

CITY COUNCIL REGULAR MEETING

City Council Chambers

Monday, January 13, 2025 at 7:00 PM

AGENDA

Call to Order, Prayer, Pledge of Allegiance

Adjustment and Approval of the Agenda — *Items will only be added or removed with the approval of the Mayor and City Council.*

Special Presentations

- 1. Gaston County 250 Presentation:** The Gaston County 250 Committee Chair will address Mayor & Council about the upcoming celebration.

Request to Speak/Opportunity for Public Comment — *This is an opportunity for members of the public to express items of interest to the Mayor and City Council. This is not a time to respond or take action. Any necessary action will be taken under advisement. Speakers are asked to use proper decorum and to limit comments to no more than three minutes.*

- 2. Public Comment Acknowledgment:** City Manager, Josh Ross will provide clarity on items mentioned during public comment, if needed.

Consent Agenda — *The items of the Consent Agenda are adopted on a single motion and vote, unless the Mayor and City Council wish to withdraw an item for separate vote and/or discussion.*

- 3. Approval of Minutes:** City Council will consider adopting the Regular Meeting minutes of December 9, 2024.

Business Items

- 4. Proclamation - Dr. Martin Luther King Jr. Day:** City Council will consider the adoption of a Proclamation for Dr. Martin Luther King, Jr. Day Monday, January 20, 2025.
- 5. Establish Public Hearing-** Economic Development Grant (Project Garland): City Council will consider holding a public hearing to hear public comment regarding an Economic Development Incentive Level 1 for Project Garland on Monday, February 10th, 2025 at 7:00 PM.
- 6. Public Hearing - Rezoning Request CD 04-2024 (610 S. Skyland):** City Council will hold a public hearing to hear public comment regarding a rezoning request for property located at tax parcel #218801 (1.35 acres) from Neighborhood Residential (NR) to Neighborhood Residential Conditional District (NR-CD) to subdivide three (3) lots for single-family homes.

7. **Ordinance Amending Zoning Map:** City Council will consider approving an ordinance regarding a zoning map amendment for property located at tax parcel #211801 and 152587 (1.35 acres) from Neighborhood Residential (NR) to Neighborhood Residential Conditional District (NR-CD) to accommodate the development of 3 single-family homes.

City Manager's Report

Council General Discussion — *This is an opportunity for the Mayor and City Council to ask questions for clarification, provide information to staff, request staff to report back, or place a matter on a future agenda.*

Adjourn

Gaston County Celebrates America 250

Presented by Gaston County 250 Committee



GASTON COUNTY
Local Strengths. Global Success.

America 250

- Launched at the Federal level, pushed to states
 - America 250 NC
- Gaston County was one of the first NC counties to form a committee
- Gaston received \$10K in first round of grants from the NC Department of Natural & Cultural Resources

Who's doing the work?

- Gaston County 250 Committee
 - 40+ members with representation from multiple historical groups & most municipalities
 - Jane Kaylor, Gaston County Public Library Supervisor for Genealogy and Local History, Chair
 - Six Subcommittees: Marketing, Research, Grants, Budgeting, Events, Outreach & Education

Gaston County department support

- Communications
- Museum of Art & History
- Library
- Parks, Recreation & Tourism
- Cooperative Extension
- Register of Deeds
- Community Support Services: Veterans Services
- Information Technology: GIS



GASTON COUNTY
Celebrates America 250

**Logos approved by NC
Department of Natural
and Cultural Resources
on September 23, 2024**

Item 1.



GASTON COUNTY
Celebrates America 250

GastonGov.com/America250Gaston

- Website is live as of October 2024
- Links to videos, podcasts, events, resources

Grant money plans

- Printing of educational materials
 - Bookmarks (5,000 to start)
 - Brochures (In development)
- Branded items to raise awareness
 - Stickers
 - Magnets
 - Pins



What can you expect to see?

- Videos highlighting key local historical events
- Bookmarks/brochures with information on Gaston County's history, including events, locations & people
- Gaston County 250 Committee initiated events and presence at other community events

What's Next?

- Presentation to governing bodies
 - Gaston County Board of Commissioners, local municipal councils
- Working with local nonprofits to apply for next round of grant funding
- Spreading the word!



CITY COUNCIL REGULAR MEETING

City Council Chambers

Monday, December 09, 2024 at 7:00 PM

MINUTES

Members Present

Mayor, Becky S. Smith, Council Members: Brenda Boyd, Donnie Griffin, Nellie Floyd, Michael Brooks and Allen Hook were all present. City Manager, Josh Ross and City Attorney, David Smith were present. Council Member, Brent Guffey was absent. A quorum was present.

Call to Order, Prayer, Pledge of Allegiance

Mayor Smith called the meeting to order. Mt. Pleasant Baptist, Assistant Pastor Mike Stokes led the audience in prayer. Mayor Smith led the audience in the Pledge of Allegiance.

Adjustment and Approval of the Agenda

By motion of Brenda Boyd and unanimous vote, the December agenda was approved with no revisions.

Special Presentation

Student Appreciation- Students from Bessemer City High School, Bessemer City Middle School, Bessemer City Central Elementary School, Bessemer City Primary School, and Tryon Elementary were recognized by their principals and City Council as part of the Student Appreciation Program:

Mrs. Doneen Johnson, Principal of Bessemer City High School, and Mayor Smith, recognized the following students of the month: Cody Taylor, 9th grade representative; Jaelyn Wilson, 10th grade representative; Bayleigh McCarter, 11th grade representative and Jaelyn Gamble, 12th grade representative.

Dr. Rebecca Wilson, Principal of Bessemer City Middle School, and Mayor Smith, recognized the following students of the month: Khloe Carothers, 6th grade representative; Oswaldo Mendez Sandoval, 7th grade representative; Kaelynn Hardy 8th grade representative; and Jayden Johnson, Encore representative.

Ms. Anna Miller, Principal of Bessemer City Central School, and Mayor Smith, recognized the following students of the month: Sophia Hernandez, 3rd grade representative; Emma Courtemanche, 4th grade representative; and Ja'Leyah Moore, 5th grade representative.

Mrs. Angela Rimmer, Kindergarten Administrator of Bessemer City Primary and Mayor Smith, recognized the following students of the month: Khasmir Wallace, Kindergarten representative; Madeline Mountain, 1st grade representative; Brielyn Burris, 2nd grade representative.

Mrs. Elizabeth Glover, Content Administrator of Tryon Elementary and Mayor Smith, recognized the following students of the month: Kyendi Esiet, Kindergarten representative; Mia Seller, 1st grade, Aurora Falls, 2nd grade representative, Jadon Vang, 3rd grade representative; Anderson Patterson, 4th grade representative; and Jameson Patterson, 5th grade representative.

Request to Speak/Opportunity for Public Comment

Mayor Smith opened the floor for public comment. The following came forth:

- Stan Haynes of Tryon Courthouse Road: Mr. Haynes addressed the Board regarding outside city limits water and sewer rates. Gaston County is using ARPA funds to construct a 5-mile water line from Bessemer City to the Tryon Community. However, Mr. Haynes would like for Council to consider permanent lowering the outside city limits water and sewer rates. There is a concern about affordability for those in his community and those along the water line route.
- Courtney Womack of 517 Costner School Road: Ms. Womack addressed the Board regarding wildlife and city employees driving distracted. Ms. Womack stated that on November 24th she heard reports of a mother and bear cubs being sighted along Crescent Drive. She stated that on December 4th she had to stop on Costner School Road for deer to cross. As the City continues to develop, Ms. Womack is worried about wildlife being displaced. Additionally, Ms. Womack mentioned that one of her family members saw a city employee weaving in and out of the road. She assumes the driver was distracted and worries that this poses a safety concern for all involved.
- Goldie Byers of 604 S. Skyland Drive: Mr. Goldie addressed the Board regarding the Boys & Girls Club. Mr. Byers is kindly requesting that the City assist the Boys & Girls Club with finding a new location. Mr. Byers believes that the Board is capable of supporting the club and assisting with facility needs. The First Baptist Church is offering support to the Boys & Girls Club for a month through the use of their fellowship center.

Consent Agenda

The following items on the Consent Agenda were unanimously approved by motion of Donnie Griffin:

1. **Approval of Minutes:** City Council will consider adopting Regular Meeting minutes of the November 12, 2024 meeting.
2. **Approval of Minutes:** City Council will consider adopting Work Session Meeting minutes of the November 26, 2024 meeting.
3. **2025 Annual Meeting Schedule:** City Council will consider adopting the proposed 2025 holiday schedule that establishes when the City will observe certain holidays.
4. **Resolution of Authorization:** City Council will consider approving a resolution that authorizes the Ridge Runners to hold their annual event with certain guidelines on New Year's Eve.

Public Hearing: Rezoning Request 03-2024 (N. Gould Ave.)

By motion of Allen Hook and unanimous vote, the public hearing was opened at 7:26 PM.

Mayor Smith asked if there was anyone present to speak in favor of the rezoning request. There was none.

Mayor Smith asked if there was anyone present to speak in opposition of the rezoning request. There was none.

By motion of Michael Brooks and unanimous vote, the public hearing was closed at 7:27 PM.

Ordinance- Zoning Map Amendment

By motion of Donnie Griffin and unanimous vote, the ordinance regarding the zoning map amendment for property located at tax parcel #120960 (0.83 acres) being zoned Neighborhood Residential Conditional District (NR-CD) was approved. A copy of this ordinance is on file at City Hall. This zoning map was adopted along with the plan consistency and statement of reasonableness. The requested rezoning is reasonable and consistent with the Bessemer City Planning & Economic Development Comprehensive Land Use Vision. This amendment was adopted with the following areas of relief and conditions:

1. The proposed development shall follow the requirements of the City of Bessemer City Land Development Code with the added **Relief (R)** of:
 - a. Sidewalks- relief from installing sidewalks on either side of N. Gould Ave. in front of the three (3) new single-family homes. The Bessemer City Land Development Code (LDC) requires sidewalks for Major Subdivisions (Chapter 4, Section 4.5).
 - b. Stormwater- relief from installing stormwater curb and gutter. The Bessemer City Land Development Code (LDC) requires curb and gutter for subdivisions (Chapter 2, Section 4.2 & 4.4).
2. The following **Conditions (C)** will be applied to the development and agreed to by the developer with the vote of the City of Bessemer City Council to approve the rezoning:
 - a. Design Features- the developer agrees to install additional architectural features, including shutters, gable brackets, cedar columns, and stone veneer accents on the front elevation of each home.
 - b. Parking- the developer agreed to include additional space for parking to accommodate up to five (5) vehicles for each home (4 in the driveway; one in the garage).
3. All other requirements and standards stated within the City of Bessemer City Land Development Code (LDC) shall be followed.
4. The developer shall extend the City of Bessemer City water and sewer to and within the site, at their expense. The development will be served by City utilities: water and sewer.
5. All off-site utility easements, if necessary to provide utilities to the site, must be obtained by the developer, at their expense, prior to approval of construction plans, issuance of permits, or commencement of construction.
6. Conditional Zoning approval is valid for a period of twenty-four (24) months from the date of approval.

Public Hearing: Rezoning Request 06-2024 (Yellow Jacket Lane)

By motion of Nellie Floyd and unanimous vote, the public hearing was opened at 7:29 PM.

Mayor Smith asked if there was anyone present to speak in favor of the rezoning request. There was none.

Mayor Smith asked if there was anyone present to speak in opposition of the rezoning request. There was none.

By motion of Brenda Boyd and unanimous vote, the public hearing was closed at 7:30 PM.

Ordinance- Zoning Map Amendment

By motion of Michael Brooks and unanimous vote, the ordinance regarding the zoning map amendment for property located at tax parcel #151678 (6.26 acres) being zoned Urban Residential Conditional District (URCD) was approved. A copy of this ordinance is on file at City Hall. This zoning map was adopted along with the plan consistency and statement of reasonableness. The requested rezoning is reasonable and

consistent with the Bessemer City Planning & Economic Development Comprehensive Land Use Vision. This amendment was adopted with the following areas of relief and conditions:

1. The proposed development shall follow the requirements of the City of Bessemer City Land Development Code with the added **Relief (R)** of:
 - a. Acreage- Allowing the development for multifamily use on one lot that is excess of three (3) acres (LDC 2.8.C). The development shall be on a 6.26 acre parcel (PID 151678).
 - b. Density- Allowing for an excess of eight (8) units per acre, which is more than the density limits as permitted in the LDC (LDC 3.2.A.E.) The development shall not exceed ten (10) units per acre and 63 units.
 - c. Open Space- Relief of the open space requirement. LDC 4.8.B. requires 1/35 of an acre per dwelling unit be dedicated to open space, no less than 2 acres. The development is proposing 1.5 acres of open space.
 - d. Relief from front setback requirements provided in section 3.2.A of the Bessemer City Land Development Code.
2. The following **Conditions (C)** will be applied to the development and agreed to by the developer with the vote of the City of Bessemer City Council to approve the rezoning:
 - a. Offset Residential Units- the developer shall offset units at the intersection of M.L. Kiser Road and Besstown Road.
 - b. Pay in Lieu- the developer shall pay \$25,000 to the City for the following purpose:
 - i. Funding for the new Bessemer City Fire Department
 - c. Developer will commit to servicing the project with Natural Gas utility service, the developer will be financially responsible for the infrastructure expansion.
3. All other multifamily design standards stated within the City of Bessemer City Land Development Code shall be followed.
4. The developer shall extend the City of Bessemer City water and sewer to and within the site, at their expense. The development will be served by City utilities: water and sewer.
5. All off-site utility easements, if necessary to provide utilities to the site, must be obtained by the developer, at their expense, prior to approval of construction plans, issuance of permits, or commencement of construction.
6. Conditional Zoning approval is valid for a period of twenty-four (24) months from the date of approval.

Establish Public Hearing: Rezoning Request (610 S. Skyland)

By motion of Michael Brooks and unanimous vote, City Council will hold a public hearing on Monday, January 13th, 2025 at 7:00 PM to hear public comment regarding a rezoning request for property located at tax parcel #218801 (1.35 acres) from Neighborhood Residential (NR) to Neighborhood Residential Conditional District (NR-CD) to subdivide three (3) lots for single-family homes.

Establish Public Hearing: Rezoning Request (N. 12th Street/Parkview Commons)

By motion of Nellie Floyd and unanimous vote, City Council will hold a public hearing on Monday, January 13th, 2025 at 7:00 PM to hear public comment regarding a rezoning request for property located at tax parcels #120283 and #120286 from Neighborhood Residential (NR) to Urban Residential- Conditional District (UR-CD) to accommodate the development of a multi-family residential community that will consist of 41 townhomes.

Establish Annual Planning Retreat

By motion of Brenda Boyd and unanimous vote, City Council will hold their annual Planning Retreat on Thursday, February 27 and Friday, February 28, 2025 at Dhollandia in Southridge Business Park.

Resolution – Property for Surplus

City Manager, Josh Ross informed the Board that the Police Department has a number of items that can be declared as surplus and sold on GovDeals or other means allowed by NCGS. The list of items are: X26P Tasers (11), X26P Taser cartridges (19), Axon Body cameras (11), In car cameras (11), Kenwood NEXEDGE handheld radios with accessories (15), Motorola HT1250 handheld radios with accessories (10), Kenwood NX-820HG in-car radio (19), Kenwood NX-5800K detachable face in-car radio (2), Kenwood NX-5800K in-car radio (3).

By motion of Michael Brooks and unanimous vote, the resolution declaring police department accessories as surplus was approved.

Capital Project Ordinance – Public Safety Project

City Staff is seeking approval of a capital project ordinance detailing the appropriations and revenues for the public safety project to construct a new Fire Station. The City received a \$2.15 million grant for a new Fire Station. This ordinance will be amended in the future to meet project cost.

By motion of Donnie Griffin and unanimous vote, the capital project ordinance for \$215,000.00 was approved. A copy of this ordinance is on file at City Hall.

Offer to Sell Property

City Staff received an offer to purchase property at 112 West Virginia Avenue Parcel ID#120802 for \$230,000.00 from Sohil Shah of SLK Realty LLC. Sam Kline, MECA Commercial representative informed the Board that the previous owners have been contacted to retrieve any property they wish to retain. Per City Council, there is a restriction that the business going in this location would have to be a food or beverage service. Per NCGS, this offer must be advertised in the newspaper and undergo the upset bid process.

By motion of Allen Hook and unanimous vote, the offer to sell property at 112 West Virginia Avenue will begin the upset bid process.

Temporary Construction Easement for Meritage Homes (Stewart Crossing)

City Manager, Josh Ross informed the Board that Meritage Homes would like to construct a pedestrian bridge from the project to Stiner Park. However, to complete this a construction easement is needed. This pedestrian bridge was a previous condition for the Stewart Crossing project under Eastwood homes. Currently there is discussion about who would own and maintain the bridge.

By motion of Michael Brooks and unanimous vote, the construction easement for Meritage Homes was approved.

Easement Exchange

City Staff is seeking approval of an easement exchange for a private home located at 1033 Lewis Farm Road. There is a parcel of land located next to the City's water reservoir. The owners of this property would like to construct a new home. Additionally, owners would like to build a road and enhance the property. The owners would assume all of the fees and costs, they just need an easement from the City.

By motion of Michael Brooks and unanimous vote, City Manager, Josh Ross is permitted to sign the easement exchange agreement.

City Manager's Report

City Manager, Josh Ross, thanked all City Staff for their assistance over the past month. The Police, Fire, Public Works, and Administration departments have been extremely busy, and we wish them a Merry Christmas.

Council General Discussion

Mayor Smith opened the floor for Council general discussion. Council Members, Nellie Floyd and Donnie Griffin wished everyone a Merry Christmas. Council Member, Brenda Boyd inquired about a code enforcement issue and FEMA assistance for citizens. Attorney, David Smith thanked the Board for their loyalty and wished everyone a Merry Christmas. Public Safety Director, Tom Ellis commended the Police and Fire department for all of their hard work. City Clerk, Hydeia Hayes reminded the Board that their Local Government Commission's training.

Adjournment

Being no further business to come before the board, by motion of Allen Hook and unanimous vote, the meeting was adjourned at 7:55 PM.

Becky S. Smith, Mayor

Hydeia Y. Hayes, City Clerk



**A PROCLAMATION IN HONOR OF
DR. MARTIN LUTHER KING, JR.**

WHEREAS, the Reverend Dr. Martin Luther King, Jr. believed that a person’s worth should not be measured by his or her color, culture, or class, but rather by his or her commitment to creating a better life for all by living a life of service for others, and

WHEREAS, Dr. King showed courage, endurance and patience in the face of hostility, criticism and adversity working to promote freedom, justice and peace, and

WHEREAS, Dr. King’s message of peace and service and his dream of pursuing a world free from prejudice and injustice lives on since his tragic death on April 4, 1968, and

WHEREAS, Dr. Martin Luther King, Jr.’s dream of racial equality, understanding, service and social justice is an inspiration to all of us, and

WHEREAS, the City of Bessemer City encourages all citizens to remember and pay tribute to Dr. King and his ideals.

NOW, THEREFORE, I, Becky S. Smith, Mayor, and the members of the Bessemer City Council do hereby resolve that Monday, January 20, 2025 be set aside as a day to remember Dr. King and to promote appropriate activities to further enhance the democratic ideals and concepts advanced by this great American.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Bessemer City to be affixed this 13th day of January 2025.

Becky S. Smith, Mayor

Hydeia Y. Hayes, City Clerk



**AN ORDINANCE AMENDING OFFICIAL ZONING MAP OF THE
CITY OF BESSEMER CITY.**

WHEREAS, after proper notification a Public Hearing was held before the Bessemer City Council on January 13, 2025 to consider a proposed amendment to the City of Bessemer City Zoning Map. On December 2nd, 2024, the Bessemer City Planning Board voted to recommend the City Council approve the proposed zoning map amendment.

WHEREAS, after a _____ vote, the City Council of Bessemer City approved a zoning map change to the Official City of Bessemer City Zoning Map reflected in application CD 04-2024.

NOW THEREFORE BE IT ORDAINED, by the City Council of the City of Bessemer City, that the Official City of Bessemer City Zoning Map is amended to reflect the adopted changes as written below.

1. Tax Parcel 218801 is rezoned from Neighborhood Residential (NR) to Neighborhood Residential-Conditional District (NR-CD).
2. Tax Parcel 152587 is rezoned from Neighborhood Residential (NR) to Neighborhood Residential-Conditional District (NR-CD).

Effective Date

This Ordinance shall become effective upon its adoption by the City Council of the City of Bessemer City, North Carolina.

Adopted by City Council this 13th Day of January, 2025.

Becky S. Smith, Mayor

Hydeia Y. Hayes, City Clerk



132 W. Virginia Ave.
 Bessemer City, NC 28016
 (704) 629 – 5542 Ext. 1003

Staff Only:

Date Rec'd: _____
 Rec'd by: _____
 Case #: _____

LAND DEVELOPMENT APPLICATION FORM

1. Application Type	✓	<u>Fee</u>	✓	<u>Fee</u>
• Sketch Plan/Plat (Major Sub):	_____	_____	• Conditional Zoning (CZ)	800.00
• Preliminary Plat (Major Sub):	_____	_____	• Special Use Permit (SUP)	_____
• Final Plat (Major Sub):	_____	_____	• Text Amendment	_____
• Major Site Plan	_____	_____	• Minor Site Plan	_____
• Construction Documents:	_____	_____	• Minor Subdivision Plat	_____
• Recombination Plat	_____	_____	• General Re-zoning	_____
• Other: _____	_____	_____		
Fee Total:				800.00

2. Project Information

Date of Application: 10/25/2024 Name of Project: Bessemer City Homes

Location: 610 S Skyland Dr, Bessemer City 28016 Property Size (acres): 1.28 # of Units/Lots: 2

Current Zoning: NR Proposed Zoning: NR

Current Land Use: Vacant/Wooded Proposed Land Use: Single Family Homes

Tax Parcel Number(s): 218801 and 152587

Square Footage: 55680

3. Contact Information	
Owner, Applicant, or Developer <u>Five Holdings LLC</u>	Agent(s) (Engineer, Architect, Etc.) <u>Michael Cruse</u>
Address <u>301 McCullough Drive</u>	Address <u>P.O. Box 268</u>
City, State Zip <u>Charlotte, NC 28270</u>	City, State Zip <u>Concord, NC 28026</u>
Telephone <u>763-334-8694</u>	Telephone <u>704-786-5404</u>
Email <u>savageconstructionmn@gmail.com</u>	Email <u>michaelcruse@cesicgs.com</u>

4. The following items may also be required to be considered part of a complete application, please check all that apply on this list:

- Signed "Original" application**
- Project Fee(s)** – See Fee Schedule
- Written Summary/Description of Request** can be on company letterhead. Shall include requested use or uses, sq. feet of non-residential space, or density and number of units/lots for residential, or any other applicable information. For CZ's, must also describe any variations proposed from the Land Development Code
- Property Survey** (at least one copy), including existing buildings, topography, wetlands, streams, vegetation (trees over 18" in diameter), and other natural features.
- Site/sketch plan** (at least one copy), may contain multiple pages and must be drawn to scale by an engineer or landscape architect. Shall include locations of buildings and/or lots, streets, parking, proposed grading, landscaping/screening, open space, watershed/storm water information, associated storm water measures, and proposed utilities and lighting. Shall also include general information from adjoining lots
- Illustrative (color) site/sketch plan** for presentation purposes with same layers as described above
- Architectural elevations, Perspective Renderings, and Architectural Review Board Checklist** may include multiple pages and must be drawn to scale by an architect. Include all primary and accessory buildings (all building sides), an illustrative color package, and black and white w/dimensions. Other architectural elements/features of the site such as gazebos, trellis's, garden walls, retaining walls, or other items over 4-feet in height must also be included (NOT REQUIRED, BUT OPTIONAL FOR SINGLE-FAMILY RESIDENTIAL DEVELOPMENTS).
- Illustrative (color) elevations** for presentation purposes for all items described above, as well as perspective (3D) renderings and photograph examples
- Digital Files** of all items listed above

Last Update: 07/06/2021
10/24/2024

Signature:  Printed Name: Kaycee Campbell Date: _____

City of Bessemer City, North Carolina
General Rezoning Staff Report
CD 04-2024 | 610 S. Skyland Dr.

Planning Board Agenda Item November 4th, 2024
Planning Board Agenda Item December 2nd, 2024
City Council Agenda Item January 13th, 2025

Applicant:

Five Holdings, LLC (Michael Cruse)

Request:

To review and make a recommendation on the rezoning of PID 218801 and PID 152587 totaling 1.35 acres zoned Neighborhood Residential (NR) to Neighborhood Residential- Conditional District (NR-CD). The intent of the property owner is to be subdivided into three (3) lots for single-family homes.

Background Information:

The property requested for zoning map amendment is assigned by the Gaston County Tax Mapping Department with PID#s 218801 and 152587 and is approximately 1.35 acres in size. Both properties are currently owned by Five Holdings, LLC.

City staff begin discussions with Five Holdings, LLC representative earlier this year. Their first proposal included two (2) single-family homes and a duplex. The Bessemer City Land Development Code (LDC) would require the duplex only at a corner lot and entrances would have to face opposite streets. The developer chose to revise their plan to include three (3) single-family homes on a newly built street. Three (3) single family homes typically fall into a “minor subdivision” category; however, since this project will require the developer to extend a new street and utilities, the project is considered a “major subdivision” as defined in the Bessemer City Land Development Code (LDC).

The developer is seeking to rezoning this property as a conditional district since major subdivision requirements would include, but are not limited to, sidewalks and a green strip on all areas of the new street. The developer, as outlined in the attached packet, is requesting Relief (R) in the Bessemer City Land Development Code (LDC) from doing sidewalks on half of the new street and no green planting strip on the entire new street. Conditions (C) are outlined in “CD 04-2024 Reliefs and Conditions”.

Staff Recommendation:

Approve rezoning as requested with identified Conditions (C) recommended by the Planning Board.

Exhibits:

610 S. Skyland Ave. Rezoning Application Packet

Recommended Effective Date: January 13, 2025

Areas of Relief and Conditions of Approval

CD 04-2024 | 610 S. Skyland Drive (PID 152587 and 218801)

1. The proposed development shall follow the requirements of the City of Bessemer City Land Development Code with the added **Relief (R)** of:
 - a. Sidewalks- relief from installing sidewalk on one side of newly constructed street in front of the three (3) new single-family homes. The Bessemer City Land Development Code (LDC) requires sidewalks for Major Subdivisions on all areas of new streets. (Chapter 4, Section 4.5).
 - b. Green Strips- relief from installing a six-foot (6) green strip between the sidewalk and street. The Bessemer City Land Development Code (LDC) requires a six-foot (6) greens trip between the sidewalk and road for subdivisions (Chapter 3.3.J.).
2. The following **Conditions (C)** will be applied to the development and agreed to by the developer with the vote of the City of Bessemer City Council to approve the rezoning:
 - a. Parking- developer shall include additional space for parking to accommodate up to four (4) vehicles on each lot. The LDC only requires two (2) spaces per lot.
3. All other requirements and standards stated within the City of Bessemer City Land Development Code (LDC) shall be followed.
4. The developer shall extend the City of Bessemer City water and sewer to and within the site, at their expense. The development will be served by City utilities: water and sewer.
5. All off-site utility easements, if necessary to provide utilities to the site, must be obtained by the developer, at their expense, prior to approval of construction plans, issuance of permits, or commencement of construction.
6. Conditional Zoning approval is valid for a period of twenty-four (24) months from the date of approval.

Dajuan Savage
Five Holdings, LLC

Becky Smith
Mayor

**PLAN CONSISTENCY & STATEMENT OF REASONABLENESS ZONING MAP AMENDMENT
CD 04-2024 | 610 S. Skyland Dr. (PID 218801 and 152857)**

December 9, 2024

Pursuant to North Carolina General Statute (NCGS) §160D-605 the City of Bessemer City Council hereby approves and adopts the following Plan Consistency and Statement of Reasonableness for the rezoning of the Tax Parcel included with development application RZ 04-2024 within the City limits of Bessemer City, North Carolina as noted and depicted on the proposed Official Zoning Map.

Said zoning change is consistent with the goals and values established by the City Council adopted in 2023.

The City Council created a mission and vision statement that included the following six values: 1. Accountability, 2. Ethics, 3. Community Dependability, 4. Honesty, 5. Respect, 6. Open-Mindedness. These rezoning's are consistent with these values.

The City Council created a mission and vision statement that included the following five goals: 1. Promote a desirable place to live and work that provides a healthy quality of life, 2. Ensure a safe and secure community for residents and visitors, 3. Invest in a high quality infrastructure to support a thriving and diverse economy, 4. Provide opportunities for citizen engagement and promote volunteerism, 5. Foster organizational sustainability that embraces innovation and creativity. These rezoning's are consistent with these goals.

Said rezoning is consistent with the City of Bessemer City 2020 Vision Plan and the City of Bessemer City Planning and Economic Development Comprehensive Land Use Vision Map adopted by the City Council in 2019. The proposed rezoning is are consistent with the existing adjacent land uses as designated on the official land use map.

The proposed map amendments would not be detrimental to the city and ETJ.

The physical conditions that make the rezoning reasonable provide residential growth opportunities with new development in areas that are currently limited due to current zoning. Rezoning is in the best interest of the public to increase and maximize property values to provide for future infrastructure and amenities.

Therefore, the requested rezoning is reasonable and in the public's interest.

Upon a motion that the application is consistent with the Bessemer City Planning and Economic Development Comprehensive Land Use Vision.

Approved and adopted this the 9th day of December 2024.

(ATTEST)

Hydeia Hayes, City Clerk

Becky S. Smith, Mayor

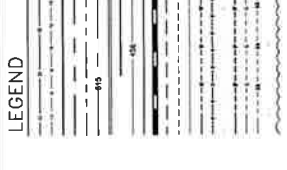
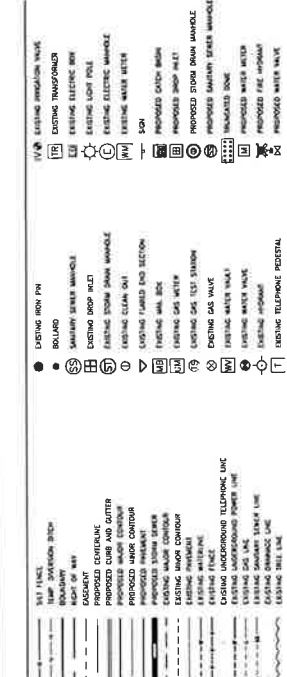
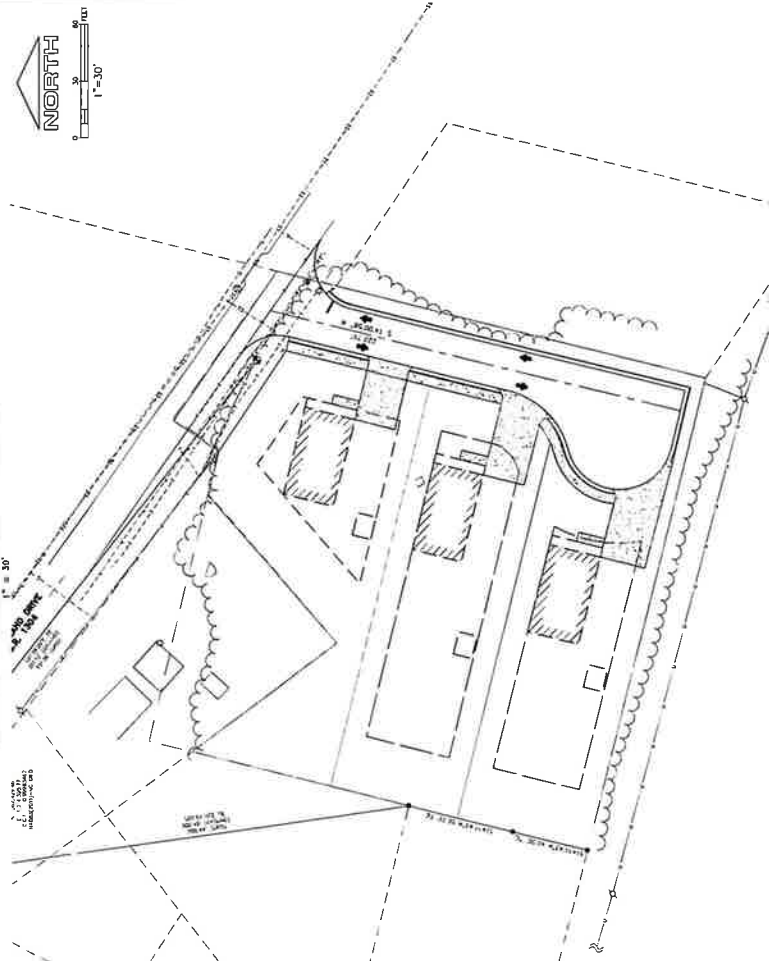
(APPROVED AS TO FORM)

David Smith, City Attorney

BESSEMER CITY HOMES

610 S SKYLAND DR, BESSEMER CITY, NC 28016

SCHMATIC PROJECT OVERVIEW



IS REPORT WAS ORIGINALLY DESIGNED AND
 DRAWN BY ARCHITECTS & ENGINEERS, LICENSED IN

DIRECTIONS TO SITE

- HIGHWAY 50/271 ON N. BE HWY 5
- TURN RIGHT ON CHROMERS MOUNTAIN RD
- TURN LEFT ON CHROMERS MOUNTAIN RD
- LEFT ON S. SKYLAND DR
- PROPERTY LOCATED ON LEFT SIDE OF ROAD
- 505 FT FROM CHROMERS MOUNTAIN RD

PROJECT INFORMATION AND CONTACTS

PROJECT INFORMATION
 PARCEL PIN NUMBERS 3318-12-5100
 PARCEL ACREAGE 1.28 AC
 PROPOSED PARCEL USE GENERAL RESIDENTIAL
 WATERSHED/PAGES PHASE # N/A
 WATER SYSTEM PROVIDER GASTON COUNTY
 SEWER SYSTEM PROVIDER GASTON COUNTY
 ELECTRICAL PROVIDER GASTON COUNTY
 GAS PROVIDER FLEMING NATURAL GAS

CONTACT INFORMATION
PROJECT
 PROJECT LOCATION BESSEMER CITY HOMES
 PROJECT NUMBER 610 S SKYLAND DR
 OWNER'S REPRESENTATIVE BESSEMER CITY, NC 28016
 OWNER'S ADDRESS PINE HOLLERS LLC
 OWNER'S PHONE DALLAN SWANER, OWNER
 OWNER'S EMAIL DALLAN@PINEHOLLERS.COM
 OWNER'S FAX (763) 334-8894
 CONTRACTOR'S PHONE U. SAVAGE CONSTRUCTION
 CONTRACTOR'S ADDRESS 11109 WILSON RD
 CONTRACTOR'S EMAIL U.SAVAGE@OUTLOOK.COM

PROJECT CONTRACTOR & CLIENT
 CONTRACTOR'S REPRESENTATIVE U. SAVAGE CONSTRUCTION
 CONTRACTOR'S ADDRESS 11109 WILSON RD
 CONTRACTOR'S PHONE (763) 334-8894
 CONTRACTOR'S EMAIL U.SAVAGE@OUTLOOK.COM

CIVIL ENGINEER
 CIVIL ENGINEER IN NC LICENSE C-0293 ELIZABETH HARLOCK, PE
 CIVIL ENGINEER FIRM CESA
 CIVIL ENGINEER ADDRESS 404863
 P.O. BOX 268
 CONCORD, NC 28026-0268
 (704) 548-2684
 eharclock@cesane.com

CIVIL ENGINEER PHONE (704) 548-2684
ENGINEER EMAIL eharclock@cesane.com

MUNICIPALITY CITY OF BESSEMER

PLANNING DIRECTOR JOSHUA ROSS, MPA
 (704) 529-5542
 jross@bessemercity.gov

DIRECTOR OF PUBLIC UTILITIES JOSHUA ROSS, MPA
 (704) 529-5542
 jross@bessemercity.gov

WATER JAMES HANSEY
 (704) 529-5542
 jhanse@bessemercity.gov

SEWER BRENT GORDON
 (704) 529-5542
 bgordon@bessemercity.gov

PHONE (704) 529-5542
EMAIL jross@bessemercity.gov

SHEET	SHEET TITLE
C001	GENERAL NOTES AND SPECIFICATIONS
C100	EXISTING CONDITIONS
C200	SITE LAYOUT PLAN
C210	ROAD PLAN AND PROFILES
C220	SIT. DETAILS
C300	GRADING AND DRAINAGE PLAN
C310	DRAINAGE DETAILS
C400	EROSION CONTROL PHASE I
C410	EROSION CONTROL DETAILS I
C420	GROUND STABILIZATION AND MATERIALS HANDLING
C430	SCF - INSPECTION, RECONSIDERING AND REPORTING
C500	WATER UTILITIES
C510	SEWER PROFILES
C520	UTILITY DETAILS I
C530	UTILITY DETAILS II
L100	LANDSCAPING PLAN
L110	LANDSCAPING DETAILS
L200	POST-DEVELOPMENT DRAINAGE
W010	POST-DEVELOPMENT DRAINAGE

BESSEMER CITY HOMES
 COVER SHEET
 610 S SKYLAND DR, BESSEMER CITY, NC 28016
 ARCHITECT: ARCHITECTS & ENGINEERS, P.A.
 PROJECT START: 12/18/2024
 CHECKED BY: NIM
 DRAWN BY: A.C.



CVP
 Item 7.

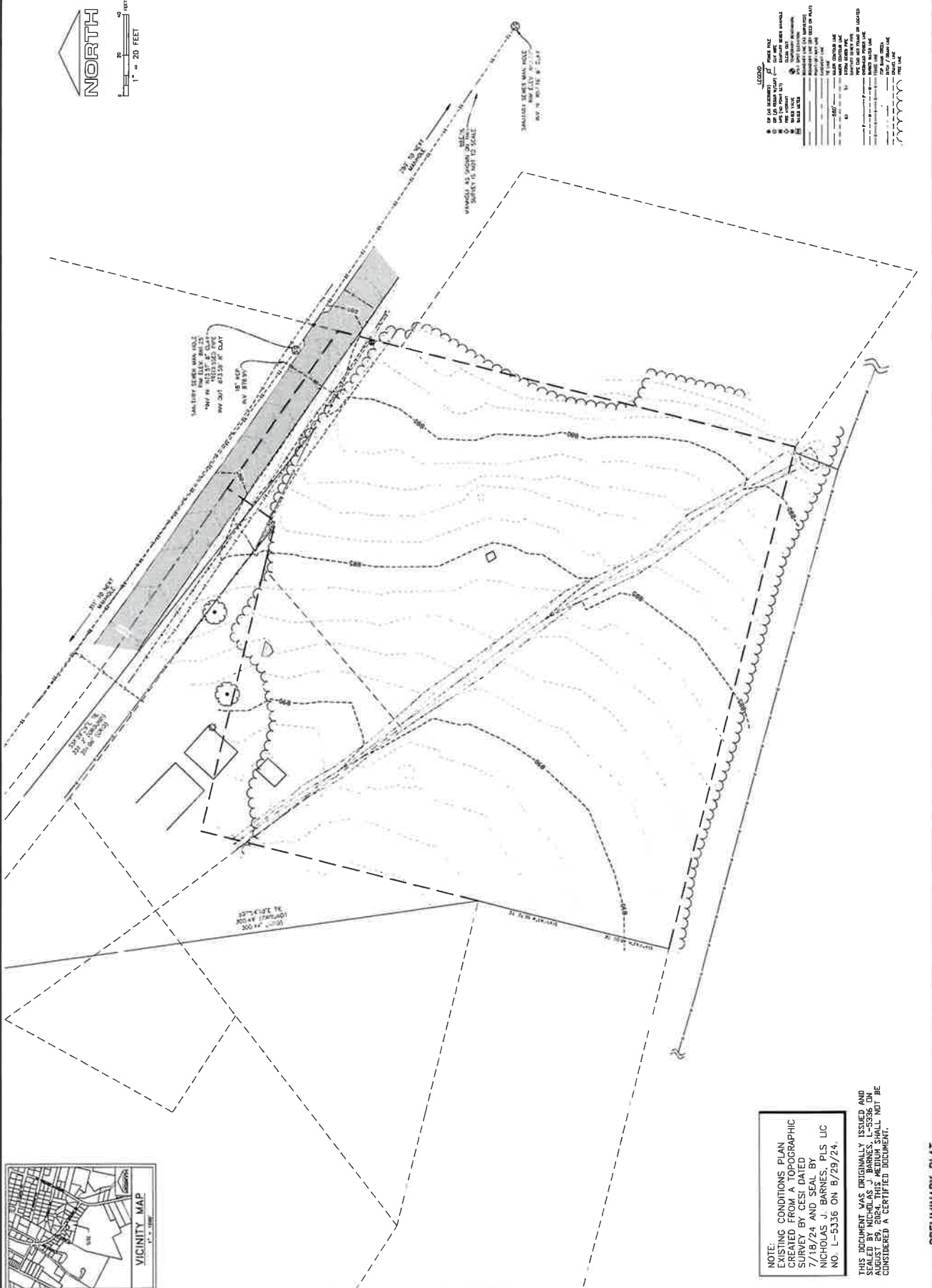
C100



CESI CIVIL ENGINEERING
11115/2024
11/19/2024

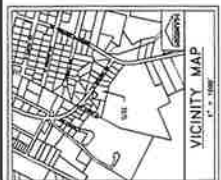
BESSEMER CITY HOMES
EXISTING CONDITIONS
818 S SWAMP DR. BESSEMER CITY, NC 28018
D SWAMP CONSTRUCTION, LLC
PROJECT MANAGER: NICHOLAS J. BARNES
PROJECT START: 08/29/2024

North Carolina One-Call Center
CALL - 800-532-4549
CUT BEFORE YOU DIG
1-800-532-4549
11115/2024



NOTE:
EXISTING CONDITIONS PLAN
BASED ON TOPOGRAPHIC
SURVEY BY CESI DATED
7/18/24 AND SEAL BY
NICHOLAS J. BARNES, PLS LIC
NO. 1-5336 ON 8/29/24.

THIS DOCUMENT WAS ORIGINALLY ISSUED AND
SEALED BY NICHOLAS J. BARNES, LICENSE NO. 1-5336 ON
AUGUST 29, 2024. THIS MEDIUM SHALL NOT BE
CONSIDERED A CERTIFIED DOCUMENT.



C200



DATE: 11/19/2024

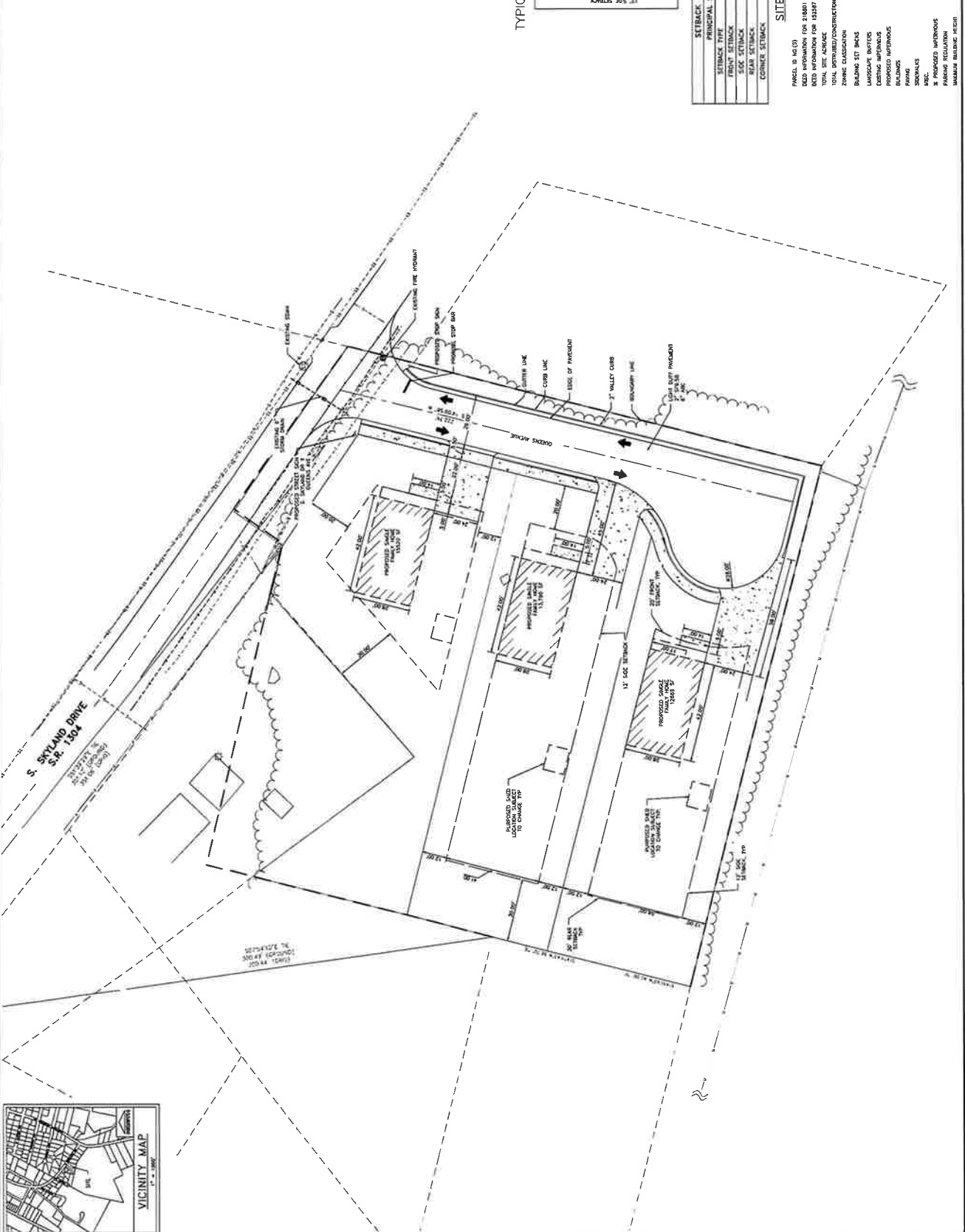
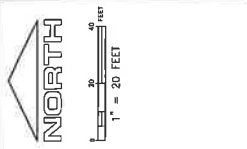
PROJECT NO: 240241.000



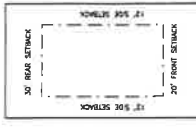
BESSEMER CITY HOMES
SITE LAYOUT PLAN

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It's The Law!

REVISION	DATE	DESCRIPTION



TYPICAL LOT DETAIL

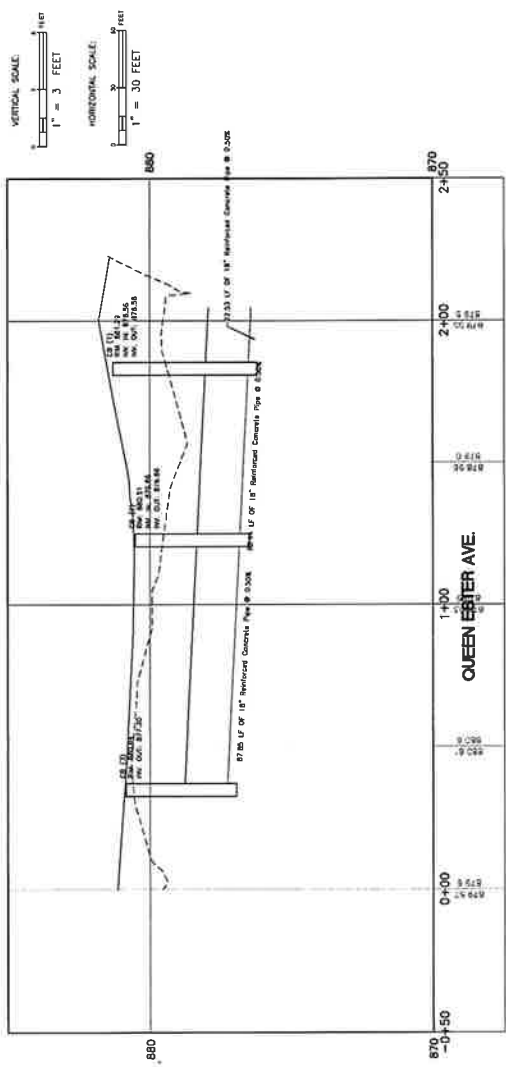
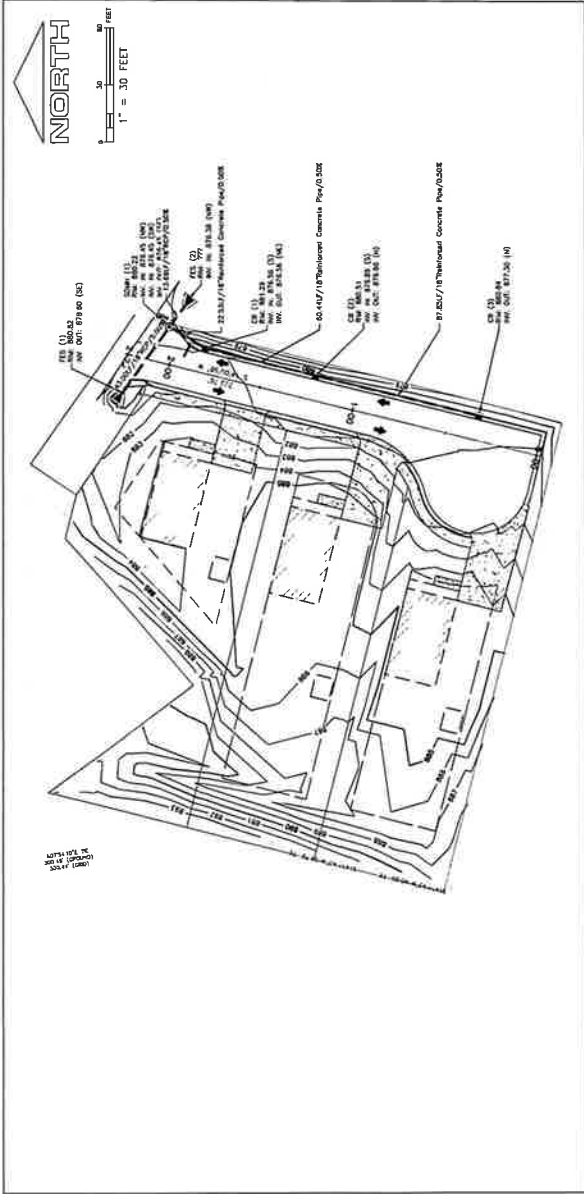
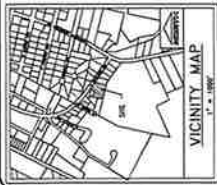


SETBACK DISTANCES	PRINCIPAL STRUCTURES
FRONT SETBACK	20'
REAR SETBACK	30'
SIDE SETBACK	17'
CORNER SETBACK	20'

SITE DATA

PARCELS: 014 (S) 218601 AND 0200P
DEED INFORMATION FOR 218601: 08 5440 PG 1915
DEED INFORMATION FOR 0200P: 08 5440 PG 1915
TOTAL SITE ACRES: 1.28 AC (55,600 SQ. FT.)
TOTAL IMPROVEMENTS/CONSTRUCTION: 1.28 AC (55,600 SQ. FT.)
ZONING CLASSIFICATION: R-10
ADDRESS: ROAD 207, BOX 307, SIDE 11,
CORNER 207
BUILDING SET BACKS: 30'
LANDSCAPE BUFFERS: 0'
PROPOSED IMPROVEMENTS: 1,687 SF, 0.317 AC
BUILDINGS: 3,812 SF, 0.089 AC
PARKING: 6,575 SF, 0.151 AC
SEWERALS: 4,339 SF, 0.098 AC
PROPOSED IMPROVEMENTS: 2,400 SF
PARKING RECALCULATION: 45
MUNICIPALITY / ADA: WIDE
MAXIMUM BUILDING HEIGHT: 45'





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 11/19/2024

REVISION	DATE	DESCRIPTION

BEESMER CITY HOMES
 ROAD PLAN AND PROFILE
 810 S SPYGLASS DR, BEESMER CITY NC 28018
 3 SHEET CONSTRUCTION SET
 PROJECT NUMBER: 180
 PROJECT NAME: BEESMER CITY HOMES
 CHECKED BY: HCN
 DRAWN BY: HCN
 11/19/2024

CES SURVEYING
 CIVIL ENGINEERING
 1111024024



C210

Item 7.

C220

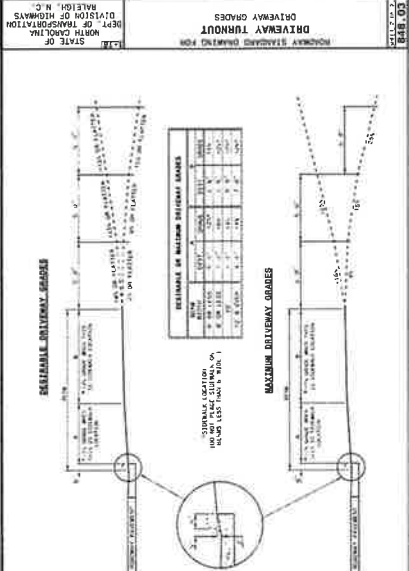
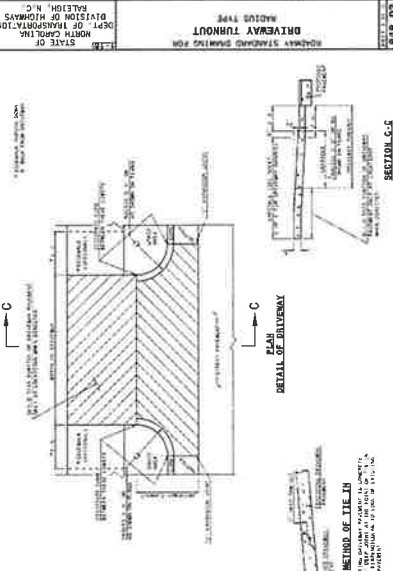
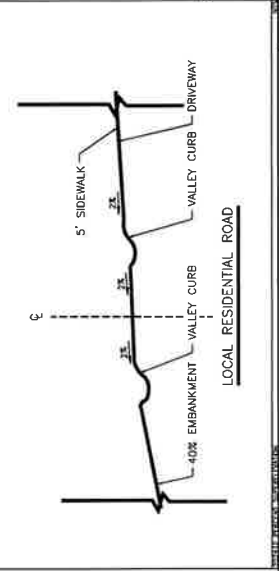
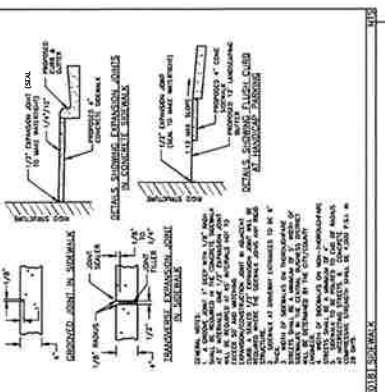
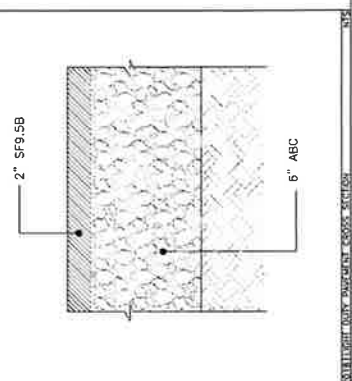
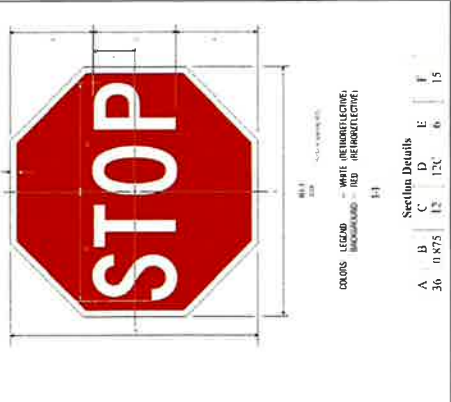
STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION
11/19/2024

CIES ENGINEERING & SURVEYING
1216 N. WALKER
PO BOX 26312
DURHAM, NC 27703-0632
REGISTERED PROFESSIONAL ENGINEER
040440001-021

BESSEMER CITY HOMES
SITE DETAILS
810 S BRANCH DR, BESSERER CITY NC 28801
3 SHARCK CORPORATION, LLC
PROJECT #24041.000
DESIGNED BY: NHK
CHECKED BY: MHN

REVISION	DATE	DESCRIPTION

North Carolina One-Call Center
CALL 1-800-632-4349
1520 N. ROSS ST., DURHAM, NC 27701
www.nconecall.com
CdM BEFORE YOU DIG!
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D31 (Sheet 1 of 3)
3/15/2024

W 3rd St

W 3rd St

Wyngate Dr

Wyngate Dr

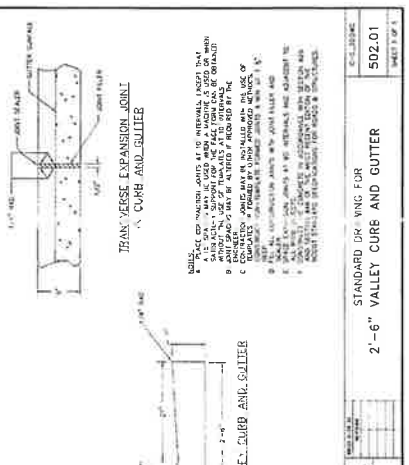
D31 - PAVEMENT MARKINGS
D31 - DRIVEWAY MARKINGS (SEE MEASUREMENTS FOR DIMENSIONS)

ITEM	DESCRIPTION	AMOUNT	UNIT
1	PAVEMENT MARKINGS - WHITE (REPRODUCIBLE)	100	SQ YD
2	PAVEMENT MARKINGS - RED (REPRODUCIBLE)	100	SQ YD

2'-6" VALLEY CURB AND GUTTER

STANDARD DR - WNG FOR 502.01

DATE: 03/15/24
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN



C300



CES CONSULTANTS
 1755 YORK AVE
 WAKEFORD, NC 27883
 TEL: 919.851.1100
 FAX: 919.851.1101
 WWW.CESCONSULTANTS.COM
 REGISTERED PROFESSIONAL ENGINEER
 NORTH CAROLINA

BESSEMER CITY HOMES
 GRADING AND DRAINAGE PLAN
 818 S STANLEY DR. BEESMER CITY, NC 27815
 3 SHAKES CONSTRUCTION, LLC
 APPROVED BY: KIM
 PROJECT NO. 240341.000
 DRAWN BY: MJC
 CHECKED BY: KHW

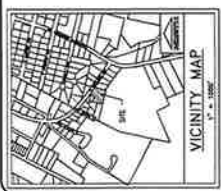
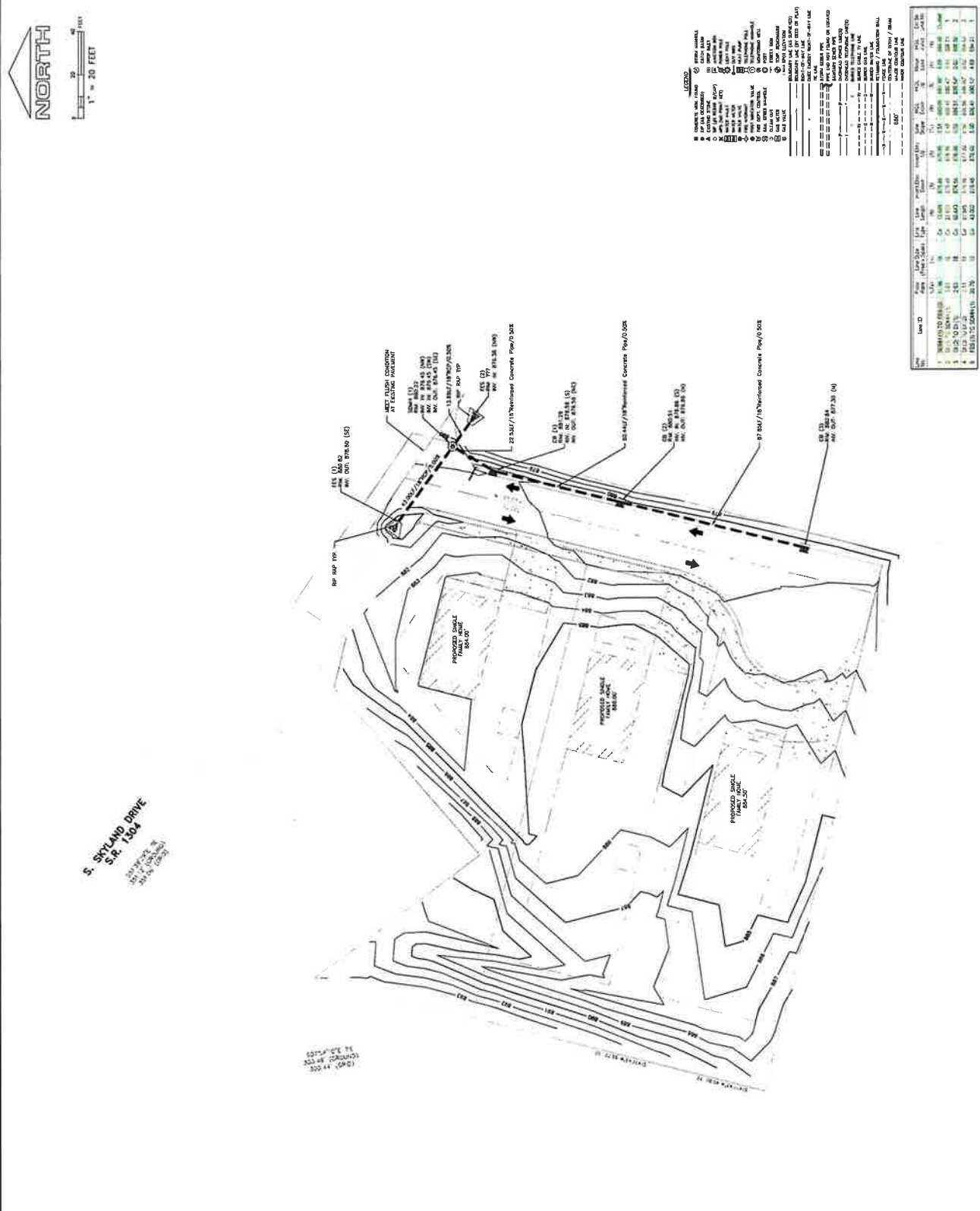
PERSON	DATE	DESCRIPTION

Call BEFORE you DIG!

1-800-552-4343

North Carolina One-Call Center

125 EAST COLLETT ST.
 RALEIGH, NC 27601



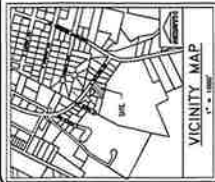
S. SKYLAND DRIVE
 S.P. 130-4

3251.75 FT. IN
 3251.75 FT. IN
 3251.75 FT. IN

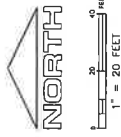
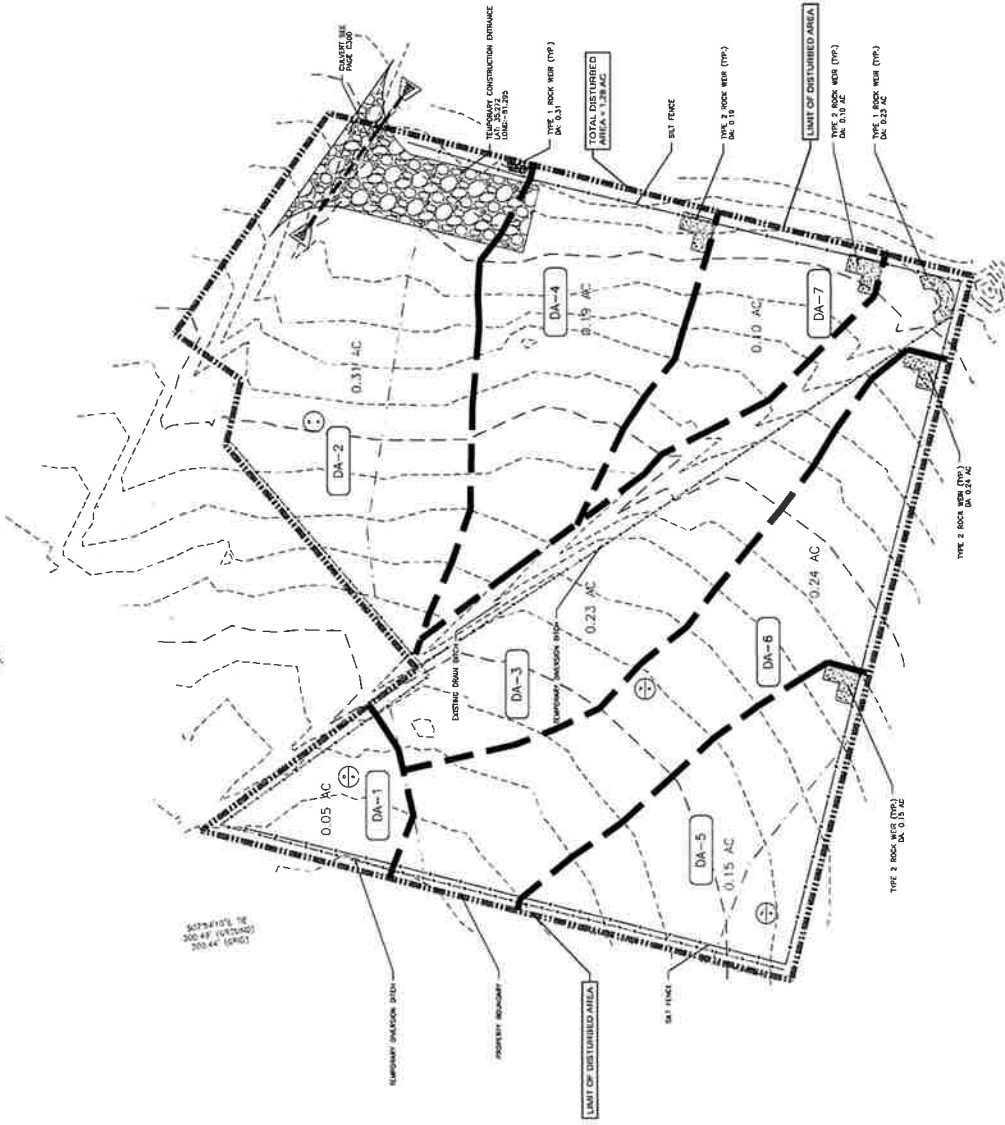
1045' ± TO 12' E.A. 275' ±
 203' ± TO 212' ±

- LEGEND
- EXISTING LOT
 - PROPOSED LOT
 - PROPOSED SINGLE FAMILY HOME
 - PROPOSED DOUBLE FAMILY HOME
 - PROPOSED TRIPLEX
 - PROPOSED CONDO
 - PROPOSED GARAGE
 - PROPOSED DRIVEWAY
 - PROPOSED PAVEMENT
 - PROPOSED GRASS
 - PROPOSED TREE
 - PROPOSED FENCE
 - PROPOSED UTILITY
 - PROPOSED EROSION CONTROL
 - PROPOSED SIGN
 - PROPOSED LANDSCAPE
 - PROPOSED FURNITURE
 - PROPOSED LIGHTING
 - PROPOSED SECURITY
 - PROPOSED ART
 - PROPOSED STRUCTURE
 - PROPOSED EQUIPMENT
 - PROPOSED MATERIALS
 - PROPOSED FINISHES
 - PROPOSED FIXTURES
 - PROPOSED APPLIANCES
 - PROPOSED ACCESSORIES
 - PROPOSED DECOR
 - PROPOSED LANDSCAPE
 - PROPOSED FURNITURE
 - PROPOSED LIGHTING
 - PROPOSED SECURITY
 - PROPOSED ART
 - PROPOSED STRUCTURE
 - PROPOSED EQUIPMENT
 - PROPOSED MATERIALS
 - PROPOSED FINISHES
 - PROPOSED FIXTURES
 - PROPOSED APPLIANCES
 - PROPOSED ACCESSORIES
 - PROPOSED DECOR

THIS ORIGINAL COPY OF THE
 PLAN SHALL BE
 KEPT ON FILE AT ALL TIMES
 AND SHALL BE AVAILABLE FOR
 INSPECTION AT ALL TIMES.



SECTION 101.10
300.47 (10/17/2002)
303.44 (10/16/02)



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REVISION	DATE	DESCRIPTION

BESSEMER CITY HOMES
EROSION CONTROL PHASE 1
410 S BRUNNEN DR. BESSERER CITY NC 28018
P. SHAWL CONSTRUCTION, LLC
PROJECT MANAGER
PROJECT NO. 240411000
CHECKED BY: N.W.
DRAWN BY: N.W.

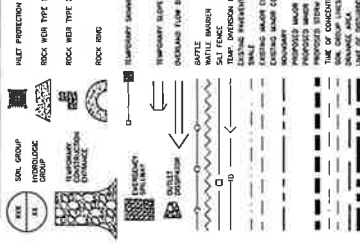
CESA
CONSULTANTS
INCORPORATED
1000 S. BRUNNEN DRIVE
BESSERER CITY, NC 28018
PHONE: 704-241-2000
FAX: 704-241-2001
WWW.CESA-NC.COM



C400

Item 7.

EROSION CONTROL LEGEND
NOTE: ALL SLOPES SHALL BE MAINTAINED AT 3:1 UNLESS OTHERWISE NOTED.



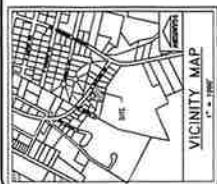
ITEM	DESCRIPTION	UNIT	QUANTITY
1	TYPE 1 ROCK WIRE (TP)	LINEAL FEET	1,200
2	TYPE 2 ROCK WIRE (TP)	LINEAL FEET	1,200
3	ROCK RING	LINEAL FEET	1,200
4	TEMPORARY SLOPE STABILIZATION	SQ. YD.	1,200
5	TEMPORARY SILT BLANKET	SQ. YD.	1,200
6	TEMPORARY SILT BLANKET WITH STONE	SQ. YD.	1,200
7	TEMPORARY SILT BLANKET WITH GEOTEXTILE	SQ. YD.	1,200
8	TEMPORARY SILT BLANKET WITH GEOTEXTILE AND STONE	SQ. YD.	1,200
9	TEMPORARY SILT BLANKET WITH GEOTEXTILE AND STONE AND ROCK	SQ. YD.	1,200
10	TEMPORARY SILT BLANKET WITH GEOTEXTILE AND STONE AND ROCK AND SILT FENCE	SQ. YD.	1,200
11	TEMPORARY SILT BLANKET WITH GEOTEXTILE AND STONE AND ROCK AND SILT FENCE AND ROCK RING	SQ. YD.	1,200

SEE C001 FOR CONSTRUCTION SEQUENCE AND NARRATIVE. ALL CATCH BASIN PROTECTION, WIRE AND STONE/SILT SACKS MUST BE MAINTAINED WEEKLY.

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVAL OF EROSION CONTROL REMOVAL SHALL BE MAINTAINED WEEKLY.

EROSION AND SEDIMENTATION CONTROL GENERAL NOTES:
1. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVAL OF EROSION CONTROL REMOVAL SHALL BE MAINTAINED WEEKLY.
2. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVAL OF EROSION CONTROL REMOVAL SHALL BE MAINTAINED WEEKLY.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVAL OF EROSION CONTROL REMOVAL SHALL BE MAINTAINED WEEKLY.
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6. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVAL OF EROSION CONTROL REMOVAL SHALL BE MAINTAINED WEEKLY.
7. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVAL OF EROSION CONTROL REMOVAL SHALL BE MAINTAINED WEEKLY.
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9. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVAL OF EROSION CONTROL REMOVAL SHALL BE MAINTAINED WEEKLY.
10. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND APPROVAL OF EROSION CONTROL REMOVAL SHALL BE MAINTAINED WEEKLY.

DRAINAGE AREA	AREA (SQ. FT)	AREA (ACRES)
DA-1	2,307	0.05
DA-2	13,454	0.31
DA-3	10,111	0.23
DA-4	8,334	0.19
DA-5	15,574	0.35
DA-6	4,932	0.11
DA-7	55,550	1.27
TOTAL		



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REVISION	DATE	DESCRIPTION

BESSEMER CITY HOMES
 EROSION CONTROL PHASE 2
 610 S. DIXIE HWY. EXT. BESSERER CITY, NC 28815
 PROJECT MANAGER: M. K. BROWN
 PROJECT NO. 240541.000
 CHECKED BY: M. K. BROWN
 APPROVED BY: M. K. BROWN

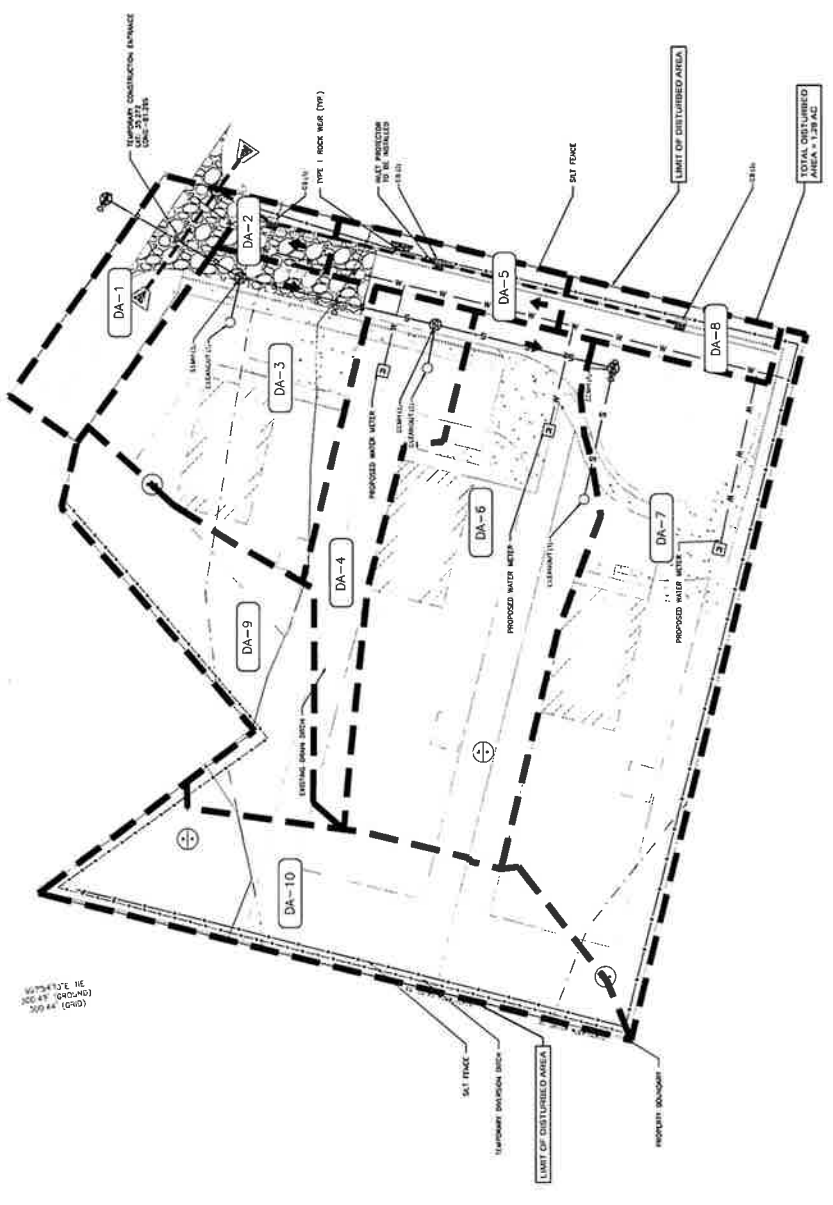
CES
 CIVIL
 ENGINEERING
 SURVEYING

11192624



Item 7.

C401



EROSION CONTROL LEGEND
 NOTE: NOT ALL ITEMS SHOWN IN LEGEND MAY SHOW ON PLAN

	ROCK WEIR TYPE 1
	ROCK WEIR TYPE 2
	ROCK RING
	TEMPORARY SWITZER
	TEMPORARY SLOPE BANK
	OVERLAND FLOW DIRECTION
	BATTLE BARRIER
	TURF REINFORCED ERODENT CONTROL FABRIC
	GEOTEXTILE FABRIC
	PROPOSED STORM SEWER
	PROPOSED STORM SEWER MANHOLE
	PROPOSED STORM SEWER CATCH BASIN
	PROPOSED STORM SEWER INLET
	PROPOSED STORM SEWER OUTLET
	PROPOSED STORM SEWER VALVE
	PROPOSED STORM SEWER MANHOLE ACCESS
	PROPOSED STORM SEWER VALVE ACCESS

SEE CO01 FOR CONSTRUCTION SEQUENCE AND NARRATIVE
 ALL CATCH BASIN PROTECTION WIRE AND STONE/SILT SACKS MUST BE MAINTAINED WEEKLY

ALL INLETS MUST BE INSCRIBED WITH FISH LOGO AND READ, "DUMP NO WASTE, DRAINS TO STREAM" OR EQUIVALENT APPROVED LANGUAGE

ALL EROSION CONTROL MEASURES SHALL BE REMOVED UPON SITE STABILIZATION AND APPROVAL OF EROSION CONTROL MEASURES. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND SEEDED

REGIONAL SEDIMENTATION CONTROL GENERAL NOTES
 1. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND SEEDED WEEKLY.
 2. ALL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE REGIONAL SEDIMENTATION CONTROL MANUAL.
 3. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND SEEDED WEEKLY.
 4. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND SEEDED WEEKLY.
 5. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND SEEDED WEEKLY.
 6. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND SEEDED WEEKLY.
 7. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND SEEDED WEEKLY.
 8. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND SEEDED WEEKLY.
 9. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND SEEDED WEEKLY.
 10. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND SEEDED WEEKLY.

POST-CONSTRUCTION DRAINAGE AREAS	AREA (SQ. FT)	AREA (ACRES)
DA 1	2,943	0.06
DA 2	717	0.02
DA 3	5,913	0.16
DA 4	1,107	0.03
DA 5	1,827	0.04
DA 6	11,841	0.27
DA 7	17,499	0.38
DA 8	1,341	0.04
DA 9	3,384	0.12
DA 10	8,379	0.19
TOTAL	55,980	1.28

CALL 1-800-632-6949
 North Carolina One-Call Center
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REVISION	DATE	DESCRIPTION

BESSMER CITY HOMES
 EROSION CONTROL DETAILS
 333 S SPRING DR, BESSMER CITY, NC 27815
 333 S SPRING DR, BESSMER CITY, NC 27815
 PROJECT NUMBER: 20041000
 PROJECT START: NOV 2004
 CHECKED BY: KEM
 DRAWN BY: KEM

CES CIVIL SURVEYING
 1000 W. HARRIS ST.
 SUITE 100
 WARRINGTON, NC 27888
 919-853-1234

111192026

C410

Item 7.

EROSION CONTROL

DESIGNING A TEMPORARY MEASURE OF EROSION CONTROL IS THE FIRST STEP IN THE EROSION CONTROL PROCESS. THE MEASURE SHOULD BE DESIGNED TO PREVENT EROSION FROM OCCURRING UNTIL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE. THE MEASURE SHOULD BE DESIGNED TO PREVENT EROSION FROM OCCURRING UNTIL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE. THE MEASURE SHOULD BE DESIGNED TO PREVENT EROSION FROM OCCURRING UNTIL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE.

FRONT VIEW OF FENCE
 CROSS-SECTION VIEW AT POST TRENCH

EC001 INLET PROTECTION

INSTALLATION: A SUFFICIENT NUMBER OF INLET PROTECTIONS SHOULD BE INSTALLED AT THE POINTS WHERE EROSION CONTROL MEASURES ARE TO BE INSTALLED. THE INLET PROTECTION SHOULD BE DESIGNED TO PREVENT EROSION FROM OCCURRING UNTIL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE.

FRONT VIEW OF FENCE
 CROSS-SECTION VIEW AT POST TRENCH

EC002 SILT FENCE

INSTALLATION: A SUFFICIENT NUMBER OF SILT FENCES SHOULD BE INSTALLED AT THE POINTS WHERE EROSION CONTROL MEASURES ARE TO BE INSTALLED. THE SILT FENCE SHOULD BE DESIGNED TO PREVENT EROSION FROM OCCURRING UNTIL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE.

FRONT VIEW OF FENCE
 CROSS-SECTION VIEW AT POST TRENCH

Item 7.

TEMPORARY DIVERSION DITCH

INSTALLATION: A SUFFICIENT NUMBER OF TEMPORARY DIVERSION DITCHES SHOULD BE INSTALLED AT THE POINTS WHERE EROSION CONTROL MEASURES ARE TO BE INSTALLED. THE DIVERSION DITCH SHOULD BE DESIGNED TO PREVENT EROSION FROM OCCURRING UNTIL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE.

FRONT VIEW OF FENCE
 CROSS-SECTION VIEW AT POST TRENCH

TEMPORARY CONSTRUCTION ENTRANCE

INSTALLATION: A SUFFICIENT NUMBER OF TEMPORARY CONSTRUCTION ENTRANCES SHOULD BE INSTALLED AT THE POINTS WHERE EROSION CONTROL MEASURES ARE TO BE INSTALLED. THE CONSTRUCTION ENTRANCE SHOULD BE DESIGNED TO PREVENT EROSION FROM OCCURRING UNTIL PERMANENT EROSION CONTROL MEASURES ARE IN PLACE.

FRONT VIEW OF FENCE
 CROSS-SECTION VIEW AT POST TRENCH

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FRONT VIEW OF FENCE
 CROSS-SECTION VIEW AT POST TRENCH

Item 7.

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FRONT VIEW OF FENCE
 CROSS-SECTION VIEW AT POST TRENCH

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FRONT VIEW OF FENCE
 CROSS-SECTION VIEW AT POST TRENCH

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FRONT VIEW OF FENCE
 CROSS-SECTION VIEW AT POST TRENCH

Item 7.



REVISION	
DATE	

PROJECT NO. 2024M-000
 PROJECT LOCATION
 810 S BRIDGE ST. EXTENSION
 BESSMER CITY, NC 27016
 CIVIL ENGINEERING
 BESSMER CITY HOMES
 GROUND STABILIZATION AND MATERIALS HANDLING



C412

Item 7.

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCGO1 CONSTRUCTION GENERAL PERMIT
 Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCGO1 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes (H-QW) Zones	7	None
(b) High Quality Water (H-QW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10:1 or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION
 Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Apply temporary grass seed Approximately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Apply hydroseeding as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent planting covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolling terrain control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS
 1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
 2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
 3. Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
 4. Provide ponding area for containment of treated stormwater before discharging offsite.
 5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

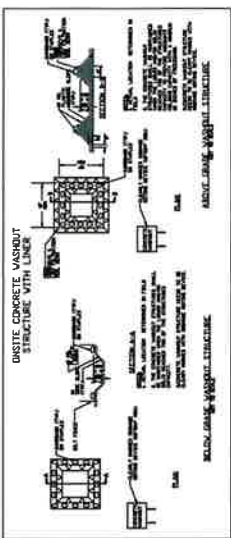
EQUIPMENT AND VEHICLE MAINTENANCE
 1. Maintain vehicles and equipment to prevent discharge of fluids.
 2. Provide drip pans under any stored equipment.
 3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
 4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
 5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
 6. Bring used fuels, lubricants, coolants, hydraulic fluids, and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE
 1. Never bury or burn waste. Place litter and debris in approved waste containers.
 2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
 3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
 4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
 5. Cover waste containers at the end of each workday and before storm events or other secondary containment. Repair or replace damaged waste containers.
 6. Anchor all lightweight items in waste containers during times of high winds.
 7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
 8. Dispose waste off-site at an approved disposal facility.
 9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE
 1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
 2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
 3. Contain liquid wastes in a controlled area.
 4. Containment must be labeled, sized and placed appropriately for the needs of site.
 5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS
 1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation or portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
 2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
 3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT
 1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
 2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
 3. Provide stable stone access point when feasible.
 4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS
 1. Do not discharge concrete or cement slurry from the site.
 2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
 3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
 4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
 5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
 6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
 7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
 8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
 9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
 10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES
 1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
 2. Store herbicides, pesticides and rodenticides in their original containers with the label which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
 3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
 4. Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE
 1. Create designated hazardous waste collection areas on-site.
 2. Place hazardous waste containers under cover or in secondary containment.
 3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

EFFECTIVE: 04/01/19

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

C412

EFFECTIVE: 04/01/19

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING



CIVIL ENGINEER
ROBERT D. COKER
No. 11183
State of North Carolina
EXPIRES 12/31/2019

SELF-INSPECTION, RECORD KEEPING AND REPORTING
BESSEMER CITY HOMES
PROJECT NO. 20241200
APPROVED BY: [Signature]
DATE: [Blank]
PROJECT START: 1/19



**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION C: REPORTING

1. Occurrences that must be reported
- (a) Visible sediment deposition in a stream or wetland.
 - (b) Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).

- (a) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (b) Anticipated bypasses and unanticipated bypasses.
- (c) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> • Within 24 hours, on oral or electronic notification • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. • Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(b)(1) as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state-impaired waters condition. • The report shall include information about the date, time, nature, volume and location of the spill or release.
(b) Oil spills and hazardous substances per item (b)(1)-(c) above	<ul style="list-style-type: none"> • A report at least ten days before the date of the bypass, if possible • The report shall include an evaluation of the anticipated quality and effect of the bypass. • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the anticipated quality and effect of the bypass. • Within 24 hours, an oral or electronic notification • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. (40 CFR 122.41(i)(6) CFR 122.41(i)(7)) • Division staff may waive the requirement for a written report on a case-by-case basis.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation
The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the completion of the installation. E&SC Measures are modified after initial installation.
(b) A phase of grading has been completed	Initial and date a copy of this approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase
(c) Ground cover is located and installed in accordance with the approved E&SC Plan	Initial and date a copy of the approved E&SC report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC report to indicate the completion of the corrective action

2. Additional Documentation

- In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:
- (a) This general permit as well as the certificate of coverage, after it is received.
 - (b) Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
 - (c) All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day or which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Report.

Inspection	Frequency (normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order.	Daily	Daily rainfall amounts If no daily rain gauge observations are made during wetness or if no daily rain gauge observations are made during wetness or if no daily rain gauge observations are made during wetness, the permittee may use another rain-measuring device instead of a rain gauge. Days on which no rainfall occurred shall be recorded as "zero". The permittee may use another rain-measuring device instead of a rain gauge.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of any storm event > 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Description of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description, nature, and date of corrective actions taken.
(3) Stormwater outfalls (SOW)	At least once per 7 calendar days and within 24 hours of any storm event > 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Name of the person performing the inspection. 3. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 4. Identification, nature, and date of corrective actions taken. 5. Identification of the person performing the inspection.
(4) Stormwater spill	At least once per 7 calendar days and within 24 hours of any storm event > 1.0 inch in 24 hours	If visible sedimentation is found outside spill limits, when a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the spill. 2. Description, evidence, and date of corrective actions taken, and an explanation as to the actions taken to control future releases.
(5) Stream or ditch or other water body (with accessible)	At least once per 7 calendar days and within 24 hours of any storm event > 1.0 inch in 24 hours	If the stream or wetland has increased turbidity, sedimentation or a visible sedimentation, the permittee shall record the condition activity, when a record of the following shall be made: 1. Description, evidence, and date of corrective actions taken, and an explanation as to the actions taken to control future releases. 2. Records on the required reports to the appropriate Division office per Part III, Section C, item 2(d) of this permit of this permit.
(6) Ground slab erosion measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm water management, completion of final grading, final grading, and final grading). 2. Documentation that the required ground stabilization measures have been provided within the required timeframes and in accordance with the permit conditions.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

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REVISION	DATE	DESCRIPTION

BESSEMER CITY HOMES
 WATER UTILITIES
 818 S SKYLAND DR. BESSEMER CITY NC 28018
 B SKANSKE CONSTRUCTION, LLC
 DESIGNED BY NEM
 DRAWN BY NEM
 PROJECT NUMBER 150
 PROJECT START 150

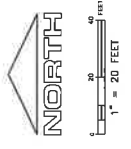
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 CIVIL
 MECHANICAL
 ELECTRICAL
 PLUMBING
 SURVEYING

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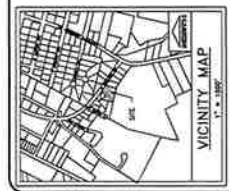
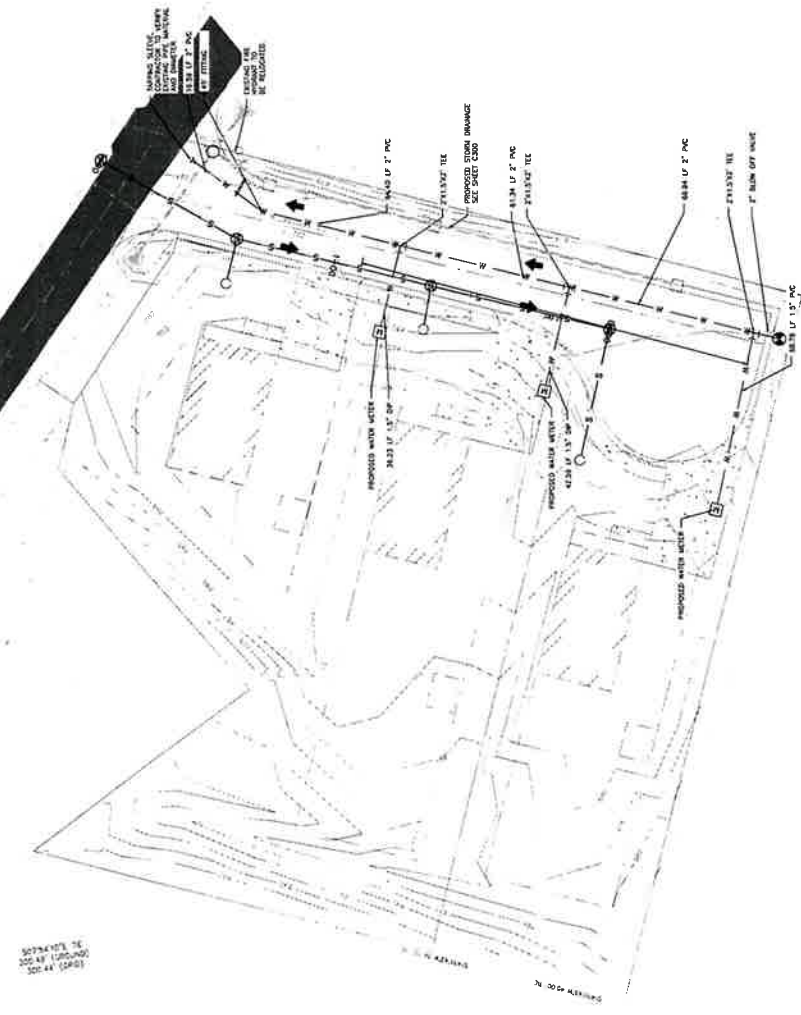
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Item 7.



S. SKYLAND DRIVE
 S.R. 1304
 20' WIDE
 20' WIDE
 20' WIDE



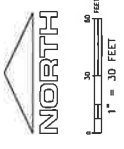
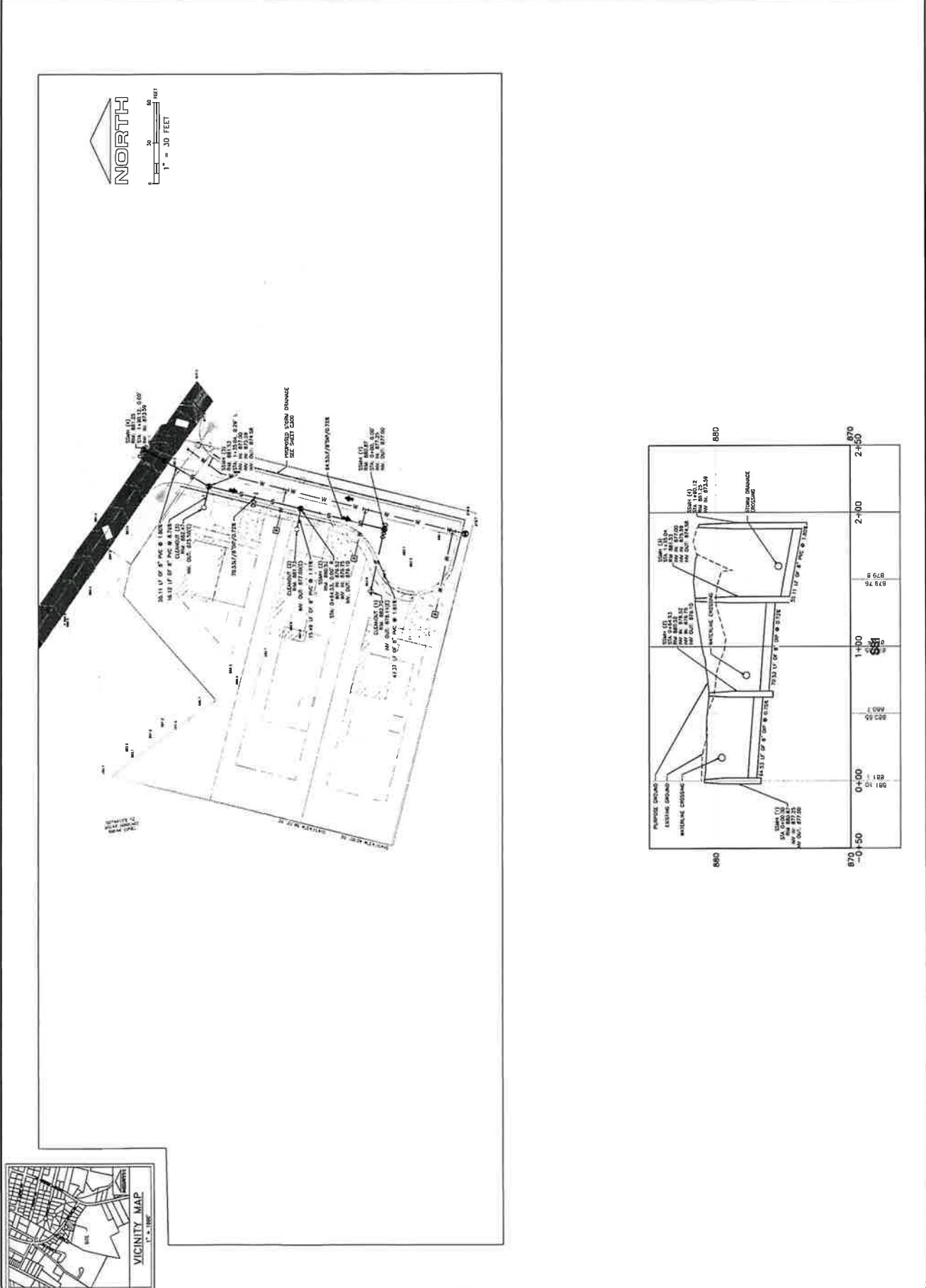
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REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 STATE OF NORTH CAROLINA
 EXPIRES 12/31/2024
 111562024

BESSEMER CITY HOMES
 SANITARY SEWER PROFILE
 3142 S. SPANGLER DR., BESSEMER CITY, NC 28018
 3 SHARPE CONSTRUCTION, LLC
 PROJECT MANAGER: NIK
 PROJECT NO: 202411000
 CHECKED BY: NIK

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1-800-832-4549

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REVISION	DATE	DESCRIPTION

BESSEMER CITY HOMES

UTILITY DETAILS 1

412 S. PARKWAY DR., BESSERER CITY, NC 27804

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PROJECT NUMBER: 08-26200

DATE: 08/26/08

DESIGNED BY: KIM

DRAWN BY: KIM

CES

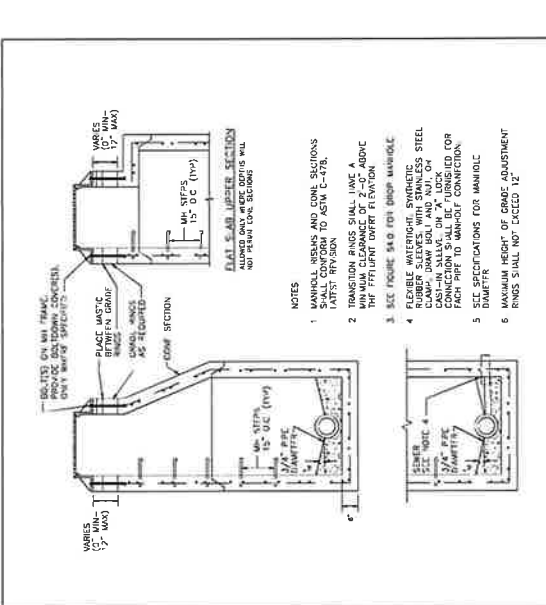
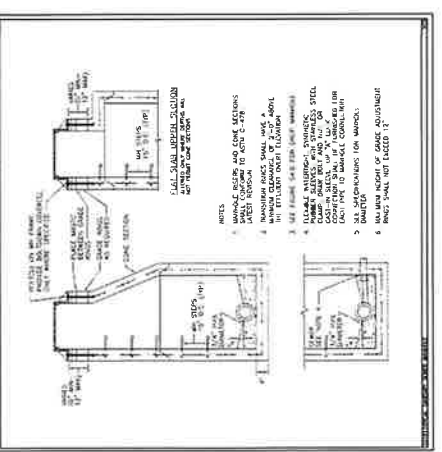
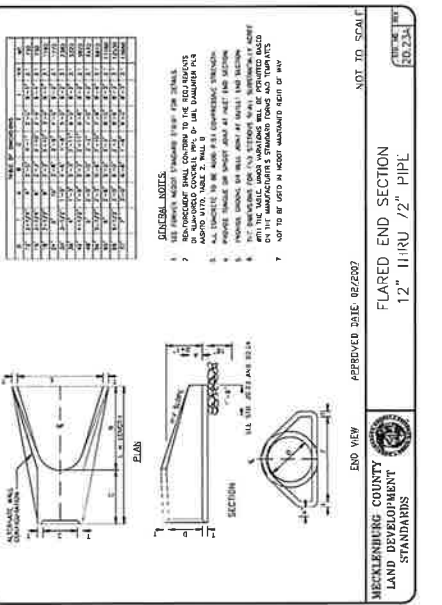
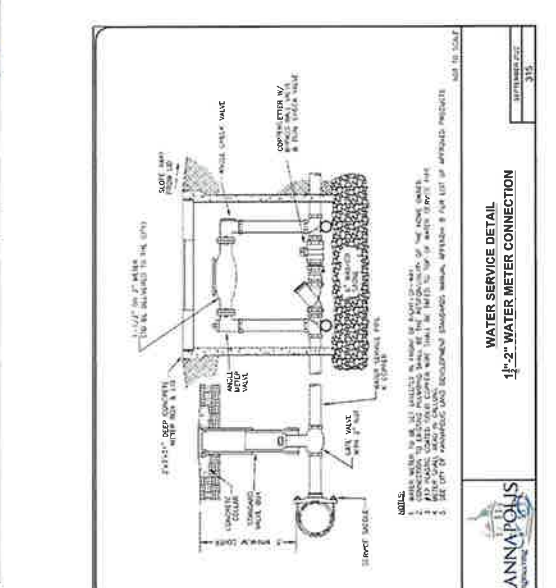
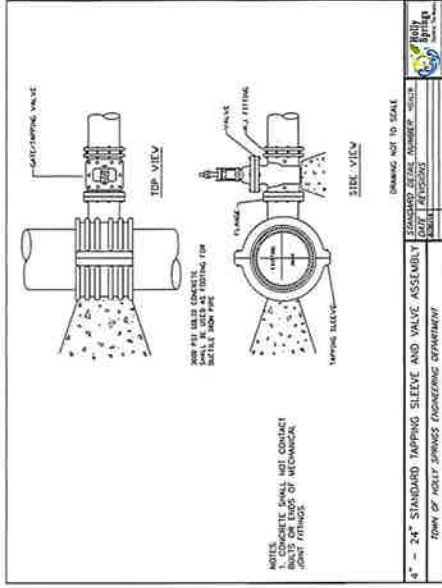
CONSTRUCTION SERVICES

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C62A

Item 7.



C621



CES
 CIVIL
 CONSULTING
 SURVEYING
 ENGINEERING
 1000 W. HARRIS STREET
 WARRINGTON, VA 22090
 LICENSE # 35089
 JAMES CONSTRUCTION, LLC
 LICENSEE'S SEAL

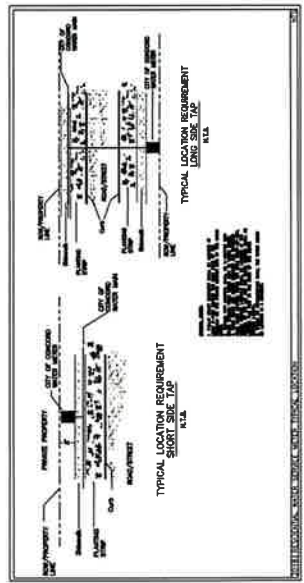
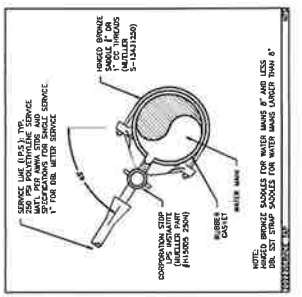
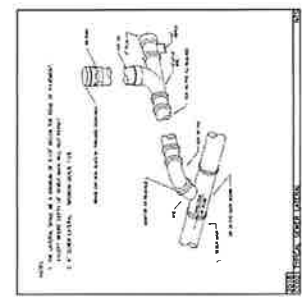
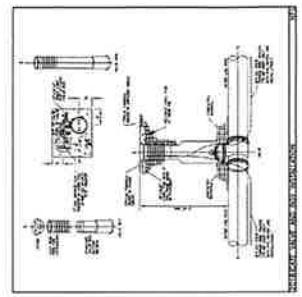
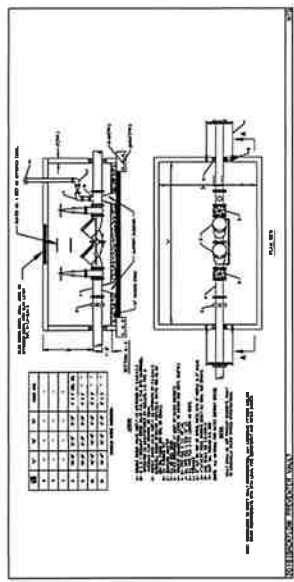
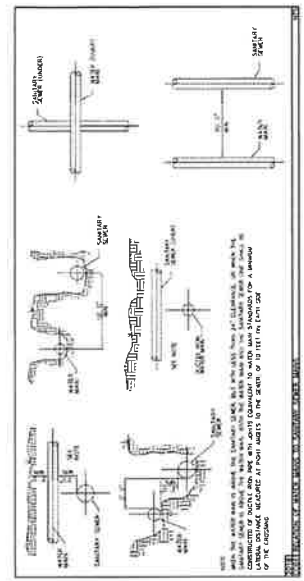
BESSEMER CITY HOMES
 UTILITY DETAILS II

340 S WYLAND DR, BESSER CITY NC 28018
 9 BANKS CONSTRUCTION, LLC

DESIGNED BY: JKH
 DRAWN BY: JKH
 PROJECT NO: 24041.000
 PROJECT MANAGER: JKH
 APPROVED BY: JKH

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REVISION	DATE	DESCRIPTION



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PERSON	DATE	DESCRIPTION

BESSEMER CITY HOMES
 LANDSCAPING PLAN
 310 S SKYLAND DR. BESSEMER CITY NC 28018
 3 SHARPS CONSTRUCTION, LLC
 ARCHITECT OF RECORD
 PROJECT NUMBER: 2024/1000
 DRAWN BY: JMC
 CHECKED BY: JMC
 PROJECT START: N/A
 PROJECT END: N/A

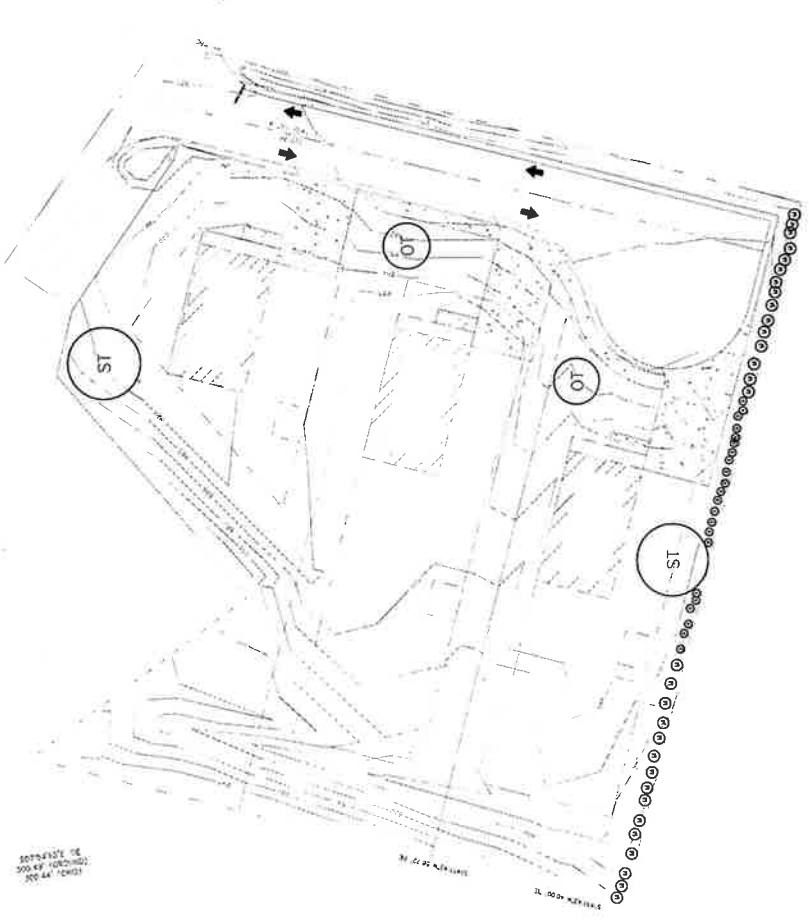
CES
 CIVIL
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 PROFESSIONAL SURVEYOR
 STATE OF NORTH CAROLINA
 EXPIRES 12/31/2024
 11192024



L100

Item 7.

S. SKYLAND DRIVE
 S.R. 1504
 2017773 00
 2017773 00
 2017773 00



PLANTING LEGEND

- ST SHADE TREE (TYP)
- OT ORNAMENTAL TREE (TYP)
- M MEDIUM SHRUB (TYP)

CLASSIFICATION	MINIMUM CALIPER	MINIMUM HEIGHT
SHADE TREE	2 - 2 1/2 INCHES	10 - 12 FEET
ORNAMENTAL TREE	1 1/2 - 2 INCHES	6 - 8 FEET
MEDIUM SHRUB	MINIMUM HEIGHT OF 3 - 3 1/2 FEET	MINIMUM HEIGHT AND/OR SPREAD OF 24 - 35 INCHES
MINIMUM HEIGHT AND/OR SPREAD	18 - 24 INCHES	

ISSUED AND SHALL NOT BE ENT.

Call BEFORE you Dig!
 1-800-632-4949
 CHL 1-800-632-4949
 North Carolina One-Call Center

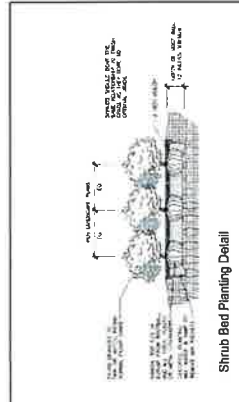
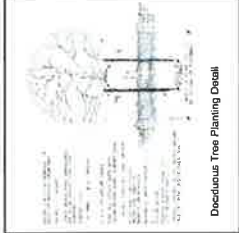
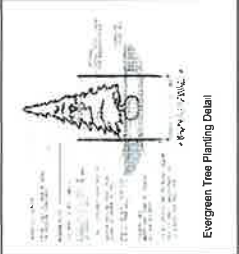
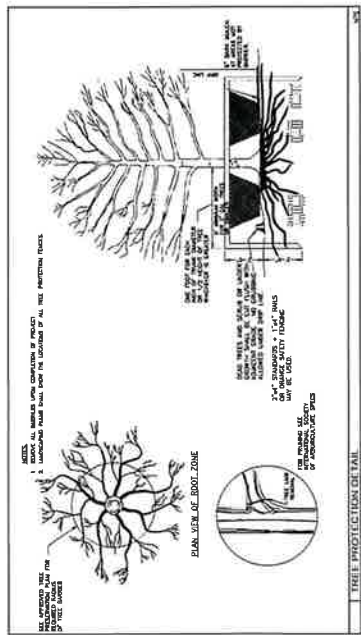
NO	DESCRIPTION	DATE	BY

LANDSCAPING DETAIL
 BESSMER CITY HOMES
 819 S. SPYGLASS BL. BESSMER CITY, NC 28016
 PROJECT MANAGER: NEW
 ARCHITECT: HOK
 CHECKED BY: NEW

CES
 CIVIL
 SURVEYING
 1000 W. HICKORY ST. SUITE 200
 WELLSVILLE, NC 28691
 PHONE: (704) 738-2000
 FAX: (704) 738-2001
 EMAIL: info@cesnc.com
 LICENSE NO. 35842

PLANNING
 1118 2024

L110
 Item 7.



GENERAL REQUIREMENTS:

- MINIMUM DIMENSIONS SHALL APPLY AND BE MAINTAINED HORIZONTALLY.
- LANDSCAPING AS REQUIRED WITH A PLANTING HOLE SHALL BE COUNTED FOR ONLY THAT PLANTING HOLE.
- PLANTING HOLE SHALL BE 3 TIMES THE CALIPER OF THE PLANT.
- WHEN CALCULATING POUNDS, FRACTIONS SHALL BE ROUNDED TO THE NEAREST WHOLE NUMBER.

PLANT REQUIREMENTS:

SHRUB TREE
 A LARGE TREE GROWING TO A HEIGHT OF 40 FT. OR MORE AT MATURITY, USUALLY DECIDUOUS, CHARACTERIZED BY ITS HEIGHT TO FORMER BRANCHES.
 A SMALL TO MEDIUM TREE, GROWING TO A MATURE HEIGHT OF 2 TO 20 FT., CHARACTERIZED BY ITS HEIGHT TO FORMER BRANCHES, A MINIMUM CALIPER OF 1 1/2 INCHES AND A MINIMUM HEIGHT OF 10 TO 12 FEET.

ORNAMENTAL TREE
 A SMALL TO MEDIUM TREE, GROWING TO A MATURE HEIGHT OF 15 TO 40 FT., CHARACTERIZED BY SPECIFIC AESTHETIC QUALITIES SUCH AS COLORING, INTERESTING BARK OR BRILLIANT FALL FOLIAGE.

LARGE SHRUB
 AN UPRIGHT PLANT GROWING TO A MATURE HEIGHT OF MORE THAN 8 FT., FOR USE AS NATURAL ORNAMENTATION OR SCREEN.

MEDIUM SHRUB
 AN UPRIGHT PLANT GROWING TO MATURE HEIGHT OF 4 TO 8 FT.

SMALL SHRUB
 AN UPRIGHT PLANT GROWING TO A MATURE HEIGHT OF LESS THAN 4 FT.

GROUND COVER (ORGANIC)
 ANY PLANT COVERING THE GROUND WITH A MAT OF DECIDUOUS AND EVERGREEN SHRUBS IS ENCOURAGED IN ORDER TO OBTAIN A VARIETY OF COLOR AND TEXTURE THROUGHOUT THE YEAR.

GROUND COVER (INDICATED)
 ANY PLANT COVERING THE GROUND WITH A MAT OF DECIDUOUS AND EVERGREEN SHRUBS IS ENCOURAGED IN ORDER TO OBTAIN A VARIETY OF COLOR AND TEXTURE THROUGHOUT THE YEAR. PLANTS SHALL PROVIDE 100 PERCENT COVERAGE. ORGANIC MULCH MAY BE USED AROUND PLANTINGS TO MAINTAIN SOIL MOISTURE AND PREVENT THE GROWTH OF WEEDS. MULCH SHALL BE APPLIED TO THE SOIL SURFACE TO A DEPTH OF 2 INCHES. MULCH MAY BE USED PROVIDED IT DOES NOT EXCEED 20 PERCENT COVERAGE OF THE REQUIRED LANDSCAPE PLANTING AREA.

LANDSCAPING NOTES:

- CONCORD ORDINANCE SHALL SUPERSEDE AN ON-SITE MEETING WITH THE CITY ARBORIST BEFORE INSTALLATION OF ANY PLANT MATERIAL.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE ANSI STANDARD FOR TREE SPACING AND THE ANSI STANDARD FOR TREE SPACING.
- ALL PLANT STOCK SHALL COMPLY WITH THE CURRENT EDITION OF ANSI Z601 AMERICAN STANDARD FOR TREE SPACING.
- ALL PLANTING AREAS SHALL MEET THE REQUIREMENTS OF THE CONCORD DEVELOPMENT ORDINANCE.
- ARTICLE 11.5 AND TECHNICAL STANDARDS ARTICLE 11.5.1.1.1 SHALL APPLY TO ALL PLANTING AREAS.
- UNUTILIZED AREAS SHALL BE LOCATED BEFORE PLANTING.
- HYDRANTS AND UTILITY APPURTENANCES NO TREES SHALL BE PLANTED WITHIN 75' OF A STOP SIGN, STREET LIGHTING, TRAFFIC SIGNALS, AND SIGN TRIANGLES. 5' CLEARANCE FROM ALL STREET LIGHT POLES OR TREES LOCATED WITHIN SIGN TRIANGLES. 15' CLEARANCE FROM ALL STREET LIGHT POLES.
- ANY PROPOSED REDUCTION OF THE APPROVED PLANTING PLAN OR PLANT SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE CITY ENGINEER.
- ALL TREES AND THEIR PLANTED LOCATION SHALL BE INSPECTED BY CITY STAFF BEFORE APPROVAL. ANY REJECTED TREES SHALL BE REPLACED WITHIN 30 DAYS OF THE DATE OF REJECTION.
- ANY PROPOSED PRIVATE IRRIGATION MAY BE INSTALLED BUT SHALL NOT RUN PARALLEL WITH UTILITY LINES. IRRIGATION SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY ENGINEER.
- CONCORD CODE OF ORDINANCE CHAPTER 62, SECTION 62-164.

EROSION CONTROL NOTES:

TEMPORARY EROSION CONTROL - SEEDING PREPARATION

- SURFACE WATER CONTROL MEASURES TO BE INSTALLED ACCORDING TO THE CITY ENGINEER'S SPECIFICATIONS.
- AREAS TO BE SEEDED SHALL BE REPEATED AND SPREAD WITH AVAILABLE SEED. A 3" DEEP TIDAL SEEDBED PREPARED DEPTH SHALL BE 4" TO 8" DEEP.
- PROVIDE MULCH TO THE POINTS WHERE MULCH WILL NOT INTERFERE WITH RELOADED SEED. MULCH SHALL BE APPLIED TO THE POINTS WHERE MULCH WILL NOT INTERFERE WITH RELOADED SEED.
- REASONABLY SMOOTH AND UNIFORM SURFACES AND LAKE TO BE ACCORDING TO THE CITY ENGINEER'S SPECIFICATIONS. IN ADDITION, PROVIDE 15 LBS/1000 SQ FT OF SEEDING SPECIFICATIONS SHOWN.
- SOIL TEST IS TAKEN, PROVIDE LIME AND FERTILIZER ACCORDING TO THE CITY ENGINEER'S SPECIFICATIONS.
- LIME & FERTILIZER SHALL BE APPLIED UNIFORMLY & MIXED WITH THE SEED. MULCH SHALL BE APPLIED UNIFORMLY & MIXED WITH THE SEED. MULCH SHALL BE NO GREATER THAN THE MAXIMUM ALLOWED MULCH DEPTH SPECIFIED FOR THE SEEDING SPECIFICATIONS.
- STRUCTURES IN ANY DRAINAGE SLOPES LEFT EXPOSED SHALL WITHIN 14 DAYS BE COVERED WITH MULCH TO PREVENT EROSION. MULCH SHALL BE APPLIED TO THE ENTIRE AREA TO BE SEEDING.
- GROUND COVER, WEEDKILLER AND COSMETIC ACTIVITY IS UNDERTAKEN CONTINUOUSLY ON THAT PORTION OF THE TRACT UPON WHICH THE SEEDING IS TO BE UNDERTAKEN.
- SEEDING SHALL BE UNDERTAKEN WITHIN 14 DAYS OF THE DATE OF THE TRACT UPON WHICH THE SEEDING IS TO BE UNDERTAKEN.
- FURTHER ACTIVE CONSTRUCTION IS NOT BEING UNDERTAKEN BEYONDING THE SEEDING AREA.
- ON FIELD CONDITIONS, MULCH SHALL BE APPLIED TO THE SEEDING AREA DOWN WITHIN ONE DAY AFTER MULCH IS SPREAD.
- SEEDING SHALL BE UNDERTAKEN WITHIN 14 DAYS OF THE DATE OF THE TRACT UPON WHICH THE SEEDING IS TO BE UNDERTAKEN.
- UNTIL PROJECT IS COMPLETED.

WQ100

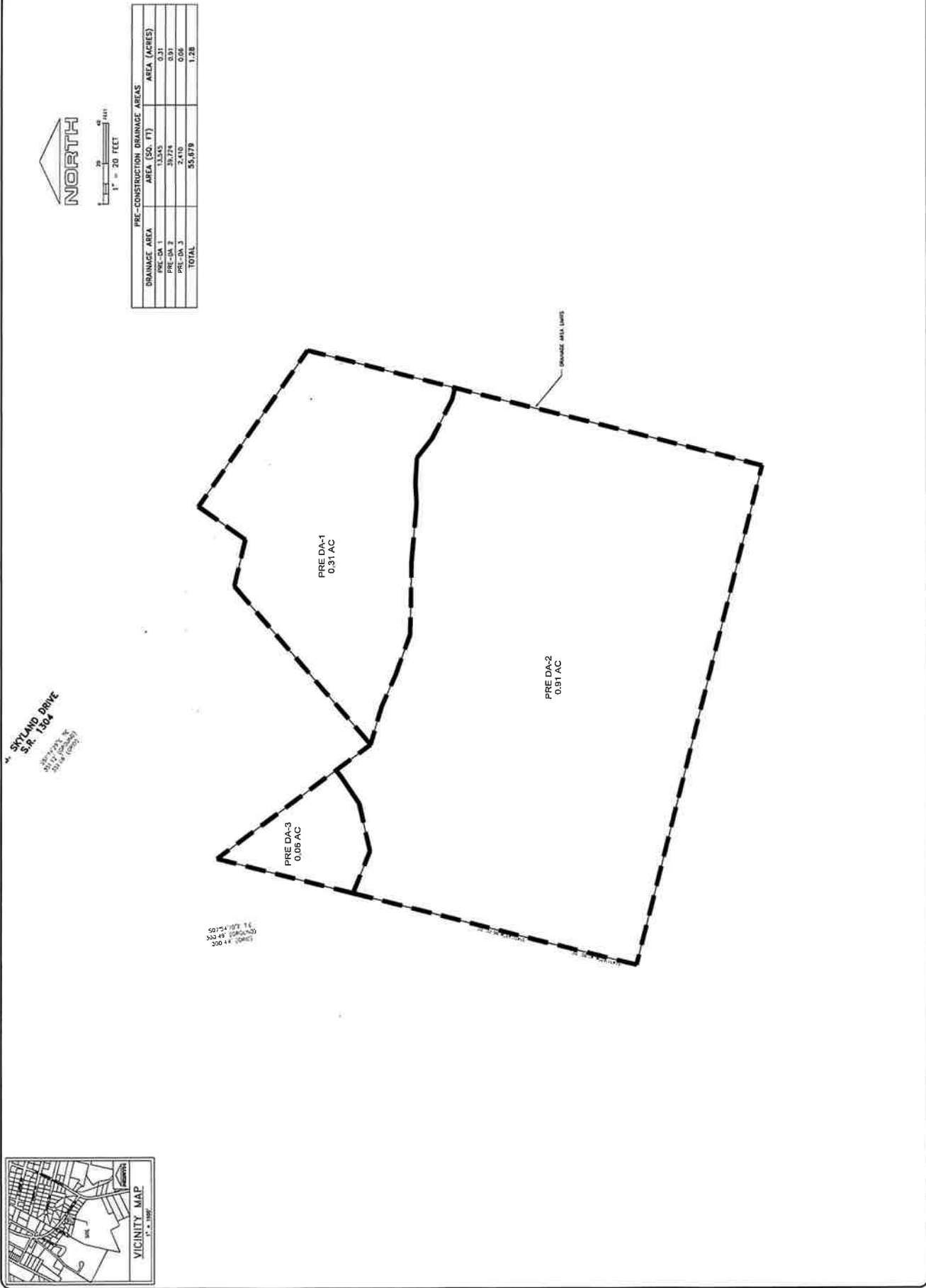


CES
 CIVIL
 ENVIRONMENTAL
 SURVEYING
 ENGINEERS, INC.
 1000 W. ...
 ...
 ...

BESSEMER CITY HOMES
 PRE-DEVELOPMENT DRAINAGE BASIN MAP
 818 S SKYLARK DR. BESSERER CITY, NC 28018
 © SKANSKE CONSTRUCTION, LLC
 PROJECT MANAGER: ...
 PROJECT START: ...
 PROJECT END: ...

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 CALL 1-800-632-4199
 CALL BEFORE YOU DIG!
 ...

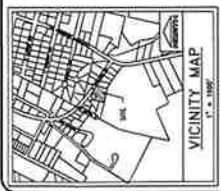
PERSON	DATE	DESCRIPTION



PRE-CONSTRUCTION DRAINAGE AREAS

DRAINAGE AREA	AREA (SQ. FT)	AREA (ACRES)
PRE-DA 1	11,524	0.31
PRE-DA 2	39,774	0.91
PRE-DA 3	2,410	0.06
TOTAL	55,679	1.28

SKYLARK DRIVE
 S.R. 1504
 ...



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DATE	
DESCRIPTION	

BESSEMER CITY HOMES
POST-DEVELOPMENT DRAINAGE BASIN MAP

810 S. SKYLAND DR., BESSERER CITY, NC 28018
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PROJECT NO. 24024.1000
PROJECT NAME: BHS
DATE: 01/18/2024

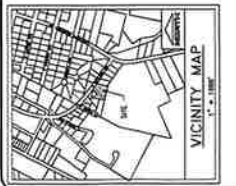
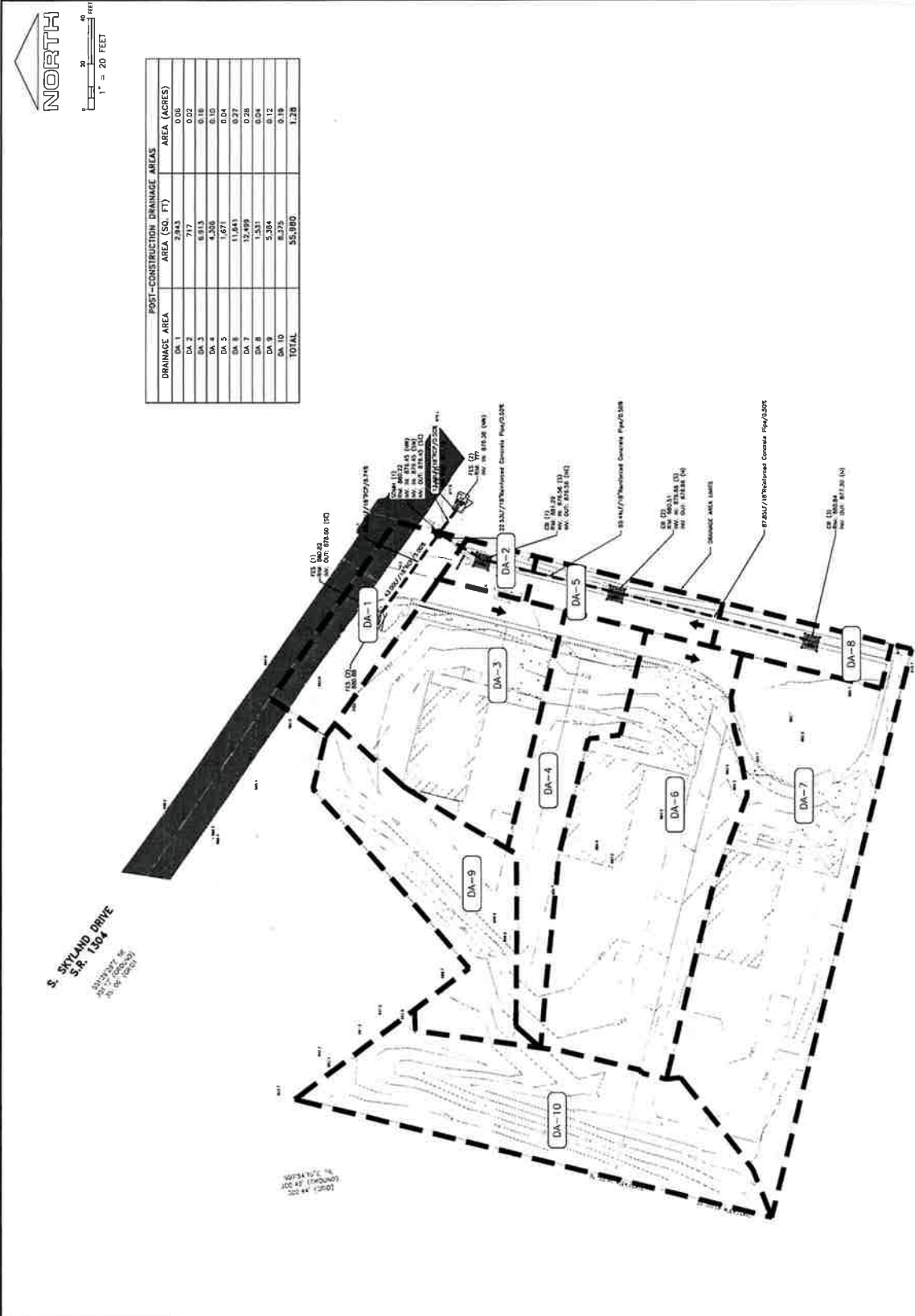
CIESO
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SURVYING

11118/2024



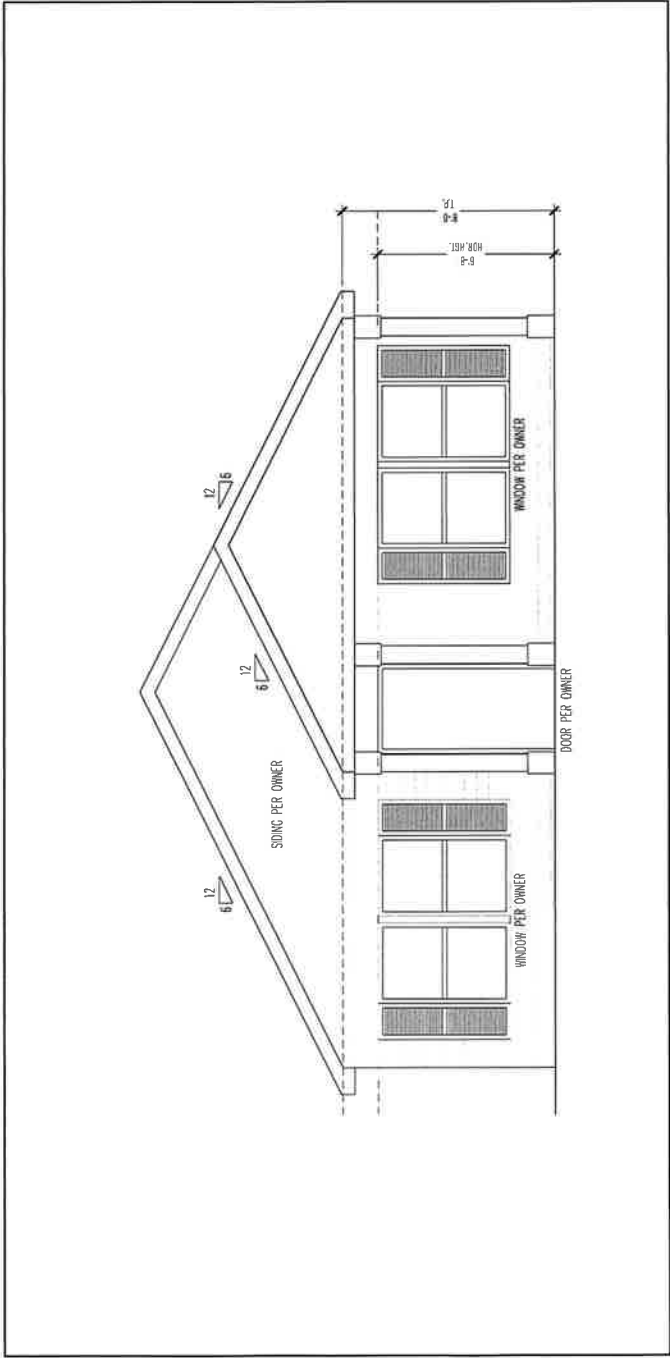
WQ101

Item 7.



SCALE ISSUED AND
APPROVED FOR
CONSTRUCTION
DRAWINGS SHALL NOT BE
USED FOR ANY OTHER
PURPOSES.

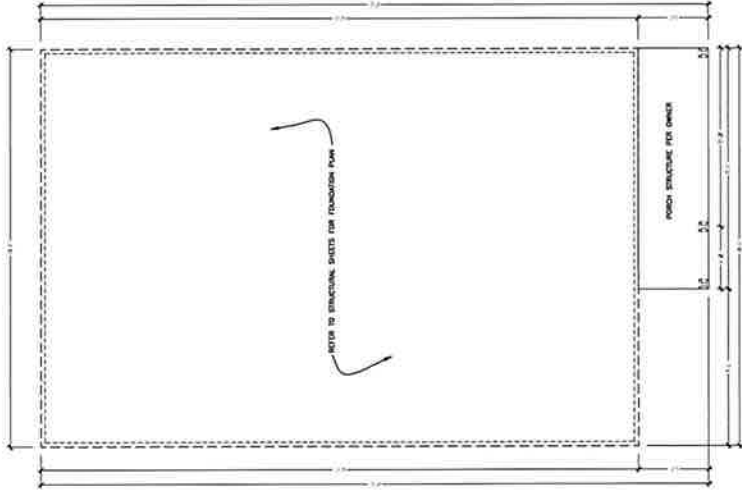
CONTRACTOR LOGO		Savage Land Company RESIDENCE		NEW CONSTRUCTION	
DRAWING ISSUED FOR CONSTRUCTION		RESUBMIT		FILE NAME 121028-A-0	
DATE 6/9/2021		PROJECT NUMBER 121028		SHEET TITLE	
TITLE PAGE		SHEET		A-0	
DESIGNED BY: VALUERE LEED					



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Savage Land Company Build

CONTRACTOR LOGO	Savage Land Company RESIDENCE	NEW CONSTRUCTION	DRAWING ISSUED FOR CONSTRUCTION
	RESIDENTS		
FILE NAME	121028A-02	DATE	6/8/2021
PROJECT NUMBER	131028	SHEET TITLE	FOUNDATION PLAN
SHEET			A-0.2
DESIGNED BY: WILLIAM LEROY			



1
1/4" = 1'-0"

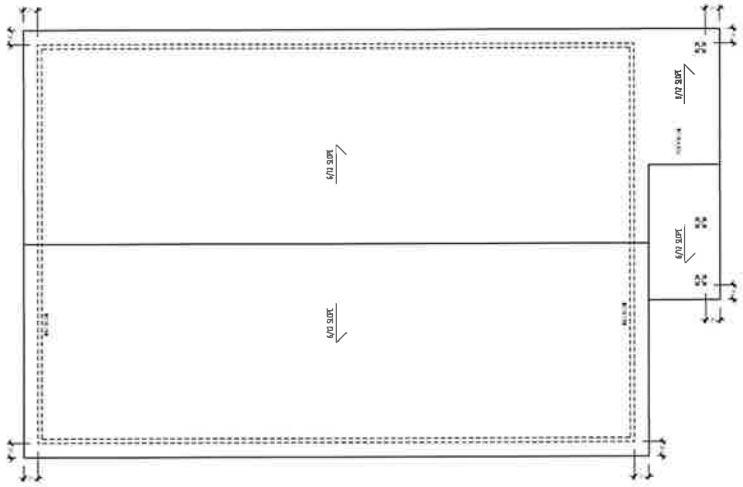
PROPOSED FOUNDATION PLAN

AREA CALCULATIONS

DESCRIPTION	AREA	PERIMETER
NEW CONCRETE AREA 1ST FLOOR	4,176	130.8
NEW FOUNDATION AREA 1ST FLOOR	4,176	130.8

*****NOTE: ALL DIMENSIONS, DOOR/WINDOW LOCATIONS & SIZES, & MATERIAL SELECTION TO BE FIELD VERIFIED & APPROVED BY OWNER.*****

	NEW CONSTRUCTION	Savage Land Company RESIDENCE	DRAWING ISSUED FOR CONSTRUCTION
CONTRACTOR LOGO			
REVISIONS		FILE NAME: 121028-A-01	DATE: 6/8/2021
		PROJECT NUMBER: 121028	SHEET TITLE: 1ST FLOOR PLAN, ROOF PLAN
		SHEET: A-01	
DESIGNED BY: WILLIAM LED			

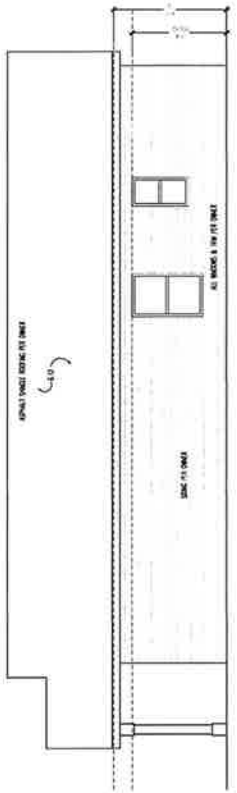


PROPOSED ROOF PLAN
SCALE 1/8" = 1'-0"

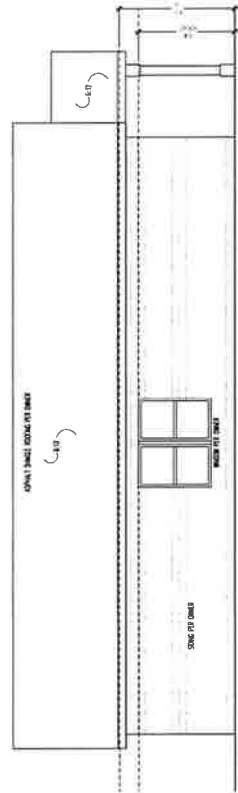
AREA CALCULATIONS			
DESCRIPTION	AREA	PERIMETER	TOTALS
1ST FLOOR	1,391	144	
2ND FLOOR	1,391	144	
TOTAL	2,782	288	

*****NOTE ALL DIMENSIONS, DOOR/WINDOW LOCATIONS & SIZES, & MATERIAL SELECTION TO BE FIELD VERIFIED & APPROVED BY OWNER.*****

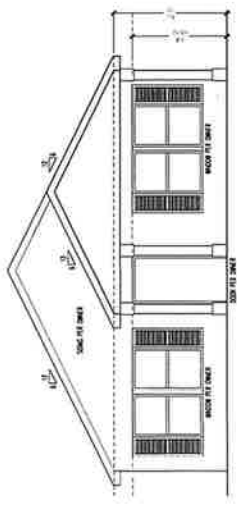
	NEW CONSTRUCTION	Savage Land Company RESIDENCE	
CONTRACTOR LOGO			
DRAWING ISSUED FOR CONSTRUCTION			
REVISIONS			
FILE NAME	121028-A-02		
DATE	6/8/2021		
PROJECT NUMBER	131028		
SHEET TITLE	PROPOSED ELEVATIONS		
SHEET			
A-02			
DESIGN BY: WILLIAM LEE			



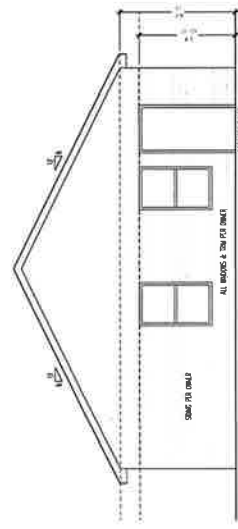
PROPOSED RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE 1/4" = 1'-0"

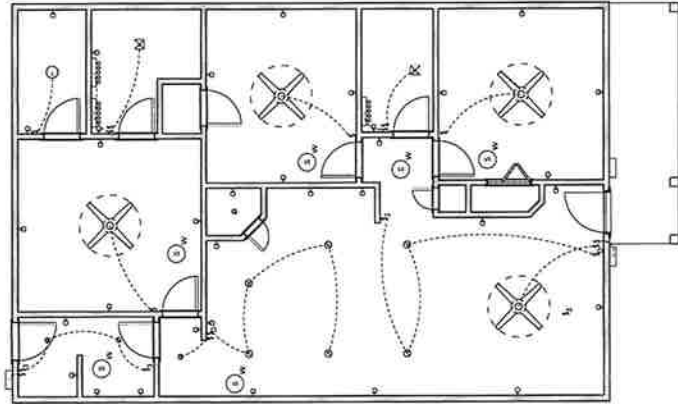
AREA CALCULATIONS

DESCRIPTION	AREA	PERIMETER
NEW UNCONDITIONED AREA 1ST FLOOR	1,341	1,341
NEW UNCONDITIONED AREA 2ND FLOOR	95	95
TOTALS	1,436	1,436

*****NOTE: ALL DIMENSIONS, DOOR LOCATIONS & SIZES, WINDOW LOCATIONS & SIZES, & EXTERIOR MATERIAL SELECTION TO BE FIELD VERIFIED & APPROVED BY OWNER.*****

GENERAL NOTES

1. ALL WORK PRODUCTS TO BE MARKED IN ACCORDANCE WITH NC 801.
2. REFER TO ALL SET DOCUMENTS FOR GENERAL NOTES.
3. SPECIFICATIONS, MATERIALS AND WARRANTY PROCEDURES FOR ALL CODE COMPLIANCE AND MANUFACTURER REQUIREMENTS WILL BE BASED ON THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND ANY OTHER APPLICABLE CODES.
4. TECHNICAL INFORMATION, INCLUDING THE PROJECT SPECIFICATIONS FOR MATERIALS, INFORMATION AND INFORMATION.
5. ALL EXISTING BUILDING ELEMENTS, INCLUDING EXISTING WALL LOCATIONS, SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
6. ALL EXISTING BUILDING ELEMENTS, INCLUDING EXISTING WALL LOCATIONS, FLOOR AND CEILING FINISHES, SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
7. FIELD MEASUREMENTS AND DIMENSIONS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK AND SHALL BE USED TO VERIFY THE ACCURACY OF THE DIMENSIONS SHOWN ON THIS DRAWING.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
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20. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.



Need For
FOR CONSTRUCTION

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No. _____ Date _____

Project No. 2313

Issue Date
07/30/2024

Sheet Title
ELECTRICAL PLAN

Sheet Number

E101

Item 7.

S2

NO.	DATE	DESCRIPTION



Residential Structures, P.C.
 Engineering and Design
 Charlotte 843-908-1774
 Charlotte 704-301-8521
 www.residentialstructurespc.com



STRUCTURAL ENGINEERING, INC.
 4505 UNIVERSITY BLVD.
 SUITE 100 CHARLOTTE, NC 28209
 TEL: 704-582-1500 FAX: 704-582-1501
 www.structuralinc.com

- FOUNDATION NOTES:**
1. ALL FOUNDATIONS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
 2. ALL FOUNDATIONS SHALL BE REINFORCED WITH THE USUAL NUMBER OF STIRS.
 3. ALL FOUNDATIONS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
 4. ALL FOUNDATIONS SHALL BE REINFORCED WITH THE USUAL NUMBER OF STIRS.
 5. SEE DETAILS FOR FOUNDATION SIZE AND REINFORCE.
 6. ALL FOOTINGS TO BEAR 8" BELOW GRADE (TYP).
- ROOF FINISHING NOTES:**
1. ALL ROOF FINISHING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 2. ALL ROOF FINISHING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 3. ALL ROOF FINISHING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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