# CITY OF GREEN COVE SPRINGS SITE DEVELOPMENT REVIEW TEAM MEETING



321 WALNUT STREET, GREEN COVE SPRINGS, FLORIDA THURSDAY, APRIL 03, 2025 – 2:00 PM

## **AGENDA**

#### **TOPICS:**

- 1. Review of a Site Development Plan for the Preserve at Green Cove Springs, a Multi-Family Residential Complex
- 2. Review of a Modification of the Graylon Oaks PUD to allow for proposed townhouses to be split into two parcels
- 3. Request for a variance to allow a gazebo to be placed within required setbacks of the property located at 462 Vermont Ave
- 4. Special Events

**NEXT MEETING TO BE HELD**: Thursday, May 1, 2025 at 2:00 PM

#### **ADA NOTICE**

In accordance with Section 286.26, Florida Statutes, persons with disabilities needing special accommodations to participate in this meeting should contact the City Clerk's office no later than 5:00 p.m. on the day prior to the meeting.



# STAFF REPORT

## CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Site Development Review Team MEETING DATE: April 3, 2025

**FROM:** Gabriel Barro, Planning and Zoning

SUBJECT: Review of a Site Development Plan for the Preserve at Green Cove Springs, a Multi-Family

**Residential Complex** 

### PROPERTY DESCRIPTION

APPLICANT: Eric Conkright, PC Acquisitions, LLC OWNER: JP Hall Jr Revocable Trust

12/17/1993 Et Al

PROPERTY LOCATION: US Highway 17 & CR 209

**PARCEL NUMBER:** 016499-007-01

FILE NUMBER: SPL-25-001

**CURRENT ZONING:** PUD

FUTURE LAND USE DESIGNATION: Mixed Use

#### SURROUNDING LAND USE

NORTH: FLU: Industrial SOUTH:FLU: Mixed-Use

**Z**: Public Ownership (County) **Z**: C-2

Use: Lodge Use: Service Shop

EAST: FLU: Mixed-Use RP WEST: FLU: Industrial

**Z**: M-2 **Z**: IB Heavy Industrial (County)

Use: Manufacturing Use: Manufacturing

#### **BACKGROUND**

The applicant has applied for Site Development approval for the subject property for the development of multiple apartment buildings.

#### PROPERTY DESCRIPTION

The site consists of two parcels totaling 17.36 acres along the eastern side of US 17 at the intersection of CR 209.

#### DEVELOPMENT DESCRIPTION

The applicant is proposing the construction of an apartment complex. The site will consist of 7 apartment buildings, a parking lot, an amenity center, and a drainage retention pond. The site will have two ingress/egress points, one on CR 209, and another on US 17. The amenity center will include a swimming pool for residents of the apartment complex. The parking lot is designed as a loop around the center of the site. An outdoor recreation will be included within the center of the parking area.

#### PARKING, LOADING, & STACKING

The plan shows 437 parking spaces, 20 of which are ADA. The site also includes 30 garage parking spaces.

#### DRAINAGE RETENTION

The drainage plan shows a retention pond consisting of 61,319 square feet.

#### TRAFFIC AND ACCESS

The site will include an ingress/egress point on CR 209 and another on US 17.

#### UTILITY CONNECTIONS & SOLID WASTE

The project site is within the City's water and electric district.

#### LANDSCAPE PLAN

No landscape plan has been submitted.

#### STAFF RECOMMENDATION

This meeting is to determine staff consensus.



# City of Green Cove Springs Site Plan Application

FOR OFFICE USE ONLY	Iter	m 1
P Z File #	ner	11 1
Application Fee:		
Filing Date:	Acceptance Date:	
Review Type: SRDT	P&Z CC C	

A.	PROJECT REVIEW Type: SKDTLL F & Z LL CC LL
	Project Name: Preserve at Green Cove Springs
1.	Address of Subject Property: US 17 & CR 209
2.	Parcel ID Number(s): 38-06-26-016499-007-01
3.	Existing Use of Property: unimproved land
4.	Existing Use of Property:
5.	Future Land Use Map Designation : mixed-use
6.	Zoning Designation: PUD
7.	Acreage: 13.92
В.	APPLICANT
1.	Applicant's Status
2.	Name of Applicant(s) or Contact Person(s): Eric Conkright
	Company (if applicable): PC Acquisition, LLC
	Mailing address: 1 Concourse Pkwy, Ste 800
	City: Atlanta State: GA ZIP: 30328  Telephone: () 404-625-6373 FAX: () e-mail: eric@piedmontpe.com
3.	If the applicant is agent for the property owner*:
	Name of Owner (title holder): Virginia S. Hall Revocable Trust, J.P. Hall Jr Second Amended and Restated Revocable Trust, CHS LLC, Lyman G. Hall
	Company (if applicable):
	Mailing address: 2321 Egremont Drive
	City: Orange Park State: FL ZIP: 32073
	Telephone: () 904-860-8739 FAX: () e-mail: virginiashall@msn.com
	* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.
C.	ADDITIONAL INFORMATION
	1. Is there any contract for sale of, or options to purchase the subject property?
	If yes, list names of all parties involved: PC Acquisition, LLC
	If yes, is the contract/option contingent or absolute?   Contingent  Absolute

City of Green Cove Springs Development Services Department ◆321 Walnut Street ◆ Green Cove Springs, FL 32043◆(904) 297-7500

- a. Based on size of site:
  - i. For sites <10,000 s.f. \$500
  - ii. For sites >10,000 s.f.- \$1,000 + \$20 per acre
- b. All applications are subject 10% administrative fee and must pay the cost of any outside consultants' fees.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 6 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

Signature of Applicant	Signature of Co-applicant
Eric Conteria lut	
Typed or printed name and title of applicant	Typed or printed name of co-applicant
3/10/2025 Date	Date
State of GEO RGIA	County of FOLSYTH
The foregoing application is acknowledged	before me this 10 day of MARCH 205 by ERIC
The following approximation of the second of	
CONKRIGHT_, who is/are personal	ly known to me, or who has/have produced
CONKRIGHT, who is/are personal as identification.	ly known to me, or who has/have produced DRIVERS L
	ly known to me, or who has/have produced DRIVERS L
as identification.  NOTARY SEAL	Signature of Notary Public, State of
as identification.  NOTARY SEAL	uptz
as identification.	uptz

# CONSTRUCTION PLANS FOR PRESERVEAT GREEN COVE SPRINGS

CITY OF GREEN COVE SPRINGS

Digitally signed by Alexander R 2025.03.11

**GENERAL NOTES:** 

A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS CONTRACTORS TO THE OWNER:

A & J LAND SURVEYORS, INC 5847 LUELLA STREET JACKSONVILLE, FLORIDA 32207 CONTACT: JONATHON B. BROWN PHONE: (904) 346-1736

MATTHEWS DESIGN GROUP, LLC AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.

B. ADDITIONAL PROJECT INFORMATION HAS BEEN PROVIDED BY THE FOLLOWING SUB-CONSULTANT AS CONTRACTOR TO THE

UNIVERSAL ENGINEERING SCIENCES

TYPE: GEOTECHNICAL 5561 FLORIDA MINING BOULEVARD SOUTH JACKSONVILLE, FLORIDA 32257-3648 CONTACT: STEPHEN R. WEAVER, P.E. PHONE: (904) 296-0757

C. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER OF ANY DISCREPANCIES BETWEEN THE SURVEY AND FIELD VERIFICATION OF INFORMATION ABOVE OR BELOW GROUND THAT MAY BE CRITICAL TO THE DESIGN OF THIS PROJECT THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION OF THIS PROJECT.

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER IS INVOLVED WITH THE PHYSICAL CONSTRUCTION ON AN ONGOING BASIS AT THE SITE.

MATTHEWS DESIGN GROUP (MDG) IS THE PROJECTS ENGINEER OF RECORD (EOR). MDG IS NOT A GENERAL CONTRACTOR, UTILITY CONTRACTOR, SITE CONTRACTOR, OR ANY OTHER TYPE OF CONTRACTOR.

E. SAFETY NOTICE TO CONTRACTOR:

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.

F. CONSTRUCTION TESTING:

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, TESTING, LABORATORY ANALYSES, REPORTS, COSTS, ETC. CONCERNING SOILS AND PAVEMENT RELATED DESIGN REQUIREMENTS AND SPECIFICATIONS AS SET FORTH IN THESE PLANS.

G. AS-BUILT SURVEY NOTE:

UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS REQUIRED TO PROVIDE OWNER / ENGINEER WITH A SIGNED AND SEALED AS-BUILT SURVEY AND ANY OTHER RELATED CONSTRUCTION DOCUMENTS, IN ACCORDANCE WITH APPLICABLE PERMITTING AGENCY REQUIREMENTS, AS THE BASIS FOR PROJECT CERTIFICATIONS AND CLOSE-OUT.

H. RIGHT-OF-WAY:

ANY AND ALL WORK CONDUCTED WITHIN THE CITY OF GREEN COVE SPRINGS RIGHT-OF-WAYS MUST BE IN ACCORDANCE WITH THE APPLICABLE LAND DEVELOPMENT CODES.

PRE-CONSTRUCTION MEETING:

IT IS THE RESPONSIBILITY OF THE APPLICANT TO SCHEDULE A PRE-CONSTRUCTION / PRE PERMIT ISSUANCE MEETING WITH CITY OF GREEN COVE SPRINGS STAFF AFTER PLANS HAVE BEEN RELEASED FOR CONSTRUCTION BY THE CITY AND PRIOR TO STARTING ANY SITE ACTIVITIES. THE PRE-CONSTRUCTION MEETING WILL BE HELD IN CONJUNCTION WITH THE CITY MANDATORY PRE-CONSTRUCTION MEETING. HOWEVER, IF THE PROJECT FALLS OUTSIDE OF CITY JURISDICTION, PLEASE CALL CITY OF GREEN COVE SPRINGS TO SCHEDULE MEETING.

J. ALL ELEVATIONS SHOWN HEREIN ARE REFERENCED TO NAVD 88.

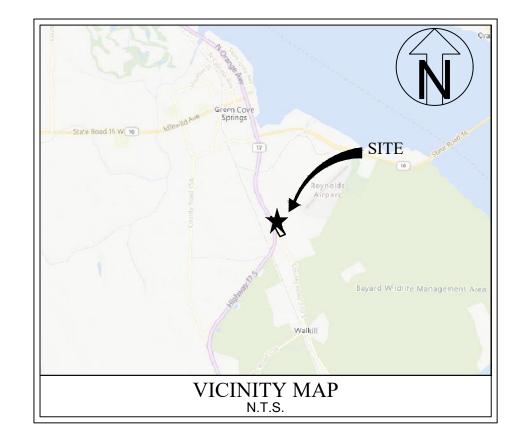
I. FIRE SEVICES

WHEN VERTICAL CONSTRUCTION BEGINS, FIRE DEPT. ACCESS IS REQUIRED

\*FIRE DEPT ACCESS ROADS SHALL BE PROVIDED AT THE START OF THE PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. (NFPA 1, CHP 16)

\*FIRE DEPT ACCESS ROAD SHALL BE UNOBSTRUCTED 20 FEET WIDE, STABILIZED SURFACE TO SUPPORT 80,000 LBS AND PROVIDE TURNAROUND FOR A 50 FOOT FIRE APPARATUS. (NFPA 1, CHP 18)





OWNER: PC ACQUISITION LLC 3475 PIEDMONT ROAD NE, SUITE 1125 ATLANTA, GA 30305 PHONE: (803) 381-5850 CONTACT: JOHN D. CATTANO

PREPARED BY: Matthews | DCCM

P.O. BOX 3126, 7 WALDO STREET ST. AUGUSTINE, FL 32084 PHONE: 904.826.1334 mdg.info@dccm.com

PERMITS / APPROVALS

ST JOHNS RIVER WATER MANAGEMENT DISTRICT

CITY OF GREEN COVE SPRINGS CLAY COUNTY UTILITY AUTHORITY

FDEP - WATER

FDEP - SEWER

PERMIT NO. SUBMITTED

**GENERAL NOTES UTILITY NOTES** SURVEY

GRADING & DRAINAGE PLAN

Sheet Title

**COVER SHEET** 

Sheet List Table

**EROSION CONTROL & DEMOLITION PLAN** MASTER SITE PLAN SITE PLAN

SITE PLAN SITE PLAN GRADING & DRAINAGE PLAN

Sheet Number

GRADING & DRAINAGE PLAN MASTER UTILITY PLAN UTILITY PLAN UTILITY PLAN

UTILITY PLAN CONSTRUCTION DETAILS CONSTRUCTION DETAILS CONSTRUCTION DETAILS CONSTRUCTION DETAILS

SWPPP

CONSTRUCTION DETAILS UTILITY DETAILS UTILITY DETAILS UTILITY DETAILS

RESOURCE LIST

CLAY COUNTY UTILITY AUTHORITY SJRWMD - PALATKA HEADQUARTERS 3176 OLD JENNINGS RD 3600 DOT ROAD PO BOX 1429 MIDDLEBURG, FL 32068 ST. AUGUSTINE, FLORIDA 32084 PALATKA, FL 32178 (904) 272-5999 (904) 825-5026 386-329-4500

CONTACT: NATHAN D. GOTTSCHALK

FDEP - WATER & SEWER

8800 BAYMEADOWS WAY, SUITE 100

JACKSONVILLE, FLORIDA 32256

(904) 256-1700

FLOOD CERTIFICATION:

THIS SITE IS SHOWN IN FLOOD ZONE "X" AS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12109C0257H, FOR CITY OF GREEN COVE SPRINGS,

FLORIDA, EFFECTIVE DECEMBER 7, 2018.

## GENERAL SITE NOTES:

INCLUDED IN THE CONTRACTORS BID.

- 1. MATTHEWS DESIGN GROUP (MDG) IS THE PROJECTS ENGINEER OF RECORD (EOR). MDG IS NOT A GENERAL CONTRACTOR, UTILITY CONTRACTOR, SITE CONTRACTOR, OR ANY OTHER TYPE OF CONTRACTOR.
- 2. ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELATIVE SECTIONS OF CITY OF GREEN COVE SPRINGS LAND DEVELOPMENT CODE, (LATEST REVISION) AND ALL CITY STANDARD DETAILS.
- 3. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF OSHA SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES OF THEIR EMPLOYEES, AND FOR ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH OSHA REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE
- 4. PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR SHALL VERIFY ALL SURVEY CONTROL POINTS AS PROVIDED IN THE BOUNDARY SURVEY. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO PREPARING THE BID FOR THE PURPOSE OF FAMILIARIZING THEMSELVES WITH THE NATURE AND THE EXTENT OF THE WORK AND LOCAL CONDITIONS, EITHER SURFACE OR SUB-SURFACE, WHICH MAY AFFECT THE WORK TO BE PERFORMED, AND THE EQUIPMENT, LABOR AND MATERIALS REQUIRED. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THE CONSTRUCTION CONTRACT. THE CONTRACTOR IS ALSO URGED TO TAKE COLOR PHOTOGRAPHS ALONG THE ROUTE OF OR WITHIN THE PROJECT TO RECORD EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND TO AID IN RESOLVING POSSIBLE FUTURE ISSUES THAT MAY OCCUR DUE TO THE CONSTRUCTION OF THE PROJECT.
- 6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO EITHER CONDUCT ANY FIELD EXPLORATION OR ACQUIRE ANY GEOTECHNICAL ASSISTANCE REQUIRED TO ESTIMATE THE AMOUNT OF UNSUITABLE MATERIAL THAT WILL REQUIRE REMOVAL AND/OR TO ESTIMATE THE AMOUNT OF OFF SITE BORROW THAT WILL BE REQUIRED. FAILURE OF THE CONTRACTOR TO IDENTIFY/QUANTIFY THE AMOUNT OF UNSUITABLE MATERIAL TO BE REMOVED AND REPLACED DURING THE DROCESS WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE PERFORMANCE UNDER THE
- 7. ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE DEVELOPER AND CITY OF GREEN COVE SPRINGS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER AND CITY OF GREEN COVE SPRINGS.
- 8. FOR BOUNDARY, ROADWAY, AND BUILDING GEOMETRY INFORMATION SEE ENGINEERING SITE PLAN. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING DIMENSIONS SHOWN ON THE ENGINEERING PLAN AGREES WITH THE DIMENSIONS SHOWN ON THE ARCHITECTURAL PLAN. IF ANY DIMENSIONS DO NOT AGREE, THE ARCHITECT, ENGINEER, AND OWNER SHALL BE NOTIFIED AND THE DIMENSIONS ADJUSTED PRIOR TO COMMENCING WITH CONSTRUCTION.
- 9. UNLESS DIRECTED OTHERWISE BY THE OWNER OR THE ENGINEER, THE CONTRACTOR WILL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM MATERIAL TESTING AND SOIL TESTING IN ACCORDANCE WITH CITY REQUIREMENTS. THIS SHALL INCLUDE DENSITY TESTS IN ALL PAVEMENT AREAS AND IN ALL UTILITY TRENCHES LOCATED IN PAVEMENT AREAS, CONCRETE TESTING AND ALL OTHER MATERIAL TESTING. PRIOR TO LIMEROCK PLACEMENT, THE PROJECT GEOTECHNICAL ENGINEER SHALL MAKE RECOMMENDATION FOR UNDERDRAIN PLACEMENT.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE REQUIRED FOR THE PROJECT INCLUDING CITY OF GREEN COVE SPRINGS RIGHT-OF-WAY PERMITS FOR WORK IN THE CITY RIGHT-OF-WAY OR EASEMENT.
- 11. THE CONTRACTOR SHALL COORDINATE THEIR CONSTRUCTION WITH ALL OTHER CONTRACTORS. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- 12. THE LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND IMPROVEMENTS SHOWN ON THE DRAWINGS IS BASED ON LIMITED INFORMATION AND MAY NOT HAVE BEEN FIELD VERIFIED. THE LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY RESPECTIVE UTILITY OWNERS AND FIELD VERIFY LOCATIONS OF EXISTING UTILITIES AND OTHER IMPROVEMENTS PRIOR TO COMMENCING ANY CONSTRUCTION. IF THE LOCATIONS SHOWN ARE CONTRARY TO THE ACTUAL LOCATIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF THE DISCREPANCY. THIS DISCREPANCY SHOULD BE RESOLVED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS NEAR EXISTING UTILITIES AND IMPROVEMENTS AND SHALL BE RESPONSIBLE FOR AND SHALL REPAIR OR PAY FOR ALL DAMAGE MADE TO EXISTING UTILITIES OR OTHER IMPROVEMENTS. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL GRADES, INVERTS AND TYPE OF MATERIAL OF EXISTING UTILITIES TO WHICH THEY SHALL CONNECT, AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
- 13. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO DETERMINE IF THIS PROJECT IS WITHIN THE CITY'S JURISDICTION FOR INSPECTION. IF SO, THEN IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CITY FOR A PRE-CON MEETING FOR INSPECTIONS.
- 14. DUE TO THE PROXIMITY TO EXISTING RESIDENTIAL HOMES THE APPLICANT SHOULD LIMIT HOURS OF OPERATION TO DAYTIME HOURS AND PROVIDE MITIGATION TO NOISE FROM PUMPS IF 24 HOUR DEWATERING ACTIVITIES ARE
- 15. THE BUILDING FOOTPRINTS SHOWN HEREON ARE APPROXIMATE. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- 16. ALL STOP SIGNS SHALL BE FINISHED WITH DIAMOND GRADE HIGH REFLECTIVITY SURFACE.
- 17. ALL STOP BARS SHALL BE THERMO-PLASTIC MATERIAL.

# PAVING & DRAINAGE NOTES:

- "AS-BUILT" DRAWINGS DRAINAGE AS-BUILTS PROVIDED TO CITY OF GREEN COVE SPRINGS AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ARE REQUIRED TO BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR. THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT WITH A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA FOR THE PREPARATION, FIELD LOCATIONS, CERTIFICATION AND SUBMITTAL OF "AS-BUILT" DRAWINGS IN ACCORDANCE WITH CURRENT CITY OF GREEN COVE SPRINGS STANDARDS AND SPECIFICATIONS AND SJRMWD REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROCESS THE AS-BUILT DRAWINGS FOR APPROVAL BY CITY OF GREEN COVE SPRINGS. IN ADDITION TO THE DRAINAGE SYSTEM THE "AS-BUILTS" SHALL SHOW THE ELEVATIONS AND LOCATION OF THE TOP OF BANK, WATER LEVEL, ANY POINTS OF CHANGE IN SLOPE, TOE OF SLOPE AND POND BOTTOM AT 100' MAXIMUM INTERVALS ALONG POND BANK FOR ALL POND CONSTRUCTION. ALL DIMENSIONS AND ELEVATIONS ON THE CONTROL STRUCTURE DETAILS SHALL BE SHOWN ON AS-BUILT DRAWINGS.
- 2. ALL AREAS SHOWN TO BE FILLED SHALL BE CLEARED AND GRUBBED IN ACCORDANCE WITH CITY OF GREEN COVE SPRINGS STANDARDS AND SHALL BE FILLED WITH CLEAN STRUCTURAL FILL COMPACTED AND TESTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
- 3. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.
- 4. ALL DEBRIS RESULTING FROM ALL ACTIVITIES SHALL BE DISPOSED OF OFF-SITE BY CONTRACTOR.
- ALL EXCESS SUITABLE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT HIS EXPENSE UNLESS DIRECTED OTHERWISE BY ENGINEER OR OWNER.
- 6. ALL EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED.
- 7. BURNING OF TREES, BRUSH, AND OTHER MATERIAL SHALL BE APPROVED, PERMITTED, AND COORDINATED WITH CITY OF GREEN COVE SPRINGS FIRE MARSHAL.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SOD AND/OR GRASS PER CITY OF GREEN COVE SPRINGS STANDARDS AND MEETING THE NPDES FINAL STABILIZATION REQUIREMENTS.
- 9. UNSUITABLE MATERIALS UNDER WATER PIPE, SEWER PIPE, STORM PIPE, OR STRUCTURES SHALL BE REMOVED AND
- REPLACED WITH SELECTED BACKFILL, PROPERLY COMPACTED AT CONTRACTOR'S EXPENSE.
- 10. THE CONTRACTOR SHALL COORDINATE THE WORK WITHIN CITY OR STATE RIGHT-OF-WAY WITH THE PROPER AGENCIES FOR MAINTENANCE OF TRAFFIC AND METHOD OF CONSTRUCTION AND REPAIR.
- 11. ALL CLEARING AND GRUBBING REQUIRED FOR ALL ROADWAY, UTILITIES, DITCHES, BERMS, AND BUILDINGS

INCLUDED IN THIS PROJECT AND THE CLEARING AND GRUBBING OF ALL RIGHT-OF-WAY OR EASEMENTS SHALL BE

- CONSIDERED AS PART OF THIS PROJECT.

  12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A DEWATERING PERMIT FROM THE SJRWMD.
- 13. PRIOR TO ANY DISCHARGE OF GROUND WATER (DEWATERING) FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT TO WATERS OF THE STATE (INCLUDING, BUT NOT LIMITED TO, WETLANDS, CREEKS, SWALES AND MUNICIPAL STORM SEWERS), THE CONTRACTOR SHALL TEST THE EFFLUENT (WATER TO BE DISCHARGED) IN ACCORDANCE WITH RULE 62-621.300(2), F.A.C., IF THE TEST RESULTS ON THE EFFLUENT ARE BELOW THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL SUBMIT A SUMMARY OF THE PROPOSED CONSTRUCTION ACTIVITY AND THE TEST RESULTS TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION DISTRICT OFFICE, WITHIN ONE (1) WEEK AFTER DISCHARGE BEGINS. THE CONTRACTOR SHALL CONTINUE TO SAMPLE THE EFFLUENT AS REQUIRED THROUGHOUT THE PROJECT AND COMPLY WITH ALL CONDITIONS OF RULE 62-621.300(2), F.A.C., IF THE GROUND WATER EXCEEDS THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL COMPLY WITH OTHER APPLICABLE RULES AND REGULATIONS PRIOR TO DISCHARGE OF THE EFFLUENT (GROUND WATER) TO SURFACE WATERS OF THE STATE.
- 14. ALL PIPE LENGTHS ARE SCALED DIMENSIONS, MEASURED FROM CENTER OF STRUCTURE TO END OF MITERED END SECTIONS. STRUCTURES WITHIN FDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH FDOT STANDARDS. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM WITH CITY REQUIREMENTS AND SHALL BE CONSTRUCTED TO CONFORM WITH CURBING, PROPERTY LINES, AND LOW POINTS AS SHOWN ON THE PLANS.
- 15. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.

- 16. ALL DRAINAGE STRUCTURES SHALL HAVE TRAFFIC BEARING GRATES.
- 17. ALL DRAINAGE PIPE JOINTS ARE TO BE FILTER-WRAPPED.

LAYER OF BRICK, OR REDDI-MIX CONCRETE WITH #57 STONE.

- 18. ALL INVERTS IN DRAINAGE STRUCTURES TO BE PRECAST OR BRICK WITH LAYER OF MORTAR BETWEEN EACH
- 19. THE CONTRACTOR SHALL PROVIDE HANDICAP RAMPS AT ALL SIDEWALK AND CURB CONNECTIONS. HANDICAP

20. ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUBGRADE FOR PAVEMENT

- RAMPS SHALL MEET ALL APPLICABLE ADA REQUIREMENTS.
- 21. IF DEWATERING CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
- 22. ALL DRAINAGE PIPES INSTALLED WITHIN ROADWAY RIGHT-OF-WAYS/EASEMENTS (PUBLIC OR PRIVATE) SHALL BE TELEVISED BY A COMPANY OR INDIVIDUAL CERTIFIED TO PERFORM SUCH WORK PER LDC 6.04.07.L.5.G. THIS REQUIREMENT MAY ONLY BE WAIVED ON COMMERCIAL SITES IF THE ENGINEER OF RECORD CERTIFIES BY LETTER THAT THE SITE DOES NOT RECEIVE ANY RUNOFF FROM CITY OF GREEN COVE SPRINGS RIGHT-OF-WAYS. IF THERE IS ANY CONNECTION OR RELATIONSHIP BETWEEN THE PROJECT SITE AND A CITY OWNED OR MAINTAINED DITCH, POND, OR STRUCTURE, IT SHALL BE REQUIRED. THIS TELEVISING OF THE DRAINAGE LINE SHALL BE DONE IN COLOR AND SHALL BE OF SUCH QUALITY AS TO VISUALLY IDENTIFY THE PROPER CONSTRUCTION OF ALL JOINTS AND PIPE ALIGNMENT. A VIDEO TAPE SHALL BE PROVIDED TO THE CITY UPON COMPLETION. THE TELEVISING OF THE DRAINAGE LINES SHALL BE PERFORMED AFTER THE PLACEMENT OF THE BASE MATERIAL AND PRIOR TO THE FINAL WEARING SURFACE OF THE ROADWAY. THE APPROVAL, BY THE CITY, OF THE TELEVISING SHALL BE REQUIRED PRIOR TO THE PLACEMENT OF THE FINAL WEARING SURFACE OF THE ROADWAY. TELEVISED RECORD SHALL BE REVIEWED AND CERTIFIED BY THE ENGINEER OF RECORD (EOR).
- 23. PLEASE BE AWARE THAT ALL DETECTABLE WARNING SURFACES FOR SIDEWALK AT CURB CUT HANDICAP RAMPS UNDER THE JURISDICTION OF CITY OF GREEN COVE SPRINGS SHALL BE A CITY APPROVED YELLOW COLORED COMPOSITE MATERIAL ANCHORED IN THE CONCRETE SIDEWALK RAMP. ANCHORED COMPOSITE WARNING AREA INSERTS ARE TO BE COLORED "SAFETY YELLOW", ARE TO BE SET INTO THE CONCRETE AND ARE TO BE FLUSH WITH CONCRETE SURFACE ALONG ALL FOUR SIDES. DESIGN DIMENSIONS OF DETECTABLE WARNING AREA SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD PLANS INDEX 522-002, SHEETS 1 THROUGH 8, AND 28 CODE OF FEDERAL REGULATIONS (CFR) PART 36, APPENDIX A LATEST REVISION, AS WELL AS APPLICABLE CITY REQUIREMENTS.
- 24. ALL SIDEWALKS AND CURB CUT RAMPS UNDER THE JURISDICTION OF CITY OF GREEN COVE SPRINGS SHALL BE DESIGNED AND CONSTRUCTED TO CONFORM TO FDOT STANDARD PLANS INDEX 522-002 AND 522-001; AND TITLE 28, PART 36, APPENDIX A, CODE OF FEDERAL REGULATIONS (CFR) LATEST REVISION, AS WELL AS MEETING ALL ADA PEOLIDEMENTS
- 25. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL CROSSINGS AND INFORM THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE HE/SHE IS NOT NOTIFIED OF DESIGN CONFLICTS.
- 26. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, AND MEASUREMENTS TAKEN IN THE FIELD WHEN POSSIBLE. THE INFORMATION SHOWN HEREON, IS NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES.
- 27. UNLESS OTHERWISE INDICATED ALL STORM SEWER SHALL BE BEDDED IN ACCORDANCE WITH DETAIL GD15 TYPE "B", AS SHOWN ON SHEET 18. UNLESS CONDITIONS IN THE FIELD DICTATE THE USE OF TYPE "A" BEDDING, AS SHOWN ON SHEET 18.
- 28. POND SLOPES AS SHOWN ARE THE MAXIMUM ALLOWABLE SLOPE. IF SITE CONDITIONS OR OTHER ISSUES, SUCH AS GROUNDWATER SEEPAGE CAUSE SLOPE FAILURE, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO CORRECT THE SLOPES TO MEET THE INTENT OF THE DESIGN. CONTRACTOR IS TO NOTIFY ENGINEER IMMEDIATELY OF THESE ISSUES SO THAT ENGINEER MAY ASSIST WITH THE CORRECTIVE ACTION.
- 29. ALL STORM PIPE ON THIS PLAN SET, MUST MEET THE FOLLOWING STANDARDS: PP PIPE (12 INCHES TO 60 INCHES) FOR SIDE DRAIN, STORM DRAIN, AND OTHER SPECIFIED APPLICATIONS SHALL MEET THE REQUIREMENTS OF AASHTO MP21-11.

# GENERAL SIGNING & MARKING NOTES: 1. ALL STRIPING SHALL CONFORM TO CITY OF GREEN COVE SPRINGS AND/OR FDOT SPECIFICATIONS.

- 2. MATCH EXISTING PAVEMENT MARKINGS AT THE BEGINNING AND ENDING OF PROJECT AND ALL SIDE STREETS.
- 3. SIGNS SHALL BE PLACED IN ACCORDANCE WITH INDEX NO. 700-010, AND 700-101.
- 4. SIGN ASSEMBLY LOCATIONS SHOWN ON PLANS WHICH ARE IN CONFLICT WITH LIGHTING, UTILITIES, DRIVEWAYS, CURB CUTS, ETC. SHALL BE ADJUSTED AS DIRECTED BY ENGINEER.
- 5. EXISTING SIGNS TO BE REMOVED SHALL BE DELIVERED AND STOCKPILED ON SITE IN THE MATERIALS STORAGE AREA AND RETURNED TO THE OWNER.
- AREA AND RETURNED TO THE OWNER.
- 6. COST FOR SIGNING AND MARKING, IF ANY, SHALL BE INCLUDED IN THE COSTS FOR PAVEMENT.

# GENERAL DEMOLITION NOTES: 1. SEE SHEET 5 FOR THE TALLY OF TREES TO BE REMOVED.

- 2. ALL UTILITIES SHALL REMAIN IN PLACE AND UNHARMED UNLESS SPECIFICALLY INDICATED OTHERWISE BY THE EROSION CONTROL & DEMOLITION PLAN (SHEET 5).
- THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY ABANDONING WELLS OR SEPTIC SYSTEMS FOUND DURING CONSTRUCTION. ABANDONMENT SHALL BE IN ACCORDANCE WITH ALL CITY, STATE REGULATIONS, PER THE REQUIREMENTS SET FORTH IN THE F.A.C.

# WATER AND SEWER NOTES: 1. REFER TO WATER & SEWER NOTES ON 3.

# **EROSION CONTROL NOTES:**

- NO CONSTRUCTION ACTIVITY INVOLVING EXCAVATION, DENUDING OR DEMOLITION OF ANY SITE SURFACE OR STOCKPILING OF ANY EARTHEN OR AUDIBLE MATERIALS SHALL BEGIN WITHOUT AN APPROVED PLAN AND/OR WRITTEN CONSENT BY THE CITY OF GREEN COVE SPRINGS PUBLIC WORKS.
- 2. THE CONTRACTOR SHALL ESTABLISH ALL EROSION CONTROL MEASURES PRIOR TO EXCAVATION, DENUDING OR DEMOLITION OF ANY SITE SURFACE OR STOCKPILING OF ANY EARTHEN OR ERODIBLE MATERIALS.
- 3. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE DEVELOPMENT OF THE PROJECT AND SHALL NOT REMOVE ANY EROSION CONTROL MEASURE UNTIL ALL CONTRIBUTING SITE SURFACES AND VEGETATION HAVE BEEN ESTABLISHED AND STABILIZED.
- 4. THE CONTRACTOR SHALL PERFORM DAILY CLEAN UP OF ALL SEDIMENT AND DEBRIS WHICH LEAVES THE PROJECT SITE(S)
- 5. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL CITY STORM DRAIN SYSTEMS WHICH RECEIVE SEDIMENT OR DEBRIS AS A RESULT OF CONSTRUCTION, STOCKPILING OR DISPOSAL ACTIVITIES. CLEANING OF THE STORM DRAIN WILL OCCUR FROM THE POINT OF INTERCEPT TO THE OUTFALL OF THE SYSTEM OR TO A POINT WITHIN THE SYSTEM WHERE SEDIMENT OR DEBRIS IS NO LONGER PRESENT.
- 6. RAIN DAYS CLAIMED BY THE CONTRACTOR, DO NOT EXCUSE THE CONTRACTOR OF DAILY INSPECTION AND MAINTENANCE OF ALL SITE EROSION CONTROL MEASURES AND CLEANUP.
- 7. ALL SEDIMENT COLLECTION SYSTEMS MUST BE MUCKED OUT WHEN 1/3 FULL, MUCKED SEDIMENT MUST BE PROPERLY CONTAINED AND DISPOSED.

# GENERAL LANDSCAPE NOTES: 1. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.

- 2. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING
- 3. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
- 4. PLANT MATERIAL SHALL CONFORM TO THE STANDARDS FOR GRADE #1 OR BETTER AS GIVEN IN THE LATEST "GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II", FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES OR TO THE STANDARDS AS GIVEN IN THE LATEST "AMERICAN STANDARD FOR NURSERY STOCK", AMERICAN NATIONAL STANDARDS INSTITUTE.
- 5. REMOVE ALL DEAD WOOD AND PRUNE TREES ACCORDING TO THE PRUNING GUIDELINES BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE, 1995 EDITION. IF ARBORIST BELIEVES A LIMB SHOULD NOT BE REMOVED THE ARBORIST SHALL CONTACT THE LANDSCAPE DESIGNER. REMOVE ALL DEBRIS FROM THE SITE TO AN APPROVED OFF-SITE LOCATION. FOLLOW THE "AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS" AND ANSI Z133.1 GUIDELINES.
- 6. TREES SHALL HAVE A MINIMUM HEIGHTS OF (8) EIGHT TO (10) TEN FEET AND (2) TWO INCHES OF CALIPER.
- 7. ALL DISTURBED AREAS MUST BE STABILIZED BY MEANS OF MULCH, SEEDING, OR SOD AS CALLED OUT ON THIS PLAN. IF DISTURBED AREA IS OUTSIDE OF THE LIMITS OF THIS PLAN, AREAS MUST BE STABILIZED WITH EXISTING MATERIAL OR BETTER. I.E. SEEDING OR SODDING.
- VEGETATION THAT EXCEEDS TWENTY-FIVE (25) FEET IN HEIGHT AT MATURITY SHOULD NOT BE PLANTED CLOSER THAN TEN (10) FEET OF THE VERTICAL PLANE OF AN EXISTING POWER LINE, EXCLUDING SERVICE WIRES.

- 9. BALLED AND BURLAPPED STRAPPING WIRE, AND ANY SYNTHETIC MATERIAL SHALL BE REMOVED PRIOR TO FINAL INSPECTION. WIRE BASKETS SHOULD BE PULLED AWAY FROM THE TRUNKS. WIRE BASKETS SHOULD BE CUT AWAY FROM THE TOP 1/3 OF THE ROOT BALL.
- 10. TREES SHALL NOT BE PLANTED CLOSER THAN TEN (10) FEET FROM OTHER TREES UNLESS APPROVED BY THE CITY ADMINISTRATOR. CANOPY TREES SHOULD BE SPACED A MINIMUM OF 20' TO 30'.
- 11. A MULCH RING OF PINE STRAW OR PINE BARK SHALL BE PROVIDED AT LEAST FIVE (5) FEET IN DIAMETER AND NOT CLOSER THAN SIX (6) INCHES FROM THE TREE TRUNK, FOR ALL NEWLY PLANTED TREES.
- 12. PINE STRAW OR PINE BARK MULCH SHALL BE PROVIDED A MINIMUM OF FOUR (4) INCHES OF DEPTH AROUND ALL NEWLY PLANTED LANDSCAPING.
- 13. SHRUB LINES ARE TO BE PLANTED AT THE REQUIRED MINIMUM HEIGHT, NOT BY A CONTAINER SIZE.
- 14. SOIL IN TREE ISLANDS SHALL HAVE AT LEAST 12" OF SUITABLE SOIL FOR TREE PLANTINGS, AND BE VOID OF ANY CONSTRUCTION DEBRIS OR UNSUITABLE MATERIAL.
- 15. IRRIGATION SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM FOR ALL NEWLY PLANTED MATERIAL, UNLESS AN ALTERNATE MEANS IS APPROVED, ALL TREES SHALL BE IRRIGATED BY BUBBLER TYPE EMITTERS.
- 16. TREES SHALL NOT BE PLANTED CLOSER THAN 7.5' FROM THE CENTERLINE OF UNDERGROUND UTILITIES.
- 17. UNLESS OTHERWISE SPECIFIED, NO HIGH VOLUME IRRIGATION IS PROPOSED ON THESE PLANS.

## ROW IMPROVEMENT NOTES:

18. UNLESS OTHERWISE SPECIFIED, ALL SOD SHALL BE BAHIA.

ALL EXISTING UTILITIES ARE TO BE ADJUSTED TO FINAL GRADE.
 CONTRACTOR SHALL REMOVE ANY CONFLICTING STRIPING.

## CIOHNS COUNTY NOTES:

- SUBMITTAL OF AS-BUILT SITE SURVEY, INCLUDING BENCHMARKS, IS REQUIRED IN COMPLIANCE WITH SECTION 6.04.00 OF THE LATEST ST. JOHNS COUNTY LAND DEVELOPMENT CODE AND SECTION 15 (AS-BUILTS) OF THE DEVELOPMENT REVIEW MANUAL PRIOR TO SCHEDULING A FINAL INSPECTION OF THE WORK.
- 2. ST. JOHNS COUNTY DEVELOPMENT REVIEW INSPECTOR SHALL BE CONTACTED 24 HOURS PRIOR TO ALL NECESSARY SITE WORK INSPECTIONS AND 5 DAYS PRIOR TO FINAL INSPECTION.
- 3. THERE ARE TWO PAVEMENT REQUIREMENTS: LDC 6.04.07.G.3 (ROAD CONSTRUCTION) & LDC 6.04.08 (BORING)
- 4. ALL SUBDIVISION PLANS APPROVED AFTER 5/28/08 ARE SUBJECT TO THE TWO LIFT PAVING REQUIREMENTS AS DETAILED IN THE ABOVE LAND DEVELOPMENT CODE SECTIONS. IN SUMMARY; THE FINAL WEARING SURFACE LAYER IS NOT TO BE APPLIED UNTIL 90% OF THE C/O'S HAVE BEEN ISSUED AND THE IMPROVEMENTS HAVE BEEN INSPECTED AND ACCEPTED BY THE COUNTY. UNTIL THE FINAL SURFACE HAS BEEN APPLIED AND ACCEPTED, BONDING FOR THIS WORK IS TO REMAIN IN PLACE.
- 5. ALL DRAINAGE PIPES INSTALLED WITHIN ROADWAY RIGHT-OF-WAYS/EASEMENTS (PUBLIC OR PRIVATE) SHALL BE TELEVISED BY A COMPANY OR INDIVIDUAL CERTIFIED TO PERFORM SUCH WORK PER LDC 6.04.07.L.5G. THIS REQUIREMENT MAY ONLY BE WAIVED ON COMMERCIAL SITES IF THE ENGINEER OF RECORD CERTIFIES BY LETTER THAT THE SITE DOES NOT RECEIVE ANY RUNOFF FROM ST. JOHNS COUNTY RIGHT OF WAYS. IF THERE IS ANY CONNECTION OR RELATIONSHIP BETWEEN THE PROJECT SITE AND A COUNTY OWNED OR MAINTAINED DITCH, POND OR STRUCTURE, IT SHALL BE REQUIRED. THIS TELEVISING OF THE DRAINAGE LINE SHALL BE DONE IN COLOR AND SHALL BE OF SUCH QUALITY AS TO VISUALLY IDENTIFY THE PROPER CONSTRUCTION OF ALL JOINTS AND PIPE ALIGNMENT. A VIDEO TAPE SHALL BE PROVIDED TO THE COUNTY UPON COMPLETION. THE TELEVISING OF THE DRAINAGE LINES SHALL BE PREFORMED AFTER THE PLACEMENT OF THE BASE MATERIAL AND PRIOR TO THE FINAL WEARING SURFACE OF THE ROADWAY. THE APPROVAL, BY THE COUNTY, OF THE TELEVISING SHALL BE REQUIRED PRIOR TO THE PLACEMENT OF THE FINAL WEARING SURFACE OF THE ROADWAY. TELEVISED RECORD SHALL BE REVIEWED AND CERTIFIED BY THE ENGINEER OF RECORD (EOR).
- 6. IT IS THE RESPONSIBILITY OF THE APPLICANT TO SCHEDULE A PRE-CONSTRUCTION / PRE-PERMIT ISSUANCE MEETING WITH SJC STAFF AFTER PLANS HAVE BEEN RELEASED FOR CONSTRUCTION BY THE COUNTY, AND PRIOR TO STARTING ANY SITE ACTIVITIES. THE PRE-CONSTRUCTION MEETING WILL BE HELD IN CONJUNCTION WITH THE MANDATORY SJCUD PRE-CONSTRUCTION MEETING. HOWEVER, IF THE PROJECT FALLS OUTSIDE OF SJCUD JURISDICTION, PLEASE CALL CARL COLEE TO SCHEDULE MEETING.

# GENERAL FDOT DRIVEWAY CONNECTION NOTES: 1. ALL WORK PERFORMED WITHIN THE DEPARTMENT RIGHT-OF-WAY SHALL CONFORM TO THE MOST CURRENT

A. STANDARD PLANS

EDITION OF THE FOLLOWING PUBLICATIONS:

- B. STANDARD SPECIFICATIONS
- C. FDOT DESIGN MANUAL
  D. FDOT FLEXIBLE PAVEMENT DESIGN MANUAL
  E. FDOT UTILITY ACCOMMODATION MANUAL
- (SHOULD A CONFLICT ARISE BETWEEN THE DETAILS SHOWN IN THE PLANS AND THE DEPARTMENT OF TRANSPORTATION STANDARDS THE ENGINEER/APPLICANT SHALL IMMEDIATELY CONFER WITH THE DEPARTMENT'S ENGINEER IN ORDER TO RESOLVE THE DISCREPANCY)
- 2. ALL TRAFFIC STRIPING AND MARKINGS ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMO PLASTIC.
- 3. REMOVAL OF EXISTING STRIPING SHALL BE ACCOMPLISHED USING THE "HYDRO-BLAST" METHOD. IF THIS PROCESS DAMAGES / SCARS PAVEMENT, THEN THE PAVEMENT SHALL BE MILLED AND RESURFACED PER FDOT STANDARDS.
- 4. ALL DIRECTIONAL ARROWS SHALL BE PLACED AS ONE SEGMENT.
- 5. ALIGNMENT OF PROPOSED PAVEMENT MARKINGS SHALL MATCH EXISTING PAVEMENT MARKINGS AT PAVEMENT MARKING LIMITS OF CONSTRUCTION.
- ALL CURB AND GUTTER AND SIDEWALK, WILL BE REMOVED AND REPLACED JOINT TO JOINT.
   ALL BROKEN / CRACKED DRIVEWAYS MUST BE FULLY REMOVED AND REPLACED.
- ALL DISTURBED AREAS WITHIN THE DEPARTMENT'S RIGHT-OF-WAY WILL BE RESTORED TO ORIGINAL OR BETTER
- 9. BURNING OF ANY MATERIAL OR DEBRIS IS PROHIBITED IN FDOT RIGHT OF WAY.

CONDITION BY GRADING AND SODDING THE AREA DISTURBED (BERMUDA IN URBAN, BAHIA IN RURAL).

- 40 ALL LANGO AND THE OPENIES FOR TRAFFIC BURNING AN EVACUATION NOTICE OF A LINE
- 10. ALL LANES MUST BE OPENED FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT.

# GENERAL FIRE PROTECTION NOTES:

- 1. FIRE PROTECTION FOR THE PURPOSE OF THESE PLANS IS ANY UNDERGROUND WATER LINE NOT OWNED AND MAINTAINED BY A PUBLIC UTILITY AS WELL AS ANY PRIVATE FIRE SERVICE MAIN AND PIPE AND ITS APPURTENANCES ON PRIVATE PROPERTY (1) BETWEEN A SOURCE OF WATER AND THE BASE OF THE SYSTEM RISER FOR WATER-BASED FIRE PROTECTION SYSTEMS, (2) BETWEEN A SOURCE OF WATER AND INLETS TO FOAM-MAKING SYSTEMS, (3) BETWEEN A SOURCE OF WATER AND THE BASE ELBOW OF PRIVATE HYDRANTS OR MONITOR NOZZLES AND (4) USED AS FIRE PUMP SUCTION AND DISCHARGE PIPING, (5) BEGINNING AT THE INLET SIDE OF THE CHECK VALVE ON A GRAVITY OR PRESSURE TANK.
- 2. THIS SHALL ALSO APPLY TO COMBINED SERVICE MAINS USED TO CARRY WATER FOR FIRE SERVICE AND OTHER USES. I.E. DOMESTIC.
- 3. STANDARDS TO BE REFERENCED ARE TO BE THE MOST CURRENT AS ADOPTED BY THE FLORIDA FIRE PREVENTION CODE:
- NFPA 24, INSTALLATION OF PRIVATE FIRE SERVICE MAINS & THEIR APPURTENANCES NFPA 20. STANDARD FOR INSTALLATION OF STATIONARY PUMPS FOR FIRE PROTECTION
- NFPA 22, STANDARD FOR WATER TANKS FOR PRIVATE FIRE PROTECTION
  NFPA 16, STANDARD ON DELUGE FOAM-WATER SPRINKLER & FOAM-WATER SPRAY SYSTEMS
- NFPA 1963 STANDARD FOR FIRE HOSE CONNECTIONS

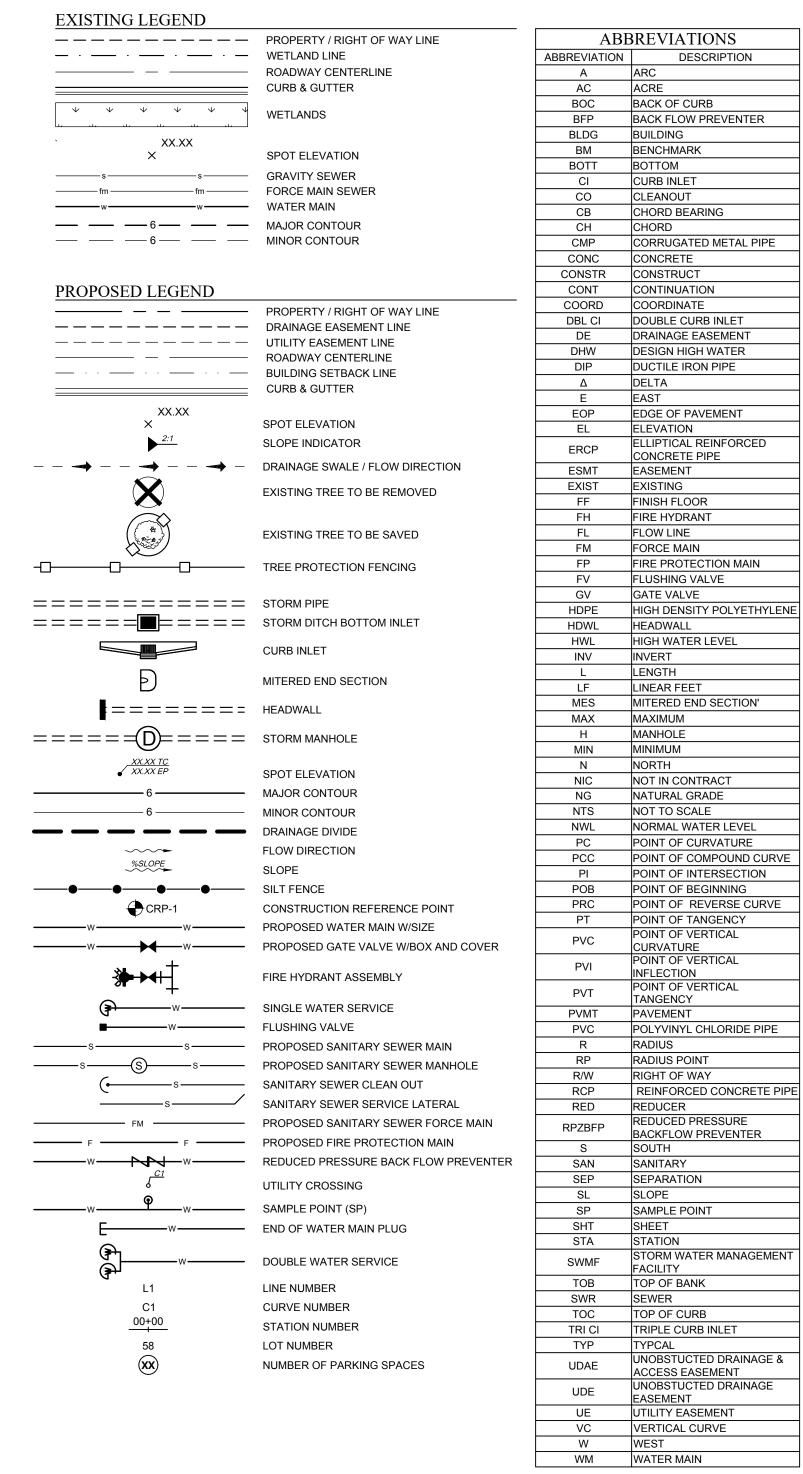
  4. ITEMS ON THE CONSTRUCTION PLANS SHALL INCLUDE BUT NOT LIMITED TO SCALE DRAWINGS AND DETAILS AND TO
- INCLUDE THE FOLLOWING ITEMS WHEN THEY ARE APPLICABLE TO THE SYSTEM BEING INSTALLED:

  A. NAME OF OWNER AND OCCUPANT.
- B. LOCATION, INCLUDING STREET ADDRESS.
- C. POINT OF COMPASS.D. A GRAPHIC REPRESENTATION OF THE SCALE USED ON ALL PLANS.
- E. NAME AND ADDRESS OF CONTRACTOR.F. SIZE AND LOCATION OF ALL WATER SUPPLIES
- G. SIZE AND LOCATION OF ALL PIPING, INDICATING, WHERE POSSIBLE, THE CLASS AND TYPE AND DEPTH OF EXISTING PIPE, THE CLASS AND TYPE OF NEW PIPE TO BE INSTALLED, AND THE DEPTH TO WHICH IT IS TO BE
- H. SIZE, TYPE, AND LOCATION OF VALVES. INDICATE IF LOCATED IN PIT OR IF OPERATION IS BY POST INDICATOR OR KEY WRENCH THROUGH A CURB BOX.
- LOCATION OF FIRE DEPARTMENT CONNECTIONS, IF PART OF PRIVATE FIRE SERVICE MAIN SYSTEM,
   INCLUDING DETAIL OF CONNECTIONS.
- J. SPRINKLER AND STANDPIPE RISERS AND MONITOR NOZZLES TO BE SUPPLIED BY THE SYSTEM.K. LOCATION OF FIRE DEPARTMENT CONNECTIONS, IF PART OF PRIVATE FIRE SERVICE MAIN SYSTEM,

- INCLUDING DETAIL OF CONNECTIONS.
- ALL COMPONENTS MUST HAVE LISTING WITH FIRE PROTECTION PER NFPA 24.
   ALL FIRE HYDRANTS INSTALLED IN ST. JOHNS COUNTY MUST HAVE A SINGLE 4.5 INCH HOSE OUTLET, AND
- 5. A COPY THESE APPROVED ENGINEERED PLANS SHALL ACCOMPANY A REQUIRED FIRE MARSHAL UNDERGROUND PERMIT SUBMITTED BY A CERTIFIED CONTRACTOR. THIS UNDERGROUND PERMIT WILL REQUIRE ADDITIONAL DETAILS AND SPECS AT THE TIME OF SUBMITTAL TO THE FIRE MARSHAL'S OFFICE.

TWO (2.5) INCH HOUSE OUTLETS, ALL WITH MALE NH STANDARD THREADS, IN ACCORDANCE WITH NFPA 1963.

- 6. CONTRACTORS INSTALLING THE UNDERGROUND PIPING IN ACCORDANCE WITH THE ABOVE REFERENCE STANDARDS FOR A FIRE PROTECTION SYSTEM USING WATER AS THE EXTINGUISHING AGENT BEGINNING AT THE POINT AT WHICH THE PIPING IS USED EXCLUSIVELY FOR FIRE PROTECTION AND ENDING NO MORE THAN 1 FOOT ABOVE THE FLOOR SHALL BE REQUIRED TO HAVE A CLASS I, II, OR V FIRE PROTECTION CONTRACTORS LICENSE PURSUANT TO CHAPTER 633, FLORIDA STATUTES. GENERAL CONTRACTORS ARE REMINDED THAT THEY ARE RESPONSIBLE FOR VERIFYING THAT THEIR SUBCONTRACTORS HOLD THE REQUIRED LICENSES. CONTRACTORS FOUND TO BE VIOLATING THIS REQUIREMENT MAY BE REPORTED TO THE DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION AND/OR THE STATE FIRE MARSHAL'S REGULATORY LICENSING SECTION.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A PERMIT FROM THE FIRE MARSHAL'S OFFICE PRIOR TO THE START OF SITE CONSTRUCTION IN ACCORDANCE WITH THE ABOVE REFERENCED STANDARDS.
- 8. NOTE: MINIMUM WORKING PRESSURE OF THE UNDERGROUND PIPING SHALL BE 150 PSI. NFPA 24 REQUIRES SPECIFIC PVC PIPING TO MEET TABLE C-900 WITH MANUFACTURING LISTING FOR FIRE PROTECTION.
- 9. ALL FIRE LINES MUST BE INSPECTED BY THE FIRE MARSHAL'S OFFICE PRIOR TO BACKFILL. THE CODE REQUIRES ALL JOINTS EXPOSED FOR INSPECTION WITH FILL IN-BETWEEN JOINTS. ALL PIPING AND ATTACHED APPURTENANCES SUBJECTED TO SYSTEM WORKING PRESSURE SHALL BE HYDROSTATICALLY TESTED AT 200 PSI OR 50 PSI IN EXCESS OF THE SYSTEM WORKING PRESSURE, WHICHEVER IS GREATER, AND SHALL MAINTAIN THAT PRESSURE WITHOUT LOSS FOR 2 HOURS.



 REVISIONS

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NGS
P.O. BOX 3126, 7 WALDO STREIST. AUGUSTINE, FL 32084
PHONE: 904.826.1334 • FAX: 904.826

PRESERVEAT GREEN COVE SPRINGS
CITY OF GREEN COVE SPRINGS
PREPARED FOR

Page 7

02. GENERAL. All materials shall be of those listed in the C.G.C.S. Approved Materials Manual, The installation shall be warranted by the Contractor as to materials, workmanship and accuracy of the As-built drawings for a period of two years from the date of completion of the work or beneficial use of the facilities. Workmanship shall be of good auality: i.e., sewers shall be laid true to line and grade, fittings shall be properly installed and restrained, trenches shall be properly excavated and backfilled, manholes shall be installed at locations and to elevations shown on the plans.

02.1 CONTRACTOR LICENSE AND APPROVAL. Utility reserves the right to approve or deny approval of contractor prior to construction of any on-site or off-site utility facilities. Contractor must hold a State Of Florida Under Ground Utility contractors license, that named contracting company being the one doing the work on project, and demonstrate acceptable experience in the field of utility construction.

03. SURVEYS. The Utility Contractor shall provide all surveys necessary for the layout and construction of the work of his

contract.

04. EARTHWORK. Earthwork shall include all excavation, fill and backfill (hand/machine), compaction and rough grading of materials encountered. No unsuitable materials clay, muck, or peat removed from pipe trenches are to be used for backfill. All fill or backfill shall be either sand or sandy clay, free of roots, trash or other debris. All backfill alongside of and to a height twenty—four inches above all pipe shall be free of clay or organic material, compacted in lifts, the first of which shall be to the spring line of the pipe by either hand or machine operation carefully to 98%. All other backfill shall be compacted by either hand or machine operation carefully to 95% (outside of paving), 98% (under paving) of its optimum moisture content as determined by ASTM D698. latest. Copies of compaction density test reports from a licensed testing agency shall be made available to C.G.C.S. if requested.

05. MANHOLES. Manhole bases, sections and cones shall conform to the requirements of ASTM C478, Specifications for Precast Reinforced Concrete Manhole Sections. Cement shall meet the requirements of ASTM C150, Specifications for Portland Cement, Type II. Concrete shall meet the minimum requirements for Class "A" Concrete Work. Minimum wall thickness shall be 1/12 the inside diameter in inches plus one (1) inch. Bases for manholes shall be cast integrally with the bottom manhole section. Joint contact surfaces shall be formed with machined castings; they shall be exactly parallel with a 2 degree slope and nominal 1/16 inch clearance with the tongue equipped with a proper recess for the installation of an O-ring rubber gasket, conforming to ASTM C443. Joints for circular Concrete sewer and Culvert pipe using Rubber gasket, or RAM—NEK premolded Plastic Joint Sealer with joints Manhole adjustment materials shall be Precast concrete adjustment rings only as manufactured by Taylor Precast Co. (or equal). Precast manhole walls shall not be coated, unless otherwise noted. Cement grout for manhole bottoms shall be a stiff rich mix of Type II Portland Cement and sharp plaster sand. Calcium chloride may be added (maximum of 2%) to aid in obtaining a faster set. At permanent pump station locations, the first upstream manhole from the station shall be lined with a polyethylene liner as manufactured and installed by Taylor Precast Co. or approved equal.

05.1 CAST IRON MANHOLE FRAMES AND COVERS. Cast iron manhole frames and covers shall be as detailed on drawings. Castings shall meet the requirements of ASTM A48. Specifications for Gray Iron Castings, Class No. 30, or Grade 65-45-12. Ductile Iron meeting the requirements of ASTM A536, Standard Specification for Ductile Iron Castings. In either case, manhole frame and cover shall be

designed to withstand an HS20-44 loading defined in the AASHTO Specifications. Frames and covers shall be machined or ground at touching surfaces so as to seat firmly and prevent rocking.

05.2 FLEXIBLE MANHOLE CONNECTOR. All connections between sewer pipe and pre-cast concrete manholes shall be accomplished by a Flexible Connector, "Kor-N-Seal", as manufactured by National Pollution Control Systems, Inc. or approved equal.

FLOW CHANNELS. Flow channels in manhole base shall be formed of D.O.T. Class I, Type II cement grout with brick or rubble and trowel to a smooth surface finish. Grout surface shall be 1" min. thickness over brick or rubble. While the manholes are under construction, cut off pipes at inside face of the manhole and construct the invert to the shape and sizes of pipe indicated. All inverts shall provide a constant aradient from influent pipe to effluent pipe through manhole. Changes in direction of the sewer and entering branch or branches shall be laid out in smooth curves of the longest possible radius which is tangent to the center lines of adjoining pipelines.

05.4 DROP INLETS. Where shown on the drawings, drop inlets to the manholes shall be constructed as shown on the drawings and specified herein.

06. POLYVINYL CHLORIDE PIPE. Polyvinyl Chloride Sewer Pipe shall conform to the requirements of ASTM D-3034. SDR 26. The PVC compound conforming to ASTM D-1784. Pipe shall be clearly marked in 5 Ft. intervals or less, indicating manufacturers name, nominal size, cell classification and legend. Joints shall be push-on rubber gasketed, conforming to ASTM D-3034. Pipe and fittings shall be installed in accordance with recommended practice ASTM D-2321. Maximum depth of gravity sewer without prior approval shall be 15 feet. Sewers over 15' in depth shall be DR-18 P.V.C. pipe and shall have C.G.C.S. approval prior to design or installation of said sewer.

07. PIPE BETWEEN MANHOLES. All piping installed between manholes shall be the same material and class. No dissimilar pipe material will be allowed anywhere within a single run of pipe.

08. SANITARY SERVICE LATERALS. Sanitary service laterals shall be Polyvinyl Chloride Pipe conforming to the requirements of ASTM D-3034. SDR 26 where cover over top of pipe is 36 inches or greater. Where cover over top of pipe is less than 36 inches, specific construction conditions shall be directed by the City of Green Cove Springs. All sanitary service laterals shall be a minimum of 4'-0" deep at the right-of-way line to top of pipe. Any sanitary service lateral which must be more than 5'-0" deep shall not be installed prior to obtaining permission from the C.G.C.S. field inspector or C.G.C.S. Public Works Department, All sanitary service laterals shall be 6-inch diameter from the main to the right-of-way line with a minimum slope of 0.60% (0.6 feet per hundred feet). In single family residential developments, services shall reduce to 4" in size and terminated at the property line with a cleanout constructed of a PVC wye and bend with a maximum angle of 45 degrees (see Standard Sewer System Cleanout Detail) utilizing the proper fittings for the type of pipe specified.

09. FORCE MAINS. Force mains shall be C900 DR-18 PVC and conform to the requirements of ASTM D-1784, D-2241, D-3139 and F-477. Pipe shall be color coded and marked "FORCE MAIN" on at least two sides and at every 12" along the barrel of the pipe. Ductile iron pipe for force main service shall be polylined. Ductile iron pipe is not to be used without prior approval of the Clay County Utility Authority. Fittings shall be C110 gray iron and shall be polylined. Force mains less than 3" shall be SCH.80 PVC. All force mains shall be installed with tracer wire per C.G.C.S. standard location wire details.

09.1 LIFT STATION VALVES. Plug valves shall be Dezurik, Clow or M&H. with full port opening. Check valves shall be M&H, Mueller or American Darling. 09.2 FORCE MAIN VALVE. Gate valve, resilient seated, same as specified in Water Distribution System Specifications Section 12 below. Except valve bodies shall be gray iron. Valve box shall have the word "SEWER" cast into the cover,

09.3 FORCE MAIN JOINT RESTRAINT. All fittings shall be properly and adequately restrained against lateral movement at all force main tees, crosses, valves and bends. Restrainers shall be Uni-Flange Series 1300, 1350, 1390 or approved equal installed per manufacturer's recommendations and C.G.C.S. standard details and specifications.

09.4 FORCE MAIN PIPE FLUSHING. All force main piping shall be flushed clean with water utilizing full pipe diameter flushing for all piping up to and including 8" diameter.

10. INSTALLATION. All sewer lines, manholes, and appurtenances shall be constructed to the dimensions and elevations indicated on the drawings. Trenches shall be excavated to a width approximately twelve inches greater than the outside diameter of the pipe. Machine excavation shall be to a depth one-fourth pipe diameter above proposed pipe grade; the remaining depth shall be hand excavated and shaped to give full support to the lower one-fourth of each pipe. Each section of pipe shall be inspected for defects prior to being lowered into the trench. The inside of each bell and the outside of each spigot shall be thoroughly cleaned of all foreign matter, prior to making the joint. All sewer lines shall be constructed with the spigot ends pointing in the direction of the flow. Both the bell and the spigot of each joint shall be lubricated with the lubricant recommended by the pipe manufacturer. All sewer lines shall be cleaned of foreign matter as construction progresses, and shall be in a clean condition upon completion of construction operations. Pipe materials shall remain the same on runs between manholes and / or other structures.

11. INSPECTIONS. Each section of the completed sewer system shall be inspected for proper alignment. Inspection shall consist of "lampina" from manhole to manhole. Any section of the sewer system which does not display true, concentric alignment shall be reinstalled at no additional expense to the Owner. A written log of inspection shall be kept indicating location of test, potential problems in sewer, dips and depth of water. service locations, and other irregularities in the pipe lines. A video tape in VCR format shall be made of the television inspection and submitted to the Engineer and the City of GCS. Copies of compaction density test reports from a licensed testing agency shall be made available to City of GCS if requested.

11.1 Television inspection will be required on all new gravity sewers constructed. This service shall be provided by the Contractor as a part of this Contract. The newly constructed sewers shall be televised in the presence of the Inspector of the City of GCS. A full report as to the condition of pipe, type, depth, location of services, length, type, joint and distance between manholes, etc. shall be furnished to the City of GCS inspector prior to the final acceptance of the system. Any pipe found to be cracked, leaking or otherwise defective shall be removed and replaced with new pipe at no additional costs to the Owner. Deflection testing with 7.5% mandrel also required. Any section not passing the mandrel test shall be corrected. Sewer mains shall be televised after curb and lime rock are in place but prior to paving. Curb and limerock shall be installed, finish graded prior to televising the gravity sewer. Limerock priming and paving operations shall not take place until the City of GCS inspector has reviewed the television tape and approves the gravity sewer system. This will be strictly enforced. All gravity sewers must be flushed no sooner than 4 hours prior to any television inspection. Force main lines shall be pressure tested and approved prior to paving, but not prior to subgrade mixing operation and limerock installation, finish graded and compacted. Sewer services shall be viewed by a camera capable of viewing into service lateral connections. Adequate water must be placed within the upstream manhole to flow through the downstream manhole before inspectina with the camera. All work must be accomplished in the presence of the City of GCS inspector and a 48 hour notice must be provided. Contractor shall provide City of GCS with a 48 hr. notice of intent to televise and inspect sewer main. City of GCS inspector shall report to job site at the time specified by contractor at the time of the call-in. City of GCS inspectors will wait at the job site no more than one hour for the televising to begin before leaving the job site. Contractor shall reschedule televising giving City of GCS 48 hrs. notice if the above occurs.

11.2 TEST, INFILTRATION: After completion, the sewers or sections thereof, shall be tested and gauged for infiltration. To check the amount of infiltration, the Contractor, at no added compensation over the contract price for the sewers, shall furnish, and install and maintain a V-notch sharp crested weir in a wood frame on the main sewers as directed by the Engineer, Maximum allowable infiltration shall be 50 gallons per mile, per inch of dia. of sewer per 24 hour day at any time.

11.3 TEST, EXFILTRATION: In greas where around water is not encountered in sewer construction, or it is desired to run exfiltration tests, the Contractor shall furnish and install all necessary materials. equipments, shall supply water, etc., and shall run exfiltration tests to determine acceptance of the sewer. The maximum allowable exfiltration shall be 50 gallons per mile per inch of diameter of sewer per 24 hour day at any time based on two foot minimum internal head.

# OUTLINE SPECIFICATIONS FOR CONSTRUCTION OF WATER DISTRIBUTION SYSTEM

01. INTENTION. It is the declared and acknowledged intention to secure a new water distribution system, complete, in accordance with the plans and specifications, and contract documents. All new work shall be in accordance with C.G.C.S. Specifications and Details and Approved Materials Manual and C.G.C.S. Public Works Department Details and Specifications and any other Government Regulatory Agency, All work shall conform to the above whether or not specifically called out or noted on the plans.

02.1 CONTRACTOR LICENSE AND APPROVAL. Utility reserves the right to approve or deny approval of contractor prior to construction of any on-site or off-site utility facilities. Contractor must hold a State Of Florida Under Ground Utility contractors license, that named contracting company being the one doing the work on project, and demonstrate acceptable experience in the field of utility construction.

02. GENERAL. All materials shall be of those listed in the C.G.C.S. Approved Materials Manual, Materials shall be warranted by the Contractor as to materials, workmanship and accuracy of As-built drawings for a period of two years from the date of completion of the work or beneficial use of the facilities. Workmanship shall be of good quality; i.e., mains shall be laid in a uniform alignment, fittings shall be properly restrained, trenches shall be properly excavated and backfilled, fire hydrants and valve boxes shall be adjusted to finished grade. All water mains shall be installed with tracer wire per C.G.C.S. standard location wire details.

03. SURVEYS. The Utility Contractor shall provide all surveys necessary for the layout and construction of the work of his contract.

04. EARTHWORK. Earthwork shall include all excavation, fill and backfill (hand/machine), compaction and rough grading of materials encountered. No unsuitable materials clay, muck, or peat removed from pipe trenches are to be used for backfill. All fill or backfill shall be either sand or sandy clay, free of roots, trash or other debris. All backfill alonaside of and to a height twenty-four inches above all pipe shall be free of clay or organic material, compacted by either hand or machine operation carefully to 98%. All other backfill shall be compacted by either hand or machine operation carefully to 95% (outside of paving), 98% (under paving) of its optimum moisture content as determined by ASTM D698, latest. Copies of compaction density test reports from a licensed testing agency shall be made available to C.G.C.S. if requested.

05, JOINT RESTRAINT. All fittings shall be properly and adequately restrained against lateral movement at all water main tees, crosses, valves bends and fire hydrants. Restrainers shall be Uni-Flange Series 1300, 1350, 390 or approved equal installed per manufacturer's recommendations and C.G.C.S. Details and Specifications.

06. DUCTILE IRON PIPE. Ductile iron pipe shall conform to ANSI Specification A21.50 (AWWA C150) latest, "Thickness Design of Ductile Iron Pipe", Table 50.5, laying condition Type 2, internal operating pressure of 250 p.s.i. for an 8-foot depth of cover, Class 51 minimum and shall be ANSI A21.51 (AWWA C151), latest centrifugally cast pipe. Laying lengths shall each length clearly marked with pressure rating, thickness be 20 feet or less, class, height of pipe without lining, length, and manufacturer. Ductile iron pipe for water service shall be furnished with cement lining per AWWA C110, C115 and C151. The pipe shall have design values of 60,000 P.S.I. minimum tensile strength, and 42,000 P.S.I. minimum yield strength. Ductile iron pipe for water or service lines shall be used in any easement, right-of-way, between lots, and any instance where a building foundation or other permanent appurtenance is within 10' of the water main or a service line

07. DUCTILE IRON FITTINGS shall be C153 cement lined and suitable for the type and class of pipe to which connected. Gaskets shall be suitable for potable, domestic water service. Minimum working pressure shall be 150 P.S.I.

08. POLYVINYL CHLORIDE PIPE. Polyvinyl chloride pipe for water mains 4 inch in diameter and larger, shall be P.V.C. C900, DR-18, conforming to ASTM D-1784, D-2241, D-3139 and F-477, latest, and shall bear the seal of the National Sanitation Foundation. Pipe shall be color coded and marked on at least 2 sides with the word "WATER" and at every 12" along the barrel of the pipe. Couplings shall be rubber gasketed, push—on type conforming to ASTM D-2122. DR-18 shall be used for fire mains.

09. STEEL CASING PIPE, Steel casing pipe shall be of size indicated on the Drawings and shall conform to ASTM A139, with a minimum yield strength of 35,000 p.s.i.

10. POLYETHYLENE PIPE shall be SDR 9, AWWA C901, ASTM D2737, PE 3408, colored blue, NSF Seal, with Type 316 stainless steel inserts. Fittings shall be suitable for type of installation required. All piping smaller than 4" shall be Polyethylene.

and shall be suitable for a 200 p.s.i. non-shock working pressure Gate valves shall be mechanical joint, flanged or screwed. Gate valves shall have a 2" operating nut and open left. Gate valves shall have joints suitable for the type of main on which installed. Valves 2" & 3" shall be iron body, bronze fitted (distribution mains only). Valves 4" and larger shall be iron body, bronze fitted with resilient seat. Valves shall be of domestic (American) manufacture and shall be A.F.C., M&H. Mueller or approved equal, Valves 16" and larger shall be AWWA C-509. M&H Valve Co. Valve boxes with screw extensions shall be provided for all gate valves. Boxes shall be of cast iron construction, 7/32" minimum wall thickness and shall be nontacky tar enamel coated. The word "WATER" shall be cast in the cover. Other ball valves 2" and smaller shall be Ford Ball Valve or Mueller with F.I.P.T.

11. GATE VALVES AND BOXES. Gate valves shall be non-rising stem type

12. WATER METER BOXES. Meter boxes for flushing hydrants and 3/4" meters shall be DFW Plastics, Inc., model DFW36C-12-3T. Meter boxes for 1" meters shall be DFW Plastics, Inc., model DFW37C-12-3T. Meter boxes for 1-1/2" and 2" meters shall be DFW Plastics, Inc., model DFW1730C-12-3T, Developer shall be responsible for installation of meter boxes on all water services as part of the water main installation. All curb stops shall be adjusted to the proper elevation and shall be accessible for the installation of the water meter. The contractor shall be required to open all boxes for the C.G.C.S. inspector at the final inspection. A treated 6'-6" fence post marker shall be painted blue for identification,

13. CURB STOPS. Curb stops shall be cast bronze, inverted key stop, roundway, with check, lock wing type, for locking in the closed position. Curb stops shall be Ford Ball Valve or Mueller.

14. CORP STOPS. Corp stops shall be cast bronze. inverted key stop. roundway, with check, lock wing type, for locking in the closed position. Corp stops shall be Ford Ball Valve or Mueller.

15. FIRE HYDRANTS. Fire hydrants shall be traffic type, 150 pound working pressure, AWWA Standard C502, latest revisions, with two 2 1/2" nozzles, one 4 1/2" nozzle and 5 1/4" main valve. Fire hydrant shall be be compression type with breakable coupling and bolts. Pipe connection shall be mechanical joint. American Flow Control, AFC B-84-B, painted red w/white bonnets and with 1 1/2" penta nuts, opening left.

16. INSTALLATION. The minimum cover over top of potable water main shall be 36" minimum. All water lines and appurtenances shall be thoroughly cleaned of all foreign matter before being lowered into the trench and shall be kept clean during laying operations by means of plugs or other approved methods. All pipe shall be checked for defects before being lowered into the trench. Defective pipe shall not be used. Pipe found to be defective, after installation, shall be removed and replaced with sound pipe at no additional expense to the Owner. The full length of each section of pipe shall rest solidly upon the pipe bed, with recesses excavated to accommodate the bells and joints. All pipe that has the grade or joint disturbed after laying shall be taken up and reinstalled. The pipe shall not be laid in water, or, when trench or weather conditions are unsuitable for the work. All joints shall be cleaned of all foreign matter before making the joint. Fittings at bends in the pipe shall be properly restrained with joint restrainers adequately sized to prevent movement and dislocating or blowing off when the line is under pressure. Service laterals shall terminate at the point noted in the details.

17. TESTS. After the pipe is laid, the joints completed, and the trench backfilled, the newly laid pipe and appurtenances shall be subjected to a Hydrostatic and Leakage test of 150 pounds per square inch for a

period of at least two hours. During this period, all joints shall be inspected to determine water tightness of the system. Any leaks detected shall be corrected. Tests shall be in accordance with the C.G.C.S.'s requirements and specifications. Water main lines shall be pressure tested and approved prior to paying, but not prior to subgrade mixing operation and limerock installation, finish graded and compacted. If C.G.C.S. inspector detects the water main has been damaged during priming or paving he shall require the contractor to repair the water main

18. STERILIZATION. After completion of construction and testing, the water system shall be sterilized with chlorine in accordance with AWWA Standard C651 latest, and State of Florida Department of Environmental Protection requirements before acceptance for domestic operation. The amount of chlorine applied shall be sufficient to provide a dosage of 50 parts per million or more. The chlorine solution shall remain in the system for a period of at least 8 hours, during which time every valve in the system shall remain opened and closed several times to assure contact with every surface of the system. After completion of sterilization procedures, the system shall be flushed using chlorinated water from a domestic water source having a chlorine residual of at least 1 part per million. The contractor shall obtain all bacteriological clearances as required by the Florida Department of Environmental Protection. After bacteriological clearances, the pressure in the main shall not drop below 20 P.S.I. Clearance report to be submitted to the Engineer. The contractor should be aware that there is a timing maximum related to bacteriological clearance of the main, completion of as-built drawings and Engineer / C.G.C.S. completion of Certificate of Completion. In any project where the bacteriological clearances are greater than 30 days old at the time of submittal of Certificate of Completion to F.D.E.P., the contractor may be required to pull more samples and obtain more bacteriological clearances. Prior to introducing the chlorine solution, the lines shall be thoroughly flushed with clean water utilizing full pipe diameter flushing for pipe up to and including 8" diameter. Contractor shall be responsible for dechlorination of the disinfectant water prior to any discharge to any ditch or surface waters.

19. BACTERIOLOGICAL SAMPLING. Contractor shall assure the project construction is completely finished prior to any bacteriological sampling and testing.

# **GENERAL NOTES**

1. AS-BUILT DRAWINGS AND ASSOCIATED COSTS. All cost records pertaining to the cost of water, reclaim and sewer facilities donated to the utility shall be provided to the Utility by applicant. Prior to acceptance of any extension to the Utility's system that is completed by a licensed underground utility contractor, the Utility will require that the applicant's contractor provide the Utility, to retain for its permanent records, all field as-built data. During the daily progress of the work, the contractor's job superintendent shall record on his field set of drawings all work installed. All manholes, gravity sewers, force mains, laterals, valves, fittings, fire hydrants, etc. shall be located in two directions. One location shall be referenced perpendicular to the right-of-way lines and or property lines (preferably both) or existing permanent utility structures are acceptable (i.e. manholes, catch basins, fire hydrants, head/end walls, etc.). No power/utility poles may be used for reference. Elevations of manhole inverts and center of cover shall be shown to the nearest hundredth of a foot. Size, type, class and slope of sewer main shall be shown (i.e. 8" PVC, SDR-35). The top elevation of each manhole may be determined by measuring from a surveyed pipe invert to the final adjusted manhole top. Size, type and class of water mains, valves, fittings, fire hydrants, etc. shall be shown (i.e., 8" D.I.P., 6" gate valve). All locations where the top of the water main is less than 36" deep or more than 50" deep shall be noted on the as-builts. Water as-builts, sewer as-builts and reclaim water as-builts shall be on separate sheets. <u>ASBUILTS SHALL BE IN NAD 1983 FL EAST-FOOT-STATE PLANE COORDINATES AND REFERENCE THE BM USED FOR THE PROJECT.</u>

Each page of the as-built drawings shall bear the name, date and original signature of the general contractor responsible for the Work and the name, date, original signature and seal of the reaistered land surveyor or reaistered professional engineer who provided the horizontal and vertical dimensions and elevations on the as-built drawing. The signatures shall certify that the as-built drawings do, in fact, reflect the true as-built conditions as located under the direct supervision of the registered surveyor and/or professional engineer. The as-builts shall be at the contractor's expense. A copy of the AutoCAD® ASBUILT DATA SHALL BE FURNISHED ON COMPACT DISK (CD) PLUS (2) SIGNED FULL SIZE PRINTED SET PLUS (1) MYLAR SET by either the design engineer or the applicant's contractor.

2. CONSTRUCTION WARRANTY AND WARRANTY SECURITY PERIOD. Developer shall warranty Utility against defects in material and workmanship for the portion of the onsite system to be owned by the Utility. Developer shall secure from its Contractor a written and fully assignable warranty that the system installed will be and remain free from all defects, latent or otherwise with respect to workmanship. materials, installation, and accuracy of his as-built drawings in accordance with the Utility approved plans and specifications for a period of two years from the date of the system acceptance by the Utility and immediately assign the same and the right to enforce the same to Utility on or before the date of the Utility's acceptance of the system for ownership and maintenance.

CLEAN-UP. All surplus materials of construction shall be removed from the site and disposed of by the Contractor as part of his contract with the owner.

4. RESTORATION. New Sanitary Sewer and Water Main Construction in earthen areas shall be seeded and mulched in accordance with Section 570 of Standard Specifications of the Florida Dept. of Transportation (latest edition). In locations where existing grassed (sodded) areas are disturbed, sod shall be replaced to preconstruction condition and to limits of construction or where directed by the engineer.

5. PERMITS. The Contractor shall be responsible for obtaining all permits required for performing work under this contract, except that the F.D.E.P. permits, and wetland permits, if required, will be secured by the owner or developer.

6. PIPE BEDDING. In the event unsuitable or unstable bedding material is encountered at or below the limits of the excavation required for installation, such material shall be removed and replaced with suitable compacted backfill material specified by the design engineer and approved by the C.G.C.S so as to provide a stable trench bedding surface suitable for proper pipe installation.

6-A. Pipe Bedding (Rock Bedding Material) Rock material used for pipe bedding shall be #57 stone or crushed concrete (crush-crete) in a #57 size. Rock bedding material shall be completely wrapped in a heavy filter fabric material, overlapped a minimum of one foot, rock bedding shall be installed to the correct grade and compacted to a density which will prevent any settlement, either by mechanical tamping equipment or by compressing the rock using the bottom of the backhoe bucket. The compaction shall be approved by C.G.C.S. inspector. The contractor shall be required to have submittal approved by design engineer and C.G.C.S. prior to use of such rock bedding

7. DEWATERING. The contractor shall at all time during construction provide ample means and equipment with which to promptly remove and dispose of all water entering the trench and structure excavations and shall keep said excavations acceptably dry until the piping and / or structures to be built therein are completed. All water pumped or drained from the work area shall be disposed of in a manner as to not damage sewer, water, electrical or any other piping, structures or property. No pipe shall be laid in water and no water shall be allowed to rise above the bottom of any pipe while it is being jointed, except as may be approved in writing by the C.G.C.S.

8. HYDROSTATIC TESTING. After all pressure pipes (water mains, services, and force mains) are laid, the joints completed, and the trench backfilled, the newly laid pipe and appurtenances shall be subjected to a hydrostatic test of 150 P.S.I. for a period of at least two hours. The engineer and the C.G.C.S. Public Works must be notified 48 hours before a test is to be performed. Test shall be as set forth in AWWA standard C600. Any leaks detected shall be corrected and the section of pipeline retested. The two hour test period shall begin when all joints have been determined to be water tight. Leakage shall be limited to that allowance set forth in Section 4 of AWWA Standard C600-87. Hydrostatic and leakage test and blow-down (zeroing of gage) must occur before sampling for bacteriological test. The maximum allowable pressure loss is 5 P.S.I. regardless of the length of pipe.

REPORTS. Reports of hydrostatic and leakage tests and sterilization of the newly completed systems shall be submitted to the C.G.C.S. prior to requesting acceptance of the system.

10. DENSITY TESTING. In-place density tests are required at intervals not to exceed 150' along pipelines for every other lift. A minimum of one test between manholes is required for every other lift regardless of the distance between sanitary sewer manholes.

11. CONCRETE. All Portland Cement concrete shall be of Type II Portland Cement, 2,500 P.S.I. minimum, ready mixed. All concrete shall be placed before the initial set has taken place. Stale or retempered concrete shall not be used.

12. GATE VALVES AND BOXES. Gate valves shall have a 2" operating nut and open left. Gate valves shall have joints suitable for the type main on which installed. Valves 2" and 3" shall be iron body, bronze fitted. Valves 4" and larger shall be iron body, bronze fitted with resilient seat. The word "WATER" on water boxes and "SEWER" on force main boxes shall be cast in the covers.

13. SEPARATION OF WATER AND SEWER MAINS. Horizontal and vertical separation between potable water system mains and or appurtenances and sanitary or storm sewers, wastewater or storm water force mains, and reclaimed water mains shall be in accordance with Rule 62-555,314 FAC.

(a) New or relocated, underground water mains shall be laid to provide a horizontal distance of at least three feet between the outside of the water main and the outside of any existing or proposed storm sewer, storm water force main, reclaimed water main regulated under Part III of Chapter 62-610, F.A.C, or proposed vacuum-type sanitary sewer. (b) New or relocated, underground water mains shall be laid to provide a horizontal distance of at least six feet, and preferably ten feet, between the outside of the water main and the outside of any existing or proposed gravity— or pressure—type sanitary sewer, wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C. The minimum horizontal separation distance between water mains and gravity-type sanitary sewers shall be reduced to three feet where the bottom of the water main is laid at least six inches above the top of the sewer.

(c) New or relocated, underground water mains crossing any existing or proposed gravity- or vacuum-type sanitary sewer or storm sewer shall be laid so the outside of the water main is at least six inches, and preferably 12 inches, above or at least 12 inches below the outside of the other pipeline. However, it is preferable to lay the water main above the other pipeline.

(d) New or relocated, underground water mains crossing any existing or proposed pressure—type sanitary sewer, wastewater or storm water force main, or pipeline conveying reclaimed water shall be laid so the outside of the water main is at least 12 inches above or below the outside of the other pipeline. However, it is preferable to lay the water main

(e) At the utility crossings described in paragraphs (c) and (d) above, one full length of water main pipe shall be centered above or below the other pipeline so the water main joints will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all water main joints are at least three feet from all joints in vacuum—type sanitary sewers, storm sewers, storm water force mains, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least six feet from all joints in gravity— or pressure—type sanitary sewers, wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter

14. NEW CONNECTION TO EXISTING MAIN. New connection to existing main in service shall be accomplished by the "wet tap" method utilizing full circle stainless steel tapping sleeve and mechanical joint tapping valve. Tapping sleeve shall be rated at 200 P.S.I., non-shock working pressure conforming to AWWA Standard C110, latest revision. Stainless steel tapping sleeves shall be from those listed in C.G.C.S. approved material manual. Tapping valve shall be mechanical joint one end and standard flanged joint on other end. Valve shall conform to Section 12. of these specifications.

15. JOBSITE SAFETY. While on the job site, the contractor shall at all times observe all Federal, State and local safety rules, regulations and laws. This includes, but not limited to, confined spaces and excavation protection systems as per O.S.H.A. standards.

# **GENERAL NOTES**

16. CLOSE OUT / COMPLETION. Minimum items required for Close Out / Completion for submittal to the City of Green Cove Springs will include:

(a.) Construction Warranty from Developer in the form of a Bond, Letter of Credit or

Cashier's Check for a two-year period. (b.) Warranty Certificate for a two-year warranty from the contractor to the Developer

and assignment of same to the City of Green Cove Springs (C.G.C.S.). (c.) Developer's Affidavit certifying there is no outstanding debt against utility assets to

(d.) Value of Acceptance Report showing value of assets to be deeded to the C.G.C.S.

e.) Bill of Sale to C.G.C.S .) Bacteriological Test(s)

.) Pressure Test(s) n.) Television Reports and Tapes

Density Reports .) PROPER Final As-Built Drawings and disks

prior to any installation of said materials.

17. C.G.C.S. Shop Drawing and Submittal Process. A signed acknowledgment by the Contractor and the Material Supplier, on the "Shop Drawings and C.G.C.S.'s Approved Materials List Form", that all materials will be in accordance with C.G.S.S.'s Specifications, C.G.C.S.'s Details and C.G.C.S.'s Approved Materials Manual, is the only submittal C.G.C.S. will require for each item of materials with the following exception: any alternate materials requested by the Engineer; any materials not listed in the C.G.C.S. Materials Manual; and materials associated with pumping stations and plant installations. Those exceptions shall have an individual shop drawing submitted for C.G.C.S.'s review and approval

This is C.G.C.S.'s procedure and it does not preclude the design engineer from requiring additional submittals and shop drawings as he deems necessary for the project.

18. PUMP STATIONS (TEMPORARY OR PERMANENT). All pump stations shall be constructed in accordance with C.G.C.S. standards, rules and regulations and be approved by C.G.C.S. All work and materials shall meet the requirements of C.G.C.S. Standard Pump Station Details and Specifications or the plans, details and specifications for that specific pump station. A driveway shall be provided from the street (roadway) to within 2 feet of the pump station wetwell, minimum 10 feet wide x 5 inches thick 3,000 P.S.I. concrete. Submersible pump stations shall be fenced completely about the perimeter of the pump station site (location of the pump station site as noted on the plans), including gates and all other items required to make a completely fenced installation. The entire pump station site within the fenced area shall be covered with #57 stone, 6 inch thick minimum, placed over 8 mil visqueen.

19. Information shown on the Drawings as to the location of existing utilities has been prepared from the most reliable data available to the Engineer. The Contractor shall be responsible for requesting underground utility locates and shall assist the utility companies, by every means possible to determine said locations and the locations of recent additions to the systems not shown. Extreme caution shall be exercised to eliminate any possibility of any damage to utilities resulting from Contractor's activities. The locations of all overhead utilities shall also be verified by the Contractor. The Engineer shall be notified of any conflict that may occur. The Contractor shall be responsible for determining which poles will need shoring during excavation and shall provide such shoring and support as required.

20. C.G.C.S. details and specifications (latest available copy) shall be included in all plans submitted for work within the C.G.C.S. utility system. No person shall modify, change, omit, replace any portion of those details and specifications without the express written consent of C.G.C.S.. In any instance where the design engineer has included his written specifications or details in the plans then the more stringent of the two shall govern.

21. All materials to be used for any project within C.G.C.S.'s utility system shall conform to those materials listed in the C.G.C.S. approved material manual in effect at the time final plans for that project are approved by C.G.C.S.

22. Under no circumstance shall any trees be planted within a C.G.C.S. utility easement without; a.) C.G.C.S. approving landscape and irrigation plans.

b.) C.G.C.S. being notified prior to the planting of trees and giving approval. c.) C.G.C.S. inspecting the installation of root barrier material (required at all trees

which are closer than 10' to any C.G.C.S. utility line) as shown in C.G.C.S. approved material manual and C.G.C.S. roadway cross section details, whether or not shown on the plans.

23. At all Jack & Bore locations a C.G.C.S. inspector shall inspect the casing spacers to verify they are the correct size and have been installed correctly on the pipe prior to the pipe being installed into the pipe casing. The pipe casing shall be clean and free of all dirt, and shall be cleaned with a Vac-Con if necessary. A C.G.C.S. inspector shall be present at all time during this

# FINAL INSPECTION PROCEDURES

PRIOR TO FINAL INSPECTION, THE CONTRACTOR shall PROVIDE THE FOLLOWING:

. The sewer line T.V. report and tape The pressure test and bacteriological clearance analysis report.

The engineer of record certification to D.E.P. This can be done with completed as-builts. . Completed as—builts showing at least the following:

a.) Location of valves, mains, services, manholes and locate wire boxes.

b.) Elevation of sewer lines in the manhole, and stub-outs. 5. All services and valves to be plainly marked with a treated fence

post, and electronic locate marker when needed. 6. Pump station start-up report with draw down data for each pump and with both

pumps in operation. All electrical components to be completely installed and in proper working condition.

PRIOR TO FINAL ACCEPTANCE FOR OWNERSHIP, THE FOLLOWING MUST BE COMPLETED: 1. All manhole rings and covers have to be adjusted to finish grade.

Water services must be lowered and meter boxes installed, valve boxes must be set on all gate valves.

. As-built drawings shall have been updated to accommodate the C.G.C.S. comments and the final elevation of the manhole tops must be included.

4. All valves, locate wire boxes, sewer, water and reclaimed services shall be scribed in curb and painted the correct color. 5. As-builts, must be accepted and approved by the City of Green Cove Springs Public Works.

PRIOR TO FINAL ACCEPTANCE FOR OWNERSHIP, THE FOLLOWING MUST BE COMPLETED: 1. A preliminary inspection must be coordinated by the underground utility contractor and held a minimum of fifteen (15) working days prior to the final inspection/start-up. The

preliminary inspection will compare the approved design drawings to the actual site

installation, noting any deficiencies. 2. The following must be represented at the preliminary and final inspection:

a.) The C.G.C.S.'s inspection and distribution and collection departments

b.) The project's developer and/or general contractor

c.) The underground utility contractor d.) All subcontractors associated with the lift station (electrical, pump manufacturer,

control panel manufacturer, etc.)

RE

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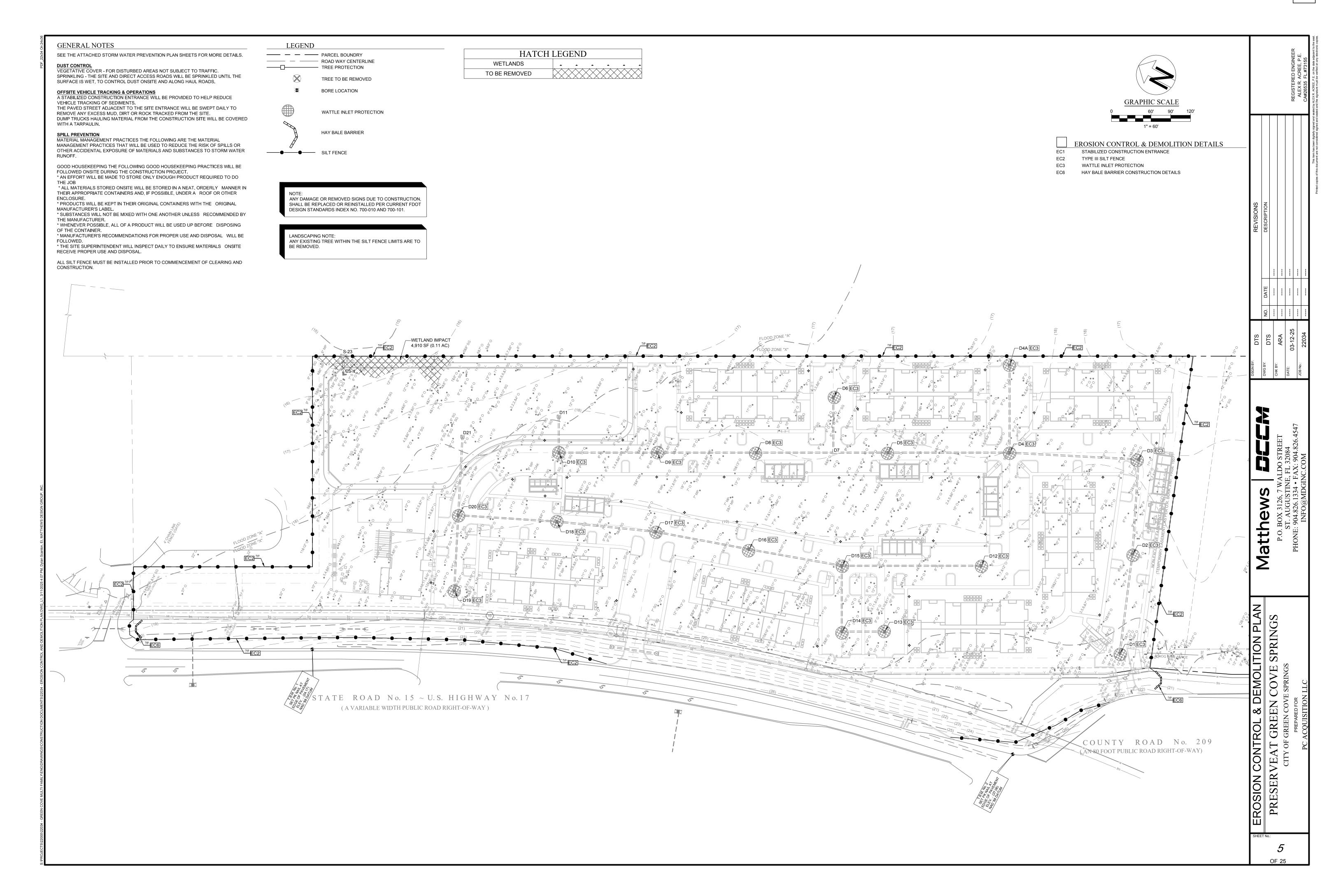
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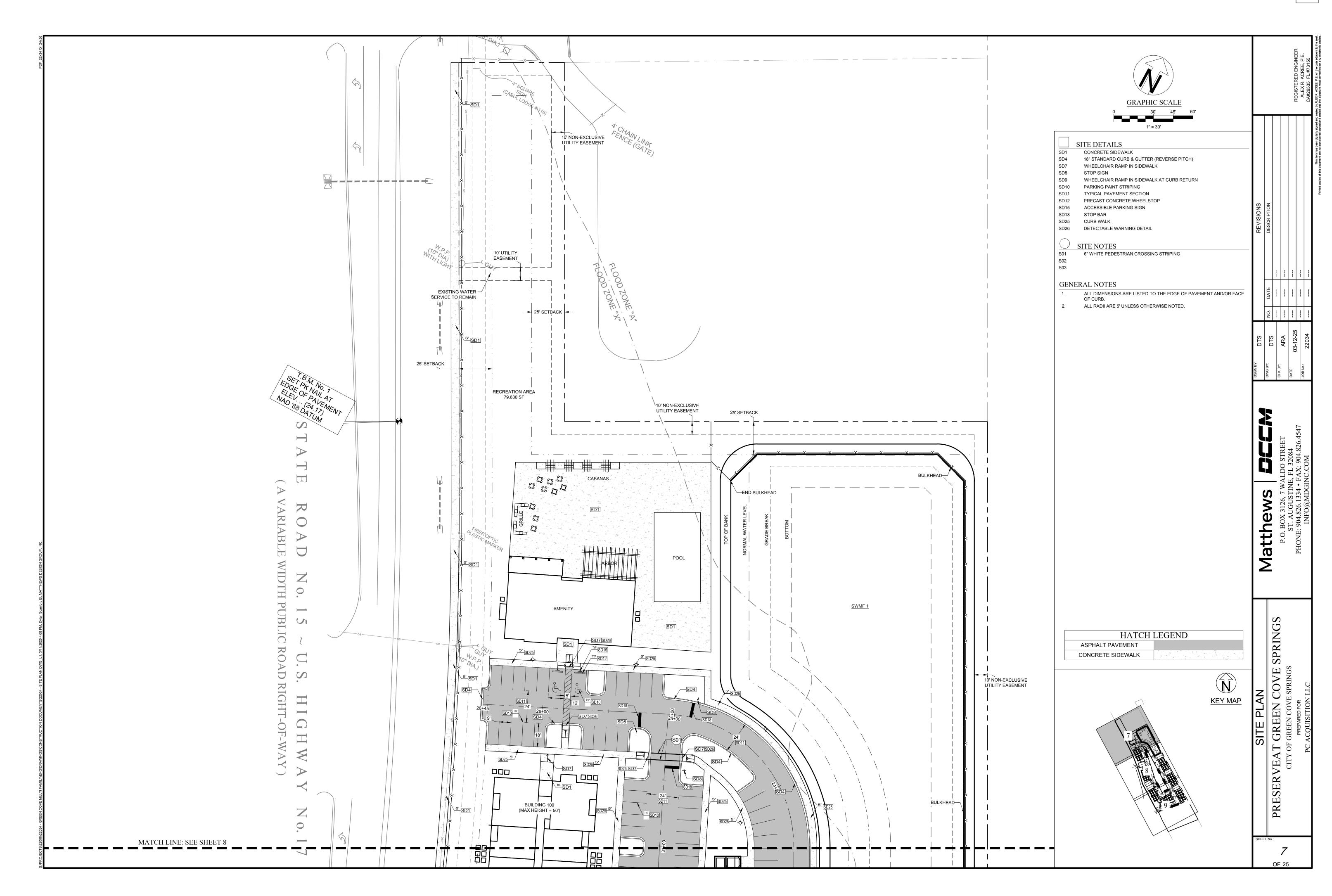
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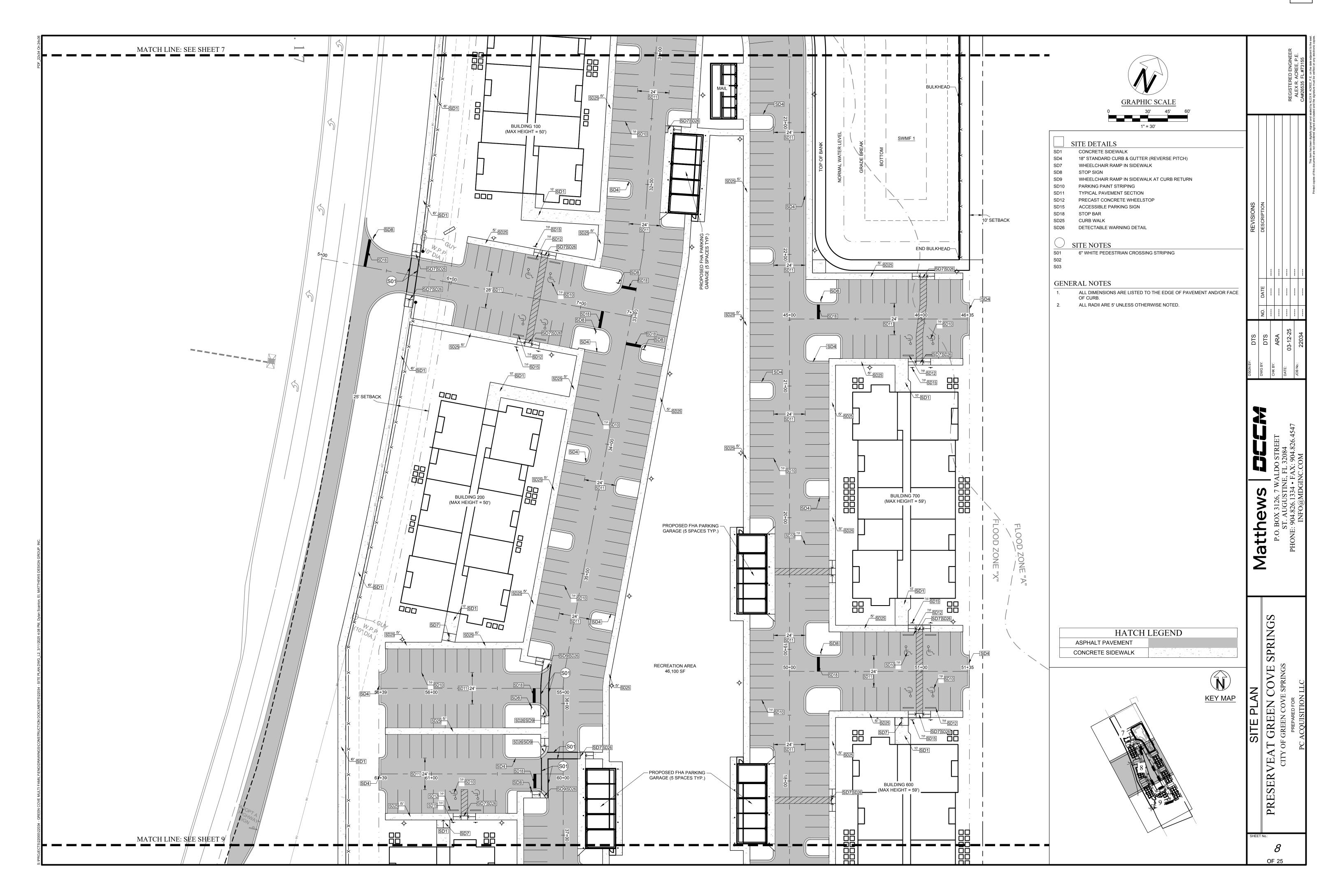
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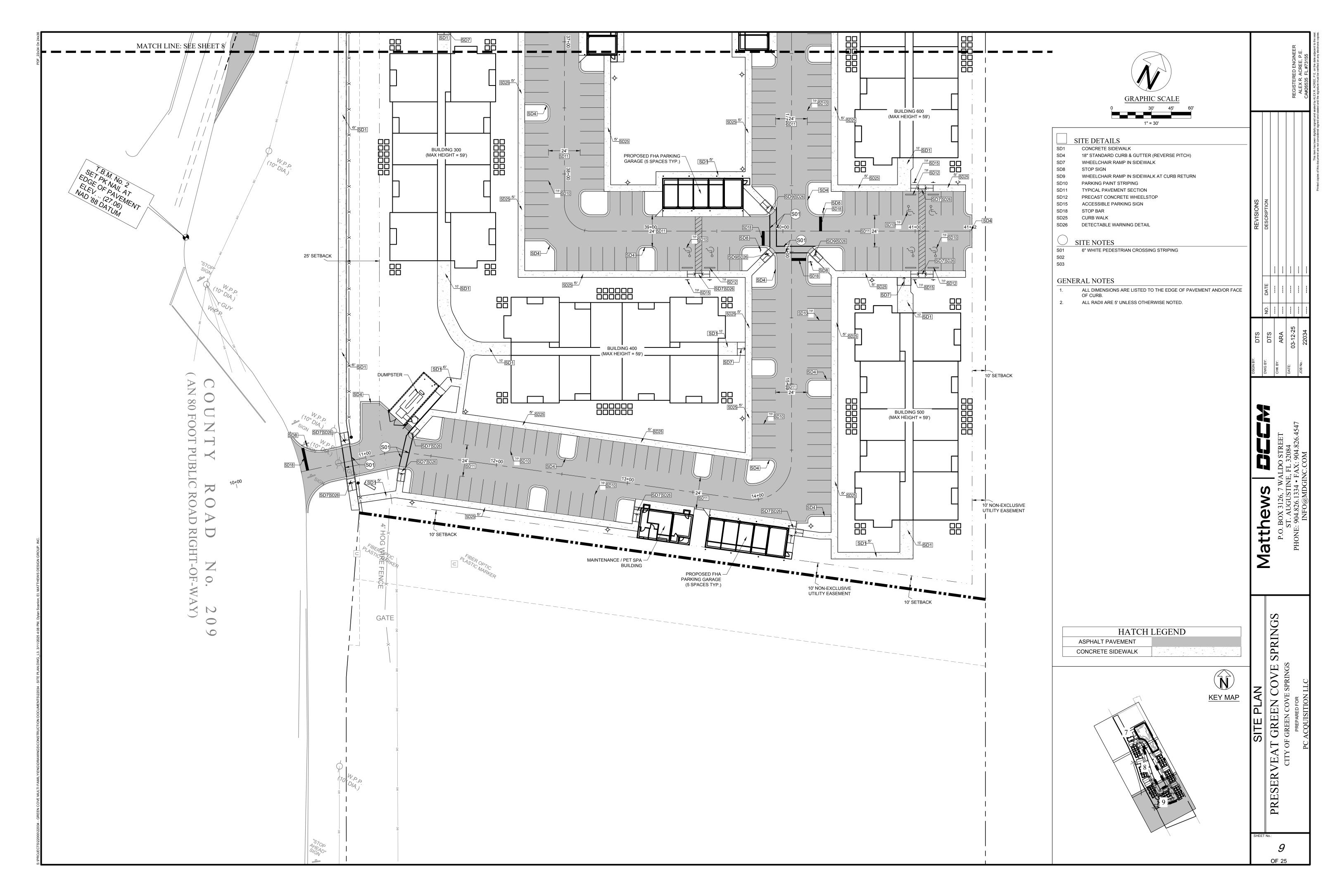
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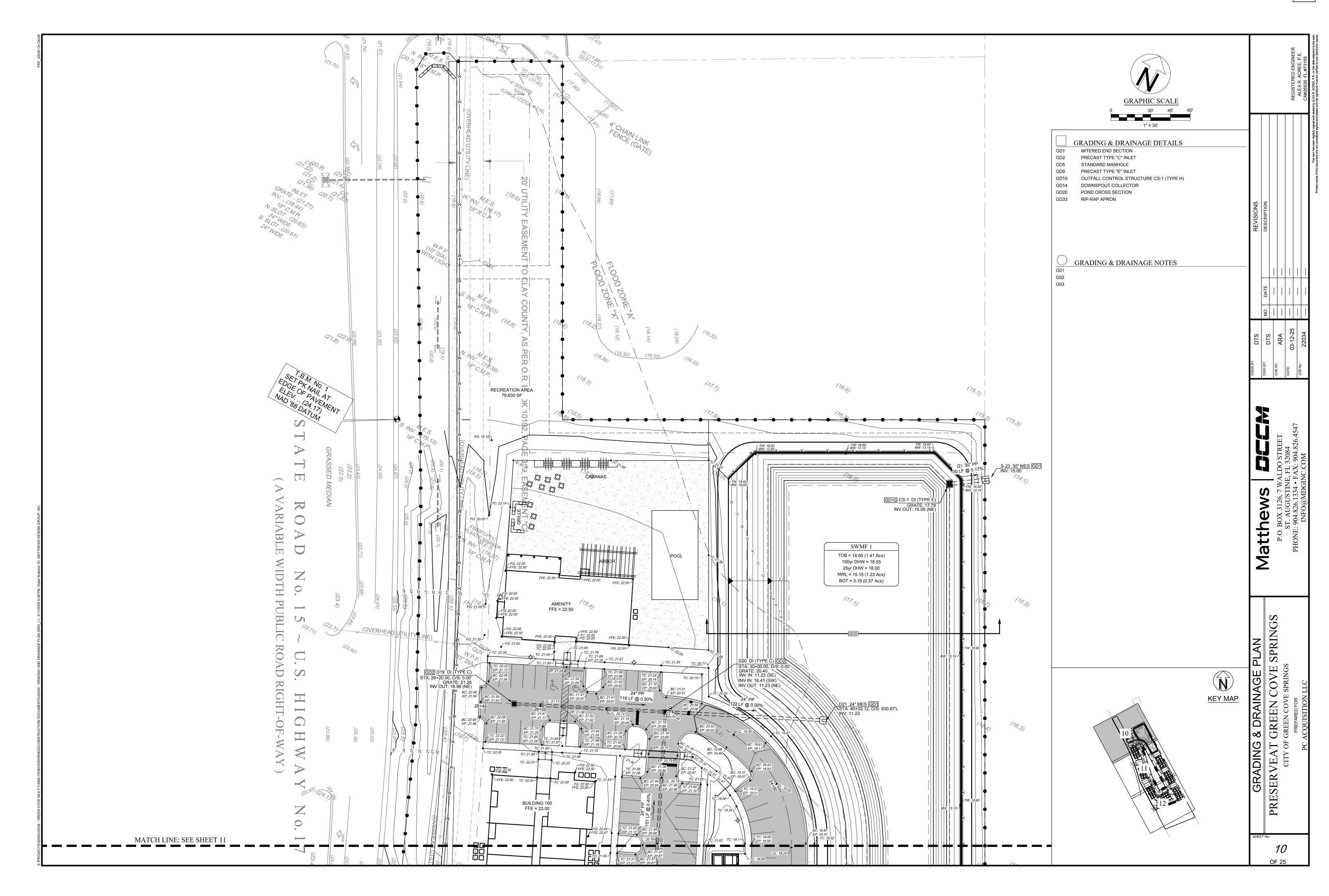


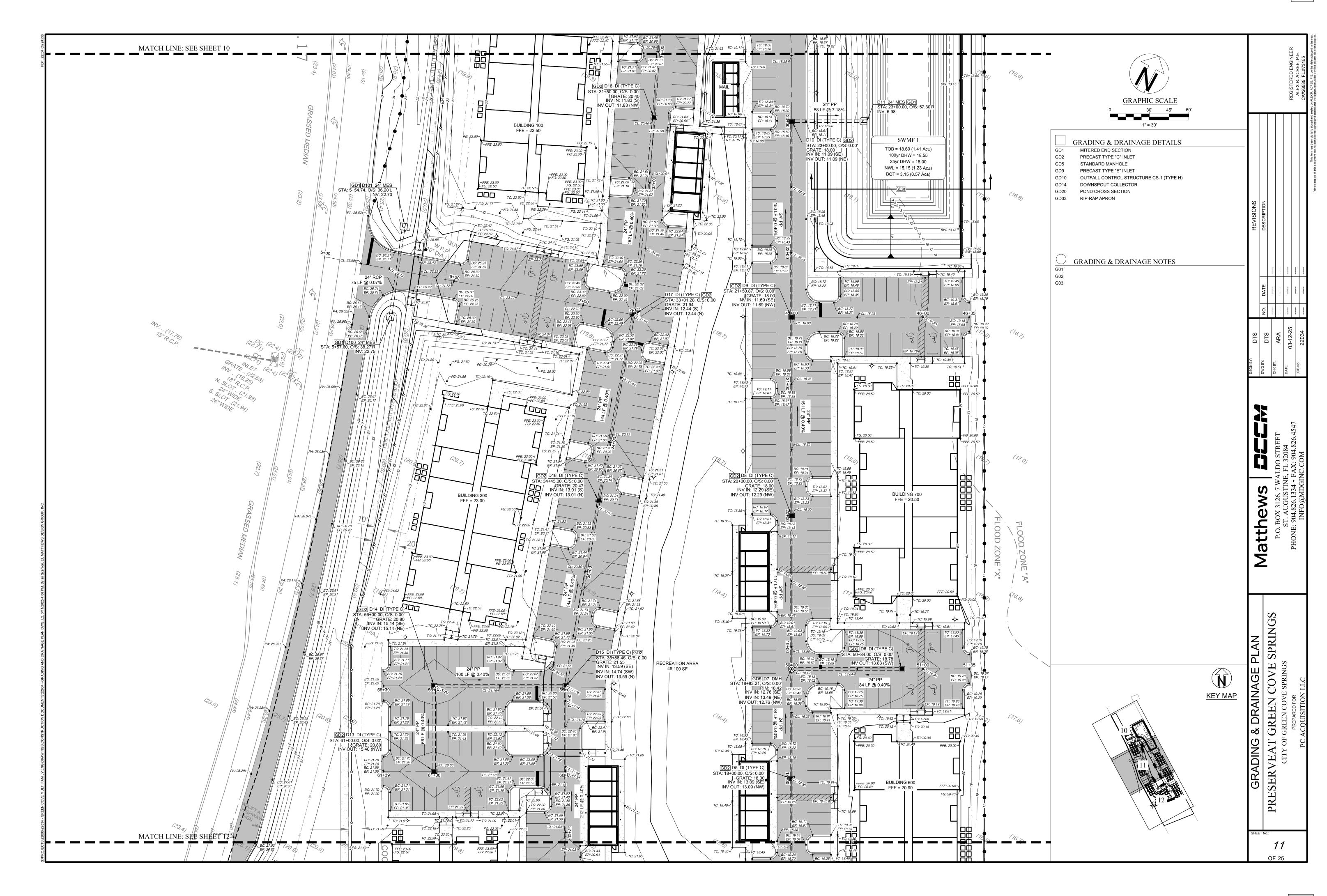
SITE DATA TABLE	PROPOSED BUILDING TABLE	A DDD COV		
DTAL SITE AREA 13.93 AC 606,739 SF ROPOSED BUILDING 100,603 SF ROPOSED IMPERVIOUS AREA 211,314 SF	AREA DESCRIPTION  GROSS FOOTPRINT (SF)  QUANTITY  TOTAL GROSS FOOTPRINT (SF)  MEAN HEIGHT BUILDING LENGTH (FT)	APPROX. BUILDING WIDTH (FT)		
ROPOSED POND AREA (NWL)  ROPOSED RECREATION AREA  DTAL IMPERVIOUS  47,788 SF  125,720 SF  359,705 SF	TYPE 3.3 MULTIFAMILY TOTAL FLOOR AREA       35,594.0       2       71,188.0       54.0       157.0         TYPE 4.2 MULTIFAMILY TOTAL FLOOR AREA       47,840.0       3       143,520.0       54.0       157.0	80.0 80.0		
DTAL PERVIOUS 247,033 SF DTAL IMPERVIOUS % 59% DTAL PERVIOUS % 41%	TYPE 4.3 MULTIFAMILY TOTAL FLOOR AREA         47,552.0         2         95,104.0         59.0         157.0           CLUBHOUSE         5,217.0         1         5,217.0         18.9         96.0	80.0 54.3	GRAPHIC SCALE	
BUILDING COVERAGE 17%  DTAL FLOOR AREA 354,492 SF  OOR AREA RATIO (FAR) 58.4%	MAIL KIOSK & PACKAGE ROOM     487.7     1     487.7     10.2     25.6       GARAGES, FHA     1,403.0     6     7,015.0     10.9     61.0       MAINTENANCE / PET WASH     920.0     1     920.0     10.5     40.0	19.0 23.0 23.0	0 60' 90' 120'	
ARCEL NUMBER(S) 38-06-26-016499-007-01 11 ADDRESS US HIGHWAY 17 AND CR 209 SOUTH	DUMPSTER ENCLOSURE 640.0 1 640.0 8.7 40.0  TOTAL BUILDINGS 324,091.70 SF	16.0	1" = 60'	
EMA PANEL NUMBER 12019C0283E  DOD ZONE ZONE X & A				
	SIGNAGE NOTES			
DENSITY TABLE  132 SINGLE UNIT TAL NUMBER OF UNITS 116 DOUBLE UNIT	PARKING CALCULATIONS  1. MONUMENT SIGNAGE FINAL PLACEMENT AND TO CHANGE WITH FINAL CONSTRUCTION PLACEMENT AND TO CHANGE WITH PLACEMENT AND TO CHANGE WIT	N DESIGN.		
12 TRIPLE UNIT OWED DENSITY CALCULATION 20 DWELLING UNITS PER ACRE	1, 2, & 3 BEDROOM UNITS = 260 UNITS 457 SPACES  THE CITY OF GREEN COVE SPRINGS CODE S  SIGNAGE WILL HAVE A MAXIMUM HEIGHT OF	ECTION 125-13 AND 125-14 12' AND A MAXIMUM		
DPOSED DENSITY CALCULATION 18.7 DWELLING UNITS PER ACRE KIMUM PROPOSED HEIGHT 59 FEET MEAN HEIGHT	PROPOSED STANDARD PARKING = 437 SPACES PROPOSED GARAGE PARKING = 30 SPACES  4. SIGNAGE MAY BE INTERNALLY OR EXTERNAL			RIPTIO
ELLING TYPE MULTI FAMILY	TOTAL PROVIDED = 467 SPACES  ADA REQUIRED = 9 SPACES  ADA PROVIDED = 20 SPACES		REV	DESC
HATCH LEGEND				
ASPHALT PAVEMENT  CONCRETE SIDEWALK				
CONCRETE SIDEWALK				
				DATE
				0
	10' NON-EXCLUSIVE UTILITY EASEMENT	FLOOD ZONE "A"  PROPOSED LIGHT POLE  (TYP)	10' NON-EXCLUSIVE UTILITY EASEMENT	DTS
			10' SETBACK	BY:
				DWG
		BUILDING 700  BUILDING 700  MAX HEIGHT = 59')	BUILDING 500 10' SETBACK (MAX HEIGHT = 59')	
	CMAG 4			<b>!</b>
	SWMF 1 61,319 SF (1.41 AC)		10' NON-EXCLUSIVE	
				REET
	PROPOSED LIGHT POLE  (TYP)		PROPOSED FHA PARKING GARAGE	I O STI
	25' SETBACK	PROPOSED FHA PARKING	PROPOSED FHA PARKING GARAGE (5 SPACES TYP.)	/ALD
	MAIL —	GARAGE (5 SPACES TYP.)  PROPOSED FHA PARKING GARAGE (5 SPACES TYP.)		<b>S</b> 6,7 w
	10' NON-EXCLUSIVE UTILITY EASEMENT	RECREATION AREA 46,100 SF  PROPOSED LIGHT POLE (TYP)		<b>Q</b> X 312
10' NON-EXCLUSIVE	FLOOD ZONE TY	MAX HE		Att P.O
UTILITY EASEMENT	25' SETBACK  25' SETBACK  WENT TO THE TOTAL PROPERTY OF THE TOTAL			5
	BUILDING 1			
10' UTILITY EASEMENT	RECREATION AREA 79,630 SF GRILLE			
		BUILDING 200  (MAX HEIGHT = 50')		
X OC X X OC X	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	(MAX HEIGHT = 59')	10' SETBACK	SDI
EXISTING WATER SERVICE TO REMAIN	25' SETBACK — 6' SIDEWALK PROPOS	ED MONUMENT SIGN BE SIGNAGE NOTES)		RIN
			PROPOSED LIGHT POLE  (TYP)	SP]
E E		ZO SETIMACK  X X X X X X X X X X X X X X X X X X X	PROPOSED MONUMENT SIGN (SEE SIGNAGE NOTES)	$\langle \mathbb{E}   \mathcal{E} \rangle$
	SE SE CITATE DOAD N. 15 H.C. H.C. H.W.A.V. N. 17	25' SETBACK		<u>-</u> 8
	(A VARIABLE WIDTH PUBLIC ROAD RIGHT-OF-WAY)	PROPOSED RIGHT TURN LANE PER FDOT SPECIFICATIONS  EXISTING POWER POLE TO	Dispersion of the control of the con	
			COUNTY ROAD No. 209	
			( AN 80 FOOT PUBLIC ROAD RIGHT-OF-WAY)	EA]
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				SEI
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			BENCHMARKS	
			BM1 SET PK NAIL AT EDGE OF PAVEMENT, 24.17 NAVD 88.  BM2 SET PK NAIL AT EDGE OF PAVEMENT, 27.06 NAVD 88	EET No.:
				6

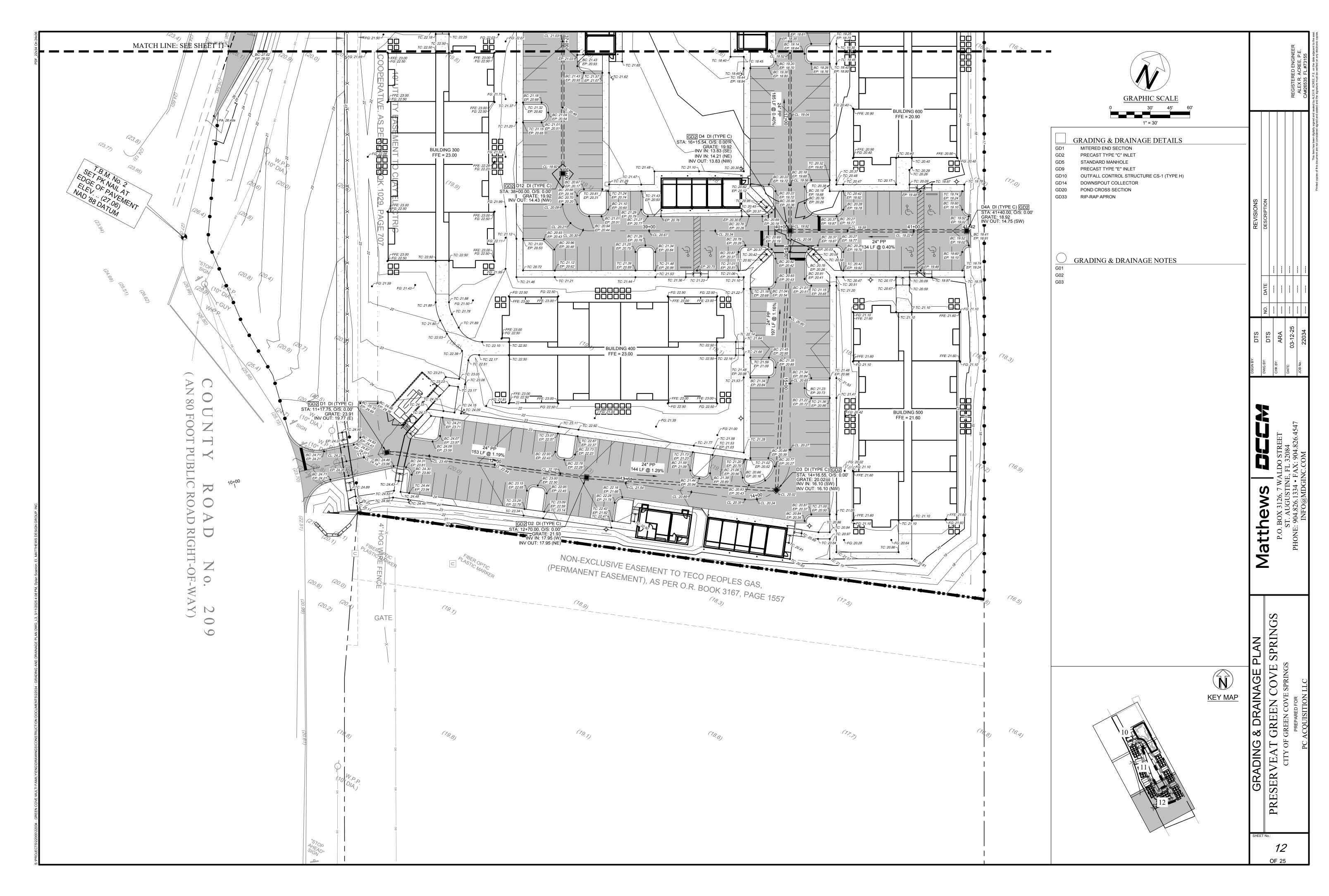


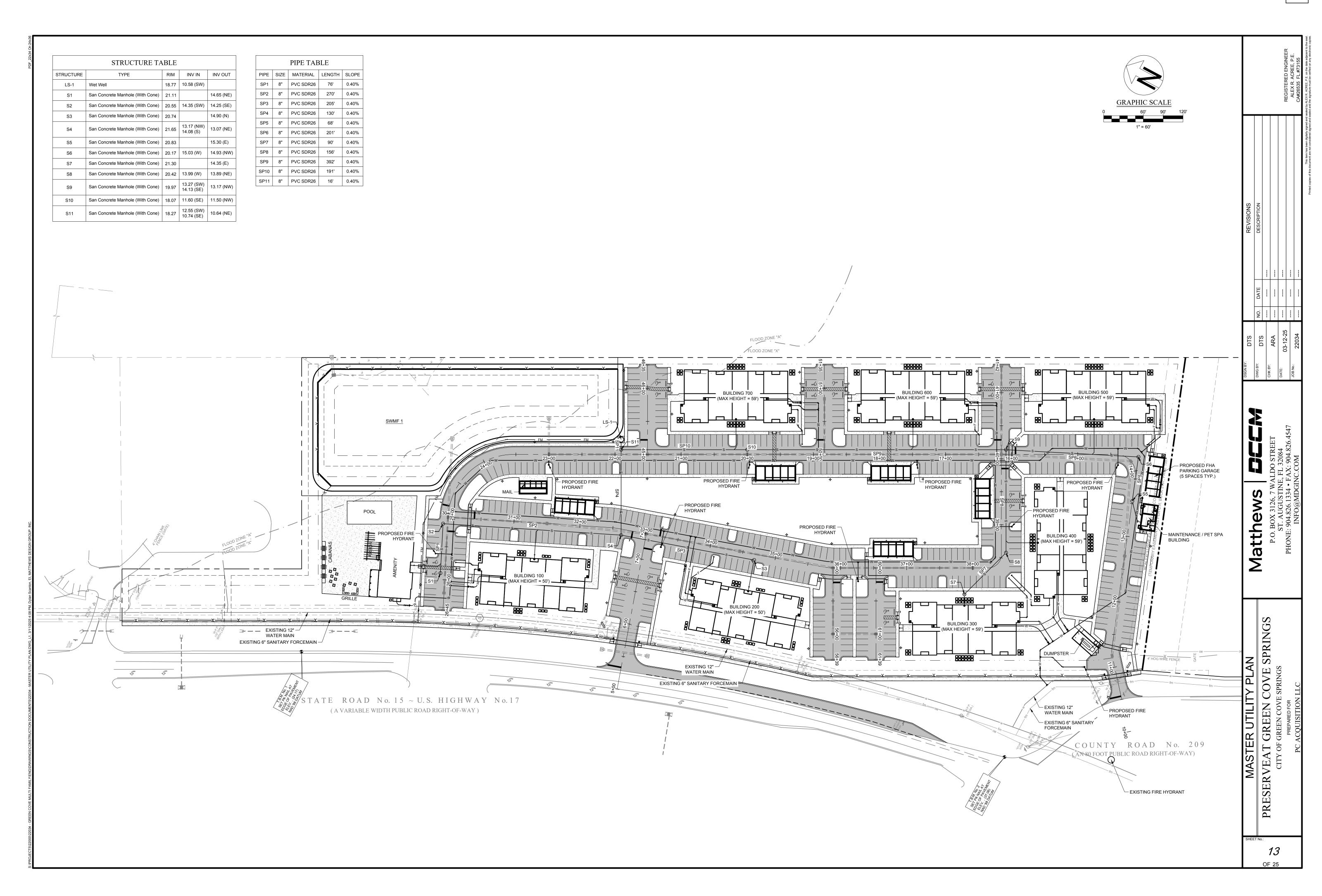


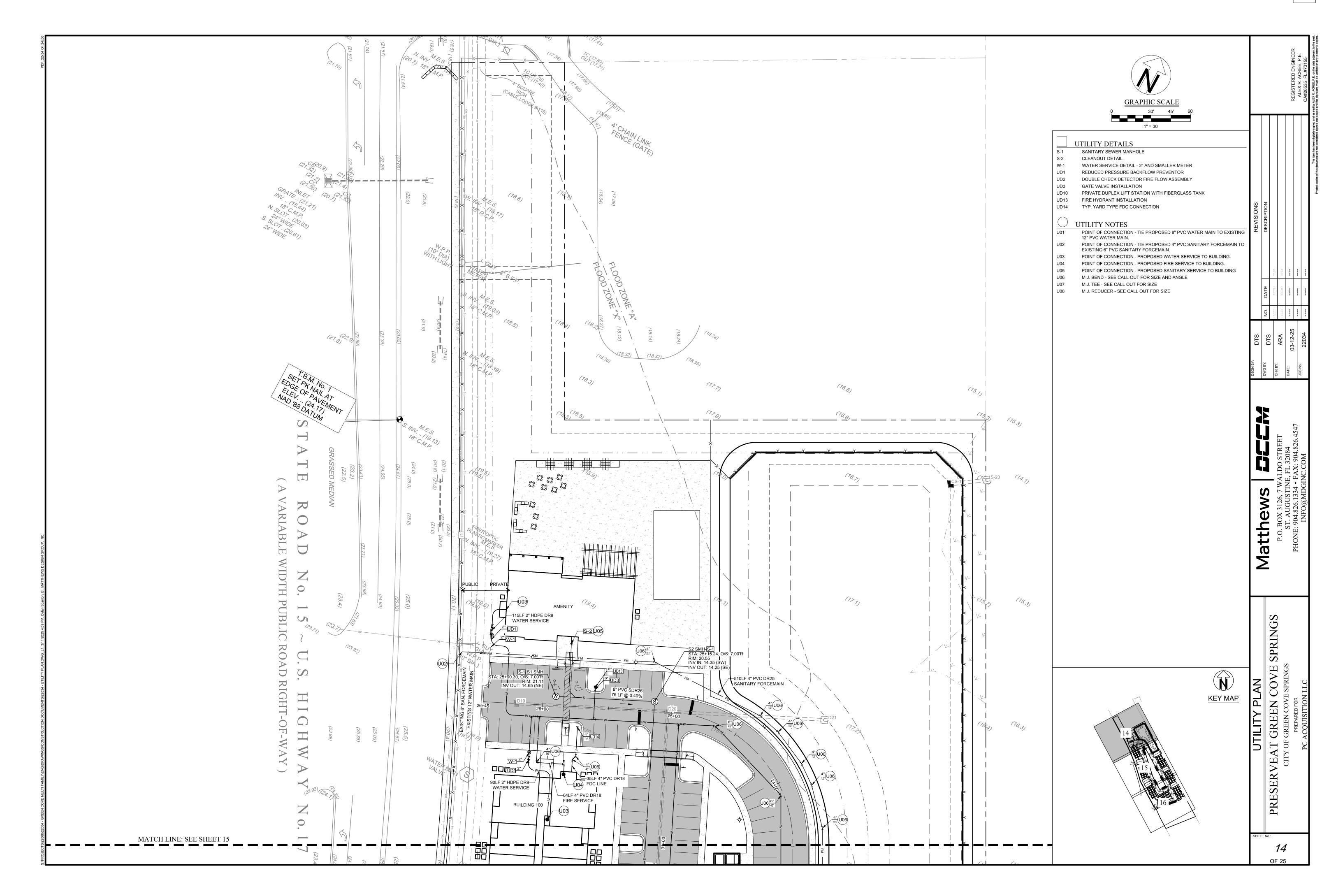


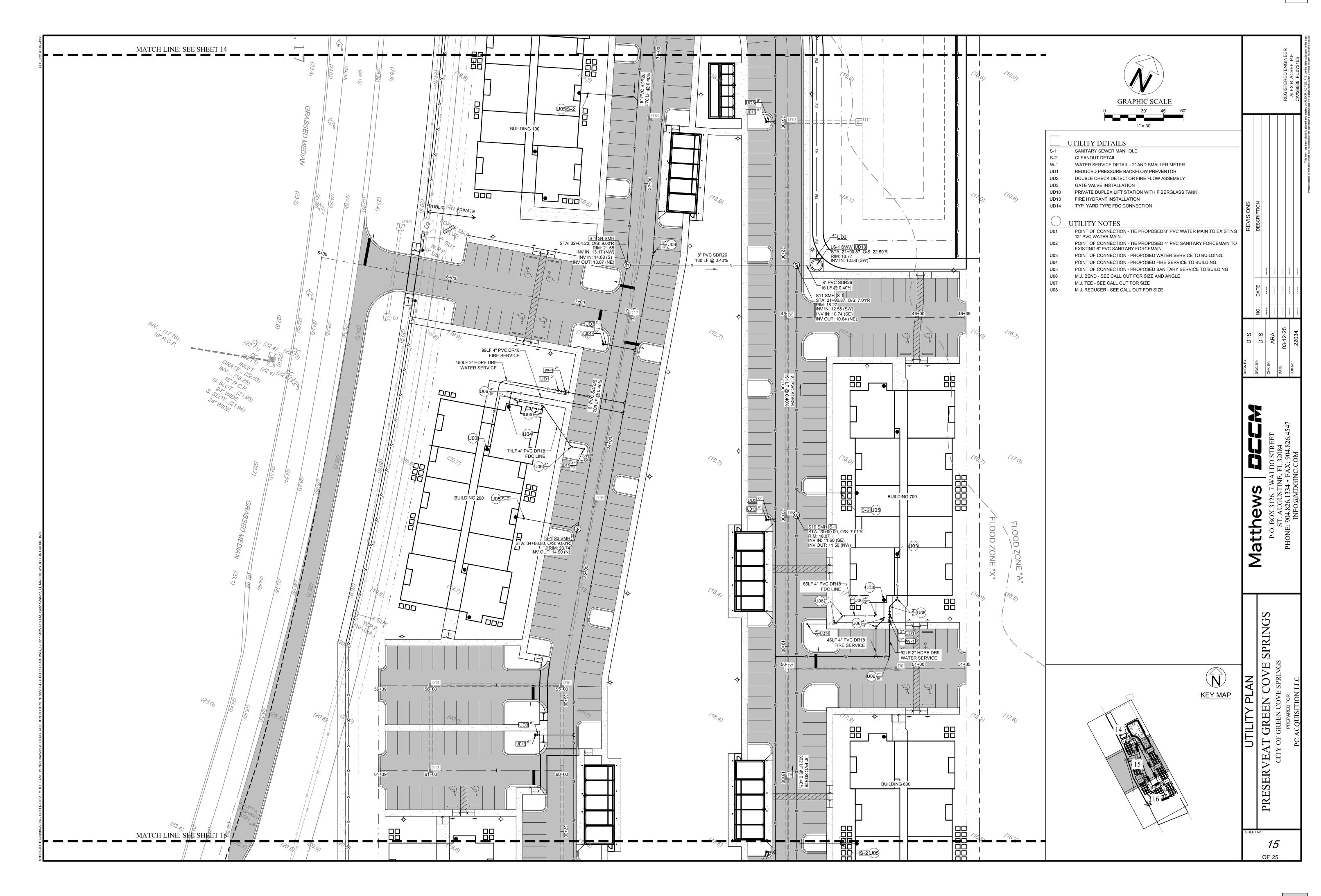


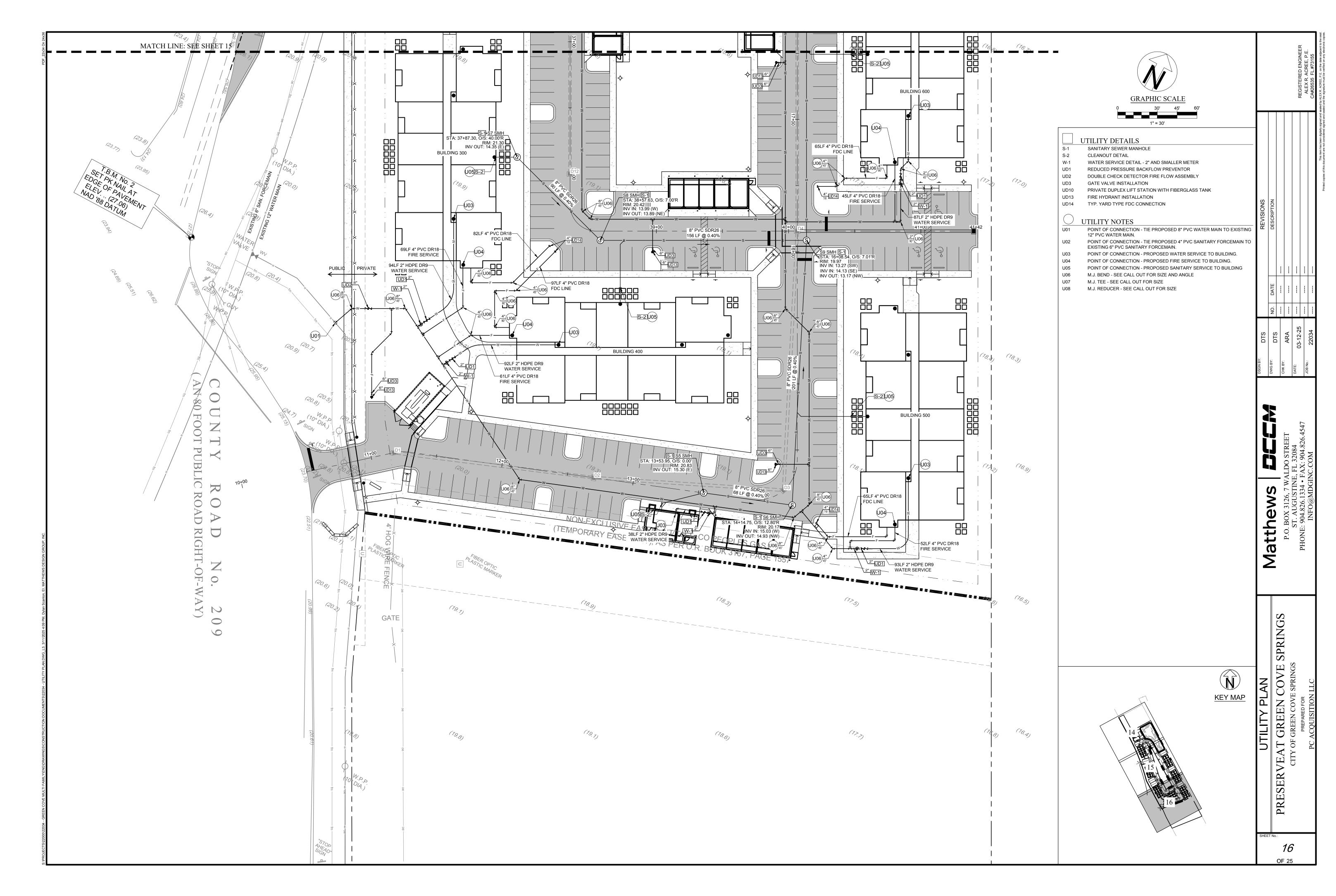


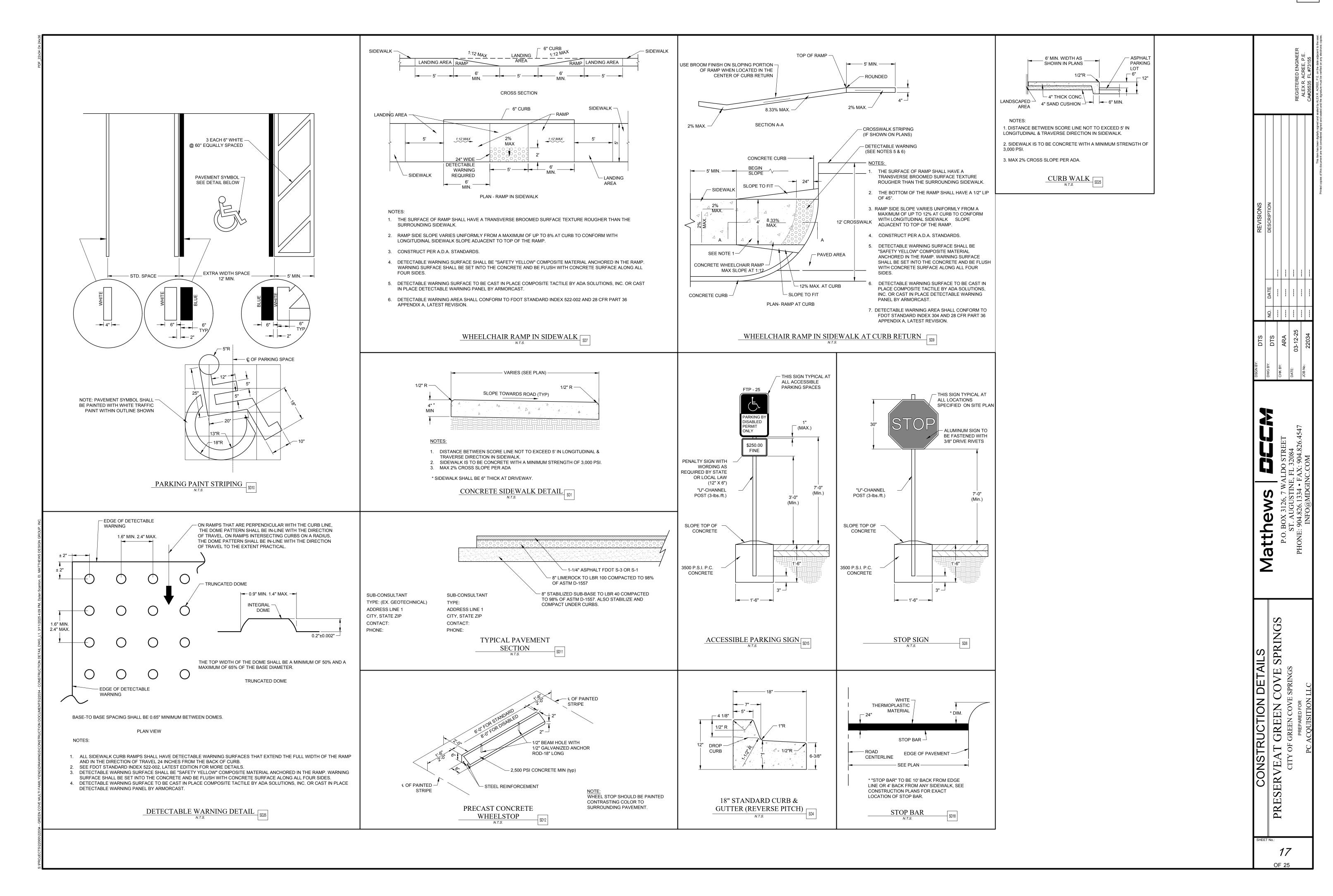




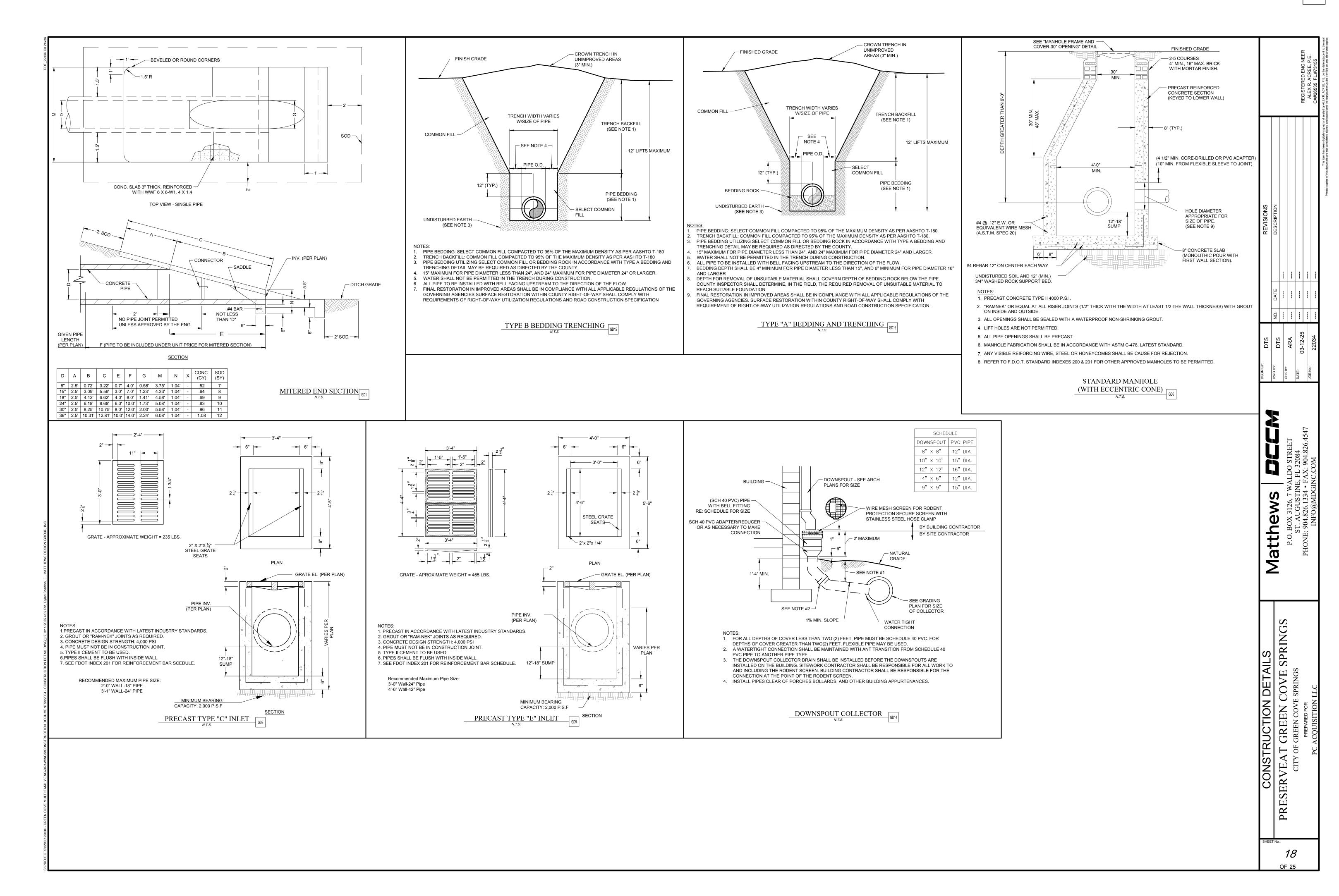




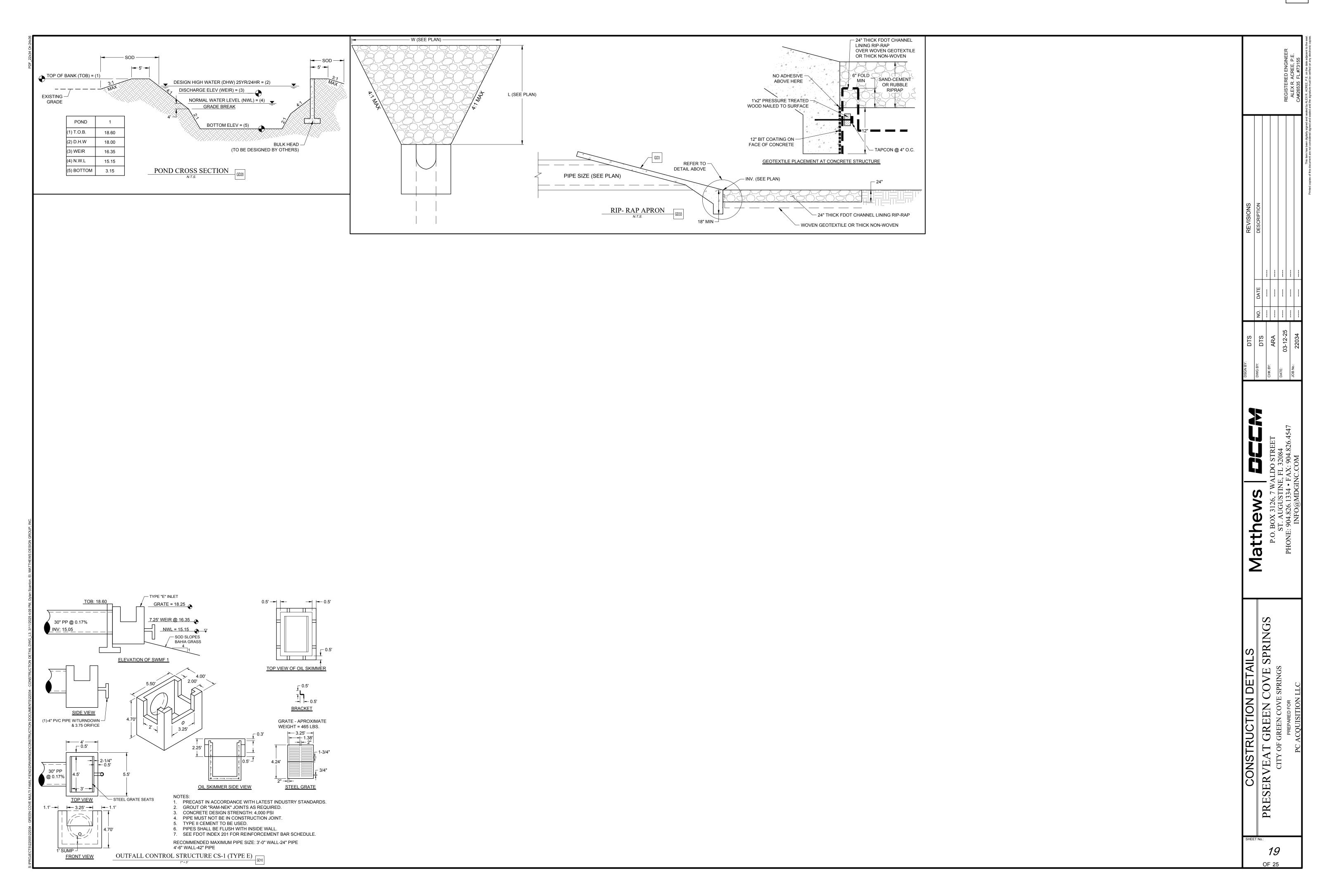


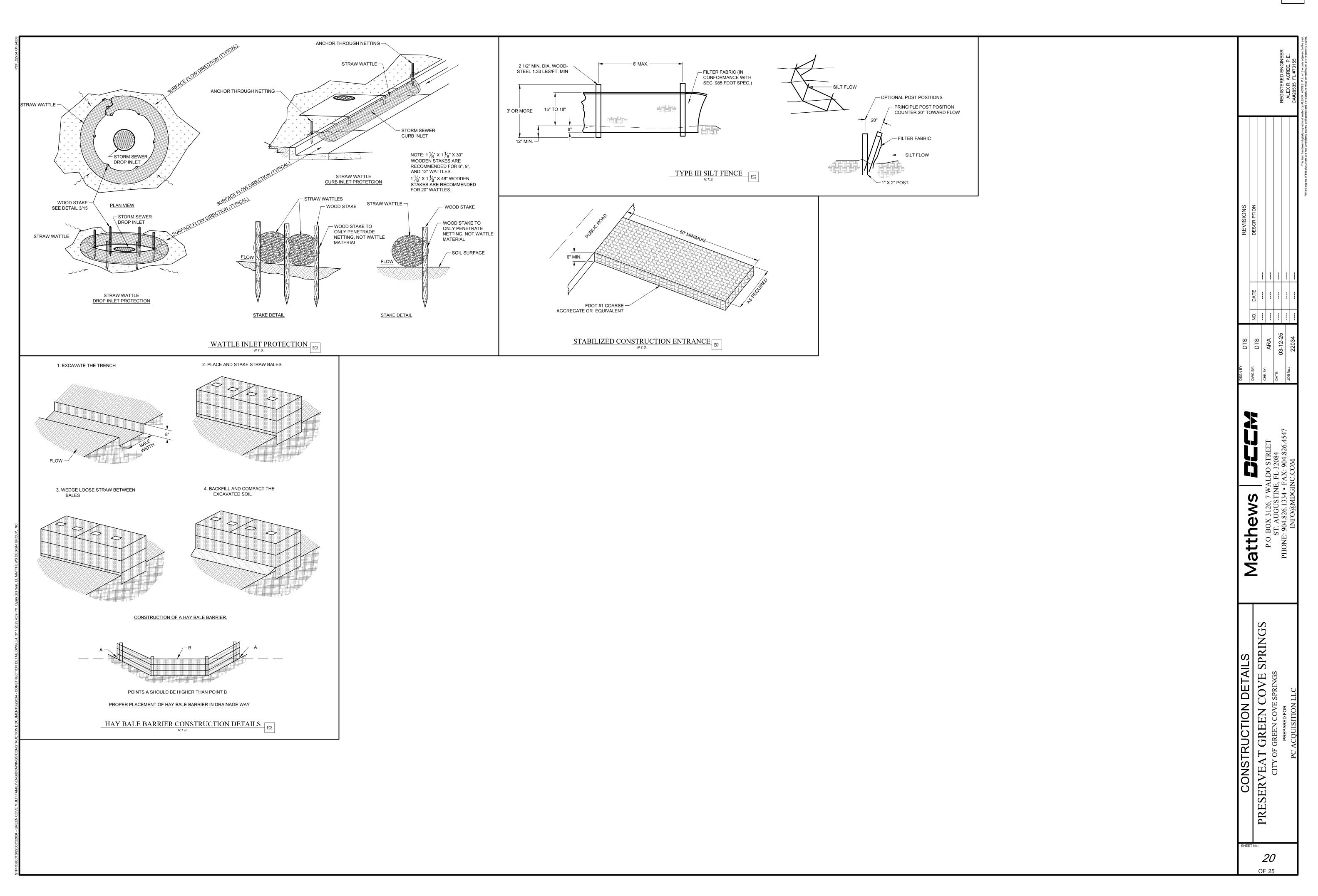


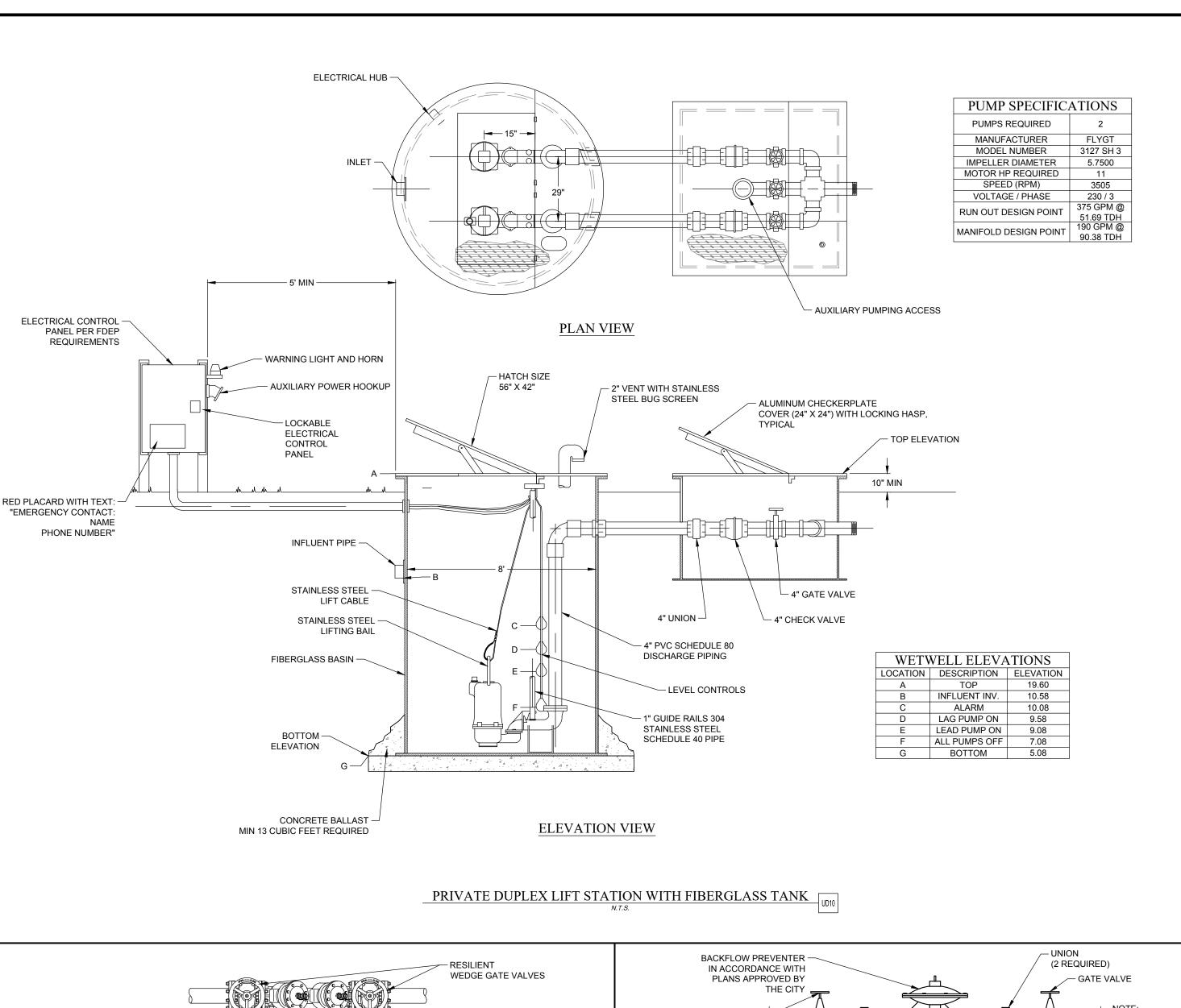
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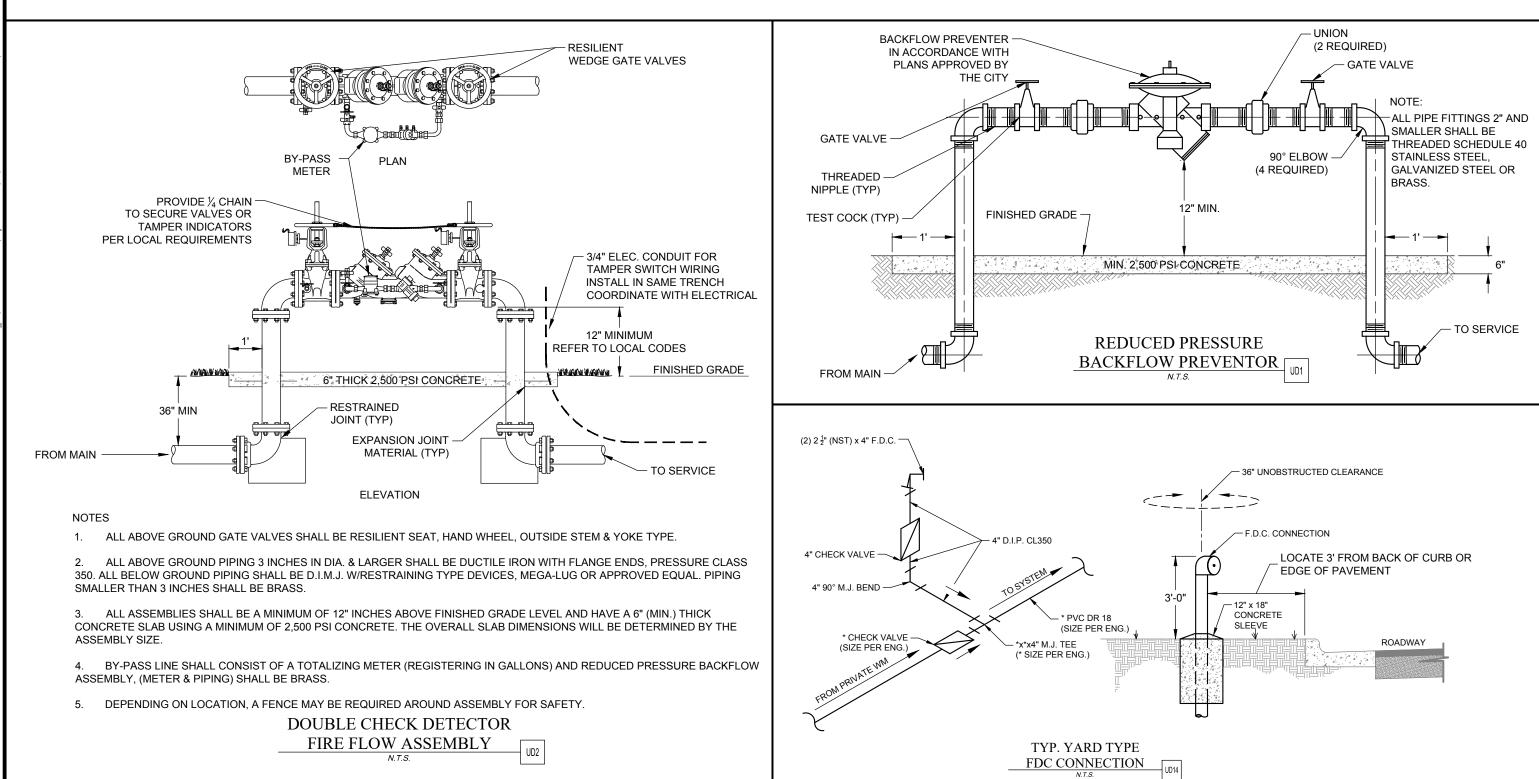


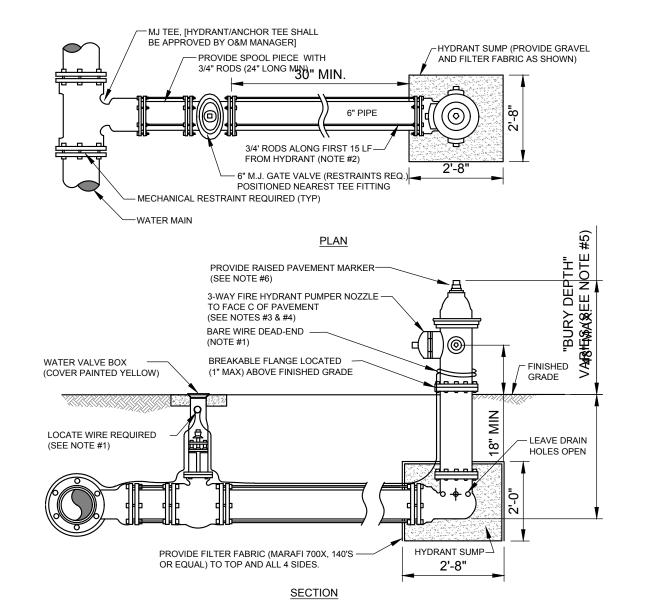
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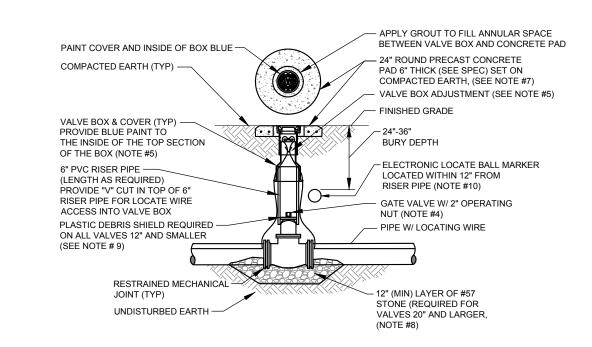


LOCATE WIRE SHALL BE ROUTED FROM THE VALVE TO THE HYDRANT AS SHOWN ABOVE LEAVING ENOUGH SLACK TO REACH 4' ABOVE FINAL GRADE. THE END OF THE WIRE SHALL BE SECURED TO THE PIPE MAIN. SEE SECTION 350, LOCATE WIRE INSTALLATION PARAGRAPH.

FIRE HYDRANTS SHALL BE INSTALLED BETWEEN BACK OF CURB AND FACE OF SIDEWALK AND NOT WITHIN SWALE/DITCH AREAS. THE DISTANCE RANGE FROM EDGI OF ADJACENT PAVEMENT, BACK OF CURB AND FACE OF SIDEWALK SHALL BE IN COMPLIANCE WITH LOCAL COUNTY FIRE DEPARTMENT RULES AND AS APPROVED B JEA AND APPLICABLE PERMITTING AGENCIES. DISTANCE SHALL BE MEASURED TO THE CLOSEST PART OF THE FIRE HYDRANT (I.E. THE PUMPER NOZZLE). THE MAXIMUM DISTANCE (BACK OF CURB) SHALL BE IN COMPLIANCE WITH LOCAL COUNTY FIRE DEPARTMENT RULES AND AS APPROVED BY JEA. FOR OTHER LOCATION LIMITATIONS SEE PLATES W-10 AND W-11. IF PIPING BETWEEN TEE AND HYDRANT IS LONGER THAN 80 LF, AN ADDITIONAL 6" GATE VALVE IS REQUIRED AT THE HYDRANT LOCATION (PROVIDE 30" SEPARATION). ALL PIPING, VALVES AND FITTINGS ALONG THE HYDRANT BRANCH MAIN WHICH IS WITHIN 15 LF OF THE HYDRANT SHALL BE RESTRAINED UTILIZING ONLY TWO 3/4" DIA (THREADED ENDS) STEEL RODS AND EYE BOLTS (NO JOINT RESTRAINT DEVICES REQUIRED). A SPLIT SERRATE RING WITH RESTRAINT EARS (EBAA 15 PF06 or EQUAL) MAYBE USED IN THIS ASSEMBLY. ALL OTHER JOINTS ALONG THE HYDRANT BRANCH MAIN OUTSIDE OF THE

- OPERATION OF THE FIRE HYDRANT SHALL BE EITHER FULL OPEN POSITION OR TOTALLY CLOSED POSITION. THE HYDRANT SHALL NOT BE UTILIZED TO THROTTLE
- PRIOR TO PROJECT FINAL INSPECTION, THE HYDRANT AND ALL ABOVE GROUND PIPING SHALL BE RE-OILED, GREASED AND REPAINTED (RUS- KIL ENAMEL-INTERNATIONAL YELLOW OR EQUAL). PRIVATELY OWNED AND MAINTAINED FIRE HYDRANTS SHALL BE PAINTED RED.
- FIRE HYDRANTS SHALL BE ORDERED WITH PROPER "BURY DEPTH" TO MEET ACTUAL FIELD CONDITIONS. THIS IS ESPECIALLY IMPORTANT FOR BRANCH LINES WHICH TEE-OFF A 12" OR LARGER WATER MAIN. UNLESS APPROVED OTHERWISE BY JEA, THE INSTALLATION OF (45°) BENDS IS NOT ACCEPTABLE WHEN UTILIZED TO CORRECT AN IMPROPERLY FURNISHED HYDRANT. THE USE OF HYDRANT EXTENSIONS SHOULD BE MINIMIZED.
- BLUE REFLECTIVE MARKERS SHALL BE INSTALLED IN SUCH A MANNER THAT THE REFLECTIVE FACE OF THE MARKER IS PERPENDICULAR TO A LINE PARALLEL TO T ROADWAY CENTERLINE. THE BLUE REFLECTIVE MARKERS SHALL BE PLACED IN THE CENTER OF THE TRAVEL LANE, DIRECTLY ACROSS FROM AND ADJACENT TO

# FIRE HYDRANT INSTALLATION NT.S. UD13



. FOR UNPAVED LOCATIONS, A PRECAST CONCRETE VALVE PAD SHALL BE PROVIDED AND INSTALLED FLUSH WITH GRADE. CONCRETE PAD IS NOT REQUIRED FOR VALVE LOCATED IN THE ROADWAY, UNLESS SHOWN OR NOTED OTHERWISE. LOCATING WIRE IS REQUIRED ON ALL PRESSURE PIPING (SEE DETAILW-44).

A "V" CUT SHALL BE CARVED IN THE CURB CLOSEST/ADJACENT/( ASPHALT IF NO CURB) TO ALL BELOW GRADE VALVES. THE "V" CUT IS TO BE PAINTED BLUE I. IN PAVED AREAS, INSTALL VALVE AT A DEPTH TO ALLOW A 12" MIN. DISTANCE BETWEEN THE VALVE COVER PLATE AND THE TOP OF THE VALVE OPERATING NUT. OUTSIDE OF PAVED AREAS (GRASS), INSTALL VALVE AT A DEPTH TO ALLOW A 6" MINIMUM DISTANCE BETWEEN THE VALVE COVER AND THE TOP OF THE VALVE OPERATING NUT. OPERATING NUT/STEM EXTENSION SHALL BE PROVIDED (WHERE APPLICABLE) SO THAT THE OPERATING NUT WILL BE NO MORE THAN 30 INCHES BELOW FINISHED GRADE.

- 5. FOR NEW CONSTRUCTION, THE VALVE BOX SHALL BE ADJUSTED TO MIDRANGE TO ALLOW FOR FUTURE BOX ADJUSTMENTS. ROUTE LOCATE WIRES THRU A "V" CUT IN THE TOP OF THE 6" PVC RISER PIPE FOR LOCATE WIRE ACCESS INTO VALVE BOX. THE LOCATE WIRES WITH A 24" LONG PIG-TAIL AT THE TOP SHALL BE CONNECTED TOGETHER WITH A WIRE NUT. BRASS IDENTIFICATION TAG INDICATING "WATER", VALVE SIZE, DIRECTION AND TURNS TO OPEN & VALVE TYPE. PROVIDE A 🖟 HOLE IN BRASS TAG AND ATTACH TAG
- (TWIST WIRE AROUND TAG) TO THE END OF THE LOCATE WIRE. TAGS ARE NOT REQUIRED ON VALVES INSTALLED ON FIRE HYDRANT BRANCH LINES. IN LIEU OF PRECAST CONCRETE PAD, A 6" THICK X 24" (ROUND OR SQUARE) POURED CONCRETE PAD W/2 - #4 REBAR AROUND PERIMETER, MAY BE USED.
- . GRAVEL SHALL BE PROVIDED UNDER ALL VALVES 20" AND LARGER. THE MINIMUM VERTICAL LIMIT OF GRAVEL IS 12" UNDER THE VALVE UP TO  $\frac{1}{3}$  THE OVERALL HEIGHT OF THE VALVE.
- 9. FOR VALVES 12 INCH AND SMALLER, PROVIDE A WHITE OR BLACK PLASTIC DEBRIS SHIELD WHICH INSTALLS BELOW THE OPERATING NUT. THIS SHIELD SHALL CENTER THE RISER PIPE BOX OVER THE OPERATING NUT AND MINIMIZE INFILTRATION. SHIELD SHALL BE BY AFC, BOXLOK OR APPROVED EQUAL. ). ALL VALVES SHALL BE INSTALLED WITH AN ELECTRIC LOCATE MARKER. MARKER SHALL BE 4" DIA. COLOR CODED BALL MARKER (3M-1403XR FOR WATER AND 1408XR FOR RECLAIMED WATER).

GATE VALVE INSTALLATION

N.T.S. UD3

PRESERVEAT GREEN COVE SPRING
CITY OF GREEN COVE SPRINGS

21

- 1. THE SKETCHES ABOVE INDICATE TYPICAL WATER SERVICE AND METER BOX LOCATIONS. ACTUAL LOCATIONS OF BOXES MAY VARY SLIGHTLY ACCORDING TO FIELD CONDITIONS ENCOUNTERED. TYPICALLY, THE METER BOX SHALL BE LOCATED 1.0' OFF OF THE R/W LINE.
- 2. UNLESS SPECIFIED OTHERWISE BY THE CITY OF GREEN COVE SPRINGS, THE METER BOX SHALL BE LOCATED 1.0' OFF OF THE R/W LINE, AND 1.0' FOOT INSIDE OF THE PROLONGATION OF ONE OF THE SIDE PROPERTY LINES. IF A CONFLICT EXISTS WITH OTHER UTILITIES, THE METER BOX MAY BE ADJUSTED TO FOUR FEET (MAX.) INSIDE PROPERTY LINES (IN LIEU OF 1.0' FEET). UNLESS APPROVED OTHERWISE BY THE CITY, THE WATER METER BOX SHALL BE LOCATED IN NON-TRAFFIC AREAS (NOT IN SIDEWALKS OR DRIVEWAYS). IF AN UNAPPROVED METER BOX IS IDENTIFIED BY THE CITY, THEN THE CONTRACTOR OR CUSTOMER SHALL BE RESPONSIBLE FOR THE COST OF RELOCATING ANY METER BOX WHICH IS LOCATED IN THE SIDEWALK OR DRIVEWAY OR THE COST TO PROVIDE THE CORRECT METER BOX. THE CITY SHALL APPROVE ALL DEVIATIONS TO THE ABOVE PRIOR TO CONSTRUCTION.
- 3. IF DRAINAGE OR OTHER EASEMENT IS LOCATED BETWEEN LOTS, METER BOXES SHALL BE LOCATED AT THE EASEMENT LINE BUT OUTSIDE THE EASEMENT AREA.
- 4. FOR SINGLE SERVICES, THE HORIZONTAL DISTANCE (PERPENDICULAR TO THE MAIN) BETWEEN THE SERVICE'S SADDLE AND THE METER BOX SHALL BE 2 FEET MAXIMUM, FOR DOUBLE 3/4" SERVICES, THE 2"POLY MAIN SHALL BE LOCATED CENTERED BETWEEN THE TWO METER BOXES, LOCATE WIRE IS REQUIRED ON ALL SERVICES, THE WIRE SHALL RUN FROM THE METER BOX TO THE MAIN (WITH NO CONNECTION TO MAIN WIRE WITH THE LAST 24 INCHES STRIPPED OF INSULATION/BARE WIRE AS GROUND). ALL EXCEPTIONS TO THIS REQUIREMENT MUST BE APPROVED BY THE CITY OF GREEN COVE SPRINGS, THIS WILL ASSIST IN LOCATING ÉXISTING SERVICE LINES IN THE FUTURE.

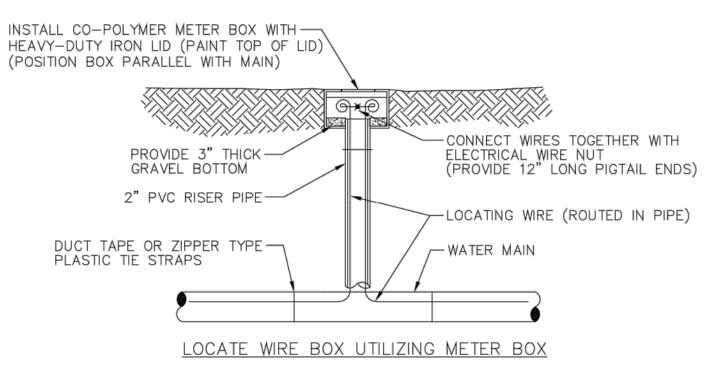
5. GANG WATER SERVICES: FOR 3 OR 4 SERVICES IN ONE AREA, A DUCTICLE IRON PIPE (D.I.P.) WATER MAIN EXTENSION W/LOCATE WIRE MAY BE UTILIZED ON EITHER SHORT-SIDE OR LONG-SIDE SERVICES WHERE SHOWN ON THE DRAWINGS. LOCATE WIRE SHALL EXTEND FROM ONE METER BOX TO CURB STOP AT WATER MAIN. FOR 5 OR MORE SERVICES IN ONE AREA, A WATER MAIN EXTENSION W/LOCATE WIRE MAY BE UTILIZED ON EITHER SHORT-SIDE OR LONG-SIDE SERVICES WHERE SHOWN ON THE DRAWINGS (TAPS STAGGERED AND AT 2 FEET ON CENTER (MIN). FOR WATER SUPPLY HEADERS WHERE 5 OR MORE TAPS ARE CONSTRUCTED, THE HEADER PIPE SHALL BE 4" AT A MINIMUM. EXAMPLE: CONSTRUCT A 4" MAIN D.I. CROSSING THE STREET FOR 5 RESIDENTIAL CUSTOMERS, UTILIZING 4" G.V., 4" PIPE, 4"X1" SADDLES AND 1" CURB STOPS (NO GLUED TEE FITTINGS). THE 4" OR LARGER D.I.P. WATER MAIN MUST BE SIZED AND DESIGNED BY THE ENGINEER.

6. ALL COMMERCIAL WATER SERVICES SHALL BE 2" POLYETHYLENE PIPING CONNECTED TO 2" CURB STOP IN METER BOX, UNLESS OTHERWISE APPROVED BY THE CITY.

# WATER SERVICE INSTALLATIONS 2" AND SMALLER METER

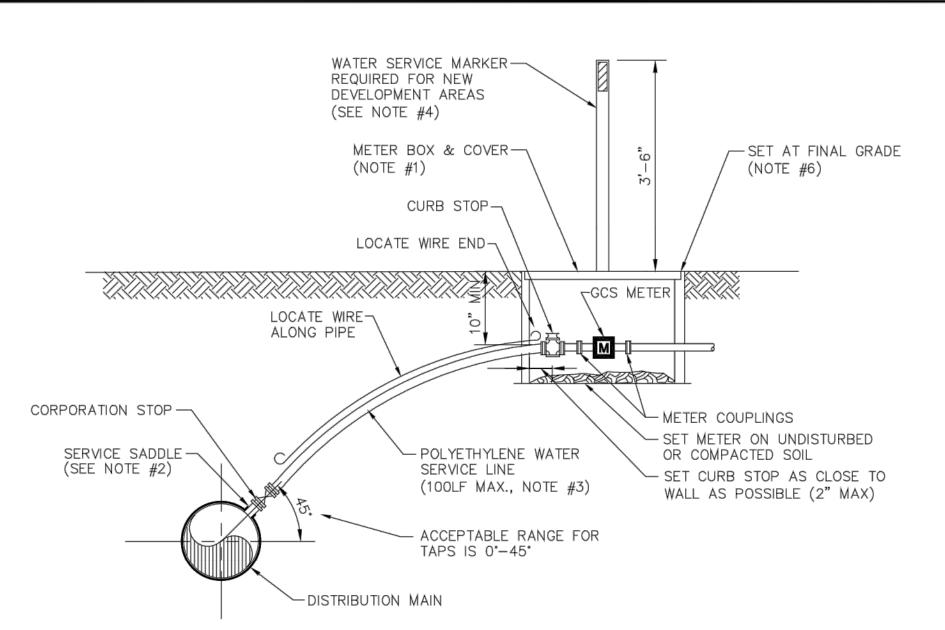
CONNECT WIRE TOGETHER WITH ELECTRICAL WIRE NUT. PROVIDE 12" PIG TAIL ─BOX ACCESS (SEE NOTE #1) VALVE BOX -DUCT TAPE OR ZIPPER TYPE PLASTIC TIE STRAPS — -WATER MAIN

LOCATE WIRE BOX UTILIZING VALVE BOX



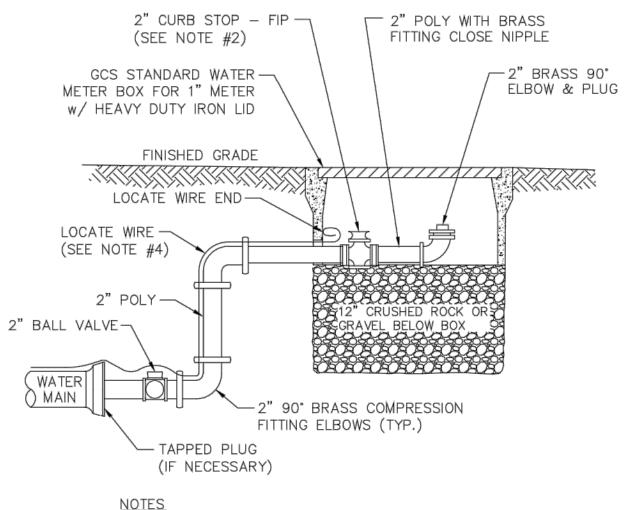
1. LOCATE WIRE SHALL ENTER THE VALVE BOX THROUGH A "V" CUT IN THE 6" PVC RISER PIPE.

LOCATE WIRE BOX



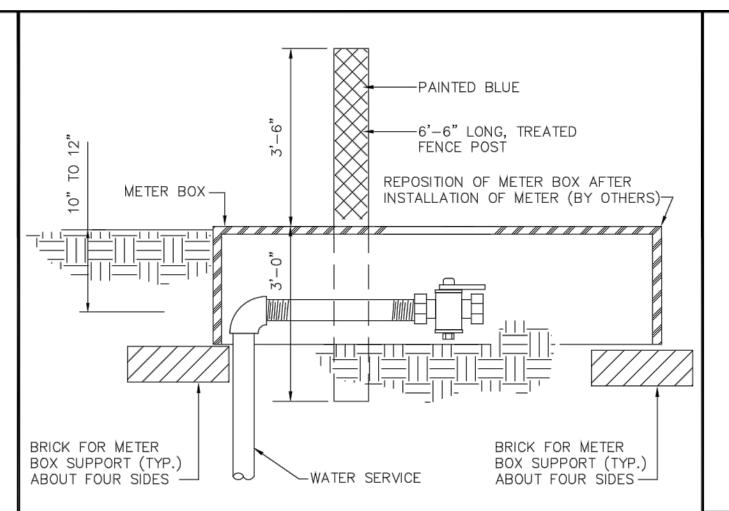
- 1. SEE CITY OF GREEN COVE SPRINGS APPROVED MATERIALS MANUAL AND SYSTEM DETAILS FOR REQUIREMENTS.
- 2. SINGLE BAND SADDLES MAYBE UTILIZED ON NEW 1" WATER SERVICES WHICH ARE INSTALLED ON A DRY 10" SIZE OR SMALLER WATER MAIN (NEW WATER MAIN CONSTRUCTION). FOR WET TAPS OR WATER MAINS 12" SIZE AND LARGER, A DOUBLE BAND SADDLE IS REQUIRED.
- 3. NO OPEN CUT UNDER ROADWAY PAVING ALLOWED UNLESS THE ROADWAY IS BEING RECONSTRUCTED OR IF DIRECTED OTHERWISE BY CITY OF GREEN COVE SPRINGS. CONSTRUCT POLY LINE WITH 36" (MIN.) COVER UNDER ROADWAYS. THE POLY WATER SERVICE LINE SHALL BE SAME SIZE AS THE METER (3/4" MINIMUM) AND BE INSTALLED PERPENDICULAR TO THE MAIN AND NOT EXCEED 100LF UNLESS OTHERWISE APPROVED BY CITY OF GREEN COVE SPRINGS.
- 4. INSTALL PVC PLUG IN ALL CURB STOPS IF WATER SERVICE IS "NOT IN USE" (I.E.: IF NO METER IS INSTALLED). IN ADDITION, INSTALL A 6', 6" P.T. FENCE POST (TOP PAINTED BLUE) 12" OFF SIDE OF METER BOX, THE REMOVAL OR TRANSFER OF A WATER SERVICE SHALL INCLUDE BRASS METER COUPLINGS (HEX ON BARREL TYPE).
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF THE BOXES, METERS OR ELECTRONIC DEVICES IF DAMAGED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD.
- 6. METER BOX AND TOP SHALL BE CLEAR OF ALL DEBRIS TO ALLOW FULL ACCESS TO BOX (I.E., NO DIRT, TRASH OR OTHER DEBRIS PLACED ON TOP OF BOX).
- 7. LOCATE WIRING REQUIRED ON ALL LONG AND SHORT SERVICES.

# WATER SERVICE DETAIL- 2" AND SMALLER METER



- PIPE SHALL BE POLYETHYLENE. FITTINGS SHALL BE BRASS. THE 2" CURB STOP SHALL BE ALL BRONZE. FITTINGS SHALL BE BRASS.
- CANNOT BE PLACED UNDER CONCRETE OR PAVEMENT.
- PLACE 2 FEET PAST LAST WATER MAIN SERVICE CONNECTION.

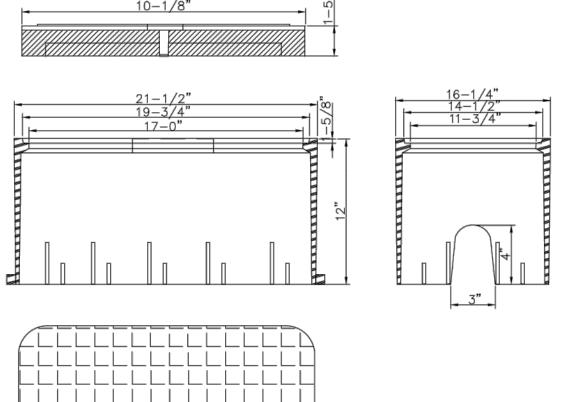
FLUSHING VALVE BELOW GRADE



# WATER SERVICE MARKER POST

ALL SERVICES ARE TO BE CLEARLY MARKED BY A TREATED 6'-6" LONG MARKER POST PAINTED BLUE. ALL SERVICES ARE TO BE EXTENDED ABOVE GRADE UNTIL COMPLETION OF ALL GRADING ACTIVITIES. ONCE FINAL ROAD GRADING IS COMPLETE, LOWER SERVICES BY CUTTING OFF RISER 10" TO 12" BELOW FINAL GRADE AND INSTALL 90° BEND, NIPPLE AND LW BALL VALVE AT THAT ELEVATION. SET METER BOX OVER ENTIRE HORIZONTAL SECTION OF SERVICE LINE FROM LAST 90° BEND TO THE END OF THE CURB STOP. BOX TO BE REPOSITIONED WHEN THE METER IS INSTALLED, MARKER POST TO BE INSTALLED ADJACENT TO AND LOCATED AT THE MID SECTION OF THE METER BOX.

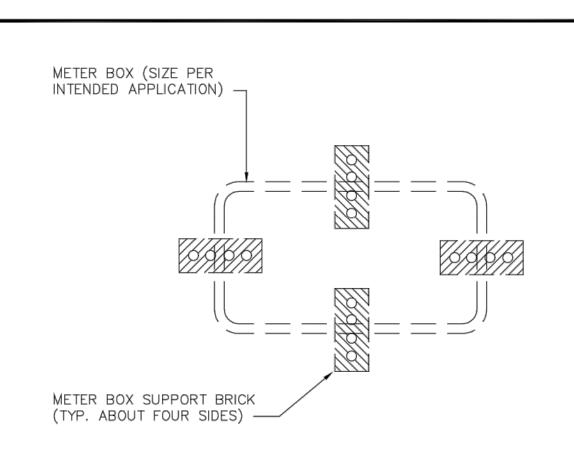
MIN. WALL THIKNESS: .25" DOUBLE WALL BODY W/STRUCTURAL SUPPORT RIBS w/MIN. THINCKNESS: 3/6" 1" BOTTOM FLANGE BOX IS INJECTED MOLDED STRUCTURAL FOAM RECYCLED POLYPROPYLENE MATERIAL



METER BOX & SOLID BLUE LID

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15-3/8"



METER BOX SUPPORT DETAIL

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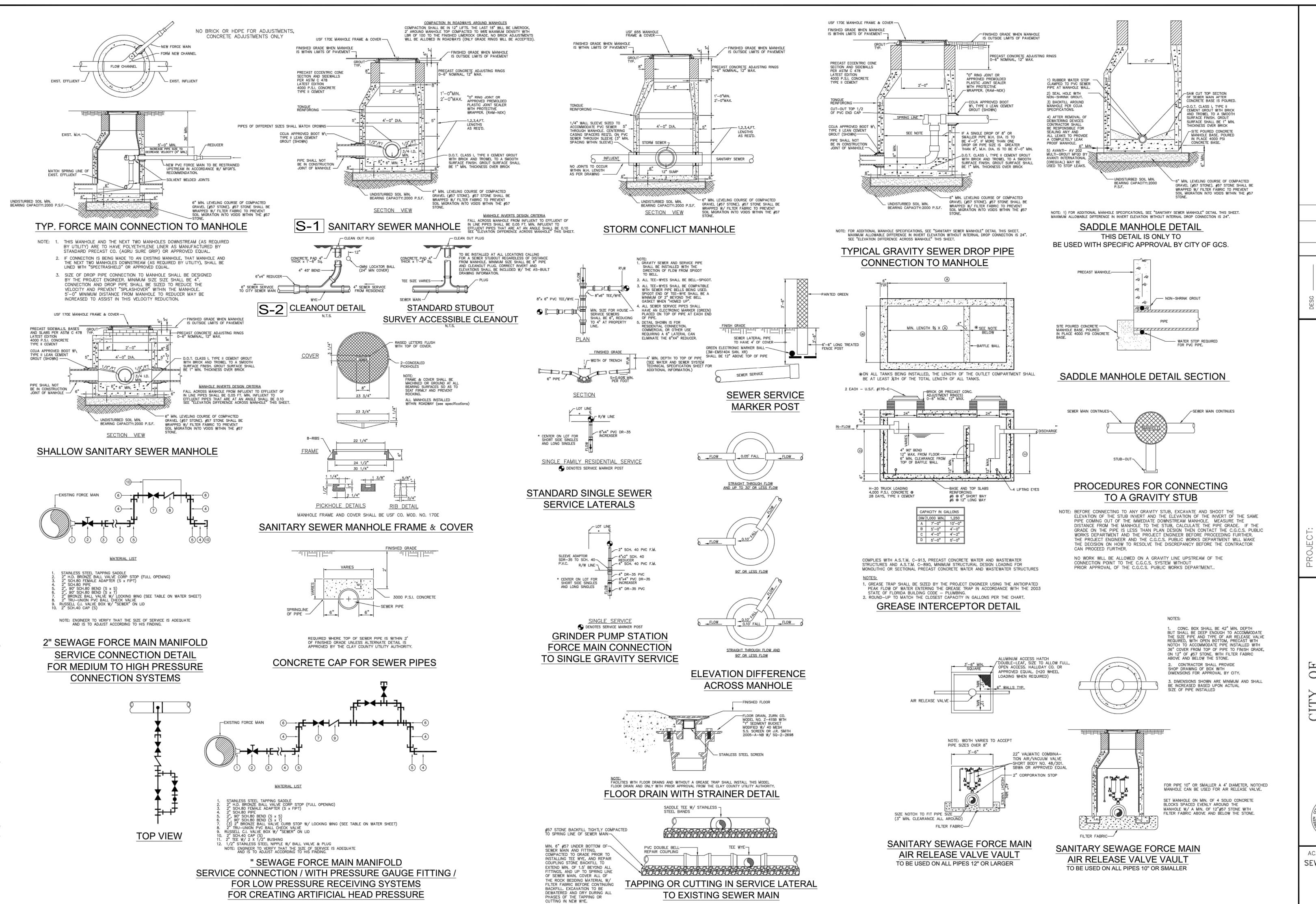
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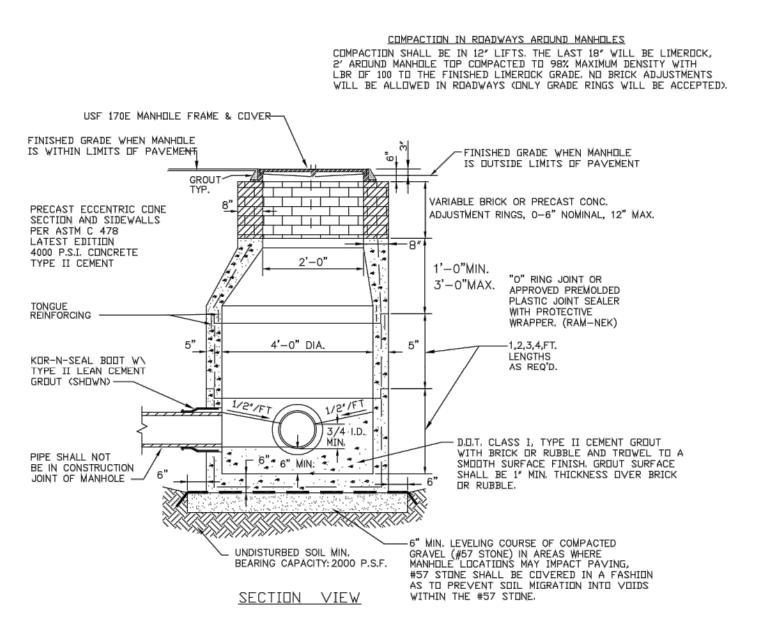
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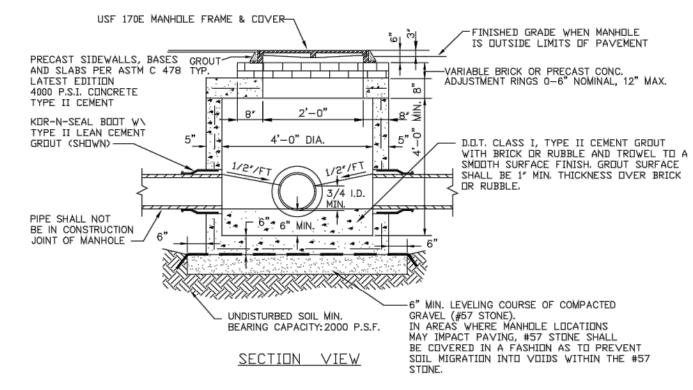
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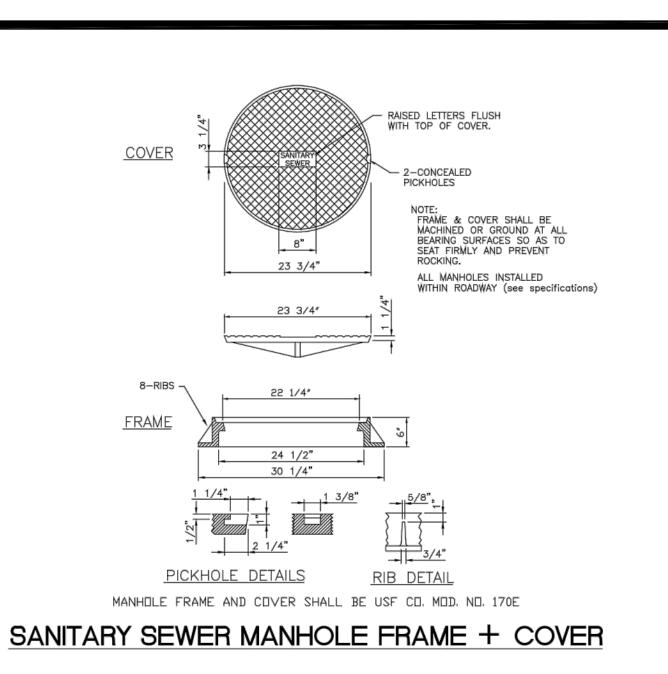
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# SANITARY SEWER MANHOLE



# SHALLOW SANITARY SEWER MANHOLE



# STANDARD SINGLE SEWER SERVICE LATERALS

SINGLE SERVICE

◆ DENOTES SERVICE MARKER POST

~ 8"×6" TEE/WYE

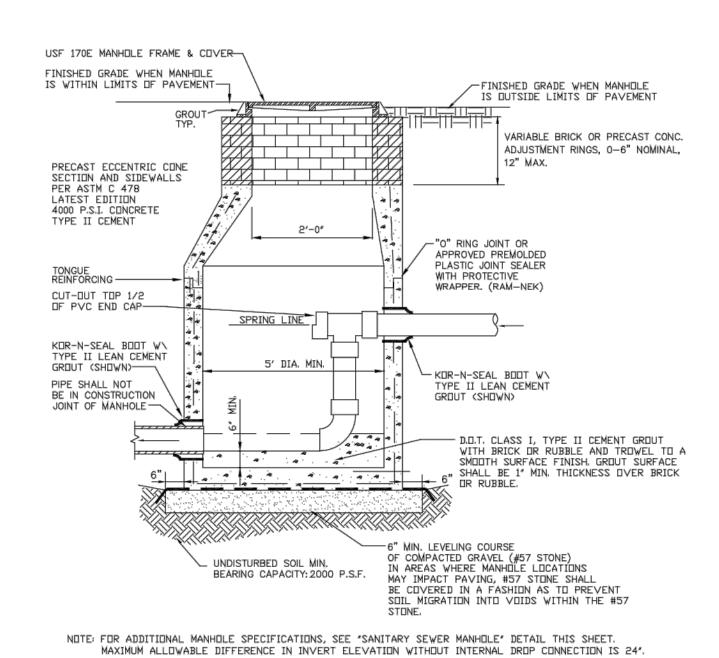
SHALL BE 6", REDUCING TO 4" AT PROPERTY

/ WIDTH OF TRENCH

MIN. SIZE FOR HOUSE SERVICE SEWERS

8"x 6" PVC TEE/WYE-

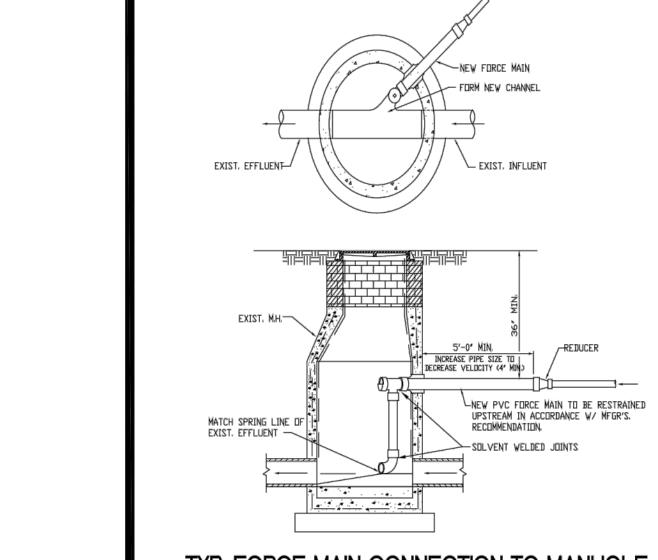
\* CENTER ON LOT FOR SHORT SIDE SINGLES AND LONG SINGLES



---PAINTED GREEN 6'-6" LONG TREATED FENCE POST SEWER SERVICE

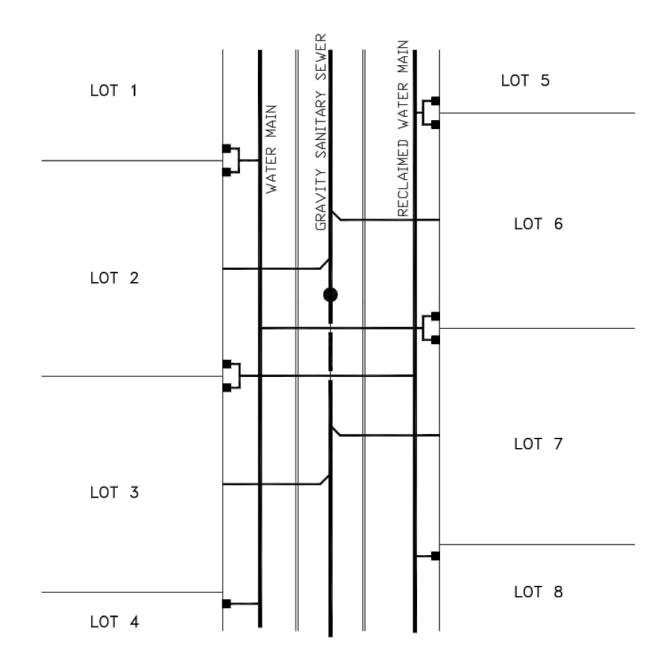
SEWER SERVICE MARKER POST

TYPICAL GRAVITY SEWER DROP PIPE CONNECTION TO MANHOLE



# TYP. FORCE MAIN CONNECTION TO MANHOLE

- NOTE: 1. THIS MANHOLE AND THE NEXT TWO MANHOLES DOWNSTREAM (AS REQUIRED BY UTILITY) ARE TO HAVE POLYETHYLENE LINER AS MANUFACTURED BY TAYLOR PRECAST CO. OR APPROVED EQUAL.
  - 2. SIZE OF DROP PIPE CONNECTION TO MANHOLE SHALL BE DESIGNED BY THE PROJECT ENGINEER, MINIMUM SIZE SIZE SHALL BE 4". CONNECTION AND DROP PIPE SHALL BE SIZED TO REDUCE THE VELOCITY AND PREVENT "SPLASHOVER" WITHIN THE MANHOLE 5'-0" MINIMUM DISTANCE FROM MANHOLE TO REDUCER MAY BE INCREASED TO ASSIST IN THIS VELOCITY REDUCTION.



# TYPICAL WATER AND SEWER SERVICE LOCATION PLAN

- 1.) ALL WATER AND REUSE DOUBLE SERVICES ON PROPERTY LINE.
- 2.) ANY SINGLE WATER OR REUSE SERVICE LINES ON LOT LINE. 3.) ALL SEWER SERVICES ARE TO CENTER OF LOTS.

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# STORM WATER POLLUTION PREVENTION PLAN

CONTRACTOR'S REQUIREMENTS

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	AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE	
SIGNED:	KNOWING VIOLATIONS.	
	SIGNED:	

CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL LIP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE. LEVEL SPREADER SHALL BE CONSTRUCTED IN ACCORDANCE TO THE DETAILS.

5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.

6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.

7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.

8. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.

9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.

10. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDRO MULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED FOR PERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS.

11. TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.

12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.

13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES. 14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY

CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDED AND MULCHED

15. TEMPORARY FLOATING TURBIDITY BARRIER: FLOATING TURBIDITY BARRIER MAY BE USED IN ALL PERMANENT BODIES OF WATER REGARDLESS OF WATER DEPTH. FILTER CURTAIN SHALL REACH THE BOTTOM UP TO DEPTHS OF 10 FEET.

# STRUCTURAL PRACTICES

1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY. AND IT SHALL BE CONSTRUCTED IN ACCORDANCE TO WITH THE DETAILS.

2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER

INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION

A. BLOCK & GRAVEL SEDIMENT FILTER - THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. REFER TO THE DETAIL SHEET FOR CONSTRUCTION OF A CURB INLET SEDIMENT FILTER, AND FOR CONSTRUCTION OF A DROP INLET SEDIMENT FILTER. AREAS. REFER TO THE DETAILS FOR CONSTRUCTION OF CURB INLET & DROP

B. GRAVEL SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED. BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED SEDIMENT TRAP.

C. DROP INLET SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (S < 5%) AND WHERE SHEET OR OVERLAND FLOWS (Q < 0.5 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS. REFER TO THE DETAILS FOR CONSTRUCTION OF HAY BALE & FABRIC SEDIMENT FILTER.

3. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.

4. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE.

THE 3,600 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE FITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT TRAPS MUST BE REMOVED UPON FINAL STABILIZATION.

# OTHER CONTROLS

# WASTE DISPOSAL

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT

PROCEDURE FOR WASTE DISPOSAL, NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

## HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

## OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE, DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A

INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

☐ Concrete	☐ Fertilizers	Wood
☐ Asphalt	Petroleum Based Products	Masonry Block
☐ Tar	Cleaning Solvents	Roofing Mater
Detergents	☐ Paints	

# SPILL PREVENTION

# MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

# GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.

MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE

ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY

ORIGINAL MANUFACTURER'S LABEL.

SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.

\* WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL

WILL BE FOLLOWED.

THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

RESEALABLE.

\* PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT

\* ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.

\* IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE

### PRODUCT SPECIFIC PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS

FERTILIZERS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

# ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT

REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. CONCRETE TRUCKS

CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONLY AT DISCHARGE POINT PROVIDED. NO OFFSITE DISCHARGE WILL BE PERMITTED.

## SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS. GLOVES, GOGGLES, LIQUID ABSORBENT (i.e. KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

# ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT. AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

\* NO MORE THAN 10 ACRES OF THE SITE WILL BE DENUDED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

\* ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.50 INCHES OR GREATER.

\* ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER: IF A REPAIR IS NECESSARY. IT WILL BE INITIATED WITHIN 24 HOURS OF

\* BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS

REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

\* SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS. AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.

\* THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB, WHICHEVER COMES FIRST.

\* DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES

\* TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH. \* A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH

THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM

\* THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE

\* PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE. SUPERINTENDENT, THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.

## NON-STORM WATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

\* WATER FROM WATER LINE FLUSHING \* PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR

HAZARDOUS MATERIALS HAVE OCCURRED). \* UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION).

ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

## CONTRACTOR'S CERTIFICATION

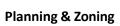
I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERIC STORMWATER PERMIT ISSUED PURSUANT TO SECTION 403.0885, F.S., THAT AUTHORIZES THE STROM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION

RESPONSIBLE FOR/DUTIES	GENERAL CONTRACTOR	SUB-CONTRACTOR	SUB-CONTRACTOR	SUB-CONTRACTOR	SUB-CONTRACTOR
BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SUBS					
SIGNATURE / DATE					

# NOTE TO CONTRACTOR:

CERTIFICATION IS REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER 5 ACRES. THIS CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.50 INCHES. INSPECTION AND CORRECTIVE ACTION REPORT TEMPLATES AND FORMS CAN BE ACCESSED FROM THE WEB ADDRESS

HTTPS://WWW.EPA.GOV/NPDES/CONSTRUCTION-GENERAL-PERMIT-RESOURCES-TOOLS-AND-TEMPLATES#INSPECTION





321 Walnut Street, Green Cove Springs, FL 32043 904-297-7051

#### **APPLICATION DEFICIENCY NOTICE**

**DATE:** March 24, 2025

APPLICATION REFERENCE: Alex Acree, SPL-25-001 - US HIGHWAY 17

Dear Applicant:

The items you submitted for the above-referenced permit have been reviewed by the City representatives responsible for approving different aspects of your application. Attached to this notice is a list of comments in response to the materials submitted.

Each of the items on the attached list require responses and revised materials be created and resubmitted before any further action can be taken on this permit. A hold is placed on this application and the time it takes you to respond to this list of items is excluded in calculating permit processing timeframes. Once corrected and/or new materials are submitted, your permit processing timeframe will begin again.

A complete response to each of the items on the attached list is required to be submitted **at the same time.** As applicable, a complete response is required to include:

- 1. A written document addressing all of your responses (one paper copy).
- 2. New and/or updated technical reports (one paper copy).
- New and/or corrected plans. Please note that revisions to previously submitted plans
  are required to be identified by clouding, must be noted in a revision list on the plan
  sheet(s), and are required to be incorporated into a full set of revised plans (one paper
  copy).
- 4. A transmittal that itemizes everything being resubmitted (one paper copy).
- 5. A copy of the entire resubmittal must be provided electronically (either on a thumb drive or uploaded via the permit portal).

Your response must be received by our Department within 180 days of the date noted on this letter to avoid this application being withdrawn from consideration. Withdrawn application must be resubmitted as new applications requiring repayment of all applicable fees and processing requirements.

Thank you for your anticipated cooperation in submitting the items requested by staff. We look forward to working with you as this application continues to be processed.

#### **APPLICATION DEFICIENCY NOTICE**

**DATE:** March 24, 2025

**APPLICATION REFERENCE:** Alex Acree, SPL-25-001

#### ENGINEERING DIVISION COMMENTS - contact Jason Laurenza (JLAURENZA@greencovesprings.com)

- 1. Show valves in ROW at water and sanitary connection points
- 2. Clarify water metering configuration

#### FIRE DEPARTMENT COMMENTS - contact Sandra Boike (sandra.boike@claycountygov.com)

- 1. Fire#1 Review NFPA 1:18.4.5.3. Fire Flow requirements. Provide adequate fire hydrants as required based on the needed fire flow.
- Fire#2 Provide Autoturn analysis for fire truck apparatus be sure to include a vehicle clearance envelope and display. NFPA 1141:5.2 and NFPA 1:18. Access required to be provided with no impediment into parking, landscape features or structures. Apparatus Specifications: Engine 15

Year- 2021 Make- Pierce Model- Enforcer Height - 10' 3.75" Length- 36'5 Width- 9'7 (mirror to mirror),

9' (Engineers step to Officers step)

Ladder Year- 2017 Make- Pierce Chassis- Arrow XT Height- 123 Length- 406 Width 10 (mirror to mirror)

Fire#3 Where multiple means of access are required, they shall be located as remotely from each

other as practical and acceptable to the AHJ. NFPA 1141:5.1.4.4

Fire#4 Will there be gates?

#### **APPLICATION DEFICIENCY NOTICE**

**DATE:** March 24, 2025

**APPLICATION REFERENCE:** Alex Acree, SPL-25-001

#### PLANNING DIVISION COMMENTS - contact Gabriel Barro (gbarro@greencovesprings.com)

- 1. Provide a signed site survey.
- 2. Building 700, parking lot and all areas within flood zone A shall comply with Section 121 Article III, floodplain management regulations of the City Code.
- 3. Provide landscape plans showing tree plantings in compliance with section 113 Article VI of the City Land Development Code.
- 4. Provide an updated trip generation and distribution methodology
- 5. Provide tree calculations (Sec. 113-274) and tree protection plan (Sec. 113-248).
- 6. A six-foot chain-link fence is required around the perimeter of the stormwater retention pond (Sec. 113-223).
- 7. Provide 6' sidewalk along the front of CR 209.
- 8. Stormwater Management Permit shall be issued prior to property clearing, tree removal ertc.
- 9. Complete Concurrency Application
- 10. City Council conditions:
  - a) The applicant shall be required to comply with tree preservations requirements set forth in Sec. 113-279. Due to the proposed amount of onsite development and potential grade changes, an ISA certified arborist or equivalent horticulture professional shall be hired to evaluate trees, ensure adequate root area is provided and grade changes are not altered within critical root area, prescribe treatments to preserve the trees and oversee tree protection during the construction process and ensure compliance set forth in City Code Sec. 113-248.
  - b) Traffic Study pursuant to the requirements set forth in the City's Traffic Impact Analysis Guidelines shall be approved concurrent with the approval of the site development plan.
  - c) Dumpster shall be screened with landscaping and concrete enclosure as required per Sec 113-246(7) with a detail provided as part of the site plan submittal.
  - d) A disclosure notification shall be provided within the lease agreements for the multifamily units located on the property informing the tenants that the proposed development is located in close proximity to the runway for the Reynolds Airpark.

#### STORMWATER CONSULTANT COMMENTS - contact Charlie Sohm (csohm@baxterwoodman.com)

Approved with Conditions: Show rip rap apron for outfall pipe on plans. Also ensure outfall MES and apron are either on subject parcel or have a drainage easement from the neighboring property.



# STAFF REPORT

## CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Site Development Review Team MEETING DATE: April 3, 2025

**FROM:** Gabriel Barro, Planning and Zoning

**SUBJECT:** Review of a Modification of the Graylon Oaks PUD to allow for proposed townhouses to be

split into two parcels

#### PROPERTY DESCRIPTION

APPLICANT: John Nicols

OWNER: John Nicols

**PROPERTY LOCATION:** On Vermont Ave, north of Green Cove Springs Ave

**PARCEL NUMBER:** 016748-000-00 & 016742-000-00

FILE NUMBER: MOD-25-001

**CURRENT ZONING:** Planned United Development, PUD

FUTURE LAND USE DESIGNATION: Neighborhood

## SURROUNDING LAND USE

NORTH: FLU: Neighborhood SOUTH: FLU: Neighborhood

**Z**: R3 **Z**: R1

Use: Single Family
Use: Single Family

**EAST:** FLU: Neighborhood WEST: FLU: Neighborhood

**Z**: R3/R2 **Z**: R1

Use: Single Family
Use: Single Family

#### **BACKGROUND**

The property is approximately 3.8 acres and is located on Vermont Ave north of Green Cove Avenue. The property was approved for a Zoning redesignation to PUD with the intent of developing 14 townhomes. The PUD Zoning includes a PUD concept plan, development requirements set forth in the PUD written description. The project is planned to be completed in a single phase.

#### **DEVELOPMENT DESCRIPTION:**

The applicant, John Nicols, is proposing a modification to the written description to split the proposed parcels into two properties, allowing for each half of a townhome to be legally owned separately. The original plat showed 14 lots and a stormwater retention pond. No new plat has been submitted. The updated written description states it will allow for a maximum of 28 lots.

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## STAFF RECOMMENDATION

This meeting is to determine staff consensus.

## CITY OF GREEN COVE SPRINGS GRAYLON OAKS PUD WRITTEN DESCRIPTION

#### Type of Development: Two- Family Residential

#### **PROPERTY CHARACTERISTICS**

*Vegetation, Soils, & Drainage:* 

Vegetation on the site consists of large oak trees, laurel oaks, cabbage palms, saw palmetto bushes and pine. There are no wetlands onsite. Site has sandy soils throughout with site sloping from west to east to Vermont St. Site has a topography of 51' to the west and dropping to 39' to the east fronting Vermont St.

#### **Utilities:**

Central water and wastewater service will be provided by the City of Green Cove Springs; electric service will be provided by the City of Green Cove Springs and installed underground.

#### **ACREAGE SUMMARY**

Total Property	3.8 Acres
Wetlands	0 Acres

DEVELOPABLE 3.8 Acres

#### **MAXIMUM UNITS**

Maximum units  $\frac{2830}{}$  units

#### Proposed development

#### Residential Single Family & Two- Family Development

The property is consistent with the land use and zoning of the surrounding areas. The character of the proposed development is consistent with those of adjacent multi-family residential developments on Vermont Ave and abutting State Road 16. The parcels directly adjacent to the east and north currently have high-density land use and R-3 zoning. In addition, the subject property is consistent with other similar properties in the surrounding areas of the city and is in conformity with local land use plans and zoning ordinances. The subject property will also create a much-needed affordable housing neighborhood that will have a great economic and fiscal benefit to the area and the community. The affordable

Graylon Oaks Page 36

housing community can be achievable by allowing a higher density similar to that of the adjacent properties.

# **Access**

Access is provided from Vermont Ave. The subdivision will not be gated and roads within the development will be turned over to the city and would meet city requirements.

# **Proposed Density Standards**

# **Residential-Single Family Dwelling**

Minimum Lot Area	5000SF
Minimum Lot Width	50 Feet
Minimum Lot Depth	100 Feet
Minimum Living Area	1200 SF
Maximum Lot Coverage	40%

# **Residential- Two Family Dwelling**

Minimum Lot Area (Per attached unit)	<del>6000</del> - <u>3000</u> SF
Minimum Lot Width (Per attached)	<del>60</del> - <u>30</u> feet
<u>unit)</u>	
Minimum I at Donth	100 foot

Minimum Lot Depth 100 feet
Minimum required living area 1000 SF
Maximum Lot Coverage 40%

Yard Requirements – Primary Structures\*

Front Porch 15 feet

Front Façade 20 feet

Side 7.5 feet from property

lines, 0 feet for interior lots with common wall lines, minimum of 15 feet of separation between buildings.7.5 feet;

combined 15 feet

Page 37

Rear 10 feet

Max Building Height- Primary Structures 35 Feet

Graylon Oaks

# **Permitted Uses**

-Single Family detached residential dwelling units

Two family residential dwelling units

-Home occupations (pursuant to City Code Requirements).

### **Ingress, Egress and Circulation**

- a. Minimum of 2 parking spaces per dwelling unit (4 per duplex). One parking space will be in driveway and one will be in the attached garage.
- b. The dimension of each driveway must be 10' x 20'.
- c. Each unit must include an attached garage at least 10' x 20'.
- d. There will be a 6' sidewalk along proposed street and along Vermont Avenue.

# Landscaping

Landscaping per Section 113-244 of the Land Development Regulations

- a. Landscape requirements for each two-family dwelling (duplex) shall be as follows:
  - 1. At least one canopy tree, 2.5 inches DBH, shall be located in the required front yard of each dwelling unit. Each duplex will have two canopy trees.
- b. Perimeter Landscaping shall be as follows:
  - 1. Provide additional perimeter landscaping along Vermont Avenue with one new shade tree per 50' of road frontage subject to the requirements of Sec. 113-244(d)(3) and installation and maintenance requirements set forth in Section 113-247(b).
  - 2. A minimum of 4 understory/subcanopy trees shall be planted around the intersection of Vermont and the proposed new roadway.
  - 3. Provide the following buffer to the south and west of the property:

#### A. Single-Family development:

- Provide a 10' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth on Sec. 113-247(b). Or
- Provide an opaque privacy fence, 6' in height and a landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence, subject to the buffer and landscape design requirements set forth ion Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

Graylon Oaks

- B) Two-Family Development:
  - Provide a 20' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to the properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth in Sec. 113-247(b). Or
  - Provide an Opaque privacy fence, 6' in height and an landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence, subject to the buffer and landscape design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

## **Tree Survey**

a. A tree survey measuring trees 12" or greater shall be required as part of the subdivision review. Tree removal mitigation will be required as stipulated in City Code Section 113-279

# **Tree Preservation**

- 1. Trees to be preserved onsite:
  - a. Live Oak Trees
  - b. The rear 20' along the south and west property lines shall be kept in a natural condition with all canopy/shade trees preserved
  - c. Viable shade/canopy trees within 15' of Vermont Avenue shall be preserved.
- 2. Tree protections requirements shall comply with Section 113-248, and in addition: an ISA certified arborist or equivalent horticulture professional shall be hired to evaluate trees to be saved, ensure adequate root area is provided and grade changes are not altered within critical root area, prescribe treatments to preserve the trees and oversee tree protection during the construction process. Trees or branches of trees that are adjacent to or hanging over into adjacent neighboring properties shall be evaluated for the safety by the certified arborist and removed or appropriately pruned or other measures as required by the certified arborist.

### **Miscellaneous**

Development requirements not specifically mentioned shall be consistent with all requirements for the City of Green Cove Springs R-2 Zoning district and all other applicable Land Development Code Requirements

# **Development Plan**

The project will be developed in a single phase. The required right of way buffers shall be constructed by the developer and completed prior to the issuance of a certificate of

Graylon Oaks Page 39

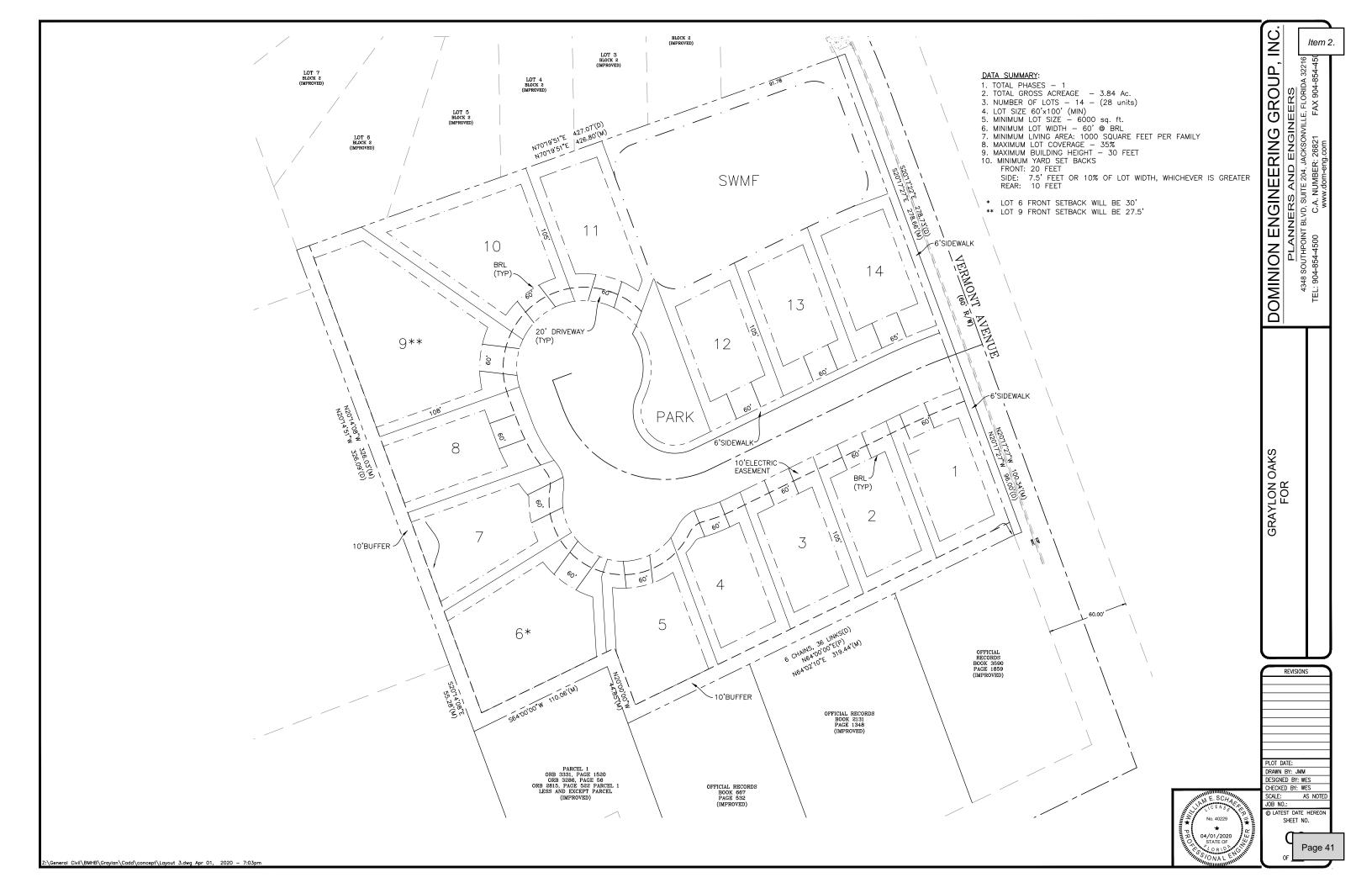
occupancy for any residential dwelling not constructed as a model unit within the subdivision.

All common areas and stormwater management facilities /drainage areas shall be maintained by a legally established Homeowner's or Property Owner's Association. All finalized legal documents demonstrating the creation of the HOA or POA and its responsibilities must be submitted with the Final Plat submittal for the Graylon Oaks PUD.

Stormwater analysis shall be required with the subdivision application that demonstrates consistency with the City of Green Cove Springs and St Johns River Water Management District requirements.

Regulations regarding Guarantees and Sureties as stipulated in Chapter 101, Article II, Division 5 and Subdivision 5 shall be provided as part of the subdivision approval process.

Graylon Oaks



### ORDINANCE NO. O-05-2020

AN ORDINANCE OF THE CITY COUNCIL OF GREEN COVE SPRINGS, FLORIDA REZONING ±3.8 ACRES OF **PROPERTY** LOCATED ON VERMONT IDENTIFIED AS TAX ID NUMBERS 017642-000-00 AND 017648-000-00, MORE PARTICULARLY DESCRIBED BY EXHIBIT "A" AND SHOWN IN EXHIBIT "B", FROM R-PUD, PLANNED DEVELOPMENT, UNIT SPECIFICALLY DESCRIBED HEREIN AND THROUGH "C" **EXHIBIT** SITE PLAN; **PROVIDING** REPEALER, SEVERABILITY AND SETTING AN EFFECTIVE DATE.

#### **RECITALS**

WHEREAS, an application for a site-specific amendment to the Official Zoning Map, as described below, has been filed with the City by Brent White ("Agent") on behalf of Graylon Oaks Land Trust ("Owner"); and

WHEREAS, the Owner desires to obtain approval for a Planned Unit Development ("PUD") in the City known as Graylon Oaks Planned Unit Development ("PUD" or "Project"); and

WHEREAS, the Owner wishes to construct the Project, consisting of a fourteen (14) lot subdivision, at 016742-000-00 & 016748-000-00, the legal description for which is attached hereto as Exhibit "A" and is herein referred to as the "Property"; and

WHEREAS, a duly advertised quasi-judicial public hearing on the proposed amendment was conducted on March 26, 2020 by the Planning and Zoning Board, sitting as the Local Planning Agency (LPA) and the LPA reviewed and considered comments received during the public hearing concerning the application and made its recommendation for approval to the City Council; and

WHEREAS, the City Council considered the recommendations of the LPA at duly advertised quasi-judicial public hearings on April 7, 2020 and April 21, 2020 and provided for and received public participation; and

WHEREAS, the City Council has determined and found said application for the amendment, to be consistent with the City of Green Cove Springs Comprehensive Plan and Land Development Regulations; and,

WHEREAS, for reasons set forth in this Ordinance that is hereby adopted and incorporated as findings of fact, that the Green Cove Springs City Council finds and declares that the enactment of this amendment is in the furtherance of the public health, safety, morals, order, comfort, convenience, appearance, prosperity, or general welfare.

# NOW, THEREFORE BE IT ENACTED BY THE CITY COUNCIL OF GREEN COVE SPRINGS, FLORIDA AS FOLLOWS:

# Section 1. Findings of Fact and Conclusions of Law.

- 1. The above recitals are true and correct and incorporated herein by reference.
- 2. The proposed site-specific amendment to the Official Zoning Map is consistent with the Comprehensive Plan and Land Development Regulations.
- 3. The amendment will not cause a reduction in the adopted level of service standards for transportation, potable water, sanitary sewer, solid waste, stormwater, recreation, or public schools.
- Section 2. Official Zoning Map Amended. The Official Zoning Map is hereby amended from Single Family Residential R-1 to Planned Unit Development, PUD, for Tax Parcel Numbers 38-06-26-016742-000-00 and 38-06-26-016748-000-00, in accordance with the legal description found in Exhibit "A" and map found in Exhibit "B" attached hereto and incorporated herein.
- Section 3. Development Parameters. The development shall follow the parameters set forth in the PUD Written Description found in Exhibit "C", the PUD Site Plan found in Exhibit "D", and the elevations found in Exhibit "E" attached hereto and incorporated herein.
- Section 4. Ordinance to be Construed Liberally. This ordinance shall be liberally construed in order to effectively carry out the purposes hereof which are deemed to be in the best interest of the public health, safety and welfare of the citizens and residents of Green Cove Springs, Florida.
- **Section 5. Repealing Clause.** All ordinances or parts of ordinances in conflict herewith are, to the extent of the conflict, hereby repealed.

Ordinance No. O-05-2020 Page 3 of 14

Section 6. Severability. It is the declared intent of the City Council of the City of Green Cove Springs that, if any section, sentence, clause, phrase, or provision of this ordinance is for any reason held or declared to be unconstitutional, void, or inoperative by any court or agency of competent jurisdiction, such holding of invalidity or unconstitutionality shall not affect the remaining provisions of this ordinance, and the remainder of the ordinance after the exclusions of such part or parts shall be deemed to be valid.

**Section 7. Effective Date.** This Ordinance shall be effective upon its passage and adoption on the second and final reading.

INTRODUCED AND APPROVED AS TO FORM ONLY ON THE FIRST READING BY THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, ON THIS  $7^{\rm th}$  DAY OF APRIL 2020.

CITY OF GREEN COVE SPRINGS,

**FLORIDA** 

Steven R. Kelley, Mayor

ATTEST:

West, City Clerk

Ordinance No. O-05-2020 Page 4 of 14

PASSED ON SECOND AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, THIS 21<sup>ST</sup> DAY OF APRIL 2020.

CITY OF GREEN COVE SPRINGS,

# **FLORIDA**

Steven R. Kelley, Mayor

ATTEST:

Erin West, City Clerk

APPROVED AS TO FORM:

L. J. Arnold, III, City Attorney

# **EXHIBIT "A"**

# **LEGAL DESCRIPTION:**

LEGAL DESCRIPTION AS SHOWN ON OFFICIAL RECORD BOOK 2815 PAGE 524 A PARCEL OF LAND SITUATED IN LOT "C", BLOCK 102, PALMER AND FERRIS TRACT, GREEN COVE SPRINGS, CLAY COUNTY, FLORIDA, ACCORDING TO PLAT

THEREOF RECORDED IN PLAT BOOK 1, PAGE 44 OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA, SAID PARCEL BONG MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF LOT 1, ST. JOHNS MOBILE HOME VILLAGE, ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 32 OF SAID PUBLIC RECORDS; THENCE ON THE WEST LINE OF VERMONT STREET RUN SOUTH 20 DECREES 17 MINUTES 22 SECONDS EAST. 278.73 FEET TO THE SOUTH LINE OF SAID LOT "C"; THENCE ON SAID SOUTH LINE, SOUTH 64 DEGREE 00 MINUTES 00 SECONDS WEST, 429. 41 FEET TO THE WEST LINE OF SAID LOT "C"; THENCE ON SAID WEST LINE, NORTH 20 DEGREE 14 MINUTES 51 SECONDS WEST 326.09 FEET TO THE: SOUTH LINE OF SAID ST. JOHNS MOBILE HOME VILLAGE; THENCE ON SAID SOUTH LINE. NORTH 70 DEGREES 19 MINUTES 51 SECONDS EAST, 427.07 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION AS SHOWN ON OFFICIAL RECORD BOOK 2815 PAGE 522 BEGINNING AT THE SE CORNER OF HENRY LENDERS LAND THENCE RUNNING

EASTERLY SIX CHAINS ANO THIRT'I SIX LINKS PARALLEL WITH CYLDEVIEW AVENUE TO VERMONT AVENUE, THENCE ALONG THE WEST SIDE OF VERMONT AVENUE NORTHERLY NINETY-SIX FEET, THENCE WESTERLY SIX CHAINS AND THIRTY-SIX LINKS TO H. LENDERS

EAST LINE, THENCE SOUTHERLY ALONG LENDERS EAST LINE ONE HUNDRED FEET TO THE PLACE OF BEGINNING; CONTAINING ONE ACRE MORE OR LESS, THE SAME BEING A PORTION OF A CERTAIN FOUR ACRE LOT CONVEYED BY WM. THOMPSON CO MRS. M.E. BEMIS BY DEED DATED DECEMBER 21ST, 1883, RECORDED IN BOOK "L" PAGES 605 & 606 OF THE PUBLIC RECORDS OF CLAY COUNTY. FLORIDA.

LESS AND EXCEPT OFFICIAL RECORDS BOOK 3331, PAGE 1520 PARCEL 1
A PARCEL OF LAND SITUATED IN LOT "A" AND LOT "B", BLOCK 102, PALMER
AND

FERRIS TRACT, IN THE TOWN OF GREEN COVE SPRINGS, CLAY COUNTY, FLORIDA, ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 1 OF THE PUBLIC RECORDS OF SAID COUNTY, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT "A", BLOCK 102, PALMER AND FERRIS TRACT IN THE TOWN OF GREEN COVE SPRINGS, AND RUN NORTH 64 DEGREES 00 MINUTES 00 SECONDS EAST, ALONG THE SOUTH LINE OF LOT "A",

Ordinance No. O-05-2020 Page 6 of 14

WHICH IS ALSO THE SOUTH LINE OF THE TOWN OF GREEN COVE SPRINGS, FOR A

DISTANCE OF 79.83 FEET TO THE POINT OF BEGINNING: THENCE CONTINUE ON LAST SAID LINE NORTH 64 DEGREES 00 MINUTES 00 SECONDS EAST, 30.17 FEET; THENCE NORTH 20 DEGREES 00 MINUTES 00 SECONDS WEST, 211.16 FEET; THENCE

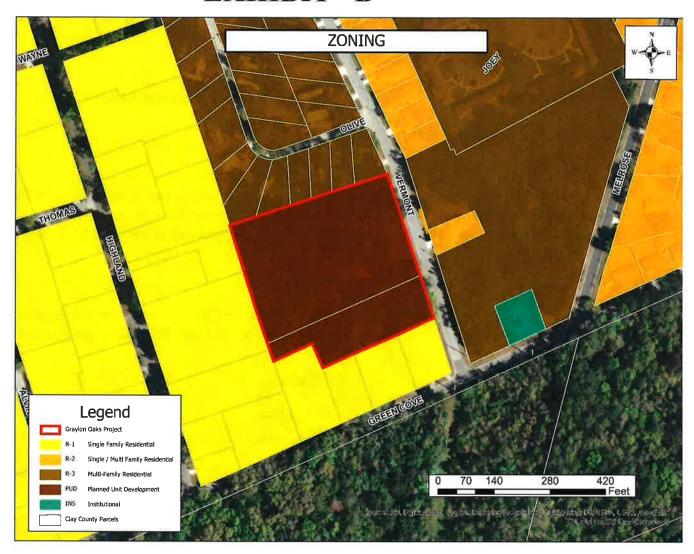
SOUTH 64 DEGREES 00 MINUTES 00 SECONDS WEST, 110. 21 FEET TO THE WEST LINE OF SAID

LOT "B"; THENCE ON LAST SAID LINE, AND ON THE WEST LINE OF SAID LOT "A", SOUTH 20 DECREES 00 MINUTES 00 SECONDS EAST, 100.55 FEET; THENCE NORTH 64 DEGREES 00 MINUTES 00 SECONDS EAST, 79.83 FEET; THENCE SOUTH 20 DECREES 00 MINUTES 00 SECONDS EAST, 110.61 FEET TO THE POINT OF BEGINNING.

CONTAINING 3.8 ACRES, MORE OR LESS.

SAID LANDS SITUATED, LYING AND BEING IN CLAY COUNTY, FLORIDA.

# **EXHIBIT "B"**



# **EXHIBIT "C"**

# **PUD Written Description**

Graylon Oaks PUD Written Description

**Type of Development:** 

Two- Family Residential or Single Family Residential

#### **PROPERTY CHARACTERISTICS**

Vegetation, Soils, & Drainage:

Vegetation on the site consists of large oak trees, laurel oaks, cabbage palms, saw palmetto bushes and pine. There are no wetlands onsite. Site has sandy soils throughout with site sloping from west to east to Vermont St. Site has a topography of 51' to the west and dropping to 39' to the east fronting Vermont St.

#### Utilities:

Central water and wastewater service will be provided by the City of Green Cove Springs; electric service will be provided by the City of Green Cove Springs and shall be installed underground.

#### **ACREAGE SUMMARY**

**Total Property** 

3.8 Acres

Wetlands

0 Acres

DEVELOPABLE

3.8 Acres

#### **MAXIMUM UNITS**

Maximum units

30 units

### Proposed development

### Residential Single Family & Two- Family Development

The property is consistent with the land use and zoning of the surrounding areas. The character of the proposed development is consistent with those of adjacent multi-family residential developments on Vermont Ave and abutting State Road 16. The parcels directly adjacent to the east and north currently have high-density land use and R-3 zoning. In addition, the subject

property is consistent with other similar properties in the surrounding areas of the city and is in conformity with local land use plans and zoning ordinances. The subject property will also create a much-needed affordable housing neighborhood that will have a great economic and fiscal benefit to the area and the community. The affordable housing community can be achievable by allowing a higher density similar to that of the adjacent properties.

### **Access**

Access is provided from Vermont Ave. The subdivision will not be gated and roads within the development will be turned over to the city and would meet city requirements.

# **Proposed Density Standards**

# Residential-Single Family Dwelling

Minimum Lot Area	5000SF
Minimum Lot Width	50 Feet
Minimum Lot Depth	100 Feet
Minimum Living Area	1200 SF
Maximum Lot Coverage	40%

# Residential- Two Family Dwelling

Minimum Lot Area	6000 SF
Minimum Lot Width	60 feet
Minimum Lot Depth	100 feet
Minimum required living area	1000 SF
Maximum Lot Coverage	40%

### Yard Requirements - Primary Structures\*

Front Porch	15 feet
Front Façade	20 feet
Side	7.5 feet; combined 15 feet
Rear	10 feet
Max Building Height- Primary Structures	35 feet

<sup>\*</sup>All corner lots have two front yards. However, structures oriented parallel to a street must have the required front yard on such street, but the front yard on the remaining street may be 15 feet.

### **Permitted Uses**

- a. Single family detached residential dwelling units
- b. Two family residential dwelling units
- c. Home occupations (pursuant to City Code Requirements)

#### Ingress, Egress and Circulation

- a. Minimum of 2 parking spaces per dwelling unit (4 per duplex). One parking space will be in driveway and one will be in the attached garage.
- b. The dimension of each driveway must be 10' x 20'.
- c. Each unit must include an attached garage at least 10' x 20'.
- d. There will be a 6' sidewalk along proposed street and along Vermont Avenue.

### Landscaping

Landscaping per Section 113-244 of the Land Development Regulations

- a. Landscape requirements for each one or two-family dwelling (duplex) shall be as follows:
  - 1. At least one canopy tree, 2.5 inches DBH, shall be located in the required front yard of each dwelling unit. Each duplex will have two canopy trees.
- b. Perimeter Landscaping shall be as follows:
  - 1. Provide additional perimeter landscaping along Vermont Avenue with one new shade tree per 50' of road frontage subject to the requirements of Sec. 113-244(d)(3) and installation and maintenance requirements set forth in Section 113-247(b).
  - 2. A minimum of 4 understory/subcanopy trees shall be planted around the intersection of Vermont and the proposed new roadway
  - 3. Provide the following buffer to the south and west of the property:
    - A) Single-Family development:
      - Provide a 10' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth in Sec. 113-247(b). Or
      - Provide an opaque privacy fence, 6' in height and a landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence, subject to the buffer and landscape

design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

# B) Two-Family Development:

- Provide a 20' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth in Sec. 113-247(b). Or
- Provide an opaque privacy fence, 6' in height and a landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence, subject to the buffer and landscape design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

# Tree Survey

a. A tree survey measuring trees 12" or greater shall be required as part of the subdivision review. Tree removal mitigation will be required as stipulated in City Code Section 113279

# **Tree Preservation**

- 1. Trees to be preserved onsite:
  - a. Live Oak Trees
  - b. The rear 20' along the south and west property lines shall be kept in a natural condition with all canopy/shade trees preserved
  - c. Viable shade/canopy trees within 15' of Vermont Avenue shall be preserved.
- 2. Tree protections requirements shall comply with Section 113-248, and in addition: an ISA certified arborist or equivalent horticulture professional shall be hired to evaluate trees to be saved, ensure adequate root area is provided and grade changes are not altered within critical root area, prescribe treatments to preserve the trees and oversee tree protection during the construction process. Trees or branches of trees that are adjacent to or hanging over into adjacent neighboring properties shall be evaluated for safety by the certified arborist and removed or appropriately pruned or other measures as required by the certified arborist.

Ordinance No. O-05-2020 Page 12 of 14

#### Miscellaneous

Development requirements not specifically mentioned shall be consistent with all requirements for the City of Green Cove Springs R-2 Zoning district and all other applicable Land Development Code Requirements

# **Development Plan**

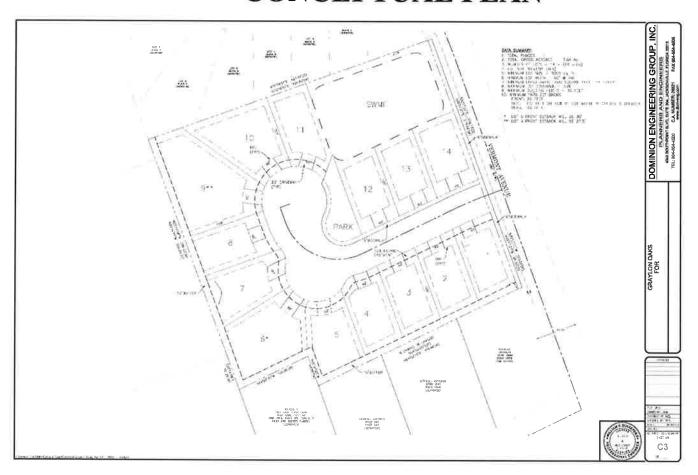
The project will be developed in a single phase. The required right of way buffers shall be constructed by the developer and completed prior to the issuance of a certificate of occupancy for any residential dwelling not constructed as a model unit within the subdivision.

All common areas and stormwater management facilities /drainage areas shall be maintained by a legally established Homeowner's or Property Owner's Association. All finalized legal documents demonstrating the creation of the HOA or POA and its responsibilities must be submitted with the Final Plat submittal for the Graylon Oaks PUD.

Stormwater analysis shall be required with the subdivision application that demonstrates consistency with the City of Green Cove Springs and St Johns River Water Management District requirements.

Regulations regarding Guarantees and Sureties as stipulated in Chapter 101, Article II, Division 5 and Subdivision 5 shall be provided as part of the subdivision approval process.

# EXHIBIT "D" PUD CONCEPTUAL PLAN



Ordinance No. O-05-2020

# **EXHIBIT "E" Elevations**





# **STAFF REPORT**

# CITY OF GREEN COVE SPRINGS, FLORIDA

TO: Site Development Review Team MEETING DATE: April 3, 2025

FROM: Gabriel Barro, Planning & Zoning

**SUBJECT:** Request for a variance to allow a gazebo to be placed within required setbacks of the

property located at 462 Vermont Ave

### PROPERTY DESCRIPTION

**APPLICANT:** Ravindra Armogan **OWNER:** Ravindra Armogan

PROPERTY LOCATION: 462 Vermont Avenue

**PARCEL NUMBER:** 017136-001-10

FILE NUMBER: VAR 25-001

**CURRENT ZONING:** R2

**FUTURE LAND USE DESIGNATION: NEIGH** 

### **SURROUNDING LAND USE**

NORTH: FLU: Neighborhood SOUTH: FLU: Neighborhood

**Z**: R2

Use: Single Family Residential
Use: Single Family Residential

**EAST:** FLU: Neighborhood WEST: FLU: Neighborhood

**Z**: R3 **Z**: R3

Use: Single Family Residential
Use: Single Family Residential

# **BACKGROUND**

Ravindra Armogan, the owner and occupant of the property located at 462 S Vermont Ave, has requested a variance to allow a gazebo to be placed within the minimum setbacks required by the R2 zoning district. On July 2, 2024, a Code Enforcement case was opened for the property for an accessory structure, a wooden gazebo, placed without a permit. On July 11, 2024, the applicant submitted a Building Permit Application (BLD-24-0502) for the gazebo. The gazebos location places it 3 feet from the side property line and 8 feet from the primary structure. Minimum setbacks for the R2 zoning district requires a side setback of 7.5 feet per Sec. 117-88 of the Green Cove Springs city code. All properties within Green Cove Springs require that accessory structures placed within the designated side or rear yard be at least 6 feet from the primary structure.

The Building Permit Application was given a deficiency notice for not meeting the aforementioned setback requirements. There is no possible way for the gazebo to meet the 7.5 foot side setback and the 6 foot primary structure setback. The applicant is requesting a variance to allow the gazebo to be placed within the required setbacks, remaining in its current location.

# **Variance Required Findings**

The planning and zoning board shall not grant the variance varying the requirements of any provision of this subpart unless it makes a positive finding, based on substantial competent evidence, on each of the following:

- (1) There are no reasonable uses of the property because of the practical or economic difficulties in carrying out the strict letter of the regulation and the hardship is not the result of the applicant's own actions..
  - The primary use of the property is a single family home. There is no practical or economic difficulty depriving the owner from this use.
- (2) If the applicant complies strictly with the provisions of this subpart, he is deprived of any rights that others in the district are allowed.
  - The neighboring properties are of the same size and zoning. The neighboring properties also have the same utility easement along the rear of the properties.
- (3) The hardship is suffered only by the applicant rather than by neighbors or the general public. *Neighboring properties are required to meet the same setbacks as the subject property.*
- (4) The hardship relates to the land, rather than personal circumstances. *The*.
- (5) The variance requested is the minimum variance that will make reasonable use of the land, building or structure and will not result in the creation or extension of a nonconforming use or structure.
  - The applicant is still able to place the gazebo on the property and meet minimum setback requirements.
- (6) The proposed variance will not substantially increase congestion on surrounding public streets, the danger of fire, or other hazard to the public.
  - *The proposed variance will not increase congestion or hazards.*
- (7) The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.
  - The proposed variance will not diminish property values nor alter the character of the surrounding properties.

In granting the variance, the planning and zoning board shall prescribe any conditions and safeguards it deems necessary or desirable, and violation of such variance, when made a part of the terms under which a variance is granted, shall be deemed a violation of this subpart.

# STAFF RECOMMENDATION

This meeting is to determine staff consensus.



# City of Green Cove Springs Variance Application

# FOR OFFICE USE ONLY

PZFile# VAC-25-001

Application Fee: 275°

Filing Date: 3 18 25 Acceptance Date: 3 25/25

Review Type: SRDT 🔯 P & Z 🗖 CC 🗖

A. PROJECT		
1. Project Name: Grill Gazebo DIY Installation		
2. Address of Subject Property: 462 S Vermont Avenue		
3. Parcel ID Number(s) 017 36 - 001 - 10		
4. Existing Use of Property:		ç
5. Future Land Use Map Designation: Ncurborhood		
6. Zoning Designation: L-2		2
7. Acreage:		
B. APPLICANT		
1. Applicant's Status →Owner (title holder) □ Agent		
2. Name of Applicant(s) or Contact Person(s): Ravindra Armogan Title:		
Company (if applicable):		
Mailing address: 462 S Vermont Avenue		
City: Green Cove Springs State: FL ZIP: 32043		
Telephone: (904)373-8059 FAX: ()e-mail: myarmoganfamily@gmail.com	<u>n</u>	
3. If the applicant is agent for the property owner*:		
Name of Owner (title holder):		
Company (if applicable):		
Mailing address:		
City:State:State:		
Telephone: () FAX: ()e-mail:	•	
Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.	C. ADDITIONAL	
INFORMATION		
1. Is there any additional contact for sale of, or options to purchase, the subject property?   Yes	If yes, list names of	all
parties involved:	If yes, is the	
contract/option contingent or absolute? ☐ Contingent ☐ Absolute		Do

#### D. STATEMENT OF VARIANCE SOUGHT

- 1. Requested Variance: Install DIY Grill Gazebo off property line 2FT
- 2. Section of Land Development Regulations under which the variance is sought: Section 14-23
- 3. Reason Variance is requested: Either side of our property is 10FT from the property line. Except for the backyard which sits on an easement and has a steep slant to it away from the home to the rear fence line. This severely hinders my family from putting together something as small as a DIY Grill Gazebo that is 12x6 and cost \$1000 on either side of our property.
- 4. Statement of Facts for Requested Variance (Use additional pages if necessary)

My family has lived at 462 S Vermont Avenue for 20 years now. We are a hard working family who is proud to be part of this community. We have a daughter who attends Clay High School with Honors and she wanted a space outside the home to invite her friends over to entertain after school or on the weekends. This space also serves as a space for small family gatherings and a space where we can grill some food and enjoy the time with one another. I never thought this would be an issue as a neighbor a few homes down from us at 456 S Vermont Avenue built a structure attached to the home and on the property (fence) line itself. Below is a recent image of this.



So I just didn't realize this was going to be an issue with that being the case. As you can see with what we have put together is solid and rated for up to 100 MPH winds.

(PLEASE ANSWER THE FOLLOWING QUESTIONS TO THE BEST OF YOUR ABILITY. THESE FACTS WILL BE USED BY THE STAFF TO MAKE A RECOMMENDATION AND THE PLANNING AND ZONING BOARD IN MAKING THEIR DECISION)

a. Extraordinary and Exceptional Conditions- What are the extraordinary and exceptional conditions (such as topographic conditions, narrowness, shallowness, or the shape of a parcel of land) pertaining to the particular piece of land for which the variance is sought, that do not generally apply to other land or structures in the same district?

This property is severely narrow on either side of the home and the rear of the property is on an easement with a steep slant to it.

b. Not Result of Action by Applicant- Why are the special circumstances not the result of the actions of the applicant?

Due to violation served by Rico Armstrong referencing Section 14-23. After speaking with the

Planning and Zoning team Michael Daniels and Gabriel Barro it was brought to my attention that

the DIY removable Grill Gazebo was to close to the property line. Both Gabriel and Michael came
and visited me at 462 S Vermont Avenue and we discussed an option of moving the DIY Grill

Gazebo to the rear of the property but as referenced above the rear of the property is on an
easement and has a steep slant to it. It was brought to my attention by both Gabriel Barro and
Michael Daniels that if I have the DIY Grill Gazebo moved to the rear of the property and have it
permitted, then at any point I could move the DIY Grill Gazebo back to its original location. I was
not comfortable with that option at all.

c. No Special Privilege- Does the granting of the variance confer any special privilege on the applicant that is denied to other lands or structures in the same zone district?

# <u>No</u>

**d. Strict Application Deprives Use-**Would the strict interpretation of the Land Development Regulations to this property effectively prohibit or unreasonably restrict the utilization of the land and result in unnecessary and undue hardship?

#### <u>Yes</u>

e. **Minimum Variance-** Is the variance the minimum action that will make possible the reasonable use of the land or structure which is not contrary to the public interest, and which would carry out the spirit of these Land Development Regulations?

#### Yes

f. Not Detrimental-Is the granting of the variance detriment to the adjacent land, and the character of the zone district in which the land is located?

#### <u>No</u>

- E. ATTACHMENTS (One hard copy or one copy in PDF format)
  - 1. Copy of Warranty Deed or other proof of ownership
  - 2. Legal description
  - 3. Survey or plot diagram indicating setbacks, proposed construction and requested variance.

#### F. FEE.

Residential property - \$250 Non- residential - \$500

- a. The Cost of postage, signs, advertisements, and outside consultants are in addition to the application fee.
- b. The applicant is responsible to pay the cost of the advertisement and signs.
  - c. All applications are subject 10% administrative fee and must pay the cost of any outside consultants fees.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees for advertising, signs, necessary technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

All 3 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.

NOTARY SEA

JULIA ENNIS Commission # HH 295823 Expires November 25, 2026

Signature of Notary Public, State of <u>FL</u>

City of Green Cove Springs Development Services Department ♦321 Walnut Street ♦ Green Cove Springs, FL 32043 ♦ (904297-7500 Page 3 of 3 Revised 12/31/2012