

# **CITY OF GREEN COVE SPRINGS SITE DEVELOPMENT REVIEW TEAM MEETING**

**321 WALNUT STREET, GREEN COVE SPRINGS, FLORIDA  
THURSDAY, APRIL 03, 2025 – 2:00 PM**



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## **AGENDA**

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### **TOPICS:**

- [1.](#) Review of a Site Development Plan for the Preserve at Green Cove Springs, a Multi-Family Residential Complex
- [2.](#) Review of a Modification of the Graylon Oaks PUD to allow for proposed townhouses to be split into two parcels
- [3.](#) Request for a variance to allow a gazebo to be placed within required setbacks of the property located at 462 Vermont Ave
4. Special Events

**NEXT MEETING TO BE HELD:** Thursday, May 1, 2025 at 2:00 PM

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### **ADA NOTICE**

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In accordance with Section 286.26, Florida Statutes, persons with disabilities needing special accommodations to participate in this meeting should contact the City Clerk's office no later than 5:00 p.m. on the day prior to the meeting.

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# STAFF REPORT

## CITY OF GREEN COVE SPRINGS, FLORIDA

**TO:** Site Development Review Team **MEETING DATE:** April 3, 2025  
**FROM:** Gabriel Barro, Planning and Zoning  
**SUBJECT:** Review of a Site Development Plan for the Preserve at Green Cove Springs, a Multi-Family Residential Complex

### PROPERTY DESCRIPTION

**APPLICANT:** Eric Conkright, PC Acquisitions, LLC **OWNER:** JP Hall Jr Revocable Trust  
 12/17/1993 Et Al

**PROPERTY LOCATION:** US Highway 17 & CR 209

**PARCEL NUMBER:** 016499-007-01

**FILE NUMBER:** SPL-25-001

**CURRENT ZONING:** PUD

**FUTURE LAND USE DESIGNATION:** Mixed Use

### SURROUNDING LAND USE

<b>NORTH:</b> FLU: Industrial Z: Public Ownership (County) Use: Lodge	<b>SOUTH:</b> FLU: Mixed-Use Z: C-2 Use: Service Shop
<b>EAST:</b> FLU: Mixed-Use RP Z: M-2 Use: Manufacturing	<b>WEST:</b> FLU: Industrial Z: IB Heavy Industrial (County) Use: Manufacturing

### BACKGROUND

The applicant has applied for Site Development approval for the subject property for the development of multiple apartment buildings.

### PROPERTY DESCRIPTION

The site consists of two parcels totaling 17.36 acres along the eastern side of US 17 at the intersection of CR 209.

## **DEVELOPMENT DESCRIPTION**

The applicant is proposing the construction of an apartment complex. The site will consist of 7 apartment buildings, a parking lot, an amenity center, and a drainage retention pond. The site will have two ingress/egress points, one on CR 209, and another on US 17. The amenity center will include a swimming pool for residents of the apartment complex. The parking lot is designed as a loop around the center of the site. An outdoor recreation will be included within the center of the parking area.

### **PARKING, LOADING, & STACKING**

The plan shows 437 parking spaces, 20 of which are ADA. The site also includes 30 garage parking spaces.

### **DRAINAGE RETENTION**

The drainage plan shows a retention pond consisting of 61,319 square feet.

### **TRAFFIC AND ACCESS**

The site will include an ingress/egress point on CR 209 and another on US 17.

### **UTILITY CONNECTIONS & SOLID WASTE**

The project site is within the City's water and electric district.

### **LANDSCAPE PLAN**

No landscape plan has been submitted.

## **STAFF RECOMMENDATION**

This meeting is to determine staff consensus.



# City of Green Cove Springs Site Plan Application

## FOR OFFICE USE ONLY

Item 1.

P Z File # \_\_\_\_\_

Application Fee: \_\_\_\_\_

Filing Date: \_\_\_\_\_ Acceptance Date: \_\_\_\_\_

Review Type: SRDT ☐ P & Z ☐ CC ☐

### A. PROJECT

1. Project Name: Preserve at Green Cove Springs
2. Address of Subject Property: US 17 & CR 209
3. Parcel ID Number(s): 38-06-26-016499-007-01
4. Existing Use of Property: unimproved land
5. Future Land Use Map Designation: mixed-use
6. Zoning Designation: PUD
7. Acreage: 13.92

### B. APPLICANT

1. Applicant's Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s) or Contact Person(s): Eric Conkright Title: \_\_\_\_\_  
Company (if applicable): PC Acquisition, LLC  
Mailing address: 1 Concourse Pkwy, Ste 800  
City: Atlanta State: GA ZIP: 30328  
Telephone: (\_\_\_\_) 404-625-6373 FAX: (\_\_\_\_) \_\_\_\_\_ e-mail: eric@piedmontpe.com
3. If the applicant is agent for the property owner\*:  
Name of Owner (title holder): Virginia S. Hall Revocable Trust, J.P. Hall Jr Second Amended and Restated Revocable Trust, CHS LLC, Lyman G. Hall  
Company (if applicable): \_\_\_\_\_  
Mailing address: 2321 Egremont Drive  
City: Orange Park State: FL ZIP: 32073  
Telephone: (\_\_\_\_) 904-860-8739 FAX: (\_\_\_\_) \_\_\_\_\_ e-mail: virginiashall@msn.com

\* Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner.

### C. ADDITIONAL INFORMATION

1. Is there any contract for sale of, or options to purchase the subject property? ☒ Yes ☐ No  
If yes, list names of all parties involved: PC Acquisition, LLC  
If yes, is the contract/option contingent or absolute? ☒ Contingent ☐ Absolute

## 6. Fee.

## a. Based on size of site:

- i. For sites <10,000 s.f. - \$500
- ii. For sites >10,000 s.f. - \$1,000 + \$20 per acre

## b. All applications are subject 10% administrative fee and must pay the cost of any outside consultants' fees.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees necessary for technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

**All 6 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.**

I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:



Signature of Applicant

Signature of Co-applicant

Eric Conkright  
Typed or printed name and title of applicant

Typed or printed name of co-applicant

3/10/2025  
Date

Date

State of GEORGIA

County of FORSYTH

The foregoing application is acknowledged before me this 10 day of MARCH, 2025 by ERIC

CONKRIGHT, who is/are personally known to me, or who has/have produced DRIVERS LICENSE  
as identification.

NOTARY SEAL

upth

Signature of Notary Public, State of GA



# CONSTRUCTION PLANS FOR PRESERVEAT GREEN COVE SPRINGS CITY OF GREEN COVE SPRINGS



Digitally signed  
by Alexander R  
Acree  
Date:  
2025.03.11  
16:13:51 -04'00'

GENERAL NOTES:

A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS CONTRACTORS TO THE OWNER:

A & J LAND SURVEYORS, INC  
5847 LUELLA STREET  
JACKSONVILLE, FLORIDA 32207  
CONTACT: JONATHON B. BROWN  
PHONE: (904) 346-1736

MATTHEWS DESIGN GROUP, LLC AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.

B. ADDITIONAL PROJECT INFORMATION HAS BEEN PROVIDED BY THE FOLLOWING SUB-CONSULTANT AS CONTRACTOR TO THE OWNER:

UNIVERSAL ENGINEERING SCIENCES  
TYPE: GEOTECHNICAL  
5561 FLORIDA MINING BOULEVARD SOUTH  
JACKSONVILLE, FLORIDA 32257-3648  
CONTACT: STEPHEN R. WEAVER, P.E.  
PHONE: (904) 296-0757

C. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER OF ANY DISCREPANCIES BETWEEN THE SURVEY AND FIELD VERIFICATION OF INFORMATION ABOVE OR BELOW GROUND THAT MAY BE CRITICAL TO THE DESIGN OF THIS PROJECT. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION OF THIS PROJECT.

D. WARRANTY / DISCLAIMER:

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER IS INVOLVED WITH THE PHYSICAL CONSTRUCTION ON AN ONGOING BASIS AT THE SITE.

MATTHEWS DESIGN GROUP (MDG) IS THE PROJECTS ENGINEER OF RECORD (EOR). MDG IS NOT A GENERAL CONTRACTOR, UTILITY CONTRACTOR, SITE CONTRACTOR, OR ANY OTHER TYPE OF CONTRACTOR.

E. SAFETY NOTICE TO CONTRACTOR:

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.

F. CONSTRUCTION TESTING:

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, TESTING, LABORATORY ANALYSES, REPORTS, COSTS, ETC., CONCERNING SOILS AND PAVEMENT RELATED DESIGN REQUIREMENTS AND SPECIFICATIONS AS SET FORTH IN THESE PLANS.

G. AS-BUILT SURVEY NOTE:

UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS REQUIRED TO PROVIDE OWNER / ENGINEER WITH A SIGNED AND SEALED AS-BUILT SURVEY AND ANY OTHER RELATED CONSTRUCTION DOCUMENTS, IN ACCORDANCE WITH APPLICABLE PERMITTING AGENCY REQUIREMENTS, AS THE BASIS FOR PROJECT CERTIFICATIONS AND CLOSE-OUT.

H. RIGHT-OF-WAY:

ANY AND ALL WORK CONDUCTED WITHIN THE CITY OF GREEN COVE SPRINGS RIGHT-OF-WAYS MUST BE IN ACCORDANCE WITH THE APPLICABLE LAND DEVELOPMENT CODES.

I. PRE-CONSTRUCTION MEETING:

IT IS THE RESPONSIBILITY OF THE APPLICANT TO SCHEDULE A PRE-CONSTRUCTION / PRE PERMIT ISSUANCE MEETING WITH CITY OF GREEN COVE SPRINGS STAFF AFTER PLANS HAVE BEEN RELEASED FOR CONSTRUCTION BY THE CITY AND PRIOR TO STARTING ANY SITE ACTIVITIES. THE PRE-CONSTRUCTION MEETING WILL BE HELD IN CONJUNCTION WITH THE CITY MANDATORY PRE-CONSTRUCTION MEETING. HOWEVER, IF THE PROJECT FALLS OUTSIDE OF CITY JURISDICTION, PLEASE CALL CITY OF GREEN COVE SPRINGS TO SCHEDULE MEETING.

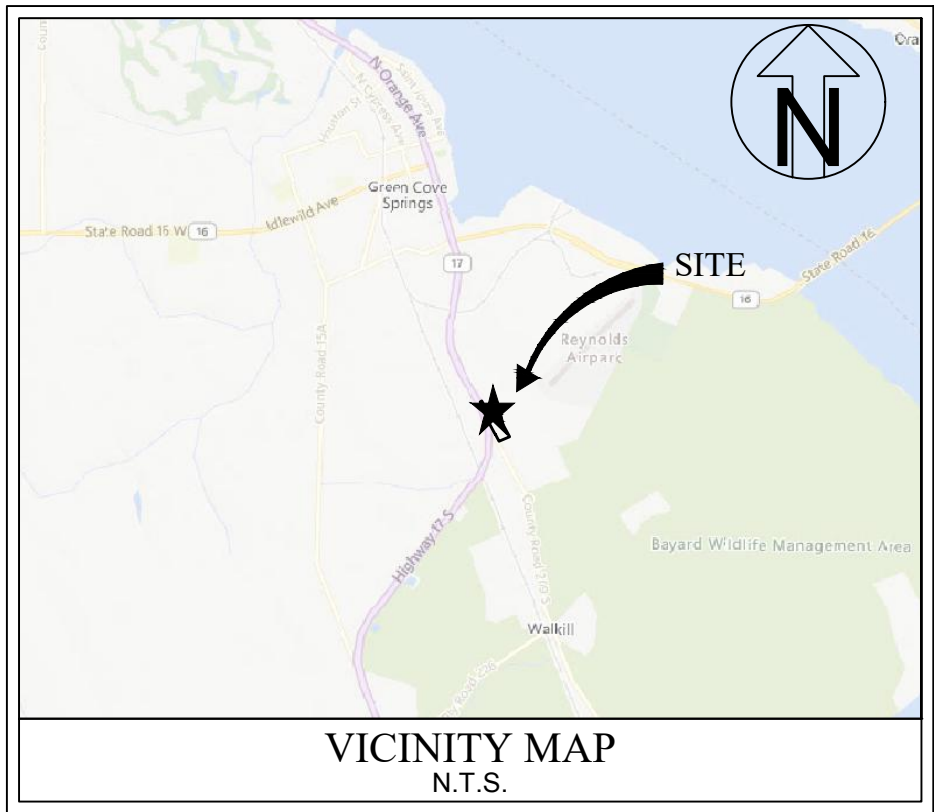
J. ALL ELEVATIONS SHOWN HEREIN ARE REFERENCED TO NAVD 88.

I. FIRE SERVICES

WHEN VERTICAL CONSTRUCTION BEGINS, FIRE DEPT. ACCESS IS REQUIRED

\*FIRE DEPT ACCESS ROADS SHALL BE PROVIDED AT THE START OF THE PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. (NFPA 1, CHP 16)

\*FIRE DEPT ACCESS ROAD SHALL BE UNOBSTRUCTED 20 FEET WIDE, STABILIZED SURFACE TO SUPPORT 80,000 LBS AND PROVIDE TURNAROUND FOR A 50 FOOT FIRE APPARATUS. (NFPA 1, CHP 18)



OWNER:  
PC ACQUISITION LLC  
3475 PIEDMONT ROAD NE, SUITE 1125  
ATLANTA, GA 30305  
PHONE: (803) 381-5850  
CONTACT: JOHN D. CATTANO

PREPARED BY:  
**Matthews | DCCM**  
P.O. BOX 3126, 7 WALDO STREET  
ST. AUGUSTINE, FL 32084  
PHONE: 904.826.1334  
mdg.info@dccm.com

PERMITS / APPROVALS	PERMIT NO.	SUBMITTED	RECEIVED
CITY OF GREEN COVE SPRINGS			
CLAY COUNTY UTILITY AUTHORITY			
ST JOHNS RIVER WATER MANAGEMENT DISTRICT			
FDEP - WATER			
FDEP - SEWER			
FDOT			

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES
3	UTILITY NOTES
4	SURVEY
5	EROSION CONTROL & DEMOLITION PLAN
6	MASTER SITE PLAN
7	SITE PLAN
8	SITE PLAN
9	SITE PLAN
10	GRADING & DRAINAGE PLAN
11	GRADING & DRAINAGE PLAN
12	GRADING & DRAINAGE PLAN
13	MASTER UTILITY PLAN
14	UTILITY PLAN
15	UTILITY PLAN
16	UTILITY PLAN
17	CONSTRUCTION DETAILS
18	CONSTRUCTION DETAILS
19	CONSTRUCTION DETAILS
20	CONSTRUCTION DETAILS
21	CONSTRUCTION DETAILS
22	UTILITY DETAILS
23	UTILITY DETAILS
24	UTILITY DETAILS
25	SWPPP

RESOURCE LIST		
CLAY COUNTY UTILITY AUTHORITY	FDOT	SJRWMD - PALATKA HEADQUARTERS
3176 OLD JENNINGS RD	3600 DOT ROAD	PO BOX 1429
MIDDLEBURG, FL 32068	ST. AUGUSTINE, FLORIDA 32084	PALATKA, FL 32178
(904) 272-5999	(904) 825-5026	386-329-4500
CONTACT: NATHAN D. GOTTSCHALK		
FDEP - WATER & SEWER		
8800 BAYMEADOWS WAY, SUITE 100		
JACKSONVILLE, FLORIDA 32256		
(904) 256-1700		

FLOOD CERTIFICATION:  
THIS SITE IS SHOWN IN FLOOD ZONE "X" AS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12109C0257H, FOR CITY OF GREEN COVE SPRINGS, FLORIDA, EFFECTIVE DECEMBER 7, 2018.

REVISIONS

NO.	DATE	DESCRIPTION

DESIGN BY: DTS  
DRAWN BY: DTS  
CHK BY: AFA  
DATE: 03-12-25  
JOB NO.: 22034

Matthews | DCCM  
P.O. BOX 3126, 7 WALDO STREET  
ST. AUGUSTINE, FL 32084  
PHONE: 904.826.1334 • FAX: 904.826.4547  
INFO@MDGINC.COM

COVER SHEET  
PRESERVEAT GREEN COVE SPRINGS  
CITY OF GREEN COVE SPRINGS  
PREPARED FOR  
PC ACQUISITION LLC

SHEET NO.: 1  
OF 25

REGISTERED ENGINEER  
ALEXANDER R. ACREE, P.E.  
CA26535, FL 473155

PC 2024-03-26-05  
CITY OF GREEN COVE SPRINGS  
GREEN COVE MULTI-FAMILY RESIDENTIAL CONSTRUCTION DOCUMENTS 2024 - COVER SHEET.DWG, L1, 3/11/2025, APT PM, 04:04, BROWN, E. MATTHEWS DESIGN GROUP, INC.



OUTLINE SPECIFICATIONS FOR CONSTRUCTION OF SEWAGE COLLECTION SYSTEM

01. INTENTION. It is the declared and acknowledged intention to secure a new sewerage system, complete, in accordance with the plans, specifications, and contract documents. All new work shall be in accordance with the City of Green Cove Springs Specifications Manual and C.G.C.S.'s Approved Materials Manual and C.G.C.S. Public Works Department Details and Specifications and any other Government Regulatory Agency. All work shall conform to the above whether or not specifically called out or noted on the plans.

02. GENERAL. All materials shall be of those listed in the C.G.C.S. Approved Materials Manual. Installation shall be warranted by the Contractor as to materials, workmanship and accuracy of the As-built drawings for a period of two years from the date of completion of the work or beneficial use of the facilities. Workmanship shall be of good quality; i.e., sewers shall be laid true to line and grade, fittings shall be properly installed and restrained, trenches shall be properly excavated and backfilled, manholes shall be installed at locations and to elevations shown on the plans.

02.1. CONTRACTOR LICENSE AND APPROVAL. Utility reserves the right to approve or deny approval of contractor prior to construction of any on-site or off-site utility facilities. Contractor must hold a State Of Florida Under Ground Utility Contractors license, that named contracting company being the one doing the work on project, and demonstrate acceptable experience in the field of utility construction.

03. SURVEYS. The Utility Contractor shall provide all surveys necessary for the layout and construction of the work of his contract.

04. EARTHWORK. Earthwork shall include all excavation, fill and backfill (hand/machine), compaction and rough grading of materials encountered. No unsuitable materials like, muck, or peat, removed from pipe trenches are to be used for backfill. All fill or backfill shall be either sand or sandy clay, free of roots, trash or other debris. All backfill alongside of and to a height twenty-four inches above all pipe shall be free of clay or organic material. The first of which shall be to the spring line of the pipe by either hand or machine operation carefully to 98%. All other backfill shall be compacted by either hand or machine operation carefully to 95% (outside of paving), 98% (under paving) of its optimum moisture content as determined by ASTM D698, latest. Copies of compaction density test reports from a licensed testing agency shall be made available to C.G.C.S. if requested.

05. MANHOLES. Manhole bases, sections and cones shall conform to the requirements of ASTM C478, Specifications for Precast Reinforced Concrete Manhole Sections. Cement shall meet the requirements of ASTM C150, Specifications for Portland Cement, Type II. Concrete shall meet the minimum requirements for Class "A" Concrete Work. Minimum wall thickness shall be 1/12 the inside diameter in inches plus one (1) inch. Bases for manholes shall be cast integrally with the manhole manhole. Cast in place Rubber gasket, or RAB, pre molded and sharp castings; they shall be exactly parallel with a 2 degree slope and nominal 1/16 inch clearance with the tongue equipped with a proper recess for the installation of an O-ring rubber gasket, conforming to ASTM C443, joints for circular concrete pipe. Cast in place PVC water pipe shall be installed with maximum angle of 45 degrees (see Standard Sewer System Cleanout detail) utilizing the proper fittings for the type of pipe specified.

05.1. CAST IRON MANHOLE FRAMES AND COVERS. Cast iron manhole frames and covers shall be as detailed on drawings. Castings shall meet the requirements of ASTM A48, Specifications for Gray Iron Castings, Class No. 30, or Grade 65-45-12, Ductile Iron meeting the requirements of ASTM A536, Standard Specification for Ductile Iron Castings. In either case, manhole frame and cover shall be

designed to withstand an HS20-44 loading defined in the AASHTO Specifications. Frames and covers shall be machined or ground at touching surfaces so as to seat firmly and prevent rocking.

05.2. FLEXIBLE MANHOLE CONNECTOR. All connections between sewer pipe and pre-cast concrete manholes shall be accomplished by a Flexible Connector, "Kor-N-Seal", as manufactured by National Pollution Control Systems, Inc., or approved equal.

05.3. FLOW CHANNELS. Flow channels in manhole base shall be formed of D.O.T. Class I, Type II cement grout with brick or rubble and trowel to a smooth surface finish. Grout surface shall be 1" min. thickness over brick or rubble. While the manholes are under construction, cut off pipes at inside face of the manhole and construct the invert to the shape and sizes of pipe indicated. All inverts shall provide a constant gradient from influent pipe to effluent pipe through manhole. Changes in direction of the sewer and entering branch or branches shall be laid out in smooth curves of the longest possible radius which is tangent to the center lines of adjoining pipelines.

05.4. DROP INLETS. Where shown on the drawings, drop inlets to the manholes shall be constructed as shown on the drawings and specified herein.

06. POLYVINYL CHLORIDE PIPE. Polyvinyl Chloride Sewer Pipe shall conform to the requirements of ASTM D-3034, SDR 26. The PVC compound conforming to ASTM D-1784. Pipe shall be clearly marked marked in 5 Ft. intervals or less, indicating manufacturers name, nominal size, cell classification and legend. Joints shall be push-on rubber gasketed, conforming to ASTM D-3034. All sanitary service laterals shall be installed in accordance with recommended practice ASTM D-2321. Maximum depth of gravity sewer without prior approval shall be 15 feet. Sewers over 15' in depth shall be DR-18 P.V.C. pipe and shall have C.G.C.S. approval prior to design or installation of said sewer.

07. PIPE BETWEEN MANHOLES. All piping installed between manholes shall be the same material and class. No dissimilar pipe material will be allowed anywhere within a single run of pipe.

08. SANITARY SERVICE LATERALS. Sanitary service laterals shall be Polyvinyl Chloride Pipe conforming to the requirements of ASTM D-3034, SDR 26 where cover over top of pipe is 36 inches or greater. Where cover over top of pipe is less than 36 inches, specific construction conditions shall be directed by the City of Green Cove Springs. All sanitary service laterals shall be a minimum of 4'-0" deep at the right-of-way line to top of pipe. Any sanitary service lateral which must be more than 5'-0" deep shall not be installed prior to obtaining permission from the C.G.C.S. field inspector. The C.G.C.S. Public Works Department shall be notified in writing of the 6-inch diameter from the main to the right-of-way line with a minimum slope of 0.60X (0.6 feet per hundred feet). In single family residential developments, services shall reduce to 4" in size and terminated at the property line with a 1/2" PVC water pipe. All sanitary service laterals shall be installed with 45 degrees (see Standard Sewer System Cleanout detail) utilizing the proper fittings for the type of pipe specified.

09. FORCE MAINS. Force mains shall be C900 DR-18 PVC and conform to the requirements of ASTM D-1784, D-2241, D-3139 and F-477. Pipe shall be color coded and marked "FORCE MAIN" on at least two sides and every 12' along the barrel of the pipe. Ductile Iron pipe for force main service shall be polylined. Ductile Iron pipe is not to be used without prior approval of the Clay County Utility Authority. Fittings shall be C110 gray iron and shall be polylined. Force mains less than 3" shall be SCH-80 PVC. All force mains shall be installed with tracer wire per C.G.C.S. standard location wire details.

09.1. LIFT STATION VALVES. Plug valves shall be Dezurik, Clow or M&H, with full port opening. Check valves shall be M&H, Mueller or American Darling.

09.2. FORCE MAIN VALVE. Gate valve, resilient seated, same as specified in Water Distribution System Specifications Section 12 below. Except valve bodies shall be gray iron. Valve box shall have the word "SEWER" cast into the cover.

09.3. FORCE MAIN JOINT RESTRAINT. All fittings shall be properly and adequately restrained against lateral movement at all force main tees, crosses, valves and bends. Restrainors shall be Uni-Flange Series 1300, 1350 or approved equal installed per manufacturer's recommendations and C.G.C.S. standard details and specifications.

09.4. FORCE MAIN PIPE FLUSHING. All force main piping shall be flushed clean with water utilizing full pipe diameter flushing for all piping up to and including 8" diameter.

10. INSTALLATION. All sewer lines, manholes, and appurtenances shall be constructed to the dimensions and elevations indicated on the drawings. Trenches shall be excavated to a width approximately twelve inches greater than the outside diameter of the pipe. Machine excavation shall be to a depth one-fourth pipe diameter above proposed pipe grade; the remaining depth shall be hand excavated and shaped to give full support to the lower one-fourth of each pipe. Each smooth surface finish shall be 1" min. thickness over brick or rubble and trowel to a smooth surface finish. Grout surface shall be 1" min. thickness over brick or rubble. While the manholes are under construction, cut off pipes at inside face of the manhole and construct the invert to the shape and sizes of pipe indicated. All inverts shall provide a constant gradient from influent pipe to effluent pipe through manhole. Changes in direction of the sewer and entering branch or branches shall be laid out in smooth curves of the longest possible radius which is tangent to the center lines of adjoining pipelines.

11. INSPECTIONS. Each section of the completed sewer system shall be inspected for proper alignment. Inspection shall consist of "tamping" from manhole to manhole. Any section of the sewer system which does not display true, concentric alignment shall be reinstated at no additional expense to the Owner. A written log of inspection shall be kept indicating location of test, potential problems in sewer, dips and depth of water, service locations, and other irregularities in the pipe lines. A video tape in VCR format shall be made of the television inspection and submitted to the Engineer and the City of GCS. Copies of compaction density test reports from a licensed testing agency shall be made available to City of GCS if requested.

11.1. Television inspection will be required on all new gravity sewers constructed. This service shall be provided by the Contractor as a part of this Contract. The newly constructed sewers shall be televised the presence of the Inspector of the City of GCS. A full report as to the condition of pipe type, depth, location of services, length, type, joint and distance between manholes, etc. shall be furnished to the City of GCS inspector prior to the final acceptance of the system. Any pipe found to be cracked, leaking or otherwise defective shall be removed and replaced with new pipe at no additional costs to the Owner. Deflection testing with 7.5% mandrel also required. Any section not passing the mandrel test shall be corrected. Sewer mains shall be televised after curb and lime rock are in place but prior to paving. Curb and linerrock shall be installed, finish graded prior to televising the gravity sewer. Limerock priming and paving operations shall not take place until the City of GCS inspector has reviewed the television tape and approves the gravity sewer system. This will be strictly enforced. All gravity sewers must be flushed no sooner than 4 hours prior to any television inspection. Force main lines shall be pressure tested and approved prior to installation, but not prior to subgrade mixing operation and limerock installation, finish graded and compacted. Sewer services shall be viewed by a camera capable of viewing into service lateral connections. Adequate water must be placed within the upstream manhole to flow through the downstream manhole before inspecting with the camera. All work must be accomplished in the presence of the City of GCS inspector and a 48 hour notice must be provided. Contractor shall provide City of GCS with a 48 hr. notice of intent to televise and inspect sewer main. City of GCS inspector shall report to job site at the time specified by contractor at the time of the call-in. City of GCS inspectors will wait the job site no more than one hour for the televising to begin before leaving the job site. Contractor shall reschedule televising giving City of GCS 48 hrs. notice if the above occurs.

11.2. TEST, INFILTRATION: After completion, the sewers or sections thereof, shall be tested and gauged for infiltration. To check the amount of infiltration, the Contractor, at no added expense, shall cover the contract price for the sewer, shall furnish, and install and maintain a V-notch sharp crested weir in a wood frame on the main sewers as directed by the Engineer. Maximum allowable infiltration shall be 50 gallons per mile, per inch of dia. of sewer per 24 hour day at any time.

11.3. TEST, EXFILTRATION: In areas where ground water is not encountered in sewer construction, or it is desired to run exfiltration tests, the Contractor shall furnish and install all necessary materials, equipments, shall supply water, etc., and shall run exfiltration tests to determine acceptance of the sewer. The maximum allowable exfiltration shall be 50 gallons per mile per inch of diameter of sewer per 24 hour day at any time based on two foot minimum internal head.

period of at least two hours. During this period, all joints shall be inspected to determine water tightness of the system. Any leaks detected shall be corrected. Tests shall be in accordance with the C.G.C.S.'s requirements and specifications. Water main lines shall be pressure tested and approved prior to paving, but not prior to subgrade mixing operation and limerock installation, finish graded and compacted. If C.G.C.S. inspector detects the water main has been damaged during priming or paving he shall require the contractor to repair the water main and retest the water main.

18. STERILIZATION. After completion of construction and testing, the water system shall be sterilized with chlorine in accordance with AWWA Standard C651 latest, and State of Florida Department of Environmental Protection requirements before acceptance for domestic operation. The amount of chlorine applied shall be sufficient to provide a dosage of 50 parts per million or more. The chlorine solution shall remain in the system for a period of at least 8 hours, during which time every valve in the system shall remain opened and closed several times to assure contact with every surface of the system. After completion of sterilization procedures, the system shall be flushed using chlorinated water from a domestic water source having a chlorine residual of at least 1 part per million. The contractor shall obtain all bacteriological clearances as required by the Florida Department of Environmental Protection. After bacteriological clearances, the pressure in the main shall not drop below 20 P.S.I. Clearance report to be submitted to the Engineer. The contractor should be aware that there is a timing maximum related to bacteriological clearance of the main, completion of as-built drawings and Engineer / C.G.C.S. completion of Certificate of Completion. In any project where the bacteriological clearances are greater than 30 days old at the time of submittal of Certificate of Completion to F.D.E.P., the contractor may be required to pull more samples and obtain more bacteriological clearances. Prior to introducing the chlorine solution, the lines shall be thoroughly flushed with clean water utilizing full pipe diameter flushing for pipe up to and including 8" diameter. Contractor shall be responsible for dechlorination of the disinfectant water prior to any discharge to any ditch or surface waters.

19. BACTERIOLOGICAL SAMPLING. Contractor shall assure the project construction is completely finished prior to any bacteriological sampling and testing.

14. CORP STOPS. Corp stops shall be cast bronze, inverted key stop, roadway, with check, lock wing type, for locking in the closed position. Corp stops shall be Ford Ball Valve or Mueller.

15. FIRE HYDRANTS. Fire hydrants shall be traffic type, 150 pound working pressure, AWWA Standard C502, latest revisions, with two 2 1/2" nozzles, one 4 1/2" nozzle and 5 1/4" main valve. Fire hydrant shall be compression type with breakable coupling and mechanical joint. Fire hydrant shall be mechanical joint. American Flow Control, AFB B-84-B, painted red w/white bonnets and with 1 1/2" penta nuts, opening left.

16. INSTALLATION. The minimum cover over top of potable water main shall be 36" minimum. All water lines and appurtenances shall be thoroughly cleaned of all foreign matter before being lowered into the trench and shall be kept clean during laying operations by means of plugs and other approved methods. All pipe shall be checked for defects before being lowered into the trench. Defective pipe shall not be used. Pipe found to be defective, after installation, shall be removed and replaced with sound pipe at no additional expense to the Owner. The full length of each section of pipe shall rest solidly upon the pipe bed, with recesses excavated to accommodate the bells and joints. All pipe that has the grade or joint disturbed after laying shall be taken up and reinstated. The pipe shall not be laid in water, or, when trench or weather conditions are unsuitable for the work. All joints shall be cleaned of all foreign matter before making the joint. Fittings at bends in the pipe shall be properly restrained with joint restrainers adequately sized to prevent movement and dislocating or blowing off when the line is under pressure. Service laterals shall terminate at the point noted in the details.

17. TESTS. After the pipe is laid, the joints completed, and the trench backfilled, the newly laid pipe and appurtenances shall be subjected to a Hydrostatic and Leakage test of 150 pounds per square inch for a

GENERAL NOTES

1. AS-BUILT DRAWINGS AND ASSOCIATED COSTS. All cost records pertaining to the cost of water, reclaim and sewer facilities donated to the utility shall be provided to the Utility by applicant. Prior to acceptance of any extension to the Utility's system that is completed by a licensed underground utility contractor, the Utility will require that the applicant's contractor provide the Utility, to retain for its permanent records, all field as-built data. During the daily progress of the work, the contractor's job superintendent shall record on his field set of drawings all work installed. All manholes, gravity sewers, force mains, laterals, valves, fittings, fire hydrants, etc. shall be located in a direction of location shall be referenced perpendicular to the right-of-way lines and/or property lines (preferably both) or existing permanent utility structures are acceptable (i.e. manholes, catch basins, fire hydrants, head/end walls, etc.). No power/utility poles may be used for reference. Elevations of manhole inverts and center of cover shall be shown to the nearest hundredth of a foot. Size, type, class and slope of sewer main shall be shown (i.e. 8" PVC, SDR-35). The top elevation of each manhole may be determined by measuring from a surveyed pipe invert to the final adjusted manhole top. Size, type and class of water mains, valves, fittings, fire hydrants, etc. shall be shown (i.e. 8" D.I.P., 6" gate valve). All locations where the top of the water main is less than 36" deep or more than 50" deep shall be noted on the as-builts. Water as-builts, sewer as-builts and reclaim water as-builts shall be on separate sheets. AS-BUILTS SHALL BE IN NAD 1983 FL EAST-FOOT---STATE PLANE COORDINATES AND REFERENCE THE BM USED FOR THE PROJECT.

Each page of the as-built drawings shall bear the name, date and original signature of the general contractor responsible for the Work and the name, date, original signature and seal of the registered land surveyor or registered professional engineer who provided the horizontal and vertical dimensions and elevations on the as-built drawings. The signatures shall certify that the as-built drawings do, in fact, reflect the true as-built conditions as located under the direct supervision of the registered surveyor and/or professional engineer. The as-builts shall be at the contractor's expense. A copy of the AutoCAD® ASBUILT DATA SHALL BE FURNISHED ON COMPACT DISK (CD) PLUS (2) SIGNED FULL SIZE PRINTED SET PLUS (1) MYLAR SET by either the design engineer or the applicant's contractor.

2. CONSTRUCTION WARRANTY AND WARRANTY SECURITY PERIOD. Developer shall warranty Utility against defects in the design and workmanship for the portion of the utility system to be owned by the Utility. Developer shall secure from its Contractor a written and fully assignable warranty that the system installed will be and remain free from all defects, latent or otherwise with respect to workmanship, materials, installation, and accuracy of his as-built drawings in accordance with the Utility approved plans and specifications for a period of two years from the date of the system acceptance by the Utility and immediately assign the same and the right to enforce the same to Utility on or before the date of the Utility's acceptance of the system for ownership and maintenance.

3. CLEAN-UP. All surplus materials of construction shall be removed from the site and disposed of by the Contractor as part of his contract with the owner.

4. RESTORATION. New Sanitary Sewer and Water Main Construction in earthen areas shall be seeded and mulched in accordance with Section 670 of Standard Specifications of the Florida Dept. of Transportation (latest edition). In locations where existing grassed (sodded) areas are disturbed, sod shall be replaced to preconstruction condition and to limits of construction or where directed by the engineer.

5. PERMITS. The Contractor shall be responsible for obtaining all permits required for performing work under this contract, except that the F.D.E.P. permits, and wetland permits, if required, will be secured by the owner or developer.

6. PIPE BEDDING. In the event unsuitable or unstable bedding material is encountered at or below the limits of the excavation required for installation, such material shall be removed and replaced with suitable compacted backfill material specified by the design engineer and approved by the C.G.C.S. so as to provide a stable trench bedding surface suitable for proper pipe installation.

6-A. Pipe Bedding (Rock Bedding Material) Rock material used for pipe bedding shall be #57 stone or crushed concrete (crush-crete) in a #57 size. Rock bedding material shall be completely wrapped in a heavy filter fabric material, overlapped a minimum of one foot, rock bedding shall be installed to the correct grade and compacted to a density which will prevent any settlement, either mechanical tamping or compaction of the rock used in the bedding. The bedding shall be placed in a bucket. The compaction shall be approved by C.G.C.S. inspector. The contractor shall be required to have submittal approved by design engineer and C.G.C.S. prior to use of such rock bedding material.

7. DEWATERING. The contractor shall at all time during construction provide ample means and equipment with which to promptly remove and dispose of all water encountered in the trench and structure excavations and shall keep said excavations acceptably dry until the piping and / or structures to be built therein are completed. All water pumped or drained from the work area shall be disposed of in a manner as to not damage sewer, water, electrical or any other piping, structures or property. No pipe shall be laid in water above and no water shall be allowed to rise above the bottom of any pipe while it is being jointed, except as may be approved in writing by the C.G.C.S.

8. HYDROSTATIC TESTING. After all pressure pipes (water mains, services, and force mains) are laid, the joints completed, and the trench backfilled, the newly laid pipe and appurtenances shall be subjected to a hydrostatic test of 150 P.S.I. for a period of at least two hours. The engineer and the C.G.C.S. Public Works must be notified 48 hours before a test is to be performed. Test shall be as set forth in AWWA standard C600. Any leaks detected shall be corrected and the section of pipeline retested. The two hour test period shall begin when all joints have been determined to be water tight. Leakage shall be limited to that allowance set forth in Section 4 of AWWA Standard C600-87. Hydrostatic and leakage test and blow-down (scrubbing and sampling after blow-down) must occur before sampling for bacteriological test. The maximum allowable pressure loss is 5 P.S.I. regardless of the length of pipe.

9. REPORTS. Reports of hydrostatic and leakage tests and sterilization of the newly completed systems shall be submitted to the C.G.C.S. prior to requesting acceptance of the system.

10. DENSITY TESTING. In-place density tests are required at intervals not to exceed 150' along pipelines for every other lift. A minimum of one test between manholes is required for every other lift regardless of the distance between sanitary sewer manholes.

11. CONCRETE. All Portland Cement concrete shall be of Type II Portland Cement, 2,500 P.S.I. minimum, ready minimum concrete shall be placed before the initial set has taken place. State or retempered concrete shall not be used.

12. GATE VALVES AND BOXES. Gate valves shall have a 2" operating nut and open left. Gate valves shall have joints suitable for the type main on which installed. Valves 2" and 3" shall be iron body, bronze fitted. Valves 4" and larger shall be iron body, bronze fitted with resilient seat. The word "WATER" on water boxes and "SEWER" on force main boxes shall be cast in the covers.

13. SEPARATION OF WATER AND SEWER MAINS. Horizontal and vertical separation between potable water system mains and or appurtenances and sanitary or storm sewers, wastewater or storm water force mains, and reclaimed water mains shall be in accordance with Rule 92-B-55.314 F.A.C.

(a) New or relocated, underground water mains shall be laid to provide a horizontal distance of at least three feet between the outside of the water main and the outside of any existing or proposed storm sewer, storm water force main, reclaimed water main regulated under Part III of Chapter 62-610, F.A.C. or proposed vacuum-type sanitary sewer.

(b) New or relocated, underground water mains shall be laid to provide a horizontal distance of at least six feet, and preferably ten feet, between the outside of the water main and the outside of any existing or proposed gravity- or pressure-type sanitary sewer, wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C. The minimum horizontal separation distance between water mains and gravity-type sanitary sewers shall be reduced to three feet where the bottom of the water main is laid at least six inches above the top of the sewer.

(c) New or relocated, underground water mains crossing any existing or proposed gravity- or vacuum-type sanitary sewer or storm sewer shall be laid so the outside of the water main is at least six inches, and preferably 12 inches, above or at least 12 inches below the outside of the other pipeline. However, it is preferable to lay the water main above the other pipeline.

(d) New or relocated, underground water mains crossing any existing or proposed pressure-type sanitary sewer, wastewater or storm water force main, or pipeline conveying reclaimed water shall be laid so the outside of the water main is at least 12 inches above or below the outside of the other pipeline. However, it is preferable to lay the water main above the other pipeline.

(e) At the utility crossings described in paragraphs (c) and (d) above, one full length of water main pipe shall be centered above or below the other pipeline so the water main joints will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all water main joints and pipe connections shall be in joints in vacuum-type sanitary sewers, storm sewers, storm water force mains, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least six feet from all joints in gravity- or pressure-type sanitary sewers, wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

14. NEW CONNECTION TO EXISTING MAIN. New connection to existing main in service shall be accomplished by the "wet tap" method utilizing full circle stainless steel tapping sleeve and mechanical joint tapping valve. Tapping sleeve shall be rated at 200 P.S.I., non-shock working pressure conforming to AWWA Standard C110, latest revision. Stainless steel tapping sleeves shall be arranged so that all water main joints and pipe connections shall be in joints in vacuum-type sanitary sewers, storm sewers, storm water force mains, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least six feet from all joints in gravity- or pressure-type sanitary sewers, wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

15. JOBSITE SAFETY. While on the job site, the contractor shall at all times observe all Federal, State and local safety rules, regulations and laws. This includes, but not limited to, confined spaces and excavation protection systems as per O.S.H.A. standards.

GENERAL NOTES

16. CLOSE OUT / COMPLETION. Minimum items required for Close Out / Completion for submittal to the City of Green Cove Springs will include:

- (a) Construction Warranty from Developer in the form of a Bond, Letter of Credit or Cashier's Check for a two-year period.
- (b) Warranty Certificate for a two-year warranty from the contractor to the Developer and assignment of same to the City of Green Cove Springs (C.G.C.S.).
- (c) Developer's Affidavit certifying there is no outstanding debt against utility assets to be deemed to C.G.C.S.
- (d) Value of Acceptance Report showing value of assets to be deemed to the C.G.C.S.
- (e) Bill of Sale to C.G.C.S.
- (f) Bacteriological Test(s)
- (g) Pressure Test(s)
- (h) Television Reports and Tapes
- (i) Density Reports
- (j) PROPER Final As-Built Drawings and disks

17. C.G.C.S. Shop Drawing and Submittal Process. A signed acknowledgment by the Contractor and the Material Supplier, on the "Shop Drawings and C.G.C.S.'s Approved Materials List Form", that all materials will be in accordance with C.G.C.S.'s Specifications, C.G.C.S.'s Details and C.G.C.S.'s Approved Materials Manual, is the only submittal C.G.C.S. will require for each item of materials with the following exception: any alternate materials requested by the Engineer; any materials not listed in the C.G.C.S. Materials Manual; and materials associated with pumping stations and plant installations. Those exceptions shall have an individual shop drawing submitted for C.G.C.S.'s review and approval prior to any installation of said materials.

This is C.G.C.S.'s procedure and it does not preclude the design engineer from requiring additional submittals and shop drawings as he deems necessary for the project.

18. PUMP STATIONS (TEMPORARY OR PERMANENT). All pump stations shall be constructed in accordance with C.G.C.S. standards, rules and regulations and be approved by C.G.C.S. All work and materials shall meet the requirements of C.G.C.S. Standard Pump Station Details and Specifications or the plans, details and specifications for that specific pump station. A driveway shall be provided from the street (roadway) to within 2 feet of the pump station wellhead, minimum 10 feet wide x 5 inches thick 3,000 P.S.I. concrete. Submersible pump stations shall be fenced completely around the perimeter of the pump station site (location of the pump station site as noted on the plans), including gates and all other items required to make a completely fenced installation. The entire pump station site within the fenced area shall be covered with #57 stone, 6 inch thick minimum, placed over 8 mil visqueen.

19. Information shown on the Drawings as to the location of existing utilities has been prepared from the most reliable data available to the Engineer. The Contractor shall be responsible for requesting underground utility maps and shall assist the utility companies, by every means possible to determine said locations and the locations of recent additions to the systems not shown. Extreme caution shall be exercised to eliminate any possibility of any damage to utilities resulting from Contractor's activities. The locations of all overhead utilities shall also be verified by the Contractor. The Engineer shall be notified of any conflict that may occur. The Contractor shall be responsible for determining which poles will need shoring during excavation and shall provide such shoring and support as required.

20. C.G.C.S. details and specifications (latest available copy) shall be included in all plans submitted for work within the C.G.C.S. utility system. No person shall modify, change, omit, replace any portion of those details and specifications without the express written consent of C.G.C.S.. In any instance where the design engineer has included his written specifications or details in the plans then the more stringent of the two shall govern.

21. All materials to be used for any project within C.G.C.S.'s utility system shall conform to those materials listed in the C.G.C.S. approved material manual in effect at the time final plans for that project are approved by C.G.C.S.

22. Under no circumstance shall any trees be planted within a C.G.C.S. utility easement without:

- a.) C.G.C.S. approving landscape and irrigation plans.
- b.) C.G.C.S. being notified prior to the planting of trees and giving approval.
- c.) C.G.C.S. inspecting and approving the work. The Engineer shall be notified of any conflict which are closer than 10' to any C.G.C.S. utility line) as shown in C.G.C.S. approved material manual and C.G.C.S. roadway cross section details, whether or not shown on the plans.

23. At all Jack & Bore locations a C.G.C.S. inspector shall inspect the casing spacers to verify they are the correct size and have been installed correctly on the pipe prior to the pipe being installed into the pipe casing. The pipe casing shall be clean and free of all dirt, and shall be cleaned with a Vac-Con if necessary. A C.G.C.S. inspector shall be present at all time during this work.

FINAL INSPECTION PROCEDURES

PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING:

1. The sewer line T.V. report and tape
2. The pressure test and bacteriological clearance analysis report.
3. The engineer of record certification to D.E.P. This can be done with completed as-builts.
4. Completed as-builts showing at least the following:
  - a.) Location of valves, mains, services, manholes and locate wire boxes.
  - b.) Elevation of sewer lines in the manhole, and stub-outs.
5. All services and valves to be plainly marked with a treated fence post, and electronic locate marker when needed.
6. Pump station start-up report with draw down data for each pump and with both pumps in operation. All electrical components to be completely installed and in proper working condition.

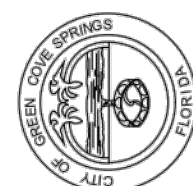
PRIOR TO FINAL ACCEPTANCE FOR OWNERSHIP, THE FOLLOWING MUST BE COMPLETED:

1. The C.G.C.S.'s inspection and distribution and collection departments
2. Water services must be lowered and meter boxes installed, valve boxes must be set on all gate valves.
3. As-built drawings shall have been updated to accommodate the C.G.C.S. comments and the final electrical details of those manhole tops must be included.
4. All valves, locate wire boxes, sewer, water and reclaimed services shall be scribed in curb and painted the correct color.
5. As-builts, must be accepted and approved by the City of Green Cove Springs Public Works.

PRIOR TO FINAL ACCEPTANCE FOR OWNERSHIP, THE FOLLOWING MUST BE COMPLETED:

1. A preliminary inspection must be coordinated by the underground utility contractor and held a minimum of fifteen (15) working days prior to the final inspection/start-up. The preliminary inspection will compare the approved design drawings to the actual site installation, noting any deficiencies.
2. The following must be represented at the preliminary and final inspection:
  - a.) The C.G.C.S.'s inspection and distribution and collection departments
  - b.) The project's developer and/or general contractor
  - c.) The underground utility contractor
  - d.) All subcontractors associated with the lift station (electrical, pump manufacturer, control panel manufacturer, etc.)

PROJECT: CITY OF GREEN COVE SPRINGS 321 WALNUT STREET GREEN COVE SPRINGS, FLORIDA 32043 STANDARD WATER AND SEWER SYSTEM TECHNICAL SPECIFICATIONS



MAP SHOWING BOUNDARY, TOPOGRAPHIC AND TREE SURVEY OF

LEGAL DESCRIPTION AS PROVIDED TO THIS FIRM

A PARCEL OF LAND CONSISTING OF A PORTION OF LOTS 3, 4 AND 5, BLOCK 13, CLINCH STATE, ACCORDING TO PLAT BOOK 1, PAGES 31 THROUGH 34 OF THE PUBLIC RECORDS OF CLAY COUNTY FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 3; THENCE ON THE NORTH LINE THENCE EAST 14 SECONDS 14 SECONDS EAST, 304.53 FEET; THENCE SOUTH 28 DEGREES 17 MINUTES 44 SECONDS EAST, 1104.56 FEET; TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 28 DEGREES 17 MINUTES 44 SECONDS EAST, 1641.20 FEET; THENCE SOUTH 68 DEGREES 00 MINUTES 00 SECONDS WEST, 486.49 FEET TO THE EAST LINE OF COUNTY ROAD NO. 209; THENCE ON SAID LAST LINE RUN THE FOLLOWING 4 COURSES: (1) NORTH 28 DEGREES 17 MINUTES 51 SECONDS WEST, 191.56 FEET; (2) NORTH 23 DEGREES 47 MINUTES 12 SECONDS WEST, 127.15 FEET; (3) NORTH 36 DEGREES 52 MINUTES 20 SECONDS WEST, 67.07 FEET; (4) NORTH 28 DEGREES 17 MINUTES 51 SECONDS WEST, 430.86 FEET TO THE EASTERLY LINE OF STATE ROAD NO. 15 (U.S. HIGHWAY 17); THENCE ON SAID LAST LINE RUN THE FOLLOWING 2 COURSES: (1) NORTHERLY, ON THE ARC OF A CURVE CONCAVE WESTERLY AND HAVING A RADIUS OF 2988.79 FEET, A CHORD DISTANCE OF 708.64 FEET, BEARING OF SAID CHORD BEING NORTH 21 DEGREES 30 MINUTES 47 SECONDS WEST; (2) NORTH 28 DEGREES 19 MINUTES 16 SECONDS WEST, 340.27 FEET TO THE SOUTH LINE OF COUNTY ROAD NO. 209; THENCE ON SAID LAST LINE RUN THE FOLLOWING 4 COURSES: (1) NORTH 28 DEGREES 17 MINUTES 41 SECONDS WEST, 38 MINUTES 00 SECONDS EAST, 60.07 FEET; THENCE SOUTH 28 DEGREES 17 MINUTES 41 SECONDS EAST, 271.72 FEET; THENCE NORTH 61 DEGREES 42 MINUTES 02 SECONDS EAST, 320.00 FEET TO THE POINT OF BEGINNING; BEING 7.36 ACRES, MORE OR LESS, IN AREA.

**GENERAL NOTES:**

1 BEARINGS SHOWN HEREON ARE BASED ON THE MONUMENTED EASTERLY LINE OF THE SUBJECT PROPERTY, AS S  
2 1. BEARINGS 79°00'00" E, 181°00'00" E, AND 181°00'00" E, AS MONUMENTED AND ARE BASED ON THE U.S. DEPARTMENT OF COMMERCE, NATIONAL OCEANIC &  
3 ATMOSPHERIC ADMINISTRATION (NOAA), NATIONAL GEODETIC SURVEY (NGS) DATUM, NORTH AMERICA 2011, OF 1983  
4 (NAD 83) OR NAD83 (2011). THE STATE OF CALIFORNIA STATE PLANE COORDINATE SYSTEM, FOR ZONE 90N, OF 1983  
5  
6 THIS SURVEY AND SKETCH ARE PROTECTED BY COPYRIGHT AND IS CERTIFIED ONLY TO THE ENTITIES LISTED ON  
7 THIS SURVEY AND SKETCH AND ONLY FOR THIS PARTICULAR TRANSACTION AND SCOPE OF WORK. ANY USE OF THIS  
8 SURVEY AND SKETCH WITHOUT THE EXPRESS WRITTEN PERMISSION OF THIS SURVEYOR AND/OR FIRM IS STRICTLY  
9 PROHIBITED. USE OF THIS SURVEY AND SKETCH IN ANY SUBSEQUENT TRANSACTION(S) IS EXPRESSLY PROHIBITED AND  
10 CERTIFICATION TO ANY PARTIES IN FUTURE TRANSACTIONS, NO ENTITY OTHER THAN THOSE LISTED ON THIS SURVEY  
11 AND SKETCH SHOULD RELY UPON THIS SURVEY FOR ANY PURPOSE.

3) NOTE: NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS AND/OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

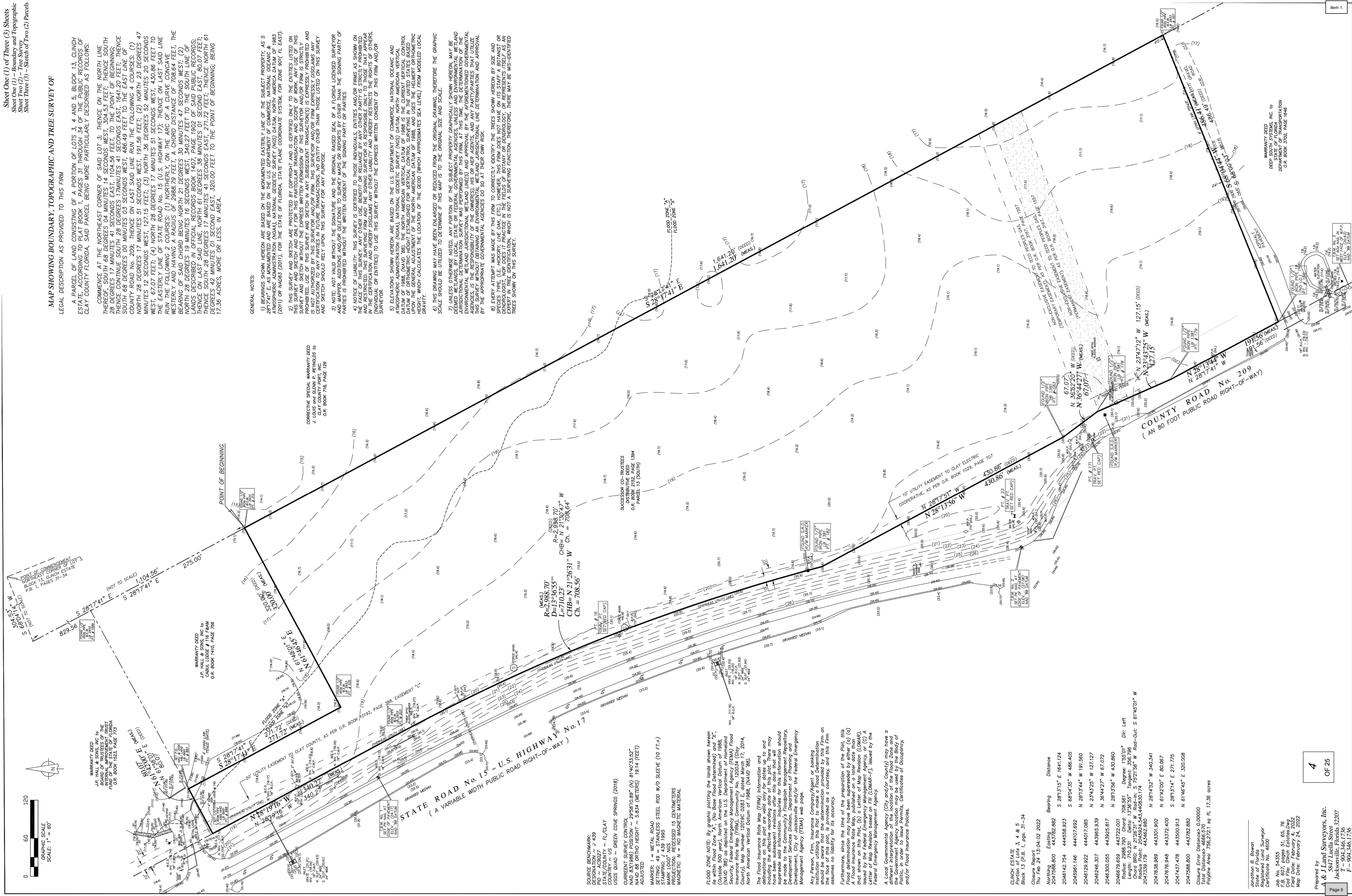
4) NOTICE OF LIABILITY: THIS SURVEY IS CERTIFIED TO THOSE INDIVIDUALS, ENTITIES AND/OR FIRMS AS SHOWN ON THE FACE OF THIS SURVEY, ANY OTHER USE, BENEFIT OR RELIANCE BY ANY OTHER PARTY IS STRICTLY PROHIBITED. THE NOTICE OF THIS SURVEY, ANY OTHER USE, BENEFIT OR RELIANCE BY ANY OTHER PARTY IS STRICTLY PROHIBITED. THE SURVEYING FIRM AND THE SIGNED SURVEYOR IS RESPONSIBLE ONLY TO THOSE THAT APPEAR IN THE CERTIFICATION AND HEREBY DISCLAIMS ANY OTHER LIABILITY AND HEREBY RESTRICTS THE RIGHTS OF OTHERS, (INDIVIDUAL OR ENTITIES) TO USE THIS SURVEY WITHOUT THE EXPRESS WRITTEN CONSENT OF THIS FIRM AND/OR SURVEYOR.

3) ELEVATIONS THUS HEREON ARE BASED ON THE U.S. DEPARTMENT OF COMMERCE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA) NATIONAL GEODETIC SURVEY (NGS) DATUM, NORTH AMERICAN VERTICAL DATUM OF 1988. THE NORTH AMERICAN VERTICAL DATUM OF 1988 IS THE CURRENT VERTICAL CONTROL DATUM OF 1988. (NAVD '88). THE NORTH AMERICAN VERTICAL DATUM OF 1988 IS THE UNITED STATES BASED DATUM OF 1988. THE DATUM OF 1988 IS ESTABLISHED FOR VERTICAL CONTROL SURVEYING IN THE UNITED STATES BASED ON THE GENERAL ADJUSTMENT OF THE NORTH AMERICAN DATUM OF 1988, AND USES THE HELMERT ORTHOMETRIC HEIGHT, WHICH CALCULATES THE LOCATION OF THE GEOID (WHICH APPROXIMATES SEA LEVEL) FROM MODELED LOCAL GRAVITY DATA.

6) THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED FROM THE ORIGINAL DRAWING, THEREFORE THE GRAPHIC SCALE SHOULD BE UTILIZED TO DETERMINE IF THIS MAP IS TO THE ORIGINAL SIZE AND SCALE.

7) UNLESS OTHERWISE NOTED, ANY PORTION OF THE SUBJECT PROPERTY GRAPHICALLY SHOWN HEREON, MAY BE DEEMED WETLANDS, BY LOCAL, STATE OR FEDERAL GOVERNMENTAL AGENCIES, UNLESS AND ENVIRONMENTAL WETLAND JURISDICTIONAL DETERMINATION SURVEY WAS PERFORMED BY THIS FIRM, AT THIS TIME. THE DETERMINATION OF THE ENVIRONMENTAL WETLAND JURISDICTIONAL WETLAND LINE(S) AND APPROVAL BY THE FOREMENTIONED GOVERNMENTAL AGENCIES IS THE RESPONSIBILITY OF SUCH AGENCIES. THIS OFFER OF SERVICE DOES NOT IMPLY THAT THE FIRM HAS THE AUTHORITY TO OBTAIN ANY PERMITS OR APPROVAL FROM ANY GOVERNMENTAL AGENCIES DO SO AT THEIR OWN RISK.

8) EVERY ATTEMPT WAS MADE BY THIS FIRM TO CORRECTLY IDENTIFY THE TREES SHOWN HEREON BY SIZE AND SPECIES TYPE, (I.E. HICKORY, LIVE OAK, ETC.). HOWEVER, THIS FIRM DOES NOT HAVE ON ITS STAFF A BOTANIST OR DENDROLOGIST, NOR DOES IT PRACTICE IN THE FIELDS OF BOTANY OR DENDROLOGY, OR REPRESENTS ITSELF AS AN EXPERT IN TREE IDENTIFICATION, WHICH IS NOT A SURVEYING FUNCTION. THEREFORE, THERE MAY BE MIS-IDENTIFIED TREES SHOWN ON THIS SURVEY.



PUNCH ESTATE		Section of Lots 3, 4 & 5		Block 13 (P.R.B. 1, pgs. 37-34)	
Closure Report		Thu Feb 24 13:04:02 2022			
Nothing	Easting	Bearing	Distance		
2047568.800	4445582.982	S 28°13'15" E	1641.124		
2046142.754	4445582.983	S 68°04'35" W	486.405		
2045961.146	444107.692	N 28°13'34" W	191.560		
2046129.922	44407.085	N 23°42'55" W	127.127		
2046246.307	443965.939	N 39°44'27" W	67.072		
2046300.085	443925.817	N 28°13'56" W	430.860		
2046729.988	443722.001	Radius: 2988.790	Chord: 708.561		
2047101.231	Delta: 13°56'55"	Length: 710.231	Tangent: 566.799		
2045924.543	Chord Bore: 2045924.543	Chord Bore: 7521'56" W	Chord Bore: 7521'56" W		
2047339.179	443462.980	N 28°14'52" W	340.341		
2047638.989	443301.902	N 61°42'00" E	80.067		
2047676.948	443372.400	S 28°13'15" E	172.175		
2047437.478	443500.913	N 61°46'51" E	320.008		

Closure Error Distance> 0.00000  
Total Distance> 4666.570  
Polyline Area: 756,272.1 sq ft, 17.36 acres

Jonathon B. Bowan  
State of Florida  
Registered Land Surveyor  
Certificate No. 4600

Job No. 54355  
F.B. 607, pages 51, 65, 76  
Cad File: Clinch Estates.Dwg  
Field Date: February 4, 2022  
Map Date: February 24, 2022

prepared by  
**A & J Land Surveyors, Inc.**  
5847 Luella Street  
Jacksonville, Florida 32207  
T ~ 904.346.1736  
F ~ 904.346.1736

PROJECT: 2024-03-26-05  
GREEN CODE MULTI-FAMILY HOUSING CONSTRUCTION DOCUMENTS 2024 - EROSION CONTROL AND DEMOLITION PLAN 15-31-2024 4:57 PM, Dwg. Scale: EL MATTHEWS DESIGN GROUP, INC.  
SHEET NO. 5 OF 25

GENERAL NOTES

SEE THE ATTACHED STORM WATER PREVENTION PLAN SHEETS FOR MORE DETAILS.

DUST CONTROL

VEGETATIVE COVER - FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC.  
SPRINKLING - THE SITE AND DIRECT ACCESS ROADS WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TO CONTROL DUST ONSITE AND ALONG HAUL ROADS.

OFFSITE VEHICLE TRACKING & OPERATIONS

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS.  
THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE.  
DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/AULIN.

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

GOOD HOUSEKEEPING THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

\* AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB

\* ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.

\* PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.

\* SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.

\* WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

\* MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

\* THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS RECEIVE PROPER USE AND DISPOSAL.

ALL SILT FENCE MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CLEARING AND CONSTRUCTION.

LEGEND

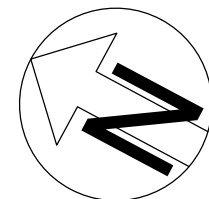
- PARCEL BOUNDARY
- ROAD WAY CENTERLINE
- TREE PROTECTION
- TREE TO BE REMOVED
- BORE LOCATION
- WATTLE INLET PROTECTION
- HAY BALE BARRIER
- SILT FENCE

HATCH LEGEND

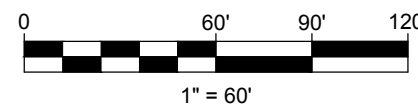
WETLANDS	
TO BE REMOVED	

NOTE:  
ANY DAMAGE OR REMOVED SIGNS DUE TO CONSTRUCTION, SHALL BE REPLACED OR REINSTALLED PER CURRENT FDOT DESIGN STANDARDS INDEX NO. 700-010 AND 700-101.

LANDSCAPING NOTE:  
ANY EXISTING TREE WITHIN THE SILT FENCE LIMITS ARE TO BE REMOVED.

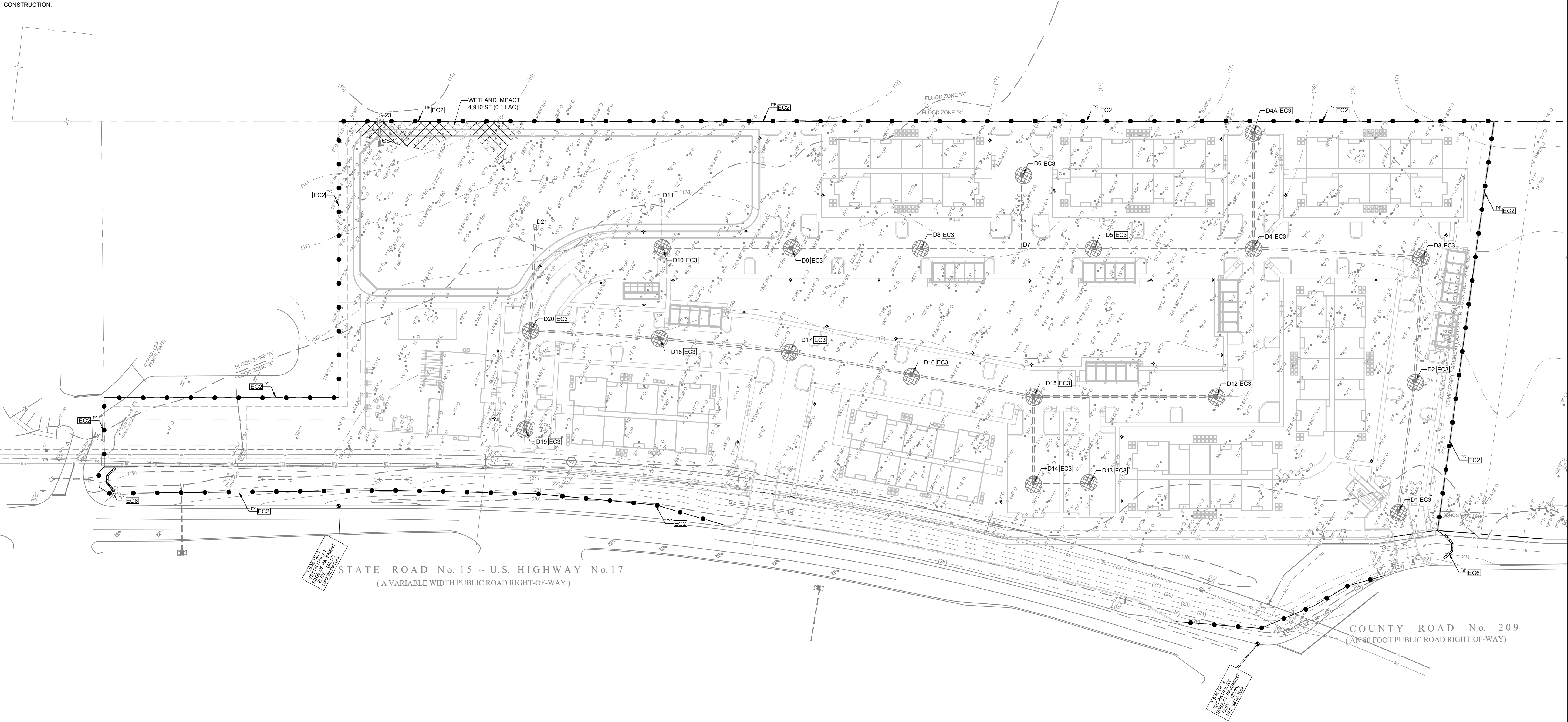


GRAPHIC SCALE



EROSION CONTROL & DEMOLITION DETAILS

- EC1 STABILIZED CONSTRUCTION ENTRANCE
- EC2 TYPE III SILT FENCE
- EC3 WATTLE INLET PROTECTION
- EC6 HAY BALE BARRIER CONSTRUCTION DETAILS



EROSION CONTROL & DEMOLITION PLAN  
PRESERVEAT GREEN COVE SPRINGS  
CITY OF GREEN COVE SPRINGS  
PREPARED FOR  
PC ACQUISITION LLC

Matthews **DECM**  
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ST. AUGUSTINE, FL 32084  
PHONE: 904.826.1334 • FAX: 904.826.4547  
INFO@MDGNC.COM

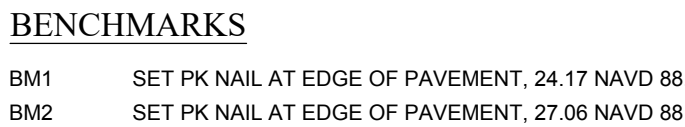
DESIGN BY:		DTS		REVISIONS	
WG BY:		DTS		NO.	DATE
CHK BY:		ARA			
DATE:	03-12-25				
JOB No.:	22034				

PROPOSED BUILDING TABLE						
AREA DESCRIPTION	GROSS FOOTPRINT (SF)	QUANTITY	TOTAL GROSS FOOTPRINT (SF)	MEAN HEIGHT	APPROX. BUILDING LENGTH (FT)	APPROX. BUILDING WIDTH (FT)
TYPE 3.3 MULTIFAMILY TOTAL FLOOR AREA	35,594.0	2	71,188.0	54.0	157.0	80.0
TYPE 4.2 MULTIFAMILY TOTAL FLOOR AREA	47,840.0	3	143,520.0	54.0	157.0	80.0
TYPE 4.3 MULTIFAMILY TOTAL FLOOR AREA	47,552.0	2	95,104.0	59.0	157.0	80.0
CLUBHOUSE	5,217.0	1	5,217.0	18.9	96.0	54.3
MAIL KIOSK & PACKAGE ROOM	487.7	1	487.7	10.2	25.6	19.0
GARAGES, FHA	1,403.0	6	7,015.0	10.9	61.0	23.0
MAINTENANCE / PET WASH	920.0	1	920.0	10.5	40.0	23.0
DUMPSTER ENCLOSURE	640.0	1	640.0	8.7	40.0	16.0
TOTAL BUILDINGS			324,091.70 SF			

PARKING CALCULATIONS			
USE: MULTI FAMILY	=	1.76 SPACE PER	1 UNIT
1, 2, & 3 BEDROOM UNITS	=	260 UNITS	457 SPACES
TOTAL REQUIRED	=	457 SPACES	
PROPOSED STANDARD PARKING	=	437 SPACES	
PROPOSED GARAGE PARKING	=	30 SPACES	
TOTAL PROVIDED	=	467 SPACES	
ADA REQUIRED	=	9 SPACES	
ADA PROVIDED	=	20 SPACES	

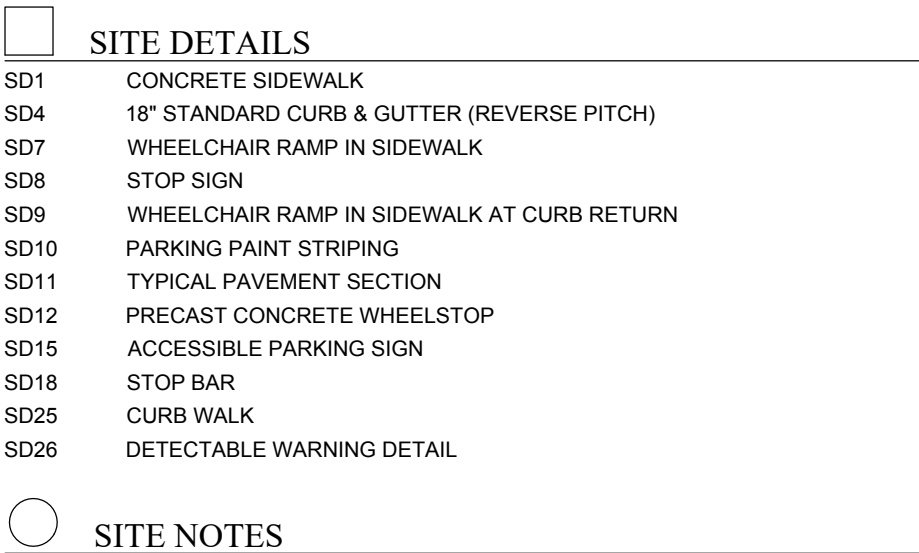
## SIGNAGE NOTES

1.	MONUMENT SIGNAGE FINAL PLACEMENT AND ORIENTATION IS SUBJECT TO CHANGE WITH FINAL CONSTRUCTION PLAN DESIGN.
2.	SIGNAGE SHALL MEET THE APPLICABLE REQUIREMENTS OF THE PUD AND THE CITY OF GREEN COVE SPRINGS CODE SECTION 125-13 AND 125-14
3.	SIGNAGE WILL HAVE A MAXIMUM HEIGHT OF 12' AND A MAXIMUM ADVERTISING DISPLAY AREA OF 45 SQUARE FEET
4.	SIGNAGE MAY BE INTERNALLY OR EXTERNALLY ILLUMINATED



DSGN BY:	DTS
DWG BY:	DTS
CHK BY:	ARA
DATE:	03-12-25
JOB No.:	22034

MASTER SITE PLAN  
PRESERVEAT GREEN COVE SPRINGS  
CITY OF GREEN COVE SPRINGS  
PREPARED FOR  
PC ACQUISITION LLC



- | GENERAL NOTES |  |
|---------------|--|
| 1.            | ALL DIMENSIONS ARE LISTED TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB. |
| 2.            | ALL RADII ARE 5' UNLESS OTHERWISE NOTED.                               |

NO.	DATE	DESCRIPTION	REVISIONS
00-00-00-00	00-00-00-00	00-00-00-00	
00-00-00-00	00-00-00-00	00-00-00-00	
00-00-00-00	00-00-00-00	00-00-00-00	
00-00-00-00	00-00-00-00	00-00-00-00	

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DWG BY:	DTS
CHK BY:	ARA
DATE:	03-12-25
JOB No.:	22034

**Matthews** | **DDCM**

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INFO@MDGMC.COM

**SITE PLAN**

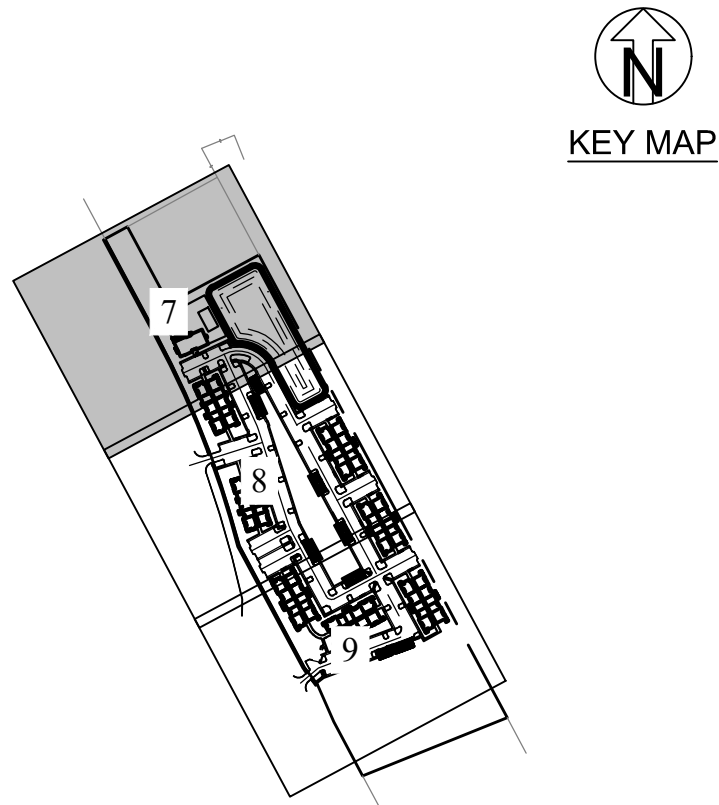
**PRESERVE/AT GREEN COVE SPRINGS**

**CITY OF GREEN COVE SPRINGS**

PREPARED FOR

DC ACQUISITION, LLC

SHEET No.:  
7  
OF 25



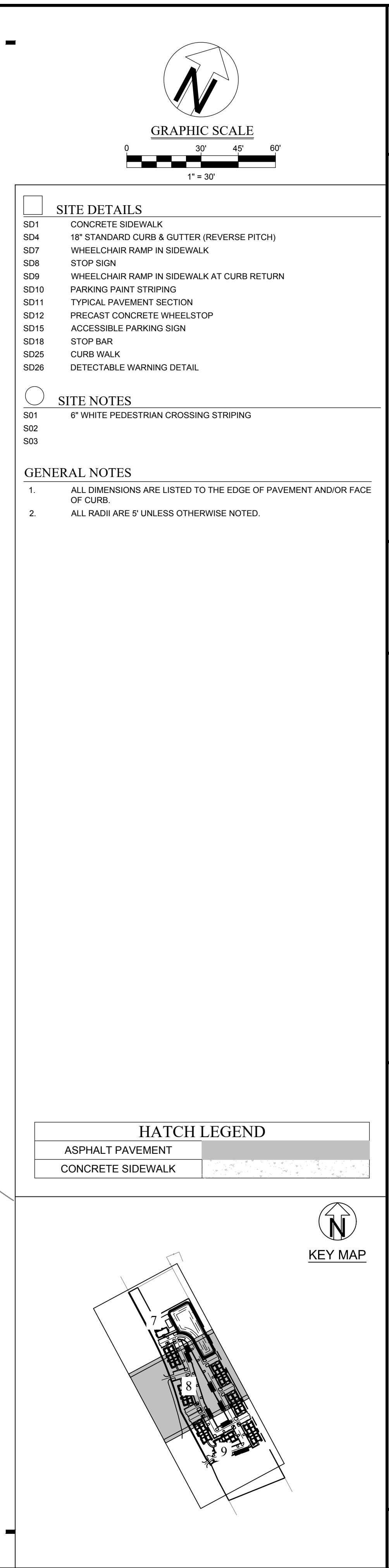
  
KEY MAP

HATCH LEGEND	
ASPHALT PAVEMENT	
CONCRETE SIDEWALK	

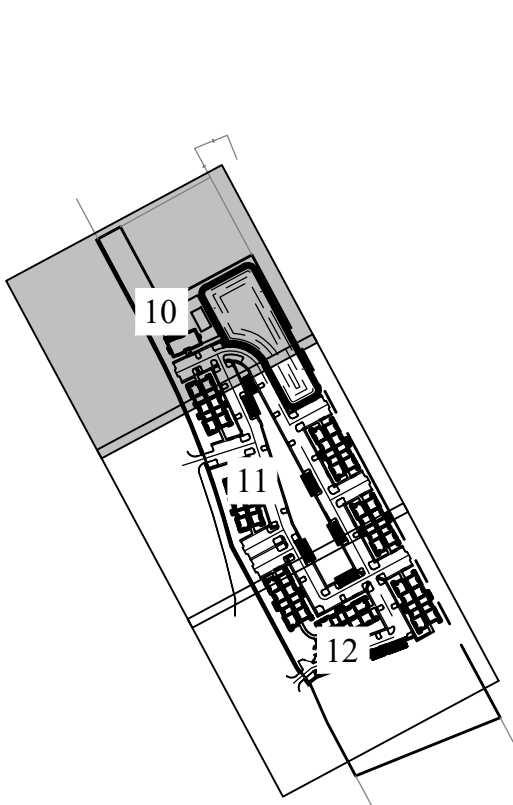
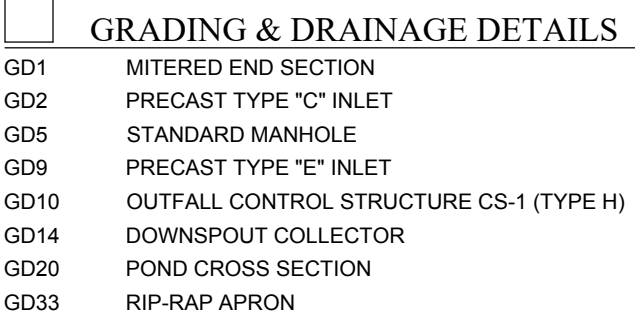
MATCH LINE: SEE SHEET 8

T.B.M. No. 1  
SET PK NAIL AT  
EDGE OF PAVEMENT  
ELEV. ... (24.17)  
NAD '88 DATUM

STATE ROAD No. 15 ~ U.S. HIGHWAY No. 17  
(A VARIABLE WIDTH PUBLIC ROAD RIGHT-OF-WAY)







US001 BT:	DTS		REVIEWS	
	DWG BY:	DTS	NO.	DESCRIPTION
CHK BY:	ARA			
DATE:	03-12-25			
JOB No.:	22034			

**Matthews** | **DCCM**

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GRADING & DRAINAGE PLAN

PRESERVEAT GREEN COVE SPRINGS

CITY OF GREEN COVE SPRINGS

PREPARED FOR

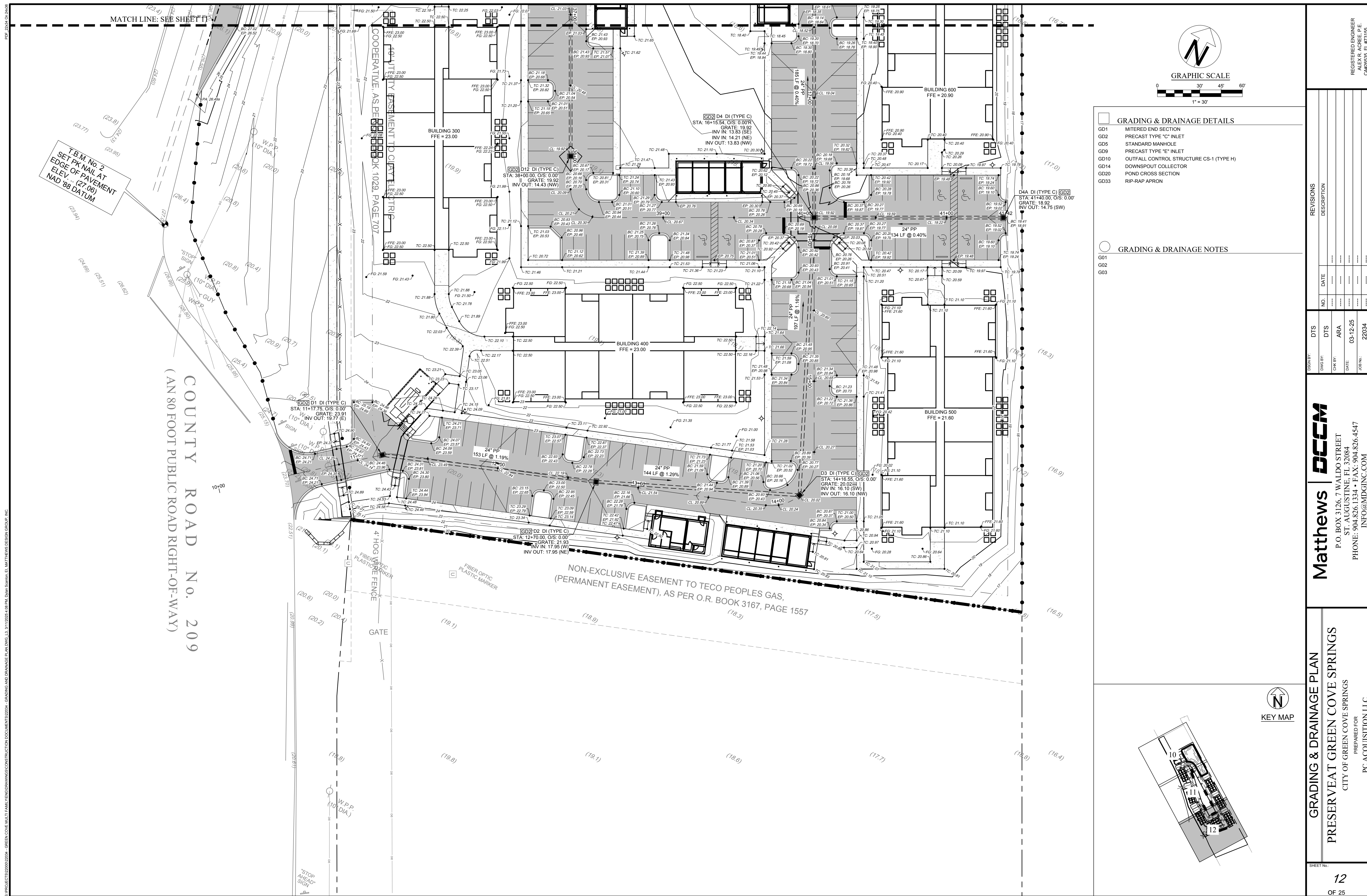
PC ACQUISITION LLC

SHEET No.:

*10*

OF 25





PIPE TABLE				
PIPE	SIZE	MATERIAL	LENGTH	SLOPE
SP1	8"	PVC SDR26	76'	0.40%
SP2	8"	PVC SDR26	270'	0.40%
SP3	8"	PVC SDR26	205'	0.40%
SP4	8"	PVC SDR26	130'	0.40%
SP5	8"	PVC SDR26	68'	0.40%
SP6	8"	PVC SDR26	201'	0.40%
SP7	8"	PVC SDR26	90'	0.40%
SP8	8"	PVC SDR26	156'	0.40%
SP9	8"	PVC SDR26	392'	0.40%
SP10	8"	PVC SDR26	191'	0.40%
SP11	8"	PVC SDR26	16'	0.40%

[illegible]

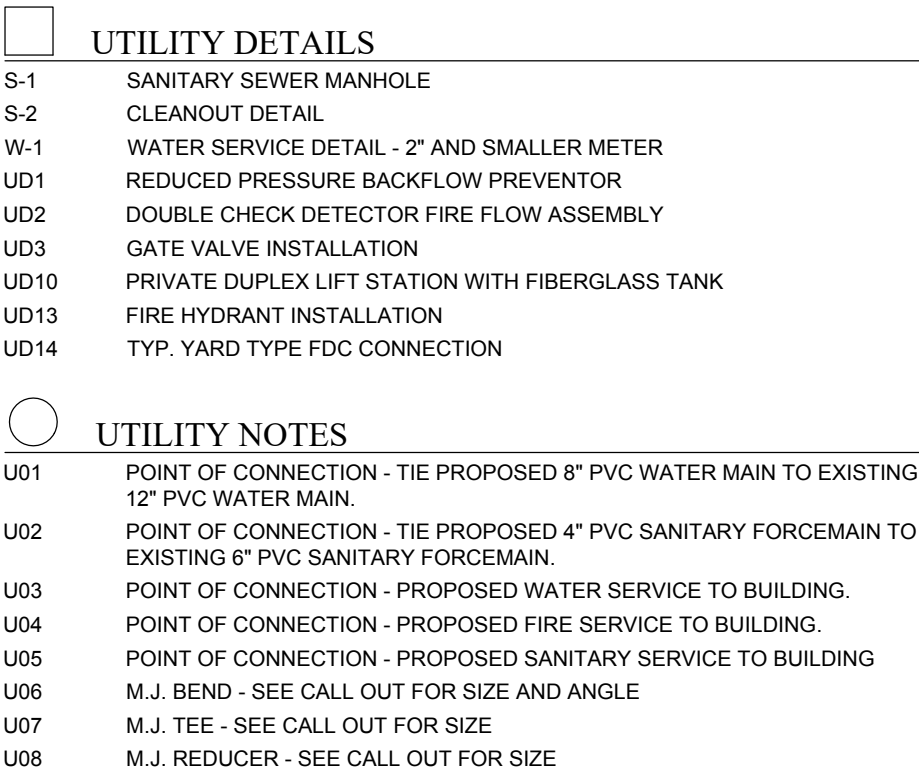
**Matthews** | **DCCM**

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MASTER UTILITY PLAN  
PRESERVEAT GREEN COVE SPRINGS  
CITY OF GREEN COVE SPRINGS  
PREPARED FOR  
PC ACQUISITION LLC

SHEET No.:  
**13**  
OF 25

[illegible]

DSGN BY:	DTS
DWG BY:	DTS
CHK BY:	ARA
DATE:	03-12-25
JOB No.:	22034

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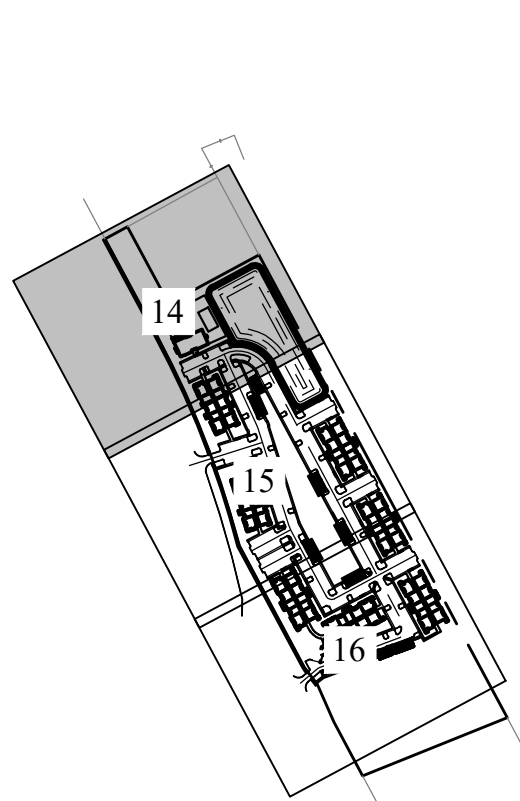
UTILITY PLAN

PRESERVE/AT GREEN COVE SPRINGS

CITY OF GREEN COVE SPRINGS

PREPARED FOR  
PC ACQUISITION LLC

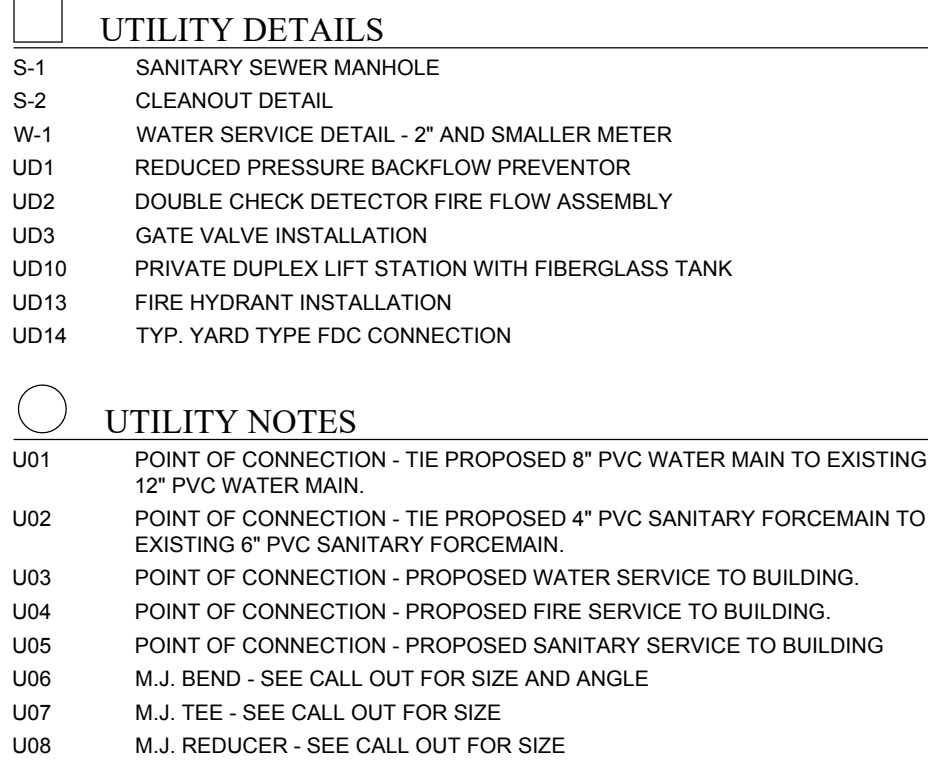
SHEET No. 14 OF 25



KEY MAP

MATCH LINE: SEE SHEET 15





REVISIONS	
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DSGN BY:	DTS
DWG BY:	DTS
CHK BY:	ARA
DATE:	03-12-25
JOB No.:	22034

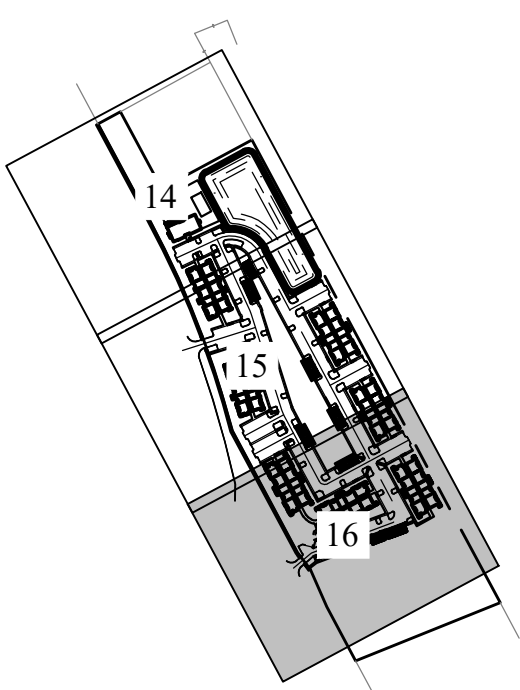
**Matthews** | **DCCM**

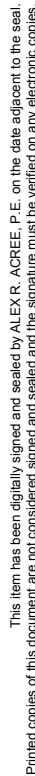
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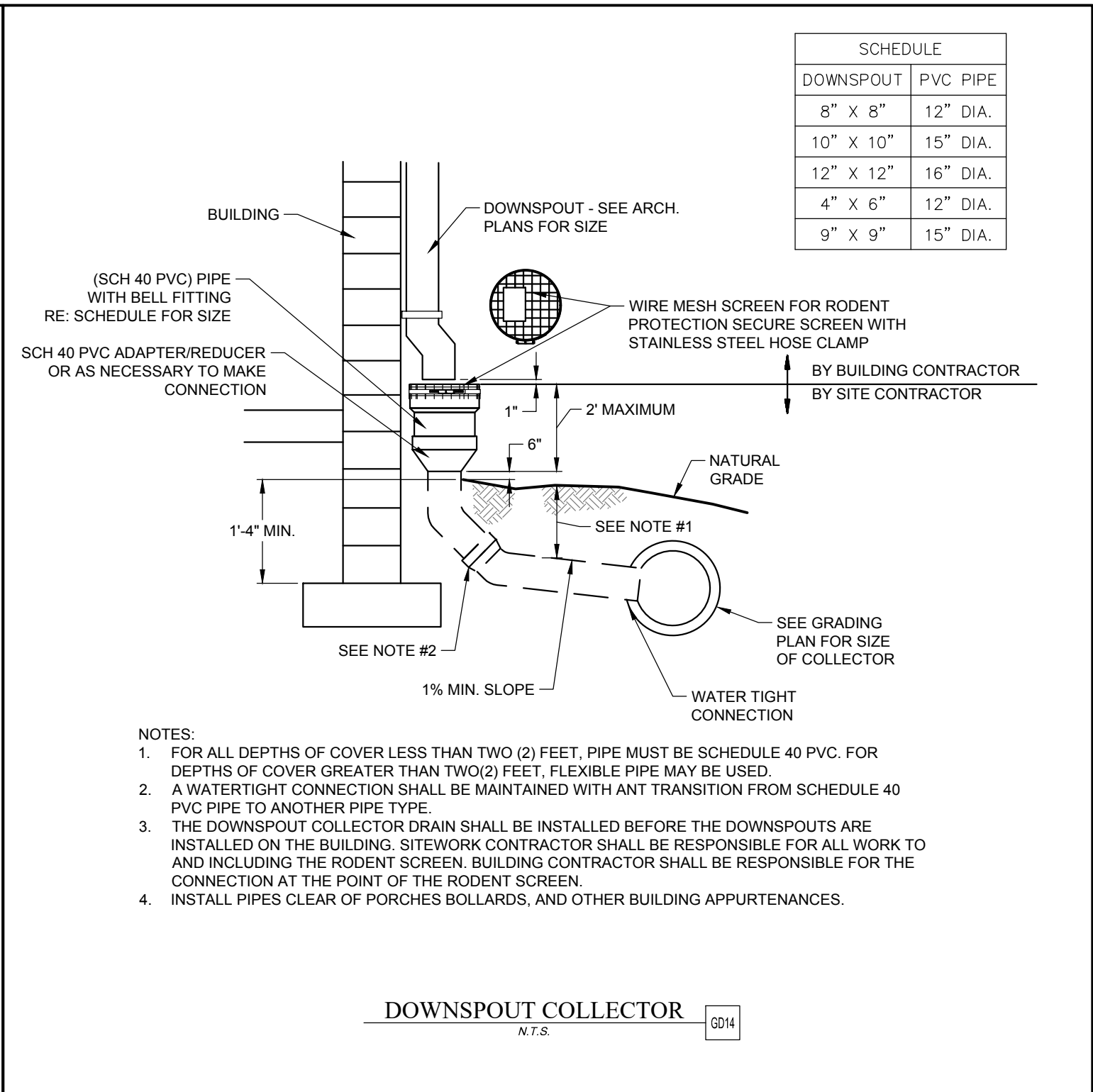
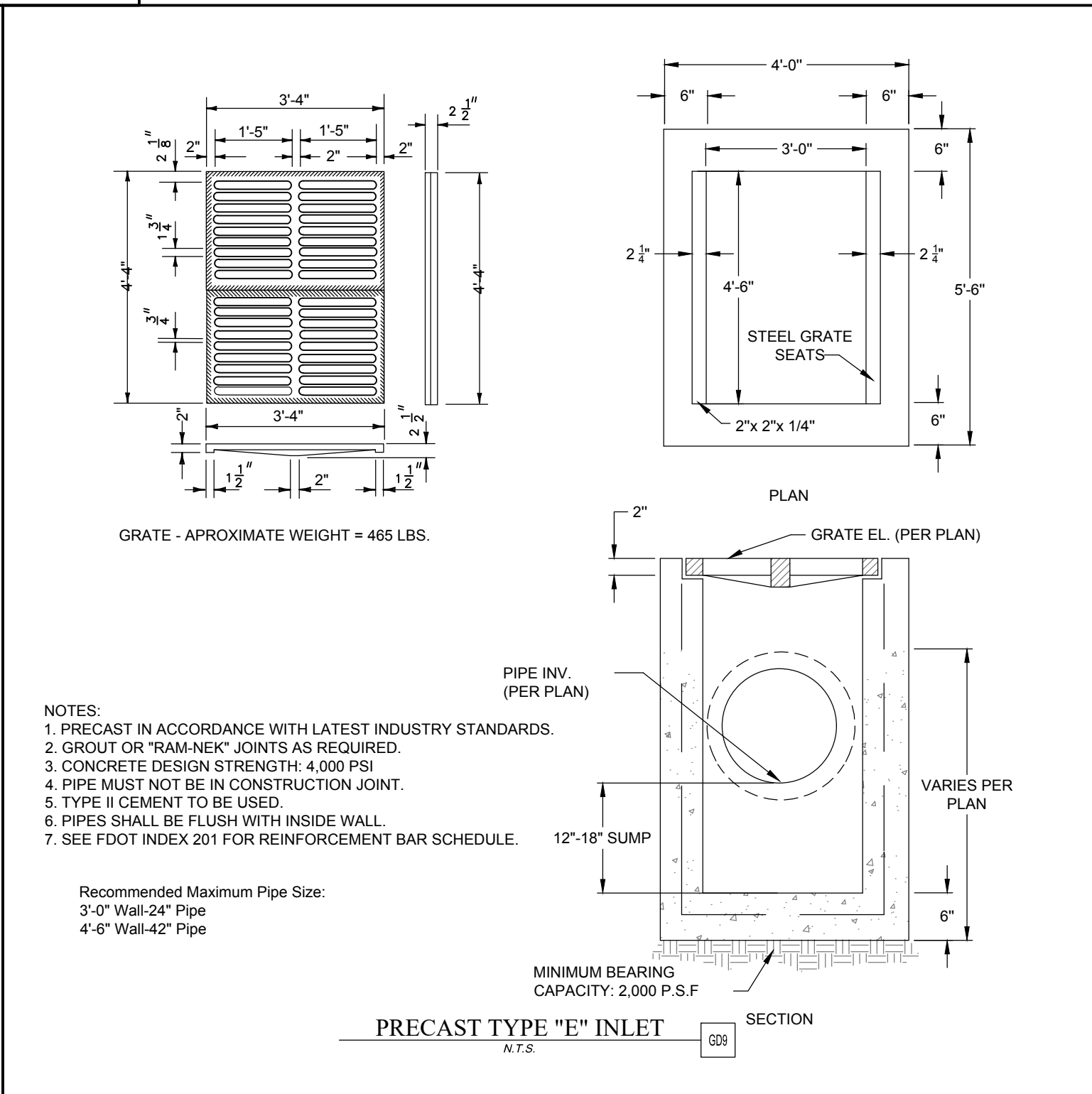
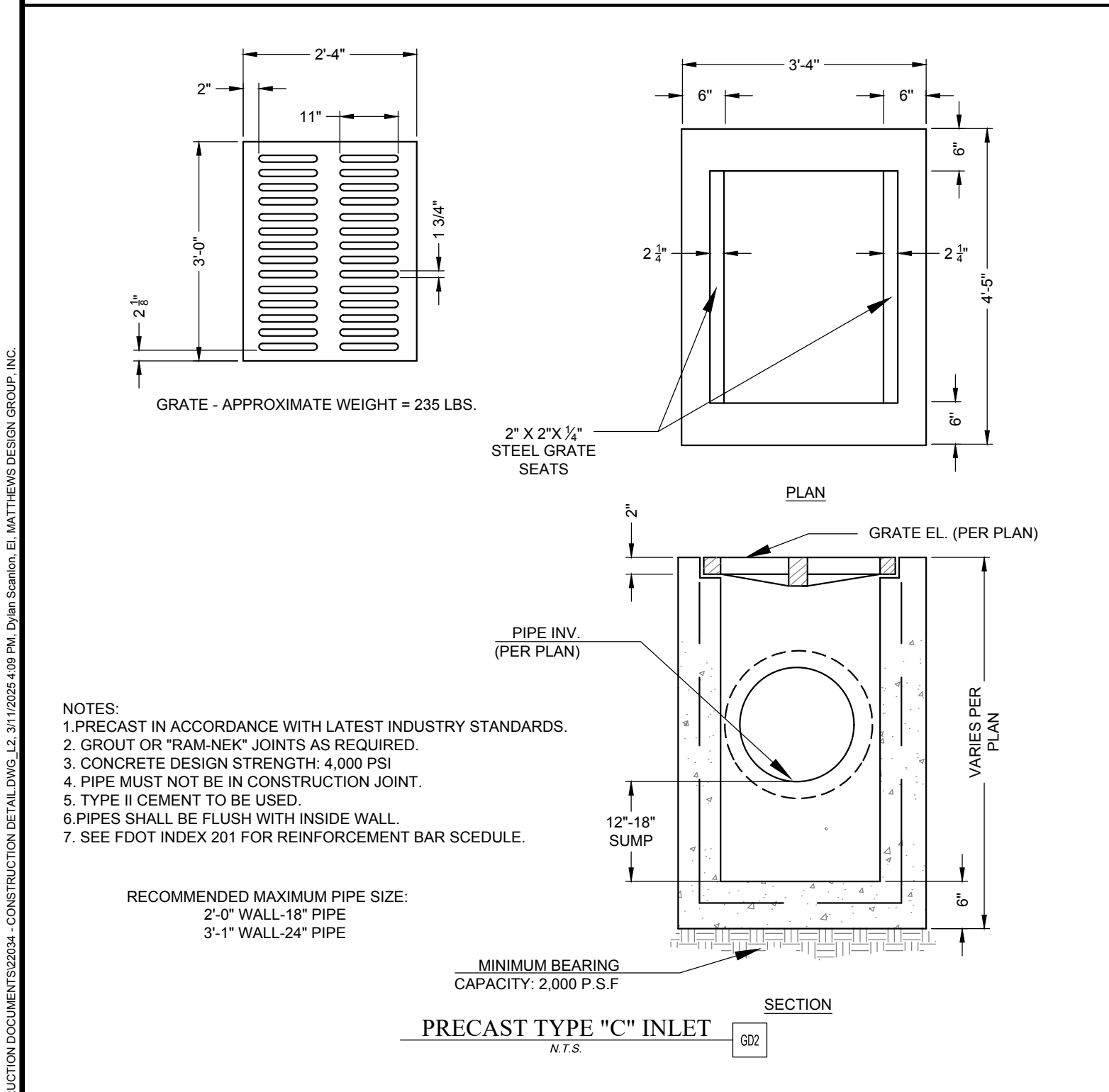
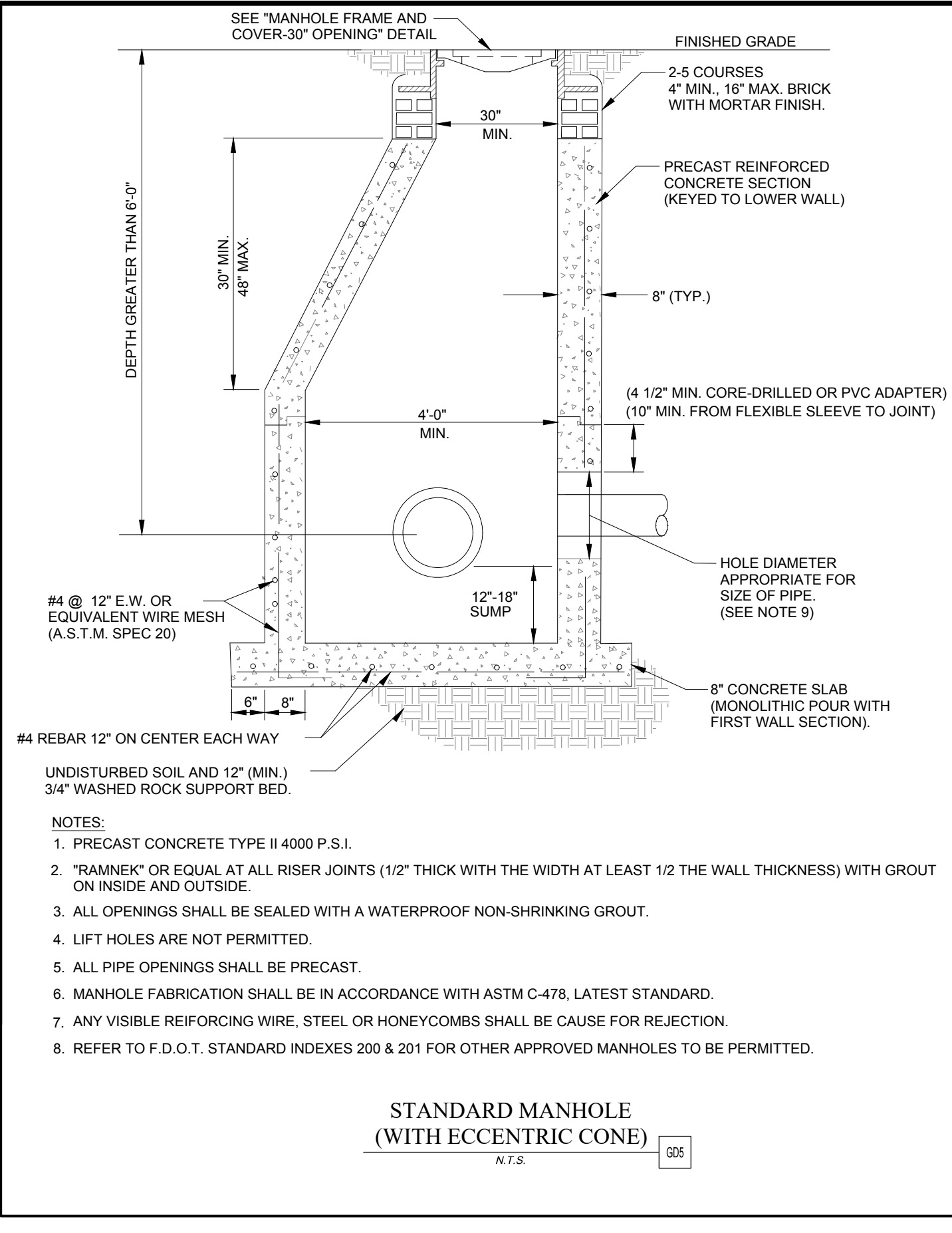
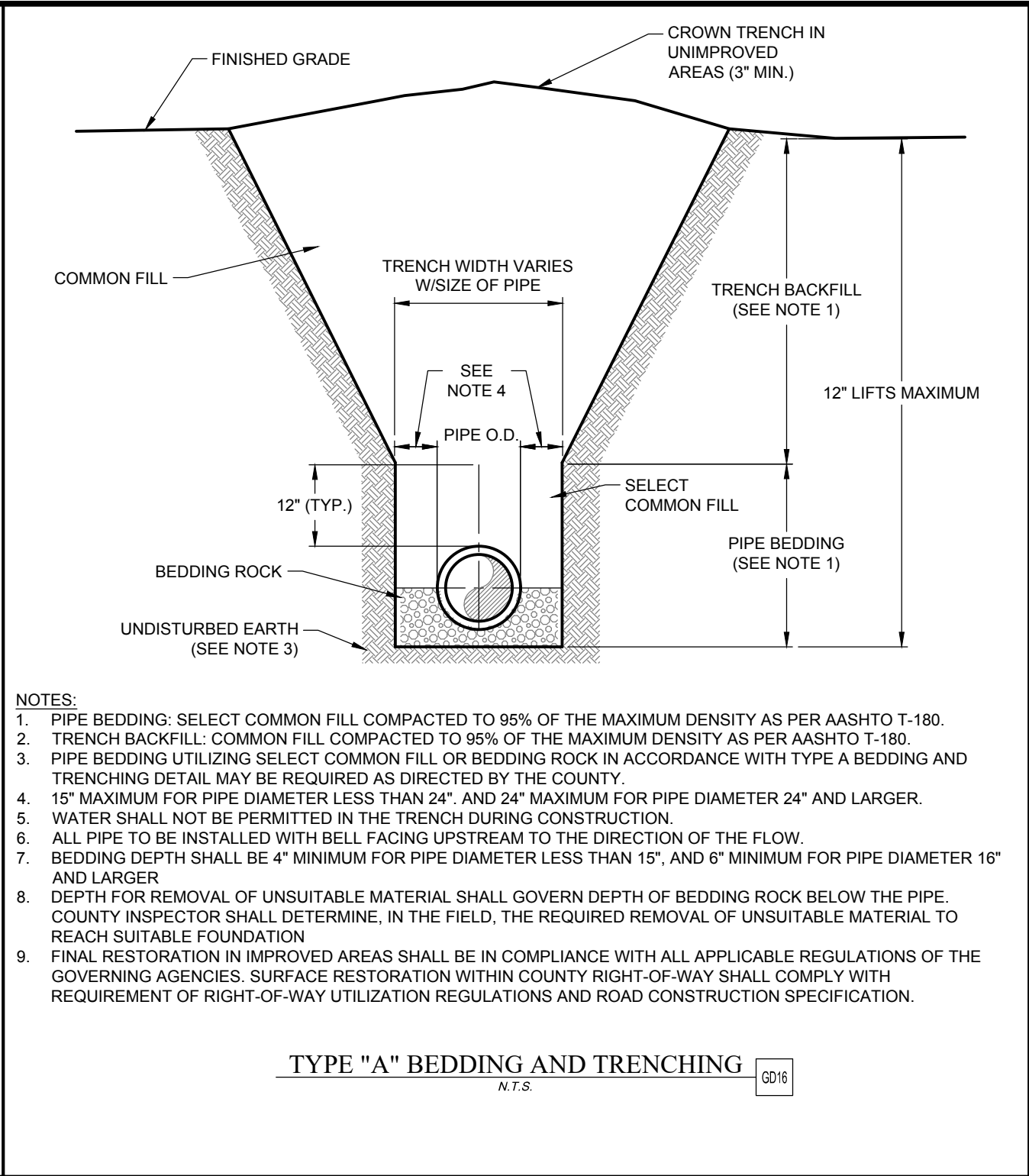
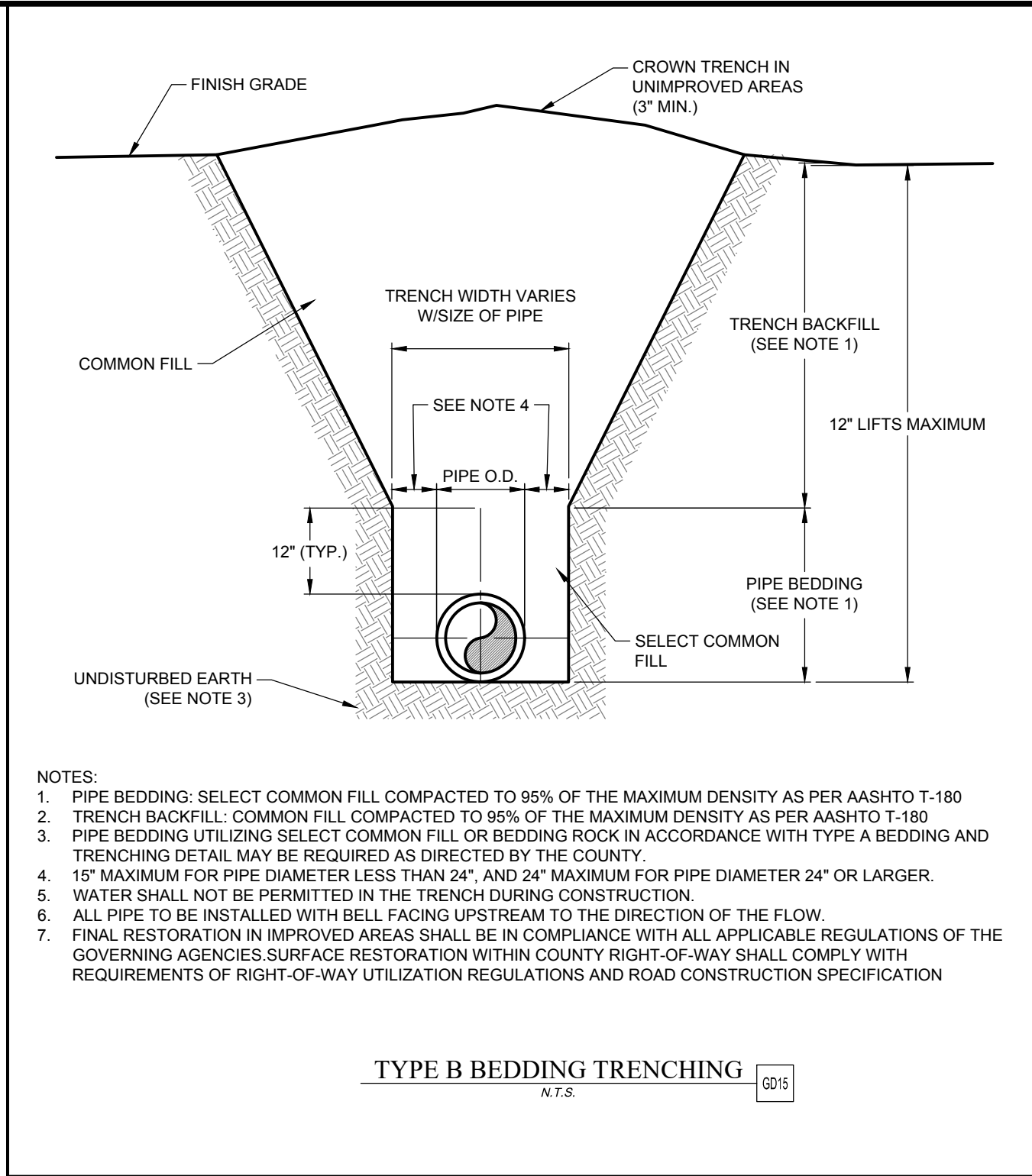
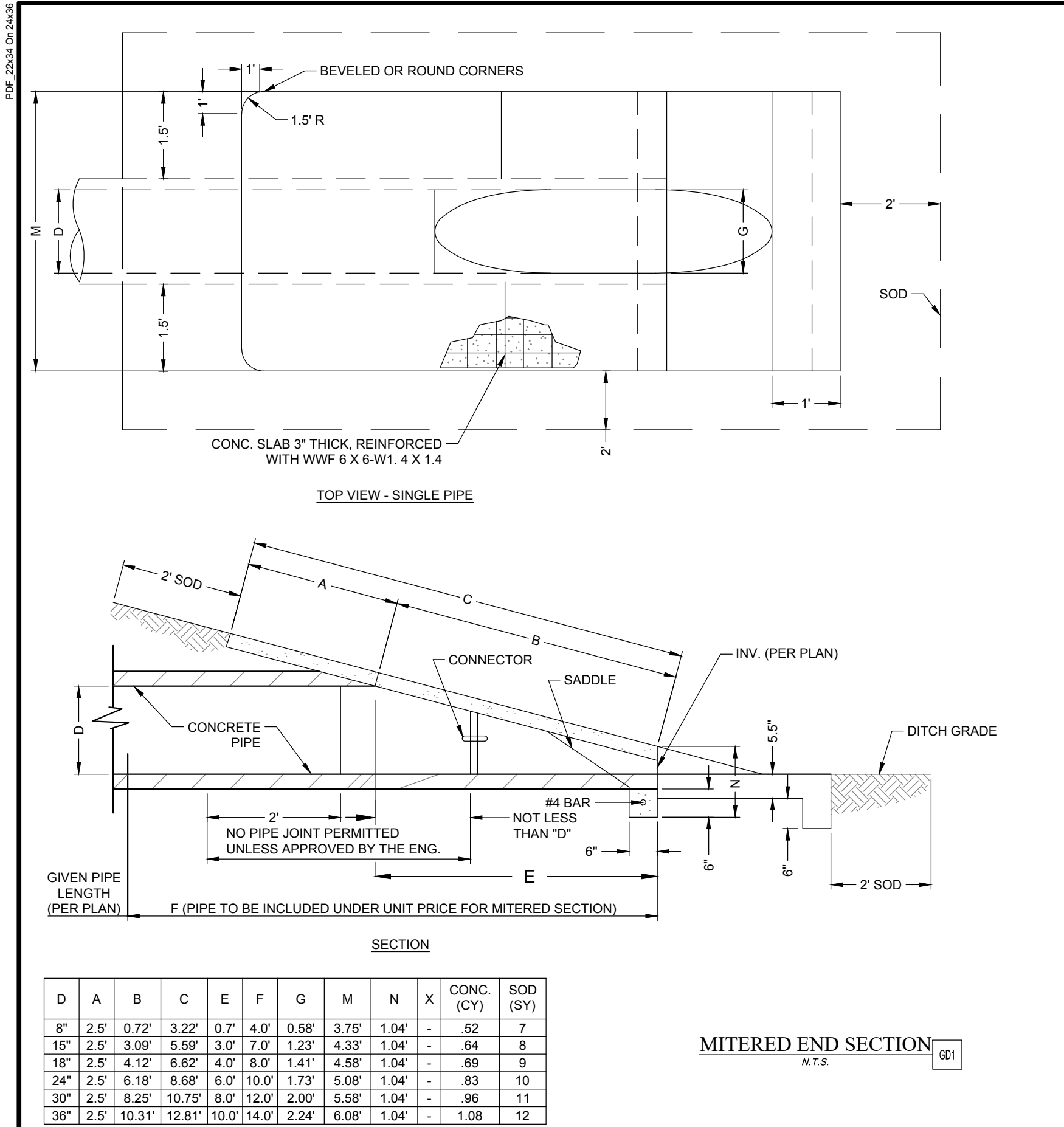
UTILITY PLAN  
PRESERVEAT GREEN COVE SPRINGS  
CITY OF GREEN COVE SPRINGS  
PREPARED FOR  
PC ACQUISITION LLC

SHEET No.:  
**16**  
OF 25





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REVISIONS

NO.	DATE	DESCRIPTION

DESIGN BY

DRAWN BY

CHECK BY

DATE

JOB NO.

DTS

DTS

ARA

03-12-25

22034

REGISTERED ENGINEER

E. E. CAPRESS, FL #7535

CONSTRUCTION DETAILS

PRESERVEAT GREEN COVE SPRINGS

CITY OF GREEN COVE SPRINGS

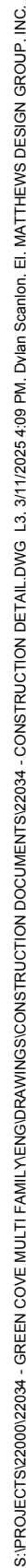
PREPARED FOR

PC ACQUISITION LLC

SHEET NO.:

18

OF 25

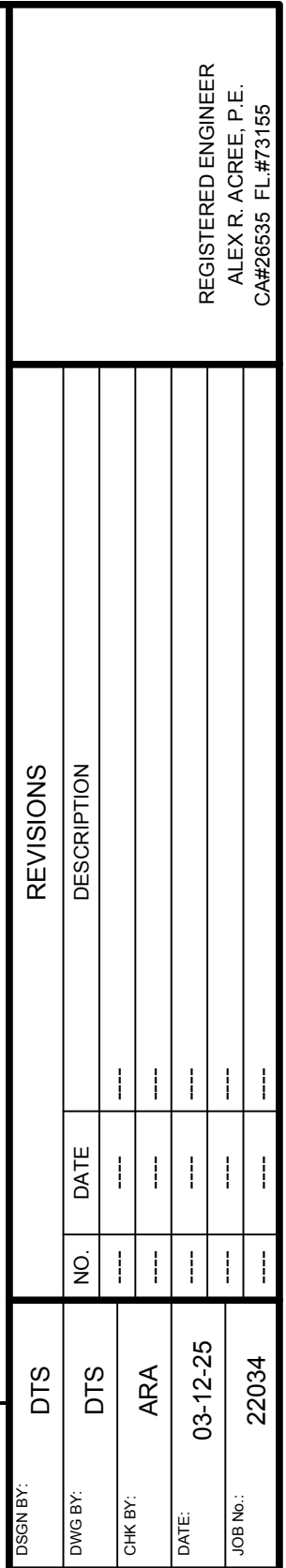


**Matthews** | **DCCM**

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INFO@MDGING.COM

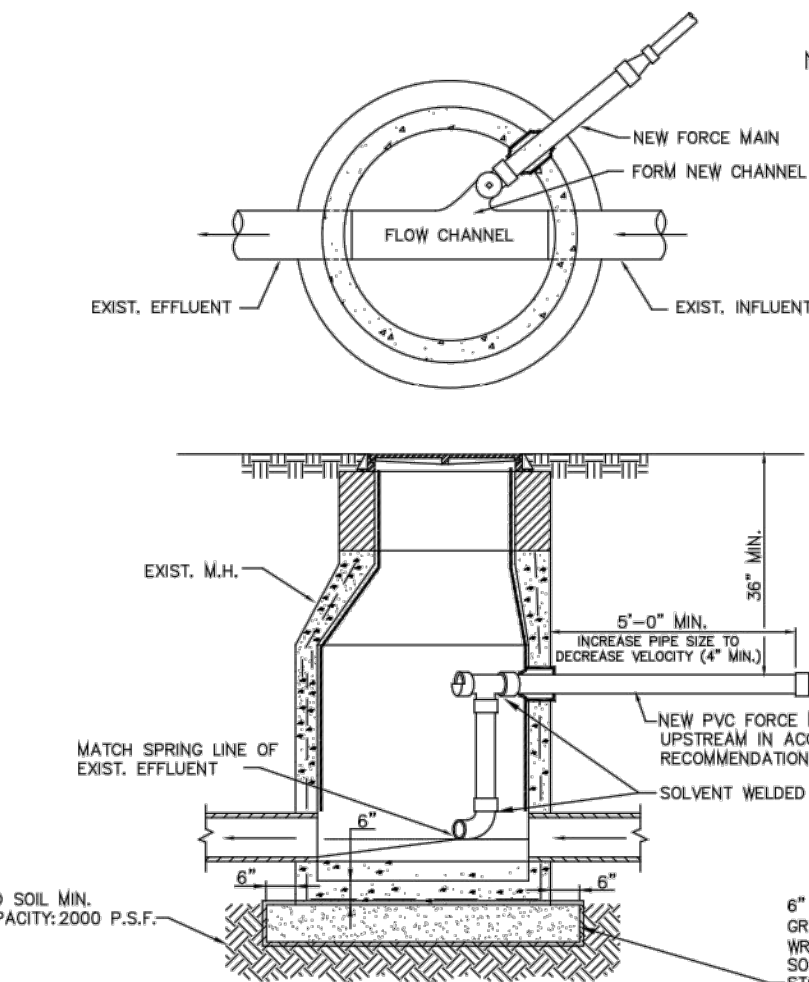
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Page 25



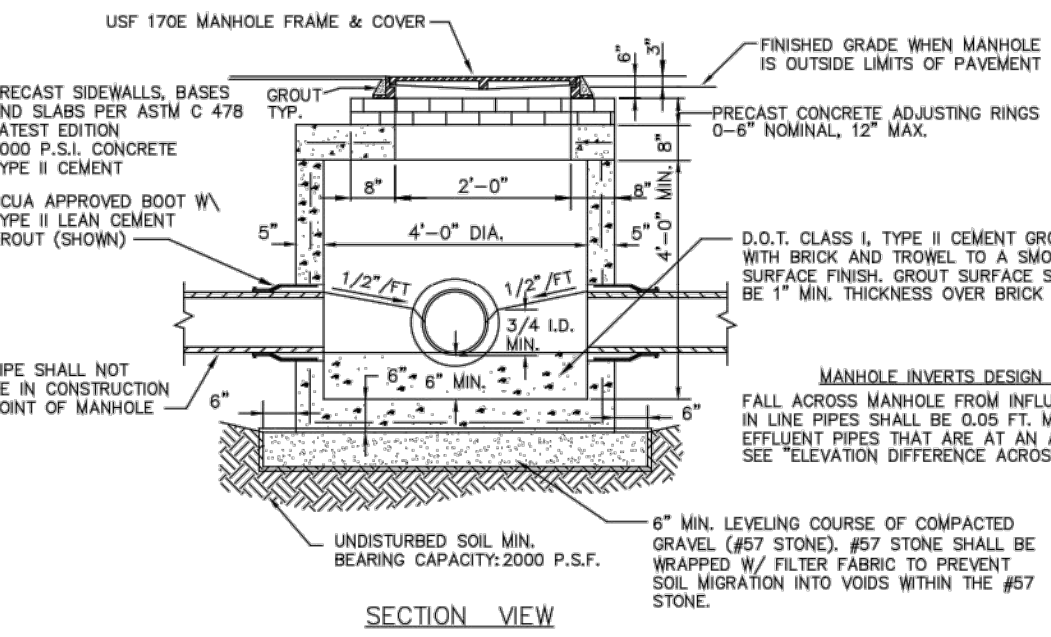


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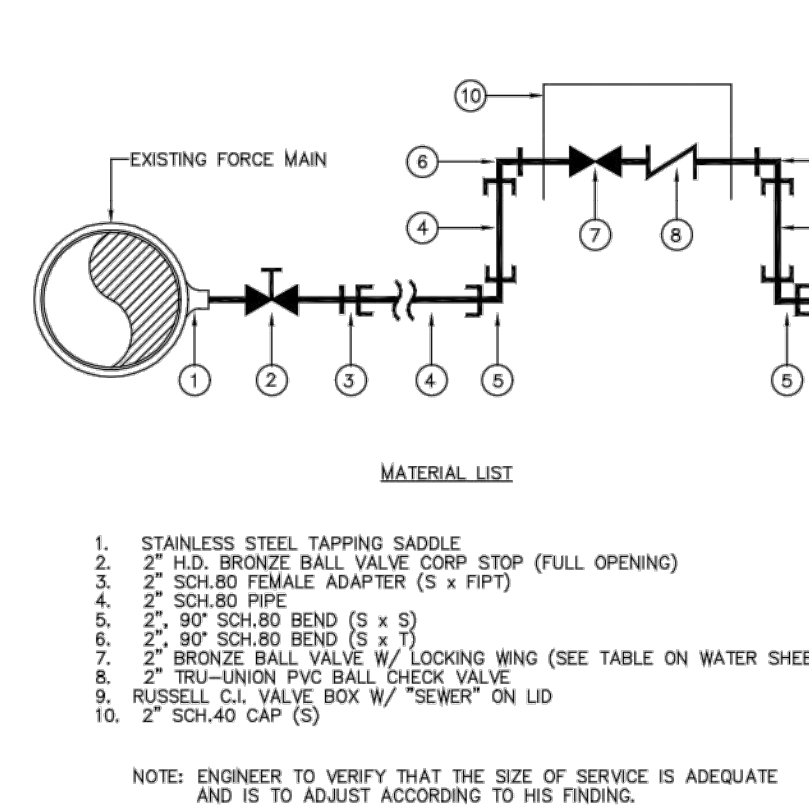


TYP. FORCE MAIN CONNECTION TO MANHOLE

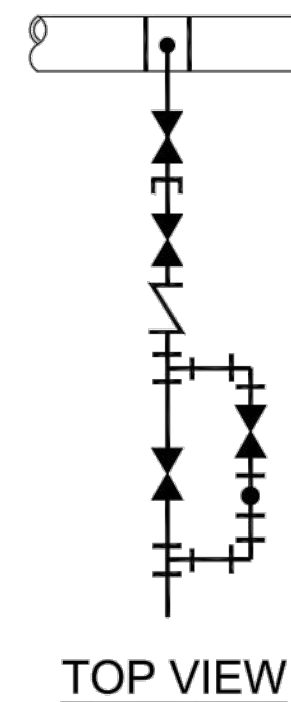
- NOTE: 1. THIS MANHOLE AND THE NEXT TWO MANHOLES DOWNSTREAM (AS REQUIRED BY UTILITY) ARE TO HAVE POLYETHYLENE LINER AS MANUFACTURED BY STANDARD PRECAST CO. (AGRI SURE CRP) OR APPROVED EQUAL.
2. IF CONNECTION IS BEING MADE TO AN EXISTING MANHOLE, THAT MANHOLE AND THE NEXT TWO MANHOLES DOWNSTREAM (AS REQUIRED BY UTILITY), SHALL BE LINED WITH "SPRETRASHED" OR APPROVED EQUAL.
3. SIZE OF DROP PIPE CONNECTION TO MANHOLE SHALL BE DESIGNED BY THE PROJECT ENGINEER. MINIMUM SIZE SHALL BE 4" CONNECTION AND DROP PIPE SHALL BE SIZED TO REDUCE THE VELOCITY AND PREVENT "SPASHOVER" WITHIN THE MANHOLE. 5'-0" MINIMUM DISTANCE FROM MANHOLE TO REDUCER MAY BE INCREASED TO ASSIST IN THIS VELOCITY REDUCTION.



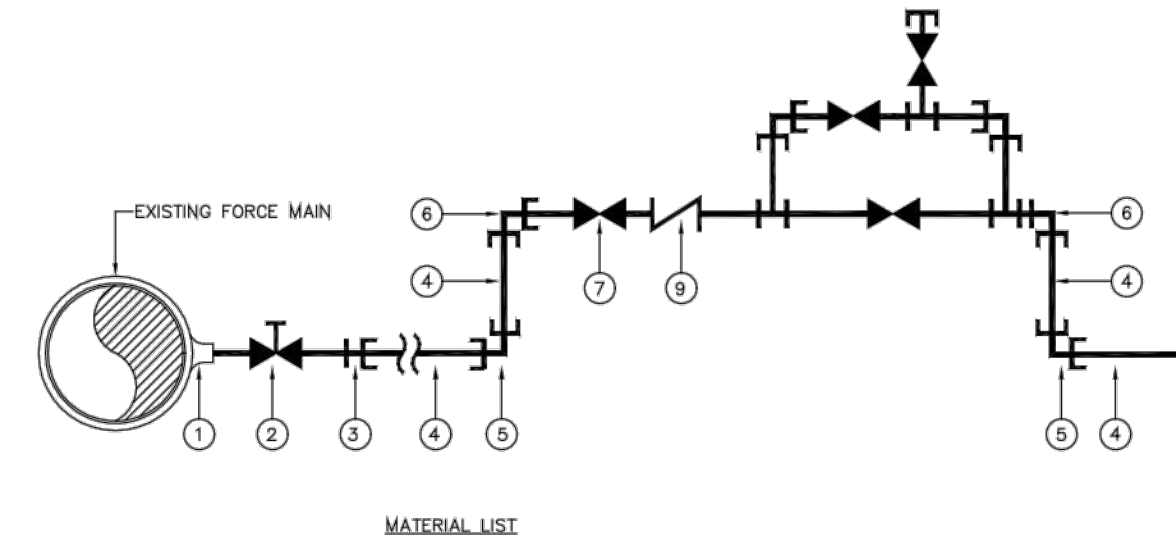
SHALLOW SANITARY SEWER MANHOLE



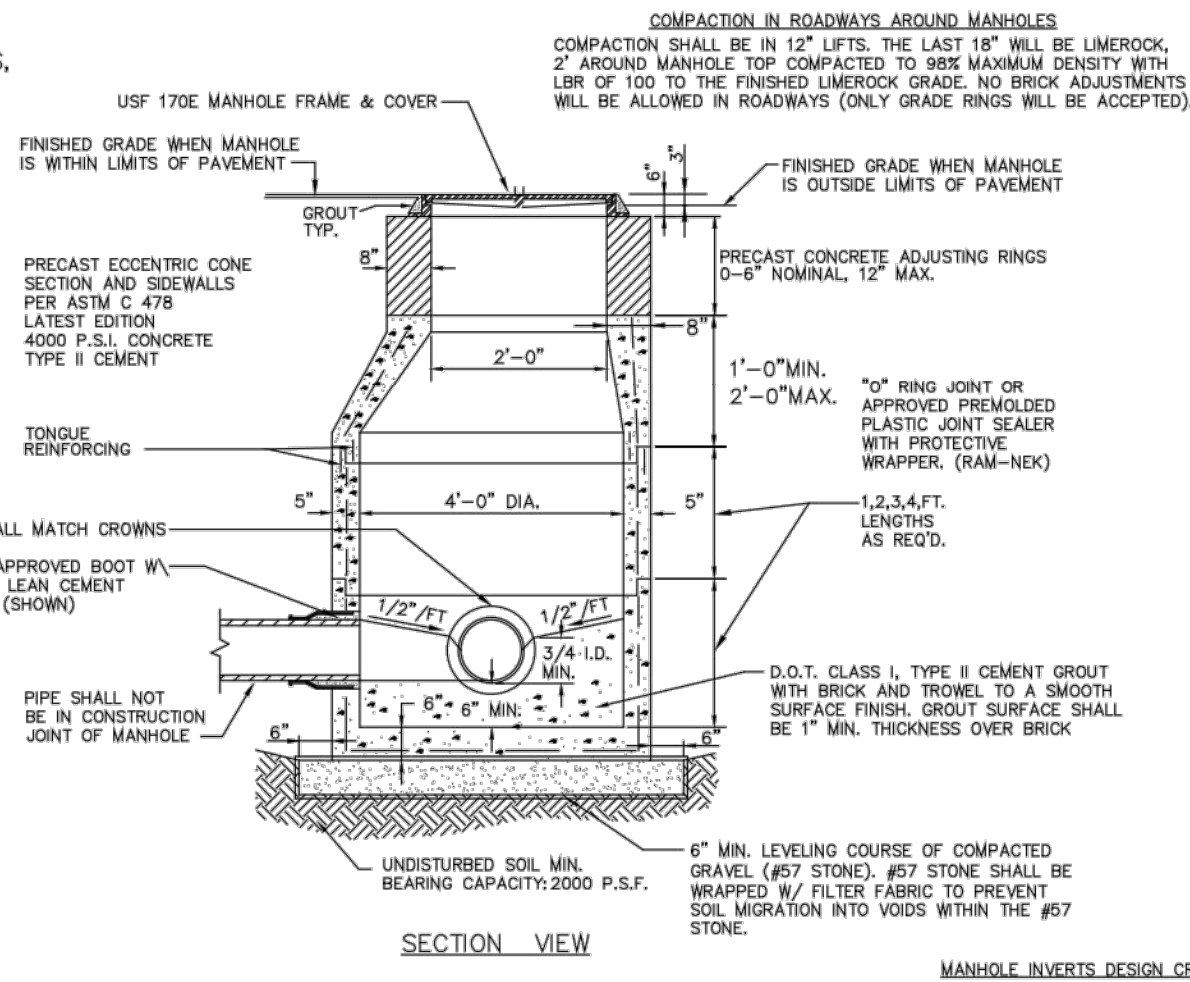
2" SEWAGE FORCE MAIN MANIFOLD SERVICE CONNECTION DETAIL FOR MEDIUM TO HIGH PRESSURE CONNECTION SYSTEMS



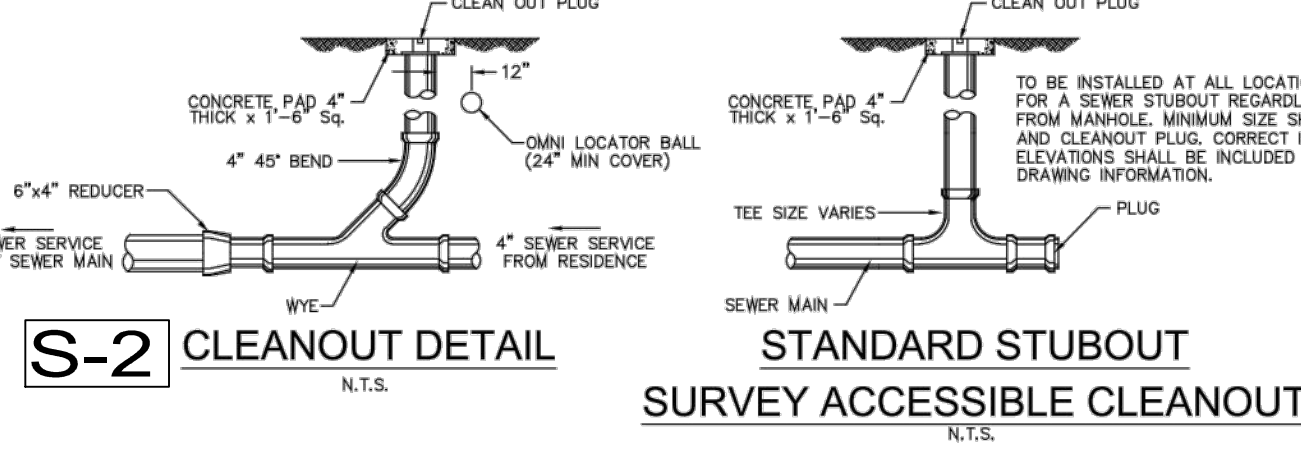
TOP VIEW



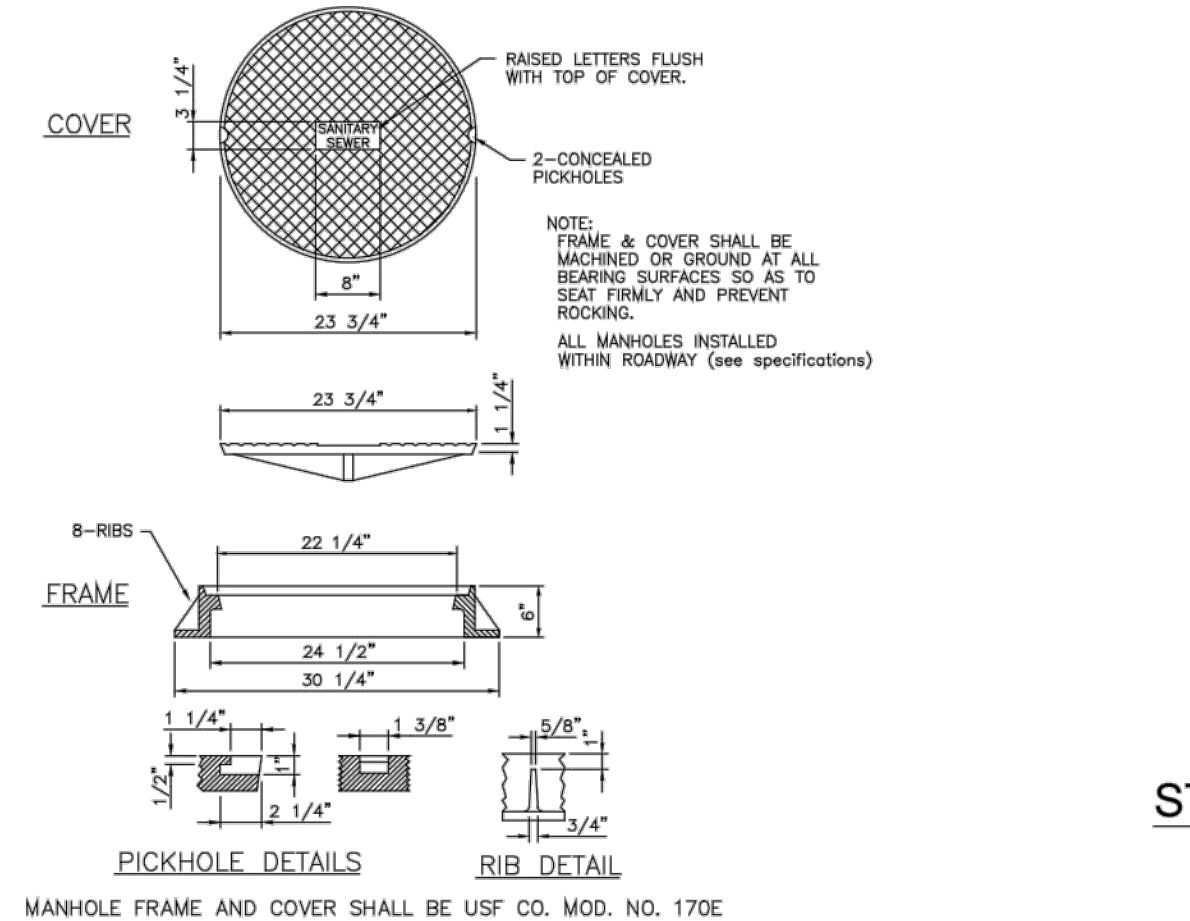
" SEWAGE FORCE MAIN MANIFOLD SERVICE CONNECTION / WITH PRESSURE GAUGE FITTING / FOR LOW PRESSURE RECEIVING SYSTEMS FOR CREATING ARTIFICIAL HEAD PRESSURE



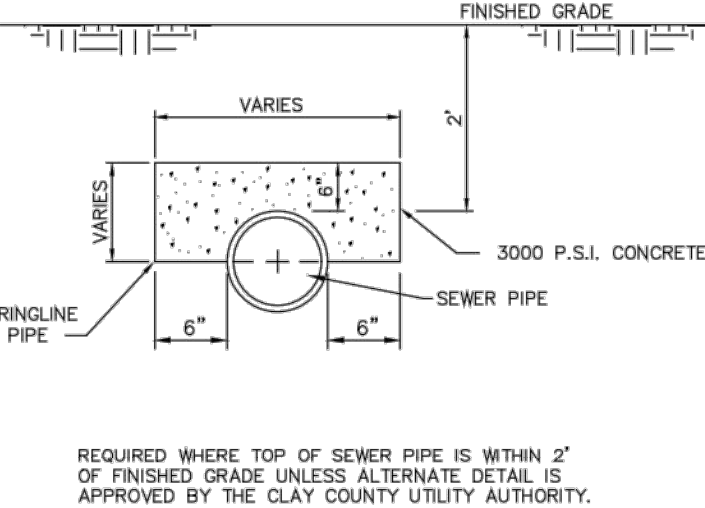
S-1 SANITARY SEWER MANHOLE



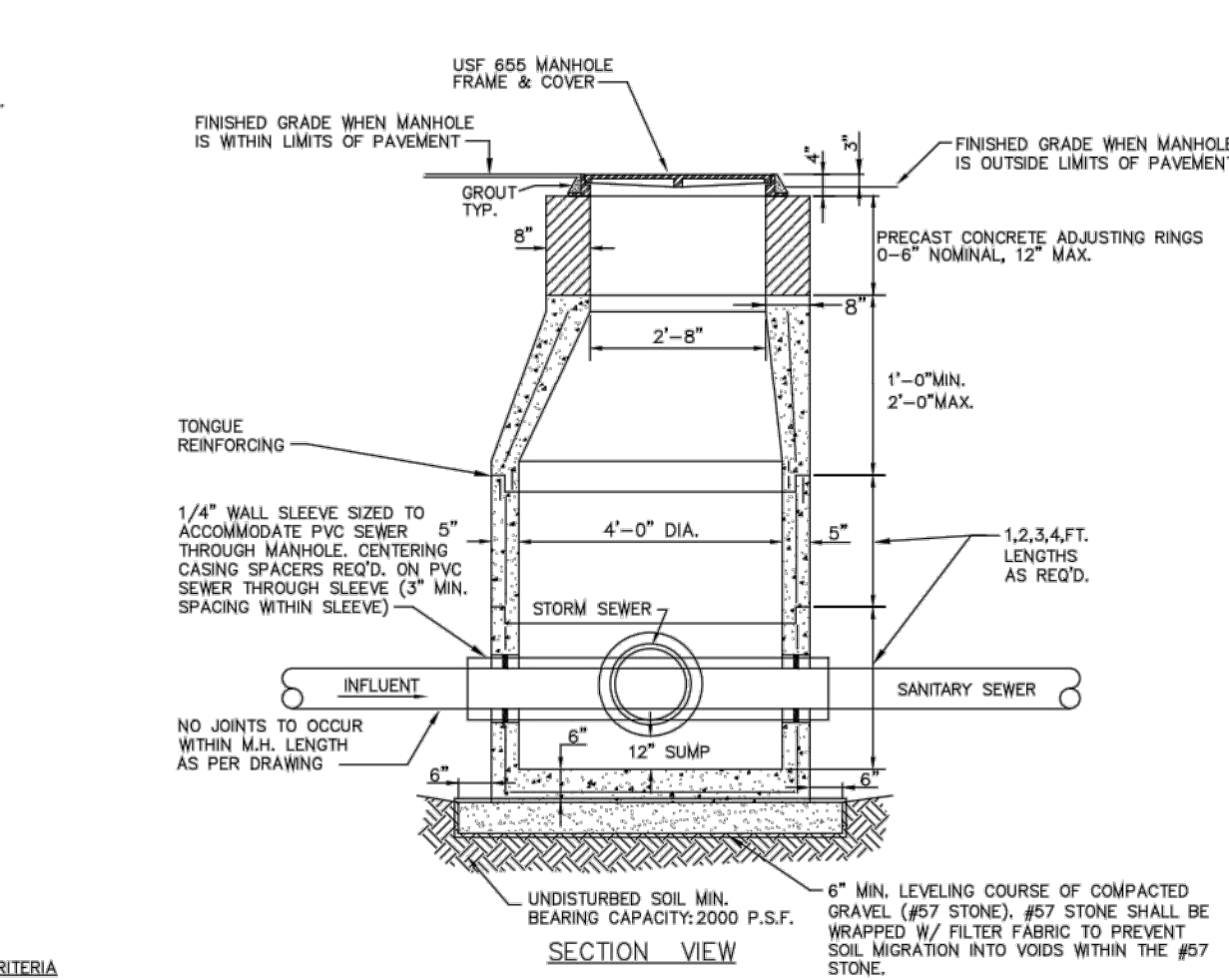
S-2 CLEANOUT DETAIL



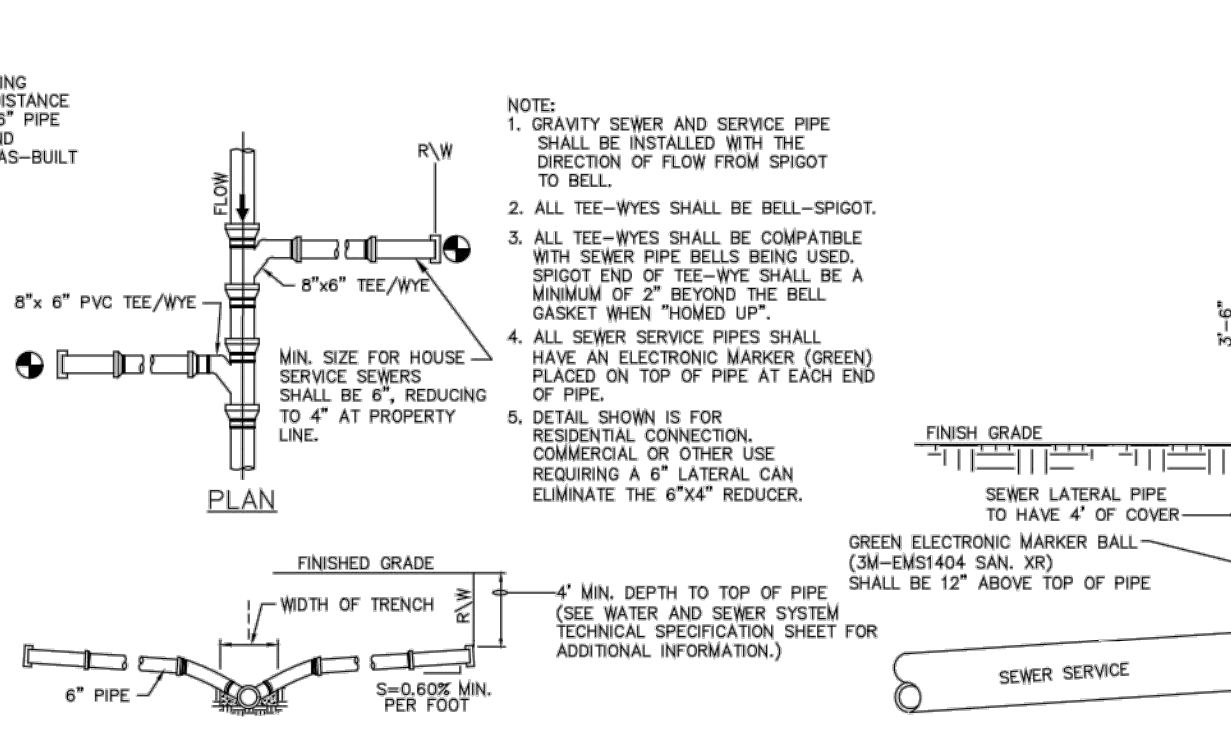
SANITARY SEWER MANHOLE FRAME & COVER



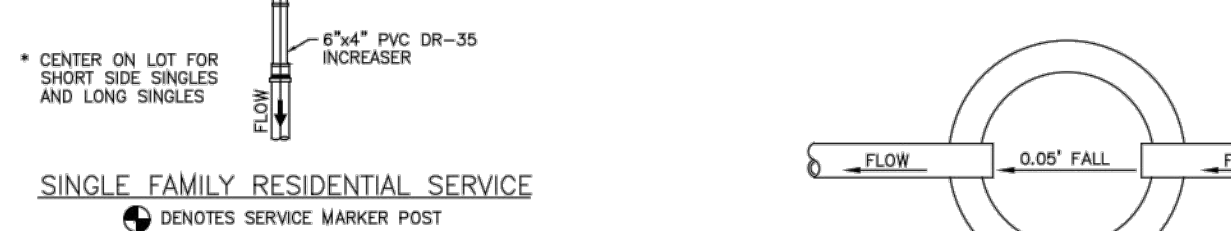
CONCRETE CAP FOR SEWER PIPES



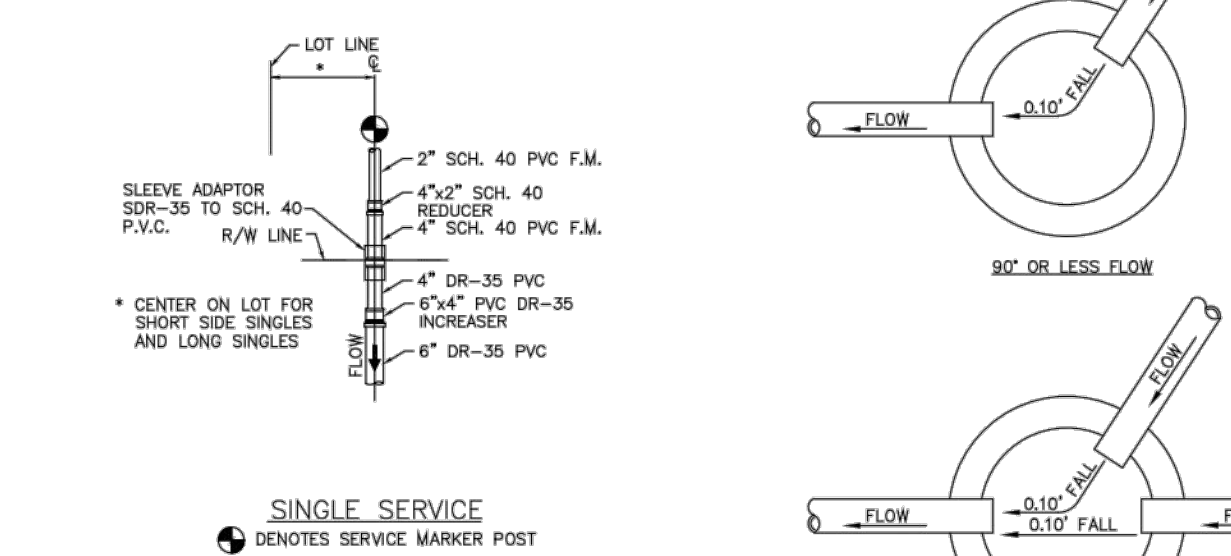
STORM CONFLICT MANHOLE



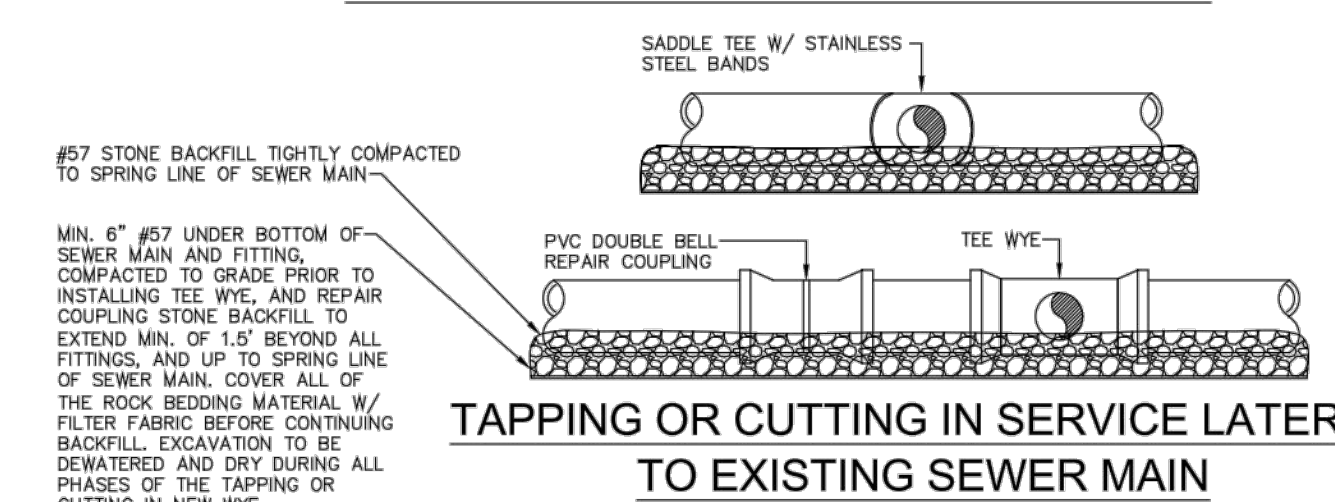
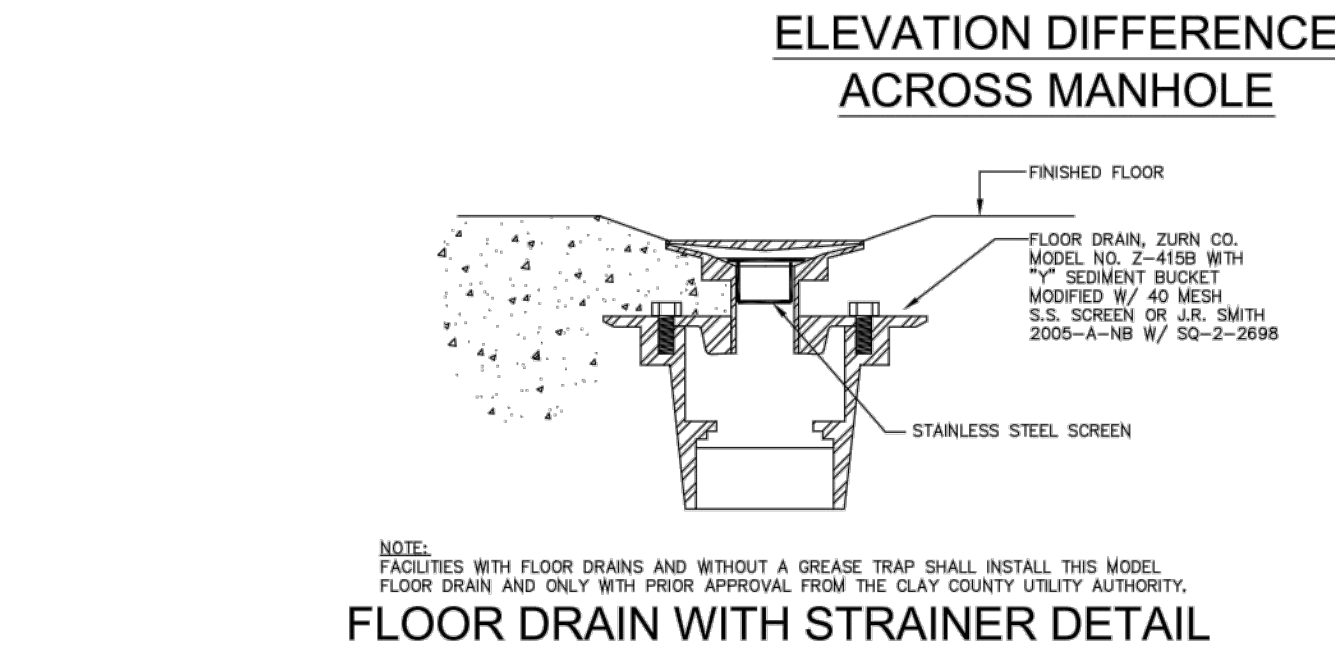
SEWER SERVICE MARKER POST



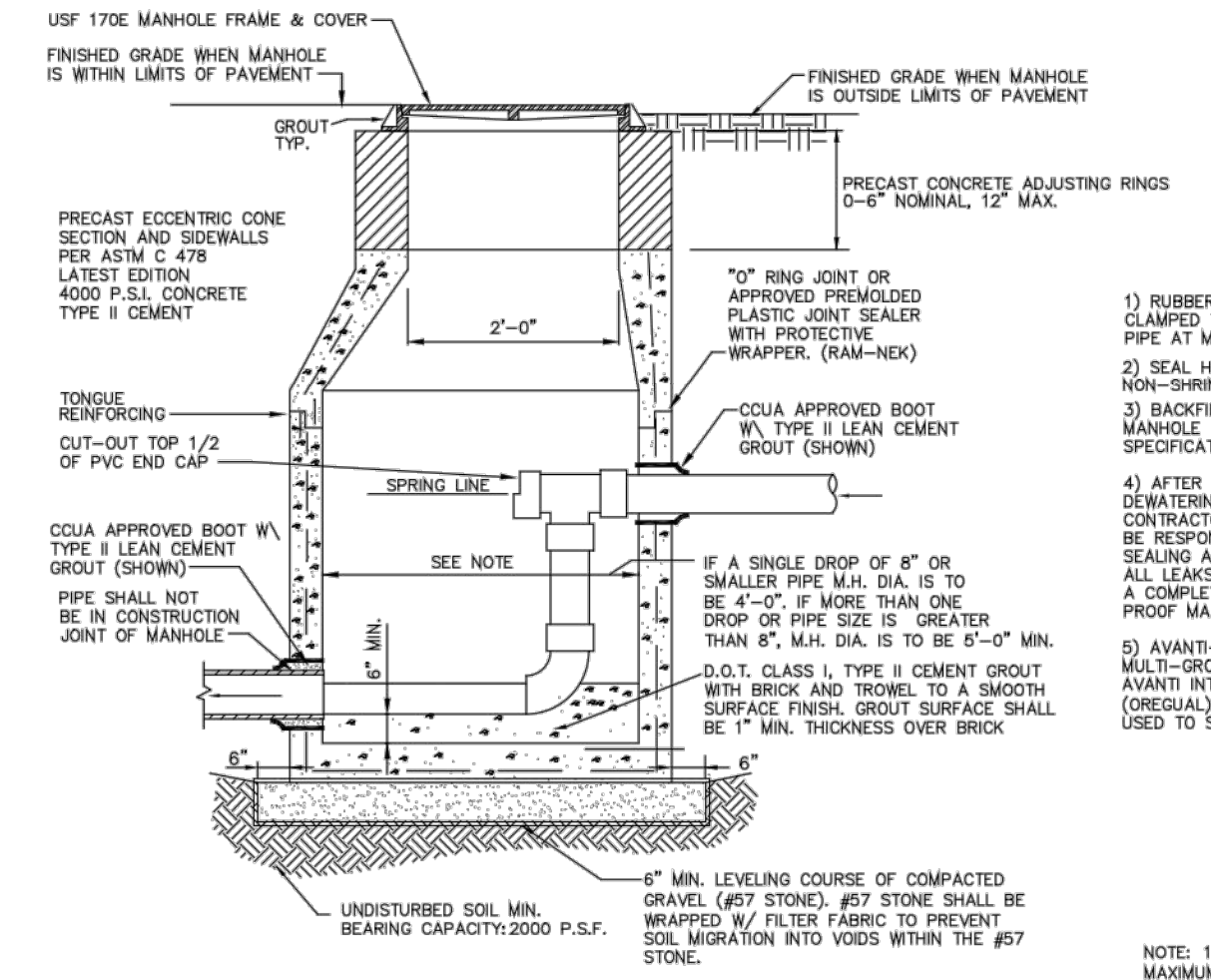
STANDARD SINGLE SEWER SERVICE LATERALS



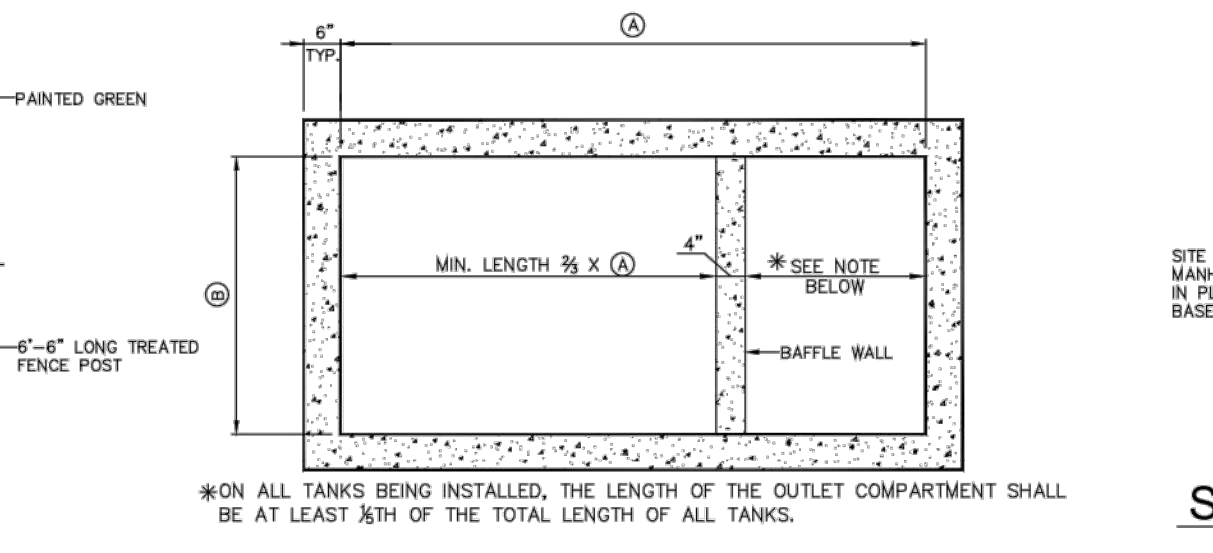
GRINDER PUMP STATION FORCE MAIN CONNECTION TO SINGLE GRAVITY SERVICE



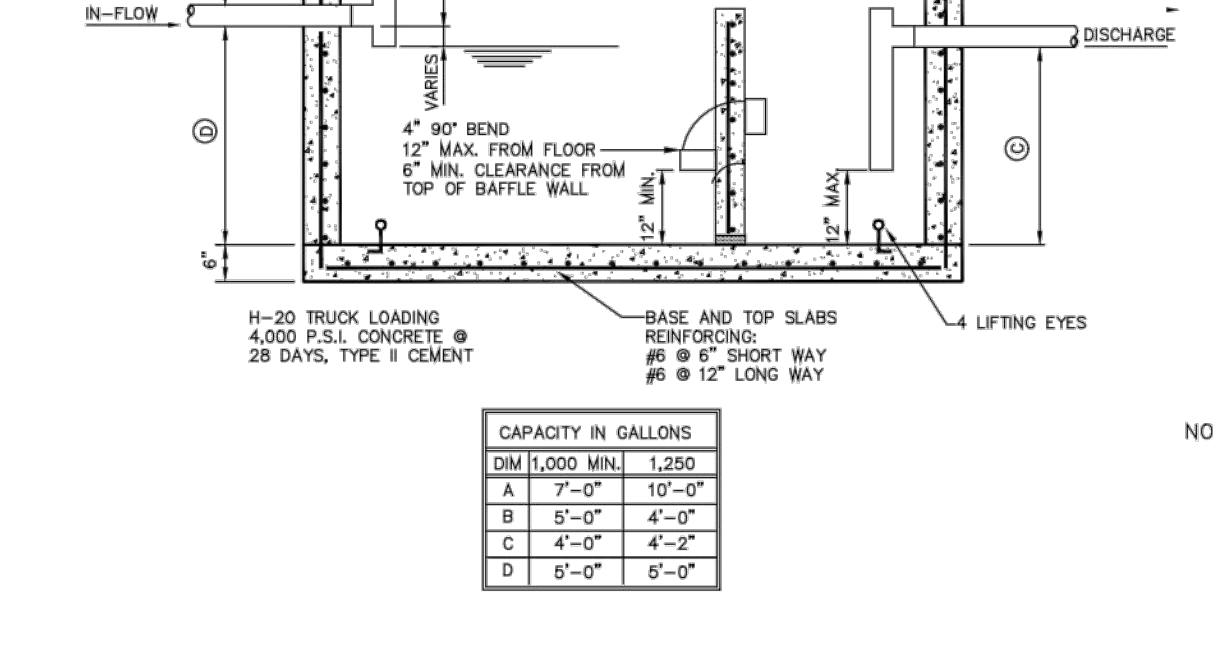
FLOOR DRAIN WITH STRAINER DETAIL



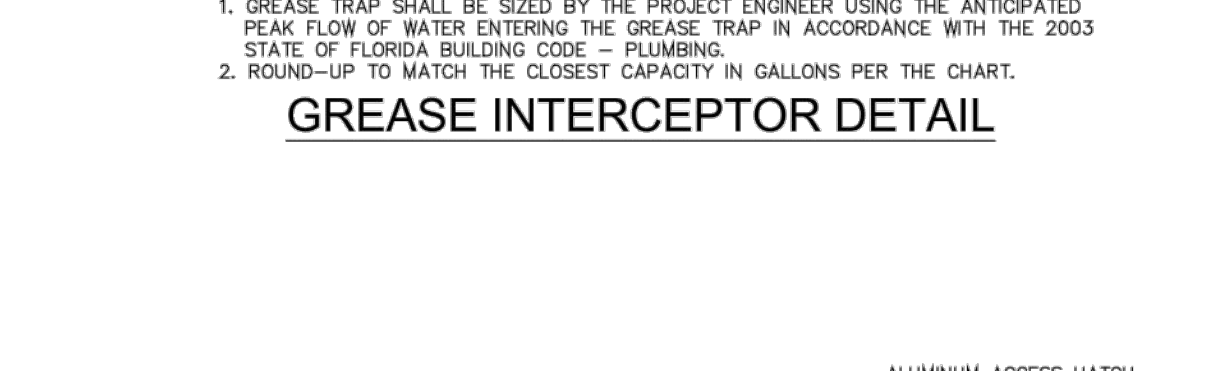
TYPICAL GRAVITY SEWER DROP PIPE CONNECTION TO MANHOLE



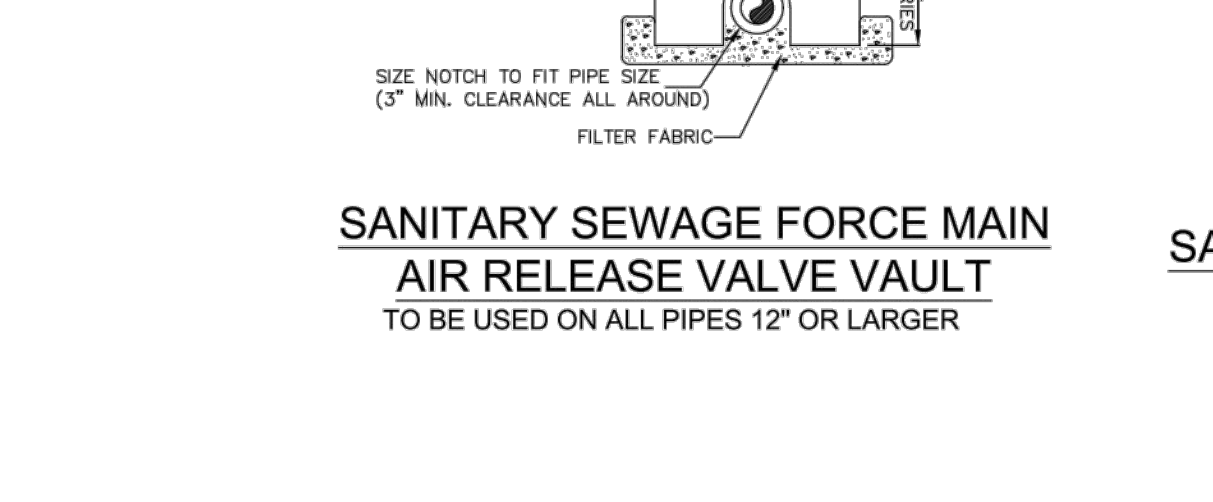
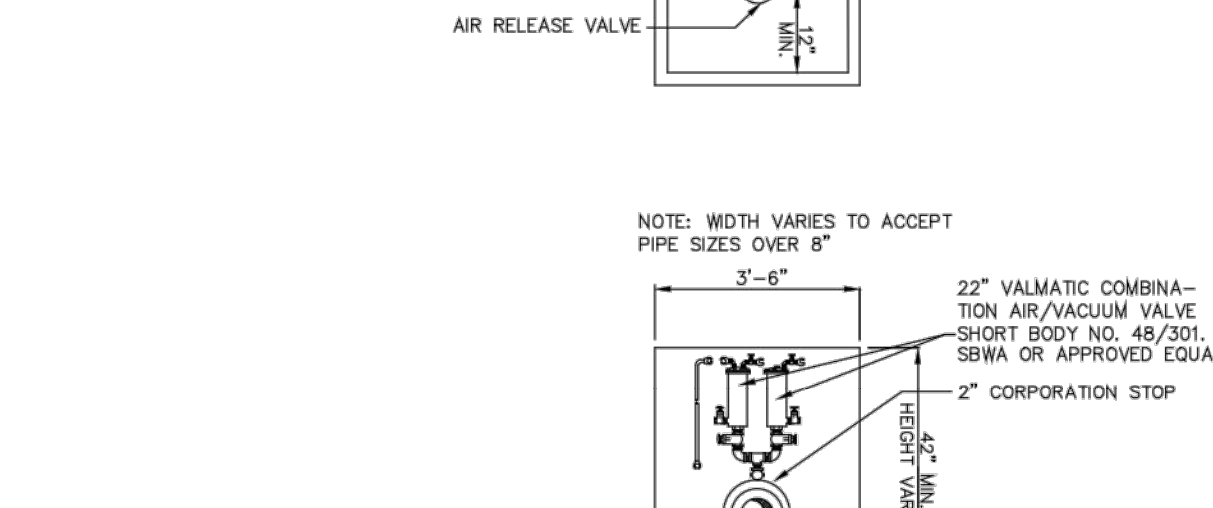
SADDLE MANHOLE DETAIL SECTION



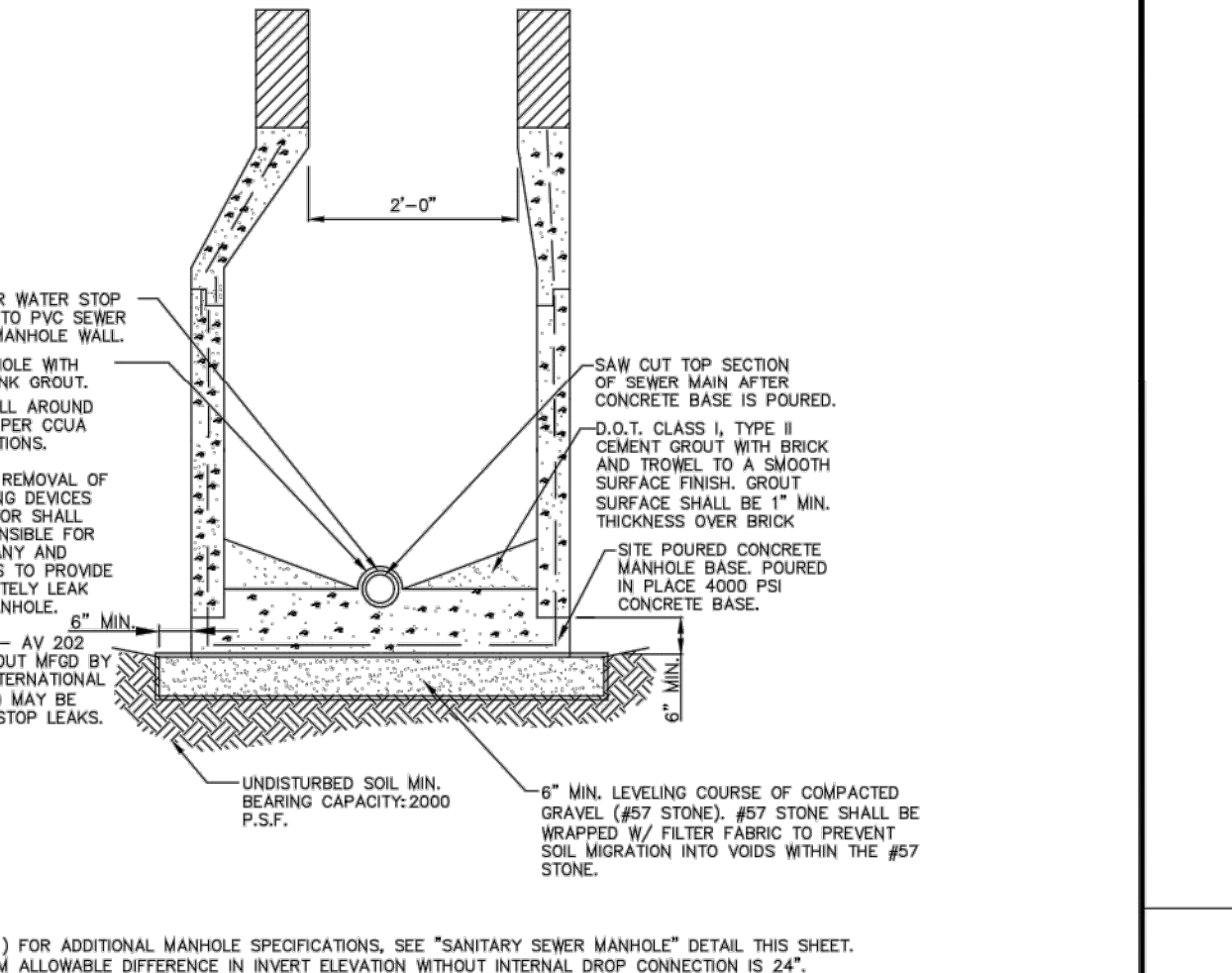
PROCEDURES FOR CONNECTING TO A GRAVITY STUB



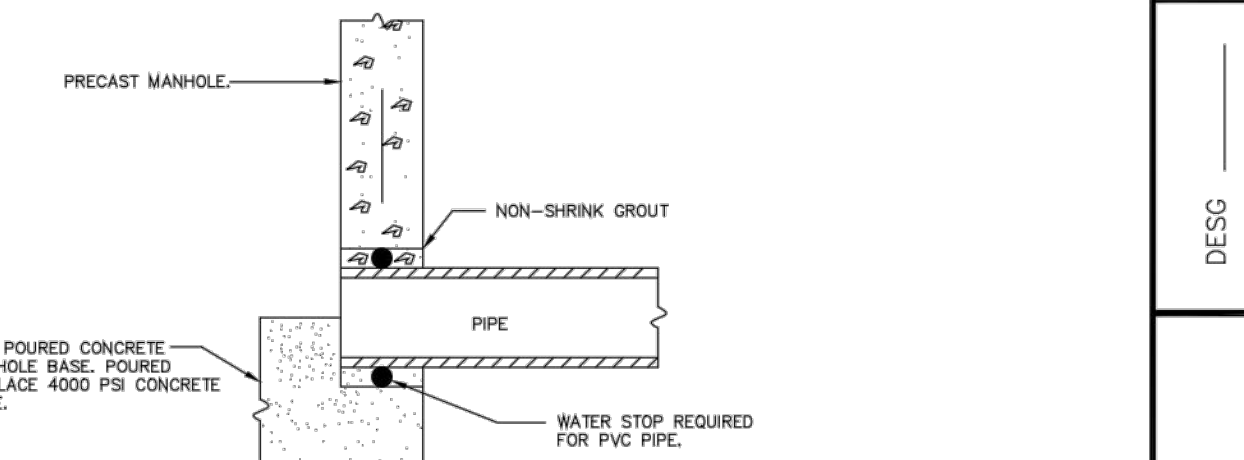
GREASE INTERCEPTOR DETAIL



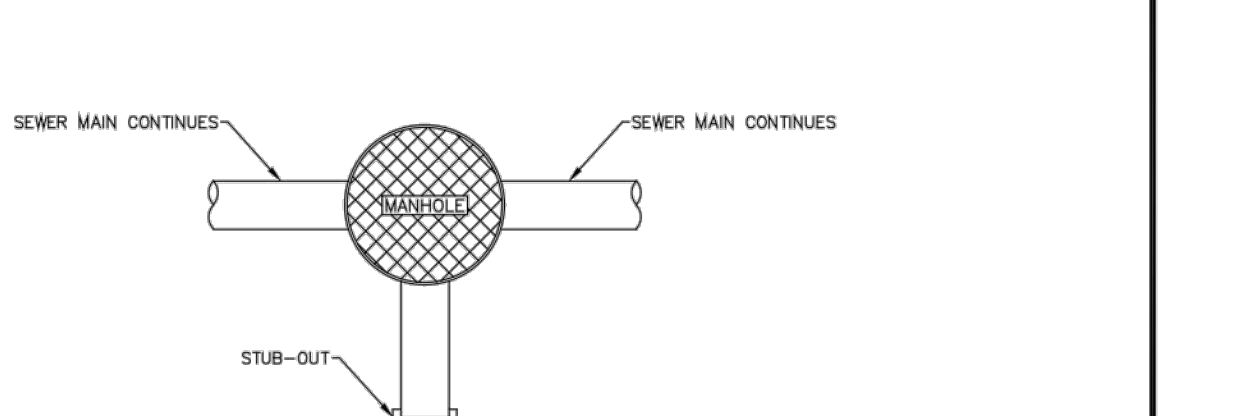
SANITARY SEWAGE FORCE MAIN AIR RELEASE VALVE VAULT



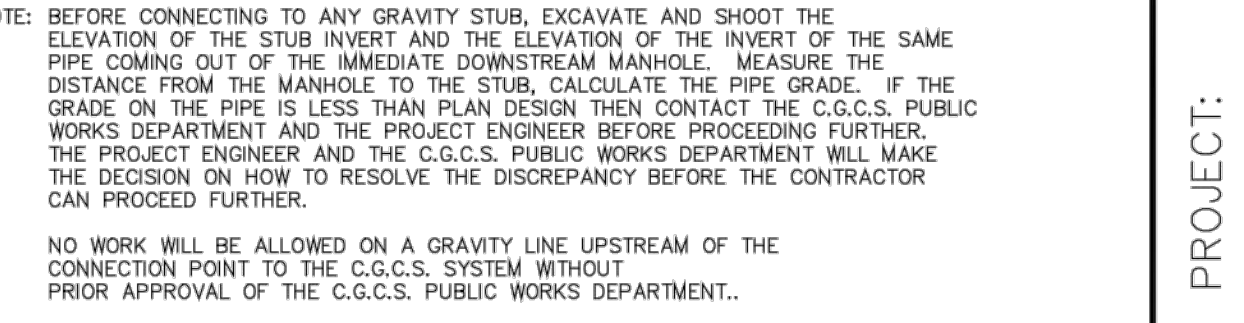
SADDLE MANHOLE DETAIL



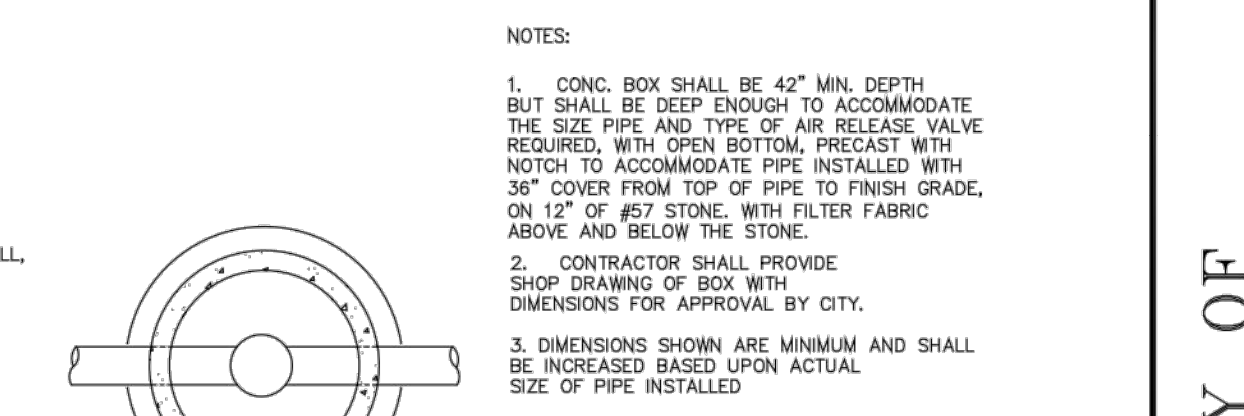
SADDLE MANHOLE DETAIL SECTION



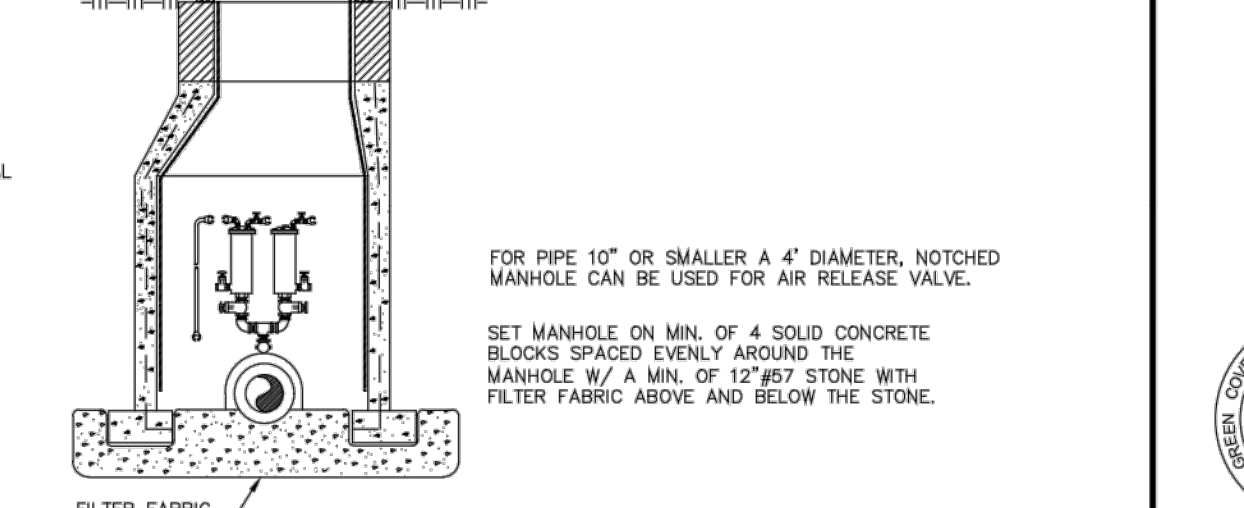
PROCEDURES FOR CONNECTING TO A GRAVITY STUB



GREASE INTERCEPTOR DETAIL



SANITARY SEWAGE FORCE MAIN AIR RELEASE VALVE VAULT



SANITARY SEWAGE FORCE MAIN AIR RELEASE VALVE VAULT



## CONTRACTOR'S REQUIREMENTS

**NOTE TO CONTRACTOR:**

CERTIFICATION IS REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES). STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER 5 ACRES. THIS CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.50 INCHES.

INSPECTION AND CORRECTIVE ACTION REPORT TEMPLATES AND FORMS CAN BE ACCESSED FROM THE WEB ADDRESS LISTED BELOW:

[HTTPS://WWW.EPA.GOV/NPDES/CONSTRUCTION-GENERAL-PERMIT-RESOURCES-TOOLS-AND-TEMPLATES/INSPECTION](https://www.epa.gov/npdes/construction-general-permit-resources-tools-and-templates/inspection)

**Planning & Zoning**

321 Walnut Street, Green Cove Springs, FL 32043 904-297-7051

**APPLICATION DEFICIENCY NOTICE****DATE:** March 24, 2025**APPLICATION REFERENCE:** Alex Acree, SPL-25-001 - US HIGHWAY 17

Dear Applicant:

The items you submitted for the above-referenced permit have been reviewed by the City representatives responsible for approving different aspects of your application. Attached to this notice is a list of comments in response to the materials submitted.

Each of the items on the attached list require responses and revised materials be created and re-submitted before any further action can be taken on this permit. A hold is placed on this application and the time it takes you to respond to this list of items is excluded in calculating permit processing timeframes. Once corrected and/or new materials are submitted, your permit processing timeframe will begin again.

A complete response to each of the items on the attached list is required to be submitted **at the same time**. As applicable, a complete response is required to include:

1. A written document addressing all of your responses (one paper copy).
2. New and/or updated technical reports (one paper copy).
3. New and/or corrected plans. Please note that revisions to previously submitted plans are required to be identified by clouding, must be noted in a revision list on the plan sheet(s), and are required to be incorporated into a full set of revised plans (one paper copy).
4. A transmittal that itemizes everything being resubmitted (one paper copy).
5. A copy of the entire resubmittal must be provided electronically (either on a thumb drive or uploaded via the permit portal).

Your response must be received by our Department within 180 days of the date noted on this letter to avoid this application being withdrawn from consideration. Withdrawn application must be resubmitted as new applications requiring repayment of all applicable fees and processing requirements.

Thank you for your anticipated cooperation in submitting the items requested by staff. We look forward to working with you as this application continues to be processed.

## APPLICATION DEFICIENCY NOTICE

**DATE:** March 24, 2025

**APPLICATION REFERENCE:** Alex Acree, SPL-25-001

**ENGINEERING DIVISION COMMENTS** - contact Jason Laurenza (JLAURENZA@greencovesprings.com)

1. Show valves in ROW at water and sanitary connection points
2. Clarify water metering configuration

**FIRE DEPARTMENT COMMENTS** - contact Sandra Boike (sandra.boike@claycountygov.com)

1. Fire#1 Review NFPA 1:18.4.5.3. Fire Flow requirements. Provide adequate fire hydrants as required based on the needed fire flow.
2. Fire#2 Provide Autoturn analysis for fire truck apparatus be sure to include a vehicle clearance envelope and display. NFPA 1141:5.2 and NFPA 1:18. Access required to be provided with no impediment into parking, landscape features or structures. Apparatus Specifications:  
 Engine 15  
 Year- 2021  
 Make- Pierce  
 Model- Enforcer  
 Height - 10' 3.75"  
 Length- 36'5  
 Width- 9'7 (mirror to mirror),  
       9' (Engineers step to Officers step)  
  
 Ladder  
 Year- 2017  
 Make- Pierce  
 Chassis- Arrow XT  
 Height- 123  
 Length- 406  
 Width 10 (mirror to mirror)  
 Fire#3 Where multiple means of access are required, they shall be located as remotely from each other as practical and acceptable to the AHJ. NFPA 1141:5.1.4.4  
 Fire#4 Will there be gates?

## APPLICATION DEFICIENCY NOTICE

**DATE:** March 24, 2025

**APPLICATION REFERENCE:** Alex Acree, SPL-25-001

**PLANNING DIVISION COMMENTS** - contact Gabriel Barro (gbarro@greencovesprings.com)

1. Provide a signed site survey.
2. Building 700, parking lot and all areas within flood zone A shall comply with Section 121 Article III, floodplain management regulations of the City Code.
3. Provide landscape plans showing tree plantings in compliance with section 113 Article VI of the City Land Development Code.
4. Provide an updated trip generation and distribution methodology
5. Provide tree calculations (Sec. 113-274) and tree protection plan (Sec. 113-248).
6. A six-foot chain-link fence is required around the perimeter of the stormwater retention pond (Sec. 113-223).
7. Provide 6' sidewalk along the front of CR 209.
8. Stormwater Management Permit shall be issued prior to property clearing, tree removal ertc.
9. Complete Concurrency Application
10. City Council conditions:
  - a) The applicant shall be required to comply with tree preservations requirements set forth in Sec. 113-279. Due to the proposed amount of onsite development and potential grade changes, an ISA certified arborist or equivalent horticulture professional shall be hired to evaluate trees, ensure adequate root area is provided and grade changes are not altered within critical root area, prescribe treatments to preserve the trees and oversee tree protection during the construction process and ensure compliance set forth in City Code Sec. 113-248.
  - b) Traffic Study pursuant to the requirements set forth in the City's Traffic Impact Analysis Guidelines shall be approved concurrent with the approval of the site development plan.
  - c) Dumpster shall be screened with landscaping and concrete enclosure as required per Sec 113-246(7) with a detail provided as part of the site plan submittal.
  - d) A disclosure notification shall be provided within the lease agreements for the multifamily units located on the property informing the tenants that the proposed development is located in close proximity to the runway for the Reynolds Airpark.

**STORMWATER CONSULTANT COMMENTS** - contact Charlie Sohм (csohm@baxterwoodman.com)

Approved with Conditions: Show rip rap apron for outfall pipe on plans. Also ensure outfall MES and apron are either on subject parcel or have a drainage easement from the neighboring property.



# STAFF REPORT

## CITY OF GREEN COVE SPRINGS, FLORIDA

**TO:** Site Development Review Team **MEETING DATE:** April 3, 2025

**FROM:** Gabriel Barro, Planning and Zoning

**SUBJECT:** Review of a Modification of the Graylon Oaks PUD to allow for proposed townhouses to be split into two parcels

### PROPERTY DESCRIPTION

**APPLICANT:** John Nicols **OWNER:** John Nicols

**PROPERTY LOCATION:** On Vermont Ave, north of Green Cove Springs Ave

**PARCEL NUMBER:** 016748-000-00 & 016742-000-00

**FILE NUMBER:** MOD-25-001

**CURRENT ZONING:** Planned United Development, PUD

**FUTURE LAND USE DESIGNATION:** Neighborhood

### SURROUNDING LAND USE

<b>NORTH:</b> FLU: Neighborhood Z: R3 Use: Single Family	<b>SOUTH:</b> FLU: Neighborhood Z: R1 Use: Single Family
<b>EAST:</b> FLU: Neighborhood Z: R3/R2 Use: Single Family	<b>WEST:</b> FLU: Neighborhood Z: R1 Use: Single Family

### BACKGROUND

The property is approximately 3.8 acres and is located on Vermont Ave north of Green Cove Avenue. The property was approved for a Zoning redesignation to PUD with the intent of developing 14 townhomes. The PUD Zoning includes a PUD concept plan, development requirements set forth in the PUD written description. The project is planned to be completed in a single phase.

### DEVELOPMENT DESCRIPTION:

The applicant, John Nicols, is proposing a modification to the written description to split the proposed parcels into two properties, allowing for each half of a townhome to be legally owned separately. The original plat showed 14 lots and a stormwater retention pond. No new plat has been submitted. The updated written description states it will allow for a maximum of 28 lots.

## STAFF RECOMMENDATION

This meeting is to determine staff consensus.

**TYPE OF DEVELOPMENT: TWO- FAMILY RESIDENTIAL**

**PROPERTY CHARACTERISTICS**

*Vegetation, Soils, & Drainage:*

Vegetation on the site consists of large oak trees, laurel oaks, cabbage palms, saw palmetto bushes and pine. There are no wetlands onsite. Site has sandy soils throughout with site sloping from west to east to Vermont St. Site has a topography of 51' to the west and dropping to 39' to the east fronting Vermont St.

*Utilities:*

Central water and wastewater service will be provided by the City of Green Cove Springs; electric service will be provided by the City of Green Cove Springs and installed underground.

**ACREAGE SUMMARY**

Total Property	3.8 Acres
Wetlands	0 Acres

<b>DEVELOPABLE</b>	<b>3.8 Acres</b>
--------------------	------------------

**MAXIMUM UNITS**

Maximum units	<del>2830</del> units
---------------	-----------------------

Proposed development

***Residential Single Family & Two- Family Development***

The property is consistent with the land use and zoning of the surrounding areas. The character of the proposed development is consistent with those of adjacent multi-family residential developments on Vermont Ave and abutting State Road 16. The parcels directly adjacent to the east and north currently have high-density land use and R-3 zoning. In addition, the subject property is consistent with other similar properties in the surrounding areas of the city and is in conformity with local land use plans and zoning ordinances. The subject property will also create a much-needed affordable housing neighborhood that will have a great economic and fiscal benefit to the area and the community. The affordable

housing community can be achievable by allowing a higher density similar to that of the adjacent properties.

**Access**

Access is provided from Vermont Ave. The subdivision will not be gated and roads within the development will be turned over to the city and would meet city requirements.

**Proposed Density Standards**

**Residential- Single Family Dwelling**

Minimum Lot Area	5000SF
Minimum Lot Width	50 Feet
Minimum Lot Depth	100 Feet
Minimum Living Area	1200 SF
Maximum Lot Coverage	40%

**Residential- Two Family Dwelling**

Minimum Lot Area <u>(Per attached unit)</u>	<del>6000</del> 3000 SF
Minimum Lot Width <u>(Per attached unit)</u>	<del>60</del> 30 feet
Minimum Lot Depth	100 feet
Minimum required living area	1000 SF
Maximum Lot Coverage	40%

Yard Requirements – Primary Structures\*

Front Porch	15 feet
Front Façade	20 feet
Side	<u>7.5 feet from property lines, 0 feet for interior lots with common wall lines, minimum of 15 feet of separation between buildings.</u> <del>7.5 feet; combined 15 feet</del>
Rear	10 feet
Max Building Height- Primary Structures	35 Feet

### **Permitted Uses**

- Single Family detached residential dwelling units
- Two family residential dwelling units
- Home occupations (pursuant to City Code Requirements).

### **Ingress, Egress and Circulation**

- a. Minimum of 2 parking spaces per dwelling unit (4 per duplex). One parking space will be in driveway and one will be in the attached garage.
- b. The dimension of each driveway must be 10' x 20'.
- c. Each unit must include an attached garage at least 10' x 20'.
- d. There will be a 6' sidewalk along proposed street and along Vermont Avenue.

### **Landscaping**

Landscaping per Section 113-244 of the Land Development Regulations

- a. Landscape requirements for each two-family dwelling (duplex) shall be as follows:
  1. At least one canopy tree, 2.5 inches DBH, shall be located in the required front yard of each dwelling unit. Each duplex will have two canopy trees.
- b. Perimeter Landscaping shall be as follows:
  1. Provide additional perimeter landscaping along Vermont Avenue with one new shade tree per 50' of road frontage subject to the requirements of Sec. 113-244(d)(3) and installation and maintenance requirements set forth in Section 113-247(b).
  2. A minimum of 4 understory/subcanopy trees shall be planted around the intersection of Vermont and the proposed new roadway.
  3. Provide the following buffer to the south and west of the property:

#### **A. Single-Family development:**

- Provide a 10' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth on Sec. 113-247(b). Or
- Provide an opaque privacy fence, 6' in height and a landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence, subject to the buffer and landscape design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

**B) Two-Family Development:**

- Provide a 20' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to the properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth in Sec. 113-247(b). Or
- Provide an Opaque privacy fence, 6' in height and an landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence, subject to the buffer and landscape design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

**Tree Survey**

- a. A tree survey measuring trees 12" or greater shall be required as part of the subdivision review. Tree removal mitigation will be required as stipulated in City Code Section 113-279

**Tree Preservation**

1. Trees to be preserved onsite:
  - a. Live Oak Trees
  - b. The rear 20' along the south and west property lines shall be kept in a natural condition with all canopy/shade trees preserved
  - c. Viable shade/canopy trees within 15' of Vermont Avenue shall be preserved.
2. Tree protections requirements shall comply with Section 113-248, and in addition: an ISA certified arborist or equivalent horticulture professional shall be hired to evaluate trees to be saved, ensure adequate root area is provided and grade changes are not altered within critical root area, prescribe treatments to preserve the trees and oversee tree protection during the construction process. Trees or branches of trees that are adjacent to or hanging over into adjacent neighboring properties shall be evaluated for the safety by the certified arborist and removed or appropriately pruned or other measures as required by the certified arborist.

**Miscellaneous**

Development requirements not specifically mentioned shall be consistent with all requirements for the City of Green Cove Springs R-2 Zoning district and all other applicable Land Development Code Requirements

**Development Plan**

The project will be developed in a single phase. The required right of way buffers shall be constructed by the developer and completed prior to the issuance of a certificate of

**CITY OF GREEN COVE SPRINGS  
GRAYLON OAKS  
PUD WRITTEN DESCRIPTION**

Item 2.

occupancy for any residential dwelling not constructed as a model unit within the subdivision.

All common areas and stormwater management facilities /drainage areas shall be maintained by a legally established Homeowner's or Property Owner's Association. All finalized legal documents demonstrating the creation of the HOA or POA and its responsibilities must be submitted with the Final Plat submittal for the Graylon Oaks PUD.

Stormwater analysis shall be required with the subdivision application that demonstrates consistency with the City of Green Cove Springs and St Johns River Water Management District requirements.

Regulations regarding Guarantees and Sureties as stipulated in Chapter 101, Article II, Division 5 and Subdivision 5 shall be provided as part of the subdivision approval process.



## **ORDINANCE NO. O-05-2020**

**AN ORDINANCE OF THE CITY COUNCIL OF GREEN COVE SPRINGS, FLORIDA REZONING ±3.8 ACRES OF PROPERTY LOCATED ON VERMONT AVE IDENTIFIED AS TAX ID NUMBERS 017642-000-00 AND 017648-000-00, MORE PARTICULARLY DESCRIBED BY EXHIBIT "A" AND SHOWN IN EXHIBIT "B", FROM R-1 TO PUD, PLANNED UNIT DEVELOPMENT, SPECIFICALLY DESCRIBED HEREIN AND THROUGH EXHIBIT "C" SITE PLAN; PROVIDING FOR REPEALER, SEVERABILITY AND SETTING AN EFFECTIVE DATE.**

### **RECITALS**

**WHEREAS**, an application for a site-specific amendment to the Official Zoning Map, as described below, has been filed with the City by Brent White ("Agent") on behalf of Graylon Oaks Land Trust ("Owner"); and

**WHEREAS**, the Owner desires to obtain approval for a Planned Unit Development ("PUD") in the City known as Graylon Oaks Planned Unit Development ("PUD" or "Project"); and

**WHEREAS**, the Owner wishes to construct the Project, consisting of a fourteen (14) lot subdivision, at 016742-000-00 & 016748-000-00, the legal description for which is attached hereto as Exhibit "A" and is herein referred to as the "Property"; and

**WHEREAS**, a duly advertised quasi-judicial public hearing on the proposed amendment was conducted on March 26, 2020 by the Planning and Zoning Board, sitting as the Local Planning Agency (LPA) and the LPA reviewed and considered comments received during the public hearing concerning the application and made its recommendation for approval to the City Council; and

**WHEREAS**, the City Council considered the recommendations of the LPA at duly advertised quasi-judicial public hearings on April 7, 2020 and April 21, 2020 and provided for and received public participation; and

**WHEREAS**, the City Council has determined and found said application for the amendment, to be consistent with the City of Green Cove Springs Comprehensive Plan and Land Development Regulations; and,

**WHEREAS**, for reasons set forth in this Ordinance that is hereby adopted and incorporated as findings of fact, that the Green Cove Springs City Council finds and declares that the enactment of this amendment is in the furtherance of the public health, safety, morals, order, comfort, convenience, appearance, prosperity, or general welfare.

**NOW, THEREFORE BE IT ENACTED BY THE CITY COUNCIL OF GREEN COVE SPRINGS, FLORIDA AS FOLLOWS:**

**Section 1. Findings of Fact and Conclusions of Law.**

1. The above recitals are true and correct and incorporated herein by reference.
2. The proposed site-specific amendment to the Official Zoning Map is consistent with the Comprehensive Plan and Land Development Regulations.
3. The amendment will not cause a reduction in the adopted level of service standards for transportation, potable water, sanitary sewer, solid waste, stormwater, recreation, or public schools.

**Section 2. Official Zoning Map Amended.** The Official Zoning Map is hereby amended from Single Family Residential R-1 to Planned Unit Development, PUD, for Tax Parcel Numbers 38-06-26-016742-000-00 and 38-06-26-016748-000-00, in accordance with the legal description found in Exhibit "A" and map found in Exhibit "B" attached hereto and incorporated herein.

**Section 3. Development Parameters.** The development shall follow the parameters set forth in the PUD Written Description found in Exhibit "C", the PUD Site Plan found in Exhibit "D", and the elevations found in Exhibit "E" attached hereto and incorporated herein.

**Section 4. Ordinance to be Construed Liberally.** This ordinance shall be liberally construed in order to effectively carry out the purposes hereof which are deemed to be in the best interest of the public health, safety and welfare of the citizens and residents of Green Cove Springs, Florida.

**Section 5. Repealing Clause.** All ordinances or parts of ordinances in conflict herewith are, to the extent of the conflict, hereby repealed.

**Section 6. Severability.** It is the declared intent of the City Council of the City of Green Cove Springs that, if any section, sentence, clause, phrase, or provision of this ordinance is for any reason held or declared to be unconstitutional, void, or inoperative by any court or agency of competent jurisdiction, such holding of invalidity or unconstitutionality shall not affect the remaining provisions of this ordinance, and the remainder of the ordinance after the exclusions of such part or parts shall be deemed to be valid.

**Section 7. Effective Date.** This Ordinance shall be effective upon its passage and adoption on the second and final reading.


**INTRODUCED AND APPROVED AS TO FORM ONLY ON THE FIRST READING BY THE CITY COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA, ON THIS 7<sup>th</sup> DAY OF APRIL 2020.**

**FLORIDA**

**CITY OF GREEN COVE SPRINGS,**

  
\_\_\_\_\_  
Steven R. Kelley, Mayor

ATTEST:

  
\_\_\_\_\_  
Erin West, City Clerk


**PASSED ON SECOND AND FINAL READING BY THE CITY  
COUNCIL OF THE CITY OF GREEN COVE SPRINGS, FLORIDA,  
THIS 21<sup>ST</sup> DAY OF APRIL 2020.**

**FLORIDA**


**CITY OF GREEN COVE SPRINGS,**

  
\_\_\_\_\_  
Steven R. Kelley, Mayor

ATTEST:

  
\_\_\_\_\_  
Erin West, City Clerk

APPROVED AS TO FORM:

  
\_\_\_\_\_  
L. J. Arnold, III, City Attorney

## **EXHIBIT "A"**

### **LEGAL DESCRIPTION:**

LEGAL DESCRIPTION AS SHOWN ON OFFICIAL RECORD BOOK 2815 PAGE 524  
A PARCEL OF LAND SITUATED IN LOT "C", BLOCK 102, PALMER AND FERRIS TRACT, GREEN COVE SPRINGS, CLAY COUNTY, FLORIDA, ACCORDING TO PLAT

THEREOF RECORDED IN PLAT BOOK 1, PAGE 44 OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF LOT 1, ST. JOHNS MOBILE HOME VILLAGE, ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 32 OF SAID PUBLIC RECORDS; THENCE ON THE WEST LINE OF VERMONT STREET RUN SOUTH 20 DEGREES 17 MINUTES 22 SECONDS EAST. 278.73 FEET TO THE SOUTH LINE OF SAID LOT "C"; THENCE ON SAID SOUTH LINE, SOUTH 64 DEGREE 00 MINUTES 00 SECONDS WEST, 429.41 FEET TO THE WEST LINE OF SAID LOT "C"; THENCE ON SAID WEST LINE, NORTH 20 DEGREE 14 MINUTES 51 SECONDS WEST 326.09 FEET TO THE SOUTH LINE OF SAID ST. JOHNS MOBILE HOME VILLAGE; THENCE ON SAID SOUTH LINE, NORTH 70 DEGREES 19 MINUTES 51 SECONDS EAST, 427.07 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION AS SHOWN ON OFFICIAL RECORD BOOK 2815 PAGE 522  
BEGINNING AT THE SE CORNER OF HENRY LENDERS LAND THENCE RUNNING

EASTERLY SIX CHAINS AND THIRTY-SIX LINKS PARALLEL WITH CYLDEVIEW AVENUE TO VERMONT AVENUE, THENCE ALONG THE WEST SIDE OF VERMONT AVENUE NORTHERLY NINETY-SIX FEET, THENCE WESTERLY SIX CHAINS AND THIRTY-SIX LINKS TO H. LENDERS

EAST LINE, THENCE SOUTHERLY ALONG LENDERS EAST LINE ONE HUNDRED FEET TO THE PLACE OF BEGINNING; CONTAINING ONE ACRE MORE OR LESS, THE SAME BEING A PORTION OF A CERTAIN FOUR ACRE LOT CONVEYED BY WM. THOMPSON CO MRS. M.E. BEMIS BY DEED DATED DECEMBER 21ST, 1883, RECORDED IN BOOK "L" PAGES 605 & 606 OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA.

LESS AND EXCEPT OFFICIAL RECORDS BOOK 3331, PAGE 1520 PARCEL 1

A PARCEL OF LAND SITUATED IN LOT "A" AND LOT "B", BLOCK 102, PALMER AND

FERRIS TRACT, IN THE TOWN OF GREEN COVE SPRINGS, CLAY COUNTY, FLORIDA, ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 1 OF THE PUBLIC RECORDS OF SAID COUNTY, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT "A", BLOCK 102, PALMER AND FERRIS TRACT IN THE TOWN OF GREEN COVE SPRINGS, AND RUN NORTH 64 DEGREES 00 MINUTES 00 SECONDS EAST, ALONG THE SOUTH LINE OF LOT "A",

WHICH IS ALSO THE SOUTH LINE OF THE TOWN OF GREEN COVE SPRINGS,  
FOR A

DISTANCE OF 79.83 FEET TO THE POINT OF BEGINNING: THENCE CONTINUE  
ON LAST SAID LINE NORTH 64 DEGREES 00 MINUTES 00 SECONDS EAST, 30.17  
FEET; THENCE NORTH 20 DEGREES 00 MINUTES 00 SECONDS WEST, 211.16  
FEET; THENCE

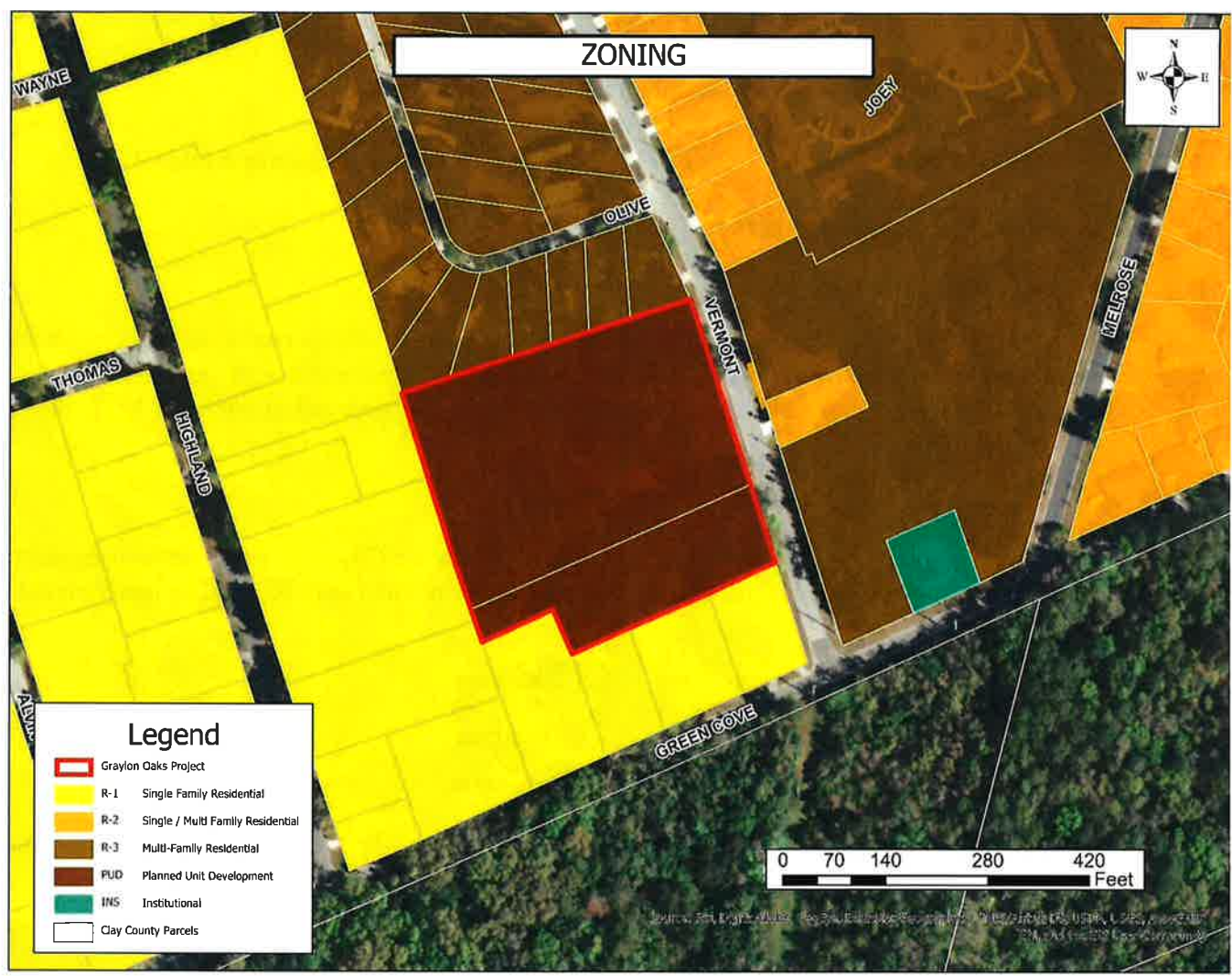
SOUTH 64 DEGREES 00 MINUTES 00 SECONDS WEST, 110. 21 FEET TO THE  
WEST LINE OF SAID

LOT "B"; THENCE ON LAST SAID LINE, AND ON THE WEST LINE OF SAID LOT  
"A", SOUTH 20 DEGREES 00 MINUTES 00 SECONDS EAST, 100.55 FEET; THENCE  
NORTH 64 DEGREES 00 MINUTES 00 SECONDS EAST, 79.83 FEET; THENCE  
SOUTH 20 DEGREES 00 MINUTES 00 SECONDS EAST, 110.61 FEET TO THE POINT  
OF BEGINNING.

CONTAINING 3.8 ACRES, MORE OR LESS.

SAID LANDS SITUATED, LYING AND BEING IN CLAY COUNTY, FLORIDA.

# EXHIBIT "B"



# EXHIBIT “C”

## PUD Written Description

### Graylon Oaks PUD Written Description

**Type of Development:**      **Two- Family Residential or Single Family Residential**

#### **PROPERTY CHARACTERISTICS**

##### *Vegetation, Soils, & Drainage:*

Vegetation on the site consists of large oak trees, laurel oaks, cabbage palms, saw palmetto bushes and pine. There are no wetlands onsite. Site has sandy soils throughout with site sloping from west to east to Vermont St. Site has a topography of 51’ to the west and dropping to 39’ to the east fronting Vermont St.

##### *Utilities:*

Central water and wastewater service will be provided by the City of Green Cove Springs; electric service will be provided by the City of Green Cove Springs and shall be installed underground.

#### **ACREAGE SUMMARY**

Total Property	3.8 Acres
Wetlands	0 Acres
<b>DEVELOPABLE</b>	<b>3.8 Acres</b>

#### **MAXIMUM UNITS**

Maximum units	30 units
---------------	----------

#### **Proposed development**

##### ***Residential Single Family & Two- Family Development***

The property is consistent with the land use and zoning of the surrounding areas. The character of the proposed development is consistent with those of adjacent multi-family residential developments on Vermont Ave and abutting State Road 16. The parcels directly adjacent to the east and north currently have high-density land use and R-3 zoning. In addition, the subject

property is consistent with other similar properties in the surrounding areas of the city and is in conformity with local land use plans and zoning ordinances. The subject property will also create a much-needed affordable housing neighborhood that will have a great economic and fiscal benefit to the area and the community. The affordable housing community can be achievable by allowing a higher density similar to that of the adjacent properties.

### **Access**

Access is provided from Vermont Ave. The subdivision will not be gated and roads within the development will be turned over to the city and would meet city requirements.

### **Proposed Density Standards**

#### **Residential- Single Family Dwelling**

Minimum Lot Area	5000SF
Minimum Lot Width	50 Feet
Minimum Lot Depth	100 Feet
Minimum Living Area	1200 SF
Maximum Lot Coverage	40%

#### **Residential- Two Family Dwelling**

Minimum Lot Area	6000 SF
Minimum Lot Width	60 feet
Minimum Lot Depth	100 feet
Minimum required living area	1000 SF
Maximum Lot Coverage	40%

#### **Yard Requirements – Primary Structures\***

Front Porch	15 feet
Front Façade	20 feet
Side	7.5 feet; combined 15 feet
Rear	10 feet
Max Building Height- Primary Structures	35 feet

\*All corner lots have two front yards. However, structures oriented parallel to a street must have the required front yard on such street, but the front yard on the remaining street may be 15 feet.

### **Permitted Uses**

- a. Single family detached residential dwelling units
- b. Two family residential dwelling units
- c. Home occupations (pursuant to City Code Requirements)

### **Ingress, Egress and Circulation**

- a. Minimum of 2 parking spaces per dwelling unit (4 per duplex). One parking space will be in driveway and one will be in the attached garage.
- b. The dimension of each driveway must be 10' x 20'.
- c. Each unit must include an attached garage at least 10' x 20'.
- d. There will be a 6' sidewalk along proposed street and along Vermont Avenue.

### **Landscaping**

Landscaping per Section 113-244 of the Land Development Regulations

- a. Landscape requirements for each one or two-family dwelling (duplex) shall be as follows:
  1. At least one canopy tree, 2.5 inches DBH, shall be located in the required front yard of each dwelling unit. Each duplex will have two canopy trees.
- b. Perimeter Landscaping shall be as follows:
  1. Provide additional perimeter landscaping along Vermont Avenue with one new shade tree per 50' of road frontage subject to the requirements of Sec. 113-244(d)(3) and installation and maintenance requirements set forth in Section 113-247(b).
  2. A minimum of 4 understory/subcanopy trees shall be planted around the intersection of Vermont and the proposed new roadway
  3. Provide the following buffer to the south and west of the property:
    - A) Single-Family development:
      - Provide a 10' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth in Sec. 113-247(b). Or
      - Provide an opaque privacy fence, 6' in height and a landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence , subject to the buffer and landscape

design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

**B) Two-Family Development:**

- Provide a 20' landscape buffer of one new shade tree every 50 feet of width and nine (9) shrubs every 100 feet of width adjacent to properties subject to the requirements set forth in Section 113-244(d)(3) and installation and maintenance requirements set forth in Sec. 113-247(b). Or
- Provide an opaque privacy fence, 6' in height and a landscape buffer of one new canopy tree every 50 feet of width on the subject property side of the fence, subject to the buffer and landscape design requirements set forth in Section 113-244(d)(3) and 113-247 of the City's Land Development Code.

**Tree Survey**

- a. A tree survey measuring trees 12" or greater shall be required as part of the subdivision review. Tree removal mitigation will be required as stipulated in City Code Section 113279

**Tree Preservation**

1. Trees to be preserved onsite:
  - a. Live Oak Trees
  - b. The rear 20' along the south and west property lines shall be kept in a natural condition with all canopy/shade trees preserved
  - c. Viable shade/canopy trees within 15' of Vermont Avenue shall be preserved.
2. Tree protections requirements shall comply with Section 113-248, and in addition: an ISA certified arborist or equivalent horticulture professional shall be hired to evaluate trees to be saved, ensure adequate root area is provided and grade changes are not altered within critical root area, prescribe treatments to preserve the trees and oversee tree protection during the construction process. Trees or branches of trees that are adjacent to or hanging over into adjacent neighboring properties shall be evaluated for safety by the certified arborist and removed or appropriately pruned or other measures as required by the certified arborist.

### **Miscellaneous**

Development requirements not specifically mentioned shall be consistent with all requirements for the City of Green Cove Springs R-2 Zoning district and all other applicable Land Development Code Requirements

### **Development Plan**

The project will be developed in a single phase. The required right of way buffers shall be constructed by the developer and completed prior to the issuance of a certificate of occupancy for any residential dwelling not constructed as a model unit within the subdivision.

All common areas and stormwater management facilities /drainage areas shall be maintained by a legally established Homeowner's or Property Owner's Association. All finalized legal documents demonstrating the creation of the HOA or POA and its responsibilities must be submitted with the Final Plat submittal for the Graylon Oaks PUD.

Stormwater analysis shall be required with the subdivision application that demonstrates consistency with the City of Green Cove Springs and St Johns River Water Management District requirements.

Regulations regarding Guarantees and Sureties as stipulated in Chapter 101, Article II, Division 5 and Subdivision 5 shall be provided as part of the subdivision approval process.



## EXHIBIT “E” Elevations





# STAFF REPORT

## CITY OF GREEN COVE SPRINGS, FLORIDA

**TO:** Site Development Review Team **MEETING DATE:** April 3, 2025  
**FROM:** Gabriel Barro, Planning & Zoning  
**SUBJECT:** Request for a variance to allow a gazebo to be placed within required setbacks of the property located at 462 Vermont Ave

### PROPERTY DESCRIPTION

**APPLICANT:** Ravindra Armogan **OWNER:** Ravindra Armogan  
**PROPERTY LOCATION:** 462 Vermont Avenue  
**PARCEL NUMBER:** 017136-001-10  
**FILE NUMBER:** VAR 25-001  
**CURRENT ZONING:** R2  
**FUTURE LAND USE DESIGNATION:** NEIGH

### SURROUNDING LAND USE

<b>NORTH:</b> FLU: Neighborhood Z: R2 Use: Single Family Residential	<b>SOUTH:</b> FLU: Neighborhood Z: R2 Use: Single Family Residential
<b>EAST:</b> FLU: Neighborhood Z: R3 Use: Single Family Residential	<b>WEST:</b> FLU: Neighborhood Z: R3 Use: Single Family Residential

### BACKGROUND

Ravindra Armogan, the owner and occupant of the property located at 462 S Vermont Ave, has requested a variance to allow a gazebo to be placed within the minimum setbacks required by the R2 zoning district. On July 2, 2024, a Code Enforcement case was opened for the property for an accessory structure, a wooden gazebo, placed without a permit. On July 11, 2024, the applicant submitted a Building Permit Application (BLD-24-0502) for the gazebo. The gazebo's location places it 3 feet from the side property line and 8 feet from the primary structure. Minimum setbacks for the R2 zoning district requires a side setback of 7.5 feet per Sec. 117-88 of the Green Cove Springs city code. All properties within Green Cove Springs require that accessory structures placed within the designated side or rear yard be at least 6 feet from the primary structure.

The Building Permit Application was given a deficiency notice for not meeting the aforementioned setback requirements. There is no possible way for the gazebo to meet the 7.5 foot side setback and the 6 foot primary structure setback. The applicant is requesting a variance to allow the gazebo to be placed within the required setbacks, remaining in its current location.

### **Variance Required Findings**

The planning and zoning board shall not grant the variance varying the requirements of any provision of this subpart unless it makes a positive finding, based on substantial competent evidence, on each of the following:

- (1) There are no reasonable uses of the property because of the practical or economic difficulties in carrying out the strict letter of the regulation and the hardship is not the result of the applicant's own actions..  
*The primary use of the property is a single family home. There is no practical or economic difficulty depriving the owner from this use.*
- (2) If the applicant complies strictly with the provisions of this subpart, he is deprived of any rights that others in the district are allowed.  
*The neighboring properties are of the same size and zoning. The neighboring properties also have the same utility easement along the rear of the properties.*
- (3) The hardship is suffered only by the applicant rather than by neighbors or the general public.  
*Neighboring properties are required to meet the same setbacks as the subject property.*
- (4) The hardship relates to the land, rather than personal circumstances.  
*The.*
- (5) The variance requested is the minimum variance that will make reasonable use of the land, building or structure and will not result in the creation or extension of a nonconforming use or structure.  
*The applicant is still able to place the gazebo on the property and meet minimum setback requirements.*
- (6) The proposed variance will not substantially increase congestion on surrounding public streets, the danger of fire, or other hazard to the public.  
*The proposed variance will not increase congestion or hazards.*
- (7) The proposed variance will not substantially diminish property values in, nor alter the essential character of, the area surrounding the site.  
*The proposed variance will not diminish property values nor alter the character of the surrounding properties.*

In granting the variance, the planning and zoning board shall prescribe any conditions and safeguards it deems necessary or desirable, and violation of such variance, when made a part of the terms under which a variance is granted, shall be deemed a violation of this subpart.

### **STAFF RECOMMENDATION**

This meeting is to determine staff consensus.



## FOR OFFICE USE ONLY

P Z File # VAC-25-001Application Fee: 275<sup>00</sup>Filing Date: 3/18/25 Acceptance Date: 3/25/25 *signed*Review Type: SRDT ☒ P & Z ☒ CC ☐

# City of Green Cove Springs Variance Application

**A. PROJECT**1. Project Name: Grill Gazebo DIY Installation2. Address of Subject Property: 462 S Vermont Avenue3. Parcel ID Number(s) 017136-001-104. Existing Use of Property: SRC5. Future Land Use Map Designation: Neighborhood6. Zoning Designation: R-27. Acreage: .15**B. APPLICANT**1. Applicant's Status ☒ Owner (title holder) ☐ Agent2. Name of Applicant(s) or Contact Person(s): Ravindra Armogan Title: \_\_\_\_\_

Company (if applicable): \_\_\_\_\_

Mailing address: 462 S Vermont AvenueCity: Green Cove Springs State: FL ZIP: 32043Telephone: (904) 373-8059 FAX: ( ) \_\_\_\_\_ e-mail: myarmoganfamily@gmail.com

3. If the applicant is agent for the property owner\*:

Name of Owner (title holder): \_\_\_\_\_

Company (if applicable): \_\_\_\_\_

Mailing address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP: \_\_\_\_\_

Telephone: ( ) \_\_\_\_\_ FAX: ( ) \_\_\_\_\_ e-mail: \_\_\_\_\_ \*

Must provide executed Property Owner Affidavit authorizing the agent to act on behalf of the property owner. **C. ADDITIONAL****INFORMATION**1. Is there any additional contact for sale of, or options to purchase, the subject property? ☐ Yes ☒ No If yes, list names of all

parties involved: \_\_\_\_\_ If yes, is the

contract/option contingent or absolute? ☐ Contingent ☐ Absolute

Revised 12/31/2012

#### D. STATEMENT OF VARIANCE SOUGHT

1. Requested Variance: Install DIY Grill Gazebo off property line 2FT
2. Section of Land Development Regulations under which the variance is sought: Section 14-23
3. Reason Variance is requested: Either side of our property is 10FT from the property line. Except for the backyard which sits on an easement and has a steep slant to it away from the home to the rear fence line. This severely hinders my family from putting together something as small as a DIY Grill Gazebo that is 12x6 and cost \$1000 on either side of our property.
4. Statement of Facts for Requested Variance (Use additional pages if necessary)  
My family has lived at 462 S Vermont Avenue for 20 years now. We are a hard working family who is proud to be part of this community. We have a daughter who attends Clay High School with Honors and she wanted a space outside the home to invite her friends over to entertain after school or on the weekends. This space also serves as a space for small family gatherings and a space where we can grill some food and enjoy the time with one another. I never thought this would be an issue as a neighbor a few homes down from us at 456 S Vermont Avenue built a structure attached to the home and on the property (fence) line itself. Below is a recent image of this.



So I just didn't realize this was going to be an issue with that being the case. As you can see with what we have put together is solid and rated for up to 100 MPH winds.

(PLEASE ANSWER THE FOLLOWING QUESTIONS TO THE BEST OF YOUR ABILITY. THESE FACTS WILL BE USED BY THE STAFF TO MAKE A RECOMMENDATION AND THE PLANNING AND ZONING BOARD IN MAKING THEIR DECISION)

- a. Extraordinary and Exceptional Conditions-** What are the extraordinary and exceptional conditions (such as topographic conditions, narrowness, shallowness, or the shape of a parcel of land) pertaining to the particular piece of land for which the variance is sought, that do not generally apply to other land or structures in the same district?

This property is severely narrow on either side of the home and the rear of the property is on an easement with a steep slant to it.

- b. Not Result of Action by Applicant-** Why are the special circumstances not the result of the actions of the applicant?

Due to violation served by Rico Armstrong referencing Section 14-23. After speaking with the Planning and Zoning team Michael Daniels and Gabriel Barro it was brought to my attention that the DIY removable Grill Gazebo was to close to the property line. Both Gabriel and Michael came and visited me at 462 S Vermont Avenue and we discussed an option of moving the DIY Grill Gazebo to the rear of the property but as referenced above the rear of the property is on an easement and has a steep slant to it. It was brought to my attention by both Gabriel Barro and Michael Daniels that if I have the DIY Grill Gazebo moved to the rear of the property and have it permitted, then at any point I could move the DIY Grill Gazebo back to its original location. I was not comfortable with that option at all.

- c. No Special Privilege-** Does the granting of the variance confer any special privilege on the applicant that is denied to other lands or structures in the same zone district?

No

- d. Strict Application Deprives Use-** Would the strict interpretation of the Land Development Regulations to this property effectively prohibit or unreasonably restrict the utilization of the land and result in unnecessary and undue hardship?

Yes

- e. Minimum Variance-** Is the variance the minimum action that will make possible the reasonable use of the land or structure which is not contrary to the public interest, and which would carry out the spirit of these Land Development Regulations?

Yes

- f. Not Detrimental-** Is the granting of the variance detriment to the adjacent land, and the character of the zone district in which the land is located?

No

**E. ATTACHMENTS (One hard copy or one copy in PDF format)**

1. Copy of Warranty Deed or other proof of ownership
2. Legal description
3. Survey or plot diagram indicating setbacks, proposed construction and requested variance.

**F. FEE.**

Residential property - \$250  
 Non- residential - \$500

- a. The Cost of postage, signs, advertisements, and outside consultants are in addition to the application fee.
- b. The applicant is responsible to pay the cost of the advertisement and signs.
- c. All applications are subject 10% administrative fee and must pay the cost of any outside consultants fees.

No application shall be accepted for processing until the required application fee is paid in full by the applicant. Any fees for advertising, signs, necessary technical review or additional reviews of the application by a consultant will be billed to the applicant at the rate of the reviewing entity. The invoice shall be paid in full prior to any action of any kind on the development application.

**All 3 attachments are required for a complete application. A completeness review of the application will be conducted within five (5) business days of receipt. If the application is determined to be incomplete, the application will be returned to the applicant.**

**I/We certify and acknowledge that the information contained herein is true and correct to the best of my/our knowledge:**

Signature of Applicant

*Ravindra Armogan*

Typed or printed name and title of applicant

RAVINDRA ARMOGAN

Date 3/18/25

Signature of Co-applicant

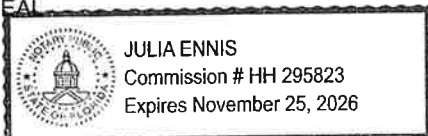
Typed or printed name of co-applicant

Date

State of Florida County of Clay

The foregoing application is acknowledged before me this 25 day of March, 2025, by Ravindra Armogan, who is/are personally known to me, or who has/have produced Florida Driver License as identification.

NOTARY SEAL



Signature of Notary Public, State of FL

*Julia Ennis*

Revised 12/31/2012