



**AGENDA  
CITY OF CEDAR FALLS, IOWA  
PLANNING AND ZONING COMMISSION MEETING  
WEDNESDAY, OCTOBER 13, 2021  
5:30 PM AT CITY HALL AND VIA VIDEO CONFERENCE**

---

The City is providing in-person and electronic options for this meeting in accordance with the Governor's Proclamation of Disaster Emergency regarding meetings and hearings. The City encourages in-person attendees to follow the latest CDC guidelines to reduce the risk of COVID-19 transmission.

The meeting will also be accessible via video conference and the public may access/participate in the meeting in the following ways:

- a) By dialing the phone number +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782 and when prompted, enter the meeting ID (access code) 886 2008 9534.
- b) iPhone one-tap: +13126266799,,88620089534# or +19292056099,,88620089534#
- c) Join via smartphone or computer using this link: <https://us02web.zoom.us/j/88620089534>.
- d) View the live stream on Channel 15 YouTube using this link: <https://www.youtube.com/channel/UCCzeig5nIS-dIEYisqah1uQ> (view only).
- e) Watch on Cedar Falls Cable Channel 15 (view only).

To request to speak when allowed on the agenda, participants must click "Raise Hand" if connected by smartphone or computer, or press \*9 if connected by telephone. All participants will be muted by the presiding officer when not actually speaking.

**Call to Order and Roll Call**

**Approval of Minutes**

- 1. Planning and Zoning Commission Regular Meeting Minutes of September 22, 2021

**Public Comments**

**Old Business**

**New Business**

- 2. **MU District Site Plan Review – Greenhill Village Car Wash (SP21-012)**  
**Location:** 1125 Fountains Way; Lot 2 Greenhill Village 5th Addition  
**Owner:** Greenhill Village Commercial LLC Contract Buyer: Wash Properties, LLC  
**Applicant:** Alex Bower – Robinson Engineering  
**Previous discussion:** None  
**Recommendation:** *Introduction and Discussion*  
**P&Z Action:** *Review and continue to the next meeting*
  
- 3. **Preliminary Plat – West Fork Crossing (PP21-003)**  
**Location:** North of W. 27th Street and east of Union Road  
**Owners:** Money Pit, LLC and Waterbury Property Investors, LLC  
**Applicant:** Echo Development/Brent Dahlstrom; ISG Engineering  
**Previous discussion:** None  
**Recommendation:** *Introduction and Discussion*  
**P&Z Action:** *Discuss and continue to the next meeting*

**Commission Updates**

## **Adjournment**

### Reminders:

- \* October 27 and November 10, 2021 - Planning & Zoning Commission Meetings
- \* October 18 and November 1, 2021 - City Council Meetings

**Cedar Falls Planning and Zoning Commission  
Regular Meeting  
September 22, 2021  
In person and via videoconference  
Cedar Falls, Iowa**

**MINUTES**

The Cedar Falls Planning and Zoning Commission met in regular session on September 22, 2021 at 5:30 p.m. at City Hall and via videoconference due to precautions necessary to prevent the spread of the COVID-19 virus. The following Commission members were present: Hartley, Holst, Larson, Lynch, Prideaux, Saul and Schrad. Leeper was absent. Karen Howard, Community Services Manager, and Jaydevsinh Atodaria, Planner I, were also present.

- 1.) Acting Chair Larson noted the Minutes from the September 8, 2021 regular meeting are presented. Ms. Lynch made a motion to approve the Minutes as presented. Ms. Prideaux seconded the motion. The motion was approved unanimously with 7 ayes (Hartley, Holst, Larson, Lynch, Prideaux, Saul and Schrad), and 0 nays.
- 2.) The first item of business was a rezoning request for 5424 University Avenue. Acting Chair Larson introduced the item and Mr. Atodaria provided background information. He explained that it is proposed to rezone the property from R-1, Residential and C-2, Commercial to C-2, Commercial. The case has been brought before the Commission previously so Mr. Atodaria just reiterated the basic details of the item. It is also proposed to include building and paving additions. He discussed the technical comments provided by staff and stated that all issues have been resolved. Staff recommends that the property owner submits a detailed landscaping plan at the site plan approval stage. Staff also recommends approval of the item.

Chris Cummings, TurnKey Associates, (3015 Greyhound Drive, Waterloo) noted that the stormwater concerns have been addressed, as well as concerns regarding trees and plantings.

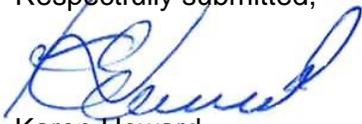
Ms. Prideaux made a motion to approve the item. Ms. Lynch seconded the motion. The motion was approved unanimously with 7 ayes (Hartley, Holst, Larson, Lynch, Prideaux, Saul and Schrad), and 0 nays.

- 3.) Ms. Howard thanked Ms. Prideaux for her service on the Commission as this will be her last meeting. She also noted that a brochure has been sent out regarding updating the Bike Plan, stating that an online questionnaire was available for anyone wanting to participate in the process.

As there were no further comments, Ms. Prideaux made a motion to adjourn. Ms. Lynch seconded the motion. The motion was approved unanimously with 7 ayes (Hartley, Holst, Larson, Lynch, Prideaux, Saul and Schrad), and 0 nays.

The meeting adjourned at 5:40 p.m.

Respectfully submitted,

  
Karen Howard  
Community Services Manager

  
Joanne Goodrich  
Administrative Assistant



## DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls  
 220 Clay Street  
 Cedar Falls, Iowa 50613  
 Phone: 319-273-8600  
 Fax: 319-273-8610  
 www.cedarfalls.com

### MEMORANDUM

#### *Planning & Community Services Division*

**TO:** Planning & Zoning Commission  
**FROM:** Chris Sevy, Planner I  
**DATE:** October 6, 2021  
**SUBJECT:** Greenhill Village Car Wash at 1125 Fountains Way

---

**REQUEST:** Site plan review and approval for the Car Wash

**PETITIONER:** Alex Bower – Robinson Engineering; Wash Properties, LLC

**LOCATION:** Lot 2 Greenhill Village 5<sup>th</sup> Addition. The 1.31 acre site is located on the south side of Greenhill Road between Algonquin Drive and Ashworth Drive.

---

#### PROPOSAL

The applicant proposes a new Car Wash located at on the south side of Greenhill Road in the middle of the block between Algonquin Drive and Ashworth Drive. This is a drive-thru format with other special service bays and a line of vacuums.

#### BACKGROUND

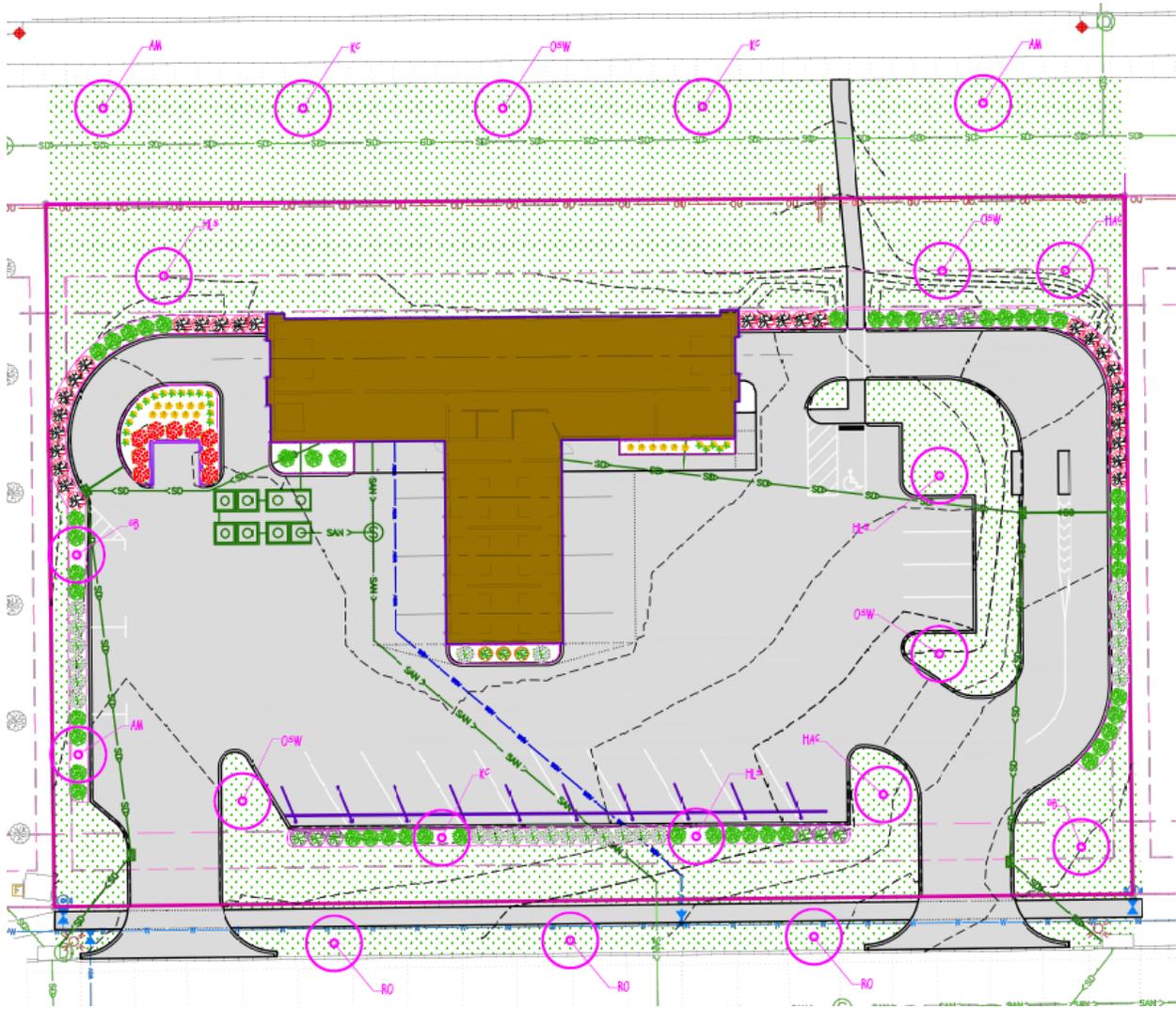
This property is in the Greenhill Village Commercial 5<sup>th</sup> Addition which is part of a much larger MU Master Plan that was approved in 1998. Said Master Plan was updated twice: once in 2003, and another time in 2018. The Final plat for the 5<sup>th</sup> Addition was approved and accepted in February 2017. This particular lot includes 1.31 acres of land and is the second of 5 lots to be developed in the Greenhill Village Commercial 5<sup>th</sup> Addition.

#### ANALYSIS

This property is located in the MU, Mixed Use Residential District which is intended to integrate residential and neighborhood commercial land uses for the purpose of creating viable, self-supporting neighborhood districts. The property is also located in the HCG Highway Corridor and Greenbelt Overlay Zoning District which is primarily concerned with additional landscaping requirements. A detailed site plan review is required to ensure that the development site satisfies a number of standards. Attention to details such as parking, open green space, landscaping, signage, building design, and other similar factors help to ensure orderly development in the entire area.

Following is a review of the zoning ordinance requirements:

- 1) Use: This site plan includes a drive-thru car wash, some detailing bays, and vacuum stalls. The MU District allows commercial uses that are generally characterized as “neighborhood commercial” intended to serve the surrounding residential area. Examples of appropriate uses listed in the code include grocery, drug store, restaurant, retail shops, gasoline station, bookstore, theatre, household appliance store, etc. While a car wash is not expressly listed, it is important to note that the list is not meant to be exhaustive. It is probable that this car wash would serve the surrounding neighborhood similar to a gas station. Staff finds that this use is appropriate along a major thoroughfare like Greenhill Road and will support the MU district goal of being self-supporting. Also, the Greenhill Village Master Plan was developed to consider the mix of uses, of which this site was identified for commercial uses. **Use is allowed and consistent with the Master Plan.**
- 2) Building Location: The setbacks for this district are 30 feet along Greenhill Road and 20 feet along Fountains Way. All buildings and parking areas must be located outside these setback areas. The site plan indicates that the building and parking areas are 30 feet from Greenhill Road, 20 feet from Fountains Way. The parking areas are also 5 feet from both the east and west property lines (the minimum as per the parking code). **Building and parking setbacks are satisfied.**
- 3) Parking: The parking requirement for the proposed car wash is one stall for every two employees. They anticipate 6 employees which brings the requirement to 3. The applicant is proposing 9 parking stalls in addition to 10 vacuum bays that are also being provided. **The parking requirement is satisfied.**
- 4) Open Green Space/Landscaping: The MU District requires that open green space be provided at the rate of 10% of the total development site area excluding the perimeter setback along Greenhill Road. The development site is 57,274 square feet of land. Exclusive of the setback areas, the open space provided on this is approximately 7,689 square feet or 13.5% of the land. Below is the proposed landscape plan:



Below is a table listing the planting requirements and what is provided:

Landscaping		
Type	Required (pts)	Provided (pts)
Development site	1,719 pts	2,340 pts
Street Trees	446 pts	480 pts
General trees (65% of required points)	1,117 pts	1,120 pts

The open green space, site plantings, street trees, and general trees meet the minimum requirements and are well distributed. The landscape includes a mixture of trees, shrubs, and berm elements distributed throughout the site and around the building. **The landscaping plan is satisfied.**

- 5) Building Design: The MU District requires a design review of various elements to ensure architectural compatibility to surrounding structures. These are noted below with a review on how each element is addressed.

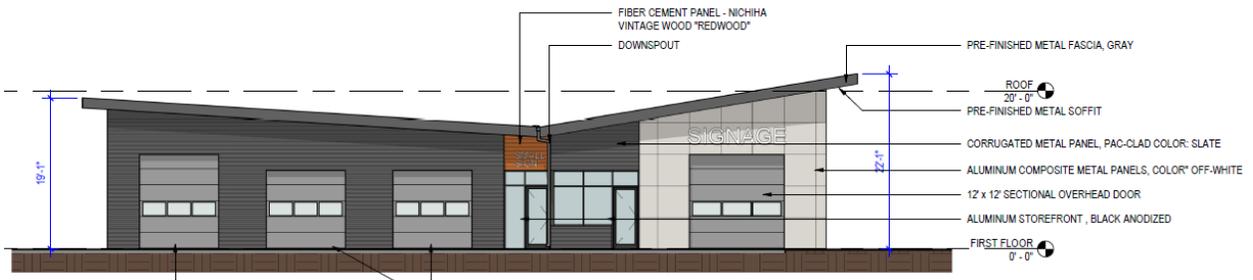
North Elevation



South Elevation



East Elevation



West Elevation



The elements listed in the MU District for review are the following:

1. Proportion in relation to adjacent buildings
2. Roof shape, pitch, & direction
3. Pattern of solids and openings in material and design
4. Materials and texture
5. Color
6. Architectural features

The proposed building has a contemporary industrial design with an overall height that is similar to other adjacent buildings. The slanted roofs and corrugated metal paneling would be relatively unique features in this neighborhood but they appear to complement the industrial

look that the applicant is aiming for. Of particular note are the significant window openings along the front façade that provide views into the interior of the car wash. This provides a unique design for a car wash, which more typically has blank walls with few window openings. Also, the colors and pattern of the design alternate sufficiently to provide visually interesting facades.

- 6) Trash Dumpster Site: There is a dumpster enclosure in the northwest corner of the site. The enclosure wall is made up of 8" by 16" running bond split face CMU that is of the same color as the corrugated metal material on the building. It also has a galvanized steel gate and prefinished metal coping. The dumpster walls are 6 feet tall with landscaping around three sides. **The dumpster location and design provide adequate screening from the public views.**
- 7) Lighting: The lighting plan includes five light poles around the site and along both driveways. Unlike other MU districts, there is no particular lighting plan or design requirement for Greenhill Village. However, these will be required to be downcast and shielded to prevent spillover nuisance light onto adjacent properties.
- 8) Signage: There is signage implied by the renderings, however no official details have been provided by the applicant. Renderings show signage on all four elevations but will only be allowed on two wall surfaces. Signage will be required to be reviewed by the Planning and Zoning Commission and City Council when an official signage application is received.
- 9) Pedestrian and Bicycle Accommodations: A pedestrian connection is provided to the sidewalk on the north. Also, a sidewalk along Fountains Way will be constructed as part of the site plan. There are no bicycle accommodations provided. **Pedestrian and Bike accommodation satisfied.**
- 10) Storm water management: City engineering staff reports that no on-site storm water treatment or detention will be required due to the presence of "area-wide" storm water detention facility south of this site. **A site drainage plan must be reviewed in order to determine that the storm water is collected and conveyed to the area wide detention facility prior to permitting.**

#### TECHNICAL COMMENTS:

All basic utility services are available to the property from Fountains Way. The property owner/contractor is responsible to extend all utility services to the building. These utility extensions will be reviewed by CFU personnel as part of the building plan review.

The engineering department will review the storm water routing for this project to make sure that the drainage from this site is conveyed to the storm sewer. This review is completed in conjunction with the issuance of the building permits.

#### STAFF RECOMMENDATION

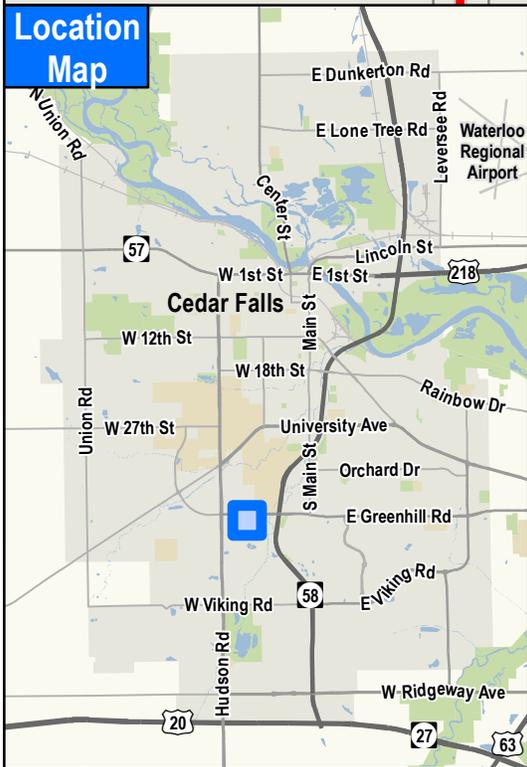
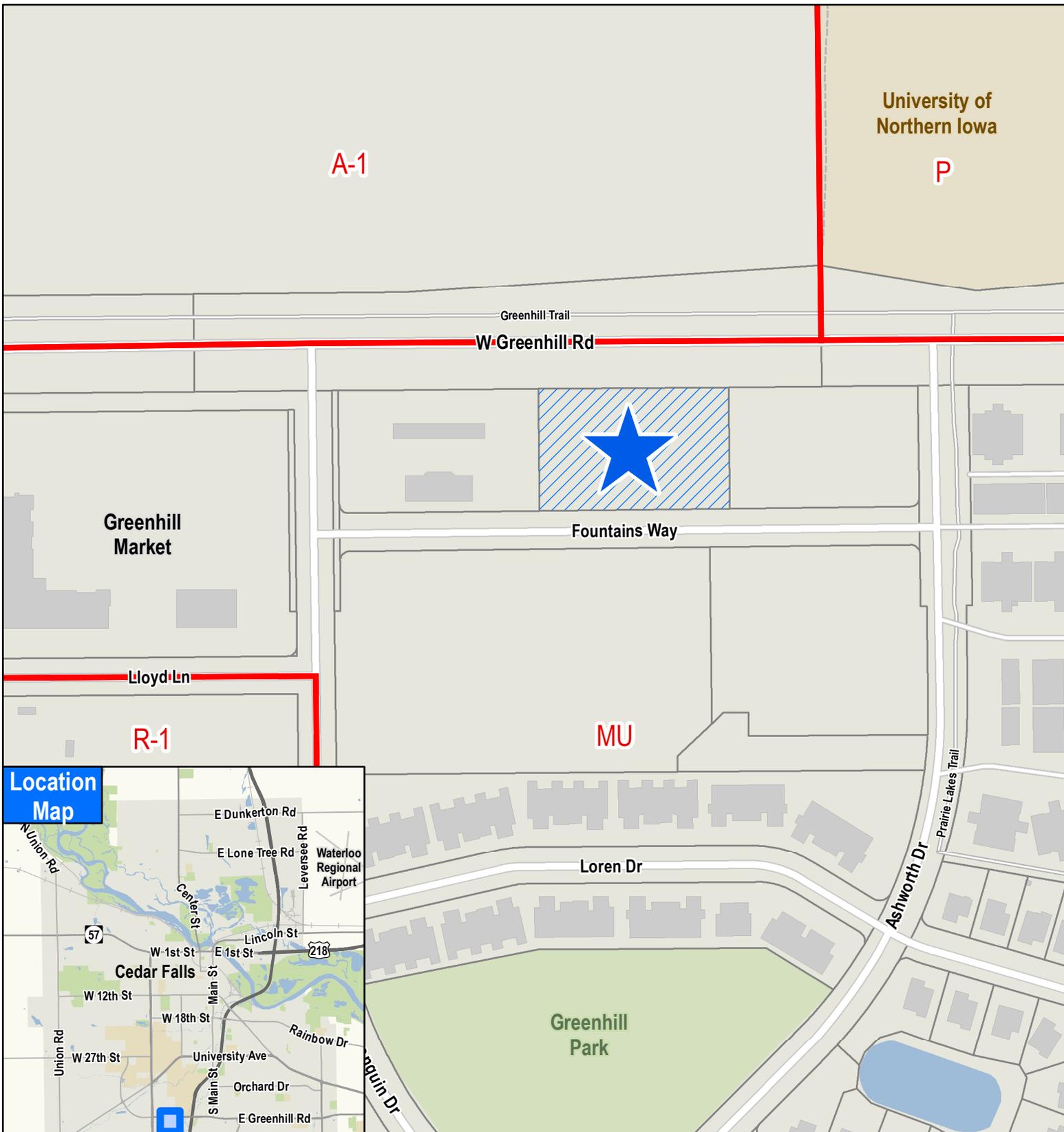
The Community Development Department is bringing this forward for discussion. If there are no concerns and it does not appear necessary to bring this to a second meeting, staff recommends approval of the car wash on Lot 2 of the Greenhill Village Commercial 5<sup>th</sup> Addition based on the following conditions:

- 1) Conformance with technical comments identified in the staff report.
- 2) Any other requirements as identified by the Planning and Zoning Commission and City Council

PLANNING & ZONING COMMISSION

Discussion  
10/13/2021

Attachments:  
Location Map  
Site Plan  
Architectural renderings  
Landscaping Plan

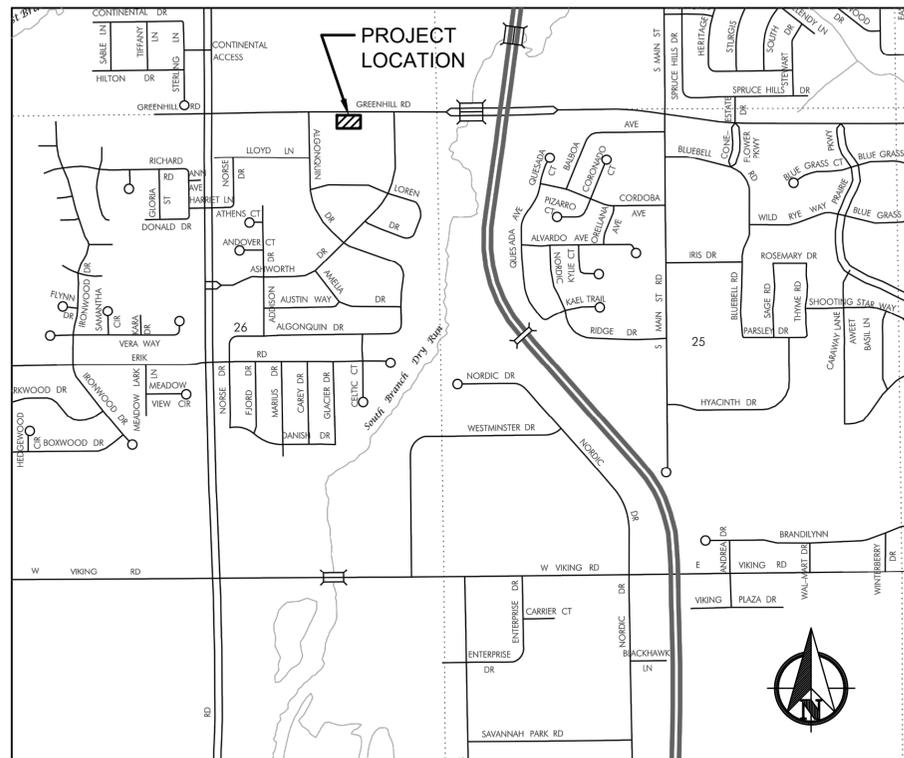
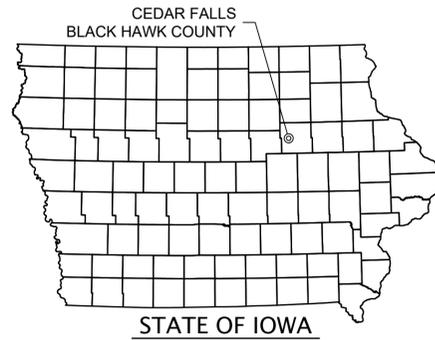


**Greenhill Village Car Wash  
Site Plan Review  
1125 Fountains Way (SP21-012)**

# GREENHILL CARWASH IN THE CITY OF CEDAR FALLS, BLACK HAWK COUNTY, IOWA

NEW COMMERCIAL DEVELOPMENT

PN: 21117



LOCATION MAP  
CEDAR FALLS, IOWA  
NTS

SHEET INDEX	
SHEET	TITLE
C0.1	TITLE
C0.2	SITE DEVELOPMENT PLAN
C0.3	GENERAL NOTES AND APPLICABLE SPECIFICATIONS
C1.1	UTILITY PLAN
C2.1	PAVING PLAN - WEST
C2.2	PAVING PLAN - EAST
C3.1	SWPPP - INITIAL
C3.2	SWPPP - CONSTRUCTION
C3.3	SWPPP - FINAL STABILIZATION
L1.1	LANDSCAPE PLAN



THE SITE IMPROVEMENTS SHOWN WITHIN THIS PLAN SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE 2021 VERSION OF THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, ALSO KNOWN AS SUDAS (2021), AS AMENDED BY THE CITY OF CEDAR FALLS, AND, IF PROVIDED, PROJECT SPECIFIC SUPPLEMENTAL SPECIFICATIONS.

**DEVELOPER**

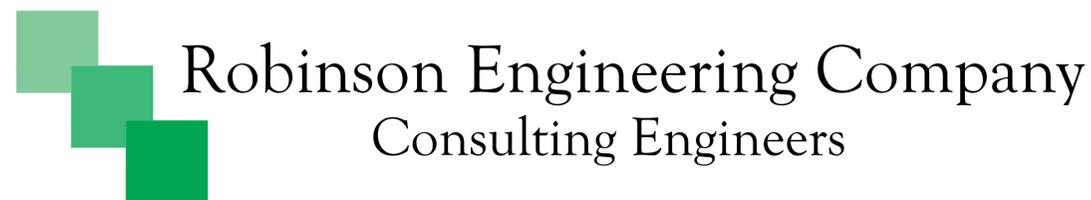
WASH PROPERTIES, LLC  
3109 VENTURE WAY  
CEDAR FALLS, IOWA 50613

**GENERAL CONTRACTOR**

FRED ROSE, LC  
915 TECHNOLOGY PARKWAY  
CEDAR FALLS, IOWA 50613

**CIVIL ENGINEER**

ROBINSON ENGINEERING  
819 SECOND STREET NE  
INDEPENDENCE, IOWA 50644  
319-334-7211  
PROJECT CONTACT: ALEX BOWER  
ENGINEER: MONICA SMITH



819 Second Street NE  
Independence, Iowa 50644  
319-334-7211

C0.1

10/06/2021  
SUBMITTAL 2

	I hereby certify that this Engineering document was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.	
	MONICA M. SMITH	LICENSE NO. 15074
	Signature _____	Date _____
	My renewal date is <u>December 31, 2021</u>	
Pages or sheets covered by this seal: 'C' SHEETS		

# SITE DEVELOPMENT PLAN GREENHILL CARWASH

SITE ADDRESS  
#### FOUNTAINS WAY, CEDAR FALLS, IOWA  
LOT 2, GREENHILL VILLAGE COMMERCIAL 5th ADDITION

PARCEL ID:  
891426229002

OWNER  
GREENHILL VILLAGE COMMERCIAL, LLC  
211 1st Ave SE Suite A  
Cedar Rapids IA 52403

DEVELOPER  
WASH PROPERTIES, LLC  
3109 VENTURE WAY  
CEDAR FALLS, IOWA 50613

ZONING  
MU-MIXED USE RESIDENTIAL DISTRICT

LOT SIZE  
57,274 SF / 1.31 ACRES

SETBACK REQUIREMENTS  
FRONT: 30' (LANDSCAPE AREA, GREENHILL ROAD PER PLAT)  
REAR: 20' (LANDSCAPE AREA, FOUNTAINS WAY PER PLAT)  
SIDE: 5' (PARKING)

LOT USE  
EXISTING  
BUILDING FOOTPRINT: N/A  
TOTAL PAVEMENT & SIDEWALKS: N/A  
TOTAL VEGETATED SURFACE: 57,274 S.F. (100%)

PROPOSED (42,427 SF - AREA EXCLUSIVE OF LANDSCAPE SETBACKS)  
BUILDING FOOTPRINT: 6,182 S.F. (14.6%)  
TOTAL PAVEMENT & SIDEWALKS: 28,963 S.F. (67.3%)  
TOTAL VEGETATED SURFACE: 7,689 S.F. (18.1%)

PARKING  
REQUIRED PER SEC. 26-220, (a), 2, b.  
2. Automatic carwash. Five stacking spaces for each washing bay, one stacking space for each vacuuming unit, plus one parking space for every two employees

CALCULATIONS:  
PARKING - 6 EMP / 2 = 3 SPACES  
STACKING - INNER LOOP 170 LF / 20 = 8 STACK  
OUTER LOOP 145 LF / 20 = 6 STACK  
WASH BAY TOTAL = 14 STACKING  
DETAIL BAY 62 LF / 20 \* 3 BAYS = 9 STACKING  
VACUUM BAY: 10 PROVIDED TO ALLEVIATE NEED FOR STACKING

REQUIRED PARKING = 3 SPACES  
PROVIDED PARKING = 9 SPACES

PROPOSED EMPLOYEES  
MAX SHIFT PROJECTED = 6 EMPLOYEES

FLOOD PLAIN  
N/A

STORM WATER MANAGEMENT  
REGIONAL

Robinson Engineering Company  
Consulting Engineers

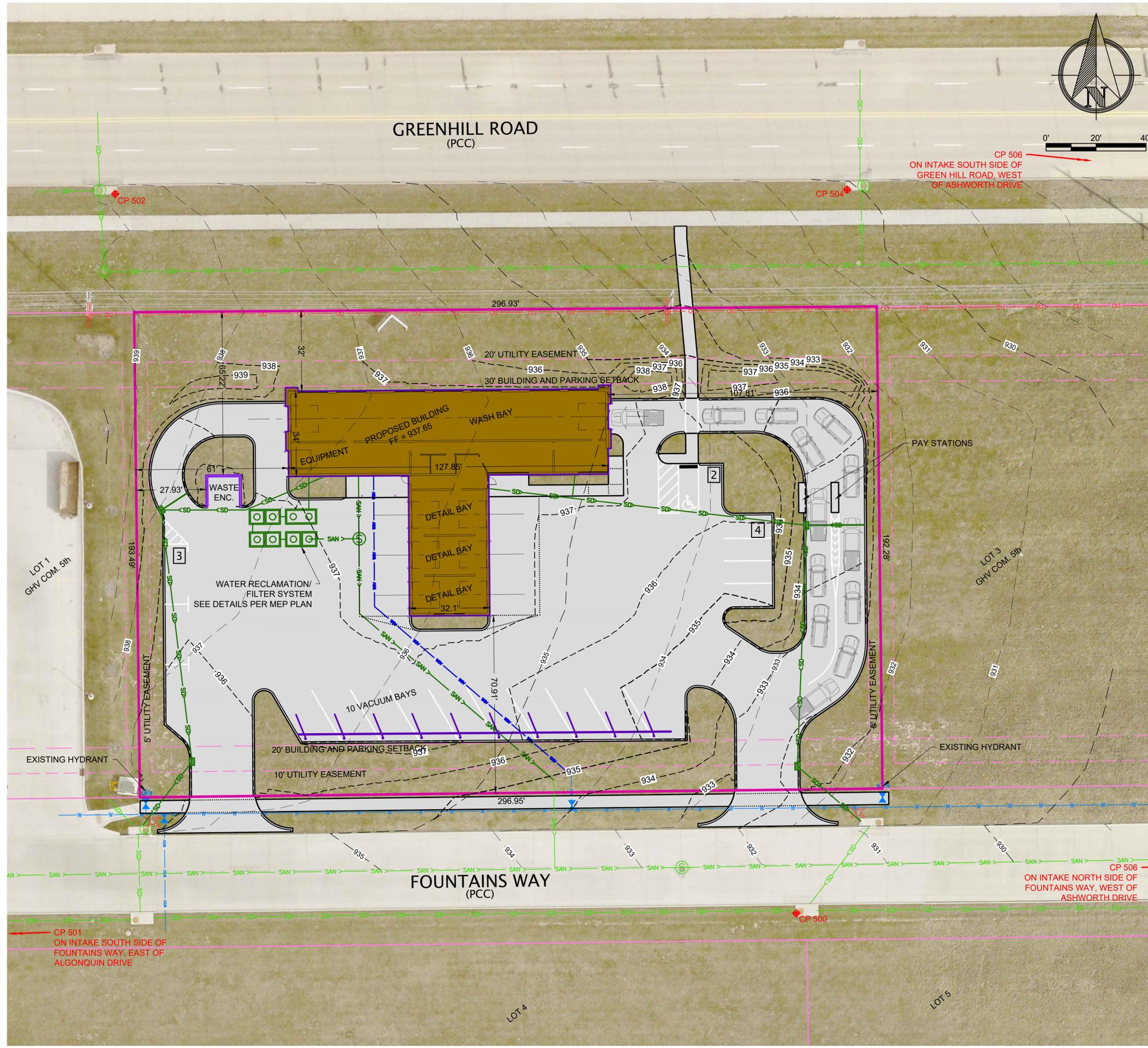
819 Second Street NE  
Independence, Iowa 50644  
319.334.7211

SITE DEVELOPMENT PLAN

GREENHILL CARWASH  
PN: 21117  
WASH PROPERTIES, LLC  
3109 VENTURE WAY  
CEDAR FALLS, IOWA 50613

# C0.2

10/06/2021  
SUBMITTAL 2



### PROJECT CONTROL

CP 500	N-3646224.18	E-5202023.87	Z-932.22	MAG NAIL
CP 501	N-3646217.30	E-5201481.76	Z-940.12	MAG NAIL
CP 502	N-3646511.01	E-5201751.52	Z-938.85	MAG NAIL
CP 504	N-3646512.77	E-5202044.19	Z-930.14	MAG NAIL
CP 505	N-3646514.78	E-5202323.73	Z-922.03	MAG NAIL
CP 506	N-3646265.15	E-5202315.32	Z-926.18	MAG NAIL

## TRAFFIC CONTROL

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH ALL APPLICABLE JURISDICTIONAL REQUIREMENTS.

## GENERAL NOTES

1. ALL WORK SHALL CONFORM TO AND BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
2. THE SITE IMPROVEMENTS SHOWN WITHIN THIS PLAN SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE 2021 VERSION OF THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, ALSO KNOWN AS SUDAS (2021) AS AMENDED BY THE CITY OF CEDAR FALLS UNLESS SPECIFICALLY STATED OTHERWISE IN THESE PLANS, THE PROJECT MANUAL (IF APPLICABLE), OR CITY AND OTHER APPLICABLE ORDINANCES. THIS INCLUDES, IF PROVIDED, PROJECT SPECIFIC SUPPLEMENTAL SPECIFICATIONS.
3. ANY QUANTITIES SHOWN ON THE CIVIL SHEETS (C#.#) ARE TO ASSIST THE BIDDER. THE BIDDER/CONTRACTOR SHALL MAKE A FINAL DETERMINATION OF THE QUANTITIES REQUIRED TO COMPLETE THE WORK AND THE BID SHALL BE ON THE BASIS OF THE BIDDER/CONTRACTOR'S OWN CALCULATIONS. ANY COMMENT RELATED TO QUANTITY OR PAYMENT ON THE CIVIL SHEETS IS SOLELY PROVIDED TO ASSIST THE BIDDER/CONTRACTOR IN THE PREPARATION OF BIDDING AND SHALL NOT BE CAUSE FOR CHANGE ORDER REQUEST.
4. CONSTRUCTION SURVEY FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE ENGINEERING DEPARTMENTS AND UTILITY COMPANIES PRIOR TO CONSTRUCTION. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO ANY EXISTING UTILITY. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES NOTICE TO IOWA ONE CALL (1-800-292-8989) NOT LESS THAN 48 HOURS BEFORE EXCAVATION, EXCLUDING WEEKENDS AND LEGAL HOLIDAYS.
6. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, LOCATE AND DETERMINE THE UNDERGROUND UTILITIES ON THE PROJECT SITE. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES.
7. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO BECOME FULLY FAMILIAR WITH THE EXISTING CONDITIONS OF THE SITE. FAILURE TO VISIT THE SITE SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING THE WORK IN ACCORDANCE WITH THESE DRAWINGS.
8. THE CONTRACTOR SHALL VERIFY AT THE SITE, ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICT PRIOR TO PROCEEDING WITH THE WORK.
9. DRAWING DIMENSIONS SHALL GOVERN OVER SCALING OF DRAWINGS. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS. NOTES AND DETAILS ON THE DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OUTSIDE THE CONSTRUCTION LIMITS RESULTING FROM NEGLIGENCE.
11. CONTRACTOR SHALL PROTECT EXISTING FACILITIES, BUILDINGS, AND OTHER APPURTENANCES NOT TO BE REMOVED FROM THE SITE DURING THE CONSTRUCTION ACTIVITIES.
12. CONTRACTOR SHALL CONFINE WORK TO THE CONSTRUCTION LIMITS AND EASEMENTS PROVIDED OR EASEMENTS OBTAINED. COPIES OF ANY EASEMENTS THE CONTRACTOR OBTAINS FOR CONSTRUCTION WORK ON THIS PROJECT SHALL BE PROVIDED TO THE OWNER.
13. CONTRACTOR SHALL NOT INTERRUPT ACCESS TO OTHER PROPERTIES, WHERE INGRESS/EGRESS IS PERMITTED, DURING CONSTRUCTION.
14. CONTRACTOR SHALL INSTALL INITIAL EROSION CONTROL MEASURES FOR INSPECTION BY THE CITY PRIOR TO EARTH MOVING ACTIVITIES.
15. CONTRACTOR SHALL COORDINATE TEMPORARY DISRUPTION OF UTILITY SERVICES WITH THE CITY OF FAIRFIELD, AFFECTED UTILITY COMPANIES, AND/OR AFFECTED PROPERTY OWNERS WHEN UTILITY SERVICES ARE INTERRUPTED DUE TO CONSTRUCTION ACTIVITIES ON THIS PROJECT.
16. TYPE A COMPACTION SHALL BE REQUIRED FOR EXCAVATION/EMBANKMENT WORK ON THIS PROJECT. ADDITIONAL COMPACTION REQUIREMENTS MAY BE REQUIRED FOR BUILDING CONSTRUCTION. REFER TO APPLICABLE SPECIFICATIONS FOR THAT WORK.
17. THIS PLAN REFERENCES NYLOPLAST STRUCTURES WITH THE INTENT TO SPECIFY AN ENGINEERED PVC STRUCTURE AND IS NOT INTENDED TO INDICATE A SPECIFIC BRAND IS REQUIRED. STRUCTURES SHALL BE NYLOPLAST BRAND OR EQUIVALENT. NYLOPLAST IS A BRAND NAME AFFILIATED WITH ADS PIPE.
18. PROPOSED LINework IS PROVIDED IN .DWG FORMAT AND THE EXISTING AND PROPOSED SURFACES ARE PROVIDED IN .XML FORMAT FOR BIDDING PURPOSES. NO OTHER ELECTRONIC DATA WILL BE PROVIDED FOR BIDDING PURPOSES. ALL ENTITIES WHO CHOSE TO USE THESE ELECTRONIC DOCUMENTS WEATHER ISSUED FOR BIDDING OR ISSUED DURING CONSTRUCTION SHALL ASSUME RESPONSIBILITY FOR ENSURING ITS ACCURACY TO THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
19. THE CONTRACTOR WILL BE PROVIDED WITH THE STORM WATER POLLUTION PREVENTION PLAN AND ACCOMPANYING NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT NUMBER 2 (SWPPP) DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SWPPP MANAGEMENT, INSPECTIONS, EXECUTION, AND REMOVAL OF DEVICES. IN ADDITION, CONTRACTOR SHALL SUBMIT 'NOTICE OF DISCONTINUATION' TO THE IOWA DNR AT TIME SITE IS CONSIDERED FULLY ESTABLISHED, SUBJECT TO CITY APPROVAL.

## APPLICABLE SUDAS SECTIONS:

Iowa Statewide Urban Design and Specifications (SUDAS) is available publicly at <https://iowasudas.org>

The following specifications sections are brought to the attention of the contractor for work on this project. Exclusion from this list shall not exempt other sections from applicability to work on this project. For all items called out in subsection 1.08 MEASUREMENT AND PAYMENT, '1. Measurement:' and '2. Payment:' shall be excluded. '3. Includes:' shall still apply to all sections. Any reference to 'Unit price' or similar context shall refer to The Contract arrangement for payment in the Project Manual for this project. EXAMPLE: where a 6" Gate valve is called out in the Plans all incidentals under Division 5, Section 5020, Part 1, Sub Section 1.08, A., 3, shall apply.

### DIVISION 2: Earthwork

2010: Earthwork, Subgrade, and Subbase

### DIVISION 3: Trench Excavation and Backfill

3010: Trench Excavation and Backfill  
3020: Trenchless Construction (Boring, Jacking, and Tunneling)

### DIVISION 4: Sewers and Drains

4010: Sanitary Sewers  
4020: Storm Sewers  
4060: Cleaning, Inspection, and Testing of Sewers

### DIVISION 5: Water Mains and Appurtenances

5010: Pipe Fittings  
5020: Valves, Fire Hydrants, and Appurtenances  
5030: Testing and Disinfection

### DIVISION 6: Structures for Sanitary and Storm Sewers

6010: Structures for Sanitary and Storm Sewers  
6030: Cleaning, Inspection, and Testing of Structures

### DIVISION 7: Streets and Related Work

7010: Portland Cement Concrete Pavement  
7030: Sidewalks, Shared Used Paths, and Driveways

### DIVISION 8: Traffic Control

8020: Pavement Markings  
8030: Temporary Traffic Control

### DIVISION 9: Site Work and Landscaping

9010: Seeding  
9030: Plant Material and Planting  
9040: Erosion and Sediment Control  
9060: Chain Link Fence

### Division 11: Miscellaneous

11,010: Construction Survey  
11,050: Concrete Washout

## APPLICABLE SUDAS DETAILS:

Iowa Statewide Urban Design and Specifications (SUDAS) is available publicly at <https://iowasudas.org>

The following details are brought to the attention of the contractor for work on this project. Exclusion from this list shall not exempt other details from applicability to site work on this project.

### DIVISION 2: Earthwork

2010.101 - DETAILS OF EMBANKMENTS AND REBUILDING EMBANKMENTS  
2010.102 - DESIGNATION OF ROADWAY EARTHWORK ITEMS

### DIVISION 3: Trench Excavation and Backfill

3010.101 - Trench Bedding and Backfill Zones  
3010.103 - Flexible Gravity Pipe Trench Bedding  
3010.104 - Pressure Pipe Trench Bedding

### DIVISION 4: Sewers and Drains

4010.201 - Sanitary Sewer Service Stub  
4010.203 - Sanitary Sewer Cleanout  
4020.211 - Storm sewer Pipe Connections

### DIVISION 5: Water Mains and Appurtenances

5010.101 - Thrust Blocks  
5010.102 - Tracer System  
5010.901 - Minimum Clearance Between Water Service and Structure  
5020.201 - Fire Hydrant Assembly

### DIVISION 7: Streets and Related Work

7010.101 - Joints  
7010.102 - PCC Curb Details [6" Standard Curb]  
7010.904 - Typical Jointing Layout  
7030.102 - Concrete Driveway, Type B [With Radii]  
7030.202 - Curb Details for Class A Sidewalk [Detail 3]

### DIVISION 8: Traffic Control

8030-102 - Work off of Pavement with Minor Encroachment onto Traveled Way  
8030.104 - Lane Closure on Low Volume Street (Self-Regulating)

### DIVISION 9: Site Work and Landscaping

9030.101 - Planting Pit  
9030.102 - Tree Staking, Guying, And Wrapping  
9040.102 - Filter Berm and Filter Sock  
9040.103 - Rolled Erosion Control Product (RECP) Installation on Slopes  
9040.104 - Rolled Erosion Control Product (RECP) Installation in Channel  
9040.105 - Rip Rap for Pipe Outlet onto Flat Ground  
9040.111 - Rap Rap Apron for Pipe Outlet into Channel  
9040.114 - Sediment Basin with Emergency Spillway  
9040.119 - Silt Fence  
9040.120 - Stabilized Construction Entrance  
9060.101 - Chain Link Fence  
9060.102 - Chain Link Gate

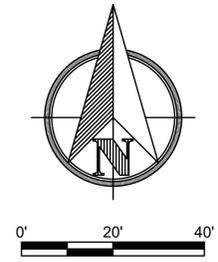


819 Second Street NE  
Independence, Iowa 50644  
319.334.7211

GENERAL NOTES AND  
APPLICABLE SPECIFICATIONS

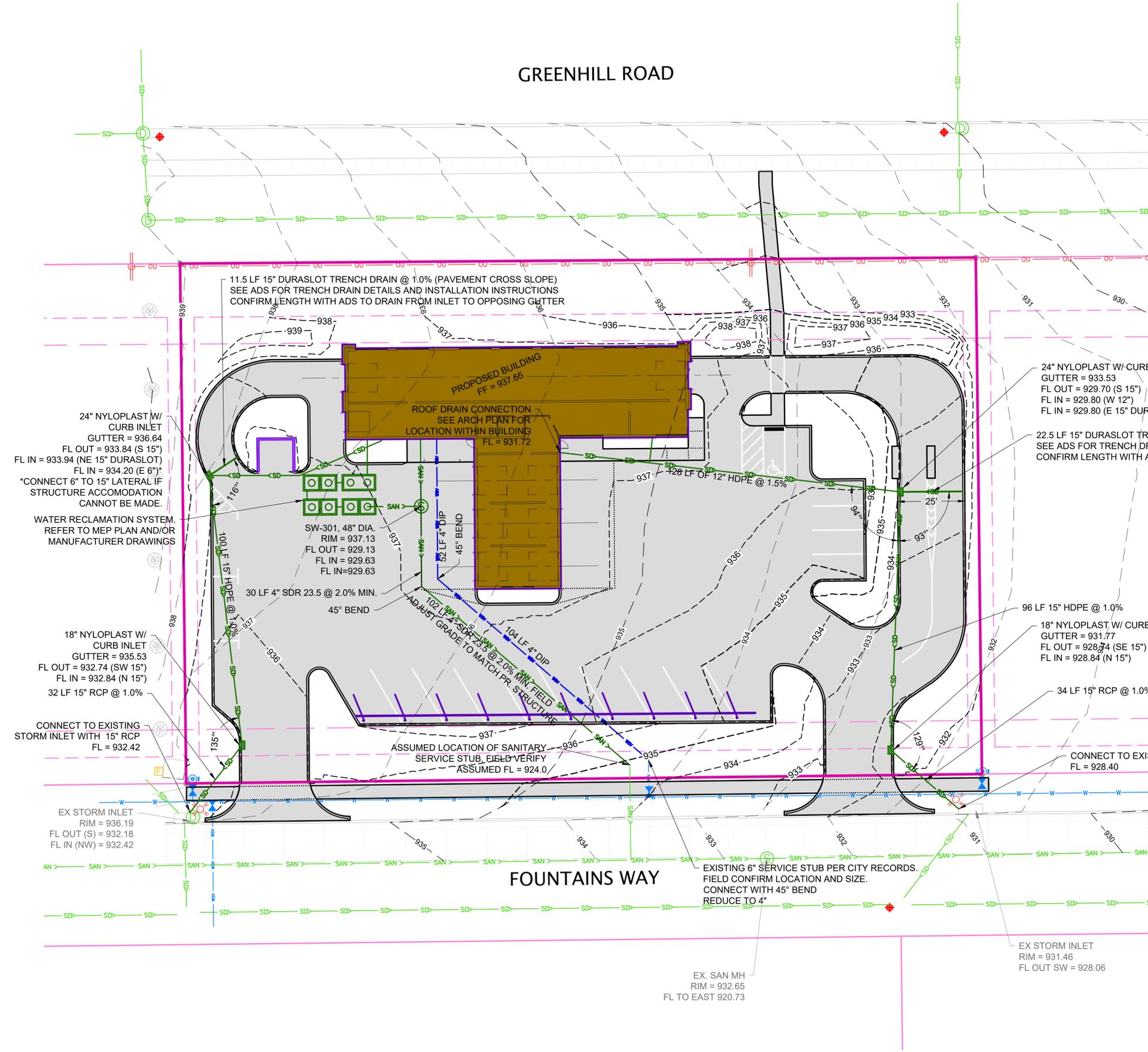
GREENHILL CARWASH  
PN: 21117  
WASH PROPERTIES, LLC  
3109 VENTURE WAY  
CEDAR FALLS, IOWA 50613

**C0.3**  
10/06/2021  
SUBMITTAL 2



# GREENHILL ROAD

# FOUNTAINS WAY

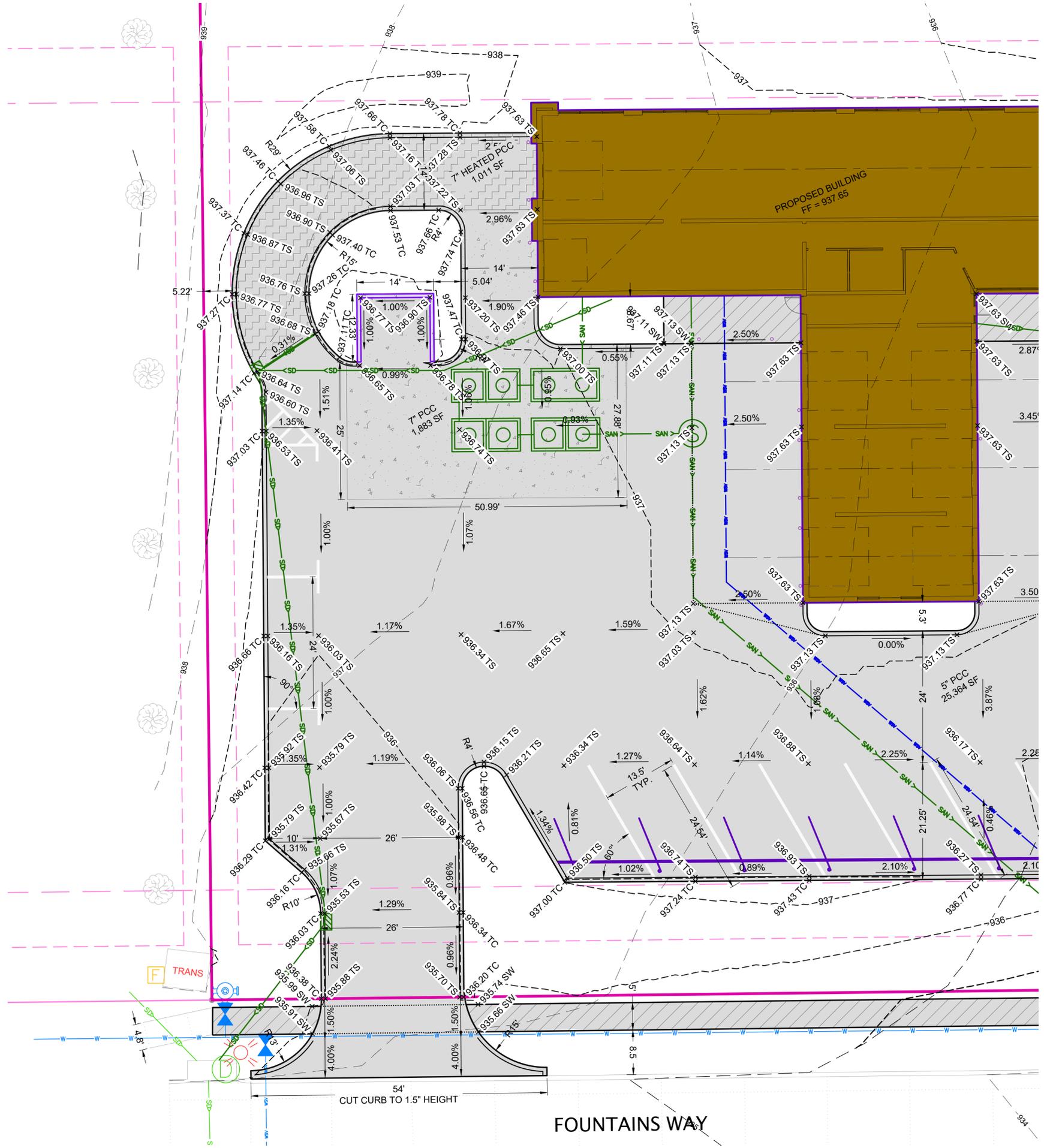
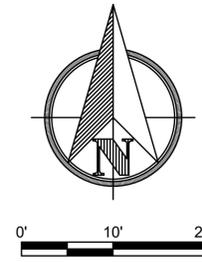


### STORM PIPE LEGEND

- NON PERFORATED STORM PIPE
- PERFORATED STORM PIPE

### NOTES:

1. ALL HDPE DRAINAGE PIPE SHALL BE OF DUAL WALL CONSTRUCTION UNLESS SPECIFICALLY SPECIFIED OTHERWISE.
2. STORM PIPING SHALL BE RCP WHERE PLACED WITHIN CITY RIGHT OF WAY.
3. WATER LINE SHALL BE BURIED TO MAINTAIN 6' COVER.
4. CONTRACTOR SHALL FIELD VERIFY LOCATION, ELEVATION, AND MATERIAL OF ALL WATER, STORM, AND SANITARY CONNECTIONS.
5. CONFIRM WATER SERVICE ENTRANCE LOCATION TO BUILDING WITH ARCHITECTURAL AND MECHANICAL PLANS.
6. COORDINATE CONNECTION TO MUNICIPAL WATER MAIN WITH CEDAR FALLS UTILITIES STAFF.
7. SANITARY SERVICE SHALL BE INSTALLED WITH TRACER WIRE. PLACE TRACER STATION AT CLEAN OUT WHERE SERVICE EXISTS BUILDING.
8. PLACE LIGHT POLES 3' CLEAR FROM EDGE PAVING/BACK OF CURB.



**HATCHING LEGEND**

	PCC SIDEWALK, 5" PCC ON 4" MODIFIED SUBBASE
	PCC PAVEMENT, 5" PCC ON 6" MODIFIED SUBBASE
	PCC PAVEMENT, 7" PCC ON 6" MODIFIED SUBBASE
	HEATED PCC PAVEMENT, 7" PCC ON 6" MODIFIED SUBBASE

- PAVEMENT NOTES:**
- SIDEWALKS ARE DESIGNED AT 1.5% CROSS SLOPE OR LESS. AS CONSTRUCTED CROSS SLOPS SHALL NOT EXCEED 2%.
  - LONGITUDINAL SLOPE OF WALKS SHALL NOT EXCEED 5% (1:20) UNLESS AT CURB RAMPS IN WHICH CASE THE LONGITUDINAL SLOPE SHALL NOT EXCEED 8.3% (1:12). CARE SHALL BE TAKEN TO INSTALL WALKS IN ACCORDANCE WITH THE SURFACE DESIGN HEREIN.
  - END STALLS ARE 10' WIDE MEASURED FROM BACK OF CURB TO CENTER PAVEMENT MARKING. STANDARD STALLS ARE 9' WIDE MEASURED CENTER TO CENTER OF PAVEMENT MARKING. HANDICAP STALLS ARE AS NOTED.
  - PROVIDE AND INSTALL HANDICAP PARKING SIGNS. SIGNS SHALL BE ALUMINUM ON GALVANIZED STEEL SQUARE TUBE UNLESS MOUNTED TO BUILDING.

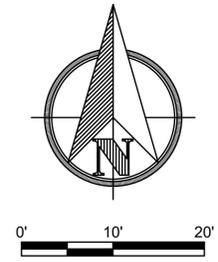
**Robinson Engineering Company**  
Consulting Engineers

819 Second Street NE  
Independence, Iowa 50644  
319.334.7211

PAVING PLAN - WEST

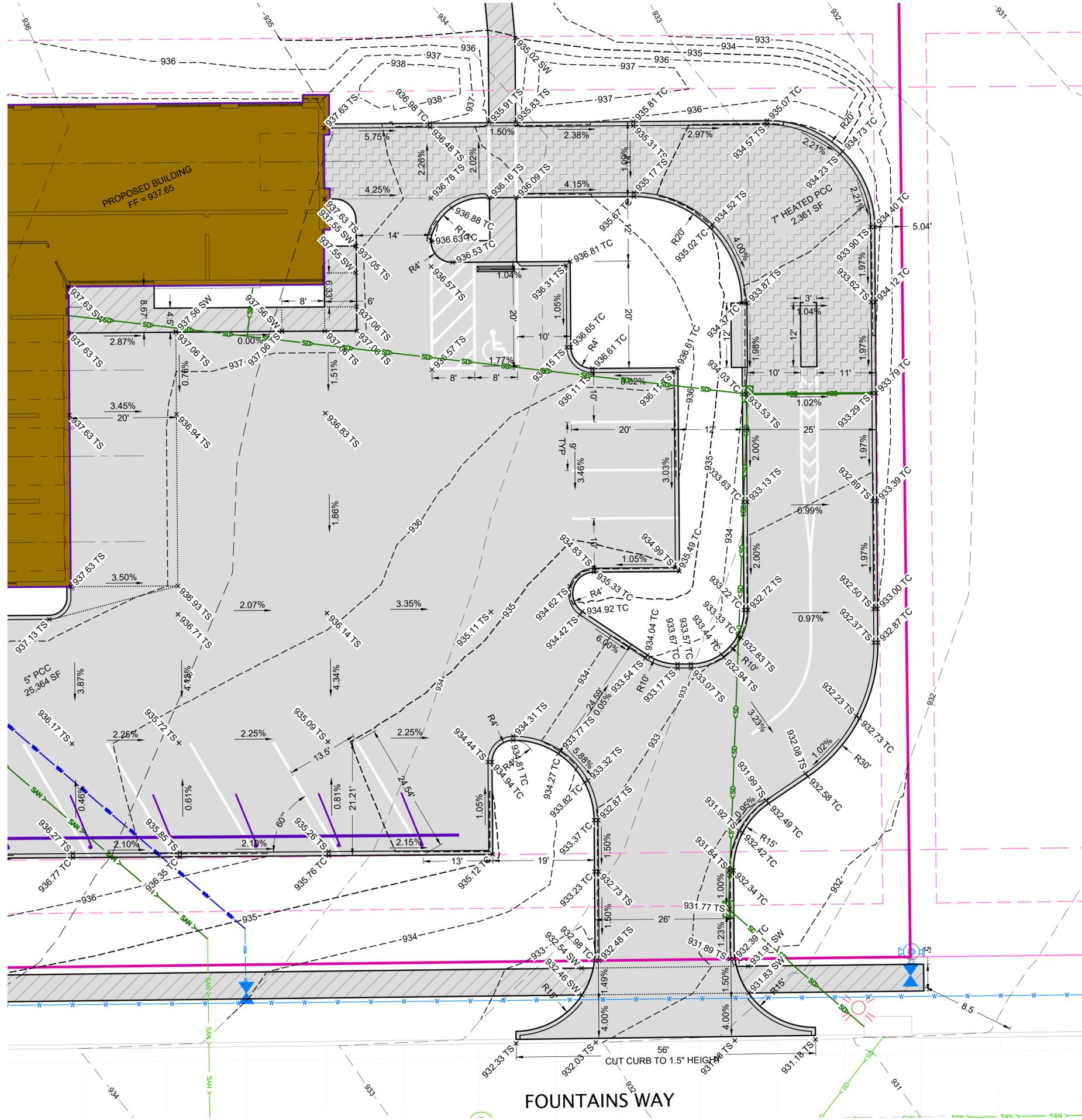
GREENHILL CARWASH  
PN: 21117  
WASH PROPERTIES, LLC  
3109 VENTURE WAY  
CEDAR FALLS, IOWA 50613

**C2.1**  
10/06/2021  
SUBMITTAL 2



Robinson Engineering Company  
Consulting Engineers

819 Second Street NE  
Independence, Iowa 50644  
319.334.7211



**HATCHING LEGEND**

-  PCC SIDEWALK, 5" PCC ON 4" MODIFIED SUBBASE
-  PCC PAVEMENT, 5" PCC ON 6" MODIFIED SUBBASE
-  PCC PAVEMENT, 7" PCC ON 6" MODIFIED SUBBASE
-  HEATED PCC PAVEMENT, 7" PCC ON 6" MODIFIED SUBBASE

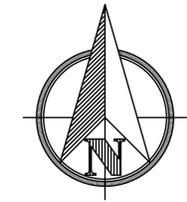
**PAVEMENT NOTES:**

1. SIDEWALKS ARE DESIGNED AT 1.5% CROSS SLOPE OR LESS. AS CONSTRUCTED CROSS SLOPS SHALL NOT EXCEED 2%.
2. LONGITUDINAL SLOPE OF WALKS SHALL NOT EXCEED 5% (1:20) UNLESS AT CURB RAMPS IN WHICH CASE THE LONGITUDINAL SLOPE SHALL NOT EXCEED 8.3% (1:12). CARE SHALL BE TAKEN TO INSTALL WALKS IN ACCORDANCE WITH THE SURFACE DESIGN HEREIN.
3. END STALLS ARE 10' WIDE MEASURED FROM BACK OF CURB TO CENTER PAVEMENT MARKING. STANDARD STALLS ARE 9' WIDE MEASURED CENTER TO CENTER OF PAVEMENT MARKING. HANDICAP STALLS AND AISLES ARE AS NOTED.
4. PROVIDE AND INSTALL HANDICAP PARKING SIGNS. SIGNS SHALL BE ALUMINUM ON GALVANIZED STEEL SQUARE TUBE UNLESS MOUNTED TO BUILDING.

PAVING PLAN - EAST

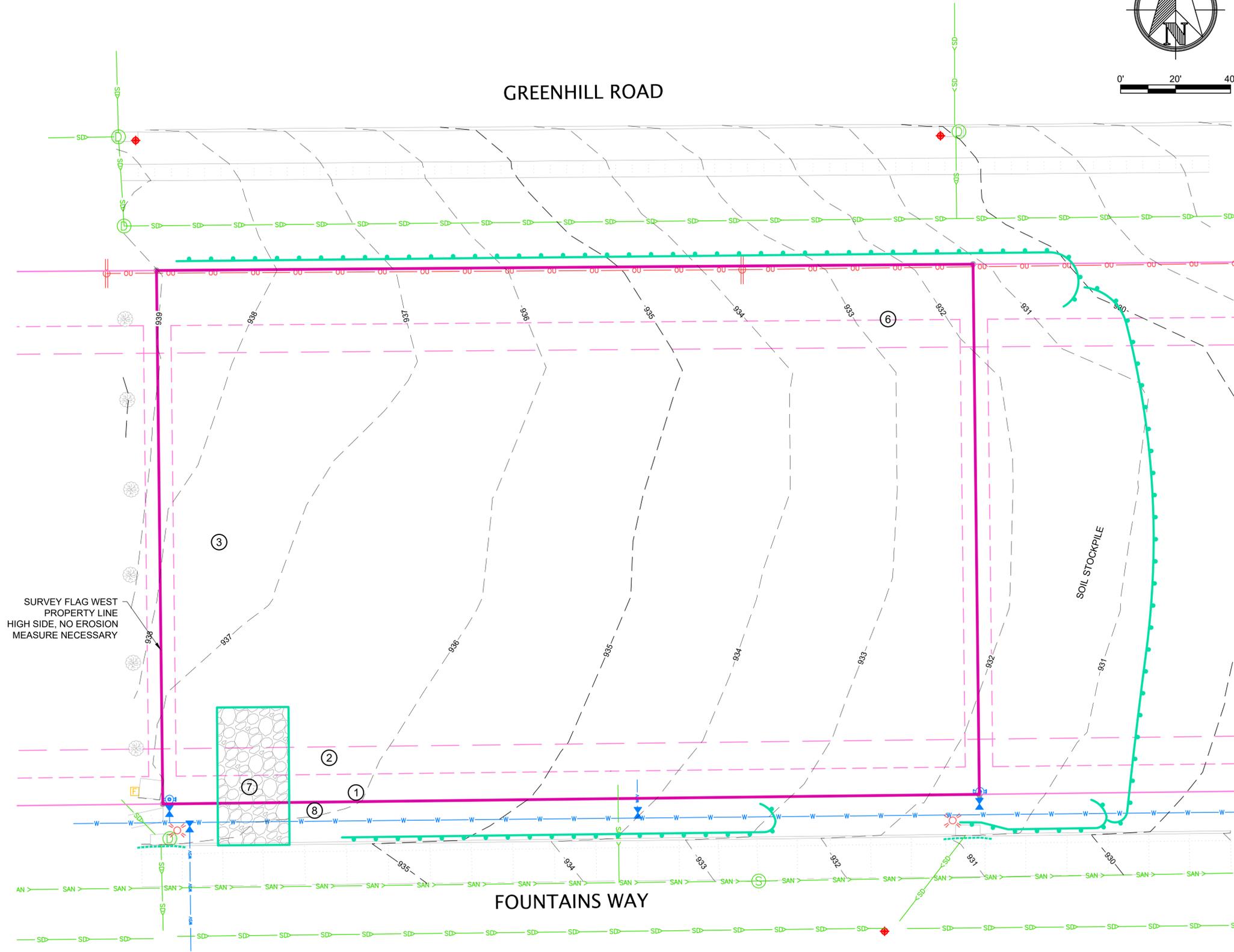
GREENHILL CARWASH  
PN: 21117  
WASH PROPERTIES, LLC  
3109 VENTURE WAY  
CEDAR FALLS, IOWA 50613

**C2.2**  
10/06/2021  
SUBMITTAL 2



### GREENHILL ROAD

### FOUNTAINS WAY



SURVEY FLAG WEST  
PROPERTY LINE  
HIGH SIDE, NO EROSION  
MEASURE NECESSARY

#### KEY

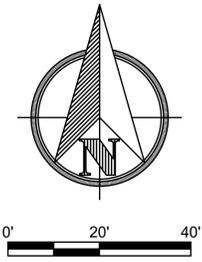
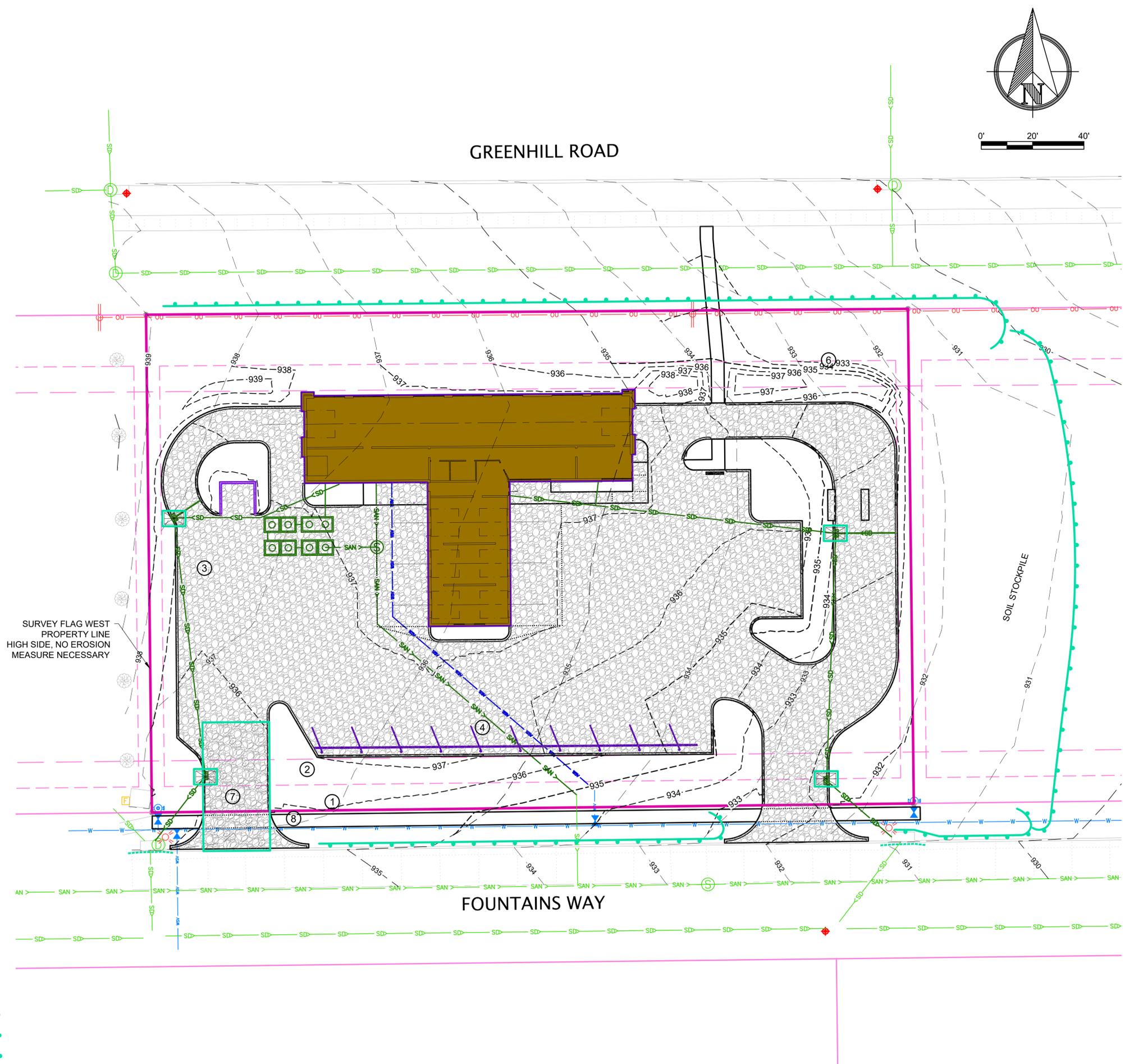
- ① SWPPP BOX
- ② PORTABLE SANITARY FACILITY
- ③ CONSTRUCTION DUMPSTER
- ④ CONSTRUCTION PARKING
- ⑤ CONSTRUCTION TRAILER
- ⑥ MATERIAL STORAGE
- ⑦ STABILIZED CONSTRUCTION ENTRANCE COMPLY WITH SUDAS 9040.12
- ⑧ CONCRETE WASHOUT

#### LEGEND

- PAVEMENT
  - TOPSOIL, SEEDING, AND MULCHING (MAY INCLUDE LANDSCAPING, REFER TO LANDSCAPING PLAN)
  - GRANULAR SURFACING PERMANENT OR TEMPORARY
  - EROSION MULCHING
  - TEMPORARY ROLLED EROSION CONTROL PRODUCT
  - INLET PROTECTION - SILT BAG
  - INLET PROTECTION - SOCK
  - 9" - FILTER SOCK, MULCH FILL\*\*
  - SILT FENCE
- \*\* MAY SUBSTITUTE WITH SILT FENCE OR MULCH BERM WHERE PERMITTED

#### NOTES:

1. NOT ALL KEY AND/OR LEGEND ITEMS MAY BE USED AND SHOWN ON THIS PLAN. THEY ARE AVAILABLE FOR USE IF NEEDED.
2. PORTABLE SANITARY FACILITY SHALL BE STAKED DOWN TO WITHSTAND ANY ANTICIPATED WINDS
4. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY ON ANY EXPOSED SOILS IF EARTH DISTURBING ACTIVITIES HAVE CEASED TEMPORARILY OR PERMANENTLY AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
5. ADDITIONAL AND MORE COMPREHENSIVE DETAILS AND INSTRUCTIONS CONTAINED WITHIN THE SWPPP DOCUMENT
6. CONCRETE SLURRY GENERATED BY WET SAWING SHALL BE VACUUMED OR UTILIZE OTHER ACCEPTABLE CONTAINMENT METHOD TO CAPTURE AND DISPOSE OF THE MATERIAL IN ACCORDANCE WITH APPLICABLE LAWS.



**KEY**

- ① SWPPP BOX
- ② PORTABLE SANITARY FACILITY
- ③ CONSTRUCTION DUMPSTER
- ④ CONSTRUCTION PARKING
- ⑤ CONSTRUCTION TRAILER
- ⑥ MATERIAL STORAGE
- ⑦ STABILIZED CONSTRUCTION ENTRANCE COMPLY WITH SUDAS 9040.12
- ⑧ CONCRETE WASHOUT

**LEGEND**

- PAVEMENT
  - TOPSOIL, SEEDING, AND MULCHING (MAY INCLUDE LANDSCAPING, REFER TO LANDSCAPING PLAN)
  - GRANULAR SURFACING PERMANENT OR TEMPORARY
  - EROSION MULCHING
  - TEMPORARY ROLLED EROSION CONTROL PRODUCT
  - INLET PROTECTION - SILT BAG
  - INLET PROTECTION - SOCK
  - 9" - FILTER SOCK, MULCH FILL\*\*
  - SILT FENCE
- \*\* MAY SUBSTITUTE WITH SILT FENCE OR MULCH BERM WHERE PERMITTED

**NOTES:**

1. NOT ALL KEY AND/OR LEGEND ITEMS MAY BE USED AND SHOWN ON THIS PLAN. THEY ARE AVAILABLE FOR USE IF NEEDED.
2. PORTABLE SANITARY FACILITY SHALL BE STAKED DOWN TO WITHSTAND ANY ANTICIPATED WINDS
4. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY ON ANY EXPOSED SOILS IF EARTH DISTURBING ACTIVITIES HAVE CEASED TEMPORARILY OR PERMANENTLY AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
5. ADDITIONAL AND MORE COMPREHENSIVE DETAILS AND INSTRUCTIONS CONTAINED WITHIN THE SWPPP DOCUMENT
6. CONCRETE SLURRY GENERATED BY WET SAWING SHALL BE VACUUMED OR UTILIZE OTHER ACCEPTABLE CONTAINMENT METHOD TO CAPTURE AND DISPOSE OF THE MATERIAL IN ACCORDANCE WITH APPLICABLE LAWS.

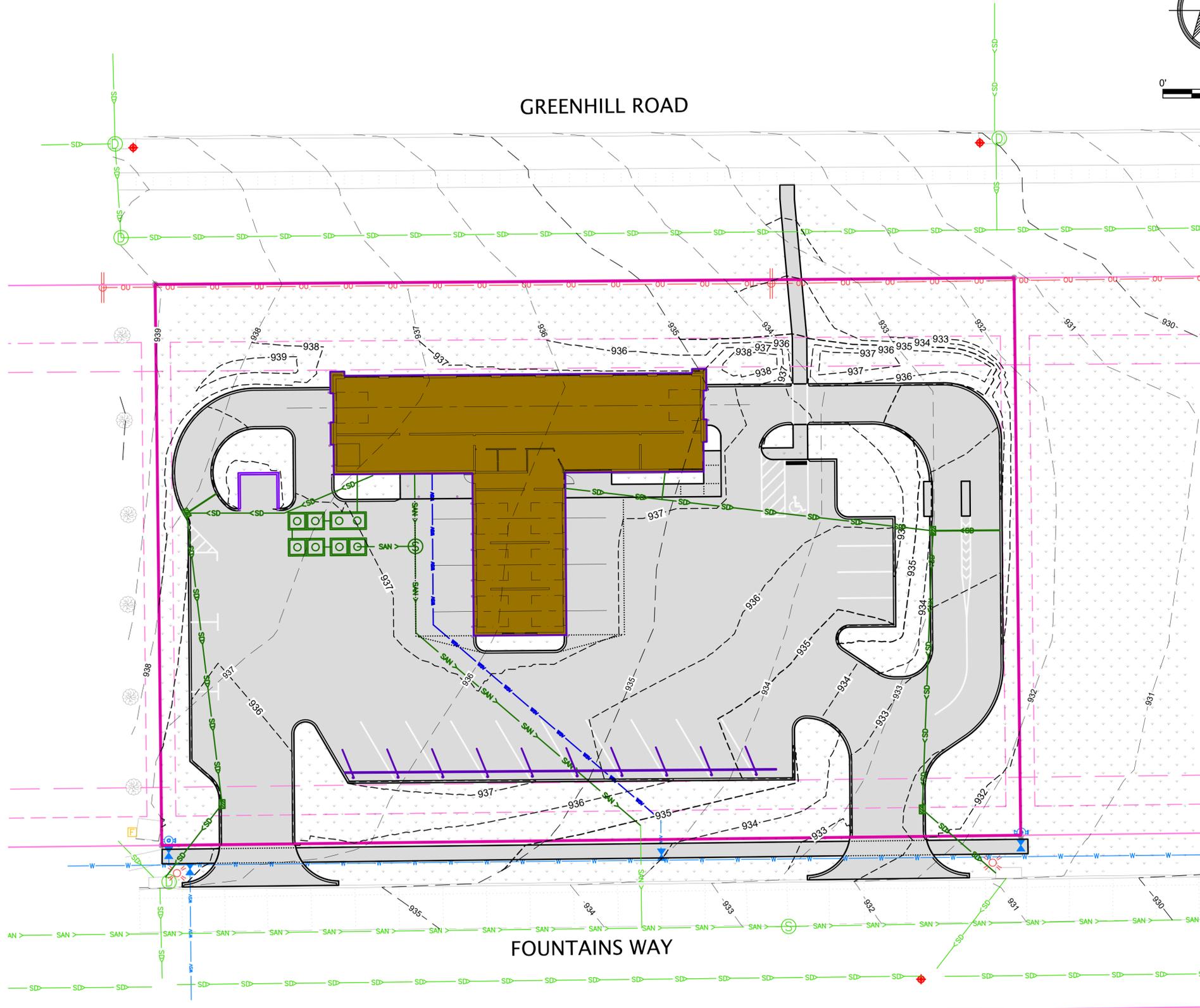
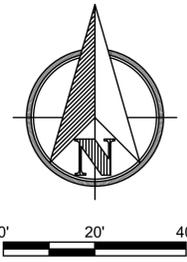
SURVEY FLAG WEST PROPERTY LINE HIGH SIDE, NO EROSION MEASURE NECESSARY

SOIL STOCKPILE

GREENHILL ROAD

FOUNTAINS WAY

OCKPILE



**KEY**

- ① SWPPP BOX
- ② PORTABLE SANITARY FACILITY
- ③ CONSTRUCTION DUMPSTER
- ④ CONSTRUCTION PARKING
- ⑤ CONSTRUCTION TRAILER
- ⑥ MATERIAL STORAGE
- ⑦ STABILIZED CONSTRUCTION ENTRANCE COMPLY WITH SUDAS 9040.12
- ⑧ CONCRETE WASHOUT

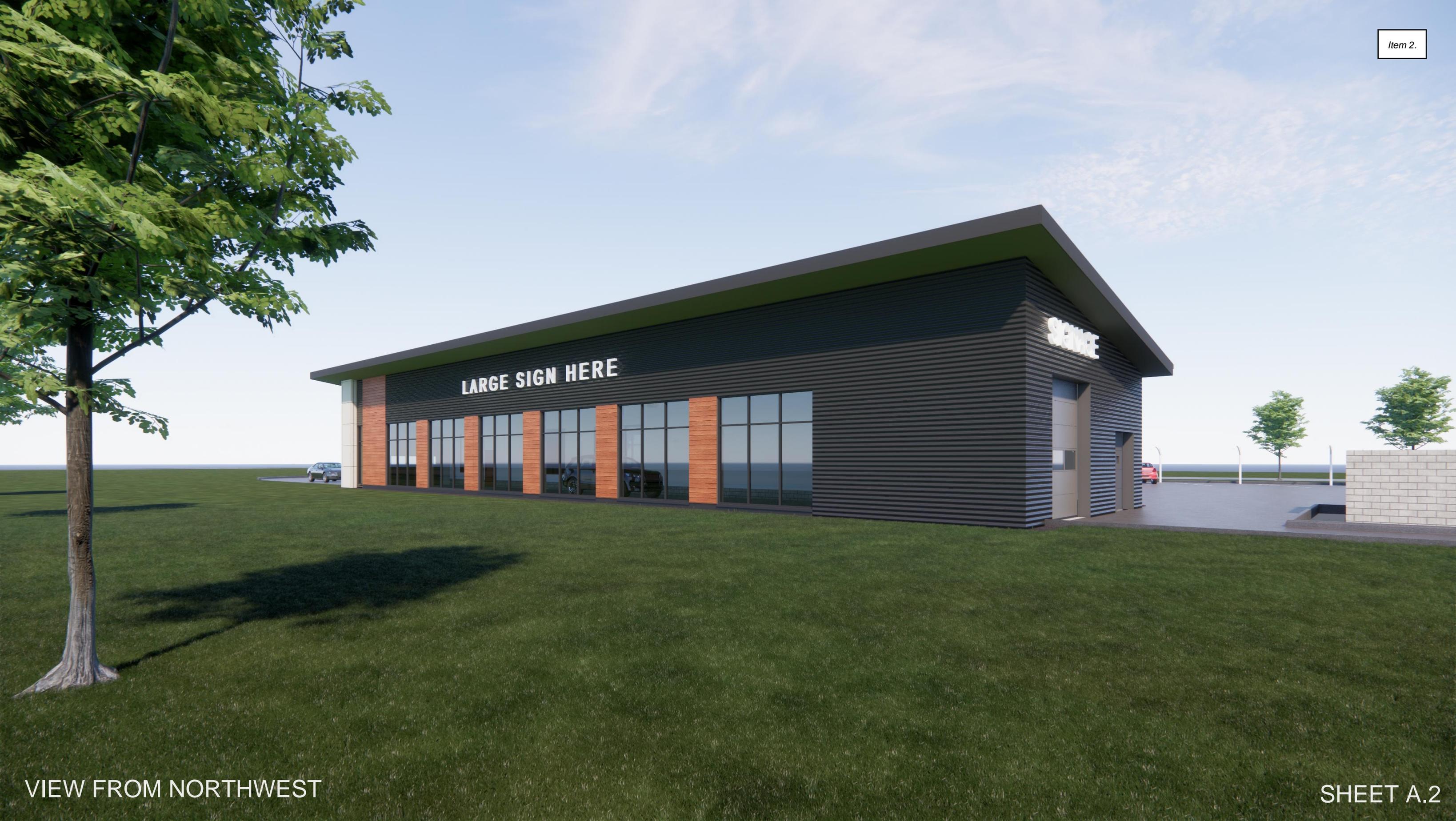
**LEGEND**

- PAVEMENT
  - TOPSOIL, SEEDING, AND MULCHING (MAY INCLUDE LANDSCAPING, REFER TO LANDSCAPING PLAN)
  - GRANULAR SURFACING PERMANENT OR TEMPORARY
  - EROSION MULCHING
  - TEMPORARY ROLLED EROSION CONTROL PRODUCT
  - INLET PROTECTION - SILT BAG
  - INLET PROTECTION - SOCK
  - 9" - FILTER SOCK, MULCH FILL\*\*
  - SILT FENCE
- \*\* MAY SUBSTITUTE WITH SILT FENCE OR MULCH BERM WHERE PERMITTED

**NOTES:**

1. NOT ALL KEY AND/OR LEGEND ITEMS MAY BE USED AND SHOWN ON THIS PLAN. THEY ARE AVAILABLE FOR USE IF NEEDED.
2. PORTABLE SANITARY FACILITY SHALL BE STAKED DOWN TO WITHSTAND ANY ANTICIPATED WINDS
4. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY ON ANY EXPOSED SOILS IF EARTH DISTURBING ACTIVITIES HAVE CEASED TEMPORARILY OR PERMANENTLY AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
5. ADDITIONAL AND MORE COMPREHENSIVE DETAILS AND INSTRUCTIONS CONTAINED WITHIN THE SWPPP DOCUMENT
6. CONCRETE SLURRY GENERATED BY WET SAWING SHALL BE VACUUMED OR UTILIZE OTHER ACCEPTABLE CONTAINMENT METHOD TO CAPTURE AND DISPOSE OF THE MATERIAL IN ACCORDANCE WITH APPLICABLE LAWS.





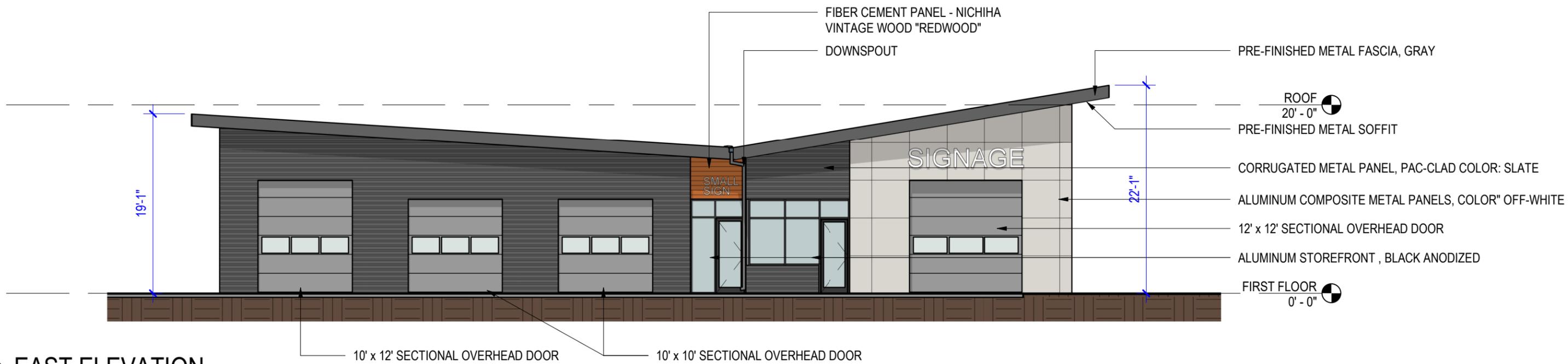
VIEW FROM NORTHWEST



VIEW FROM NORTHEAST



1 NORTH ELEVATION  
3/32" = 1'-0"



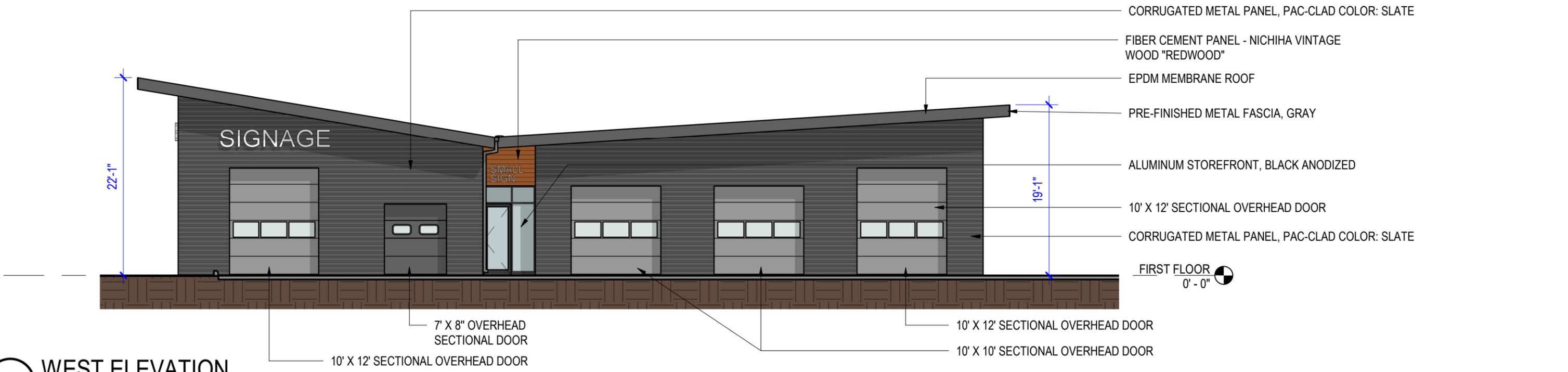
2 EAST ELEVATION  
3/32" = 1'-0"

Item 2.



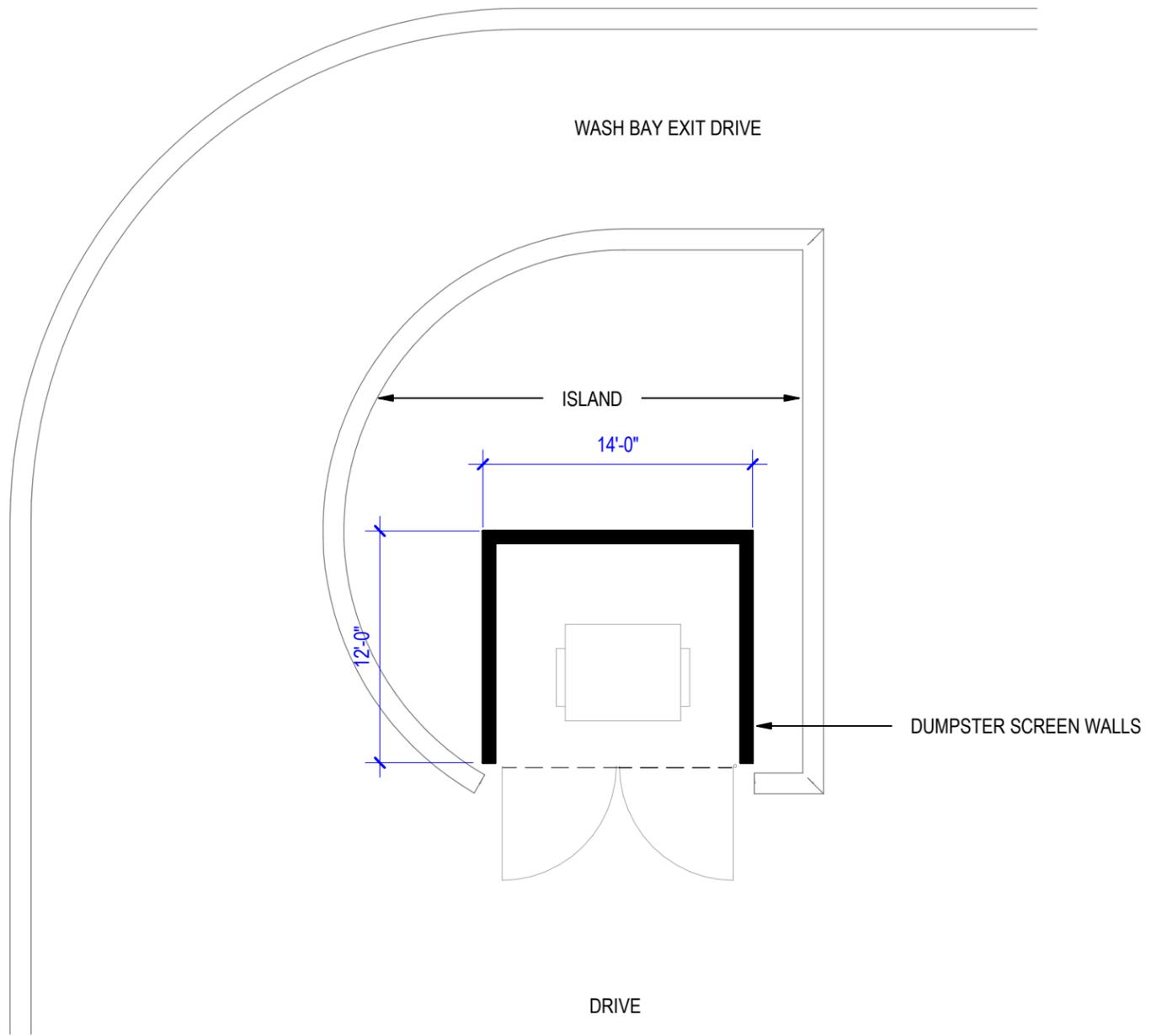
**1 SOUTH ELEVATION**  
3/32" = 1'-0"

- DOWNSPOUT
- GUTTER
- EPDM MEMBRANE ROOF
- GUTTER
- PRE-FINISHED METAL FASCIA, GRAY
- CORRUGATED METAL PANEL, PAC-CLAD COLOR: SLATE
- FIBER CEMENT PANEL - NICHIIHA VINTAGE WOOD "REDWOOD"
- ALUMINUM STOREFRONT, BLACK ANODIZED
- FIRST FLOOR 0'-0"
- CORRUGATED METAL PANEL, PAC-CLAD COLOR: SLATE

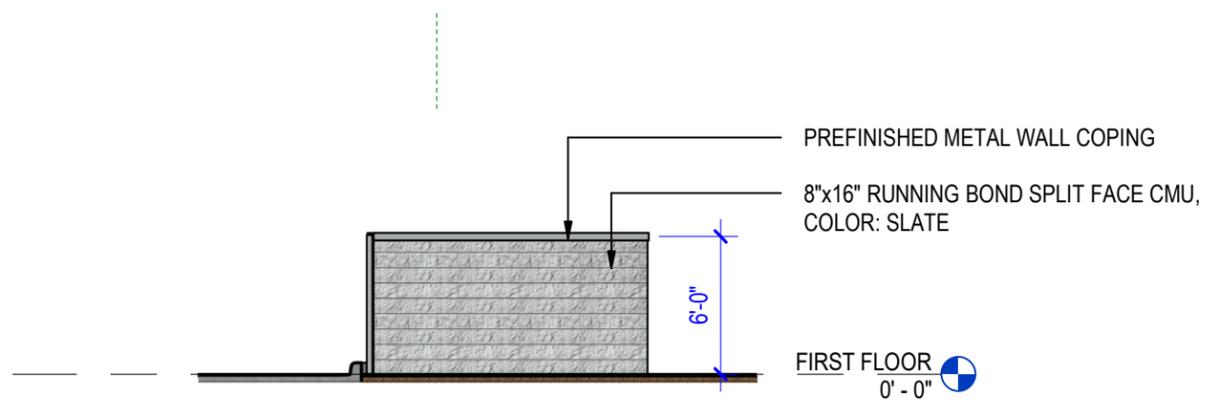


**2 WEST ELEVATION**  
3/32" = 1'-0"

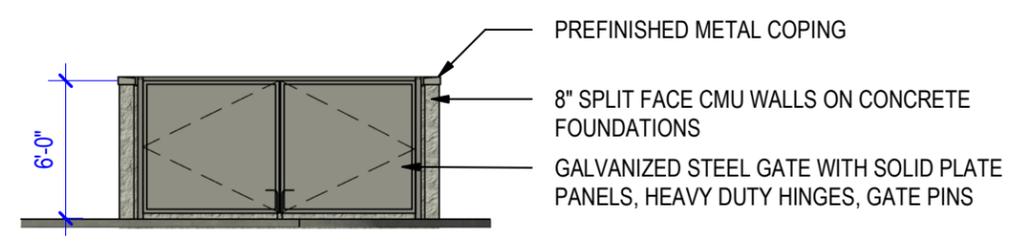
- CORRUGATED METAL PANEL, PAC-CLAD COLOR: SLATE
- FIBER CEMENT PANEL - NICHIIHA VINTAGE WOOD "REDWOOD"
- EPDM MEMBRANE ROOF
- PRE-FINISHED METAL FASCIA, GRAY
- ALUMINUM STOREFRONT, BLACK ANODIZED
- 10' X 12' SECTIONAL OVERHEAD DOOR
- CORRUGATED METAL PANEL, PAC-CLAD COLOR: SLATE
- FIRST FLOOR 0'-0"
- 7' X 8" OVERHEAD SECTIONAL DOOR
- 10' X 12' SECTIONAL OVERHEAD DOOR
- 10' X 10' SECTIONAL OVERHEAD DOOR



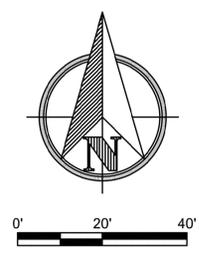
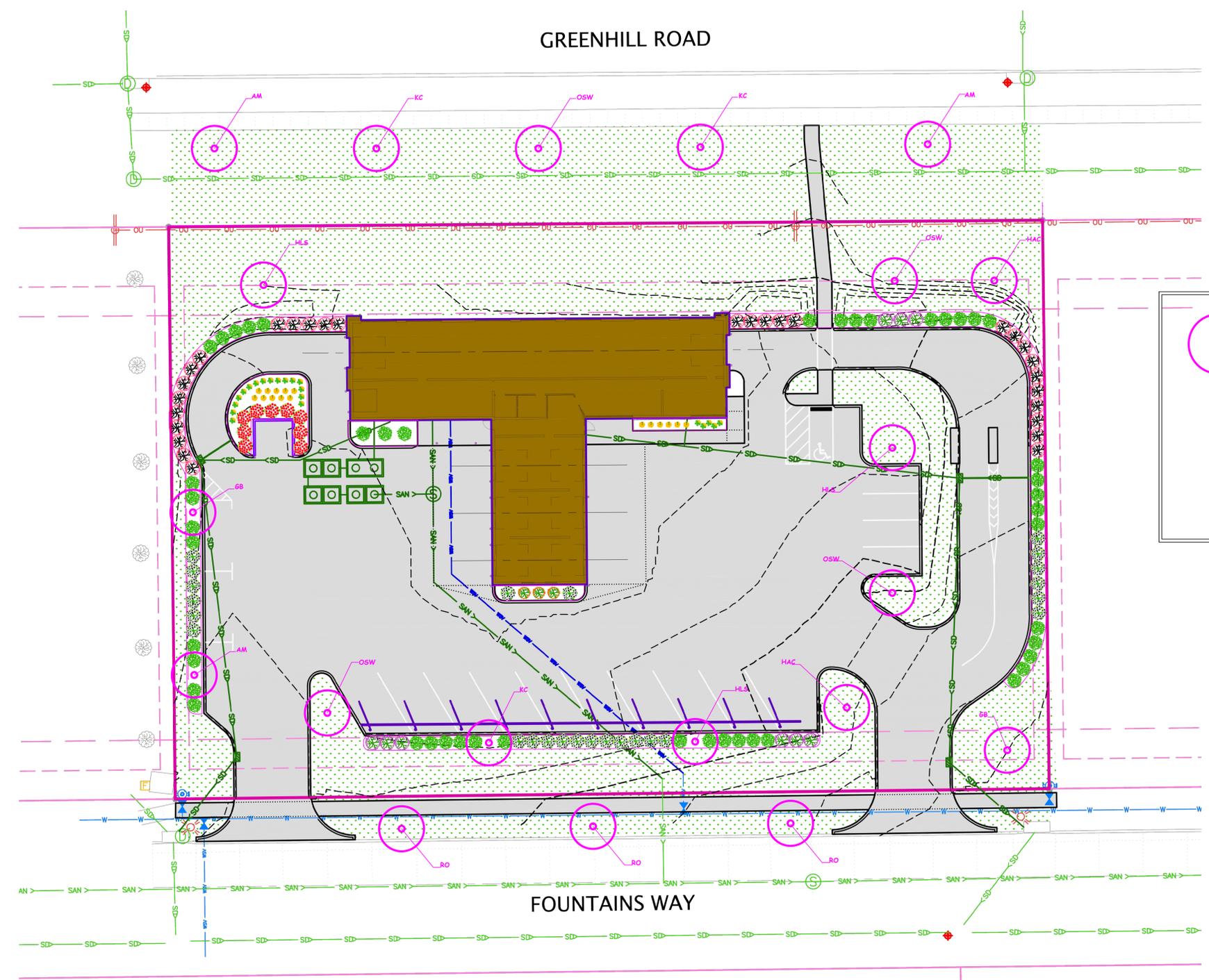
1 DUMPSTER LOCATION  
1/8" = 1'-0"



3 DUMPTSER ENCLOSURE SIDE ELEVATION  
1/8" = 1'-0"



2 DUMPSTER FRONT ELEVATION



- Deciduous Shade Tree
- Juniper, Sea Green
- Dwarf Burning Bush
- Serviceberry Regent
- Hydrangea, Quick Fire
- Hydrangea, Limelight
- Spirea, Goldmound
- Grass, Karl Foerster
- Daylily, Stella

### LANDSCAPE PLAN GREENHILL CARWASH

SITE ADDRESS  
#### FOUNTAINS WAY, CEDAR FALLS, IOWA  
LOT 2, GREENHILL VILLAGE COMMERCIAL 5th ADDITION

PARCEL ID:  
891426229002

ZONING  
MU-MIXED USE RESIDENTIAL DISTRICT

LOT SIZE  
57,274 SF / 1.31 ACRES

REQUIREMENTS PER ZONING ORDINANCE (PARAPHRASED):

- A. MIN. OPEN SPACE OF 10% EXCLUDING PERIMETER SETBACK
- B. MIN. 0.03 PTS/SF OF SITE AREA.  
57,274 SF \* 0.03 PTS/SF = 1,719 POINTS
- C. MIN. 0.75 PTS PER LF OF FRONTAGE  
GREENHILL ROAD: 297 LF FRONTAGE \* 0.75PTS/LF = 223 PTS  
FOUNTAINS WAY: 297 LF FRONTAGE \* 0.75PTS/LF = 223 PTS  
TOTAL FRONTAGE PTS: 446 PTS
- D. OVERSTORY TREES PLACED ADJACENT TO PARKING AT A RATE OF 1 TREE PER 15 PARKING SPACES OR 1 TREE PER 2500 SF OF PARKING AREA  
19 PARKING SPACES (INC. VAC)/ 15 SF = 2 TREES
- E. LANDSCAPING AROUND PERIMETER OF PARKING AREAS.
- F. MINIMUM 65% OF REQUIRED POINTS ARE BE PLACED AS TREES.

OPEN SPACE PROVIDED  
TOTAL AREA EXCLUSIVE OF LANDSCAPE SETBACK: 42,427 SF  
VEGETATED/LANDSCAPED SURFACE: 7,689 S.F. (18.1%)

MINIMUM ISLAND  
AREA OF DRIVES AND PARKING SPACES: 28,963 SF  
MINIMUM ISLAND AREA REQUIRED (5%): 1,449 SF OF ISLAND  
AREA OF ISLANDS PROVIDED: 3,642 SF

Site Area 1,719 points \* 65% points need to be from site trees = 1,117 points  
1,117 points / 80 points per tree = 14 site trees  
2 of these site trees where placed along Greenhill Rd

	Tree	QTY	Size	Mature Height	Points	Total	
Symbol	<b>Street Trees Greenhill</b>						
	OSW	Oak, Swamp White	1	2" B&B	50'	80	
	AM	Maple Sienna Glen	2	2" B&B	45'	80	
					<b>Total Points Street Trees</b>	<b>240</b>	
Symbol	<b>Street Trees Fountains Way</b>						
	RO	Oak, Red	3	2" B&B	60'	80	
					<b>Total Points Street Trees</b>	<b>240</b>	
Symbol	<b>Site Landscaping</b>						
	AM	Maple Sienna Glen	1	2" B&B	45'	80	
	HAC	Hackberry	2	2" B&B	50'	80	
	OSW	Oak, Swamp White	3	2" B&B	50'	80	
	HLS	Honey Locust, Skyline	3	2" B&B	45'	80	
	KC	Kentucky Coffeetree Espresso	3	2" B&B	40'	80	
	GB	Ginkgo Autumn Gold	2	2" B&B	50'	80	
		Juniper Sea Green	47	#5	4'	10	470
		Hydrangea, Lime Light	25	#5	5'	10	250
		Hydrangea, Quick Fire	9	#5	5'	10	90
	Spirea, Goldmound	3	#5	3'	10	30	
	Dwarf Burning Bush	29	#5	5'	10	290	
	Serviceberry Regent	9	#5	5'	10	90	
	Grass, Karl Foerster	16	#1	3'	0	0	
	Daylily, Stella	21	#1	2'	0	0	
					<b>Total Points Site Trees</b>	<b>1120</b>	
					<b>Total Site Points Trees + Shrubs</b>	<b>2340</b>	

**Robinson Engineering Company**  
 Consulting Engineers  
 819 Second Street NE  
 Independence, Iowa 50644  
 319.334.7211

LANDSCAPE PLAN

GREENHILL CARWASH  
 PN: 21117  
 WASH PROPERTIES, LLC  
 3109 VENTURE WAY  
 CEDAR FALLS, IOWA 50613



3170 WAGNER ROAD  
WATERLOO, IOWA 50703  
319.226.6000

**L1.1**  
10/06/2021  
SUBMITTAL 2



# DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls  
220 Clay Street  
Cedar Falls, Iowa 50613  
Phone: 319-273-8600  
Fax: 319-268-5126  
www.cedarfalls.com

## MEMORANDUM

### Planning & Community Services Division

**TO:** Planning and Zoning Commission  
**FROM:** Michelle Pezley, Planner III  
Luke Andreasen, PE, Principal Engineer  
**DATE:** September 30, 2021  
**SUBJECT:** PP21-003 West Fork Crossing Preliminary Plat

**REQUEST:** Request to approve a Preliminary Plat for West Fork Crossing

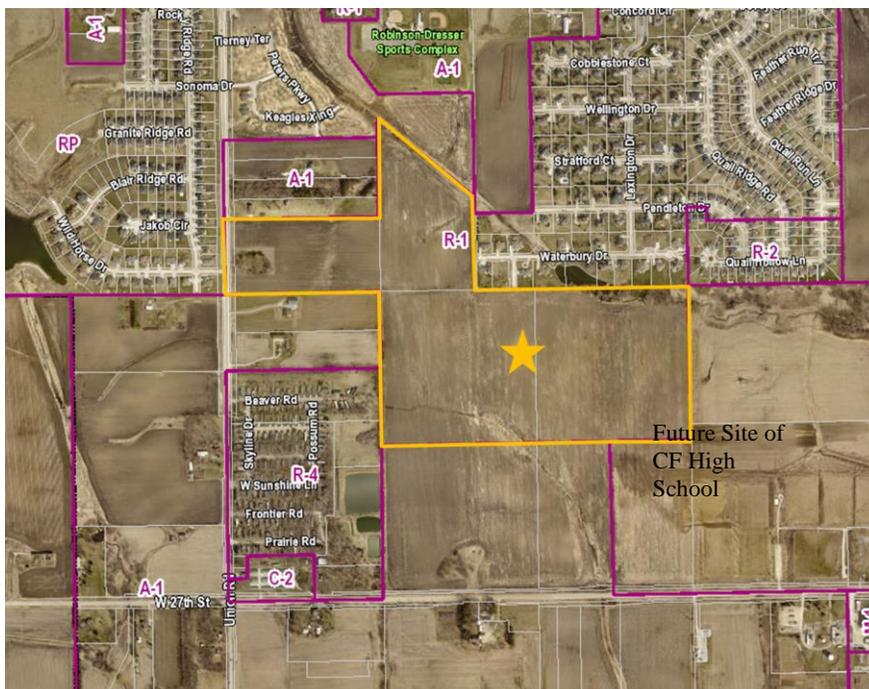
**PETITIONERS:** Echo Development/Brent Dahlstrom; ISG Engineering, Money Pit, LLC and Waterbury Property Investors, LLC property owners.

**LOCATION:** 120 acre parcel between Union Road and Waterbury Drive

**PROJECT #:** PP21-003 Preliminary Plat for West Fork Crossing

### PROPOSAL

The applicant submitted a request for a preliminary subdivision plat for West Fork Crossings, which includes 64 building lots and 54 outlots for future development on approximately 120 acres of land located north of W. 27<sup>th</sup> Street and east of Union Road near the site of the new Cedar Falls High School. The preliminary plat also indicates the location of streets, trails, a neighborhood park, conservation areas, and stormwater management areas. Per the subdivision code regulations the



applicant has also submitted a phasing plan, indicating that the subdivision will be final platted in six phases beginning with the northern 64 lots. The applicant proposes that the subdivision will be single-family residential development.

#### **BACKGROUND:**

This area of land was rezoned from A-1 Agricultural District to R-1 Residence District in October 2019. In 2020, the applicant submitted another rezoning request that included the original R-1 zoned area and the 60 acres to the south to RP Planned Residential District. The Commission approved the proposed RP Plan, including the development phasing plan, but the applicant withdrew the application prior to the close of the public hearing before City Council. During that process in 2020, the applicant and City Staff heard from the neighbors and listened to the neighbors' concerns with regard to through traffic, buffers, and construction traffic. The applicant is still proposing wider sidewalks for trails, traffic calming measures, street layouts to reduce through traffic, and a condition is recommended to limit construction traffic to come from Union Road or W. 27<sup>th</sup> Street.

This application is a little different from most subdivisions, as the applicant has chosen to only show the lot configurations for West Fork Crossing First Addition and the remaining land as outlots for future development. The applicant has been made aware per subdivision code regulations, that they will be required to submit another preliminary plat before the applicant may submit final plats for the additional phases proposed.

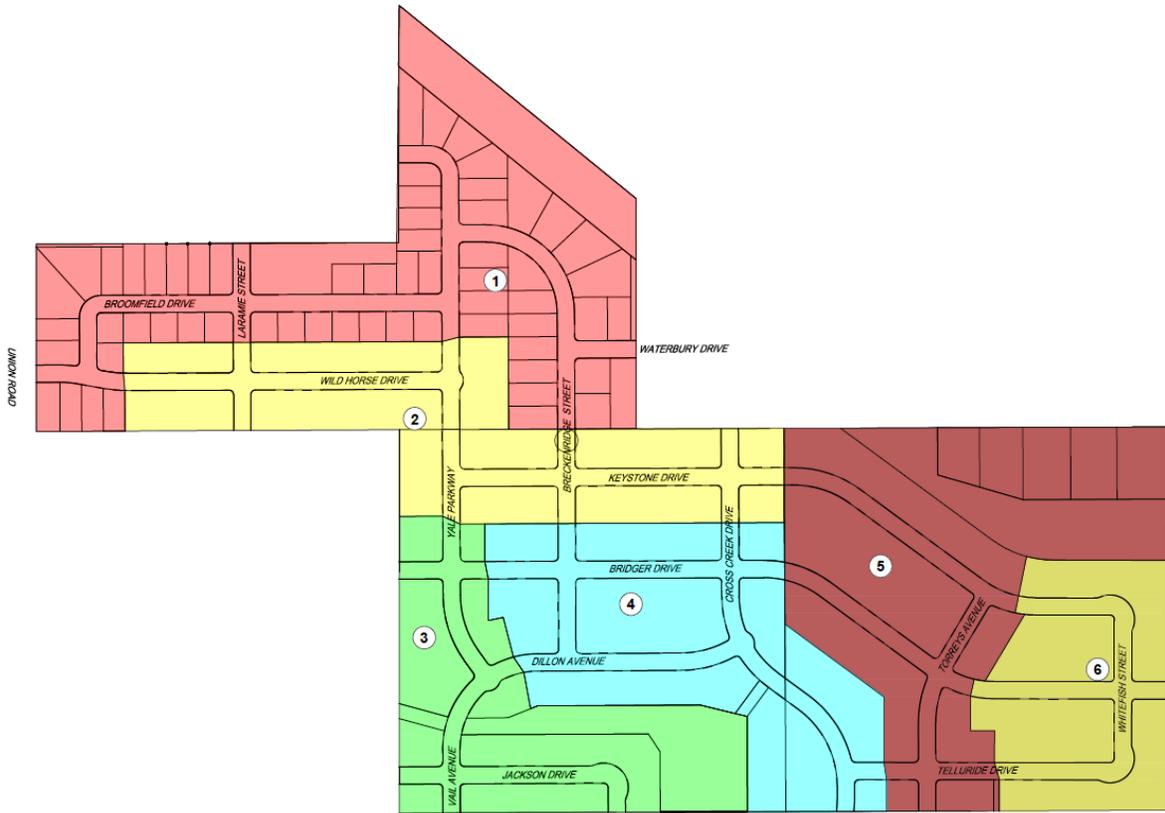
The subject property is bordered by an R-1 zoned single-family subdivision (Lexington Heights) and an RP District (Terraces at West Glen) to the north. To the west of the site is a manufactured home development, zoned R-4 and several large single family lots. Undeveloped land owned by UNI and the site of the new Cedar Falls High School is located east and southeast of the subject property. The property is currently farmland.

The applicant, Money Pit LLC, also owns the two parcels are directly south of the site. The two lots consist of sixty acres that are within the A-1 Agricultural District. Since this area is still zoned A-1 Agricultural District, and the applicant has no immediate plans for development of this area, they have requested to exclude this area from the preliminary plat. However, staff notes that to provide adequate traffic circulation for the last three phases of the development, a street connection between phase 3 of the development and W. 27<sup>th</sup> Street will be necessary. This is noted in the phasing plan (see conditions and findings below).

#### **ANALYSIS**

##### **Phasing of Development and Critical Connections:**

Per the recent amendment to the subdivision code, the applicant is required to submit a phasing plan that shows the order of development with an emphasis on ensuring the timely connection of streets and other infrastructure within the development. The phasing plan will also require multiple, direct routes between neighborhood designations, and ensure that critical street routes are completed first.



The applicant proposes to subdivide the 120 acres within six phases. Staff reviewed the submitted phasing plan with regard to the critical infrastructure needed for the development and the recommendations of the submitted traffic impact letter. Staff outlined three main critical connections regarding the subdivision and for the community: connections running west to east, connections running north to south to W. 27<sup>th</sup> Street, and the neighborhood connection to the Cedar Falls High School. Staff reviewed the traffic impact letter submitted by the applicant and reviewed the proposed street and lot layout and current and future community destinations in the area and determined that the connection between the subdivision and W. 27<sup>th</sup> Street is needed prior to development of the Fourth through Sixth Additions. The applicant has agreed and has noted this on their phasing plan. Staff notes that when the land to the south is rezoned and platted for development, Cross Creek Drive will be required to be extended to W. 27<sup>th</sup> Street as another critical connection to provide adequate traffic circulation through this large neighborhood as it builds out.

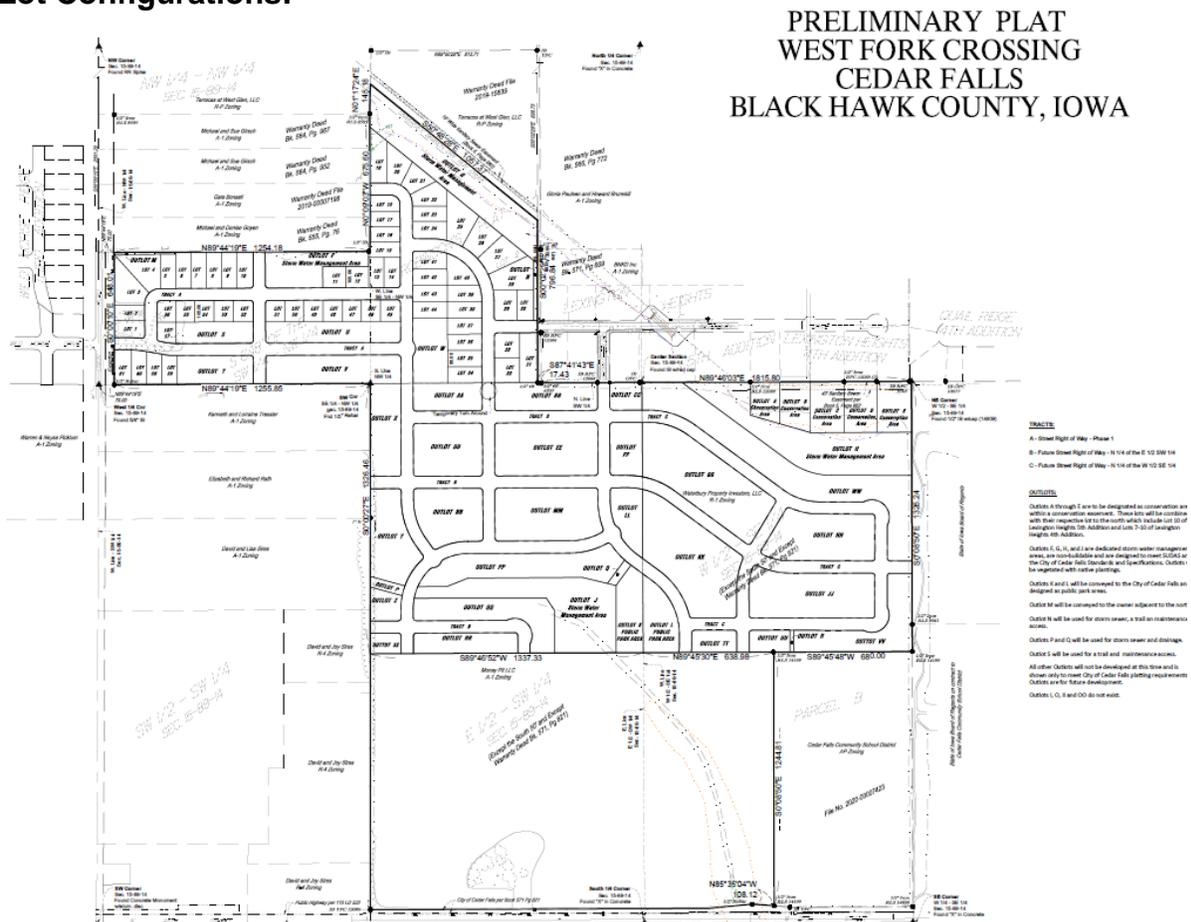
The applicant shows in the phasing plan that the First Addition will connect Union Road to Waterbury Drive, which was the anticipated east-west street connection planned with the Lexington Heights subdivision. This will allow Lexington Heights residents a more direct route to important destinations, such as employment centers, schools and shopping areas located to the south and future residents of the new subdivision another route to the north. While staff would have preferred a more direct connection from Waterbury to Union Road with more standard traffic calming measures to slow traffic, the applicant has designed the street layout with a more circuitous route. Since this connection is intended to serve neighborhood traffic circulation needs rather than a regional route, staff finds this to be acceptable. Staff notes that construction traffic

during development of the 1<sup>st</sup> and 2<sup>nd</sup> Addition should be routed from Union Road and not through the existing Lexington Heights neighborhood.

The Second Addition of the development will connect Cross Creek Drive to Union Road. The Third Addition will connect the development to the southern sixty acres owned by the applicant. Staff recommends that the applicant provide a temporary construction access road from W. 27<sup>th</sup> Street with the 3rd Addition. This will provide a route for construction traffic without passing through the completed 1<sup>st</sup> and 2<sup>nd</sup> Additions. (See **Condition 1**). Per the phasing plan, a permanent public street connection to W. 27<sup>th</sup> Street will be required prior to development of the Fourth Addition. (See **Condition 2**).

The applicant also proposes two other street connections to the southern boundary of the subdivision. As noted above, the City will require future development of the southern properties currently owned by the developer to have a second connection to W. 27<sup>th</sup> Street and a connection to the High School.

**Lot Configurations:**



The 64 building lots shown on the northern part of the subdivision are intended to be developed as the First Addition. As mentioned above, the applicant proposes the remaining phases to be broken down into outlots that will be reviewed in future preliminary plats prior to any final plats for the second through the sixth additions.

The applicant proposes the West Fork Crossing First Addition to consist of 64

residential lots to be between 23,000 to 9,000 square feet in size. Each lot is at least 70 feet wide as measured from the front setback. Minimum principal building setbacks within the R-1 Zoning District are as follows: 30-foot front yard, 30-foot rear yard, and a side yard of 10% of the lot width. All 64 of the proposed buildable lots meet these standards. Lot 40 is the only odd-shaped lot within the First Addition, so the setbacks are delineated on the lot.

Tracts A, B, and C designate the area where streets will be constructed and dedicated to the City once the improvements are approved by the City. Tract A will be dedicated for streets with the approval of the West Fork Crossing First Addition final plat.

A wetland, the University Branch of Dry Run Creek, and the floodplain are found on Outlot G. Outlot F also contains a wetland. The applicant proposes to mitigate the wetlands by purchasing wetland credits. No development is proposed within the floodplain. A stormwater management area will be located outside the floodplain. (See more on stormwater management in the next sub-section below.)

### **Parks and Trails:**

The applicant continues to support the additional trail system that was part of their original proposal. Sidewalks will be constructed along all streets within the subdivision. The City is currently constructing the 10-foot trail along Union Road. Please see comments regarding the improvements within the technical comment section.

The applicant also proposes the six-foot-wide sidewalks for bicycle and pedestrian circulation within and through the development. Within the first and second additions, the six foot sidewalk would connect from Union Street along the south side of Wild Horse Drive to the west side of Yale Parkway to the north side of Waterbury Drive extension, which will also connect to the trail that is proposed through Outlot N. The six-foot trail would continue south along tract B for future development.

The Comprehensive Plan includes an analysis regarding the community needs for parkland including geographic distribution. Since this will be a new area for residential growth, there will be a need for neighborhood park space. The applicant proposes 2.4 acre park within Outlots K and L and will be included with the Fourth Addition. The proposed parkland is within walking distance to most of the subdivision. Dedication of the park to the City would occur after improvements are made and land is graded and seeded in a manner acceptable to the City, since this area also includes additional open space along the natural drainage way and stormwater detention basin. These details would be worked at the time of final plat. The proposed park and greenway is consistent with the greenway and open space designation on the City's Future Land Use Map.

### **Street Network within the Subdivision:**

It is best practice to design neighborhoods with a compact pattern of blocks with intersecting streets every 300 to 600 feet. Excessively long blocks, cul-de-sacs, and dead-end streets have hidden long-term costs to the community, including increased emergency vehicle response times, increased travel times to work or school, increased traffic congestion, and disincentives to walk or bike to neighborhood destinations, particularly for children. The street layout for West Fork Crossings illustrates the intended pattern of streets and blocks that form a modified grid. Staff finds that the

proposed plan provides good connectivity throughout the development and stubs the streets to the property boundary so that a similar street network can continue in adjacent properties. While some of the blocks exceed 600 feet in length, the general pattern is well designed and responds to the topography and environmental features of the site.

### **Stormwater Management:**

The applicant proposes three outlots to be used for stormwater management areas: Outlot F, G, and J for the entire subdivision. The First Addition will consist of grading for Outlots F and G. The applicant proposes the grading for Outlot G to be outside the floodplain area. Stormwater easements are proposed throughout the preliminary plat to direct stormwater run-off to the three detention basins and will be proposed on future development outlots. These basins are designed to ensure that the water run-off from the new development is properly managed. According to the draft deed of dedication, the property owner will deed the stormwater management areas to the homeowner association to maintain as well as dedicate easements to the City. The engineering team reviewed the submitted stormwater report dated September 2, 2021, and agrees with the preliminary findings.

### **Concerns Raised in Prior Reviews:**

As mentioned above, the applicant and City staff heard the neighbors' concerns within the last review of the subdivision regarding through traffic and slowing the traffic down by design and traffic calming measures. Noise and dust of construction traffic was also a noted concern. Staff recommends a condition to limit the construction traffic to Union Road for the first two phases and establishment of a temporary construction road to W. 27<sup>th</sup> Street during construction of the third phase. Traffic calming measures consisting of traffic circles at key intersections are illustrated on the plat (**see Condition 3**).

### **Process:**

Approval of a preliminary plat will allow the developer to proceed with the construction and installation of all required public infrastructure such as streets, sewers, and other utilities for the First Addition of West Fork Crossing. Final platting must follow the phasing plan as attached. No lot sales or new home construction can begin until a final plat is approved by the City Council. A final plat cannot be approved until infrastructure construction plans (streets, utilities, etc.) are approved by the City Engineering Division and the infrastructure built and accepted by the City or a performance bond established. Further preliminary plat approvals are required for the outlots that are designated for future development prior to the submittal of construction drawings and/or final plat.

### **TECHNICAL COMMENTS**

Cedar Falls Utilities (CFU) has reviewed the preliminary plat for the West Fork Crossing Development. Water, electric, gas, and communications utility services are available in accordance with the service policies of CFU. The developer is responsible for the construction of a properly sized water system from the existing 12" water mains on the west side of Union Road and the west end of Waterbury Drive. Included in the installation are valves, fire hydrants, and water service stubs for the new lots. Water main sizing and fire hydrant and valve placement locations will need to be modified. This will be done as a part of the construction plan review. The developer will need to make refundable investments for the installation of the electric and gas utilities to and

throughout the addition. For a ten-year period after the installation, CFU will refund a portion of the refundable investments based upon the number of new service connections to the electric and gas distribution systems. There is no interest paid on the refundable investments and the total refunds will not exceed the original investment amounts. CFU will install the communication utility fiber system to serve the addition.

**Sewer:**

Sanitary sewer is available to the north of the site. This sewer is located along the northern boundary of the property within the floodplain of Dry Run Creek. Staff finds that the service to the north will be adequate to serve West Fork Crossing. This sanitary sewer is located in the Cherrywood Interceptor Sewer District which includes a sewer tapping fee as part of the development. The sewer tapping fee is \$294.63 per acre of development. This fee is paid by the developer at the time of final platting.

The City is also in the process of expanding sewer along W. 27<sup>th</sup> Street to serve the high school and new development along that area. Once the project is completed, staff anticipates that a new sewer tapping fee district will be created which may affect the Third Addition final plat tapping fee.

**Union Road Improvements:**

As mentioned above, the City is installing the 10 foot trail along the western side of Union Road. The City also will be installing the road approach for Wild Horse Drive to make sure that the ADA requirements are met for the trail. The developer will need to discuss a cost-sharing arrangement with the City associated with these improvements at the time of final plat.

**Neighbor Notice:**

A courtesy notice to nearby property owners was mailed on October 7, 2021.

**STAFF RECOMMENDATION**

Staff recommends gathering any comments from the Planning and Zoning Commission and the public and then continuing the discussion of the proposed subdivision plat at the next Planning and Zoning Commission meeting on October 27, 2021. Staff recommends the following conditions:

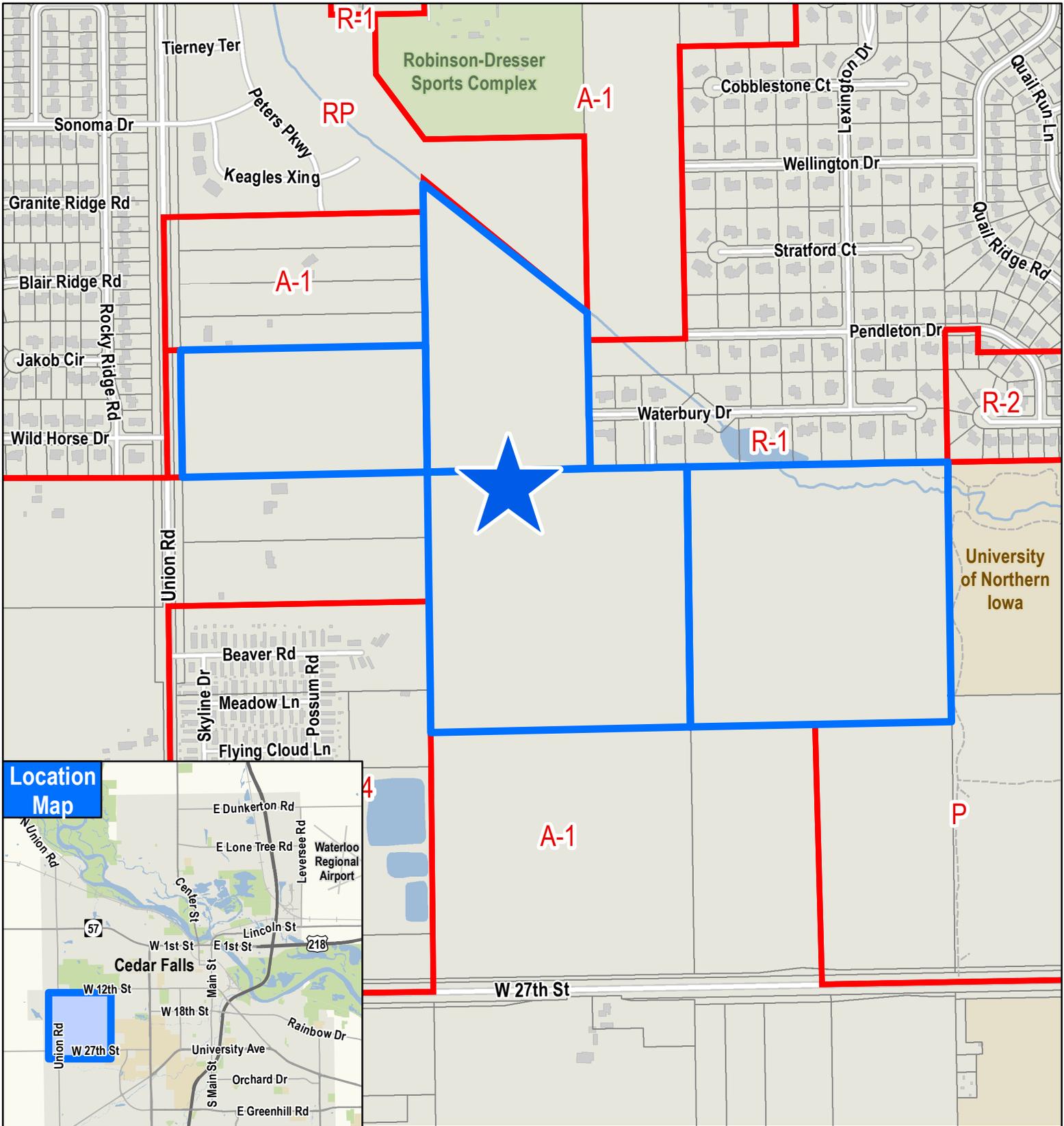
1. The applicant shall provide a temporary construction access road to 27th Street for the construction of the Third Addition.
2. The applicant shall provide a street connection to 27th Street prior to development of the Fourth Addition.
3. For all phases, the applicant shall limit the construction traffic to Union Road and W. 27<sup>th</sup> Street.

**PLANNING & ZONING COMMISSION**

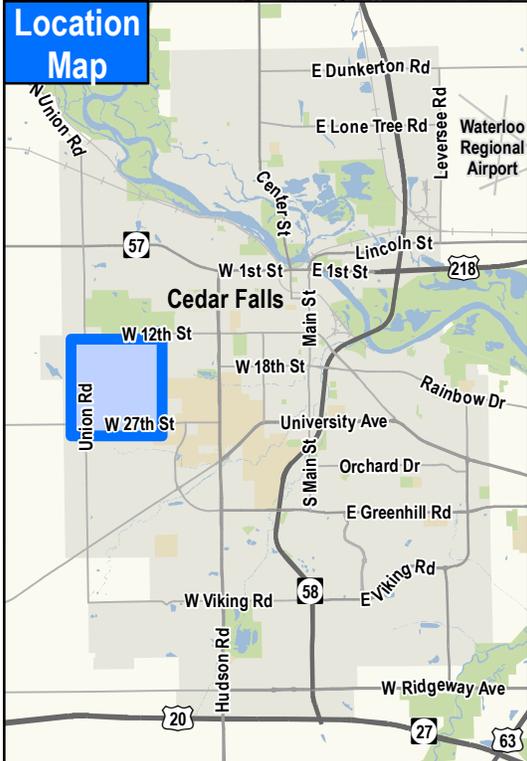
Discussion  
10/13/21

# Cedar Falls Planning and Zoning Commission October 13, 2021

Item 3.



## Location Map



(PP21-003) Preliminary Plat for  
West Fork Crossing  
North of W. 27th St and East of Union

# PRELIMINARY PLAT WEST FORK CROSSING CEDAR FALLS, BLACK HAWK COUNTY, IOWA

SEAL



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

DANIEL L. STUEBER

PRINTED SIGNATURE \_\_\_\_\_

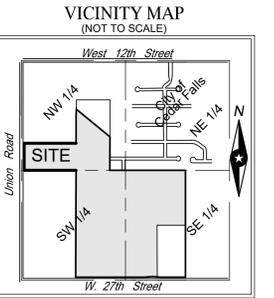
SIGNATURE \_\_\_\_\_ X

SIGNATURE DATE \_\_\_\_\_

My license renewal date is 12/31/2024

REGISTRATION EXPIRES \_\_\_\_\_ DATE ISSUED \_\_\_\_\_

SHEETS COVERED BY THIS SEAL 9



SEC. 15, TWP. 89, RGE. 14  
Black Hawk County, Iowa

### EXISTING LEGAL DESCRIPTION:

The West Half of the Southeast Quarter (W1/2 SE1/4) and the East Half of the Southwest Quarter (E1/2 SW1/4) of Section 15, Township 89 North, Range 14 West of the 5<sup>th</sup> P.M., Black Hawk County, Iowa except the South 50 feet thereof conveyed for public highway in 115 LD 533 and except that part conveyed to the City of Cedar Falls, Iowa in 571 LD 821

AND

Lot No. 2 in Robinson's Plat of part of the Northwest Quarter of Section 15, Township 89 North, Range 14 West of 5th P.M., City of Cedar Falls, Black Hawk County, Iowa, Owner's Dedication filed July 29, 1992 in 302 Misc. 305

AND

The South 648 feet of the Southwest Quarter of the Northwest Quarter (SW1/4 NW1/4) of Section 15, Township 89 North, Range 14 West of the 5th P.M., Black Hawk County, Iowa, except that part conveyed to the City of Cedar Falls for Union Road right of way in 547 LD 656

EXCEPT

The South Half of the East Half of the Southwest Quarter of Section 15, Township 89 North, Range 14 West.

AND

The South Half of the West Half of the Southeast Quarter of Section 15, Township 89 North, Range 14 West.

AND

Parcel B in the Southwest Quarter of the Southeast Quarter (SW1/4 SE1/4) of Section 15, Township 89 North, Range 14 West of 5th P.M., City of Cedar Falls, Black Hawk County, Iowa as shown on a plat of survey file no. 2020-00007423.

AND

Parcel A in Lot 2 of Robinson's Minor Plat of part of the Northwest Quarter (NW1/4) of Section 15, Township 89 North, Range 14 West of 5th P.M., City of Cedar Falls, Black Hawk County, Iowa as shown on a plat of survey file no. 2019-00015839

Total area to be platted - 120.88 Acres

### DEVELOPERS:

Echo Development  
Brent Dahlstrom  
604 Clay Street  
Cedar Falls, IA 50613

### SURVEYOR and ENGINEER:

ISG  
314 East 4th Street  
Waterloo, IA 50703  
(319) 234-1515

### OWNERS:

Money Pit, LLC  
P.O. Box 128  
Cedar Falls, IA 50613

Waterbury Property Investors, LLC  
604 Clay Street  
Cedar Falls, IA 50613

### EXISTING PROPERTY:

ZONED: R-1 (1 & 2 Unit Residential)

### Building Setback:

Front - 30 feet  
Side - 10% - 20% of lot width  
Rear - 30 feet

### BEARING NOTE:

Orientation of this bearing system is based on IaRCS (Zone 5 - Waterloo).

### NOTES:

- West Fork Crossing will be graded to allow for residential construction with the proposed grading primarily following existing topographic features currently present on site.
- Public Street Right-of-Way width will be 60.00 feet.
- A 6' Bike trail is proposed as shown in the development that connects the future 10' bike trails along Union Road and West 27th Street.
- 4' wide sidewalks will be constructed along sides of public streets where the City's bike trail system is not located.
- A 10' Wide Utility Easement will be provided adjacent to all Street Right-of-Way.
- West Fork Crossing First Addition will connect 12" DIP water main along Union Road, and Waterbury Road in Lexington Heights as well as connecting to the north to Robinson Dresser Park. A 12" DIP water main will also be present along the proposed Peters Parkway to connect to Terraces at West Glen in the future. An 8" diameter water main will be present in the other applicable streets, unless a larger water main is required, to be determined during the development of construction plans.
- Storm sewer is generally designed for 10 year storm flows.
- Sanitary sewer will be 8" diameter through the development and comply with SUDAS and the City of Cedar Falls Standards and Specifications.
- Water service and sanitary sewer service will be stubbed to the back of the utility easement line for each residential unit.
- Gas main is generally located 8' behind curb, opposite side of street from water main. Location shall be coordinated with local utility provider.
- Underground electric and communication lines shall be generally located within 10' utility easements. Location shall be coordinated with local utility provider.
- Streets to be 31' back of curb to back of curb. Portland cement concrete, with a minimum 12" thick crushed stone base and sub drain tile on both sides of street system, connecting to storm sewer.
- Existing site features can be found on sheets 3-7.
- Future street improvements can be found on sheets 3-9.
- Proposed street improvements and proposed contours can be found on sheets 3-9.
- Proposed utilities are shown in color and can be found on sheets 3-9.
- Proposed easements and building setbacks can be found on sheets 3-9.
- Proposed lot corners located at street intersections have a 15' radius unless otherwise noted.
- Proposed Street Right of Way and future traffic calming circles are shown for future development.
- Existing boundary lines are shown per FEMA map 19013C0163F dated July 18, 2011.
- Non-regulated wetlands are shown per ISG's wetland delineation from June 3, 2019. Wetland mitigation will be achieved via the purchase of wetland credits or by an alternative method approved by the City of Cedar Falls in the event no wetland credits are available.
- Approximate low structure opening (LSO) elevations can be found on sheet 8.

### TRACTS:

- A - Street Right of Way - Phase 1
- B - Future Street Right of Way - N 1/4 of the E 1/2 SW 1/4
- C - Future Street Right of Way - N 1/4 of the W 1/2 SE 1/4

### OUTLOTS:

Outlots A through E are to be designated as conservation areas within a conservation easement. These lots will be combined with their respective lot to the north which include Lot 10 of Lexington Heights 5th Addition and Lots 7-10 of Lexington Heights 4th Addition.

Outlots F, G, H, and J are dedicated storm water management areas, are non-buildable and are designed to meet SUDAS and the City of Cedar Falls Standards and Specifications. Outlots will be vegetated with native plantings.

Outlots K and L will be conveyed to the City of Cedar Falls and designed as public park areas.

Outlot M will be conveyed to the owner adjacent to the north.

Outlot N will be used for storm sewer, a trail and maintenance access.

Outlots P and Q will be used for storm sewer and drainage.

Outlot S will be used for a trail and maintenance access.

All other Outlots will not be developed at this time and is shown only to meet City of Cedar Falls platting requirements. Outlots are for future development.

Outlots I, O, II and OO do not exist.

Lot Frontage at Building Setback for Irregular Shaped Lots	
Lot Number	Chord Distance (ft.)
3	79.7
4	75.4
25	89.9
26	101.3
27	101.4
28	88.3
39	81.5
40	200.6
58	101.3
59	101.3
60	101.3

### LEGEND

---<---	Existing Sanitary Sewer Line	--- G ---	Underground Gas Line	◆	Benchmark	⊗	Curb Stop
---<---	Proposed Sanitary Sewer Line	--- UE ---	Underground Electric Line	○	Drop Intake	⊗	Manhole/Catch Basin
---<---	Future Sanitary Sewer Line	--- UTL ---	Underground Utility Line	⊗	Gas Valve	⊗	Sign
---<<---	Existing Storm Sewer Line	--- FBO ---	Underground Fiber Optic Line	●	Iron Monument Found	⊗	Post
---<<---	Proposed Storm Sewer Line	--- OHL ---	Overhead Utility Line	▲	Section Corner Found	⊗	Deciduous Tree
---<<---	Future Storm Sewer Line	---	Landscaping Edge	⊗	Transformer	⊗	Coniferous Tree
--- ---	Existing Water Line	--- W ---	Water's Edge	⊗	Light Pole	⊗	Bush
--- ---	Proposed 8" Water Line	---	Wetland Line	⊗	Utility Pedestal	⊗	Stump
--- ---	Proposed 12" Water Line	---	Treeline	⊗	Utility Pole/Guy Wire	⊗	Mailbox
--- ---	Future Water Line	---	Fence	⊗	Water Valve		
---	Proposed Building Setback Line	---	100 Year Floodplain Line	⊗	Hydrant		
		---	500 Year Floodplain Line				

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

## WEST FORK CROSSING

CEDAR FALLS IOWA

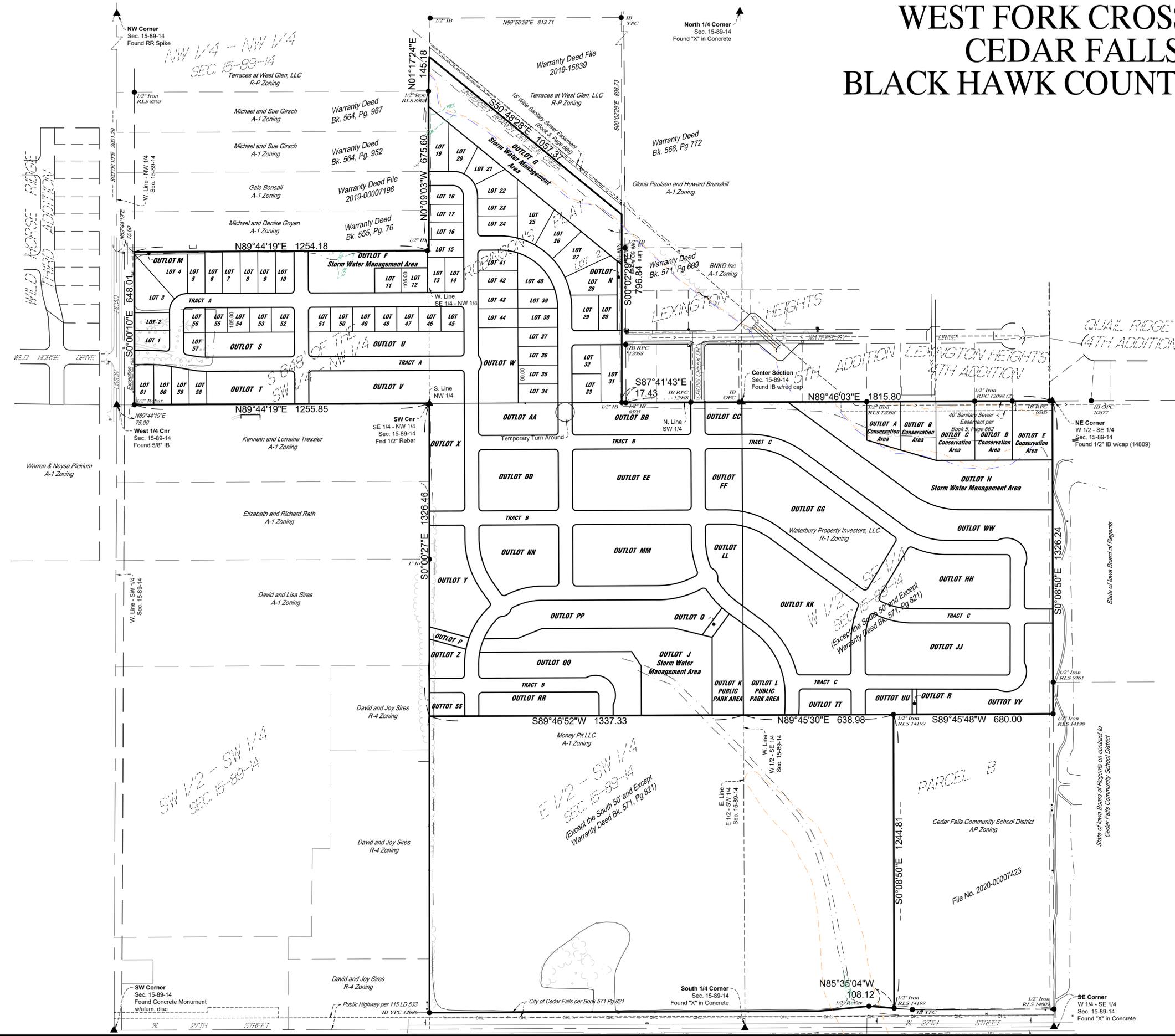
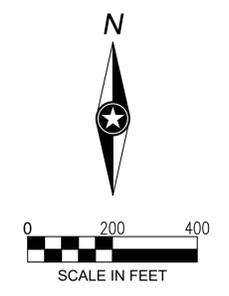
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-22603
FILE NAME	X-22603-PRO-LOT-S
DRAWN BY	JW
DESIGNED BY	TV
REVIEWED BY	DS
ORIGINAL ISSUE DATE	5/1/21
CLIENT PROJECT NO.	

# PRELIMINARY PLAT

SHEET  
**1**

# PRELIMINARY PLAT WEST FORK CROSSING CEDAR FALLS BLACK HAWK COUNTY, IOWA



- TRACTS:**
- A - Street Right of Way - Phase 1
  - B - Future Street Right of Way - N 1/4 of the E 1/2 SW 1/4
  - C - Future Street Right of Way - N 1/4 of the W 1/2 SE 1/4
- OUTLOTS:**
- Outlots A through E are to be designated as conservation areas within a conservation easement. These lots will be combined with their respective lot to the north which include Lot 10 of Lexington Heights 5th Addition and Lots 7-10 of Lexington Heights 4th Addition.
  - Outlots F, G, H, and J are dedicated storm water management areas, are non-buildable and are designed to meet SUDAS and the City of Cedar Falls Standards and Specifications. Outlots will be vegetated with native plantings.
  - Outlots K and L will be conveyed to the City of Cedar Falls and designed as public park areas.
  - Outlot M will be conveyed to the owner adjacent to the north.
  - Outlot N will be used for storm sewer, a trail and maintenance access.
  - Outlots P and Q will be used for storm sewer and drainage.
  - Outlot S will be used for a trail and maintenance access.
  - All other Outlots will not be developed at this time and is shown only to meet City of Cedar Falls platting requirements. Outlots are for future development.
  - Outlots I, O, II and OO do not exist.

THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

## WEST FORK CROSSING FIRST ADDITION

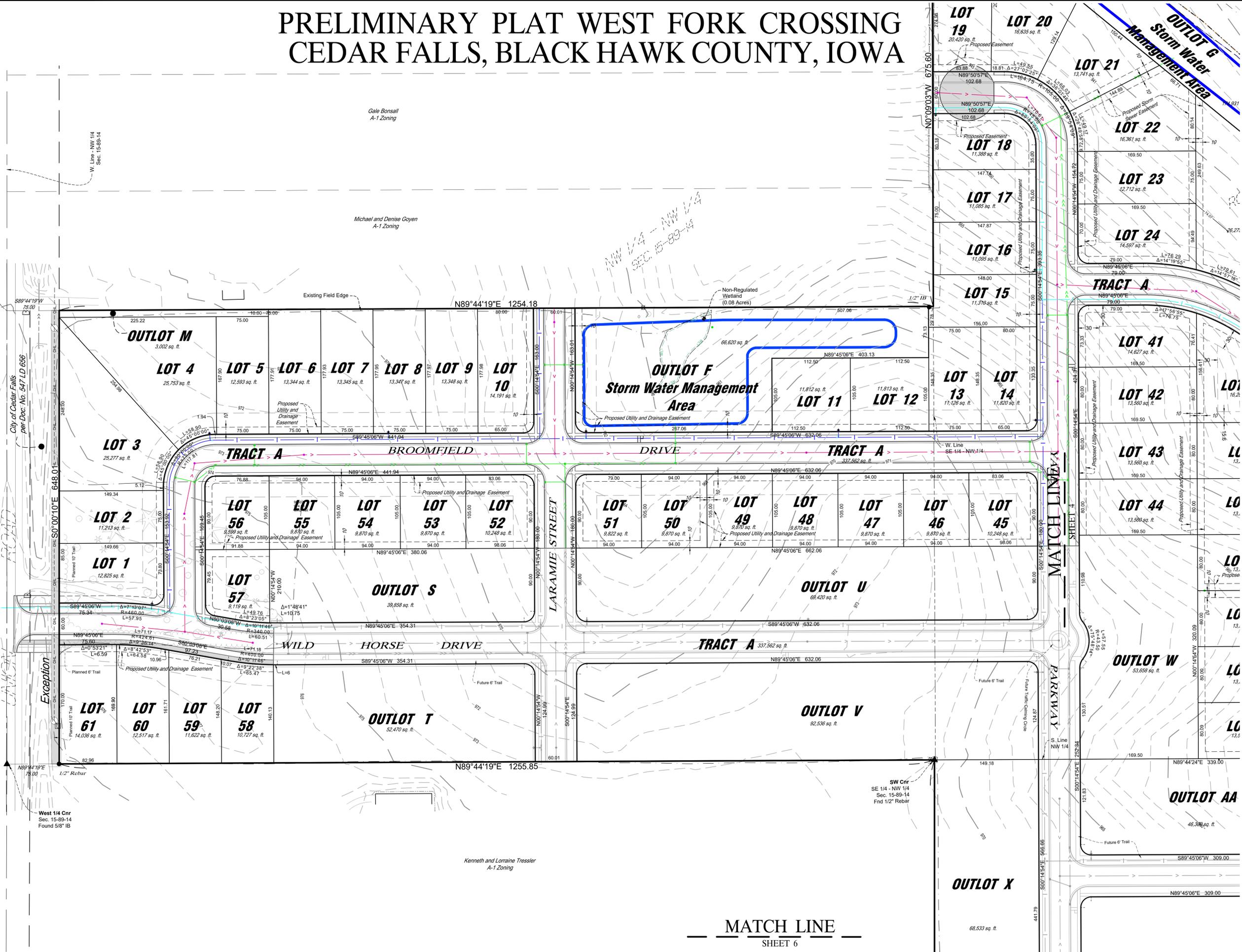
CEDAR FALLS IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-22603
FILE NAME	22603 PPLAT
DRAWN BY	JW
DESIGNED BY	TV
REVIEWED BY	DS
ORIGINAL ISSUE DATE	5-10-21
CLIENT PROJECT NO.	

## PRELIMINARY PLAT

# PRELIMINARY PLAT WEST FORK CROSSING CEDAR FALLS, BLACK HAWK COUNTY, IOWA



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

## WEST FORK CROSSING FIRST ADDITION

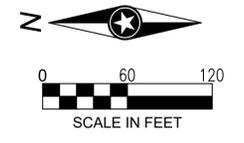
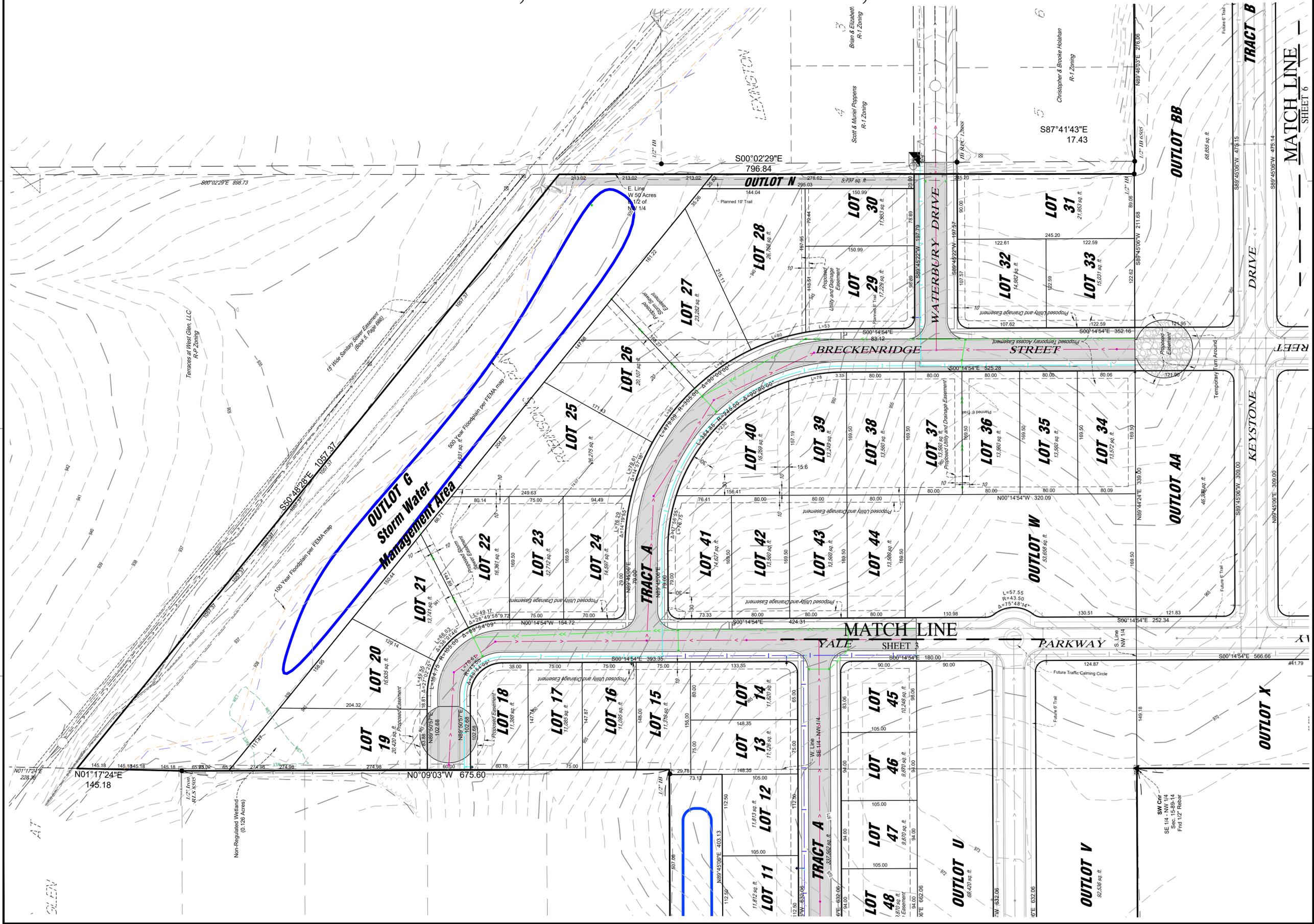
CEDAR FALLS IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-22603
FILE NAME	22603 PPLAT
DRAWN BY	JW
DESIGNED BY	TV
REVIEWED BY	DS
ORIGINAL ISSUE DATE	5-10-21
CLIENT PROJECT NO.	

## PRELIMINARY PLAT

# PRELIMINARY PLAT WEST FORK CROSSING CEDAR FALLS, BLACK HAWK COUNTY, IOWA



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT  
**WEST FORK CROSSING FIRST ADDITION**  
CEDAR FALLS IOWA

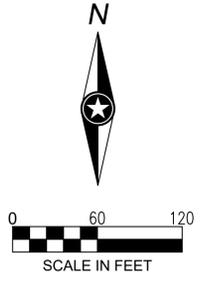
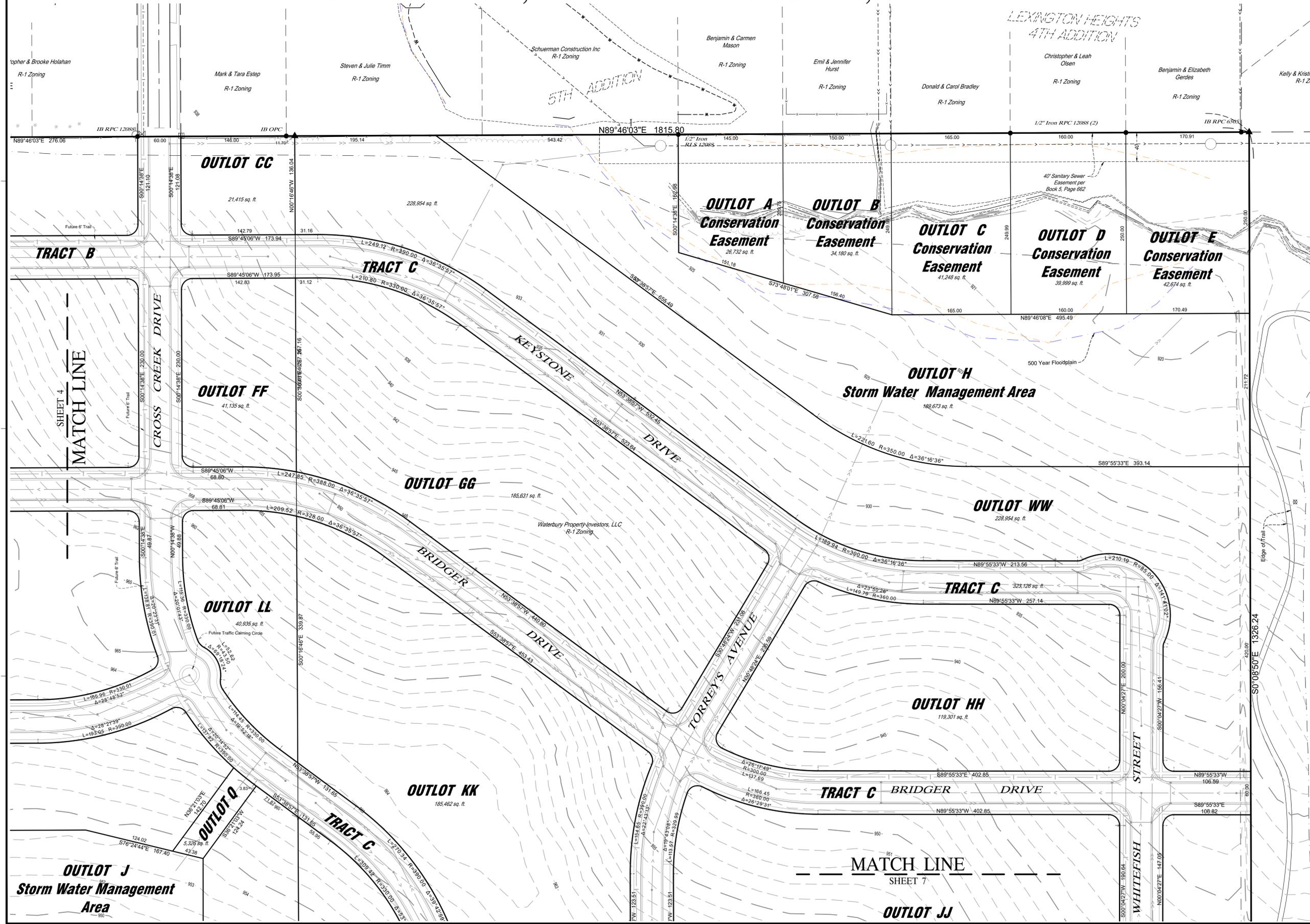
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 19-22603  
FILE NAME 22603 PPLAT  
DRAWN BY JW  
DESIGNED BY TV  
REVIEWED BY DS  
ORIGINAL ISSUE DATE 5-10-21  
CLIENT PROJECT NO. .

TITLE  
**PRELIMINARY PLAT**

SHEET  
**4** OF 9

# PRELIMINARY PLAT WEST FORK CROSSING CEDAR FALLS, BLACK HAWK COUNTY, IOWA



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT		
<b>WEST FORK CROSSING FIRST ADDITION</b>		
CEDAR FALLS		IOWA
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-22603
FILE NAME	22603 PPLAT
DRAWN BY	JW
DESIGNED BY	TV
REVIEWED BY	DS
ORIGINAL ISSUE DATE	5-10-21
CLIENT PROJECT NO.	

TITLE  
**PRELIMINARY  
PLAT**

SHEET  
**5**  
OF 9

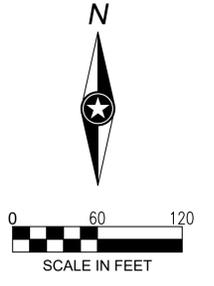
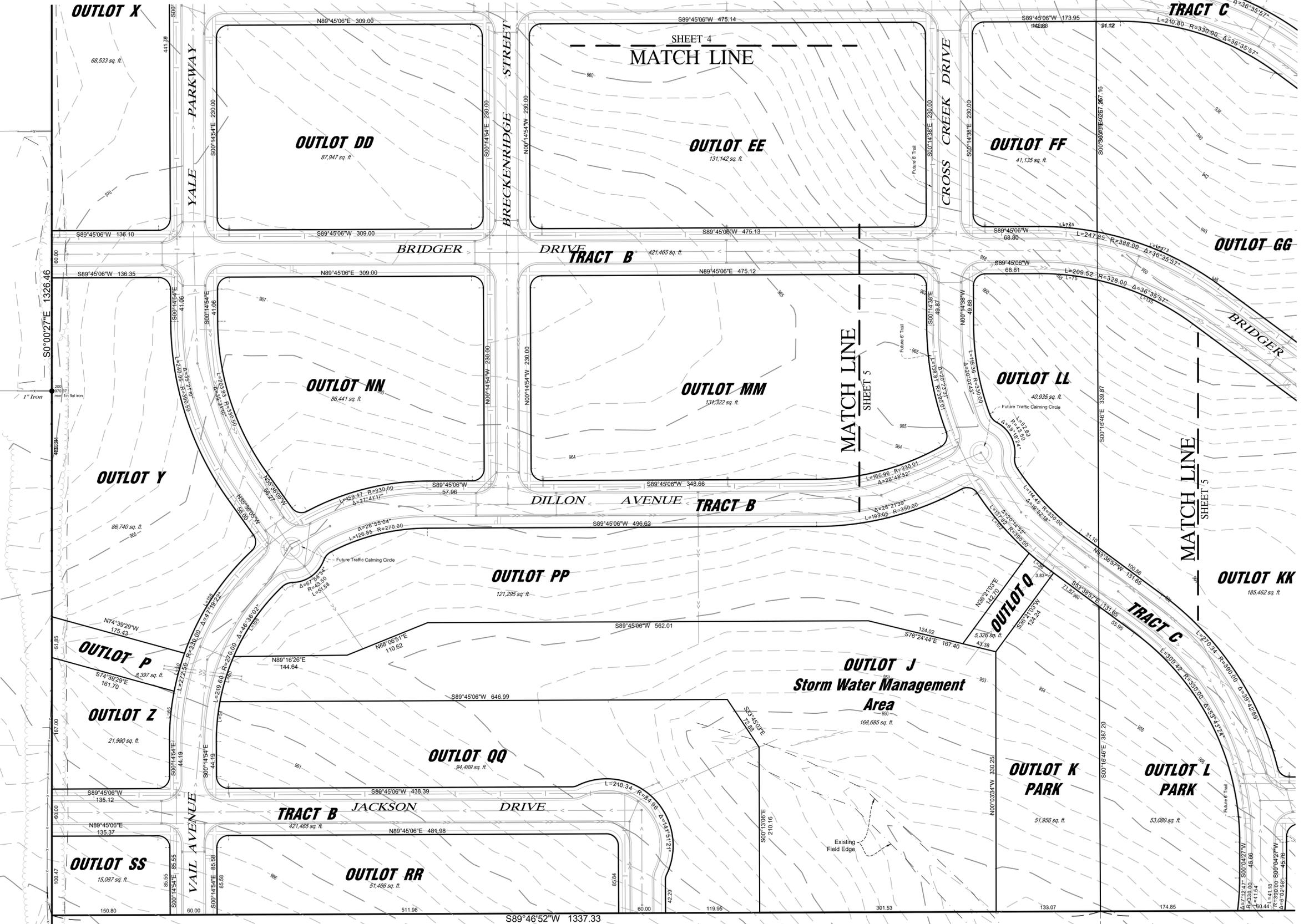
SHEET 4  
MATCH LINE

MATCH LINE  
SHEET 7

**OUTLOT J**  
Storm Water Management Area

**OUTLOT JJ**

# PRELIMINARY PLAT WEST FORK CROSSING CEDAR FALLS, BLACK HAWK COUNTY, IOWA



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

## WEST FORK CROSSING FIRST ADDITION

CEDAR FALLS IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-22603
FILE NAME	22603 PPLAT
DRAWN BY	JW
DESIGNED BY	TV
REVIEWED BY	DS
ORIGINAL ISSUE DATE	5-10-21
CLIENT PROJECT NO.	

TITLE

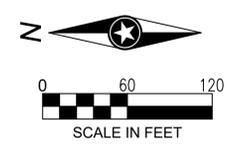
## PRELIMINARY PLAT

SHEET

6

OF 9

# PRELIMINARY PLAT WEST FORK CROSSING CEDAR FALLS, BLACK HAWK COUNTY, IOWA



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

## WEST FORK CROSSING FIRST ADDITION

CEDAR FALLS IOWA

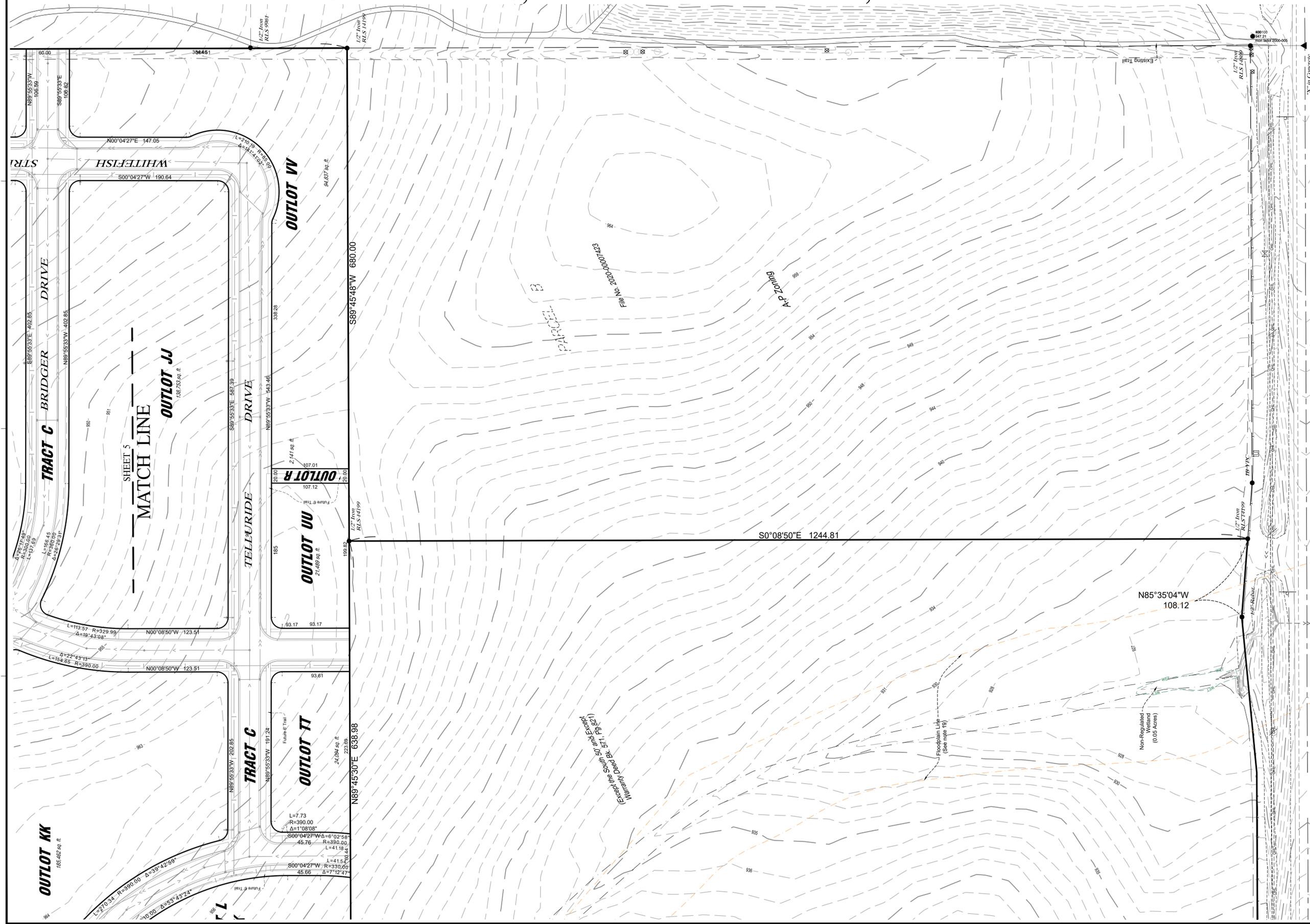
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-22603
FILE NAME	22603 PPLAT
DRAWN BY	JW
DESIGNED BY	TV
REVIEWED BY	DS
ORIGINAL ISSUE DATE	5-10-21
CLIENT PROJECT NO.	

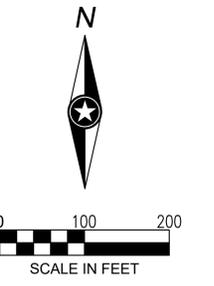
TITLE

## PRELIMINARY PLAT

SHEET **7** OF 9



# PRELIMINARY PLAT WEST FORK CROSSING FIRST ADDITION CEDAR FALLS, BLACK HAWK COUNTY, IOWA



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

## WEST FORK CROSSING FIRST ADDITION

CEDAR FALLS IOWA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-22603
FILE NAME	22803 PPLAT EX PRO
DRAWN BY	JW
DESIGNED BY	TV
REVIEWED BY	DS
ORIGINAL ISSUE DATE	05/10/21
CLIENT PROJECT NO.	-

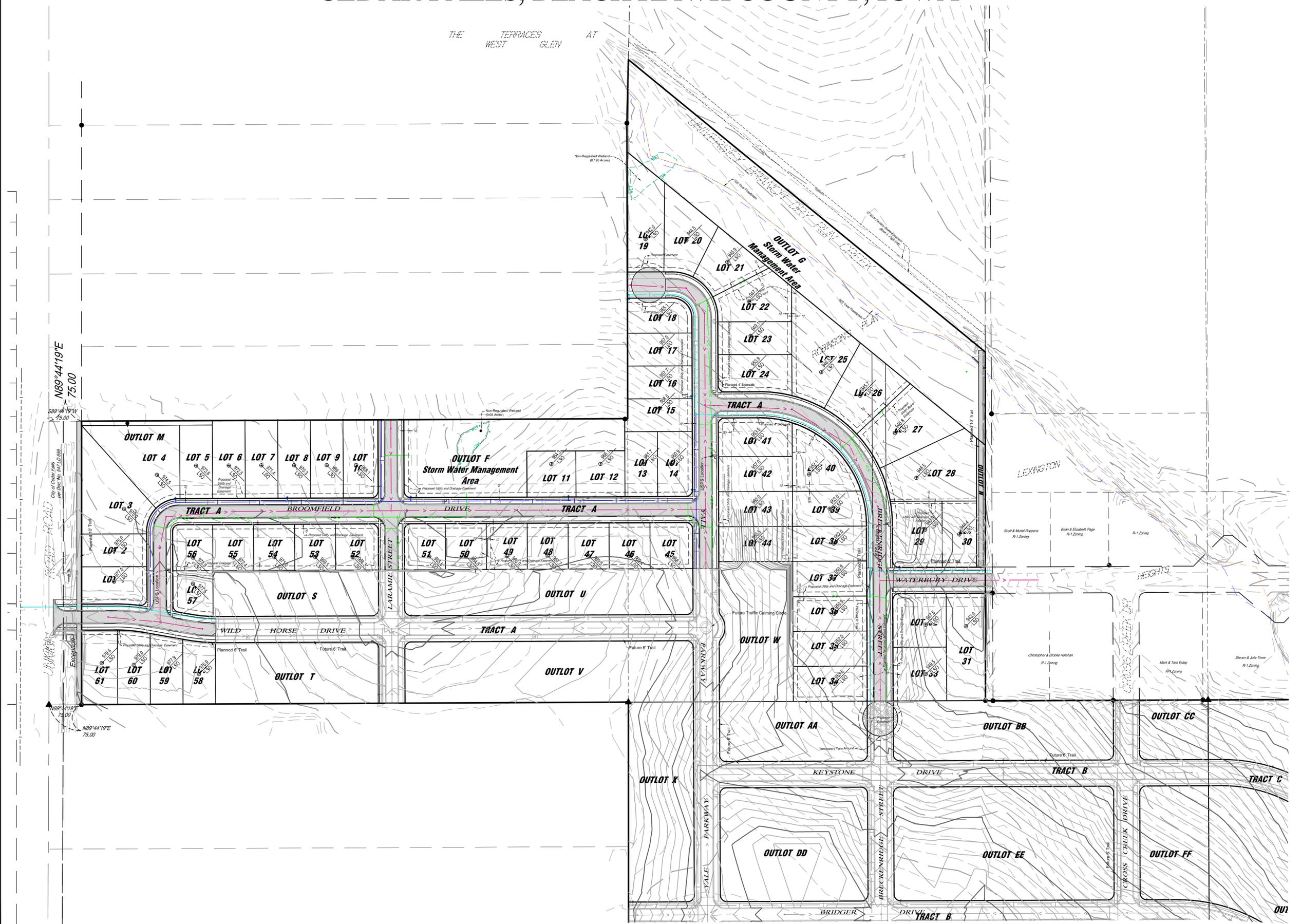
TITLE

## PRELIMINARY PLAT

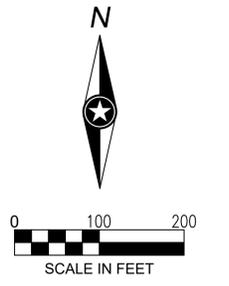
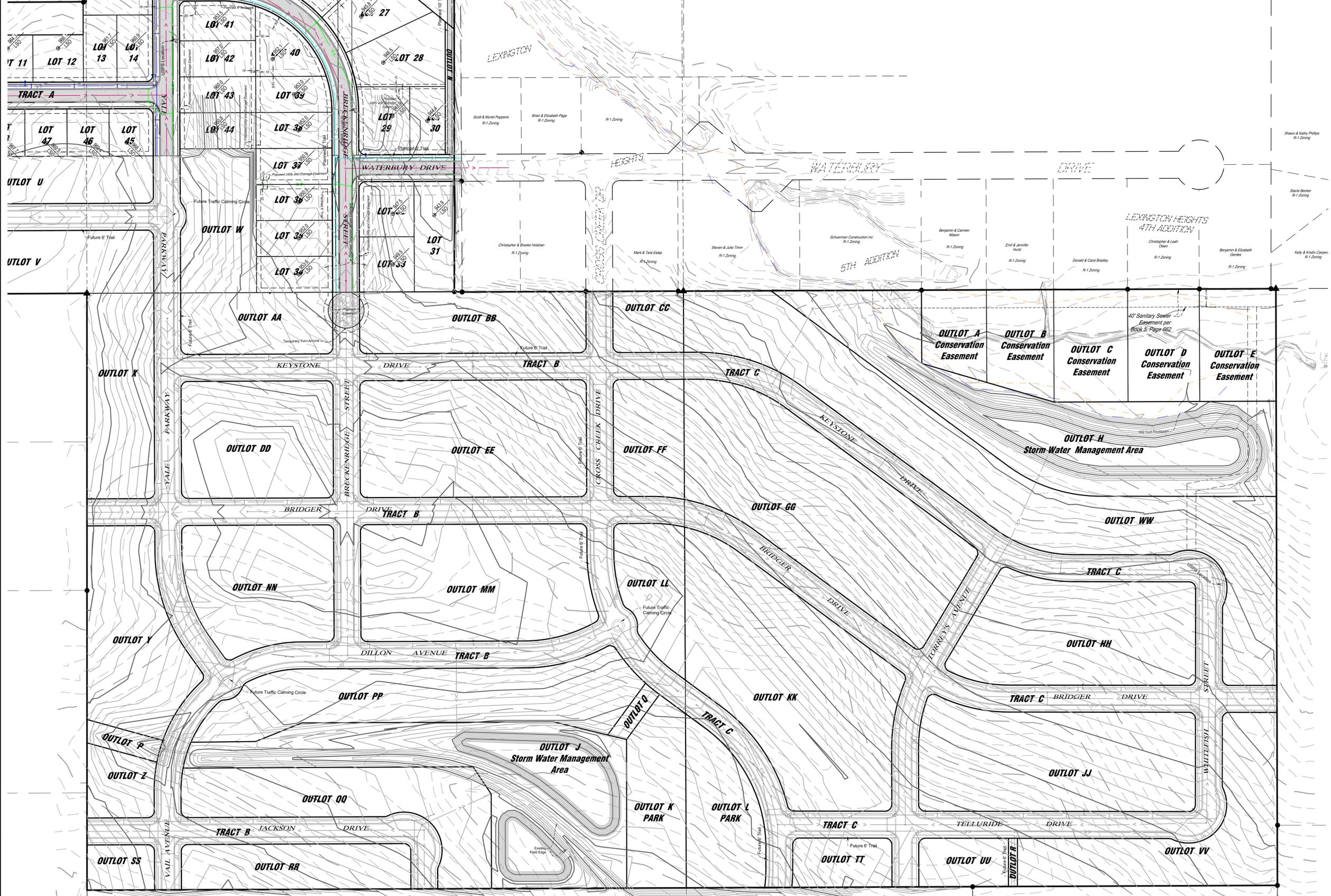
SHEET

# 8

OF 8



# PRELIMINARY PLAT WEST FORK CROSSING FIRST ADDITION CEDAR FALLS, BLACK HAWK COUNTY, IOWA



THIS DOCUMENT IS THE PROPERTY OF I & S GROUP, INC. AND MAY NOT BE USED, COPIED OR DUPLICATED WITHOUT PRIOR WRITTEN CONSENT.

PROJECT

## WEST FORK CROSSING FIRST ADDITION

CEDAR FALLS IOWA

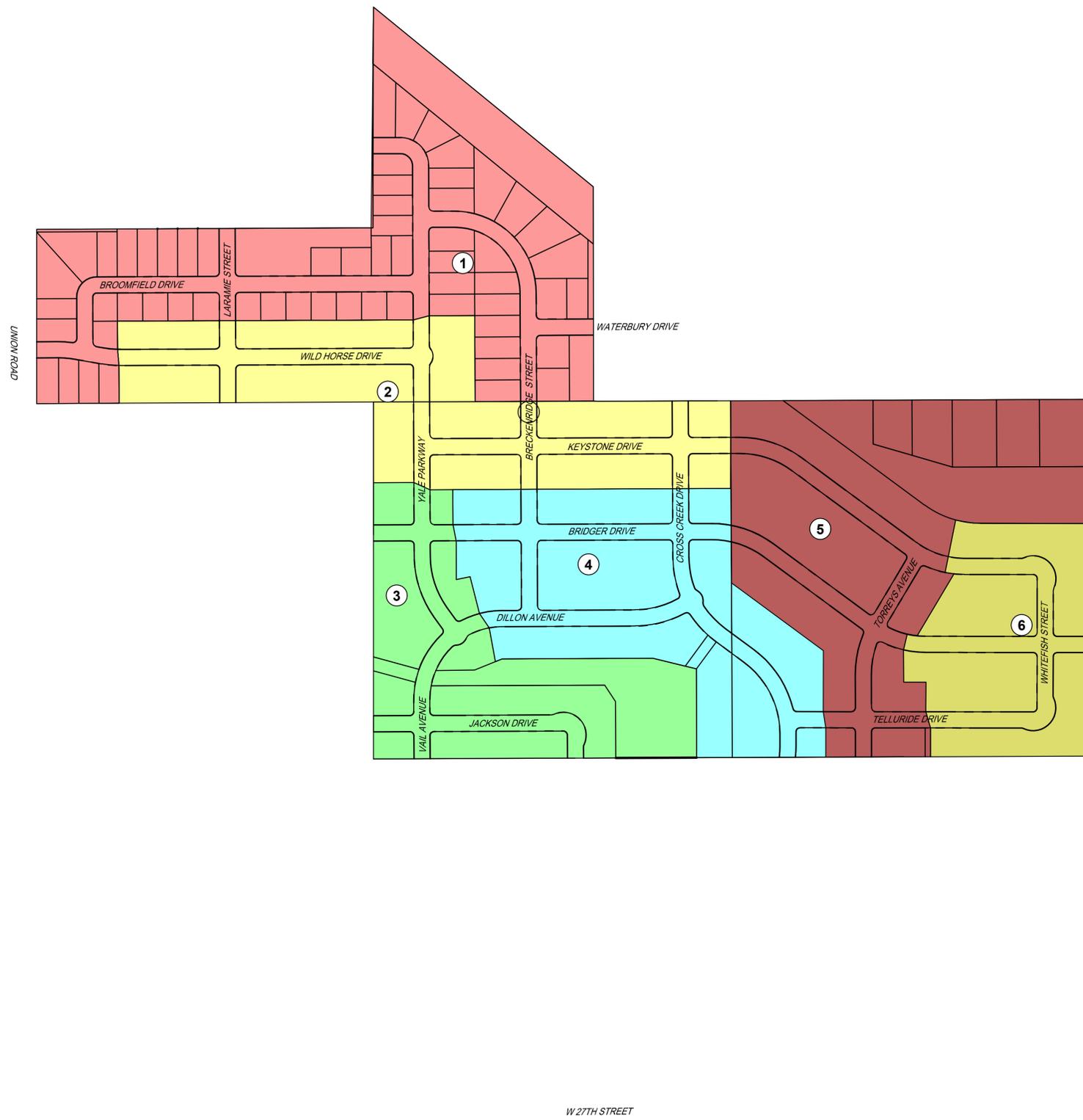
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	19-22603
FILE NAME	22803 PPLAT EX PRO
DRAWN BY	JW
DESIGNED BY	TV
REVIEWED BY	DS
ORIGINAL ISSUE DATE	05/10/21
CLIENT PROJECT NO.	-

TITLE

## PRELIMINARY PLAT

SHEET



PHASING PLAN	
PHASE	AREA
1	65 LOTS
2	
3	
4	
5	
6	

NOTES:

A TRAFFIC IMPACT STUDY CONDUCTED FOR WEST FORK CROSSING ASSUMED 1) A CONNECTION TO UNION ROAD IN PHASE 1, 2) A CONNECTION TO W 27TH STREET BETWEEN PHASE 3 AND W 27TH STREET, AND 3) A CONNECTION TO W 27TH STREET BETWEEN PHASE 5 AND W 27TH STREET.

A SINGLE ACCESS POINT TO UNION ROAD, DEVELOPED IN PHASE 1, IS EXPECTED TO BE ABLE TO ACCOMMODATE TRAFFIC FOR PHASES 1, 2, AND 3 (APPROXIMATELY 170 TOTAL SINGLE FAMILY RESIDENCES) ASSUMING EXISTING INTERSECTION GEOMETRIES AND 1 APPROACH LANE ON THE DEVELOPMENT'S ACCESSES.

IF PHASES 1, 2, AND 3 ARE COMPLETE AND AN ACCESS POINT BETWEEN PHASE 3 AND W 27TH STREET HAS NOT BEEN COMPLETED, A TRAFFIC IMPACT STUDY IS RECOMMENDED TO REVIEW EXISTING TRAFFIC AND ROAD GEOMETRICS, REVIEW PROPOSED TRAFFIC GENERATED AS A RESULT OF PHASES 4, 5, AND 6, AND EVALUATE THE NEED FOR AUXILIARY LANES INCLUDING AN ADDITIONAL LANE TO THE MINOR ROAD APPROACH, LEFT-TURN LANE ON THE MAJOR ROAD APPROACH, AND RIGHT-TURN BAY ON THE MAJOR ROAD APPROACH.

CONSTRUCTION OF THE EXTENSION OF VAIL AVENUE BETWEEN PHASE 3 AND W 27TH STREET WILL BE REQUIRED PRIOR TO APPROVAL OF PHASES 4, 5, AND 6. THE ALIGNMENT OF SAID STREET EXTENSION AND THE LOCATION OF ITS INTERSECTION WITH W 27TH STREET SHALL BE APPROVED BY THE CITY.

PHASING PLAN

