



**AGENDA  
CITY OF CEDAR FALLS, IOWA  
PLANNING AND ZONING COMMISSION MEETING  
WEDNESDAY, OCTOBER 11, 2023  
5:30 PM AT CITY HALL, 220 CLAY STREET**

---

**Call to Order and Roll Call**

**Approval of Minutes**

1. Planning and Zoning Commission Regular Meeting Minutes of September 13, 2023

**Public Comments**

**New Business**

2. **College Hill Neighborhood Design Review – 2121 Walnut St. (DR23-003)**  
**Petitioner:** Witham Management LLC, Owner, All Star Construction, Contractor  
**Previous discussion:** None  
**Recommendation:** *Approval*  
**P&Z Action:** *Discuss and make a recommendation to City Council*
3. **Hwy-1 Commercial Site Plan– 703 Brandilynn Blvd. (SP23-012)**  
**Petitioner:** AMCPAC LLC, Owner; Alex Bower, Robinson Engineering Company, Engineer  
**Previous discussion:** None  
**Recommendation:** *Approval*  
**P&Z Action:** *Discuss and make a recommendation to City Council*

**Old Business**

**None**

**Commission Updates**

**Adjournment**

Reminders:

- \* October 25 and November 8 - Planning & Zoning Commission Meetings
- \* October 16 and November 6 - City Council Meetings

**Cedar Falls Planning and Zoning Commission  
Regular Meeting  
September 13, 2023  
Cedar Falls, Iowa**

**MINUTES**

The Cedar Falls Planning and Zoning Commission met in regular session on September 13, 2023 at 5:30 p.m. at City Hall. The following Commission members were present: Alberhasky, Crisman, Hartley, Larson, Leeper, Lynch, Moser and Stalnaker. Grybovyeh was absent. Karen Howard, Planning & Community Services Manager, Matthew Tolan, EI, Civil Engineer II, Jaydevsinh Atodaria, Planner I, and Chris Sevy, Planner I were also present.

- 1.) Chair Lynch noted the Minutes from the August 23, 2023 regular meeting are presented. Ms. Lynch made a motion to approve the Minutes as presented. Mr. Stalnaker seconded the motion. The motion was approved unanimously with 8 ayes (Alberhasky, Crisman, Hartley, Larson, Leeper, Lynch, Moser and Stalnaker), and 0 nays.
- 2.) The first item of business was a College Hill Neighborhood Design Review for artwork at Pettersen Plaza. Chair Lynch introduced the item and Mr. Sevy provided background information. He explained that the applicant is requesting permission to install three aluminum composite panels to be secured to aluminum standoffs on the north facing wall of 2016 College Street (Pettersen Plaza). It would be used to display artwork created by UNI students that will be chosen by an annual competition hosted by the UNI Art Department and the UNI Public Art Incubator. He showed an example of what could be displayed for illustration purposes. He noted that the proposed panels and artwork are likely be welcome additions to the neighborhood character. Staff recommends approval of installing the panels.

Mr. Hartley stated that he feels it will be a nice addition. Ms. Moser agreed.

Mr. Hartley made a motion to approve the item. Ms. Moser seconded the motion. The motion was approved unanimously with 8 ayes (Alberhasky, Crisman, Hartley, Larson, Leeper, Lynch, Moser and Stalnaker), and 0 nays.

- 3.) The next item for consideration by the Commission was a PC-2 Site Plan for 702 LeClair Street. Chair Lynch introduced the item and Mr. Atodaria provided background information. He explained that the proposal is for a site plan for a new building at 702 LeClair Street in the PC-2 District. The property was rezoned in August to provide more flexibility for continuation of the existing business on the site and allow limited expansion. He discussed the proposal, noting that the application will be adding landscaping and a stormwater detention basis on-site. The proposed building would be built as per the Development Agreement. The applicant is requesting to remove a proposed park bench and small trail loop on the south side of the development. He discussed setback and utility easement information, as well as required landscaping and proposed building design. Staff recommends approval.

Mr. Leeper made a motion to approve the item. Mr. Larson seconded the motion. The motion was approved unanimously with 8 ayes (Alberhasky, Crisman, Hartley, Larson, Leeper, Lynch, Moser and Stalnaker), and 0 nays.

- 4.) The Commission then considered a request regarding an MU District Master Plan Amendment for Pinnacle Prairie Townhomes, Phase I. Chair Lynch introduced the item and Mr. Atodaria provided background information. He explained that the property is at the southeast corner of East Greenhill Road and Oster Parkway and explained the process of plat and site plan



approvals. He displayed a contrast of what was originally proposed to what has changed since then and explained the changes. The application is requesting the amendment of the master plan to build out the remaining land and to update the master plan to match what has been built to date. They are also requesting approval of three possible scenarios for future development with a mix of single-family units, duplex units and a set of detached garage buildings. He discussed the three scenarios and the locations of each proposal and provided an analysis of the proposal, noting that staff finds all three scenarios to be consistent with the intent and requirements of the zoning district. Staff recommends approval of the Master Plan Amendment.

Mr. Hartley clarified that one of the three scenarios must be chosen.

Mr. Leeper asked if there were concerns with the inconsistencies in the plan. Ms. Howard stated that staff analyzed what has been built along with what is proposed, since it is not known why past deviations from the plan were approved without the required review by P&Z and Council.

Ms. Crisman made a motion to approve the item. Mr. Leeper seconded the motion. The motion was approved unanimously with 8 ayes (Alberhasky, Crisman, Hartley, Larson, Leeper, Lynch, Moser and Stalnaker), and 0 nays.

- 5.) The next item for consideration by the Commission was an easement vacation at West Viking Road Industrial Park Phase V, Lots 17 & 18. Chair Lynch introduced the item and Mr. Sevy provided background information. He explained that there is a drainage easement across the eastern edge of Lots 17 & 18 at the northeast block of Technology Parkway and Innovation Drive and noted that the property is owned by the City. A company would like to locate a distribution center in the Industrial Park that requires the combining of all lots within that section of the area. He explained that the original intent of the easement was to provide drainage access to all east and west adjacent properties allowing water to drain southward into the basin located on the south side of Technology Parkway. As the lots are to be combined the drainage easement is no longer necessary. The developer will be responsible for demonstrating on their site plan how stormwater will be managed and directed to the storm sewer according to City requirements at the time of site plan review. Mr. Sevy provided renderings that clarify what is being vacated. Staff recommends approval of the vacation.

Ms. Moser made a motion to approve the item. Ms. Crisman seconded the motion. The motion was approved unanimously with 8 ayes (Alberhasky, Crisman, Hartley, Larson, Leeper, Lynch, Moser and Stalnaker), and 0 nays.

- 6.) The next item for consideration by the Commission was a Zoning Code text amendment for on-street parking as shared parking. Chair Lynch introduced the item and Ms. Howard provided background information. She explained that the Commission has been asked to consider eliminating the zoning code provision that allows on-street parking that directly abuts a property to count toward the shared parking requirement for any new development on the property. More specifically, it is requested to delete City Code Section 26-196E, Special Parking Standards. She provided brief background again regarding the current code, explaining that the ordinance provides flexibility on how the shared parking requirement is satisfied. She noted that the flexibility is intended to help reduce the burden/cost of making this contribution to the supply of publicly available parking.

Staff recommends that the Commission hold a public hearing, discuss and make a recommendation to the City Council regarding their petition to delete the code.

Mr. Leeper asked what the options were. Ms. Howard stated that they can either approve or deny the deletion of the section of the code.

Mr. Hartley stated that the Commission discussed this a great deal during the process and feels that they made a reasoned decision at that time and that they are now being asked to change it, when they have already calculated and made a decision. Mr. Leeper agreed and stated that the provisions are meant to encourage density and in order to promote growth downtown, a different approach to parking is needed. Mr. Larson agreed with those sentiments.

Ms. Moser made a motion to approve the item. Mr. Hartley seconded the motion. The motion was denied unanimously with 8 nays (Alberhasky, Crisman, Hartley, Larson, Leeper, Lynch, Moser and Stalnaker), and 0 ayes.

- 7.) The next item for consideration by the Commission was an RP Master Plan Amendment for Autumn Ridge Development. Ms. Alberhasky and Mr. Larson recused themselves from the discussion and left the meeting. Chair Lynch introduced the item and Mr. Atodaria provided background information. He gave a brief recap of what has been discussed at previous meetings regarding the proposal, including the specifics about the park space, stormwater management and increasing width of single-family units, the things that were recommended by both staff and Planning and Zoning Commission members. Mr. Atodaria also explained the updated master plan proposal, provided comparison of type of units proposed with other low density residential zone, discussed the new park location and highlighted easements and setbacks proposed for the units.

Mr. Tolan spoke about the stormwater management for the development and Mr. Atodaria stated that staff recommends approval of the Master Plan Amendment subject to compliance with conditions noted in the staff report and any comments or direction specified by the Planning and Zoning Commission.

Mr. Leeper asked how many units were planned originally. Mr. Atodaria stated that there were originally 58 units, and the current has 86 units.

Adam Daters, CGA Engineers, 5106 Nordic Drive, spoke about the functioning of the stormwater detention and provided renderings to demonstrate where and how it works. He explained different watershed analysis scenarios that have been considered and the results of each.

Dennis Happel, BNKD, noted that he has had a great deal of review and confirmation regarding detention information and their numbers have come out as correct. He mentioned the maintenance concerns and stated that it has been out of sight, out of mind, but that no one has contacted them with issues. He stated that they have come to a decision with the City that issues will be addressed during grading of the site for construction and thereafter there will be an established and regular mowing plan for the stormwater facility. With regard to capacity of the facility, he said that they far exceed what is required for the area.

Ms. Moser asked about the status of the area that Maria Perez, Stormwater Specialist found when she came out to visit the site. Mr. Happel stated that any mowing debris will be collected at the time. Anything that was previously done is intertwined with new growth will be addressed during the maintenance process and reshaping of the detention facility.

John Englin, 4327 Wynnewood Drive, spoke about the letter that was received regarding this meeting and noted that he emailed the Commission members his concerns. He discussed the previously presented 90 dwelling units and concerns by the Commission with the density. At

this time the units have only been decreased by four units and he feels that the concerns about density have been disregarded by the City and BNKD. He discussed concerns regarding this proposal.

Lyle Simmons, 207 Corduroy Drive, echoed Mr. Englin's sentiments.

Genevieve VanDorn, 4124 Thresher Court, Unit 304, thanked staff for their hard work. She noted her concerns with the number of units being built. She explained that she had been originally told that there would be far less and that this increase would make for greater traffic issues. She also commented on the pricing for these units and how they are not what would be considered to be affordable. She also brought forward concerns about the location of the playground and its maintenance.

Cindy Luchtenberg, 4322 West 1<sup>st</sup> Street, spoke to concerns with density and congestion and how it will affect access for emergency vehicles. She also noted concerns with how close the houses would be, particularly in case of fire, and the potential for it to spread to the next house.

Ann Spurr, 4211 Berryhill Drive, took issue with a statement made by the developer regarding stormwater maintenance and how it's been out of sight, out of mind. She stated that the HOA has sent dues to him each year, which should be a reminder. She also noted that the calculations from Mr. Dater causes her to question why there is water in their back yards when they are being told it will be in the detention basins. If it is already encroaching now, what will happen with more housing? She also questioned the proposal of bi-attached homes, noting that a change of a site plan was recently approved in another part of town to remove bi-attached dwellings because they are not selling.

Mr. Happel spoke to the comment regarding the association dues, explaining that the whole detention is owned by the Autumn Ridge Stormwater Association. The dues are deposited in an account and are available at any time.

Mr. Daters stated that they can only deal with the data that is in front of them and the survey information and analysis indicates that the stormwater facility has adequate capacity for all areas. He said more specific information would be needed from individual property owners about any encroachment into their yards so they could investigate.

Jim Hancock, 821 Lakeshore Drive, stated concerns with a lack of adjustment for the additional density added with regard to the detention area. He asked about additional sizing has been placed in the spillway to add for the 48% density being added to the project. He feels that there hasn't been adequate attention given to what is actually happening versus what is being calculated. He also asked about the lack of additional rip rap that he has seen go into other projects but has not been factored in for this one.

Mr. Tolan explained that rip rap throughout an entire stream channel is not an effective use or measure. They use rip rap in energy dissipation and areas where additional armoring is needed, but typically for best stream corridor practices for aquatic life, etc., a grass system with plantings with strong root systems that hold the banks in is best.

Mr. Daters explained that they did analyze the increased runoff from a higher density and he was trying to show that the capacity from the model they performed appears to be sufficient. If there are discrepancies in what people are seeing versus what the model shows, they are more than happy to work with staff and any other third party engineers that would have comments. He also noted that this isn't the final stormwater analysis that would be done. When the final plat is submitted a more detailed final report is submitted and reviewed by staff.

Tim Caswell, 4119 Shocker Road, stated concerns with and questioned who has the liability for the stormwater runoff issues.

Jeff Ries, 4227 Paddington, agreed with the statements made by other neighbors. He stated that he met with Rhonda Happel when first moving to the neighborhood and was promised something very different than what is currently being proposed. He noted issues with stormwater as well.

Ms. Crisman asked for more clarification regarding the park. Mr. Atodaria explained that the proposed park space is 2.1 acres and will be a City park. The Park Commission will be discussing this proposal request tomorrow at their regular scheduled meeting. Ms. Howard added that if parkland is proposed by developer in a subdivision, and is to be dedicated as a city park, the land needs to be prepared to City standards before it is accepted by the City. Once it is City parkland, further improvements such as playground and other park amenities can be proposed and approved by City Council as part of the capital improvements plan.

Mr. Leeper noted that he struggles with the project as he feels that the developer has done an adequate job with the numbers and requirements, but noted concerns with the expectations that the neighbors were given compared to what is now being proposed. Ms. Moser agreed with that struggle. Mr. Hartley also noted concerns with the extreme change in density.

Ms. Lynch stated that while she loves the public process and truly appreciates everyone showing up to speak their thoughts and concerns, but she also feels that the numbers still fit into the parameters of low density. With the need for housing the community she is struggling with how she feels for the neighbors versus the facts presented.


Ms. Crisman stated similar concerns, noting that as a Commission they don't do a lot of actual planning. They mostly vote. While this project does meet the requirements, that doesn't take into account complaints raised by the citizens. She knows there is an issue with housing, but doesn't feel the solution is more \$400,000 homes. She would like to see a revision that takes into consideration the comments made to make an impact on the community.

Mr. Leeper made a motion to approve the item. Ms. Crisman seconded the motion. The motion was denied with 6 nays (Crisman, Hartley, Leeper, Lynch, Moser and Stalnaker), and 2 abstentions (Alberhasky and Larson).

- 8.) As there were no further comments, Ms. Crisman made a motion to adjourn. Mr. Hartley seconded the motion. The motion was approved unanimously with 6 ayes (Crisman, Hartley, Leeper, Lynch, Moser and Stalnaker), and 0 nays.

The meeting adjourned at 7:05 p.m.

Respectfully submitted,



Karen Howard  
Community Services Manager



Joanne Goodrich  
Administrative Assistant



## DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls  
220 Clay Street  
Cedar Falls, Iowa 50613  
Phone: 319-273-8600  
Fax: 319-273-8610  
www.cedarfalls.com

### MEMORANDUM

#### *Planning & Community Services Division*

**TO:** Planning and Zoning Commission  
**FROM:** Chris Sevy, AICP, City Planner I  
**DATE:** October 11, 2023  
**SUBJECT:** College Hill Neighborhood Overlay Design Review for a new porch and siding.

**REQUEST:** Request to approve College Hill Neighborhood Overlay District design review application for a new porch and siding at 2121 Walnut (#DR23-003)

**PETITIONER:** Witham Management LLC, property owner; All Star Construction, contractor.

**LOCATION:** 2121 Walnut Street

### PROPOSAL

Due to structural issues identified by the City's building department during rental inspections, updates to the porch at 2121 Walnut are required. The applicant proposes to remove the current porch and the sleeper porch above it which fronts Walnut Street. In its place, the applicant would like to reconstruct a new porch essentially to the same dimensions as the existing porch, but without the upper floor "sleeping porch" above. While historically some houses had an upper story sleeping porch, indications are that this was not original to this house. This project will include new vinyl siding around the entire house, new vinyl windows on the upper story, and a porch constructed primarily of composite materials that require minimal maintenance and are rated to last 20+ years. The property is located in the College Hill Neighborhood Overlay Zoning District and a review by the Planning and Zoning Commission and City Council is required for any "substantial improvement" proposed within the district. These changes and improvements meet the definition of "substantial improvement" as outlined by the Overlay District.





## BACKGROUND

The College Hill Neighborhood Overlay District was established for the preservation of neighborhood character and the stabilization of its neighborhoods after a long history of changes and updates to properties that typically increased occupancies and detracted from the original intent of those properties and neighborhoods. This trend and the establishment of the Overlay called for more scrutiny when reviewing changes that may affect the character of the neighborhood. See the location map above for reference. The highlighted property in the yellow boundary is the subject property.

The subject property is located within the R-3, Multiple Residence Zoning district (Section 26-166) and the College Hill Neighborhood Overlay Zoning District (Section 26-181). The standard in the Overlay requires that the following be considered in the design review of a substantial improvement: architectural compatibility; neighborhood character; building materials; façade details; parking; open space/landscaping requirements; and other provisions as applicable in the code.

The current façade is pictured on the right and the proposed design is below it (also see attached).

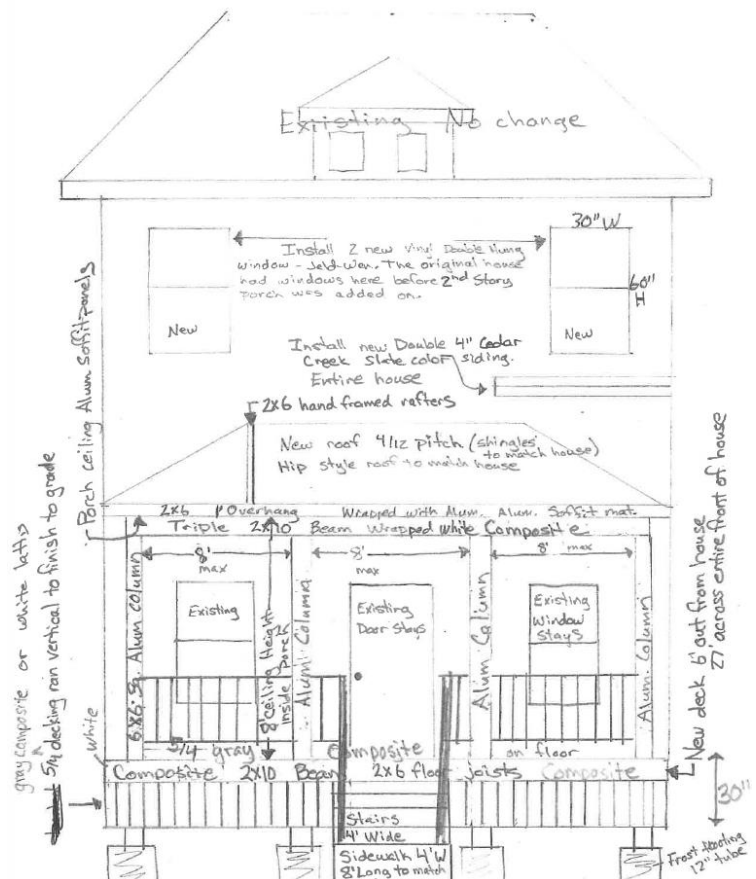


## ANALYSIS

### Architectural Compatibility:

Eliminating the sleeping porch is a significant change but it also appears to be something that was added after original construction of the house in 1893. The contractor has indicated that the two proposed windows on the upper story are being positioned where original windows were located before the second story porch was added on. The windows and door on the ground story will remain as existing.

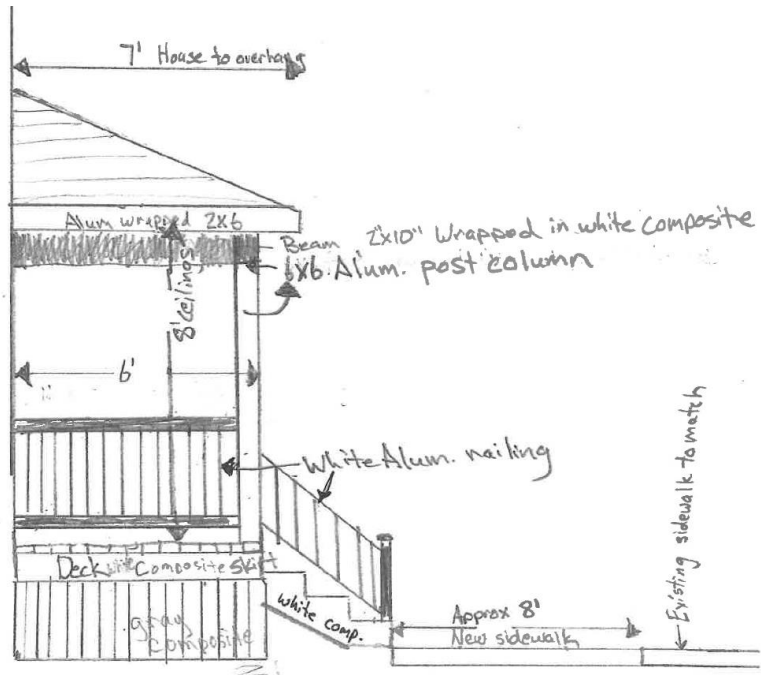
The applicant proposes a new porch that extends the full width of the front of the house, similar to the existing and be 6 feet in depth, which maintains the porch as a usable exterior space for the residents. It will have decorative aluminum porch posts as per the attached specifications. It will have 10" fascia boards below the porch roof and along the bottom of the porch. After



discussion about ease of maintenance, the applicant has decided to install lattice skirting below the porch as per the attached specifications instead of the vertical decking boards shown in the image to the right. The lattice will be more in keeping with a traditional porch design of this era. Since the porch will be 30 inches above grade a railing and porch balustrade is required for safety. The specifications of the balustrade are attached and appear similar to other porches of the era. The design has finishings that differentiate the porch from a deck which is important in the College Hill Overlay. Staff has no concerns with the architectural compatibility of the design. The applicant proposes a hipped roof for the porch, which is different than the original shed roof. Staff finds that this is an acceptable design deviation as hipped porch roofs are also common. A shed roof would also be acceptable as an alternative.

#### Neighborhood Character:

Since the new porch will be in keeping with the original design of the house and with other similar houses in the neighborhood, it will not adversely affect the neighborhood character. Another positive change to the design will be to re-orient the front stoop to the center of the porch rather than accessing it from the side. This will restore a more symmetrical design in keeping with the original design of the house. The stairs on the side will be removed. This project includes a new concrete walkway leading to the front stairs and entry from the public sidewalk on Walnut street. This is shown in the graphic to the right.



#### Building Materials and Façade Details:

The roofing materials on the porch will match the roof of the house. The porch fascia materials will utilize either a white composite or a white aluminum covering. The white columns will also be aluminum with an ornamental styling and have the load bearing capacity necessary to hold up the porch roof. The flooring will utilize a composite Trex decking. The fascia and skirting of the porch floor will also utilize a white composite Trex board and lattice which presents well to the street. The specs and details of all materials are attached.

The proposed siding on the house is a horizontal vinyl siding similar to the existing siding but will be a grayish slate color instead of white.

Handrails and railings are required by the Building Department since the floor of the porch sits, in part, 30 inches above grade. The product intended for that is also attached.

Staff has no concerns regarding the proposed materials.

#### Parking, Open Space, and Landscaping

These criteria are not applicable to the scope of this project.

Notification of this case was sent to adjacent property owners within 200 feet on October 4th, 2023.

**STAFF RECOMMENDATION**

The Community Development Department has reviewed the proposed design review application for new porch, windows, and siding at 2121 Walnut Street and recommends approval.

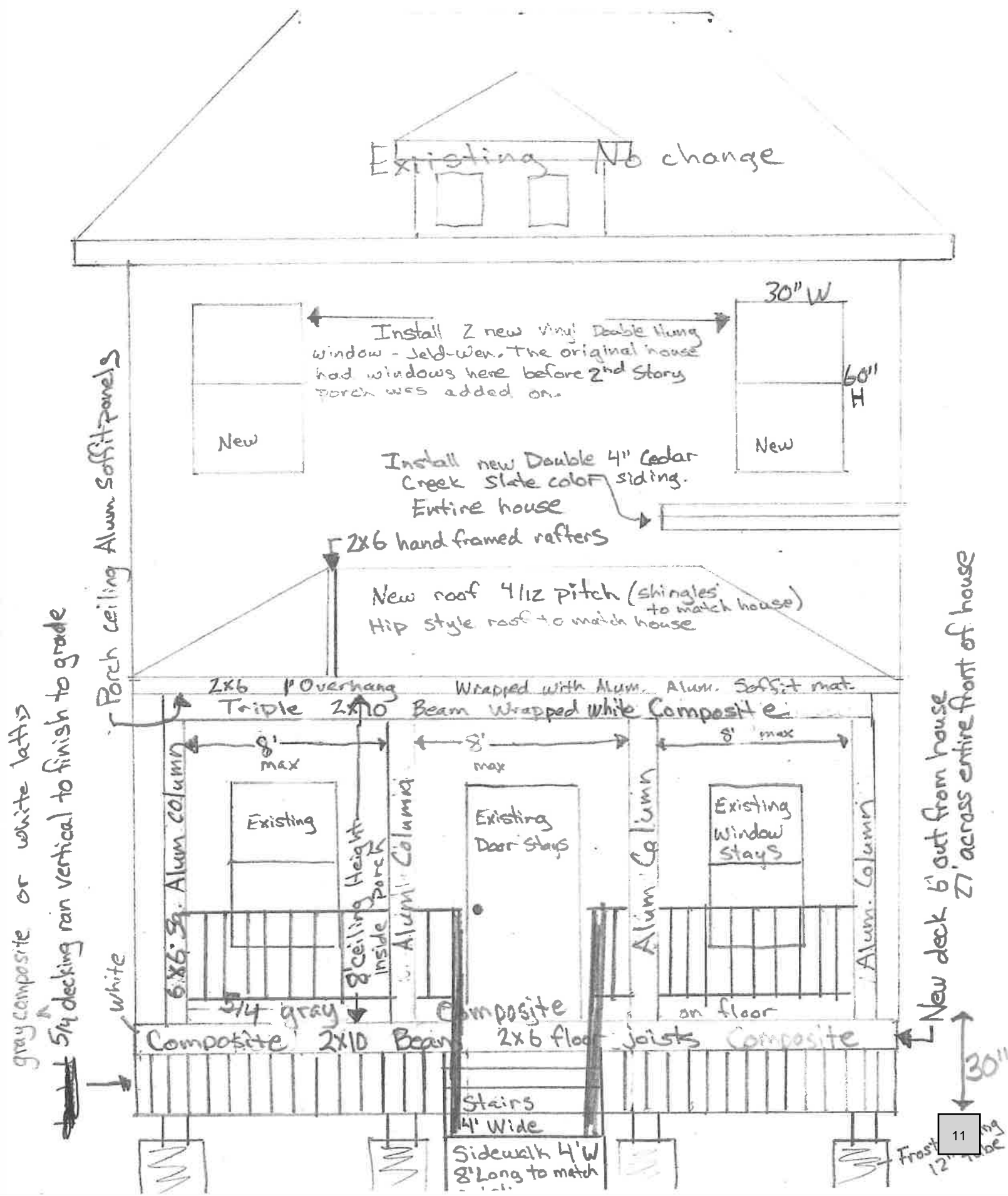
**Attachments:**

Proposed Elevations

Proposed Materials

Letter of Intent





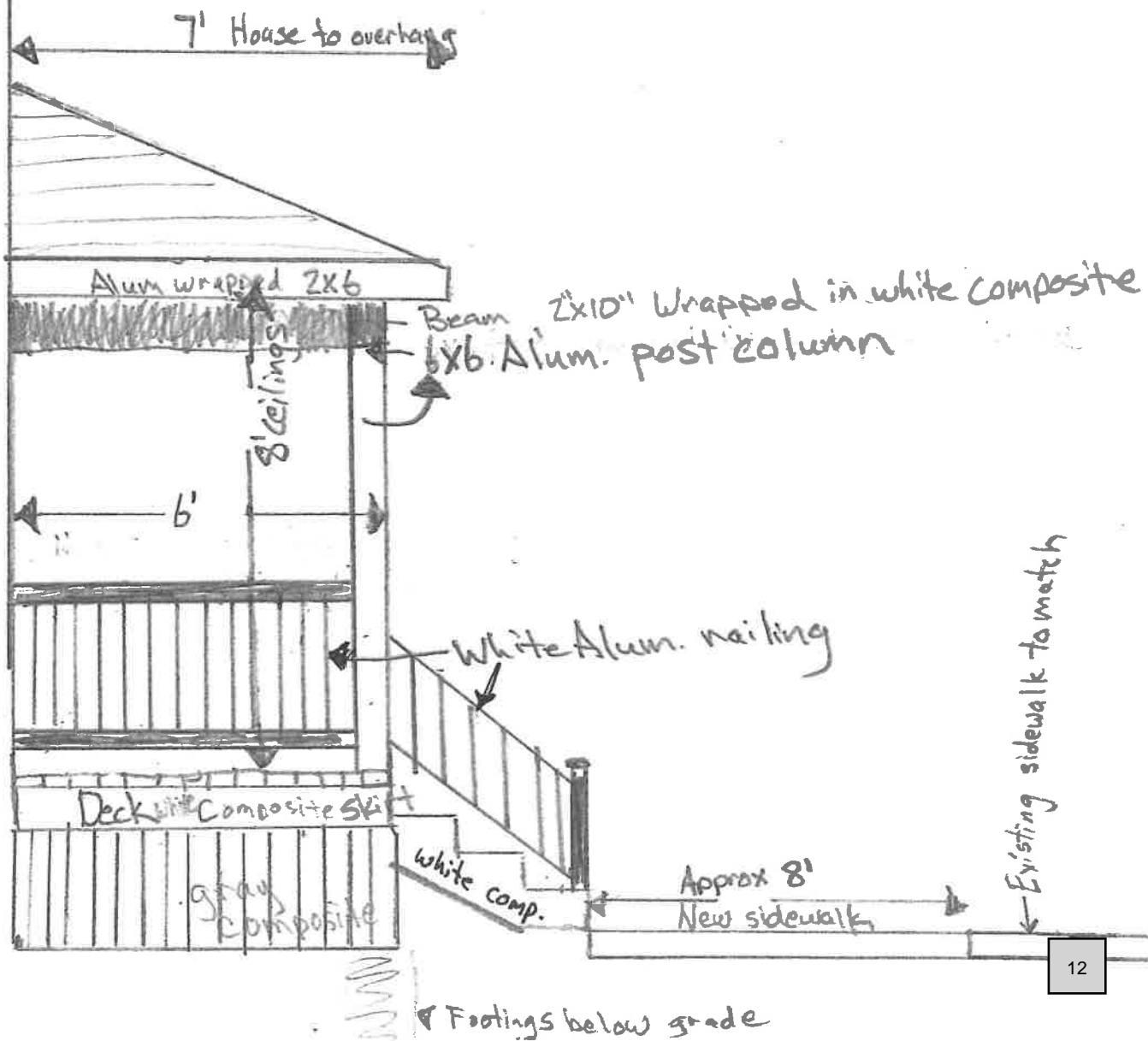
Tearing off old porch + 2nd Story porch that was added on.

Item 2.

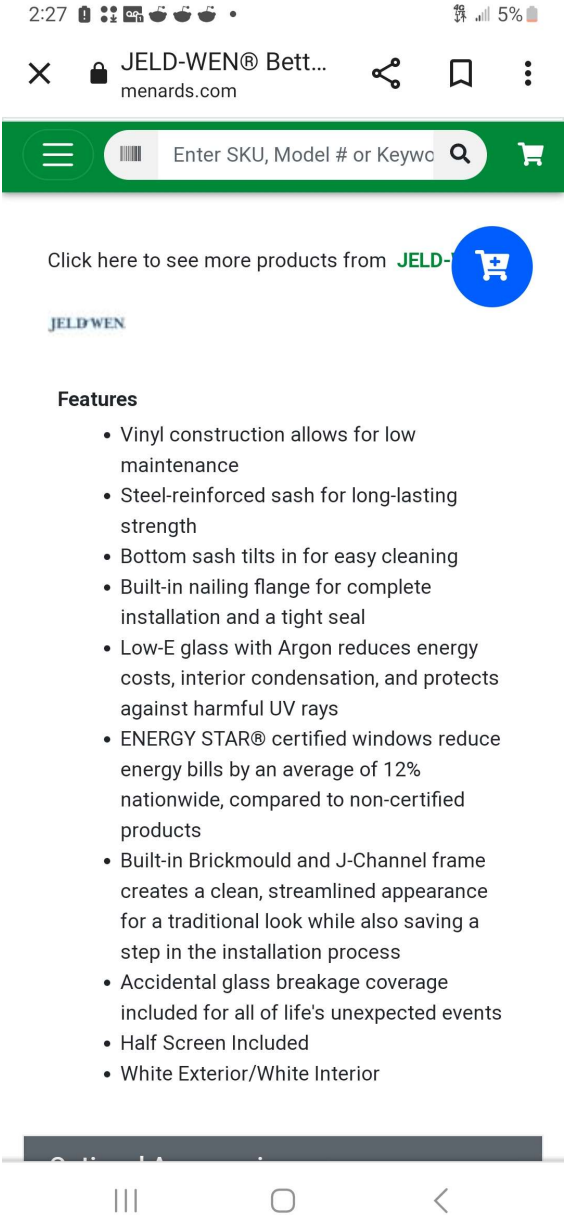
Building New porch and roof exactly the same size as the original porch that the 4 square house was built with before it was added to.

2nd story never should've been added.

Existing House

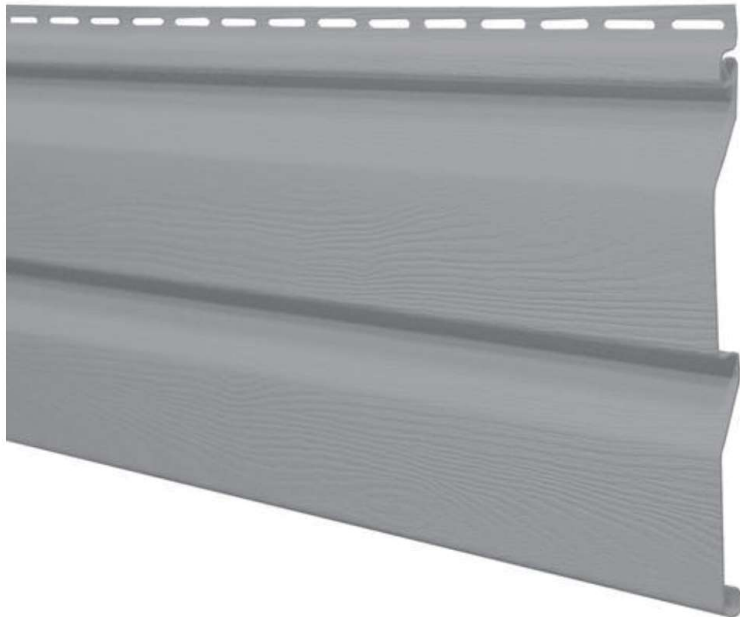


2121 Walnut Façade/Porch Project – Materials Proposed



✕  Cedar Creek™ Do...  
menards.com   

Cedar Creek™ Double 4" x 12' 6"  
Dutchlap Slate Vinyl Siding ✕



[Safety Data Sheets \(SDS\)](#)

[Technical Specifications](#)

[Installation Instructions](#)

[Warranty](#)

Click here to see more products from **Cedar Creek**



**Features**

- .040" thickness
- 12 pieces cover 100 sq ft
- Each 8" x 12' 6" piece covers approximately 8.33 sq ft
- Transferable limited lifetime warranty
- Weathered woodgrain texture with a low-gloss finish
- Meets or exceeds ASTM D3679
- 161 MPH wind rating

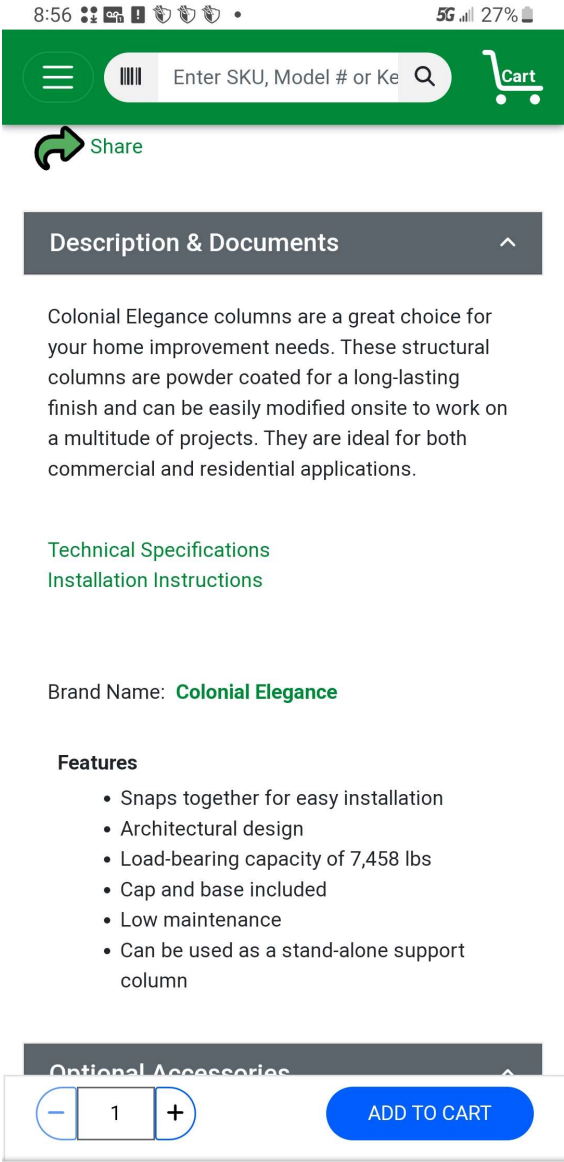


Trex Fascia Board 0.75-in x 11.25-in x 12-ft  
PVC White Fascia Trim



- Use as deck trim, stair raisers and deck skirts for a long-lasting, beautifully finished look
- Versatile all-white color matches practically any deck
- Superior resistance to rot, insects, fading, and splitting
- Ultra low maintenance; no sanding, staining or painting required
- Outstanding workability-cuts, fastens and paints easily
- Unique release film that protects trim from plant to installation
- Backed by the Trex 25-year residential limited warranty

2121 Walnut Façade/Porch Project – Materials Proposed



## 2121 Walnut Façade/Porch Project – Materials Proposed



### Trex Enhance Basics 1-in x 6-in x 16-ft Clam Shell Grooved Composite Deck Board

Item #1217530 | Model #CS010616E2G01

[Shop Trex](#)

★★★★★ 1782

- Trex's eco-friendly composite deck board is made of 95% reclaimed wood and recycled plastic film, offering a low-maintenance alternative to wood that won't rot, warp, or splinter
- Protected by the Trex 25-year Limited Residential Fade and Stain Warranty to provide peace of mind for years to come
- 0.94-in Height x 5.5-in Width x 16-ft Length are the actual dimensions for this Trex composite deck board
- Protective outer shell for durability that cleans easily with soap and water
- Clam Shell is an easy-to-match shade of medium grey, featuring an attractive, wood-like grain pattern
- Trex's grooved-edge composite deck boards paired with Trex hidden fasteners leaves a clean surface free of screw holes
- This board features a scalloped profile for lightweight, easy handling
- Trex recommended Hidden Fastener Item Number: 1438102
- Find the Clam Shell sample using Item Number: 1289410

2121 Walnut Façade/Porch Project – Materials Proposed

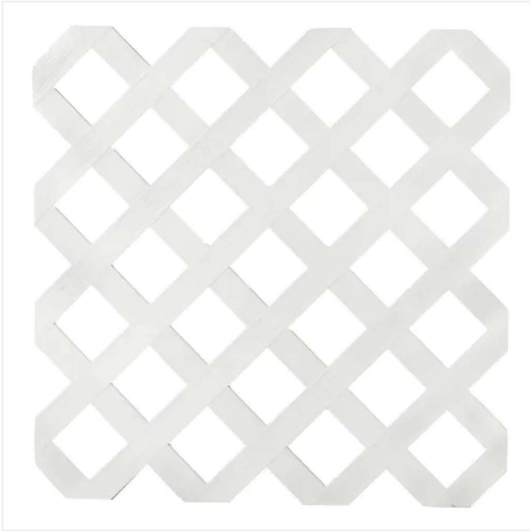
1:23

58%

Best Seller

Veranda  
4 ft. x 8 ft. Standard White Vinyl Lattice

★★★★★ (3)



-

1

+

Add to Cart

Add to List

Add to Quote

1:23

58%

Veranda 4 ft. x 8 f...  
homedepot.com

Pro

Search

1

Waterloo 9PM

50670

Store SO SKU # 187609

Product Details

- Plastic lattice features a wood grain pattern on both sides
- Perfect for both interior design and outdoor living spaces
- Perfect for both interior design and outdoor living spaces

Model#: 70697

Sku#: 536763

Internet#: 202300806

Menu

Quotes

Lists

ProX  
James



## 2121 Walnut Façade/Porch Project – Materials Proposed

8:59 5G 26%

Williams 36" x 8' ...  
menards.com

Enter SKU, Model # or Ke

Cart

Home / Building Materials / Decking & Deck Materials / Exterior Railings & Gates / Metal Railing & Gates

### Williams 36" x 8' White Preassembled Powder-Coated Aluminum Railing Panel

(Actual Size: 34" x 91.33")

Model Number: CP262308W | Menards® SKU: 1717810

- 1 +

ADD TO CART

III

O

<

8:59 5G 26%

Enter SKU, Model # or Ke

Cart

Warranty

Brand Name: Williams Architectural Products

#### Features

- Installed height and on-center post spacing: 36" H x 96" L
- Actual panel size: 34" H x 91.31" L
- Preassembled panel for quick and easy installation
- Includes railing panel, top and bottom rail snaps, mounting hardware, support leg, and installation instructions
- Architectural-grade, textured AAMA 2604 powder-coated finish
- 20-year warranty
- Made in the USA
- ICC-ES tested/approved

Optional Accessories

#### Williams White Straight Wall Mount Attachment

- 1 +

ADD TO CART

III

O

<

7 | Page

19

# ALL STAR CONSTRUCTION

JAMES TOULOUSE 319-215-8109 Contact and contractor submitting this letter

*jtoulouse594@gmail.com*

## Letter of intent for:

Jay Witham 319-290-1059  
Witham Management LLC  
2121 Walnut St.  
Cedar Falls, IA 50619

Jay Witham has approved our estimate to fix the front porch issues that is a violation with the city codes. Legal notice submitted with this letter.

All Star Construction has submitted a bid to remove the existing front covered porch and 2<sup>nd</sup> story added on porch as included with the pictures. We will build a new ~~deck~~ treated deck porch and stairs centered at the front door. We will pour a new sidewalk and step to meet the existing sidewalk on Walnut St.

Frame in the 2 doorways in the upper porch to add 2 new vinyl windows where the existing windows of the house once were. We are also residing the entire house at the same time. Removing the existing vinyl siding 1<sup>st</sup>.

### List of properties within 200'

2126 Olive St.  
McCarty Rentals LLC  
817 Eagle Ridge Rd  
Cedar Falls, IA 50613

710 W 22<sup>ND</sup> St.  
K & B Property Rentals LLC  
118 Rainbow Dr.  
Cedar Falls, IA 50613

2115 Walnut St.  
Witham Management LLC  
2033 LaPorte Rd.  
Waterloo, IA 50702

2109 Walnut St.  
Amend David  
277 Derbyshire Rd.  
Waterloo, IA 50701

2203 Walnut St.  
Wernimont, Christophe  
300 NE 6<sup>th</sup> St.  
Pocahontas, IA 50574

624 W 22<sup>nd</sup> St.  
Danny Moulds  
9778 Sylvan Dr.  
Janesville, IA 50647

2116 Walnut St  
Michael Geisler  
5373 S Hudson Rd.  
Cedar Falls, IA 50613

2122 Olive St.  
Mc Carty Rentals  
817 Eagle Ridge Rd.  
Cedar Falls, IA 50613



## DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls  
220 Clay Street  
Cedar Falls, Iowa 50613  
Phone: 319-273-8600  
Fax: 319-273-8610  
www.cedarfalls.com

### MEMORANDUM

#### *Planning & Community Services Division*

**TO:** Planning & Zoning Commission  
**FROM:** Michelle Pezley, AICP, Planner III  
Ben Claypool, PE, PhD, Principal Engineer  
**DATE:** October 11, 2023  
**SUBJECT:** Hwy-1 Commercial Site Plan - 703 Brandilynn Blvd (Case # SP23-012)

**REQUEST:** Site plan approval for construction of a new multi-tenant retail building

**PETITIONER:** AMCPAC LLC; Alex Bower, Robinson Engineering Company, Engineer

**LOCATION:** 703 Brandilynn Blvd; Northwest of Brandilynn Blvd intersection of Winterberry Dr.

### PROPOSAL

The applicant proposes to construct a one-story, 8,468 square foot retail building at 703 Brandilynn Blvd. The applicant proposes two retail spaces and two restaurants. The site plan illustrates the location of the building, parking for employees and customers, and a dumpster enclosure. The proposed layout of the site sits on 1.537 acres with vehicular access to the private easement to the property to the north and an access on to

Brandilynn Boulevard from the south. Ross Dress for Less, Hobby Lobby, HomeGoods, and Dollar Tree are located to the north of the site. Collins Community Credit Union and BioLife are located south of the site. Walmart and associated parking lot is east of the site.



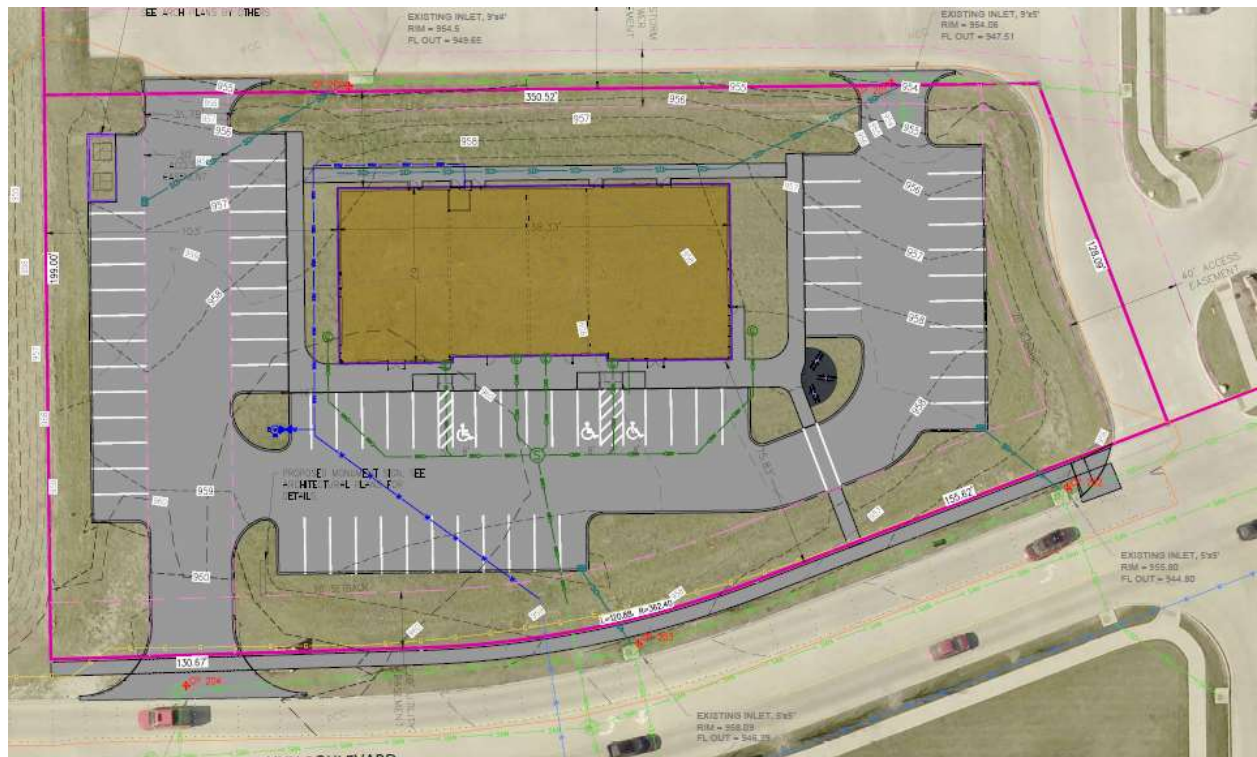
## BACKGROUND

The property is part of the Pinnacle Prairie Master Plan that was adopted by the City in 2004. The City approved Pinnacle Prairie Commercial South Phase II in 2012. Lot 3 was created in 2016 under Pinnacle Prairie Commercial South- Phase IV plat. The property is zoned Highway Commercial (HWY-1), which requires site plan review and a recommendation from Planning and Zoning Commission and approval from the City Council. Pinnacle Prairie Owner's Association has reviewed the plans for the site.

In 2021, the Planning and Zoning Commission and City Council reviewed and approved a site plan for a similar building, but it was never built. The applicant now requests a revised site plan and building design for the property. While the building and site layout is similar to the previously approved plan there are changes to the front façade of the building and the proposed building no longer includes a drive-through.

## ANALYSIS

The HWY-1 District is intended to promote general service commercial uses that serve a broader market area (i.e. city-wide or regional customer base). The ordinance requires a detailed site plan review prior to approval in order to ensure that the development site satisfies several basic aesthetic standards. Attention to details such as parking, open green space, landscaping, signage, building design, and other similar factors help to ensure orderly development in the entire area.



Following is a review of the zoning ordinance requirements for the proposed development:

- 1) Use: Any commercial or retail use intended to serve the traveling public or a regional customer base is listed as a permitted use in the HWY-1 District. The retail and restaurant space proposed within the building satisfy this definition. **Use is allowed.**
- 2) Setbacks: There is a platted building setback of 20 feet along Brandilynn Boulevard. The building is 75 feet from Brandilynn; 103 feet from the western property line; 34 feet from the northern property line, and 75 feet from the southern property line.

The side yard setback is 5 feet. The district also requires that a 20-foot landscaped setback be maintained along streets and principal accessways. Drives, aisles, and parking areas may not encroach into these landscaped setbacks. The private drive along the east property line is considered a principal accessway because it is the primary driveway for the entirety of this commercial area to the north and east. Therefore, the 20-foot landscaped setback applies along the eastern property boundary and along Brandilynn Boulevard to the south. The applicant's site plan conforms to these standards. **Building setbacks are satisfied. The parking lot setbacks are also satisfied.**

- 3) Parking: The code requires restaurants to provide one parking space for every 100 square feet of gross floor area, plus one parking space for every two employees with a minimum of five parking spaces. The code requires retail stores over 2,000 square feet in gross floor area to provide 4.5 parking stalls per 1,000 square feet of gross floor area. The floor area of the building is 8,468 square feet and of that, 4,820 square feet will be designated as the restaurant. The applicant proposes using the exclusion of storage areas, closets, bathrooms, and other areas that are nonessential to the building up to 10%, which is found under Sec. 26-220(b)(1).

Use	Proposed	10% reduced sq	Parking requirement
Restaurant	4,820sf	4,338	44
Restaurant employees	16		8
Retail	3,131sf	2,818	13
Total			65

The proposal requires 65 parking spaces and the applicant proposes 69 spaces.



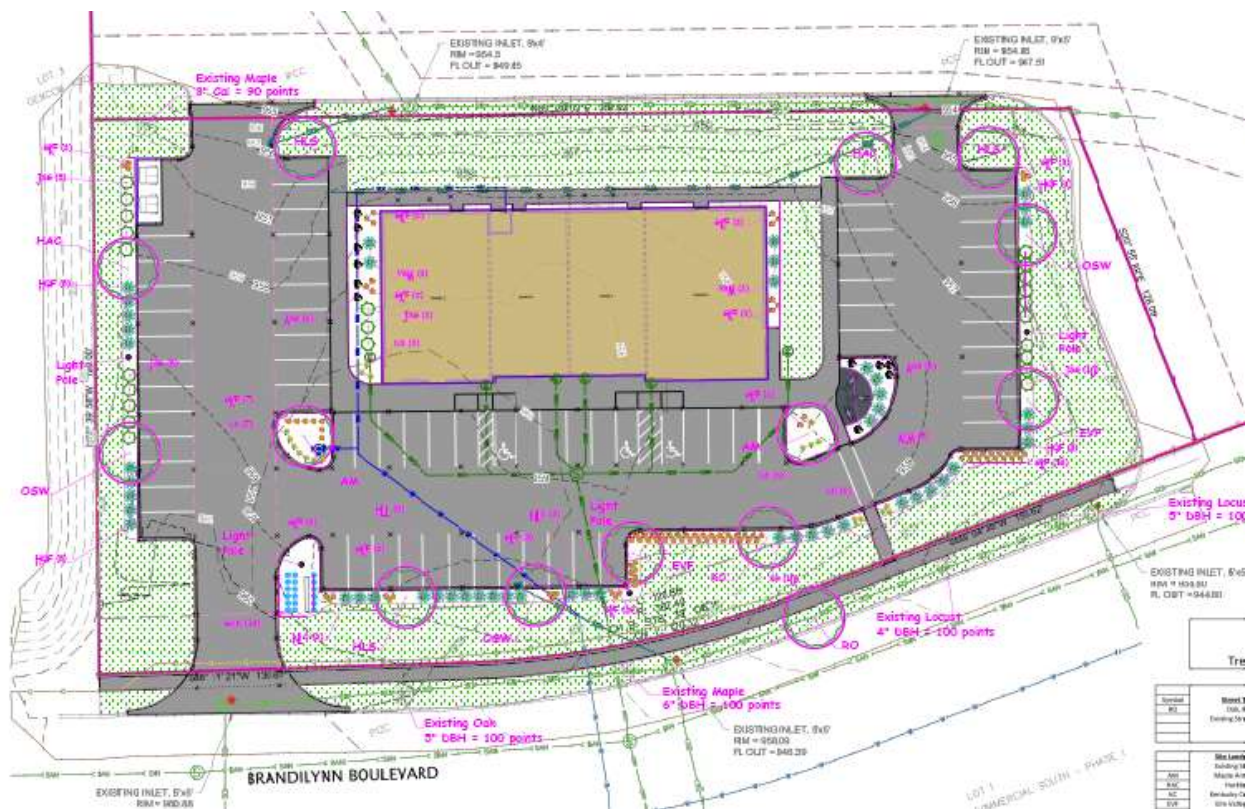
The parking meets the zoning standards with minimum stall dimensions of 9' x 19' with 24' wide aisle. **The amount and dimension of the parking stalls and drives are met.**

- 4) Open Green Space: The HWY-1 District requires that open green space/landscape area be provided at the rate of 10% of the development site excluding the required 20-foot landscaped setback area. Below is a summary that details how this provision is met.

New Development Site(excluding 20-foot landscape setback)	55,071 SF	
Required Open/Green Space	5,507.1 SF	10%
<b>Provided Open/Green Space</b>	<b>15,437 SF</b>	<b>28%</b>

Landscaping is shown throughout the site, both around the building as well as within the parking lot, along the streets, and required setbacks. For clarity, the 9,605 square feet is the provided green space in addition to the landscaped setback.

**The open green space exceeds the minimum requirement and is well distributed.**



- 5) Landscaping: The HWY-1 District requires landscaping at the rate of 0.02 points per sq. ft. of total development site area which comes to 1,379 points required. Their

plan achieves 1,895 points. An additional 306 points are required for street tree planting and their plan achieves 480. Four of the street trees are already planted.

The Hwy-1 district and parking standards require internal landscaping requirements. Trees are required in the vehicular use area at the rate of one overstory tree per 15 parking spaces. This equates to a requirement of 5 overstory trees. That is the amount proposed within the parking area to meet this requirement.

In addition to the internal parking lot trees, there are trees required within the peripheral of the parking lot and along the street frontages. The applicant proposes landscaping islands with at least five feet wide with shrubs, grasses, and additional trees being located around parking areas. The landscaping screening is required for the entire parking lot which includes the internal circulation to be screened, which is provided. The landscaping plan also meets the requirements for the Pinnacle Prairie Master Plan.

**Staff find that the proposal meets the landscaping requirements for parking and Highway Commercial Zoning District.**

6) Building Design: The HWY-1 zone requires a design review of various elements.

The intent of the zone is to promote and facilitate comprehensively planned commercial developments located adjacent to major transportation corridors and interchanges. It is further the purpose of the zone to encourage high standards of building architecture and site planning. The elements in the code are noted below with a review of how each is addressed. **Overall, staff finds that the proposed building design meets the zoning standards based on the following analysis.**

*Proportion: The relationship between the width and height of the front elevations of adjacent buildings shall be considered in the construction or alteration of a building; the relationship of width to height of windows and doors of adjacent buildings shall be considered in the construction or alteration of a building.*

The applicant submitted the elevations and two renderings of the building. The scale and proportion of the new building will be similar to other nearby establishments. It is one-story with variable wall heights where a flat roof with additional parapets ranging from 18-22 feet. The neighboring buildings to the north and south have similar dimensions. Staff finds that the proposal is consistent with neighboring buildings and with the height allowances in the zoning district.

*Roof shape, pitch, and direction: The similarity or compatibility of the shape, pitch, and direction of roofs in the immediate area shall be considered in the construction or alteration of a building.*

The adjacent buildings utilize flat roofs with a parapet in the front. The applicant proposes a flat roof with additional parapets to provide a variation to the roofline. Staff finds that the design is compatible with the surrounding buildings.

*Pattern: Alternating solids and openings (wall to windows and doors) in the front facade and sides and rear of a building create a rhythm observable to viewers. This pattern of solids and openings shall be considered in the construction or alteration of a building.*

The new building is oriented toward Brandilynn Blvd. The applicant proposes a variety of fiber cement sidings in “espresso”, and “pecan” and pac-clad aluminum panels in “stone white.” The applicant also proposes brick with a “vintage black velour” to provide a change in materials and colors. There is a good balance of the materials and colors that provide a transition to the less transparent rear of the building. Overall, the patterns meet or exceed the City’s standards.

*Materials and texture: Materials and texture. The similarity or compatibility of existing materials and textures on the exterior walls and roofs of buildings in the immediate area shall be considered in the construction or alteration of a building. A building or alteration shall be considered compatible if the materials and texture used are appropriate in the context of other buildings in the immediate area.*

The applicant proposes windows, fiber cement siding, and painted bricks for the new building’s exterior materials. All of the materials provide a sleeker modern feel that strikes a balance between color and texture. Staff finds that these material and texture choices are compatible with those of adjacent buildings.

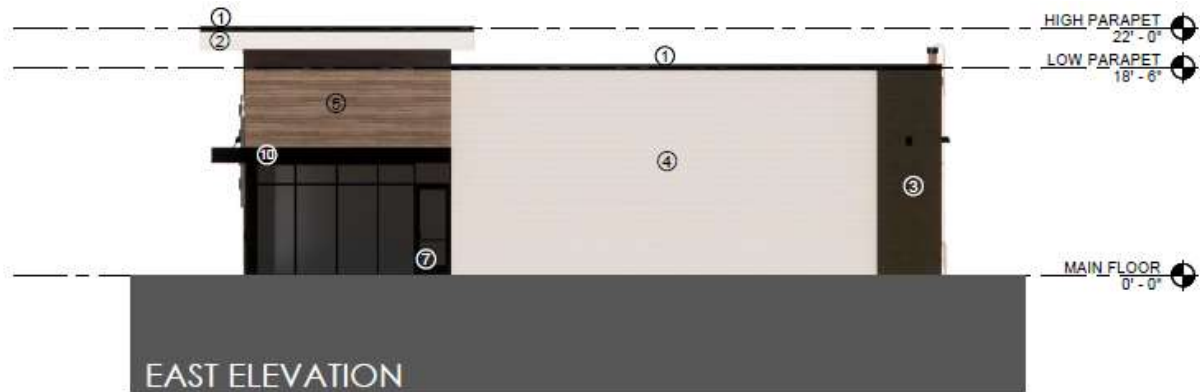
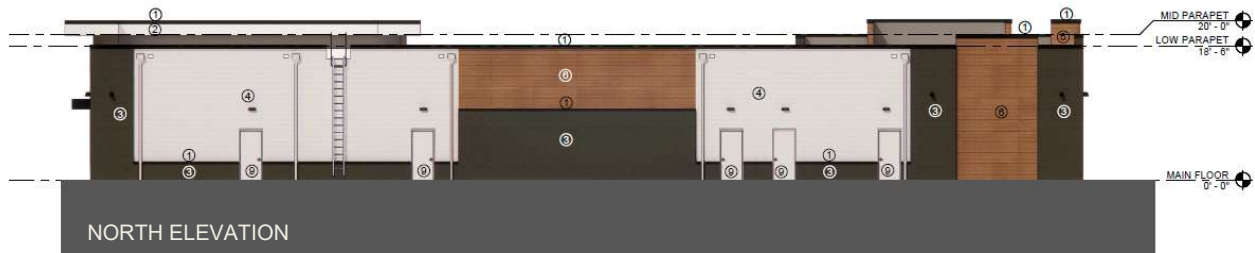
*Color: The similarity or compatibility of existing colors of exterior walls and roofs of buildings in the area shall be considered in the construction or alteration of a building.*

The applicant proposes the building features to be a very neutral color palate. The applicant proposes dark brown fiber cement, pac-clad aluminum panels in “stone white”, a pecan color fiber cement panels, and “black velour” bricks. Staff finds no issues with the choice of colors.

*Architectural features: Architectural features, including but not limited to, cornices, entablatures, doors, windows, shutters, and fanlights, prevailing in the immediate area, shall be considered in the construction or alteration of a building. It is not intended that the details of existing buildings be duplicated precisely, but those features should be regarded as suggestive of the extent, nature, and scale of details that would be appropriate for new buildings or alterations.*

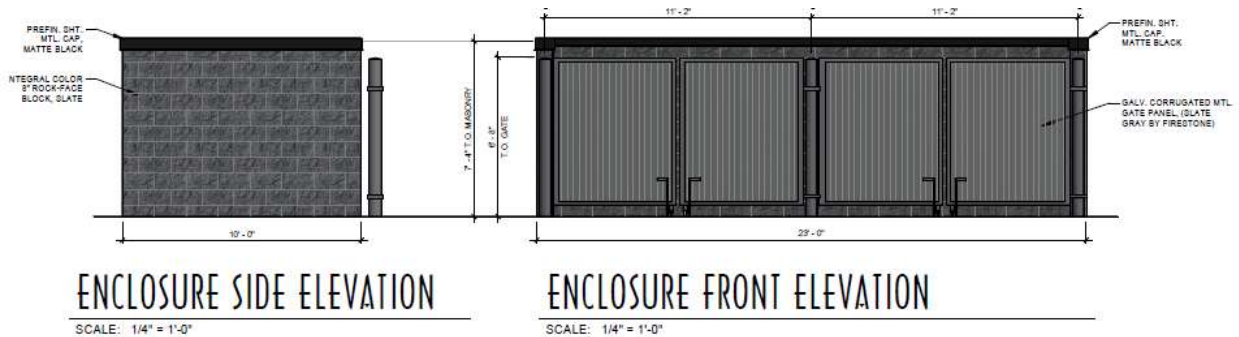
Architectural features of the new building include the flat roof, with a slight variation where the parapets are located. The applicant proposes window canopies along the south and east elevations and material changes for the north and west elevations. These style features and materials maintain an identity while being generally consistent with neighboring buildings.





- 7) Trash Dumpster Site: The dumpster and enclosure are located on the west edge of the property. This enclosure will be made of rock face block in a dark gray color and metal to match the materials used on the principal structure. It will have three sets of doors to operate towards the east where a truck can approach it. The enclosure will

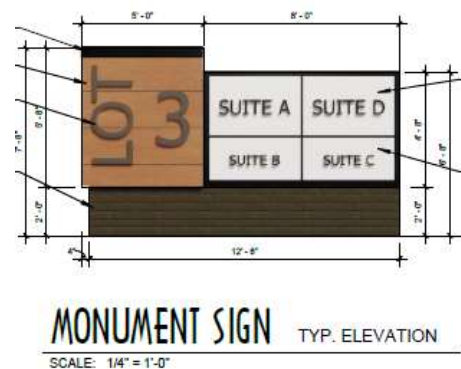
measure 10 feet by 23 feet and will be 7 feet high. **The dumpster facility location and enclosure are acceptable.**



- 8) **Lighting:** The HWY-1 District regulations do not have specific lighting design guidelines. However, all new site plans require a review of the lighting to consider potential nuisance issues and incompatibilities. The vehicular use area will utilize six, 15-foot high fully downcast and shielded fixtures produced by Lithonia Lighting. The applicant will also propose four smaller fully downcast and shielded fixtures that will be attached to the building for pedestrian lighting. The lighting plan shows that the proposed models will properly light critical areas of the site without producing glare or spillover light directing light on to other properties or right-of-way. **Lighting is acceptable.**
- 9) **Signage:** Separate sign permits will be required for all signage prior to installation. However, the proposed signage plan for the site must be part of this review. The signage plan has been included as an attachment.

Wall signs may only be on two wall surfaces and must be less than 20% of the wall area. Proposed wall signs will need to be similar and proportional to the signs shown on the elevations for a cohesive sign plan at the time of sign permit. For the new building, two wall signs are illustrated on the building on the west and the south elevation. These wall signs meet the quantity and are well within the size requirements.

Freestanding signs are to be evaluated on a case-by-case basis. The intent in this zone is to limit the size, height, and the number of on-premises signs for each permitted use with the objective of discouraging sign clutter and to encourage the highest aesthetic standards for the development site. Freestanding signs are limited in height to 25 feet above the surface of the roadway and their aggregate sign area should not exceed 250 square feet. The applicant proposes a 7.5 foot by 12.5 multi-tenant monument sign that will be constructed of similar materials as the proposed building. **Signage is acceptable.**



- 10) Storm Water Management: The applicant proposes to connect to the Pinnacle Prairie regional storm water basin. This basin has been designed to manage any development on this lot. Accordingly, no additional detention is required. Prior to construction, a City SWPPP permit will still need to be obtained. **Criterion is met, subject to final engineering review prior to issuance of a building permit.**

## TECHNICAL COMMENTS

Cedar Falls Utilities (CFU) has reviewed the proposed site plan. Water, electric, gas, and communications utility services are available in accordance with the service policies of CFU. There is an existing 8" water service stubbed into the lot. The site shows a 12" water service. If a 12" is required, the existing 8" will need to be abandoned in accordance with the CFU service policies. Natural gas is available along Brandilynn Blvd.

The developer is responsible for the construction of a properly sized water system throughout the proposed site. Included in the installation are valves, fire hydrants, and water service connections. Cedar Falls Public Safety will need to review and approve the civil site plan for final hydrant locations. Gas services are owned, installed, and maintained by CFU. If the primary heat source for the new building is natural gas, CFU will install the gas service at no cost to the owner. The general contractor is required to contact CFU for coordination of utility service locations.

The landscaping plan shows trees and other landscaping features in the right of way and/or utility easements. Removal and replacement of the trees or any other landscaping located within these areas that may be disturbed by utility maintenance, repair, or replacement is the responsibility of the property owner.

Any other minor technical issues will be addressed at the time of a building plan review.

A courtesy notice to surrounding property owners was mailed on September 29, 2023.

## STAFF RECOMMENDATION

Staff recommends approval of SP23-012, a commercial site plan for property located at 703 Brandilynn Boulevard in the Hwy-1 Commercial District, subject to:

- 1) Any comments or direction specified by the Planning & Zoning Commission.
- 2) Conformance with all staff recommendations and technical requirements.

## PLANNING & ZONING COMMISSION

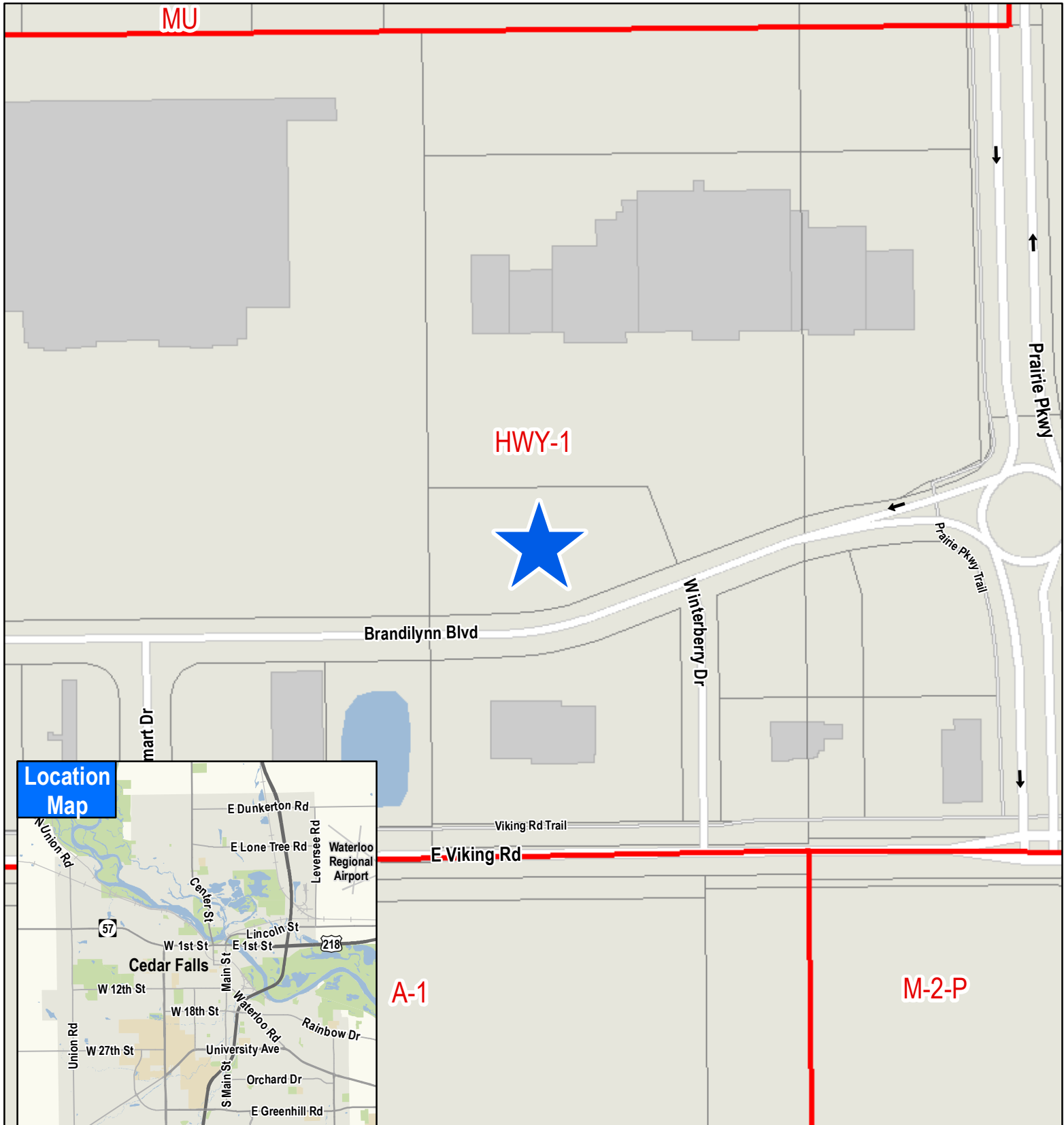
Introduction  
Discussion

Attachments: Location Map  
Complete Site Plan Set  
Proposed Signage Plan & Building Elevations

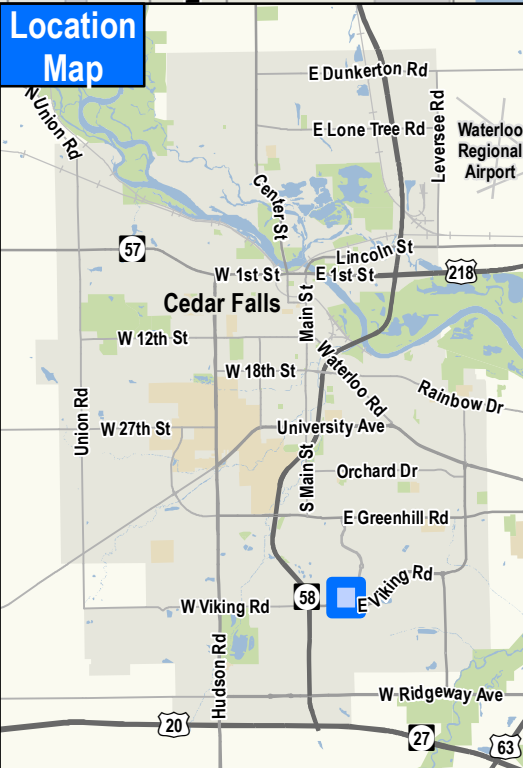
# Cedar Falls Planning & Zoning Commission

## October 11, 2023

Item 3.



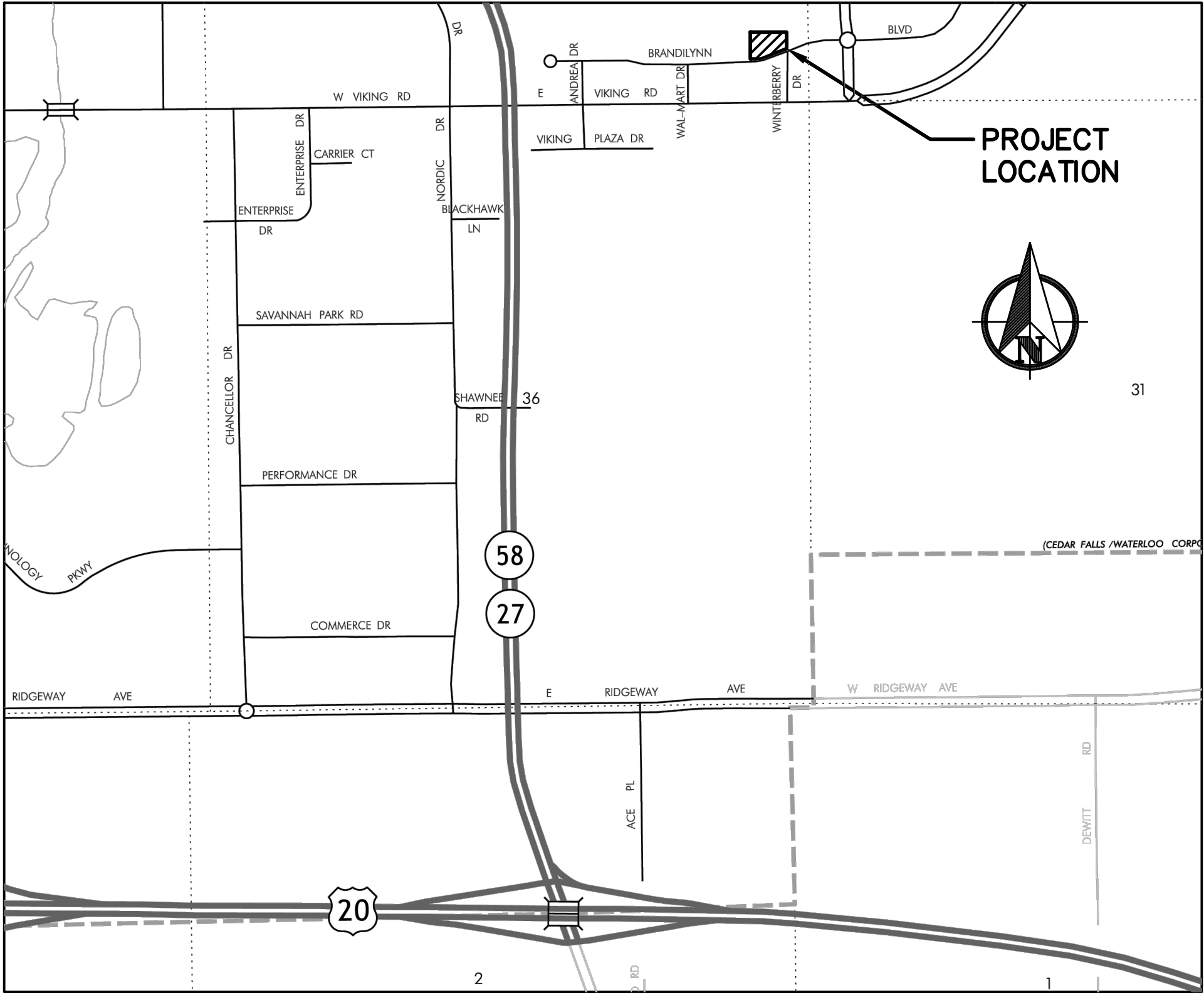
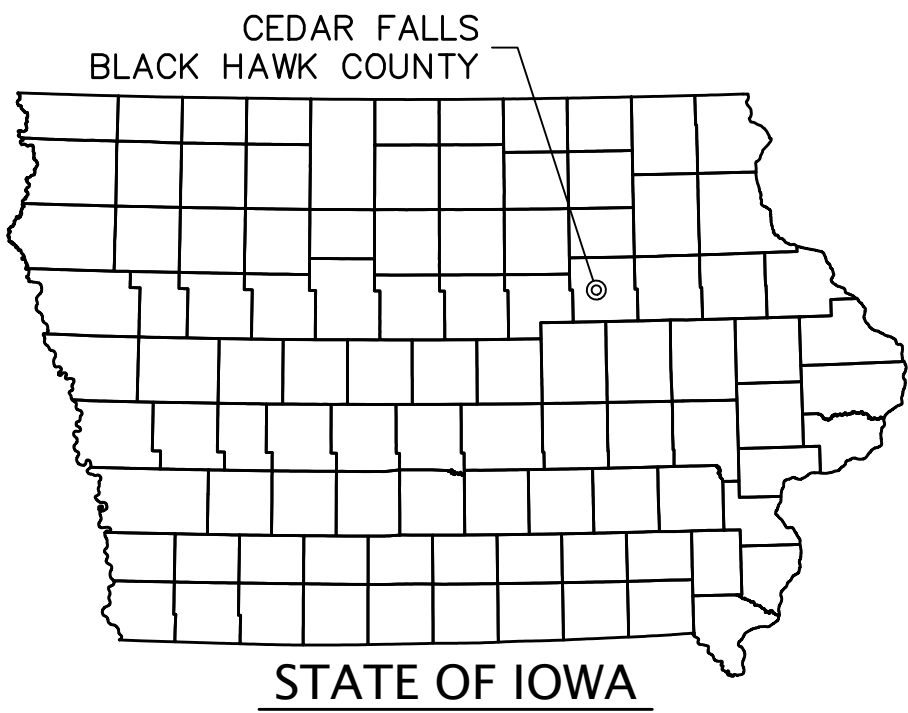
### Location Map



## Retail on Brandilynn Blvd

# LOT 3 RETAIL CENTER IN THE CITY OF CEDAR FALLS, BLACK HAWK COUNTY, IOWA

703 BRANDILYNN BOULEVARD  
NEW COMMERCIAL DEVELOPMENT  
PN: 4305-21



LOCATION MAP  
CEDAR FALLS, IOWA  
NTS

Sheet List Table	
Sheet Number	Sheet Title
C0.1	TITLE
C0.2	SITE DEVELOPMENT PLAN
C0.3	GENERAL NOTES
C1.1	UTILITY PLAN
C2.1	PAVING PLAN – EAST
C2.2	PAVING PLAN – WEST
C3.1	SWPPP – INITIAL
C3.2	SWPPP – DURING CONSTRUCTION
C3.3	SWPPP – FINAL STABILIZATION
C4.1	LANDSCAPE PLAN



THE SITE IMPROVEMENTS SHOWN WITHIN THIS PLAN SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE 2023 VERSION OF THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, ALSO KNOWN AS SUDAS (2023), AS AMENDED BY THE CITY OF CEDAR FALLS, AND, IF PROVIDED, PROJECT SPECIFIC SUPPLEMENTAL SPECIFICATIONS.

C0.1  
2023\_0918  
SUBMITTAL2

DEVELOPER

T & L INVESTMENTS, LLC  
PO BOX 390, 520 MAIN STREET  
HUDSON, IOWA 50643

CIVIL ENGINEER

ROBINSON ENGINEERING  
819 SECOND STREET NE  
INDEPENDENCE, IOWA 50644  
319-334-7211  
PROJECT CONTACT: ALEX BOWER  
ENGINEER: MONICA SMITH

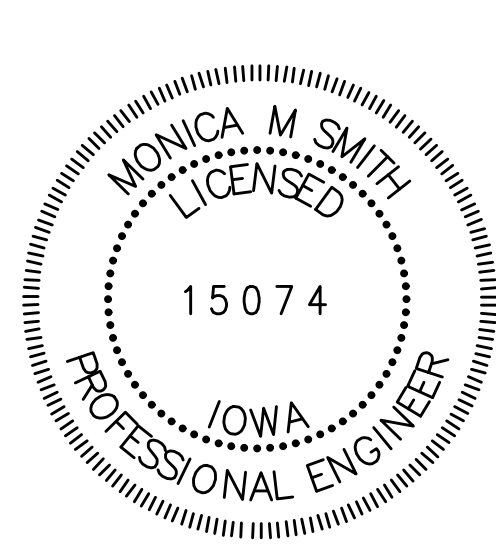
ARCHITECT

LEVI ARCHITECTURE  
1009 TECHNOLOGY PARKWAY  
CEDAR FALLS, IOWA 50613  
319.277.5636



Robinson Engineering Company  
Consulting Engineers

819 Second Street NE  
Independence, Iowa 50644  
319-334-7211



I hereby certify that this Engineering document was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

MONICA M. SMITH      LICENSE NO. 15074

Signature \_\_\_\_\_ Date \_\_\_\_\_  
My renewal date is December 31, 2023  
Pages or sheets covered by this seal: 'C' SHEETS



## SITE DEVELOPMENT PLAN LOT 3 RETAIL CENTER

SITE ADDRESS  
703 BRANDILYNN BOULEVARD, CEDAR FALLS, IOWA 50613  
LOT 3, PINNACLE PRAIRIE COMMERCIAL SOUTH - PHASE IV

PARCEL ID:  
8914-25-476-008

DEVELOPER  
T & L INVESTMENTS, LLC  
PO BOX 390, 520 MAIN STREET  
HUDSON, IOWA 50643

ZONING  
HWY-1

LOT SIZE  
66,942 SF / 1.537 ACRES

SETBACK REQUIREMENTS  
FRONT: 20' (INCLUDES PARKING)  
REAR: NOT NOTED  
SIDE: NOTE NOTED

LOT AREA UTILIZATION  
PROPOSED (WHOLE LOT, 66,942 S.F.)  
BUILDING FOOTPRINT: 8,468 S.F. (12.6%)  
TOTAL PAVEMENT & SIDEWALKS: 33,866 S.F. (50.6%)  
TOTAL VEGETATED SURFACE: 24,608 S.F. (36.8%)

PROPOSED (EXC. LANDSCAPE SETBACK, 55,071 S.F.)  
BUILDING FOOTPRINT: 8,468 S.F. (15.4%)  
TOTAL PAVEMENT & SIDEWALKS: 31,166 S.F. (56.6%)  
TOTAL VEGETATED SURFACE: 15,437 S.F. (28.0%)

### PARKING

REQUIRED PER SEC. 26-220, (a), 2, b, 4.

30. Restaurant, fast food, drive-in or carryout. One parking space for every 100 square feet of gross floor area, plus one parking space for every two employees with a minimum of five parking spaces for employee parking. Where drive-up window facilities are proposed, five stacking spaces shall be provided per window.
35. Shopping centers or retail stores, shops or supermarkets over 2,000 square feet in gross floor area; 4½ parking stalls per 1,000 square feet of gross floor area.

### CALCULATIONS:

RETAIL FLOOR AREA REDUCTION:  $3,131 \text{ SF} \times .9 = 2,818 \text{ SF}$   
RESTAURANT FLOOR AREA REDUCTION:  $4,820 \text{ SF} \times .9 = 4,338 \text{ SF}$   
RESTAURANT EMPLOYEES, MAX SHIFT PROJECTED: 8 EMPLOYEES  
RETAIL FLOOR AREA =  $2,818 \text{ SF} / 1,000 \times 4.5 = 13 \text{ SPACES}$   
RESTAURANT FLOOR AREA =  $4,338 \text{ SF} / 100 = 44 \text{ SPACES}$   
RESTAURANT EMPLOYEES = 16 EMP. / 2 = 8 SPACES  
REQUIRED PARKING = 65 SPACES  
PROVIDED PARKING = 69 SPACES

FLOOD PLAIN  
NOT APPLICABLE

STORM WATER MANAGEMENT  
REGIONAL

### PROJECT CONTROL

	BM	CP	
CP 200	N-3641827.83	E-5207747.81	Z-954.58 MAG ON INTAKE TOP
CP 201	N-3641828.93	E-5207938.95	Z-954.11 MAG ON INTAKE TOP
CP 202	N-3641686.09	E-5208001.08	Z-955.84 MAG ON INTAKE TOP
CP 203	N-3641631.04	E-5207850.01	Z-958.09 MAG ON INTAKE TOP
CP 204	N-3641616.49	E-5207690.44	Z-960.93 MAG ON INTAKE TOP

The Coordinate Basis for this survey and the subsequent Basis of Bearing is the Iowa State Plane Coordinate System North Zone (1401)  
Horizontal Control NAD 83 (2007), Vertical Control NAVD88.  
Control was acquired by localizing into the Black Hawk County GPS Control System utilizing points 11, 15, 23, 30, 98, 107, 108, 109, 161, 171, 172 and projected from the cross of 11-171 & 30-172.  
Scale factor 1.0000892152 applied.  
Held 11, 23, 30, 108, 161, 171, 172 for Horizontal & Vertical Calibration.  
Projection Point: Northing = 3,645,129.22' Easting = 5,208,107.61'

Robinson Engineering Company  
Consulting Engineers

819 Second Street NE  
Independence, Iowa 50644  
319.334.7211

SITE DEVELOPMENT PLAN

LOT 3 RETAIL CENTER  
PN: 4305-21  
T & L INVESTMENTS, LLC  
PO BOX 390, 520 MAIN STREET  
HUDSON, IOWA 50643

C0.2  
2023\_0918  
SUBMITTAL2



TRAFFIC CONTROL

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH ALL APPLICABLE JURISDICTIONAL REQUIREMENTS.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO AND BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
2. THE SITE IMPROVEMENTS SHOWN WITHIN THIS PLAN SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE 2023 VERSION OF THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, ALSO KNOWN AS SUDAS (2023) AS AMENDED BY THE CITY OF CEDAR FALLS UNLESS SPECIFICALLY STATED OTHERWISE IN THESE PLANS, THE PROJECT MANUAL (IF APPLICABLE), OR CITY AND OTHER APPLICABLE ORDINANCES. THIS INCLUDES, IF PROVIDED, PROJECT SPECIFIC SUPPLEMENTAL SPECIFICATIONS.
3. ANY QUANTITIES SHOWN ON THE CIVIL SHEETS (C#.#) ARE TO ASSIST THE BIDDER. THE BIDDER/CONTRACTOR SHALL MAKE A FINAL DETERMINATION OF THE QUANTITIES REQUIRED TO COMPLETE THE WORK AND THE BID SHALL BE ON THE BASIS OF THE BIDDER/CONTRACTOR'S OWN CALCULATIONS. ANY COMMENT RELATED TO QUANTITY OR PAYMENT ON THE CIVIL SHEETS IS SOLELY PROVIDED TO ASSIST THE BIDDER/CONTRACTOR IN THE PREPARATION OF BIDDING AND SHALL NOT BE CAUSE FOR CHANGE ORDER REQUEST.
4. CONSTRUCTION SURVEY FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE ENGINEERING DEPARTMENTS AND UTILITY COMPANIES PRIOR TO CONSTRUCTION. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO ANY EXISTING UTILITY. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES NOTICE TO IOWA ONE CALL (1-800-292-8989) NOT LESS THAN 48 HOURS BEFORE EXCAVATION, EXCLUDING WEEKENDS AND LEGAL HOLIDAYS.
6. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, LOCATE AND DETERMINE THE UNDERGROUND UTILITIES ON THE PROJECT SITE. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES.
7. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO BECOME FULLY FAMILIAR WITH THE EXISTING CONDITIONS OF THE SITE. FAILURE TO VISIT THE SITE SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING THE WORK IN ACCORDANCE WITH THESE DRAWINGS.
8. THE CONTRACTOR SHALL VERIFY AT THE SITE, ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICT PRIOR TO PROCEEDING WITH THE WORK.
9. DRAWING DIMENSIONS SHALL GOVERN OVER SCALING OF DRAWINGS. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS. NOTES AND DETAILS ON THE DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OUTSIDE THE CONSTRUCTION LIMITS RESULTING FROM NEGLIGENCE.
11. CONTRACTOR SHALL PROTECT EXISTING FACILITIES, BUILDINGS, AND OTHER APPURTENANCES NOT TO BE REMOVED FROM THE SITE DURING THE CONSTRUCTION ACTIVITIES.
12. CONTRACTOR SHALL CONFINE WORK TO THE CONSTRUCTION LIMITS AND EASEMENTS PROVIDED OR EASEMENTS OBTAINED. COPIES OF ANY EASEMENTS THE CONTRACTOR OBTAINS FOR CONSTRUCTION WORK ON THIS PROJECT SHALL BE PROVIDED TO THE OWNER.
13. CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE AND STAGING PLAN A MINIMUM OF TWO (2) DAYS PRIOR TO THE PRECONSTRUCTION MEETING.
14. CONTRACTOR SHALL NOT INTERRUPT ACCESS TO OTHER PROPERTIES, WHERE INGRESS/EGRESS IS PERMITTED, DURING CONSTRUCTION.
15. CONTRACTOR SHALL INSTALL INITIAL EROSION CONTROL MEASURES FOR INSPECTION BY THE CITY PRIOR TO EARTH MOVING ACTIVITIES.
16. CONTRACTOR SHALL COORDINATE TEMPORARY DISRUPTION OF UTILITY SERVICES WITH THE CITY OF CEDAR FALLS, AFFECTED UTILITY COMPANIES, AND/OR AFFECTED PROPERTY OWNERS WHEN UTILITY SERVICES ARE INTERRUPTED DUE TO CONSTRUCTION ACTIVITIES ON THIS PROJECT.
17. TYPE A COMPACTION SHALL BE REQUIRED FOR EXCAVATION/EMBANKMENT WORK ON THIS PROJECT. ADDITIONAL COMPACTION REQUIREMENTS MAY BE REQUIRED FOR BUILDING CONSTRUCTION. REFER TO APPLICABLE SPECIFICATIONS FOR THAT WORK.
18. THIS PLAN REFERENCES NYLOPLAST STRUCTURES WITH THE INTENT TO SPECIFY AN ENGINEERED PVC STRUCTURE AND IS NOT INTENDED TO INDICATE A SPECIFIC BRAND IS REQUIRED. STRUCTURES SHALL BE NYLOPLAST BRAND OR EQUIVALENT. NYLOPLAST IS A BRAND NAME AFFILIATED WITH ADS PIPE.
19. THE CONTRACTOR WILL BE PROVIDED WITH THE STORM WATER POLLUTION PREVENTION PLAN AND ACCOMPANYING NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT NUMBER 2 (SWPPP) DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SWPPP MANAGEMENT, INSPECTIONS, EXECUTION, AND REMOVAL OF DEVICES. IN ADDITION, CONTRACTOR SHALL SUBMIT 'NOTICE OF DISCONTINUATION' TO THE IOWA DNR AT TIME SITE IS CONSIDERED FULLY ESTABLISHED, SUBJECT TO CITY APPROVAL.

APPLICABLE SUDAS SECTIONS:

Iowa Statewide Urban Design and Specifications (SUDAS) is available publicly at <https://iowasudas.org>

The following specifications sections are brought to the attention of the contractor for work on this project. Exclusion from this list shall not exempt other sections from applicability to work on this project.  
For all items called out in subsection 1.08 MEASUREMENT AND PAYMENT, '1. Measurement:' and '2. Payment:' shall be excluded. '3. Includes:' shall still apply to all sections. Any reference to 'Unit price' or similar context shall refer to The Contract arrangement for payment in the Project Manual for this project. EXAMPLE: where a 6" Gate valve is called out in the Plans all incidentals under Division 5, Section 5020, Part 1, Sub Section 1.08, A., 3, shall apply.

**DIVISION 2: Earthwork**  
2010: Earthwork, Subgrade, and Subbase

**DIVISION 3: Trench Excavation and Backfill**  
3010: Trench Excavation and Backfill  
3020: Trenchless Construction (Boring, Jacking, and Tunneling)

**DIVISION 4: Sewers and Drains**  
4010: Sanitary Sewers  
4020: Storm Sewers  
4060: Cleaning, Inspection, and Testing of Sewers

**DIVISION 5: Water Mains and Appurtenances**  
5010: Pipe Fittings  
5020: Valves, Fire Hydrants, and Appurtenances  
5030: Testing and Disinfection

**DIVISION 6: Structures for Sanitary and Storm Sewers**  
6010: Structures for Sanitary and Storm Sewers  
6030: Cleaning, Inspection, and Testing of Structures

**DIVISION 7: Streets and Related Work**  
7010: Portland Cement Concrete Pavement  
7030: Sidewalks, Shared Used Paths, and Driveways

**DIVISION 8: Traffic Control**  
8020: Pavement Markings  
8030: Temporary Traffic Control

**DIVISION 9: Site Work and Landscaping**  
9010: Seeding  
9030: Plant Material and Planting  
9040: Erosion and Sediment Control  
9060: Chain Link Fence

**Division 11: Miscellaneous**  
11,010: Construction Survey  
11,050: Concrete Washout

APPLICABLE SUDAS DETAILS:

Iowa Statewide Urban Design and Specifications (SUDAS) is available publicly at <https://iowasudas.org>

The following details are brought to the attention of the contractor for work on this project. Exclusion from this list shall not exempt other details from applicability to site work on this project.

**DIVISION 2: Earthwork**  
2010.101 - DETAILS OF EMBANKMENTS AND REBUILDING EMBANKMENTS  
2010.102 - DESIGNATION OF ROADWAY EARTHWORK ITEMS

**DIVISION 3: Trench Excavation and Backfill**  
3010.101 - Trench Bedding and Backfill Zones  
3010.103 - Flexible Gravity Pipe Trench Bedding  
3010.104 - Pressure Pipe Trench Bedding

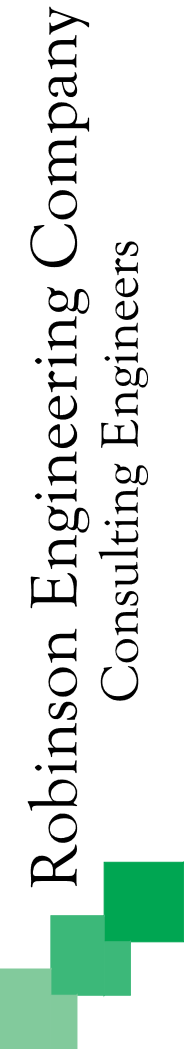
**DIVISION 4: Sewers and Drains**  
4010.201 - Sanitary Sewer Service Stub  
4010.203 - Sanitary Sewer Cleanout  
4020.211 - Storm sewer Pipe Connections

**DIVISION 5: Water Mains and Appurtenances**  
5010.101 - Thrust Blocks  
5010.102 - Tracer System  
5010.901 - Minimum Clearance Between Water Service and Structure  
5020.201 - Fire Hydrant Assembly

**DIVISION 7: Streets and Related Work**  
7010.101 - Joints  
7010.102 - PCC Curb Details [6" Standard Curb]  
7010.904 - Typical Jointing Layout  
7030.102 - Concrete Driveway, Type B [With Radii]  
7030.202 - Curb Details for Class A Sidewalk [Detail 3]

**DIVISION 8: Traffic Control**  
8030-102 - Work off of Pavement with Minor Encroachment onto Traveled Way

**DIVISION 9: Site Work and Landscaping**  
9030.101 - Planting Pit  
9030.102 - Tree Staking, Guying, And Wrapping  
9040.102 - Filter Berm and Filter Sock  
9040.103 - Rolled Erosion Control Product (RECP) Installation on Slopes  
9040.104 - Rolled Erosion Control Product (RECP) Installation in Channel  
9040.114 - Sediment Basin with Emergency Spillway  
9040.119 - Silt Fence  
9040.120 - Stabilized Construction Entrance



819 Second Street NE  
Independence, Iowa 50644  
319.334.7211

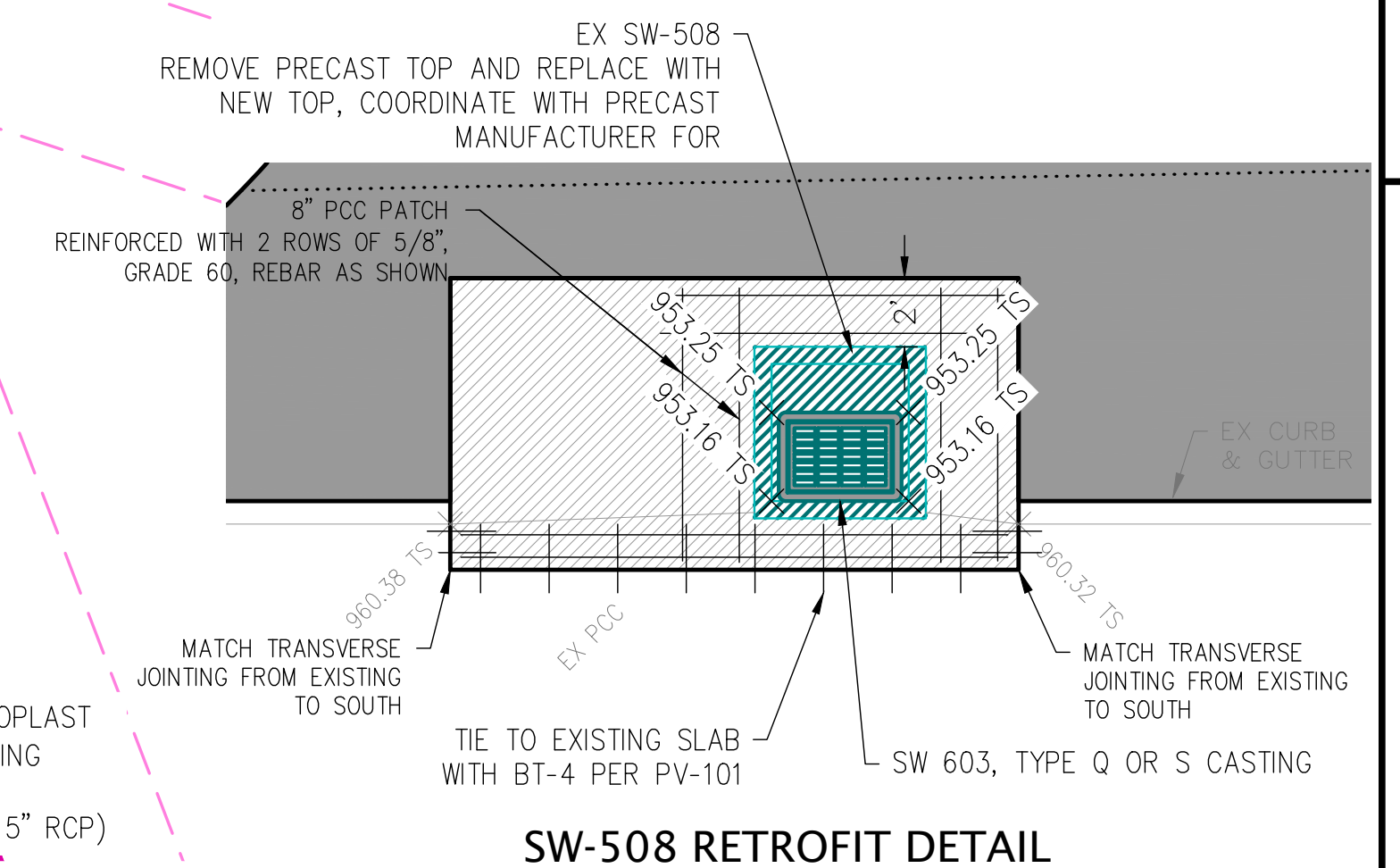
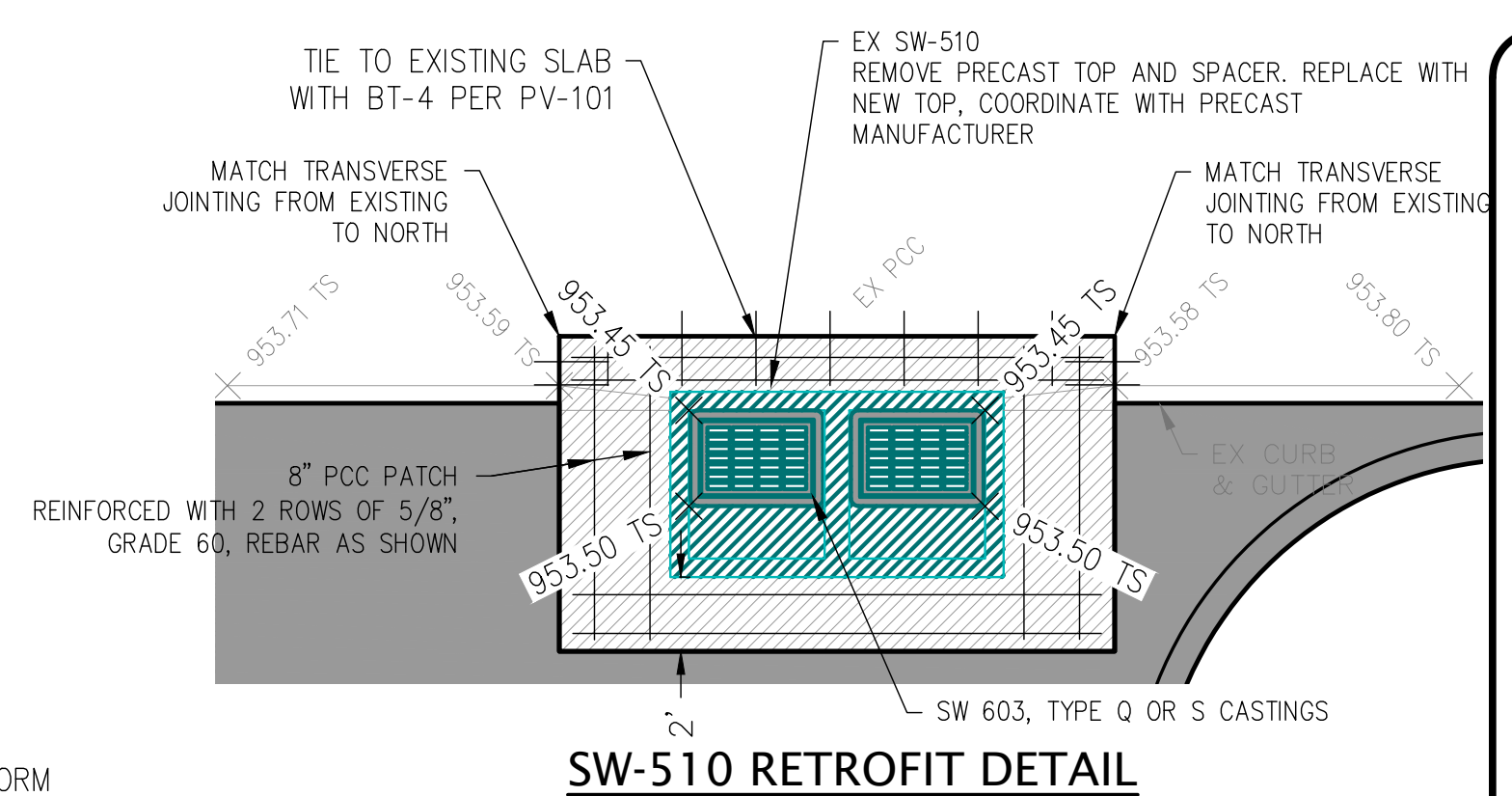
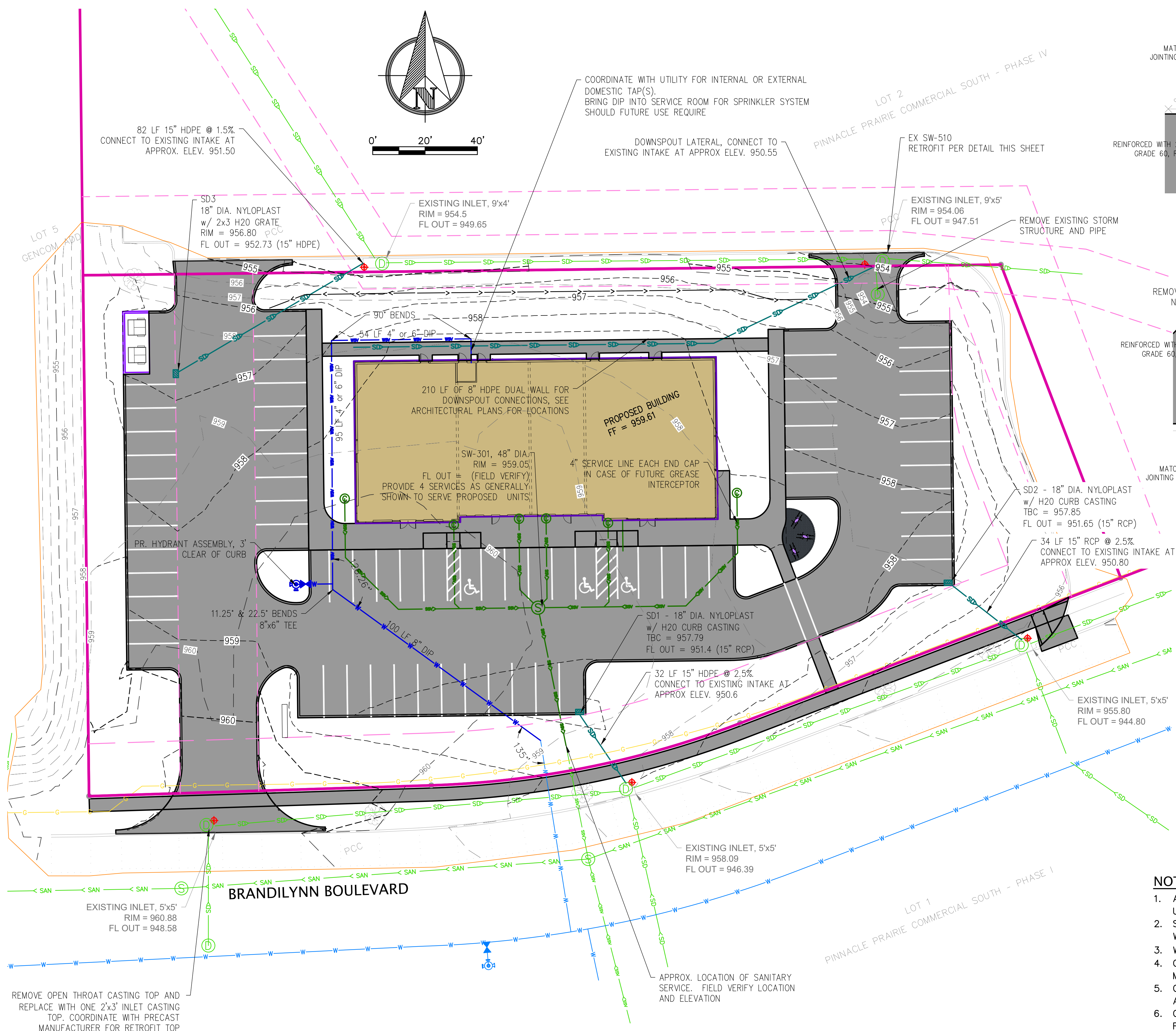
GENERAL NOTES

LOT 3 RETAIL CENTER  
PN: 4305-21  
T & L INVESTMENTS, LLC  
PO BOX 390, 520 MAIN STREET  
HUDSON, IOWA 50643

C0.3

2023\_0918  
SUBMITTAL2

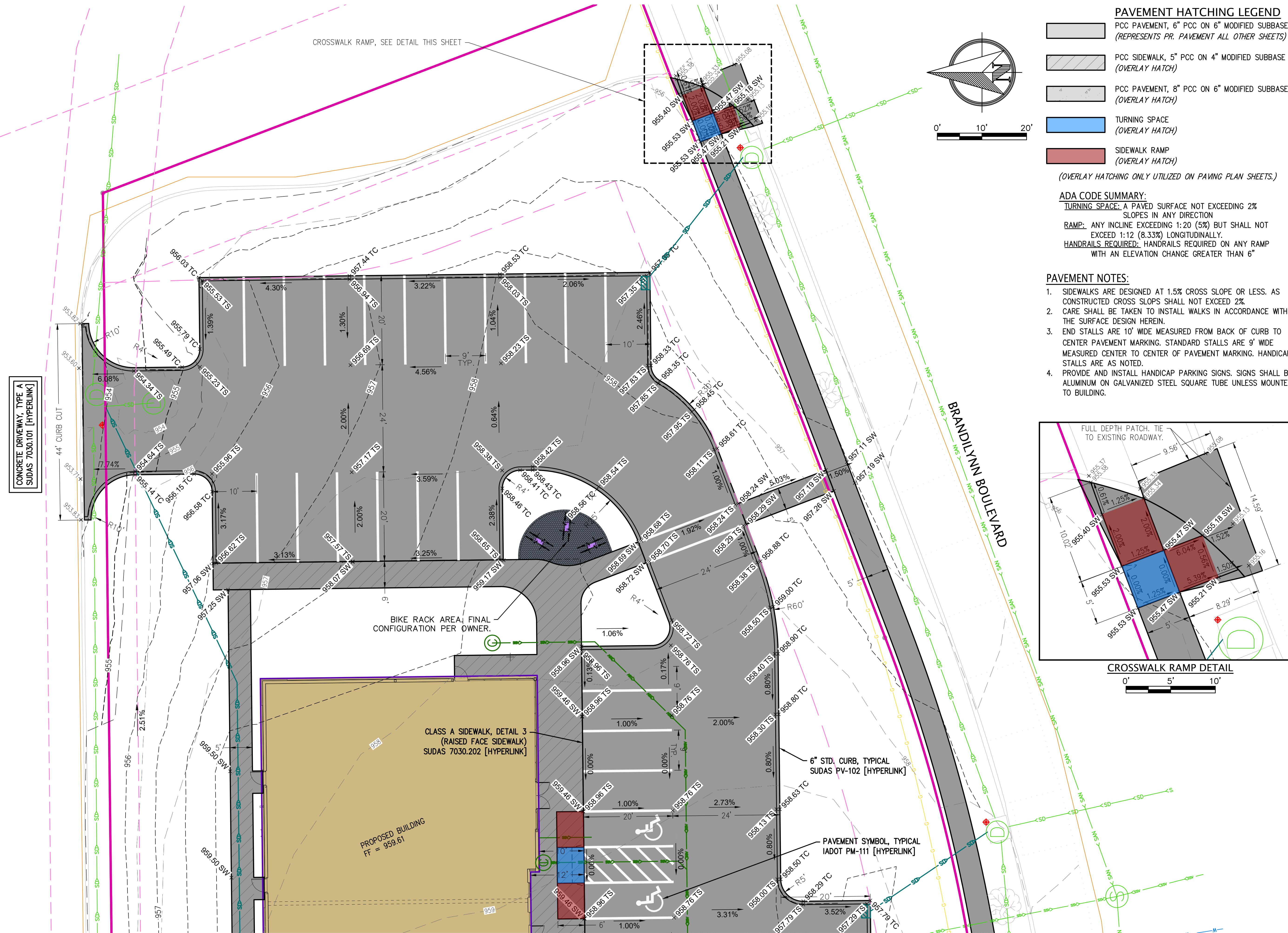




**NOTES:**

1. ALL HDPE DRAINAGE PIPE SHALL BE OF DUAL WALL CONSTRUCTION UNLESS SPECIFICALLY SPECIFIED OTHERWISE.
2. STORM PIPING SHALL BE RCP WHERE PLACED WITHIN CITY RIGHT OF WAY.
3. WATER LINE SHALL BE BURIED TO MAINTAIN 6' COVER.
4. CONTRACTOR SHALL FIELD VERIFY LOCATION, ELEVATION, AND MATERIAL OF ALL WATER, STORM, AND SANITARY CONNECTIONS.
5. CONFIRM WATER SERVICE ENTRANCE LOCATION TO BUILDING WITH ARCHITECTURAL AND MECHANICAL PLANS.
6. COORDINATE CONNECTION TO MUNICIPAL WATER MAIN WITH CEDAR FALLS UTILITIES STAFF.
7. SANITARY SERVICE SHALL BE INSTALLED WITH TRACER WIRE. PLACE TRACER STATION AT CLEAN OUT WHERE SERVICE EXISTS BUILDING.
8. PLACE LIGHT POLES 3' CLEAR FROM EDGE PAVING/BACK OF CURB.





PAVEMENT HATCHING LEGEND

- PCC PAVEMENT, 6" PCC ON 6" MODIFIED SUBBASE  
(REPRESENTS PR. PAVEMENT ALL OTHER SHEETS)
- PCC SIDEWALK, 5" PCC ON 4" MODIFIED SUBBASE  
(OVERLAY HATCH)
- PCC PAVEMENT, 8" PCC ON 6" MODIFIED SUBBASE  
(OVERLAY HATCH)
- TURNING SPACE  
(OVERLAY HATCH)
- SIDEWALK RAMP  
(OVERLAY HATCH)

(OVERLAY HATCHING ONLY UTILIZED ON PAVING PLAN SHEETS.)

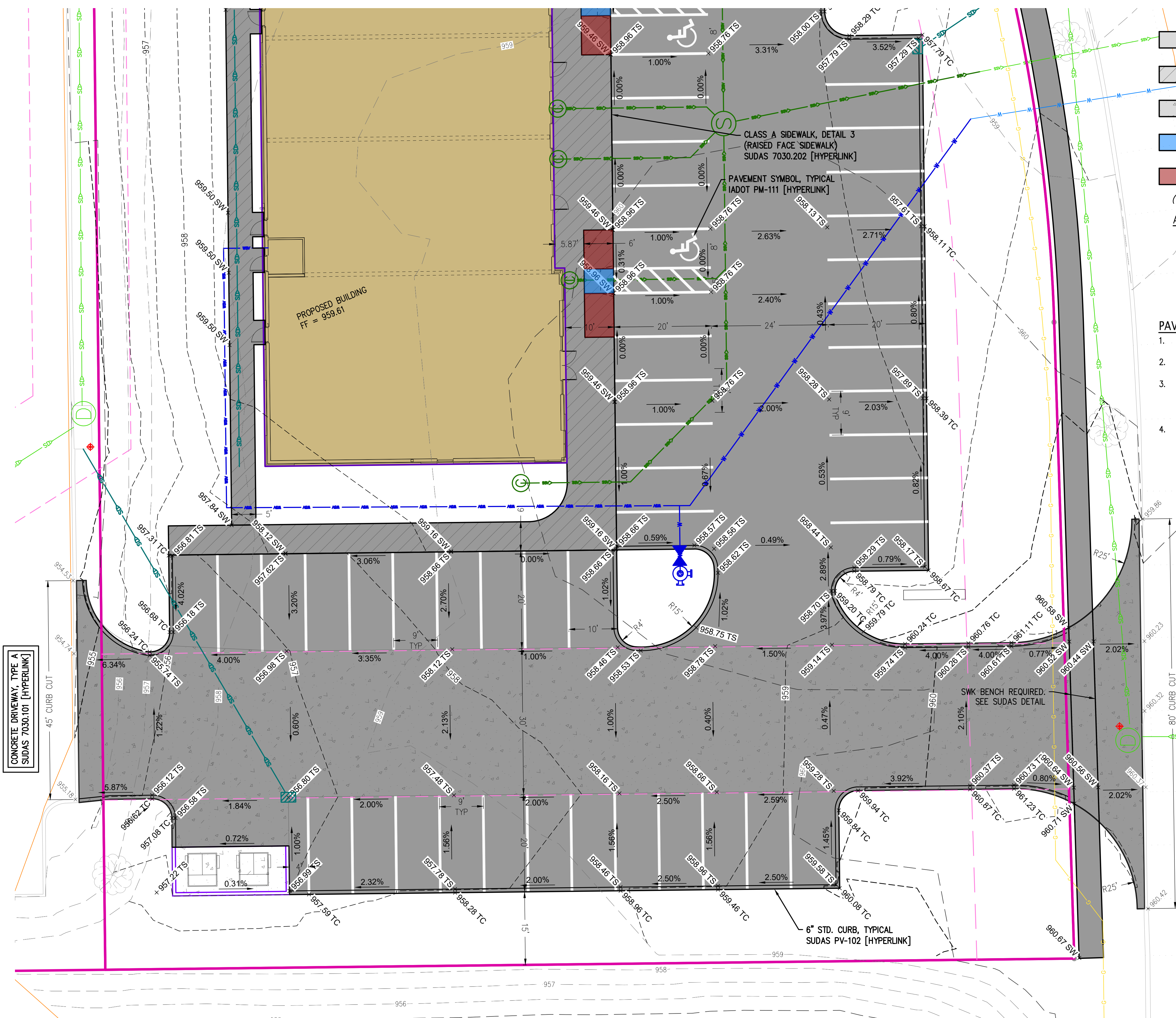
ADA CODE SUMMARY:

- TURNING SPACE:** A PAVED SURFACE NOT EXCEEDING 2% SLOPES IN ANY DIRECTION
- RAMP:** ANY INCLINE EXCEEDING 1:20 (5%) BUT SHALL NOT EXCEED 1:12 (8.33%) LONGITUDINALLY.
- HANDRAILS REQUIRED:** HANDRAILS REQUIRED ON ANY RAMP WITH AN ELEVATION CHANGE GREATER THAN 6"

PAVEMENT NOTES:

- SIDEWALKS ARE DESIGNED AT 1.5% CROSS SLOPE OR LESS. AS CONSTRUCTED CROSS SLOPES SHALL NOT EXCEED 2%.
- CARE SHALL BE TAKEN TO INSTALL WALKS IN ACCORDANCE WITH THE SURFACE DESIGN HEREIN.
- END STALLS ARE 10' WIDE MEASURED FROM BACK OF CURB TO CENTER PAVEMENT MARKING. STANDARD STALLS ARE 9' WIDE MEASURED CENTER TO CENTER OF PAVEMENT MARKING. HANDICAP STALLS ARE AS NOTED.
- PROVIDE AND INSTALL HANDICAP PARKING SIGNS. SIGNS SHALL BE ALUMINUM ON GALVANIZED STEEL SQUARE TUBE UNLESS MOUNTED TO BUILDING.





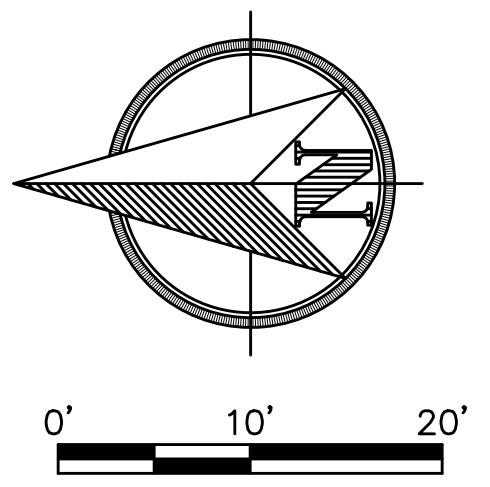
**PAVEMENT HATCHING LEGEND**

- PCC PAVEMENT, 6" PCC ON 6" MODIFIED SUBBASE (REPRESENTS PR. PAVEMENT ALL OTHER SHEETS)
- PCC SIDEWALK, 5" PCC ON 4" MODIFIED SUBBASE (OVERLAY HATCH)
- PCC PAVEMENT, 8" PCC ON 6" MODIFIED SUBBASE (OVERLAY HATCH)
- TURNING SPACE (OVERLAY HATCH)
- SIDEWALK RAMP (OVERLAY HATCH)

(OVERLAY HATCHING ONLY UTILIZED ON PAVING PLAN SHEETS.)

**ADA CODE SUMMARY:**  
**TURNING SPACE:** A PAVED SURFACE NOT EXCEEDING 2% SLOPES IN ANY DIRECTION  
**RAMP:** ANY INCLINE EXCEEDING 1:20 (5%) BUT SHALL NOT EXCEED 1:12 (8.33%) LONGITUDINALLY.  
**HANDRAILS REQUIRED:** HANDRAILS REQUIRED ON ANY RAMP WITH AN ELEVATION CHANGE GREATER THAN 6"

- PAVEMENT NOTES:**
- SIDEWALKS ARE DESIGNED AT 1.5% CROSS SLOPE OR LESS. AS CONSTRUCTED CROSS SLOPS SHALL NOT EXCEED 2%.
  - CARE SHALL BE TAKEN TO INSTALL WALKS IN ACCORDANCE WITH THE SURFACE DESIGN HEREIN.
  - END STALLS ARE 10' WIDE MEASURED FROM BACK OF CURB TO CENTER PAVEMENT MARKING. STANDARD STALLS ARE 9' WIDE MEASURED CENTER TO CENTER OF PAVEMENT MARKING. HANDICAP STALLS ARE AS NOTED.
  - PROVIDE AND INSTALL HANDICAP PARKING SIGNS. SIGNS SHALL BE ALUMINUM ON GALVANIZED STEEL SQUARE TUBE UNLESS MOUNTED TO BUILDING.



BRANDILYNN BOULEVARD

CONCRETE DRIVEWAY, TYPE A  
SUDAS 7030.101 [HYPERLINK]

CONCRETE DRIVEWAY, TYPE A  
SUDAS 7030.101 [HYPERLINK]

Robinson Engineering Company  
Consulting Engineers

819 Second Street NE  
Independence, Iowa 50644  
319.334.7211

PAVING PLAN - WEST

LOT 3 RETAIL CENTER  
PN: 4305-21  
T & L INVESTMENTS, LLC  
PO BOX 390, 520 MAIN STREET  
HUDSON, IOWA 50643

C2.2

2023\_0918  
SUBMITTAL2

Item 3

36



SEQUENCE OF ACTIVITIES

INITIAL  
PREPARATION OF SITE FOR MOBILIZATION  
AND COMMENCEMENT OF WORK

1. INSTALL SWPPP BOX
2. ESTABLISH PERIMETER CONTROLS
3. INSTALL TEMPORARY CONSTRUCTION ENTRANCE
4. INSTALL PORTABLE SANITARY FACILITY
5. ESTABLISH STAGING & PARKING AREAS
6. ESTABLISH STOCK PILE CONTROLS
7. PLACE INLET PROTECTION DEVICES ON ROADWAY INLETS.

KEY

- ① SWPPP BOX
- ② PORTABLE SANITARY FACILITY
- ③ CONSTRUCTION DUMPSTER
- ④ CONSTRUCTION PARKING
- ⑤ CONSTRUCTION TRAILER
- ⑥ MATERIAL STORAGE
- ⑦ STABILIZED CONSTRUCTION ENTRANCE COMPLY WITH SUDAS 9040.12
- ⑧ CONCRETE WASHOUT

LEGEND

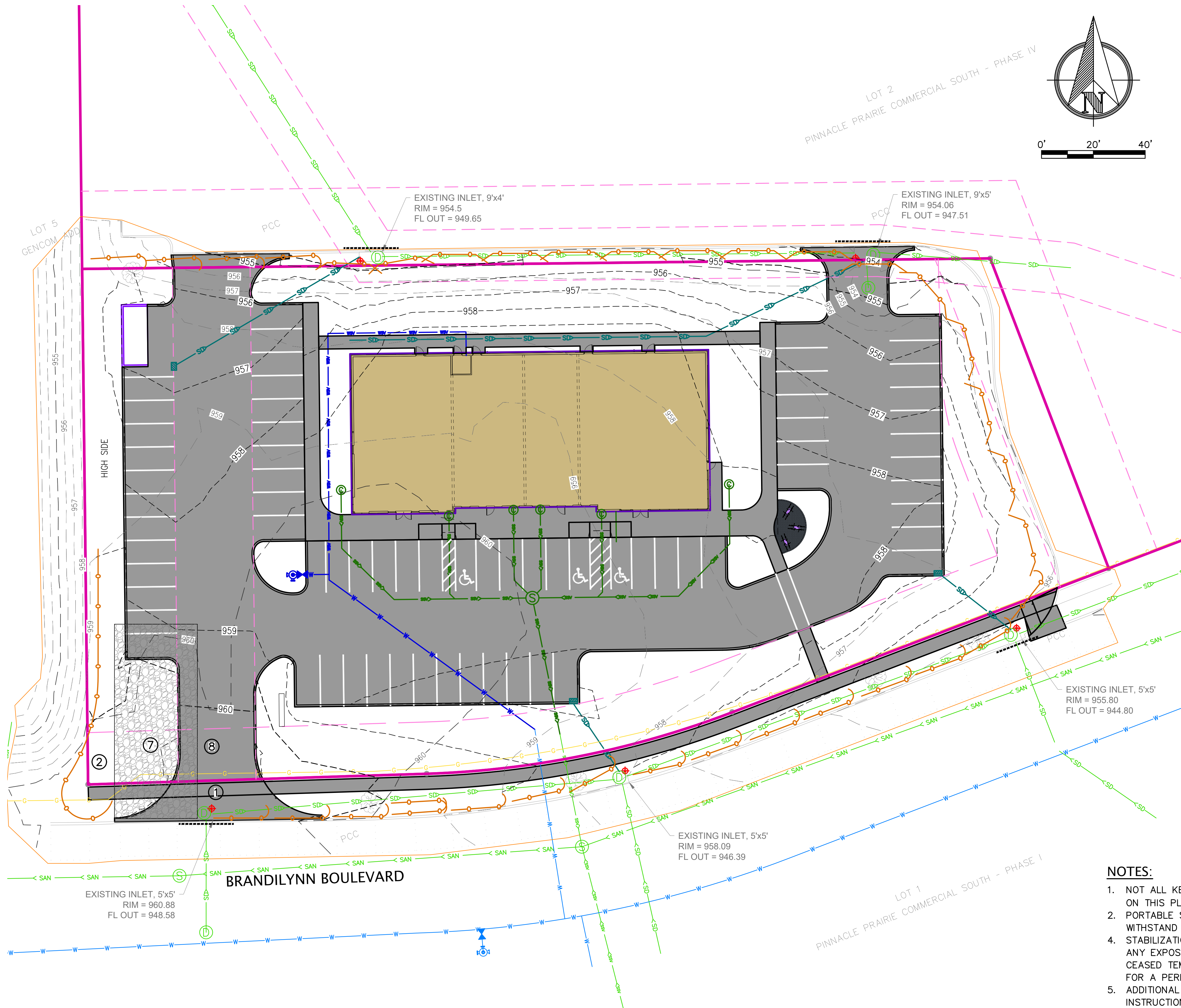
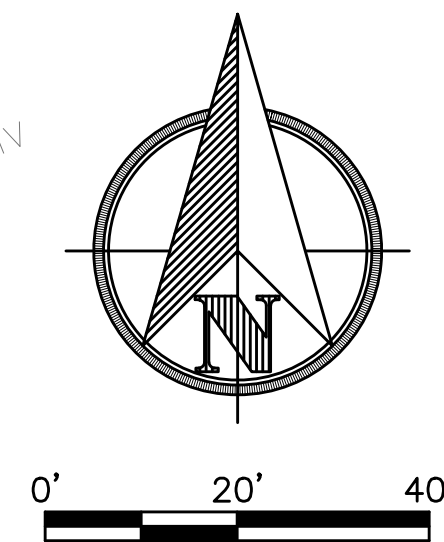
- PCC
- TOPSOIL, SEEDING, AND MULCHING (MAY INCLUDE LANDSCAPING, REFER TO LANDSCAPING PLAN)
- GRANULAR SURFACING PERMANENT OR TEMPORARY
- EROSION MULCHING
- TEMPORARY ROLLED EROSION CONTROL PRODUCT
- INLET PROTECTION – SILT BAG
- INLET PROTECTION – SOCK
- 9" – FILTER SOCK, MULCH FILL\*\*
- SILT FENCE

\*\* MAY SUBSTITUTE WITH SILT FENCE OR MULCH BERM WHERE PERMITTED

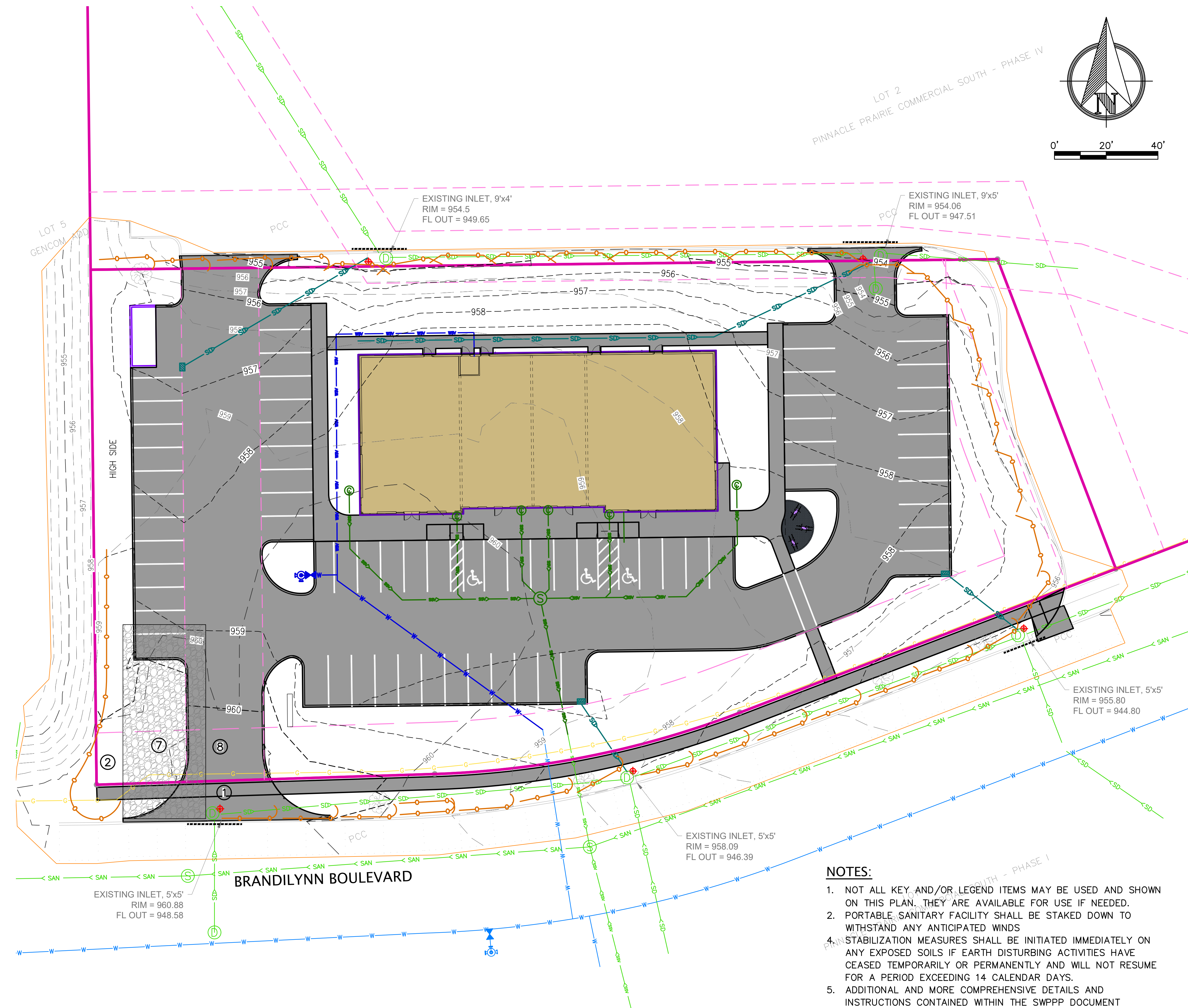
NOTES:

1. NOT ALL KEY AND/OR LEGEND ITEMS MAY BE USED AND SHOWN ON THIS PLAN. THEY ARE AVAILABLE FOR USE IF NEEDED.
2. PORTABLE SANITARY FACILITY SHALL BE STAKED DOWN TO WITHSTAND ANY ANTICIPATED WINDS
4. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY ON ANY EXPOSED SOILS IF EARTH DISTURBING ACTIVITIES HAVE CEASED TEMPORARILY OR PERMANENTLY AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
5. ADDITIONAL AND MORE COMPREHENSIVE DETAILS AND INSTRUCTIONS CONTAINED WITHIN THE SWPPP DOCUMENT
6. CONCRETE SLURRY GENERATED BY WET SAWING SHALL BE VACUUMED OR UTILIZE OTHER ACCEPTABLE CONTAINMENT METHOD TO CAPTURE AND DISPOSE OF THE MATERIAL IN ACCORDANCE WITH APPLICABLE LAWS.

LOT 2  
PINNACLE PRAIRIE COMMERCIAL SOUTH - PHASE IV





**SEQUENCE OF ACTIVITIES****CONSTRUCTION**CONTINUED MAINTENANCE, IMPLEMENTATION,  
AND EVOLUTION OF SWPPP

1. MAINTENANCE
  - 1.A. SWPPP DOCUMENTS
  - 1.B. PERIMETER CONTROLS
  - 1.C. TEMPORARY CONSTRUCTION ENTRANCE
  - 1.D. STOCK PILES
2. SITE GRADING
  - 2.A. INSTALL DETENTION BASIN ON SOUTH END TO OPERATE AS SEDIMENT BASIN DURING CONSTRUCTION.
  - 2.B. PLACE EROSION MULCHING WHEN AREAS ARE NOT BEING WORKED OR ONCE GRADE IS ESTABLISHED
  - 2.C. PLACE PAVEMENT SUBBASE ONCE SUBGRADE PREPARED
  - 2.D. SWEEP STREETS WHEN EROSION IS TRACKED
3. UTILITIES
  - 3.A. PLACE EROSION MULCHING THROUGH DISTURBED AREAS
  - 3.B. PLACE INLET PROTECTION DEVICES FOR NEWLY INSTALLED INTAKES
  - 3.C. PLACE SILT FENCE TO PROTECT CULVERTS
  - 3.D. SWEEP STREETS WHEN EROSION IS TRACKED
4. BUILDING CONSTRUCTION
  - 4.A. MAINTAIN ONSITE CONTROLS
5. SITE PAVING
  - 5.A. INSTALL CONCRETE WASHOUT
  - 5.B. REMOVE TEMPORARY CONSTRUCTION ENTRANCE ONCE REQUIRED TO PREPARE SUBBASE AND PLACE PAVEMENT

**LEGEND**

- PCC
- TOPSOIL, SEEDING, AND MULCHING (MAY INCLUDE LANDSCAPING, REFER TO LANDSCAPING PLAN)
- GRANULAR SURFACING PERMANENT OR TEMPORARY
- EROSION MULCHING
- TEMPORARY ROLLED EROSION CONTROL PRODUCT
- INLET PROTECTION - SILT BAG
- INLET PROTECTION - SOCK
- 9" - FILTER SOCK, MULCH FILL\*\*
- SILT FENCE

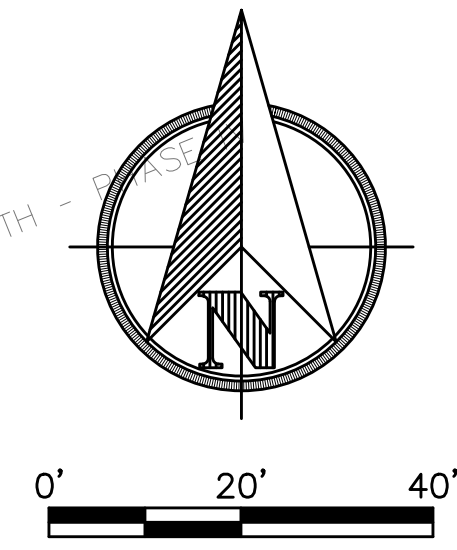
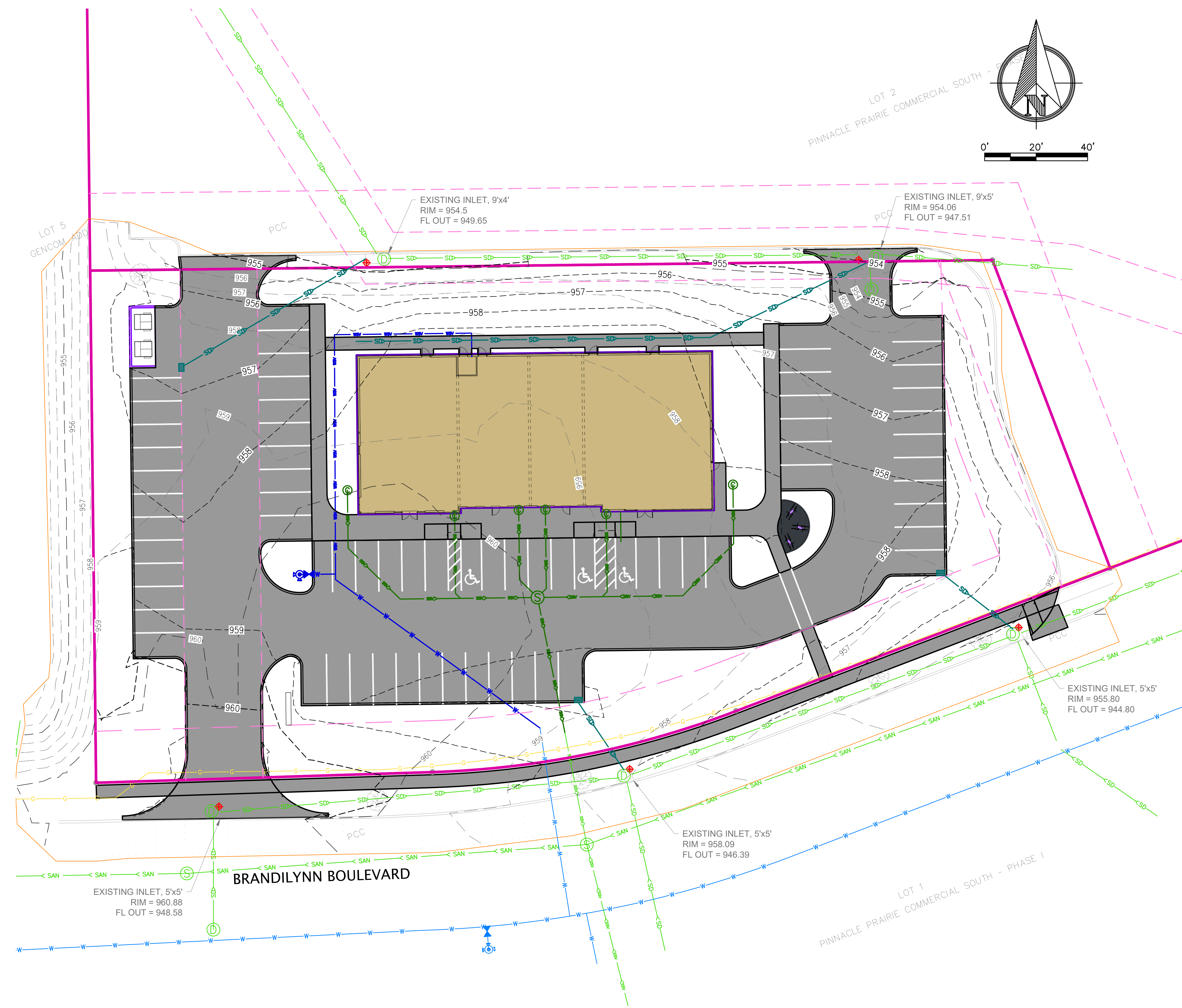
**\*\* MAY SUBSTITUTE WITH SILT FENCE OR MULCH BERM WHERE PERMITTED****KEY**

- ① SWPPP BOX
- ② PORTABLE SANITARY FACILITY
- ③ CONSTRUCTION DUMPSTER
- ④ CONSTRUCTION PARKING
- ⑤ CONSTRUCTION TRAILER
- ⑥ MATERIAL STORAGE
- ⑦ STABILIZED CONSTRUCTION ENTRANCE COMPLY WITH SUDAS 9040.12
- ⑧ CONCRETE WASHOUT

**NOTES:**

1. NOT ALL KEY AND/OR LEGEND ITEMS MAY BE USED AND SHOWN ON THIS PLAN. THEY ARE AVAILABLE FOR USE IF NEEDED.
2. PORTABLE SANITARY FACILITY SHALL BE STAKED DOWN TO WITHSTAND ANY ANTICIPATED WINDS
3. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY ON ANY EXPOSED SOILS IF EARTH DISTURBING ACTIVITIES HAVE CEASED TEMPORARILY OR PERMANENTLY AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
4. ADDITIONAL AND MORE COMPREHENSIVE DETAILS AND INSTRUCTIONS CONTAINED WITHIN THE SWPPP DOCUMENT
5. CONCRETE SLURRY GENERATED BY WET SAWING SHALL BE VACUUMED OR UTILIZE OTHER ACCEPTABLE CONTAINMENT METHOD TO CAPTURE AND DISPOSE OF THE MATERIAL IN ACCORDANCE WITH APPLICABLE LAWS.





SEQUENCE OF ACTIVITIES  
FINAL STABILIZATION

1. REMOVAL OF SILT BASIN
  - 1.A. DREDGE BASINS TO REMOVE ACCUMULATING SILT.
  - 1.B. REMOVE TEMPORARY SILT DEVICE FROM OUTLET STRUCTURE OF BASIN.
2. SPREAD TOP SOIL
3. SEEDING
  - 3.A. REMOVE EROSION FROM DEVICES TO FINISHED GRADE AND PREP SEEDING AREAS
  - 3.B. PLACE SEEDING, MULCHING, AND FERTILIZER
  - 3.C. WATER AS NECESSARY
4. SEEDING ESTABLISHED
  - 4.A. REMOVE ALL TEMPORARY CONTROLS.
  - 4.B. BEGIN DETENTION SYSTEM MAINTENANCE SCHEDULE.

LEGEND

- PCC
- TOPSOIL, SEEDING, AND MULCHING (MAY INCLUDE LANDSCAPING, REFER TO LANDSCAPING PLAN)
- GRANULAR SURFACING PERMANENT OR TEMPORARY
- EROSION MULCHING
- TEMPORARY ROLLED EROSION CONTROL PRODUCT
- INLET PROTECTION – SILT BAG
- INLET PROTECTION – SOCK
- 9" – FILTER SOCK, MULCH FILL\*\*
- SILT FENCE
- \*\* MAY SUBSTITUTE WITH SILT FENCE OR MULCH BERM WHERE PERMITTED

KEY

- 1 SWPPP BOX
- 2 PORTABLE SANITARY FACILITY
- 3 CONSTRUCTION DUMPSTER
- 4 CONSTRUCTION PARKING
- 5 CONSTRUCTION TRAILER
- 6 MATERIAL STORAGE
- 7 STABILIZED CONSTRUCTION ENTRANCE COMPLY WITH SUDAS 9040.12
- 8 CONCRETE WASHOUT

NOTES:

1. NOT ALL KEY AND/OR LEGEND ITEMS MAY BE USED AND SHOWN ON THIS PLAN. THEY ARE AVAILABLE FOR USE IF NEEDED.
2. PORTABLE SANITARY FACILITY SHALL BE STAKED DOWN TO WITHSTAND ANY ANTICIPATED WINDS
4. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY ON ANY EXPOSED SOILS IF EARTH DISTURBING ACTIVITIES HAVE CEASED TEMPORARILY OR PERMANENTLY AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
5. ADDITIONAL AND MORE COMPREHENSIVE DETAILS AND INSTRUCTIONS CONTAINED WITHIN THE SWPPP DOCUMENT
6. CONCRETE SLURRY GENERATED BY WET SAWING SHALL BE VACUUMED OR UTILIZE OTHER ACCEPTABLE CONTAINMENT METHOD TO CAPTURE AND DISPOSE OF THE MATERIAL IN ACCORDANCE WITH APPLICABLE LAWS.

Robinson Engineering Company  
Consulting Engineers

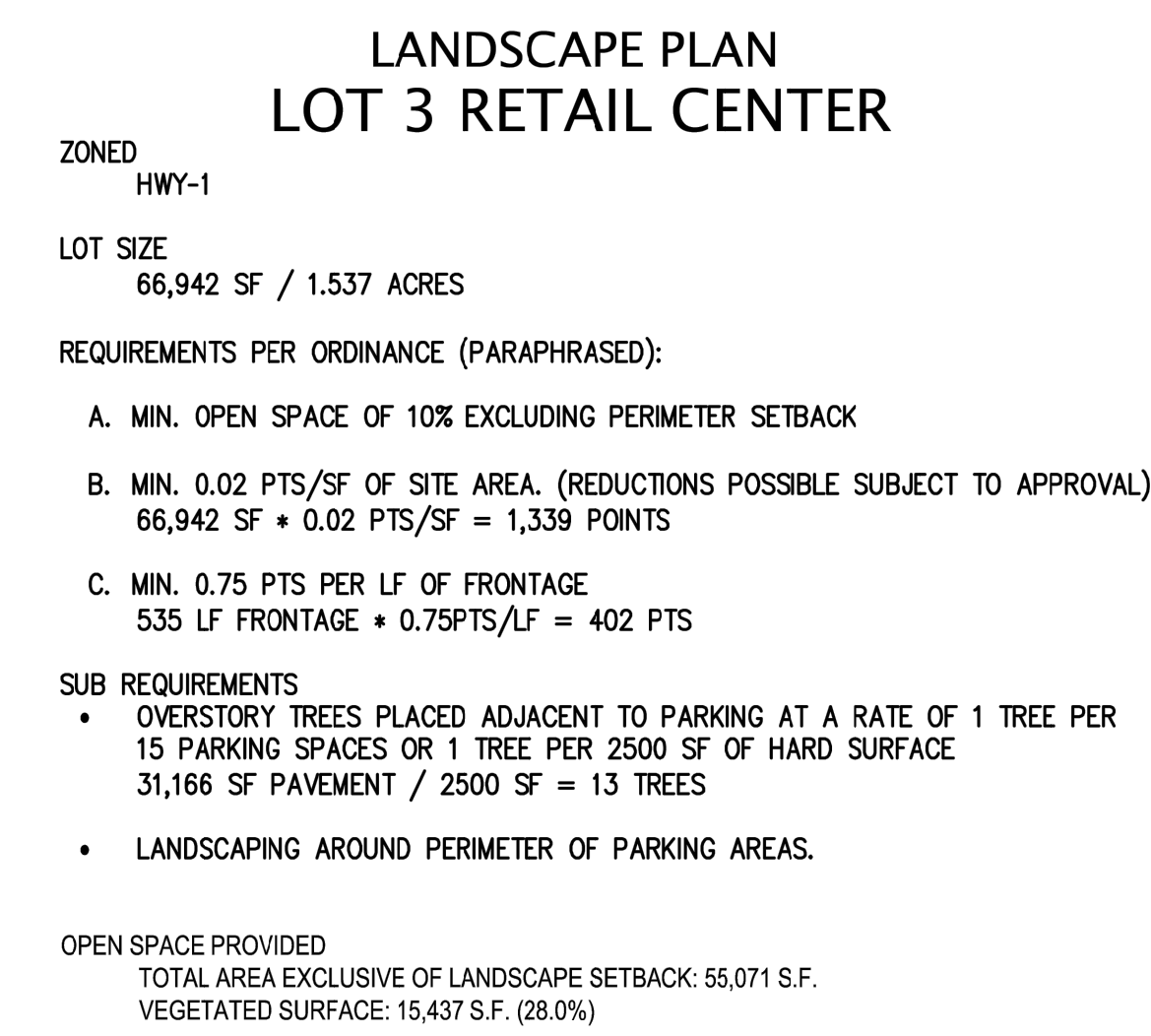
819 Second Street NE  
Independence, Iowa 50644  
319.334.7211

SWPPP - FINAL STABILIZATION

LOT 3 RETAIL CENTER  
PN. 4305-21  
T & L INVESTMENTS, LLC  
PO BOX 390, 520 MAIN STREET  
HUDSON, IOWA 50643

C3.3  
2023\_0918  
SUBMITTAL2





Overstory Tree 2.5" B&B

Evergreen Shrub

Deciduous Shrub

Perennial #1

Tree	QTY	Size	Mature Height	Points	Total
------	-----	------	---------------	--------	-------

Symbol	<b>Street Trees</b>					
RO	Oak, Red	1	2" B&B	60'	80	80
	Existing Street Trees	4	4" DBH +		100	400
					Total Points Street Trees	480

	Site Landscaping					
	Existing Site Tree	1	3"	Cal	90	90
AM	Maple Armstrong	2	2.5"	B&B	45'	80
HAC	Hackberry	2	2.5"	B&B	50'	80
KC	Kentucky Coffeetree	1	2.5"	B&B	40'	80
EVF	Elm Valley Forge	2	2.5"	B&B	60'	80
OSW	Oak, Swamp White	3	2.5"	B&B	50'	80
HLS	Honey Locust, Skyline	3	2.5"	B&B	45'	80
JSG	Juniper Sea Green	22	#5	5'	10	220
NLD	Ninebark Little Devil	6	#5	5'	10	60
HLL	Hydrangea, Lime Light	8	#5	5'	10	80
HQF	Hydrangea, Quick Fire	16	#5	5'	10	160
VBM	Viburnum Blue Muffin	5	#5	5'	10	50
ALM	Spiraea, Goldmound	5	#3	5'	5	25
SR	Serviceberry Regent	10	#5	5'	10	100
GKF	Grass, Karl Foerster	95	#1	3'	0	0
DS	Davaylia, Stella	19	#1	2'	0	0
ASB	Allium, Summer Beauty	11	#1	1.5'	0	0
GDS	Grass, Dropseed	18	#1	1.5'	0	0
					Total Points Site Landscaping	1825

## LANDSCAPE PLAN

**Robinson Engineering Company**  
Consulting Engineers

819 Second Street NE  
Independence, Iowa 50644  
319-334-7211

LOT 3 RETAIL CENTER  
 P/N: 4305-21  
 T & L INVESTMENTS, LLC  
 PO BOX 390, 520 MAIN STREET  
 HUDSON, IOWA 50643

C4.1  
2023\_0823  
SUBMITTAL1





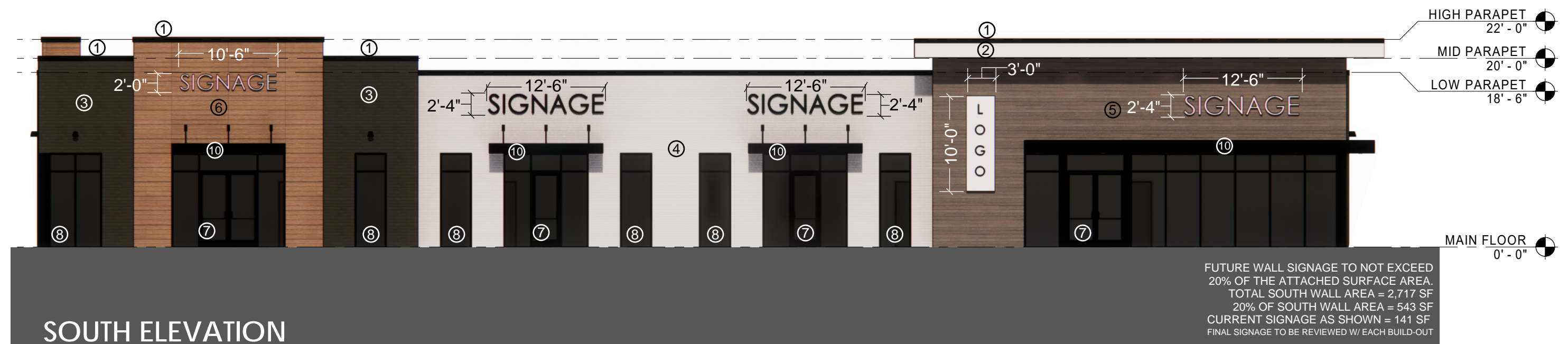






# LOT 3 RETAIL CENTER

Brandilynn Blvd. | Cedar Falls, IA



- ① PREFIN. SHT. MTL. CAP - FIRESTONE MATTE BLACK
- ② ACM PANEL FASCIA - WHITE
- ③ FACE BRICK - VINTAGE BLACK VELOUR
- ④ PAC-CLAD ALUM. PANELS - STONE WHITE
- ⑤ NICHHA ROUGHSAWN PANELS - ESPRESSO
- ⑥ NICHHA RIFTSAWN PANELS - PECAN

- ⑦ ALUM. ENTRANCE FRAMING - BLACK
- ⑧ ALUM. STOREFRONT FRAMING - BLACK
- ⑨ INSUL. GALV. H.M. DOOR - MATCH PAC-CLAD STONE WHITE
- ⑩ PREFIN. SHT. MTL. CANOPY - BLACK
- ⑪ DRIVE-THRU WINDOW - BLACK

# LOT 3 RETAIL CENTER

Brandilynn Blvd. | Cedar Falls, IA



- ① PREFIN. SHT. MTL. CAP - FIRESTONE MATTE BLACK
- ② ACM PANEL FASCIA - WHITE
- ③ FACE BRICK - VINTAGE BLACK VELOUR
- ④ PAC-CLAD ALUM. PANELS - STONE WHITE
- ⑤ NICHHA ROUGHSAWN PANELS - ESPRESSO
- ⑥ NICHHA RIFTSAWN PANELS - PECAN

- ⑦ ALUM. ENTRANCE FRAMING - BLACK
- ⑧ ALUM. STOREFRONT FRAMING - BLACK
- ⑨ INSUL. GALV. H.M. DOOR - MATCH PAC-CLAD STONE WHITE
- ⑩ PREFIN. SHT. MTL. CANOPY - BLACK
- ⑪ DRIVE-THRU WINDOW - BLACK

# LOT 3 RETAIL CENTER

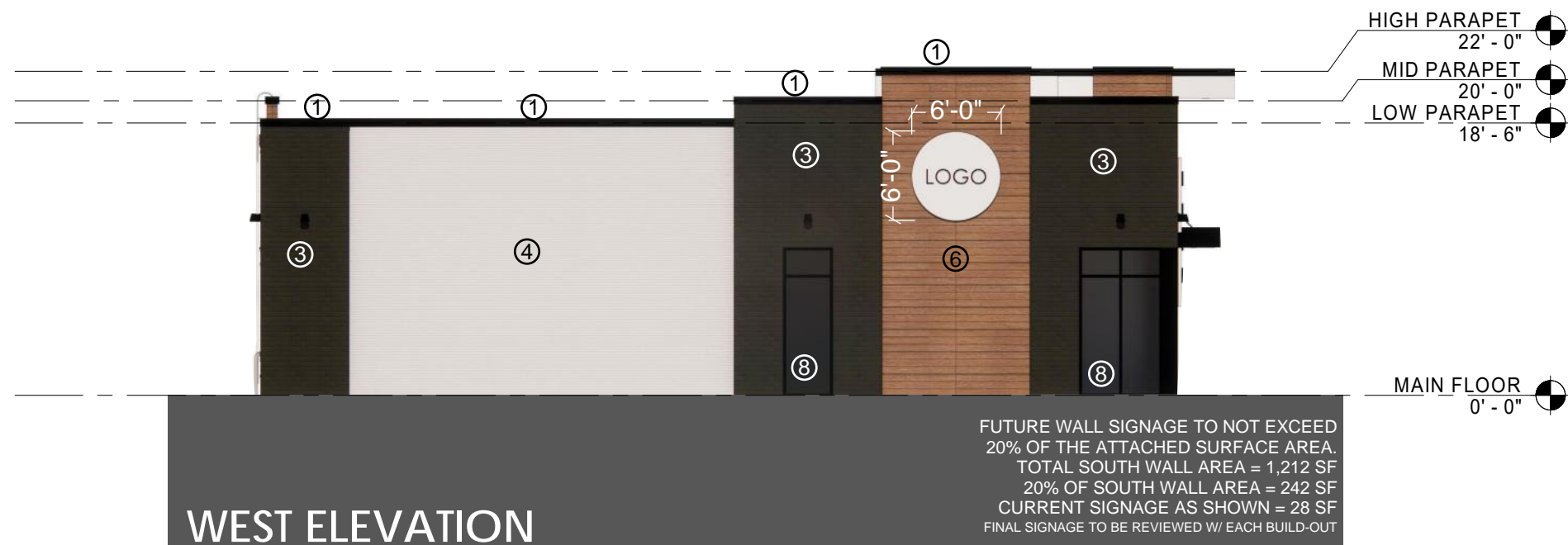
Brandilynn Blvd. | Cedar Falls, IA



- |   |   |
|---|---|
| ① PREFIN. SHT. MTL. CAP - FIRESTONE MATTE BLACK | ⑦ ALUM. ENTRANCE FRAMING - BLACK                      |
| ② ACM PANEL FASCIA - WHITE                      | ⑧ ALUM. STOREFRONT FRAMING - BLACK                    |
| ③ FACE BRICK - VINTAGE BLACK VELOUR             | ⑨ INSUL. GALV. H.M. DOOR - MATCH PAC-CLAD STONE WHITE |
| ④ PAC-CLAD ALUM. PANELS - STONE WHITE           | ⑩ PREFIN. SHT. MTL. CANOPY - BLACK                    |
| ⑤ NICHIBA ROUGHSAWN PANELS - ESPRESSO           | ⑪ DRIVE-THRU WINDOW - BLACK                           |
| ⑥ NICHIBA RIFTSAWN PANELS - PECAN               |   |

# LOT 3 RETAIL CENTER

## Brandilynn Blvd. | Cedar Falls, IA

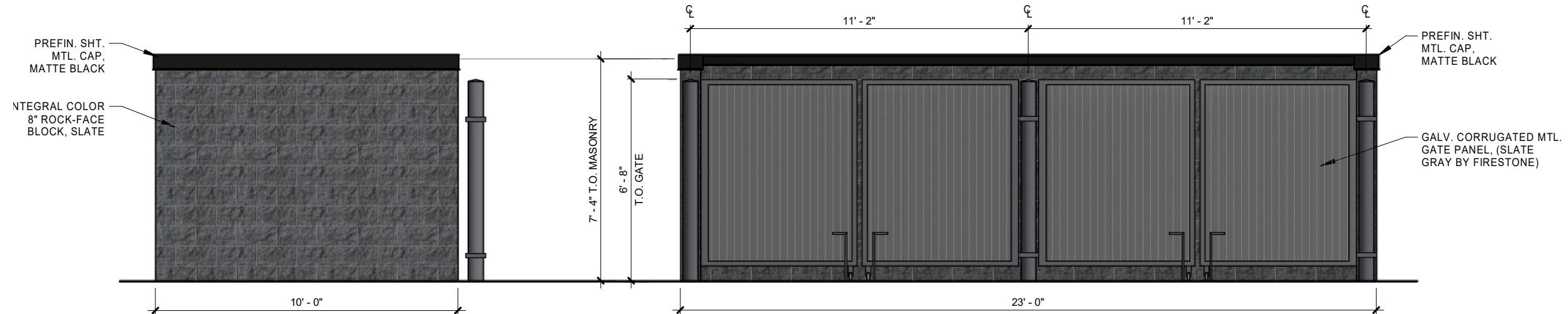


- ① PREFIN. SHT. MTL. CAP - FIRESTONE MATTE BLACK
- ② ACM PANEL FASCIA - WHITE
- ③ FACE BRICK - VINTAGE BLACK VELOUR
- ④ PAC-CLAD ALUM. PANELS - STONE WHITE
- ⑤ NICHHA ROUGHSAWN PANELS - ESPRESSO
- ⑥ NICHHA RIFTSAWN PANELS - PECAN

- ⑦ ALUM. ENTRANCE FRAMING - BLACK
- ⑧ ALUM. STOREFRONT FRAMING - BLACK
- ⑨ INSUL. GALV. H.M. DOOR - MATCH PAC-CLAD STONE WHITE
- ⑩ PREFIN. SHT. MTL. CANOPY - BLACK
- ⑪ DRIVE-THRU WINDOW - BLACK

# LOT 3 RETAIL CENTER

Brandilynn Blvd. | Cedar Falls, IA

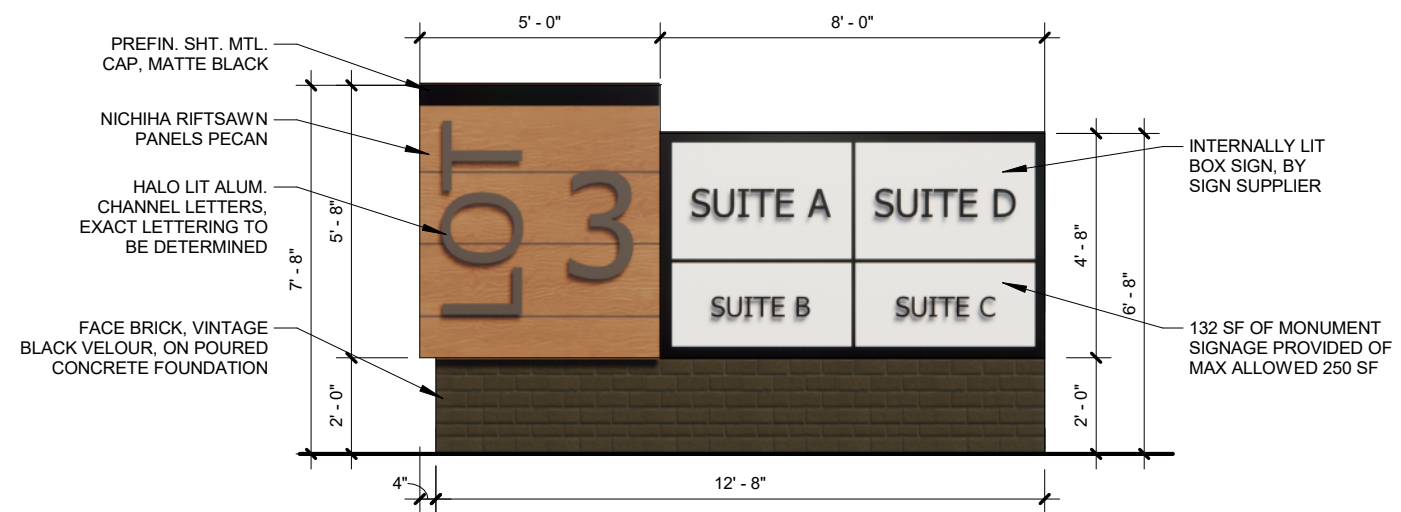


## ENCLOSURE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

## ENCLOSURE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



## MONUMENT SIGN TYP. ELEVATION

SCALE: 1/4" = 1'-0"