



**AGENDA
CITY OF CEDAR FALLS, IOWA
PLANNING AND ZONING COMMISSION MEETING
WEDNESDAY, FEBRUARY 24, 2021
5:30 PM AT CITY HALL**

The meeting will also be accessible via video conference and the public may access/participate in the meeting in the following ways:

- a) By dialing the phone number +13126266799 or +19292056099 or +12532158782 or +13017158592 or +13462487799 or +16699006833 and when prompted, enter the meeting ID (access code) 962 7287 1738.
- b) iPhone one-tap: +13126266799,,96272871738# or +19292056099,,96272871738#
- c) Join via smartphone or computer using this link: <https://zoom.us/j/96272871738>.
- d) View the live stream on Channel 15 YouTube using this link: <https://www.youtube.com/channel/UCCzeig5nIS-dIEYisqah1uQ> (view only).
- e) Watch on Cedar Falls Cable Channel 15 (view only).

To request to speak when allowed on the agenda, participants must click "Raise Hand" if connected by smartphone or computer, or press *9 if connected by telephone. All participants will be muted by the presiding officer when not actually speaking.

Call to Order and Roll Call

Approval of Minutes

1. Planning and Zoning Commission Regular Meeting Minutes of February 10, 2021.

Public Comments

Old Business

- 2. College Hill Neighborhood Overlay Review (Driveway Only; Case #DR20-008)**
Location: 704-706 W 28th Street
Applicant: Wes Geisler
Previous discussion: January 27, 2021, Tabled on February 10, 2021
Recommendation: *Recommend Approval with conditions*
P&Z Action: *P&Z has the option to remove item from the table and make a recommendation*

New Business

- 3. Central Business District Overlay Site Plan Review (Case #SP20-012)**
Proposal: New Mixed Use Building
Location: 7th & Main
Applicant: Hi Yield, LLC (Brent Dahlstrom), Rose Schroder, AICP Bolton & Meck, Inc, and Slingshot Architecture
Previous Discussion: None
Recommendation: *Introduction and Discussion*
P&Z Action: *Review and Continue Discussion at March 10, 2021 P&Z meeting*
- 4. Central Business District Overlay Design Review (Case #DR21-001)**
Proposal: Remodel of Existing Building
Location: 4th & Main
Applicant: Stone and Terrace LLC, Cory Kent

Previous Discussion: None

Recommendation: *Introduction and Discussion*

P&Z Action: *Review and Continue Discussion at March 10, 2021 P&Z meeting*

5. Land Use Map Amendment & Rezoning from M-1 to HWY-1 (Case #RZ21-002)

Location: 7009 Nordic Drive

Applicant: Lydia Brown; Skogman Realty

Previous Discussion: None

Recommendation: *Review and Set Date for Public Hearing for March 10, 2021 P&Z meeting*

P&Z Action: *Review and hold public hearing at March 10, 2021 P&Z meeting*

Adjourn to Work Session

Reminders:

* March 3 (work session) and March 10 (regular meeting) - Planning & Zoning Commission Meetings

* March 1 and March 15 - City Council Meetings

**Cedar Falls Planning and Zoning Commission
Regular Meeting
February 10, 2021
Via Videoconference
Cedar Falls, Iowa**

MINUTES

The Cedar Falls Planning and Zoning Commission met in regular session on February 10, 2021 at 5:30 p.m. via videoconference due to precautions necessary to prevent the spread of the COVID-19 virus. The following Commission members were present: Hartley, Holst, Larson, Leeper, Lynch and Saul, Schrad. Prideaux and Sears were absent. Karen Howard, Community Services Manager, Michelle Pezley, Planner III and Chris Sevy, Planner I were also present.

- 1.) Chair Leeper noted the Minutes from the January 27, 2021 regular meeting are presented. Ms. Saul made a motion to approve the Minutes as presented. Mr. Hartley seconded the motion. The motion was approved unanimously with 7 ayes (Hartley, Holst, Larson, Leeper, Lynch, Saul and Schrad), and 0 nays.
- 2.) The first item of business was a presentation regarding the draft of the *Imagine College Hill! Vision Plan*. Chair Leeper introduced the item and Ms. Pezley provided background information. Mary Madden and Geoff Ferrell were present to discuss the project. Ms. Madden noted that City Council initiated the project in January of 2020 when they adopted a set of priorities for updating the College Hill Plan. She displayed a rendering of the boundaries of the area being discussed and explained what is in the vision plan. This project is meant to continue the good work of the College Hill Partnership and to define the public realm with active building facades, improved sidewalks and additional street trees. The plan will also work to create more walkability and support a multi-modal environment. Creation of gateways will provide a sense of arrival and there will be exploration of opportunities for new and improved public spaces. Establishing a true bicycle network and coordination of parking supply management would also be a plan recommendation.

Ms. Madden described the analysis process and how they interacted with the public to get feedback with regard to changes they would like to see. An economist looked at the demographics, housing market and retail market in Cedar Falls as a whole as well within the College Hill area. A transportation engineer looked at mobility issues to help decide what is needed. A virtual charrette took place to help allow the public to be involved in the process and provide feedback. She also discussed current realities with housing and commercial markets with regard to the College Hill area, including parking issues, creating open space and a bigger retail base to provide greater diversity.

Ms. Madden discussed the overall strategy needed to create an improved pedestrian environment, increase development potential and appropriate parking and parking management. She discussed community aspirations that were received during the charrettes, which included stabilizing and enhancing neighborhoods, concentrate and intensify student housing near campus, connecting the upper and lower hill, treating natural areas as amenities, better management of parking, improved walkability and biking and increasing retail and dining options. They looked at what the areas are like now and what they might look like in the future and provided examples of how the use may be the same but how character is different. She discussed the different character areas they defined in their research and showed a rendering of their locations.

Mr. Ferrell spoke about the vision for the area and how the idea is not ultimately to change it,

but to enhance it. He provided examples of several “what if” scenarios to show illustrations of potential enhancements and improvements throughout the College Hill area.

Ms. Madden reviewed the recommendations and the next steps that would happen in the near term. She covered some frequently asked questions and provided answers and explanations. She also noted that this is currently a public review draft and that they would still like feedback from people who have suggestions, questions or comments. She covered a brief timeline for the plan.

Mr. Leeper asked where the public can find a copy of the report. Ms. Madden explained that it will be uploaded to the OurCedarFalls.com website. Ms. Pezley noted there will also be copies at the Cedar Falls Library and City Hall. Ms. Lynch expressed gratitude for the work that has been done with the project.

Ms. Saul asked what is meant by a parking district. Ms. Madden explained that in some communities a parking management district has been created to provide on-street parking permits for those who live in the area.

Mr. Schrad asked if this would be considered a TIF district. Ms. Howard stated that the main area of College Hill is already a TIF district.

- 3.) The next item for consideration by the Commission was a College Hill Neighborhood Overlay Review for 704-706 W. 28th Street. Chair Leeper introduced the item and Mr. Sevy provided background information. This item is being brought back to the Commission from the last Planning and Zoning meeting. Mr. Sevy explained that the proposal is to add bedrooms and other appropriate updates to the property with the intent to double the rental occupancy of the property. A further consideration is the additional driveway that was permitted and constructed but should have been reviewed by the Commission. Each unit currently has two bedrooms and 760 square feet of finished floor space. The proposed remodel would bring each unit to four bedrooms and a total of 1,520 square feet. The addition of bedrooms in the College Hill Neighborhood Overlay District requires review and approval by the Planning and Zoning Commission. The intent of the District is to preserve neighborhood character, stabilize neighborhoods and provide more scrutiny with changes in density and other factors that affect neighborhoods in the Overlay.

Mr. Sevy discussed the change in density and explained that the original design and intent of the property was not to accommodate 8 people, and that doubling the occupancy will have external effects that are anticipated to detract from the character of the neighborhood. Those factors include increase number of cars associated with the property, increased traffic from those cars and visitors, increased need for parking accommodations that will reduce mature trees and usable outdoor space and wear and tear of higher occupancy on a modest sized property. He displayed a map of the neighborhood showing the occupancy level of the homes in the area, and clarified that the levels may change upon sales of properties. He discussed the driveways associated with the property and open space/landscaping requirements. Although the new driveway was not approved by the Commission and is slightly larger than allowed, for practical reasons, the owner will not be expected to reduce the width of the driveway. However, landscaping requirements will need to be met. Staff recommends denial of the request to add bedrooms, but also recommends that the Commission retroactively approve the second driveway with the conditions that landscaping be added to restore what was removed. He clarified that the denial of the additional units is based on density, not on making improvements to the property.

Mr. Schrad asked if this property would be allowed if it started with one bedroom per unit upgrading to three. Mr. Sevy explained the process of reviewing the criteria and how that

would be determined. Mr. Larson asked about the retroactive approval of the driveway and whether the permit has been opened and closed. He also asked if the landscaping item was tied into that part of the request. Mr. Sevy replied that he was not certain if the permit had been closed, but the work has been finished on the driveway. He indicated that the landscaping recommendation was related to the parking.

Wes Geisler, 5373 S. Hudson Road, addressed a complaint from a nearby neighbor about on-street parking, stating that he believes the tenants would choose to park in tandem in the driveway as opposed to parking further away on the street. He provided information on comparable properties nearby to show why he feels his project should be allowed. He also noted that he intends to replace the landscaping as soon as the weather cooperates.

Bob Diedrichs, owner of 2804 Walnut Street, commented that the College Hill Overlay Plan was a way for the neighbors to know what they could and couldn't do within the area. He stated that if the project does not fall within the guidelines of the plan, exceptions should not be made or there is no purpose to the plan.

Sue Doody, 2816 Walnut Street, stated concerns with the project. She feels that this project is counter to the way the duplex was originally designed to create two modest sized units. She also believes that the change that required all parking to be concrete is creating more flooding issues on her street when it rains. If more people and more parking continued to be added, this will affect homes in the area. She also noted that during the development of the College Hill Plan that one of the goals was to maintain a diversity of housing for many different people, not just college students. She feels that this is an increase to density but will reduce the diversity of housing in the area.

Mr. Holst made a motion to approve the driveway with the recommended landscaping requirements. As there was no second the Commission continued discussion.

Mr. Larson noted that he is not comfortable retroactively approving the driveway and then approving requirements that have not been done. He moved to permanently table the driveway item. Ms. Lynch seconded the motion.

Ms. Howard asked for clarification on what the Commission would intend by tabling the item. Mr. Larson explained that he feels that the item is a moot point at this time and he feels that this is the way to dismiss the item. Mr. Holst stated that he believes that the applicant needs to have some closure stating that the City issued the permit prior to Commission reviewing it so this would be the opportunity for the Commission to make a recommendation to Council so that the matter could be settled. He stated that he believes it is the Commission's role to give a recommendation on this matter. Mr. Larson stated that he doesn't feel comfortable approving something that is in violation. He doesn't feel the Commission should approve or deny the item. Ms. Howard clarified the Commission role in this matter as a recommending body to the Council. It is the City Council that ultimately approves or denies or approves with conditions. Mr. Larson asked if it would be appropriate to defer the item until the item could be discussed with the City Attorney.

Mr. Larson made the motion to table the item regarding the driveway until it can be discussed with the City Attorney. Ms. Saul seconded the motion. The motion was approved with 4 ayes (Larson, Lynch, Saul and Schrad) and 3 nays (Hartley, Holst and Leeper).

Discussion regarding density resumed. Mr. Holst noted that he was contacted by Melanie Griffith and a letter was distributed to the Commission. He did encourage her and neighbors to attend the meeting to voice their concerns. Mr. Schrad also noted his concern with the density. Mr. Sevy and Ms. Howard gave further insight into the added scrutiny for housing in the

College Hill Overlay District.

Ms. Saul made a motion to approve the added bedrooms. Mr. Larson seconded the motion.

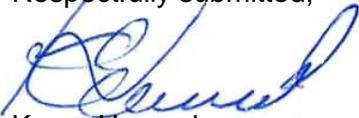
There was brief discussion regarding the intent of the overlay and thoughts regarding the project.

The motion was denied with 3 ayes (Larson, Lynch and Saul), and 4 (Hartley, Holst, Leeper, and Schrad) nays.

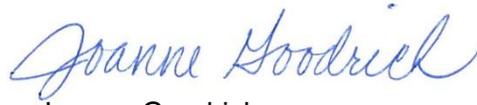
- 4.) As there were no further comments, Ms. Lynch made a motion to adjourn. Mr. Hartley seconded the motion. The motion was approved unanimously with 7 ayes (Hartley, Holst, Larson, Leeper, Lynch, Saul and Schrad), and 0 nays.

The meeting adjourned at 7:30 p.m.

Respectfully submitted,



Karen Howard
Community Services Manager



Joanne Goodrich
Administrative Assistant



DEPARTMENT OF COMMUNITY DEVELOPMENT

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MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Michelle Pezley, Planner III
DATE: February 3, 2021
SUBJECT: Mixed Use building at 7th, Main, and Washington Streets Site Plan (SP20-012)

REQUEST: Site Plan and design review approval for construction of a two story mixed use building

PETITIONER: Hi Yield, LLC (Brent Dahlstrom), Rose Schroder, AICP Bolton & Menk, Inc, and Slingshot Architecture

LOCATION: 123 W. 7th Street between Main and Washington Streets

PROPOSAL

The petitioner proposes to demolish the former First Baptist Church at 123 W. 7th Street and construct a new mixed use (commercial and residential) building between Main and Washington Streets. The three lots are approximately 0.6 acres in area.

The proposed building and improvements include a two-story, 25,778 square foot mixed use building at 7th, Main and Washington Streets. The applicant proposes the first floor to consist of two retail spaces, one which is proposed for a grocery store (Rooted Carrot Co-op) with back of house operations (7,485 square feet), which will front on 7th Street, and a 1,400 retail space (use to be determined), which will front on Main Street. The ground floor also has a shared trash area, mechanical room, two stairways, one elevator, and the lobby to the second story apartments. The second floor consists of sixteen apartments with three- two bedroom and 13- one bedroom apartments. The petitioner also proposes solar panels on the roof with a green space and covered amenity deck. The plan also includes a parking lot abutting 7th and Washington Street and site improvements.



The proposal includes the following exceptions from Cedar Falls Zoning Code as permitted under Sec. 26-189(l).

- Building Setback: Sec. 26-189 (h)(1). Minimum setback is zero; maximum setback is ten feet; applicant proposed 94 feet from Washington Street.
- Windows and Transparency: Sec. 26-189 (i)(5). 70% transparency for main floor windows; applicant proposes 58% along 7th Street
- Building Entries: Sec. 26-189 (i)(9): Storefronts over 100 feet or more, a visible entryway shall be provided a minimum of every 50 feet; applicant proposes one entrance along 7th Street façade.
- Parking Lot Setback: Sec 26-220(a)(2)(b): 3 foot setback from adjacent commercial property; applicant proposes zero setback.

BACKGROUND

The three lots are part of the Auditors Plat No. 19 Cedar Falls which was platted in 1921. The existing Frist Baptist Church building was built in the 1952. At that time, the alley was moved from the center of the block to the west. In 1977, the City vacated a portion of the alley to the First Baptist Church to build an addition in the alley. The site is within the C-1 Commercial Zoning District and within the (CBD) Central Business District Overlay.

A courtesy mailing was sent to the neighboring property owners on Tuesday, February 16, 2021.

Additionally, staff sent a courtesy copy of the application to Community Main Street. Please see attachment for Community Main Street comments.

ANALYSIS

All new building construction on properties located in the Central Business District Overlay must be reviewed by the Planning & Zoning Commission and approved by the City Council. This proposal qualifies as a substantial improvement under Section 26-189 CBD, Central Business District Overlay. This review entails a site plan review and an architectural design review for architectural compatibility with surrounding structures.

Per the CBD Overlay, on-site parking is not required for principal permitted commercial uses. The parking requirement for residential uses in the CBD Overlay is one parking space per bedroom and one visitor parking space per five units. On-street parking spaces that abut the property may be counted toward the visitor parking requirement, similar to what has been approved for other recent downtown projects.

Following is a review of proposed building according to the zoning ordinance standards:

Proposed Use: The proposed commercial is permitted in the C-1 Commercial District. Residential uses are encouraged in upper levels of downtown mixed-use buildings, subject to review by the Planning & Zoning Commission and approval by the City Council. **Uses permitted.**

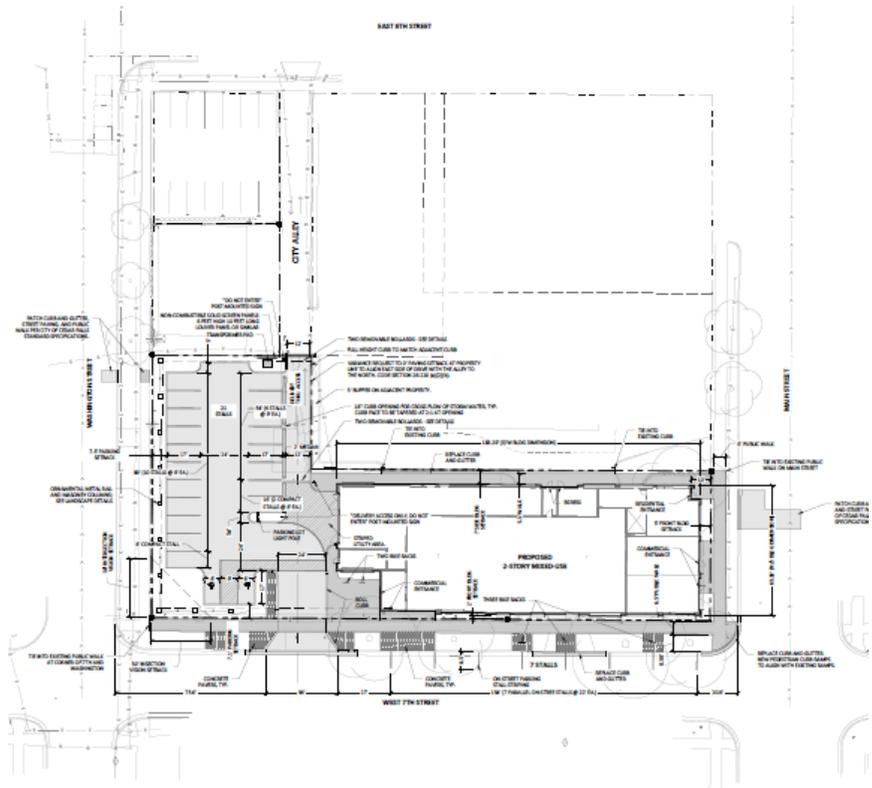
Building Location: There are no building setbacks in the C-1 Commercial District. The CBD Overlay has a setback minimum of zero feet and maximum of ten feet from any street-side lot line (Sec. 26-189 (h)(1)). The applicant proposes a two foot setback from 7th Street, five foot setback from Main Street; 94 foot setback from Washington Street; and seven foot side setback from the Nelson Funeral Home property to the north. The applicant has requested an exception to the code as outlined under Sec. 26-189(l) to have the building farther away from Washington Street than allowed to incorporate off-street parking.

○ According to City Code Sec. 26-189(l), to be granted an exception the applicant must:

- (1) Provide a detailed explanation of why the specific standard cannot be met;
- (2) Explain how the proposed building is uniquely designed to fit the characteristics of the site and the surrounding neighborhood, is consistent with the purpose and intent of the CBD, Central Business District Overlay, and will not detract from or be injurious to other properties in the vicinity;
- (3) The Planning and Zoning Commission or City Council may require an alternative design solution that is consistent with the intent of the standard being modified.

The applicant provided the following explanation:

An exception is requested to Section 26-189(1) relative to the Washington Street side of the site. Creating a larger building that would meet the setback on all three sides of the development site, spanning the entirety of the block running east-west in not practical. Expanding the building in such a way to meet the standard for the mixed-use of the building would create a hardship to meet the requirement for on-site parking. In response, the design seeks to provide an efficient layout for both commercial use and at-grade parking, allowing opportunity for future building development along Washington Street. Placing the building tight to Main Street contributes to the scale, walkability, and integration with the historic downtown, and creates a strong “gateway” as one approaches the district from the south. Establishing a rhythm of columns and fencing within a perimeter landscaped buffer provides an ‘edge’ along Washington and 7th Streets while providing an enhanced pedestrian experience.



A decorative fence consisting of a brick column with masonry cap and metal fence has been added along the parking lot edge on the westerly portion of the site to provide an urban wall edge treatment to the adjacent surface parking lot. Spacing is provided between fence section to accommodate the planting of street trees. A detail of the column and fence are provided. See Sheet C100, Site Layout and Sheet L100, Planting Plan and Sheet L200, Planting Details.

Staff finds that it is challenging to meet this standard as the site has street frontage on three sides with a shallow lot depth. Since the original layout of the block were changed years ago eliminating the alley and reducing the depths of the lots on the west and south sides of the block, it is difficult to fit a building and off-site parking on this site. Noting in the *Imagine Downtown! Cedar Falls Downtown Vision Plan* that surface parking lots along the streets create an unfriendly environment for pedestrians, the applicant has provided additional screening, which includes a metal/brick fence and additional landscaping to also screen and buffer the parking lot from the sidewalk. This will create a safer and more pleasant environment for pedestrians along 7th and Washington Streets. **Staff recommends approval of this exception to the maximum setback standard. The 7th Street, Main Street and side setbacks meet the standards.**

Parking: A principal permitted commercial use in the Central Business District has no parking requirement; however, the residential use is subject to parking standards and review by the Planning and Zoning Commission and City Council.

Setback: A parking lot in a commercial district is required to be five feet from a public right-of-way and three feet from an alley or adjacent commercial property [Sec. 26-177(h)(2)]. The site plan shows a seven foot setback along 7th Street and a seven and half foot setback along Washington Street to accommodate the additional landscaping and street wall proposed to mitigate the impact of the surface parking lot along the street as noted above. The applicant, as indicated in the application, requests an exception to the setback of the parking lot along its eastern and northern edge so that the north-south access drive intended for grocery store deliveries lines up with the public alley to the north. **Staff recommends approval of this exception as it will allow adequate space for vehicular movement in the parking lot and along the one-way drive to accommodate deliveries on this tight urban site.**

Delivery access: The applicant proposes a one-way delivery access from 7th Street connected to the public alley that is north of the site. The applicant proposes four removable bollards that will prevent cut-through traffic and to keep the public from driving the wrong way down the one-way delivery access. The applicant proposes the bollards to match the removable bollards that were recently installed in the 100 block alley downtown close to 1st Street. The bollards will be removed during deliveries to allow trucks to stop and unload goods into the grocery stores and then continue to the north through the public alley. This will prevent delivery trucks from stopping in the street to make deliveries. It is expected that the bollards will be put back into place once the delivery truck exits the site. The applicant also proposes to install a “do not enter” sign at the end of the public alley.

Parking lot design: The parking spaces as shown on the site plan meet the commercial spacing requirements as outlined in Section 26-(e)(6)(a), which is nine feet by 17 feet with a two foot overhang as allowed per Section 26-220(e)(11). The applicant also proposes three compact

parking spaces [meeting the limit of 15% per 26-220(e)(6)(a)]. The applicant proposes to screen the parking lot from the public rights-of-way along Washington Street and part of 7th Street with a decorative brick and metal fence, landscaping, and trees. **Parking lot design requirements are met.**

Number of spaces: The applicant proposes 19 bedrooms for the 16 apartments located on the second floor, which will require 19 on-site parking spaces for the residents and five visitor parking spaces. There is no parking requirement for the commercial space within the building. There are seven on-street parking spaces next to this property that will satisfy the five required visitor parking requirement.

The commercial tenant, Rooted Carrot Co-op, submitted a letter and several other supporting letters on February 4, 2021, stating that 21 off street parking spaces are needed for their use and success of their business. The applicant has indicated that the parking requirement of 19 off-street spaces if met with their submitted site plan and there should be no need to reserve the parking for the residents. The business hours for the grocery store are projected to be 7 am to 10 pm. It is, therefore, not realistic that the parking spaces required for the residential tenants be shared with the grocery store. It is clear from discussions with the applicant and with representatives from the co-op grocery that the parking will be reserved and signed for grocery store customers during business hours. **If the parking lot that is proposed next to the store will be dedicated and reserved for grocery store customers, then the requirement for parking for the residents is not met. Alternative parking options must be identified by the applicant to satisfy the parking requirement for the residential units proposed.**

Staff notes that providing off-site parking beyond what is required in the code is certainly allowed. It makes sense for the applicant to provide dedicated parking for the co-op grocery. For many retail, restaurant and office uses, it is quite reasonable for customers and employees to park and walk from on-street parking spaces or from the City's public parking lot located several blocks to the north. However, it is likely that grocery store customers would expect parking next to the store as confirmed by the letters submitted by the co-op grocery. There is no doubt that reserving the parking lot next to the building for customers will be beneficial to the success of the grocery store. The question then remains where the apartment residents will park.

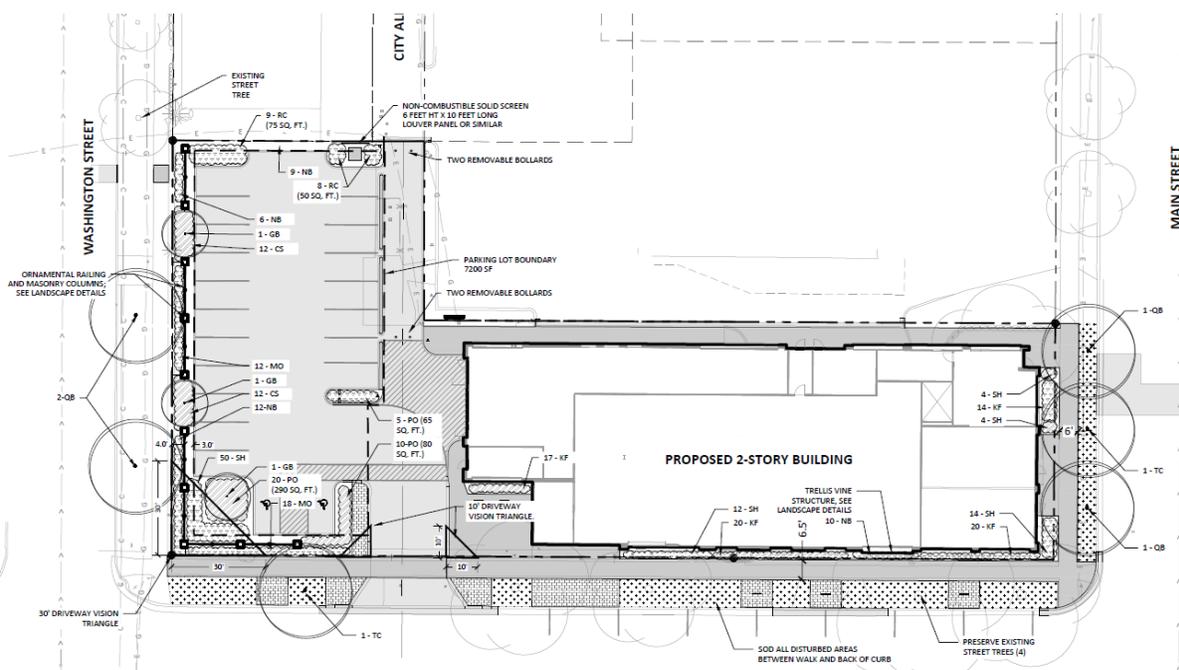
Staff has suggested to the applicant that the vacant lot, owned by the applicant, located on the northwest corner of the block at 6th and Washington Streets could be improved to City standards and tied to this site plan approval through an agreement with the City. It appears that it could accommodate approximately 12 parking spaces once improved. This lot is currently vacant, but is apparently being used as an ad hoc parking area for unspecified users. Staff notes that parking is only allowed as an accessory use, so is not allowed on a lot without a principal use. However, if tied to this site plan approval through an agreement with the City, it could satisfy at least a portion of the required parking for the residential units. While the applicant is willing to use the vacant lot for parking for the project, they have indicated reluctance to entering into such an agreement or to improving the parking lot similar to how the parking lot is being improved for the proposed grocery store parking. Staff notes that without an agreement there is no guarantee that parking will be available for the residents of this building. **Residential parking requirement is not met. Staff recommends that the site plan be revised to show where the 19 residential parking spaces will be located.**

Streetscaping: The site plan also identifies improvements made to the public sidewalk areas along Washington, 7th, and Main Streets. The applicant proposes to add pavers along 7th Street and they will match the pavers that have been installed on Main Street with the new streetscape improvements. The applicant will be responsible for replacing any sections of the sidewalk if any of the sidewalks are damaged due to construction of the new building.



The applicant proposes a fence along Washington Street and part of 7th Street to help screen the parking lot from the public right-of-way. The applicant proposes the fence to be a mix of galvanized steel railings connected to larger brick piers spaced approximately 17 feet apart extending along the property boundary with the public sidewalk. The applicant proposes the brick piers to match the brick on the building. Staff recommends that instead of bare galvanized steel that the decorative fencing be black-coated steel to create a more finished look more in keeping with its downtown setting. The applicant also proposes to keep the existing 7th Street trees within the right-of-way and add trees within Washington and Main Street rights-of-way. The applicant will be responsible to replace any street tree that is damaged along 7th Street during construction. Furthermore the applicant agreed to match the pavers along 7th Street to match the pavers that were installed in the Main Street improvement project. Staff recommends approval, subject to change from bare galvanized fencing to black coated steel fencing.

Landscaping/Open Space: The landscaping plan is attached in the packet and shown below. The C-1 Zoning District does not have any specific regulations regarding landscaping requirements. Parking lots have landscaping requirements per Section 26-220, which includes screening from the right-of-way. The applicant proposes a mix of shrubs, grasses, perennials, and trees along with the decorative fence.



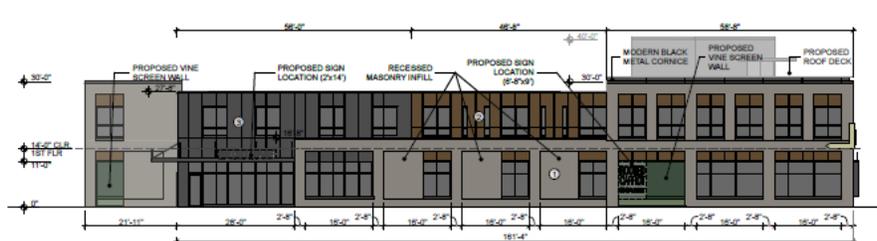
As discussed above, the applicant proposes a fence along Washington and 7th Street to provide a visible barrier between the sidewalk and the parking lot. The applicant proposes Feathered Reed Grass between the fence and the public sidewalk. There will be two breaks in the fence line to fit Autumn Gold Ginkgo trees, with Bloodtwig Dogwood shrubs around the trees. The applicant also proposes Feathered Reed Grass, Prairie Dropseed, and Tiny Winebark around the building. The applicant provided a summary of the planting schedule for this project.

Landscaping satisfied.

The petitioner also proposed green space on the roof with a covered amenity deck that the residents will have access to as shown on the floor plan. Design details of the green roof plantings will be required with the construction drawings submitted for the building permit.



(1) EAST ELEV. BRICK MASONRY - 88% WOOD PANEL - 20% METAL PANEL - 14% SCALE: 1" = 20' STOREFRONT AS SHOWN (BW 2 & 10) - 81%



(2) SOUTH ELEV. BRICK MASONRY - 51% WOOD PANEL - 20% METAL PANEL - 29% SCALE: 1" = 20' STOREFRONT AS SHOWN (BW 2 & 10) - 56% TOTAL STOREFRONT INCLUSIVE OF FUTURE AVAILABLE (BW 2 & 10) - 85%



(3) WEST ELEV. BRICK MASONRY - 54% WOOD PANEL - 11% METAL PANEL - 35% SCALE: 1" = 20'



(4) NORTH ELEV. BRICK MASONRY - 49% WOOD PANEL - 29% METAL PANEL - 22% SCALE: 1" = 20'

Building Design and Style: Section 26-189(i), Central Business Overlay District requires a design review of various elements to ensure that the proposed improvements are architecturally compatibility with surrounding structures.

(1) **Proportion:** "The relationship of width and height of the front elevations of adjacent buildings shall be considered in the construction or alteration of a building. An effort should be made to generally align horizontal elements along a street frontage, such as cornice lines, windows, awnings and canopies. The relationship of width and height of windows and doors of adjacent buildings shall be considered in the construction or alteration of a building. Particular attention must be given to the scale of street level doors, walls and windows. Blank walls at the street level are to be discouraged. Elements such as windows, doors, columns, pilasters, and

changes in materials, artwork, or other architectural details that provide visual interest must be distributed across the façade in a manner consistent with the overall design of the building.”

The property is within the C-1 Zoning District which has the height limit of two stories or 35 feet in height, whichever is lower. The applicant is removing a three story building and replacing the existing building with a two story building. The applicant proposes the new building to have roof top solar panels, stair and elevator access, covered deck, a lounge and open space. While the stair and elevator tower will extend above 35 feet, these types of elements are allowed to exceed the height limit. The applicant has asked for an exception to the height to allow the projection. **Height standard is met.**

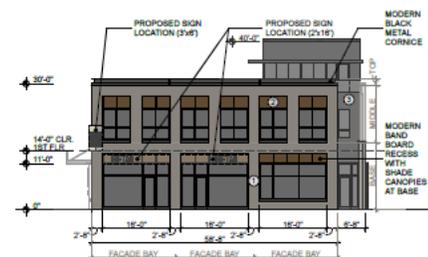
The applicant proposes a building that considers the surrounding structures and complements other buildings north of the site along Main Street. The applicant proposes a building that does avoid large blank walls space. The site is along the north edge of the CBD and a block away from the Main Street parkade. The block was not originally built with storefront commercial buildings. The building to the north is residential in character and is currently used as a funeral home. There is a gas station at the north-east corner of the block. The school that is to the south is the closest in design to the proposed building. The school as a two story flat roof with change of bricks to help distinguish different parts of the building.

The proposed building, while different than any other buildings within the block, is more in keeping with the Downtown Vision Plan and the CBD code. The Downtown Vision Plan encourages expansion of the Main Street parkade character into this block with mixed-use buildings with storefronts on the main floor and residential units above. The building has a modern design aesthetic, but creates a more traditional pattern of windows that align horizontally and vertically across the façade. The windows on the Main Street façade have an element of traditional design with the storefront windows which also are on the 7th Street façade. **Staff finds that the proposal meets the Proportion criterion.**

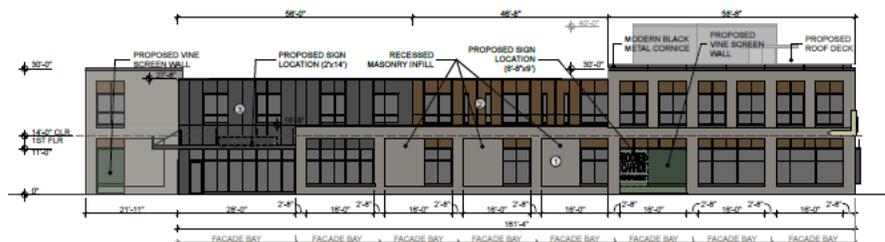
(2) Roof shape, pitch, and direction: “The similarity or compatibility of the shape, pitch, and direction of roofs in the immediate area shall be considered in the construction or alteration of a building.”

The applicant proposes the building to have a flat roof which is consistent with the existing downtown roof shapes, pitches, and directions. **The roof shape, pitch, and direction criterion is met.**

(3) Pattern: Alternating solid surfaces and openings (wall surface versus doors and windows) in the front facade, sides and rear of a building create a rhythm observable to viewers. This pattern of solid surfaces and openings shall be considered in the construction or alteration of a building.



(1) EAST ELEV.
BRICK MASONRY - 88%
WOOD PANEL - 20%
METAL PANEL - 14%
SCALE: 1" = 20'
STOREFRONT AS SHOWN (BW 2' & 10') - 81%



(2) SOUTH ELEV.
BRICK MASONRY - 51%
WOOD PANEL - 20%
METAL PANEL - 29%
SCALE: 1" = 20'
STOREFRONT AS SHOWN (BW 2' & 10') - 58%
TOTAL STOREFRONT INCLUSIVE OF FUTURE AVAILABLE (BW 2' & 10') - 85%

The building is designed with a traditional storefront facade facing Main Street. The entrance to the residential lobby is also along this façade, but recessed about 5 feet to distinguish it from the entrance to the retail space. Elements of the Main Street (east) façade are repeated along the 7th (south) and Washington Street (west) facades. The street-facing facades include raised and recessed portions of the facade wall to interrupt the massing of the wall. **The pattern criterion is met.**

(4) Building Composition:

- a. *To create visual interest and visually break up long building walls, facades on buildings greater than 50 feet in length shall be divided vertically into bays. Façade bays shall be a minimum of 20 feet wide and a maximum 40 feet wide. The bays shall be distinctive but tied visually together by a rhythm of repeating vertical elements, such as window groupings, pilasters, window bays, balconies, changes in building materials and textures, and/or by varying the wall plane of the façade.*
- b. *To avoid flat, continuous, and overly long upper floor facades, the maximum length of a wall plane of the façade is 60 feet. Articulation between continuous upper floor façade sections shall be accomplished by recessing the façade one-foot minimum for a distance of at least ten feet. This recessed section would count as a façade bay per paragraph (i), even if the width is less than 20 feet.*
- c. *Storefronts in mixed-use buildings shall be distinguished from the upper floors by a horizontal element, such as a cornice, band board, or soldier course to create a distinctive base to the building.*
- d. *For all mixed-use and commercial buildings, the minimum ground floor, floor-to-structural ceiling height is 14 feet.*

The building will have three street facing facades along 7th Street, Washington Street, and Main Street. The proposed building is approximately 65 feet eight feet wide along Main Street and approximately 161 feet along 7th Street. The applicant proposes the Main Street façade to be broken into three bays that are approximately 20 feet wide, including the brick portions of the façade between the window bays. The bay pattern from Main Street is repeated on the southeast corner of the 7th Street façade. Additionally, the applicant also added six additional bays along 7th Street that range from approximately 20 feet to 30 feet in width.

The applicant designed the second story to be a mix of metal and wood to provide a vertical break to vary the wall plane of the 7th Street façade. The applicant also proposed the second story windows to align with the main story windows with smaller windows to provide the vertical bay connection.

The applicant designed the building to have a horizontal band board to distinguish the upper and lower elevations. The elevations show that lower floor is 14 feet tall. **Based on all these factors, staff finds the building composition criteria are met.**

(5) Windows and Transparency: *The size, proportion, and type of windows need to be compatible with existing neighboring buildings.*

- a. *A minimum of 70% of the storefront area between 2 and 10 feet in height above the adjacent ground level shall consist of clear and transparent storefront windows and doors that allow views into the interior of the store. The bottom of storefront windows shall be no more than 2 feet above the adjacent ground level, except along sloping*

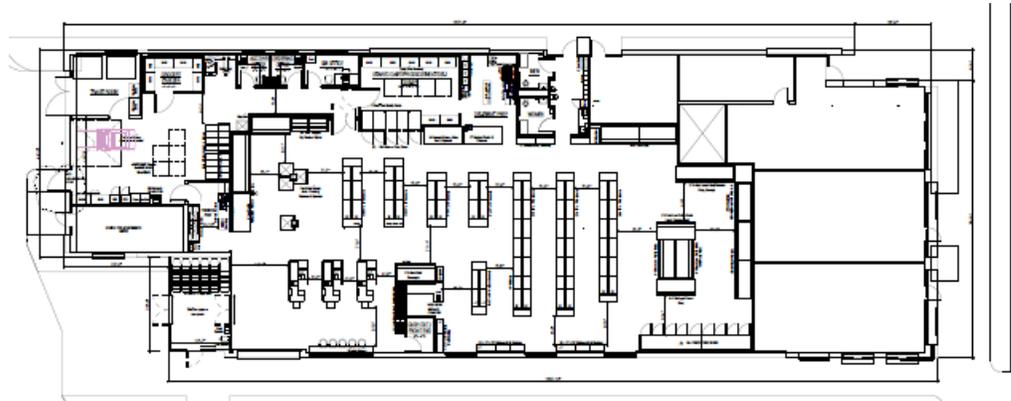
sites, where this standard shall be met to the extent possible so that views into the interior of the store are maximized and blank walls are avoided. Exceptions may be allowed for buildings on corner lots where window coverage should be concentrated at the corner, but may be reduced along the secondary street façade, and for repurposing of buildings not originally designed as storefront buildings (e.g. repurposing of an industrial or institutional building).

- b. Transom windows are encouraged above storefront display windows. Glazing should be clear and transparent.

81% of the storefront level on the Main Street façade will be comprised of clear and transparent glass. The applicant proposes 58% of the 7th Street façade to be comprised of clear and transparent glass. The applicant has asked for an exception for this criterion for the 7th Street façade. The applicant provides the following explanation for the exception:

Considering the standard, our primary streets are known to be Main Street & Washington Street, with West 7th Street considered secondary. Understanding the desire for the West 7th Street facade to provide more transparency and view inward, the design team has revised the building design taking into consideration the tenant floor plan layout. This has been accomplished by increasing views into the store interior from the adjacent exterior pedestrian realm. Providing additional glass within the storefront conflicts with the function of the tenant’s operation and could damage product. The tenant layout concept has been included as a reference. The facade bays have been configured and sized such that the metal panel and recessed brick infill could be replaced to accommodate additional visual transparency along the south elevation commercial ground level if the building were ever reconfigured for different uses and/or tenant layouts. Additionally, these locations are detailed in such a way that the sill beneath the infill locations could be removed making way for future retail entries. See page 3 of the architecture

As mentioned above, according to City Code Sec. 26-189(I), the applicant may ask for an exception for the window coverage for buildings at street corners. The applicant has designed the 7th



Street Façade to meet the unique shelf space and storage needs for this small format grocery store (see interior layout above and included in your packet). To mitigate for the lower window coverage along this façade, the applicant proposes insets within the masonry to allow easier modification to the 7th Street façade in the future, to add windows and doors. Staff finds that the architect has found a good balance between façade transparency and meeting the unique needs of a grocery store tenant. Given this is a corner building with the window coverage standard met in the primary street façade and windows concentrated at the corner, **Staff recommends approval of this exception to the windows and transparency criterion for 7th Street Façade. Staff finds that the criterion is met for the Main Street Facade.**

- (6) **Materials and texture:** *The similarity or compatibility of existing materials and texture on the exterior walls and roofs of the buildings in the immediate area shall be considered in the construction or alteration of a building. A building or alteration will be considered compatible if the materials and texture used are appropriate in the context of other buildings in the immediate area. Street-facing facades shall be comprised of at least 50% brick, stone, or terra cotta. Side and rear walls shall be comprised of at least 25% brick, stone, or terra cotta. These high quality materials should be concentrated on the base of the building.*

The applicant proposes the solid portion (not including window area) of both Main Street and 7th Street facing facades to be at least 51% of white/grey/cream full brick veneer. The brick is concentrated on the base of the building and the main floor elevation. The applicant proposes the north elevation to be 49% of brick; and the west elevation to be 51% of brick.

- a. *Fiber cement, aluminum, metal, pre-formed panels, painted wood, or anything similar— Up to 35 percent of any one siding material may be used on the street-facing façade and up to 40 percent of any other sides. These materials are not generally allowed for storefronts. Fiber cement board should be high quality and smooth-faced. Metal shall be heavy gauge and non-reflective. Durability and maintenance of the metal shall be carefully considered if used in high use areas.*



The applicant also proposes metal and a wood panel (a natural wood veneer also known as Parklex Façade in a copper color (note picture to the left). The Main Street façade (east elevation) will consist of 20% wood panels and 15% of the façade will be metal panel. The 7th Street façade (South elevation) will consist of 20% wood and 29% of metal. The applicant proposes the west elevation or the Washington Street façade to consists of 11% wood panel and 35% of metal panels. The rear elevation (north elevation) will consists of 23% wood panel and 28% metal panels. **Material and**

texture requirements are met.

- 7) **Color:** *The similarity or compatibility of existing colors of exterior walls and roofs of buildings in the area shall be considered in the construction or alteration of a building. Buildings in the CBD utilize earth and neutral tones; however, other colors can highlight the architectural features of a building and are acceptable as accents. Accents generally include trim areas and comprise up to 15% of the façade.*

The applicant proposes the building to be in natural tones of the materials; black for the metal; copper for the wood veneer and a light white/grey/cream full brick veneer. **Criterion is met.**

- 8) **Architectural features.** *Architectural features including but not limited to cornices, entablatures, doors, windows, shutters, fanlights and other elements prevailing in the area shall be considered in the construction or alteration of a building. It is not intended that the details of existing buildings be duplicated precisely, but those features shall be suggestive of the extent, nature and scale of details that would be appropriate on new buildings or associated with building alterations.*



The proposed building is more modern in design with fewer architectural embellishments than some of the more distinctive historic storefront facades further north along the Main Street parkade. However, there is not a similar design aesthetic established in this block. While the design is modern, there are significant design details that create a distinctive façade, including the change in color and texture provided by the different façade materials proposed and the layering effect of these materials with the changes in the plane of the façade. There are architectural elements that provide visual relief and interest to the building facades, including variation in materials, recessing windows and doors, addition of projecting canopies, and window and door patterns. **Staff finds that the criterion is met.**

(9) Building entries. *This section applies to new mixed use and commercial buildings.*

a. Primary entries to ground floor building space and to common lobbies accessing upper floor building space shall be located along street-facing facades. For buildings with more than one street-facing façade, entries along facades facing primary streets are preferred. Building entries along rear and side facades or from parking garages may not serve as principal building entries. Buildings with more than three street-facing facades shall have building entries on at least two street-facing sides.

b. For buildings that contain residential dwelling units, there must be at least one main entrance on the street-facing façade or façade facing a prominent residential courtyard that provides pedestrian access to dwelling units within the building. Access to dwelling units must not be solely through a parking garage or from a rear or side entrance.

The Main Street façade includes entries within the storefront bays to the commercial space. The primary entrance to the second story apartments is also located on the Main Street façade leading to the elevator lobby. The applicant has recessed the entrance for the residential to distinguish it from the commercial space. A secondary stair access is located off the parking lot along 7th and Washington Streets.

c. For storefronts with frontage of 100 feet or more, a visible entryway shall be provided a

minimum of every 50 feet.

The applicant proposes one entry per street frontage. The 7th Street elevation is over 100 feet and would require two entrances to meet this criterion. The applicant has asked for an exception for the 7th Street facade.

According to City Code Sec. 26-189(l), to be granted an exception the applicant must:

- (1) A detailed explanation of why the specific standard cannot be met;
- (2) The proposed building is uniquely designed to fit the characteristics of the site and the surrounding neighborhood, is consistent with the purpose and intent of the CBD, Central Business District Overlay, and will not detract from or be injurious to other properties in the vicinity;
- (3) The planning and zoning commission or city council may require an alternative design solution that is consistent with the intent of the standard being modified.

As mentioned above with the window and transparency criterion, the applicant designed the building to meet the needs of the commercial tenant, Rooted Carrot Co-op, a grocery store. With the nature of the grocery store, limiting exits will increase security and create better interior circulation for the store. As stated in the application letter, the applicant proposes one prominent entrance along 7th that will also wrap the southwest corner of the building to provide easy access between the store and the parking lot. Similar to the recesses provided to allow for future windows, one of the bays is recessed to allow for an additional entry on the 7th Street facade if needed in the future. **Staff recommends approval of this exception to the entranceway spacing requirement.**

d. Entryways into a storefront will be at grade with the fronting sidewalks.

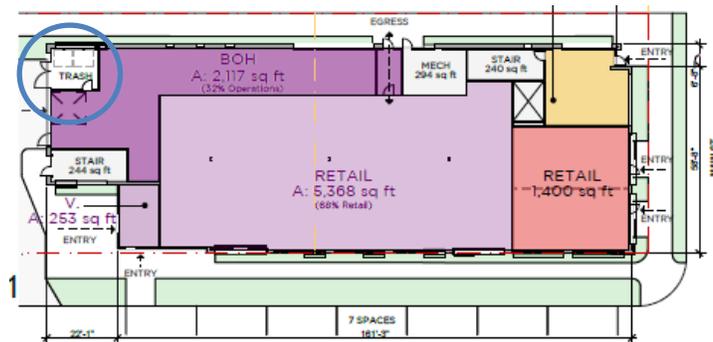
e. Entryways shall be designed to be a prominent feature of the building. The use of architectural features such as awnings, canopies, and recessed entries are encouraged.



The storefront entrances are at grade. The main entryway of the building is placed along 7th Street and facing the parking lot along Washington Street. The second main entryway to the building is along Main Street for the other commercial tenant space. Both entryways are denoted with a flat canopy over the entrance. **The applicant meets this criterion.**

Trash Dumpsters: The applicant proposes the trash dumpster inside the commercial tenant's back of house with access to the outside for the residences. The trash dumpster will be screened by doors. Since this is the only dumpster location for this development, the owner must be vigilant on a schedule to empty these dumpsters and make sure that no excess trash will litter the area.

Dumpster design satisfied.



Storm Water Management: A conceptual storm water management plan has been submitted for review by City Engineering Division staff. The plan is to install an underground detention system within the parking lot off of Washington Street. This detention system will collect all the storm water runoff from the parking lot and buildings. When construction drawings are submitted for the building permit application, a final storm water management plan will need to be submitted for City Engineering Division review and approval. The owner is responsible for the maintenance of the underground detention system. A storm water maintenance and repair agreement will be provided for this project and will need to be approved by City Council prior to a building permit. **Storm water detention plan is acceptable.**

Lighting Plan: The applicant stated in the response to the first review letter that the lighting plan is not fully developed. The applicant proposes that the surface parking lot will be lit with a singular 15-foot tall pole near the center (north/south), with a contemporary architectural-style luminaire. The pole will be steel or aluminum pole and powder-coated black. Staff notes that the light fixture must be fully shielded and downcast. Lighting will be provided at all door locations on the building with a fixture complementary to the building design and materials. Similarly, staff notes that light fixtures must be shielded and downcast to prevent glare and spillover light. In accordance with Sec. 26-125(9), lighting will be designed so that it does not provide any impact to residential uses and will be shown on the building permit submittal.

Signage: *Wall signs shall not exceed 10% of the total wall area, and in no case shall exceed 10% of the area of the storefront. Wall signs on storefronts shall not extend beyond or above an existing sign band or extend over or detract from the architectural features of the building facade, such as cornices, pilasters, transoms, window trim, and similar.*

Placeholders for wall signs for future tenants in both proposed buildings are included on the attached building elevation drawings. The percentages and locations meet the requirements listed above. Permits and a full review of each sign will be required prior to installation. **Criterion met.**



TECHNICAL COMMENTS

City technical staff, including Cedar Falls Utilities (CFU) personnel, has reviewed the proposed site plan. Water, electric, gas, and communications utility services are available in accordance with the service policies of CFU. There is an existing water service located at the corner of Washington St and 7th St that will need to be abandoned and plugged at the main in accordance with CFU service policies. The abandonment and removal of all utilities shall be in accordance with the service policies of CFU.

The developer is showing a proposed under-parking lot storm water detention capable of meeting the City's post construction storm water ordinance requirements of 100 year storm capture and a 2 year release rate, with included water quality control. The City will be reconstructing Washington Street along with storm sewer improvements between 6th and 7th street. The applicant will need to work with the City to ensure that construction on the site is coordinated with the improvements planned in the City right-of-way, particularly for storm water management. After proof of

compliance with the City's post construction storm water ordinance, a Maintenance and Repair Agreement will need to be approved through City Council prior to the issuing any building permits.

STAFF RECOMMENDATION

Staffs recommends gathering any comments from the Planning and Zoning Commission and the public and continuing the discussion at the next Planning and Zoning Commission meeting March 10, 2021 with the following conditions

1. Revised site plan showing the residential parking spaces
2. Conformance to all City staff recommendations and technical requirements.

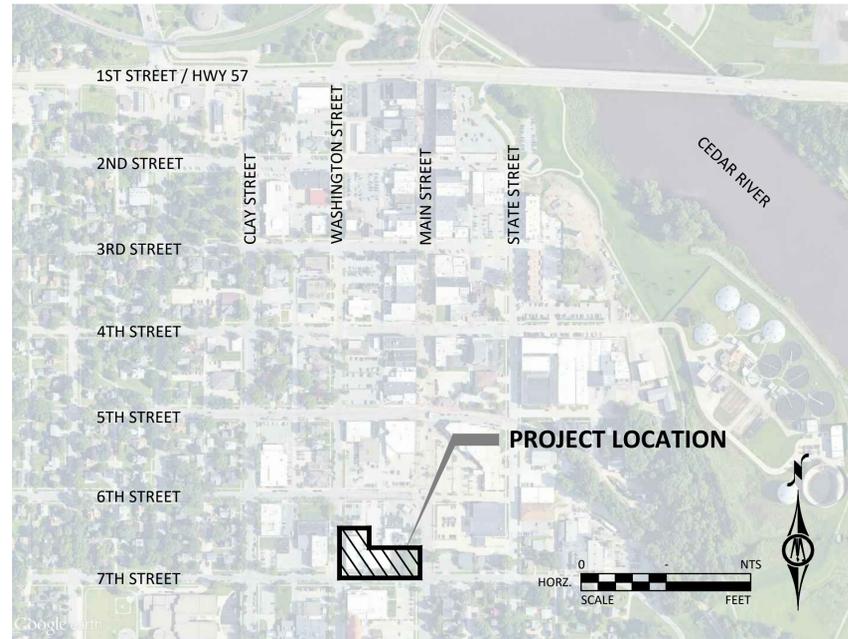
PLANNING & ZONING COMMISSION

Discussion

2/24/2021

7TH + MAIN MIXED USE

123 W. 7TH STREET
CEDAR FALLS, IA



VICINITY MAP: CEDAR FALLS, IA



SITE PLAN APPLICATION #2 DATE: 12/15/2020

PROJECT SUMMARY

PROJECT TEAM

APPLICANT:
ECHO DEVELOPMENT GROUP
604 CLAY STREET
CEDAR FALLS, IOWA 50613
CONTACT: BRENT DAHLSTROM
PHONE: (319) 768-7235

PLAN PREPARER INFORMATION:
BOLTON & MENK
309 EAST 5TH STREET, SUITE 202
DES MOINES, IA 50309
CONTACT: NATE WEITL, PLA
NATE.WEITL@BOLTON-MENK.COM

ARCHITECT
SLINGSHOT ARCHITECTURE
305 EAST COURT AVE
DES MOINES, IOWA 50309
PHONE: (515) 243-0074
CONTACT: ANDREW STITH

SITE SUMMARY

LEGAL DESCRIPTION:
AUDITORS PLAT NO 19 CF LOT 39 LOT 49 & ALL OF
ALLEY ABUTTING UPON & LYING BETWEEN LOTS 39 &
40 & 49. AUDITORS PLAT NO 19 CF LOT 38.

PROPERTY ADDRESS:
123 W. 7TH STREET
CEDAR FALLS, IOWA 50613

ZONING:
C-1 (COMMERCIAL)
CBD (CENTRAL BUSINESS OVERLAY DISTRICT)
EXISTING USE/PROPOSED USE: RELIGIOUS/MIXED-USE

PERMITS AND APPLICATIONS:
CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL
NECESSARY GRADING, COSESCO, AND
SIDEWALK/DRIVEWAY PERMITS AND APPLICABLE FEES.

BUILDING SUMMARY

OF STORIES: 2 + AMENITY DECK
TOTAL GSF: 22,225 SF
LEVEL 1 GSF: 11,425 SF
LEVEL 1 USE: COMMERCIAL
LEVEL 2 GSF: 10,800 SF
LEVEL 2 USE: MULTI-FAMILY RESIDENTIAL
NUMBER OF 1 BED UNITS: 13
NUMBER OF 2 BED UNITS: 3
TOTAL BUILDING HEIGHT: 30' (TO TOP OF PARAPET)
FIRE PROTECTION: COMPLETE SPRINKLER SYSTEM
NUMBER OF EMPLOYEES: UNDETERMINED

Sheet Number	Sheet Title
G000	COVER SHEET
G100	SYMBOLS & LEGEND
G200	EXISTING CONDITIONS & DEMO
C100	SITE LAYOUT
C200	GRADING PLAN
C300	UTILITY PLAN
L100	PLANTING PLAN
L200	PLANTING DETAILS
L201	SITE MATERIALS

SHEET LIST

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE "IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS" SHALL GOVERN.

ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.



THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

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I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

JUSTIN L. ERNST, P.E.
REG. NO. 23753
DATE: _____
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021
PAGES OR SHEETS COVERED BY THIS SEAL: _____

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

NATHAN M. WEITL, PLA
REG. NO. 00677
DATE: _____
MY LICENSE RENEWAL DATE IS JUNE 30, 2021
PAGES OR SHEETS COVERED BY THIS SEAL: _____

PRELIMINARY - NOT FOR CONSTRUCTION

EXISTING TOPOGRAPHIC SYMBOLS

	ACCESS GRATE
	AIR CONDITION UNIT
	BOLLARD
	BUSH
	CATCH BASIN RECTANGULAR CASTING
	CATCH BASIN CIRCULAR CASTING
	CURB STOP
	CLEAN OUT
	CULVERT END
	DOWN SPOUT
	FIRE HYDRANT
	FLARED END / APRON
	GUY WIRE ANCHOR
	HANDHOLE
	LIGHT ON POLE
	MAILBOX
	MANHOLE-COMMUNICATION
	MANHOLE-ELECTRIC
	MANHOLE-GAS
	MANHOLE-HEAT
	MANHOLE-SANITARY SEWER
	MANHOLE-STORM SEWER
	MANHOLE-UTILITY
	MANHOLE-WATER
	METER
	PEDESTAL-COMMUNICATION
	PEDESTAL-ELECTRIC
	POLE-UTILITY
	POST
	REGULATION STATION GAS
	SIGN TRAFFIC
	SIGNAL CONTROL CABINET
	TRANSFORMER-ELECTRIC
	TREE-CONIFEROUS
	TREE-DECIDUOUS
	TREE STUMP
	TRAFFIC ARM BARRIER
	TRAFFIC SIGNAL
	UTILITY MARKER
	VALVE
	VALVE POST INDICATOR
	VALVE VAULT

EXISTING PRIVATE UTILITY LINES

NOTE:
EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. .

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D UNLESS OTHERWISE NOTED. THIS UTILITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

	UNDERGROUND FIBER OPTIC
	UNDERGROUND ELECTRIC
	UNDERGROUND GAS
	UNDERGROUND COMMUNICATION
	OVERHEAD ELECTRIC
	OVERHEAD COMMUNICATION
	OVERHEAD UTILITY

SURVEY SYMBOLS

	BENCH MARK LOCATION
	CONTROL POINT
	MONUMENT IRON FOUND
	CAST IRON MONUMENT

EXISTING TOPOGRAPHIC LINES

	RETAINING WALL
	FENCE
	FENCE-DECORATIVE
	GUARD RAIL
	TREE LINE
	BUSH LINE

SURVEY LINES

	CONTROLLED ACCESS BOUNDARY
	CENTERLINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED RIGHT-OF-WAY
	SETBACK LINE
	SECTION LINE
	QUARTER LINE
	SIXTEENTH LINE
	TEMPORARY EASEMENT

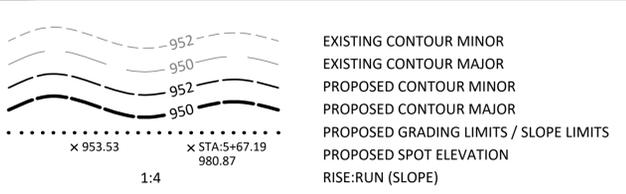
EXISTING UTILITY LINES

	FORCEMAIN
	SANITARY SEWER
	SANITARY SERVICE
	STORM SEWER
	STORM SEWER DRAIN TILE
	WATERMAIN
	WATER SERVICE

PROPOSED UTILITY LINES

	FORCEMAIN
	SANITARY SEWER
	SANITARY SERVICE
	STORM SEWER
	STORM SEWER DRAIN TILE
	WATERMAIN
	WATER SERVICE
	PIPE CASING

GRADING INFORMATION



HATCH PATTERNS

	PCC PAVEMENT
	CONCRETE PAVERS
	LANDSCAPE

PROJECT DESIGN SPEC:

- 2020 SUDAS
- CITY OF CEDAR FALLS SUPPLEMENTAL SPECIFICATION TO SUDAS

GENERAL SITE CONSTRUCTION NOTES:

- NECESSARY NOTICES AND PERMITS
 - THE CONTRACTOR SHALL GIVE NOTICE TO THE "ONE CALL CENTER" AND ALL OTHER AGENCIES THAT MAY BE AFFECTED BY THE CONTRACTOR'S OPERATIONS AT LEAST THREE (3) WORKING DAYS BEFORE STARTING WORK.
 - THE CONTRACTOR SHALL PROCURE ALL NECESSARY PERMITS AND LICENSES, PAY ALL CHARGES AND FEES, AND GIVE ALL NOTICES NECESSARY AND INCIDENT TO THE DUE AND LAWFUL PROSECUTION OF THE WORK.
 - THE CONTRACTOR SHALL GIVE WRITTEN NOTICE TO THE LOCAL SEWERAGE DISTRICT AT LEAST THREE (3) DAYS BEFORE CUTTING INTO OR CONNECTING TO ANY SEWAGE DISTRICT INTERCEPTING SEWER, SEWERAGE DISTRICT MANHOLE, OR WATERCOURSE UNDER THE JURISDICTION OF SUCH DISTRICT.
 - COPIES OF ALL WRITTEN NOTICES AND PERMITS SHALL BE SUBMITTED TO THE OWNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CONTROL OF WORK AND MATERIALS
 - ALL MATERIALS NOT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS DEFECTIVE AND ALL SUCH MATERIALS, WHETHER IN PLACE OR NOT, SHALL BE REJECTED AND SHALL BE REMOVED FROM THE WORK BY THE CONTRACTOR AT HIS EXPENSE. UPON FAILURE ON THE PART OF THE CONTRACTOR TO COMPLY WITH ANY ORDER OF THE ENGINEER RELATIVE TO THE PROVISIONS OF THIS ARTICLE, THE ENGINEER SHALL HAVE AUTHORITY TO REMOVE AND REPLACE SUCH DEFECTIVE MATERIAL AND TO DEDUCT THE COST OF REMOVAL AND REPLACEMENT FROM ANY MONIES DUE OR WHICH MAY BECOME DUE THE CONTRACTOR.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SITE CLEANLINESS. UPON REQUEST BY THE ENGINEER, THE CONTRACTOR SHALL, AT ITS EXPENSE, CLEANUP AND REMOVE ALL REFUSE AND UNUSED MATERIALS OF ANY KIND RESULTING FROM THE WORK INCLUDING CLEANING AND SWEEPING OF ADJACENT STREETS. UPON FAILURE TO DO SO WITHIN THREE WORKING DAYS AFTER SUCH REQUEST BY THE ENGINEER, THE WORK MAY BE DONE BY THE JURISDICTION AND THE COST THEREOF CHARGED TO THE CONTRACTOR AND DEDUCTED FROM ITS FINAL PAYMENT.
- UNDERGROUND UTILITIES
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUAINT HIMSELF WITH THE LOCATION OF ALL UNDERGROUND STRUCTURES WHICH MAY BE ENCOUNTERED OR WHICH MAY BE AFFECTED BY WORK UNDER THE CONTRACT.
 - THE LOCATIONS OF ANY UNDERGROUND STRUCTURES FURNISHED, SHOWN ON THE PLANS OR GIVEN ON THE SITE ARE BASED UPON THE AVAILABLE RECORDS, BUT ARE NOT GUARANTEED TO BE COMPLETE OR CORRECT AND ARE GIVEN ONLY TO ASSIST THE CONTRACTOR IN MAKING A DETERMINATION OF THE LOCATION OF ALL UNDERGROUND STRUCTURES.
- PROTECTION OF EXISTING STRUCTURES AND UTILITIES
 - ALL SURFACE STRUCTURES AND FEATURES, INCLUDING BUILDINGS, PAVEMENTS, TREES, AND SHRUBS, ADJACENT TO THE CONSTRUCTION SHALL BE PROPERLY PROTECTED AGAINST DAMAGE.
 - IN THE EVENT OF DAMAGE OR INJURY TO ANY SURFACE OF SUBSURFACE STRUCTURE, THE CONTRACTOR WILL BE REQUIRED TO MAKE REPLACEMENTS OR REPAIRS TO THE SATISFACTION OF THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
- LOT CORNERS AND SURVEY MONUMENTS
 - EXCEPTING THOSE LOT CORNERS AND SURVEY MONUMENTS WHICH FALL WITHIN THE TRENCH EXCAVATION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION AND/OR REPLACEMENT OF ALL SURVEY CORNERS WHICH EXIST THROUGHOUT THE WORK AREA. ANY SUCH DAMAGED CORNERS SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- PAVING
 - IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE POSITIVE DRAINAGE AT ALL TIMES OF CONSTRUCTION.
 - ALL PAVEMENT CONSTRUCTION SHOULD MEET THE REQUIREMENTS OF SUDAS AND THE LATEST EDITION OF CITY OF CEDAR FALLS SUPPLEMENTAL SPECIFICATIONS TO SUDAS ALONG WITH IOWA DOT.
 - ALL SUBGRADE SHALL BE PROOF-ROLLED PRIOR TO PLACEMENT OF PAVEMENT AND CRUSHED AGGREGATE BASE. ALL SUBGRADE FAILING PROOF ROLL SHALL BE REWORKED UNTIL BASE IS FIRM AND UNYIELDING WHEN PROOF-ROLLED.
 - SIDEWALK PAVEMENT THICKNESS SHALL BE A MINIMUM OF 5" ON 4" AGGREGATE BASE AND PLACED PER CITY OF CEDAR FALLS SUPPLEMENTAL SPECIFICATIONS. SUBGRADE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
 - CONCRETE SHALL MEET A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. CONCRETE TESTING SHALL BE PROVIDED BY THE CONTRACTOR.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT SIDEWALKS TO CURRENT ADA AND PROWAG STANDARDS.
 - CONTRACTOR SHALL SUBMIT A JOINTING PLAN PRIOR TO CONSTRUCTION OF ANY PAVED SURFACE.
 - EXPANSION JOINT SHALL BE PLACED WHERE PCC SIDEWALK MEETS NEW WALK (SEE DETAIL L).
 - ALL STREET PATCHING SHALL BE 12" PCC.
- TRAFFIC CONTROL
 - CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL AND SUBMIT A 6L A MINIMUM OF 72 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES.
- CONSTRUCTION PARKING
 - NO CONSTRUCTION PARKING ALLOWED SOUTH SIDE OF 2ND STREET.

7TH + MAIN MIXED USE

123 W. 7TH STREET
CEDAR FALLS, IA 50613

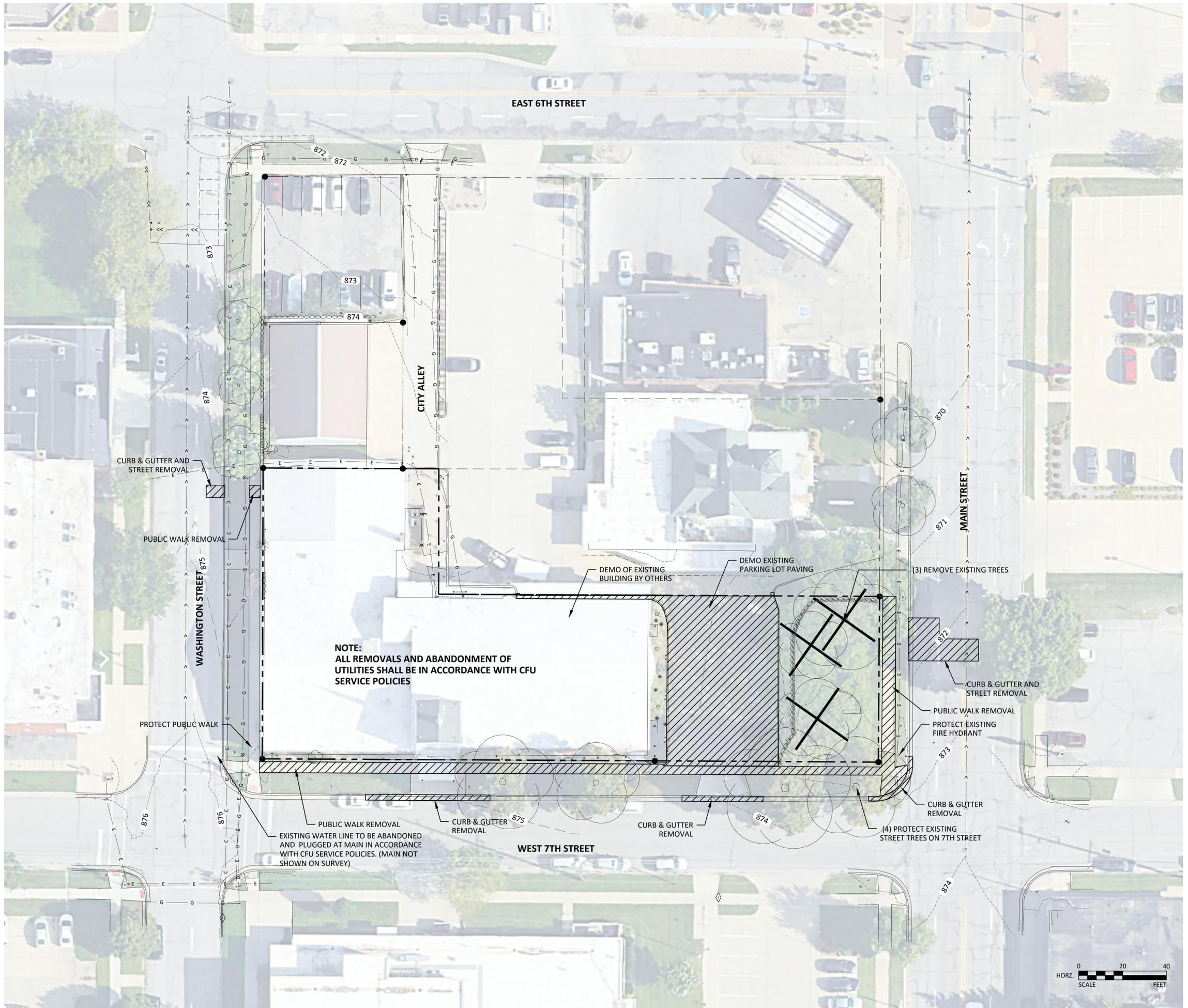
2017.14

SITE PLAN APPLICATION #3
01.29.2021

NO.	REVISION SCHEDULE DESCRIPTION	DATE

EXISTING
CONDITIONS &
DEMO

G200



PRELIMINARY - NOT FOR CONSTRUCTION

2017.14	SITE PLAN APPLICATION #3
	01.29.2021
NO.	REVISION SCHEDULE
	DESCRIPTION
	DATE

SITE NARRATIVE:

ZONING DISTRICT: C-1 (COMMERCIAL), CBD

SETBACKS:

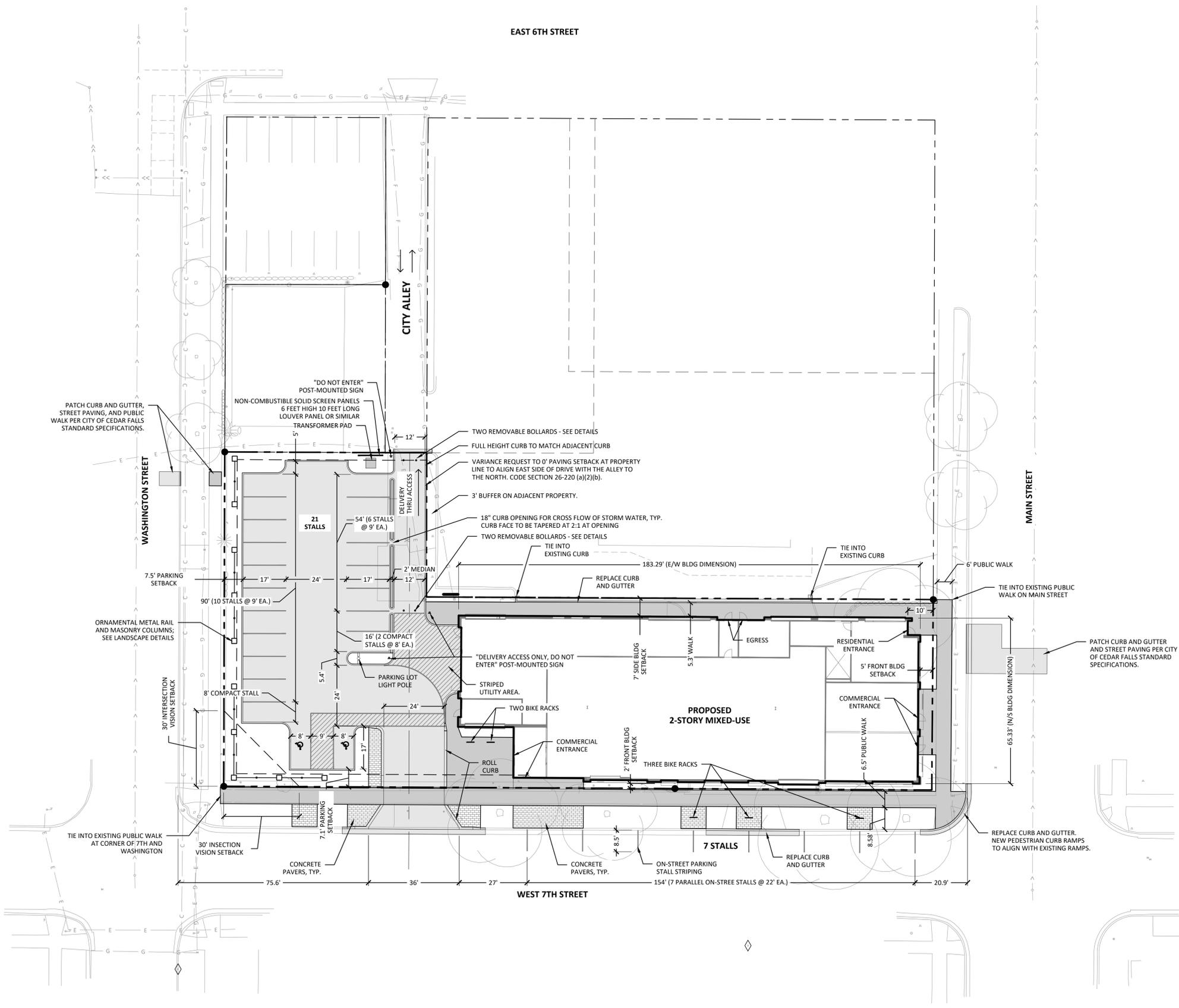
BUILDING SETBACK: 0' - 10' MAX.
PARKING SETBACK: 5' (NO VEHICULAR OVERHANG ALLOWED IN SETBACK)

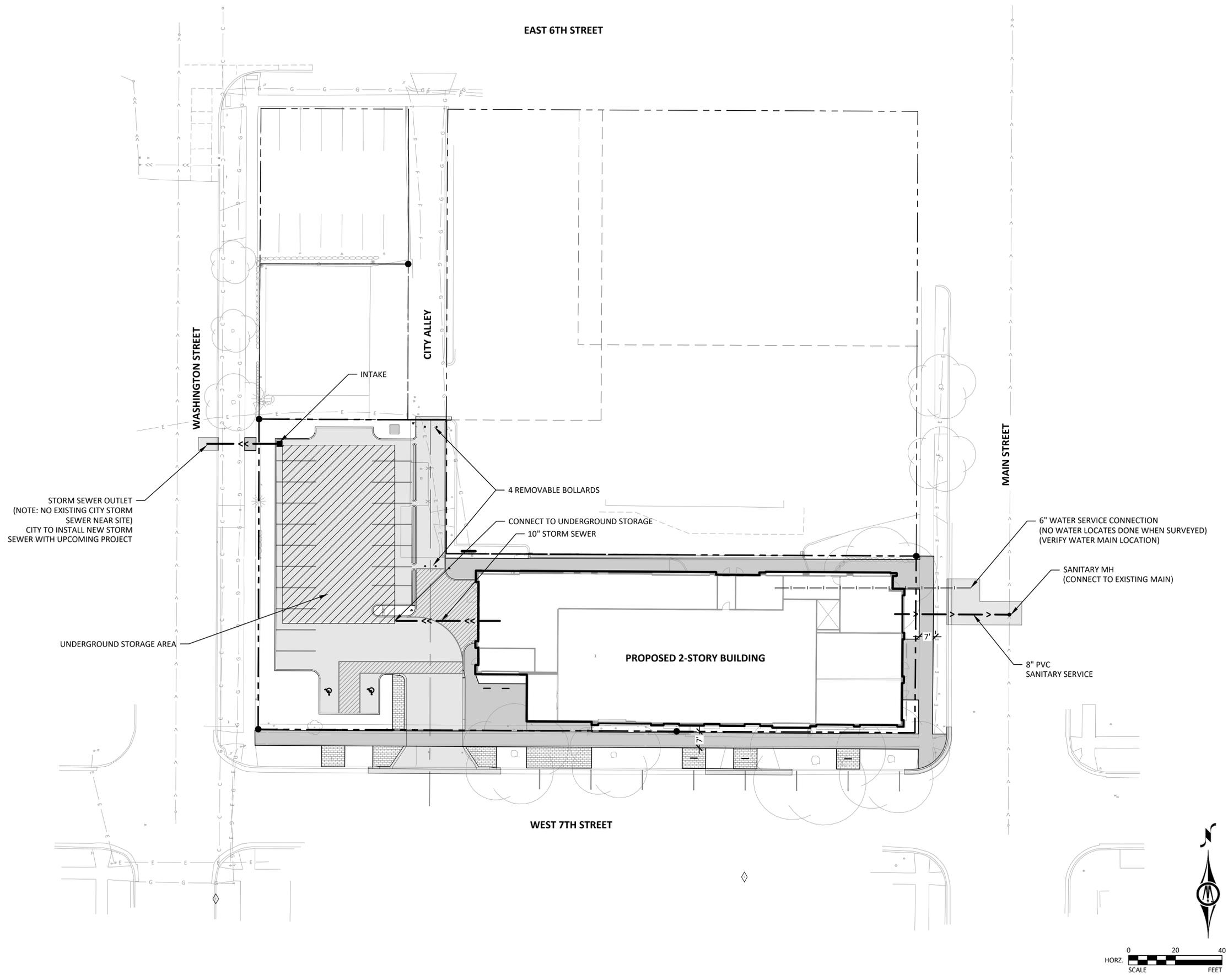
PARKING SUMMARY:

COMMERCIAL REQUIREMENT: N/A
RESIDENTIAL REQUIREMENT: 1 PARKING SPACE/BEDROOM (19 BEDROOMS); VISITOR PARKING AVAILABLE ON THE STREET
OFF-STREET STALLS REQUIRED: 19
OFF-STREET STALLS PROVIDED: 21
ON-STREET STALLS PROVIDED: 7
TOTAL STALLS PROVIDED: 28

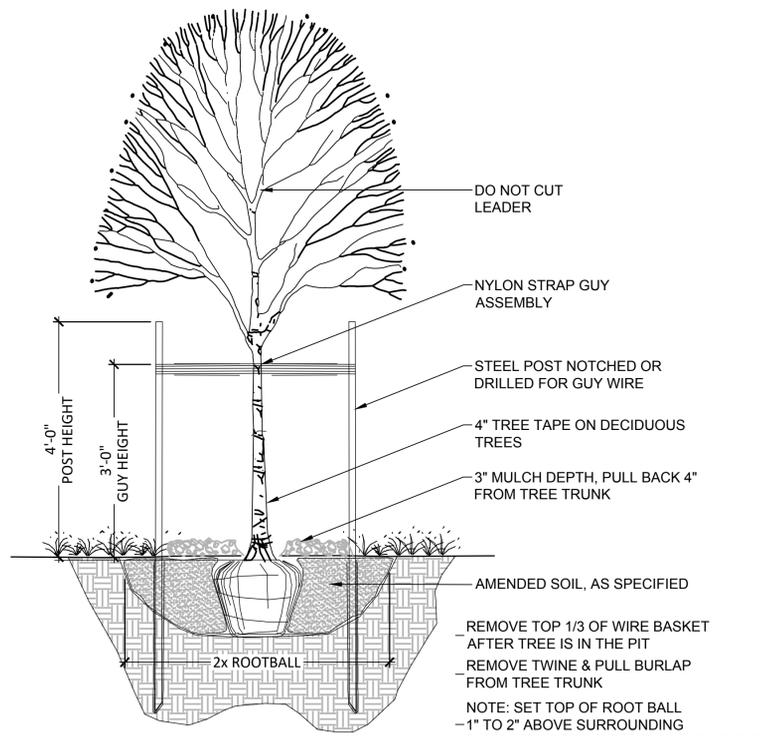
LEGEND

-  FULL HEIGHT (6") PCC CURB
-  REDUCED HEIGHT PCC ROLL CURB
-  7" PCC PARKING/DRIVE
-  5" PCC WALK





PRELIMINARY - NOT FOR CONSTRUCTION



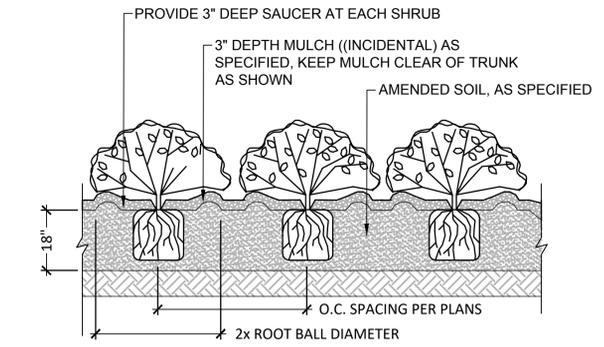
1 TREE PLANTING DETAIL



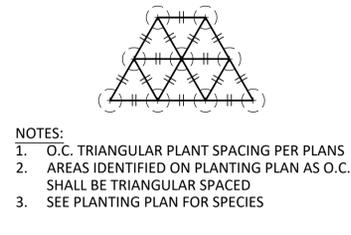
2 VINE TRELLIS STRUCTURE IMAGES

PLANTING NOTES

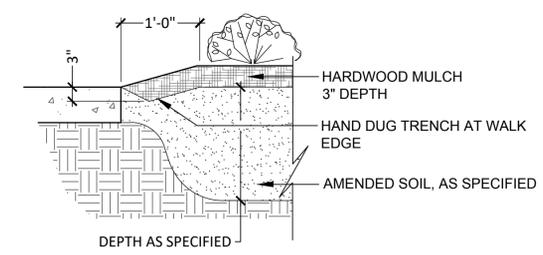
- PRIOR TO DIGGING, IT IS REQUIRED BY LAW TO CALL IOWA ONE CALL FOR UTILITY LOCATIONS.
- MASTER PLANT SCHEDULE: ALL TREES, PERENNIALS AND SHRUBS ARE LISTED IN THE MASTER PLANT SCHEDULE. IF THERE IS A CONFLICT BETWEEN THE QUANTITIES SHOWN ON THE DRAWINGS AND THE QUANTITIES SHOWN IN THE PLANT SCHEDULE, THE PLAN QUANTITIES SHALL PREVAIL.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND PROPOSED UTILITY LINES AND SHALL COORDINATE LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES AND/OR CONFLICTS TO LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (A.N.S.I. Z60.1) LATEST EDITION PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, WASHINGTON D.C.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING SOIL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR IT SHALL BE REPLACED FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.
- PLANTING LAYOUT: STAKE ALL TREE LOCATIONS AND A TYPICAL PERENNIAL BED LAYOUT AND OBTAIN APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- PERENNIAL GROUPINGS SHALL BE PLANTED AND MULCHED IN ONE CONTINUOUSLY MULCHED BED.
- AMENDED SOIL MIX AND SHREDDED HARDWOOD MULCH SHALL BE INCIDENTAL TO THE PLANTING BID ITEMS AND SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - MULCH:**
 - FINELY SHREDDED OR PROCESSED HARDWOOD BARK GRADED FROM 0.25 IN. - 0.5 IN. DIAMETER AND A MAX. OF 3 IN. IN LENGTH.
 - GREEN OR FRESHLY CHIPPED OR SHREDDED MULCH SHALL BE REJECTED.
 - MULCH TO BE FREE OF WEEDS, WEED SEED, CHAFF, DISEASES, OR OTHER FOREIGN MATERIAL.
 - AMENDED SOIL:**
 - EXCAVATION SOIL FROM GRADING, TRENCHING, OR CLEARING SHALL NOT BE USED IN MAKING AMENDED SOIL.
 - AMENDED SOIL MIX SHALL MEET THE FOLLOWING REQUIREMENTS:
 - TOPSOIL: WELL COMPOSTED, STABLE AND WEED-FREE ORGANIC MATTER, pH RANGE 5.5 TO 7; MOISTURE CONTENT 35 TO 55% BY WEIGHT, 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT OF 2.5 DECISIEMENS/M; NOT EXCEEDING 0.5% INERT CONTAMINANTS AND FREE OF TOXIC SUBSTANCES.
 - ORGANIC MATTER: A PRODUCT OF PEAT MOSS, COMPOST OR LOCALLY AVAILABLE ORGANIC WASTE. ORGANIC MATTER SHOULD BE FREE FROM DEBRIS, WEED SEEDS AND INSECTS OR DISEASES WHICH MAY BE HARMFUL TO INTENDED PLANTINGS.
 - SAND: CONCRETE SAND, HAVING A FINENESS MODULUS (FM) BETWEEN 1.8 AND 2.5.
 - CONTRACTOR TO BLEND TOPSOIL, ORGANIC MATTER AND SAND IN THE FOLLOWING RATIOS TO FORM AMENDED SOIL MIXTURE:
 - 8" TOPSOIL
 - 3" ORGANIC MATTER
 - 1" SAND MIXTURE
 AMENDED SOIL TO BE WELL-TILLED TO A DEPTH OF 8".
- VINE TRELLIS STRUCTURE PLANTING**
 - PROVIDE AMENDED SOIL AS SPECIFIED FOR AMENDED SOIL TO A DEPTH OF 18" FOR ALL PLANTING AREA. ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION
 - INSTALL 1 GALLON CONTAINER PLANTS AT 12" O.C. FOR FULL LENGTH OF TRELLIS @ 6" OFFSET FROM TRELLIS. WEAVE VINE TENDRILS INTO TRELLIS PANELS. PLANT SPECIES:
 - CLEMATIS VARIETY
 - AUTUMN REVOLUTION BITTERSWEET
 - PURPLE LEAF JAPANESE HONEYSUCKLE
 - APPLY WATER SOLUBLE, SLOW RELEASE 12-12-12 FERTILIZER
 - IRRIGATION TO BE APPLIED FOR ESTABLISHMENT AND CONTINUED PLANT HEALTH. DRIP IRRIGATION SYSTEM TO BE INSTALLED PER DESIGN BUILD BY LANDSCAPE CONTRACTOR AND APPROVED BY OWNER.
 - FINISH BED WITH 3" DEPTH HARDWOOD MULCH



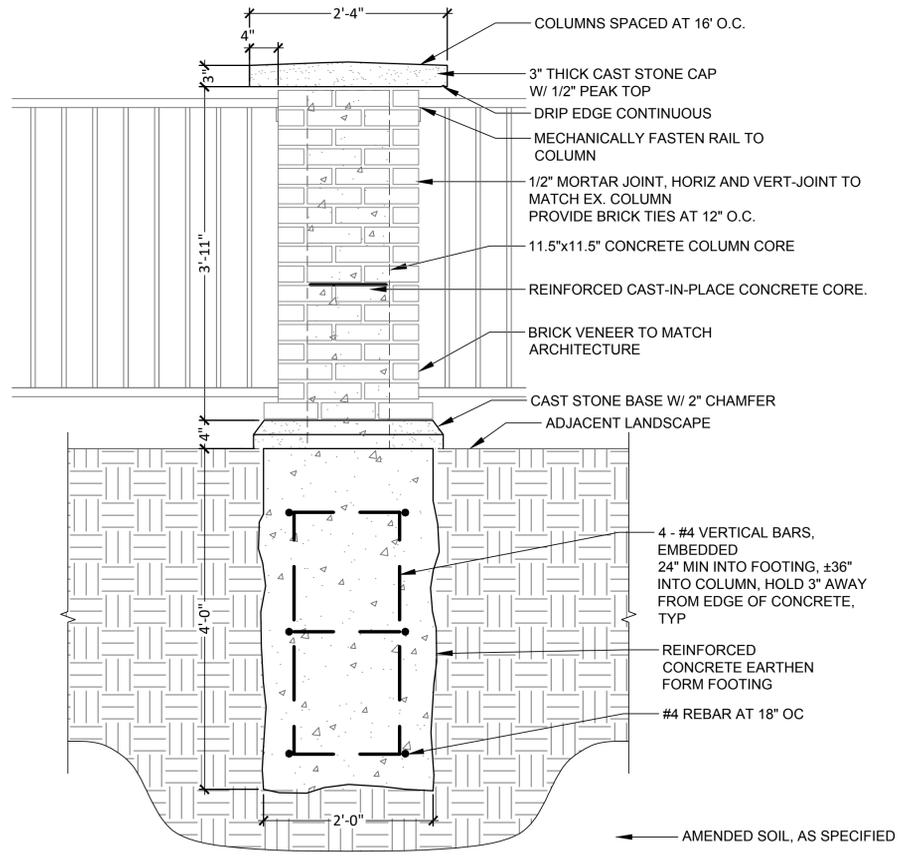
3 SHRUB/PERENNIAL BED PLANTING



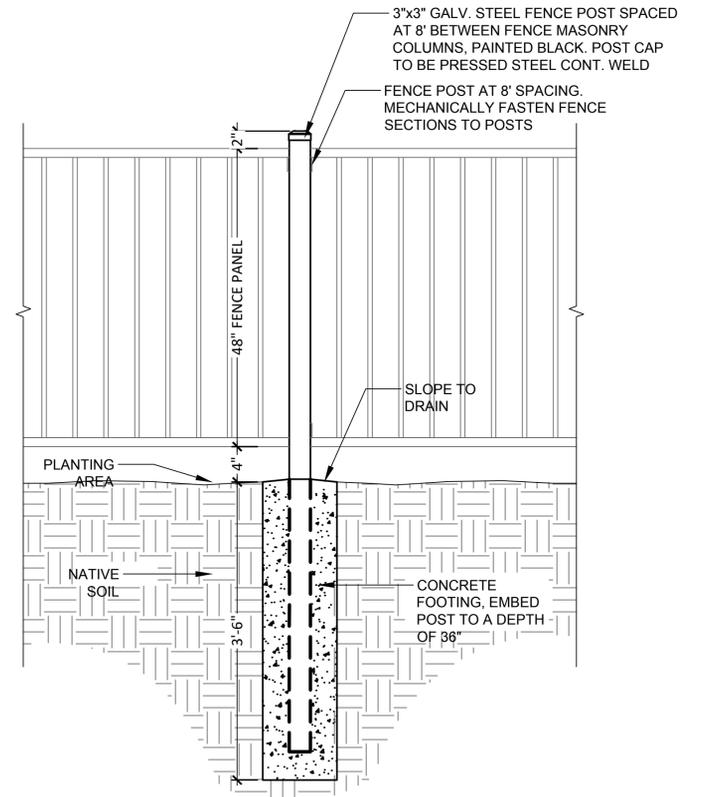
4 PERENNIAL PLANT SPACING



5 PLANTING EDGE AT EXISTING CONC. WALK



6 SECTION: MASONRY COLUMN AT ORNAMENTAL FENCE



7 SECTION: STEEL POST AT ORNAMENTAL FENCE

Bollard R-7530

General Description:
The R-7530 Decorative Bollard features a narrow body, suitable for high-traffic locations and lightweight removability. R-7530 bollards are made from a versatile ductile iron, featuring decorative fluting and spherical top castings. Bollard surfaces are protected by a durable powder coating, available in 5 standard colors. Line art fluted, flange-top bollards or cover impact-resistant security posts. Unique design allows R-7530 bollards to be flush-mounted to existing concrete surfaces. Removable mountings are available.

Specifications:
Height: 39"
Base Diameter: 10"
Weight: 62 lbs (Bollard Only)
Material: Ductile Iron
Max Interior Security Post Size: 3 1/2" x 29" (Diameter x Height)

Finish Options:
● Polyester Powdercoated
See Reliance Foundry's standard color options at: www.reliance-foundry.com/bollards/colors-bollards

Installation Options:

- Fixed - Anchor Casting in New Concrete (see sheet 2 of 13)
- Fixed - Concrete Insert Anchor in Existing Concrete (see sheet 3 of 13)
- Fixed - Adhesive Anchor in Existing Concrete (see sheet 4 of 13)
- Fixed - Adhesive Casting with Concrete Form (see sheet 5 of 13)
- Fixed - Flanged in Existing Concrete (see sheet 6 of 13)
- Post Cover - New Post in New Concrete (see sheet 7 of 13)
- Post Cover - New Post in Existing Concrete (see sheet 8 of 13)
- Post Cover - Existing Post with Adhesive Anchor (see sheet 9 of 13)
- Post Cover - Existing Post with Concrete Anchor (see sheet 10 of 13)
- Removable - Anchor Casting in New Concrete (see sheet 11 of 13)
- Removable - Concrete Insert Anchor in Existing Concrete (see sheet 12 of 13)
- Removable - Premium Retractable in New Concrete (see sheet 13 of 13)

Care and Maintenance:
Reliance's line of bollards are finished with a top-quality powder coating. Proper care and maintenance are required. Regularly performed inspections and routine cleaning will ensure that a bollard retains its aesthetic appeal and does not become damaged by the elements.
See Reliance Foundry's maintenance guide at: www.reliance-foundry.com/bollards/maintenance-bollards

Tools needed:
1) Measuring tape
2) 3/16" hex key

RELIANCE FOUNDRY
SINCE 1949
Unit 207, 6450 - 148 Street, Surrey, BC V3S 7G7, Canada
1-877-785-3245 info@reliance-foundry.com
www.reliance-foundry.com

Bollard R-7530

SIZE: C DWG NO: R7530 REV: C6
NOT TO SCALE SHEET 11 OF 13

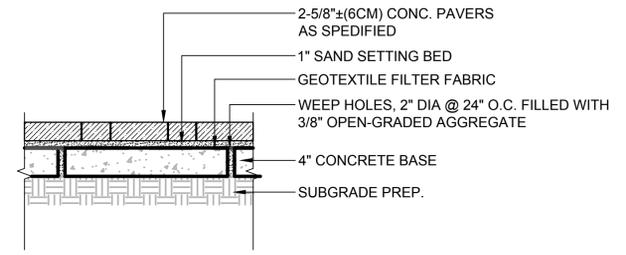
Notes:
1) Bollard post is provided as shown. Concrete, foundation and/or installation ordered separately or provided by others.
2) Minimum foundation sizes depend on local soil conditions, weather conditions, and engineering requirements.
3) Dimensions provided herein is for reference only. Please consult Reliance Foundry sales professionals if any dimension is critical to your particular installation.
4) Reliance Foundry reserves the right to amend design and specifications without prior notice for product improvement.

ITEM	QTY	PART NUMBER	DESCRIPTION	MATERIAL	WEIGHT
1	1	R7530B	R7530 Base	Ductile Iron Powder Coated	52 lbs
2	1	R7530C	R7530 Cap	Ductile Iron Powder Coated	10 lbs
3	1	R7000	R7000 Retractable Removable Mount	Steel Hot Dip Galvanized	15 1/8 lbs
4	3		Hexagon Socket Set Screw 3/8" x 5/8"	Stainless Steel	
5	3		Hexagon Socket Set Screw 3/8" x 5/8" requires 3/16" hex key	Stainless Steel	
6	3		Polyethylene Plug 3/8"	LDPE Black	
7	1		Polyethylene Plug 7/8"	Polyethylene Plastic	
8	1		R7500 Lock Pin 3/4" x 7"	Steel Powder Coated	1 1/8 lbs
8	1		Optional Padlock (Brass or Stainless Steel)	Choice of Brass or Stainless Steel	5/8 lbs

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1 REMOVABLE BOLLARD

- CONCRETE PAVER NOTES:**
1. CONCRETE PAVER PRODUCT AND PATTERN TO MATCH MAIN STREET DOWNTOWN EXISTING INSTALLATIONS
 2. CONTRACTOR TO SUBMIT SAMPLES AND MOCK-UP PATTERN FOR APPROVAL BY OWNER PRIOR TO INSTALLATION
 3. PAVER PRODUCT TO BE PROVIDED BY MIDLAND CONCRETE PRODUCTS
 - 3.1. CITY LINE STANDARD PAVER 4x8- COLOR REGIMENTAL FULL RANGE COLOR
 - 3.2. CITY LINE STANDARD PAVER 4x8- COLOR CARBON BLACK
 - 3.3. CITY LINE STANDARD PAVER 8x8 - COLOR WHEATFIELD



2 TYPICAL SECTION: SIDEWALK CONCRETE UNIT PAVERS

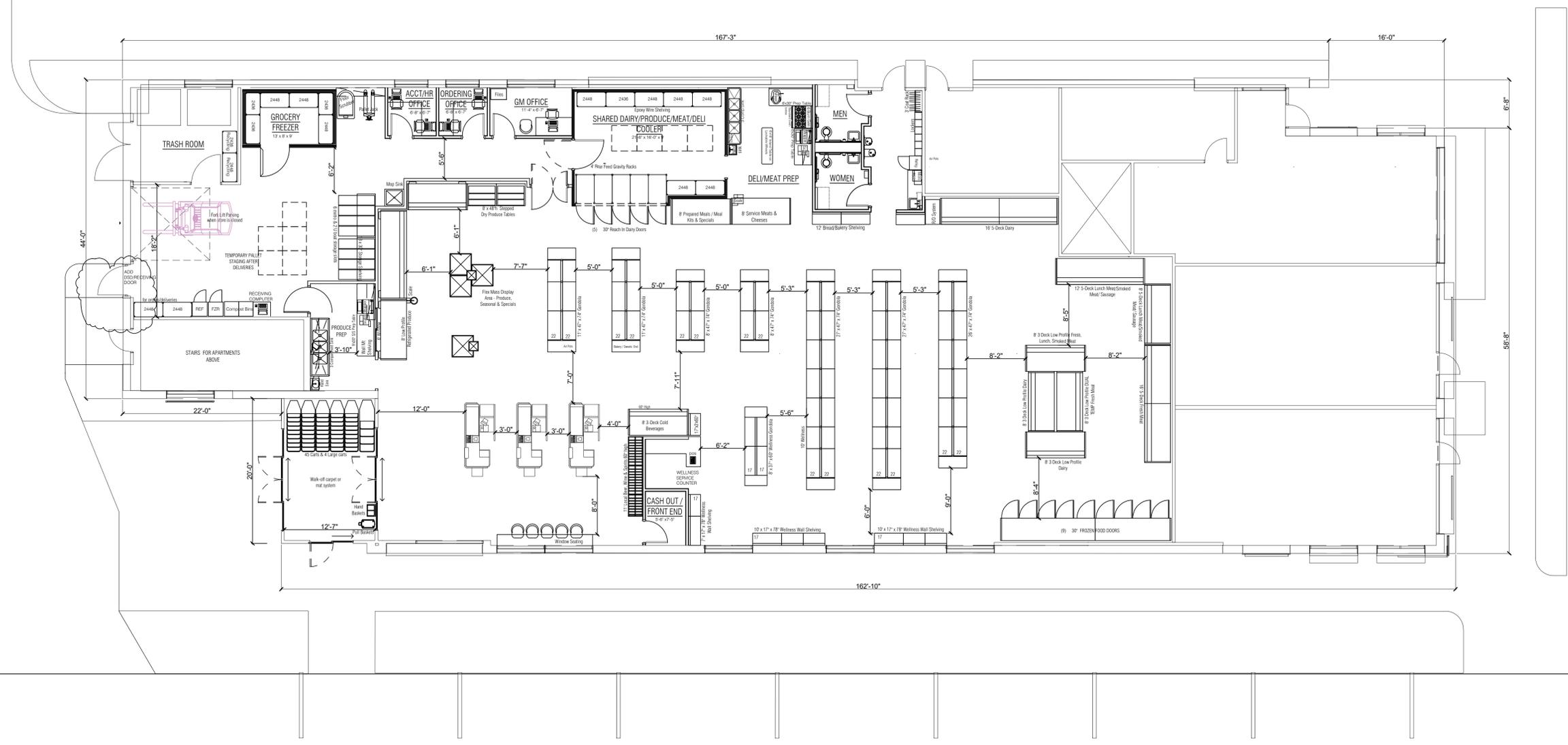
DRAWING FOR REFERENCE ONLY
NOT TO BE USED IN CONSTRUCTION
THIS DRAWING IS FOR DISCUSSION ONLY AND IS INCLUDED TO
SHOW THE GENERAL LAYOUT AND CONCEPTS OF THE
ARCHITECT AND ENGINEERS DRAWINGS FOR CONSTRUCTION.
ALL DIMENSIONS, EQUIPMENT SIZES, WALL THICKNESSES AND
EXISTING CONDITIONS ARE SUBJECT TO ON-SITE VERIFICATION.

THE ROOTED CARROT
123 7th Street, Cedar Falls, IA 50613

Prepared by:
retail plant
Supermarket, C-Store & Retail Design
308 Pine Street, Sheboygan Falls, WI 53085
www.theretailplant.com

No.	Date	Revision

THE ROOTED CARROT CO-OP
PRELIMINARY FIXTURE PLAN
V3.0
Drawn By: KJK
Date: 12/02/2020
Scale: 1/8" = 1'-0"



FIXTURE PLAN 3.0
SCALE: 1/8" = 1'-0"

STORE DATA:

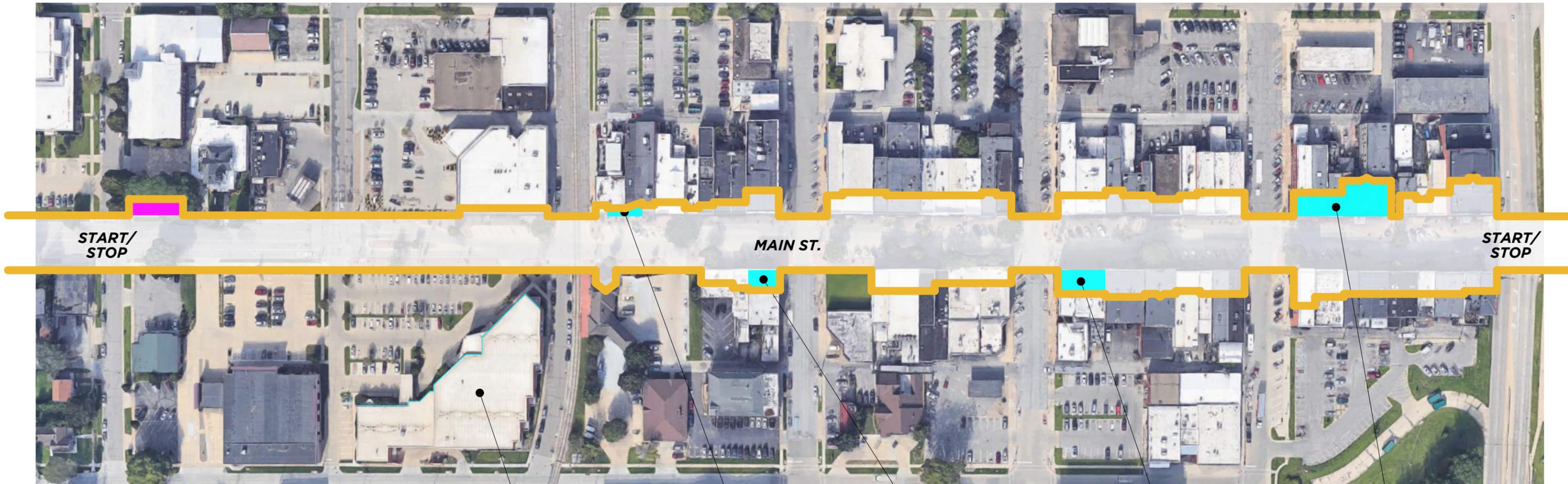
TOTAL GROCERY STORE AREA	7,757 SQ. FT.
GROCERY SALES AREA	5,255 SQ. FT.
ANCILLARY AREA:	2,502 SQ. FT.
% SALES AREA	67%

SHELVING DATA:

HEALTH & WELLNESS SHELVING	56 LN. FT.
DRY PRODUCE	0 LN. FT.
GENERAL GROCERY	236 LN. FT.
WINE, BEER & LIQUOR SHELVING	11 LN. FT.
BAKERY SHELVING	12 LN. FT. + 2 ENDS
TOTAL SHELVING	323 LN. FT.

7TH & MAIN

BEGIN-END



EXTEND THE HISTORIC MAIN STREET

In order to integrate in to the Main St. the area must be walkable, visually connected, and scale & material sensitive.

Strategy: A two story masonry building on the Main St. elevation helps support the profile of the downtown. The retail uses on the ground floor contribute to the immediate vibrancy of the area, and a residential use above allows for added density, encouraging engagement within the CBD.



Cedar Falls Public Library



The Brass Tap



Whiskey Road Tavern



Montage



Farm Shed + Black Hawk Hotel

7TH & MAIN

FLOOR PLAN CONCEPT

KEY POINTS

1. No Rezoning Required (C-1, CBD)
2. No Parking Requirement for Primary Commercial (Sec. 26-189)
3. Residential Units require 1 parking space per bedroom. 1 additional visitor parking space for every 5 units which may be located on-street.
4. 22,225 GSF Total Building
(Approx. 10,800 SF Residential (16 units) + 11,425 SF Retail)
5. Building Height = Max. 35'-0"; 2 stories
(Sec. 26-170)
6. Front Setback Min. 0' - Max. 10' from any street side lot line (Sec. 26-189); 5' setback from property line to parking area (no vehicular overhang allowed in setback)

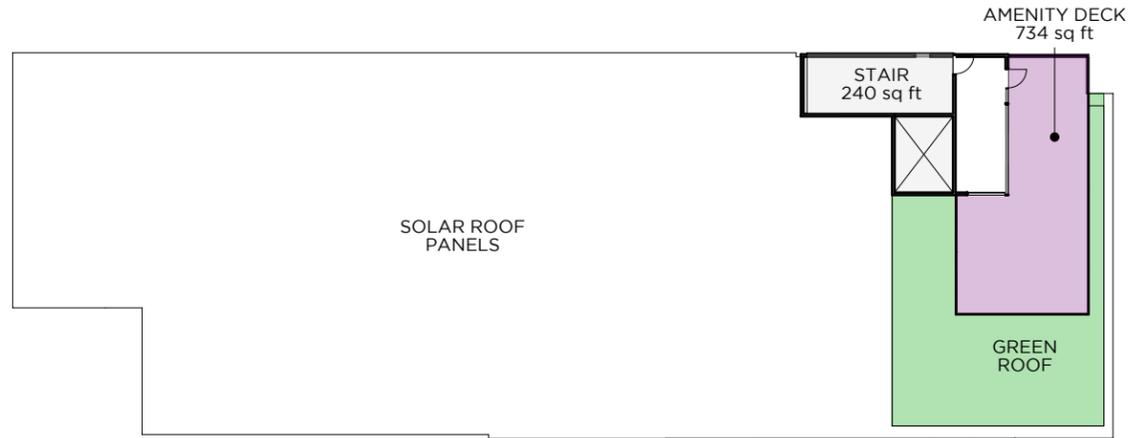
*PARKING: **21 SURFACE LOT + 7 STREET**
(19 required at surface lot + 4 street visitor spaces)

CONCEPT LEGEND

- - - Property Line
- - - Neighboring Property Line
- -> Site Circulation Flow
- Retail
- Retail & Residential Program
- Back of House
- Residential Lobby

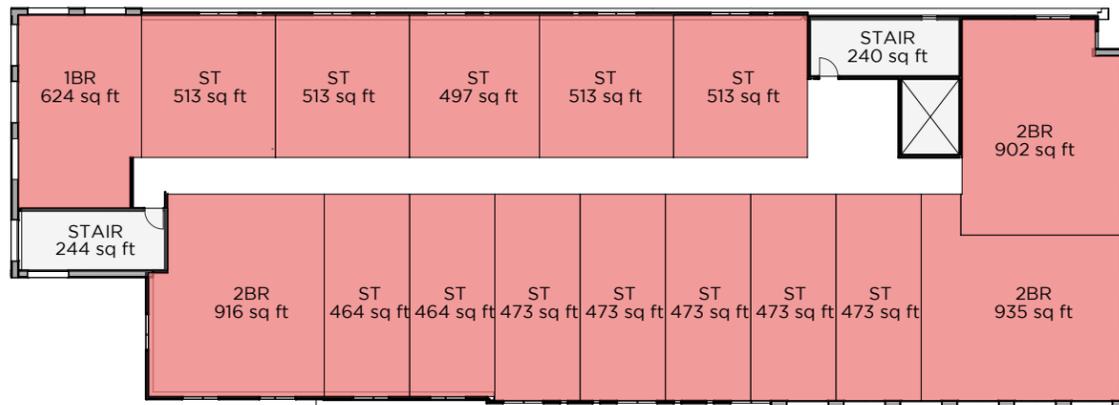
ROOF

SCALE: 1" = 30'



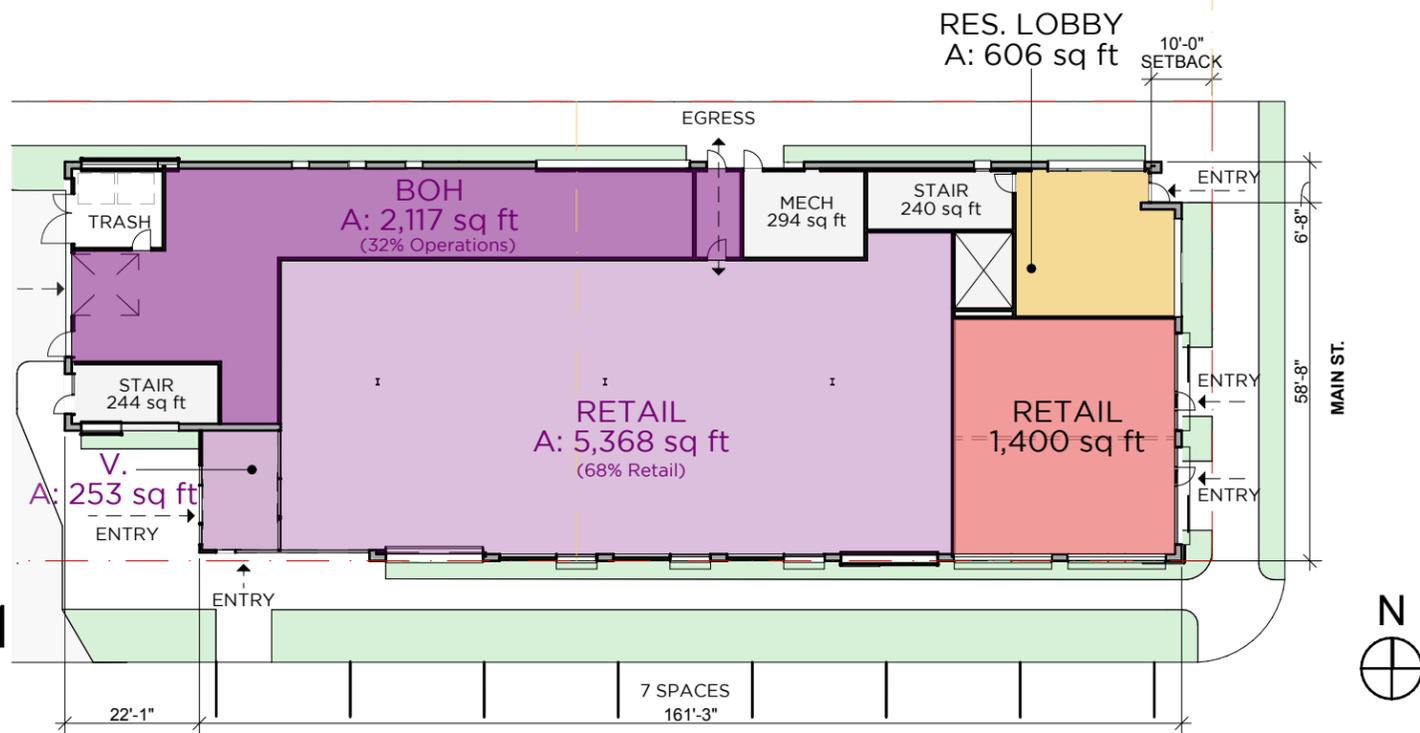
LEVEL 2

SCALE: 1" = 30'



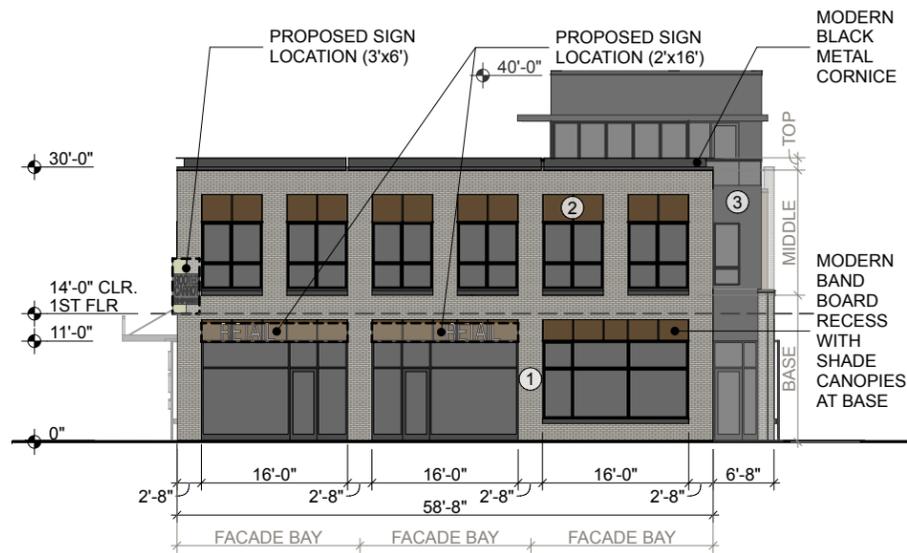
LEVEL 1

SCALE: 1" = 30'



7TH & MAIN

ELEVATIONS

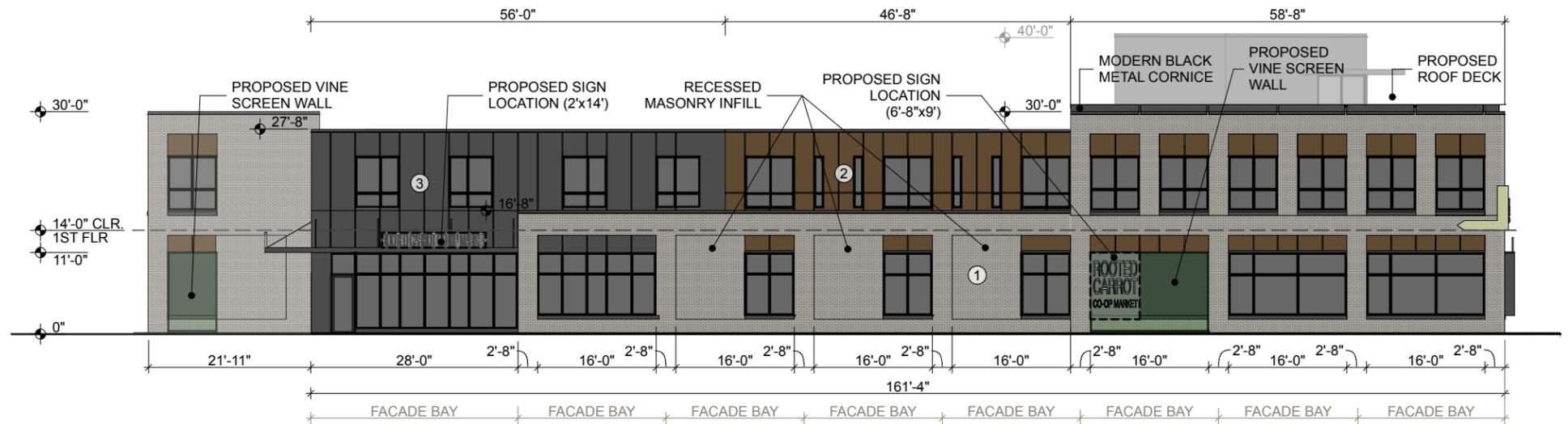


(1) EAST ELEV.

BRICK MASONRY - 66%
WOOD PANEL - 20%
METAL PANEL - 14%

SCALE: 1" = 20'

STOREFRONT AS SHOWN (B/W 2' & 10') - 81%



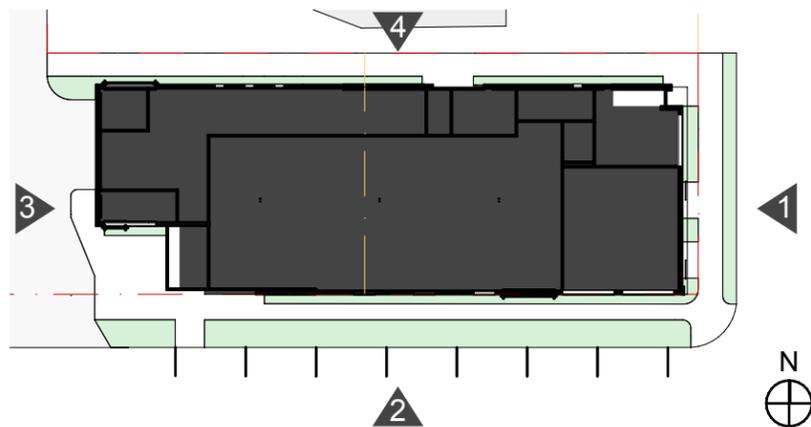
(2) SOUTH ELEV.

BRICK MASONRY - 51%
WOOD PANEL - 20%
METAL PANEL - 29%

SCALE: 1" = 20'

STOREFRONT AS SHOWN (B/W 2' & 10') - 58%
TOTAL STOREFRONT INCLUSIVE OF FUTURE AVAILABLE (B/W 2' & 10') - 85%

KEY PLAN



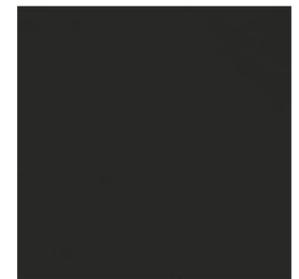
① **BRICK VENEER**

White/ grey/ cream full brick veneer focused along the base connects the building to the historic downtown and anchors the south end of Main St. to the CBD. Masonry openings utilize modern detailing intended to differentiate from the traditional detailing seen north of 5th St, relating to the adjacent surroundings such as the public library.



② **WOOD PANEL**

Natural wood veneer cladding recessed from the masonry shell to provide warmth. Does not require typical maintenance of other woods. Utilized as a secondary building material as seen along the existing Main Street. Basis of design: Parklex Facade in Copper

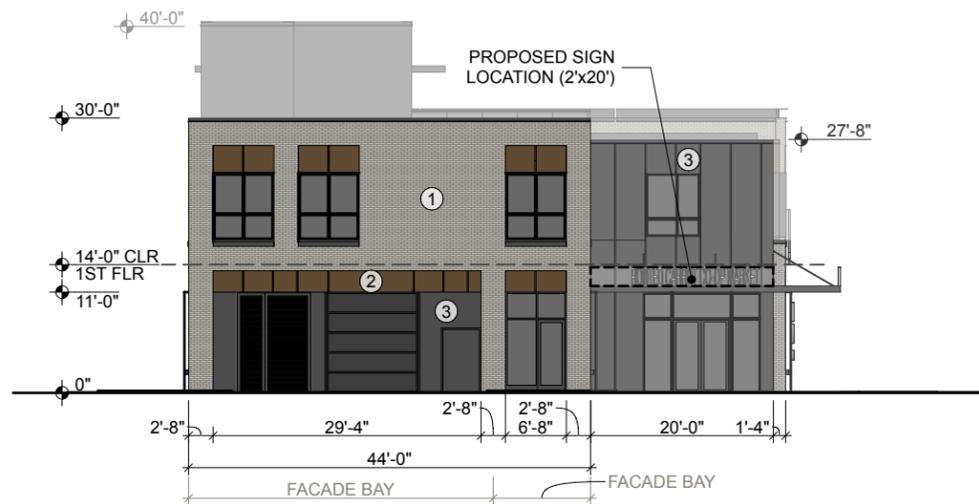


③ **METAL PANEL**

Black metal panel used in moderation to highlight openings and accent features such as canopies.

7TH & MAIN

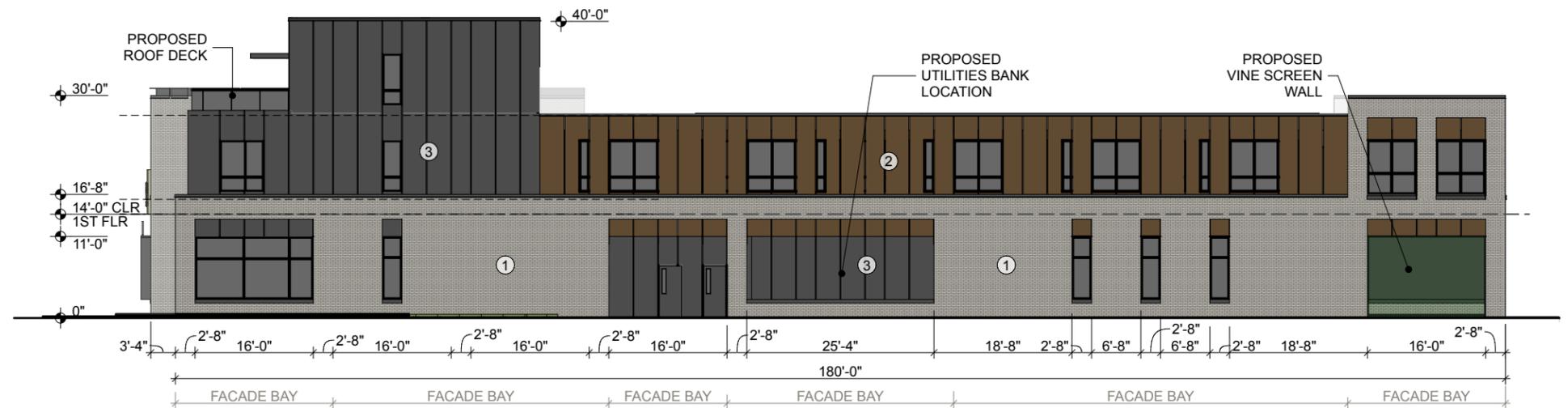
ELEVATIONS



(3) WEST ELEV.

BRICK MASONRY - 54%
WOOD PANEL - 11%
METAL PANEL - 35%

SCALE: 1" = 20'

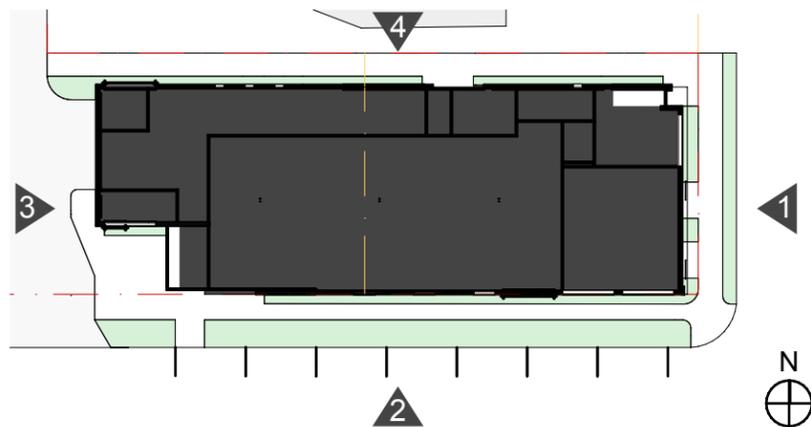


(4) NORTH ELEV.

BRICK MASONRY - 49%
WOOD PANEL - 23%
METAL PANEL - 28%

SCALE: 1" = 20'

KEY PLAN



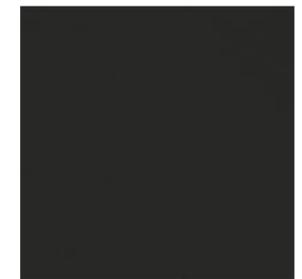
① BRICK VENEER

White/ grey/ cream full brick veneer focused along the base connects the building to the historic downtown and anchors the south end of Main St. to the CBD. Masonry openings utilize modern detailing intended to differentiate from the traditional detailing seen north of 5th St, relating to the adjacent surroundings such as the public library.



② WOOD PANEL

Natural wood veneer cladding recessed from the masonry shell to provide warmth. Does not require typical maintenance of other woods. Utilized as a secondary building material as seen along the existing Main Street. Basis of design: Parklex Facade in Copper



③ METAL PANEL

Black metal panel used in moderation to highlight openings and accent features such as canopies.

7TH & MAIN

THE CORNER OF 7TH & MAIN



7TH & MAIN

CO-OP ENTRY



7TH & MAIN

ROOF DECK



7TH & MAIN

RESIDENTIAL ENTRY



7TH & MAIN

THE CORNER OF 7TH & WASHINGTON



7TH & MAIN

RECESSED MASONRY & METAL INFILL





Real People. Real Solutions.

309 E 5th Item 3.
Suite 202
Des Moines, IA 50309-1981

Ph: (515) 259-9190
Fax: (515) 233-4430
Bolton-Menk.com

City of Cedar Falls

Subject Property: 123 West 7th Street

Site Plan review application supplemental information:

Address

123 W. 7th Street
Cedar Falls, IA 50613

Legal Description

Auditors plat No 19 CF Lot 39 Lot 49 & all of alley abutting upon & lying between Lots 39 & 40 & 49. Auditors plat No 19 CF Lot 38.

Site Description

This project is a redevelopment of the existing First Baptist Church property. The project is proposed as a mixed-use development with commercial first floor and residential apartments on the second floor. The owner is working with a tenant on plans to occupy a majority of the first-floor commercial space that will directly influence how the site and building function.

The site is designed as a walkable, pedestrian-friendly environment with the building situated at the corner of 7th and Main and off-street parking located to the west of the building. Vibrant commercial spaces are accessible from Main Street with the main tenant entrance on the west side of the building.

Signage

Signage for the project is anticipated to be building-mounted and is likely to include tenant signage that cannot be defined at this time. Signage can be expected to be of high-quality materials including metals and acrylics with some degree of integral lighting. Potential signage designs can be reviewed on the A-sheets of the accompanying site plan. Detached signage is not currently requested.

Requested Variances

1. Parking Setback 26-220 (a)(2)(b)

The design team requests a variance from the 3' parking setback as required per code section 26-220 (a)(2)(b) at the northeast corner of the parking lot. The design team requests a variance to this requirement in order to align with the existing city alley to the north. A 3' buffer currently exists on the adjacent property and would be maintained as a part of this project. See sheet C100 of the accompanying site plan for additional information.

The need to for the variance is created by the unusual change in status of the City/public alley located in the northern portion of the block and the transition to the private subject property located at the south end of the block. Although the public alley and now private drive will function as one continuous traveled

way, the need for the variance arises from the setback from a private property line that would cause an offset in the alignment of the existing drive.

2. Building Entries 26-189(9)(c)

The design team requests a variance from the required number of entries along a building frontage as required per code section 26-189(9)(c).

Existing topography of the site falls 2'-4" along the south exterior of the building of which the primary tenant space⁴ will occupy nearly 75% of the façade. The primary tenant requires a level finish floor for the entirety of their space to function properly. The addition of building entries along the length of the south exterior will create significant challenges to the tenant's intended operation plan. Challenges would include the need to utilize ramps, add vestibules, and modify their anticipated security measures.

The design team notes that the project meets the intent of code section 26-189(a), asking for buildings that complement and strengthen downtown support for pedestrian access and use. The project also provides a "sense of place" with active facades as described in the Cedar Falls downtown vision plan. This project accomplishes these things by providing views into the store through glass on the façade as well as vines and landscaping to soften the urban environment.

Michelle Pezley

From: Rose Schroder <Rose.Schroder@bolton-menk.com>
Sent: Friday, February 12, 2021 2:52 PM
To: Michelle Pezley
Cc: Karen Howard
Subject: RE: 7th, main, and WA streets mixed use building

CAUTION: This email originated outside the City of Cedar Falls email system.
 Do not click links or open attachments unless you recognize the sender and know the content is safe.

Michelle,

In order to provide operational parking for the Rooted Carrot Co-op adjacent to their main entry door, the developer will provide parking during Co-op business hours for upper-level residents on an existing neighboring lot on the block. This operational agreement is included in the lease agreement with the Rooted Carrot Co-op in order to meet their needs.

As stated above, the developer intends to provide additional parking at the northwest corner of the block. Because the project has met the minimum parking requirement of the Zoning Ordinance, the developer respectfully requests that the parking lot not be required to be improved to current standards at this time, and that the existing parking lot be allowed to function and continue to be utilized in its current condition as it is today.

Sincerely,

We've moved! See below for my change of address information!

Rose E. Schroder, AICP

Senior Urban Planner

Bolton & Menk, Inc.

430 E Grand Avenue, Suite 101

Des Moines, IA 50309

Email: rose.schroder@bolton-menk.com

Phone: (515) 259-9190 ext. 3405

Mobile: (515) 380-4396

Bolton-Menk.com

From: Michelle Pezley <michelle.pezley@cedarfalls.com>

Sent: Thursday, February 4, 2021 8:04 AM

To: Rose Schroder <Rose.Schroder@bolton-menk.com>

Cc: Karen Howard <karen.howard@cedarfalls.com>

Subject: FW: 7th, main, and WA streets mixed use building

Good Morning Rose,

I will call you later today.

Michelle

Michelle Pezley
Planner III
City of Cedar Falls

From: Michelle Pezley
Sent: Wednesday, February 3, 2021 4:47 PM
To: Rose Schroder (Rose.Schroder@bolton-menk.com)
Cc: Karen Howard
Subject: 7th, main, and WA streets mixed use building

Hi Rose,

I was able to review the new information that was submitted on Friday. There is one concern that staff request more information regarding. That is the residential parking.

The response letter dated January 29, 2021 on page three responds the request to show where the residential parking will be located. The response said: "The site plan as presented meets the minimum parking requirements of the project. The mixed-use nature of the project is typical for downtown settings and is anticipated to function in that way. 19 spaces are required; 21 surface spaces have been provided and 7 on-street parking spaces adjoin the project."

Cedar Falls Code Sec. 26-220(b)(4) states, "in the case of mixed or joint uses: the parking spaces required shall equal the sum of the requirements for each use computed separately." The code does not allow the shared parking. The site plan meets the minimum required for residential parking. However, staff has heard from the commercial tenant in past conversations that the parking lot is for their use. Please indicate where the residential tenants will park.

Staff wants to make sure you have time to address this issue. Please respond by February 15, 2021 to move forward to the Feb. 24th meeting. Please feel free to reach me if you have any questions.

Sincerely,

Michelle

Michelle Pezley
Planner III
City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Michelle.pezley@cedarfalls.com
P: 319.268.5194
F: 319.273.8610





Dear City Staff, Commissioners and Council,

Thank you for your service and attention to this project. We are excited about Rooted Carrot Co-op Market's (RCCM) new home within the mixed-use project at 123 W 7th Street.

Cedar Falls has much to be proud of, and a lot of responsibility to uphold. In the ten-year period from 2010 to 2019, our population grew 4.5% while the average Midwest small town population change was a *decrease* of 1.7%, according to the US Census Bureau. Not surprisingly, Downtown Cedar Falls earns regional, state, and national recognition. Our municipal bond rating indicates very strong credit worthiness based on several factors, one of which is the management practices of the governing body and administration. We know the factors you weigh and decisions you make reflect and affect all of us.

In 2019 Cedar Falls committed to the vision of a downtown grocery store in its adoption of the Ferrell/Madden 'Imagine Downtown! Vision Plan'. In the Community Design Charrettes which were conducted by Ferrell/Madden to build the Vision Plan, one of the top comments provided by the public was the need for **grocery downtown**. Seven big ideas were noted in the Imagine Downtown! Vision Plan. Interestingly, Rooted Carrot and the overall mixed-use project are poised to deliver on five of them:

- **improve walkability**
- street trees
- **rethink parking**
- **housing option for all ages**
- **ease of biking**
- **add additional grocery**
- consider removing wastewater plant

RCCM is suited to fulfill the City's commitment to Cedar Falls' Vision Plan and do it with strength. The City will reap the benefits of Rooted Carrot Co-op for years to come.

- We are a for-profit grocery cooperative with seven years of business building capacity behind us and a stellar day one capital campaign kick-off, having reached 15% of goal.
- We enhance the City's economy by providing a 164% reallocation of Rooted Carrot customer dollars back into *this* economy.
- We are a smart investment, having devoted ourselves to following industry best practices, and were nominated for the 2019 Best of the Best Award at a national co-op start-up conference.
- We boast a 90% start-up success expectation, based on national data and accounting for our specific practices and decisions.
- Our 1,100 member-owners represent every cross-section of the Cedar Valley including owners of other businesses, teachers, retirees, students, developers.

The 2019 Downtown Parking Study conducted by WGI and adopted by the City provided this summary:

While we can build a strong argument that parking exempt districts are good urban policy, it must be acknowledged that this policy in turn makes it incumbent on the City to ensure that sufficient public parking infrastructure is in place to support both existing businesses and new development. It also places responsibility on the City to develop additional public parking capacity, when needed, in a planned and logical manner that best serves all of downtown. With all the recent development activity downtown, the reality is that the City is relying on the same amount of public parking infrastructure that has been in place for decades.

Additionally, on page 42 WGI recommends that the City work with developers under private/public partnerships to create additional public parking as developments occur.

In her presentation to the Committee of The Whole last month, Karen Howard, Planning and Community Services Manager indicated commitment to the findings, noting the City is looking for “...any opportunities to add parking.”

As the City has committed to the Vision Plan and Parking Study findings, we request a *correlating* commitment to reserve the 21 space at-grade parking lot behind RCCM for RCCM customer use-only. As noted in Jacqueline Hannah’s letter of support, three of the four Market Study factors that are used to forecast Rooted Carrot’s success boast an “above average” rating, while parking is considered below adequate. While our store does not require parking by code, I redirect you to re-read the underlined summary by WGI above. Twenty-one devoted spaces (during business hours) along with just a few on-street spaces like along 7th Street, takes RCCM’s parking rating to ‘adequate’, further ensuring our success.

Rooted Carrot Co-op believes that the City of Cedar Falls will demonstrate recognition of this Vision fulfilling opportunity by enabling adequate parking for Rooted Carrot Co-op.

In cooperation,

Kate Dunning

Chair, Site Team

Rooted Carrot Co-op Market

PO Box 1002, Cedar Falls, IA 50613

Phone: 319.290.1198 **Web:** <http://rootedcarrot.coop/>

Follow us on   



February 2nd, 2021

Dear Cedar Falls City Staff and Planning & Zoning Commission:

I am writing in support of maximizing Rooted Carrot Co-op Market's parking.

I am the Assistant Director of Food Co-op Initiative (FCI), a national organization that advocates for and guides communities throughout the U.S. in organizing and opening new food cooperatives to benefit their communities. Previous to this, I was the General Manager (CEO) of the Common Ground Food Co-op in Champaign-Urbana, IL for over eight years, a community with a great deal of parallels to your own as one of the best college towns in the Midwest to live in. During my tenure, our co-op was the fastest growing in the nation for five years straight and grew from \$0.5 million in sales to over \$9 million in sales, creating 100 jobs in the community – a trajectory the Rooted Carrot Co-op Market could match and exceed with the right start.

Food co-op start-ups enjoy more long-term success than any other type of business startup with over 70% that open staying open. Of those startups that adhere closely to the FCI development model and use cooperative industry professional support, that number rises to over 90%. We expect RCCM to be in that 90%, as it has, to this point, adhered strongly to the time-tested model that has led to success for startup food co-ops.

Startup food co-ops do not just create jobs and succeed at a far higher rate than almost any other industry or business model, they build economies. They become star attractions on the list of reasons to move to a college town community; they vastly grow the level of local food produced in the region as they become a year-round, trusted marketplace for local food that makes it possible for local growers and producers to invest in infrastructure for year round production and expanded offerings; and they spark the creation of many new micro-businesses in the city, businesses that get their start with the co-op and then grow to be city-wide or even regional brands. This leads to the creation of not only more jobs, but a destination food culture that raises the food co-op's hometown's visibility throughout its region and even nationally. RCCM is ready to succeed at doing all of this and more, *if* it can clear one specific site hurdle from its path.

We know from collected data from over 150 open food co-ops throughout the US and from our work at FCI with over 100 startup food co-op projects, that the site of a future food co-op must score adequate to high in the following characteristics for the co-op to succeed as a business:

- Visibility and adequate signage
- Adequate traffic through the area/retail synergy
- Ingress/egress (convenient access to the grocery store from the road)
- Parking

Rooted Carrot's projected site at 7th and Main Street has been rated 'very good' on three of the four factors by the market studies done specifically for this site: convenient access, traffic/synergy, and visibility (if the necessary signage is allowed). However, my greatest ongoing concern about this site has been its available dedicated parking, which needs to be 23 dedicated space bare minimum to be rated "adequate". This is based on the gold standard minimum, distilled from co-op grocery store data, of 3 spaces per 1,000 square feet of retail space. At 7,727 square feet, 23 spaces will provide bare minimum

New co-ops start here.

adequacy. Anything less will have a significant negative impact on the Rooted Carrot's financial viability in a location and community otherwise well suited to making it thrive.

My level of concern about RCCM's parking situation at this site should be *our* shared level of concern, as inadequate parking could stunt the success of what is otherwise a project ready to bring huge benefit to its community. My concern is rooted in experience – we have seen startup food co-ops that opened with inadequate parking limp for years with sales well under projections, and we have seen existing food co-ops that had sub-optimal dedicated parking, relying on free street parking owned by the city, become financial crippled when cities transitioned that parking to paid, metered parking. We have the experience and the data to show that grocery store customers will not go to stores that don't have adequate, visible, dedicated, free parking.

The creation of this food co-op will be an incredible boon to your city. Rooted Carrot's 1,100 member-owner community has been passionately and carefully building this start-up since 2014 to open, thrive, and have impacts on Cedar Falls for decades to come. I urge you to consider the effects of your decisions on these members, the myriad of farmers, vendors, employees, and your city's future. What RCCM can do for your community few to no other business could, but they need your support in this specific stage of partnership with the Commission and City you represent to make it happen.

Sincerely,

Jacqueline Z Hannah
Assistant Director
Food Co-op Initiative



retail planiT

Supermarket, C-Store, & Retail Design

February 3, 2021

Dear Cedar Falls' Planning & Zoning Commission:

My name is Karla Krueger. I am co-owner of Retail PlaniT, a design firm specializing in grocery stores, food markets, and co-op food stores. Since 1989, we have been involved in all aspects of support to launch successful, long standing retail food businesses.

I have been working alongside Rooted Carrot since July 2020 on the finite details of store design, including the programming such as deli options and zero waste offerings within the store. Integral to this project's success is design because it directly affects customer experience and employee engagement. For example, the aisle widths are designed slightly more narrow than typical grocery aisles to encourage customer and employee connection and eventual relationship. Eye contact and non-verbal engagement cannot be overstated. A quick question regarding how the customer is doing is important. Staff will be trained on customer engagement with these nuances in mind to ensure positive customer interactions. Preparation areas will be designed for openness to customer view to drive inquiry and work-pride. Seeing and smelling products is not just nice, it is vital to engagement and confidence in the cooperative grocery model. While most grocery store design includes little connection to the community beyond its walls, RCCM's overall store design will include an eye-level expanse of the windows facing south along 7th Street, including abutting seats to drive customer and employee connection to the community beyond, while also encouraging the community to stop by and shop!

Having said this, it is important to note that our interior work to drive success is only possible if customers come. A key component of this store's long-term success involves the ease and convenience of customer parking. Grocery is not typical retail, in that parking 3 blocks away and walking with multiple bags is unrealistic. A grocery shopper wants "easy in, easy out" and simply will not return to a store if parking is a hassle.

A store such as Rooted Carrot is a wonderful addition to the community of Cedar Falls. Not only does it build connection with its neighbors and customers, but it also helps develop and support new and already existing local small businesses and producers in the region. The quality of life in a community is higher when a strong, successful co-op resides in it.

Please consider supporting the parking needs of the Rooted Carrot Food Co-op.

Respectfully,

Karla Krueger

308 Pine Street, Sheboygan Falls, WI 53085 Phone • 920.467.9558 • Fax 920.467.9658
karla@theretailplanit.com • www.theretailplanit.com



310 East 4th Street
Cedar Falls, IA 50613

Phone: 319-277-0213
www.communitymainstreet.org

2020-2021

Board of Directors:

- Crystal Ford - President
- Darin Beck
- Natalie Brown
- Wynette Froehner
- Lexie Heath
- Ty Kimble
- Audrey Kittrell
- Jenny Leeper
- Dan Lynch
- Amy Mohr
- Clark Rickard
- Stephanie Sheetz
- Julie Shimek
- Mark Schowalter
- Brad Strouse

February 12, 2021

Planning and Zoning Commission

To Whom it May Concern:

The Community Main Street Design Committee conducted a design review and also met with Rooted Carrot representatives to discuss their project. Below you will find the committee's comments and feedback regarding the design of their building.

The placement of the proposed new building is unique because it is located on the border of the Downtown District and a residential neighborhood. The building is quite modern, so the committee suggests adding different masonry details that would still give a nod to the historical structures downtown and the buildings with brick that are near the site. Brick banding, sill details, wainscoting, or perhaps adding a 2ft solid section at the bottom exterior of the building to tie in with other buildings were suggestions that were made. Since the façade facing Main Street is approximately 60 feet, the committee suggests using different colored brick or alternative materials to break up the appearance instead of one flat façade. In regard to screening, the committee recommends keeping screening of the mechanical equipment in mind.

The Design Committee looks forward to more details on:

- What natural wood veneer will be used for the exterior
- What maintenance would look like for the wood veneer
- Signage details
- How parking will accommodate the residential and commercial uses to ensure project success

With all this in mind, the Community Main Street Design Committee supports the Rooted Carrot project. We believe that it will be a great addition to the Downtown District and the Cedar Falls community to support local vendors, farmers and keeping money in the local economy.

Regards,

Kim Bear

Kim Bear, on behalf of the Community Main Street Design Committee





DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
Fax: 319-273-8610
www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Jaydevsinh Atodaria (JD), Planner I
DATE: February 18, 2021
SUBJECT: Design review of property in the Central Business District Overlay

REQUEST: Request to approve a Central Business District Overlay Site Plan for renovation of building and development of adjacent lot as outdoor patio space for the proposed restaurant

PETITIONER: Potential owner: Stone and Terrace LLC, Cory Kent

LOCATION: 108 E 4th Street

PROJECT #: DR21-001

PROPOSAL

The owner of 108 E 4th Street and the adjacent parcel to the west is requesting a site plan design review to retrofit the building with a new indoor/outdoor restaurant use. The applicant anticipates the proposed use will revive the building and its surrounding area. The property is located in the Central Business District Overlay. See current and proposed facade images below. The proposed floor plans of the building are attached.



Proposed



BACKGROUND

108 E 4th Street building was originally constructed in 1950. The building was used as a mechanic's garage when it was built and later used as a tire store. The adjacent lot to the west was at one time a restaurant and then, in 1934, there was a café named George's Café on the site. Around 2008, the building was demolished leaving the site vacant. The applicant proposes to improve the open lot and 108 E 4th Street building with an indoor/outdoor restaurant while restoring/maintaining the historical context of the original site.

This property is located within the C-3, Commercial District Zone (Section 26-172) and the Central Business District Overlay (CBD) (Section 26-189). The CBD requires any "substantial improvement" to an exterior façade to be reviewed by the Planning and Zoning Commission and City Council. A substantial improvement to properties in the Central Business District Overlay is defined in Section 26-189(f):

"Substantial improvement" includes any new building construction within the overlay district or any renovation of an existing structure that involves any modification of the exterior appearance of the structure by virtue of adding or removing exterior windows or doors or altering the color or exterior materials of existing walls. All facade improvements, changes, alterations, modifications or replacement of existing facade materials will be considered a substantial improvement. Included in this definition are any new, modified or replacement awning structures or similar material extensions over the public sidewalk area. A substantial improvement also includes any increase or decrease in existing building height and/or alteration of the existing roof pitch or appearance."

ANALYSIS

The following is an evaluation of the proposed changes according to the review standards in the Central Business District Overlay Zone:

1. Proportion: This criterion takes into account the relationship of the proposed horizontal elements (such as cornice lines, awnings and canopies) and vertical elements (such as windows and doors) with the elements of adjacent buildings. The applicant is proposing to retain the existing nature of building and retrofit the building with a new indoor/outdoor dining restaurant use. The proposal is to bring an industrial feel to the restaurant. A series of large openings has been proposed along the west wall of the building facing Main Street with lintel bands added over the openings. These changes are not consistent with other storefront design buildings on Main Street, but the applicant has made an

attempt to develop the facades in a manner sensitive to the original quasi-industrial use of the building, but with new window and door openings to respond to its location along Main Street.

As per code, exceptions may be allowed for buildings on corner lots where window placement should be concentrated at the corner and may be reduced along the secondary street façade and for the repurposing of buildings not originally designed as storefronts. The proportions of the proposed windows and doors are not consistent with those in the district and neighboring buildings, but an attempt has been made to align the building design with other buildings in the downtown. Since the building was designed for servicing automobiles and not as a storefront building, the applicant is requesting an exception to the window coverage requirement Section 26-189(i)(1) of the code. Staff finds that the proposed design is a good balance between honoring the history of the building and bringing more life and activity by the added window and doors facing Main Street. **Staff supports an exception to the fenestration requirement in this case.**

2. Roof shape, pitch and direction: The building's roof is not being altered: however, the applicant is proposing to finish the existing clay tile cap coping with a paint contrasting to enhance the building façade and give an appearance similar to a cornice **This criterion has been met.**
3. Pattern: The pattern of solid surfaces and openings needs to be considered in the alteration of a building. The applicant is proposing to leave most of the building's facades as is while installing new windows and doors as needed and will be creating more vertical openings along the Main Street façade. Large glass-paned garage doors with windows will be installed along the Main Street façade, which will maximize light and views into the interior space and during warmer months will allow customers to walk freely between the inside and outdoor patio area. While such garage doors would not be appropriate as replacement for traditional storefront windows, within the context of this building that does not currently have any openings on the west side and the nature of the original use of the building, they seem appropriate. The composition of existing brick pattern along with the vertical windows will create a rhythmic pattern to the building. There are different sizes of bricks used on the west wall of the building creating two patterns, since this wall of the building was originally hidden behind another building. The two patterns will be kept to retain the originality of the building, but will be painted to give a more cohesive look. The applicant is attempting to design this building similar to other buildings in downtown while making minimal changes to the building which was never intended as a storefront building. **This criterion has been met.**
4. Building Composition: The proposed project is about retrofitting the existing building and therefore will maintain the existing composition of façades. Few changes will be made to the building walls in order to retain existing building elements, reduce construction costs, and maintain the integrity of the original design. The new openings along the south and south-east walls will maintain the existing lintel and sill heights, therefore developing a composition of aligned openings. The west wall of the building is blank and will be improved with the proposed addition of a series of wider openings and doorways. In addition to the placement of openings, the openings will be taller to mimic the height of storefront windows. The multi-paned garage doors are not typical for storefront windows, lacking the large display windows with transom above, but will create a unique aspect in keeping with the original use of the building. The multi-paned grid pattern of the windows on the building is more typical of industrial and quasi-industrial buildings. The openings throughout the building will create

visual breaks in the façades. **Staff finds the proposed retrofit to be an improvement to the existing composition of the building allowing it to be adaptively re-used in a way that will enhance the environment along Main Street.**

5. Windows and transparencies: The CBD requires new storefront construction have a minimum of 70 percent of the storefront area between two and ten feet in height above the ground level to consist of clear and transparent storefront windows. Modifications to existing storefronts can maintain or expand their transparency percentage but decreasing the area is discouraged and subject to the discretion of the Planning and Zoning Commission and City Council. Exceptions may be allowed for building on corner lots where window coverage should be concentrated at the corner, but may be reduced along the secondary street façade, and for repurposing of buildings not originally designed as storefront buildings. In the case of subject property, the applicant would like to retain the original context of the building to develop a restaurant with an industrial feel, and therefore is requesting exception to the transparency requirements. As noted above, the corner portion of the building was not designed as a storefront building, however, applicant has tried to create openings along the Main Street façade and retain most of the openings along the other facades of the building. The openings along the west and south wall of the building are approximately 47% of the wall area and south-east and east façade are 34 and 38% respectively. All the windows proposed will be clear and non-reflective. More details can be found in the attached fenestration details. **Staff finds that the changes proposed will bring the building closer to compliance with the intent of the ordinance so recommends approval of an exception to the windows coverage requirements.**
6. Materials and textures: For new construction, building materials should be compatible to the walls and roofs of buildings in the immediate area. Street-facing facades must be comprised of at least 50% brick, stone, or terra cotta. The proposed renovation work of the subject property will not include any changes in the façade materials, as the facades are already constructed of brick; however, the bricks will be painted a more subtle sea salt color which will create a new identity for the building and will address the mismatched bricks along the Main Street facade. Steel lintel bands of contrasting color will emphasize the building design. A commercial awning made of commercial grade Sunbrella fabric will project out from the south-east façade of the building and will enhance the entranceway of the building. The proposed materials are in keeping with buildings materials in the district and meet the requirements of this section. **This criterion has been met.**
7. Color: The proposed color alteration of the subject building will transform the existing brown color of the brick facade to a subtle sea salt color and will complement the facade's black iron exterior window trim. The addition of the lintel bands will create an interesting color composition. Buildings in the CBD utilize earth and neutral tones, so other colors can accent and highlight the architectural features of a building as per the code. The proposed colors are neutral and compatible with the existing colors of the district. While painting unpainted brick is discouraged in the ordinance, in this case staff feels it will enhance the façade given the mismatched brick along the Main Street façade. **This criterion has been met.**
8. Architectural features: The building is currently being used as a warehouse. The applicant proposes to use the existing industrial feel for a new proposed restaurant to allow customers to enjoy the unique industrial character of the building. The addition of architectural features, including, but not limited to, metal lintel bands, doors, windows, and other elements, while prevalent in the area, shall be considered in the alteration of a building. The proposed new

windows, projecting sign, and projecting awning are all elements that are consistent with the district and add interest to the building. **This criterion has been met.**

9. Building entries: The existing building has two entrances from W 4th Street; one entrance along the south wall of the building and the other along the south-east wall of the building. The proposed renovation will retain the southeast facing door, but will replace the existing door on the 4th Street (south façade) with a window. The main entrance to the restaurant will be covered by an awning. The entrance and awning will not directly face the street, but will project over an entrance patio space in the location where an auto service area was likely located for the original use of the building. Two additional doors will be added on the Main Street (west façade) outdoor dining area and to provide emergency exits for the restaurant. In addition, for safety purposes and building code requirement, two emergency ingress/egress points are provided in the enclosure from the outdoor patio space or restaurant. **This criterion has been met.**

10. Exterior mural wall drawings, painted artwork, exterior painting: No mural is being proposed; **this criterion does not apply for this review.**

11. Signage: The applicant is proposing a projecting sign for the new business over the public sidewalk along W 4th Street. The proposal does not include any wall signs. Walls signs may be approved administratively according to the standards in the code if in the future the applicant wishes to install an additional signs. All projecting signs within the CBD are required to be at least 10 feet above the sidewalk and cannot project further than half the width of the sidewalk where the storefront is located, or five feet, whichever is less (Section 26-189 (j)(2)).



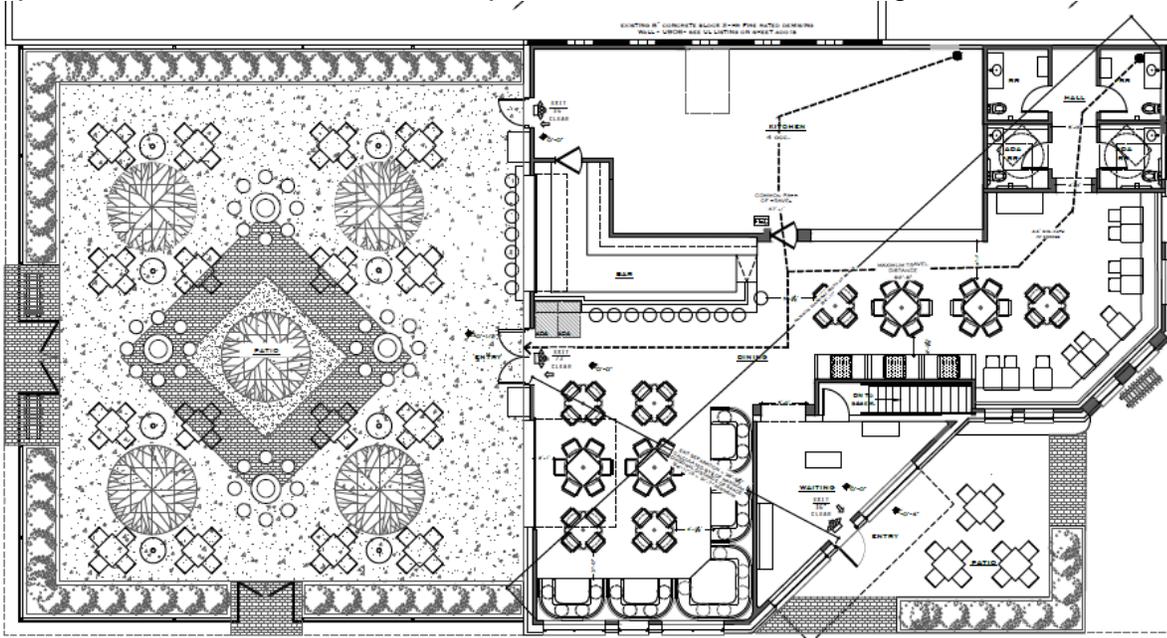
The proposed projecting sign will be placed along the south wall of the building fronting W 4th Street. The projection of sign is approximately five feet from the wall and will have clear height distance of 10 feet above the sidewalk. All projecting signs shall not exceed 40 square feet per sign face (Section 26-189 (j)). Proposed sign will be about 12 to 15 square feet in area and will be illuminated. The sign is diamond shaped with round corners and a small rectangle with rounded corners below the diamond. The sign will be supported with 2 inch square stock, blackened steel. See attached sign details (drawing A704) in the packet for more information. The proposed sign area, clear sidewalk height requirements and the projection distance all meet the city code standards. A separate sign permit will be required of the applicant or sign company before installing the proposed sign. If the signage details differ greatly from what is shown here, review and approval by both the Planning and Zoning Commission and City Council will be required. **This criterion has been met.**

12. Use: The proposed use for the subject property is for a restaurant, a use allowed as per zoning code. The adjacent western portion of the proposed site is currently used as common outdoor event space by Community Main Street, but will now be converted into outdoor patio

space for the new restaurant. Since the applicant is intending to use the space as an outdoor service area, the applicant will be required to meet the standards of City Code Sections 5-46 through 5-62. All permitting and licenses will have to be approved by City Council prior to operating the space as outdoor service area. On-site parking is not required in Downtown for principal commercial, professional office, or service business uses or facilities as per code. **This Criterion has been met.**

Outdoor Patio:

The outdoor patio area on the western portion of the proposed site is an interesting feature of the proposed design. The applicant is planning to retrofit the existing building with an indoor/outdoor dining experience in conjunction with the industrial ambience of the interior dining area. The outdoor patio is screened with planter-boxes along the west and south side of the site and will also be screened with a metal fence. The outdoor patio also includes a few tree planters in the interior area and will have heating towers to extend use of the space into the cooler months. The garage door openings in the west wall of the restaurant will provide access and a view to the patio, streets and surrounding activities.



Street furniture elements:

The applicant is proposing to add city standard bike racks on south east corner and also within the Main Street patio frontage. The racks will not be in right-of-way and therefore not obstruct pedestrian movement. In addition, the applicant will be using the same brick pavers that are used in the downtown streetscape in the patio area and southeast corner area to enhance the entry/exit points to the proposed dining restaurant and outdoor patio. The southeast corner area will also include planter-boxes and extended patio seating. This proposed furniture is not in the right-of-way and its placement will enhance the entrance to the restaurant and the southeast corner of the site.

TECHNICAL COMMENTS

City engineering staff is reviewing the bioswales proposed along the edges of the patio space to determine how these might be best designed to work with existing stormwater infrastructure in the area. The applicant will be working with the city to address these issues and construction details will be required prior to issuance of a building permit for the project.

STAFF RECOMMENDATION

The Community Development Department recommends review and discussion of the submitted proposal to remodel the building at 108 E 4th Street and development of adjacent lot to the west as an outdoor patio space for the proposed restaurant; and continuing for further public discussion at your March 10, 2021 meeting.

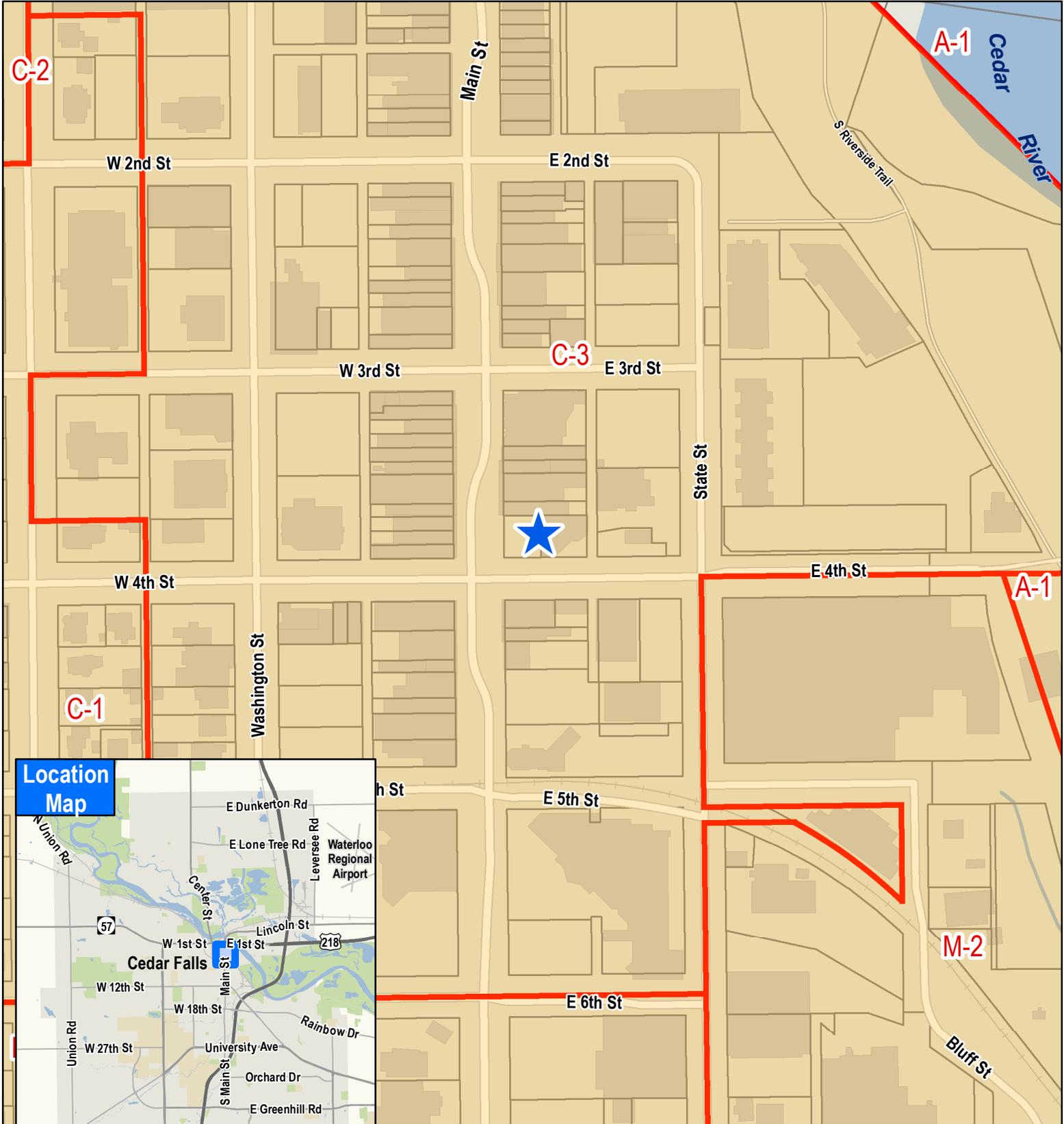
PLANNING & ZONING COMMISSION

Discussion
2/24/2021

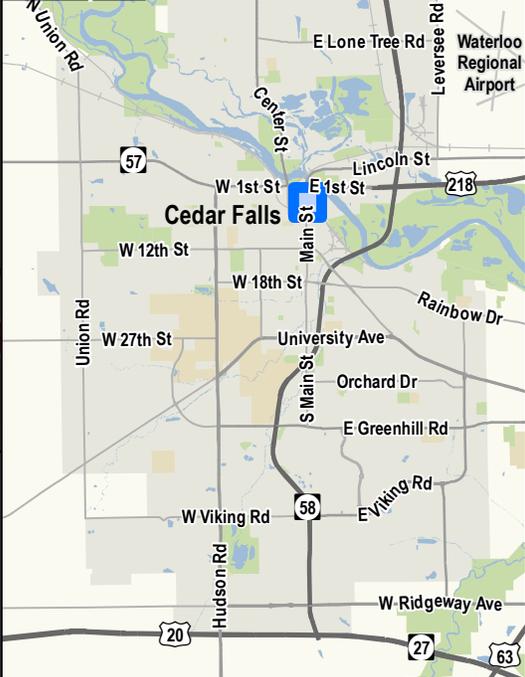
Cedar Falls Planning and Zoning Commission

February 24, 2021

Item 4.



Location Map



Design Review for new Restaurant 108 E 4th Street

Smith Hanes

STUDIO

949 W MARIETTA ST NW #X-113
ATLANTA, GA 30318
TELEPHONE. 770.780.1316
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GEORGE'S LOCAL

108 E 4TH STREET
CEDAR FALLS, IA 50613

108 E 4TH

108 E 4TH STREET
CEDAR FALLS, IA 50613

MATERIALS		ABBREVIATIONS		DRAWING / SHEET INDEX			PROJECT DIRECTORY											
		<p>'A' AC OR A/CAIR CONDITIONING ARCHITECT /ENGINEER</p> <p>A/E ABOVE FINISH FLOOR</p> <p>AHU AIR HANDLING UNIT</p> <p>ALT ALTERNATE</p> <p>ALUM ALUMINUM</p> <p>APPROX APPROXIMATE</p> <p>ARCH ARCHITECT</p> <p>ARCHITECTURE, ARCHITECTURAL</p> <p>ACOUS PNCACOUSTICAL PANEL</p> <p>'B' BLDG BUILDING</p> <p>BLK BLOCK</p> <p>BLKG BLOCKING</p> <p>BOT BOTTOM</p> <p>BUR BUILT-UP ROOF</p> <p>'C' CC, C/C CENTER TO CENTER</p> <p>CJ CONSTRUCTION JOINT</p> <p>CIP CAST IN PLACE</p> <p>CLG CEILING</p> <p>CLG HT CEILING HEIGHT</p> <p>CMU CONCRETE MASONRY UNIT</p> <p>COL COLUMN</p> <p>CONC CONCRETE</p> <p>CONT CONTINUOUS</p> <p>CPT CARPET</p> <p>'D' DET DETAIL</p> <p>DF DRINKING FOUNTAIN</p> <p>DIA DIAMETER</p> <p>DIM DIMENSION</p> <p>DN DOWN</p> <p>DR DOOR</p> <p>DS DOWNSPOUT</p> <p>DWG DRAWING</p> <p>'E' EA EACH</p> <p>ELEC ELECTRICAL</p> <p>EL ELEVATION</p> <p>ELEV ELEVATOR</p> <p>EQ EQUAL</p> <p>EQUIP EQUIPMENT</p> <p>EWL ELECTRICAL WATER COOLER</p> <p>EXIST EXISTING</p> <p>EXP JT EXPANSION JOINT</p> <p>EXT EXTERIOR</p> <p>'F' FD FIRE DEPARTMENT CONNECTION</p> <p>FDC FIRE DEPARTMENT CONNECTION</p> <p>FEC FIRE EXTINGUISHER CABINET</p> <p>FHC FIRE HOSE CABINET</p> <p>FIN FINISH</p> <p>FIN FL FINISH FLOOR</p> <p>FIN GR FINISH GRADE</p> <p>FLR FLOOR</p> <p>FLUOR FLUORESCENT</p> <p>FOC FACE OF CONCRETE</p> <p>FOM FACE OF MASONRY</p> <p>FOS FACE OF STUD</p> <p>FPRF FIREPROOFING</p> <p>FTG FOOTING</p> <p>FWC FABRIC WALL COVERING</p> <p>'G' GA GAUGE</p> <p>GLV GALVANIZED</p> <p>GL GLASS</p> <p>GR GRADE</p> <p>GYP GYPSUM</p> <p>GYP BD GYPSUM BOARD</p> <p>GYP PLAGGYPSUM PLASTER</p> <p>'H' HC HOLLOW CORE</p> <p>HGT HEIGHT</p> <p>HM HOLLOW METAL</p> <p>HMD HOLLOW METAL DOOR</p> <p>HMF HOLLOW METAL FRAME</p> <p>HVAC HEATING, VENTILATION, AIR CONDITIONING</p> <p>'I' ID INSIDE DIAMETER</p> <p>INSUL INSULATION</p> <p>INTR INTERIOR</p> <p>'L' LAV LAVATORY</p> <p>LAV LIGHT WEIGHT</p> <p>LT WT</p> <p>'M' MAINT MAINTENANCE</p> <p>MAS MASONRY</p> <p>MAX MAXIMUM</p> <p>MFG MANUFACTURING</p> <p>MFR MANUFACTURER</p> <p>MIN MINIMUM</p> <p>MISC MISCELLANEOUS</p> <p>MO MASONRY OPENING</p> <p>MULL MULLION</p> <p>'N' NA NOT APPLICABLE</p> <p>NO NOT IN CONTRACT</p> <p>NRC NOISE REDUCTION COEFFICIENT</p> <p>NTS NOT TO SCALE</p> <p>'O' OA OVERALL</p> <p>OC ON CENTER</p> <p>OD OUTSIDE DIAMETER/ OUTSIDE DIMENSION</p> <p>OFF OFFICE</p> <p>OPNG OPENING</p> <p>OPH OPPOSITE HAND</p> <p>OPP OPPOSITE</p> <p>ORIG ORIGINAL</p> <p>OVHD OVERHEAD</p> <p>'P' PL PLATE</p> <p>PLAM PLASTIC LAMINATE</p> <p>PLAS PLASTER</p> <p>PLYWOOD PLYWOOD</p> <p>PNL PANEL</p> <p>PAIR PAIR</p> <p>PREFAB PREFABRICATED</p> <p>PREFIN PREFINISHED</p> <p>PRELIM PRELIMINARY</p> <p>PREP PREPARATION</p> <p>PRESERVATIVE PRESERVATIVE</p> <p>PT TREATED</p> <p>PTD PAINTED</p> <p>PVMT PAVEMENT</p> <p>'Q' QT QUARRY TILE</p> <p>'R' R RISER / RADIUS</p> <p>RD ROOF DRAIN</p> <p>REF REFERENCE</p> <p>REFL REFLECTED</p> <p>REINF REINFORCED, REINFORCING, REINFORCEMENT</p> <p>REQ'D REQUIRED</p> <p>ROO ROOM</p> <p>ROU ROUGH OPENING</p> <p>'S' S SOUTH</p> <p>SC SOLID CORE</p> <p>SCHED SCHEDULE</p> <p>SECT SECTION</p> <p>SHT SHEET</p> <p>SIM SIMILAR</p> <p>SPEC SPECIFICATION</p> <p>SQ SQUARE</p> <p>SQ FT SQUARE FOOT</p> <p>SST STAINLESS STEEL</p> <p>STC SOUND TRANSMISSION CLASS</p> <p>STD STANDARD</p> <p>STL STEEL</p> <p>STRUCT STRUCTURAL</p> <p>SUSP SUSPENDED</p> <p>SYM SYMMETRIC</p> <p>'T' T TREAD</p> <p>T&G TONGUE AND GROOVE</p> <p>TEL TELEPHONE</p> <p>TF TOP OF FOOTING</p> <p>TF TOP OF FINISH FLOOR</p> <p>THK THICKNESS</p> <p>TJ TOP OF JOINT</p> <p>TS TUBE STEEL</p> <p>TSL TOP OF SLAB</p> <p>TST TOP OF STEEL</p> <p>TW TOP OF WALL</p> <p>TYP TYPICAL</p> <p>'U' UNFIN UNFINISHED</p> <p>UNON UNLESS OTHERWISE NOTED</p> <p>UPS UNINTERRUPTIBLE POWER SUPPLY</p> <p>'V' VCT VINYL COMPOSITION TILE, OR VITRIFIED CLAY TILE</p> <p>VERT VERTICAL</p> <p>WVC VERTICAL COVERING</p> <p>'W' W WEST</p> <p>W WITH</p> <p>W/O WITHOUT</p> <p>WC WATER CLOSET</p> <p>WD WOOD, WIDTH</p> <p>WDW WINDOW</p> <p>WF WIDE FLANGE</p> <p>WIP WROUGHT IRON</p> <p>WP WORKING POINT</p> <p>WWF WELDED WIRE FABRIC</p>	<p>DWG#</p> <p>A000 COVER SHEET, BUILDING INFO</p> <p>A000B PROPOSED EXTERIOR RENDERINGS</p> <p>ASPI ARCHITECTURAL PROPOSED SITE PLAN</p> <p>A001 LIFE SAFETY PLAN AND CODE COMPLIANCE</p> <p>A002 ADA NOTES AND GUIDELINES</p> <p>A003 ADA NOTES, CONTINUED</p> <p>A004 PARTITION SCHEDULES AND UL LISTINGS</p> <p>ACO04B DOOR, WINDOW AND HARDWARE SCHEDULES</p> <p>ACO04C DOOR & WINDOW SCHEDULE, CONT.</p> <p>A005 FINISH SCHEDULES</p> <p>A006 LIGHTING AND CEILING SCHEDULES</p> <p>A007 PLUMBING, FURNITURE, AND EQUIPMENT SCHEDULES</p> <p>A100 EXISTING AND DEMOLITION FLOOR PLAN</p> <p>A101 EXISTING AND DEMOLITION BASEMENT PLAN</p> <p>A102 EXISTING AND DEMOLITION REFLECTED CEILING PLAN</p> <p>A200 PROPOSED FLOOR PLAN</p> <p>A210 PROPOSED FURNITURE PLAN</p> <p>A220 PROPOSED WALL FINISH PLAN</p> <p>A230 PROPOSED FLOOR FINISH PLAN</p>	<p>OWNER</p> <p>Stone and Terrace LLC Brian Wingert & Cory Kent 2021 Main St Cedar Falls, IA 50613 319.404.4884</p> <p>ARCHITECT & DESIGN TEAM</p> <p>SMITH HANES STUDIO MAGGIE MCBRIDE, RA 949 W. Marietta St. NW, Ste X-113 Atlanta, GA 30318 maggie@smithhanes.com (404)402-1316</p> <p>MEP & SEC ENGINEERS</p> <p>Design / Build</p> <p>CONTRACTOR</p> <p>TBD</p>														
<p>SYMBOLS</p> <p>DETAIL</p> <p>SECTION</p> <p>DETAIL - ENLARGED PLAN</p> <p>INTERIOR ELEVATION</p> <p>ELEVATION TAG</p>		<p>DOOR DESIGNATION</p> <p>WINDOW/LOUVER DESIGNATION</p> <p>CEILING TAG</p> <p>ROOM NUMBER</p> <p>WALL TYPE</p> <p>NOTE TAG</p> <p>NORTH ARROW</p> <p>REVISION</p>	<p>VICINITY MAP (NOT TO SCALE)</p>	<p>PROJECT DIRECTORY</p> <p>PROJECT DESCRIPTION:</p> <p>RENOVATION OF EXISTING MASONRY ONE-STORY BUILDING WITH PARTIAL BASEMENT LEVEL FOR RESTAURANT TENANT USE. PROPOSED RENOVATION TO INCLUDE EXTERIOR MODIFICATIONS TO EXISTING PENETRATION AND FINISHES ALONG WITH EXTERIOR PATIO AREA. INTERIOR AREA OF X,XXX SF SCOPE OF WORK TO INCLUDE NEW INTERIOR NON-LOAD BEARING WALLS, NEW MECHANICAL, ELECTRICAL AND PLUMBING WORK, NEW FIXTURES, FINISHES AND FURNITURE.</p> <p>BUILDING ADDRESS:</p> <p>108 E 4TH STREET CEDAR FALLS, IA 50613</p> <p>ZONING:</p> <p>C-3, CENTRAL BUSINESS DISTRICT OVERLAY</p> <p>OCCUPANCY:</p> <p>A-2, ASSEMBLY - RESTAURANT USE</p> <p>CONSTRUCTION TYPE:</p> <p>TYPE II-B, FULLY SPRINKLERED NFPA 13 AT FIRST FLOOR LEVEL, PARTIAL BASEMENT IS NOT SPRINKLERED PER</p> <p>BUILDING HEIGHT:</p> <p>1 STORY / 13 FEET PROVIDED, 2 STORIES ALLOWED (COMPLIES WITH IBC 503 - TYPE IIB CONSTRUCTION)</p> <p>FIRE RATINGS:</p> <table border="0"> <tr> <td>PRIMARY STRUCTURAL FRAME</td> <td>0 HR</td> </tr> <tr> <td>BEARING WALLS - EXTERIOR</td> <td>0 HR</td> </tr> <tr> <td>BEARING WALLS - INTERIOR</td> <td>0 HR</td> </tr> <tr> <td>NONBEARING WALLS - INTERIOR</td> <td>0 HR</td> </tr> <tr> <td>NONBEARING WALLS - EXTERIOR</td> <td>0 HR</td> </tr> <tr> <td>FLOOR CONSTRUCTION</td> <td>0 HR</td> </tr> <tr> <td>ROOF CONSTRUCTION</td> <td>0 HR</td> </tr> </table> <p>SEPARATION OF OCCUPANCIES (PER IBC 508.4 AND NFPA 101 6.1.1.4.(b)):</p> <p>EXISTING 2 HOUR FIRE SEPARATION PROVIDED BETWEEN TENANT A-2 RESTAURANT USE AND ADJACENT BUILDING (BUSINESS)</p> <p>2 HOURS PROVIDED, 1 HOUR REQ'D PER IBC 508.4</p> <p>SPRINKLER:</p> <p>TENANT SPACE AND ENTIRE GROUND FLOOR LEVEL / STORY TO BE FULLY SPRINKLERED (IBC 903 - NFPA 13 SYSTEM). PARTIAL BASEMENT IS NOT SPRINKLERED PER IBC 903.2.1 - SPRINKLER SYSTEM IS REQUIRED THROUGHOUT THE STORY WHERE THE FIRE AREA CONTAINING GROUP A-2 OCCUPANCY IS LOCATED AND THROUGHOUT ALL STORIES FROM THE GROUP A OCCUPANCY TO AND INCLUDING THE LEVEL OF EXIT DISCHARGE. PARTIAL BASEMENT OCCUPANCY IS SOLELY S-2 LOW HAZARD STORAGE.</p> <p>FIRE ALARM:</p> <p>NOT REQUIRED PER SECTION 907.2</p> <p>REQ'D PROTECTION:</p> <p>EXISTING VERTICAL OPENINGS IN BUILDING TO BASEMENT LEVEL ARE WITHIN TENANT AREA. EXISTING BASEMENT LEVEL IS S-2 LOW HAZARD STORAGE ONLY</p> <p>TENANT AREA:</p> <p>3,554 S.F. - INTERIOR CONDITIONED AREA 3,824 S.F. - EXTERIOR PATIO AREA 3,101 S.F. - EXISTING PARTIAL BASEMENT AREA</p>	PRIMARY STRUCTURAL FRAME	0 HR	BEARING WALLS - EXTERIOR	0 HR	BEARING WALLS - INTERIOR	0 HR	NONBEARING WALLS - INTERIOR	0 HR	NONBEARING WALLS - EXTERIOR	0 HR	FLOOR CONSTRUCTION	0 HR	ROOF CONSTRUCTION	0 HR
PRIMARY STRUCTURAL FRAME	0 HR																	
BEARING WALLS - EXTERIOR	0 HR																	
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NONBEARING WALLS - INTERIOR	0 HR																	
NONBEARING WALLS - EXTERIOR	0 HR																	
FLOOR CONSTRUCTION	0 HR																	
ROOF CONSTRUCTION	0 HR																	

notes:

job number:

201111

date of issue:

02/08/2021

drawing name:

COVER SHEET AND BUILDING INFO

drawing no.

A 000

RELEASED FOR CONSTRUCTION

Smith Hanes

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108 E 4TH

108 E 4TH STREET
CEDAR FALLS, IA 50613

notes:

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PROPOSED EXTERIOR RENDERING

drawing no.

A 001

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PATIO FLOORING TO BE MOSTLY STAMPED CONCRETE WITH AREAS OF BRICK PAVERS THAT MATCH CITY STANDARD DETAILS FOR PAVERS

PROPOSED WOOD PLANTERS SURROUND PATIO WITH LANDSCAPING

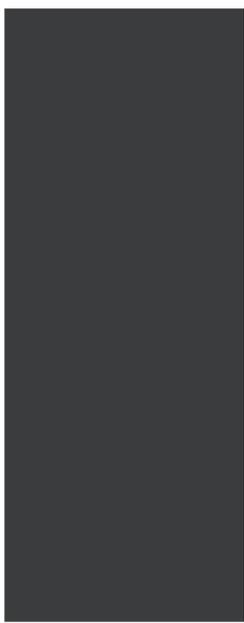
PROPOSED METAL RAILING AROUND COURTYARD DINING AREA THAT IS PER CITY STANDARD DETAIL

EXISTING MASONRY EXTERIOR BUILDING FINISH TO BE PAINTED, OFF-WHITE COLOR, EXACT COLOR TO BE DETERMINED

PROPOSED WALL-MOUNTED SIGNAGE ALONG 4TH STREET FACADE, ILLUMINATED

EXTERIOR FABRIC AWNING ON METAL FRAME OVER ENTRY

STEEL LINTELS OVER MASONRY OPENINGS, STEEL PAINTED BLACK
METAL WINDOWS AND DOORS TO BE BLACK IN FINISH AND COLOR



EXTERIOR WINDOW TRIM & LINTEL PAINT - BENJAMIN MOORE 2120-20 BLACK IRON



EXTERIOR FACADE PAINT - BENJAMIN MOORE CSP-95 SEA SALT

PROPOSED EXTERIOR PAINT TYPES ARE AN EXTERIOR COMMERCIAL GRADE PAINT - BENJAMIN MOORE ULTRA SPEC MASONRY ELASTOMERIC WATERPROOF PAINT OR ARCHITECT APPROVED EQUAL.

1 EXTERIOR RENDERING
SCALE: NTS



2 EXTERIOR RENDERING
SCALE: NTS

3 EXTERIOR PAINT COLORS
SCALE: NTS

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108 E 4TH

108 E 4TH STREET
CEDAR FALLS, IA 50613

notes:

job number:

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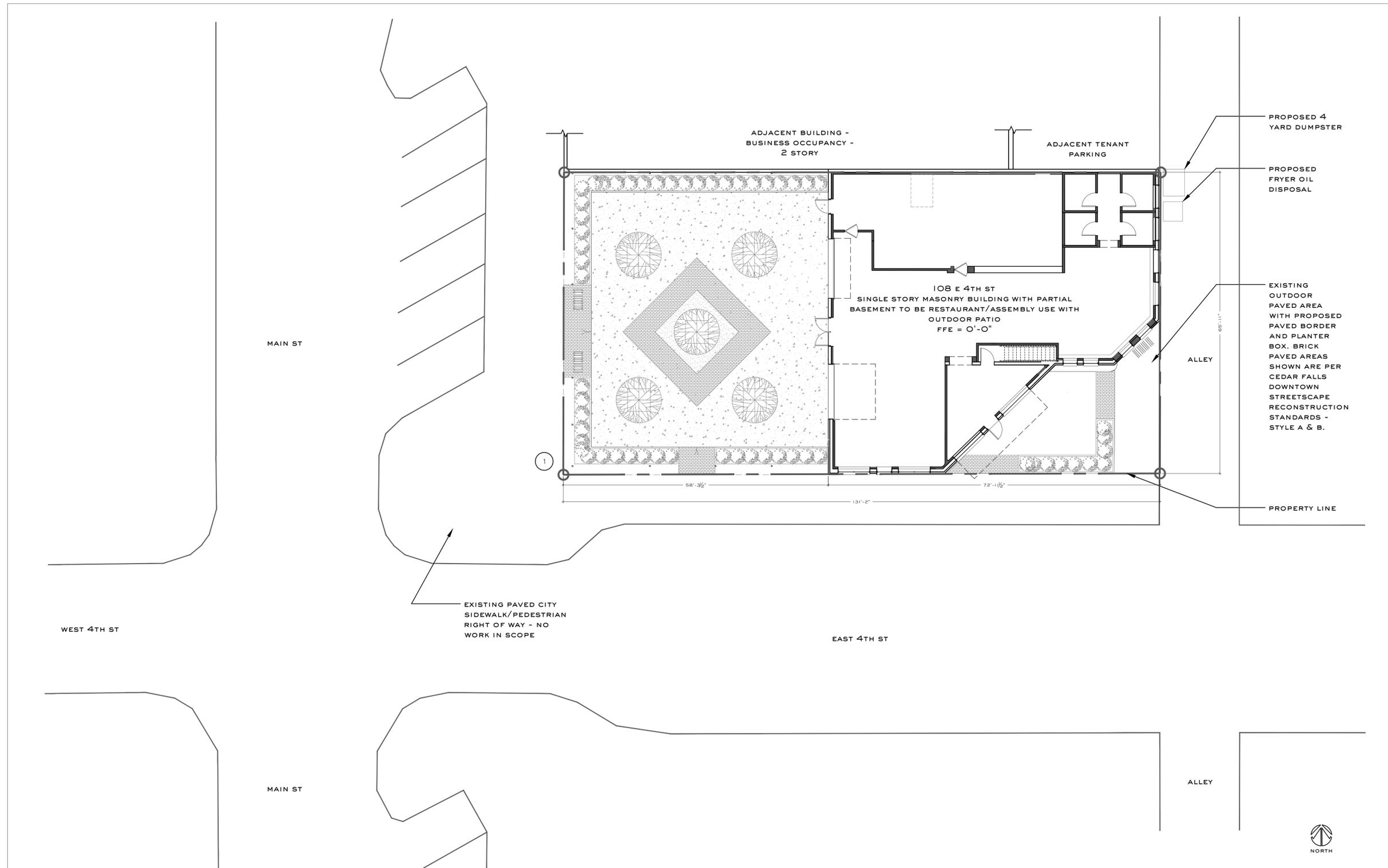
drawing name:

ARCHITECTURAL
SITE PLAN

drawing no.

A SP1

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1 ARCHITECTURAL SITE PLAN
SCALE: 3/32" = 1'-0"

LEGEND
SCALE: NTS

xx KEY NOTES

SHEET NOTES
SCALE: NTS

KEY NOTES
SCALE: NTS

1 PATIO OVERALL AREA:
3,847.51 SQ. FT. TOTAL

PERVIOUS COVERAGE AREA:
BIOSWALE - 144.92 SQ. FT.
IN GROUND WOOD PLANTERS - 560.22 SQ. FT.
IN GROUND PLANTED TREES - 124.93 SQ. FT.
BRICK PAVERS - 527.38 SQ. FT.

1,357.45 SQ. FT. TOTAL

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108 E 4TH

108 E 4TH STREET
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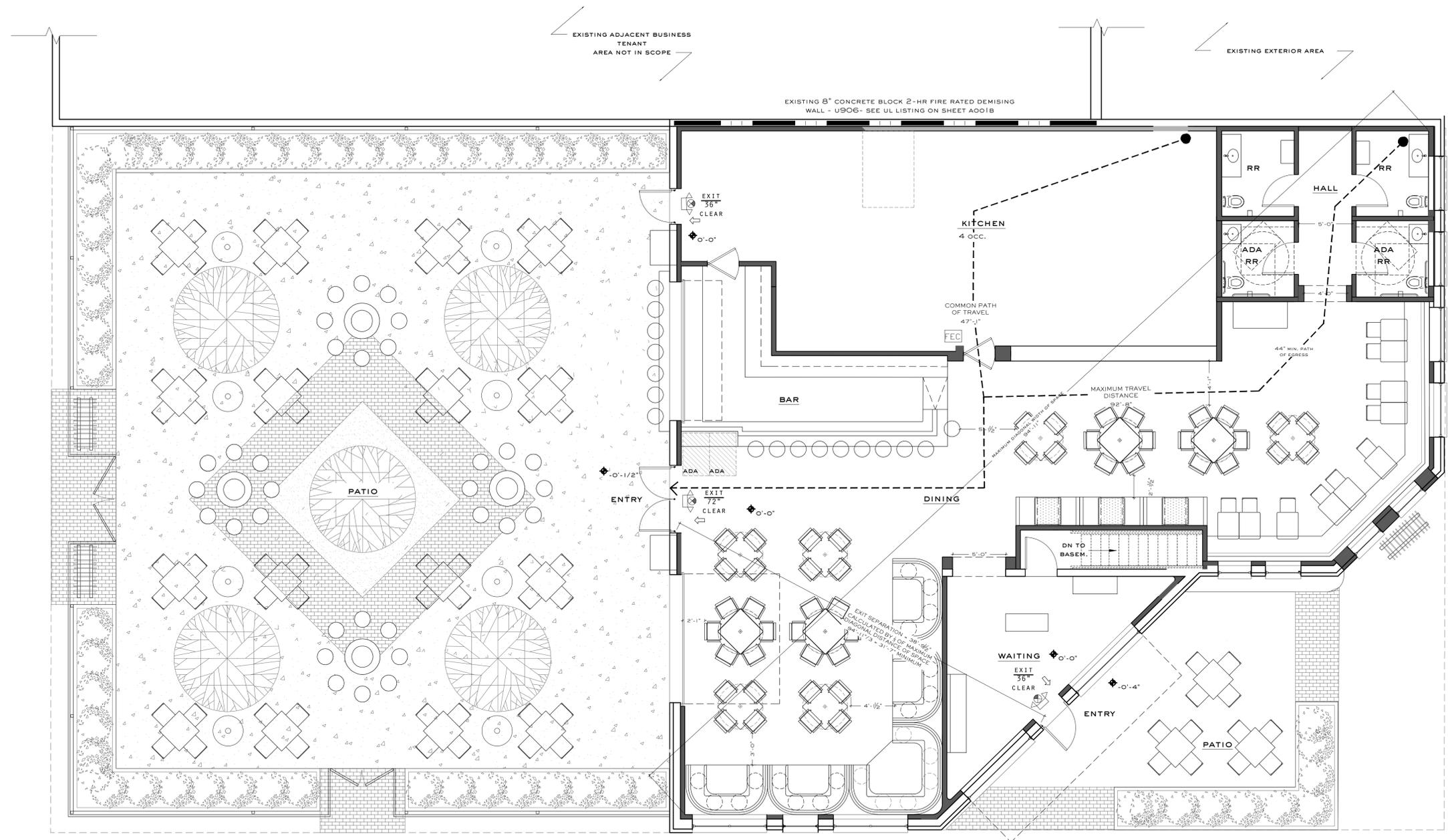
drawing name:

PROPOSED LIFE SAFETY PLAN AND CODE COMPLIANCE

drawing no.

A 001

RELEASED FOR CONSTRUCTION



PROPOSED LIFE SAFETY FLOOR PLAN SCALE: 3/16" = 1'-0"

PROJECT CODE SUMMARY																			
APPLICABLE CODES:																			
[] (IBC) INTERNATIONAL BUILDING CODE, 2015 EDITION																			
CODE INFORMATION																			
DESCRIPTION:	TENANT BUILD-OUT OF EXISTING 1 STORY MASONRY BUILDING FOR RESTAURANT / ASSEMBLY USE WITH PARTIAL BASEMENT FOR ACCESSORY STORAGE OF DR. GOODS ONLY																		
BUILDING:	108 E 4TH STREET, CEDAR FALLS, IOWA																		
ZONING:	C-3 WITH CENTRAL BUSINESS OVERLAY DISTRICT																		
OCCUPANCY:	A-2, ASSEMBLY - RESTAURANT USE																		
CONSTRUCTION TYPE:	TYPE II-B, SPRINKLED, EXISTING DEMISING WALL IS 2 HOUR FIRE-RATED																		
BUILDING HEIGHT:	1 STORY WITH PARTIAL BASEMENT (COMPLIES WITH IBC 503.1.3 - TYPE II CONSTRUCTION)																		
	15'-1" FROM GRADE TO TOP OF STRUCTURE (UNCHANGED - COMPLIES WITH 75'-0" MAX. PER IBC 504.3)																		
TENANT AREA:	3,554 SF WITH 3,101 SF PARTIAL BASEMENT AND 3,824 SF PATIO AREA (COMPLIES WITH IBC 503.1.3 - TYPE II CONSTRUCTION)																		
OCCUPANT LOAD:	<table border="0"> <tr> <td>WAITING (265 SF / 15 PER OCC.)</td> <td>18</td> </tr> <tr> <td>TABLE & CHAIR SEATING / DINING (1,237 SF / 15 PER OCC.)</td> <td>83</td> </tr> <tr> <td>TABLE & CHAIR SEATING / PATIO (3,118 SF / 15 PER OCC.)</td> <td>208</td> </tr> <tr> <td>BOOTH SEATING / DINING (37 DSF WITH 100 FT² / 24" PER OCC.)</td> <td>50</td> </tr> <tr> <td>STOOL SEATING / BAR & PATIO (1108 S.F. / 7 PER OCC.)</td> <td>15</td> </tr> <tr> <td>RESTROOMS / HALL (312 S.F.)</td> <td>0</td> </tr> <tr> <td>BASEMENT / ACCESSORY STORAGE (3,578 SF)</td> <td>0</td> </tr> <tr> <td>KITCHEN / BACK BAR (1,296 S.F. / 200 PER OCC.)</td> <td>7</td> </tr> <tr> <td>TOTAL OCCUPANTS</td> <td>381</td> </tr> </table>	WAITING (265 SF / 15 PER OCC.)	18	TABLE & CHAIR SEATING / DINING (1,237 SF / 15 PER OCC.)	83	TABLE & CHAIR SEATING / PATIO (3,118 SF / 15 PER OCC.)	208	BOOTH SEATING / DINING (37 DSF WITH 100 FT ² / 24" PER OCC.)	50	STOOL SEATING / BAR & PATIO (1108 S.F. / 7 PER OCC.)	15	RESTROOMS / HALL (312 S.F.)	0	BASEMENT / ACCESSORY STORAGE (3,578 SF)	0	KITCHEN / BACK BAR (1,296 S.F. / 200 PER OCC.)	7	TOTAL OCCUPANTS	381
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BASEMENT / ACCESSORY STORAGE (3,578 SF)	0																		
KITCHEN / BACK BAR (1,296 S.F. / 200 PER OCC.)	7																		
TOTAL OCCUPANTS	381																		

EGRESS DOOR WIDTH:	3'-0" MIN. PROVIDED AT EACH EXIT (COMPLIES WITH 36" MIN. & 3B) X 0.2 IN./OCC. / 3 EXITS = 25.4" CALCULATION)
EGRESS CORN. WIDTH:	4'-0" MIN. AT RESTROOM HALL (COMPLIES WITH 44" MIN. & 3B) X 0.3 IN./OCC. / 3 EXITS = 38.1" CALCULATION)
NUMBER OF EXITS:	3 PROVIDED, 2 REQUIRED (COMPLIES WITH IBC 1015.1)
EXIT SEPARATION:	38'-9 1/2" (COMPLIES WITH IBC 1015.2.1 EXCEPTION 2, 1/2 X 94'-11" DIAGONAL = 31'-7" MIN)
MAX. TRAVEL DIST.:	92'-8" (COMPLIES WITH IBC TABLE 1015.2 WITH 250'-0" MAX.)
MAX. COMMON PATH:	47'-1"
DEAD END CORRIDOR:	20'-0" MAX. PROVIDED: 16'-1" (COMPLIES WITH IBC TABLE 1018.4)

LIFE SAFETY SUMMARY			
TOTAL SQUARE FOOTAGE = 3,554 SF		A-2, ASSEMBLY	
ITEM	REQ'D	PROVIDED	
# OCCUPANTS		381	
EXIT STAIR WIDTH	N/A	36"	STAIR IS TO ACCESSORY STORAGE ONLY
EXITS	2	3	
EXIT DOOR WIDTH	36"	36"	
TRAVEL DISTANCE	250" MAX	92'-8"	
COMMON PATH OF TRAVEL	100" MAX	47'-1"	
DEAD END CORRIDOR	20" MAX	16'-1"	
TRAVEL DISTANCE			

WALL TYPE LEGEND	
NEW WALL	
EXISTING WALL	
RATED DEMISING WALL	
GENERAL NOTES:	
1. EXIT AND EMERGENCY LIGHTING TO PROVIDE ADEQUATE ILLUMINATION AND SIGNAGE FOR DESIGNATED EXITS.	
2. ANY MODIFICATIONS OF ELECTRIC SYSTEM OR MECHANICAL SYSTEM TO COMPLY WITH IBC 2015 AND CITY OF CEDAR FALLS CODES AND ORDINANCES.	
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY AT THE SITE, INCLUDING BUT NOT LIMITED TO MAINTAINING APPROPRIATE FIRE EXTINGUISHERS IN REQUIRED QUANTITIES DURING CONSTRUCTION.	
4. A SIGN CLEARLY STATING THAT SMOKING IS PROHIBITED SHALL BE CONSPICUOUSLY POSTED BY THE BUILDING OWNER, OPERATOR, MANAGER, OR OTHER PERSON IN CONTROL, IN EVERY PUBLIC PLACE AND PLACE OF EMPLOYMENT. "NO SMOKING" SIGNS OR THE INTERNATIONAL "NO SMOKING" SYMBOL CONSISTING OF A PICTORIAL REPRESENTATION OF A BURNING CIGARETTE ENCLOSED IN A RED CIRCLE WITH A RED BAR CROSS IT SHALL BE POSTED.	
LEGEND	
	FIRE EXTINGUISHER
	EXIT SIGNAGE WITH EMERGENCY LIGHTING
	DOOR EGRESS WIDTH

DOOR SCHEDULE					
Type	Door Info.	Location	Notes	Contact/ Source	
100	Door Type: Type A - Steel + Fluted Glass Exterior Entry Door	Front Entry	-	Source: Fine Forge Steel	-
	Door Size: 3'-0" w x 7'-5" h, VIF			Name: Alex Pappas	
	Door Material // Finish: Steel & Glass			Phone: 678.642.5049	
	Frame Material // Finish: Blackened Steel MT1			Email: alex@forgefinesteeel.com	
	Glass: Sunguard Neutral 78/65 with 78% VLT and 13% Reflectivity or architect / owner approved equal			Web: -	
	Hardware Set: H1			-	
107	Door Type: Type B - Steel Exterior Door to Kitchen	Patio to Kitchen	-	Source: Fine Forge Steel	-
	Door Size: 3'-0" w x 8'-0" h, VIF			Name: Alex Pappas	
	Door Material // Finish: Blackened Steel MT1			Phone: 678.642.5049	
	Frame Material // Finish: Blackened Steel MT1			Email: alex@forgefinesteeel.com	
	Glass: n/a			Web: -	
	Hardware Set: H1			-	
110	Door Type: Type C - Steel + Glass Exterior Back Patio Double Door	Back Patio Entry	-	Source: Fine Forge Steel	-
	Door Size: 6'-0" w x 8'-0" h, VIF			Name: Alex Pappas	
	Door Material // Finish: Steel & Glass			Phone: 678.642.5049	
	Frame Material // Finish: Blackened Steel MT1			Email: alex@forgefinesteeel.com	
	Glass: Sunguard Neutral 78/65 with 78% VLT and 13% Reflectivity or architect / owner approved equal			Web: -	
	Hardware Set: H1			-	
101	Door Type: Type D - Interior Door Trustile TS2060	Stairs to Basement	-	Source: General Contractor	-
	Door Profile: OS-One Step Sticking & C-Flat Panel				
	Door Size: 3'-0" w x 7'-0" h				
	Door Material // Finish: White Oak Wood, Stained WD2				
	Frame Material // Finish: 1x4 stained wood trim, WD2				
	Glass: n/a				
101/ 102/ 104/ 105	Door Type: Type E - Interior Door Trustile TS2060	Restroom	-	Source: General Contractor	-
	Door Profile: OS-One Step Sticking & C-Flat Panel				
	Door Size: 3'-0" w x 7'-0" h				
	Door Material // Finish: Interior Restroom: White Oak Wood, WD1/PT4 in high gloss finish Hallway: White Oak Wood, Stained, WD2				
	Frame Material // Finish: Interior Restroom: 1x4 painted wood trim, WD1/PT4 in high gloss finish Hallway: 1x4 painted wood trim, WD1/PT3 in high gloss finish				
	Glass: n/a				
108/ 112	Door Type: Type F - Interior Eliason SS Double Action Door	Bar to Kitchen	-	Source: General Contractor	-
	Door Size: 3'-0" w x 7'-0" h				
	Door Material // Finish: Stainless Steel				
	Frame Material // Finish: n/a				
	Glass: Clear, by manufacturer				
	Hardware Set: By manufacturer				
111	Door Type: Type G - Roll up Exterior Garage Door	Patio	-	Source: General Contractor	-
	Door Size: 16'-2" w x 9'-10" h, VIF				
	Door Material // Finish: Blackened Steel MT1				
	Frame Material // Finish: Blackened Steel MT1				
	Glass: Tempered Double Pane Insulated Low-E Glass				
	Hardware Set: By manufacturer				
109	Door Type: Type H - Roll up Exterior Garage Door	Patio Bar	-	Source: General Contractor	-
	Door Size: 13'-0" w x 6'-3-1/2" h, VIF				
	Door Material // Finish: Blackened Steel MT1				
	Frame Material // Finish: Blackened Steel MT1				
	Glass: Tempered Double Pane Insulated Low-E Glass				
	Hardware Set: By manufacturer				

Type	Hardware Info	Contact
H1	Description: Exterior Front Entry Door/Exterior Back Patio Entry Door/Exterior Patio Door to Kitchen	Source: Door Contact
	(2) Hand Forged Metal Pulls, finish to match door	
	(1) Von Duprin - #5575-NL Mortise lock exit device for double door. Provide #3215 Mortise device. (2) Closer w/ 90 Deg hold open: Finish to match Push/Pull Bar (1) Schlage Single Cylinder Deadbolt B562P in 622 matte black	
H2	Description: Interior Door Trustile TS2060	Source: Door Contact
	HWD: Restroom side: BASICS LBIII-19 Door Lever by Formani; Satin Stainless Steel	
	Restroom Hallway Side: (1) push plate - Cheshire Hardware; Louis Fraser Push Plate - 74mm x 293mm (2.91" x 11.54"), Pewter finish. Provided By Smith Hanes Studio: 770-780-1316 (1) One sided deadbolt with Occupancy Indicator - Pride Barco Lock Co.; K-300-V-ZI, Polished Zinc (1) Closer, Stainless steel (inside restroom)	
H3	Description: Interior Door Trustile TS2060	Source: Door Contact
	HWD: Entry side: BASICS LBIII-19 Door Lever by Formani; Gunmetal	
	Basement side: BASICS LBIII-19 Door Lever by Formani; Gunmetal	

WINDOW SCHEDULE					
Tag	Window Info.	Location	Notes	Contact	
A	Window Type: Fixed, Steel & Glass	Exterior	-	Source: Fine Forge Steel	-
	Window Size: 7'-0" w x 5'-7-1/2" h			Name: Alex Pappas	
	Glass: Clear, by manufacturer			Phone: 678.642.5049	
B	Window Finish: Exterior Side: MT1, PT7 Interior Side: MT1, PT3	Exterior	-	Email: alex@forgefinesteeel.com	-
	Window Type: Fixed, Steel & Glass			Name: Alex Pappas	
	Window Size: 3'-4" w x 5'-7-1/2" h			Phone: 678.642.5049	
C	Window Finish: Exterior Side: MT1, PT7 Interior Side: MT1, PT3	Exterior	-	Email: alex@forgefinesteeel.com	-
	Window Type: Fixed, Steel & Glass			Name: Alex Pappas	
	Window Size: 8'-2-1/2" w x 5'-7-1/2" h			Phone: 678.642.5049	
D	Window Finish: Exterior/Interior Side: MT1, PT7	Interior	-	Email: alex@forgefinesteeel.com	-
	Window Type: Fixed, Wood & Glass			Name: Alex Pappas	
	Window Size: 3'-0" w x 1'-4" h			Phone: 678.642.5049	
E	Glass: Fluted Chicken Wire Glass GL2	Exterior	-	Email: alex@forgefinesteeel.com	-
	Window Finish: 1x4 painted wood frame, Interior Restroom Side: WD1/PT4 in high gloss finish, Hallway Side: WD1/PT3 in high gloss finish			Name: Alex Pappas	
	Window Type: Fixed, Steel & Glass Transom			Phone: 678.642.5049	
F	Window Size: 3'-0" w x 1'-9-1/2" h	Exterior	-	Email: alex@forgefinesteeel.com	-
	Glass: Clear, by manufacturer			Name: Alex Pappas	
	Window Finish: Exterior/Interior Side: MT1, PT7			Phone: 678.642.5049	
G	Window Type: Fixed, Steel & Glass Transom	Exterior	-	Email: alex@forgefinesteeel.com	-
	Window Size: 6'-0" w x 1'-9-1/2" h			Name: Alex Pappas	
	Glass: Clear, by manufacturer			Phone: 678.642.5049	
G	Window Finish: Exterior/Interior Side: MT1, PT7	Exterior	-	Email: alex@forgefinesteeel.com	-
	Window Type: Existing Window			Name: n/a	
	Window Size: n/a			Phone: -	
G	Glass: n/a	Exterior	-	Web: -	-
	Window Finish: n/a				

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108 E 4TH

108 E 4TH STREET
CEDAR FALLS, IA 50613

notes:

job number:

201111

date of issue:

02/08/2021

drawing name:

DOOR, DOOR HARDWARE & WINDOW SCHEDULE

drawing no.

A 004b

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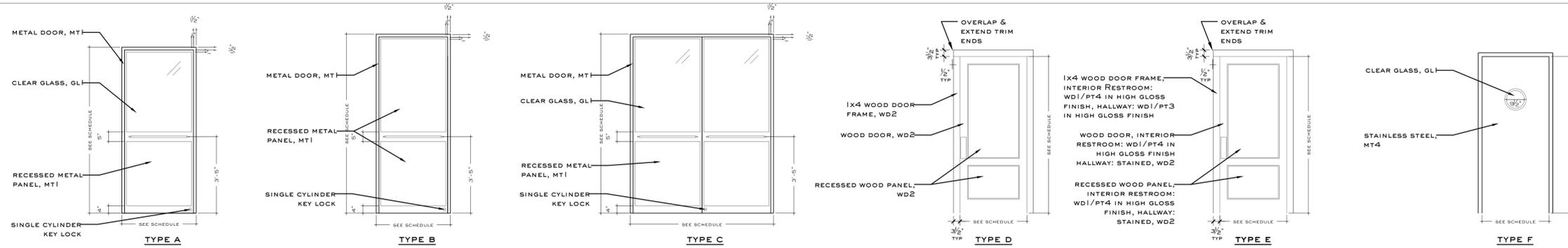
drawing name:

DOOR, DOOR HARDWARE
& WINDOW
SCHEDULE, CONT.

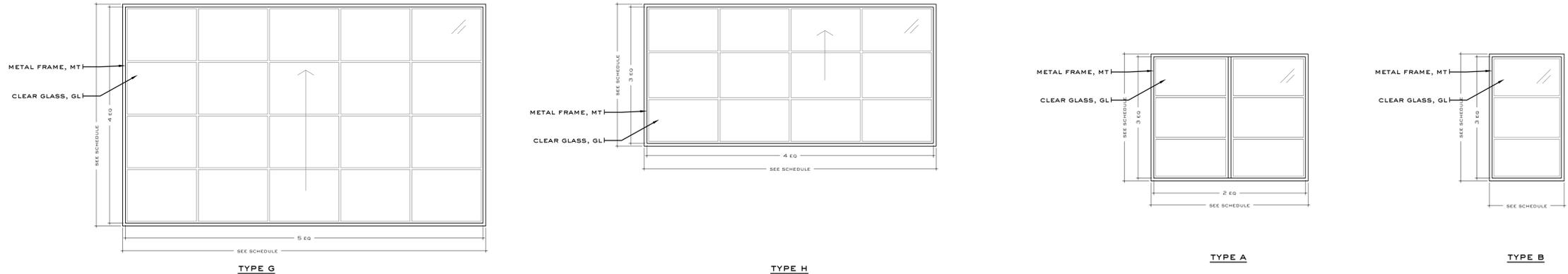
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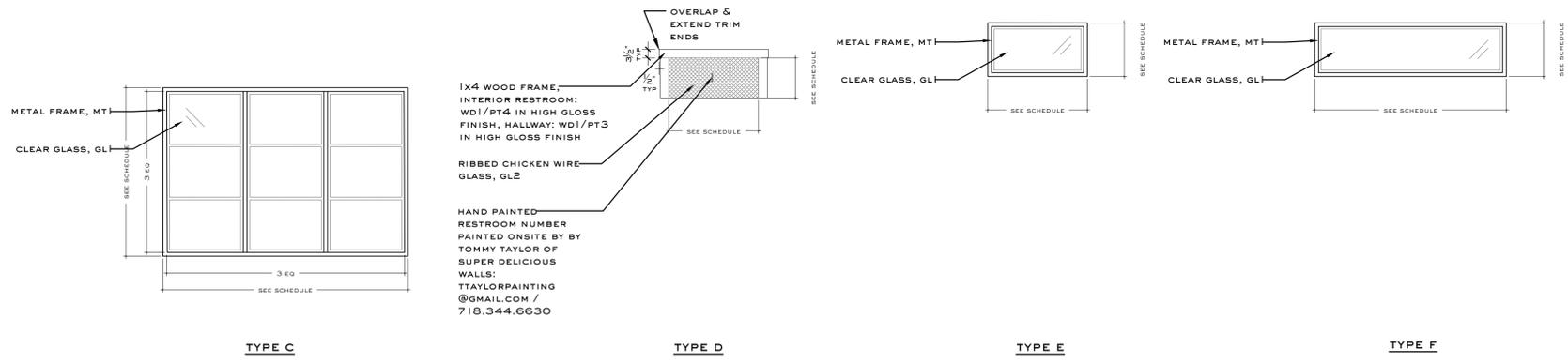


1 DOOR TYPES
SCALE: 3/8" = 1'-0"



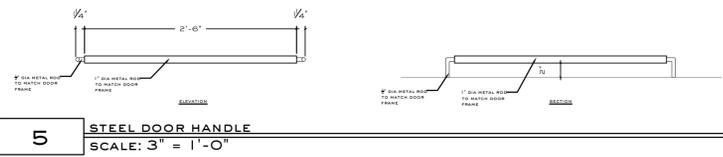
2 DOOR TYPES
SCALE: 3/8" = 1'-0"

3 WINDOW TYPES
SCALE: 3/8" = 1'-0"



ALL EXTERIOR GLAZING TO BE SUNGUARD
NEUTRAL 78/65 WITH 78% VLT AND 13%
REFLECTIVITY OR ARCHITECT / OWNER
APPROVED EQUAL.

4 WINDOW TYPES
SCALE: 3/8" = 1'-0"



5 STEEL DOOR HANDLE
SCALE: 3" = 1'-0"

FINISH SCHEDULE			
Tag	Finish Info.	Notes	Contact
BR1	Description: Brick Pavers	4x8 carbon black brick paver in running bond pattern, per Cedar Falls city paver requirements	Source: General Contractor
	Mfr: -		
	Series: -		
CO1	Description: Existing Concrete	-	Source: General Contractor
	Mfr: -		
	Series: -		
CO2	Description: Stamped Concrete	-	Source: General Contractor
	Mfr: -		
	Series: -		
CO3	Description: Board Formed Concrete	-	Source: General Contractor
	Mfr: -		
	Series: -		
CO4	Description: Concrete Counterop	-	Source: General Contractor
	Mfr: -		
	Series: -		
FBK1	Description: Red Vinyl	-	Name: Mario
	Mfr: Kravet		Phone: 404-816-7941
	Series: Seabiscuit		Email: contract@kravet.com
FBK2	Description: Blue Vinyl	-	Source: burchfabrics.com
	Mfr: Burch		
	Series: Glaze		
FBK3	Description: Green Vinyl	-	Name: Mario
	Mfr: Kravet		Phone: 404-816-7941
	Series: Frankel		Email: contract@kravet.com
FBK4	Description: Canvas	-	Name: Win Collier
	Mfr: Found		Phone: 404.281.4083
	Series: Surplus Army Navy Tarp		Email: win@smithhanes.com
FL1	Description: Epoxy Floor	Install per manufacturer's recommended installation and provide all adhesives, trims, transition stripe, etc, uon	Name: Ryan Jacobs
	Mfr: Protect All		Phone: 888.832.8842
	Series: Wet Area System - Epoxy Flooring		Email: rjacobs@protect-allflooring.com
FRP1	Description: Fiberglass Reinforced Plastic	-	Source: marlite.com
	Mfr: Marlite		
	Series: Standard FRP; Pebbled Surface		
GL1	Description: Clear Glass	Source thickenss as required or is most suitable for application, unless otherwise noted.	Source: General Contractor
	Mfr: -		
	Thickness: See Notes		
GL2	Description: Ribbed Chicken Wire Glass	-	Source: Fabricator
	Mfr: Olde Good Glass		
	Series: Ribbed Chicken Wire Glass		
GL3	Description: Ribbed Glass	-	Source: Fabricator
	Mfr: Olde Good Glass		
	Series: Ribbed Glass		
MT1	Description: Metal - Blackened Steel	-	Source: General Contractor
	Mfr: N/A		
	Finish: Varies - See Drawings		
MT2	Description: Zinc	-	Source: General Contractor
	Mfr: N/A		
	Finish: Varies - See Drawings		
MT3	Description: Metal Base - Schluter	Size to be determined in field & with tile. GC to provide in-corner pieces, connectors, etc. verify size with final tile thickenss	Web: www.schluter.com
	Mfr: Schluter		
	Name/Model: AHK		
MT4	Description: Stainless Steel	-	Source: General Contractor
	Mfr: N/A		
	Finish: Varies - See Drawings		
PL1	Description: Plaster	contractor to provide drywall with a level 4 finish.	Name: Tommy Taylor
	Mfr: Superdelicious Walls		Phone: 718.344.6630
	Color: Carcoal Gray		Email: ttaylorpainting@gmail.com
PT1	Description: Interior Grade Paint	Following paint finishes are typical, uon:	Web: www.benjaminmoore.com
	Mfr: Sherwin Williams		Walls - Eggshell
	Color: 7593 Rustic Red		Ceilings - Flat
PT2	Description: Interior Grade Paint	Trim - Semi-Gloss	Web: www.benjaminmoore.com
	Mfr: Benjamin Moore		Metals - Semi-Gloss
	Color: 497 Shady Lane		Millwork - Gloss Lacquer
PT3	Description: Interior Grade Paint		Web: www.benjaminmoore.com
	Mfr: Sherwin Williams		
	Color: SW 6685 Trinket		
PT4	Description: Interior Grade Paint		Web: www.sherwinwilliams.com
	Mfr: Sherwin Williams		
	Color: SW 7008 Alabaster		
PT5	Description: Interior Grade Paint		Web: www.sherwinwilliams.com
	Mfr: Sherwin Williams		
	Color: SW 6258 Tricorn Black		
PT6	Description: Exterior Grade Paint	Exterior grade commercial paint, benjamin moore ultra spec masonry elastomeric waterproof paint or architect approved equal.	Web: www.benjaminmoore.com
	Mfr: Benjamin Moore		
	Color: CSP-95 Sea Salt		
PT7	Description: Exterior Grade Paint	Exterior grade commercial paint, benjamin moore ultra spec masonry elastomeric waterproof paint or architect approved equal.	Web: www.benjaminmoore.com
	Mfr: Benjamin Moore		
	Color: 2120-20 Black Iron		
RB-1	Description: Vinyl Rubber Base	Epoxy all gaps between vinyl rubber base and existing concrete to ensure seamless cove transition	Source: www.johnsonite.com
	Mfr: Johnsonite		
	Series: Tightlock		
ST1	Description: Silestone		Source: https://www.cosentino.com/usa/
	Mfr: Coesntino		
	Series: Silestone Eternal		
ST2	Description: Quartz		Source: caesarstone.com
	Mfr: Caesarstone		
	Series: Pure White		
T1	Description: Glazed Brick Tile	See elevations and details for tile configuration	Source: Design Direct Source
	Series: Maison Patina		Name: Ryan Cottrill
	Color: White Gloss		Phone: 503.525.0600
T2	Description: White Ceramic Tile	See elevations and details for tile configuration	Source: Design Direct Source
	Series: Santos Heritage		Name: Ryan Cottrill
	Color: Crema Glossy		Phone: 503.525.0600
T3	Description: Green Ceramic Tile	See elevations and details for tile configuration	Source: Design Direct Source
	Series: Santos Heritage		Name: Ryan Cottrill
	Color: Army Green Glossy		Phone: 503.525.0600
T4	Description: Green Ceramic Bullnose	See elevations and details for tile configuration	Source: Design Direct Source
	Series: Santos Heritage		Name: Ryan Cottrill
	Color: Army Green Glossy		Phone: 503.525.0600
T5	Description: Black Ceramic Tile	See elevations and details for tile configuration	Source: Design Direct Source
	Series: Santos Heritage		Name: Ryan Cottrill
	Color: Black Glossy		Phone: 503.525.0600
T6	Description: Black Ceramic Bullnose	See elevations and details for tile configuration	Source: Design Direct Source
	Series: Santos Heritage		Name: Ryan Cottrill
	Color: Black Glossy		Phone: 503.525.0600
WD1	Description: Paint Grade Wood		Source: General Contractor
	Species: Oak		
	Sizes: Varies, See Plans/Elevations/ Details		
WD2	Description: Dark Stained Wood	Source: Millwoker / General Contractor	Source: Millwoker / General Contractor
	Species: Oak		
	Sizes: Varies, See Plans/Elevations/ Details		
WD3	Description: Light Stained Wood	Source: Millwoker / General Contractor	Source: Millwoker / General Contractor
	Species: Oak		
	Sizes: Varies, See Plans/Elevations/ Details		

PT3	Description: Interior Grade Paint		Web: www.benjaminmoore.com
	Mfr: Sherwin Williams		
	Color: SW 6685 Trinket		
PT4	Description: Interior Grade Paint		Web: www.sherwinwilliams.com
	Mfr: Sherwin Williams		
	Color: SW 7008 Alabaster		
PT5	Description: Interior Grade Paint		Web: www.sherwinwilliams.com
	Mfr: Sherwin Williams		
	Color: SW 6258 Tricorn Black		
PT6	Description: Exterior Grade Paint	Exterior grade commercial paint, benjamin moore ultra spec masonry elastomeric waterproof paint or architect approved equal.	Web: www.benjaminmoore.com
	Mfr: Benjamin Moore		
	Color: CSP-95 Sea Salt		
PT7	Description: Exterior Grade Paint	Exterior grade commercial paint, benjamin moore ultra spec masonry elastomeric waterproof paint or architect approved equal.	Web: www.benjaminmoore.com
	Mfr: Benjamin Moore		
	Color: 2120-20 Black Iron		
RB-1	Description: Vinyl Rubber Base	Epoxy all gaps between vinyl rubber base and existing concrete to ensure seamless cove transition	Source: www.johnsonite.com
	Mfr: Johnsonite		
	Series: Tightlock		
ST1	Description: Silestone		Source: https://www.cosentino.com/usa/
	Mfr: Coesntino		
	Series: Silestone Eternal		
ST2	Description: Quartz		Source: caesarstone.com
	Mfr: Caesarstone		
	Series: Pure White		
T1	Description: Glazed Brick Tile	See elevations and details for tile configuration	Source: Design Direct Source
	Series: Maison Patina		Name: Ryan Cottrill
	Color: White Gloss		Phone: 503.525.0600
T2	Description: White Ceramic Tile	See elevations and details for tile configuration	Source: Design Direct Source
	Series: Santos Heritage		Name: Ryan Cottrill
	Color: Crema Glossy		Phone: 503.525.0600
T3	Description: Green Ceramic Tile	See elevations and details for tile configuration	Source: Design Direct Source
	Series: Santos Heritage		Name: Ryan Cottrill
	Color: Army Green Glossy		Phone: 503.525.0600
T4	Description: Green Ceramic Bullnose	See elevations and details for tile configuration	Source: Design Direct Source
	Series: Santos Heritage		Name: Ryan Cottrill
	Color: Army Green Glossy		Phone: 503.525.0600
T5	Description: Black Ceramic Tile	See elevations and details for tile configuration	Source: Design Direct Source
	Series: Santos Heritage		Name: Ryan Cottrill
	Color: Black Glossy		Phone: 503.525.0600
T6	Description: Black Ceramic Bullnose	See elevations and details for tile configuration	Source: Design Direct Source
	Series: Santos Heritage		Name: Ryan Cottrill
	Color: Black Glossy		Phone: 503.525.0600
WD1	Description: Paint Grade Wood		Source: General Contractor
	Species: Oak		
	Sizes: Varies, See Plans/Elevations/ Details		
WD2	Description: Dark Stained Wood	Source: Millwoker / General Contractor	Source: Millwoker / General Contractor
	Species: Oak		
	Sizes: Varies, See Plans/Elevations/ Details		
WD3	Description: Light Stained Wood	Source: Millwoker / General Contractor	Source: Millwoker / General Contractor
	Species: Oak		
	Sizes: Varies, See Plans/Elevations/ Details		

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108 E 4TH

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CEDAR FALLS, IA 50613

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date of issue:

02/08/2021

drawing name:

FINISH SCHEDULE

drawing no.

A 005

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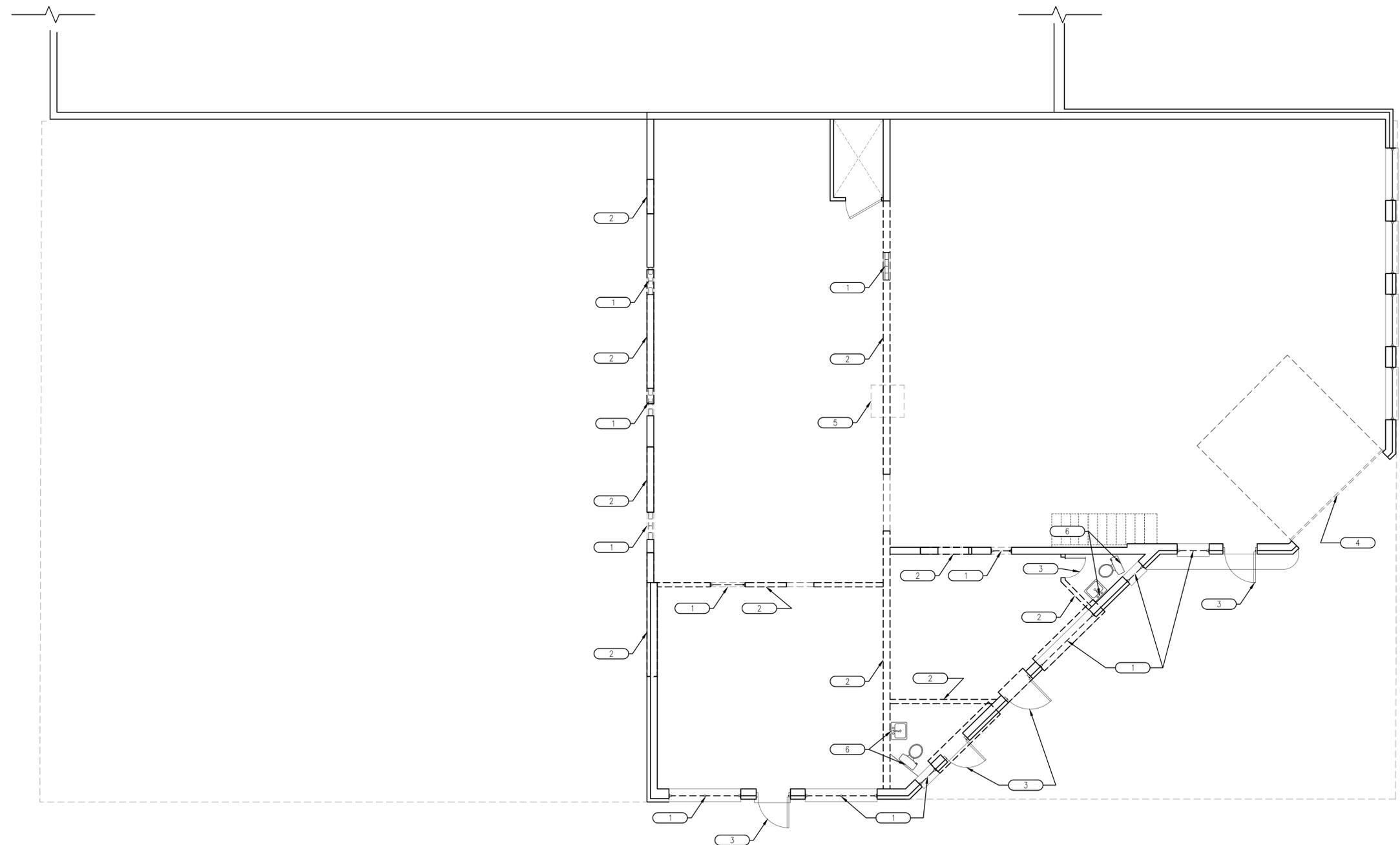
drawing name:

EXISTING CONDITIONS AND DEMOLITION FLOOR PLAN

drawing no.

A 100

RELEASED FOR CONSTRUCTION



I EXISTING CONDITIONS AND DEMOLITION FLOOR PLAN
SCALE: 3/16" = 1'-0"

- LEGEND**
SCALE: NTS
- ELEVATION TAG
 - WINDOW TAG. SEE SCHEDULES
 - DOOR TAG. SEE SCHEDULES
 - PLUMBING FIXTURE TAG. SEE SCHEDULES
 - TOILET ACCESSORY TAG. SEE SCHEDULES
 - KEY NOTES

- SHEET NOTES**
SCALE: NTS
- A. REFERENCE SHEETS FOR SCHEDULES
 - B. PROVIDE BLOCKING IN CEILING AND/OR WALLS AS REQUIRED FOR CEILING / WALL MOUNTED MILLWORK, EQUIPMENT, TOILET & DECORATIVE ACCESSORIES, ETC.

- KEY NOTES**
SCALE: NTS

TAG	DESCRIPTION
1	REMOVE EXISTING WINDOW AND FRAME
2	REMOVE PORTION OF WALL
3	REMOVE EXISTING DOOR AND FRAME
4	REMOVE EXISTING GARAGE DOOR
5	REMOVE EXISTING CHIMNEY
6	REMOVE EXISTING PLUMBING ROUGH INS

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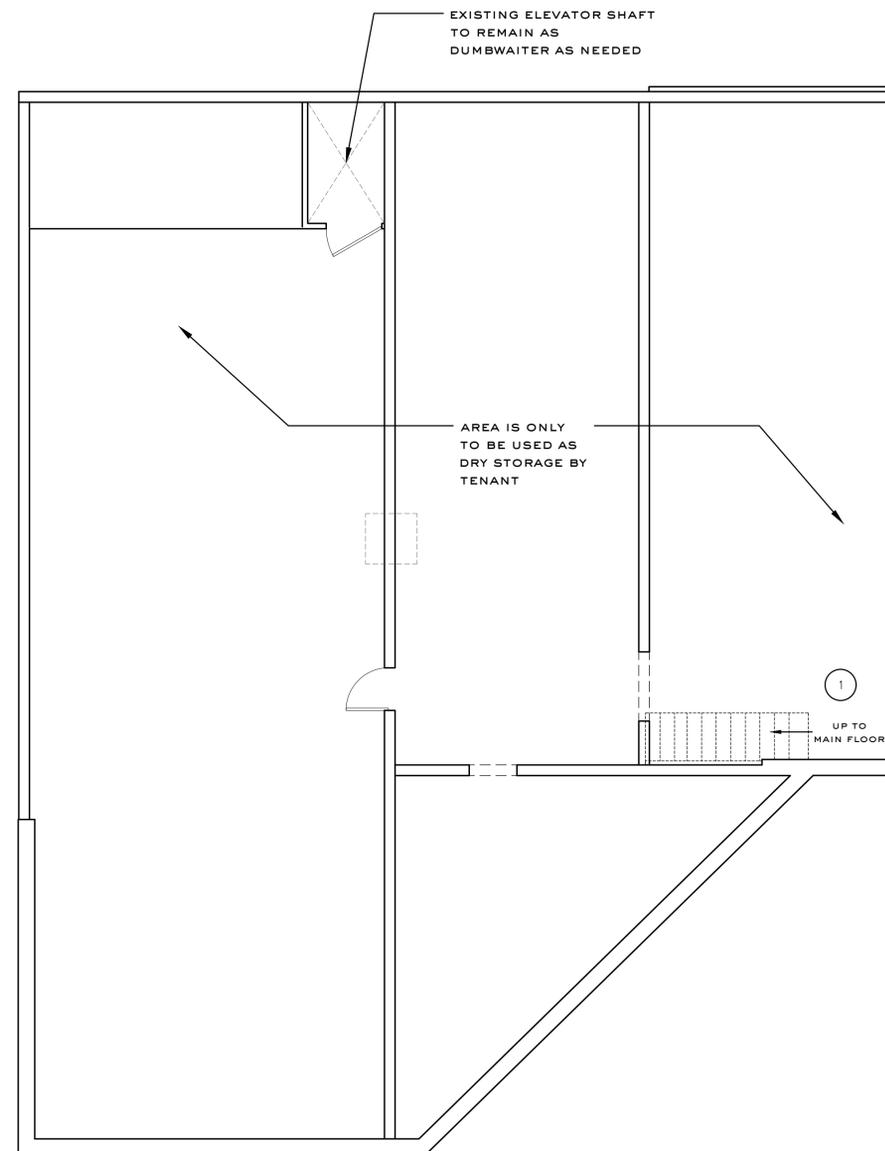
drawing name:

**EXISTING
PARTIAL BASEMENT
FLOOR PLAN**

drawing no.

A 101

RELEASED FOR CONSTRUCTION



1 EXISTING CONDITIONS BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"

LEGEND
SCALE: NTS

SHEET NOTES
SCALE: NTS

KEY NOTES
SCALE: NTS

① EXISTING STAIRS TO BE BROUGHT UP TO CODE WITH (16) 6-5/8" RISERS AND 11" TREADS AND ADA COMPLIANT 1.5" DIAMETER STEEL PIPE HANDRAILS.

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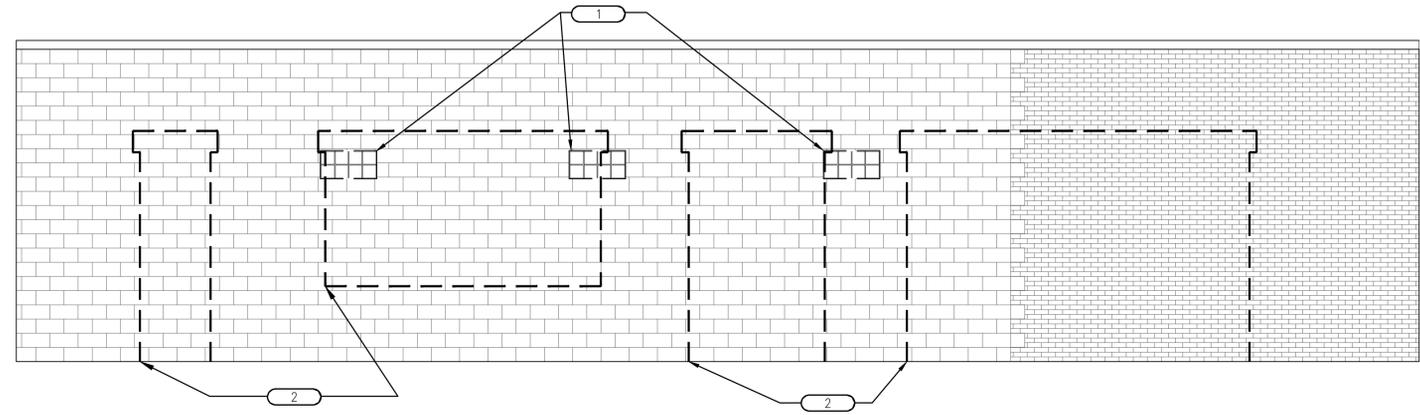
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EXTERIOR & DEMO
EXTERIOR ELEVATIONS

drawing no.

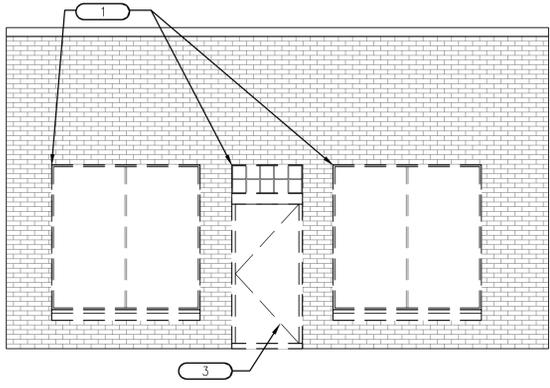
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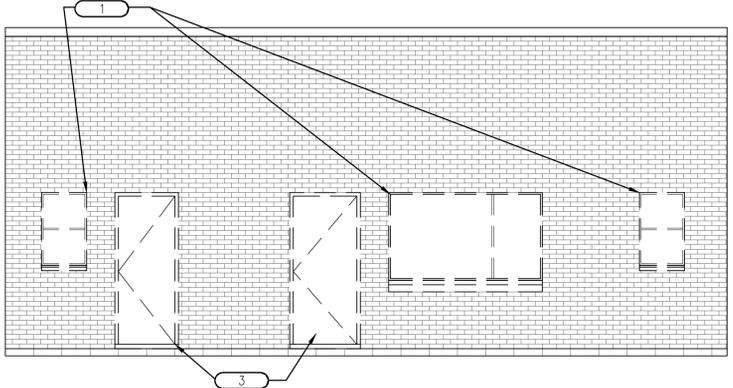


TAG	DESCRIPTION
1	REMOVE EXISTING WINDOW
2	REMOVE PORTION OF WALL
3	REMOVE EXISTING DOOR AND FRAME
4	REMOVE EXISTING GARAGE DOOR
5	REMOVE EXISTING GUTTER AND DOWNSPOUT

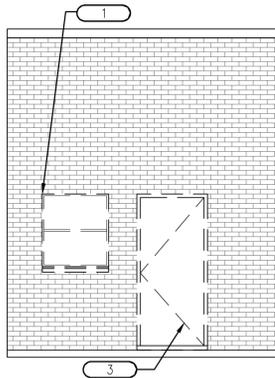
1 DEMO EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



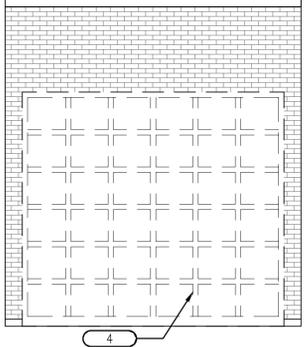
2 DEMO EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



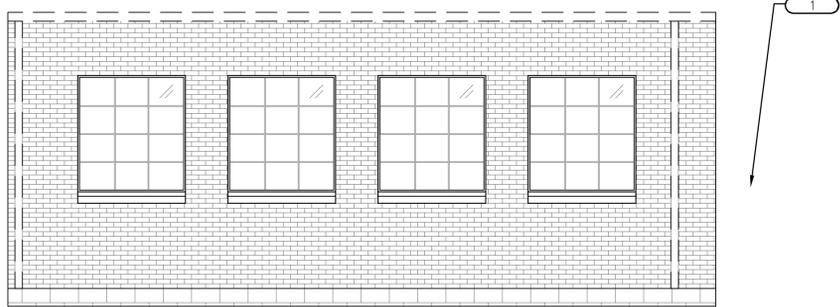
3 DEMO EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 DEMO EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



5 DEMO EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



6 DEMO EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

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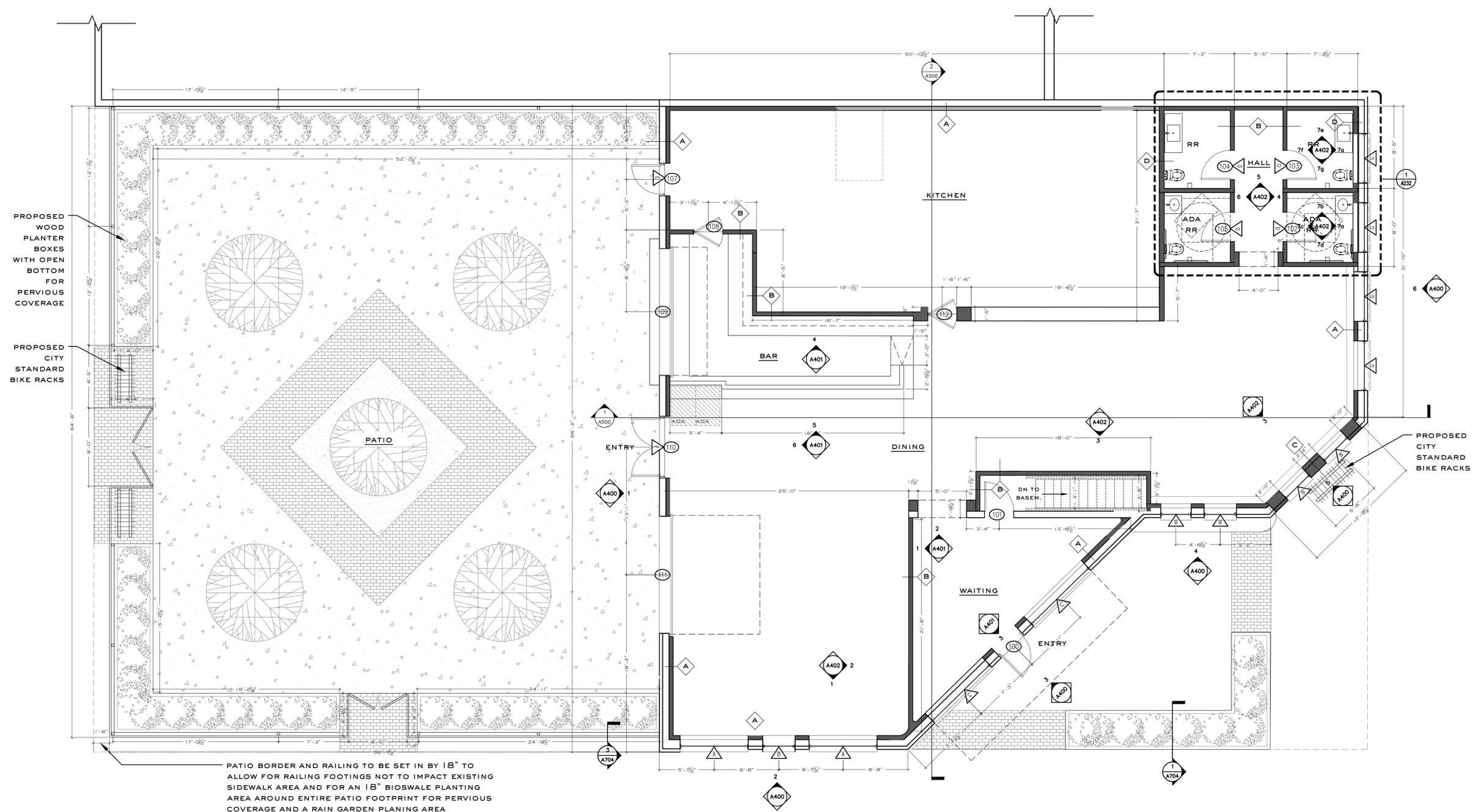
drawing name:

PROPOSED
FLOOR PLAN

drawing no.

A 200

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PATIO BORDER AND RAILING TO BE SET IN BY 18" TO ALLOW FOR RAILING FOOTINGS NOT TO IMPACT EXISTING SIDEWALK AREA AND FOR AN 18" BIOSWALE PLANTING AREA AROUND ENTIRE PATIO FOOTPRINT FOR PERVIOUS COVERAGE AND A RAIN GARDEN PLANING AREA

I PROPOSED FLOOR PLAN
SCALE: 3/16" = 1'-0"

LEGEND
SCALE: NTS

- ELEVATION TAG
- WINDOW TAG. SEE SCHEDULES
- DOOR TAG. SEE SCHEDULES
- KEY NOTES

SHEET NOTES
SCALE: NTS

- A. REFERENCE SHEETS FOR SCHEDULES
- B. PROVIDE BLOCKING IN CEILING AND/OR WALLS AS REQUIRED FOR CEILING / WALL MOUNTED MILLWORK, EQUIPMENT, TOILET & DECORATIVE ACCESSORIES, ETC.

KEY NOTES
SCALE: NTS

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job number:

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date of issue:

02/08/2021

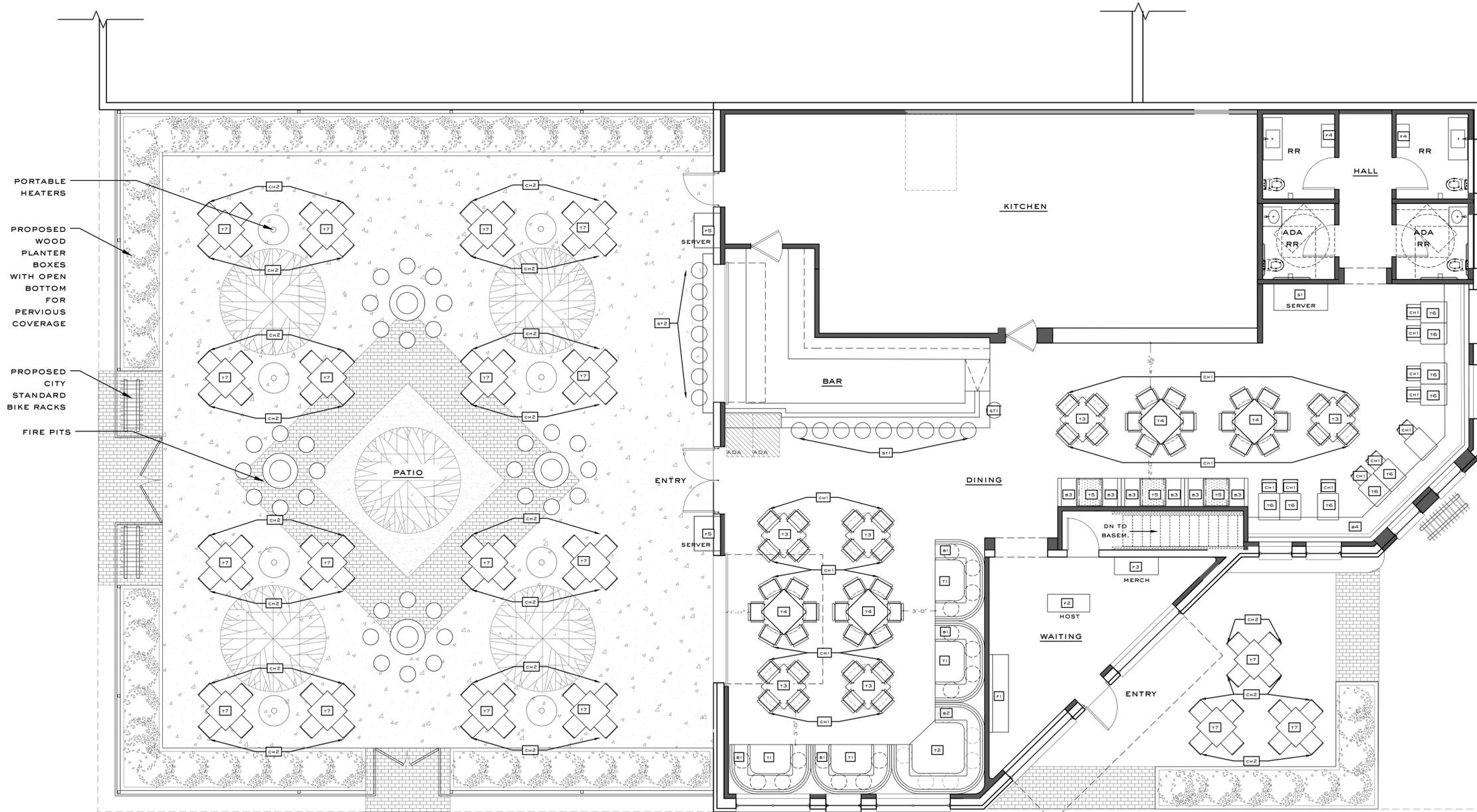
drawing name:

PROPOSED FURNITURE PLAN

drawing no.

A 210

RELEASED FOR CONSTRUCTION



PORTABLE HEATERS
PROPOSED WOOD PLANTER BOXES WITH OPEN BOTTOM FOR PERVIOUS COVERAGE
PROPOSED CITY STANDARD BIKE RACKS
FIRE PITS

I PROPOSED FURNITURE PLAN
SCALE: 3/16" = 1'-0"

LEGEND
SCALE: NTS

- XXX FURNITURE TAG. SEE SCHEDULES
- 1 KEY NOTES

SHEET NOTES
SCALE: NTS

- A. REFERENCE SHEETS FOR SCHEDULES
- B. PROVIDE BLOCKING IN CEILING AND/OR WALLS AS REQUIRED FOR CEILING / WALL MOUNTED MILLWORK, EQUIPMENT, TOILET & DECORATIVE ACCESSORIES, ETC.

KEY NOTES
SCALE: NTS

AREA	SEAT COUNT
INTERIOR DINING	106 SEATS
OUTDOOR PATIO	76 SEATS

Smith Hanes

STUDIO

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108 E 4TH

108 E 4TH STREET
CEDAR FALLS, IA 50613

notes:

job number:

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date of issue:

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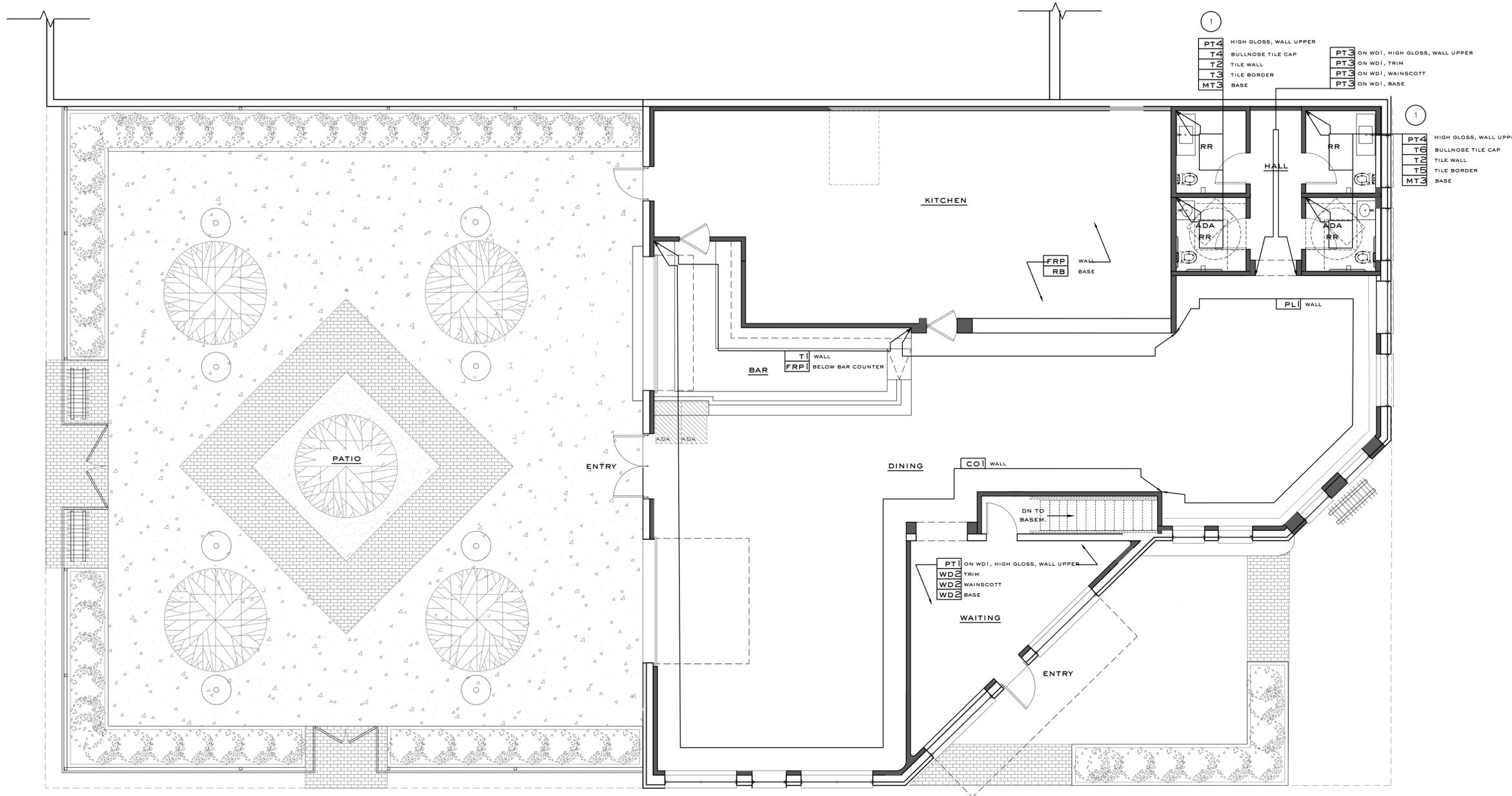
drawing name:

WALL FINISH PLAN

drawing no.

A 220

RELEASED FOR CONSTRUCTION



- ①
- PT4 HIGH GLOSS, WALL UPPER
- T4 BULLNOSE TILE CAP
- T2 TILE WALL
- T3 TILE BORDER
- MT3 BASE
- PT3 ON WD1, HIGH GLOSS, WALL UPPER
- PT3 ON WD1, TRIM
- PT3 ON WD1, WAINSCOTT
- PT3 ON WD1, BASE
- ②
- PT4 HIGH GLOSS, WALL UPPER
- T6 BULLNOSE TILE CAP
- T2 TILE WALL
- T6 TILE BORDER
- MT3 BASE

1 WALL FINISH PLAN
SCALE: 3/16" = 1'-0"

- LEGEND**
SCALE: NTS
- XX SPECIFIED FINISH
 - XX KEY NOTES

- SHEET NOTES**
SCALE: NTS
- A. REFERENCE 000 SERIES SHEETS FOR SCHEDULES
 - B. REFERENCE ELEVATIONS FOR MORE INFORMATION.

- KEY NOTES**
SCALE: NTS
- ① REFERENCE ELEVATIONS FOR EXACT TILE LAYOUT AROUND DOORS AND WINDOWS IN RESTROOMS.

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108 E 4TH

108 E 4TH STREET
CEDAR FALLS, IA 50613

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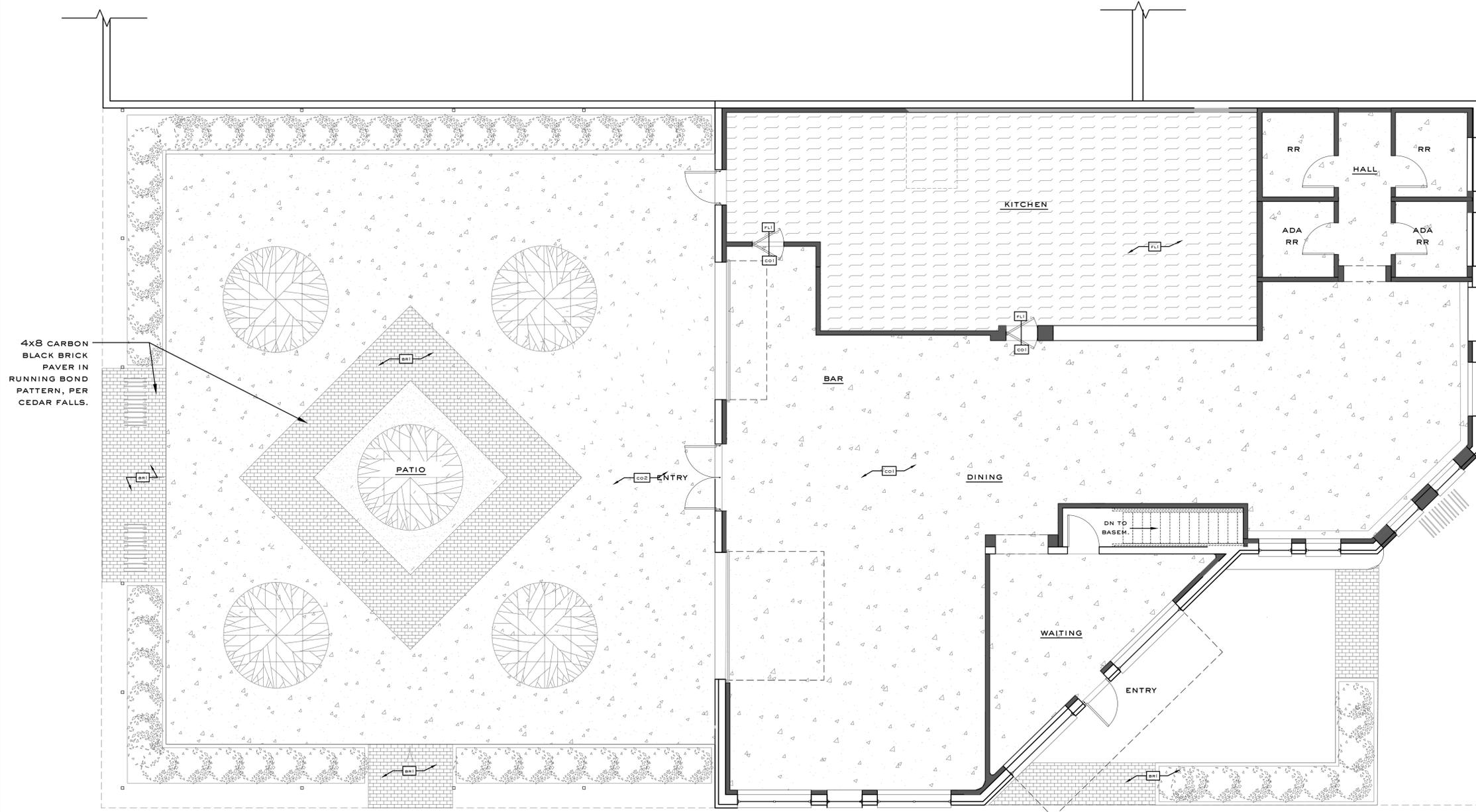
drawing name:

FLOOR FINISH PLAN

drawing no.

A 230

RELEASED FOR CONSTRUCTION



4X8 CARBON
BLACK BRICK
PAVER IN
RUNNING BOND
PATTERN, PER
CEDAR FALLS.

1 FLOOR FINISH PLAN
SCALE: 3/16" = 1'-0"

LEGEND

SCALE: NTS

XX SPECIFIED FINISH

XX KEY NOTES

FLOOR FINISH TRANSITION. PROVIDE THRESHOLD AS REQUIRED

SHEET NOTES

SCALE: NTS

- A. ALL FINISHES ARE TO COMPLY WITH NFPA 101 2012 10.2.3.2 & 10.2.3.4. PRODUCTS REQ'D TO BE TESTED IN ACCORDANCE WITH ASTM E 84 OR ANSI/UL 723 SHALL BE CLASSIFIED AS FOLLOWS IN ACCORDANCE WITH THEIR FLAME SPREAD INDEX AND SMOKE DEVELOPED INDEX:
CLASS A INTERIOR WALL AND CEILING SHALL BE CHARACTERIZED BY THE FOLLOWING:
(A) FLAME SPREAD INDEX, 0-25
(B) SMOKE DEVELOPED INDEX, 0-450
- B. REFERENCE 000 SERIES FOR SCHEDULES.
- C. REFERENCE ELEVATIONS FOR MORE INFORMATION.
- D. PROVIDE THRESHOLD TRANSITIONS AS REQUIRED.
- E. FLOOR FINISHES TO EXTEND UNDERNEATH MILLWORK AND FURNITURE, TYP.

KEY NOTES

SCALE: NTS

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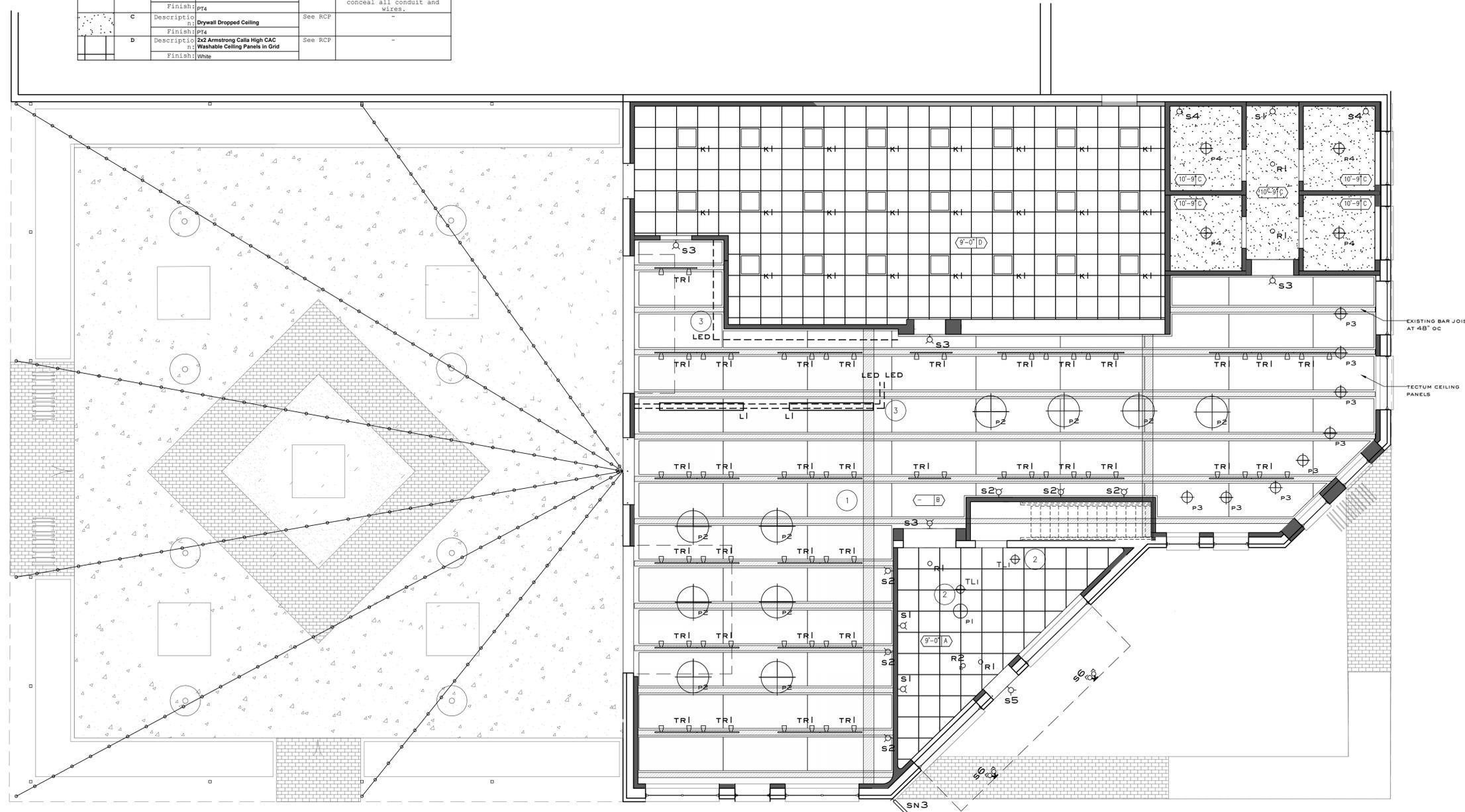
PROPOSED REFLECTED CEILING PLAN

drawing no.

A 300

RELEASED FOR CONSTRUCTION

CEILING SCHEDULE				
Pattern	Tag	Ceiling	Height	Notes
	A	Description: American Tin Ceilings; Pattern #18; Ceiling Panels Nailed Up to Wood Substrate Finish: PT1 in High Gloss Finish	See RCP	-
	B	Description: Armstrong Tectum Ceiling Panels Finish: PT4	See RCP	Panel to be suspended 1.5" below existing decking to conceal all conduit and wires.
	C	Description: Drywall Dropped Ceiling Finish: PT4	See RCP	-
	D	Description: 2x2 Armstrong Calla High CAC Washable Ceiling Panels in Grid Finish: White	See RCP	-



1 REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

LEGEND

SCALE: NTS

- KEY NOTES
- CEILING TAG WITH TYPE & HEIGHT
- PENDANT LED LIGHT FIXTURE
- WALL MOUNTED LED SCONCE
- TRACK LED LIGHT FIXTURE
- DIRECTIONAL RECESSED LED FIXTURE
- RECESSED LED FIXTURE
- LINEAR LED LIGHT FIXTURE
- LAY-IN LED PANEL FIXTURE
- LED TAPE OCCURS IN MILLWORK. PROVIDE DIMMABLE SWITCH
- CUSTOM NEON SIGNAGE
- STRING LIGHT

SHEET NOTES

SCALE: NTS

- A. REFERENCE SCHEDULES
- B. PROVIDE BLOCKING IN CEILING AND/OR WALLS AS REQUIRED FOR WALL OR CEILING MOUNTED: MILLWORK, EQUIPMENT, TOILET & DECORATIVE ACCESSORIES, ETC.
- C. REFERENCE ELEVATIONS FOR EXACT HORIZONTAL & VERTICAL LOCATION, UON

KEY NOTES

SCALE: NTS

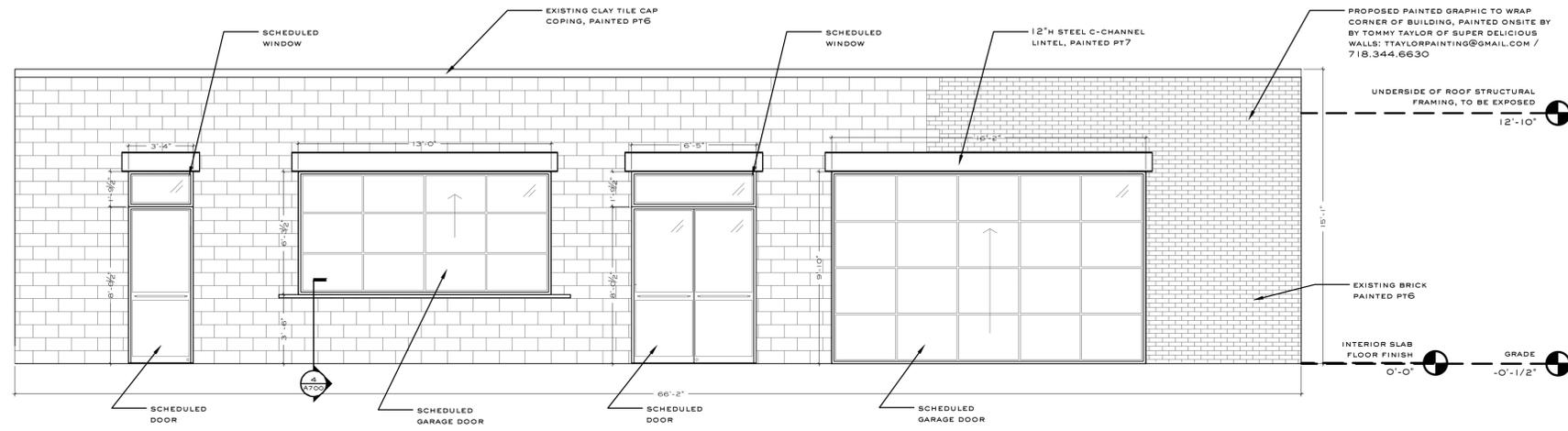
- 1 TECTUM PANELS TO FLOAT BELOW DECKING AND HOLD OFF EXISTING BAR JOISTS. ALL CONDUIT AND POWER TO RUN BETWEEN EXISTING DECKING AND TECTUM PANELS. REFERENCE DETAIL ID-XXX FOR MORE INFORMATION
- 2 LIGHT FIXTURE OCCURS IN FURNITURE BELOW. PROVIDE WALL MOUNTED OR FLOOR MOUNTED RECEPTACLE. REFERENCE FFE DETAILS FOR MORE INFORMATION
- 3 LIGHT FIXTURE OCCURS IN MILLWORK BELOW. PROVIDE J-BOX FOR HARDWARE CONNECTION. REFERENCE DETAILS FOR MORE INFORMATION

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FENESTRATION CALCULATIONS:

MAIN STREET ELEVATION (A-400.1):
529 SQ. FT. FACADE SURFACE AREA BETWEEN 2'-0" AFF + 10'-0" AFF
250 SQ. FT. CLEAR AND HIGHLY TRANSPARENT FENESTRATIONS BETWEEN 2'-0" AFF + 10'-0" AFF
47% TOTAL FENESTRATION ON FACADE

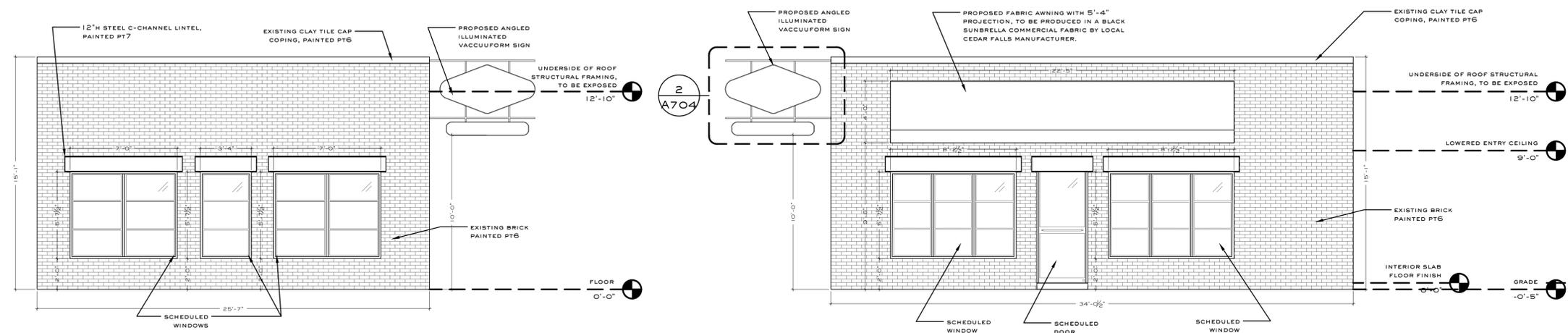
4TH STREET ELEVATION (A-400.2):
205 SQ. FT. FACADE SURFACE AREA BETWEEN 2'-0" AFF + 10'-0" AFF
97 SQ. FT. CLEAR AND HIGHLY TRANSPARENT FENESTRATIONS BETWEEN 2'-0" AFF + 10'-0" AFF
47% TOTAL FENESTRATION ON FACADE

4TH STREET ELEVATION (A-400.3):
272 SQ. FT. FACADE SURFACE AREA BETWEEN 2'-0" AFF + 10'-0" AFF
102 SQ. FT. CLEAR AND HIGHLY TRANSPARENT FENESTRATIONS BETWEEN 2'-0" AFF + 10'-0" AFF
38% TOTAL FENESTRATION ON FACADE

4TH STREET ELEVATION (A-400.4):
103 SQ. FT. FACADE SURFACE AREA BETWEEN 2'-0" AFF + 10'-0" AFF
38 SQ. FT. CLEAR AND HIGHLY TRANSPARENT FENESTRATIONS BETWEEN 2'-0" AFF + 10'-0" AFF
37% TOTAL FENESTRATION ON FACADE

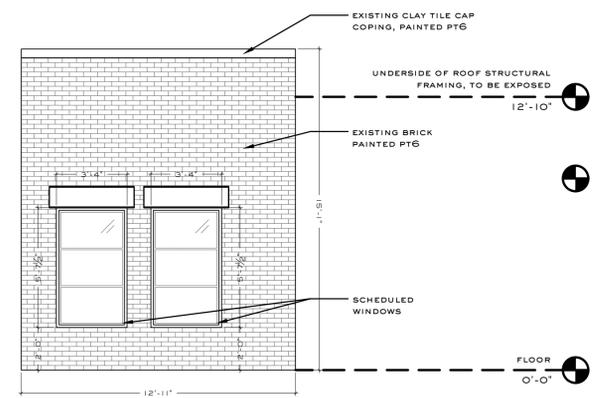
4TH STREET ELEVATION (A-400.5):
112 SQ. FT. FACADE SURFACE AREA BETWEEN 2'-0" AFF + 10'-0" AFF
38 SQ. FT. CLEAR AND HIGHLY TRANSPARENT FENESTRATIONS BETWEEN 2'-0" AFF + 10'-0" AFF
34% TOTAL FENESTRATION ON FACADE

1 PROPOSED EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

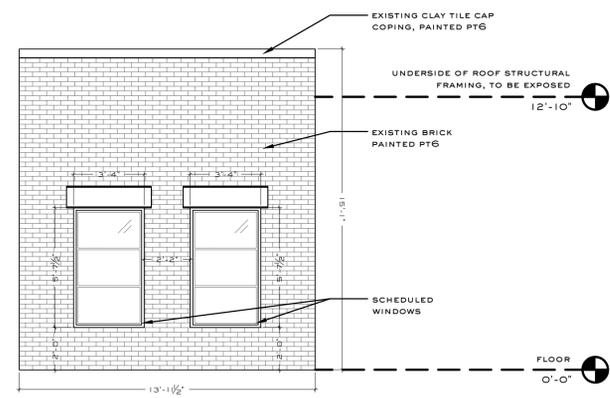


2 PROPOSED EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

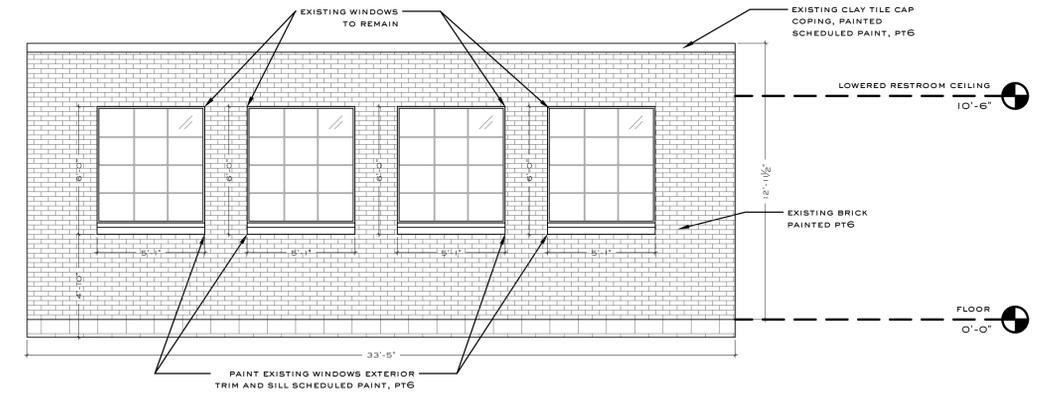
3 PROPOSED EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



5 PROPOSED EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



6 PROPOSED EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

108 E 4TH

108 E 4TH STREET
CEDAR FALLS, IA 50613

notes:

job number:

201111

date of issue:

02/08/2021

drawing name:

PROPOSED EXTERIOR ELEVATIONS

drawing no.

A 400

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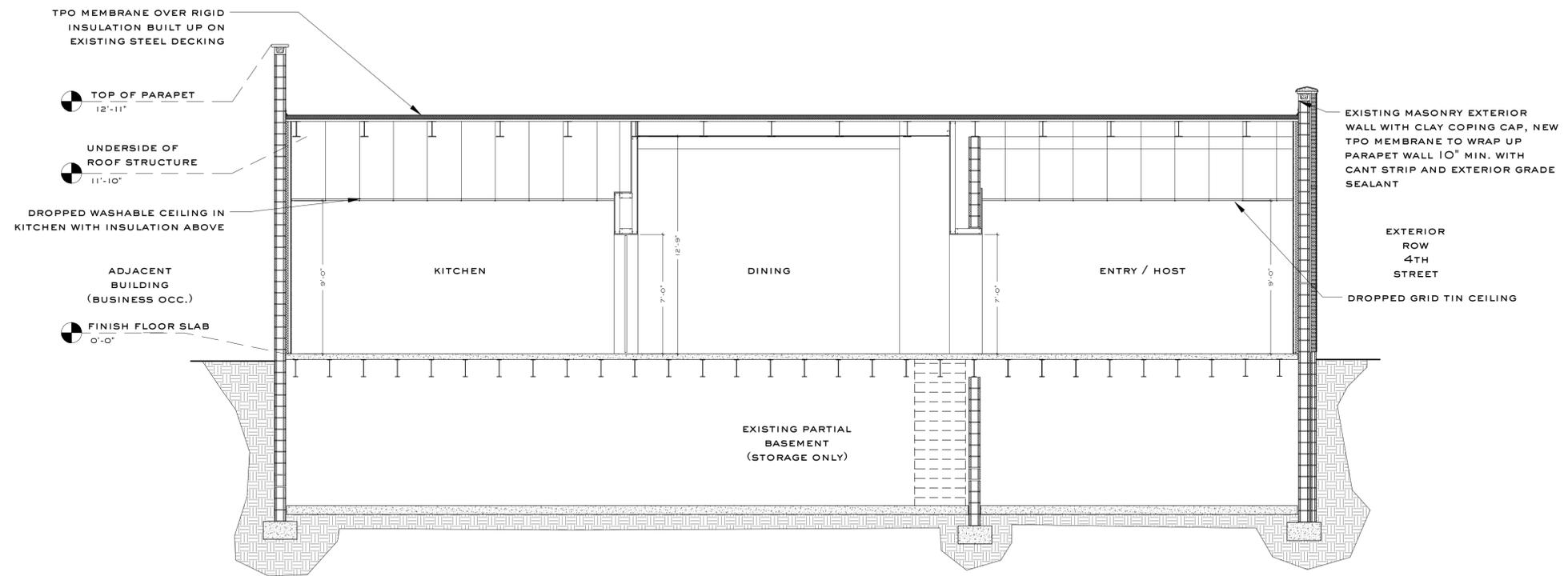
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PROPOSED BUILDING SECTION

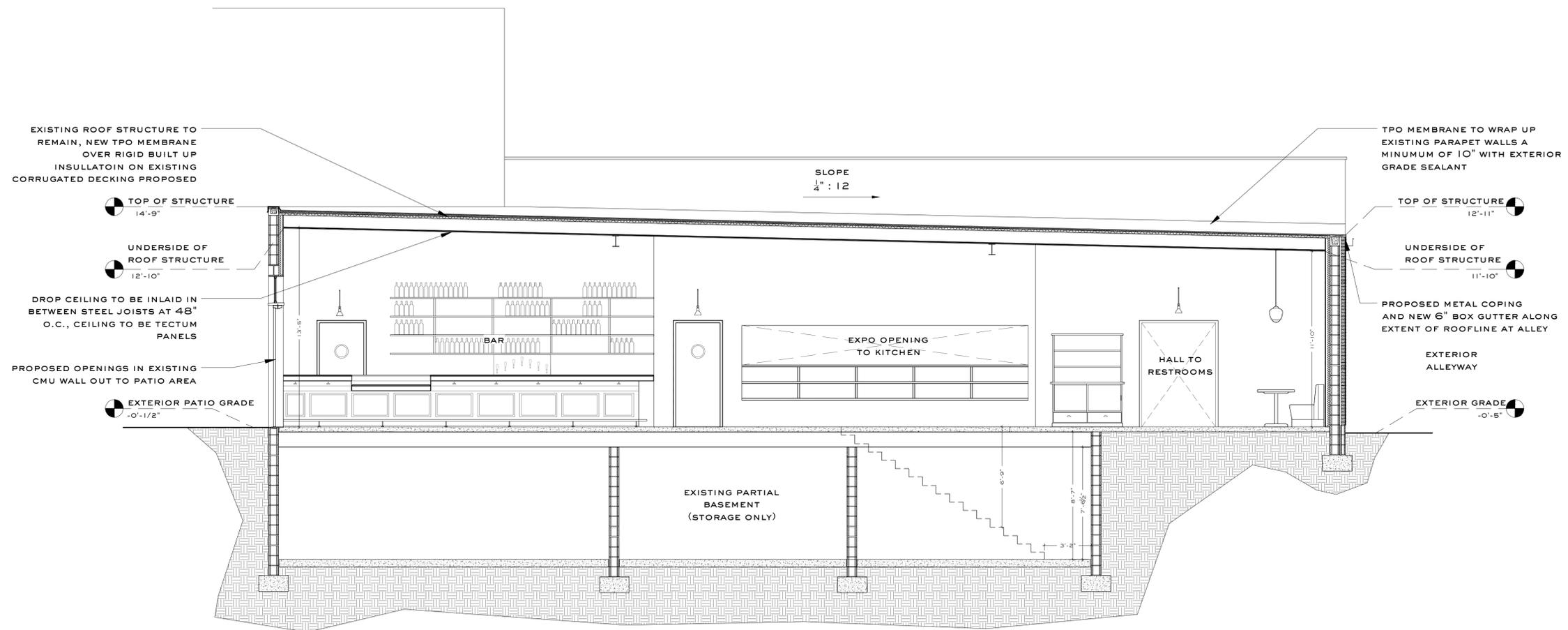
drawing no.

A 500

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2 PROPOSED BUILDING SECTION
SCALE: 1/4" = 1'-0"



1 PROPOSED BUILDING SECTION
SCALE: 1/4" = 1'-0"

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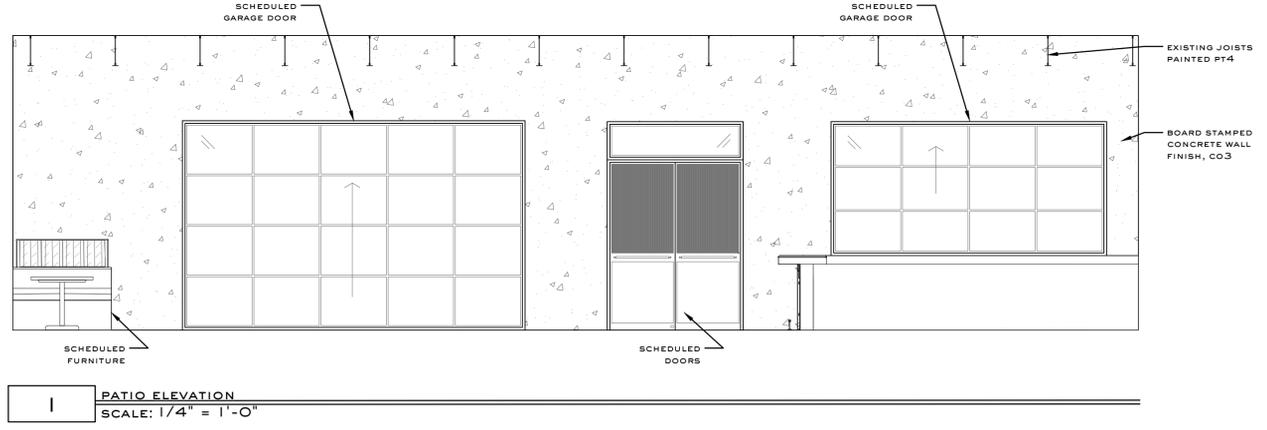
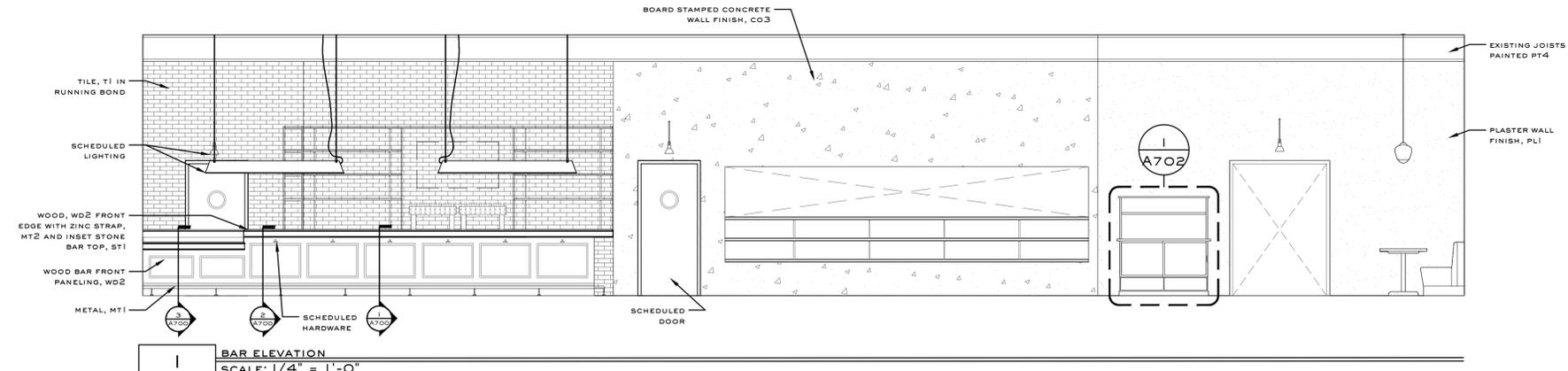
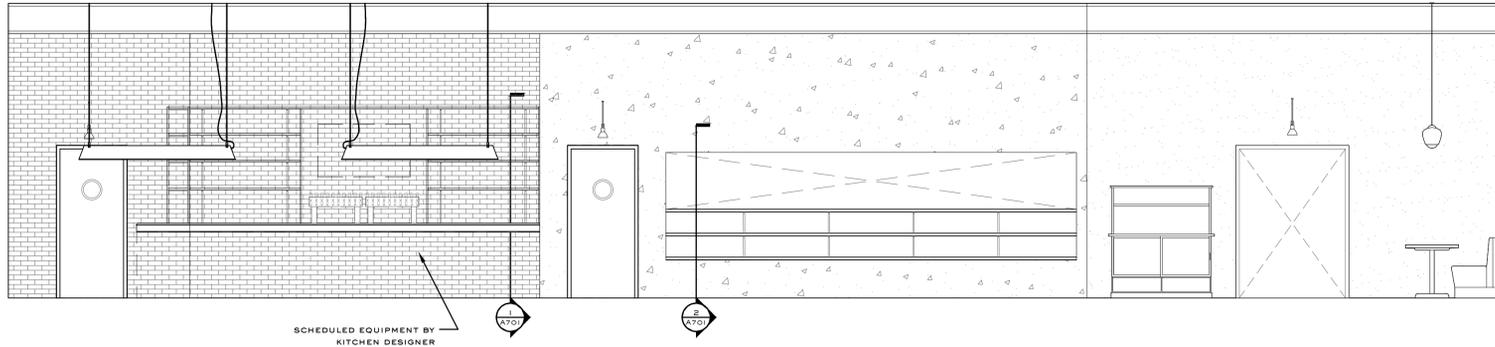
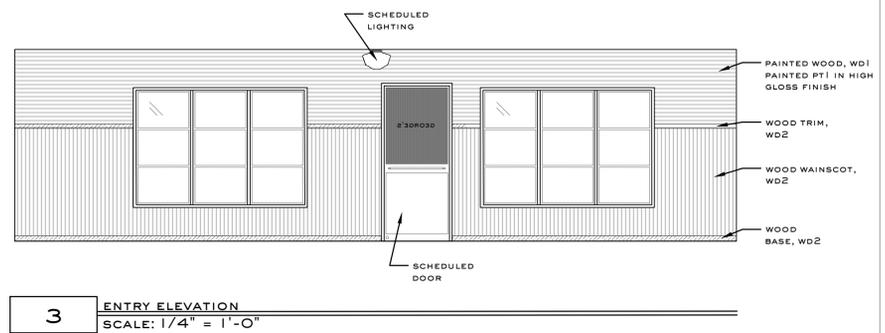
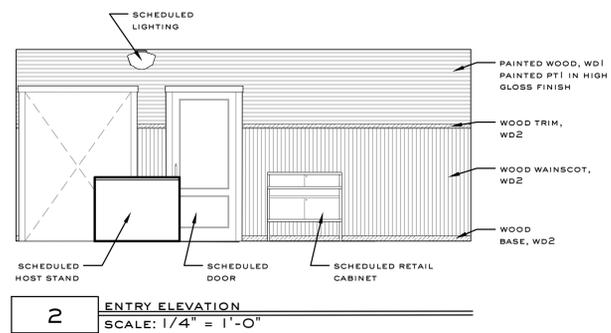
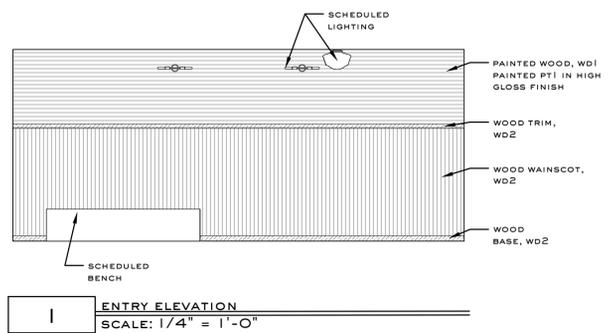
drawing name:

INTERIOR ELEVATIONS

drawing no.

A 600

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108 E 4TH

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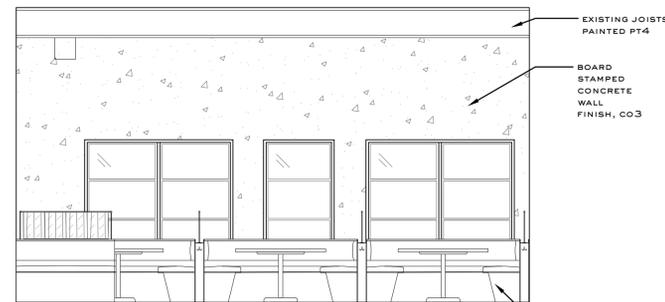
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INTERIOR ELEVATIONS

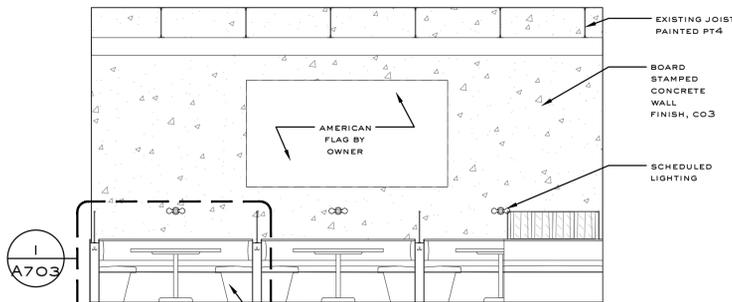
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A 601

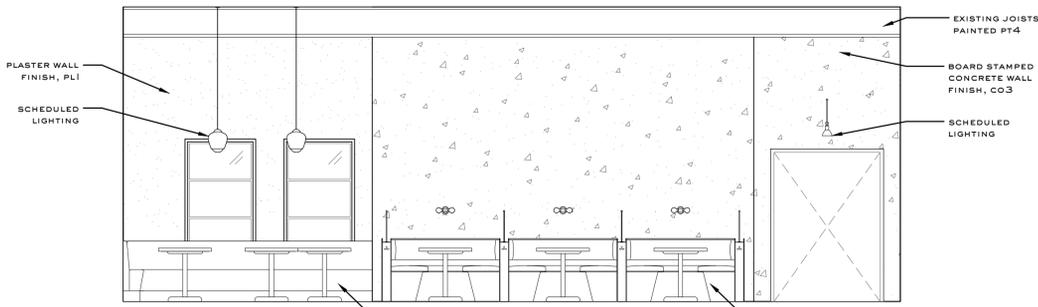
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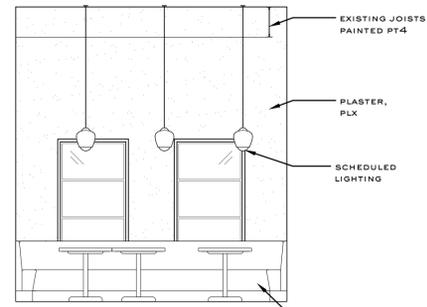
1 DINING ELEVATION
SCALE: 1/4" = 1'-0"



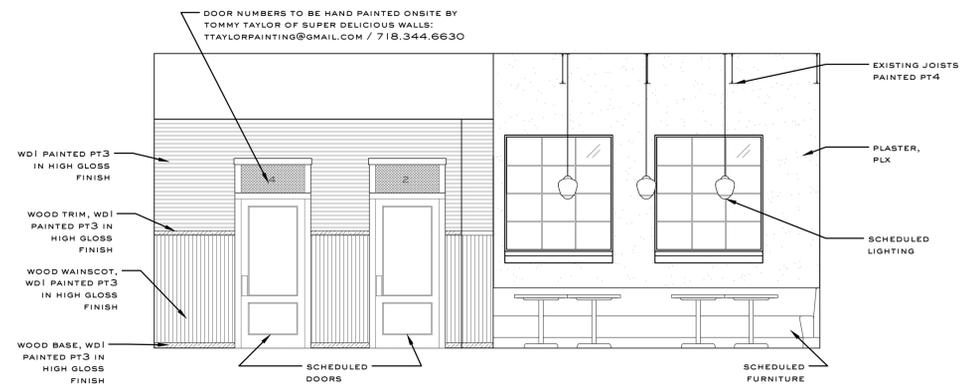
2 DINING ELEVATION
SCALE: 1/4" = 1'-0"



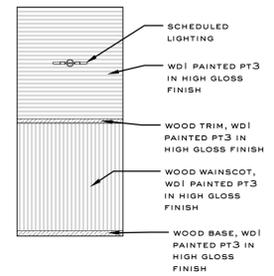
3 DINING ELEVATION
SCALE: 1/4" = 1'-0"



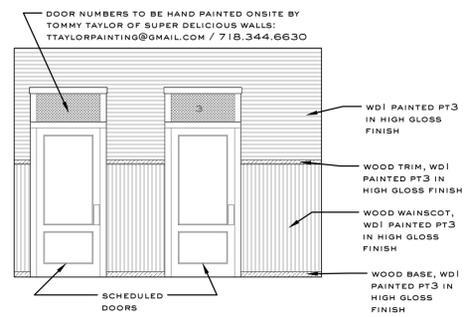
3 DINING ELEVATION
SCALE: 1/4" = 1'-0"



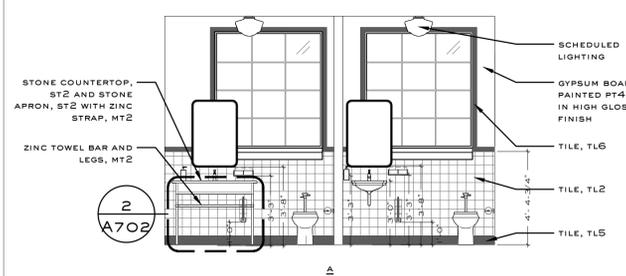
4 RESTROOM CORRIDOR ELEVATION
SCALE: 1/4" = 1'-0"



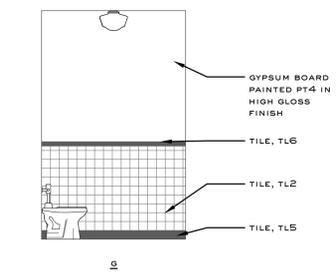
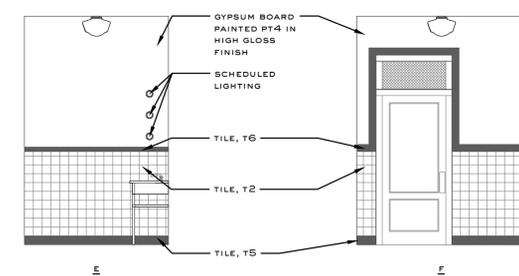
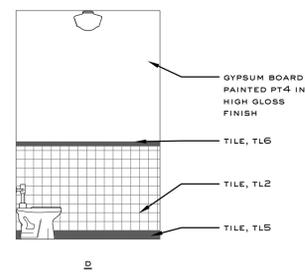
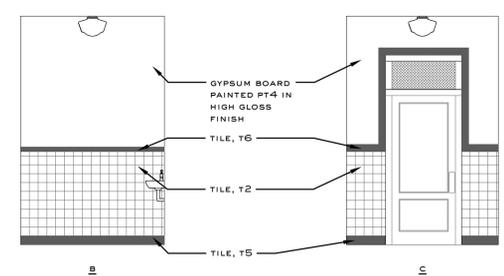
5 RESTROOM CORRIDOR ELEVATION
SCALE: 1/4" = 1'-0"



6 RESTROOM CORRIDOR ELEVATION
SCALE: 1/4" = 1'-0"



7 RESTROOM ELEVATION
SCALE: 1/4" = 1'-0"



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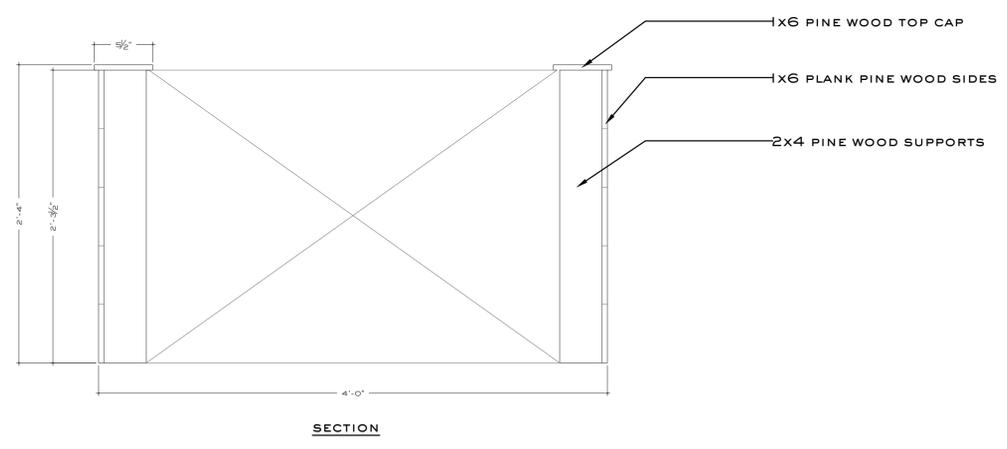
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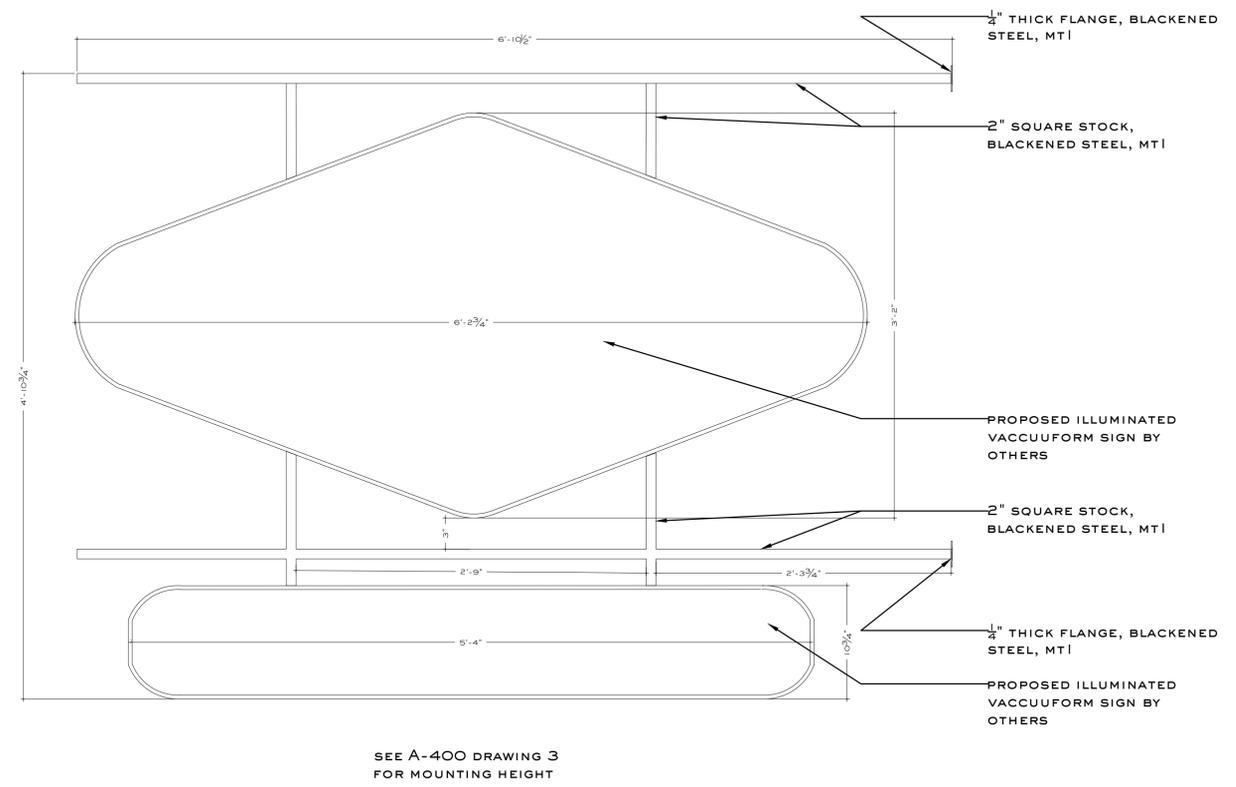
EXTERIOR DETAILS

drawing no.

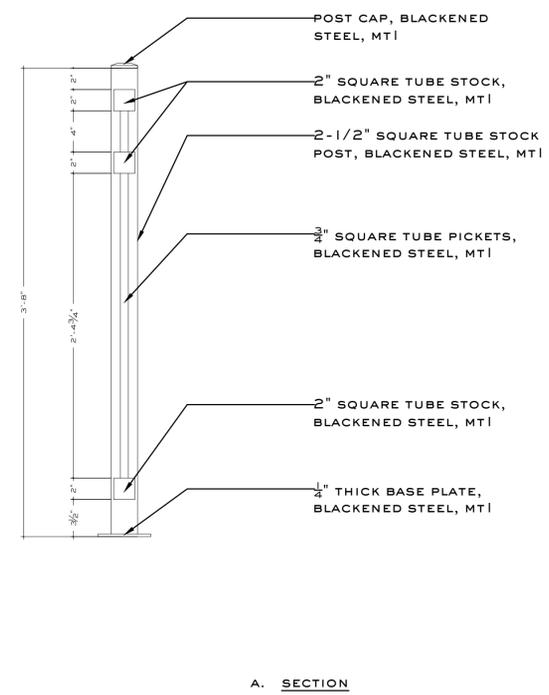
A 704



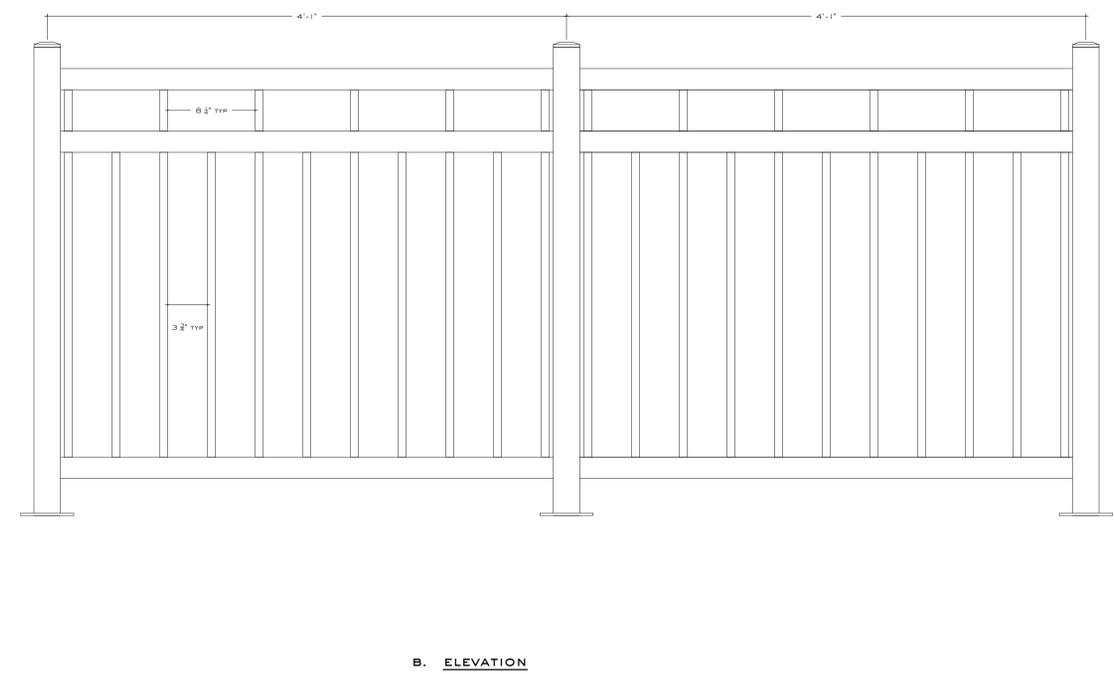
1 WOOD PLANTER BOX
SCALE: 1-1/2" = 1'-0"



2 ILLUMINATED SIGN DETAIL
SCALE: 1-1/2" = 1'-0"



3 RAILING DETAIL
SCALE: 1-1/2" = 1'-0"



B. ELEVATION



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
 220 Clay Street
 Cedar Falls, Iowa 50613
 Phone: 319-273-8600
 Fax: 319-273-8610
 www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Chris Sevy, Planner I
DATE: February 15, 2021
SUBJECT: Rezoning Request – 7009 Nordic Drive

REQUEST: Rezone property from M-1 Light Industrial District to HWY-1 Highway Commercial District. (Case #RZ21-002)

PETITIONER: Lydia Brown; Skogman Realty

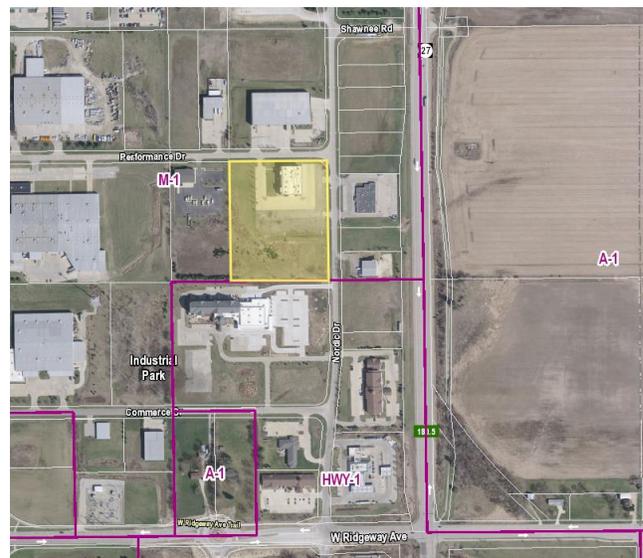
LOCATION: 7009 Nordic Drive

PROPOSAL

The applicant is seeking to use the property at 7009 Nordic Drive for medical or clinical purposes which is not allowed in the M-1 Light Industrial District as a principal permitted use. Therefore, the applicant is requesting to rezone this property to HWY-1 Highway Commercial where medical or clinical uses are allowed.

BACKGROUND

7009 Nordic Drive was zoned M-1 Light Industrial since prior to its platting in 2001. The building was built in 2003 as a secondary education facility and was used as a general education and nursing school until February 2019. Today, part of the building is leased to Compassus, LLC which offers hospice services. The equipment rental and staffing aspects of hospice are acceptable activities in the M-1 District as long as inpatient care is not a principal use. The HWY-1 Highway Commercial District boundary borders this property on the southern edge. On the map to the right the purple lines indicate the zoning district boundaries and the subject property is



shaded in yellow.

ANALYSIS

The intent of the M-1 Light Industrial District is as the name implies. It prohibits heavier industrial uses that produce odors, emissions, noise, and other hazards. By contrast, it limits residential uses and uses for human care only to situations where those uses are incidental to a principally permitted use. Otherwise, the M-1 district has a very broad list of allowed uses because our code has a “use pyramid” where the higher-intensity zones allow most or all of the uses of the lower zones plus a few more uses that are unique to that zone. The M-1 District allows basically all commercial uses listed in C-3, C-2, and C-1 zones. Residential and human care are limited since they are not compatible with industrial uses that could have noises through the night and other activities that can be considered nuisances to 24-hour living, but not to other M-1 uses.

As a city we have used the M-1 Light Industrial District to apportion land in the form of industrial parks and reserve those areas for potential economic growth where firms can locate. Rezoning this parcel takes away somewhat from that, but the impact is not concerning as our industrial parks still have plenty of space to fill.

This 7.37 acre property borders a Hilton Garden Inn to the south which is zoned HWY-1 Highway Commercial. The HWY-1 District is intended to serve the travelling public and regional customer bases. It has a relatively short list of allowed uses and is more restrictive than the M-1 Light Industrial District. Also the HWY-1 District specifically prohibits manufacturing and warehousing which are not ideal uses for the existing building at 7009 Nordic Drive.

Also worth noting are the aesthetic standards of the HWY-1 District which outlines architectural standards, standards for plantings in parking areas, green space standards, street trees, and other landscaping requirements. The District also requires an unpaved landscaped 20-foot setback from the street. These requirements are not met by the site as currently constituted and reasonable improvements should be required as conditions of the rezone. These standards will be required for all future site proposals including anything that will take up the open space to the south of the current building. In contrast to the M-1 district, all HWY-1 site plans require review and approval by the Planning and Zoning Commission and City Council.

The following is an outline of specific requirements of the HWY-1 District and how they should inform conditions of the rezone:

1. There is a required 20-foot setback from the property line along streets and accessways consisting of landscape material. This setback applies to parking areas and structures.
 - a. Deficiency: The row of parking along the eastern edge encroaches 13 feet into this setback. Also, the northern border of the parking lot encroaches 5 feet.
 - b. Condition of rezone: Unless major improvements are intended by the applicant at this time, it will not be reasonable to immediately expect an adjustment or reconfiguring of the parking area. However, a timeline may be agreed upon between the city and applicant as to when the property will be brought into compliance. If prior to that timeline any future development plan requires post-construction storm water control per article 6 Section 24 of the Cedar Falls Code of Ordinances then the owner will be required to abide by this setback standard at that point.

2. There is required green space equal to 10% of the entire site area in addition to (not including) the 20 foot setback. This is intended to be distributed throughout the site with plantings equating to 6,421 planting points based on the point schedule for the HWY-1 District. The applicant has indicated an intention to develop the southern portion which makes up approximately 40% of the site area. The planting points required for the northern portion should be 3,853.
 - a. Deficiency: The current plantings do not meet the points requirement. There is plenty of green space on the western edge of the property and a grass area immediately bordering the western edge of the building.
 - b. Condition of rezone: The applicant should be required to submit a landscaping plan noting the planting points achieved by current and proposed plantings based on the planting point schedule for the HWY-1 District.

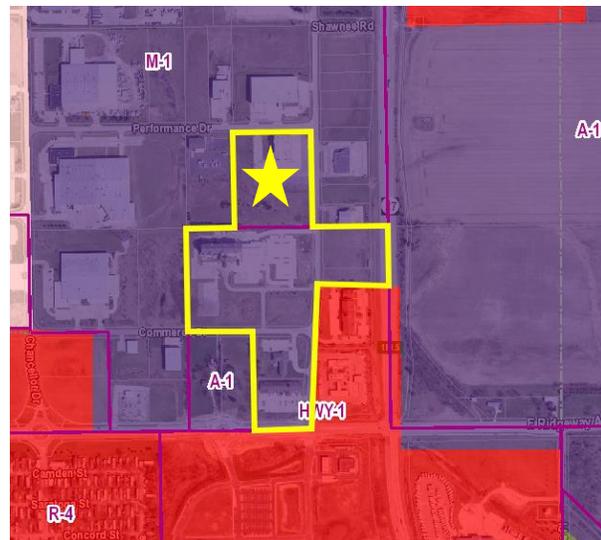
3. Street trees equating to 875 planting points are required based on the point schedule for the HWY-1 District.
 - a. Deficiency: There are currently 5 understory street trees that achieve 200 points total which falls short of the 875 point requirement.
 - b. Condition of rezone: The applicant should be required to submit a landscaping plan demonstrating that they meet the points for the street tree requirement.

4. In addition to the above requirements, the interior of the parking lot is required to provide one overstory tree for every 15 parking stalls. The applicant has indicated that 290 parking stalls are on the property which requires 20 overstory trees. The applicant has also indicated that 160 parking stalls would be associated with the existing building and the rest would provide parking for potential development of the area to the south.
 - a. Deficiency: There are no overstory trees in the interior of the site parking lot.
 - b. Condition of rezone: Unless major improvements are intended by the applicant at this time, it will not be reasonable to immediately expect them to install islands for interior trees. However, a timeline may be agreed upon between the city and applicant as to when the property will be brought into compliance. If prior to that timeline any future development plan requires post-construction storm water control per article 6 Section 24 of the Cedar Falls Code of Ordinances then the owner will be required to abide by this standard at that point.

Rezoning considerations also involve evaluation of three main criteria:

- 1) *Is the rezoning request consistent with the Future Land Use Map and the Comprehensive Plan?*

Not at this time. The Future Land Use Map shades this property in purple which is for industrial use. It is evident that a large portion of the area south of 7009 Nordic Drive currently zoned as HWY-1 is designated for industrial. True to the HWY-1 District, the entire area outlined in yellow which includes the subject property in the northernmost portion (marked by a star) should be amended to be a "Commercial Corridor" which is



designated by areas shaded in red. A proposal to amend the Future Land Use Map concurrent with the rezoning consideration will make the zoning and the Future Land Use Map consistent with each other.

2) *Is the property readily accessible to sanitary sewer service?*

Yes, all utilities are readily available to the site.

3) *Does the property have adequate roadway access?*

Yes, the property currently has access to Nordic Drive and Performance Drive.

TECHNICAL COMMENTS

Staff believes the following should be conditions of the rezone:

1. Property must undergo improvements to meet the green space planting and street tree requirements as outlined in staff's analysis. A code compliant landscaping plan and planting schedule will be required prior to final approval.
2. The City and the applicant will work to establish an agreement on the timeline for when the parking lot interior and setback will be brought into compliance. An executed agreement will be required prior to final approval.
3. Any other conditions identified by the Planning and Zoning Commission and City Council.

A notice was mailed to property owners within 300 feet of the parcel under consideration on February 17, 2021 regarding this rezoning request.

STAFF RECOMMENDATION

Staff brings this forward at this time for discussion purposes and recommends that the Planning and Zoning Commission set a public hearing for March 10th, 2021. This hearing should consider both the rezone and the amendment to the Future Land Use Map.

PLANNING & ZONING COMMISSION

Introduction

2/24/2021

Attachment: Letter to Adjacent Property Owners



DEPARTMENT OF COMMUNITY DEVELOPMENT

PLANNING & COMMUNITY SERVICES
 220 CLAY STREET
 PH: 319-273-8606
 FAX: 319-273-8610

INSPECTION SERVICES
 220 CLAY STREET
 PH: 319-268-5161
 FAX: 319-268-5197

RECREATION & COMMUNITY PROGRAMS
 110 E. 13TH STREET
 PH: 319-273-8636
 FAX: 319-273-8656

**VISITORS & TOURISM/
 CULTURAL PROGRAMS**
 6510 HUDSON ROAD
 PH: 319-268-4266
 FAX: 319-277-9707

February 17, 2021

RE: Rezoning Request

7.37 acres of property located at 7009 Nordic Drive, the southwest corner of the intersection of Nordic Drive and Performance Drive.

Dear Area Resident/Property Owner:

I wish to notify you that the City of Cedar Falls Planning and Zoning office has received a request to rezone approximately 7.37 acres of property located at 7009 Nordic Drive, the southwest corner of the intersection of Nordic Drive and Performance Drive from M-1 Light Industrial District to HWY-1 Highway Commercial District.

This rezoning request will be introduced for initial discussion at the Cedar Falls Planning and Zoning Commission meeting **on Wednesday, February 24, 2021. At that time, the Commission will discuss the request and consider any public comments. Also, a public hearing for this rezoning will potentially take place on March 10, 2021. Based on pandemic levels, meetings may be by videoconference or an option to come to City Hall may be available, please check the agenda prior to the meeting, which will be posted at www.cedarfalls.com/ccvideo.** Directions on how to participate in the meeting and provide your comments will be included in the meeting agenda, which will be available on the city website. Written comments may be filed with the Commission at any time prior to the time of the meeting by forwarding your comments to Chris.Sevy@cedarfalls.com. A copy of the staff report and attachments will be online by the end of the day on February 19 at www.cedarfalls.com/ccvideo.

If you have any comments or questions regarding this matter, please feel free to contact this office at (319) 273-8600. Thank you for your consideration.

Sincerely,

Chris Sevy
 Planner I

Attachment: Rezoning Map

