



CITY COUNCIL MEETING
City Hall—Council Chambers, 590 40th Ave NE
Monday, May 10, 2021
7:00 PM

Mayor
Amada Márquez Simula
Councilmembers
John Murzyn, Jr.
Connie Buesgens
Nick Novitsky
Kt Jacobs
City Manager
Kelli Bourgeois

AMENDED AGENDA

NOTICE THAT THIS MEETING MAY BE CONDUCTED BY A COMBINATION OF IN-PERSON AND ELECTRONIC MEANS

*Following a determination by City Manager Kelli Bourgeois, and emergencies declared by the United States, The State of Minnesota, and the Columbia Heights Mayor & City Council, this meeting may, pursuant to Minn. Stat. § 13D.021, occur by a combination of in-person and electronic means. In all meeting formats, members of the public who wish to attend may do so by attending in-person, by calling 1-312-626-6799 and entering **meeting ID 885 9676 9592**, or by Zoom at <https://us02web.zoom.us/j/88596769592> at the scheduled meeting time. For questions regarding this notice, please contact the City Clerk at (763) 706-3611.*

Agenda amended 5/10/21 prior to meeting to add item in red.

CALL TO ORDER/ROLL CALL

PLEDGE OF ALLEGIANCE

MISSION STATEMENT

Our mission is to provide the highest quality public services. Services will be provided in a fair, respectful and professional manner that effectively addresses changing citizen and community needs in a fiscally-responsible and customer-friendly manner.

APPROVAL OF AGENDA

(The Council, upon majority vote of its members, may make additions and deletions to the agenda. These may be items submitted after the agenda preparation deadline.)

PROCLAMATIONS, PRESENTATIONS, RECOGNITION, ANNOUNCEMENTS, GUESTS

A. Native American Land Acknowledgment

B. National Police Week Proclamation

CONSENT AGENDA

(These items are considered to be routine by the City Council and will be enacted as part of the Consent Agenda by one motion. Items removed from consent agenda approval will be taken up as the next order of business.)

MOTION: Move to approve the Consent Agenda as presented.

1. Approve April 26, 2021 City Council Meeting Minutes

MOTION: Move to approve the City Council Meeting minutes of April 26, 2021

2. Accept October 5, 2020 Traffic Commission Minutes

MOTION: Move to accept the Traffic Commission Minutes of October 5, 2020

3. Accept April 7, 2021 Library Board Minutes

MOTION: Move to accept the Library Board Minutes of April 7, 2021.

4. License Agenda

MOTION: Move to approve the items as listed on the business license agenda for May 10, 2021 as presented.

5. Review of Bills

MOTION: Move that in accordance with Minnesota Statute 412.271, subd. 8 the City Council has reviewed the enclosed list of claims paid by check and by electronic funds transfer in the amount of \$717,064.32.

PUBLIC HEARINGS

6. Adopt Resolution 2021-42 being a Resolution Levying and Adopting the Assessment for One Alley Light, Area No. 677-50

MOTION: Move to close the public hearing and waive the reading of Resolution 2021-42, there being ample copies available to the public.

MOTION: Move to adopt Resolution 2021-42, being a Resolution levying and adopting the assessment for an alley light, area no. 677-50.

7. Resolution No. 2021-43, a resolution to approve a variance to construct a detached accessory structure in a residential front yard located at 3919 Reservoir Boulevard NE.

MOTION: Move to waive the reading of Resolution No. 2021-43, Variance, there being ample copies available to the public.

MOTION: Move to approve Resolution No. 2021-43, approving the Variance for the proposed detached garage to be located at 3919 Reservoir Boulevard NE, subject to the conditions outlined therein.

8. First Reading of Ordinance No. 1666, an Ordinance pertaining to the rezoning of certain property located at 825 41st Avenue NE, from Multiple-Family Residential District to PUD, Planned Unit Development District No. 2021-01.

MOTION: Move to waive the reading of Ordinance 1666, there being ample copies available to the public.

MOTION: Move to set the second reading of Ordinance 1666, being an Ordinance pertaining to the rezoning of certain property located at 825 41st Avenue NE from Multiple-Family Residential District to PUD, Planned Unit Development District No. 2021-01, for May 24th, 2021, at approximately 7:00 p.m. in the City Council Chambers.

ITEMS FOR CONSIDERATION

New Business and Reports

9. Annual declaration that the City of Columbia Heights does NOT waive the monetary limits on the Municipal Tort Liability under Minnesota Statutes, Section 466.04.

MOTION: Move to declare that the City of Columbia Heights does NOT waive the monetary limits on municipal tort liability under Minnesota Statutes, section 466.04.

CITY COUNCIL AND ADMINISTRATIVE REPORTS

Report of the City Council

Report of the City Manager

Report of the City Attorney

COMMUNITY FORUM

At this time, individuals may address the City Council about any item not included on the regular agenda. All individuals whether attending in-person or virtually may participate. Speakers that are in-person are requested to come to the podium. All speakers need to state their name and connection to Columbia Heights, and limit their comments to five (5) minutes. All speakers are also asked to fill out this information as well as their address on a form for the Council Secretary's record. Those in attendance virtually should send this information in the chat function to the moderator. The City Council will listen to brief remarks, ask clarifying questions, and if needed, request staff to follow up or direct the matter to be added to an upcoming agenda. Generally, the City Council will not take official action on items raised at the Community Forum at the meeting on which they are raised.

ADJOURNMENT

Auxiliary aids or other accommodations for individuals with disabilities are available upon request when the request is made at least 72 hours in advance. Please contact Administration at 763-706-3610 to make arrangements.



PROCLAMATION

Police Week: May 9-15, 2021

To recognize National Police Week 2021 and to honor the service and sacrifice of those law enforcement officers killed in the line of duty while protecting our communities and safeguarding our democracy:

WHEREAS, there are approximately 700,000 law enforcement officers serving in communities across the United States, including the dedicated members of the Columbia Heights Police Department;

WHEREAS, since the first recorded death in 1791, over 21,000 law enforcement officers in the United States have made the ultimate sacrifice, including Curt Ramsdell of the Columbia Heights Police Department who was killed in the line of duty on July 30, 1977;

WHEREAS, the names of these dedicated public servants are engraved on the walls of the National Law Enforcement Officers Memorial in Washington, D.C.;

WHEREAS, May 15 is designated as Peace Officers Memorial Day, in honor of all fallen officers and their families;

THEREFORE, BE IT RESOLVED that the Columbia Heights City Council formally designates May 9-15, 2021, as Police Week in the City of Columbia Heights, and publicly salutes the service of law enforcement officers in our community and in communities across the nation.

Amáda Márquez Simula, Mayor

May, 10, 2021



CITY COUNCIL MEETING
City Hall—Council Chambers, 590 40th Ave NE
Monday, April 26, 2021
7:00 PM

MINUTES

Mayor
Amáda Márquez Simula
Councilmembers
John Murzyn, Jr.
Connie Buesgens
Nick Novitsky
Kt Jacobs
City Manager
Kelli Bourgeois

The following are the minutes for the Special Meeting of the City Council held at 7:00 pm on Monday, April 26, 2021 in the City Council Chambers, City Hall, 590 40th Avenue NE, Columbia Heights, Minnesota. Due to the COVID-19 pandemic, this hybrid meeting was held both virtually and in-person.

CALL TO ORDER/ROLL CALL

Mayor Márquez Simula called the meeting to order at 7:00 pm.

Present: Mayor Márquez Simula; Councilmember Buesgens; Councilmember Jacobs; Councilmember Murzyn, Jr.; Councilmember Novitsky

Also Present: Kelli Bourgeois, City Manager; Renee Dougherty, Library Director; Bruce Evans; Kevin Hansen, Public Works Director; Jim Hoeft, City Attorney; Lorien Mueller; Will Rottler, Community and Events Specialist; Nicole Tingley, City Clerk; Catherine Vesley

PLEDGE OF ALLEGIANCE

MISSION STATEMENT

Our mission is to provide the highest quality public services. Services will be provided in a fair, respectful and professional manner that effectively addresses changing citizen and community needs in a fiscally-responsible and customer-friendly manner.

APPROVAL OF AGENDA

Mayor Márquez Simula announced one addition to the agenda, that being “School Board Liaison Update – Lorien Mueller” under “Proclamations, Presentations, Recognition, Announcements, Guests.”

Motion by Councilmember Murzyn, Jr., seconded by Councilmember Jacobs, to approve the Consent Agenda as amended. A roll call vote was taken. All Ayes, Motion Carried 5-0.

PROCLAMATIONS, PRESENTATIONS, RECOGNITION, ANNOUNCEMENTS, GUESTS

A. Recognition of Departing Board and Commission Members

Mayor Márquez Simula recognized and thanked departing Board and Commission members for their service to the City: Catherine Vesley, Library Board 2000-2021; Bruce Evans, Park and Recreation Commission 2014-2021; Marsha Stroik, Park and Recreation Commission 2003-2021; Kevin Doty, Traffic Commission 2007-2021; Brian Clerkin, Traffic Commission 2012-2021; and Adam Schill, Planning Commission 2016-2021.

Ms. Vesley said it was a pleasure to serve the Library Board among “wonderful people who

are dedicated to the cause,” felt fortunate to have the support of the City Council and recognized the Library staff for their work, “who provide accurate answers for all users and are treated very well.” She asked the City Council to continue their support of the Library, “a wonderful institution.” Councilmembers thanked Ms. Vesley for her service, and Councilmember Murzyn, Jr., presented her with a recognition plaque.

Mr. Evans said he enjoyed serving on the Park and Recreation Commission, whose wife previously served on that board for 20 years, and he had become friends with many of the Commission members. He thanked the City Council for funding the improvement of many parks over the years, which his family has enjoyed using. Councilmembers thanked Mr. Evans for his service, and Councilmember Murzyn, Jr., presented him with a recognition plaque.

B. School Board Liaison Update – Lorien Mueller

Ms. Mueller, School Board Liaison, announced that North Park School has been rebranded as North Park School for Innovation, which an existing opportunity to call the school what it has been doing for many years. Its focus will be on STEM (science, technology, engineering and math) as well as creativity and sustainability.

The “2021 Teacher of the Year” for Columbia Heights Public Schools is Ariane Kokes, who has been teaching, primarily art, for many years and is a great representative of the District and advocate for children.

Spring activities (lacrosse, track and field, softball, baseball, boys tennis) are “in full swing” and spectators are permitted at many outdoor sporting events, and registration is requested. Spectators are not permitted at indoor sports such as synchronized swimming, but those home events are streamed live.

The School Board has a virtual Community engagement session at 5:45 pm on Tuesday, May 11, which is an opportunity for any members of the District. Information is on the District website and Facebook link.

Registration is open for summer camps, sports activities and summer school. The Activities Department is offering a new summer sports sampler for grades 4-6.

Prom is scheduled for Saturday, May 15, and open to seniors to purchase tickets, but attendance is limited.

C. National Library Week Proclamation

Mayor Márquez Simula read the proclamation announcing April 4-10, 2021 as “National Library Week” in Columbia Heights and, on behalf of the City, thanked all the Library staff and volunteers. Renee Dougherty, Library Director accepted the proclamation certificate.

D. Arbor Day Proclamation

Mayor Márquez Simula read the proclamation announcing Friday, April 30, 2021 as “Arbor Day” and the month of May 2021 as “Arbor Month” in Columbia Heights and thanked the

Public Works Department for their work. Director Hansen thanked the Council and reported that Arbor Day would be celebrated in the City with a tree planting and ceremony in Lomiaki Park at 2:00 pm on Friday, April 30. He also reported that 2021 is the 29th year as Columbia Heights being a “Tree City USA,” recognizing how the City maintains its urban forest, and said the City will do more tree planting and offer plants to residents at a discount, hopefully on an annual basis.

E. Centennial Celebration Update

Specialist Rottler added that urban forestry specialist Liam Genter planted a linden tree for the Sister Cities Tree dedication on Friday, as noted above, and said all are welcome to attend.

He thanked the quilting group, who put in over 300 hours for the quilt that is now hanging up in the Community Room and showcases the history of Columbia Heights. The group is working on a book to provide more information about the quilting process.

The first “Music in the Park” series will be held this summer, which he said would not have been possible without the support of the 49 Centennial sponsors. Of the 20 bands who applied, three area bands were selected and will perform 6:30-8:00 pm at Huset Park: “The Tkach Band” (variety dance band) on Wednesday, June 2; “Wander North” (modern folk, country and pop) on Wednesday, July 7; and “Mama No No and the Yes Men” (multi-genre songs from the 1960s to current day) on Wednesday, August 4. The City will partner with the School District for the event: Sophomore Sophie Kuether, winner of the “Minnesota State Poetry Out Loud” competition, will be opening act for the June 2 performance; and it is anticipated that members of the Columbia Heights High School Band will perform on July 7. The events will be free and social distancing will be encouraged.

Public Works staff has begun hanging Centennial banners on Central Avenue, from 47th to 51st, and the 37th to 43rd banners will be hung soon thereafter.

The Citywide Garage Sale will be held on Saturday, June 12, and sign-up is available on the City website.

The Community Picnic, now called the “Community Art and Info Fair,” will be held on Thursday, June 24, 5:00-7:30 pm. Art vendors will be lined up along the sidewalk and traffic along Mill Street will be blocked.

The Saturday, July 17, “Centennial Celebration” will be a whole Community event, partnering with 25 businesses, organizations and places of worship that will offer families a day of free prizes and fun. Two bands, “Earl Harrison” and “LoverCraft,” will play 11:00 am to 2:00 pm.

Two virtual Zoom presentations are planned: at 1:00 pm on Saturday, May 15, Sara Given from the Anoka Historical Society will give a presentation on the history of Columbia Heights and at 1:00 pm on Saturday, May 22, Kathy Kullberg will give a presentation on the history of Architect Avenue. He encouraged residents to go to “Heights100.com,” as well

as Facebook and Twitter, for previous and current stories and photos as well as upcoming events.

The Council thanked Specialist Rottler and all involved for their hard work in preparation for the planned events.

CONSENT AGENDA

Motion by Councilmember Jacobs, seconded by Councilmember Novitsky, to approve the Consent Agenda as presented. A roll call vote was taken. All Ayes, Motion Carried 5-0.

1. Approve April 5, 2021 City Council Work Session Minutes

MOTION: Move to approve the minutes of the City Council Work Session of April 5, 2021

2. Approve April 13, 2021 Emergency City Council Meeting Minutes

MOTION: Move to approve the minutes of the Emergency City Council Meeting of April 13, 2021

3. Approve April 14, 2021 Special City Council Meeting Minutes

MOTION: Move to approve the minutes of the Special City Council Meeting of April 14, 2021

4. Approve Change Order No. 1 For 37th Avenue Bituminous Trail And Pedestrian Ramp Improvements, Project 1907, and Madison Street Curb and Gutter Construction, Project 1902

MOTION: Move to approve contract Change Order No. 1 for the 37th Avenue Bituminous Trail and Pedestrian Ramp Improvements, Project 1907, and Madison Street Curb and Gutter Construction, Project 1902, to Sunram Construction, Inc. in the amount of \$55,006.70 for a new contract amount of \$687,224.70.

5. Award of Professional Services for Construction Materials Testing for 2021 Projects

MOTION: Move to approve the proposal for Construction Materials Testing for 2021 Water Main Improvements and 2021 Street Rehabilitation Program with Independent Testing Technologies, based on project testing requirements with an estimated cost of \$27,090.00 appropriated from Funds 651-52103 (Water Main), 415-52002 (Street Rehabilitation - Zones 4B and 5) and 415-52005 (State Aid Street Rehabilitation – 44th Avenue).

6. Adopt Resolution 2021-41 Being a Resolution Accepting Bids and Awarding a Contract for the 2021 Miscellaneous Concrete Repairs and Installations, City Project 2100

MOTION: Move to waive the reading of Resolution 2021-41, there being ample copies available to the public.

MOTION: Move to adopt Resolution 2021-41 being a Resolution accepting bids and awarding the 2021 Miscellaneous Concrete Repairs and Installations, City Project No. 2100, to Standard Sidewalk, Inc. of Blaine, Minnesota, based upon their low, qualified, responsible bid in the amount of \$32,795.00 from Fund 415-52100-4000; and,

furthermore, to authorize the Mayor and City Manager to enter into a contract for the same.

7. Professional Services Agreement for Sewer Modeling for Sanitary Sewer Collection District 1

MOTION: Move to approve a Professional Services Agreement with Bolton and Menk for engineering consultant services for the sanitary sewer modeling of Collection District 1 in an amount not-to-exceed \$28,635.00 appropriated from Fund 652-52108-3050.

8. Rental of Jersey Barriers for the Public Safety Building

MOTION: Move to authorize the City Manager to enter into an agreement with Warning Lites of Minnesota to rent jersey barriers as part of a safety contingency plan for the public safety building, for a cost of up to \$27,000.00, with the funds coming from the police department operating budget.

9. Rental Occupancy Licenses for Approval

MOTION: Move to approve the items listed for rental housing license applications for April 26, 2021, in that they have met the requirements of the Property Maintenance Code.

10. License Agenda

MOTION: Move to approve the items as listed on the business license agenda for April 26, 2021 as presented.

11. Review of Bills

MOTION: Move that in accordance with Minnesota Statute 412.271, subd. 8 the City Council has reviewed the enclosed list of claims paid by check and by electronic funds transfer in the amount of \$1,037,577.19.

CITY COUNCIL AND ADMINISTRATIVE REPORTS

Report of the City Council

Mayor Márquez Simula said her “heart goes out to the family of Duante Wright and the whole Community.” A vigil was held at the School District and about 250 people attended, including Duante’s sister and aunt, and “was a healing time.” With all of the related occurrences happening, she encouraged all to “be kind to one another.”

She attended a Regional Council of Mayors meeting, an “Our Car” webinar, senior watercolor painting class at Murzyn Hall; hosted a senior consortium meeting with community leaders from SARA, Crestview, Anoka County, and City’s Library and Park & Recreation Department; co-hosted a presentation at the Columbia Heights-Fridley Rotary meeting regarding diversity, equity and inclusion; met with the Dream of Wild Health, an indigenous gardening and food group about the HeightsNEXT Blooming Sunshine food forest and ways to incorporate more indigenous foods.

Councilmember Buesgens attended the Metro Council annual meeting via Zoom, which included its election of officers and discussion of the pandemic’s impact on the airport and future of electric

planes; a MCAP (Minnesota Climate Adaptation) webinar meeting, with Lauren Jensen speaking on building equitable community engagement for “Discovery Walk” in Rochester; thanked the businesses that sponsored 49 banners for Central Avenue; and asked residents to be mindful when transferring plants because of the current problem with “jumping worms” (which cause a lot of soil erosion and can kill gardens). She then offered condolences to the family of Tim Utz on his death.

Councilmember Jacobs thanked Mayor Márquez Simula for organizing Duante Wright’s vigil and offered condolences to his family as well as the family of Tim Utz, which Councilmember Buesgens reported earlier. Attended the Metro Cities annual meeting and MAC representative Rick King discussed the devastating losses that the pandemic created, with an anticipated decline in revenue in 2021 of \$93 million and \$250 million in losses 2020-2022 for local airports and includes 90,000 jobs that were directly affected. Attended the Charter Commission as the liaison, which included two agenda items submitted by Frost Simula (the first, an appointment process for councilmembers in the event of a vacancy and discussion of a special election though the criteria is addressed in the State statute; and second, the mayoral term limit, those it was a closed item based on the fact the 2018 voter outcome had defeated that and there was discussion that it may be a conflict of interest by the presenter; Carolyn Laine spoke on legislative changes that regulate the time allowed by the District Judge for appointment to the council vacancies and mentioned that she had proposed while still a legislator that an allowance of a percentage of tax dollars be allocated to promoting Charter issues (estimated to be about \$8,000.00 a year). Attended Zoom meetings for the 42nd Avenue project and met with three individuals as well as an additional group meeting with 12 of the residents. She said she was pleased to report, as the 2020 Census chair, that the involvement and response to the 2020 Census secured the State’s Federal representatives.

Councilmember Murzyn, Jr., acknowledged and thanked the City’s Fire Department, the paid on-line and full-timers for administering the COVID-19 vaccines, and announced that the VFW will be having its pork tenderloin sandwich or dinner event on Saturday, May 1 (\$7.00 for sandwich and \$9.00 for dinner).

Councilmember Novitsky said he and others have been busy planning this year’s Jamboree (tentative dates are June 24-27), which will include carnival, parade, car show, waffle breakfast and fireworks. He then said he was able to attend the girls High School softball game, which they won 16-1.

Report of the City Manager

Manager Bourgeois also acknowledged and thanked the staffs of the Fire, Police, Public Works and Administration Departments for their work at the City’s vaccine clinics, which were “a huge success” and resulted in 932 vaccinations being administered to City and Hilltop residents; and plans are underway for the second rounds of vaccinations in three weeks. She added that the City’s partnership with the Anoka County Department of Health was a great experience. The City’s “Drug Take Back” was held on Saturday, April 24, which resulted in 150 pounds being collected by the Police Department. Notices have been distributed for the Zone 4 and 5 construction, which will start on Monday. She encouraged residents to submit award nominations for the upcoming “Outstanding Citizen” award; submissions are due Sunday, May 2; the form can be accessed at [“columbiaheights.gov/outstanding.”](http://columbiaheights.gov/outstanding)

Report of the City Attorney

Attorney Hoeft had no update to report.

ADJOURNMENT

Motion by Councilmember Buesgens, seconded by Councilmember Murzyn, Jr., to adjourn. A roll call vote was taken. All Ayes, Motion Carried 5-0.

Meeting adjourned at 7:46 pm.

Respectfully Submitted,

Nicole Tingley, City Clerk/Council Secretary

OFFICIAL PROCEEDINGS
COLUMBIA HEIGHTS TRAFFIC COMMISSION
MONDAY, October 5, 2020

Item 2.

CALL TO ORDER

The meeting was called to order at 5:26 p.m.

ROLL CALL

Members present: Clerkin, Doty, Finkelson, Nekora, Schluender

Staff present: Kathy Young, Assistant City Engineer
Erik Johnston, Police Captain
Sue Schmidtbauer, Administrative Assistant

Council Liaison: Robert Williams (Absent)

APPOINTMENT OF NEW CHAIRPERSON

Leonard Olson decided to not reapply to the Traffic Commission. His term ended April 1, 2020. The Traffic Commission needs to appoint a new chairperson.

Motion by Doty, seconded by Schluender, to appoint Sean Clerkin as the new chairperson of the Traffic Commission. Motion passed unanimously.

APPROVAL OF MINUTES

Motion by Doty, seconded by Schluender, to approve the minutes of November 4, 2019 as presented. Motion passed unanimously.

OLD BUSINESS

None

OTHER OLD BUSINESS

None

NEW BUSINESS

- A. REQUEST FOR STOP SIGNS AT THE INTERSECTION OF 6TH STREET AND 43RD AVENUE
REQUEST FOR STOP SIGNS AT THE INTERSECTION OF 7TH STREET AND 43RD AVENUE

Ms. Katy Hahn has requested stop signs at the intersections of 6th Street and 7th Street at 43rd Avenue. Her concern is accidents and near misses at these intersections.

The intersection of 6th Street and 43rd Avenue was reviewed by the Traffic Commission in December 2011. The request for stop signs was denied due to not meeting the MMUTCD guidelines.

On 6th Street traffic stops at 42nd Avenue and 44th Avenue. On 43rd Avenue traffic stops at 5th Street and Jefferson Street. Visibility at the intersection is somewhat limited on the south side due to higher ground elevations, similar to grade issues at many intersections in the city. There have been no *reported* accidents at this intersection in the previous five years.

The intersection of 7th Street and 43rd Avenue has been reviewed by the Traffic Commission several times, most recently in April 2017. The request for stop signs was denied based on the topography of the intersection. The concern being that stop signs at the top of the hill would make it difficult for vehicles to stop and start up in the winter months. An "Intersection Ahead" warning sign was installed for southbound traffic on 7th Street.

On 7th Street traffic yields at 41st Avenue and stops at 44th Avenue. On 43rd Avenue traffic stops at 5th Street and Jefferson Street. The intersection is at the top of a hill. Visibility is limited for southbound traffic and westbound traffic until near the intersection; then it is good. There has been one *reported* accident at this intersection in the previous five years.

Young advised that the City is in the process of changing out street signs. The new signs are larger and are white and green making them more visible. This may help the situation because when driving westbound on 43rd Avenue you can actually see the street name signs at the intersection.

Doty stated when he was there he didn't see any traffic, parked cars or issues that would be problematic, except for the hill. Captain Johnston stated he doesn't see any major concerns at this intersection. The one accident he cited was due to sleety weather conditions. Schluender stated he lives in the general area and due to the number of stop signs he doesn't feel that drivers can build up speed between intersections. Also, 43rd Avenue is fairly narrow and has the hill, and is in a residential area, which he thinks causes drivers to be a little more cautious. He supports the recommended motion due to not meeting the MMUTCD guidelines.

Motion by Clerkin to deny the request for stop signs at the intersection of 6th Street and 43rd Avenue and at the intersection of 7th Street and 43rd Avenue due to not meeting the MMUTCD guidelines, seconded by Doty. Motion passed unanimously.

B. REVISE STOP SIGN LOCATIONS ON 51ST AVENUE BETWEEN WASHINGTON STREET AND CENTRAL AVENUE; ADD CROSSWALKS AT THE PARK ENTRANCES

Mr. Mark Matzke has requested revisions to the traffic control along 51st Avenue as well as installation of crosswalks near Sullivan Lake Park.

The first request is for a crosswalk across Washington Street at the entrance of Sullivan Park, or at a minimum, to trim the trees/shrubs adjacent to the path so pedestrians are more visible. Young advised that we have steered away from crosswalks unless they're in an area that has sidewalk. The reason being, that you are directing pedestrians into the street, not to another sidewalk or a safe refuge. As there is no sidewalk on the west side of Washington Street, the Park Department will trim the trees/shrubs to make the Park Entrance signs and pedestrians leaving the park more visible.

Mr. Matzke requested the 2-way stop at Washington Street and 51st Avenue be revised to a 4-way stop. The concern is visibility at this intersection.

Currently traffic stops on Washington Street. The topography combined with vegetation along the north side of 51st Avenue limits visibility. Southbound vehicles on Washington Street must proceed

cautiously into the intersection before crossing into the westbound traffic lane.

Young advised there are some large lilac bushes on the northeast corner of the property on the north side that do block visibility somewhat, vehicles need to inch out at the stop sign to check for cross traffic before pulling out. Her first recommendation is to contact the property owner and request to have the lilac bushes trimmed back. If the owner refuses, the City will intercede. We do have approximately 9' of right-of-way along the north side of 51st Avenue.

If a 4-way stop were to go in at Washington Street and 51st Avenue, then Mr. Matzke is requesting the 3-way stop be removed at Jefferson Street for east-west traffic. Young feels it's worthwhile for staff to study both Washington and Jefferson Streets to determine which intersection makes the most sense for traffic control.

Mr. Matzke requested the 1-way stop be revised to a 3-way stop at 51st Avenue and Monroe Street, and a crosswalk be added. The concern is the speed of traffic near the park.

This is a T-intersection with northbound traffic stopping at 51st Avenue. Visibility at the intersection is good. There is no sidewalk on the south side of 51st Avenue. Once again, a crosswalk would direct pedestrians into the street, not a refuge from traffic. Staff suggests installing playground warning signs on 51st Avenue for Sullivan Lake Park.

Jefferson, Madison, Monroe and Jackson Streets are all approximately 300' apart. Traffic to the park could come from any of those intersections, not necessarily just Monroe Street. Doty stated Jefferson Street and 51st Avenue has a hill and with cross traffic vehicles could not start up again. He would like to keep the three stop signs at this intersection as it's difficult to get up hills due to weather conditions.

Schluender commented on the crosswalk. Stated he understands the concern of installing a crosswalk that directs pedestrians to no landing space on the other side. He recognizes if you have mobility concerns or are not familiar with the area how you could get stuck on the other side of the road. However, there are two pedestrian paths coming out of the park that, even without a crosswalk, are directing pedestrians into the street. Pedestrians are still hitting the street and are clearly crossing it if they're parked along 51st Avenue, or they are heading deeper into the neighborhood by walking along the streets that these paths butt up against. He suggested a study of what it would take to install a landing area on the other side of the park, whether it's a modest stretch of sidewalk or a corner curb cut set-out that doesn't go anywhere. This is not an ideal solution but feels a crosswalk and crosswalk signs would at least slow traffic down. He would also like to see the crosswalk aligned to Monroe Street. He thinks we should study this a little more in depth before we deny the request. Finkelson agrees with examining this in more detail. Young advised that we can put in the crosswalks and the signs, but this was done on 40th Avenue at 5th Street and Jefferson Street and the crosswalks are ignored so often that now we've tried putting up "Stop for Pedestrian" signs along centerline to try to grab the drivers' attention. Schluender stated he's seen some new approaches to crosswalk painting where they're painted in 3-D so they stand out more. Young advised they have this type of crosswalk at French Park. She will get some photographs to see how they've held up over the years.

Nekora asked where the playground warning signs will be placed. Young advised they will be positioned on each side of the park, approximately 200' from the entrance. We have these signs at the majority of our parks so should add them to this one as well.

Motion by Clerkin to deny the request for 3-way stop signs at 51st Avenue and Monroe Street, seconded by Doty. Motion passed unanimously.

Motion by Clerkin to direct staff to study the intersections on 51st Avenue at both Washington Street and Jefferson Street to consider which intersection should be controlled with an all-way stop, seconded by Schluender. Motion passed unanimously.

Motion by Schluender to study the feasibility of a sidewalk or alternate landing area for pedestrians on the opposite side of the street for crosswalks at both Washington Street and Sullivan Drive and 51st Avenue and Monroe Street, including possibly aligning the end of the pedestrian path on the north side of 51st Avenue with the intersection; and to also study best practices for painting crosswalks for better driver visibility. Motion seconded by Finkelson. Motion passed unanimously.

VII. OTHER NEW BUSINESS

None

VIII. REPORTS

A. CITY ENGINEER

As requested by owners, Disabled Parking signs have been installed at the following locations:

- 4010 4th St, Permit F29089
- 4141 4th St, Permit 1-017-995
- 1419 Parkview Ln, Permit J10787
- 4032 Washington St, Permit D56411

The City Council is requesting that the Traffic Commission choose a different night for their meetings. The City Council has meetings at 6:00 p.m. and sometimes earlier on Monday evenings. Because of this the Council Liaison is unable to attend the Traffic Commission meeting. This item will be on the next agenda.

B. POLICE CHIEF

Captain Johnston advised they have slowed down with being proactive due to COVID but will be bringing this back up on Central Avenue due to traffic safety issues, one being a pedestrian/vehicle accident.

The 2-6 AM parking ban is scheduled to start soon. Police distribute citywide flyers regarding overnight parking warnings and postcards about the ordinance on two separate weekends in October; these are placed on vehicles parked on the street. Parking permit requests increase every year, the Police Department is trying to be reasonable with issuing.

C. COMMISSIONERS

Doty stated that when he was at 51st Avenue and Washington Street today he had the right of

way but the other driver ran the stop sign so he stopped. The other driver then stopped halfway through the intersection. He cannot believe how many drivers run stop signs. He asked Captain Johnston if he's noticed this. Captain Johnston advised that if they focus on this it makes an impact, but once they stop the problem slowly creeps back up. It's a challenge to patrol all these locations and enforce violations. When they receive a complaint at a particular intersection, then they give it attention.

Doty asked the average speed of the speed sign on 49th Avenue. Johnston wasn't sure, he advised that sometimes they just put the speed signs out so they're visible but don't always pull a report. Doty felt it was excellent idea to put the speed sign by the school prior to school starting. Johnston advised they do try to keep them out and move them around.

ADJOURNMENT

Motioned by Doty, seconded by Shluender to adjourn the meeting at 6:04 p.m. Motion passed unanimously.

Respectfully submitted,

Sue Schmidtbauer
Administrative Assistant



NOTICE THAT THIS MEETING WAS CONDUCTED BY A COMBINATION OF IN-PERSON AND ELECTRONIC MEANS

Following a determination by City Manager Kelli Bourgeois, and emergencies declared by the United States, The State of Minnesota, and the Columbia Heights Mayor & City Council, this meeting did, pursuant to Minn. Stat. § 13D.021, occur by a combination of in-person and electronic means. In all meeting formats whether solely in-person or a combination of in-person and electronic means, members of the public who wished to attend could do so by attending in-person or by calling 1-312-626-6799 and entering meeting ID 832 1433 7849 and passcode 654514 at the scheduled meeting time. If there are any questions about this notice or attending/calling in to a future meeting, please contact the City Clerk at (763) 706-3611.

The meeting was called to order in the Library Community Room by Secretary Tricia Conway at 5:32pm.

Members physically present: Tricia Conway; Teresa Eisenbise; Carrie Mesrobian; K.T. Jacobs (Council Liaison substitute)

Members remotely present: Christopher Polley. **Also present:** Renee Dougherty (Library Director); Nick Olberding (Recording Secretary). **Members Absent:** Gerri Moeller (previously planned family vacation); Nick Novitsky (Council Liaison).

Oath of Office: **Tricia Conway** recited the Oath and signed; **Carrie Mesrobian**, arriving a few minutes later, also recited the Oath and signed; Renee Dougherty, Library Director, signed off on both as a Witness. Coincidentally upon reviewing the Oath, both members joked that it's difficult to say "I solemnly swear" without following it up with "...that I am up to no good"; a reference to the incantation from the *Harry Potter* series which reveals the Marauder's Map--an indication that they both truly belong on the Library Board :)

The **Minutes** of the **March 3rd, 2021**, Board Meeting were **moved and approved**.

The **Bill Lists** dated **February 3rd, 17th, and 31st 2021**, were reviewed; **moved and approved unanimously via roll-call vote**.

General questions and discussions on Bills, Accounting, and Miscellaneous:

- **Newspaper Subscriptions:** \$580 for the Star Tribune seems overpriced; but it's the Pioneer Press that's overpriced at nearly double (although both are for a full year of every day delivery). The New York Times is \$500 just for the Sunday edition.
- **Kirkus Review:** Annual renewal at a cost of \$200 (24-issues/year); this is one of the literary review journals which we use to inform our book purchase decisions.
- **ACL Notices:** Anoka County Library charges us \$100/month to cover all notices sent to patrons (i.e. automated overdue/lost item notices).
- **21st Century Learning Center Grant:** Currently in the 4th year of a 5-year grant cycle, and helps fund youth programs. This was granted to the ISD-13 School District in partnership with the CH Parks & Recreation Department, but in recognizing that they would struggle to expend the grant money, the Library was invited to join. In the future the Library will be a partner in applying for the grant.
- **Binge Boxes:** DVD Collections now offered by the Library (curated by Midwest Tape...our DVD Vendor). Each Binge Box contains 4-6 DVDs based on a common theme (i.e. Disney princesses, Tom Hanks, viruses), and are loanable for 21-days. CHPL has 20, while another 80 collections may be requested through the County.
- **Programs:** Both Tricia and Teresa praised our Bike Clinics; Tricia was surprised to see the large turnout at the clinic held last summer, and Teresa has our upcoming clinic (May 22, 10am-noon) marked on her calendar. Our Birdscaping classes were also appreciated; Teresa attended a past class, and had only positive things to say about our instructor Amber Burnette's knowledge, visual aids, and overall presentation—she will be attending future iterations...although they will be virtual for the foreseeable future (**Beginning Bird Identification:** April 20, 6pm; **Planting for Pollinators:** April 27, 6pm...hosted by the Mississippi Watershed Management Organization).
- **CHPL Foundation:** Currently no scheduled meetings due the pandemic.
- **Overdrive/Libby App:** Will be our provider of e-books, e-magazines, and e-audiobooks going forward in a collaboration with other metro Library systems (allowing resource sharing). Magazines and audiobooks have already been migrated from RBDigital, and e-books will be migrating from CloudLibrary in June following the end of the current school year (to not disrupt students using who might be using their CHPL-issued digital Library

Cards). Also, Tricia stated there were articles about this in the Star Tribune ([Feb 18](#); [Mar 27](#)).

- **Columbia Academy Digital Cards:** We still don't have statistics on this; we're under the impression that the cards were distributed to students, but we haven't seen significant increases in e-book usage, and Columbia Academy's unexpected loss of their Assistant Principal, Rick Ostby, may have affected data collection on the school side.
- **Repair & Maintenance (4000):** 63% spent--this mainly covers annual service agreements on technology like the Automated Materials Handler, Self-Checks, and Security Gate, Printers and Copiers. The AMH counts for a large portion of this budget, and it has already been paid for the year (\$9,180 paid in February).

Item 3.

Old Business:

1. **Checkout Limit Increasing to 100 Items (effective May, 1, 2021):** The Board already moved and approved this action in January in anticipation of Anoka County Library making this change. The checkout limit per card will be increasing from 50 to 100; most users will not need 100 items at-a-time, but it is useful for home-schooling and families using a shared Library Card. Item Hold limits remain the same: 30 concurrent requests per card.

New Business:

1. **Library Board Orientation:** The Board Members were presented a Board & Commissions Orientation [video](#) produced by City Clerk, Nicole Tingley; followed by a PowerPoint Presentation by Renee Dougherty.
2. **Nomination and Election of Officers (effective April 2021-March 2022):** And the winners are:
 - a. **Chair:** Teresa nominated **Tricia Conway** for Chair; all ayes; Tricia accepted.
 - b. **Vice-Chair:** Tricia nominated **Christopher Polley** for Vice-Chair; all ayes; Chris accepted.
 - c. **Secretary:** Tricia nominated **Teresa Eisenbise** for Secretary, all ayes; Teresa accepted.Tricia suggested that if other members are interested, during some of the future meetings they could rotate taking the lead in order to get comfortable and gain experience in the meeting procedure.
3. **Review/Approve 2020 Minnesota Public Library Annual Report (MPLAR) Data:** Board Members were presented with the Library's MPLAR submission for review. 2020 consisted of a lot of changes; data has become more segmented in order to account for virtual programming, self-directed activities, and curbside services due to the pandemic. Although gate count, circulation, and program attendance were down across the state's libraries, CHPL still adapted pretty well to changes, and strived to reach the community in new ways (i.e. virtual storytimes, outdoor activities, take-home crafts, remote programs, recorded tutorials, story-strolls, poems in the park, curbside pick-up, computers-by-appt (while closed to the public), and extending Wi-Fi range. **A motion to approve the MPLAR Data for submission was made; it was seconded and approved via roll-call vote.** As the new Library Board Chair, Tricia will sign off on the MPLAR data submission.
4. **National Library Week—Mayoral Proclamation (City Council Meeting-April 12):** Although this week is National Library Week, a mayoral proclamation has been submitted for next week's Council Meeting in order to continue raising awareness of the resources and services the Library has to offer. Tricia will try to be in attendance to accept the Proclamation.

There being no further business, a motion to adjourn was made at 6:45pm, and seconded.

Respectfully submitted,



Nicholas P. Olberding
Recording Secretary, Library Board of Trustee

**CITY COUNCIL MEETING**

Item 4.

AGENDA SECTION	CONSENT AGENDA
MEETING DATE	MAY 10, 2021

ITEM:	LICENSE AGENDA	
DEPARTMENT: COMMUNITY DEVELOPMENT		BY/DATE:
CITY STRATEGY: <i>(please indicate areas that apply by adding a bold "X" in front of the selected text below)</i>		
<input checked="" type="checkbox"/> Safe Community		
<input type="checkbox"/> Economic Strength		
<input type="checkbox"/> Equity and Affordability		
<input type="checkbox"/> Opportunities for Play and Learning		
<input type="checkbox"/> Diverse, Welcoming "Small-Town" Feel		
<input type="checkbox"/> Excellent Housing/Neighborhoods		
<input type="checkbox"/> Strong Infrastructure/Public Services		
<input type="checkbox"/> Engaged, Multi-Generational, Multi-Cultural Population		

BACKGROUND: Attached is the business license agenda for the May 10, 2021 City Council meeting. This agenda consists of applications for 2021 Contractor Licenses, 2021 Peddler's Licenses, 2021 Carnival Licenses, and 2021 Temp On Sale Liquor Licenses. At the top of the license agenda you will notice a phrase stating "**Signed Waiver Form accompanied application", noting that the data privacy form has been submitted as required. If not submitted, certain information cannot be released to the public.

RECOMMENDED MOTION(S):
MOTION: Move to approve the items as listed on the business license agenda for May 10, 2021 as presented.

ATTACHMENT(S):

Contractor Licenses – 2021
Peddler's Licenses – 2021
Carnival Licenses - 2021
Temp On Sale Liquor - 2021

TO CITY COUNCIL MAY 10, 2021

*Signed Waiver Form accompanied application

Contractor Licenses – 2021

Renewals:

*AIR EXPRESS INC	PO BOX 490400, BLAINE, MN	\$80.00
*RAY N WELTER HEATING	4637 CHICAGO AVE, MPLS, MN	\$80.00

Peddler's Licenses – 2021

Renewals:

*MATT MILNER SALES	1298 52 ND AVE NE, FRIDLEY, MN	\$50.00
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Carnival Licenses – 2021:

Renewal:

*FAMILY FUN SHOWS	4030 JACKSON ST, COLUMBIA HEIGHTS, MN	\$200.00
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Temp On Sale Liquor Licenses – 2021:

New:

*CHURCH OF THE IMMACULATE CONCEPTION	4030 JACKSON ST, COLUMBIA HEIGHTS, MN	\$300.00
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CITY OF COLUMBIA HEIGHTS

FINANCE DEPARTMENT

COUNCIL MEETING OF: May 10, 2021 .

STATE OF MINNESOTA

COUNTY OF ANOKA

CITY OF COLUMBIA HEIGHTS

Motion: Move that in accordance with Minnesota Statutes the City Council has reviewed the enclosed list of claims paid by check and by electronic funds transfer in the amount of \$717,064.32.

ACS FINANCIAL SYSTEM
05/06/2021 09:21:27 Vendor Payment Journal Report

CITY OF COLUMBIA HEIGHTS
GL050S-V08.15 COVERPAGE
GL540R

Report Selection:

Optional Report Title.....05/10/2021 COUNCIL REPORT

INCLUSIONS:

Fund & Account.		thru
Check Date.....		thru
Source Codes.....		thru
Journal Entry Dates.....		thru
Journal Entry Ids.....		thru
Check Number.....	185493	thru 185648
Project.....		thru
Vendor.....		thru
Invoice.....		thru
Purchase Order.....		thru
Bank.....		thru
Totals Only?.....	N	
1099 Vendors Only?.....	N	
Lower Dollars Limit.....		
Create Excel file & Download	N	

Run Instructions:

Jobq	Banner	Copies	Form	Printer	Hold	Space	LPI	Lines	CPI	CP	SP	RT
L		01			Y	S	6	066	10	Y	Y	

ACS FINANCIAL SYSTEM
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Vendor Payment Journal Report
05/10/2021 COUNCIL REPORT

CITY OF COLUMBIA HEIGHTS
GL540R-V08.15 PAGE 1

VENDOR NAME AND NUMBER		CHECK#	DATE	DESCRIPTION	AMOUNT	CLAIM	INVOICE	PO#	F	S	9	BX	M	ACCOUNT NAME	ACCOUNT
A DYNAMIC DOOR CO INC				099841											
		185493	04/29/21	GARAGE DOOR LOOP REPAIRS	971.75		22103221			D	-			BUILDING MAINT:C	101.41940.4020
ACE HARDWARE				002665											
		185563	05/06/21	WRENCHES	53.98		0418929/R	041321	P	D	-			GENERAL SUPPLIES	101.45200.2171
ADVANCED GRAPHIX INC				099500											
		185564	05/06/21	REFLECTIVE DECALS #3721	297.00		205184			D	-			GENERAL SUPPLIES	101.42200.2171
AID ELECTRIC SERVICE INC				003890											
		185494	04/29/21	INSTALL RECEPTACLE	307.47		65352			D	-			BUILDING MAINT:C	701.49950.4020
		185494	04/29/21	REPLACE BALLASTS	245.56		65353			D	-			BUILDING MAINT:C	701.49950.4020
		185494	04/29/21	LIGHT REPAIR-PAINT BOOTH	999.16		65355			D	-			BUILDING MAINT:C	701.49950.4020
					1,552.19		*CHECK TOTAL								
		185565	05/06/21	TROUBLESHOOT RECPT	69.50		65348			D	-			BUILDING MAINT:C	101.42100.4020
		185565	05/06/21	TROUBLESHOOT RECPT	69.50		65348			D	-			BUILDING MAINT:C	101.42200.4020
					139.00		*CHECK TOTAL								
				VENDOR TOTAL	1,691.19										
AM CRAFT SPIRITS SALES&				027395											
		185566	05/06/21	042021 INV	245.00		12260			D	-			INVENTORY - LIQU	609.00.14500
		185566	05/06/21	042021 DEL	3.00		12260			D	-			DELIVERY	609.49792.2199
					248.00		*CHECK TOTAL								
				VENDOR TOTAL	248.00										
AMERICAN BOTTLING COMPAN				000231											
		185495	04/29/21	041621 INV	456.73		3575723906			D	-			INVENTORY - LIQU	609.00.14500
		185495	04/29/21	041621 INV	263.31		3575723915			D	-			INVENTORY - LIQU	609.00.14500
					720.04		*CHECK TOTAL								
				VENDOR TOTAL	720.04										
AMERICAN CYLINDER INC				004285											
		185567	05/06/21	2021 ANNUAL MURZYN	52.63		186611			D	-			BUILDING MAINT:C	101.45129.4020
AMERICAN TEST CENTER				014400											
		185496	04/29/21	INSPECT#0016,#0201,#02	1,000.00		2210906			D	N	01		GARAGE INVENTORY	701.00.14120
ANOKA COUNTY LIBRARY				000310											
		185497	04/29/21	0321 NOTICES	100.00		1651	002155	F	D	-			ACS SUPPLIES	240.45500.2025
		185497	04/29/21	ILS 0121-0321	3,390.87		1652	002155	F	D	-			EXPERT & PROFESS	240.45500.3050
					3,490.87		*CHECK TOTAL								
				VENDOR TOTAL	3,490.87										
ANOKA COUNTY TREASURER				000330											
		185568	05/06/21	ANTENNA KIT-INVENTORY	183.36		AR017752			D	-			GARAGE INVENTORY	701.00.14120
ARAMARK UNIFORM & CAREER				000245											
		185498	04/29/21	041521 UNIFORM RENTAL	71.92		1005031168			D	-			UNIFORMS	701.49950.2172

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Vendor Payment Journal Report
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CITY OF COLUMBIA HEIGHTS
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VENDOR NAME AND NUMBER														
CHECK#	DATE	DESCRIPTION	AMOUNT	CLAIM	INVOICE	PO#	F	S	9	BX	M	ACCOUNT NAME	ACCOUNT	
ARAMARK UNIFORM & CAREER 000245														
185498	04/29/21	041521 UNIFORM RENTAL	4.57		1005031169		D	-				UNIFORMS	101.45200.2172	
185498	04/29/21	041521 UNIFORM RENTAL	7.41		1005031173		D	-				UNIFORMS	604.49650.2172	
185498	04/29/21	041521 MOPS,MATS,TOWELS	87.01		1005031204		D	-				BUILDING MAINT:C	609.49792.4020	
185498	04/29/21	042021 MOPS,MATS,TOWELS	85.09		1005034556		D	-				BUILDING MAINT:C	609.49791.4020	
			256.00	*CHECK	TOTAL									
185569	05/06/21	042221 MOPS,MATS,TOWELS	87.01		1005036557		D	-				BUILDING MAINT:C	609.49792.4020	
185569	05/06/21	042721 MOPS,MATS,TOWELS	85.09		1005039794		D	-				BUILDING MAINT:C	609.49791.4020	
			172.10	*CHECK	TOTAL									
		VENDOR TOTAL	428.10											
ARTISAN BEER COMPANY 022245														
185499	04/29/21	040921 INV	56.00	CR	305469		D	-				INVENTORY - LIQU	609.00.14500	
185499	04/29/21	040921 INV	1,276.40		3467790		D	-				INVENTORY - LIQU	609.00.14500	
185499	04/29/21	040921 INV	35.60		3467791		D	-				INVENTORY - LIQU	609.00.14500	
185499	04/29/21	040921 INV	292.00		3467893		D	-				INVENTORY - LIQU	609.00.14500	
			1,548.00	*CHECK	TOTAL									
185570	05/06/21	040821 INV	315.00		3467452		D	-				INVENTORY - LIQU	609.00.14500	
185570	05/06/21	041521 INV	753.60		3468627		D	-				INVENTORY - LIQU	609.00.14500	
185570	05/06/21	041621 INV	704.80		3468949		D	-				INVENTORY - LIQU	609.00.14500	
			1,773.40	*CHECK	TOTAL									
		VENDOR TOTAL	3,321.40											
ARTISTRY .01008														
185500	04/29/21	SEWN BINDING CLASS	400.00		040821		D	-				EXPERT & PROFESS	262.45017.3050	
ASPEN MILLS, INC. 000430														
185571	05/06/21	FLEECE JCKTS KP,JC	81.00		273019		D	-				UNIFORMS	101.42200.2172	
AVENU INSIGHTS & ANALYTI 028000														
185572	05/06/21	SOFTWR SUPP010121-123	16,897.22		INVB-024535	067714	F	D	-			REPAIR & MAINT.	101.41510.4000	
BAKER & TAYLOR 000525														
185501	04/29/21	BOOKS	38.45		2035871379	004094	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOK	14.37		2035880461	004103	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOKS	46.52		2035880461	004117	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOKS	19.59		2035880461	004118	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOKS	434.99		2035880461	004120	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOK	11.07		2035884731	004112	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOKS	31.03		2035884731	004117	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOKS	19.92		2035884731	004120	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOKS	265.70		2035884731	004121	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOK	6.49		2035885851	004094	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOK	10.37		2035905375	004101	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOK	13.84		2035905375	004103	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOK	6.07		2035905375	004108	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOK	8.28		2035905375	004112	P	D	-			BOOKS	240.45500.2180	
185501	04/29/21	BOOKS	56.34		2035905375	004117	P	D	-			BOOKS	240.45500.2180	

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CITY OF COLUMBIA HEIGHTS
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VENDOR NAME AND NUMBER		CHECK#	DATE	DESCRIPTION	AMOUNT	CLAIM	INVOICE	PO#	F	S	9	BX	M	ACCOUNT NAME	ACCOUNT
BAKER & TAYLOR				000525											
		185501	04/29/21	BOOKS	61.90		2035905375	004118	P	D	-			BOOKS	240.45500.2180
		185501	04/29/21	BOOKS	45.43		2035905375	004120	P	D	-			BOOKS	240.45500.2180
		185501	04/29/21	BOOKS	21.42		2035905375	004121	P	D	-			BOOKS	240.45500.2180
		185501	04/29/21	BOOK	25.97		5016867864	004093	P	D	-			BOOKS	240.45500.2180
		185501	04/29/21	BOOK	27.50		5016884491	004093	P	D	-			BOOKS	240.45500.2180
					1,165.25										
				VENDOR TOTAL	1,165.25		*CHECK TOTAL								
BELLBOY BAR SUPPLY				004955											
		185573	05/06/21	042721 INV	133.68		0103127300			D	-			INVENTORY - LIQU	609.00.14500
		185573	05/06/21	042721 BAGS	90.50		0103127300			D	-			GENERAL SUPPLIES	609.49791.2171
		185573	05/06/21	042821 INV	124.74		0103138800			D	-			INVENTORY - LIQU	609.00.14500
		185573	05/06/21	042821 BAGS	181.00		0103138800			D	-			GENERAL SUPPLIES	609.49791.2171
					529.92										
				VENDOR TOTAL	529.92		*CHECK TOTAL								
BELLBOY CORPORATION				000595											
		185502	04/29/21	041421 INV	706.00		0088803200			D	-			INVENTORY - LIQU	609.00.14500
		185502	04/29/21	041421 DEL	2.70		0088803200			D	-			DELIVERY	609.49791.2199
		185502	04/29/21	041421 INV	200.00		0088887200			D	-			INVENTORY - LIQU	609.00.14500
		185502	04/29/21	041421 DEL	5.40		0088887200			D	-			DELIVERY	609.49791.2199
		185502	04/29/21	042121 INV	537.41		0088982400			D	-			INVENTORY - LIQU	609.00.14500
		185502	04/29/21	042121 DEL	8.10		0088982400			D	-			DELIVERY	609.49791.2199
					1,459.61		*CHECK TOTAL								
		185574	05/06/21	042121 INV	100.00		0088982500			D	-			INVENTORY - LIQU	609.00.14500
		185574	05/06/21	042121 DEL	2.70		0088982500			D	-			DELIVERY	609.49791.2199
		185574	05/06/21	042121 INV	150.00		0088982600			D	-			INVENTORY - LIQU	609.00.14500
		185574	05/06/21	042121 DEL	4.05		0088982600			D	-			DELIVERY	609.49792.2199
		185574	05/06/21	042121 INV	1,051.95		0088982700			D	-			INVENTORY - LIQU	609.00.14500
		185574	05/06/21	042121 DEL	16.20		0088982700			D	-			DELIVERY	609.49792.2199
		185574	05/06/21	042821 INV	195.67		0089084300			D	-			INVENTORY - LIQU	609.00.14500
		185574	05/06/21	042821 DEL	2.70		0089084300			D	-			DELIVERY	609.49792.2199
		185574	05/06/21	042821 INV	249.00		0089090900			D	-			INVENTORY - LIQU	609.00.14500
		185574	05/06/21	042821 DEL	2.70		0089090900			D	-			DELIVERY	609.49791.2199
					1,774.97		*CHECK TOTAL								
				VENDOR TOTAL	3,234.58										
BERGMAN LEDGE LLC				028145											
		185575	05/06/21	042021 INV	330.00		E-3220			D	-			INVENTORY - LIQU	609.00.14500
BIOBAGS AMERICAS INC				023540											
		185576	05/06/21	ORGANIC WASTE BAGS	66.21		480351			D	-			PROGRAM SUPPLIES	603.49530.2170
BLACK STACK BREWING				025725											
		185503	04/29/21	040721 INV	226.00		12138			D	-			INVENTORY - LIQU	609.00.14500
		185503	04/29/21	040821 INV	163.00		12169			D	-			INVENTORY - LIQU	609.00.14500
					389.00		*CHECK TOTAL								

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VENDOR NAME AND NUMBER		CHECK#	DATE	DESCRIPTION	AMOUNT	CLAIM	INVOICE	PO#	F	S	9	BX	M	ACCOUNT NAME	ACCOUNT
BLACK STACK BREWING				025725											
		185577	05/06/21	042121 INV	108.00		12328		D	-				INVENTORY - LIQU	609.00.14500
				VENDOR TOTAL	497.00										
BOOM ISLAND BREWING COMP				021675											
		185578	05/06/21	041521 INV	158.00		10754		D	-				INVENTORY - LIQU	609.00.14500
BOUND TREE MEDICAL LLC				099106											
		185579	05/06/21	BAND-AIDS	413.40		84024749		D	-				GENERAL SUPPLIES	101.42200.2171
		185579	05/06/21	RING CUTTER	53.59		84027825		D	-				GENERAL SUPPLIES	101.42200.2171
					466.99	*CHECK	TOTAL								
				VENDOR TOTAL	466.99										
BOURGET IMPORTS LLC				099405											
		185504	04/29/21	041621 INV	224.00		176952		D	-				INVENTORY - LIQU	609.00.14500
		185504	04/29/21	041621 DEL	5.25		176952		D	-				DELIVERY	609.49791.2199
					229.25	*CHECK	TOTAL								
		185580	05/06/21	041621 INV	112.00		176953		D	-				INVENTORY - LIQU	609.00.14500
		185580	05/06/21	041621 DEL	3.50		176953		D	-				DELIVERY	609.49792.2199
					115.50	*CHECK	TOTAL								
				VENDOR TOTAL	344.75										
BREAKTHRU BEVERAGE MN BE				024260											
		185505	04/29/21	041321 INV 700297717	116.20		339079675		D	-				INVENTORY - LIQU	609.00.14500
		185581	05/06/21	040621 INV 700297736	8,331.60		338994983		D	-				INVENTORY - LIQU	609.00.14500
		185581	05/06/21	041321 INV 700297736	4,539.80		339079676		D	-				INVENTORY - LIQU	609.00.14500
		185581	05/06/21	041321 INV700297736	151.80		339079677		D	-				INVENTORY - LIQU	609.00.14500
		185581	05/06/21	042021 INV 700297717	8,358.05		339164759		D	-				INVENTORY - LIQU	609.00.14500
		185581	05/06/21	042021 INV 700297717	82.00		339164760		D	-				INVENTORY - LIQU	609.00.14500
		185581	05/06/21	042021 INV 700297736	5,945.15		339164761		D	-				INVENTORY - LIQU	609.00.14500
		185581	05/06/21	042721 INV 700297717	5,584.80		339249070		D	-				INVENTORY - LIQU	609.00.14500
		185581	05/06/21	040721 INV 700297717	1.40CR		408524295		D	-				INVENTORY - LIQU	609.00.14500
		185581	05/06/21	040721 INV 700297736	23.45CR		408524297		D	-				INVENTORY - LIQU	609.00.14500
		185581	05/06/21	041421 INV 700297736	59.60CR		408545765		D	-				INVENTORY - LIQU	609.00.14500
		185581	05/06/21	042121 INV 700297717	21.90CR		408564714		D	-				INVENTORY - LIQU	609.00.14500
					32,886.85	*CHECK	TOTAL								
				VENDOR TOTAL	33,003.05										
BREAKTHRU BEVERAGE MN W&				024265											
		185506	04/29/21	030521 INV 700297736	264.00		338631112		D	-				INVENTORY - LIQU	609.00.14500
		185506	04/29/21	030521 DEL 700297736	3.45		338631112		D	-				DELIVERY	609.49792.2199
		185506	04/29/21	040921 INV 700297717	4,093.98		339057591		D	-				INVENTORY - LIQU	609.00.14500
		185506	04/29/21	040921 DEL 700297717	29.90		339057591		D	-				DELIVERY	609.49791.2199
		185506	04/29/21	041621 INV 700297717	850.50		339142791		D	-				INVENTORY - LIQU	609.00.14500
		185506	04/29/21	041621 INV 700297717	8.05		339142791		D	-				DELIVERY	609.49791.2199
		185506	04/29/21	041621 INV 700297717	136.48		339142793		D	-				INVENTORY - LIQU	609.00.14500
		185506	04/29/21	041621 DEL 700297717	5.75		339142793		D	-				DELIVERY	609.49791.2199

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CHECK#	DATE	DESCRIPTION	AMOUNT	CLAIM	INVOICE	PO#	F	S	9	BX	M	ACCOUNT NAME	ACCOUNT
BREAKTHRU BEVERAGE MN W& 024265													
185506	04/29/21	041621 INV 700297717	278.40		339142794		D	-				INVENTORY - LIQU	609.00.14500
185506	04/29/21	041621 INV 700297717	576.00		339142795		D	-				INVENTORY - LIQU	609.00.14500
185506	04/29/21	041621 DEL 700297717	6.90		339142795		D	-				DELIVERY	609.49791.2199
185506	04/29/21	041621 INV 700297736	270.00		339142796		D	-				INVENTORY - LIQU	609.00.14500
185506	04/29/21	041621 DEL 700297736	3.45		339142796		D	-				DELIVERY	609.49792.2199
185506	04/29/21	041621 DEL 700297736	338.19		339142797		D	-				INVENTORY - LIQU	609.00.14500
185506	04/29/21	041621 DEL 700297736	3.45		339142797		D	-				DELIVERY	609.49792.2199
185506	04/29/21	041621 INV 700297736	3,298.10		339142798		D	-				INVENTORY - LIQU	609.00.14500
185506	04/29/21	041621 DEL 700297736	29.90		339142798		D	-				DELIVERY	609.49792.2199
185506	04/29/21	041621 DEL 700297736	11.50		339142799		D	-				DELIVERY	609.49792.2199
185506	04/29/21	041621 INV 700297736	850.50		339142801		D	-				INVENTORY - LIQU	609.00.14500
185506	04/29/21	041621 DEL 700297736	8.05		339142801		D	-				DELIVERY	609.49792.2199
185506	04/29/21	042321 INV 700297717	288.00		339225810		D	-				INVENTORY - LIQU	609.00.14500
185506	04/29/21	042321 DEL 700297717	2.30		339225810		D	-				DELIVERY	609.49791.2199
185506	04/29/21	030921 INV 700297736	88.00CR		408443415		D	-				INVENTORY - LIQU	609.00.14500
185506	04/29/21	030921 DEL 700297736	1.15CR		408443415		D	-				DELIVERY	609.49792.2199
185506	04/29/21	041221 INV 700297717	158.79CR		408540891		D	-				INVENTORY - LIQU	609.00.14500
185506	04/29/21	041221 DEL 700297717	1.15CR		408540891		D	-				DELIVERY	609.49791.2199
			11,107.76	*CHECK TOTAL									
185582	05/06/21	041621 INV700297717	1,424.75		339142792		D	-				INVENTORY - LIQU	609.00.14500
185582	05/06/21	041621 DEL 700297717	16.10		339142792		D	-				DELIVERY	609.49791.2199
185582	05/06/21	041621 INV 700297736	122.75		339142800		D	-				INVENTORY - LIQU	609.00.14500
185582	05/06/21	042321 INV700297717	3,261.62		339225808		D	-				INVENTORY - LIQU	609.00.14500
185582	05/06/21	042321 DEL 700297717	32.68		339225808		D	-				DELIVERY	609.49791.2199
185582	05/06/21	042321 INV 700297717	90.97		339225809		D	-				INVENTORY - LIQU	609.00.14500
185582	05/06/21	042321 DEL 700297717	0.19		339225809		D	-				DELIVERY	609.49791.2199
185582	05/06/21	042321 INV 700297717	405.90		339225811		D	-				INVENTORY - LIQU	609.00.14500
185582	05/06/21	042321 DEL 700297717	6.90		339225811		D	-				DELIVERY	609.49791.2199
185582	05/06/21	042321 INV 700297736	1,133.61		339225812		D	-				INVENTORY - LIQU	609.00.14500
185582	05/06/21	042321 INV 700297736	13.80		339225812		D	-				DELIVERY	609.49792.2199
185582	05/06/21	043021 INV 700297717	1,173.57		339313271		D	-				INVENTORY - LIQU	609.00.14500
185582	05/06/21	043021 DEL 700297717	10.35		339313271		D	-				DELIVERY	609.49791.2199
185582	05/06/21	043021 INV 700297717	720.00		339313273		D	-				INVENTORY - LIQU	609.00.14500
185582	05/06/21	043021 INV 700297717	12.65		339313273		D	-				DELIVERY	609.49791.2199
185582	05/06/21	043021 INV 700297717	513.00		339313275		D	-				INVENTORY - LIQU	609.00.14500
185582	05/06/21	043021 DEL 700297717	4.03		339313275		D	-				DELIVERY	609.49791.2199
185582	05/06/21	043021 INV 700297736	4,038.91		339313277		D	-				INVENTORY - LIQU	609.00.14500
185582	05/06/21	043021 DEL 700297736	63.25		339313277		D	-				DELIVERY	609.49792.2199
185582	05/06/21	042621 INV 700297717	92.50CR		408576646		D	-				INVENTORY - LIQU	609.00.14500
			12,952.53	*CHECK TOTAL									
VENDOR TOTAL			24,060.29										
BROKEN CLOCK BREWING COO 025930													
185507	04/29/21	040721 INV	144.00		4936		D	-				INVENTORY - LIQU	609.00.14500
185583	05/06/21	041421 INV	108.00		4956		D	-				INVENTORY - LIQU	609.00.14500

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BROKEN CLOCK BREWING COO				025930											
	185583	05/06/21	042121	INV	36.00		4987		D	-				INVENTORY - LIQU	609.00.14500
					144.00	*CHECK	TOTAL								
				VENDOR TOTAL	288.00										
BS&A SOFTWARE				028845											
	185584	05/06/21	PARTIAL	PMT:ERP&CONFI	67,165.00		135388	202130	P	D	-			OTHER EQUIPMENT	431.41510.5180
BUETOW 2 ARCHITECTS INC				021670											
	185508	04/29/21	ARCHITECT	REIMB TOPVALU3	178.26		20105-2020	202030	P	D	-			BUILDING & IMPRO	609.49794.5120
BURNETTE/AMBER				025985											
	185509	04/29/21	BIRD ID	CLASS	35.00		042021		D	N	01			EXPERT & PROFESS	240.45500.3050
CAPITOL BEVERAGE SALES L				099247											
	185510	04/29/21	040821	INV	5.97	CR	14710242		D	-				INVENTORY - LIQU	609.00.14500
	185510	04/29/21	040821	INV	2,978.32		2533654		D	-				INVENTORY - LIQU	609.00.14500
	185510	04/29/21	041421	INV	12.95	CR	2535551		D	-				INVENTORY - LIQU	609.00.14500
	185510	04/29/21	041421	INV	5,799.14		2535552		D	-				INVENTORY - LIQU	609.00.14500
	185510	04/29/21	041521	INV	4,745.15		2536219		D	-				INVENTORY - LIQU	609.00.14500
					13,503.69	*CHECK	TOTAL								
	185585	05/06/21	042121	INV	6,816.35		2538147		D	-				INVENTORY - LIQU	609.00.14500
	185585	05/06/21	042221	INV	6.53	CR	2538797		D	-				INVENTORY - LIQU	609.00.14500
	185585	05/06/21	042221	INV	5,558.41		2538798		D	-				INVENTORY - LIQU	609.00.14500
	185585	05/06/21	042921	INV	3,877.88		2540858		D	-				INVENTORY - LIQU	609.00.14500
					16,246.11	*CHECK	TOTAL								
				VENDOR TOTAL	29,749.80										
CARLSON COMMUNITY SOLAR				028630											
	185511	04/29/21	042021	SOLAR GARDEN	155.11		13660	003048	P	D	N	01		ELECTRIC	101.41940.3810
	185511	04/29/21	042021	SOLAR GARDEN	93.29		13660	003048	P	D	N	01		ELECTRIC	602.49450.3810
	185511	04/29/21	042021	SOLAR GARDEN	875.58		13660	003048	P	D	N	01		ELECTRIC	701.49950.3810
					1,123.98	*CHECK	TOTAL								
				VENDOR TOTAL	1,123.98										
CENGAGE LEARNING INC				009585											
	185512	04/29/21	LARGE PRINT	BOOKS	130.45		74117559	004095	P	D	-			BOOKS	240.45500.2180
	185512	04/29/21	LARGE PRINT	BOOKS	110.21		74118166	004096	P	D	-			BOOKS	240.45500.2180
					240.66	*CHECK	TOTAL								
				VENDOR TOTAL	240.66										
CENTER POINT ENERGY				004945											
	185513	04/29/21	041521	8000014661-5	606.34		8000014661-5		D	-				GAS	101.41940.3830
	185513	04/29/21	041521	8000014661-5	600.82		8000014661-5		D	-				GAS	101.45129.3830
	185513	04/29/21	041521	8000014661-5	98.56		8000014661-5		D	-				GAS	101.45200.3830
	185513	04/29/21	041521	8000014661-5	80.22		8000014661-5		D	-				GAS	101.45200.3830
	185513	04/29/21	041521	8000014661-5	17.06		8000014661-5		D	-				GAS	101.45200.3830
	185513	04/29/21	041521	8000014661-5	74.12		8000014661-5		D	-				GAS	101.45200.3830
	185513	04/29/21	041521	8000014661-5	61.20		8000014661-5		D	-				GAS	101.45200.3830

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CENTER POINT ENERGY				004945											
	185513	04/29/21	041521	8000014661-5	17.06		8000014661-5		D	-				GAS	601.49430.3830
	185513	04/29/21	041521	8000014661-5	107.40		8000014661-5		D	-				GAS	601.49430.3830
	185513	04/29/21	041521	8000014661-5	396.90		8000014661-5		D	-				GAS	609.49791.3830
	185513	04/29/21	041521	8000014661-5	467.99		8000014661-5		D	-				GAS	609.49792.3830
	185513	04/29/21	041521	8000014661-5	69.78		8000014661-5		D	-				GAS	609.49793.3830
	185513	04/29/21	041521	8000014661-5	1,104.94		8000014661-5		D	-				GAS	701.49950.3830
					3,702.39	*CHECK	TOTAL								
				VENDOR TOTAL	3,702.39										
CENTURYLINK				020790											
	185514	04/29/21	040721	763 788-0064 164	50.19		7637880064164		D	-				TELEPHONE & TELE	609.49792.3210
	185514	04/29/21	040721	763 788-0290 045	50.19		7637880290045		D	-				TELEPHONE & TELE	609.49792.3210
	185514	04/29/21	040421	763 789-4821 851	146.07		7637894821851		D	-				TELEPHONE & TELE	101.42100.3210
	185514	04/29/21	040421	763 789-4821 851	146.07		7637894821851		D	-				TELEPHONE & TELE	101.42200.3210
					392.52	*CHECK	TOTAL								
				VENDOR TOTAL	392.52										
CINTAS INC				026055											
	185515	04/29/21	MOPS,MATS	042021	77.53		4081963111		D	-				BUILDING MAINT:C	101.45129.4020
	185586	05/06/21	TOWELS,AIR FRESH	042321	14.60		4082372338	002099	P	D	-			BUILDING MAINT:C	101.42100.4020
	185586	05/06/21	TOWELS,AIR FRESH	042321	14.60		4082372338	002099	P	D	-			BUILDING MAINT:C	101.42200.4020
	185586	05/06/21	MOPS JPM	042721	26.53		4082627674		D	-				BUILDING MAINT:C	101.45129.4020
					55.73	*CHECK	TOTAL								
				VENDOR TOTAL	133.26										
CITY OF MINNEAPOLIS				010425											
	185516	04/29/21	ALTERNATE CONNECTION		14,841.31		901095000031	065226	F	D	-			INFRASTRUCTURE	651.49449.5185
CORNILLIE 2 COMMUNITY SO				028780											
	185517	04/29/21	042021	SOLAR GARDEN	1,054.07		13661	003052	P	D	N	01		ELECTRIC	101.45129.3810
	185517	04/29/21	042021	SOLAR GARDEN	43.70		13661	003052	P	D	N	01		ELECTRIC	604.49650.3810
					1,097.77	*CHECK	TOTAL								
				VENDOR TOTAL	1,097.77										
CRYSTAL SPRINGS ICE LLC				021335											
	185518	04/29/21	041521	INV	150.12		3002573		D	-				INVENTORY - LIQU	609.00.14500
	185518	04/29/21	042121	INV	179.82		3002591		D	-				INVENTORY - LIQU	609.00.14500
					329.94	*CHECK	TOTAL								
	185587	05/06/21	042121	INV	62.10		3002593		D	-				INVENTORY - LIQU	609.00.14500
	185587	05/06/21	042821	INV	113.94		3002632		D	-				INVENTORY - LIQU	609.00.14500
					176.04	*CHECK	TOTAL								
				VENDOR TOTAL	505.98										
DALCO ENTERPRISES INC				001405											
	185588	05/06/21	TWLS,TP,LNR,WPS,SPG		219.16		3768085		D	-				GENERAL SUPPLIES	101.42100.2171
	185588	05/06/21	TWLS,TP,LNR,WPS,SPG		219.16		3768085		D	-				GENERAL SUPPLIES	101.42200.2171
					438.32	*CHECK	TOTAL								

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DALCO ENTERPRISES INC				001405											
				VENDOR TOTAL	438.32										
DO-GOOD.BIZ INC				026990											
	185519	04/29/21	MAIL SVC CODE RED CARD	1,101.50			14211-01		D	-				OTHER COMMUNICAT	101.42100.3250
	185519	04/29/21	MAIL SVC CODE RED CARD	1,101.50			14211-01		D	-				OTHER COMMUNICAT	225.49844.3250
					2,203.00	*CHECK	TOTAL								
				VENDOR TOTAL	2,203.00										
DUAL CITIZEN BREWING COM				028715											
	185589	05/06/21	041521 INV	204.00			1403		D	-				INVENTORY - LIQU	609.00.14500
EARL F ANDERSEN INC				014210											
	185590	05/06/21	STREET SIGNS	160.17			0126084-IN		D	-				GENERAL SUPPLIES	212.43190.2171
ECM PUBLISHERS INC				022465											
	185520	04/29/21	DISITAL PROGRAMMATIC APR	399.50			831039		D	-				ADVERTISING ENTE	609.49791.3420
	185520	04/29/21	DISITAL PROGRAMMATIC APR	314.50			831039		D	-				ADVERTISING ENTE	609.49792.3420
	185520	04/29/21	DISITAL PROGRAMMATIC APR	136.00			831039		D	-				ADVERTISING ENTE	609.49793.3420
	185520	04/29/21	SEM APRIL	188.00			831040		D	-				ADVERTISING ENTE	609.49791.3420
	185520	04/29/21	SEM APRIL	148.00			831040		D	-				ADVERTISING ENTE	609.49792.3420
	185520	04/29/21	SEM APRIL	64.00			831040		D	-				ADVERTISING ENTE	609.49793.3420
	185520	04/29/21	041621 APRIL AD	187.53			831041		D	-				ADVERTISING ENTE	609.49791.3420
	185520	04/29/21	041621 APRIL AD	147.63			831041		D	-				ADVERTISING ENTE	609.49792.3420
	185520	04/29/21	041621 APRIL AD	63.84			831041		D	-				ADVERTISING ENTE	609.49793.3420
					1,649.00	*CHECK	TOTAL								
	185591	05/06/21	AD BIDS PROJ 2100 040921	123.75			829141		D	-				LEGAL NOTICE PUB	415.52100.3500
	185591	05/06/21	PHN 3919 RESERVOIR041621	56.25			830265		D	-				LEGAL NOTICE PUB	201.42400.3500
	185591	05/06/21	PHN 825 41ST AVE 041621	73.13			830266		D	-				LEGAL NOTICE PUB	201.42400.3500
					253.13	*CHECK	TOTAL								
				VENDOR TOTAL	1,902.13										
FARNER-BOCKEN				098837											
	185592	05/06/21	042321 INV	3,039.46			8151458-403		D	-				INVENTORY - LIQU	609.00.14500
	185592	05/06/21	042321 DEL	8.00			8151458-403		D	-				DELIVERY	609.49792.2199
	185592	05/06/21	043021 INV	4,952.88			8161537		D	-				INVENTORY - LIQU	609.00.14500
	185592	05/06/21	043021 DEL	8.00			8161537		D	-				DELIVERY	609.49791.2199
					8,008.34	*CHECK	TOTAL								
				VENDOR TOTAL	8,008.34										
FIRST NATIONAL INSURANCE				099419											
	185521	04/29/21	INSURANCE SERVICE 0521	1,000.00			050121	002737 P	D	-				PRE PAID INSURAN	884.00.15510
FLEETPRIDE INC				001110											
	185593	05/06/21	FILTERS-INVENTORY	216.94			71751409		D	-				GARAGE INVENTORY	701.00.14120
	185593	05/06/21	FILTERS-INVENTORY	42.62			71841821		D	-				GARAGE INVENTORY	701.00.14120
					259.56	*CHECK	TOTAL								
				VENDOR TOTAL	259.56										

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VENDOR NAME AND NUMBER		CHECK#	DATE	DESCRIPTION	AMOUNT	CLAIM	INVOICE	PO#	F	S	9	BX	M	ACCOUNT NAME	ACCOUNT
GENERAL BOOK COVERS 002750		185522	04/29/21	BOOK JACKETS	347.00		21073	040521	F	D	-			GENERAL SUPPLIES	240.45500.2171
GENUINE PARTS/NAPA AUTO 002780		185594	05/06/21	RTN FILTERS-INVENTORY	6.00	CR	4342-783273		D	-				GARAGE INVENTORY	701.00.14120
		185594	05/06/21	WIRE TIE #0004	4.78		4342-809870		D	-				GARAGE INVENTORY	701.00.14120
		185594	05/06/21	MINI BULBS	14.90		4342-811993		D	-				GENERAL SUPPLIES	701.49950.2171
		185594	05/06/21	BATTERY #0029	109.19		4342-812992		D	-				GARAGE INVENTORY	701.00.14120
		185594	05/06/21	SPARK PLUGS-INVENTORY	11.36		4342-813540		D	-				GARAGE INVENTORY	701.00.14120
					134.23		*CHECK TOTAL								
				VENDOR TOTAL	134.23										
GOODIN CO INC 002865		185595	05/06/21	VACUUM BREAKR REPAIR KIT	37.97		01032154-00		D	-				GENERAL SUPPLIES	101.45200.2171
		185595	05/06/21	URINAL REPAIR KIT	169.79		01032518-00		D	-				GENERAL SUPPLIES	101.45200.2171
					207.76		*CHECK TOTAL								
				VENDOR TOTAL	207.76										
GRAMMOND/JAY 028755		185523	04/29/21	PHOTOGRAPHY CLASS	125.00		041421		D	N	01			EXPERT & PROFESS	240.45500.3050
GRAPE BEGINNINGS INC 003715		185596	05/06/21	042721 INV	264.00		MN00093516		D	-				INVENTORY - LIQU	609.00.14500
		185596	05/06/21	042721 DEL	4.50		MN00093516		D	-				DELIVERY	609.49792.2199
					268.50		*CHECK TOTAL								
				VENDOR TOTAL	268.50										
GREAT LAKES COCA-COLA DI 001120		185524	04/29/21	041921 INV	767.24		3615210301		D	-				INVENTORY - LIQU	609.00.14500
GROVE NURSERY 014640		185597	05/06/21	PLANTS	201.40		311243000		D	-				GENERAL SUPPLIES	101.45129.2171
HANSEN BROS FENCING INC 028825		185525	04/29/21	FURNISH TEMP FENCING	8,770.00		21988	067707	F	D	-			RENTS & LEASES	101.42100.4100
HEADFLYER BREWING 026870		185598	05/06/21	041121 INV	209.00		E-2707		D	-				INVENTORY - LIQU	609.00.14500
HOHENSTEINS INC 008705		185526	04/29/21	040921 INV	1,117.75		400916		D	-				INVENTORY - LIQU	609.00.14500
		185526	04/29/21	040921 INV	1,921.40		401083		D	-				INVENTORY - LIQU	609.00.14500
		185526	04/29/21	041621 INV	816.80		402882		D	-				INVENTORY - LIQU	609.00.14500
		185526	04/29/21	042321 INV	2,825.90		404494		D	-				INVENTORY - LIQU	609.00.14500
					6,681.85		*CHECK TOTAL								
		185599	05/06/21	041621 INV	1,448.60		402753		D	-				INVENTORY - LIQU	609.00.14500
		185599	05/06/21	042321 INV	2,646.60		404423		D	-				INVENTORY - LIQU	609.00.14500
					4,095.20		*CHECK TOTAL								
				VENDOR TOTAL	10,777.05										

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VENDOR NAME AND NUMBER		CHECK#	DATE	DESCRIPTION	AMOUNT	CLAIM	INVOICE	PO#	F	S	9	BX	M	ACCOUNT NAME	ACCOUNT
ICMA MEMBERSHIP RENEWALS 000397		185600	05/06/21	MEMBERSHIP 0721-0622 K	1,312.60		892723		D	-				SUBSCRIPTION, ME	101.41320.4330
INDEED BREWING COMPANY L 021980		185527	04/29/21	040621 INV	453.40		99268		D	-				INVENTORY - LIQU	609.00.14500
		185601	05/06/21	041421 INV	192.30		99547		D	-				INVENTORY - LIQU	609.00.14500
		VENDOR TOTAL			645.70										
INNOVATIVE OFFICE SOLUTN 099372		185602	05/06/21	COUNTER PENS	4.10		IN3322954		D	-				OFFICE SUPPLIES	101.43100.2000
		185602	05/06/21	EXPO MARKERS	3.07		IN3322954		D	-				OFFICE SUPPLIES	101.43121.2000
		185602	05/06/21	EXPO MARKERS	3.07		IN3322954		D	-				OFFICE SUPPLIES	101.45200.2000
		185602	05/06/21	EXPO MARKERS	3.07		IN3322954		D	-				OFFICE SUPPLIES	601.49430.2000
		185602	05/06/21	EXPO MARKERS	3.08		IN3322954		D	-				OFFICE SUPPLIES	602.49450.2000
		185602	05/06/21	USB DRIVES	35.36		IN3322954		D	-				COMPUTER SUPPLIE	701.49950.2020
		185602	05/06/21	FLAG	3.13		IN3335864		D	-				OFFICE SUPPLIES	101.41940.2000
		185602	05/06/21	HP414A TONERS	335.13		IN335864		D	-				COMPUTER SUPPLIE	101.41510.2020
					390.01	*CHECK TOTAL									
		VENDOR TOTAL			390.01										
INTEGRATED LOSS CONTROL 010115		185603	05/06/21	050121 SAFETY SERVICES	73.33		14295		D	-				TRAINING & EDUC	101.43121.3105
		185603	05/06/21	050121 SAFETY SERVICES	73.33		14295		D	-				TRAINING & EDUC	101.45200.3105
		185603	05/06/21	050121 SAFETY SERVICES	73.34		14295		D	-				TRAINING & EDUC	601.49430.3105
		185603	05/06/21	050121 SAFETY SERVICES	73.34		14295		D	-				TRAINING & EDUC	602.49450.3105
		185603	05/06/21	050121 SAFETY SERVICES	73.33		14295		D	-				TRAINING & EDUC	604.49650.3105
		185603	05/06/21	050121 DAFETY SERVICES	73.33		14295		D	-				TRAINING & EDUC	701.49950.3105
					440.00	*CHECK TOTAL									
		VENDOR TOTAL			440.00										
INVICTUS BREWING CO LLC 027035		185604	05/06/21	041921 INV	163.00		2800		D	-				INVENTORY - LIQU	609.00.14500
		185604	05/06/21	041921 INV	62.00CR		2800		D	-				INVENTORY - LIQU	609.00.14500
					101.00	*CHECK TOTAL									
		VENDOR TOTAL			101.00										
JJ TAYLOR DIST OF MN 002365		185528	04/29/21	040721 INV	4,058.55		3173802		D	-				INVENTORY - LIQU	609.00.14500
		185528	04/29/21	040721 DEL	3.00		3173802		D	-				DELIVERY	609.49792.2199
		185528	04/29/21	041421 INV	4,239.75		3173828		D	-				INVENTORY - LIQU	609.00.14500
		185528	04/29/21	041421 DEL	3.00		3173828		D	-				DELIVERY	609.49792.2199
		185528	04/29/21	041521 INV	3,477.40		3173831		D	-				INVENTORY - LIQU	609.00.14500
		185528	04/29/21	041521 DEL	3.00		3173831		D	-				DELIVERY	609.49791.2199
					11,784.70	*CHECK TOTAL									
		185605	05/06/21	042121 INV	6,730.37		3173852		D	-				INVENTORY - LIQU	609.00.14500
		185605	05/06/21	042121 DEL	3.00		3173852		D	-				DELIVERY	609.49792.2199

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JJ TAYLOR DIST OF MN 002365													
185605	05/06/21	042221 INV	8,857.40		3173854		D	-				INVENTORY - LIQU	609.00.14500
185605	05/06/21	042221 DEL	3.00		3173854		D	-				DELIVERY	609.49791.2199
185605	05/06/21	042821 INV	2,800.85		3173880		D	-				INVENTORY - LIQU	609.00.14500
185605	05/06/21	042821 DEL	3.00		3173880		D	-				DELIVERY	609.49792.2199
			18,397.62	*CHECK	TOTAL								
VENDOR TOTAL			30,182.32										
JOHNSON BROS. LIQUOR CO. 003550													
185529	04/29/21	123120 DEL	6.05	CR	131609		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040521 INV	176.52		1774021		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040521 DEL	1.21		1774021		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040521 INV	1,096.56		1774022		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040521 INV	730.56		1774023		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040521 DEL	15.73		1774023		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040721 INV	592.00		1775829		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 INV	22.99		1775829		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040721 DEL	1.21		1775829		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040721 INV	521.46		1775830		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	1.61		1775830		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040721 DEL	0.40		1775831		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040721 INV	321.00		1775832		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	4.03		1775832		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040721 INV	1,004.00		1775833		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	5.45		1775833		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040721 INV	1,232.95		1775834		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	7.87		1775834		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040721 INV	115.00		1775835		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	2.42		1775835		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040721 INV	661.00		1775836		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	6.05		1775836		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040721 INV	333.34		1775837		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	3.63		1775837		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040721 INV	587.38		1775838		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	19.77		1775838		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040721 INV	96.00		1775839		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	3.63		1775839		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040721 INV	260.73		1775840		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	0.41		1775840		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040721 INV	120.00		1775841		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	1.21		1775841		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040721 INV	100.00		1775842		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	1.21		1775842		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040721 INV	302.30		1775843		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	8.47		1775843		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040721 INV	127.00		1775844		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	1.21		1775844		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040721 INV	321.00		1775845		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	4.03		1775845		D	-				DELIVERY	609.49792.2199

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JOHNSON BROS. LIQUOR CO. 003550													
185529	04/29/21	040721 INV	382.00		1775846		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	2.42		1775846		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040721 INV	1,326.40		1775847		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	9.07		1775847		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040721 INV	990.00		1775848		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	6.15		1775848		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040721 INV	115.00		1775849		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	2.42		1775849		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040721 INV	840.00		1775850		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040721 DEL	7.26		1775850		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040821 INV	356.99		1776982		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	2.42		1776982		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040821 INV	160.00		1776983		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	4.84		1776983		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040821 INV	184.25		1776984		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	2.42		1776984		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040821 INV	507.10		1776985		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	12.10		1776985		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040821 INV	190.30		1776986		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	2.42		1776986		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040821 INV	948.00		1776987		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	14.52		1776987		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040821 INV	289.17		1776988		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	3.63		1776988		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040821 INV	153.65		1776989		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	4.84		1776989		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040821 INV	76.00		1776990		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	1.21		1776990		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040821 INV	251.10		1776991		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	7.26		1776991		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040821 INV	40.00		1776992		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	1.21		1776992		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040821 INV	256.13		1776994		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	3.63		1776994		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040821 INV	192.00		1776995		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	8.47		1776995		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040821 INV	152.00		1776996		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	2.42		1776996		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040821 INV	228.00		1776997		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	4.84		1776997		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040821 INV	230.00		1776998		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	2.42		1776998		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040821 INV	173.39		1776999		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	6.05		1776999		D	-				DELIVERY	609.49792.2199
185529	04/29/21	040821 INV	1,165.58		1778056		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	33.88		1778056		D	-				DELIVERY	609.49791.2199
185529	04/29/21	040821 INV	228.00		1778057		D	-				INVENTORY - LIQU	609.00.14500
185529	04/29/21	040821 DEL	4.84		1778057		D	-				DELIVERY	609.49791.2199
			18,391.09	*CHECK TOTAL									

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CHECK#	DATE	DESCRIPTION	AMOUNT	CLAIM	INVOICE	PO#	F	S	9	BX	M	ACCOUNT NAME	ACCOUNT
JOHNSON BROS. LIQUOR CO. 003550													
185606	05/06/21	032421 INV	450.00	CR	141216		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	032421 DEL	1.21	CR	141216		D	-				DELIVERY	609.49792.2199
185606	05/06/21	041621 INV	5.56	CR	143992		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	040821 INV	938.68		1778055		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	040821 DEL	8.47		1778055		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041421 INV	1,316.25		1780453		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041421 DEL	22.99		1780453		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041421 INV	430.00		1780454		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041421 DEL	6.05		1780454		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041421 INV	256.50		1780455		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041421 DEL	3.63		1780455		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041421 INV	500.00		1780456		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041421 DEL	4.84		1780456		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041421 INV	2,588.49		1780457		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041421 DEL	10.89		1780457		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041421 INV	514.00		1780458		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041421 DEL	2.63		1780458		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041421 INV	735.80		1780459		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041421 DEL	15.73		1780459		D	-				DELIVERY	609.49792.2199
185606	05/06/21	041421 INV	430.00		1780460		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041421 DEL	6.05		1780460		D	-				DELIVERY	609.49792.2199
185606	05/06/21	041421 INV	2,958.00		1780461		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041421 DEL	13.31		1780461		D	-				DELIVERY	609.49792.2199
185606	05/06/21	041421 INV	514.00		1780462		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041421 DEL	2.63		1780462		D	-				DELIVERY	609.49792.2199
185606	05/06/21	041421 INV	497.52		1780700		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041421 DEL	10.89		1780700		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041421 INV	769.80		1781582		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041421 DEL	23.00		1781582		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041521 INV	990.00		1781583		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041521 DEL	6.15		1781583		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041521 INV	258.66		1781584		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041521 DEL	7.26		1781584		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041521 INV	190.30		1781585		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041521 DEL	2.42		1781585		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041521 INV	312.00		1781586		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041521 DEL	3.63		1781586		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041521 INV	64.00		1781587		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041521 DEL	1.21		1781587		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041521 INV	595.64		1781588		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041521 DEL	19.36		1781588		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041521 INV	445.00		1781589		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041521 DEL	6.05		1781589		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041521 INV	592.00		1781590		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041521 DEL	1.21		1781590		D	-				DELIVERY	609.49791.2199
185606	05/06/21	041521 INV	592.00		1781591		D	-				INVENTORY - LIQU	609.00.14500
185606	05/06/21	041521 DEL	1.21		1781591		D	-				DELIVERY	609.49792.2199

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JOHNSON BROS. LIQUOR CO. 003550															
		185606	05/06/21	041521 INV	112.00		1781593		D	-				INVENTORY - LIQU	609.00.14500
		185606	05/06/21	041521 DEL	1.21		1781593		D	-				DELIVERY	609.49792.2199
		185606	05/06/21	041521 INV	450.10		1781594		D	-				INVENTORY - LIQU	609.00.14500
		185606	05/06/21	041521 DEL	12.10		1781594		D	-				DELIVERY	609.49792.2199
		185606	05/06/21	041521 INV	761.20		1781595		D	-				INVENTORY - LIQU	609.00.14500
		185606	05/06/21	041521 DEL	9.68		1781595		D	-				DELIVERY	609.49792.2199
		185606	05/06/21	041521 INV	208.00		1781596		D	-				INVENTORY - LIQU	609.00.14500
		185606	05/06/21	041521 DEL	2.42		1781596		D	-				DELIVERY	609.49792.2199
		185606	05/06/21	041521 INV	1,255.24		1781597		D	-				INVENTORY - LIQU	609.00.14500
		185606	05/06/21	041521 DEL	36.31		1781597		D	-				DELIVERY	609.49792.2199
		185606	05/06/21	041521 INV	179.94		1781598		D	-				INVENTORY - LIQU	609.00.14500
		185606	05/06/21	041521 DEL	1.21		1781598		D	-				DELIVERY	609.49792.2199
		185606	05/06/21	041521 INV	408.18		1781599		D	-				INVENTORY - LIQU	609.00.14500
		185606	05/06/21	041521 DEL	13.31		1781599		D	-				DELIVERY	609.49792.2199
					19,662.38										
					38,053.47										
				VENDOR TOTAL											
JUNK GENIUS 026160															
		185530	04/29/21	JUNK-4546 TYLER ST	194.97		26535		D	N	01			REPAIR & MAINT.	415.46450.4000
		185530	04/29/21	JUNK-4540 TYLER ST	359.94		26536		D	N	01			REPAIR & MAINT.	415.46450.4000
					554.91										
		185607	05/06/21	JUNK-981 43 1/2 AVE	152.12		26598		D	N	01			REPAIR & MAINT.	415.46450.4000
		185607	05/06/21	JUNK-4341 TYLER PL NE	152.12		26614		D	N	01			REPAIR & MAINT.	415.46450.4000
					304.24										
					859.15										
				VENDOR TOTAL											
KIESLER POLICE SUPPLY IN 026470															
		185608	05/06/21	GLOCK 9MM PISTOLS	2,445.00		IN164300		D	-				MINOR EQUIPMENT	101.42100.2010
LEAGUE OF MINNESOTA CITI 004180															
		185531	04/29/21	2021 MCSC MEMBERSHIP	1,000.00		340469		D	-				SUBSCRIPTION, ME	604.49650.4330
LIBRARY JOURNAL 004235															
		185532	04/29/21	ONE YEAR SUBSCRIPTION	157.99		12217835		D	-				PERIODICALS, MAG	240.45500.2181
LUCID BREWING LLC 021490															
		185609	05/06/21	041321 INV	406.00		10192		D	-				INVENTORY - LIQU	609.00.14500
		185609	05/06/21	041321 INV	113.00CR		10192		D	-				INVENTORY - LIQU	609.00.14500
					293.00										
					293.00										
				VENDOR TOTAL											
LUPULIN BREWING CO 025785															
		185610	05/06/21	041221 INV	240.55		36371		D	-				INVENTORY - LIQU	609.00.14500
		185610	05/06/21	041921 INV	129.35		36504		D	-				INVENTORY - LIQU	609.00.14500
		185610	05/06/21	042121 INV	194.35		36605		D	-				INVENTORY - LIQU	609.00.14500
					564.25										
					564.25										
				VENDOR TOTAL											

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MAC QUEEN EQUIPMENT LLC 004365		185611	05/06/21	SCBA MASK WS	313.06		P00164		D	-				PROTECTIVE CLOTH	101.42200.2173
MADISON ENERGY HOLDING L 028710		185533	04/29/21	041621 SOLAR GARDEN	217.10		SP-035-000020		D	-				ELECTRIC	101.42100.3810
		185533	04/29/21	041621 SOLAR GARDEN	217.10		SP-035-000020		D	-				ELECTRIC	101.42200.3810
					434.20	*CHECK	TOTAL								
VENDOR TOTAL					434.20										
MADISON ENERGY INVESTMEN 028050		185534	04/29/21	041621 SOLAR GARDEN	81.58		SP-001-000085		D	-				ELECTRIC	101.41940.3810
MAGNACHARGE BATTERY USA 024955		185612	05/06/21	12 VOLT BATTERIES-INVENT	144.44		M09996		D	-				GARAGE INVENTORY	701.00.14120
MAILE ENTERPRISES INC 099948		185535	04/29/21	HYDRANT MARKERS	1,379.42		040621		D	-				GENERAL SUPPLIES	601.49430.2171
MARCO, INC 008590		185613	05/06/21	MAINT 042521-072421	19.78		INV8673536		D	-				REPAIR & MAINT.	101.43100.4000
		185613	05/06/21	MAINT 042521-072421	19.78		INV8673536		D	-				REPAIR & MAINT.	101.43121.4000
		185613	05/06/21	MAINT 042521-072421	19.78		INV8673536		D	-				REPAIR & MAINT.	101.45200.4000
		185613	05/06/21	MAINT 042521-072421	19.78		INV8673536		D	-				REPAIR & MAINT.	601.49430.4000
		185613	05/06/21	MAINT 042521-072421	19.78		INV8673536		D	-				REPAIR & MAINT.	602.49450.4000
		185613	05/06/21	MAINT 042521-072421	19.77		INV8673536		D	-				REPAIR & MAINT.	701.49950.4000
					118.67	*CHECK	TOTAL								
VENDOR TOTAL					118.67										
MAVERICK WINE COMPANY 027085		185614	05/06/21	042221 INV	1,469.88		INV572675		D	-				INVENTORY - LIQU	609.00.14500
		185614	05/06/21	042221 DEL	9.00		INV572675		D	-				DELIVERY	609.49791.2199
					1,478.88	*CHECK	TOTAL								
VENDOR TOTAL					1,478.88										
MCDONALD DISTRIBUTING CO 021350		185536	04/29/21	031121 INV REVERSAL	43.17		031121		D	-				INVENTORY - LIQU	609.00.14500
		185536	04/29/21	040121 INV REVERSAL	76.50		040121		D	-				INVENTORY - LIQU	609.00.14500
		185536	04/29/21	030521 INV	919.00		571239		D	-				INVENTORY - LIQU	609.00.14500
		185536	04/29/21	031221 INV	44.16CR		572138		D	-				INVENTORY - LIQU	609.00.14500
		185536	04/29/21	040221 INV	75.00CR		574941		D	-				INVENTORY - LIQU	609.00.14500
		185536	04/29/21	040921 INV	727.40		575766		D	-				INVENTORY - LIQU	609.00.14500
		185536	04/29/21	041621 INV	587.00		576666		D	-				INVENTORY - LIQU	609.00.14500
					2,233.91	*CHECK	TOTAL								
		185615	05/06/21	042321 INV	816.00		577577		D	-				INVENTORY - LIQU	609.00.14500
		185615	05/06/21	042321 INV	629.00		577608		D	-				INVENTORY - LIQU	609.00.14500
					1,445.00	*CHECK	TOTAL								
VENDOR TOTAL					3,678.91										

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MEGA BEER LLC				027500											
	185537	04/29/21	041421	INV	405.00		7052			D	-			INVENTORY - LIQU	609.00.14500
	185616	05/06/21	042121	INV	79.00		7183			D	-			INVENTORY - LIQU	609.00.14500
				VENDOR TOTAL	484.00										
MENARDS - BLAINE				090890											
	185617	05/06/21	FLOWER POTS,TWINE		26.76		13567	042121	P	D	-			GENERAL SUPPLIES	101.45040.2171
	185617	05/06/21	BBQ SAUCE		5.34		13567	042121	P	D	-			FOOD SUPPLIES	101.45040.2175
					32.10	*CHECK	TOTAL								
				VENDOR TOTAL	32.10										
MENARDS CASHWAY LUMBER-F				004550											
	185618	05/06/21	DRAIN SNAKE		2.49		48628	040921	P	D	-			GENERAL SUPPLIES	101.45200.2171
	185618	05/06/21	THERMOSTAT,HASP,ELEMENT		39.74		48640	040921	P	D	-			GENERAL SUPPLIES	101.45200.2171
					42.23	*CHECK	TOTAL								
				VENDOR TOTAL	42.23										
METRO CHIEFS OFFICER FIR				012500											
	185538	04/29/21	2021 DUES THOMPSON,OBRIE		200.00		2021			D	-			SUBSCRIPTION, ME	101.42200.4330
METROPOLITAN COUNCIL WAS				004610											
	185619	05/06/21	VACTOR PERMIT FEE 2021		425.00		0001123301			D	-			TAXES & LICENSES	602.49450.4390
MIDWEST TAPE				001575											
	185539	04/29/21	DVDS (ADJULT/YOUTH)		410.12		500232595	022521	P	D	-			DVD	240.45500.2189
	185539	04/29/21	DVD (YOUTH)		7.49		500295303	022521	P	D	-			DVD	240.45500.2189
	185539	04/29/21	DVDS (ADULT)		29.98		500295304	020821	P	D	-			DVD	240.45500.2189
	185539	04/29/21	MUSIC CD (ADULT)		8.99		500295305	012721	P	D	-			COMPACT DISCS	240.45500.2185
					456.58	*CHECK	TOTAL								
				VENDOR TOTAL	456.58										
MILK AND HONEY LLC				026440											
	185620	05/06/21	041521 INV		132.00		8358			D	-			INVENTORY - LIQU	609.00.14500
MN FIRE SERVICE CERTIFIC				014165											
	185621	05/06/21	INSTR II EXAM,KH,EK,TM		390.00		8672			D	-			TRAINING & EDUC	101.42200.3105
MN HIGHWAY SAFETY & RESE				008510											
	185622	05/06/21	PIT HYBRID MWEISSER		595.00		629430-8472			D	-			TRAINING & EDUC	101.42100.3105
MODIST BREWING CO LLC				025305											
	185623	05/06/21	042221 INV		157.00		E-21196			D	-			INVENTORY - LIQU	609.00.14500
OFFICE DEPOT				000085											
	185540	04/29/21	PAPER,ENVELOPES		15.84		164598964001			D	-			OFFICE SUPPLIES	240.45500.2000
	185540	04/29/21	PAPER		20.99		164598964001			D	-			PROGRAM SUPPLIES	240.45500.2170
	185540	04/29/21	SPRAY CLEANER		13.58		164598964001			D	-			GENERAL SUPPLIES	240.45500.2171
					50.41	*CHECK	TOTAL								
				VENDOR TOTAL	50.41										

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OFFICE DEPOT 021605													
185624	05/06/21	COPY PAPER	9.83		165803397001		D	-				OFFICE SUPPLIES	101.43100.2000
185624	05/06/21	COPY PAPER	9.83		165803397001		D	-				OFFICE SUPPLIES	101.43121.2000
185624	05/06/21	COPY PAPER	9.83		165803397001		D	-				OFFICE SUPPLIES	101.45200.2000
185624	05/06/21	COPY PAPER	9.83		165803397001		D	-				OFFICE SUPPLIES	601.49430.2000
185624	05/06/21	COPY PAPER	9.83		165803397001		D	-				OFFICE SUPPLIES	602.49450.2000
185624	05/06/21	COPY PAPER	9.83		165803397001		D	-				OFFICE SUPPLIES	701.49950.2000
185624	05/06/21	PAPER, ENVELOPES	68.89		169936108001		D	-				OFFICE SUPPLIES	101.41510.2000
185624	05/06/21	COPPY PAPER	226.49		169936108001		D	-				OFFICE SUPPLIES	101.41940.2000
			354.36	*CHECK	TOTAL								
		VENDOR TOTAL	354.36										
OMNI BREWING COMPANY, LL 026545													
185625	05/06/21	041521 INV	253.00		E-9535		D	-				INVENTORY - LIQU	609.00.14500
PAUSTIS & SONS WINE COMP 005860													
185541	04/29/21	041421 INV	200.00		123891		D	-				INVENTORY - LIQU	609.00.14500
185541	04/29/21	041421 DEL	4.50		123891		D	-				DELIVERY	609.49792.2199
185541	04/29/21	041421 INV	881.00		123892		D	-				INVENTORY - LIQU	609.00.14500
185541	04/29/21	041421 DEL	11.25		123892		D	-				DELIVERY	609.49791.2199
			1,096.75	*CHECK	TOTAL								
185626	05/06/21	042821 INV	1,203.00		125438		D	-				INVENTORY - LIQU	609.00.14500
185626	05/06/21	042821 DEL	16.25		125438		D	-				DELIVERY	609.49792.2199
185626	05/06/21	042821 INV	3,461.00		125445		D	-				INVENTORY - LIQU	609.00.14500
185626	05/06/21	042821 DEL	47.50		125445		D	-				DELIVERY	609.49791.2199
			4,727.75	*CHECK	TOTAL								
		VENDOR TOTAL	5,824.50										
PHILLIPS WINE & SPIRITS 004810													
185542	04/29/21	040721 INV	160.00		6185212		D	-				INVENTORY - LIQU	609.00.14500
185542	04/29/21	040721 DEL	1.21		6185212		D	-				DELIVERY	609.49791.2199
185542	04/29/21	040721 INV	2,053.75		6185213		D	-				INVENTORY - LIQU	609.00.14500
185542	04/29/21	040721 DEL	16.94		6185213		D	-				DELIVERY	609.49791.2199
185542	04/29/21	040721 INV	954.00		6185214		D	-				INVENTORY - LIQU	609.00.14500
185542	04/29/21	040721 DEL	8.07		6185214		D	-				DELIVERY	609.49791.2199
185542	04/29/21	040721 INV	428.25		6185215		D	-				INVENTORY - LIQU	609.00.14500
185542	04/29/21	040721 DEL	6.66		6185215		D	-				DELIVERY	609.49791.2199
185542	04/29/21	040721 INV	2,095.35		6185216		D	-				INVENTORY - LIQU	609.00.14500
185542	04/29/21	040721 DEL	16.94		6185216		D	-				DELIVERY	609.49792.2199
185542	04/29/21	040721 INV	221.00		6185217		D	-				INVENTORY - LIQU	609.00.14500
185542	04/29/21	040721 DEL	2.42		6185217		D	-				DELIVERY	609.49792.2199
185542	04/29/21	040821 INV	304.00		6186099		D	-				INVENTORY - LIQU	609.00.14500
185542	04/29/21	040821 DEL	2.42		6186099		D	-				DELIVERY	609.49791.2199
185542	04/29/21	040821 INV	288.00		6186100		D	-				INVENTORY - LIQU	609.00.14500
185542	04/29/21	040821 DEL	4.84		6186100		D	-				DELIVERY	609.49791.2199
185542	04/29/21	040821 INV	191.85		6186101		D	-				INVENTORY - LIQU	609.00.14500
185542	04/29/21	040821 DEL	3.63		6186101		D	-				DELIVERY	609.49791.2199

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PHILLIPS WINE & SPIRITS				004810											
		185542	04/29/21	040821 INV	58.46		6186102		D	-				INVENTORY - LIQU	609.00.14500
		185542	04/29/21	040821 DEL	1.21		6186102		D	-				DELIVERY	609.49791.2199
		185542	04/29/21	040821 INV	38.00		6186103		D	-				INVENTORY - LIQU	609.00.14500
		185542	04/29/21	040821 DEL	1.21		6186103		D	-				DELIVERY	609.49791.2199
		185542	04/29/21	040821 INV	127.90		6186107		D	-				INVENTORY - LIQU	609.00.14500
		185542	04/29/21	040821 DEL	2.42		6186107		D	-				DELIVERY	609.49792.2199
					6,988.53	*CHECK	TOTAL								
		185627	05/06/21	041521 INV	815.00		6189566		D	-				INVENTORY - LIQU	609.00.14500
		185627	05/06/21	041521 DEL	12.10		6189566		D	-				DELIVERY	609.49791.2199
		185627	05/06/21	041521 INV	330.00		6189567		D	-				INVENTORY - LIQU	609.00.14500
		185627	05/06/21	041521 DEL	6.05		6189567		D	-				DELIVERY	609.49791.2199
		185627	05/06/21	041521 INV	565.00		6189568		D	-				INVENTORY - LIQU	609.00.14500
		185627	05/06/21	041521 DEL	25.42		6189568		D	-				DELIVERY	609.49791.2199
		185627	05/06/21	041521 INV	1,312.00		6189569		D	-				INVENTORY - LIQU	609.00.14500
		185627	05/06/21	041521 DEL	41.15		6189569		D	-				DELIVERY	609.49791.2199
		185627	05/06/21	041521 INV	282.50		6189571		D	-				INVENTORY - LIQU	609.00.14500
		185627	05/06/21	041521 DEL	12.71		6189571		D	-				DELIVERY	609.49792.2199
		185627	05/06/21	041521 INV	330.00		6189572		D	-				INVENTORY - LIQU	609.00.14500
		185627	05/06/21	041521 DEL	6.05		6189572		D	-				DELIVERY	609.49792.2199
		185627	05/06/21	041521 INV	48.00		6189573		D	-				INVENTORY - LIQU	609.00.14500
		185627	05/06/21	041521 DEL	1.21		6189573		D	-				DELIVERY	609.49792.2199
		185627	05/06/21	041521 INV	278.64		6189574		D	-				INVENTORY - LIQU	609.00.14500
		185627	05/06/21	041521 DEL	3.63		6189574		D	-				DELIVERY	609.49792.2199
		185627	05/06/21	041521 INV	708.00		6189575		D	-				INVENTORY - LIQU	609.00.14500
		185627	05/06/21	041521 DEL	21.78		6189575		D	-				DELIVERY	609.49792.2199
					4,799.24	*CHECK	TOTAL								
				VENDOR TOTAL	11,787.77										
POINT EMBLEMS				022950											
		185628	05/06/21	CHALLENGE COINS	1,235.00		11419		D	-				GENERAL SUPPLIES	101.42100.2171
POLISH AMERICAN JOURNAL				099227											
		185543	04/29/21	ONE YEAR SUBSCRIPTION	25.00		2021		D	-				PERIODICALS, MAG	240.45500.2181
POPP.COM INC				022200											
		185629	05/06/21	USE TAX ON LIQ	5.05CR		992666890	202130	F	D	-			STATE USE TAX	101.00.20815
		185629	05/06/21	032621-10013121	12.09		992666890	202130	F	D	-			TELEPHONE & TELE	101.41110.3210
		185629	05/06/21	032621-10013121	30.98		992666890	202130	F	D	-			TELEPHONE & TELE	101.41320.3210
		185629	05/06/21	032621-10013121	48.79		992666890	202130	F	D	-			TELEPHONE & TELE	101.41510.3210
		185629	05/06/21	032621-10013121	3.06		992666890	202130	F	D	-			TELEPHONE & TELE	101.41940.3210
		185629	05/06/21	032621-10013121	154.32		992666890	202130	F	D	-			TELEPHONE & TELE	101.42100.3210
		185629	05/06/21	032621-10013121	74.73		992666890	202130	F	D	-			TELEPHONE & TELE	101.42200.3210
		185629	05/06/21	032621-10013121	65.17		992666890	202130	F	D	-			TELEPHONE & TELE	101.43100.3210
		185629	05/06/21	032621-10013121	1.41		992666890	202130	F	D	-			TELEPHONE & TELE	101.43121.3210
		185629	05/06/21	032621-10013121	10.34		992666890	202130	F	D	-			TELEPHONE & TELE	101.45000.3210
		185629	05/06/21	032621-10013121	48.27		992666890	202130	F	D	-			TELEPHONE & TELE	101.45129.3210
		185629	05/06/21	032621-10013121	4.85		992666890	202130	F	D	-			TELEPHONE & TELE	101.45200.3210
		185629	05/06/21	032621-10013121	84.56		992666890	202130	F	D	-			TELEPHONE & TELE	204.46314.3210

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POPP.COM INC				022200											
		185629	05/06/21	032621-10013121	29.88		992666890	202130	F	D	-			TELEPHONE & TELE	240.45500.3210
		185629	05/06/21	032621-10013121	13.48		992666890	202130	F	D	-			TELEPHONE & TELE	601.49430.3210
		185629	05/06/21	032621-10013121TX	41.62		992666890	202130	F	D	-			TELEPHONE & TELE	609.49791.3210
		185629	05/06/21	032621-10013121TX	28.99		992666890	202130	F	D	-			TELEPHONE & TELE	609.49792.3210
		185629	05/06/21	032621-10013121TX	7.90		992666890	202130	F	D	-			TELEPHONE & TELE	609.49793.3210
		185629	05/06/21	032621-10013121	7.70		992666890	202130	F	D	-			TELEPHONE & TELE	701.49950.3210
		185629	05/06/21	032621-10013121	27.12		992666890	202130	F	D	-			TELEPHONE & TELE	720.49980.3210
		185629	05/06/21	USE TAX ON LIQ	4.00	CR	992671730	202130	F	D	-			STATE USE TAX	101.00.20815
		185629	05/06/21	042621-10013121	9.57		992671730	202130	F	D	-			TELEPHONE & TELE	101.41110.3210
		185629	05/06/21	042621-10013121	24.52		992671730	202130	F	D	-			TELEPHONE & TELE	101.41320.3210
		185629	05/06/21	042621-10013121	38.61		992671730	202130	F	D	-			TELEPHONE & TELE	101.41510.3210
		185629	05/06/21	042621-10013121	2.42		992671730	202130	F	D	-			TELEPHONE & TELE	101.41940.3210
		185629	05/06/21	042621-10013121	130.14		992671730	202130	F	D	-			TELEPHONE & TELE	101.42100.3210
		185629	05/06/21	042621-10013121	63.20		992671730	202130	F	D	-			TELEPHONE & TELE	101.42200.3210
		185629	05/06/21	042621-10013121	57.32		992671730	202130	F	D	-			TELEPHONE & TELE	101.43100.3210
		185629	05/06/21	042621-10013121	1.11		992671730	202130	F	D	-			TELEPHONE & TELE	101.43121.3210
		185629	05/06/21	042621-10013121	8.18		992671730	202130	F	D	-			TELEPHONE & TELE	101.45000.3210
		185629	05/06/21	042621-10013121	38.20		992671730	202130	F	D	-			TELEPHONE & TELE	101.45129.3210
		185629	05/06/21	042621-10013121	3.84		992671730	202130	F	D	-			TELEPHONE & TELE	101.45200.3210
		185629	05/06/21	042621-10013121	61.84		992671730	202130	F	D	-			TELEPHONE & TELE	204.46314.3210
		185629	05/06/21	042621-10013121	23.65		992671730	202130	F	D	-			TELEPHONE & TELE	240.45500.3210
		185629	05/06/21	042621-10013121	10.67		992671730	202130	F	D	-			TELEPHONE & TELE	601.49430.3210
		185629	05/06/21	042621-10013121TX	32.94		992671730	202130	F	D	-			TELEPHONE & TELE	609.49791.3210
		185629	05/06/21	042621-10013121TX	22.95		992671730	202130	F	D	-			TELEPHONE & TELE	609.49792.3210
		185629	05/06/21	042621-10013121TX	6.25		992671730	202130	F	D	-			TELEPHONE & TELE	609.49793.3210
		185629	05/06/21	042621-10013121	6.09		992671730	202130	F	D	-			TELEPHONE & TELE	701.49950.3210
		185629	05/06/21	042621-10013121	21.48		992671730	202130	F	D	-			TELEPHONE & TELE	720.49980.3210
					1,249.19		*CHECK TOTAL								
				VENDOR TOTAL	1,249.19										
PREMIUM WATERS INC				000273											
		185544	04/29/21	WATER	13.05		318096438			D	-			GENERAL SUPPLIES	101.41110.2171
		185544	04/29/21	WATER	8.70		318096439			D	-			GENERAL SUPPLIES	101.41510.2171
		185544	04/29/21	WATER	13.05		318096441			D	-			GENERAL SUPPLIES	101.41510.2171
		185544	04/29/21	042121 WATER	4.50		318104895			D	-			GENERAL SUPPLIES	609.49791.2171
					39.30		*CHECK TOTAL								
		185630	05/06/21	WATER	4.35		318096440			D	-			GENERAL SUPPLIES	201.42400.2171
		185630	05/06/21	042021 WATER	22.50		318101823			D	-			GENERAL SUPPLIES	609.49792.2171
		185630	05/06/21	STATE USE TAX	0.41	CR	318122029			D	-			STATE USE TAX	101.00.20815
		185630	05/06/21	043021 COOLERS	6.41		318122029			D	-			GENERAL SUPPLIES	609.49791.2171
		185630	05/06/21	STATE USE TAX	0.21	CR	318122030			D	-			STATE USE TAX	101.00.20815
		185630	05/06/21	043021 COOLER	3.21		318122030			D	-			GENERAL SUPPLIES	609.49792.2171
		185630	05/06/21	STATE USE TAX	0.21	CR	318122031			D	-			STATE USE TAX	101.00.20815
		185630	05/06/21	043021 COOLER	3.21		318122031			D	-			GENERAL SUPPLIES	609.49793.2171
					38.85		*CHECK TOTAL								
				VENDOR TOTAL	78.15										

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PRYES BREWING COMPANY LL 026805		185545	04/29/21	040721 INV	142.00		W-21386		D	-				INVENTORY - LIQU	609.00.14500
		185545	04/29/21	040821 INV	71.00		W-21410		D	-				INVENTORY - LIQU	609.00.14500
					213.00	*CHECK	TOTAL								
		185631	05/06/21	041621 INV	265.00		W-21661		D	-				INVENTORY - LIQU	609.00.14500
		185631	05/06/21	042721 INV	180.33		W-21955		D	-				INVENTORY - LIQU	609.00.14500
					445.33	*CHECK	TOTAL								
				VENDOR TOTAL	658.33										
QUADIENIT INC 099197		185632	05/06/21	HI CAPACITY INK	194.91		16367890		D	-				GENERAL SUPPLIES	101.41940.2171
RECDESK LLC 028800		185633	05/06/21	REC REG SFTWR 0521-052	7,000.00		INV-11562	067713	F	D	N	01		REPAIR & MAINT.	101.45000.4000
RESPEC INC 024140		185546	04/29/21	GIS SERVICES-MAR 2021	1,478.24		INV-0321-244	002991	P	D	-			EXPERT & PROFESS	101.43100.3050
		185546	04/29/21	GIS SERVICES-MAR 2021	136.88		INV-0321-244	002991	P	D	-			EXPERT & PROFESS	101.43121.3050
		185546	04/29/21	GIS SERVICES-MAR 2021	136.88		INV-0321-244	002991	P	D	-			EXPERT & PROFESS	101.45200.3050
		185546	04/29/21	GIS SERVICES-MAR 2021	328.50		INV-0321-244	002991	P	D	-			EXPERT & PROFESS	601.49430.3050
		185546	04/29/21	GIS SERVICES-MAR 2021	328.50		INV-0321-244	002991	P	D	-			EXPERT & PROFESS	602.49450.3050
		185546	04/29/21	GIS SERVICES-MAR 2021	328.50		INV-0321-244	002991	P	D	-			EXPERT & PROFESS	701.49950.3050
					2,737.50	*CHECK	TOTAL								
				VENDOR TOTAL	2,737.50										
ROHN INDUSTRIES INC 025250		185634	05/06/21	SHREDDING 041221	15.00		549460		D	-				REPAIR & MAINT.	101.41410.4000
ROYAL TIRE 003400		185547	04/29/21	TIRES-INVENTORY	525.32		303-189930		D	-				GARAGE INVENTORY	701.00.14120
		185547	04/29/21	TRACTOR TIRES #0242	598.70		303-189931		D	-				GARAGE INVENTORY	701.00.14120
					1,124.02	*CHECK	TOTAL								
				VENDOR TOTAL	1,124.02										
SADOWSKI/LEE JEROME 028840		185635	05/06/21	UMPIRE 041521-042321	270.00		042321		D	N	01			EXPERT & PROFESS	101.45003.3050
SHORT ELLIOT HENDRICKSON 001260		185548	04/29/21	CELL TOWER	1,175.00		403632		D	-				EXPERT & PROFESS	408.52014.3050
SILVERWOOD PARK .01007		185549	04/29/21	BRANCH OUT INTO ART	130.00		041021		D	-				EXPERT & PROFESS	262.45017.3050
SOUTHERN GLAZER'S 020261		185550	04/29/21	041521 DEL	5.76		2068792		D	-				DELIVERY	609.49791.2199
		185550	04/29/21	041521 INV	267.50		2068793		D	-				INVENTORY - LIQU	609.00.14500
		185550	04/29/21	041521 DEL	6.72		2068793		D	-				DELIVERY	609.49791.2199

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SOUTHERN GLAZER'S		020261											
185550	04/29/21	041521 INV	359.70		2068794		D	-				INVENTORY - LIQU	609.00.14500
185550	04/29/21	041521 DEL	8.96		2068794		D	-				DELIVERY	609.49791.2199
185550	04/29/21	041521 INV	766.32		2068795		D	-				INVENTORY - LIQU	609.00.14500
185550	04/29/21	041521 DEL	5.76		2068795		D	-				DELIVERY	609.49791.2199
185550	04/29/21	041521 INV	752.00		2068796		D	-				INVENTORY - LIQU	609.00.14500
185550	04/29/21	041521 DEL	19.52		2068796		D	-				DELIVERY	609.49791.2199
185550	04/29/21	041521 DEL	3.84		2068797		D	-				DELIVERY	609.49792.2199
185550	04/29/21	041521 INV	323.14		2068798		D	-				INVENTORY - LIQU	609.00.14500
185550	04/29/21	041521 DEL	7.68		2068798		D	-				DELIVERY	609.49792.2199
185550	04/29/21	041521 INV	2,652.00		2068799		D	-				INVENTORY - LIQU	609.00.14500
185550	04/29/21	041521 DEL	14.08		2068799		D	-				DELIVERY	609.49792.2199
185550	04/29/21	041521 INV	337.07		2068800		D	-				INVENTORY - LIQU	609.00.14500
185550	04/29/21	041521 DEL	3.84		2068800		D	-				DELIVERY	609.49792.2199
185550	04/29/21	041521 INV	900.00		2068801		D	-				INVENTORY - LIQU	609.00.14500
185550	04/29/21	041521 DEL	17.92		2068801		D	-				DELIVERY	609.49792.2199
185550	04/29/21	041521 INV	96.00		2068802		D	-				INVENTORY - LIQU	609.00.14500
185550	04/29/21	041521 DEL	1.28		2068802		D	-				DELIVERY	609.49792.2199
185550	04/29/21	041521 INV	338.00		2068803		D	-				INVENTORY - LIQU	609.00.14500
185550	04/29/21	041521 DEL	5.12		2068803		D	-				DELIVERY	609.49792.2199
			6,892.21	*CHECK	TOTAL								
185636	05/06/21	040821 INV	2,805.24		2066133		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	040821 DEL	15.36		2066133		D	-				DELIVERY	609.49792.2199
185636	05/06/21	042221 INV	1,680.00		2071343		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	042221 DEL	23.04		2071343		D	-				DELIVERY	609.49791.2199
185636	05/06/21	042221 INV	450.00		2071344		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	042221 DEL	16.64		2071344		D	-				DELIVERY	609.49791.2199
185636	05/06/21	042221 INV	920.10		2071345		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	042221 DEL	15.36		2071345		D	-				DELIVERY	609.49791.2199
185636	05/06/21	042221 INV	1,546.30		2071346		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	042221 DEL	7.04		2071346		D	-				DELIVERY	609.49791.2199
185636	05/06/21	042221 INV	1,443.60		2071347		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	042221 DEL	34.56		2071347		D	-				DELIVERY	609.49791.2199
185636	05/06/21	042221 INV	2,159.40		2071350		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	042221 DEL	19.20		2071350		D	-				DELIVERY	609.49792.2199
185636	05/06/21	042221 INV	1,680.00		2071351		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	042221 DEL	23.04		2071351		D	-				DELIVERY	609.49792.2199
185636	05/06/21	042221 INV	450.00		2071352		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	042221 DEL	16.64		2071352		D	-				DELIVERY	609.49792.2199
185636	05/06/21	042921 INV	1,145.25		207166		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	042921 DEL	15.36		207166		D	-				DELIVERY	609.49791.2199
185636	05/06/21	042921 INV	337.49		2074163		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	042921 DEL	1.28		2074163		D	-				DELIVERY	609.49791.2199
185636	05/06/21	042921 INV	247.50		2074164		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	042921 DEL	1.28		2074164		D	-				DELIVERY	609.49791.2199
185636	05/06/21	042921 INV	1,458.00		2074165		D	-				INVENTORY - LIQU	609.00.14500
185636	05/06/21	042921 DEL	14.08		2074165		D	-				DELIVERY	609.49791.2199

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SOUTHERN GLAZER'S				020261											
		185636	05/06/21	042921 INV	504.00		2074167		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	6.40		2074167		D	-				DELIVERY	609.49791.2199
		185636	05/06/21	042921 INV	317.97		2074168		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	6.40		2074168		D	-				DELIVERY	609.49791.2199
		185636	05/06/21	042921 INV	615.92		2074169		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	12.80		2074169		D	-				DELIVERY	609.49791.2199
		185636	05/06/21	042921 INV	1,241.46		2074171		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	8.96		2074171		D	-				DELIVERY	609.49791.2199
		185636	05/06/21	042921 INV	886.87		2074174		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	12.80		2074174		D	-				DELIVERY	609.49791.2199
		185636	05/06/21	042921 INV	288.00		2074175		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	3.84		2074175		D	-				DELIVERY	609.49791.2199
		185636	05/06/21	042921 INV	332.84		2074176		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	5.12		2074176		D	-				DELIVERY	609.49791.2199
		185636	05/06/21	042921 INV	3,352.00		2074177		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	89.81		2074177		D	-				DELIVERY	609.49791.2199
		185636	05/06/21	042921 DEL	3.20		2074178		D	-				DELIVERY	609.49792.2199
		185636	05/06/21	042921 INV	247.50		2074179		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	1.28		2074179		D	-				DELIVERY	609.49792.2199
		185636	05/06/21	042921 INV	682.72		2074180		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	5.33		2074180		D	-				DELIVERY	609.49792.2199
		185636	05/06/21	042921 INV	2,817.00		2074181		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	79.57		2074181		D	-				DELIVERY	609.49792.2199
		185636	05/06/21	042921 INV	1,458.00		2074184		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	14.08		2074184		D	-				DELIVERY	609.49792.2199
		185636	05/06/21	042921 INV	416.05		2074186		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	042921 DEL	6.40		2074186		D	-				DELIVERY	609.49792.2199
		185636	05/06/21	033121 INV	2,321.28		5068346		D	-				INVENTORY - LIQU	609.00.14500
		185636	05/06/21	033121 DEL	15.36		5068346		D	-				DELIVERY	609.49792.2199
					32,278.72										
				VENDOR TOTAL	39,170.93		*CHECK TOTAL								
STAN MORGAN AND ASSOCIAT				028820											
		185637	05/06/21	1ST HALF SHELVING	5,800.00		60923	067716	P	D	-			OTHER EQUIPMENT	609.49794.5180
STAR TRIBUNE				005430											
		185551	04/29/21	SUBSCRIPN 042021-072021	49.40		134054		D	-				SUBSCRIPTION, ME	101.45040.4330
SUNRAM CONSTRUCTION INC				027355											
		185638	05/06/21	RELEASE RETAINAGE	32,225.74		5	002987	P	D	-			CONTRACTS PAY RE	415.00.20610
TIMESAVER OFF SITE SECRE				027015											
		185552	04/29/21	PLANNING MINUTES 040621	267.50		#M26364		D	-				EXPERT & PROFESS	201.42400.3050
TITAN MACHINERY INC				021455											
		185553	04/29/21	HYD COUPLER KIT #0213	1,050.00		15362619		D	-				GARAGE INVENTORY	701.00.14120

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TRIO SUPPLY COMPANY INC				099518											
		185554	04/29/21	TRASH BAGS	799.50		672035		D	-				GENERAL SUPPLIES	101.45200.2171
		185554	04/29/21	BAGS,TWLS,TP,SOAP,CLNR	259.48		673216		D	-				GENERAL SUPPLIES	101.41940.2171
					1,058.98	*CHECK	TOTAL								
		185639	05/06/21	GLASS CLEANER	33.15		674644		D	-				GENERAL SUPPLIES	101.41940.2171
				VENDOR TOTAL	1,092.13										
TRUGREEN CHEMLAWN				013155											
		185640	05/06/21	WEED CNTL-GATEWAY 032521	453.95		135833945		D	N	01			REPAIR & MAINT.	101.45200.4000
		185640	05/06/21	WEED CNTL-NAWROCK1032521	65.00		135833945		D	N	01			REPAIR & MAINT.	101.45200.4000
		185640	05/06/21	WEED CNTL PSB 032521	81.56		4635097159		D	N	01			REPAIR & MAINT.	101.42100.4000
		185640	05/06/21	WEED CNTL PSB 032521	81.55		4635097159		D	N	01			REPAIR & MAINT.	101.42200.4000
					682.06	*CHECK	TOTAL								
				VENDOR TOTAL	682.06										
TRUPE/KATHLEEN				.01015											
		185641	05/06/21	FINAL/REFUND 4433 2ND	106.01		032921		D	-				REFUND PAYABLE	601.00.20120
TWIN CITY WATER CLINIC I				020465											
		185642	05/06/21	COLIFORM TESTING 0321	220.00		15824		D	-				EXPERT & PROFESS	601.49430.3050
ULINE INC				099766											
		185643	05/06/21	EYE WASH STATION	466.98		132376602		D	-				MINOR EQUIPMENT	701.49950.2010
		185643	05/06/21	SALINE CARTRIDGE	175.12		132376602		D	-				GENERAL SUPPLIES	701.49950.2171
		185643	05/06/21	STEEL STRAPPING COIL	116.00		132607849		D	-				GENERAL SUPPLIES	212.43190.2171
					758.10	*CHECK	TOTAL								
				VENDOR TOTAL	758.10										
UNIQUE MANAGEMENT SERVIC				020320											
		185555	04/29/21	0321 PLACEMENTS	8.95		600552	002307	P	D	-			EXPERT & PROFESS	240.45500.3050
URBAN GROWLER BREWING CO				025450											
		185644	05/06/21	041421 INV	92.00		E-28395		D	-				INVENTORY - LIQU	609.00.14500
VACKER SIGNS INC				099685											
		185556	04/29/21	SLVR LK BOAT LANDING S	3,830.00		2623	067698	F	D	-			MINOR EQUIPMENT	653.51801.2010
VERIZON WIRELESS				013270											
		185557	04/29/21	041021 742128747-00001	640.16		9877406971		D	-				OTHER COMMUNICAT	101.42100.3250
VINOCOPIA INC				099231											
		185558	04/29/21	041321 INV	88.00		0276957-IN		D	-				INVENTORY - LIQU	609.00.14500
		185558	04/29/21	041321 DEL	2.50		0276957-IN		D	-				DELIVERY	609.49792.2199
					90.50	*CHECK	TOTAL								
		185645	05/06/21	042721 INV	80.00		0277858-IN		D	-				INVENTORY - LIQU	609.00.14500
		185645	05/06/21	042721 DEL	2.50		0277858-IN		D	-				DELIVERY	609.49792.2199

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VINOCOPIA INC 099231													
185645	05/06/21	042721 INV	256.96		0277872-IN		D	-				INVENTORY - LIQU	609.00.14500
185645	05/06/21	042721 DEL	7.50		0277872-IN		D	-				DELIVERY	609.49791.2199
185645	05/06/21	042721 INV	2,402.00		0277873-IN		D	-				INVENTORY - LIQU	609.00.14500
185645	05/06/21	042721 DEL	24.00		0277873-IN		D	-				DELIVERY	609.49791.2199
			2,772.96	*CHECK	TOTAL								
		VENDOR TOTAL	2,863.46										
VIRIDI INVESTMENTS LLC 025125													
185559	04/29/21	041521-041421SOLAR POWER	472.76		041521	002703	P	D	-			ELECTRIC	609.49791.3810
WINE MERCHANTS 013940													
185646	05/06/21	041521 INV	560.00		7325730		D	-				INVENTORY - LIQU	609.00.14500
185646	05/06/21	041521 DEL	7.26		7325730		D	-				DELIVERY	609.49791.2199
185646	05/06/21	041521 INV	138.00		7325731		D	-				INVENTORY - LIQU	609.00.14500
185646	05/06/21	041521 DEL	6.05		7325731		D	-				DELIVERY	609.49791.2199
			711.31	*CHECK	TOTAL								
		VENDOR TOTAL	711.31										
XCEL ENERGY (N S P) 005695													
185560	04/29/21	040921 51-7085831-0	1,527.00		0895430112		D	-				ELECTRIC	101.41940.3810
185560	04/29/21	041421 51-4159573-1	58.15		0896243625		D	-				ELECTRIC	212.43190.3810
185560	04/29/21	041421 51-4159573-1	62.71		0896243801		D	-				ELECTRIC	101.43121.3810
185560	04/29/21	041421 51-4159573-1	62.71		0896243801		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	62.71		0896243801		D	-				ELECTRIC	601.49430.3810
185560	04/29/21	041421 51-4159573-1	62.71		0896243801		D	-				ELECTRIC	602.49450.3810
185560	04/29/21	041421 51-4159573-1	1,181.42		0896243838		D	-				ELECTRIC	601.49430.3810
185560	04/29/21	041421 51-4159573-1	124.06		0896243963		D	-				ELECTRIC	212.43190.3810
185560	04/29/21	041421 51-4159573-1	25.62		0896244093		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	54.78		0896244208		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	61.05		0896244291		D	-				ELECTRIC	212.43190.3810
185560	04/29/21	041421 51-4159573-1	37.90		0896244376		D	-				ELECTRIC	212.43190.3810
185560	04/29/21	041421 51-4159573-1	55.98		0896244523		D	-				ELECTRIC	101.43160.3810
185560	04/29/21	041421 51-4159573-1	55.99		0896244523		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	68.42		0896244523		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	55.99		0896244523		D	-				ELECTRIC	604.49650.3810
185560	04/29/21	041421 51-4159573-1	346.70		0896244749		D	-				ELECTRIC	602.49450.3810
185560	04/29/21	041421 51-4159573-1	11.32		0896244847		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	11.32		0896245045		D	-				ELECTRIC	601.49430.3810
185560	04/29/21	041421 51-4159573-1	52.80		0896245149		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	30.15		0896245242		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	33.97		0896245359		D	-				ELECTRIC	101.43160.3810
185560	04/29/21	041421 51-4159573-1	18.66		0896245594		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	24.69		0896245760		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	134.70		0896245890		D	-				ELECTRIC	602.49450.3810
185560	04/29/21	041421 SOLAR GARDEN CR	106.25CR		0896245890		D	-				ELECTRIC	602.49450.3810
185560	04/29/21	041421 SOLAR GARDEN CR	103.28CR		0896245890		D	-				ELECTRIC	602.49450.3810
185560	04/29/21	041421 51-4159573-1	11.32		0896245911		D	-				ELECTRIC	604.49650.3810
185560	04/29/21	041421 SOLAR GARDEN CR	47.04CR		0896245911		D	-				ELECTRIC	604.49650.3810

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XCEL ENERGY (N S P) 005695													
185560	04/29/21	041421 51-4159573-1	115.63		0896245923		D	-				ELECTRIC	602.49450.3810
185560	04/29/21	041421 51-4159573-1	22.01		0896245965		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	39.18		0896246117		D	-				ELECTRIC	212.43190.3810
185560	04/29/21	041421 51-4159573-1	45.15		0896246368		D	-				ELECTRIC	212.43190.3810
185560	04/29/21	041421 51-4159573-1	23.76		0896246624		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	30.70		0896246724		D	-				ELECTRIC	212.43190.3810
185560	04/29/21	041421 51-4159573-1	117.20		0896246817		D	-				ELECTRIC	603.49530.3810
185560	04/29/21	041421 51-4159573-1	51.75		0896247030		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	45.85		0896247248		D	-				ELECTRIC	212.43190.3810
185560	04/29/21	041421 51-4159573-1	822.97		0896247692		D	-				ELECTRIC	701.49950.3810
185560	04/29/21	041421 SOLAR ROOF CREDIT	963.95CR		0896247692		D	-				ELECTRIC	701.49950.3810
185560	04/29/21	041421 51-4159573-1	47.70		0896248169		D	-				ELECTRIC	101.45200.3810
185560	04/29/21	041421 51-4159573-1	68.53		0896250421		D	-				ELECTRIC	101.43160.3810
185560	04/29/21	042121 51-0011136455-0	1,612.23		0897477257		D	-				ELECTRIC	240.45500.3810
185560	04/29/21	042121 SOLAR CREDIT	201.61CR		0897477257		D	-				ELECTRIC	240.45500.3810
185560	04/29/21	042121 51-5047554-2	2,478.83		0897477284		D	-				ELECTRIC	101.42100.3810
185560	04/29/21	042121 SOLAR GARDEN CR	98.50CR		0897477284		D	-				ELECTRIC	101.42100.3810
185560	04/29/21	042121 SOLAR GARDEN CR	152.94CR		0897477284		D	-				ELECTRIC	101.42100.3810
185560	04/29/21	042121 SOLAR GARDEN CR	239.14CR		0897477284		D	-				ELECTRIC	101.42100.3810
185560	04/29/21	042121 SOLAR CREDIT-ROOF	39.98CR		0897477284		D	-				ELECTRIC	101.42100.3810
185560	04/29/21	042121 51-5047554-2	2,478.82		0897477284		D	-				ELECTRIC	101.42200.3810
185560	04/29/21	042121 SOLAR GARDEN CR	98.49CR		0897477284		D	-				ELECTRIC	101.42200.3810
185560	04/29/21	042121 SOLAR GARDEN CR	152.93CR		0897477284		D	-				ELECTRIC	101.42200.3810
185560	04/29/21	042121 SOLAR GARDEN CR	239.15CR		0897477284		D	-				ELECTRIC	101.42200.3810
185560	04/29/21	042121 SOLAR CREDIT-ROOF	39.98CR		0897477284		D	-				ELECTRIC	101.42200.3810
185560	04/29/21	042121 51-0011136455-0	852.08		0897477297		D	-				ELECTRIC	240.45500.3810
185560	04/29/21	042121 SOLAR CREDIT	555.97CR		0897477297		D	-				ELECTRIC	240.45500.3810
185560	04/29/21	042121 51-5047554-2	1,743.89		0897477481		D	-				ELECTRIC	101.42100.3810
185560	04/29/21	042121 SOLAR CREDIT ROOF	128.72CR		0897477481		D	-				ELECTRIC	101.42100.3810
185560	04/29/21	042121 51-5047554-2	1,743.89		0897477481		D	-				ELECTRIC	101.42200.3810
185560	04/29/21	042121 SOLAR CREDIT ROOF	128.71CR		0897477481		D	-				ELECTRIC	101.42200.3810
185560	04/29/21	041421 51-4159573-1	10,819.82		51-4159573-1		D	-				ELECTRIC	101.43160.3810
			24,096.18	*CHECK	TOTAL								
185647	05/06/21	040821 51-4217828-3	13.64		0895201186		D	-				ELECTRIC	101.42200.3810
185647	05/06/21	040821 51-4217828-3	12.37		0895201698		D	-				ELECTRIC	101.42200.3810
185647	05/06/21	040821 51-4217828-3	12.48		0895202313		D	-				ELECTRIC	101.42200.3810
185647	05/06/21	040821 51-4217828-3	14.38		895202303		D	-				ELECTRIC	101.42200.3810
			52.87	*CHECK	TOTAL								
VENDOR TOTAL			24,149.05										
ZARNOTH BRUSH WORKS, INC 002485													
185561	04/29/21	BROOMS #0020	943.20		0184256-IN		D	-				GARAGE INVENTORY	701.00.14120
185561	04/29/21	MANDREL #0020	394.00		0184256-IN		D	-				GARAGE INVENTORY	701.00.14120
			1,337.20	*CHECK	TOTAL								
VENDOR TOTAL			1,337.20										

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VENDOR NAME AND NUMBER

CHECK#	DATE	DESCRIPTION	AMOUNT	CLAIM	INVOICE	PO#	F	S	9	BX	M	ACCOUNT NAME	ACCOUNT
56	BREWING LLC	025180											
185562	04/29/21	040621 INV	200.00		5613821		D	-				INVENTORY - LIQU	609.00.14500
185562	04/29/21	041221 INV	100.00		5613874		D	-				INVENTORY - LIQU	609.00.14500
185562	04/29/21	041421 INV	366.00		5614014		D	-				INVENTORY - LIQU	609.00.14500
			666.00	*CHECK	TOTAL								
185648	05/06/21	041221 INV	100.00		5613875		D	-				INVENTORY - LIQU	609.00.14500
185648	05/06/21	042121 INV	204.00		5614074		D	-				INVENTORY - LIQU	609.00.14500
			304.00	*CHECK	TOTAL								
		VENDOR TOTAL	970.00										

ACS FINANCIAL SYSTEM
05/06/2021 09:21:27

Vendor Payment Journal Report
05/10/2021 COUNCIL REPORT

CITY OF COLUMBIA HEIGHTS
GL540R-V08.15 PAGE 27

VENDOR NAME AND NUMBER

CHECK#	DATE	DESCRIPTION	AMOUNT	CLAIM	INVOICE	PO#	F	S	9	BX	M	ACCOUNT NAME	ACCOUNT
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REPORT TOTALS:			486,775.67										
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RECORDS PRINTED - 000786

ACS FINANCIAL SYSTEM
05/06/2021 09:21:27

Vendor Payment Journal Report

CITY OF COLUMBIA HEIGHTS
GL060S-V08.15 RECAPPAGE
GL540R

FUND RECAP:

FUND	DESCRIPTION	DISBURSEMENTS
----	-----	
101	GENERAL	73,665.99
201	PLANNING & INSPECTIONS	401.23
204	EDA ADMINISTRATION	146.40
212	STATE AID MAINTENANCE	718.21
225	CABLE TELEVISION	1,101.50
240	LIBRARY	7,862.97
262	21ST CENTURY ARTS	530.00
408	EDA REDEVELOPMENT PROJECT FD	1,175.00
415	CAPITAL IMPRVMT - PIR PROJ	33,208.64
431	CAP EQUIP REPLACE-GENERAL	67,165.00
601	WATER UTILITY	3,544.01
602	SEWER UTILITY	1,403.03
603	REFUSE FUND	183.41
604	STORM SEWER UTILITY	1,144.71
609	LIQUOR	264,986.52
651	WATER CONSTRUCTION FUND	14,841.31
653	STORM SEWER CONSTRUCT. FUND	3,830.00
701	CENTRAL GARAGE	9,819.14
720	INFORMATION SYSTEMS	48.60
884	INSURANCE	1,000.00
TOTAL ALL FUNDS		486,775.67

BANK RECAP:

BANK	NAME	DISBURSEMENTS
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BANK	CHECKING ACCOUNT	486,775.67
TOTAL ALL BANKS		486,775.67

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Report Selections:

	Begin	End
Alternate Vendor.....		
Check #.....	185180	185180
Transaction Date.....		99/99/9999
Journal Entry Date.....		99/99/9999
Page Break on Vendor.....	N	

Run Instructions:

Jobq	Banner	Copies	Form	Printer	Hold	Space	LPI	Lines	CPI	CP	SP
J		1			Y	S	6	66	10	Y	Y

Alternate Vendor

NORTHEAST BANK CREDIT CARD 060000

Check#	Date	Description	Vendor Code & Name	Claim	Invoice	PO Code	9 F	Amount
185180	4/13/2021	CREATIVE CLOUD	024005 ADOBE SYSTEMS INC		1370457613		-	599.88
185180	4/13/2021	3 AED BATTERIES	.01009 AEDLAND		113916		-	426.00
185180	4/13/2021	5 PKS AED PADS	.01009 AEDLAND		114014		-	239.95
185180	4/13/2021	2 CPY BLUE BY JDOMANICK	003660 AMAZON.COM		8120214		-	36.00
185180	4/13/2021	6PKS BATTERIES BOLAWRAP	003660 AMAZON.COM		5690623		-	89.19
185180	4/13/2021	2 SETS MINI SCREWDRIVERS	003660 AMAZON.COM		5690623		-	27.94
185180	4/13/2021	3 20PK MTH GRDS FOR TRNG	003660 AMAZON.COM		7806625		-	32.97
185180	4/13/2021	5 BX COTTON SWABS	003660 AMAZON.COM		5711406		-	32.45
185180	4/13/2021	MIC,2 AUTO TOOL KITS	003660 AMAZON.COM		0577859		-	105.98
185180	4/13/2021	SCRN PROTECTOR,OTTERBOX	003660 AMAZON.COM		6265041		-	38.54
185180	4/13/2021	SCRN PROTECTOR,OTTERBOX	003660 AMAZON.COM		6265041		-	38.53
185180	4/13/2021	SCRN PROTECTOR,OTTERBOX	003660 AMAZON.COM		0377803		-	37.24
185180	4/13/2021	IPHONE HOLSTER CASE	003660 AMAZON.COM		8809029		-	17.92
185180	4/13/2021	ENGINEER RULERS	003660 AMAZON.COM		7276248		-	34.95
185180	4/13/2021	OWL PRO CAMERA	003660 AMAZON.COM		7276248		-	999.00
185180	4/13/2021	TOURNIQUET,RESCUE BAGS	003660 AMAZON.COM		7511420		-	214.32
185180	4/13/2021	DRIVER/OPERATOR HNDBOOK	003660 AMAZON.COM		2097830		-	69.95
185180	4/13/2021	REFUND-DRV/OPRT HNDBK	003660 AMAZON.COM		2097830		-	53.96
185180	4/13/2021	1ST RESP MED BAGS FOR PD	003660 AMAZON.COM		6422607		-	229.34
185180	4/13/2021	SPRNG AT-HOME KIT SUPPLY	003660 AMAZON.COM		3141801		-	31.98
185180	4/13/2021	GARDENING KIT SEEDS	003660 AMAZON.COM		7989016		-	27.97
185180	4/13/2021	GLUE-PINATA KITS	003660 AMAZON.COM		6084242		-	45.28
185180	4/13/2021	SPRNG AT-HOME KIT SUPPLY	003660 AMAZON.COM		3085863		-	25.97
185180	4/13/2021	BEADS SEA TREASURE KIT	003660 AMAZON.COM		0405059		-	4.99
185180	4/13/2021	GARDENING KIT SEEDS	003660 AMAZON.COM		9008227		-	11.98
185180	4/13/2021	BAKE OFF WINNER APRONS	003660 AMAZON.COM		3517849		-	66.97
185180	4/13/2021	PINATA CARDSTOCK/CREPE	003660 AMAZON.COM		2449021		-	40.46
185180	4/13/2021	SPRNG AT-HOME KIT SUPPLY	003660 AMAZON.COM		2449021		-	177.44
185180	4/13/2021	FACILITY&GRNDS WRKSH DC	007565 AMERICAN PUBLIC WORKS AS		247352		-	100.00
185180	4/13/2021	SNOW CONFERENCE MATHSON	007565 AMERICAN PUBLIC WORKS AS		332013		-	325.00
185180	4/13/2021	2021 MEMBERSHIP MATTSON	000445 ASSOC OF MN EMERGENCY MA		2022312-799		-	200.00
185180	4/13/2021	CAMERA BATTERY	000185 BEST BUY COMPANY		806438258630		-	46.99
185180	4/13/2021	WEBEX SUBSCRIPTION	028230 CISCO WEBEX		6587362417		-	23.95
185180	4/13/2021	FOOD-VOLUNTRS & CLASS	011490 CUB FOODS		02577J		-	38.52
185180	4/13/2021	CAKE-TFISCHER RETIREMENT	011490 CUB FOODS		02926J		-	73.98
185180	4/13/2021	CAKE-KYANG SWRNG IN	011490 CUB FOODS		03032J		-	33.99
185180	4/13/2021	FOOD SUPPLIES/CANDY	099415 DOLLAR TREE		031421		-	13.48
185180	4/13/2021	PROGRAM SUPPLIES	099415 DOLLAR TREE		031421		-	7.00
185180	4/13/2021	STATE USE TAX	099415 DOLLAR TREE		031421		-	.48
185180	4/13/2021	FOOD SUPPLIES/CANDY	099415 DOLLAR TREE		032221		-	13.55
185180	4/13/2021	PROGRAM SUPPLIES	099415 DOLLAR TREE		032221		-	6.00
185180	4/13/2021	STATE USE TAX	099415 DOLLAR TREE		032221		-	.55
185180	4/13/2021	REG,TITLE,TAX #8210	011955 DRIVER AND VEHICLE SERVI		L0017391645		-	1,834.95
185180	4/13/2021	CREDIT CARD SERVICE FEE	011955 DRIVER AND VEHICLE SERVI		L0017391645		-	44.96
185180	4/13/2021	LICENSE TABS #8170	011955 DRIVER AND VEHICLE SERVI		L0017396582		-	14.25
185180	4/13/2021	LICENSE TABS #8150	011955 DRIVER AND VEHICLE SERVI		L0017396582		-	22.25
185180	4/13/2021	LICENSE TABS #0377	011955 DRIVER AND VEHICLE SERVI		L0017396582		-	44.25
185180	4/13/2021	LICENSE TABS #8165	011955 DRIVER AND VEHICLE SERVI		L0017396582		-	14.25
185180	4/13/2021	CREDIT CARD SERVICE FEE	011955 DRIVER AND VEHICLE SERVI		L0017396582		-	1.24
185180	4/13/2021	CREDIT CARD SERVICE FEE	011955 DRIVER AND VEHICLE SERVI		L0017396582		-	1.09
185180	4/13/2021	3 WIFI ACCESS POINTS	028300 EBAY		13-06763-64830		-	76.35
185180	4/13/2021	CONCRETE/ASPHALT BLADE	021470 ESCH CONSTRUCTION SUPPLY		S032091		-	285.00
185180	4/13/2021	FOOD-LEADERSHIP MTG	020335 FAMOUS DAVE'S OF AMERICA		135967		-	245.76

Alternate Vendor

NORTHEAST BANK CREDIT CARD 060000

Check#	Date	Description	Vendor Code & Name	Claim	Invoice	PO Code	9 F	Amount
185180	4/13/2021	ANNUAL MBRSHP DO,ZP,MP	095985 FIRE MARSHALS ASSOC OF M		032521		-	120.00
185180	4/13/2021	DRIVER/OPERATOR HNDBOOKS	025290 FIRE PROTECTION PUBLICAT		178156		-	173.00
185180	4/13/2021	FRIGHTS FRENZY TOURN 10U	099554 FRIDLEY YOUTH SPORTS ASS		CPR47200		N	337.06
185180	4/13/2021	COLORING PAGE PRIZES	003180 HEIGHTS BAKERY		000056		-	120.00
185180	4/13/2021	BAKE OFF WINNER PRIZES	024290 HOBBY LOBBY		032521		-	69.65
185180	4/13/2021	PEACH RING CANDY PRIZE	024290 HOBBY LOBBY		032521		-	2.13
185180	4/13/2021	STATE USE TAX	024290 HOBBY LOBBY		032521		-	.14-
185180	4/13/2021	FOOD-SGT INTERVIEW PANEL	028065 JASMINE THAI		38204518		-	124.24
185180	4/13/2021	FOOD-TFISCHER RETIR RECP	020065 JIMMY JOHN'S		1747433552		-	192.26
185180	4/13/2021	OFC CHAT 0325-042421	028235 MANGOAPPS		20210325		-	99.00
185180	4/13/2021	STRESS TRG SPVS JP,EH,TN	027350 MARIE RIDGEWAY LICSW LLC		041221		N	450.00
185180	4/13/2021	CONSULT/THERAPY SERVICES	027350 MARIE RIDGEWAY LICSW LLC		1197		N	750.00
185180	4/13/2021	MEMBERSHIP SANDELL	026735 MINNESOTA ASSN OF GOVMT		031321		-	85.00
185180	4/13/2021	ADV GUN LAWS TRNG KOLSON	022205 MINNESOTA SHERIFFS' ASSO		231690		-	150.00
185180	4/13/2021	MMCI YEAR 1 NTINGLEY	013705 MINNESOTA STATE COLLEGES		310328		-	145.00
185180	4/13/2021	MS4 PERMIT WRKSH LETSCHE	099485 MN EROSION CONTROL ASSOC		032321		-	65.00
185180	4/13/2021	2021 MEMBERSHIP KHANSEN	022795 NATIONAL SOCIETY OF PROF		910520		-	299.00
185180	4/13/2021	FOOD-OFFICERS ON OT	021315 PIZZA MAN		000119054302		-	200.00
185180	4/13/2021	7 POST LICENSE RENEWALS	099018 POST BOARD		MLSPO200008583		-	630.00
185180	4/13/2021	RICHFIELD TOURNEY 16U	.01011 RICHFIELD GIRLS FASTPITC		0007		-	350.00
185180	4/13/2021	LUNCHEON OVERCHRG RFND	099310 SARNA'S RESTAURANT INC		210322-02-20		-	7.50-
185180	4/13/2021	POLICE LUNCHEON	099310 SARNA'S RESTAURANT INC		210323-02-1		-	271.05
185180	4/13/2021	WEBINAR KJ	000087 SENSIBLE LAND USE COALIT		00818		-	20.00
185180	4/13/2021	COLORING PAGE PRIZE	.01013 TACO BELL		400211		-	30.00
185180	4/13/2021	CONCERT FOR SENIORS	026970 TARA B MUSIC		033121		-	175.00
185180	4/13/2021	FOOD-SFST TRNG	005335 TARGET STORES-ACCTS REC		02448J		-	50.43
185180	4/13/2021	FOOD-TRNG VOLUNTRS	005335 TARGET STORES-ACCTS REC		02478J		-	12.87
185180	4/13/2021	FOOD FOR CLASSROOM	005335 TARGET STORES-ACCTS REC		02682J		-	25.68
185180	4/13/2021	GF CANDY FOR EASTER	005335 TARGET STORES-ACCTS REC		033121		-	17.40
185180	4/13/2021	SUPPLIES FOR VOLUNTEERS	005335 TARGET STORES-ACCTS REC		033121		-	29.92
185180	4/13/2021	STATE USE TAX	005335 TARGET STORES-ACCTS REC		033121		-	1.12-
185180	4/13/2021	FOOD FOR STAFF-CVL DISTR	006670 TASTY PIZZA		041221		-	159.31
185180	4/13/2021	COLORING PAGE PRIZE	006670 TASTY PIZZA		20		-	30.00
185180	4/13/2021	UNIV DETECTOR BRACKETS	.01010 TIGER SUPPLIES		212231		-	127.53
185180	4/13/2021	TIME IQ SUBC 0406-050521	025215 TIME IQ LLC		20210406-00072		-	72.00
185180	4/13/2021	ALCOHOL FOR SFST TRNG	006940 TOP VALU LIQUOR		2416004		-	163.25
185180	4/13/2021	RETURN ALCOHOL SFST TRNG	006940 TOP VALU LIQUOR		2417137		-	19.72-
185180	4/13/2021	CODERED POSTCARDS	024895 VISTA PRINT		2PO9L-F6A20-4N		-	215.66
185180	4/13/2021	CODERED POSTCARDS	024895 VISTA PRINT		2PO9L-F6A20-4N		-	215.66
185180	4/13/2021	TAX REFUND	024895 VISTA PRINT		2PO9L-F6A20-4N		-	14.81-
185180	4/13/2021	TAX REFUND	024895 VISTA PRINT		2PO9L-F6A20-4N		-	14.81-
185180	4/13/2021	PROGRAM SUPPLIES	004555 WAL-MART		032421		-	88.03
185180	4/13/2021	EGG HUNT SUPPLIES	004555 WAL-MART		032421		-	7.92
185180	4/13/2021	EGG HUNT SUPPLIES	004555 WAL-MART		032521		-	13.86
185180	4/13/2021	PROGRAM SUPPLIES	004555 WAL-MART		032521		-	13.93
185180	4/13/2021	CANDY SUPPLIES	004555 WAL-MART		033021		-	64.86
185180	4/13/2021	PROGRAM SUPPLIES	004555 WAL-MART		033021		-	11.04
185180	4/13/2021	EGG HUNT SUPPLIES	004555 WAL-MART		033021		-	12.87
185180	4/13/2021	STATE USE TAX	004555 WAL-MART		033021		-	4.17-
185180	4/13/2021	CANDY SUPPLIES	004555 WAL-MART		033121		-	5.24
185180	4/13/2021	PROGRAM SUPPLIES	004555 WAL-MART		033121		-	1.96
185180	4/13/2021	EGG HUNT SUPPLIES	004555 WAL-MART		033121		-	5.94
185180	4/13/2021	STATE USE TAX	004555 WAL-MART		033121		-	.34-

Alternate Vendor Payment Report

Item 5.

Alternate Vendor

NORTHEAST BANK CREDIT CARD 060000

Check#	Date	Description	Vendor Code & Name	Claim	Invoice	PO Code	9 F	Amount
185180	4/13/2021	CANDY FOR GET EGGED	004555 WAL-MART		032221		-	150.54
185180	4/13/2021	COFFEE-SENIOR PROGRAM	004555 WAL-MART		032221		-	9.94
185180	4/13/2021	PLASTIC EGGS/TOYS	004555 WAL-MART		032221		-	23.82
185180	4/13/2021	STATE USE TAX	004555 WAL-MART		032221		-	9.68-
185180	4/13/2021	WATER BALLOONS	004555 WAL-MART		032221		-	33.76
185180	4/13/2021	INSTALL RAILING IN VAN	.01012 WMK LLC		189837		-	492.00
185180	4/13/2021	ANNUAL LICENSES (2)	028215 ZOOM COMMUNICATIONS INC		INV79346709		-	299.80
Check Total								14,255.33
Vendor Total								14,255.33

PAYROLL...H	BIWEEKLY	V E N D O R	D I S T R I B U T I O N	
RUN- 5/05/2021			08:54:50	PAGE 1
PERIOD 1 DATING FROM	4/17/2021	THRU	4/30/2021	CHECK DATE 5/07/2021

VENDOR #POLICE COL HGT5 POLICE ASSN 885.00.10110 PAYROLL ACCOUNT	CHECK # TOTAL	89777	129.50	*
CHECK # 089777 TOTAL			129.50	**
VENDOR #1ST CU COL HTS LOCAL 1216 885.00.10110 PAYROLL ACCOUNT	CHECK # TOTAL	89778	200.00	*
CHECK # 089778 TOTAL			200.00	**
VENDOR #DENTAL DELTA DENTAL OF MINNESOT 885.00.10110 PAYROLL ACCOUNT	CHECK # TOTAL	89779	4,898.78	*
CHECK # 089779 TOTAL			4,898.78	**
VENDOR #PMA FINANCIAL ONE 885.00.10110 PAYROLL ACCOUNT	CHECK # TOTAL	89780	60.00	*
CHECK # 089780 TOTAL			60.00	**
VENDOR #HSA HSA BANK 885.00.10110 PAYROLL ACCOUNT	CHECK # TOTAL	89781	7,933.33	*
CHECK # 089781 TOTAL			7,933.33	**
VENDOR #COP/UN LAW ENFORCEMENT LABOR SE 885.00.10110 PAYROLL ACCOUNT	CHECK # TOTAL	89782	1,143.00	*
CHECK # 089782 TOTAL			1,143.00	**
VENDOR #POL/UN LAW ENFORCEMENT LABOR SE 885.00.10110 PAYROLL ACCOUNT	CHECK # TOTAL	89783	190.50	*
CHECK # 089783 TOTAL			190.50	**
VENDOR #MEDICA MEDICA 885.00.10110 PAYROLL ACCOUNT	CHECK # TOTAL	89784	76,819.44	*
CHECK # 089784 TOTAL			76,819.44	**
VENDOR #GW MSRS MNDGP PLAN 650251 885.00.10110 PAYROLL ACCOUNT	CHECK # TOTAL	89785	3,300.57	*
CHECK # 089785 TOTAL			3,300.57	**
VENDOR #PER/LF NCPERS GROUP LIFE INS MB 885.00.10110 PAYROLL ACCOUNT	CHECK # TOTAL	89786	48.00	*
CHECK # 089786 TOTAL			48.00	**
VENDOR #PERA PERA 397400	CHECK #	89787		

PAYROLL...H	BIWEEKLY	V E N D O R	D I S T R I B U T I O N	
RUN- 5/05/2021			08:54:50	PAGE 2
PERIOD 1 DATING FROM	4/17/2021	THRU	4/30/2021	CHECK DATE 5/07/2021

VENDOR #PERA	PERA 397400	CHECK #	89787		
885.00.10110	PAYROLL ACCOUNT	TOTAL		78,383.13	*
CHECK # 089787	TOTAL			78,383.13	**
VENDOR #VISION UNUM	LIFE INS CO OF AMER	CHECK #	89788		
885.00.10110	PAYROLL ACCOUNT	TOTAL		330.60	*
CHECK # 089788	TOTAL			330.60	**
VENDOR #ROTH	VANTAGEPOINT TRANSFER -4	CHECK #	89789		
885.00.10110	PAYROLL ACCOUNT	TOTAL		1,543.00	*
CHECK # 089789	TOTAL			1,543.00	**
VENDOR #RHS	VANTAGEPOINT TRANSFER AG	CHECK #	89790		
885.00.10110	PAYROLL ACCOUNT	TOTAL		22,105.14	*
CHECK # 089790	TOTAL			22,105.14	**
VENDOR #ICMA	VANTAGEPOINT TRANSFER 45	CHECK #	89791		
885.00.10110	PAYROLL ACCOUNT	TOTAL		18,948.33	*
CHECK # 089791	TOTAL			18,948.33	**

PAYROLL...H	BIWEEKLY	V E N D O R	D I S T R I B U T I O N	
RUN- 5/05/2021			08:54:50	PAGE 3
PERIOD 1 DATING FROM	4/17/2021	THRU	4/30/2021	CHECK DATE 5/07/2021

FUND	885	PAYROLL FUND	216,033.32
		TOTAL ALL FUNDS	216,033.32

A resolution of the City Council for the City of Columbia Heights, Minnesota, adopting assessment roll according to the City Charter for the following local improvement and determining that said improvement will be made, and ratifying and confirming all other proceedings, heretofore had: Special Assessment for alley light area numbered 677-50.

WHEREAS, the City Council of the City of Columbia Heights, Minnesota, met at 7:00 p.m. on the 10th day of May, 2021, in the City Council Chambers, 590 40th Avenue N.E. Columbia Heights, Minnesota, being the time and place set when and where all persons interested could appear and be heard by the Council with respect to benefits, and to the proportion of the cost of making the local improvement above described, a notice of such hearing having been heretofore duly published as required by law, and a notice mailed to each property owner of record, stating the proposed amount of the assessment; and,

WHEREAS, this Council has heretofore estimated the cost of such local improvement and has prepared an assessment roll;

Now, therefore, in accordance with the foregoing, and all ordinances and regulations of the City of Columbia Heights, the City Council of the City of Columbia Heights makes the following:

FINDINGS OF FACT

1. That this Council does hereby adopt the aforesaid assessment roll known and described as "Assessment Roll for Local Improvements" numbered 677-50 for alley lighting, a copy of which is attached hereto and made a part hereof.
2. That this Council hereby finds and determines that each of the lots and parcels of land enumerated in said assessment roll was and is especially benefited by such improvements. This Council further finds and determines that the proper proportion of the cost of such improvement to be especially assessed against each lot or parcel of land is the amount as billed annually by Xcel Energy Company.
3. That the assessment will be added to the utility bill prepared and mailed by the City of Columbia Heights to property owners or occupants on record with the Finance Department.
4. This resolution shall take effect immediately upon its passage.

ORDER OF COUNCIL

Passed this 10th day of May, 2021

Offered by:

Seconded by:

Roll Call:

Attest:

Amáda Márquez Simula, Mayor

Nicole Tingley, City Clerk/Council Secretary

ASSESSMENT ROLL FOR LOCAL IMPROVEMENTS
ALLEY LIGHT: 677-50

35-30-24-13-0054	4236 MADISON STREET NE
35-30-24-13-0055	4232 MADISON STREET NE
35-30-24-13-0056	4228 MADISON STREET NE
35-30-24-13-0057	4226 MADISON STREET NE
35-30-24-13-0058	4222 MADISON STREET NE
35-30-24-13-0059	4216 MADISON STREET NE
35-30-24-13-0066	4219 JEFFERSON STREET NE
35-30-24-13-0067	4221 JEFFERSON STREET NE
35-30-24-13-0068	4225 JEFFERSON STREET NE
35-30-24-13-0197	4233 JEFFERSON STREET NE

CITY OF COLUMBIA HEIGHTS
NOTICE OF PUBLIC HEARING

Notice is hereby given that the City Council of Columbia Heights, Minnesota has determined the following Public Hearing be held on May 10, 2021 at 7:00 P.M. in the City Council Chamber, 590 40th Avenue N.E. to consider:

ASSESSMENT AREA 677-50 PROJECT NO. 2107

- Maintenance of one (1) Xcel Energy HPS protective light (Nightwatch), located on the existing pole behind 4226 and 4228 Madison Street.
- At this time, the annual cost is \$12.00 per parcel. The cost may increase with increases in the electric utility rate.
- This special assessment will be added to the utility bill prepared and mailed by the City of Columbia Heights to property owners or occupants on record with the Finance Department.

PARCELS PROPOSED TO BE ASSESSED:

Said street light maintenance is to be considered pursuant to Minnesota Statutes, Chapters 429. The maintenance is to be specially assessed on a unit basis against properties abutting the alley and listed below. The parcel numbers represent the tax parcel identification numbers. To find your tax parcel number, check your real estate tax statement.

35-30-24-13-0054	35-30-24-13-0056	35-30-24-13-0058	35-30-24-13-0066	35-30-24-13-0068
35-30-24-13-0055	35-30-24-13-0057	35-30-24-13-0059	35-30-24-13-0067	35-30-24-13-0197

Persons desiring to be heard with reference to the proposed installation will be heard at said time and place of the public hearing. Written or oral objections will be considered at the public hearing.

ADOPTION OF PROPOSED SPECIAL ASSESSMENT

Notice is hereby given that the purpose of this Public Hearing is also to adopt assessment roll 677-50, for the area of alley lighting. The proposed assessments are to be levied pursuant to Minnesota Statutes, Chapter 429. The City Council may levy and adopt special assessments that are the same or different than the proposed amount.

ASSESSMENT ROLL AVAILABLE FOR INSPECTION

The proposed assessment roll is now on file for public inspection at the City of Columbia Heights Clerk's Office, 590 40th Avenue NE, Columbia Heights, Minnesota. You are invited to examine the assessment roll prior to the hearing during business hours. The assessment roll will also be available for examination at the hearing.

OBJECTIONS AND APPEALS

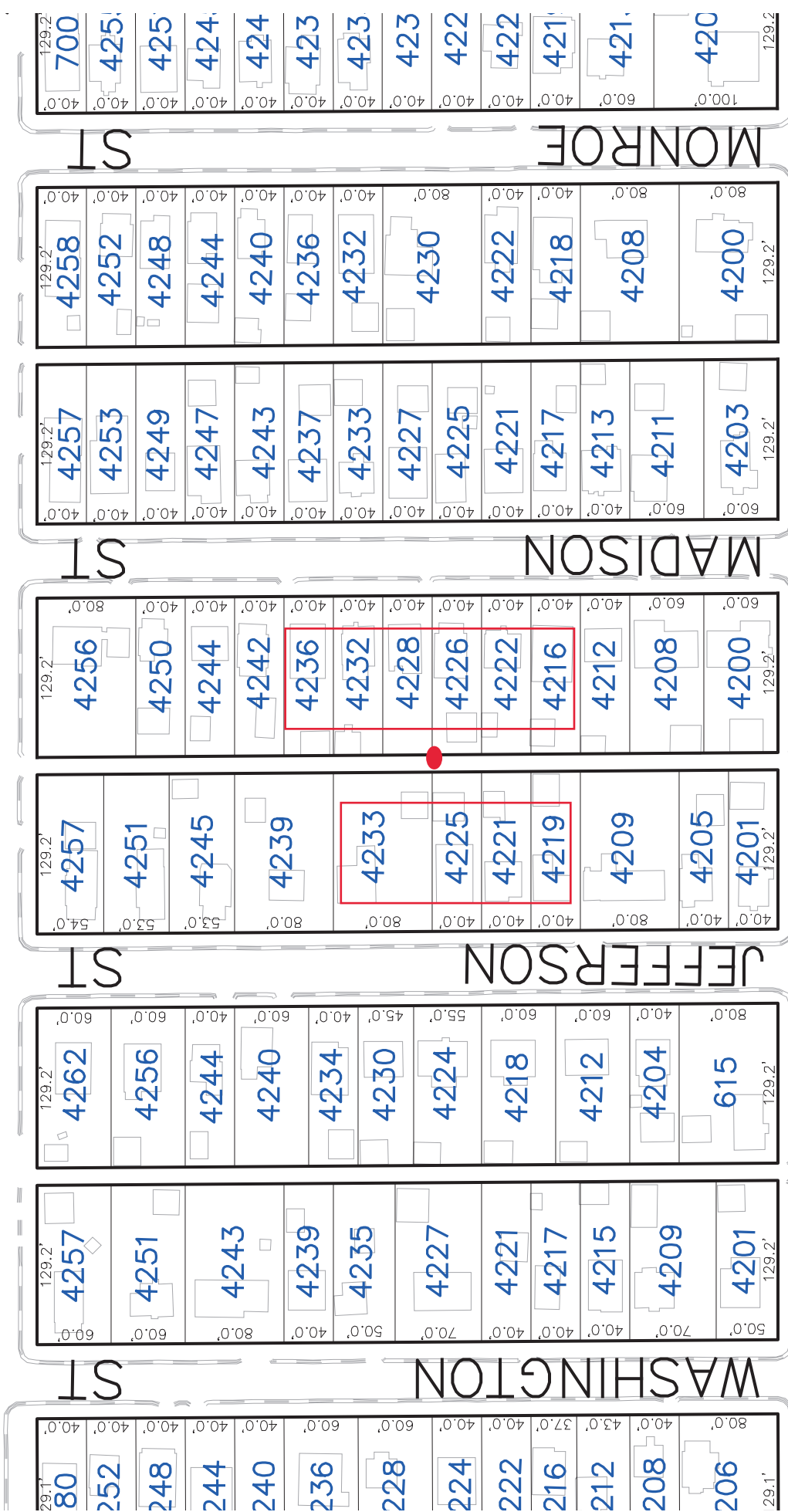
Written and oral objections will be considered at the hearing. The City Council may adopt the assessments at the hearing or at a subsequent meeting. Minnesota Statute, Section 429.061, states that no appeal may be taken as to the amount of the assessment unless a written objection, signed by the affected property owner, is filed with the municipal clerk prior to the assessment hearing or presented to the presiding officer at the hearing. An owner may appeal an assessment to the District Court pursuant to Minnesota Statute, Section 429.081, by serving notice of the appeal upon the Mayor or the Clerk of the City within thirty (30) days after the adoption of the assessment and filing such notice with the District Court within (10) days after service upon the Mayor or the Clerk.

ACCOMMODATIONS

Auxiliary aids for handicapped person are available upon request when the request is made at least 96 hours in advance. Contact the City Clerk at 763-706-3611, or ntingley@columbiaheightsmn.gov to make arrangements.

CITY OF COLUMBIA HEIGHTS

KELLI BOURGEOIS
CITY MANAGER



AGENDA SECTION	PUBLIC HEARINGS
MEETING DATE	MAY 10, 2021

ITEM:	Resolution No. 2021-43, a resolution to approve a variance to construct a detached accessory structure in a residential front yard located at 3919 Reservoir Boulevard NE.		
DEPARTMENT: Community Development		BY/DATE: Minerva Hark, City Planner / May 6, 2021	
CITY STRATEGY: (please indicate areas that apply by adding a bold "X" in front of the selected text below)			
_ Safe Community		_ Diverse, Welcoming "Small-Town" Feel	
_ Economic Strength		X Excellent Housing/Neighborhoods	
_ Equity and Affordability		_ Strong Infrastructure/Public Services	
_ Opportunities for Play and Learning		_ Engaged, Multi-Generational, Multi-Cultural Population	

BACKGROUND:

Jason Norden has applied for a Variance to allow an accessory structure (detached garage) to be constructed and located within a residential front yard of the property located at 3919 Reservoir Boulevard NE.

The existing single-family home on the lot was built 5 feet from the rear property line, and aerial imagery supports that the structure has been there since at least the year 1938. The development of this lot occurred prior to today's zoning regulations, and does not provide reasonable space for the construction of a standard detached garage behind the principal structure's front building line. There is an existing substandard garage constructed in the rear of the property that is currently being used as storage. Even if this existing structure were to be removed, there would not be adequate space to construct a standard garage in its place. This is an existing condition not caused by the current owner. The proposed garage would conform to all current setback requirements, and will be served by the existing driveway accessed from Reservoir Boulevard.

The Planning Commission held a public hearing on May 4, 2021 as required by City Ordinance. At the meeting, the Planning Commission voted unanimously to recommend that the City Council approve the Variance, subject to certain conditions of approval.

STAFF RECOMMENDATION:

Staff recommends that the City Council approve Resolution No. 2021-43, as presented.

RECOMMENDED MOTION(S):
<p>Motion: Move to waive the reading of Resolution No. 2021-43, Variance, there being ample copies available to the public.</p> <p>Motion: Move to approve Resolution No. 2021-43, approving the Variance for the proposed detached garage to be located at 3919 Reservoir Boulevard NE, subject to the conditions outlined therein.</p>

ATTACHMENT(S):

Resolution No. 2021-43

Planning Report

Application & Narrative

Site Plan

Building Official Memorandum dated April 8, 2021

Public Works Memorandum dated April 26, 2021

A resolution of the City Council for the City of Columbia Heights, Minnesota, approving a Variance for the property located in the City of Columbia Heights, MN

Whereas, a proposal (Planning Case # 2021-0501) has been submitted by Jason Norden to the City Council requesting approval of a Variance at the following location:

ADDRESS: 3919 Reservoir Boulevard NE (PID 36-30-24-33-0046)

LEGAL DESCRIPTION: On file at City Hall.

THE APPLICANT SEEKS THE FOLLOWING:

1. Variance to allow the accessory structure to be constructed and located within the front yard. City Code Section 9.106 (C) (1) (b) stipulates that “No accessory structure shall be constructed or located within any front yard,” while City Code Section 9.106 (C) (1) (c) stipulates that “Accessory structures for one- and two-family dwellings shall be...behind the principal structure building line in the front yard.”

Whereas, the Planning Commission held a public hearing as required by the City Zoning Code on May 4, 2021;

Whereas, the City Council has considered the advice and recommendations of the Planning Commission regarding the effect of the proposed variances upon the health, safety, and welfare of the community and its Comprehensive Plan, as well as any concern related to traffic, property values, light, air, danger of fire, and risk to public safety, in the surrounding area;

Now, therefore, in accordance with the foregoing, and all ordinances and regulations of the City of Columbia Heights, the City Council of the City of Columbia Heights makes the following:

FINDINGS OF FACT

1. Because of the particular physical surroundings, or the shape, configuration, topography, or other conditions of the specific parcel of land involved, strict adherence to the provisions of this article would cause practical difficulties in conforming to the zoning ordinance. The applicant, however, is proposing to use the property in a reasonable manner not permitted by the zoning ordinance.
2. The conditions upon which the variance is based are unique to the specific parcel of land involved and are generally not applicable to other properties within the same zoning classification.
3. The practical difficulties are caused by the provisions of this article and have not been created by any person currently having a legal interest in the property.
4. The granting of the variance is in harmony with the general purpose and intent of the Comprehensive Plan.
5. The granting of the variance will not be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development or value of property or improvements in the vicinity.

CONDITIONS

1. The applicant shall meet the requirements of the Building Official’s Memorandum dated April 8, 2021, and obtain a Building Permit for the project prior to starting construction.
2. The applicant shall meet the requirements of the Public Works Department’s Memorandum dated April 26, 2021.
3. A Certificate of Survey and Elevation Plans shall be submitted as part of the Building Permit Application for the construction of the proposed detached garage.

4. The lot shall be limited to two detached accessory structures.
5. The new detached garage shall be set back a minimum of three feet from the side lot line, a minimum of three feet from the rear lot line, and a minimum of five feet from any other building or structure on the same lot.
6. The combination of accessory structures, storage shed, and attached garages on the lot shall not exceed 1,000 square feet in area.
7. The height of the proposed detached garage shall comply with City Code.
8. The exterior color and design of the proposed detached garage shall be similar to the principal structure. Corrugated metal siding and roofs are prohibited.
9. The total building coverage, including the principal structure and all accessory structures, shall not exceed 35%.
10. The distance between the proposed detached garage doors and the front lot line shall be no less than 20 feet.
11. The proposed detached garage shall be provided with a hard-surfaced access driveway, no less than 12 feet in width, to an adjacent public street, and shall be no less than 20 feet by 20 feet in size.
12. The proposed detached garage shall not be located within any utility or drainage easement.

ORDER OF COUNCIL

Passed this 10th day of May, 2021

Offered by:

Seconded by:

Roll Call:

Attest:

Amáda Márquez Simula, Mayor

Nicole Tingley, City Clerk/Council Secretary

AGENDA SECTION	PUBLIC HEARING
MEETING DATE	MAY 04, 2021

ITEM:	VARIANCE FOR AN ACCESSORY STRUCTURE/GARAGE IN RESIDENTIAL FRONT YARD		
DEPARTMENT: COMMUNITY DEVELOPMENT		BY/DATE: Minerva Hark / May 04, 2021	

CASE NUMBER: 2021-0501

DATE: May 4, 2021

TO: Columbia Heights Planning Commission

APPLICANT: Jason Norden

DEVELOPMENT: Proposed Residential Garage

LOCATION: 3919 Reservoir Boulevard NE (PID 36-30-24-33-0046)

REQUEST: Variance to allow for an accessory structure (detached garage) in the front yard

PREPARED BY: Minerva Hark, City Planner

INTRODUCTION

Jason Norden is requesting a Variance for a proposed accessory structure to be located at 3919 Reservoir Boulevard NE. The application and narrative are attached for your consideration. The applicant seeks the following:

1. Variance to allow the accessory structure to be constructed and located within the front yard. City Code Section 9.106 (C) (1) (b) stipulates that "No accessory structure shall be constructed or located within any front yard," while City Code Section 9.106 (C) (1) (c) stipulates that "Accessory structures for one- and two-family dwellings shall be...behind the principal structure building line in the front yard."

ZONING ORDINANCE

The property is located in the R-2A One- and Two-Family Residential Zoning District, as are the properties to the north and east. Properties to the south and west are located in the R-2B Built as Duplex District, as well as the R-2A One- and Two-Family Residential Zoning District. The use of the property as a residential home complies with the Zoning Code.

COMPREHENSIVE PLAN

The Comprehensive Plan guides this area for residential development. The proposed garage is consistent with the goals and intent of the Comprehensive Plan.

DESIGN GUIDELINES

This property is not located in a Design Guidelines District.

SITE PLAN

The applicant has submitted a Site Plan illustrating the proposed size and location of the new garage and its relation to adjacent properties and structures.

FINDINGS OF FACT

The City Council shall make each of the following findings before granting a variance from the provisions of this article:

- (a) Because of the particular physical surroundings, or the shape, configuration, topography, or other conditions of the specific parcel of land involved, strict adherence to the provisions of this article would cause practical difficulties in conforming to the zoning ordinance. The applicant, however, is proposing to use the property in a reasonable manner not permitted by the zoning ordinance.

This is correct. The existing single-family home on the lot was built 5 feet from the rear property line, and aerial imagery supports that the structure has been there since at least the year 1938. The development of this lot occurred prior to today's zoning regulations, and does not provide reasonable space for the construction of a standard detached garage behind the principal structure's front building line. There is an existing substandard garage constructed in the rear of the property that is currently being used as storage. Even if this existing structure were to be removed, there would not be adequate space to construct a standard garage in its place. This is an existing condition not caused by the current owner. The proposed garage would conform to all current setback requirements, and will be served by the existing driveway accessed from Reservoir Boulevard.

- (b) The conditions upon which the variance is based are unique to the specific parcel of land involved and are generally not applicable to other properties within the same zoning classification.

This is correct. Due to the existing layout of the lot and its 5-foot rear yard setback, the situation is unique to this parcel.

- (c) The practical difficulties are caused by the provisions of this article and have not been created by any person currently having a legal interest in the property.

This is correct.

- (d) The granting of the variance is in harmony with the general purpose and intent of the Comprehensive Plan.

This is correct. The Comprehensive Plan calls for reinvestment, renovation, and modernization of the City's single-family housing stock.

- (e) The granting of the variance will not be materially detrimental to the public welfare or materially injurious to the enjoyment, use, development or value of property or improvements in the vicinity.

This is correct. The granting of this Variance will result in a new, functioning two car garage for the property that will enhance the overall functionality and aesthetic of the site. This will provide more adequate on-site parking that conforms to current setback requirements. It will contribute to the improved value of the neighborhood.

RECOMMENDATION

Staff recommends that the Planning Commission recommend approval to the City Council, of the proposed Variance.

RECOMMENDED MOTION(S):

MOTION: Move to waive the reading of the draft resolution attached.

MOTION: Move to recommend that the Planning Commission recommend to the City Council approval the Variance for the proposed detached garage to be located at 3919 Reservoir Boulevard NE, subject to the following conditions of approval:

1. The applicant shall meet the requirements of the Building Official's Memorandum dated April 8, 2021, and obtain a Building Permit for the project prior to starting construction.
2. The applicant shall meet the requirements of the Public Works Department's Memorandum dated April 26, 2021.
3. A Certificate of Survey and Elevation Plans shall be submitted as part of the Building Permit Application for the construction of the proposed detached garage.
4. The lot shall be limited to two detached accessory structures.
5. The new detached garage shall be set back a minimum of three feet from the side lot line, a minimum of three feet from the rear lot line, and a minimum of five feet from any other building or structure on the same lot.
6. The combination of accessory structures, storage shed, and attached garages on the lot shall not exceed 1,000 square feet in area.
7. The height of the proposed detached garage shall comply with City Code.
8. The exterior color and design of the proposed detached garage shall be similar to the principal structure. Corrugated metal siding and roofs are prohibited.
9. The total building coverage, including the principal structure and all accessory structures, shall not exceed 35%.
10. The distance between the proposed detached garage doors and the front lot line shall be no less than 20 feet.
11. The proposed detached garage shall be provided with a hard-surfaced access driveway, no less than 12 feet in width, to an adjacent public street, and shall be no less than 20 feet by 20 feet in size.
12. The proposed detached garage shall not be located within any utility or drainage easement.

ATTACHMENT(S):

Draft Resolution

Application

Site Plan

Applicant's Narrative

Building Official Memorandum dated April 8, 2021

Public Works Memorandum dated April 26, 2021

CITY OF COLUMBIA HEIGHTS VARIANCE APPLICATION

2021.05.01

To be filled out by City:

CASE NO.: 2021-0501

DATE RECEIVED: 3/3/21

APPLICABLE ORDINANCE NO.: 9.104 (G)

DATE OF LETTER OF COMPLETION:

PRESENT ZONING: Residential

APPROVAL DATE PER STATUTE:

PRESENT LAND USE PLAN DESIGNATION: Residential REVIEW PERIOD EXTENDED:

To be filled out by Applicant:

PROPOSED NAME OF DEVELOPMENT: Norden Variance

PROJECT ADDRESS/LOCATION: 3919 Reservoir Blvd

LEGAL DESCRIPTION OF PROPERTY INVOLVED (attach separate page if necessary):

Lot 25 Block 8 Reservoir Hills

PRESENT USE OF PROPERTY: Residential

PROPOSED USE OF PROPERTY: Residential

REASON FOR REQUEST (Please attach a written narrative describing the variance being requested. The narrative should fully explain the hardship(s) that justifies variation from the strict application of the Code. The terms "hardship" or "undue hardship" typically refer to physical characteristics of the property, such as shape, soil conditions, or topography. Neither mere inconvenience, nor reduction in value alone, is sufficient to justify a variance. The inability to put property to its highest and best use is not considered a hardship or practical difficulty. The problem that justifies the variance must be caused by conditions unique to the property and beyond the control of the applicant. The applicant cannot create the condition that requires the variance.)

APPLICANT Jason Norden PHONE _____ FAX _____

E-MAIL jason.norden22@gmail.com PAGER _____ CELL # 651-492-2942

ADDRESS 3919 Reservoir Blvd

CITY Columbia Heights STATE MN ZIP 55421

FEE OWNER OF PROPERTY _____

ADDRESS _____ PHONE _____ FAX _____

CITY _____ STATE _____ ZIP _____

CITY OF COLUMBIA HEIGHTS VARIANCE APPLICATION

THIS APPLICATION IS SUBJECT TO ACCEPTANCE BY THE CITY PLANNER AND REVIEW OF APPLICATION AND NECESSARY MATERIALS BEING SUBMITTED.

ITEMS TO BE GIVEN TO APPLICANT WITH APPLICATION

- A. Procedures Manual
- B. Application Checklist
- C. Schedule of Planning and Zoning Commission Meetings

ITEMS TO ACCOMPANY VARIANCE APPLICATION

- A. Submittals as required in the attached application checklist, describing the variance(s) proposed.
- B. Two copies of a list of property owners within 350 feet of the subject property.

APPLICATION FEES:

- A. ~~\$200~~ Residential Variance Fee
- B. Park Dedication Fee
- C. City Sewer Availability Charge (SAC)
- D. City Water Availability Charge (WAC)
- E. Other

\$	250 -
\$	_____
\$	_____
\$	_____
\$	_____
\$	_____

TOTAL AMOUNT RECEIVED \$ 250 -

CITY RECEIPT NUMBER 70137

DATE RECEIVED 3.3.21

Acknowledgement: The undersigned hereby represents upon all of the penalties of law, for the purpose of inducing the City of Columbia Heights to take the action herein requested, that all statements herein are true and that all work herein mentioned will be done in accordance with the Ordinances of the City of Columbia Heights and the State of Minnesota:

APPLICANT SIGNATURE

DATE

PROPERTY OWNER SIGNATURE (If different from Applicant)

DATE

COMMUNITY DEVELOPMENT STAFF MEMBER AND TITLE

DATE

Revised 2005

Approved by the Columbia Heights Planning Commission on _____
Approved by the Columbia Heights City Council on _____

I am requesting a variance to allow me the ability to build a 2 car garage in the front of my property.

As you can see from the property map, the property is set at the edge of the alley and there is no ability to build a proper garage in the rear of the property. These conditions are unique to this property and are beyond my control.

So because of this undue hardship, I am asking for the approval of this variance.

Thank You,

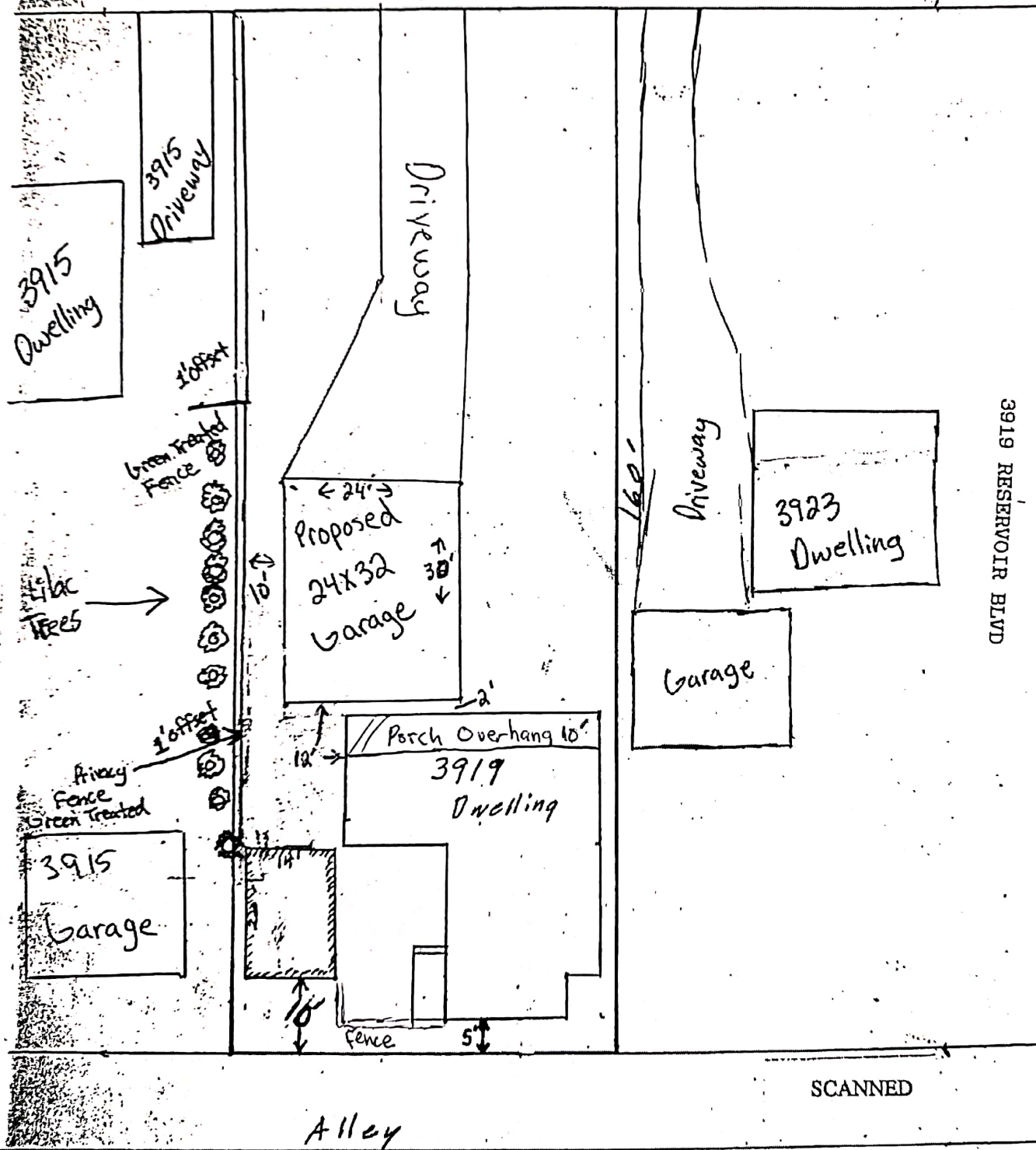
Jason Norden

Homeowner 3919 Reservoir Blvd

Address List within 350 ft of the property

3915 Reservoir Blvd
3923 Reservoir Blvd
3925 Reservoir Blvd
3909 Reservoir Blvd
3918 Reservoir Blvd
3922 Reservoir Blvd
3926 Reservoir Blvd

3919 - Reservoir Blvd
Reservoir Blvd ← 60' → Lot 25 Block 8
Reservoir Hills



To Whom It May Concern,

My wife and I purchased 3919 Reservoir Blvd in 2011. We found out our property was quite unique. For instance, to access the partial basement you need to use an outside door. I found out it was built in 1922 from newspaper I found as insulation in the partial basement. This home may be one of the first in this area. The single car garage was already built at that time. My wife owns a 2014 Prius and we thought nothing of the size of her vehicle, but after hitting the side of the garage entering and exiting it, we found out it was not suitable for even a standard vehicle let alone anything larger so it is now used as storage.

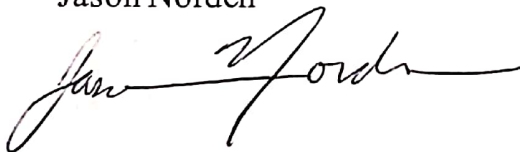
With this being said, that is part of my reason for asking for a variance. I have applied for a variance in the past for a fence because you can't have a fence over 42" in your front yard. But because of my home setback, the fence lines up to the back yard of my neighbor. And so would this garage.

If this garage was torn down to rebuild another in its place it would not comply with the city standards and is too small for your standard garage.

If this garage was torn down to rebuild another in its place it would not comply with the city code standards and is too small for a standard garage. If I tried to put a garage in the back, I would not have access to having any back yard at all and would still not account for the turn radius in and out of the garage.

I thank you for your time and consideration.

Jason Norden

A handwritten signature in black ink, appearing to read "Jason Norden", with a stylized, flowing script.

City of Columbia Heights | Community Development

590 40th Avenue NE, Columbia Heights, MN 55421 ▪ Ph: 763-706-3670 ▪ Fax: 763-706-3671 ▪ www.columbiaheightsmn.gov

4/8/21

Re: 3919 Reservoir Blvd NE,
Columbia Heights, MN 55421

Table R302.6 requires garages which are located less than 3 feet from a dwelling unit on the same lot to have not less than ½-inch gypsum board or equivalent applied to the interior side of exterior walls. This provision does not apply to garage walls that are perpendicular to the adjacent dwelling unit.

Sincerely,



Ryan Smith
Building Official

MEMORANDUM

TO: Minerva Hark, Planner

COPY: Kathy Young, Assistant City Engineer

FROM: Lauren Letsche, Stormwater Specialist

SUBJECT: 3919 Reservoir Blvd

DATE: April 26th, 2021

After looking at the contours of the property, the property drains to the south and south east. A high spot was observed in the yard on the north side of the existing driveway. The existing house sits to the back of the lot; all of the drainage from this high spot would be draining back towards the existing/proposed structure. Per city ordinance, alterations to drainage patterns must not adversely affect adjacent properties.

The applicant shall meet the requirements of the City's Stormwater Specialist report dated April 26th, 2021.

AGENDA SECTION	PUBLIC HEARINGS
MEETING DATE	MAY 10, 2021

ITEM:	First Reading of Ordinance No. 1666, an Ordinance pertaining to the rezoning of certain property located at 825 41st Avenue NE, from Multiple-Family Residential District to PUD, Planned Unit Development District No. 2021-01.									
DEPARTMENT: Community Development		BY/DATE: Minerva Hark, City Planner / May 6, 2021								
<p>CITY STRATEGY: <i>(please indicate areas that apply by adding a bold "X" in front of the selected text below)</i></p> <table> <tr> <td><input type="checkbox"/> Safe Community</td> <td><input type="checkbox"/> Diverse, Welcoming "Small-Town" Feel</td> </tr> <tr> <td><input type="checkbox"/> Economic Strength</td> <td><input checked="" type="checkbox"/> Excellent Housing/Neighborhoods</td> </tr> <tr> <td><input checked="" type="checkbox"/> Equity and Affordability</td> <td><input type="checkbox"/> Strong Infrastructure/Public Services</td> </tr> <tr> <td><input type="checkbox"/> Opportunities for Play and Learning</td> <td><input type="checkbox"/> Engaged, Multi-Generational, Multi-Cultural Population</td> </tr> </table>			<input type="checkbox"/> Safe Community	<input type="checkbox"/> Diverse, Welcoming "Small-Town" Feel	<input type="checkbox"/> Economic Strength	<input checked="" type="checkbox"/> Excellent Housing/Neighborhoods	<input checked="" type="checkbox"/> Equity and Affordability	<input type="checkbox"/> Strong Infrastructure/Public Services	<input type="checkbox"/> Opportunities for Play and Learning	<input type="checkbox"/> Engaged, Multi-Generational, Multi-Cultural Population
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<input checked="" type="checkbox"/> Equity and Affordability	<input type="checkbox"/> Strong Infrastructure/Public Services									
<input type="checkbox"/> Opportunities for Play and Learning	<input type="checkbox"/> Engaged, Multi-Generational, Multi-Cultural Population									

BACKGROUND:

Reuter Walton Development has applied for a Preliminary Plat; Planned Unit Development; and Easement Vacations for the vacant northern portion of the property located at 825 41st Avenue NE.

The applicant is proposing to subdivide the existing lot into three separate parcels. One parcel will include the existing Public Safety Center. One of the newly created parcels will include a 4-story, 62-unit affordable housing building with amenities and subterranean and at-surface parking. The remainder Lot 3 is intended for the potential future relocation and development of SACA Food Shelf.

In order to accommodate the proposed development and the increased density at this site, the applicant is proposing to rezone the property to a Planned Unit Development (PUD). The PUD zoning will allow flexibility with the City's strict zoning requirements, while also requiring a high standard of building quality and site design. When a property is rezoned to PUD, specific development standards are created for the site. These standards are secured by an ordinance that amends the City's zoning code to create a new PUD zoning district. The standards created by the ordinance only apply to the subject property. The City's zoning map is also amended to include the new PUD District.

The Planning Commission held a public hearing on May 4, 2021 as required by City Ordinance. At the meeting, the Planning Commission voted 4-2-1 to recommend that the City Council approve the rezoning and development standards outlined in draft Ordinance 1666 as presented.

During the course of the Planning Commission Meeting, it was brought to the attention of staff that the PUD District Standards may not have been clearly articulated. In an effort to clarify the record, staff would like to include the following calculations and sections as part of the report.

Height:

The applicant is proposing a maximum height of 4 stories (approximately 47 feet). City Zoning Ordinance limits the maximum height of residential structures in the existing Multiple Family Residential District (R-4) to 35 feet. Staff is supportive of the increase in building height as part of the PUD District plan.

Lot Area per Dwelling Unit:

Although an increase in allowable density has already been considered as part of this project proposal, staff would like to further analyze density by discussing the allowable lot area per dwelling unit. The following table displays the minimum lot area required per dwelling unit for multi-family complexes located in the R-4 zone, in comparison to the lot area per dwelling unit proposed in this PUD District plan. This calculation incorporates the bedroom count of each proposed unit.

Lot Area Per Dwelling Unit		
Multiple-Family Dwelling	R-4 (existing)	PUD (proposed)
One bedroom	1,000 sq. ft.	687 sq. ft.
Two bedroom	1,200 sq. ft.	887 sq. ft.
Three bedroom	1,500 sq. ft.	1,187 sq. ft.

The project proposes 62 units, which equates a total lot area of 913 square feet per dwelling unit. This includes 16 one-bedroom units, 30 two-bedroom units, and 16 three-bedroom units. The above table calculates a reduction in 313 square feet in required lot area per unit type to accommodate the PUD District plan. Staff is supportive of this decrease in lot area per dwelling unit in order to accommodate the appropriate density for the proposed PUD District Plan.

STAFF RECOMMENDATION:

Staff recommends approval of Ordinance No. 1666, on first consideration.

RECOMMENDED MOTION(S):

MOTION: Move to waive the reading of Ordinance 1666, there being ample copies available to the public.

MOTION: Move to set the second reading of Ordinance 1666, being an Ordinance pertaining to the rezoning of certain property located at 825 41st Avenue NE from Multiple-Family Residential District to PUD, Planned Unit Development District No. 2021-01, for May 24th, 2021, at approximately 7:00 p.m. in the City Council Chambers.

ATTACHMENT(S):

Ordinance No. 1666

Planning Report

Project Plans

Neighbor Correspondence

**ORDINANCE 1666
CITY OF COLUMBIA HEIGHTS, MINNESOTA**

BEING AN ORDINANCE AMENDING THE ZONING MAP OF THE CITY OF COLUMBIA HEIGHTS AND CITY ORDINANCE RELATING TO ZONING AND DEVELOPMENT PERTAINING TO THE REZONING OF A PORTION OF A CERTAIN PROPERTY LOCATED AT 825 41ST AVENUE NE FROM MULTIPLE FAMILY RESIDENTIAL DISTRICT (R-4) TO PLANNED UNIT DEVELOPMENT DISTRICT (PUD) NUMBER 2021-01

SECTION 1: The “Zoning map” of the Columbia Heights Zoning and Development Ordinance is hereby amended by rezoning or changing the zoning district designation of the most northerly undeveloped portion of the following described property having the property address of 825 41st Avenue NE, Columbia Heights MN, 55421, and legally described below from Multiple Family Residential District to PUD, Planned Unit Development District 2021-01:

Legal description: On file at City Hall

Address 825 41 st Avenue NE	Property Tax I.D. No. 35-30-24-14-0151
--	--

(the “Property”)

SECTION 2: The property is rezoned to PUD, Planned Unit Development District 2021-01 and the allowed uses shall be multifamily apartments, office, and commercial/retail.

SECTION 3: Pursuant to Chapter 9, Article I of the Columbia Heights Zoning and Land Development Ordinance, the approval of any development or redevelopment within Planned Unit Development District 2021-01 shall be subject to the requirements set forth in Columbia Heights Code Section 9.113 including, but not limited to, the following performance and design standards and site and building approval:

1. The Property shall be developed or redeveloped in accordance with the final PUD District Plan approved by the City (“Final Plans”), which include site plans, grading, drainage and storm water management plans, utility plans, lighting and photometric plans, landscape plans, floor plans, and building elevations. The Final Plans outline all of the performance standards for development of the Property, including, at a minimum the following design standards for the Property as set forth below:

Minimum Combined Lot Area	1.6 acres
Maximum Residential Density Allowed	55 units per acre
Minimum Residential Lot Area	50,000 square feet
Building Height	Not to exceed 4 stories
Minimum Number of Onsite Parking Stalls	108
Maximum Number of Compact Parking Stalls	30
Maximum Non Residential Building Area	15,000 square feet

2. Any applicant for an approval of a development plan or building permit within Planned Unit Development District 2021-01 shall submit development plans for City review and approval. The City reserves the right to adjust any performance standards set forth in this ordinance if deemed necessary to improve the site and building design for the purpose of compatibility, public health, or public safety.

3. Any development or redevelopment plans for the Property including, but not limited to the Final Plans, that fail to meet the design and performance standards set forth herein shall require a PUD amendment approved by the City.
4. All conditions of approval set forth in City Council Resolution No. 2021-XXXX shall be incorporated herein.

SECTION 4: The Planning Commission held a public hearing as required by the City's Zoning Ordinance on May 4, 2021 and the Commission recommends approval of the proposed rezoning from Multiple Family Residential District (R-4) to PUD, Planned Unit Development District.

SECTION 5:

WHEREAS, the amendment is consistent with the applicable provisions of the comprehensive plan;

WHEREAS, the amendment is in the public interest and not solely for the benefit of a single property owner;

WHEREAS, the amendment is compatible with existing land uses and zoning classifications in the general area;

WHEREAS, the amendment reflects changes in development trends in the general area.

SECTION 6:

This ordinance shall be in full force and effect from and after 30 days after its passage.

First Reading: May 10, 2021

Offered by:

Seconded by:

Roll Call:

Second Reading: May 24, 2021

Offered by:

Seconded by:

Roll Call:

Date of Passage: May 24, 2021

AGENDA SECTION	PUBLIC HEARING
MEETING DATE	5/4/2021

ITEM:	Preliminary Plat; Planned Unit Development; Easement Vacations to allow for the construction of a 4-story, 62-unit affordable housing building that includes a remainder parcel for the potential future development of SACA Food Shelf		
DEPARTMENT: Community Development		BY/DATE: Minerva Hark, 5/4/2021	

BACKGROUND:

CASE NUMBER: 2021-0502

DATE: May 4, 2021

TO: Columbia Heights Planning and Zoning Commission

APPLICANT: Reuter Walton Development

DEVELOPMENT: Affordable Housing Building; Planning Unit Development; Preliminary Plat

LOCATION: 825 41st Avenue NE (northern undeveloped portion of Columbia Heights Public Safety Center)

REQUEST: Preliminary Plat; Planned Unit Development; and Easement Vacations

PREPARED BY: Minerva Hark, Community Development Planner

INTRODUCTION

Reuter Walton Development has applied for a Preliminary Plat; Planned Unit Development; and Easement Vacations for a portion of the property located at 825 41st Avenue NE.

The property was previously the original home of Columbia Heights High School, constructed in 1926. It later became the Columbia Heights Junior High School in 1961, and then sold to the Northwestern Electronics Institute (NEI) in 1981. It operated as a technical college until 2002. After NEI merged with Dunwoody, the City of Columbia Heights purchased the vacant building and parcel. The building was demolished in 2004, making way for the Public Safety Center, which was constructed in 2009. The portion of the existing lot in which development is proposed served as both the school's recreational field and parking lot, with approximately 500 parking stalls. Historical aerial imagery even suggests that one or two single-family homes were once present on the site. The current use of the portion of the lot in question is snow storage by the City's Public Works Department, as well as minimal parking for the neighboring Crest View development.

The site is zoned R-4, Multiple Family Residential District. The site is adjacent to the One- and Two-Family Residential District (R-2A) to the north and west, as well as the Multiple Family Residential District to the east (R-4) and the south (R-3).

The applicant is proposing to subdivide the existing lot into three separate parcels. One parcel will include the existing Public Safety Center. One of the newly created parcels will include a 4-story, 62-unit affordable housing building with amenities and subterranean and at-surface parking. The remainder Lot 3 is intended for the potential future relocation and development of SACA Food Shelf.

ZONING ORDINANCE

The site is currently zoned R-4, Multiple Family Residential District. The applicant is proposing to rezone the site to Planned Unit Development (PUD). The Planned Unit Development District will allow the applicant flexibility with setbacks, building height, building design, parking stall design, and the overall use of the property. The Planned Unit Development rezoning is discussed later in this report.

COMPREHENSIVE PLAN

The Comprehensive Plan guides this area for Transit Oriented Development. Transit Oriented Development seeks to develop properties to have a mix of residential, retail, and office. Transit Oriented Development also seeks to include pedestrian friendly access and design.

In review of the site and building plans for this project, the site contains sidewalks on two sides of the site, a playground, trees and boulevard areas, and planters. The design of the site is consistent with the goals of the 2040 Comprehensive Plan.

SITE PLAN

1. Setbacks

The subject property is currently located in the Multiple Family Residential District. The proposed plan is to rezone the site to Planned Unit Development District. The R-4 district is subject to setback standards, while the PUD district is not. Setbacks of properties in the PUD district are subject to Staff review and Council approval. The following table displays what is currently allowed in the R-4 district versus what is applicant is proposing for their building under the rezoned PUD district:

Building Setbacks	Existing R-4	Proposed PUD – Lot 2
Front Yard	15 feet	12 feet
Side Yard	10 feet	10 feet
Corner Side Yard	15 feet	10 feet
Rear Yard	15 feet	15 feet

In review of Lot 2's proposed building setbacks, Staff finds the site plan acceptable as presented. Setbacks for Lot 3 will be determined at a later date, once the site is ready to be developed. It is likely that the future applicant will have to apply for a PUD Amendment to establish reasonable setbacks for their site.

2. Lot Area

City Zoning Ordinance requires a minimum lot area for Multiple Family Residential District (R-4) zoning of 10,000 square feet for a multi-family dwelling, and a minimum lot width of 70 feet. The proposed lot area for Lot 2 is 1.3 acres (56,628 square feet), and the proposed lot width is 207.3 feet. The proposed lot area and lot width meets the minimum dimensions for the proposed use.

In regards to remainder Lot 3, City Zoning Ordinance requires a minimum lot area of 6,000 square feet for Limited Business (LB) District and for General Business (GB) District, with a minimum lot width of 50 feet for the LB Zone and 40 feet for the GB Zone. The proposed lot area for Lot 3 is 0.4 acres (17,424 square feet), and the proposed lot width is 79.6 feet. The proposed lot area and lot width meets the minimum dimensions for either district.

3. Parking

The proposed site plan includes 62 apartment units. Based on the number of units and unit occupancy, the total number of required parking stalls for the proposed apartment building is 108. The applicant is proposing a total of 108 parking spaces to accommodate the residential uses onsite. The proposed design includes 46 underground stalls (43 standard stalls, 1 compact stall, and 2 ADA spaces), and 62 exterior, surface-level stalls (35 standard stalls, 24 compact stalls, and 3 ADA spaces).

4. Parking Setbacks

The underlying R-4 zoning for Multiple Family requires standard parking setbacks, while a PUD district does not. Parking setbacks in the PUD district are subject to Staff review and Council approval. The applicant is proposing the following reductions to surface-level parking setbacks in order to maintain adequate parking spaces and to potentially support shared parking with the future development of Lot 3:

Parking Setbacks	R-4 (existing)	Proposed PUD – Lot 2
Front Yard	30 feet	85.3 feet
Side Yard	10 feet	0 feet
Corner Side Yard	30 feet	85.7 feet
Rear Yard	10 feet	2 feet

In review of the proposed parking setbacks, Staff finds the site plan is acceptable as presented.

5. Multi-Family Parking Standard

Multi-Family Districts require one parking stall for each bedroom unit, and two parking stalls for each two-bedroom or larger unit. Under this equation, the total required number of resident parking stalls equals 108. The site plan provides 108 resident parking stalls, satisfying the minimum requirement.

The site plan shows a total of 25 compact parking stalls for resident parking. This means the project proposes 23% of the total spaces to be designed as compact. Staff is supportive of providing this percentage of compact spaces as PUD flexibility.

6. Vehicle Access

The main entrance will be from Jackson Street NE, accessing the underground parking. The other entrance will be from 42nd Avenue NE, accessing the at-grade parking stalls. The 42nd Avenue NE parking entry may also be accessed from 41st Avenue NE. Vehicles leaving from the at-surface parking lot can either drive south down the alley to access 41st Avenue NE, or north to access 42nd Avenue NE.

7. Loading and Deliveries

In regards to the proposed use of Lot 2, deliveries will be made through the entrance on 42nd Avenue NE and packages will be placed in a secure package room located adjacent to the entry vestibule. Postal service will also access through the 42nd Avenue entrance and proceed through the lobby to the mail area to the south.

Loading and unloading of larger items for move-in will be mainly handled through the garage parking lot, directly through the elevator or through the 42nd Avenue NE entry for delivery vehicles.

The trash room will be located at the inside corner of the basement parking level next to the elevator. Each residential floor above will have trash rooms with chutes for trash and recycling. For routine trash pickup, the appropriate trash trucks will park on Jackson Street NE as trash carts are brought up the garage access ramp and out to the truck for disposal.

8. Landscaping

The proposed landscaping plan shows a total of 15 trees including a mix of deciduous trees and conifer trees. The tree sizes and diameters meet the City's requirements for sizes at the time of planting. The remaining area on the site will be covered with grass and shrubs.

Several existing trees have been identified on the landscaping plans to remain on the project site, including three apple trees and an oak tree in the southwest portion of Lot 2. The project will be conditioned to have these trees protected in place. Additionally, all adjacent boulevard trees on City property shall also be protected in place.

9. Easement Dedication / Vacation

The existing site has four separate easements that will need to be vacated and/or replaced, or amended as part of this project: a platted perimeter drainage and utility easement, a storm water drainage utility easement, a utility easement, and a parking easement.

The first easement proposed to be vacated is a drainage and utility easement around the perimeter of Lot 1, with the exception of the northeast corner, where the easement runs along the north and east boundaries shared with 42nd Avenue NE and the existing alley. The project is proposing to vacate this easement over the portion of land that is to be subdivided. The proposed plat will define a new perimeter drainage and utility easement and reduce the width of the easement from five feet to three feet to provide adequate room for the future development of the remainder lot.

The second easement is octagonal in shape and exists to provide additional live storage capacity for the existing adjacent stormwater pond and to protect the existing water main. The project proposes to construct an apartment building where the easement currently resides. The applicant proposes to relocate this easement by constructing an underground stormwater chamber capable of storing a volume of runoff that will eliminate the need for the surface storage. The proposed project would also establish a new drainage and utility easement around the proposed underground stormwater chamber. Additionally, the project proposes to relocate the existing water main with a minimum horizontal distance of 10 feet from the future building envelope on proposed Lot 3.

The purpose of the third easement (utility easement) was to preserve the rights to construct new sanitary sewer or water mains within the former street right-of-way, if deemed necessary. There is no longer a need to preserve this land for running utilities, as sewer and water mains have already been constructed within the alley. This easement has been proposed to be vacated as part of this project.

The final easement is located on Outlot E, and currently provides the rights to the existing Columbia Court Townhomes complex to park 11 vehicles. This project proposes to relocate the parking rights for 11 stalls from Outlot E to Outlot C. With the creation of Lot 3 and its future development, the future applicant shall work

with the City to ensure that a new easement is prepared providing similar terms to the existing easement that are acceptable to the owners of Columbia Court Townhomes.

As a condition of approval, the applicant shall provide recordable documents of the easement vacations to be recorded at the County Recorder's Office. Said legal descriptions are subject to review by the City Attorney.

10. Park Dedication

The proposed plat will not include a park dedication. Instead, the applicants will make a financial contribution to satisfy this requirement. This will be included in the development contract.

11. Mechanical Screening

The applicant has not indicated any mechanical equipment on the roof top of the building. Most mechanical equipment will be on the lower level of the structure (underground parking area). If mechanical screening is to be placed on the roof, it shall comply with the City's requirements for screening. This will be a condition of approval.

12. Drainage

The applicant is proposing a stormwater management system that would adequately address the storm water design requirements for both rate control and water quality for both Lots 2 and 3. The Public Works Department will review the final plans and submitted Stormwater Management Report prior to approval of construction.

13. Fire Department Connection and Fire Hydrants

The site has existing fire hydrants onsite that are sufficient for Fire Safety purposes. As a condition of approval, the applicants shall indicate where the fire department connection is intended to connect to the building. This is subject to further review by the Fire Department.

14. Building Design and Materials

Exterior materials will include brick on the first floor with a cast stone base. The second, third, and fourth floors will have a combination of brick, fiber cement lap siding, and fiber cement panel. These materials are of high architectural quality and will add to the value of the neighborhood.

15. Floor Area Ratio

The applicants are proposing a Floor Area Ratio (FAR) of 1.24. This is a unit of measurement used to measure the amount of square footage in a building compared to the overall site. The Comprehensive Plan recommends a FAR between 1.00 and 3.00 for transit oriented design areas in the City. A floor area ratio of 1.24 is consistent with the Comprehensive Plan Goals.

16. Lighting

The applicant has submitted a photometric plan that complies with City Code. The exterior lighting proposed at the project site provides ample parking lot lighting for residents and does not emit light onto adjacent properties.

17. Neighborhood Notification

Notifications went out to surrounding property owners within 350 feet of the subject site. The notice was also posted in "Life" Newspaper, and posted on the City's website. The City received several emails of comments, questions, and concerns, including other uses for the parcel, changes in adjacent property values, ownership

of the site, design, density, traffic, noise, and drainage. All comments were acknowledged by Staff, and questions were answered to the best of Staff's abilities.

PLANNED UNIT DEVELOPMENT

In order to accommodate the proposed density at this site and the potential future mixed use element of the plan, the applicant is proposing to rezone the property to a Planned Unit Development (PUD). The PUD will allow flexibility with the City's strict zoning requirements, while also requiring a high standard of building quality and site design. The PUD ordinance requires the Planning Commission to hold an informal public hearing and a formal hearing at the City Council Meeting.

1. Density / Units-Per-Acre

The following table shows the units per acre for this project. It should be noted that units-per-acre is a different measurement than floor area ratio (discussed earlier in this report).

825 41st Avenue NE – Units Per Acre Analysis	
Units	62
Site Acreage	1.3
Units Per Acre	48

48 units per acre fall in line with the target residential density for urban centers adjacent to highways and transit ways. The project site is well within a half-mile radius of Central Avenue NE, which aims for 40-75+ units per acre under transit oriented development guidelines. The following table is an analysis of the mixed-use development that is underway at 3989 Central Avenue NE as a comparison of density:

3989 Central Ave NE – Units Per Acre Analysis	
Units	265
Site Acreage	2.3
Units Per Acre	116

The development on 40th & Central has a much higher density calculation, but is also immediately adjacent to a highway. By this comparison, this proposed project has a lower density calculation.

Staff has also completed a bedroom analysis of the site since the apartment complex will offer three different types of rental units.

825 41st Avenue NE Bedroom Analysis			
Unit		Times number of bedrooms	Total Bedrooms
1 Bedroom	16	1	16
2 Bedroom	30	2	60
3 Bedroom	16	3	48
Total Number of Units:	62	Total Number of Bedrooms:	124

2. Parking Stalls per Bedroom

The site will have a total of 124 bedrooms. As noted earlier in this report, the site will have 108 parking spaces for residents. This equates to 0.87 parking spaces per bedroom. Staff feels that this is an acceptable amount of parking for the residents as some of the larger units will not need one parking space per bedroom. For example, a three bedroom apartment may include two adults, and two children; thus only two parking spaces are needed.

3. Neighborhood Meeting

As part of the PUD approval, a neighborhood meeting is required as part of the process. The City hosted the neighborhood meeting on April 21, 2021 virtually via Zoom. The meeting was well-attended and included members of the immediate neighborhood, as well as members of the Planning Commission and City Council. The applicant presented the project to attendees and answered questions regarding the proposal. Staff heard concerns related to increased traffic and density, parking, privacy, and drainage. Staff noted that traffic is not projected to increase a detrimental amount, and that the proposed density is on the lower end of what is guided for transit-oriented development. Staff also noted that this project will actually help alleviate the drainage issues in the area.

Concerns were also raised about the size, height, quality, and design of the proposed apartment building, and the future commercial/retail use of SACA. The applicant and Staff noted that the height of the proposed building is lower than the existing adjacent development to the east (Crest View), and that the proposed materials are of high quality. Staff also noted that the future potential use of SACA is not part of the proposal at this time. The subdivision of land is under review for this project, and SACA will have to go through a PUD amendment when their proposal is ready.

FINDINGS OF FACT

Preliminary Plat

Section 9.104 (L) of the Zoning Ordinance outlines three conditions that must be met in order for the City to grant a Preliminary Plat. They are as follows:

- (a) The proposed Preliminary Plat conforms to the requirements of City Code Section 9.116 [Subdivision Ordinance].

Staff Comment: In review of the preliminary plat that was submitted, Staff finds that the preliminary plat generally conforms to the City's Subdivision Ordinance for a Planned Unit Development. The applicant is compliant in this regard.

- (b) The proposed subdivision is consistent with the Comprehensive Plan.

Staff Comment: The Comprehensive Plan supports the redevelopment of this site. In addition, the Comprehensive Plan supports transit-oriented development on this site. The proposed Subdivision is consistent with the Comprehensive Plan's goals.

- (c) The proposed subdivision contains parcel and land subdivision layout that is consistent with good planning and site engineering design principles.

Staff Comment: Staff has reviewed the proposed subdivision plan and feels that the parcel and land layout are consistent with these principles. Further, the site plan removes and replaces old easements. The project

proposes to improve the area storm water management conditions by creating increased storm water storage capacity, thereby eliminating the overland flooding condition that currently exists on the development site.

Planned Unit Development District Plan

The zoning ordinance contains the following four findings that must be satisfied before the City Council can approve the PUD District Plan at a City Council Meeting:

- (a) The PUD District plan conforms to all applicable requirements of this article [Section 9.113, PUD District].

Staff Comment: In review of Section 9.113, Staff finds that the application is consistent with the City's requirements.

- (b) The PUD District plan is consistent with the applicable provisions of the comprehensive plan.

Staff Comment: The Comprehensive Plan has this area targeted for redevelopment to a transit-oriented development project. The proposed PUD is consistent with the Comprehensive Plan's goals.

- (c) The PUD District plan is consistent with any applicable area plan.

Staff Comment: The area plan (as noted in the Comprehensive Plan) marks this area and other sites in the area for redevelopment. The PUD is consistent with the area plan.

- (d) The PUD District plan minimizes any adverse impacts on property in the immediate vicinity and the public right-of-way.

Staff Comment: The site will utilize underground and at-grade parking to prevent on-street parking. The PUD District Plan minimizes any adverse impacts on property in the immediate vicinity and the public right-of-way.

Rezoning to PUD, Planned Unit Development District

The zoning ordinance contains the following four findings that must be satisfied before the City Council can approve rezoning to PUD, Planned Unit Development District at a City Council meeting:

- (a) The amendment is consistent with the Comprehensive Plan.

Staff comment: The amendment is consistent with the applicable provisions of the Comprehensive Plan.

- (b) The amendment is in the public interest and is not solely for the benefit of a single property owner.

Staff comment: The amendment is in the public interest and not solely for the benefit of a single property owner.

- (c) Where the amendment is to change the zoning classification of a particular property, the existing use of the property and the zoning classification of the property within the general area of the property in question are compatible with the proposed zoning classification.

Staff comment: The amendment is compatible with existing land uses and zoning classifications in the general area.

- (d) Where the amendment is to change the zoning classification of a particular property, there has been a change in the character or trend of development in the general area of the property in question, which has taken place since such property was placed in its current zoning classification.

Staff comment: The amendment reflects changes in development trends in the general area.

SUMMARY AND RECOMMENDATION

The applicant is seeking approval of a preliminary plat; easement vacations; and a rezoning to PUD, Planned Unit Development District to construct a 4-story, 62-unit affordable housing building that includes a remainder parcel for the potential future development of a new facility for the SACA Food Shelf at the northern undeveloped portion of the City's Public Safety Center. The project will include underground and at-grade parking for residents, with the potential for a shared parking agreement with the future tenants of Lot 3. Staff is recommending approval of the project with the conditions outlined below:

Preliminary Plat

Staff recommends that the Planning Commission recommend approval of the Preliminary Plat as presented subject to the conditions outline below:

1. All required state and local codes, permits, licenses and inspections will be met and in full compliance.
2. The applicant shall be responsible for the cost of filing and recording written easements with the Anoka County Recorder's Office.
3. An approved Preliminary Plat shall be valid for a period of one year from the date of the approval. In the event that a Final Plat is not presented for approval within this time period, the Preliminary Plat will become void.
4. The applicant shall enter into a Developer's Agreement with the City. Said documentation shall be reviewed by the City Attorney.

Vacation of Easements

The applicants are proposing to vacate two easements on the property. The easement vacations are necessary in order accommodate the project. The applicants have provided descriptions of the easements to be vacated. Staff recommends that the Planning Commission recommend to the City Council approval of the easement vacations with the following conditions:

1. The applicant shall be responsible for providing legal descriptions of all easements that are subject to be created. Said descriptions are subject to review by the City Attorney.
2. The applicant shall be responsible for recording the easement vacations with the Anoka County Recorder's Office.

PUD, Planned Unit Development District Plan

By Code, the Planning Commission shall hold an informal hearing related to the Planned Unit Development. The Planning Commission shall make a recommendation to the City Council. The City Council will hold the formal hearing for approval of the PUD. Staff recommends approval of the PUD with the following conditions:

1. The building and site shall meet all requirements found in the Fire Code and the Building Code.

2. Any proposed exterior lighting shall be reviewed and approved by City Staff before installation.
3. All other applicable local, state, and federal requirements shall be met at all times.
4. The City shall require a pre-construction conference prior to the start of any land alteration activities.
5. All storm water best management practices (BMP's) shall have designated drainage and utility easements recorded with the Final Plat or as a separate document with Anoka County.
6. The property owner and the City will enter in to a development contract governing the public site improvements and any off-site public improvements that are necessary for the project, and such contract shall be executed by the property owner and the City prior to the issuance of a building permit.
7. Developer shall provide financial guarantee in the form of a cash escrow or irrevocable letter of credit for landscaping and public improvements. The guarantee amount is to be determined by the City Engineer.
8. If mechanical screening is to be placed on the roof, it shall comply with the City's requirements for screening.
9. The applicants shall provide recordable documents of the easement vacations to be recorded at the County Recorder's Office.
10. The City Engineer shall review and approve the final site grading plans, utility plans and storm water management plans.
11. The developer shall enter into a storm water maintenance and management agreement with the City for all on-site BMP's, to be prepared by the City Attorney.
12. Existing catch basins on Jackson Street NE or 42nd Avenue NE, located downstream of the site, shall have inlet protection provided during construction.
13. Applicant shall obtain a Site NPDES Construction Permit prior to any site disturbance activities.
14. Perimeter and entrance erosion control measures shall be installed and inspected by the Engineering Department prior to any site grading activities. Applicant shall coordinate erosion control measures with the Engineering Department if building construction is initiated prior to general site grading.
15. Site access during construction shall be limited to 42nd Avenue NE. Parking and deliveries during construction along Jackson Street NE shall be prohibited.
16. All slopes greater than 4:1 shall be provided erosion control blanket.
17. The site utility plans shall be subject to review and final approval by the City Engineer, and Fire Chief.

18. All utilities and storm water features serving the development shall be privately owned and maintained. All utilities shall meet the City of Columbia Heights' specifications for materials and installation.
19. The City of Columbia Heights does not allow PVC as a material type in the Right-of-Way; please change to DIP.
20. Retaining wall heights in excess of 4 vertical feet shall have protective delineation, such as fencing or landscaping, at the top of the wall.
21. Developer shall pay park dedication fees as outlined in the City Code.
22. Developer will provide record plans or as-built drawings to the City following project completion in both hardcopy and digital format.
23. The existing boulevard trees on Jackson Street, as well as the four existing trees south of the new drive, shall be protected, installed, and approved by the City Urban Forester prior to construction.
24. Location of tree installations per the landscape plan and utility locations should be coordinated to maintain 10 feet separation from all utilities.
25. Developer will complete the necessary amendments to the existing storm water easement(s) recorded against the development site to allow for the proposed underground storm water system.
26. Developer will ensure proper recording of the amended storm water easement(s) with Anoka County.

Rezoning / Ordinance Amendment

Attached to this report is a draft ordinance amendment to allow the site to be rezoned to planned unit development. The applicants are seeking the following flexibilities from the zoning ordinance in order to complete this project:

1. **Parking.** The City Council approves the parking stall dimensions, quantity of compact stalls, and total number of stalls as shown on the plans.
2. **Setbacks.** The City Council approves the building setbacks as shown on the plans.
3. **Units-per-Acre.** The City Council approves the units per acre of up to 55.

RECOMMENDED MOTION(S):

Motion: Move to waive the reading of draft Resolution No 2021-XXXX, Preliminary Plat Approval, there being ample copies available to the public.

Motion: Motion to recommend that the Planning Commission recommend to the City Council approval of the Preliminary Plat as presented, subject to the following conditions:

1. All required state and local codes, permits, licenses and inspections will be met and in full compliance.
2. The applicant shall be responsible for the cost of filing and recording written easements with the Anoka County Recorder's Office.
3. An approved Preliminary Plat shall be valid for a period of one year from the date of the approval. In the event that a Final Plat is not presented for approval within this time period, the Preliminary Plat will become void.
4. The applicant shall enter into a Developer's Agreement with the City. Said documentation shall be reviewed by the City Attorney.

Motion: Move to waive the reading of draft Resolutions No 2021-XXXX and No 2021-XXXX, Easement Vacations, there being ample copies available to the public.

Motion: Motion to recommend that the Planning Commission recommend to the City Council approval of the Easement Vacations as presented, subject to the following conditions:

1. The applicant shall be responsible for providing legal descriptions of all easements that are subject to be created. Said descriptions are subject to review by the City Attorney.
2. The applicant shall be responsible for recording the easement vacations with the Anoka County Recorder's Office.

Motion: Move to waive the reading of draft Resolution No. 2021-XXXX, PUD, Planned Unit Development District Plan, there being ample copies available to the public.

Motion: Motion to recommend that the Planning Commission recommend to the City Council approval of the PUD, Planned Unit Development District Plan as presented, subject to the following conditions:

1. The building and site shall meet all requirements found in the Fire Code and the Building Code.
2. Any proposed exterior lighting shall be reviewed and approved by City Staff before installation.
3. All other applicable local, state, and federal requirements shall be met at all times.
4. The City shall require a pre-construction conference prior to the start of any land alteration activities.
5. All storm water best management practices (BMP's) shall have designated drainage and utility easements recorded with the Final Plat or as a separate document with Anoka County.
6. The property owner and the City will enter in to a development contract governing the public site improvements and any off-site public improvements that are necessary for the project, and such contract shall be executed by the property owner and the City prior to the issuance of a building permit.
7. Developer shall provide financial guarantee in the form of a cash escrow or irrevocable letter of credit.

for landscaping and public improvements. The guarantee amount is to be determined by the City Engineer.

8. If mechanical screening is to be placed on the roof, it shall comply with the City's requirements for screening.
9. The applicants shall provide recordable documents of the easement vacations to be recorded at the County Recorder's Office.
10. The City Engineer shall review and approve the final site grading plans, utility plans and storm water management plans.
11. The developer shall enter into a storm water maintenance and management agreement with the City for all on-site BMP's, to be prepared by the City Attorney.
12. Existing catch basins on Jackson Street NE or 42nd Avenue NE, located downstream of the site, shall have inlet protection provided during construction.
13. Applicant shall obtain a Site NPDES Construction Permit prior to any site disturbance activities.
14. Perimeter and entrance erosion control measures shall be installed and inspected by the Engineering Department prior to any site grading activities. Applicant shall coordinate erosion control measures with the Engineering Department if building construction is initiated prior to general site grading.
15. Site access during construction shall be limited to 42nd Avenue NE. Parking and deliveries during construction along Jackson Street NE shall be prohibited.
16. All slopes greater than 4:1 shall be provided erosion control blanket.
17. The site utility plans shall be subject to review and final approval by the City Engineer, and Fire Chief.
18. All utilities and storm water features serving the development shall be privately owned and maintained. All utilities shall meet the City of Columbia Heights' specifications for materials and installation.
19. The City of Columbia Heights does not allow PVC as a material type in the Right-of-Way; please change to DIP.
20. Retaining wall heights in excess of 4 vertical feet shall have protective delineation, such as fencing or landscaping, at the top of the wall.
21. Developer shall pay park dedication fees as outlined in the City Code.
22. Developer will provide record plans or as-built drawings to the City following project completion in both hardcopy and digital format.
23. The existing boulevard trees on Jackson Street, as well as the four existing trees south of the new drive, shall be protected, installed, and approved by the City Urban Forester prior to construction.

24. Location of tree installations per the landscape plan and utility locations should be coordinated to maintain 10 feet separation from all utilities.

25. Developer will complete the necessary amendments to the existing storm water easement(s) recorded against the development site to allow for the proposed underground storm water system.

26. Developer will ensure proper recording of the amended storm water easement(s) with Anoka County.

Motion: Move to waive the reading of draft Ordinance No. 1666, PUD District #2021-01, Rezoning of Property, there being ample copies available to the public.

Motion: Motion to recommend that the Planning Commission recommend to the City Council approval of the Ordinance Amendment.

ATTACHMENT(S):

Resolution No. 2021-XXXX, Preliminary Plat

Resolution No. 2021-XXXX, Easement Vacation (1 of 2)

Resolution No. 2021-XXXX, Easement Vacation (2 of 2)

Resolution No. 2021-XXXX, PUD, Planned Unit Development District Plan

Ordinance No. 1666, PUD District #2021-01

Neighbor Correspondence

Application

Applicant Narrative

Project Plans

PROJECT OVERVIEW

The Applicant, Reuter-Walton, is considering acquiring land from the City of Columbia Heights on which to construct a new affordable apartment building. The City owns Lot 1 and Outlot E of the Northwestern 2nd Addition, which is located north of the intersection of Jackson Street NE and 41st Avenue NE. The combined property measures 5.0 Acres and spans across the land between 41st Avenue NE and 42nd Avenue NE and is generally located between Jackson Street NE and the alley between Jackson Street NE and Central Avenue NE. The City of Columbia Heights Public Safety Center is located on the south half of the property. The north half of the property is currently paved with an asphalt parking lot, but does not have any permanent structures.

The Public Safety Center occupies 3.3 acres, leaving the northern 1.7 acres of land that currently functions as a parking lot as relatively under-utilized. The Reuter-Walton apartment proposes to develop the western 1.3 acres, leaving 0.4 acres of remaining land available for future development. The operators of the existing SACA have expressed interest in constructing a food shelf building on the remaining 0.4 acres.

SUBMITTAL APPLICATION

The objective of this application is to gain preliminary approvals from the City of Columbia Heights for a new Planned Unit Development over the 5.0-acre parcel. To accomplish this objective, existing easements on the northern 1.7 acres would need to be vacated, and the land would need to be subdivided into three proposed lots: one for the City Public Safety Center, one for the proposed apartment building, and one for future development. Three accompanying applications are included with this submittal.

The first application for this submittal is the Planned Unit Development (PUD) Application. The Applicant is Reuter-Walton, the proposed developer of the proposed apartment building. The application form has been completed and signed by the applicant, and a check for the required fee of \$2,500 is included. Attached to this application are the required documents listed at the top of page 2 of the PUD Application, including:

1. This narrative;
2. A vicinity map;
3. An accurately scaled site plan;
4. Existing and proposed topography;
5. Vehicular access and parking areas;
6. Landscaping and other site features;
7. A stormwater management plan;
8. Elevation views of the proposed apartment building.

There are two sets of plans included with this application. The first is titled, "42nd Avenue Apartments", are the preliminary architectural plans for the proposed apartment building. The second set is titled, "Northwestern 3rd Addition", which include land survey, civil engineering, and landscape architecture plans, and stormwater management plan for the proposed overall development. Each of these documents has been prepared in accordance with the City of Columbia Heights Site Plan Application Submission Checklist.

The second application form for this submittal is the Vacation Application. The Applicant is requesting the following four existing easements that encumber the northern 1.7 -acre parcel be vacated:

1. Platted perimeter drainage and utility easement per Northwestern 2nd Addition;
2. Storm water drainage utility easement per Document Number 1554478;
3. Utility easement per Document Number 594146;
4. Parking easement over Outlot E, per document number 1554482.

We have shown all four of the easements on the plan sheet titled, "Easement Exhibit", sheet number X-2 in the Northwestern 3rd Addition plan set. In accordance with the Vacation checklist, we have also included a detailed narrative titled, "Easement Vacation Narrative" the describes the need or desire for the vacation of these proposed easements.

The third application for this submittal is the Minor Subdivision Application. The Applicant is requesting the 5.0-acre property currently recorded as Lot 1 and Outlot E of Northwestern 2nd Addition be re-platted as Lot 1, Lot 2, and Lot 3 of Northwestern 3rd Addition. The resulting plat and proposed easements are depicted on the plan sheet titled, "Preliminary Plat", sheet number C-1 in the Northwestern 3rd Addition plan set. The Applicant that the City determine the Parkland Dedication Fees for the proposed project during their review of this application.

The Applicant is requesting Preliminary Approval of the Architectural, Land Survey, Civil, and Landscape Plans for the proposed apartment building on Lot 2 of the proposed Northwestern 3rd Addition plat. This application does not include a formal request for the development of the SACA Food Shelf on Lot 3 of the proposed plat. However, the Applicant has been working with SACA to obtain conditions of approval with this application that would support the future development of the SACA Food Shelf on Lot 3.

Based on the City finding this application to be complete, the Applicant is requesting the project be reviewed by the Planning Commission at their meeting on Tuesday, May 4, 2021. If the Planning Commission approves the preliminary application for the proposed project, the Applicant is requesting the project be reviewed by City Council at their meeting on Monday, May 10, 2021.

ZONING

The existing property proposed for development is currently zoned as Planned Unit Development. The underlying zoning for Lot 1, is R-4 – Multiple Family Residential District, which is consistent with the proposed apartment building land use. The Public Safety Center is listed as an acceptable conditional use in the City's Zoning Ordinance.

The underlying zoning for Outlot E appears to be Public and Open Space. This application currently does not request rezoning of the underlying property. However, the northeasterly 7.0 ft of proposed Lot 2 extends into the westerly portion of existing Outlot E. Neither the proposed apartment building nor a future food shelf facility are permitted or conditional uses within Public and Open Space.

If the City feels that re-zoning of the underlying land is appropriate, the Applicant could work with City staff to modify this application to accomplish that objective.

DEVELOPMENT STANDARDS

LOT AREA

Lot 2: City Zoning Ordinance requires a minimum lot area for Multi-Family Residential District (R-4) zoning of 10,000 sq. ft. for a multi-family dwelling, and a minimum lot width of 70 ft. The proposed lot area for Lot 2 is 1.3 acres (56,628 sq. ft.) and the proposed lot width is 207.3 ft. Therefore, the proposed lot area and lot widths meet the minimum dimensions for the proposed use.

Lot 3: City Zoning Ordinance requires a minimum lot area of 6,000 sq. ft. for Limited Building District (LB) and for General Business District (GB), and a minimum lot width of 50 ft. for LB and 40 ft. for GB. The proposed lot area for Lot 3 is 0.4 acres (17,424 sq. ft.) and the proposed lot width is 79.6 ft. Therefore, the proposed lot area and lot widths meet the minimum dimensions for each district, if this application is amended to include proposed rezoning.

BUILDING SETBACKS

Lot 2: The underlying R-4 zoning requires building setbacks as follows: front yard 15 ft., side yard 10 ft., corner side yard 15 ft., and rear yard 15 ft. This application is requesting the PUD conditions to allow for reduced setbacks as follows: front yard 12 ft. and corner side yard 10 ft. The application meets the R-4 zoning standard for building setbacks of 10 ft. for side yard and 15 ft for rear yard.

Lot 3: The standard building setbacks for Limited Building District (LB) are: front yard N/A, side yard 15 ft., corner side yard 10 ft., and rear yard 20 ft. Standard building setbacks for General Business District (GB) are front yard 15 ft., side yard N/A, corner side yard 15 ft., and rear yard 20 ft. To accommodate the building dimensions that the food shelf desires, they have asked the Applicant to propose the following setbacks: front yard 12 ft., side yard 8 ft., corner side yard 5 ft., and rear yard 5 ft.



PARKING SETBACKS

Lot 2: The underlying R-4 zoning for Multiple-Family requires parking setbacks as follows: front yard 30 ft., side yard 10 ft., corner side yard 30 ft., and rear yard 10 ft. This application is requesting the PUD conditions to allow for parking setbacks as follows: front yard 85.3 ft., corner side yard 85.7 ft., side yard of zero, and rear yard of 2.0 ft.

The proposed parking setback increases along the front and corner side yard dimensions are proposed to maximize the distance between the proposed surface parking area and the adjacent residences to the west of Jackson Street and north of 42nd Avenue NE. The request for parking setback reductions to the east parking lot setbacks are requested to support shared parking with Lot 3. The request to reduce the parking setback to the south is to further support the efforts to maximize the parking setback from 42nd Avenue NE by minimizing the distance from the compatible land use to the south.

PARKING COUNTS

Lot 2: Based on the number of units and unit occupancy, the total number of required parking stalls for the proposed apartment building is 108. The proposed design includes 46 underground stalls (43 standard stalls, 1 compact and 2 ADA), and 62 exterior stalls (35 standard, 24 compact, and 3 ADA). Therefore, the total count of 108 stalls provided meets the total required count of 108. Also, the total count of ADA stalls of 5 meets the ADA requirement of 5 stalls for 108.

The existing parking easement on Outlot E that is proposed to be vacated with this project currently provides the rights to the existing Crest View Senior Living to 11 parking stalls on Outlot E. The City of Columbia Heights is the current landowner of Outlot C. Pursuant to discussions with City of Columbia Heights City staff, this project proposes to relocate the parking rights for 11 stalls from Outlot E to Outlot C. There is currently adequate space for 22 parking stalls on Outlot C. Also pursuant to discussions with City staff, this application proposes to provide an easement over Outlot C to grant parking rights for the remaining 11 stalls to Lot 3.

Since the proposed residential land use on Lot 2 and the potential future land use on Lot 3 have time-of-day parking demands that would complement each other, the Applicant is proposing to execute a private agreement with the future owners of the food shelf that would allow them to use the proposed parking stalls on Lot 2 during the day. The hours of operation for the food shelf are anticipated to be 8:00a.m. to 5:00p.m., which is generally the time of day with the lowest demand for parking for the proposed apartment building on Lot 2.

TRASH AND RECYCLING REMOVAL / PICKUP

Lot 2: The standard procedure for trash and recycling removal starts with the appropriate truck parking on Jackson Street near the entrance to the garage access ramp. The trash or recycling carts are then brought up the entry ramp and out to the truck for pick up from the basement trash room. The duration of this procedure is expected to take five minutes.

DELIVERY / LOADING

Deliveries will be made through the entrance on 42nd Ave and packages will be placed in a secure package room located adjacent to the entry vestibule. Postal service will also access through the 42nd Ave entrance and proceed through the lobby to the mail area to the south. Loading and unloading for move-in will be mainly handled through the garage parking directly through the elevator or through 42nd Ave entry for delivery vehicles.

STORMWATER

The applicant is proposing a stormwater management system that would adequately address the storm water design requirements for both rate control and water quality for both Lots 2 and 3. The details of the proposed stormwater system are provided in the Stormwater Management Report included with this application.

PROPOSED AFFORDABLE APARTMENT BUILDING

The project is located just west of Central Ave NE and 42nd Ave NE intersection on the current municipal parking lot north of the Columbia Heights Police and Fire Department.

The proposed project is a 4-story, 62-unit affordable housing building with one level of below grade parking garage. 46 enclosed parking stalls will be provided for residents in the garage with 62 stalls in a surface parking lot. The below grade parking garage will be accessed off of the south west corner of the site on Jackson St NE. Surface parking will be accessed from the south east corner off of the ally in line with Van Buren St NE. Also to note, both enclosed and surface parking for the project will be provided free of charge to residents based on the number of allotted parking stalls for each unit type.

The main entry of the building will be located on the north side facing 42nd Ave NE with a secondary entrance directly south across the lobby on the parking lot side. The lobby and common area on the first floor of the east wing will host the management offices, package room, mail area, conference room, and a common room for different functions for the residents. The courtyard adjacent to the common areas will have a playground structure and other outdoor furniture for resident use.

The project will provide a range of unit types and sizes from 635 square foot one-bedroom units, 935 square foot two-bedroom units, and 1280 square foot three-bedroom units. All units will have individual washer and dryer machines provided. Exterior materials will include brick on the first floor with a cast stone base. Floors 2-4 will have a combination of brick, fiber cement lap siding, and fiber cement panel.



REUTERWALTON
DEVELOPMENT



PLANNED UNIT
DEVELOPMENT

05/04/21

42ND AVENUE
AFFORDABLE
APARTMENTS

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19-094

PROJECT NARRATIVE

GO.1



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05/04/21

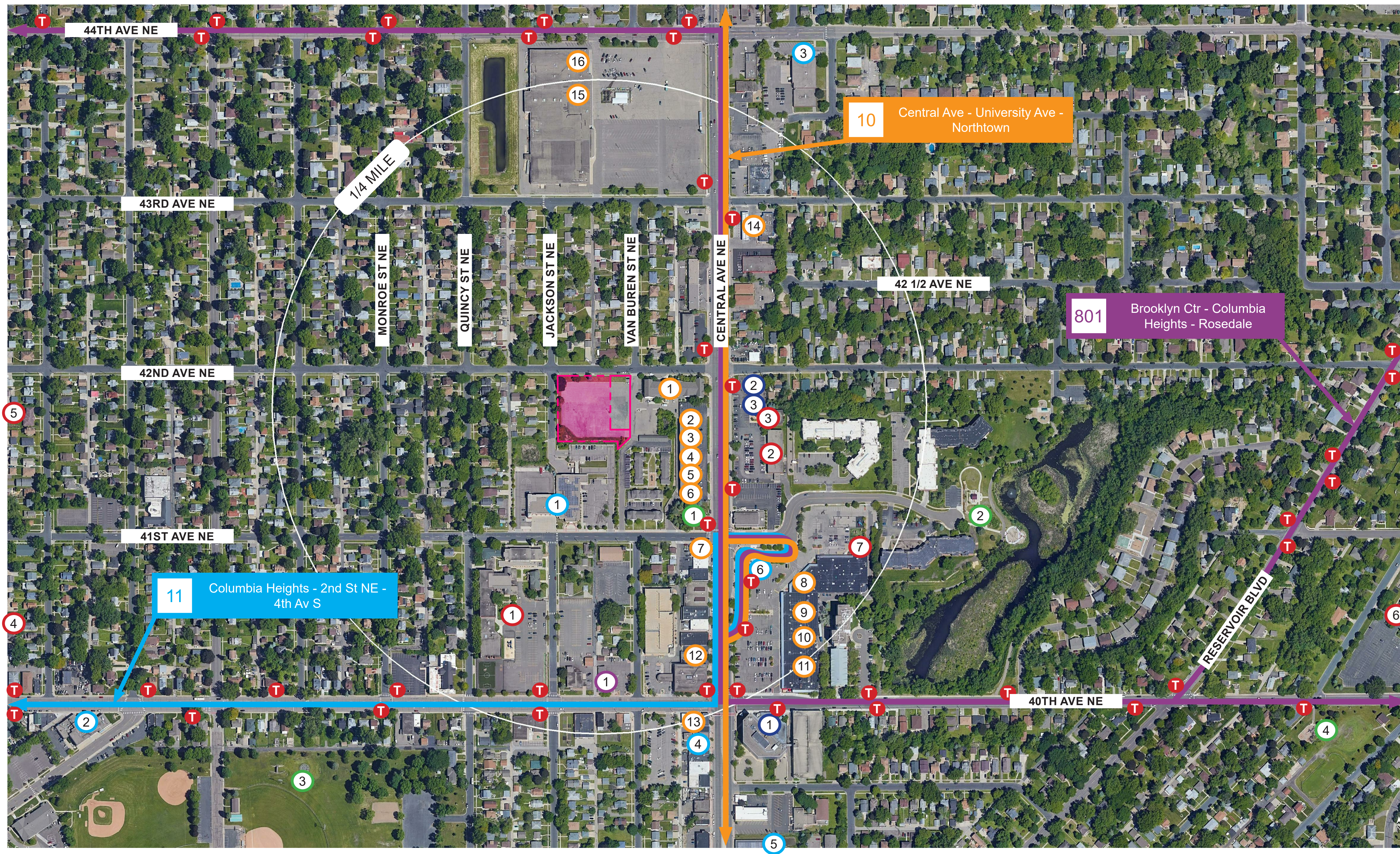
42ND AVENUE AFFORDABLE APARTMENTS

COLUMBIA HEIGHTS, MN
19-094

VICINITY MAP

A0.1

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VICINITY MAP
1" = 200'-0"

BUS STOP

PUBLIC PARKS

1. Wargo Court Park
2. Labelle Park
3. Huset Park
4. Ostrander Park

HEALTH

1. UMN Physician
2. Autism Center of MN
3. Carepoint Dental

SCHOOLS

1. Immaculate Conception Catholic School
2. Adult Education Center
3. Caring Hands Home
4. Madina Academy
5. Prodeo Academy
6. Tesfa International School
7. New Horizon Academy

CIVIC

1. CH Police & Fire Dept.
2. City hall
3. USPS
4. Columbia Heights License Center
5. Columbia Heights Public Library
6. Columbia Heights Transit Center

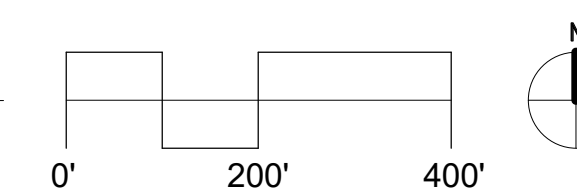
BANK

1. Financial One Credit Union

RETAIL / SERVICES / OTHER

1. Crestview on 42nd Assisted Living
2. Scherwin Williams Paint
3. Farmers Insurance
4. Cuernavaca Market
5. Columbia Heights Hair Cuts
6. Northland Staffing
7. Seek Career & Staffing
8. NAPA Auto Parts
9. Family Dollar

10. Discount 70
11. Furniture Annex
12. Sewing On Central
13. Sportmen's Barbers
14. Holiday Gas Station
15. Ace Hardware
16. Dollar Tree





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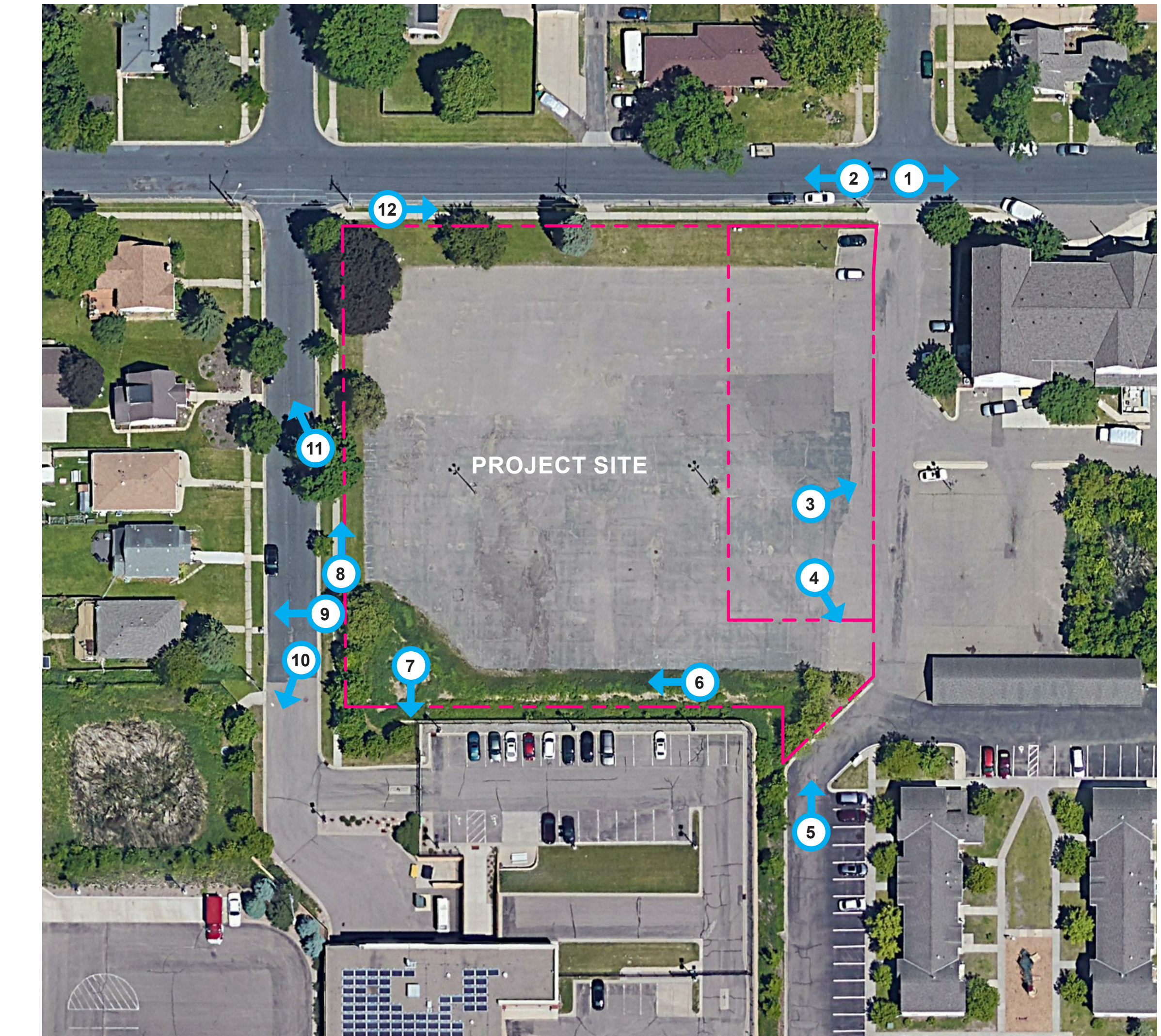
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05/04/21

42ND AVENUE AFFORDABLE APARTMENTS

COLUMBIA HEIGHTS, MN
19-094

SITE CONTEXT

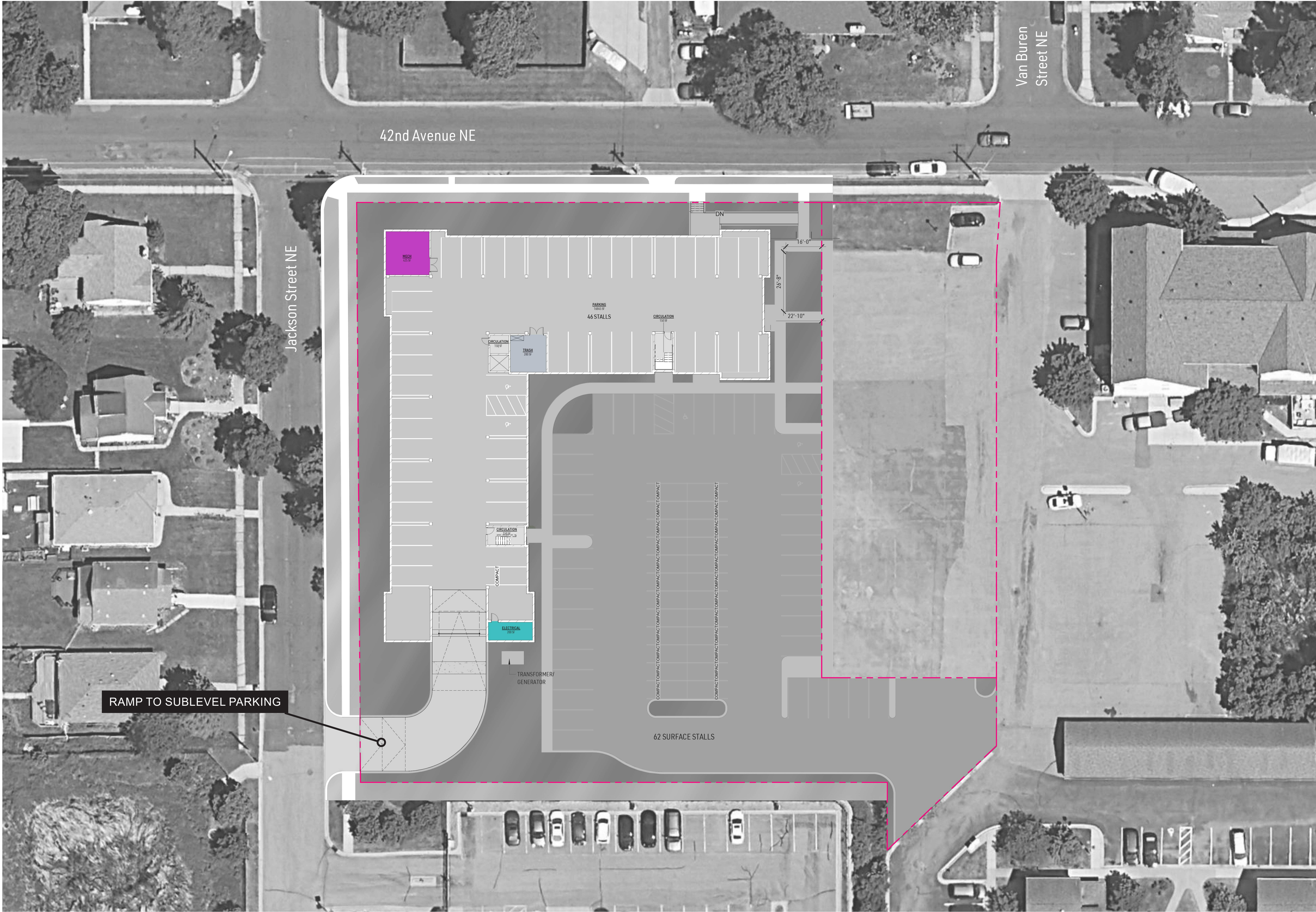
A0.2



PUD - SITE - PHOTOS
1" = 50'-0"







RAMP TO SUBLEVEL PARKING

42nd Avenue NE

Jackson Street NE

Van Buren
Street NE

62 SURFACE STALLS

PARKING
1865.57

46 STALLS

CIRCULATION
155.7

CIRCULATION
14.1

TRASH
100.14

CIRCULATION
135.2

COMPACT

ELECTRICAL
281.37

TRANSFORMER/
GENERATOR

DN

16'-0"

26'-8"

22'-10"

COMPACT

IMPACT

COMPACT

IMPACT

COMPACT

IMPACT

COMPACT

IMPACT

COMPACT

IMPACT

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IMPACT

COMPACT

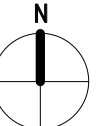
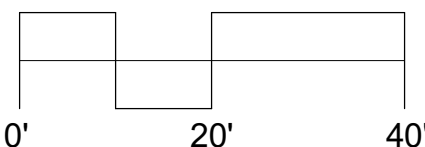
IMPACT

COMPACT

IMPACT

COMPACT

IMPACT



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Neighborhood Meeting
05/04/21

**42ND AVENUE
AFFORDABLE
APARTMENTS**

COLUMBIA HEIGHTS, MN

19-094

FLOOR PLAN - LEVEL
P1

A1.0

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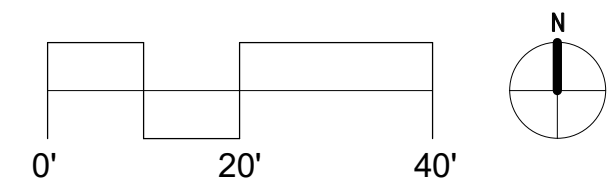
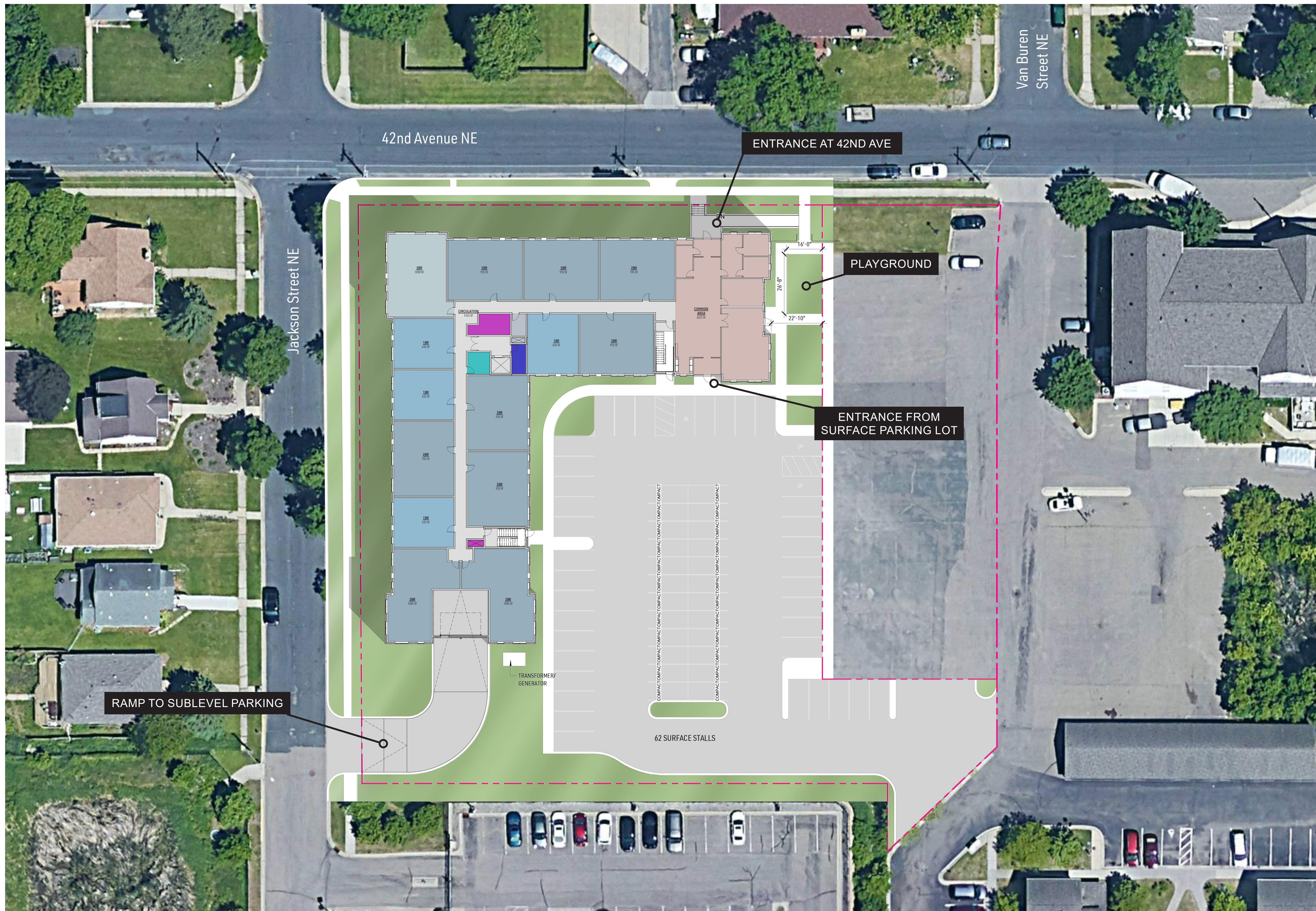
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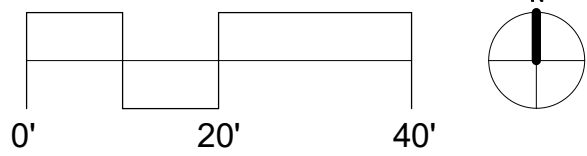
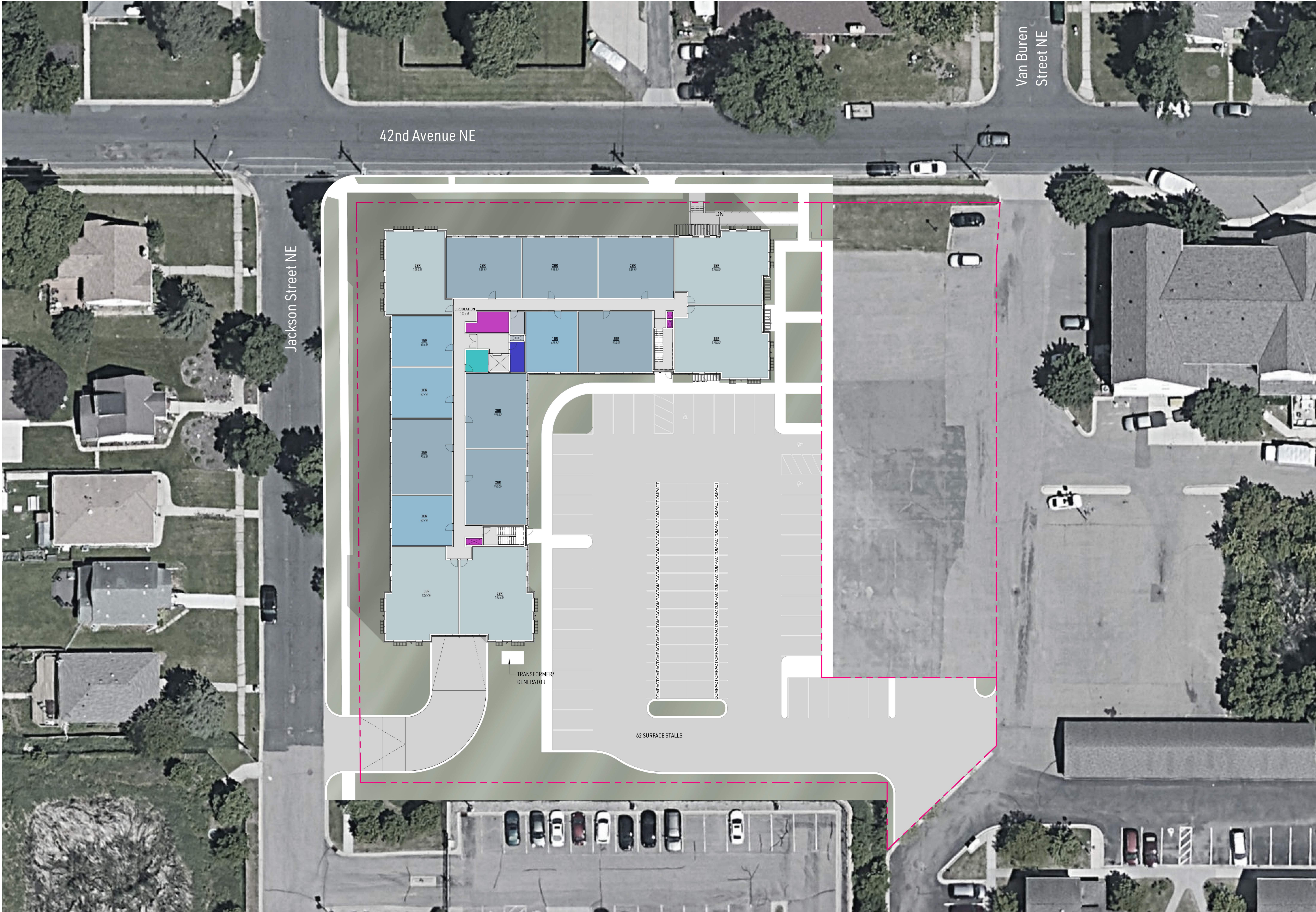
42ND AVENUE AFFORDABLE APARTMENTS

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19-094

FLOOR PLAN - LEVEL 1

A1.1







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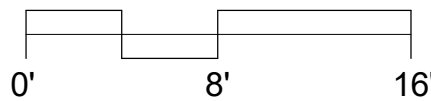
COLUMBIA HEIGHTS, MN
19-094

BUILDING ELEVATIONS

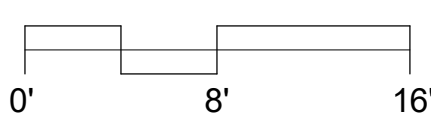
A2.1



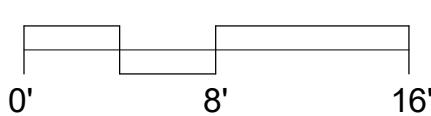
3 ELEVATION - NORTH
1/8" = 1'-0"



2 ELEVATION - EAST END
1/8" = 1'-0"

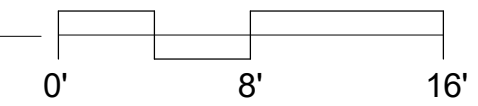


1 ELEVATION - EAST END
1/8" = 1'-0"

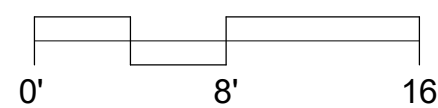




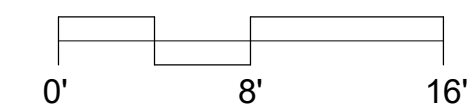
3 ELEVATION WEST
1/8" = 1'-0"



2 ELEVATION - SOUTH
1/8" = 1'-0"



1 ELEVATION - SOUTH END
1/8" = 1'-0"



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**42ND AVENUE
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APARTMENTS**

COLUMBIA HEIGHTS, MN
19-094

BUILDING ELEVATIONS

A2.2



EXTERIOR MATERIALS

1. FIBER CEMENT LAP SIDING
NAVAJO BEIGE



2. FIBER CEMENT PANEL
ARCTIC WHITE



3. FIBER CEMENT LAP SIDING
WOOD LOOK



4. UTILITY BRICK
BROWN WIRECUT FLASHED



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**42ND AVENUE
AFFORDABLE
APARTMENTS**

COLUMBIA HEIGHTS, MN
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EXTERIOR DESIGN &
MATERIALS

A2.3



VIEW NORTH ON JACKSON ST NE



INTERSECTION OF 42ND AVE NE & JACKSON ST NE



ENTRANCE AT 42ND AVE NE



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REUTERWALTON
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EXTERIOR DESIGN

A2.4



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42ND AVENUE
AFFORDABLE
APARTMENTS

COLUMBIA HEIGHTS, MN
19-094

BUILDING HEIGHT
COMPARISON

A2.5



1 BUILDING HEIGHT COMPARISON
1/16" = 1'-0"

Drawn By: Joe Frey

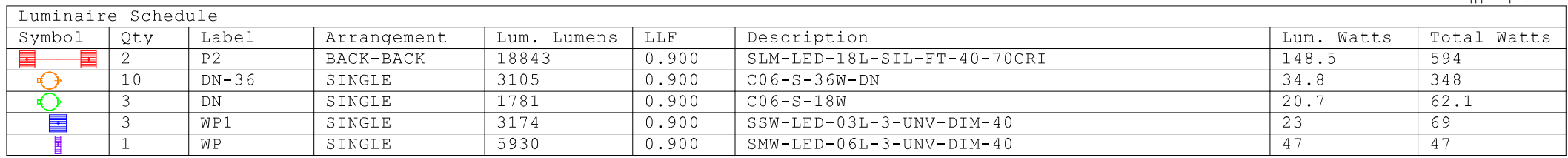
Date: 4/5/2021

Sales Agent: Steve Hahn

Scale: 1" = 20'

LS952-3764-1

JACKSON ST NE



Scale: 1 inch= 20 Ft.

These drawings are for conceptual use only and are not intended for construction. Fixture runs and quantities should be verified prior to order. Values represented are an approximation generated from manufacturers photometric inhouse or independent lab tests with data supplied by lamp manufacturers.



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Anderson Engineering of Minnesota, LLC

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

DAVID ANDERSON, L.S.

PRINT NAME

SIGNATURE

43501

REGISTRATION NUMBER

04/05/2021

DATE

Project #:

(Anderson 16337)

Date:

04/05/2021

Drawn by:

JML

Checked by:

DA

Issue:

Date:

P.U.D. SUBMITTAL

04/05/2021

NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

EXISTING CONDITIONS

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X-1

EXISTING CONDITIONS SURVEY

LEGAL DESCRIPTION:

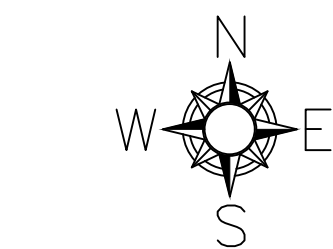
Part of Lot 1, Block 1, and Outlot E, NORTHWESTERN 2ND ADDITION, Anoka County, Minnesota.

NOTES:

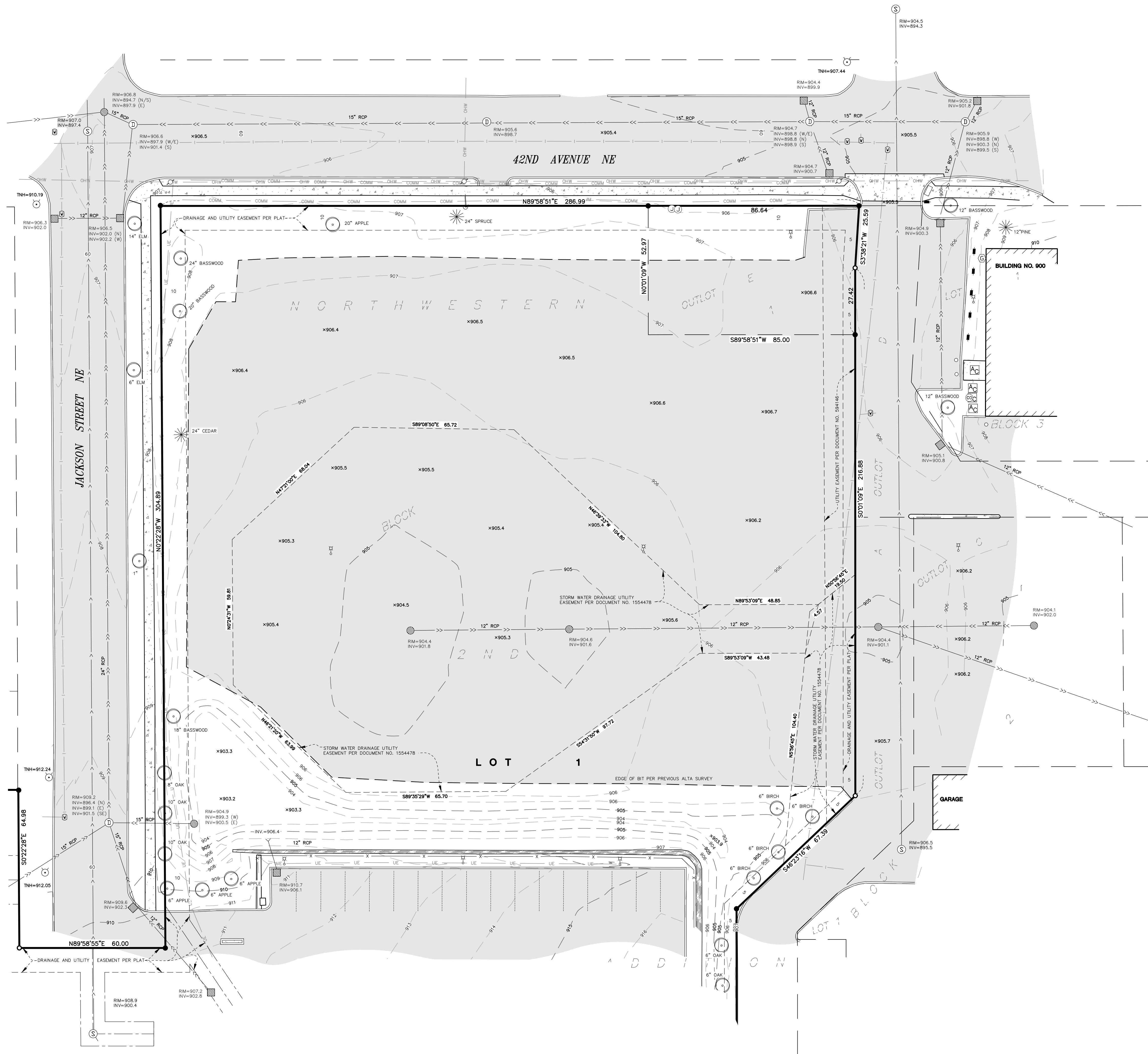
1. The horizontal datum and bearings are based on the Anoka County Coordinate System NAD83 (2011).
2. The vertical datum is NAVD 88. The site bench mark is the top nut of hydrant located 60 feet north of northeast property corner (depicted hereon). Elevation = 907.44 feet.
3. The area of the properties described hereon is:
Lot 1, Block 1, 217,874 square feet or 5.0017 acres
Outlot E, 4,523 square feet or 0.1038 acres
4. The location and extent of underground utilities, if shown, are based upon above ground evidence and Gopher State One Call markings per ticket number 210610321. Exclusive of excavation, there is no guarantee as to the accuracy or the completeness of this information. The size and location should be considered approximate. Additional underground utilities may be present. Verification of the existence and location of all utilities should be obtained from the utility owners prior to any planning or design. In accordance with State Statute, the location of utilities shall be confirmed prior to any demolition or construction.
5. The tree information shown hereon was collected during the field survey by non-forestry trained Anderson Engineering of Minnesota survey personnel. Tree sizes are estimates and locations are accurate to plus or minus three feet.
6. No title work was provided for the preparation of this survey to verify the legal description or the existence of any easements or encumbrances.

LEGEND

- AIR CONDITIONER
- CATCH BASIN
- COMMUNICATION JUNCTION BOX
- CULVERT
- GAS METER
- GUARD POST
- HYDRANT
- LIGHT POLE
- POWER POLE
- POWER POLE ANCHOR
- SANITARY MANHOLE
- SIGN
- STORM MANHOLE
- WATER VALVE
- FOUND IRON MONUMENT
- SET MONUMENT WITH L.S. NO. 43501
- CONIFEROUS TREE
- DECIDUOUS TREE
- COMMUNICATION
- FENCE
- OVERHEAD WIRES
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND ELECTRIC
- WATER MAIN
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- TRUNCATED DOMES
- RETAINING WALL



0 20 40
1" = 20 FEET





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Minneapolis, Minnesota 55401
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P 763.412.4000 | F 763.412.4090
Anderson Engineering of Minnesota, LLC

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

DAVID ANDERSON, LS

PRINT NAME

SIGNATURE

43501
REGISTRATION NUMBER

04/05/2021
DATE

Project #: (Anderson 16337)

Date: 04/05/2021

Drawn by: JML

Checked by: DA

Issue: P.U.D. SUBMITTAL

Date: 04/05/2021

NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

EASEMENT EXHIBIT

X-2

EXISTING EASEMENT EXHIBIT

LEGAL DESCRIPTION:

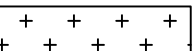
Lot 1, Block 1, and Outlot E, NORTHWESTERN 2ND ADDITION,
Anoka County, Minnesota.

EASEMENTS:

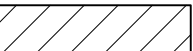
1. Platted drainage and utility easements per NORTHWESTERN 2ND ADDITION



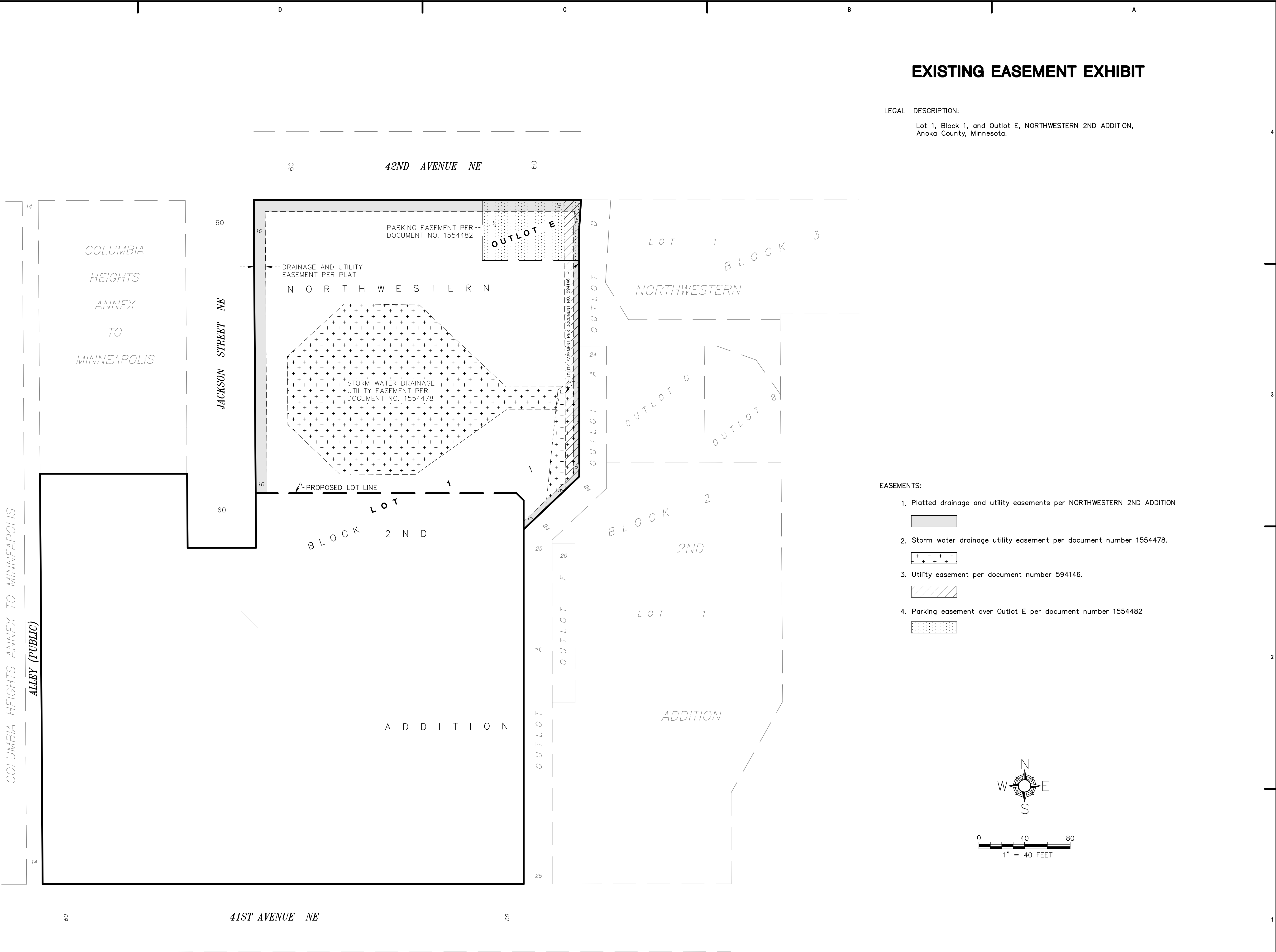
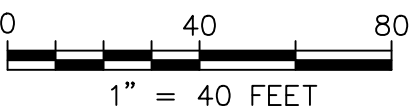
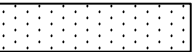
2. Storm water drainage utility easement per document number 1554478.



3. Utility easement per document number 594146.



4. Parking easement over Outlot E per document number 1554482





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Checked by: LRK

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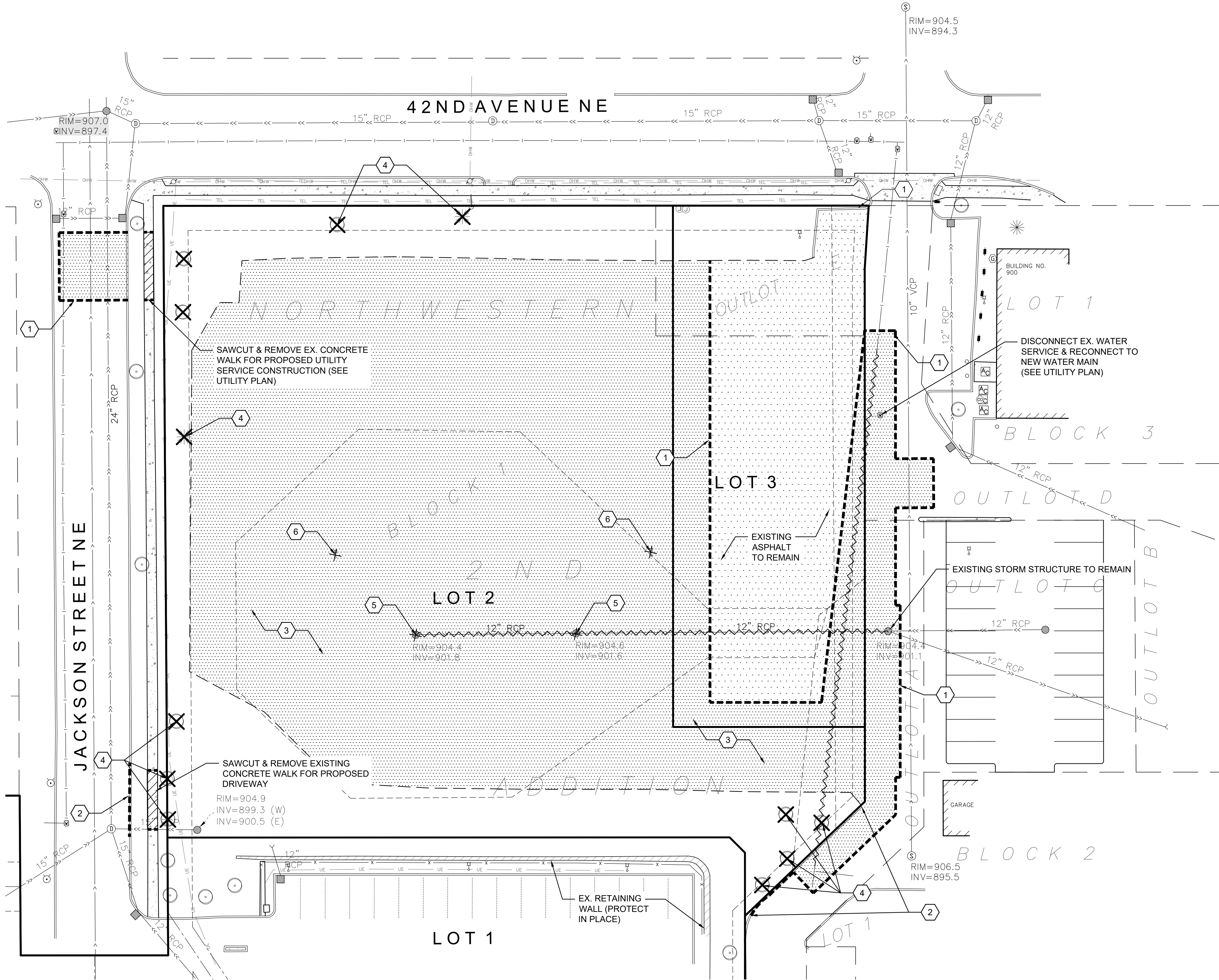
NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

PRELIMINARY DEMOLITION PLAN

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D-1



LEGEND

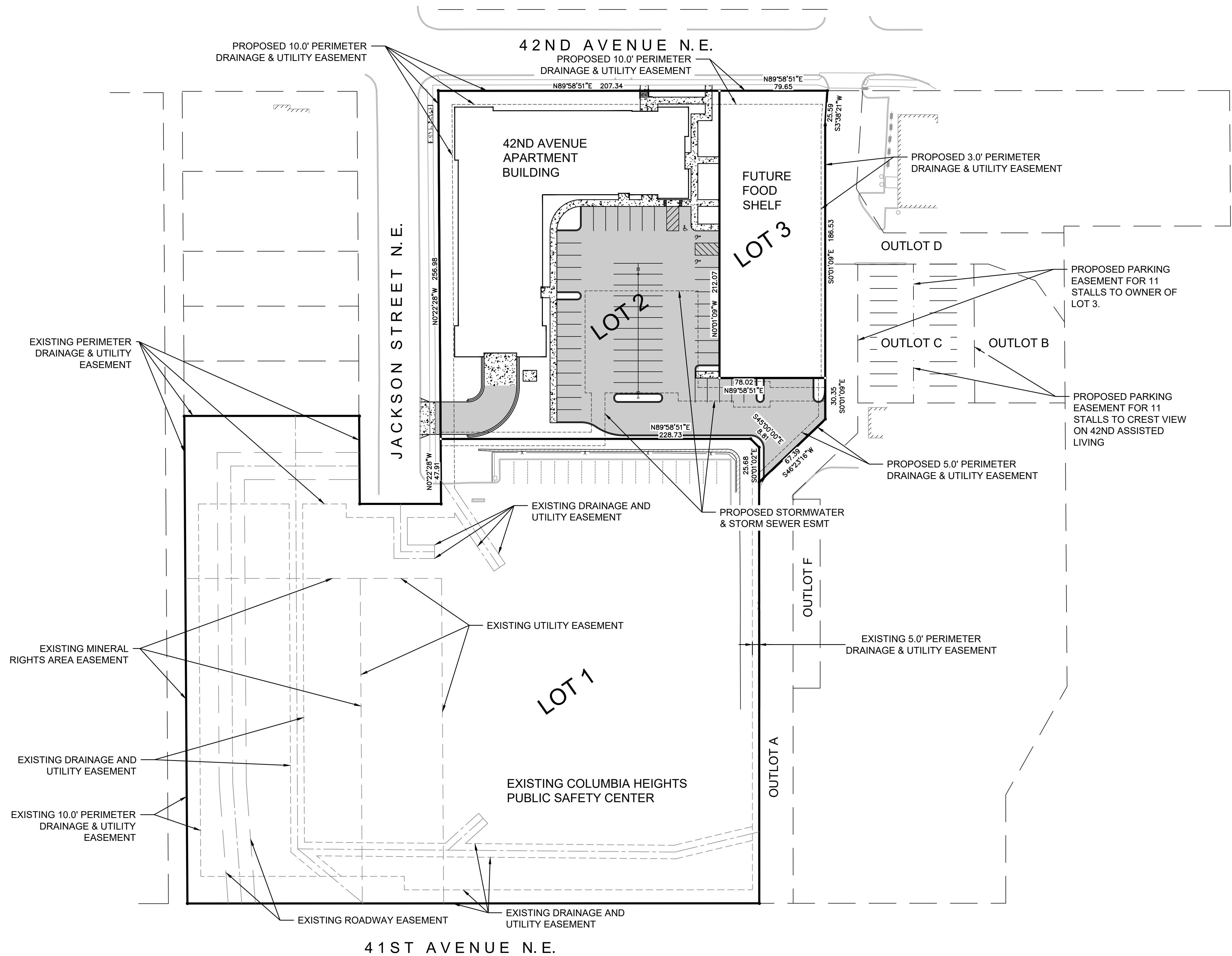
- PROPERTY LIMITS
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING FENCE
- EXISTING GAS MAIN
- EXISTING OVERHEAD WIRES
- EXISTING TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING HYDRANT AND GV
- EXISTING SANITARY MANHOLE
- EXISTING STORM SEWER INLET
- REMOVE EXISTING UTILITY LINE
- REMOVE EXISTING ASPHALT PAVEMENT
- EXISTING ASPHALT PAVEMENT
- REMOVE EXISTING CONCRETE WALK
- REMOVE TREE
- EXISTING LIGHT STANDARD
- EXISTING POWER POLE

KEY NOTES

- FULL DEPTH SAWCUT/PAVEMENT MATCH IN LINE. CONTRACTOR TO FIELD VERIFY EXTENTS AS NECESSARY.
- REMOVE EXISTING CONCRETE CURB & GUTTER
- REMOVE EXISTING ASPHALT PAVEMENT
- REMOVE EXISTING TREE
- REMOVE EXISTING STORM STRUCTURE
- REMOVE EXISTING LIGHT STANDARD



PRELIMINARY PLAT OF:
NORTHWESTERN 3RD ADDITION



LEGEND

- PROPERTY LIMITS
- ADJACENT PROPERTY
- PARKING EASEMENT
- DRAINAGE AND UTILITY EASEMENT
- PROPOSED CONC. C&G
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- NO PARKING ZONE
- HANDICAP STALL

SITE DATA

EXISTING

PROPERTY ADDRESS:
824 41ST AVE NE, COLUMBIA HEIGHTS, MN 55421

LEGAL DESCRIPTION:
BLOCK 1, LOT 1, NORTHWESTERN 2ND ADDITION,
AND OUTLOT E, NORTHWESTERN 2ND ADDITION,
ANOKA COUNTY, MINNESOTA

ZONING: R-4 MULTIPLE FAMILY RESIDENTIAL
DISTRICT

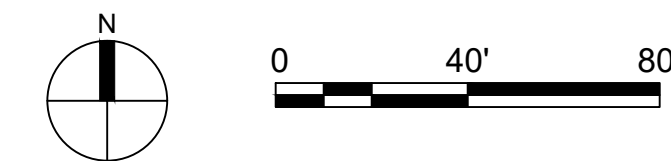
EXISTING PARCEL AREA: 5.00 ACRES

PROPOSED

ZONING: PLANNED UNIT DEVELOPMENT

LOT 1 AREA: 3.31 ACRES
LOT 2 AREA: 1.30 ACRES
LOT 3 AREA: 0.39 ACRES

TOTAL AREA=5.00 ACRES



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NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

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PRELIMINARY PLAT

C-1

PARKING SUMMARY

	REQUIRED			EXTERIOR			UNDERGROUND			PROVIDED OUTLOT C			TOTAL SITE			GRAND TOTAL
	STANDARD	ADA	TOTAL	STD	COMPACT	ADA	STD	COMPACT	ADA	STD	COMPACT	ADA	STD	COMPACT	ADA	
LOT 2	103	5	108	35	24	3	43	1	2	0	0	0	78	25	5	108
LOT 3	TBD	TBD	SHARED	SHARED	SHARED	SHARED	0	0	0	11	0	0	11+SHARED	SHARED	SHARED	11+SHARED
TOTAL	103+LOT 3	5+LOT	108+LOT 3	35	24	3	43	1	2	11	0	0	89	25	5	119

LEGEND

	PROPERTY LIMITS
	CONSTRUCTION LIMITS
	ADJACENT PROPERTY
	BUILDING SETBACKS
	PARKING SETBACK
	DRAINAGE AND UTILITY EASEMENT
	PROPOSED CONCRETE C&G
	PROPOSED BITUMINOUS PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	NO PARKING ZONE
	HANDICAP STALL DESIGNATION
	NUMBER OF PARKING STALL IN SECTION

KEY NOTES

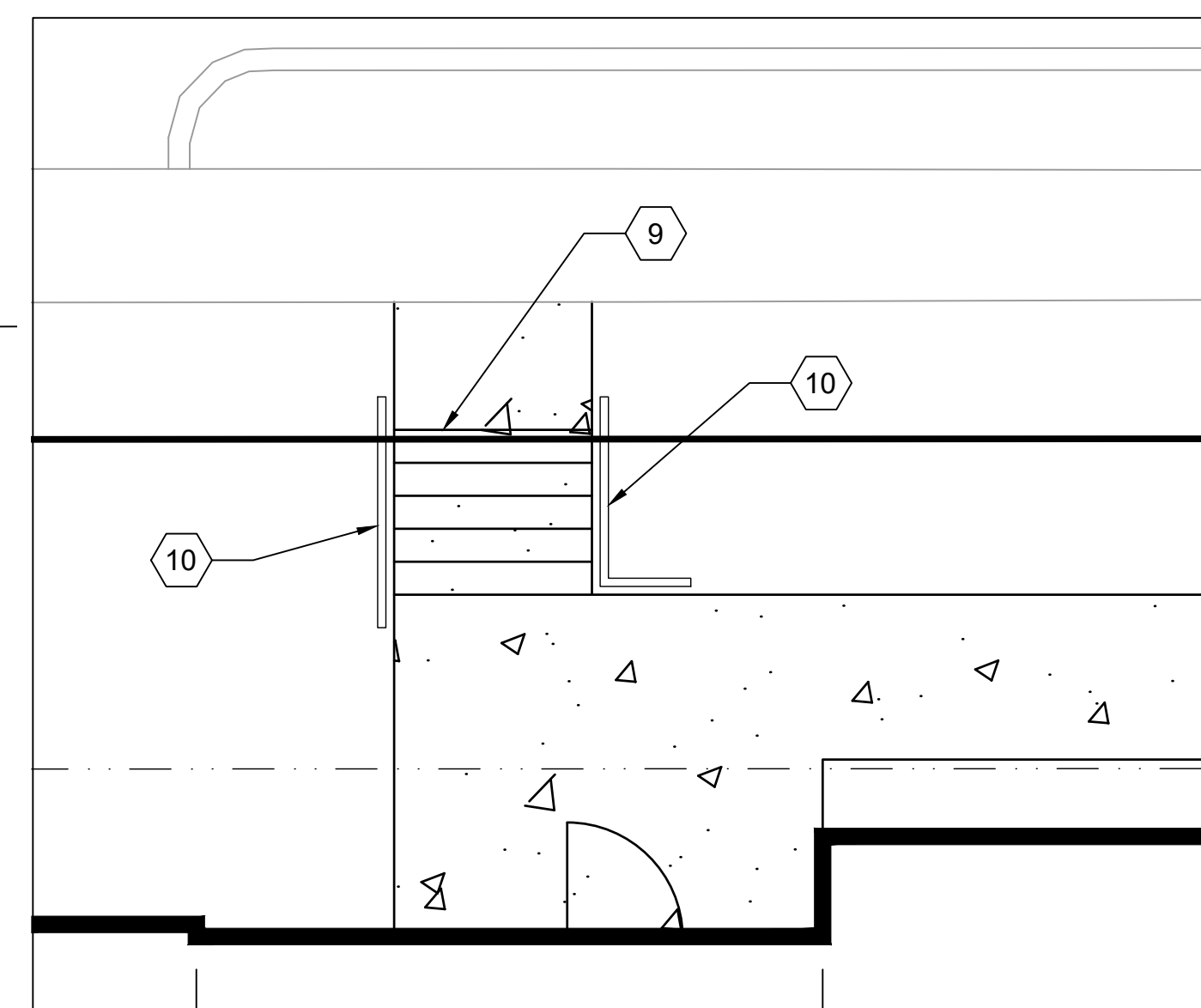
- 1 PROPOSED CONCRETE SIDEWALK (SEE DETAIL)
- 2 PROPOSED BITUMINOUS PAVEMENT (SEE DETAIL)
- 3 CONCRETE CURB (SEE DETAIL)
- 4 CONCRETE SIDEWALK (SEE DETAIL)
- 5 ADA DETECTABLE WARNING PLATES
- 6 ADA PEDESTRIAN RAMP (SEE DETAIL)
- 7 FULL DEPTH SAWCUT / PAVEMENT MATCH IN LINE.
- 8 EXISTING ELECTRICAL JUNCTION BOX
- 9 CONCRETE STEPS (SEE DETAIL)
- 10 METAL RAILING. EXTEND 12" BEYOND ENDS OF THE STEPS/WALL. (SEE DETAIL)
- 11 RETAINING WALL. (STRUCTURAL DESIGN BY OTHERS)
- 12 CONCRETE PAVEMENT (SEE DETAIL)

BUILDING SETBACKS

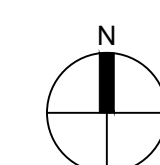
	LOT 2	LOT 3
FRONT	12.0'	12.0'
SIDE	10.0'	8.0'
SIDE CORNER	10.0'	5.0'
REAR	15.0'	5.0'

PARKING SETBACKS

	LOT 2
FRONT	85.3'
SIDE	0.0'
SIDE CORNER	85.7'
REAR	2.0'



ENLARGED ENTRY RAMP PLAN



0 5' 10'



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NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

PRELIMINARY SITE PLAN

C-2



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NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

PRELIMINARY GRADING PLAN

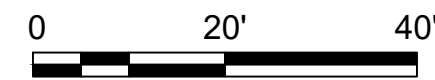
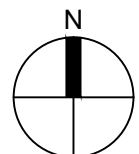
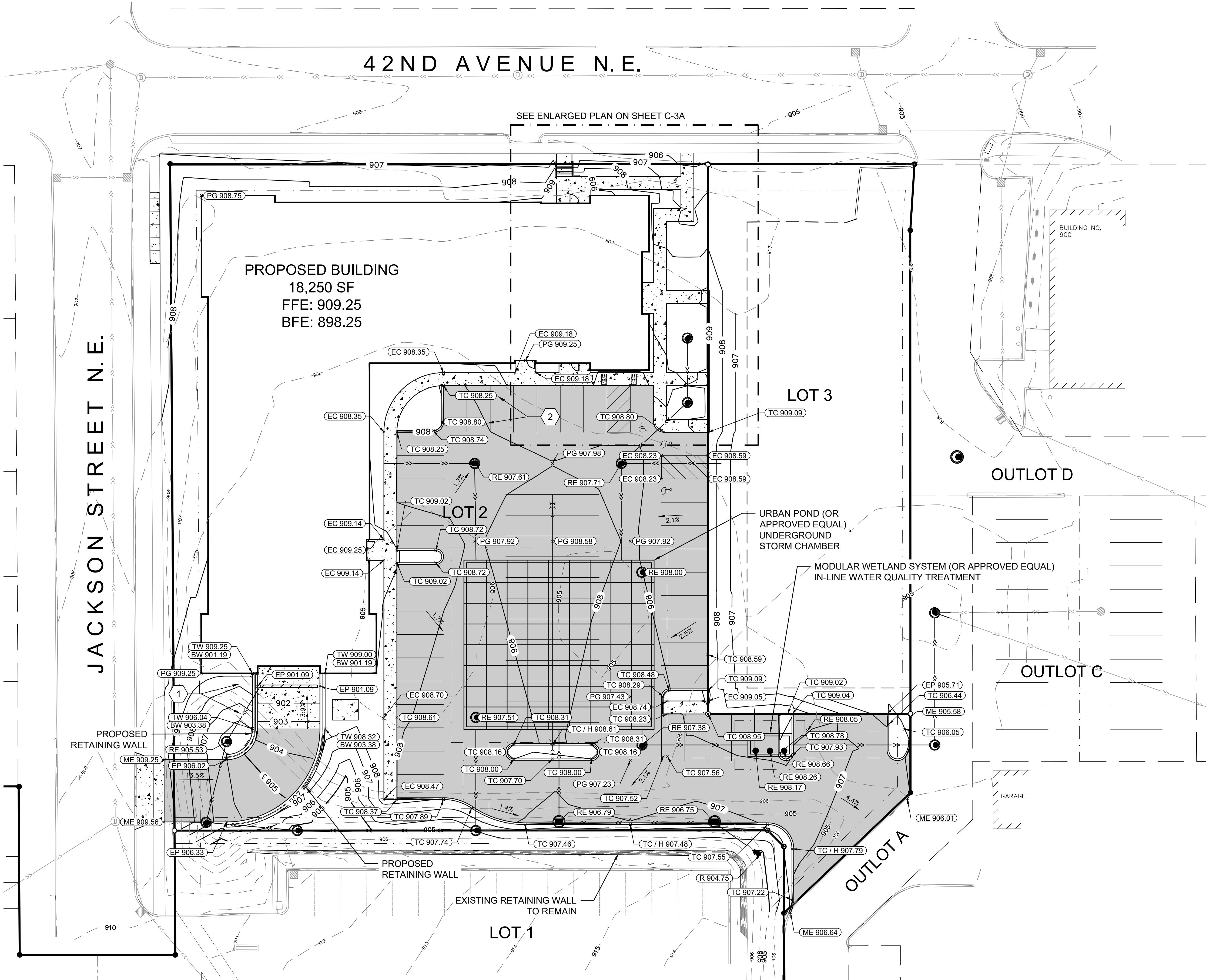
C-3

LEGEND

---	PROPERTY LIMITS
- - -	EXISTING MINOR CONTOUR
- - -	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
=====	PROPOSED RETAINING WALL
=====	PROPOSED CONCRETE C&G
---<---	PROPOSED STORM SEWER
---	TOP OF CURB / HIGH POINT
---	RIM ELEVATION
---	TOP OF WALL
---	BOTTOM OF WALL
---	TOP OF STEP
---	BOTTOM OF STEP
---	EDGE OF CONCRETE
---	EDGE OF PAVEMENT
---	PROPOSED GRADE
---	MATCH EXISTING GRADE

KEY NOTES

- GRADE SWALE TO PREVENT WATER FROM DRAINING OVER RETAINING WALL.
- SPOT GRADES MARKED "TC" REFER TO TOP OF CURB OR TOP OF RAISED SIDEWALK GRADE. ADJACENT PAVEMENT ELEVATION IS 6" (0.5') BELOW THIS ELEVATION UNLESS OTHERWISE NOTED.





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Checked by:

LRK

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NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

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PRELIMINARY ENLARGED GRADING PLAN

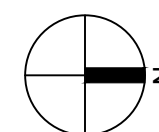
C-3A

LEGEND

	PROPERTY LIMITS
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED RETAINING WALL
	PROPOSED CONCRETE C&G
	PROPOSED STORM SEWER
	TOP OF CURB / HIGH POINT
	RIM ELEVATION
	TOP OF WALL
	BOTTOM OF WALL
	TOP OF STEP
	BOTTOM OF STEP
	EDGE OF CONCRETE
	EDGE OF PAVEMENT
	PROPOSED GRADE
	MATCH EXISTING GRADE

KEY NOTES

- GRADE SWALE TO PREVENT WATER FROM DRAINING OVER RETAINING WALL.
- SPOT GRADES MARKED "TC" REFER TO TOP OF CURB OR TOP OF RAISED SIDEWALK GRADE. ADJACENT PAVEMENT ELEVATION IS 6" (0.5') BELOW THIS ELEVATION UNLESS OTHERWISE NOTED.



0 5' 10'

ENLARGED GRADING PLAN



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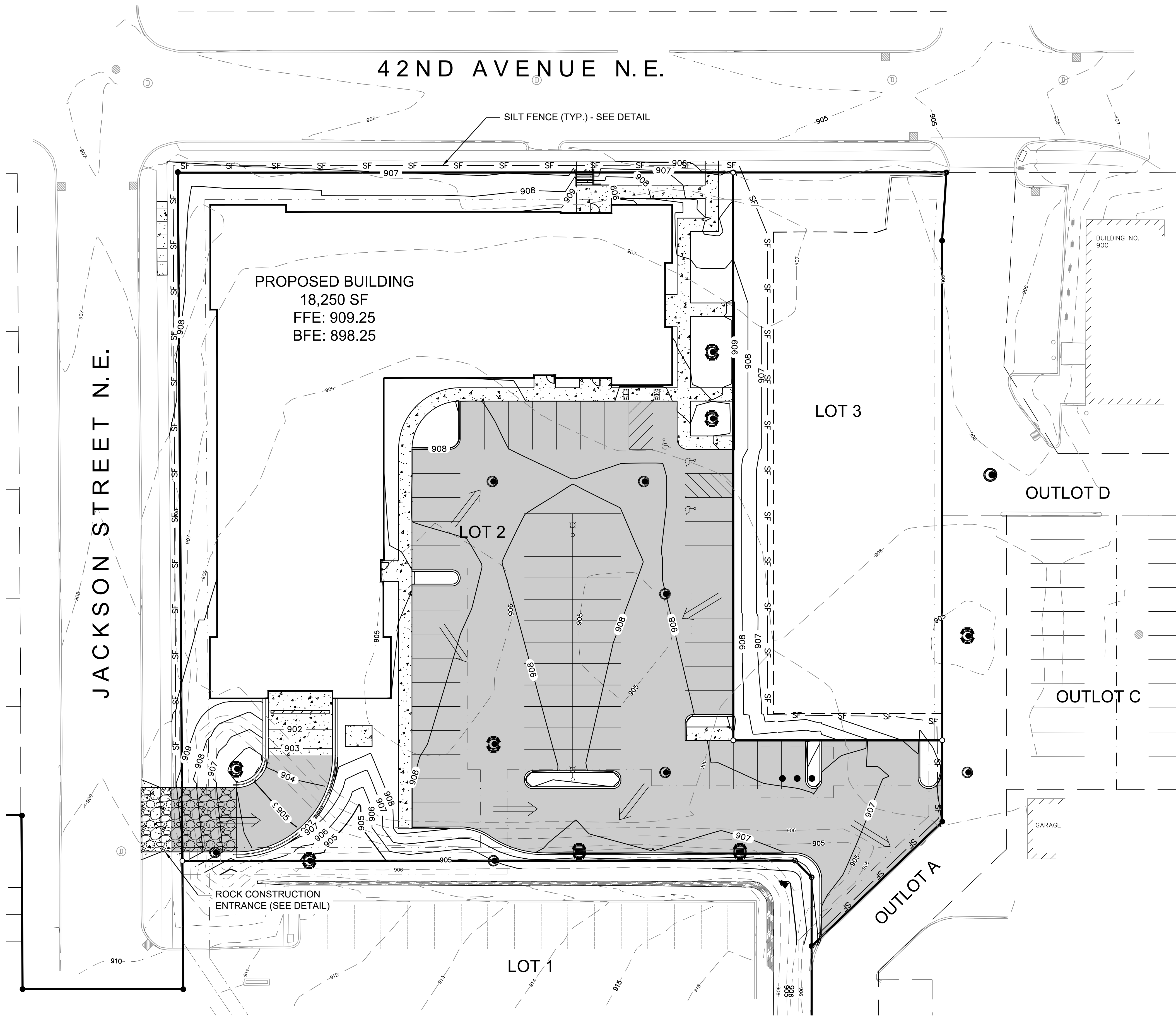
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COLUMBIA HEIGHTS, MN

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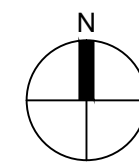
PRELIMINARY EROSION CONTROL PLAN

C-4



LEGEND

- PROPERTY LIMITS
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE C&G
- DIRECTION OF FLOW
- SILT FENCE
- ROCK CONSTRUCTION ENTRANCE
- INLET PROTECTION AT CATCH BASIN OPENING



0 20' 40'



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NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

PRELIMINARY UTILITY PLAN

C-5

LEGEND

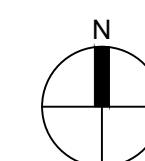
- PROPERTY LIMITS
- CONSTRUCTION LIMITS
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED DRAIN TILE
- PROPOSED WATERMAIN FITTING
- PROPOSED SANITARY MANHOLE AND CLEANOUT
- PROPOSED STORM INLETS

GENERAL NOTES

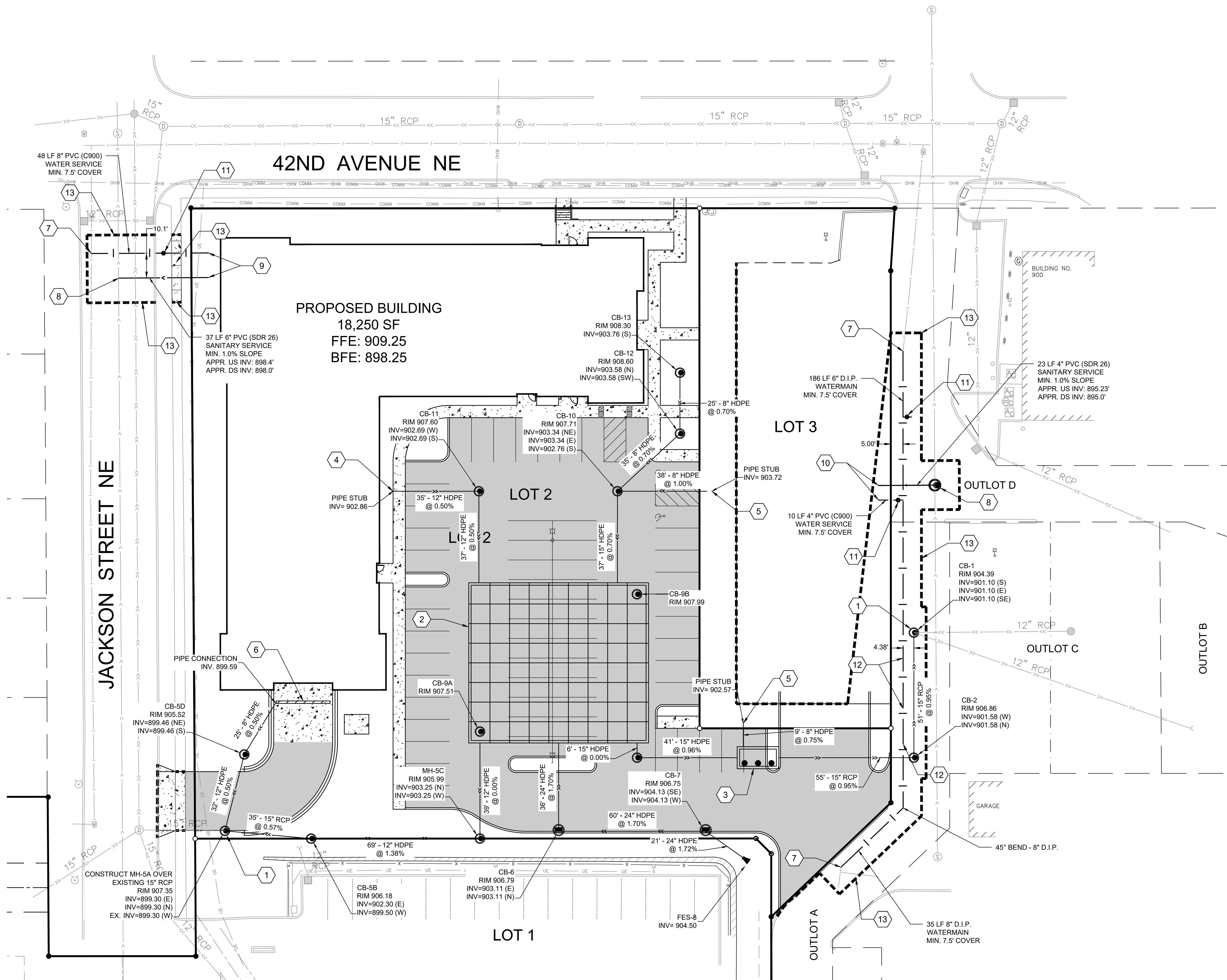
- FOR ALL UTILITY DEMOLITION AND CONSTRUCTION WITHIN PUBLIC R.O.W., CONTRACTOR TO DETERMINE PAVEMENT SAWCUT AND REPLACEMENT LIMITS AS NECESSARY.

KEY NOTES

- CONNECT EXISTING PIPE TO NEW STORM MANHOLE.
- UNDERGROUND STORMWATER DETENTION CHAMBERS. URBAN POND (OR APPROVED EQUAL)
- MODULAR WETLAND SYSTEM (OR APPROVED EQUAL) IN-LINE WATER QUALITY TREATMENT
- STUB FOR BUILDING ROOF DRAINAGE CONNECTION TO 5.0' FROM PROPOSED FACE-OF-BUILDING
- STUB PIPE FOR FUTURE BUILDING CONNECTION
- TRENCH DRAIN, 22 LF 12" WIDTH
- CONNECT TO EXISTING WATERMAIN
- CONSTRUCT NEW MANHOLE & CONNECT TO SEWER
- STUB SANITARY AND WATER SERVICE PIPES TO 5.0' FROM PROPOSED FACE-OF-BUILDING
- STUB AND CAP NEW SANITARY AND WATER SERVICE PIPES FOR FUTURE BUILDING.
- PROPOSED WATER SERVICE VALVE
- INSULATE WATERMAIN HORIZONTALLY ALONG FULL LENGTH OF PIPE WHERE 10' HORIZONTAL SPACING CANNOT BE MAINTAINED BETWEEN WATERMAIN AND SANITARY OR STORM SEWER PIPES. INSULATE VERTICALLY WHERE WATERMAIN CROSSES STORM OR SANITARY SEWER WITH LESS THAN 4' VERTICAL CLEARANCE. USE 4' X 8' X 2" FOAM BOARD.
- SAWCUT EXISTING



0 20' 40'





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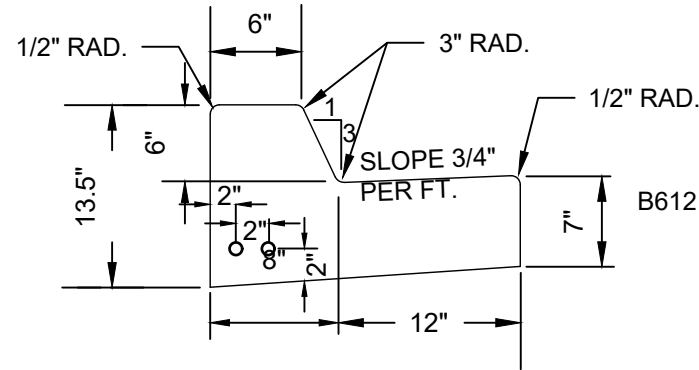
NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

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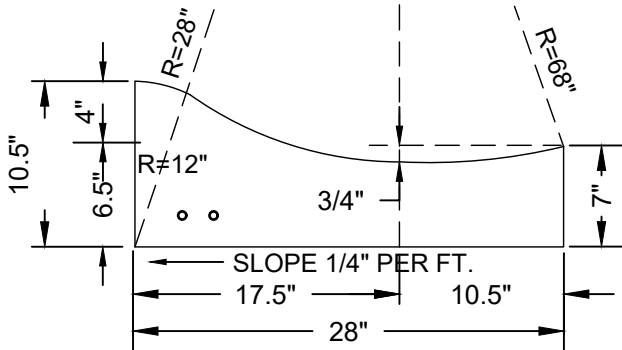
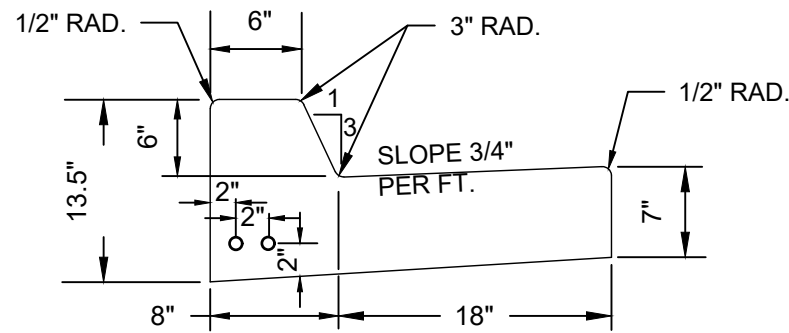
PRELIMINARY CIVIL DETAILS 1

C-6

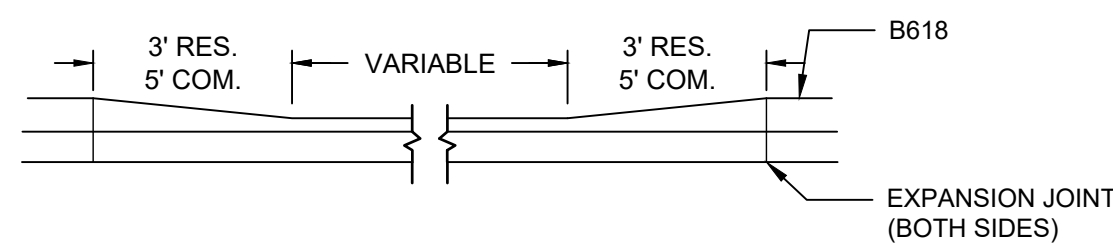


AT ALL TRENCHES 2#4 REINFORCING RODS SHALL BE PLACED IN THE LOWER PORTION OF THE CURB 20 FEET IN LENGTH.
2#4 REINFORCING RODS AT CATCH BASINS NO LESS THEN 10 FEET IN LENGTH.

NOTE:
CONTROL JOINTS SHALL CONFORM WITH MNDOT SPEC. 2531.3C.

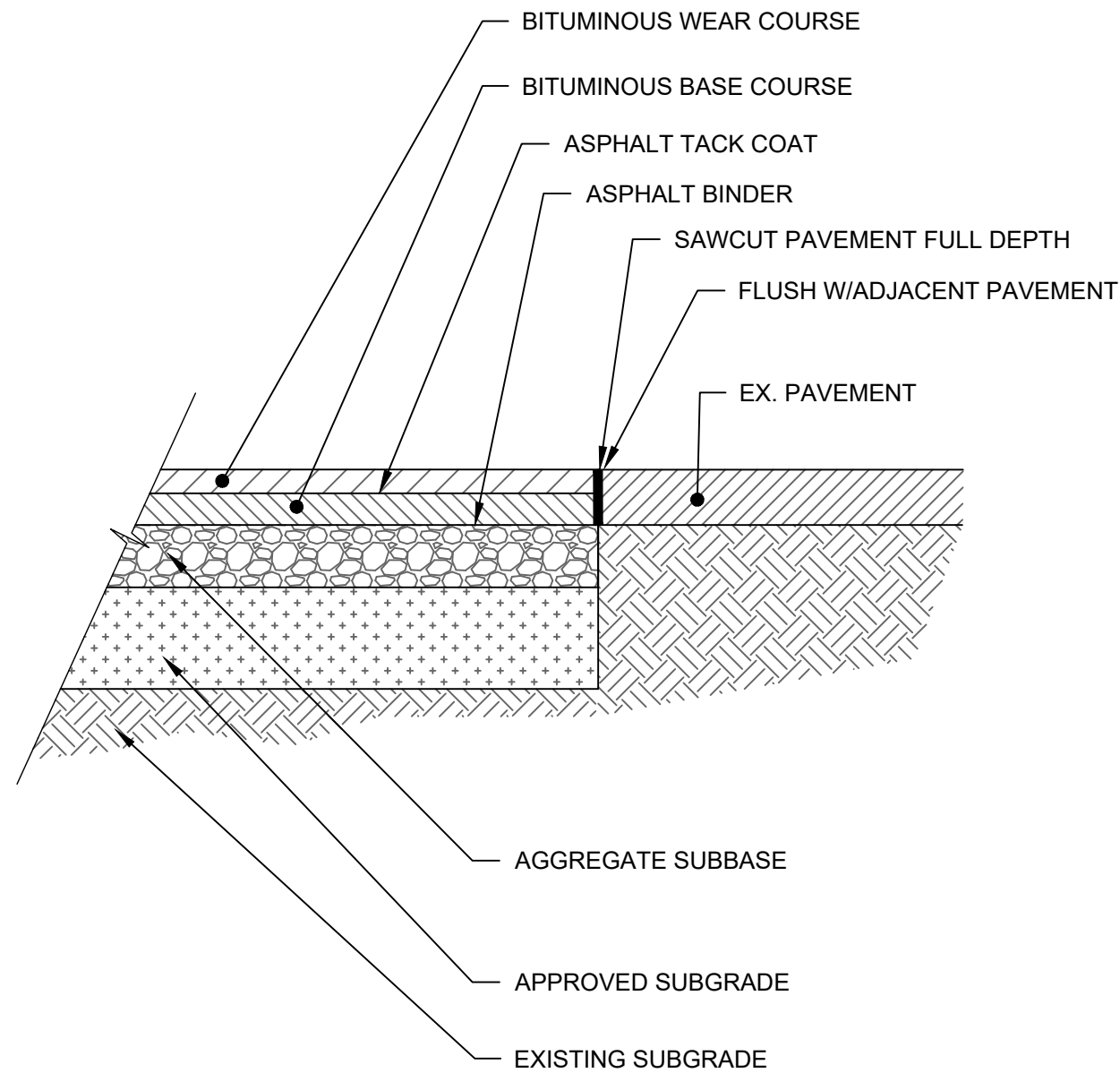


NOTE:
B618 CURB TO BE USED AT RADIUS. SEE CITY PLATE NO. STRT-5



1 CONCRETE CURB

SCALE: N.T.S.

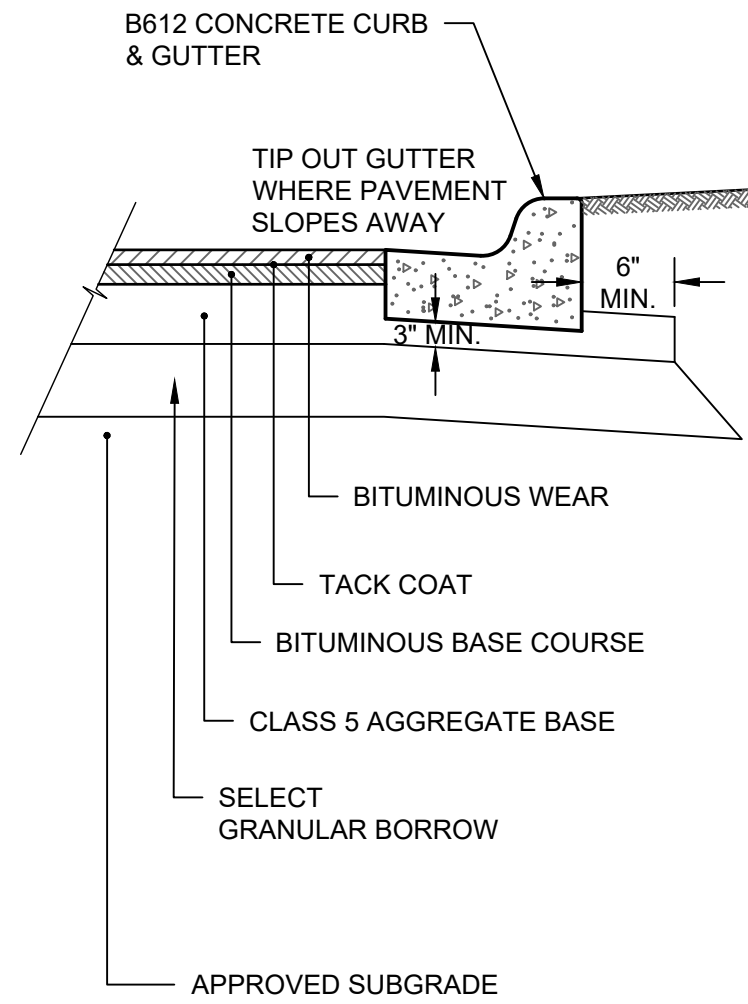


NOTES:

1. VERIFY ASPHALT AND BASE COURSE WITH GEOTECHNICAL REPORT AND RECOMMENDATIONS.

2 ASPHALT PAVEMENT

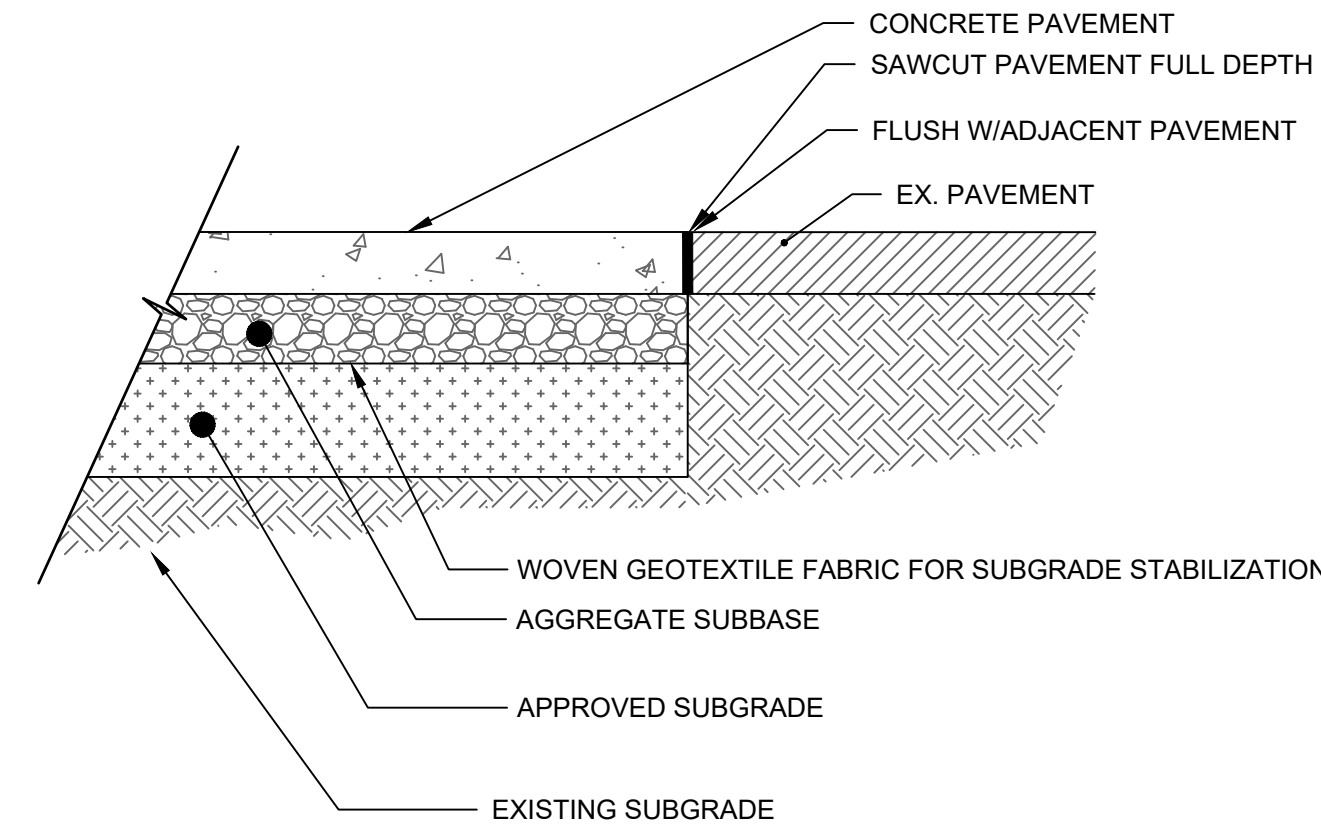
SCALE: N.T.S.



PAVEMENT SECTION

NOT TO SCALE

NOTE: VERIFY PAVEMENT SECTION DESIGN AND SUBGRADE REQUIREMENTS WITH GEOTECHNICAL REPORT AND RECOMMENDATIONS PRIOR TO CONSTRUCTION.

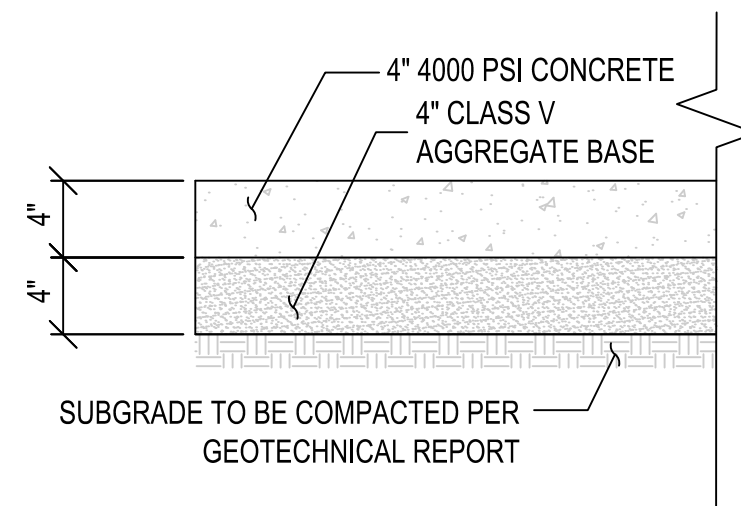


NOTES:

1. EXTEND 6" AGGREGATE BASE 1' MINIMUM PAST CONCRETE EDGE IF CONCRETE IS NOT ABUTTING EXISTING PAVEMENT OR STRUCTURES.
2. CONCRETE JOINTS PER MANUFACTURER RECOMMENDATIONS.
3. VERIFY CONCRETE AND BASE COURSE WITH GEOTECHNICAL REPORT AND RECOMMENDATIONS.

3 CONCRETE PAVEMENT

SCALE: N.T.S.

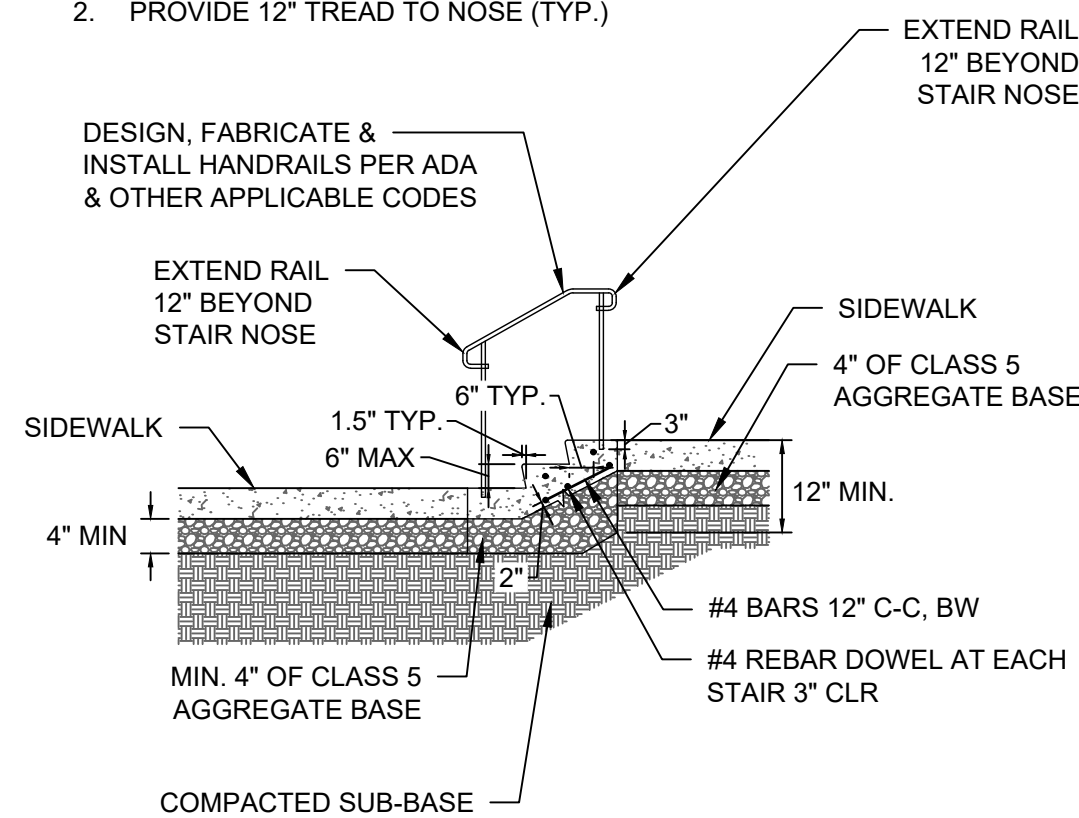


4 CONCRETE SIDEWALK

SCALE: N.T.S.

NOTES:

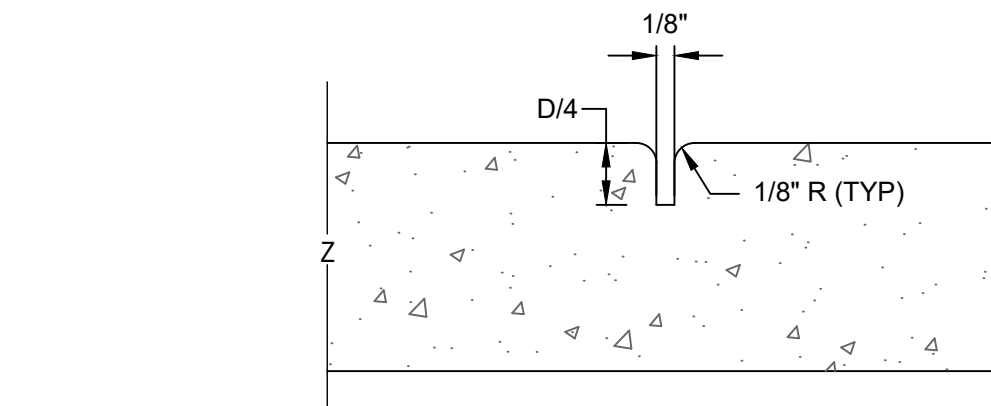
1. PROVIDE EQUAL RISERS PER GRADING PLAN TOP & BOTTOM ELEVATIONS
2. PROVIDE 12" TREAD TO NOSE (TYP.)



* DELEGATED DESIGN: CONTRACTOR TO DESIGN ALL STAIRCASES, RAMPS AND HANDRAILS TO MN ADA STANDARDS.

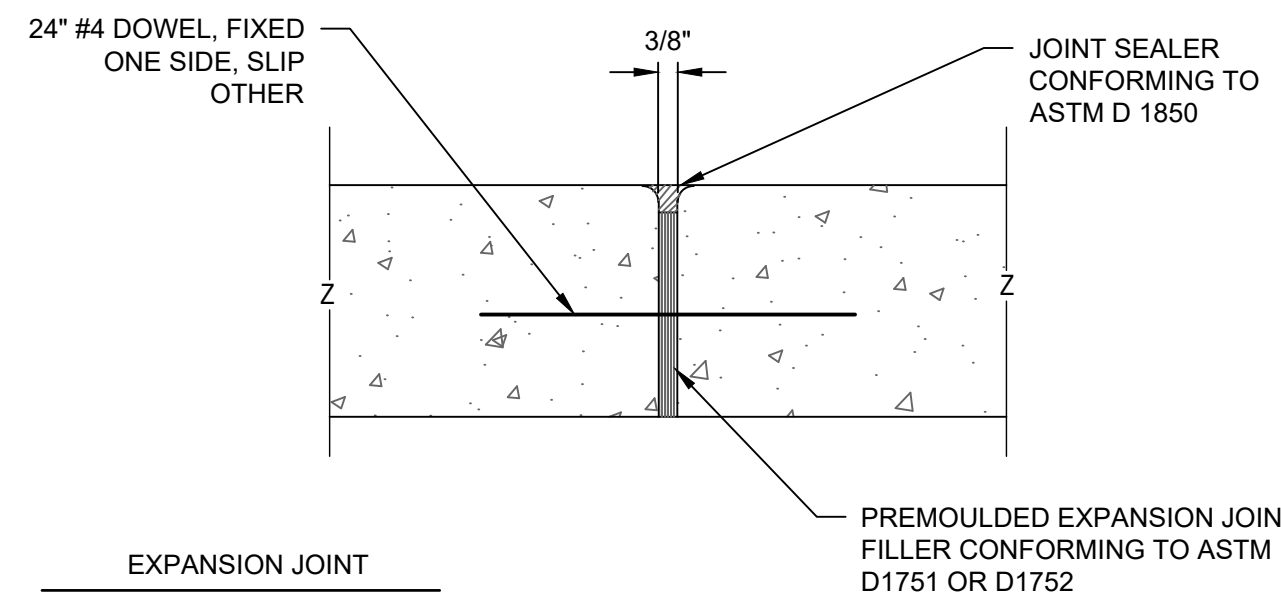
5 CONCRETE STEPS W/ RAILING

SCALE: N.T.S.



CONTROL JOINT

PROVIDE CONTROL JOINTS PER MANUFACTURER RECOMMENDATIONS.



PROVIDE EXPANSION JOINTS AT BUILDING AND CONCRETE STOOP INTERFACE, AS WELL AS EVERY 24 FEET OF CONTINUOUS SIDEWALK AND AT SIDEWALK INTERSECTIONS.

NOTE: JOINTS CAN BE SAW CUT.

6 CONCRETE JOINTS

SCALE: N.T.S.



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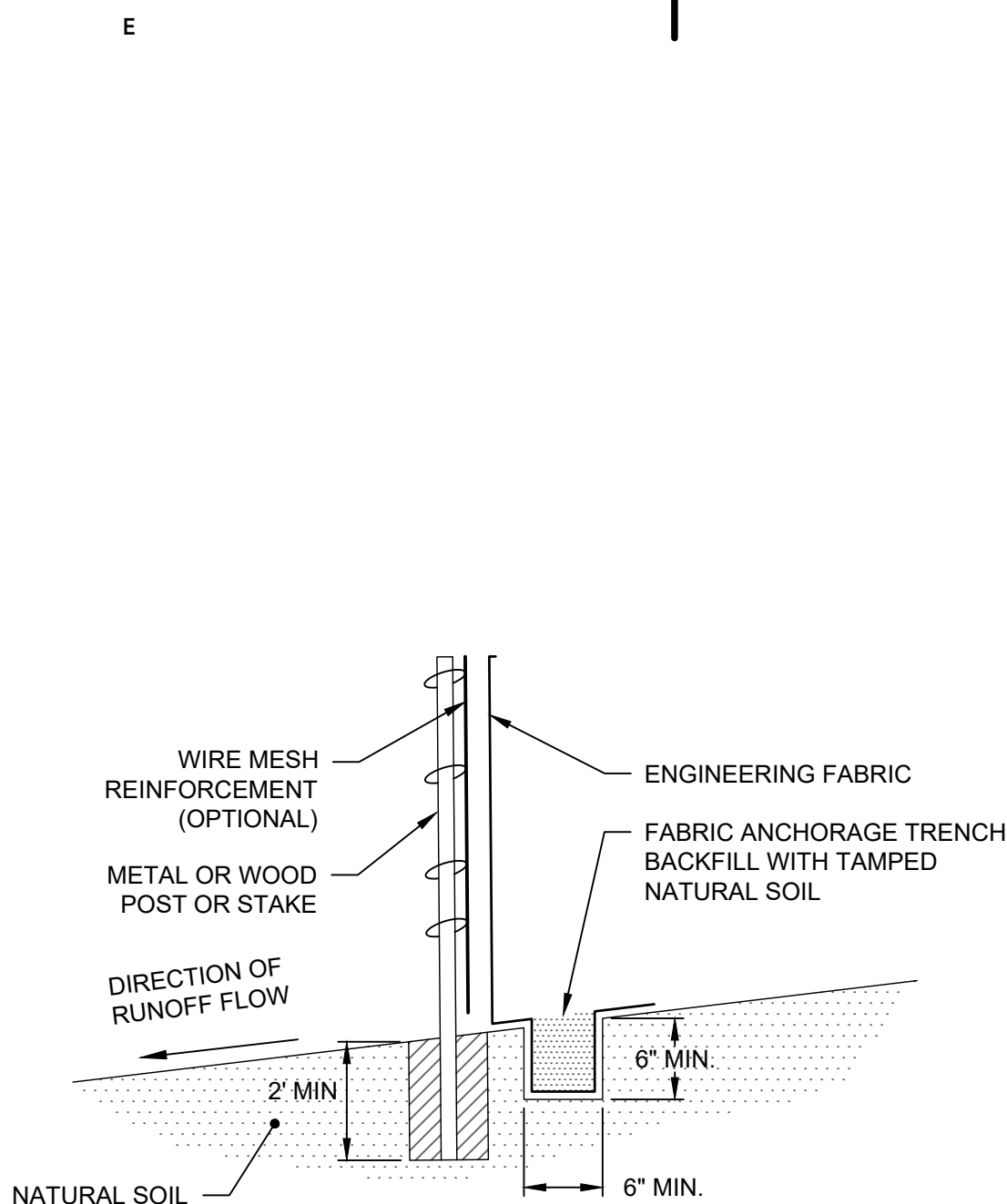
NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

PRELIMINARY CIVIL DETAILS 2

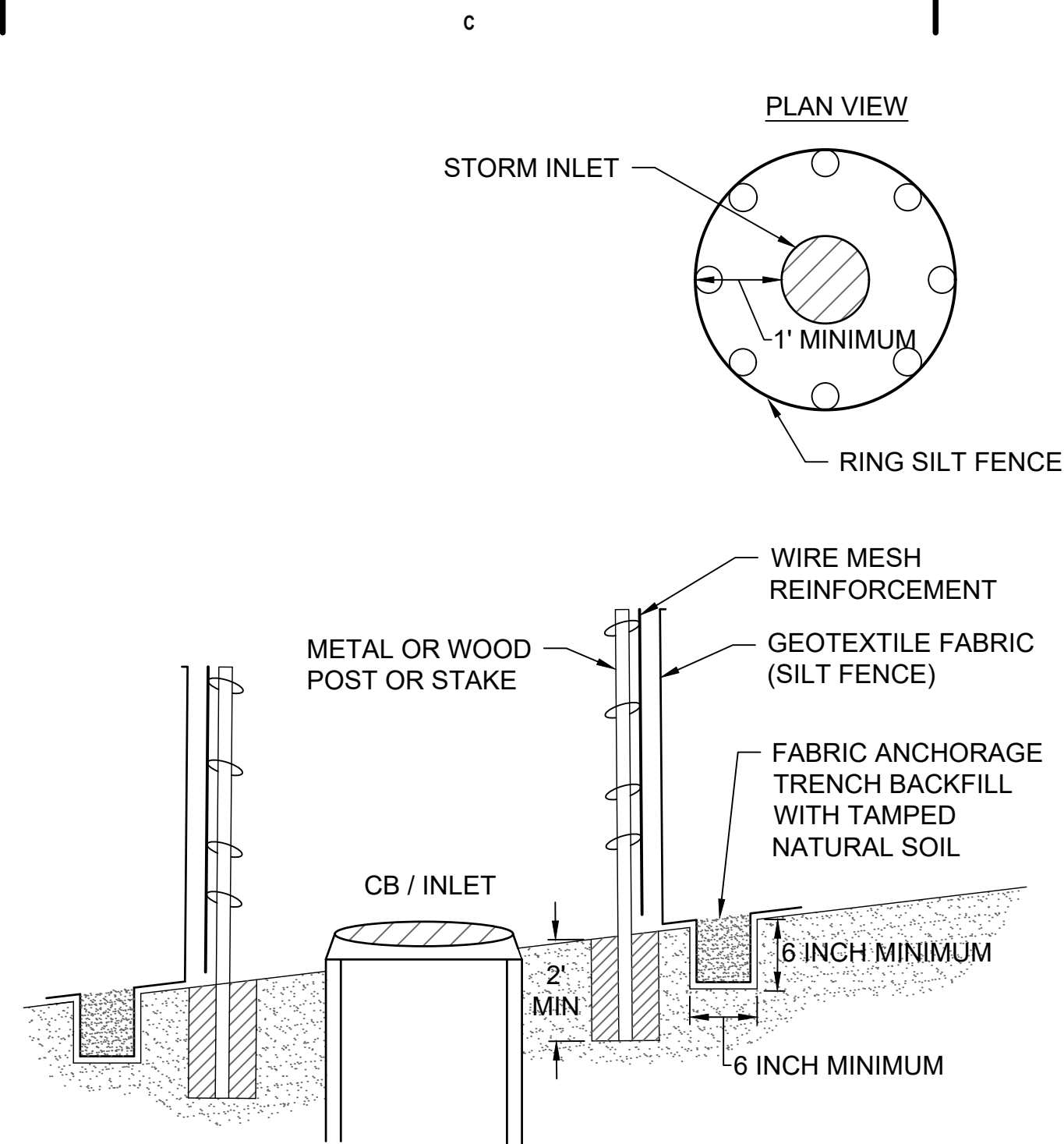
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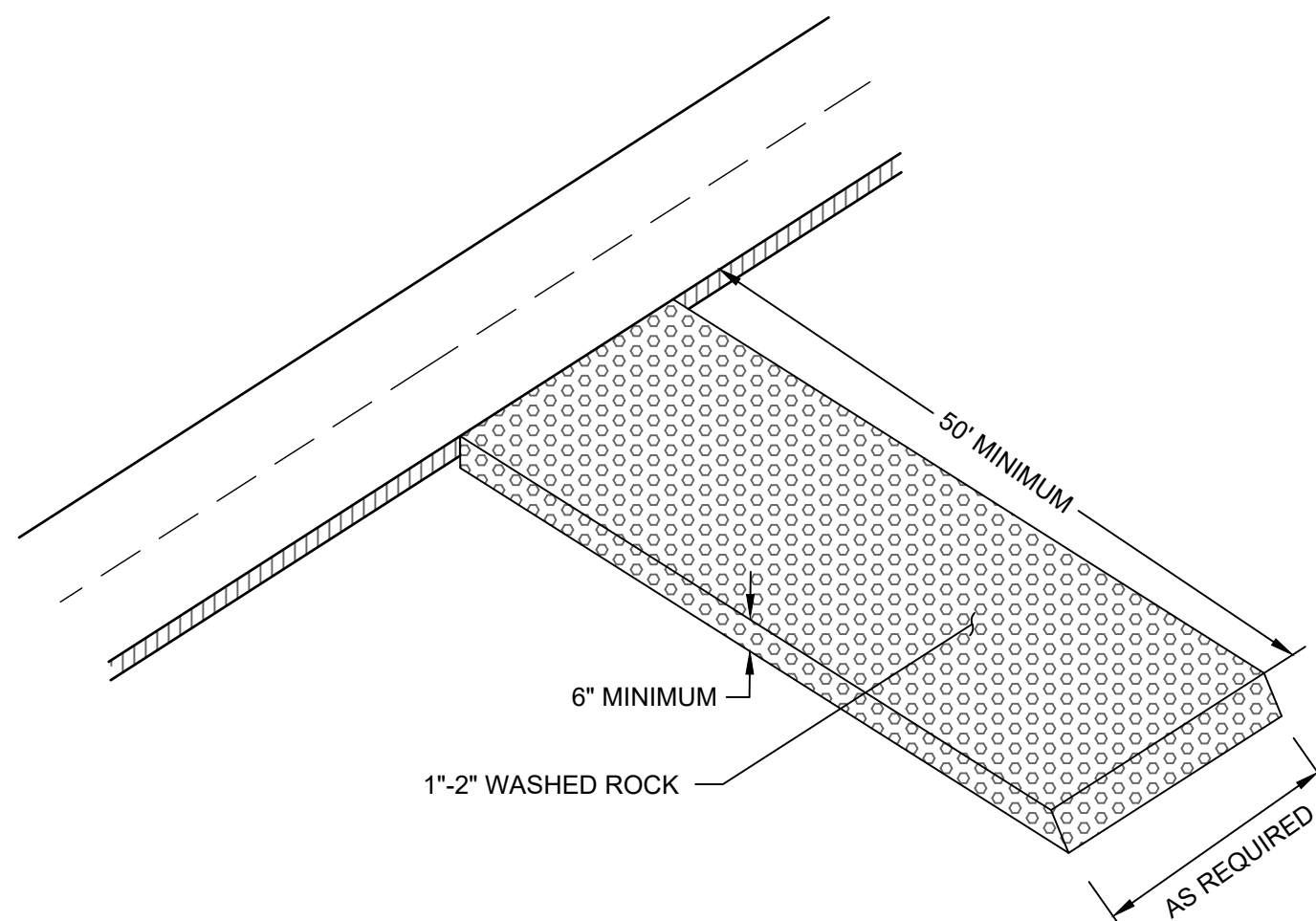
NOTE: DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH WITH HOG RINGS, STEEL POSTS WITH TIE WIRES, OR WOOD POSTS WITH STAPLES.

TYPICAL INSTALLATION



NOTE: DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH WITH HOG RINGS, STEEL POSTS WITH TIE WIRES, OR WOOD POSTS WITH STAPLES.

TYPICAL INSTALLATION



1 SILT FENCE

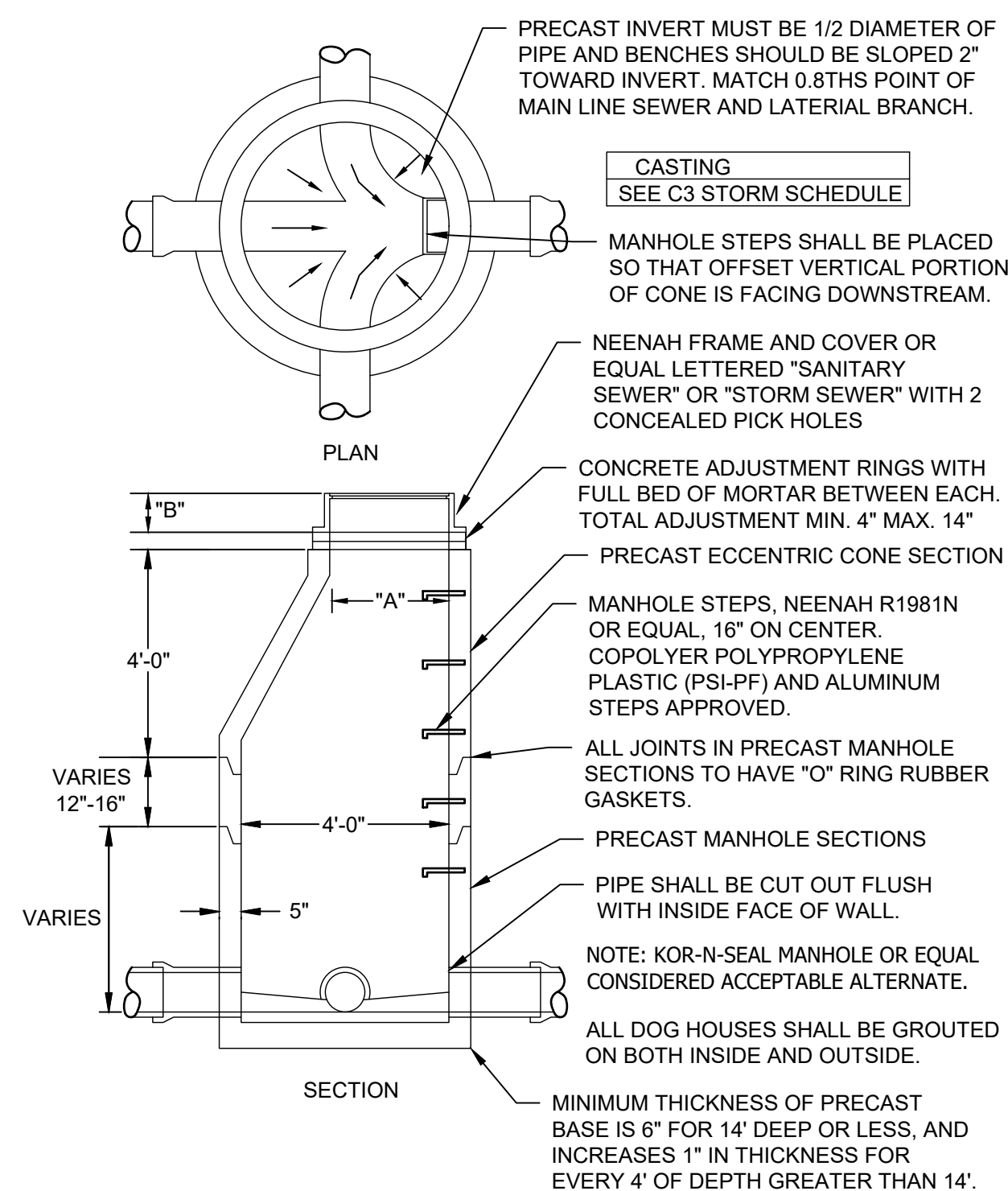
SCALE: N.T.S.

2 STORM DRAIN INLET PROTECTION

SCALE: N.T.S.

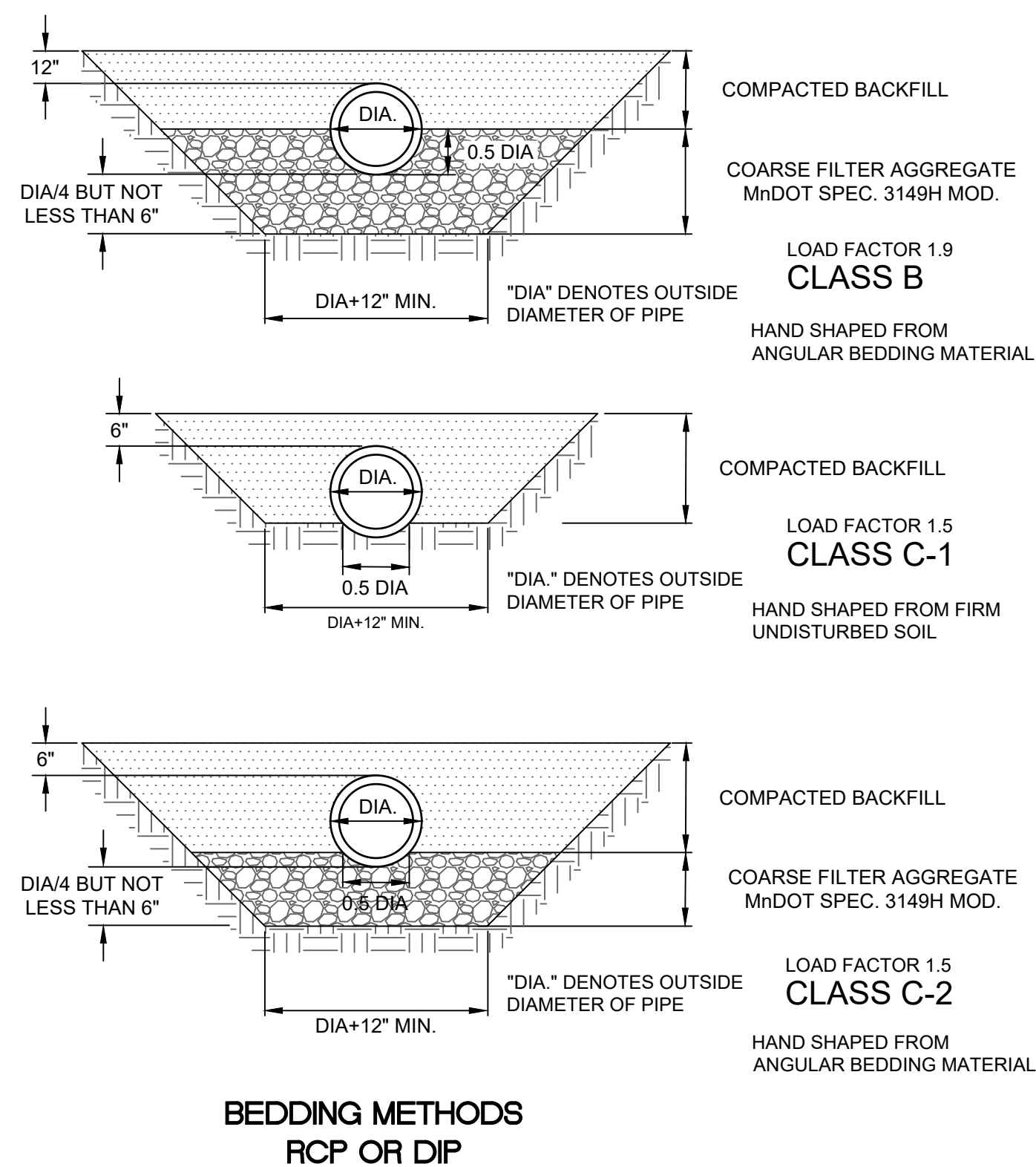
3 ROCK CONSTRUCTION ENTRANCE

SCALE: N.T.S.



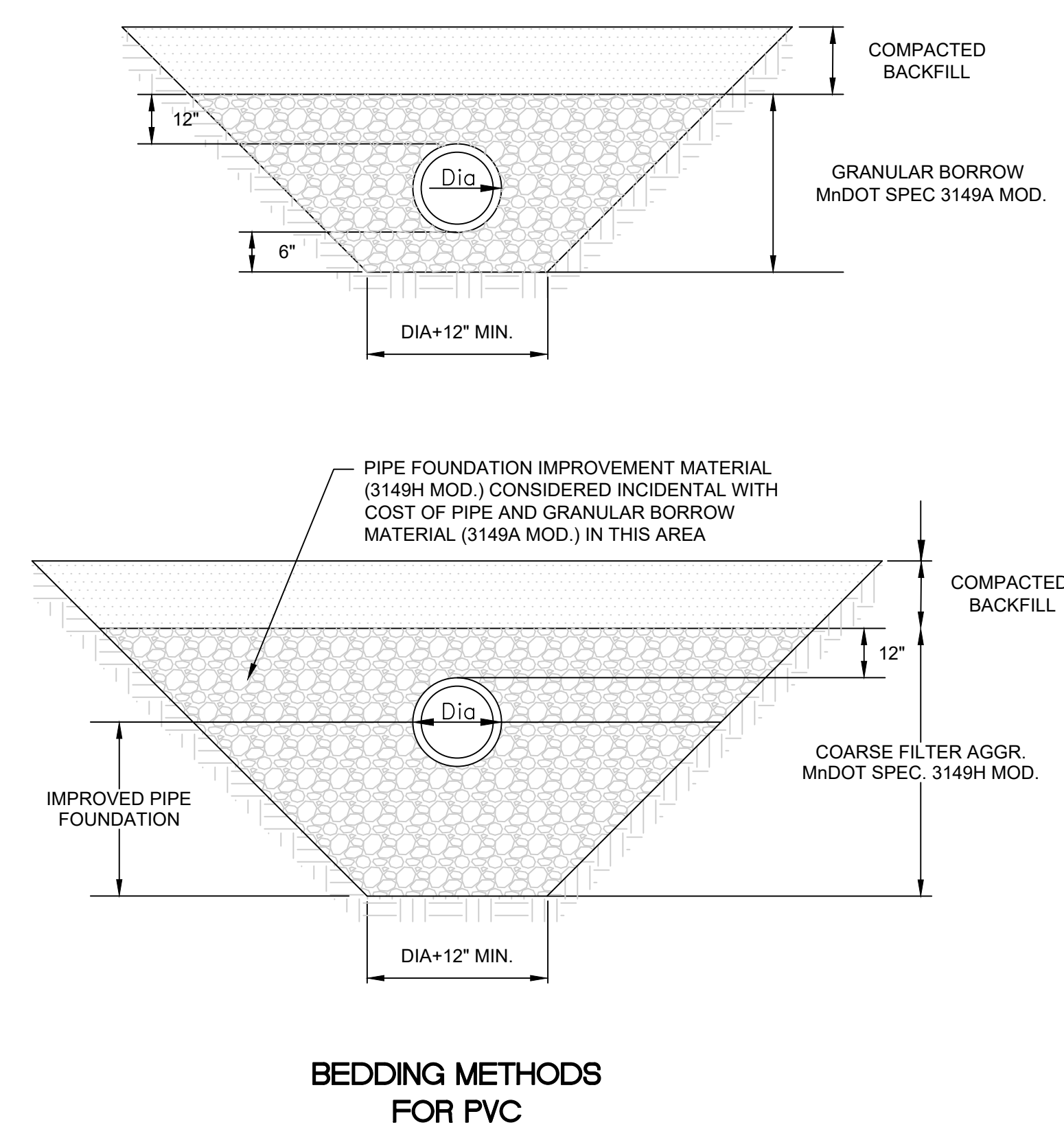
4 STANDARD MANHOLE

SCALE: N.T.S.



5 RCP/DIP BEDDING

SCALE: N.T.S.



6 PVC BEDDING

SCALE: N.T.S.



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Anderson Engineering of Minnesota, LLC

Project #:
Date:
Drawn by:
Checked by:

Issue: Date:
P.U.D. SUBMITTAL 04/05/2021

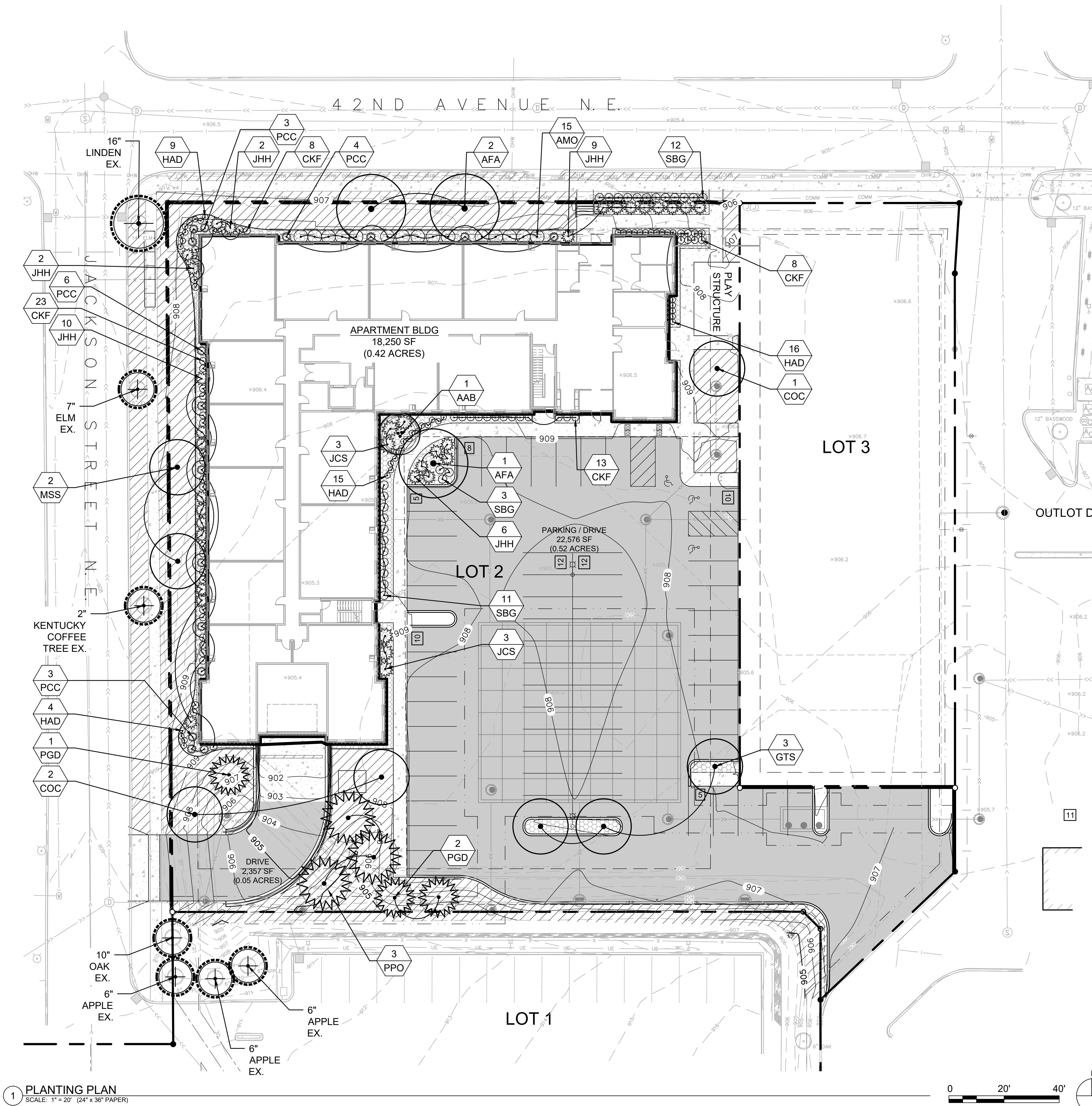
NORTHWESTERN 3RD ADDITION

COLUMBIA HEIGHTS, MN

PRELIMINARY PLANTING PLAN

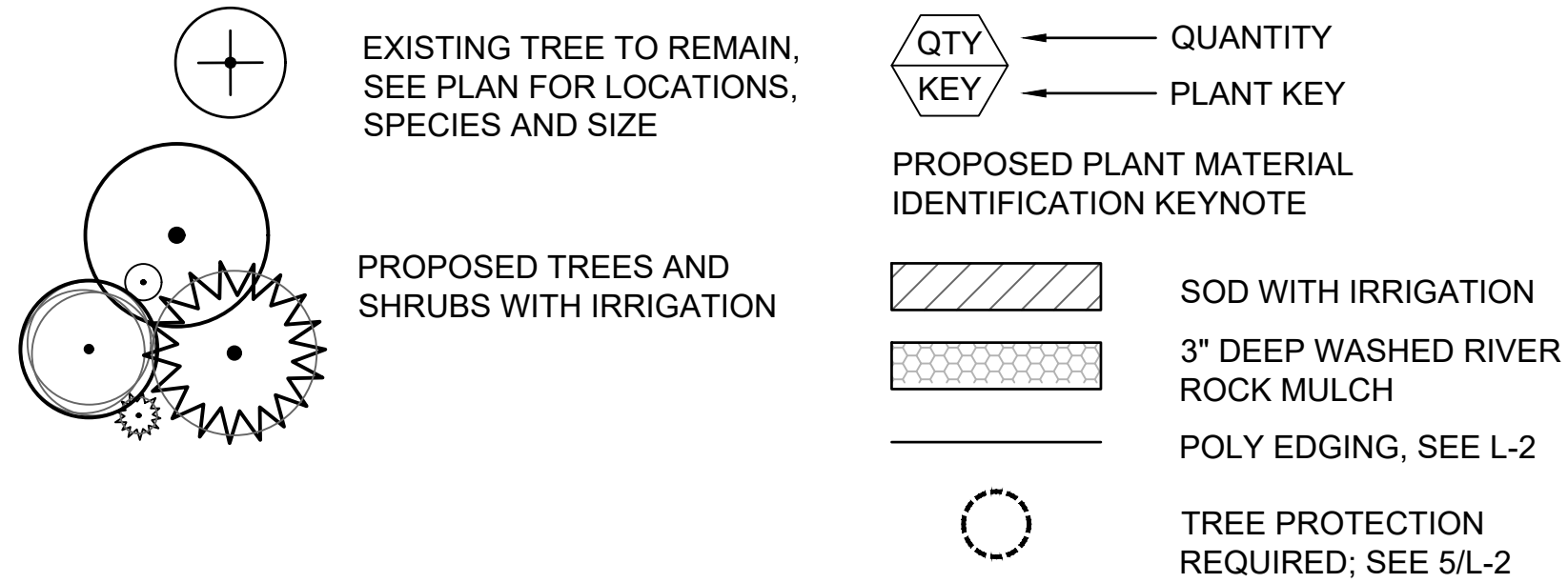
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1 PLANTING PLAN
SCALE: 1" = 20' (24" x 36" PAPER)

PLANTING PLAN LEGEND



CITY CODE: REQUIRED LANDSCAPING

ZONE: PUD R-1

§ 9.106 GENERAL DEVELOPMENT STANDARDS.

REQUIRED OVERSTORY TREES PER CITY: 15 TREES REQUIRED

- A MIN. OF (4) TREES SHALL BE PLANTED FOR EVERY (1) ACRE OF LOT AREA COVERED BY BUILDINGS, PARKING AREA, LOADING AREAS, EXTERIOR STORAGE AREA AND OTHER IMPERVIOUS SURFACES:
 $0.42 \text{ AC BLDG} + 0.52 \text{ AC PARKING} + 0.05 \text{ AC DRIVE} + .06 \text{ AC SIDEWALKS} = 1.05 = 1 \text{ AC}$
- A MIN. OF (1) TREE SHALL BE PLANTED FOR EVERY 50' OF STREET FRONTAGE OR FRACTION THERE OF: $561 \text{ LF} / 50 = 11.22$
- NO MORE THAN 50% OF THE REQUIRED NUMBER OF TREES OR SHRUBS MAY BE COMPRISED OF ANY ONE SPECIES. NO LESS THAN 25% OF THE REQUIRED NUMBER OF TREES SHALL BE OVER-STORY DECIDUOUS AND NO LESS THAN 25% SHALL BE CONIFEROUS.

§ 9.113 PLANNED UNIT DEVELOPMENT DISTRICT.

AREAS OF FLEXIBILITY. DEVELOPMENT FLEXIBILITY PROVIDED THROUGH THE ESTABLISHMENT OF A PUD DISTRICT WILL NOT BE APPROVED IN AVOIDANCE OF THE REGULATIONS SET FORTH BY THE PRIMARY ZONING DISTRICT. HOWEVER, IF A DEVELOPMENT IS ABLE TO ACHIEVE A HIGHER QUALITY OF DESIGN, EFFICIENCY, AND TECHNOLOGY THAN WHAT CURRENT MARKET CONDITIONS ALLOW, THE ESTABLISHMENT OF A PUD DISTRICT WILL PROVIDE FLEXIBILITY TO THE FOLLOWING AREAS:

(4) LANDSCAPING REQUIREMENTS:

GENERAL NOTES

- ALL LANDSCAPING DISTURBED BEYOND THE NEW PLANTINGS SHALL BE REPLACED IN KIND.
- ALL NEWLY INSTALLED PLANT MATERIAL AND SOD SHALL RECEIVE IRRIGATION. IRRIGATION TO BE DESIGNED AND INSTALLED BY THE CONTRACTOR, SEE IRRIGATION NOTES.

PLANT SCHEDULE

DECIDUOUS TREES						
KEY	QTY.	COMMON	BOTANICAL	SIZE	CONT.	REMARKS
AAB	1	Autumn Brilliance Apple Serviceberry	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' (multi-trunk)	1-1/2" CAL. (average)	B&B	Leaders shall be 1" CAL. minimum.
AFA	3	Autumn Blaze Maple	<i>Acer x fremanii</i> 'Jeffersred'	2-1/2" CAL.	B&B	Single, straight leader. No "V" crotches.
COC	3	Common Hackberry	<i>Celtis occidentalis</i>	2-1/2" CAL.	B&B	Single, straight leader. No "V" crotches.
GTS	3	Shademaster Honeylocust	<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Shademaster'	2-1/2" CAL.	B&B	Single, straight leader. No "V" crotches.
MSS	2	Spring Snow Crabapple	<i>Malus x</i> 'Spring Snow'	2" CAL.	B&B	Single, straight leader. No "V" crotches.

CONIFEROUS TREES						
KEY	QTY.	COMMON	BOTANICAL	SIZE	CONT.	REMARKS
PGD	3	Black Hills Spruce	<i>Picea glauca</i> var. <i>densata</i>	6' HT.	B&B	Full form to grade - 12" max. leader length. Sheared and clipped trees will not be accepted.
PPO	3	Ponderosa Pine	<i>Pinus ponderosa</i>	6' HT.	B&B	Full form to grade - 12" max. leader length. Sheared and clipped trees will not be accepted.

DECIDUOUS SHRUBS						
KEY	QTY.	COMMON	BOTANICAL	SIZE	CONT.	REMARKS
AMO	15	Helvetica Serviceberry	<i>Amelanchier ovalis</i> 'Helvetica'	5 GAL.	POT	60" O.C. spacing
CKF	52	Karl Foerster Feather Reed Grass	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	2 GAL.	POT	30" O.C. spacing
HAD	44	Dolce 'Appletini' Coral Bells	<i>Heuchera</i> 'Appletini' PP29396 CPBRAAF	1 GAL.	POT	24" O.C. spacing
SBG	26	Goldflame Spirea	<i>Spiraea x bumalda</i> 'Goldflame'	5 GAL.	POT	48" min. spacing

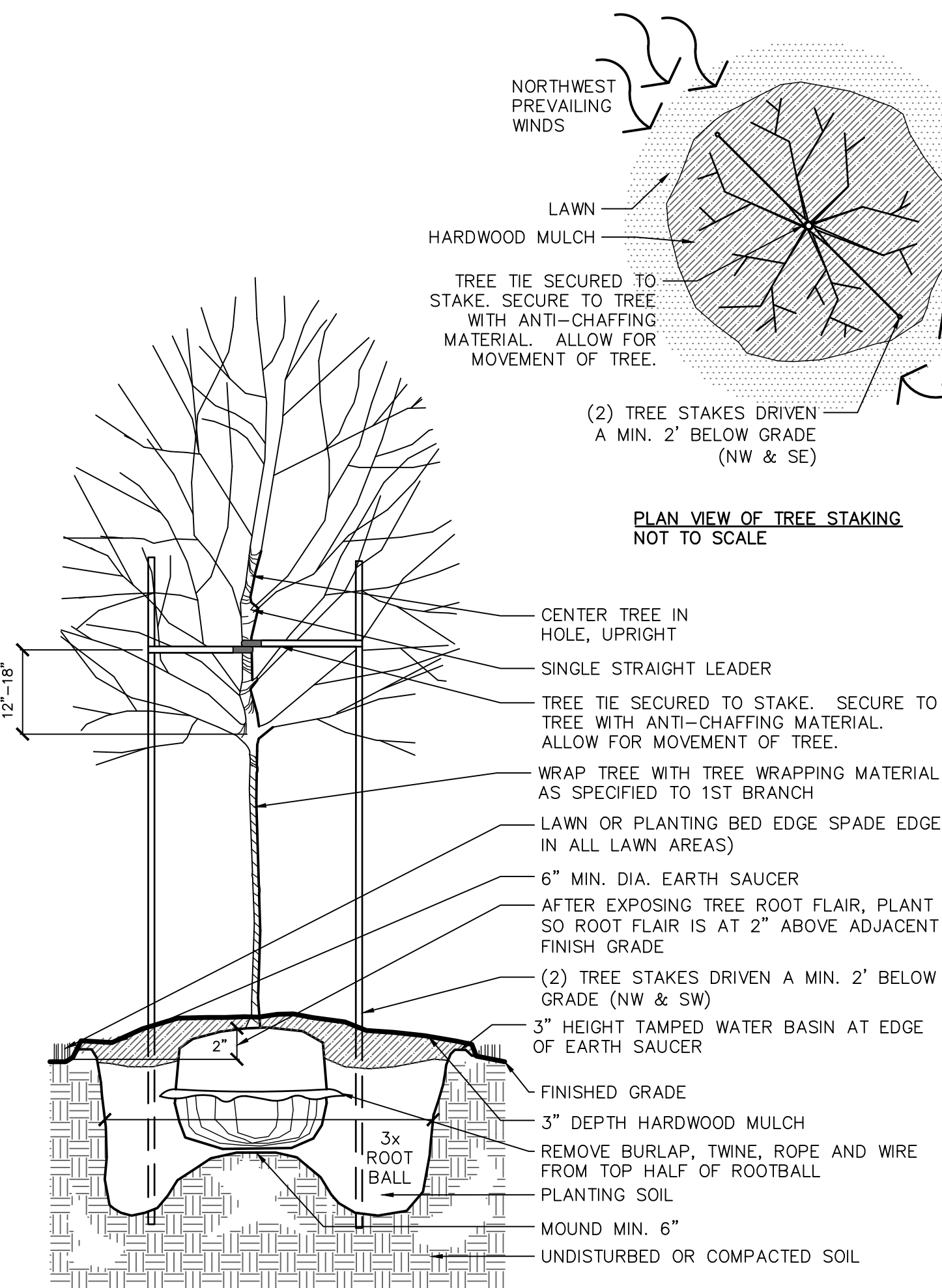
CONIFEROUS SHRUBS						
KEY	QTY.	COMMON	BOTANICAL	SIZE	CONT.	REMARKS
JCS	6	Sea Green Juniper	<i>Juniperus chinensis</i> 'Sea Green'	5 GAL.	POT	60" min. spacing
JHH	29	Hughes Juniper	<i>Juniperus horizontalis</i> 'Hughes'	2 GAL.	POT	48" min. spacing
PCC	16	Chalet Swiss Stone Pine	<i>Pinus cembra</i> 'Chalet'	5 GAL.	POT	36" min. spacing

GENERAL LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- NO PLANTING SHALL BE INSTALLED UNTIL ALL GRADING, BUILDING, CONSTRUCTION, UTILITY WORK & IRRIGATION (IF APPLICABLE) HAS BEEN COMPLETED IN THE AREAS TO BE PLANTED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ALL UNDERGROUND CABLES, CONDUITS, WIRES, ETC., ON THE PROPERTY.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN THE PLANT LIST, THE NUMBER OF PLANTS SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- ALL PROPOSED PLANT MATERIAL SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLAN. IF THE CONTRACTOR BELIEVES AN ERROR HAS BEEN MADE REGARDING SPACING OR LOCATION OF THE PLANT MATERIAL INDICATED ON THE PLAN, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLETE MAINTENANCE OF THE PLANT MATERIAL (WATERING, SPRAYING, FERTILIZING, MOWING, ETC.) UNTIL THE WORK HAS BEEN ACCEPTED, BY THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS TO PROPERTY DAMAGE FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- ALL NEWLY PLANTED PLANT MATERIAL SHALL BE GUARANTEED THROUGH ONE CALENDAR YEAR STARTING FROM THE DATE OF ACCEPTANCE ESTABLISHED BY THE OWNER.
- THE CONTRACTOR SHALL MEET WITH THE OWNER OR OWNERS REPRESENTATIVE ON SITE WHEN THEY FEEL THE PROJECT IS COMPLETE ACCORDING TO THE CONTRACT DOCUMENTS. IF ALL WORK IS SATISFACTORY AND COMPLETE ACCORDING TO THE CONDITIONS OF THE CONTRACT DOCUMENTS, THEN THE OWNER MUST DECLARE THE PROJECT COMPLETE. THIS DECLARATION WILL CONSTITUTE AS THE BEGINNING OF THE ONE (1) YEAR WARRANTY PERIOD FOR ALL PLANT MATERIAL. THE OWNER SHALL PROVIDE A LETTER WITH SIGNATURE STATING THE DATE OF ACCEPTANCE.
- WIND BURN OR OTHERWISE DAMAGED PLANT MATERIAL WILL NOT BE ACCEPTED.
- CONTRACTOR CAN SUBSTITUTE MACHINE MOVED MATERIAL USING APPROPRIATE SIZE TREE SPADE FOR B & B WITH OWNER APPROVAL.
- THE PRACTICE OF STAKING SHOULD NOT ALLOW NAILS, SCREWS, WIRES, ETC. TO PENETRATE THE OUTER SURFACE OF THE TREES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE STAKES, GUYS, STRAPS AND TRUNK PROTECTION MEASURES FOLLOWING THE COMPLETION OF THE WARRANTY PERIOD OR AS DIRECTED BY THE OWNER.
- LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE THE OWNER WITH MAINTENANCE INFORMATION DURING THE GUARANTEE PERIOD RELATING TO WATERING, FERTILIZING, PRUNING, PEST CONTROL, AND RELATED ITEMS. THIS WILL BE PREPARED AND DELIVERED TO THE OWNER AFTER PROVISIONAL INSPECTION APPROVAL HAS BEEN GIVEN BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
- INSTALL CORRUGATED PLASTIC TREE GUARDS, WHITE IN COLOR, WITH THE SIZE OF TUBE 1" DIA. (MIN.) LARGER THAN THE CALIPER OF THE TREE TO BE PROTECTED.
- CONTRACTOR TO FURNISH & STALL PLASTIC EDGING AS SHOWN ON THE PLANS & DETAILS. PLASTIC EDGING SHALL BE MEDIUM DENSITY POLYETHYLENE WITH U.V. INHIBITOR, BLACK IN COLOR, WITH A TOTAL DEPTH OF 5" (1" DIA. TOP AND 4" SHAFT WITH 1.5" V EVERY 3-1/2 FEET OF EDGING.
- 3" DEPTH SHREDDED HARDWOOD MULCH SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS THAT ARE ISOLATED FROM GROUND COVER AREAS AND GENERAL SHRUB MASSES.
- CALIPER OF TREES UP TO AND INCLUDING 4" SHALL BE MEASURED AT 6" ABOVE GROUND LEVEL, AND 12" ABOVE GROUND LEVEL FOR LARGER SIZES.
- FOR BALLED & BURLAP PLANT MATERIAL, REMOVE THE TOP HALF OF THE BURLAP FROM THE ROOT BALL. WIRE CAGES, STRAPS, ETC. SHALL BE REMOVED FROM THE TOP HALF OF THE ROOTBALL BEFORE INSTALLATION.
- ALL CONTAINER MATERIAL SHALL HAVE BEEN GROWN IN CONTAINER FOR A MINIMUM OF 6 MONTHS PRIOR TO INSTALLATION.
- SHRUBS AND GROUND COVER SHALL BE PLANTED A MINIMUM OF ONE HALF THEIR ON-CENTER SPACING FROM PAVING EDGE UNLESS OTHERWISE NOTED.
- DECIDUOUS SHRUBS SHALL HAVE MINIMUM OF FIVE (5) CANES AT SPECIFIED HEIGHT UNLESS OTHERWISE NOTED IN PLANT SCHEDULE.
- ALL BOULDERS SHOWN ON PLAN SHALL BE INSTALLED SO APPROXIMATELY 1/3 OF THE VERTICAL HEIGHT OF THE BOULDER WILL BE BELOW GRADE. NO BOULDER SHALL BE SET ON END UNLESS SPECIFIED.
- LANDSCAPE CONTRACTOR SHALL PROVIDE AND INSTALL NURSERY GROWN PLANT MATERIAL CONFORMING TO THE REQUIREMENTS AND RECOMMENDATIONS OF THE LATEST EDITION OF ANSI Z60.1 STANDARDS UNLESS OTHERWISE NOTED IN THE PLANS OR SPECIFICATIONS.
- LANDSCAPE CONTRACTOR SHALL ENSURE THAT NEW TREES MOVED ONTO THE SITE ARE DUG FROM SIMILAR SITES WITH SIMILAR SOILS TO THE SOILS OF THIS PROJECT (HEAVY TO HEAVY, LIGHT TO LIGHT, HEAVY TO LIGHT SOILS). CONTRACTOR SHALL REVIEW SOIL CONDITIONS/TYPES WITH OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL NEWLY INSTALLED PLANT MATERIAL SHALL BE PLANTED IN WELL-DRAINED AREAS. NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IF ANY PLANT MATERIAL IS LOCATED IN DRAINAGE SWALES OR WET & POORLY DRAINED AREAS.
- ALL PLANTINGS SHALL RECEIVE FERTILIZER AS FOLLOWS:
27.1. SUMMER AND FALL PLANTING: 0-20-20 GRANULAR (IN SAUCER AROUND PLANT AT THE RATE OF 12 OZ. PER 2-3" CAL. TREE & 6 OZ. PER SHRUB).
27.2. SPRING PLANTING: 10-10-10 GRANULAR (APPLY ABOVE REFERENCED FERTILIZER AT A RATE OF 12 OZ. PER 1-1/2" CAL. TREE OR LARGER & 6 OZ. PER SHRUB & PERENNIAL).
- ALL PLANTINGS SHALL RECEIVE AN AMENDED SOIL MIX CONSISTING OF THREE (3) PARTS:
28.1. 45% APPROVED TOPSOIL (ONE SITE PREFERRED)
28.2. 45% ORGANIC MATTER (TYPE 1 SPHAGNUM PEAT MOSS FINELY DIVIDED WITH A PH OF 3.1 - 5.0)
28.3. 10% SAND (FINE CLEAN MASONRY SAND)
5. AREAS CONFINED TO A MASS PLANTING AREA (PLANTING BED) SHALL RECEIVE THE AMENDED SOIL MIX AT MIN. 12" DEPTH THROUGHOUT THE PLANTING AREA. AMENDED SOIL MIX SHALL BE MIXED THOROUGHLY AND INSTALLED IN 6" LIFTS.

GENERAL SODDING, SEEDING & TOPSOIL NOTES:

- AREAS TO RECEIVE SOD OR SEED SHALL HAVE A 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL SHALL PROVIDE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY CLUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONE LARGER THAN 1" IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
- SOD SHALL BE HIGHLAND SOD, 30" X 100' ROLLS PREFERRED WHERE APPLICABLE, TO BE LAID PARALLEL WITH THE CONTOURS AND HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR DRAINAGE SWALES, THE SOD SHALL BE STAKED INTO THE GROUND, SCARIFY THE EXISTING GRADES WITH FIELD CULTIVATOR PRIOR TO PLACING OF TOPSOIL AND FINISH GRADING FOR SOD. IMMEDIATELY PRIOR TO PLACING SOD, CONTRACTOR SHALL APPLY 10-6-4 FERTILIZER AT THE RATE OF 10 POUNDS PER 1000 SQ. FT.



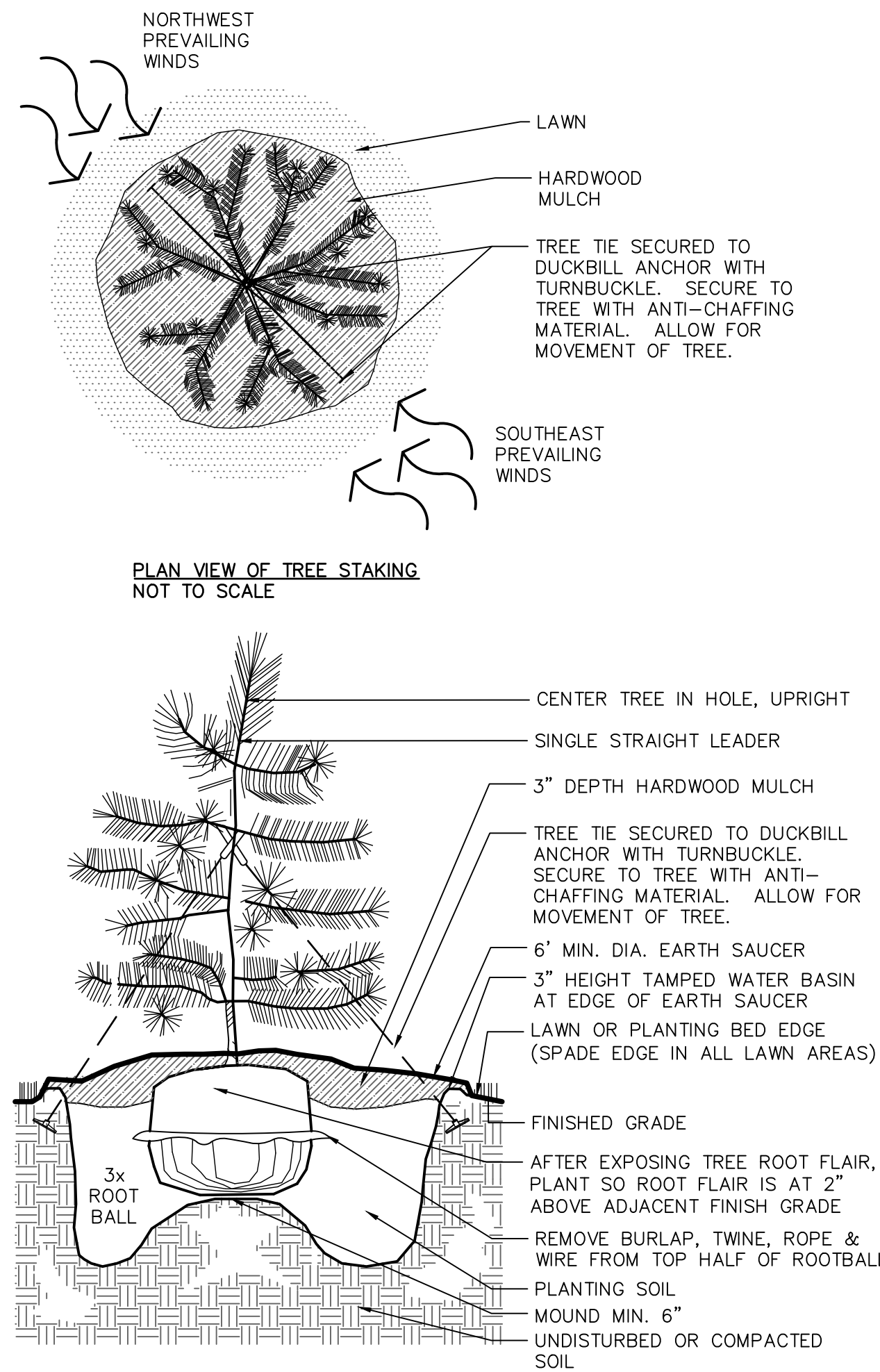
NOTE:

-3" DP. SHREDDED HARDWOOD MULCH SHALL BE USED IN ALL LANDSCAPE PLANTINGS AREAS AND UNDER TREES ISOLATED FROM PLANTING AREAS UNLESS IDENTIFIED OTHERWISE.

-MULTI-STEM TREES SHALL NOT RECEIVE STAKING. THEY SHALL CONFORM TO ALL OTHER DECIDUOUS TREE PLANTING REQUIREMENTS.

1 DECIDUOUS TREE PLANTING DETAIL

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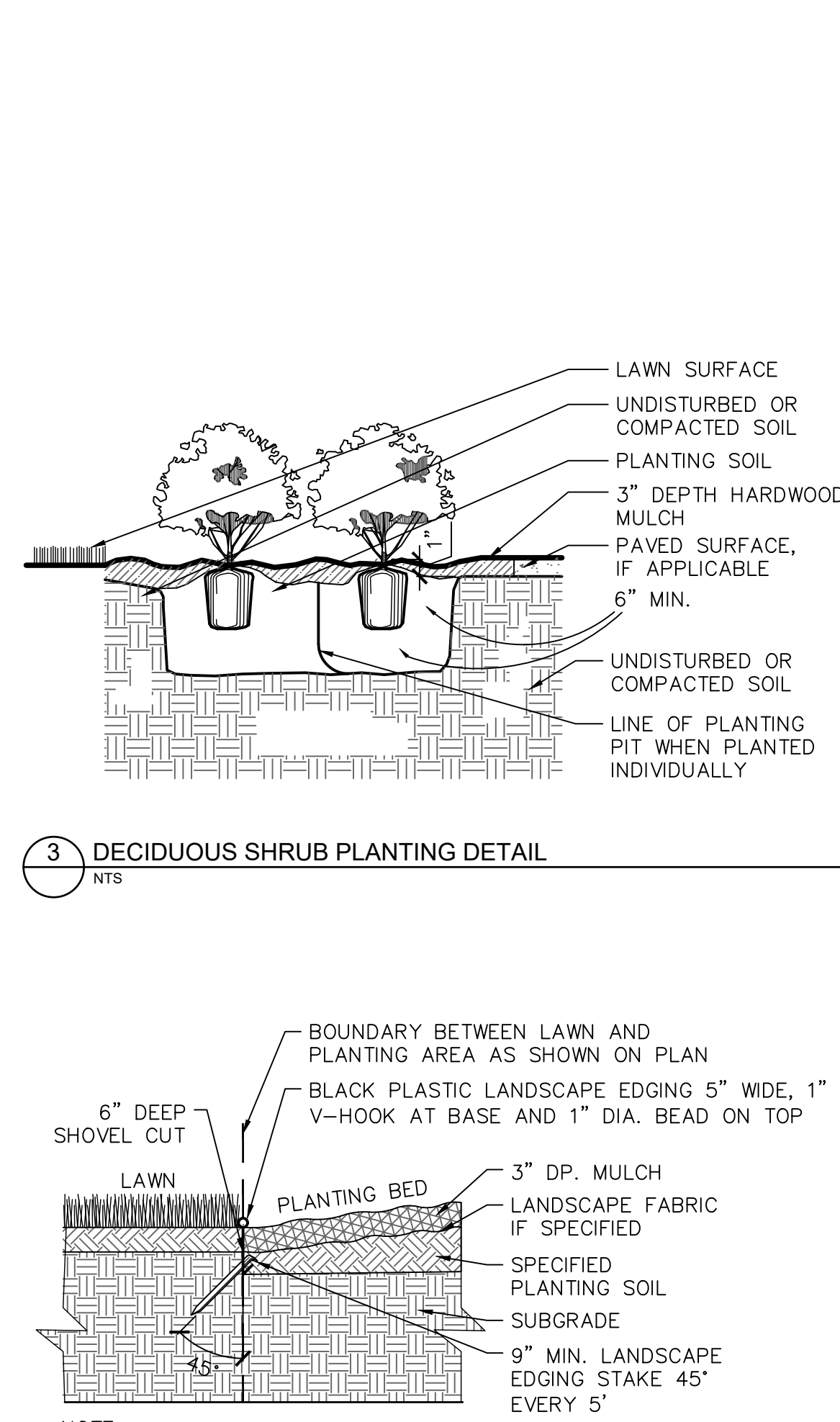


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2 EVERGREEN TREE PLANTING DETAIL

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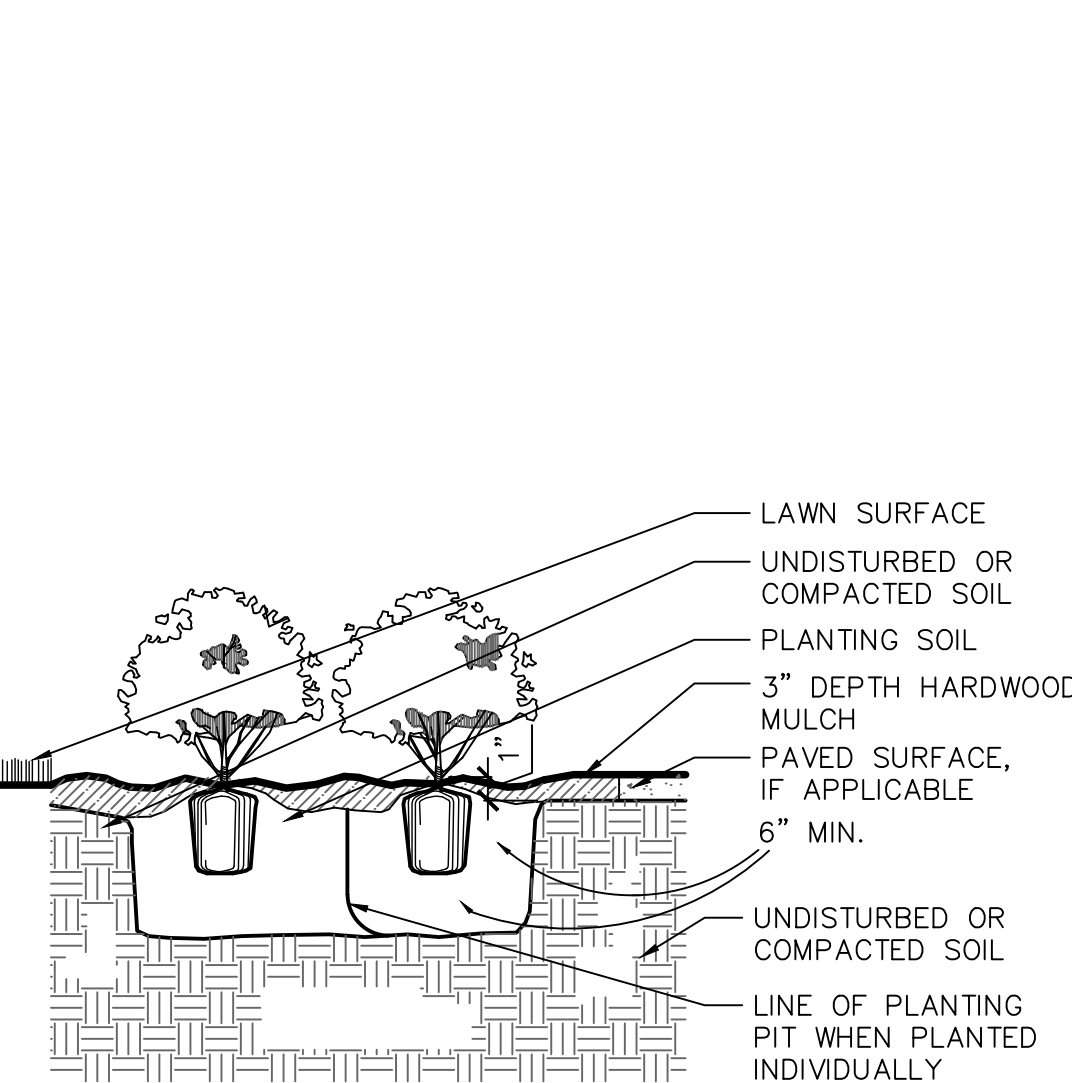


NOTE:

-FOR MULTIPLE PIECES OF EDGING, CONNECT WITH 6" MIN. PLUG. STAKE EACH SIDE OF THE EDGING 12" MAX FROM THE POINT OF CONNECTION.

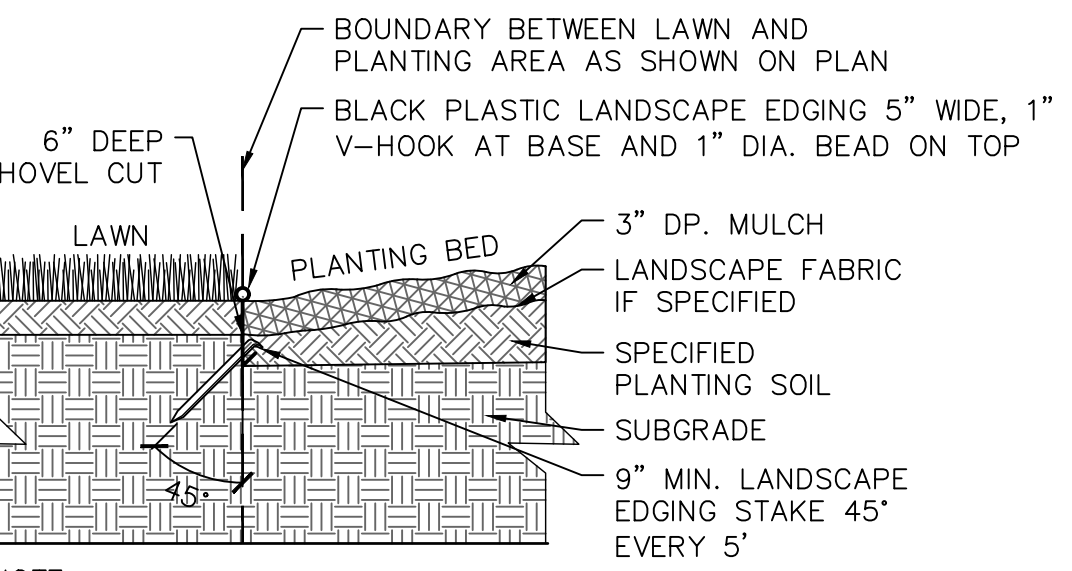
4 BLACK POLY LANDSCAPE EDGING DETAIL

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3 DECIDUOUS SHRUB PLANTING DETAIL

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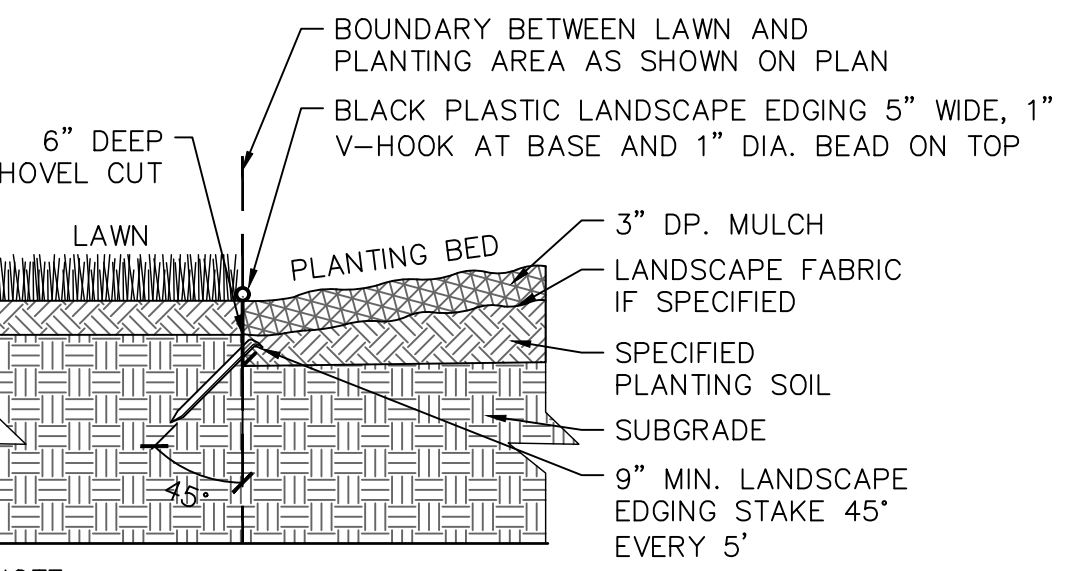


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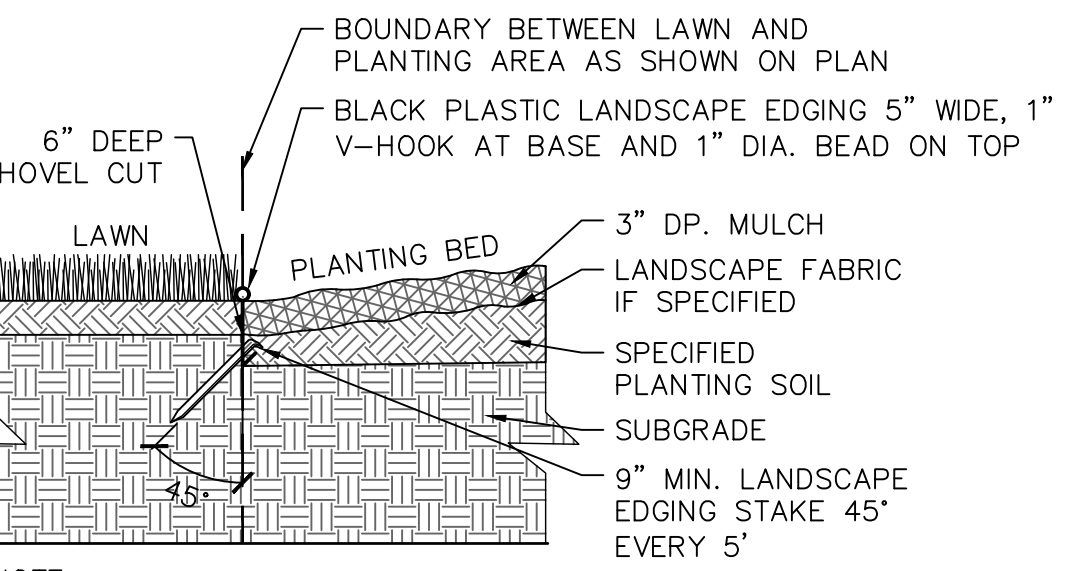


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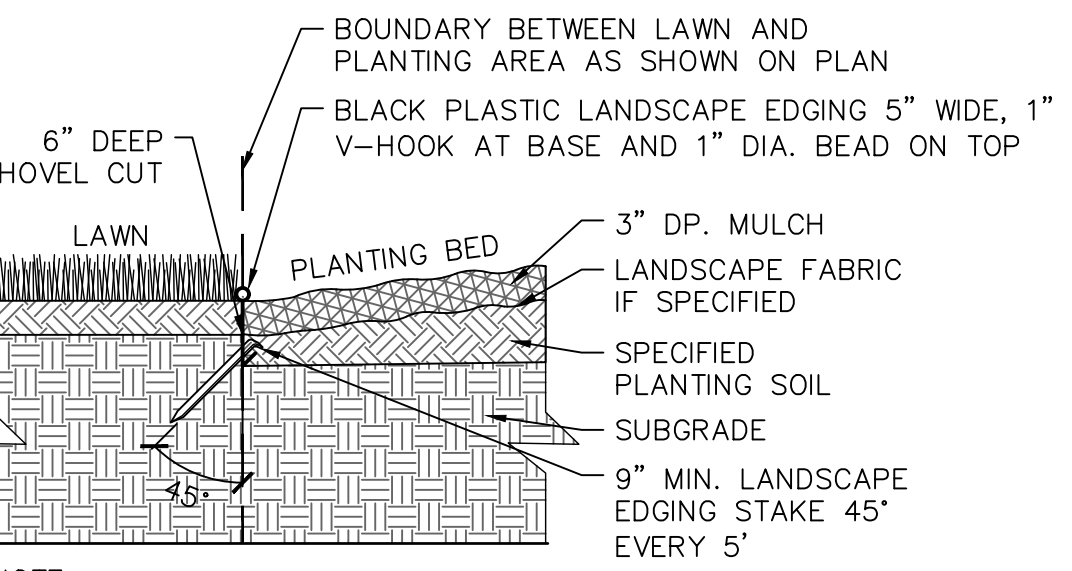


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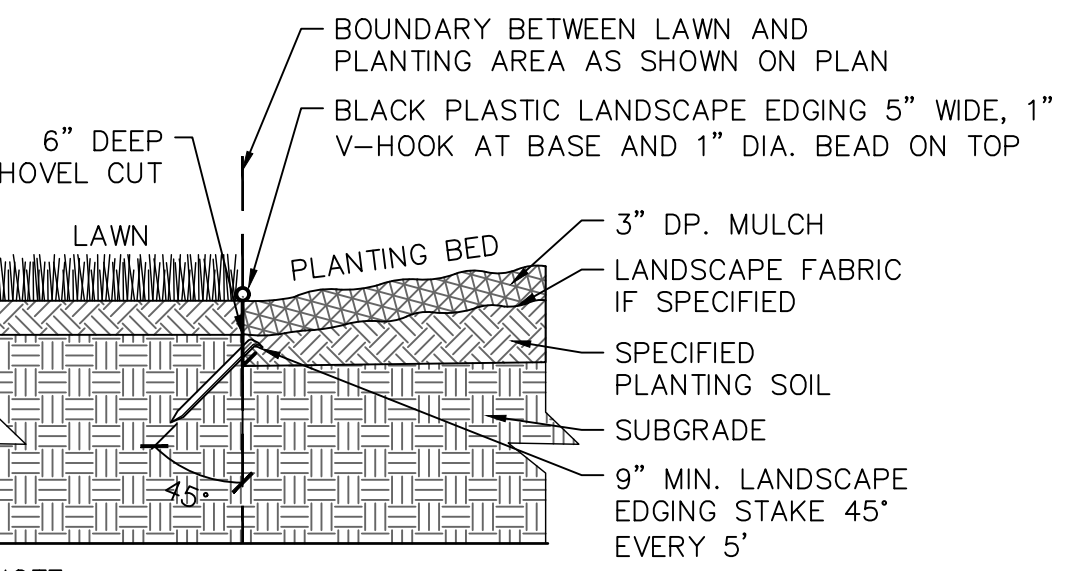


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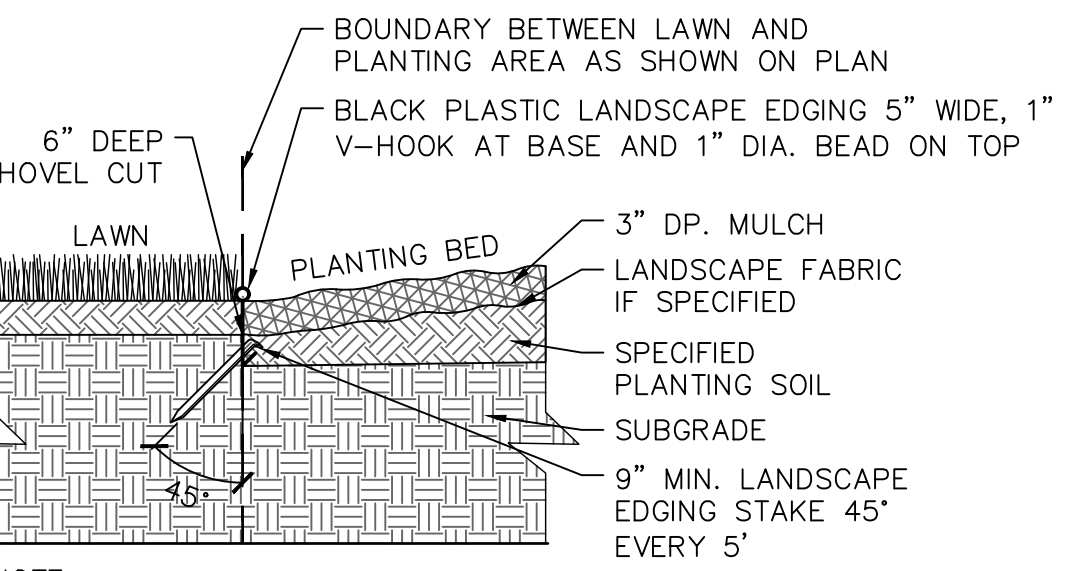


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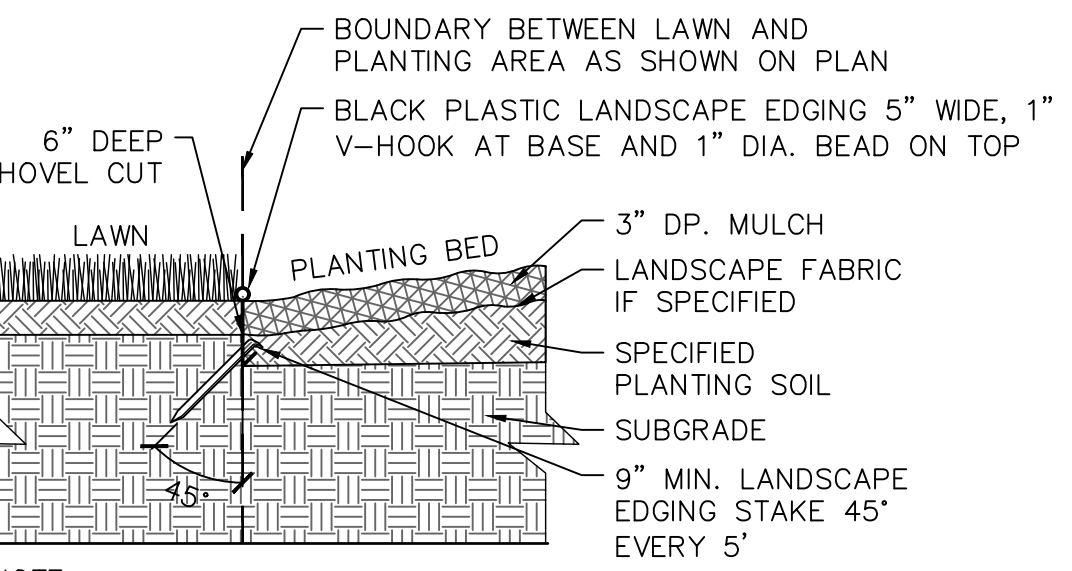


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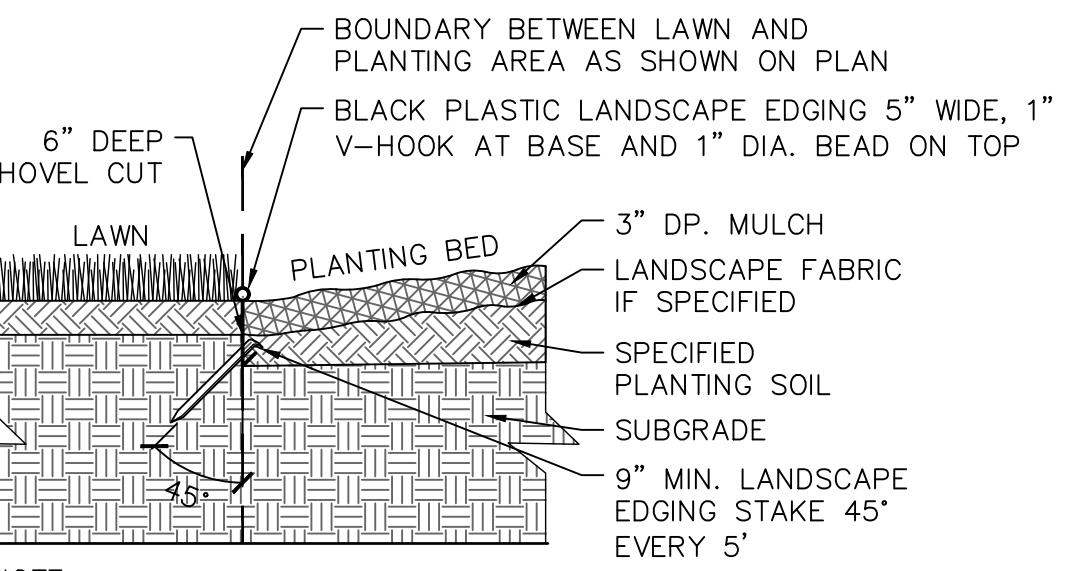


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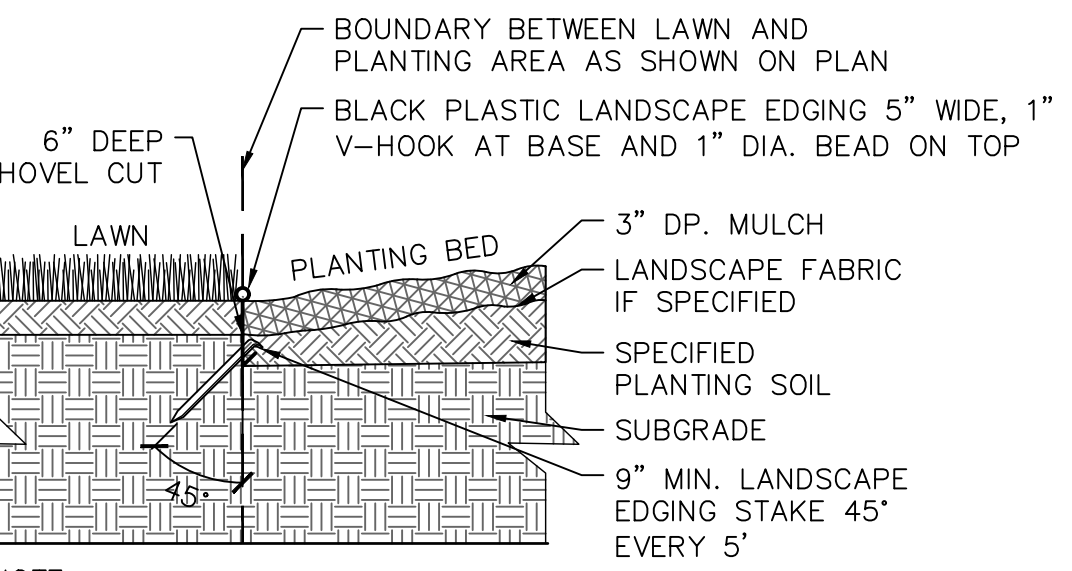


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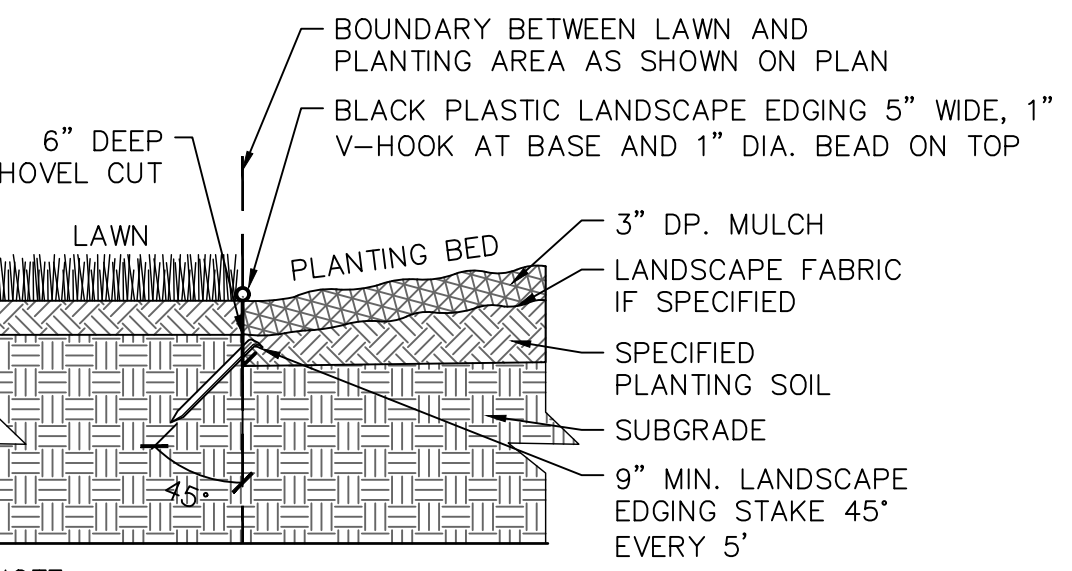


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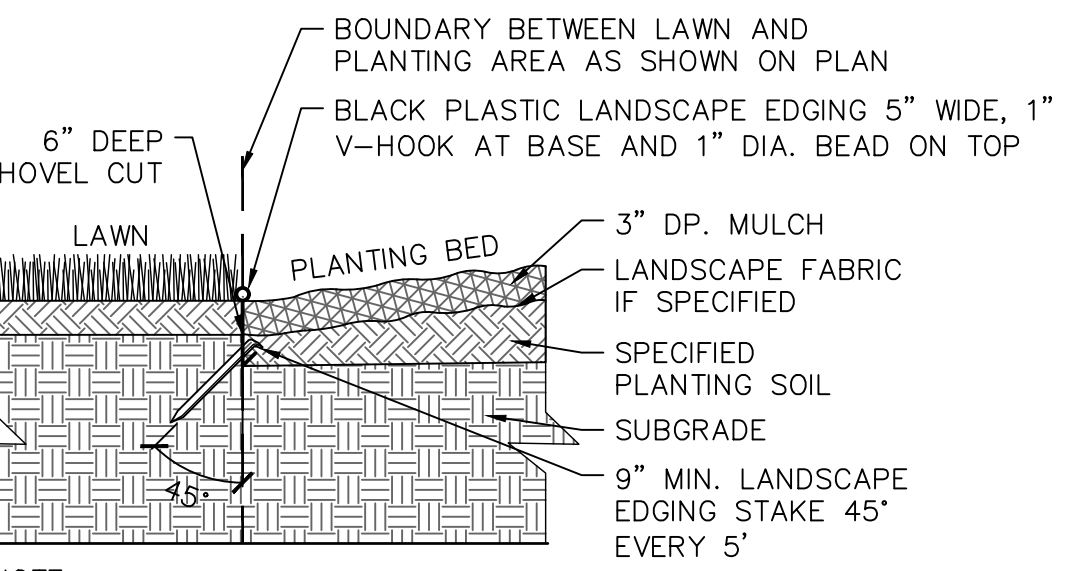


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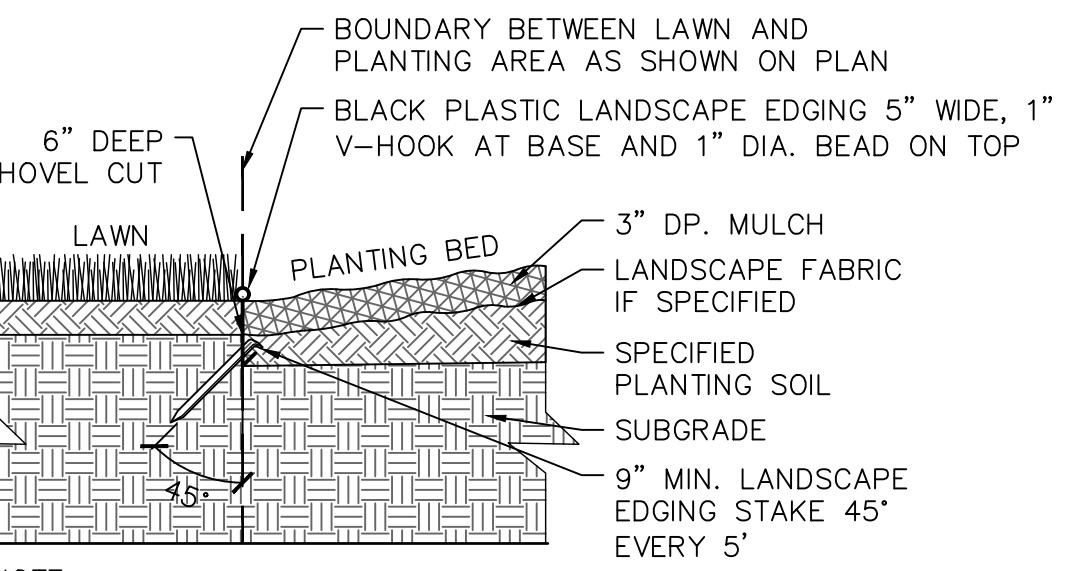


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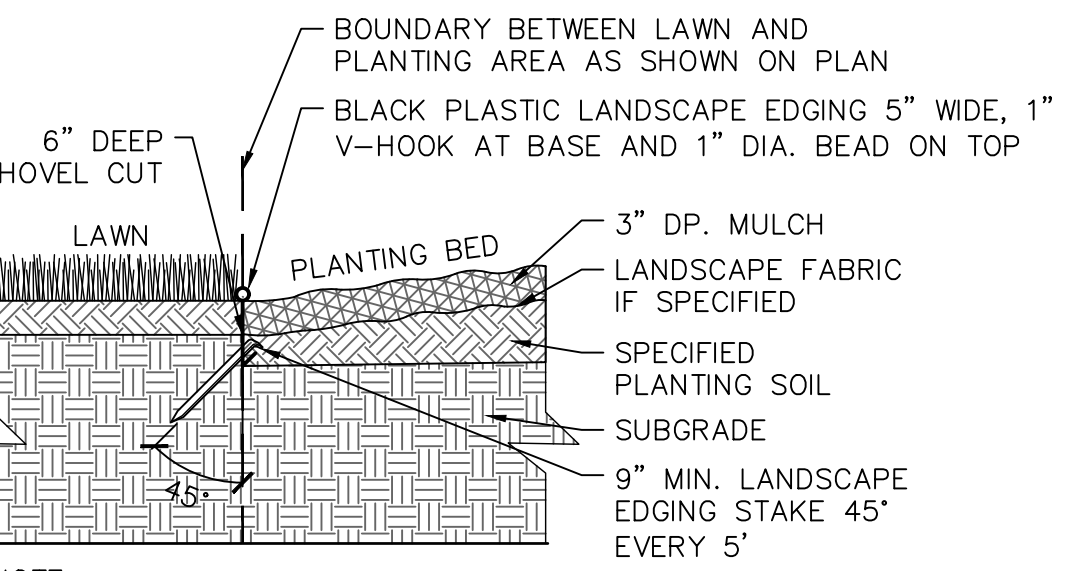


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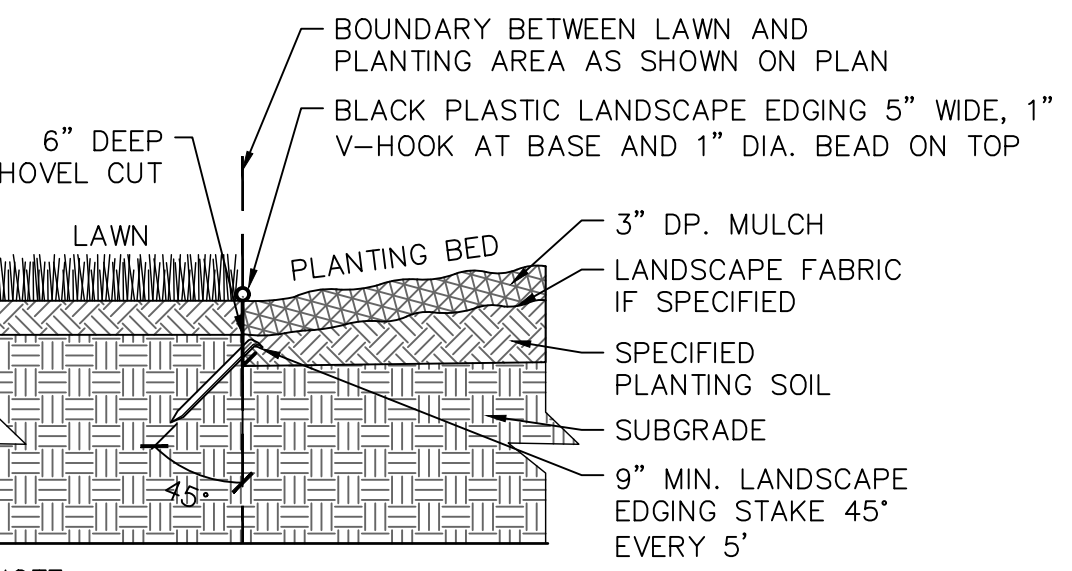


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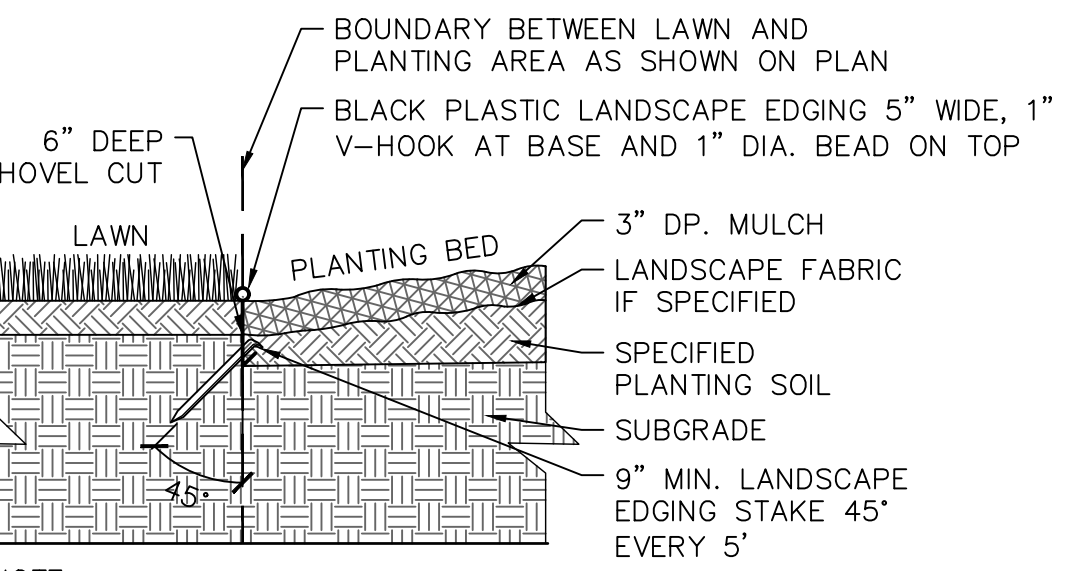


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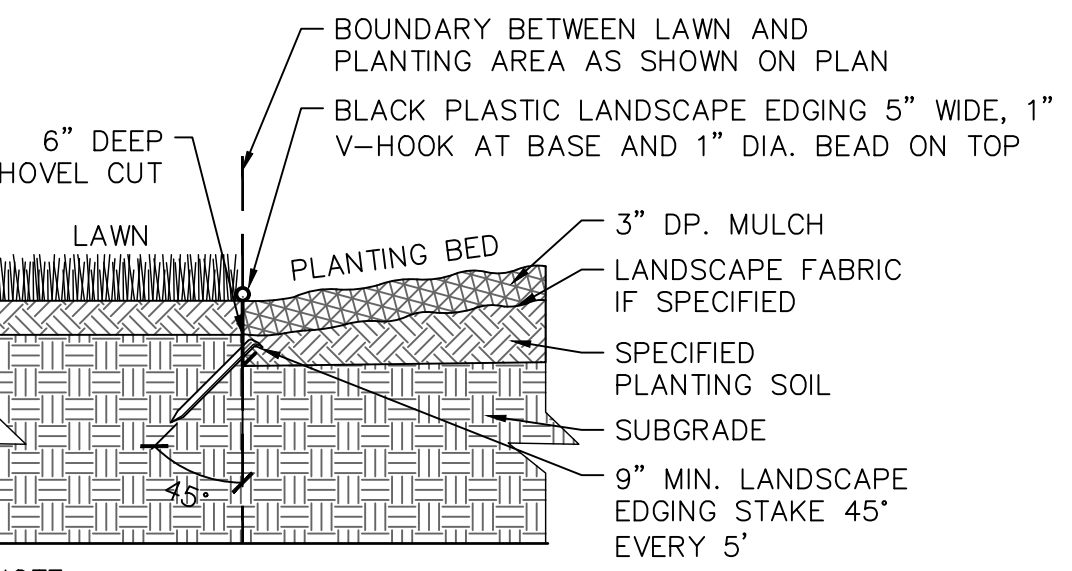


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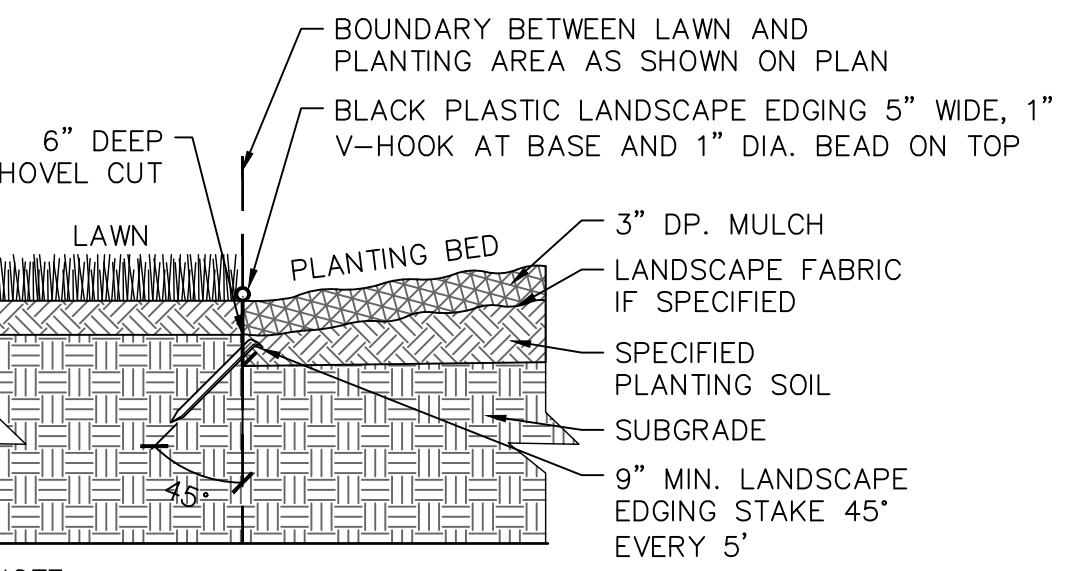


NOTE:

-FOR MULTIPLE PIECES OF EDGING, CONNECT WITH 6" MIN. PLUG. STAKE EACH SIDE OF THE EDGING 12" MAX FROM THE POINT OF CONNECTION.

4 BLACK POLY LANDSCAPE EDGING DETAIL

NTS

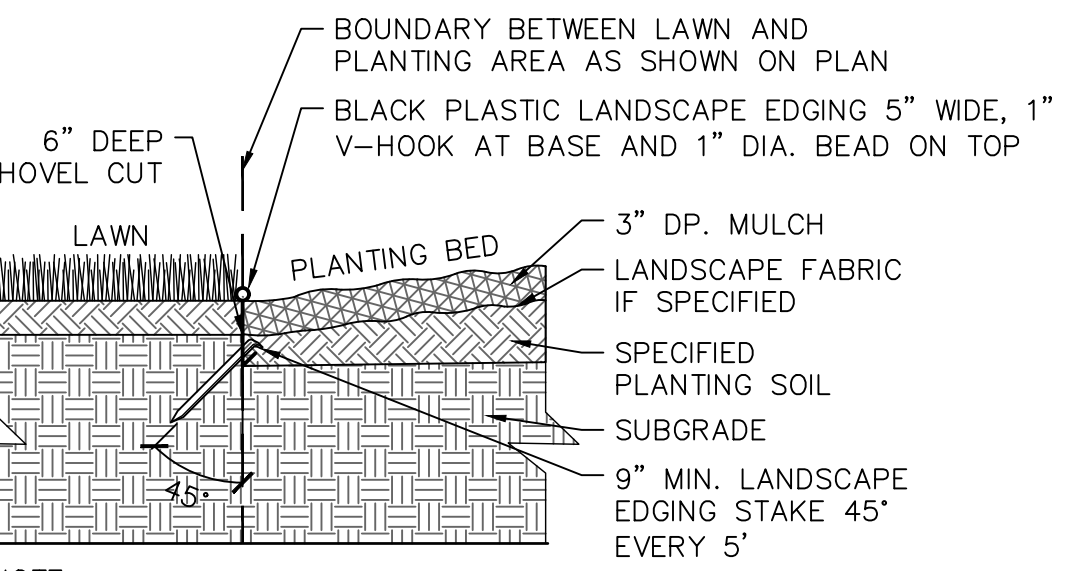


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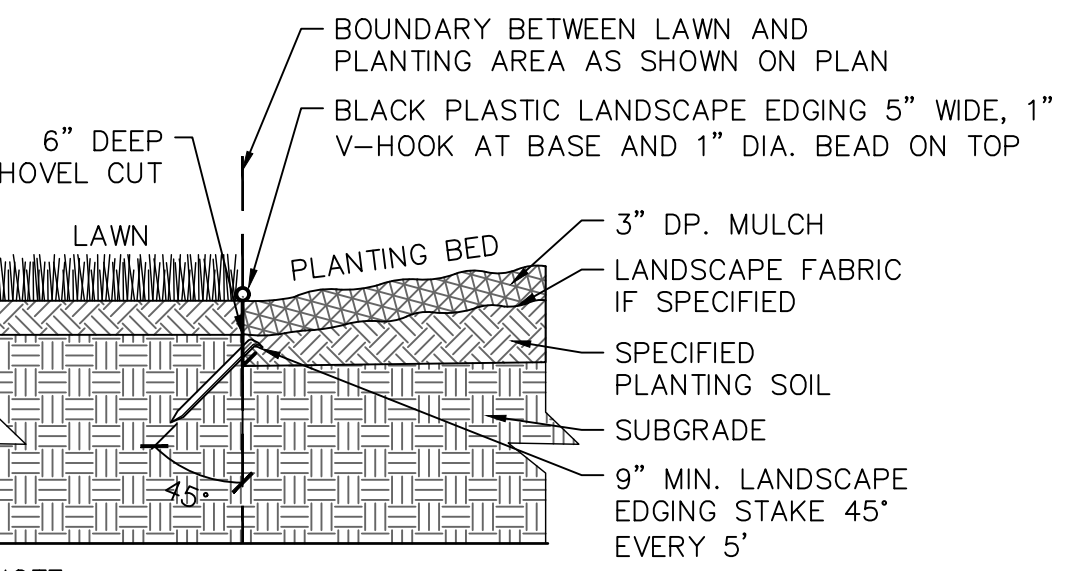


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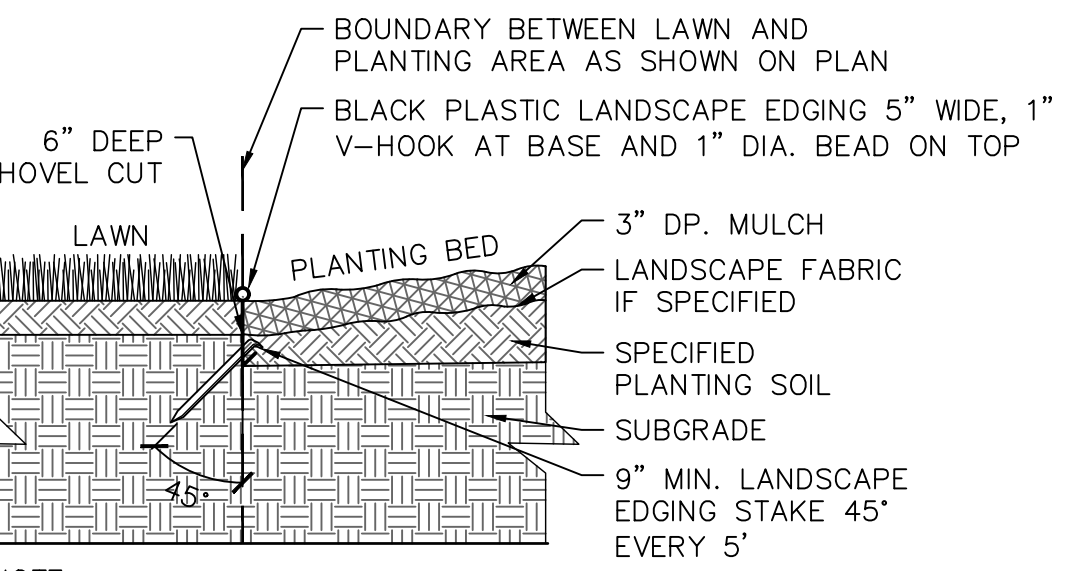


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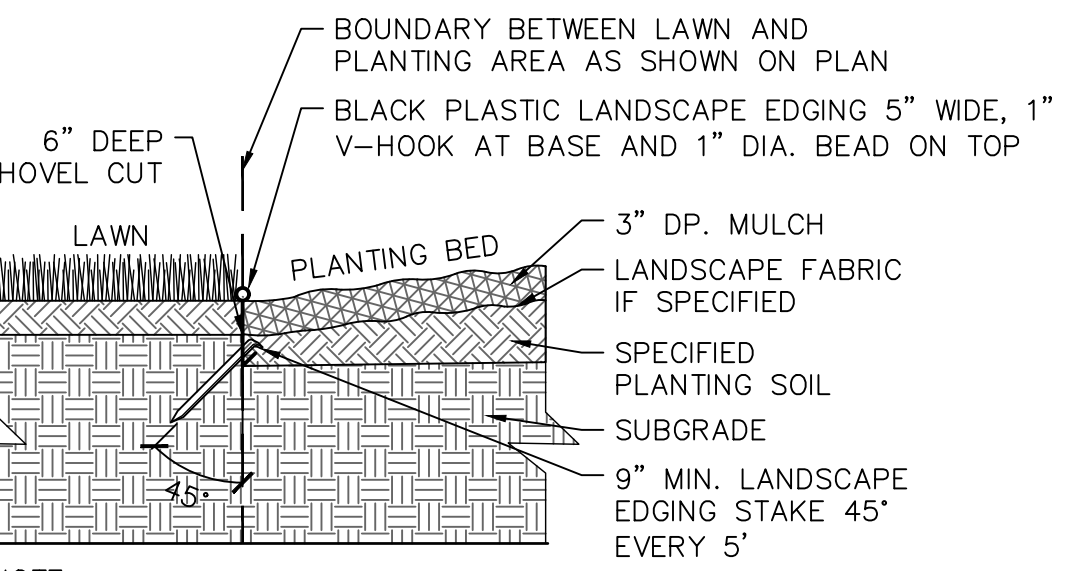


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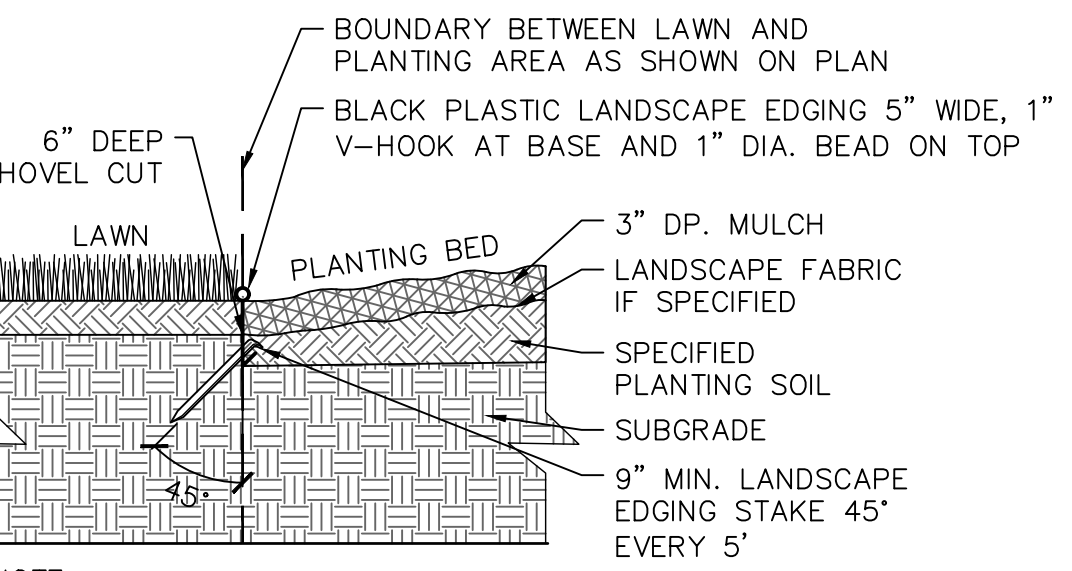


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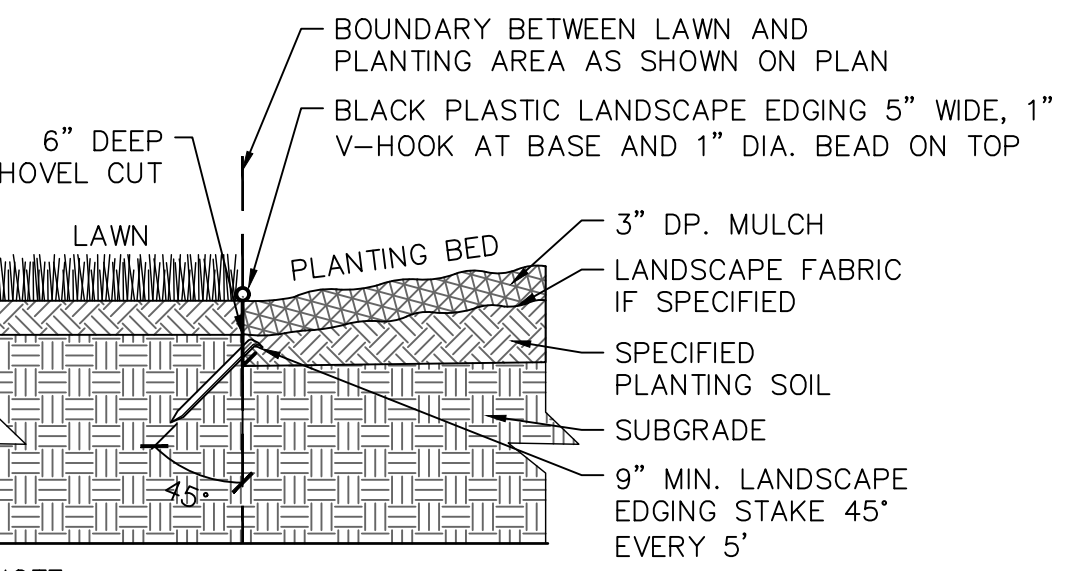


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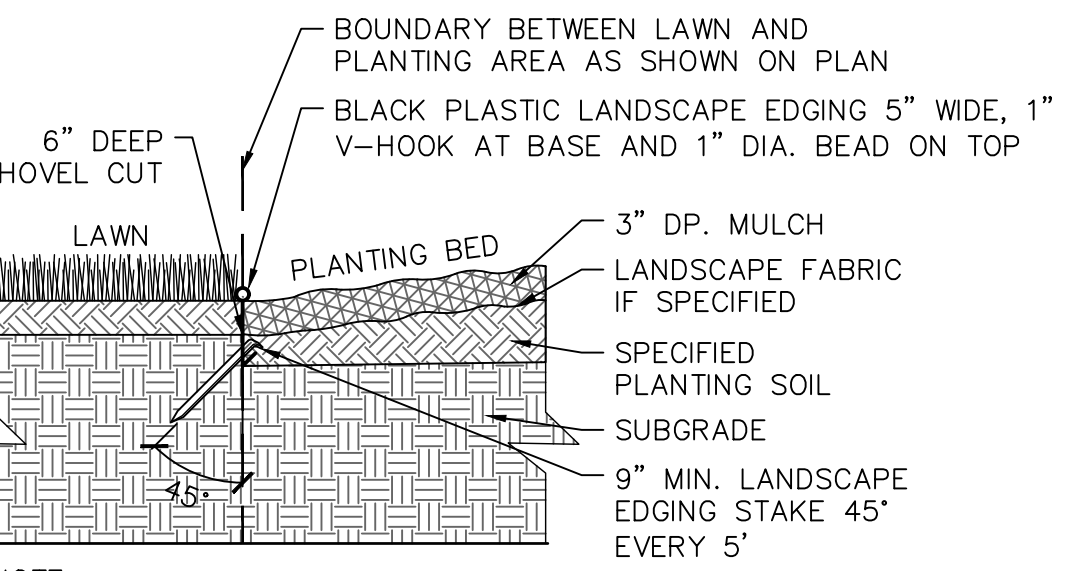


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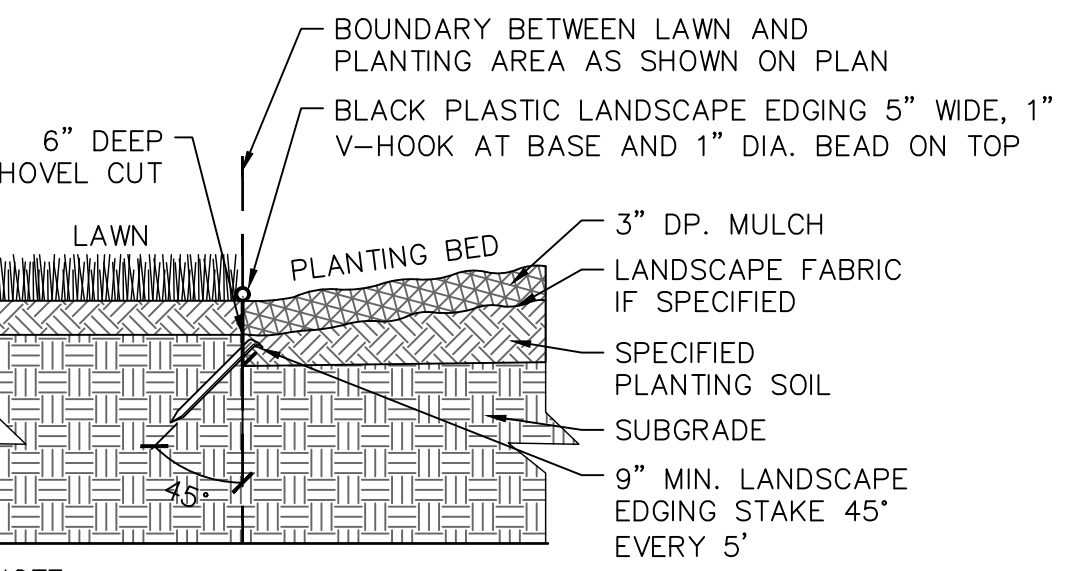


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CITY OF COLUMBIA HEIGHTS
PUBLIC WORKS DEPARTMENT

TO: MAYOR AND CITY COUNCIL
CITY MANAGER

FROM: KEVIN HANSEN
PUBLIC WORKS DIRECTOR

SUBJECT: JACKSON POND AREA – HISTORICAL CONTEXT

DATE: May 7, 2021

With the discussions on the recent proposed developments and the sanitary sewer study in progress for trunk line in Collection District 1, I am providing some background and history of the area.

Flooding in and around the Jackson Pond area has been occurring for decades – attached is a photo/newspaper article from 1965, along with a photo showing the approximately same area from 2017. The area is subject to flooding during extreme rainfall events – high intensity/short duration, and back to back storm events. The history below is from when I started with the City.

In 1997, significant storm event(s) occurred resulting in widespread flooding throughout the City, including the Jackson Pond area. Staff worked in multiple areas addressing those issues with multiple studies and improvements to mitigate the localized flooding (the improvements were a driving factor in developing our storm water utility in 2000). In 2003, a storm event caused Jackson Pond to overtop again. From that event, the following activities/programs/studies were completed:

- Sump Pump Disconnect Program.
- Removal of a cross connection between Jackson Pond and the trunk sanitary sewer system.
- Lining of the trunk sanitary sewer lines from Central west to 44th Avenue.
- A feasibility report looking at changes/improvements to Jackson Pond to improve capacity.
- A foundation drain disconnect program was discussed with the Council (2 separate occasions) but not acted on. At that time, estimates were \$1,500 - \$4,000 per affected household to disconnect foundation drains.
- A backflow device program was offered to all properties previously impacted by sewer backups. The City paid for a backflow prevention device and slice gate valve installed in basements for properties that requested it.

It is important to clarify and separate storm sewer causes – (i) Jackson Pond overtopping and (ii) the primary cause of sanitary sewer backup – inflow and infiltration (I-I). In our analysis of Jackson Pond, the pond did not have adequate storage capacity. In flow monitoring of the sanitary sewer system – the cause of sanitary sewer issues are clearwater connections from private property to the sanitary sewer system. As we have completed the sump pump disconnect program Citywide, it is clear that the source is from foundation drain connections. We have evaluated the sewer system in each of the three collection districts, and in each we have found little or no lag (time) in the surge we see at flow monitors following rain events. This is clear evidence of rainwater entering the system. I asked the hydraulic engineers (from Bolton-Menk) currently evaluating the trunk line currently of the impact of I-I and this is his response:

“I would have to agree with Tim’s statement below. I believe the surcharging issues are exclusive to I/I.

Taking a quick look at the flow meter data that we have collected thus far, we have an average flow of 69 gpm and a peak flow of 195 gpm. These flows enter the system at the 10” meter placed in the invert of MH-35A11. The average daily peak looks to sit around 120-140 gpm entering MH-35A11 from the East. A very minimal amount of flow enters MH-35A11 from the South.

Based off of slopes, it looks like the downstream 10” pipes have a 100% full pipe capacity of approximately 400 gpm and the downstream 12” pipes have a 100% full pipe capacity of approximately 600 gpm. Assuming a peak daily flow of 140 gpm entering the system from the East and assuming a proposed peak flow from the development on Jackson of 45 gpm we can estimate a peak daily flow (without I/I) of approximately 200 gpm. Granted we have more flow entering the system further downstream from Madison, Jefferson, Washington, 7th, etc. it looks like the 10” and 12” pipes would have plenty of capacity to carry the additional flow from the 66 unit development.

I/I seems to clearly be the issue here.” (Dallas Jones)

From Tim Olson (out of town on vacation):

“Kevin - since i dont have access to the data, i am cc’ing Dallas Jones to this email.

My gut says yes - the surcharge is exclusive to i/i, and even a moderately peaked base flow would be below capacity. This is also evident in the gage data.”

Staff note: gpm is gallons per minute.

Jackson Pond: The original feasibility report (2008/09) recommended removing the dead pool of standing water in the pond, excavating and deepening the pond, and installing a pumping station to pump water out of the pond. After evaluating funding resources, the City partnered with the MWMO and reconstructed the pond in 2013, becoming operational in 2014. Our records indicated that Jackson Pond has not flooded (overtopped) since its reconstruction. I should also add that rain events vary, and no storm water system is designed for every event.

Water Overflow Forces Evacuation Of Homes In Quincy Street Area



JACKSON POND just couldn't handle the volume of water from melting snow and rain Monday and Tuesday. The result was flooded homes on Quincy Street (at left) between 43rd and 44th Avenues. One disgusted resident found his way out by boat.

"We are at the mercy of the weather at this time," said Columbia Heights city manager Malcolm Watson about mid-day Tuesday.

City crews, the Red Cross and Civil Defense had worked continuously since early the day before and the dreaded words, water and sewage, continued to spill from everyone's lips.

The area bounding Jackson Pond; Quincy 43d to 44th Ave., 43d and Quincy to Van Buren and the houses south of 43d on Quincy, Jackson and Van Buren were hardest hit by the mounting water.

Jackson Pond which serves as the drainage area for much of the northeast and north central part of Columbia Heights began to overflow its banks about 4:30 p.m. Monday.

By 10 p.m. many homes along the bounding streets were evacuated by the Red Cross and given help in relocating.

Watson directed the actions of the city crews by radio throughout the night, and civil defense director Walter Reinhart plus a crew of 30 helped to evacuate homes in the distressed areas and set up emergency facilities in the Fieldhouse.

Fire trucks with pumping facilities were called into action about 11:30 to assist in relieving the water pressure and flow along Jefferson St. 41st to 44th. The pumps, however, proved to be of little value.

Watson said four large pumps were operated throughout the night and the city was at this time (Tuesday morning) purchasing a huge pump that would be used to pump water out of the Jackson line system on Washington and Quincy streets between 43d and 44th.

The water, Watson said, would be pumped from this Jackson line system to the park property to the south.

With rain coming in the form of a downpour about 2:30 a.m. Tuesday morning assistant city engineer Gustafson said he could not imagine anything being any worse.

Several families along Quincy began to evacuate their homes late Monday night including the Guy Finch family at 4304 Quincy who were of the first to be flooded.

(Continued on Page

Item 8.



Minerva Hark

From: John Haluska <john.haluska@gmail.com>
Sent: Thursday, May 6, 2021 1:02 PM
To: Aaron Chirpich
Cc: Minerva Hark; Kelli Bourgeois; Amada Marquez Simula; John Murzyn Jr; Connie Buesgens; Nick Novitsky; Kt Jacobs
Subject: Re: Project at 42nd and Jackson

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Mr. Chirpich

Respectfully, the conditions cited are so non specific relative to the issue as to be of little value in terms of an expectation of them being fulfilled by the developer. They spell out nothing in terms of enforceable detail. If the good will and best intentions of the developer are what the city is willing to proceed on I have beachfront property on Jackson Pond I want to sell you.

What I am reading into this is the planning department's position is: "let's issue the permit and worry about the important stuff at some yet to be determined future date".

This can be a good development and asset to the city, but there needs to be transparency in communicating with the neighborhood on many of the concerns the neighborhood has expressed, in particular all the concerns surrounding the problems with stormwater, which is a problem the city has identified and supposedly agrees needs to be dealt with for this development to go forward.

The issue needs to be spelled out with specificity before this goes further. The neighborhood and city taxpayers need an up front best estimate as to what they are potentially on the hook for. Surely the city has specific ideas as to what needs to be done to mitigate the problem that's been identified, how to best address the matter, and how to and who is going to pay for what needs to be done.

My questions are simple, what are the specific storm water issues the city has identified, how are they to be dealt with, how much will it cost, and who is going to pay to resolve them including what costs will or may fall to the property owners in the neighborhood?

If the city cannot or will not answer these questions there should be no further consideration of this application.

Thank you!

John Haluska

On Thu, May 6, 2021 at 11:47 AM Aaron Chirpich <AChirpich@columbiaheightsmn.gov> wrote:

Mr. Haluska, (Mayor and Council blind copied)

Thank you for your background information and questions. Condition number 6 (listed below) addresses the developer's responsibility to enter into a contract with the City to account for all public improvements, on-site and off-site that are required. In this case, the term "public improvements" includes the needed storm water and sanitary sewer improvements for the project.

6. The property owner and the City will enter in to a development contract governing the public site improvements and any off-site public improvements that are necessary for the project, and such contract shall be executed by the property owner and the City prior to the issuance of a building permit.

Additionally, Condition number 7 (listed below), stipulates that the developer has to put up an escrow for the public improvements and the City Engineer will determine the amount.

7. Developer shall provide financial guarantee in the form of a cash escrow or irrevocable letter of credit for landscaping and public improvements. The guarantee amount is to be determined by the City Engineer.

All on-site storm water related improvements for this project will be paid for by the developer. The funding model for the regional sanitary sewer improvements has not been finalized. The developer is not responsible for any current sanitary sewer system deficiencies.

All soil boring data compiled by Reuter Walton has been shared with the City and reviewed by the City Engineer.

Regards,

Aaron

Aaron J. Chirpich, MPA | Community Development Director



City of Columbia Heights | Community Development Department

590 40th Avenue NE | Columbia Heights, MN 55421

Direct: (763) 706-3675

achirpich@columbiaheightsmn.gov

Main: (763) 706-3670

[100 Years of Columbia Heights](#)

From: John Haluska [mailto:john.haluska@gmail.com]

Sent: Thursday, May 6, 2021 10:44 AM

To: Aaron Chirpich; Minerva Hark

Cc: Amada Marquez Simula; Kelli Bourgeois

Subject: Project at 42nd and Jackson

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In the meeting on Tuesday this week there was a discussion regarding storm water management in general for the site and the neighborhood surrounding and running generally north of what was the site of the "old" high school which was on the higher ground to the south of the site and fronted 41st from @Van Buren to Jackson Street. (To save some confusion the original "old" school was on the NW corner of 41st and Central).

To the north of the highschool was the football field and the track. It was flat ground at about 914' in elevation. The field was oriented north and south. running along the east side of the field for its entire length was a drainage channel to handle run-off as it was susceptible to flooding. Directly to the south of this area (north of 42nd) lies the neighborhood bounded by 42nd and 43rd and Central Avenue and Quincy Street.

You can see from this topo map the elevation in that area is @908' give or take, dropping down to 906' at the corner of 42nd and Quincy Street. Here is a link to the map: <https://en-gb.topographic-map.com/maps/2guq/Anoka-County/>

Anoka County

Topographic maps > United States > Minnesota > Anoka County

Click on the map to display elevation.



Anoka County, Minnesota, United States (45.27102 -93.28276)

Checking the contours of the map you can see that the area is a natural basin collecting surface runoff from a large area. to the east, north and northwest. In a major weather event the storm sewers can be overwhelmed.

Historically, (in my 76 year lifetime) this basin (in the region of what's known as Jackson Pond) has flooded, including the football field and track (the proposed site).

I recall playing as a child in the wetland from north of 42nd up to 45th. Prior to European settlement it was likely a shallow lake bed and wetland.

The area was never meant for residential or commercial development unless adequate measures were taken to prevent flooding. Those measures have yet to be taken and it was developed nonetheless.

Historically Jackson Pond has overflowed in its past and present configurations.

That all brings me to my question.

In the meeting on Tuesday it was acknowledged that water drainage and stormwater management was a problem to the extent that it was a concern of the planning department. It was also acknowledged that in light of the Alatus proposal for the 4300 Central site the problem was exacerbated. In response to the planning department recognizing the problem and having concerns it was stated that addressing that specific issue was one of the conditions the planning department was recommending be placed on the 42nd and Jackson development.

I have gone through the 26 conditions stated in the documents provided to the public at the Tuesday meeting and I do not see any of the conditions stated directly addressing this matter. Please Explain.

In the meeting questions were asked as to the cost of any improvements needed to address the storm water management issues and who would pay for them . That question was not clearly answered. Please provide a clear and detailed answer.

In the meeting it was also stated that soil borings of the site were made but it wasn't clear that have been analyzed or shared with the city. Can you also explain that?

Thank you!

John Haluska

612.281.0700 (M)

john.haluska@gmail.com

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Minerva Hark

From: Kelli Bourgeois
Sent: Tuesday, May 4, 2021 10:59 AM
To: Aaron Chirpich; Kevin Hansen; Minerva Hark
Subject: FW: perposed apartment complex

From: Kelly Harrison [<mailto:harrisonkellyjo@gmail.com>]
Sent: Tuesday, May 4, 2021 10:38 AM
To: Kelli Bourgeois
Subject: perposed apartment complex

*This message originated from outside the City of Columbia Heights email system. Use caution when clicking hyperlinks, downloading pictures or opening attachments. If necessary, contact sender by phone. **WHEN IN DOUBT, THROW IT OUT!***
Hello.

I have some questions regarding the proposed apartment on Jackson and 42nd. I have heard there are plans to also build an apartment building at the location of the old Rainbow or proposed Hyvee? Is this true? I live at 4257 Jackson Street and shortly after I purchased my home I ended up with 2,000 gallons of sewage in my basement because of a huge rain storm. A few years back the Jackson Pond was redesigned to address current issues but are there plans to deal with the sewage issues in this area to accommodate added residential needs? I'm visually impaired so all the diagrams are not accessible to me. I plan to attend this evening via Zoom but would love to have a discussion about this if it's possible. I'm sure you are getting plenty of response about this and I appreciate your time.

Thank you.

Kelly Harrison
harrisonkellyjo@gmail.com
(612) 987-1102

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Dear Minerva and City Council,

Hello! My name is Kelsey Johansen and I have been a resident of Columbia Heights for six years, and attended a house of worship in the community for three years prior to moving here. In the recent past I was the original general manager of Community Grounds, a Columbia Heights business, before I made the decision to stay home with my young children. To say that I love this community would be an understatement.

My husband and I chose to move to Heights after we were married for a year, wanting to find a home where we could put down roots. The fact that Jackson Street is quiet with low traffic volume was a huge incentive for us thinking to the future of raising children here, which we now have two of and a third on the way. The neighborhood we have become a part of has far exceeded all of our expectations of living in a community oriented neighborhood. It is the most wonderfully diverse, welcoming, and hospitable place I have ever lived. We frequently go for walks and find ourselves gone for hours checking in on neighbors, and striking up conversations with new friends; often our conversations end up in afternoons and evenings spent together with many meals shared. During Covid, a time when many have found themselves isolated, we have formed even tighter bonds and friendships with those around us that often make it feel as though we do life day to day with “extended” family. The fact that our neighborhood is walkable, and that people live in single and multifamily homes adds a real sense of belonging and commitment to where we reside. I was very disappointed to hear that the city wants to put in a four story apartment building in the middle of our thriving neighborhood. The disappointment was exacerbated by the fact that it seems the city is pushing on with this project because it seems an easy fix to an earlier created issue with storm flooding by the building of the Crestview Senior Living facility years prior. I have many concerns with a large four story 62 unit, the most important being the disruption to a deeply community oriented neighborhood.

My understanding of this neighborhood comes from our “grandma” who lives behind us who moved here from Germany in the 1960’s. It was a rapidly growing area with many migrant families who settled and raised children here. She can tell stories of who lived in each home and where they are now. Sadly, many have passed away or moved on. However, she is so excited because with many homes turning over there has been a huge influx of young families; she is especially delighted to see all of the children being raised in a well-connected community like hers were. The fact that we have very few chain restaurants and stores and instead support a large number of mom and pop shops and independent restaurants shows that we really value keeping Columbia Heights a tight knit community that supports one another.

Having worked in the service industry for my whole working career, I understand the “affordable living wages” that this project will cater to. In that situation, many people are working hard to increase their pay in order to find a more stable career and home where they can eventually settle down. What concerns me about this project is this: many people will work in Minneapolis, Northeast, or the North Loop (which will subsequently be where they spend the majority of their time and money) without really being invested into the neighborhood where they are renting. Once the time comes for a new job or they move further up in their career they will jump at the opportunity to move along to different housing, leaving our community in a more transient position than we who currently live here want it to be. The fact that it was “estimated” there would be 100 people living in the 62 unit property is a complete lowball; even in my late twenties/early thirties I know very few people who make the wages discussed and still are able to live alone paying the stated rent fees. Also, if we talk of families who might live there, there are lots of families in our immediate neighborhood who have many children and also many generations living together.

What I would love to see would be a community developed in that area with townhomes, duplexes, or quadplexes: larger family homes and living spaces (similar to the development North of the Grand Central Apartments off of Central Ave). An area where people can still rent an affordable living space, but are also given their own yard and the dignity of walking into their own front door, especially living in a Covid-era. I believe that this style housing best lends itself to residents who feel a sense of belonging and participation within a community, and encourages them to put down roots and get to know those that they share a neighborhood with. A small park would be another necessity, as the closest park is not accessible apart from

crossing Central Ave (which is very dangerous and hard to do with small children, or even with my special needs neighbor whom I help care for). This would be another example of creating space that is reflective of a community-oriented neighborhood where people have a chance to meet with others they live near - something that the proposed apartment complex is not. (Side note: if the City Council goes against the community's concerns and moves forward with this project, there seems to be no reason why the North-Western "L" shaped building could not be flipped to be along the South-Eastern border of the property).

One further point of concern was that the question 'what is the current rental vacancy rate in CH' was unable to be answered. With the new city hall mixed use building hosting 266 apartments, and the future building of 400-600 apartment units on the 4300 lot (Hyvee owned lot) I wonder if we have that much additional need for 1-3 bedroom apartments in our city. I do feel that location of the other projects are much more appropriate for a high-rise building and they are on 40th/44th and Central; the crosswalks to get to public transit both North and South-bound are much more suitable to commuters than what is available at 42nd and Central. 928 apartment rentals is quite a large number and I just wonder if that is the style of housing most needed in our city at this moment.

Looking at the city's 2040 comprehensive plan, I believe that this project goes against the following goals due to reasons addressed earlier in my letter: A. Establish and maintain a strong sense of community; B. Strengthen the identity and image of the community as a desirable place to live, work and play (does not retain the city's small-town character); C. Provide mechanisms for successful redevelopment of vacant lands and targeted areas within the community (does not demonstrate compatibility with existing neighborhood characteristics in terms of design, building height, placement, and scale); D. Promote the safety of residents and ensure a safe environment for pedestrians, bicyclists, and other vulnerable roadway users; E. Preserve the single-family neighborhoods as one of the community's strongest assets.

One last comment that I brought up in the neighborhood zoom meeting: on my daily walk the day of the meeting, I was talking with my friend who both lives in the Columbia Court Townhomes and manages their rental office. She was *completely unaware* of the proposed project as well as the neighborhood zoom meeting, as I'm sure were the rest of the residents in those buildings since no one had conversed with her about the project. I understand that the letter was more than likely sent to the property owner; however, each resident there has their own mailbox and I feel that it would have been the dignifying thing to do to send them each their own notice as it feels like a gross oversight or purposeful exclusion of a very diverse population of our neighborhood who will be directly affected by this project, and significantly damages the appearance of transparency. This is our community, let's find a way to work together on these issues.

Thank you for your time to listen, and thank you in advance for your commitment to work together to make Columbia Heights the best community possible!

Respectfully,
Kelsey Johansen

Minerva Hark

From: Minerva Hark
Sent: Tuesday, May 4, 2021 3:58 PM
To: 'Peter Kopp'
Subject: RE: 4 Story High Density Apartment Complex

Hello Peter,

Thank you for your email. Please see my answers below:

1. Affordable housing is defined by the state of Minnesota as when a household that earns 80% of area median income or less pays no more than 30% of their gross income for housing costs.
2. I am unable to answer that questions. It is my understanding that this proposed project should not affect the values of the surrounding properties.
3. The proposed 62-unit apartment building will have 16 one-bedroom units, 30 two-bedroom units, and 16 three-bedroom units.
4. The project has the minimum required on-site parking spaces to accommodate the use (108 parking stalls).
5. I received this application on April 5th, 2021, but I believe the developer was discussing the proposed project with the City since as early as last summer. Once the application was officially received, a notice was mailed out to the owners of the neighboring properties that are within a 350 foot radius.

Please let me know if you have any further questions.

Thank you,



Minerva Hark, MPA | City Planner
 City of Columbia Heights | Community Development Department
 590 40th Avenue NE | Columbia Heights, MN 55421
mhark@columbiaheightsmn.gov

Direct: (763) 706-3673
 Main: (763) 706-3670

From: Peter Kopp [<mailto:peter.r.kopp@gmail.com>]
Sent: Tuesday, May 4, 2021 11:51 AM
To: Minerva Hark
Subject: 4 Story High Density Apartment Complex

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Hi Minerva,

I have a few questions and concerns regarding this project.

1. What does the city of Columbia Heights define as "affordable housing"?
 1. Is this income restricted?
 2. Is it government supplemented?
2. What are the projections for area property values with regards to this project?
3. What is the total occupancy for the proposed building?
4. How will this affect my street parking?
5. How long was this plan in the works and why was I only made aware of it today?

Thanks!

Peter R. Kopp

651.249.1860



Item 8.

Minerva Hark

From: Minerva Hark
Sent: Tuesday, May 4, 2021 4:06 PM
To: 'Jazlyn Saykwa'
Cc: Nick Novitsky
Subject: RE: 42nd and Jackson apartment complex

Jazlyn,

Thank you for your comments. I will attach them to the file and provide copies to our Planning Commissioners in time for tonight's meeting.

Best,

Minerva Hark, MPA | City Planner
 City of Columbia Heights | Community Development Department
 590 40th Avenue NE | Columbia Heights, MN 55421 mhark@columbiaheightsmn.gov
 Direct: (763) 706-3673
 Main: (763) 706-3670

-----Original Message-----

From: Jazlyn Saykwa [<mailto:jsaykwa@gmail.com>]
 Sent: Tuesday, May 4, 2021 4:03 PM
 To: Minerva Hark
 Cc: Nick Novitsky
 Subject: 42nd and Jackson apartment complex

This message originated from outside the City of Columbia Heights email system. Use caution when clicking hyperlinks, downloading pictures or opening attachments. If necessary, contact sender by phone. WHEN IN DOUBT, THROW IT OUT!

I'm opposed to this project going forward and here is why.

1. Instead of another apartment complex, we living west of Central avenue need a park. Presently there is no park in the rectangle from 40th to 51st and Central to Jefferson.
2. There's already too many rental units in CH already.
- 3 City of CH should be promoting cooperative model of home ownership in apartment complexes.
4. Increased density means more crime and congestion.
5. I could go on.

Jazlyn Saykwa

Sent from my iPad

Minerva Hark

From: Minerva Hark
Sent: Tuesday, May 4, 2021 5:11 PM
To: 'Jennifer Delgado'
Subject: RE: City planning meeting-4 story high density apartment

Jennifer,

Thank you for your comments. I will add them to the file and provide them to our Planning Commissioners ahead of tonight's meeting.

Best,



Minerva Hark, MPA | City Planner
 City of Columbia Heights | Community Development Department
 590 40th Avenue NE | Columbia Heights, MN 55421
mhark@columbiaheightsmn.gov

Direct: (763) 706-3673
 Main: (763) 706-3670

From: Jennifer Delgado [<mailto:delga096@umn.edu>]
Sent: Tuesday, May 4, 2021 5:09 PM
To: Minerva Hark
Subject: City planning meeting-4 story high density apartment

This message originated from outside the City of Columbia Heights email system. Use caution when clicking hyperlinks, downloading pictures or opening attachments. If necessary, contact sender by phone. WHEN IN DOUBT, THROW IT OUT!

Good afternoon Minerva Hark,

I am contacting you today to voice my concern on the apartment complex that the city is planning on having. Our neighborhood is a calm safe environment suited for all the children and people living in it. With the addition of an apartment complex, it will ruin that for all of us. There will be more busy cars and more people surrounding the neighborhood due to the apartment complex. We have bus stops for kids and young adults and also a safe environment to even go on a walk late at night. The addition of the apartment complex will ruin all of that and our neighborhood will not have that safe calm environment we currently have. Again, there are children, schools, churches that will be affected by this decision. I live on 4206 Van Buren St NE and am concerned.

Thank you for your time and consideration.

--

Jennifer Delgado Undergraduate Student College of Education and Human Development

Alicia Apanah

From: Jonathan Tholen <jonathan.tholen@gmail.com>
 Sent: Friday, April 16, 2021 10:16 AM
 To: Minerva Hark
 Subject: Follow up Questions for the City

This message originated from outside the City of Columbia Heights email system. Use caution when clicking hyperlinks, downloading pictures or opening attachments. If necessary, contact sender by phone. WHEN IN DOUBT, THROW IT OUT!

Hi Minerva,

Thanks again for sending the meeting minutes. I've read through the city council meeting discussions and relevant materials. As you can imagine, there are a lot of questions that will be covered in due course.

As you probably know, our immediate neighborhood is on the cusp of a significant wave of upgrades and investment by homeowners, ourselves included.

There are some more strategic considerations I wanted to bring up which seem missing in the council discussions of a pre-pandemic proposal.

1. Is the value of the parcel in question increasing, stable or decreasing? Is there any pressure for something to be done with the property in the near term? What other uses of the property has the city solicited?
2. The CH 2040 plan acknowledged a city strength is proximity to the MSP core, but property value data stops at 2016/2017 while the desirability of columbia heights has since accelerated. Does the city understand why as compared to other inner suburbs? The existing plan doesn't seem to recognize unique opportunities as a first ring suburb that not part of hennepin or ramsey county.
3. The initial building proposal was in 2019, however the world has changed a lot for work and home life. How has the city taken into account these uncertainties into use for this parcel, and more broadly it's long range planning?
4. Does Reuters Walton plan to be the property owner and manager? Has the city evaluated their approach for selecting qualified and suitable residents? Given the high level of accessibility of the area, is there any specific focus to include those with disabilities?
5. Is the city offering any incentives for investment to encourage / support current residents in the affected area?

Thanks,

4204 Residents Sarah and Jonathan Tholen (kids age 3, 1 and Baby3 (Aug21) & Paige Hardy - Sarah's sister adult disabled)

Alicia Apanah

From: Minerva Hark
 Sent: Friday, April 23, 2021 10:19 AM
 To: 'John Haluska'
 Subject: RE: Development at 42nd and Jackson
 Attachments: 16337_D-1 DEMO PLAN_22x34.pdf; 02 - Easement Vacation Narrative.pdf; 16337_X-1_Existing_Conditions_11X17.pdf; 16337_s_easement_exhibit-24X36 EXHIBIT 40 SCALE NORTH.PDF; 11x17 Alliant ALTA Survey.pdf; 16337 Northwestern 3rd Addition - SWMP Report.pdf

John,

Please see part 3 attached. If you find any difficulty viewing the documents, please let me know.

Thank you,



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 City of Columbia Heights | Community Development Department
 590 40th Avenue NE | Columbia Heights, MN 55421
mhark@columbiaheightsmn.gov

Direct: (763) 706-3673
 Main: (763) 706-3670

From: Minerva Hark
 Sent: Friday, April 23, 2021 10:18 AM
 To: 'John Haluska'
 Subject: RE: Development at 42nd and Jackson

John,

Please see part 2 attached.

Thank you,



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mhark@columbiaheightsmn.gov

Direct: (763) 706-3673
 Main: (763) 706-3670

From: Minerva Hark
 Sent: Friday, April 23, 2021 10:17 AM
 To: 'John Haluska'
 Subject: RE: Development at 42nd and Jackson

John,

It was nice speaking to you this morning. As mentioned, I will be sending over the application and plans in three separate emails. Please see part 1 attached.

Item 8.

Thank you,



Minerva Hark, MPA | City Planner
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mhark@columbiaheightsmn.gov

Direct: (763) 706-3673
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From: John Haluska [<mailto:john.haluska@gmail.com>]
Sent: Friday, April 23, 2021 9:14 AM
To: Minerva Hark
Subject: Development at 42nd and Jackson

This message originated from outside the City of Columbia Heights email system. Use caution when clicking hyperlinks, downloading pictures or opening attachments. If necessary, contact sender by phone. WHEN IN DOUBT, THROW IT OUT!

Ms Hark

I stopped in a city hall yesterday hoping to pick up an information packet re the multi-housing development that is being proposed for the SE corner of 42nd and Jackson Street. It is my understanding that in the public session held as a Zoom meeting this past Wednesday that materials shown included elevations, detailed descriptions, developer information, etc. Since this is a public matter I assume the city has an extensive packet of information, representative of what was presented in that meeting, and that packet is meant to be shared with the public. That is what I am after. I would like to arrange to pick up that information at your earliest convenience.

I would like to stop back in at city hall later today to get this information.

I thank you in advance for your help in this matter.

John Haluska
612 281 0700.

--

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Alicia Apanah

From: Minerva Hark
 Sent: Thursday, April 22, 2021 5:15 PM
 To: 'Patrick McVary'
 Subject: RE: Follow up on Proposal Documents

Hello Patrick,

I am currently working with our Communications Coordinator to have last night's audio/video recording uploaded to our YouTube account. Hoping this can be completed by tomorrow. I can send you the link when it's ready.

In regards to the Purchase Agreement, That can be found here:

https://cms5.revize.com/revize/columbiaheightsmn/document_center/City%20Council%20Agendas%20&%20Minutes/2020/06-17-20%20CCP.pdf

Please let me know if you have any further questions at this time.

Thank you,



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From: Patrick McVary [<mailto:patrick@mcvarylaw.com>]
 Sent: Thursday, April 22, 2021 9:08 AM
 To: Minerva Hark
 Subject: Follow up on Proposal Documents

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Minerva,

Good job with the meeting last night. I can't say that the topic was enjoyable, but you did a good job of running the meeting.

How can I get a copy of the meeting recording? And, can I get a copy of the Purchase Agreement and any related transactional documents between the City and the Developer, and/or Architect that show what the City's current performance or contingency obligations are for this project?

Thanks,

Patrick McVary

Alicia Apanah

From: Janet/Roger Peterson <rajapeterson@aol.com>
 Sent: Thursday, April 22, 2021 10:22 PM
 To: Minerva Hark
 Subject: Re: Neighborhood Mtg. - 825 41st. Av. NE.

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Minerva,
 Thanks for your speedy reply - the answers I /we asked for. Appreciated !
 Peterson's

-----Original Message-----

From: Minerva Hark
 To: 'Janet/Roger Peterson'
 Sent: Thu, Apr 22, 2021 2:54 pm
 Subject: RE: Neighborhood Mtg. - 825 41st. Av. NE.

Hello Roger & Janet,

Thank you for participating in last night's Neighborhood Meeting. To answer some of your questions:

- The 16 one-bedroom units will be 635 square feet, the 30 two bedroom units will be 935 square feet, and the 16 three bedroom units will be 1,280 square feet.
- No official update on the Hy-Vee site. We hope to have an update in the coming months.
- The City obtains ownership information from Anoka County. It is my understanding that they are currently behind on updating ownership information. I'm not sure if contacting them would help expedite that process in any way, but they would be the ones to contact.

Please let me know if I can answer any other questions.

Best,



Minerva Hark, MPA | City Planner

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mhark@columbiaheightsmn.gov

Direct: (763) 706-3673

Main: (763) 706-3670

From: Janet/Roger Peterson [<mailto:rajapeterson@aol.com>]

Sent: Wednesday, April 21, 2021 8:10 PM

To: Minerva Hark

Subject: Neighborhood Mtg. - 825 41st. Av. NE.

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Minerva,

Just got done participating/viewing the ZOOM presentation on the above - Thank You to you and all that were involved with all the information that was presented beforehand and/or as responses to the questions/concerns.

Us - within 350 feet of the site - 4113 Quincy Street NE - for the last 36 plus years.

Us - major DITTO to all the concerns that came up as it relates to density, ie: people, vehicles, traffic, etc. and how it will mesh with all that is existing in the area already.

If it's built, in the real world, how much can a property management company (even if they're really good, well known and experienced) and/or the CH Departments really control how people(s) conduct themselves when the density is so tight ?

Question - numbers on the unit's size - how many 1 BR's, 2 BR's and 3 BR's ?

I think we all agree - with how long this has been being talked about - why hasn't it come out into the community before now ? for sure !

Site as it relates to local grocery stores in CH and public transportation. Sorry, you guys dropped the ball on that issue - like you're not aware of what is close by. General area is OK if you have a vehicle but that's not everybody. What's the update on the old Rainbow site, is HyVee going to do anything ? Is CH pushing them - giving them incentives to ? Everybody would benefit with HyVee, etc. there.

Next door to me - 4109 Quincy Street NE - new owner has been there a year. Hasn't gotten these written notices. They came to his house but to the previous owner. Who does he contact to get the PID number information updated ? Anoka County ? CH ?

Hearing back from you will be appreciated.

Roger & Janet Peterson

(763) 300 - 5529

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Alicia Apanah

From: Minerva Hark
 Sent: Monday, April 19, 2021 3:20 PM
 To: 'sarah arneson'
 Subject: RE: Public Hearing for 825 41st Ave

Good Afternoon Sarah,

Thank you for your email. Sorry if those back-to-back notices were a bit confusing, but here's what's on the schedule:

Wednesday, April 21st, 2021 – [Neighborhood Meeting](#)

This Zoom-only meeting will be held for the applicant to present their project to the community, take in any feedback/input, and answer any questions that the community might have. No official actions will occur at this meeting. It is informative in nature and open for comments and questions.

Tuesday, May 4th, 2021 – [Planning Commission Hearing](#)

This meeting will be held both in person and via Zoom. City staff will present the applicant's project to the Planning Commission for their recommendation. Their recommendation will then be heard at the May 10th City Council Meeting, where Council will either approve or deny the Planning Commission's recommendation.

Let me know if you have any further questions regarding the procedure in place for this project.

Kind Regards,



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From: sarah arneson [mailto:sarah_arneson@email.com]
 Sent: Monday, April 19, 2021 12:03 PM
 To: Minerva Hark
 Subject: Public Hearing for 825 41st Ave

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Hello Minerva!

I received two notices for a meeting. One for this Wednesday and one for May 4th. Are they two separate meetings or did the one this week get rescheduled to May 4?

Also, can you help me understand the overall process? There is currently an application for this building, but this application needs to be approved, etc.? What does approval look like? What are the other steps?

I'll share that I am very concerned about the size of the building and the number of units (62). I think this is way too big for the area and will increase the population of this small area exponentially - it will lead to a disparate cityscape - homes next to strips malls, next to townhomes, next to large apartment buildings next to commercial buildings next to churches next to schools. And I think it will cause a lot of traffic congestion on 41st. I think it will make the neighborhood busier, louder, less habitable and drive down property values.

Thank you for your response, I look forward to staying close to this process and ensuring my voice is heard and considered.

Item 8.

Thanks,
Sarah Arneson
4045 Van Buren St.

Alicia Apanah

From: Minerva Hark
Sent: Thursday, April 22, 2021 11:27 AM
To: 'Amy Waller'
Subject: RE: recording of tonight's community meeting

Good Morning Amy,

Thank you for participating in last night's meeting. The two-hour recording is too large for me to send via email. I will be working with our Communications Coordinator to get it uploaded to YouTube by tomorrow. I can send you a link then. If not, feel free to stop by City Hall with a flash drive and I can get you the recording that way.

Thank you,



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mhark@columbiaheightsmn.gov

Direct: (763) 706-3673
Main: (763) 706-3670

From: Amy Waller [<mailto:amyrwaller@hotmail.com>]
Sent: Wednesday, April 21, 2021 8:15 PM
To: Minerva Hark
Subject: recording of tonight's community meeting

This message originated from outside the City of Columbia Heights email system. Use caution when clicking hyperlinks, downloading pictures or opening attachments. If necessary, contact sender by phone. WHEN IN DOUBT, THROW IT OUT!

Minerva,

Hello, and thank you for hosting tonight's community meeting about the proposed development project at 825 41st Ave NE. I am wondering if you could get me the recording, as my husband had to miss it and I missed most of the second half putting my kids to bed.

Thanks very much,
Amy Waller

Alicia Apanah

From: Minerva Hark
Sent: Thursday, April 22, 2021 11:10 AM
To: 'stephanie umolac'
Subject: RE: zoom meeting Wed.

Good Morning Stephanie,

Thank you for attending last night's meeting and providing your questions and comments. Please see below as I answer your remaining questions to the best of my abilities:

- The following appointed/elected City Officials that will be making decisions regarding this proposed project live within one mile of the project site:
 - Stan Hoium (Planning Commissioner)
 - Rob Fiorendino (Planning Commissioner)
 - John Murzyn Jr. (City Council Member)
 - Kt Jacobs (City Council Member)
 - Connie Buesgens (City Council Member)
- As discussed last night, the proposed project would help the City resolve some current drainage issues.
- In regards to current vacancy rates of multi-family developments in Columbia Heights, I've extracted the following from our 2040 Comprehensive Plan:

Multi-Family Market

Examining the multi-family market metrics provided by CoStar and highlighted in Table 2-16 reveals that multi-family vacancy rates in Columbia Heights are at a 10-year low. The rising lease rates being observed in Columbia Heights can be partially explained by lower vacancies as well as a national trend of increasing demand for multi-family units and the conveniences they can provide for mobile populations and older populations. An increase in the median gross rent paid by Columbia Heights residents is also reflected in the US census as displayed in the figure below. As illustrated in the "Year Structure Built" figure earlier, there are various aging multi-family buildings in the city. These units, if well maintained, can be a source of naturally occurring affordable housing.

TABLE 2-16. MULTI-FAMILY MARKET

	Columbia Heights			CH/Fridley/NB/St Anthony		
	Total SF	Vacancy % Total	Avg Rent/SF	Total SF	Vacancy % Total	Avg Rent/SF
2007 Q4	1,465	6.1%	\$0.97	9,756	6.3%	\$0.96
2008 Q4	1,465	5.7%	\$0.98	9,756	5.9%	\$0.98
2009 Q4	1,465	6.1%	\$0.96	9,756	6.4%	\$0.95
2010 Q4	1,465	5.6%	\$0.96	9,756	5.7%	\$0.96
2011 Q4	1,465	5.0%	\$0.96	9,756	5.3%	\$0.96
2012 Q4	1,465	4.4%	\$0.98	9,880	4.8%	\$0.99
2013 Q4	1,465	4.6%	\$0.97	9,880	4.2%	\$1.01
2014 Q4	1,465	4.3%	\$1.00	9,880	3.9%	\$1.03
2015 Q4	1,465	4.1%	\$1.02	10,049	3.6%	\$1.08
2016 Q4	1,465	3.2%	\$1.05	10,150	2.9%	\$1.11

○

Please let me know if you have any further questions I can answer at this time.

Thank you,



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590 40th Avenue NE | Columbia Heights, MN 55421
mhark@columbiaheightsmn.gov

Direct: (763) 706-3673
Main: (763) 706-3670

From: stephanie umolac [<mailto:sumolac@hotmail.com>]
Sent: Wednesday, April 21, 2021 7:02 PM
To: Minerva Hark
Subject: Re: zoom meeting Wed.

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Hi Minerva,

How many City members, who made this decision, live within a mile of this project? How is the city solving long term drainage problems? What is the current vacancy rate in the projects that are currently finished in the city?

Thanks,
Stephanie

From: Minerva Hark
Sent: Monday, April 19, 2021 4:31 PM
To: 'stephanie umolac'
Subject: RE: zoom meeting Wed.

Hello Stephanie,

Thank you for your email. Please see Wednesday's Zoom meeting information below:

Join Zoom Meeting
<https://us02web.zoom.us/j/84902902117?pwd=NkxiL1hOR0U5bWpyRUtyTXNvamVmUT09>
Meeting ID: 849 0290 2117
Passcode: 856737

To call in, dial :
+1 312 626 6799 US
Meeting ID: 849 0290 2117
Passcode: 856737

This meeting will be held for the applicant to present their project to community, take in any feedback/input, and answer any questions that the community might have. No official actions will occur at this meeting. It is informative in nature and open for comments and questions. On May 4th, the project will be heard by the Planning Commission, who will make recommendations to the City Council. City Council will deliberate this project on May 10th and May 24th at their City Council Meetings.

If you have any further questions on this project, please let me know.

Kind Regards,



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mhark@columbiaheightsmn.gov

Direct: (763) 706-3673
Main: (763) 706-3670

From: stephanie umolac [<mailto:sumolac@hotmail.com>]
Sent: Monday, April 19, 2021 2:17 PM
To: Minerva Hark
Subject: zoom meeting Wed.

This message originated from outside the City of Columbia Heights email system. Use caution when clicking hyperlinks, downloading pictures or opening attachments. If necessary, contact sender by phone. WHEN IN DOUBT, THROW IT OUT!

Hi Minerva,

I am looking for the access code for the Zoom meeting in regards to the development behind the police station. Is there any way to stop or alter the plans at this point? I called and left a voice mail also. You can either call the home phone 763/706-0751 or email the information.

Thanks,
Stephanie

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AGENDA SECTION	ITEMS FOR CONSIDERATION
MEETING DATE	MAY 10, 2021

ITEM:	Annual declaration that the City of Columbia Heights does NOT waive the monetary limits on the Municipal Tort Liability under Minnesota Statutes, Section 466.04.										
DEPARTMENT: Finance		BY/DATE: Joseph Kloiber, Finance Director/ May 10, 2021									
<p>CITY STRATEGY: <i>(please indicate areas that apply by adding a bold "X" in front of the selected text below)</i></p> <table> <tr> <td><input type="checkbox"/> Safe Community</td> <td><input type="checkbox"/> Diverse, Welcoming "Small-Town" Feel</td> </tr> <tr> <td><input checked="" type="checkbox"/> Economic Strength</td> <td><input type="checkbox"/> Excellent Housing/Neighborhoods</td> </tr> <tr> <td><input type="checkbox"/> Equity and Affordability</td> <td><input type="checkbox"/> Strong Infrastructure/Public Services</td> </tr> <tr> <td><input type="checkbox"/> Opportunities for Play and Learning</td> <td><input type="checkbox"/> Engaged, Multi-Generational, Multi-Cultural Population</td> </tr> </table>				<input type="checkbox"/> Safe Community	<input type="checkbox"/> Diverse, Welcoming "Small-Town" Feel	<input checked="" type="checkbox"/> Economic Strength	<input type="checkbox"/> Excellent Housing/Neighborhoods	<input type="checkbox"/> Equity and Affordability	<input type="checkbox"/> Strong Infrastructure/Public Services	<input type="checkbox"/> Opportunities for Play and Learning	<input type="checkbox"/> Engaged, Multi-Generational, Multi-Cultural Population
<input type="checkbox"/> Safe Community	<input type="checkbox"/> Diverse, Welcoming "Small-Town" Feel										
<input checked="" type="checkbox"/> Economic Strength	<input type="checkbox"/> Excellent Housing/Neighborhoods										
<input type="checkbox"/> Equity and Affordability	<input type="checkbox"/> Strong Infrastructure/Public Services										
<input type="checkbox"/> Opportunities for Play and Learning	<input type="checkbox"/> Engaged, Multi-Generational, Multi-Cultural Population										

BACKGROUND:

The City purchases its liability insurance from the League of Minnesota Cities Insurance Trust (LMCIT). Staff is currently preparing the renewal application for the policy period June 1, 2021 through May 31, 2022. The LMCIT requires that member cities document annually whether or not they waive the tort liability limits established for municipalities by Minnesota Statutes, Section 466.04.

With certain exceptions, the City's general liability insurance provides up to \$2 million per claim and up to \$3 million in aggregate claims per year. In addition, the City carries coverage termed "excess liability" or "umbrella" coverage for up to an additional \$1 million. Minnesota Statutes Section 466.04 however, limits a city's liability for certain types of claims to less than this policy coverage. If the City does not waive these lower limits provided by statute, LMCIT will only payout the (lower) statutory limit for any applicable claims.

Consequently, the LMCIT prices its liability premiums lower for Cities that do not waive the statutory limits. The City's insurance agent is aware of no MN cities that chose to waive these statutory limits for the most recent policy period. Staff estimates that the annual savings in premium costs for the City of Columbia Heights are \$15,000 by not waiving the statutory limits.

The attached information from LMCIT provides additional detail on the effects of waiving or not waiving the statutory limits under different scenarios.

RECOMMENDED MOTION(S):
MOTION: Move to declare that the City of Columbia Heights does NOT waive the monetary limits on municipal tort liability under Minnesota Statutes, section 466.04.

ATTACHMENT(S):

LMCIT Coverage Waiver Form



LIABILITY COVERAGE – WAIVER FORM

Members who obtain liability coverage through the League of Minnesota Cities Insurance Trust (LMCIT) must complete and return this form to LMCIT before the member's effective date of coverage. Return completed form to your underwriter or email to psstech@lmc.org.

The decision to waive or not waive the statutory tort limits must be made annually by the member's governing body, in consultation with its attorney if necessary.

Members who obtain liability coverage from LMCIT must decide whether to waive the statutory tort liability limits to the extent of the coverage purchased. The decision has the following effects:

- *If the member does not waive the statutory tort limits, an individual claimant could recover no more than \$500,000 on any claim to which the statutory tort limits apply. The total all claimants could recover for a single occurrence to which the statutory tort limits apply would be limited to \$1,500,000. These statutory tort limits would apply regardless of whether the member purchases the optional LMCIT excess liability coverage.*
- *If the member waives the statutory tort limits and does not purchase excess liability coverage, a single claimant could recover up to \$2,000,000 for a single occurrence (under the waive option, the tort cap liability limits are only waived to the extent of the member's liability coverage limits, and the LMCIT per occurrence limit is \$2,000,000). The total all claimants could recover for a single occurrence to which the statutory tort limits apply would also be limited to \$2,000,000, regardless of the number of claimants.*
- *If the member waives the statutory tort limits and purchases excess liability coverage, a single claimant could potentially recover an amount up to the limit of the coverage purchased. The total all claimants could recover for a single occurrence to which the statutory tort limits apply would also be limited to the amount of coverage purchased, regardless of the number of claimants.*

Claims to which the statutory municipal tort limits do not apply are not affected by this decision.

LMCIT Member Name: _____

Check one:

☐ The member **DOES NOT WAIVE** the monetary limits on municipal tort liability established by [Minn. Stat. § 466.04](#).

☐ The member **WAIVES** the monetary limits on municipal tort liability established by [Minn. Stat. § 466.04](#), to the extent of the limits of the liability coverage obtained from LMCIT.

Date of member's governing body meeting: _____

Signature: _____ Position: _____