



PLANNING & ZONING COMMISSION REGULAR MEETING

City of Dripping Springs
Council Chambers, 511 Mercer St, Dripping Springs, TX
Tuesday, November 23, 2021 at 6:30 PM

Agenda

CALL TO ORDER AND ROLL CALL

Commission Members

Mim James, Chair
James Martin, Vice Chair
Christian Bourguignon
Doug Crosson
John McIntosh
Evelyn Strong
Tammie Williamson

Staff, Consultants & Appointed/Elected Officials

City Administrator Michelle Fischer
Deputy City Administrator Ginger Faught
City Attorney Laura Mueller
City Secretary Andrea Cunningham
Planning Director Howard Koontz
Senior Planner Tory Carpenter

PLEDGE OF ALLEGIANCE

PRESENTATION OF CITIZENS

A member of the public who desires to address the Commission regarding any item on an agenda for an open meeting may do so at presentation of citizens before an item or at a public hearing for an item during the Commission's consideration of that item. Citizens wishing to discuss matters not contained within the current agenda may do so, but only during the time allotted for presentation of citizens. Speakers are allowed two (2) minutes to speak during presentation of citizens or during each public hearing. Speakers may not cede or pool time. Members of the public requiring the assistance of a translator will be given twice the amount of time as a member of the public who does not require the assistance of a translator to address the Commission. It is the request of the Commission that members of the public wishing to speak on item(s) on the agenda with a noticed Public Hearing hold their comments until the item(s) are presented for consideration. Speakers are encouraged to sign in. Anyone may request a copy of the City's policy on presentation of citizens from the city secretary. By law no action may be taken during Presentation of Citizens.

CONSENT AGENDA

The following items are anticipated to require little or no individualized discussion due to their nature being clerical, ministerial, mundane or routine. In an effort to enhance the efficiency of Planning & Zoning Commission meetings, it is intended that these items will be acted upon by the Planning & Zoning Commission with a single motion because no public hearing or determination is necessary. However, a

Planning & Zoning Commission Member or citizen may request separate deliberation for a specific item, in which event those items will be removed from the consent agenda prior to the Planning & Zoning Commission voting on the consent agenda as a collective, singular item. Prior to voting on the consent agenda, the Planning & Zoning Commission may add additional items that are listed elsewhere on the same agenda.

- 1. Approval of the Planning & Zoning Commission November 9, 2021, regular meeting minutes.**
- 2. Approval of the Planning & Zoning Commission November 15, 2021, special meeting minutes.**
- 3. Approval of SUB2021-0064: an application for Caliterra Phase 4 Section 11 Final Plat for a 39.911 acre tract located at Soaring Hill Road and Fish Trap Road out of the Philip A. Smith Survey. Applicant: Bill Coach, Carlson Brigrance and Doering.**
- 4. Disapproval of SUB2021-0065: an application for Heritage Phase 2 Final Plat for a 69.999 acre tract located on Sportsplex Drive out of the Philip A. Smith Survey. Applicant: Sarah Mays, P.E., Kimley-Horn.**
- 5. Disapproval of SUB2021-0051: an application for Hardy Land North Preliminary Plat for a 38.680 acre tract located at 2901 W US 290 out of the Benjamin F. Hannah Survey. Applicant: Brian Estes, Civil and Environmental Consultants Inc.**
- 6. Approval of SUB2021-0052: an application for Cannon Ranch Preliminary Plat for 100.58 acres on Cannon Ranch Road out of the Philip A. Smith and C.H. Surveys. Applicant: Jake Helmburg, Doucet & Associates.**

BUSINESS

- 7. Public hearing and consideration of a recommendation regarding ZA2021-0007: an application to consider a proposed zoning map amendment from Agriculture (AG) to Single Family Residential - Moderate Density (SF-2) for approximately 39.341 acres out of the Benjamin F. Hannah Survey, located at 2901 W US 290, Dripping Springs, Texas. Applicant: Brian Estes, P.E., Civil and Environmental Consultants Inc.**
 - a. Presentation
 - b. Staff Report
 - c. Public Hearing
 - d. Zoning Amendment
- 8. Public hearing and consideration of a recommendation regarding ZA2021-0009: an application for an amendment to the Shops at Highpointe Conditional Overlay for an approximately 10.0 acres of land out of tract A of the Sawyer Springs Subdivision located at the corner of US 290 and Sawyer Ranch Road. Applicant: JD Dudley, QuikTrip Corporation.**
 - a. Presentation
 - b. Staff Report
 - c. Public Hearing
 - d. Conditional Overlay Amendment

- 9.** Public hearing and consideration of a recommendation regarding ZA2021-0010: an application to consider a proposed zoning map amendment from Manufactured Home (MH) to General Retail (GR) for an approximately 1.44 acres consisting of lots 1, 2, 3, 26, 27, and 28, block C out of the North Forty Section 2 subdivision located at the intersection of Ranch Road 12 and Timberline Drive. Applicant: Gilbert J. Guerra, P.E., Rio Delta Engineering.

- a. Presentation
- b. Staff Report
- c. Public Hearing
- d. Zoning Amendment

- 10.** Discussion related to the 2022 Planning & Zoning Commission meeting schedule and regular meeting start time.

PLANNING & DEVELOPMENT REPORTS

11. Planning Report

- a. Planning Report
- b. Moratorium
- c. Comprehensive Plan

EXECUTIVE SESSION

The Planning & Zoning Commission for the City of Dripping Springs has the right to adjourn into executive session at any time during the course of this meeting to discuss any matter as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 Deliberations about Gifts and Donations), 551.074 Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development). The Planning & Zoning Commission for the City of Dripping Springs may act on any item listed in Executive Session in Open Session or move any item from Executive Session to Open Session for action.

UPCOMING MEETINGS

Planning & Zoning Commission Meetings

December 14, 2021, at 6:30 p.m.

December 28, 2021, at 6:30 p.m.

January 11, 2022, at 6:30 p.m.

January 25, 2022, at 6:30 p.m.

City Council & Board of Adjustment Meetings

December 7, 2021, at 6:00 p.m. (CC & BOA)

December 21, 2021 at 6:00 p.m. (CC)

January 4, 2022, at 6:00 p.m. (CC & BOA)

January 18, 2022, at 6:00 p.m. (CC)

ADJOURN

TEXAS OPEN MEETINGS ACT PUBLIC NOTIFICATION & POSTING OF MEETING

All agenda items listed above are eligible for discussion and action unless otherwise specifically noted. This notice of meeting is posted in accordance with Chapter 551, Government Code, Vernon's Texas Codes. Annotated. In addition, the Commission may consider a vote to excuse the absence of any Commissioner for absence from this meeting.

*I certify that this notice of meeting was posted at the City of Dripping Springs City Hall and website, www.cityofdrippingsprings.com, on **November 19, 2021, at 2:00 p.m.***

Michelle Fischer for City Secretary

This facility is wheelchair accessible. Accessible parking spaces are available. Requests for auxiliary aids and services must be made 48 hours prior to this meeting by calling (512) 858-4725.



PLANNING & ZONING COMMISSION REGULAR MEETING

City of Dripping Springs

Council Chambers, 511 Mercer St, Dripping Springs, TX

Tuesday, November 09, 2021 at 6:30 PM

MINUTES

CALL TO ORDER AND ROLL CALL

With a quorum of the Commission present, Chair James called the meeting to order at 6:31 p.m.

Commission Members present were:

Mim James, Chair
James Martin, Vice Chair
Christian Bourguignon
Doug Crosson
John McIntosh
Tammie Williamson

Commission Member absent was:

Evelyn Strong

Staff, Consultants and Appointed/Elected Officials present were:

Deputy City Administrator Ginger Faught
City Attorney Laura Mueller
City Secretary Andrea Cunningham
Planning Director Howard Koontz
Senior Planner Tory Carpenter
Public Works Director Aaron Reed

PLEDGE OF ALLEGIANCE

Commissioner McIntosh led the Pledge of Allegiance to the Flag.

PRESENTATION OF CITIZENS

A member of the public who desires to address the Commission regarding any item on an agenda for an open meeting may do so at presentation of citizens before an item or at a public hearing for an item during the Commission's consideration of that item. Citizens wishing to discuss matters not contained within the current agenda may do so, but only during the time allotted for presentation of citizens. Speakers are allowed two (2) minutes to speak during presentation of citizens or during each public hearing. Speakers may not cede or pool time. Members of the public requiring the assistance of a translator will be given twice the amount of time as a member of the public who does not require the assistance of a translator to address the Commission. It is the request of the Commission that members of the public wishing to speak on item(s) on the agenda with a noticed Public Hearing hold their comments until the item(s) are presented for consideration. Speakers are encouraged to sign in. Anyone may request a copy of the City's policy on

presentation of citizens from the city secretary. By law no action may be taken during Presentation of Citizens.

Eugene Foster spoke regarding concerns with the Village Grove project and its impacts on neighboring communities.

Charlie Flatten, General Manager for the Hays Trinity Groundwater Conservation District, introduced himself to the commission.

CONSENT AGENDA

The following items are anticipated to require little or no individualized discussion due to their nature being clerical, ministerial, mundane or routine. In an effort to enhance the efficiency of Planning & Zoning Commission meetings, it is intended that these items will be acted upon by the Planning & Zoning Commission with a single motion because no public hearing or determination is necessary. However, a Planning & Zoning Commission Member or citizen may request separate deliberation for a specific item, in which event those items will be removed from the consent agenda prior to the Planning & Zoning Commission voting on the consent agenda as a collective, singular item. Prior to voting on the consent agenda, the Planning & Zoning Commission may add additional items that are listed elsewhere on the same agenda.

Via unanimous consent, Consent Agenda Item 6 was considered individually.

- 1. Approval of the October 12, 2021 and October 26, 2021, Planning & Zoning Commission regular meeting minutes.**
- 2. Disapproval of SUB2021-0060: an application for Parten Ranch Phase 6 & 7 Preliminary Plat for a 129.0 acre tract located on Parten Ranch Parkway near Running Bird Road out of the Seaborn J. Whatley and Lamar Moore Surveys. Applicant: Dan Ryan, LJA Engineering**
- 3. Disapproval of SUB2021-0061: an application for Big Sky Ranch Phase 3 Final Plat for a 81.71 acre tract located at the intersection of Sue Peaks Loop and Diablo Rim Terrace out of the Philip A. Smith Survey. Applicant: Christopher Reid, Doucet & Associates.**
- 4. Disapproval of SUB2021-0062: an application for Big Sky Ranch Phase 4 Final Plat for a 212.4 acre tract located at the intersection of Lone Peak Way and Bartlett Peak Lane out of the Philip A. Smith Survey. Applicant: Christopher Reid, Doucet & Associates.**
- 5. Approval of SUB2020-0040: an application for Esperanza Phase 2 Final Plat for a 52.4 acre tract located at the intersection of Bell Springs Road and Prairie Clover Drive out of the B.F. Hannah Survey. Applicant: Adrian Rosas, TRE & Associates.**
- 6. Approval of SUB2021-0046: an application for Driftwood GRC Phase 3 Final Plat for a 56.33 acre tract located on Driftwood Ranch Drive out of the Frelove Woody Survey. Applicant: Ronee Gilbert, Murphee Engineering Company.**

A motion was made by Vice Chair Martin to approve SUB2021-0046: an application for Driftwood GRC Phase 3 Final Plat for a 56.33 acre tract located on Driftwood Ranch Drive

out of the Freeloove Woody Survey. Commissioner Williamson seconded the motion which carried 5 to 0 to 1, with Commissioner Crosson recused.

- 7. Disapproval of SUB2021-0064: an application for Caliterra Phase 4 Section 11 Final Plat for a 39.911 acre tract located at Soaring Hill Road and Fish Trap Road out of the Philip A. Smith Survey.** *Applicant: Bill Coach, Carlson Brigance and Doering.*

A motion was made by Vice Chair Martin to approve Consent Agenda Items 1 – 5 and 7. Commissioner Williamson seconded the motion which carried unanimously 6 to 0.

A motion was made by Chair James to adjourn into Executive Session under Texas Government Code Section 551.071, Consultation with City Attorney and regarding Executive Session Agenda Item 8. Vice Chair Martin seconded the motion which carried unanimously 6 to 0.

EXECUTIVE SESSION

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- 8. Consultation with City Attorney related to planning matters, wastewater capacity, comprehensive plan, and processes related to approvals.** *551.071, Consultation with City Attorney.*

The Commission met in Executive Session from 6:41 p.m. – 7:52 p.m.

No vote or action was taken during Executive Session. Chair James returned the meeting to Open Session at 7:52 p.m.

UPCOMING MEETINGS

Planning & Zoning Commission Meetings

November 23, 2021, at 6:30 p.m.

December 14, 2021, at 6:30 p.m.

December 28, 2021, at 6:30 p.m.

City Council & BOA Meetings

November 16, 2021, at 6:00 p.m. (CC)

December 7, 2021, at 6:00 p.m. (CC & BOA)

December 21, 2021, at 6:00 p.m. (CC)

ADJOURN

A motion was made by Vice Chair Martin to adjourn the meeting. Commissioner Bourguignon seconded the motion which carried unanimously 6 to 0.

This regular meeting adjourned at 7:52 p.m.



PLANNING & ZONING COMMISSION SPECIAL MEETING

City of Dripping Springs

Council Chambers, 511 Mercer St, Dripping Springs, TX

Monday, November 15, 2021 at 6:00 PM

MINUTES

CALL TO ORDER AND ROLL CALL

With a quorum of the Commission present, Chair James called the meeting to order at 6:00 p.m.

Commission Members present were:

Mim James, Chair
James Martin, Vice Chair
Doug Crosson
John McIntosh
Evelyn Strong
Tammie Williamson

Commissioner Member absent was:

Christian Bourguignon

Staff, Consultants & Appointed/Elected Officials present were:

City Attorney Laura Mueller
City Secretary Andrea Cunningham
Planning Director Howard Koontz
Planning Assistant Warlan Rivera
IT Coordinator Misty Dean
Communications & Marketing Director Lisa Sullivan
Utility Commission Chair Chuck Miller

PLEDGE OF ALLEGIANCE

Commissioner Crosson led the Pledge of Allegiance to the Flag.

PRESENTATION OF CITIZENS

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for consideration. Speakers are encouraged to sign in. Anyone may request a copy of the City's policy on presentation of citizens from the city secretary. By law no action may be taken during Presentation of Citizens.

Kathy Greer spoke in support of the proposed moratorium and expressed concerns regarding traffic, density of development and the ability of the city to maintain its hill country living experience.

BUSINESS

1. Public Hearing, Discussion, and Recommendation on an Ordinance of the City of Dripping Springs, Texas ("City") enacting a Temporary Moratorium on the Acceptance, Authorization, and Approvals necessary for the Subdivision, Site Planning, Development, or Construction in the City Limits and Extraterritorial Jurisdiction, providing for Findings of Fact, Definitions, Applicability, Purpose, Enactment, Duration, Extension, Exceptions, and Exemptions, Determination and Appeals, Repealer, Severability, Enforcement, Effective Date, and Proper Notice and Meeting.

a. Staff Report – Laura Mueller presented the staff report which is on file.

b. Public Hearing – No one spoke during the Public Hearing.

c. Moratorium Ordinance – A motion was made by Vice Chair Martin to recommend City Council approval of n Ordinance of the City of Dripping Springs, Texas ("City") enacting a Temporary Moratorium on the Acceptance, Authorization, and Approvals necessary for the Subdivision, Site Planning, Development, or Construction in the City Limits and Extraterritorial Jurisdiction, providing for Findings of Fact, Definitions, Applicability, Purpose, Enactment, Duration, Extension, Exceptions, and Exemptions, Determination and Appeals, Repealer, Severability, Enforcement, Effective Date, and Proper Notice and Meeting. Commissioner Strong seconded the motion which carried unanimously 6 to 0.

EXECUTIVE SESSION

The Planning & Zoning Commission for the City of Dripping Springs has the right to adjourn into executive session at any time during the course of this meeting to discuss any matter as authorized by Texas Government Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 Deliberations about Gifts and Donations), 551.074 Personnel Matters), 551.076 (Deliberations about Security Devices), and 551.086 (Economic Development). The Planning & Zoning Commission for the City of Dripping Springs may act on any item listed in Executive Session in Open Session or move any item from Executive Session to Open Session for action.

2. Consultation with City Attorney related to planning matters, wastewater capacity, comprehensive plan, and processes related to approvals. 551.071, Consultation with City Attorney.

The Commission did not meet in Executive Session.

UPCOMING MEETINGS

Planning & Zoning Commission Meetings

November 23, 2021, at 6:30 p.m.

December 14, 2021, at 6:30 p.m.

December 28, 2021, at 6:30 p.m.

City Council & Board of Adjustment Meetings

November 16, 2021, at 6:00 p.m. (CC)

November 22, 2021, at 6:00 p.m. (Special CC)

December 7, 2021, at 6:00 p.m. (CC & BOA)

December 21, 2021, at 6:00 p.m. (CC)

ADJOURN

A motion was made by Vice Chair Martin to adjourn the meeting. Commissioner Williamson seconded the motion which carried unanimously 6 to 0.

This special meeting adjourned at 6:30 p.m.

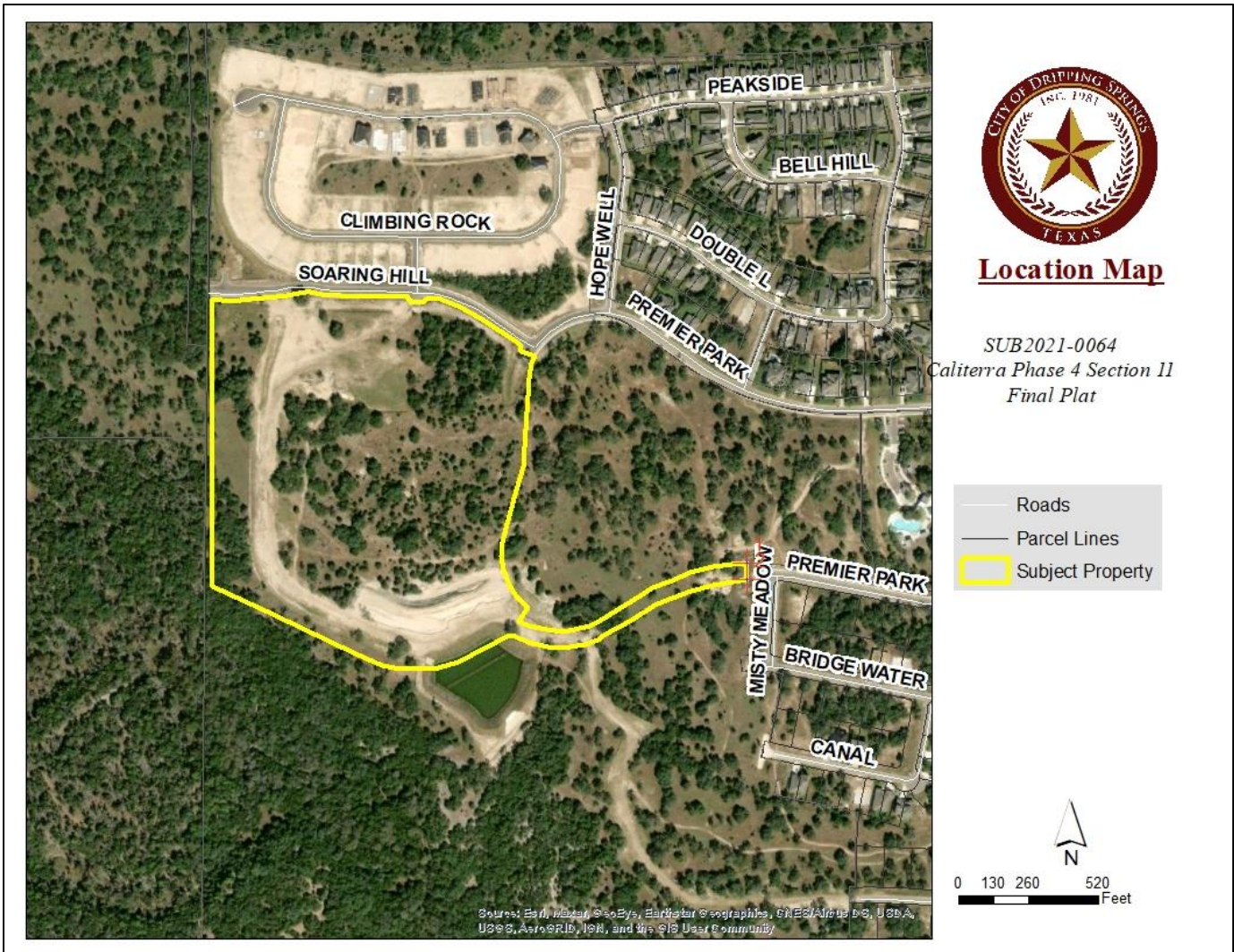


Planning & Zoning Commission Planning Department Staff Report

P&Z Meeting: November 23, 2021
Project Number: SUB2021-0064
Project Planner: Tory Carpenter, Senior Planner

Item Details

Project Name: Caliterra Phase 4 Section 11
Property Location: Soaring Hill Road and Fish Trap Road
Legal Description: 39.911 acres out of the Philip A. Smith Survey
Applicant: Bill E. Couch – Carlson Brigrance and Doering, Inc.
Property Owner: Development Solutions CAT, LLC
Request: A residential final plat.



Overview

The applicant is requesting approval of a final plat consisting of 103 residential lots.

Action Requested

Approval of the final plat.

Site Information

Location:

Lone Peak Way and Bartlett Peak Lane

Zoning Designation: ETJ (Caliterra Development Agreement)

Property History

This plat was denied by the Planning & Zoning Commission in September 2020 and again on November 10, 2021 to address comments.

Recommendation

Staff is recommending approval.

Attachments

Exhibit 1 – Plat

Exhibit 2 - Application

Recommended Action:	Approval.
Budget/Financial Impact:	All fees have been paid.
Public Comments:	None Received at this time.
Enforcement Issues:	N/A



CITY OF DRIPPING SPRINGS

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

• 512.858.4725 • www.cityofdrippingsprings.com

Item 3.

SUBDIVISION APPLICATION

Case Number (staff use only): _____ - _____

MEETINGS REQUIRED

(AS APPLICABLE PER SITE DEVELOPMENT ORDINANCE)

INFORMAL CONSULTATION	PRE-APPLICATION CONFERENCE
DATE: _____	DATE: _____

<input type="checkbox"/> NOT SCHEDULED	<input type="checkbox"/> NOT SCHEDULED
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PLAT TYPE

- Amending Plat
- Minor Plat
- Replat
- Final Plat
- Plat Vacation
- Other: Plat amendment

CONTACT INFORMATION

APPLICANT NAME Bill E. Couch, P.G., AICP CEP
COMPANY Carlson Brigance and Doering, Inc.
STREET ADDRESS 5501 W. Wm. Cannon Dr.
CITY Austin **STATE** TX **ZIP CODE** 78749
PHONE 512 280-5160 **EMAIL** bill@cbdeng.com

OWNER NAME Greg Rich
COMPANY Development Solutions CAT, LLC
STREET ADDRESS 12222 Merit Drive, Suite 1020
CITY Dallas **STATE** TX **ZIP CODE** 75251
PHONE (972) 960-2777 **EMAIL** grich@siepiela.com

PROPERTY INFORMATION	
PROPERTY OWNER NAME	Development Solutions CAT, LLC
PROPERTY ADDRESS	RR 12, DRIPPING SPRINGS, TX 78620
CURRENT LEGAL DESCRIPTION	
TAX ID #	R17804
LOCATED IN	<input type="checkbox"/> City Limits <input checked="" type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	37.911
SCHOOL DISTRICT	Drippings Springs ISD
ESD DISTRICT(S)	#1 and #6
ZONING/PDD/OVERLAY	PDD
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input type="checkbox"/> State Name: _____ <input checked="" type="checkbox"/> City/County (public) Name: Premier Park Loop
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input checked="" type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: _____

ENVIRONMENTAL INFORMATION	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

PROJECT INFORMATION	
PROPOSED SUBDIVISION NAME	Caliterra Ph 4 Sec 11
TOTAL ACREAGE OF DEVELOPMENT	37.911
TOTAL NUMBER OF LOTS	109
AVERAGE SIZE OF LOTS	0.262
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: <u>103</u> COMMERCIAL: _____ INDUSTRIAL: _____
ACREAGE PER USE	RESIDENTIAL: <u>29.673</u> COMMERCIAL: _____ INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>5979</u> PRIVATE: _____
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	SURFACE WATER <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER GROUND WATER* <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED? <input checked="" type="checkbox"/>YES <input type="checkbox"/>NO</p>	

COMMENTS: RoW alignment adjustment.

TITLE: Senior Project Manager SIGNATURE: *Bill E. Paul*

PUBLIC UTILITY CHECKLIST

ELECTRIC PROVIDER NAME (if applicable): on file

VERIFICATION LETTER ATTACHED NOT APPLICABLE

COMMUNICATIONS PROVIDER NAME (if applicable): on file

VERIFICATION LETTER ATTACHED NOT APPLICABLE

WATER PROVIDER NAME (if applicable): on file

VERIFICATION LETTER ATTACHED NOT APPLICABLE

WASTEWATER PROVIDER NAME (if applicable): on file

VERIFICATION LETTER ATTACHED NOT APPLICABLE

GAS PROVIDER NAME (if applicable): NA

VERIFICATION LETTER ATTACHED NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?*

(See attached agreement)

*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city’s website at www.cityofdrippingsprings.com and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED) YES (VOLUNTARY*) NO

APPLICANT'S SIGNATURE

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Applicant Name

Bill E. Couch

7-26-20

Applicant Signature

Bill E. Couch

Date

7-26-20

Notary

Date

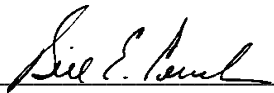
Notary Stamp Here

Property Owner Name

Property Owner Signature

Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature:  Date: 7-26-20

FINAL, REPLAT, MINOR, AND AMENDING PLAT CHECKLIST		
Subdivision Ordinance, Section 5		
STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items – please provide a coversheet outlining what digital contents are included on the CD/USB drive.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	ESD No. 6 Application (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	\$240 Fee for ESD No. 6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contract Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input type="checkbox"/>	<input type="checkbox"/>	Drainage Report – if not included in the Engineer’s summary
<input type="checkbox"/>	<input type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final Plats (11 x 17 to scale)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Current Configuration of Plat (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Preliminary Plat (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Proof of final acceptance of all public infrastructure by the jurisdiction that will own and maintain it; or posting of fiscal for public infrastructure.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input type="checkbox"/>	<input type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cost estimate of public infrastructure improvements (all public infrastructure improvements including water, wastewater, roads, drainage, curbs, sidewalks, etc.) (if applicable). *A Final Plat application will not be accepted if staff has not already approved this.
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County)
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing Hays County 911 Addressing approval (If applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Parkland Dedication fee (if applicable)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	\$25 Public Notice Sign Fee
<input type="checkbox"/>	<input type="checkbox"/>	Ag Facility Fees - \$35 per residential LUE (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Proof of Utility Service (Water & Wastewater) or permit to serve
<input type="checkbox"/>	<input type="checkbox"/>	Preliminary Conference Form signed by City Staff

FINAL PLAT INFORMATION REQUIREMENTS

<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and street right-of-way, bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.

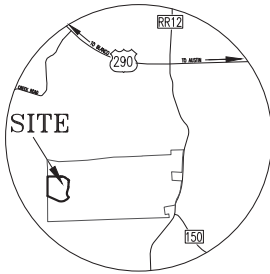
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location, widths and names of all street right-of-way and easements (it shall be the applicant’s responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Plat is approved)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information),
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All physical features of the property to be subdivided shall be shown, including:</p> <ul style="list-style-type: none"> - The location and size of all watercourses; and - 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and - Water Quality Buffer Zones as required by [WQO 22.05.017] - Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2]. - U.S. Army Corps of Engineers flowage easement requirements; and - All critical environmental features (CEFs) such as karsts, springs, sinkholes,

		<p>caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species.</p> <p>- Drainage area in acres or area draining into subdivisions (to be included in drainage report and construction plans); and</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> • Owner responsible for operation and maintenance of stormwater facilities. • Owner/operator of water and wastewater utilities. • Owner/operator of roadway facilities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> - A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument. - The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature. - A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission. - Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:

<u>NARRATIVE OF COMPLIANCE</u>	
A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.	
Outdoor Lighting, Article 24.06	Planned development complies with city code consistent with the approved Development Agreement provided with this application and consistent with previous sections of the development.
Parkland Dedication, Article 28.03	Planned development complies with city code consistent with the approved Development Agreement provided with this application and consistent with previous sections of the development.
Landscaping and Tree Preservation, Article 28.06	Planned development complies with city code consistent with the approved Development Agreement provided with this application and consistent with previous sections of the development.

Subdivision, 28.02, Exhibit A	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p> <p>Planned development complies with city code consistent with the approved Development Agreement provided with this application and consistent with previous sections of the development.</p>
Zoning, Article 30.02, Exhibit A	<p>Planned development complies with city code consistent with the approved Development Agreement provided with this application and consistent with previous sections of the development.</p>

CALITERRA PHASE FOUR SECTION ELEVEN



VICINITY MAP
(N.T.S.)

SCALE 1" = 100'

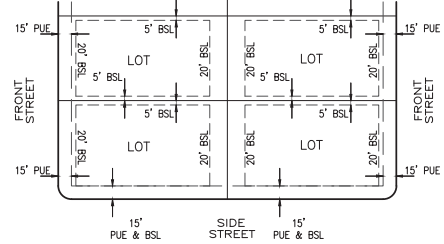
LEGEND

- 1/2" IRON ROD FOUND (UNLESS OTHERWISE NOTED)
- 1/2" CAPPED IRON ROD SET (UNLESS OTHERWISE NOTED)
- ⊙ 5/8" IRON ROD FOUND
- 17 LOT NUMBER
- Ⓜ BLOCK DESIGNATION
- ⋯⋯ SIDEWALKS
- (X.XXX) EASEMENT ANNOTATION

LINEAR FOOTAGE OF RIGHT-OF-WAY

PREMIER PARK LOOP (MINOR ARTERIAL)	60' R.O.W.	1,987'
BARN HILL LOOP (LOCAL STREET)	50' R.O.W.	2,245'
FISH TRAP ROAD (LOCAL STREET)	50' R.O.W.	1,210'
MIDNIGHT WAY (LOCAL STREET)	50' R.O.W.	537'
TOTAL		5,979'

TYPICAL LOT, BUILDING SETBACK LINE AND EASEMENT LOCATION DETAIL
(1" = 100')



DATE: NOVEMBER 8, 2021
FEMA PANEL NO. 48209C0115F
EFFECTIVE DATE: SEPTEMBER 2, 2005

ENGINEER & SURVEYOR:
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON DRIVE
AUSTIN, TX 78749
PHONE: 512-280-5160
FAX: 512-280-5165

OWNER: DEVELOPMENT SOLUTIONS CAT, LLC.
901 IDS CENTER
80 SOUTH 8TH STREET
MINNEAPOLIS, MINNESOTA 55402

ACREAGE: 37.871 ACRES
SURVEY: PHILIP A. SMITH SURVEY NO. 26
ABSTRACT NO. 415
HAYS COUNTY, TEXAS

TOTAL NO. LOTS	109
NO. OF SINGLE FAMILY LOTS	103
NO. OF OPEN SPACE LOTS	3
NO. OF OPEN SPACE, D.E., P.U.E. & W.Q. LOTS	3
NO. OF BLOCKS	5

LOT SIZE	NO.
< 1 ACRE	106
1-2 ACRE	1
2-5 ACRE	2
5-10 ACRE	0
> 10 ACRE	0

MINIMUM LOT SIZE:	0.143 AC (6,250 sq. ft.)
AVERAGE LOT SIZE:	0.262 AC (11,422 sq. ft.)

A SUBDIVISION OF 37.871 ACRES BEING CALITERRA PHASE FOUR, SECTION ELEVEN, OUT OF THE PHILIP A. SMITH SURVEY NUMBER 22, ABSTRACT NUMBER 415, HAYS COUNTY, TEXAS

SHEET NO. 1 OF 3

Carlson, Brigance & Doering, Inc.
FIRM ID #P3791 RLG. # 10024900
Civil Engineering Surveying
5501 West William Cannon Austin, Texas 78749
Phone No. (512) 280-5160 Fax No. (512) 280-5160

PHILIP A. SMITH SURVEY
NO. 26, ABSTRACT NO. 415

CALITERRA PHASE FOUR SECTION ELEVEN

Item 3.

STATE OF TEXAS }
COUNTY OF HAYS }

KNOW ALL MEN BY THESE PRESENTS: THAT DEVELOPMENT SOLUTIONS CAT, LLC, ACTING BY AND THROUGH ITS MANAGER, GREGORY L. RICH, BEING THE OWNER OF A CALLED 591.858 ACRES OF LAND OUT OF THE PHILIP A. SMITH SURVEY NUMBER 22, ABSTRACT NUMBER 415, SITUATED IN HAYS COUNTY, TEXAS, AS CONVEYED BY DEED RECORDED IN VOLUME 4682, PAGE 342 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, DO HEREBY SUBDIVIDE 37.871 ACRES OF LAND IN ACCORDANCE WITH THIS PLAT, TO BE KNOWN AS:

"CALITERRA PHASE FOUR SECTION ELEVEN"

SUBJECT TO ANY EASEMENTS AND/OR RESTRICTIONS HERETO GRANTED AND NOT RELEASED, AND DO HEREBY DEDICATED TO THE PUBLIC USE OF THE STREETS AND EASEMENTS SHOWN HEREON.

WITNESS MY HAND, THIS THE ____ DAY OF _____, 20____ A.D.

By: _____
GREGORY L. RICH, MANAGER
DEVELOPMENT SOLUTIONS CAT, LLC

STATE OF TEXAS }
COUNTY OF HAYS }

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NOTARY NAME
MY COMMISSION EXPIRES: _____

CITY OF DRIPPING SPRINGS ADMINISTRATIVE PLAT APPROVAL

THIS PLAT, CALITERRA PHASE FOUR SECTION ELEVEN, HAS BEEN APPROVED BY THE PLANNING & ZONING COMMISSION OF THE ____ DAY OF _____, 20____.

PLANNING & ZONING CHAIR _____ DATE _____ CITY SECRETARY _____ DATE _____

STATE OF TEXAS }
COUNTY OF HAYS }

I, THE UNDERSIGNED, DIRECTOR OF THE HAYS COUNTY DEVELOPMENT SERVICES, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL HAYS COUNTY REQUIREMENTS AS STATED IN THE INTERLOCAL COOPERATION AGREEMENT BETWEEN HAYS COUNTY AND THE CITY OF DRIPPING SPRINGS FOR SUBDIVISION REGULATION WITHIN THE EXTRATERRITORIAL JURISDICTION OF THE CITY OF DRIPPING SPRINGS.

MARCUS PACHECO, DIRECTOR
HAYS COUNTY DEVELOPMENT SERVICES

SEWAGE DISPOSAL/INDIVIDUAL WATER SUPPLY CERTIFICATION, TO-WIT:

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE-APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE OWNERS ARE CAUTIONED BY HAYS COUNTY TO QUESTION THE SELLER CONCERNING GROUNDWATER AVAILABILITY. RAINWATER COLLECTION MAY OFFER THE BEST RENEWABLE WATER RESOURCE.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY HAYS COUNTY DEVELOPMENT SERVICES.

NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL HAYS COUNTY DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

MARCUS PACHECO, DIRECTOR
HAYS COUNTY DEVELOPMENT SERVICES

ERIC VAN GAASBEEK, R.S., C.F.M.
HAYS COUNTY FLOODPLAIN MANAGER

I, ELAINE H. CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE ____ DAY OF _____, A.D. 20____, AT _____ O'CLOCK ____M. IN THE PLAT RECORDS OF HAYS COUNTY, TEXAS, IN INSTRUMENT NO. _____.

WITNESS MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20____ A.D.

ELAINE H. CARDENAS
COUNTY CLERK
HAYS COUNTY, TEXAS

GENERAL NOTES:

1. THIS FINAL PLAT IS WITHIN THE EXTRA TERRITORIAL JURISDICTION (ETJ) OF THE CITY OF DRIPPING SPRINGS.
2. NO PORTION OF THIS PLAT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE ZONE.
3. THIS PLAT LIES WITHIN THE BOUNDARIES OF THE CONTRIBUTING ZONE OF THE EDWARDS AQUIFER ZONE.
4. THIS PLAT IS LOCATED WITHIN THE DRIPPING SPRINGS INDEPENDENT SCHOOL DISTRICT.
5. ACCESS TO AND FROM CORNER LOTS SHALL ONLY BE PERMITTED FROM ONE STREET.
6. NO PORTION OF THE SUBJECT PLAT PROPERTY IS LOCATED WITHIN A DESIGNATED 100 YEAR FLOOD PLAN AS DELINEATED ON F.I.R.M. PANEL NO 48209C 0115F, DATED SEPTEMBER 2, 2005, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
7. WATER SERVICE WILL BE PROVIDED TO EACH LOT FROM THE DRIPPING SPRINGS WATER SUPPLY CORPORATION.
8. ORGANIZED WASTEWATER SERVICE WILL BE PROVIDED TO EACH LOT BY THE CITY OF DRIPPING SPRINGS.
9. ELECTRIC SERVICE WILL BE PROVIDED BY THE PEDERNALES ELECTRIC COOPERATIVE.
10. TELEPHONE SERVICE WILL BE PROVIDED BY VERIZON.
11. IF GAS LINES ARE NOT INCLUDED IN THE CONSTRUCTION PLANS, THERE WILL BE SEPARATE SITE DEVELOPMENT PLAN, APPLICATION, AND FEES REQUIRED.
12. MINIMUM FRONT SETBACK SHALL BE 20'.
13. MINIMUM REAR SETBACK SHALL BE 20'.
14. MINIMUM SIDE AND INTERIOR SIDE YARD SETBACKS SHALL BE 5'.
15. MINIMUM SIDE YARD SETBACKS ADJACENT TO A PUBLIC STREET SHALL BE 15'.
16. UTILITY EASEMENTS OF 15 FEET SHALL BE LOCATED ALONG EACH SIDE OF DEDICATED R.O.W.
17. ALL STREETS SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE CITY OF DRIPPING SPRINGS AND HAYS COUNTY DEVELOPMENT REGULATIONS.
18. NO STRUCTURE SHALL BE OCCUPIED UNTIL A CERTIFICATE OF OCCUPANCY IS ISSUED BY THE CITY OF DRIPPING SPRINGS.
19. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE APPROVED COMMUNITY WATER SYSTEM.
20. NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A STATE APPROVED ORGANIZED WASTE WATER SYSTEM.
21. NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL OF HAYS COUNTY DEVELOPMENT AUTHORIZATION REQUIREMENTS HAVE BEEN SATISFIED.
22. IN ORDER TO PROMOTE SAFE USE OF ROADWAYS AND TO PRESERVE THE CONDITIONS OF PUBLIC ROADWAYS, NO DRIVEWAY CONSTRUCTED ON ANY LOT WITHIN THIS SUBDIVISION SHALL BE PERMITTED ACCESS ONTO A PUBLIC ROADWAY UNLESS (A) A PERMIT FOR USE OF THE CITY RIGHT-OF-WAY HAS BEEN ISSUED UNDER AND (B) THE DRIVEWAY SATISFIES THE MINIMUM SPACING REQUIREMENTS FOR DRIVEWAYS AS SET FORTH IN CHAPTER 721 OF THE HAYS COUNTY DEVELOPMENT REGULATIONS.
23. DEVELOPMENT AND RESTRICTIONS WITHIN THE CITY OF DRIPPING SPRINGS AND TCEQ WATER QUALITY BUFFER ZONES ARE LIMITED TO THOSE LISTED IN THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY'S (TCEQ) OPTIONAL ENHANCED MEASURES FOR THE PROTECTION OF WATER QUALITY IN THE EDWARDS AQUIFER (REVISED) OR AS PERMITTED BY THE TCEQ.
24. ALL LOTS ARE REQUIRED TO COMPLY WITH THE THEN CURRENT ADOPTED BUILDING CODE AS ADOPTED BY THE CITY OF DRIPPING SPRINGS, AND THE FIRE CODE ADOPTED BY ESD #6. THIS IS TO INCLUDE THE PULLING OF BUILDING PERMITS THROUGH THE CITY OF FOR ALL APPLICABLE CONSTRUCTION.
25. PER THE DEVELOPMENT AGREEMENT BETWEEN CITY OF DRIPPING SPRINGS AND DEVELOPMENT SOLUTIONS CAT, LLC, THE CALITERRA DEVELOPMENT PROJECT IS SUBJECT TO AN INTEGRATED PEST MANAGEMENT (IPM) PLAN.
26. POST-DEVELOPMENT CONDITIONS RUNOFF RATE SHALL BE NO GREATER THAN THE PRE-DEVELOPED CONDITION FOR 2, 5, 10, 25, AND 100 YEAR STORM EVENTS, PER HAYS COUNTY DEVELOPMENT REGULATIONS, CHAPTER 725, SUBCHAPTER 3.02. PRE AND POST DEVELOPMENT RUNOFF CALCULATIONS SHALL BE INCLUDED WITH THE CONSTRUCTION DRAWINGS FOR THIS SUBDIVISION.
27. ALL SIDEWALKS ARE TO BE MAINTAINED BY THE HAYS COUNTY DEVELOPMENT DISTRICT #1.
28. ALL ROADWAYS IN THIS DEVELOPMENT ARE TO BE DEDICATED TO THE PUBLIC AND MAINTAINED BY HAYS COUNTY.
29. THIS DEVELOPMENT IS SUBJECT TO THE DEVELOPMENT AGREEMENT DATED JANUARY 14, 2014 BETWEEN THE CITY OF DRIPPING SPRINGS AND DEVELOPMENT SOLUTIONS CAT, LLC., RECORDED IN VOLUME 4978, PAGE 215 (DOCUMENT NUMBER 14021130 OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS).
30. DRIVEWAY CULVERTS FOR LOTS 24-32, BLOCK G, SHALL BE 24" AND DRIVEWAY CULVERTS FOR LOTS 1-6, BLOCK K, SHALL BE 18". ALL DRIVEWAY CULVERTS TO BE NO CLOSER THAN 15 FEET FROM THE PAVEMENT EDGE OF PREMIER PARK LOOP.
31. PEC EASEMENTS OF FIVE (5) FEET SHALL BE LOCATED ALONG EACH SIDE LOT LINE, A/C PADS AND A/C UNITS SHALL BE ALLOWED TO ENROACH WITHIN THE PEC EASEMENT PER CONSULTATION WITH PEC.

STATE OF TEXAS:
COUNTY OF TRAVIS:

I, BRETT R. PASQUARELLA, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT. I CERTIFY TO THE COMPLETENESS, ACCURACY AND COMPLIANCE TO THE CITY OF DRIPPING SPRINGS SUBDIVISION ORDINANCES.

FLOOD PLAIN NOTE: NO PORTION OF THIS TRACT IS WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL INSURANCE RATE MAP PANEL NO. 48209C-0115F, BOTH DATED SEPTEMBER 02, 2005.

ENGINEERING BY: _____ DATE _____
BRETT R. PASQUARELLA, P.E., No. 84769
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON DRIVE,
AUSTIN, TEXAS 78749



STATE OF TEXAS:
COUNTY OF TRAVIS:

I, AARON V. THOMASON, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING, AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE REQUIREMENTS OF THE CITY OF DRIPPING SPRINGS, TEXAS, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

SURVEYED BY: _____ DATE _____
AARON V. THOMASON, R.P.L.S. NO. 6214
CARLSON, BRIGANCE & DOERING, INC.
5501 WEST WILLIAM CANNON DRIVE
AUSTIN, TEXAS 78749



THIS FLOOD STATEMENT, AS DETERMINED BY A H.U.D.-F.I.A. FLOOD INSURANCE RATE MAP, DOES NOT IMPLY THAT THE PROPERTY OR THE IMPROVEMENTS THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FOODS CAN AND WILL OCCUR, AND FLOOD HEIGHTS MAY INCREASE BY MAN-MADE OR NATURAL CAUSES.

THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF ENGINEER OR SURVEYOR.

A SUBDIVISION OF 37.871 ACRES BEING CALITERRA PHASE FOUR, SECTION ELEVEN, OUT OF THE PHILIP A. SMITH SURVEY NUMBER 22, ABSTRACT NUMBER 415, HAYS COUNTY, TEXAS

SHEET NO. 3 OF 3

Carlson, Brigance & Doering, Inc.

FIRM ID #13791 REG. # 10024900

Civil Engineering	Surveying
5501 West William Cannon	Austin, Texas 78749
Phone No. (512) 280-5160	Fax No. (512) 280-5161

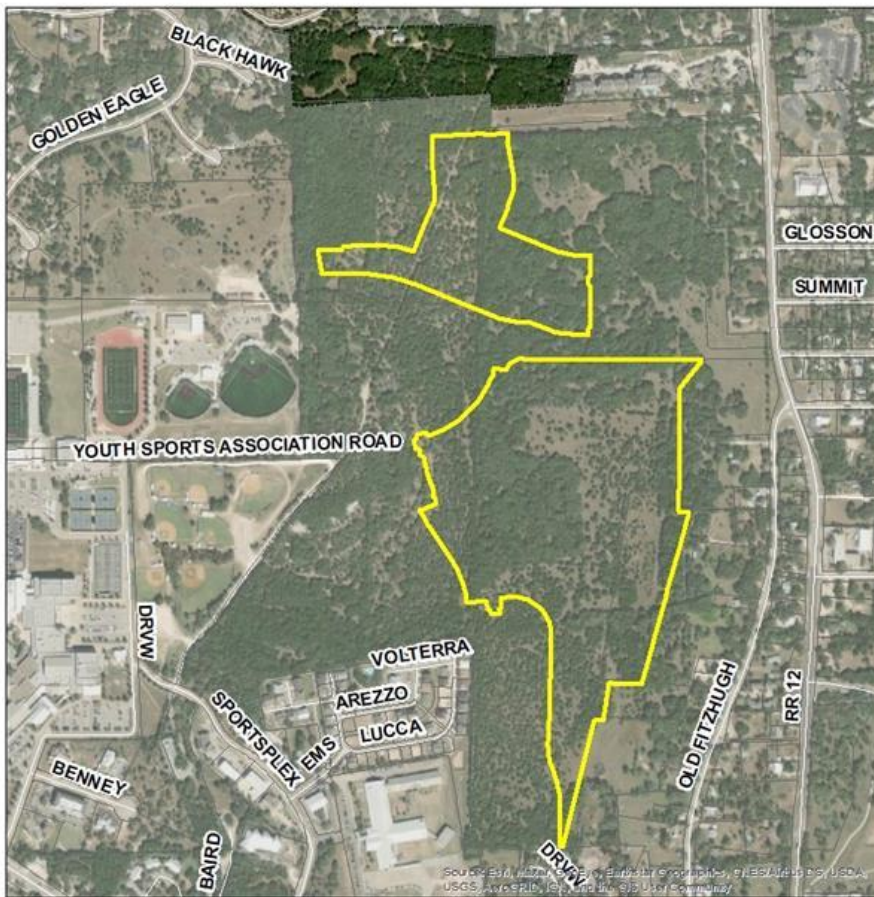


Planning & Zoning Commission Planning Department Staff Report

P&Z Meeting: November 23, 2021
Project Number: SUB2021-0065
Project Planner: Tory Carpenter, Senior Planner

Item Details

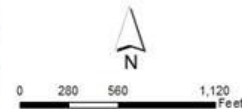
Project Name: Heritage Phase 2 Final Plat
Property Location: Between Sportsplex Road and Ranch Road 12
Legal Description: 69.999 Acres out of the Philip A. Smith & C.H. Malott Surveys.
Applicant: Sarah Mays, P.E.; Kimley-Horn
Property Owner: M/I Homes of Austin, LLC
Request: A residential final plat.



Location Map

*SUB2021-0065
Heritage Phase 2
Final Plat*

Roads
City Limits
 Full Purpose
 Subject Property



Overview

The applicant is requesting approval of a final plat consisting of 160 residential lots.

Action Requested

Disapproval to address comments.

Site Information

Location:

Between Sportsplex Road and Ranch Road 12.

Zoning Designation: PDD #5

Property History

The preliminary plat was approved by the Planning & Zoning Commission in August 2020.

This final plat is the second of four phases.

Recommendation

Staff recommends disapproval to address comments.

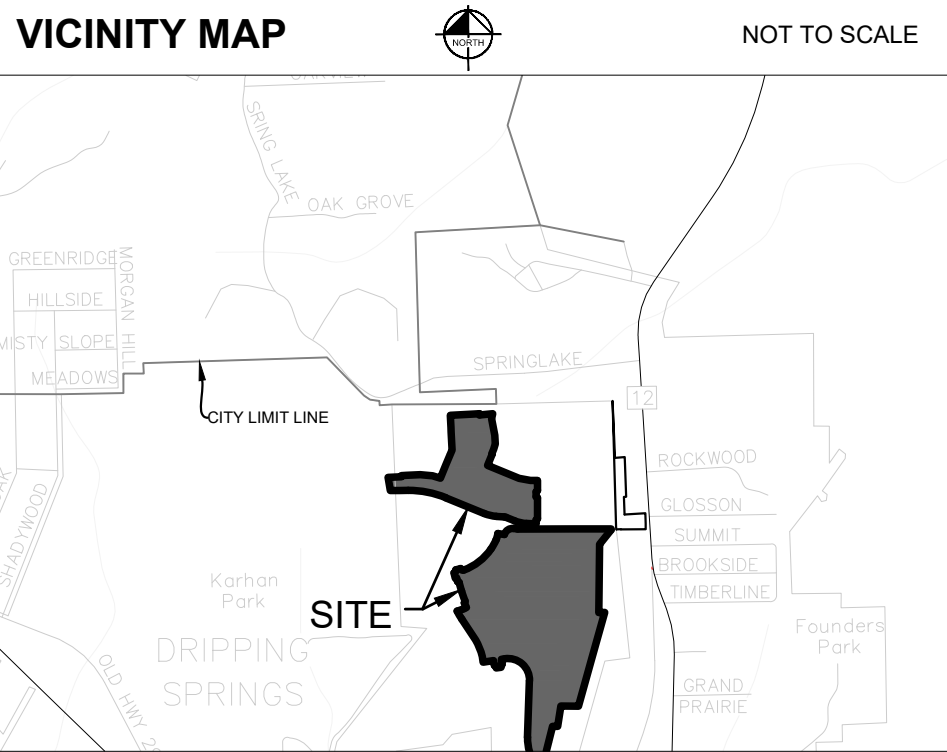
Attachments

Exhibit 1 – Plat

Exhibit 2 – Application

Exhibit 3 – Comments

Recommended Action:	Disapproval.
Budget/Financial Impact:	All fees have been paid.
Public Comments:	None Received at this time.
Enforcement Issues:	N/A



SURVEYOR'S NOTES:

- ALL LOTS LOCATED IN THIS SUBDIVISION WILL BE MONUMENTED WITH A 1/2 INCH IRON ROD WITH A PLASTIC CAP STAMED "KHA" PRIOR TO LOT SALES UNLESS OTHERWISE STATED
- THE BEARINGS AND COORDINATES SHOWN HEREON ARE TEXAS STATE COORDINATE SYSTEM GRID, CENTRAL ZONE (FIPS 4204) (NAD83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS) POST PROCESSING. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.

STATE OF TEXAS §
 COUNTY OF HAYS §

KNOW ALL MEN BY THESE PRESENTS. THAT, OWNER ACTING BY AND THROUGH OWNER OF 69.999 ACRES OF LAND, BEING A PORTION BEING A 69.999 ACRE TRACT OF LAND AND BEING A PORTION OF TRACT 4 A CALLED 94.695 ACRE TRACT DESCRIBED TO SLF IV- DRIPPING SPRINGS JV, LP, RECORDED IN DOCUMENT NO. 14037231 AND DOCUMENT NO. 140377230 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY AND A PORTION OF TRACT 2 A CALLED 50.206 ACRE TRACT DESCRIBED TO SLF IV- DRIPPING SPRINGS JV, LP IN DOCUMENT NO 14037229 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, OUT OF THE PHILIP SMITH SURVEY, ABSTRACT NO. 415, HAYS COUNTY, TEXAS, DO HEREBY SUBDIVIDE SAID 69.999 ACRES OF LAND TO BE KNOWN AS "HERITAGE- DRIPPING SPRINGS- PHASE 2" IN ACCORDANCE WITH THE PLAT SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENT OR RESTRICTIONS HERETOFORE GRANTED, AND DO HEREBY DEDICATE TO THE OWNERS OF THE PROPERTY SHOWN HEREON THE USE OF THE STREETS AND EASEMENTS SHOWN HEREON.

IN WITNESS WHEREOF THE SAID OWNER HAS CAUSED THESE PRESENTS TO BE EXECUTED BY ITS _____, THEREUNTO DULY AUTHORIZED ON THIS THE _____ DAY OF _____, 2021.

OWNER _____

STATE OF TEXAS §
 COUNTY OF HAYS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME IN SUCH CAPACITY AS THE ACT AND DEED OF SAID CORPORATION FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____ A.D., 2021.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____
 IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS §
 COUNTY OF HAYS §

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY KIMLEY-HORN & ASSOCIATES, INC.

JOHN G. MOSIER REGISTERED RPLS.
 TEXAS REGISTRATION NO. 6330
 KIMLEY-HORN
 601 NW LOOP 410, SUITE 350
 SAN ANTONIO TX, 78216

STATE OF TEXAS §
 COUNTY OF HAYS §

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE CODE OF ORDINANCES, EXCEPT FOR THOSE VARIANCES GRANTED BY THE DRIPPING SPRINGS PLANNING COMMISSION.

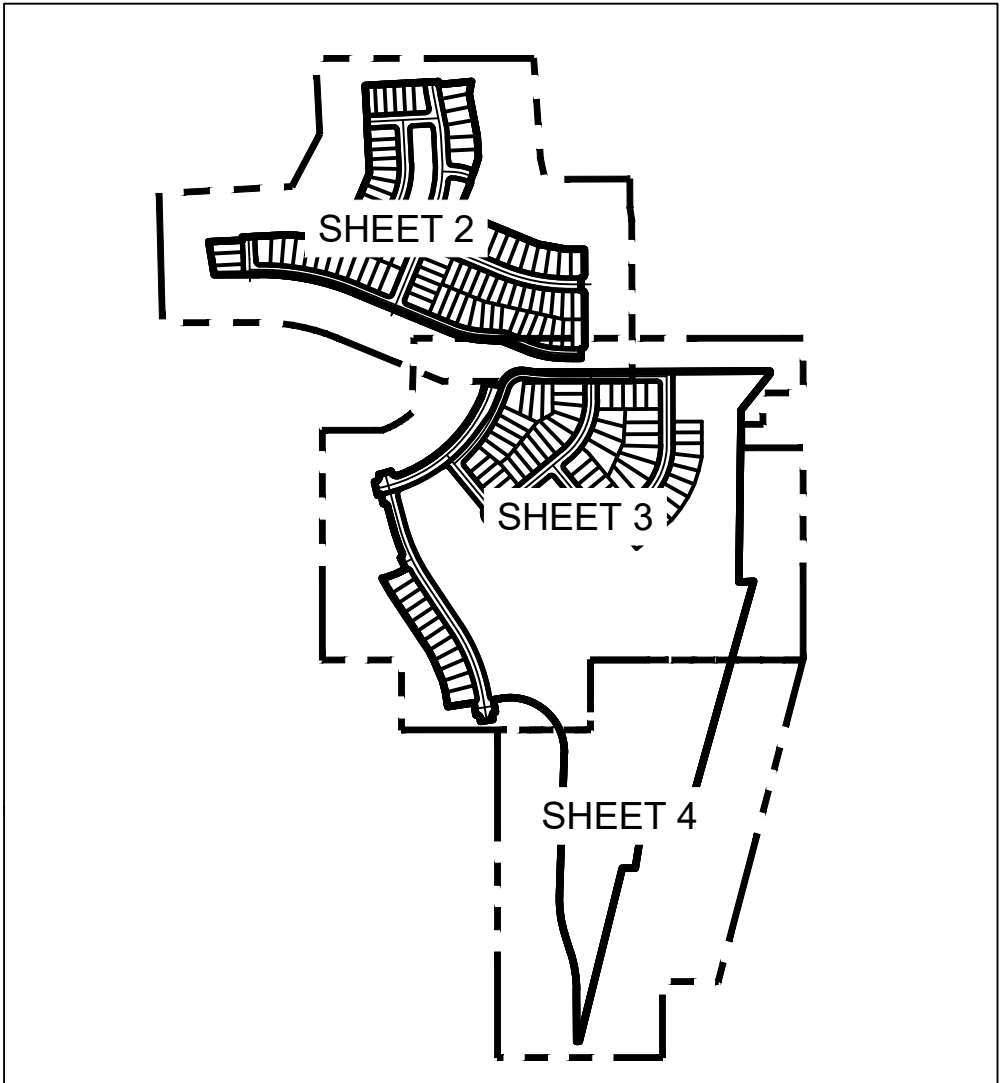
SARAH J. MAYS, P.E.
 TEXAS REGISTRATION NO. 129794
 KIMLEY-HORN
 10814 JOLLYVILLE RD.
 CAMPUS IV, SUITE 200
 AUSTIN TX, 78759

LEGEND

IRF	1/2" IRON ROD FOUND
IRFC	1/2" IRON ROD W/PLASTIC CAP FOUND
IRSC	1/2" IRON ROD W/PLASTIC CAP STAMPED "KHA" SET
PKF	PK NAIL FOUND
PKS	PK NAIL SET
BDF	BRASS TXDOT DISK FOUND
CMF	CONCRETE MONUMENT FOUND
ROW	RIGHT-OF-WAY
VOL.	VOLUME
PG.	PAGE
OPRHC	OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS
DPRHC	DEED AND PLAT RECORDS OF HAYS COUNTY, TEXAS
635	EXISTING CONTOUR
---	RIGHT OF WAY CENTERLINE

FLOODPLAIN VERIFICATION
 NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA MAP PANEL: 48209C0105F, EFFECTIVE SEPTEMBER 02, 2005. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

MULTIPLE PAGE
 PLAT NOTES APPLY TO EVERY PAGE OF THIS MULTIPLE PAGE PLAT.



GENERAL NOTES:

- THIS DEVELOPMENT IS SUBJECT TO THE HERITAGE AMENDED AND RESTATED DEVELOPMENT AGREEMENT, APPROVED BY CITY COUNCIL OCTOBER 17, 2017 EXECUTED _____ AND RECORDED IN VOL. _____, PAGE _____ OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TX.
- THIS DEVELOPMENT IS LOCATED WITHIN THE CITY LIMITS OF THE CITY OF DRIPPING SPRINGS, HAYS COUNTY, TEXAS.
- ZONING OF THIS DEVELOPMENT IS GOVERNED BY THE CITY OF DRIPPING SPRINGS PDD #5.
- THIS DEVELOPMENT IS LOCATED WITHIN THE CONTRIBUTING ZONE OF THE EDWARDS AQUIFER AND IS SUBJECT TO THE RULES AND REGULATIONS OF THE EDWARDS AQUIFER PROTECTION PROGRAM OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ).
- DEVELOPMENT DESIGN STANDARDS PER THE HERITAGE DEVELOPMENT AGREEMENT OR THE CITY OF DRIPPING SPRINGS AS APPLICABLE
- UTILITIES WILL BE PROVIDED BY THE FOLLOWING:
 WATER- DRIPPING SPRINGS WATER SUPPLY CORPORATION
 WASTEWATER- CITY OF DRIPPING SPRINGS
 ELECTRIC- PEDERNALES ELECTRIC COMPANY
- (ALL) NEW TELEPHONE AND CABLE TELEVISION UTILITY LINES AND ALL ELECTRIC UTILITY LATERAL AND SERVICE LINES AND WIRES SHALL BE PLACED UNDERGROUND, EXCEPT AS OTHERWISE HEREIN PROVIDED.
- ALL ELECTRIC, CABLE TELEVISION, AND TELEPHONE SUPPORT EQUIPMENT (TRANSFORMERS, AMPLIFIERS, SWITCHING DEVICES, ETC.) NECESSARY FOR UNDERGROUND INSTALLATIONS IN SUBDIVISIONS SHALL BE PAD MOUNTED OR PLACED UNDERGROUND IN A PUBLIC UTILITY EASEMENT RATHER THAN A RIGHT-OF-WAY.
- ALL PROPOSED COLLECTOR AND LOCAL STREETS WITHIN THIS SUBDIVISION SHALL HAVE A MIN. 5' OR 9' WIDE CONCRETE SIDEWALK ALONG ONE SIDE OF THE STREET.
- OWNERSHIP AND MAINTENANCE OF ALL NON-SINGLE FAMILY LOTS (EXCLUDING PUBLIC PARK LANDS) WILL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.
- ALL DRAINAGE EASEMENT LOTS AND IMPROVEMENTS CONSTRUCTED WITHIN THOSE LOTS WILL BE OWNED AND MAINTAINED BY THE HOA.
- ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS/HER ASSIGNS.
- THE LIMITS OF THE 100-YR STORM WATER RUNOFF ARE CONTAINED WITHIN DRAINAGE EASEMENTS.
- THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR INSPECTION, OPERATION AND MAINTENANCE.
- ALL EXISTING BUILDINGS, DRIVEWAYS, ROADS, ETC. WILL BE REMOVED, EXCEPT AS NOTED.
- A 15-FT PUBLIC UTILITY EASEMENT ADJACENT TO ALL PUBLIC STREETS IS HEREBY DEDICATED.
- THE PROPOSED DEVELOPMENT SHALL DEMONSTRATE COMPLIANCE WITH ALL REQUIREMENTS ESTABLISHED IN THE 2012 INTERNATIONAL FIRE CODE AND LOCAL AMENDMENTS.
- STREET TREES SHALL BE PLANTED IN EACH LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY PER THE QUANTITY, SIZE AND LOCATION REQUIREMENTS OF [PDD NO. 5 EXHIBIT G].

FINAL PLAT OF HERITAGE DRIPPING SPRINGS PHASE 2

BEING A 69.999 ACRE TRACT OF LAND AND BEING A PORTION OF A CALLED 188.130 ACRE TRACT DESCRIBED TO M/I HOMES OF AUSTIN, LLC AND TRI POINTE HOMES TEXAS, INC. RECORDED IN DOCUMENT NO. 21023136 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS AND BEING OUT OF THE PHILIP SMITH SURVEY, ABSTRACT 415, HAYS COUNTY, TEXAS.

Kimley»Horn

10814 Jollyville Road Campus IV, Suite 200, Austin, Texas 78759 FIRM # 10194624 Tel. No. (512) 418-1771 www.kimley-horn.com

SHEET NO.	DRAWN BY	CHECKED BY	DATE PREPARED	PROJECT NO.
1 OF 6	SAL	JGM	5/27/2021	067783118

STATE OF TEXAS §
 COUNTY OF HAYS §

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: SLF IV DRIPPING SPRINGS, LP
 5949 SHERRY LANE, SUITE 800
 DALLAS, TX 75225

STATE OF TEXAS §
 COUNTY OF HAYS §

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED M/I HOMES OF AUSTIN, LLC AND TRIPINTE HOMES TEXAS, INC.

KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

DATED THIS _____ DAY OF _____ A.D. 20_____

NOTARY PUBLIC, HAYS COUNTY, TEXAS
 HERITAGE- DRIPPING SPRINGS- PHASE 2

THIS PLAT OF _____ HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF DRIPPING SPRINGS, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____ A.D. 20_____

BY: _____
 CHAIRMAN

BY: _____
 SECRETARY

ENGINEERING AND PUBLIC WORKS DEPARTMENT

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO AN INDIVIDUAL WATER SUPPLY OR A STATE APPROVED COMMUNITY WATER SYSTEM. DUE TO DECLINING WATER SUPPLIES AND DIMINISHING WATER QUALITY, PROSPECTIVE PROPERTY OWNERS ARE CAUTIONED BY THE CITY OF DRIPPING SPRINGS TO QUESTION THE SELLER CONCERNING GROUND WATER AVAILABILITY. RAINWATER COLLECTION IS ENCOURAGED AND, IN SOME AREAS, OFFER THE BEST RENEWABLE WATER RESOURCE.

NO STRUCTURE IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTED TO A PUBLIC SEWER SYSTEM OR TO AN ON-SITE WASTEWATER SYSTEM WHICH HAS BEEN APPROVED AND PERMITTED BY THE CITY OF DRIPPING SPRINGS.

NO CONSTRUCTION OR OTHER DEVELOPMENT WITHIN THIS SUBDIVISION MAY BEGIN UNTIL ALL CITY OF DRIPPING SPRINGS DEVELOPMENT PERMIT REQUIREMENTS HAVE BEEN MET.

CHAD GILPIN, P.E. _____ DATE _____
 CITY ENGINEER

PRELIMINARY
 THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

STATE OF TEXAS §
 CITY OF DRIPPING SPRINGS, TEXAS §
 HAYS COUNTY, TEXAS §

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY COUNCIL OF DRIPPING SPRINGS, TEXAS AND IS HEREBY APPROVED. APPROVED THIS THE _____ DAY OF _____, 2021, A.D. BY THE PLANNING AND ZONING COMMISSION.

ANDREA CUNNINGHAM, CITY SECRETARY _____ MIM JAMES
 CHAIR OF PLANNING AND ZONING COMMISSION

STATE OF TEXAS §
 COUNTY OF HAYS §

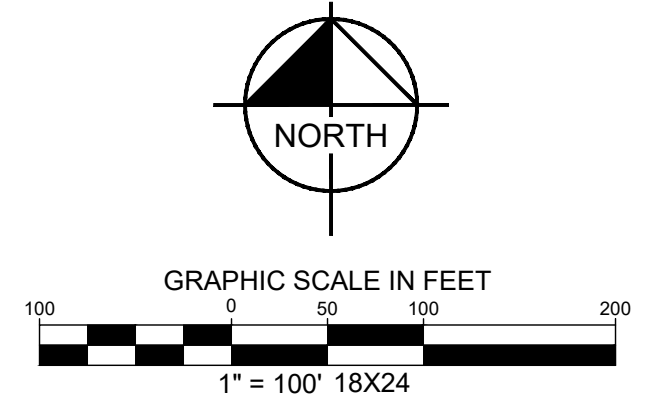
I, ELAINE HANSON CARDENAS, COUNTY CLERK OF HAYS COUNTY, TEXAS, DO HEREBY CERTIFY THAT TON THE _____ OF _____ A.D., 2021, THE COMMISSIONERS COURT OF HAYS COUNTY, TEXAS PASSED AN ORDER AUTHORIZING THE FILING FOR RECORD OF THIS PLAT, AND SAID ORDER HAS BEEN DULY ENTERED IN THE MINUTES OF THE SAID COURT IN BOOK _____, PAGE _____.

WITNESS MY HAND AND SEAL OF OFFICE THIS THE _____ OF _____ A.D., 2021.

BERT COBB, M.D. _____ ELAINE HANSON CARDENAS
 COUNTY JUDGE _____ COUNTY CLERK
 HAYS COUNTY, TEXAS HAYS COUNTY, TEXAS

LEGEND

IRF	1/2" IRON ROD FOUND
IRFC	1/2" IRON ROD W/PLASTIC CAP FOUND
IRSC	1/2" IRON ROD W/PLASTIC CAP STAMPED "KHA" SET
PKF	PK NAIL FOUND
PKS	PK NAIL SET
BDF	BRASS TXDOT DISK FOUND
CMF	CONCRETE MONUMENT FOUND
ROW	RIGHT-OF-WAY
VOL	VOLUME
PG	PAGE
OPRHC	OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS
DPRHC	DEED AND PLAT RECORDS OF HAYS COUNTY, TEXAS
635	EXISTING CONTOUR
	RIGHT OF WAY CENTERLINE



CALLLED 45.53 ACRES
DRIPPING SPRINGS
INDEPENDENT
SCHOOL DISTRICT
DOC. NO. 6018836
OPRHC

(REMAINING)
CALLLED 188.130 ACRES
M/I HOMES OF AUSTIN, LLC
& TRI POINTE HOMES TEXAS, INC.
DOC. NO. 21023136
OPRHC

ROGER HANKS PARKWAY
(VARIABLE WIDTH PUBLIC ROW)
(BY SEPARATE INSTRUMENT)

(REMAINING)
CALLLED 188.130 ACRES
M/I HOMES OF AUSTIN, LLC
& TRI POINTE HOMES TEXAS, INC.
DOC. NO. 21023136
OPRHC

HERITAGE DRIPPING SPRINGS
PHASE 1
(BY SEPARATE INSTRUMENT)
OPRHC

DARLEY OAK DRIVE
(52' WIDE PUBLIC RIGHT-OF-WAY)
(BY SEPARATE INSTRUMENT)

ROGER HANKS PARKWAY
(VARIABLE WIDTH PUBLIC ROW)
(BY SEPARATE INSTRUMENT)

FINAL PLAT OF HERITAGE- DRIPPING SPRINGS- PHASE 2

BEING A 69.999 ACRE TRACT OF LAND AND BEING A PORTION OF A CALLED 188.130 ACRE TRACT DESCRIBED TO M/I HOMES OF AUSTIN, LLC AND TRI POINTE HOMES TEXAS, INC. RECORDED IN DOCUMENT NO. 21023136 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS AND BEING OUT OF THE PHILIP SMITH SURVEY, ABSTRACT 415, HAYS COUNTY, TEXAS.

SURVEYOR'S NOTES

- ALL LOTS LOCATED IN THIS SUBDIVISION WILL BE MONUMENTED WITH A 1/2 INCH IRON ROD WITH A PLASTIC CAP STAMPED "KHA" PRIOR TO LOT SALES UNLESS OTHERWISE STATED
- THE BEARINGS AND COORDINATES SHOWN HEREON ARE TEXAS STATE COORDINATE SYSTEM GRID, CENTRAL ZONE (FIPS 4204) (NAD'83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS) POST PROCESSING. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

Kimley»Horn

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FIRM # 10194624 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	SAL	JGM	05-27-2021	067783118	2 OF 5

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C8J-2021-0080.0APA

DWG NAME: K:\S\A SURVEY\HERITAGE DRIPPING SPRINGS\DWG\PLAT\HERITAGE DRIPPING SPRINGS PHASE 2 PLAT.DWG PLOTTED BY: LUCIO, STEVE 8/4/2021 11:20 AM LAST SAVED 8/4/2021 11:20 AM

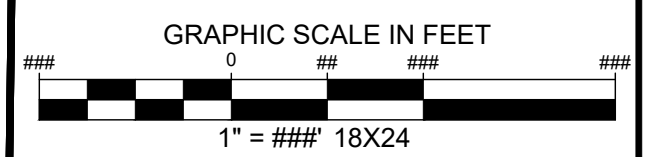
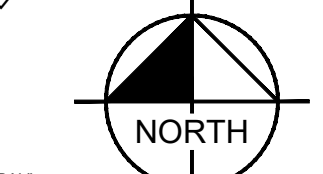
LEGEND

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635	EXISTING CONTOUR
	RIGHT OF WAY CENTERLINE

(REMAINING)
CALLED 188.130 ACRES
M/I HOMES OF AUSTIN, LLC
& TRI POINTE HOMES TEXAS, INC.
DOC. NO. 21023136
OPRHC

(REMAINING)
CALLED 188.130 ACRES
M/I HOMES OF AUSTIN, LLC
& TRI POINTE HOMES TEXAS, INC.
DOC. NO. 21023136
OPRHC

**ROGER HANKS
PARKWAY**
(VARIABLE WIDTH PUBLIC ROW)
(BY SEPARATE INSTRUMENT)



CALLLED 6.033 ACRES
BOB WHITE INVESTMENTS, L.P.
DOC. NO. 15003085
OPRHC

CALLLED 0.883 ACRES
BOB WHITE INVESTMENTS, L.P.
DOC. NO. 15003085
OPRHC

CALLLED 2.60 ACRES
(NO METES AND BOUNDS)
RAMIRO CORDOV GARZA
DOC. NO. 11030500
OPRHC

LOT 1
PUBLIC PARKLAND
LOT AND
DRAINAGE EASEMENT

SURVEYOR'S NOTES

- ALL LOTS LOCATED IN THIS SUBDIVISION WILL BE MONUMENTED WITH A 1/2 INCH IRON ROD WITH A PLASTIC CAP STAMED "KHA" PRIOR TO LOT SALES UNLESS OTHERWISE STATED
- THE BEARINGS AND COORDINATES SHOWN HEREON ARE TEXAS STATE COORDINATE SYSTEM GRID, CENTRAL ZONE (FIPS 4204) (NAD'83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS) POST PROCESSING. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.

MATCHLINE "A-A" SEE SHEET 4 OF 6

PRELIMINARY
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FINAL PLAT OF HERITAGE- DRIPPING SPRINGS- PHASE 2

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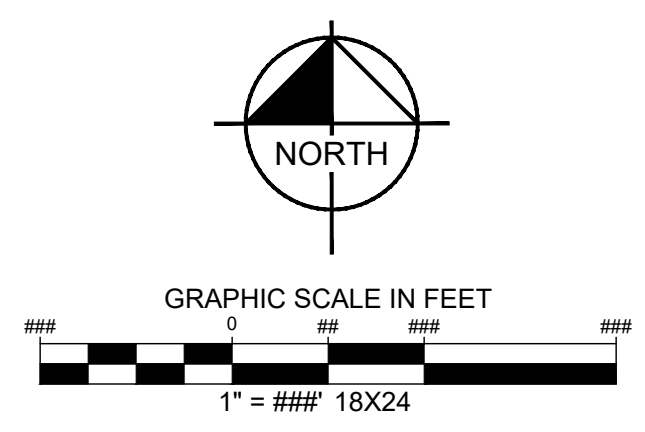
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1" = 100'	SAL	JGM	05-27-2021	067783118	3 OF 5

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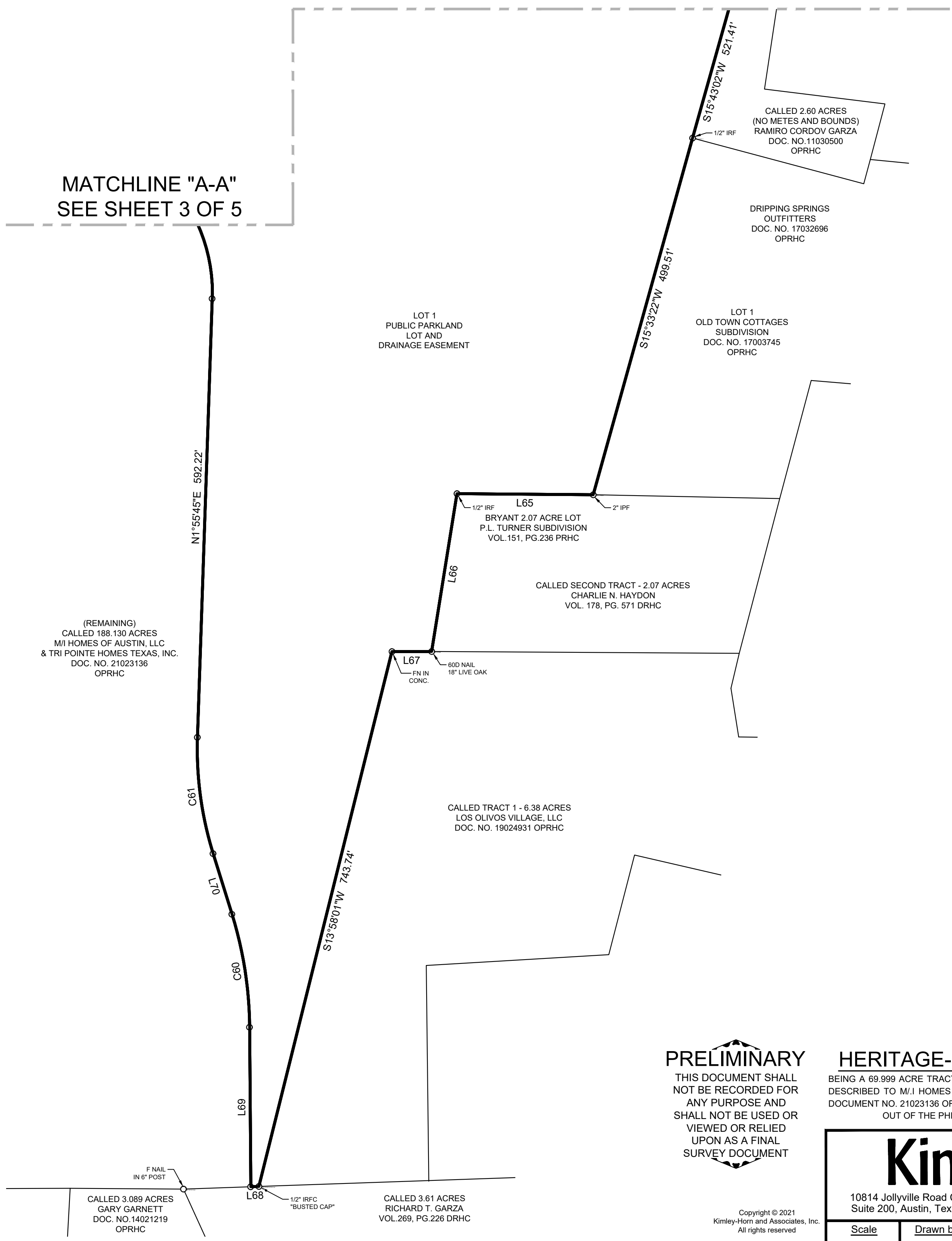
DWG NAME: K:\S\A SURVEY\HERITAGE DRIPPING SPRINGS\DWG\PLAT\HERITAGE DRIPPING SPRINGS\067783118-HERITAGE DRIPPING SPRINGS\067783118-HERITAGE DRIPPING SPRINGS PHASE 2 PLAT.DWG PLOTTED BY: LUCIO, STEVE 8/4/2021 11:20 AM LAST SAVED 8/4/2021 11:20 AM

LEGEND

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635	EXISTING CONTOUR
	RIGHT OF WAY CENTERLINE



MATCHLINE "A-A"
SEE SHEET 3 OF 5



SURVEYOR'S NOTES

- ALL LOTS LOCATED IN THIS SUBDIVISION WILL BE MONUMENTED WITH A 1/2 INCH IRON ROD WITH A PLASTIC CAP STAMPED "KHA" PRIOR TO LOT SALES UNLESS OTHERWISE STATED
- THE BEARINGS AND COORDINATES SHOWN HEREON ARE TEXAS STATE COORDINATE SYSTEM GRID, CENTRAL ZONE (FIPS 4204) (NAD'83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS) POST PROCESSING. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.

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FINAL PLAT OF HERITAGE- DRIPPING SPRINGS- PHASE 2

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Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	SAL	JGM	05-27-2021	067783118	4 OF 5

DWG NAME: K:\S\A SURVEY\HERITAGE DRIPPING SPRINGS\DWG\PLAT\HERITAGE DRIPPING SPRINGS\067783118-HERITAGE DRIPPING SPRINGS PHASE 2 PLAT.DWG PLOTTED BY: LUCIO, STEVE 8/4/2021 11:20 AM LAST SAVED 8/4/2021 11:20 AM

Table with 8 columns: LINE TABLE, LINE TABLE, LINE TABLE. Sub-tables with columns: NO., BEARING, LENGTH. Rows L1 through L40.

Table with 20 columns: CURVE TABLE, CURVE TABLE, CURVE TABLE. Sub-tables with columns: NO., DELTA, RADIUS, LENGTH, CHORD BEARING, CHORD. Rows C1 through C45.

SURVEYOR'S NOTES

- 1. ALL LOTS LOCATED IN THIS SUBDIVISION WILL BE MONUMENTED WITH A 1/2 INCH IRON ROD WITH A PLASTIC CAP STAMED "KHA" PRIOR TO LOT SALES UNLESS OTHERWISE STATED
2. THE BEARINGS AND COORDINATES SHOWN HEREON ARE TEXAS STATE COORDINATE SYSTEM GRID, CENTRAL ZONE (FIPS 4204) (NAD'83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS) POST PROCESSING. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.

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FINAL PLAT OF HERITAGE- DRIPPING SPRINGS- PHASE 2

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Table with 6 columns: Scale, Drawn by, Checked by, Date, Project No., Sheet No. Values: 1" = 100', SAL, JGM, 05-27-2021, 067783118, 5 OF 5

DWG NAME: K:\S\A SURVEY\HERITAGE DRIPPING SPRINGS\DWG\PLAT\HERITAGE DRIPPING SPRINGS067783118-HERITAGE DRIPPING SPRINGS PHASE 2 PLAT.DWG PLOTTED BY: LUCIO, STEVE 8/4/2021 11:20 AM LAST SAVED 8/4/2021 11:20 AM



City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

SUBDIVISION APPLICATION

Case Number (staff use only): _____

MEETINGS REQUIRED
(AS APPLICABLE PER SITE DEVELOPMENT ORDINANCE)

INFORMAL CONSULTATION DATE: _____ <input type="checkbox"/> NOT SCHEDULED	PRE-APPLICATION CONFERENCE DATE: _____ <input type="checkbox"/> NOT SCHEDULED
---	---

PLAT TYPE

- Amending Plat
- Minor Plat
- Replat
- Final Plat
- Plat Vacation
- Other: _____

CONTACT INFORMATION

APPLICANT NAME SARAH MAYS, P.E.
COMPANY KIMLEY-HORN
STREET ADDRESS 10814 JOLLYVILLE ROAD BLDG IV STE 200
CITY AUSTIN **STATE** TX **ZIP CODE** 78759
PHONE 512 649 8745 **EMAIL** SARAH.MAYS@KIMLEY-HORN.COM

OWNER NAME WILLIAM G. PECKMAN
COMPANY M/I HOMES OF AUSTIN, LLC
STREET ADDRESS 7600 N CAPITAL OF TEXAS HWY, BLDG C, 250
CITY AUSTIN **STATE** TX **ZIP CODE** 78731
PHONE 512 770 8503 **EMAIL** WPECKMAN@MIHOMES.COM

PROPERTY INFORMATION	
PROPERTY OWNER NAME	M/I HOMES OF AUSTIN, LLC
PROPERTY ADDRESS	SPORTSPLEX DRIVE DRIPPING SPRINGS, TX
CURRENT LEGAL DESCRIPTION	BEING A 69.999 ACRE TRACT OF LAND AND BEING A PORTION OF A CALLED 188.130 ACRE TRACT DESCRIBED TO M/I HOMES OF AUSTIN, LLC AND TRI POINTE HOMES TEXAS, INC. RECORDED IN DOCUMENT NO. 21023136 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.
TAX ID #	17780, 92195
LOCATED IN	<input checked="" type="checkbox"/> City Limits <input type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	69.999
SCHOOL DISTRICT	Dripping Springs ISD
ESD DISTRICT(S)	North Hays ESD #6
ZONING/PDD/OVERLAY	PDD NO. 5
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input checked="" type="checkbox"/> State Name: _____ <input checked="" type="checkbox"/> City/County (public) Name: _____
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input checked="" type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: <u>PDD NO. 5</u>

ENVIRONMENTAL INFORMATION	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384 • Dripping Springs, TX 78620
 512.858.4725 • cityofdrippingsprings.com

PROJECT INFORMATION	
PROPOSED SUBDIVISION NAME	HERITAGE PHASE 2
TOTAL ACREAGE OF DEVELOPMENT	69.999
TOTAL NUMBER OF LOTS	162 (160 Residential, 2 Drainage)
AVERAGE SIZE OF LOTS	0.143 AC (Residential), 18.5 AC (Drainage)
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: <u>160</u> COMMERCIAL: <u>0</u> INDUSTRIAL: <u>0</u>
ACREAGE PER USE	RESIDENTIAL: _____ COMMERCIAL: _____ INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>9,502</u> PRIVATE: <u>0</u>
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	SURFACE WATER <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER GROUND WATER* <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED? <input type="checkbox"/> YES <input type="checkbox"/> NO</p>	

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384 • Dripping Springs, TX 78620

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COMMENTS: _____

TITLE: _____ SIGNATURE: _____

PUBLIC UTILITY CHECKLIST

ELECTRIC PROVIDER NAME (if applicable): PEDERNALES ELECTRIC COOPERATIVE

VERIFICATION LETTER ATTACHED NOT APPLICABLE

COMMUNICATIONS PROVIDER NAME (if applicable): FRONTIER

VERIFICATION LETTER ATTACHED NOT APPLICABLE

WATER PROVIDER NAME (if applicable): DRIPPING SPRINGS WSC

VERIFICATION LETTER ATTACHED NOT APPLICABLE

WASTEWATER PROVIDER NAME (if applicable): CITY OF DRIPPING SPRINGS

VERIFICATION LETTER ATTACHED NOT APPLICABLE

GAS PROVIDER NAME (if applicable): TEXAS GAS

VERIFICATION LETTER ATTACHED NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?*

(See attached agreement)

*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city's website at www.cityofdrippingsprings.com and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED) YES (VOLUNTARY*) NO

APPLICANT'S SIGNATURE

Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted only when all required information is included in the submittal.

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Kimley-Horn _____

Applicant Name

Sarah Mays _____

Applicant Signature

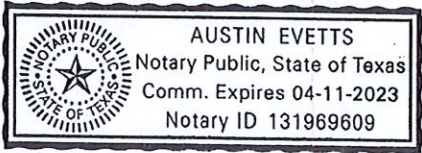
sarah mays _____

_____ Date

Notary

_____ Date

Notary Stamp Here



M/i Homes of Austin, LLC
William G. Peckman, Area President

Property Owner Name

William G. Peckman _____

Property Owner Signature

9/13/21 _____ Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature: Sarah Mays Date: _____

FINAL, REPLAT, MINOR, AND AMENDING PLAT CHECKLIST		
Subdivision Ordinance, Section 5		
STAFF	APPLICANT	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items
<input type="checkbox"/>	<input type="checkbox"/>	County Application Submittal – proof of online submission (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	ESD #6 Application (if within City or Development Agreement) or Proof of Submittal to Hays County Fire Marshal (if in the ETJ)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer's Summary Report
<input type="checkbox"/>	<input type="checkbox"/>	Drainage Report – if not included in the Engineer's summary
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Geological Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(I)(4)] (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Final Plats (11 x 17 to scale)
<input type="checkbox"/>	<input type="checkbox"/>	Copy of Current Configuration of Plat (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Preliminary Plat (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Proof of final acceptance of all public infrastructure by the jurisdiction that will own and maintain it; or posting of fiscal for public infrastructure.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement

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<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Cost estimate of public infrastructure improvements (all public infrastructure improvements including water, wastewater, roads, drainage, curbs, sidewalks, etc.) (if applicable). *A Final Plat application will not be accepted if staff has not already approved this.
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County)
<input type="checkbox"/>	<input type="checkbox"/>	Documentation showing Hays County 911 Addressing approval (If applicable)
<input type="checkbox"/>	<input type="checkbox"/>	Parkland Dedication fee (if applicable)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Ag Facility Fees - \$35 per residential LUE (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Utility Service (Water & Wastewater) or permit to serve
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)]
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Pre-Application Meeting Form signed by City Staff

FINAL PLAT INFORMATION REQUIREMENTS		
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and street right-of-way, bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.

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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location, widths and names of all street right-of-way and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Plat is approved)</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information),</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers).</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All physical features of the property to be subdivided shall be shown, including:</p> <ul style="list-style-type: none"> - The location and size of all watercourses; and - 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and - Water Quality Buffer Zones as required by [WQO 22.05.017] - Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2]. - U.S. Army Corps of Engineers flowage easement requirements; and - All critical environmental features (CEFs) such as karsts, springs, sinkholes,

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		<p>caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species.</p> <p>- Drainage area in acres or area draining into subdivisions (to be included in drainage report and construction plans); and</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> • Owner responsible for operation and maintenance of stormwater facilities. • Owner/operator of water and wastewater utilities. • Owner/operator of roadway facilities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> - A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument. - The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature. - A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission. - Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:

NARRATIVE OF COMPLIANCE	
A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.	
Outdoor Lighting, Article 24.06	
Parkland Dedication, Article 28.03	
Landscaping and Tree Preservation, Article 28.06	

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<p>Subdivision, 28.02, Exhibit A</p>	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p>
<p>Zoning, Article 30.02, Exhibit A</p>	



City of Dripping Springs

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Open spaces, friendly faces.

Date: November 19, 2021

Sarah Mays
Kimley-Horn
sarah.mays@kimley-horn.com

Permit Number: **SUB2021-0065**
Project Name: **Heritage Phase 2 Final Plat**
Project Address: **Ranch Road 12, Dripping Springs, TX 78620**

City staff has completed its review of the above-named project. Reviewer comments are provided below. These comments are intended to be comprehensive; however, there may be additional comments after reviewing the submitted corrections. Applicants are encouraged to contact reviewers directly with questions.

City Planner Comments

The following comments have been provided by Tory Carpenter. Should you have any questions or require additional information, please contact Tory Carpenter by email tcarpenter@cityofdrippingsprings.com.

1. Fill in blank information on general note # 1.
2. Remove the City Council approval statement and associated signatures. Final plats only require Planning & Zoning Commission action. (4.7r)
3. Include an overall lot table (4.7f)
4. There are two cloud / bubble callouts on Block H shown on sheet 2. Please remove.

Engineer/Public Works Comments

The following comments have been provided by Chad Gilpin. Should you have any questions or require additional information, please contact Chad Gilpin by email cgilpin@cityofdrippingsprings.com.

5. Complete the development agreement information in General Note 1.
6. Note 9 regarding sidewalks has different wording than Note 9 on the approved Preliminary Plat. Please confirm correct wording and intent.

7. Provide easements for all proposed public infrastructure required for Phase 2 that will not be platted by Phase 1 or Phase 2.
8. The Final Plat cannot be approved until either;
 - a. Construction of Public Infrastructure is complete and accepted by the Jurisdiction that will own it; OR
 - b. Fiscal Surety is posted and approved by the Jurisdiction that will own the Public Infrastructure.
9. Part 3.1 (Offsite Road) of the Offsite Roadway Agreement must be satisfied before approval of the Final Plat.
10. Part 3.2 (Offsite Trail) of the Offsite Roadway Agreement must be satisfied before approval of the Final Plat.
11. There are currently two signature blocks for P&Z. Delete one.
12. Sheet 2 – Show the 25ft Drainage Easement and Setback along the west property boundary (Lots 1 through 3, Block O) to be consistent with the approved preliminary plat.
13. Sheet 2 – Delete the clouds shown in Block H or clarify why they are there.
14. Sheet 3 – Show the 52ft ROW dedication from Sacred Fig Rd to the eastern property boundary as shown on the preliminary plat.
15. Sheet 3 - Show the 20ft WW easement within Lot 1, Block P as shown on the preliminary plat.
16. Sheet 3 – Show the floodplain boundary and WQBZ boundary as shown on the preliminary plat.
17. Provide Lot Tables and Lot Summary consistent with the Phase 1 Plat.
18. It looks like a lot was added to Block M that was not shown on the approved Preliminary Plat. Please confirm with Planning Department that this is acceptable.
19. Lot 7 Block, L is called out as public parkland. The approved Preliminary Plat showed this as HOA parkland. Please confirm with Planning Department that this is acceptable.

Fire Marshal Comments

The following comments have been provided by Dillon Polk. Should you have any questions or require additional information, please contact Dillon Polk by email dpolk@northhaysfire.com.

20. Fire Approves

All resubmittals must be transmitted to the Planning Department at the City of Dripping Springs or uploaded to www.mygovernmentonline.org**.

Resubmittals must include a cover letter addressing each reviewer comment and noting where associated corrections/revisions/changes can be found in the submittal documents. **Please keep previous review comments on the document as you resubmit your response letter, so that staff can keep track of the original comments.** Resubmittals that do not include a cover letter will be considered incomplete and returned.

Note regarding plats subject to Planning and Zoning Commission review: Resubmittals of corrected plats and associated plans must be received no later than seven (7) calendar days prior to the scheduled P&Z meeting for final review and inclusion in the P&Z packets [Ch. 28, Ex. A, Sec. 3.8].

Note regarding Site Development Plans: Revisions must be submitted within 60 days of the date of this letter or a new application will be required [Sec. 28.04.011].

Regards,

Warlan Rivera,

****If you are wanting to resubmit on My Government Online, go to www.mygovernmentonline.org and login using your customer portal account. After login, click the My Account link located at the top right section of the screen to open the My Account Dashboard. Scroll down to the "My Permits" section and locate the project. Click "View Permit" to open the project. Scroll down to the section of your project labeled "Customer Documents." Click the "Add New File" link located to the far right to upload your files. The jurisdiction will be notified automatically after you've uploaded the files. If you are new to the MyGovernmentOnline customer portal, please note that instructions are available on the portal by clicking the "HELP" link or you may call the technical support line at 1-866-957-3764, option 1 for assistance using the online portal.

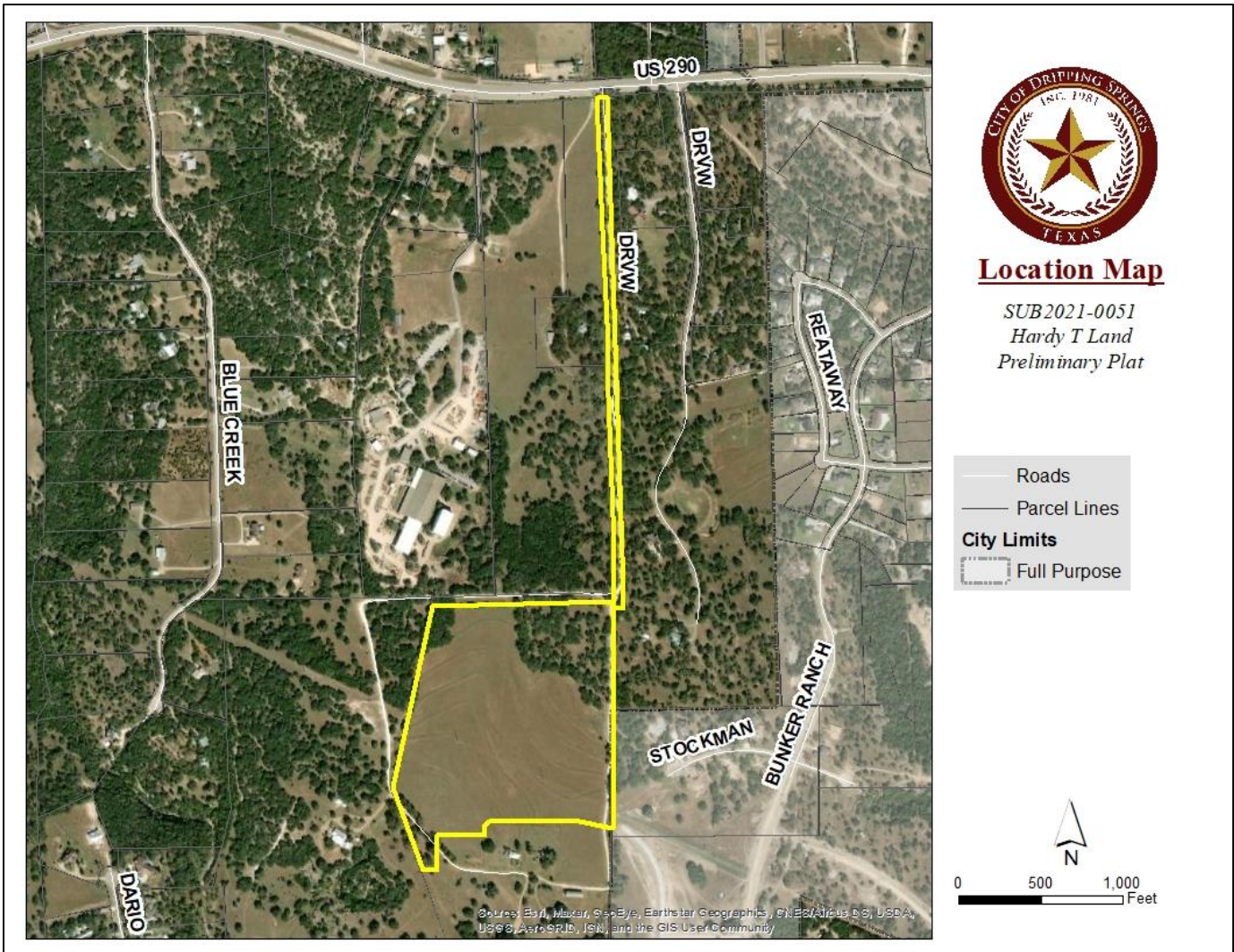


Planning & Zoning Commission Planning Department Staff Report

P&Z Meeting: November 23, 2021
Project Number: SUB2021-0051
Project Planner: Tory Carpenter, Senior Planner

Item Details

Project Name: Hardy T Land Preliminary Plat
Property Location: 2901 W US 290
Legal Description: 79.61 Acres out of the Benjamin F Hanna Survey
Applicant: Civil and Environmental Consultants Inc.
Property Owner: P&H Family Limited Partnership No. 1
Request: A residential preliminary plat



Overview

The applicant is requesting approval of a preliminary plat consisting of 7 residential lots. The sites will be served by private on-site septic systems and will be accessed via the Bunker Ranch subdivision.

Action Requested

Staff is recommending **disapproval** of the preliminary plat with the outstanding comments (see attached).

Site Information

Location:
2901 W US 290

Zoning Designation: ETJ

Property History

The applicant requested annexation and zoning to SF-2 for this property in March 2021. The Planning & Zoning recommended denial of the request and the applicant withdrew the request. This applicant has stated that they intend to develop the property in the ETJ without annexation.

The Commission disapproved this preliminary plat on September 28, 2021.

Recommendation

Staff is recommending *disapproval of the preliminary plat.*

Attachments

- Exhibit 1 – Plat
- Exhibit 2 – Proposed Preliminary plat
- Exhibit 3 – Outstanding Comments Letter

Recommended Action:	Disapproval.
Budget/Financial Impact:	All fees have been paid.
Public Comments:	None Received at this time.
Enforcement Issues:	N/A



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PRELIMINARY PLAT APPLICATION

Case Number (staff use only): _____ - _____

MEETINGS REQUIRED

(AS APPLICABLE PER SUBDIVISION ORDINANCE)

INFORMAL CONSULTATION

PRE-APPLICATION CONFERENCE

DATE: _____

DATE: _____

NOT SCHEDULED

NOT SCHEDULED

CONTACT INFORMATION

APPLICANT NAME Brian Estes

COMPANY Civil and Environmental Consultants Inc.

STREET ADDRESS 3711 S. MoPac Expressway, Building 1, Suite 550

CITY Austin STATE Texas ZIP CODE 78746

PHONE (512) 439-0400 EMAIL bestes@cecinc.com

OWNER NAME P&H Family Limited Partnership No. 1

COMPANY _____

STREET ADDRESS PO Box 1696

CITY Dripping Springs STATE Texas ZIP CODE 78620

PHONE _____ EMAIL _____

PROPERTY INFORMATION	
PROPERTY OWNER NAME	P&H Family Limited Partnership No. 1
PROPERTY ADDRESS	2901 W US 290, Dripping Springs, TX 78620
CURRENT LEGAL DESCRIPTION	A0222 Benjamin F Hanna Survey, Acres 77
TAX ID #	R15103
LOCATED IN	<input type="checkbox"/> City Limits <input checked="" type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	79.61 AC
SCHOOL DISTRICT	Dripping Springs ISD
ESD DISTRICT(S)	Hays County ESD #6
ZONING/PDD/OVERLAY	
EXISTING ROAD FRONTAGE	<input checked="" type="checkbox"/> Private Name: <u>Bunker Ranch Blvd</u> <input type="checkbox"/> State Name: _____ <input type="checkbox"/> City/County (public) Name: _____
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input type="checkbox"/> Yes (see attached) <input checked="" type="checkbox"/> Not Applicable Development Agreement Name: _____

ENVIRONMENTAL INFORMATION	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

PROJECT INFORMATION	
PROPOSED SUBDIVISION NAME	Hardy T Land
TOTAL ACREAGE OF DEVELOPMENT	38.693 AC
TOTAL NUMBER OF LOTS	7 LOTS
AVERAGE SIZE OF LOTS	4.76 AC
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: <u>7 LOTS</u> COMMERCIAL: _____ INDUSTRIAL: _____
ACREAGE PER USE	RESIDENTIAL: _____ COMMERCIAL: <u>39.341 AC</u> INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: _____ PRIVATE: <u>2,440 LF</u>
ANTICIPATED WASTEWATER SYSTEM	<input checked="" type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input type="checkbox"/> PUBLIC SEWER
WATER SOURCES	SURFACE WATER <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER GROUND WATER* <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p>	

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COMMENTS: _____

TITLE: _____ SIGNATURE: _____

PUBLIC UTILITY CHECKLIST

ELECTRIC PROVIDER NAME (if applicable): Pedernales Electric Cooperative (PEC)

VERIFICATION LETTER ATTACHED NOT APPLICABLE

COMMUNICATIONS PROVIDER NAME (if applicable): _____

VERIFICATION LETTER ATTACHED NOT APPLICABLE

WATER PROVIDER NAME (if applicable): Dripping Springs Water Supply Corp. (DSWSC)

VERIFICATION LETTER ATTACHED NOT APPLICABLE

WASTEWATER PROVIDER NAME (if applicable): _____

VERIFICATION LETTER ATTACHED NOT APPLICABLE

GAS PROVIDER NAME (if applicable): Texas Gas Service (TGS)

VERIFICATION LETTER ATTACHED NOT APPLICABLE

<u>PARKLAND DEDICATION?</u>	<u>AGRICULTURE FACILITIES (FINAL PLAT)?</u>
Fee in lieu <input checked="" type="checkbox"/> YES <input type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

Parkland determination and property appraisal attached

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?*

(See attached agreement)

*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city’s website at www.cityofdrippingsprings.com and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED) YES (VOLUNTARY*) NO

APPLICANT'S SIGNATURE

Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted only when all required information is included in the submittal.

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Brian Estes

Applicant Name

[Handwritten Signature]

Applicant Signature

8-17-21

Date

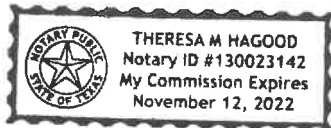
[Handwritten Signature]

Notary

8/17/2021

Date

Notary Stamp Here



HARDY E THOMPSON III

Property Owner Name

Hardy E. Thompson III

Property Owner Signature

8-17-2021

Date

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All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature:  Date: 6-29-21

For projects within the ETJ, per the City of Dripping Springs Interlocal Cooperation Agreement with Hays County, a county subdivision application must also be submitted for review to the City. Fees for Hays County shall also be paid. The City will forward the application and Hays County Fees to the County.

PRELIMINARY PLAT CHECKLIST
Subdivision Ordinance, Section 4

STAFF	APPLICANT	
1	<input type="checkbox"/>	<input checked="" type="checkbox"/> Completed application form – including all required notarized signatures
	<input type="checkbox"/>	<input checked="" type="checkbox"/> Application fee (refer to Fee Schedule)
0	<input type="checkbox"/>	<input checked="" type="checkbox"/> Digital Copies/PDF of all submitted items – please provide a coversheet outlining what digital contents are included on the CD/USB drive.
21	<input type="checkbox"/>	<input checked="" type="checkbox"/> Digital Data (GIS) of Subdivision
	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A County Application Submittal – proof of online submission (if applicable)
2	<input type="checkbox"/>	<input checked="" type="checkbox"/> ESD No. 6 Application (if applicable)
	<input type="checkbox"/>	<input checked="" type="checkbox"/> \$240 Fee for ESD No. 6 Application (if applicable)
3	<input type="checkbox"/>	<input checked="" type="checkbox"/> Billing Contract Form
4	<input type="checkbox"/>	<input checked="" type="checkbox"/> Engineer’s Summary Report
4	<input type="checkbox"/>	<input checked="" type="checkbox"/> Preliminary Drainage Study
5	<input type="checkbox"/>	<input checked="" type="checkbox"/> Preliminary Plats (1 Copy required – 11 x 17)
6	<input type="checkbox"/>	<input checked="" type="checkbox"/> Tax Certificates – verifying that property taxes are current
7	<input type="checkbox"/>	<input checked="" type="checkbox"/> Copy of Notice Letter to the School District – notifying of preliminary submittal
8	<input type="checkbox"/>	<input checked="" type="checkbox"/> Outdoor Lighting Ordinance Compliance Agreement
	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A Development Agreement/PDD (If applicable)
9-11	<input type="checkbox"/>	<input checked="" type="checkbox"/> Utility Service Provider “Will Serve” Letters
	<input type="checkbox"/>	<input checked="" type="checkbox"/> N/A Documentation showing approval of driveway locations (TxDOT, County,)
12	<input type="checkbox"/>	<input checked="" type="checkbox"/> Documentation showing Hays County 911 addressing approval (if applicable)

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See City's parkland determination

13-14	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parkland Dedication Submittal (narrative, fees) letter attached
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
15-16	<input type="checkbox"/>	<input checked="" type="checkbox"/>	ITE Trip Generation Report, or if required; a Traffic Impact Analysis
17	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(l)(4)]
18	<input type="checkbox"/>	<input checked="" type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit (<i>if applicable</i>)
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hays Trinity Groundwater Conservation District approval of water well (<i>if applicable</i>)
19	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Conference Form signed by City Staff
PRELIMINARY PLAT INFORMATION REQUIREMENTS			
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Preliminary Plat within the City (or within its ETJ) and in relationship to existing roadways.
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and streets (including right-of-way widths), bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location, widths and names of all streets, alleys and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with the application form) for all new street names (street name approval is required at the time the Preliminary Plat is approved)

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384 • Dripping Springs, TX 78620

512.858.4725 • www.cityofdrippingsprings.com

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information), buildings, existing sewer or water mains (can be shown on a separate sheet, if preferred), gas mains or other underground structures, or other existing features within the area proposed for subdivision;</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers) proposed use of same; for nonresidential uses, the location and size of buildings, existing and proposed. This information shall be provided on a separate sheet, such as on a concept plan or the final site plan.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Contours with intervals of two feet (2') or less shown for the area, with all elevations on the contour map referenced to sea level datum; and the limits of any portion of the 100-year floodplain (pursuant to the flood study, if required by the City Engineer) that may be within or adjacent to (i.e., within 100 feet of) the property (final monumentation of the floodplain shall occur, and shall be shown, on the final plat prior to approval and filing at the County) - if no floodplain is present, then a note stating this shall be shown on the plat</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Areas contributing drainage to the proposed subdivision shall be shown in the drainage study and construction plans; locations proposed for drainage discharge from the site shall be shown by directional arrows.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All physical features of the property to be subdivided shall be shown, including:</p> <ul style="list-style-type: none"> - The location and size of all watercourses; and - 100-year floodplain according to Federal Emergency Management Agency (FEMA) information; and

		<ul style="list-style-type: none"> - Water Quality Buffer Zones as required by [WQO 22.05.017] - Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2]. - U.S. Army Corps of Engineers flowage easement requirements; and - All critical environmental features (CEFs) such as karsts, springs, sinkholes, caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species. Applicant to include a slope map identifying the breakdown of all lands in categories from 0% to 15 slope, 15 to 30 slope, and over 30% slope; and - Ravines; and - Bridges; and - Culverts; and - Existing structures; and - Drainage area in acres or area draining into subdivisions (to be included in drainage study and construction plans); and - Outline of major wooded areas or the location of major or important individual trees (excluding Cedar Trees) with trunk diameters exceeding twelve inches (12") measured four feet (4') above the ground, and other features pertinent to subdivision; is defined in the City's Technical Construction Standards and Specifications, and the City's Landscape Ordinance.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> • Owner responsible for operation and maintenance of stormwater facilities. • Owner/operator of water and wastewater utilities. • Owner/operator of roadway facilities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Schematic Engineering plans of water and sewer lines and other infrastructure (including sizes) to be constructed in the subdivision; the proposed connections to distribution mains shall be indicated</p>

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Proposed phasing of the development: Where a subdivision is proposed to occur in phases, the applicant, in conjunction with submission of the Preliminary Plat, shall provide a schedule of development, the dedication of rights-of-way for streets and street improvements, whether on-site or off-site, intended to serve each proposed phase of the subdivision. The City Engineer shall determine whether the proposed streets and street improvements are adequate pursuant to standards herein established, and may require that a traffic impact analysis be submitted for the entire project or for such phases as the City Engineer determines to be necessary to adjudge whether the subdivision will be served by adequate streets and thoroughfares.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>All Preliminary Plats shall be submitted in a legible format that complies with Hays County requirements for the filing of plats.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Existing zoning of the subject property and all adjacent properties if within the city limits.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Construction Traffic Plan showing proposed routes for construction vehicle traffic and points of ingress and egress of such vehicles during construction; temporary construction easement approvals if needed, this shall be sealed by a registered engineer</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> - A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument. - The registered professional land surveyor’s certificate, with a place for his or her signature and notarization of his or her signature. - A place for plat approval signature of the Chair or Vice Chair, in the Chair’s absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission. - Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:
<input type="checkbox"/>	<input type="checkbox"/> N/A	<p>If any amount of surface water is to be used by the subject property, the Applicant must provide documentation to the City establishing that the Applicant has notified the following entities of the Applicant’s plans for the</p>

		project: Lower Colorado River Authority (LCRA), and the United States Fish and Wildlife Service (USFWS).
--	--	--

NARRATIVE OF COMPLIANCE

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

Outdoor Lighting, Article 24.06	Outdoor Lighting Ordinance Compliance Form has been provided in this submittal.
Parkland Dedication, Article 28.03	See Parkland dedication fee in lieu approval letter attached and appraisal report included.
Landscaping and Tree Preservation, Article 28.06	Existing are being preserved.

<p>Subdivision, 28.02, Exhibit A</p>	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p> <p>Water quality and detention ponds have been provided on their own lot.</p>
<p>Zoning, Article 30.02, Exhibit A</p>	<p>The Preliminary Plat is in the City of Dripping Springs ETJ.</p>

Project Number: _____ - _____
Only filled out by staff

Date, initials



BILLING CONTACT FORM

Project Name: Hardy T Land
Project Address: 2901 W US 290, Dripping Springs, TX 78620
Project Applicant Name: Brian Estes

Billing Contact Information

Name: Steve Harren
Mailing Address: 317 Grace Lane #240
Austin, Texas 78746
Email: steveharren@aol.com Phone Number: (512) 644-6800

Type of Project/Application (check all that apply):

- | | |
|---|---|
| <input type="checkbox"/> Alternative Standard | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> Certificate of Appropriateness | <input type="checkbox"/> Street Closure Permit |
| <input type="checkbox"/> Conditional Use Permit | <input checked="" type="checkbox"/> Subdivision |
| <input type="checkbox"/> Development Agreement | <input type="checkbox"/> Waiver |
| <input type="checkbox"/> Exterior Design | <input type="checkbox"/> Wastewater Service |
| <input type="checkbox"/> Landscape Plan | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Lighting Plan | <input type="checkbox"/> Zoning |
| <input type="checkbox"/> Site Development Permit | <input type="checkbox"/> Other _____ |

Applicants are required to pay all associated costs associated with a project's application for a permit, plan, certificate, special exception, waiver, variance, alternative standard, or agreement, regardless of City approval. Associated costs may include, but are not limited to, public notices and outside professional services provided to the City by engineers, attorneys, surveyors, inspectors, landscape consultants, lighting consultants, architects, historic preservation consultants, and others, as required. Associated costs will be billed at cost plus 20% to cover the City's additional administrative costs. Please see the online Master Fee Schedule for more details. By signing below, I am acknowledging that the above listed party is financially accountable for the payment and responsibility of these fees.



Signature of Applicant

6-29-21

Date



VICINITY MAP
SCALE: 1"=1000'

PRELIMINARY PLAT

FOR

HARDY T LAND NORTH

CITY OF DRIPPING SPRINGS, HAYS COUNTY, TX



SITE MAP
SCALE: 1"=300'

OWNER/TEAM INFORMATION

CIVIL ENGINEER

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
3711 S. MOPAC EXPRESSWAY, BUILDING 1, SUITE 550
AUSTIN, TX 78746
PH: (512) 439-0400
CONTACT: BRIAN ESTES, PE

OWNER / DEVELOPER

HARDY T LAND, LLC
STEVE HARREN
6836 BEE CAVES ROAD
AUSTIN, TEXAS 78746

LAND SURVEYOR

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
3711 S. MOPAC EXPRESSWAY, BUILDING 1, SUITE 550
AUSTIN, TX 78746
PH: (512) 439-0400
CONTACT: FRANK FUNK, RPLS

SUMMARY

AREAS

LOTS (7)	33.36 AC	86%
POND LOTS(1)	2.10 AC	06%
R.O.W.	3.22 AC	08%

TOTAL= 38.68 AC.

IMPERVIOUS COVER

IMPERVIOUS COVER 35% MAX

LOT COUNT

NUMBER OF LOTS = 8
AVERAGE LOT = 4.43 AC
TOTAL = 35.46 AC

PLAT NOTES

- ALL RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY MUST REPLY ON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- ASSIGNED CITY ADDRESS NUMBERS SHALL BE PERMANENTLY AFFIXED TO ALL STRUCTURES IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET.
- NO PORTION OF THIS TRACT FALLS WITHIN FEMA 1% ANNUAL CHANCE FLOOD HAZARD AREA PER FEMA PANEL 48209C0085F DATED 9/2/2005.
- WATER PROVIDER: DRIPPING SPRINGS WATER SUPPLY CORP.
- A PORTION OF THIS PROJECT IS LOCATED WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.
- THE JURISDICTIONAL AUTHORITY FOR ONSITE SEWAGE FACILITIES (OSSF) FALLS UNDER THE TEXAS COMMISSION OF ENVIRONMENTAL QUALITY. THE AUTHORIZED AGENT IS THE CITY OF DRIPPING SPRINGS.
- THE HOA SHALL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF STORMWATER FACILITIES.
- DRIPPING SPRINGS WATER SUPPLY CORPORATION WILL OWN AND OPERATE THE WATER FACILITIES AS PER NOTE 4.
- THE HOA SHALL BE THE OWNER AND OPERATOR OF ROADWAY FACILITIES.

SHEET LIST	
SHEET #	DESCRIPTION
01	COVER SHEET
02	PRELIMINARY PLAT
03	EXISTING DRAINAGE AREA MAP
04	PROPOSED DRAINAGE AREA MAP
05	DETENTION POND PLAN
06	WATER & E&S PLAN

LEGAL DESCRIPTION

BEING A 38.680 ACRE TRACT OUT OF THE BENJAMIN F. HANNA SURVEY NO. 28, ABSTRACT NO. 222, SITUATED IN HAYS COUNTY, TEXAS, BEING A PORTION OF A CALLED 78.021 ACRE TRACT BEING ALL OF TRACT 1, CONVEYED TO HARDY T LAND, LLC BY SPECIAL WARRANTY DEED OF RECORD IN DOCUMENT NO. 21051171, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS (O.P.R.H.C.T.)

NO	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
Texas Registered Engineering Firm F-38
3711 South Mopac Expressway - Building 1, Suite 550 - Austin, TX 78746
Ph: 512.439.0400 - Fax: 512.329.0096
www.cechinc.com

HARDY T LAND LLC
HARDY T LAND NORTH
DRIPPING SPRINGS, HAYS COUNTY, TX

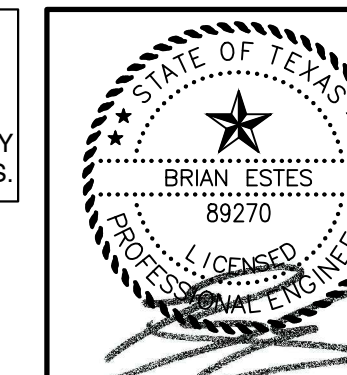
APPROVED BY:	APPROVED BY:
_____ CITY ADMINISTRATOR	_____ CITY SECRETARY
_____ CITY ENGINEER	_____ DRIPPING SPRINGS WATER SUPPLY CORPORATION
_____ PLANNING DIRECTOR	_____ HAYS COUNTY ESD #6
_____ PLANNING & ZONING COMMISSION CHAIR	_____ SITE PERMIT NUMBER

SUBMITTED BY : BRIAN ESTES, PE

08/19/21

I CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

811 !!! CAUTION !!! !!! CAUTION !!!
IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION, and NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.



COVER SHEET	DATE:	MARCH, 2021	DRAWN BY:	STAFF
	DWG SCALE:	1"=300'	CHECKED BY:	MISC
	PROJECT NO.:	304-065	APPROVED BY:	BE
	DRAWING NO.:	01		



THE FINAL PLAT OF BUNKER RANCH, PHASE 3 DOC. NO. 21009701 O.P.R.H.C.T. BLOCK 3 LOT 1 LOT 2 LOT 3 LOT 4

THE FINAL PLAT OF BUNKER RANCH, PHASE 2 DOC. NO. 20017197 O.P.R.H.C.T. LOT 13 LOT 14 LOT 15 LOT 16 LOT 17

ELRY AND BARBARA HUDSON LIVING TRUST CALLED 44.123 ACRES VOL. 2851, PG. 80 O.P.R.H.C.T.

P&H FAMILY LIMITED PARTNERSHIP NO. 1 & NO. 2 CALLED 4.25 ACRES VOL. 1733, PG. 748 O.P.R.H.C.T.

MIGUEL SILVA AND ANGELICA SILVA CALLED 49.98 ACRES DOC. NO. 1502907 O.P.R.H.C.T.

P&H FAMILY LIMITED PARTNERSHIP NO. 1 A PORTION OF A CALLED 79.61 ACRE TRACT VOL. 1733, PG. 755 O.P.R.H.C.T.

PATRIOT ERECTORS, LLC CALLED 36.802 ACRES DOC. NO. 18016400 O.P.R.H.C.T.

PEDERNALES ELECTRIC COOPERATIVE, INC. EASEMENT CAUSE NO. 1649 VOL. 1983, PG. 576 O.P.R.H.C.T.

P&H FAMILY LIMITED PARTNERSHIP NO. 2 CALLED 79.39 ACRES VOL. 1734, PG. 427 O.P.R.H.C.T.

P&H FAMILY LIMITED PARTNERSHIP NO. 1 REMAINDER OF A CALLED 79.61 ACRE TRACT VOL. 1733, PG. 755 O.P.R.H.C.T.

- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - - - EASEMENT LINE
 - COTTON SPINDLE FOUND
 - 1/2-INCH IRON ROD SET WITH "CEC" CAP
 - 1/2-INCH IRON ROD FOUND UNLESS OTHERWISE NOTED
 - 8-INCH CEDAR FENCE POST
 - DOC. NO. DOCUMENT NUMBER
 - VOL., PG. VOLUME, PAGE
 - O.P.R.H.C.T. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS

LINE	BEARING	DISTANCE
L1	N00°00'00"E	60.99'
L2	N00°25'57"E	99.94'
L3	N88°43'55"E	3.37'
L4	N89°24'56"E	60.00'
L5	N8°00'40"W	56.01'
L6	S00°00'00"E	18.53'
L7	S00°00'00"E	63.50'
L8	N90°00'00"W	20.30'

CURVE	ARC DISTANCE	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	210.24'	480.00'	025°05'43"	N77°27'08"W	208.56'
C2	39.27'	25.00'	090°00'00"	S45°00'00"E	35.36'
C3	39.27'	25.00'	090°00'00"	S45°00'00"E	35.36'
C4	306.91'	330.00'	053°17'11"	N26°38'36"E	295.97'
C5	251.11'	270.00'	053°17'11"	N26°38'36"E	242.15'
C6	39.27'	25.00'	089°59'59"	S45°00'01"W	35.36'
C7	39.27'	25.00'	090°00'01"	S44°59'59"E	35.36'
C8	209.18'	540.00'	022°11'41"	N78°54'10"W	207.87'
C9	70.52'	300.00'	013°28'08"	N84°30'18"W	70.36'
C10	76.45'	311.08'	014°04'52"	S84°55'52"E	76.26'
C11	70.52'	300.00'	013°28'08"	S84°30'18"E	70.36'
C12	49.42'	37.00'	076°31'52"	N50°29'42"E	45.83'
C13	45.01'	37.00'	069°42'02"	S56°23'21"E	42.29'
C14	89.87'	154.00'	033°26'13"	S74°19'26"E	88.60'
C15	60.21'	150.00'	023°00'00"	S72°32'32"E	59.81'
C16	151.13'	402.41'	021°31'05"	S77°43'17"E	150.24'
C17	94.52'	300.00'	018°03'04"	S78°44'50"E	94.13'
C18	155.14'	300.00'	029°37'49"	N76°25'28"W	153.42'
C19	113.65'	206.01'	031°36'31"	N77°37'17"W	112.21'
C20	162.43'	330.00'	028°12'08"	S14°06'04"W	160.80'
C21	144.48'	330.00'	025°05'03"	S40°44'40"W	143.32'

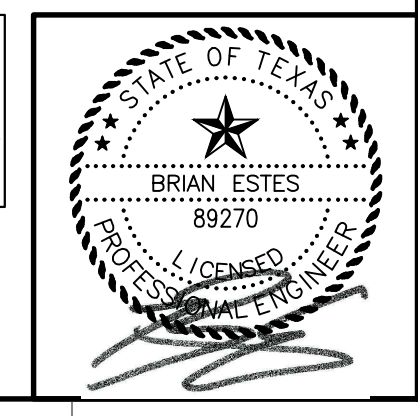
REVISION RECORD

Civil & Environmental Consultants, Inc.
 3711 South Mofac Expressway - Building 1, Suite 550 - Austin, TX 78746
 Ph: 512.439.0400 - Fax: 512.329.0096
 www.cecninc.com

HARDY T LAND LLC
HARDY T LAND NORTH
DRIPPING SPRINGS, HAYS COUNTY, TX

PRELIMINARY PLAT

DATE: AUGUST, 2021 | DRAWN BY: ESH
 DWG SCALE: 1"=100' | CHECKED BY: FWF
 PROJECT NO: 304-065
 APPROVED BY: FWF

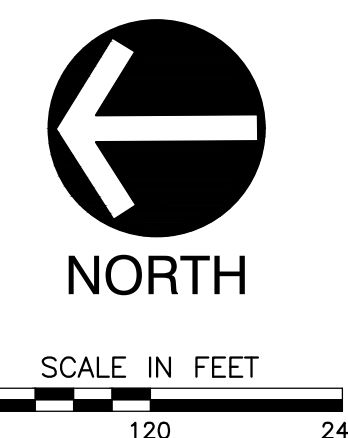
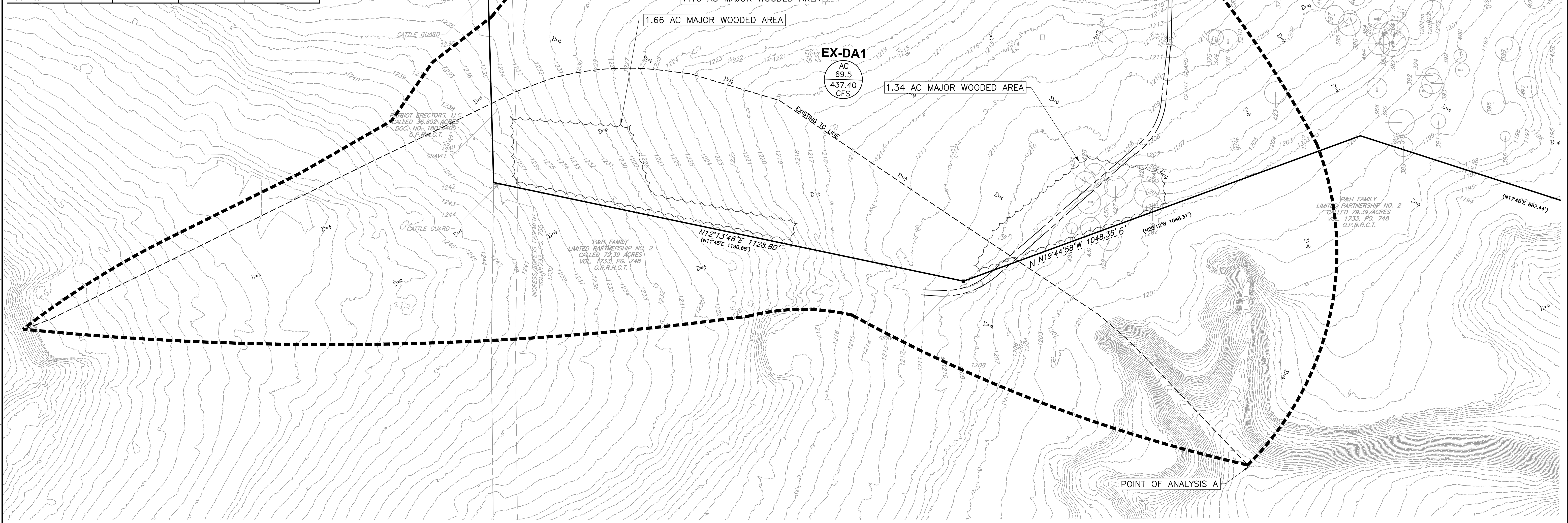


811 !!! CAUTION !!!
 IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION, and NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

FOR INFORMATION ONLY

PL 1302-2021-08-09-0951 - CAD (Dwg) (Hardy) (2021 Preliminary Plans) 1304065-0202-C002 - PRELIMINARY PLAT (Hardy) (2021 Preliminary Plans) 1304065-0202-C002 - PL 10/14/2021 4:32 PM

Time of Concentration (TR-55 method) - Existing Site Conditions				
Subbasin		Ex DA-1	Ex DA-2	Ex DA-3
Area	sf	3027904	58979	245395
	ac	69.511	1.354	5.633
	sq mi	0.10861111	0.00211558	0.00880233
Impervious	%	0%	0%	1%
Pervious	Cn	83	83	83
Composite	Cn	83	83	83
Sheet Flow				
Slope	in/in	0.0693	0.0197	0.0753
Length	ft.	193	190	100
Roughness	n	0.24	0.24	0.24
Time	hr.	0.22	0.35	0.12
Shallow Concentrated				
Slope	in/in	0.0235	0.0159	0.0176
Length	ft.	1325	355	832
Paved?	p/u	u	u	u
Time	hr.	0.15	0.05	0.11
Channel Flow 1				
Slope	in/in	0.0312	0.01	0.010
Length	ft.	1987	0	0
Velocity	fps	4	4	4
Time	hr.	0.14	0.00	0.00
Summary				
Travel Time	hr.	0.56	0.40	0.23
Tc	min.	33.56	24.09	13.89
Lag Time	min.	20.14	14.45	8.33
Existing Run-off Values from HEC-HMS				
2 Year	cfs	100.40	2.20	11.20
10 Year	cfs	201.80	4.50	22.60
25 Year	cfs	281.60	6.30	31.50
100 Year	cfs	437.40	9.80	48.70



NO.	DATE	DESCRIPTION

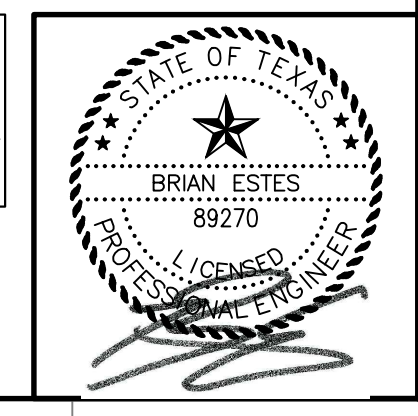
Civil & Environmental Consultants, Inc.
 3711 South MoPac Expressway - Building 1, Suite 550 - Austin, TX 78746
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**HARDY T LAND LLC
 HARDY T LAND NORTH
 DRIPPING SPRINGS, HAYS COUNTY, TX**

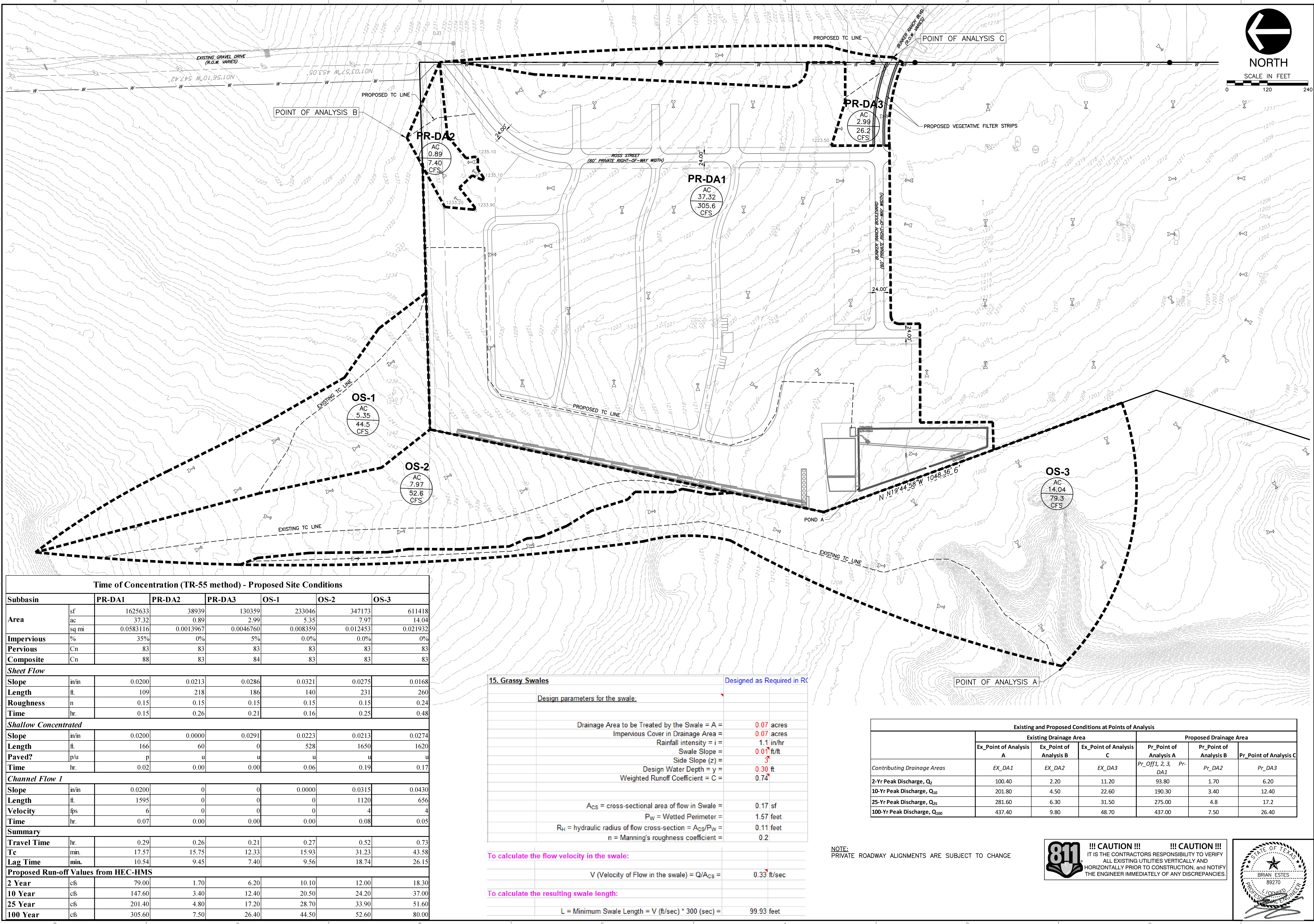
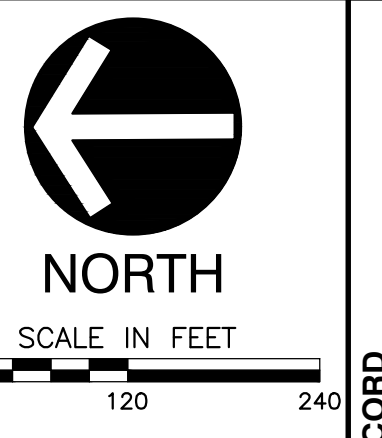
EXISTING DRAINAGE AREA MAP	
DATE:	MARCH, 2021
DRAWN BY:	BRIAN ESTES
DWG SCALE:	1" = 120'
CHECKED BY:	BRIAN ESTES
PROJECT NO:	89270
APPROVED BY:	BRIAN ESTES
STAFF:	MISC
	304-065
	BE

NOTE:
 FOR ANY LOTS THAT HAVE TREES WITH TRUNKS OVER 12" IN DIAMETER, THE OWNER WILL PARTICIPATE IN TREE MITIGATION BY PAYING CASH-IN-LIEU, THE AMOUNT EQUAL TO THE COST OF INSTALLATION ON A PER-UNIT BASIS, NOT TO EXCEED \$100.00 PER CALIPER INCH OR \$6,000.00 PER ACRE.

811 !!! CAUTION !!! !!! CAUTION !!!
 IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION, and NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.



A:\100-2001\100-0951-0002\Drawings\100-0951-0002-0003 - Existing Drainage\100-0951-0002-0003.dwg (10/14/2021 4:32 PM)



Time of Concentration (TR-55 method) - Proposed Site Conditions							
Subbasin	PR-DA1	PR-DA2	PR-DA3	OS-1	OS-2	OS-3	
Area	sf ac sq mi	1625633 0.89 0.0583116	38939 0.89 0.0013967	130359 2.99 0.0046760	233046 5.35 0.008359	347173 7.97 0.012453	611418 14.04 0.021932
Impervious	%	35%	0%	5%	0.0%	0.0%	0%
Pervious	Cn	83	83	83	83	83	83
Composite	Cn	88	83	84	83	83	83
Sheet Flow							
Slope	in/in	0.0200	0.0213	0.0286	0.0321	0.0275	0.0168
Length	ft.	109	218	186	140	231	260
Roughness	n	0.15	0.15	0.15	0.15	0.15	0.24
Time	hr.	0.15	0.26	0.21	0.16	0.25	0.48
Shallow Concentrated							
Slope	in/in	0.0200	0.0000	0.0291	0.0223	0.0213	0.0274
Length	ft.	166	60	0	528	1650	1620
Paved?	p/u	p	u	u	u	u	u
Time	hr.	0.02	0.00	0.00	0.06	0.19	0.17
Channel Flow 1							
Slope	in/in	0.0200	0	0	0.0000	0.0315	0.0430
Length	ft.	1595	0	0	0	1120	656
Velocity	fps	6	0	0	0	4	4
Time	hr.	0.07	0.00	0.00	0.00	0.08	0.05
Summary							
Travel Time	hr.	0.29	0.26	0.21	0.27	0.52	0.73
Tc	min.	17.57	15.75	12.33	15.93	31.23	43.58
Lag Time	min.	10.54	9.45	7.40	9.56	18.74	26.15
Proposed Run-off Values from HEC-HMS							
2 Year	cfs	79.00	1.70	6.20	10.10	12.00	18.30
10 Year	cfs	147.60	3.40	12.40	20.50	24.20	37.00
25 Year	cfs	201.40	4.80	17.20	28.70	33.90	51.60
100 Year	cfs	305.60	7.50	26.40	44.50	52.60	80.00

15. Grassy Swales Designed as Required in RC

Design parameters for the swale:

Drainage Area to be Treated by the Swale = A = 0.07 acres
Impervious Cover in Drainage Area = 0.07 acres
Rainfall intensity = i = 1.1 in/hr
Swale Slope = 0.07 ft/ft
Side Slope (z) = 3:1
Design Water Depth = y = 0.30 ft
Weighted Runoff Coefficient = C = 0.74

A_{CS} = cross-sectional area of flow in Swale = 0.17 sf
P_W = Wetted Perimeter = 1.57 feet
R_H = hydraulic radius of flow cross-section = A_{CS}/P_W = 0.11 feet
n = Manning's roughness coefficient = 0.2

To calculate the flow velocity in the swale:

$$V \text{ (Velocity of Flow in the swale)} = Q/A_{CS} = 0.33 \text{ ft/sec}$$

To calculate the resulting swale length:

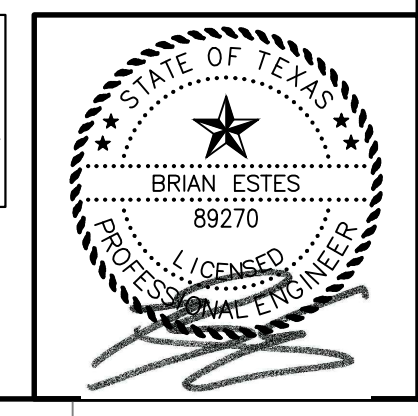
$$L = \text{Minimum Swale Length} = V \text{ (ft/sec)} * 300 \text{ (sec)} = 99.93 \text{ feet}$$

Contributing Drainage Areas	Existing and Proposed Conditions at Points of Analysis					
	Existing Drainage Area			Proposed Drainage Area		
	Ex_Point of Analysis A	Ex_Point of Analysis B	Ex_Point of Analysis C	Pr_Point of Analysis A	Pr_Point of Analysis B	Pr_Point of Analysis C
2-Yr Peak Discharge, Q ₂	EX_DA1	EX_DA2	EX_DA3	Pr_DA1	Pr_DA2	Pr_DA3
10-Yr Peak Discharge, Q ₁₀	100.40	2.20	11.20	93.80	1.70	6.20
25-Yr Peak Discharge, Q ₂₅	201.80	4.50	22.60	190.30	3.40	12.40
100-Yr Peak Discharge, Q ₁₀₀	281.60	6.30	31.50	275.00	4.8	17.2
	437.40	9.80	48.70	437.00	7.50	26.40

NOTE: PRIVATE ROADWAY ALIGNMENTS ARE SUBJECT TO CHANGE

811 !!! CAUTION !!!

IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION, and NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.



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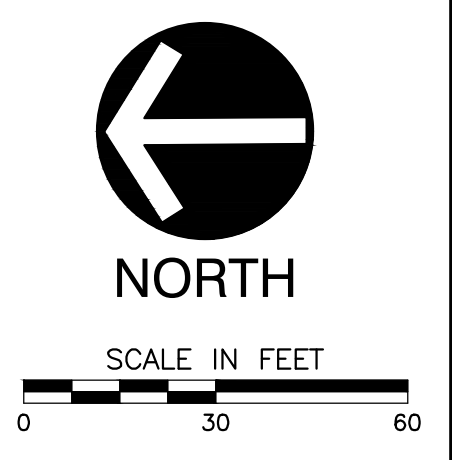
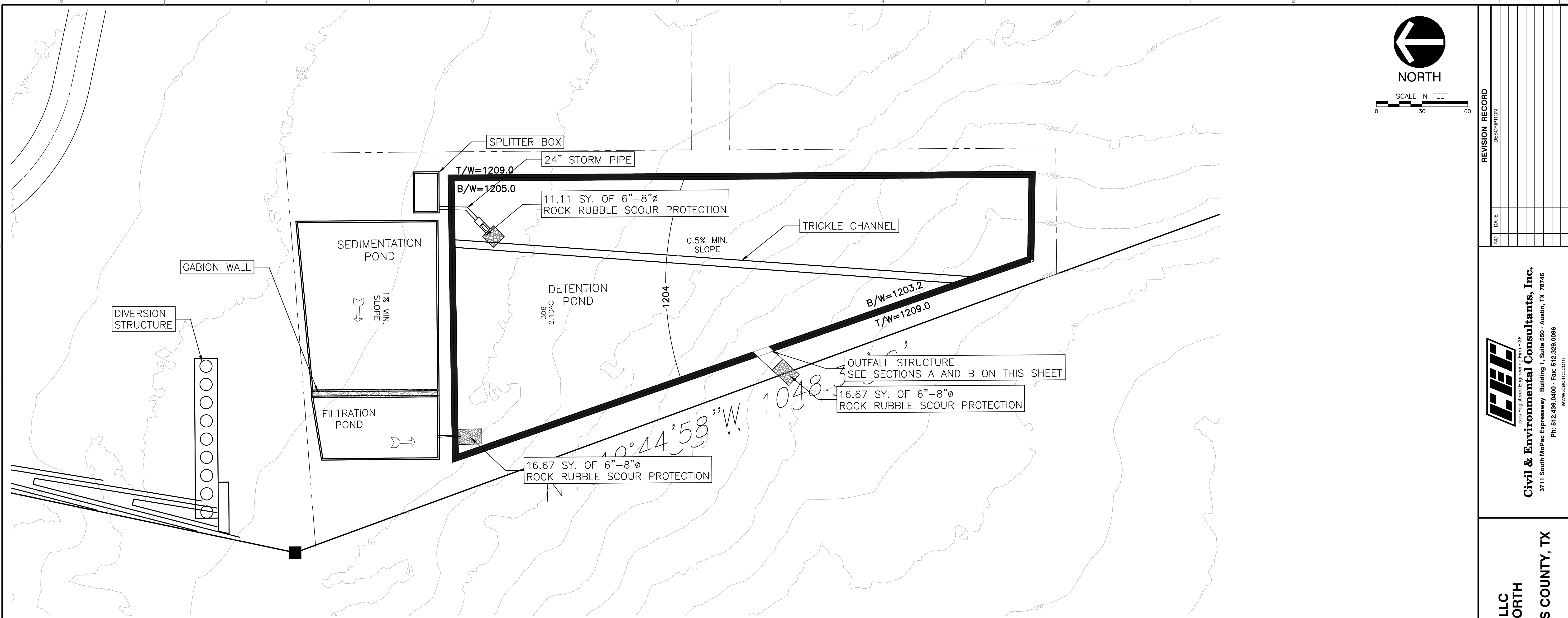
**HARDY T LAND LLC
HARDY T LAND NORTH
DRIPPING SPRINGS, HAYS COUNTY, TX**

PROPOSED DRAINAGE AREA MAP

DRAWING NO. **04** OF 05
SHEET 04 OF 05

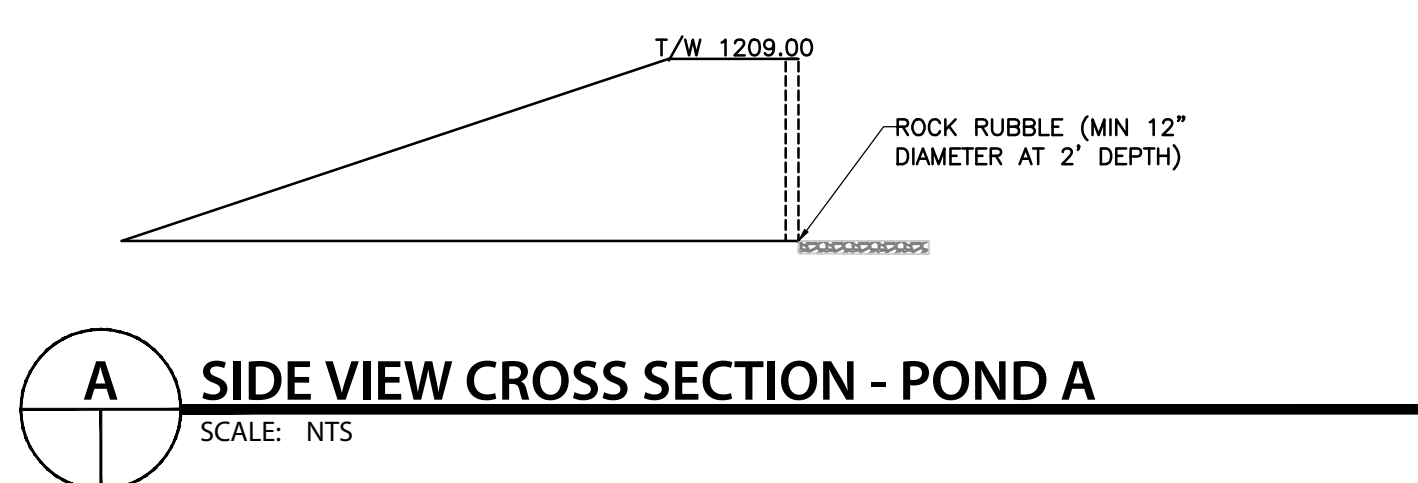
DATE: MARCH 2021
DIMS SCALE: 1"=120'
PROJECT NO: 304-065
STAFF: MISC
CHECKED BY: B.E.
APPROVED BY: B.E.

PL:130-001-001-000 (Comp) (Major) (2021) (Preliminary Phase) (3/30/2021) (12:01:14 PM) - IP: 10/14/2021 4:31 PM

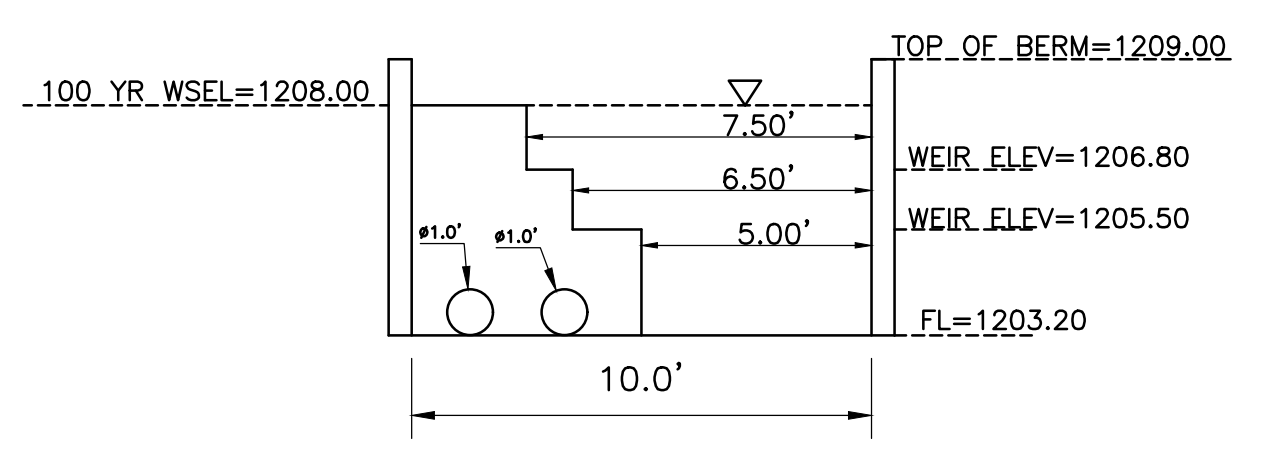


POND-A
SCALE: 1"=30'

- NOTES:**
- EXPANSION JOINTS ON FREE STANDING WALLS SHALL HAVE WATER TIGHT SEALS AS NEEDED [ECM 1.6.3(B)(4)].
 - ALL POND BOTTOMS, SIDE SLOPES, AND EARTHEN EMBANKMENTS SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH COA STANDARD SPECIFICATIONS. SIDE SLOPES FOR EARTHEN EMBANKMENTS SHALL NOT EXCEED THREE TO ONE (3H:1V). ROCK SLOPES MAY EXCEED THESE LIMITS IF A GEOTECHNICAL REPORT WARRANTS A DEVIATION. ACTUAL FIELD CONDITIONS MAY OVERRIDE THE GEOTECHNICAL REPORT. CONCRETE WALLS SHALL BE BUILT TO COA STANDARD SPECIFICATIONS. EXPANSION JOINTS ON FREE STANDING WALLS SHALL HAVE WATER TIGHT SEALS AS NEEDED.



A SIDE VIEW CROSS SECTION - POND A
SCALE: NTS



B OUTFALL CROSS SECTION - POND A
SCALE: NTS

Pond A - Detention Pond Values from HEC-HMS Hydrologic Modeling Software

Storm Event	Q-Ex (cfs)	Q-Pr (cfs)	PR-Routed (cfs)	WS Elevation (ft)
2-yr	100.40	89.10	64.2	1205.4
10-yr	201.80	168.10	132.8	1206.5
25-yr	281.60	230.10	194.2	1207.1
100-yr	437.40	350.10	311.3	1208.0

POND A - Sedimentation Pond Stage Values

Stage	Area (sf)	Area (ac)	Volume (cf)	Cum. Volume (cf)	Ac-ft
1207.7	0	0	0 cf	0 cf	0.0000
1208.0	9,547	0.219168962	1,432	1,432	0.0329
1209.0	9,547	0.219168962	9,547	10,979	0.2520
1210.0	9,547	0.219168962	9,547	20,526	0.4712
1211.0	9,547	0.219168962	9,547	30,073	0.6904
1212.0	9,547	0.219168962	9,547	39,620	0.9096
1213.0	9,547	0.219168962	9,547	49,167	1.1287

POND A - Detention Pond Stage Values

Stage	Area (sf)	Area (ac)	Volume (cf)	Cum. Volume (cf)	Ac-ft
1203.1	0	0	0 cf	0 cf	0.0000
1204.0	21,614	0.496189164	9,726	9,726	0.2233
1205.0	43,664	1.002387511	32,639	42,365	0.9726
1206.0	45,692	1.048943985	44,678	87,043	1.9982
1207.0	45,692	1.048943985	45,692	132,735	3.0472
1208.0	47,754	1.096280992	46,723	179,458	4.1198
1209.0	47,754	1.096280992	47,754	227,212	5.2161

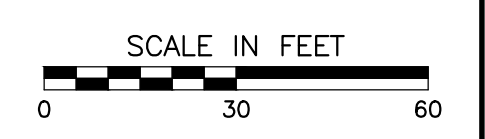
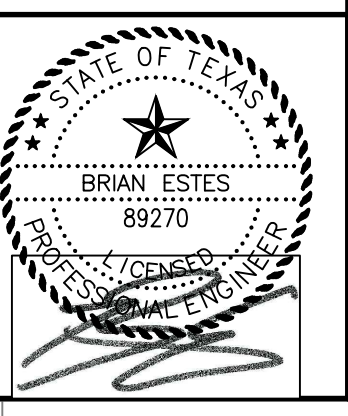
POND A - Filtration Pond Stage Values

Stage	Area (sf)	Area (ac)	Volume (cf)	Cum. Volume (cf)	Ac-ft
1207.6	3,161	0.072566575	0 cf	0 cf	0.0000
1208.0	3,161	0.072566575	1,264	1,264	0.0290
1209.0	3,161	0.072566575	3,161	4,425	0.1016
1210.0	3,161	0.072566575	3,161	7,586	0.1742
1211.0	3,161	0.072566575	3,161	10,747	0.2467
1212.0	3,161	0.072566575	3,161	13,908	0.3193
1213.0	3,161	0.072566575	3,161	17,069	0.3919

Existing and Proposed Conditions at Points of Analysis

	Existing Drainage Area			Proposed Drainage Area		
	Ex_Point of Analysis A	Ex_Point of Analysis B	Ex_Point of Analysis C	Pr_Point of Analysis A	Pr_Point of Analysis B	Pr_Point of Analysis C
Contributing Drainage Areas	EX_DA1	EX_DA2	EX_DA3	Pr_Off1, 2, 3, DA1	Pr_DA2	Pr_DA3
2-Yr Peak Discharge, Q ₂	100.40	2.20	11.20	93.80	1.70	6.20
10-Yr Peak Discharge, Q ₁₀	201.80	4.50	22.60	190.30	3.40	12.40
25-Yr Peak Discharge, Q ₂₅	281.60	6.30	31.50	275.00	4.8	17.2
100-Yr Peak Discharge, Q ₁₀₀	437.40	9.80	48.70	437.00	7.50	26.40

811 !!! CAUTION !!!
IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION, and NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.



REVISION RECORD

NO	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
3711 South MoPac Expressway - Building 1, Suite 550 - Austin, TX 78746
Ph: 512.439.0400 - Fax: 512.329.0096
www.cedinc.com

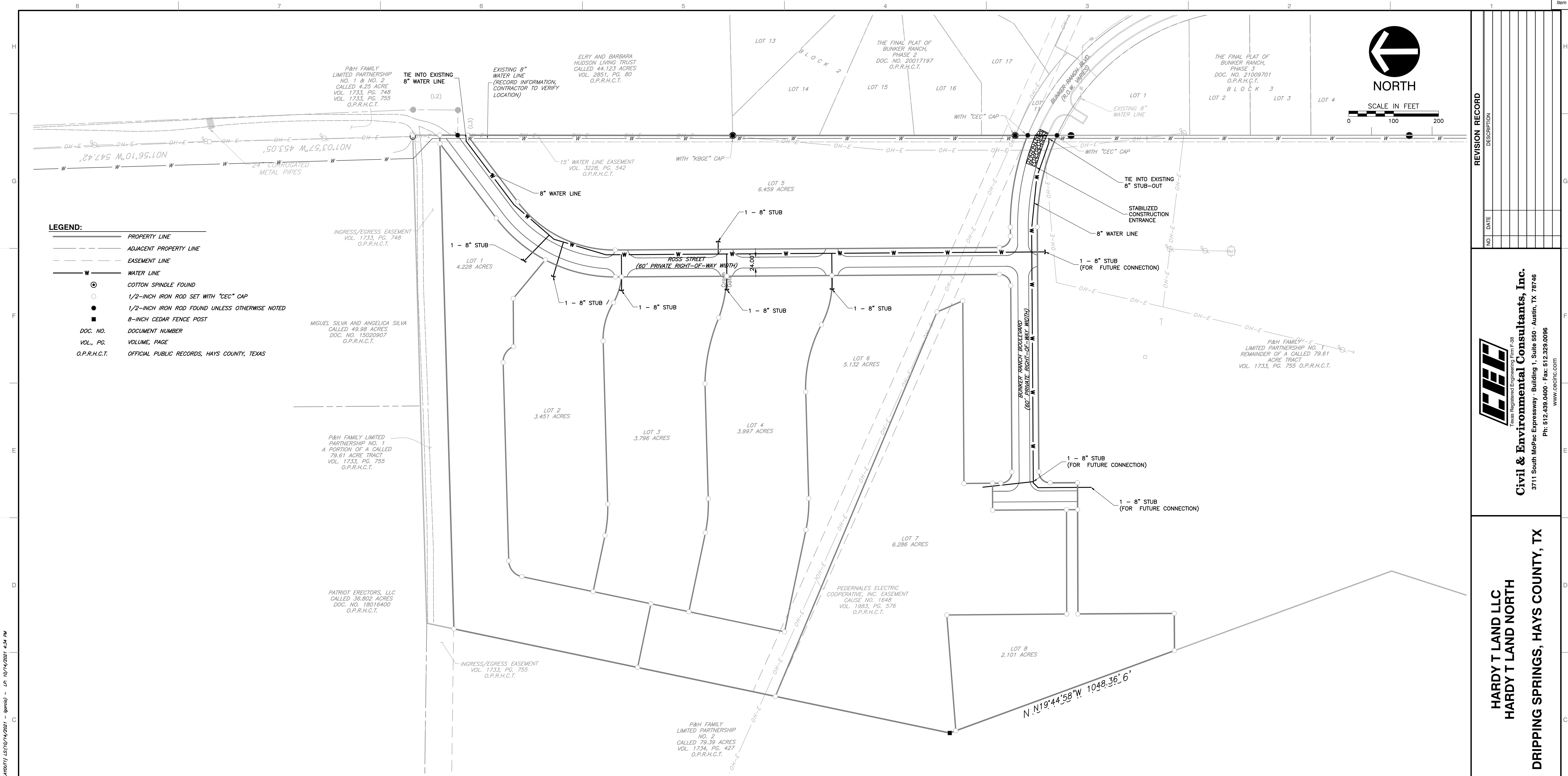
HARDY T LAND LLC
HARDY T LAND NORTH
DRIPPING SPRINGS, HAYS COUNTY, TX

DETENTION POND PLAN

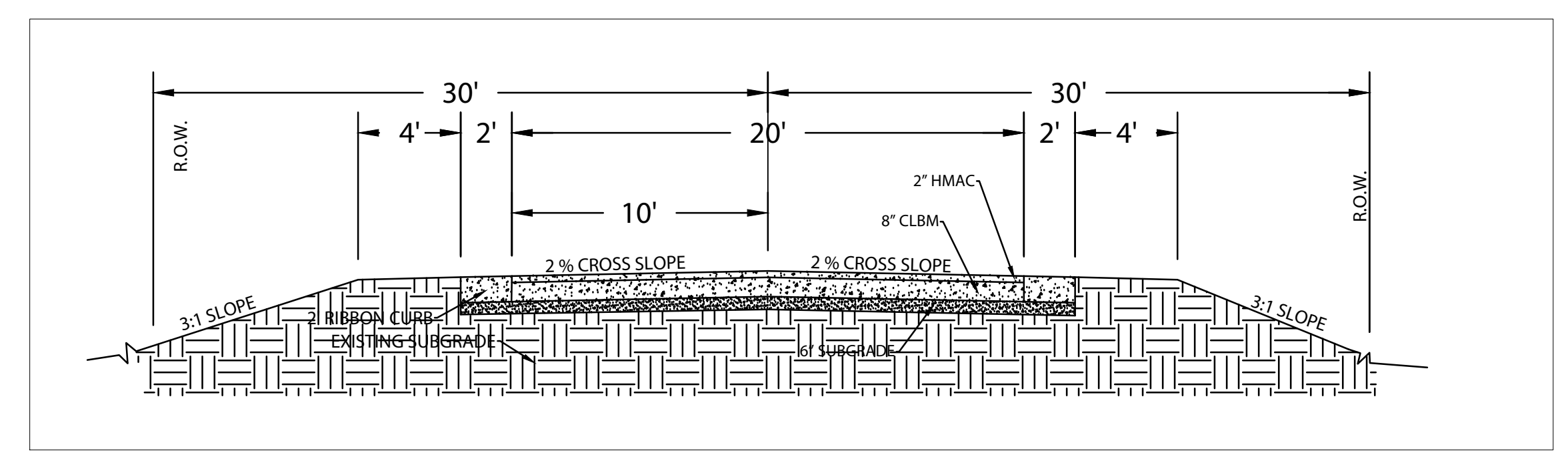
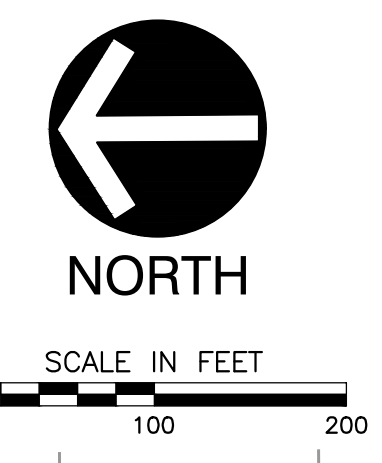
DATE: MARCH, 2021
DRAWN BY: STAFF
DWG SCALE: 1"=30'
PROJECT NO: 304-065
CHECKED BY: MISC
APPROVED BY: BE

DRAWING NO. **05**
SHEET 05 OF 05

A:\130-2001\130-0651-0002\Draw\Plans\130-065-0002-0000 - DETENTION POND PLAN.dwg (1/27/2021 4:33 PM) - LP: 10/14/2021 4:33 PM

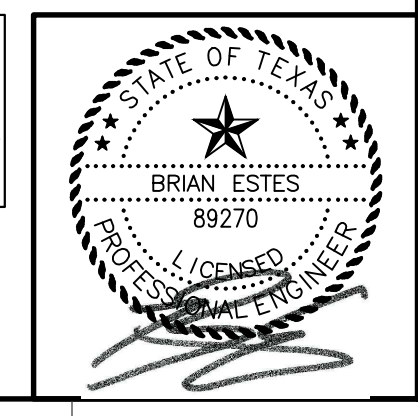


- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - - - EASEMENT LINE
 - W — WATER LINE
 - COTTON SPINDLE FOUND
 - 1/2-INCH IRON ROD SET WITH "CEC" CAP
 - 1/2-INCH IRON ROD FOUND UNLESS OTHERWISE NOTED
 - 8-INCH CEDAR FENCE POST
 - DOC. NO. DOCUMENT NUMBER
 - VOL., PG. VOLUME, PAGE
 - O.P.R.H.C.T. OFFICIAL PUBLIC RECORDS, HAYS COUNTY, TEXAS



- NOTE:**
1. TYPICAL SECTION IS NOT TO SCALE.
 2. FOR EXACT WIDTHS SEE DIMENSIONS.
 3. ROADWAY ALIGNMENT IS SUBJECT TO CHANGE

811 !!! CAUTION !!!
 IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION, and NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.



NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
 Texas Registered Engineering Firm F-38
 3711 South MoMac Expressway - Building 1, Suite 550 - Austin, TX 78746
 Ph: 512.439.0400 - Fax: 512.329.0096
 www.cecinc.com

HARDY T LAND LLC
HARDY T LAND NORTH
DRIPPING SPRINGS, HAYS COUNTY, TX

WATER & E&S PLAN	
DATE:	AUGUST, 2021
DRAWN BY:	MISC
CHECKED BY:	304-065
PROJECT NO.:	
APPROVED BY:	BE

DRAWING NO. **06**
 SHEET 06 OF 05

FOR INFORMATION ONLY

A:\2021-2024\2021-08-05-08-05\2021 Preliminary Plans\2021-08-05-08-05-08-05.dwg - WATER & E&S PLAN.dwg (10/14/2021 4:34 PM)



City of Dripping Springs

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Open spaces, friendly faces.

Date: **November 19, 2021**

Brian Estes
Civil & Environmental Consultants, Inc.
ccordoba@cecinc.com

Permit Number: **SUB2021-0051**
Project Name: **Hardy T One Preliminary Plat**
Project Address: **2901 W US 290, Dripping Springs, TX 78620**

City staff has completed its review of the above-named project. Reviewer comments are provided below. These comments are intended to be comprehensive; however, there may be additional comments after reviewing the submitted corrections. Applicants are encouraged to contact reviewers directly with questions.

Engineer/Public Works Comments

The following comments have been provided by Chad Gilpin. Should you have any questions or require additional information, please contact Chad Gilpin by email cgilpin@cityofdrippingsprings.com.

1. Comment 01: Clarify how water quality requirements will be achieved for stormwater discharges to POA B and POA C. [WQO 22.05]

Response 01: The water quality requirements will be achieved for storm water discharges to PoA C using vegetative filter strips along the sides of the road to pick up the drainage from the proposed roadway. Please refer to the vegetative filter strips shown on the Proposed Drainage Area Map at approximately Grid G3. The calculations for the minimum 80% TSS removal of this area have been provided in the table at Grid B5. The storm water discharge at PoA B consists of sheet flow over grassy areas and there is no runoff from proposed impervious cover going to this point of analysis in the proposed conditions. Please refer to the Pr-DA2 column in the Proposed Site Conditions Table at Grid C7 which shows that Pr-DA2 has 0% impervious cover.

Comment 02: Outside the City Limits required water quality load removal is 90%. Please update calculations. [WQO 22.05.015(c)]

2. Comment 01: Provide a sheet showing the existing and proposed roadway layout. Show location, width and names of all streets. [Preliminary Plat Information Requirements].

Response 01: The existing and proposed roadway layout has been provided on Sheet 4, Proposed Drainage Area Map. Refer to Grid G5 for the width of the road. The names of all right-of-way streets

have been provided.

Comment 02: The improvements required for the access easement to US 290 shall be documented on the preliminary plat. At a minimum the access easement will need to meet width, horizontal clearance, load bearing and gating requirements of the County Fire Marshall.

City Planner Comments

The following comments have been provided by Tory Carpenter. Should you have any questions or require additional information, please contact Tory Carpenter by email tcarpenter@cityofdrippingsprings.com.

3. Provide Hays County 1445 approval letter (4.7(o)).

All resubmittals must be transmitted to the Planning Department at the City of Dripping Springs or uploaded to www.mygovernmentonline.org**.

Resubmittals must include a cover letter addressing each reviewer comment and noting where associated corrections/revisions/changes can be found in the submittal documents. **Please keep previous review comments on the document as you resubmit your response letter, so that staff can keep track of the original comments.** Resubmittals that do not include a cover letter will be considered incomplete and returned.

Note regarding plats subject to Planning and Zoning Commission review: Resubmittals of corrected plats and associated plans must be received no later than seven (7) calendar days prior to the scheduled P&Z meeting for final review and inclusion in the P&Z packets [Ch. 28, Ex. A, Sec. 3.8].

Note regarding Site Development Plans: Revisions must be submitted within 60 days of the date of this letter or a new application will be required [Sec. 28.04.011].

Regards,

Warlan Rivera,

****If you are wanting to resubmit on My Government Online, go to www.mygovernmentonline.org and login using your customer portal account. After login, click the My Account link located at the top right section of the screen to open the My Account Dashboard. Scroll down to the "My Permits" section and locate the project. Click "View Permit" to open the project. Scroll down to the section of your project labeled "Customer Documents." Click the "Add New File" link located to the far right to upload your files. The jurisdiction will be notified automatically after you've uploaded the files. If you are new to the MyGovernmentOnline customer portal, please note that instructions are available on the portal by clicking the "HELP" link or you may call the technical support line at 1-866-957-3764, option 1 for assistance using the online portal.

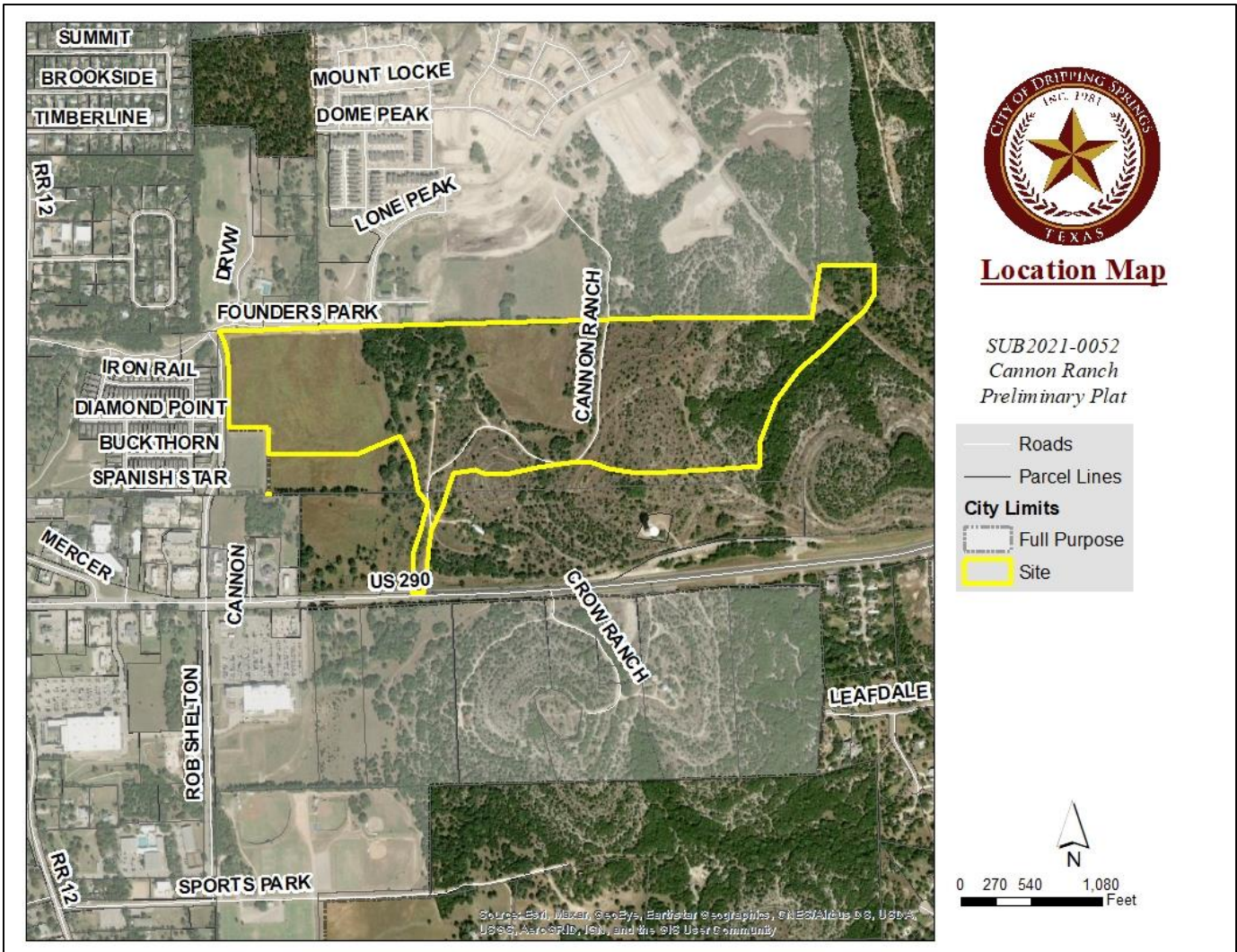


Planning & Zoning Commission Planning Department Staff Report

P&Z Meeting: November 23, 2021
Project Number: SUB2021-0052
Project Planner: Tory Carpenter, Senior Planner

Item Details

Project Name: Cannon Ranch Preliminary Plat
Property Location: Cannon Ranch Road & US 290
Legal Description: 100.58 Acres out of the Philip A. Smith & C.H. Malott Surveys.
Applicant: Doucet & Associates
Property Owner: Ashton Woods
Request: A residential preliminary plat.



Overview

The applicant is requesting approval of a preliminary plat consisting of 375 residential lots.

Action Requested

Approval

Site Information

Location:

Cannon Ranch Road at US 290.

Zoning Designation: PDD #12

Property History

The property was annexed and approved as PDD #12 in July 2021. This preliminary plat encompasses the entirety of the Cannon Ranch development.

This preliminary plat was disapproved by the Commission at their October 12, 2021 meeting.

Recommendation

Staff is recommending approval of the preliminary plat.

Attachments

Exhibit 1 – Plat

Exhibit 2 - Application

Recommended Action:	Approval.
Budget/Financial Impact:	All fees have been paid.
Public Comments:	None Received at this time.
Enforcement Issues:	N/A



DRIPPING SPRINGS
Texas

City of Dripping Springs

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Dripping Springs, TX 78620

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PRELIMINARY PLAT APPLICATION

Case Number (staff use only): _____ - _____

MEETINGS REQUIRED
(AS APPLICABLE PER SUBDIVISION ORDINANCE)

INFORMAL CONSULTATION

PRE-APPLICATION CONFERENCE

DATE: _____

8/26/2021

DATE: _____

NOT SCHEDULED

NOT SCHEDULED

CONTACT INFORMATION

APPLICANT NAME Jake Helmburg

COMPANY Doucet & Associates

STREET ADDRESS 7401 B Hwy 71 West, Suite 160

CITY Austin STATE Texas ZIP CODE 78735

PHONE 512-583-2677 EMAIL jhelmburg@doucetengineers.com

OWNER NAME Steven Pierce

COMPANY Ashton Woods

STREET ADDRESS 10721 Research Blvd. B-210

CITY Austin STATE Texas ZIP CODE 78759

PHONE 5128094413 EMAIL steven.pierce@ashtonwoods.com

PROPERTY INFORMATION	
PROPERTY OWNER NAME	Ashton Woods
PROPERTY ADDRESS	Cannon Ranch Road
CURRENT LEGAL DESCRIPTION	<small>BEING A 100.58 ACRE TRACT OF LAND OUT OF THE PHILIP A. SMITH SURVEY NUMBER 26, ABSTRACT NUMBER 415, AND THE C.H. MALOTT SURVEY, ABSTRACT NUMBER 693, HAYS COUNTY, TEXAS, SAID TRACT BEING OUT OF THAT CALLED 209.697 ACRE TRACT CONVEYED IN A DEED TO CANNON FAMILY, LTD., AS RECORDED IN VOLUME 1619, PAGE 313 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS [O.P.R.H.C.T.], ALSO BEING OUT OF A CALLED 58.000 ACRE TRACT DESCRIBED IN A DEED TO ORYX CANNON 58 LLC., RECORDED IN DOCUMENT NUMBER 20023358 [O.P.R.H.C.T.]</small>
TAX ID #	17786
LOCATED IN	<input type="checkbox"/> City Limits <input type="checkbox"/> Extraterritorial Jurisdiction
CURRENT LAND ACREAGE	100.58
SCHOOL DISTRICT	Dripping Springs ISD
ESD DISTRICT(S)	6
ZONING/PDD/OVERLAY	PDD#12
EXISTING ROAD FRONTAGE	<input type="checkbox"/> Private Name: _____ <input checked="" type="checkbox"/> State Name: Hwy 290 <input checked="" type="checkbox"/> City/County (public) Name: Rob Shelton/Founders Park Road
DEVELOPMENT AGREEMENT? (If so, please attach agreement)	<input checked="" type="checkbox"/> Yes (see attached) <input type="checkbox"/> Not Applicable Development Agreement Name: PDD#12

ENVIRONMENTAL INFORMATION	
IS PROPERTY OVER THE EDWARDS AQUIFER RECHARGE ZONE?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
IS PROPERTY OVER THE BARTON SPRINGS CONTRIBUTING ZONE TO THE EDWARDS AQUIFER?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
IS PROPERTY WITHIN A FEMA FLOODPLAIN AS DEFINED BY THE MOST CURRENT FIRM?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

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PROJECT INFORMATION	
PROPOSED SUBDIVISION NAME	Cannon Ranch
TOTAL ACREAGE OF DEVELOPMENT	100.58
TOTAL NUMBER OF LOTS	375
AVERAGE SIZE OF LOTS	
INTENDED USE OF LOTS	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> INDUSTRIAL/OTHER: _____
# OF LOTS PER USE	RESIDENTIAL: <u>375</u> COMMERCIAL: _____ INDUSTRIAL: _____
ACREAGE PER USE	RESIDENTIAL: <u>3.72 DU/AC</u> COMMERCIAL: _____ INDUSTRIAL: _____
LINEAR FEET (ADDED) OF PROPOSED ROADS	PUBLIC: <u>17,451</u> PRIVATE: _____
ANTICIPATED WASTEWATER SYSTEM	<input type="checkbox"/> CONVENTIONAL SEPTIC SYSTEM <input type="checkbox"/> CLASS I (AEROBIC) PERMITTED SYSTEM <input checked="" type="checkbox"/> PUBLIC SEWER
WATER SOURCES	SURFACE WATER <input checked="" type="checkbox"/> PUBLIC WATER SUPPLY <input type="checkbox"/> RAIN WATER GROUND WATER* <input type="checkbox"/> PUBLIC WELL <input type="checkbox"/> SHARED WELL <input type="checkbox"/> PUBLIC WATER SUPPLY
<p>*IF DOING GROUND WATER PROVISION FOR THE DEVELOPMENT USING GROUNDWATER RESOURCES, THE HAYS-TRINITY GROUNDWATER CONSERVATION DISTRICT MUST BE NOTIFIED:</p> <p>HAYS-TRINITY GCD NOTIFIED? <input type="checkbox"/> YES <input type="checkbox"/> NO</p>	

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384 • Dripping Springs, TX 78620

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COMMENTS: _____

TITLE: Engineer Associate III SIGNATURE: *John Valenzuela*

PUBLIC UTILITY CHECKLIST

ELECTRIC PROVIDER NAME (if applicable): PEC

VERIFICATION LETTER ATTACHED NOT APPLICABLE

COMMUNICATIONS PROVIDER NAME (if applicable): Spectrum

VERIFICATION LETTER ATTACHED NOT APPLICABLE

WATER PROVIDER NAME (if applicable): City of Dripping Springs

VERIFICATION LETTER ATTACHED NOT APPLICABLE

WASTEWATER PROVIDER NAME (if applicable): City of Dripping Springs

VERIFICATION LETTER ATTACHED NOT APPLICABLE

GAS PROVIDER NAME (if applicable): Texas Gas

VERIFICATION LETTER ATTACHED NOT APPLICABLE

PARKLAND DEDICATION?	AGRICULTURE FACILITIES (FINAL PLAT)?
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NOT APPLICABLE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NOT APPLICABLE

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE?*

(See attached agreement)

*If proposed subdivision is in the City Limits, compliance with the Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement, or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (see Outdoor Lighting tab on the city's website at www.cityofdrippingsprings.com and online Lighting Ordinance under the Code of Ordinances tab for more information).

YES (REQUIRED) YES (VOLUNTARY*) NO

APPLICANT'S SIGNATURE

*Note: An additional signature is required on page 7 of the application verifying completeness. Applications should be submitted **only** when all required information is included in the submittal.*

The above information is true to the best of my knowledge. I attest that the real property described is owned by me and all others as signed below. If the below signed applicant is not the owner of said property, the signature of the property owner must be included below, or consent must be attached (If a corporation, please list title, and name of corporation.)

Applicant Name

Jake Helmburg

08/20/2021

Applicant Signature

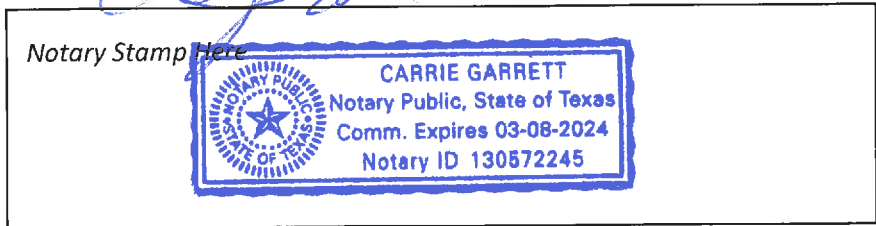
Jake Helmburg

Date
08/20/2021

Notary

[Handwritten Signature]

Date
08/23/2021



Steven Pierce - Ashton Woods

Property Owner Name

[Handwritten Signature]

8/23/21

Property Owner Signature

Date

All required items and information (including all applicable below listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be deemed filed and complete. By signing below, I acknowledge that I have read through and met all requirements for a complete submittal:

Applicants Signature: *John Valenzuela* Date: 08/20/2021

For projects within the ETJ, per the City of Dripping Springs Interlocal Cooperation Agreement with Hays County, a county subdivision application must also be submitted for review to the City. Fees for Hays County shall also be paid. The City will forward the application and Hays County Fees to the County.

PRELIMINARY PLAT CHECKLIST
Subdivision Ordinance, Section 4

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed application form – including all required notarized signatures
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application fee (refer to Fee Schedule) \$85,140
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copies/PDF of all submitted items – please provide a coversheet outlining what digital contents are included on the CD/USB drive.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Data (GIS) of Subdivision
<input type="checkbox"/>	<input type="checkbox"/>	County Application Submittal – proof of online submission (if applicable) N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ESD #6 Application (if within City or Development Agreement) or Proof of Submittal to Hays County Fire Marshal (if in the ETJ)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$240 Fee for ESD #6 Application (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contract Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineer’s Summary Report
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Drainage Study N/A - Included in Prelim engineering report
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Plats (3 copies required – 11 x 17)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tax Certificates – verifying that property taxes are current
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Notice Letter to the School District – notifying of preliminary submittal
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Development Agreement/PDD (If applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utility Service Provider “Will Serve” Letters
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Documentation showing approval of driveway locations (TxDOT, County,)

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<input type="checkbox"/>	<input checked="" type="checkbox"/>	Documentation showing Hays County 911 addressing approval (if applicable)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parkland Dedication Submittal (narrative, fees)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$25 Public Notice Sign Fee
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ITE Trip Generation Report, or if required; a Traffic Impact Analysis
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Geologic Assessment Identifying Critical Environmental Features [Sub. Ord. 4.8(1)(4)]
<input type="checkbox"/>	<input type="checkbox"/>	OSSF Facility Planning Report or approved OSSF permit (if applicable) N/A
<input type="checkbox"/>	<input type="checkbox"/>	Hays Trinity Groundwater Conservation District approval of water well (if applicable) N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preliminary Conference Form signed by City Staff
PRELIMINARY PLAT INFORMATION REQUIREMENTS		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity, or location, map that shows the location of the proposed Preliminary Plat within the City (or within its ETJ) and in relationship to existing roadways.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary lines, abstract/survey lines, corporate and other jurisdictional boundaries, existing or proposed highways and streets (including right-of-way widths), bearings and distances sufficient to locate the exact area proposed for the subdivision, and all survey monuments including any required concrete monuments (per the City Engineer); the length and bearing of all straight lines, radii, arc lengths, tangent lengths and central angles of all curves shall be indicated along the lines of each lot or Unit (curve and line data may be placed in a table format); accurate reference ties via courses and distances to at least one recognized abstract or survey corner or existing subdivision corner shall be shown.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name, location and recording information of all adjacent subdivisions (or property owners of adjacent unplatted property), including those located on the other sides of roads or creeks, shall be drawn to the same scale and shown in dotted lines adjacent to the tract proposed for subdivision in sufficient detail to show accurately the existing streets, alleys, building setbacks, lot and block numbering, easements, and other features that may influence the layout of development of the proposed subdivision; adjacent unplatted land shall show property lines, the names of owners of record, and the recording information.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location, widths and names of all streets, alleys and easements (it shall be the applicant's responsibility to coordinate with appropriate utility entities for placement of necessary utility easements and for location of all streets and median openings on highways or arterial roadways), existing or proposed, within the subdivision limits and adjacent to the subdivision; a list of proposed street names shall be submitted (in the form of a letter or memo along with

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		the application form) for all new street names (street name approval is required at the time the Preliminary Plat is approved)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location of all existing property lines, existing lot and block numbers and date recorded, easements of record (with recording information), buildings, existing sewer or water mains (can be shown on a separate sheet, if preferred), gas mains or other underground structures, or other existing features within the area proposed for subdivision;
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed arrangement and square footage of lots or Units (including lot and block numbers or Unit numbers) proposed use of same; for nonresidential uses, the location and size of buildings, existing and proposed. This information shall be provided on a separate sheet, such as on a concept plan or the final site plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All sheets shall have a title block which shows the title or name under which the proposed subdivision is to be recorded; the name, address and phone number of the property owner(s); the name, address and phone number of the licensed engineer or registered professional land surveyor who prepared the plat/plans; the scale of the plat/plans; the date the plat/plan was prepared; and the location of the property according to the abstract or survey records of Hays County, Texas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sites, if any, to be reserved or dedicated for parks, schools, playgrounds, other public uses or for private facilities or amenities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale (including a graphic scale), date, north arrow oriented to the top or left side of the sheet, and other pertinent informational data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contours with intervals of two feet (2') or less shown for the area, with all elevations on the contour map referenced to sea level datum; and the limits of any portion of the 100-year floodplain (pursuant to the flood study, if required by the City Engineer) that may be within or adjacent to (i.e., within 100 feet of) the property (final monumentation of the floodplain shall occur, and shall be shown, on the final plat prior to approval and filing at the County) - if no floodplain is present, then a note stating this shall be shown on the plat
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas contributing drainage to the proposed subdivision shall be shown in the drainage study and construction plans; locations proposed for drainage discharge from the site shall be shown by directional arrows.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All physical features of the property to be subdivided shall be shown, including: <ul style="list-style-type: none"> - The location and size of all watercourses; and - 100-year floodplain according to Federal Emergency Management Agency

		<p>(FEMA) information; and</p> <ul style="list-style-type: none"> - Water Quality Buffer Zones as required by [WQO 22.05.017] - Drainage ways and drainage easements. Drainage easements are required for bypass of any offsite flows and for concentrated flows conveyed across lots. Drainage easements shall be large enough to contain the 100-yr storm [Sub. Ord. 12.2.2]. - U.S. Army Corps of Engineers flowage easement requirements; and - All critical environmental features (CEFs) such as karsts, springs, sinkholes, caves, etc., to be located and documentation to be signed and certified by a geologist. All CEF to have a minimum setback of 150'. All designated wetlands to be certified as such by an accredited wetland biologist relying the presence of wetlands plant species. Applicant to include a slope map identifying the breakdown of all lands in categories from 0% to 15 slope, 15 to 30 slope, and over 30% slope; and - Ravines; and - Bridges; and - Culverts; and - Existing structures; and - Drainage area in acres or area draining into subdivisions (to be included in drainage study and construction plans); and - Outline of major wooded areas or the location of major or important individual trees (excluding Cedar Trees) with trunk diameters exceeding twelve inches (12") measured four feet (4') above the ground, and other features pertinent to subdivision; is defined in the City's Technical Construction Standards and Specifications, and the City's Landscape Ordinance.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Provide notes identifying the following:</p> <ul style="list-style-type: none"> • Owner responsible for operation and maintenance of stormwater facilities. • Owner/operator of water and wastewater utilities. • Owner/operator of roadway facilities
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Schematic Engineering plans of water and sewer lines and other infrastructure</p>

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		(including sizes) to be constructed in the subdivision; the proposed connections to distribution mains shall be indicated
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed phasing of the development: Where a subdivision is proposed to occur in phases, the applicant, in conjunction with submission of the Preliminary Plat, shall provide a schedule of development, the dedication of rights-of-way for streets and street improvements, whether on-site or off-site, intended to serve each proposed phase of the subdivision. The City Engineer shall determine whether the proposed streets and street improvements are adequate pursuant to standards herein established, and may require that a traffic impact analysis be submitted for the entire project or for such phases as the City Engineer determines to be necessary to adjudge whether the subdivision will be served by adequate streets and thoroughfares.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All Preliminary Plats shall be submitted in a legible format that complies with Hays County requirements for the filing of plats.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing zoning of the subject property and all adjacent properties if within the city limits.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Construction Traffic Plan showing proposed routes for construction vehicle traffic and points of ingress and egress of such vehicles during construction; temporary construction easement approvals if needed, this shall be sealed by a registered engineer
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>Certificates and other language shall be included on the plat, pursuant to the following Subsections: A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant.</p> <ul style="list-style-type: none"> - A statement signed by the property owner(s) and acknowledged before a Notary Public that the subdivided area is legally owned by the applicant. - An accurate legal, such as by metes and bounds, description by bearings and distances (including necessary curve and line data), accurate to the nearest one hundredth of a foot, for all boundary, block and lot lines, with descriptions correlated to a permanent survey monument. - The registered professional land surveyor's certificate, with a place for his or her signature and notarization of his or her signature. - A place for plat approval signature of the Chair or Vice Chair, in the Chair's absence) of the Planning and Zoning Commission, a place for the City Secretary to attest such signature, and the approval dates by Planning and Zoning Commission. - Appendices to this Chapter contain certificates and languages to be used on the plat to accommodate the above requirements:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	If any amount of surface water is to be used by the subject property, the

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		Applicant must provide documentation to the City establishing that the Applicant has notified the following entities of the Applicant’s plans for the project: Lower Colorado River Authority (LCRA), and the United States Fish and Wildlife Service (USFWS).
--	--	--

NARRATIVE OF COMPLIANCE

A written narrative describing how all portions of the subdivision meets all requirements of this code and other codes, including landscaping, lighting, parkland dedication, site development, water quality protection, and zoning, as may be relevant.

Outdoor Lighting, Article 24.06	Per PDD #12, the subdivision will comply with the Outdoor Lighting Ordinance
Parkland Dedication, Article 28.03	Per Exhibit C of PDD#12, the subdivision will have 18.82 acres of dedicated parkland. No further dedication or fee in lieu is required.
Landscaping and Tree Preservation, Article 28.06	Per 2.9.1 of PDD #12, a tree survey is submitted with this preliminary plat.

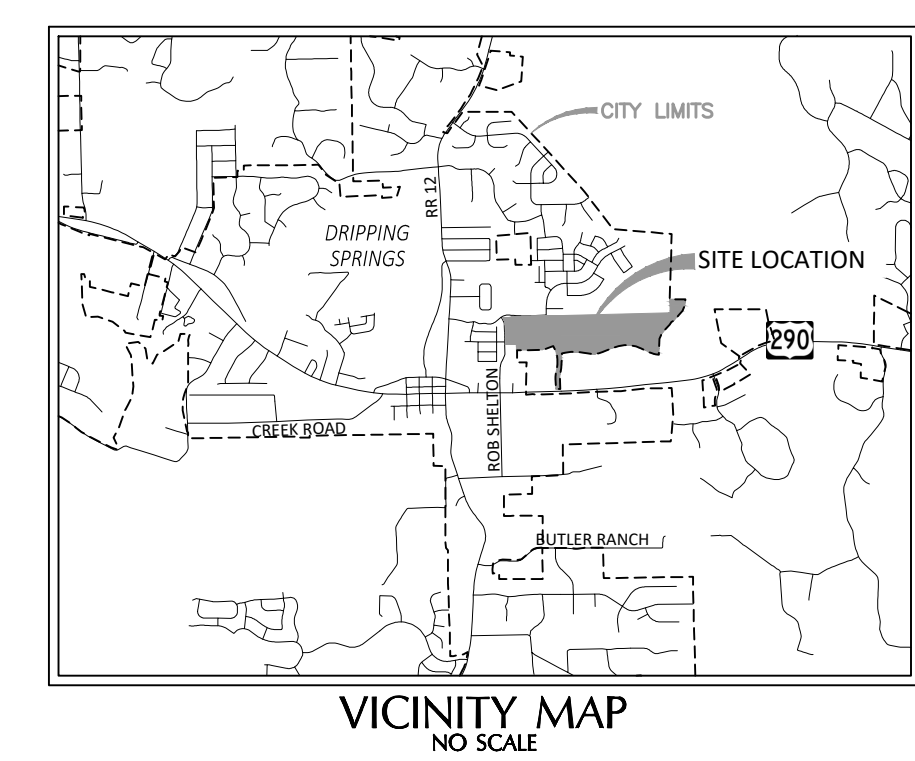
Subdivision, 28.02, Exhibit A	<p>This section shall also include, depending on what type of plat is being filed, how public or private improvements will meet City standards, including water quality, drainage, stormwater, and fire (if applicable).</p> <p>The design of this subdivision is in accordance with the approved PDD #12</p>
Zoning, Article 30.02, Exhibit A	<p>The design of this subdivision is in accordance with the approved PDD #12</p>



LEGEND

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊙ POWER POLE
- ⊙ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- PROPOSED SIDEWALK
- EXISTING CONTOURS
- PHASE BOUNDARY

P.O.S. = OPEN SPACE
 OPEN SPACE = PUBLIC UPLANDS PARK



CANNON RANCH SUBDIVISION

HAYS COUNTY, TEXAS WITHIN
 CITY OF DRIPPING SPRINGS

PUBLIC ROADWAY TABLE

STREET NAME	R.O.W.	PAVEMENT	C&G	CL LENGTH
DENALI WAY	54'	30'	YES	1,431'
WRANGELL WAY	54'	30'	YES	1,452'
KINGS CANYON DRIVE	54'	30'	YES	972'
RUSHMORE DRIVE	54'	30'	YES	2,464'
RANIER WAY	54'	30'	YES	4,204'
CRATER LAKE DRIVE	54'	30'	YES	1,074'
GORGE DRIVE	54'	30'	YES	340'
DUVALL DRIVE	54'	30'	YES	195'
DIABLO RIM TERRACE	54'	30'	YES	358'
LONE PEAK WAY	114'	48'	YES	2,150'
BERKLEY BLVD.	90'	24'	YES	2,811'

LOT SETBACKS

FRONT	20'
REAR	10'
SIDE	5'
CORNER	15'

ROW DEDICATION FOR FUTURE ROADWAY EXPANSION

ROW DEDICATION FOR FUTURE ROADWAY EXPANSION (BY OTHERS)

PARKLAND DEDICATION SUMMARY

DESCRIPTION	LOT#	AREA (AC)
Phase One		
OPEN SPACE	LOT 32, BLOCK 1	0.38
PRIVATE OPEN SPACE	LOT 25, BLOCK 2	0
PRIVATE OPEN SPACE	LOT 1, BLOCK 4	0
PRIVATE OPEN SPACE	LOT 24, BLOCK 4	0
OPEN SPACE	LOT 1, BLOCK 5	2.53
POND A	LOT 1, BLOCK 5	-1.98
Phase Two		
OPEN SPACE	LOT 1, BLOCK 7	1.50
PRIVATE OPEN SPACE	LOT 1, BLOCK 8	0
PRIVATE OPEN SPACE	LOT 1, BLOCK 9	0
Phase Three		
OPEN SPACE	LOT 85, BLOCK 7	1.01
PRIVATE OPEN SPACE	LOT 19, BLOCK 9	0.00
PRIVATE NEIGHBORHOOD PARK	LOT 9, BLOCK 10	2.84
POND B	LOT 9, BLOCK 10	-0.50
PRIVATE OPEN SPACE	LOT 1, BLOCK 11	0.00
Phase Four		
OPEN SPACE	LOT 45, BLOCK 10	7.91
OPEN SPACE	LOT 46, BLOCK 10	0.08
OPEN SPACE	LOT 30, BLOCK 11	5.94
POND C	LOT 45, BLOCK 10	-1.33
TOTAL DEDICATED		18.38
TOTAL REQUIRED		16.30

SITE DATA TABLE

TOTAL SITE AREA		100.58 AC
RESIDENTIAL LOTS (40')	148	17.79 AC
RESIDENTIAL LOTS (45')	164	22.05 AC
RESIDENTIAL LOTS (60')	63	11.63 AC
TOTAL RESIDENTIAL LOTS	375	51.47 AC
TOTAL PARKLAND	15	16.66 AC
STREET R.O.W.		32.45 AC
NUMBER OF BLOCKS	11	
TOTAL PHASE 1 AREA		27.09 AC
RESIDENTIAL LOTS (40')	65	8.53 AC
RESIDENTIAL LOTS (45')	57	6.87 AC
TOTAL PHASE 2 AREA		22.66 AC
RESIDENTIAL LOTS (40')	50	5.55 AC
RESIDENTIAL LOTS (45')	47	6.68 AC
TOTAL PHASE 3 AREA		20.89 AC
RESIDENTIAL LOTS (40')	33	3.71 AC
RESIDENTIAL LOTS (45')	60	8.5 AC
TOTAL PHASE 4 AREA		29.93 AC
RESIDENTIAL LOTS (60')	63	11.63 AC

- NOTES:**
- ALL PROPOSED ROADWAYS SHALL BE COMPLIANT TO THE ROADWAY SECTIONS IN THE APPROVED PDD #12 AND OFFSITE ROADWAY AGREEMENT.
 - OWNERSHIP AND MAINTENANCE OF ALL NON-SINGLE FAMILY LOTS AND DRAINAGE EASEMENTS (EXCLUDING PUBLIC PARKLANDS) WILL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.
 - UTILITIES WILL BE PROVIDED BY THE FOLLOWING:
 WATER - CITY OF DRIPPING SPRINGS
 WASTEWATER CITY OF DRIPPING SPRINGS
 ELECTRICITY - P.E.C.
 - FINAL DETERMINATION FOR EASEMENTS TO BE DETERMINED WITH FINAL PLAT AND CONSTRUCTION PLANS.
 - STORM WATER SHALL BE CONVEYED VIA DRAINAGE EASEMENTS & PUBLIC ROW.
 - DESIGN STANDARDS PER CITY OF DRIPPING SPRINGS STANDARDS AS MODIFIED BY APPROVED PDD #12.
 - A 10 FT. PUBLIC UTILITY EASEMENT ADJACENT TO ALL PUBLIC STREETS IS HEREBY DEDICATED.
 - NO OBJECTS, INCLUDING BUT NOT LIMITED TO BUILDINGS, FENCES, OR LANDSCAPING, SHALL BE ALLOWED IN A DRAINAGE EASEMENT.
 - THE PROPERTY OWNER SHALL PROVIDE ACCESS TO DRAINAGE AND UTILITY EASEMENTS AS MAY BE NECESSARY AND SHALL NOT PROHIBIT ACCESS FOR INSPECTION, OPERATION AND MAINTENANCE.
 - ALL DRAINAGE EASEMENTS ON PRIVATE PROPERTY SHALL BE MAINTAINED BY THE PROPERTY OWNER OR HIS/HER ASSIGNS.
 - ALL (NEW) TELEPHONE AND CABLE TELEVISION UTILITY LINES AND ALL ELECTRIC UTILITY SERVICE LINES AND WIRES SHALL BE PLACED UNDERGROUND.
 - ALL ELECTRICAL, CABLE TELEVISION, AND TELEPHONE SUPPORT EQUIPMENT (TRANSFORMERS, AMPLIFIERS, SWITCHING DEVICES, ETC.) NECESSARY FOR UNDERGROUND INSTALLATIONS SHALL BE PAD MOUNTED OR PLACED UNDERGROUND IN A PUBLIC UTILITY EASEMENT.
 - A PROPERTY OWNERS ASSOCIATION WILL BE CREATED BY RESTRICTIVE COVENANTS AND MUST BE SUBMITTED TO THE CITY AT THE TIME OF FINAL PLAT.
 - STREET LIGHTING WILL COMPLY WITH LIGHTING ORDINANCE [SRDA 3.11].
 - BERKLEY BLVD WILL BE BUILT WITHIN THE DEDICATED 60' ROW PER DOC #21042558

STATE OF TEXAS
 COUNTY OF HAYS
 CITY OF DRIPPING SPRINGS

THIS PLAT, CANNON RANCH SUBDIVISION, HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY OF DRIPPING SPRINGS AND IS HEREBY APPROVED.

APPROVED, THIS DAY OF _____, 2021.

BY:
 PLANNING & ZONING COMMISSION CHAIR OR VICE CHAIR

ATTEST:
 ANDREA CUNNINGHAM, CITY SECRETARY

OWNER/DEVELOPER: ASHTON WOODS HOMES
 107210 RESEARCH BOULEVARD, SUITE B-210
 AUSTIN, TEXAS 78659
 (512) 610-7000

CONTACT: STEVEN PIERCE

ENGINEER: DOUCET & ASSOCIATES
 7401 B HWY. 71 WEST, SUITE 160
 AUSTIN, TEXAS 78735
 (512) 583-2600

CONTACT: JOE GRASSO, P.E. - MANAGING ENGINEER

LAND SURVEY: DOUCET & ASSOCIATES, INC.
 7401 B HWY. 71 WEST, SUITE 160
 AUSTIN, TEXAS 78735
 (512) 583-2600

CONTACT: CHRIS TERRY, R.P.L.S.

UTILITY PROVIDERS: WATER: CITY OF DRIPPING SPRINGS
 WASTEWATER: CITY OF DRIPPING SPRINGS
 ELECTRIC: PEDERNALES ELECTRICAL COOPERATIVE

JURISDICTION: CITY OF DRIPPING SPRINGS

NOTE: THIS PROJECT IS SUBJECT TO PDD #12 APPROVED BY THE CITY OF DRIPPING SPRINGS AND RECORDED AS DOC #21042090, DATED 8/3/2021, OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS [OPRHCT]

LEGAL DESCRIPTION: BEING A 100.58 ACRE TRACT OF LAND OUT OF THE PHILIP A. SMITH SURVEY NUMBER 26, ABSTRACT NUMBER 415, AND THE CH. MALOTT SURVEY, ABSTRACT NUMBER 693, HAYS COUNTY, TEXAS, SAID TRACT BEING OUT OF THAT CALLED 209.697 ACRE TRACT CONVEYED IN A DEED TO CANNON FAMILY, LTD., AS RECORDED IN VOLUME 1619, PAGE 313 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS [O.P.R.H.C.T.], ALSO BEING OUT OF A CALLED 58.000 ACRE TRACT DESCRIBED IN A DEED TO ORYX CANNON 58 LLC, RECORDED IN DOCUMENT NUMBER 20023358 [O.P.R.H.C.T.].

SITE AREA: 100.58 ACRES

BENCHMARK: 1/2-INCH ROD FOUND IN THE NORTH LINE OF THAT CALLED 277.23-ACRE TRACT DESCRIBED TO KATHERINE BERKLEY CANNON, ET. AL. IN VOLUME 198, PAGE 151 D.R.T.C.T., FOR THE SOUTHEAST CORNER OF THAT CALLED 1978-ACRE TRACT DESCRIBED TO CITY OF DRIPPING SPRINGS AS RECORDED IN VOLUME 1714, PAGE 289 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS [O.P.R.H.C.T.]

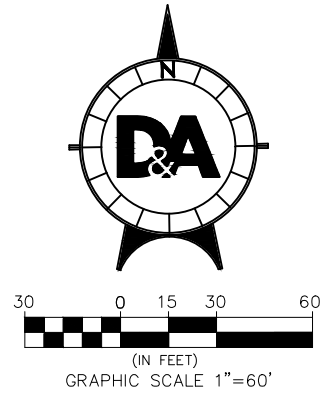
WATERSHED: THIS PROJECT IS LOCATED WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE

FLOODPLAIN: ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP FOR HAYS COUNTY, TEXAS, COMMUNITY PANEL NUMBER 48209C0105F, DATED SEPTEMBER 2, 2005. NO PORTIONS OF THIS SUBDIVISION ARE LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.

SUBMITTED BY: JOE GRASSO, P.E.

PRELIMINARY PLAT I

CANNON RANCH
 PRELIMINARY PLAT
 DRIPPING SPRINGS, TEXAS



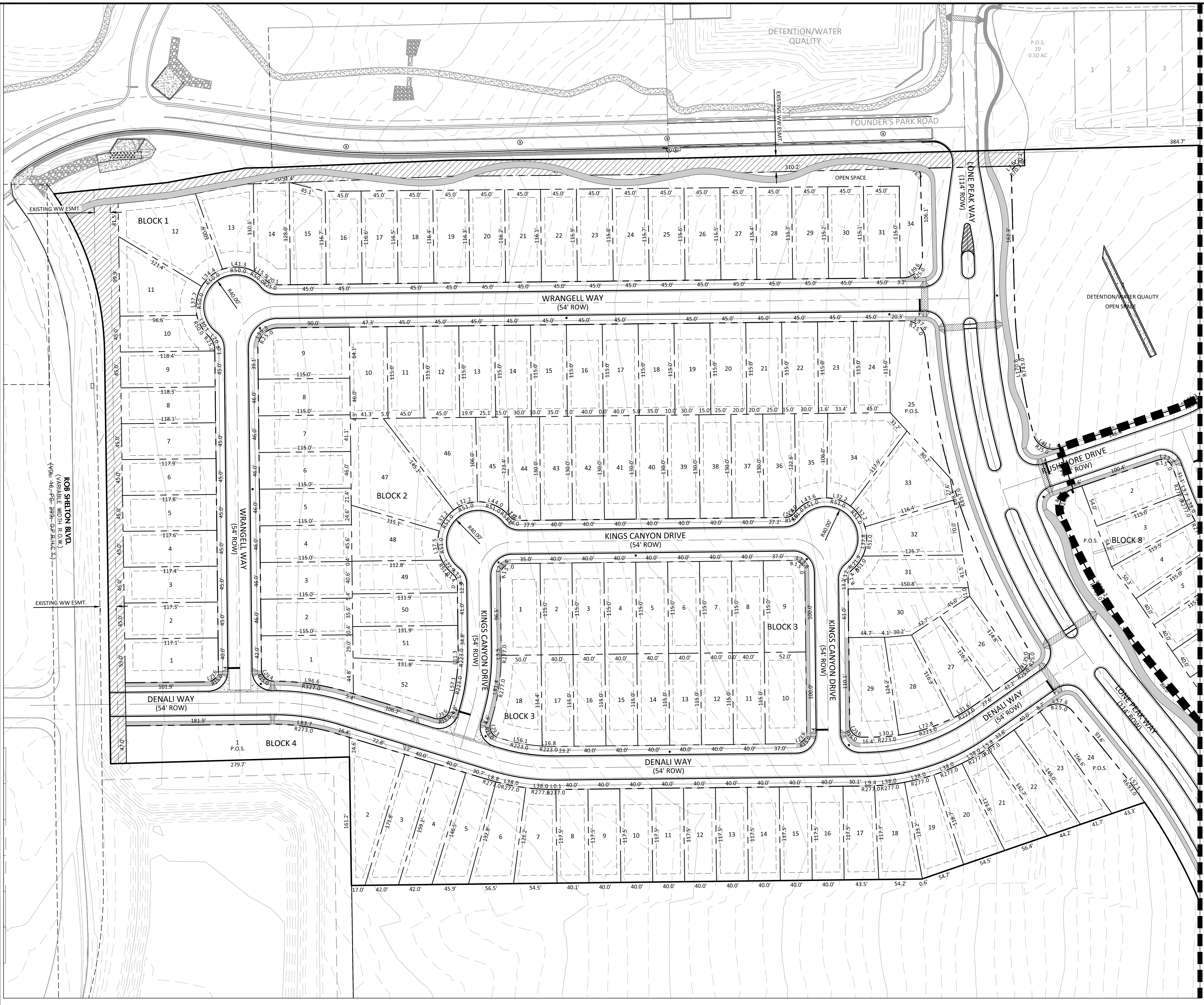
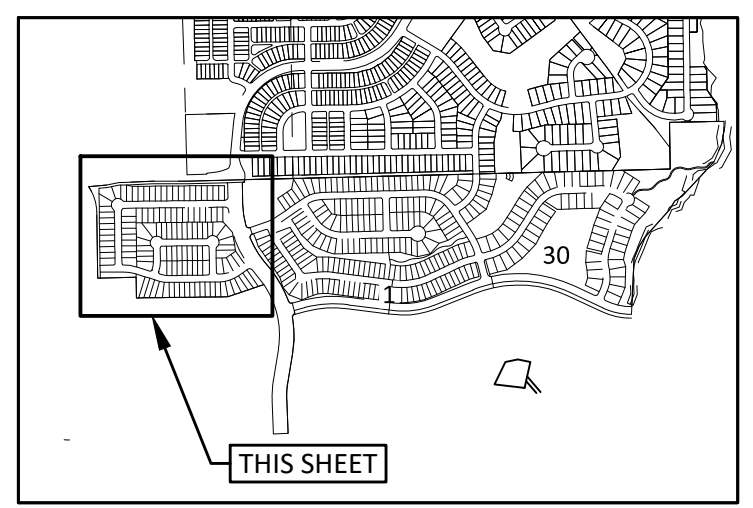
LEGEND

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊖ POWER POLE
- ⊙ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- PROPOSED SIDEWALK
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P.O.S. = OPEN SPACE
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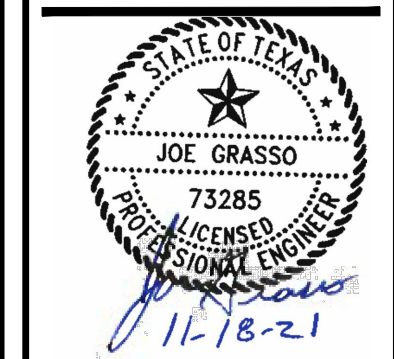
LOT SETBACKS

FRONT	20'
REAR	10'
SIDE	5'
CORNER	15'



MATCHLINE PRELIMINARY PLAN II

Drawing: C:\pwworking\jwehnhburg\m84171298-003-pp-01.dwg
 User: JHEHNBURG
 Plot Date/Time: Nov 18 21 12:52
 Plot Date/Time: Nov 18 21 12:56:52

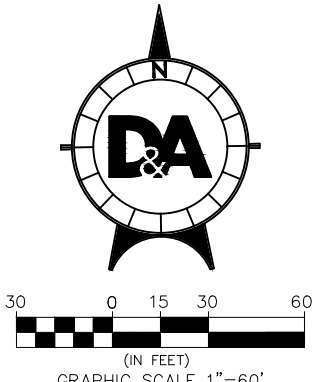


Designed: JH-JG-GS
 Drawn: GS-PM
 Reviewed: JH-JG
 Date: 11/18/2021

SHEET
2
 OF 5
 Project No.:
 1298-003

PRELIMINARY PLAT II

**CANNON RANCH
 PRELIMINARY PLAT
 DRIPPING SPRINGS, TEXAS**



LEGEND

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
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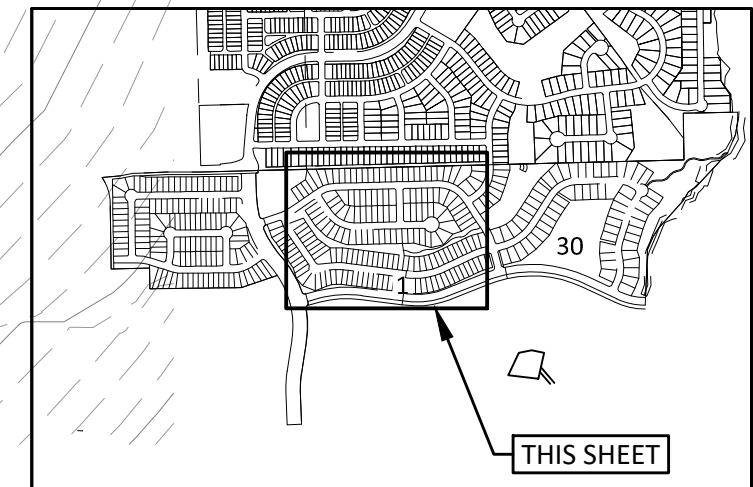
LOT SETBACKS	
FRONT	20'
REAR	10'
SIDE	5'
CORNER	15'

NOTE:
 1. DOCUMENTATION IS TO BE PROVIDED TO THE CITY OF DRIPPING SPRINGS SHOWING THAT THE WELL HAS BEEN PLUGGED PER TCEQ STANDARDS PRIOR TO SITE CLEARING OR GRADING COMMENCES.

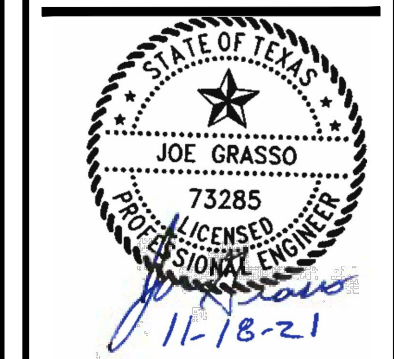
ROW DEDICATION	
(Cross-hatched pattern)	FOR FUTURE ROADWAY EXPANSION (BY OTHERS)



REMOVE ALL EXISTING WELL COMPONENTS AND APPURTENANCES AND PLUG WELL (S-5) PER TCEQ & HAYS TRINITY GCD REQUIREMENTS. SEE NOTES THIS SHEET.



Drawing: C:\pwworking\jwehnhburg\m84171298_003_pp_05.dwg
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 Plot Date/Time: Nov 18 21 12:57:07

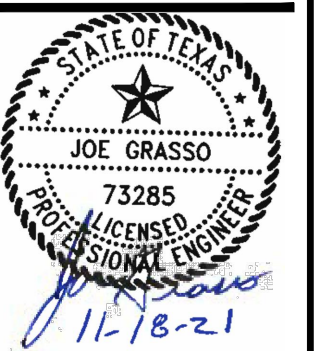


Designed: JH - JG - GS
 Drawn: GS - PM
 Reviewed: JH - JG
 Date: 11/18/2021

SHEET
3
 OF 5
 Project No.: 1298-003

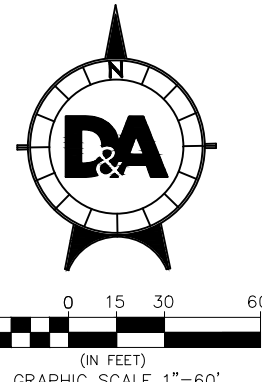
PRELIMINARY PLAT III

CANNON RANCH
 PRELIMINARY PLAT
 DRIPPING SPRINGS, TEXAS



Designed: JH - JG - GS
 Drawn: GS - PM
 Reviewed: JH - JG
 Date: 11/18/2021

SHEET
4
 OF 5
 Project No.: 1298-003



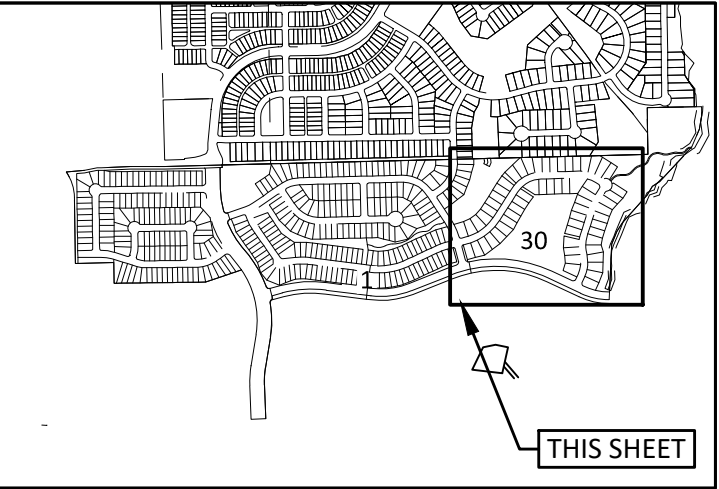
LEGEND

- IRON ROD FOUND
- FIRE HYDRANT
- SIGN
- POWER POLE
- DOWN GULLY
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- EASEMENTS
- PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB
- PROPOSED SIDEWALK
- EXISTING CONTOURS

P.O.S. = OPEN SPACE
 OPEN SPACE = PUBLIC UPLANDS PARK

LOT SETBACKS

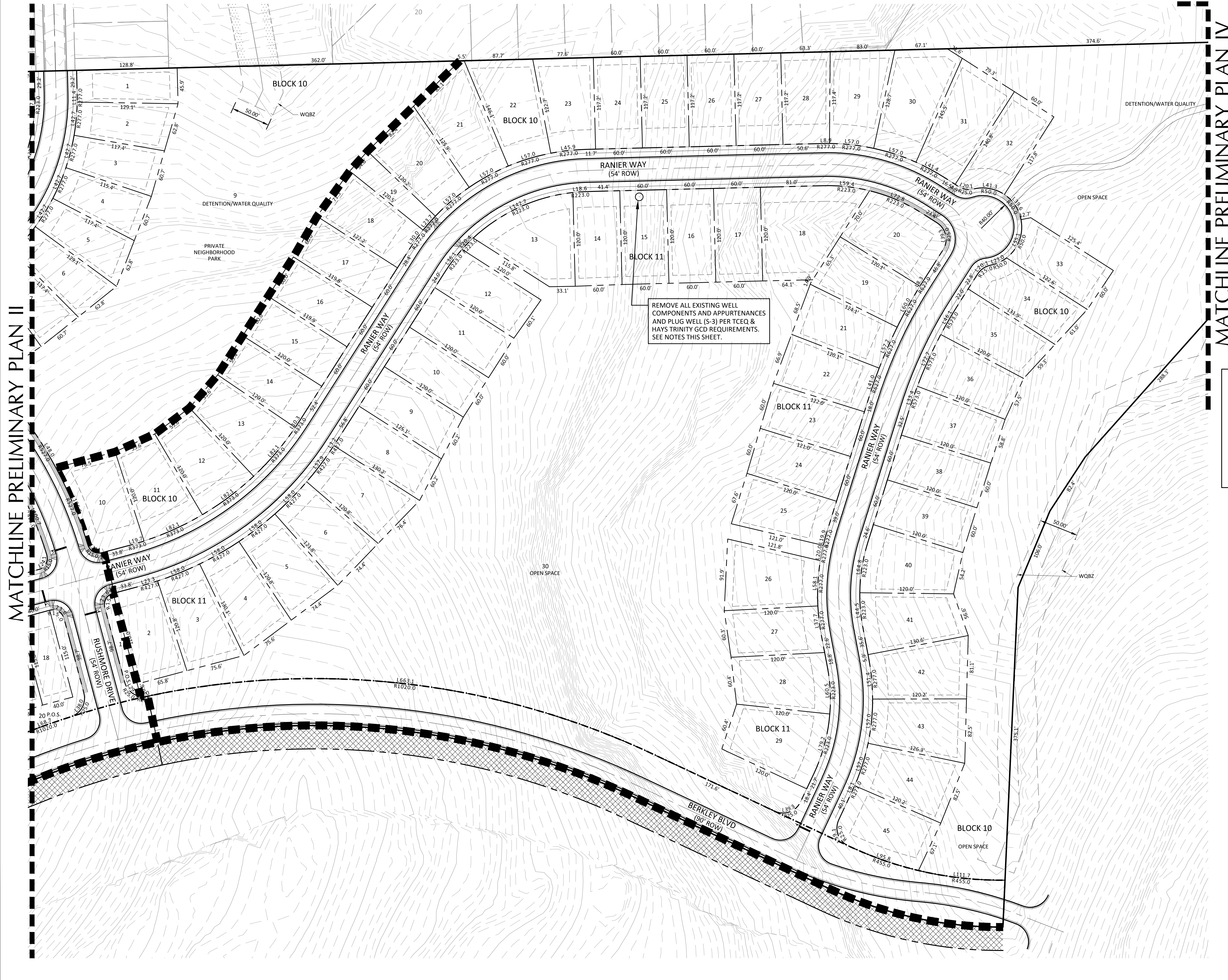
FRONT	20'
REAR	10'
SIDE	5'
CORNER	15'



KEY MAP
 1" = 1500'

NOTE:
 1. DOCUMENTATION IS TO BE PROVIDED TO THE CITY OF DRIPPING SPRINGS SHOWING THAT THE WELL HAS BEEN PLUGGED PER TCEQ STANDARDS PRIOR TO SITE CLEARING OR GRADING COMMENCES.

ROW DEDICATION FOR FUTURE ROADWAY EXPANSION (BY OTHERS)



MATCHLINE PRELIMINARY PLAN II

MATCHLINE PRELIMINARY PLAN IV

Drawing: C:\pwworking\jwehnhburg\m84171298-003-pp-04.dwg
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 Plot Date/Time: Nov 18 21 - 12:52:20

PRELIMINARY PLAT IV

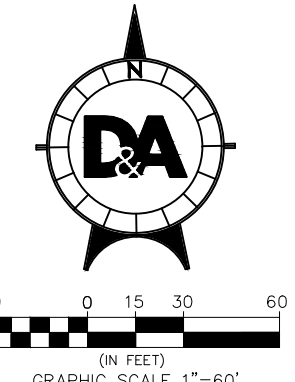
CANNON RANCH
 PRELIMINARY PLAT
 DRIPPING SPRINGS, TEXAS



Designed: JH - JG - GS
 Drawn: GS - PM
 Reviewed: JH - JG
 Date: 11/18/2021

SHEET
5
 OF 5

Project No.: 1298-003

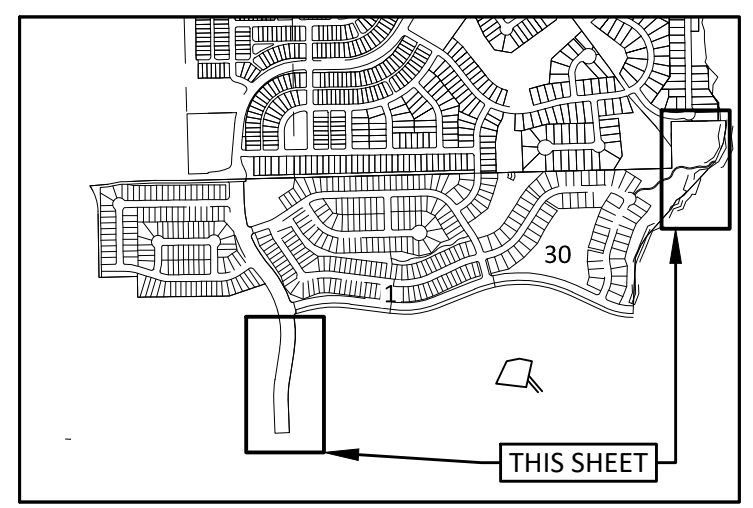


LEGEND

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊙ POWER POLE
- ⊙ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- EASEMENTS
- - - PROPOSED RIGHT OF WAY
- - - PROPOSED FACE OF CURB
- - - PROPOSED SIDEWALK
- - - EXISTING CONTOURS

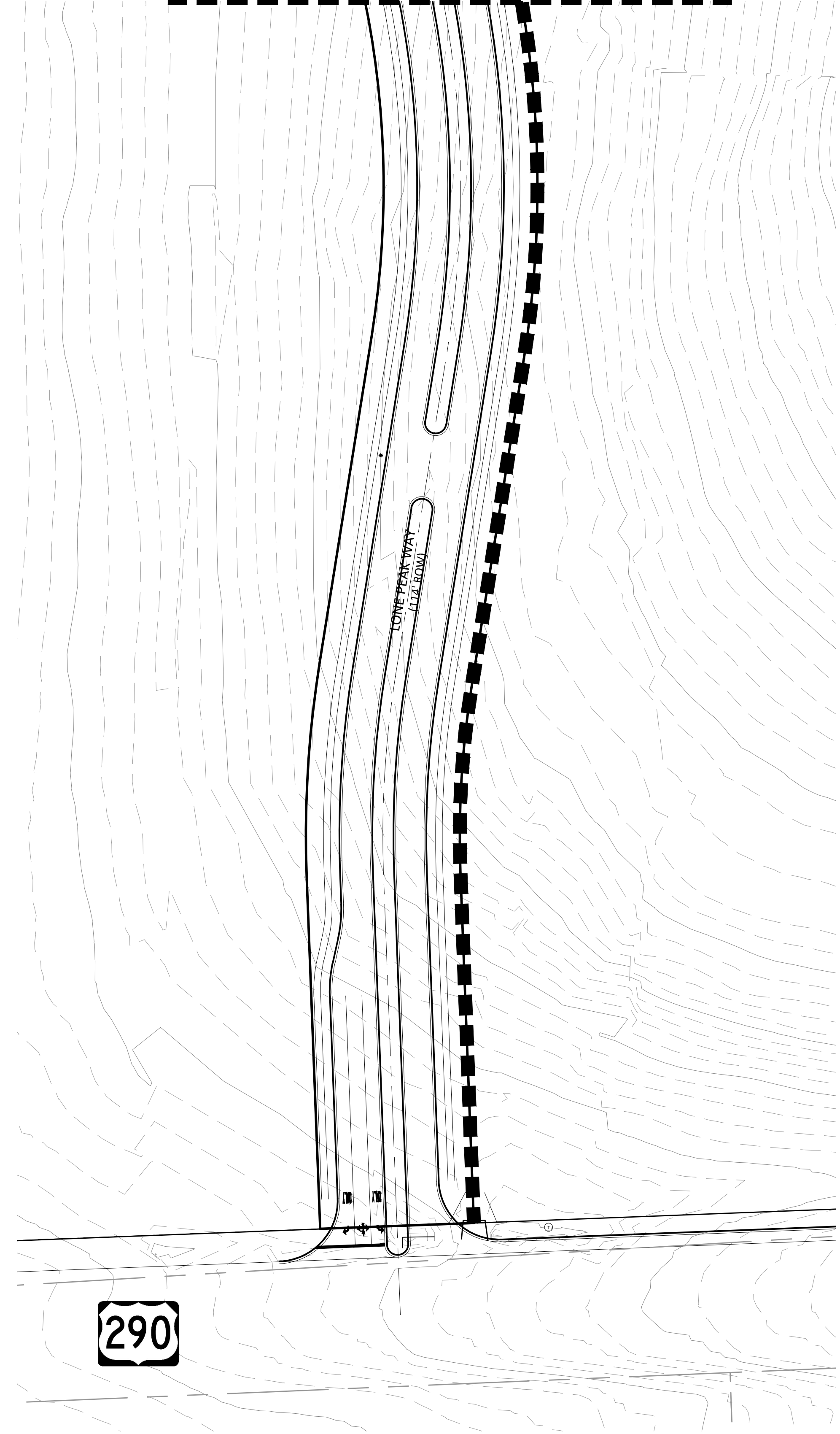
P.O.S. = OPEN SPACE
 OPEN SPACE = PUBLIC UPLANDS PARK

LOT SETBACKS	
FRONT	20'
REAR	10'
SIDE	5'
CORNER	15'

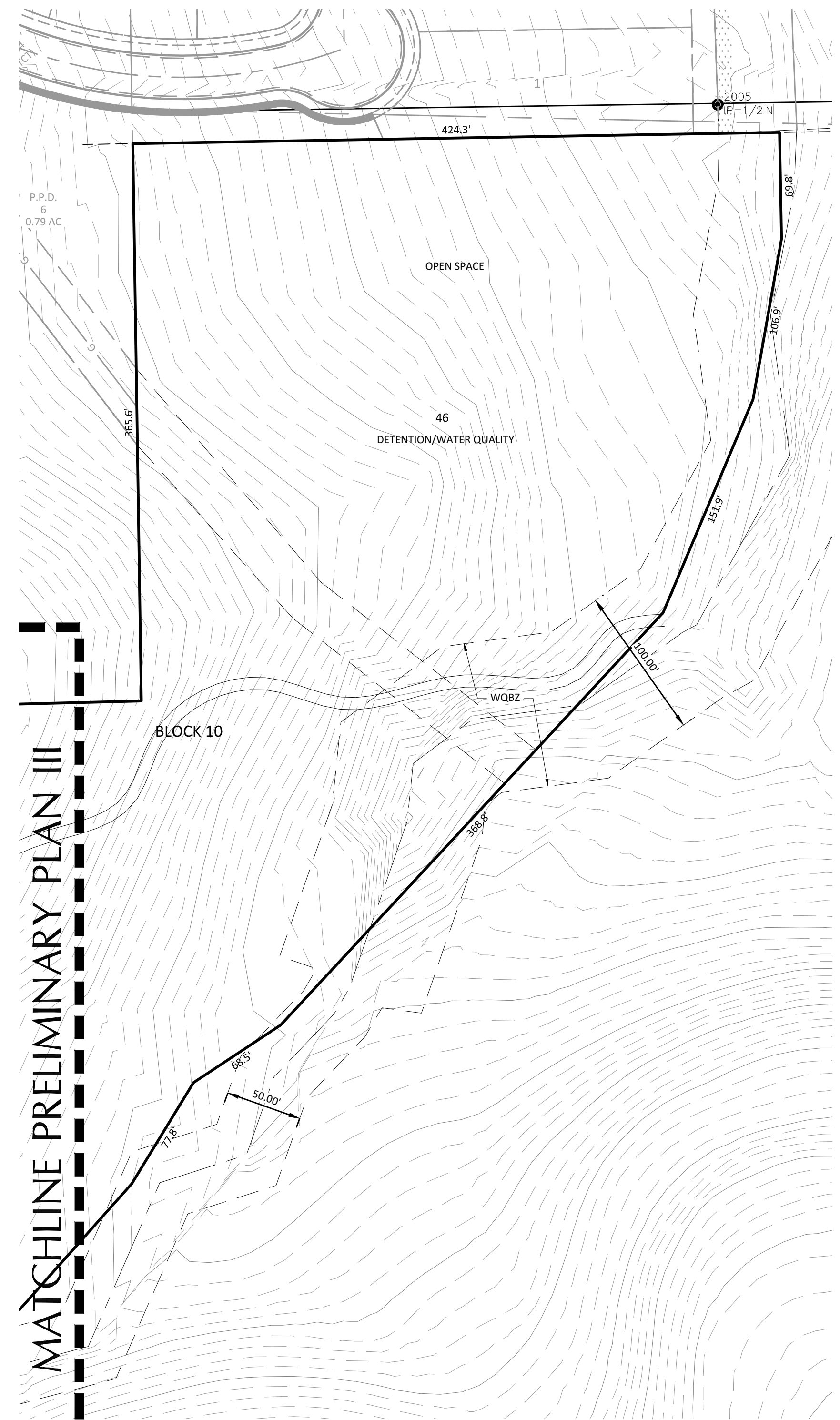


KEY MAP
1" = 1500'

MATCHLINE PRELIMINARY PLAN II



MATCHLINE PRELIMINARY PLAN III



PHASING PLAN

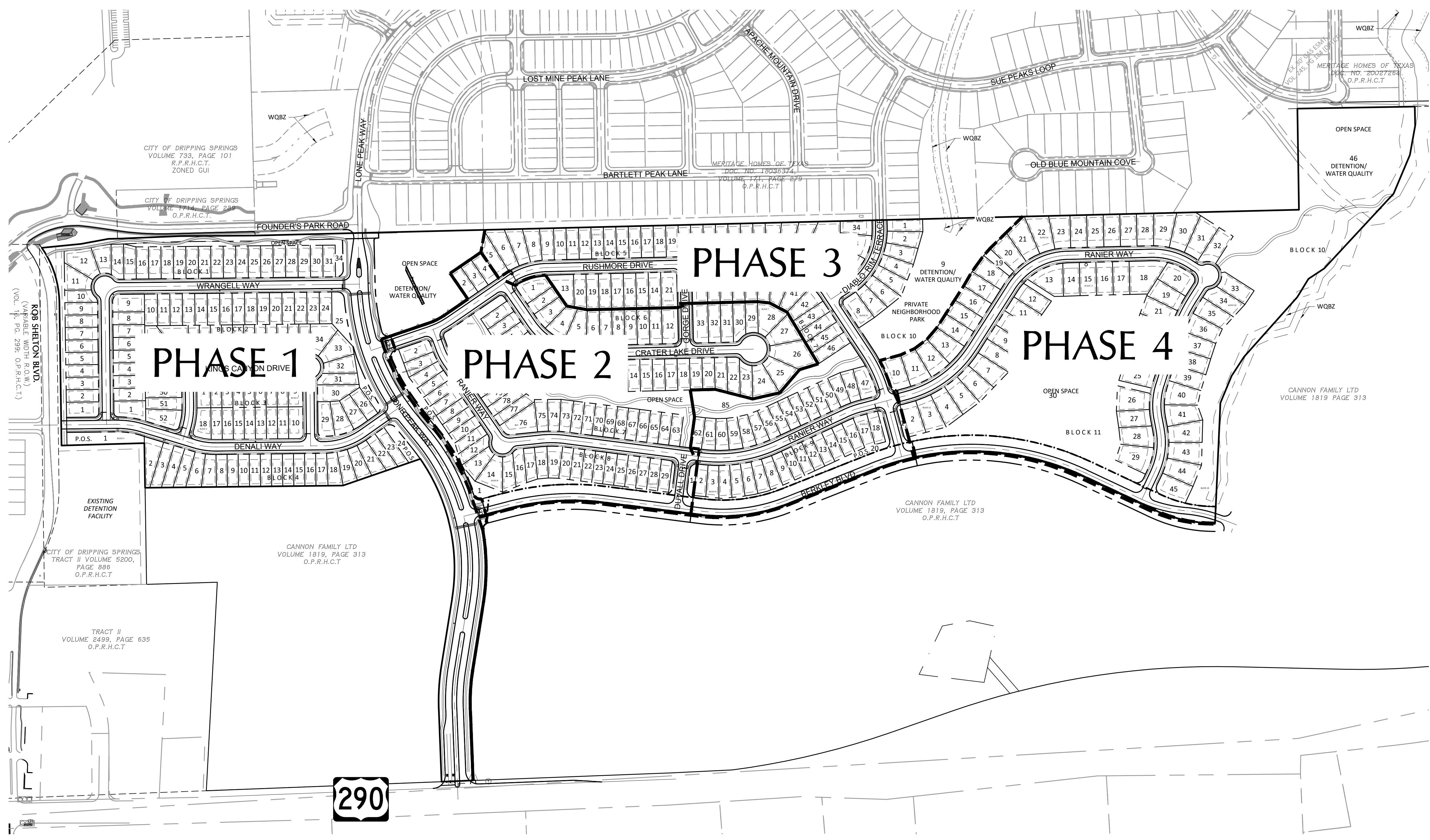
CANNON RANCH
 PRELIMINARY PLAT
 DRIPPING SPRINGS, TEXAS

EXHIBIT
B

Designed: JH - JG - GS
 Drawn: GS - PM
 Reviewed: JH - JG
 Date: 11/18/2021

SHEET
1
 OF 1

Project No.:
 1298-003



LEGEND

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊙ POWER POLE
- ⊙ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- EASEMENTS
- - - PROPOSED RIGHT OF WAY
- - - PROPOSED FACE OF CURB
- PHASE BOUNDARY

Drawing: C:\pw_working\jwh\hennburg\m84171286_003_pp_01.dwg
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 Plot Date/Time: Nov 18, 2021 12:48:25

OVERALL UTILITY PLAN

CANNON RANCH
 PRELIMINARY PLAT
 DRIPPING SPRINGS, TEXAS

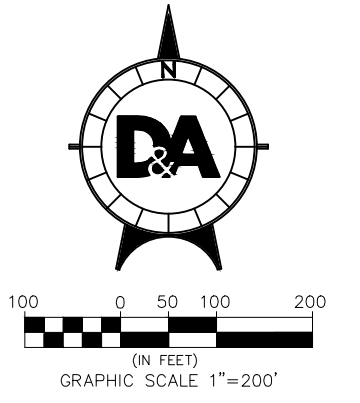
EXHIBIT

C

Designed: JH - JG - GS
 Drawn: GS - PM
 Reviewed: JH - JG
 Date: 11/18/2021

SHEET
1
 OF 5

Project No.:
 1298-003



LEGEND

- IRON ROD
- ⊠ ELECTRIC PULL BOX
- E ELECTRIC METER
- ⊞ ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE
- ⊕ FIRE HYDRANT
- G GAS METER
- ☆ LIGHT POLE
- ⊙ TELEPHONE MANHOLE
- △ TELEPHONE SERVICE BOX
- ⊞ TRAFFIC SIGNAL BOX
- ⊞ TRAFFIC SIGNAL
- ⊞ WATER VALVE
- W WATER METER
- S STORM SEWER MANHOLE
- WW WASTEWATER MANHOLE
- W WATER MANHOLE
- ⊞ SIGN
- ⊞ POWER POLE
- ⊞ DOWN GUY
- ⊞ PROPOSED 10" CURB INLET
- ⊞ PROPOSED WING WALL
- ⊞ PROPOSED GRATE INLET
- SUBDIVISION BOUNDARY
- LOT BOUNDARY
- EASEMENTS
- W PROPOSED WATER PIPE
- WW PROPOSED WASTEWATER PIPE
- FM PROPOSED FORCE MAIN PIPE
- PROPOSED STORM PIPE
- OE OVERHEAD ELECTRIC
- EDGE OF EXISTING ASPHALT

- NOTES:
- ALL WATER LINE MATERIAL, JOINTS, RESTRAINING AND THRUST BLOCKING TO BE IN ACCORDANCE TO CITY OF DRIPPING SPRINGS DETAILS AND SPECIFICATIONS.
 - WATER LINE ASSIGNMENT TO BE 5.5' FROM R.O.W.
 - WATER LINE TO HAVE MINIMUM COVER OF 3 FEET.



290

Drawing: C:\pwworking\jhehnhburg\m84171298-003-PP-UT.dwg
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PRELIMINARY UTILITY PLAN I

CANNON RANCH
 PRELIMINARY PLAT
 DRIPPING SPRINGS, TEXAS

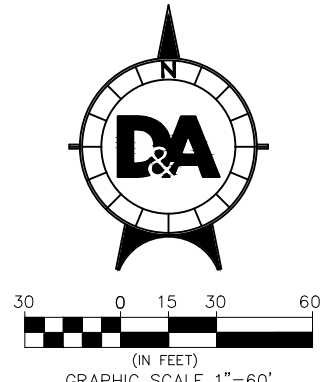
EXHIBIT

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Designed: JH - JG - GS
 Drawn: GS - PM
 Reviewed: JH - JG
 Date: 11/18/2021

SHEET
 2
 OF 5

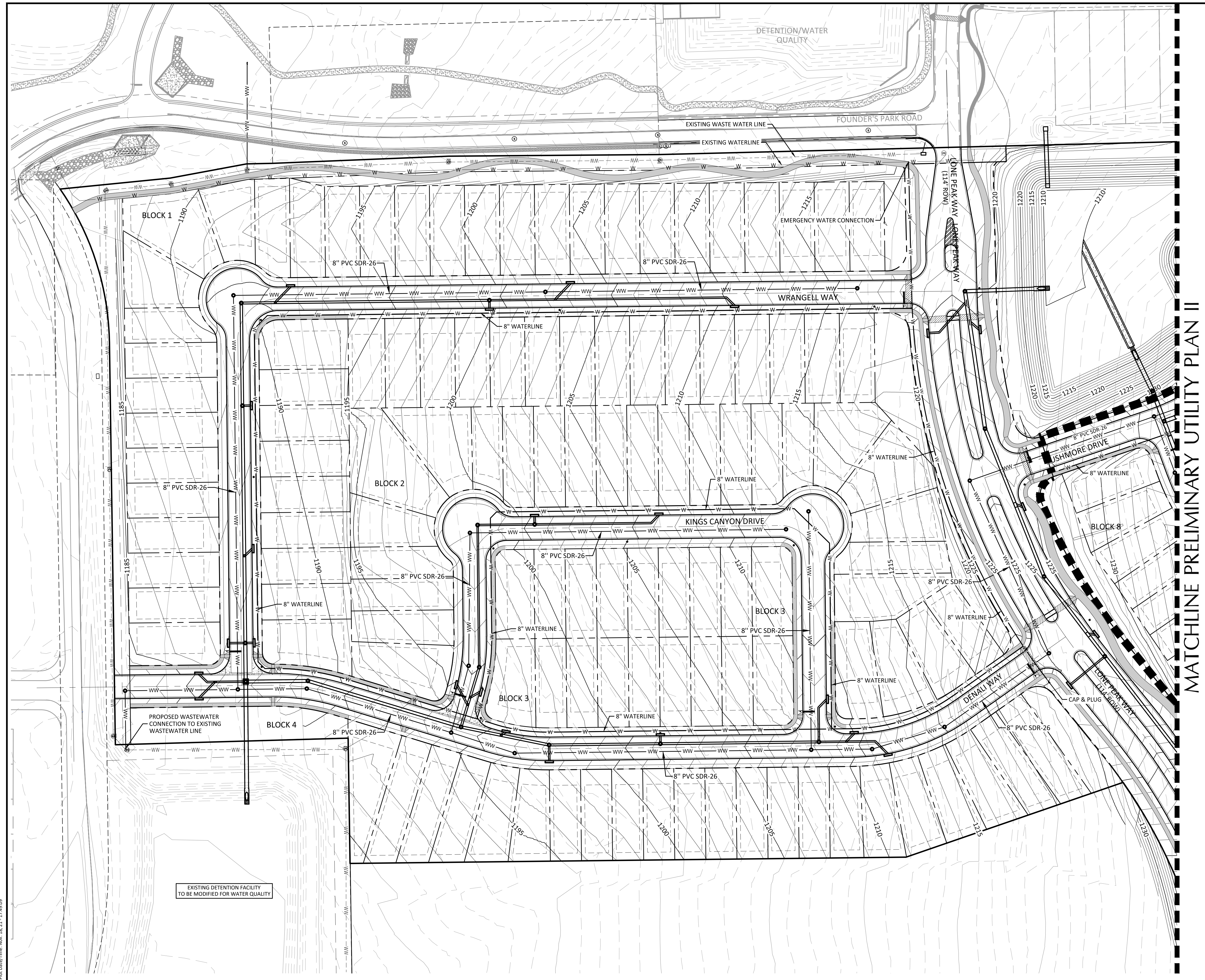
Project No.: 1298-003



LEGEND

- IRON ROD
- ⊠ ELECTRIC PULL BOX
- ⊞ ELECTRIC METER
- ⊞ ELECTRIC TRANSFORMER
- ⊞ ELECTRIC MANHOLE
- ⊞ FIRE HYDRANT
- ⊞ GAS METER
- ⊞ LIGHT POLE
- ⊞ TELEPHONE MANHOLE
- ⊞ TELEPHONE SERVICE BOX
- ⊞ TRAFFIC SIGNAL BOX
- ⊞ TRAFFIC SIGNAL
- ⊞ WATER VALVE
- ⊞ WATER METER
- ⊞ STORM SEWER MANHOLE
- ⊞ WASTEWATER MANHOLE
- ⊞ WATER MANHOLE
- ⊞ SIGN
- ⊞ POWER POLE
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- ⊞ PROPOSED 10' CURB INLET
- ⊞ PROPOSED WING WALL
- ⊞ PROPOSED GRATE INLET
- SUBDIVISION BOUNDARY
- LOT BOUNDARY
- EASEMENTS
- W PROPOSED WATER PIPE
- WW PROPOSED WASTEWATER PIPE
- FM PROPOSED FORCE MAIN PIPE
- PROPOSED STORM PIPE
- OE OVERHEAD ELECTRIC
- EDGE OF EXISTING ASPHALT

- NOTES:
- ALL WATER LINE MATERIAL, JOINTS, RESTRAINING AND THRUST BLOCKING TO BE IN ACCORDANCE TO CITY OF DRIPPING SPRINGS DETAILS AND SPECIFICATIONS.
 - WATER LINE ASSIGNMENT TO BE 5.5' FROM R.O.W.
 - WATER LINE TO HAVE MINIMUM COVER OF 3 FEET.

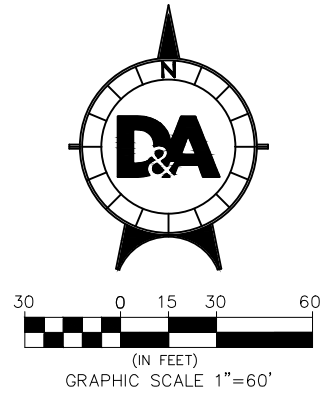


MATCHLINE PRELIMINARY UTILITY PLAN II

EXISTING DETENTION FACILITY TO BE MODIFIED FOR WATER QUALITY

Drawing: C:\pwworking\jwehnbu\dwg\1298-003-PP-UT.dwg
 User: JHEHNBURG
 Plot Date/Time: Nov 18, 21 - 12:49:09

MERITAGE HOMES OF TEXAS
DOC. NO. 18036374,
VOLUME 171, PAGE 279
O.P.R.H.C.T



LEGEND

- IRON ROD
- ELECTRIC PULL BOX
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE
- FIRE HYDRANT
- GAS METER
- LIGHT POLE
- TELEPHONE MANHOLE
- TELEPHONE SERVICE BOX
- TRAFFIC SIGNAL BOX
- TRAFFIC SIGNAL
- WATER VALVE
- WATER METER
- STORM SEWER MANHOLE
- WASTEWATER MANHOLE
- WATER MANHOLE
- SIGN
- POWER POLE
- DOWN GUY
- PROPOSED 10' CURB INLET
- PROPOSED WING WALL
- PROPOSED GRATE INLET
- SUBDIVISION BOUNDARY
- LOT BOUNDARY
- EASEMENTS
- PROPOSED WATER PIPE
- PROPOSED WASTEWATER PIPE
- PROPOSED FORCE MAIN PIPE
- PROPOSED STORM PIPE
- OVERHEAD ELECTRIC
- EDGE OF EXISTING ASPHALT

- NOTES:**
1. ALL WATER LINE MATERIAL, JOINTS, RESTRAINING AND THRUST BLOCKING TO BE IN ACCORDANCE TO CITY OF DRIPPING SPRINGS DETAILS AND SPECIFICATIONS.
 2. WATER LINE ASSIGNMENT TO BE 5.5' FROM R.O.W.
 3. WATER LINE TO HAVE MINIMUM COVER OF 3 FEET.

MATCHLINE PRELIMINARY UTILITY PLAN I

MATCHLINE PRELIMINARY UTILITY PLAN III

MATCHLINE PRELIMINARY UTILITY PLAN IV

Drawing: C:\pwworking\jane.heimburg\m84171298-003-pp-01.dwg
User: JHEIMBURG
Date: 11/13/2021 11:46:10
Plot Date/Time: Nov 18, 21 - 12:49:19

DA DOUCET & ASSOCIATES
Civil Engineering - Planning - Geospatial
7401 B. Highway 71 W. Suite 160
Austin, TX 78735 Tel: (512)-583-2400
www.doucetengineers.com
TPEE Firm Number: 3937
TPELS Firm Number: 10105800

PRELIMINARY UTILITY PLAN II

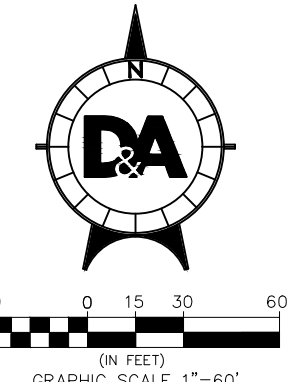
CANNON RANCH
PRELIMINARY PLAT
DRIPPING SPRINGS, TEXAS

EXHIBIT C

Designed: JH - JG - GS
Drawn: GS - PM
Reviewed: JH - JG
Date: 11/18/2021

SHEET
3
OF 5

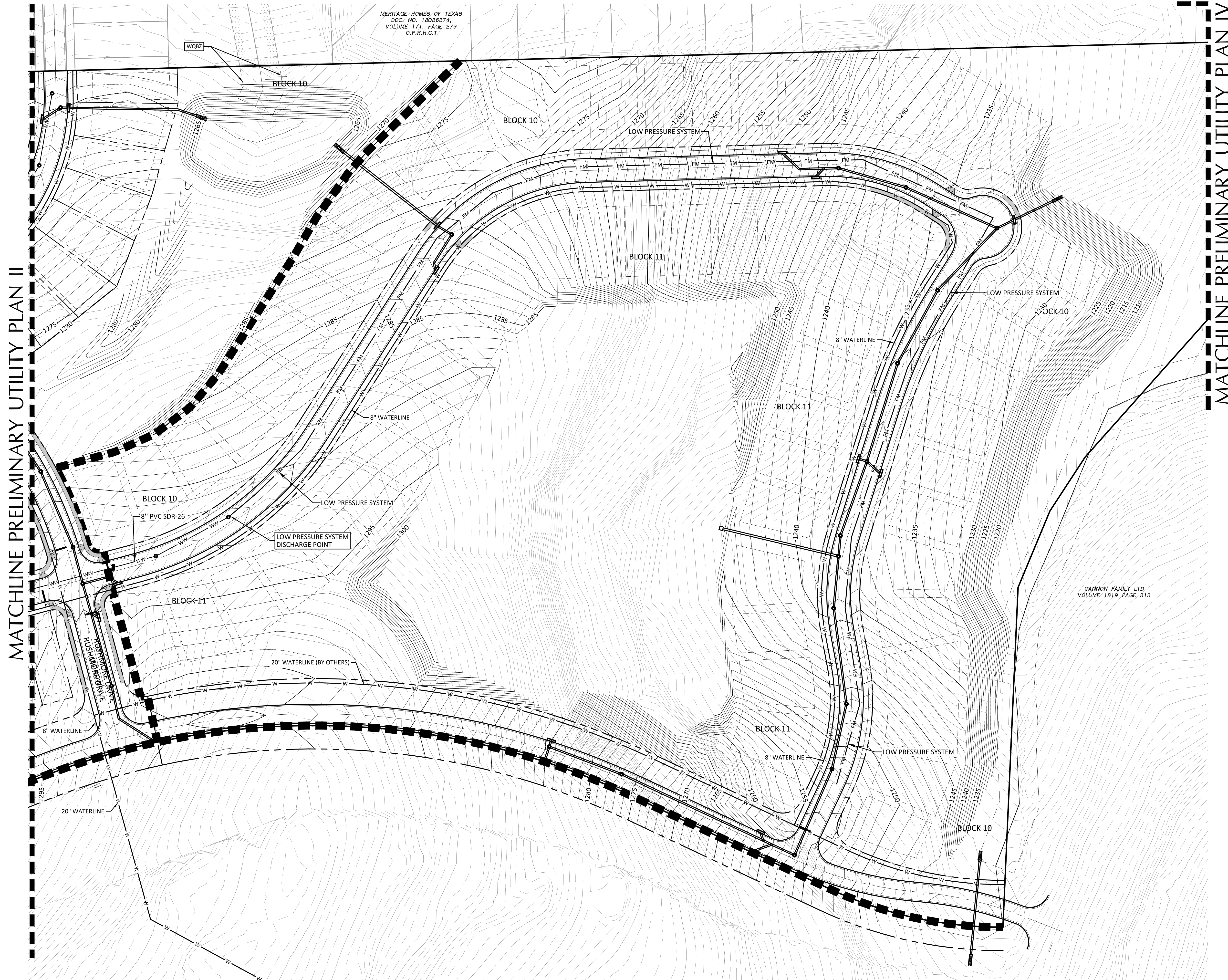
Project No.:
1298-003



LEGEND

	IRON ROD
	ELECTRIC PULL BOX
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	ELECTRIC MANHOLE
	FIRE HYDRANT
	GAS METER
	LIGHT POLE
	TELEPHONE MANHOLE
	TELEPHONE SERVICE BOX
	TRAFFIC SIGNAL BOX
	TRAFFIC SIGNAL
	WATER VALVE
	WATER METER
	STORM SEWER MANHOLE
	WASTEWATER MANHOLE
	WATER MANHOLE
	SIGN
	POWER POLE
	DOWN GUY
	PROPOSED 10' CURB INLET
	PROPOSED WING WALL
	PROPOSED GRATE INLET
	SUBDIVISION BOUNDARY
	LOT BOUNDARY
	EASEMENTS
	PROPOSED WATER PIPE
	PROPOSED WASTEWATER PIPE
	PROPOSED FORCE MAIN PIPE
	PROPOSED STORM PIPE
	OVERHEAD ELECTRIC
	EDGE OF EXISTING ASPHALT

- NOTES:**
1. ALL WATER LINE MATERIAL, JOINTS, RESTRAINING AND THRUST BLOCKING TO BE IN ACCORDANCE TO CITY OF DRIPPING SPRINGS DETAILS AND SPECIFICATIONS.
 2. WATER LINE ASSIGNMENT TO BE 5.5' FROM R.O.W.
 3. WATER LINE TO HAVE MINIMUM COVER OF 3 FEET.



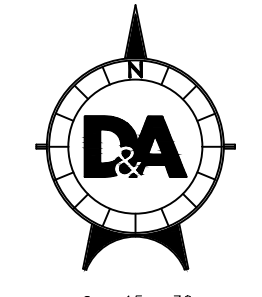
MATCHLINE PRELIMINARY UTILITY PLAN II

MATCHLINE PRELIMINARY UTILITY PLAN IV

MERITAGE HOMES OF TEXAS
 DOC. NO. 18036974,
 VOLUME 171, PAGE 279
 O.P.R.H.C.T.

CANNON FAMILY LTD
 VOLUME 1819 PAGE 313

Drawing: C:\pwworking\jwehnhburg\m84171298-003-PP-UT.dwg
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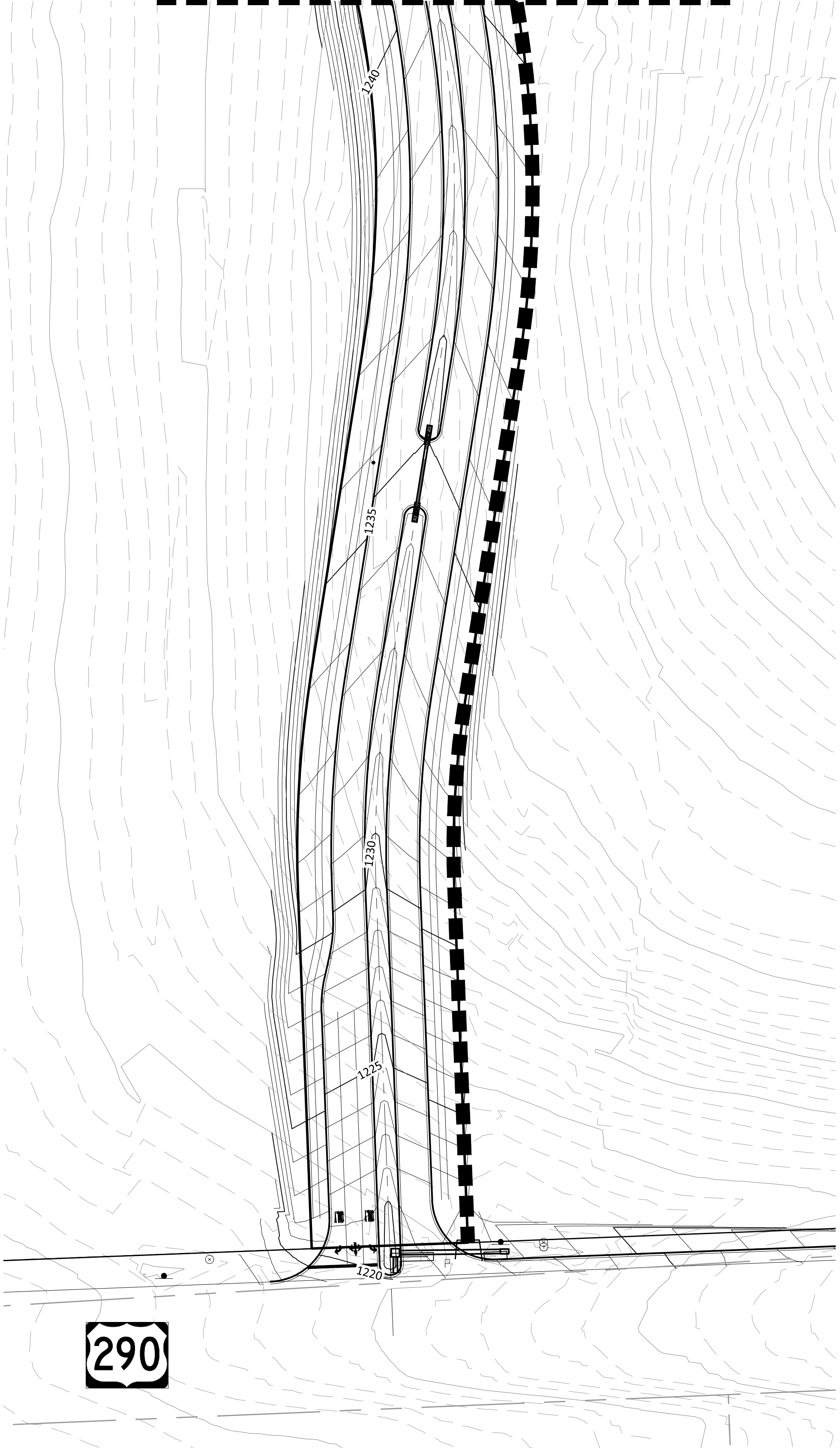


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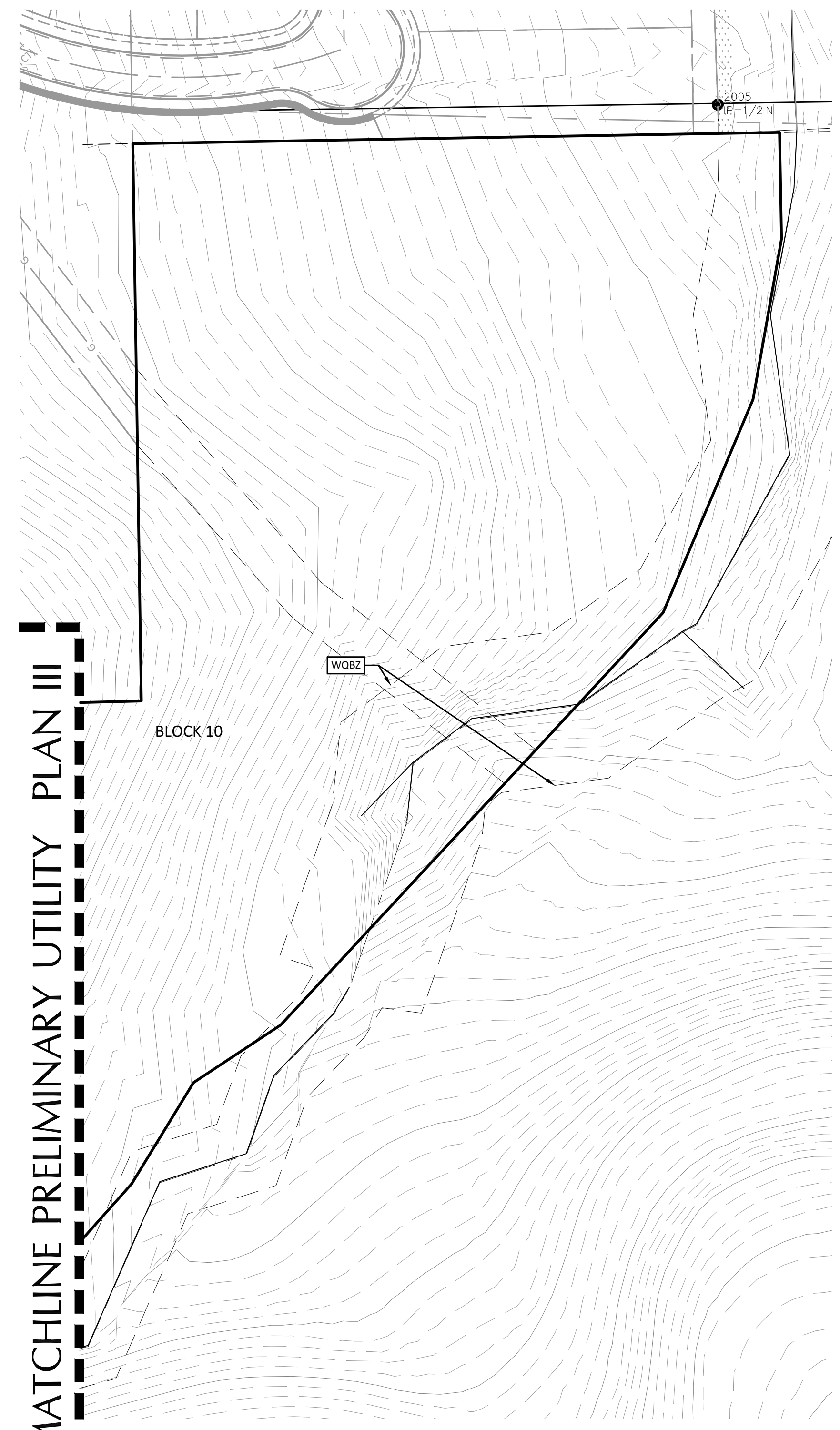
●	IRON ROD
⊠	ELECTRIC PULL BOX
⊞	ELECTRIC METER
⊞	ELECTRIC TRANSFORMER
⊞	ELECTRIC MANHOLE
⊞	FIRE HYDRANT
⊞	GAS METER
⊞	LIGHT POLE
⊞	TELEPHONE MANHOLE
⊞	TELEPHONE SERVICE BOX
⊞	TRAFFIC SIGNAL BOX
⊞	TRAFFIC SIGNAL
⊞	WATER VALVE
⊞	WATER METER
⊞	STORM SEWER MANHOLE
⊞	WASTEWATER MANHOLE
⊞	WATER MANHOLE
⊞	SIGN
⊞	POWER POLE
⊞	DOWN GUY
⊞	PROPOSED 10' CURB INLET
⊞	PROPOSED WING WALL
⊞	PROPOSED GRATE INLET
---	SUBDIVISION BOUNDARY
---	LOT BOUNDARY
---	EASEMENTS
W	PROPOSED WATER PIPE
WW	PROPOSED WASTEWATER PIPE
FM	PROPOSED FORCE MAIN PIPE
---	PROPOSED STORM PIPE
OE	OVERHEAD ELECTRIC
---	EDGE OF EXISTING ASPHALT

NOTES:
 1. ALL WATER LINE MATERIAL, JOINTS, RESTRAINING AND THRUST BLOCKING TO BE IN ACCORDANCE TO CITY OF DRIPPING SPRINGS DETAILS AND SPECIFICATIONS.
 2. WATER LINE ASSIGNMENT TO BE 5.5' FROM R.O.W.
 3. WATER LINE TO HAVE MINIMUM COVER OF 3 FEET.

MATCHLINE PRELIMINARY UTILITY PLAN II



MATCHLINE PRELIMINARY UTILITY PLAN III



DRAINAGE - EXISTING

CANNON RANCH
PRELIMINARY PLAT
DRIPPING SPRINGS, TEXAS

EXHIBIT
D

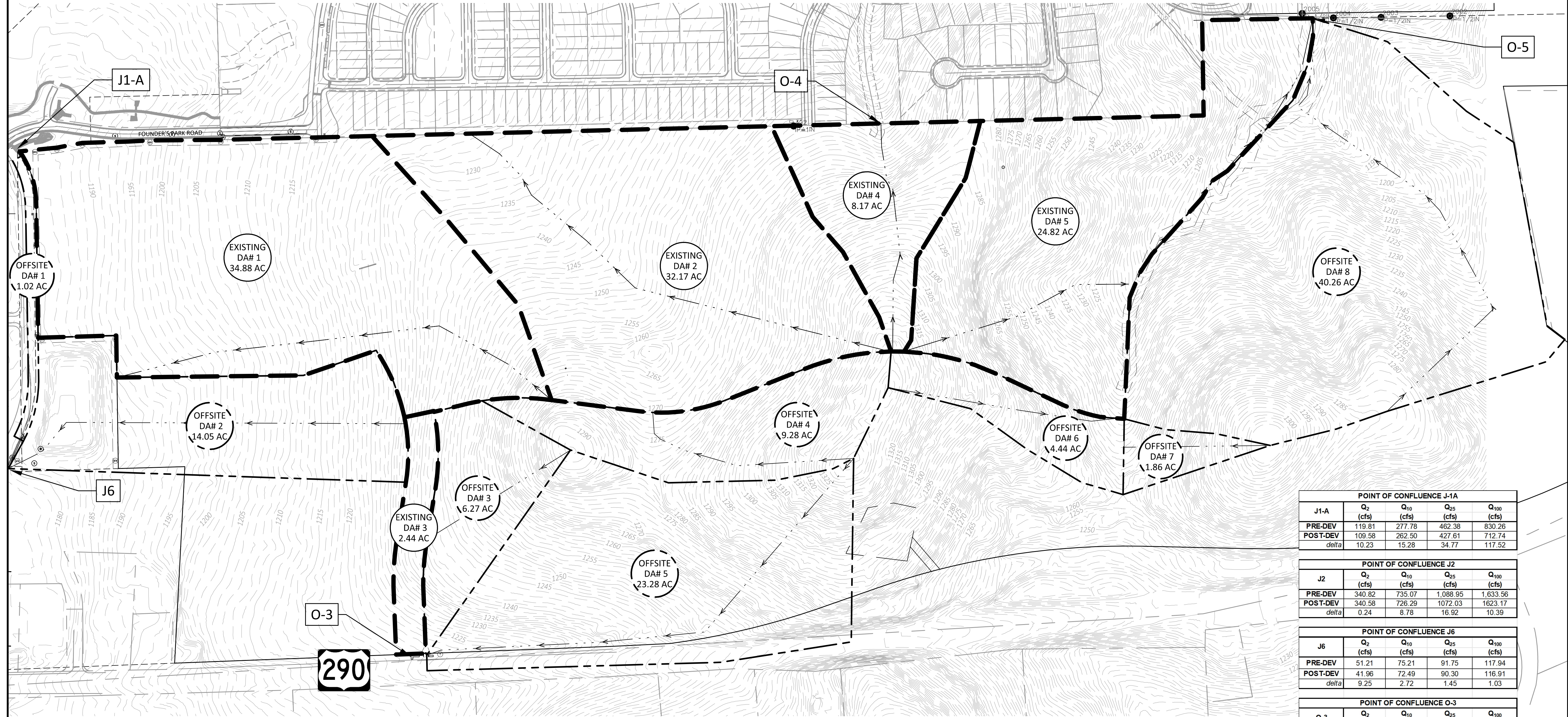
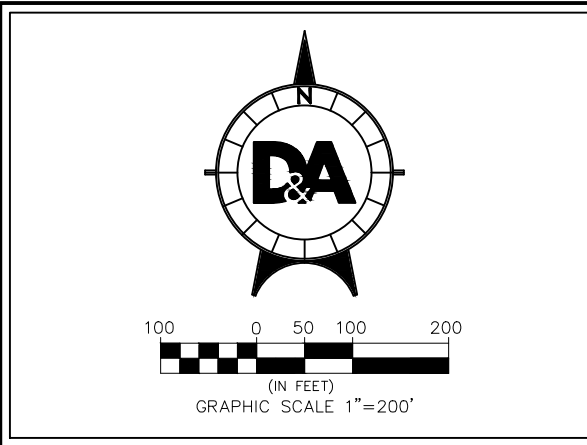
Designed: JH-JG-GS
Drawn: GS-PM
Reviewed: JH-JG
Date: 11/18/2021

SHEET
1
OF 1

Project No.:
1298-003

LEGEND

- IRON ROD
- ⊞ TELEPHONE MANHOLE
- ⊞ TELEPHONE SERVICE BOX
- ⊞ TRAFFIC SIGNAL BOX
- ⊞ TRAFFIC SIGNAL
- ⊞ WATER MANHOLE
- ⊞ SIGN
- ⊞ POWER POLE
- ⊞ DOWN GUY
- ⊞ PROPOSED 10' CURB INLET
- ⊞ PROPOSED WING WALL
- ⊞ PROPOSED GRATE INLET
- ⊞ WATER VALVE
- ⊞ WATER METER
- ⊞ STORM SEWER MANHOLE
- ⊞ WASTEWATER MANHOLE
- ⊞ SUBDIVISION BOUNDARY
- ⊞ LOT BOUNDARY
- ⊞ EASEMENTS
- ⊞ W PROPOSED WATER PIPE
- ⊞ WW PROPOSED WASTEWATER PIPE
- ⊞ FM PROPOSED FORCE MAIN PIPE
- ⊞ PROPOSED STORM PIPE
- ⊞ OE OVERHEAD ELECTRIC
- ⊞ EDGE OF EXISTING ASPHALT



POINT OF CONFLUENCE J1-A				
J1-A	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
PRE-DEV	119.81	277.78	462.38	830.26
POST-DEV	109.58	262.50	427.61	712.74
delta	10.23	15.28	34.77	117.52

POINT OF CONFLUENCE J2				
J2	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
PRE-DEV	340.82	735.07	1,088.95	1,633.56
POST-DEV	340.58	726.29	1072.03	1623.17
delta	0.24	8.78	16.92	10.39

POINT OF CONFLUENCE J6				
J6	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
PRE-DEV	51.21	75.21	91.75	117.94
POST-DEV	41.96	72.49	90.30	116.91
delta	9.25	2.72	1.45	1.03

POINT OF CONFLUENCE O-3				
O-3	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
PRE-DEV	63.65	125.82	174.52	268.67
POST-DEV	63.32	124.37	172.05	264.21
delta	0.33	1.45	2.47	4.46

POINT OF CONFLUENCE O-4				
O-4	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
PRE-DEV	17.49	34.64	47.99	73.79
POST-DEV	16.03	33.57	46.28	71.16
delta	1.46	1.07	1.71	2.63

POINT OF CONFLUENCE O-5				
O-5	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
PRE-DEV	141.92	280.95	389.24	598.52
POST-DEV	111.56	250.51	350.92	543.53
delta	30.36	30.44	38.32	54.99

CURVE NUMBER CALCULATED USING THE SCS METHOD - EXISTING CONDITIONS					
Drainage Basin	Drainage Area (sf)	Drainage Area (ac)	Impervious Area (sf)	I.C. (%)	CN
E-1	1,519,372.80	34.88	16,151.00	1.06%	84
E-2	1,401,325.20	32.17	19,657.00	1.40%	84
E-3	106,286.40	2.44	3,092.00	2.91%	84
E-4	355,885.20	8.17	0.00	0.00%	84
E-5	1,081,159.20	24.82	0.00	0.00%	84
OS-1	44,431.20	1.02	0	0.0%	84
OS-2	612,018.00	14.05	0	0.0%	84
OS-3	273,121.20	6.27	0	0.0%	84
OS-4	404,236.80	9.28	0	0.0%	84
OS-5	1,026,709.20	23.57	0	0.0%	84
OS-6	193,406.40	4.44	0	0.0%	84
OS-7	81,021.60	1.86	0	0.0%	84
OS-8	1,753,725.60	40.26	0	0.0%	84

EXISTING "Tc" VALUE CALCULATIONS												
Drainage Area	Area (ac)	Sheet Flow			Shallow Concentrated Flow			Channel Flow			Total Allowed Tc (min)	
		Length (ft)	Slope (ft/ft)	n	Length (ft)	Slope (ft/ft)	Tt (min)	Length (ft)	V (ft/sec)	Tt (min)		
E-1	34.88 Ac.	100	0.06	0.24	8.14 min	2625	0.04	13.56 min			21.7 min	
E-2	32.17 Ac.	100	0.03	0.24	10.75 min	900	0.07	3.51 min	881	5.00	2.94	17.2 min
E-3	2.44 Ac.											5.0 min
E-4	8.17 Ac.	100	0.04	0.24	9.58 min	790	0.05	3.65 min	100	5.00	0.33	13.6 min
E-5	24.82 Ac.	100	0.06	0.24	8.14 min	608	0.10	1.99 min	1479	5.00	4.93	15.1 min
OS-1	1.02 Ac.											5.0 min
OS-2	14.05 Ac.	100	0.05	0.24	8.76 min	1046	0.04	5.40 min	442	5.00	1.47	15.6 min
OS-3	6.27 Ac.	100	0.05	0.24	8.76 min	547	0.07	2.14 min				10.9 min
OS-4	9.28 Ac.	100	0.04	0.24	9.58 min	673	0.07	2.63 min	100	5.00	0.33	12.5 min
OS-5	23.57 Ac.	100	0.03	0.24	10.75 min	1184	0.07	4.62 min	666	5.00	2.22	17.6 min
OS-6	4.44 Ac.	100	0.05	0.24	8.76 min	777	0.05	3.59 min				12.3 min
OS-7	1.86 Ac.	100	0.03	0.24	10.75 min	460	0.1	1.50 min	109	5.00	0.36	12.6 min
OS-8	40.26 Ac.	100	0.02	0.24	12.64 min	468	0.15	1.25 min	1463	5.00	4.88	18.8 min

EXISTING CONDITIONS (WITH ATLAS 14)				
Drainage Area	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
E-1	64.41	127.43	176.52	271.41
E-2	64.22	126.97	175.84	270.26
E-3	6.27	12.06	16.61	25.39
E-4	17.49	34.64	47.99	73.79
E-5	51.33	100.93	139.73	215.18
OS-1	2.59	5.04	6.94	10.61
OS-2	29.03	57.15	79.02	121.26
OS-3	14.24	27.96	38.63	59.23
OS-4	20.35	40.18	55.60	85.40
OS-5	46.74	92.50	128.15	197.03
OS-6	9.79	19.31	26.72	41.02
OS-7	4.10	8.09	11.19	17.19
OS-8	77.70	154.23	213.89	329.20

Drawing: C:\paw_working\jwhehnbu\img\84171298_003_PP_DA_EX.dwg
User: JHEHNBUC
Date: 11/18/21
Plot Date/Time: Nov 18 21 17:50:03

DRAINAGE - PROPOSED

**CANNON RANCH
 PRELIMINARY PLAT
 DRIPPING SPRINGS, TEXAS**

**EXHIBIT
 F**

Designed: JH - JG - GS
 Drawn: GS - PM
 Reviewed: JH - JG
 Date: 11/18/2021

LEGEND

IRON ROD
 TELEPHONE MANHOLE
 WATER MANHOLE
 SUBDIVISION BOUNDARY
 LOT BOUNDARY
 EASEMENTS
 PROPOSED WATER PIPE
 PROPOSED WASTEWATER PIPE
 PROPOSED FORCE MAIN PIPE
 PROPOSED STORM PIPE
 OVERHEAD ELECTRIC
 EDGE OF EXISTING ASPHALT
 FLOW DIRECTION

ELECTRIC PULL BOX
 TELEPHONE SERVICE BOX
 SIGN
 POWER POLE
 PROPOSED 10' CURB INLET
 PROPOSED WING WALL
 PROPOSED GRATE INLET

ELECTRIC METER
 TRAFFIC SIGNAL BOX
 TRAFFIC SIGNAL
 DOWN GUY

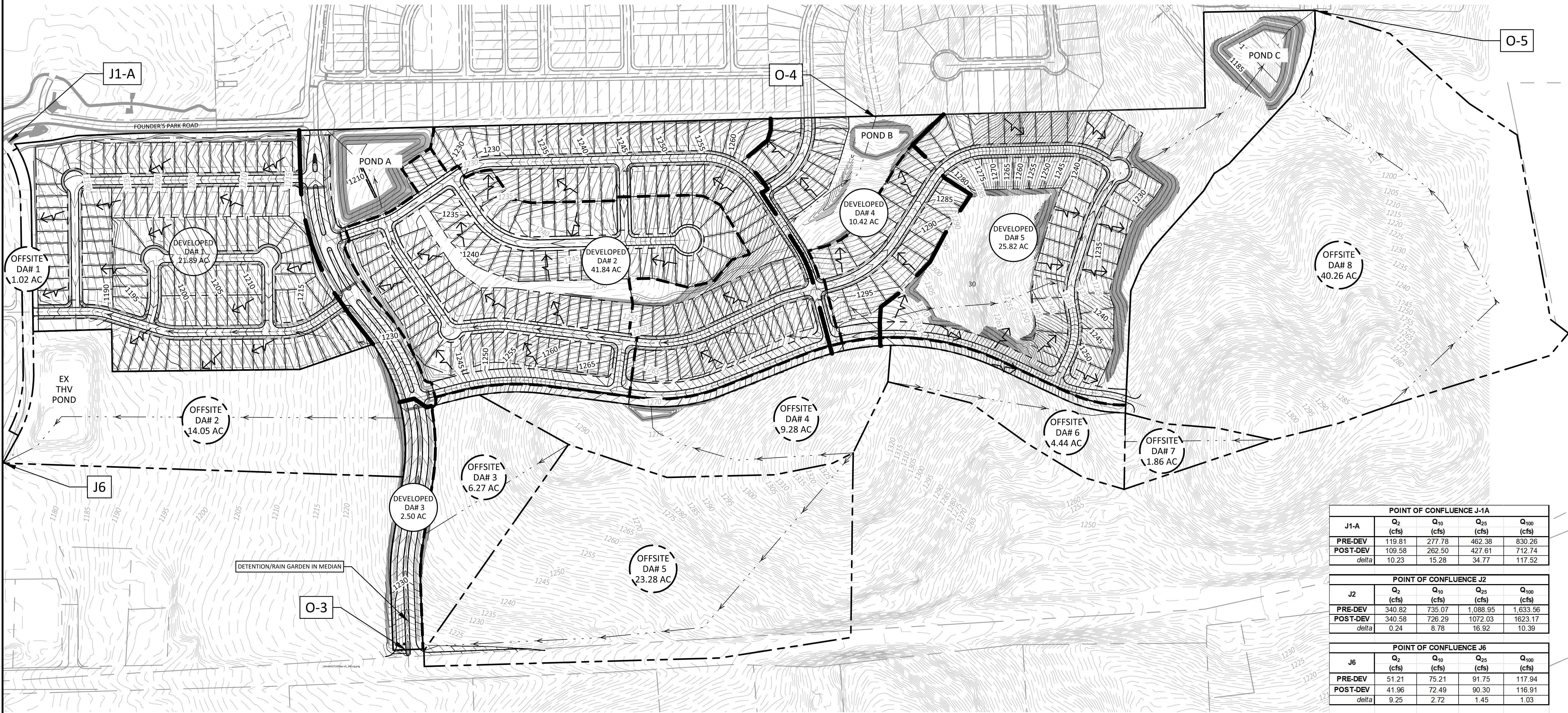
ELECTRIC TRANSFORMER
 TRAFFIC SIGNAL
 DOWN GUY

ELECTRIC MANHOLE
 WATER VALVE
 WATER METER
 STORM SEWER MANHOLE
 WASTEWATER MANHOLE

FIRE HYDRANT
 WATER METER
 STORM SEWER MANHOLE
 WASTEWATER MANHOLE

GAS METER
 WATER METER
 STORM SEWER MANHOLE
 WASTEWATER MANHOLE

LIGHT POLE
 WASTEWATER MANHOLE



POINT OF CONFLUENCE J1-A

J1-A	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
PRE-DEV	119.81	277.78	462.38	830.26
POST-DEV	109.58	262.50	427.61	712.74
delta	10.23	15.28	34.77	117.52

POINT OF CONFLUENCE J2

J2	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
PRE-DEV	340.82	735.07	1,088.95	1,633.56
POST-DEV	340.58	726.29	1,072.03	1,623.17
delta	0.24	8.78	16.92	10.39

POINT OF CONFLUENCE J6

J6	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
PRE-DEV	51.21	75.21	91.75	117.94
POST-DEV	41.96	72.49	90.30	116.91
delta	9.25	2.72	1.45	1.03

POINT OF CONFLUENCE O-3

O-3	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
PRE-DEV	63.65	125.82	174.52	268.67
POST-DEV	63.32	124.37	172.05	264.21
delta	0.33	1.45	2.47	4.46

POINT OF CONFLUENCE O-4

O-4	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
PRE-DEV	17.49	34.64	47.99	73.79
POST-DEV	16.03	33.57	46.28	71.16
delta	1.46	1.07	1.71	2.63

POINT OF CONFLUENCE O-5

O-5	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
PRE-DEV	141.92	280.95	389.24	598.52
POST-DEV	111.56	250.51	350.92	543.53
delta	30.36	30.44	38.32	54.99

CURVE NUMBER CALCULATED USING THE SCS METHOD - DEVELOPED CONDITIONS

Drainage Basin	Drainage Area (sf)	Drainage Area (ac)	Impervious Area (sf)	I.C. (%)	CN
D-1	953,528.40	21.89	547549	57.4%	92
D-2	1,822,986.00	41.85	961805	52.8%	91
D-3	108,900.00	2.50	66211	60.8%	93
D-4	453,895.20	10.42	190793	42.0%	90
D-5	1,124,719.20	25.82	324958	28.9%	88
OS-1	44,431.20	1.02	29700	66.8%	93
OS-2	612,018.00	14.05	0	0.0%	84
OS-3	273,121.20	6.27	0	0.0%	84
OS-4	404,236.80	9.28	0	0.0%	84
OS-5	1,026,709.20	23.57	0	0.0%	84
OS-6	193,406.40	4.44	0	0.0%	84
OS-7	81,021.60	1.86	0	0.0%	84
OS-8	1,753,725.60	40.26	0	0.0%	84

DEVELOPED "Tc" VALUE CALCULATIONS

Drainage Area	Area (ac)	Sheet Flow			Shallow Concentrated Flow			Channel Flow			Total Allowed Tc (min)
		Length (ft)	Slope (ft/ft)	Tt (min)	Length (ft)	Slope (ft/ft)	Tt (min)	Length (ft)	V (ft/sec)	Tt (min)	
D-1	21.89	100	0.04	0.24	9.58	0.05	1.04	894	9.00	1.66	12.3
D-2	41.85	100	0.05	0.24	8.76	0.07	1.26	1915	9.00	3.55	13.6
D-3	2.50	100	0.07	0.24	7.66	0.10	0.54	1143	9.00	2.12	10.3
D-4	10.42	100	0.06	0.24	8.14	0.15	1.45	1512	9.00	2.80	12.4
D-5	25.82	100	0.05	0.24	8.76	0.04	5.40	442	5.00	1.47	15.6
OS-1	1.02	100	0.05	0.24	8.76	0.07	2.14	547	5.00	1.09	10.9
OS-2	14.05	100	0.04	0.24	9.58	0.07	2.63	673	5.00	0.33	12.5
OS-3	6.27	100	0.03	0.24	10.75	0.07	4.62	666	5.00	2.22	17.6
OS-4	9.28	100	0.05	0.24	8.76	0.05	3.59	777	5.00	0.36	12.3
OS-5	23.57	100	0.03	0.24	10.75	0.1	1.50	109	5.00	0.36	12.6
OS-6	4.44	100	0.02	0.24	12.64	0.15	1.25	1463	5.00	4.88	18.8
OS-7	1.86	100	0.05	0.24	8.76	0.15	1.45	1512	9.00	2.80	12.4
OS-8	40.26	100	0.05	0.24	8.76	0.15	1.45	1512	9.00	2.80	12.4

DEVELOPED CONDITIONS (WITH ATLAS 14)

Drainage Area	Q ₂ (cfs)	Q ₁₀ (cfs)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
D-1	60.77	107.08	142.63	211.40
D-2	110.69	197.86	264.75	394.00
D-3	8.01	13.89	18.40	27.15
D-4	28.52	51.36	68.89	102.74
D-5	64.83	120.44	163.23	245.76
OS-1	3.27	5.67	7.51	11.08
OS-2	29.03	57.15	79.02	121.26
OS-3	14.02	27.61	38.18	58.58
OS-4	20.35	40.18	55.60	85.40
OS-5	46.82	92.64	128.33	197.29
OS-6	9.79	19.31	26.72	41.02
OS-7	4.10	8.09	11.19	17.19
OS-8	77.70	154.23	213.89	329.20

DRAINAGE - OVERALL

CANNON RANCH
 PRELIMINARY PLAT
 DRIPPING SPRINGS, TEXAS

EXHIBIT
F

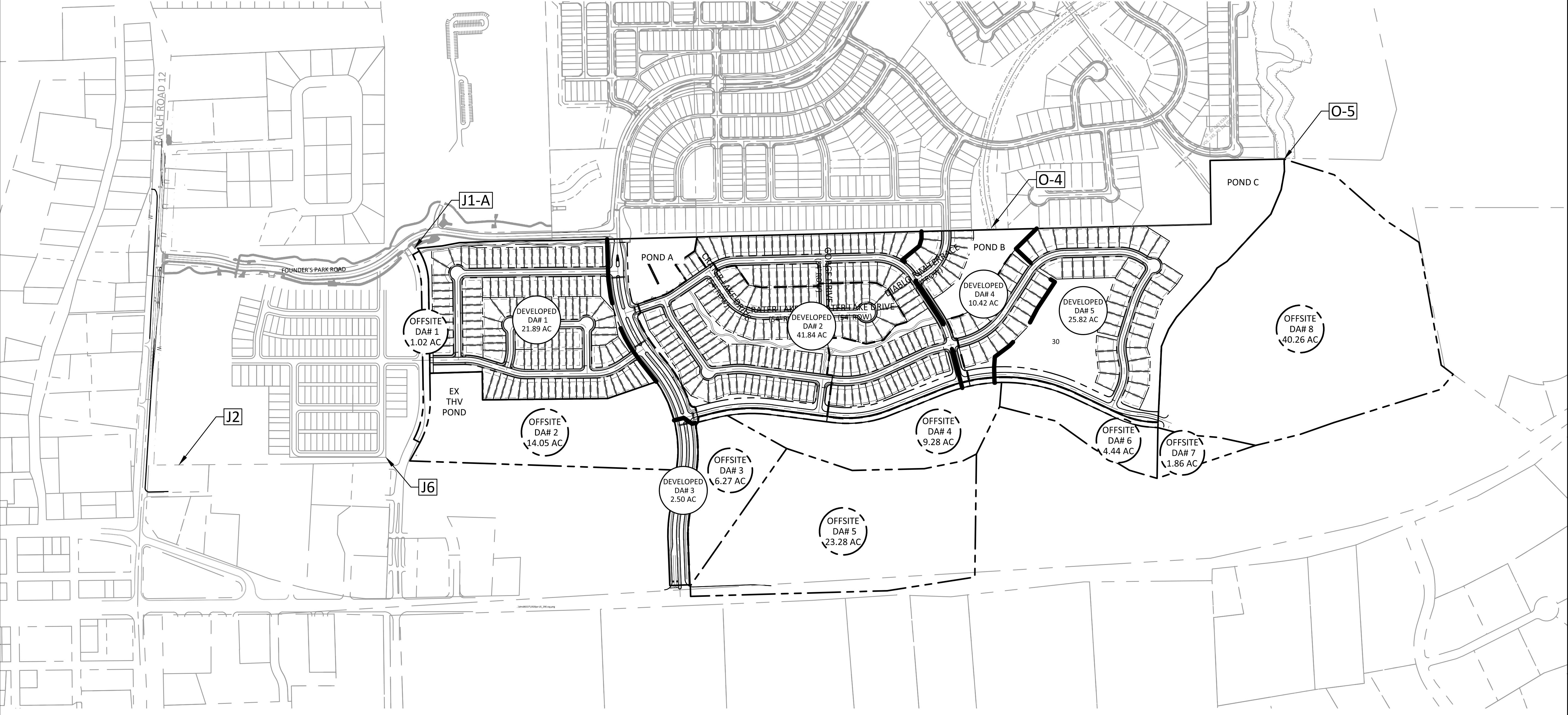
Designed: JH - JG - GS
 Drawn: GS - PM
 Reviewed: JH - JG
 Date: 11/18/2021

SHEET
1
 OF 1

Project No.: 1298-003

LEGEND

● IRON ROD	⊕ TELEPHONE MANHOLE	⊕ WATER MANHOLE	— SUBDIVISION BOUNDARY
⊕ ELECTRIC PULL BOX	⊕ TELEPHONE SERVICE BOX	⊕ SIGN	— LOT BOUNDARY
⊕ ELECTRIC METER	⊕ TRAFFIC SIGNAL BOX	⊕ POWER POLE	— EASEMENTS
⊕ ELECTRIC TRANSFORMER	⊕ TRAFFIC SIGNAL	⊕ DOWN GUY	— W PROPOSED WATER PIPE
⊕ ELECTRIC MANHOLE	⊕ WATER VALVE	⊕ PROPOSED 10' CURB INLET	— WW PROPOSED WASTEWATER PIPE
⊕ FIRE HYDRANT	⊕ WATER METER	⊕ PROPOSED WING WALL	— FM PROPOSED FORCE MAIN PIPE
⊕ GAS METER	⊕ STORM SEWER MANHOLE	⊕ PROPOSED GRATE INLET	— PROPOSED STORM PIPE
⊕ LIGHT POLE	⊕ WASTEWATER MANHOLE		— OE OVERHEAD ELECTRIC
			— EDGE OF EXISTING ASPHALT
			→ FLOW DIRECTION



Drawing: C:\pwworking\jhehnhburg\m84171298-003-PP-DA-FR.dwg
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SIDEWALK & TRAIL EXHIBIT

**CANNON RANCH
 PRELIMINARY PLAT
 DRIPPING SPRINGS, TEXAS**

**EXHIBIT
 F**

Designed: JH - JG - GS
 Drawn: GS - PM
 Reviewed: JH - JG
 Date: 11/18/2021

**SHEET
 1
 OF 1**

Project No.: 1298-003



LEGEND

- IRON ROD FOUND
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- ⊙ POWER POLE
- ⊙ DOWN GUY
- SUBDIVISION BOUNDARY
- LOT LINES
- BUILDING SETBACK LINE
- EASEMENTS
- - - PROPOSED RIGHT OF WAY
- PROPOSED FACE OF CURB

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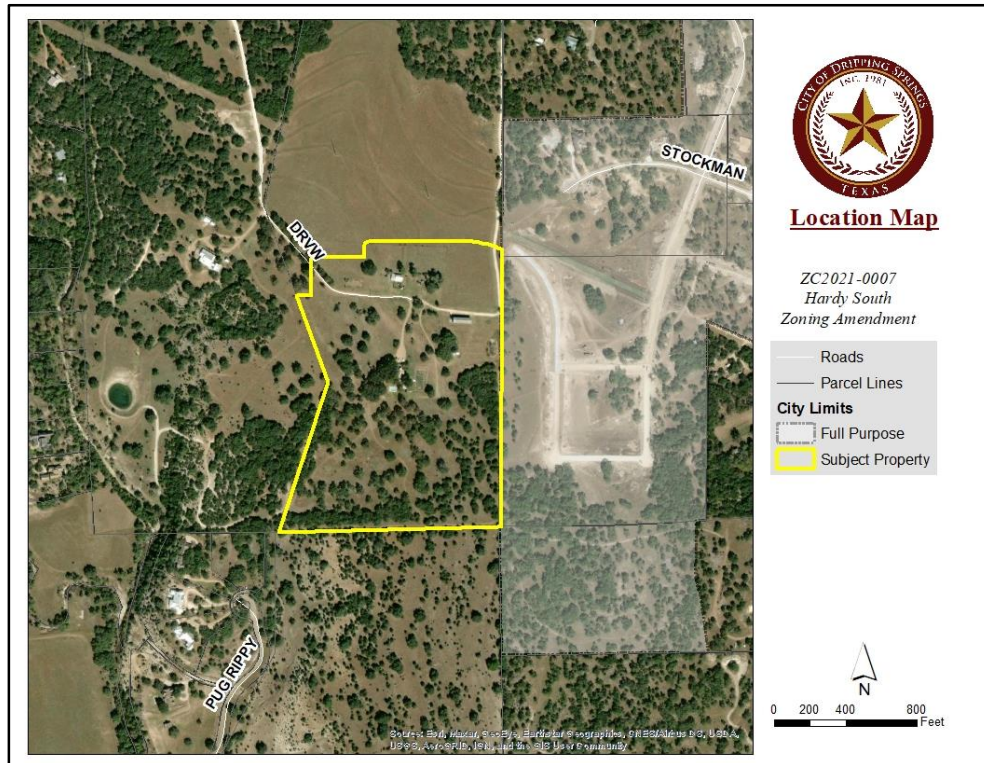


Planning & Zoning Commission Planning Department Staff Report

City Council: November 23, 2021
Project No: ZA2021-0007
Project Planner: Tory Carpenter, Senior Planner

Item Details

Project Name: Hardy South
Property Location: Bunker Ranch Boulevard
Legal Description: 38.680 acres out of the Benjamin F. Hannah Survey
Applicant: Brian Estes Civil and Environmental Consultants, Inc.
Property Owner: P & H Family Limited Partnership No. 1
Request: Zoning amendment from Agriculture “AG” to Single-Family Residential — Moderate Density “SF-2”



Background

While the property is currently in the ETJ, the default zoning district if it is annexed is Agriculture “AG”

Per Ch. 30 Exhibit A, §3.5-3.6

- **AG – Agriculture:** *The AG, agriculture district is designed to permit the use of land for the ranching, propagation and cultivation of crops, small-scale horticultural enterprises, and similar uses. Single-family uses on large lots are also appropriate for this district. Territory that has been newly annexed into the city is initially zoned agriculture. It is anticipated that some portion of agriculturally zoned land may eventually be rezoned to another zoning classification in the future.*

The applicant is requesting a zoning amendment to Single-Family Residential Moderate Density “SF-2”

- **SF-2 – Single-Family Residential Moderate Density:** *The SF-2, single-family residential district is intended to provide for development of primarily moderate-density detached, single-family residences on lots of at least ½ acre in size.*

This request is being heard concurrently with an annexation request for the same property. At their meeting on October 5, 2021, the City Council gave direction to staff to proceed with the annexation request for the property, directing the applicant to provide information associated with the piecemealed approach of development in this area. This zoning amendment and the annexation are scheduled to be voted on by the City Council on December 7, 2021.

Analysis

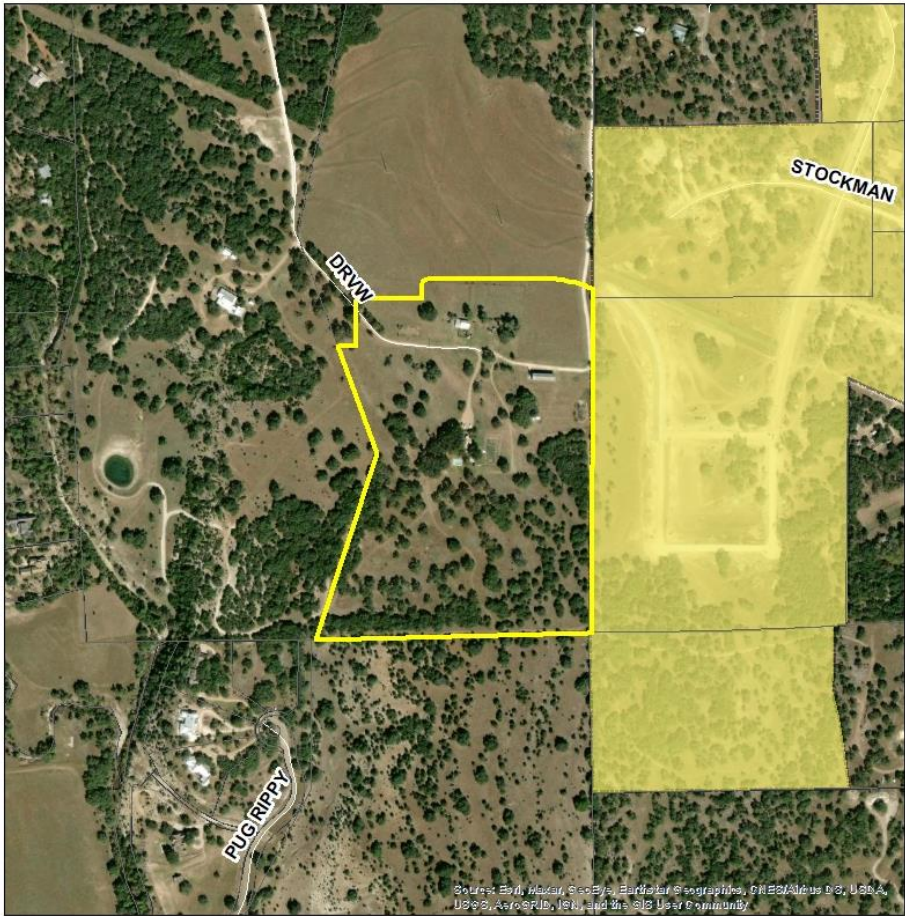
Based on the adjacent zoning category and land uses, staff finds that the proposed zoning is generally compatible within the area.

Since the property is currently in the ETJ, staff finds it appropriate to compare ETJ standards with the requested zoning district.

	ETJ	SF-2	Differences between ETJ & SF-2
Max Height	Not regulated	1.5 stories / 40 feet	Restricted 1.5 stories / 40 feet
Min. Lot Size	.75 acres*	1/2 acre*	0.25 acres less
Min. Lot Width	30 feet	30 feet	None
Min. Lot Depth	unregulated	150 feet	50 feet
Min. Front/Side/Rear Yard Setbacks	10 feet / 5 feet / 5 feet	25 feet / 15 feet / 25 feet*	15 feet / 10feet / 20 feet more
Impervious Cover	35%	40%	5% more

*In either instance, these lots will be limited to a 0.75-acre minimum assuming they are served by private septic systems.

Surrounding Properties



Zoning Map

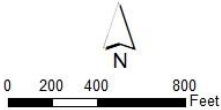
ZC2021-0007
 Hardy South
 Zoning Amendment

Zoning

- SF-2
- Roads
- Parcel Lines

City Limits

- Full Purpose
- Subject Property



The current zoning and existing uses of the adjacent properties to the north, south, east, and west are outlined in the table below:

Direction	Zoning District	Existing Use	Future Land Use
North	ETJ	Proposed residential	Not Shown on the Future Land Use Map
East	SF-2	Bunker Ranch Subdivision	
South	ETJ	Vacant / Agricultural	
West	ETJ	Homestead / Agricultural	

Approval Criteria for Zoning Amendment (Chapter 30 Zoning, Exhibit A, Sec 2.28.1 and 2.28.2)

2.28.2 The Planning & Zoning Commission and the City Council shall consider the following factors:

Factors	Staff Comments
1. whether the proposed change will be appropriate in the immediate area concerned;	While this property has access limitations and limited services nearby, this zoning change is consistent with recent development in the area.
2. their relationship to the general area and the City as a whole;	This zoning change would allow for additional single-family residences.
3. whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other utilities to the area;	The property is not within any existing or proposed City Plans.
4. the amount of undeveloped land currently classified for similar development in the vicinity and elsewhere in the City, and any special circumstances which may make a substantial part of such undeveloped land unavailable for development;	This request would not make other land unavailable for development.
5. the recent rate at which land is being developed in the same zoning classification, particularly in the vicinity of the proposed change;	Land with the same zoning classification has been developing rapidly.
6. how other areas designated for similar development will be, or are unlikely to be, affected if the proposed amendment is approved;	No areas designated for similar development will be affected by this proposed amendment.
7. whether the proposed change treats the subject parcel of land in a manner which is significantly different from decisions made involving other, similarly situated parcels; and	Approval of this zoning amendment would not be significantly different from decisions made involving other similar parcels.
8. any other factors which will substantially affect the public health, safety, morals, or general welfare.	The rezoning does not negatively affect the public health, safety, morals, or general welfare.

Staff Recommendation

Staff recommends **approval** of the zoning amendment as presented.

Planning and Zoning action:

2.34.1 *The P&Z shall hold a public hearing on a zoning an amendment to the Zoning Ordinance. After all public input has been received and the public hearing closed, the P&Z shall make its recommendations on the proposed zoning request and concept plan, if submitted, stating its findings, its overall evaluation of the request, and its assessment regarding how the request relates to the City's Comprehensive Plan. The P&Z may, on its own motion or at the applicant's request, defer its decision recommendations until it has had an opportunity to consider other information or proposed modifications to the request which may have a direct bearing thereon. If the P&Z elects to postpone or defer its hearing on the request, such action shall specifically state the time period of the postponement by citing the meeting date whereon the request will reappear on the P&Z's agenda.*

2.34.2 *When the P&Z is ready to act upon the zoning request, it may recommend:*

- (a) *approval of the request as it was submitted by the applicant;*
- (b) *approval of the request subject to certain conditions as in the case of a Planned Development District (PDD) or a Conditional Use Permit (CUP); or*
- (c) *disapproval of the request.*

2.34.3 *The P&Z's recommendation will be automatically forwarded to the City Council for a second public hearing thereon.*

Public Notification

A legal notice advertising the public hearing was placed in the Dripping Springs Century-News, signs were posted on the-site, notice was placed on the City Website, and all property owners within a 300-foot radius of the site were notified of the zoning map amendment. To date, no letters for or against the request have been received.

Attachments

Exhibit 1 – Zoning Amendment Application

Exhibit 2 – Proposed Ordinance & Survey

Recommended Action:	Recommend approval of the requested Zoning Amendment
Alternatives/Options:	Recommend denial of the zoning map amendment.
Budget/Financial Impact:	All fees have been paid.
Public Comments:	None Received at this time.
Enforcement Issues:	N/A



CITY OF DRIPPING SPRINGS

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

• 512.858.4725 • www.cityofdrippingsprings.com

ZONING/PDD AMENDMENT APPLICATION

Case Number (staff use only): _____ - _____

CONTACT INFORMATION

PROPERTY OWNER NAME P & H Family Limited Partnership No. 1

STREET ADDRESS P O BOX 1696

CITY Dripping Springs STATE TX ZIP CODE 78620

PHONE _____ EMAIL _____

APPLICANT NAME Brian Estes, P.E.

COMPANY Civil and Environmental Consultants Inc.

STREET ADDRESS 3711 S. Mo Pac Expy Suite 550

CITY Austin STATE Texas ZIP CODE 78746

PHONE 512-439-0400 EMAIL bestes@cecinc.com

REASONS FOR AMENDMENT

TO CORRECT ANY ERROR IN THE REGULATION OR MAP

TO RECOGNIZE CHANGES IN TECHNOLOGY, STYLE OF LIVING, OR MANNER OF CONDUCTING BUSINESS

TO RECOGNIZE CHANGED CONDITIONS OR CIRCUMSTANCES IN A PARTICULAR LOCALITY

TO MAKE CHANGES IN ORDER TO IMPLEMENT POLICIES REFLECTED WITHIN THE COMPREHENSIVE PLAN

PROPERTY & ZONING INFORMATION	
PROPERTY OWNER NAME	P & H Family Limited Partnership No. 1
PROPERTY ADDRESS	2901 W US 290, DRIPPING SPRINGS, TX 78620
CURRENT LEGAL DESCRIPTION	A0222 BENJAMIN F HANNA SURVEY, ACRES 77
TAX ID#	R15103
LOCATED IN	<input type="checkbox"/> CITY LIMITS <input type="checkbox"/> EXTRATERRITORIAL JURISDICTION
CURRENT ZONING	AG
REQUESTED ZONING/AMENDMENT TO PDD	SF-2
REASON FOR REQUEST <i>(Attach extra sheet if necessary)</i>	Annex and concurrently rezone a 39.341 Acre portion of the P&H Family Limited Partnership No. 1 Tract to redevelop into a single family lot subdivision.
INFORMATION ABOUT PROPOSED USES <i>(Attach extra sheet if necessary)</i>	The proposed use is single family.

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE? *

(See attached agreement).

YES (REQUIRED)* YES (VOLUNTARY)* NO*

* If proposed subdivision is in the City Limits, compliance with Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria *(see Outdoor Lighting tab on the CORDS webpage and online Lighting Ordinance under Code of Ordinances tab for more information).*

APPLICANT'S SIGNATURE

The undersigned, hereby confirms that he/she/it is the owner of the above described real property and further, that Brian Estes (Civil & Environmental Consultants, Inc.) is authorized to act as my agent and representative with respect to this Application and the City's zoning amendment process.

(As recorded in the Hays County Property Deed Records, Vol. 1733, Pg. 755.)

[Signature]
Name

PRINCIPAL
Title

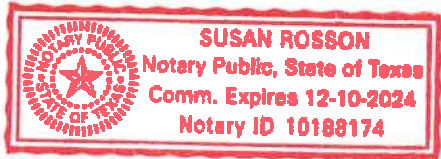
STATE OF TEXAS §
 §
COUNTY OF HAYS §

This instrument was acknowledged before me on the 5th day of March, 2021 by Hardy E. Thompson, III.

[Signature]
Notary Public, State of Texas Susan Rosson

My Commission Expires: 12-10-2024

Hardy E. Thompson, III
Name of Applicant



ZONING AMENDMENT SUBMITTAL

All required items and information (including all applicable above listed exhibits and fees) must be received by the City for an application and request to be considered complete. Incomplete submissions will not be accepted. By signing below, I acknowledge that I have read through and met the above requirements for a complete submittal:



8-20-21

Applicant Signature (Applicant's Authorized Agent)

Date

CHECKLIST

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed Application Form - including all required signatures and notarized
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application Fee-Zoning Amendment or PDD Amendment (<i>refer to Fee Schedule</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PDF/Digital Copies of all submitted Documents When submitting digital files, a cover sheet must be included outlining what digital contents are included.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	GIS Data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement - signed with attached photos/drawings (<i>required if marked "Yes (Required)" on above Lighting Ordinance Section of application</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Description
<input type="checkbox"/>	<input type="checkbox"/>	Concept Plan
<input type="checkbox"/>	<input type="checkbox"/>	Plans
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Maps
<input type="checkbox"/>	<input type="checkbox"/>	Architectural Elevation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Explanation for request (<i>attach extra sheets if necessary</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Information about proposed uses (<i>attach extra sheets if necessary</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Public Notice Sign (<i>refer to Fee Schedule</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Ownership-Tax Certificate or Deed
<input type="checkbox"/>	<input type="checkbox"/> n/a	Copy of Planned Development District (<i>if applicable</i>)
<input type="checkbox"/>	<input type="checkbox"/> n/a	Digital Copy of the Proposed Zoning or Planned Development District Amendment

Project Number: _____ - _____
Only filled out by staff

Date, initials



BILLING CONTACT FORM

Project Name: Hardy T Land (39.341 Acres)

Project Address: 2901 W US 290, Dripping Springs, TX 78620

Project Applicant Name: Brian Estes, PE (Applicant's Authorized Agent)

Billing Contact Information

Name: Steve Harren

Mailing Address: 317 Grace Lane #240
Austin, Texas 78746

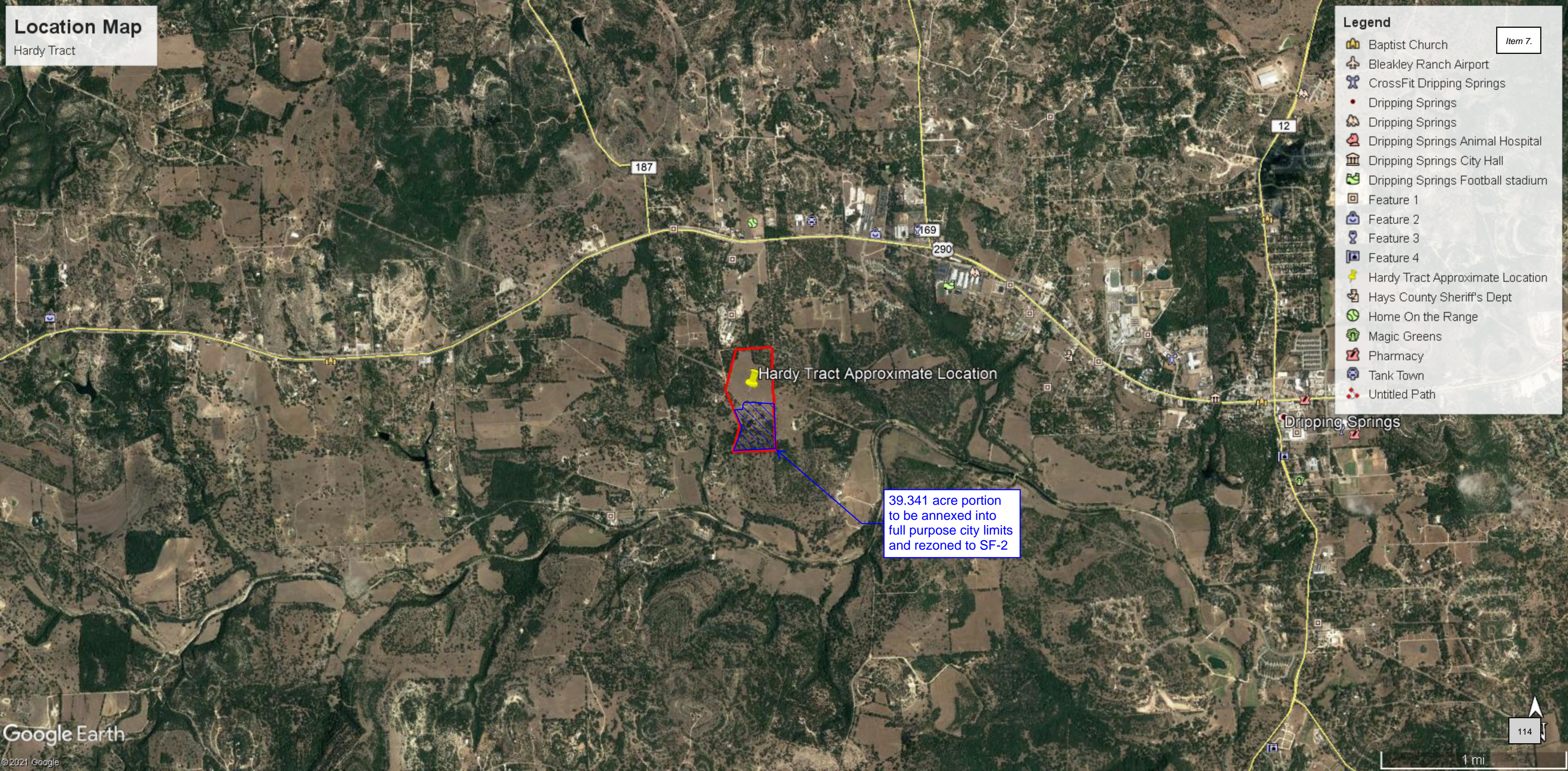
Email: steveharren@aol.com Phone Number: (512)644-6800

Type of Project/Application (check all that apply):

- | | |
|---|--|
| <input type="checkbox"/> Alternative Standard | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> Certificate of Appropriateness | <input type="checkbox"/> Street Closure Permit |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Development Agreement | <input type="checkbox"/> Waiver |
| <input type="checkbox"/> Exterior Design | <input type="checkbox"/> Wastewater Service |
| <input type="checkbox"/> Landscape Plan | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Lighting Plan | <input checked="" type="checkbox"/> Zoning |
| <input type="checkbox"/> Site Development Permit | <input type="checkbox"/> Other _____ |

Applicants are required to pay all associated costs associated with a project's application for a permit, plan, certificate, special exception, waiver, variance, alternative standard, or agreement, regardless of City approval. Associated costs may include, but are not limited to, public notices and outside professional services provided to the City by engineers, attorneys, surveyors, inspectors, landscape consultants, lighting consultants, architects, historic preservation consultants, and others, as required. Associated costs will be billed at cost plus 20% to cover the City's additional administrative costs. Please see the online Master Fee Schedule for more details. By signing below, I am acknowledging that the above listed party is financially accountable for the payment and responsibility of these fees.

8-20-21
Signature of Applicant (Applicant's Authorized Agent) Date



Location Map

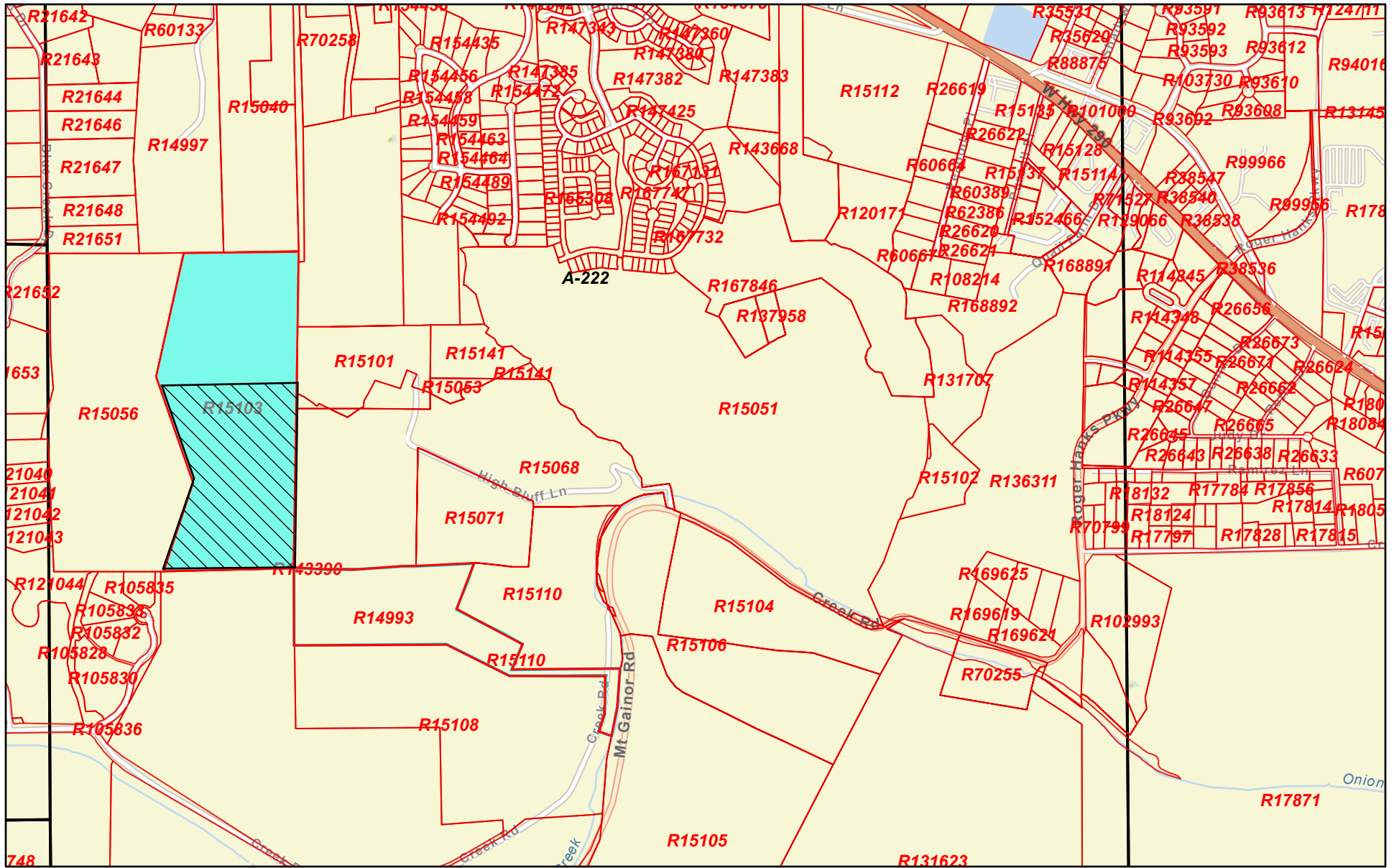
Hardy Tract

- ### Legend
- Baptist Church
 - Bleakley Ranch Airport
 - CrossFit Dripping Springs
 - Dripping Springs
 - Dripping Springs Animal Hospital
 - Dripping Springs City Hall
 - Dripping Springs Football stadium
 - Feature 1
 - Feature 2
 - Feature 3
 - Feature 4
 - Hardy Tract Approximate Location
 - Hays County Sheriff's Dept
 - Home On the Range
 - Magic Greens
 - Pharmacy
 - Tank Town
 - Untitled Path
- Item 7.

Hardy Tract Approximate Location

39.341 acre portion to be annexed into full purpose city limits and rezoned to SF-2

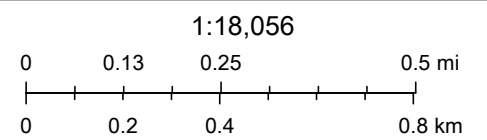
Hays CAD Web Map



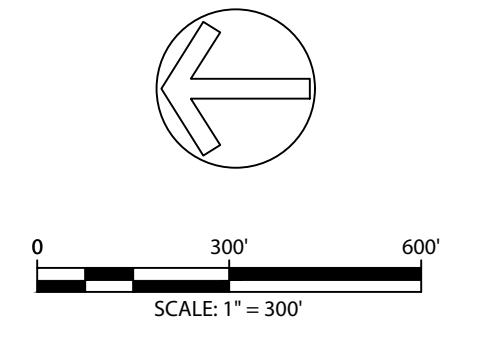
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Abstracts
 Parcels
 39.341 Acres to be Annexed into Full Purpose City Limits and Rezoned to SF-2

39.341 Acres to be Annexed into Full Purpose City Limits and Rezoned to SF-2



A:\100-001_LBA-061-0400 (map) (map) (access) [2021/01/17 14:47:00] - LP: 6/1/2021 14:47 PM



REVISION RECORD	
NO	DATE



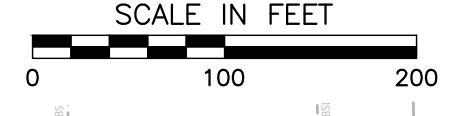
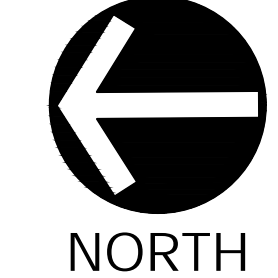
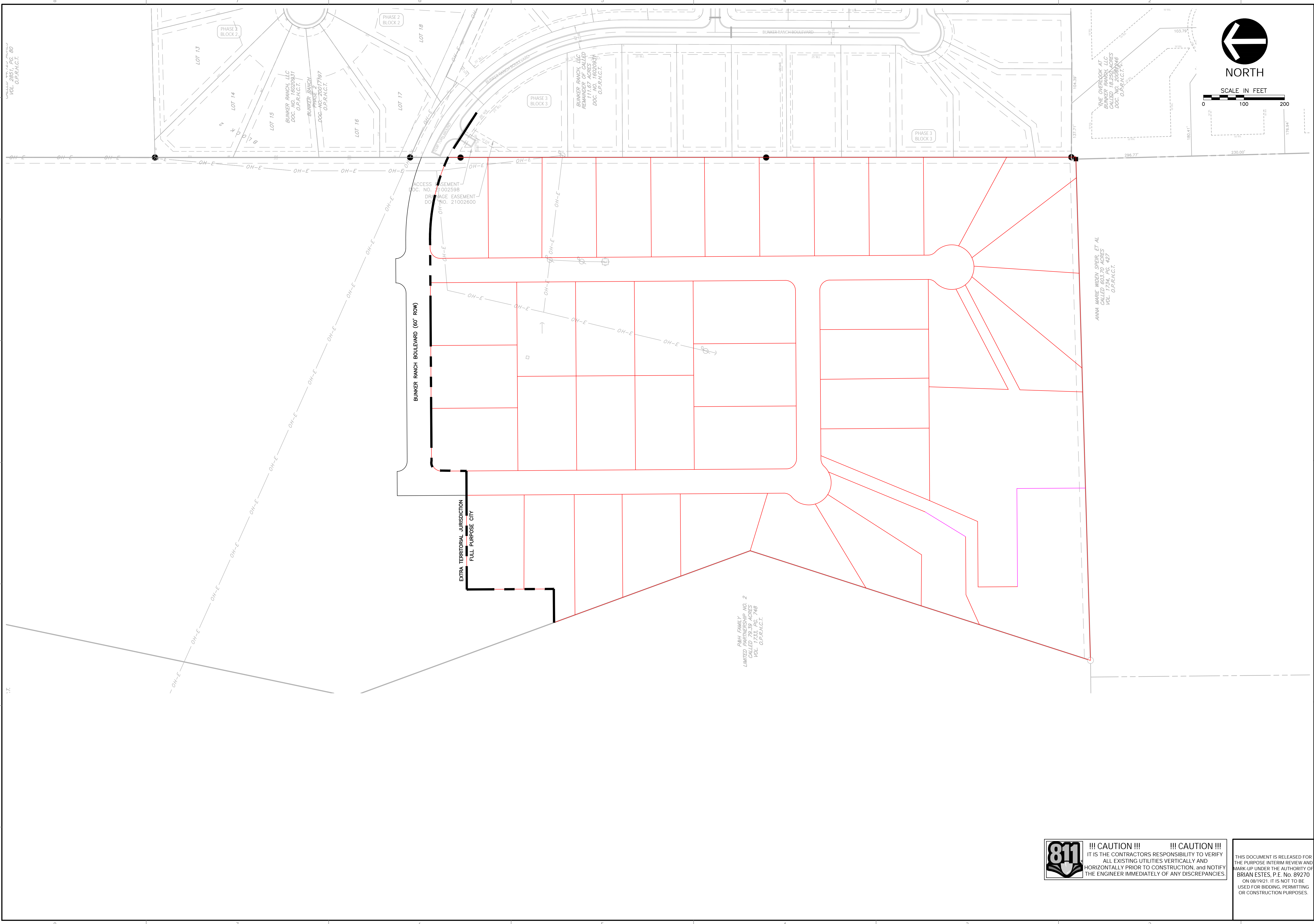
Civil & Environmental Consultants, Inc.
 Texas Registered Engineering Firm F-38
 3711 South Mopac Expressway - Building 1, Suite 550 - Austin, TX 78746
 Ph: 512.439.0400 - Fax: 512.329.0096
 www.cecinc.com

**HARDY T LAND
 DRIPPING SPRINGS
 HAYS COUNTY, TEXAS**

ZONING EXHIBIT	
DATE: JAN. 2021	DRAWN BY: _____
DWG SCALE: 1"=300'	DRAFT
PROJECT NO: 304-065	DRAFT
APPROVED BY: _____	DRAFT

EXHIBIT
 SHEET 1 OF 1

A:\100-2001\BPA-0951-0000\Draw\Hwy8\027\Exhibit\Hwy8_Summary\04045-0102-0102 - PRELIMINARY PAVI 15(07/19/2021 - 0102) - UP_8/19/2021 11:07 AM



NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
 3711 South McFar Expressway - Building 1, Suite 550 - Austin, TX 78746
 Ph: 512.439.0400 - Fax: 512.329.0096
www.cecinc.com

**HARDY T LAND LLC
 HARDY T LAND
 DRIPPING SPRINGS, HAYS COUNTY, TX**

811 !!! CAUTION !!! !!! CAUTION !!!
 IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION, and NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE INTERIM REVIEW AND MARK-UP UNDER THE AUTHORITY OF BRIAN ESTES, P.E. No. 89270 ON 08/19/21. IT IS NOT TO BE USED FOR BIDDING, PERMITTING OR CONSTRUCTION PURPOSES.

CONCEPT PLAN	
DATE:	MARCH, 2021
DRAWN BY:	
DWG SCALE:	1" = 100'
CHECKED BY:	
PROJECT NO.:	304-065
APPROVED BY:	

7/24
PW

SPECIAL WARRANTY DEED

STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS
COUNTY OF HAYS §

THAT the undersigned, Hardy E. Thompson, Jr., and Patty King Thompson, husband and wife (hereinafter referred to as "Grantors"), have GRANTED and CONVEYED, and by these presents do hereby GRANT and CONVEY unto the P & H Family Limited Partnership No. 1, a Texas Limited Partnership, whose mailing address is 1034 Liberty Park Drive, Apt. G2, Austin, Texas 78746 (hereinafter referred to as "Grantee"), the following:

1. The real property described in Exhibit A, which is attached hereto and incorporated herein for all pertinent purposes (hereinafter referred to as "Tract A");
2. A one-half (1/2) undivided interest in the real property described in Exhibit C, which is attached hereto and incorporated herein for all pertinent purposes, (hereinafter referred to as the "Road"), subject to a non-exclusive easement of ingress and egress in the entire Road in the event of a subsequent partition;
3. A one-half (1/2) undivided interest in any other easements of ingress and egress appurtenant to either Tract A or to the real property described in Exhibit B, which is attached hereto and incorporated herein for all pertinent purposes (hereinafter referred to as "Tract B"); and

4. A nonexclusive easement of ingress and egress sixty (60) feet in width lying south of and adjacent to the northern boundary of Tract B and running from the eastern boundary of Tract B to a point where the northern boundary of Tract B intersects with the western boundary of any easement of ingress and egress to and from Tract B to U.S. Highway 290.

Said real property interests are hereinafter referred to collectively as the "Property."

This conveyance is expressly made and accepted subject to all valid and subsisting liens, leases of surface acreage, oil, gas, and mineral leases, all prior mineral conveyances of any nature, easements, restrictions, reservations, covenants, conditions and other matters relating to the Property to the extent that the same are valid and enforceable against said Property, as same are shown by instruments filed for record in the office of the County Clerk of Hays County, Texas, or as same are evident upon inspection of the Property.

TO HAVE AND TO HOLD the Property, together with all and singular the rights and appurtenances thereto in anywise belonging, subject to the foregoing terms and provisions, unto the said Grantee, its successors and/or assigns forever; and Grantors do hereby bind Grantors' heirs, executors, administrators, successors and/or assigns, to WARRANT AND FOREVER DEFEND all and singular the Property, subject, however, as aforesaid, unto the said Grantee, its successors and/or assigns, against every person whomsoever claiming or to claim the same or any part thereof, by, through or under Grantors, but not otherwise.

EXECUTED this 23rd day of October, 2000.

Hardy Evans Thompson Jr.
Hardy E. Thompson, Jr.

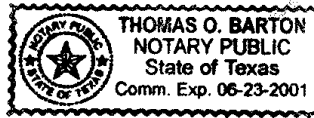
Patty King Thompson
Patty King Thompson

STATE OF TEXAS §
 §
COUNTY OF TRAVIS §

The foregoing instrument was acknowledged before me on the 23rd day of October, 2000, by **Hardy E. Thompson, Jr.**

Thomas O. Barton
Notary Public, State of Texas

STATE OF TEXAS §
 §
COUNTY OF TRAVIS §



The foregoing instrument was acknowledged before me on the 23rd day of October, 2000, by **Patty King Thompson.**

Thomas O. Barton
Notary Public, State of Texas

After Recording Return To:

Thomas O. Barton
McGinnis, Lochridge & Kilgore, L.L.P.
919 Congress Ave., Suite 1300
Austin, Texas 78701

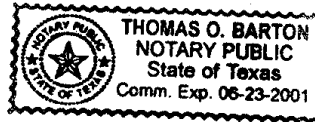


EXHIBIT A

79.61 acres of land out of and a part of quarter section No. 15 of the B. F. Hanna League, situated in Hays County, Texas, said 79.61 acre tract being more particularly described as being a portion of that certain 159.0 acre tract of land conveyed from Katherine Roberts, a widow, to Hardy E. Thompson, and wife Patty Thompson by deed of record in Volume 239, Pages 521-524 of the Deed Records of Hays County, Texas, said 79.61 acre tract being more fully described by metes and bounds as follows

Beginning at a steel pin found at a fence corner at the northeast corner of said quarter section No. 15, same being the common corner of quarter sections No. 14, 15, 16, and 17 of said Hanna League, for the northeast corner of the tract herein described, said point also being the northeast corner of said 159.0 acre tract;

THENCE with the fence along the common line of said quarter sections No. 14 and 15, same being the east line of said 159.0 acre tract, S 00°06'E 2983.98 feet to a steel pin set at a fence corner post for the southeast corner of the tract herein described;

THENCE with a new fence along the south line of this Survey S 88°12'W 1243.27 feet to a steel pin set a fence corner for the southwest corner of the tract herein described:

THENCE with the west line of this survey the following three (3) courses;

1. N 17°46'E, with a fence, 882.44 feet to a steel pin set at a fence corner;
2. N 20°12'W, leaving said fence, 1048.31 feet to a steel pin set at a fence corner;
3. N 11°45'E, with a fence, 1190.68 feet to a steel pin set at a fence corner in the north line of said 159.0 acre tract for the northwest corner of the tract herein described;

THENCE with the fence along the north line of said 159.0 acre tract N 88°15'E 1087.93 feet to the place of BEGINNING containing 79.61 acres of land.

EXHIBIT A

EXHIBIT B

79.39 acres of land out of and a part of quarter section No. 15 of the B. F. Hanna League, and a portion of the A. J. Holford Survey, situated in Hays County, Texas, said 79.39 acre tract being more particularly described as being a portion of that certain 159.0 acre tract of land conveyed from Katherine Roberts, a widow, to Hardy E. Thompson, and wife Patty Thompson by deed of record in Volume 239, Pages 521-524 of the Deed Records of Hays County, Texas, said 79.39 acre tract being more fully described by metes and bounds as follows:

BEGINNING at a steel pin found at a fence corner at the northwest corner of said 159.0 acre tract for the northwest corner of the tract herein described;

THENCE with the fence along the north line of said 159.0 acre tract the following two (2) courses;

- 1. N 89°44'E 832.80 feet to an iron stake found at a bend in said fence at a fence corner on the east side of a gate;
- 2. S 88°52'E 426.95 feet to a steel pin set at a fence corner for the northeast corner of the tract herein described;

THENCE with the east line of this survey the following three (3) courses;

- 1. S 11°45'W, with a fence, 1190.68 feet to a steel pin set at a fence corner;
- 2. S 20°12'E, leaving said fence, 1048.31 feet to a steel pin set at a fence corner;
- 3. S 17°46'W, with a fence, 882.44 feet to a steel pin set at a fence corner for the southeast corner of the tract herein described;

THENCE with a new fence along the south line of this survey N 89°59'W 571.9 feet to a steel pin found at the top of a bluff;

THENCE continue with the fence along the south line of said 159.0 acre tract N 83°00'W 233.9 feet to a steel pin at a fence corner for the southwest corner of the tract herein described, same being the southwest corner of said 159.0 acre tract;

THENCE with the fence along the west line of said 159.0 acre tract the following twelve (12) courses;

- 1. N 01°12'W 71.2 feet;
- 2. N 37°07'W 383.7 feet;
- 3. N 15°10'W 92.6 feet;
- 4. N 53°25'E 44.2 feet;
- 5. N 18°26'W 157.4 feet;
- 6. N 01°23'W 32.74 feet;
- 7. N 12°00'W 230.6 feet;
- 8. N 02°15'W 263.5 feet;
- 9. N 10°36'E 131.8 feet;
- 10. N 01°54'E 406.5 feet;
- 11. N 02°44'W 214.3 feet;
- 12. N 00°11'W 1052.3 feet to the place of BEGINNING Containing 79.39 acres of land.

EXHIBIT B

A 4.25 acre tract of land out of and a part of Quarter Section, Numbers 14 and 17 of the B. F. Hanna League, situated in Hays County, Texas, being more particularly described as being part of those certain two tracts of land that were conveyed to Clayton S. Brown and wife, Henry Louise Brown, by deeds of record in Volume 166, Page 264-266 and Volume 268, Page 594-596 of the Hays County, Texas Deed Records, said 4.25 acre tract being more fully described by metes and bounds as follows:

BEGINNING at a steel pin set at a corner fence post at the southwest corner of the above said Quarter Section No. 17, it being also the southwest corner of that certain 160.0 acre tract conveyed to Clayton S. Brown by the above said deed of record in Volume 166, Pages 264-266 of the Hays County, Texas Deed Records;

THENCE with the fence along the west line of the Clayton S. Brown 160.0 acre tract, North 2993.2 feet to a corner fence post set in concrete in the south line of Highway No. 290 for the northwest corner of the 4.25 acre tract herein described;

THENCE with the south line of Highway No. 290, S 89°33'E, 60.0 feet to a steel pin set for the northeast corner of this 4.25 acre tract;

THENCE South 2990.0 feet to a steel pin set in the common line between said Quarter Sections 14 and 17, said steel pin being also in the north line of that certain 23.0 acre tract of land that was conveyed to Clayton S. Brown by the above said deed found of record in Volume 268, Pages 594-596 of the Hayes County, Texas Deed Records;

THENCE S 0°06'E, 100.00 feet to a steel pin set for the southeast corner of this 4.25 acre tract;

THENCE S 88°15'W, 56.0 feet to a steel pin in the fence on the east line of that certain 159.0 acre tract of land that was conveyed to Hardy E. Thompson and wife, Patty Thompson by deed of record in Volume 239, pages 521-524 of the Hays County, Texas Deed Records;

THENCE with the fence between the said Clayton S. Brown 23.0 acre tract and the said Hardy E. Thompson 159.0 acre tract, N 0°06'E, 100.0 feet to a steel pin found at a fence corner at the northeast corner of said Thompson 159.0 acre tract, said point being also the northwest corner of the above said Clayton S. Brown 23.0 acre tract;

THENCE S 88°15'W, 4.0 feet to the place of beginning; and containing 4.25 acres of land.

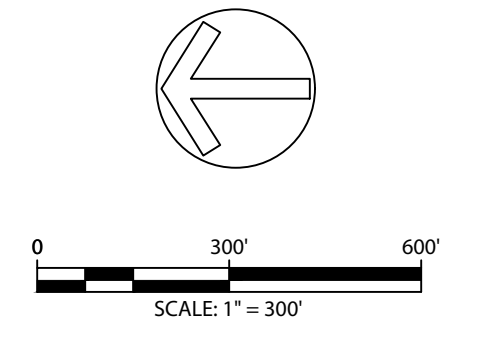
FILED AND RECORDED
OFFICIAL PUBLIC RECORDS
On: Oct 26, 2000 at 03:09P

Document Number: 00025538

Amount 21.00

By
Lynn Curry
Lee Carlisle, County Clerk
Hays County

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NO	DATE	DESCRIPTION



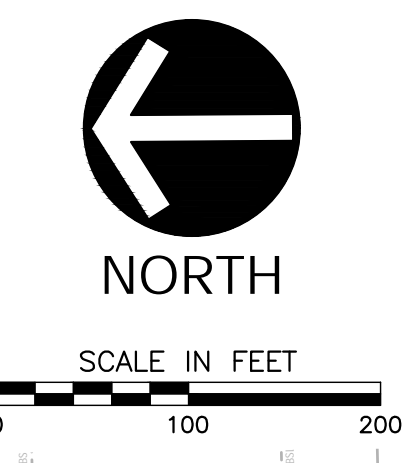
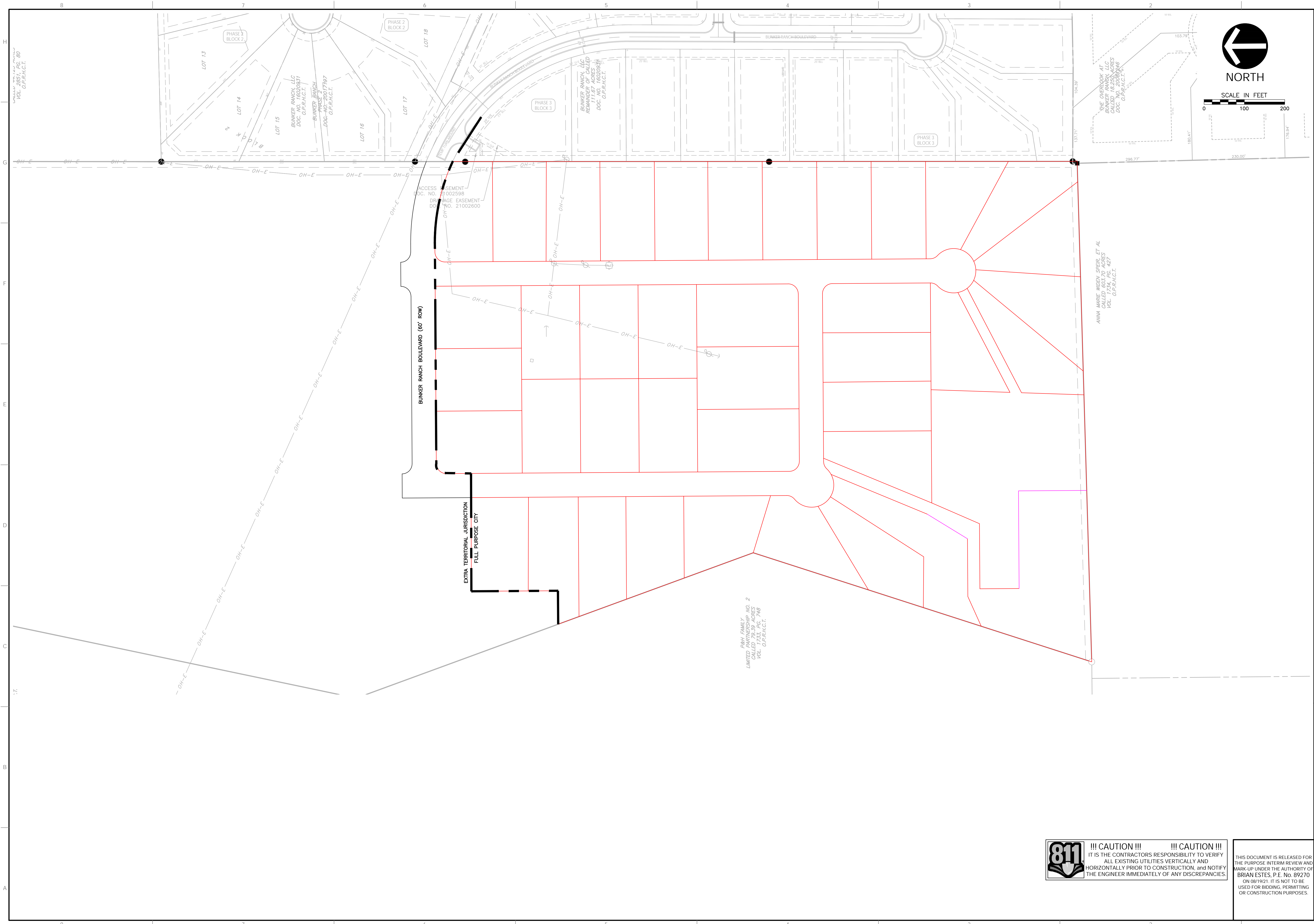
Civil & Environmental Consultants, Inc.
 Texas Registered Engineering Firm F-38
 3711 South MoPac Expressway - Building 1, Suite 550 - Austin, TX 78748
 Ph: 512.439.0400 - Fax: 512.329.0096
 www.cechinc.com

HARDY T LAND
DRIPPING SPRINGS
HAYS COUNTY, TEXAS

ZONING EXHIBIT
 DATE: JAN. 2021 | DRAWN BY: DRAFT
 DATE: JAN. 2021 | DRAWN BY: DRAFT
 DWG SCALE: 1"=300' | CHECKED BY: 304-065
 PROJECT NO.:
 APPROVED BY:

Item 7

A:\100-2001\100-001-000\100-001\Drawings\Hardy_Summary_Plan.dwg - 8/19/2021 11:07 AM




NO.	DATE	DESCRIPTION


 Texas Registered Engineering Firm F-38
Civil & Environmental Consultants, Inc.
 3711 South McFar Expressway - Building 1, Suite 550 - Austin, TX 78746
 Ph: 512.439.0400 - Fax: 512.329.0096
www.cecinc.com

HARDY T LAND LLC
HARDY T LAND
DRIPPING SPRINGS, HAYS COUNTY, TX

CONCEPT PLAN	
DATE:	MARCH, 2021
DRAWN BY:	1" = 100'
CHECKED BY:	304-065
PROJECT NO.:	
APPROVED BY:	


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EXHIBIT B

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THENCE continue with the fence along the south line of said 159.0 acre tract N 83°00'W 233.9 feet to a steel pin at a fence corner for the southwest corner of the tract herein described, same being the southwest corner of said 159.0 acre tract;

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EXHIBIT B



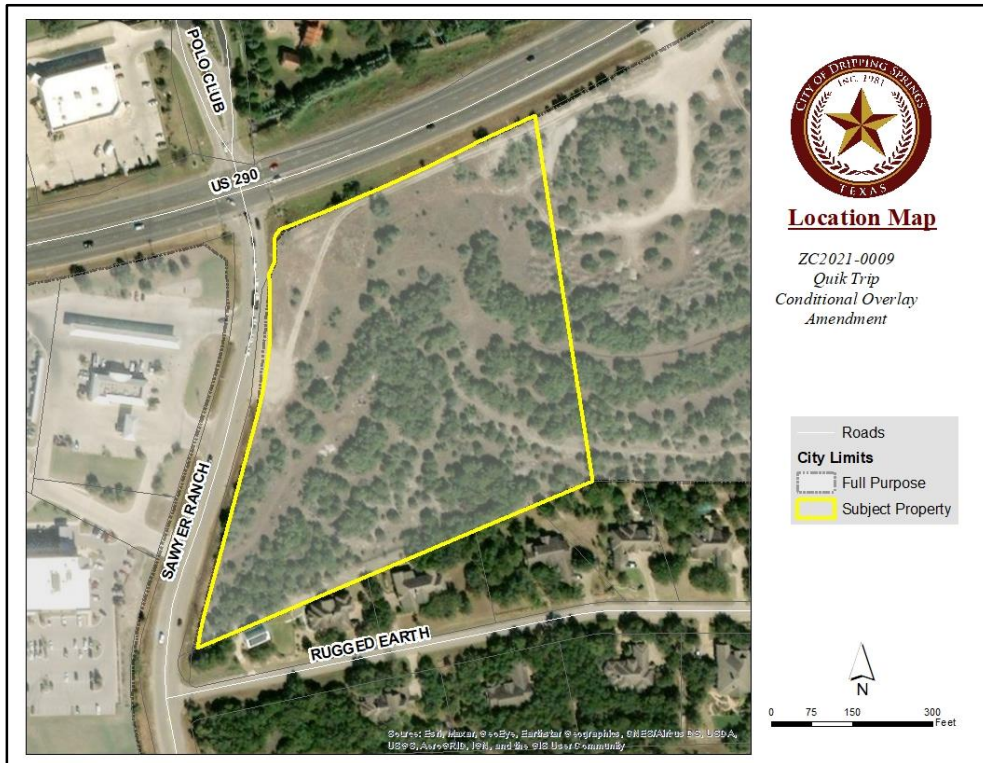
Planning & Zoning Commission Planning Department Staff Report

Item 8.

City Council: November 23, 2021
Project No: ZA2021-0009
Project Planner: Tory Carpenter, Senior Planner

Item Details

Project Name: Quik Trip Conditional Overlay Amendment
Property Location: Southwest Corner of US 290 & Sawyer Ranch Road
Legal Description: 10.0 acres of land out of tract A of the Sawyer Springs Subdivision
Applicant: JD Dudley; QuikTrip Corporation
Property Owner: QuikTrip Corporation
Request: An amendment to the existing Shops at Highpointe Conditional Overlay (Ordinance No. 1220.20)



Background

The property is currently zoned GR, General Retail.

Per Ch. 30 Exhibit A, §3.5-3.6

- **GR – General Retail:** *The GR, general retail district is established to provide areas for retail facilities that are larger than those generally located in the local retail district, such as large grocery stores, book stores, and the like. Areas zoned for general retail should have convenient regional access via major thoroughfares, such as U.S. Highway 290 or Ranch Road 12, and major collector streets are primary locational considerations. Hotel/motel uses, community scale retail, and bed-and-breakfasts are permitted within general retail districts. Office uses, commercial services, and industrial uses shall not be permitted.*

The original Shops at Highpointe Conditional Overlay (Ordinance No. 1220.20) was approved August 2007. Among other restrictions, this Conditional Overlay prohibits gas stations; a use which is allowed in General Retail Zoning districts. The property owner purchased the property in 2018 with the understanding that there were no further use restrictions beyond General Retail zoning district.

In 2019 the applicant applied for a similar amendment which was ultimately denied by the City Council on September 10, 2019.

After notifying all property owners within 1000 feet of the request of this most recent amendment, the applicant held a neighborhood meeting on November 12, 2021. This meeting was attended by three residents.

Analysis

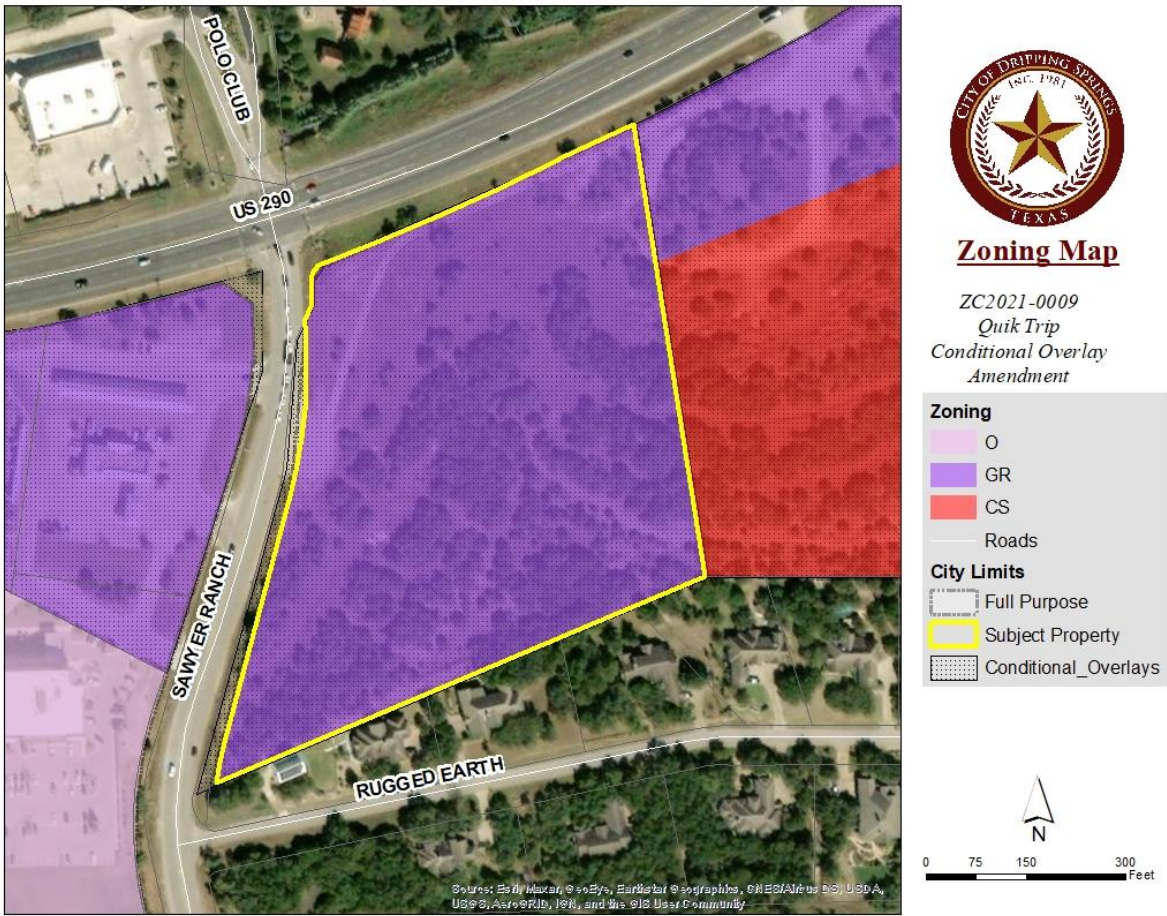
This amendment would allow the proposed land use and not remove any other restrictions or buffer requirements. Additionally, the proposed amendment would increase the rear setback from 70 feet to 140 feet.

Based on the zoning category and adjacent land uses, staff finds that the proposed use is compatible within the area and that there are no special circumstances on the property that would call for the prohibition of the proposed land use.

The following are the development regulations for the current and proposed Conditional Overlay.

	Existing Conditional Overlay	Proposed Conditional Overlay	Differences between SF-4 to SF-3
Rear Setback	70'	140'	70' increase
Building Height	One Story	One Story	No Change
Prohibited Uses	<ul style="list-style-type: none"> • Dry Cleaning Plant • Gas Station • Convenience Store w/ gas sales. 	<ul style="list-style-type: none"> • Dry Cleaning Plant 	Convenience Store w/ gas sales.

Surrounding Properties



The current zoning and existing uses of the adjacent properties to the north, south, east, and west are outlined in the table below:

Direction	Zoning District	Existing Use	Future Land Use
North	ETJ	US 290 / Polo Club Subdivision	Not Shown on the Future Land Use Map
East	General Retail / Commercial Services	Vacant	
South	ETJ	Blue Sky Ranch Subdivision	
West	General Retail	Gas Station	

Approval Criteria for Zoning Amendment (Chapter 30 Zoning, Exhibit A, Sec 2.28.1 and 2.28.2)

2.28.2 The Planning & Zoning Commission and the City Council shall consider the following factors:

Factors	Staff Comments
1. whether the proposed change will be appropriate in the immediate area concerned;	The proposed change appears to be appropriate in the immediate area of concern. It is adjacent to another gas station and the applicant is providing a significant buffer to adjacent single-family residences.
2. their relationship to the general area and the City as a whole;	This property has the majority of its frontage on US 290 and is zoned General Retail. This is consistent with the general area and City as a whole.
3. whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other utilities to the area;	The property is not within any existing or proposed City Plans.
4. the amount of undeveloped land currently classified for similar development in the vicinity and elsewhere in the City, and any special circumstances which may make a substantial part of such undeveloped land unavailable for development;	This request is for a conditional overlay and is specific to this project.
5. the recent rate at which land is being developed in the same zoning classification, particularly in the vicinity of the proposed change;	This request is for a conditional overlay and is specific to this project.
6. how other areas designated for similar development will be, or are unlikely to be, affected if the proposed amendment is approved;	No areas designated for similar development will be affected by this proposed amendment.
7. whether the proposed change treats the subject parcel of land in a manner which is significantly different from decisions made involving other, similarly situated parcels; and	By allowing a gas station, the requested change would make this parcel less different from similar parcels.
8. any other factors which will substantially affect the public health, safety, morals, or general welfare.	The rezoning does not affect the public health, safety, morals, or general welfare.

Staff Recommendation

Staff recommends **approval** of the amended Conditional Overlay as presented.

Planning and Zoning action:

2.34.1 *The P&Z shall hold a public hearing on a zoning an amendment to the Zoning*

Ordinance. After all public input has been received and the public hearing closed, the P&Z shall make its recommendations on the proposed zoning request and concept plan, if submitted, stating its findings, its overall evaluation of the request, and its assessment regarding how the request relates to the City's Comprehensive Plan. The P&Z may, on its own motion or at the applicant's request, defer its decision recommendations until it has had an opportunity to consider other information or proposed modifications to the request which may have a direct bearing thereon. If the P&Z elects to postpone or defer its hearing on the request, such action shall specifically state the time period of the postponement by citing the meeting date whereon the request will reappear on the P&Z's agenda.

2.34.2 When the P&Z is ready to act upon the zoning request, it may recommend:

- (a) approval of the request as it was submitted by the applicant;
- (b) approval of the request subject to certain conditions as in the case of a Planned Development District (PDD) or a Conditional Use Permit (CUP); or
- (c) disapproval of the request.

2.34.3 The P&Z's recommendation will be automatically forwarded to the City Council for a second public hearing thereon.

Public Notification

A legal notice advertising the public hearing was placed in the Dripping Springs Century-News, signs were posted on the-site, notice was placed on the City Website, and all property owners within a 300-foot radius of the site were notified of the zoning map amendment. To date, no letters for or against the request have been received.

Attachments

Exhibit 1 – Conditional Overlay Amendment Application

Exhibit 2 – Proposed Ordinance & Survey

Recommended Action:	Recommend approval of the requested Conditional Overlay Amendment
Alternatives/Options:	Recommend denial of the zoning map amendment.
Budget/Financial Impact:	All fees have been paid.
Public Comments:	None Received at this time.
Enforcement Issues:	N/A

CITY OF DRIPPING SPRINGS

ORDINANCE No. _____

AN ORDINANCE OF THE CITY OF DRIPPING SPRINGS, TEXAS (“CITY”), ADOPTING A CONDITIONAL USE OVERLAY; AND PROVIDING FOR THE FOLLOWING: FINDINGS OF FACT; ENACTMENT; REPEALER; SEVERABILITY; EFFECTIVE DATE; AUTHORIZING THE CITY ADMINISTRATOR TO NOTE THE CHANGE ON THE OFFICIAL ZONING MAP OF THE CITY; PROPER NOTICE & MEETING.

WHEREAS, the City Council of the City of Dripping Springs (“City Council”) seeks to promote orderly land use and development within the City; and

WHEREAS, the subject tract is currently zoned General Retail (GR).

WHEREAS, the City Council finds to be reasonable and necessary the adoption of an amended conditional use overlay to the tracts in addition to the rezoning, described more fully in *Attachment "B"* and totaling approximately 9.730 acres; and

WHEREAS, the City Council recognizes changed conditions and circumstances in the particular location; and

WHEREAS, the City Council finds that the zoning change is compatible with the surrounding area and with the City’s Zoning Ordinance and Comprehensive Plan; and

WHEREAS, after notice and hearing required by law, a public hearing was held before the Dripping Springs Planning and Zoning Commission on November 23, 2021 to consider the proposed amendment and the Planning and Zoning Commission recommended approval of the proposed change; and

WHEREAS, after public hearing held by the City Council on December 21, 2021, the City Council voted to approve the recommendation of the Planning and Zoning Commission; and

WHEREAS, pursuant to Texas Local Government Code Section 51.001, the City has general authority to adopt an ordinance or police regulation that is for the good government, peace or order of the City and is necessary or proper for carrying out a power granted by law to the City; and

WHEREAS, pursuant to Chapter 211 of the Texas Local Government Code, the City has the authority to zone and rezone property; and

WHEREAS, the City Council finds that it is necessary and proper for the good government, peace or order of the City of Dripping Springs to adopt this Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Dripping Springs:

1. FINDINGS OF FACT

The foregoing recitals are incorporated into this Ordinance by reference as findings of fact as expressly set forth herein.

2. ENACTMENT

A tract of land totaling approximately 9.730 acres and described more fully in *Attachment "A"*, will have a conditional use overlay that limits certain development standards on the property. The use overlay is described in *attachment "B"*.

3. REPEALER

All ordinances, resolutions, or parts thereof, that are in conflict or inconsistent with any provision of this Ordinance are hereby repealed to the extent of such conflict, and the provisions of this Ordinance shall be and remain controlling as to the matters regulated, herein. Ordinance No. 1220.20 Shops at HighPointe is repealed.

4. SEVERABILITY

Should any of the clauses, sentences, paragraphs, sections or parts of this Ordinance be deemed invalid, unconstitutional, or unenforceable by a court of law or administrative agency with jurisdiction over the matter, such action shall not be construed to affect any other valid portion of this Ordinance.

5. EFFECTIVE DATE

This Ordinance shall be effective immediately upon passage.

6. PROPER NOTICE & MEETING

It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, a public hearing was held, and that public notice of the time, place and Purpose of said hearing and meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551.

PASSED & APPROVED this, the ___ day of _____ 2021, by a vote of _____(ayes) to _____(nays) to _____(abstentions) of the City Council of Dripping

Springs, Texas.

CITY OF DRIPPING SPRINGS:

by: _____

Bill Foulds, Jr., Mayor

ATTEST:

Andrea Cunningham, City Secretary

DRAFT

Attachment "A" Survey and Metes and Bounds

PARCEL DESCRIPTION:

BEING A 9.730 ACRE TRACT OF LAND OUT OF TRACT A OF THE SAWYER SPRINGS SUBDIVISION (VOL. 12, PG. 239-240, PRHCT), AS SITUATED IN HAYS COUNTY, TEXAS, SAID 9.730 ACRES OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A FOUND IRON PIN ON THE MITER FORMING THE INTERSECTION OF THE EASTERLY MARGIN OF THE RIGHT-OF-WAY OF SAWYER RANCH ROAD (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY) AND THE SOUTHERLY MARGIN OF THE RIGHT-OF-WAY OF U.S. HIGHWAY 290 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY) HAVING TX SC GRID COORDINATES OF N 13,984,053.021, E 2,285,346.263; THENCE ALONG THE SOUTHERLY MARGIN OF THE RIGHT-OF-WAY OF U.S. HIGHWAY 290 (FOR THE FOLLOWING TWO CALLS) (1) ALONG A COUNTERCLOCKWISE CURVE FOR 391.86 FEET HAVING A RADIUS OF 3,889.72 FEET A CHORD BEARING OF N68°14'37"E AND A CHORD DISTANCE OF 391.69 FEET TO A FOUND IRON PIN, (2) THENCE ALONG A COUNTERCLOCKWISE CURVE FOR 122.04 FEET HAVING A RADIUS OF 3,889.16 FEET A CHORD BEARING OF N67°11'46"E AND A CHORD DISTANCE OF 122.04 FEET TO A FOUND IRON PIN, THENCE ALONG THE COMMON LINE OF KERNJOON, LLC S06°55'59"E A DISTANCE OF 687.42 FEET TO A FOUND IRON PIN, THENCE ALONG THE COMMON LINES OF SEAL, DARLING, MOYER, AND SIMMONS S69°11'40"W A DISTANCE OF 799.25 FEET TO A FOUND IRON PIN, THENCE ALONG THE EASTERLY MARGIN OF THE RIGHT-OF-WAY OF SAWYER RANCH ROAD (FOR THE FOLLOWING SIX CALLS) (1) ALONG A CLOCKWISE CURVE FOR 62.28 FEET HAVING A RADIUS OF 520.00 FEET A CHORD BEARING OF N13°36'03"E AND A CHORD DISTANCE OF 62.24 FEET TO A FOUND IRON PIN, (2) THENCE N16°55'41"E A DISTANCE OF 390.79 FEET TO A FOUND IRON PIN, (3) THENCE ALONG A COUNTERCLOCKWISE CURVE FOR 257.65 FEET HAVING A RADIUS OF 720.00 FEET A CHORD BEARING OF N06°36'55"E AND A CHORD DISTANCE OF 256.28 FEET TO A FOUND IRON PIN, (4) THENCE N24°54'53"E A DISTANCE OF 27.81 FEET TO A FOUND IRON PIN, (5) THENCE N01°50'42"E A DISTANCE OF 36.84 FEET TO A FOUND IRON PIN, (6) THENCE ALONG A CLOCKWISE CURVE FOR 30.30 FEET HAVING A RADIUS OF 25.00 FEET A CHORD BEARING OF N36°41'23"E AND A CHORD DISTANCE OF 28.48 FEET TO THE POINT OF BEGINNING AND CONTAINING 423,845 S.F. OR 9.730 ACRES MORE OR LESS.

DRAFT

City of Dripping Springs
CODE OF ORDINANCES

CHAPTER 30: ZONING
SECTION 4: OVERLAY DISTRICTS
Division 1. - Conditional Overlay District

EXHIBIT A

1.1. Applicability

This Ordinance shall apply solely to the following tracts, which shall herein be referred to as the subject property:

Tract 1:

Approximately 10.0 acres of land, Tract A, Sawyer Springs Subdivision, recorded in Volume 12, Page 240, Plat Records, Hays County, Texas, less 0.27 acres of land donated to Hays County as right of way for Sawyer Ranch Road (located on the southeast corner of the intersection of Sawyer Ranch Road and US Hwy 290).

1.2. Base Zoning District

Except as provided in section 1.3 (below), the subject property shall be governed by the rules applying in General Retail – (GR) zoning district.

1.3. Overlay

1.3.1. The Conditional Overlay is hereby amended and effectuated upon the subject property. The boundary of the Overlay District shall be coterminous with the perimeter of the subject property.

1.3.2. The Overlay prohibits the following uses: dry cleaning plant.

1.3.3. The overlay mandates that the structures be limited to a single story.

1.3.4 The overlay mandates that the rear setback along the southern boundary shall be one hundred forty feet (140').

DRAFT



City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

ZONING/PDD AMENDMENT APPLICATION

Case Number (staff use only): _____-_____

CONTACT INFORMATION

PROPERTY OWNER NAME QuikTrip Corporation

STREET ADDRESS 742 NW Loop 410 Suite 102

CITY San Antonio STATE TX ZIP CODE 78216

PHONE 830.500.9323 EMAIL jdudley@quiktrip.com

APPLICANT NAME JD Dudley

COMPANY QuikTrip Corporation

STREET ADDRESS 742 NW Loop 410 Suite 102

CITY San Antonio STATE TX ZIP CODE 78216

PHONE 830.500.9323 EMAIL jdudley@quiktrip.com

REASONS FOR AMENDMENT

TO CORRECT ANY ERROR IN THE REGULATION OR MAP

TO RECOGNIZE CHANGES IN TECHNOLOGY, STYLE OF LIVING, OR MANNER OF CONDUCTING BUSINESS

TO RECOGNIZE CHANGED CONDITIONS OR CIRCUMSTANCES IN A PARTICULAR LOCALITY

TO MAKE CHANGES IN ORDER TO IMPLEMENT POLICIES REFLECTED WITHIN THE COMPREHENSIVE PLAN

PROPERTY & ZONING INFORMATION	
PROPERTY OWNER NAME	QuikTrip Corporation
PROPERTY ADDRESS	SWC of Hwy 290 & Sawyer Ranch Rd.
CURRENT LEGAL DESCRIPTION	See attached.
TAX ID#	73-0675375
LOCATED IN	<input type="checkbox"/> CITY LIMITS <input checked="" type="checkbox"/> EXTRATERRITORIAL JURISDICTION
CURRENT ZONING	GB
REQUESTED ZONING/AMENDMENT TO PDD	Allow for a convenience store with fuel sales
REASON FOR REQUEST <i>(Attach extra sheet if necessary)</i>	See attached letter of intent
INFORMATION ABOUT PROPOSED USES <i>(Attach extra sheet if necessary)</i>	See attached letter of intent

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE? *

(See attached agreement).

YES (REQUIRED)* YES (VOLUNTARY)* NO*

* If proposed subdivision is in the City Limits, compliance with Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria (*see Outdoor Lighting tab on the CODS webpage and online Lighting Ordinance under Code of Ordinances tab for more information*).

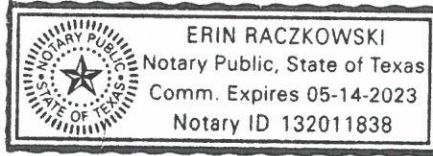
APPLICANT'S SIGNATURE

The undersigned, hereby confirms that he/she/it is the owner of the above described real property and further, that JD Dudley is authorized to act as my agent and representative with respect to this Application and the City's zoning amendment process. Instrument # 18208144
(As recorded in the Hays County Property Deed Records, Vol. _____, Pg. _____.)

JD Dudley
Name

Real Estate Project Manager
Title

STATE OF TEXAS §
COUNTY OF HAYS §



This instrument was acknowledged before me on the 18 day of September, 2021 by JD Dudley.

Erin Raczkowski
Notary Public, State of Texas

My Commission Expires: 5/14/2023

JD Dudley
Name of Applicant

ZONING AMENDMENT SUBMITTAL

All required items and information (including all applicable above listed exhibits and fees) must be received by the City for an application and request to be considered complete. **Incomplete submissions will not be accepted.** By signing below, I acknowledge that I have read through and met the above requirements for a complete submittal:

J. Mulvey
Applicant Signature

9-1-21
Date

CHECKLIST

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed Application Form - including all required signatures and notarized
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application Fee-Zoning Amendment or PDD Amendment (<i>refer to Fee Schedule</i>)
		PDF/Digital Copies of all submitted Documents
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	When submitting digital files, a cover sheet must be included outlining what digital contents are included.
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	GIS Data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement - signed with attached photos/drawings (<i>required if marked "Yes (Required)" on above Lighting Ordinance Section of application</i>)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Description
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Concept Plan
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Plans
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Maps
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Architectural Elevation
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Explanation for request (<i>attach extra sheets if necessary</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Information about proposed uses (<i>attach extra sheets if necessary</i>)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Public Notice Sign (<i>refer to Fee Schedule</i>)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Ownership-Tax Certificate or Deed
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Planned Development District (<i>if applicable</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copy of the Proposed Zoning or Planned Development District Amendment

Received on/by: _____

Project Number: _____ - _____
Only filled out by staff

DRIPPING SPRINGS
Texas

BILLING CONTACT FORM

Project Name: QT 4133Project Address: SWC of Hwy 290 & Sawyer Ranch Rd.Project Applicant Name: QuikTrip Corporation - JD Dudley

Billing Contact Information

Name: JD DudleyMailing Address: 742 NW Loop 410 Suite 102San Antonio, TX 78216Email: jdudley@quiktrip.com Phone Number: 830.500.9323

Type of Project/Application (check all that apply):

- | | |
|---|--|
| <input type="checkbox"/> Alternative Standard | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> Certificate of Appropriateness | <input type="checkbox"/> Street Closure Permit |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Development Agreement | <input type="checkbox"/> Waiver |
| <input type="checkbox"/> Exterior Design | <input type="checkbox"/> Wastewater Service |
| <input type="checkbox"/> Landscape Plan | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Lighting Plan | <input checked="" type="checkbox"/> Zoning |
| <input type="checkbox"/> Site Development Permit | <input type="checkbox"/> Other _____ |

*Applicants are required to pay all associated costs associated with a project's application for a permit, plan, certificate, special exception, waiver, variance, alternative standard, or agreement, regardless of City approval. Associated costs may include, but are not limited to, public notices and outside professional services provided to the City by engineers, attorneys, surveyors, inspectors, landscape consultants, lighting consultants, architects, historic preservation consultants, and others, as required. Associated costs will be billed at cost plus 20% to cover the City's additional administrative costs. **Please see the online Master Fee Schedule for more details.** By signing below, I am acknowledging that the above listed party is financially accountable for the payment and responsibility of these fees.*


Signature of Applicant

9/1/21
Date



QT 4133 Zoning Amendment

Letter of Intent

Purpose: The purpose of this submittal is to allow for the development of an 9.730-acre tract of land for the purpose of constructing a 4,993 SF convenience store with retail motor fuel sales and for multiple retail pad sites. The provisions of the GB Zoning District and all other applicable regulations as stated in the City of Dripping Springs' Zoning Ordinance shall govern this tract of land.

Proposed Use: The property is currently zoned GB. QuikTrip is proposing to construct and operate a 4,993 SF 24-hour Convenience Store with Beer and Wine Sales for off-premises consumption only and retail motor fuel sales. The proposed project is consistent with the City's Master Plan and our use is will also promote future development to currently vacant land.

Request: QuikTrip is respectfully requesting that the city amend the overlay to remove the deed restrictions on the property that prohibit convenience stores and convenience stores with gasoline sales. We are also proposing to increase the rear setback from 70' to 140'.

Our development will provide a family oriented, clean and modern facility for the citizens of Schertz. We provide many of the items you will find in your larger grocery stores, with very similar pricing. We are also making great strides in the food industry with our addition of QuikTrip Kitchens. QuikTrip takes great pride in our employees and our stores. We build our

facilities to last fifty years and we put in the time and care to ensure that they do. We have an in-house Facility Support team that maintains our stores daily. They are called on to maintain everything from landscaping, coffee/cappuccino machines, paving, and all other aesthetic and mechanical features of the store.

As previously stated, we are a family-oriented business. QuikTrip does not sell any drug paraphernalia or inappropriate magazines. QuikTrip is a place where you can bring the entire family and you will always receive fast and friendly customer service.

We believe that our application meets all City requirements and that the project achieves very high level of site quality, exceptional architectural building design, and quality landscaping. The building represents the latest architectural design in convenience store facilities including innovative marketing components, such as a personal "barista" to prepare custom coffee beverages typically only found at "specialty coffee outlets". A complete palate of building materials is available if needed.

I will be pleased to meet with you or your staff to discuss this matter as requested. Your consideration and support in these matters will be greatly appreciated. We stand ready to assist in your review.

Best regards,



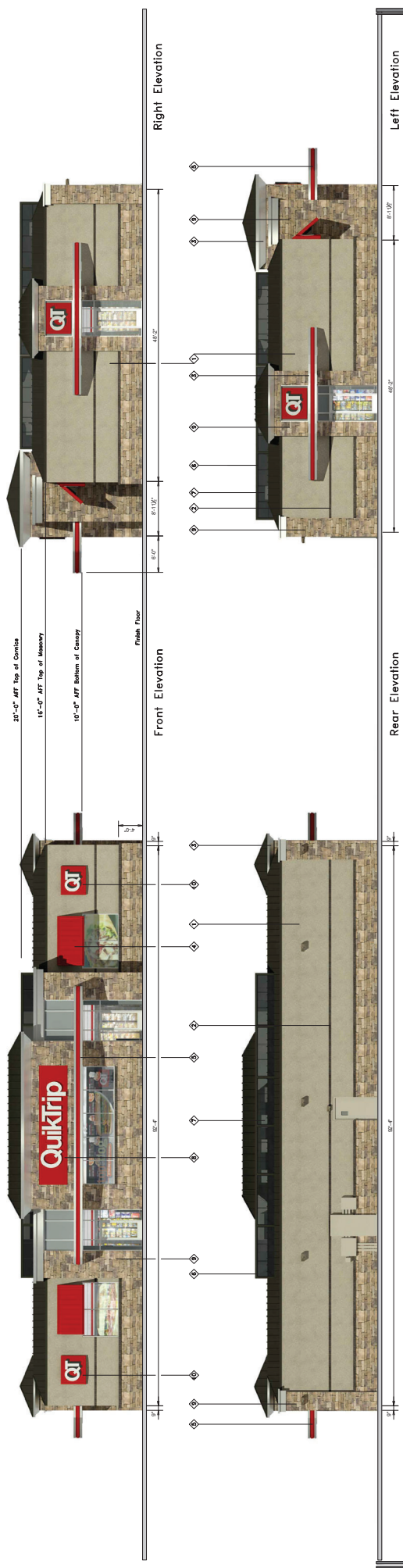
JD Dudley | QuikTrip Corporation | Real Estate Project Manager II
742 NW Loop 410 Suite 102 | San Antonio, TX 78216
O: 210.332.4036 | C: 469.766.8331






Stone Percentage Table

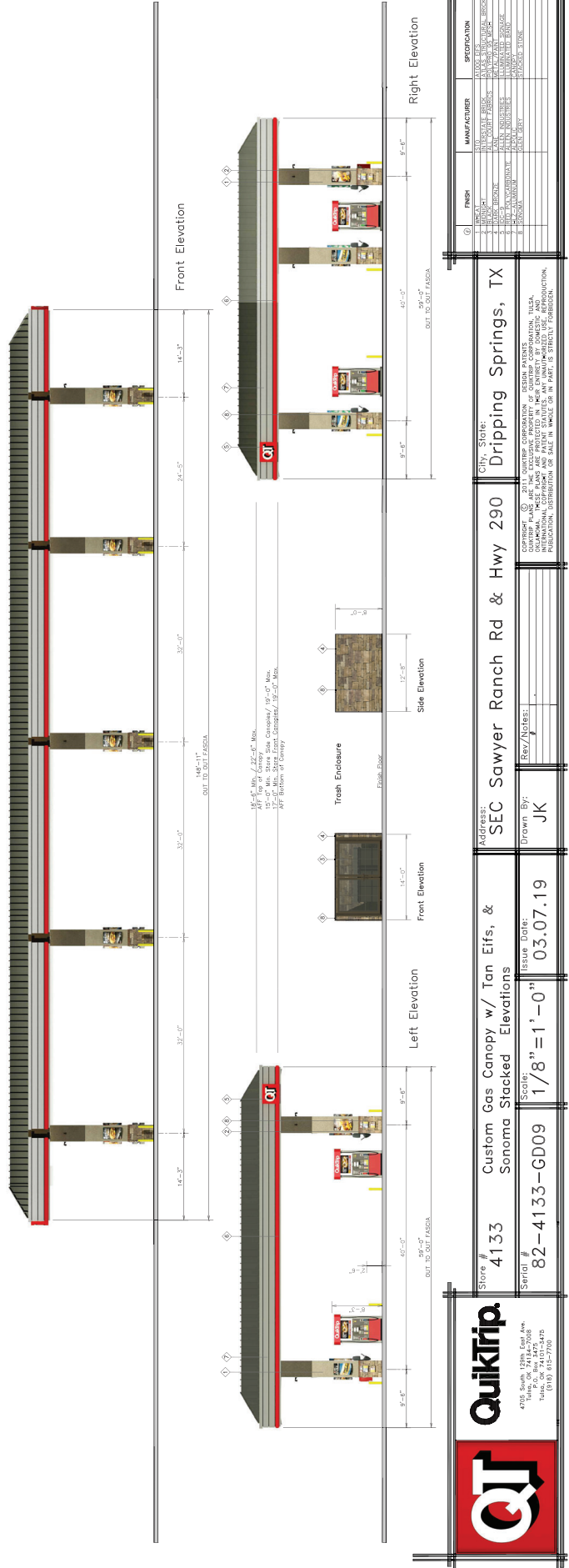
PERCENTAGE	FRONT FACADE:	TOTAL	MASONRY
75%	888 SF	639 SF	



 <p>QuikTrip 4705 South 125th East Ave. Tulsa, OK 74133 Phone: 800.247.7775 Fax: 918.413.2700</p>	<p>Store # 4133</p> <p>Serial # 82-4133-G3S2</p>	<p>G3S Custom w/ Tan Eifs, Hip Roofs, Additional front glazing, & Stacked Stone</p> <p>Scale: 1/16" = 1' - 0"</p>	<p>Issue Date: 12.18.17</p>	<p>Drawn By: JK</p>	<p>Address: SEC Sawyer Ranch Rd & Hwy 290</p>	<p>City, State: Dripping Springs, TX</p>	<p>Comments: © 2011 QuikTrip Corporation. DESIGN PATENTS. QUIKTRIP AND THE QUIKTRIP LOGO ARE THE EXCLUSIVE PROPERTY OF QUIKTRIP CORPORATION, U.S.A. ALL RIGHTS RESERVED. ANY UNAUTHORIZED USE, REPRODUCTION, DISTRIBUTION, TRANSMISSION OR SALE IN WHOLE OR IN PART, IS STRICTLY FORBIDDEN.</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ISSUE</td> <td>12/18/17</td> <td>JK</td> <td>FOR PERMITTING</td> </tr> <tr> <td>2</td> <td>REVISED</td> <td>12/18/17</td> <td>JK</td> <td>REVISED PER COMMENTS</td> </tr> <tr> <td>3</td> <td>REVISED</td> <td>12/18/17</td> <td>JK</td> <td>REVISED PER COMMENTS</td> </tr> <tr> <td>4</td> <td>REVISED</td> <td>12/18/17</td> <td>JK</td> <td>REVISED PER COMMENTS</td> </tr> <tr> <td>5</td> <td>REVISED</td> <td>12/18/17</td> <td>JK</td> <td>REVISED PER COMMENTS</td> </tr> <tr> <td>6</td> <td>REVISED</td> <td>12/18/17</td> <td>JK</td> <td>REVISED PER COMMENTS</td> </tr> <tr> <td>7</td> <td>REVISED</td> <td>12/18/17</td> <td>JK</td> <td>REVISED PER COMMENTS</td> </tr> <tr> <td>8</td> <td>REVISED</td> <td>12/18/17</td> <td>JK</td> <td>REVISED PER COMMENTS</td> </tr> <tr> <td>9</td> <td>REVISED</td> <td>12/18/17</td> <td>JK</td> <td>REVISED PER COMMENTS</td> </tr> <tr> <td>10</td> <td>REVISED</td> <td>12/18/17</td> <td>JK</td> <td>REVISED PER COMMENTS</td> </tr> </tbody> </table>	NO.	REVISION	DATE	BY	DESCRIPTION	1	ISSUE	12/18/17	JK	FOR PERMITTING	2	REVISED	12/18/17	JK	REVISED PER COMMENTS	3	REVISED	12/18/17	JK	REVISED PER COMMENTS	4	REVISED	12/18/17	JK	REVISED PER COMMENTS	5	REVISED	12/18/17	JK	REVISED PER COMMENTS	6	REVISED	12/18/17	JK	REVISED PER COMMENTS	7	REVISED	12/18/17	JK	REVISED PER COMMENTS	8	REVISED	12/18/17	JK	REVISED PER COMMENTS	9	REVISED	12/18/17	JK	REVISED PER COMMENTS	10	REVISED	12/18/17	JK	REVISED PER COMMENTS
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APPROVED

03/07/2019

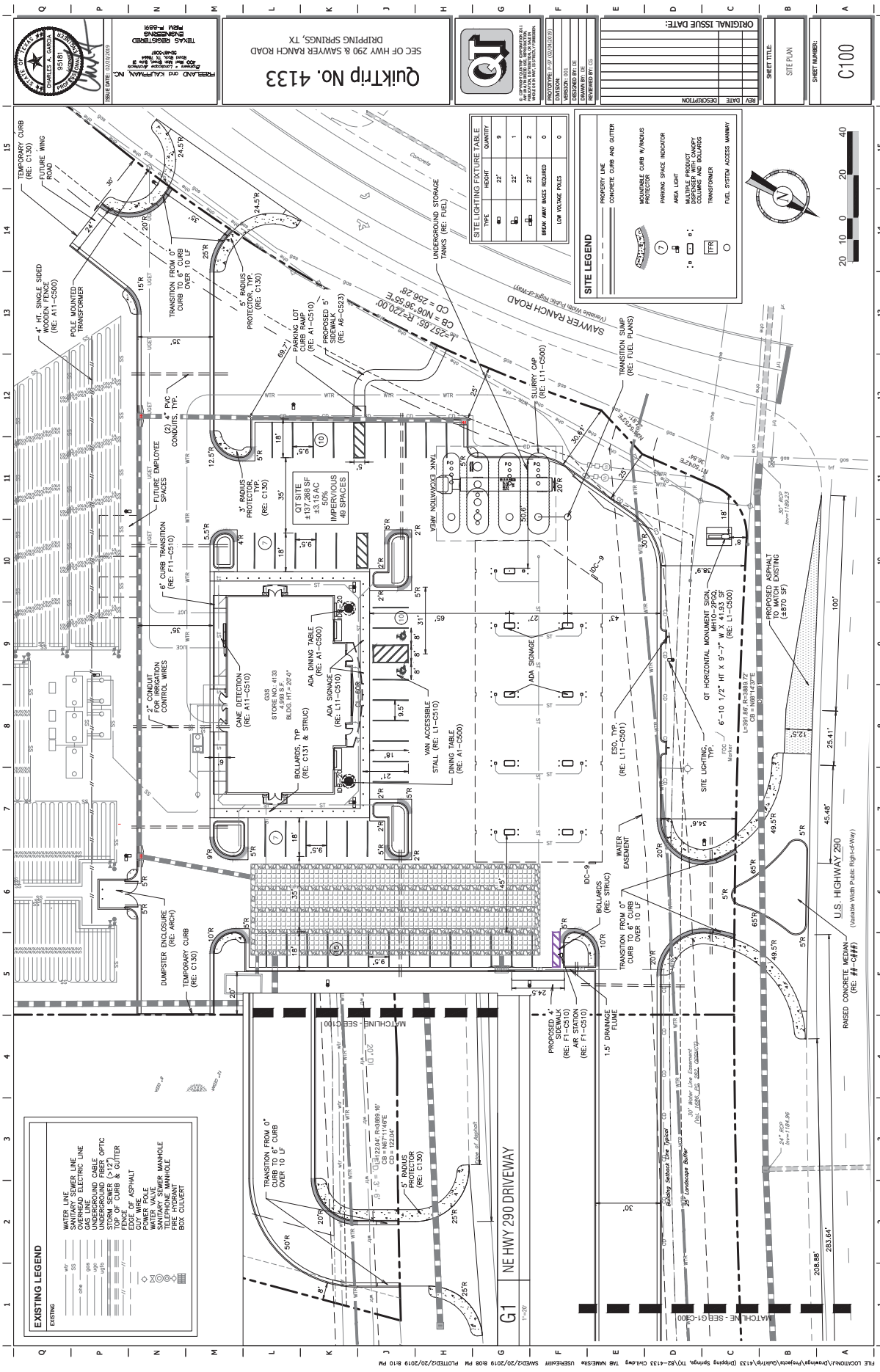


Item 8.

QuikTrip
 4705 South 19th East Ave.
 Tempe, AZ 85284
 Phone: 480.941.4725
 Fax: 480.941.4725
 P.O. Box 141720
 Phoenix, AZ 85061-0720

Store # 4133 Custom Gas Canopy w/ Tan Efts, & Sonoma Stacked Elevations
 Address: SEC Sawyer Ranch Rd & Hwy 290
 City, State: Dripping Springs, TX
 Scale: 1/8" = 1' - 0"
 Date: 03.07.19
 Drawn By: JK

148



EXISTING LEGEND

EXISTING	DESCRIPTION
	WATER LINE
	SANITARY SEWER LINE
	ELECTRIC LINE
	GAS LINE
	STORM SEWER
	EDGE OF ASPHALT
	WATER VALVE
	TELEPHONE MANHOLE
	BOX CULVERT

SITE LIGHTING FIXTURE TABLE

TYPE	HEIGHT	QUANTITY
	22'	9
	22'	1
	22'	2
		0

SITE LEGEND

	PROPERTY LINE
	CONCRETE CURB AND GUTTER
	MOVABLE CURB WITH WARNINGS
	PARKING SPACE INDICATOR
	AREA LIGHT
	MULTIPLE PRODUCT COLUMNS AND BASES
	TRANSFORMER
	FUEL SYSTEM ACCESS MANWAY



QuikTrip No. 4133
SEC OF HWY 290 & SAWYER RANCH ROAD
DRIPPING SPRINGS, TX

QTI

DATE: 02/20/2019
DRAWN BY: JTC
CHECKED BY: JTC
REVIEWED BY: JTC

REV	DATE	DESCRIPTION

SHEET TITLE: SITE PLAN
SHEET NUMBER: C100

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM THIS INSTRUMENT BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OF YOUR DRIVERS LICENSE NUMBER.

GENERAL WARRANTY DEED

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS THAT:
COUNTY OF HAYS §

Effective Date: March 8, 2018

That SHOP’S AT HIGHPOINTE LENDER, LLC, a Texas limited liability company (“Grantor”), for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), and other good and valuable consideration paid by QUIKTRIP CORPORATION, an Oklahoma corporation (“Grantee”), the receipt and sufficiency of which are hereby acknowledged and confessed, and subject to the Permitted Exceptions (as hereinafter defined), has GRANTED, BARGAINED, SOLD and CONVEYED, and by these presents does hereby GRANT, BARGAIN, SELL and CONVEY, unto Grantee all of the real property situated in Hays County, Texas, described in Exhibit A, attached hereto, together with all and singular the rights, benefits, privileges, easements, tenements, hereditaments and appurtenances thereon or in any wise appertaining thereto (the “Property”);

In addition, Grantor hereby grants, sells and conveys to Grantee, without warranty, all of Grantor’s right, title and interest, if any, in and to (i) all strips and gores of land lying adjacent to the Property, except for strips and gores adjacent to other property still owned by Grantor, (ii) all rights, easements and appurtenances belonging and appertaining thereto that Grantor owns, and (iii) all right, title and interest of Grantor in and to any and all (a) roads, streets, alleys or public and private rights of way, bounding the Property (but only to the centerline of such roads, streets, alleys or public and private rights of way) and (b) any improvements thereon, if any, in their present condition.

GRANTEE ACKNOWLEDGES THAT GRANTEE HAS INDEPENDENTLY AND PERSONALLY INSPECTED THE PROPERTY AND THAT GRANTEE IS ACQUIRING THE PROPERTY BASED UPON ITS ABILITY TO MAKE SUCH EXAMINATION AND INSPECTION. EXCEPT AS TO WARRANTIES OF TITLE, THE PROPERTY IS BEING SOLD AND ACCEPTED AS IS, WHERE-IS, AND GRANTOR MAKES NO REPRESENTATIONS OR WARRANTIES WITH RESPECT TO THE PHYSICAL CONDITION OR ANY OTHER ASPECT OF THE PROPERTY, INCLUDING, WITHOUT LIMITATION, (I) THE STRUCTURAL INTEGRITY OF ANY IMPROVEMENTS ON THE PROPERTY, (II) THE MANNER, CONSTRUCTION, CONDITION, AND STATE OF REPAIR OR LACK OF REPAIR OF ANY OF SUCH IMPROVEMENTS, (III) THE CONFORMITY OF THE IMPROVEMENTS TO PAST, CURRENT OR FUTURE APPLICABLE ZONING OR BUILDING CODE REQUIREMENTS OR THE COMPLIANCE WITH ANY OTHER LAWS, RULES, ORDINANCES, OR REGULATIONS OF ANY GOVERNMENT OR OTHER BODY, (IV) THE FINANCIAL EARNING CAPACITY OR HISTORY OR EXPENSE HISTORY OF THE OPERATION OF THE PROPERTY, (V) THE NATURE AND EXTENT OF ANY RIGHT OF WAY, LEASE, POSSESSION, LIEN, ENCUMBRANCE, LICENSE, RESERVATION, CONDITION, OR OTHERWISE, (VI) THE EXISTENCE OF SOIL INSTABILITY, PAST SOIL REPAIRS, SOIL ADDITIONS OR CONDITIONS OF SOIL FILL, SUSCEPTIBILITY TO LANDSLIDES, SUFFICIENCY OF UNDERSHORING, SUFFICIENCY OF DRAINAGE, (VII) WHETHER THE PROPERTY IS LOCATED WHOLLY OR PARTIALLY IN A FLOOD PLAIN OR A FLOOD

HAZARD BOUNDARY OR SIMILAR AREA, (VIII) THE EXISTENCE OR NON EXISTENCE OF ASBESTOS, LEAD BASE PAINTS, UNDERGROUND OR ABOVE GROUND STORAGE TANKS, HAZARDOUS WASTE OR OTHER TOXIC OR HAZARDOUS MATERIALS OF ANY KIND OR ANY OTHER ENVIRONMENTAL CONDITION OR WHETHER THE PROPERTY IS IN COMPLIANCE WITH APPLICABLE LAWS, RULES AND REGULATIONS, (XI) THE PROPERTY'S INVESTMENT POTENTIAL OR RESALE AT ANY FUTURE DATE, AT A PROFIT OR OTHERWISE, (X) ANY TAX CONSEQUENCES OF OWNERSHIP OF THE PROPERTY OR (XI) ANY OTHER MATTER WHATSOEVER AFFECTING THE STABILITY, INTEGRITY, OTHER CONDITION OR STATUS OF THE LAND OR ANY BUILDINGS OR IMPROVEMENTS SITUATED ON ALL OR PART OF THE PROPERTY.

This conveyance is made and accepted subject to those matters (the "Permitted Exceptions") set forth on Exhibit B, attached hereto, but only to the extent that they affect or relate to the Property, and without limitation or expansion of the scope of the warranty herein contained.

TO HAVE AND TO HOLD the Property, subject to the Permitted Exceptions and the reservation set forth above, unto Grantee and Grantee's successors and assigns, forever; and Grantor does hereby bind Grantor and Grantor's successors and assigns to WARRANT and FOREVER DEFEND, all and singular, the Property, subject to the Permitted Exceptions and the reservation set forth above, unto Grantee and Grantee's successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

***REMAINDER OF PAGE INTENTIONALLY BLANK.
SIGNATURE PAGE FOLLOWS.***

THIS GENERAL WARRANTY DEED IS EXECUTED on the date set forth in the acknowledgment below, to be effective as of the Effective Date.

GRANTOR:

SHOP'S AT HIGHPOINTE LENDER, LLC
a Texas limited liability company

By: Lee Financial Company, LLC
Its Manager

By: [Signature]
Name: Richard R. Lee, Jr.
Title: Chief Executive Officer and Founder

STATE OF TEXAS §
 §
COUNTY OF Dallas §

This instrument was acknowledged before me on this 17th day of March, 2018, by Richard R. Lee, Jr., Chief Executive Officer and Founder of Lee Financial Company, LLC, the Manager of Shop's at Highpointe Lender, LLC, a Texas limited liability company, on behalf of said limited liability company.

My Commission Expires: 4-22-2019



[Signature]
Notary Public in and for the State of Texas

SARAH M BEATTIE
Printed Name of Notary Public

GRANTEE'S ADDRESS FOR TAX NOTICES:

QuikTrip Corporation
4705 South 129th East Avenue
Tulsa, Oklahoma 74134
Attn: Real Estate Department

AFTER RECORDING RETURN TO:

QuikTrip Corporation
1 Chisolm Trail Road, Suite 450
Round Rock, Texas 78681
Attention: Director of Real Estate

RETURN TO: 02
AUSTIN TITLE COMPANY
THE SUMMIT AT LA FRONTERA
810 HESTERS CROSSING, #155
ROUND ROCK, TX 78681-7841
GF: AUT 17007956-124

List of Exhibits:

- A - Property Description
- B - Permitted Exceptions

EXHIBIT A

PROPERTY DESCRIPTION

Being a 9.730 acre tract of land out of tract a of the Sawyer Springs Subdivision, Volume 12, Pages 239-240, Plat Records of Hays County, Texas (PRHCT), as situated in Hays County, Texas, said 9.730 acres of land being more particularly described by metes and bounds as follows:

Beginning at a found iron pin on the Miter Forming the intersection of the Easterly Margin of the right-of-way of Sawyer Ranch Road (variable width Public right-of-way) and the Southerly Margin of the right-of-way of U.S. Highway 290 (variable width Public right-of-way) having TX SC Grid Coordinates of North 13,984,053.021, East 2,285,346.263

THENCE along the Southerly Margin of the right-of-way of U.S. Highway 290 (for the following Two calls)

(1) along a counterclockwise curve for 391.86 feet having a radius of 3,889.72 feet a chord bearing of North 68 degrees 14 minutes 37 seconds East and a chord distance of 391.69 feet to a found iron pin,

(2) THENCE along a counterclockwise curve for 122.04 feet having a radius of 3,889.16 feet a chord bearing of North 67 degrees 11 minutes 46 seconds and a chord distance of 122.04 feet to a found iron pin,

THENCE along the common line of Kernjoon, LLC South 06 degrees 55 minutes 59 seconds a distance of 687.42 feet to a found iron pin,

THENCE along the common lines of Seal, Darling, Moyer, and Simmons South 69 degrees 11 minutes 40 seconds West a distance of 799.25 feet to a found iron pin,

THENCE along the Easterly margin of the right-of-way of Sawyer Ranch Road (for the following Six calls)

(1) along a clockwise curve for 62.28 feet having a radius of 520.00 feet a chord bearing of North 13 degrees 36 minutes 03 seconds and a chord distance of 62.24 feet to a found iron pin,

(2) THENCE North 16 degrees 55 minutes 41 seconds East a distance of 390.79 feet to a found iron pin,

(3) THENCE along a counterclockwise curve for 257.65 feet having a radius of 720.00 feet a chord bearing of North 06 degrees 36 minutes 35 seconds and a chord distance of 256.28 feet to a found iron pin,

(4) THENCE North 24 degrees 54 minutes 53 seconds a distance of 27.81 feet to a found iron pin,

(5) THENCE North 1 degrees 50 minutes 42 seconds a distance of 36.84 feet to a found iron pin,

(6) THENCE along a clockwise curve for 30.30 feet having a radius of 25.00 feet a chord bearing of North 36 degrees 41 minutes 23 seconds East and a chord distance of 28.48 feet to the point of beginning and containing 423,845 S.F. or 9.730 acres more or less.

GENERAL WARRANTY DEED

EXHIBIT B

PERMITTED EXCEPTIONS

1. The following restrictive covenants of record itemized below:

Those recorded in Volume 12, Page 239, Plat Records of Hays County, Texas; and Document No. 9907847, Official Public Records of Hays County, Texas.

Omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.

2. Shortages in area.

3. Standby fees, taxes and assessments by any taxing authority for the year 2018, and subsequent years; and subsequent taxes and assessments by any taxing authority for prior years due to change in land usage or ownership, but not those taxes or assessments for prior years because of an exemption granted to a previous owner of the property under Section 11.13, Texas Tax Code, or because of improvements not assessed for a previous tax year.

4. The following matters and all terms of the documents creating or offering evidence of the matters:

- a. Building setback lines as set out on the plat recorded in Volume 12, Page 239, Plat Records of Hays County, Texas; and in the restrictions recorded in Document No. 9907847, Official Public Records of Hays County, Texas.
- b. Easement(s) for the purpose(s) shown below and rights incidental thereto as delineated or as offered for dedication, on the map of said tract/plat:

Purpose: drainage and utility

Affects: 30' along all roadway property line(s) and 10' along all other property line(s)

Recording No: Volume 12, Page 239, Plat Records of Hays County, Texas

- c. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Southwestern Bell Telephone Company

Purpose: As provided in said instrument

Recording Date: January 15, 1964

Recording No: Volume 199, Page 2, Deed Records of Hays County, Texas

- d. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Pedernales Electric Cooperative, Inc.

Purpose: As provided in said instrument

Recording Date: July 7, 1997

GENERAL WARRANTY DEED

Recording No: Volume 1326, Page 526, Official Public Records of Hays County, Texas

- e. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Granted to: Lower Colorado River Authority

Purpose: As provided in said instrument

Recording Date: June 27, 2000

Recording No: Volume 1686, Page 282, Official Public Records of Hays County, Texas

- f. Interest in and to oil, gas and other minerals and/or royalties, bonuses, rentals and all other rights relating thereto as set forth in the document:

Recording No.: Volume 1999, Page 518, Official Public Records of Hays County, Texas

- g. Matters contained in that certain document:

Entitled: Wastewater Service Agreement

Recording Date: June 15, 2007

Recording No: Volume 3187, Page 401, Official Public Records of Hays County, Texas

- h. The Land has frontage or abuts U.S. Hwy 290, which is a controlled access highway.
- i. Location of gas riser and shops at highpointe sign, located within the boundary lines of subject property and being situated outside any designated easements, together with all easement rights appurtenant thereto, as shown on survey dated September 21, 2017, prepared by William C. Stampados, R.P.L.S. No. 5393.
- j. Encroachment or protrusion of fences into or outside of the boundary lines of subject property, as shown on survey dated September 21, 2017, prepared by William C. Stampados, R.P.L.S. No. 5393.

GENERAL WARRANTY DEED

CITY OF DRIPPING SPRINGS
CONDITIONAL OVERLAY

Shops at HighPointe

ORDINANCE NO. 1220.20

AN ORDINANCE OF THE CITY OF DRIPPING SPRINGS, AMENDING THE ZONING ORDINANCE VOLUME 2, ARTICLE 15, CHAPTER 23, SUBCHAPTER A, PART 7, ALTERING THE ZONING CLASSIFICATIONS OF CERTAIN REAL PROPERTY IN THE CITY LIMITS BY CREATING AND APPLYING A CONDITIONAL OVERLAY UPON THE DEVELOPMENT TO BE KNOWN AS THE SHOPS AT HIGHPOINTE, PARTICULARLY THE APPROXIMATELY 10.0 ACRES OF TRACT A, SAWYER SPRINGS SUBDIVISION, RECORDED IN VOLUME 12, PAGE 240, PLAT RECORDS, HAYS COUNTY, TEXAS, LESS 0.27 ACRES OF LAND DONATED TO HAYS COUNTY AS RIGHT OF WAY FOR SAWYER RANCH ROAD (LOCATED ON THE SOUTHEAST CORNER OF THE INTERSECTION OF SAWYER RANCH ROAD AND US HWY 290) UPON REQUEST OF THE PROPERTY OWNERS; CHANGING THE ZONING DISTRICT FROM AGRICULTURAL TO GENERAL RETAIL (GR); CREATING A CONDITIONAL OVERLAY TO EXPRESSLY INCORPORATE BY REFERENCE THE TERMS AND CONDITIONS OF A CERTAIN DEVELOPMENT AGREEMENT; AMENDING THE OFFICIAL ZONING MAP TO REFLECT CHANGES OF THE ZONING CLASSIFICATION OF CERTAIN PROPERTIES, PROVIDING FOR SEVERABILITY, AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the subject tract is currently zoned Agricultural (Ag), and the owners have requested to change the zoning district to General Retail (GR); and

WHEREAS, pursuant to Section 4 of the City’s Zoning Ordinance, the City Council may approve an overlay on a property being zoned; and

WHEREAS, the Conditional Overlay enacted by this Ordinance provides additional restrictions zoning regarding buffer zones, impervious cover, and open space; and

WHEREAS, the proposed changes were reviewed by City staff, including the City’s Land Planner, with the consensus being that the proposed changes are reasonable under the circumstances and consistent with the Interim Comprehensive Plan; and

WHEREAS, after notice and hearing required by law, a public hearing was held before the Dripping Springs Planning & Zoning Commission on the 28th day of August 2007, at which public testimony was received and information was considered for and against proposed changes in certain zoning classifications of certain property located in the City of Dripping Springs; and

WHEREAS, the Planning & Zoning Commission recommended approval of the proposed changes; and

WHEREAS, after public hearing held by the City Council on the 11th day of September 2007, the City Council voted to accept the recommendation of the Planning and Zoning Commission; and

WHEREAS, pursuant to Chapter 211 of the Texas Local Government Code, the City has the authority to zone and rezone property.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DRIPPING SPRINGS, TEXAS, THAT:

1. FINDINGS OF FACT

The foregoing recitals are incorporated into this Ordinance by reference as findings of fact as if expressly set forth herein.

2. ENACTMENT

Volume 2, Article 15, Chapter 23, Subchapter A, Part 7 of the City of Dripping Springs Code of Ordinances is hereby created, and after such enactment shall read in accordance with *Attachment A*, which is attached hereto and incorporated into this Ordinance for all intents and purposes.

3. CODIFICATION

The City Secretary is hereby directed to record and publish the attached rules, regulations and policies in the City's Code of Ordinances as authorized by Section 52.001 of the Texas Local Government Code.

4. REPEALER

All ordinances, or parts thereof, that are in conflict or inconsistent with any provision of this Ordinance are hereby repealed to the extent of such conflict, and the provisions of this Ordinance shall be and remain controlling as to the matters regulated, herein.

5. SEVERABILITY

Should any of the clauses, sentences, paragraphs, sections or parts of this Ordinance be deemed invalid, unconstitutional, or unenforceable by a court of law or administrative agency with jurisdiction over the matter, such action shall not be construed to affect any other valid portion of this Ordinance.

6. EFFECTIVE DATE


This Ordinance shall be effective immediately upon passage and publication.

7. PROPER NOTICE & MEETING

It is hereby officially found and determined that the meeting at which this Ordinance was passed was open to the public, and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Texas Government Code, Chapter 551. Notice was also provided as required by Chapters 52 and 211 of the Texas Local Government Code.

PASSED & APPROVED this, the 11th day of August 2007, by a vote of 5 (ayes) to 0 (nays) to 0 (abstentions) of the City Council of Dripping Springs, Texas.

CITY OF DRIPPING SPRINGS:

by: 

Mayor Todd Purcell

ATTEST:



Jo Ann Touchstone, Assistant City Secretary

APPROVED AS TO FORM:
Alan J. Bojorquez, City Attorney

Attachment "A"

City of Dripping Springs

CODE OF ORDINANCES**VOLUME: 2****ARTICLE 15: DEVELOPMENT****CHAPTER 23: ZONING****SUBCHAPTER A: ZONING CLASSIFICATIONS****PART 7****1.1. Applicability**

This Ordinance shall apply solely to the following tract, which shall herein be referred to as the subject property:

Approximately 10.0 acres of land, Tract A, Sawyer Springs Subdivision, recorded in Volume 12, Page 240, Plat Records, Hays County, Texas, less 0.27 acres of land donated to Hays County as right of way for Sawyer Ranch Road (located on the southeast corner of the intersection of Sawyer Ranch Road and US Hwy 290).

1.2. Base Zoning District

Except as provided in section 1.3 (*below*), the subject property shall be governed by the rules applying in the following zoning district: ***General Retail (GR)***.

1.3. Overlay

1.3.1. A Conditional Overlay is hereby created and effectuated upon the subject property.

1.3.2. The boundary of the Overlay shall be coterminous with the perimeter of the 10.0 acres described in Section 1.1 (above).

1.3.3. The Overlay incorporates by reference the Development Agreement entered into by the City and the Owner, Sawyer 290 Crossing, Ltd., dated April 23, 2007, in its entirety, and the exhibits thereto, attached to this Ordinance as *Exhibit A*.

1.3.4. The Overlay prohibits the following uses: dry cleaning plant; gas station; and convenience stores featuring gas stations.

1.3.5. The Overlay mandates that the southwest building be limited to a single story or twenty feet (20'), whichever is less, and the setbacks for buildings located near the rear southern boundary shall be seventy feet (70').

1.4. Zoning Map

The above Zoning Classification changes shall be made to the Official Zoning Map in conformance with the procedures set forth in the Zoning Ordinance.

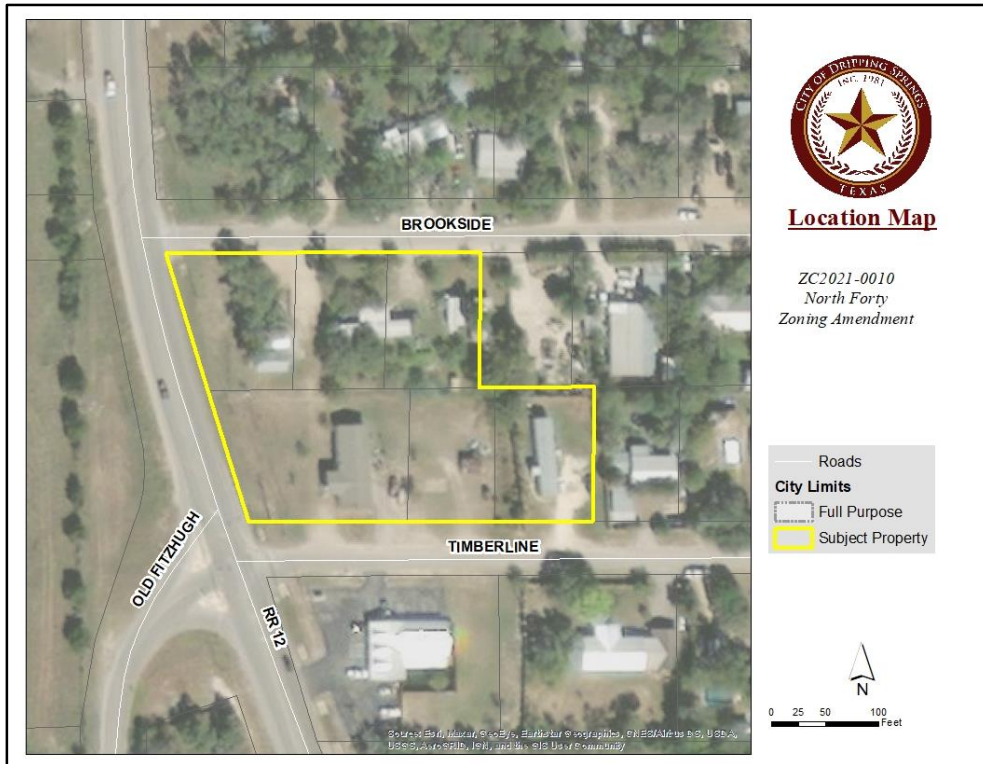


Planning & Zoning Commission Planning Department Staff Report

City Council: November 23, 2021
Project No: ZA2021-0010
Project Planner: Tory Carpenter, Senior Planner

Item Details

Project Name: North Forty Zoning Amendment
Property Location: Southeast intersection of Ranch Road 12 and Brookside Street.
Legal Description: Lots 1, 2, 3, 26, 27, and 28, block C out of the North Forty Section 2 subdivision
Applicant: Gilbert J. Guerra, P.E.; Rio Delta Engineering
Property Owner: Acosta Holdings Company, Inc.
Request: Zoning amendment from Manufactured Home “MH” to General Retail “GR”



Background

The property is currently zoned MH, Manufactured Home.

Per Ch. 30 Exhibit A, §3.5-3.6

- **MH – Manufactured Home:** *The MH, manufactured housing district is intended to provide for single-family residential development in accordance with the manufactured housing ordinance.*

The applicant is requesting a zoning amendment to GR; General Retail

- **GR – General Retail:** *The GR, general retail district is established to provide areas for retail facilities that are larger than those generally located in the local retail district, such as large grocery stores, book stores, and the like. Areas zoned for general retail should have convenient regional access via major thoroughfares, such as U.S. Highway 290 or Ranch Road 12, and major collector streets are primary locational considerations. Hotel/motel uses, community scale retail, and bed-and-breakfasts are permitted within general retail districts. Office uses, commercial services, and industrial uses shall not be permitted.*

Analysis

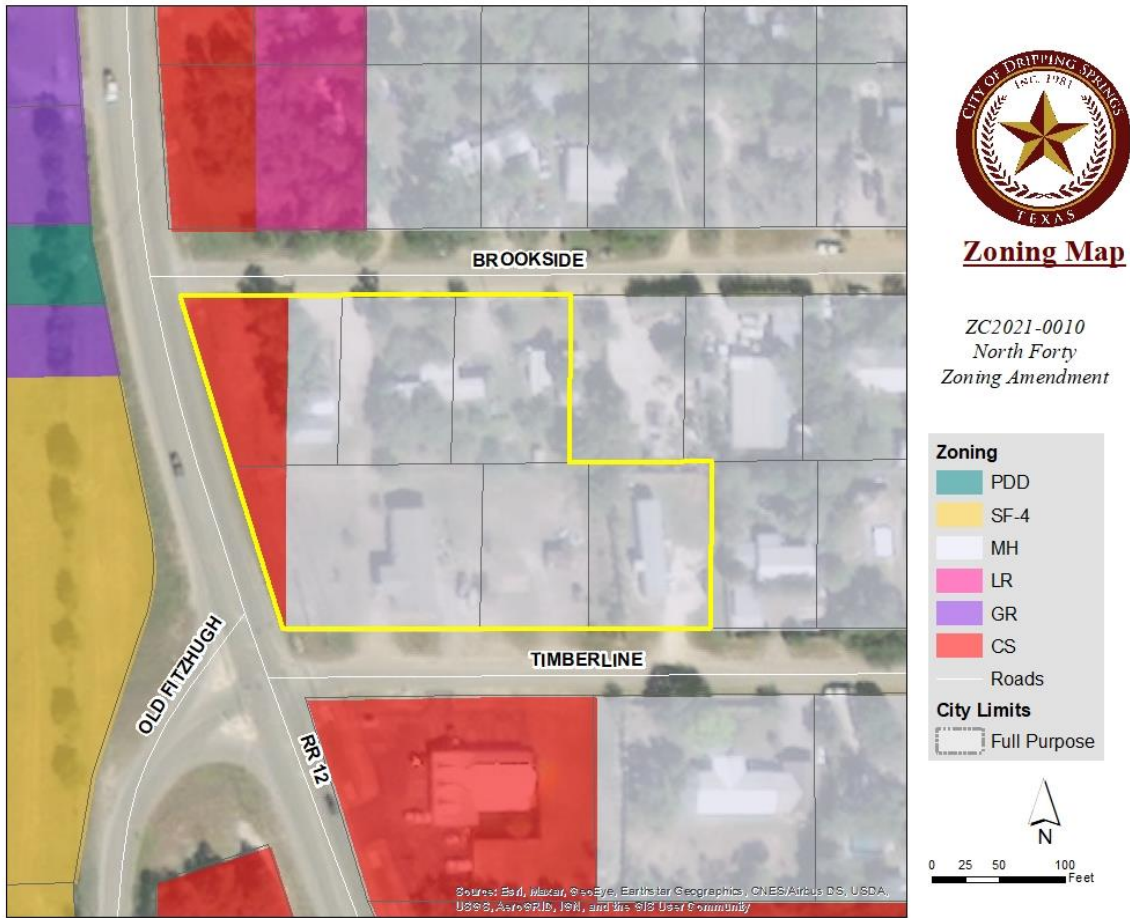
Based on the adjacent zoning category and land uses, staff finds that the proposed zoning considerably compatible within the area.

The following are the development regulations for the current and proposed zoning districts for the site.

	MH	GR	Differences between MH to GR
Max Height	One Story / 20 feet.	2 stories / 40 feet	One Story / 20 feet.
Min. Lot Size	10,000-sq-ft	20,000-sq-ft	10,000-sq-ft
Min. Lot Width	70 feet	100 feet	30 feet less
Min. Lot Depth	100 feet	150 feet	50 feet
Min. Front/Side/Rear Yard Setbacks	20 feet / 15 feet / 20 feet	25 feet / 25 feet / 25 feet*	5 feet / 10feet / 5 feet less*
Impervious Cover	50%	60%	10% more

*Adjacent to a single-family district: Any retail use that is located adjacent to (and not across a right-of-way from) any single-family zoning district shall be set back from the applicable residential district property line by 40 feet.

Surrounding Properties



The current zoning and existing uses of the adjacent properties to the north, south, east, and west are outlined in the table below:

Direction	Zoning District	Existing Use	Future Land Use
North	LR/CS/MH	Manufactured Home	Not Shown on the Future Land Use Map
East	MH	Manufactured Homes	
South	CS	Plumber	
West	SF4/GR/PDD	Vacant / Entrance to Heritage Subdivision	

Approval Criteria for Zoning Amendment (Chapter 30 Zoning, Exhibit A, Sec 2.28.1 and 2.28.2)

2.28.2 The Planning & Zoning Commission and the City Council shall consider the following factors:

Factors	Staff Comments
1. whether the proposed change will be appropriate in the immediate area concerned;	<p>The Commission should consider adverse impacts of all allowed uses to the adjacent manufactured homes. However, an increase building setback of 40 feet adjacent to residential uses helps offset this concern.</p> <p>Additionally, commercial uses on this site could provide services within walking distance to nearby residences.</p>
2. their relationship to the general area and the City as a whole;	<p>This property has significant frontage on Ranch Road 12. This major road has a number of commercial use in the immediate vicinity</p>
3. whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other utilities to the area;	<p>The property is not within any existing or proposed City Plans.</p>
4. the amount of undeveloped land currently classified for similar development in the vicinity and elsewhere in the City, and any special circumstances which may make a substantial part of such undeveloped land unavailable for development;	<p>This request would not make other land unavailable for development.</p>
5. the recent rate at which land is being developed in the same zoning classification, particularly in the vicinity of the proposed change;	<p>While there has been limited commercial development in the immediate vicinity, there has been significant growth within the City as a whole.</p>
6. how other areas designated for similar development will be, or are unlikely to be, affected if the proposed amendment is approved;	<p>No areas designated for similar development will be affected by this proposed amendment.</p>
7. whether the proposed change treats the subject parcel of land in a manner which is significantly different from decisions made involving other, similarly situated parcels; and	<p>Approval of this zoning amendment would not be significantly different from decisions made involving other similar parcels.</p>
8. any other factors which will substantially affect the public health, safety, morals, or general welfare.	<p>The rezoning does not negatively affect the public health, safety, morals, or general welfare.</p>

Staff Recommendation

Staff recommends **approval** of the zoning amendment as presented.

Planning and Zoning action:

2.34.1 *The P&Z shall hold a public hearing on a zoning an amendment to the Zoning Ordinance. After all public input has been received and the public hearing closed, the P&Z shall make its recommendations on the proposed zoning request and concept plan, if submitted, stating its findings, its overall evaluation of the request, and its assessment regarding how the request relates to the City's Comprehensive Plan. The P&Z may, on its own motion or at the applicant's request, defer its decision recommendations until it has had an opportunity to consider other information or proposed modifications to the request which may have a direct bearing thereon. If the P&Z elects to postpone or defer its hearing on the request, such action shall specifically state the time period of the postponement by citing the meeting date whereon the request will reappear on the P&Z's agenda.*

2.34.2 *When the P&Z is ready to act upon the zoning request, it may recommend:*

- (a) *approval of the request as it was submitted by the applicant;*
- (b) *approval of the request subject to certain conditions as in the case of a Planned Development District (PDD) or a Conditional Use Permit (CUP); or*
- (c) *disapproval of the request.*

2.34.3 *The P&Z's recommendation will be automatically forwarded to the City Council for a second public hearing thereon.*

Public Notification

A legal notice advertising the public hearing was placed in the Dripping Springs Century-News, signs were posted on the-site, notice was placed on the City Website, and all property owners within a 300-foot radius of the site were notified of the zoning map amendment. To date, no letters for or against the request have been received.

Attachments

Exhibit 1 – Zoning Amendment Application

Exhibit 2 – Proposed Ordinance & Survey

Recommended Action:	Recommend approval of the requested Zoning Amendment
Alternatives/Options:	Recommend denial of the zoning map amendment.
Budget/Financial Impact:	All fees have been paid.
Public Comments:	None Received at this time.
Enforcement Issues:	N/A



DRIPPING SPRINGS
Texas

Item 9.

City of Dripping Springs

PHYSICAL: 511 Mercer Street • MAILING: PO Box 384

Dripping Springs, TX 78620

512.858.4725 • cityofdrippingsprings.com

ZONING/PDD AMENDMENT APPLICATION

Case Number (staff use only): _____ - _____

CONTACT INFORMATION

PROPERTY OWNER NAME Acosta Holding Company, Inc.

STREET ADDRESS 9860 FM 967

CITY Buda **STATE** Texas **ZIP CODE** 78610-3464

PHONE 512-748-7803 **EMAIL** cmacustom@aol.com

APPLICANT NAME Gilbert J. Guerra, P.E.

COMPANY Rio Delta Engineering

STREET ADDRESS 16607 Blanco Rd., Ste 1403

CITY San Antonio **STATE** Texas **ZIP CODE** 78232

PHONE 956-624-8510 **EMAIL** gilbert@riodeltaengineering.com

REASONS FOR AMENDMENT

TO CORRECT ANY ERROR IN THE REGULATION OR MAP

TO RECOGNIZE CHANGES IN TECHNOLOGY, STYLE OF LIVING, OR MANNER OF CONDUCTING BUSINESS

TO RECOGNIZE CHANGED CONDITIONS OR CIRCUMSTANCES IN A PARTICULAR LOCALITY

TO MAKE CHANGES IN ORDER TO IMPLEMENT POLICIES REFLECTED WITHIN THE COMPREHENSIVE PLAN

PROPERTY & ZONING INFORMATION	
PROPERTY OWNER NAME	Acosta Holding Company, Inc.
PROPERTY ADDRESS	106 Brookside, Dripping Springs, Texas 78620
CURRENT LEGAL DESCRIPTION	Lot 1,2,3,26,27, & 28 North Forty SEC 2, Blk C
TAX ID#	36522, 36541,36542,&36543
LOCATED IN	<input checked="" type="checkbox"/> CITY LIMITS <input type="checkbox"/> EXTRATERRITORIAL JURISDICTION
CURRENT ZONING	MH
REQUESTED ZONING/AMENDMENT TO PDD	GR
REASON FOR REQUEST <i>(Attach extra sheet if necessary)</i>	The Owner wishes to replat into one contiguous lot and build a general retail development it.
INFORMATION ABOUT PROPOSED USES <i>(Attach extra sheet if necessary)</i>	If the re-zoning is approved, the Owner will re-subdivide Lots 1,2, 3, 26, 27, and 28 into one lot and construct a multi-space general retail center on the property.

COMPLIANCE WITH OUTDOOR LIGHTING ORDINANCE? *

(See attached agreement).

YES (REQUIRED)* YES (VOLUNTARY)* NO*

* If proposed subdivision is in the City Limits, compliance with Lighting Ordinance is **mandatory**. If proposed subdivision is in the ETJ, compliance is **mandatory** when required by a Development Agreement or as a condition of an Alternative Standard/Special Exception/Variance/Waiver.

Voluntary compliance is strongly encouraged by those not required by above criteria *(see Outdoor Lighting tab on the CODS webpage and online Lighting Ordinance under Code of Ordinances tab for more information).*

APPLICANT'S SIGNATURE

The undersigned, hereby confirms that he is the owner of the above described real property and further, that Rio Delta Engineering is authorized to act as his agent and representative with respect to this Application and the City's zoning amendment process.

(As recorded in the Hays County Property Deed Records, Vol. _____, Pg. _____.)

Claudia Maria Acosta
Name

Title

STATE OF TEXAS §
 §
COUNTY OF HAYS §

This instrument was acknowledged before me on the 14 day of Sept,
2022 by Claudia Acosta.

[Signature]
Notary Public, State of Texas

My Commission Expires: 7/7/2024

Marin Acosta
Name of Applicant



ZONING AMENDMENT SUBMITTAL

All required items and information (including all applicable above listed exhibits and fees) must be received by the City for an application and request to be considered complete. **Incomplete submissions will not be accepted.** By signing below, I acknowledge that I have read through and met the above requirements for a complete submittal.


Julia Buena
Applicant Signature

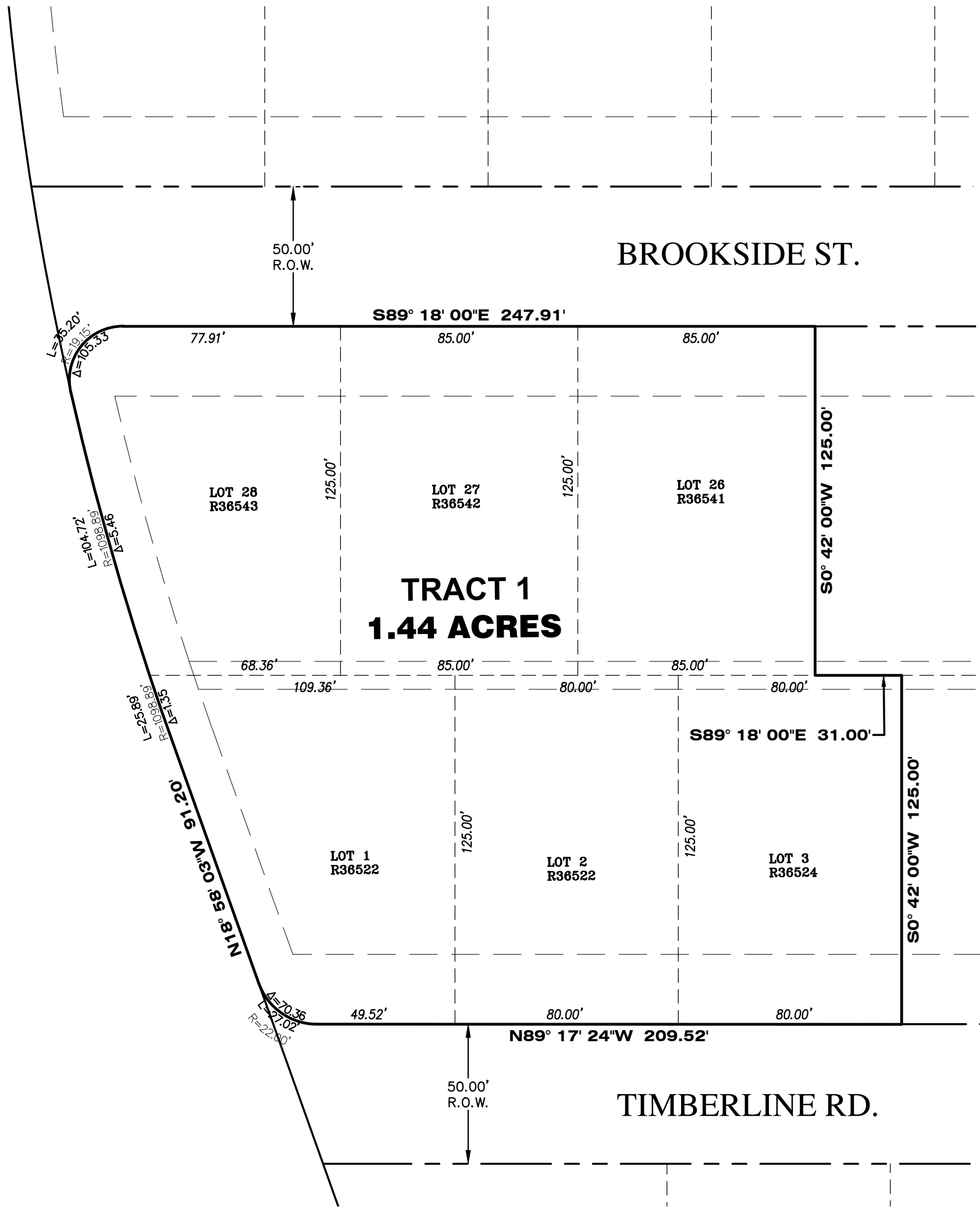
10-5-2021
Date

CHECKLIST

STAFF	APPLICANT	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Completed Application Form - including all required signatures and notarized
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Application Fee-Zoning Amendment or PDD Amendment (<i>refer to Fee Schedule</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PDF/Digital Copies of all submitted Documents When submitting digital files, a cover sheet must be included outlining what digital contents are included.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Billing Contact Form
<input type="checkbox"/>	<input checked="" type="checkbox"/>	GIS Data
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outdoor Lighting Ordinance Compliance Agreement - signed with attached photos/drawings (<i>required if marked "Yes (Required)" on above Lighting Ordinance Section of application</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Legal Description
<input type="checkbox"/>	<input type="checkbox"/>	Concept Plan
<input type="checkbox"/>	<input type="checkbox"/>	Plans
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Maps
<input type="checkbox"/>	<input type="checkbox"/>	Architectural Elevation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Explanation for request (<i>attach extra sheets if necessary</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Information about proposed uses (<i>attach extra sheets if necessary</i>)
<input type="checkbox"/>	<input type="checkbox"/>	Public Notice Sign (<i>refer to Fee Schedule</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proof of Ownership-Tax Certificate or Deed
<input type="checkbox"/>	<input type="checkbox"/>	Copy of Planned Development District (<i>if applicable</i>)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Digital Copy of the Proposed Zoning or Planned Development District Amendment

RE-ZONING NORTH FORTY
 ADDITION SECTION TWO BLOCK C SUBDIVISION
 (LOTS 1,2,3,28,27,26)
 TRACT 1 - 1.44 ACRES
 DRIPPING SPRINGS, TEXAS


SCALE: 1" = 40'
 BASIS OF BEARING
 TEXAS STATE PLANE COORDINATES
 TEXAS SOUTH CENTRAL ZONE-4204
 NAD83/NAVD88 (GEOID12B)



P&Z Submittal / Meeting Calendar

Submittal Date	Filing Date
Comments Date (P&Z)	
<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>

YEAR 2022

ANNUAL VIEW

JANUARY

26	27	28	29	30	31	1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31	1	2	3	4	5

FEBRUARY

30	31	1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	1	2	3	4	5
6	7	8	9	10	11	12

MARCH

27	28	1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	31	1	2
3	4	5	6	7	8	9

APRIL

27	28	29	30	31	1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
1	2	3	4	5	6	7

MAY

1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31	1	2	3	4
5	6	7	8	9	10	11

JUNE

29	30	31	1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	1	2
3	4	5	6	7	8	9

JULY

26	27	28	29	30	1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31	1	2	3	4	5	6

AUGUST

31	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31	1	2	3
4	5	6	7	8	9	10

SEPTEMBER

28	29	30	31	1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	1
2	3	4	5	6	7	8

OCTOBER

25	26	27	28	29	30	1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31	1	2	3	4	5

NOVEMBER

30	31	1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30	1	2	3
4	5	6	7	8	9	10

DECEMBER

27	28	29	30	1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31
1	2	3	4	5	6	7

**2022 Planning & Zoning Commission
Submittal Schedule**

Submit By	Filing Date	P&Z Date (Comments)
17-Dec	27-Dec	25-Jan-22
14-Jan	24-Jan	22-Feb-22
18-Feb	28-Feb	29-Mar-22
18-Mar	28-Mar	26-Apr-22
15-Apr	25-Apr	24-May-22
20-May	30-May	28-Jun-22
17-Jun	27-Jun	26-Jul-22
15-Jul	25-Jul	23-Aug-22
19-Aug	29-Aug	27-Sep-22
16-Sep	26-Sep	25-Oct-22
21-Oct	31-Oct	29-Nov-22
18-Nov	28-Nov	27-Dec-22
16-Dec	26-Dec	24-Jan-23

ADMINISTRATIVE APPROVAL PROJECTS				
Site Development Project Name	City Limits / ETJ	Location	Description	Status
SD2019-0006_Dog N Bone	CL	310 Old Fitzhugh Rd	Food Traylor and Site improvements	Waiting on resubmittal
SD2019-0024 Jasons Deli	CL	165 Hargraves Dr	Restaurant	Waiting on resubmittal
SD2019-0025 Merrit Hill Country Amendment	CL	28725 RR 12	minor amendment	Waiting on resubmittal
SD2019-0036 Hart Lane Homes	ETJ	120 Hart Lane	3 SF homes	Waiting on resubmittal
SD2020-0016 100 N Canyonwood Dr	etj	100 N Canyonwood Dr	2 office buildings	Waiting on resubmittal
SD2020-0024 421 Sportsplex Correction	cl	421 Sportsplex	adding retaining wall	Waiting on resubmittal
SD2020-0027 Velocity Credit Union	limited purpose district	Lot 1 Block E of Bush Ranch Phase 1 Revised Subdivision	Construction of an assisted living building, parking areas, water service line, on-site sewage facility, and storm water detention pond.	Waiting on resubmittal
SD2020-0030 Howard Ranch Commercial	Cl	FM 150 and RR12	one 5. 110-sf general store/fueling station, two 10,400-sf retail stores, two 6,800-sf retail stores. One 17,600-sf retail store, and a 10,350-sf live/work building to be located on 7.391 acres	Approved
SD2020-0031 ATX Drainage and Landscaping	ETJ	13400 Nutty Brown Road	construction of a landscape yard, associated 6.055 sqft office/warehouse and parking	Waiting on resubmittal
SD2020-0032 Big Sky Ranch Amenity Center	CL	Lone Peak Way	amenity center for Big Sky Ranch within Phase 2	Approved w/ conditions
SD2020-0042 31300 RR 12 Vet Clinic	ETJ	31300 RR 12	permitting an existing gravel parking lot	Waiting on resubmittal
SD2020-0045 12 South	CL	4500 RR 12	8,000 Sq ft warehouse w associated parking and drainage	Under Review
SD2020-0047 Dripping Springs RV Resort	ETJ	3601 W US 290, Dripping Springs,	335 RV lots with associated roadway and drainage. All	Waiting on resubmittal
SD2020-0048 Patriots Hall of Dripping Springs	ETJ	3400 E US 290	New VFW Building with parking infrastructure and water quality	Approved w/ Conditions
SD2021-0002 Driftwood Greeter House	ETJ	214 Thurman Roberts Way	2,100 sq-ft guard house adjacent to entrance gate into Driftwood Subdivision, small driveway connecting the northbound and southbound sides of Thurman Roberts Way, and 3 parking spaces.	Approved
SD2021-0004 AAA Self-Storage Expansion	CL	2300 Hwy 290	Addition of 2 self-storage buildings, 50,000sqft and 20,400 sqft and connecting pavement	Under Review
SD2021-0005 Dripping Springs WWTP Expansion	CL	23127 FM 150 W	Expansion of the Wastewater treatment plant	Under Review
SD2021-0008 AHC Development (aka PDD 11)	CL	27110 RR 12	Construction of a new Multi-Family complex and its necessary infrastructure and a public extension of S Rob Shelton Blvd	Waiting on resubmittal
SD2021-0011 Blue Ridge Business Park	CL	26228 RR 12	6 small office buildings with associated parking and utilities	Waiting on resubmittal
SD2021-0012 Pet Paradise	ETJ	13526 W Hwy 290	This project is a pet retreat facility with building, parking, and utilities. The site will drain via a storm sewer network to an existing shared water quality pond.	Waiting on resubmittal
SD2021-0013 Dreamland	ETJ			Waiting on resubmittal
SD2021-0014 Cottages East at Bunker Ranch	CL			Waiting on resubmittal
SD2021-0017 Hays County WCID No. 2 Trail Extension Project	ETJ	Belterra		Approved
SD2021-0018 P. Terry's Burger Stand	ETJ	12680 W. US 290 Suite 200	Construction of 1,100 sq. ft dual lane drive through	Approved
SD2021-0020 Ledgestone Commercial Access Drive	ETJ	Ledgestone	Access easements for future developments such as P. Terry's, Panda Express, Popeyes	Approved
SD2021-0022 Sawyer Ranch Lot 4A	ETJ	13341 W US HWY 290	Commercial buildings, parking, utilities and sidewalks on 4.68 acres of the Sawyer Ranch subdivision	Waiting on resubmittal
SD2021-0016 Headwaters Professional Office Rev.	CL	Kibo Ridge and Hwy 290	Revision to Headwaters Professional Office to use fill Block A Lot 2	Approved
SD2021-0024 Skye Headwaters Minor Amendment 3	CL	201 Headwaters	176 Unit, Senior Living Multi Family Community	Approved
SD2021-0025 DS Rapid Express Wash	CL	Fourstar Blvd	Car Wash	Waiting on resubmittal
SD2021-0026 Belterra Mighty Fine	ETJ	Belterra	Mighty Fine Burgers	Waiting on resubmittal
SD2021-0027 Driftwood Pond 2B Club Core	ETJ	Driftwood Club Core	Water Quality Pond	Waiting on resubmittal
SD2021-0028 Sawyer Ranch 33, Tract 3	CL	Sawyer Ranch	Infrastructure Plan to Install and construct utilities, drainage, water quality, and street/driveway improvements for the entirety of the tract	Under Review
SD2021-0029 Jackson Lighting	CL	Along US 290 near Sawyer Ranch Rd	Construction of new building for the Jackson Lighting business	Under Review

<i>Ongoing Projects</i>				
RFQ				
Code Rewrite				
Village Grove				
New Growth				

Subdivision Project Name	City Limits / ETJ	Location	Description	Status
Driftwood Phase 3	ETJ	17901 RM 1826	1 lot subdivision	Waiting on the County
SUB2018-0038_California Ph 4 Sec 11_FP	ETJ	RR12 & FM 150	Subdivision of 108 Residential lots	Turned in Plat amendment adding additional ROW, Comments have been issued.
SUB2018-0061 Headwaters at Barton Creek_AP	ETJ	2401 E Hwy 290	Edits to metes and bounds error	Waiting on resubmittal/ everyone approved as of 6/25/2019
SUB2019-0017 Parten Ranch Amenity Center MP	ETJ	NW Corner of Two Creeks Lane and Parten Ranch Pkwy	1 Lot for amenity center	Approved
SUB2019-0041 Headwaters Ph. 4 Sec. 6 CP	ETJ	Intersection of Headwaters Blvd and Hazy Hills Loop	4 Lot subdivision	Waiting on the County
SUB2019-0044 California Ph/2 Sec 7 Block F Lot 9 AP	ETJ	Peaksides Circle	amended plat	waiting on resubmittal
SUB2018-0055 Quik Trip #4133 Addition Minor Plat	CL	16460 Sawyer Ranch Rd	remaining portion of tract A of the Sawyer Springs Subdivision P.R.	waiting on resubmittal
SUB2021-0002 Roger Hanks Parkway Extension	CL	Roger Hanks Parkway	3120 LF of Collector Roadway. The infrastructure includes all associated streets, grading, and water quality improvements.	Waiting on Resubmittal
SUB2021-0009 Glass Business Park CP	CL	2650 W Hwy 290	Construction Plans for Glass Business Park	Approved
SUB2021-0016 Driftwood Club Core Phase 3 SP and CP	ETJ	Thurman Roberts Way	Project will be developed in a condominium regime with 9 detached residential units and a parking lot. The site will be accessed via driveway that ties to a driveway that is a part of Driftwood Club Core Phase 2 that ties to Thurman Roberts Way.	Approved
SUB2021-0023 Bunker Ranch 3-4 Preliminary Plat Minor Revision	CL	2751 US 290	A revision to the approved Bunker Ranch Phase 3 and 4 Preliminary Plat to create a ROW reserve for the future connection of the Florio Tract and adjust affect lots.	Approved
SUB2021-0024 Crooked Oaks Amending Plat	ETJ	823 Post Oak Drive	Adjusting lot lines	Denied
SUB2021-0025 102 Rose Drive Minor Plat	CL	102 Rose Drive	1 lot subdivision to create a legal lot	Waiting on Resubmittal
SUB2021-0029 Driftwood Creek Ph 2 Prelim Plat	ETJ	Thurman Roberts Way	23 lots on 19.30 acres for the Driftwood Ph 2 Prelim Plat	Waiting on Resubmittal
SUB2021-0030 Bunker Ranch Ph 4 Final Plat	CL	2751 US 290	Subdivision of phase 4 of Bunker Ranch, 28 lots on 38.94 acres	Approved
SUB2021-0032 Daisy Acres Minor Plat	ETJ	100 Daisy Lane	Establish a lot	Approved
SUB2021-0033 Arrowhead Ranch C-Store Minor Plat	CL		establish 2 commercial lots	Waiting on Resubmittal
SUB2020-0028 CRTX Prelim Plat	CL	27110 RR 12	Establish a lot	Waiting on Resubmittal
SUB2020-0029 CRTX Final Plat	CL	27110 RR 12	Establish a lot	Waiting on Resubmittal
SUB2021-0034 California Ph 4 Sec 12 Construction Plans	ETJ	Premier Park Loop and Misty Meadows	42 singlefamily lots on 65.17 acres with associated infrastructure	Approved with conditions
SUB2021-0035 Heritage Phase 2 Construction Plans	CL	Sportsplex Drive (Heritage Development)	165 lot (162 residential lots, 2 drainage lots, and 1 parkland lot), 33.96 acre Phase of the Heritage Subdivision	Waiting on Resubmittal
SUB2021-0036 Springlake Lot 76A-1 Replat	CL	501 Springlake Dr	replating to 2 lots	Approved with conditions
SUB2021-0038 Big Sky Ranch Phase 3 Construction Plans	CL	Lone Peak Way	Construction Plans for Phase 3 of Big Sky Ranch	Waiting on Resubmittal
SUB2021-0039 Big Sky Ranch Phase 4 Construction Plans	CL	Lone Peak Way	Construction Plans for Phase 4 of Big Sky Ranch	Waiting on Resubmittal
SUB2021-0044 Driftwood Phase 1 Section 3 Final Plat	ETJ	Thurman Roberts Way	Proposing 20 single family lots, 4 open space lots and 2 private street lots on 42.17 acres	Approved
SUB2021-0045 Driftwood Phase 1 Section 3 Construction Plans	ETJ	Thurman Roberts Way	Proposing 20 single family lots, 4 open space lots and 2 private street lots on 42.17 acres	Approved with conditions
SUB2021-0012 California Ph 4 Sec 12 FP	ETJ	Premier Park Loop	47 lots on 65.172 acres with associated infrastructure	Waiting on Resubmittal
SUB2021-0046 Driftwood GRC Ph 3 Final Plat	ETJ	Driftwood Ranch Drive	34 lots on 56.3328 acres with average lot size as 1.6568 acres	Waiting on Resubmittal
SUB2021-0047 Driftwood GRC Ph 3 Construction Plans	ETJ	Driftwood Ranch Drive	Proposing 30 single family lots, 1 open space lot and 3 private street lots on 56.3328 acres	Waiting on Resubmittal
SUB2021-0048 Driftwood Ph 1 Section 4 Final Plat	ETJ	Thurman Roberts Way	A one lot plat for 4.7233 acre land	Under Review
SUB2021-0049 Grand Prairie Lot 1 Replat	CL	27950 RR 12	A replat of one lot of 1.698 acre	Waiting on Resubmittal
SUB2020-0034 Heritage Ph 1 Fp	CL	Sportsplex Drive (Heritage Development)	Heritage Final Plat	Waiting on Resubmittal
SUB2021-0050 Club Core Phase 4 Construction Plans	ETJ	Thurman Roberts Way	Construction plans for Driftwood Club Core phase 4	Waiting on Resubmittal
SUB2021-0051 Hardy T Land Preliminary Plat	ETJ	2901 W US 290	Condominium of 7 lots	Under Review
SUB2021-0053 Amending Plat of Creek Road Villas	CL	1232 Creek Road	Changing the configuration of lots 1 & 2	Waiting on Resubmittal
SUB2021-0054 Driftwood Subdivision Phase 2 Final Plat	ETJ	Thurman Roberts Way	Final Plat for Driftwood phase 2	Waiting on Resubmittal
SUB2021-0052 Cannon Ranch Preliminary Plat	CL	Cannon Ranch Road	100.58 acre development of 375 lots	Waiting on Resubmittal
SUB2021-0056 Driftwood Subdivision Phase 2 Construction Plans	ETJ	Thurman Roberts Way	Proposing 18 single family lots, 3 open space lots and 2 private street lots on 19.30 acres	Waiting on Resubmittal
SUB2021-0055 210 Creek Road	CL	210 Creek Road	Amending plat on 4 acres	Waiting on Resubmittal
SUB2021-0057 Headwaters at Barton Creek, Phase 3 Construction Plans	ETJ	Intersection of Hazy Hills Loop & Roy Branch Road	172 Residential Lots, Open Space, MUD Utilities with associated WQ and drainage improvements	Under Review
SUB2021-0058 Paren Ranch Phase 4 Final Plat	ETJ	1.5 miles SW of the intersection of Nutty Brown Road and FM 1826	87 Single family lots, 4 (OS/drainage/WQ), 1 Utility lot on 73.81 acres	Under Review
SUB2021-0059 Headwaters Phases 3-5 Preliminary Plat Minor Revision	ETJ	Intersection of Headwaters Blvd and Hazy Hills Loop	Minor Revision of previously approved preliminary plat, moving 6 lots and a slight change in road placement	Under Review
SUB2021-0060 Parten Ranch 6 & 7 Preliminary Plat	ETJ	End of Parten Ranch Parkway near Running Bird Road Intersection	126 Lots on 129.03 acres. 122 are residential while 4 are open space and drainage	Under Review
SUB2021-0061 Big Sky Ranch Phase 3 Final Plat	CL	Big Sky Ranch	224 Lots on 81.71 acres. 215 are Residential	Under Review
SUB2021-0062 Big Sky Ranch Phase 4 Final Plat	CL	Big Sky Ranch	136 Lots on 24.86 acres. 134 are Residential	Under Review