



## CITY OF GRAND PRAIRIE

City Hall  
300 W. Main Street  
Grand Prairie,  
Texas

### Amended Meeting Agenda Planning and Zoning Commission Meeting

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Monday, November 11, 2024

5:30 PM

City Hall - Briefing Room

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#### BRIEFING SESSION

*It is the intent of the Planning and Zoning Commission to be briefed by staff, and that all items on the agenda shall be available or open for discussion during the Briefing Session. The Planning and Zoning Commission may ask applicants and other interested parties for information or presentations. All interested parties are invited to attend. Briefings are taped.*

##### Call to Order

#### EXECUTIVE SESSION

*The Planning and Zoning Commission may conduct a closed session, if needed, in accordance with Texas Government Code Section 551.071 "Consultation with Attorney" to discuss legal matters pertaining to agenda items. Any final action will be taken during open session.*

##### Agenda Review

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6:30 PM Council Chambers

#### REGULAR MEETING

##### Call to Order

##### Invocation

##### Pledge of Allegiance

#### CITIZEN COMMENTS

*Citizens may speak during Citizen Comments for up to five minutes on any item not the agenda by completing and submitting a speaker card.*

#### PUBLIC HEARING CONSENT AGENDA

*Items listed on the Public Hearing Consent Agenda are considered to be routine and will be approved by one motion and one vote. There will be no separate discussion of the Public Hearing Consent Agenda items unless requested. If discussion is desired on an item, it will be considered separately. The Commission may ask questions of those present on an item from the Public Hearing Consent Agenda.*

1. Approval of Minutes of the October 28, 2024, P&Z meeting



- [2.](#) PLT-24-10-0038 - Final Plat - Constellation Rock Island (City Council District 1). Final Plat of Lot 1, Block 1, Constellation Rock Island Addition, creating one industrial lot on 16.832 acres. Multiple tracts out of John C. Read Survey, City of Grand Prairie, Dallas County, Texas, zoned Planned Development (PD-450), within SH 161 Corridor Overlay, and approximate addresses of 3514-3560 Hardrock Rd and 4701 Hardrock Rd
- [3.](#) PLT-24-09-0036 - Preliminary Plat – Lakesong Phase 1. Preliminary Plat of Lakesong Phase 1 to develop 429 residential lots, two commercial lots, 22 open space lots, and one lot for an amenity center on 172.03 acres. The property is generally south of Seeton Road, East of FM 661, North of 287, and North of Kimble Road, Ellis County, Texas (Parcel IDs 190594, 190594 & 294666)

## **PUBLIC HEARING POSTPONEMENT, RECESS, CONTINUATIONS**

*In accordance with Section 1.11.5.6 of the Unified Development Code (UDC) a public hearing for which notice has been given may be postponed by announcing the postponement at or after the time and place the hearing is scheduled to begin. A public hearing may be recessed and continued any time after the hearing has commenced. Section 1.11.5.6.C of the UDC states if a postponement or continuance of a public hearing is to a specific date and time no later than 60 days from the first or most recent hearing, the announcement of the postponement or continuance at the public hearing in which the application has been postponed or continued by the Planning and Zoning Commission shall be sufficient notice and no additional notice is required. However, the Planning and Zoning Commission may direct staff to re-notify postponed or continued applications for which public hearings have not yet commenced.*

## **ITEMS FOR INDIVIDUAL CONSIDERATION**

- [4.](#) STP-24-09-0038 - Site Plan - Oakdale 2 Industrial (City Council District 1). Site Plan for an industrial warehouse on 29.17 acres. Tracts 1-5, 1.2, 12-13, 17-19, & 23, John Farrans Survey, Abstract No. 468, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial and Planned Development No. 221 (PD-221), and approximately addressed as 468 Oakdale Road
- [5.](#) STP-24-07-0031 - Site Plan – Polo Rd Retail Center (City Council District 6). Site Plan for a multi-tenant retail store on 1.525 acres. Lot 12, Block 5, Amesbury Estates Phase 2, City of Grand Prairie, Dallas County, Texas, zoned PD-247, and addressed as 912 W Polo Rd

## **PUBLIC HEARING**

*Members of the public may address the Commission on items listed on the agenda under Public Hearing Items. Persons wishing to address the Commission must first complete a request to speak card. A person may also use the request to speak card to indicate his or her support or opposition to a case without speaking. Cards may be picked up at the desk by the entrance to the City Council Chambers and may be deposited at the desk or given to a staff member. Speaking time is generally limited to five minutes per speaker. Per the by-laws of the Planning and Zoning Commission, the applicant and those favoring the request shall have a maximum of 30 minutes, including rebuttal, to present their arguments for the request. Those in opposition to a request shall have a maximum of 30 minutes to present their arguments against the request. When a large group is present, it is encouraged that representatives be appointed to speak for the group so that redundant testimony is minimized. Commissioners may have questions of those speaking at the public hearing. The time used to answer the Commission's questions*



*will not be deducted from the allotted 30 minutes. These rules may be temporarily suspended, in whole or in part, by a unanimous vote of the Commission.*

- [6.](#) SUP-24-09-0043 - Specific Use Permit - Flint Academy (City Council District 2). Specific Use Permit for a Child Day Care Center. Lot 1R, Block 1, Oaks Baptist Church Addition, City of Grand Prairie, Dallas County, Texas, zoned Planned Development No. 23 (PD-23), within the IH-20 Corridor Overlay District, and addressed as 801 E IH 20
- [7.](#) ZON-24-08-0022 - Zoning Change – 1419 E Marshall (City Council District 3). Zoning Change from Commercial (C) to Single Family-Five (SF-5) on 0.328 acres. Lot 1, Block C, Carbaugh Addition, City of Grand Prairie, Dallas County, Texas, zoned Commercial (C) District, and addressed as 1419 E Marshall Dr
- [8.](#) ZON-24-09-0026 - Zoning Change/Concept Plan - Lakesong Development (City Council District 6). Zone Change from Agriculture & Planned Developed-451 to Planned Development (PD) for mixed-use, urban residential, medium residential, estate residential, and open space uses on approximately 1,200 acres. The property is located generally south of Seeton Road, East of FM 661, North of 287, and North of Kimble Road, Ellis County, Texas (Parcel IDs 294666, 294715, 297164, 303397)
- [9.](#) ZON-24-09-0025 - Zoning Change/Concept Plan - Polo SFA Amendment (City Council District 6). PD Amendment (PD-410A) to allow 1,600 sq. ft. Single Family Attached units on 2.909 acres. Tract 11.3, Thomas J. Tone Survey, Abstract No. 1460, City of Grand Prairie, Dallas County, Texas, zoned PD-410A and approximated addresses of 4529-4554 Harmony Ct

## **ADJOURNMENT**

*The City Hall is wheelchair accessible. If you plan to attend this public meeting and you have a disability that requires special arrangements, please call 972-237-8255 at least 24 hours in advance. Reasonable accommodations will be made to assist your needs.*

## **MESSAGE OF RELIGIOUS WELCOME**

*As many of you are aware, we customarily begin our meetings with an invocation. This prayer is intended for the benefit of the board members and is directed to them and not the audience. Those who deliver the invocation may reference their own religious faith as you might refer to yours when offering a prayer. We wish to emphasize, however, that members of all religious faiths are welcome, not only in these meetings, but in our community as well. The participation of all our citizens in the process of self-government will help our fine city best serve the good people who live here. Employees and audience members are welcome to pray or not pray, and this choice will have no bearing on any vote made by the board.*

## **Certification**

**In accordance with Chapter 551, Subchapter C of the Government Code, V.T.C.A, the Planning and Zoning Commission agenda was prepared and posted November 8, 2024.**



*Monica Espinoza*

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*Monica Espinoza, Planning Secretary*





## CITY OF GRAND PRAIRIE COMMUNICATION

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**MEETING DATE:** 11/11/2024

**REQUESTER:** Monica Espinoza, Administrative Supervisor

**PRESENTER:** Savannah Ware, AICP, Chief City Planner

**TITLE:** Approval of Minutes of the October 28, 2024, P&Z meeting

**RECOMMENDED ACTION:** Approve

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# CITY OF GRAND PRAIRIE

City Hall  
300 W. Main Street  
Grand Prairie,  
Texas

## Meeting Minutes

### Planning and Zoning Commission Meeting

Monday, October 28, 2024

5:30 PM

City Hall - Briefing Room

#### BRIEFING SESSION

Chairperson Smith called the Briefing meeting to order at 5:32 p.m.

#### Call to Order

#### PRESENT

Chairperson Cheryl Smith  
Vice-Chairperson John Fedorko  
Commissioner Michelle Madden  
Commissioner Frank Gonzalez  
Commissioner Christopher Okoli  
Commissioner Tai Jones-Chapman (entered meeting at 5:40 p.m.)  
Commissioner Angela Luckey-Vaughn  
Commissioner Janie Mendez-Adhikari  
Commissioner Victor Medina

#### EXECUTIVE SESSION

*There was no closed session.*

#### Agenda Review

*Staff briefed commissioners on cases.*

#### 6:30 PM Council Chambers

#### REGULAR MEETING

Chairperson Smith called the meeting to order at 6:30 p.m.

#### Call to Order

#### PRESENT

Chairperson Cheryl Smith  
Vice-Chairperson John Fedorko  
Commissioner Michelle Madden  
Commissioner Frank Gonzalez  
Commissioner Christopher Okoli



Commissioner Tai Jones-Chapman  
 Commissioner Angela Luckey-Vaughn  
 Commissioner Janie Mendez-Adhikari  
 Commissioner Victor Medina

**Commissioner Fedorko led the Invocation.**

**Commissioner Madden led the Pledge of Allegiance to the US Flag and Texas Flag.**

## **CITIZEN COMMENTS**

*There were no citizen comments.*

## **PUBLIC HEARING CONSENT AGENDA**

*Motion made by Commissioner Fedorko, Seconded by Commissioner Madden to close the public hearing and approve item one. The motion carried unanimously.*

1. Approval of Minutes of the October 14, 2024, P&Z meeting

**Approves on Consent Agenda**

## **ITEMS FOR INDIVIDUAL CONSIDERATION**

2. STP-24-02-0011 – Site Plan – The Grove at Grand Prairie (City Council District 1). Site Plan for a townhome development with 59 lots on 5.91 acres. Lots 1-70 and Grand Oaks Drive ROW, Green Oaks Estate Addition, City of Grand Prairie, Dallas County, Texas, zoned Multi Family-One (MF-1) District, within the SH-161 Corridor Overlay District, generally located north of W. Marshall Drive and east of Robinson Road

*Senior Planner Abdul Ghous presented the case report and gave a power point presentation. He stated this Site Plan provides a layout of a proposed townhome development with 59 housing units that will be maintained by a homeowner's association (HOA). The applicant is not requesting any variances.*

*The Development Review Committee (DRC) recommends approval with the following conditions:*

1. *The site plan must meet all UDC and Appendix W requirements.*
2. *The townhome units shall meet the required building setbacks. The site plan depicts some building footprints with a setback of 0 ft. when five ft. is required.*
3. *The masonry screening wall shall be placed in a common lot to be owned and maintained by the HOA.*
4. *All proposed private streets must conform to the same standards regulating the design and construction of public streets per Article 25.2.2.3.*
5. *Private streets shall be maintained by the HOA.*



6. *Screening fence cannot be located within the required visibility triangles and must be moved per UDC 23.10.10. The visibility triangle must meet the sufficient sight distance as required in Section 23.6.4.*
7. *Parking must comply with the design criteria outlined in Section 6 of Article 10 of the UDC.*
8. *Gated entry design and location must conform to the provisions listed in Article 25.2.2.4.*

*Josh Cart 2138 Welch St Houston Tx., stepped forward representing the case. Commissioner Madden asked the applicant if they would be able to meet the 5ft. setback. Mr. Cart stated yes. Commissioner Madden asked will these townhomes be for sale. Mr. Cart stated yes.*

*Motion made by Commissioner Fedorko, Seconded by Commissioner Madden to close the public hearing and approve item two with conditions. The motion carried unanimously.*

3. STP-24-07-0033 - Site Plan - BJ's Wholesale Club (City Council District 2). Site Plan for a 104,759 sq. ft. membership-only retail store with eight fuel pumps on 12.28 acres. Lot 2, Block 1, Mayfield Road Retail Addition 1, City of Grand Prairie, Dallas County, Texas, zoned PD-456, within the SH 161 Corridor Overlay District, and addressed as 965 Mayfield Dr

*Senior Planner Abdul Ghous presented the case report and gave a power point presentation. He stated the applicant seeks approval of a site plan for a BJ's Wholesale Club at this location. The zoning of the site is Planned Development (PD-456) with the base zoning as General Retail (GR). The Retail Sales use and Gas Sales in conjunction with retail is permitted within PD-456. The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, and landscaping and screening requirements. The applicant is not requesting any variances. The Development Review Committee (DRC) recommends approval.*

*Marc Lavole stepped forward representing the case.*

*Motion made by Commissioner Madden, Seconded by Commissioner Chapman to close the public hearing and approve item three. The motion carried unanimously.*

4. STP-24-09-0037 - Site Plan - 2000 Pine St (City Council District 5). Site Plan to construct a new sanctuary for an existing church on 0.976 acres. Tracts 3 and 38, Joseph Graham Survey, Abstract No. 506, City of Grand Prairie, Dallas County, Texas, zoned Two Family Residential, and addressed as 2000 & 2002 Pine Street

*Planner Brittany Musser presented the case report and gave power point presentation. She the applicant intends to construct a 4,500 sq. ft. sanctuary for an existing church on 0.976 acres. City Council must approve a Site Plan for any project involving an institutional or religious use located in a Two-Family Residential district that is expected to generate more than 50*



vehicle trips during any two-hour period. This site plan application meets the requirements above for City Council approval. The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, and landscaping and screening requirements.

The following variance is requested:

1. *Street Trees – Section 8.7.2 of Article 8 of the UDC requires street trees be planted a minimum of 25 linear feet apart and a maximum of 50 linear feet apart along collector streets. The proposal has street trees planted a maximum of 70 feet apart.*

*The Development Review Committee (DRC) has no objections to the requested variances and recommends approval. Staff notes that the existing building on site, along with the required easement along the street frontage, make it challenging to meet the minimum requirement for street tree spacing.*

*Motion made by Commissioner Adhikari, Seconded by Commissioner Gonzalez to close the public hearing and approve item four per staff recommendations. The motion carried unanimously.*

## **PUBLIC HEARING**

5. SUP-24-09-0038 - Specific Use Permit - Zoom Performance & Body Shop (City Council District 5). Specific Use Permit for Auto Body & Paint Shop at 2100 E Main Lot 2, Block 2, Business Center Addition, City of Grand Prairie, Dallas County, Texas, zoned PD-60, and addressed as 2100 E Main St

*Senior Planner Abdul Ghous presented the case report and gave a power point presentation. He stated the applicant intends to operate an Auto Body and Paint Shop facility at 2100 E Main St. The requested use requires a Specific Use Permit in the PD-60 district, which has a base zoning of Light Industrial. The purpose of the Specific Use Permit process is to identify those uses that might be appropriate within a zoning district, but due to either their location, functional or operational nature, could have a potentially negative impact on surrounding properties; and provide for a procedure whereby such uses might be permitted by further restricting or conditioning them to eliminate such probable negative consequences. The applicant is requesting a variance to reduce the minimum parking requirement from 11 to eight (8) spaces. Staff does not object to this request as all repairs will be done by appointment only and vehicles will be stored within the building.*

*The Development Review Committee (DRC) recommends approval with the following conditions:*

1. *The business shall be operated in compliance with all state, federal, and local laws and regulations.*



2. *The business shall obtain a Certificate of Occupancy and Auto Related Business permit.*
3. *All business operations must be conducted indoors. Storing or parking damaged vehicles outdoors is prohibited.*

*Mauricio Rodriguez 4453 Preston Circle Dallas Tx., stepped forward representing the case. He stated his business is by appointment only and if need be, they have plenty of space to store vehicles inside. Raza Hussain 2100 E Main St Ste B Grand Prairie Tx., stepped forward representing case and available for questions.*

*Motion made by Commissioner Adhikari, Seconded by Commissioner Gonzalez to close the public hearing and approve item five with conditions. The motion carried unanimously.*

6. SUP-24-09-0037 – Specific Use Permit/Site Plan – Tru by Hilton (City Council District 4). Specific Use Permit and Site Plan for a four-story hotel featuring a pool and associated parking on 2.209 acres. Tract 1U, Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas, zoned Planned Development-30, within the HI 20 Corridor Overlay District, and generally located on the southeast corner of S Great Southwest Pkwy and W Bardin Rd and tentatively addressed as 4115 S Great Southwest Pkwy

*Planner Brittany Musser presented the case report and gave a power point presentation. She stated the applicant seeks a Specific Use Permit and Site Plan approval to permit the construction of a hotel. Tru by Hilton is a Midscale, 4-story hotel with 98 rooms. The zoning of the site is a Planned Development (PD-30) which has a base zoning of Commercial (C). Hotels are allowed by an SUP in the existing zoning.*

*The applicant is requesting the following variances:*

1. *Pool Size – The applicant is requesting a variance to a water surface of 3,000 sq. ft. requirement to allow a pool surface of 300 sq. ft.*
2. *Accent Materials – The applicant is requesting a variance to the approved accent materials list to allow for high-pressure laminate.*
3. *Glazing (Building) - The applicant is requesting a variance from 50% glazing of the length of all four facades to allow 31.8% glazing.*
4. *Canopies (Building) – The applicant is requesting a variance from 25% canopies of the length of all four facades to allow 19.4% canopies.*
5. *Height – The applicant is requesting a variance to the maximum height of 25 ft. to allow for a maximum height of 52.75 ft.*
6. *Midscale/Upper-Midscale Concentration – The applicant is proposing a Midscale/Upper-Midscale hotel, which would be the fifth Midscale/Upper-Midscale hotel within one mile. The UDC limits the concentration to four.*

*Staff is unable to recommend approval of this request because the proposal does not meet the UDC concentration requirements for hotels. However, should the Planning and Zoning Commission recommend approval, staff recommends the following conditions:*



1. *The applicant shall provide detention or provide a downstream assessment study to prove no negative impacts by not providing detention.*
2. *The proposal shall meet all Appendix F building design requirements for accent materials.*

*Commissioner Medina asked how many hotels are within a one-mile radius. Ms. Musser stated seven. Karl Crawley 2201 Main St Dallas Tx., stepped forward representing case and gave a power point presentation. Commissioner Madden inquired of the lighting locations. Mr. Crawley stated all lighting will be in the back of the building. Dana Baldrige 4106 Briton Ct Grand Prairie Tx., stepped forward in opposition of this request. She questioned the need of another hotel and stated concern with noise and traffic. James Myers 2554 Slaton Dr Grand Prairie Tx., stepped forward in opposition of this request. He stated concern with the removal of existing trees and the salability of his home. Terry Foster 2546 Slaton Dr Grand Prairie Tx., stepped forward in opposition of this request. He stated frustration with the development potentially being directly behind his home. Commissioners thanked the applicant for the presentation and the citizens for stating their concerns.*

*Motion made by Chairperson Smith, Seconded by Commissioner Chapman to close the public hearing and deny item six. The motion carried unanimously.*

7. TAM-24-09-0009 - Text Amendment - Article 8, Section 16: Tree Protection and Mitigation. An Ordinance of the City of Grand Prairie, Texas, Amending Article 8, Section 16: Tree Protection and Mitigation of the Unified Development Code; Repealing all Ordinances or Parts of Ordinances in Conflict Herewith; Containing a Savings Clause and a Severability Clause; and Establishing the Effective as the Date of Passage and Approval

*Senior Planner June Sin presented the case report and gave a power point presentation. She stated This request establishes how the Urban Forest Fund can be spent to plant and care for public trees in public spaces, parks, or other City-owned properties. The proposed changes also include minor amendments to clean up text without substantive changes.*

*This text amendment will accomplish the following:*

1. *Define "Public Tree"*
2. *Allow Urban Forest Fund to be spent on*
  - a. *Planting and Replacing of trees*
  - b. *Installing new irrigation system and repairing existing system*
  - c. *Funding Urban Tree Canopy Studies*
3. *Add mesquite, chinaberry, and pyracantha to the unprotected tree list*
4. *Clarify mitigation credit for trees in non-disturbance areas*

*The Development Review Committee (RC) recommends approval.*

*Motion made by Commissioner Madden, Seconded by Commissioner Okoli to close the public hearing and approve item seven. The motion carried unanimously.*



## ADJOURNMENT

*Chairperson Smith moved to adjourn the meeting. The meeting adjourned at 8:04 p.m.*

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*Cheryl Smith, Chairperson*

*ATTEST:*

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*Michelle Madden, Secretary*





## CITY OF GRAND PRAIRIE COMMUNICATION

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**MEETING DATE:** 11/11/2024

**REQUESTER:** Monica Espinoza, Administrative Supervisor

**PRESENTER:** Brittany Musser, Planner

**TITLE:** PLT-24-10-0038 - Final Plat - Constellation Rock Island (City Council District 1). Final Plat of Lot 1, Block 1, Constellation Rock Island Addition, creating one industrial lot on 16.832 acres. Multiple tracts out of John C. Read Survey, City of Grand Prairie, Dallas County, Texas, zoned Planned Development (PD-450), within SH 161 Corridor Overlay, and approximate addresses of 3514-3560 Hardrock Rd and 4701 Hardrock Rd

**APPLICANT:** Maggie Kelly, Halff

**RECOMMENDED ACTION:** Approve

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### SUMMARY:

Final Plat of Lot 1, Block 1, Constellation Rock Island Addition, creating one industrial lot on 16.832 acres. Multiple tracts out of John C. Read Survey, City of Grand Prairie, Dallas County, Texas, zoned Planned Development (PD-450) with a base zoning of Light Industrial (LI), within SH 161 Corridor Overlay, and approximate addresses of 3514-3560 Hardrock Rd and 4701 Hardrock Rd.

### PURPOSE OF REQUEST:

The purpose of the Final Plat is to create one industrial lot for a 288,357 sq. ft. speculative industrial warehouse on 16.832 acres.

### ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1. Zoning and Land Use**

Direction	Zoning	Existing Use
North	Outside City Limits	Outside City Limits
South	PD-4, SF-1	Mobile Home Park
West	PD-190	Industrial



East	PD-389	Undeveloped
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## HISTORY:

- January 23, 2024: City Council approved the Planned Development (PD-450) for Multi-Family (MF) uses for this site (Case Number ZON-23-10-0039).
- January 23, 2024: City Council approved the Site Plan for Constellation Rock Island for a speculative industrial warehouse building on 16.832 acres (Case Number STP-24-05-0022).

## PLAT FEATURES:

The Final Plat proposes one lot to accommodate a new warehouse building. It establishes the utility easements necessary for the project and depicts Right-of-Way dedication along Rock Island Rd and Hardrock Rd.

## ZONING REQUIREMENTS:

*Density and Dimensional requirements:*

The lot meets the density and dimensional requirements, which are summarized in the table below.

**Table 2. Zoning and Land Use**

Standard	Required	Lot 1	Meets
Min. Lot Area (Sq. Ft.)	15,000	733,186	Yes
Min. Lot Width (Ft.)	100	1,272	Yes
Min. Lot Depth (Ft.)	150	381	Yes
Front Setback (Ft.)	25	25	Yes

## VARIANCES:

The applicant is not requesting any variances.

## RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.

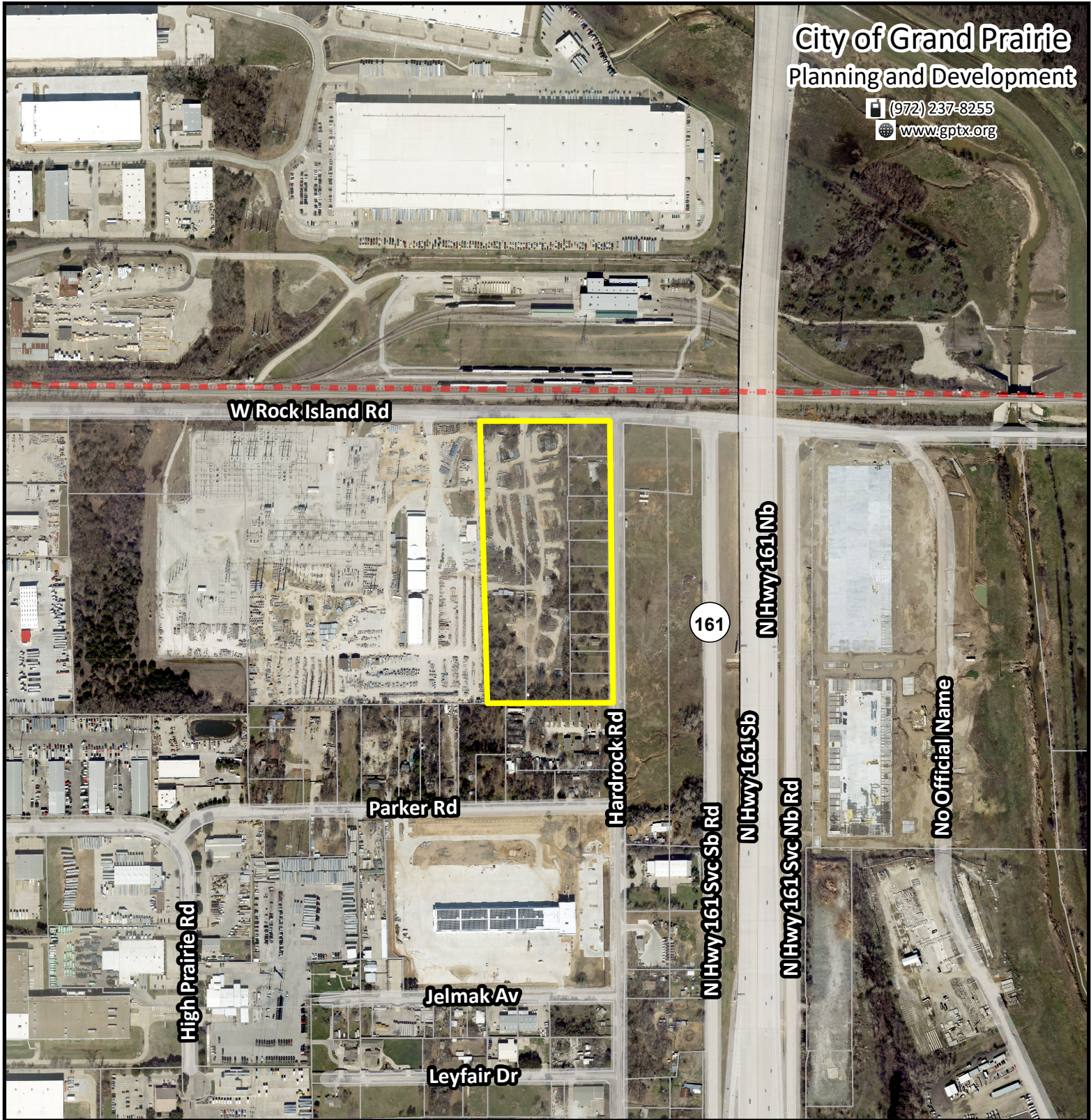





# Exhibit A- Location Map

## Page 1 of 1

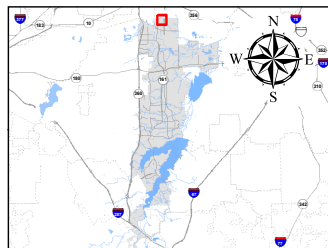
CASE LOCATION MAP  
PLT-24-10-0038  
CONSTELLATION  
ROCK ISLAND

Item2.



-  Location
-  Street Center Line
-  Parcels

The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to the public based on the Public Information Act. The City of Grand Prairie makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.



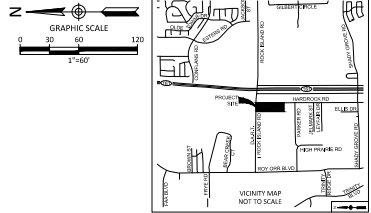
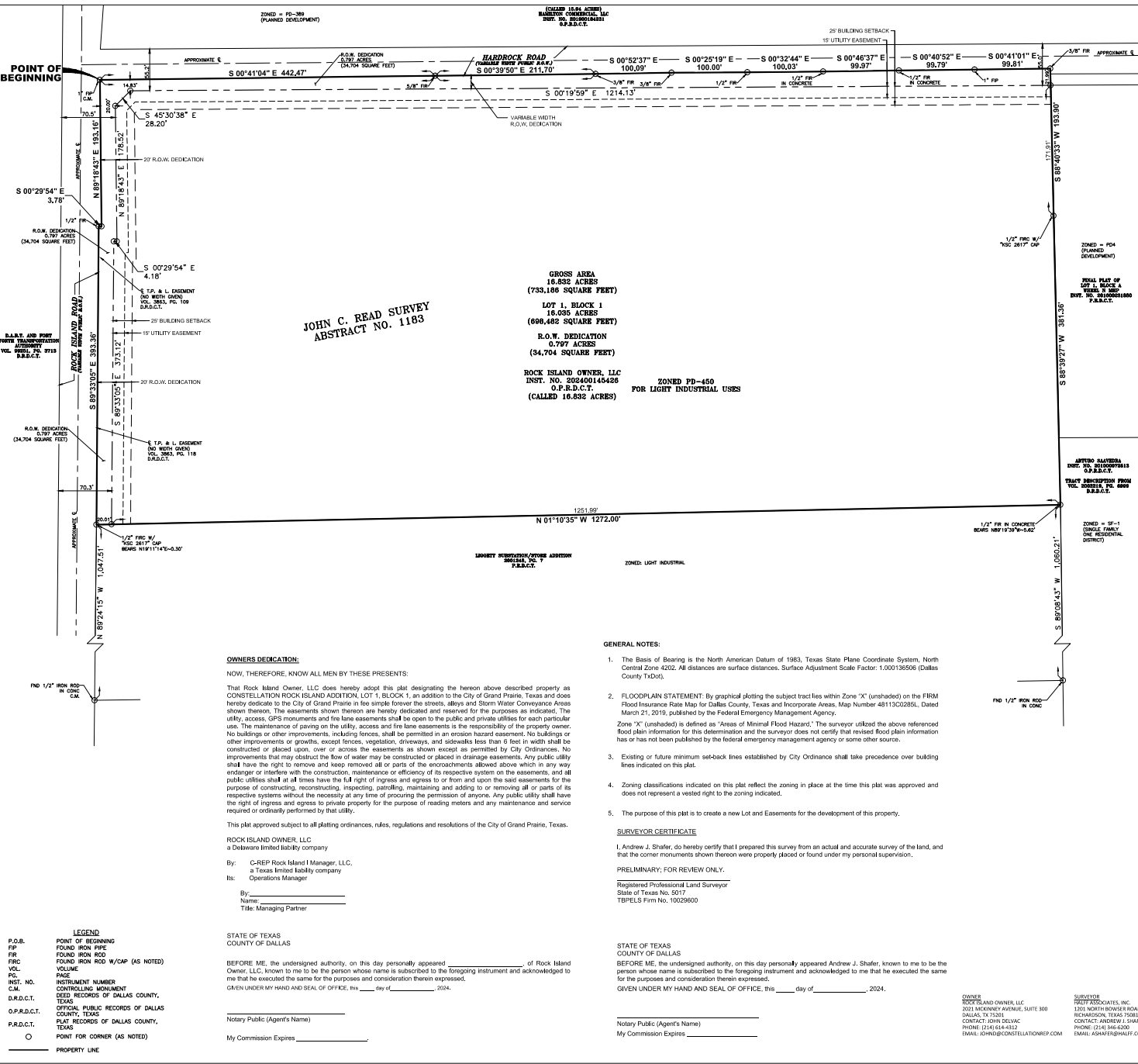
0 0.13 Miles

**Grand Prairie**  
TEXAS  
PLANNING  
Date: 10/2/2024



Exhibit B - Final Plat  
Page 1 of 1

Item2.



**OWNER'S CERTIFICATE**  
STATE OF TEXAS  
COUNTY OF DALLAS

WHEREAS Rock Island Owner, LLC is the owner of a 16,832 acre tract of land situated in the John C. Read Survey, Abstract Number 1183, City of Grand Prairie, Dallas County, Texas, and being all of that tract of land described in Special Warranty Deed to Rock Island Owner, LLC as recorded in Instrument Number 202400145426, of the Official Public Records of Dallas County, Texas (O.P.R.D.C.T.), and being more particularly described by metes and bounds as follows:

**BEGINNING** at a 1/2-inch smooth iron rod found at the intersection of the south right-of-way line of Rock Island Road (variable width right-of-way) with the west right-of-way line of Hardrock Road (variable width right-of-way), for the northeast corner of said 16,832 acre tract of land;

**THENCE** Southerly along the west right-of-way line of Hardrock Road and east line of said 16,832 acre tract of land the following calls:

South 00 degrees 41 minutes 04 seconds East, a distance of 442.47 feet to a 5/8-inch iron rod found for corner;

South 00 degrees 39 minutes 50 seconds East, a distance of 211.70 feet to a 3/8-inch iron rod found for corner;

South 00 degrees 52 minutes 37 seconds East, a distance of 100.09 feet to a 3/8-inch iron rod found for corner;

South 00 degrees 25 minutes 19 seconds East, a distance of 100.00 feet to a 1/2-inch iron rod in asphalt found for corner;

South 00 degrees 32 minutes 44 seconds East, a distance of 100.03 feet to a 1/2-inch iron rod in concrete found for corner;

South 00 degrees 46 minutes 37 seconds East, a distance of 99.97 feet to a 1/2-inch iron rod in concrete found for corner;

South 00 degrees 40 minutes 52 seconds East, a distance of 99.79 feet to a 1/2-inch iron rod found for corner;

South 00 degrees 41 minutes 01 second East, a distance of 99.81 feet to a 3/8-inch iron rod found for the southeast corner of said 16,832 acre tract, and from which a found 1/2-inch iron rod bears South 84 degrees 37 minutes 22 seconds West, a distance of 6.89 feet and a found 1/2-inch iron rod bears South 87 degrees 38 minutes 57 seconds West, a distance of 21.35 feet;

**THENCE** South 88 degrees 40 minutes 33 seconds West, departing said west right-of-way line and along the south line of said 16,832 acre tract, a distance of 193.30 feet to a 1/2-inch iron rod with a plastic cap stamped "KSC-2617" found for corner, and from which said point a found 5/8-inch iron rod with a plastic cap stamped "KSC-4019" bears South 87 degrees 13 minutes 08 seconds West, a distance of 6.83 feet;

**THENCE** South 88 degrees 39 minutes 27 seconds West, continuing along the south line of said 16,832 acre tract, a distance of 381.35 feet to the southwest corner of said 16,832 acre tract, from which said point a found 1/2-inch iron rod in concrete bears North 89 degrees 19 minutes 39 seconds West, a distance of 5.62 feet, said point also being the southeast corner of the Liggett Substation/Store addition an addition to the City of Grand Prairie, as recorded in Volume 2001248, Page 7 of the Deed Records of Dallas County, Texas, and from which said point a 1/2-inch iron rod in concrete found for the southwest corner of said Liggett Substation/Store addition bears South 89 degrees 08 minutes 43 seconds West, a distance of 1,060.21 feet;

**THENCE** North 01 degree 10 minutes 35 seconds West, along the common west line of said 16,832 acre tract and east line of said Liggett Substation/Store addition, a distance of 1,272.00 feet to the northwest corner of said 16,832 acre tract and northeast corner of said Liggett Substation/Store addition on the south line of said Rock Island Road, and from which said point a found 1/2-inch iron rod with a plastic cap stamped "KSC-2617" bears North 19 degrees 11 minutes 14 seconds East, a distance of 6.30 feet, and a 1/2-inch iron rod in concrete found for the northeast corner of said Liggett Substation/Store addition bears North 89 degrees 24 minutes 15 seconds West, a distance of 1,047.51 feet;

**THENCE** Easterly along the south right-of-way line of Rock Island Road and north line of said 16,832 acre tract of land the following calls:

South 89 degrees 33 minutes 05 seconds East, a distance of 393.36 feet to a 1/2-inch iron rod found for corner at a jog in said right-of-way;

South 00 degrees 29 minutes 54 seconds East, a distance of 3.78 feet to a point for corner (unable to monument);

North 89 degrees 18 minutes 43 seconds East, a distance of 193.16 feet to the **POINT OF BEGINNING** AND **CONTAINING** 733,186 square feet or 16,832 acres of land, more or less.

- GENERAL NOTES:**
- The Basis of Bearing is the North American Datum of 1983, Texas State Plane Coordinate System, North Central Zone 4202. All distances are surface distances, Surface Adjustment Scale Factor: 1.000136506 (Dallas County TxDot).
  - FLOODPLAIN STATEMENT:** By graphical plotting the subject tract lies within Zone "X" (unshaded) on the FRM Flood Insurance Rate Map for Dallas County, Texas and incorporate Areas, Map Number 4811300285L, Dated March 21, 2019, published by the Federal Emergency Management Agency. Zone "X" (unshaded) is defined as "Areas of Minimal Flood Hazard". The surveyor utilized the above referenced flood plain information for this determination and the surveyor does not certify that revised flood plain information has or has not been published by the federal emergency management agency or some other source.
  - Existing or future minimum set-back lines established by City Ordinance shall take precedence over building lines indicated on this plat.
  - Zoning classifications indicated on this plat reflect the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicated.
  - The purpose of this plat is to create a new Lot and Easements for the development of this property.

**SURVEYOR CERTIFICATE**

I, Andrew J. Shaffer, do hereby certify that I prepared this survey from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed or found under my personal supervision.

**PRELIMINARY; FOR REVIEW ONLY.**

Registered Professional Land Surveyor  
State of Texas No. 5017  
TBPELS Firm No. 10029600

**STATE OF TEXAS**  
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_ of Rock Island Owner, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public (Agent's Name) \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

**LEGEND**

P.O.B. POINT OF BEGINNING  
F.P. FOUND IRON PIPE  
F.R. FOUND IRON ROD  
F.O. FOUND IRON ROD W/CAP (AS NOTED)  
VOL. VOLUME  
PAGE  
INST. NO. INSTRUMENT NUMBER  
C.M. CONTROLLING MONUMENT  
D.R.D.C.T. DEED RECORDS OF DALLAS COUNTY, TEXAS  
O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS  
P.R.D.C.T. PLAT RECORDS OF DALLAS COUNTY, TEXAS  
O POINT FOR CORNER (AS NOTED)  
PROPERTY LINE

**FINAL PLAT**  
OF  
**CONSTELLATION ROCK ISLAND ADDITION**  
**LOT 1, BLOCK 1**  
**CASE NO. PLT-24-10-0038**  
BEING  
**16,832 ACRES SITUATED IN THE**  
**JOHN C. READ SURVEY ABSTRACT NO. 1183**  
IN THE  
**CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS**  
BY  
  
SCALE: 1"=60' AVO: 56747.001 OCTOBER 2024





## CITY OF GRAND PRAIRIE COMMUNICATION

**MEETING DATE:** 11/11/2024

**REQUESTER:** Monica Espinoza

**PRESENTER:** Abdul R. Ghous, AICP, Senior Planner

**TITLE:** PLT-24-09-0036 - Preliminary Plat – Lakesong Phase 1. Preliminary Plat of Lakesong Phase 1 to develop 429 residential lots, two commercial lots, 22 open space lots, and one lot for an amenity center on 172.03 acres. The property is generally south of Seeton Road, East of FM 661, North of 287, and North of Kimble Road, Ellis County, Texas (Parcel IDs 190594, 190594 & 294666)

**APPLICANT:** Mike Peterson, Graham Associates

**RECOMMENDED ACTION:** Approve

### SUMMARY:

Preliminary Plat of Lakesong Phase 1 to develop 429 residential lots, two commercial lots, 22 open space lots, and one lot for an amenity center on 172.03 acres. The property is generally south of Seeton Road, East of FM 661, North of 287, and North of Kimble Road, Ellis County, Texas (Parcel IDs 190594, 190594 & 294666).

### PURPOSE OF REQUEST:

The purpose of the Preliminary Plat is to lay out roads, blocks, lots, and easements to facilitate the development of Lakesong. The Preliminary Plat serves as the basis for preparation of a Final Plat, which, upon approval by the City of Grand Prairie, will be recorded with the county.

### ADJACENT LAND USES:

**Table 1. Adjacent Zoning and Land Uses**

Direction	Zoning	Existing Use
North	Unzoned (ETJ)	Undeveloped
South	PD-307, Agriculture, City of Midlothian	Undeveloped, Single Family Residential
West	Unzoned (ETJ)	Undeveloped



East	Unzoned (ETJ)	Undeveloped
------	---------------	-------------

## **HISTORY:**

- August 1, 2023: City Council approved an ordinance amending TIRZ #3 to Extend the Term and Expand the Boundaries to Create and Include Area Development Zones #9, #10, and #11.
- September 19, 2023: City Council approved Resolution Authorizing the Execution of a Development Agreement with HC GPM, LLC, HC Harmony Hill, LLC, and Riverside DPH, L.P for the Lakesong Planned Development.
- September 19, 2023: City Council approved Resolution Consenting to the Creation of Lakesong Municipal Management District Number 1, an In-City Municipal Management District.
- September 19, 2023: City Council approved Resolution Giving Consent to the Annexation of Land into the Lakesong Municipal Management District No. 1, an In-City Municipal Management District, with said Consent Being Effective Upon Annexation of the Land into the City of Grand Prairie
- November 7, 2023: City Council approved a Comprehensive Plan Amendment to change the Future Land Use Map from Low Density Residential, Open Space, and Commercial/Retail/Office to Open Space, Mixed Use, High Density Residential, Medium Density Residential, and Low Density Residential on 1,201 acres (Case Number CPA-23-09-0018).
- February 6, 2024: City Council approved a zoning change from Agriculture to a Planned Development on 155 acres (Case Number ZON-23-11-0044).
- February 12, 2024: Planning and Zoning Commission approved Preliminary Plat for Lakesong Phase 1 (Case Number PL-T23-11-0068).

## **PROPOSED USE CHARACTERISTICS AND FUNCTION:**

Preliminary Plat of Lakesong Phase 1 to develop 429 residential lots, two commercial lots, 22 open space lots, and one lot for an amenity center on 172.03 acres. 155 acres are within Grand Prairie City limits, while 33.02 acres are within the ETJ. The amended plat removed Pod 4 and connected the amenity center to the Cove Pond to increase activation. Below is a summary of the proposed villages:

- Village 1 will consist of 143 lots
- Village 2 will consist of 107 lots
- Village 3 will consist of 154 lots

## **DEVELOPER AGREEMENT REQUIREMENTS:**

The City does not have zoning authority in the ETJ. Development is governed by the Developer Agreement, which includes requirements for residential subdivision design, landscape and screening, and architectural, dimensional, and density standards. Lakesong includes six lot types that differ in lot area, width, and depth. Table 2 shows the type of lots provided and acreage for each village within Phase 1.



**Table 2. Summary of Lot Type for Phase 1**

<b>LAND USE TABLE</b>						
USE TYPE	PLANNING TITLE	VILLAGE MODEL	VILLAGE 1	VILLAGE 2	VILLAGE 3	MIXED USE
SINGLE FAMILY ATTACHED	TOWN HOMES	0	0	0	0	0
SINGLE FAMILY DETACHED	30 FT X 110 FT	0	0	0	0	0
SINGLE FAMILY DETACHED	40 FT X 100 FT	0	0	0	84	0
SINGLE FAMILY DETACHED	55FT X 100 FT	20	80	0	70	0
SINGLE FAMILY DETACHED	60 FT X 100 FT	4	63	69	0	0
SINGLE FAMILY DETACHED	70 FT X 125 FT	1	0	21	0	0
SINGLE FAMILY DETACHED	85 FT X 140 FT	0	0	17	0	0
COMMERCIAL		0	0	0	0	2
AMENITY CENTER		0	0	0	1	0
NON RESIDENTIAL		0	10	2	3	0
TOTAL LOTS		25	143	107	154	2
TOTAL LOTS W/IN GRAND PRAIRIE CITY LIMITS		0	22	0	0	2
TOTAL ACREAGE PER POD		4.85 AC	36.8 AC	35.1 AC	56.1 AC	127.3
TOTAL ACREAGE PER POD IN GRAND PRAIRIE CITY LIMITS		0	9.9 AC	0	0	3.27 AC
MINIMUM LOT SIZE		0.126 AC	0.126 AC	0.172 AC	0.106 AC	N/A
DENSITY		5.15 UNITS/AC.	3.89 NUIITS/AC.	3.05 UNITS/AC.	2.74 UNITS/AC.	N/A

**RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval.

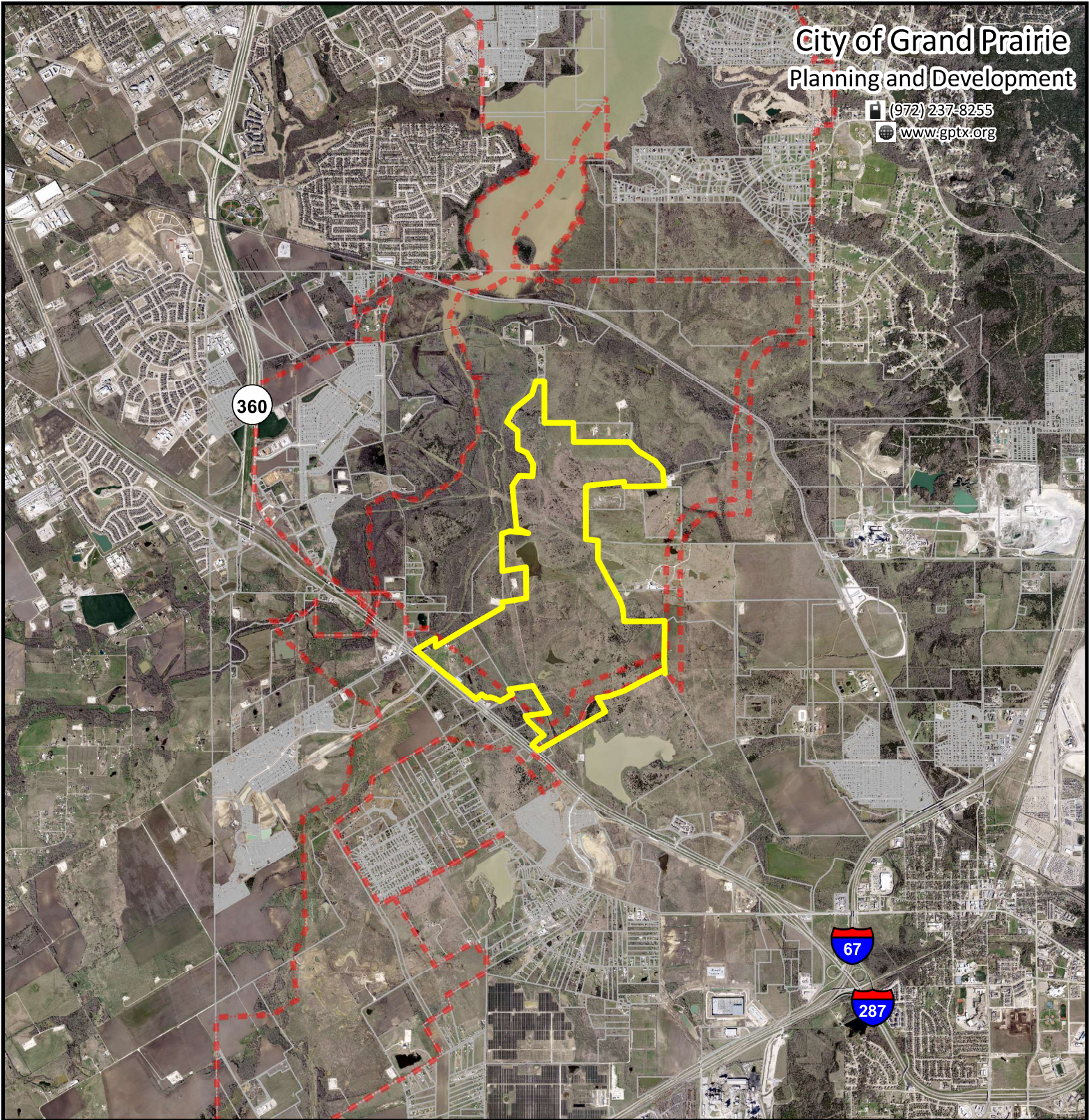


# Exhibit A- Location Map

## Page 1 of 1

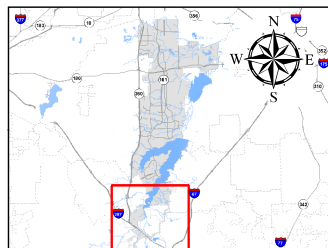
CASE LOCATION MAP  
PLT-24-09-0036  
LAKESONG

Item3.



 Location  
 Parcels

The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to public based on the Public Information Act. The City of Grand Prairie makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.



0 1.1 Miles

**Grand Prairie**  
TEXAS  
PLANNING  
Date: 10/31/2024

20



Exhibit B - Preliminary Plat  
Page 1 of 16

# LAKE\$ONG

## PRELIMINARY PLAT

### FOR PHASE 1

CITY OF GRAND PRAIRIE, TEXAS  
ELLIS COUNTY

**OWNERS**

HC GPM, LLC  
8200 DOUGLAS AVENUE,  
SUITE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387

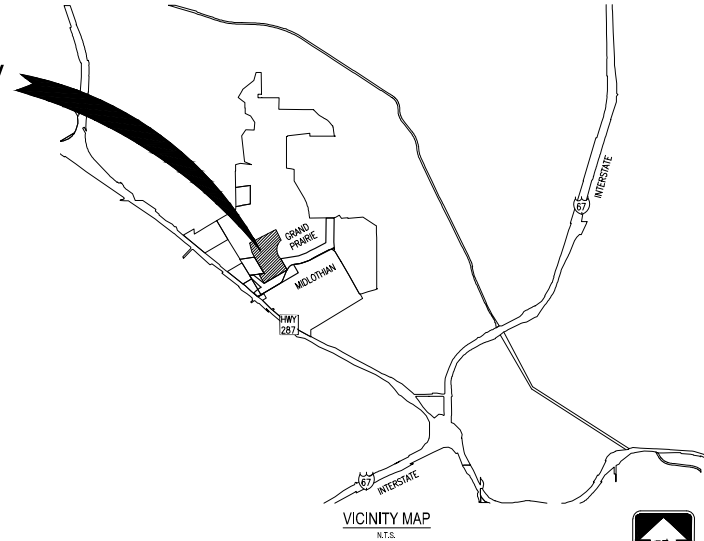
RIVERSIDE DPH, L.P.  
8200 DOUGLAS AVENUE,  
SUITE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387

HC HARMONY HILL, LLC.  
8200 DOUGLAS AVENUE,  
SUITE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387

**DEVELOPER**

HUFFINES COMMUNITIES  
8200 DOUGLAS AVENUE,  
SUITE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387

*PROJECT LOCATION*



VICINITY MAP  
N.T.S.



**INDEX OF SHEETS**

SHEET NO.	DESCRIPTION
1	COVER
2-18	PRELIMINARY PLAT
19-21	TYPICAL SECTIONS
22	DRAINAGE AREA MAP
23-25	STORM SEWER LAYOUT
26-27	WASTEWATER FLOW STUDY
28-32	WATER & SANITARY SEWER LAYOUT

**PRELIMINARY - FOR REVIEW ONLY**

These documents are for review only  
and not intended for construction,  
bidding or permit purposes. They were  
prepared by, or under supervision of:

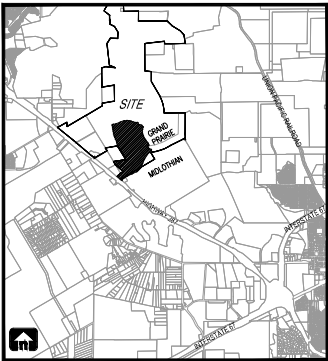
M. L. PETERSON, PE 92728 9/10/2024  
Name PE No. Date

**ENGINEER**  
GRAHAM ASSOCIATES, INC.  
CIVIL ENGINEERING & SURVEYING  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8535  
TBP# FIRM: F-11591/TBPLS FIRM: 101539-00

SEPTEMBER 2024



Exhibit B - Preliminary Plat  
Page 2 of 16



VICINITY MAP  
(NTS)

LEGEND  
OBJECT = OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS  
OBJECT = DEED RECORDS, ELLIS COUNTY, TEXAS  
PRECT. = PLAT RECORDS, ELLIS COUNTY, TEXAS  
DOC. = DOCUMENT  
NO. = NUMBER  
FR = FOUND 1/2 INCH IRON ROD  
SR = SET 1/2 INCH IRON ROD WITH "GRAHAM ASSOC. INC. CAP

--- POB PHASE LINES

--- CITY LIMIT LINES



GRAPHIC SCALE 1"=400'  
400 0 400 800

# LAKESONG

## PRELIMINARY PLAT LAKESONG ADDITION, PHASE 1 KEY MAP

VILLAGE 1, LOTS 1, 2, 3X, BLOCK 1; LOTS 14, 2X, 3-31, BLOCK 2;  
LOTS 1-12, 13X, BLOCK 3; LOTS 1-32, BLOCK 4; LOTS 1-26, BLOCK 5;  
LOTS 1-12, 13X, 15X, 15-23, BLOCK 6; LOTS 1-7, BK, 9-13, BLOCK 7;  
LOTS 1X, 2-12, 13X, 14X, BLOCK 8;  
VILLAGE MODEL, LOTS 1-25, BLOCK 9;  
VILLAGE 2, LOTS 1-12, 13X, 14-20, BLOCK 10; LOTS 1-11, BLOCK 11;  
LOTS 1-14, BLOCK 12; LOTS 1-21, BLOCK 13;  
LOTS 1-18, BLOCK 14; LOTS 1-24, 25X, BLOCK 15;  
VILLAGE 3, LOT 1-29, BLOCK 16; LOTS 1-33, BLOCK 17; LOTS 1-8, BK, BLOCK 18;  
LOTS 1-19, BLOCK 19; LOTS 1-25, BLOCK 20; LOTS 1, 2X, BLOCK 22

136.59 ACRES ETJ- 35.44 ACRES CITY LIMITS- TOTAL 172.03 ACRES

OWNER:  
HC GPM, LLC  
8200 DOUGLAS AVE, STE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: info@hcscommunities.com

DEVELOPER:  
HATE WITTEL  
RIVERSIDE GPM, LP  
8200 DOUGLAS AVE, STE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: info@hcscommunities.com

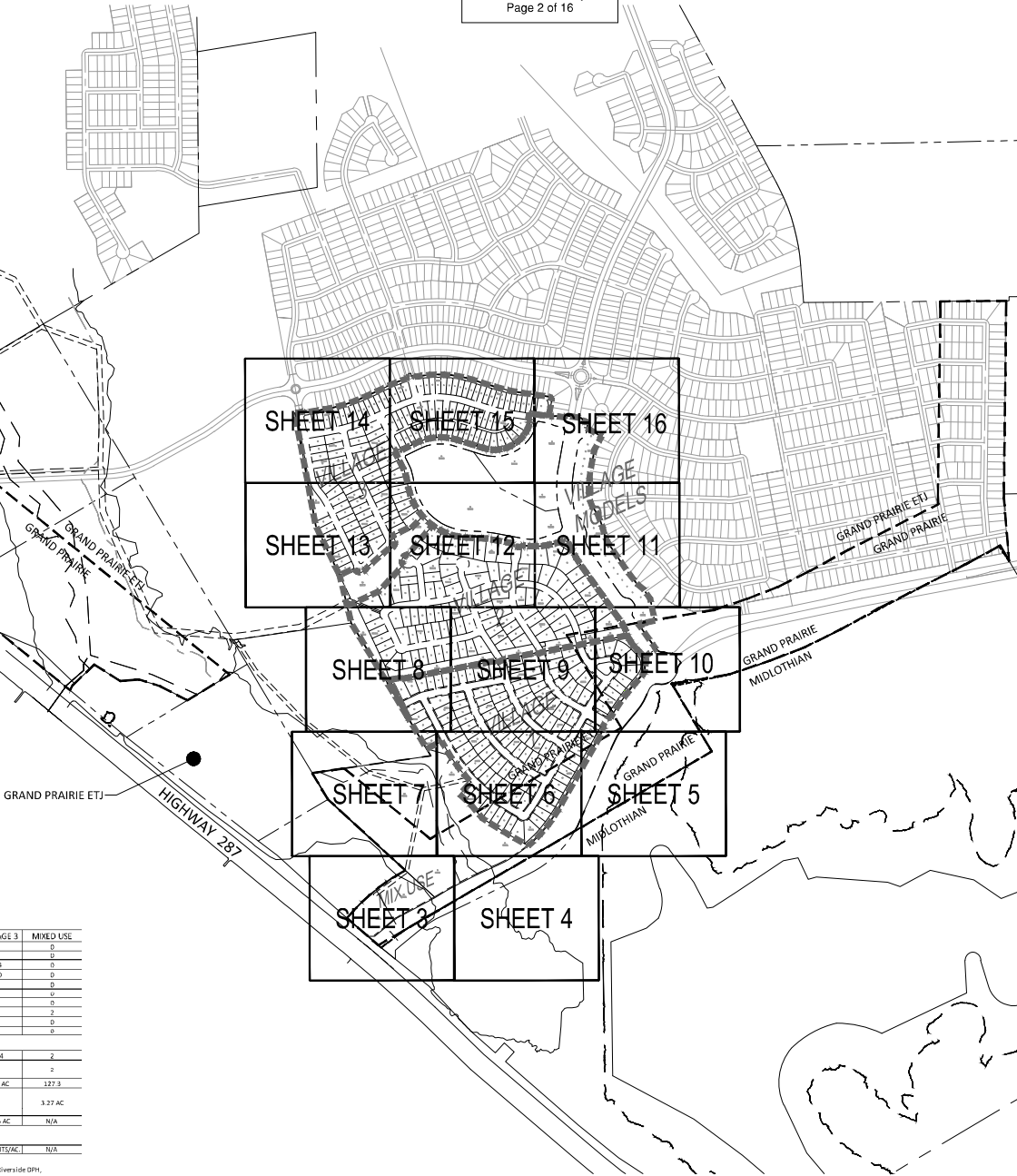
APPLICANT/ENGINEERS:  
GRAHAM ASSOCIATES, INC.  
ENGINEERS & PLANNERS  
600 SIX FLAGS DR, STE. 500  
ARLINGTON, TEXAS 76011  
PHONE: 817-640-8035  
FAX: 817-633-5240  
EMAIL: mpeterson@grahaminc.com

DATE: SEPTEMBER 2014  
SITUATED IN THE  
J. JONES SURVEY, ABSTRACT NO. 583  
M.P. & P.M. SURVEY, ABSTRACT NO. 751  
JOSEPH STEWART SURVEY, ABSTRACT NO. 961  
CITY OF GRAND PRAIRIE, ELLIS COUNTY, TEXAS

429 SINGLE FAMILY, 2 COMMERCIAL, 1 AMENITIES CENTER & 14 NON RESIDENTIAL LOTS  
22 BLOCKS

GRAHAM ASSOCIATES, INC.  
CIVIL ENGINEERING & SURVEYING  
4000 E. CASPER AVE, SUITE 200  
ARLINGTON, TEXAS 76010  
PHONE: 817-640-8035

SHEET  
2-18

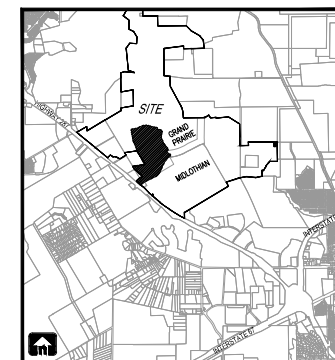
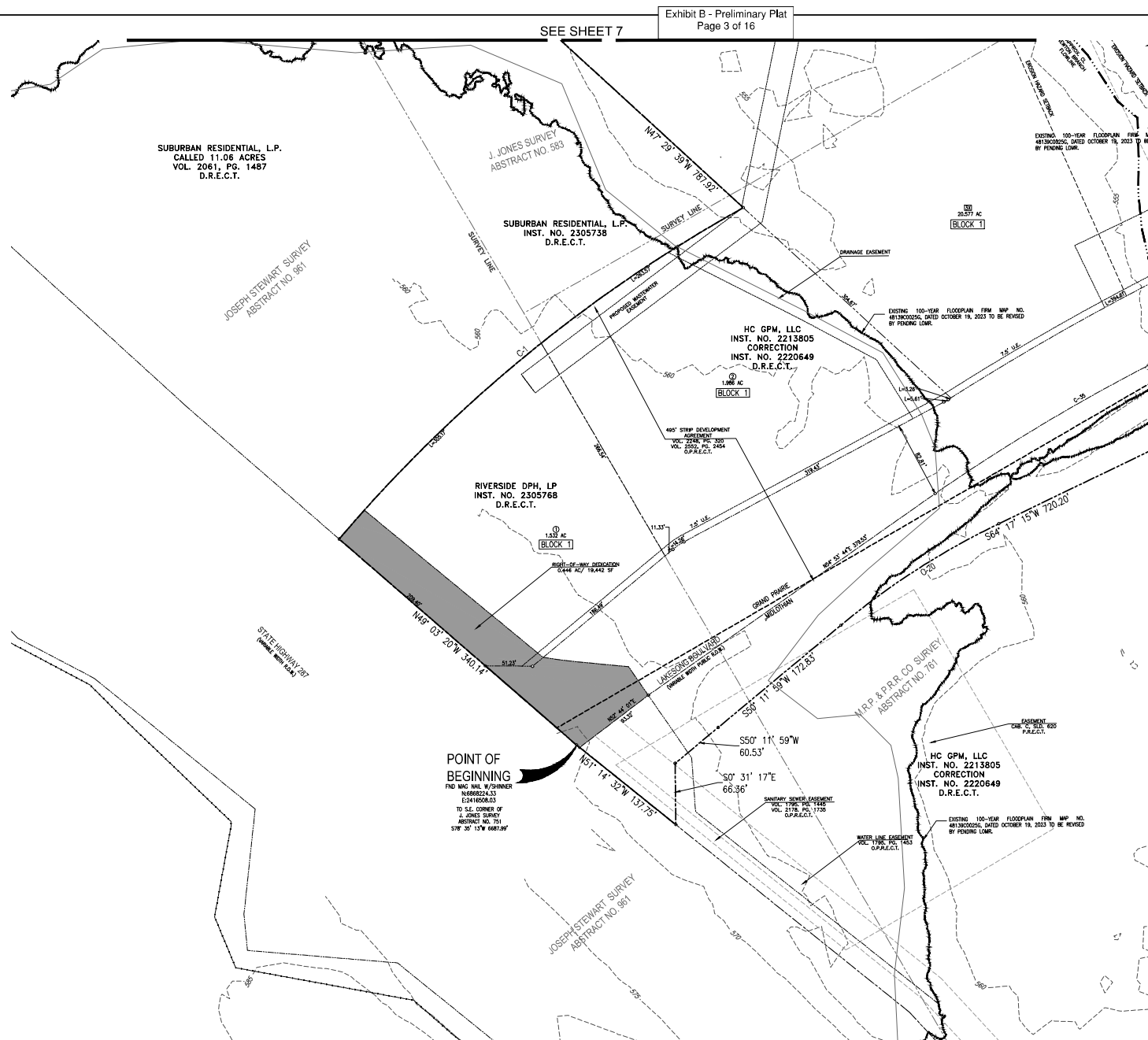


### LAND USE TABLE

USE TYPE	PLANNING TITLE	VILLAGE MODEL	VILLAGE 1	VILLAGE 2	VILLAGE 3	MIXED USE
SINGLE FAMILY ATTACHED	TOWN HOMES	0	0	0	0	0
SINGLE FAMILY DETACHED	40 FT X 130 FT	0	0	0	0	0
SINGLE FAMILY DETACHED	40 FT X 100 FT	0	0	0	0	0
SINGLE FAMILY DETACHED	55 FT X 100 FT	20	80	0	70	0
SINGLE FAMILY DETACHED	60 FT X 100 FT	4	63	69	0	0
SINGLE FAMILY DETACHED	75 FT X 125 FT	1	0	23	0	0
SINGLE FAMILY DETACHED	85 FT X 140 FT	0	0	17	0	0
COMMERCIAL	0	0	0	0	0	2
AMENITY CENTER	0	0	0	1	0	0
NON RESIDENTIAL	0	10	2	3	0	0
TOTAL LOTS		25	143	107	154	2
TOTAL LOTS W/IN GRAND PRAIRIE CITY LIMITS		0	28	0	9	0
TOTAL ACRES PER PLOT		4.85 AC	36.8 AC	35.1 AC	56.1 AC	127.3
TOTAL ACRES PER PLOT IN GRAND PRAIRIE CITY LIMITS		0	9.9 AC	0	0	3.27 AC
MINIMUM LOT SIZE		0.126 AC	0.126 AC	0.172 AC	0.105 AC	N/A
DENSITY		5.15 UNITS/AC	3.89 UNITS/AC	3.05 UNITS/AC	2.74 UNITS/AC	N/A


\*Per Exhibit 1, Section 2, Paragraph 4, of the Development Agreement with HC GPM, LLC, HC Harmony Hill, LLC, and Riverside DPH, LP for the LakeSong Planned Development executed September 19, 2013.

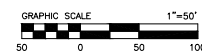




**VICINITY MAP**  
(NTS)

- NOTES:
- 1.) ALL PROPERTY CORNERS ARE SET 1/2" I.R. WITH GAI CAP UNLESS SHOWN OTHERWISE.
  - 2.) VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC AND PRIVATE STREET INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCES. ALL LANDSCAPING WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE LAKESONG DEVELOPER'S AGREEMENT.
  - 3.) BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE, 1983 NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011.
  - 4.) EXISTING 100-YEAR FLOODPLAIN FIRM MAP NO. 48139C00252C DATED OCTOBER 19, 2023 TO BE REVISED BY LOWER PENDING.

- LEGEND:
- |   |  |
|---|--|
| O.P.R.E.C.T.  | OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS |
| D.R.E.C.T.  | DEED RECORDS, ELLIS COUNTY, TEXAS            |
| P.R.E.C.T.  | PLAT RECORDS, ELLIS COUNTY, TEXAS            |
| VOL.  | VOLUME                                       |
| PG.   | PAGE   |
| ELECT   | ELECTRIC                                     |
| ESMT  | EASEMENT                                     |
| ROW   | RIGHT-OF-WAY                                 |
| B.L.  | BUILDING LINE                                |
| U.E.  | UTILITY EASEMENT                             |
|  | STREET NAME CHANGE                           |



LAKE\$ONG  
PRELIMINARY PLAT

LAKESONG ADDITION, PHASE 1

VILLAGE 1, LOTS 1, 2, 3X, BLOCK 1; LOTS 1X, 2X, 3-51, BLOCK 2;  
LOTS 1-12, 13X, BLOCK 3; LOTS 1-32, BLOCK 4; LOTS 1-26, BLOCK 5;  
LOTS 1-12, 13X, 15X, 15-23, BLOCK 6; LOTS 1-7, 8X, 9-13, BLOCK 7;  
LOTS 1X, 2-12, 13X, 14X, BLOCK 8;  
VILLAGE 2, LOTS 1-12, 13X, 14-20, BLOCK 9; LOTS 1-11,  
LOTS 1-14, BLOCK 12; LOTS 1-21, BLOCK 13;  
LOTS 1-18, BLOCK 15; LOTS 1-24, 25X, BLOCK 15;  
VILLAGE 3, LOTS 1-29, BLOCK 18; LOTS 1-33, BLOCK 17; LOTS 1-8, 9X, BLOCK 18;  
LOTS 1-19, BLOCK 18; LOTS 1-23, BLOCK 20; LOTS 1, 2X, BLOCK 22.

**OWNER**  
HC GPM, LLC  
8200 DOUGLAS AVE, STE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: [nwtzelx@huffinescommunities.com](mailto:nwtzelx@huffinescommunities.com)

**NATE WITZEL**  
**DEVELOPER**  
RIVERSIDE DPH, LP  
8200 DOUGLAS AVE. STE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: [nwitzel@huffinescommunities.com](mailto:nwitzel@huffinescommunities.com)

NATE WITZEL  
APPLICANT / ENGINEER

**APPLICANT/ENGINEERS**  
GRAHAM ASSOCIATES, INC.  
ENGINEERS & PLANNERS  
800 SIX FLAGS DR. STE. 500  
ARLINGTON, TEXAS 76011  
PHONE: 817-640-8535  
FAX: 817-633-5240  
EMAIL: mpeterson@grahamcivil.com

136.59 ACRES ETJ- 35.44 ACRES CITY LIMITS- TOTAL 172.03 ACRES

ZONED: PD  
SITUATED IN THE  
J. JONES SURVEY, ABSTRACT NO. 583  
M.R.P. & P.R.R. SURVEY, ABSTRACT NO. 751  
JOSEPH STEWART SURVEY, ABSTRACT NO. 961  
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429 SINGLE FAMILY, 2 COMMERCIAL, 1 AMENITIES CENTER & 14 NON RESIDENTIAL LOTS  
22 BLOCKS

DATE: SEPTEMBER 2024

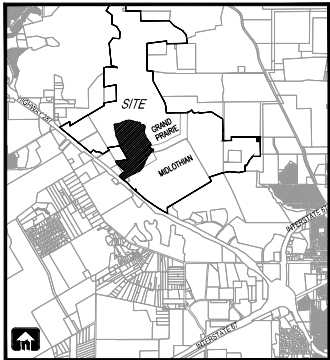


**GRAHAM ASSOCIATES, INC.**  
CIVIL ENGINEERING & SURVEYING  
800.304.FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 440-8835  
TELE FAX: 817-440-8835 FAX: 817-440-8835



SEE SHEET 6

SEE SHEET 5



VICINITY MAP  
(NTS)

NOTES:

- 1.) ALL PROPERTY CORNERS ARE SET 1/2" I.R. WITH GAI CAP UNLESS SHOWN OTHERWISE.
- 2.) VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC AND PRIVATE STREET INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCES. ALL LANDSCAPING WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE LAKESONG DEVELOPER'S AGREEMENT.
- 3.) BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4252, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT REALIZATION 2011.
- 4.) EXISTING 100-YEAR FLOODPLAIN FIRM MAP NO. 48139C00256 DATED OCTOBER 19, 2023 TO BE REVISED BY LOMR PENDING.

LEGEND:

- O.P.R.E.C.T. OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS  
D.R.E.C.T. DEED RECORDS, ELLIS COUNTY, TEXAS  
P.R.E.C.T. PLAT RECORDS, ELLIS COUNTY, TEXAS  
VOL. VOLUME  
PG. PAGE  
ELECT. ELECTRIC  
ESMT. EASEMENT  
ROW. RIGHT-OF-WAY  
B.L. BUILDING LINE  
U.E. UTILITY EASEMENT  
◆ STREET NAME CHANGE



LAKESONG  
PRELIMINARY PLAT

LAKESONG ADDITION, PHASE 1

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LOTS 1X, 2-12, 13X, 14X, BLOCK 6;  
VILLAGE 2, LOTS 1-25, BLOCK 7;  
VILLAGE 3, LOTS 1-12, 13X, 14-20, BLOCK 8; LOTS 1-11, BLOCK 9;  
LOTS 1-14, BLOCK 10; LOTS 1-21, BLOCK 11;  
LOTS 1-18, BLOCK 12; LOTS 1-24, 25X, BLOCK 13;  
VILLAGE 4, LOT 1-29, BLOCK 14; LOTS 1-33, BLOCK 15; LOTS 1-8, 9X, BLOCK 16;  
LOTS 1-19, BLOCK 17; LOTS 1-23, BLOCK 18; LOTS 1, 2X, BLOCK 19

136.59 ACRES ET-7- 35.44 ACRES CITY LIMITS- TOTAL 172.03 ACRES

OWNER:  
HC GPM, LLC  
8200 DOUGLAS AVE, STE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: hwtel@hwtelthecommutides.com  
NATE WITEL  
DEVELOPER:  
WINDRIDGE SPV, LP  
8200 DOUGLAS AVE, STE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: hwtel@hwtelthecommutides.com  
NATE WITEL  
APPLICANT/ENGINEERS:  
GRAHAM ASSOCIATES, INC.  
ENGINEERS & PLANNERS  
400 SIX FLASK DR, STE 500  
ARLINGTON, TEXAS 76011  
PHONE: 817-640-8036  
FAX: 817-633-5240  
EMAIL: n.peter@grahamassociates.com  
MICHAEL L. PETERSON P.E., R.P.L.S.

ZONED: PD  
SITUATED IN THE  
J. JONES SURVEY, ABSTRACT NO. 583  
M.E.P. & P.R.E. SURVEY, ABSTRACT NO. 751  
JOSEPH STEWART SURVEY, ABSTRACT NO. 941  
CITY OF GRAND PRAIRIE, ELLIS COUNTY, TEXAS  
429 SINGLE FAMILY, 2 COMMERCIAL, 1 AMENITIES CENTER & 14 NON RESIDENTIAL LOTS  
22 BLOCKS

DATE: SEPTEMBER 2024



GRAHAM ASSOCIATES, INC.  
CIVIL ENGINEERING & SURVEYING  
800 SAN TACLOS DRIVE, SUITE 201  
ARLINGTON, TEXAS 76010 (817) 640-8036  
TYPED BY: P-1017 (10/13) TYPED BY: 10155460

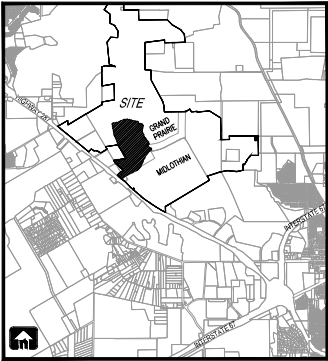
SHEET  
4-18



SEE SHEET 10

SEE SHEET 6

SEE SHEET 4



VICINITY MAP  
(NTS)

- NOTES:
- 1.) ALL PROPERTY CORNERS ARE SET 1/2" I.R. WITH GAI CAP UNLESS SHOWN OTHERWISE.
  - 2.) VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC AND PRIVATE STREET INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCES. ALL LANDSCAPING WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE LAKESONG DEVELOPER'S AGREEMENT.
  - 3.) BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT REALIZATION 2011.
  - 4.) EXISTING 100-YEAR FLOODPLAIN FIRM MAP NO. 48139C0025G DATED OCTOBER 19, 2023 TO BE REVISED BY LOMR PENDING.
- LEGEND:
- O.P.R.E.C.T OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS  
D.R.E.C.T. DEED RECORDS, ELLIS COUNTY, TEXAS  
P.R.E.C.T. PLAT RECORDS, ELLIS COUNTY, TEXAS
- VOL. VOLUME  
PG. PAGE  
ELECT. ELECTRIC  
ESMT. EASEMENT  
ROW. RIGHT-OF-WAY  
B.L. BUILDING LINE  
U.E. UTILITY EASEMENT
- ◆ STREET NAME CHANGE



# LAKESONG PRELIMINARY PLAT

LAKESONG ADDITION, PHASE 1

VILLAGE 1, LOTS 1, 2, 3X, BLOCK 1; LOTS 1X, 2X, 3-31, BLOCK 2;  
LOTS 1-12, 13X, 15X, 15-23, BLOCK 6; LOTS 1-7, 8X, 9-13, BLOCK 7;  
LOTS 1X, 2-12, 13X, 14X, BLOCK 8;  
VILLAGE 2, LOTS 1-25, BLOCK 9;  
VILLAGE 2, LOTS 1-12, 13X, 14-20, BLOCK 10; LOTS 1-11, BLOCK 11;  
LOTS 1-14, BLOCK 12; LOTS 1-21, BLOCK 13;  
LOTS 1-18, BLOCK 14; LOTS 1-24, 25X, BLOCK 15;  
VILLAGE 3, LOT 1-29, BLOCK 16; LOTS 1-33, BLOCK 17; LOTS 1-8, 9X, BLOCK 18;  
LOTS 1-19, BLOCK 19; LOTS 1-23, BLOCK 20; LOTS 1, 2X, BLOCK 22

136.59 ACRES ET-7- 35.44 ACRES CITY LIMITS- TOTAL 172.03 ACRES

OWNER  
HC GPM, LLC  
8020 DOUGLAS AVE, STE 300  
DALLAS, TEXAS 75225  
PHONE 469-781-5387  
EMAIL: nwtzel@hufinescommunities.com

DEVELOPER  
RIVERBROOK DRPH, LP  
8020 DOUGLAS AVE, STE 300  
DALLAS, TEXAS 75225  
PHONE 469-781-5387  
EMAIL: nwtzel@hufinescommunities.com

NATE WITZEL

APPLICANT/ENGINEERS  
GRAHAM ASSOCIATES, INC.  
ENGINEERS & PLANNERS  
600 SIX FLASKS, PH. 310, 500  
ARLINGTON, TEXAS 76010  
PHONE: 817-642-8035  
FAX: 817-633-5240  
EMAIL: mpetersen@ghamail.com

MICHAEL L. PETERSON P.E., R.P.L.S.

ZONED: PD  
SITUATED IN THE  
J. JONES SURVEY, ABSTRACT NO. 585  
M.L.P. & P.M. SURVEY, ABSTRACT NO. 751  
JOSEPH STEWART SURVEY, ABSTRACT NO. 951  
CITY OF GRAND PRAIRIE, ELLIS COUNTY, TEXAS

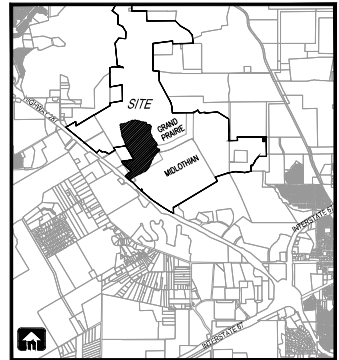
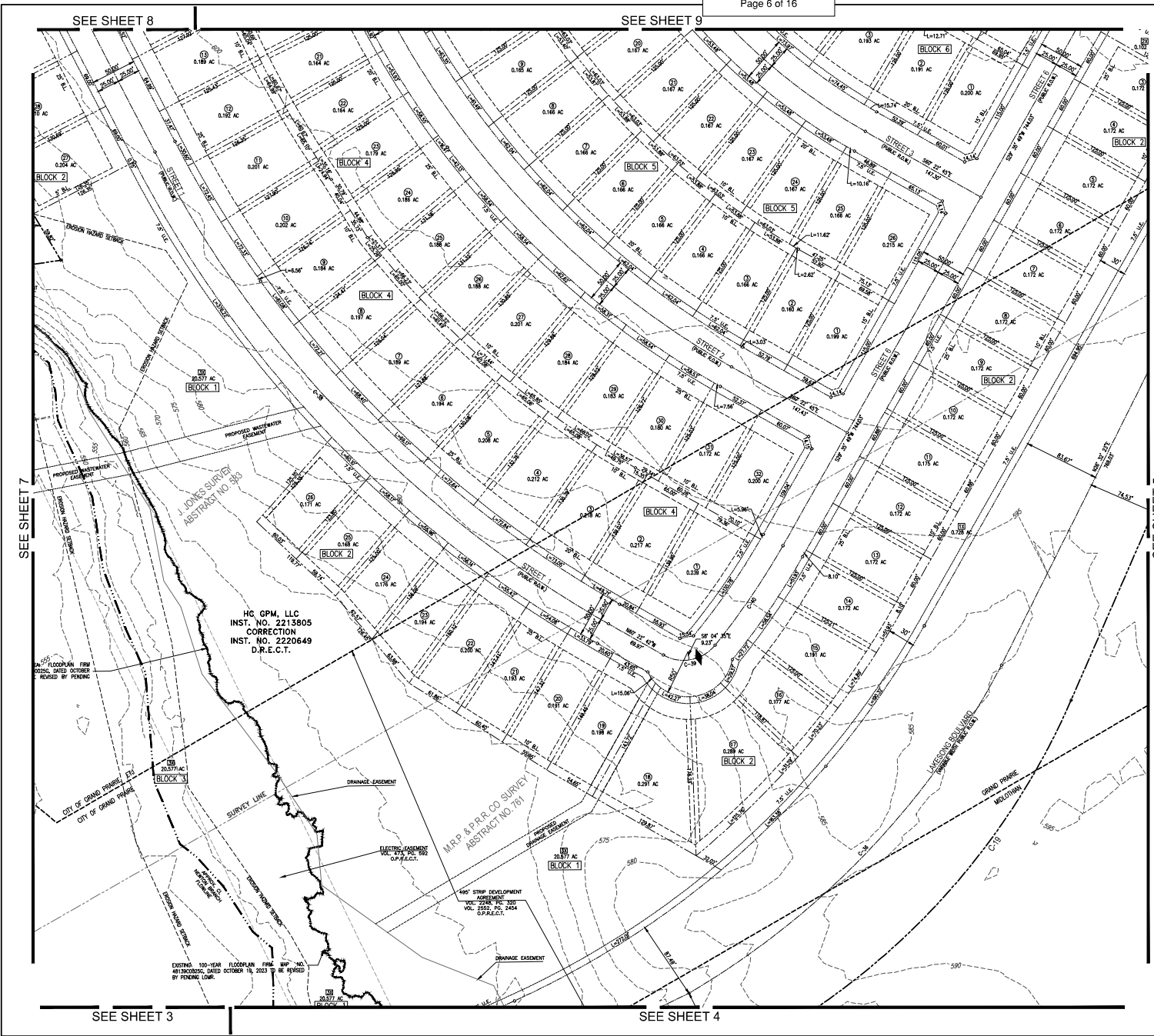
429 SINGLE FAMILY, 2 COMMERCIAL, 1 AMENITIES CENTER & 14 NON RESIDENTIAL LOTS  
22 BLOCKS

DATE: SEPTEMBER 2024



GRAHAM ASSOCIATES, INC.  
CIVIL ENGINEERING & SURVEYING  
8001 FAY FLORIANE SUITE 500  
ARLINGTON, TEXAS 76010 (714) 765-2500  
TELEPHONE (419) 1010101 FAX (1010101)





VICINITY MAP  
(NTS)

- NOTES:
- 1.) ALL PROPERTY CORNERS ARE SET 1/2" I.R. WITH GAI CAP UNLESS SHOWN OTHERWISE.
  - 2.) VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC AND PRIVATE STREET INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCES. ALL LANDSCAPING WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE LAKESONG DEVELOPER'S AGREEMENT.
  - 3.) BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT REALIZATION 2011.
  - 4.) EXISTING 100-YEAR FLOODPLAIN FIRM MAP NO. 48139C00250 DATED OCTOBER 19, 2023 TO BE REVISED BY LOMR PENDING.
- LEGEND:
- |              |  |
|--------------|--|
| O.P.R.E.C.T. | OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS |
| D.R.E.C.T.   | DEED RECORDS, ELLIS COUNTY, TEXAS            |
| P.R.E.C.T.   | PLAT RECORDS, ELLIS COUNTY, TEXAS            |
| VOL.         | VOLUME                                       |
| PG.          | PAGE   |
| ELECT        | ELECTRIC                                     |
| ESMT         | EASEMENT                                     |
| ROW          | RIGHT-OF-WAY                                 |
| B.L.         | BUILDING LINE                                |
| U.E.         | UTILITY EASEMENT                             |
| ◆            | STREET NAME CHANGE                           |
- GRAPHIC SCALE 1"=50'
- 50 0 50 100

# LAKESONG

## PRELIMINARY PLAT

LAKESONG ADDITION, PHASE 1

VILLAGE 1, LOTS 1, 2, 3X, BLOCK 1; LOTS 1X, 2X, 3-31, BLOCK 2;  
LOTS 1-12, 13X, 15X, 15-23, BLOCK 3; LOTS 1-7, 8X, 9-13, BLOCK 7;  
LOTS 1X, 2-12, 13X, 14X, BLOCK 8;  
VILLAGE 2, LOTS 1-25, BLOCK 9;  
VILLAGE 3, LOTS 1-12, 13X, 14-20, BLOCK 10; LOTS 1-11, BLOCK 11;  
LOTS 1-14, BLOCK 12; LOTS 1-21, BLOCK 13;  
LOTS 1-18, BLOCK 14; LOTS 1-24, 25X, BLOCK 15;  
VILLAGE 4, LOT 1-29, BLOCK 16; LOTS 1-33, BLOCK 17; LOTS 1-8, 9X, BLOCK 18;  
LOTS 1-19, BLOCK 19; LOTS 1-23, BLOCK 20; LOTS 1, 2X, BLOCK 22

OWNER  
HC GPM, LLC  
8200 DOUGLAS AVE. STE 300  
DALLAS, TEXAS 75225  
PHONE 469-781-5387  
EMAIL: hilton@hiltoncommunities.com

DATE: WITZEL

DEVELOPER  
RIVERBROOK GPM, LP  
8200 DOUGLAS AVE. STE 300  
DALLAS, TEXAS 75225  
PHONE 469-781-5387  
EMAIL: hilton@hiltoncommunities.com

DATE: WITZEL

APPLICANT/ENGINEERS  
GRAHAM ASSOCIATES, INC.  
ENGINEERS & PLANNERS  
600 SIX FIFTH ST. STE. 500  
ARLINGTON, TEXAS 76011  
PHONE: 817-440-8856  
FAX: 817-433-5240  
EMAIL: graham@grahamassociates.com

MICHAEL L. PETERSON P.E., R.P.L.S.

136.59 ACRES ETX-35.44 ACRES CITY LIMITS- TOTAL 172.03 ACRES

ZONED: PD  
SITUATED IN THE  
J. JONES SURVEY, ABSTRACT NO. 583  
M.E.P. & P.R.E. SURVEY, ABSTRACT NO. 751  
JOSEPH STEWART SURVEY, ABSTRACT NO. 961  
CITY OF GRAND PRAIRIE, ELLIS COUNTY, TEXAS

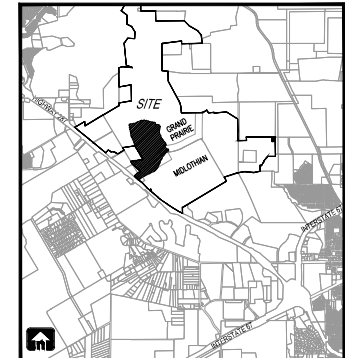
429 SINGLE FAMILY, 2 COMMERCIAL, 1 AMENITIES CENTER & 14 NON RESIDENTIAL LOTS  
22 BLOCKS

DATE: SEPTEMBER 2024

GRAHAM ASSOCIATES, INC.  
CIVIL ENGINEERING & SURVEYING  
1000 F. L. JONES DRIVE, SUITE 600  
ARLINGTON, TEXAS 76011 (817) 440-8856  
TELE FAXES 817-433-5240



SEE SHEET 8




**VICINITY MAP**  
(NTS)

- NOTES:

- 1.) ALL PROPERTY CORNERS ARE SET 1/2" I.R. WITH GA CAP UNLESS SHOWN OTHERWISE.
- 2.) VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC AND PRIVATE STREET INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCES. ALL LANDSCAPING WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE LAKESONG DEVELOPER'S AGREEMENT.
- 3.) BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT REALIZATION 2011.
- 4.) EXISTING 100-YEAR FLOODPLAIN FIRM MAP NO. 48139C00252 DATED OCTOBER 19, 2013 TO BE REVISED BY LOMR PENDING.

- LEGEND:

- |   |  |
|---|--|
| O.P.R.E.C.T.  | OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS |
| D.R.E.C.T.  | DEED RECORDS, ELLIS COUNTY, TEXAS            |
| P.R.E.C.T.  | PLAT RECORDS, ELLIS COUNTY, TEXAS            |
| VOL.  | VOLUME                                       |
| P.G.  | PAGE   |
| ELECT   | ELECTRIC                                     |
| ESMT  | EASEMENT                                     |
| ROW   | RIGHT-OF-WAY                                 |
| B.L.  | BUILDING LINE                                |
| U.E.  | UTILITY EASEMENT                             |
|  | STREET NAME CHANGE                           |



GRAPHIC SCALE 1"=50'

50 0 50 100

LAKE\$ONG  
PRELIMINARY PLAT

LAKESONG ADDITION, PHASE 1

VILLAGE 1, LOTS 1, 2, 3K, BLOCK 1; LOTS 1X, 2X, 3-3I, BLOCK 2;  
LOTS 1-12, 13K, BLOCK 3; LOTS 1-32, BLOCK 4; LOTS 1-28, BLOCK 5;  
LOTS 1-12, 13K, 15K, 15L, BLOCK 6; LOTS 1-7, 8K, 9-13, BLOCK 7;  
LOTS 1X, 2-12, 15K, 14K, BLOCK 8;  
VILLAGE MODEL, LOTS 1-25, BLOCK 9;  
VILLAGE 2, LOTS 1-12, 13K, 14-20, BLOCK 10; LOTS 1-11, BLOCK 11;  
LOTS 1-14, BLOCK 12; LOTS 1-21, BLOCK 13;  
LOTS 1-18, BLOCK 14; LOTS 1-24, 25K, BLOCK 15;  
VILLAGE 3, LOT 1-29, BLOCK 16; LOTS 1-33, BLOCK 17; LOTS 1-8, 9K, BLOCK 18;  
LOTS 1-19, BLOCK 19; LOTS 1-23, BLOCK 20; LOTS 1, 2K, BLOCK 22

136.59 ACRES ETJ- 35.44 ACRES CITY LIMITS- TOTAL 172.03 ACRES

ZONED: PD  
SITUATED IN THE  
J. JONES SURVEY, ABSTRACT NO. 583  
M.R.P. & P.R.R. SURVEY, ABSTRACT NO. 751  
JOSEPH STEWART SURVEY, ABSTRACT NO. 961  
CITY OF GRAND PRAIRIE, ELLIS COUNTY, TEXAS

429 SINGLE FAMILY, 2 COMMERCIAL, 1 AMENITIES CENTER & 14 NON RESIDENTIAL LOTS  
22 BLOCKS

DATE: SEPTEMBER 2024



**GRAHAM ASSOCIATES, INC.**  
CML ENGINEERING & SURVEYING  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8855  
TELE FAX: F-199/1 TEL/FAX (FAX: 101530-00)

OWNER

HC GPM, LLC  
8200 DOUGLAS AVE. STE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: [nwitez@huffneshcommunities.com](mailto:nwitez@huffneshcommunities.com)

NATE WITZEL

**DEVELOPER**  
RIVERSIDE DPH, LP  
8200 DOUGLAS AVE, STE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5367  
EMAIL: nwiltziX@nuffinescommunities.com

NATE WITZEL

APPLICANT/ENGINEERS

GRAHAM ASSOCIATES, INC.  
ENGINEERS & PLANNERS  
800 SIX FLAGS DR. STE. 500  
ARLINGTON, TEXAS 76011  
PHONE: 817-640-8535

FAX: 817-633-5240  
EMAIL: [mpeterson@grahamcivl.com](mailto:mpeterson@grahamcivl.com)  
MICHAEL L. PETERSON P.E., R.P.L.S.

SUBURBAN RESIDENTIAL, L.P.  
CALLED 11.06 ACRES  
VOL. 2061, PG. 1487  
D.R.E.C.T.

SUBURBAN RESIDENTIAL, L.P.  
CALLED 11.06 ACRES  
VOL. 2061, PG. 1487  
D.R.E.C.T.

SUBURBAN RESIDENTIAL, L.P.  
INST. NO. 2305738  
D.R.E.C.T.

WENDELL G. WATSON, ET AL  
VOL. 1047, PG. 663  
D.R.E.C.T.

HC LAKESONG, LLC  
INST. NO. 2419796  
D.R.E.C.T.

J. JONES SURVEY  
EXTRACT NO. 583

JOSEPH STEWART SURVEY  
ABSTRACT NO. 961

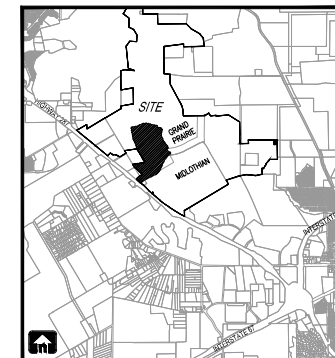
SEE SHEET 3

SHEET  
7-18



SEE SHEET 13

SEE SHEET 12

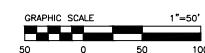
VICINITY MAP  
(NTS)

## NOTES:

- 1.) ALL PROPERTY CORNERS ARE SET 1/2" I.R. WITH GAI CAP UNLESS SHOWN OTHERWISE.
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- 3.) BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE, 4202, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT REALIZATION 2011.
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## LEGEND:

O.P.R.E.C.T.	OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS
D.E.C.T.	DEED RECORDS, ELLIS COUNTY, TEXAS
P.R.E.C.T.	PLAT RECORDS, ELLIS COUNTY, TEXAS
VOL.	VOLUME
PG.	PAGE
ELECT	ELECTRIC
ESMT	EASEMENT
ROW	RIGHT-OF-WAY
BL.	BUILDING LINE
U.E.	UTILITY EASEMENT
◆	STREET NAME CHANGE

LAKESONG  
PRELIMINARY PLAT

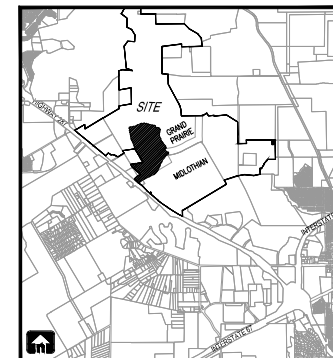
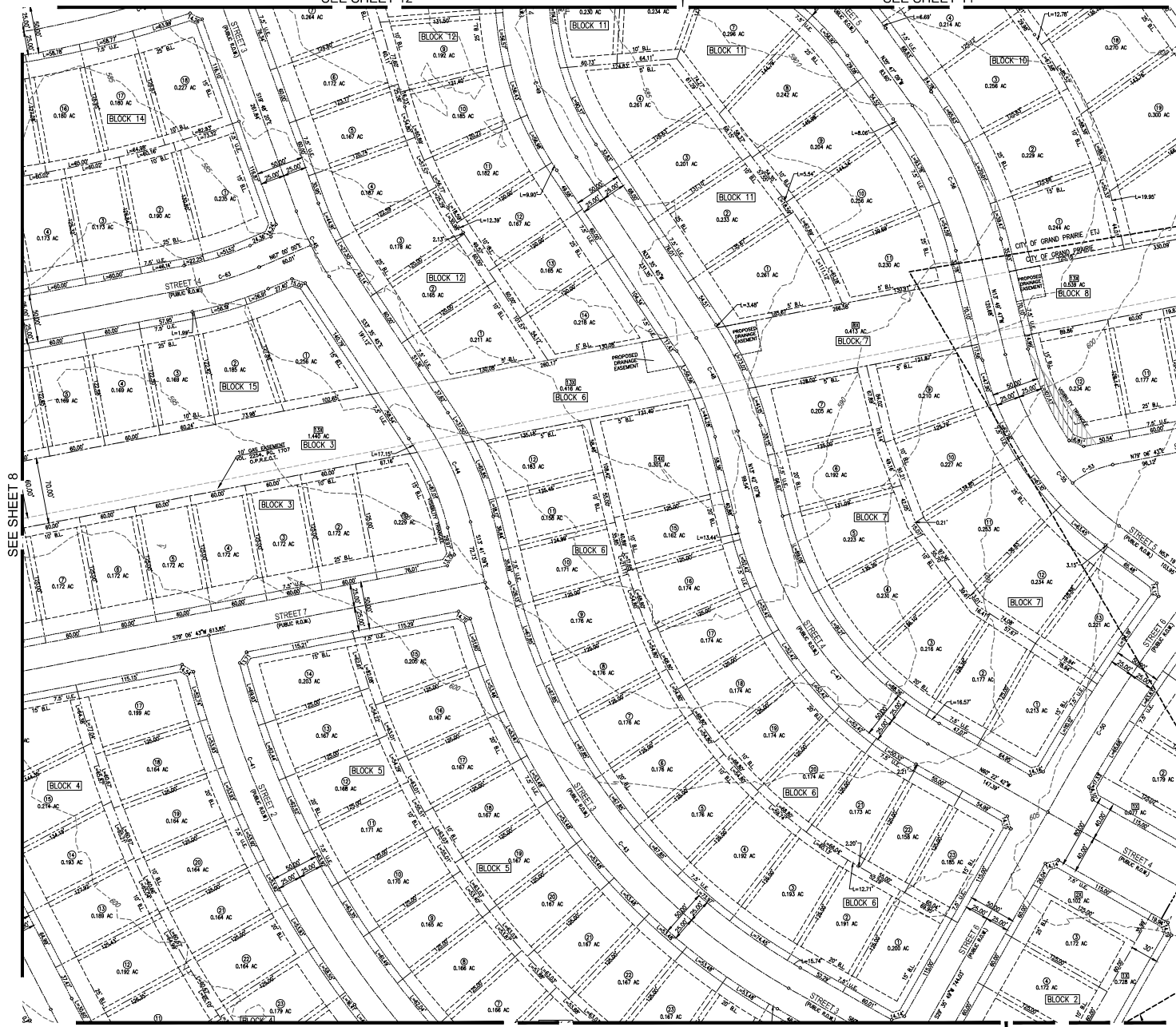
LAKESONG ADDITION, PHASE 1

VILLAGE 1, LOTS 1, 2, 3, BLOCK 1; LOTS 14, 24, 3-51, BLOCK 2;  
LOTS 1-12, 13, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 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2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073



SEE SHEET 12

SEE SHEET 11



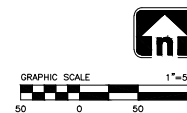
VICINITY MAP  
(NTS)

NOTES:

- 1.) ALL PROPERTY CORNERS ARE SET 1/2" I.R. WITH GAI CAP UNLESS SHOWN OTHERWISE.
- 2.) VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC AND PRIVATE STREET INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCES. ALL LANDSCAPING WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE LAKESONG DEVELOPER'S AGREEMENT.
- 3.) BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4222, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT REALIZATION 2011.
- 4.) EXISTING 100-YEAR FLOODPLAIN FIRM MAP NO. 48139C002250 DATED OCTOBER 19, 2023 TO BE REVISED BY LOMR PENDING.

LEGEND:

O.P.R.E.C.T.	OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS
D.R.E.C.T.	DEED RECORDS, ELLIS COUNTY, TEXAS
P.R.E.C.T.	PLAT RECORDS, ELLIS COUNTY, TEXAS
VOL.	VOLUME
PAGE	PAGE
ELECT	ELECTRIC
ESMT	EASEMENT
ROW	RIGHT-OF-WAY
B.L.	BUILDING LINE
U.E.	UTILITY EASEMENT
◆	STREET NAME CHANGE



LAKESONG  
PRELIMINARY PLAT  
LAKESONG ADDITION, PHASE 1

VILLAGE 1, LOTS 1, 2, 3X, BLOCK 1; LOTS 1X, 2X, 3-31, BLOCK 2;  
LOTS 1-12, 13X, 15X, 15-23, BLOCK 6; LOTS 1-7, 8X, 9-13, BLOCK 7;  
LOTS 1X, 2-12, 13X, 14X, BLOCK 8;  
VILLAGE MODEL, LOTS 1-25, BLOCK 9;  
VILLAGE 2, LOTS 1-12, 13X, 14-20, BLOCK 10; LOTS 1-11, BLOCK 11;  
LOTS 1-14, BLOCK 12; LOTS 1-21, BLOCK 13;  
LOTS 1-18, BLOCK 14; LOTS 1-24, 25X, BLOCK 15;  
VILLAGE 3, LOT 1-29, BLOCK 16; LOTS 1-33, BLOCK 17; LOTS 1-8, 9X, BLOCK 18;  
LOTS 1-18, BLOCK 19; LOTS 1-23, BLOCK 20; LOTS 1, 2X, BLOCK 22

136.59 ACRES ETJ- 35.44 ACRES CITY LIMITS- TOTAL 172.03 ACRES

OWNER

HC GP, LLC  
8200 DOUGLAS AVE. STE. 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: nwtz@hufinescommunities.com

NATE WITZEL

DEVELOPER

RIVERIDE GP, LP  
8200 DOUGLAS AVE. STE. 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: nwtz@hufinescommunities.com

NATE WITZEL

APPLICANT/ENGINEERS

GRAHAM ASSOCIATES, INC.  
ENGINEERS & PLANNERS  
600 SIX FLAGS DR. STE. 500  
ARLINGTON, TEXAS 76010  
PHONE: 817-442-8030  
FAX: 817-443-5240  
EMAIL: mpetersen@grahamci.com

MICHAEL L. PETERSON P.E., R.P.L.S.

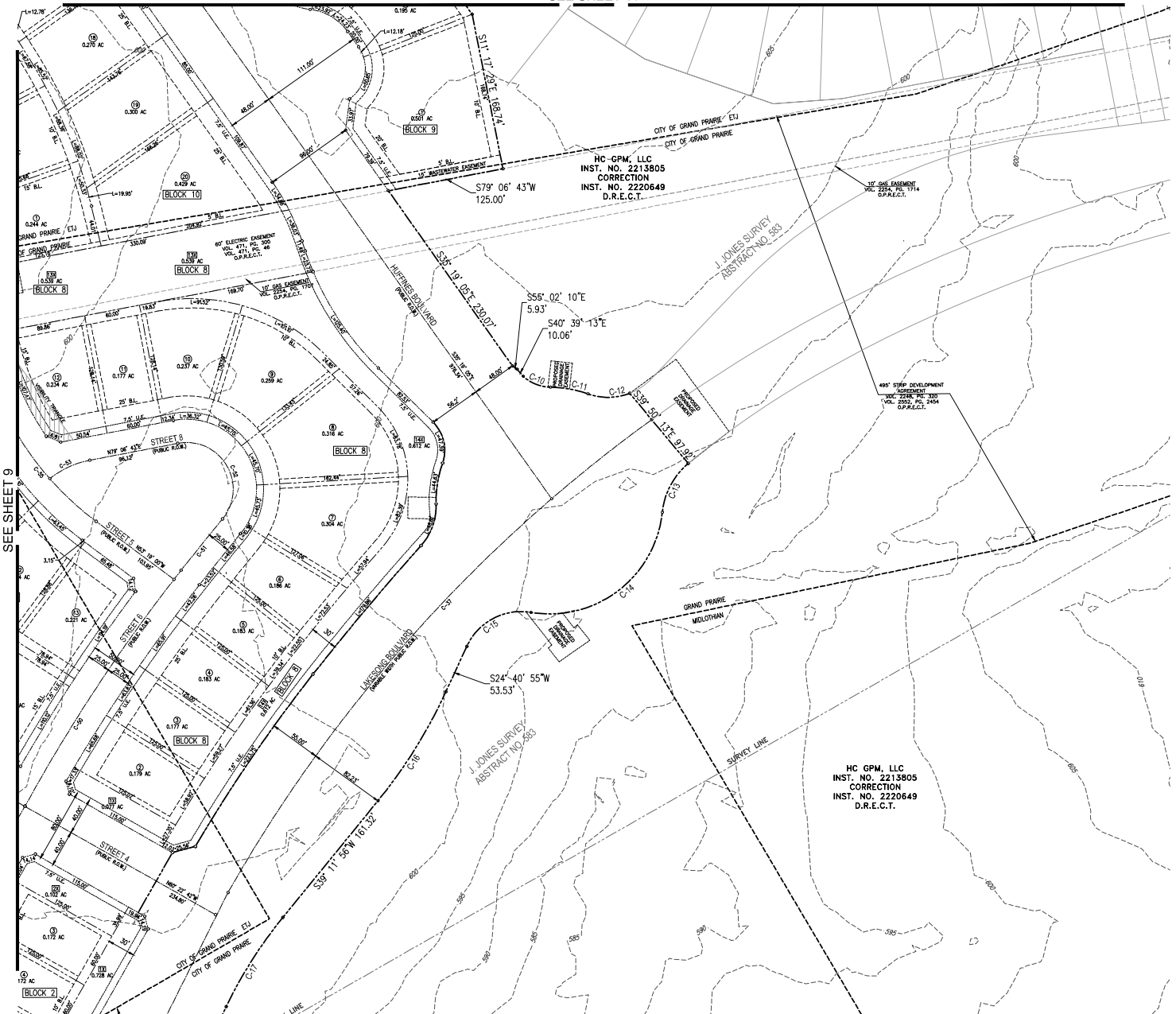
DATE: SEPTEMBER 2024

429 SINGLE FAMILY, 2 COMMERCIAL, 1 AMENITIES CENTER & 14 NON RESIDENTIAL LOTS  
22 BLOCKS

GRAHAM ASSOCIATES, INC.  
CIVIL ENGINEERING & SURVEYING  
400 RIVER CHASE DRIVE, SUITE 200  
ARLINGTON, TEXAS 76010  
PHONE: 817-442-8030  
FAX: 817-443-5240  
EMAIL: mpetersen@grahamci.com

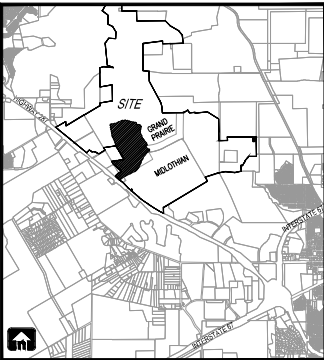


SEE SHEET 11



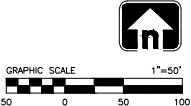
SEE SHEET 9

SEE SHEET 5



VICINITY MAP  
(NTS)

- NOTES:
- 1.) ALL PROPERTY CORNERS ARE SET 1/2" I.R. WITH GN CAP UNLESS SHOWN OTHERWISE.
  - 2.) VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC AND PRIVATE STREET INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCES. ALL LANDSCAPING WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE LAKESONG DEVELOPER'S AGREEMENT.
  - 3.) BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE, 4202, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT REALIZATION 2011.
  - 4.) EXISTING 100-YEAR FLOODPLAIN FIRM MAP NO. 48138C0025G DATED OCTOBER 19, 2023 TO BE REVISED BY LOMR PENDING.
- LEGEND:
- |              |  |
|--------------|--|
| O.P.R.E.C.T. | OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS |
| D.R.E.C.T.   | DEED RECORDS, ELLIS COUNTY, TEXAS            |
| P.R.E.C.T.   | PLAT RECORDS, ELLIS COUNTY, TEXAS            |
| VOL.         | VOLUME                                       |
| PG.          | PAGE   |
| ELECT.       | ELECTRIC                                     |
| ESMT.        | EASEMENT                                     |
| ROW.         | RIGHT-OF-WAY                                 |
| B.L.         | BUILDING LINE                                |
| U.E.         | UTILITY EASEMENT                             |
| ◆            | STREET NAME CHANGE                           |



# LAKESONG

## PRELIMINARY PLAT

LAKESONG ADDITION, PHASE 1

VILLAGE 1, LOTS 1, 2, 3X, BLOCK 1; LOTS 1X, 2X, 3-31, BLOCK 2; LOTS 1-12, 13X, BLOCK 3; LOTS 1-32, BLOCK 4; LOTS 1-26, BLOCK 5; LOTS 1-12, 13X, 14-25, BLOCK 6; LOTS 1-7, 8X, 8-13, BLOCK 7; LOTS 1X, 2-12, 13X, 14X, BLOCK 8; VILLAGE 2, LOTS 1-12, 13X, 14-25, BLOCK 9; LOTS 1-14, BLOCK 10; LOTS 1-21, BLOCK 11; LOTS 1-16, BLOCK 12; LOTS 1-24, BLOCK 13; LOTS 1-16, BLOCK 14; LOTS 1-24, BLOCK 15; VILLAGE 3, LOT 1-24, BLOCK 16; LOTS 1-33, BLOCK 17; LOTS 1-8, 9X, BLOCK 18; LOTS 1-19, BLOCK 19; LOTS 1-23, BLOCK 20; LOTS 1, 2X, BLOCK 22

OWNER  
HC GPM, LLC  
809 DODD AVE., STE. 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: nwtz@huffinescommunities.com

DEVELOPER  
RIVERSIDE DPH, LP  
809 DODD AVE., STE. 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: nwtz@huffinescommunities.com

APPLICANT/ENGINEERS  
GRAHAM ASSOCIATES, INC.  
ENGINEERS & PLANNERS  
800 SIX FLAGS DR., STE. 500  
IRVINGTON, TEXAS 76039  
PHONE: 972-640-8525  
FAX: 972-640-8540  
EMAIL: mpeterson@grahamci.com

MICHAEL L. PETERSON, P.E., R.P.L.S.

136.59 ACRES ETJ - 35.44 ACRES CITY LIMITS - TOTAL 172.03 ACRES

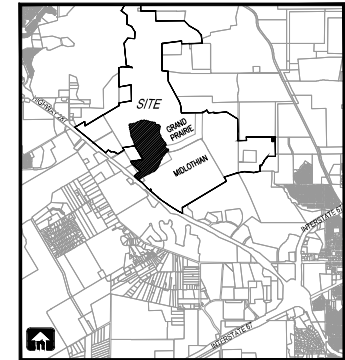
ZONED: PD  
SITUATED IN THE  
J. JONES SURVEY, ABSTRACT NO. 583  
M.R.P. & P.A.R. SURVEY, ABSTRACT NO. 751  
JOSEPH STEWART SURVEY, ABSTRACT NO. 961  
CITY OF GRAND PRAIRIE, ELLIS COUNTY, TEXAS

429 SINGLE FAMILY, 2 COMMERCIAL, 1 MENHES CENTER & 14 NON RESIDENTIAL LOTS  
22 BLOCKS

DATE: SEPTEMBER 2024  
GRAHAM ASSOCIATES, INC.  
CIVIL ENGINEERING & SURVEYING  
1001 W. LAKESIDE AVE., SUITE 200  
IRVINGTON, TEXAS 76039 (972) 640-8525  
TYPED NAME: M-PETERSON (P) 10/10/2024



SEE SHEET 16



**VICINITY MAP**  
(NTS)

NOTES:

- 1.) ALL PROPERTY CORNERS ARE SET 1/2" I.R. WITH GA CAP UNLESS SHOWN OTHERWISE.
- 2.) VISIBILITY TRIANGLES SHALL BE PROVIDED AT ALL PUBLIC AND PRIVATE STREET INTERSECTIONS IN ACCORDANCE WITH CURRENT CITY ORDINANCES. ALL LANDSCAPING WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE LAKESONG DEVELOPER'S AGREEMENT.
- 3.) BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011.
- 4.) EXISTING 100-YEAR FLOODPLAIN FIRM MAP NO. 48139C0025E DATED OCTOBER 19, 2013 TO BE REVISED BY LOMR PENDING.

LEGEND:

O.P.R.E.C.T	OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS
D.R.E.C.T	DEED RECORDS, ELLIS COUNTY, TEXAS
P.R.E.C.T	PLAT RECORDS, ELLIS COUNTY, TEXAS
VOL.	VOLUME
P.G.	PAGE
ELECT	ELECTRIC
ESMT	EASEMENT
ROW	RIGHT-OF-WAY
B.L.	BUILDING LINE
U.E.	UTILITY EASEMENT



GRAPHIC SCALE 1"=50'

50 0 50 100

LAKE\$ONG  
PRELIMINARY PLAT

LAKESONG ADDITION, PHASE 1

VILLAGE 1, LOTS 1, 2, 3X, BLOCK 1; LOTS 1X, 2X, 5-51, BLOCK 2;  
LOTS 1-11, 15X, BLOCK 3; LOTS 1-32, BLOCK 4; LOTS 1-26, BLOCK 5;  
LOTS 1-12, 15X, 15X, 15-23, BLOCK 6; LOTS 1-7, 8X, 9-13, BLOCK 7;  
LOTS 1X, 2-12, 13X, 14X, BLOCK 8;  
VILLAGE MODEL, LOTS 1-25, BLOCK 9;  
VILLAGE 2, LOTS 1-12, 15X, 14-20, BLOCK 10; LOTS 1-11, BLOCK 11;  
LOTS 1-14, BLOCK 12; LOTS 1-21, BLOCK 13;  
LOTS 1-16, BLOCK 14; LOTS 1-24, 25X, BLOCK 15;  
VILLAGE 3, LOT 1-19, BLOCK 16; LOTS 1-33, BLOCK 17; LOTS 1-8, 9X, BLOCK 18;  
LOTS 1-18, BLOCK 19; LOTS 1-23, BLOCK 20; LOTS 1, 2X, BLOCK 22

136.59 ACRES ETJ- 35.44 ACRES CITY LIMITS- TOTAL 172.03 ACRES

OWNER

HC GPM, LLC  
8200 DOUGLAS AVE. STE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5357  
EMAIL: [nwitze1@huffinescommunities.com](mailto:nwitze1@huffinescommunities.com)  
NATE WITZE

NATE WITZEL

DEVELOPER

RIVERSIDE DPH, LP  
8200 DOUGLAS AVE. STE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: [nwitez10@huffinescommunities.com](mailto:nwitez10@huffinescommunities.com)

NATE WITZEL

APPLICANT/ENGINEERS

**GRAHAM ASSOCIATES, INC.**  
ENGINEERS & PLANNERS  
600 SIX FLAGS DR. STE. 500  
ARLINGTON, TEXAS 76011  
PHONE: 817-640-8535  
FAX: 817-633-5240  
EMAIL: mpeterson@grahamcivil.com

**MICHAEL L. PETERSON P.E., R.P.L.S.**

DATE: SEPTEMBER 2024

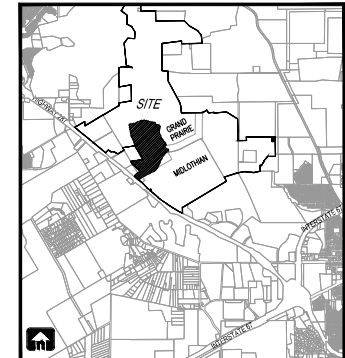


**GRAHAM ASSOCIATES, INC.**  
CIVIL ENGINEERING & SURVEYING  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 644-8255  
TDD: (817) 644-8255 FAX: (817) 644-8255

SHEET  
11-18



SEE SHEET 15

VICINITY MAP  
(NTS)

## NOTES:

- 1.) ALL PROPERTY CORNERS ARE SET 1/2" I.R. WITH GAI CAP UNLESS SHOWN OTHERWISE.
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- 3.) BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT REALIZATION 2011.
- 4.) EXISTING 100-YEAR FLOODPLAIN FIRM MAP NO. 48139C00250 DATED OCTOBER 19, 2023 TO BE REVISED BY LOMR PENDING.

## LEGEND:

O.P.R.E.C.T.	OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS
D.R.E.C.T.	DEED RECORDS, ELLIS COUNTY, TEXAS
P.R.E.C.T.	PLAT RECORDS, ELLIS COUNTY, TEXAS
VOL.	VOLUME
P.C.	PAGE
ELECT.	ELECTRIC
ESMT.	EASEMENT
ROW.	RIGHT-OF-WAY
B.L.	BUILDING LINE
U.E.	UTILITY EASEMENT
◆	STREET NAME CHANGE

GRAPHIC SCALE  
1"=50'  
50 0 50 100LAKESONG  
PRELIMINARY PLAT

LAKESONG ADDITION, PHASE 1

VILLAGE 1, LOTS 1, 2, 3X, BLOCK 1; LOTS 1X, 2X, 3-31, BLOCK 2;  
LOTS 1-12, 13X, BLOCK 3; LOTS 1-32, BLOCK 4; LOTS 1-26, BLOCK 5;  
LOTS 1-12, 13X, 15X, 15-25, BLOCK 6; LOTS 1-2, 3X, 4-13, BLOCK 7;  
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136.59 ACRES ETJ- 35.44 ACRES CITY LIMITS- TOTAL 172.03 ACRES

## OWNER

HC GPM, LLC  
8000 DOUGLAS AVE, STE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: nwtz@huffinescommunities.com

## NATE WITZEL

## DEVELOPER

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PHONE: 469-781-5387  
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## APPLICANT/ENGINEERS

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FAX: 817-653-5540  
EMAIL: mpetersongrahamcivl.com

MICHAEL L. PETERSON P.E., R.P.L.S.

DATE: SEPTEMBER 2024

SITUATED IN THE  
J. JONES SURVEY, ABSTRACT NO. 583  
M.A.P. & P.R.S. SURVEY, ABSTRACT NO. 751  
JOSEPH STEWART SURVEY, ABSTRACT NO. 961  
CITY OF GRAND PRairie, ELLIS COUNTY, TEXAS

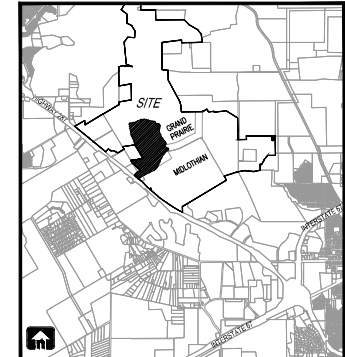
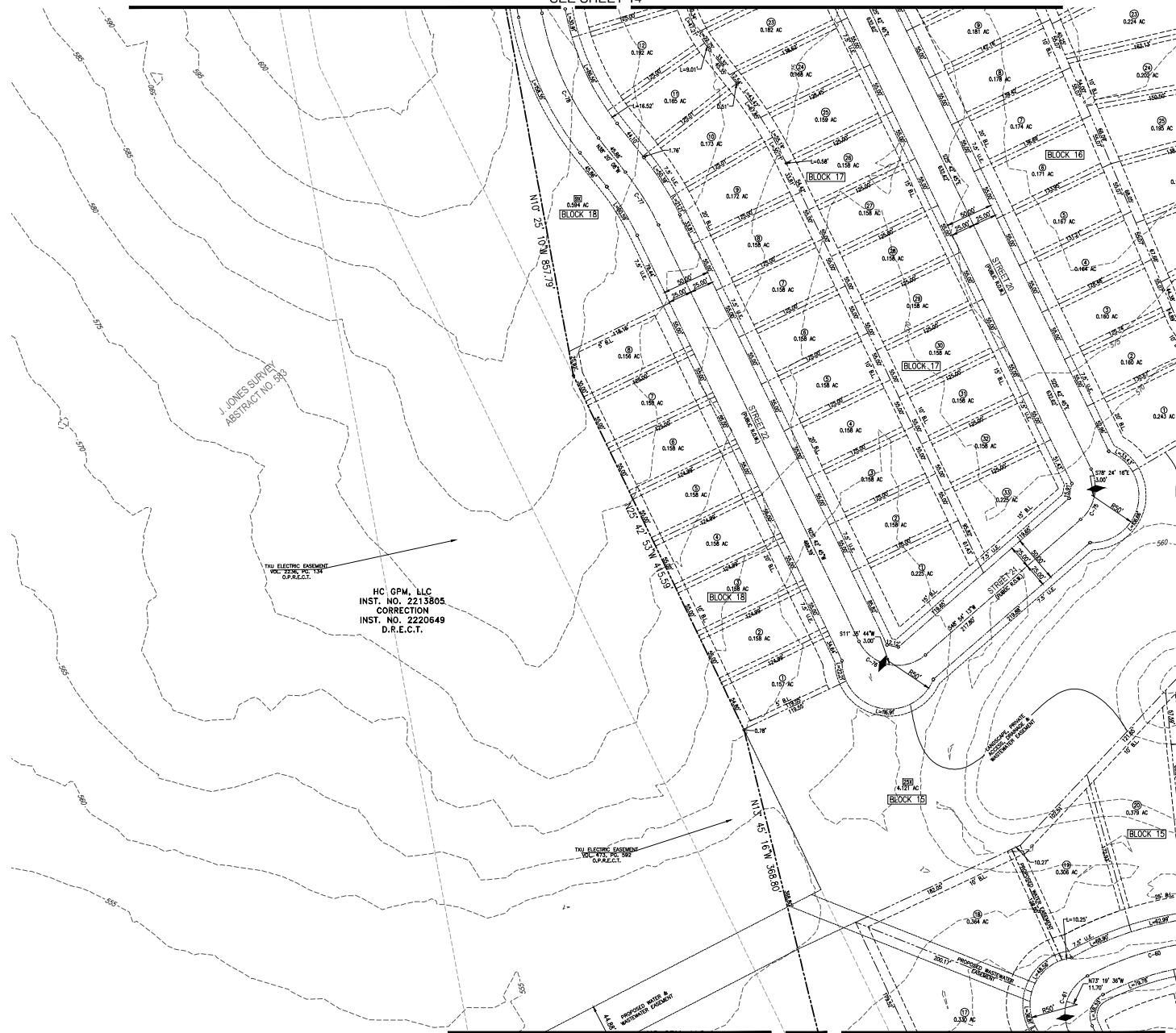
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SHEET  
12-18



SEE SHEET 14

VICINITY MAP  
(NTS)

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PRELIMINARY PLAT

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MICHAEL L. PETERSON P.E., R.P.L.S.

DATE: SEPTEMBER 2024

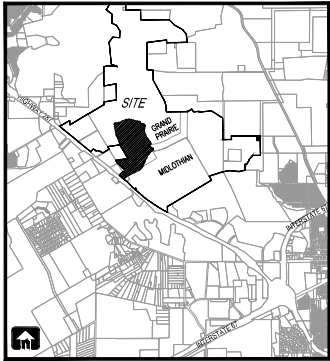
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429 SINGLE FAMILY, 2 COMMERCIAL, 1 AMENITIES CENTER & 14 NON RESIDENTIAL LOTS  
22 BLOCKS

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SHEET  
13-18





VICINITY MAP  
(NTS)

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- LEGEND:
- |              |  |
|--------------|--|
| O.P.R.E.C.T. | OFFICIAL PUBLIC RECORDS, ELLIS COUNTY, TEXAS |
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| P.R.E.C.T.   | PLAT RECORDS, ELLIS COUNTY, TEXAS            |
| VOL.         | VOLUME                                       |
| PAGE         | PAGE   |
| ELECT        | ELECTRIC                                     |
| ESMT         | EASEMENT                                     |
| ROW          | RIGHT-OF-WAY                                 |
| B.L.         | BUILDING LINE                                |
| U.E.         | UTILITY EASEMENT                             |
| ◆            | STREET NAME CHANGE                           |



# LAKESONG PRELIMINARY PLAT

LAKESONG ADDITION, PHASE 1

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136.59 ACRES ETJ- 35.44 ACRES CITY LIMITS- TOTAL 172.03 ACRES

OWNER:  
HC GPM, LLC  
8200 DOUGLAS AVE, STE 300  
DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: hwtel@hwtelthecomunities.com  
NATE WITZEL

DEVELOPER:  
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EMAIL: hwtel@hwtelthecomunities.com  
NATE WITZEL

APPLICANT/ENGINEERS:  
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EMAIL: nlp@grahaminc.com  
MICHAEL L. PETERSON P.E., R.P.L.S.

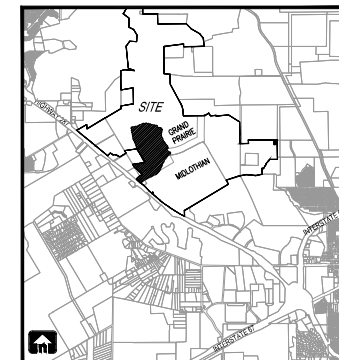
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DATE: SEPTEMBER 2024

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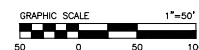
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LAKESONG  
PRELIMINARY PLAT

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136.59 ACRES ETJ- 35.44 ACRES CITY LIMITS- TOTAL 172.03 ACRES

OWNER

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DALLAS, TEXAS 75225  
PHONE: 469-781-5387  
EMAIL: n.witzel@hufinescommunities.com

NATE WITZEL

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MICHAEL L. PETERSON P.E., R.P.L.S.

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10000 F. L. JONES DRIVE, SUITE 600  
ARLINGTON, TEXAS 76010 (817) 640-6030  
TELEPHONE: 817-640-6030 FAX: 817-633-5040

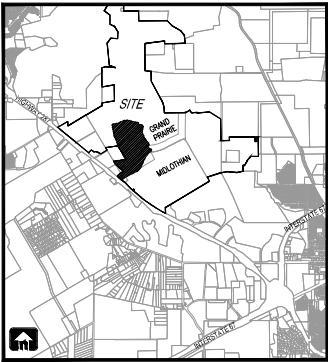
SHEET  
15-18

SEE SHEET 12

SEE SHEET 14

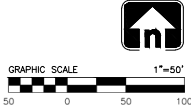
SEE SHEET 16





VICINITY MAP  
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## CITY OF GRAND PRAIRIE COMMUNICATION

**MEETING DATE:** 11/11/2024

**REQUESTER:** Monica Espinoza, Administrative Supervisor

**PRESENTER:** Brittany Musser, Planner

**TITLE:** STP-24-09-0038 - Site Plan - Oakdale 2 Industrial (City Council District 1). Site Plan for an industrial warehouse on 29.17 acres. Tracts 1-5, 1.2, 12-13, 17-19, & 23, John Farrans Survey, Abstract No. 468, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial and Planned Development No. 221 (PD-221), and approximately addressed as 468 Oakdale Road

**APPLICANT:** Sara Raines

**RECOMMENDED ACTION:** Approve

### SUMMARY:

Site Plan for an industrial warehouse on 29.17 acres. Tracts 1-5, 1.2, 12-13, 17-19, & 23, John Farrans Survey, Abstract No. 468, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial and Planned Development No. 221 (PD-221), and approximately addressed as 468 Oakdale Road.

### PURPOSE OF REQUEST:

The applicant intends to construct two speculative industrial warehouse buildings that will be 155, 603 sq. ft. and 113,014 sq. ft. on 29.17 acres. City Council must approve a Site Plan for any project involving industrial uses. Development at this location requires City Council approval of a Site Plan because the property is for industrial uses.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, and landscaping and screening requirements.

### ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.



**Table 1. Adjacent Zoning and Land Uses**

Direction	Zoning	Existing Use
North	PD-221	Undeveloped, Floodway/Bear Creek
South	PD-39	Industrial
West	LI	Single Family Residential
East	C, LI	Undeveloped

**PROPOSED USE CHARACTERISTICS AND FUNCTION:**

The applicant intends to construct two speculative industrial warehouse buildings that will be 155, 603 sq. ft. and 113,014 sq. ft. in size. The site will be accessible from East Oakdale Road. The truck docks of Building A are located to the north of the building, and the trucks docks for Building B are located to the east of the building. The truck docks for Building A will be well screened from the roadway by the primary building. The trucks docks for Building B will be screened by a wing wall along East Oakdale Road.

**ZONING REQUIREMENTS:***Density and Dimensional Requirements*

Development is subject to Article 6 standards in the UDC. The following table evaluates the density and dimensional standards of the proposed development. The proposal meets the density and dimensional requirements.

**Table 2. Site Data Summary**

Standard (LI)	Required	Provided	Meets
Min. Lot Area (Sq. Ft.)	15,000	1,270,719	Yes
Min. Lot Width (Ft.)	100	820	Yes
Min. Lot Depth (Ft.)	150	461	Yes
Front Setback (Ft)	25	25	Yes
Side Setback (Ft.)	25	25	Yes
Max. Height (Ft.)	50	47.5	Yes
Max. Floor Area Ratio	1:1	0.21:1	Yes

*Landscaping Requirements*

The property is subject to landscape and screening requirements in Article 8 of the UDC. The following table summarizes the landscaping requirements. The site meets these requirements.

**Table 3. Landscape & Screening Requirements**

Standard	Required	Provided	Meets
Area (Sq. Ft.)	73,616	141,112	Yes
Trees	160	163	Yes
Shrubs	1472	1,618	Yes

*Open Space Area*

The applicant is proposing 1.15 acres of open space. The open space will consist of 1,149 linear feet of walking trails with 16 bench seats, 8,520 sq. ft. of garden area, and a water feature.



### *Tree Survey & Tree Mitigation Plan*

The applicant provided a tree survey and preservation plan as required by Article 8. The applicant is removing 1,635.1 caliper inches of protected trees, which requires mitigation. The applicant is planting new trees and paying mitigation fees to mitigate the trees being removed.

**Table 4. Tree Mitigation**

Protected Trees Requiring Mitigation (Caliper Inches)	1,635.1
New Trees (Caliper Inches)	486
Preserved Desirable Trees (Caliper Inches)	0
Mitigation Fees (Caliper Inches)	1,149.1
Mitigation Fee to be Paid	\$ 229,820

### *Parking Requirements*

The proposal meets the required total parking spaces. The following table summarizes the parking requirements.

**Table 5a. Required Parking – Building A**

Use	Standard	Required	Provided
Warehouse/Office	20 + 1 space per 5000 sq. ft. + 1 space per 1000 sq. ft. + 3 loading spaces	80	162

**Table 5b. Required Parking – Building B**

Use	Standard	Required	Provided
Warehouse/Office	20 + 1 space per 5000 sq. ft. + 1 space per 1000 sq. ft. + 3 loading spaces	61	96

### *Exterior Building Material & Design*

Industrial buildings greater than 50,000 sq. ft. are subject to the requirements in Appendix X of the UDC. Appendix X requires that primary facades include at least three design elements and secondary facades include at least two design elements. The exterior of both buildings is 100% masonry consisting of concrete tilt-wall panels. Accent features on the primary facades include vertical and horizontal articulation, accent lighting, and a glass curtain wall. The tables below evaluate the design elements for the building. The proposed building elevations meet Appendix X requirements.

**Table 6a. Building Design Elements – Building A**

Facade	Type	a.	b.	c.	d.	e.	f.	g.	h.	i.	Total Elements	Meets
North	Secondary	x			x						2	Yes
South	Primary		x			x	x				3	Yes
West	Secondary	x			x						2	Yes
East	Secondary	x			x						2	Yes

**Table 6b. Building Design Elements – Building B**

Facade	Type	a.	b.	c.	d.	e.	f.	g.	h.	i.	Total Elements	Meets
North	Secondary	x			x						2	Yes
South	Primary		x			x	x				3	Yes
West	Secondary	x			x						2	Yes
East	Secondary	x			x						2	Yes



**VARIANCES:**

The following variance is requested:

1. Retaining Wall Max Height – Variance to the maximum height to allow a retaining wall that exceeds eight feet. The proposed retaining wall has a height of 11 feet.

**RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval.



Item4.

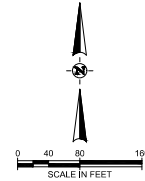
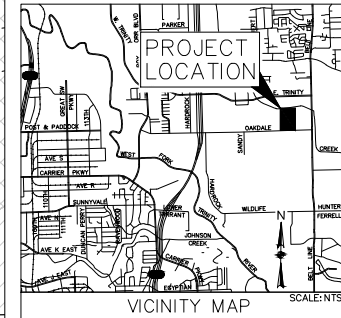
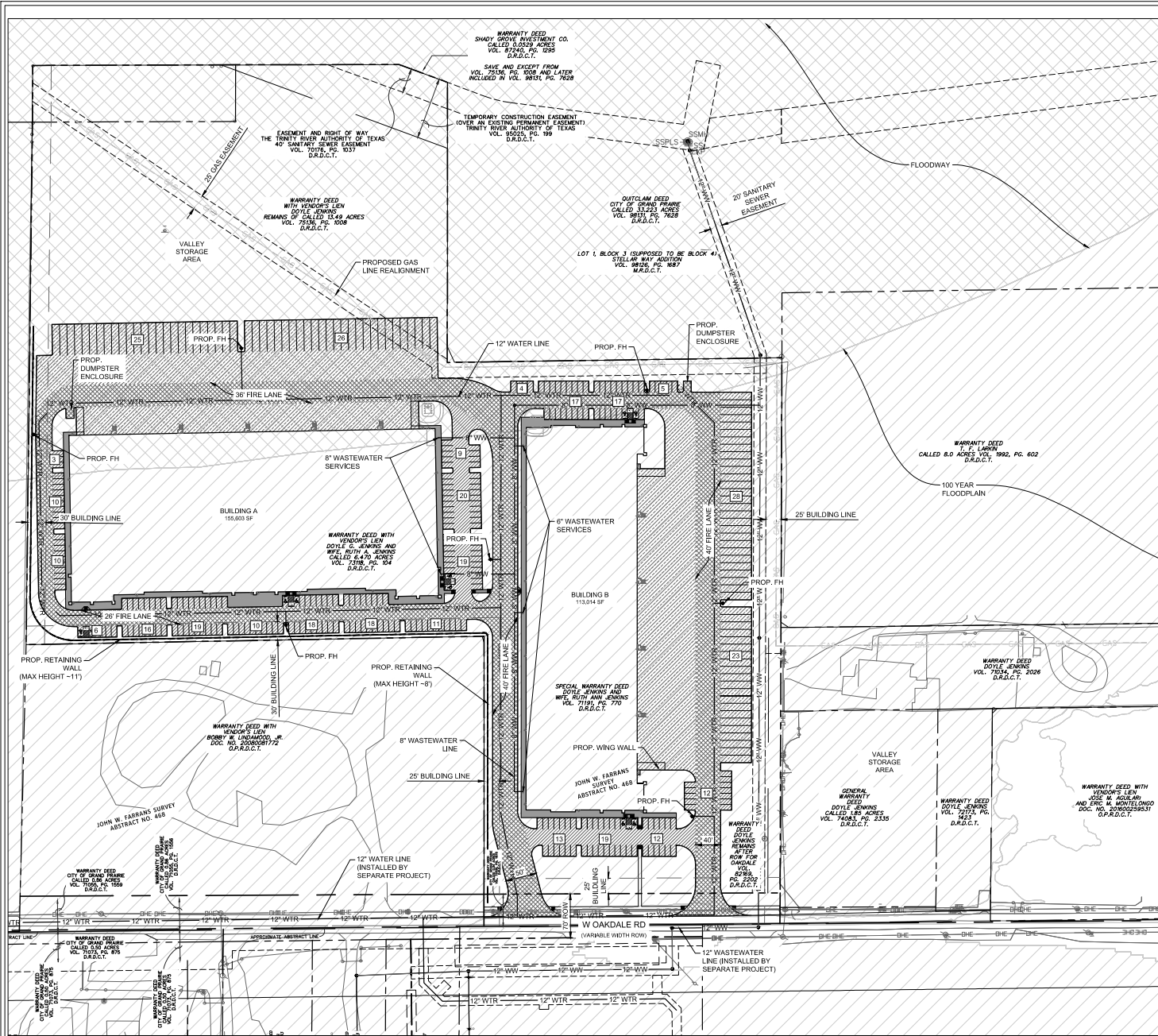




Exhibit B - Site Plan  
Page 1 of 3

Item4.

FILE NAME: A:\650004583\071\CADD\Sheet\TWICE-SITE PLAN\4583B.dwg DATE: October 14, 2024 TIME: 11:52 AM USER: a3378



LEGEND

- 7" THICK, 4,000 PSI REINFORCED CONCRETE PAVEMENT WITH #3 BARS 18" O.C.E.W. OVER 6" LIME TREATED SUBGRADE
- 6" THICK, 4,000 PSI REINFORCED CONCRETE PAVEMENT WITH #3 BARS 18" O.C.E.W. OVER 6" LIME TREATED SUBGRADE
- 5" THICK, 4,000 PSI REINFORCED CONCRETE PAVEMENT WITH #3 BARS 18" O.C.E.W. OVER 6" LIME TREATED SUBGRADE
- 4" THICK, 4,000 PSI CONCRETE PAVEMENT
- 100-YR FLOOD PLAIN
- FLOODWAY

SITE DATA TABLE

ZONING: LI  
LOT SIZE (AC): 29.19  
LANDSCAPE AREA (AC): 14.12  
FLOODPLAIN AREA (AC): 18.22  
FLOODWAY AREA (AC): 10.97  
TRAILER PARKING SPOTS: 102  
CAR PARKING SPOTS: 258  
TOTAL PERVIOUS AREA (SF): 615,067  
(ROOFTOP + PAVING): 268,617 + 388,090 = 656,707

PARKING

	REQUIRED	PROVIDED	HANDICAP	TRUCK
BUILDING A	80	162	6	51
BUILDING B	61	96	4	51

OWNED/DEVELOPED BY:  
OAKDALE INDUSTRIAL II, L.L.C.  
CONTACT: JOHN B. COOPER  
3819 MAPLE AVENUE, DALLAS, TX 75219  
TEL: (214) 661-8094  
EMAIL: B.COOPER@CROWHOLDINGS.COM

OAKDALE II INDUSTRIAL  
SITE PLAN  
GRAND PRAIRIE, TEXAS



REVISION	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PRELIMINARY  
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR REGULATORY APPROVAL. CONSENT, RECORD OR CONSTRUCTION PURPOSES. THEY MUST BE PROVIDED BY OR UNDER THE CODY R. HODGE

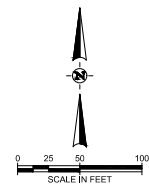
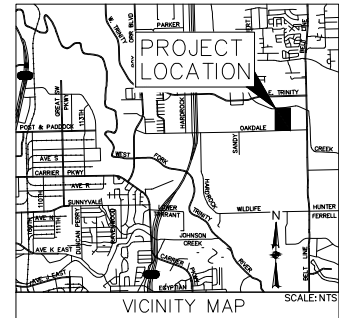
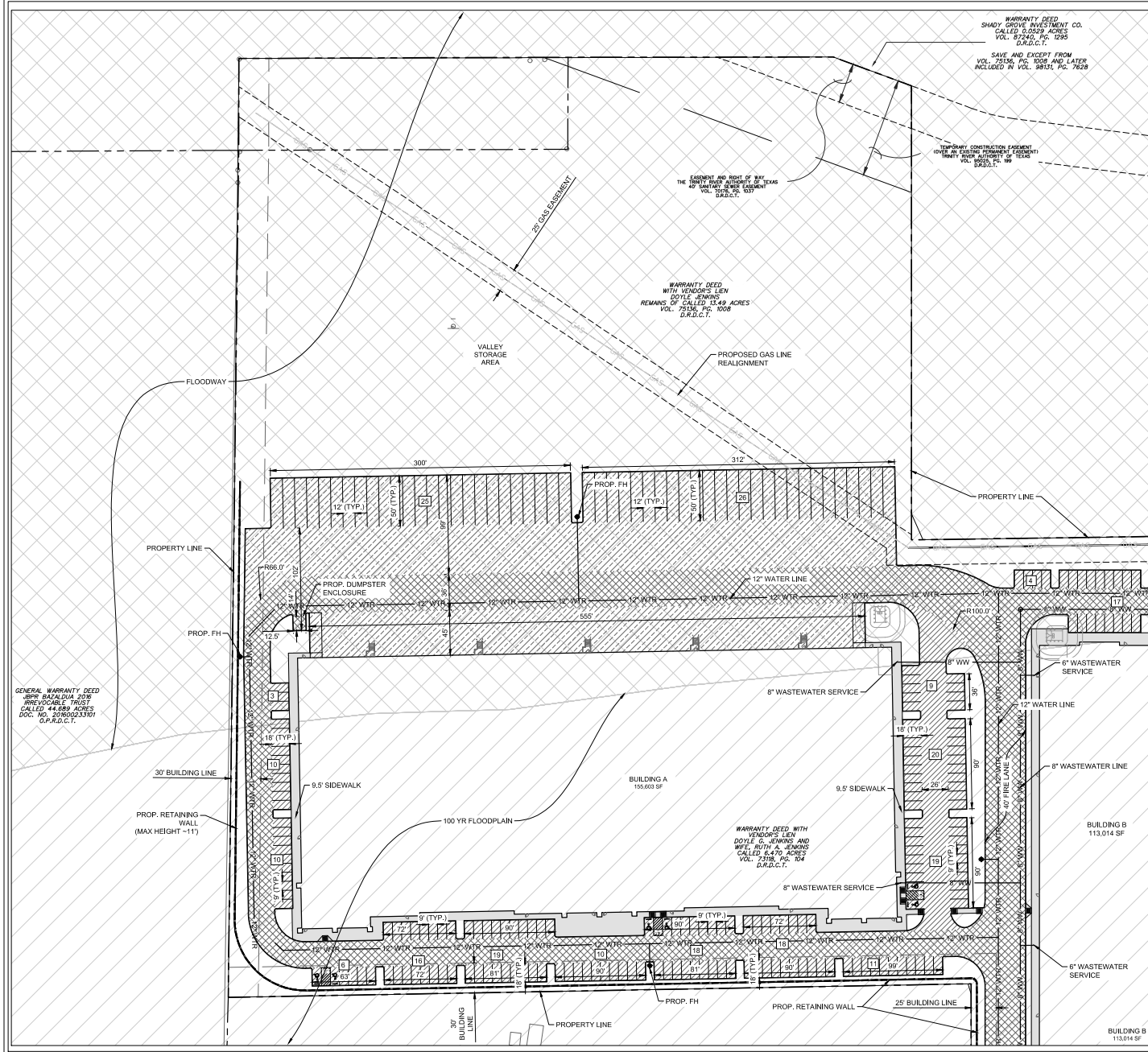
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ISSUED: 9/17/2024  
DRAWN BY: HALF  
CHECKED BY: HALF  
SCALE: AS NOTED  
SHEET TITLE:

OVERALL SITE  
PLAN

STP-24-09-0038



FILE NAME: A:\65000\45838\01\CADD\Sheet\TWICE-SITE PLAN.dwg DATE: October 14, 2024 TIME: 11:45 AM USER: ak378



- LEGEND**
- 7" THICK, 4,000 PSI REINFORCED CONCRETE PAVEMENT WITH #3 BARS 18" O.C.E.W. OVER 6" LIME TREATED SUBGRADE
  - 6" THICK, 4,000 PSI REINFORCED CONCRETE PAVEMENT WITH #3 BARS 18" O.C.E.W. OVER 6" LIME TREATED SUBGRADE
  - 5" THICK, 4,000 PSI REINFORCED CONCRETE PAVEMENT WITH #3 BARS 18" O.C.E.W. OVER 6" LIME TREATED SUBGRADE
  - 4" THICK, 4,000 PSI CONCRETE PAVEMENT
  - 100-YR FLOOD PLAIN
  - FLOODWAY

OAKDALE II INDUSTRIAL  
SITE PLAN  
GRAND PRAIRIE, TEXAS



REVISION	DATE	DESCRIPTION

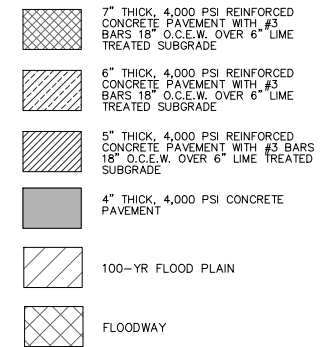
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FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR REGULATORY APPROVAL. PRIOR TO CONSTRUCTION, PURPOSES, THEY MUST BE REVIEWED BY OR UNDER THE SUPERVISION OF THE ENGINEER.

NAME: CODY R. HODGE  
PE LICENSE NO.: 111476  
DATE: 10/14/2024  
TX  
FIRM/BUSINESS NO.: STATE

PROJECT NO.: 45838  
ISSUED: 9/17/2024  
DRAWN BY: HALF  
CHECKED BY: HALF  
SCALE: AS NOTED  
SHEET TITLE:  
BUILDING A SITE PLAN  
STP-24-09-0038





**half**  
2801 MEACHAM BLVD., SUITE 600  
FORT WORTH, TEXAS 76137-4204  
TEL. (817) 847-1422

[illegible]PRELIMINARY  
FOR INTERIM REVIEW ONLY

CODY R. HODGE	111476
NAME	PE LICENSE NO.
10/14/2024	
DATE	
312	TX
FROM / BUSINESS NO.	STATE

PROJECT NO.: 45838
SUED: 9/17/2024
DRAWN BY: HALFF
CHECKED BY: HALFF
SCALE: AS NOTED
SHEET TITLE:

BUILDING B SITE  
PLAN

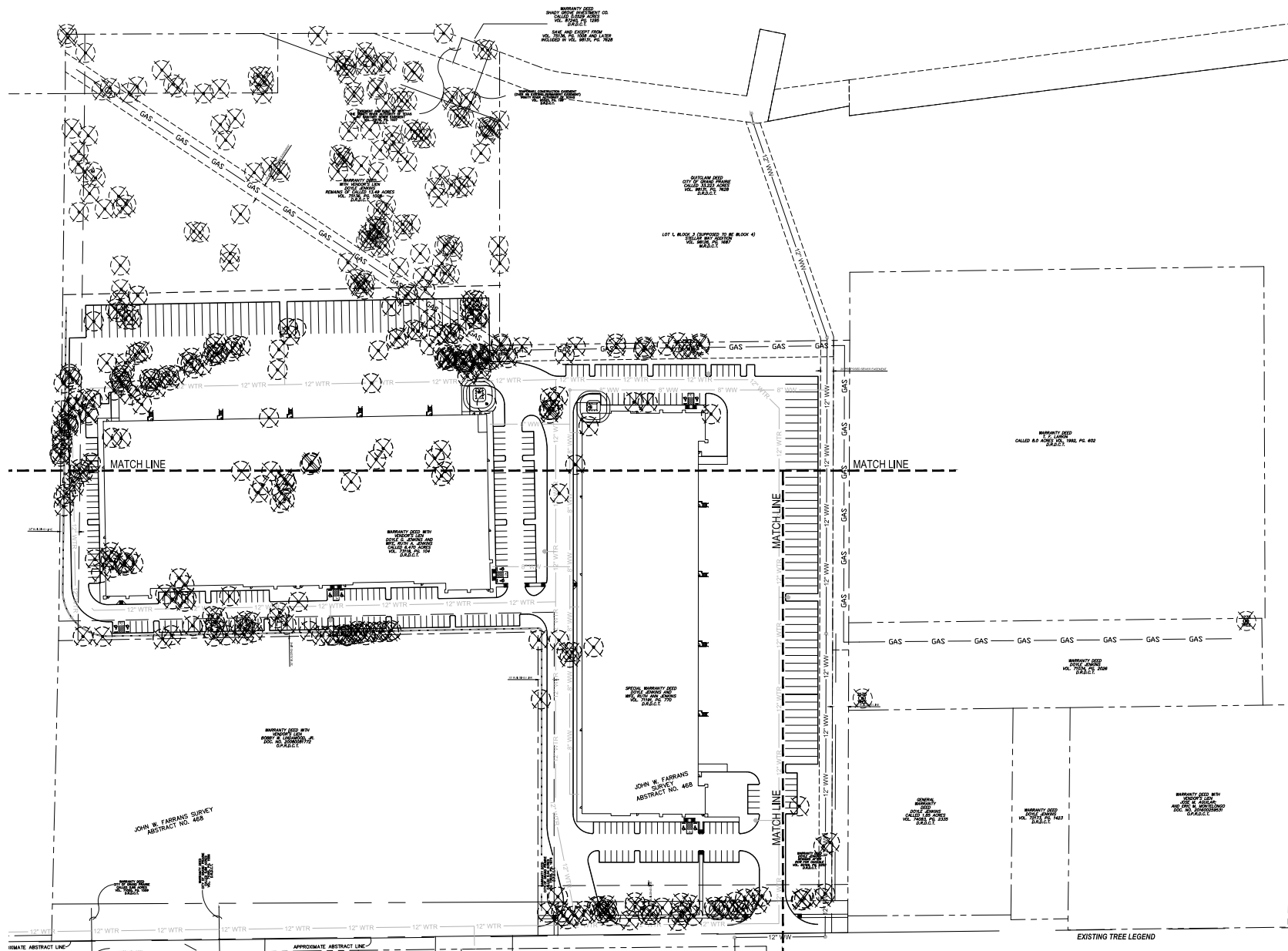
STP-24-09-0038



# Exhibit C - Landscape Plan

## Page 1 of 8

Item 4.



LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
CHRIS@STUDIOGREENSPOT.COM



**OAKDALE II**  
OAKDALE ROAD  
GRAND PRAIRIE, TEXAS

ISSUE:  
FOR APPROVAL 10.10.2024

DATE:  
10.10.2024

SHEET NAME:  
TREE PRESERVATION PLAN

SHEET NUMBER:

**L.1**  
CASE NUMBER  
STP- 24-09-0038



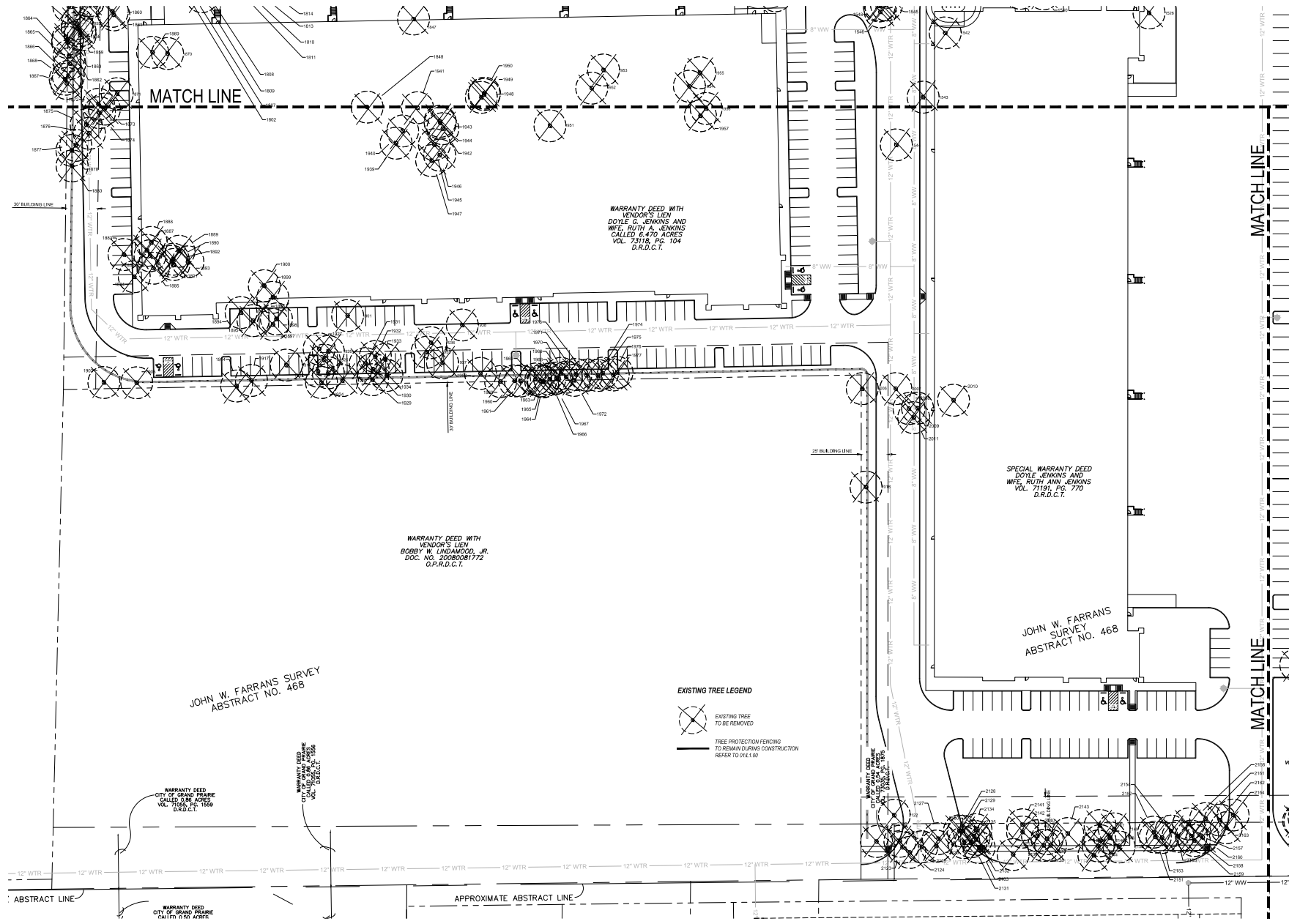




# Exhibit C - Landscape Plan

## Page 3 of 8

Item4.



01 TREE PRESERVATION PLAN  
SCALE 1"=40'-0"

LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
CHRS@STUDIOGREENSPOT.COM



**OAKDALE II**  
OAKDALE ROAD  
GRAND PRAIRIE, TEXAS

ISSUE:  
FOR APPROVAL 10.10.2024

DATE:  
10.10.2024

SHEET NAME:  
TREE PRESERVATION PLAN

SHEET NUMBER:

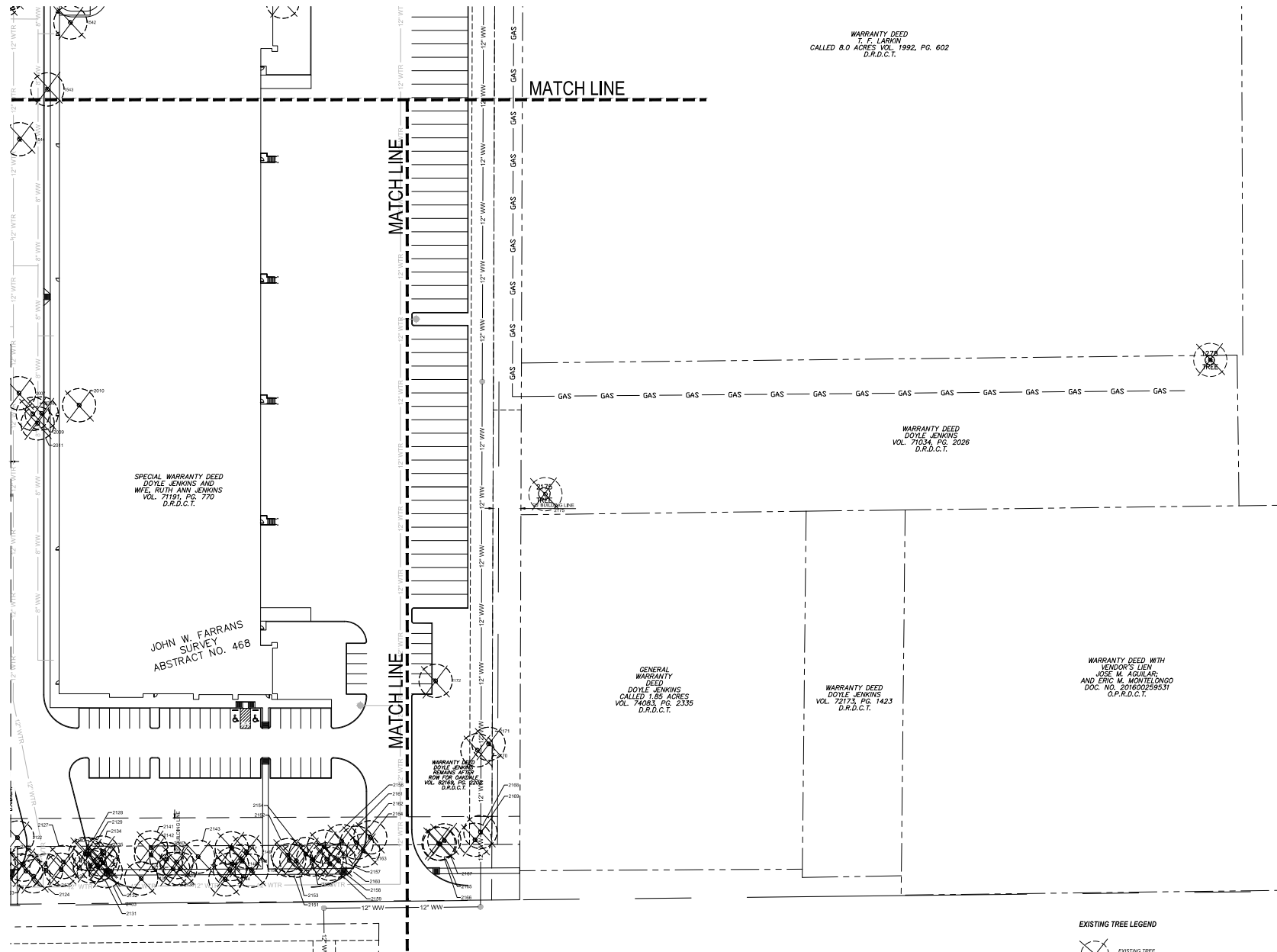
**L.3**  
CASE NUMBER  
STP- 24-09-0038



# Exhibit C - Landscape Plan

## Page 4 of 8

Item4.



### EXISTING TREE LEGEND



EXISTING TREE  
TO BE REMOVED

TREE PROTECTION FENCING  
TO REMAIN DURING CONSTRUCTION  
REFER TO A4.1.03

### 01 TREE PRESERVATION PLAN

SCALE 1"=40'-0"



LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
CHRIS@STUDIOGREENSPOT.COM



**OAKDALE II**  
OAKDALE ROAD  
GRAND PRAIRIE, TEXAS

ISSUE:  
FOR APPROVAL 10.10.2024

DATE:  
10.10.2024

SHEET NAME:  
TREE PRESERVATION PLAN

SHEET NUMBER:

**L.4**

CASE NUMBER  
STP- 24-09-0038



Exhibit C - Landscape Plan  
Page 5 of 8

Item 4.

EXISTING TREES LOCATED ON THE BUILDABLE PART OF LAND

Tag ID	DBH (in)	Common Name	Scientific Name	Condition	Remove/Retain	Protected/Unprotected	Protected inches To Be Removed	Exemptions	Comments	Tag ID	DBH (in)	Common Name	Scientific Name	Condition	Remove/Retain	Protected/Unprotected	Protected inches To Be Removed	Exemptions	Comments
1502	21	Black Willow	<i>Salix nigra</i>	Good	To Be Retained	Unprotected				1793	22	Black Willow	<i>Salix nigra</i>	Good	To Be Retained	Unprotected			
1505	8.5	Eastern Black Walnut	<i>Juglans nigra</i>	Good	To Be Retained	Protected	8.5	8.5	EASEMENT	1794	15	Black Willow	<i>Salix nigra</i>	Good	To Be Retained	Unprotected			
1502	8	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	8	8	EASEMENT	1795	7	Hercules Club	<i>Zanthoxylum clawsonii</i>	Good	To Be Retained	Unprotected			
1501	10	Chinese Tulare	<i>Tulipa arborea</i>	Good	To Be Retained	Protected	10	10	EASEMENT	1796	14	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	14		
1502	17.5	Chinese Tulare	<i>Tulipa arborea</i>	Good	To Be Retained	Protected	17.5	17.5	EASEMENT	1797	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9		
1503	13	Chinquapin	<i>Amelanchier canadensis</i>	Good	To Be Retained	Protected	13	13	EASEMENT	1798	19	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	15		
1504	7	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1799	12	Chaga Orange	<i>Alseodaphne floribunda</i>	Good	To Be Retained	Unprotected			
1504	6	Eastern Black Walnut	<i>Juglans nigra</i>	Good	To Be Retained	Unprotected				1801	11	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1507	12.5	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	12.5	12.5	EASEMENT	1802	7	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1502	8.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1803	9.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1502	31	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	31	31	EASEMENT	1804	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9		
1502	19.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1805	7	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1501	21.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1806	9.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1502	12.5	Honey Mesquite	<i>Prosopis glandulosa</i>	Good	To Be Retained	Protected	12.5			1807	26	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	26		
1503	16	Eastern Cottonwood	<i>Populus deltoides</i>	Good	To Be Retained	Unprotected				1808	10.5	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	13.5		
1504	20.5	Common Fraxinifera	<i>Quercus macrocarpa</i>	Good	To Be Retained	Protected	20.5			1809	19	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	15		
1504	9.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1810	16.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1504	10.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1811	10	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	10		
1507	11.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1812	10.5	Chaga Orange	<i>Alseodaphne floribunda</i>	Good	To Be Retained	Unprotected			
1504	7	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1813	22.5	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	22.5		
1505	16.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1814	21.5	Chaga Orange	<i>Alseodaphne floribunda</i>	Good	To Be Retained	Unprotected			
1501	12.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1815	8	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1502	12	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	12			1816	14.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1502	21	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	21	21	EASEMENT	1817	9	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1504	22	Eastern Black Walnut	<i>Juglans nigra</i>	Good	To Be Retained	Protected	22	22	EASEMENT	1818	10.5	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	13.5		
1507	29	River Mulberry	<i>Morus nigra</i>	Good	To Be Retained	Unprotected				1819	25.5	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	25.5		
1506	8	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	8	8	EASEMENT	1820	24	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1501	21	Black Willow	<i>Salix nigra</i>	Good	To Be Retained	Protected	12	12	EASEMENT	1821	20	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1502	12	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	13	13	EASEMENT	1822	22	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	22		
1504	13	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	13	13	EASEMENT	1823	17	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	17		
1506	2	Tree of Heaven	<i>Ailanthus altissima</i>	Good	To Be Retained	Unprotected				1824	9.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1506	22	Black Willow	<i>Salix nigra</i>	Good	To Be Retained	Unprotected				1825	15.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1507	11.5	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	11.5	11.5	EASEMENT	1826	19	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1506	10	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	10	10	EASEMENT	1827	9	Eastern Red Cedar	<i>Juniperus virginiana</i>	Good	To Be Retained	Unprotected			
1506	5	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Unprotected				1828	18	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1507	10	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	10	10	EASEMENT	1829	18	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1501	6.5	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Unprotected				1830	23	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1502	5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1831	18	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1502	7	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1832	17	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1504	7	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Unprotected				1833	12	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1504	7	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Unprotected				1834	30.5	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	33.5		
1507	8.4	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	8.4			1835	25	Black Willow	<i>Salix nigra</i>	Good	To Be Retained	Unprotected			
1507	13	Chaga Orange	<i>Alseodaphne floribunda</i>	Good	To Be Retained	Unprotected				1836	10	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	10		
1507	8	Honey Mesquite	<i>Prosopis glandulosa</i>	Good	To Be Retained	Protected	8			1837	21.5	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	21.5		
1507	8	Honey Mesquite	<i>Prosopis glandulosa</i>	Good	To Be Retained	Protected	8			1838	34	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	34		
1507	19	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	19			1840	9	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1507	10.5	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	10.5			1841	15.5	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	19.5	19.5	EASEMENT
1507	7	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Unprotected				1842	15	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	15	15	EASEMENT
1507	7	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Unprotected				1843	54	Black Willow	<i>Salix nigra</i>	Good	To Be Retained	Unprotected			
1507	7.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1844	25.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1508	9	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	9			1845	9	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1508	9	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	9			1846	12.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1508	6.5	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	6.5			1847	9	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	14	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	14			1848	18	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	8	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	8			1849	10	Cedar Elm	<i>Ulmus crassifolia</i>	Good	To Be Retained	Protected	10		
1509	8.5	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	8.5			1850	12	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected				1851	8	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	20	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	20			1852	13	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1853	13	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1854	18	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1855	10	Cedar Elm	<i>Ulmus crassifolia</i>	Good	To Be Retained	Protected	10		
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1856	12	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1857	8	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1858	18	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1859	32.5	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	32.5	32.5	BUILDING P&E
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1860	36	Eastern Cottonwood	<i>Populus deltoides</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1861	8	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1862	13	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1863	9.5	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1864	18.5	Chaga Orange	<i>Alseodaphne floribunda</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1865	14	Cedar Elm	<i>Ulmus crassifolia</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1866	9.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1867	6	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1868	9	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1869	18	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1870	36	Eastern Cottonwood	<i>Populus deltoides</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1871	18	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	18		
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1872	10.5	Sugar Hackberry	<i>Celtis laevigata</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1873	32.5	Eastern Cottonwood	<i>Populus deltoides</i>	Good	To Be Retained	Unprotected			
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1874	9.5	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	9.5		
1509	9	American Elm	<i>Ulmus americana</i>	Good	To Be Retained	Protected	9			1875	14	Pecan	<i>Carya albertiana</i>	Good	To Be Retained	Protected	14		
1509	9	American Elm																	



Exhibit C - Landscape Plan  
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Item4.

EXISTING TREES LOCATED ON THE BUILDABLE PART OF LAND

Tag ID	DBH (in)	Common Name	Scientific Name	Condition	Remove/Remain	Protected/Unprotected	Protected Inches To Be Removed	Exemptions	Comments	Tag ID	DBH (in)	Common Name	Scientific Name	Condition	Remove/Remain	Protected/Unprotected	Protected Inches To Be Removed	Exemptions	Comments
1086	9.5	American Elm	Ulmus americana	Good	To Be Removed	Protected	9.5	9.5	BUILDING PAD	2120	9.5	Pecan	Carya lanceolata	Good	To Be Removed	Protected	9.5		PUBLIC R.O.W.
1087	13.5	American Elm	Ulmus americana	Good	To Be Removed	Protected	13.5	13.5	BUILDING PAD	2121	17.5	American Elm	Ulmus americana	Good	To Be Removed	Protected	17.5		PUBLIC R.O.W.
1088	18	American Elm	Ulmus americana	Good	To Be Removed	Protected	18	18	BUILDING PAD	2122	9	Osage Orange	Madroa pumila	Good	To Be Removed	Unprotected			
1089	7	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected				2123	13.5	American Elm	Ulmus americana	Good	To Be Removed	Protected	13.5		PUBLIC R.O.W.
1090	12	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected				2124	24.5	American Elm	Ulmus americana	Good	To Be Removed	Protected	24.5		PUBLIC R.O.W.
1091	10	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected				2125	7	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			PUBLIC R.O.W.
1092	8	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected				2126	9.6	American Elm	Ulmus americana	Good	To Be Removed	Protected	9.6		PUBLIC R.O.W.
1093	1.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected				2127	8.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1094	47	Black Willow	Salix nigra	Good	To Be Removed	Unprotected				2128	7	Osage Orange	Madroa pumila	Good	To Be Removed	Unprotected			
1095	7	Pecan	Carya heterophylla	Good	To Be Removed	Unprotected				2129	6.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1096	31	Black Willow	Salix nigra	Good	To Be Removed	Unprotected				2130	8.5	American Elm	Ulmus americana	Good	To Be Removed	Protected	8.5		PUBLIC R.O.W.
1097	26.5	Black Willow	Salix nigra	Good	To Be Removed	Unprotected				2131	17.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Protected	17.5		PUBLIC R.O.W.
1098	13	Black Willow	Salix nigra	Good	To Be Removed	Unprotected				2132	8.5	Post Oak	Quercus stellata	Good	To Be Removed	Protected	8.5		PUBLIC R.O.W.
1099	6	Chinese Tallow	Triplaris schubertii	Good	To Be Removed	Protected	6	6	BUILDING PAD	2133	14.8	Pecan	Carya lanceolata	Good	To Be Removed	Protected	14.8		PUBLIC R.O.W.
1100	7	Honey Locust	Gleditsia hastata	Good	To Be Removed	Unprotected				2134	5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1101	9.5	American Elm	Ulmus americana	Good	To Be Removed	Unprotected				2135	9	Red Mulberry	Morus rubra	Good	To Be Removed	Unprotected			
1102	6	Pecan	Carya heterophylla	Good	To Be Removed	Protected	6			2136	15	Osage Orange	Madroa pumila	Good	To Be Removed	Unprotected			
1103	19	Eastern Cottonwood	Populus deltoides	Good	To Be Removed	Unprotected				2137	12	Cedar Elm	Ulmus crassifolia	Good	To Be Removed	Protected	12		PUBLIC R.O.W.
1104	12	Osage Orange	Madroa pumila	Good	To Be Removed	Unprotected				2138	16.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1105	13.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected				2139	10	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1106	19	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected				2140	11.5	Cedar Elm	Ulmus crassifolia	Good	To Be Removed	Protected	11.5		PUBLIC R.O.W.
1107	12.5	Pecan	Carya heterophylla	Good	To Be Removed	Protected	12.5			2141	7.5	Cedar Elm	Ulmus crassifolia	Good	To Be Removed	Unprotected			
1108	11	American Elm	Ulmus americana	Good	To Be Removed	Protected	11			2142	9	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1109	20	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected				2143	10	Cedar Elm	Ulmus crassifolia	Good	To Be Removed	Protected	10		PUBLIC R.O.W.
1110	20	Pecan	Carya heterophylla	Good	To Be Removed	Protected	20			2144	3	Chinaberry	Melaleuca alternifolia	Good	To Be Removed	Unprotected			
1111	8	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected				2145	16	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1112	8	Honey Locust	Gleditsia hastata	Good	To Be Removed	Unprotected				2146	9	Cedar Elm	Ulmus crassifolia	Good	To Be Removed	Protected	9		PUBLIC R.O.W.
1113	27.5	Post Oak	Quercus stellata	Good	To Be Removed	Protected	27.5			2147	3	Cedar Elm	Ulmus crassifolia	Good	To Be Removed	Protected	3		PUBLIC R.O.W.
1114	15.5	Post Oak	Quercus stellata	Good	To Be Removed	Protected	15.5			2148	16	American Elm	Ulmus americana	Good	To Be Removed	Protected	16		PUBLIC R.O.W.
1115	10.5	Post Oak	Quercus stellata	Good	To Be Removed	Protected	10.5			2149	3	Cedar Elm	Ulmus crassifolia	Good	To Be Removed	Protected	3		PUBLIC R.O.W.
1116	10.5	Pecan	Carya heterophylla	Good	To Be Removed	Protected	10.5			2150	13	Chinaberry	Melaleuca alternifolia	Good	To Be Removed	Unprotected			
1117	11	Post Oak	Quercus stellata	Good	To Be Removed	Protected	11			2151	23	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1118	13	Post Oak	Quercus stellata	Good	To Be Removed	Protected	13			2152	12	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			
1119	6	Eastern Cottonwood	Populus deltoides	Good	To Be Removed	Unprotected				2153	12	American Elm	Ulmus americana	Good	To Be Removed	Protected	12		PUBLIC R.O.W.
1120	1.5	Eastern Cottonwood	Populus deltoides	Good	To Be Removed	Unprotected				2154	8.5	Red Mulberry	Morus rubra	Good	To Be Removed	Unprotected			
1121	43.5	Shumard Oak	Quercus shumardii	Good	To Be Removed	Protected	43.5			2155	23	American Elm	Ulmus americana	Good	To Be Removed	Protected	23		PUBLIC R.O.W.
1122	23.5	Eastern Cottonwood	Populus deltoides	Good	To Be Removed	Unprotected				2156	6.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1123	10	Black Willow	Salix nigra	Good	To Be Removed	Unprotected				2157	6.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1124	9	Mercedes Club	Zanthoxylum glabre-lanceol	Good	To Be Removed	Protected	9	9	BUILDING PAD	2158	14	American Elm	Ulmus americana	Good	To Be Removed	Protected	14		PUBLIC R.O.W.
1125	22	Black Willow	Salix nigra	Good	To Be Removed	Unprotected				2159	27	Pecan	Carya lanceolata	Good	To Be Removed	Protected	27		PUBLIC R.O.W.
1126	17	American Elm	Ulmus americana	Good	To Be Removed	Protected	17	17	BUILDING PAD	2160	21.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1127	13.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected				2161	7	Eastern Redbud	Cercis canadensis	Good	To Be Removed	Unprotected			
1128	15	American Elm	Ulmus americana	Good	To Be Removed	Protected	15			2162	16	Black Willow	Salix nigra	Good	To Be Removed	Unprotected			
1129	6	Mercedes Club	Zanthoxylum glabre-lanceol	Good	To Be Removed	Unprotected				2163	10	American Elm	Ulmus americana	Good	To Be Removed	Protected	10		PUBLIC R.O.W.
1130	29	Black Willow	Salix nigra	Good	To Be Removed	Unprotected				2164	17	American Elm	Ulmus americana	Good	To Be Removed	Protected	17		
1131	6	Mercedes Club	Zanthoxylum glabre-lanceol	Good	To Be Removed	Unprotected				2165	13	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1132	17	Black Willow	Salix nigra	Good	To Be Removed	Unprotected				2166	11.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1133	13	Chinese Tallow	Triplaris schubertii	Good	To Be Removed	Protected	13	13	BUILDING PAD	2167	13	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1134	24	Black Willow	Salix nigra	Good	To Be Removed	Unprotected				2168	5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1135	16	Honey Mesquite	Prosopis glandulosa	Good	To Be Removed	Protected	16	16	BUILDING PAD	2169	3	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1136	9	Honey Mesquite	Prosopis glandulosa	Good	To Be Removed	Protected	9	9	BUILDING PAD	2170	22.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1137	12	Honey Mesquite	Prosopis glandulosa	Good	To Be Removed	Protected	12	12	BUILDING PAD	2171	26.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected			
1138	35	Black Willow	Salix nigra	Good	To Be Removed	Unprotected				2172	35.5	American Elm	Ulmus americana	Good	To Be Removed	Protected	35.5		
1139	12	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected				TOTAL: 4577.6									
1140	25	Post Oak	Quercus stellata	Good	To Be Removed	Protected	25			TOTAL: 2831.1									
1141	8	American Elm	Ulmus americana	Good	To Be Removed	Protected	8			TOTAL: 402.2									
1142	7	Shumard Oak	Quercus shumardii	Good	To Be Removed	Unprotected				-2037.1 CALIPER INCHES OF PROTECTED TREES TO BE REMOVED.									
1143	13.5	Shumard Oak	Quercus shumardii	Good	To Be Removed	Unprotected				-402 CALIPER INCHES OF PROTECTED INCHES EXEMPT FROM MITIGATION DUE TO BUILDING PAD/EASEMENTS.									
1144	15.5	Shumard Oak	Quercus shumardii	Good	To Be Removed	Protected	15.5			-1,835.1 CALIPER INCHES TOTAL TO BE REMOVED FOR MITIGATION.									
1145	6	Mercedes Club	Zanthoxylum glabre-lanceol	Good	To Be Removed	Unprotected				-486 CALIPER INCHES TO BE PLANTED BACK ON SITE.									
1146	29	Black Willow	Salix nigra	Good	To Be Removed	Unprotected				-1,149.1 CALIPER INCHES TO BE PAID TO THE CITY TREE FUND. (\$200 PER CAL. INCH)									
1147	6	Mercedes Club	Zanthoxylum glabre-lanceol	Good	To Be Removed	Unprotected				- \$229.620 TO BE PAID TO THE CITY TREE FUND.									
1148	17	Black Willow	Salix nigra	Good	To Be Removed	Unprotected													
1149	13	Chinese Tallow	Triplaris schubertii	Good	To Be Removed	Protected	13	13	BUILDING PAD										
1150	24	Black Willow	Salix nigra	Good	To Be Removed	Unprotected													
1151	16	Honey Mesquite	Prosopis glandulosa	Good	To Be Removed	Protected	16	16	BUILDING PAD										
1152	9	Honey Mesquite	Prosopis glandulosa	Good	To Be Removed	Protected	9	9	BUILDING PAD										
1153	12	Honey Mesquite	Prosopis glandulosa	Good	To Be Removed	Protected	12	12	BUILDING PAD										
1154	35	Black Willow	Salix nigra	Good	To Be Removed	Unprotected													
1155	24	Black Willow	Salix nigra	Good	To Be Removed	Unprotected													
1156	80.5	Black Willow	Salix nigra	Good	To Be Removed	Unprotected													
1157	12	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected													
1158	25	Post Oak	Quercus stellata	Good	To Be Removed	Protected	25												
1159	8	American Elm	Ulmus americana	Good	To Be Removed	Protected	8												
1160	7	Shumard Oak	Quercus shumardii	Good	To Be Removed	Unprotected													
1161	7	Shumard Oak	Quercus shumardii	Good	To Be Removed	Unprotected													
1162	9.5	Shumard Oak	Quercus shumardii	Good	To Be Removed	Protected	9.5												
1163	9	Shumard Oak	Quercus shumardii	Good	To Be Removed	Protected	9												
1164	7	Eastern Red Cedar	Juniperus virginiana	Good	To Be Removed	Unprotected													
1165	9.5	American Elm	Ulmus americana	Good	To Be Removed	Protected	9.5												
1166	7	American Elm	Ulmus americana	Good	To Be Removed	Unprotected													
1167	6	American Elm	Ulmus americana	Good	To Be Removed	Protected	6												
1168	7	American Elm	Ulmus americana	Good	To Be Removed	Unprotected													
1169	12.5	Shumard Oak	Quercus shumardii	Good	To Be Removed	Protected	12.5												
1170	10	American Elm	Ulmus americana	Good	To Be Removed	Protected	10												
1171	10	Shumard Oak	Quercus shumardii	Good	To Be Removed	Protected	10												
1172	15.5	American Elm	Ulmus americana	Good	To Be Removed	Protected	15.5												
1173	6	Eastern Red Cedar	Juniperus virginiana	Good	To Be Removed	Unprotected													
1174	7.5	Shumard Oak	Quercus shumardii	Good	To Be Removed	Unprotected													
1175	6.8	Pecan	Carya heterophylla	Good	To Be Removed	Unprotected													
1176	6	Pecan	Carya heterophylla	Good	To Be Removed	Unprotected													
1177	34	Eastern Cottonwood	Populus deltoides	Good	To Be Removed	Unprotected													
2006	11	Cedar Elm	Ulmus crassifolia	Poor	To Be Removed	Protected	11		Vine overgrowth										
2007	12	Pecan	Carya heterophylla	Good	To Be Removed	Protected	12												
2008	17	Black Willow	Salix nigra	Poor	To Be Removed	Unprotected													
2009	28	Eastern Cottonwood	Populus deltoides	Good	To Be Removed	Unprotected													
2010	26	Eastern Cottonwood	Populus deltoides	Good	To Be Removed	Unprotected													
2011	21	Black Willow	Salix nigra	Good	To Be Removed	Unprotected													
2018	11	Eastern Red Cedar	Juniperus virginiana	Good	To Be Removed	Protected	11												
2110	6	American Elm	Ulmus americana	Good	To Be Removed	Unprotected													
2111	6	American Elm	Ulmus americana	Good	To Be Removed	Protected	6												
2112	14.5	Sugar Hackberry	Celtis laevigata	Good	To Be Removed	Unprotected													
2113	17	American Elm	Ulmus americana	Good	To Be Removed	Protected	17												
2114	23	American Elm	Ulmus americana	Good	To Be Removed	Protected	23												
2115	20	American Elm	Ulmus americana	Good	To Be Removed	Protected	20												
2116	10	Red Mulberry	Morus rubra	Good	To Be Removed	Unprotected													
2117	14	American Elm	Ulmus americana	Good	To Be Removed	Protected	14												
2118	10	American Elm	Ulmus americana	Good	To Be Removed	Protected	10												
2119	13	American Elm	Ulmus americana	Good	To Be Removed	Protected	13												



Item4.

## VALLEY STORAGE / DRAINAGE EASEMENT TREES

Tag ID	DBH (in)	Common Name	Scientific Name	Condition	Remove/Retain	Protected/ Unprotected	Protected Inches To Be Removed	Exemptions	Comments	Tag ID	DBH (in)	Common Name	Scientific Name	Condition	Remove/Retain	Protected/ Unprotected	Protected Inches To Be Removed	Exemptions	Comments
1617	19.6	Boxelder Maple	Acer negundo	Good	To Be Removed	Protected	19.6	19.6	EASEMENT	1736	6	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT
1618	6	American Elm	Ulmus americana	Good	To Be Removed	Unprotected			EASEMENT	1737	16	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT
1619	7	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1738	20.5	Pecan	Carya glabra	Good	To Be Removed	Protected	6	16	EASEMENT
1620	11	Western Sycamore	Sapindus saponaria	Good	To Be Removed	Protected	11	11	EASEMENT	1739	8.5	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT
1621	8	Western Sycamore	Sapindus saponaria	Good	To Be Removed	Unprotected			EASEMENT	1740	10	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT
1622	16	Pecan	Carya illinoensis	Good	To Be Removed	Unprotected			EASEMENT	1741	9	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1623	13	American Elm	Ulmus americana	Good	To Be Removed	Protected	13	13	EASEMENT	1742	9.5	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT
1624	32	Pecan	Carya illinoensis	Good	To Be Removed	Protected	32.6	32.6	EASEMENT	1743	13.3	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1625	17.6	Pecan	Carya illinoensis	Good	To Be Removed	Protected	17.6	17.6	EASEMENT	1744	7	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1626	16	American Elm	Ulmus americana	Good	To Be Removed	Protected	16	16	EASEMENT	1745	6	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1627	22	Pecan	Carya illinoensis	Good	To Be Removed	Protected	22.6	22.6	EASEMENT	1746	8.6	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1628	24.6	Pecan	Carya illinoensis	Good	To Be Removed	Protected	24.6	24.6	EASEMENT	1747	6	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1637	8	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	8	8	EASEMENT	1748	6	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1638	23.6	Pecan	Carya illinoensis	Good	To Be Removed	Protected	23.6	23.6	EASEMENT	1749	6	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1639	11	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1750	20.5	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1640	12	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1751	21	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1641	12	Western Sycamore	Sapindus saponaria	Good	To Be Removed	Protected	12	12	EASEMENT	1752	11	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1642	10.6	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1753	21.5	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1643	12	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1754	6	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1644	7	Cedar Elm	Ulmus americana	Good	To Be Removed	Unprotected			EASEMENT	1755	14.3	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT
1645	8	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1756	36	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1646	8	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1757	12	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT
1647	13	Pecan	Carya illinoensis	Good	To Be Removed	Protected	13	13	EASEMENT	1758	9	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT
1648	21	Pecan	Carya illinoensis	Good	To Be Removed	Protected	21	21	EASEMENT	1759	12.5	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT
1649	13.6	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	13.6	13.6	EASEMENT	1760	20.5	Cedar Elm	Ulmus americana	Good	To Be Removed	Unprotected			EASEMENT
1650	8.6	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1761	13	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT
1651	15	American Elm	Ulmus americana	Good	To Be Removed	Protected	15	15	EASEMENT	1762	20.5	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	20.5	20.5	EASEMENT
1652	12.6	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	12.6	12.6	EASEMENT	1763	14.3	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	14.3	14.3	EASEMENT
1653	16	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1764	7	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT
1654	11	Cedar Elm	Ulmus americana	Good	To Be Removed	Unprotected			EASEMENT	1765	20.5	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	20.5	20.5	EASEMENT
1655	20	Pecan	Carya illinoensis	Good	To Be Removed	Protected	20	20	EASEMENT	1766	11	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT
1656	6.5	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1767	24	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	24	24	EASEMENT
1657	14	Pecan	Carya illinoensis	Good	To Be Removed	Unprotected			EASEMENT	1768	25	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	25	25	EASEMENT
1658	26.6	Pecan	Carya illinoensis	Good	To Be Removed	Protected	26.6	26.6	EASEMENT	1769	16.3	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1659	17.6	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	17.6	17.6	EASEMENT	1770	22	American Elm	Ulmus americana	Good	To Be Removed	Protected	22	22	EASEMENT
1660	10.6	American Elm	Ulmus americana	Good	To Be Removed	Unprotected			EASEMENT	1771	9.5	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	9	9	EASEMENT
1661	26.6	Pecan	Carya illinoensis	Good	To Be Removed	Protected	26.6	26.6	EASEMENT	1773	16.5	American Elm	Ulmus americana	Good	To Be Removed	Protected	16.5	16.5	EASEMENT
1662	24.6	Pecan	Carya illinoensis	Good	To Be Removed	Protected	24.6	24.6	EASEMENT	1774	10.5	Pecan	Carya glabra	Good	To Be Removed	Unprotected			EASEMENT
1663	16	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1775	6	Fraxinus Club	Zanthoxylum clavum	Good	To Be Removed	Unprotected			EASEMENT
1664	31	Pecan	Carya illinoensis	Good	To Be Removed	Protected	31	31	EASEMENT	1776	17.5	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT
1671	14	American Elm	Ulmus americana	Good	To Be Removed	Protected	14	14	EASEMENT	1797	14	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected			EASEMENT
1672	8	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1798	21.5	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	21.5	21.5	EASEMENT
1673	15	American Elm	Ulmus americana	Good	To Be Removed	Unprotected			EASEMENT	1799	18.5	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	18.5	18.5	EASEMENT
1674	8.5	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1675	6	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1676	11	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1677	16	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1678	46.6	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1679	46.6	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1680	13	Chinaberry	Melia azadirachta	Good	To Be Removed	Unprotected	13	13	EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1681	6	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1682	17.6	Pecan	Carya illinoensis	Good	To Be Removed	Protected	17.6	17.6	EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1683	7	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1684	12	American Elm	Ulmus americana	Good	To Be Removed	Protected	12	12	EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1685	13	Pecan	Carya illinoensis	Good	To Be Removed	Protected	13	13	EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
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1688	36	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1689	26	Pecan	Carya illinoensis	Good	To Be Removed	Protected	26	26	EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1690	36	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1691	36	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1692	36	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1693	36	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1694	36	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1695	26	Pecan	Carya illinoensis	Good	To Be Removed	Protected	26	26	EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1696	36	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1697	36	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1698	14	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1699	26	Pecan	Carya illinoensis	Good	To Be Removed	Protected	26	26	EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1700	36	Osage Orange	Machaera pumila	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1701	8	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1702	8	Honey Locust	Glabria fraxinifolia	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1703	12.6	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1704	16	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1705	16	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1706	16	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1707	11	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1708	6	Pecan	Carya illinoensis	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1709	17	Super Hackberry	Celtis occidentalis	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1710	16	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	16	16	EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1711	11	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	11	11	EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1712	11.6	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
1713	15	Cedar Elm	Ulmus americana	Good	To Be Removed	Protected	15	15	EASEMENT	1799	10.5	Green Ash	Fraxinus pennsylvanica	Good	To Be Removed	Unprotected			EASEMENT
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-1,075.5 CALIPER INCHES OF PROTECTED TREES TO BE REMOVED.

-1,075.5 CALIPER INCHES OF PROTECTED INCHES EXEMPT FROM MITIGATION DUE TO BUILDING PAD/EASEMENTS.

-0 CALIPER INCHES TOTAL TO BE REMOVED FOR MITIGATION

-0 CALIPER INCHES TO BE PLANTED BACK ON SITE

-0 CALIPER INCHES TO BE PAID TO THE CITY TREE FUND

- \$0 TO BE PAID TO THE CITY TREE FUND

**LANDSCAPE ARCHITECT**  
STUDIO GREEN SPOT, INC.  
1782 W. McDERMOTT DR.  
ALLEN, TEXAS 75013  
(469) 369-4448  
IRIS@STUDIOGREENSPOT.COM



**OAKDALE II**  
OAKDALE ROAD  
GRAND PRAIRIE, TEXAS

SUE:  
FOR APPROVAL 10.10.2024

DATE:

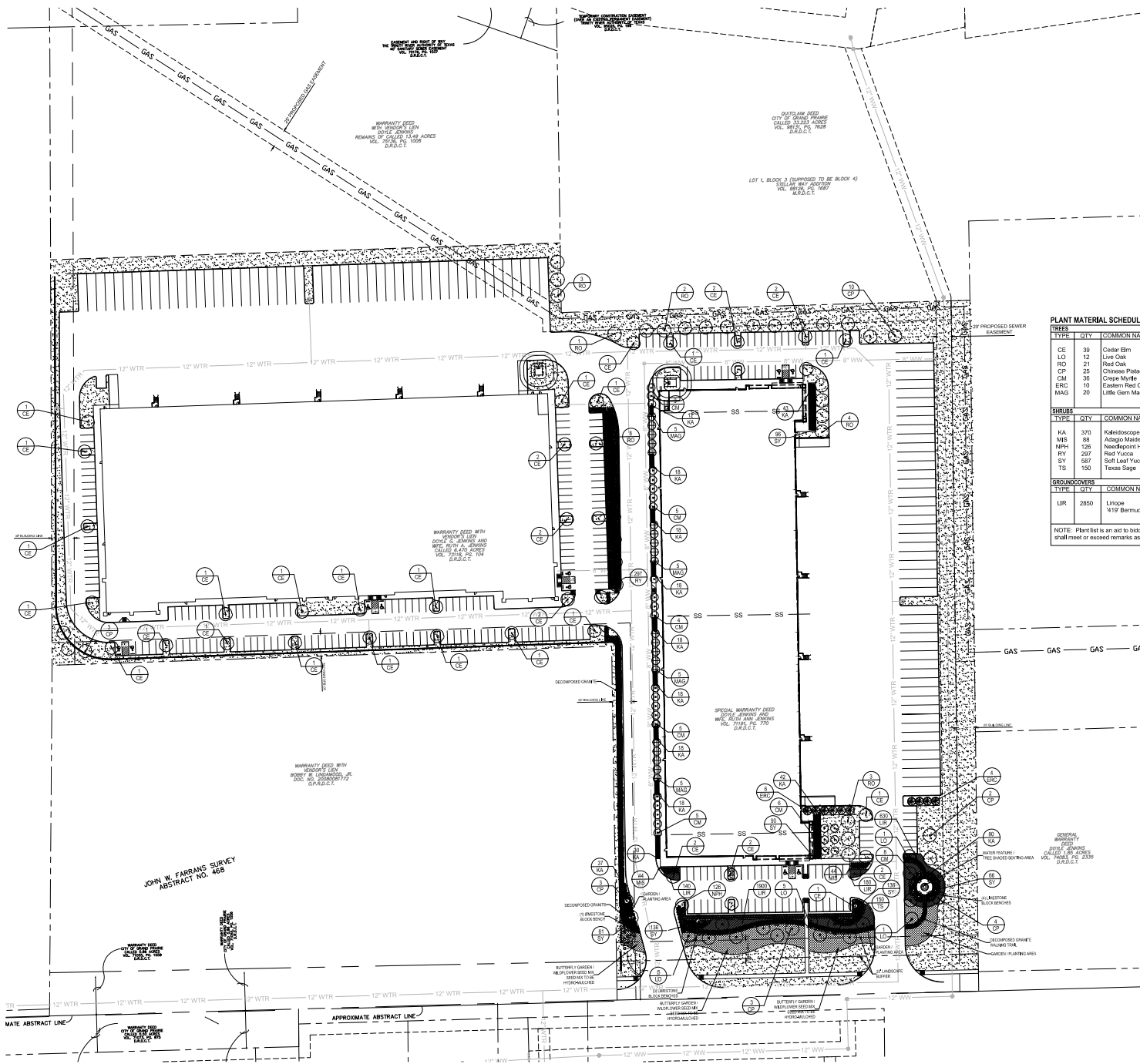
SHEET NAME:  
TREE PRESERVATION PLAN

SHEET NUMBER:

7  
CASE NUMBER  
TP- 24-09-0038



Exhibit C - Landscape Plan  
Page 8 of 8



PLANT MATERIAL SCHEDULE					
TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	38	Cedar Elm	Ulmus crassifolia	3" cal.	
LO	12	Live Oak	Quercus virginiana	3" cal.	
PO	21	Red Oak	Quercus shumardii	3" cal.	
CP	25	Chinese Pistache	Juniperus chinensis	3" cal.	
CM	35	Crape Myrtle	Lagerstroemia indica	3" cal.	
ERC	10	Eastern Red Cedar	Juniperus virginiana	3" cal.	
MAG	20	Little Gem Magnolia	Magnolia grandiflora Little Gem	3" cal.	
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
KA	370	Kaleidoscope Abelia	Abelia x Grandiflora Kaleidoscope	5 gal.	
MIS	88	Adagio Maiden Grass	Miscanthus sinensis Adagio	5 gal.	
MPH	126	Maneheadpoint Holly	Ilex cornuta Maneheadpoint	5 gal.	
RY	297	Red Yucca	Yucca rostrata	5 gal.	
SY	587	Soft Leaf Yucca	Yucca rostrata	5 gal.	
TS	150	Texas Sage	Leucophyllum frutescens	5 gal.	
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
LIR	2850	Liriope	Liriope muscari	4" pots	
		410P Bermudagrass	Cynodon dactylon 410P		

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

LANDSCAPE TABULATIONS

STREET TREE REQUIREMENT: (1) 3" CALIPER TREE PER 50 L.F. OF SIDEWALK

REQUIRED: 10 TREES

PROVIDED: 13 TREES

BASE LANDSCAPE REQUIREMENTS: SITE AREA: 736,164 S.F. BUILDING AREA: 299,662.00 S.F.

10% OF THE SITE TO BE LANDSCAPE AREA

(1) 3" CALIPER TREE PER 500 S.F. OF REQUIRED LANDSCAPE AREA

(1) SHRUB - 5 GAL. MIN. FOR EACH 50 S.F. OF REQUIRED LANDSCAPE AREA

1% OF OVERALL BUILDING DIMENSION SHALL BE PROVIDED AS ANNUALS, PERENNIALS OR NATIVE GRASSES.

REQUIRED: 73,616.4 S.F. OF LANDSCAPE AREA (147) 3" CAL. TREES (1472) SHRUBS - 5 GAL. MIN. 2,880 S.F. OF ANNUALS, PERENNIALS OR NATIVE GRASSES

PROVIDED: 141,112 S.F. OF LANDSCAPE AREA (163) PROPOSED 3" CALIPER TREE (1,610) SHRUBS - 5 GAL. MIN. 2,880 S.F. OF ANNUALS, PERENNIALS OR NATIVE GRASSES

PARKING LOT LANDSCAPING REQUIREMENTS: 269 PARKING SPACES TREES PLANTED AT THE END OF EACH PARKING ROW (1) TREE PER 10 PARKING SPACES ALL PARKING SPACES TO BE WITHIN 100 L.F. OF A TREE (1) TREE PER 5 TRUCK DOCKS (65 TRUCK DOCKS)

REQUIRED: (60) 3" CAL. TREES

PROVIDED: (41) 3" CAL. TREES

OPEN SPACE: COORDINATED OPEN SPACE REQUIREMENTS: SITE AREA - 808,546.05 S.F. (18.6 ACRES) BUILDING AREA - 299,662.00 S.F.

1 ACRE OF COMMON OPEN SPACE FOR EACH 20 ACRES TO BE DEVELOPED AT BUILD OUT. 1,000 FEET OF PAVED WALKING TRAIL FOR EACH ACRE OF REQUIRED OPEN SPACE. SEATING WITHIN A SHADED AREA (1) SEAT PER 20,000 OF PROPOSED BUILDING AREA. AN ACTIVE WATER FEATURE 1 S.F. OF GARDEN FOR EVERY 50 S.F. OF BUILDING AREA

REQUIRED: 30 ACRES OF OPEN SPACE 930 L.F. OF WALKING TRAIL 14 SEATS WATER FEATURE 5,377 S.F. OF GARDEN AREA

PROVIDED: 1.15 ACRES OF OPEN SPACE 1,140 L.F. OF WALKING TRAIL 16 SEATS - LUMESTONE BLOCKS (2'X2'X4" 48" LENGTH) WATER FEATURE 8,520 S.F. OF GARDEN AREA

Item 4.

LANDSCAPE ARCHITECT  
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(409) 369-4448  
CHRS@STUDIOGREENSPOT.COM



OAKDALE II  
OAKDALE ROAD  
GRAND PRAIRIE, TEXAS

ISSUE:  
FOR APPROVAL 08.16.2024  
CITY COMMENTS 10.10.2024

DATE:  
10.10.2024

SHEET NAME:  
LANDSCAPE PLAN

SHEET NUMBER:

L.8  
CASE NUMBER  
STP-24-09-0038



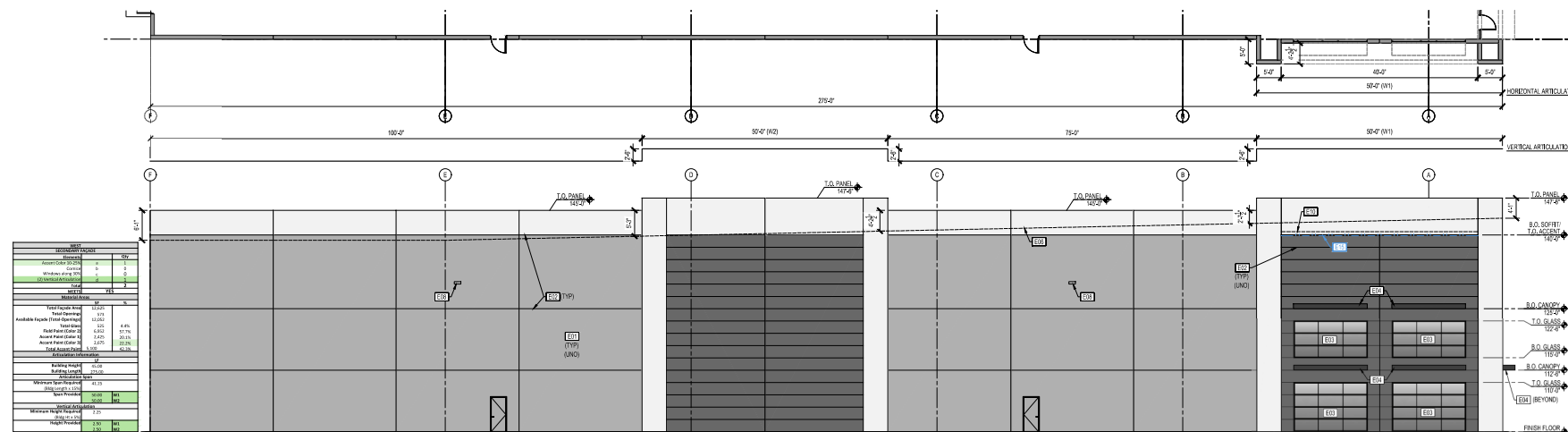
# Exhibit D - Building Elevations Page 1 of 4

## ELEVATIONS LEGEND

	WINDOW/DOOR TYPE
	KEYED NOTE
	REVISION NUMBER
	SECTION DETAIL MARKER
	ELEVATION MARKER
	EXTENTS OF ACCENT LIGHTS
	COLOR #1 SWISS PURE WHITE
	COLOR #2 SWISS NETWORK GRAY
	COLOR #3 SWISS WEB GRAY
	GLAZING

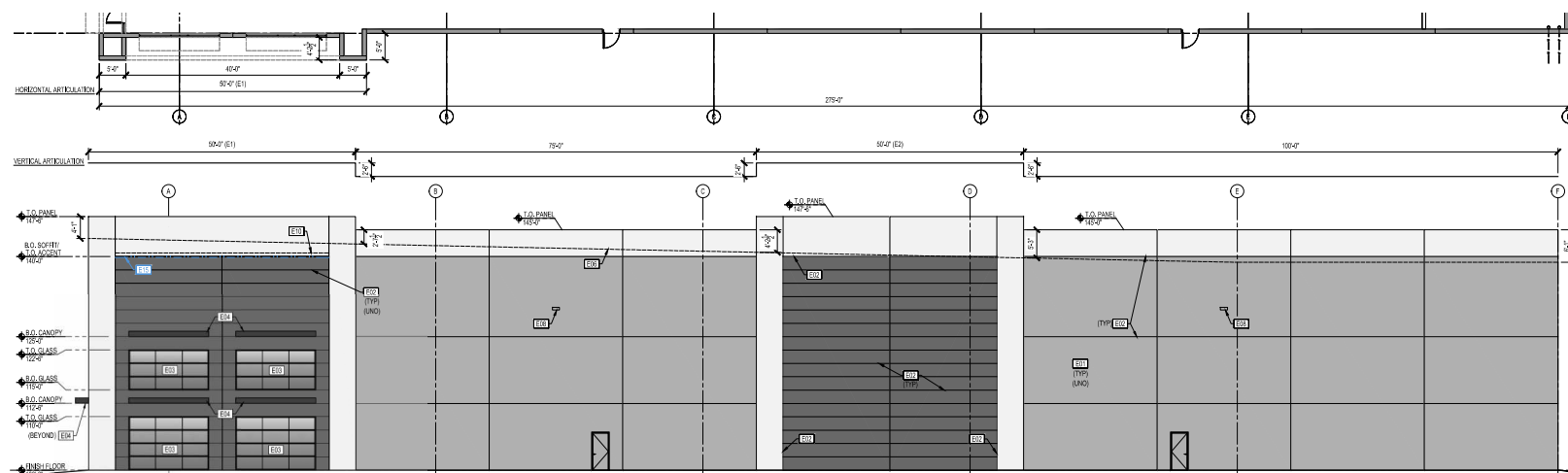
## ELEVATION KEYED NOTES

E01	PAINTED CONCRETE TILT WALL
E02	PANEL RISER
E03	ALUMINUM & GLASS STOREFRONT
E04	PAINTED STEEL CANOPY (COLOR TO MATCH MULLIONS)
E05	8" x 48" SCUPPER
E06	LINE OF ROOF BEYOND
E07	8MM x 18IN LOUVER
E08	WALL PACK MOUNTED AT 30'-0" AFF (TYP)(UNC)
E09	ROOF OVERFLOW DRAIN THRU WALL (RE: 03A(1)(10))
E10	STEEL & ALUMINUM SOFFIT SYSTEM CANOPY (BEYOND)
E11	PAINTED STEEL (COLOR TO MATCH MULLIONS)
E12	EXTERIOR EGRESS FEATURE MOUNTED AT 8'-0" AFF (TYP)(UNC)(REF ELEC FOR SPEC)
E13	24" x 24" LOUVER
E14	BROWN WALL
E15	ACCENT LIGHTING UNDERSIDE OF SOFFIT
E16	ACCENT UPLIGHT



02 EXTERIOR BUILDING ELEVATION - WEST

Scale: 3/32" = 1'-0"



01 EXTERIOR BUILDING ELEVATION - EAST

Scale: 3/32" = 1'-0"

Item4.

AZIMUTH:

architecture

10226 E Northwest Hwy  
Box 66  
Dallas, Texas 75226  
214.261.9060

www.azimutarc.com

OAKDALE II

BUILDING A  
Oakdale Road,  
Grand Prairie, Texas 75050

3009A

CLIENT:

JOB #:

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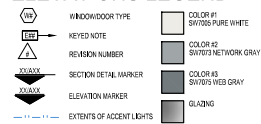
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# Exhibit D - Building Elevations

## Page 4 of 4

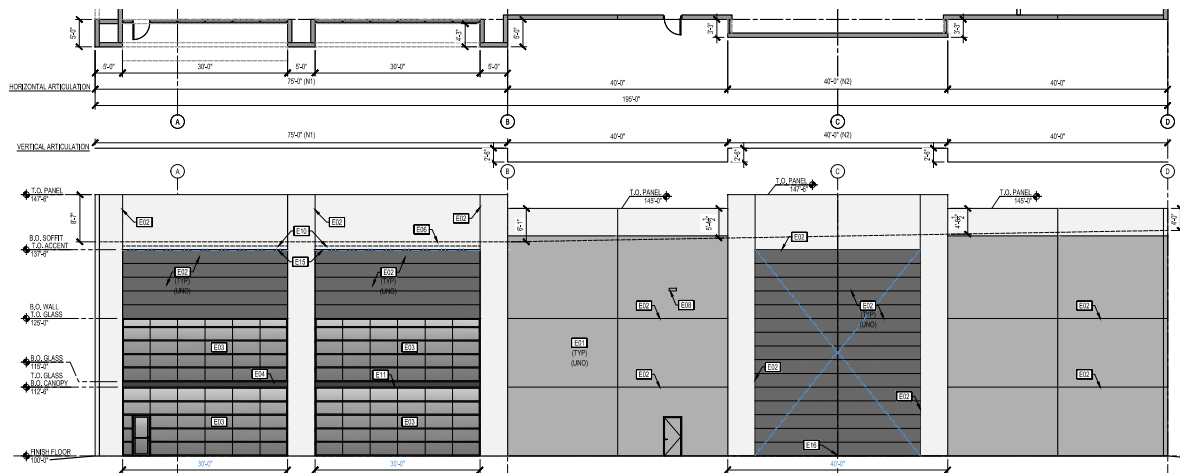
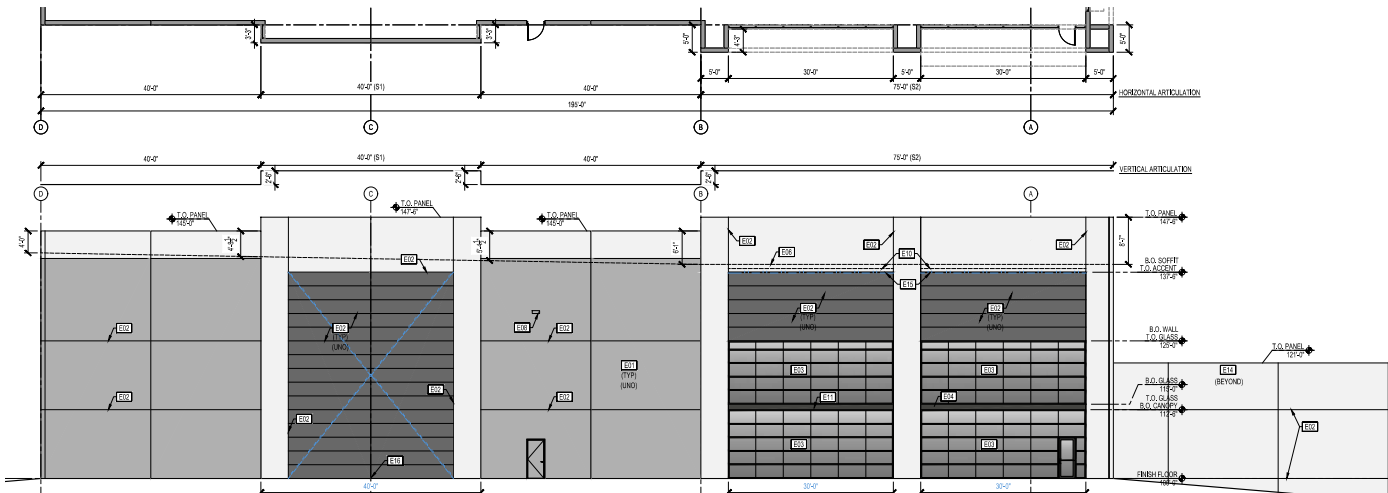
### ELEVATIONS LEGEND



### ELEVATION KEYED NOTES

- 100 PAINTED CONCRETE TILT WALL
- 101 PANEL REVEAL
- 102 ALUMINUM & GLASS STOREFRONT
- 103 PAINTED STEEL CANOPY (COLOR TO MATCH MULLIONS)
- 104 8' x 40' SCUPPER
- 105 LINE OF ROOF BEYOND
- 106 PW & H/L LOWER
- 107 WALL PACK MOUNTED AT 30'-0" AFF (TYP/UNQ)
- 108 ROOF OVERFLOW DRAIN THRU WALL (SEE 03A10.10)
- 109 STEEL & ALUMINUM SOFFIT SYSTEM CHAMPI (BEYOND)
- 110 PAINTED STEEL (COLOR TO MATCH MULLIONS)
- 111 EXTERIOR CORRESS FIXTURE MOUNTED AT 8'-0" AFF (TYP/UNQ) (REF ELEC FOR SPEC)
- 112 30" x 30" DOWNER
- 113 GREEN WALL
- 114 ACCENT LIGHTING UNDERSIDE OF SOFFIT
- 115 ACCENT UPLIGHT

SUMMARY			
DESCRIPTION	QTY	UNIT	AMOUNT
100 PAINTED CONCRETE TILT WALL	1	sq ft	1,000.00
101 PANEL REVEAL	1	sq ft	1,000.00
102 ALUMINUM & GLASS STOREFRONT	1	sq ft	1,000.00
103 PAINTED STEEL CANOPY	1	sq ft	1,000.00
104 8' x 40' SCUPPER	1	sq ft	1,000.00
105 LINE OF ROOF BEYOND	1	sq ft	1,000.00
106 PW & H/L LOWER	1	sq ft	1,000.00
107 WALL PACK MOUNTED AT 30'-0" AFF (TYP/UNQ)	1	sq ft	1,000.00
108 ROOF OVERFLOW DRAIN THRU WALL (SEE 03A10.10)	1	sq ft	1,000.00
109 STEEL & ALUMINUM SOFFIT SYSTEM CHAMPI (BEYOND)	1	sq ft	1,000.00
110 PAINTED STEEL (COLOR TO MATCH MULLIONS)	1	sq ft	1,000.00
111 EXTERIOR CORRESS FIXTURE MOUNTED AT 8'-0" AFF (TYP/UNQ) (REF ELEC FOR SPEC)	1	sq ft	1,000.00
112 30" x 30" DOWNER	1	sq ft	1,000.00
113 GREEN WALL	1	sq ft	1,000.00
114 ACCENT LIGHTING UNDERSIDE OF SOFFIT	1	sq ft	1,000.00
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TOTAL			
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TOTAL			



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115 ACCENT UPLIGHT	1	sq ft	1,000.00
TOTAL			

Item4.

AZIMUTH:

architecture

10226 E Northwest Hwy  
Box 66  
Dallas, Texas 75226  
214.261.9060

www.azimutarc.com

OAKDALE II

BUILDING B  
Oakdale Road,  
Grand Prairie, Texas 75050

3009B

1 09.11.24 Review

2 10.11.24 City Comments

3

4

5

6

7

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THE SEAL APPROVED FOR THIS DOCUMENT WAS  
AUTHENTICATED BY ARCHITECT, WILLIAM ARCHITECTURE  
AT THE OFFICE OF THE ARCHITECT, WILLIAM ARCHITECTURE  
ON 10/11/24 AT 10:11 AM  
OFFICE UNDER THE TEXAS BOARD OF ARCHITECTURAL  
EXAMINERS

SHEET CONTENTS:  
EXTERIOR  
ELEVATIONS-BLDG B

DAT: October 11, 2024

SHEET:

A7.21

SITE PLAN  
WEST OAKDALE INDUSTRIAL II  
GRAND PRAIRIE, TEXAS  
DALLAS COUNTY  
15.8 ACRES  
ZONED U  
BUILDING 11079 OF  
CASE NO. 577646008

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## CITY OF GRAND PRAIRIE COMMUNICATION

**MEETING DATE:** 11/11/2024

**REQUESTER:** Monica Espinoza, Administrative Supervisor

**PRESENTER:** Abdul R. Ghous, AICP, Senior Planner

**TITLE:** STP-24-07-0031 - Site Plan – Polo Rd Retail Center (City Council District 6). Site Plan for a multi-tenant retail store on 1.525 acres. Lot 12, Block 5, Amesbury Estates Phase 2, City of Grand Prairie, Dallas County, Texas, zoned PD-247, and addressed as 912 W Polo Rd

**APPLICANT:** Danial Rizvi, DMM Developers

**RECOMMENDED ACTION:** Approve

### SUMMARY:

Site Plan for a multi-tenant retail store on 1.525 acres. Lot 12, Block 5, Amesbury Estates Phase 2, City of Grand Prairie, Dallas County, Texas, zoned PD-247, and addressed as 912 W Polo Rd.

### PURPOSE OF REQUEST:

The applicant intends to construct a 12,145 sq. ft. multi-tenant retail building. The property is zoned Planned Development-247 with the base zoning of General Retail One (GR-1).

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

### ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1. Zoning and Land Use**

Direction	Zoning	Existing Use
North	Planned Development-247	Overhead Power Lines, Single-Family Residences/Undeveloped
South	Planned Development-244	Single-Family Residences
West	Planned Development-247	Undeveloped
East	Planned Development-247	Undeveloped



## PROPOSED USE CHARACTERISTICS AND FUNCTION:

The applicant intends to construct a 12,145 sq. ft. multi-tenant retail building. The property is zoned Planned Development-247 with the base zoning of General Retail One. The access point shall be located on W Polo Road. The northern boundary of the property shall comprise of 6-ft. masonry fence.

## ZONING REQUIREMENTS:

### *Density and Dimensional Requirements*

The property is subject to density and dimensional requirements in Article 6 of the Unified Development Code (UDC). The following table summarizes the General Retail One zoning district's requirements. The proposal meets the density and dimensional requirements.

**Table 2. Site Data Summary**

Standard	Required	Proposed	Compliance
Min. Lot Area (Sq. Ft.)	5,000	66,462	Yes
Min. Lot Width (Ft.)	50	232	Yes
Min. Lot Depth (Ft.)	100	141	Yes
Front Setback (Ft.)	25	>25	Yes
Rear Setback (Ft.)	0	29	Yes
Side Setback (Ft.)	10	>10	Yes
Max. Height (Ft.)	25	24	Yes
Max. Floor Area Ratio (FAR)	0.35:1	0.18:1	Yes

### *Parking Requirements*

The property is subject to parking requirements in Article 10 of the UDC. The following table summarizes these requirements. The proposal meets the parking requirements.

**Table 3. Parking Summary**

Standard	Required	Proposed	Meets
Retail Parking (1 space per 275 Sq. Ft.)	45	49	Yes

### *Landscape and Screening*

The property is subject to landscape and screening requirements in Article 8 of the UDC. The table below summarizes these requirements. The proposal meets or exceeds the landscape and screening requirements.

**Table 4. Landscape & Screening Requirements**

Standard	Required	Proposed	Meets
Landscape Area (Sq. Ft.) 10%	6,646	18,092	Yes
Street Trees	6	6	Yes
Parking Trees	5	13	Yes
Total Site Trees	11	16	Yes
Shrubs	50	120	Yes



*Building Design*

The exterior building materials primarily include brick and stone.

**RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval.

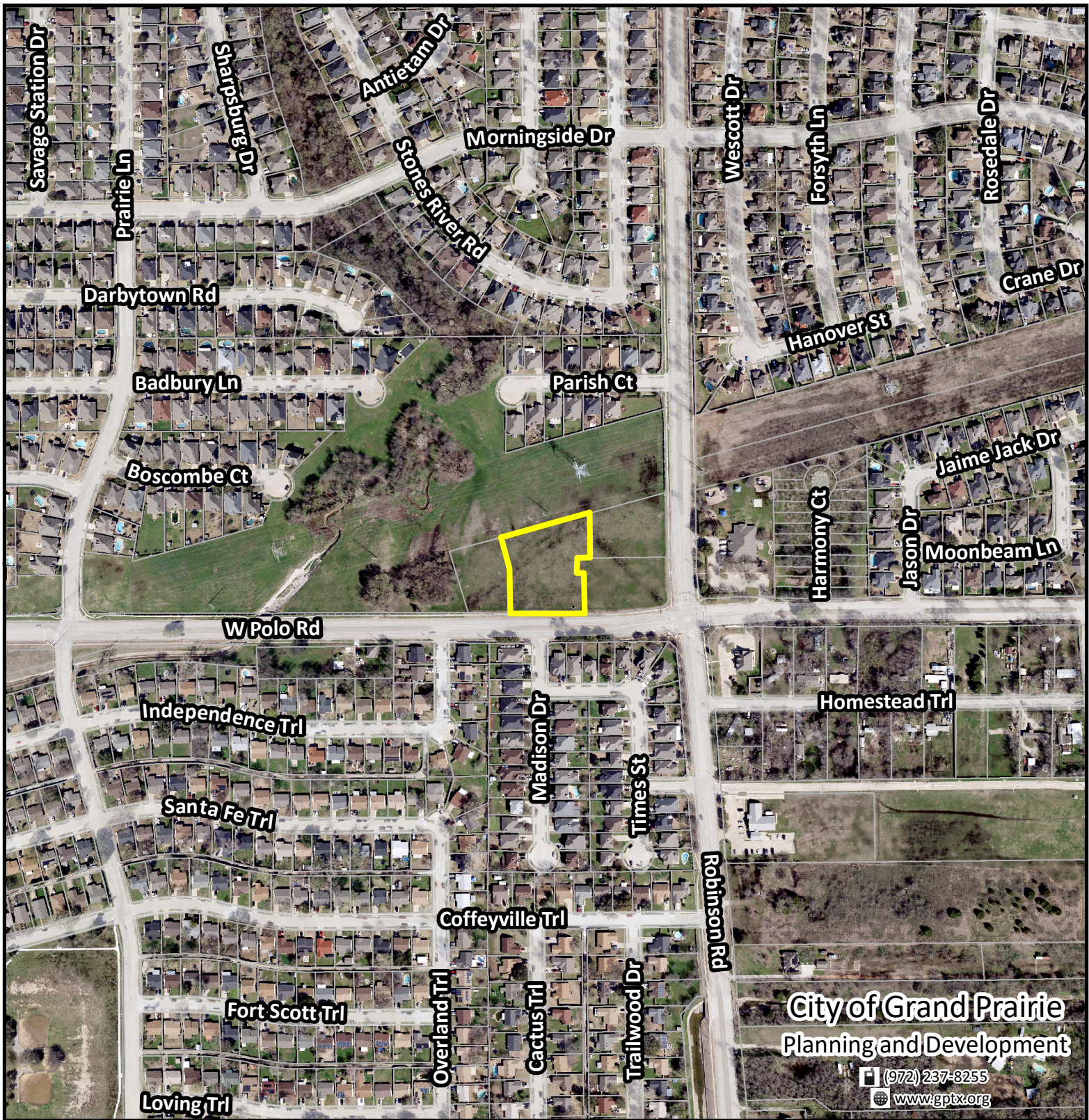


# Exhibit A- Location Map

## Page 1 of 1

CASE LOCATION MAP  
STP-24-07-0031  
POLO RD RETAIL CENTER

Item5.



City of Grand Prairie  
Planning and Development

(972) 237-8255

www.gptx.org



Location

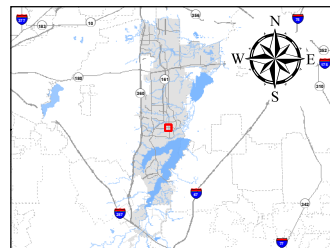


Street Center Line



Parcels

The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to public based on the Public Information Act. The City of Grand Prairie makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.



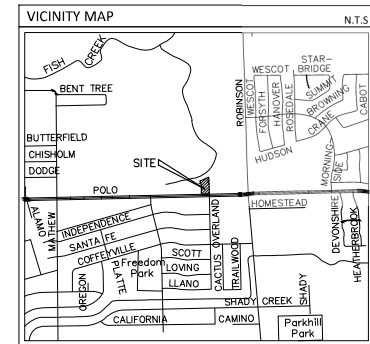
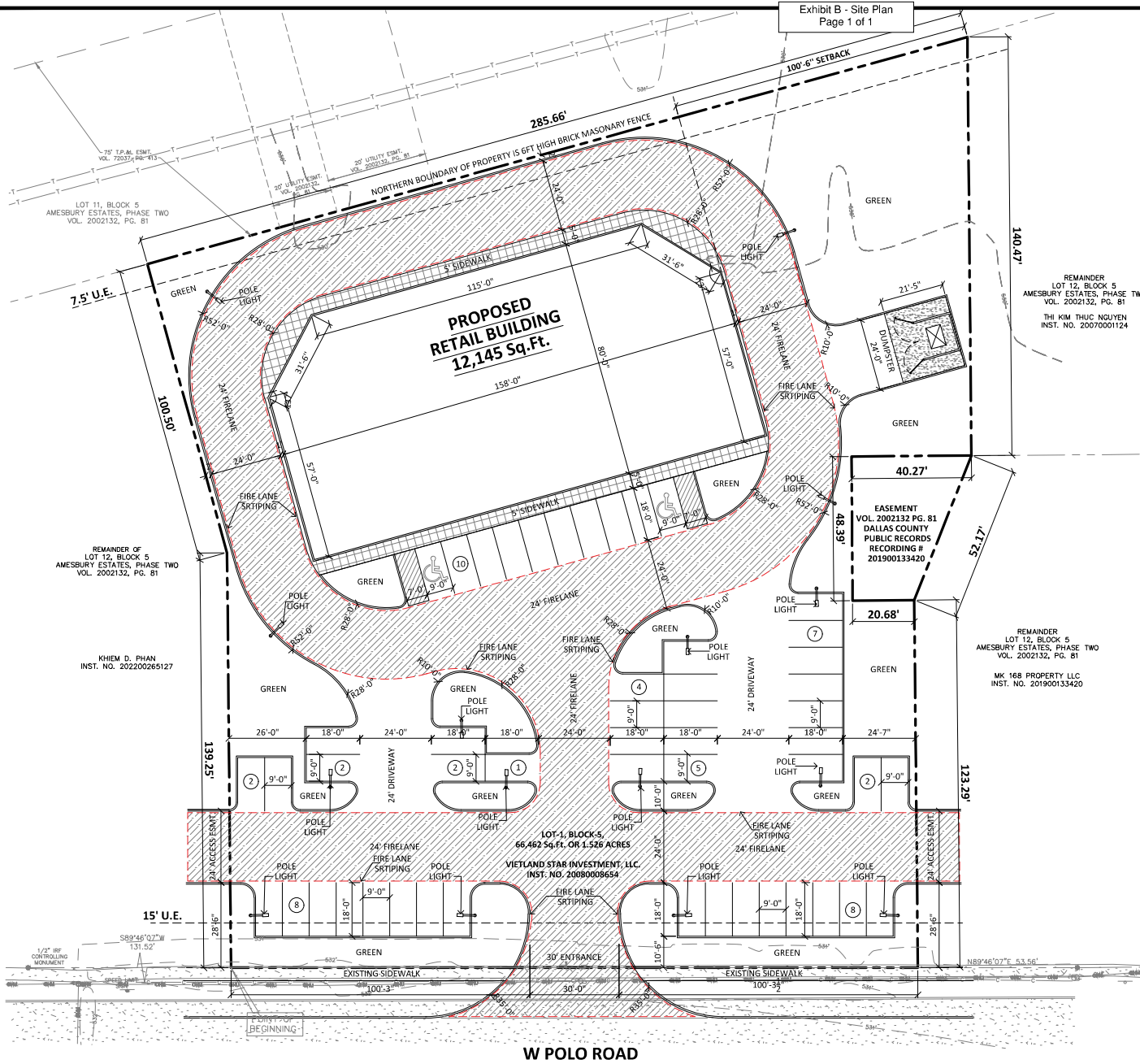
0 0.09 Miles

Grand  
Prairie  
TEXAS

PLANNING  
Date: 8/6/2024

60



Exhibit B - Site Plan  
Page 1 of 1

## PROJECT INFORMATION

PROJECT LOCATION:	912 W POLO ROAD, GRAND PRAIRIE, TEXAS 75052.
CODES:	2021 IBC 2021 IPC 2021 IMC 2021 IFGC 2020 NEC 2021 IFC 2021 IECC
EXISTING ZONING:	PD-247
PERMITTED USES:	SINGLE FAMILY - FIVE GENERAL RETAIL - ONE
PROPOSED ZONING:	GENERAL RETAIL - ONE
TOTAL LOT AREA:	66,462 Sq.Ft.
PROPOSED BUILDING AREA:	12,145 Sq.Ft.
MAXIMUM F.A.R.:	0.35:1
PROPOSED F.A.R.:	0.18:1
MIN. REQUIRED LANDSCAPE:	10%
PROPOSED LANDSCAPE AREA:	18,092 SF (27%)
PROPOSED PAVEMENT AREA:	34,437 Sq.Ft. (6" 4000 PSI CONCRETE)
BUILDING SIDEWALK:	1,788 Sq.Ft.
PROPOSED OCCUPANCY:	MERCANTILE (M)
SPRINKLER SYSTEM:	NONE
CONSTRUCTION TYPE:	TYPE II-A
BUILDING HEIGHT:	25' (1 - STOREY)
PARKING SPACES REQUIRED (1 sp. / 275 Sq.Ft.):	12145/275 = 44 Spaces (4 H.C Required)
PARKING SPACES PROVIDED:	STANDARD = 47 HANDICAPPED = 49
TOTAL	



PROJECT / ADDRESS:

A NEW BUILDING FOR  
**VIETLAND STAR INVESTMENTS, INC.**  
912 W. POLO ROAD,  
GRAND PRAIRIE,  
TEXAS, 75052.

CASE NUMBER :  
STP-27-07-0031

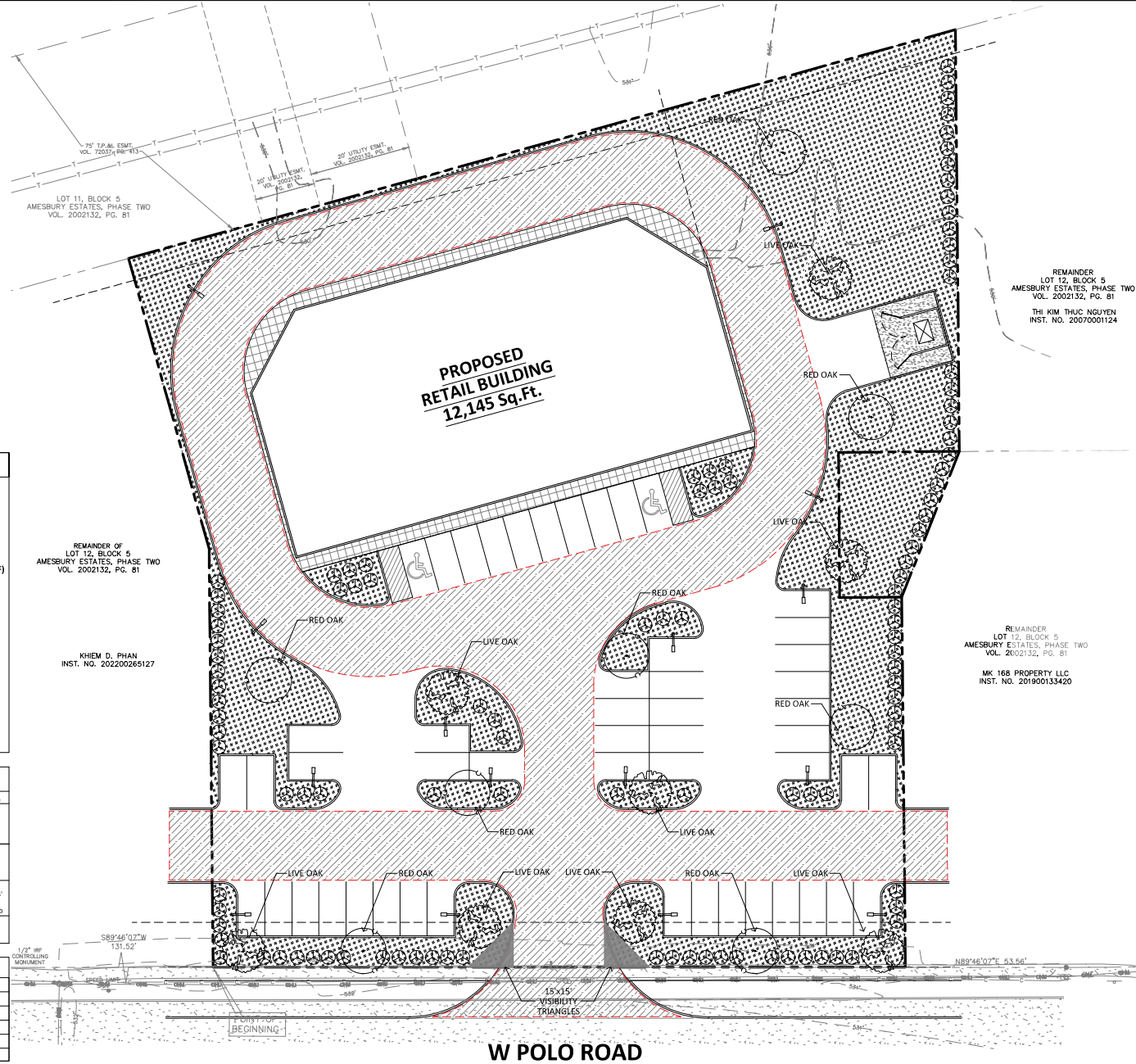
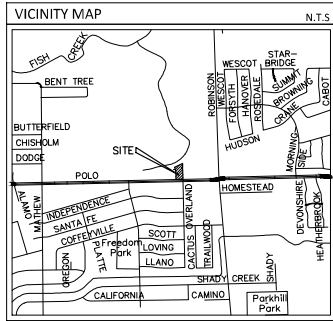
REVISION NO.	DATE:	DESCRIPTION:

## PROPOSED SITE PLAN

SHEET NO:	DATE: 10/9/2024	SCALE: 1/8" = 1'-0"	DRAWN BY: R.R.	CHECKED BY: D.R.	FILE NAME: 912 W POLO ROAD OF TX_CIVIL_REV.DWG
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Exhibit C - Landscape Plan  
Page 1 of 1



LANDSCAPE CALCULATIONS

SITE:

TOTAL SITE AREA	66,462 Sq. Ft.
MINIMUM SITE LANDSCAPE AREA REQUIRED	6,646 Sq. Ft. (10%)
TOTAL PROPOSED LANDSCAPE AREA	18,092 Sq. Ft. (27%)
TOTAL FRONT YARD LANDSCAPE AREA	10,886 Sq. Ft.
LANDSCAPING IN PARKING LOT AREA REQUIRED	784 Sq. Ft. (49 sp.x16 SF)
LANDSCAPING IN PARKING LOT AREA PROVIDED	10,886 Sq. Ft.

STREET TREES:

E WINTERGREEN RD @ 230.55 LF	6 TREES
TREES REQUIRED (1 TREE / 40 LF)	6 TREES

PARKING LOT TREES:

TREES REQUIRED (49/10)	5 TREES
TREES PROVIDED	13 TREES

\*1 TREE LOCATED AT THE TERMINUS OF EACH PARKING BAY.  
\*PARKING LOT SCREENED FROM PUBLIC R.O.W. WITH EVERGREEN SHRUBS.

PLANTING LEGEND

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	CAL.
	8	LIVE OAK	QUERCUS VIRGINIANA	3"
	8	RED OAK	QUERCUS RUBRA	3"
	120	SHRUBS	SHRUBS	1-9 gal/3" Ht. Shrub
	15,310 Sq. Ft.	COMMON BERMUDA GRASS	CYNODON DACTYLON	n/a

LANDSCAPE & SCREENING REQUIREMENTS

STANDARD	REQUIRED	PROPOSED	MEET
Landscape Area Sq. Ft.	6,646 Sq. Ft.	15,310 Sq. Ft.	YES
Street Trees	6	6	YES
Parking Trees	5	13	YES
Total Site Trees	11	16	YES
Shrubs	50	120	YES



1520 Blue Mesa Rd, Carrollton, Texas 75007  
danielm@dmm.com  
Contact: 972.824.3819

PROJECT / ADDRESS:

A NEW BUILDING FOR  
**VIETLAND STAR INVESTMENTS, INC.**  
912 W. POLO ROAD,  
GRAND PRAIRIE,  
TEXAS, 75052.

CASE NUMBER :  
STP-27-07-0031



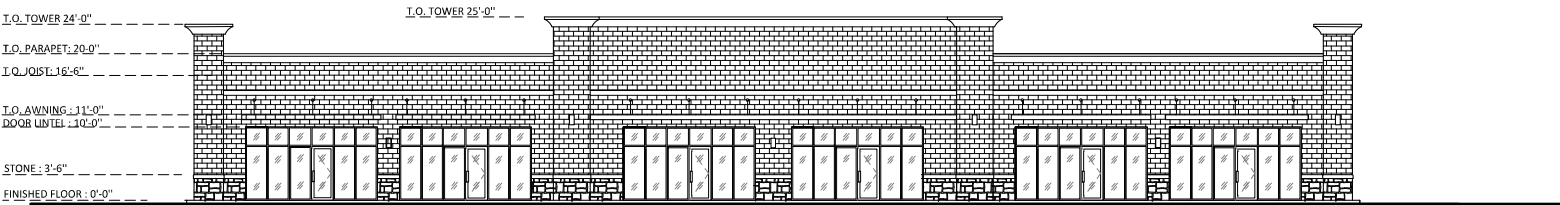
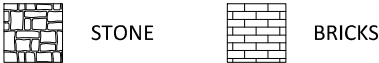
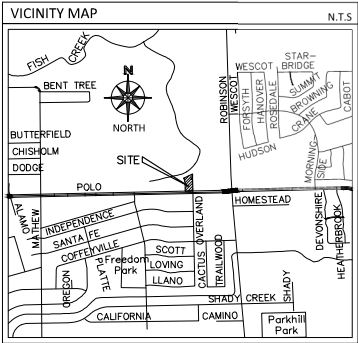
REVISION NO.	DATE:	DESCRIPTION:

LANDSCAPE PLAN			
SHEET NO.	DATE: 10/9/2024	SCALE: 1/16" = 1'-0"	FILE NAME: 912 W POLO ROAD OF TX CIVIL REV.DWG
		DRAWN BY: R.R.	
		CHECKED BY: D.R.	



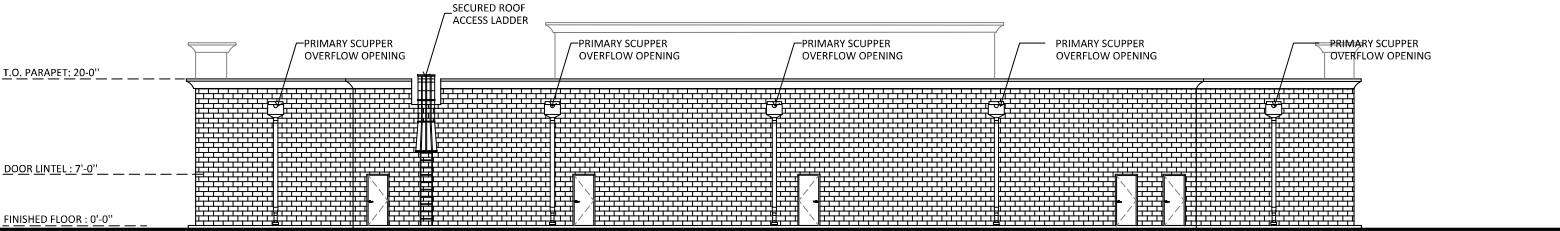
FACADE	Total Area	Opening Area	Total Opening	% Primary Masonry Brick/Stone	%Secondary Masonry Brick/Stone
NORTH	3,560 Sft	105 Sft	5	100% Brick	None
SOUTH	3,490 Sft	1,080 Sft	6	64% Brick	4% Stone
EAST	1,800 Sft	None	None	83% Brick	17% Stone
WEST	1,800 Sft	None	None	83% Brick	17% Stone

SOUTH ELEVATION MATERIAL CALCULATIONS	
BRICKS	2,236 Sq.Ft.
STONE	150 Sq.Ft.
NORTH ELEVATION MATERIAL CALCULATIONS	
BRICKS	3,754 Sq.Ft.



① EXTERIOR ELEVATION : SOUTH

SCALE : 1/8" = 1'-0"



② EXTERIOR ELEVATION : NORTH

SCALE : 1/8" = 1'-0"

CONTRACTOR:

**DMM**  
DEVELOPERS

EVERY LAST DETAIL  
1520 Blue Mesa Rd. Carrollton, Texas 75007  
devdanielm@gmail.com  
Contact: 972-824-1939

PROJECT / ADDRESS:

A NEW BUILDING FOR  
**VIETLAND STAR INVESTMENTS, INC.**  
912 W. POLO ROAD,  
GRAND PRAIRIE,  
TEXAS, 75052.

CASE NUMBER :  
**STP-27-07-0031**

STATE OF TEXAS  
BENEDICT N. ILIANYA  
143717  
LICENSED PROFESSIONAL ENGINEER  
Benedict N. Ilianya  
10.9.2024

REVISION NO.	DATE	DESCRIPTION

EXTERIOR ELEVATIONS

SHEET NO. **EL-1**

DATE: 11/29/2023  
SCALE: 1/8" = 1'-0"  
DRAWN BY: R.R.  
CHECKED BY: D.R.

FILE NAME: 912 W POLO ROAD UP FLOWING









## CITY OF GRAND PRAIRIE COMMUNICATION

**MEETING DATE:** 11/11/2024

**REQUESTER:** Monica Espinoza, Administrative Supervisor

**PRESENTER:** Brittany Musser, Planner

**TITLE** SUP-24-09-0043 - Specific Use Permit - Flint Academy (City Council District 2). Specific Use Permit for a Child Day Care Center. Lot 1R, Block 1, Oaks Baptist Church Addition, City of Grand Prairie, Dallas County, Texas, zoned Planned Development No. 23 (PD-23), within the IH-20 Corridor Overlay District, and addressed as 801 E IH 20

**APPLICANT:** Glenda Daniels

**RECOMMENDED ACTION:** Approve with conditions

### SUMMARY:

Specific Use Permit for a Child Day Care Center. Lot 1R, Block 1, Oaks Baptist Church Addition, City of Grand Prairie, Dallas County, Texas, zoned Planned Development No. 23 (PD-23), within the IH-20 Corridor Overlay District, and addressed as 801 E IH 20.

### PURPOSE OF REQUEST:

The applicant intends to operate a Child Day Care within an existing Church building. A Specific Use Permit approval by City Council is required for a Child Day Care facility enrolling four or more children under age five and where tuition, fees, and other forms of compensation for the care of children is charged. The facility shall be licensed or approved to operate as a Child Day Care center per Chapter 13, Article V of the City of Grand Prairie's Code of Ordinances.

The purpose of the Specific Use Permit (SUP) process is to identify and evaluate those uses which might be appropriate within the zoning district and surrounding land uses. When assessing the SUP request, City Council can impose any necessary conditions and restrictions to mitigate impacts upon the surrounding area. The conditions imposed can range from hours of operations, limits on future expansions, and a maximum number of pupils during certain hours.

### ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.



**Table 1. Zoning and Land Use**

Direction	Zoning	Existing Use
North	PD-19	IH-20, Apartments
South	PD-23	Undeveloped Lot
West	PD-23	Undeveloped Lot
East	PD-23	Undeveloped Lot

**PROPOSED USE CHARACTERISTICS AND FUNCTION:**

The applicant intends to operate a Child Day Care center within an existing Church building. The existing site generally conforms to the Unified Development Code (UDC). The site has access from E IH 20.

Article 13, Chapter V, of the City of Grand Prairie Code of Ordinances regulates Child Day Care facilities consistent with the local and state minimum standards. The Public Health and Environmental Quality Department verifies state requirements, minimum outdoor play space, and compliance with food and beverage services associated with the operation of a Child Day Care facility.

The operational plan outlines the facility as a PK3-12<sup>th</sup> grade academy that includes a nursery for staff use only. They currently have 126 students enrolled and 29 staff members which includes teachers, administration, support staff and a certified daycare worker. Their hours of operations are from Monday through Thursday 8:30 AM to 4:30 PM. Lunch is not provided for students.

The academy has one staff member on security detail. The building is locked at all times. Visitors must sign in and out, and any unknown persons must provide identification. All visitors are required to wear a visitor badge while on campus. Background checks and teacher certifications are not required for staff; however, they do check references.

Following UDC, Article 10, Parking Standards, the minimum parking requirements for child daycare is calculated as one space per 10 pupils plus one space per employee. The site provides 349 spaces for the child day care and church facility. They meet the parking requirements as shown in the following table.

**Table 2. Required Parking**

Use	Standard	Required	Provided
Child Day Care	1 Space/10 pupils, plus 1 per Employee	232.5 (with School & Church use)	349

**VARIANCES:**

The applicant is not requesting any variances.

**PUBLIC NOTICE:**

Notice of this item was published in the Fort Worth Star Telegram and letters were provided to 12 surrounding properties meeting the distance requirements in the Unified Development Code. As of the writing of this staff memo, the following letters have been received:

In Support: None



In Opposition: None




**RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval of the request on with the following conditions:

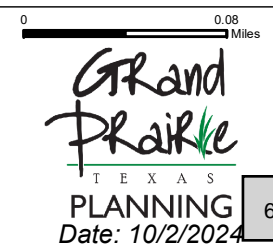
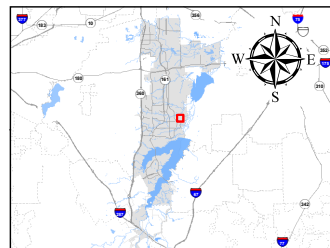
1. The applicant shall provide a playground that is at least 25% of the licensed childcare capacity area. The licensed capacity area shall have an exit from the building directly onto the playground area.
2. The applicant shall provide a minimum 6 ft. fence around the playground area.
3. The applicant shall provide hard plumbed hand sinks in all infant rooms for diaper changing.
4. The applicant shall maintain compliance with City-adopted fire codes.
5. The applicant shall maintain compliance with state minimum standards for licensed childcare centers.
6. The applicant shall maintain compliance with the licensed childcare centers requirements found in Chapter 13, Article V of the City's Code of Ordinances.
7. The applicant shall maintain compliance with state regulations and City ordinances for food service operations.





-  Location
-  Street Center Line
-  Parcels

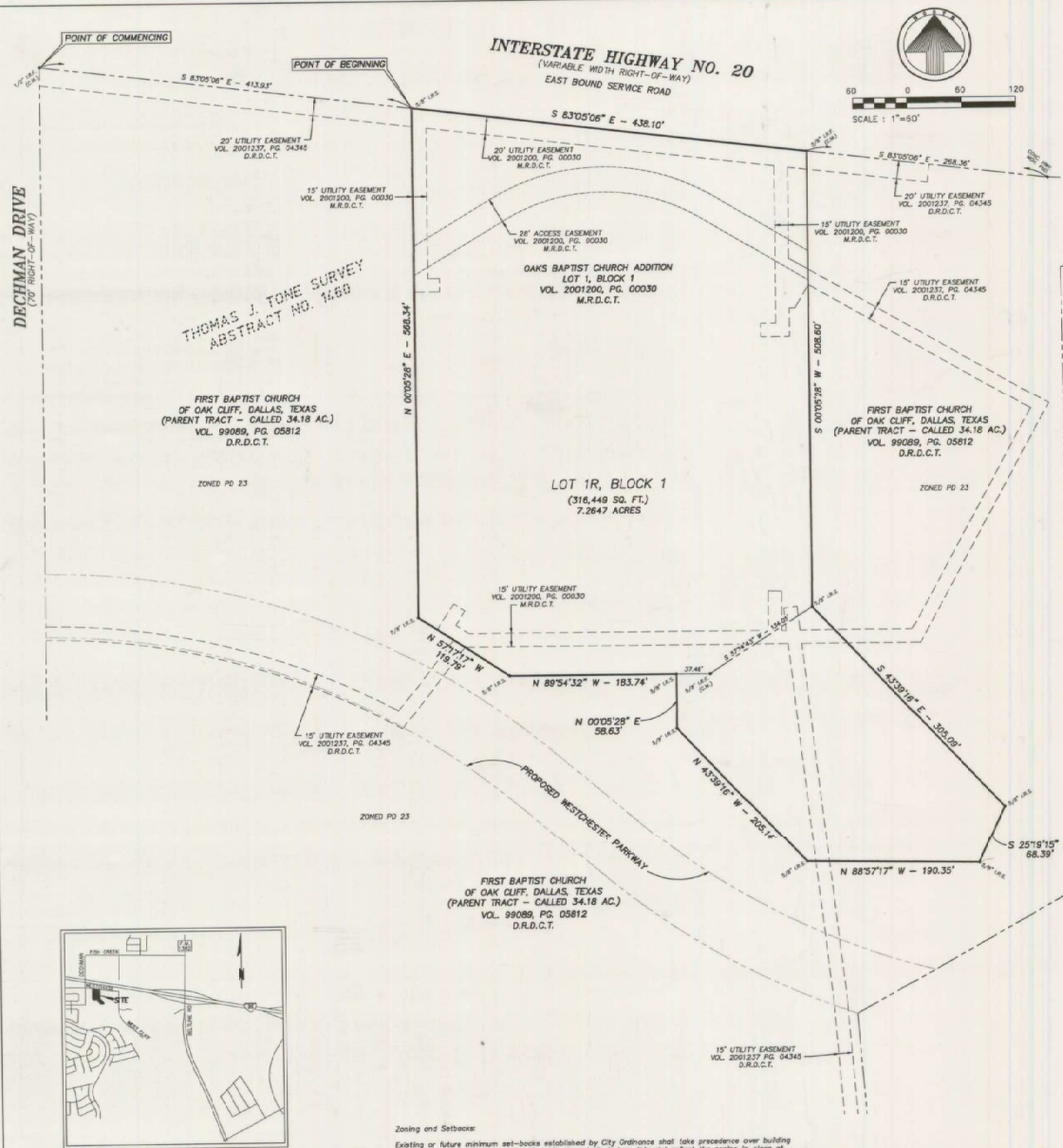
The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to public based on the Public Information Act. The City of Grand Prairie makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.





# Exhibit A - Boundary Description Page 2 of 2

Item6.



STATE OF TEXAS  
COUNTY OF DALLAS

OWNER'S CERTIFICATE

WE, the undersigned, being the owner of the above described property, do hereby certify that the plat designated the herein above described property as a REPLAT OF LOT 1, BLOCK 1, OAKS BAPTIST CHURCH ADDITION on addition to the City of Grand Prairie, Texas and does hereby dedicate to the City of Grand Prairie the herein above described property for the purposes as indicated. The utility, access and the type of easements shall be open to the public and private utilities for each particular use. The maintenance of easements shall be the responsibility of the property owner. No improvements shall be made on the property which may obstruct the flow of water or interfere with the purpose of the easements. Any public utility and the easements shall be the responsibility of the property owner. Any public utility shall have the right of ingress and egress to and from the property for the purpose of maintaining and service required or authorized by law.

WITNESS MY HAND AT DALLAS, TEXAS, THIS 11th DAY OF May, 2004.

Philip D. Chidress, Administrator  
The Oaks Baptist Church

STATE OF TEXAS  
COUNTY OF DALLAS

Before me, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared Philip D. Chidress known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 11th DAY OF May, 2004.

Notary Public in and for Dallas County, Texas

STATE OF TEXAS  
COUNTY OF DALLAS

KNOW ALL MEN BY THESE PRESENTS:

THAT I, Mark C. Williams, do hereby certify that I prepared this plat from an actual survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the City of Grand Prairie, Dallas County, Texas.

Mark C. Williams  
Registered Professional Land Surveyor  
Texas Registration No. 5461

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE me, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared Mark C. Williams, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 11th DAY OF May, 2004.

Notary Public in and for Dallas County, Texas

**NOTES:**

- 1) C.M. = CONTROL MONUMENT  
I.F. = IRON ROD FOUND  
I.F.S. = IRON ROD SET  
D.R.D.C.T. = DEED RECORDS DALLAS COUNTY, TEXAS  
M.R.D.C.T. = MAP RECORDS DALLAS COUNTY, TEXAS
- 2) ALL MONUMENTS SET ON THE SUBJECT PROPERTY ARE A 5/8 INCH IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "THE WALLACE GROUP".
- 3) BEARINGS ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM OF 1983 NORTH CENTRAL ZONE AS MONUMENTED BY CITY OF GRAND PRAIRIE MONUMENTS GPS 19 AND GPS 41. ROTATE BEARINGS ON THIS PLAT COUNTER CLOCKWISE TO GET TO OBTAIN A SYSTEM REFERENCED TO THE NORTH LINE OF LOT 1, BLOCK 1 OF OAKS BAPTIST CHURCH ADDITION AS RECORDED IN VOLUME 2001200, PG. 00030 - M.R.D.C.T.
- 4) THE SURVEYOR DID NOT ABSTRACT THE SUBJECT TRACT.
- 5) THE SURVEYOR DOES NOT GUARANTEE THAT ALL EASEMENTS, RIGHTS, OR OTHER ENCUMBRANCES WHICH MAY AFFECT THE SUBJECT TRACT ARE SHOWN HEREON.

**FINAL PLAT**  
BEING A REPLAT OF  
LOT 1, BLOCK 1,  
**OAKS BAPTIST CHURCH ADDITION**  
BEING 7.2647 ACRES OUT OF THE  
THOMAS J. TONE SURVEY, ABSTRACT NO. 1460  
CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS

OWNER: THE OAKS BAPTIST CHURCH  
801 E. INTERSTATE HWY. NO. 20  
GRAND PRAIRIE, TEXAS 75052  
(972) 296-0015

SURVEYOR: **W** The Wallace Group, Inc.  
Engineers • Architects • Planners • Surveyors  
Waco • Killeen • Austin • Dallas • Round Rock  
CITY CASE # RP040406

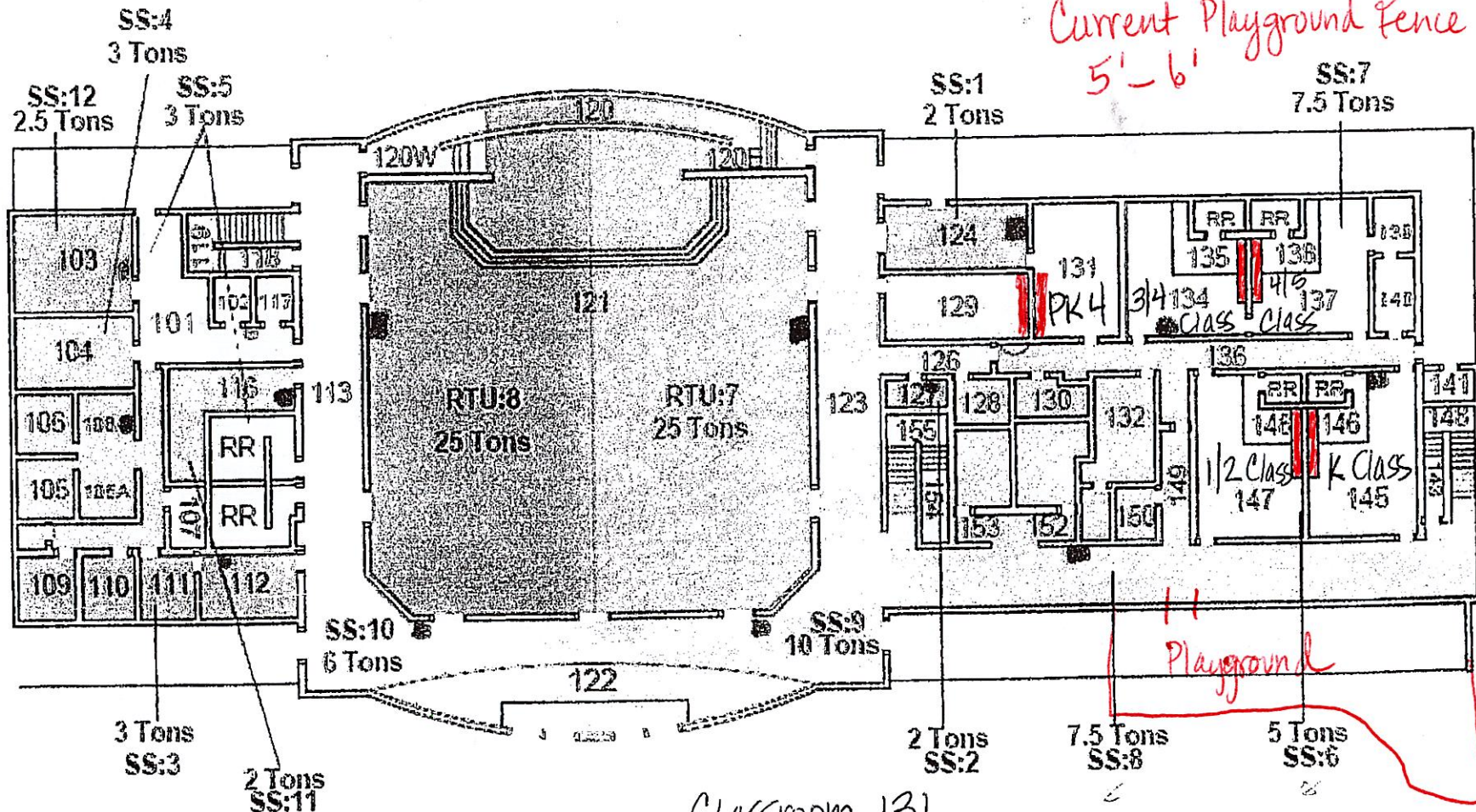
RECORDED IN VOL. 8064 104, PG. 00333 - M.R.D.C.T. DATE: MAY, 2004 SCALE: 1"=60' JOB NO. 15704-14



# The Oaks BC Zoning Maps

(First Floor)

Sinks —   
Only Room w/ Diaper Changing  
is Room 129  
Current Playground Fence is between  
5' - 6'

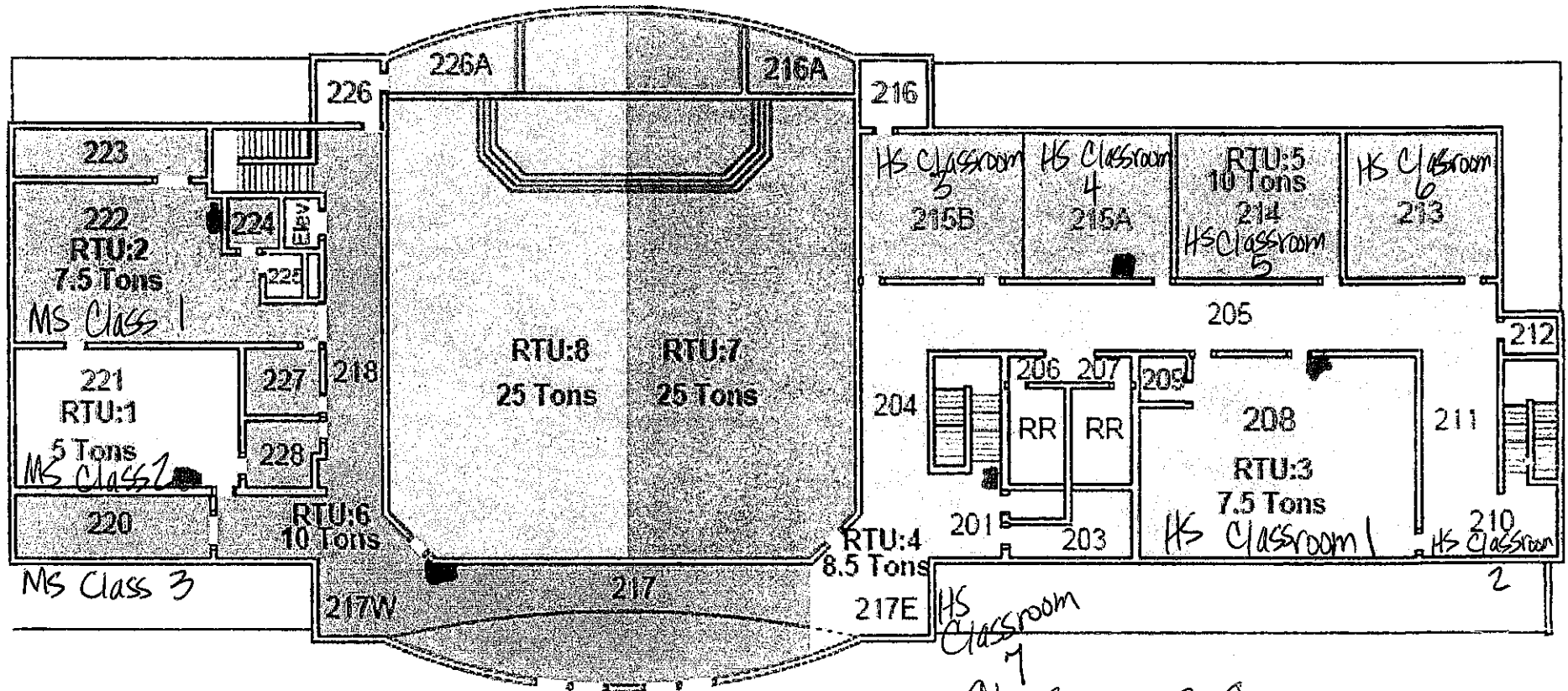


Classroom 131  
Classroom 134  
Classroom 137  
Classroom 145  
Classroom 147

Grammar School



(Second Floor)



Classroom 222  
Classroom 221  
Classroom 220  
6<sup>th</sup>/7<sup>th</sup>/8<sup>th</sup>

Classroom 208  
Classroom 210  
Class room 213  
Classroom 214  
Class room 215A  
Class room 215B  
Classroom 217E

9<sup>th</sup> - 12<sup>th</sup>  
grade





# *The Flint Academy*

September 23, 2024

City of Grand Prairie  
Specific Use Permit  
Project Narrative

Flint Academy has been in operation since 2006. We were previously located in Dalworthington Gardens. We are operating as a 501(c)3 non-profit corporation. We are a PK3-12<sup>th</sup> grade academy. We currently have 126 students and a staff of 29. We will be using the existing classrooms at The Oaks Baptist Church without any additions or modifications.

Our classes are limited to 12 students with a teacher and a teaching assistant from PK3-5<sup>th</sup> Grade; 13 students and a teacher in 6<sup>th</sup>-8<sup>th</sup> Grade; and 15 students and a teacher in 9<sup>th</sup>-12<sup>th</sup> grade. We have a nursery of 4 that is provided to our staff only. They do not pay for their infants to be in the nursery, it is a perk that allows them to be with their children while they are working at Flint Academy.

We operate Monday-Thursday from 8:30-4:30, school hours are 9:30-3:30. We start school the day after Labor Day each year and end school the Thursday before Memorial Day each year. We do not serve lunch to students; they all bring their lunch from home.

We currently have 25 paid staff members and 29 total staff members: administration, teachers and support staff. We do not require state certification from our teachers, most of our staff have been with us for 5 years or longer. We do not do background checks; however, we check references. We do have a certified daycare worker on staff.

Currently, we have a staff member that is on our security detail, John Flint. He is licensed to carry in the State of Texas. We also keep all doors locked during school hours and utilize one set of doors (at the portico) for entering and exiting the building. We have an administrative staff member seated at the door to monitor those who enter and exit the building. Everyone must sign in and out, show IDs if we do not know them, and wear a visitor badge while in the building.

The following is our mission statement:

**WE WELCOME AND EDUCATE ALL CHILDREN, IN AN INCLUSIVE-MODEL SCHOOL. WE PROVIDE A CLASSICAL CHARLOTTE MASON EDUCATION, WITHIN A CHRISTIAN ENVIRONMENT, AND UTILIZE RESEARCH-BASED, SPECIALIZED EDUCATION TECHNIQUES FOR CHILDREN WHO ARE ADVANCED STUDENTS, TYPICALLY DEVELOPING STUDENTS, AND STUDENTS WITH LEARNING DIFFERENCES**

2111 Roosevelt Dr. • Arlington, Tx 76013 • [www.FlintAcademy.com](http://www.FlintAcademy.com)  
(817) 277-0620 • [PaulaFlint@sbcglobal.net](mailto:PaulaFlint@sbcglobal.net)



We are very different from any other school out there. Some of our differences include:

4-day school week - Monday through Thursday

Later start time - 9:30-3:30

Small Class Sizes - 12 per class - Grammar School has a Teacher and Teacher's Assistance in all classrooms

Mastery vs. Grades in Grammar School

No homework in the Grammar School

Reading is taught with phonics-based curriculum

Latin as foreign language taught from 3<sup>rd</sup> grade through 12<sup>th</sup> grade - it is the foundation of all language

Strong focus in Fine Arts including Music, Drama, and Visual Arts

Classical literature and writing

Christian studies in all classes from PK3-12<sup>th</sup> grade

Christian curriculum for all core classes

Barton Dyslexia Remediation program is given 1 on 1 to students with dyslexia

Individualized education for all students so that we meet each student's learning style and level

Dual Credit program with McMurray University

College Prep and Honors classes

All students make the team and participate on all sports teams. We currently have flag football, cross country, volleyball, basketball, and track.

If you need any additional information about our operations, please advise.





## CITY OF GRAND PRAIRIE COMMUNICATION

**MEETING DATE:** 11/11/2024

**REQUESTER:** Monica Espinoza, Administrative Supervisor

**PRESENTER:** Salvador Gonzalez Jr., Planner

**TITLE:** ZON-24-08-0022 - Zoning Change – 1419 E Marshall (City Council District 3). Zoning Change from Commercial (C) to Single Family-Five (SF-5) on 0.328 acres. Lot 1, Block C, Carbaugh Addition, City of Grand Prairie, Dallas County, Texas, zoned Commercial (C) District, and addressed as 1419 E Marshall Dr

**APPLICANT:** Maria Gonzalez

**RECOMMENDED ACTION:** Approve

### SUMMARY:

Zoning Change from Commercial (C) to Single Family-Five (SF-5) on 0.328 acres. Lot 1, Block C, Carbaugh Addition, City of Grand Prairie, Dallas County, Texas, zoned Commercial (C) District, and addressed as 1419 E Marshall Dr.

### PURPOSE OF REQUEST:

The purpose of the request is to rezone the property to align with current land use of the property with an existing single family home.

### ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1. Zoning and Land Use**

Direction	Zoning	Existing Use
North	Multi-Family One	Apartments
South	Single Family-Five	Single Family Residence
West	General Retail	Commercial
East	Single Family-Five	Single Family Residence



## HISTORY:

- September 1985: The City's 1985 zoning map shows the subject property zoned Commercial.

## CONFORMANCE WITH THE COMPREHENSIVE PLAN:

### *Future Land Use Map*

The Future Land Use Map (FLUM) is designed to facilitate the efficient, sustainable, and fiscally sound development and redevelopment of Grand Prairie. The purpose of the FLUM is to serve as an outlook for the future use of land and the character of development in the community. The FLUM, along with other community objectives, is used to guide land use decisions.

The 2018 Comprehensive Plan's Future Land Use Map (FLUM) designates this location as Low Density Residential. The proposed zoning is consistent with the FLUM.

## ZONING REQUIREMENTS:

The table below summarizes the requirements for SF-5. If zoning is approved, the applicant must comply with the following standards.

**Table 2. Summary of Lot Requirements**

Standard	SF-5
Unit Density	8.7 units per acre
Min. Living Area (Sq. Ft.)	1,600
Min. Lot Area (Sq. Ft.)	6,500
Min. Lot Width (Ft.)	60
Min. Lot Depth (Ft.)	100
Front Setback (Ft.)	25
Internal Side Yard (Ft.)	5
Rear Setback (Ft.)	10
Max. Height (Ft.)	25
Lot Coverage (%)	50

## ANALYSIS:

The existing lot is on a block that is mostly residential. There is an existing single family residential structure on the property, and it is unlikely this area will ever develop as commercial. The request is consistent with the adjacent land use and the FLUM.

## PUBLIC NOTICE:

Notice of this item was published in the Fort Worth Star Telegram and letters were provided to 30 surrounding properties meeting the distance requirements in the Unified Development Code. As of the writing of this staff memo, the following letters have been received:

In Support: None

In Opposition: None



**RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval.



# Exhibit A- Location Map

## Page 1 of 1

CASE LOCATION MAP  
ZON-24-08-0022  
1419 E MARSHALL DR

Item 7.

City of Grand Prairie  
Planning and Development

(972) 237-8255

www.gptx.org



Location

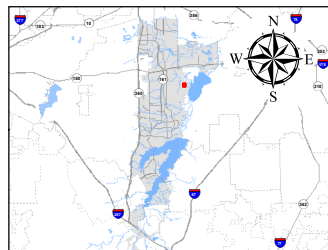


Street Center Line



Parcels

The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to the public based on the Public Information Act. The City of Grand Prairie makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.



0 0.03 Miles

Grand  
Prairie  
TEXAS

PLANNING  
Date: 9/11/2024

77



# Exhibit B - Final Plat

## Page 1 of 1

Item 7.

### NOTE:

EXISTING OR FUTURE MINIMUM SET-BACKS ESTABLISHED BY CITY ORDINANCE SHALL TAKE PRECEDENCE OVER BUILDING LINES INDICATED ON THIS PLAT. ZONING CLASSIFICATION INDICATED ON THIS PLAT REFLECT ZONING IN PLACE AT THE TIME THIS PLAT WAS APPROVED AND DO NOT REPRESENT A VESTED RIGHT TO THE ZONING INDICATED.

MAINTENANCE OF ALL GRASS AND LANDSCAPING IN ADJACENT ROW IS THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNER, INCLUDING ROW OF OLD CORN VALLEY.

NOTE: CM ~ DENOTES CONTROLLING MONUMENTS

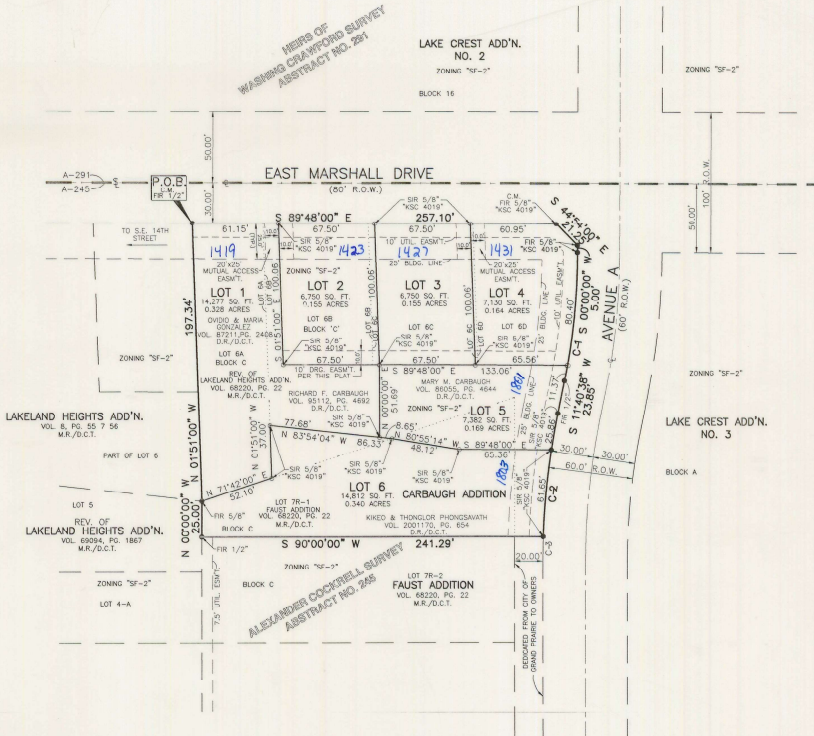
THE BASIS OF BEARING IS THE NORTH LINE OF BLOCK H, ROYAL VALLEY ESTATES 3RD INSTALLMENT V. 74004, P. 1655 D.R./D.C.T.

○ ~ DENOTES ALL 5/8" IRON RODS SET WITH YELLOW CAP MARKED "KSC4019"

● ~ DENOTES ALL 5/8" IRON RODS FOUND.



GRAPHIC SCALE  
0 20 40 80  
SCALE = 1"=40'



LAKELAND HEIGHTS ADD'N.  
VOL. 8, PG. 55 7 56  
M.R./D.C.T.

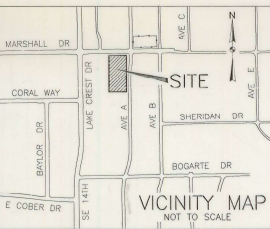
LAKELAND HEIGHTS ADD'N.  
VOL. 19054, PG. 1867  
M.R./D.C.T.

LAKE CREST ADD'N.  
NO. 2  
ZONING "SF-2"

LAKE CREST ADD'N.  
NO. 3  
ZONING "SF-2"

LAKE CREST ADD'N.  
NO. 4  
ZONING "SF-2"

CURVE	LENGTH	RADIUS	DELTA	CHD. BRG.	CHD.
C-1	81.77	430.27	114°42'38"	S02°50'19"W	81.61
C-2	87.81	810.27	114°42'38"	S02°50'19"W	87.42
C-3	16.48	510.27	114°42'38"	S02°50'19"W	16.48



**OWNER:**  
Richard F. Carbaugh  
1402 Lady Amber Lane  
Granbury, TX 76049  
Ph# (214) 356-0490  
V. 95112, P. 4692

**OWNER:**  
Ovidio & Maria I. Gonzalez  
1419 Marshall Drive  
Grand Prairie, TX 75050  
Ph# (972) 264-5799  
V. 87211, P. 2408

**OWNER:**  
Thonglor & Kileo Phongsavath  
1801 Avenue A  
Grand Prairie, TX 75051-4502  
Ph# (972) 764-8355  
V. 2001170, P. 654

**OWNER:**  
Mary M. Carbaugh  
1425 E. Marshall Drive  
Grand Prairie, TX 75051-4558  
Ph# (972) 262-8088  
V. 86055, P. 4644

**PREPARED BY:**  
KEETON SURVEYING COMPANY  
H.S. KEETON  
REGISTERED PROFESSIONAL SURVEYOR  
2037 DALWORTH STREET  
GRAND PRAIRIE, TEXAS 75051  
PHONE: (972) 641-5853 METRO: (972) 647-0154

DATE: 8-4-04

THIS PLAT IS HEREBY APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF GRAND PRAIRIE, TEXAS, AND THE DEDICATION FILED IN CONNECTION WITH THIS PLAT IS HEREBY APPROVED AND ALL STREETS, ALLEYS AND PUBLIC RIGHTS SHOWN HEREON ARE HEREBY ACCEPTED BY BOARD OF THE PUBLIC.

*[Signature]*  
CITY CLERK

### DEDICATION:

STATE OF TEXAS:

COUNTY OF DALLAS:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Thonglor Phongsavath, Kileo Phongsavath, Ovidio Gonzalez, Maria I. Gonzalez, Mary M. Carbaugh and Richard F. Carbaugh do hereby adopt this plat designating the hereon above described property as Carbaugh Addition, an addition to the City of Grand Prairie, Texas, and does hereby dedicate to the City of Grand Prairie, in fee simple forever the streets, alleys and all storm water management areas shown thereon. The easements shown hereon are hereby dedicated and reserved for the purposes as indicated. The utility, access and fire line easements shall be open to the public and private utilities for the purpose of constructing, reconstructing, repairing, maintaining, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity of any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity of any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity of any time of procuring the permission of anyone. This Plat approved subject to all Platting Ordinances, Rules, Regulations, and Resolutions of the City of Grand Prairie, Texas.

Witness My Hand Dallas County this 26th day of May, 2004

*[Signatures]*  
Thonglor Phongsavath Kileo Phongsavath  
Ovidio Gonzalez Maria I. Gonzalez  
Mary M. Carbaugh Richard F. Carbaugh

### ACKNOWLEDGMENTS:

STATE OF TEXAS:

COUNTY OF DALLAS:

Before me, the undersigned authority, a Notary Public, on this day personally appeared Thonglor Phongsavath, known to me to be the person whose name is subscribed to the foregoing instrument and in the capacity therein stated and acknowledged to me that he executed same for the purpose and consideration therein expressed.

Given under my Hand and Seal of Office on the 26th day of May, 2004.

*[Signature]*  
Notary Public  
My Commission Expires 11-18-07

STATE OF TEXAS:

COUNTY OF DALLAS:

Before me, the undersigned authority, a Notary Public, on this day personally appeared Kileo Phongsavath, known to me to be the person whose name is subscribed to the foregoing instrument and in the capacity therein stated and acknowledged to me that he executed same for the purpose and consideration therein expressed.

Given under my Hand and Seal of Office on the 26th day of May, 2004.

*[Signature]*  
Notary Public  
My Commission Expires 11-18-07

STATE OF TEXAS:

COUNTY OF DALLAS:

Before me, the undersigned authority, a Notary Public, on this day personally appeared Ovidio Gonzalez, known to me to be the person whose name is subscribed to the foregoing instrument and in the capacity therein stated and acknowledged to me that he executed same for the purpose and consideration therein expressed.

Given under my Hand and Seal of Office on the 26th day of May, 2004.

*[Signature]*  
Notary Public  
My Commission Expires 11-18-07

STATE OF TEXAS:

COUNTY OF DALLAS:

Before me, the undersigned authority, a Notary Public, on this day personally appeared Maria I. Gonzalez, known to me to be the person whose name is subscribed to the foregoing instrument and in the capacity therein stated and acknowledged to me that he executed same for the purpose and consideration therein expressed.

Given under my Hand and Seal of Office on the 26th day of May, 2004.

*[Signature]*  
Notary Public  
My Commission Expires 11-18-07

STATE OF TEXAS:

COUNTY OF DALLAS:

Before me, the undersigned authority, a Notary Public, on this day personally appeared Richard F. Carbaugh, known to me to be the person whose name is subscribed to the foregoing instrument and in the capacity therein stated and acknowledged to me that he executed same for the purpose and consideration therein expressed.

Given under my Hand and Seal of Office on the 26th day of May, 2004.

*[Signature]*  
Notary Public  
My Commission Expires 11-18-07

STATE OF TEXAS:

COUNTY OF DALLAS:

Before me, the undersigned authority, a Notary Public, on this day personally appeared Mary M. Carbaugh, known to me to be the person whose name is subscribed to the foregoing instrument and in the capacity therein stated and acknowledged to me that he executed same for the purpose and consideration therein expressed.

Given under my Hand and Seal of Office on the 26th day of May, 2004.

*[Signature]*  
Notary Public  
My Commission Expires 11-18-07

### OWNERS CERTIFICATE:

STATE OF TEXAS

COUNTY OF DALLAS

Whereas, Ovidio & Maria I. Gonzalez, Thonglor & Kileo Phongsavath, Mary M. Carbaugh, and Richard F. Carbaugh are the sole owners of a tract of land located in the Alexander Cooper Survey, Abstract No. 245, in the City of Grand Prairie, Dallas County, Texas, according to the Deed Recorded in Volume 87211, Page 2408, Volume 2001170, Page 654, Volume 86055, Page 4644, Volume 86055, Page 4644, and Volume 95112, Page 4692, of the Deed Records of Dallas County, Texas, respectively, and being more particularly described as follows:

**BEGINNING** at a 1/2 inch iron rod found for corner a the northwest corner of Lot 6-A, Block C, Lakeland Heights Addition, and addition to the City of Grand Prairie according to the Revised Plat thereof recorded in Volume 68220 Page 22, of the Map Records of Dallas County, Texas and being in the south line of East Marshall Drive (80' right-of-way).

**THENCE** S. 89°48'00" E., with the south line of said East Marshall Drive for a distance of 257.10 feet to a 5/8 inch iron rod found with cap marked "KSC 4019" for corner at the north end of 15 foot corner clip with the west line of Avenue "A" (80 foot right-of-way).

**THENCE** S. 44°54'00" W., with said corner clip for a distance of 21.25 feet to a 5/8 inch iron rod found with cap marked "KSC 4019" in the west line of said Avenue A.

**THENCE** S. 00°00'00" W., with the west line of said Avenue A for a distance of 5.02 feet to a 5/8 inch iron rod found with cap marked "KSC 4019" at the beginning of a tangent curve to the right whose radius bears N. 90°00'00" W., 450.27 feet;

**THENCE** in a southeasterly direction with the west line of said Avenue A and with said curve to the right having a radius of 510.27 feet and through a central angle of 114°03'38", for an arc length of 91.77 feet whose chord bears S. 05°50'19" W., 91.61 feet to a 1/2 inch iron rod found at the end of said curve;

**THENCE** S. 11°40'38" W., with the west line of said Avenue A for a distance of 23.85 feet to a 5/8 inch iron rod set with cap marked "KSC 4019" at the beginning of a tangent curve to the left whose radius bears S. 70°15'22" E., 510.27 feet;

**THENCE** in a southeasterly direction with the west line of said Avenue A, and with said curve to the left having a radius of 510.27 feet and through a central angle of 09°49'35", for an arc length of 87.51 feet, whose chord bears S. 06°45'51" W., 87.40 feet to a 5/8 inch iron rod set with cap marked "KSC 4019" for corner;

**THENCE** N. 90°00'00" W., departing the west line of said Avenue "A", at 20.27 feet passing a 1/2 inch iron rod found at the southeast corner of Lot 7-R-1, Block C, Faust Addition, an addition to the City of Grand Prairie, according to the Plat thereof recorded in Volume 200113 Page 55, of the Map Records of Dallas County, Texas, and continuing N. 90°00'00" W., with the common line between said Lot 7-R-1 and Lot 7-R-2, for a total distance of 241.29 feet to a 1/2 inch iron rod found at the southwest corner of said Lot 7-R-1;

**THENCE** N. 00°00'00" E., with the west line of said Lot 7-R-1, for a distance of 25.00 feet to a 5/8 inch iron rod found for the northeast corner of said Lot 7-R-1, and being the southwest corner of Lot 6A;

**THENCE** N. 01°51'00" W., with the west line of said Lot 6A, for a distance of 197.34 feet to the POINT OF BEGINNING and containing 57,102 square feet or 1.311 acres of land more or less.

### SURVEYORS CERTIFICATE:

It is to be certified that I, M. S. (Steve) Keeton, a Registered Professional Land Surveyor, of the State of Texas, have plotted the above subdivision from an actual survey, on the ground; and that all lot corners, angle points and points of curve have been properly marked on the ground, and that this plat correctly represents the same as shown under my supervision.

*[Signature]*  
M. S. (Steve) Keeton  
Registered Professional Land Surveyor No. 4019

**ACKNOWLEDGMENTS:**  
STATE OF TEXAS:

COUNTY OF DALLAS:

Before me, the undersigned authority, a Notary Public, on this day personally appeared M.S. (Steve) Keeton, known to me to be the person whose name is subscribed to the foregoing instrument and in the capacity therein stated and acknowledged to me that he executed same for the purpose and consideration therein expressed.

Given under my Hand and Seal of Office on the 26th day of May, 2004.

*[Signature]*  
Notary Public  
My Commission Expires 7/14/07

**REPLAT**  
LOTS 1, 2, 3, 4, 5, & 6  
BLOCK C  
CARBAUGH ADDITION

AN ADDITION TO  
THE CITY OF GRAND PRAIRIE,  
DALLAS COUNTY, TEXAS

BEING A REPLAT OF LOT 6A BLOCK C,  
LAKELAND HEIGHTS ADDITION  
LOT 7-R-1 BLOCK 6,  
FAUST ADDITION

LOTS 6B, 6C, & 6D BLOCK C  
LAKELAND HEIGHTS REVID  
ADDITIONS TO THE CITY OF GRAND PRAIRIE  
DALLAS COUNTY, TEXAS

MARCH 4, 2004  
REVISED: MARCH 31, 2004  
REVISED: APRIL 1, 2004  
REVISED: MAY 10, 2004  
REVISED: MAY 25, 2004

CASE NO. B040401  
RECORDED IN VOLUME 280419 PAGE 00093 M.R./D.C.T.





## CITY OF GRAND PRAIRIE COMMUNICATAION

**MEETING DATE:** 11/11/2024

**REQUESTER:** Monica Espinoza, Administrative Supervisor

**PRESENTER:** Abdul R. Ghous, AICP, Senior Planner

**TITLE:** ZON-24-09-0026 - Zoning Change/Concept Plan - Lakesong Development (City Council District 6). Zone Change from Agriculture & Planned Developed-451 to Planned Development (PD) for mixed-use, urban residential, medium residential, estate residential, and open space uses on approximately 1,200 acres. The property is located generally south of Seeton Road, East of FM 661, North of 287, and North of Kimble Road, Ellis County, Texas (Parcel IDs 294666, 294715, 297164, 303397)

**APPLICANT:** Mike Peterson, Graham Associates

**RECOMMENDED ACTION:** Approve

### SUMMARY:

Zone Change from Agriculture & Planned Developed-451 to Planned Development (PD) for mixed-use, urban residential, medium residential, estate residential, and open space uses on approximately 1,200 acres. The property is located generally south of Seeton Road, East of FM 661, North of 287, and North of Kimble Road, Ellis County, Texas (Parcel IDs 294666, 294715, 297164, 303397).

### PURPOSE OF REQUEST:

The applicant wishes to rezone the subject parcels from Agricultural (A) and Planned Development-451 to allow mixed-use, urban residential, medium residential, estate residential, and open space uses.

### ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1. Adjacent Zoning and Land Use**

Direction	Zoning	Existing Use
North	Not Zoned (ETJ)	Residential & Undeveloped
South	Agriculture, PD-455 City of Midlothian	Residential & Undeveloped Existing Residence



West	Not Zoned (ETJ)	Undeveloped
East	Not Zoned (ETJ)	Residential & Undeveloped

## HISTORY:

- August 1, 2023: City Council approved an ordinance amending TIRZ #3 to Extend the Term and Expand the Boundaries to Create and Include Area Development Zones #9, #10, and #11.
- September 19, 2023: City Council approved Resolution Authorizing the Execution of a Development Agreement with HC GPM, LLC, HC Harmony Hill, LLC, and Riverside DPH, L.P for the Lakesong Planned Development.
- September 19, 2023: City Council approved Resolution Consenting to the Creation of Lakesong Municipal Management District Number 1, an In-City Municipal Management District.
- September 19, 2023: City Council approved Resolution Giving Consent to the Annexation of Land into Lakesong Municipal Management District No. 1, an In-City Municipal Management District, with said Consent Being Effective Upon Annexation of the Land into the City of Grand Prairie.
- November 7, 2023: City Council approved a Comprehensive Plan Amendment to change the Future Land Use Map from Low Density Residential, Open Space, and Commercial/Retail/Office to Open Space, Mixed Use, High Density Residential, Medium Density Residential, and Low Density Residential on 1,201 acres (Case Number CPA-23-09-0018).
- February 6, 2024: City Council approved a zoning change from Agriculture to a Planned Development on 155 acres (Case Number ZON-23-11-0044).
- February 12, 2024: Planning and Zoning Commission approved Preliminary Plat for Lakesong Phase 1 (Case Number PLT-23-11-0068).

## PROPOSED USE CHARACTERISTICS AND FUNCTION:

The applicant wishes to rezone the subject parcels from Agricultural (A) and Planned Development (PD) to Planned Development (PD) to allow mixed-use, urban residential, medium residential, estate residential, and open spaces. Tract 1 includes Non-Residential and Mixed-Use Residential uses on 61 acres. Tract 2 includes Mixed-Use Non-Residential and Mixed-Use Residential uses on 94 acres. Tract 3 includes Estate, Low, and Medium density residential uses on 1,045 acres.

## CONFORMANCE WITH THE COMPREHENSIVE PLAN:

### *Future Land Use Map*

The Future Land Use Map (FLUM) is designed to facilitate the efficient, sustainable, and fiscally sound development and redevelopment of Grand Prairie. The purpose of the FLUM is to serve as an outlook for the future use of land and the character of development in the community. The FLUM, along with other community objectives, is used to guide land use decisions.

The Future Land Use Map (FLUM) designates this location as Medium Density Residential and Mixed Use. Medium Density Residential represents single-family residential neighborhoods at densities between six (6) and 12 dwelling units per acre and is intended to serve as a transitional use between low density areas and higher intensity uses, such as commercial, retail, and industrial. Mixed Use designation is envisioned for integrated developments of retail, public, office, and entertainment with a



residential component appropriately blended into larger scale building that would otherwise be used to support those uses independently. The proposal is consistent with the FLUM designation.

## ZONING REQUIREMENTS:

The approved Development Agreement for Lakesong shall apply to Tract 1, 2 and 3. For townhomes, the SF-Townhouse (SF-T) zoning district regulations shall apply. For single-family zero lot line, Single-Family Zero Lot line (SF-Z) zoning district regulations shall apply. For single-family detached development, the Single Family-Six (SF-6) zoning district regulations shall apply. The density and dimensional requirements begin on page 13 of Exhibit C – PD Standards.

The following table summarizes the lot count for each type of product and the acreages for each village.

**Table 2. Lot Summary**

### LAND USE TABLE

USE TYPE	PLANNING TITLE	VILLAGE MODEL	VILLAGE 1	VILLAGE 2	VILLAGE 3	MIXED USE
SINGLE FAMILY ATTACHED	TOWN HOMES	0	0	0	0	0
SINGLE FAMILY DETACHED	30 FT X 110 FT	0	0	0	0	0
SINGLE FAMILY DETACHED	40 FT X 100 FT	0	0	0	84	0
SINGLE FAMILY DETACHED	55FT X 100 FT	20	80	0	70	0
SINGLE FAMILY DETACHED	60 FT X 100 FT	4	63	69	0	0
SINGLE FAMILY DETACHED	70 FT X 125 FT	1	0	21	0	0
SINGLE FAMILY DETACHED	85 FT X 140 FT	0	0	17	0	0
COMMERCIAL		0	0	0	0	2
AMENITY CENTER		0	0	0	1	0
NON RESIDENTIAL		0	10	2	3	0
TOTAL LOTS		25	143	107	154	2
TOTAL LOTS W/IN GRAND PRAIRIE CITY LIMITS		0	22	0	0	2
TOTAL ACREAGE PER POD		4.85 AC	36.8 AC	35.1 AC	56.1 AC	127.3
TOTAL ACREAGE PER POD IN GRAND PRAIRIE CITY LIMITS		0	9.9 AC	0	0	3.27 AC
MINIMUM LOT SIZE		0.126 AC	0.126 AC	0.172 AC	0.106 AC	N/A
DENSITY		5.15 UNITS/AC.	3.89 NUNITS/AC.	3.05 UNITS/AC.	2.74 UNITS/AC.	N/A

\*Per Exhibit F, Section 2, Paragraph d. of the Development Agreement with HC GPM, LLC, HC Harmony Hill, LLC, and Riverside DPH, LP for the Lakesong Planned Development executed September 19, 2023

## PUBLIC NOTICE:

Notice of this item was published in the Fort Worth Star Telegram and letters were provided to 23 surrounding properties meeting the distance requirements in the Unified Development Code. As of the writing of this staff memo, the following letters have been received:



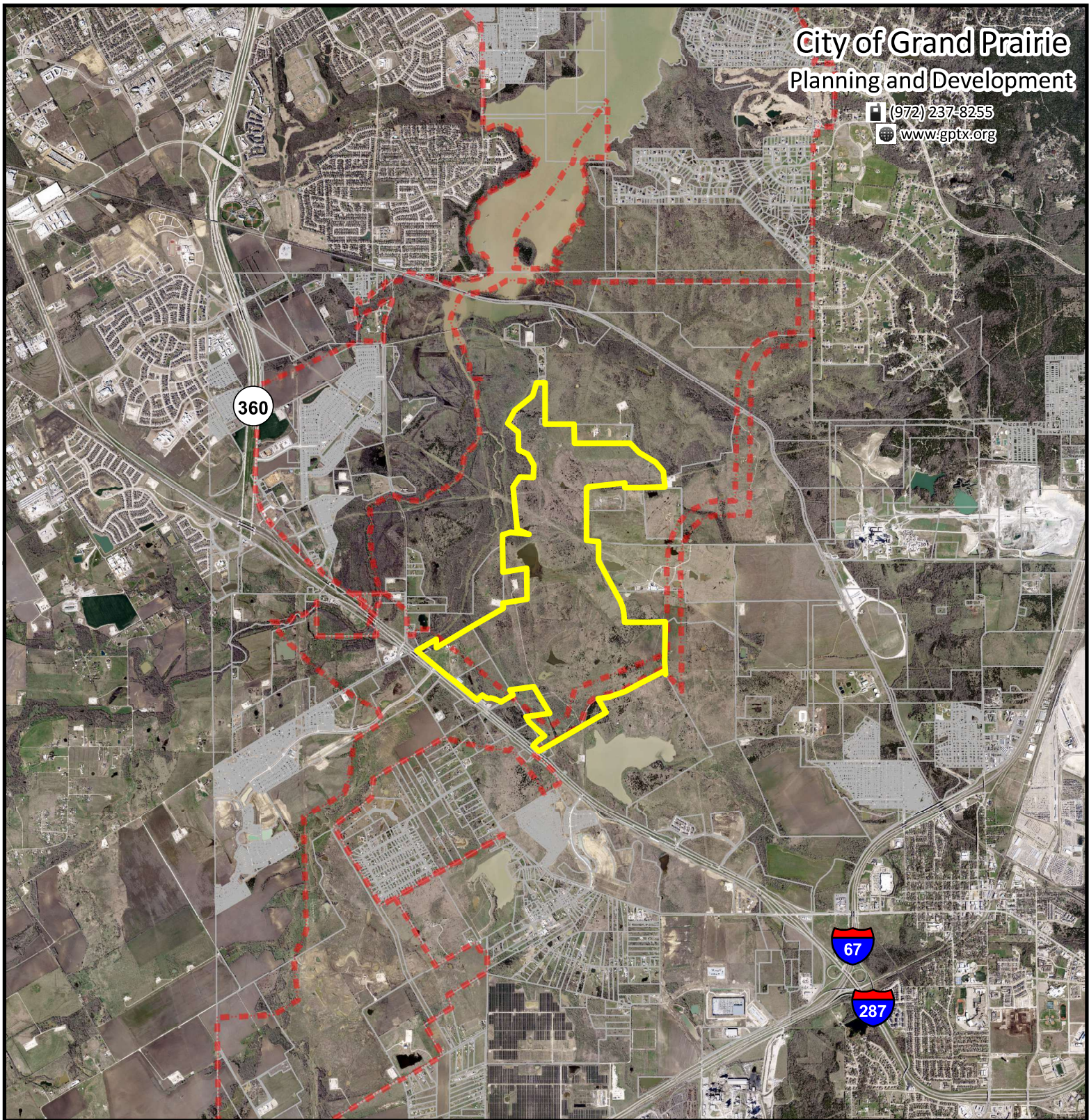
In Support: None

In Opposition: None

**RECOMMENDATION:**

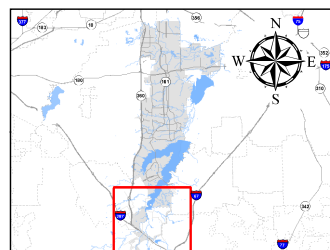
The Development Review Committee (DRC) recommends approval as the proposed standards are consistent with the approved Developer Agreement.





Location  
Parcels

The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to public based on the Public Information Act. The City of Grand Prairie makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.



0 1.1 Miles  
Grand Prairie  
TEXAS  
PLANNING  
Date: 10/31/2021



**Exhibit A**  
**Metes and Bounds Description of Planned Development (PD)**

**NOTE: THE FOLLOWING PROPERTY IS ZONED AS A PLANNED DEVELOPMENT DISTRICT BY THE ADOPTION OF THIS ORDINANCE ONLY TO THE EXTENT SUCH PROPERTY IS LOCATED IN THE CORPORATE BOUNDARIES OF THE CITY OF GRAND PRAIRIE.**

**TRACT 1 ETJ – 1,045 ACRES**

BEING A 1,045 ACRE TRACT OF LAND, SITUATED IN THE S.A. & M.G.R.R. CO. SURVEY, ABSTRACT NO. 1056, D. MORGAN SURVEY, ABSTRACT NO. 1224, J. THOMPSON SURVEY, ABSTRACT NO. 1086, J. JONES SURVEY, ABSTRACT NO. 583, JOSEPH STEWART SURVEY, ABSTRACT NO. 961, AND THE A. REEVES SURVEY, ABSTRACT NO. 939, BEING OUT OF THE TRACTS OF LAND DESCRIBED BY DEED TO HC GPM LLC AS RECORDED IN INSTRUMENT NO. 2213805, DEED RECORDS, ELLIS COUNTY, TEXAS (D.R.E.C.T.), ALSO BEING A PORTION OF THE TRACTS OF LAND DESCRIBED BY DEED TO HC HARMONY HILL LLC, AS RECORDED IN INSTRUMENT NO.'S 2224153 AND 2224154, D.R.E.C.T., AND BEING MORE PARTICULARLY DESCRIBED BY THE METES AND BOUNDS AS FOLLOWS:

COMMENCING at a found Aluminum Disk TX-DOT monument being a point in the existing northeast right-of-way line of West U.S. Highway 287 (having a variable width Right-Of-Way), also being the west corner of a tract of land described by deed to Kreher Steel Co. Inc., as recorded in Volume 2244, Page 1334, D.R.E.C.T.;

THENCE North 30°37'22" West, a distance of 2,469.23 feet to the POINT OF BEGINNING, being a set 1/2 inch iron rod with a "Graham Assoc Inc" (GAI) cap, and being in the southeast line of a tract of land conveyed by deed to Dr. R. G. Alexander, DDS, MSD, and Spouse Janna Alexander, as recorded in Volume 2600, Page 1493, D.R.E.C.T., also being in the northwest line of said HC Harmony Hill, LLC tract,

THENCE North 59°28'48" East, continuing along the said southeast line of the Alexander tract, a distance of 1,227.56 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE North 59°42'41" East, continuing along the said southeast line of the Alexander tract, a distance of 1353.49 feet to a set 1/2 inch iron rod with a "GAI" cap, being the east corner of said Alexander tract, also being the southwest corner of the northern remainder tract of land of said deed to Randol Mill Capital LLP;

THENCE North 00°25'19" West, along the south line of said Randol Mill Capital LLP northern tract, a distance of 199.74 feet to a found 1/2 inch iron rod with a yellow cap stamped "DCA INC", being the southeast corner of said Randol Mill Capital LLP northern tract;

THENCE North 80°44'05" East, leaving the said south line of Randol Mill Capital LLP northern tract, and along the east line of said Randol Mill Capital LLP northern tract, a distance of 901.24 feet to a found 1/2 inch iron rod with a yellow cap stamped "DCA INC", being the northeast corner of said Randol Mill Capital LLP northern tract;

THENCE North 00°34'32" West, leaving the said east line of Randol Mill Capital LLP northern tract, and along the north line of said Randol Mill Capital LLP northern tract, a distance 1162.27 feet to a set 1/2 inch iron rod with a "GAI" cap, being the northwest corner of said Randol Mill Capital LLP northern tract, also being in the east line of said Alexander tract;



THENCE South 80°39'59" West, leaving the said north line of said Randol Mill Capital LLP northern tract, and along the said east line of the Alexander tract, a distance of 899.64 feet to a set 1/2 inch iron rod with a "GAI" cap, being the north corner of said Alexander tract, also being a point for corner on the east line of a U.S.A. tract taken for lake purposes;

THENCE along said east line of U.S.A. Lake tract the following bearings and distances:

North 00°39'30" West, a distance of 1020.64 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 00°18'44" West, a distance of 377.75 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 74°18'19" East, a distance of 313.49 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

South 84°01'57" East, a distance of 690.12 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 67°27'25" West, a distance of 467.88 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 06°00'25" West, a distance of 1605.91 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 34°58'18" East, a distance of 449.38 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

South 87°16'02" East, a distance of 508.67 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 03°14'20" East, a distance of 467.31 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 29°57'57" West, a distance of 469.84 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 63°28'38" West, a distance of 386.07 feet to a set 1/2 inch iron rod with a "GAI" cap, being the southeast corner of a tract of land described by deed to the U.S.A., as recorded in Volume 696, Page 307, D.R.E.C.T.;

THENCE leaving said east line of U.S.A. Lake tract, and along the east line of said U.S.A. tract the following bearings and distances:

North 00°44'59" West, a distance of 314.29 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 00°22'03" West, a distance of 342.47 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 51°17'16" West, a distance of 518.01 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;



North 28°37'06" East, a distance of 559.09 feet to a found Aluminum Army Corp of Engineers monument for a point;

North 50°53'29" East, a distance of 867.05 feet to a found Aluminum Army Corp of Engineers monument for a point;

North 16°55'44" East, a distance of 515.50 feet to a found 5/8 inch iron rod, being in the southwest corner of a tract of land described by deed to the City of Grand Prairie, as recorded in Volume 2458, Page 370. D.R.E.C.T.;

THENCE South 89°56'00" East, leaving said east line of the U.S.A. tract, and along the south line of said Grand Prairie tract, a distance of 318.30 feet to a found Mag Nail, being the southeast corner of said City of Grand Prairie tract, also being in the southwest line of a tract of land described by deed to Atherton & Murphy Holdings Inc., as recorded in Volume 973, Page 263, D.R.E.C.T.;

THENCE South 00°04'27" West, leaving the said south line of the Grand Prairie tract, and along the said southwest line of Atherton & Murphy tract, a distance of 1557.48 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE North 89°50'14" East, continuing along the said southwest line of the Atherton & Murphy tract, a distance of 1088.78 feet to a found Mag Nail, being the northwest corner of a tract of land described by deed to Hal T. Thorne, as recorded in Instrument No. 1632258, D.R.E.C.T.;

THENCE South 00°08'12" East, leaving the said southwest line of the Atherton & Murphy tract, and along the west of said Thorne tract, a distance of 711.72 feet to a found 1/2 inch iron rod with a cap stamped "LANDPOINT", being the southwest corner of said Thorne tract;

THENCE North 89°51'04" East, leaving said west line of, and along the south line of said Thorne tract, a distance of 2090.91 feet to a found 5/8 inch iron rod with a cap stamped "LANDPOINT", being the southeast corner of said Thorne tract, also being in the said southwest line of the Atherton & Murphy tract;

THENCE South 43°37'04" East, leaving the said south line of the Thorne tract, and along the said southwest line of the Atherton & Murphy tract, a distance of 495.81 feet to a found 5/8 inch iron rod with a cap stamped "LANDPOINT" for a point;

THENCE South 59°31'36" East, continuing along said southwest line of the Atherton & Murphy tract, a distance of 712.62 feet to a found Mag Nail for a point;

THENCE South 39°45'25" East, continuing along said southwest line of the Atherton & Murphy tract, a distance 435.78 feet to a 1/2 inch with a yellow cap stamped "DCA INC" for a point;

THENCE South 06°10'01" East, continuing along the said southwest line of the Atherton & Murphy tract, until passing at a distance of 239.34 feet the south corner of said Atherton & Murphy tract, being the northwest corner of a tract of land described to the TCBL Corporation, as recorded in Volume 2160, Page 27, D.R.E.C.T., and continuing along the west line of said TCBL Corporation tract, a total distance of 596.39 feet to a set 1/2 inch iron rod with a "GAI" cap, being in the north line of a tract of land described by deed to Burnitt Irrevocable Trust, as recorded in Document Number 1519720, D.R.E.C.T.;

THENCE South 88°42'01" West, a distance of 935.97 feet to a set 1/2 inch iron rod with a "GAI" cap, being the northeast corner of a tract of land described by deed to Michael Graham, as recorded in Volume 2384, Page 642, D.R.E.C.T., also being the northern most northeast corner of a tract of land described by deed to One Windsor Hills LP, as recorded in Volume 2199, Page 2119, D.R.E.C.T.;



THENCE South 89°46'05" West, along the north line of said One Windsor Hills tract, a distance of 562.56 feet to a set 1/2 inch iron rod with a "GAI" cap, being a point in the east line of a tract of land described by deed to Texas Midstream Gas Services as recorded in Volume 2687, Page 2254, D.R.E.C.T.;

THENCE North 01°07'09" West, leaving the said north line of the One Windsor Hills tract, and along the said east line of the Texas Midstream tract, a distance of 184.68 feet to a set 1/2 inch iron rod with a "GAI" cap, being the northeast corner of said Texas Midstream tract;

THENCE South 83°27'27" West, leaving said east line of, and along the north line of said Texas Midstream tract, a distance of 1386.37 feet to a set 1/2 inch iron rod with a "GAI" cap, being the northwest corner of said Texas Midstream tract;

THENCE South 01°07'51" East, leaving said north line of, and along the west of said Texas Midstream tract, a distance of 32.27 feet to a set 1/2 inch rod with a "GAI" cap, being in the north line of said One Windsor tract;

THENCE South 89°46'05" West, leaving the said west line of the Texas Midstream tract, and along the said north line of the One Windsor tract, a distance of 59.03 feet to a set 1/2 inch iron rod with a "GAI" cap, being the northwest corner of said One Windsor tract;

THENCE South 00°13'55" East, leaving the said north line of, and along the west line of said One Windsor tract, a distance of 1965.03 feet to a set 1/2 inch iron rod with a "GAI" cap, being the southwest corner of said One Windsor tract;

THENCE South 83°32'55" East, leaving the said west line of, and along the south of said One Windsor tract, a distance of 447.87 feet to a set 1/2 inch iron rod with a "GAI" cap, being the northwest corner of a tract of land described by the deed recorded in JAS Holdings LLC, as recorded in Volume 2051, Page 2082, D.R.E.C.T.;

THENCE South 00°16'39" East, leaving the said south line of the One Windsor tract, and along the west line of said JAS Holdings tract, a distance of 712.69 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 28°35'03" East, continuing along said west line of the JAS Holdings tract, a distance of 1286.07 feet to a 1/2 inch iron rod with a "GAI" cap, being the southwest corner of said JAS Holdings tract, also being the northwest corner of the remainder of Tract II described by deed to One Windsor Hills LP, as recorded in Volume 2199, Page 2425, D.R.E.C.T.;

THENCE South 28°35'55" East, leaving the said west line of the JAS Holdings tract, and along the west line of said remainder of Tract II, distance of 306.17 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the right having a radius of 1560.13 feet, a central angle of 24°18'13", and a long chord which bears South 16°26'49" East, 656.83 feet;

THENCE continuing along the said west line of remainder of Tract II, and along said curve to the right, an arc distance of 661.78 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 04°17'42" East, continuing along the said west line of remainder of Tract II, a distance of 276.60 feet to a set 1/2 inch iron rod with a "GAI" cap, being the southwest corner of said remainder of Tract II;



THENCE North 89°32'54" East, along the south line of said remainder of Tract II, a distance of 1028.27 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 00°43'43" West, leaving said south line of the remainder of Tract II, a distance of 1491.00 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 04°47'16" East, a distance of 33.02 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 63°08'29" West, a distance of 760.55 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 61°09'15" West, a distance of 322.66 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 63°34'35" West, a distance of 272.26 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 68°55'46" West, a distance of 241.36 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 71°19'10" West, a distance of 270.19 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 80°23'15" West, a distance of 1119.17 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 30°27'05" East, a distance of 808.63 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 59°50'30" West, a distance of 1658.80 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE North 50°44'03" West, a distance of 834.78 feet to a set 1/2 inch iron rod with a "GAI" cap, being in the south line of the southern remainder of a tract of land described by deed to Randol Mill Capital LLP, as recorded in Volume 2181, Page 1612, D.R.E.C.T.;

THENCE North 81°42'35" East, along the south line of said Randol Mill Capital southern tract, a distance of 657.72 feet to a set 1/2 inch iron rod with a "GAI" cap, being in the southeast corner of said Randol Mill Capital southern tract;

THENCE North 30°55'31" West, leaving said south line of, and along the east line of said Randol Mill Capital southern tract, a distance of 1162.24 feet to a set 1/2 inch iron rod with a "GAI" cap, being in the northeast corner of said Randol Mill Capital southern tract;

THENCE South 81°41'41" West, leaving said east line of, and along the north line of said Randol Mill Capital southern tract, a distance of 899.91 feet to a set 1/2 inch iron rod with a "GAI" cap, being in the northwest corner of said Randol Mill Capital southern tract;

THENCE South 30°54'43" East, leaving the said north line, and along the west line of said Randol Mill Capital southern tract, a distance of 210.08 feet to a set 1/2 inch iron rod with a "GAI" cap, being in the



north corner of a tract of land described by deed to Wendell G. Watson, ET AL, as recorded in Volume 1047, Page 663, D.R.E.C.T.;

THENCE South  $58^{\circ}50'54''$  West, leaving said west line of Randol Mill Capital southern tract, and along the northwest line of said Wendell G. Watson tract, being a common line, a distance of 152.33 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE North  $50^{\circ}43'31''$  West, leaving said common line, a distance of 3,174.58 feet to the POINT OF BEGINNING and CONTAINING 45,534,748 square feet, 1,045 acres of land, more or less.







**TRACT 2 – 94.12 ACRES**

BEING A 94.12 ACRE TRACT OF LAND SITUATED IN THE J. JONES, ABSTRACT NO. 583 AND THE A. REEVES SURVEY, ABSTRACT NO. 939, ELLIS COUNTY, TEXAS, BEING PART OF TRACT OF LAND CONVEYED TO HC GPM LLC, RECORDED IN INSTRUMENT NO. 2213805, DEED RECORDS, ELLIS COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING at a found TxDOT Aluminum Disk, being in the existing northeast right-of-way line of West U.S. Highway 287 (having a variable width Right-Of-Way), and being in the southwest line of said HC GPM LLC tract, being a common line;

THENCE North 51°07'00" West, a distance of 490.32 feet to the POINT OF BEGINNING, being a set 1/2 inch iron rod with a "Graham Assoc Inc" (GAI) cap, and being in said common line, and also being in the northwestern city limit line of Midlothian, Texas;

THENCE North 49°03'20" West, along said common line, a distance of 311.98 feet to a set 1/2 inch iron rod with GAI cap, for the beginning of a non-tangent curve to the right, having a radius of 1585.00 feet, a central angle of 20°33'33" and a long chord which bears North 50°38'59" East, 565.69 feet;

THENCE along said non-tangent curve to the right, leaving said common line, an arc distance of 568.74 feet to a set 1/2 inch iron rod with GAI cap;

THENCE North 47°29'39" West, a distance of 787.92 feet to a set 1/2 inch iron rod with GAI cap, being the southeast corner of a tract of land described by deed to Wendell G. Watson Et Al, as recorded in Volume 1047, Page 663, Deed Records, Ellis County, Texas;

THENCE North 30°46'51" West, along the east line of said Wendell G. Watson tract, a distance of 229.26 feet to a set 1/2 inch iron rod with GAI cap, being the southwest corner of a remainder tract of land described by deed to Randol Mill Capital, LLP, as recorded in Volume 2181, Page 1612, Deed Records, Ellis County, Texas;

THENCE North 81°42'35" East, along the south line of said Randol Mill Capital tract, a distance of 242.63 feet to a set 1/2 inch iron rod with GAI cap;

THENCE South 50°43'31" East, leaving said south line of Randol Mill Capital tract, a distance of 834.69 feet to a set 1/2 inch iron rod with GAI cap;

THENCE North 59°50'30" East, a distance of 1658.87 feet to a set 1/2 inch iron rod with GAI cap;

THENCE North 30°27'05" West, a distance of 808.63 feet to a set 1/2 inch iron rod with GAI cap;

THENCE North 80°23'15" East, a distance of 1119.17 feet to a set 1/2 inch iron rod with GAI cap;

THENCE North 71°19'10" East, a distance of 270.19 feet to a set 1/2 inch iron rod with GAI cap;

THENCE North 68°55'46" East, a distance of 241.36 feet to a set 1/2 inch iron rod with GAI cap;



THENCE North 63°34'35" East, a distance of 272.26 feet to a set 1/2 inch iron rod with GAI cap;

THENCE North 61°09'15" East, a distance of 322.66 feet to a set 1/2 inch iron rod with GAI cap;

THENCE North 63°08'29" East, a distance of 760.55 feet to a set 1/2 inch iron rod with GAI cap;

THENCE North 04°47'16" West, a distance of 33.02 feet to a set 1/2 inch iron rod with GAI cap;

THENCE North 00°43'43" East, a distance of 1491.00 feet to a set 1/2 inch iron rod with GAI cap, being in the south line of Tract II, as described by deed to One Windsor Hills, LP, as recorded in Volume 2199, Page 2425, Deed Records, Ellis County, Texas;

THENCE North 89°32'54" East, along said south line of One Windsor Hills, LP tract, a distance of 494.67 feet to a set 1/2 inch iron rod with GAI cap, being in the northwestern city limit line of Midlothian, Texas;

THENCE South 00°42'37" West, leaving said south line of One Windsor Hills, LP tract, along said city limit line, a distance of 1477.26 feet to a set 1/2 inch iron rod with GAI cap;

THENCE South 04°47'16" East, continuing along said city limit line, a distance of 476.87 feet to a set 1/2 inch iron rod with GAI cap;

THENCE North 29°51'04" West, a distance of 133.25 feet to a set 1/2 inch iron rod with GAI cap;

THENCE South 61°25'14" West, a distance of 290.88 feet to a set 1/2 inch iron rod with GAI cap;

THENCE South 63°08'29" West, a distance of 737.31 feet to a set 1/2 inch iron rod with GAI cap;

THENCE South 61°09'15" West, a distance of 324.54 feet to a set 1/2 inch iron rod with GAI cap;

THENCE South 63°34'35" West, a distance of 305.87 feet to a set 1/2 inch iron rod with GAI cap;

THENCE South 68°55'46" West, a distance of 274.83 feet to a set 1/2 inch iron rod with GAI cap;

THENCE South 71°19'10" West, a distance of 319.78 feet to a set 1/2 inch iron rod with GAI cap;

THENCE South 80°23'15" West, a distance of 440.31 feet to a set 1/2 inch iron rod with GAI cap;

THENCE South 30°27'05" East, a distance of 588.09 feet to a set 1/2 inch iron rod with GAI cap;

THENCE South 59°50'30" West, a distance of 2894.98 feet to the POINT OF BEGINNING and CONTAINING 4,099,911 square feet, 94.12 acres of land, more or less.







**TRACT 3 – 61.31 ACRES**

BEING A 61.31 ACRE TRACT OF LAND, SITUATED IN THE JOSEPH STEWART SURVEY, ABSTRACT NO. 961, BEING OUT OF THE TRACTS OF LAND DESCRIBED BY DEED TO HC HARMONY HILL LLC AS RECORDED IN INSTRUMENT NO.'S 2224153 AND 2224154, DEED RECORDS, ELLIS COUNTY, TEXAS (D.R.E.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY THE METES AND BOUNDS AS FOLLOWS:

BEGINNING at a found Aluminum Disk TX-DOT monument being a point in the existing northeast right-of-way line of West U.S. Highway 287 (having a variable width Right-Of-Way), also being the west corner of a tract of land described by deed to Kreher Steel Co. Inc., as recorded in Volume 2244, Page 1334, D.R.E.C.T.;

THENCE along the said existing northeast right-of-way line of West U.S. Highway 287 the following bearings and distances:

North 50°39'14" West, a distance of 1203.70 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 50°53'38" West, a distance of 58.13 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 52°32'36" West, a distance of 196.96 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 50°38'03" West, a distance of 1181.10 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 46°40'14" West, a distance of 61.88 feet to a found Aluminum Disk TX-DOT monument for a point;

North 50°46'02" West, a distance of 228.94 feet to a set 1/2 inch iron rod with a "GAI" cap, being the south corner of a tract of land described by deed to Dr. R. G. Alexander, DDS, MD, and spouse Janna Alexander, as recorded in Volume 2600, Page 1493, D.R.E.C.T.;

THENCE North 60°04'27" East, leaving the said existing northeast right-of-way line of West U.S. Highway 287, and along the southeast line of said Alexander tract, a distance of 845.68 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 01°07'47" East, continuing along the said southeast line of the Alexander tract, a distance of 312.79 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE North 59°28'48" East, continuing along the said southeast line of the Alexander tract, a distance of 314.47 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

THENCE South 50°43'31" East, leaving said southeast line of the Alexander tract, a distance of 3174.58 feet to a set 1/2 inch iron rod with a "GAI" cap for a point, being in the southeast line of said HC Harmony Hill LLC tract, and being in the northwest line of a tract of land described by deed to Wendell G. Watson, ET AL, as recorded in Volume 1047, Page 663, D.R.E.C.T., being a common line;

THENCE South 58°50'54" West, along said common line, a distance of 371.88 feet to a set 1/2 inch iron rod with a "GAI" cap, being the east corner of said Kreher Steel tract;



THENCE along the northeast and northwest line of said Kreher Steel tract the following bearings and distances:

North 62°14'04" West, a distance of 228.11 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 72°36'09" West, a distance of 170.09 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

South 85°23'38" West, a distance of 141.06 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

North 57°25'06" West, a distance of 229.20 feet to a set 1/2 inch iron rod with a "GAI" cap, being the north corner of said Kreher Steel tract;

South 46°28'11" West, a distance of 221.97 feet to a set 1/2 inch iron rod with a "GAI" cap for a point;

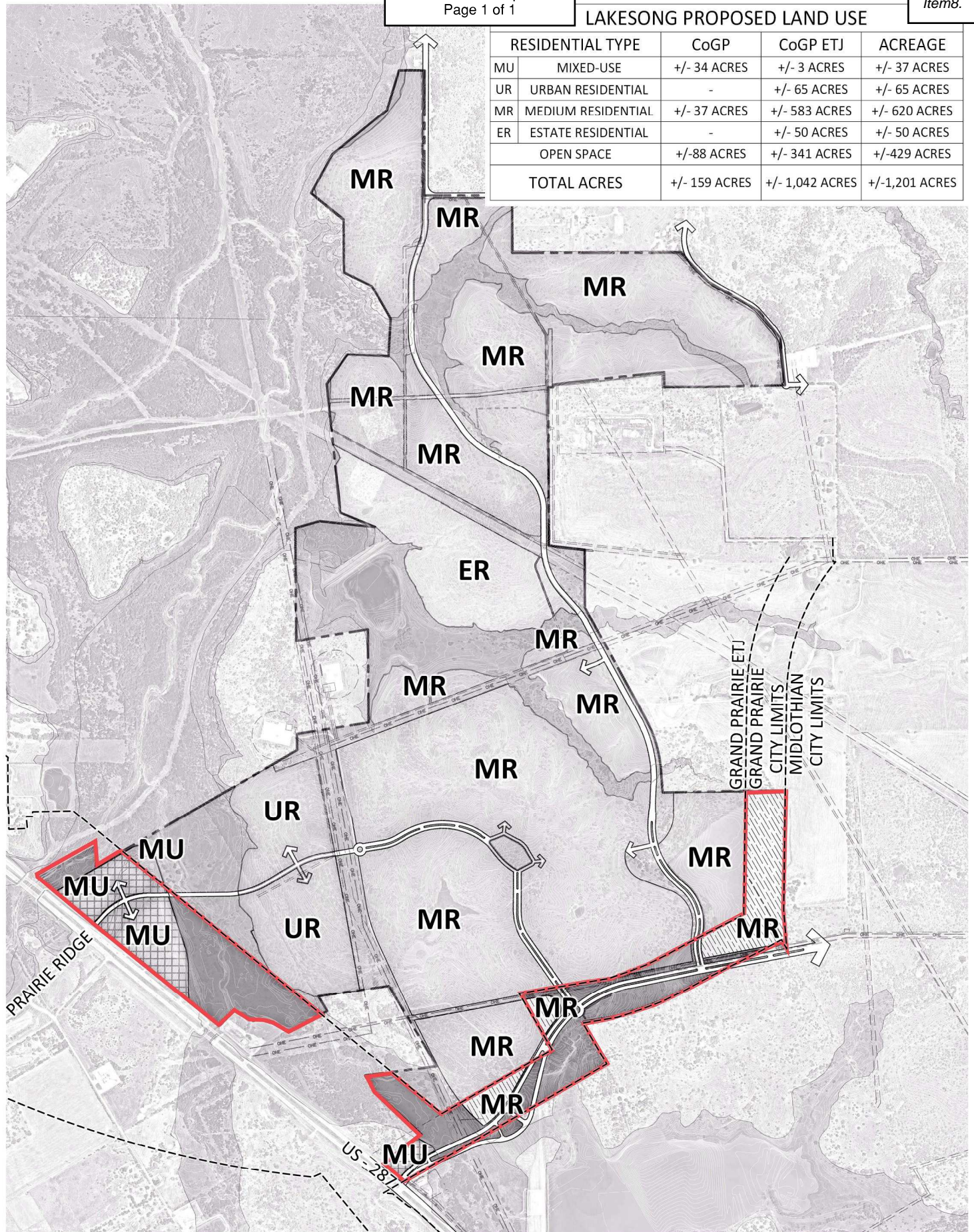
South 30°00'31" West, a distance of 45.27 feet to the POINT OF BEGINNING and CONTAINING 2,670,822 square feet, 61.31 acres of land, more or less.







RESIDENTIAL TYPE		CoGP	CoGP ETJ	ACREAGE
MU	MIXED-USE	+/- 34 ACRES	+/- 3 ACRES	+/- 37 ACRES
UR	URBAN RESIDENTIAL	-	+/- 65 ACRES	+/- 65 ACRES
MR	MEDIUM RESIDENTIAL	+/- 37 ACRES	+/- 583 ACRES	+/- 620 ACRES
ER	ESTATE RESIDENTIAL	-	+/- 50 ACRES	+/- 50 ACRES
OPEN SPACE		+/- 88 ACRES	+/- 341 ACRES	+/- 429 ACRES
TOTAL ACRES		+/- 159 ACRES	+/- 1,042 ACRES	+/- 1,201 ACRES





## **Exhibit B** **PD Regulations**

1. Development Agreement; Conflicts. In the event of a conflict between that certain Development Agreement recorded in the Real Property Records of Ellis County as Instrument No. 2328977 on September 28, 2023 (the "Development Agreement") and any City ordinance, rule, regulation, standard, policy, order guideline or other City-adopted or City enforcement requirement, whether existing on or adopted after the effective date of the Development Agreement, the Development Agreement shall control. Open space, parks, and trails are governed by the Development Agreement.

2. Governing Regulations. Development of the property described on **Exhibit A** (the "Property") shall be governed by the ordinances, rules, regulations, standards, policies, orders, guidelines, master plans, and/or other City-adopted or City-enforced requirements, as subsequently amended and adopted by the City for uniform application throughout the corporate limits, with only the following modifications (collectively, the "Governing Regulations"):

A. the Concept Plan attached as **Exhibit C** as amended from time to time in accordance with this **Exhibit B** (the "Concept Plan");

B. the City's Unified Development Code (excluding all development fees specifically altered in the Development Agreement and "Impact Fees" as defined in the Development Agreement) adopted on September 17, 2019 by the adoption of Ordinance No. 10713-2019 (the "UDC") as amended through the effective date of the Development Agreement until the fifth anniversary of the Effective Date all as described in Resolution No. 5368-2023 approved by the City on September 19, 2023 (the "UDC Resolution"), after which (i) except as provided in subparagraph (ii), the City's UDC as amended from time to time shall apply, subject to vested rights that accrue pursuant to Chapter 245, Texas Local Government Code following the Effective Date; and (ii) the following regulations in the UDC shall continue to be those in effect on the Effective Date: landscaping, screening, tree preservation regulations, permitted uses, and design recommendations in Article 6, Sections 15 and 16 of the UDC;

C. regulations contained in the UDC or any other City ordinance governing development within a floodplain as amended from time to time for uniform application throughout the corporate limits; and

D. the building material and architectural regulations set forth in Article 6, Sections 15 and 16 the UDC shall apply, even if within the UDC they are only suggested, recommended or otherwise noted as not mandatory; and

E. the Development Regulations on this **Exhibit B** (the "Development Regulations"); and



F. City ordinances, as amended from time to time for uniform application throughout the corporate limits, subject to any vested rights that accrue pursuant to Chapter 245, Texas Local Government Code or any other State law following the effective date of the Development Agreement.

In the event of a conflict between this **Exhibit B** and the Concept Plan or UDC or any other City ordinance, this **Exhibit B** shall control. In the event of a conflict between the Concept Plan and the UDC or any other City ordinance, the Concept Plan shall control. Subject to flood plain regulations, the provisions in Article IV (Open Space and Amenities; Community Entrances) of the Development Agreement shall satisfy the open space requirements in the UDC for the Property.

3. **Concept Plan Revisions.** The Parties agree that the Concept Plan is created for illustrating the boundary, lot mix and general layout for development of the Property. The City Manager of the City, or his designee, may administratively approve any amendments to the Concept Plan that the City Manager, or his designee, deems in his reasonable discretion to be minor in nature (e.g., a minor change is one that keeps the total lots between the minimum and maximum ranges of lots at full buildout of the Property referenced in Section 4, paragraph d below). If the City Manager, or his designee, deems an amendment to not be minor in nature, the Concept Plan may be amended as set forth in the Governing Regulations for planned developments.

4. **Concept Plan - Applicable Regulations.**

a. The following areas shown on the Concept Plan shall follow the base zoning district regulations in the UDC, as amended by this **Exhibit B**:

b. **Mixed Use Area on the Concept Plan:** For multi-family development, the Multi-family Three Residential (MF-3) zoning district regulations shall apply. For townhome development, the SF-Townhouse (SF-T) zoning district regulations shall apply. For non-residential uses, the General Retail zoning district regulations shall apply. Parking garages are permitted in the mixed use area on the Concept Plan. Nonresidential development within the Mixed-Use area on the Concept Plan shall comply with the requirements on Attachment 1 of this **Exhibit B**.

c. **Urban Residential Area on the Concept Plan:** For multi-family development, the Multi-family Three Residential (MF-3) zoning district regulations shall apply. For townhome development, the SF-Townhouse (SF-T) zoning district regulations shall apply. For single family zero lot line development, the Single Family Zero Lot line (SF-Z) zoning district regulations shall apply. Use mix shall comply with the maximum percent of dwelling units established in Table 2: Lot Dimensions for Urban Residential, as well as the table below in this Section 2.

d. **Medium Residential Area on the Concept Plan:** For townhome development, the SF-Townhouse (SF-T) zoning district regulations shall apply. For single family zero lot line development, the Single Family Zero Lot line (SF-Z) zoning district regulations shall apply. For single family detached development, the Single



Family-Six (SF-6) zoning district regulations shall apply. Use mix for the Property shall comply with the table immediately below.

Unit Type	Minimum % Lots at Full Buildout of the Property	Maximum % Lots at Full Buildout of the Property
SF-Z	0%	15%
SF-T	5%	30%
SF-6	70%	95%

e. Estate Residential Area on the Concept Plan: For single family detached development, the Single Family-One (SF-1) zoning district regulations shall apply.

f. Open Space and Parks on the Concept Plan: Open space areas and parks shown on the Concept Plan shall be used for active and passive open space and recreation consistent with the open space requirements on this **Exhibit B**, and shall not be governed by a base zoning district.

g. Schools. A school is a permitted use at any location on the Property other than in areas designated on the Concept Plan for open space or parks.

h. No zoning overlay district or other special zoning district regulations of any kind shall apply.

i. Appendix W in the UDC shall apply to all residential development.

j. In the event of a conflict between the UDC and this **Exhibit B**, this **Exhibit B** shall control. In the event of a conflict between the UDC and the Concept Plan, the Concept Plan shall control. The Concept Plan only governs land use requirements and does not control as it relates to transportation requirements or other requirements regulated by the UDC.

#### 5. Dimensional Requirements.

a. For additional requirements, see Tables 1 through 4 at the end of this **Exhibit B**, which are the exclusive regulations applicable to residential density, dwelling unit size, number of one bedroom units, lot size, setbacks, building height, lot coverage, floor area, and garage orientation. For dimensional requirements not specifically identified in Table 1, Table 2, Table 3 and Table 4, below, the UDC shall control.

b. Lots located on a cul-de-sac or "eyebrow" may be reduced in width to 25 feet at the front lot line to allow for driveway access to street. Driveway length shall not exceed 100feet



from Right-Of-Way (ROW) to residential structure. The development shall be designed so as to avoid flag lots.

6. Permitted Uses.

a. Mixed Use Area on the Concept Plan. The following uses are permitted in this area: all uses permitted in the Multi-family Three (MF-3), SF-Townhouse (SF-T), and General Retail zoning districts are permitted to the same extent permitted in those zoning districts within the UDC. For example, if a use is permitted by right in the MF-3 zoning district, that use is permitted by right in the mixed use area on the Concept Plan. If a use is permitted by SUP in the MF-3 zoning district, that use is permitted by SUP in the mixed use area on the Concept Plan. If a use is regulated differently in any of these three zoning districts, the most restrictive regulation applies to that use in the mixed use area on the Concept Plan. A minimum of 20 percent of the net acreage in the Mixed Use Area shown on the Concept Plan (net meaning excluding 100-year floodplain) shall be restricted to non-residential uses and development in accordance with the General Retail zoning district regulations.

b. Urban Residential Area on the Concept Plan. The following uses are permitted in this area: all uses permitted in the Multi-family Three (MF-3), SF-Townhouse (SF-T), and Single Family Zero Lot Line (SF-Z) zoning districts are permitted to the same extent permitted in those zoning districts within the UDC. For example, if a use is permitted by right in the MF-3 zoning district, that use is permitted by right in the mixed use area on the Concept Plan. If a use is permitted by SUP in the MF-3 zoning district, that use is permitted by SUP in the mixed use area on the Concept Plan. If a use is regulated differently in any of these three zoning districts, the most restrictive regulation applies to that use in the mixed use area on the Concept Plan.

c. Medium Residential Area on the Concept Plan: The following uses are permitted in this area: all uses permitted in the SF-Townhouse (SF-T), Single Family Zero Lot Line (SF-Z), and Single Family-Six (SF-6) zoning districts are permitted to the same extent permitted in those zoning districts within the UDC. For example, if a use is permitted by right in the SF-6 zoning district, that use is permitted by right in the medium residential area on the Concept Plan. If a use is permitted by SUP in the SF-6 zoning district, that use is permitted by SUP in the mixed use area on the Concept Plan. If a use is regulated differently in any of these three zoning districts, the most restrictive regulation applies to that use in the medium residential area on the Concept Plan.

d. Estate Residential Area on the Concept Plan: All uses permitted in the Single Family-One (SF-1) zoning districts are permitted to the same extent permitted in the SF-1 district within the UDC. For example, if a use is permitted by right in the SF-1 zoning district, that use is permitted by right in the estate residential area on the Concept Plan. If a use is permitted by SUP in the SF-1 zoning district, that use is permitted by SUP in the estate residential area on the Concept Plan

7. Temporary Uses.



A. During active construction within the Property, the following temporary uses are permitted at any location on the Property other than in Open Space and floodplain, and may be approved administratively: construction offices including construction trailers, model homes, and batch plants. Batch plants shall be removed upon completion of the Public Infrastructure. Batch plants must be 200 feet from the limits of floodplain.

B. Seasonal sales are permitted in areas that permit retail uses.

8. Building Design. The following shall constitute the exclusive building design standards applicable to the Property: the building design standards in Article 6, Sections 15 and 16 of the UDC in effect on the Effective Date, even if within the UDC they are only suggested, recommended or otherwise noted as not mandatory; the standards on this Exhibit B; Attachment 1 to this exhibit, including general compliance with the exterior building materials show therein, which applies to single family homes and townhomes; Appendix W of the UDC as modified herein; and Appendix F of the UDC as it exists on the effective date of the Development Agreement, which applies to non-residential buildings in the Mixed Use Area on the Concept Plan. The sample single family residential attached and detached elevations on Attachment 1 to this exhibit are illustrative, not intended to be final home designs, and subject to change without further approval, provided the changes (i) demonstrate similar or better quality, building materials and architectural details to the elevations attached on Attachment 1, as reasonably determined by the Planning and Development Director; and (ii) otherwise comply with the Governing Regulations. Changes to Attachment 1 that do not demonstrate similar or better quality, building materials and architectural details require approval of the Planning and Development Director. If the Director denies a request for such changes, the Director's decision may be appealed to the City Council, and the City Council's decision shall be final. If there is a conflict between the UDC and Attachment 1, the Attachment 1 building material provision shall control. A minimum of four of the following design features are required on the exterior of each single family detached residential structure:

- a. Dormers;
- b. Cupolas;
- c. Gables;
- d. Recessed entries (minimum three feet);
- e. Balconies;
- f. Covered front porches (minimum 70 square feet in area and minimum six feet in depth);
- g. Courtyards;
- h. Box windows;
- i. Architectural pillars or posts;



- j. Exterior chimneys;
- k. Varied roof heights;
- l. Archways;
- m. Porte cocheres;
- n. Porticos;
- o. Shutters (functional or decorative); or
- p. Articulated cornice lines.

9. Landscaping and Screening.

a. Landscaping and screening shall comply with Article 8 of the UDC except as otherwise provided below.

b. Trees may be located within the right-of-way between the sidewalk and back of curb and count towards the street tree requirement, as depicted on Attachment 2. Trees within the right-of-way shall be located as shown on Attachment 2. Trees within the right-of-way shall be tap root trees or located in a recessed tree well. Trees located in the right-of-way shall adhere to the spacing requirements established herein. For the purposes of spacing, streetlights shall be treated in the same manner as street trees.

c. All fencing for single family detached lots that back up to open space, parks, drainage areas or easements shall be six-foot tall ornamental metal fences. All fencing for single family detached lots that back up to a collector or arterial roadway shall be a minimum of six-feet in height and board-on-board as depicted on Attachment 6 to this **Exhibit B**, including general compliance with the building materials shown therein.

d. Fencing for a townhouse use, as well as a single family detached use on a lot that is 49 feet in width or less, may be located in the front yard, and shall be a maximum of four feet in height in the front yard.

e. No fencing or screening shall be required around or adjacent to a drainage area or a retention pond; however, fencing around detention ponds is required in accordance with the City's Drainage Design Manual.

f. No fencing shall be required to have concrete mowing strips as described in Section 8.10 of the UDC.

g. No screening shall be required adjacent to an open space or easements such as overhead power line easements and gas easements.

h. For all townhouse, single family zero lot line, and single family detached uses, the following tree planting requirements shall apply and be the only tree planting requirements,



and all canopy trees that are required shall be a minimum of three caliper inches in size at the time of planting: (i) for townhouse lots and single family detached homes on lots that are no more than 49 feet in width, one canopy tree or two ornamental trees shall be planted in the front yard or the adjacent right-of-way provided placement in the right-way is approved by the Transportation Director and meets the spacing requirements provided herein. Supplemental tree placement is permitted in a public amenity area or on HOA lots; (ii) for single family detached homes on lots that are 50 to 59 feet wide, one canopy tree or two ornamental trees shall be planted in the front yard or the adjacent right-of-way, as well as in the rear yard; and (iii) for single family detached homes on lots that are at least 60 feet wide, two canopy trees shall be planted in the front yard or the adjacent right-of-way, and one canopy tree shall be planted in the rear yard.

i. Along an arterial with a 110-foot wide right-of-way, the following screening and buffering requirements shall apply: A minimum 20-foot landscape buffer shall be provided that is planted with a minimum of one three-inch caliper tree for every 35 linear feet of right-of-way adjacent to residential development. A minimum six-foot tall board on board fence or six-foot tall ornamental metal fence with vegetative screening shall be provided, and shall include minimum six-foot tall stone columns spaced every 100 linear feet.

j. Along a collector with a 70-foot wide right-of-way, the following screening and buffering requirements shall apply: A minimum 15-foot landscape buffer shall be provided that is planted with a minimum of one three-inch caliper or greater tree for every 35 linear feet of right-of-way adjacent to residential development. A minimum six-foot tall ornamental metal fence shall be provided, and shall include minimum six-foot tall brick or stone columns spaced every 100 linear feet.

k. Along an enhanced residential street with a 60-foot wide right-of-way, no street trees shall be required.

l. Along a residential street with a 42-foot wide right-of-way, no street trees shall be required.

m. Along a residential street with a 50-foot wide right-of-way, no street trees shall be required.

n. Along a residential boulevard with a 90-foot wide right-of-way, no street trees shall be required.

o. If street trees are provided, they will be placed outside of the City's Visibility Triangle requirements and will be spaced per Attachment 2.

p. In a mixed use area shown on the Concept Plan, no screening shall be required between residential uses, between residential and non-residential uses, or adjacent to open space or easements.

q. Development shall comply with Attachment 3. Fencing and Screening in lieu of UDC requirements for fencing and screening along areas shown on Attachment 3 with fencing and screening. The City Manager or his or her designee may approve alternative



fencing materials to those required above and in Attachment 3 including, but not limited to, vinyl, composite, or pre-cast concrete fencing.

10. Tree Preservation. A minimum of 50 acres of the existing tree canopy, as generally shown on Attachment 4, shall either be preserved or removed subject to mitigation in accordance with Article 8 of the UDC, provided, however, trees planted within this development to comply with landscaping requirements shall also be counted towards tree mitigation requirements. All other existing tree canopy may be removed without mitigation. No tree survey shall be required. Riparian Buffers along creeks have the same limits as the Erosion Hazard Setback and shall not be disturbed.

11. Off-Street Parking Requirements. Shared parking is permitted for uses within the mixed use and urban residential areas shown on the Concept Plan, and in accordance with the criteria established in the UDC, shared parking requests can be administratively approved. The minimum parking requirement for a multi-family use shall be one and a half spaces for each one bedroom unit and two spaces for each unit containing two or more bedrooms. A minimum of 30% of the required parking for a multifamily use shall be covered or enclosed parking, and no other covered or enclosed parking requirements shall apply to this use.

12. Platting and Design Criteria.

a. Townhouses and single family lots may face onto a green space or common area provided rear access to the lot is provided by a mews that complies with the No Frontage Alley section on Attachment 5.

b. Multi-family developments located within the Urban Residential Area shall have lower level units with direct access to the abutting street or sidewalk where units face a street, sidewalk, or public space. A residential street may run a straight course over a length not to exceed 1,000 feet without deflecting a minimum of 15 degrees, curving, narrowing, or otherwise deviating from a straight course.

c. Additional enhanced residential street sections are permitted as depicted on the street sections attached as Attachment 5. Attachment 5 shall apply to the design of these new road types, however, the pavement section design (e.g., pavement thickness) shall comply with the UDC.

d. Residential streets with less than 60 feet of right-of-way width shall have a minimum 300-foot horizontal radius.

e. An approved preliminary plat shall expire 24 months after the date of its approval if a final plat application is not submitted to the city for all or a portion of the approved preliminary plat before its expiration, otherwise, a preliminary plat shall not expire. An approved final plat shall not expire for five years after the date of its approval. The Development Review Committee may extend such dates by up to six months, upon application and payment of additional fees. Further extension of approval may only be granted by the Planning and Zoning Commission following a recommendation from City staff.



f. Section 12.23.2 of the UDC is revised to read as follows: Easements shall be required adjacent to all street frontages and, unless a different width is approved the City Manager or designee, shall be a minimum of ~~fifteen (15)~~ fifteen (15) feet in width or a width as may be reasonably necessary for the utilities or franchisees of the City using the easements. ~~Easements adjacent to street frontages within residential developments where no rear lot easement is proposed shall be a minimum of twenty (20) feet in width.~~

g. Section 14.5.3.E of the UDC is revised to read as follows: (a) Earthen grades for drainage being conveyed across the lot it originated on shall not be less than one percent. Maximum grades shall not exceed 25% without an engineering slope stability analysis. (b) Prior to release of a final building inspection, a licensed surveyor or engineer shall provide a Precise Grading Certificate to certify that lot grading is consistent with the City approved grading and drainage plans ~~and that erosion control has been installed~~. Proper erosion control measures shall be shown on the SWP3.

h. Section 23.9.6 of the UDC is revised to read as follows: Local Street, LU: Design Speed: ~~25 M.P.H.~~ 20 M.P.H; Horizontal Curvature: R= 300 feet.

i. Note 42 of the City's 2021 General Notes for Development & Construction is revised as follows: All detention basins shall be vegetated, landscaped, and irrigated in accordance with City's Drainage Design Manual (the "Manual"). The Manual does not require permanent irrigation of detention basins.

j. Note 43 of the City's 2021 General Notes for Development & Construction is revised as follows: ...The project shall not be considered for acceptance by the City unless the establishment of 100% ground cover with 80% density. Grass seed/sod is required for placement of ground cover within the City easement or ROW that has been disturbed during construction activities.

k. Section 5.1 (Flow in Gutters) of the City's Drainage Design Manual – Volume 1, January 2017 is revised to read as follows: The drainage capacities of streets and gutters shall be determined by Manning's Formula using an 'n' value of 0.016 for concrete streets. Streets and curb inlets shall be designed to flow not more than curb deep during a 10-year (10% annual chance) flood. Streets and curb inlets shall be designed to flow no more than ROW deep for the 100-year (1% annual chance) flood.

l. The City's standard sheet details are revised for concrete paving to read as follows: Alley Standard Details: 8" 4,000 PSI REINFORCED CONCRETE. HAND POURED ALLEYS SHALL BE 4,500 PSI REINFORCED CONCRETE.

m. All streets shall be concrete with curb and gutter.

n. The minimum easement width table for a single City wastewater main in Section 2.10 (Minimum Easement) of the City's Domestic Wastewater and Lift Station Design Criteria 2015 Update is revised to read as follows:

Size Main (inches): 8 through 12; Depth of Pipe (feet): ≤ 8'; Minimum Width (feet): ~~20~~ 15'



Size Main (inches): 8 through 12; Depth of Pipe (feet): > 8'; Minimum Width (feet): 25'

o. Floodplain: Except as otherwise provided in **Exhibit B**, all provisions of the UDC regulations on use and development of floodplain, as amended, shall apply to the Property.

13. Residential Development Standards. Residential development standards in Appendix W of the UDC are modified as follows:

a. The following language in Section 2.I.F (Single Family Residential Subdivision Design Guidelines) is deleted: ~~For the purpose of providing neighborhood identity, developments that are designed to contain over 100 lots at ultimate buildout should be divided into specific and individual village centers. These villages shall have a distinctive center and edge boundary with said boundary being generally no more than 5-minute walk from the center. The center shall have a distinct character created by the development of usable and accessible open space and park facilities, or by the development of an amenity center containing neighborhood scaled retail and recreational facilities, or by the preservation of the scenic qualities of a particular area within the village that is made accessible to the residents as an amenity.~~

b. The following language in Section 2.II.A - 1, 2, 3 (Architectural, Dimensional, and Density Guidelines) is deleted and replaced with Tables 1 through 4 in Exhibit C: ~~The development shall provide a variety of single family detached housing and lot sizes according to the following standards: Minimum lot size: A lot size between 7,800 and 8,999 square feet shall be required for a minimum of seventy percent (70%) of total platted lots within the Development. A lot size of 9,000 square feet or greater shall be required for a minimum of thirty percent (30%) of total platted lots within the Development. Minimum lot width shall be 65 feet at the front building line for each structure. Lots facing a "T" type street intersection shall have a minimum width of 80 feet.~~

c. The following language in Section 2.II.B.6 (Architectural, Dimensional, and Density Guidelines) is deleted: ~~For the purpose of assessing the architectural design of homes in a subdivision, the developer/builder shall submit proposed building elevations at time of Rezoning or Preliminary Plat submittal, whichever comes first. All houses subsequently permitted within the development shall substantially comply with the approved conceptual elevations as well as zoning requirements and the requirements of this appendix.~~

d. The following language in Section 2.III.D.1 (Single-Family Residential Landscaping and Screening Guidelines) is deleted: ~~One landscaped and irrigated monument entry feature is required at all street entry points along a designated collector or arterial thoroughfare. If a monument sign is utilized to identify the subdivision, it shall be lit by external illumination only.~~

e. The following language in Section 3.II.B (Amenity and Site Design Standards for Multi-Family Developments) is deleted: ~~Multi-family developments shall contain security gates at all entrances to the complex. A single gated entrance and exit point for residents and visitors should be provided along with a minimum of one secondary access point designated~~



for emergency access. ~~A turnaround must be provided prior to the gate.~~ All gates shall be installed with an automated entry device approved by the Fire Department to facilitate emergency access.

f. The following language in Section 3.IV.H.1.iii (Amenity and Design Standards for Townhouse and Hybrid Housing Developments) is deleted: ~~In addition to the requirements above, the developer shall plant one tree per 2,500 square feet of developed area, including streets and drainage facilities.~~

14. Miscellaneous.

a. Site plans, certificates of occupancy, building permits and plats, including, but not limited to, a preliminary plat and a final plat, shall be approved if it complies with the Governing Regulations.

b. In addition to other permitted crosswalk materials, stamped and stained concrete may be used in crosswalks. All crosswalks must comply with the Americans with Disabilities Act.

c. To the extent the City adopts an amendment to the UDC or any other Governing Regulations that imposes a building setback of greater than 300 feet for a new building from any gas well related facility at any time during the term of the Development Agreement, the City agrees that the maximum building setback the City may impose for a new building within the Property shall be 300 feet.

d. When the UDC requires site plan approval for a non-residential or multi-family use or structure, the site plan shall be approved if the proposed use is a permitted use and the site plan complies with the UDC as amended herein. No site plan approval shall be required for (i) single family detached or attached development; or (ii) non-residential or multi-family development except as required by the UDC.

e. Unless required by Texas Water Code Section 11.086, storm water detention will not be required.

f. An easement shall be required around residential mailboxes to allow the HOA to maintain the pad, boxes, and pedestals.

g. Notwithstanding any other provision or ordinance to the contrary, up to three (3) temporary HUD-certified manufactured homes may be located within the Property, but only to the extent necessary for the creation or administration of the District (including, but not limited to, providing qualified voters within the District or qualifying persons to serve on the Board of Directors of the District). Owner will notify the City and the county of the location and 911 address of each home prior to the home becoming occupied. Manufactured homes permitted by this paragraph: (a) are not required to be located on a platted lot; (b) require a building permit; (c) do not require a certificate of substantial completion; (d) have to comply with the Governing Regulations; (e) do require any permit or other approval by the City; and (f) will be promptly, being no longer than 180 days, removed (i) when no longer needed for the creation or administration of the District, or (ii) when they have been unoccupied by a



resident for longer than ninety (90) days. Notwithstanding any other provision, manufactured homes shall be removed prior to construction of the first phase of single-family development. Manufactured homes shall, however, be subject to all permits or approvals otherwise required by the County; and the City agrees to cooperate in good faith to assist Owner in obtaining such permits and approvals and in obtaining water, sewer, and utility service for such homes. The Manufactured homes must be connected directly to the City's wastewater system or connected to a temporary holding tank which will be pumped as regularly as necessary. A temporary septic tank be used in connection with temporary manufactured homes, provided the septic tank is removed upon removal of the manufactured home.

h. The conveyance, from time to time, by metes and bounds or otherwise of any portion of the Property to any person for the purpose of qualifying such person to be a member of the board of directors of the District shall not be considered a subdivision of land requiring a plat or otherwise requiring the approval of the City; provided, however, no Structure, other than manufactured housing authorized by the prior paragraph, shall be constructed on any property conveyed for such purpose unless and until a plat of such portion has been approved by the City in accordance with the Governing Regulations.

i. Thoroughfares, including both minor and major thoroughfares, shall be designed to maintain one ten-foot (10') dry lane in each direction for the 100-year flood.

j. The City or a third-party inspector approved by the City, at the Owner's option, shall inspect all improvements for compliance with the Governing Regulations, and Owner shall either pay the City's inspection fee pursuant to the City's generally applicable citywide fee schedule as defined in the UDC or shall pay the third-party inspector directly, as applicable. Notwithstanding, the City must inspect all Public Infrastructure to be dedicated to the City before acceptance by the City.



**Table 1: Lot Dimensions for Mixed-Use District\***

		<b>Multi-family use</b>	<b>Townhouse use</b>	<b>Nonresidential use</b>
<b>Maximum Density (DU/Acre)</b>		32	13.2	(N/A)
<b>Minimum Living Area (SF. FT.)</b>		550	1,150	(N/A)
<b>Maximum One Bedroom Units (in %)</b>		75	(N/A)	(N/A)
<b>Minimum Lot Dimensions (Feet)</b>	<b>Area (SQ. FT.)</b>	12,000	1,600	5,000
	<b>Width</b>	100	20	50
	<b>Depth</b>	120	80	100
<b>Minimum Building Setbacks (Feet)</b>	<b>Front**</b>	30 (5 if units front a street)	10	25
	<b>Rear**</b>	15	18	0, except 20' adjacent to residential zoning
	<b>Rear Alley</b>	10	18	(N/A)
	<b>Rear Arterial</b>	(N/A)	20	0
	<b>Interior Side (If attached)</b>	15	5	(N/A)
	<b>Side on Street</b>	30 (10 if units front street)	10	See Table 1-A for Adjacent Residential Zoning or Use and Table 1-B for Non-Adjacent Residential Zoning or Use
	<b>Garage Door</b>	(N/A)	20	(N/A)
	<b>Between Buildings</b>	15	0	0
	<b>Driveway Length</b>	(N/A)	22***	(N/A)
<b>Maximum Height (Feet)</b>		75 (5 story)	45 (3 story)	25
<b>Maximum Lot Coverage (%)</b>		(N/A)	85	
<b>Garage Orientation</b>		(N/A)	Front or Rear Entry	(N/A)

\*All uses other than a multi-family use or townhouse use shall comply with the dimensional requirements applicable to development in the General Retail zoning district. The dimensional standards in this table are the exclusive dimensional standards applicable to multi-family and townhouse uses.

\*\*Porches and patios may encroach into the required front and rear building setbacks by a maximum of ten feet, but may not encroach on utility easements.

\*\*\*Driveway length shall measured from the edge of the sidewalk furthest from the roadway for front entry homes, and measured from the edge of the alley for rear entry homes.



**Building Height Table 1-A (Residential Adjacent)**

Setback	Building Height
10 feet	<15 feet
20 feet	<25 feet

**Building Height Table 1-B (Non-Residential Adjacent)**

Setback	Building Height
10 feet	<25 feet



**Table 2: Lot Dimensions for Urban Residential\***

		<b>Multi-family</b>	<b>Townhouse</b>	<b>Single family zero lot line</b>
<b>Minimum Lot Size (Feet)</b>		(N/A)	20 x 80	30 x 100
<b>Maximum Density (DU/Acre)</b>		32	13.2	10.7
<b>Minimum Living Area (SF. FT.)</b>		550	1,150	1,200
<b>Maximum One Bedroom Units (in %)</b>		75	(N/A)	(N/A)
<b>Minimum Lot Dimensions (Feet)</b>	<b>Area (SQ. FT.)</b>	12,000	1,600	3,000
	<b>Width</b>	100	20	30
	<b>Depth</b>	120	80	100
<b>Minimum Building Setbacks (Feet)</b>	<b>Front</b>	30 (5 if units front a street)	10	20
	<b>Rear</b>	15	18	10
	<b>Rear Alley</b>	10	18	10
	<b>Rear Arterial</b>	(N/A)	20	20
	<b>Interior Side (If attached)</b>	15	5	10
	<b>Side on Street</b>	30 (10 if units front street)	10	15
	<b>Garage Door</b>	(N/A)	20	22
	<b>Between Buildings</b>	15	(N/A)	6
	<b>Driveway Length</b>	N/A	22**	25**
<b>Maximum Height (Feet)</b>		75 (5 story)	45 (3 Story)	36 (2 Story Min.)
<b>Maximum Lot Coverage (%)</b>		(N/A)	85	60
<b>Garage Orientation</b>		(N/A)	Front or Rear Entry***	Front or Rear Entry***
<b>Maximum % of Dwelling Units in the Urban Residential Area</b>		95%	N/A	N/A

\*The dimensional standards in this table are the exclusive dimensional standards applicable to multi-family, townhouse, and single family zero lot line uses. Permitted uses that are not any of the uses listed in the table above, such as a school use, shall follow the dimensional standards applicable to multi-family. Porches and patios may encroach into the required front and rear building setbacks by a maximum of ten feet, but may not encroach on utility easements.

\*\* Measured from the edge of the sidewalk furthest from the roadway for front entry homes, and measured from the edge of the alley for rear entry homes.

\*\*\*Front entry garages shall not make up more than 40 percent of the garages in the Urban Residential area at full buildout.

**Additional Notes to Table 2:** Plats for zero lot line homes shall designate the side with the zero-foot building setback and the side with the minimum ten (10) foot building setback. A five-foot maintenance easement shall also be provided along the lot line adjacent to a neighboring lot's zero setback side. The maintenance easement shall include a drainage easement to allow for lot-to-lot drainage.



**Table 3: Lot Dimensions for Medium Residential\***

		Townhouse	Single family zero lot line	Single Family Detached				
Minimum Lot Size (Feet)		20 x 80	30 x 110	40 x 100	55 x 100	60 x 100	70 x 120	80 x 120
Maximum Density (DU/Acre)		13.2	10.7	9.7	8.7	8.7	5.2	4.5
Minimum Living Area (SF. FT.)		1,150	1,200	1,300	1,400	1,600	2,000	2,200
Minimum Lot Dimensions (Feet)	Area (SQ. FT.)	1,600	3,000	4,000	5,500	6,000	8,400	9,600
	Width	20	30	40	55	60	70	80
	Depth	80	100	100	100	100	120	120
Minimum Building Setbacks (Feet)**	Front	10	15	20	20	25	25	25
	Rear	5	10	10	10	10	10	10
	Rear Alley	5	10	10	10	10	10	10
	Rear Arterial	20	20	20	20	20	30	30
	Interior Side (If attached)	5	10	5	5	5	6	6
	Side on Street	10	15	15	15	15	15	15
	Garage Door	20	22	22	22 Rear, 25 Front, 15 J-Swing	22 Rear, 25 Front, 15 J-Swing	22 Rear, 25 Front, 15 J-Swing	22 Rear, 25 Front,15 J-Swing
	Between Buildings	0	6	6	6	6	6	6
	Driveway Length	22	22 Rear, 25 Front	22 Rear, 25 Front	22 Rear, 25 Front	22 Rear, 25 Front	22 Rear, 25 Front	22 Rear, 25 Front
Maximum Height (Feet)		45 (3 Story)	36 (2 Story Min.)	36 (2 Story Min.)	36	36	36	36
Maximum Lot Coverage (%)		85	70	70	70	70	70	65
Garage Orientation		Rear Entry Only	Rear Entry Only	Rear Entry Only	Rear, Front, Side, & J-swing	Rear, Front, Side, & J-swing	Rear, Front, Side, & J-swing	Rear, Front, Side, & J-swing

\*The dimensional standards in this table are the exclusive dimensional standards applicable to townhouse, single family zero lot line, and single family detached uses. Permitted uses that are not any of the uses listed in the table above, such as a school use, shall follow the dimensional standards applicable



**to multi-family. Porches and patios may encroach into the required front and rear building setbacks by a maximum of ten feet, but may not encroach on utility easements.**

**\*\* Measured from the edge of the sidewalk furthest from the roadway for front entry homes, and measured from the edge of the alley for rear entry homes, to allow sufficient space for vehicles to park**

**Additional Notes to Table 3:** Plats for zero lot line homes shall designate the side with the zero-foot building setback and the side with the minimum ten (10) foot building setback. A five-foot maintenance easement shall also be provided along the lot line adjacent to a neighboring lot's zero setback side. The maintenance easement shall include a drainage easement to allow for lot-to-lot drainage.



**Table 4: Lot Dimensions for Estate Residential\***

		<b>Single Family Detached</b>
<b>Minimum Lot Size (Feet)</b>		100 x 130
<b>Maximum Density (DU/Acre)</b>		3.6
<b>Minimum Living Area (SF. FT.)</b>		3,000
<b>Minimum Lot Sizes &amp; Dimensions (Feet)</b>	<b>Area (SQ. FT.)</b>	13,000
	<b>Width</b>	100
	<b>Depth</b>	130
<b>Minimum Building Setbacks (Feet)</b>	<b>Front</b>	25
	<b>Rear</b>	10
	<b>Rear Alley</b>	20
	<b>Rear Arterial</b>	30
	<b>Interior Side</b>	8
	<b>Side on Street</b>	15
	<b>Garage Door</b>	5 rear (detached) Otherwise 25
	<b>Between Buildings</b>	6
<b>Maximum Height (Feet)</b>		36
<b>Maximum Lot Coverage (%)</b>		65
<b>Garage Orientation</b>		Rear, Front, Detached, Side & J-swing)

\*The dimensional standards in this table are the exclusive dimensional standards applicable to single family detached uses. Porches and patios may encroach into the required front and rear building setbacks by a maximum of ten feet, but may not encroach on utility easements.





## CITY OF GRAND PRAIRIE COMMUNICATION

**MEETING DATE:** 11/11/2024

**REQUESTER:** Monica Espinoza, Administrative Supervisor

**PRESENTER:** Abdul R. Ghous, AICP, Senior Planner

**TITLE:** ZON-24-09-0025 - Zoning Change/Concept Plan - Polo SFA Amendment (City Council District 6). PD Amendment (PD-410A) to allow 1,600 sq. ft. Single Family Attached units on 2.909 acres. Tract 11.3, Thomas J. Tone Survey, Abstract No. 1460, City of Grand Prairie, Dallas County, Texas, zoned PD-410A and approximated addresses of 4529-4554 Harmony Ct

**APPLICANT:** Ola Banwo, Banwo Incorporated

**RECOMMENDED ACTION:** Approve

### SUMMARY:

PD Amendment (PD-410A) to allow 1,600 sq. ft. Single Family Attached units on 2.909 acres. Tract 11.3, Thomas J. Tone Survey, Abstract No. 1460, City of Grand Prairie, Dallas County, Texas, zoned PD-410A and approximated addresses of 4529-4554 Harmony Ct.

### PURPOSE OF REQUEST:

The purpose of this request is to amend the existing Planned Development District No. 410A to allow 1,600 sq. ft. single family attached dwellings instead of the required 2,100 sq. ft.

### ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1. Zoning and Land Use**

Direction	Zoning	Existing Use
North	PD-174	Overhead Electrical Transmission Lines
South	Agricultural	Single Family Detached Residential
West	PD-174	Child Day Care Center
East	SH-174	Single Family Detached Residential



## **HISTORY:**

- July 16, 1985: City Council approved a zoning change for a Planned Development, which consists of Multi-Family Uses, Office/Retail/Commercial Uses and Single Family-Detached & Garden Home Uses (Case Number Z854LS31). While the original PD-174 allows for multi-family uses, the properties included in the three tracts developed for single family detached residential uses. The five (5) acres Tract R-1 within Tract II designation of PD-174 is the subject property of this request. PD-174 specifically designates five acres; Tract R-1 within Tract II for General Retail uses. A child day care center was subsequently developed on the 1.89- acre lot on the hard corner in April 1999 (Case Number AS990503). The remaining 2.9-acre tract is the subject of this request and remains undeveloped.
- June 18, 1996: City Council approved a zoning change amending Planned Development-174 designating Tract C-1 within Tract II for single family detached residential uses developed at Single Family Five/Sixteen (SF-5/16) standards rather than multifamily uses and comply with City Standards Fence requirements in conformity with fences in design, materials and colors with existing fences along Polo Road and Morningside Drive (Case Number Z960510).
- March 16, 2021: City Council approved a zoning change from Planned Development-174 to Planned Development-410 to allow single family attached residential uses (Case Number Z210101/CP210101).
- March 19, 2024: City Council approved a zoning amendment from PD-410 to PD-410A to decrease the minimum living area from 2,600 sq. ft. to 2,100 sq. ft. (Case Number ZON-24-01-0001).

## **PROPOSED USE CHARACTERISTICS AND FUNCTION:**

The Concept Plan depicts 11, two-story single family residential attached buildings consisting of 10 duplexes and one triplex. The applicant intends to develop these as for sale units. Three common open space areas are provided, with two areas located towards the entryway and another common area located on the north side of the development. A residential street connecting with W. Polo Road provides direct access to the development. The units have front-loaded, double car garages with a landscaped island between each unit's driveway.

## **PUBLIC NOTICE:**

Notice of this item was published in the Fort Worth Star Telegram and letters were provided to 36 surrounding properties meeting the distance requirements in the Unified Development Code. As of the writing of this staff memo, the following letters have been received:

In Support: None

In Opposition: None

## **RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval.

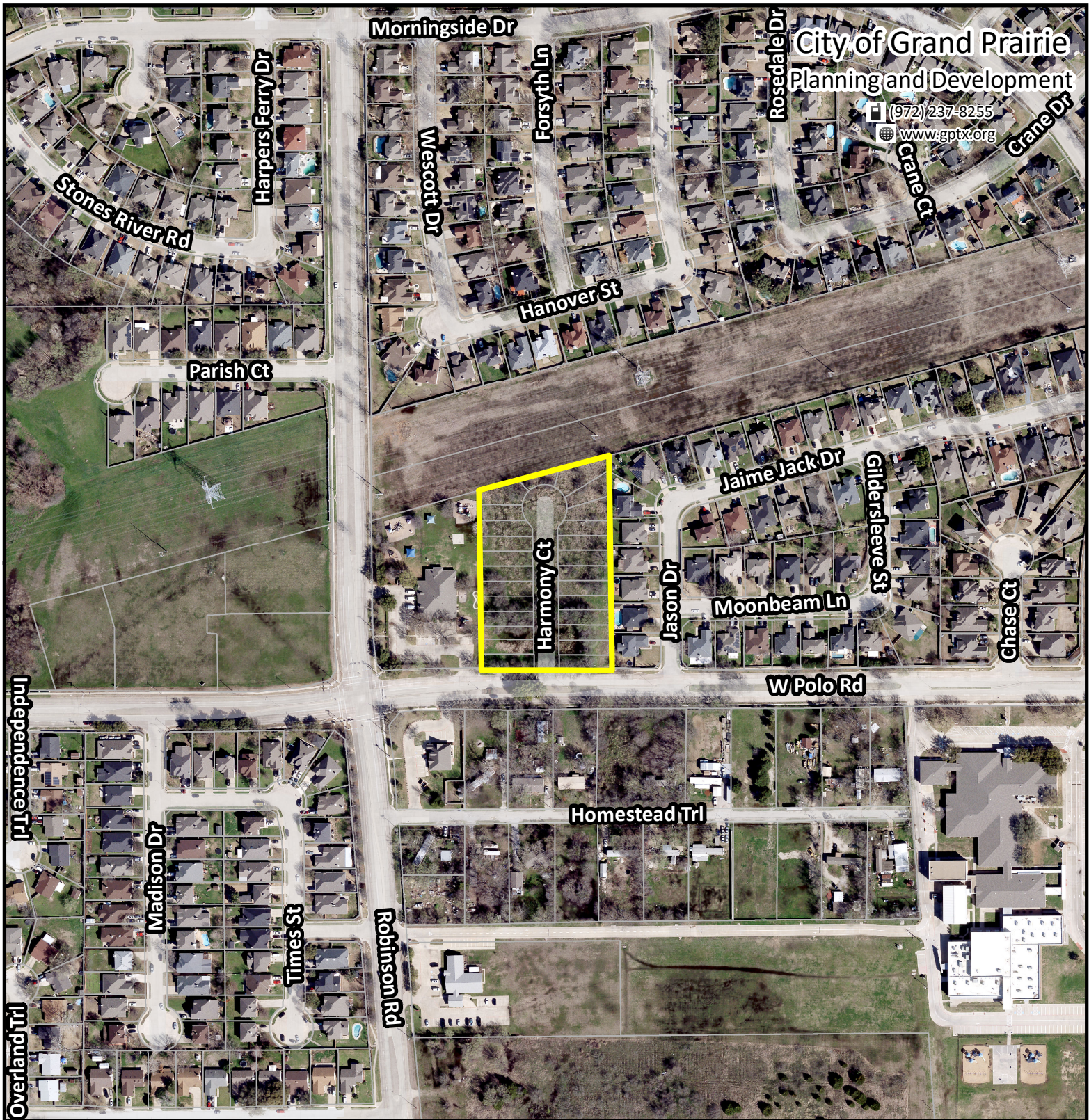





# Exhibit A- Location Map

## Page 1 of 1

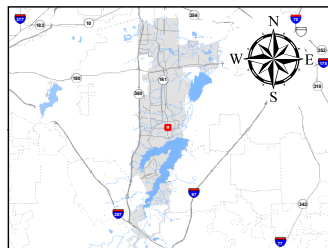
CASE LOCATION MAP  
ZON-24-09-0025  
HARMONY CT

Item9.



-  Location
-  Street Center Line
-  Parcels

The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to public based on the Public Information Act. The City of Grand Prairie makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.



0 0.06 Miles

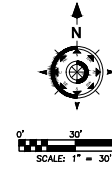
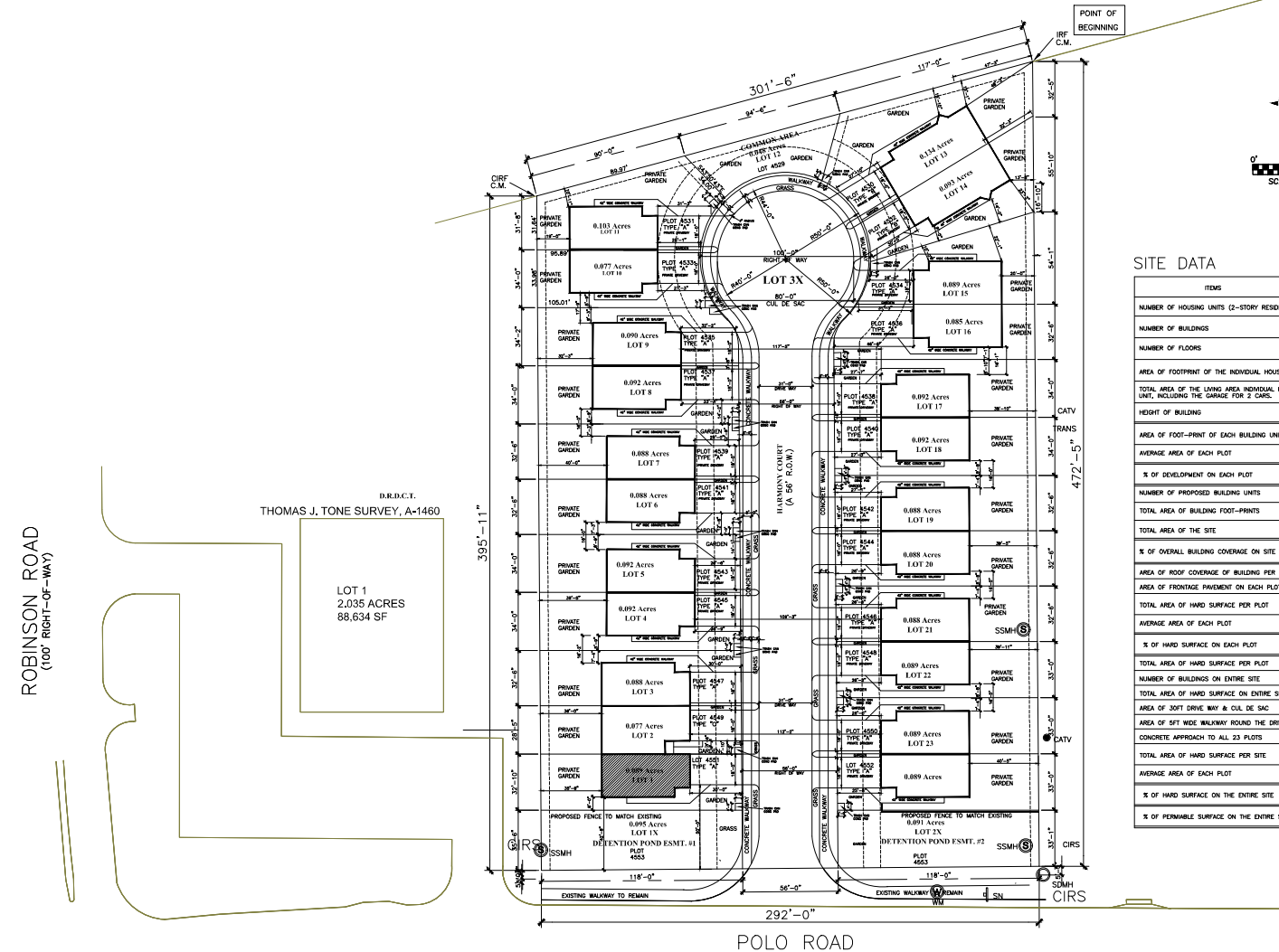
**Grand Prairie**  
TEXAS

PLANNING  
Date: 10/2/202

118



Exhibit B - Site Plan  
Page 1 of 1



## SITE DATA

ITEMS	DATA	REMARKS
NUMBER OF HOUSING UNITS (2-STORY RESIDENCE)	23 HOUSING UNITS	
NUMBER OF BUILDINGS	11 BUILDINGS	10 DUPLEXES & 1 TRIPLET
NUMBER OF FLOORS	2 FLOORS (GROUND + 1 UPPER FLOOR)	
AREA OF FOOTPRINT OF THE INDIVIDUAL HOUSING UNIT	1,300 SQ. FT.	
TOTAL AREA OF THE LIVING AREA INDIVIDUAL HOUSING UNIT, INCLUDING THE GARAGE FOR 2 CARS	2,100 SQ. FT.	
HEIGHT OF BUILDING	20 FEET (1ST FLOOR LINE, TO ROOF LINE)	
AREA OF FOOT-PRINT OF EACH BUILDING UNIT	1,300 SQ. FT.	
AVERAGE AREA OF EACH PLOT	4,000 SQ. FT.	
% OF DEVELOPMENT ON EACH PLOT	32.50%	
NUMBER OF PROPOSED BUILDING UNITS	23 BUILDING UNITS	
TOTAL AREA OF BUILDING FOOT-PRINTS	29,800 SQ. FT.	
TOTAL AREA OF THE SITE	126,700 SQ. FT.	
% OF OVERALL BUILDING COVERAGE ON SITE	23.50%	
AREA OF ROOF COVERAGE OF BUILDING PER PLOT	1,300 SQ. FT.	
AREA OF FRONTAGE PAVEMENT ON EACH PLOT	385 SQ. FT.	
TOTAL AREA OF HARD SURFACE FOR PLOT	1,685 SQ. FT.	
AVERAGE AREA OF EACH PLOT	4,000 SQ. FT.	
% OF HARD SURFACE ON EACH PLOT	42.14%	
TOTAL AREA OF HARD SURFACE PER PLOT	1,685 SQ. FT.	
NUMBER OF BUILDINGS ON ENTIRE SITE	23 BUILDING UNITS	
TOTAL AREA OF HARD SURFACE ON ENTIRE SITE	38,755 SQ. FT.	
AREA OF NORTH DRIVE WAY & CUL. DE SAC	14,000 SQ. FT.	
AREA OF SET BACK WALKWAY ROUND THE DRIVEWAY	3,584 SQ. FT.	
CONCRETE APPROACH TO ALL 23 PLOTS	3,050 SQ. FT.	
TOTAL AREA OF HARD SURFACE PER SITE	60,289 SQ. FT.	
AVERAGE AREA OF EACH PLOT	126,700 SQ. FT.	
% OF HARD SURFACE ON THE ENTIRE SITE	47.58%	(60,289 SF. FT.)
% OF PERMEABLE SURFACE ON THE ENTIRE SITE	52.41%	(66,411 SF. FT.)

## DESIGN CONSULTANTS

**BANWO**  
BANWO GLOBAL CONCEPT  
PLANNING • ARCHITECTURE • ENGINEERING • INTERIORS

10119 Norman Court,  
Irving, Texas 75063, USA.

Tel : 214-994-6667  
Email: [banwoincorporated@gmail.com](mailto:banwoincorporated@gmail.com)

## REVISIONS

[illegible]

ACTIVITY	BY
----------	----

Manager	Old Bates, MA, 3000, USD Accountant Professional
Design	Old Bates,
Draw	
Check	

## APPROVALS

\_\_\_\_\_

PROJECT NAME &amp; ADDRESS

PROPOSED HOUSE  
ON LOT 3  
4551 HARMONY COURT,  
GRAND PRAIRIE, TX 75052

OWNER / APPLICANT

APPLICANT/OWNER'S CONTACT:  
CLIENT: MR. O. J. KUYE  
PHONE: 817-939-1075

CASE NUMBER: ZON-24-09-0025

REGISTRATION STAMP



## OVERALL SITE PLAN

Job No. \_\_\_\_\_

DATE: 16/OCT/2024

Drawing No. (1)

(A0.51)  
REV. "—" )

119





1  
A2.01

TRIPLEX:  
FRONT ELEVATION - 80% MASONRY; 20% WOOD SIDING  
SCALE: 1/4" = 1'-0"



2  
A2.01

TRIPLEX  
LEFT-SIDE ELEVATION - SAMPLE OF BRICK  
SCALE: NTS



3  
A2.01

TRIPLEX  
LEFT-SIDE ELEVATION - SAMPLE OF SPLIT-CMU & BRICK TRIM  
SCALE: NTS

WINDOW SPECIFICATIONS:

- "Solarban 90"
- SHGC = 0.23
- VT = 0.50
- U-FACTOR = 0.460
- SEE SHEET A1.52 FOR THE WINDOW SCHEDULE.

DESIGN CONSULTANTS

**BANWO**  
BANWO GLOBAL CONCEPT  
ARCHITECTURAL CONSULTANTS & ENGINEERS

10119 Norman Court,  
Living, Texas 75063, USA.  
Tel : 214-994-0667  
Email: banwoincorporated@gmail.com

REVISIONS

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

ACTIVITY BY DATE

Manager: (Ch. Banwo, Inc. Owner, User, Account Manager)

Design: (Ch. Banwo, Inc. Owner, User, Account Manager)

Draw: (Ch. Banwo, Inc. Owner, User, Account Manager)

Check: (Ch. Banwo, Inc. Owner, User, Account Manager)

APPROVALS

PROJECT NAME & ADDRESS

PROPOSED HOUSE  
ON LOT 3  
4551 HARMONY COURT,  
GRAND PRAIRIE, TX 75052

OWNER / APPLICANT

APPLICANT/OWNER'S CONTACT:  
CLIENT: MR. O. J. KUYE  
PHONE: 817-939-1075

CASE NUMBER: ZON-24-09-0025



TRIPLEX  
FRONT ELEVATION

Job No.  
DATE: 16/OCT/2024

Drawing No. **A2.01**  
REV. "-"

FOR CONSTRUCTION

CASE NUMBER: ZON-24-09-0025