



**AGENDA
CITY OF CEDAR FALLS, IOWA
PLANNING AND ZONING COMMISSION MEETING
WEDNESDAY, SEPTEMBER 09, 2020
5:30 PM AT CITY HALL VIA VIDEO CONFERENCE**

To protect against the spread of the COVID-19, the meeting will be held via Videoconference. The public may access/participate in the meeting in the following ways:

- a) By dialing the phone number +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782 and when prompted, enter the meeting ID (access code) 886 2008 9534.
- b) iPhone one-tap: +13126266799,,88620089534# or +19292056099,,88620089534#
- c) Join via smartphone or computer using this link: <https://us02web.zoom.us/j/88620089534>.
- d) View the live stream on Channel 15 YouTube using this link: <https://www.youtube.com/channel/UCCzeig5nIS-dIEYisqah1uQ> (view only).
- e) Watch on Cedar Falls Cable Channel 15 (view only).

To request to speak when allowed on the agenda, participants must click "Raise Hand" if connected by smartphone or computer, or press *9 if connected by telephone. All participants will be muted by the presiding officer when not actually speaking.

Call to Order and Roll Call

Approval of Minutes

1. Planning and Zoning Commission Minutes of August 26, 2020.

Public Comments

Old Business

New Business

2. **Central Business District Overlay Design Review – Façade Review for Blue Room Lounge (DR20-004)**
Location: 201 E Main Street
Applicant: Modern Design Architects
Previous discussion: None
Recommendation: *Discuss and recommend approval*
P&Z Action: *Discuss and make a recommendation to City Council*
3. **Site Plan Review – New Cedar Falls High School (SP 20-007)**
Location: 69.6 acre parcel at North of W.27th Street and West of PE Center Drive
Applicant: Cedar Falls Community School District/ Brian Sanderman, INVISION Architects.
Previous discussion: None
Recommendation: *Discussion*
P&Z Action: *Discussion and continue to the next meeting*
4. **Land Use Map Amendment (LUMA) & Rezoning – LUMA from "Office and Business Park" to "Planned Development" (LU20-003); Rezoning from A-1 Agricultural District and R-1 Residential District to MU Mixed Use Residential District (RZ20-002).**
Location: 15 acre parcel, 500 feet north of Huntington Road along the west side of Cedar Heights Drive
Applicant: Oster Family Limited Partnership

Previous discussion: None

Recommendation: *Introduction and discussion*

P&Z Action: *Discussion and continue to a future meeting*

Commission Updates

Adjournment

Reminders:

- * September 23 and October 14 - Planning & Zoning Commission Meetings
- * September 21 and October 5 - City Council Meetings

**Cedar Falls Planning and Zoning Commission
Regular Meeting
August 26, 2020
Via Videoconference
Cedar Falls, Iowa**

MINUTES

The Cedar Falls Planning and Zoning Commission met in regular session on August 26, 2020 at 5:30 p.m. via videoconference due to precautions necessary to prevent the spread of the COVID-19 virus. The following Commission members were present: Hartley, Holst, Larson, Leeper, Lynch, Prideaux, Saul and Schrad. Adkins was absent. Stephanie Houk Sheetz, Director of Community Development and Chris Sevy, Planner I, were also present.

- 1.) Chair Holst noted the Minutes from the August 12, 2020 regular meeting are presented. Mr. Hartley made a motion to approve the Minutes as presented. Ms. Lynch seconded the motion. The motion was approved unanimously with 8 ayes (Hartley, Holst, Larson, Leeper, Lynch, Prideaux, Saul and Schrad), and 0 nays.
- 2.) The first item of business was a text amendment to the Subdivision Code Division 3 Final Plats. Chair Holst introduced the item and Ms. Houk Sheetz provided background information. She explained that the item was considered at the last meeting and gave a brief refresher on the previous discussion, reiterating the purpose of the code and the platting process for preliminary and final plats. She also discussed the issues with the current language and process and provided an example situation. Ms. Houk Sheetz brought forward potential solutions for discussion with the Commission, and displayed the section for consideration at this time (Section 20-100).

Mr. Larson stated that he recalled that samples from other similar communities were requested for the Commission to look over. He moved to table the item until those samples are provided. Ms. Sheetz stated that she can speak to the subject or the motion could go forward. Ms. Saul seconded the motion to table the discussion.

Ms. Sheetz explained that a planner did reach out to several Iowa communities (Ames, Urbandale, Ankeny, Sioux City, Bettendorf and Council Bluffs) and provided the information that was received. While none of the communities have specific language regarding the phasing of a final plat, Ames does have language requiring commercial, industrial and multi-family subdivision to do an integrate site plan with a development agreement. Urbandale requires phasing plans for preliminary plans, Sioux City is updating its subdivision regulations to require phasing plans, but there is no specific language regarding timing in either city. The majority of the cities do use development agreements when critical infrastructure is involved to insure completion, but it is done on a case-by-case basis. Council Bluffs has no requirement and tries to follow the practices of Omaha to make development easier for the developers who serve the Omaha area. Bettendorf and Iowa City were the most stringent regarding phasing and development of critical infrastructure. There appears to be a variety of ways that communities handle such development.

Ms. Saul stated that she was concerned that the Commission asked for the

information to be supplied so that they can read it before the meeting and didn't receive it. She also asked what caused the problems in the examples that were presented (i.e. Prairie West). Ms. Sheetz stated that the projects were some time ago and gave information based on records she has. Mr. Larson noted his concern that a blanket approach could lead to major obstacles where developments wouldn't be viable to pursue. He also pointed out that in the private sector you would never be able to build and presume that someone else would make road connections. He feels that having a phasing proposal submitted with the preliminary plat would be helpful.

Mr. Leeper asked if the City has the discretion to tell the developer which phase should go first. Ms. Houk Sheetz stated that the City has done that in the past, although dates weren't necessarily established. Each case will be different so timing will depend on the specific development. There was further discussion regarding proposed language and definitions to be considered, as well as consequences and enforcement for timelines that are not met. Mr. Schrad stated that he would second that the item should be tabled and that he would like to see some examples from other communities.

Mr. Larson's motion to table the item until the next meeting was again brought forward. Mr. Schrad seconded the motion. The motion was approved unanimously with 8 ayes (Hartley, Holst, Larson, Leeper, Lynch, Prideaux, Saul and Schrad), and 0 nays.

- 3.) The next item for consideration by the Commission was an amendment to the zoning code text regarding adaptive re-use of vacant institutional buildings. Chair Holst introduced the item and Mr. Sevy provided background information. He discussed a case where a church has sat vacant with few options for allowed land uses, including continuing to sit vacant, sell to another church, convert to a public or parochial school or tear it down and subdivide it into residential lots. The owner was hoping to use the property to host wedding receptions, however without a religious institution it would not be allowed. He discussed research that has been done to review codes in other cities to consider different approaches. It is proposed to craft an amendment that provides alternatives that would be subject to review and approval by staff, the Commission and City Council. Mr. Sevy discussed the critical issues for consideration, including compatibility with residential neighborhoods, nuisance issues such as noise and traffic, allowing neighborhood input and any additional conditions that may need to be imposed. He identified appropriate alternative uses for consideration, including: hospitality-oriented uses, conversion to a multi-unit dwelling, community services, specialized educational facilities and professional offices. Mr. Sevy also discussed factors to consider in the neighborhood context. Staff recommends adding a conditional use process to the zoning ordinance, review and discussion of the proposal and setting a date for public hearing at the September 9 meeting.

Ms. Saul felt that a lot of thought was put into the item and that it would be beneficial. Mr. Holst also feels it is a good idea and clarified that it will be considered for all districts. Mr. Schrad asked if the tax base would change. Ms. Houk Sheetz clarified that it could, depending on the proposed use. Ms. Prideaux also feels it would be a good idea and would like to see the wording in other communities. Ms. Prideaux asked about the historical aspects of the building and whether that would be considered. Mr. Leeper likes the flexibility that this would give the commission.

Ms. Saul made a motion to approve the recommendation to set a date for public hearing. Mr. Leeper seconded the motion. The motion was approved unanimously with 8 ayes (Hartley, Holst, Larson, Leeper, Lynch, Prideaux, Saul and Schrad), and 0 nays.

- 4.) As there were no further comments, Ms. Lynch made a motion to adjourn. Mr. Hartley seconded the motion. The motion was approved unanimously with 8 ayes (Hartley, Holst, Larson, Leeper, Lynch, Prideaux, Saul and Schrad), and 0 nays.

The meeting adjourned at 6:27 p.m.

Respectfully submitted,



Stephanie Houk Sheetz
Director of Community Development



Joanne Goodrich
Administrative Assistant



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
 220 Clay Street
 Cedar Falls, Iowa 50613
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MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Jaydevsinh Atodaria (JD), Planner I
DATE: September 2, 2020
SUBJECT: Façade review of property in the Central Business District Overlay

REQUEST: Restoring the existing façade as per architectural historic significance.

PETITIONER: Modern Design Architects

LOCATION: 201 Main Street, Blue Room Lounge (Case # DR 20-004)

PROPOSAL

The architecture firm Modern Design Architects on behalf of their client Blue Room Lounge, owner of 201 Main Street is requesting a design review for renovation activity at 201 Main Street in the Central Business District (CBD) Overlay Zoning District.

BACKGROUND

The subject property is a two-story building built in year 1890 and is located within Cedar Falls Downtown Historic District, which was listed on the National Register of Historic Places in 2017. The National Bank Building was the original building that stood here before the Blue Room Lounge took over in 1958. The Blue Room Lounge is located on the southwest corner of Main and W. 2nd Streets. Blue Room Lounge is a two story commercial building with primary elevations facing Main Street and W. 2nd Street. Buildings overall visual character reflects 1958 renovation that stripped the 1876 Italianate elements from the building. The property is located in the 200 block of Main Street with entrance facing Main Street, (see image to the right).





Today, the exterior reflects 1972 alterations including a wood sheathing with wood shingle pent roof that runs the full length of the first floor, North elevation. Whereas, the storefront features a corner entrance with two medium sized display windows facing the Main Street. Also a vintage neon “Orange Crush/Blue Room Lounge” sign projecting over public sidewalk along the Main Street is another existing feature of this building. The petitioner proposes to restore/repair both existing façades on the North and East faces of the building, remove the existing mansard roof/awning projecting over public sidewalk along W. 2nd Street at 201 Main Street. All the renovation/restoration work will be carried out through grant from State Historic Tax Credit Program and the work will be done in conformance with the State Historic Tax Credit Program which will revive the building with 1950’s Architectural style.



The subject property is located within the C-3 Commercial District Zone (Section 26-172) and is also subject to the Central Business District Overlay District regulations. (Section 26-189). In this zone, any “substantial improvement” to an exterior façade, including removing exterior windows and the addition of new awnings, requires design review by the Planning and Zoning Commission and City Council. A substantial improvement to properties in the Central Business District Overlay is defined in Section 26-189 (f) and reads as follows:

“Substantial improvement” includes any new building construction within the overlay district or any renovation of an existing structure that involves any modification of the exterior appearance of the structure by virtue of adding or removing exterior windows or doors or altering the color or exterior materials of existing walls. All facade improvements, changes, alterations, modifications or replacement of existing facade materials will be considered a substantial improvement. Included in this definition are any new, modified or replacement awning structures or similar material extensions over the public sidewalk area. A substantial improvement also includes any increase or decrease in existing building height and/or alteration of the existing roof pitch or appearance.”

In this case, the proposal is to restore/repair North and East façade of the building at 201 Main Street, remove the existing mansard roof/awning project over public sidewalk along W 2nd Street and retain the existing projecting sign over the public sidewalk along Main Street. The Planning and Zoning Commission and City Council must review and approve the request as per the Central Business District Overlay Zoning District “Substantial Improvement” clause (Section 26-189(f))

ANALYSIS

The following is an evaluation of the proposed change according to the review standards in the Central Business District Overlay Zone:

1. Proportion: This criterion takes into account the relationship of the proposed horizontal

elements (such as cornice lines, awnings and canopies) and vertical elements (such as windows and doors) with the elements of adjacent buildings. Proposed alteration includes removing wooden sheathing and the wood shingle pent roof that runs the full length of the main floor along the north and west façade. This plan is to repair and revive the windows and worn out bricks along both the north and west facades. This proposed alteration would allow the building to resemble the one in year 1958. The proportion of the building will be more rhythmic with brick façade complemented with placement of vertical windows. The proportion of building along the Main Street will remain unaltered, except for a few repairs/replacement of worn out bricks. The proposed alteration of the subject property will be done as per State Historical Preservation Office guidelines and will be uniform with the surrounding buildings. **Criterion is met.**

2. Roof shape, pitch and direction: The roof of this building is not being structurally altered. **This criterion does not apply for this review.**
3. Pattern: The pattern of solid surfaces and openings needs to be considered in the alteration of a building. Elements of the building will be restored as per the original architecture of 1958. The vertical wooden siding along both north and west facades of the subject property, spanned across the main floor area will be removed and bricks and existing windows underneath will be restored and will be visible as the exterior material to viewers. All the bricks will be restored/ repaired as per the brick pattern that existed on the 1958 building façade. The pattern along the east façade facing Main Street will remain same except for a few repairs/replacement of worn out bricks. Proposed alteration would make the building look more uniform with surrounding context. **Criterion is met.**
4. Building Composition: The proposed design must provide visual interest and visually break up long building walls. The existing building composition is being altered by removal of wood sheathing with a projecting wood shingle pent roof that runs the full length of the first floor along the north and west façades. This removal will allow the building façade to take its historical architectural form of the 1950s, making the building composition more balanced and uniform with surrounding buildings. **Criterion is met.**
5. Windows and transparencies: The CBD overlay zoning district requires that any alteration to the size, proportion, and type of windows on a building be compatible with existing neighboring buildings. The Existing building composition is not being altered along the Main street façade but the existing building composition is being altered on the main level façade along W 2nd Street as per the original building design in 1958. Removal of wood sheathing with projecting wood shingle pent roof along north and west façade on main level will expose the view of brick patterns and windows currently covered underneath it. This alteration will allow the building to look more harmonious as it looked in 1958. Proposed alterations will not involve any new placement of windows along the facades and will ensure that the windows are transparent as per State Historic Preservation Office guidelines. **Criterion is met.**
6. Materials and textures: All material alterations to a building in the CBD overlay zoning district are required to be similar to or compatible with existing materials and textures of buildings in the immediate area. The applicant is proposing to repair/ replace worn out bricks over the north, west and east building facades of the subject property. The proposed alteration project will not include any new materials or textures being added on the building. Rather, the proposal would ensure that the building façade looks more uniform and aligns with the architecture style of neighboring buildings. **Criterion is met.**

7. Color: The proposal restores and repair existing bricks. The color tones of the bricks will more or less be the same and will look more uniform than the existing buildings which have different color tones of exterior bricks. The window frames will be painted (if needed) as per the existing color. No new exterior paint colors will be used for the alteration. The proposed colors along the facades of 201 Main Street will be compatible with the existing colors of the district. **Criterion is met.**
8. Architectural features: Architectural features including but not limited to cornices, entablatures, doors, windows, shutters, fanlights and other elements prevailing in the area shall be considered in the construction or alteration of a building. The existing building composition is being altered to restore the architectural features of the building from the 1950s. This proposed alteration will revive not only the building façades but will also revive lost architectural features from the 1950s. **Criterion is met.**
9. Building entries: The entries into this building are not changing. **This criterion does not apply for this review.**
10. Exterior mural wall drawings, painted artwork, exterior painting: No mural is being proposed. **This criterion does not apply for this review.**
11. Signage: The applicant wishes to keep the original vintage neon “Orange Crush/Blue Room Lounge” sign projecting over public the sidewalk along Main Street as it is one of the historical features of this building. No new signage is being proposed at this time. **Criterion is met.**

The proposed alterations for the subject property at 201 Main Street will be done as per State Historical Preservation Office guidelines as the applicant has received a grant from the State Historic Tax Credit Program to carry out alterations and revive the building as per the 1950s architectural style. Alterations including removal of wood sheathing and the projecting wood shingle pent roof along the north and west façades on the main level, repair/revive the worn out bricks along north, west and east façades, and retain the existing vintage neon projecting sign along Main Street meet city code. If approved by the Planning and Zoning Commission, this item will be placed on the next regularly scheduled City Council meeting. If the City Council approves this request, the necessary permit will be issued for carrying out the alteration work.

TECHNICAL COMMENTS

No comments.

STAFF RECOMMENDATION

The Community Development Department recommends approval of the submitted proposal to restore the facades at 201 Main Street.

PLANNING & ZONING COMMISSION

Discussion/Vote

09/09/2020



Planning & Zoning Commission
City of Cedar Falls
Cedar Falls, IA

RE: Blue Room Lounge

P&Z Commission,

Modern Design Architects of Janesville, Iowa is working with the ownership of the Blue Room Lounge on 201 E. Main St. Cedar Falls. As the building currently sits, the exterior facades on the North and East sides are in considerable states of disrepair. The plan for this project is to remove the existing mansard roof/awning on the North side of the building, along with the wood siding. The masonry will be either replaced or repaired. New aluminum storefront will take the place of the existing on the NE corner and East side. The original window openings on the first-floor level (currently covered by the wood siding) will have new aluminum clad wood windows installed in them. The "Orange Crush" sign will remain. Work is intended to start this fall.

The overall appearance of the exterior will retain the "streamlined" and "modernized" look that the building had in the 1950's. This is due to a previous "architectural historian" declaring that the period of significance was the 1950's and not the late 1800's/early 1900's like the rest of downtown. The State of Iowa SHPO office had already accepted her declaration of significance and despite multiple attempts to change the period of significance from 1950 to 1900, the State has stayed steadfast in their decision.

The owner's (Howard Allen) representative is Tish Pines of Metro Rentals, 2117 Falls Ave. Waterloo, IA 50701. (319-236-1136)

Jim Trunnell, AIA
Modern Design Architects
201 Main St.
Janesville, IA 50647
319-987-2101

BLUEROOM LOUNGE HISTORIC RENOVATION

8th Ave SW, Waverly, IA 50677



LOCATION MAP
NOT TO SCALE

DRAWING INDEX

| | |
|------|--------------------------|
| CVR | Cover Sheet / Code Sheet |
| A1.0 | Site Plan / Roof Plan |
| A2.0 | Floor Plans |
| A2.1 | Details |
| A2.2 | Building Elevations |

NOTE:
GENERAL CONTRACTOR AND ALL SUBCONTRACTORS RESPONSIBLE FOR VERIFYING AND COORDINATING WORK ON ALL PAGES OF THIS DOCUMENT. ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS DOES NOT RELIEVE ANY TRADE(S) OF RESPONSIBILITY FOR ALL ITEMS ASSOCIATED WITH THEIR SCOPE OF WORK.

DISCREPANCIES SHOULD BE BROUGHT TO THE ARCHITECTS ATTENTION BEFORE BID. ANY ITEMS NOT BROUGHT TO THE ARCHITECTS ATTENTION BEFORE BID DATE ARE ASSUMED TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

GENERAL CODE INFORMATION

CONSTRUCTION TYPE: EXISTING

ALLOWABLE HEIGHT, STORIES, AREA CHECK:
EXISTING

OCCUPANT LOAD:
EXISTING

SPRINKLED: NOT REQUIRED ALARMED: NOT REQUIRED

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JAMES E. TRUNNELL, A.I.A.
MY REGISTRATION RENEWAL DATE IS 6/30/2021
PAGES OR SHEETS COVERED BY THIS SEAL:
CVR, A1.0, A2.0-A2.2
DATE: 8/17/2020 IOWA REG.: 6286

ABBREVIATIONS

| | |
|-------------|-------------------------------|
| CL | CENTERLINE |
| A.B. | ANCHOR BOLT |
| ADJ. | ADJUSTABLE |
| ALUM. | ALUMINUM |
| A.C.T. | ACOUSTICAL CEILING TILE |
| AUTO. | AUTOMATIC |
| BC. | BOTTOM OF CURB |
| BLK. | BLOCK |
| BLKG. | BLOCKING |
| BOT. | BOTTOM |
| BRG. | BEARING |
| C.H. | CEILING HEIGHT |
| C.J. | CONTROL JOINT |
| CLG. | CEILING |
| CMU | CONCRETE MASONRY UNIT |
| CONC. | CONCRETE |
| CO | CLEAN OUT |
| CONSTR. | CONSTRUCTION |
| CONT. | CONTINUOUS |
| CT. | CERAMIC TILE |
| C.J. | CONSTRUCTION JOINT |
| CW. | COLD WATER |
| DBL. | DOUBLE |
| D.F. | DRINKING FOUNTAIN |
| DIAM. | DIAMETER |
| DIM. | DIMENSION |
| DL. | DEAD LOAD |
| DN. | DOWN |
| DS. | DOWNSPOUT |
| EA. | EACH |
| EF. | EXHAUST FAN |
| E.J. | EXPANSION JOINT |
| EL. | ELEVATION |
| ELEV. | ELEVATOR |
| ELEC. | ELECTRICAL |
| EQ. | EQUAL |
| E.W. | EACH WAY |
| EXP. | EXPANSION |
| EXT. | EXTERIOR |
| F.D. | FLOOR DRAIN |
| FN. | FOUNDATION |
| F.F. | FINISH FLOOR |
| FLR. | FLOOR |
| FLOOR. | FLOURESCENT |
| F.O.C. | FACE OF CONCRETE |
| F.O.F. | FACE OF FINISH |
| F.O.M. | FACE OF MASONRY |
| F.O.S. | FACE OF STUD |
| FT. | FOOT OR FEET |
| FTG. | FOOTING |
| FURR. | FURRING |
| GA. | GAUGE |
| GALV. | GALVANIZED |
| G.B. | GRAB BAR |
| G.C. | GENERAL CONTRACT |
| GWB. | GYPSON WALL BOARD |
| GYP. | GYPSON |
| H.B. | HOSE BIB |
| H.C. | HANDICAP |
| H.M. | HOLLOW METAL |
| HORIZ. | HORIZONTAL |
| HT. | HEIGHT |
| HW. | HOT WATER |
| HVAC. | HEATING/VENTILATING/AIR COND. |
| I.D. | INSIDE DIAMETER (DIM.) |
| INSUL. | INSULATION |
| INT. | INTERIOR |
| JT. | JOINT |
| LAV. | LAVATORY |
| LH. | LEFT HAND |
| LL. | LIVE LOAD |
| MAS. | MASONRY |
| MAX. | MAXIMUM |
| MECH. | MECHANICAL |
| MFR. | MANUFACTURE |
| MIN. | MINIMUM |
| MISC. | MISCELLANEOUS |
| M.O. | MASONRY OPENING |
| MTD. | MOUNTED |
| MTL. | MATERIAL |
| N.I.C. | NOT IN CONTRACT |
| NO. OR # | NUMBER |
| NOM. | NOMINAL |
| N.T.S. | NOT TO SCALE |
| O.C. | ON CENTER |
| O.D. | OUTSIDE DIAMETER (DIM.) |
| P.C.F. | POUNDS PER CUBIC FOOT |
| P.LAM./P.L. | PLASTIC LAMINATE |
| PLYWD. | PLYWOOD |
| P.S.I. | POUNDS PER SQUARE INCH |
| Q.T. | QUARRY TILE |
| RA. | RETURN AIR |
| RAD. | RADIUS |
| R.D. | ROOF DRAIN |
| REINF. | REINFORCED |
| REQ. | REQUIRED |
| REQMTS. | REQUIREMENTS |
| REV. | REVISED |
| RH. | RIGHT HAND |
| R.O. | ROUGH OPENING |
| R.O.W. | RIGHT OF WAY |
| R.S. | ROUGH SAWN |
| RVS. | REVERSE |
| SA. | SUPPLY AIR |
| S.C. | SOLID CORE |
| SCHED. | SCHEDULE |
| S.D. | STORM DRAIN |
| SHR. | SHOWER |
| SM. | SIMILAR |
| SPEC. | SPECIFICATIONS |
| SQ. | SQUARE |
| S.S. | STORM SEWER |
| STD. | STANDARD |
| STL. | STEEL |
| STRUC. | STRUCTURE |
| SUSP. | SUSPENDED |
| T.C. | TOP OF CURB |
| T. & G. | TONGUE AND GROOVE |
| T.O.B. | TOP OF BEAM |
| T.O.F. | TOP OF FOOTING |
| T.O.M. | TOP OF MASONRY |
| T.O.P. | TOP OF PIER |
| T.O.S. | TOP OF SLAB |
| T.O.W. | TOP OF WALL |
| TYP. | TYPICAL |
| UR. | URINAL |
| VB. | VINYL BASE |
| V.C.T. | VINYL COMPOSITE TILE |
| VERT. | VERTICAL |
| VEST. | VESTIBLE |
| VT. | VINYL TILE |
| VWC. | VINYL WALLCOVERING |
| W/ | WITH |
| WC. | WATER CLOSET |
| WH. | WATER HEATER |
| WDW. | WINDOW |
| W/O | WITHOUT |
| WT. | WEIGHT |
| W.W.F. | WELDED WIRE FABRIC |

PROJECT DESCRIPTION

HISTORICAL EXTERIOR RENOVATION

OWNER

Blue Room Lounge
201 E. Main St.,
Cedar Falls, IA, 50613

ARCHITECT

MODERN DESIGN ARCHITECTS
201 MAIN STREET
P.O. BOX 418
JANESVILLE, IA 50647
PH. 319-987-2101
FAX. 319-987-2562
CONTACT:
ARCHITECT
JIM TRUNNELL
(jim.trunnell@moderniowa.com)

PLAN SYMBOLS

| | |
|--------|------------------------------------|
| 101 | DOOR / WINDOW NUMBER |
| 1 | NOTE REFERENCE |
| RNAME | ROOM NAME AND NUMBER |
| 99 | EXISTING GRADE CONTOURS |
| 99 | NEW GRADE CONTOURS |
| 99'-0" | NEW SPOT ELEVATION |
| 99'-0" | EXST. SPOT ELEVATION |
| DWG | SECTION, DETAIL, OR PLAN REFERENCE |
| SHT | DETAIL NUMBER |
| SHT | DRAWING SHEET NUMBER |
| DWG | ELEVATION REFERENCE |
| SHT | DIRECTION OF VIEW |
| SHT | ELEVATION NUMBER |
| SHT | DRAWING SHEET NUMBER |
| A | WALL TYPE |

MATERIAL LEGEND

| | |
|----------|-------------------------|
| [Symbol] | CONCRETE BLOCK |
| [Symbol] | FACE BRICK |
| [Symbol] | CONCRETE |
| [Symbol] | RIGID INSULATION |
| [Symbol] | DIMENSIONED LUMBER |
| [Symbol] | FINISHED LUMBER |
| [Symbol] | PIT RUN SAND AND GRAVEL |
| [Symbol] | METAL FRAME WALL |
| [Symbol] | BATT INSULATION |
| [Symbol] | BACKFILL EARTH |
| [Symbol] | EXISTING EARTH |
| [Symbol] | PLYWOOD |
| [Symbol] | EXPANSION JOINT |
| [Symbol] | GYPSON WALLBOARD |
| [Symbol] | ACOUSTICAL CEILING TILE |



BLUE ROOM LOUNGE HISTORIC RENOVATION

201 E Main St,
Cedar Falls, IA 50613

DRAWING ISSUE INFORMATION

ISSUE:
CONSTRUCTION DOCUMENTS
DATE: 8/18/20

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
| | | |

JOB NO: D346-20

DRAWN BY: KM

CHECKED BY: KM

PROJECT ARCHITECT: JT

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SHEET TITLE:

COVER SHEET

SHEET NO.

CVR



201 MAIN STREET
JANESVILLE, IA 50647
319-987-2101

BLUE ROOM LOUNGE HISTORIC RENOVATION

201 E Main St.
Cedar Falls, IA 50613

DRAWING ISSUE INFORMATION

ISSUE:
CONSTRUCTION DOCUMENTS

DATE:
8/18/20

| MARK | DATE | DESCRIPTION |
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JOB NO: D346-20

DRAWN BY: KM

CHECKED BY: KM

PROJECT ARCHITECT: JT

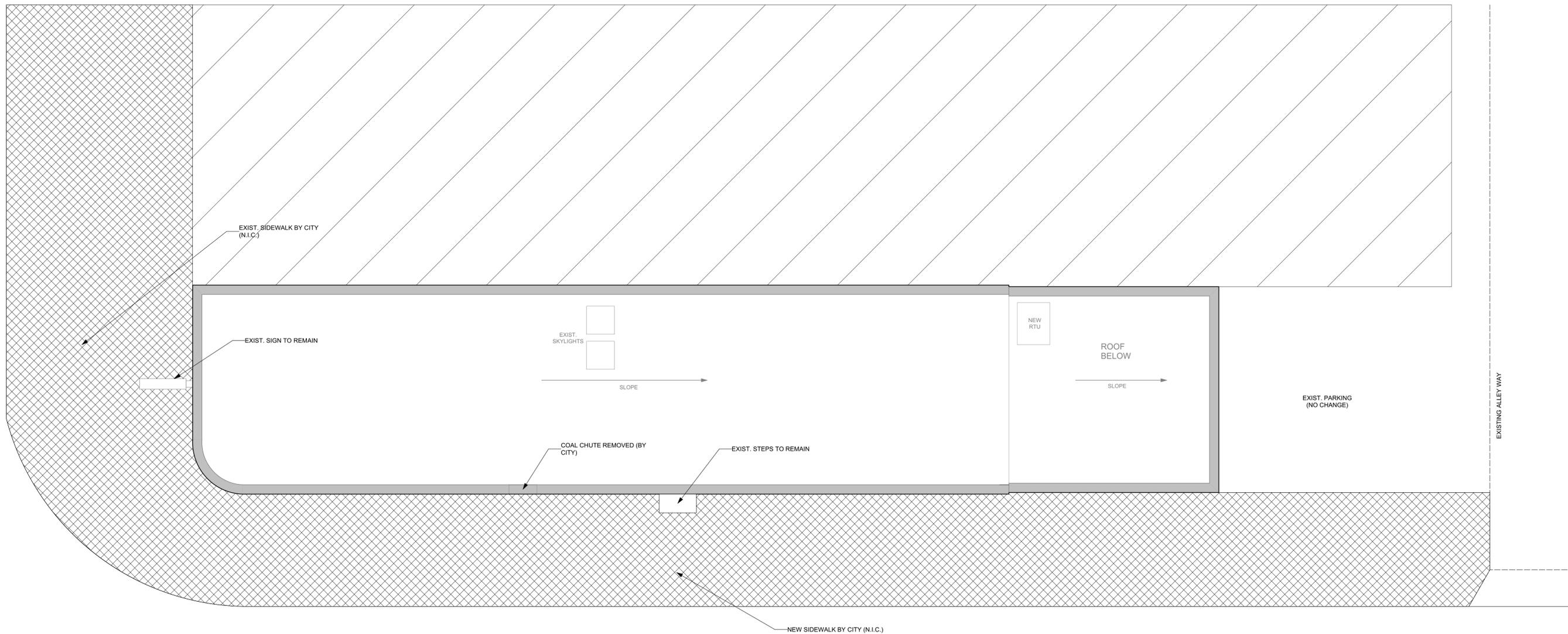
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SHEET TITLE

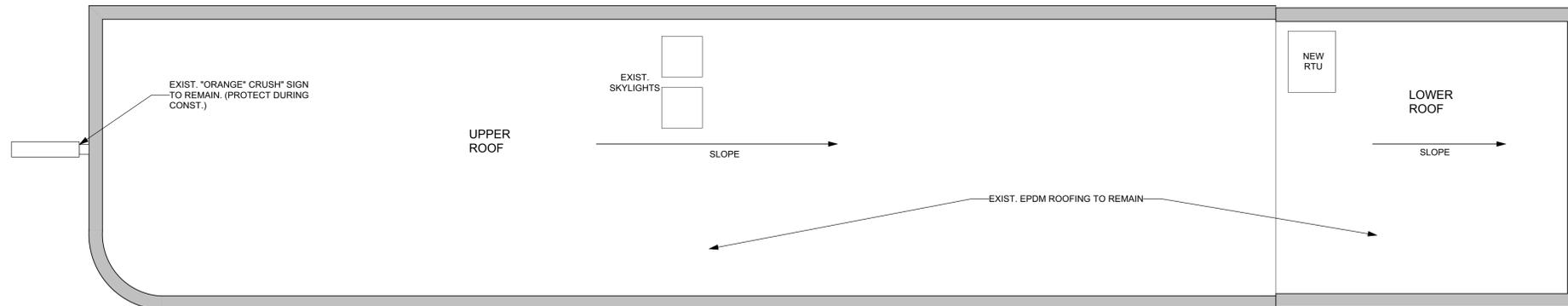
SITE PLAN /
ROOF PLAN

SHEET NO.

A1.0

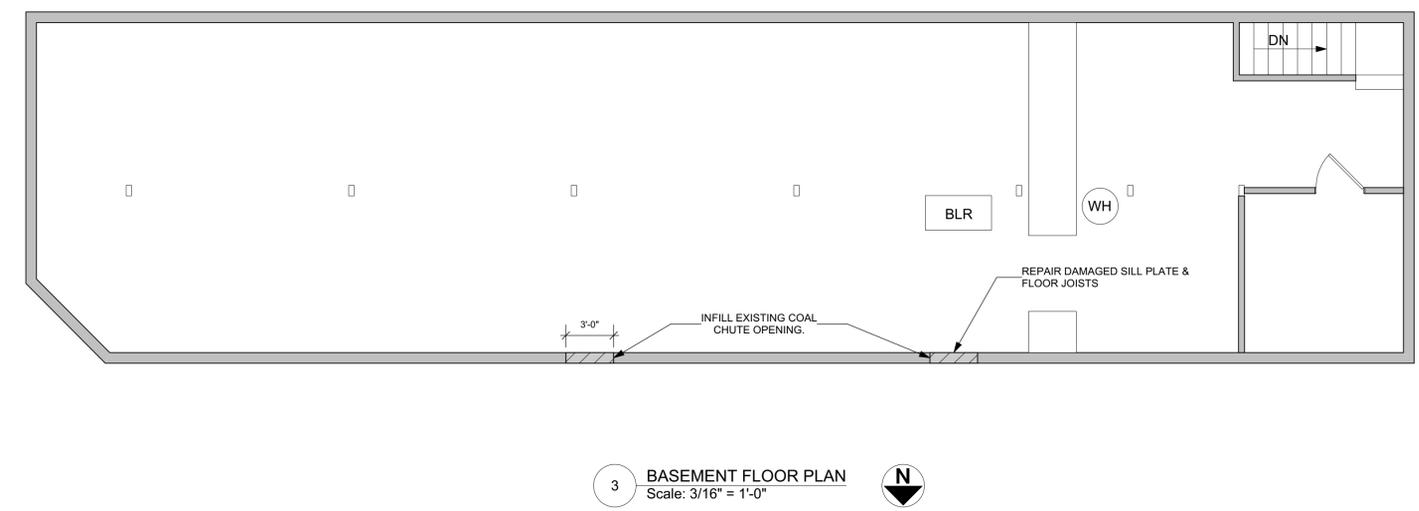
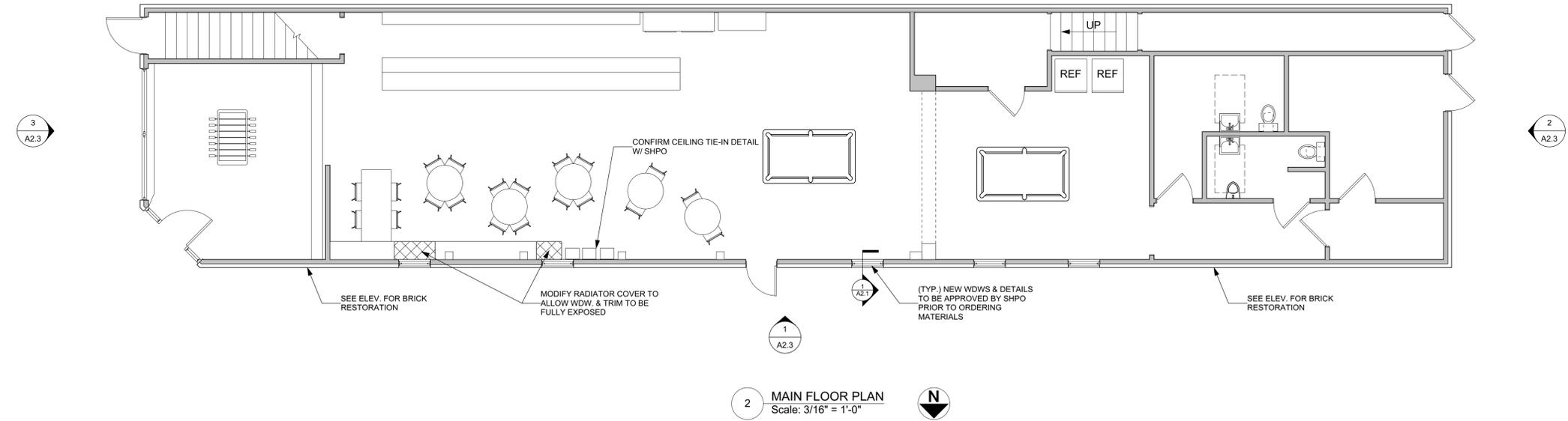
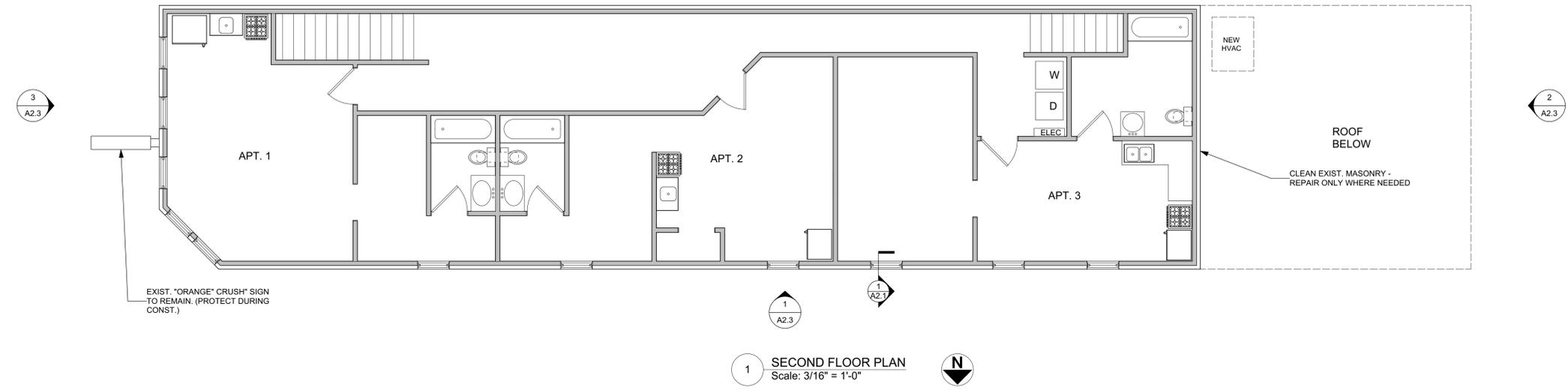


1 SITE PLAN
Scale: 3/16" = 1'-0"



2 ROOF PLAN
Scale: 3/16" = 1'-0"

BLUE ROOM LOUNGE HISTORIC RENOVATION
201 E Main St.
Cedar Falls, IA 50613



DRAWING ISSUE INFORMATION

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| ISSUE: | CONSTRUCTION DOCUMENTS |
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JOB NO: D346-20
DRAWN BY: KM
CHECKED BY: KM
PROJECT ARCHITECT: JT

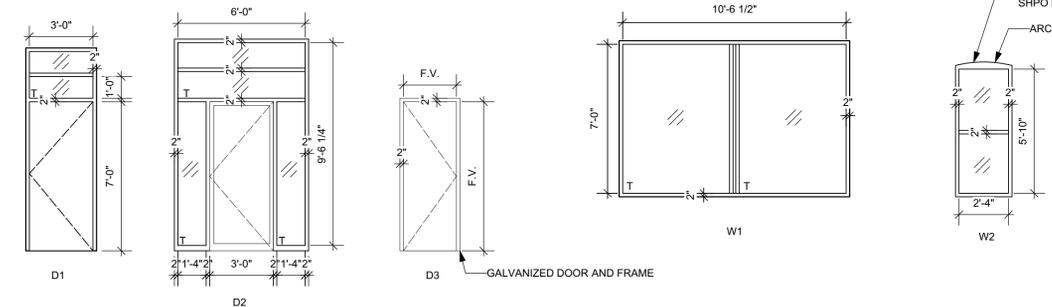
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SHEET TITLE
FLOOR PLANS

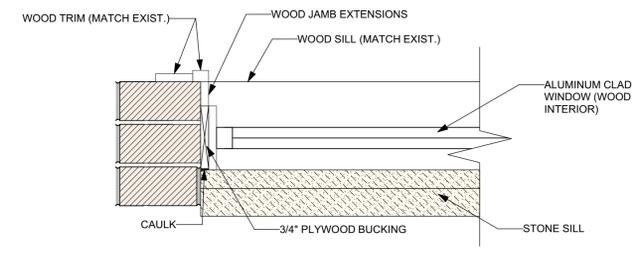
SHEET NO.
A2.0

OPENING SCHEDULE

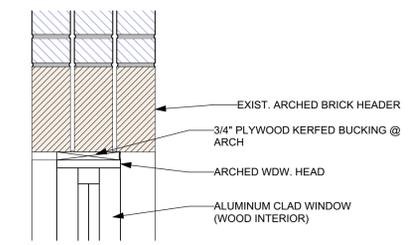
| Mark | Door | | | Frame | | | | Head Detail (This Sheet) | Jamb Detail (This Sheet) | Fire Rating | HW Set | Accessories | Comments |
|------|-------|--------|-----------|-----------|------------|------------|------------|--------------------------|--------------------------|-------------|--------|-------------|---------------------------|
| | Width | Height | Thickness | Door Type | Frame Type | Jamb Thick | Jamb Depth | | | | | | |
| 100 | 3'0" | 6'8" | 1 3/4" | D1 | ALUM | 3/4" | 4 1/2" | | | | | | ALUMINUM STOREFRONT |
| 101 | 3'0" | 6'8" | 1 3/4" | D2 | ALUM | 2" | 4 1/2" | | | | | | ALUMINUM STOREFRONT |
| 102 | 2'6" | 6'8" | 1 3/4" | GALV | GALV | 3/4" | 4 1/2" | | | | | DHW-# | FRAME AND DOOR GALVANIZED |



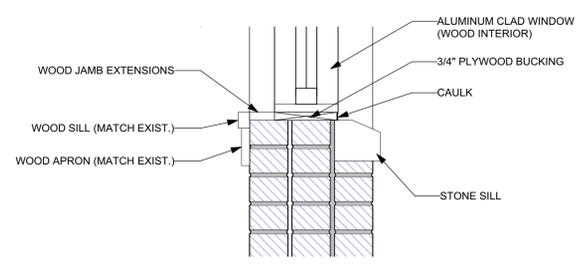
5 DOOR AND WINDOW ELEVATIONS
 Scale: 1/4" = 1'-0"



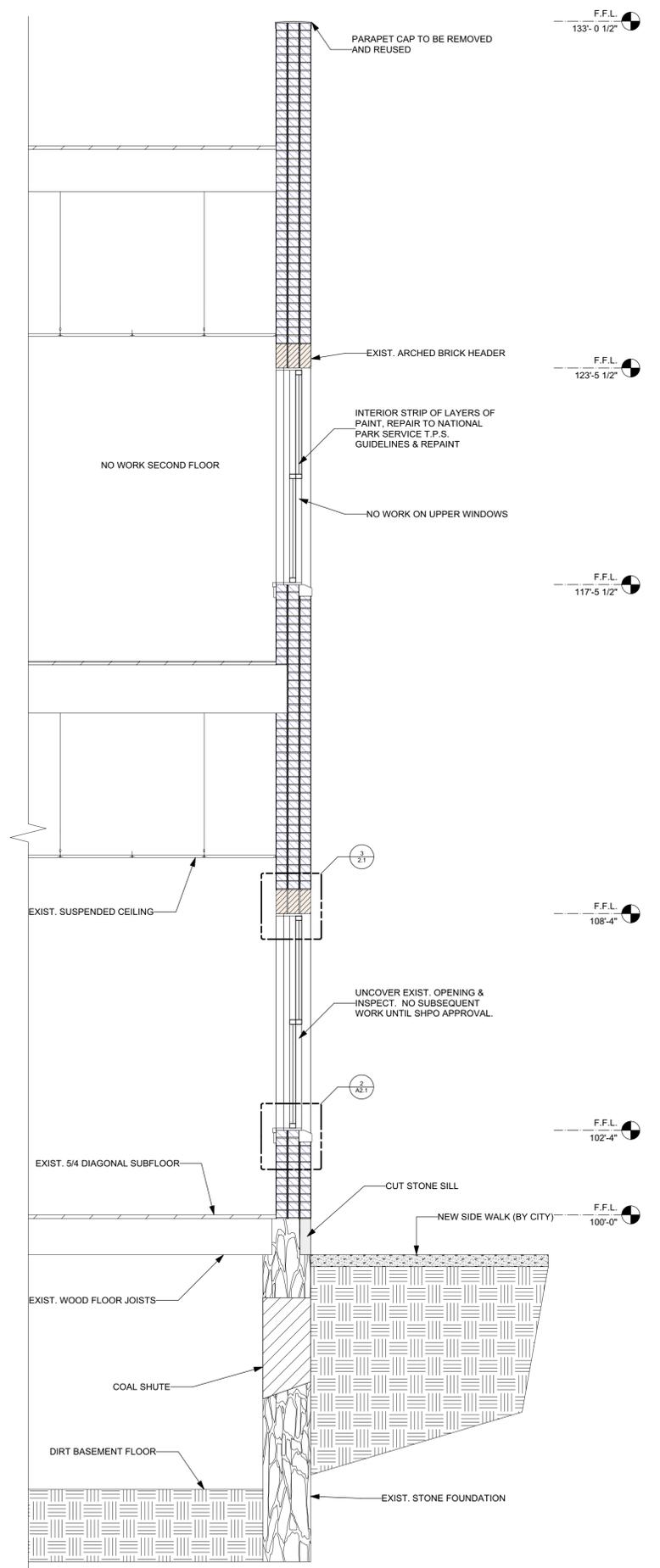
4 JAMB DETAIL
 Scale: 1 1/2" = 1'-0"



3 WINDOW HEAD DETAIL
 Scale: 1 1/2" = 1'-0"



2 SILL DETAIL
 Scale: 1 1/2" = 1'-0"



1 WALL SECTION
 Scale: 1/2" = 1'-0"

DRAWING ISSUE INFORMATION

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| JOB NO: | D346-20 |
| DRAWN BY: | KM |
| CHECKED BY: | KM |
| PROJECT ARCHITECT: | JT |

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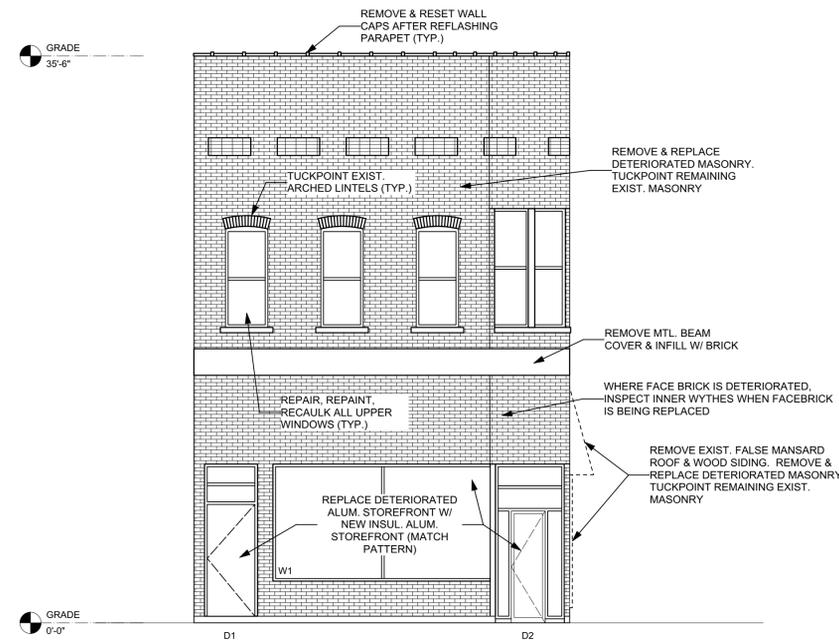
DETAILS

SHEET NO.

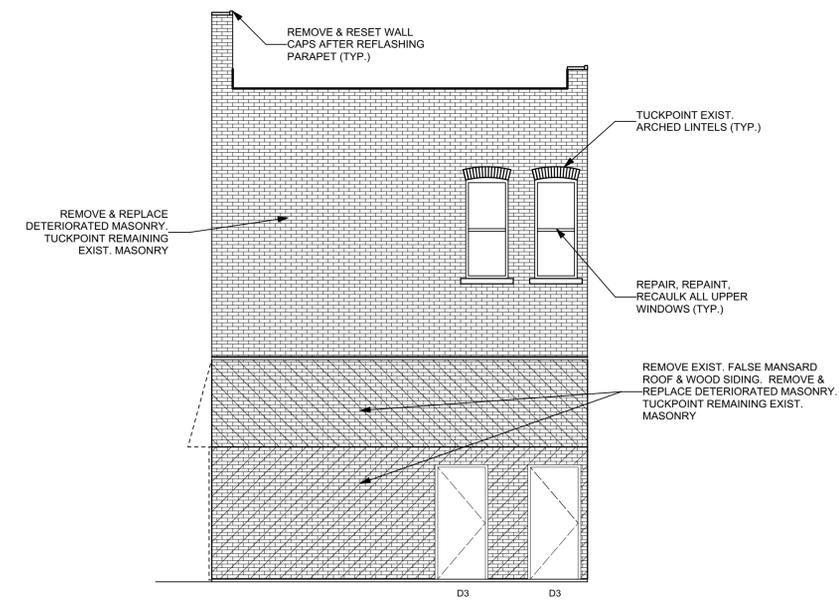
A2.1

**BLUE ROOM LOUNGE
 HISTORIC RENOVATION**

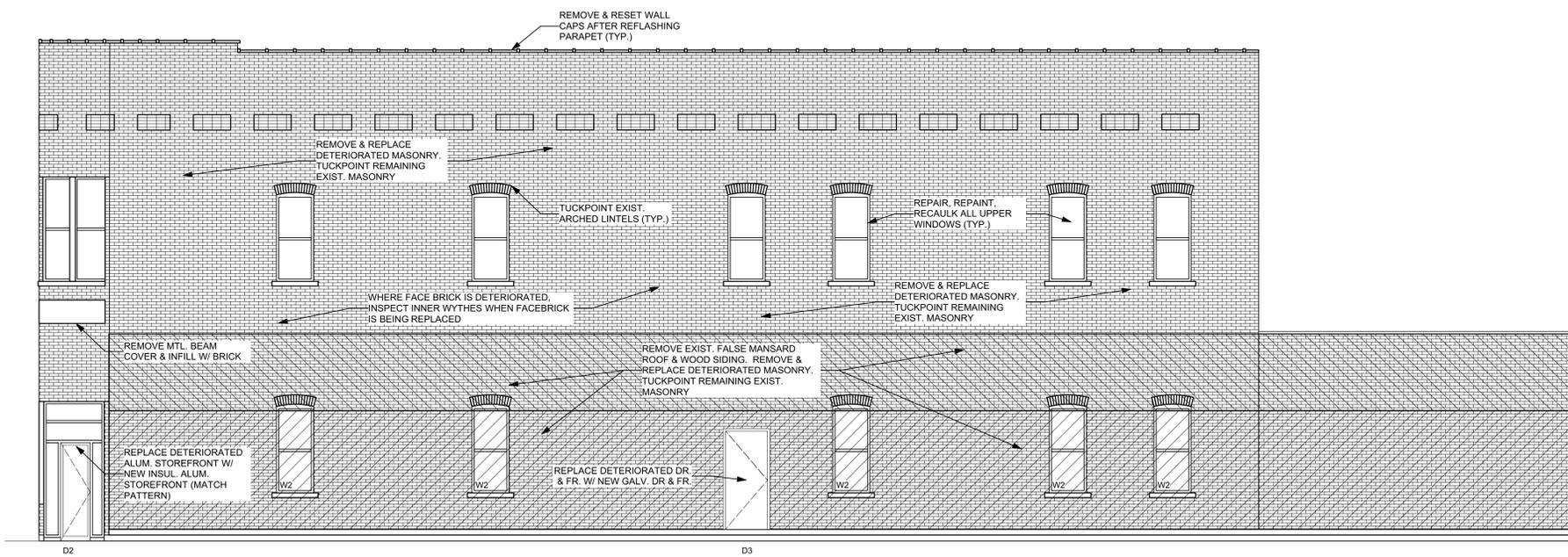
201 E Main St.
 Cedar Falls, IA 50613



3 EAST ELEVATION
 Scale: 3/16" = 1'-0"



2 WEST ELEVATION
 Scale: 3/16" = 1'-0"



1 NORTH ELEVATION
 Scale: 3/16" = 1'-0"

DRAWING ISSUE INFORMATION

ISSUE: CONSTRUCTION DOCUMENTS
 DATE: 8/18/20

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JOB NO: D346-20
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SHEET TITLE
BUILDING ELEVATIONS

SHEET NO.
A2.2



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
 220 Clay Street
 Cedar Falls, Iowa 50613
 Phone: 319-273-8600
 Fax: 319-273-8610
 www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Jaydevsinh Atodaria (JD), Planner I
DATE: September 1, 2020
SUBJECT: New Cedar Falls High School Site Plan (SP20 – 007)

REQUEST: Request to approve the New Cedar Falls High School Site Plan
 Case #SP20-007

PETITIONER: Cedar Falls Community School District / Brian Sanderman, INVISION
 Architects

LOCATION: 69.6 acre parcel at North of W. 27th Street and west of PE Center Drive

PROPOSAL

The petitioner is proposing to build a 305,000 sf high school building along with associated student, staff and visitor parking for the Cedar Falls Community School District on a 69.6 acre parcel located north of W 27th Street and west of PE Center Drive. The campus will also include a phased stadium and various athletic fields. The High School building is divided into two parts with a central courtyard. The main building sits at a higher elevation than the building to the rear. The new building will vary in height, with the auditorium and gym facilities being the tallest at about 50 feet above grade. The school district has submitted the site plan to provide additional opportunities for public review and comment from the community.

BACKGROUND

In 2017, Cedar Falls Community School District purchased a 50 acre parcel west of PE Center Drive from University of Northern Iowa, which is in the P-Public Zoning District. In 2019, the school district purchased an additional 19.6 acre parcel to the west of the 50 acre parcel from the adjacent parcel owner. With this additional purchase, Cedar Falls Community School District is proposing a new Cedar Falls High School campus on a total site of 69.6 acres. The recently purchased 19.6 acre parcel is currently being rezoned from A1 Agricultural District to P Public Zoning District and the case will have its second reading at the upcoming council meeting on September 8, 2020. This rezoning was also accompanied by amendment of Future Land Use Map of the entire site from "Medium Density Residential" and "University" to "Schools" which will also have public hearing at the upcoming council meeting.

ANALYSIS

Once the rezoning request is approved, the entire 69.6 acre parcel will be in P Public Zoning District. As per the code, the Public Zoning District Zone designation is reserved exclusively for structures and uses of land owned by the federal government, the state, the county, the city and the Cedar Falls Community School District. Although such publicly owned property is generally exempt from zoning regulations and requirements, it is expected that such governmental authorities will cooperate with the City to encourage structures and uses of public land which will be compatible with the general character of the area in which the public property is located. Since the zoning ordinance does not have any specific standards listed for public uses, this review will focus on the main aspects of the design of the site in relation to the surrounding area, and describe the traffic circulation, parking, stormwater management and other infrastructure improvements necessary to support an institutional building of this size and level of activity. This is an opportunity for the Commission's input and for public review and comment rather than the typical review for compliance with standards in the zoning code.

Use: The intent of the P Public Zoning District Zone designation is reserved exclusively for structures and uses of land owned by the federal government, the State, the County, the City and the Cedar Falls Community School District. The proposed new CF High School Campus will be classified as a public use and therefore the use of the parcel will be consistent with the zoning code. Once the amendment to zoning and the Future Land Use Map are approved by the City Council, the property will be in compliance with the City's Comprehensive Plan and zoning ordinance.

Building Location: P Public Zoning District does not have any specific regulations regarding setbacks of the building. Just for review, the proposed building is set back 597 feet from W. 27th Street, 874 feet from the west lot line, 940 feet from the east lot line and about 290 feet from the north property line. The proposed site plan indicates that the building is divided in two parts. The main building with larger building footprint sits on main level which will house auditorium, indoor gym & athletic field, administrative areas, common spaces and service areas. There is another building with smaller building footprint that will sit on lower level which will include studio spaces and faculty rooms. This building will be placed north of the main building separated by a courtyard. The site plan also shows a room for future addition of building further north of both the buildings.

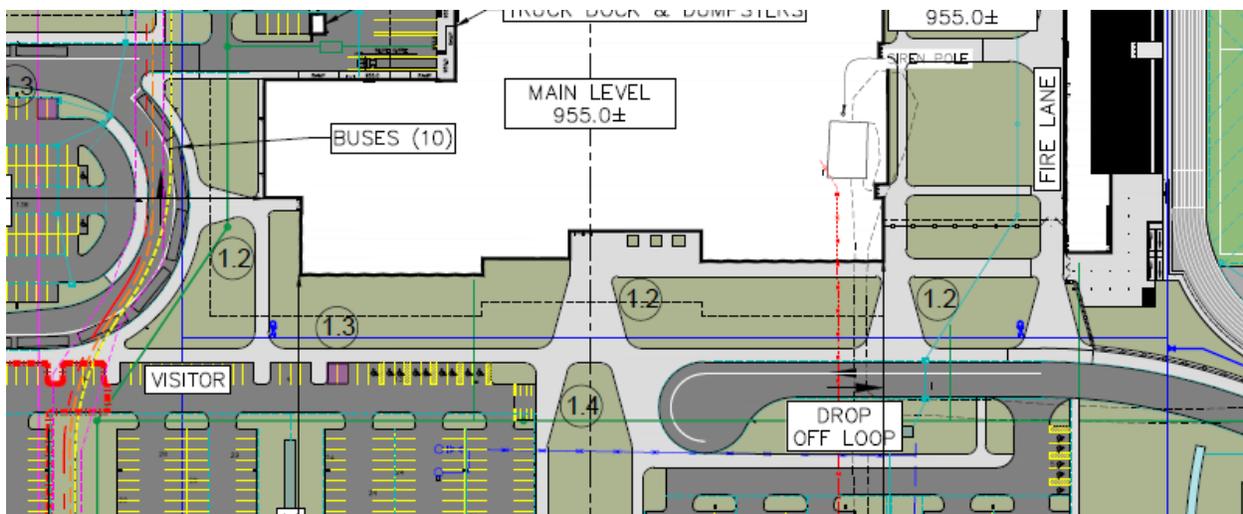
Majority of the student and visitor parking areas are located south of the proposed building and north of W 27th Street. Staff parking is located alongside southwest corner of proposed building and an additional overflow of student parking area is located east of the proposed school building. A reserved future area for parking is provided along north east corner of proposed school building as well to accommodate future parking demands.

Parking: P Public Zoning District does not have any specific regulations regarding parking requirements. Just for review, the proposed parking for the new CF High School facility is divided in three different site areas west, south and east of the proposed building.

1. The parking lot to the west of proposed building is reserved for Staff parking.
2. The parking lot to the east of the proposed building is dedicated to overflow student parking. A small portion, north of this parking lot is reserved for future parking needs.
3. The parking lot to the south of proposed building is completely dedicated to visitor and student parking. This parking lot has been divided into six parts and has been named as Lot A, B, C, D, E and F.

Total parking provided proposed is estimated as per both City and SUDAS requirement based on 200 staff members and 1400 students. As per City's standard for high schools, total required parking stalls is 480 spaces. According to the SUDAS standard for high schools, the required number of parking stalls is 667 spaces. The proposed new CF High School Site plan proposes 1,053 stalls in total including 21 ADA stalls and 8 motorcycle/scooter stalls.

- Parking facilities for motorcycle/scooter stalls will be located just outside the main entrance to proposed high school building (labelled as 1.4 on the image below).
- Bicycle parking is provided around the entrance façade of the proposed high school building. (labelled as 1.2 on the image below).
- Proposed parking for High school campus also includes electric car charging station. (labelled as 1.3 on the image below)

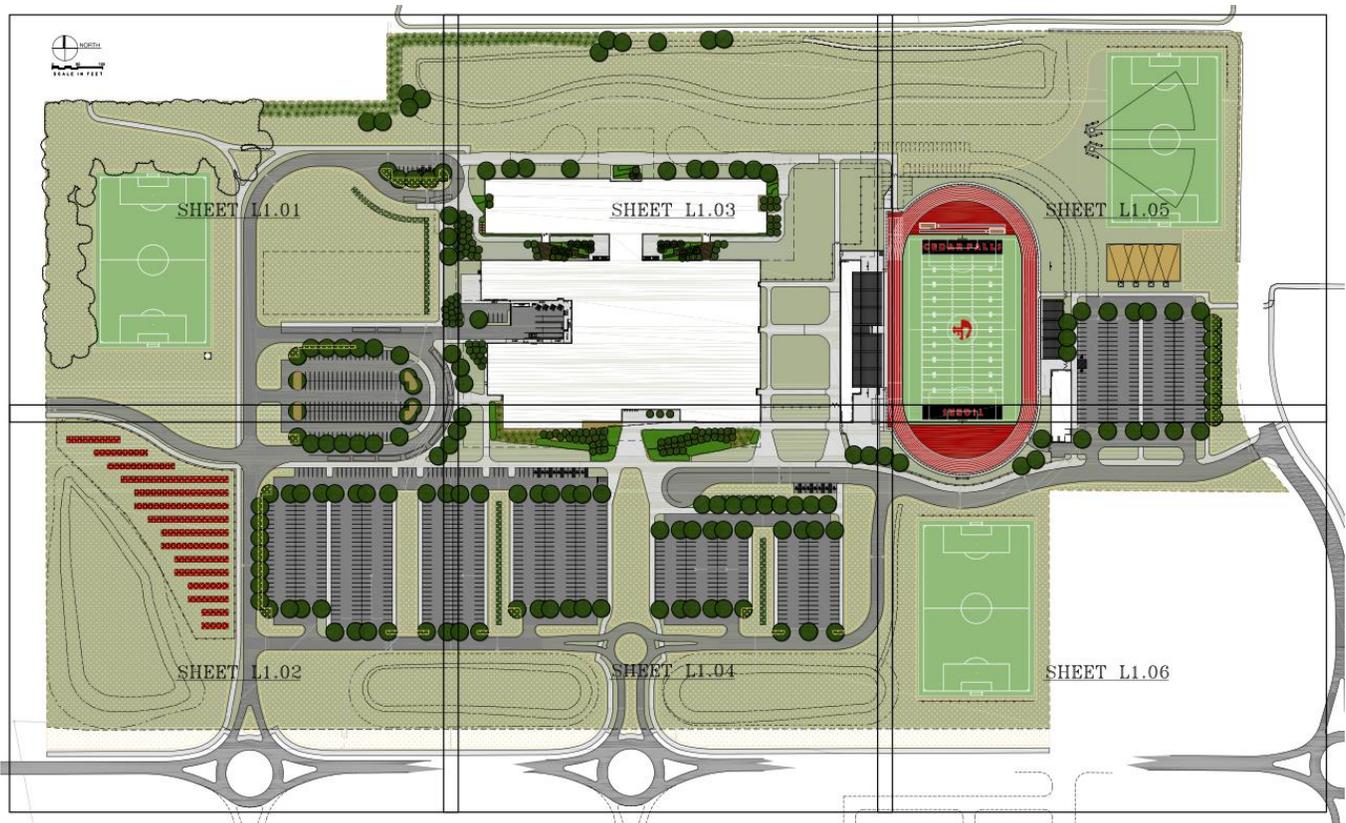


The parking areas are located off W. 27th Street and PE Center Drive. Parking areas are easily accessible by both W 27th Street and PE Center Drive. All parking areas are well screened with large shade trees.

Open Green Space/Landscaping: The landscaping plan attached in the packet and shown below is not updated as per the revised Site Plan. However, the elements will be more similar to what is shown below. The Public Zoning District does not have any specific regulations regarding landscaping requirements. Just for review, the proposed landscape for the new CF High School campus includes the following:

1. The entire site is surrounded by Prairie grass seeding on all four sides of the proposed high school building.
2. All the parking areas are screened with large shade trees.
3. The area north of the school building will be screened by large shade trees and coniferous trees to provide a buffer from the adjacent future development along the north property line.
4. The courtyard within two buildings is decorated with ornamental trees, large shade trees and shrub plantings and walkways connecting two buildings.

5. The immediate green spaces surrounding the building will include turf grass lawn.
6. The entrance to the main high school building is accessed through an area of perennial plantings, shrubs, ornamental trees and coniferous trees. This mixture of shrubs and trees would provide good buffer from the parking areas on the south side of the building.
7. There are three practice fields located at different locations on the site. One is located at northwest corner of site, the other is located at northeast corner of site and the third one is located on southeast corner of the site.
8. There is also a proposed phased stadium facility that will be placed east of the main building.
9. The northwest corner of the site is reserved for tree seedlings to develop a forested area, which will be planted by volunteers. This would provide a good buffer from the adjacent future development along the western edge of school property.
10. Cedar Falls Community School District will also be partnering with Cedar Falls Utility to develop an acre of solar panels on site, with 0.25 acre panels placed at southwest area of site and 0.75 acre panels will be placed over the roof of the building.



Building Design and Style: The Public Zoning District does not have any specific regulations regarding building design or architectural standards to follow. Just for review, the proposed new CF high school buildings have following features:



1. The proposed new high school building is a modern contemporary style architecture design with a flat roof and expanding horizontal nature.
2. The periphery of the main high school building is up to one and half stories in height, with the auditorium and gym/indoor sports recreational area about 50 feet in height (approximately equivalent to a 4-story building).
3. The other building, north of main building sits at a lower elevation and will be up to two stories in height to match up with overall height of the front building.
4. The high school building will be finished with brick, precast concrete panels of two tones (dark and light) and metal panels resembling wood texture in some areas to add a contrasting color to the material pallet.
5. The connector bridge between the buildings will be glazed.
6. The Main entrance to the high school building will be developed through a curtain wall system of glass façade and framework.
7. Translucent polycarbonate panels will be used in the periphery of the double height indoor gym area in the main building to provide natural light. Translucent polycarbonate panels will also be used along the periphery of the lower level building to bring in natural light.
8. The south, west and east façade of the buildings will have materials blended evenly with two contrasting tones for precast concrete, metal panels, a small portion of brick facade and curtain wall system. On the other end, the south façade of the building will look more uniform with brick as the primary cladding material and small portions of metal frame and glass breaking the façade into vertical planes.

to the high school building. Any services or maintenance trucks will be also using the same drive to access the building and loading dock area, which is located along the west façade of the main school building.

5. Another drop off loop is provided just south of main entrance to the high school building; this will be accessed from the easterly driveway from PE Center Drive.
6. A fire lane is proposed just north of the lower level school building. This fire lane in future might be extended to the overflow student parking lot in case more parking is required. This would also serve to provide additional traffic circulation on the site.
7. There will also be good opportunities for students or visitors to access the site by walking and biking. A 10-foot recreational trail is planned along W. 27th Street, which will eventually be extended west to Union Road as the neighborhood builds out to the west. Pedestrian routes are provided throughout the site linking outdoor facilities to the main buildings. There is also a planned sidewalk connection to the northwest corner of the site which will be done in future (highlighted in dashed line on attached Site plan). When the residential neighborhood builds out in this location there will be a pedestrian passage to the high school site through the block to encourage students from the adjacent neighborhood to walk or ride a bike to school rather than drive. The soft trail connection along north edge of the school site will be coordinated with UNI which will provide additional informal walking routes to the school. There is also proposed pedestrian access ways that will allow students/faculties to bike/walk from W. 27th Street straight to entrance of the school, these will be located north of W.27th Street and will be directing northward from W. 27th Street through the central round about (Main Student Entrance area) towards the main school building, running through student parking area.

Signage: The Public Zoning District does not have any specific regulations regarding signage. Just for review, the proposed high school will feature the following signs:

Wall Signs:

As shown on the submitted site plan, the “CF” logo will be featured on the south façade of auditorium. The south façade of the school will also have channel letters highlighting “Cedar Falls High”. There will also be a channel-letter sign on the west side of the auditorium. No specific sign details have been submitted at this time.

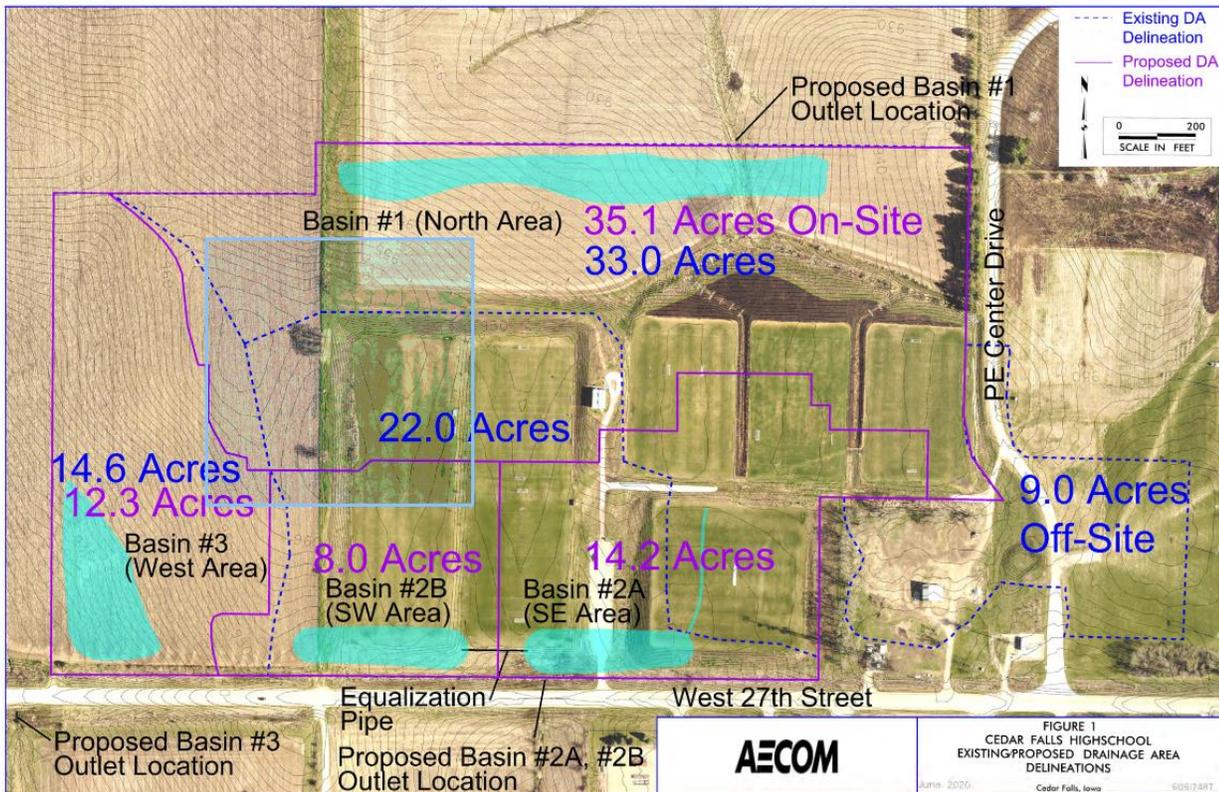
Monument Signs:

As shown on the submitted drawings, two monument signs will be installed along the W. 27th Street frontage just north of two proposed roundabouts. No detailed plans for signage have been submitted at this time.

Infrastructure Improvements:

Stormwater Management: This project requires stormwater detention and routing. The petitioner’s engineer submitted a stormwater detention plan as part of the site plan. The proposed drainage plan will maintain current drainage patterns. The existing and proposed drainage areas have been delineated into three drainage area as shown below. Basin 1 is along the north area of site, Basin 2 is along the south area of the site, which splits into two basins, one along southwest and one along the southeast. Basin 3 is located along the western area of the site.

Drainage area # 1 or the north drainage area is the largest drainage area with 35.1 acres and will be composed of approximately 58.5% impervious area after construction. The outlet for this drainage area is located at the northern edge of a site as indicated in the image below. Drainage area #2a and #2b, located in southern region of site will have sub basin of 14.6 acres and 8 acres respectively. This sub basin will be comprised of 52% for drainage area #2a and 52.5% for drainage area #2b of impervious area after construction. The outlet for this drainage area is located just north of W. 27th Street. Drainage area #3 or the west drainage area is 12.3 acres and will be comprised of approximately 7.4% impervious area after construction. The outlet for this drainage area is located just south of W. 27th Street which will be done through establishment of a chamber across the road.



Sanitary Sewer:

There is currently no sanitary sewer readily available to the site. It will need to be extended from the line located south of W. 27th Street. The City will be leading the project to acquire easements or acquire property for this sewer extension, and will be designing and constructing the sewer as a public project. The School District and other benefited properties, such as the West Fork development to the west will then be assessed sewer tap on fees for their proportional share of the cost at the time of development.

Street Improvements:

The school district will be responsible for improvements to PE Center Drive up to and including the eastern access point to the high school site. The City has budgeted approximately \$3.9 million for road improvements along W. 27th Street, including the recreational trail. The City will

be contracting for engineering design and construction services for both the sewer project and the road improvements along W. 27th Street.

Other Site Elements:

At this point of time, there are no details provided for exterior lighting.

Trash dumpsters and truck loading area are located along the west side of the main school building façade. This area is recessed further eastward from the staff parking area towards the building. This area is open to the sky and will be used for service and maintenance purposes for the entire school.

TECHNICAL COMMENTS

City technical staff, including Cedar Falls Utilities (CFU) personnel, has reviewed the proposed site plan. Water, electric, gas, and communications utility services are available in accordance with the service policies of CFU. The school district is responsible for the construction of a properly sized water system from the existing 16" water main along W 27th St. Included in the installation are valves, fire hydrants and water service. Cedar Falls Public Safety will review the fire hydrant locations and quantity during construction plan review. Gas meter location will need to be moved to the northwest corner of the Main Level. Site Plans currently show the proposed gas meter location in the area between the Main Level and the Lower Level. Final gas service and meter placement must be coordinated with CFU Gas & Water Operations during construction plan preparation. Electric service and transformer location needs to be coordinated with CFU Electric Operations personnel.

A courtesy notice to adjoining property owners was mailed on September 3, 2020.

STAFF RECOMMENDATION The Community Development Department recommends review and discussion of the site plan. The project architect will attend the meeting to provide a brief presentation of the features of the site and to answer any questions from the Commission or the public. To allow additional time for public review and discussion, staff recommends continuing the discussion to the next meeting.

PLANNING & ZONING COMMISSION

Discussion
9/9/2020

6/22/2020

Karen Howard
Planning & Community Services Manager
City of Cedar Falls
220 Clay Street
Cedar Falls, IA 50613

RE: Project Description - New Cedar Falls High School (#19116)

Karen:

On behalf of the Cedar Falls Community School District (CFCSD), we are requesting Site Plan Approval to create a new campus for the Cedar Falls High School (CFHS).

The overall site development will include the 305,000 sf high school building along with associated student, staff, and visitor parking. Additionally, there will be a designated bus lane, an additional accessible bus lane for lower level access, as well as a drop-off/pick-up lane for students and events. Other elements on the high school campus include a phased stadium and 3 practice fields. CFU and CFCSD are also partnering to develop one acre of solar panels on the site with an additional 0.75 acres on the roof of the building.

We welcome the opportunity to further discuss any questions you may have.

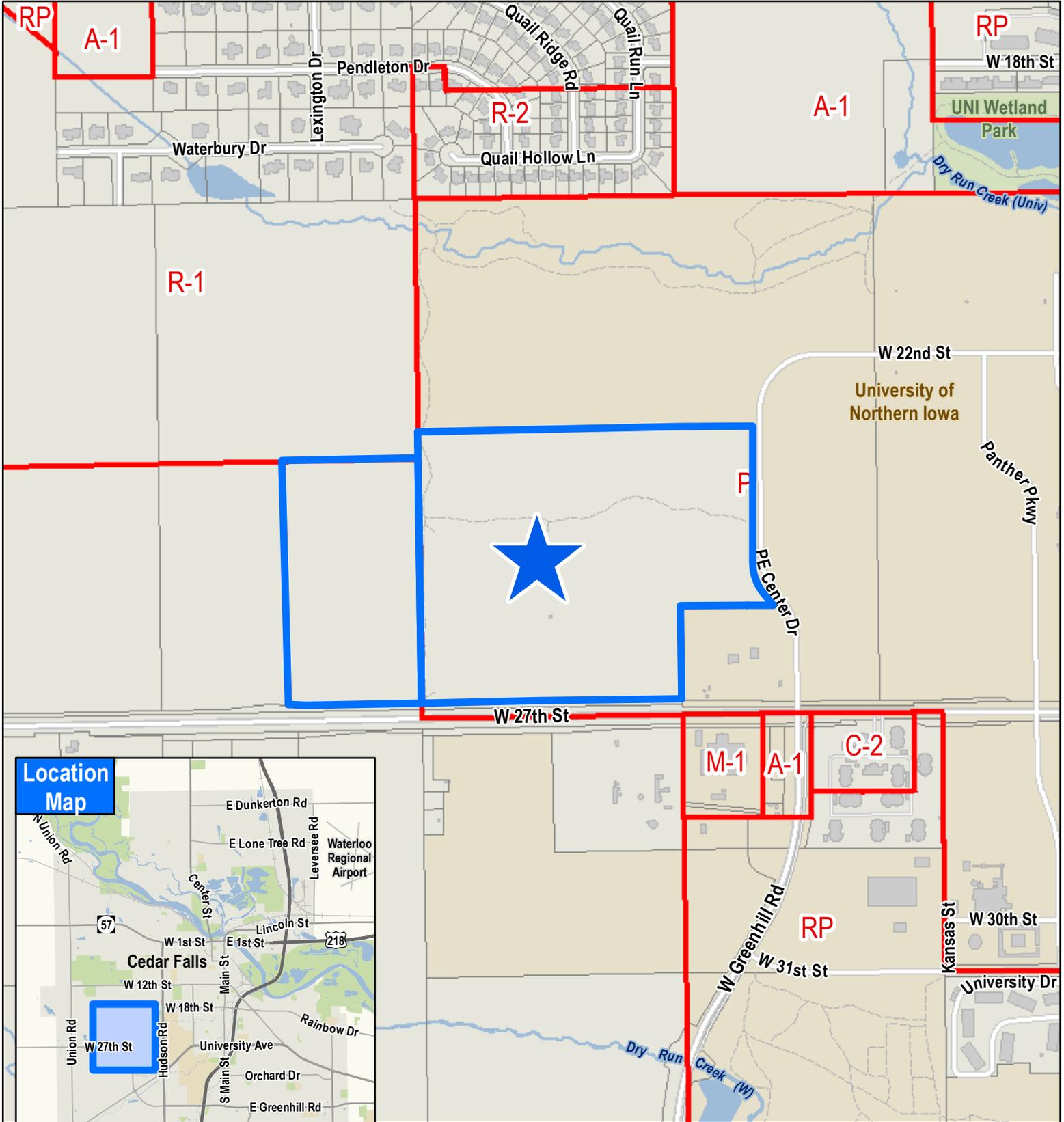
Sincerely,



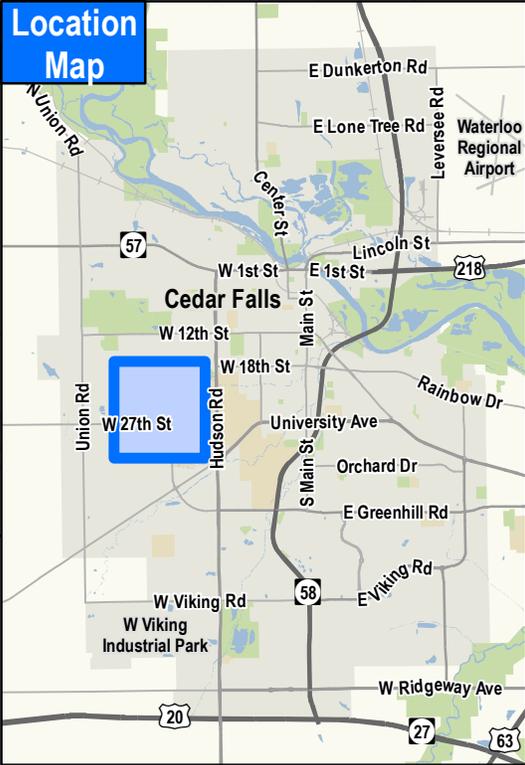
Brian Sanderman, AIA, LEED AP
Principal
(319) 433.3818
brians@invisionarch.com

Cedar Falls Planning & Zoning Commission September 9, 2020

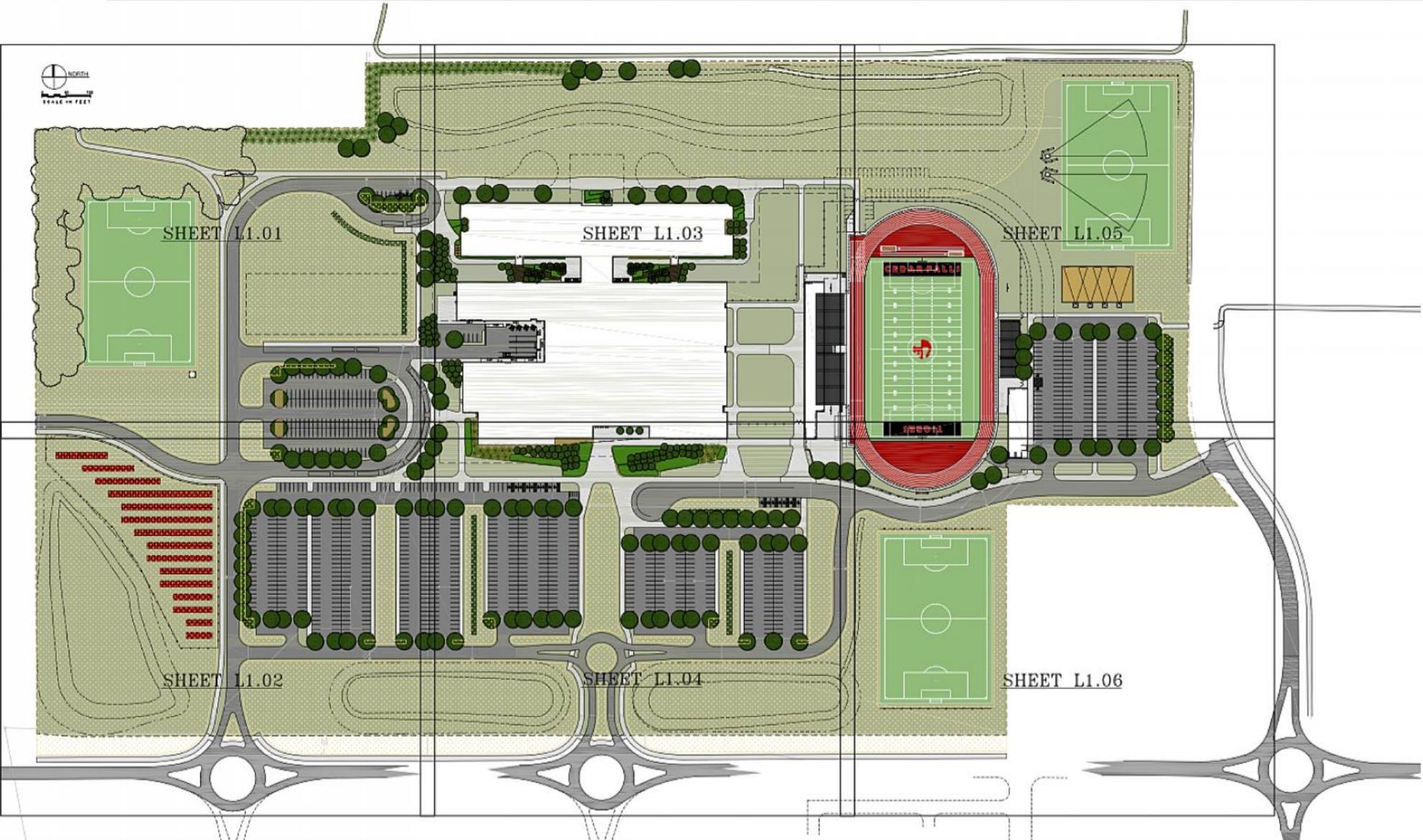
Item 3.



Location Map



Cedar Falls High School Site Plan



GENERAL ELEVATION NOTES:

- 1. SEE ARCHITECTURAL FLOOR PLANS FOR WALL TYPES, WINDOW NUMBERS, DOOR NUMBERS, AND DIMENSIONS.
- 2. PLACEMENT OF WALL MOUNTED ITEMS (FIRE STROBE, DOOR OPERATOR BUTTON, WALL HYDRANTS, ETC) ARE DIMENSIONED TO CENTERLINE OF ITEM.
- 3. HATCHED AREA IS FOR REFERENCE ONLY.
- 4. ANY RETURNS OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.

INVISION

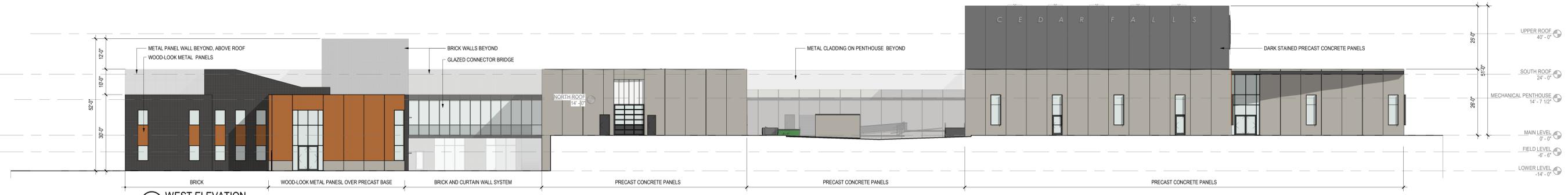
501 Sycamore
 Suite 101
 Waterloo, IA 50703
 PO Box 1800
 Waterloo, IA 50704-1800
 319.233.8419
 319.233.9772 Fax
 www.invisionarch.com
 CONSULTANT:

CONSTRUCTION MANAGER
 STORY CONSTRUCTION

STRUCTURAL
 RAKER RHODES
 ENGINEERING
 MEP
 MODUS

CIVIL ENGINEERING AND
 LANDSCAPE ARCHITECTURE
 AECOM TECHNICAL
 SERVICES, INC.

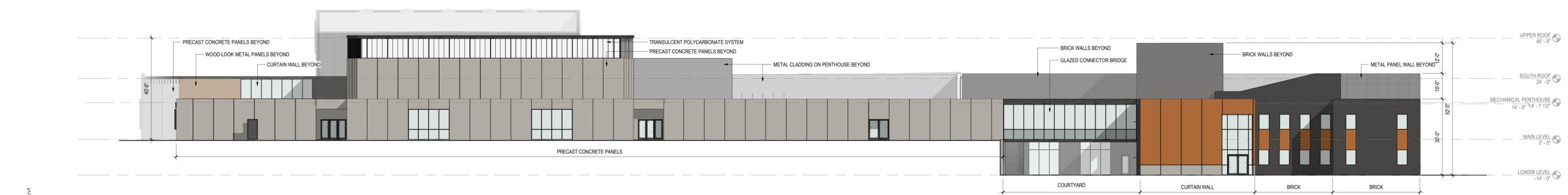
OWNER SIGN-OFF:
 DATE NAME



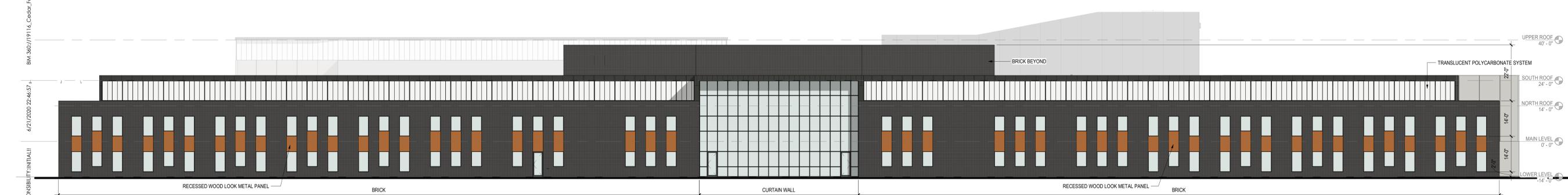
4 WEST ELEVATION
1/16" = 1'-0"



3 SOUTH ELEVATION
1/16" = 1'-0"



2 EAST ELEVATION
1/16" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"

SHEET RESPONSIBILITY INITIALS: 4/21/2020 22:46:37, BIM: 3/6/21/19116_Cedar_Falls_HS/19116_Cedar_Falls_HS_R2020.rvt

CEDAR FALLS COMMUNITY SCHOOL DISTRICT
CEDAR FALLS HIGH SCHOOL
 W 27TH STREET, CEDAR
 FALLS, IA 50613

PROJECT NO:
 19116
 DATE:
 JUNE 21, 2020
 SHEET SET:
 DESIGN
 DEVELOPMENT - 85%
 REVIEW
 SHEET NAME:
 EXTERIOR ELEVATIONS

SHEET:
A2.01
 Copyright © 2020

PRELIMINARY NOT FOR CONSTRUCTION

FOR REFERENCE ONLY



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
Fax: 319-273-8610
www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning & Zoning Commission
FROM: Karen Howard, Planning & Community Services Manager
Jaydevsinh Atodaria, Planner I
DATE: September 4, 2020
SUBJECT: Land Use Map Amendment (LU20-003)
Rezoning Request 4800 Block Cedar Heights Drive Oster Property (RZ20-002)

REQUEST: Amend Future Land Use Map to reflect Planned Development
Rezone property from A-1, Agricultural District and R-1, Residential Zoning
District to MU, Mixed Use Residential Zoning District.

PETITIONER: Oster Family Limited Partnership

LOCATION: 500 feet north of Huntington Road , west Side of Cedar Heights Drive

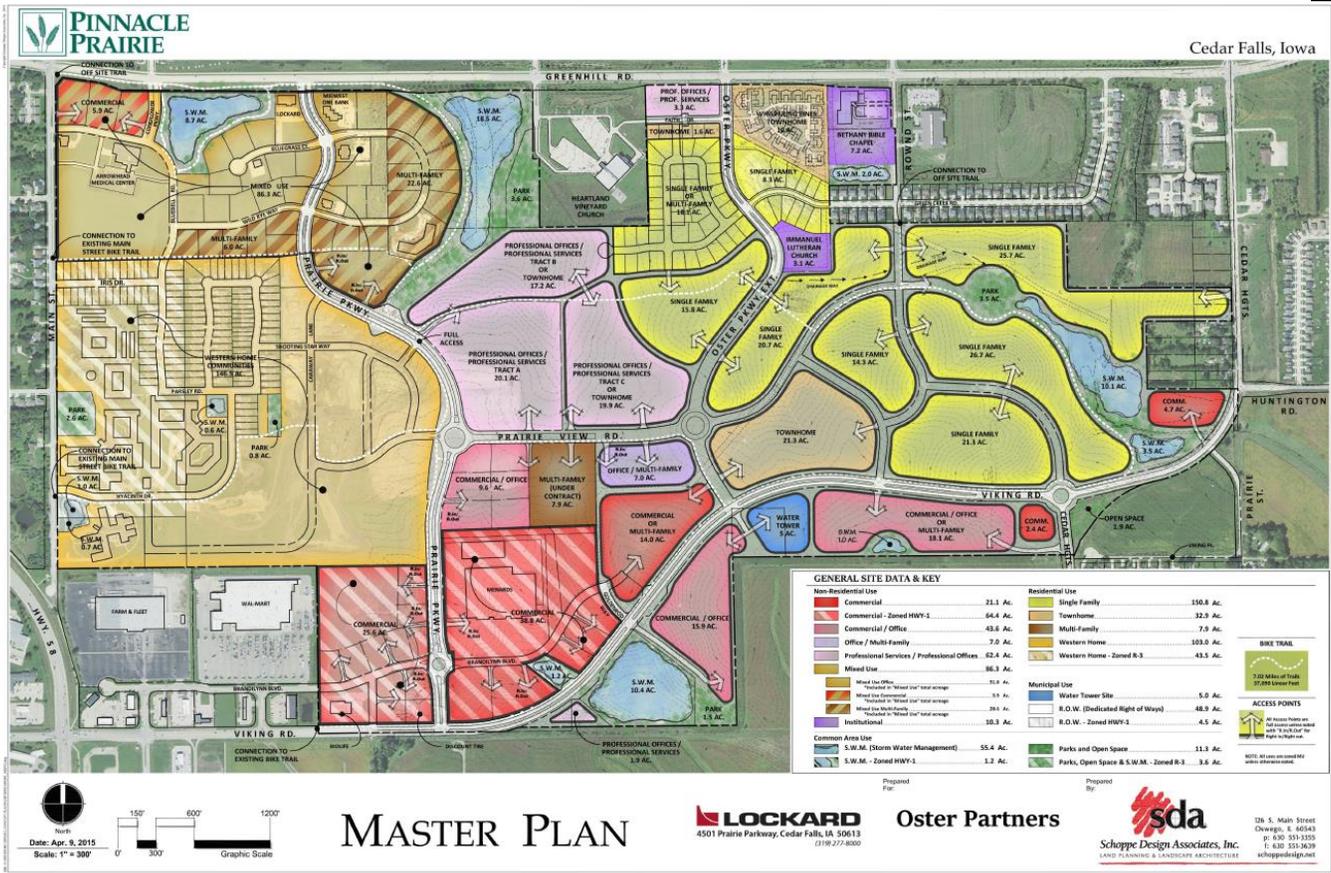
PROPOSAL

Oster Family Limited Partnership has requested to rezone approximately 15 acres of property from the A-1, Agricultural District (approx. 12 acres) and R-1, Residential Zoning District (approx. 3 acres) to MU, Mixed Use Residential Zoning District. As shown on the attached rezoning plat, this property is located 500 feet north of Huntington Road along the west side of Cedar Heights Drive.

BACKGROUND

The subject parcels were purchased by Oster Family Limited Partnership last year. They are now requesting to incorporate this newly acquired area into the Pinnacle Prairie Master Plan, which is zoned MU, Mixed Use Residential Zoning District.

The approximately 624 acres to the west and south were rezoned from RP Planned Residential Zoning District and A-1 Agricultural Zoning District to MU Mixed Use Residential Zoning District in 2004, subject to a developmental procedures agreement and master plan, known as Pinnacle Prairie. The submitted master plan was revised in 2015, with an associated amendment to their developmental procedures agreement. The approved 2015 Master Plan is shown below for reference and is also included in your packet as an attachment.



The property north of the subject property is currently zoned C-1 Commercial Zoning District, and is developed with multi-dwelling uses. The property across Cedar Heights Drive to the east was zoned MU in 2006, but the area along Cedar Heights Drive intended for commercial uses remains undeveloped.

The intent of this request for an amendment to the Future Land Use Map in the Comprehensive Plan and request for rezoning is to incorporate the subject property into the larger Pinnacle Prairie MU District and update the eastern portion of the master plan accordingly. A draft “Pinnacle Prairie East Concept Plan” is attached to this report.

Staff is still working through some of the details of the master plan concept with the petitioner, so the intent is to introduce this item for discussion and bring forward a refined master plan at a future Commission meeting. If the rezoning is approved and master plan updated, the next step would be to bring forward a preliminary plat for the larger concept plan area. This will make it possible to final plat the multi-family area, so the owner can market it to potential buyers. A detailed site plan would be submitted when development is proposed, which will need to be in compliance with the adopted master plan and subdivision plat. The developmental procedures agreement will also need to be updated to address the changes in the master plan and also to ensure that certain elements of the previous agreement are now met, including landscaping improvements within the Prairie Parkway/Prairie View Road roundabout and reconfiguration of the Goldenrod stub street into a trail head.

ANALYSIS

Existing and Proposed Zoning

The purpose of A-1 Agricultural District is to act as a "holding zone" in areas of the city that are undeveloped and not served by essential municipal services (i.e., sanitary sewer, water, roadways) but where future growth and development is anticipated according to the Comprehensive Plan. The purpose of R-1 Residential Zoning District is to provide opportunities for low density, primarily single-dwelling residential development in areas that are served by essential municipal services.

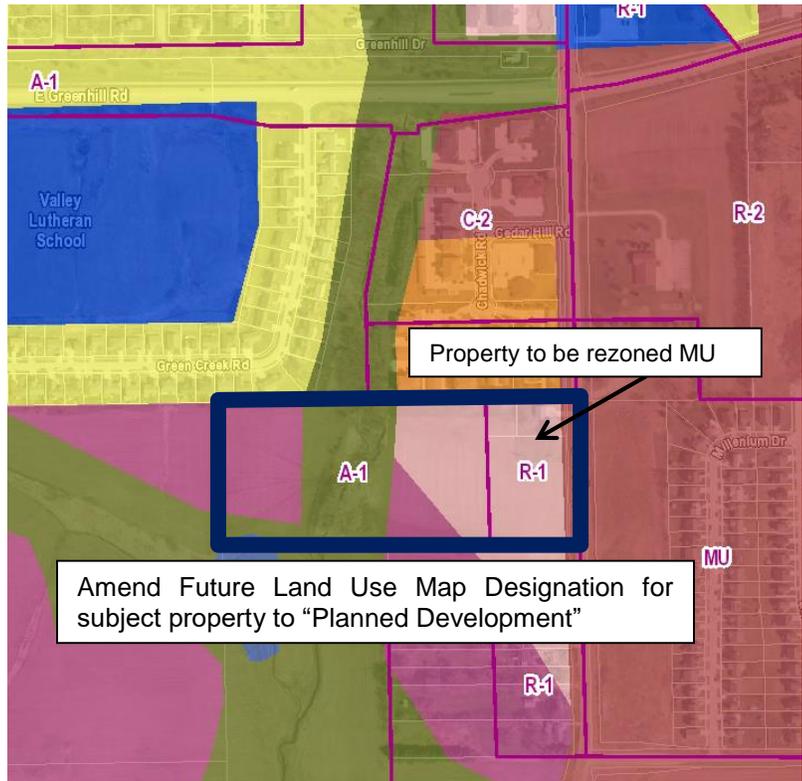
The Mixed Use (MU) Residential Zoning District designation is established for the purpose of accommodating integrated residential and neighborhood commercial land uses on larger parcels of land for the purpose of creating viable, self-supporting neighborhood districts. The MU residential district strives to encourage innovative development that incorporates high-quality building design, careful site planning, and preservation of unique environmental features with an emphasis upon the creation of open spaces and amenities that enhance the quality of life of residents. To that end, a detailed master plan is required at the time of rezoning. As stated previously, an updated master plan for the eastern portion of the Pinnacle Prairie development has been submitted by the applicant. This includes the area proposed for rezoning. The draft "Pinnacle Prairie East Concept Plan" is described in more detail below. However, the first test for a proposed rezoning is whether it complies with the Comprehensive Plan.

Compliance with the Comprehensive Plan and Future Land Use Map

The Future Land Use Map in the City's Comprehensive Plan designates the area that is the subject of the rezoning request as a combination of "Office and Business Park," "Planned Development," and "Greenways and Floodplain," as shown on the following page. The boundary between the office and business park designation and the planned development designation is unusual as it cuts diagonally through a number of properties in this area, making it difficult to understand how the area could be developed in concert with the map. The request for MU zoning would be consistent with the "planned development" designation, but the area on the Future Land Use Map that is designated for "Office and Business Park" will need to be amended prior to approval of the requested rezoning to MU.

The applicant has made a good case that the appropriate designation is "Planned Development" as it will allow this area to be integrated into the master planned development to the west and south. Staff concurs, particularly if there are adequate street connections provided from this proposed MU area to the Pinnacle Prairie development to the west. In addition, the applicant in their letter requesting the land use map amendment and rezoning makes the case that *"the property located on the east side of Cedar Heights Drive across the street from the subject property is identified on the City's Plan as "Neighborhood Commercial/Mixed Use" and is entitled for a retail commercial center. Additional residential units in this area will increase the viability of the development of the site for neighborhood commercial use and provide retail and service businesses within walking distance of the proposed project."* Staff agrees with this assessment and also that there may be too much of this area that is designated on the future land use map for commercial use to be supported by the market, which may explain why the land on the east side of Cedar Heights Drive remains undeveloped. Additional residential

development in the area will provide some additional market demand for neighborhood commercial development. Therefore, staff recommends amending the map to reflect the "Planned Development" designation the property.



Future Land use Map (Legend)

Planned Development-
 Office and Business Park -
 Greenways and Floodplain-



Amendment to the Pinnacle Prairie Master Plan

As stated in the zoning ordinance, "the owner of a property may seek approval of a mixed use residential zoning designation with the simultaneous submittal of a comprehensive development site plan. Zoning approval cannot be given without an approved development site plan."

Fortunately, in this case a significant amount of work and thought has already been done on the Pinnacle Prairie MU District master plan, so it is a matter of amending the current (2015) master plan to incorporate the area proposed for rezoning into this larger plan for development of the mixed use neighborhood. There are a number of elements listed in the zoning code that are required to be addressed in the master plan, as listed below:

- (1) Building locations.
- (2) Streets, drives, accessways.
- (3) Parking lots.
- (4) Landscape plan, open space areas.
- (5) Pedestrian traffic plan, including sidewalks, bicycle paths.
- (6) Architectural renderings of all sides of each building, including accessory structures.

- (7) Signage plan.
- (8) List of expected uses within the development.
- (9) Stormwater detention and erosion control plans.
- (10) Topographic features of the site including land and soils capability analysis.
- (11) Residential densities.
- (12) Natural drainageways, floodplain areas.
- (13) Municipal utility locations.
- (14) Residential recreation or park areas.

In a larger MU District, such as Pinnacle Prairie, which encompasses more than 600 acres, build out takes years and portions of the master planned area may be sold to other developers, who will prepare detailed site plans for their portion of the development. Therefore, in practice, our expectation is that the master plan would address each of these elements generally with the specific requirements met during subdivision review and site plan review for specific building sites once development is imminent.

There does, however, need to be a level of detail necessary to evaluate the rezoning request and to establish how the area will function as a cohesive and well-planned neighborhood at full build-out, including the street network, plan for the extension of utilities, sanitary sewer, and stormwater management, proposed distribution of various land uses and housing types, and plan for parks, trails, and open space amenities, and any neighborhood-serving commercial areas. Each of these aspects of the proposed updated master plan is discussed in more detail below.

The draft *Pinnacle Prairie East Concept Plan* is shown below and is included as an attachment in your packet for more careful review. As stated previously, staff will be working with the applicant to further refine the concept plan, so that it can be included in the larger updated master plan for Pinnacle Prairie with this rezoning.



PINNACLE PRAIRIE EAST CONCEPT PLAN

LOCKARD
4501 Pinnacle Parkway Cedar Falls, IA 50613
563-241-1111

Oster Partners

sda
Schaefer Design Associates, Inc.
1000 Lakeside Dr. Waterloo, IA 50601
563-241-1111

Land Uses

In the case of Pinnacle Prairie, since specific building designs were not known at the time of rezoning and the owner desired to establish a certain design aesthetic and ensure a high quality living and business environment, a set of design guidelines (*The Pinnacle Prairie General Design Guidelines*, dated 2-23-16) and a private design review process was set up to ensure a consistent quality of construction and design throughout the neighborhood.

The Pinnacle Prairie MU district is divided into distinctive areas, each with its own set of allowed uses and design guidelines. The area generally east of Oster Parkway is entitled, *The Villages*, which is in large part residential in character, with a mix of single family, townhouses, and with the addition of this newly proposed area along Cedar Heights Drive, it will contain approximately 12 additional acres intended for multi-family dwellings and an additional 3 acres for single family development. This area also includes the small neighborhood commercial area at the intersection of Cedar Heights Drive and Huntington Road. The applicant proposes to use the same set of design guidelines for the areas requested for rezoning.

There are separate design standards for each residential building type. The pages of the design guidelines related to each of these dwelling types are attached for your reference. These standards will ensure that the area proposed for rezoning will be developed with the same level of design as the rest of the Pinnacle Prairie development, including landscaping, signage, and the general Prairie-style aesthetic envisioned by the owner.

Staff notes that when individual site plans are submitted for review, the placement of the buildings, parking, and open space amenities should be carefully reviewed through the Planning and Zoning Commission and City Council to ensure a high quality living environment for future residents. Multi-family buildings should be oriented toward the street with parking located behind, under, or to the side of buildings and screened with landscaping. Each building should have good access to open space amenities and neighborhood trails.

For townhomes, staff recommends more of a focus on alley-loaded types as shown in the design guidelines as there is a general lack of this housing type in the community and it will reduce the need for extensive driveway curb cuts along neighborhood streets and ensure that these higher density dwellings will fit more seamlessly into the single family residential character of the neighborhood. Staff will continue to work with the applicant to refine the street pattern and access to the townhome section of the master plan. If alley-loaded townhome designs are used there may be more opportunities to integrate townhomes strategically throughout the neighborhood rather than concentrating them in just one large area.

With regard to the small commercial area, buildings would also have to meet the Pinnacle Prairie design guidelines and will be reviewed in detail at the time the area is proposed for development. As noted below, the street access and trail access should be carefully designed to ensure that neighborhood residents have easy access to what is intended to be a neighborhood-serving commercial area.

Street network and traffic circulation

The 2015 master plan illustrates the roadway alignments, access locations and proposed intersection designs and locations for the major streets within the development (Prairie Parkway, Oster Parkway, Viking Road, and a portion of Prairie View Road. Other potential streets connections are also illustrated, but additional local streets are just conceptually shown with arrows. Lots and blocks are not illustrated so it is difficult to understand how the neighborhood would be laid out with a local street pattern, and how the trails, parks, and stormwater management areas would be located in relation to the streets. Staff requested that the applicant submit a more detailed concept plan showing the streets, blocks and potential lots, so one can clearly see how the neighborhood could function as a whole. This preliminary work will be a precursor for the subdivision platting, which will be required prior to sale of any portion of the development, including the multi-family area proposed for rezoning.

The submitted concept plan has a number of positive aspects, including:

- There is good public access to the trail network and to the 3.5 park, which fronts on both Prairie View Road and Street B;
- Streets are laid out in an attractive curvilinear, yet connected pattern. Some of the block lengths exceed the recommended block length of 600 feet, but with a few minor adjustments this can be addressed.
- Open space appears to be well distributed throughout the neighborhood.

However, there are several issues that will need to be addressed:

- There are no east-west street connections to Cedar Heights Drive from the entirety of the Pinnacle Prairie development, with the distance between Greenhill Road and the intersection at Viking Road over 4,000 feet. Best practice is to provide collector street connections at intervals of about ¼ mile with additional right-in, right-out access points in

between.

The 2015 master plan illustrates a single family area along Cedar Heights with an arrow indicating that this area would be connected with a street to the larger Pinnacle Prairie neighborhood. With the considerable upzoning proposed including high density multi-family this connection is even more critical. With the number of units proposed two means of access should be provided to serve this area for public safety purposes. Furthermore, as proposed, the multi-family area would be isolated from the rest of neighborhood without good access to important north-south street routes, including Rownd Street, Oster Parkway, and Prairie Parkway and associated office and employment areas along these streets. Equally as important, this connection will provide a critical connection to Cedar Heights Drive for future residents within the entire neighborhood.

Staff recommends eliminating the cul-de-sac that is labelled as “Court A” by extending it to the east through the multi-family area to Cedar Heights Drive. This would follow the alignment of a farm access road that previously extended across the creek. While there will be additional expense to extend the roadway across Green Creek, the proposed upzoning from Agriculture and R-1 to include a high density multi-family area in place of what was previously shown in the master plan as single family should be sufficient to recapture the cost of this road connection. In addition, determining these costs through platting will provide an opportunity for the developer to set up the deed of dedication to recapture the cost from all the benefited properties, not just the multi-family area.

Staff notes that the entire land area proposed for rezoning, including the floodplain is included in the calculation of the residential density of the proposed rezoning area. In other words, the development density has not been reduced by the floodplain, but is merely clustered in areas outside the floodplain. Approximately 180 dwelling units are proposed with a residential density of approximately 12 units/acre, which falls into the medium to high density range according to the Comprehensive Plan. Staff finds this density to be acceptable as long as adequate street access is provided and parking and open space amenities are provided to create a high quality living environment.

- As noted in the stormwater management section below, some adjustment of the streets and home lots will be necessary to avoid the floodplain along Street A and Prairie View Road.
- Some additional adjustment of the street and alley pattern in the townhome area is needed to ensure adequate traffic circulation.
- The City is in the process of making improvements to Cedar Heights Drive. With that project, adjustments in the right-of-way will be made at the intersection of Huntington Road to allow for a future roundabout, which would allow the street to be extended to the west to serve the commercial area and any additional development proposed in the future to the existing lots that were created behind the homes in the Ideal Acres subdivision along Cedar Heights Drive. While currently these lots are owned and used as extended yard areas for these homes, there would be the potential for additional homes to be developed if a means of access is provided. There are a number of possible

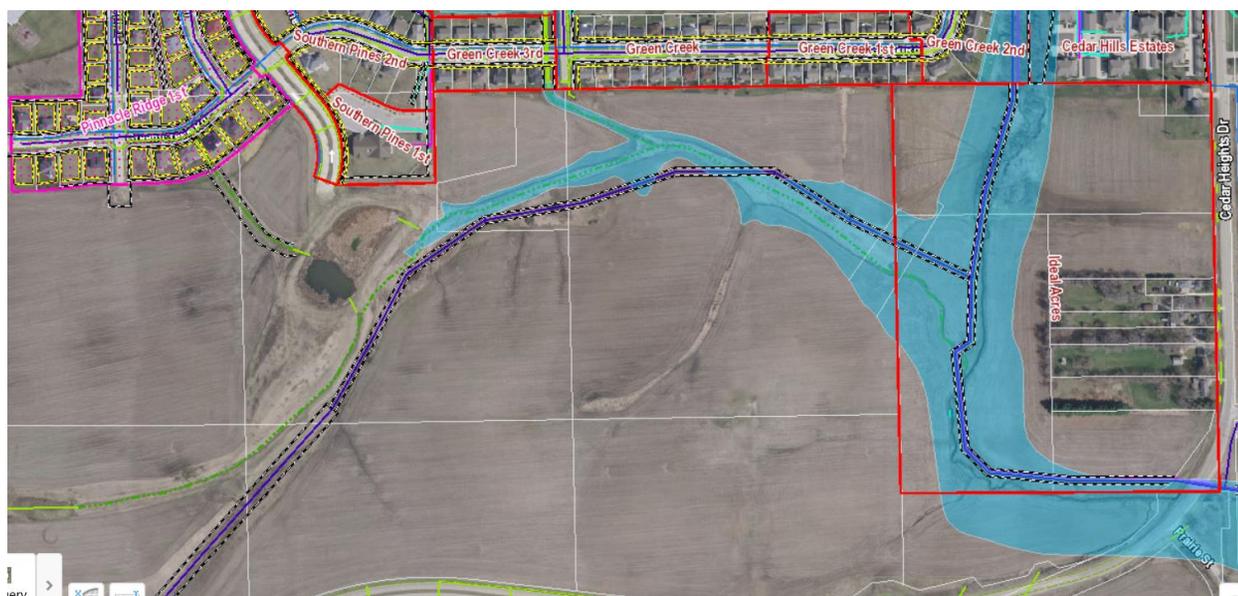
scenarios for providing access. Extending a street north from an extended Huntington Road is one possibility. When this area is platted, this should be studied more fully to determine the benefit of extending Huntington Drive.

Access to Public Services and Stormwater Management

Water, electric, gas, and communications utility services are available to the proposed future developments in accordance with the service policies of Cedar Falls Utilities (CFU). During preliminary plats, final plats and site plan reviews, more detail on the sizing of lines, location, and other aspects will be reviewed.

As shown below, sanitary sewer lines extend east-west across the area coinciding with the natural drainage pattern of the area, so are readily available for extension to serve the neighborhood. There is also a north-south sanitary line that runs along Green Creek that serves the eastern portion of the development. On the master plan you will note that these sanitary lines are located along the proposed alignment of Prairie View Road until it reaches the larger neighborhood open space area, which coincides with the natural drainage pattern and the Green Creek riparian corridor.

A regional stormwater management system is proposed that follows the drainage pattern one can see on the aerial photograph below. Note also that the floodplain for Green Creek is extensive. While the floodplain is generally shown as green space on the proposed concept plan, there are lots along the south side of Street A and along the north side of a portion of Prairie View Road that are partially or wholly within the floodplain. The City's floodplain regulations and subdivision rules will not allow development in these areas, except that up to 25% of a residential lot may be located in the floodplain as long as the buildable area on the lot is not within the floodplain. The master plan will need to be amended to address this issue. With regard to the multi-family area east of Green Creek, the plan does a better job of respecting the floodplain boundary with no building encroachment into these areas.



Open Space, Parks, and Trails

The MU District requires 10% of the land area to remain as open space. The concept presented includes a refined representation of the open space that coincides with the floodplain for Green Creek and the proposed regional stormwater management area. Trails extend along Street J from the Pinnacle Prairie area to the west and follow Prairie Parkway into the greenway connecting the 3.5 acre park to the larger area to the west and across the creek to the east. The concept plan shows a well-connected trail network, although Staff notes that a connection should be added to the small neighborhood commercial area to allow future residents to access this area by bike and walking. It should also be noted that the April, 2015 staff report to City Council states, *“Per the original concept plan site data, 2% must remain specifically as park space. Based on the Commission’s favorable discussion March 3rd (2015), 2.6 acres of trail are part of that park amount. The Developmental Procedures Agreement addresses that. Note: Any trails along the road within that area calculation are counted at half the area, since a 5’ sidewalk is required. There could be changes in the future that would require adjustment to the Master Plan in order to meet the 2% requirement.”* Any revised developmental procedures agreement should continue to include an updated parks and trails calculation based on the larger area included with this rezoning.

Technical Comments:

1. A preliminary and final plat will be required prior to any land sales within the master planned area. Platting is helpful in determining the lots and development areas that will benefit from the streets, regional stormwater management system, open space amenities, park areas, and trails, so that that cost of constructing and maintaining these facilities can be addressed through the sale of the lots and establishment of homeowner’s associations with appropriate fee structures. It is not in the best interest of either the owner or the City to plat this area in a piecemeal fashion since so much of the infrastructure is shared. The platting process will help the owner determine how these benefits and costs should be shared, so they can be assured that their investment will be appropriately recaptured as lots are sold. The sale of land to Immanuel Lutheran Church prior to platting is a case in point. The church had difficulty developing the land they acquired from Oster through a plat of survey and experienced considerable delay in preparing plat documents and obtaining off-site easements to address stormwater management since the larger area has not been platted and the regional stormwater system has not been established.
2. There are provisions in the previous developmental procedures agreements that have not been addressed per the timeline set forth in the agreement. Staff recommends that these be addressed prior to approval of the subject rezoning. These include:
 - a. Since it was agreed in 2015 that Goldenrod would not be required to be extended, reconfiguration of the existing Goldenrod street stub was required so that it no longer appears to be a street stub and is designed as an appropriately design trailhead. The agreement states that this work was supposed to be completed by September 1, 2016.
 - b. Submittal of a plan for landscaping amenities in the Paririe Parkway/Prairie View Road roundabout for approval in 2015 and construction in 2016. This has not occurred. Funding for these improvements was included in the FY20 and FY21 Capital Improvement Program. The developer’s contribution amount is stated as \$60,000, with the City contributing the rest of the estimated cost of \$390,000 through TIF.

Staff recommends that prior to approval of the rezoning, the owner pay funds into an escrow equivalent to estimated cost of improvements at Goldenrod and including the \$60,000 for landscaping features in the roundabout. The City will then construct the improvements as planned for in our Capital Improvements Program.

3. A new or amended developmental procedures agreement will need to be drafted and signed prior to setting a public hearing at City Council for the rezoning.

PUBLIC NOTICE

Notice of the rezoning proposal was mailed to the adjoining property owners.

STAFF RECOMMENDATION

The Community Development Department recommends discussion of the proposed amendment to the Future Land Use Map amendment and rezoning and continuing the discussion to a future meeting to allow time to work out additional details of the master plan and resolve outstanding issues of compliance with the previous developmental procedures agreement for the Pinnacle Prairie development.

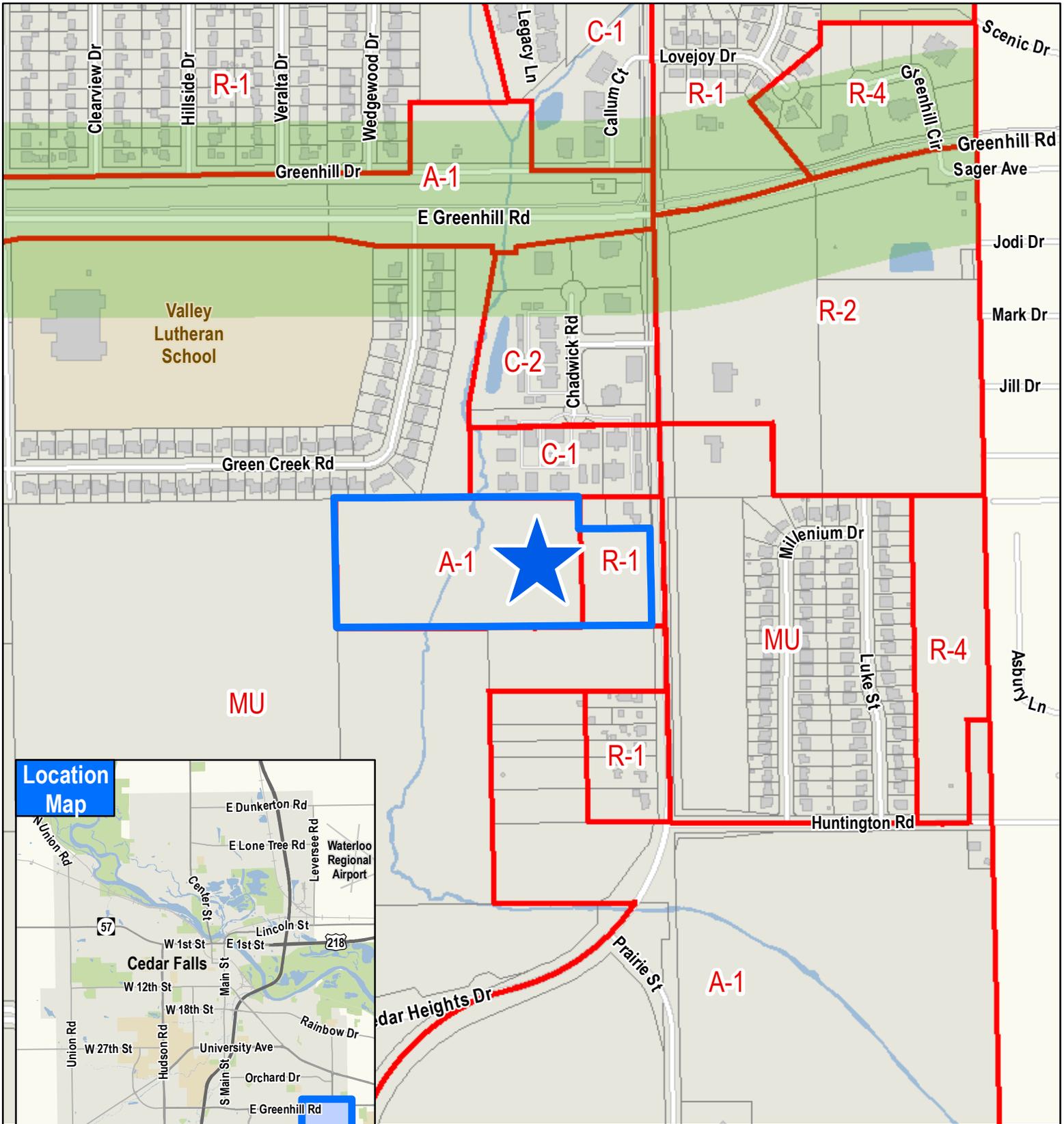
PLANNING & ZONING COMMISSION

Discussion
9/9/2020

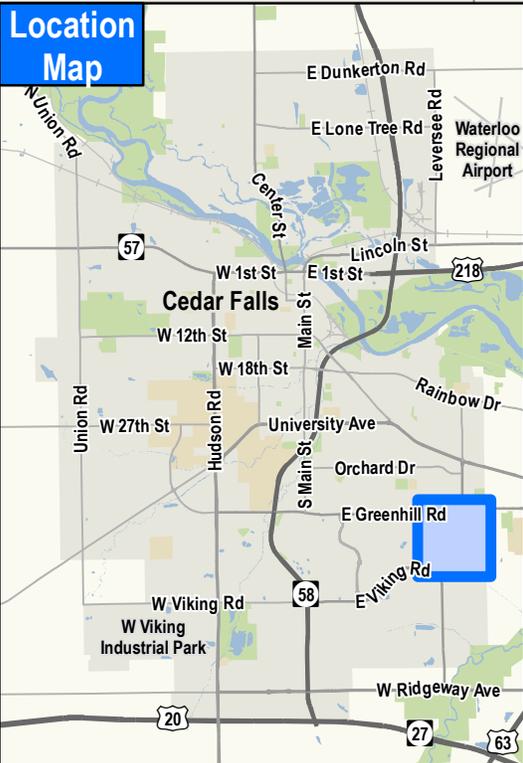
Attachments: Location Map
Rezoning Plat
2015 Pinnacle Prairie Master Plan and associated documents
Proposed updated master plan for "Pinnacle Prairie East"
Applicant's letter requesting LUMA and rezoning

Cedar Falls Planning & Zoning Commission September 9, 2020

Item 4.



Location Map



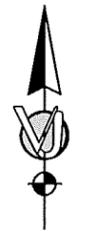
Cedar Heights Dr Rezoning A-1 to MU and R-1 to MU

Rezoning Plat

Part of Ideal Acres

City of Cedar Falls, Black Hawk County, Iowa

NORTH



R-1 to MU Rezoning Description:

The West 110 feet of Lot 1; Lots 2, 3, and 4 except that part dedeed to the City of Cedar Falls, Iowa in 565 CLD 326 for street purposes, all in "Ideal Acres" in Black Hawk County, Iowa (now in the City of Cedar Falls, Iowa)

A-1 to MU Rezoning Description:

The North 528 feet of Lot 13, all in "Ideal Acres" in Black Hawk County, Iowa (now in the City of Cedar Falls, Iowa)

Owner / Applicant
Oster Family Limited Partnership
3957 75th Street
Aurora, IL 6050

Owners within 300'
See Page 2

Existing Zoning Classification:
"A-1" and "R-1"

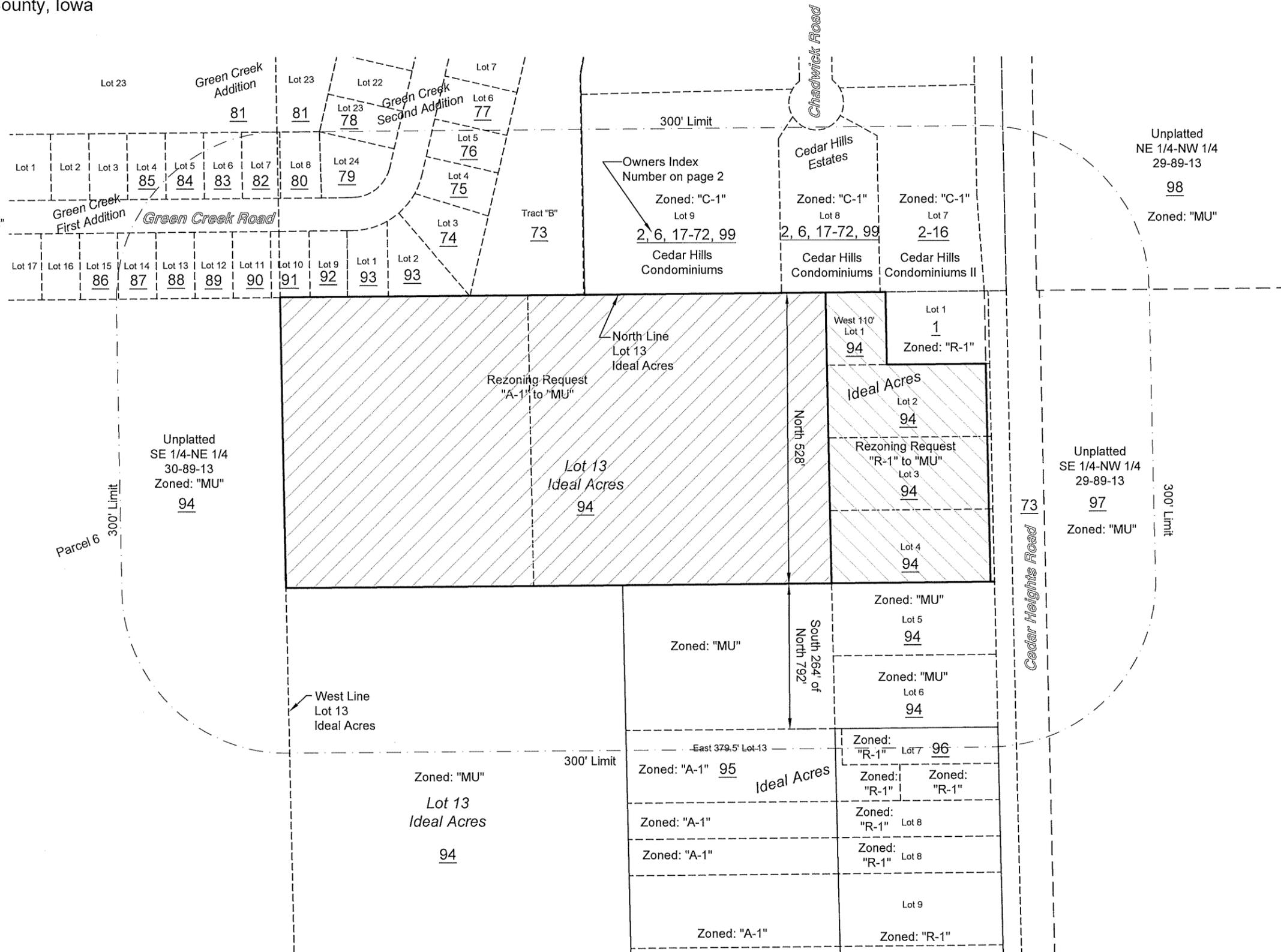
Proposed Zoning Classification:
"MU"

Proposed "R-1" to "MU" Area: 3.0± acres

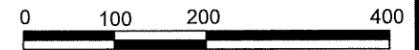
Proposed "A-1" to "MU" Area: 12.0± acres

Existing Adjacent Zoning:

Green Creek First Addition: "MU"
Green Creek Second Addition: "MU"
Cedar Hills Estates: "C-1"
Ideal Acres: "A-1", "R-1", and "MU"

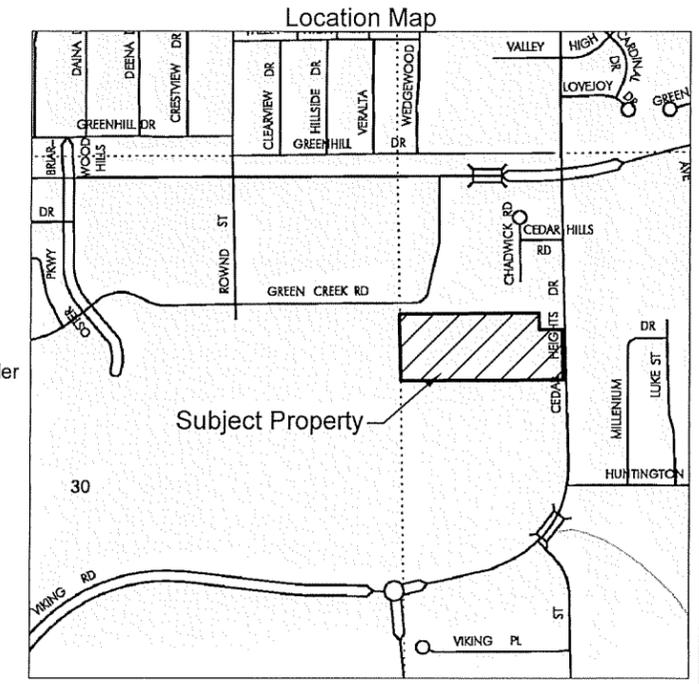


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| Item 4. | revisions |
| page # | 1/2 |
| scale | 1"=200' |
| drawn by | SJL |
| date | 6/11/2020 |
| VJ Engineering 1501 Technology Parkway Cedar Falls, Iowa - 319-266-5829 | |
| | |
| Rezoning Plat Part of Ideal Acres Cedar Falls, Iowa | |



Rezoning Plat
Owners within 300 Feet
Part of Ideal Acres
Cedar Falls, Iowa

- | | | | | | |
|----------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------|
| 1. Wayne P & Janet M O Neil 4803 Cedar Heights Drive Cedar Falls, IA 50613 | 17. Kay Kiene 4702 Chadwick Road #1 Cedar Falls, IA 50613 | 33. James A Janka Clark A K Janka 4706 Chadwick Road #7 Cedar Falls, IA 50613 | 49. Martha Rose Claassen 4710 Chadwick Road #12 Cedar Falls, IA 50613 | 65. Bonnie L Popenhagen 4712 Chadwick Road #5 Cedar Falls, IA 50613 | 81. Eastern Iowa Lutheran HS Association 4520 Rownd Street Cedar Falls, IA 50613 |
| 2. PLACE LLC c/o R Scheer & T Greenwood 1102 Lake Ridge Drive Cedar Falls, IA 50613 | 18. Carol L & Jeffry S Dick 4614 Donald Drive Cedar Falls, IA 50613 | 34. Samuel J Hartmann 4706 Chadwick Road #8 Cedar Falls, IA 50613 | 50. Rachael Soll 4708 Chadwick Road #1 Cedar Falls, IA 50613 | 66. Ambri J Refer 4712 Chadwick Road #6 Cedar Falls, IA 50613 | 82. Thomas E & Jennifer L Michler 2426 Green Creek Road Cedar Falls, IA 50613 |
| 3. Austin Rindels 4701 Chadwick Road #3 Cedar Falls, IA 50613 | 19. Nancy L Thorne 4702 Chadwick Road #3 Cedar Falls, IA 50613 | 35. Megan M Schriver 4706 Chadwick Road #9 Cedar Falls, IA 50613 | 51. Kathryn J Balvanz Lisa A Balvanz 4708 Chadwick Road #2 Cedar Falls, IA 50613 | 67. Joshua P Miller 4712 Chadwick Road #7 Cedar Falls, IA 50613 | 83. Scott N & Angela L Millman 2420 Green Creek Road Cedar Falls, IA 50613 |
| 4. Nermina Sabanagic 4701 Chadwick Road #4 Cedar Falls, IA 50613 | 20. Sergio Arceo Topete 4702 Chadwick Road #5 Cedar Falls, IA 50613 | 36. Peter J & Jaime D West 4706 Chadwick Road #10 Cedar Falls, IA 50613 | 52. Megan A Potratz 4708 Chadwick Road #3 Cedar Falls, IA 50613 | 68. Mary Losch Bruce Alexander 4712 Chadwick Road #8 Cedar Falls, IA 50613 | 84. William K & Audrey C Rule 2416 Green Creek Road Cedar Falls, IA 50613 |
| 5. Jeffrey S & Ada O Bendorf 825 Sonya Drive Waterloo, IA 50702 | 21. Joshua Budden 4702 Chadwick Road #6 Cedar Falls, IA 50613 | 37. Natalie Teslow 4706 Chadwick Road #11 Cedar Falls, IA 50613 | 53. Ronald J & Pamela J Sevey 4708 Chadwick Road #4 Cedar Falls, IA 50613 | 69. Sarah Frederick 4712 Chadwick Road #9 Cedar Falls, IA 50613 | 85. Michael G & Cindy M Koehn 2408 Green Creek Road Cedar Falls, IA 50613 |
| 6. IA Home Rentals LLC PO Box 1231 Cedar Falls, IA 50613 | 22. Tamara Hastings 4702 Chadwick Road #7 Cedar Falls, IA 50613 | 38. Timothy J Jensen 4706 Chadwick Road #12 Cedar Falls, IA 50613 | 54. Kevin J Huegel 4708 Chadwick Road #5 Cedar Falls, IA 50613 | 70. Kerri Menninga 4712 Chadwick Road #10 Cedar Falls, IA 50613 | 86. Evan M & Raven L Deuth 2401 Green Creek Road Cedar Falls, IA 50613 |
| 7. Nichole L Koelling 4701 Chadwick Road #8 Cedar Falls, IA 50613 | 23. Darren Haley 4702 Chadwick Road #8 Cedar Falls, IA 50613 | 39. Connie Mackey 4710 Chadwick Road #1 Cedar Falls, IA 50613 | 55. Rose M Anderson 4801 Briarwood Drive Cedar Falls, IA 50613 | 71. Brian W Jansen 4712 Chadwick Road #11 Cedar Falls, IA 50613 | 87. Mason A & Lori L Kuhn 2407 Green Creek Road Cedar Falls, IA 50613 |
| 8. Ada Oyaide 7077 Meadow Lane Platteville, WI 53818 | 24. Beverly A Weiss 4702 Chadwick Road #9 Cedar Falls, IA 50613 | 40. Gary W & Brenda L Geuther 4710 Chadwick Road #2 Cedar Falls, IA 50613 | 56. Keith J Bader 5500 S Main Street Rd #76 Cedar Falls, IA 50613 | 72. David & Julie Bonde 21643 115th Street Iowa Falls, IA 50126-0000 | 88. Anita Wiebke 2415 Green Creek Road Cedar Falls, IA 50613 |
| 9. Steven R Harbaugh 1433 South Hill Drive Waterloo, IA 50701 | 25. Susan M Moore 4702 Chadwick Road #10 Cedar Falls, IA 50613 | 41. Jean M Draude 4710 Chadwick Road #3 Cedar Falls, IA 50613 | 57. Tara Thesing 4708 Chadwick Road #8 Cedar Falls, IA 50613 | 73. City of Cedar Falls 220 Clay Street Cedar Falls, IA 50613 | 89. Adam M & Tami J Halvorson 2419 Green Creek Road Cedar Falls, IA 50613 |
| 10. Isaac & Wendy Floss 4705 Chadwick Road #1 Cedar Falls, IA 50613 | 26. Brett T Borcherding 4702 Chadwick Road #11 Cedar Falls, IA 50613 | 42. Jay Meier 4710 Chadwick Road #4 Cedar Falls, IA 50613 | 58. Bradley D Dedic 4708 Chadwick Road #9 Cedar Falls, IA 50613 | 74. George & Elizabeth Drelich 2525 Green Creek Road Cedar Falls, IA 50613 | 90. Zachary M & Kristen K Lyons 2425 Green Creek Road Cedar Falls, IA 50613 |
| 11. Thomas K Rohrsen 4705 Chadwick Road #2 Cedar Falls, IA 50613 | 27. Stephen Lee & Courtney A Styron 4702 Chadwick Road #12 Cedar Falls, IA 50613 | 43. Margaret A Miller 4710 Chadwick Road #5 Cedar Falls, IA 50613 | 59. Stacey A Hurt 4708 Chadwick Road #10 Cedar Falls, IA 50613 | 75. Cody M & Stacy M Cline 2529 Green Creek Road Cedar Falls, IA 50613 | 91. Francisca Figueroa Lucero Juan F Arreola Arras 2503 Green Creek Road Cedar Falls, IA 50613 |
| 12. Willard F & Verla M Wedemeier 4705 Chadwick Road #3 Cedar Falls, IA 50613 | 28. Deborah A Fedge Jonathan K Schoer 4706 Chadwick Road #1 Cedar Falls, IA 50613 | 44. Walter L Sykes 4710 Chadwick Road #6 Cedar Falls, IA 50613 | 60. Lauren & Daniel Peterman 4708 Chadwick Road #11 Cedar Falls, IA 50613 | 76. Matthew & Elke Gerdes 2601 Green Creek Road Cedar Falls, IA 50613 | 92. Kyle R & Katie E Corson 2507 Green Creek Road Cedar Falls, IA 50613 |
| 13. Daniel L Weber, Jr 4705 Chadwick Road #6 Cedar Falls, IA 50613 | 29. Richard A Riker 4706 Chadwick Road #2 Cedar Falls, IA 50613 | 45. Samantha M Frost 4710 Chadwick Road #7 Cedar Falls, IA 50613 | 61. Lucas L Sorensen 4708 Chadwick Road #12 Cedar Falls, IA 50613 | 77. Kevin J & Jessica M Vogel 2607 Green Creek Road Cedar Falls, IA 50613 | 93. Daniel D Fencil Trust 422 Main Street Cedar Falls, IA 50613 |
| 14. Justin J Holthaus 524 Boulder Drive Center Point, IA 52213 | 30. Kathy M Carr 119 Perkins Pt Columbiana, AL 35051-5039 | 46. Anna L Staudinger 4710 Chadwick Road #9 Cedar Falls, IA 50613 | 62. Christine Dawn Werling 4712 Chadwick Road #1 Cedar Falls, IA 50613 | 78. Roy A & Janice M Dawson 2602 Green Creek Road Cedar Falls, IA 50613 | 94. Oster Family Limited Partnership Attn: Jessica Sul 3957 75th Street Aurora, IL 60504-7914 |
| 15. Caralee K Doak 4705 Chadwick Road #11 Cedar Falls, IA 50613 | 31. Brian D Francois 1022 210th Street Masonville, IA 50654 | 47. Svetozar Bijelic Ela Cepalovic 4710 Chadwick Road #10 Cedar Falls, IA 50613 | 63. Nancy L Duffy 4712 Chadwick Road #3 Cedar Falls, IA 50613 | 79. Levi R & Leslie R Frost 2510 Green Creek Road Cedar Falls, IA 50613-000 | 95. Lyle L Bergman 1624 Maplewood Drive Cedar Falls, IA 50613-000 |
| 16. Shashidhar & Rakhee Kaparthi 432 Primrose Drive Hudson, IA 50643 | 32. Robert D & Susan K Gerken 1351 Bayshore Drive #207 Fort Pierce, FL 34949 | 48. Madeline A Chilton 4710 Chadwick Road #11 Cedar Falls, IA 50613 | 64. William J Adam Rev Trust 1028 W Main Street Waukon, IA 52172 | 80. Vickie Turner 2504 Green Creek Road Cedar Falls, IA 50613 | 96. Kenneth R & Alice Lynn White 5011 Cedar Heights Drive Cedar Falls, IA 50613 |
| | | | | | 97. R and N Investments PO Box 728 Cedar Falls, IA 50613 |
| | | | | | 98. Ronald J Abraham 401 N Highland Drive Cedar Falls, IA 50613 |
| | | | | | 99. Michael A Yaddof 4706 Chadwick Road #5 Cedar Falls, IA 50613 |



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| Item 4. | dat |
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| scale | 1"=200' |
| drawn by | SJL |
| date | 6/11/2020 |
| VJ Engineering 1501 Technology Parkway Cedar Falls, Iowa - 319-266-5829 | |
|  | |
| Rezoning Plat Part of Ideal Acres Cedar Falls, Iowa | |
| 45 | |



Schoppe Design Associates, Inc.
LAND PLANNING & LANDSCAPE ARCHITECTURE

June 12, 2020

Department of Community Development
City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613

Re: Cedar Heights Drive Property Rezoning Request

To Whom It May Concern:

Per the City's rezoning application requirements, below please find a brief explanation of the proposal.

Cedar Heights Drive Property
Explanation of Request

The petitioner is requesting a rezoning of the subject property to MU, Mixed Use Residential for future development of both multi-family and single-family residential uses. The two residential use areas would be separated by an existing wide drainage corridor with proposed multi-family units to the east and single-family lots to the west. While there are no specific development plans at this time, the rezoning is being requested to assist with marketing to interested buyers/builders who would still be required to come back to the City for formal plan approval for ultimate product and design.

It is the petitioner's intent to add the 15-acre property to the Pinnacle Prairie project, immediately adjacent to the west and south. Doing so will result in the application of and adherence to the same high-quality development design standards of the Pinnacle Prairie development and add an additional mix of residential uses to the overall project. The City's MU District "strives to encourage innovative development that incorporates high-quality building design, careful site planning, preservation of unique environmental features with an emphasis upon the creation of open spaces and amenities that enhance the quality of life of residents." The accompanying Rezoning Concept Plan focuses on this goal and represents an idea of how the newly added MU property could be integrated into the Pinnacle Prairie project.

126 S. Main Street
Oswego, IL 60543
p: 630 551-3355
f: 630 551-3639
schoppedesig



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The proposed multi-family use on the eastern portion of the property is a compatible extension of the existing medium density residential land use immediately adjacent to the property on the north. The physical barrier of the drainage corridor to the west orients the subject property more to the east, and as such the design contemplates a grand entry from Cedar Heights Drive. The conceptual design depicts 180 total units in 6, 24-unit and 2, 18-unit three story buildings. The design incorporates an open space theme immediately upon entering the development and continues with both a visual and physical extension of this amenity throughout the site. There is a main open space corridor in the middle of the project that serves not only as a gathering space for the residents but also visually connects the project entrance to the open space and drainage corridor to the west. The space can include a variety of complementary elements such as trails, benches, and a gazebo. In addition to the more centralized open space, each individual building has access to its own open space/courtyard area on a more intimate scale. There is an interconnected system of walking paths which all lead either to the central open space corridor within the project or to a future more regional trail within the adjacent open space and drainage corridor, connecting to the Pinnacle Prairie project and trail system. The site plan also includes a dog park, a desired amenity for multi-family projects of this type.

The proposed single-family use is located west of the drainage area and as such orients westward in terms of compatible land use. This use is accordingly derived from the designated future single-family land use of the Pinnacle Prairie project adjacent to the west, and additionally from the existing single-family residences of the Green Creek Subdivision adjacent on the north. The Concept Plan illustrates how approximately 6 single-family lots could be created utilizing a cul-de-sac design.

The City's Comprehensive Plan designates the area contained in the MU rezoning request for a combination of Planned Development and Office/Business Park. The delineation between these two uses is in an unusual diagonal manner and leaves an oddly shaped triangle that would appear extremely challenging to develop. The limited and awkward size of the office/business park designated parcel and its lack of access to an arterial road do not seem conducive to development of the property for office/business park use. Given that the remainder of the property is designated as Planned Development and the proposal is to add the subject property to the Pinnacle Prairie project, also designated as Planned Development on the City's Comprehensive Plan, the requested rezoning to MU appears to be compatible with the goals of the Plan for this area. Additionally, the property located on the east side of Cedar Heights Drive across the street from the subject property is identified on the City's Plan as "Neighborhood Commercial/Mixed Use" and is entitled for a retail commercial center. Additional residential units in this area will increase the viability of the development of the site for neighborhood commercial use and provide retail and service businesses within walking distance of the proposed project.



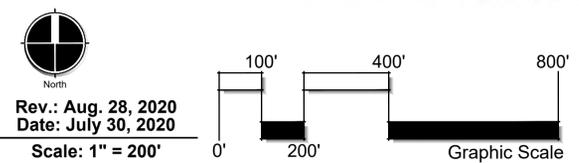
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Thank you for your consideration, and we respectfully request a favorable review of the request.

Sincerely,

Carrie L. Hansen
Director of Planning and Government Services

CLH:



PINNACLE PRAIRIE EAST CONCEPT PLAN

LOCKARD
 4501 Prairie Parkway, Cedar Falls, IA 50613
 (319) 277-8000

Prepared For:
Oster Partners

Prepared By:
sda
 Schoppe Design Associates, Inc.
 LAND PLANNING & LANDSCAPE ARCHITECTURE

126 S. Main Street
 Oswego, IL 60543
 p: 630 551-3355
 f: 630 551-3639
 schoppedesign.net



SITE DATA:

Proposed Zoning: MU

Multiple Family:

Area: ±15.3 Acres
 Dwelling Units: 180 du
 Density: 11.76 du/ac.

3 Story buildings
 18 & 24 du building

Parking (surface): 257 sp.
 Parking (garages): 130 sp.
 Total Parking: 387 sp.
 Ratio Ratio: 2.15 sp./du

Single Family:

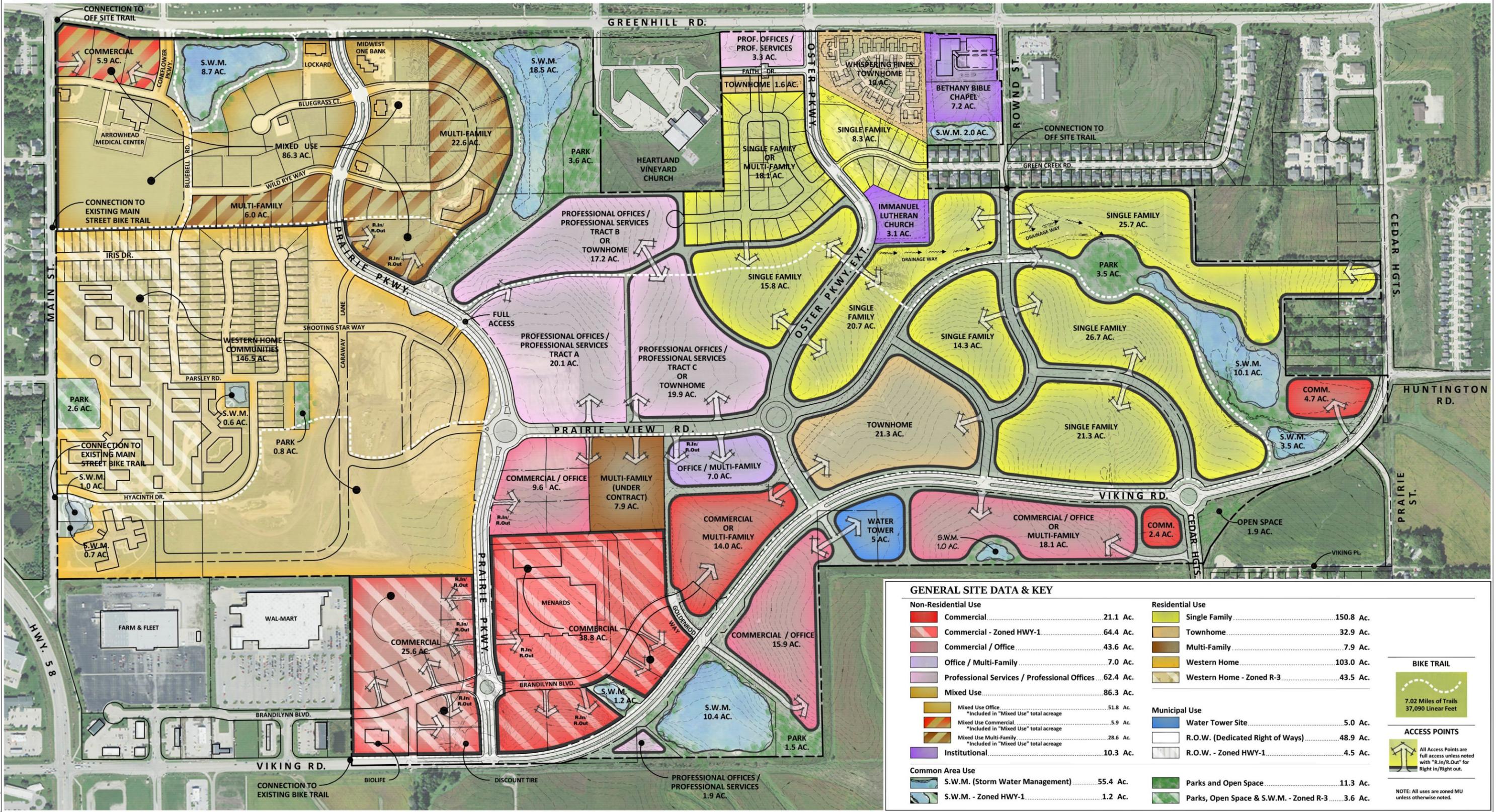
Area: ±5.5 Acres
 Dwelling Units: 6 du
 Density: 1.1 du/ac.

REZONING CONCEPT PLAN

**Oster Family
 Limited Partnership**

Prepared By: **Schoppe Design Associates, Inc.**
 LAND PLANNING & LANDSCAPE ARCHITECTURE
 126 S. Main Street
 Oswego, IL 60543
 p: 630 551-3355
 f: 630 551-3355
 schoppedesign.com

North
 Date: June 9, 2020
 Scale: 1" = 150'



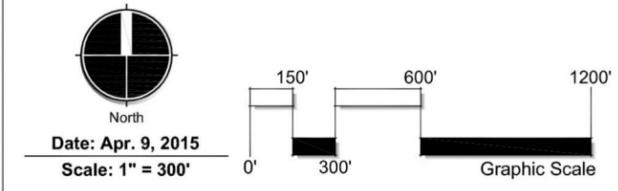
GENERAL SITE DATA & KEY

| | | | |
|----------------------------------------------|----------|----------------------------------------|-----------|
| Non-Residential Use | | | |
| Commercial | 21.1 AC. | Residential Use | |
| Commercial - Zoned HWY-1 | 64.4 AC. | Single Family | 150.8 AC. |
| Commercial / Office | 43.6 AC. | Townhome | 32.9 AC. |
| Office / Multi-Family | 7.0 AC. | Multi-Family | 7.9 AC. |
| Professional Services / Professional Offices | 62.4 AC. | Western Home | 103.0 AC. |
| Mixed Use | 86.3 AC. | Western Home - Zoned R-3 | 43.5 AC. |
| Mixed Use Office | 51.8 AC. | | |
| Mixed Use Commercial | 5.9 AC. | Municipal Use | |
| Mixed Use Multi-Family | 28.6 AC. | Water Tower Site | 5.0 AC. |
| Institutional | 10.3 AC. | R.O.W. (Dedicated Right of Ways) | 48.9 AC. |
| | | R.O.W. - Zoned HWY-1 | 4.5 AC. |
| Common Area Use | | | |
| S.W.M. (Storm Water Management) | 55.4 AC. | Parks and Open Space | 11.3 AC. |
| S.W.M. - Zoned HWY-1 | 1.2 AC. | Parks, Open Space & S.W.M. - Zoned R-3 | 3.6 AC. |

BIKE TRAIL
7.02 Miles of Trails
37,090 Linear Feet

ACCESS POINTS
All Access Points are full access unless noted with "R.In/R.Out" for Right in/Right out.

NOTE: All uses are zoned MU unless otherwise noted.



MASTER PLAN

LOCKARD
4501 Prairie Parkway, Cedar Falls, IA 50613
(319) 277-8000

Oster Partners

sda
Schoppe Design Associates, Inc.
LAND PLANNING & LANDSCAPE ARCHITECTURE

126 S. Main Street
Oswego, IL 60543
p: 630 551-33
f: 630 551-36
schoppedesign.r



- 1. Entry Level Single Family
- 2. Entry Level Single Family
- 3. Move - Up Single Family
- 4. Move - Up Single Family
- 5. Upper / Custom Single Family
- 6. Upper / Custom Single Family



1



2



3



4



5



6

SINGLE FAMILY

The single-family neighborhoods will be a blend of traditional homes and contemporary design. Each neighborhood will have a mix of lot sizes and architectural styles.

1. Minimum single story home shall be 1,200SF.
2. Minimum two story home shall be 1,600SF with a minimum first floor of 800SF.
3. Sideyard setback shall be 5'. All other setback requirements shall be per Cedar Falls ordinance
4. Fencing shall be per Cedar Falls ordinance. If chain link is used, it shall be black vinyl clad.
5. Garages that are separate from the main structure or attached by means of a garden room may have a second floor "granny flat" or work room with separate access.
6. Building Materials:
 - Exterior walls:
 - Siding; wood or vinyl clapboard
 - Brick; color range from red to brown and sand
 - Wood shingle
 - Native limestone
 - Hardi Plank
 - Cultured Stone
 - Roofing:
 - Composite shingles 30 year minimum
 - Wood shingles / shakes
 - Slate
 - Synthetic shake shingles
 - Metal roofing is not allowed

7. Landscape

- Hardscape patios shall be brick or concrete
- Wood decks shall be a natural color.
- Planting: Each single-family home shall have a minimum \$2,500 landscape package. The package shall consist of one 2.5" caliper shade tree in the rear yard; one 7'H. ornamental or evergreen tree in the front yard and a mix of shrubs, perennials and grasses.
- Street trees: Street trees shall be a minimum of 2.5" caliper and shall be planted in the parkway at the rate of one (1) tree per lot. On corner lots, two (2) street trees per lot shall be required.
- Perimeter: Where single-family lots abut a community road, a minimum 10' wide buffer planting will be provided. Buffer area shall include berming and planting. Berms shall be meandering and range in height from 2'-4'. Plantings shall be a mix of shade trees, ornamental and evergreen trees and shrubs and perennials. At time of planting, plants shall provide a minimum of 25% visual screen to the homes.



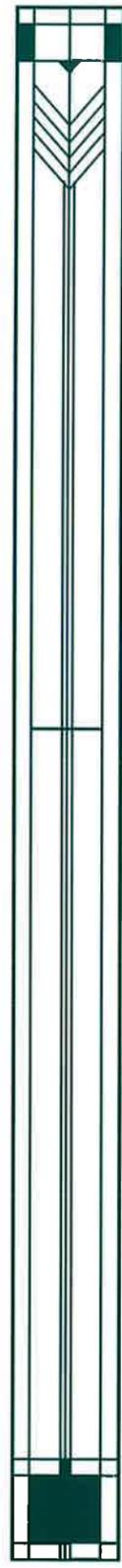
PINNACLE PRAIRIE

Cedar Falls, Iowa

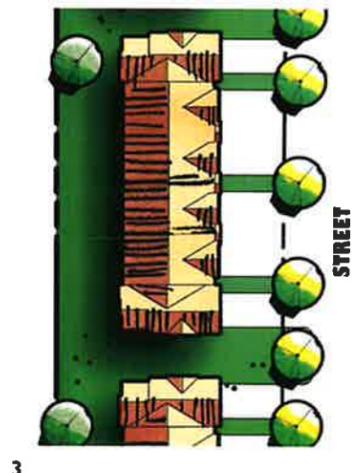
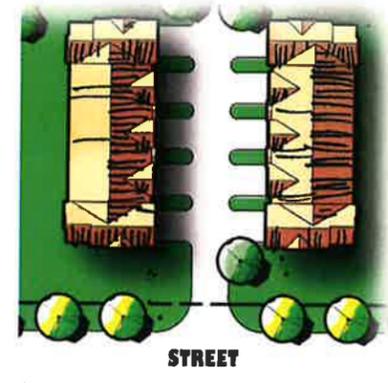
The Villages

Date:
February 23, 2016





- 1. Alley loaded townhome style unit
- 2. Typical plan view showing alley loaded townhome style unit
- 3. Typical plan view showing traditional townhome style unit
- 4. Traditional townhome style unit



ATTACHED SINGLE-FAMILY

The attached single-family neighborhoods will be a blend of traditional town homes and alley loaded court homes. Each neighborhood can have a mix of unit types and may have a mix of traditional and alley loaded homes.

- 1. Minimum single story home shall be 1,050SF.
- 2. Minimum two story home shall be 1,250SF.
- 3. Setback requirements shall be per Cedar Falls ordinance
- 4. Building Materials:

Exterior walls:

- Siding; wood or vinyl clapboard
- Brick; color range from red to brown and sand
- Wood shingle
- Native limestone
- Hardi Plank
- Cultured Stone

Roofing:

- Composite shingles 30 year minimum
- Wood shingles / shakes
- Slate
- Synthetic shake shingles
- Metal roofing is not allowed

5. Landscape

- Hardscape patios shall be brick or concrete
- Wood decks shall be a natural color.
- Planting: Each unit shall have a minimum \$1,500 landscape package. Plants are encouraged to be native species or hybrids of native species.
- Street trees: Street trees shall

be a minimum of 2.5" caliper and shall be planted in the parkway at the rate outlined in Cedar Falls ordinances.



PINNACLE PRAIRIE

Cedar Falls, Iowa

The Villages

Date:
February 23, 2016





- 1. Typical 3-story multi-family units with underground parking
- 2. Typical 4-story multi-family units with underground parking
- 3. Typical 3-story multi-family units with at grade garage parking
- 4. Typical 3-story multi-family units with underground parking
- 5. Typical 3-story multi-family units with at grade garage parking



1



2



3



4



5

MULTI-FAMILY

The multi-family neighborhoods may be a blend of rental and condominium units. Each neighborhood is intended to provide housing opportunities for those who do not wish to own a traditional home or town home or do not wish to purchase at their particular time in life.

- 1. Minimum unit size shall be 850SF.
- 2. Setback requirements shall be per Cedar Falls ordinances
- 3. Garages will be provided for minimum of 50% of all units. Garages may be internal to the main structure or in a separate location near the building.
- 4. Building Materials:
 - Exterior walls:
 - Siding; wood or vinyl clapboard
 - Brick; color range from red to brown and sand
 - Stucco / plaster
 - Wood shingle
 - Native limestone
 - Cultured Stone or approved equal shall be allowed in lieu of natural stone & full brick.
 - Roofing:
 - Composite shingles 30-year minimum
 - Wood shingles / shakes
 - Slate
 - Synthetic shake shingles
 - Metal roofing is not allowed.
- 6. Landscape
 - Hardscape patios shall be brick or concrete
 - Decks shall be cedar or redwood

- Planting: Each unit shall have a minimum \$1,000 landscape package exclusive of sod or seed cost. Plants are encouraged to be native species of hybrids of native species.
- Street Trees: Street trees shall be a minimum of 2.5" caliper and shall be planted in the parkway at the rate of one (1) tree per 50' of frontage.
- Perimeter: Where multi-family lots abut a community road, a minimum 10' buffer planting area will be provided. Buffer will include berming and planting. Berms shall be meandering and range in height from 4'-8'. Plantings shall be a mix of shade trees, ornamental and evergreen trees, shrubs and perennials. At time of planting, plants shall provide a min. of 20% visual screen to the homes.

