



AGENDA
CITY OF CEDAR FALLS, IOWA
PLANNING AND ZONING COMMISSION MEETING
WEDNESDAY, JULY 13, 2022
5:30 PM AT CEDAR FALLS COMMUNITY CENTER, 528 MAIN STREET

Call to Order and Roll Call

Approval of Minutes

1. Planning and Zoning Commission Regular Meeting Minutes of June 22, 2022

Public Comments

Old Business

New Business

2. **HWY-1 District Site Plan – Veridian Credit Union (SP22-007)**
Location: 1000 Brandilynn Boulevard
Applicant: Mark Koppedryer, Veridian Credit Union; Olsson, site consultant
Previous Discussion: None
Recommendation: *Approval*
P&Z Action: *Discuss and consider making a recommendation to City Council*

3. **Preliminary and Final Plats – Western Home Communities 10th Addition (PP22-001 and FP22-002)**
Location: Along Wild Rye Way between Prairie Parkway and Bluebell Road
Applicant: Western Home Communities; Wayne Claassen Engineering
Previous Discussion: None
Recommendation: *Introduction and Discussion*
P&Z Action: *Discuss and continue to the next meeting*

Commission Updates

Adjournment

Reminders:

- * July 27 and August 10 - Planning & Zoning Commission Meetings
- * July 18 and August 1 - City Council Meetings

**Cedar Falls Planning and Zoning Commission
Regular Meeting
June 22, 2022
Cedar Falls, Iowa**

MINUTES

The Cedar Falls Planning and Zoning Commission met in regular session on June 22, 2022 at 5:30 p.m. at the Community Center. The following Commission members were present: Crisman, Hartley, Holst, Larson, Lynch, and Saul. Grybovych, Leeper and Moser were absent. Karen Howard, Community Services Manager and Thomas Weintraut, Planner III, were also present.

- 1.) Acting Chair Hartley noted the Minutes from the June 8, 2022 regular meeting are presented. Ms. Saul made a motion to approve the Minutes as presented. Ms. Lynch seconded the motion. The motion was approved unanimously with 6 ayes (Crisman, Hartley, Holst, Larson, Lynch and Saul), and 0 nays.

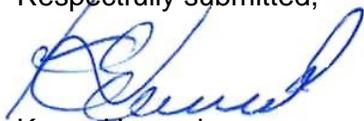
- 2.) The first item of business was a public hearing regarding a rezoning request for 2209 North Union Road. Acting Chair Hartley introduced the item and Mr. Weintraut provided background information. He stated that the request is to rezone approximately 9.94 acres of land located at 2209 North Union Road and displayed a rendering of the location and rezoning plat. The petitioner would like to rezone the area from R-1, Residential to A-1, Agriculture to allow for the addition of one residential structure.

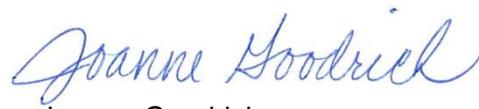
Ms. Saul made a motion to approve the item. Ms. Crisman seconded the motion. The motion was approved unanimously with 6 ayes (Crisman, Hartley, Holst, Larson, Lynch and Saul), and 0 nays.

- 3.) As there were no further comments, Ms. Lynch made a motion to adjourn. Ms. Saul seconded the motion. The motion was approved unanimously with 6 ayes (Crisman, Hartley, Holst, Larson, Lynch and Saul), and 0 nays.

The meeting adjourned at 5:37 p.m.

Respectfully submitted,


 Karen Howard
 Community Services Manager


 Joanne Goodrich
 Administrative Assistant

DEPARTMENT OF COMMUNITY DEVELOPMENT



City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
Fax: 319-273-8610
www.cedarfalls.com

MEMORANDUM Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Jaydevsinh Atodaria (JD), City Planner I
Luke Andreasen, PE, Principal Engineer
DATE: July 7, 2022
SUBJECT: HWY-1 Site Plan for Veridian Credit Union

REQUEST: HWY-1 Site plan approval for construction of a new Veridian Credit Union.(Case # SP22-007)
PETITIONER: Veridian Credit Union, Owner; Olsson, Inc., Engineer; Primus Companies, Architect
LOCATION: 1000 Brandilynn Boulevard

PROPOSAL

The applicant proposes to construct 3,666 square foot financial institution, Veridian Credit Union, on 1000 Brandilynn Boulevard. The proposal includes site work, landscaping, private access way, parking area, drive-thru area, signage, and a new building for the Veridian Credit Union. The proposed layout of the building sits on about 1.21 acres of land located on south-west corner of the round-about at Brandilynn Boulevard and Prairie Parkway. This project will include two access points from the shared private drive established with Pinnacle Prairie Commercial South-Phase V, a replat of Lot 2 Final Plat.

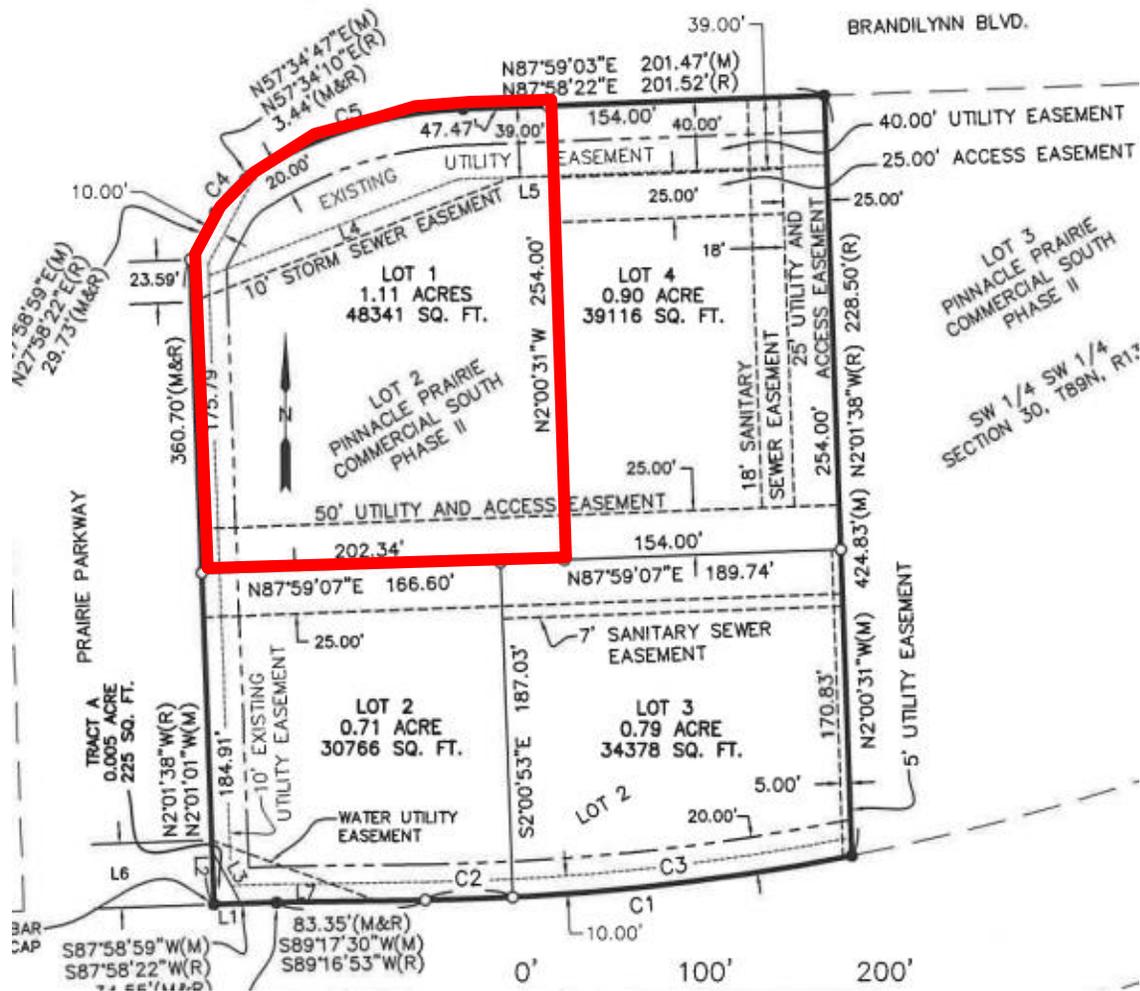


Location Map

BACKGROUND

The subject parcel (Lot 1) was created by Pinnacle Prairie Commercial South-Phase V, a replat of Lot 2 Final Plat to Cedar Falls, Iowa in 2021. The property is in the HWY-1, Highway Commercial Zoning District.

This proposal is to develop the Lot 1 (see highlighted red boundary in image below), of the subdivision to include a new Veridian Credit Union with a drive-through. The subdivision "Pinnacle Prairie Commercial South-Phase V, a replat of Lot 2 Final Plat (see image below) is comprised of four developable lots and includes L-shaped shared private drive connecting to Prairie Parkway on the west and to Brandilynn Blvd. to the north. As of today, Lot 2 has been built out with Unity Point Express Clinic and the rest of the three lots are undeveloped. All infrastructure necessary for development of this lot, has been installed, except for the public sidewalk along Brandilynn Boulevard, which will be extended as a part of this project to the private drive located along the eastern boundary of the subdivision, which will provide bicycle and pedestrian access to the new bank building from Brandilynn Blvd.



Pinnacle Prairie Commercial South-Phase V, a replat of Lot 2 Final Plat

ANALYSIS

The proposed site plan development is in the HWY-1 Highway Commercial Zoning District. The HWY-1 District is intended to promote and facilitate comprehensively planned commercial developments located adjacent to major transportation corridors and interchanges. The purpose of these regulations is to encourage high standards of building architecture, and site planning which will foster commercial development that maximizes pedestrian convenience, comfort and pleasure. The ordinance requires a detailed site plan review before approval to ensure that the development site satisfies several basic aesthetic standards. Attention to details such as parking, open green space, landscaping, signage, building design, and other similar factors help to ensure orderly development in the entire area.

Following is a review of the zoning ordinance requirements for the proposed development:

- 1) Use: A financial institution serving traveling public or a regional customer base is a permitted use in the HWY-1 District. **Use is allowed.**
- 2) Building Location and Access: The proposed building will be placed close to the south-west intersection of Prairie Parkway and Brandilynn Blvd. and the drive-thru lane will be located east of the building. Proposed location of building is at least 70 feet setback from north, west and south property line. As per code, a 20-foot setback consisting of landscape material shall be established around the perimeter of the district. This 20-foot setback should be free of any structure or parking areas. The proposed site plan follows the required 20 feet setback along the south, west, and north property line by the provision of required landscaping.

The building will have two main public ingress/egress areas along the south and west wall of the building and will have a door on each façade to provide staff access. In addition, a 5-foot sidewalk will be added southward from the existing public sidewalk along Brandilynn Blvd. to the proposed building to provide pedestrian access.

There will be two vehicular access points from the shared private drive: one that crosses Lot 4 from the east and one access drive from the south. There will be no direct access of the building from Brandilynn Boulevard or Prairie Parkway.

Building setbacks and building and site access are satisfied.

- 3) Parking: The parking requirement for the new building is 14 parking stalls (1 stall per 300 square feet of gross floor area). The provided site plan shows 32 parking stalls, which includes 2 ADA stalls. Parking is provided around the periphery of the building. The parking lot dimension meets the zoning standards with 9' x 19' stalls and 24' wide aisles. **The parking requirements are met.**
- 4) Open Space Requirements: This property is located within the HWY-1 Highway Commercial Zoning District. This zoning district requires that open space/landscaping requirements be provided at the rate of 10% of the total

development site area excluding the perimeter setback area. Following is a summary of the landscape plan that details how this provision is met.

New Development Site	43,464 SF	
Required Open/Green Space	4,346 SF	10%
Provided Open/Green Space	8,316 SF	19%

Landscaping is shown throughout the site, both around the building as well as within the parking lot, and along the streets within required setbacks. **The open green space exceeds the minimum requirement and is well distributed.**

- 5) Landscaping: The HWY-1 Highway Commercial Zoning District requires minimum landscaping at the rate of 0.02 points per sq. ft. of total development site area. This can be achieved with the planting a combination of trees and shrubbery. A minimum of 0.75 points per linear foot of street frontage shall be planted with Street tree plantings. In addition, parking lot landscaping requirements must be met, including peripheral landscape screening and parking lot trees according to City Code Section 26-220(i) .

Peripheral landscaping requirements for parking lots include placement of continuous landscaped strip not less than 5 feet in width and at least three feet in height, and one tree for every 50 lineal feet of landscaping barrier to screen the parking areas from the public streets and abutting lots. And Internal landscaping requirement includes placement of one overstory tree for every 21 parking stalls to shade the internal parking areas.

Overall, the total required landscaping points is 1,184 points which include 869 site area points and 315 street frontage points. In response, the applicant proposes landscaping points summing to 1,305 Points (945 site points & 360 street frontage points). Planting point details can be seen in the attached landscaping plan for review.

Also, 3 parking lot trees and 4 peripheral landscaping trees are required as per calculation, in response applicant proposes 3 parking lot trees and 4 peripheral landscaping trees. Shrubs are shown around the periphery of the parking lot to meet the screening requirement. Overall, landscaping on the site is well distributed on all four sides of the building including parking lot screening with shrubs and trees, landscaping islands with trees and ground cover in remaining areas. **Landscaping requirements are met.**

- 6) Design Review: As per HWY-1 Highway Commercial Zoning district, all structures established within the district shall be reviewed for architectural compatibility with surrounding structures. The review must also focus on building materials, exterior materials on all sides, coloration, roof-line, size, and location of windows and doors, facades, and signage. **Overall, staff finds that the proposed building design meets the zoning standards based on the following analysis.**

Proportion: The relationship between the width and height of the front elevations of adjacent buildings shall be considered in the construction or alteration of a building; the relationship of width to height of windows and doors of adjacent buildings shall be considered in the construction or alteration of a building.

The scale and proportion of the proposed new building will be similar to other nearby establishments. It is 1-story with variable wall heights ranging from 18 feet to 24 feet. The neighboring buildings to south and west have similar dimensions. Staff finds that the proposal is consistent with neighboring buildings and with the height allowances in the zoning district.

Roof shape, pitch, and direction: The similarity or compatibility of the shape, pitch, and direction of roofs in the immediate area shall be considered in the construction or alteration of a building.

The adjacent buildings utilize flat roofs with a parapet around the edge. The proposed new building will likewise utilize a flat roof with metal coping around the edge. Also, the new proposed building will include enhanced entrance features like adding more mass and heights than the rest of the building. The proposed entrance area within the building will enhance the building façade. Staff finds that the proposed design matches the existing roofing styles of the neighboring building.

Pattern: Alternating solids and openings (wall to windows and doors) in the front facade and sides and rear of a building create a rhythm observable to viewers. This pattern of solids and openings shall be considered in the construction or alteration of a building.

The new building will be constructed of an aluminum curtain wall system on west and south facade, aluminum storefront windows, glass and doors on all the façades of the building. The building design shows a good balance of solids and openings throughout the building. Placements of all the openings are well distributed throughout the building. Overall, the building pattern meets the city's standards.

Materials and texture: Materials and texture. The similarity or compatibility of existing materials and textures on the exterior walls and roofs of buildings in the immediate area shall be considered in the construction or alteration of a building. A building or alteration shall be considered compatible if the materials and texture used are appropriate in the context of other buildings in the immediate area.

In addition to the fenestration (windows and doors), brick masonry, stone masonry, aluminum composite panels, and two contrasting tones of fiber cement exterior cladding are the exterior materials proposed for the new building. The stone masonry is mostly laid out throughout the perimeter of the building in the lower area of the facades, while the upper area of the façade is a mix of fiber cement panels, brick and aluminum composite materials. All the building walls

are topped with metal coping and the openings are equipped with aluminum sunshade. In total, approximately 60% of the building will be made up of brick and stone masonry, 25% mixture of aluminum composite panels and fiber cement panels, and 15% glass. The proposed materials and texture choices demonstrate a high quality of design and will enhance the overall appearance of the building and the neighborhood.

Color: The similarity or compatibility of existing colors of exterior walls and roofs of buildings in the area shall be considered in the construction or alteration of a building.

The new building will primarily include a mix of grey, brown and ivory tones. The façade will also include two contrasting tones of metal coping that will enhance the architectural elements of the building.

Architectural features: Architectural features, including but not limited to, cornices, entablatures, doors, windows, shutters, and fanlights, prevailing in the immediate area, shall be considered in the construction or alteration of a building. It is not intended that the details of existing buildings be duplicated precisely, but those features should be regarded as suggestive of the extent, nature, and scale of details that would be appropriate on new buildings or alterations.

The design of the building is contemporary in nature, with a good balance between opening sizes and solid masses of the building. Architectural features of the new building include flat roof with metal coping, double-heightened entrance area of the building located in the south-west corner of building. The building will mostly utilize a flat roof except for the entrance area. The color choice also stands out while the materials are generally consistent with the neighbors.

- 7) Trash Dumpster Site: The dumpster enclosure is located in the south-east corner of the site, behind the building. Trash enclosure is about 7 feet in height and will have similar exterior materials as the main building, including stone masonry in the lower area and brick masonry on the upper areas of the enclosure separated by stone band. Dumpster enclosure will have painted steel doors as openings. **The placement of the dumpster and its design meet City standards.**

- 8) Lighting: The HWY-1 District regulations do not have specific lighting design guidelines. The applicant has proposed both wall mount lights to highlight the building on all four sides and pole lights at three different locations of the site. The lights will be LED luminaires with a single head that light the parking lot on the site. All the lights are downcast and fully shielded to prevent spillover light on to adjacent properties. A photometric plan has been attached to the packet for review. **Lighting is acceptable.**

D-Series Size 1
LED Area Luminaire

Buy American

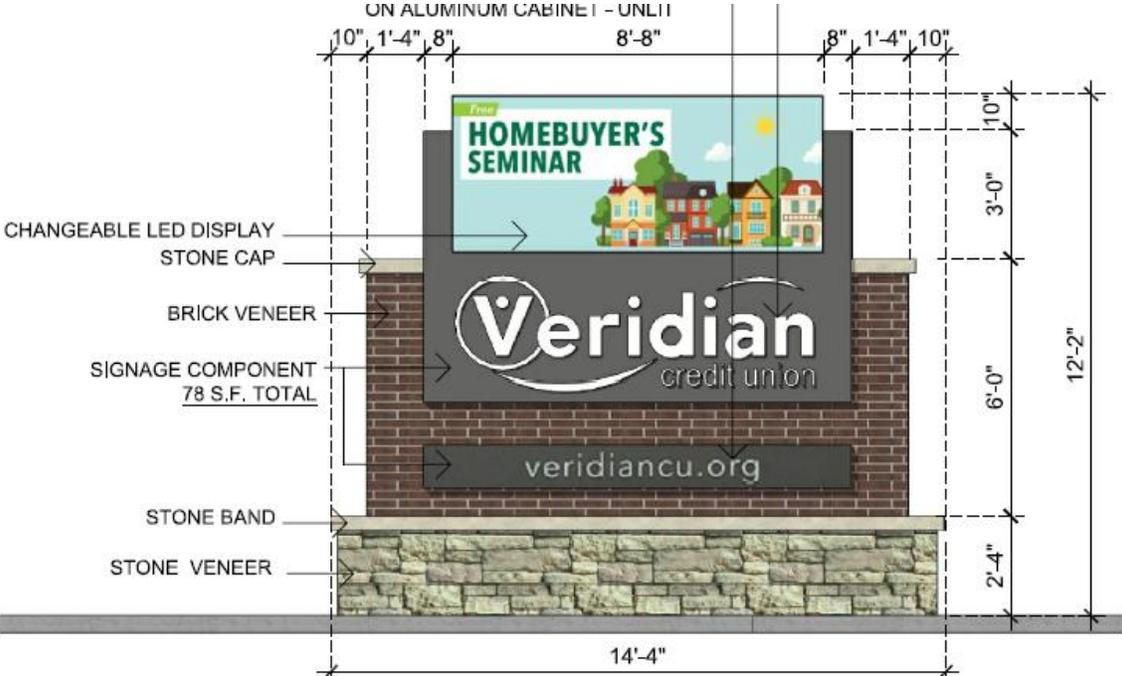
Specifications

EPA:	1.01 ft ² (0.09 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height H1:	7-1/2" (19.0 cm)
Height H2:	3-1/2"
Weight (max):	27 lbs (12.2 kg)

Technical diagrams showing top view (L, W), side view (H1), and detail view (H2).

9) Signage: For the proposed new building, two wall signs are illustrated on the building; one facing south and another facing west. As per code, wall sign areas cannot exceed 20 percent of the surface area of the single wall to which it is affixed. No more than two wall surfaces of any single structure may be utilized for sign displays. Both wall sign areas meet the code requirement.

In addition, the applicant is proposing a free-standing monument sign in the south-western part of the lot. As per code, the maximum allowable square footage for all free-standing signs combined is 250 square feet and the allowable sign height is 40 feet. The proposed freestanding monument sign is about 12 feet in height and 78 square feet in area, meeting the code requirements (see image below). **Proposed Signage is acceptable.**



10) Sidewalks: There is a 5-foot-wide PCC sidewalk proposed in the site plan which will extend the existing sidewalk along Brandilynn Blvd. eastward up to the private drive entrance. In addition, the proposal also includes adding a 5-foot-wide sidewalk extension southward from the sidewalk along Brandilynn Blvd. to provide a pedestrian access to the site.

Storm Water Management: The Veridian Credit Union development will include 0.85 impervious acres. All runoff will be collected by a private storm sewer that ties into the public storm sewer along Prairie Parkway and Brandilynn Boulevard. This public storm sewer flows to the regional detention pond approximately 1,000 feet east of the project site. No on-site detention will be required since the Veridian Credit Union development falls within the area the regional detention facility was originally designed to accommodate.

TECHNICAL COMMENTS

Cedar Falls Utilities (CFU) has reviewed the Hwy 1 Site Plan for the proposed Veridian Credit Union. Water, electric, gas, and communications utility services are available in accordance with the service policies of CFU. Water is available from the north side of Brandilynn Blvd and the west side of Prairie Parkway. Natural gas is available from the east side of Prairie Parkway and the south side of Brandilynn Blvd. There is an 8" water service stub into the property. If it is not used, it is required to be abandoned at the water main per the CFU water service policy. Cedar Falls Utilities will install and own the gas service. Coordinate gas meter location and building load with CFU Gas & Water Department. The site plan and the landscaping plan shows paving and trees in the utility easements. Any future repair or replacement of concrete or special surfaces of the parking, driveway, and other landscaping features due to utility work is the responsibility of the property owner and will be done at the property owner's expense.

Major technical comments from the City's Technical Review Committee have been addressed by the applicant.

A courtesy notice to surrounding property owners was mailed on July 1, 2022.

STAFF RECOMMENDATION

The Community Development Department has reviewed the proposed site plan for Veridian Credit Union and recommends approval, subject to the following conditions:

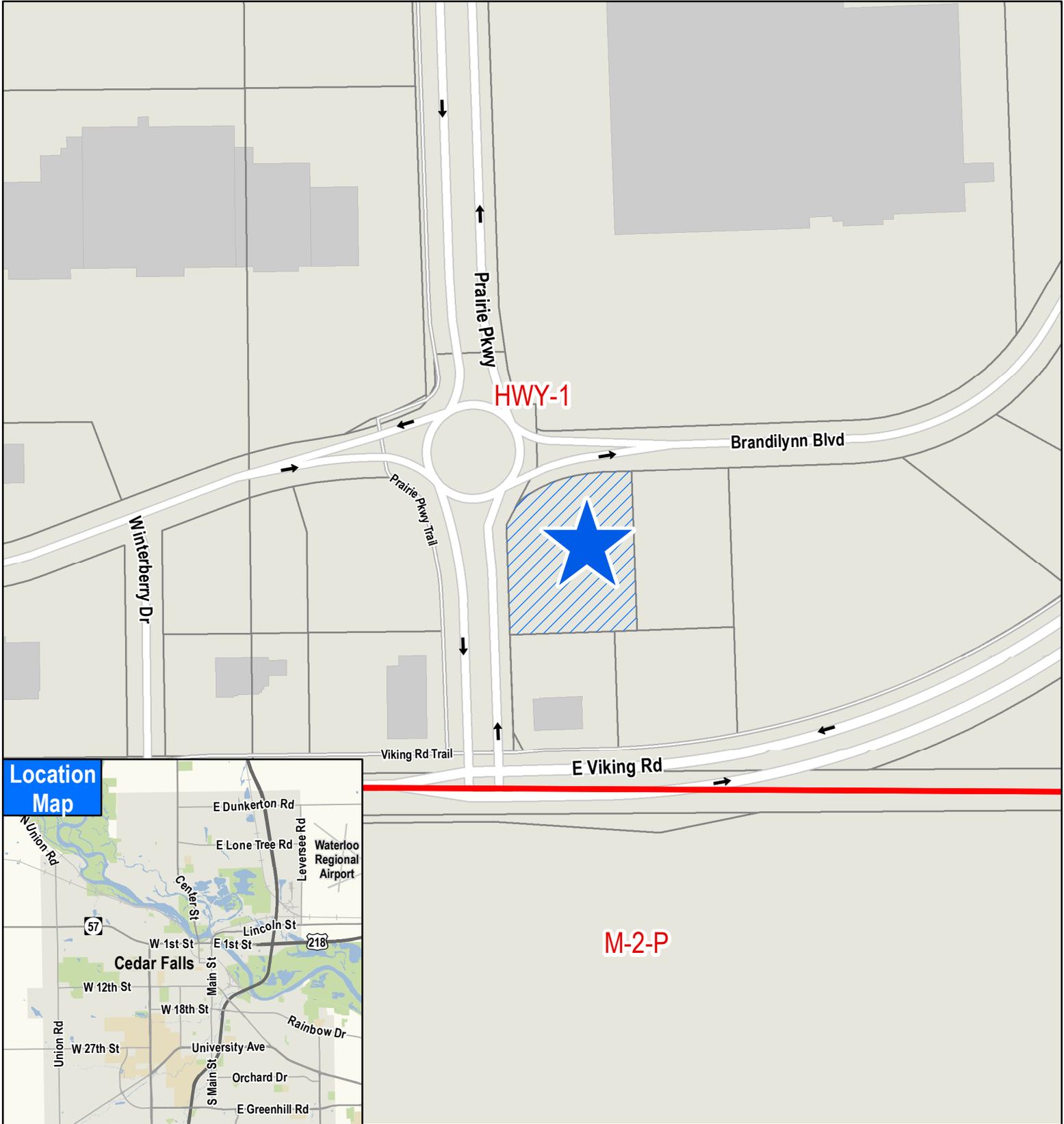
1. Any comments or direction specified by the Planning and Zoning Commission
2. Conform to all city staff recommendations and technical requirements

PLANNING & ZONING COMMISSION

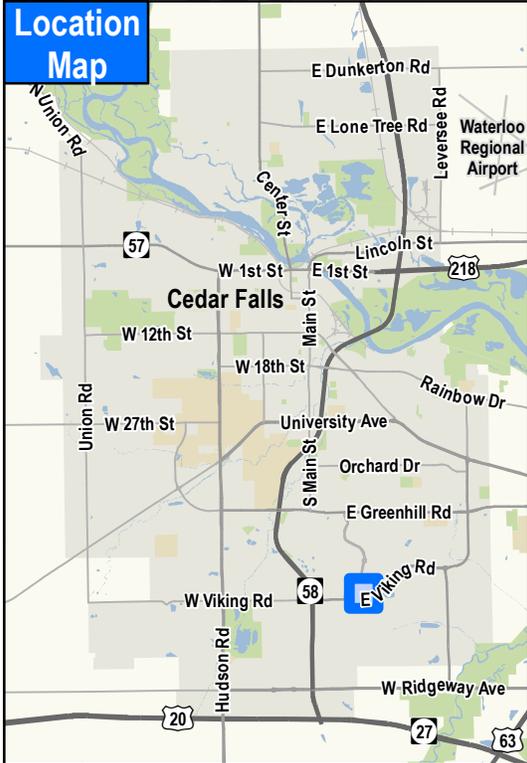
Introduction
&
Discussion
7/13/2021

Cedar Falls Planning and Zoning Commission July 13, 2022

Item 2.



Location Map



**HWY-1 Site Plan for
Veridian Credit Union (SP22-007)
1000 Brandilynn Blvd.**

SITE PLAN FOR VERIDIAN CREDIT UNION BRANDILYNN BLVD, CEDAR FALLS, BLACK HAWK COUNTY, IOWA

OWNER:
VERIDIAN CREDIT UNION
5805 ROCKWELL DR. NE
CEDAR RAPIDS, IA 52402
CONTACT: MARK KOPPEDRYER
PH: (319)236.5600

APPLICANT:
PRIMUS COMPANIES
401 8TH AVENUE SE
CEDAR RAPIDS IOWA, 52401
CONTACT: CHRISTOPHER WAND
PH: (319)853.1241

PROJECT TEAM:

CIVIL ENGINEER:
OLSSON, INC.
1717 INGERSOLL AVENUE SUITE 111
DES MOINES, IA 50309
CONTACT: BRAD FREEMAN
PH: (515)331.6517

SURVEYOR:
OLSSON, INC.
1717 INGERSOLL AVENUE SUITE 111
DES MOINES, IA 50309
CONTACT: SCOTT CATRON
PH: (515)331.6517

ARCHITECT:
PRIMUS COMPANIES
401 8TH AVENUE SE
CEDAR RAPIDS IOWA, 52401
CONTACT: CHRISTOPHER WAND
PH: (319)853.1241

LEGAL DESCRIPTION:

(TITLE COMMITMENT DATED DECEMBER 28, 2021 BY FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO.: NCS-1078194-0MHA)
LOT 1, PINNACLE PRAIRIE COMMERCIAL SOUTH PHASE V, CEDAR FALLS, BLACK HAWK COUNTY, IOWA.

VERTICAL DATUM:

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET

SITE CONTROL:

CP#	CP#	CP#	CP#
502	503	507	509
N: 8840134.4770'	N: 8840130.1640'	N: 8839659.1330'	N: 8839654.9900'
E: 15450701.200'	E: 15450407.6500'	E: 15450237.1800'	E: 15450708.7500'
ELEV: 936.91'	ELEV: 945.73'	ELEV: 934.65'	ELEV: 934.65'
DESCRIPTION: FOUND	DESCRIPTION: FOUND	DESCRIPTION: FOUND	DESCRIPTION: FOUND
MAG NAIL	MAG NAIL	MAG NAIL	MAG NAIL

SURVEY METADATA :

LINEAR UNIT: US SURVEY FOOT

SYSTEM: NORTH AMERICAN DATUM 1983
IOWA STATE PLANE COORDINATE SYSTEM - ZONE 5 (WATERLOO)

VERTICAL DATUM: NGS GEOID MODEL - GEOID12A (CONUS)
REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988

ALL DISTANCES AND BEARINGS SHOWN HEREON ARE PROJECTED (GRID) VALUES BASED ON THE PRECEDING PROJECTION DEFINITION. GPS POSITIONS ACQUIRED UTILIZING THE IOWA REAL TIME NETWORK.

THE BASIS OF BEARINGS IS GEODETIC NORTH. NOTE THAT THE GRID BEARINGS SHOWN HEREON (OR IMPLIED BY GRID COORDINATES) DO NOT EQUAL GEODETIC BEARINGS DUE TO MERIDIAN CONVERGENCE.

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL APPLICABLE LAWS AND REGULATIONS.
- ALL WORK AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, THE CITY OF CEDAR FALLS STANDARD SPECIFICATIONS, PLANS AND DETAILS SHOWN HEREIN, AND THE 2020 IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST EDITION. IN THE CASE OF A CONFLICT BETWEEN VARYING SPECIFICATIONS, THE MOST STRINGENT SHALL APPLY.
- THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF THE PLANS, STANDARDS, AND SPECIFICATIONS AS APPROVED BY THE APPROPRIATE GOVERNING AGENCY AND OWNER. THE CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM THESE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER, ENGINEER, AND GOVERNING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SITE SAFETY ON THE PROJECT. THIS SHALL INCLUDE THE SAFETY OF HIS OWN PERSONNEL, SUBCONTRACTORS, ALL VISITORS TO THE SITE, AND THE GENERAL PUBLIC. ALL JOB SITE SAFETY SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND CODES, AND ENSURE COMPLIANCE INCLUDING, BUT NOT LIMITED TO, THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
- THE CONTRACTOR SHALL CONTACT IOWA ONE-CALL AT #811 OR 800-292-8989 A MINIMUM OF 48 HOURS (EXCLUDING WEEKENDS AND HOLIDAYS) IN ADVANCE OF ANY EXCAVATION.
- THE LOCATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THE PLANS ARE APPROXIMATE AND HAVE BEEN SHOWN FROM AVAILABLE SURVEYS AND/OR RECORDS. THERE MAY BE ADDITIONAL UTILITIES PRESENT, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE, EXACT LOCATION/SIZE, ADEQUATELY PROTECT/SUPPORT, AND TO AVOID DAMAGE THERETO. THE CONTRACTOR SHALL INCLUDE, AT NO ADDITIONAL COST, ANY POTHOLES OR EXPLORATORY EXCAVATIONS NECESSARY TO LOCATE EXISTING UTILITIES. UTILITIES SHALL BE LOCATED SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO ACTUAL LOCATION OF EXISTING FACILITIES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE GOVERNING AGENCY AND/OR THE UTILITY OWNER.
- ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE INDICATED IN THE PLANS, AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES SHOWN IN THE PLANS AND/OR SPECIFICATIONS. DO NOT SCALE DRAWINGS - USE ONLY DIMENSIONS PROVIDED ON THESE PLANS.
- ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL QUANTITIES, AND SHALL PROVIDE ALL WORK AND MATERIALS NECESSARY TO CONSTRUCT THE PROJECT IN ITS ENTIRETY.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL AND THOSE IMPROVEMENTS THAT ARE OUTSIDE THE LIMITS OF THE PROPOSED CONSTRUCTION. CONTRACTOR SHALL TAKE CARE TO AVOID DAMAGE THERETO AND SHALL PROVIDE TEMPORARY FENCING, BARRICADES, SUPPORTS, RESTRAINTS, AND /OR BRACING WHERE REQUIRED TO PROTECT EXISTING IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED AND/OR REPLACED TO EQUAL OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE.
- ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL BE CONFINED TO THE OWNER'S PROPERTY, PUBLIC RIGHT-OF-WAY, PERMANENT EASEMENTS, AND TEMPORARY CONSTRUCTION EASEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER OR OWNER'S REPRESENTATIVES, AND PAY ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE GOVERNING AGENCIES AND LOCAL FIRE DEPARTMENT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS/FIRE SUPPRESSION TAKEN OUT OF SERVICE AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SECURITY AND SHALL PROPERLY PROTECT AND BARRICADE THE

- CONSTRUCTION SITE UNTIL CONSTRUCTION IS COMPLETE. STORAGE, LOSS DUE TO THEFT, OR VANDALISM OF MATERIALS AND EQUIPMENT (SECURED OR UNSECURED) WILL BE SOLELY AT THE CONTRACTOR'S EXPENSE.
- TEMPORARY POWER, TELEPHONE, AND WATER FOR THE SITE IS THE CONTRACTOR'S RESPONSIBILITY UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL REFER TO OTHER DRAWINGS ISSUED BY ARCHITECT, STRUCTURAL, ELECTRICAL, AND MECHANICAL ENGINEERS. ENSURE COORDINATION OF EXACT LOCATION AND DIMENSIONS OF BUILDINGS, EXITS, RAMPS, UTILITY ENTRANCE LOCATIONS AND GRADES AROUND THE BUILDING. IMMEDIATELY NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL NECESSARY TO COMPLETE THE WORK. ALL TRAFFIC CONTROL DEVICES AND METHODS OF CONTROLLING TRAFFIC THROUGH CONSTRUCTION ZONES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD, AND ALL REVISIONS THERETO INCLUDING LOCAL AND STATE SUPPLEMENTS. ADDITIONAL WORK IN THE RIGHT-OF-WAY OR TRAFFIC CONTROL PERMITS MAY BE NECESSARY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- IF UNANTICIPATED HAZARDOUS MATERIALS OF ANY KIND ARE ENCOUNTERED IN THE WORK, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL CONSTRUCTION OPERATIONS AND NOTIFY THE OWNER AND/OR OWNER'S REPRESENTATIVE FOR FURTHER DIRECTION.
- ALL DEBRIS RESULTING FROM CONSTRUCTION AND DEMOLITION SHALL BE HAULED OFF SITE AND DISPOSED OF PROPERLY AND LEGALLY.
- DURING DEMOLITION OPERATIONS, THE CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES USING MEANS OF THEIR CHOICE.
- THE CONTRACTOR SHALL CONTINUOUSLY PROVIDE ADEQUATE STORMWATER MANAGEMENT IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND CONSTRUCTION STORMWATER PERMIT. THE CONTRACTOR(S) MUST ADHERE TO GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES AT ALL TIMES. GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES FOCUS ON KEEPING THE WORK SITE CLEAN AND ORDERLY WHILE HANDLING MATERIALS AND WASTE IN A MANNER THAT ELIMINATES THE POTENTIAL FOR POLLUTANT RUNOFF.
- IN ORDER TO ATTAIN FINAL CERTIFICATION OF OCCUPANCY APPROVAL, DOCUMENTATION WILL BE REQUIRED FROM THE GENERAL CONTRACTOR VIA THE GRADING CONTRACTOR/SOIL EROSION CONTROL CONTRACTOR/OR THE PROJECT CIVIL ENGINEER THAT THE PROJECT MEETS THE CURRENT TOPSOIL PERSERVATION REQUIREMENTS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR).
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC RIGHT R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY OF CEDAR FALLS TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.
- ANY CHANGES TO THE PLANS SHALL BE APPROVED IN WRITING BY THE CITY OF CEDAR FALLS. CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES MADE WITHOUT CITY APPROVAL.
- THE CONTRACTOR SHALL PROTECT STORM SEWERS AND DRAINAGE WAYS FROM ALLOWING CONCRETE SLURRY FROM CONCRETE OPERATIONS TO DISCHARGE OFFSITE.
- APPROVED ACCESS WITHIN 100- FEET OF ALL SIDES OF THE BUILDING SHALL BE PROVIDED AS SOON AS CONSTRUCTION OF THE BUILDING STARTS. THE APPARATUS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THE ADAPTED IFC SECTION R502.2 AND SHALL EXTEND TO WITHIN 100- FEET OF ALL EXTERIOR WALLS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING.
- A LIMITED TRAFFIC IMPACT STUDY IS ANTICIPATED FOR THE PROJECT; A TRAFFIC IMPACT STUDY SHALL BE COMPLETED BY THE DEVELOPER'S ENGINEER AND APPROVED BY THE CITY OF CEDAR FALLS BEFORE A VERTICAL BUILDING PERMIT WILL BE ISSUED. IF PUBLIC IMPROVEMENTS ARE REQUIRED FROM THE APPROVED TRAFFIC IMPACT STUDY THEN THE PUBLIC IMPROVEMENTS SHALL BE COMPLETED BY THE DEVELOPER'S CONTRACTOR AND ACCEPTED BY THE CITY OF CEDAR FALLS BEFORE A TCO OR CO IS ISSUED FOR THIS PROJECT.



SITE LOCATION MAP

SCALE: 1"=500'

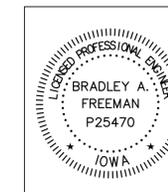
Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C3.1	GRADING DETAILS
C4.0	UTILITY PLAN
C5.0	VEHICLE ACCESS PLAN
C6.0	EROSION CONTROL PLAN
C7.0	CONSTRUCTION DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE DETAILS
PH1	ELECTRICAL PHOTOMETRIC PLAN



SITE DATA	
PROPOSED USE	BANK
PROPOSED LOT SIZE	±1.21 ACRES ±52,818 SF
BUILDING HEIGHT	±18'-8"
REQUIRED PARKING	1 STALL PER 300 SF OF GROSS FLOOR AREA
	TOTAL 13 STALLS
	ADA 1 STALL
PROPOSED PARKING	STANDARD 30 STALLS
	ADA 2 STALLS
	TOTAL 32 STALLS
BUILDING AREA	3,666 SF
PAVEMENT/PARKING/SIDEWALK AREA	33,402 SF
TOTAL IMPERVIOUS AREA	37,068 SF (70.18%)
TOTAL PERVIOUS AREA	15,750 SF (29.82%)

COMPREHENSIVE / ZONING INFORMATION

ZONING:	HWY-1 (HIGHWAY COMMERCIAL)
COMPREHENSIVE	EXISTING - HWY-1 HIGHWAY COMMERCIAL PROPOSED - HWY-1 HIGHWAY COMMERCIAL
FRONT YARD SETBACK	20'
SIDE YARD SETBACK	5'
REAR YARD SETBACK	20'



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: *Bradley A. Freeman* DATE: 6/27/2022
NAME: BRADLEY A. FREEMAN

LICENSE NUMBER P25470
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022

PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS: C0.0 - C7.0

1717 Ingersoll Ave
Suite 111
Des Moines, IA 50309
TEL 515.331.6517 www.olsson.co

REV. NO.	DATE	REVISIONS DESCRIPTION
1	06.10.2022	CITY COMMENTS
2	06.20.2022	CITY COMMENTS

COVER SHEET
SITE PLAN
VERIDIAN CREDIT UNION
BRANDILYNN BLVD
CEDAR FALLS, IA

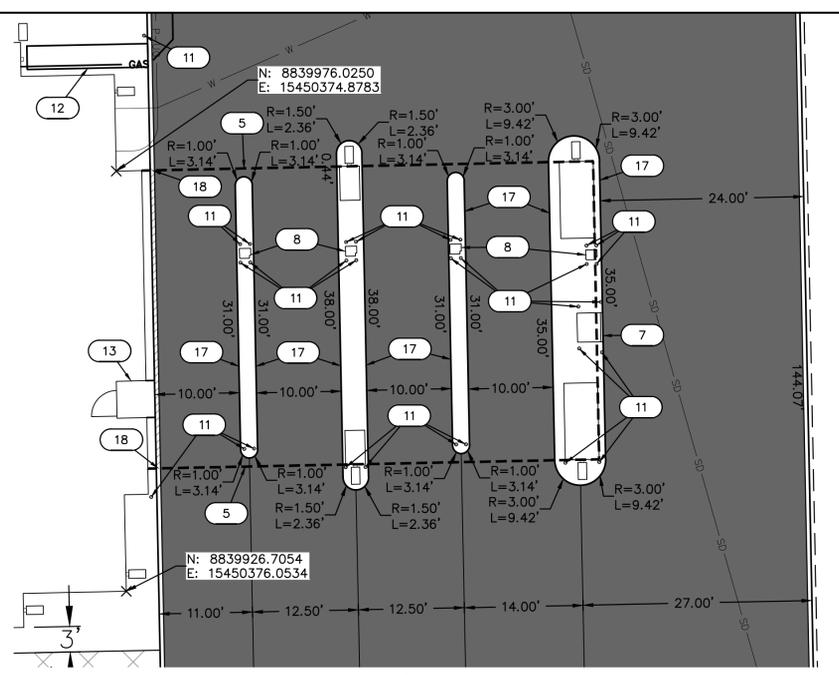
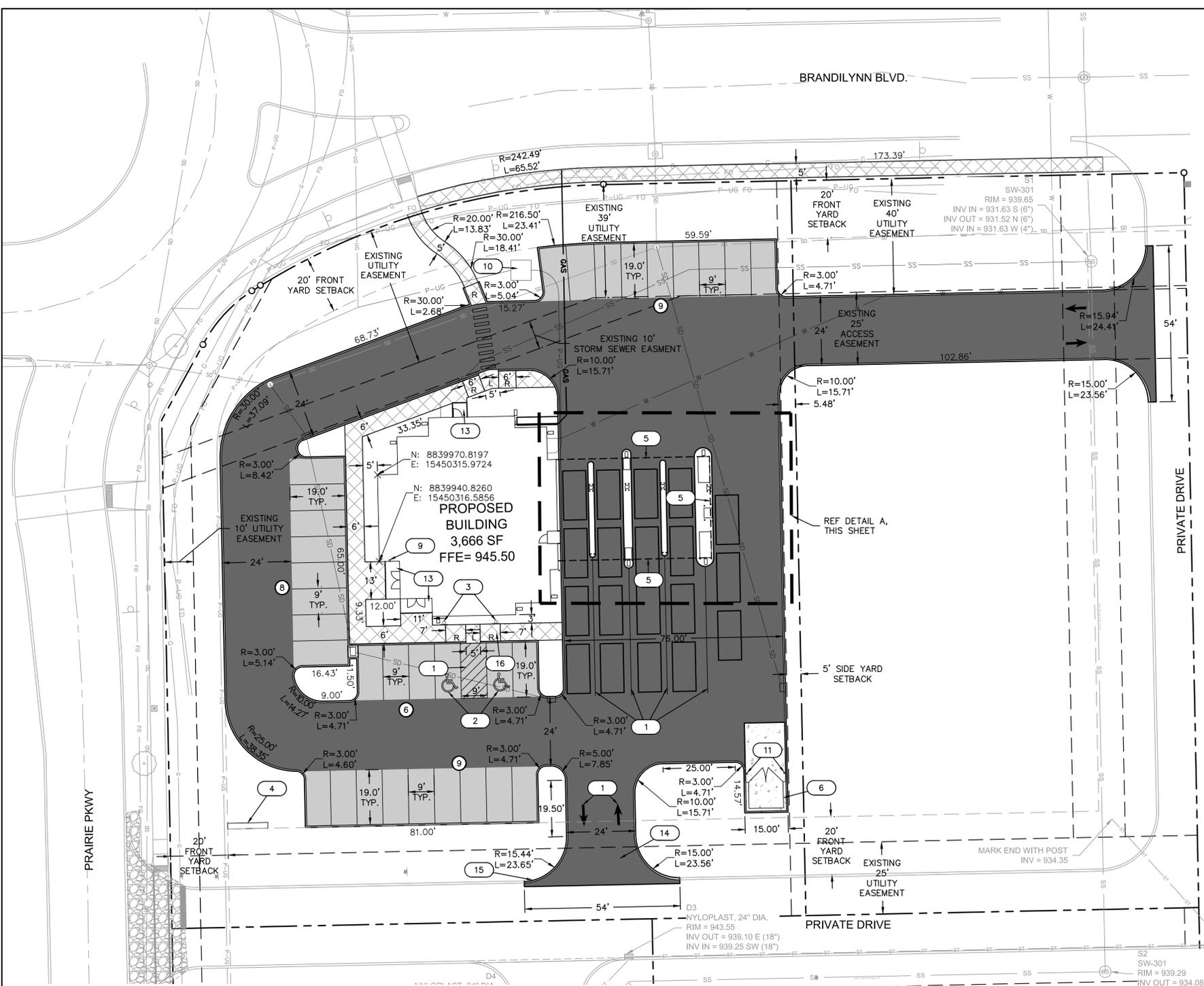
REVISIONS

2022

SHEET
C0.0

D:\2021\05501-0600\021-05599-A\MO-Design\AutoCAD\ Preliminary Plans\Sheets\GNC\VC_TTL01_A2105599.dwg
USER: ofunkle
DATE: Jun 20, 2022 1:48pm
XREFS: C:\TBLK\2105599

DWG: F:\2021\05591-06000\021-05599-A\40-Design\AutoCAD\Primary\Plans\Sheets\GNVAC_SIT01_A2105599.dwg
 DATE: Jun 20, 2022 1:49pm
 USER: aturk
 C:\BASE_A2105599 C:\BASE_A2105599 C:\PATT_A2105599 C:\PATT_A2105599



DETAIL A
SCALE: 1"=10'

PAVING NOTES:

1. PROVIDE PORTLAND CEMENT CONCRETE (P.C.C.) AT THICKNESS INDICATED ON PLANS WITH 12-INCH SPECIAL SUBGRADE COMPACTION. ALL EARTHEN SOILS MOISTURE AND DENSITY TO BE BETWEEN OPTIMUM AND +4% OF OPTIMUM.
2. UNLESS PROVIDED FOR IN THE PLANS, CONTRACTOR SHALL DEVELOP A CONCRETE PAVEMENT JOINTING PLAN USING THE PROPOSED SITE PLAN AND SITE CONDITIONS. JOINT LAYOUT SHALL BE IN ACCORDANCE WITH ACI 330R 'GUIDE FOR THE DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS,' AND STANDARD CONSTRUCTION PRACTICES. JOINT DETAILS SHALL BE IN ACCORDANCE WITH THE CITY OF CEDAR FALLS SPECIFICATIONS. CONTRACTOR SHALL PROVIDE A PAVEMENT JOINTING PLAN FOR OWNER APPROVAL.
3. ALL SIGNING, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON PROJECT TO BE IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD AND ALL REVISIONS THERETO INCLUDING LOCAL AND STATE SUPPLEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL ACCESSIBLE AREAS AND ROUTES ARE BUILT IN ACCORDANCE WITH THE PLANS AND THE '2010 ADA STANDARDS FOR ACCESSIBLE DESIGN'. THE SITE MAY BE INSPECTED BY CITY PERSONNEL FOR COMPLIANCE WITH THE STANDARDS.
4. ADA ACCESSIBLE PARKING STALLS AND AISLES SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION. ADA ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00% (UNLESS RAMPS AND LANDINGS ARE PROVIDED PER ADA STANDARDS). CURB RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 8.33% (12:1). ACCESSIBLE MANEUVERING AREAS AT DOORS SHALL BE CONSTRUCTED WITH A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTION. CONTRACTOR SHALL FIELD VERIFY ADA GRADES AND FORM WORK PRIOR TO PLACING ANY CONCRETE. ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY SHOWN ON THE PLANS.
5. CONTRACTOR TO COORDINATE ALL PAVEMENT TESTING. PAVING CONTRACTOR TO PLACE TRAFFIC RATED CAPS ON ALL CLEAN-OUTS WITHIN PAVED AREAS.
6. ALL ACCESSIBLE STALLS TO BE PAINTED AND SIGNS INSTALLED.
7. MAINTAIN 2% MAXIMUM CROSS SLOPE ON SIDEWALKS UNLESS OTHERWISE NOTED. ALL SIDEWALKS TO BE 4" P.C.C. PAVEMENT UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL BOX OUT AND ADJUST UTILITY RIMS TO GRADE PER CITY OF CEDAR FALLS SPECIFICATIONS.
9. IF THERE ARE ANY QUESTIONS OR DISCREPANCIES IN THE PLANS CONCERNING PLACEMENT OF PAVEMENT MARKING AND/OR SIGNS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR APPROVAL BEFORE PROCEEDING WITH WORK.
10. ALL ACCESSIBLE PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO ADA GUIDELINES.
11. ALL PAVEMENT MARKING AND SIGNAGE SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.

SITE PLAN NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL WORK AND CONSTRUCTION SPECIFICATIONS FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, CITY OF CEDAR FALLS STANDARDS AND SPECIFICATIONS AND THE 2020 IOWA STATEWIDE URBAN DESIGN AND SPECIFICATION (SUDAS). IN CASE OF A CONFLICT BETWEEN VARYING SPECIFICATIONS, THE MOST STRINGENT SHALL APPLY.
3. ALL DIMENSIONS AND RADII ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
4. PAVEMENT CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE 2020 IOWA STATEWIDE URBAN DESIGN AND SPECIFICATION MANUAL (SUDAS) AND ALL CITY CODES, SPECIFICATIONS, AND REGULATIONS.
5. ALL PAVEMENT MARKINGS FOR PARKING STALLS SHALL BE 4" WIDE WHITE MARKING, CONFORMING TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD, FEDERAL HIGHWAY ADMINISTRATION) AND ALL REVISIONS THERETO INCLUDING LOCAL AND STATE SUPPLEMENTS.
6. ALL SIGNING, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON THE DRIVEWAY APPROACHES TO THE PUBLIC STREETS NEED TO BE IN CONFORMANCE WITH THE LATEST EDITION OF THE MUTCD AND ALL REVISIONS THERETO INCLUDING LOCAL AND STATE SUPPLEMENTS.
7. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCES.
8. MONUMENT SIGN SHALL REQUIRE A SIGN PERMIT AND BE APPROVED UNDER SEPARATE REVIEW.

PAVING LEGEND

	PARKING STALL COUNT
	PROPERTY LINE
	STANDARD 6" PCC CURB (REF DETAIL, SHEET C6.0)
	SQUARED 6" PCC CURB (REF DETAIL, SHEET C6.0)
	STANDARD 6" INTEGRAL CURB (REF DETAIL, SHEET C6.0)
	PROPOSED PCC SIDEWALK (REF DETAIL, SHEET C6.0)
	PROPOSED DRIVE AISLE PCC PAVEMENT (REF DETAIL, SHEET C6.0)
	PROPOSED PARKING STALL PCC PAVEMENT (REF DETAIL, SHEET C6.0)
	PROPOSED HEAVY DUTY PCC PAVEMENT (REF DETAIL, SHEET C6.0)

SITE PLAN LEGEND

T	TRANSITION AREA
R	ADA RAMP
L	ADA LANDING

SITE PLAN KEYNOTES (#)

1. PROPOSED STRIPING (CONFORM TO LATEST MUTCD VERSION STANDARDS AND SPECIFICATIONS)
2. PROPOSED ADA PAVEMENT MARKING (REF DETAIL SHEET C6.0)
3. PROPOSED ADA SIGNAGE (REF DETAIL SHEET C6.0)
4. PROPOSED MONUMENT SIGN (REF ARCHITECTURAL PLANS)
5. PROPOSED CANOPY (REF ARCHITECTURAL PLANS)
6. PROPOSED TRASH ENCLOSURE (REF ARCHITECTURAL PLANS)
7. PROPOSED ATM (VERIFY LOCATION WITH BANKING EQUIPMENT SUPPLIER)
8. PROPOSED DRIVE-UP KIOSK (VERIFY LOCATION WITH BANKING EQUIPMENT SUPPLIER)
9. PROPOSED KNOX BOX (VERIFY LOCATION WITH FIRE MARSHAL)
10. PROPOSED TRANSFORMER PAD (REF ELECTRICAL PLANS)
11. PROPOSED BOLLARD (REF DETAIL SHEET C6.0)
12. PROPOSED CONCRETE AIR CONDITIONING PAD (14-1/4' X 2-3/4')
13. PROPOSED CONCRETE STOOP. DOWELED EXPANSION JOINT AT BUILDING EDGE. MATCH WIDTH OF ADJACENT SIDEWALK. (REF DETAIL SHEET C6.0 FOR JOINT CONNECTION)
14. PROPOSED CONCRETE DRIVEWAY (PER SUDAS STANDARDS AND SPECIFICATIONS)
15. PROPOSED STANDARD PCC CURB (MATCH TO EXISTING PAVEMENT)
16. PROPOSED IN-LINE ADA RAMP (REF DETAIL SHEET C6.0)
17. PROPOSED INTEGRAL CURB (REF DETAIL SHEET C6.0)
18. PROPOSED SQUARE CURB AT BUILDING CURB (REF DETAIL SHEET C6.0)

1717 Ingersoll Ave
Suite 111
Des Moines, IA 50309
TEL 515.331.6517
www.olsson.co

REVISIONS	
REV. NO.	REVISION DESCRIPTION
1	06.10.2022 CITY COMMENTS
2	06.20.2022 CITY COMMENTS

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

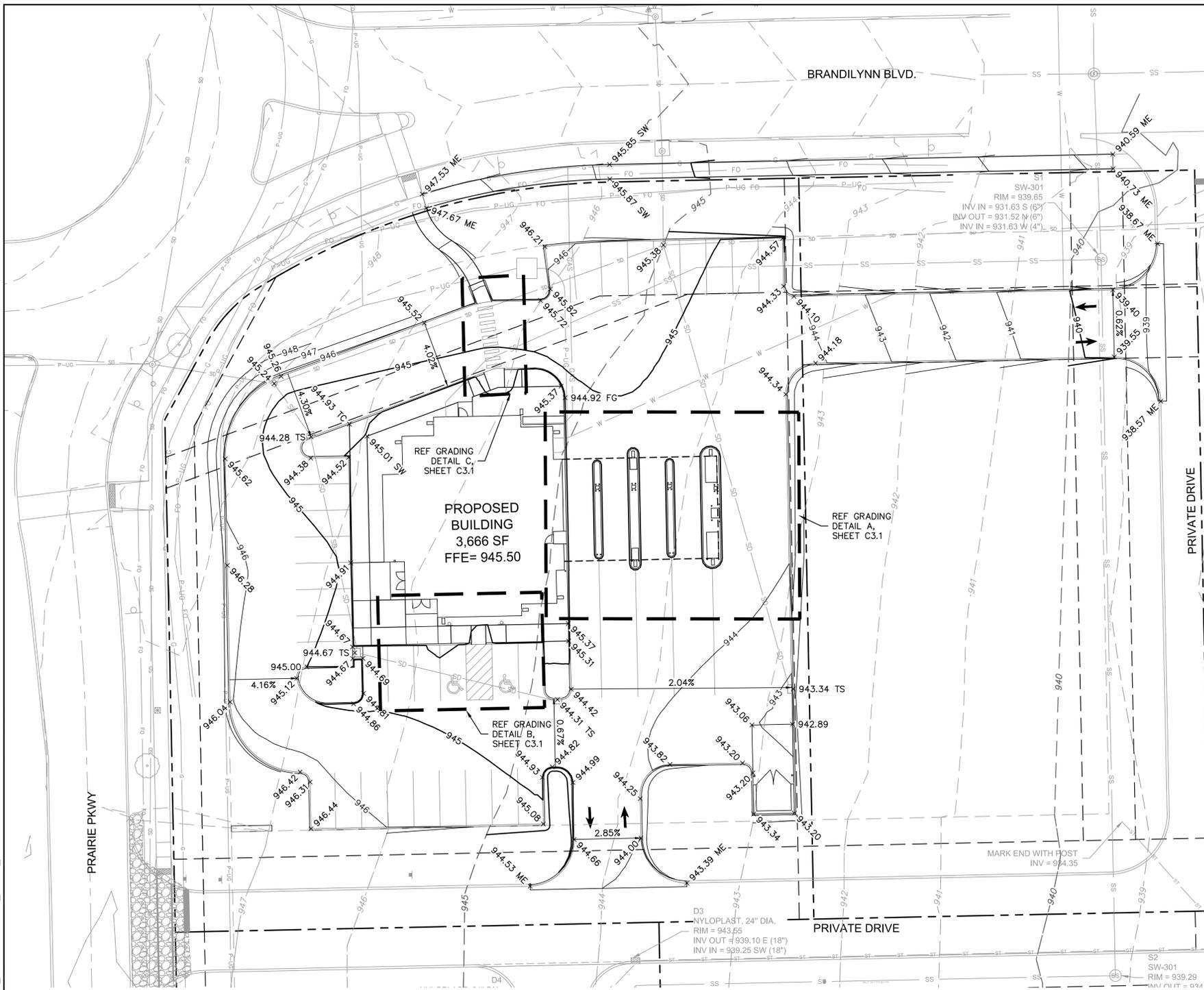
CEDAR FALLS, IA

SITE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

DWG: F:\2021\05501-06000\021-05599-A\40-Design\AutoCAD\Pre\Drawings\Site\05599.dwg USER: rfranke
 DATE: Jun 20, 2022 1:49pm C:\BASE_A2105599 C:\BASE_A2105599 PRIVATE ROAD DESIGN



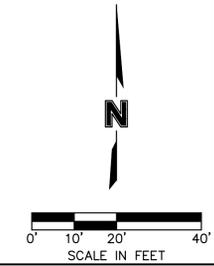
GRADING NOTES:

- PRIOR TO ANY GRADING OPERATIONS, ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE ADEQUATELY IN PLACE. REFER TO THE EROSION AND SEDIMENT CONTROL PLAN FOR REQUIREMENTS.
- THE CONTOUR LINES, SPOT ELEVATIONS AND BUILDING FLOOR ELEVATIONS SHOWN ARE TO FINISH GRADE FOR SURFACE OF PAVEMENT, TOP OF SIDEWALKS, TOP OF FLOOR SLABS, ETC. REFER TO TYPICAL SECTIONS FOR MULCH, SOD, PAVING, SLAB AND AGGREGATE BASE THICKNESS TO DEDUCT FOR SUBGRADE ELEVATIONS.
- ALL TOP OF CURB AND SIDEWALK ELEVATIONS SHALL BE 6" ABOVE GUTTER ELEVATIONS UNLESS OTHERWISE NOTED. IN AREAS WITH SIDEWALK ABUTTING BACK OF CURB, TOP OF CURB ELEVATIONS SHALL BE EQUAL TO SIDEWALK ELEVATIONS.
- THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN ONE FOOT VERTICAL IN THREE FEET HORIZONTAL.
- CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS WHEN FINISH LANDSCAPE MATERIALS ARE IN PLACE. SLOPE SHALL BE A 2% MINIMUM.
- UNLESS OTHERWISE IDENTIFIED IN THE CONTRACT DOCUMENTS, SITE AND BUILDING PAD PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT (PROVIDED BY OWNER).
- IN CASE OF ANY DISCREPANCIES REGARDING EARTHWORK BETWEEN THE GEOTECHNICAL REPORT (PROVIDED BY OWNER) AND THE SPECIFICATIONS SHOWN IN THESE PLANS, NOTIFY THE ENGINEER IMMEDIATELY.
- A MINIMUM OF 8" OF TOPSOIL IS TO BE PLACED ON ALL NON-PAVED SURFACES WITHIN THE LIMITS OF CONSTRUCTION EXISTING TOPSOIL MAY BE STOCKPILED FOR REUSE. CONTRACTOR SHALL BE RESPONSIBLE TO IMPORT ADDITIONAL SUITABLE TOPSOIL AS REQUIRED. REFER TO SPECIFICATIONS, 2020 SUDAS SPECIFICATION 2010 AND THE IOWA DNR GENERAL PERMIT #2
- ALL EXISTING PAVEMENT, UTILITIES, BURIED DEBRIS, RUBBLE, AND/OR STRUCTURES/FOUNDATIONS ENCOUNTERED WITHIN AREAS OF DISTURBANCE SHALL BE COMPLETELY REMOVED PRIOR TO OR DURING EARTHWORK OPERATIONS. WASTED MATERIAL SHALL NOT BE BURIED ONSITE WITHOUT THE PRIOR APPROVAL OF THE OWNER.
- THE UPPER 24" OF ALL UTILITY TRENCHES IN UNPAVED AREAS SHALL BE BACKFILLED WITH COMPACTED COHESIVE SOILS. SEE GEOTECHNICAL REPORT FOR COMPACTION AND MOISTURE RECOMMENDATIONS.
- FINAL PAVEMENT SUBGRADES SHALL BE PROOFROLLED IMMEDIATELY PRIOR TO THE PLACEMENT OF THE PAVEMENT TO DETECT LOCALIZED AREAS OF INSTABILITY WHICH WILL BE REMOVED AND REPLACE.
- SUITABLE FILL MATERIALS SHALL BE PLACED IN THIN LIFTS OF 4 TO 8 INCHES LOOSE MEASUREMENT, UNLESS OTHERWISE ALLOWED IN THE GEOTECHNICAL REPORT.
- IF REQUIRED, THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS AND AUTHORIZATION TO DISCHARGE FROM DEWATERING ACTIVITIES.
- THE CONTRACTOR SHALL DEWATER ALL EXCAVATIONS AND TRENCHES NEEDED FOR THE CONSTRUCTION OF THE PROJECT USING MEANS/METHODS OF HIS CHOICE. ALL DEWATERING ACTIVITIES SHALL MEET THE GENERAL PERMIT #2 REQUIREMENTS. REFER TO THE GEOTECHNICAL REPORT FOR ANTICIPATED LEVELS OF GROUNDWATER AND DEWATERING.
- ALL EXCAVATIONS AND TRENCHES SHALL BE SLOPED/SHORED/BRACED FOR PROTECTION OF PERSONNEL IN ACCORDANCE WITH OSHA REGULATIONS AND AT THE CONTRACTORS FULL DISCRETION BASED ON THE SITE CONDITIONS. OPEN EXCAVATIONS SHALL BE ADEQUATELY PROTECTED AND/OR FENCED AS NECESSARY AND FOR THE SAFETY OF THE PUBLIC.

- ALL FLOOR SLABS SHALL BEAR ON CONTROLLED FILL.
- CONTRACTOR WILL BE HELD RESPONSIBLE FOR SETTLEMENT DUE TO IMPROPER COMPACTION.
- THE CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER IMMEDIATELY IF ANY GRADING WILL TAKE PLACE BEYOND THE LIMITS OF DISTURBANCE.
- IF THERE ARE TREES ON SITE THAT DO NOT SHOW UP ON THE PLANS, THE CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE OR ENGINEER FOR REMOVAL OR RELOCATION, IF REQUIRED.
- CONTRACTOR SHALL GRADE ALL LOW SPOTS TO DRAIN. THE CONTRACTOR SHALL INFORM THE APPROPRIATE GOVERNING AGENCY, OWNER AND/OR OWNING REPRESENTATIVE PRIOR TO BEGINNING OF PROOFROLLING.
- ANY GEOTECHNICAL/TESTING REPORTS SOLICITED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE OWNER AND THE ENGINEER.
- GRADING TOLERANCES: BUILDING PAD: -0.0' TO +0.1'; PAVED AREAS -0.0' TO +0.2'; ALL OTHER AREAS: -0.1' TO +0.1'.
- SEE SITE LAYOUT PLAN FOR ADA ACCESSIBLE ROUTES AND PAVING REQUIREMENTS. ALL ADA ACCESSIBLE STALLS/ROUTES SHALL BE CONSTRUCTED PER ADA STANDARDS.
- ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
- THE OWNER SHALL MAINTAIN DETENTION FACILITIES UPON COMPLETION OF THE PROJECT.
- BACKFILL TO TOP OF CURB AND BACK OF WALK.
- CONTRACTOR SHALL READ AND FOLLOW THE GEOTECHNICAL SOILS REPORT PROVIDED BY OWNER.
- PROOFROLL THE EXPOSED SUBGRADE AND REPLACE WITH COMPACTED FILL TO BOTTOM OF CONCRETE DRIVES, CURBS, WALKS AND BUILDING FLOOR ELEVATION.
- NATIVE SOILS, AS APPROVED BY GEOTECHNICAL ENGINEER, MAY BE REUSED FOR COMMON FILL AFTER THEY ARE SORTED TO REMOVE ALL DELETERIOUS MATERIALS SUCH AS CONCRETE, BRICKS AND OTHER RUBLE. DELETERIOUS MATERIALS SHALL BE REMOVED FROM PROJECT SITE. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
- THE UPPER 9-INCHES OF PAVEMENT SUBGRADE FILL SHOULD BE COMPACTED TO A MINIMUM OF 98% OF THE MATERIAL'S STANDARD PROCTOR MAXIMUM DRY DENSITY. FILL PLACED BELOW THIS LEVEL SHOULD BE COMPACTED TO A MINIMUM OF 95% LOW-PLASTICITY, COHESIVE FILL SHALL BE COMPACTED AND MAINTAINED AT A WATER CONTENT BETWEEN OPTIMUM AND +4% OF OPTIMUM.
- POST-CONSTRUCTION VOLUME OF THE DETENTION BASIN WILL NEED TO BE VERIFIED AND PROVIDED TO THE CITY OF WATERLOO BEFORE A FINAL CERTIFICATE OF OCCUPANCY (CO) CA BE ISSUED.

GRADING PLAN LEGEND:

---	PROPERTY LINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	ADA ROUTE
ME	MATCH EXISTING
TC	TOP OF CURB
FG	FINISHED GRADE
TS	TOP OF STRUCTURE
SW	SIDEWALK
LP	LOW POINT
HP	HIGH POINT



1717 Ingersoll Ave
Suite 111
Des Moines, IA 50309
TEL 515.331.6517
www.olsson.co

Item 2

REV. NO.	DATE	REVISIONS DESCRIPTION
1	06.10.2022	CITY COMMENTS
2	06.20.2022	CITY COMMENTS

GRADING PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

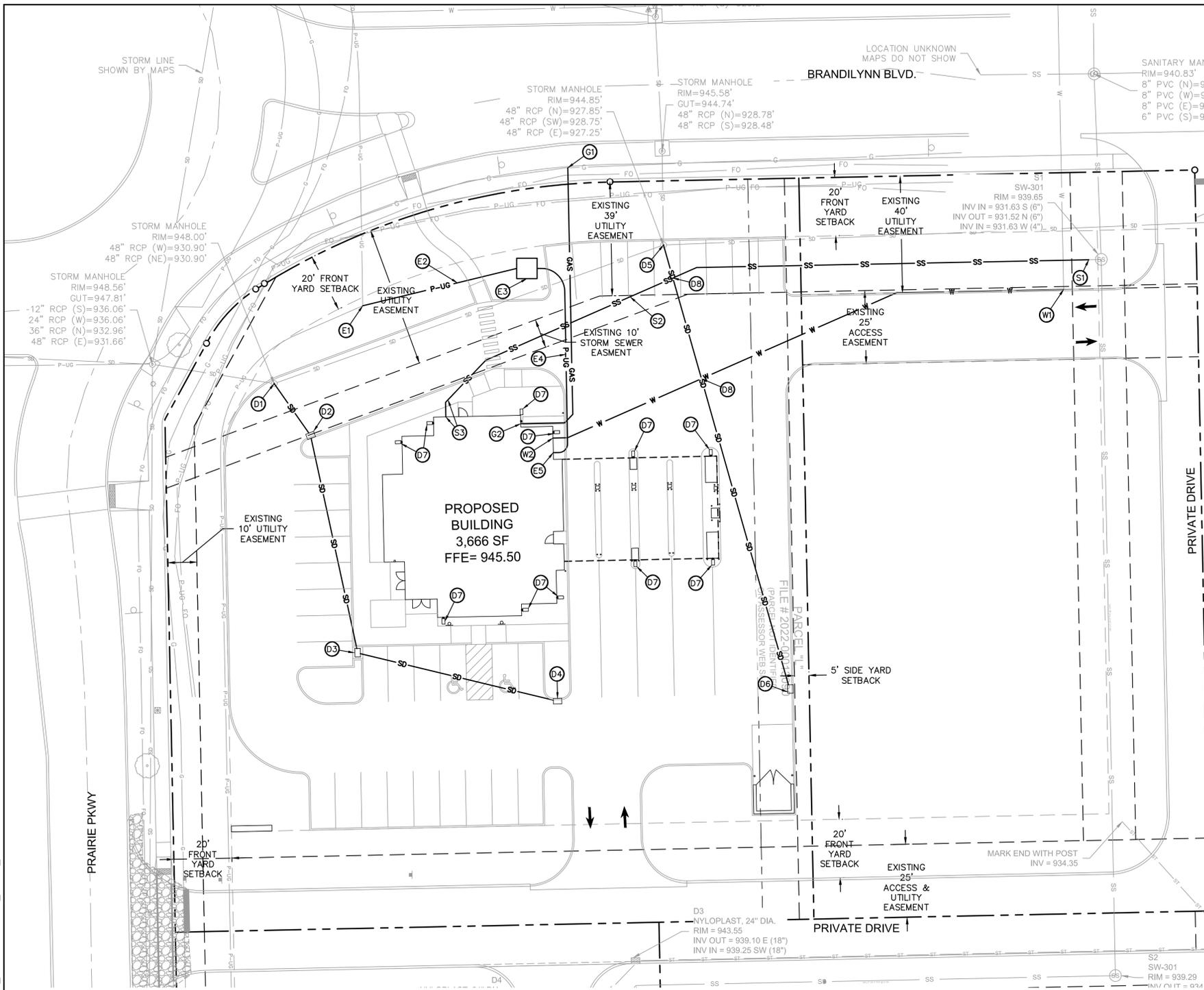
2022

REVISIONS

CEDAR FALLS, IA

SHEET
C3.0

DWG: F:\2021\05599-06000\021-05599-1\40-Design\AutoCAD\Pre\Utility Plans\Sheets\GNCVAC_UTL01_A2105599.dwg USER: cfranke
 DATE: Jun 20, 2022 1:50pm XREFS: C:\BASE_A2105599 C:\BASE_A2105599 PRIVATE ROAD DESIGN



STORM SEWER KEYNOTES

- D1 CONNECT TO EXISTING STORM STRUCTURE AND MODIFY RIM PER CITY OF CEDAR FALLS STANDARDS AND SPECIFICATIONS. EX. RIM=948.00. PR. RIM=945.24. EX. W INV IN (48" RCP)= 930.90. EX. NE INV OUT (48" RCP)= 930.90. PR. SE INV IN (12" HDPE)= 936.00.
- D2 INSTALL 21 LF OF 12" HDPE @ 2.00% AND INSTALL 24" NYLOPLAST DRAIN BASIN WITH 2'X3' HIGH FLOW CURB INLET TOP. PR. RIM= 944.80. PR. NW INV OUT (12" HDPE)= 936.42. PR. SE INV IN (12" HDPE)= 936.52.
- D3 INSTALL 76 LF OF 12" HDPE @ 2.00% AND INSTALL 24" NYLOPLAST DRAIN BASIN WITH 2'X3' HIGH FLOW CURB INLET TOP. PR. RIM= 944.80. PR. NW INV OUT (12" HDPE)= 938.04. PR. SE INV IN (8" HDPE)= 938.14.
- D4 INSTALL 69 LF OF 8" HDPE @ 2.00% AND INSTALL 24" NYLOPLAST DRAIN BASIN WITH 2'X3' HIGH FLOW CURB INLET TOP. PR. RIM= 944.65. PR. W INV OUT= 939.52.
- D5 CONNECT TO EXISTING STORM STRUCTURE AND MODIFY RIM PER CITY OF CEDAR FALLS STANDARDS AND SPECIFICATIONS. EX. RIM= 944.85. PR. RIM= 945.38. EX. SW INV IN (48" RCP)= 928.75. EX. N INV IN (48" RCP)= 927.85. EX. E INV OUT (48" RCP)= 927.25. PR. SE INV IN (12" HDPE)= 935.38.
- D6 INSTALL 158 LF OF 12" HDPE @ 2.00% AND INSTALL 24" NYLOPLAST DRAIN BASIN WITH 2'X3' HIGH FLOW CURB INLET TOP. PR. RIM= 943.32. PR. NW INV OUT= 938.54.
- D7 INSTALL 12" X 24" SPLASH BLOCK AND ROUTE ROOF DRAIN SO DRAINAGE DISCHARGES AWAY FROM BUILDING.
- D9 MAINTAIN MIN. 1.5' VERTICAL SEPARATION BETWEEN INTERSECTING UTILITIES.

SANITARY SEWER KEYNOTES

- S1 CONNECT TO EXISTING SANITARY SEWER STUB PER CITY OF CEDAR FALLS STANDARDS AND SPECIFICATIONS. CONTRACTOR TO VERIFY EXISTING SANITARY STUB INVERT AND NOTIFY ENGINEER OF ANY DISCREPANCIES. INV ELEVATION= 931.63.
- S2 INSTALL 214 LF OF 4" SCHEDULE 40 PVC PRIVATE SANITARY SEWER LINE @ 1.00%
- S3 INSTALL 23 LF OF 4" SCHEDULE 40 PVC PRIVATE SANITARY SEWER LINE @ 5.00% & CONNECT TO BUILDING. REFERENCE MEP PLANS FOR CONTINUATION. INV ELEVATION = 939.50.

WATER KEYNOTES

- W1 CONNECT TO EXISTING 8" WATER SERVICE STUB. CONTRACTOR TO FIELD VERIFY AND NOTIFY ENGINEER OF EXISTING VALVE INVERT AND SERVICE STUB SIZE.
- W2 INSTALL 8"x4" & 4"x2" REDUCERS AND INSTALL 186 LF OF 2" PRIVATE WATER LINE & ASSOCIATED BENDS. MAINTAIN MINIMUM OF 6" COVER. CONNECT TO BUILDING AND REFERENCE MEP PLANS FOR CONTINUATION.

ELECTRICAL KEYNOTES

- E1 CONNECT TO EXISTING POWER SOURCE, COORDINATE WITH UTILITY PROVIDER
- E2 INSTALL 55 LF OF 4" PVC CONDUIT FOR PRIMARY ELECTRICAL SERVICE PER UTILITY COMPANY STANDARDS & SPECIFICATIONS. COORDINATE WITH UTILITY COMPANY BEFORE INSTALLING.
- E3 INSTALL ELECTRICAL TRANSFORMER. REFERENCE ELECTRICAL PLANS.
- E4 INSTALL 73 LF OF 4" PVC CONDUIT FOR PRIMARY ELECTRICAL SERVICE PER UTILITY COMPANY STANDARDS & SPECIFICATIONS. REFERENCE ELECTRICAL PLANS.
- E5 CONNECT TO BUILDING AND REFERENCE ELECTRICAL PLANS FOR CONTINUATION.

NATURAL GAS KEYNOTES

- G1 CONNECT TO EXISTING NATURAL GAS SOURCE AND INSTALL 104 LF OF 1-1/4" PRIVATE GAS LINE AND ASSOCIATED BENDS. COORDINATE WITH UTILITY PROVIDER FOR TIE-IN LOCATION.
- G2 CONNECT TO BUILDING. REFERENCE MEP PLANS FOR CONTINUATION. COORDINATE GAS METER LOCATION AND BUILDING LOAD WITH UTILITY PROVIDER.

SANITARY SEWER PLAN NOTES

1. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE CONSTRUCTION WITH CITY OF CEDAR FALLS, IA.
2. ALL PIPE LENGTHS ARE CALCULATED LINEARLY FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
3. COORDINATES ARE PROVIDED AT THE CENTER OF STRUCTURE. ADDITIONAL COORDINATES PROVIDED ARE PER LOCAL CODES AND ORDINANCES OR AS AN AID WHEN ORIENTING THE LID DURING INSTALLATION.
4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF SANITARY SEWER.
5. SANITARY SEWER TRENCHES SHALL BE CONSTRUCTED SUCH THAT UNDISTURBED EXISTING SOIL OR FILL COMPACTED TO 95% PROCTOR DENSITY IS AT A DEPTH THAT IS 18" ABOVE TOP OF PROPOSED PIPE.
6. MANHOLE INVERT CHANNELS SHALL BE SMOOTH, CIRCULAR, AND CONFORMING TO 1/2 THE ADJACENT PIPE SECTION (INVERT TO CENTER). CHANGES IN DIRECTION OF FLOW SHALL BE MADE WITH A SMOOTH CURVE AND MAINTAIN SHAPE THROUGHOUT. CHANGES IN GRADE OF ADJACENT PIPES SHALL BE TRANSITIONED SMOOTHLY AND EVENLY THROUGH THE MANHOLE.
7. PIPE PENETRATIONS SHALL BE USE GASKETS TO ENSURE WATERTIGHT SEALS.
8. TRACING TAPE SHALL BE INSTALLED ALONG ALL NON-METALLIC SURFACES OR AS DIRECTED BY LOCAL CODES AND ORDINANCES.
9. SEWER LINE INSPECTIONS AND TESTING MUST BE SCHEDULED A MINIMUM OF TWO FULL BUSINESS DAYS IN ADVANCE. CONTRACTOR SHALL FURNISH ALL TESTING EQUIPMENT. TESTING SHALL INCLUDE
 - A. MANDREL TEST OF ALL GRAVITY SEWERS. IF THE MANDREL TEST FAILS ON ANY SECTION OF PIPE, THAT SECTION SHALL BE UNCOVERED AND REPLACED.
 - B. AIR PRESSURE TEST OF ALL GRAVITY SEWERS.
 - C. VACUUM TEST OF ALL MANHOLES.
10. GRAVITY SANITARY SEWER AND WATER LINES SHALL BE SEPARATED BY A MINIMUM OF 10" HORIZONTALLY WHEN PARALLEL AND 2' VERTICALLY WHEN CROSSING. WATER LINES SHALL CROSS ABOVE SANITARY SEWERS.

WATER PLAN NOTES

1. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE CONSTRUCTION WITH UTILITY OWNER.
2. ALL PIPE LENGTHS ARE CALCULATED LINEARLY FROM CENTER OF FITTING OR WALL OF VAULT.
3. COORDINATES ARE PROVIDED ALONG PIPE CENTERLINE. ADDITIONAL COORDINATES PROVIDED ARE PER LOCAL CODES AND ORDINANCES OR AS AN AID WHEN ORIENTING INSTALLATIONS.
4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF WATER.
5. WATER PIPE TRENCHES SHALL BE CONSTRUCTED SUCH THAT UNDISTURBED EXISTING SOIL OR FILL COMPACTED TO 95% PROCTOR DENSITY IS AT A DEPTH THAT IS 18" ABOVE TOP OF PROPOSED PIPE.
6. ALL PRIVATE WATER LINES SHALL BE A MINIMUM OF 48 INCHES AND MAXIMUM OF 60 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN UNLESS OTHERWISE NOTED.
7. IF AN AS-BUILT OF A WATER LINE IS REQUIRED OR EXPECTED THE CONTRACTOR SHALL NOT BACKFILL THE TRENCH UNTIL AN AS-BUILT SURVEY IS CONDUCTED.
8. DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR AND AS REQUIRED BY THE UTILITY OWNER.
9. ALL EXISTING FIRE HYDRANTS ON SITE OR IN THE RIGHT-OF-WAY BETWEEN PROPERTY AND ROADWAY SHALL BE REPAINTED PER LOCAL CODES AND ORDINANCES.
10. TRACING TAPE SHALL BE INSTALLED ALONG ALL NON-METALLIC SURFACES OR AS DIRECTED BY LOCAL CODES AND ORDINANCES.

DRY UTILITY PLAN NOTES

1. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL NOTIFY AND COORDINATE CONSTRUCTION WITH UTILITY OWNER.
2. ALL ON-SITE WIRING AND CABLES SHALL BE PLACED UNDERGROUND AND WITHIN CONDUIT UNLESS OTHERWISE SPECIFIED IN THESE PLANS. IF NOT SPECIFIED, ALL CONDUIT SHALL BE IN CONFORMANCE WITH UTILITY OWNER STANDARDS AND SPECIFICATIONS.
3. TELEPHONE AND COMMUNICATION SERVICE ROUTING AND CONDUITS, IF SHOWN AT ALL, ARE SUGGESTED ALIGNMENTS ONLY. CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AS REQUIRED BY MEP AND RELATED PLANS AS WELL AS SERVICE PROVIDER PRIOR TO PAVEMENT INSTALLATION.
4. ALL CONDUIT SHALL BE SCHEDULE 40 PVC PIPE AND SIZED PER MEP PLANS OR AS NOTED. CONDUIT SHALL BE SUFFICIENTLY FLEXIBLE TO ALLOW IT TO CONFORM TO MINOR CHANGES IN TRENCH DIRECTION OR ELEVATION. ALL OTHER BENDS SHALL BE MADE USING PRE-FORMED SWEEPS.

UTILITY PLAN LEGEND:

--- PROPERTY LINE

1717 Ingersoll Ave
Suite 111
Des Moines, IA 50309
TEL 515.331.6517
www.olson.co

REV. NO.	DATE	DESCRIPTION
1	06.10.2022	CITY COMMENTS
2	06.20.2022	CITY COMMENTS

UTILITY PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

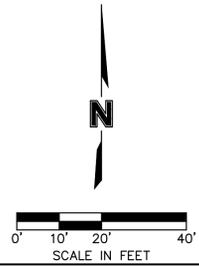
REVISIONS

2022

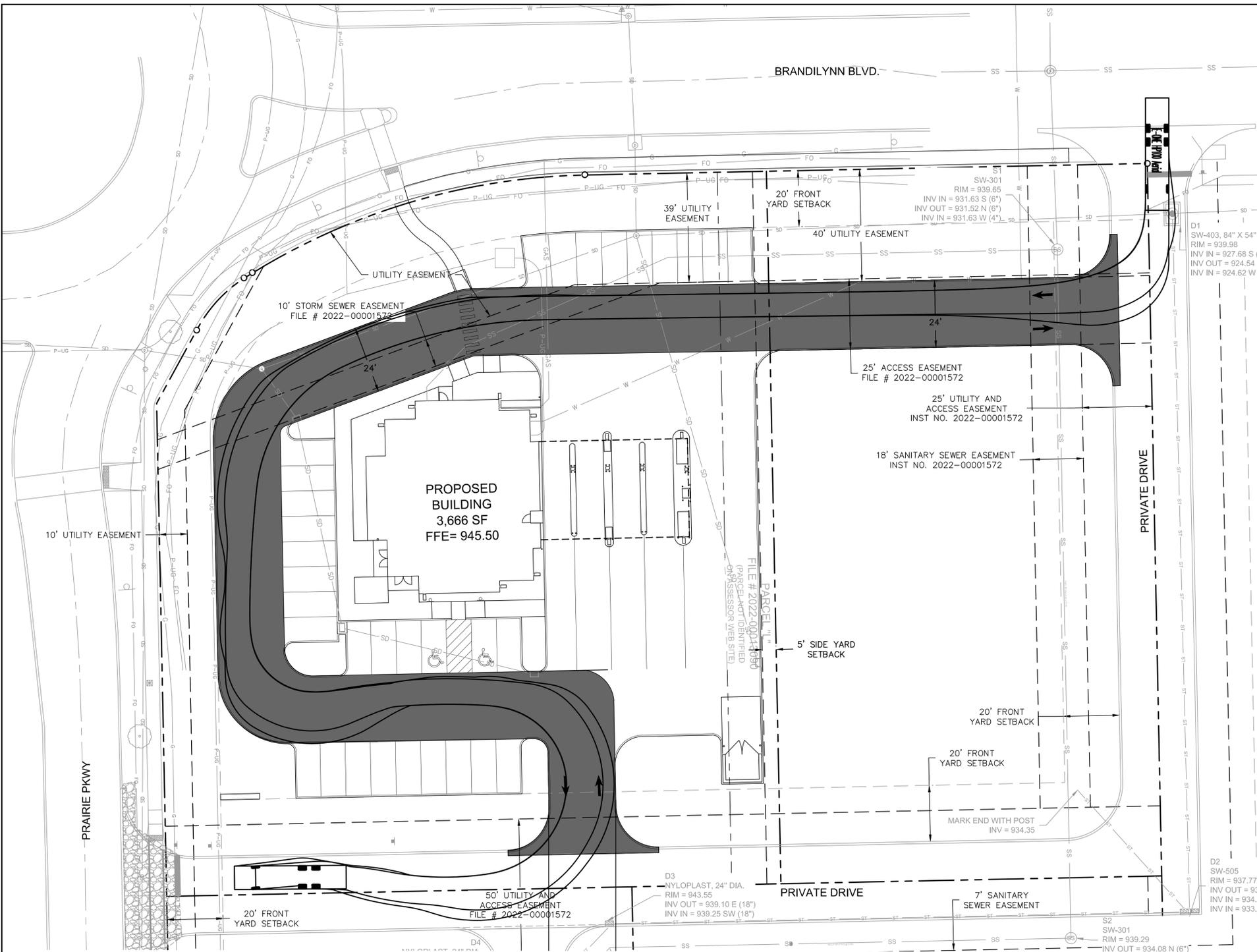
CEDAR FALLS, IA

drawn by: RMG
 checked by: BAF
 approved by: BAF
 QA/QC by: BAF
 project no.: 0210-05599
 drawing no.: C_UTL01_A2105599
 date: 06.10.2022

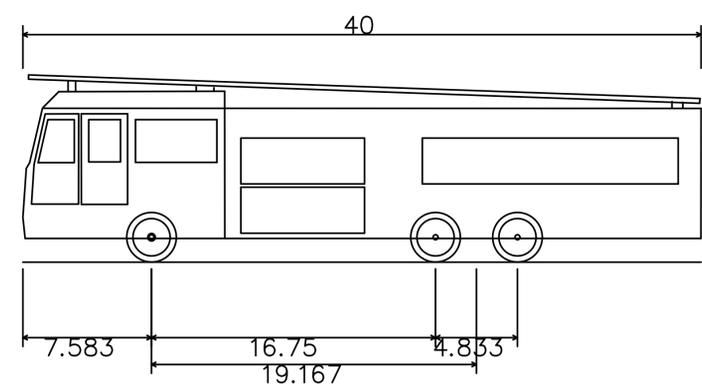
SHEET
C4.0



DWG: F:\2021\05501-06000\021-05599-A\40-Design\AutoCAD\01\05599-01\05599-01.dwg
 DATE: Jun 20, 2022 1:50pm
 USER: ofurke
 PROJECT: PRIVATE ROAD DESIGN

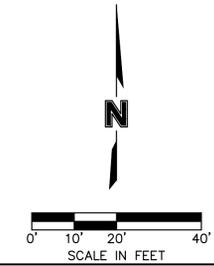


PAVING LEGEND



VEHICLE PROFILE
NOT TO SCALE

E-ONE HP100 Aerial
 Overall Length 40.000ft
 Overall Width 8.333ft
 Overall Body Height 11.000ft
 Min Body Ground Clearance 1.393ft
 Track Width 8.333ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 45.00°



1717 Ingersoll Ave
 Suite 111
 Des Moines, IA 50309
 TEL 515.331.6517
 www.olsson.co

olsson

VEHICLE ACCESS PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

CEDAR FALLS, IA

REV. NO.	DATE	REVISIONS DESCRIPTION
1	06.10.2022	CITY COMMENTS
2	06.20.2022	CITY COMMENTS

REVISIONS

2022

drawn by: RMG

checked by: BAF

approved by: BAF

QA/QC by: BAF

project no.: 0210-05599

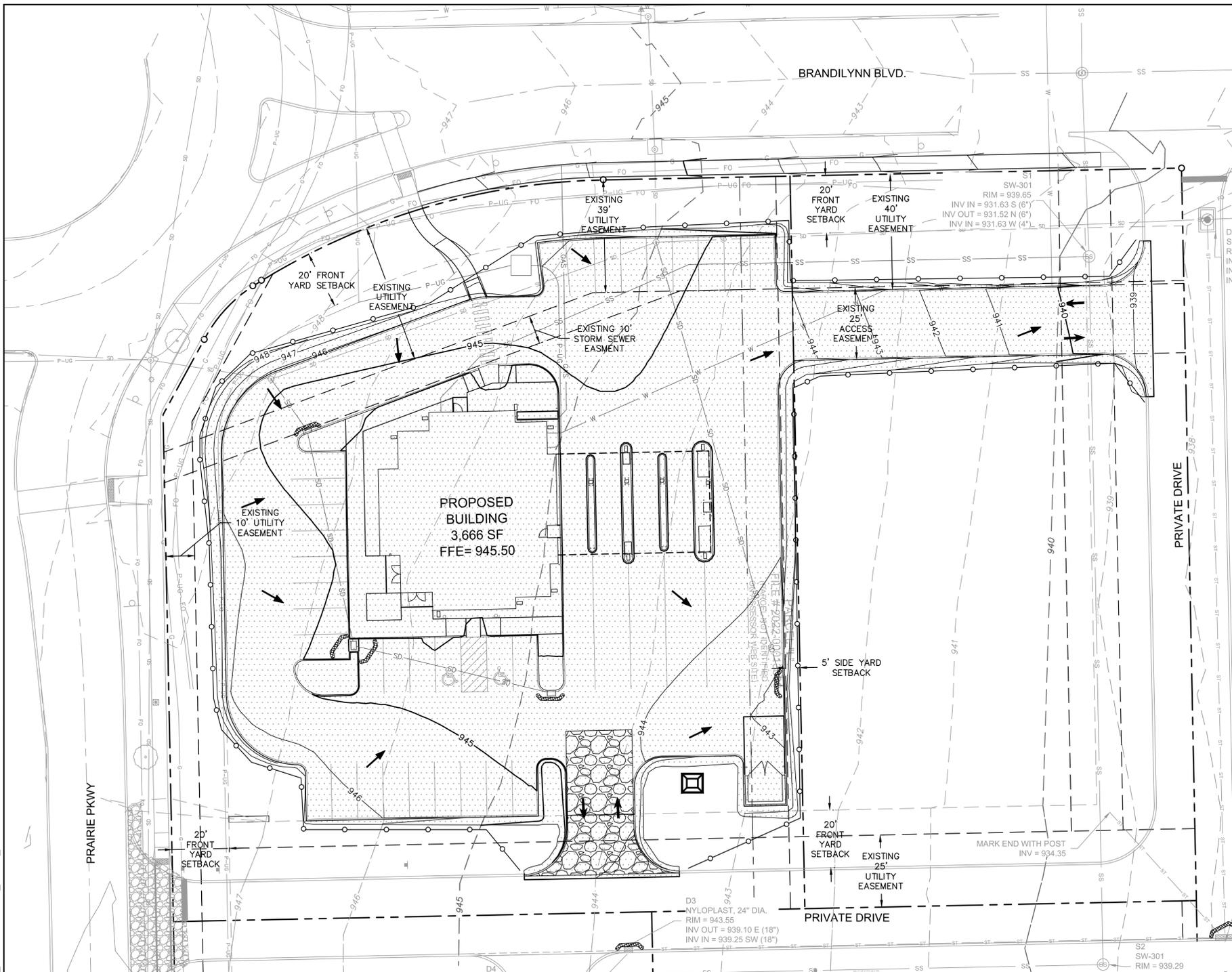
drawing no.: TURN01_A2105599

date: 06.10.2022

SHEET C5.0

18

DWG: F:\2021\05501-06000\021-05599-A\40-Design\AutoCAD\Pre\Drawings\021-05599-C_P\BASE_A2105599.dwg USER: afunkle
 DATE: Jun 20, 2022 1:50pm XREFS: C:\BASE_A2105599 C:\BASE_A2105599 PRIVATE ROAD DESIGN



EROSION & SEDIMENT CONTROL NOTES

1. THIS PROJECT DOES REQUIRE AN NPDES GENERAL PERMIT NO. 2 FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREETS, ACCESS ROUTES, AND WATERWAYS IN THE VICINITY OF THE JOB SITE CLEAN AND FREE OF ROCKS, SOIL AND DEBRIS.
3. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROL "BEST MANAGEMENT PRACTICES" (BMPs) PRIOR TO ANY SITE PREPARATION WORK (E.G., CLEARING, GRUBBING, DEMOLITION, OR EXCAVATION).
4. THE PLACEMENT OF EROSION AND SEDIMENT BMPs SHALL BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN PREPARED FOR THE PROJECT. CONTRACTOR TO ADJUST QUANTITY, LOCATION, AND TYPE OF EROSION AND SEDIMENT CONTROL BMPs AS NECESSARY FOR THE VARIOUS PHASES OF THE WORK AND AS ACTUAL CONDITIONS WARRANT. CONTRACTOR SHALL CONTINUOUSLY MODIFY THE EROSION AND SEDIMENT CONTROL PLAN WITH CURRENT BMPs IN ACCORDANCE WITH THE CONSTRUCTION STORMWATER PERMIT REQUIREMENTS. ADDITIONAL EROSION AND SEDIMENT CONTROL BMPs EMPLOYED BY THE CONTRACTOR AT HIS DISCRETION WILL NOT BE MEASURED OR PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK.
5. APPROVED EROSION AND SEDIMENT CONTROL BMPs SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT, UNLESS OTHERWISE REQUIRED BY THE STATE'S CONSTRUCTION STORMWATER PERMIT, AT A MINIMUM THE CONTRACTOR SHALL INSPECT ALL BMPs EVERY 7 DAYS, AND AFTER ALL SIGNIFICANT PRECIPITATION EVENTS I.E. RAINFALL, SNOWMELT. ALL NECESSARY MAINTENANCE AND REPAIR ACTIVITIES SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS AFTER DIRECTION BY THE INSPECTOR. ACCUMULATED SEDIMENT AND CONSTRUCTION DEBRIS SHALL BE REMOVED WEEKLY FROM ALL BMPs, OR AT ANY TIME THAT SEDIMENT OR CONSTRUCTION DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMPs.
6. TOPSOIL AND SUITABLE EARTHEN MATERIALS SHALL BE SEGREGATED AND STOCKPILED WITHIN THE LIMITS OF CONSTRUCTION FOR USE ON AREAS TO BE FILLED AND RE-VEGETATED. ANY AND ALL STOCKPILES SHALL BE PLACED IN AN APPROVED LOCATION AND PROTECTED FROM EROSION ELEMENTS USING MEASURES SPECIFIED IN THE EROSION/SEDIMENT CONTROL PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
7. STABILIZATION IS REQUIRED IMMEDIATELY FOR STOCKPILES THAT WILL BE INACTIVE FOR MORE THAN 14 DAYS.
8. ANY SETTLEMENT OR SOIL ACCUMULATIONS BEYOND THE LIMITS OF CONSTRUCTION DUE TO GRADING OR EROSION SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, PROPERTIES, ETC. RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
9. A WATER SOURCE MUST BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND FOR MEETING COMPACTION REQUIREMENTS.
10. THE CONTRACTOR MUST KEEP ALL POLLUTANTS, INCLUDING SEDIMENT, CONSTRUCTION DEBRIS, AND TRENCH BACKFILL MATERIALS FROM ENTERING THE STORM SEWER SYSTEM.
11. ALL SPILLS INCLUDING, BUT NOT LIMITED TO, PETROLEUM PRODUCTS, SOLVENTS, AND CEMENT SHALL BE CLEANED UP IMMEDIATELY. THE LOCAL CITY/COUNTY AND STATE'S GOVERNING AUTHORITY SHALL BE NOTIFIED IMMEDIATELY.
12. THE CONTRACTOR SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THE SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL EXPORTED FROM THE SITE SHALL BE DISPOSED OF AT A SITE PERMITTED TO ACCEPT SUCH MATERIAL.
13. THE USE OF REBAR, STEEL STAKES OR STEEL FENCE POSTS FOR STAKING DOWN STRAW OR HAY BALES IS PROHIBITED. STEEL FENCE POSTS ARE REQUIRED TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE.
14. THE CLEANING OF CONCRETE DELIVERY TRUCK CHUTES IS RESTRICTED TO APPROVED LOCATIONS ON THE JOB SITE. THE DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED. ALL CONCRETE WASTE SHALL BE PROPERLY CLEANED UP AND DISPOSED OF AT AN APPROPRIATE LOCATION.
15. THE CONTRACTOR SHALL CLEAN OUT ALL EXISTING AND PROPOSED INLETS, PIPES AND MANHOLES OF DEBRIS AND SEDIMENTATION AT COMPLETION OF SITEWORK. THIS WORK SHALL BE DONE TO THE SATISFACTION OF THE OWNER AND LOCAL AUTHORITIES. ANY CONSTRUCTION DEBRIS OR MUD DROPPED INTO MANHOLES, INLETS, PIPES OR TRACKED ONTO EXISTING ROADWAYS SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY EXCAVATIONS OR PAVEMENT FAILURES CAUSED BY HIS CONSTRUCTION.
16. STABILIZATION IS REQUIRED IMMEDIATELY FOR ANY AREAS THAT WILL BE INACTIVE FOR MORE THAN 14 DAYS.
17. TIME CONSTRUCTION ACTIVITIES TO LIMIT IMPACT ON SEASONAL WEATHER CHANGES.
18. DO NOT DISTURB AN AREA UNTIL NECESSARY FOR CONSTRUCTION TO PROCEED.
19. MATTING, SOD, OR AN EQUIVALENT EROSION CONTROL MEASURE APPROVED BY THE CITY ENGINEER IS REQUIRED BY CITY ORDINANCE ON SLOPES 3:1 OR GREATER.
20. CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
21. NO HAZARDOUS WASTE MAY BE DISPOSED OF IN SANITARY LANDFILLS.
22. DO NOT DISPOSE OF RUBBLE IN WETLANDS, FLOODPLAINS, OR DRAINAGE WAYS WITHOUT IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) OR JURISDICTION APPROVAL.
23. TREAT OR DISPOSE OF SANITARY WASTES GENERATED ON-SITE IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
24. DUMPSTERS SHALL BE COVERED TO PREVENT STORM WATE CONTAMINATION
25. ALL MATERIALS HAULED OFF-SITE SHALL BE SECURED TO PREVENT LITTERING
26. A UNIFORM TOPSOIL DEPTH OF 6" MUST BE RETURNED POST-CONSTRUCTION

CONSTRUCTION AND EROSION CONTROL SCHEDULE

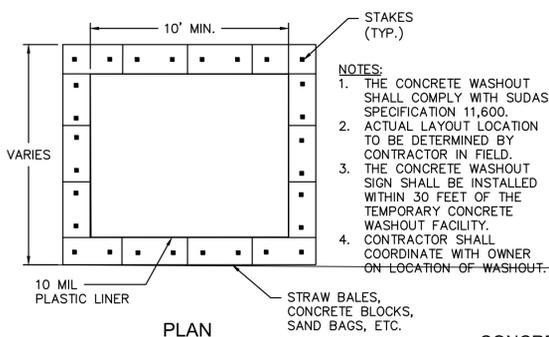
1. SILT FENCE SHALL BE INSTALLED IN THE PROPOSED LOCATIONS FOR PERIMETER CONTROL. INSTALL UPSTREAM DIVERSIONS, DOWN SLOPE AND SIDE SLOPE PERIMETER CONTROLS.
2. INSTALLATION OF INFILTRATION CONTROLS SHOULD BE AFTER UPSTREAM AREAS ARE STABILIZED.
3. CONTACT CITY ENGINEER FOR PRE-CONSTRUCTION INSPECTION
4. DEMO, CLEARING AND GRUBBING SHALL BE COMPLETED AND FINAL STABILIZATION APPROVAL BY CITY.
5. SITE GRADING SHALL BE COMPLETED AND FOLLOWED UP BY UTILITY AND PAVING CONSTRUCTION ALONG WITH REDISTRIBUTION OF STRIPPINGS.
6. CONTACT CITY ENGINEER FOR TOPSOIL CONSTRUCTION INSPECTION BEFORE FINAL STABILIZATION.
7. EROSION CONTROL SHALL BE INSPECTED AND MAINTAINED UNTIL FINAL GRADING, LANDSCAPING AND STABILIZATION IS ACHIEVED AND APPROVED BY CITY. ONCE FINAL STABILIZATION HAS BEEN ACHIEVED AND APPROVED, SEDIMENT CONTROLS SHALL BE REMOVED.
8. CONTACT CITY ENGINEERING FOR POST-CONSTRUCTION INSPECTION AFTER 70% VEGETATIVE COVER HAS BEEN REACHED.
9. SEND COPY OF NOTICE OF DISCONTINUATION TO CITY ENGINEER.

LEGEND

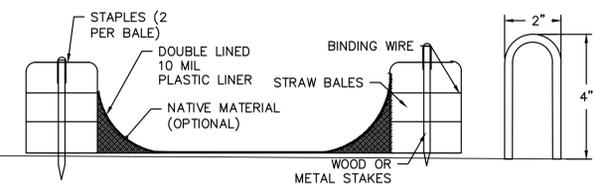
- - - - - 1345 - - - - - EXISTING MAJOR CONTOUR
- - - - - 1346 - - - - - EXISTING MINOR CONTOUR
- - - - - 1345 - - - - - PROPOSED MAJOR CONTOUR
- - - - - 1346 - - - - - PROPOSED MINOR CONTOUR
- - - - - - - - - - - PROPERTY LINE
- - - - - - - - - - - PROPERTY BOUNDARY
- - - - - - - - - - - RIGHT OF WAY LINE
- - - - - - - - - - - SECTION LINE

EROSION CONTROL PLAN LEGEND:

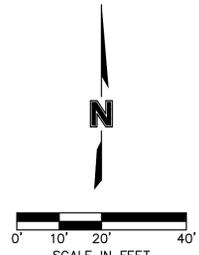
- CONCRETE WASHOUT AREA, SEE DETAIL THIS SHEET
- STABILIZED CONSTRUCTION ENTRANCE PER SUDAS DETAIL 9040.120
- SILT FENCE PER SUDAS DETAIL 9040.119
- FILTER SOCK PER SUDAS DETAIL 9040.102
- FLOW ARROW
- TOTAL DISTURBED AREA (0.94 AC.)



CONCRETE WASHOUT
NOT TO SCALE



SECTION



1717 Ingersoll Ave
Suite 111
Des Moines, IA 50309
TEL 515.331.6517
www.olsson.co

| REV. NO. | DATE | DESCRIPTION |
|----------|------------|---------------|
| 1 | 06.10.2022 | CITY COMMENTS |
| 2 | 06.20.2022 | CITY COMMENTS |

EROSION CONTROL PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

REVISIONS

drawn by: RMG

checked by: BAF

approved by: BAF

QA/QC by: BAF

project no.: 0210-05599

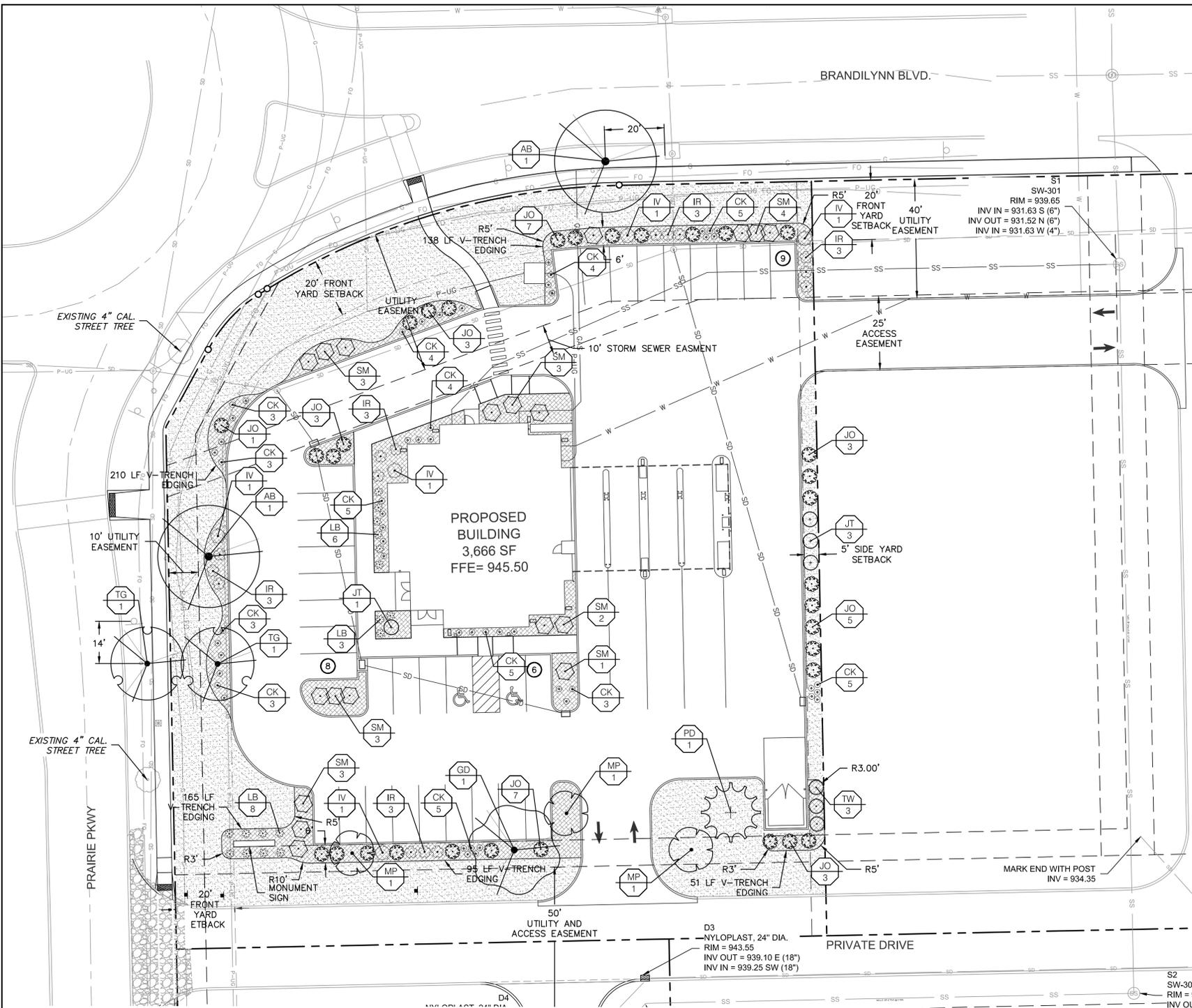
drawing no.: C_ERC01_A2105599

date: 06.10.2022

2022

SHEET
C6.0

DWG: F:\2021\05501-05599-A\05-Design\AutoCAD\Pre\Inquiry\Plans\Sheets\GNCVAC_LSC01_A2105599.dwg USER: bmergem
 DATE: Jul 07, 2022 11:36am XREFS: C:\P\BLK_A2105599 C:\P\ATT_A2105599 C:\BASE_A2105599 C:\BASE_A2105599 C:\PLSCP_A2105599 PRIVATE ROAD DESIGN



PLANT SCHEDULE

| EVERGREEN TREES | CODE | QTY | BOTANICAL / COMMON NAME | SIZE | OPEN SPACE POINTS | STREET TREE POINTS |
|------------------|------|-----------|--|----------|-------------------|--------------------|
| (+) | JT | 4 | JUNIPERUS VIRGINIANA TAYLOR
TAYLOR EASTERN REDCEDAR | 6'-8" HT | 80 | |
| (+) | PD | 1 | PICEA GLAUCA 'DENSATA'
BLACK HILLS WHITE SPRUCE | 6'-8" HT | 80 | |
| ORNAMENTAL TREES | CODE | QTY | BOTANICAL / COMMON NAME | SIZE | | |
| (*) | MP | 3 | MALUS X 'PRAIRIFIRE'
PRAIRIFIRE CRABAPPLE | 1.5' CAL | 60 | |
| SHADE TREES | CODE | QTY | BOTANICAL / COMMON NAME | SIZE | | |
| (*) | AB | 2 | ACER SACCHARUM 'BALLSTADT'
FALL FIESTA SUGAR MAPLE | 2.5' CAL | 80 | 80 |
| (*) | GD | 1 | GYMNOCLADUS DIOICA 'ESPRESSO'
KENTUCKY COFFEETREE | 2.5' CAL | 80 | |
| (*) | TG | 2 | TILIA CORDATA 'GREENSPIRE'
GREENSPIRE LITTLELEAF LINDEN | 2.5' CAL | 80 | 80 |
| SHRUBS | CODE | QTY | BOTANICAL / COMMON NAME | SIZE | | |
| (*) | CK | 52 | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'
KARL FOERSTER FEATHER REED GRASS | 2 GAL | 150 | |
| (*) | IV | 5 | ILEX VERTICILLATA 'JIM DANDY'
JIM DANDY WINTERBERRY | 5 GAL | 20 | |
| (*) | IR | 15 | ILEX VERTICILLATA 'RED SPRITE'
RED SPRITE WINTERBERRY | 5 GAL | 60 | |
| (*) | JO | 32 | JUNIPERUS VIRGINIANA 'GREY OWL'
GREY OWL EASTERN REDCEDAR | 5 GAL | 50 | |
| (*) | LB | 17 | LEUCANTHEMUM X SUPERBUM 'BECKY'
BECKY SHASTA DAISY | 2 GAL | 85 | |
| (*) | SM | 19 | SYRINGA MEYERI 'PALBIN'
DWARF KOREAN LILAC | 5 GAL | 90 | |
| (*) | TW | 3 | TAXUS X MEDIA 'WARDII'
WARD ANGLLO-JAPANESE YEW | 5 GAL | 30 | |
| GROUND COVERS | CODE | QTY | BOTANICAL / COMMON NAME | SIZE | | |
| (*) | TD2 | 12,168 SF | TURF SEED DROUGHT TOLERANT DWARF FESCUE BLEND | SEED | | |
| (*) | | 4,620 SF | DOUBLE GROUND HARDWOOD MULCH | | | |
| (*) | | 2 | EXISTING STREET TREES | 4' CAL | | 200 |
| TOTAL | | | | | 945 | 360 |

ALL PLANT MATERIAL NOT IN POINTS CALCULATION IS USED FOR CONTINUOUS PARKING LOT SCREEN

NOTES:

- ALL TREES SHALL BE 2.5" TO 4" CALIPER WITH NO MORE THAN 50% OF THE TREES IN ANY ONE CALIPER SIZE.
- ALL DISTURBED AREA NOT OTHERWISE SPECIFIED WITH GROUND COVER SHALL BE PLANTED WITH TURF SEED - DROUGHT TOLERANT DWARF FESCUE BLEND.
- PLANTING BEDS AND TREE PLANTING AREAS SHALL RECEIVE BROWN HARDWOOD MULCH AT A DEPTH OF 3" WITH SHOVEL-CUT EDGING OR STEEL EDGING AS CALLED OUT ON PLAN.
- COMPLETE COVERAGE IRRIGATION SHALL BE PROVIDED BY CONTRACTOR FOR ALL TURF AND MULCHED PLANTING AREAS, REFER TO HATCHING IN SCHEDULE. IRRIGATION PLANS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
- AREAS OF TURF SEED PLANTED ON SLOPES EXCEEDING 4:1 (SEE GRADING PLANS) SHALL BE INSTALLED WITH AN EROSION CONTROL MEASURES PER MANUFACTURER'S SPECIFICATIONS.
- QUANTITIES LISTED IN THE PLANT LIST SCHEDULE ARE FOR ESTIMATES ONLY. TREES, SHRUBS, AND GROUND COVER OF CONTRACT QUANTITIES SHALL BE THE NUMBER OF ITEMS SHOWN ON THE DRAWINGS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
- CONTRACTOR SHALL REFER TO ENGINEERING DRAWINGS FOR ANY AND ALL EXISTING AND/OR PROPOSED UTILITIES. IF THERE ARE ANY DISCREPANCIES, CONFLICTS AND/OR DEVIATIONS BETWEEN THE LANDSCAPE DRAWINGS AND THE EXISTING OR PROPOSED CONDITIONS, THE CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
- ALL UNDERGROUND UTILITIES ARE TO BE FIELD-VERIFIED PRIOR TO COMMENCEMENT OF WORK.
- LANDSCAPE CONTRACTOR SHALL SUBMIT SPECIFICATIONS OF SEED, SOIL, AND MULCH, AND REPRESENTATIVE PHOTOS OF TREES AND SHRUBS, TO LANDSCAPE ARCHITECT FOR REVIEW AND ACCEPTANCE PRIOR TO COMMENCEMENT OF WORK. SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT.
- INSTALLATION OF LANDSCAPING SHALL TAKE PLACE DURING EITHER THE SPRING (MARCH 15 - JUNE 15) OR FALL (SEPTEMBER 15 - OCTOBER 15) PLANTING SEASON AND WITH WATER AVAILABLE FOR IRRIGATION PURPOSES.
- IF UNDERGROUND OBSTRUCTIONS ARE ENCOUNTERED IN EXCAVATION FOR PLANTING OF TREES OR SHRUBS, NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY. NEW LOCATIONS MAY BE SELECTED BY LANDSCAPE ARCHITECT OR INSTRUCTIONS MAY BE ISSUED TO DIRECT REMOVAL OF OBSTRUCTIONS. PROCEED WITH WORK ONLY AFTER APPROVAL OF LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- BACKFILL ALL PLANTING BEDS TO A MINIMUM 12-INCH DEPTH WITH PLANTING SOIL MIX. PLANTING SOIL MIX SHALL CONSIST OF ONE (1) PART PERLITE, ONE (1) PART PEAT MOSS, AND TWO (2) PARTS CLEAN LOAM TOPSOIL. THOROUGHLY MIX PLANTING SOIL COMPONENTS PRIOR TO PLACEMENT. ALL LANDSCAPE AREAS SHALL BE UNIFORMLY GRADED SO THAT FINISHED SURFACES CONFORM TO THE TYPICAL SECTIONS AND PROPOSED GRADES SHOWN. FINISHED SURFACES SHALL BE REASONABLY SMOOTH, COMPACTED AND FREE FROM IRREGULAR SURFACE DRAINAGE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE FINISH GRADE AND SHALL BEAR FINAL RESPONSIBILITY FOR PROPER SURFACE DRAINAGE OF PLANTED AREAS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR WATERING AND GENERAL HEALTH OF ALL PLANT MATERIALS UNTIL FINAL ACCEPTANCE. ANY MATERIAL WHICH DIES PRIOR TO ACCEPTANCE OF WORK SHALL BE PROMPTLY REMOVED AND REPLACED.
- LANDSCAPE BEDS SHALL BE FREE OF WEEDS AND VOLUNTEER PLANT MATERIAL.
- LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. CONTRACTOR WILL MAKE ALL REPLACEMENTS PROMPTLY UNDER THIS GUARANTEE (AS PER DIRECTION OF OWNER).

| LOT AREA EXCLUDING BUFFER (SF) | LANDSCAPE AREA (SF) | AREA LANDSCAPE % (10% MIN.) | PARKING SPACES | PERIPHERAL LANDSCAPE LENGTH (LF) | (1) LANDSCAPE STRIP BETWEEN ADJUTING PROPERTY | (2) LANDSCAPE SETBACK AROUND PERIMETER OF DISTRICT | (1) PERIPHERAL LANDSCAPE TREES | (3) PERIPHERAL LANDSCAPE SHRUBS | (4) OPEN SPACE POINTS REQUIRED | (4) OPEN SPACE POINTS PROVIDED | (5) PARKING AREA TREES | (6) STREET TREES POINTS |
|--------------------------------|---------------------|-----------------------------|----------------|----------------------------------|---|--|--------------------------------|--|--------------------------------|--------------------------------|------------------------|-------------------------|
| 43,464 | 8,316 | 19.13% | 32 | 180 | REQUIRE PROVIDE | 5' WIDE
5' WIDE | 4 | CONTINUOUS SCREEN
CONTINUOUS SCREEN | 43464 * 02 = 869 | 945 | 3
3 | 315
360 |

LANDSCAPE REQUIREMENTS DESCRIPTIONS

- Peripheral landscaping shall consist of a landscaped strip not less than five feet in width. One tree for each 50 linear feet of such landscaping barrier or fractional part thereof shall be planted in landscaping strip. Sec. 26-220-4-a
- For internal streets or principal accessways a 20-foot setback consisting of landscape material shall be provided adjacent to said street right-of-way. Sec. 26-186-h-2
- In addition to tree plantings, the perimeter of the parking lot shall be screened with shrubbery or similar plantings at least three feet in height. Sec. 26-220-4-a
- A minimum of 0.02 points per square foot of total development site area shall be achieved with planting of a combination of trees and shrubbery. Sec. 26-186-h-3
- One overstory tree to be established for every 15 parking stalls or 2,500 square feet of hard surfaced parking space area. Sec. 26-186-h-5
- Street tree planting. A minimum of 0.75 points per linear foot of street frontage shall be required. Sec. 26-186-h-4

1717 Ingersoll Ave
Suite 111
Des Moines, IA 50309
TEL 515.331.6517
www.olsson.co

| REV. NO. | DATE | REVISIONS DESCRIPTION |
|----------|------|-----------------------|
| | | |
| | | |
| | | |
| | | |

LANDSCAPE PLAN
SITE PLAN

VERDIAN CREDIT UNION
BRANDILYNN BLVD

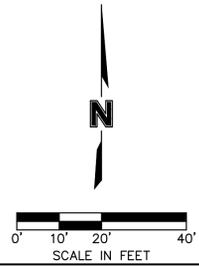
2022

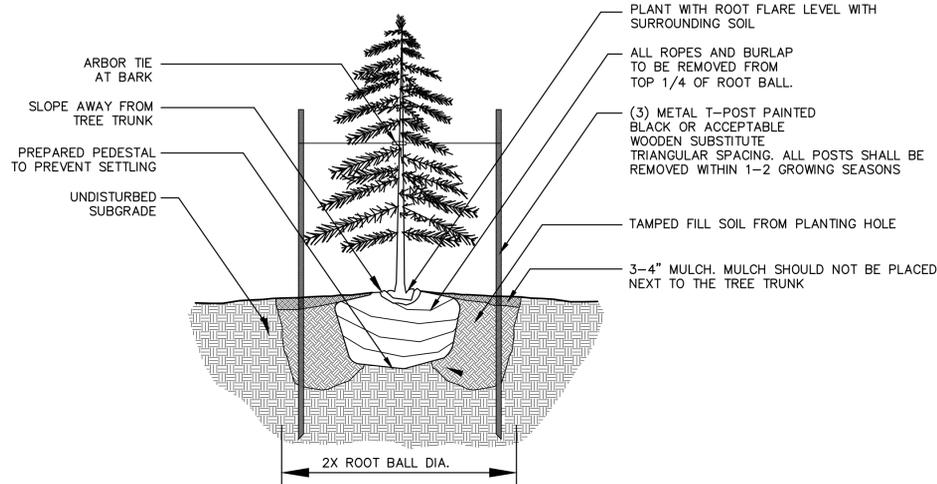
CEDAR FALLS, IA

REVISIONS

drawn by: RMG
checked by: BAF
approved by: BAF
QA/QC by: BAF
project no.: 0210-05599
drawing no.: C_LSC01_A2105599
date: 06.10.2022

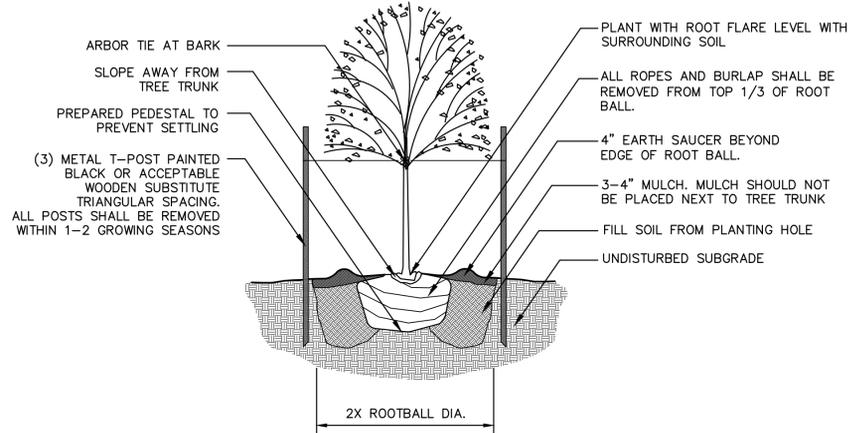
SHEET
L1.0





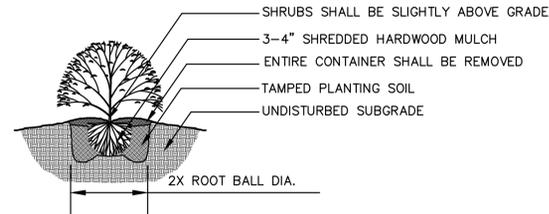
NOTES:
 1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 2. IN AREAS OF TURF, SURROUND BED WITH 6' DIAMETER OF MULCH

1 Evergreen Tree Planting Detail
 not to scale



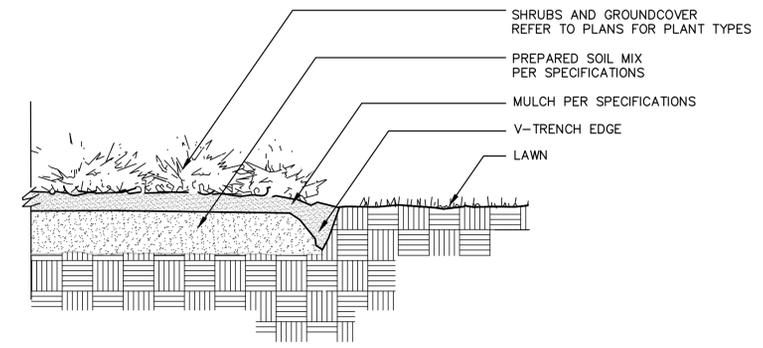
NOTES:
 1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 2. IN AREAS OF TURF, SURROUND BED WITH 6' DIAMETER OF MULCH

2 Deciduous Tree Planting Detail
 not to scale



NOTES:
 1. MINIMUM ROOT SPREAD TO BE IN ACCORDANCE WITH ANLA STANDARDS
 2. PRUNE DAMAGED LIMBS OR ROOTS AFTER INSTALLATION
 3. MAKE SURE ROOTS DO NOT DRY OUT DURING INSTALLATION
 4. SOAK GENEROUSLY TO COMPACT AND SETTLE

3 Shrub Planting Detail
 not to scale



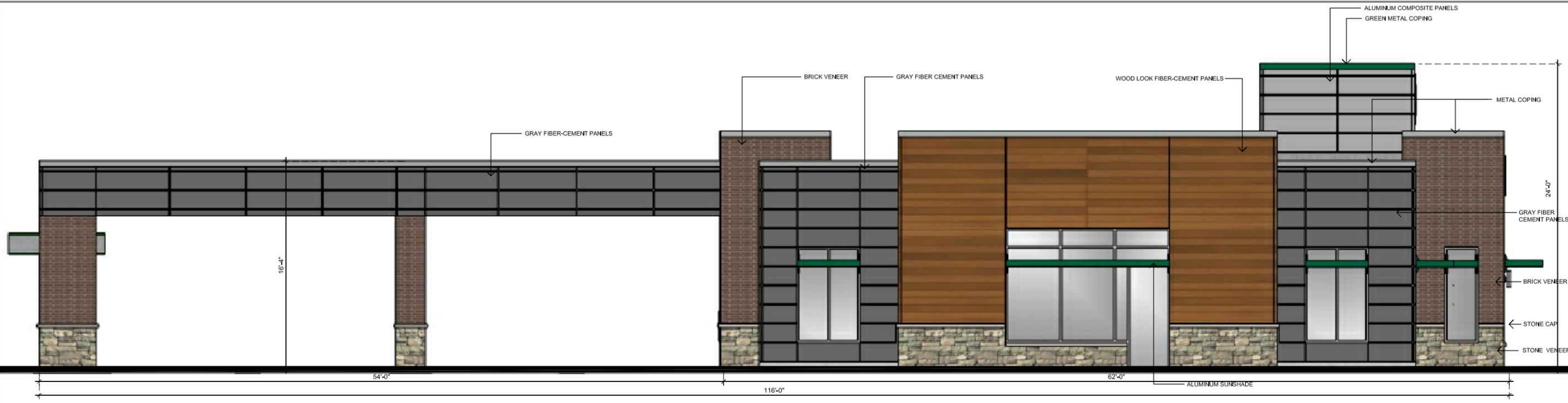
4 V-Trench Edging Detail
 not to scale

| REV. NO. | DATE | REVISIONS DESCRIPTION |
|----------|------------|-----------------------|
| 1 | 06.10.2022 | CITY COMMENTS |
| 2 | 06.20.2022 | CITY COMMENTS |

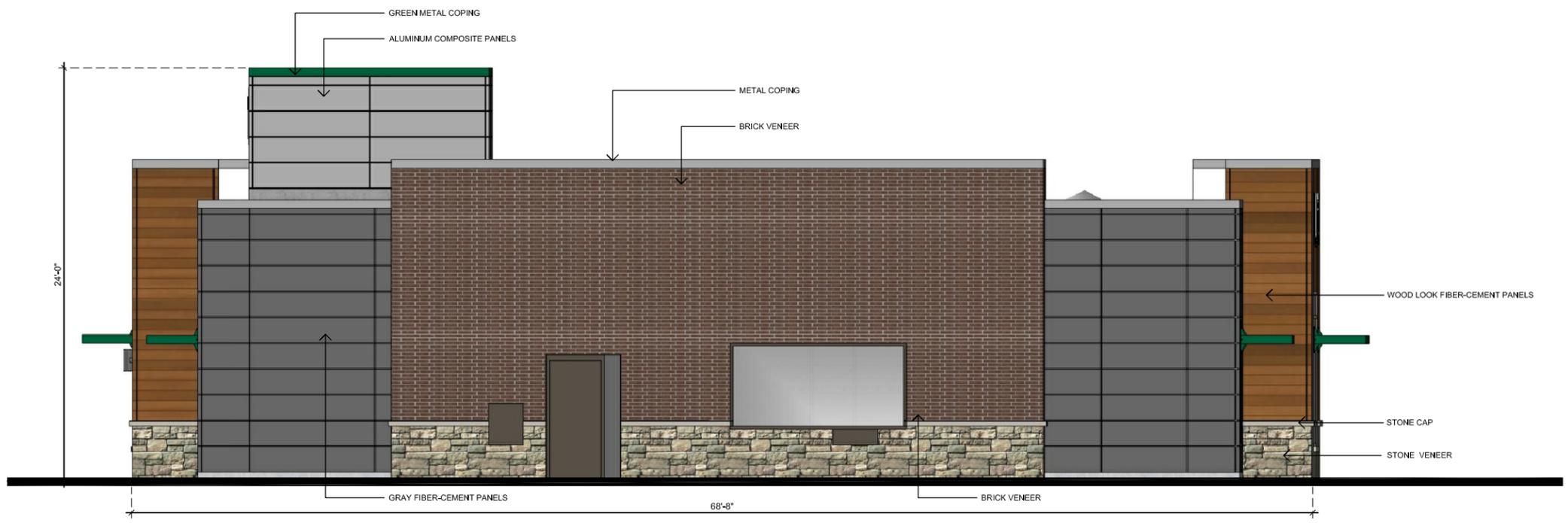
LANDSCAPE DETAILS
 SITE PLAN
 VERDIAN CREDIT UNION
 BRANDILYNN BLVD
 CEDAR FALLS, IA

2022

drawn by: RMG
 checked by: BAF
 approved by: BAF
 QA/QC by: BAF
 project no.: 0210-05599
 drawing no.: C_LSC01_A2105599
 date: 06.10.2022



1 NORTH ELEVATION
 1/8" = 1'-0"



2 EAST ELEVATION
 1/8" = 1'-0"

EXTERIOR FINISH SELECTIONS:

- STONE VENEER: ANAMOSA LIMESTONE
 ROCKFACE - RANDOM BROKEN COURSED ASHLAR
- STONE BANDS/ SILLS: CUT STONE TO MATCH VENEER - SMOOTH FINISH
 (CAST STONE TO MATCH VENEER AS ALTERNATE BID)
- BRICK VENEER: UNITED BRICK & TILE - SMOKED TUDOR 12" UTILITY
- GRAY FIBER CEMENT PANELS: NICHHA - ILLUMINATION SERIES AWP3030
 MATCH SHERWIN-WILLIAMS SW7075 WEB GRAY
- WOOD-LOOK FIBER CEMENT PANELS: NICHHA - VINTAGE WOOD SERIES AWP3030 - CEDAR
- ALUMINUM COMPOSITE PANELS: METAL DESIGN SYSTEMS - CLEAR ANODIZED ALUMINUM
- WINDOW FRAMING / GLASS: KAWNEER - CLEAR ANODIZED ALUMINUM,
 CLEAR, LOW-E INSULATED GLAZING.
- MEMBRANE ROOF : WHITE PVC OR TPO
- METAL COPING: GREEN AT ENTRANCE TOWER,
 COLOR TO MATCH CLEAR ANODIZED ALUMINUM ELSEWHERE.
- SCUPPERS / COLLECTOR BOXES / DOWNSPOUTS: COLOR TO MATCH CLEAR ANODIZED ALUMINUM.
- ALUMINUM SUNSHADES: COLOR TO MATCH GREEN COPING AT ENTRANCE TOWER.
- ALUMINUM ENTRANCE CANOPY: COLOR TO MATCH GREEN COPING AT ENTRANCE TOWER.
- BOLLARDS / HOLLOW METAL DOOR AND FRAME: SHERWIN-WILLIAMS - SW7027 WELL-BRED BROWN.

Veridian Credit Union
 Cedar Falls, Iowa
 New Branch

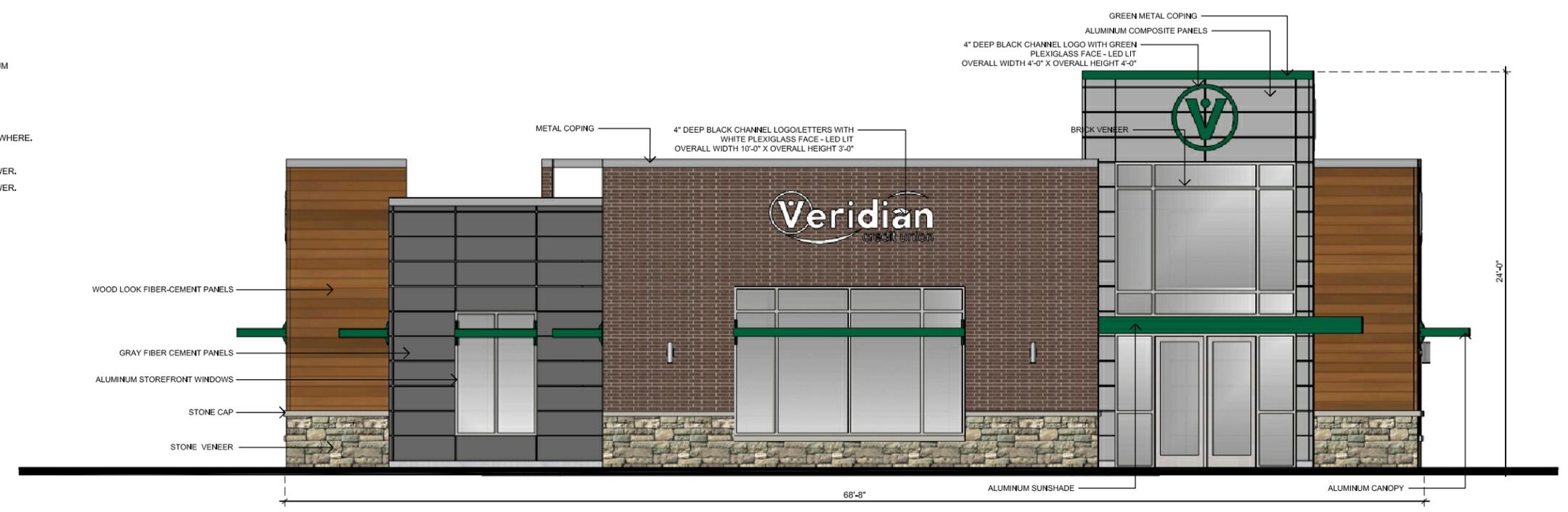
20109
 06.02.2022



1 SOUTH ELEVATION
1/8" = 1'-0"

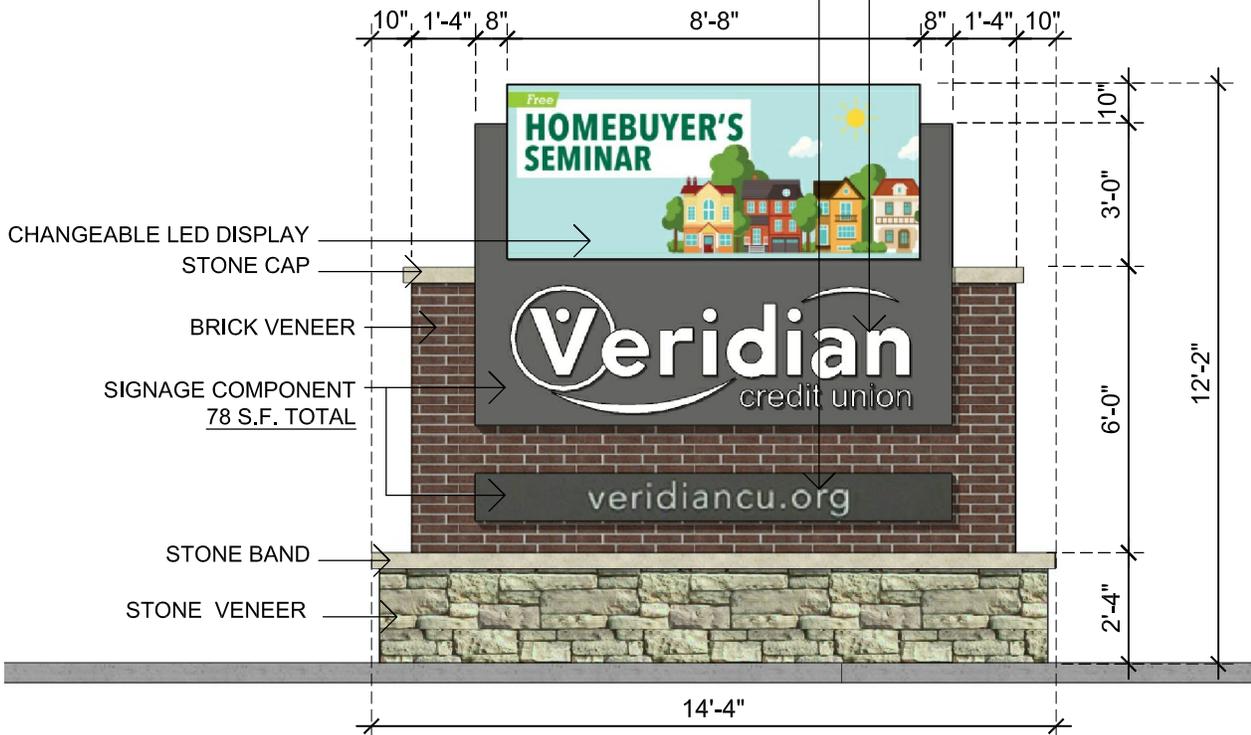
EXTERIOR FINISH SELECTIONS:

- STONE VENEER: ANAMOSA LIMESTONE
ROCKFACE - RANDOM BROKEN COURSED ASHLAR
- STONE BANDS/ SILLS: CUT STONE TO MATCH VENEER - SMOOTH FINISH
(CAST STONE TO MATCH VENEER AS ALTERNATE BID)
- BRICK VENEER: UNITED BRICK & TILE - SMOKED TUDOR 12" UTILITY
- GRAY FIBER CEMENT PANELS: NICHIIA - ILLUMINATION SERIES AWP3030
MATCH SHERWIN-WILLIAMS SW7075 WEB GRAY
- WOOD-LOOK FIBER CEMENT PANELS: NICHIIA - VINTAGE WOOD SERIES AWP3030 - CEDAR
- ALUMINUM COMPOSITE PANELS: METAL DESIGN SYSTEMS - CLEAR ANODIZED ALUMINUM
- WINDOW FRAMING / GLASS: KAWNEER - CLEAR ANODIZED ALUMINUM,
CLEAR, LOW-E INSULATED GLAZING.
- MEMBRANE ROOF : WHITE PVC OR TPO
- METAL COPING: GREEN AT ENTRANCE TOWER,
COLOR TO MATCH CLEAR ANODIZED ALUMINUM ELSEWHERE.
- SCUPPERS / COLLECTOR BOXES / DOWNSPOUTS: COLOR TO MATCH CLEAR ANODIZED ALUMINUM.
- ALUMINUM SUNSHADES: COLOR TO MATCH GREEN COPING AT ENTRANCE TOWER.
- ALUMINUM ENTRANCE CANOPY: COLOR TO MATCH GREEN COPING AT ENTRANCE TOWER.
- BOLLARDS / HOLLOW METAL DOOR AND FRAME: SHERWIN-WILLIAMS - SW7027 WELL-BRED BROWN.



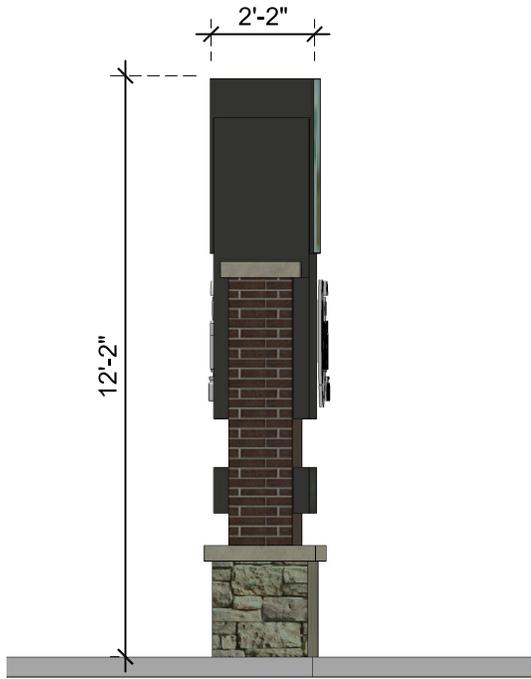
2 WEST ELEVATION
1/8" = 1'-0"

ALUMINUM CABINET WITH SEAMLESS ALUMINUM FACE
 LOGO 4" DEEP BLACK ALUMINUM WITH WHITE PLEXIGLASS FACE
 LED LIT
 TEXT: 3/8" THICK ALUMINUM
 ON ALUMINUM CABINET - UNLIT



MONUMENT SIGN FACE

1/4"=1'-0"



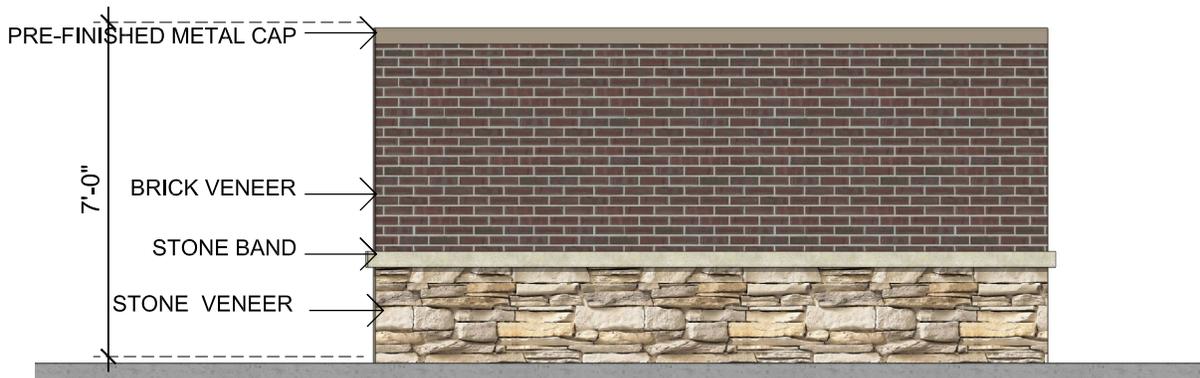
MONUMENT SIGN ENDS

1/4"=1'-0"



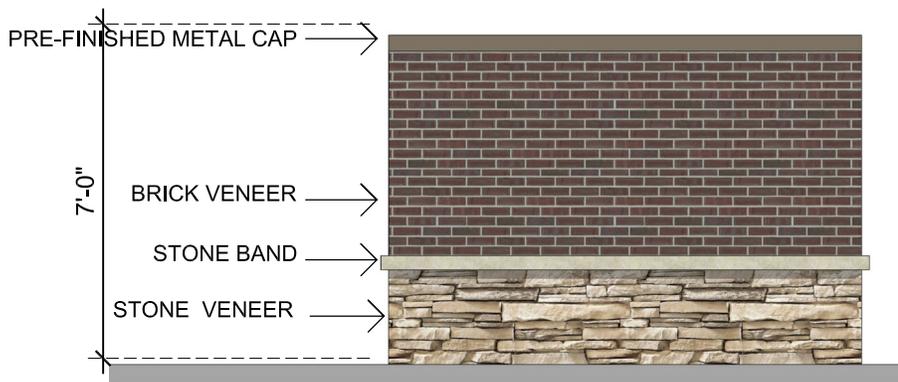
DUMPSTER ENCLOSURE - FRONT

1/4"=1'-0"



DUMPSTER ENCLOSURE - BACK

1/4"=1'-0"



DUMPSTER ENCLOSURE - SIDES

1/4"=1'-0"



1 PERSPECTIVE FROM NW
NO SCALE

Veridian Credit Union
New Branch



1 PERSPECTIVE FROM SW
NO SCALE



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
 220 Clay Street
 Cedar Falls, Iowa 50613
 Phone: 319-273-8606
 Fax: 319-273-8610
 www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning & Zoning Commission
FROM: Thom Weintraut, AICP, Planner III
 Matthew Tolan, EI, Civil Engineer II
DATE: July 7, 2022
SUBJECT: Western Home Community Tenth Addition preliminary and final plat.

REQUEST: Request to approve the preliminary and final plat for Western Home Communities Tenth Addition, Cases #PP22-001 and #FP22-002

PETITIONER: Western Home Independent Living Services, Inc., owner; Western Home Communities, developer; Wayne Claassen Engineering and Surveying, Inc., Engineer

LOCATION: The property is located on the north and south side of Wild Rye Way between Prairie Parkway and Bluebell Road.

PROPOSAL

The petitioner has submitted a preliminary and final plat application concurrently to replat Lots 16 and 21 thru 31 of Pinnacle Prairie Business Center North and a remnant parcel, Parcel 'D,' into two lots for the expansion of the Western Home Communities. The property is located on the north and south side of Wild Rye Way between Prairie Parkway and Bluebell Road. Lot 1 on the south side of Wild Rye Way will contain nine (9) duplex units and Lot 2 on the north side will have ten (10) duplex units. The lots will have individual driveway access from Bluebell

Road and Wild Rye Way in addition to an access easement from Wild Rye Way serving four (4) of the duplex units at the southeast corner of Lot 1. The MercyOne Bluebell Clinic is located west of the site, Dr. Shawn Reese Periodontics to the north, Cedar Valley OrthoAgility Center and the Parkway Family Dentistry office to the east, and the Western Homes Communities to the south.



BACKGROUND

The property is part of the Pinnacle Prairie Master Plan development which was initially approved by the City in 2004 with amendments made in 2015, 2021 and most recent amendment in June of 2022 to allow the expansion of the Western Home Communities. This area of the Master Plan was amended from Multi-Family and Mixed Use to Western Home; however, because the underlying zoning is MU: Mixed Use, no zoning changes were necessary to allow this type of development. With the most recent amendment, Western Homes submitted a concept plan with the layout of the residential buildings as part of the review process for the Master Plan amendment and since the public infrastructure is already in place the concept plan was recommended for approval as a site plan at that time.

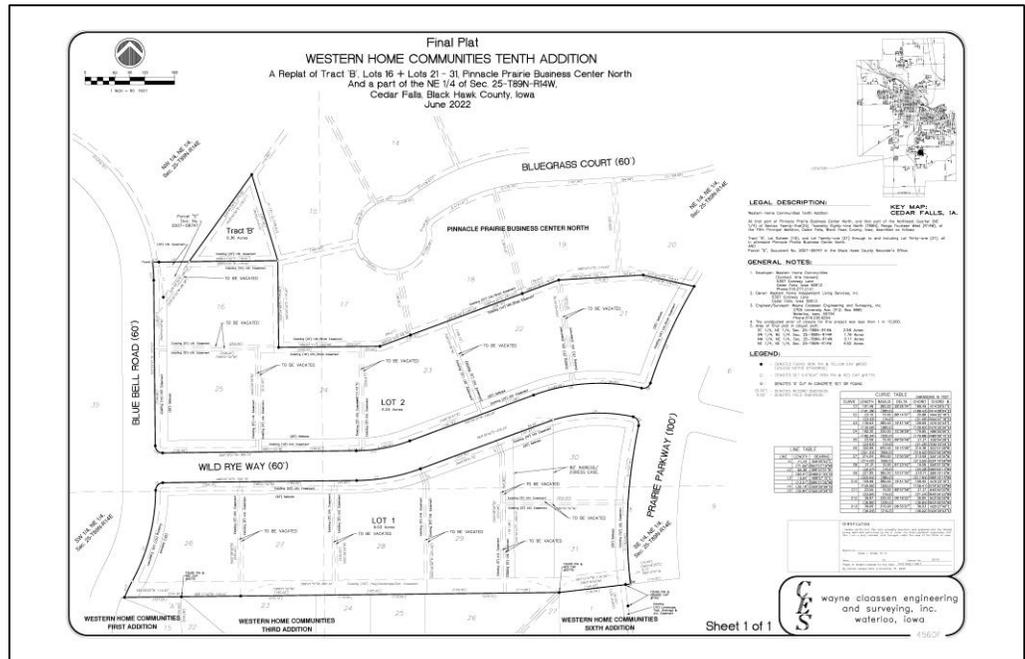


The preliminary and final plats are the final two steps in the process for the construction of the duplexes, which will be managed by Western Home Communities in a similar manner as their previous additions.

A storm water plan was created for the final plat of Pinnacle Prairie Business Center North and storm sewers constructed accordingly. An updated stormwater management plan has been submitted for the proposed residential development.

ANALYSIS

The petitioner, Western Home Communities, proposes a preliminary and final plat for Western Home Communities Tenth Addition; a Replat of Tract "B", Lots 16, + 21 – 31 Pinnacle Prairie Business Center North. The total acreage for the two lots is 12.09 acres. Again, the site is located on the north and south side of Wild Rye Way between Bluebell Road and Prairie Parkway. The property is zoned Mixed Use (MU). The proposed plat is consistent with the approved Pinnacle Prairie MU District Master Plan, recently amended.



The public improvements, including streets, water and sewer mains, storm sewers, and a segment of the Pinnacle Prairie Trail, were constructed with the previous subdivision, Pinnacle Prairie Business Center North, which was approved in May 2015. The only remaining public infrastructure to be installed is the public sidewalks, which will be constructed at the time the dwelling units are built. The Deed of Dedication notes that a private association will be established to maintain the private drive, stormwater detention facilities, greenspace and common shared property.

With regard to stormwater management for the new residential development, stormwater will be directed to a series of private detention basins that will drain into the existing storm sewers constructed previously. As is typical, a maintenance and repair agreement between the developer and the City will be required at the time City Council approves the final plat.

The front setbacks are provided on the plat and all structures will be 25 feet from the right-of-way. The side and rear yard setbacks will be determined by the width of the drainage and utility easements, which will need to be illustrated on the plat. Staff is currently working with the applicant to identify the proper locations for the drainage easements.

The staff is also working with the applicant to amend the Deed of Dedication to follow the final edits of the preliminary plat and final plat. The applicant has supplied the following required documents for a final plat including the Surveyor Certificate, Black Hawk County Auditor approval of the subdivision name, and the final plat. The property owner does not have a mortgage on the property; therefore a statement from a lienholder is not required. An Attorney's Title Opinion has not yet been submitted, but will be required before the plats can be approved by City Council.

The City Code states that the final plat must be in substantial conformance with the preliminary plat. The proposed final plat is conforming to the preliminary plat; however, revisions will be necessary to address outstanding comments associated with the most recent staff review on July 7, 2022.

TECHNICAL COMMENTS

City technical staff, including Cedar Falls Utilities (CFU) personnel, has noted the following:

Stormwater drainage easements will be needed in the areas along the west, south and northeast portions of Lot 1 and along the north side of Lot 2 to delineate the areas on the property reserved for stormwater drainage. Staff is working with the applicant to make the necessary changes to the Deed of Dedication to reflect maintenance of all private utilities and stormwater maintenance. In addition, a number of minor corrections are needed for clarity and legibility.

CFU states that the water, gas, and communication services are available to the site. There are existing 8" water services stubbed into the existing lots, which if not reused, shall be abandoned at the water main according to the water service policy. The developer is responsible for the construction of an additional water main and fire hydrant and services for the proposed villa sites on original Lot 31 and the south half of original Lot 29. Private sanitary sewer lines will be constructed to serve each duplex and extended along the private drive that serves the duplexes in the southeast corner of the subdivision.

STAFF RECOMMENDATION

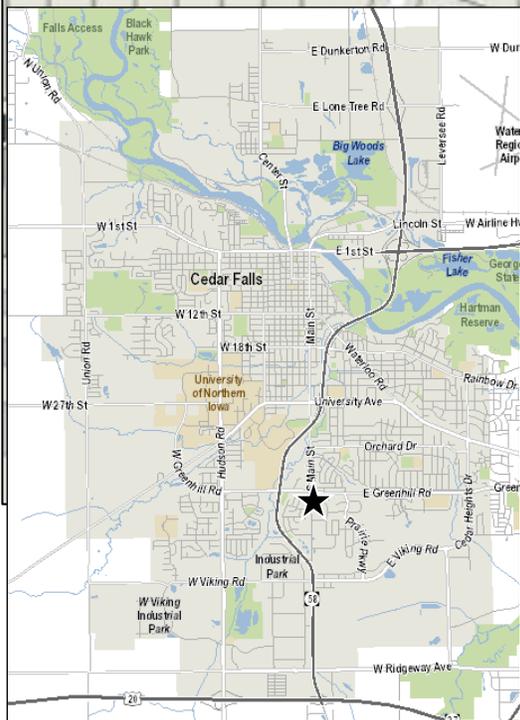
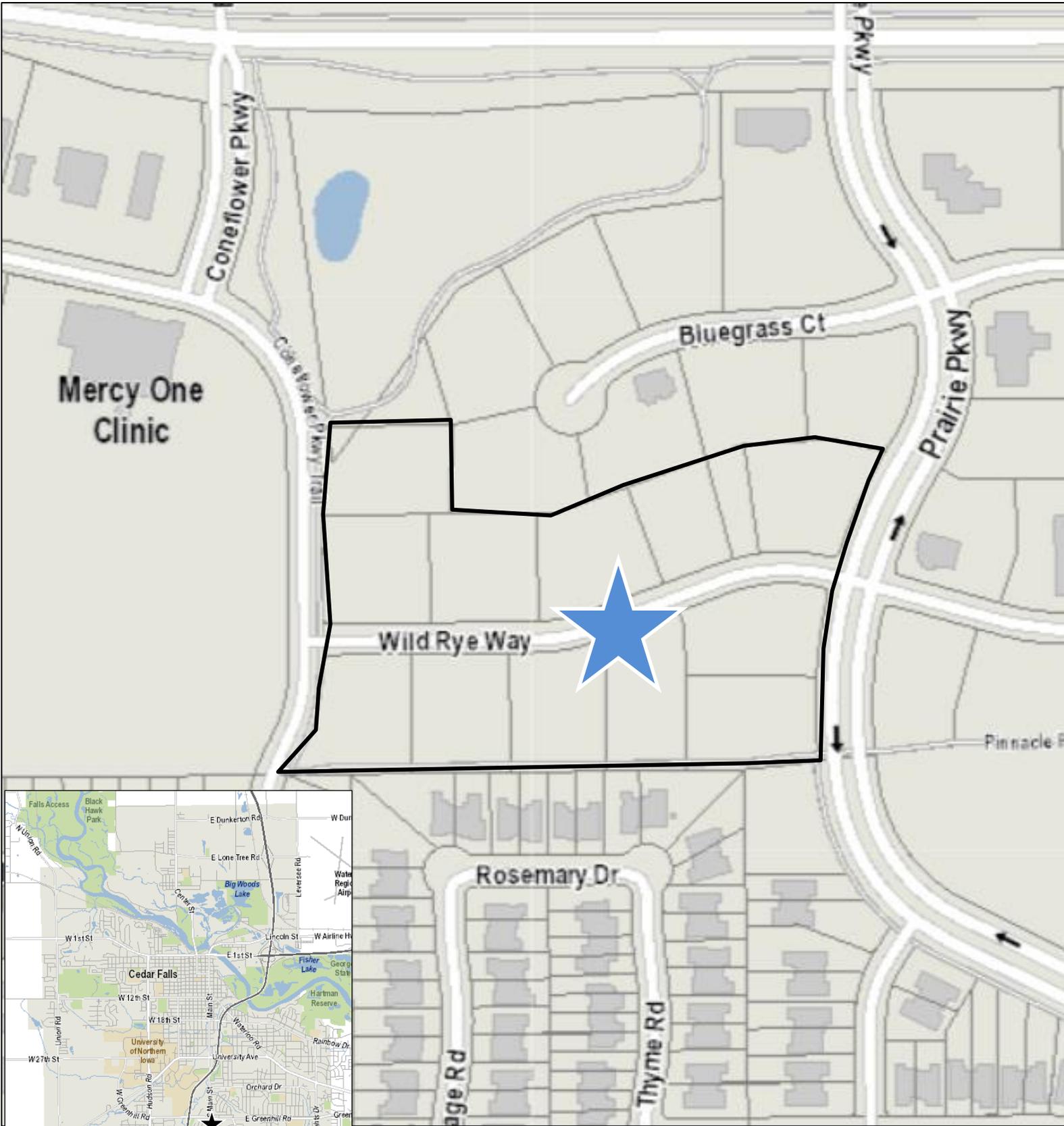
Gather any comments from the Planning and Zoning Commission and public then continue the discussion at the next Planning and Zoning Commission meeting on July 27, 2022 with the following conditions.

- 1) Any comments or direction specified by the Planning & Zoning Commission.
- 2) Conform to all city staff recommendations and technical requirements.

PLANNING AND ZONING

Discussion
7/13/2022

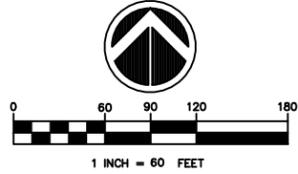
Attachments: Location map
 Preliminary Plat
 Final Plat
 Deed of Dedication 1st Revision



Preliminary and Final Plat for Western Home Communities 10th Addition



2021 Aerial Image

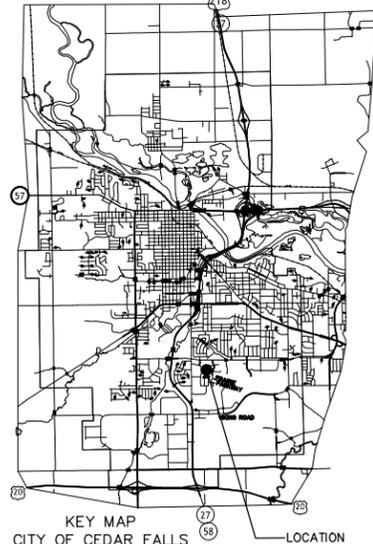


Preliminary Plat WESTERN HOME COMMUNITIES TENTH ADDITION

A Replat of Tract 'B', Lots 16 + Lots 21 - 31, Pinnacle Prairie Business Center North
And a part of the NE 1/4 of Sec. 25-T89N-R14W,
Cedar Falls, Black Hawk County, Iowa
June 2022

BENCHMARK:
1. 'X' CUT ON FLANGE BOLT OF FIRE HYDRANT LOCATED AT SW INTERSECTION OF WILD RYE WAY AND PRAIRIE PARKWAY. ELEVATION = 951.89

- LEGEND:**
- 0.00' - DENOTES RECORD DIMENSION
 - S - DENOTES EXISTING SUBRAIN
 - ST - DENOTES EXISTING STORM SEWER LINE
 - SA - DENOTES EXISTING SANITARY SEWER LINE
 - WAT - DENOTES EXISTING WATER LINE
 - ⊙ - DENOTES EXISTING SAN. SEWER MANHOLE
 - ☆ - DENOTES LIGHT POLE
 - ⊠ - DENOTES ELECTRIC BOX
 - ⊡ - DENOTES TELEVISION BOX
 - ⊞ - DENOTES TELEPHONE BOX
 - ⊞ - DENOTES FIRE HYDRANT
 - ⊞ - DENOTES WATER VALVE
 - - DENOTES EXISTING CONTOUR LINE
 - - DENOTES PROPOSED CONTOUR LINE
 - 24 - DENOTES EXISTING LOT NUMBER
 - LOT 2 - DENOTES PROPOSED LOT NUMBER



LEGAL DESCRIPTION:
Western Home Communities Tenth Addition
All that part of Pinnacle Prairie Business Center North, and that part of the Northeast Quarter (NE 1/4) of Section Twenty-five(25), Township Eighty-nine North (T89N), Range Fourteen West (R14W), of the Fifth Principal Meridian, Cedar Falls, Black Hawk County, Iowa, described as follows:
Tract 'B', Lot Sixteen (16), and Lot Twenty-one (21) through to and including Lot Thirty-one (31), all in aforesaid Pinnacle Prairie Business Center North.
Parcel 'D', Document No. 2007-08747 in the Black Hawk County Recorder's Office.

- GENERAL NOTES:**
- Developer: Western Home Communities (Contact: Kris Hansen) 5307 Caraway Lane Cedar Falls, Iowa 50613 Phone: 319.277.2141
 - Owner: Western Home Independent Living Services, Inc. 5307 Caraway Lane Cedar Falls, Iowa 50613
 - Engineer/Surveyor: Wayne Claassen Engineering and Surveying, Inc. 2705 University Ave. (P.O. Box 898) Waterloo, Iowa, 50704 Phone: 319.235.6294
 - The unadjusted error of closure for this project was less than 1 in 10,000.
 - Electrical service is by Cedar Falls Utilities.
 - Gas service is by Cedar Falls Utilities.
 - Cable television service is by Cedar Falls Utilities AND Mediacom.
 - Telephone service is by Qwest.
 - Existing Zoning: MU Mixed Use Residential
 - Flood information of subject property: This Preliminary Plat is located Zone X which is areas determined to be outside the 0.2% annual chance floodplain. Firm Flood Insurance Rate Map Community-Panel number 1901302277, effective date July 18, 2011.
 - No wetlands are present on this property.
 - Sanitary sewer main, water main, and street paving are existing and will be used as constructed.
 - Existing sanitary sewer service and water service may be revised. Proposed revisions to be submitted to Cedar Falls Engineering Department with Site Construction Plans.
 - Some storm sewer structures, fire hydrants, street lighting, electrical and communications equipment may be revised. Proposed revisions to be submitted to Cedar Falls Engineering Department with Site Construction Plans and CFU as applicable.
 - Lot 16, and Lots 21 - 31 will be vacated by this Subdivision Plat. Tract 'B' will not be a part of Lot 02.
 - Minimum low opening elevations of each lot will be shown on construction plans.
 - Storm water management plan will be submitted with construction plans.
 - Existing easements between existing lot lines will be vacated.
 - There are no environmental features that require maintaining/mitigating within this plat. The area to be disturbed exceeds 1 acre. A NPDES permit will be obtained prior to construction.
 - Proposed topographic slopes are 0% - 10% and suitable for proposed development.
 - The area will be seeded, sodded and landscaped to protect disturbed areas.
 - There are no environmental issues.
 - Part of the recreational bike trail lies upon Tract 'B'.

LIST OF OWNERS LOCATED WITHIN 200 FEET OF PROPERTY

| | |
|---|--|
| 1 | COVENANT MEDICAL CENTER INC.
345 W 10th STREET
WATERLOO, IOWA 50702 |
| 2 | CITY OF CEDAR FALLS
200 CLAY STREET
CEDAR FALLS, IOWA 50613 |
| 3 | WESTERN HOME INDEPENDENT LIVING SERVICE INC.
5307 CARAWAY LANE (ATTN: KELLY WEBER CFO)
CEDAR FALLS, IOWA 50613 |
| 4 | REESE FAMILY PROPERTIES, LLC
1128 LAKE RIDGE DRIVE
CEDAR FALLS, IOWA 50613 |
| 5 | JAB BLASTS LLC
4812 PRAIRIE PARKWAY
CEDAR FALLS, IOWA 50613 |
| 6 | C AND T PROPERTIES LLC
2229 GREENWOOD AVE.
CEDAR FALLS, IOWA 50613 |
| 7 | GREENHILL ESTATES (ATTN: JESSICA SUR)
2957 79th STREET
AURORA, IL 60504-7914 |

LOT AREAS:

| LOT NO. | AREA |
|--------------|--------------------|
| 1 | 6.03 Acres |
| 2 | 6.08 Acres |
| Tract "B" | 0.36 Acres |
| TOTAL | 12.45 Acres |

CERTIFICATION
I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.

Signature: David L. Schell, P.L.S.
Date: _____ License No. 18775
Pages or Sheets Covered by this Seal: This Sheet Only.
My license renewal date is December 31, 2022.

Item 3.

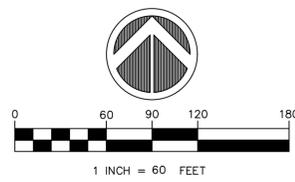
Wayne Claassen Engineering and Surveying, Inc.
2705 University Avenue • P.O. Box 898 • Waterloo, Iowa 50704
Phone: (319) 235-6294 Fax: (319) 235-0028

CF S

Preliminary Plat
WESTERN HOME COMMUNITIES TENTH ADDITION
A Replat of Tract 'B', Lots 16 + Lots 21 - 31, Pinnacle Prairie Business Center North
And a part of the NE 1/4 of Sec. 25-T89N-R14W,
Cedar Falls, Black Hawk County, Iowa
April 2022

sheet
1 of 1
4560P

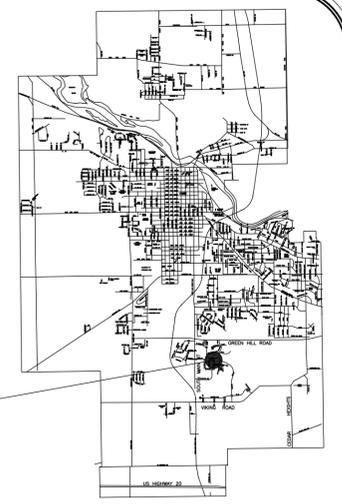
36



Final Plat

WESTERN HOME COMMUNITIES TENTH ADDITION

A Replat of Tract 'B', Lots 16 + Lots 21 - 31, Pinnacle Prairie Business Center North
And a part of the NE 1/4 of Sec. 25-T89N-R14W,
Cedar Falls, Black Hawk County, Iowa
June 2022



LEGAL DESCRIPTION:

Western Home Communities Tenth Addition
5307 Caraway Lane
Cedar Falls, Iowa 50613
Phone: 319.277.2141

KEY MAP:
CEDAR FALLS, IA.

All that part of Pinnacle Prairie Business Center North, and that part of the Northeast Quarter (NE 1/4) of Section Twenty-five(25), Township Eighty-nine North (T89N), Range Fourteen West (R14W), of the Fifth Principal Meridian, Cedar Falls, Black Hawk County, Iowa, described as follows:

Tract 'B', Lot Sixteen (16), and Lot Twenty-one (21) through to and including Lot Thirty-one (31), all in aforesaid Pinnacle Prairie Business Center North.
AND
Parcel "D", Document No. 2007-08747 in the Black Hawk County Recorder's Office.

GENERAL NOTES:

- Developer: Western Home Communities (Contact: Kris Hansen) 5307 Caraway Lane Cedar Falls, Iowa 50613 Phone: 319.277.2141
 - Owner: Western Home Independent Living Services, Inc. 5307 Caraway Lane Cedar Falls, Iowa 50613
 - Engineer/Surveyor: Wayne Classen Engineering and Surveying, Inc. 2705 University Ave. (P.O. Box 898) Waterloo, Iowa, 50704 Phone: 319.235.6294
 - The unadjusted error of closure for this project was less than 1 in 10,000.
5. Area of final plat in aliquot part:
- | | |
|-----------------------------------|------------|
| SE 1/4, NE 1/4, Sec. 25-T89N-R14W | 2.96 Acres |
| SW 1/4, NE 1/4, Sec. 25-T89N-R14W | 1.76 Acres |
| NW 1/4, NE 1/4, Sec. 25-T89N-R14W | 3.11 Acres |
| NE 1/4, NE 1/4, Sec. 25-T89N-R14W | 4.62 Acres |

LEGEND:

- - DENOTES FOUND IRON PIN & YELLOW CAP #8505 (UNLESS NOTED OTHERWISE)
- - DENOTES SET 0.5"x24" IRON PIN & RED CAP #16775
- ⊗ - DENOTES 'X' CUT IN CONCRETE SET OR FOUND
- (0.00') - DENOTES RECORD DIMENSION
- 0.00' - DENOTES FIELD DIMENSION

| CURVE TABLE | | | | |
|-------------|--------|--------|-----------|--------|
| CURVE | LENGTH | RADIUS | DELTA | CHORD |
| C1 | 191.46 | 385.00 | 28°29'34" | 189.49 |
| C2 | 23.10 | 15.00 | 88°14'07" | 20.88 |
| C3 | 130.63 | 380.00 | 19°41'46" | 129.99 |
| C4 | 182.30 | 320.00 | 32°38'28" | 179.85 |
| C5 | 23.56 | 15.00 | 89°59'48" | 21.21 |
| C6 | 320.89 | 955.00 | 19°15'06" | 319.38 |
| C7 | 214.04 | 955.00 | 12°50'29" | 213.59 |
| C8 | 71.31 | 15.00 | 81°23'42" | 19.56 |
| C9 | 221.85 | 380.00 | 33°27'00" | 218.71 |
| C10 | 109.99 | 380.00 | 19°41'40" | 109.45 |
| C11 | 23.55 | 15.00 | 89°57'58" | 21.21 |
| C12 | 36.87 | 335.00 | 06°18'22" | 36.85 |
| C13 | 36.05 | 315.00 | 06°33'27" | 36.03 |

| LINE TABLE | | |
|------------|--------|---------------|
| LINE | LENGTH | BEARING |
| L1 | 71.73' | S06°55'02"E |
| L2 | 60.38' | S89°23'01"W |
| L3 | 13.04' | N88°57'15"E |
| L4 | 32.19' | (S89°21'02"W) |
| L5 | 32.84' | (S20°20'09"E) |



CERTIFICATION
I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.

Signature: David L. Schell, P.L.S.
Date: _____, 20____ License No. _____ 16775
Pages or Sheets Covered by this Set: THIS SHEET ONLY.
My license renewal date is December 31, 2022

wayne classen engineering and surveying, inc.
waterloo, iowa

Sheet 1 of 1

Preparer: Mark F. Conway c/o Swisher & Cohrt, PLC, (319) 232-6555
 Phone P.O. Box 1200, 528 W. 4th St., Waterloo, IA 50704 (319) 232-4835
 Fax
 Return to: Preparer

DEED OF DEDICATION

**WESTERN HOME COMMUNITIES TENTH
 ADDITION CEDAR FALLS, IOWA**

KNOW ALL PERSONS BY THESE PRESENTS:

That the undersigned, Western Home Services, Inc., and Western Home Independent Living Services, Inc., Iowa nonprofit corporations, being desirous of laying out and platting into lots and tracts the real estate described in the Certificate of Survey prepared by David L. Scheil, a Registered Land Surveyor, dated the 9th day of March 2022, attached as Exhibit "A" do by these presents, designate and set apart the real estate described in the plat showing location and numbers and letters of lots and names and locations of streets as a subdivision of the City of Cedar Falls, in Black Hawk County, Iowa, the same to be known hereafter and called Western Home Communities Tenth Addition, Cedar Falls, Iowa, all of which is with the free consent and desire of the undersigned. The owners do hereby grant and convey to the City of Cedar Falls, its successors and assigns and to any private corporation, firm or person furnishing utilities for the transmission and/or distribution of water, sanitary sewer, gas, electricity, communication service or cable television, perpetual easements for the erection, laying, building and maintenance of such services over, across, on and/or under the property as shown on the attached plat.

BACKGROUND

1. Western Home Services, Inc., and Western Home Independent Living Services, Inc., Iowa nonprofit corporations (the "Platted Property Owners"), are the owners of that certain real property previously described as Tract 'B', Lot Sixteen (16), and Lot Twenty-one (21) through to and including Lot Thirty-one (31) of Pinnacle Prairie Business Center North, Cedar Falls, Black Hawk County, Iowa.

2. On or about the date hereof, the Platted Property Owners submitted for recording a Final Subdivision Plat for Western Home Communities Tenth Addition, a resubdivision of Tract 'B',

Lot Sixteen (16), and Lot Twenty-one (21) through to and including Lot Thirty-one (31) of Pinnacle Prairie Business Center North.

3. All provisions, obligations, and responsibilities under the “Deed of Dedication of Pinnacle Prairie Business Center North,” and associated Maintenance and Repair Agreement (Black Hawk County File # 2018-00011427) shall be recognized as reaffirmed and continuing and shall not be considered amended or rescinded by this DEED OF DEDICATION, unless specifically stated herein.

DECLARATION OF EASEMENTS

The Owners hereby grant and convey to the City of Cedar Falls, Iowa, its successors and assigns, and to any private corporation, firm or person furnishing utilities for the transmission and/or distribution of water, sewer, gas, electricity, communication service, or cable television, perpetual non-exclusive easements for the construction, laying, building, and maintenance of said services, including underground facilities and related surface mounted equipment such as meter boxes, junctions and cabinets, for said services, over, under, across, and upon the property in the locations identified as utility easements on the attached Plat, Exhibit “B”.

ADJACENT SUBDIVISIONS AND UNPLATTED PARCELS

The Western Home Communities Tenth Addition is bordered on the south by Western Home Communities First, Third and Sixth Additions; on the west by land owned by the City of Cedar Falls and also by Covenant Medical Center, Inc.; on the north by land owned the City of Cedar Falls and also by MBAK, LLC (dba Kimball & Beecher Dentistry); on the east by MidWestOne Bank, JBA Blasts, LLC (medical offices) and C and T Properties, LLC (Orthodontics Office). Prairie Parkway acts as the east border of the Tenth Addition and separates aforementioned business properties from the Tenth Addition. The west border is known as Blue Bell Lane. The North border is Greenhill Road (on the north side of the properties owned by the City of Cedar Falls and MBAK, LLC). Wild Rye Way provides east-west public street access between Prairie Parkway and Blue Bell Lane.

COVENANTS AND RESTRICTIONS

The undersigned Platted Property Owners do also covenant and agree for themselves, and their successors and assigns, that each and all of the lots in the subdivision shall be, and the same are hereby made subject to the following restrictions upon their use and occupancy as fully and effectively to all intents and purposes as if the same were set forth and contained in each deed of conveyance or mortgage that the undersigned or its successors in interest may hereafter make for any of the lots, and that such restrictions shall run with the land and with each individual lot thereof for the length of time and in the particulars hereinafter stated, to-wit:

1. All lots and tracts shall be known as and available for such uses as may be permitted under

the zoning regulations of the City of Cedar Falls, in effect at that time, as may be amended from time to time, except as otherwise restricted in this Deed of Dedication.

2. Each portion of the property shall be made subject to the covenants, restrictions, easements, obligations, and other provisions of that certain Charter for Pinnacle Prairie Commercial Properties recorded prior to the conveyance of the property (such Charter, as it may be amended from time to time in accordance with its terms, is referred to herein as the "Charter"). The Charter shall be binding upon the owners, lessees, and occupants of each portion of the property made subject to the Charter and any other person or entity holding any interest in such property, as well as their respective guests and invitees. The record owner of each lot or condominium unit within the property subject to the Charter shall, upon acquisition of title to such lot or unit, automatically become a member of a mandatory membership owners association as identified in the Charter (the "Association") and shall remain a member as long as he or she holds title to such property. Membership in the Association shall be appurtenant to and may not be separated from ownership of such lot or condominium unit. The Association shall be organized to perform such obligations and exercise such powers as are assigned and granted to it in the Charter and its articles of incorporation and bylaws, which may include, without limitation, administering and enforcing the Charter, the design guidelines adopted pursuant thereto, and such reasonable rules as the Association may adopt consistent with the Charter, and maintenance of common areas and other property as authorized in the Charter and supplements thereto. Each record owner shall have such voting rights in the Association and such liability for a share of the common expenses of the Association as described in the Charter and the by-laws of the Association. The financial obligations of each record owner to the Association shall be a personal obligation of such owner and shall be secured by a lien in favor of the Association against the owner's property under the Charter.
3. Development of this property will be in accordance with Design Guidelines for Pinnacle Prairie which have been established by the owner and developer. These Guidelines shall further govern the development, construction and usage of the lots and tracts in this subdivision, including, but not limited to design, material, signage, landscaping, plantings, parking, lighting and buildings. Said Guidelines may be amended or altered by the Design Committee as the Committee deems necessary.
4. A Design Committee shall be established to maintain the standards established in the Pinnacle Prairie Design Guidelines, The Committee shall provide information and assistance to purchasers of lots in the Design Review Process established by the Committee. Approval of the Committee shall be required as to all construction including but not limited to design, materials, signage, landscaping, plantings, parking, lighting, and buildings. Design requirements shall be a condition prerequisite to construction and these requirements, once established, shall continue to be binding on purchasers of lots in this subdivision, their transferees, successors, grantees, heirs and assigns.
5. If any parties or their transferees, successors, grantees, heirs or assigns shall violate or attempt to violate any of the restrictions, covenants or requirements herein, it shall be lawful for any person, party or entity owning property in this subdivision to prosecute any proceedings at law or in equity against any party or parties violating or attempting to violate any such covenants, restrictions, or requirement for the purpose of preventing such acts, or to recover damages for such violations, or both, and for costs and reasonable

attorney fees to be determined by the Court and not by statute.

6. Structures are restricted to those allowed in Mixed Use Residential Zoning Districts and as may be permitted under the applicable zoning regulations of the City of Cedar Falls, as may be amended from time to time, and also as otherwise restricted in this Deed of Dedication.
7. All buildings to be erected on any lot shall be constructed within building lines as indicated on the plat, and within City of Cedar Falls building and zoning ordinances.
8. No trailer, basement, tent, shack, garage, barn or other outbuilding in the tract shall not at any time be used as a residence temporarily or permanently nor shall any residence of a temporary character be permitted.
9. The titleholder of each lot and tract, vacant or improved, shall keep the same free of weeds and debris.
10. No obnoxious or offensive trade shall be carried on upon any lot or tract, nor shall anything be done thereon which may be or become an annoyance or nuisance to the neighborhood.
11. All subsequent owners of lots in the subdivision shall be obligated to meet any requirements imposed by the Commissioners of the Black Hawk County Conservation District or any other governmental agency, by the authority of Chapter 467A, Code of Iowa, as amended, pertaining to soil erosion control plans for certain land disturbing activities. This covenant shall be perpetual and shall run with the land.
12. No grading or other construction shall be performed on any lot in the subdivision that blocks the flow of surface drainage water.
13. Mailboxes shall be clustered in a common neighborhood monument-type mailboxes arrangement as required by the United States Postal Department.
14. Any and all drainage easements shall be required to follow the "Stormwater Management Plan" on record with the City of Cedar Falls Engineer's Office. No building structures, fence structures, landscaping structures, private gardens or any other possible obstruction shall be built in and over such drainage easements. All lot owners and/or contractors working on such lots will be responsible to maintain such easements and keep the same free and clear of any physical obstruction(s) thus allowing the conveyance of overland storm water runoff as intended per the City's Stormwater Management Plan.
15. The Developer shall perform the construction duties necessary to establish the common area, green spaces, entrance, detention pond(s) and surrounding access areas. The Developer shall initially maintain the common area, green spaces, entrance detention pond(s) and surrounding access of the development (whether located in such subdivision or serving such subdivision but located outside thereof). Such ownership and maintenance shall include, without limitation, common neighborhood monument-type mailboxes, mowing, watering, including upkeep of any underground sprinkler systems, snow removal of common areas, maintenance of any detention pond(s) and/or water retention/detention area(s), and comply with all water quality issues set forth by the City of Cedar Falls in the Maintenance and Repair Agreement for the Western Home Communities Tenth Addition.
16. The subdivision is located in the Business Center North Service Area of the Charter for Pinnacle Prairie Commercial Properties as shown on Exhibit "C". Responsibility for

maintenance costs within this service area has been previously acknowledged by the City in its approval of the Western Home Communities Sixth-Ninth Additions. Responsibility for maintaining drainage and detention basins within this service area is detailed on Exhibit "D", the same also previously acknowledged by the City in its approval of the Western Home Communities Sixth-Ninth Additions.

17. No dwelling or building on any lot in the subdivision shall be occupied until the exterior is completed and finished, the interior is substantially completed and finished, and the City of Cedar Falls, Iowa, issues an occupancy permit. All construction and landscaping shall be completed within 12 months of issuance of building permits by the City of Cedar Falls.
18. No old or used buildings shall be moved upon any of the lots in the subdivision for any purpose and all buildings on any lot in the subdivision shall be kept in a reasonable state of repair and upkeep,
19. Inoperable cars, trucks, or other vehicles or equipment shall not be parked or stored on any street or driveway in the subdivision or kept upon any lot unless the same are entirely enclosed in a permanent structure.
20. Commercial and recreational equipment and vehicles of any type, whether camping, boat, utility, trailers of any type, snowmobile, tractors of any type, or otherwise, shall not be parked on driveways in the subdivision or kept upon any residentially zoned lot unless the same be entirely enclosed in a permanent structure, or unless said vehicle as hereinabove described is owned by a guest or invitee of the owner of said lot, in which case, such exception shall not continue for more than thirty (30) days.
21. No bus, semi-tractor, trailer, or truck of any kind, except what is commonly described as a "pickup truck", shall be kept or parked on any residential lot or street in the subdivision, provided, however, that this prohibition shall not apply to such vehicles driven in the subdivision in pursuit of and conducting their usual business.
22. No concrete block, hollow tile construction, modular or pre-built home, earth home, or geodesic dome building is to be erected on any lot in the residentially zoned area.
23. No trees or shrubs shall be planted by any lot owner within the street right-of-way.
24. Any footing drain tiles, roof-leaders, and sump pump systems installed in conjunction with the construction of a residence shall be expelled into the front, rear, or side yard or longitudinal sub-drains in the street, and shall not be expelled into any sanitary sewer system or directly onto the street.
25. No radio station or short-wave operators shall construct reception or transmission towers on a lot, nor operate or conduct transmissions from any lot, which shall cause interference to audio or video reception upon any other lot. A satellite dish may be attached to a dwelling on any lot, provided that it shall be attached to the rear of any dwelling and no closer to the side lot lines than such dwelling.
26. No horses, poultry, rabbits or livestock of any variety shall be kept or raised, nor shall any outdoor kennels housing more than two dogs be maintained on any lot in the subdivision.
27. All of the provisions hereof shall be enforceable by appropriate legal proceedings by any present or future owner of the legal or equitable title to any lot in said subdivision.

Invalidation of any one or more of the within restrictions by judgment or decree of court shall not be regarded as affecting the validity of any of the other provisions hereof, nor shall any judicial determination with respect to any of the restrictive provisions hereof be regarded as affecting the validity or sufficiency of this instrument as a deed of dedication of said plat.

28. The undersigned and all persons and corporations hereafter acquiring any right, title, or interest in any of the lots in said subdivision shall be taken and held to have agreed and covenanted with the owners of all other lots in this subdivision and with the respective successors and assigns of all of the rest of such other lots to conform to and observe all of the foregoing covenants, restrictions and stipulations as to the construction of building thereon for a period of 21 years from the date of filing of said plat, and this Deed of Dedication for record, unless by vote of a majority of the then owners of the lots, it is agreed to change the said covenants in full or in part. Within the period of 21 years and in accordance with Iowa Code Sections 614.24 and 614.25 or their successor provisions, these covenants, restrictions and stipulations may be extended for an additional 21 years upon compliance with Sections 614.24 and 614.25 of the Code of Iowa. In the event an extension of the covenants, restrictions and stipulations is not filed within the period of 21 years or successive 21-year periods, then the covenants, restrictions and stipulations contained herein shall terminate at the end of the existing period of 21 years.

DEDICATION AND CONSTRUCTION OF STREETS, SEWERS, UTILITIES AND OTHER IMPROVEMENTS

The undersigned agrees:

- A. That sanitary sewer, together with all necessary manholes and sewer service lines to all lots in the plat will be provided.
- B. That storm sewer will be provided as required by the City Engineer of the City of Cedar Falls.
- C. That utilities, as required by the Subdivision Ordinance of the City of Cedar Falls, Iowa, shall be installed.
- D. That City water and municipal fire hydrants will be provided as required by the City of Cedar Falls, Iowa.
- E. That the streets described on the attached Plat are hereby dedicated to the City of Cedar Falls, Iowa, and set apart for public use for street purposes.
- F. That the recreational trails described on the attached Plat are hereby dedicated to the City of Cedar Falls, Iowa, and set apart for public use for recreational purposes.
- G. That permanent easements will be provided for turn-arounds at the end of any streets described on the attached Plat, Exhibit "B".
- H. That off-site easements will be provided for storm sewers and sanitary sewers.
- I. That reciprocal easements will be provided on and across Lots 1-2 to permit access and parking over the driveways, accessways and parking lots on the west and east sides of each building.
- J. That a 4-foot wide portland cement concrete sidewalk, 4 inches thick, and a

concrete surface or hard surface entrance and parking area will be installed during or immediately after the construction of a building on any particular lot, and that the sidewalk will be constructed across the full width of the lot and on corner lots; also, across the parking and full length of the lot. The above notwithstanding, sidewalks and recreational trails shall be installed as buildings are constructed on all lots and tracts, or within 5 years from the date of the acceptance of the final plat, whichever comes first.

K. That ADA ramps will be provided as required by law.

L. That the work and improvements called for herein shall be in accordance with the construction plans and specifications approved by the City of Cedar Falls, Iowa, and performed under the supervision of the Engineer hired by the owners, with review of such Engineer's certified completion statement by the City Engineer. If the undersigned, its grantees and assigns fail to complete the work and improvements called for herein within one year from the date of the acceptance of said final plat by the City of Cedar Falls, Iowa, the City may then make the improvements and assess the costs of the same to the respective lots. The owners, for themselves, their successors, grantees and assigns, waive all statutory requirements of notice of time and place of hearing and waive statutory protections and limitations as to cost and assessments and agrees that the City may install said improvements and assess the total costs thereof against the lot.

M. That the City may perform the work, levy the cost thereof as assessments, and the undersigned agree that said assessments so levied shall be a lien on the respective lots with the same force and effect as though all legal provisions pertaining to the levy of such special assessments have been observed, and further authorize the City Clerk to certify such assessments to the County Auditor as assessments to be paid in installments as provided by law.

Executed this ____ day of _____ 2022.

WESTERN HOME SERVICES, INC.
INDEPENDENT

WESTERN HOME
LIVING SERVICES, INC.

By: _____

By: _____

Name: Kris W. Hansen
Title: Chief Executive Officer

Name: Kris W. Hansen
Title: Chief Executive Officer

STATE OF IOWA, COUNTY OF BLACK HAWK) ss:

On this _____ day of _____ 2022, before me, a Notary Public in and for the State of Iowa, personally appeared Kris W. Hansen, to me personally known who, being by me duly sworn, did say that he is the Chief Executive Officer of Western Home Services, Inc., and also Western Home Independent Living Services, Inc., the corporations executing the within and foregoing instrument; that no seal has been procured by either corporation; that this instrument was signed on behalf of each corporation by authority of its Board of Directors; and that Kris W. Hansen, as Chief Executive Officer, acknowledged the execution of this instrument to be the voluntary act and deed of the corporations, by them and by him voluntarily executed.

Notary Public in such County and State

|

Exhibit "A"

WAYNE CLAASSEN ENGINEERING AND SURVEYING, INC.
P. O. BOX 898 WATERLOO, IOWA 50704-0898

PHONE: (VOICE) 319-235-6294
(FAX) 319-235-0028

CERTIFICATE OF SURVEY

I, David L. Scheil, Licensed Land Surveyor, do hereby certify that I have made a survey of what is to be known as WESTERN HOME COMMUNITIES TENTH ADDITION, Cedar Falls, Black Hawk County, Iowa, which is located on and embraces the following described premises, to-wit:

DESCRIPTION

All that part of Pinnacle Prairie Business Center North, and that part of the Northeast Quarter (NE 1/4) of Section Twenty-five (25), Township Eighty-nine North (T89N), Range Fourteen West (R14W), of the Fifth Principal Meridian, Cedar Falls, Black Hawk County, Iowa, described as follows:

Tract 'B', Lot Sixteen (16), and Lot Twenty-one (21) through to and including Lot Thirty-one (31), all in aforesaid Pinnacle Prairie Business Center North.

AND

Parcel "D", Document No. 2007-08747 in the Black Hawk County Recorder's Office.

I further certify that the accompanying plat is a true representation of such survey and is made in accordance with my field notes thereof; that the location of streets, avenues and lots and their representative names, numbers, widths, courses and dimensions are to be as shown on the accompanying plat; that said survey and plat contain and show any excesses and/or deficiencies from former surveys, and that iron stakes are set at all lot corners by one year from this date.

WITNESS my hand and seal at Waterloo, Iowa, this _____ day of _____, 2022.

David L. Scheil
L.S. No. 16775
State of Iowa

Pages of sheets covered by this Seal 1

Exhibit 'B'

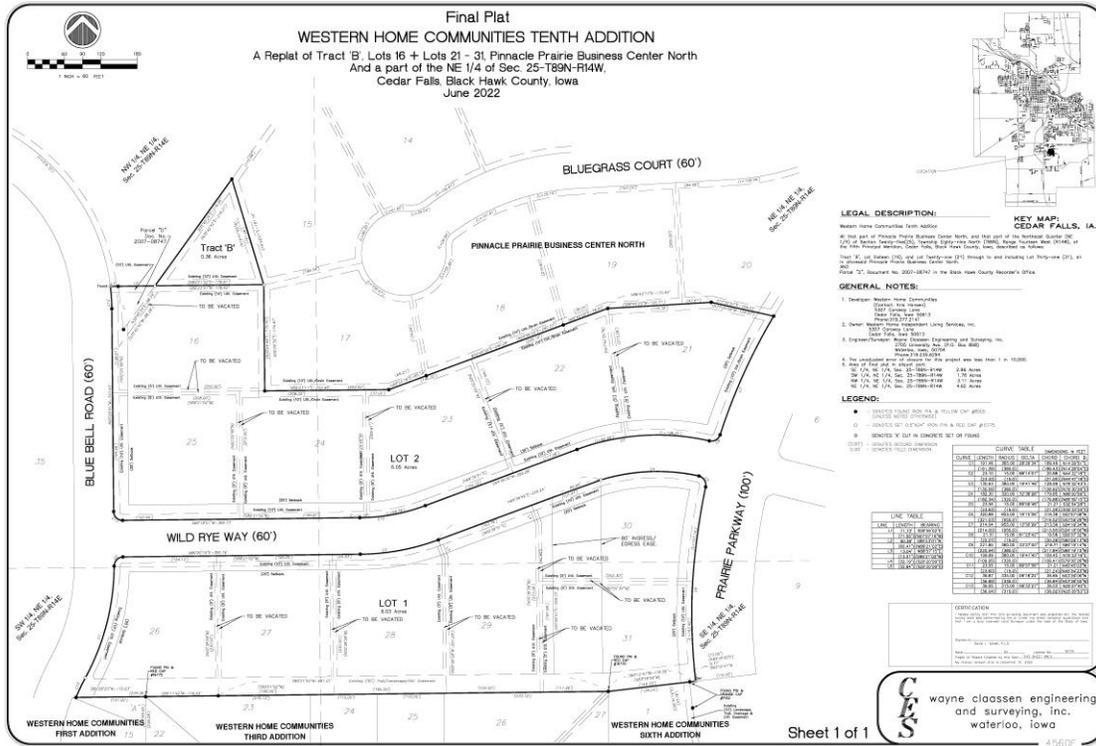
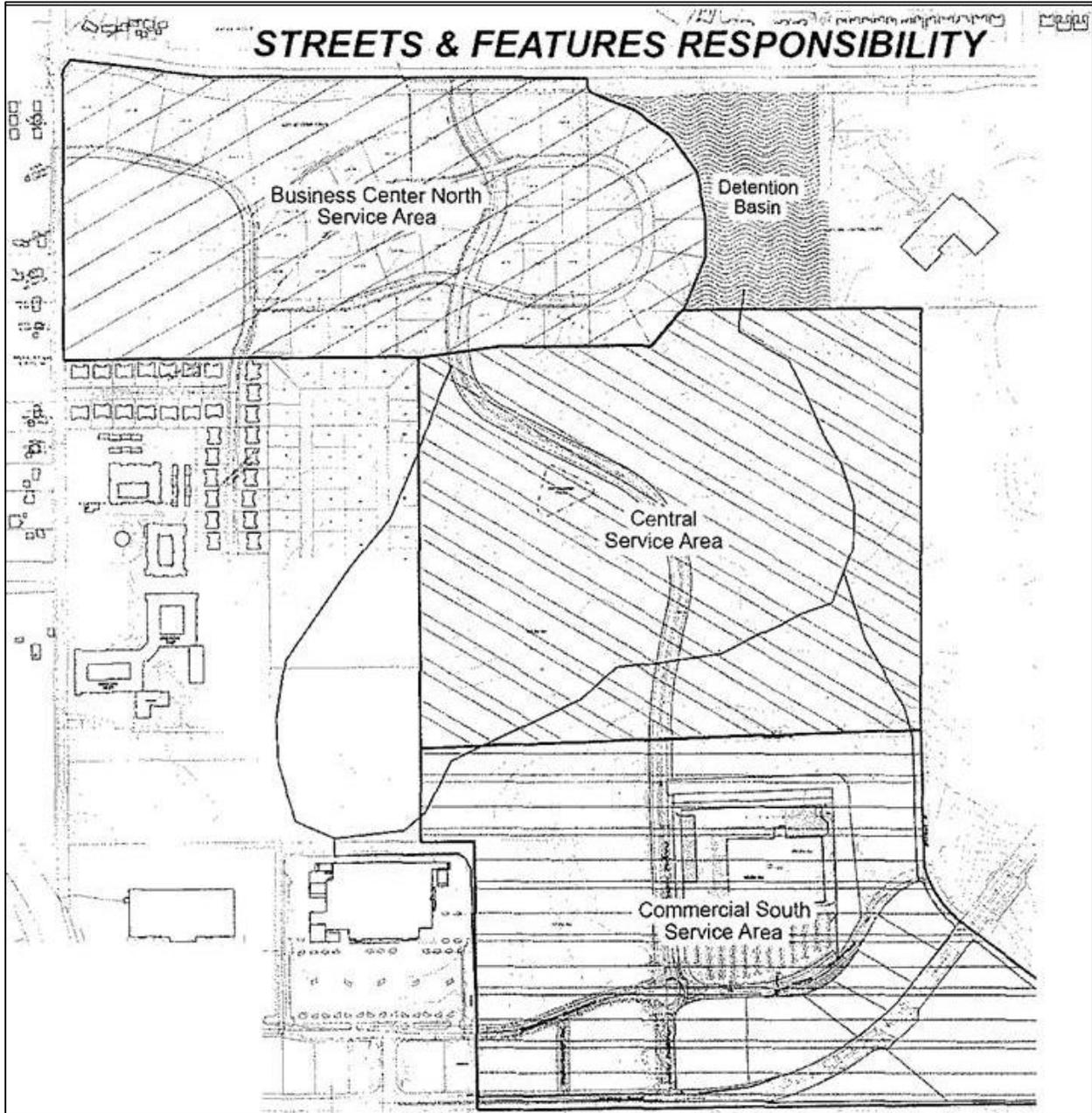


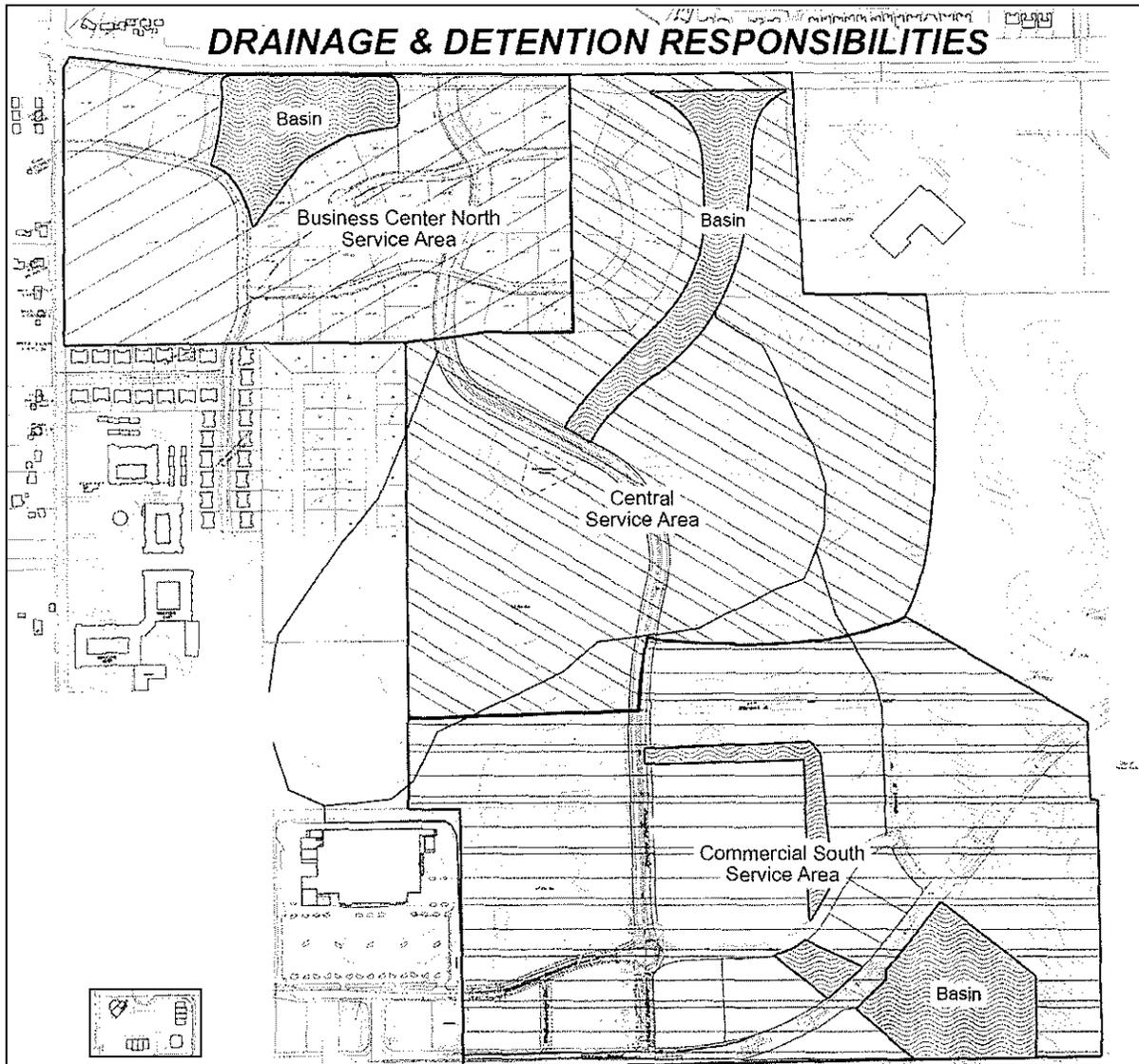
Exhibit "C"



Costs for maintaining boulevard medians, common areas not related to drainage (such as entry features, landscaping, signage), trails, sidewalks, and so on within each service area are allocated to owners

within each of the service areas, with one exception: 40% of the cost of maintaining the fountain, entry landscaping and monument sign at Greenhill Road is allocated to the landowners in the Central Service Area with frontage along Prairie Parkway.

Exhibit "D"



Costs for maintaining drainage ways and detention basins within each service area are allocated to owners within those service areas.