



**AGENDA
CITY OF CEDAR FALLS, IOWA
PLANNING AND ZONING COMMISSION MEETING
WEDNESDAY, APRIL 26, 2023
5:30 PM AT CITY HALL, 220 CLAY STREET**

Call to Order and Roll Call

Approval of Minutes

1. Planning and Zoning Commission Regular Meeting Minutes of April 12, 2023

Public Comments

Old Business

New Business

2. **Hwy 1 District Site Plan Review – Southeast corner of Brandilynn Boulevard and Winterberry Drive. (SP23-003)**
Petitioner: Jam Investments of Cedar Falls LLC
Previous discussion: None
Recommendation: *Approval*
P&Z Action: *Discuss and consider making a recommendation to City Council*

3. **MU District Site Plan Review – 4520 Rownd St. (SP23-005)**
Petitioner: Eastern Iowa Lutheran High School Association Board
Previous discussion: None
Recommendation: *Approval*
P&Z Action: *Discuss and consider making a recommendation to City Council*

Commission Updates

Adjournment

Reminders:

- * May 10 and May 24 - Planning & Zoning Commission Meetings
- * May 1 and May 15 - City Council Meetings

**Cedar Falls Planning and Zoning Commission
Regular Meeting
April 12, 2023
Cedar Falls, Iowa**

MINUTES

The Cedar Falls Planning and Zoning Commission met in regular session on April 12, 2023 at 5:30 p.m. at City Hall. The following Commission members were present: Crisman, Grybovych, Hartley, Leeper, Lynch and Moser. Larson was absent as he needed to abstain from the item. Karen Howard, Community Services Manager and Thomas Weintraut, Planner III were also present.

- 1.) Chair Lynch noted the Minutes from the March 22, 2023 regular meeting are presented. Ms. Crisman made a motion to approve the Minutes as presented. Ms. Grybovych seconded the motion. The motion was approved unanimously with 6 ayes (Crisman, Grybovych, Hartley, Leeper, Lynch and Moser), and 0 nays.

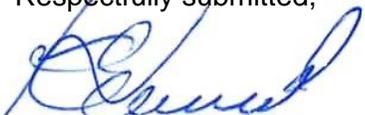
- 2.) The first item of business was a right-of-way vacation for a portion of Hudson Road. Chair Lynch introduced the item and Mr. Weintraut provided background information. He explained that there is a request by the owner, Mr. Nicol, to vacate a portion of right-of-way on Hudson Road. In 2022 the City purchased a portion of Nicol’s property for a new street. Mr. Nicol is in the process of rezoning the property to R-1 and has provided a concept layout for a subdivision. If the vacation of the right-of-way is approved, the area will become part of Lot 7, which would make it less difficult to place a house on the lot. As part of the vacation, the City would like to work with Mr. Nicol and obtain a portion of the proposed Lot 7 to help widen the right-of-way, making it easier to install infrastructure and construct an extension of Ashworth Lane. There could be considered of a trade when the subdivision takes place. There is a sidewalk on the west side of Hudson Road that provides pedestrian and bicycle movement. If vacated, the sidewalk will still be on public right-of-way and located at least five feet from the property. The vacation of public right-of-way will not affect access to private property as the new street construction has provided access. Staff recommends approval of the request to vacate the right-of-way with the condition that an appropriately sized easement is established along Hudson Road in the area subject to the vacation.

Ms. Crisman made a motion to approve the item. Ms. Grybovych seconded the motion. The motion was approved unanimously with 6 ayes (Crisman, Grybovych, Hartley, Leeper, Lynch and Moser), and 0 nays.

- 3.) As there were no further comments, Mr. Leeper made a motion to adjourn. Ms. Moser seconded the motion. The motion was approved unanimously with 6 ayes (Crisman, Grybovych, Hartley, Leeper, Lynch and Moser), and 0 nays.

The meeting adjourned at 5:31 p.m.

Respectfully submitted,


 Karen Howard
 Community Services Manager


 Joanne Goodrich
 Administrative Assistant

DEPARTMENT OF COMMUNITY DEVELOPMENT



City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
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www.cedarfalls.com

MEMORANDUM Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Chris Sevy, Planner I
DATE: April 26, 2023
SUBJECT: Hwy 1 District Site Plan: Popeye's Restaurant (SP23-003)

REQUEST: Hwy 1 District Site plan approval for construction of a new drive-thru and sit-down fast-food establishment.

PETITIONER: Jam Investments of Cedar Falls LLC (developer); Civil Engineering Consultants, Inc. (engineer)

LOCATION: Southeast corner of Brandilynn Boulevard and Winterberry Drive

PROPOSAL

The applicant proposes to construct a one story, 3,048 square foot Popeyes restaurant, at the southeast corner of Brandilynn Boulevard and Winterberry Drive. The proposal includes indoor dining, a drive through, parking for patrons, and a dumpster enclosure. The proposed layout of the site sits on just over 1 acre with the entrance connecting to a shared access drive off Winterberry Drive.

BACKGROUND

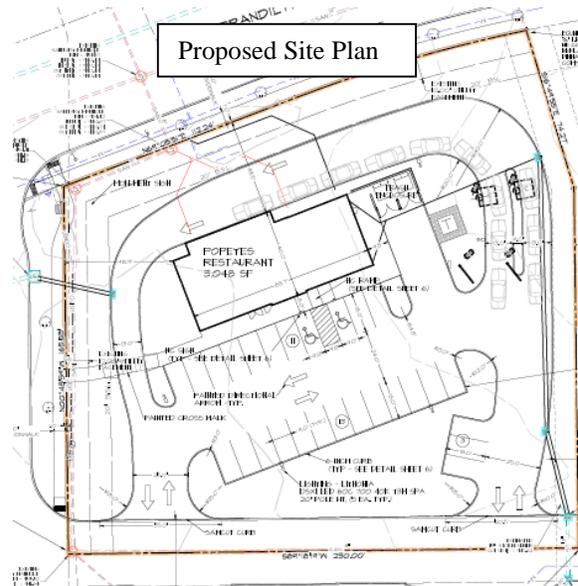
The property is zoned Hwy 1. A "Replat of Lot 2 of Pinnacle Prairie Commercial South" approved on August 12, 2013 that created 4 commercial lots. Two lots have been developed within this block: Discount Tire, and Collins Community Credit Union. One other lot remains undeveloped, to the



east, adjacent to Brandilynn Boulevard and Prairie Parkway.

ANALYSIS

The HWY-1 District is intended to promote general service commercial uses that serve a broader market area (i.e. city-wide or regional customer base). The ordinance requires a detailed site plan review through the Planning and Zoning Commission and City Council prior to approval. The intent of this zoning district review is to "encourage high standards of building architecture and site planning that will foster commercial development that maximizes pedestrian convenience, comfort, and pleasure." Attention to details such as pedestrian access, parking, open green space, landscaping, signage, building design and other similar factors help to ensure orderly development in the entire area.



Following is a review of the zoning ordinance requirements for the proposed development:

- 1) Use: Restaurants are listed as a permitted use in the HWY-1 District and Popeyes fits into that category. **Use is allowed.**
- 2) Setbacks: There is a platted building setback of 20 feet along both Winterberry and Brandilynn. The building is 48.9 feet from Winterberry and 43.5 feet from Brandilynn. At these distances the building more than meets the setback requirement. The district also requires that a 20-foot landscaped setback be maintained along streets and accessways. Drives, aisles, and parking areas may not encroach into this landscaped setback. The applicant's site plan conforms to these standards. **Building setbacks are satisfied. The parking lot setbacks are also satisfied.**
- 3) Parking: Restaurants require one parking space for every 100 square feet of gross floor area, plus one parking space for every two employees with a minimum of five parking spaces for employee parking. At a net floor area of 2177 square feet, the applicant is providing 27 parking spaces (22 customer spaces + 5 employee spaces). For a drive through fast food restaurant, five stacking spaces are required behind the window. There are at least eight stacking spaces between the window and the entrance of the drive-thru. The parking meets the zoning standards with minimum stall dimensions of 9' x 19' and a 24-foot-wide aisle (24 feet is the minimum requirement).
The amount and dimension of the parking stalls and drives are met.

- 4) Open Green Space: The HWY-1 District requires that open green space/landscape area be provided at the rate of 10% of the development site excluding the required 20-foot landscaped perimeter setback area (perimeter of the district). Below is a summary that details how this provision is met.

<u>New Development Site</u>	<u>46,470 SF</u>	
Required Open/Green Space	4,647 SF	10%
Provided Open/Green Space	18,068 SF	38%

Landscaping is shown throughout the site, both around the building as well as within the parking lot, along the streets and required setbacks.

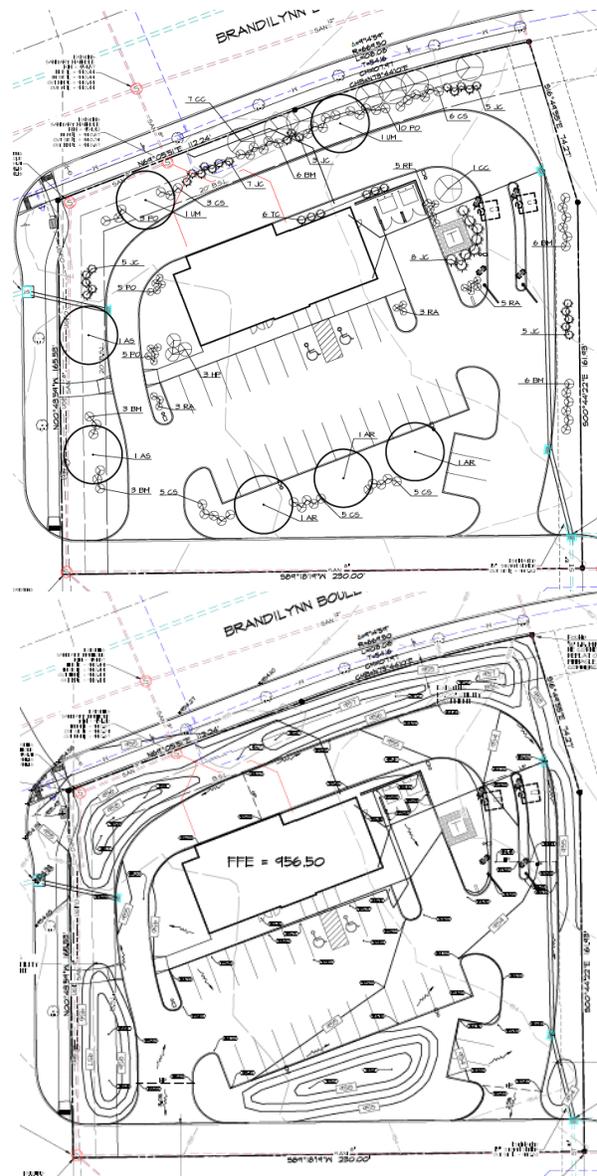
The open green space exceeds the minimum requirement and is well distributed.

- 5) Landscaping: The HWY-1 District requires landscaping at the rate of 0.02 points per sq. ft. of total development site area which comes to 930 points required. Their plan achieves 1250 points. An additional 290 points are required for street tree planting. The existing 5" caliper street trees between the sidewalk and the street would amount to 700 street tree points.

Trees are required in the vehicular use area at the rate of one overstory tree per 15 parking spaces. This equates to a requirement of 2 overstory trees. Several more than that are proposed which meets this requirement.

In addition to parking lot trees, there are existing trees located along the street frontages between the sidewalk and the street. There are also shrubs and additional trees proposed around the building and paved areas meeting the general landscape and screening requirements of the parking code. Worth noting is that some of the screening requirements are satisfied with up to 3-foot high berming as proposed on the grading plan shown to the right.

Landscaping requirements are met.



- 6) **Building Design:** The HWY-1 zone requires a design review of various elements. The intent of the zone is to promote and facilitate comprehensively planned commercial developments located adjacent to major transportation corridors and interchanges. It is further the purpose of the zone to encourage high standards of building architecture and site planning. The elements in the code are noted below with a review on how each is addressed. **Overall, staff finds that the proposed building design meets the zoning standards based on the following analysis.**

Proportion: The relationship between the width and height of the front elevations of adjacent buildings shall be considered in the construction or alteration of a building; the relationship of width to height of windows and doors of adjacent buildings shall be considered in the construction or alteration of a building.

Renderings of the proposed building have been submitted. The scale and proportion of the new building will be similar to other nearby restaurant establishments in the HWY-1 District. Like the immediately adjacent buildings (Collins Community Credit Union, Discount Tire, and BioLife) it is 1-story but this has a much smaller footprint. Staff finds that the proposal is consistent with neighboring buildings and with the height allowances in the zoning district.

Roof shape, pitch, and direction: The similarity or compatibility of the shape, pitch, and direction of roofs in the immediate area shall be considered in the construction or alteration of a building.

The adjacent buildings utilize flat roofs with a parapet around the edge. The roof on the proposed building utilizes a similar flat roof and parapet to shield any necessary mechanicals on the roof. Some slight variation in roof height is being proposed similar to other buildings in the district.

Pattern: Alternating solids and openings (wall to windows and doors) in the front facade and sides and rear of a building create a rhythm observable to viewers. This pattern of solids and openings shall be considered in the construction or alteration of a building.

The new building would present to Winterberry Drive with a transparent window façade and some accents of the other materials. Though set back, the proposed sit-down area and counter should be visible through the windows from passersby on Winterberry Drive. There is also a good balance of the other materials and colors that provide a transition to the other sides of the building. Although not ideal from an aesthetic perspective, due to the size and shape of the lot, it was necessary to locate the drive-thru along the Brandilynn frontage. There are few windows on this side of the building due to the location of the kitchen and drive-thru facilities. To soften the view of the drive-thru and mitigate for the lack of window coverage, the applicant proposes a 3-foot berm and

plantings in the landscaped setback along Brandilynn. In addition, they propose to inset brick panels and include a mural and add a canopy to create additional visual interest in lieu of windows. Staff finds these elements to be a satisfactory solution to meet this standard on this tight site.

Materials and texture: Materials and texture. The similarity or compatibility of existing materials and textures on the exterior walls and roofs of buildings in the immediate area shall be considered in the construction or alteration of a building. A building or alteration shall be considered compatible if the materials and texture used are appropriate in the context of other buildings in the immediate area.

Transparent windows, thin brick panels, fiber cement siding with a wood texture, and variations in trim are the exterior materials proposed for the new building. All of the materials provide a nice modern feel that strikes a balance between color and texture. Staff finds that these material and texture choices are compatible with those of adjacent buildings.

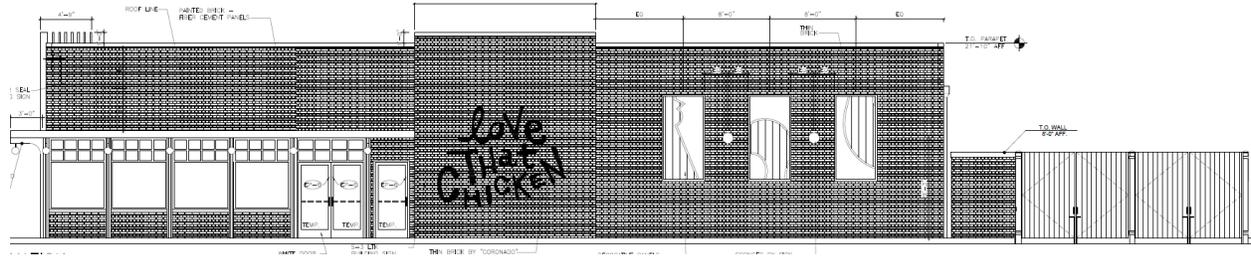
Color: The similarity or compatibility of existing colors of exterior walls and roofs of buildings in the area shall be considered in the construction or alteration of a building.

With exception of minor accent colors of orange and teal, the building features a relatively neutral color palate of white, gray, and brown that fits in well with the adjacent buildings. One of the fiber cement siding products used has the appearance of wood which provides variation and visual interest. Staff finds no issues with the choice of colors.

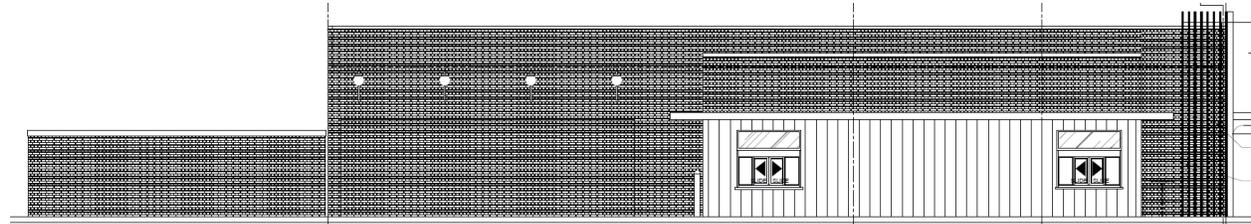
Architectural features: Architectural features, including but not limited to, cornices, entablatures, doors, windows, shutters, and fanlights, prevailing in the immediate area, shall be considered in the construction or alteration of a building. It is not intended that the details of existing buildings be duplicated precisely, but those features should be regarded as suggestive of the extent, nature, and scale of details that would be appropriate on new buildings or alterations.

Architectural features of the new building include variation in wall surfaces and materials, windows of the indoor eating area facing to the south and west, and awnings or overhangs that provide accents to the building. The presentation of windows is similar to buildings in the surrounding district. These style features and materials maintain identity while being generally consistent with neighboring buildings.

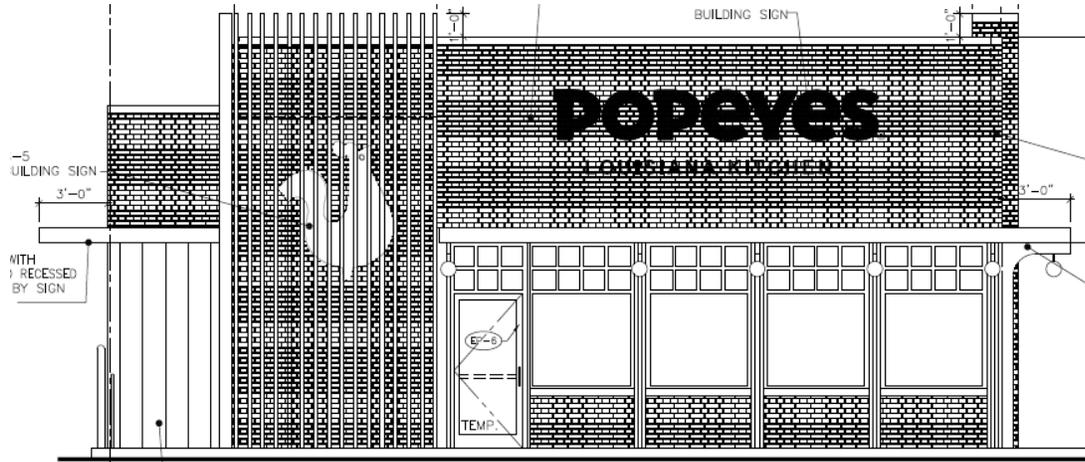
View from the South:



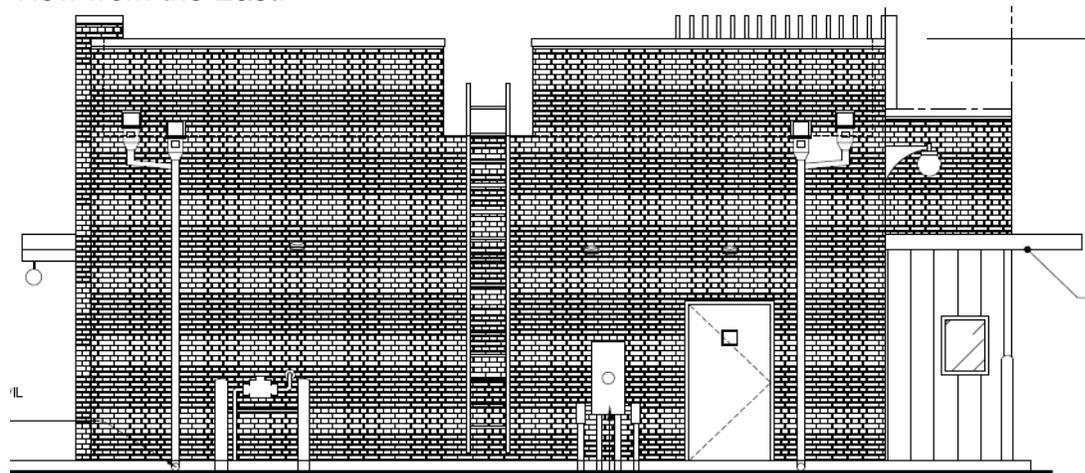
View from the North:



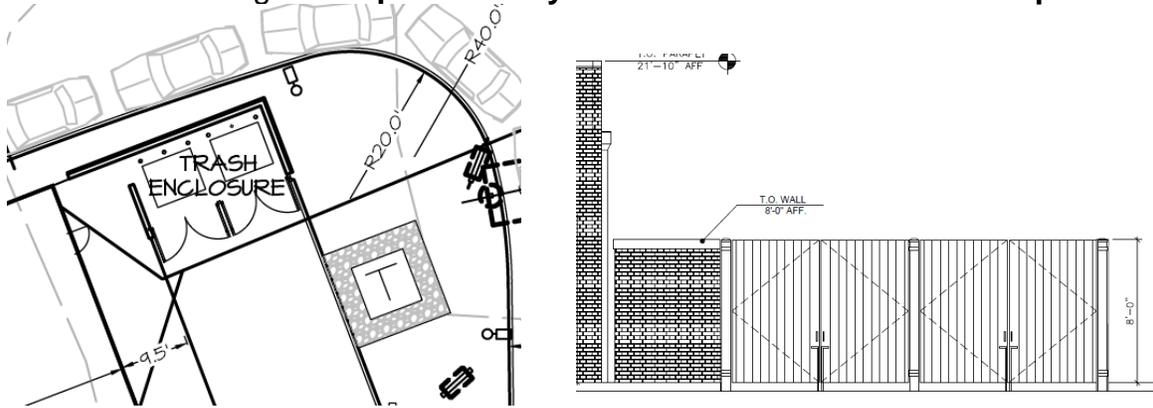
View from the West:



View from the East:



- 7) Trash Dumpster Site: The dumpster and enclosure is located on the east edge of the building. This enclosure will be made of the same materials as the building and will appear almost as an extension to the principal structure. It will have two sets of doors to operate towards the south where a truck can approach it. The enclosure will measure 8 feet high. **Dumpster facility location and enclosure is acceptable.**



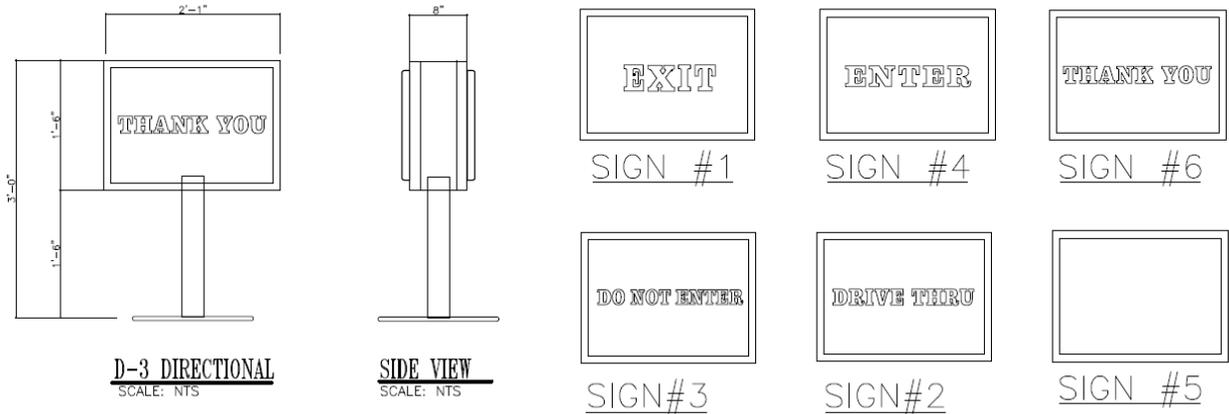
- 8) Lighting: The HWY-1 District regulations do not have specific lighting design guidelines. However, all new site plans require review of the lighting to consider potential nuisance issues and incompatibilities. The vehicular use area will utilize five 25-foot high fully downcast fixtures produced by Lithonia Lighting. The lighting plan shows that the proposed models will properly light critical areas of the site with little spillover light on to other properties. **Lighting is acceptable.**
- 9) Signage: Separate sign permits will be required for all signage prior to installation. However, the proposed signage plan for the site must be part of this review by the Planning and Zoning Commission and City Council. The signage plan has been included as an attachment.

Wall signs may only be on two wall surfaces and must be less than 20% of the wall area. For the new building, two wall signs are illustrated on the building on the south and the west. These wall signs meet the quantity and appear to be well within the size requirements. However, the size and proportion will be confirmed when reviewed for permitting.

Freestanding signs are not limited in number but are limited in height to 25 feet above the surface of the roadway and their aggregate sign area should not exceed 250 square feet. The following is a breakdown of freestanding signs with heights and sign areas:

<u>Sign Type</u>	<u>Sign Area (sq ft)</u>	<u>Height (feet)</u>
Freestanding Pylon	50.7	16
Menu Sign	33.8	6.5
Total:	73	

There are also directional signs proposed. Their height must be less than 6 feet and have a sign area less than 6 square feet. The proposed directional signs meet these requirements.



Note, there is a mural sign intended to be placed on the north elevation which is primarily intended for viewing by those going through the drive-thru. Signs are not allowed on three sides of a building in the HWY-1 District. However, the placement of this mural would generally not be viewable from the street due to the berm and landscaping proposed in the north landscaped setback area. Since it is a mural not intended for viewing from the street and the proposed landscaping will limit such viewing, staff finds that it may not meet the definition of a sign. Staff recommends that the Commission discuss and determine whether the mural should be allowed under these circumstances. An alternative proposal for this blank area of the façade, would be to include the wood-style cement board paneling or a complimentary color of brick in this location. As long as it is determined that it does not meet the definition of a sign, staff is supportive of either option.

- 10) Storm Water Management: The stormwater management planned for installation on this site will be the collection and routing into the adjacent storm sewer network shared by the four lots between Winterberry Drive and Prairie Parkway. This stormwater ultimately is collected into the storm sewer network on Prairie Parkway and routed to the regional basin on the south side of Viking Road. All City ordinance requirements are satisfied for post-construction stormwater management. **Criterion is met, subject to final engineering review prior to issuance of a building permit.**

TECHNICAL COMMENTS

Cedar Falls Utilities (CFU) has reviewed the site plan for Popeyes at Brandilynn Boulevard and Winterberry Drive. Water, electric, gas, and communications utility services are available in accordance with the service policies of CFU. There is an existing

8" water service stubbed into the property from Brandilynn Boulevard. Natural gas is available from the north side of Brandilynn Boulevard. Electric service location is stubbed to the southwest corner of the lot.

Any other minor technical issues will be addressed at the time of building plan review.

A courtesy notice to surrounding property owners was mailed on April 20, 2023.

STAFF RECOMMENDATION

Staff recommends approval of SP23-003, a HWY-1 District site plan for a new Popeyes restaurant at the corner of Brandilynn Boulevard and Winterberry Drive, subject to conformance with all City staff recommendations and technical requirements.

PLANNING & ZONING COMMISSION

Introduction

Discussion

& Vote

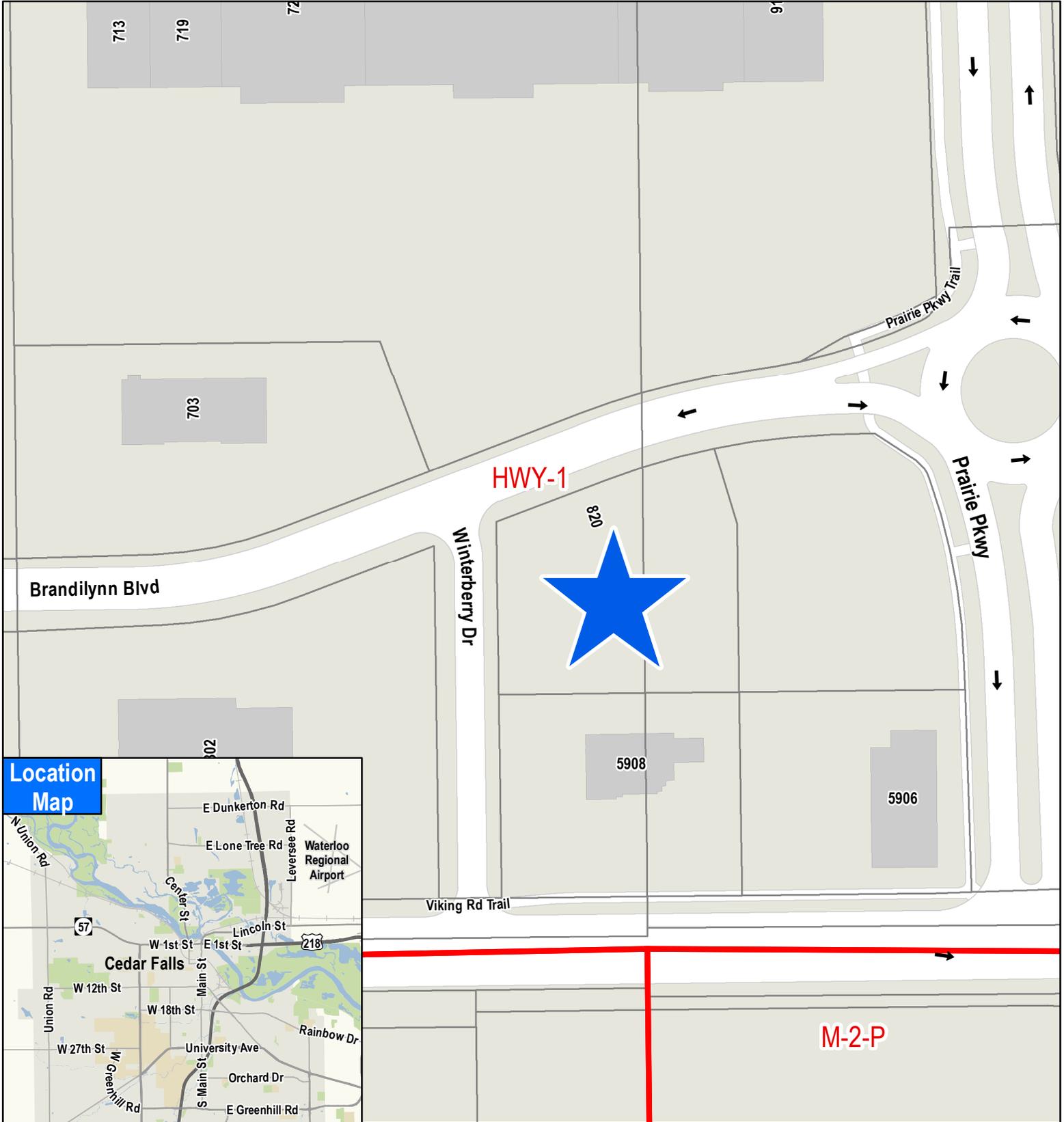
4/26/2023

Attachments: Location Map
Complete Site Plan Set
Building Elevations
Proposed Signage Plan

Cedar Falls Planning and Zoning Commission

April 26, 2023

Item 2.



Location Map



**HWY-1 District Site Plan for
Popyes Restaurant at SE corner
Brandilynn blvd. and Winterberry Dr
(SP23-003)**

SITE PLAN OF

POPEYE'S RESTAURANT

BRANDILYNN BOULEVARD, CEDAR FALLS, IOWA

GENERAL NOTES

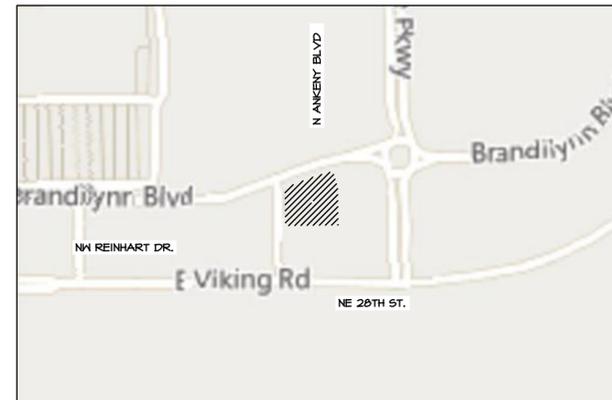
- ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
 - CITY OF CEDAR FALLS BUILDING DIVISION
 - JAM RESTAURANT GROUP
 - CIVIL ENGINEERING CONSULTANTS, INC.
 - "ONE CALL" UTILITY LOCATE SERVICE
- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) VERSION 2022, INCLUDING CITY OF CEDAR FALLS SUPPLEMENTAL.
- ALL DEBRIS SPILLED ON PUBLIC ROW AND ADJOINING PROPERTY SHALL BE REMOVED BY OWNER/CONTRACTOR IN TIMELY FASHION.

GRADING NOTES

- STRIP A MINIMUM OF 6" OF TOPSOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT INCLUDING WASTE AND/OR BORROW AREAS. ADDITIONAL STRIPPING MAY BE REQUIRED TO ADEQUATELY REMOVE THE ORGANICS AND SOFT SEDIMENTS.
- ALL AREAS WHICH ARE TO RECEIVE EMBANKMENT SHALL HAVE THE TOP 12-INCHES DISCED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED.
- ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ON-SITE FILL MATERIAL.
- ALL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95.0% OF STANDARD PROCTOR DENSITY WITH MOISTURE LIMITS SET FORTH IN THE SOILS REPORT.
- MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
- GRADING CONTRACTOR SHALL STOCKPILE TOP SOIL FOR SHOULDERING & SEED/SOD BEDS.
- FINISHED GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.20 FOOT OF PLAN GRADE. PAVED AREAS SHALL BE WITHIN 0.10 FOOT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE UTILITY OWNER.
- TOPSOIL SHALL BE SPREAD TO A MINIMUM THICKNESS OF 6-INCHES ON ALL LANDSCAPED AREAS.
- BACKFILL TO THE TOP OF ALL CURBS.
- ALL ELEVATIONS ARE TO THE GUTTER GRADE UNLESS NOTED OTHERWISE.
- ALL EXISTING TILE LINES ENCOUNTERED SHALL BE RESTORED OR ROUTED TO A STORM SEWER WHETHER ACTIVE OR NOT.

UTILITY NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) VERSION 2022.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. DAMAGE TO UTILITIES OR STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER.
- RECONNECT ANY FIELD TILE THAT ARE INTERCEPTED DURING UTILITY CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT AND BACK FILL AROUND UNDERGROUND UTILITIES.
- WHERE SEWERS CROSS OVER OR LESS THAN 18-INCHES BELOW A WATER MAIN, LOCATE ONE FULL LENGTH OF SEWER PIPE OF WATER MAIN MATERIAL OR RCP WITH FLEXIBLE O-RING GASKET JOINTS SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN.



VICINITY SKETCH
SCALE 1"=400'



SHEET LIST TABLE

SHEET #	SHEET TITLE
1	COVER
2	DIMENSION PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	LANDSCAPING PLAN
6	DETAILS

OWNER / DEVELOPER
JAM INVESTMENTS OF CEDAR FALLS LLC
1650 N. MILWAUKEE AVE, UNIT 107
CHICAGO, IL 60647
CONTACT: ASIF POONJA
PH: (847) 220-1242
EMAIL: asif.poonja@jamrestaurantgroup.com

PROJECT MANAGER
BART TURK
CIVIL ENGINEERING CONSULTANTS, INC.
2400 86th STREET, UNIT 12
DES MOINES, IOWA 50322
CONTACT PH: 515-276-4884, EXT. 222
EMAIL: TURK@CECLAC.COM

LEGAL DESCRIPTION
PINNACLE PRAIRIE COMMERCIAL SOUTH PHASE I
REPLAT OF LOT 2 THAT PART OF LOT 1 LYING
WITHIN THE SW 1/4 SW 1/4 SEC 30 T 84

ZONING
HWY-1 HIGHWAY COMMERCIAL DISTRICT

LAND USE
COMMERCIAL

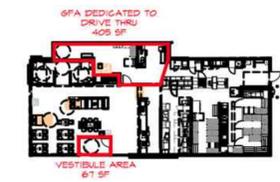
AREAS

BUILDING	=	3,048 SF	7%
PAVING	=	25,354 SF	55%
OPEN SPACE	=	18,068 SF	38%
TOTAL	=	46,470 SF	100%

IMPERVIOUS = 28,402 SF 62%

PARKING REQUIREMENTS
PARKING REQUIREMENT: ONE PARKING SPACE FOR EVERY 100 SQUARE FEET OF GROSS FLOOR AREA, PLUS ONE PARKING SPACE FOR EVERY TWO EMPLOYEES WITH A MINIMUM OF FIVE PARKING SPACES FOR EMPLOYEE PARKING. WHERE DRIVE-UP WINDOW FACILITIES ARE PROPOSED, FIVE STACKING SPACES SHALL BE PROVIDED PER WINDOW.

PARKING REQUIRED: 405 SF OF THE BUILDING IS DEDICATED TO DRIVE THRU SERVICE. CURRENTLY THE DRIVE-THRU PROPOSES 11 QUEING SPACE, 6 MORE THAN REQUIRED. THE REMAINDER OF THE GROSS FLOOR AREA: GFA OF (2840 - 405) SF LESS VESTIBULE (NON-INCIDENTAL) OF 61 SF: (2840 - 405) - 61 = 2418 SF LESS MAXIMUM OF 10% OF NON-ESSENTIAL AREAS: 2418 - [(0.10)(2418)] = 2177 SF 2177 / 100 = 22 + 5 = 27 SPACES REQUIRED



DRIVE THRU STAKING: ONE WINDOW PROPOSED
5 STAKING SPACES REQUIRED
11 SPACES PROPOSED

GENERAL LEGEND	
PROPOSED	EXISTING
— PLAT BOUNDARY	— LOT LINE
— SECTION LINE	○ SANITARY/STORM MANHOLE
— LOT LINE	⊕ WATER VALVE
— CENTERLINE	— FIRE HYDRANT
— EASEMENT LINE	□ STORM SEWER SINGLE INTAKE
◁ FLARED END SECTION	□ STORM SEWER DOUBLE INTAKE
⊙ DRAIN BASIN OR SEDIMENT RISER	⊙ STORM SEWER ROUND INTAKE
⊙ DRAIN BASIN WITH SOLID GRATE	◁ FLARED END SECTION
⊕ WATER VALVE	○ DECIDUOUS TREE
⊕ FIRE HYDRANT ASSEMBLY	⊕ CONIFEROUS TREE
⊕ BLOW-OFF HYDRANT	○ SHRUB
⊕ SCOUR STOP MAT	⊕ POWER POLE
⊕ TURF REINFORCEMENT MAT	⊕ STREET LIGHT
— 12" STORM SEWER WITH SIZE	⊕ GUY ANCHOR
— 18" WATER SEWER WITH SIZE	⊕ ELECTRIC TRANSFORMER
— 18" WATER SERVICE	⊕ GAS METER
— PROPOSED CONTOUR	⊕ TELEPHONE RISER
⊕ SILT FENCE	⊕ SIGN
⊕ ADDRESS	— CATV UNDERGROUND TELEVISION
⊕ RIPRAP	— UGE UNDERGROUND ELECTRIC
	— G- UNDERGROUND GAS
	— U6FO UNDERGROUND FIBER OPTIC
	— UST UNDERGROUND TELEPHONE
	— OHN OVERHEAD ELECTRIC
	— SAN 12" SANITARY SEWER WITH SIZE
	— ST 12" STORM SEWER WITH SIZE
	— W 18" WATER MAIN WITH SIZE
	— 926 EXISTING CONTOUR
	— TREELINE
	— B.S.L. BUILDING SETBACK LINE
	— P.U.E. PUBLIC UTILITY EASEMENT
	— M.O.E. MINIMUM OPENING ELEVATION
	— U.N.O. UNLESS NOTED OTHERWISE

CERTIFICATION

STATE OF IOWA

BART A. TURK

LANDSCAPE ARCHITECT

NO. 279

PROFESSIONAL LANDSCAPE ARCHITECT

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

BY: _____ DATE: _____
BART A. TURK, IOWA REG. NO. 279
MY LICENSE RENEWAL DATE IS: JUNE 30, 2023
PAGES OR SHEETS COVERED BY THIS SEAL: _____
SHEETS 1-5

DATE: 3RD SUB: 2ND SUB: 04-20-2023

DATE OF SURVEY: 04-20-2023

DESIGNED BY: BART

DRAWN BY: MM

CEC

Civil Engineering Consultants, Inc.

2400 86th Street, Unit 12, Des Moines, Iowa 50322

515.276.4884 . mail@ceclac.com

POPEYE'S RESTAURANT

BRANDILYNN BOULEVARD, CEDAR FALLS, IOWA

COVER

SHEET _____

OF 7

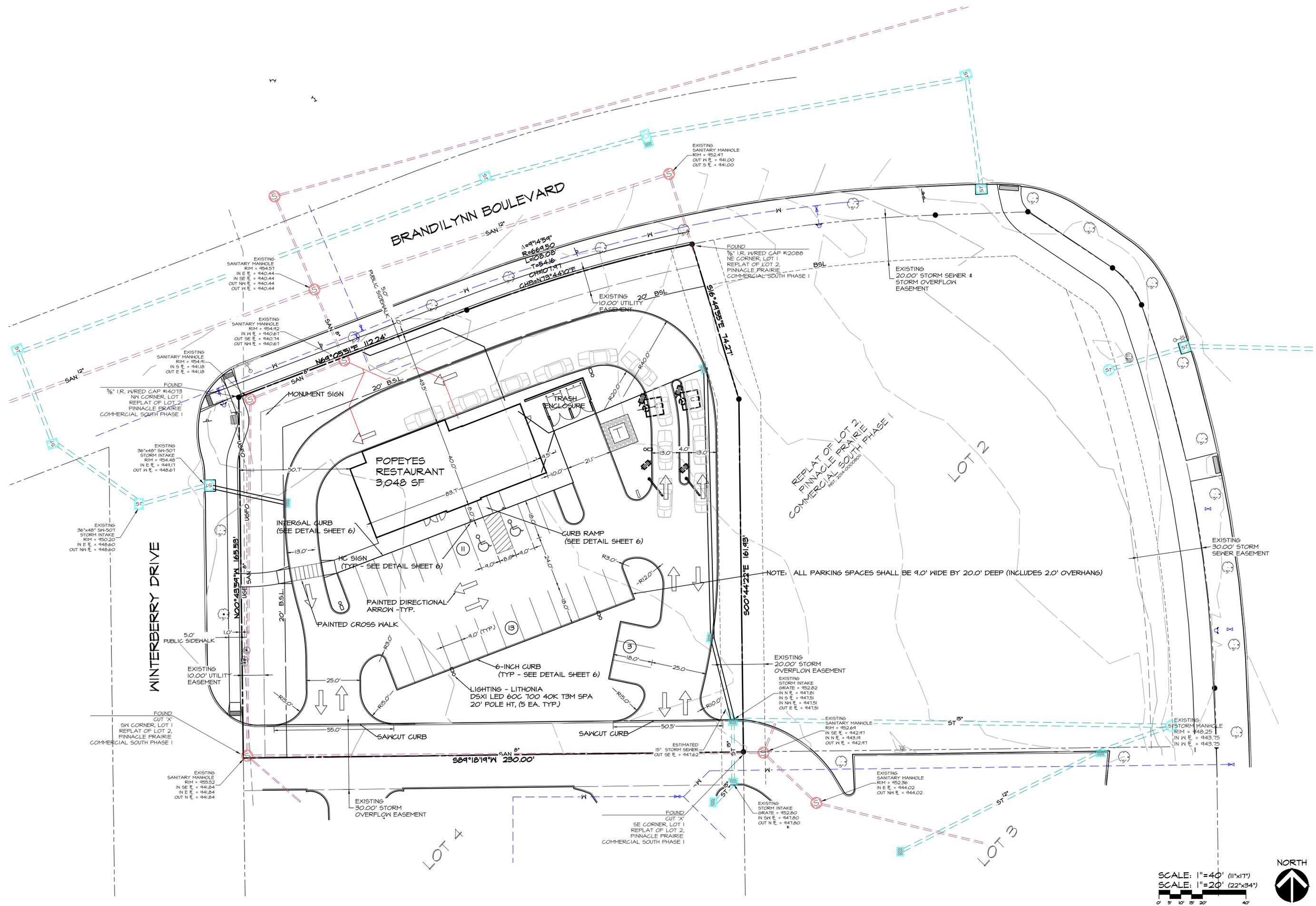
A-2181

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DATE:	Apr. 20, 2023
3RD SUB.	
2ND SUB.	
SUBMITTAL	04-20-2023
DATE OF SURVEY:	
DESIGNED BY:	BAT
DRAWN BY:	MM

POPEYE'S RESTAURANT
BRANDILYNN BOULEVARD, CEDAR FALLS, IOWA
DIMENSION PLAN



SCALE: 1"=40' (11'x17")
SCALE: 1"=20' (22"x34")

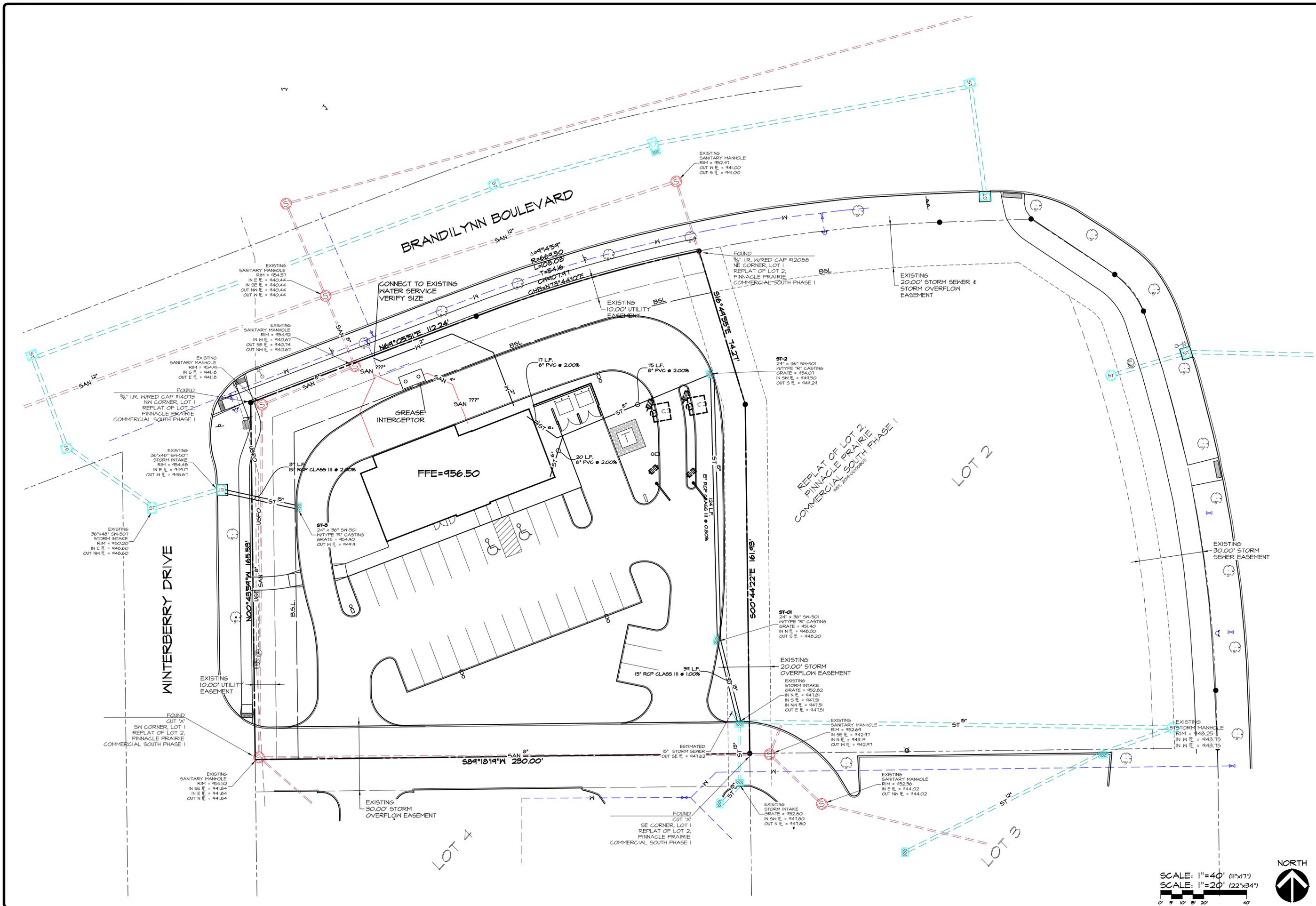
NORTH

C:\AFILES\2100\A2181_CEDAR FALLS\CONSTRUCTION DOCUMENTS\Site Plan\A2181 DIMENSION PLAN.dwg, 4/20/2023 9:51:47 AM, BARD, I.I



DATE:	Apr. 20, 2023
3RD SUB.	
2ND SUB.	
SUBMITTAL	04-20-2023
DATE OF SURVEY:	
DESIGNED BY:	BAT
DRAWN BY:	MM

POPEYE'S RESTAURANT
BRANDILYNN BOULEVARD, CEDAR FALLS, IOWA
UTILITY PLAN



SCALE: 1"=40' (11'x17")
SCALE: 1"=20' (22"x34")



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LANDSCAPING/OPEN SPACE REQUIREMENTS

OPEN SPACE
 DEVELOPMENT SITE AREA LESS 20' SETBACK AREA = 46,471 SF
 20' SETBACK AREA = 7,424 SF
 DEVELOPMENT SITE AREA LESS 20' SETBACK AREA = 39,047 SF (LANDSCAPE AREA)
 PROVIDED LANDSCAPE AREA = X 10% = 3,943 SF
 PROVIDED OPEN SPACE = 8,943 SF

OPEN SPACE LANDSCAPING
 TOTAL REQUIRED LANDSCAPING POINTS - 46,471 x 0.02 = 930 POINTS
 TOTAL LANDSCAPING POINTS PROVIDED = 1445 POINTS

STREET TREE
 REQUIRED STREET TREE PLANTING 386 LF X 0.75 = 290 POINTS
 PROVIDED STREET TREE PLANTING = 7 STREET TREES CURRENTLY EXIST

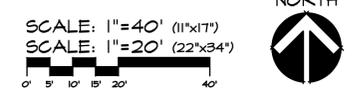
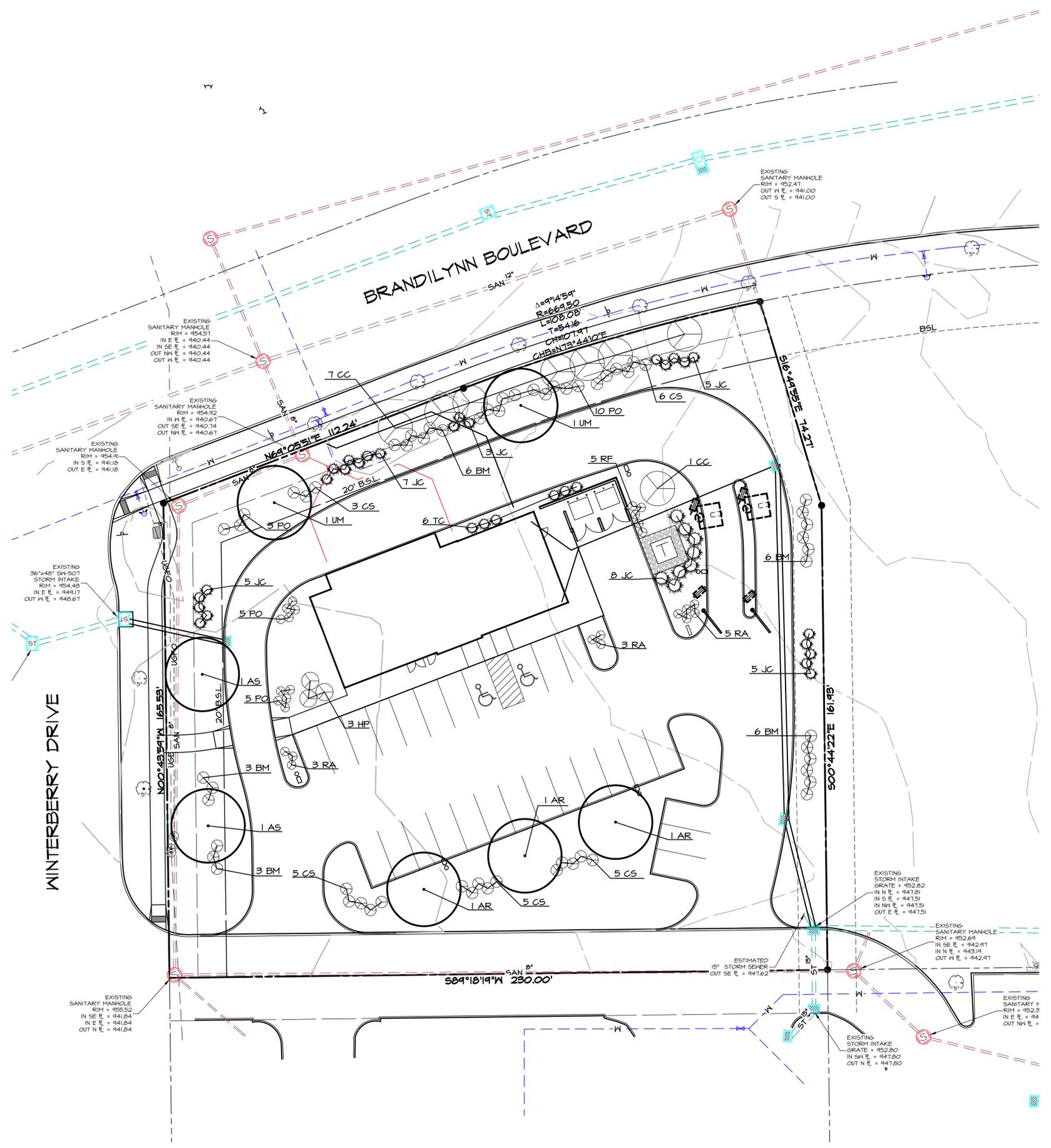
PARKING
 REQUIRED PARKING PLANTINGS 27 STALLS /15 = 2 OVERSTORY TREES
 PROVIDED PARKING PLANTINGS = 2 OVERSTORY TREES

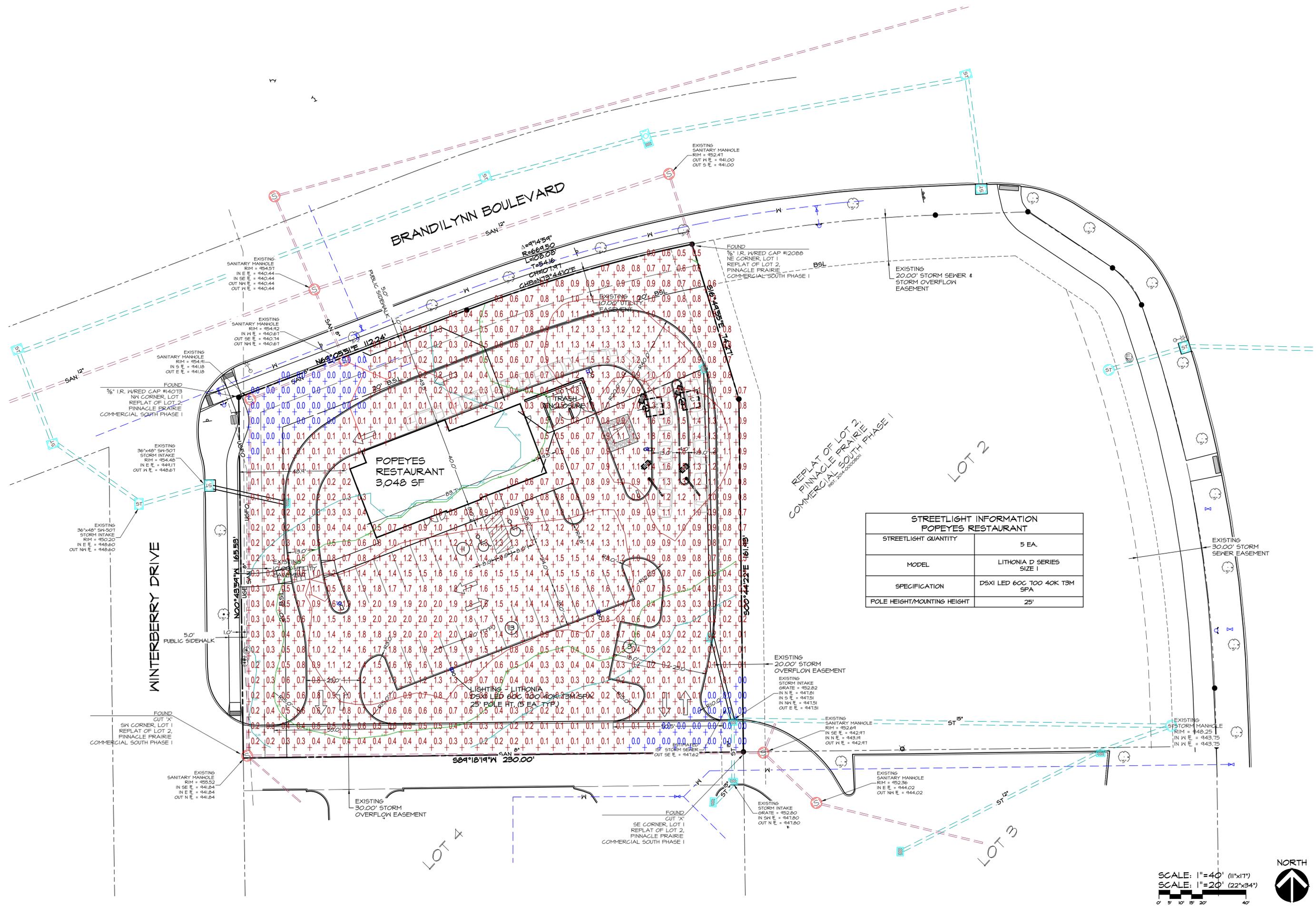
LANDSCAPING SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QUANT.	SIZE	ROOT
OVERSTORY					
AS	Acer saccharum	AUTUMN FEST SUGAR MAPLE	2	2-1/2"	B/B
AR	Acer rubrum	ARMSTRONG RED MAPLE	3	2-1/2"	B/B
UM	Ulmus 'Prairie Expedition'	PRAIRIE EXPEDITION ELM	2	2-1/2"	B/B
UNDERSTORY					
CC	Crataegus crusgalli 'Cockspur'	THORNLESS HAWTHORN	8	1-1/2"	B/B
SHRUBS					
BM	Buxus microphylla 'Golden Triumph'	GOLDEN TRIUMPH BOXWOOD	24	2 GAL	CONT
CS	Cornus sericea	RED TWIGGED DOGWOOD	24	2 GAL	CONT
HP	Hydrangea paniculata	CANDY APPLE HYDRANGEA	3	2 GAL	CONT
JC	Juniperus chinensis 'Mint Julep'	MINT JULEP JUNIFER	33	2 GAL	CONT
PO	Physocarpus opulifolius 'Little Devil'	LITTLE DEVIL NINEBARK	23	2 GAL	CONT
RA	Rhus aromatica 'Lo Gro'	LO GRO FRAGRANT SUMAC	11	2 GAL	CONT
RF	Rhamnus frangula	FINE LINE FERN LEAF BUCKTHORN	5	2 GAL	CONT
TC	Taxus cuspidata 'Nana'	JAPANESE YEW	6	2 GAL	CONT

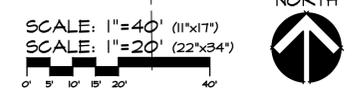
LANDSCAPING POINT SCHEDULE

DESCRIPTION	POINTS / UNIT	EXISTING STREET	PROPOSED STREET	PROPOSED SITE
OVERSTORY TREES				
4" CAL OR GREATER	100	7		
3" CAL OR GREATER	40			
2" CAL OR GREATER	80			7
UNDERSTORY TREES				
2" CAL OR GREATER	40			
1.5" CAL OR GREATER	30			2
1" CAL OR GREATER	20			
SHRUBS				
5 GAL OR GREATER	10			
2 GAL OR GREATER	5			126
CONIFERS				
10' HT OR GREATER	100			
8' HT OR GREATER	40			
6' HT OR GREATER	80			
5' HT OR GREATER	40			
4' HT OR GREATER	30			
3' HT OR GREATER	20			
TOTAL POINTS		100	320	1250
REQD OPEN SPACE PTS (0.02/46,471 SF)				930
REQD STREET POINTS (0.75/386 LF)		290		



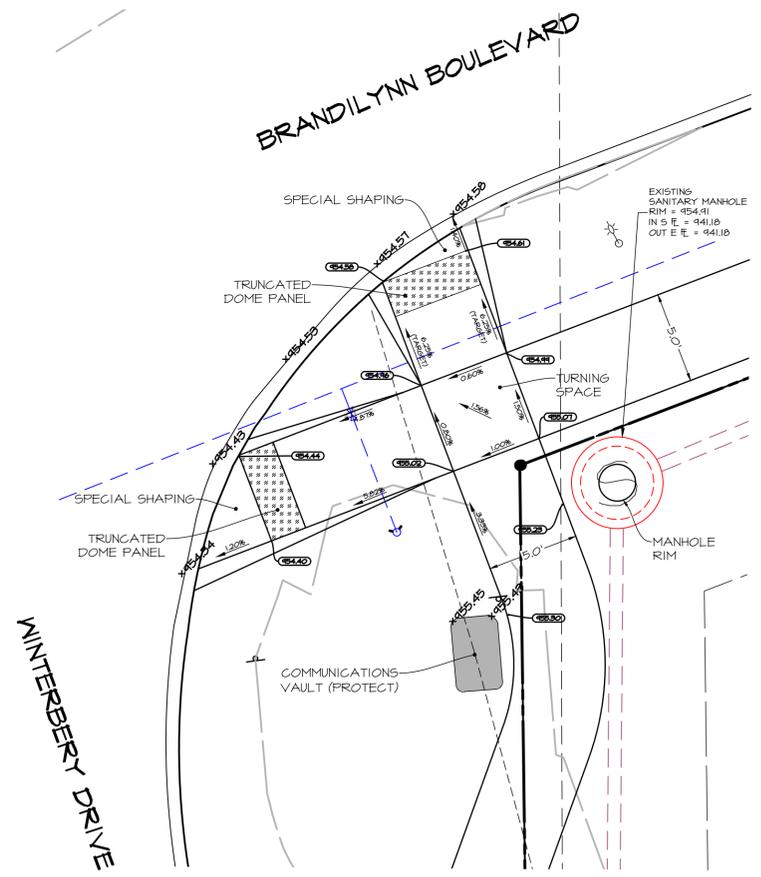


STREETLIGHT INFORMATION POPEYES RESTAURANT	
STREETLIGHT QUANTITY	5 EA.
MODEL	LITHONIA D SERIES SIZE I
SPECIFICATION	DSXI LED 60C 100 40K T3M SPA
POLE HEIGHT/MOUNTING HEIGHT	25'

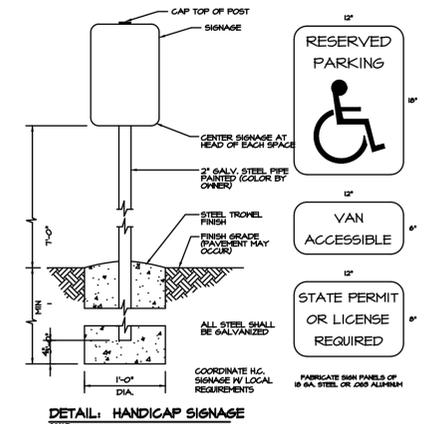


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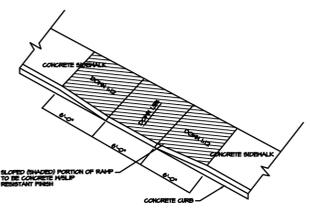
DATE:	3RD SUB.	MM
	2ND SUB.	
DATE OF SURVEY:	04-20-2023	BAT
DESIGNED BY:		
DRAWN BY:		



PUBLIC SIDEWALK RAMP DETAIL
NO SCALE

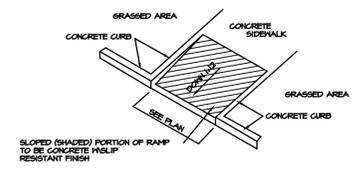


DETAIL: HANDICAP SIGNAGE
NO SCALE



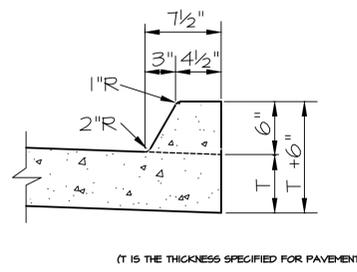
NOTE: ADA CURB CUT @ NO SIDEWALK PERPENDICULAR TO RAMP.

CURB RAMP
NO SCALE

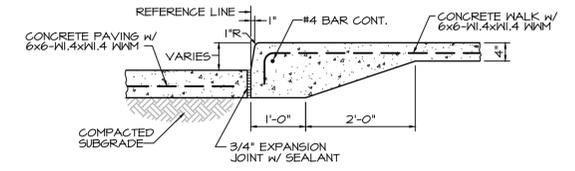


NOTE: ADA CURB CUT @ SIDEWALK PERPENDICULAR TO RAMP.

CURB RAMP
NO SCALE



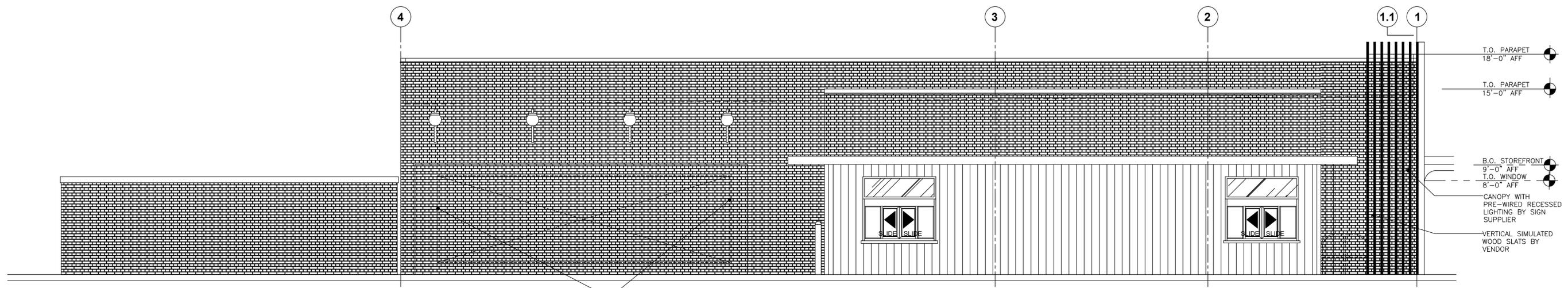
CONCRETE CURB DETAIL
NO SCALE



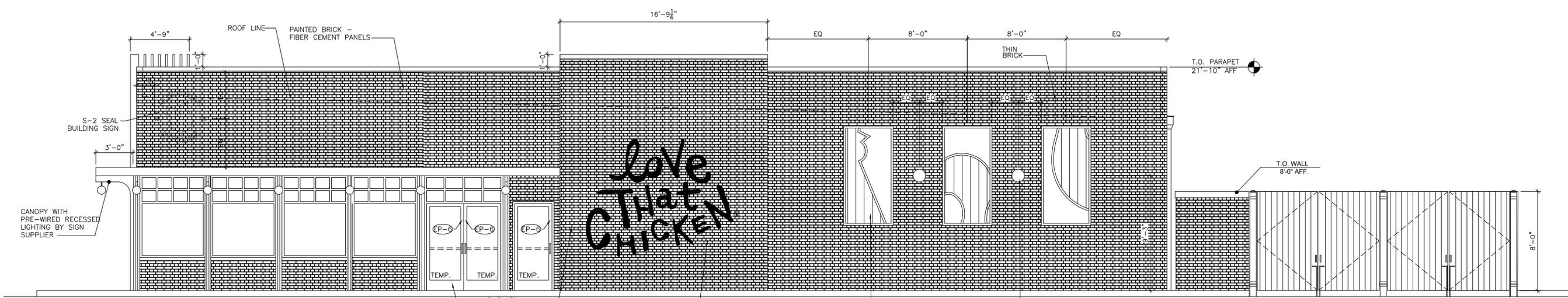
INTERGRAL CURB AND SIDEWALK
NO SCALE

SCALE: 1"=40' (11'x17")
SCALE: 1"=20' (22'x34")





NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

2021 POPEYE'S FINISH SCHEDULE							
EXTERIOR MATERIALS & FINISH SCHEDULE							
3/25/2021	CODE	MATERIAL	LOCATION	SOURCE	PRODUCT	COLOR	ADDITIONAL INFORMATION
	EB-1	FACE BRICK	ACCENT TOWER BRICK	NICHHA FIBER CEMENT	VINTAGE BRICK	ALEXANDRIA BUFF	7 3/8"x2 1/2"x3/4" CONTACT: M. STEPHENSON 770.7898228 popeyes@nichha.com
				ALT. OPTION: CREATIVE MATERIALS CORP.	VINTAGE BRICK	ALEXANDRIA BUFF	7 3/8"x2 1/2"x3/4" CONTACT: M. STEPHENSON 770.7898228 popeyes@nichha.com
	EF-1	EXT. WOOD SIDING	FRONT FACADE EXT. WALL	NICHHA FIBER CEMENT	VINTAGE WOOD AWP 3030	CEDAR	17 7/8" x 119 5/16" L CONTACT: M. STEPHENSON 770.7898228 popeyes@nichha.com
	EP-1	EXTERIOR PAINT	MAIN WALL SURFACE ABOVE WANSNOT ACCENT TRIM	BENJAMIN MOORE	ULTRA SPECEXT LOW LUSTER (N455)	WHITE OC-125 MOONLIGHT WHITE	CONTACT: RODGER LIPPMAN rodger.lippman@benjaminmoore.com
				SHERWIN WILLIAMS	A-100 EXTERIOR LATEX SATIN	SW 7551 GREEK VILLA	CONTACT: GLENN REMLER 954.547.1217 glen.j.remler@sherwin.com
	EP-2	EXTERIOR PAINT	BRICK TOWER MTL COPING	BENJAMIN MOORE	ULTRA SPECEXT LOW LUSTER (N455)	ROOT BEER CANDY 2105-20	CONTACT: RODGER LIPPMAN rodger.lippman@benjaminmoore.com
				SHERWIN WILLIAMS	A-100 EXTERIOR LATEX SATIN	SW 6062 RUGGED BROWN	CONTACT: GLENN REMLER 954.547.1217 glen.j.remler@sherwin.com
	EP-3	EXTERIOR PAINT	EXTERIOR WANSNOT, SLL PAINT & DUMPSTER WALLS	BENJAMIN MOORE	ULTRA SPECEXT LOW LUSTER (N455)	"GRAY" HC-170 STONINGTON GREY	CONTACT: RODGER LIPPMAN rodger.lippman@benjaminmoore.com
				SHERWIN WILLIAMS	A-100 EXTERIOR LATEX SATIN	SW 7657 TINSMITH	CONTACT: GLENN REMLER 954.547.1217 glen.j.remler@sherwin.com
	EP-4	EXTERIOR PAINT	BOLLARDS & DIRECTIONAL SIGN POLES	BENJAMIN MOORE	COROTECH HIGH SOLIDS RAPID DRY ENAMEL	SAFETY YELLOW	CONTACT: RODGER LIPPMAN rodger.lippman@benjaminmoore.com
				SHERWIN WILLIAMS	INDUSTRIAL ENAMEL HS	SAFETY YELLOW	CONTACT: GLENN REMLER 954.547.1217 glen.j.remler@sherwin.com
	EP-5	METAL PAINT	DRIVE THRU WINDOW CANOPY	BY MANUFACTURE	BY MANUFACTURE	ORANGE PANTONE #3564 BY MFR.	PROVIDED BY MANUFACTURE
	EP-6	METAL PAINT	BUILDING CANOPIES	BY MANUFACTURE	BY MANUFACTURE	TEAL PANTONE #326 C BY MFR.	PROVIDED BY MANUFACTURE
	EP-7	EXTERIOR PAINT	DUMPSTER GATES AND PYLON POLE	BENJAMIN MOORE	COROTECH HIGH SOLIDS RAPID DRY ENAMEL	FACTORY FINISH BLACK	CONTACT: RODGER LIPPMAN rodger.lippman@benjaminmoore.com
				SHERWIN WILLIAMS	INDUSTRIAL ENAMEL HS	SW 6991 BLACK MAGIC	CONTACT: GLENN REMLER 954.547.1217 glen.j.remler@sherwin.com
	EP-8	EXTERIOR PAINT	ALL EXTERIOR WALLS	BENJAMIN MOORE	ALIPHATIC ACRYLIC URETHANE-GLOSS	ANTI-GRAFFITI COAT-V500-00 CLEAR	CONTACT: RODGER LIPPMAN rodger.lippman@benjaminmoore.com
				SHERWIN WILLIAMS	2K WATERBASEURETHANE-GLOSS	ANTI-GRAFFITI COAT-865-190/865V190	CONTACT: GLENN REMLER 954.547.1217 glen.j.remler@sherwin.com
	DP-1	DOOR	EXTERIOR DOORS MAIN ENTR. AND SIDE ENTRANCE	BY MANUFACTURE	BY MANUFACTURE	ORANGE PANTONE #3564 BY MFR.	PROVIDED BY MANUFACTURE
	ES-1	SHUTTERS	EXTERIOR WALLS	BY MANUFACTURE	BY MANUFACTURE	TEAL PANTONE #326 C BY MFR.	PROVIDED BY MANUFACTURE

SPECIFICATIONS

SECTION 8A: ALUMINUM ENTRANCE, STOREFRONT

GENERAL PROVISIONS

SCOPE: FURNISH AND INSTALL THE ALUMINUM ENTRANCE AND STOREFRONT SYSTEMS PER NATIONAL ACCOUNTS AND APPLICABLE DRAWINGS AND SPECIFICATIONS.

MATERIALS

- ALUMINUM STOREFRONT AND ENTRANCE FRAMES: REFER TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
- ALUMINUM ENTRANCE DOORS: REFER TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
- PANIC HARDWARE: WHEN PANIC HARDWARE IS REQUIRED ON EXTERIOR DOORS. THE PANIC DEVICE IS ON EXTERIOR ENTRY DOORS WHEN SPECIFIED IN HARDWARE SCHEDULE.
- DRIVE-THRU SERVICE WINDOW: THE DRIVE-THRU SERVICE WINDOW WILL BE SUPPLIED & INSTALLED BY G.C. VERIFY EXACT TYPE OF WINDOW WITH PLANS. DARK BRONZE FINISH.

WINDOW TO BE:

A. BASE BID - "QUICK SERV" M.C.E. WINDOW FLUSH MOUNT.

5. MISCELLANEOUS FLASHING/TRIM: ALUMINUM HEAD, SILL, COLUMN AND WALL TRIM. SEE EXTERIOR ELEVATIONS FOR FINISH.

PERFORMANCE

- INSTALLATION: INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION. PLACE IN CORRECT LOCATION AS SHOWN IN THE DETAILS. LEVEL, SQUARE, AND PLUMB AT PROPER ELEVATIONS AND IN ALIGNMENT WITH OTHER WORK. MAINTAIN SPACE IN HEAD POCKET FOR 1/4" HEAD DEFLECTION. INSURE FRAMING PROFILES MEET INSTALLATION REQUIREMENTS OF GLAZING UNITS TO MAINTAIN WARRANTY. SEE SECTION 8-D: GLAZING.

SECTION 8D: GLAZING

GENERAL PROVISIONS

- SCOPE: FURNISH AND INSTALL GLASS IN STOREFRONT AND DRIVE-THRU SERVICE WINDOW.

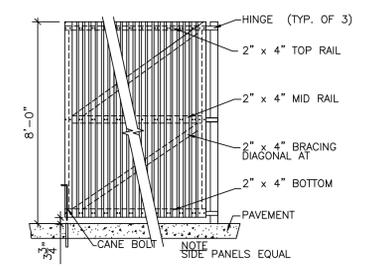
MATERIALS

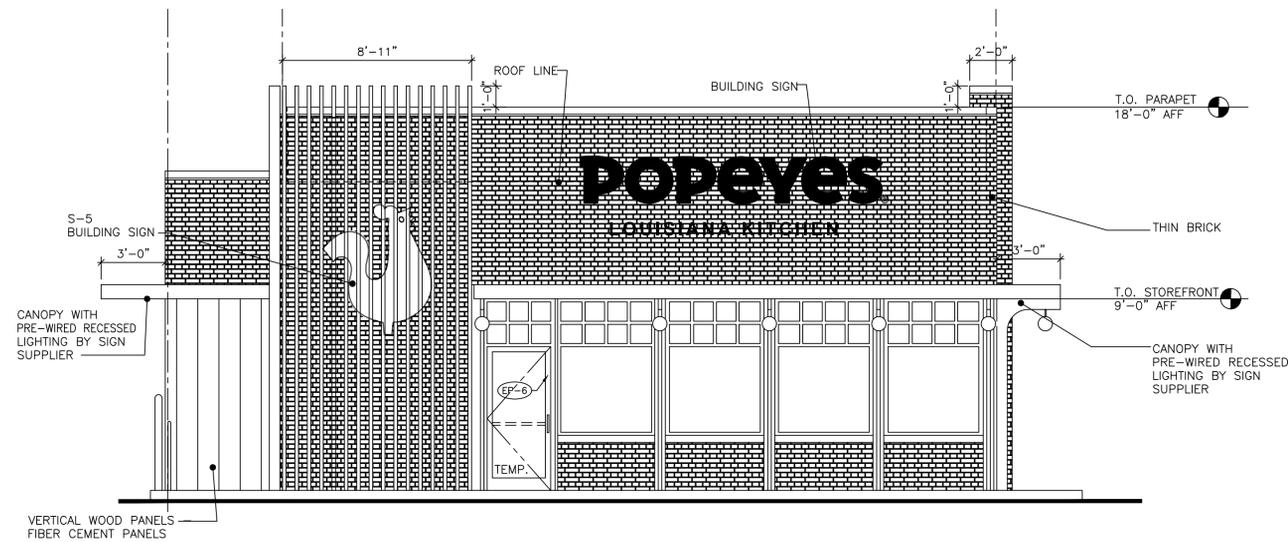
- STOREFRONT GLAZING - REFER TO CONSTRUCTION DRAWINGS AND NOTES.

PERFORMANCE

- ALLOW FOR 1/4" MINIMUM HEAD DEFLECTION DUE TO LIVE LOAD. GUARANTEES AND WARRANTIES: AT THE COMPLETION OF THE GLAZING, PROVE THE INSTALLATION WATERTIGHT BY SPRAYING ALL JOINTS WITH A GARDEN HOSE WITH NOZZLE SET FOR MAXIMUM PRESSURE. PROVIDE ADDITIONAL CAULKING OR SEALANT, OR RESET GLASS AS NECESSARY TO EFFECT A WATERTIGHT JOB.

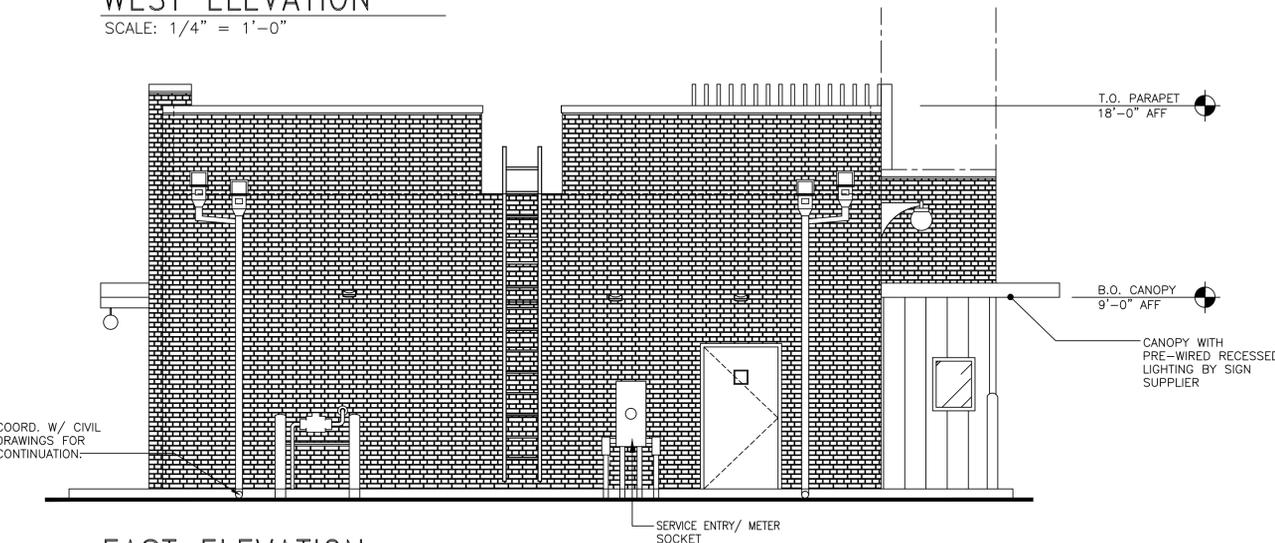
NOTE: GENERAL CONTRACTOR TO REVIEW FINAL APPROVED SIGN DRAWINGS PRIOR TO ELECTRICAL ROUGH-IN.





WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: TRASH ENCLOSURE OMITTED FOR CLARITY.

2021 POPEYE'S FINISH SCHEDULE

EXTERIOR MATERIALS & FINISH SCHEDULE								
3/25/2021	CODE	MATERIAL	LOCATION	SOURCE	PRODUCT	COLOR	DIMENSION	ADDITIONAL INFORMATION
	EB-1	FACE BRICK	ACCENT TOWER BRICK	NICHIHA FIBER CEMENT	VINTAGE BRICK	ALEXANDRIA BUFF	7 3/8"x2 1/2"x3/4"	CONTACT: M. STEPHENSON 770.7898228 popeyes@nichiha.com
				ALT. OPTION: CREATIVE MATERIALS CORP.	VINTAGE BRICK	ALEXANDRIA BUFF	7 3/8"x2 1/2"x3/4"	CONTACT: M. STEPHENSON 770.7898228 popeyes@nichiha.com
	EF-1	EXT. WOOD SIDING	FRONT FACADE EXT. WALL	NICHIHA FIBER CEMENT	VINTAGE WOOD ANP 3030	CEDAR	17 7/8"x119 5/16" L	CONTACT: M. STEPHENSON 770.7898228 popeyes@nichiha.com
	EP-1	EXTERIOR PAINT	MAIN WALL SURFACE ABOVE WAINSCOT ACCENT TRIM	BENJAMIN MOORE	ULTRA SPECEXT LOW LUSTER (N455)	WHITE OC-125 MOONLIGH WHITE		CONTACT: RODGER LIPPMAN rodger.lippman@benjaminmoore.com
				SHERWIN WILLIAMS	A-100 EXTERIOR LATEX SATIN	SW 7551 GREEK VILLA		CONTACT: GLENN REMLER 954.547.1217 glen.j.remler@sherwin.com
	EP-2	EXTERIOR PAINT	BRICK TOWER MTL COPING	BENJAMIN MOORE	ULTRA SPECEXT LOW LUSTER (N455)	ROOT BEER CANDY 2105-20		CONTACT: RODGER LIPPMAN rodger.lippman@benjaminmoore.com
				SHERWIN WILLIAMS	A-100 EXTERIOR LATEX SATIN	SW 6062 RUGGED BROWN		CONTACT: GLENN REMLER 954.547.1217 glen.j.remler@sherwin.com
	EP-3	EXTERIOR PAINT	EXTERIOR WAINSCOT, SILL PAINT & DUMPSTER WALLS	BENJAMIN MOORE	ULTRA SPECEXT LOW LUSTER (N455)	"GRAY" HC-170 STONINGTON GREY		CONTACT: RODGER LIPPMAN rodger.lippman@benjaminmoore.com
				SHERWIN WILLIAMS	A-100 EXTERIOR LATEX SATIN	SW 7657 TINSMITH		CONTACT: GLENN REMLER 954.547.1217 glen.j.remler@sherwin.com
	EP-4	EXTERIOR PAINT	BOLLARDS & DIRECTIONAL SIGN POLES	BENJAMIN MOORE	COROTECH HIGH SOLIDS RAPID DRY ENAMEL	SAFETY YELLOW		CONTACT: RODGER LIPPMAN rodger.lippman@benjaminmoore.com
				SHERWIN WILLIAMS	INDUSTRIAL ENAMEL HS	SAFETY YELLOW		CONTACT: GLENN REMLER 954.547.1217 glen.j.remler@sherwin.com
	EP-5	METAL PAINT	DRIVE THRU WINDOW CANOPY	BY MANUFACTURE	BY MANUFACTURE	ORANGE PANTONE #3564 BY MFR.		PROVIDED BY MANUFACTURE
	EP-6	METAL PAINT	BUILDING CANOPIES	BY MANUFACTURE	BY MANUFACTURE	TEAL PANTONE #326 C BY MFR.		PROVIDED BY MANUFACTURE
	EP-7	EXTERIOR PAINT	DUMPSTER GATES AND PYLON POLE	BENJAMIN MOORE	COROTECH HIGH SOLIDS RAPID DRY ENAMEL	FACTORY FINISH BLACK		CONTACT: RODGER LIPPMAN rodger.lippman@benjaminmoore.com
				SHERWIN WILLIAMS	INDUSTRIAL ENAMEL HS	SW 6991 BLACK MAGIC		CONTACT: GLENN REMLER 954.547.1217 glen.j.remler@sherwin.com
	EP-8	EXTERIOR PAINT	ALL EXTERIOR WALLS	BENJAMIN MOORE	ALIPHATIC ACRYLIC URETHANE-GLOSS	ANTI-GRAFFITI COAT-V500-00 CLEAR		CONTACT: RODGER LIPPMAN rodger.lippman@benjaminmoore.com
				SHERWIN WILLIAMS	2K WATERBASEURETHANE-GLOSS	ANTI-GRAFFITI COAT-B65-190/865V190		CONTACT: GLENN REMLER 954.547.1217 glen.j.remler@sherwin.com
	DP-1	DOOR	EXTERIOR DOORS MAIN ENTR. AND SIDE ENTRANCE	BY MANUFACTURE	BY MANUFACTURE	ORANGE PANTONE #3564 BY MFR.		PROVIDED BY MANUFACTURE
	ES-1	SHUTTERS	EXTERIOR WALLS	BY MANUFACTURE	BY MANUFACTURE	TEAL PANTONE #326 C BY MFR.		PROVIDED BY MANUFACTURE

SPECIFICATIONS:
DIVISION 7: THERMAL AND MOISTURE PROTECTION

SECTION 7C: SHEET METAL WORK

GENERAL PROVISIONS
1. SCOPE: FURNISH AND INSTALL GRAVEL STOPS, FLASHING, PARAPET CAP, DOWNSPOUTS, AND GUTTERS.
A. ROOFING MEMBRANE FLASHING IS INCLUDED IN SECTION 7B: MEMBRANE ROOFING.

MATERIALS
1. MATERIALS SHEET METAL: .032 ALUMINUM.
2. NAIL FASTENERS: 1 3/4" X 11 GAUGE GALVANIZED, STAINLESS STEEL, OR ALUMINUM ROOFING NAILS MAY BE USED FOR FASTENERS INTO WOOD WHEN CONCEALED ONLY.
3. WASHERS: NEOPRENE
4. SCREW FASTENERS: CORROSION-RESISTANT, SELF-TAPPING, HEX HEAD SCREW, 1/4" MINIMUM DIAMETER WITH SUFFICIENT LENGTH TO PENETRATE 1" MINIMUM INTO WOOD OR 1/2" MINIMUM INTO STEEL. PROVIDE NEOPRENE SEALING WASHER FOR EXPOSED FASTENERS.

PERFORMANCE
1. INSTALLATION: EXPOSED FLASHINGS SHALL BE PAINTED TO MATCH ADJACENT MATERIALS. VERIFY WITH POPEYE'S CONSTRUCTION MANAGER.
SECTION 7D: STANDING SEAM CANOPY

PART 1 - GENERAL
1.0 SUBMITTALS
A. SUBMIT FOR APPROVAL SAMPLES, SHOP DRAWINGS, PRODUCT DATA.

QUALITY ASSURANCE
A. COMPLY WITH GOVERNING CODES AND REGULATIONS. PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS. USE EXPERIENCED INSTALLERS. DELIVER, HANDLE, STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

WARRANTY
METAL ROOF SYSTEM MANUFACTURER, UPON FINAL ACCEPTANCE FOR PROJECT, FURNISH A WARRANTY COVERING BARE METAL AGAINST RUPTURE, STRUCTURAL FAILURE AND PERFORATION DUE TO NORMAL ATMOSPHERIC CORROSION EXPOSURE FOR A PERIOD OF 20 YEARS.

PART 2 - PRODUCTS (UC-4 SERIES, AS MANUFACTURED AND SPECIFIED BY UNA-CLAD., METAL ROOF SYSTEMS.)
2.0 MATERIALS

A. METAL ROOF SYSTEM PROFILE:
1. UC-4 "NO CLIP", 1 1/2" HIGH BATTENS X 12" RIB TO RIB. (SMALL BATTEN-SB)
2. CONCEALED FASTENER
B. GAUGE:
1. .026 GAUGE - STEEL
C. TEXTURE:
1. SMOOTH.
D. FINISH:
1. PREMIUM FLUOROCARBON COATING PRODUCED WITH KYNAR 500 OR HYLAR 5000 RESIN (20 YEAR WARRANTY.)
E. MANUFACTURER:
1. UNA-CLAD OR EQUAL.

PART 3 - EXECUTION
3.0 INSTALLATION
A. COMPLY WITH SMACNA SHEET METAL MANUAL RECOMMENDATIONS. COMPLY WITH ACCESSORY MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS. COORDINATE INSTALLATION WITH ROOFING SYSTEM TO ENSURE WEATHERTIGHT PERFORMANCE.
B. ANCHOR SECURELY TO STRUCTURE TO WITHSTAND INWARD AND OUTWARD LOADS.
C. ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.

DIVISION 9: FINISHES
SECTION 9C: EIFS

PART 1 GENERAL
1.01 DESCRIPTION
A. DESIGN REQUIREMENTS: THE STRUCTURAL WALL SYSTEM TO WHICH THE EIFS IS ATTACHED SHALL MEET L/240 MAXIMUM ALLOWABLE DEFLECTION CRITERIA AND APPLICABLE BUILDING CODE REQUIREMENTS.

1.02 SUBMITTALS
A. SUBMIT SAMPLES FOR APPROVAL AS DIRECTED BY OWNER.

1.03 DELIVERY, STORAGE AND HANDLING
A. ALL EIFS MATERIALS SHALL BE DELIVERED IN THEIR ORIGINAL SEALED CONTAINERS BEARING MANUFACTURER'S NAME AND IDENTIFICATION OF PRODUCT WITH WRITTEN APPLICATION INSTRUCTIONS AND APPROPRIATE HEALTH, HAZARD, AND SAFETY DATA.
B. ALL EIFS READY-MIXED MATERIALS SHALL BE PROTECTED FROM EXTREME HEAT, SUN AND FROST. FACTORY PROPORTIONED BAGGED MATERIALS SHALL BE STORED OFF THE GROUND AND PROTECTED FROM MOISTURE.

1.04 JOB CONDITIONS
A. ALL EIFS MATERIALS SHALL NEVER BE APPLIED IF AMBIENT AND SURFACE TEMPERATURES CANNOT BE KEPT ABOVE 40° F DURING APPLICATION AND DRYING PERIOD. FOR INSTALLATION IN TEMPERATURES LESS THAN 40° F SUPPLEMENTARY HEAT SHALL BE PROVIDED. THE INSTALLED EIFS MATERIALS SHALL BE PROTECTED FROM EXPOSURE TO RAIN AND FREEZING UNTIL DRY.

1.11 WARRANTY
A. PROVIDE MANUFACTURER'S STANDARD LABOR AND MATERIAL WARRANTY.

PART 2 PRODUCTS
2.01 MANUFACTURERS

A. DRYVIT SYSTEMS, INC.
2.02 ADHESIVES
A. DISPERSION ADHESIVE - NONCEMENTITIOUS, ACRYLIC BASED ADHESIVE.
2.03 INSULATION BOARD
A. NOMINAL 1.0 lb/cubic feet (16 kg/cubic meter) EXPANDED POLYSTYRENE (EPS) INSULATION BOARD IN COMPLIANCE WITH ASTM C 578 TYPE I REQUIREMENTS, AND ENR GUIDE SPECIFICATION FOR EXPANDED POLYSTYRENE (EPS) INSULATION BOARD.

2.04 BASECOAT
A. ONE-COMPONENT POLYMER MODIFIED CEMENTITIOUS BASE COAT WITH FIBER REINFORCEMENT AND LESS THAN 33% PORTLAND CEMENT CONTENT BY WEIGHT.

2.05 REINFORCING MESHES
A. STANDARD MESH
1. MESH NOMINAL 4.5 oz/sq.yd. (163 g/sq.meter), SYMMETRICAL, INTERLACED OPEN-WEAVE GLASS FIBER FABRIC MADE WITH MINIMUM 25 PERCENT BY WEIGHT ALKALINE RESISTANT COATING FOR COMPATIBILITY WITH DRYVIT MATERIALS.

B. HIGH IMPACT MESH
1. INTERMEDIATE MESH (MESH C) - NOMINAL 11.0 oz/sq.yd. HIGH IMPACT, INTERWOVEN, OPEN WEAVE GLASS FIBER FABRIC WITH ALKALINE RESISTANT COATING FOR COMPATIBILITY WITH DRYVIT MATERIALS.

2.06 PRIMER
A. PRIMER
ACRYLIC BASED PRIMER (FOR ACRYLIC BASED FINISHES)

2.07 FINISH COAT
A. ACRYLIC BASED TEXTURED WALL COATING. SEE E.I.F.S. FORMULAS FOR FINISH COLOR.
2.08 JOB MIXED INGREDIENTS
A. PORTLAND CEMENT: ASTM C 150, TYPE I.
B. WATER: CLEAN AND POTABLE.

PART 3 EXECUTION

A. UNDER NO CIRCUMSTANCES SHALL ANY OF THE PRODUCTS BE ALTERED BY ADDING ANY ADDITIVES, EXCEPT FOR SMALL AMOUNTS OF CLEAN WATER AS DIRECTED ON LABEL. ANTIFREEZE, ACCELERATORS, RAPID BINDERS, ETC., ARE FORBIDDEN.
B. THE SURFACE TO RECEIVE THE EIFS SHALL BE STRUCTURALLY SOUND, CLEAN, DRY AND FREE OF WARPAGE, RESIDUAL MOISTURE OR DAMAGE FROM MOISTURE. SURFACES SHALL BE UNIFORM, WITH NO IRREGULARITIES GREATER THAN 1/8" IN 4'-0". SURFACES SHALL BE INSPECTED FOR COMPLIANCE WITH THE FOLLOWING REQUIREMENTS PRIOR TO INSTALLATION OF THE EIFS:

1. PLYWOOD SHEATHING SHALL MEET A.P.A. (AMERICAN PLYWOOD ASSOCIATION) REQUIREMENTS FOR EXTERIOR OR EXPOSURE 1 CLASSIFICATION. APA DESIGN AND CONSTRUCTION GUIDELINES SHALL BE FOLLOWED FOR STORAGE, HANDLING AND INSTALLATION. MANUFACTURER'S PUBLISHED RECOMMENDATIONS SHALL BE FOLLOWED FOR SHALL BE FOLLOWED FOR STORAGE, HANDLING, STORAGE, HANDLING, INSTALLATION AND PROTECTION. ANY SHEATHING NOT IN COMPLIANCE SHALL BE REPLACED TO CONFORM WITH SPECIFICATION REQUIREMENTS PRIOR TO INSTALLATION OF THE EIFS.

2. CONCRETE, MASONRY OR PLASTER SURFACES SHALL BE PROPERLY CURED AND FREE OF DIRT, DUST, OIL, GREASE, MILDEW, FUNGUS, LATENCY, PAINT, EFFLORESCENCE AND ANY OTHER CONTAMINANT. ANY SURFACES NOT IN COMPLIANCE SHALL BE CORRECTED PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION OF THE EIFS.

C. AFTER SATISFACTORY INSPECTION OF SURFACES AND CORRECTION OF ANY DEVIATIONS FROM SPECIFICATION REQUIREMENTS, THE EIFS INSTALLATION MAY BEGIN PER MANUFACTURER'S INSTRUCTIONS.

D. THE STARTER STRIP OF MESH SHALL BE WIDE ENOUGH TO ADHERE 4" OF MESH ONTO THE WALL, BE ABLE TO WRAP AROUND THE BOARD EDGE AND COVER APPROXIMATELY 4" ON THE OUTSIDE SURFACE OF THE BOARD. THIS "BACKWRAP" PROCEDURE SHALL BE FOLLOWED AT ALL EXPOSED BOARD EDGES IN ACCORDANCE WITH DETAILS (EXAMPLE-WINDOW AND DOOR HEADS AND JAMBS).

ALL AREAS WHERE THE EIFS MEETS DISSIMILAR MATERIAL OR TERMINATES (FOR EXAMPLE, WINDOW AND DOOR FRAMES) SHALL HAVE THE INSULATION BOARD CUT BACK FROM THE ADJOINING MATERIAL A MINIMUM OF 1/4" TO FORM AN ISOLATION JOINT. THE ADJOINING INSULATION BOARD, STAGGER VERTICAL JOINTS AND INTERLOCK BOARDS AT ALL INSIDE AND OUTSIDE CORNERS. APPLY FIRM PRESSURE OVER ENTIRE SURFACE OF THE BOARDS TO INSURE UNIFORM CONTACT. BOARDS SHALL BRIDGE SHEATHING JOINTS BY A MINIMUM OF 8". ALL BOARD JOINTS SHALL BE BUTTED TIGHTLY TOGETHER TO ELIMINATE ANY THERMAL BREAKS IN THE EIFS. CARE MUST BE TAKEN TO PREVENT ANY ADHESIVE FROM GETTING BETWEEN THE JOINTS OF THE BOARDS. ALL OPEN JOINTS IN THE INSULATION BOARD LAYER SHALL BE FILLED WITH SLIVERS OF INSULATION OR AN APPROVED SPRAY FOAM.

F. NAILS, SCREWS, OR ANY OTHER TYPE OF NONTHERMAL MECHANICAL FASTENER SHALL NOT BE USED.

G. EXPANSION JOINTS ARE REQUIRED IN THE EIFS WHERE THEY EXIST IN THE SUBSTRATE, WHERE THE EIFS ADJOINS DISSIMILAR CONSTRUCTION, AND AT FLOOR LINES IN MULTILEVEL WOOD FRAME CONSTRUCTION. THE EIFS SHALL TERMINATE AT THE EXPANSION JOINT TO PROVIDE APPROPRIATE JOINT SIZE (SEE DETAILS) AND ALL BOARD EDGES SHALL BE COATED WITH APPROPRIATE GROUND COAT AND MESH IN ACCORDANCE WITH STANDARD "BACKWRAPPING" PROCEDURE. APPROPRIATE SEALANT/PRIMER AND BACKER SHALL BE INSTALLED AFTER GROUND COAT IS FULLY DRY TO PREVENT ANY WATER FORM GETTING INTO OR BEHIND THE SYSTEM.
H. USE OF PLASTIC OR METAL CORNER BEADS, STOPBEADS, ETC., IS FORBIDDEN.

I. APPLY APPROPRIATE GROUND COAT OVER THE INSULATION BOARD WITH PROPER SPRAY EQUIPMENT OR A STAINLESS STEEL TROWEL TO A UNIFORM THICKNESS OF APPROXIMATELY 1/16". WORK HORIZONTALLY OR VERTICALLY IN STRIPS OF 40", AND IMMEDIATELY EMBED STANDARD REINFORCING MESH INTO THE WET GROUND COAT. THE MESH SHALL BE DOUBLE WRAPPED AT ALL CORNERS AND OVERLAPPED NOT LESS THAN 2-1/2" AT MESH JOINTS. AVOID WRINKLES IN THE MESH. THE FINISH THICKNESS OF THE GROUND COAT SHALL BE SUCH THAT THE MESH IS FULLY EMBEDDED. ALLOW GROUND COAT TO THOROUGHLY DRY BEFORE APPLYING PRIMER OR FINISH.

J. DUPLICATE INSTALLATION PROCESS NOTED IN 3.01 M USING STANDARD MESH CREATING SECOND MESH LAYER AND ADDITIONAL IMPACT RESISTANCE. ALLOW TO DRY BEFORE APPLICATION OF EITHER STO PRIMER (OPTIONAL) OR STO FINISH.

K. IF A PRIMER IS USED, APPLY WITH BRUSH, ROLLER OR PROPER SPRAY EQUIPMENT OVER CLEAN, DRY GROUND COAT AND ALLOW TO DRY THOROUGHLY BEFORE APPLYING FINISH. P. APPLY FINISH DIRECTLY OVER THE GROUND COAT (OR PRIMED GROUND COAT) ONLY AFTER THE GROUND COAT/PRIMER HAS THOROUGHLY DRIED. THE FINISH SHALL BE APPLIED BY SPRAYING, ROLLING OR TROWELING WITH A STAINLESS STEEL TROWEL, DEPENDING ON FINISH SPECIFIED. GENERAL RULES FOR APPLICATION OF FINISHES ARE AS FOLLOWS:

1. USE A CLEAN, RUST-FREE, HIGH-SPEED MIXER TO THOROUGHLY STIR THE FINISH TO A UNIFORM CONSISTENCY (SMALL AMOUNTS OF CLEAN WATER MAY BE ADDED TO AID WORKABILITY).

2. AVOID APPLICATION IN DIRECT SUNLIGHT.

3. APPLY FINISH IN A CONTINUOUS APPLICATION, ALWAYS WORKING TO A WET EDGE.

4. WEATHER CONDITIONS AFFECT APPLICATION AND DRYING TIME. HOT OR DRY CONDITIONS LIMIT WORKING TIME AND ACCELERATE DRYING AND MAY REQUIRE ADJUSTMENTS IN THE SCHEDULING OF WORK TO ACHIEVE DESIRED RESULTS. COOL OR DAMP CONDITIONS EXTEND WORKING TIME AND RETARD DRYING AND MAY REQUIRE ADDED MEASURES OF PROTECTION AGAINST WIND, DUST, DIRT, RAIN AND FREEZING.

5. AESTHETIC "U"-GROOVES MAY BE DESIGNED INTO THE SYSTEM. (A MINIMUM OF 3/4" INSULATION BOARD MUST BE LEFT AFTER GROOVES ARE CUT).

6. "R" (RILLED TEXTURE) FINISHES MUST BE FLOATED WITH A PLASTIC TROWEL TO ACHIEVE THEIR RILLED TEXTURE.

7. AVOID INSTALLING SEPARATE BATCHES OF FINISH SIDE-BY-SIDE.

8. APPLY FINISH COLOR TO EIFS MIX AND APPLY TO WALL. COLOR TO MATCH EXTERIOR FINISH SCHEDULE COLORS.

L. EXTERIOR INSULATION AND FINISH TEXTURE SYSTEM: APPLY HIGH IMPACT SYSTEM ADJACENT TO DOORS FOR ADDITIONAL IMPACT RESISTANCE, USING INTERMEDIATE MESH. USE THE STANDARD SYSTEM SPECIFICATIONS AT ALL OTHER LOCATIONS.

THOMAS V. SCESNAK associates
1754 West Wab Road, Schaumburg, Illinois 60193
ARCHITECTS PLANNERS ENGINEERS
847.352.2112
fscsniak@tvs.com
email: Tscsniak@tvs.com

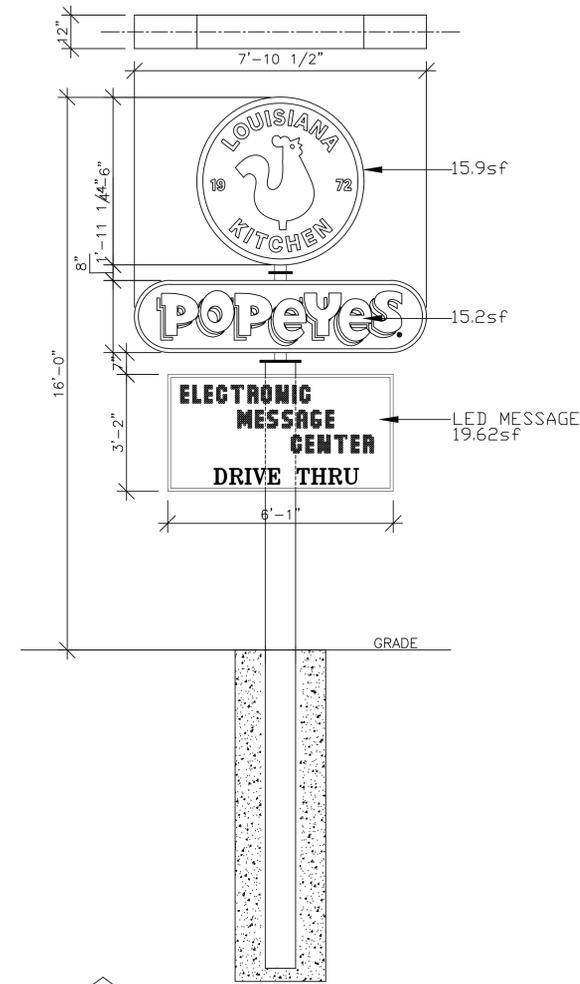
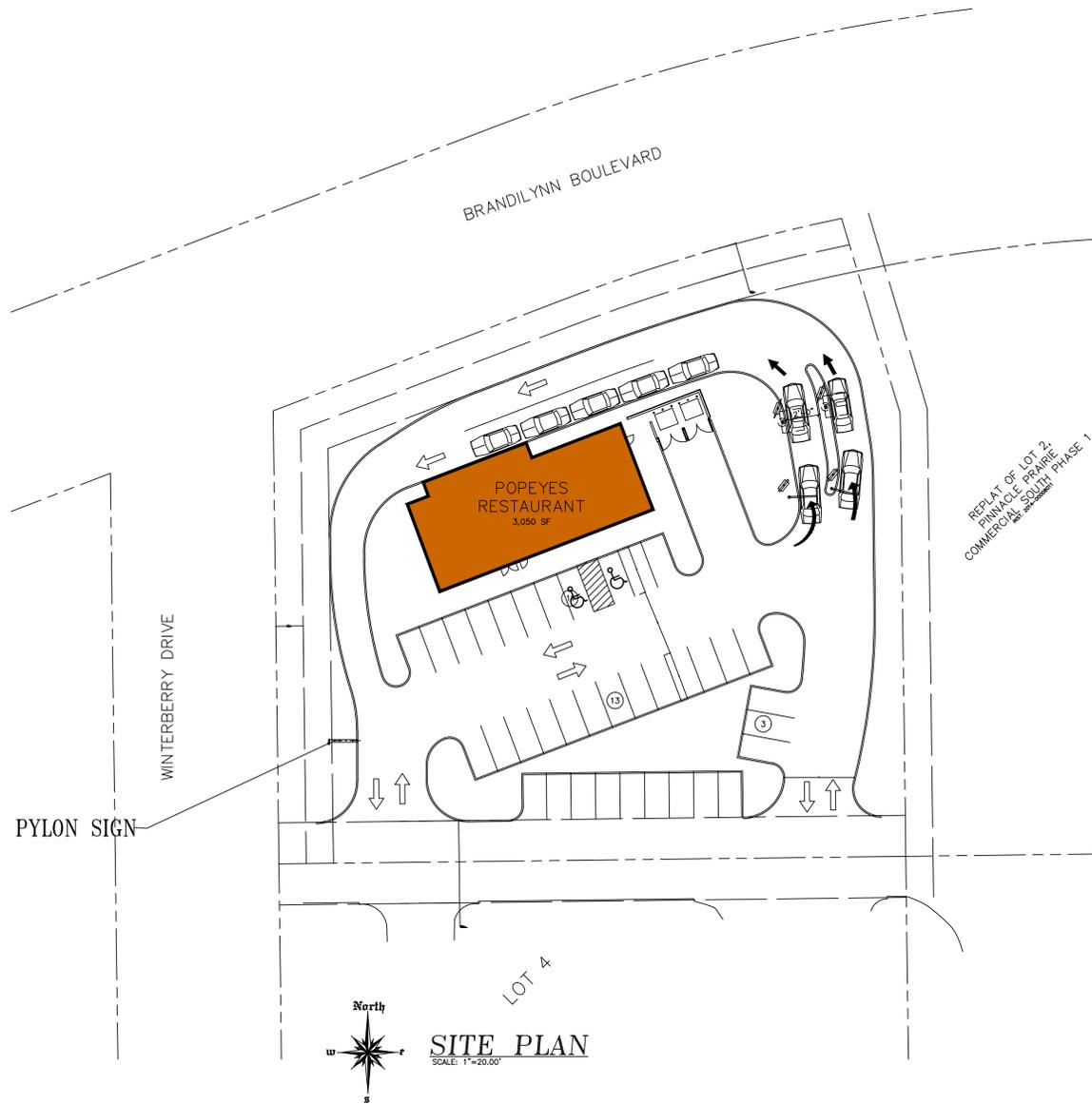
Popeyes
NEW FACILITY
Louisiana
Lot 2a, Pinnacle Prairie Commercial, Cedar Falls, Iowa
for JAM RESTAURANT GROUP

ELEVATIONS, NOTES AND SCHEDULE

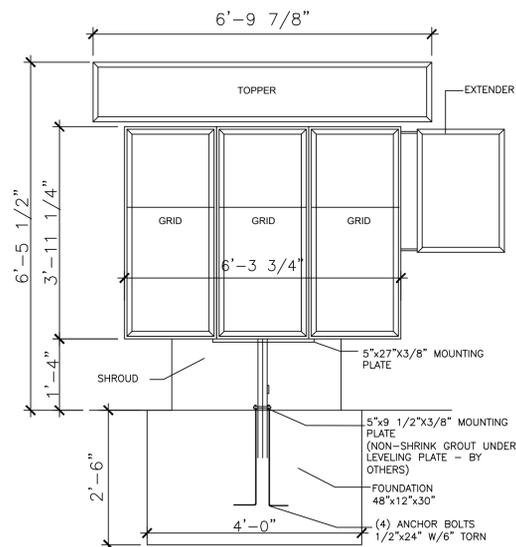
PROJ. NO.: 2141	DATE: 10.10.2021	DRAWN BY: TVS	CHECK BY: TVS	NO. OF REVISIONS	DATE

Sheet No: A-6

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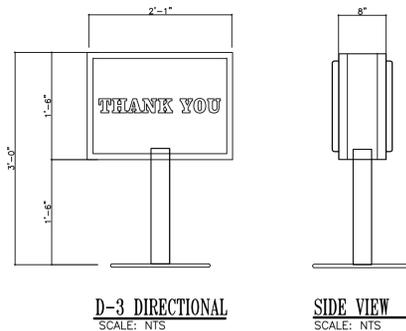


A PYLON SIGN

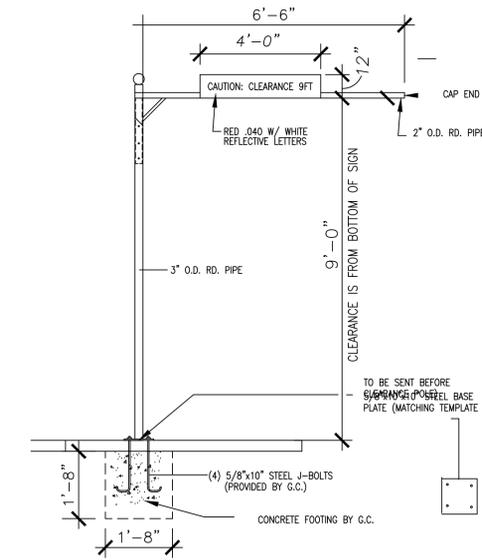
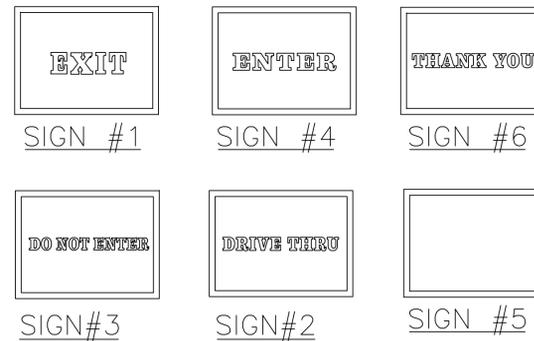


D D.T. MENU BOARD
NTS

ALL REQUIRED STRUCTURAL ENGINEERING OF SIGNAGE TO BE PROVIDED BY SIGN COMPANY.



C GROUND SIGNS



B CLEARANCE SIGN
NOTE: ALL PAINTED POPEYES'S CRANBERRY RED



POPEYES
NEW FACILITY
Lot 2A, Pinnacle Prairie Commercial, Cedar Falls, Iowa
for JAM RESTAURANT GROUP



SITE SIGNAGE

PROJ. NO: 2141	DATE: 10.10.2021	DRAWN BY: tvs	CHECK BY: tvs	DATE: 10/10/21
SCALE: NTS	SCALE: NTS	SCALE: NTS	SCALE: NTS	SCALE: NTS

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DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
 220 Clay Street
 Cedar Falls, Iowa 50613
 Phone: 319-273-8600
 Fax: 319-273-8610
 www.cedarfalls.com

MEMORANDUM Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Jaydevsinh Atodaria (JD), City Planner I
DATE: April 20, 2023
SUBJECT: MU District Site Plan Review – 4520 Rownd Street (SP23-005)

REQUEST: Request to approve a MU District Site Plan updating the landscaping plan and new signage for Valley Lutheran School.

PETITIONER: Eastern Iowa Lutheran High School Association Board

LOCATION: 4520 Rownd Street

PROPOSAL

It is proposed to amend the existing landscaping plan (approved in 2001) and add a new freestanding sign for the Valley Lutheran School campus at 4520 Rownd Street.

BACKGROUND

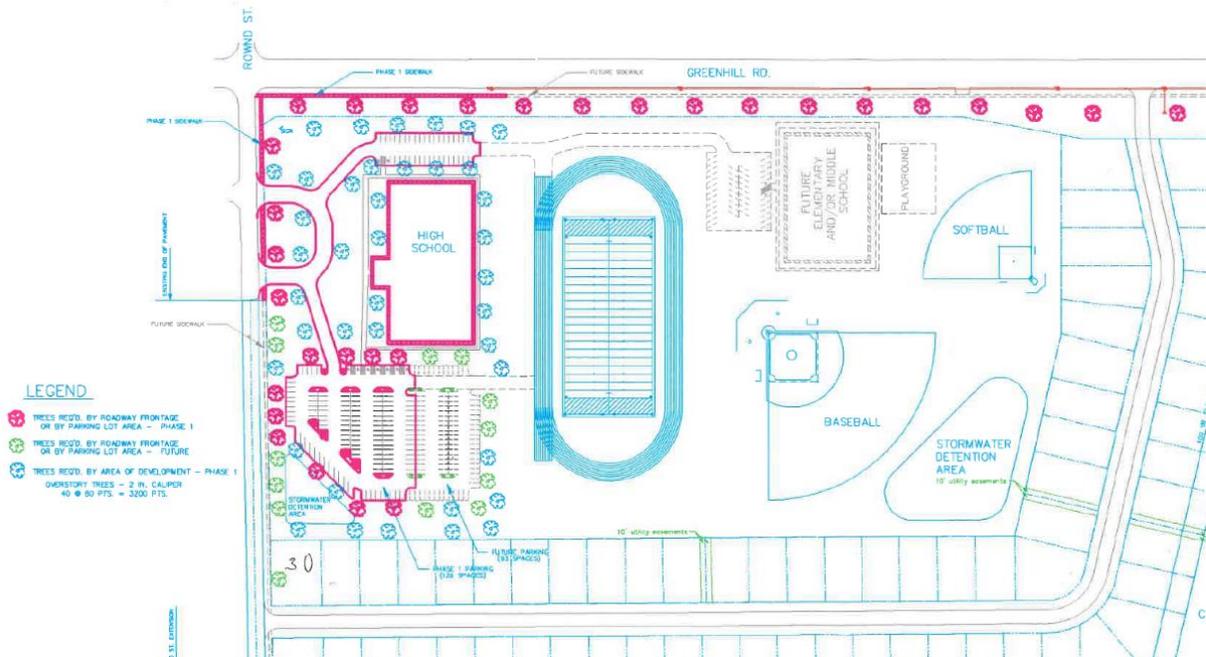
The property was rezoned from A-1 Agricultural District to MU Mixed Use Residential District in April 2001 with a development procedures agreement.

Concurrently, a MU District site plan was also approved, which

included the development of the Valley Lutheran School building along with the provision of a baseball court, softball court, an athletic field, playground, stormwater detention area, parking area and the area reserved for elementary and/or middle school building in future on a 23-acre lot. Both the development of the campus and landscaping was planned in two phases, based on the amount of development that occurred with the



site. See the below image for reference.



The approved MU District site plan in 2001 for the school campus included a monument sign proposed on the SE corner of Greenhill Road and Rownd Street and illustrated the required landscaping for the entire site. However, the applicant did not comply with the approved signage plan or the landscaping plan at the time. Also, several overstory right-of-way trees and overstory trees around the parking area were taken down at some point in time (after being planted with the development of the site), making the site non-compliant with both the approved site plan and City code.

The applicant notes that a large portion of the 23-acre site remains undeveloped. The applicant also mentions that there were several changes made during the execution of the high school building to meet the needs of the school at that time and therefore through a misunderstanding the landscaping plan was not executed as originally agreed. In response to the current site condition, the desire for a new monument sign, and with the intent of bringing the site closer to compliance with city code, the applicant requests approval of a new landscaping plan and monument sign. The proposed plan illustrates existing trees on site, the trees that are being removed to accommodate the new sign, and trees that will be planted in place of ones that have died or been removed or that were never planted in compliance with the originally approved plan. It also shows the proposed location of the new sign along Greenhill Road. As per code, changes to the landscaping and signage plan of an approved MU District Site Plan require review and approval of the Planning and Zoning Commission and City Council.

ANALYSIS

The property is zoned MU, Mixed-Use Residential District, and is also in the HCG Highway Corridor and Greenbelt Overlay District. The Mixed-Use Residential District is

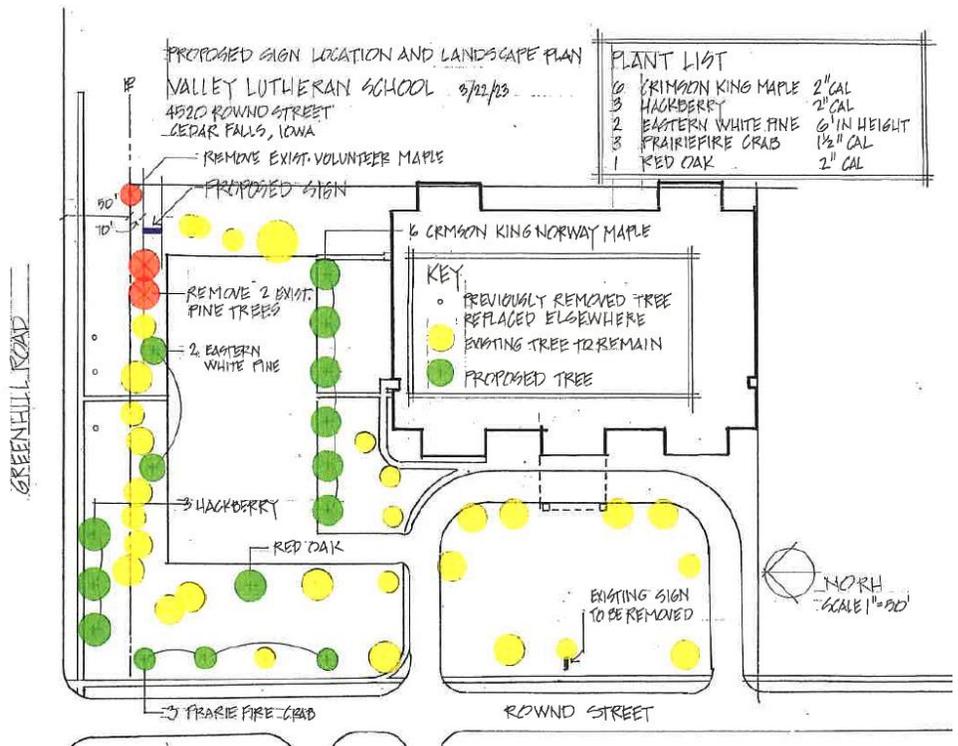
established to accommodate integrated residential, and neighborhood commercial land uses on larger parcels of land to create viable, self-supporting neighborhood districts. This district also strives to encourage innovative development that incorporates high-quality building design, careful site planning, and preservation of unique environmental features with an emphasis on the creation of open spaces and amenities that enhance the quality of life of residents. And the HCG Highway Corridor and Greenbelt Overlay Zoning District's purpose is to establish a greenbelt corridor.

The applicant is proposing to update the location of signage with a new monument sign for the Valley Lutheran School and amend the existing landscaping plan approved in 2001, in acknowledgement that the site is not in compliance with the approved plan and also to request permission to install the landscaping in phases as the site develops over time.

Landscaping:

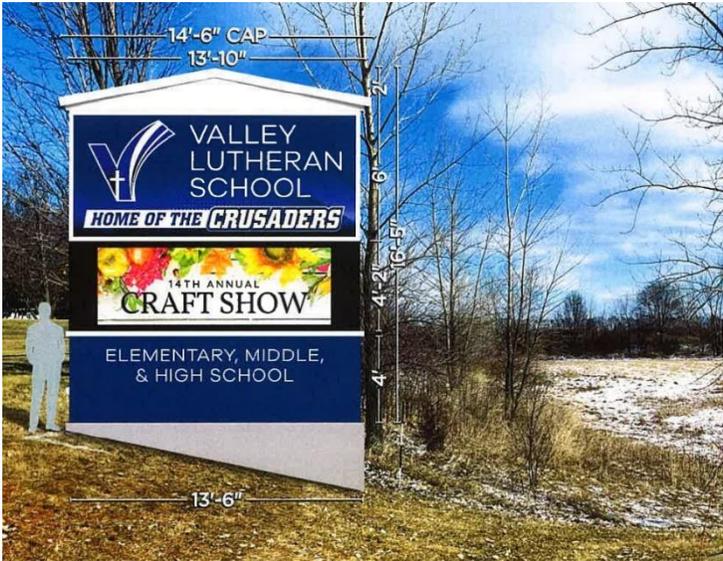
In comparison with the site plan approved in 2001, the amended plan, as proposed focuses on just the developed portion of the site, as shown below. Staff has reviewed the revised plan for the developed portion of the site and finds that if the applicant plants new trees as proposed it will be in substantial conformance with what was approved in 2001, with exception of the location of the sign. The applicant is proposing to change the location of the monument sign from the northwest corner of the site to a more visible location along Greenhill Road further to the east. To maintain visibility of the sign, the applicants propose to remove several trees, but replace them in other locations along the frontage.

The proposed trees will be planted in the 2023 growing season. The applicant agrees that if and when additional areas of the site are developed, a site plan must be submitted for review that meets the requirements of the MU District and HCG Highway Corridor and Greenbelt Overlay District. **Staff finds that the amended site plan is in substantial compliance with the site plan approved in 2001.**



Signage:

As per the code, one main entrance for the MU District is allowed along major thoroughfares. Since this appears to be a standalone MU District as distinct from Pinnacle Prairie to the south, the proposed sign could count as the main entrance sign. No other freestanding signs will be allowed for the school site. The main entrance sign is allowed an overall height of 20 feet and a maximum sign area of 200 square feet. Also, the freestanding sign requires a minimum setback of 10 feet from the front lot line.



In response, the applicant is proposing to remove the existing freestanding sign placed along Rownd Street and proposes a new freestanding sign along Greenhill Road.

The new proposed sign will be placed 10 feet from the north property line along Greenhill Road. The new signage will be 16.5 feet in overall height and 162 square feet of sign area. The freestanding sign will have a concrete base and aluminum siding. The proposed sign has three components, the lower area is non-lighted and will feature a painted purple aluminum shell, the middle area is the digital display (changeable LED sign), and the top area is the translucent backlit cabinet. Staff notes that the digital display lighting should be adjustable so that it is not overly bright as to cause excessive glare that may be a driving hazard for moving traffic along Greenhill Road or disturbing to the residents across the street. Also, the digital display should not blink, flash, or strobe. The City reserves the right to enforce any nuisance caused as noted above. Staff also notes that the existing sign along Rownd Street must be removed before placement of the proposed freestanding sign along Greenhill Road. **The proposed sign meets the code requirements. A separate sign permit is required.**

TECHNICAL COMMENTS

A new site plan and landscaping plan meeting all code requirements will be required whenever the rest of the site is developed as acknowledged in the letter of intent submitted by the applicant. City staff will inspect the site once all the planting and new signage is installed to ensure compliance. All planting is to be completed in 2023.

STAFF RECOMMENDATION

Staff recommends approval of SP23-005, a revised MU district site plan for a portion of the Valley Lutheran School site at the corner of Rownd Street and Greenhill Road, subject to compliance with the conditions noted in the staff report above and any comments or direction specified by the Planning and Zoning Commission.

PLANNING & ZONING COMMISSION

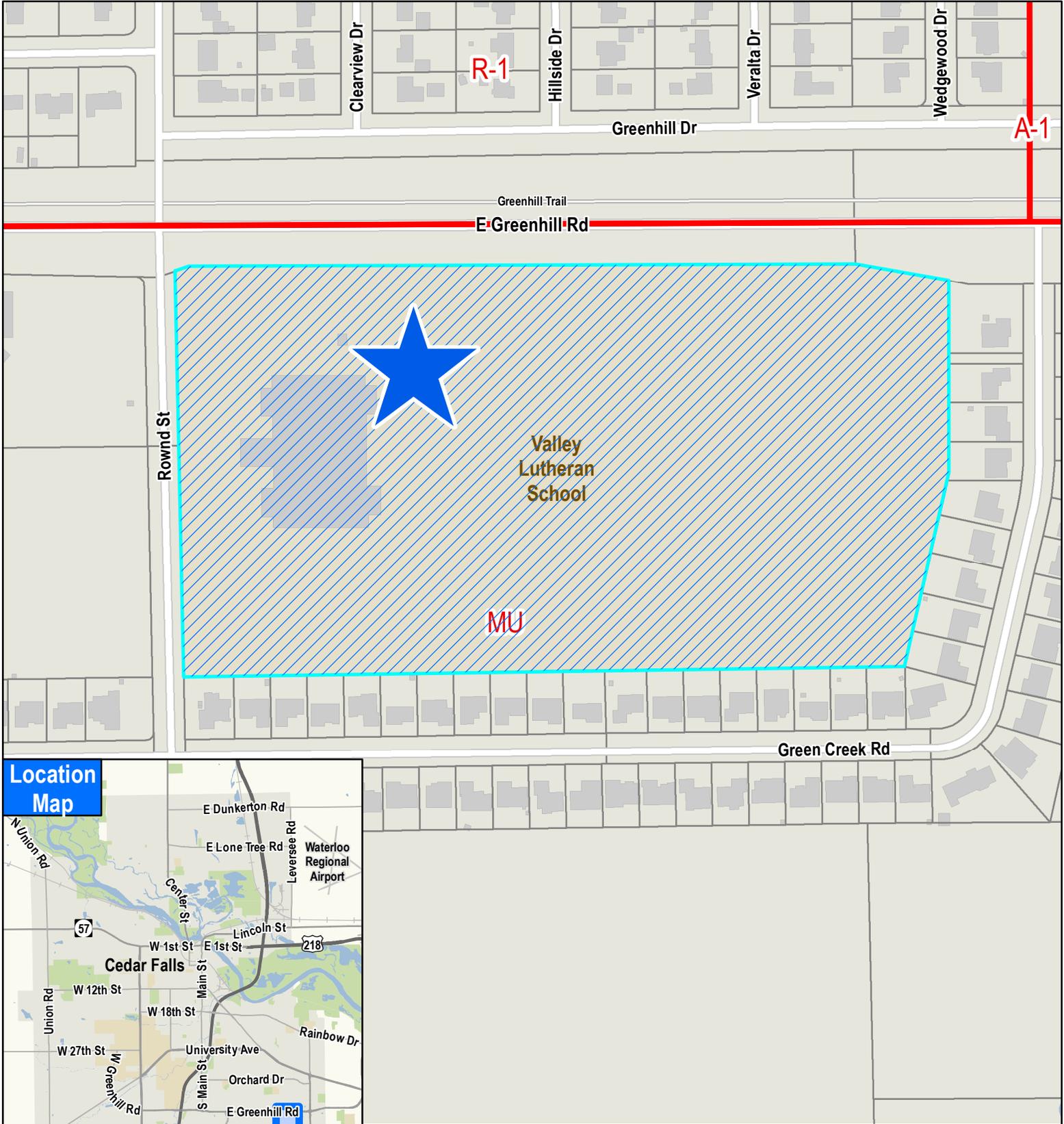
Discussion/Vote

4/26/2023

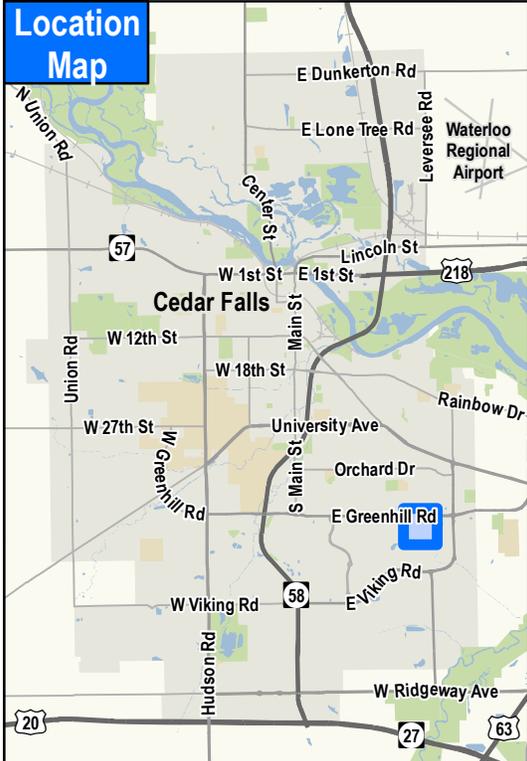
Cedar Falls Planning and Zoning Commission

April 26, 2023

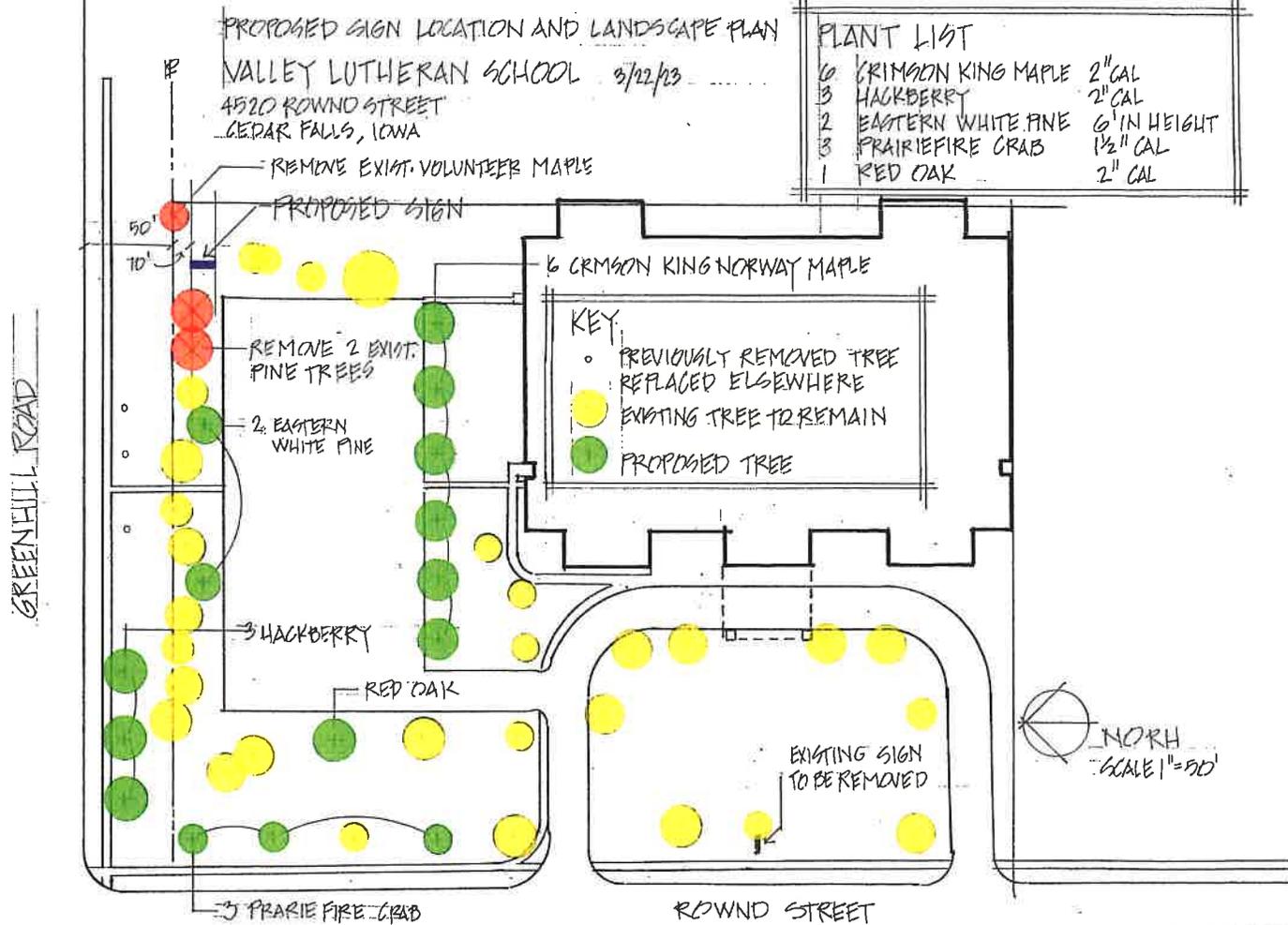
Item 3.



Location Map



**MU District Site Plan update at
4520 Rownd Street
(SP23-005)**



RITLAND KUIPER LANDSCAPE ARCHITECTS, 501 SYCAMORE MEZZ A, WATERLOO, IOWA



1020 Wilbur Ave. PO BOX 2098
 Waterloo, IA 50704
 319-233-4604 · 800-728-4604
 Fax: 319-233-7514

DESIGN. MANUFACTURE. INSTALL. SERVICE Item 3.



TOP CABINET
 Painted white aluminum shell
 Translucent backlit graphics
 6'0" x 13'10" = 83 sq ft

DIGITAL DISPLAY
 Painted black aluminum shell
 4'2" x 11'1"
 Active area RGB LEDs
 3'8" x 10'10" = 40 sq ft

POLE COVER
 Painted purple aluminum shell
 4'0" x 13'10"
 Non-lighted adhesive vinyl lettering
 1'6" x 10'0" = 15 sq ft

CONCRETE BASE
 Formed concrete painted grey
 3'0" x 14'0"

138 sq ft total signage

200 sq ft and 20' overall height allowed per M-U zoning

3-23-23 Proposed sign location - NE corner of parking lot



Eastern Iowa Lutheran High School Association
4520 Rownd St.
Cedar Falls, IA 50613

March 31, 2023

To: Cedar Falls Planning and Zoning Commission

From: Eastern Iowa Lutheran High School Association (Valley Lutheran School) Board

Attention: Karen Howard, Planning and Community Services Manager

Jaydevsinh Atodaria, Department of Community Development, Planner I

Dear Commission members:

We are requesting an amendment to the original comprehensive site plan (approved in 2001) for the Eastern Iowa Lutheran High School Association property at the corner of Greenhill Road and Rownd Street as per the attached sketch (see attachment #1). Also, attached, please find the amended site plan entitled, "Proposed Sign Location and Landscape Plan – 2023" (see attachment # 2).

The salient points of this request are as follows:

1. Installation of a 16'-5" x 13'- 6" digital sign (see attachment #3) along Greenhill Road, at the northeast corner of the School parking lot as indicated on attachment #2.
2. Removal of two pine trees and one volunteer maple tree as indicated on the attached site drawing (see (x) on attachment #2).
3. Planting of 15 new trees (+), located as per attached site drawing (see (+) on attachment #2), during the 2023 growing season.
4. Removal of monument sign on west side of property (see attachment #2).

The Eastern Iowa Lutheran High School Association (Valley Lutheran School) Board acknowledges and agrees that when the remainder of the site is developed (area other than the proposed landscaping plan), the School Board will submit a site plan application to the City for review and all proposals, including landscaping, will have to be provided according to the City ordinance.

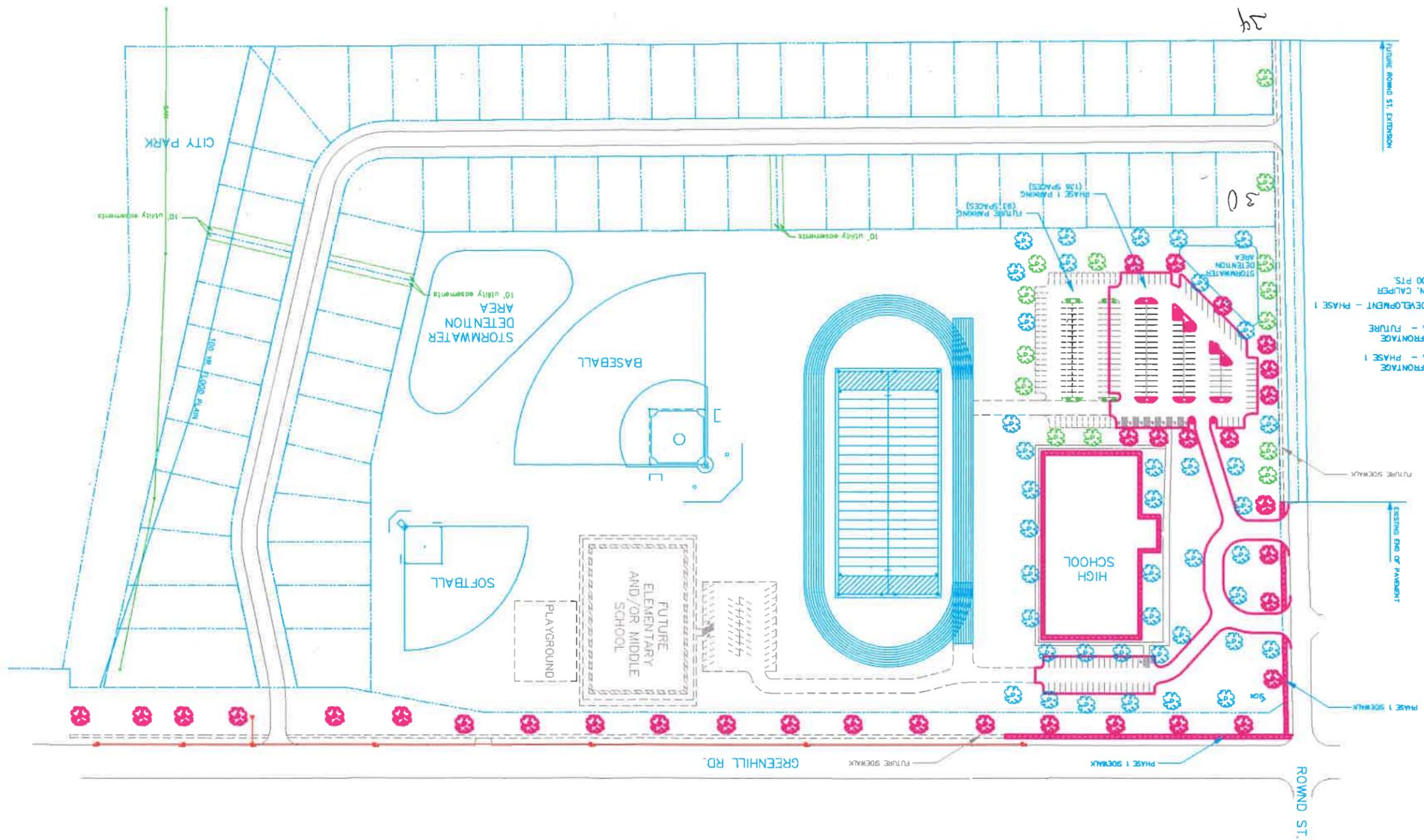
Thank you for considering our request.

Sincerely yours,

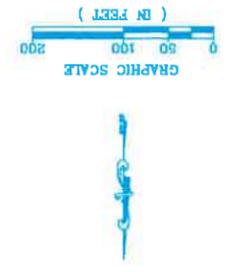
Jeff Dawson, Chairman,

Eastern Iowa Lutheran High School Association (Valley Lutheran School) Board

Encl. three



- LEGEND**
- TREES REQ'D. BY ROADWAY FRONTAGE - PHASE 1
 - TREES REQ'D. BY ROADWAY FRONTAGE OR BY PARKING LOT AREA - FUTURE
 - TREES REQ'D. BY AREA OF DEVELOPMENT - PHASE 1
 - OVERSTORY TREES - 2 IN. CALIPER
 - 40 @ 80 PTS. = 3200 PTS.



VALLEY LUTHERAN HIGH SCHOOL
CITY OF CEDAR FALLS, IOWA
PROPOSED SITE PLAN

DR.	SKA & SAG	PG.	OR	TAMM	DATE
FILE NO.	3918		CRD		
DATE PLOTTED:	2-13-01	PLANNER:		SITE SWG	
REVISIONS					
1.					
2.					
3.					
4.					

CS
 wayne classen engineering
 and surveying, inc.
 waterloo, iowa