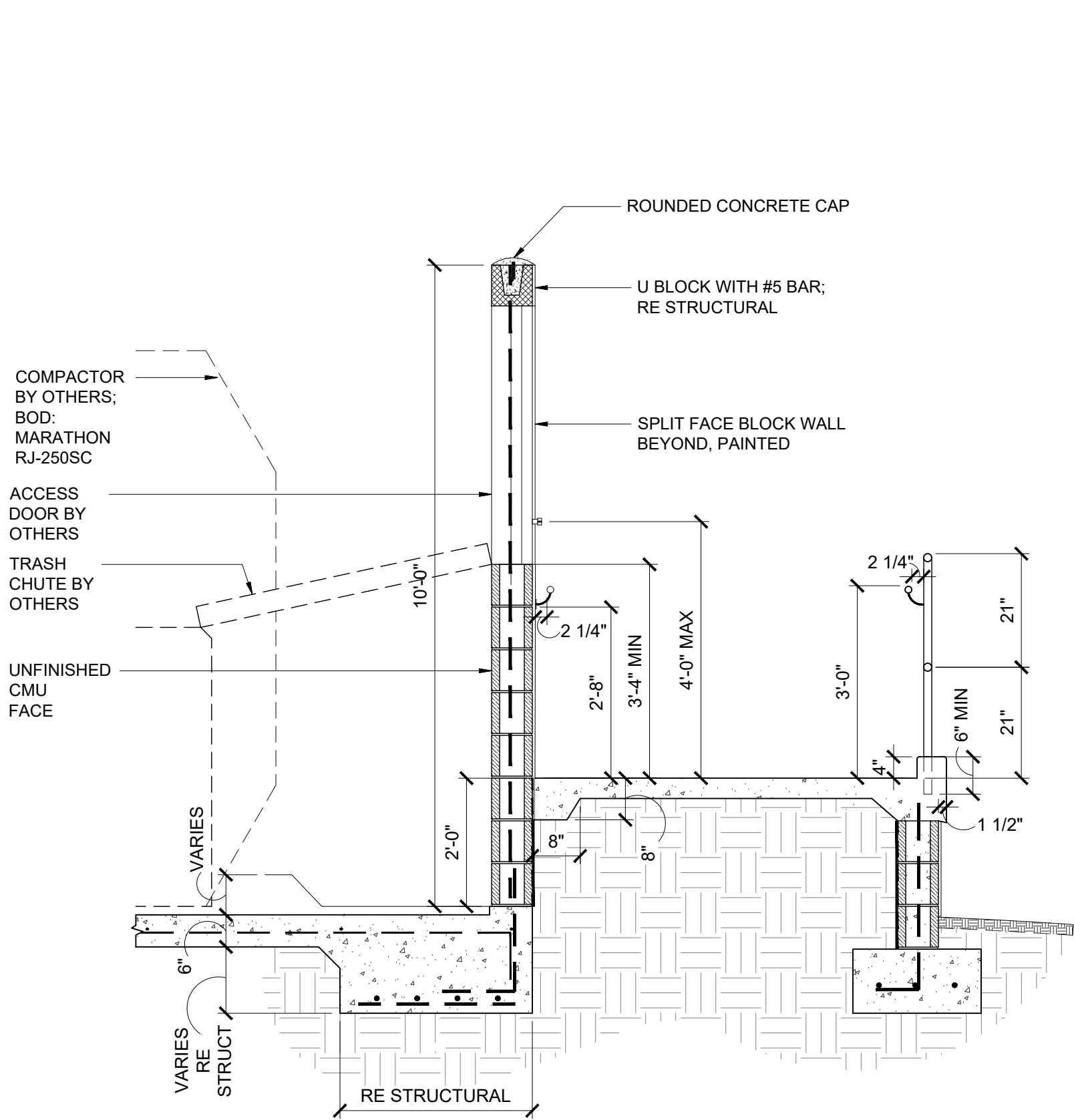
RENTAL COMMUNITY

Drawing Name:

TRASH COMPACTOR

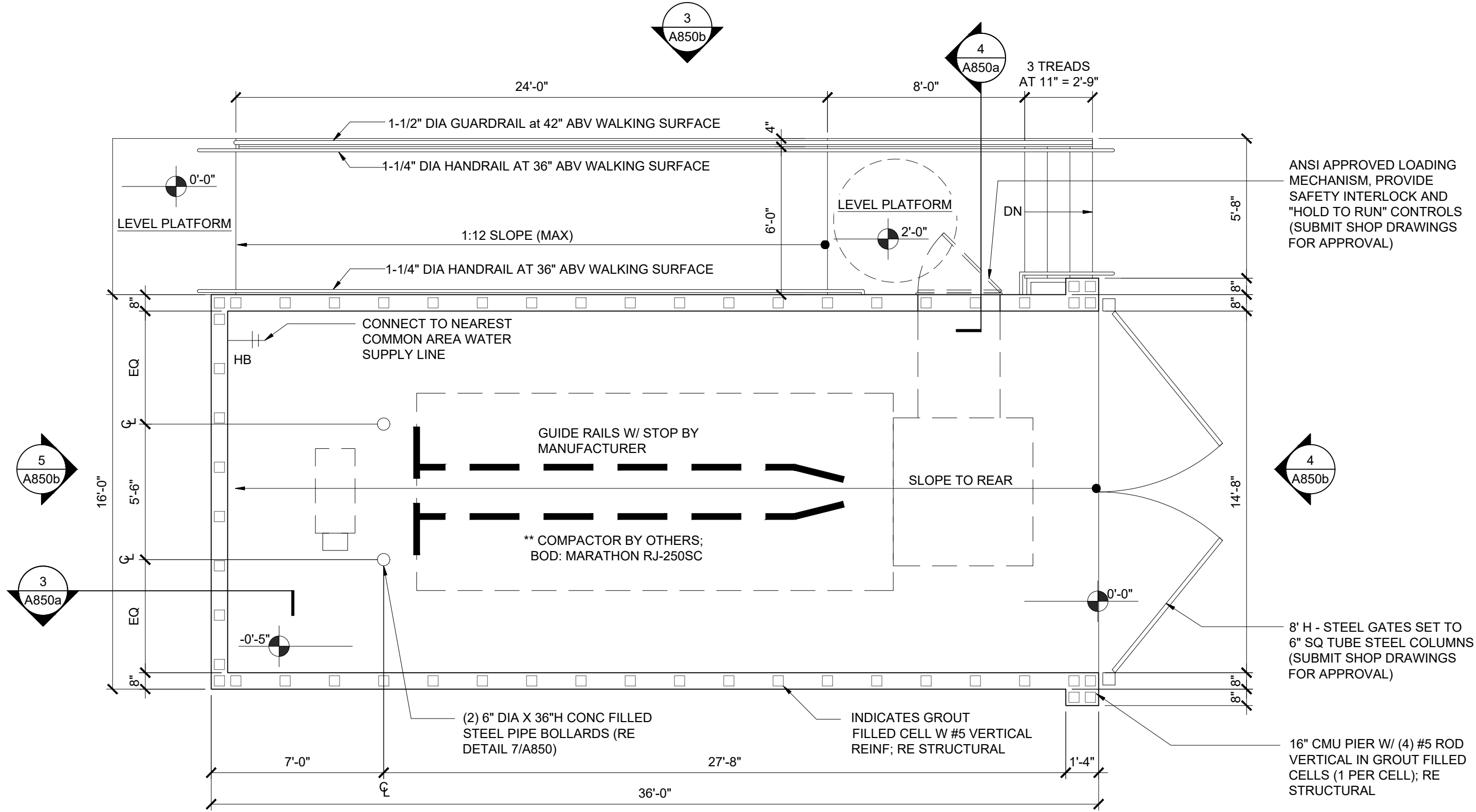
ENCLOSURE, PLANS AND DETAILS

A850a



4 RAMP / WALL SECTION DETAIL

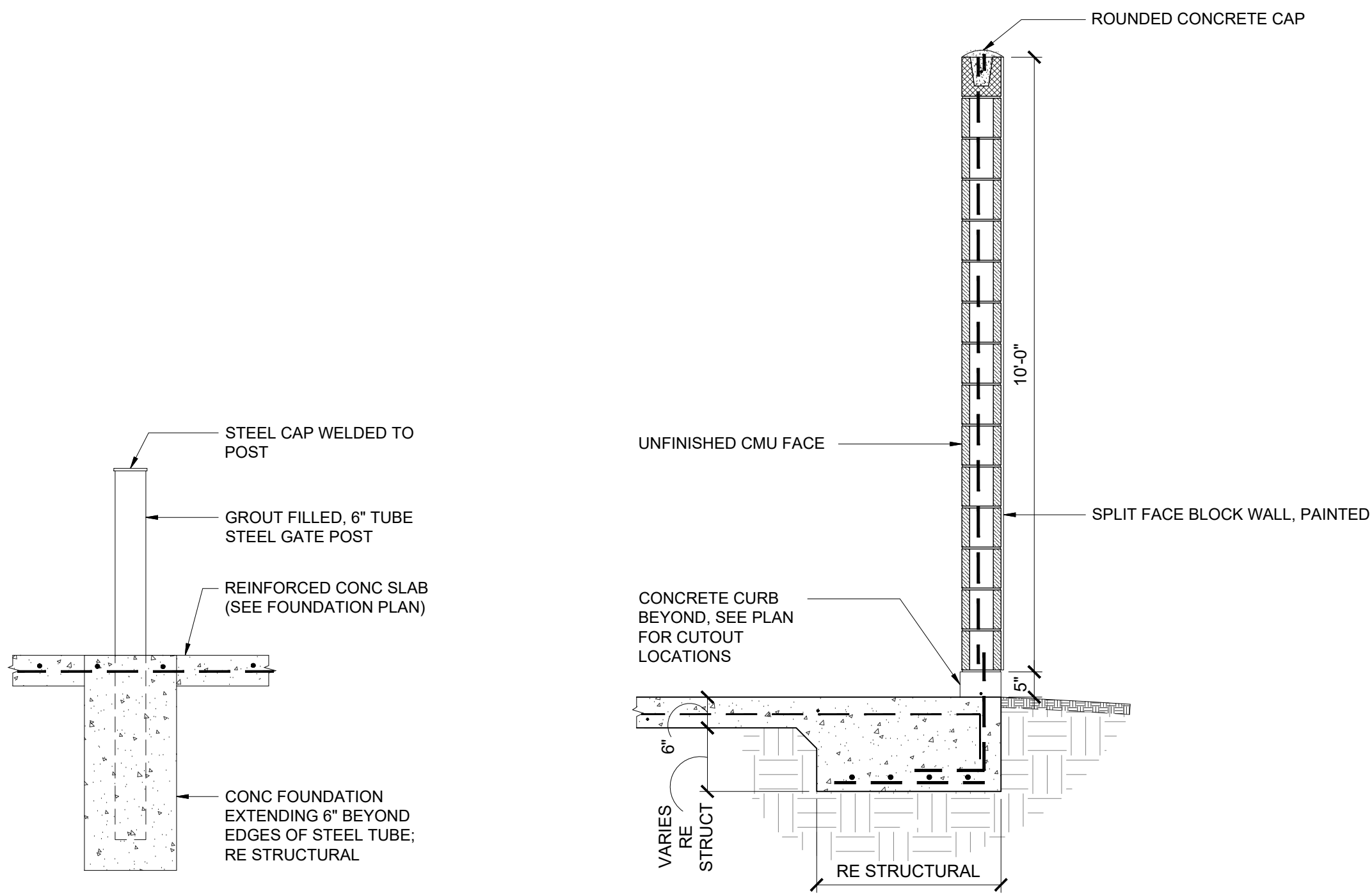
1/2" = 1'-0"



2 TRASH COMPACTOR - FLOOR PLAN

NOTE: ** INDICATES DIMENSION BASED ON INFORMATION SUPPLIED BY MARATHON EQUIPMENT FOR MODEL # RJ-250SC COMPACTOR
** COORDINATE ENCLOSURE WITH TRASH VENDOR.

1/4" = 1'-0"

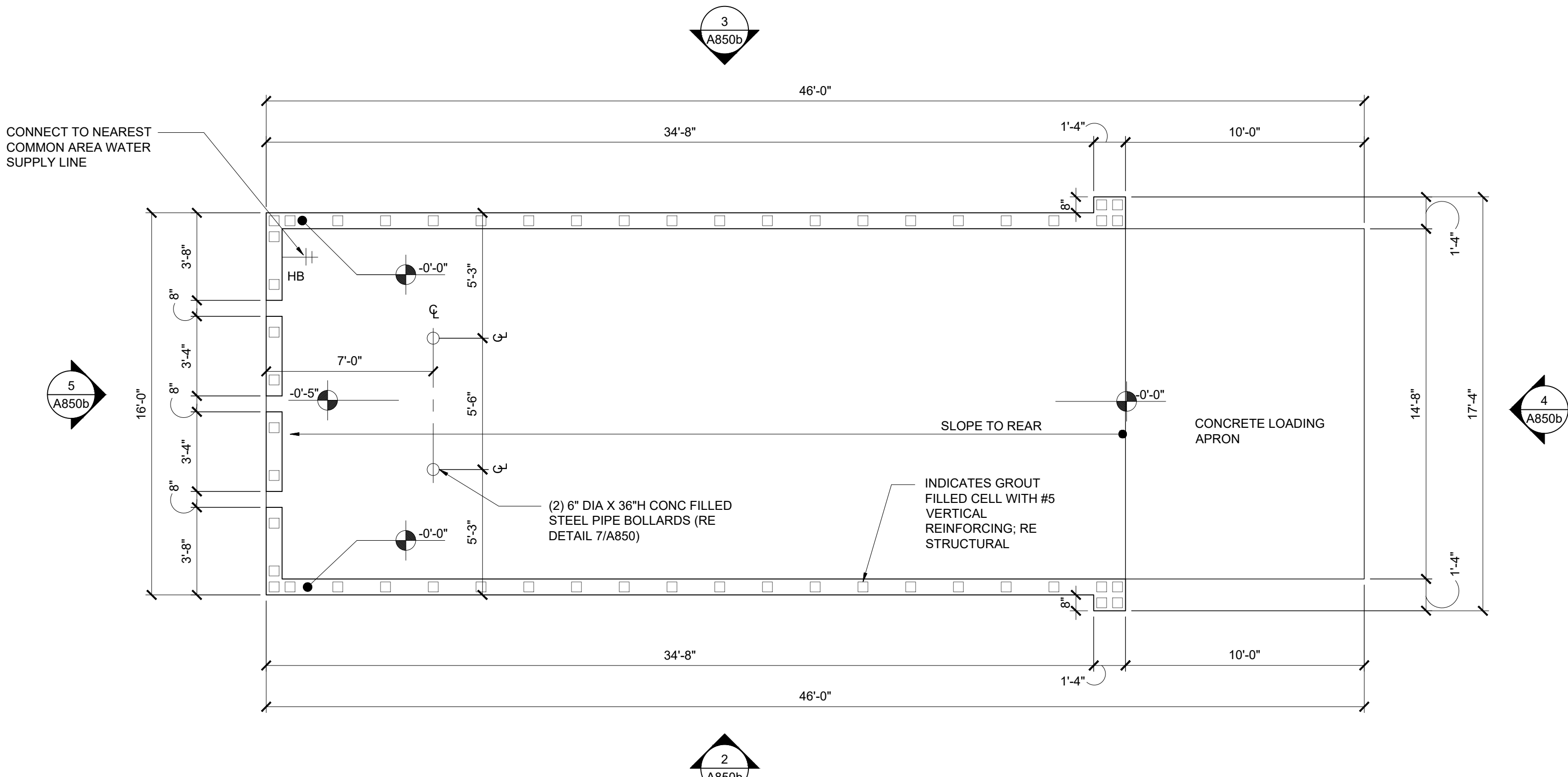


5 PIPE DETAIL

1/4" = 1'-0"

3 SLAB / WALL SECTION DETAIL

1/2" = 1'-0"

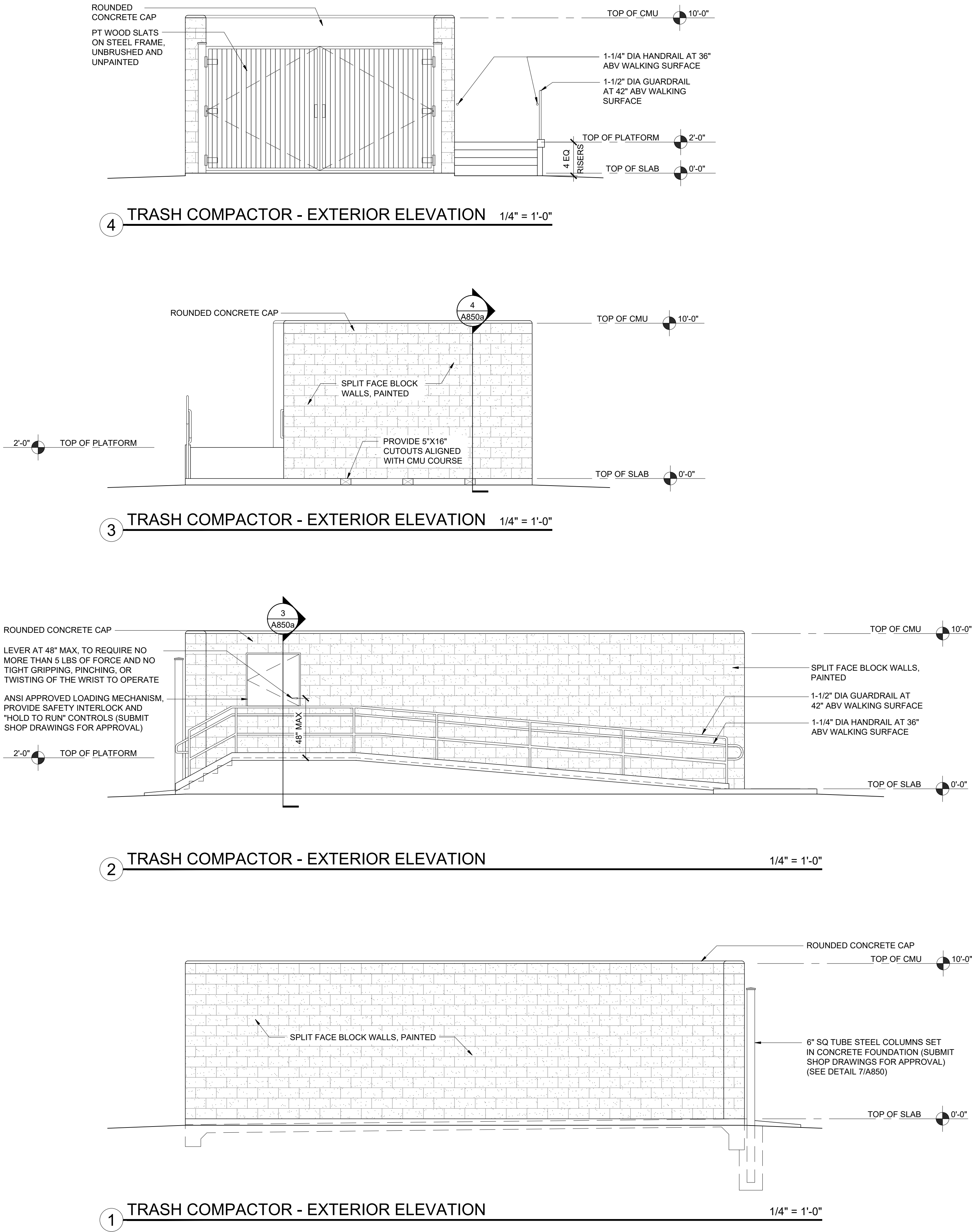


1 TRASH COMPACTOR - FOUNDATION PLAN

** COORDINATE ENCLOSURE WITH TRASH VENDOR.

1/4" = 1'-0"

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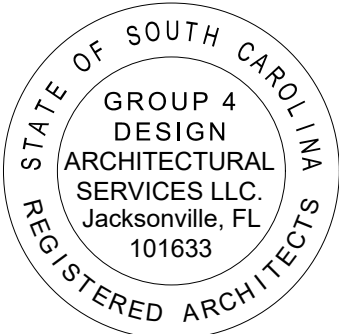
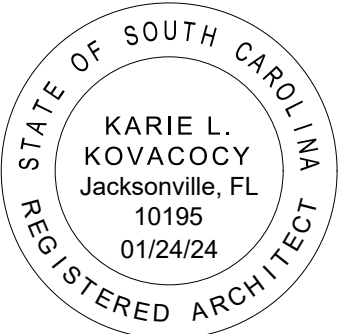
1939 Hendricks Avenue
Jacksonville, Florida 32207
904.353.5900 [a] 904.353.5968 [f]

PLANS, DESIGN CONCEPTS, WRITTEN MATERIALS & DRAWINGS ARE NOT TO BE REPRODUCED, ALTERED, COPIED IN ANY FORM OR MANNER, NOR ASSIGNED TO ANY PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF GROUP 4 DESIGN ARCHITECTURAL SERVICES LLC.

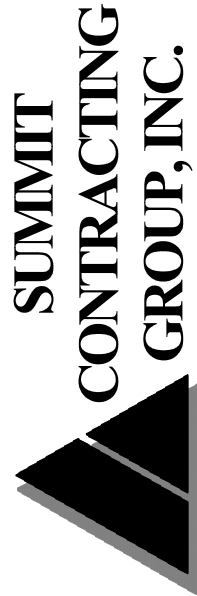
DO NOT SCALE THE DRAWINGS. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. SCALE NOTED IS FOR FULL "ANSI-D" SIZE PRINTS.

CONTRACTOR SHALL CHECK & VERIFY ALL JOB SITE CONDITIONS.

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Issues and Revisions		Description	
No.	Date	By	
01	11.10.23	MAS	PERMIT SET
02			
03			
04			
05			
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07			
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09			



Project Number: 23.5002.00

Drawn By: TJV

Checked By: JAX

Project Name:

RENTAL COMMUNITY

Drawing Name:

TRASH COMPACTOR

ENCLOSURE, PLANS AND DETAILS

A850b



City of Green Cove Springs Site Plan Application

FOR OFFICE USE ONLY

Item # 4.

P Z File # _____

Application Fee: _____

Filing Date: _____ Acceptance Date: _____

Review Type: SRDT ☐ P & Z ☐ CC ☐

A. PROJECT

- Project Name: Preserve at Green Cove Springs
- Address of Subject Property: US 17 & CR 209
- Parcel ID Number(s): 38-06-26-016499-007-01
- Existing Use of Property: unimproved land
- Future Land Use Map Designation: mixed-use
- Zoning Designation: PUD
- Acreage: 13.92

B. APPLICANT

- Applicant's Status ☐ Owner (title holder) ☒ Agent
- Name of Applicant(s) or Contact Person(s): Eric Conkright Title: _____
Company (if applicable): PC Acquisition, LLC
Mailing address: 1 Concourse Pkwy, Ste 800
City: Atlanta State: GA ZIP: 30328
Telephone: () 404-625-6373 FAX: () _____ e-mail: eric@piedmontpe.com
- If the applicant is agent for the property owner*:
Name of Owner (title holder): Virginia S. Hall Revocable Trust, J.P. Hall Jr Second Amended and Restated Revocable Trust, CHS LLC, Lyman G. Hall
Company (if applicable): _____
Mailing address: 2321 Egremont Drive
City: Orange Park State: FL ZIP: 32073
Telephone: () 904-860-8739 FAX: () _____ e-mail: virginiashall@msn.com

* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

- Is there any contract for sale of, or options to purchase the subject property? ☒ Yes ☐ No
If yes, list names of all parties involved: PC Acquisition, LLC
If yes, is the contract/option contingent or absolute? ☒ Contingent ☐ Absolute

6. Fee.

a. Based on size of site:

- i. For sites <10,000 s.f. - \$500
- ii. For sites >10,000 s.f. - \$1,000 + \$20 per acre

b. All applications are subject 10% administrative fee and must pay the cost of any outside consultants' fees.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 6 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:

[Signature]
Signature of Applicant

Signature of Co-applicant

Eric Conkright
Typed or printed name and title of applicant

Typed or printed name of co-applicant

3/10/2025
Date

Date

State of GEORGIA County of FORSYTH

The foregoing application is acknowledged before me this 10 day of MARCH, 2025 by ERIC

CONKRIGHT, who is/are personally known to me, or who has/have produced DRIVERS LICENSE
as identification.

NOTARY SEAL

upth

Signature of Notary Public, State of GA





Planning & Zoning

321 Walnut Street, Green Cove Springs, FL 32043 904-297-7051

APPLICATION DEFICIENCY NOTICE

DATE: April 21, 2025

APPLICATION REFERENCE: Alex Acree, SPL-25-001 - US HIGHWAY 17

Dear Applicant:

The items you submitted for the above-referenced permit have been reviewed by the City representatives responsible for approving different aspects of your application. Attached to this notice is a list of comments in response to the materials submitted.

Each of the items on the attached list require responses and revised materials be created and re-submitted before any further action can be taken on this permit. A hold is placed on this application and the time it takes you to respond to this list of items is excluded in calculating permit processing timeframes. Once corrected and/or new materials are submitted, your permit processing timeframe will begin again.

A complete response to each of the items on the attached list is required to be submitted **at the same time**. As applicable, a complete response is required to include:

1. A written document addressing all of your responses (one paper copy).
2. New and/or updated technical reports (one paper copy).
3. New and/or corrected plans. Please note that revisions to previously submitted plans are required to be identified by clouding, must be noted in a revision list on the plan sheet(s), and are required to be incorporated into a full set of revised plans (one paper copy).
4. A transmittal that itemizes everything being resubmitted (one paper copy).
5. A copy of the entire resubmittal must be provided electronically (either on a thumb drive or uploaded via the permit portal).

Your response must be received by our Department within 180 days of the date noted on this letter to avoid this application being withdrawn from consideration. Withdrawn application must be resubmitted as new applications requiring repayment of all applicable fees and processing requirements.

Thank you for your anticipated cooperation in submitting the items requested by staff. We look forward to working with you as this application continues to be processed.

APPLICATION DEFICIENCY NOTICE

DATE: April 21, 2025

APPLICATION REFERENCE: Alex Acree, SPL-25-001

FIRE DEPARTMENT COMMENTS - contact Sandra Boike (sandra.boike@claycountygov.com)

1. Fire#1 Review NFPA 1:18.4.5.3. Fire Flow requirements. Provide adequate fire hydrants as required based on the needed fire flow. *Fire flow requested at SDRT.*

2. Fire#2 Provide Autoturn analysis for fire truck apparatus be sure to include a vehicle clearance envelope and display. NFPA 1141:5.2 and NFPA 1:18. Access required to be provided with no impediment into parking, landscape features or structures. Apparatus Specifications:
 Engine 15
 Year- 2021
 Make- Pierce
 Model- Enforcer
 Height - 10' 3.75"
 Length- 36'5
 Width- 9'7 (mirror to mirror),
 9' (Engineers step to Officers step)

 Ladder
 Year- 2017
 Make- Pierce
 Chassis- Arrow XT
 Height- 123
 Length- 406
 Width 10 (mirror to mirror)
 Fire#3 Where multiple means of access are required, they shall be located as remotely from each other as practical and acceptable to the AHJ. NFPA 1141:5.1.4.4
 Fire#4 Will there be gates?

STORMWATER CONSULTANT COMMENTS - contact Charlie Sohm (csohm@baxterwoodman.com)

Approved with Conditions: Show rip rap apron for outfall pipe on plans. Also ensure outfall MES and apron are either on subject parcel or have a drainage easement from the neighboring property.

ELECTRIC COMMENTS - contact Steven Tye (stye@greencovesprings.com)

Approved with Conditions: Coordinate with Steve Tye, Cell:(904)860-9411, GCSE Dept. All electric requirements for all buildings needed to build required UG electric system.

APPLICATION DEFICIENCY NOTICE

DATE: March 24, 2025

APPLICATION REFERENCE: Alex Acree, SPL-25-001

STORMWATER CONSULTANT COMMENTS - contact Charlie Sohm (csohm@baxterwoodman.com)

Approved with Conditions: Show rip rap apron for outfall pipe on plans. Also ensure outfall MES and apron are either on subject parcel or have a drainage easement from the neighboring property.