



CITY COUNCIL WORK SESSION

City Council Chambers

Tuesday, January 28, 2025 at 3:00 PM

AGENDA

Call to Order

Department Head Reports

Discussion Items

- 1. Ordinance Amending Zoning Map:** City Council will consider approving an ordinance regarding a zoning map amendment for property located at tax parcel #211801 (1.35 acres) from Neighborhood Residential (NR) to Neighborhood Residential Conditional District (NR-CD) to accommodate the development of 3 single-family homes.
- 2. Audit Presentation:** Tony Brewer, CPA will address Council regarding the 2024 financial audit.

City Manager's Report

- 3. Agreement for Installation of Utilities (Meritage Homes):** City Council will consider approving an agreement with Meritage Homes of the Carolina's Inc. for a natural gas installation in the Meritage Home subdivision. Meritage Homes of the Carolina's has agreed to pay for all necessary labor, materials, permits, engineering studies, engineering opinions, reports, and any and all related goods or services necessary to install the infrastructure required to furnish natural gas to each home in the Subdivision.

Council General Discussion

Adjourn



132 W. Virginia Ave.
 Bessemer City, NC 28016
 (704) 629 – 5542 Ext. 1003

Staff Only:

Date Rec'd: _____
 Rec'd by: _____
 Case #: _____

LAND DEVELOPMENT APPLICATION FORM

1. Application Type	✓	Fee	✓	Fee
• Sketch Plan/Plat (Major Sub):	_____	_____	• Conditional Zoning (CZ)	800.00
• Preliminary Plat (Major Sub):	_____	_____	• Special Use Permit (SUP)	_____
• Final Plat (Major Sub):	_____	_____	• Text Amendment	_____
• Major Site Plan	_____	_____	• Minor Site Plan	_____
• Construction Documents:	_____	_____	• Minor Subdivision Plat	_____
• Recombination Plat	_____	_____	• General Re-zoning	_____
• Other: _____	_____	_____		
Fee Total:				800.00

2. Project Information

Date of Application: 10/25/2024 Name of Project: Bessemer City Homes

Location: 610 S Skyland Dr, Bessemer City 28016 Property Size (acres): 1.28 # of Units/Lots: 2

Current Zoning: NR Proposed Zoning: NR

Current Land Use: Vacant/Wooded Proposed Land Use: Single Family Homes

Tax Parcel Number(s): 218801 and 152587

Square Footage: 55680

3. Contact Information	
Owner, Applicant, or Developer <u>Five Holdings LLC</u>	Agent(s) (Engineer, Architect, Etc.) <u>Michael Cruse</u>
Address <u>301 McCullough Drive</u>	Address <u>P.O. Box 268</u>
City, State Zip <u>Charlotte, NC 28270</u>	City, State Zip <u>Concord, NC 28026</u>
Telephone <u>763-334-8694</u>	Telephone <u>704-786-5404</u>
Email <u>savageconstructionmn@gmail.com</u>	Email <u>michaelcruse@cesicgs.com</u>

4. The following items may also be required to be considered part of a complete application, please check all that apply on this list:

- Signed "Original" application**
- Project Fee(s)** – See Fee Schedule
- Written Summary/Description of Request** can be on company letterhead. Shall include requested use or uses, sq. feet of non-residential space, or density and number of units/lots for residential, or any other applicable information. For CZ's, must also describe any variations proposed from the Land Development Code
- Property Survey** (at least one copy), including existing buildings, topography, wetlands, streams, vegetation (trees over 18" in diameter), and other natural features.
- Site/sketch plan** (at least one copy), may contain multiple pages and must be drawn to scale by an engineer or landscape architect. Shall include locations of buildings and/or lots, streets, parking, proposed grading, landscaping/screening, open space, watershed/storm water information, associated storm water measures, and proposed utilities and lighting. Shall also include general information from adjoining lots
- Illustrative (color) site/sketch plan** for presentation purposes with same layers as described above
- Architectural elevations, Perspective Renderings, and Architectural Review Board Checklist** may include multiple pages and must be drawn to scale by an architect. Include all primary and accessory buildings (all building sides), an illustrative color package, and black and white w/dimensions. Other architectural elements/features of the site such as gazebos, trellis's, garden walls, retaining walls, or other items over 4-feet in height must also be included (NOT REQUIRED, BUT OPTIONAL FOR SINGLE-FAMILY RESIDENTIAL DEVELOPMENTS).
- Illustrative (color) elevations** for presentation purposes for all items described above, as well as perspective (3D) renderings and photograph examples
- Digital Files** of all items listed above

Last Update: 07/06/2021
10/24/2024

Signature:  Printed Name: Kaycee Campbell Date: _____

City of Bessemer City, North Carolina
General Rezoning Staff Report
CD 04-2024 | 610 S. Skyland Dr.

Planning Board Agenda Item November 4th, 2024
Planning Board Agenda Item December 2nd, 2024
City Council Agenda Item January 13th, 2025

Applicant:

Five Holdings, LLC (Michael Cruse)

Request:

To review and make a recommendation on the rezoning of PID 218801 and PID 152587 totaling 1.35 acres zoned Neighborhood Residential (NR) to Neighborhood Residential- Conditional District (NR-CD). The intent of the property owner is to be subdivided into three (3) lots for single-family homes.

Background Information:

The property requested for zoning map amendment is assigned by the Gaston County Tax Mapping Department with PID#s 218801 and 152587 and is approximately 1.35 acres in size. Both properties are currently owned by Five Holdings, LLC.

City staff begin discussions with Five Holdings, LLC representative earlier this year. Their first proposal included two (2) single-family homes and a duplex. The Bessemer City Land Development Code (LDC) would require the duplex only at a corner lot and entrances would have to face opposite streets. The developer chose to revise their plan to include three (3) single-family homes on a newly built street. Three (3) single family homes typically fall into a “minor subdivision” category; however, since this project will require the developer to extend a new street and utilities, the project is considered a “major subdivision” as defined in the Bessemer City Land Development Code (LDC).

The developer is seeking to rezoning this property as a conditional district since major subdivision requirements would include, but are not limited to, sidewalks and a green strip on all areas of the new street. The developer, as outlined in the attached packet, is requesting Relief (R) in the Bessemer City Land Development Code (LDC) from doing sidewalks on half of the new street and no green planting strip on the entire new street. Conditions (C) are outlined in “CD 04-2024 Reliefs and Conditions”.

Staff Recommendation:

Approve rezoning as requested with identified Conditions (C) recommended by the Planning Board.

Exhibits:

610 S. Skyland Ave. Rezoning Application Packet

Recommended Effective Date: January 13, 2025

Areas of Relief and Conditions of Approval

CD 04-2024 | 610 S. Skyland Drive (PID 152587 and 218801)

1. The proposed development shall follow the requirements of the City of Bessemer City Land Development Code with the added **Relief (R)** of:
 - a. Sidewalks- relief from installing sidewalk on one side of newly constructed street in front of the three (3) new single-family homes. The Bessemer City Land Development Code (LDC) requires sidewalks for Major Subdivisions on all areas of new streets. (Chapter 4, Section 4.5).
 - b. Green Strips- relief from installing a six-foot (6) green strip between the sidewalk and street. The Bessemer City Land Development Code (LDC) requires a six-foot (6) greens trip between the sidewalk and road for subdivisions (Chapter 3.3.J.).
2. The following **Conditions (C)** will be applied to the development and agreed to by the developer with the vote of the City of Bessemer City Council to approve the rezoning:
 - a. Connectivity to Park- developer shall install a pedestrian path that connects to the neighboring park (Bessemer City Park- Gaston County) beside of this major subdivision.
 - b. Design Standards- developer shall following the following design standards:
 - i. [list design standards]
 - c. Parking- developer shall include additional space for parking to accommodate up to four (4) vehicles on each lot. The LDC only requires two (2) spaces per lot.
3. All other requirements and standards stated within the City of Bessemer City Land Development Code (LDC) shall be followed.
4. The developer shall extend the City of Bessemer City water and sewer to and within the site, at their expense. The development will be served by City utilities: water and sewer.
5. All off-site utility easements, if necessary to provide utilities to the site, must be obtained by the developer, at their expense, prior to approval of construction plans, issuance of permits, or commencement of construction.
6. Conditional Zoning approval is valid for a period of twenty-four (24) months from the date of approval.

Dajuan Savage
Five Holdings, LLC

Becky Smith
Mayor

**PLAN CONSISTENCY & STATEMENT OF REASONABLENESS ZONING MAP AMENDMENT
CD 04-2024 | 610 S. Skyland Dr. (PID 218801 and 152857)**

December 9, 2024

Pursuant to North Carolina General Statute (NCGS) §160D-605 the City of Bessemer City Council hereby approves and adopts the following Plan Consistency and Statement of Reasonableness for the rezoning of the Tax Parcel included with development application RZ 04-2024 within the City limits of Bessemer City, North Carolina as noted and depicted on the proposed Official Zoning Map.

Said zoning change is consistent with the goals and values established by the City Council adopted in 2023.

The City Council created a mission and vision statement that included the following six values: 1. Accountability, 2. Ethics, 3. Community Dependability, 4. Honesty, 5. Respect, 6. Open-Mindedness. These rezoning's are consistent with these values.

The City Council created a mission and vision statement that included the following five goals: 1. Promote a desirable place to live and work that provides a healthy quality of life, 2. Ensure a safe and secure community for residents and visitors, 3. Invest in a high quality infrastructure to support a thriving and diverse economy, 4. Provide opportunities for citizen engagement and promote volunteerism, 5. Foster organizational sustainability that embraces innovation and creativity. These rezoning's are consistent with these goals.

Said rezoning is consistent with the City of Bessemer City 2020 Vision Plan and the City of Bessemer City Planning and Economic Development Comprehensive Land Use Vision Map adopted by the City Council in 2019. The proposed rezoning is are consistent with the existing adjacent land uses as designated on the official land use map.

The proposed map amendments would not be detrimental to the city and ETJ.

The physical conditions that make the rezoning reasonable provide residential growth opportunities with new development in areas that are currently limited due to current zoning. Rezoning is in the best interest of the public to increase and maximize property values to provide for future infrastructure and amenities.

Therefore, the requested rezoning is reasonable and in the public's interest.

Upon a motion that the application is consistent with the Bessemer City Planning and Economic Development Comprehensive Land Use Vision.

Approved and adopted this the 9th day of December 2024.

(ATTEST)

Hydeia Hayes, City Clerk

Becky S. Smith, Mayor

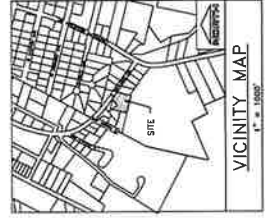
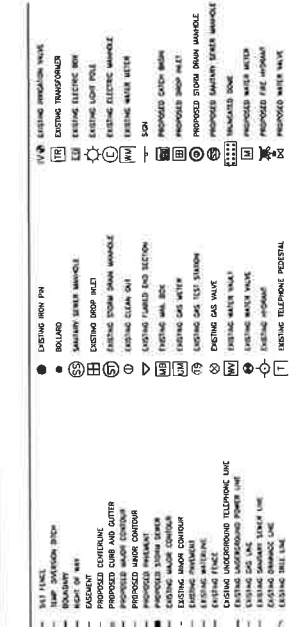
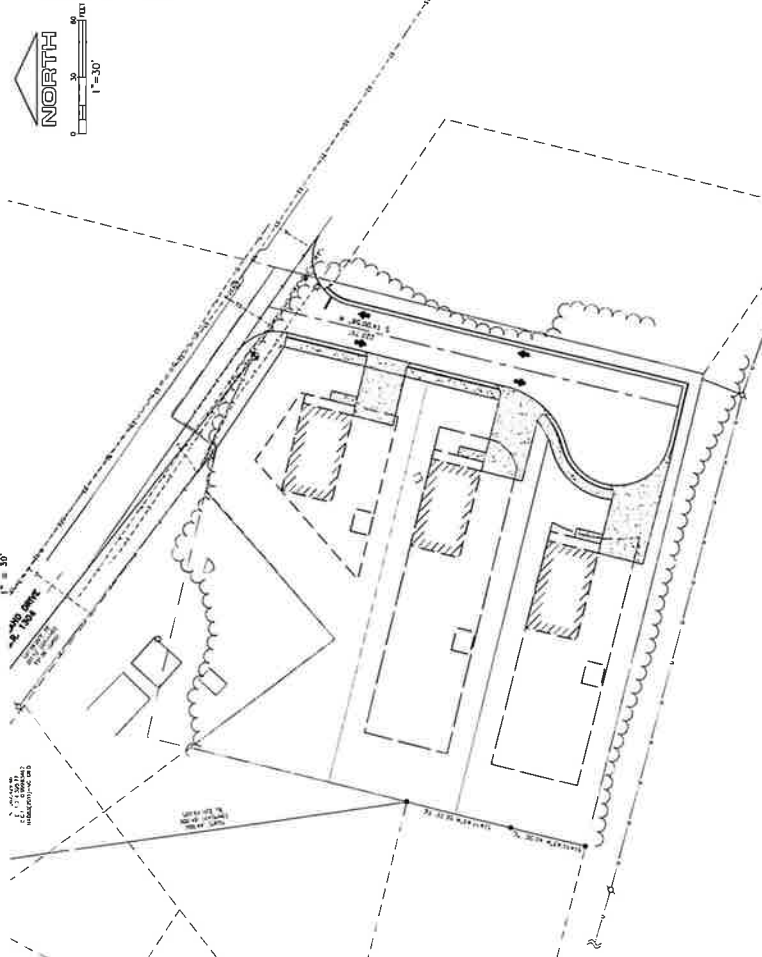
(APPROVED AS TO FORM)

David Smith, City Attorney

BESSEMER CITY HOMES

610 S SKYLAND DR, BESSEMER CITY, NC 28016

SCHMATIC PROJECT OVERVIEW



IS REPORT WAS ORIGINALLY DESIGNED AND
DRAWN BY ARCHITECTS & ENGINEERS, INC.

PROJECT INFORMATION AND CONTACTS

PROJECT INFORMATION
 PARCEL PIN NUMBERS 3516-12-5100, 3516-12-5101, 3516-12-5102, 3516-12-5103
 PARCEL AREA 1.28 AC
 PROPOSED PARCEL USE GENERAL RESIDENTIAL
 WATERSHED/PAPES PHASE # N/A
 WATER SYSTEM PROVIDER GASTON COUNTY
 SEWER SYSTEM PROVIDER GASTON COUNTY
 ELECTRICAL PROVIDER FLEMING NATURAL GAS
 GAS PROVIDER FLEMING NATURAL GAS
CONTACT INFORMATION
 PROJECT BESSEMER CITY HOMES
 PROJECT LOCATION 610 S SKYLAND DR, BESSEMER CITY, NC 28016
 OWNER PROJECT NUMBER 20160000000000000000
 OWNER'S REPRESENTATIVE DALLAN SWANER, FISHNE
 OWNER'S ADDRESS CHARLOTTE, NC 28270
 OWNER'S PHONE (783) 334-8894
 OWNER'S EMAIL swanerdallas@bessmercity.com
 PROJECT CONTRACTOR & CLIENT U. SAWYER CONSTRUCTION
 CONTRACTOR'S REPRESENTATIVE DALLAN SWANER, FISHNE
 CONTRACTOR'S ADDRESS CHARLOTTE, NC 28270
 CONTRACTOR'S PHONE (783) 334-8894
 CONTRACTOR'S EMAIL swanerdallas@bessmercity.com
CES#
 CIVIL ENGINEER NC FIRM LICENSE C-0283, ELIZABETH MARBLE, PE
 CIVIL ENGINEER 045662, ELIZABETH MARBLE, PE
 ENGINEER P.O. BOX 268, 28016-0268
 CIVIL ENGINEER ADDRESS CONCORD, NC 28016-0268
 CIVIL ENGINEER PHONE (704) 548-2684
 ENGINEER EMAIL elmarble@elmarble.com
 MUNICIPALITY CITY OF BESSEMER
 PLANNING DIRECTOR JOSHUA ROSS, MPA
 ENGINEER EMAIL jross@bessmercity.gov
 DIRECTOR OF PUBLIC UTILITIES JOSHUA ROSS, MPA
 PHONE (704) 529-5542
 EMAIL jross@bessmercity.gov
 WATER WAMEY HANSEY
 PHONE (704) 529-5542
 EMAIL whansey@bessmercity.gov
 FIRE BRENT GORDON
 PHONE (704) 529-5596
 EMAIL bgordon@bessmercity.gov

SHEET INDEX	
SHEET	TITLE
C001	GENERAL NOTES AND SPECIFICATIONS
C100	EXISTING CONDITIONS
C200	SITE LAYOUT PLAN
C210	ROAD PLAN AND PROFILES
C300	SIT. DETAILS
C301	GRADING AND DRAINAGE PLAN
C302	DRAINAGE DETAILS
C400	EROSION CONTROL PHASE I
C401	EROSION CONTROL DETAILS I
C410	GROUND STABILIZATION AND MATERIALS HANDLING
C411	SCUF - INSPECTION, RECONSTRUCTION AND REPORTING
C420	WATER UTILITIES
C500	SEWER UTILITIES
C510	UTILITY DETAILS I
C520	UTILITY DETAILS II
L100	LANDSCAPING PLAN
L110	LANDSCAPING DETAILS
W100	POST-DEVELOPMENT DAMAGE

COVER SHEET
 BESSEMER CITY HOMES
 610 S SKYLAND DR, BESSEMER CITY, NC 28016
 11/11/2024
 PROJECT NO. 24061000
 SHEET NO. 01
 CHECKED BY: M
 DRAWN BY: M
 PROJECT START DATE: 11/11/2024

CES# CIVIL ENGINEER
 ELIZABETH MARBLE, PE
 11/11/2024
 PROJECT NO. 24061000
 SHEET NO. 01
 CHECKED BY: M
 DRAWN BY: M
 PROJECT START DATE: 11/11/2024

CVP
 11/11/2024
 PROJECT NO. 24061000
 SHEET NO. 01
 CHECKED BY: M
 DRAWN BY: M
 PROJECT START DATE: 11/11/2024

Item 1.

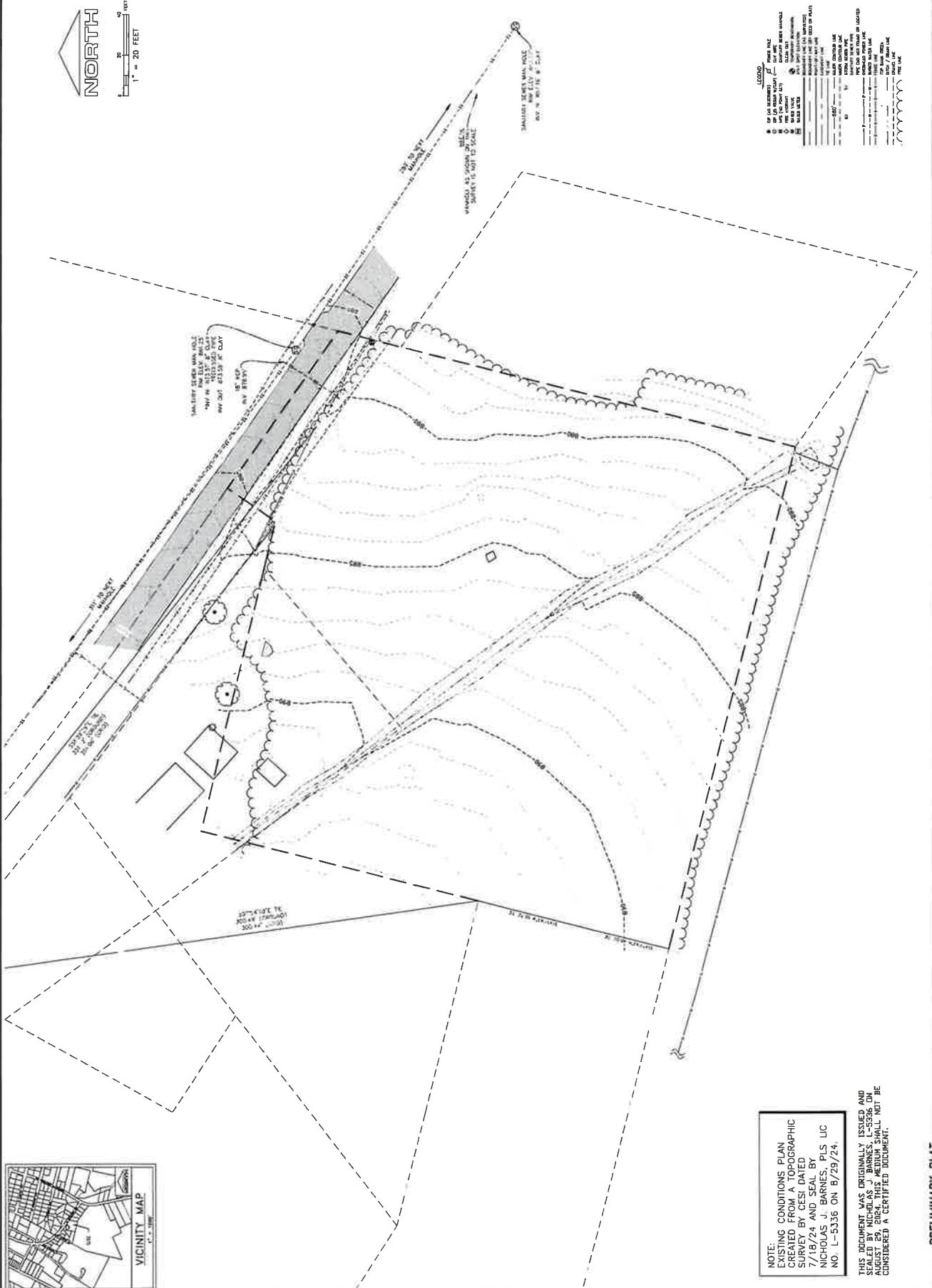
C100



CESI CIVIL ENGINEERING
 11115/2024
 11115/2024
 11115/2024

BESSEMER CITY HOMES
 EXISTING CONDITIONS
 818 S SWAMP DR. BESSEMER CITY, NC 28018
 D SWAMP CONSTRUCTION, LLC
 ARCHITECT OF RECORD
 PROJECT MANAGER
 PROJECT NO. 445441-001
 DRAWN BY: NCB
 CHECKED BY: NCB
 DATE: 08/29/2024

North Carolina One-Cell Center
 CALL: 1-800-632-4549
 FAX: 1-800-632-4549
 11115/2024



NOTE:
 EXISTING CONDITIONS PLAN
 SURVEYED FOR TOPOGRAPHIC
 SURVEY BY CESI DATED
 7/18/24 AND SEAL BY
 NICHOLAS J. BARNES, PLS LIC
 NO. 1-5336 ON 8/29/24.

THIS DOCUMENT WAS ORIGINALLY ISSUED AND
 SEALED BY NICHOLAS J. BARNES, 1-5336 ON
 AUGUST 29, 2024. THIS MEDIUM SHALL NOT BE
 CONSIDERED A CERTIFIED DOCUMENT.



DATE: 11/19/2024
 PROJECT: BESSEMER CITY HOMES
 SHEET: S112

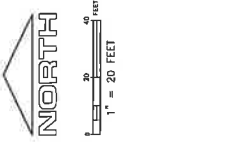


BESSEMER CITY HOMES
 SITE LAYOUT PLAN

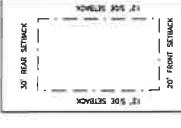
689 E. SPYGLASS BL. BESSEMER CITY, NC 27804
 919.378.1000
 PROJECT NUMBER: 240241.000
 CHECKED BY: K.A. MCKEON
 APPROVED BY: K.A. MCKEON
 DATE: 11/19/2024

REVISION	DATE	DESCRIPTION

North Carolina One-Call Center
 CALL 1-800-632-4349
 CALL BEFORE YOU DIG!
 IT'S THE LAW



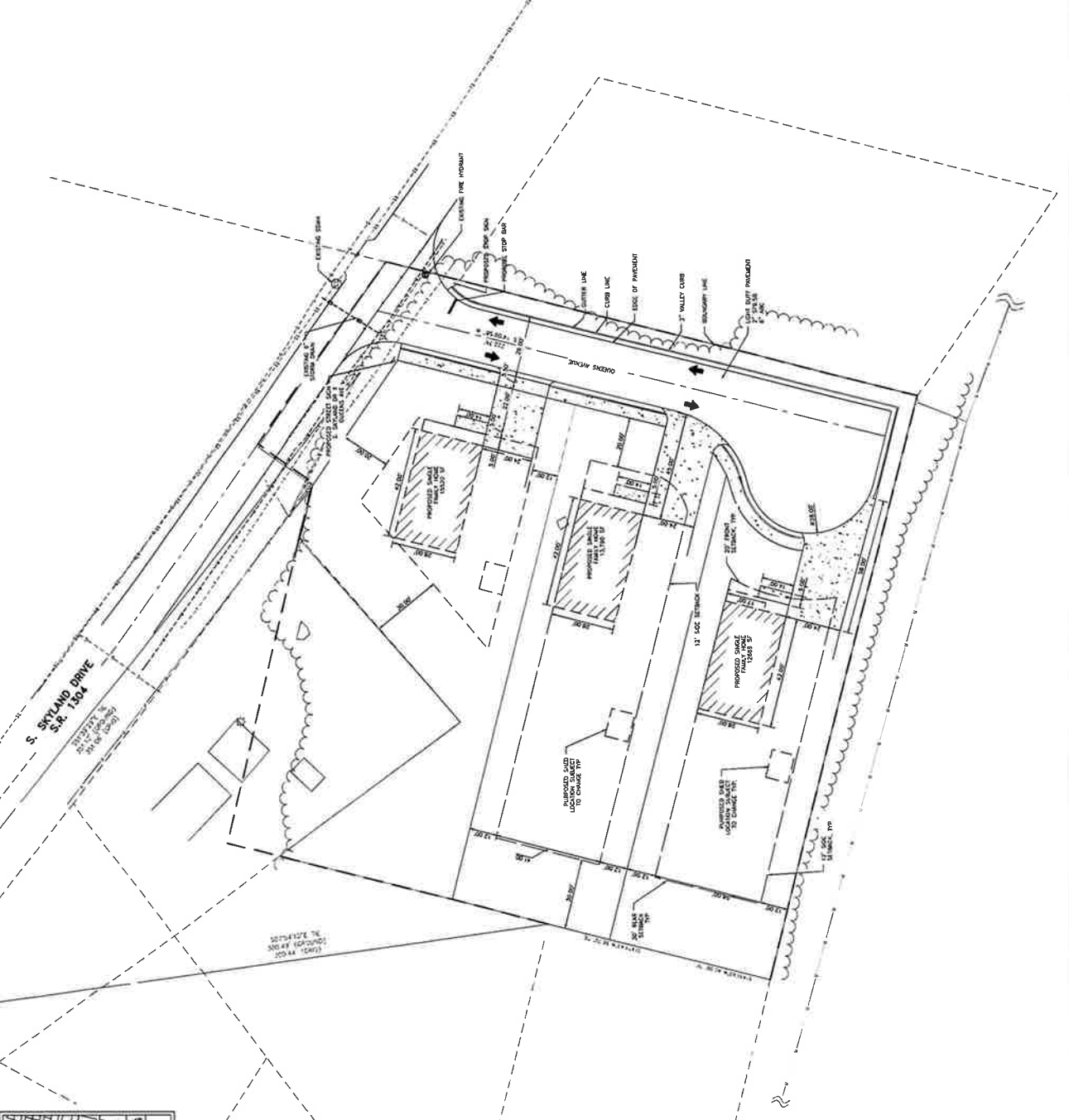
TYPICAL LOT DETAIL



SETBACK DISTANCES	
PRINCIPAL STRUCTURES	DISTANCE
FRONT SETBACK	20'
SIDE SETBACK	17'
REAR SETBACK	30'
CORNER SETBACK	20'

SITE DATA

PARCELS: 0, 14, 15)
 DED INFORMATION FOR 21801: 08 5440 PG 1915
 DED INFORMATION FOR 15287: 08 5440 PG 1915
 TOTAL SITE ACRES: 1.28 AC (55,600 SQ. FT.)
 TOTAL OPEN/UNDER CONSTRUCTION: 1.28 AC (55,600 SQ. FT.)
 ZONING: UNCLASSIFIED
 NEIGHBORHOOD: ROAD 200, 804, 30', 508, 15', CORNER 20'
 BUILDING SET BACKS: 0'
 LANDSCAPE BUFFERING: 0'
 PROPOSED IMPROVEMENTS: 1,887 SF, 0.317 AC
 BUILDINGS: 3,812 SF, 0.090 AC
 PARKING: 6,579 SF, 0.151 AC
 SIDEWALKS: 4,320 SF, 0.098 AC
 UTILITIES: 2,400 SF
 X PROPOSED IMPROVEMENTS
 X PROPOSED UTILITIES
 MANNING BUILDING RECR
 MUNICIPALITY / ADA, WIDE
 45'



North Carolina One-Call Center
 CALL 1-800-652-4349
 CALL BEFORE YOU DIG!

REVISION	DATE	DESCRIPTION

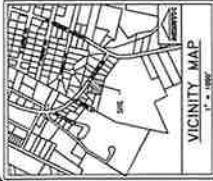
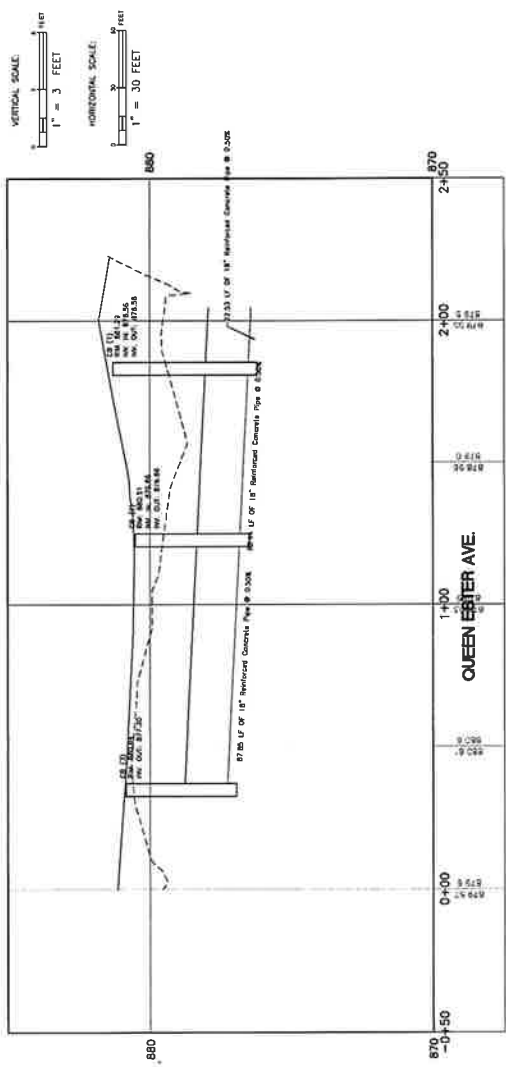
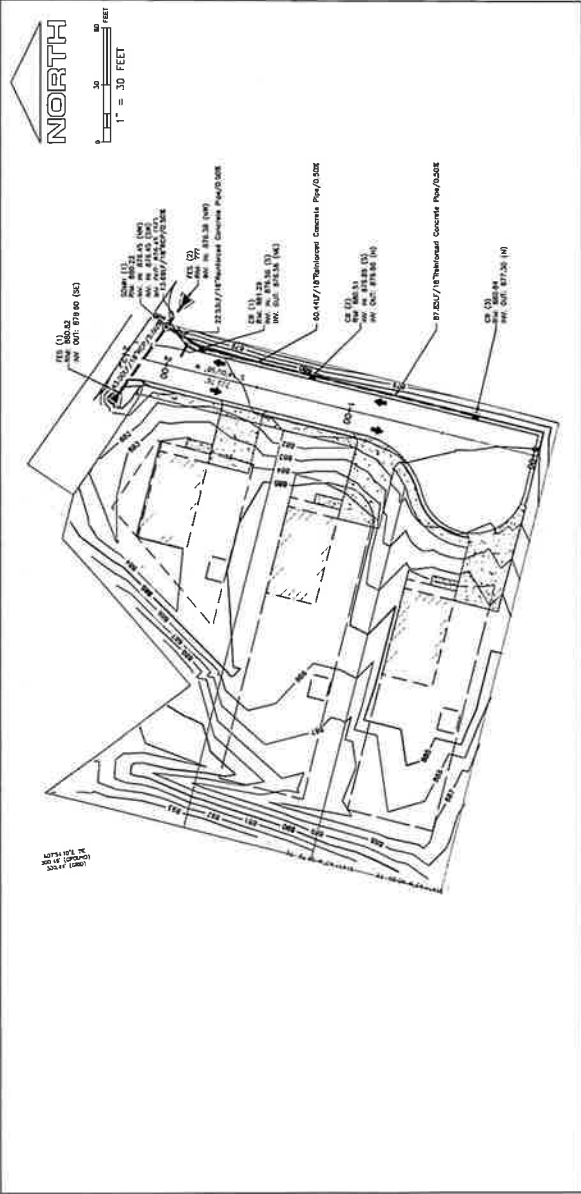
BESSMER CITY HOMES
 ROAD PLAN AND PROFILE
 810 S SPYGLASS DR, BESSMER CITY NC 28018
 2 SHEET CONSTRUCTION SET
 PROJECT NUMBER 180
 PROJECT MANAGER
 CHECKED BY
 DRAWN BY

CES CIVIL ENGINEERING SURVEYING
 1000 W. ...
 BESSMER CITY, NC 28018
 704-398-1111
 LICENSE NO. ...

11/19/2024

C210

Item 1.



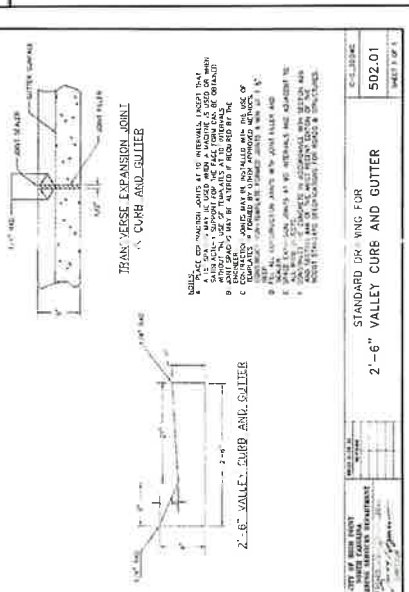
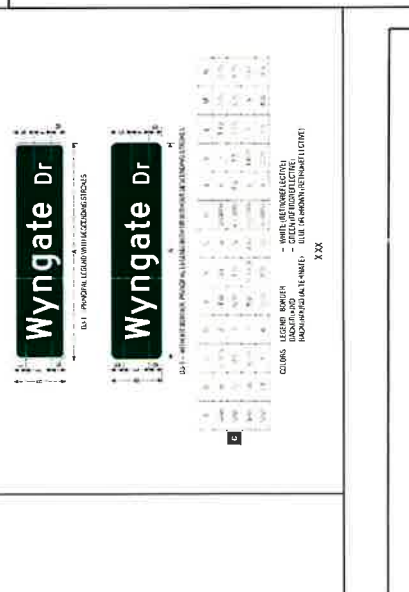
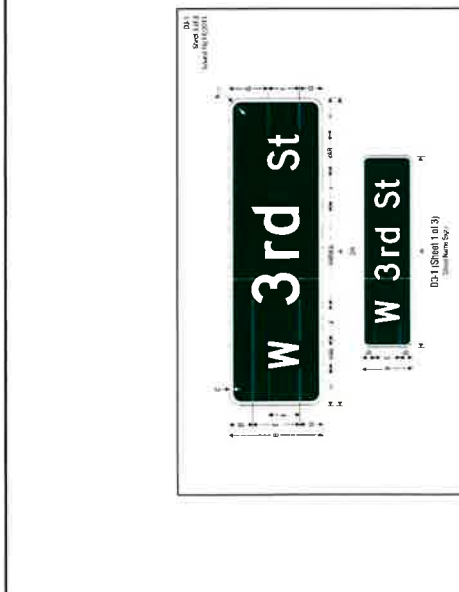
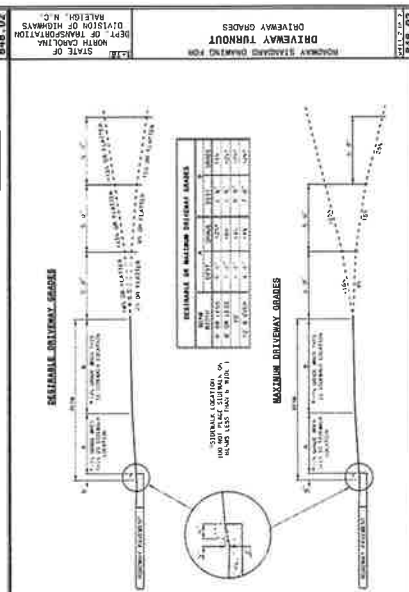
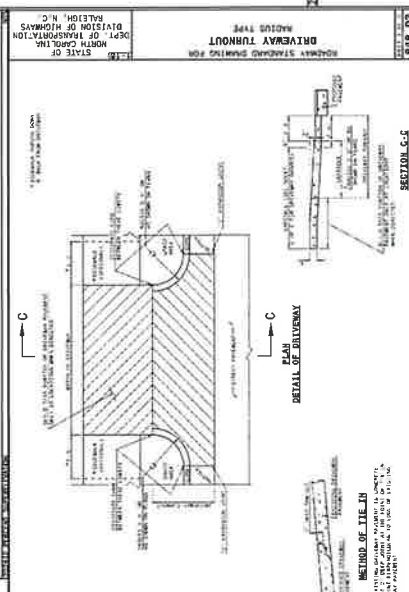
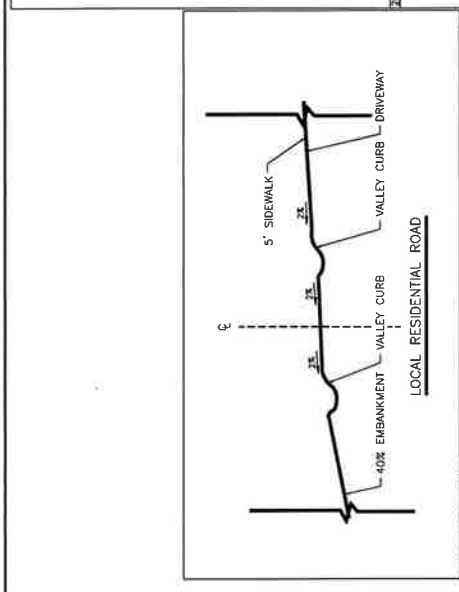
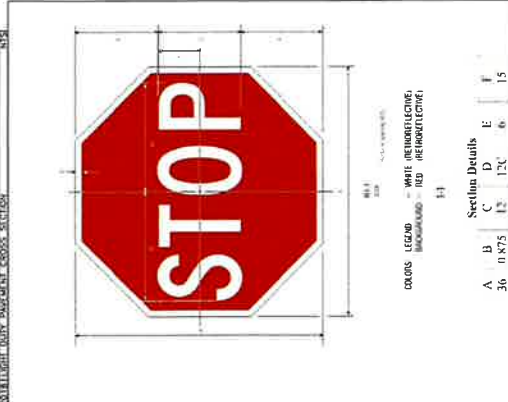
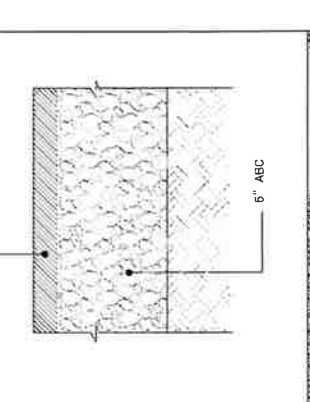
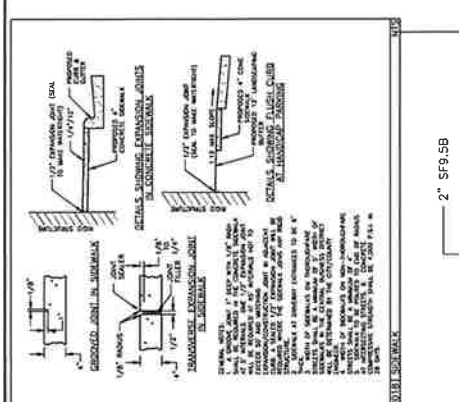
C220

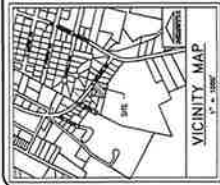


CIES
 CIVIL ENGINEERING SURVEYING
 1111 W. 10th St.
 Charlotte, NC 28202
 (704) 375-1111
 www.ciesnc.com

BESSEMER CITY HOMES
 SITE DETAILS
 410 S BRANCH DR, BESSMER CITY NC 27615
 PROJECT NO. 24041.000
 DRAWN BY: NCM
 CHECKED BY: NCM
 PROJECT START: 10/2024

North Carolina One-Call Center
 CALL 1-800-632-4349
 "It's The Law"





S. SPYLAND DRIVE
S.P. 1304



North Carolina One-Call Center
CALL 1-800-632-4343
FOR ALL ONE-CALL INFORMATION
CALL 919-443-7273
OR VISIT WWW.NCONECALL.COM

CALL BEFORE YOU DIG!

PERSON	DATE	DESCRIPTION

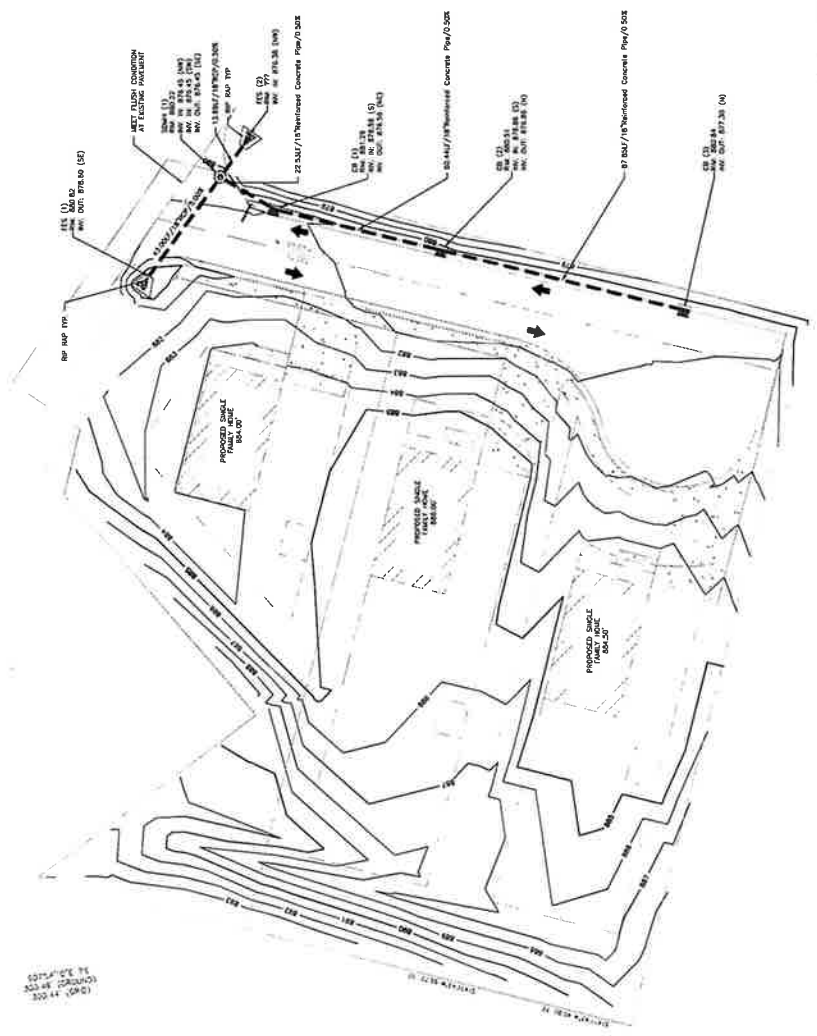
BESSEMER CITY HOMES
GRADING AND DRAINAGE PLAN
518 S SPYLAND DR. BESSEMER CITY, NC 28015
3 SHAKEL CONSTRUCTION, LLC
PROJECT NUMBER: NCH
PROJECT START: 7/20
CHECKED BY: NCH

CES CONSULTANTS
1111503034



C300

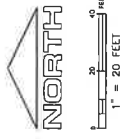
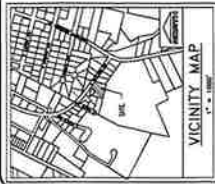
Item 1.



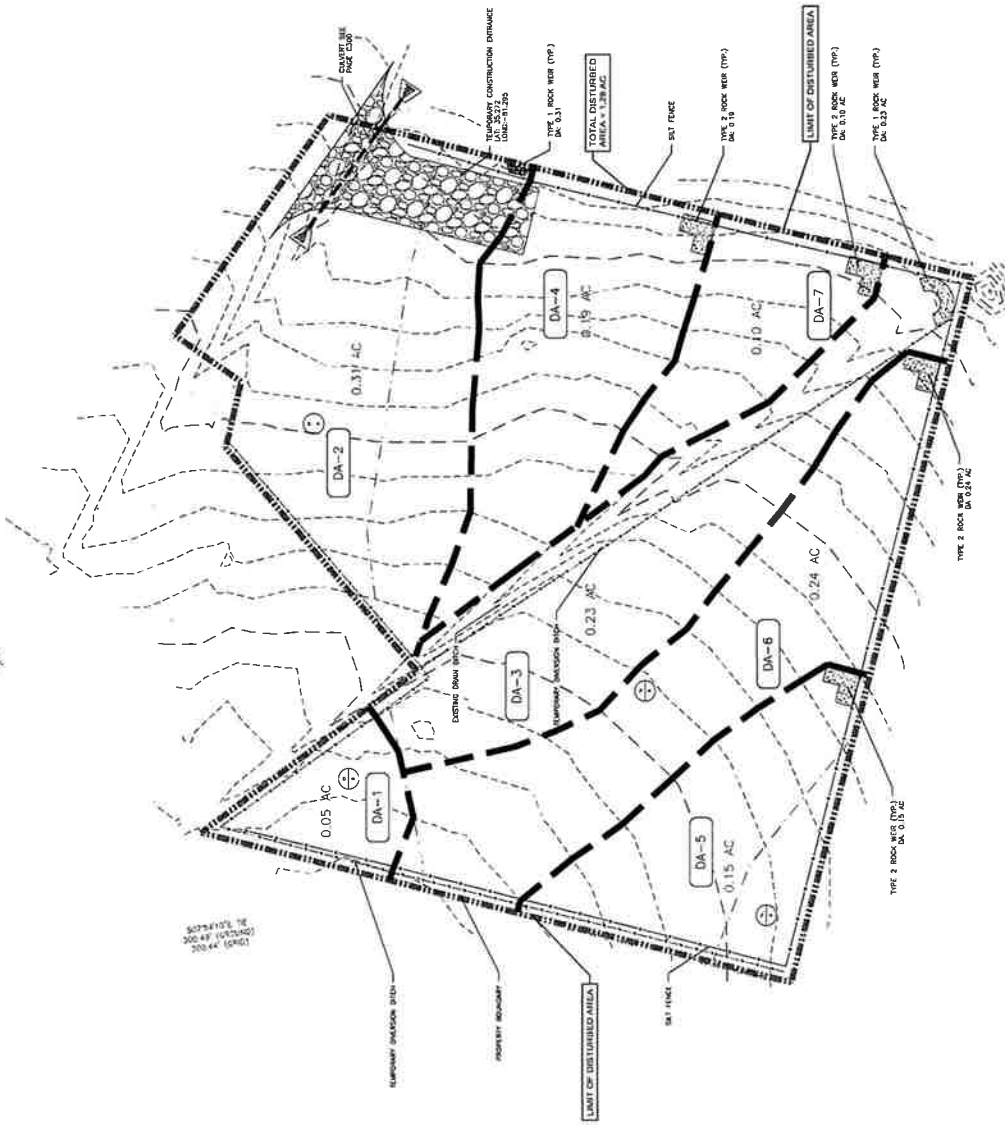
- LEGEND
- 1. EXISTING UTILITIES
 - 2. PROPOSED UTILITIES
 - 3. EXISTING CONTOURS
 - 4. PROPOSED CONTOURS
 - 5. EXISTING DRAINAGE
 - 6. PROPOSED DRAINAGE
 - 7. EXISTING ROADS
 - 8. PROPOSED ROADS
 - 9. EXISTING STRUCTURES
 - 10. PROPOSED STRUCTURES
 - 11. EXISTING TREES
 - 12. PROPOSED TREES
 - 13. EXISTING FENCES
 - 14. PROPOSED FENCES
 - 15. EXISTING SETBACKS
 - 16. PROPOSED SETBACKS
 - 17. EXISTING EASEMENTS
 - 18. PROPOSED EASEMENTS
 - 19. EXISTING ADJACENT PROPERTIES
 - 20. PROPOSED ADJACENT PROPERTIES

NO.	DATE	DESCRIPTION	BY	CHKD.
1	7/20/20	ISSUED FOR PERMITS	JCK	JCK
2	7/20/20	ISSUED FOR PERMITS	JCK	JCK
3	7/20/20	ISSUED FOR PERMITS	JCK	JCK
4	7/20/20	ISSUED FOR PERMITS	JCK	JCK
5	7/20/20	ISSUED FOR PERMITS	JCK	JCK
6	7/20/20	ISSUED FOR PERMITS	JCK	JCK
7	7/20/20	ISSUED FOR PERMITS	JCK	JCK
8	7/20/20	ISSUED FOR PERMITS	JCK	JCK
9	7/20/20	ISSUED FOR PERMITS	JCK	JCK
10	7/20/20	ISSUED FOR PERMITS	JCK	JCK
11	7/20/20	ISSUED FOR PERMITS	JCK	JCK
12	7/20/20	ISSUED FOR PERMITS	JCK	JCK
13	7/20/20	ISSUED FOR PERMITS	JCK	JCK
14	7/20/20	ISSUED FOR PERMITS	JCK	JCK
15	7/20/20	ISSUED FOR PERMITS	JCK	JCK
16	7/20/20	ISSUED FOR PERMITS	JCK	JCK
17	7/20/20	ISSUED FOR PERMITS	JCK	JCK
18	7/20/20	ISSUED FOR PERMITS	JCK	JCK
19	7/20/20	ISSUED FOR PERMITS	JCK	JCK
20	7/20/20	ISSUED FOR PERMITS	JCK	JCK

THIS DOCUMENT IS THE PROPERTY OF CES CONSULTANTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CES CONSULTANTS.



SEE SHEET 44
FOR
SHEET 44
FOR
SHEET 44
FOR
SHEET 44



EROSION CONTROL LEGEND
NOTE: ALL UNITS SHOWN IN LARGER THAN SCALE UNITS.

- HOLE PROTECTION
- ROCK WEIR TYPE 1
- ROCK WEIR TYPE 2
- ROCK WEIR
- TEMPORARY SILT BARRIERS
- TEMPORARY SLOPE STABILIZATION
- CHECKING FLOW DIRECTION
- SLOPE PROTECTION WITH MULCH
- SLOPE PROTECTION WITH TURF MATS
- SLOPE PROTECTION WITH GEOTEXTILE AND SOIL FILL
- TEMPORARY DIVERSION DITCH
- DIVERSION DITCH WITH MULCH
- DIVERSION DITCH WITH TURF MATS
- DIVERSION DITCH WITH GEOTEXTILE AND SOIL FILL
- DIVERSION DITCH WITH CONCENTRATION
- DIVERSION DITCH WITH CONCENTRATION AND MULCH
- DIVERSION DITCH WITH CONCENTRATION AND TURF MATS
- DIVERSION DITCH WITH CONCENTRATION AND GEOTEXTILE AND SOIL FILL
- SLOPE PROTECTION WITH MULCH AND TURF MATS
- SLOPE PROTECTION WITH MULCH AND GEOTEXTILE AND SOIL FILL
- SLOPE PROTECTION WITH MULCH AND CONCENTRATION
- SLOPE PROTECTION WITH MULCH AND CONCENTRATION AND TURF MATS
- SLOPE PROTECTION WITH MULCH AND CONCENTRATION AND GEOTEXTILE AND SOIL FILL
- SLOPE PROTECTION WITH TURF MATS AND CONCENTRATION
- SLOPE PROTECTION WITH TURF MATS AND CONCENTRATION AND TURF MATS
- SLOPE PROTECTION WITH TURF MATS AND CONCENTRATION AND GEOTEXTILE AND SOIL FILL
- SLOPE PROTECTION WITH GEOTEXTILE AND SOIL FILL AND CONCENTRATION
- SLOPE PROTECTION WITH GEOTEXTILE AND SOIL FILL AND CONCENTRATION AND TURF MATS
- SLOPE PROTECTION WITH GEOTEXTILE AND SOIL FILL AND CONCENTRATION AND GEOTEXTILE AND SOIL FILL

SEE COO1 FOR CONSTRUCTION SEQUENCE AND NARRATIVE ALL CATCH BASIN PROTECTION, WIRE AND STONE/SILT SACKS MUST BE MAINTAINED WEEKLY

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED WEEKLY AND APPROVAL OF EROSION CONTROL INSPECTOR. ALL DISTURBANCE DURING REMOVAL SHALL BE MATTED AND SEEDED

EROSION AND SEDIMENTATION CONTROL GENERAL NOTES
1. ALL DISTURBED AREAS SHALL BE MATTED TO AN APPROPRIATE SLOPE BY THE END OF CONSTRUCTION. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
2. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
3. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
4. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
5. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
6. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
7. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
8. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
9. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
10. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
11. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
12. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
13. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
14. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.
15. ALL DISTURBED AREAS SHALL BE MATTED AND SEEDED WEEKLY.

Drainage Area	Area (Sd. Ft)	Area (Acres)
DA-1	2,307	0.09
DA-2	13,454	0.31
DA-3	10,171	0.23
DA-4	8,334	0.19
DA-5	15,574	0.35
DA-6	4,932	0.15
DA-7	55,550	1.27
TOTAL		

Item	Description	Quantity	Unit
1	TYPE 1 ROCK WEIR (TYP) DN 0.31	1	LINEAL FOOT
2	TYPE 2 ROCK WEIR (TYP) DN 0.15	1	LINEAL FOOT
3	TYPE 1 ROCK WEIR (TYP) DN 0.10	1	LINEAL FOOT
4	TYPE 2 ROCK WEIR (TYP) DN 0.24	1	LINEAL FOOT
5	TYPE 2 ROCK WEIR (TYP) DN 0.28	1	LINEAL FOOT
6	TYPE 2 ROCK WEIR (TYP) DN 0.15	1	LINEAL FOOT
7	TYPE 1 ROCK WEIR (TYP) DN 0.31	1	LINEAL FOOT

North Carolina One-Call Center
CALL 1-800-632-4343
COIL BEFORE YOU DIG!
115 The LHM

BESSEMER CITY HOMES
EROSION CONTROL PHASE 1
410 S BRIDGE ST, BESSERER CITY, NC 28018
PROJECT MANAGER: NICK BROWN
PROJECT NO: 20241100
CHECKED BY: NICK BROWN

CESA
CONSULTANTS
11119 8004
1119 8004

C400

Item 1.

Call BEFORE you Dig!
 1-800-4-A- Dig
 800-471-4627
 Digging in North Carolina
 North Carolina One-Call Center

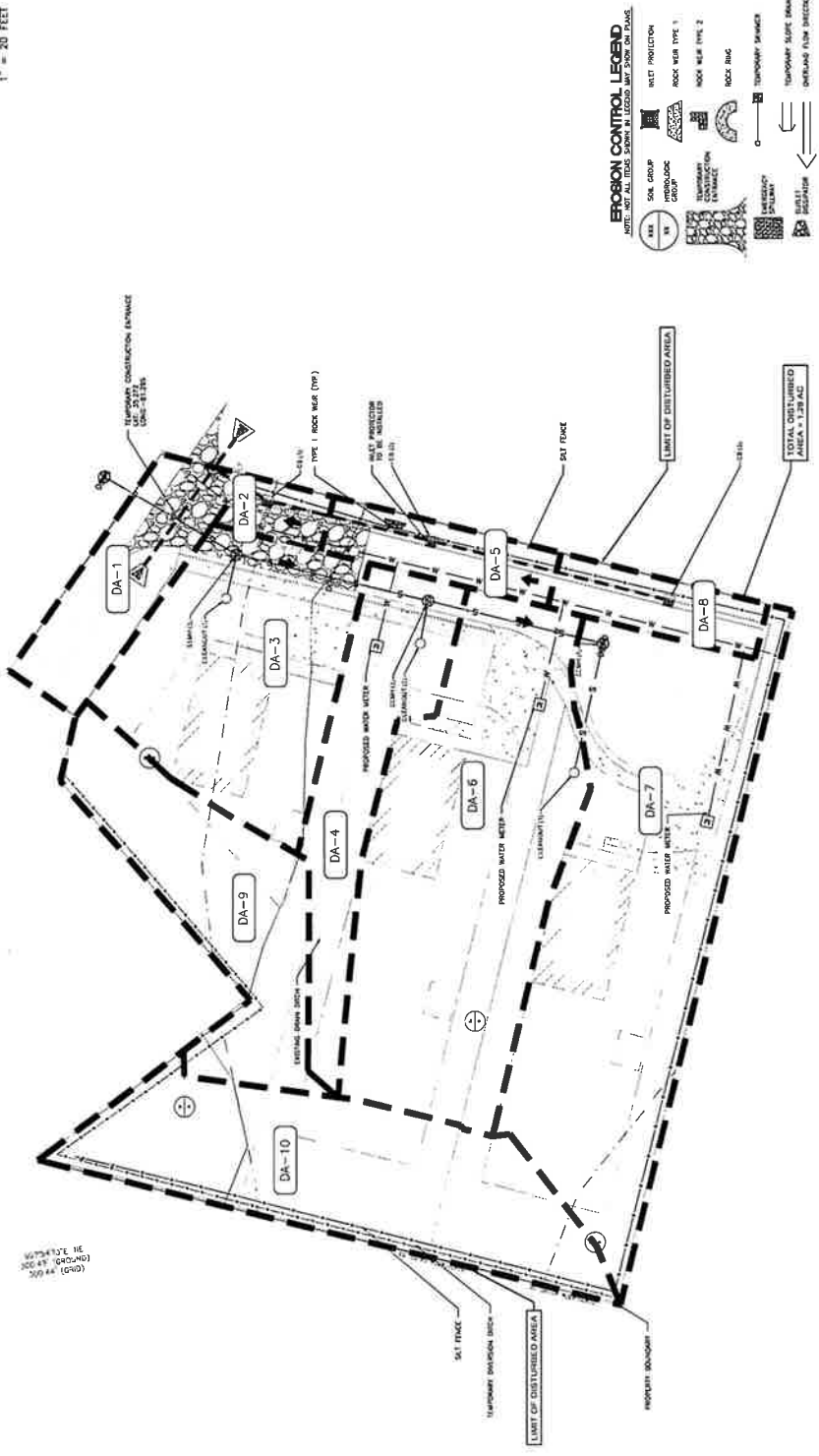
REVISION	DATE	DESCRIPTION

BESSEMER CITY HOMES
 EROSION CONTROL PHASE 2
 449 S BRUNNEN DR. BESSEMER CITY NC 27814
 2 SHAW CONSTRUCTION, LLC
 PROJECT MANAGER: NIK
 ARCHITECT: P.M.
 EROSION CONTROL PHASE 2
 PROJECT SHEET NO. 201
 CHECKED BY: N.H.
 DATE: 09/01/2011



11/15/2024
 C401

Item 1.



- EROSION CONTROL LEGEND**
 NOTE: NOT ALL ITEMS SHOWN IN LEGEND MAY SHOW ON PLAN.
- SOD GROUP
 - ROCK WEIR TYPE 1
 - ROCK WEIR TYPE 2
 - ROCK RING
 - TEMPORARY Silt FENCE
 - TEMPORARY SLOPE BANK
 - OVERLAND FLOW DIRECTION
 - WATTLE BARRIER
 - TEMPORARY SWALE
 - TEMPORARY SWALE WITH CURB
 - TEMPORARY SWALE WITH CURB AND CHANNEL
 - TEMPORARY SWALE WITH CURB AND CHANNEL AND SOD GROUP
 - TEMPORARY SWALE WITH CURB AND CHANNEL AND SOD GROUP AND SOD GROUP
 - TEMPORARY SWALE WITH CURB AND CHANNEL AND SOD GROUP AND SOD GROUP AND SOD GROUP

SEE CO01 FOR CONSTRUCTION SEQUENCE AND NARRATIVE AND CATCH BASIN PROTECTION WIRE AND STONE/SILT SACKS MUST BE MAINTAINED WEEKLY.

ALL INLETS MUST BE INSCRIBED WITH FISH LOGO AND READ, "DUMP NO WASTE, DRAINS TO STREAM" OR EQUIVALENT APPROVED LANGUAGE.

ALL EROSION CONTROL MEASURES SHALL BE REMOVED UPON SITE STABILIZATION AND APPROVAL OF EROSION CONTROL MEASURES. ALL EROSION CONTROL REMOVAL SHALL BE WATTED AND SEEDDED.

POST-CONSTRUCTION DRAINAGE AREAS	AREA (SQ. FT)	AREA (ACRES)
DA 1	2,243	0.06
DA 2	717	0.02
DA 3	5,913	0.16
DA 4	1,927	0.05
DA 5	11,841	0.27
DA 6	17,499	0.40
DA 7	1,341	0.04
DA 8	3,284	0.12
DA 9	8,279	0.23
DA 10	8,279	0.23
TOTAL	55,880	1.28

- 1. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED WEEKLY.
- 2. ALL EROSION CONTROL MEASURES SHALL BE REMOVED UPON SITE STABILIZATION AND APPROVAL OF EROSION CONTROL MEASURES.
- 3. ALL EROSION CONTROL MEASURES SHALL BE WATTED AND SEEDDED.
- 4. ALL EROSION CONTROL MEASURES SHALL BE REMOVED UPON SITE STABILIZATION AND APPROVAL OF EROSION CONTROL MEASURES.
- 5. ALL EROSION CONTROL MEASURES SHALL BE WATTED AND SEEDDED.
- 6. ALL EROSION CONTROL MEASURES SHALL BE REMOVED UPON SITE STABILIZATION AND APPROVAL OF EROSION CONTROL MEASURES.

CALL BEFORE YOU DIG! 

1-800-452-4549
 1-800-452-4549
 1-800-452-4549

North Carolina One-Call Center

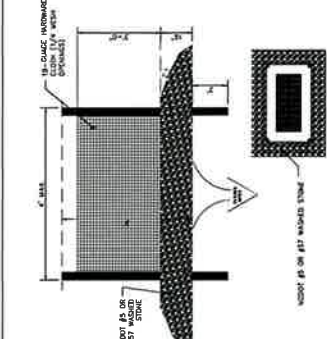
REVISION	DATE	DESCRIPTION

BESSMER CITY HOMES
 EROSION CONTROL DETAILS
 3103 SPRING DR. BESSMER, NC 28015
 PROJECT NO. 20041000
 PROJECT MANAGER: NEW
 CHECKED BY: NEW
 DATE: 05/01/04

CES CIVIL SURVEYING
 111192026
 111192026

C410 Item 1.

EC001 INLET PROTECTION



DESCRIPTION: A temporary measure of erosion control around an inlet. The curb and mesh screen will prevent sediment from entering the inlet during construction. The mesh screen will allow water to pass through while trapping sediment. The curb and mesh screen will be removed after construction is complete.

MAINTENANCE: Check the mesh screen for damage and replace if necessary. The curb and mesh screen should be removed after construction is complete.

CONSTRUCTION: 1. Install the curb and mesh screen around the inlet. 2. Compact the soil around the curb and mesh screen. 3. Remove the curb and mesh screen after construction is complete.

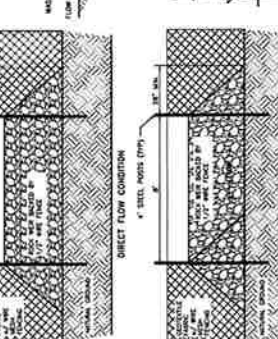
EC002 SILT FENCE



DESCRIPTION: A temporary measure of erosion control around a trench. The silt fence will prevent sediment from entering the trench during construction. The silt fence will be removed after construction is complete.

MAINTENANCE: Check the silt fence for damage and replace if necessary. The silt fence should be removed after construction is complete.

CONSTRUCTION: 1. Install the silt fence around the trench. 2. Compact the soil around the silt fence. 3. Remove the silt fence after construction is complete.

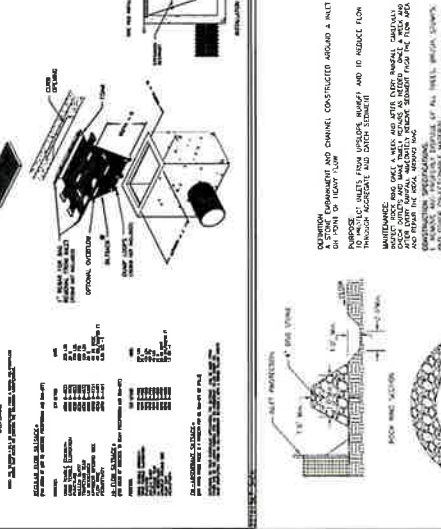


DESCRIPTION: A temporary measure of erosion control around a trench outlet. The silt fence will prevent sediment from entering the trench during construction. The silt fence will be removed after construction is complete.

MAINTENANCE: Check the silt fence for damage and replace if necessary. The silt fence should be removed after construction is complete.

CONSTRUCTION: 1. Install the silt fence around the trench outlet. 2. Compact the soil around the silt fence. 3. Remove the silt fence after construction is complete.

EC003 TEMPORARY DIVERSION DITCH

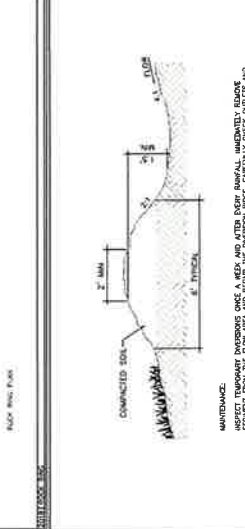


DESCRIPTION: A temporary measure of erosion control around a ditch. The diversion ditch will prevent sediment from entering the ditch during construction. The diversion ditch will be removed after construction is complete.

MAINTENANCE: Check the diversion ditch for damage and replace if necessary. The diversion ditch should be removed after construction is complete.

CONSTRUCTION: 1. Install the diversion ditch around the ditch. 2. Compact the soil around the diversion ditch. 3. Remove the diversion ditch after construction is complete.

EC004 TEMPORARY CONSTRUCTION ENTRANCE

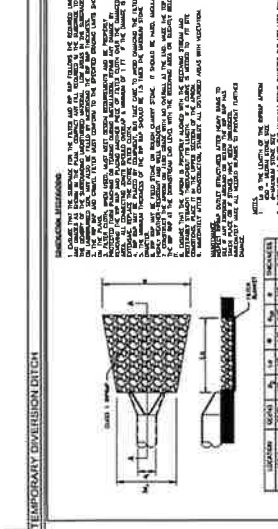


DESCRIPTION: A temporary measure of erosion control around a construction entrance. The construction entrance will prevent sediment from entering the construction site during construction. The construction entrance will be removed after construction is complete.

MAINTENANCE: Check the construction entrance for damage and replace if necessary. The construction entrance should be removed after construction is complete.

CONSTRUCTION: 1. Install the construction entrance around the construction entrance. 2. Compact the soil around the construction entrance. 3. Remove the construction entrance after construction is complete.

EC005 TEMPORARY CONSTRUCTION ENTRANCE

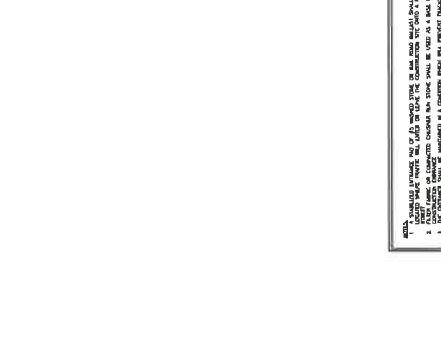


DESCRIPTION: A temporary measure of erosion control around a construction entrance. The construction entrance will prevent sediment from entering the construction site during construction. The construction entrance will be removed after construction is complete.

MAINTENANCE: Check the construction entrance for damage and replace if necessary. The construction entrance should be removed after construction is complete.

CONSTRUCTION: 1. Install the construction entrance around the construction entrance. 2. Compact the soil around the construction entrance. 3. Remove the construction entrance after construction is complete.

EC006 TEMPORARY CONSTRUCTION ENTRANCE



DESCRIPTION: A temporary measure of erosion control around a construction entrance. The construction entrance will prevent sediment from entering the construction site during construction. The construction entrance will be removed after construction is complete.

MAINTENANCE: Check the construction entrance for damage and replace if necessary. The construction entrance should be removed after construction is complete.

CONSTRUCTION: 1. Install the construction entrance around the construction entrance. 2. Compact the soil around the construction entrance. 3. Remove the construction entrance after construction is complete.

EC007 SILT FENCE OUTLET

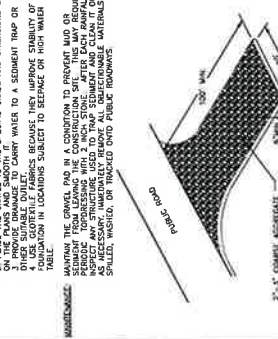


DESCRIPTION: A temporary measure of erosion control around a silt fence outlet. The silt fence outlet will prevent sediment from entering the silt fence during construction. The silt fence outlet will be removed after construction is complete.

MAINTENANCE: Check the silt fence outlet for damage and replace if necessary. The silt fence outlet should be removed after construction is complete.

CONSTRUCTION: 1. Install the silt fence outlet around the silt fence outlet. 2. Compact the soil around the silt fence outlet. 3. Remove the silt fence outlet after construction is complete.

EC008 TEMPORARY CONSTRUCTION ENTRANCE



DESCRIPTION: A temporary measure of erosion control around a construction entrance. The construction entrance will prevent sediment from entering the construction site during construction. The construction entrance will be removed after construction is complete.

MAINTENANCE: Check the construction entrance for damage and replace if necessary. The construction entrance should be removed after construction is complete.

CONSTRUCTION: 1. Install the construction entrance around the construction entrance. 2. Compact the soil around the construction entrance. 3. Remove the construction entrance after construction is complete.

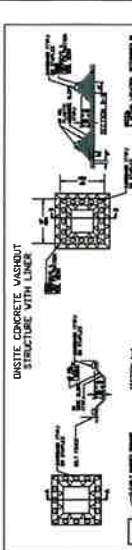


REVISION	
DATE	

PROJECT NO. 2024M-000
 PROJECT LOCATION
 810 S BRIDGE ST. RICHMOND, NC 28801
 CIVIL ENGINEERING, INC.
 1119-2024



Item 1.



CONCRETE WASHOUTS

1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
4. Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

EFFECTIVE: 04/01/19

EQUIPMENT AND VEHICLE MAINTENANCE

1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland. Cover waste containers at the end of each workday and before storm events or other secondary containment. Repair or replace damaged waste containers.
5. Anchor all lightweight items in waste containers during times of high winds.
6. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
7. Dispose waste off-site at an approved disposal facility.
8. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation or portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes (H-QW) Zones	7	None
(b) High Quality Water (H-QW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10:1 or less in length and are not steeper than 2:1, 14 days are allowed.
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed -14 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> • Temporary grass seed covered with straw or other mulches and tackifiers • Fiber-reinforcing geotextile products with or without temporary grass seed • Appropriately applied straw or other mulch • Plastic sheeting 	<ul style="list-style-type: none"> • Permanent grass seed covered with straw or other mulches and tackifiers • Erosion control blankets or permanent soil reinforcement matting • Hydroseeding • Shrubs or other permanent planting covered with mulch • Uniform and evenly distributed ground cover sufficient to restrain erosion • Structural methods such as concrete, asphalt or retaining walls • Erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
4. Provide ponding area for containment of treated stormwater before discharging offsite.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING



VERSION	DATE	DESCRIPTION

SELF-INSPECTION, RECORD KEEPING AND REPORTING

BESSEMER CITY HOMES

910 S. SPYGLASS RD. BLDG. 200
 27018 RALEIGH, NC 27618

PROJECT NO. 20241200
 APPROVED BY: [Signature]
 PROJECT START: 1/20



Item 1.

C412

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that must be reported
- Permittees shall report the following occurrences:
- (a) Visible sediment deposition in a stream or wetland.
 - (b) Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
 - (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
 - (d) Anticipated bypasses and unanticipated bypasses.
 - (e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> • Within 24 hours, on oral or electronic notification that contains a description of the sediment and actions taken to address the cause of the deposition. • Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state-impaired waters condition. • The report shall include information about the date, time, nature, volume and location of the spill or release.
(b) Oil spills and hazardous substances per item (b)(1)-(c) above	<ul style="list-style-type: none"> • A report at least ten days before the date of the bypass, if possible
(c) Anticipated bypasses (40 CFR 122.41(i)(3))	<ul style="list-style-type: none"> • The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses (40 CFR 122.41(i)(3))	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment (40 CFR 122.41(i)(7))	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. (40 CFR 122.41(i)(6)) • Division staff may waive the requirement for a written report on a case-by-case basis.

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date a copy of this approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase
(b) A phase of grading has been completed	Initial and date a copy of this approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase
(c) Ground cover is located and installed in accordance with the approved E&SC Plan	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action

2. Additional Documentation

- In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:
- (a) This general permit as well as the certificate of coverage, after it is received.
 - (b) Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
 - (c) All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day or which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Report.

Inspection	Frequency (normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts If no daily rain gauge observations are made during wetness or if no daily rain gauge observations are made during wetness or if no daily rain gauge observations are made during wetness, the permittee may use another rain-measuring device instead of a rain gauge. Days on which no rainfall occurred shall be recorded as "zero". The permittee may use another rain-measuring device instead of a rain gauge.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of any storm event > 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Description of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description, nature, and date of corrective actions taken.
(3) Stormwater outfalls (SOW)	At least once per 7 calendar days and within 24 hours of any storm event > 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Name of the person performing the inspection. 3. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 4. Identification, nature, and date of corrective actions taken. 5. Identification of the person performing the inspection.
(4) Stormwater pipe	At least once per 7 calendar days and within 24 hours of any storm event > 1.0 inch in 24 hours	If visible sedimentation is found outside the limits, when a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the pipe. 2. Description, evidence, and date of corrective actions taken, and an explanation as to the actions taken to control future sedimentation. 3. Any explanation as to the actions taken to control future sedimentation.
(5) Streams or other water bodies (with accessible)	At least once per 7 calendar days and within 24 hours of any storm event > 1.0 inch in 24 hours	If the stream or wetland has increased sedimentation or a stormwater outfall, the permittee shall record the following information: 1. Description, evidence, and date of corrective actions taken, and an explanation as to the actions taken to control future sedimentation. 2. Records on the required reports to the appropriate Division office per Part III, Section C, item 1(d) of this permit of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm water control measures, completion of final grading, and ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframes and in accordance with the permit conditions.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.



NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

North Carolina One-Call Center
 CALL 1-800-625-4949
 "CALL BEFORE YOU DIG!"
 11.5 THE LAW

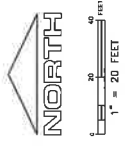
REVISION	DATE	DESCRIPTION

BESSEMER CITY HOMES
 WATER UTILITIES
 818 S SKYLAND DR. BESSEMER CITY NC 28018
 B SKANSKE CONSTRUCTION, LLC
 APPROVED BY NCM
 PROJECT NUMBER 150
 DRAWN BY NCM
 CHECKED BY NCM

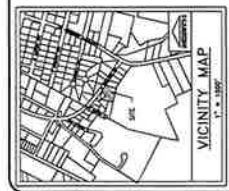
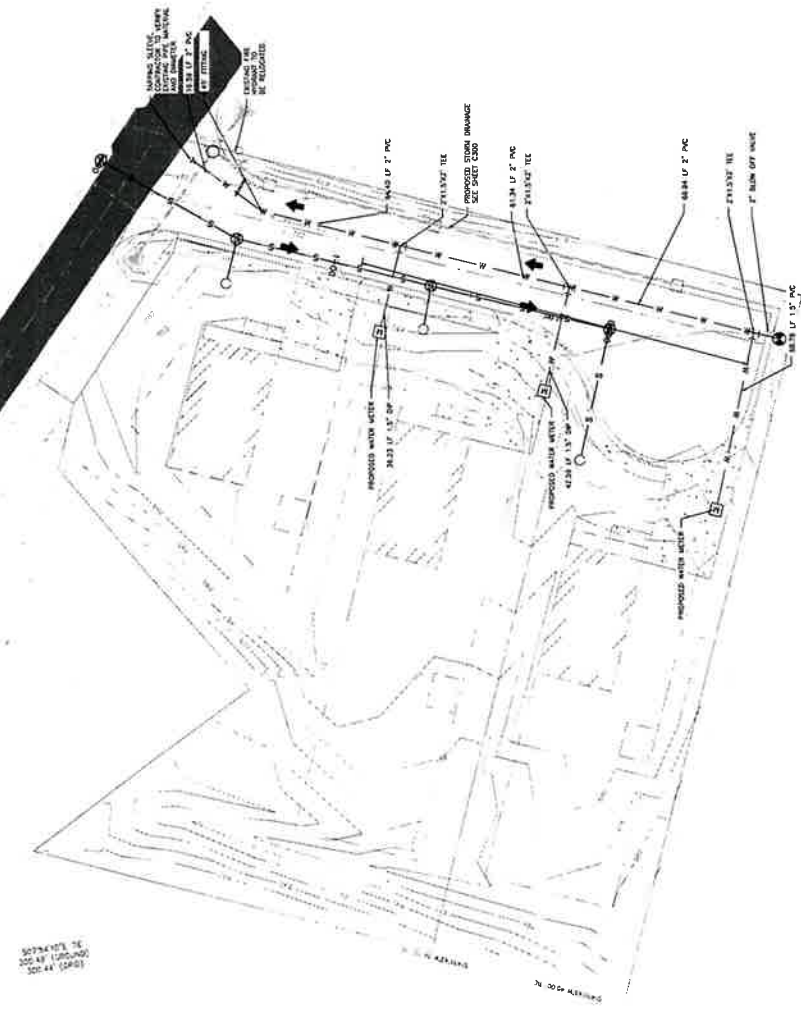
CES
 CIVIL
 PROFESSIONAL
 SURVEYING
 111192024

111192024
 11/19/2024

C600
 Item 1.



S. SKYLAND DRIVE
 S.P.R. 150A
 20' WIDE
 20' WIDE
 20' WIDE



North Carolina One-Call Center
 CALL 1-800-632-8849
 Call Before You Dig!
 It's The Law!

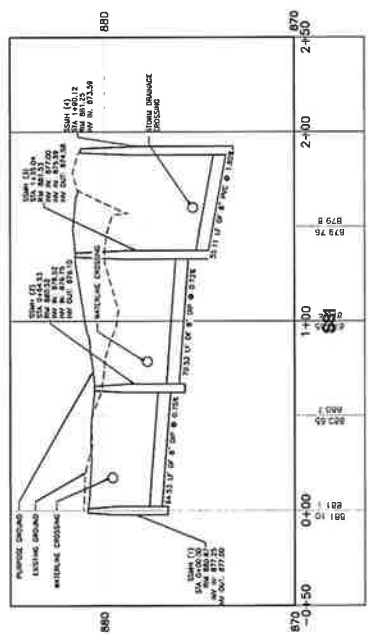
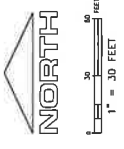
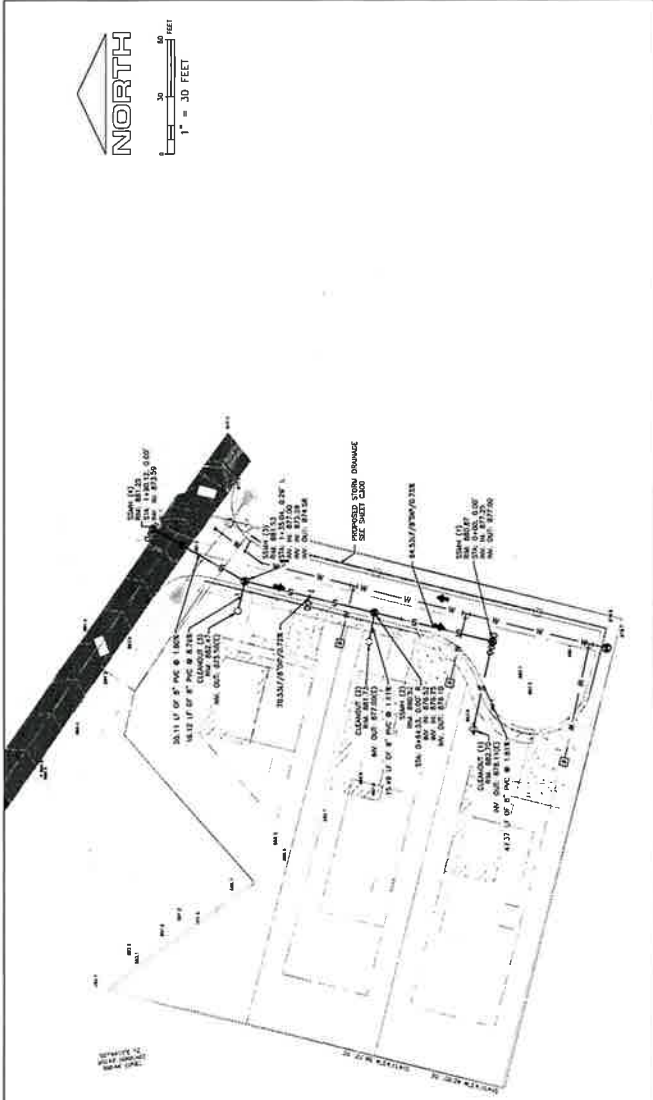
REVISION	DATE	DESCRIPTION

BESSEMER CITY HOMES
 SANITARY SEWER PROFILE
 3142 S. SPANGLER DR., BESSERER CITY, NC 28018
 3 SHARPE CONSTRUCTION, LLC
 PROJECT MANAGER: M.H.
 APPROVED BY: M.H.
 CHECKED BY: M.H.
 CTS PROJECT NO: 202411000

CSES
 CIVIL
 ENGINEERING
 SURVEYING
 1000 W. 10TH ST.
 SUITE 100
 WILKINSON, NC 28696
 LICENSE NO. 10000
 REGISTERED PROFESSIONAL ENGINEER



C610
 Item 1.



Call BEFORE you Dig!

1-800-832-4549

North Carolina One-Call Center

REVISION	DATE	DESCRIPTION

BESSEMER CITY HOMES

UTILITY DETAILS 1

412 S. PARKWAY DR., RESEARCH CTR. #2 33818
 9. SHAWK CONSULTING, LLC
 PROJECT MANAGER: KIM
 DESIGNER: JIM
 CHECKED BY: KIM
 DATE: 11/19/2024

CES

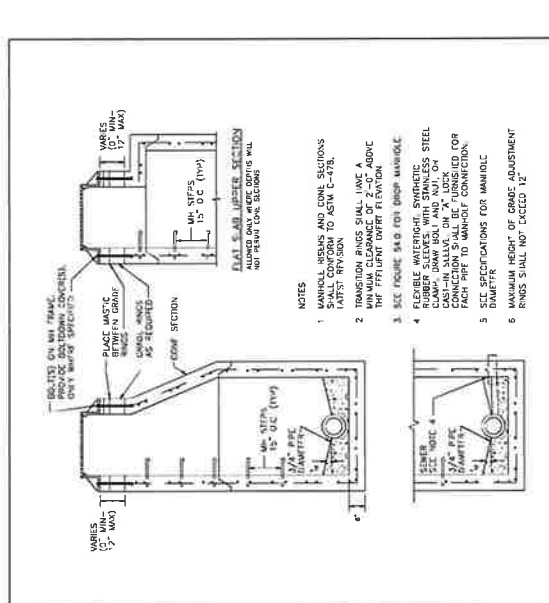
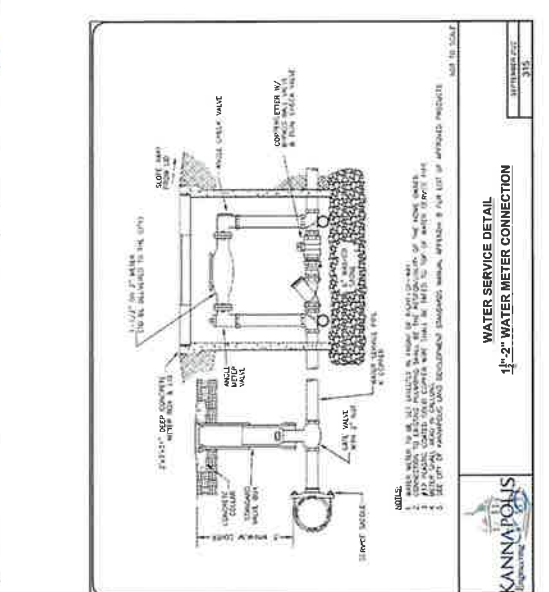
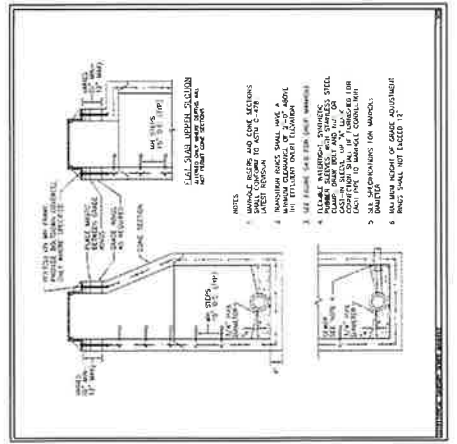
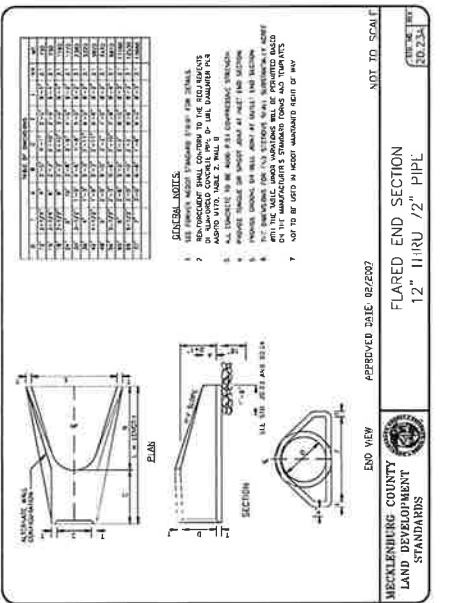
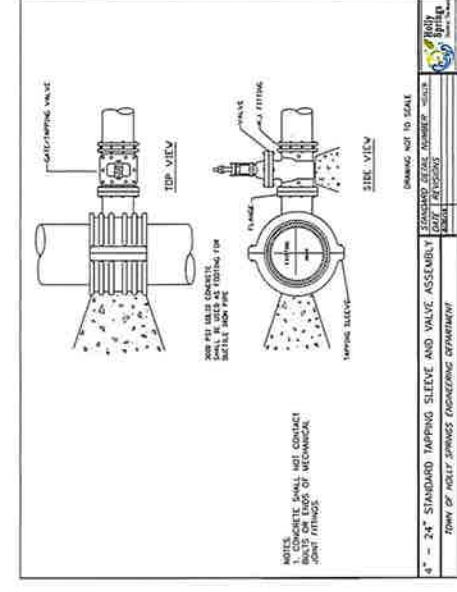
UNIVERSITY OF NORTH CAROLINA

11/19/2024

11/19/2024

C67A

Item 1.



C621

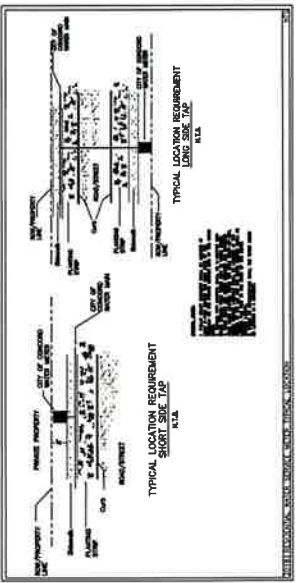
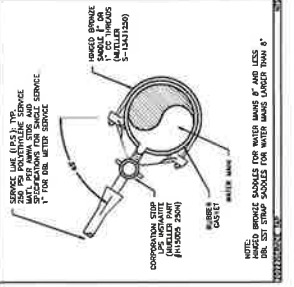
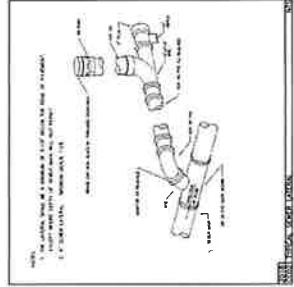
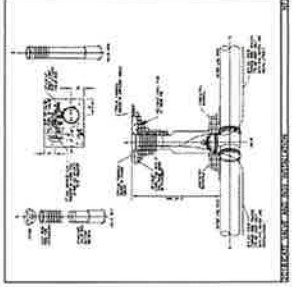
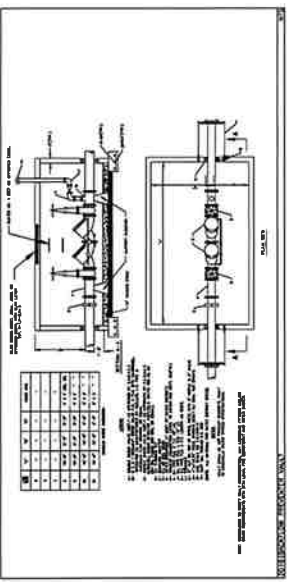
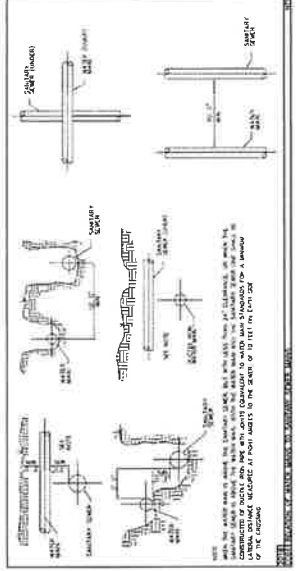


CESQ
STATE OF NORTH CAROLINA
COMMERCIAL CONTRACTING
REGISTERED CONTRACTOR
NO. 26200-0000
JAMES CONSTRUCTION, LLC
11000 W. WINDY HILL DRIVE
CARRINGTON, NC 27514
REGISTERED CONTRACTOR
LICENSE NO. 34803
EXPIRES 11/19/2024

BESSEMER CITY HOMES
UTILITY DETAILS II
343 S. WYLAND DR., BESSERER CITY, NC 28015
JAMES CONSTRUCTION, LLC
P.O. BOX 1000
PROJECT MANAGER: KEVIN
ARCHITECT: KEVIN
CHECKED BY: KEVIN
DATE: 11/19/2024
CDP PROJECT NO. 24034.1.000

REVISION	DATE	DESCRIPTION

North Carolina One-Call Center
CALL 1-800-632-4349
11:5 THE LAW
CALL BEFORE YOU DIG!



North Carolina One-Call Center
 CALL 1-800-832-4949
 "It's The Law"
 Call Before You Dig!

REVISION	DATE	DESCRIPTION

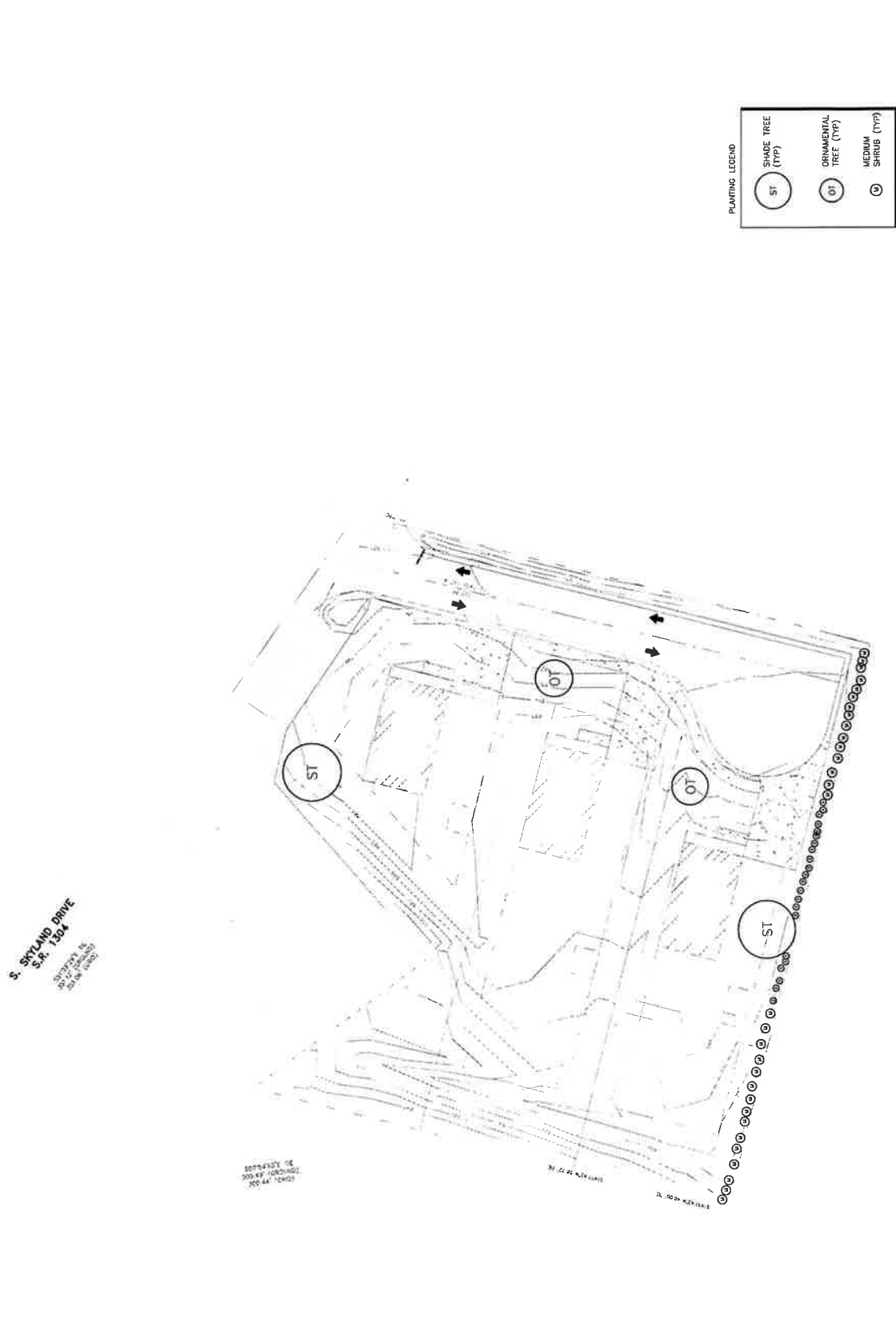
BESSEMER CITY HOMES
 LANDSCAPING PLAN
 310 S SKYLAND DR. BESSEMER CITY NC 28018
 3 SHARPS CONSTRUCTION, LLC
 ARCHITECT OF RECORD
 PROJECT NUMBER: 2024/1000
 DRAWN BY: JMC
 CHECKED BY: JMC
 PROJECT START: N/A
 PROJECT END: N/A

CES
 CIVIL
 ENGINEERING
 SURVEYING
 PROFESSIONAL ENGINEER
 IN THE STATE OF NORTH CAROLINA
 LICENSE NUMBER: 14162-0001
 EXPIRES: 06/30/2024
 ENGINEER: JMC



L100

Item 1.



S. SKYLAND DRIVE
 S.R. 1504
 2017773 10
 2017773 10
 2017773 10

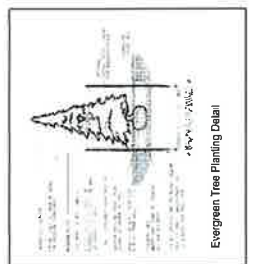
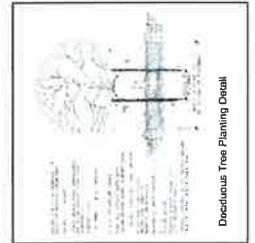
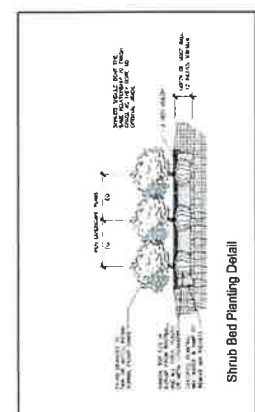
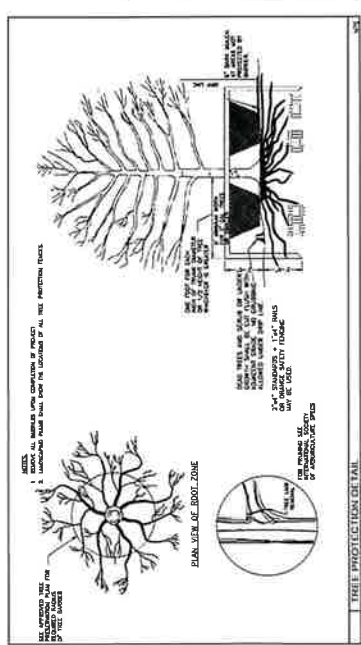
SOFTENED BY
 200 44 160/210/210
 200 44 160/210

PLANTING LEGEND

- ST SHADE TREE (TYP)
- OT ORNAMENTAL TREE (TYP)
- M MEDIUM SHRUB (TYP)

CLASSIFICATION	INSTALLATION SIZE STANDARDS	
	MINIMUM CALIPER	MINIMUM HEIGHT
SHADE TREE	2 - 2 1/2 INCHES	10 - 12 FEET
ORNAMENTAL TREE	1 1/2 - 2 INCHES	6 - 8 FEET
MEDIUM SHRUB	MINIMUM HEIGHT OF 3 - 3 1/2 FEET	MINIMUM HEIGHT AND/OR SPREAD OF 24 - 35 INCHES
MEDIUM SHRUB	MINIMUM HEIGHT AND/OR SPREAD OF 18 - 24 INCHES	

ISSUED AND
 SHALL NOT BE
 ENT.



SEEDING SPECIFICATIONS:

1. SEEDING MATERIAL SHALL BE USED AT THE RATE OF 10 LBS/1000 SQ FT.
2. SEEDING MATERIAL SHALL BE USED AT THE RATE OF 10 LBS/1000 SQ FT.
3. SEEDING MATERIAL SHALL BE USED AT THE RATE OF 10 LBS/1000 SQ FT.
4. SEEDING MATERIAL SHALL BE USED AT THE RATE OF 10 LBS/1000 SQ FT.
5. SEEDING MATERIAL SHALL BE USED AT THE RATE OF 10 LBS/1000 SQ FT.

EROSION CONTROL NOTES:

1. SURFACE WATER CONTROL MEASURES TO BE INSTALLED ACCORDING TO
2. AREAS TO BE SEED SHALL BE REPEATED AND SPREAD WITH AVAILABLE
3. DEEP. 3\"/>

GENERAL REQUIREMENTS:

1. MINIMUM DIMENSIONS SHALL APPLY AND BE MAINTAINED HORIZONTALLY
2. LANDSCAPING AS REQUIRED WITH A PLANTING AND SHALL BE COUNTED FOR ONLY THAT PLANTING WHO
3. LANDSCAPING AS REQUIRED WITH A PLANTING AND SHALL BE COUNTED FOR ONLY THAT PLANTING WHO
4. WHEN CALCULATING POINTS, FRACTIONS SHALL BE ROUNDED TO THE NEAREST WHOLE NUMBER

PLANT REQUIREMENTS:

- SHRUB TREE**
 A LARGE TREE GROWING TO A HEIGHT OF 40 FT. OR MORE AT MATURITY, USUALLY DECIDUOUS, CHARACTERIZED BY ITS HEIGHT TO FORMER SHADE.
- ORNAIMENTAL TREE**
 A SMALL TO MEDIUM TREE, GROWING TO A MATURE HEIGHT OF 2 TO 2 1/2 FEET. CHARACTERIZED BY ITS HEIGHT TO FORMER SHADE. A MINIMUM CALIPER OF 1 1/2 TO 2 INCHES AND A MINIMUM HEIGHT OF 10 TO 12 FEET.
- LARGE SHRUB**
 AN UPRIGHT PLANT GROWING TO A MATURE HEIGHT OF MORE THAN 8 FT. FOR USE AS NATURAL ORNAMENTATION OR SCREEN.
- MEDIUM SHRUB**
 AN UPRIGHT PLANT GROWING TO A MATURE HEIGHT OF 4 TO 8 FT.
- SMALL SHRUB**
 AN UPRIGHT PLANT GROWING TO A MATURE HEIGHT OF LESS THAN 4 FT.

GROUND COVER (ORGANIC)
 PERMANENTLY PLANTED WITH PERSISTENT COVERAGE ON THE GROUND WITHIN THREE (3) YEARS OF INSTALLATION EXCEPT WHEN NEWLY SEEDING, GRASS OR TURF SHALL PROVIDE 100 PERCENT COVERAGE. ORGANIC MULCH MAY BE USED AROUND PLANTINGS TO MAINTAIN SOIL MOISTURE AND PREVENT THE GROWTH OF WEEDS.

GROUND COVER (NON-ORGANIC)
 PERMANENTLY PLANTED WITH PERSISTENT COVERAGE ON THE GROUND WITHIN THREE (3) YEARS OF INSTALLATION EXCEPT WHEN NEWLY SEEDING, GRASS OR TURF SHALL PROVIDE 100 PERCENT COVERAGE. ORGANIC MULCH MAY BE USED AROUND PLANTINGS TO MAINTAIN SOIL MOISTURE AND PREVENT THE GROWTH OF WEEDS.

LANDSCAPING NOTES:

1. CONTRACTOR SHALL CORRELATE AN ON-SITE MEETING WITH THE CITY ARBORIST BEFORE
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE ANSI STANDARD FOR
3. ALL PLANT STOCK SHALL COMPLY WITH THE CURRENT EDITION OF ANSI Z601 AMERICAN STANDARD FOR
4. ALL PLANTING AREAS SHALL MEET THE REQUIREMENTS OF THE CONCORD DEVELOPMENT ORDINANCE
5. ARTICLE 11 AND TECHNICAL STANDARDS ARTICLE 12 OF THE CONCORD DEVELOPMENT ORDINANCE
6. UNITIES SHALL BE LOCATED BEFORE PLANTING
7. HYDRANTS AND UTILITY APPURTENANCES NO TREES SHALL BE PLANTED WITHIN 75' OF A STOP SIGN
8. ANY PROPOSED REDUCTION OF THE APPROVED PLANTING PLAN OR PLANT SPECIES SUBSTITUTIONS SHALL
9. ALL TREES AND THEIR PLANTED LOCATION SHALL BE INSPECTED BY CITY STAFF BEFORE APPROVAL. ANY
10. ANY PROPOSED PRIVATE IRRIGATION MAY BE SUBJECT TO CITY REVIEW AND APPROVAL. ANY

Call Before You Dig!

CALL 1-800-632-4199

North Carolina One-Call Center

PERSON	DATE	DESCRIPTION

BESSEMER CITY HOMES
 PRE-DEVELOPMENT DRAINAGE BASIN MAP

818 S SKYLARK DR. RESEARCH CITY, NC 28138
 © SKANSKE CONSTRUCTION, LLC

DATE: 08/28/2014
 PROJECT MANAGER: NCM
 PROJECT STAFF: NCM
 CHECKED BY: NCM

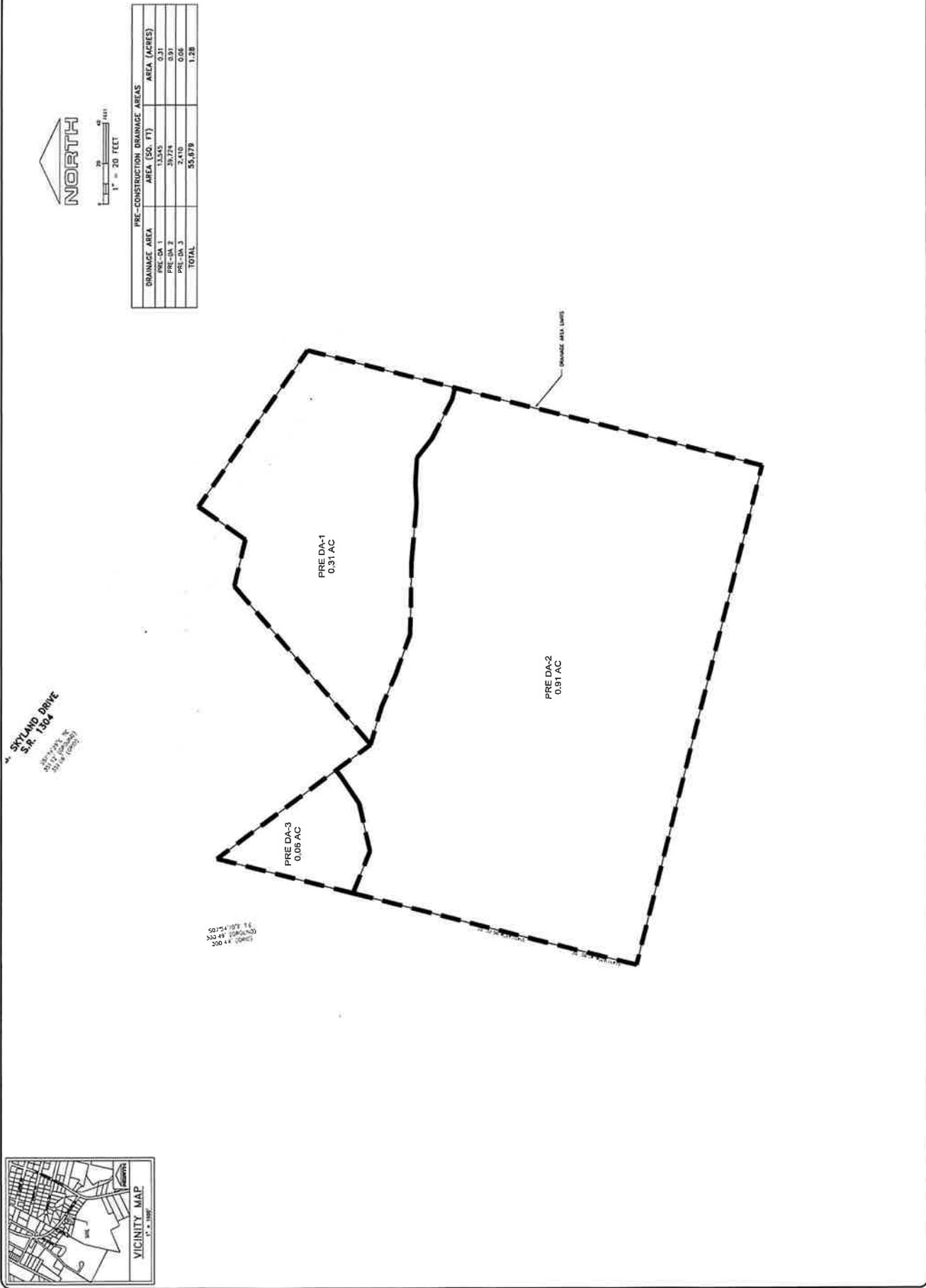
CESI CIVIL ENGINEERING & SURVEYING

1000 W. HARRIS ST. SUITE 100
 WARRINGTON, NC 27888
 PHONE: 703.778.4444
 FAX: 703.778.4444
 WWW.CESIENGINEERING.COM

11/11/2014

WQ100

Item 1.



North Carolina One-Call Center
 CALL 1-800-832-4849
 COLL BEFORE YOU DIG!
 It's The Low Cost Way To Avoid Accidents

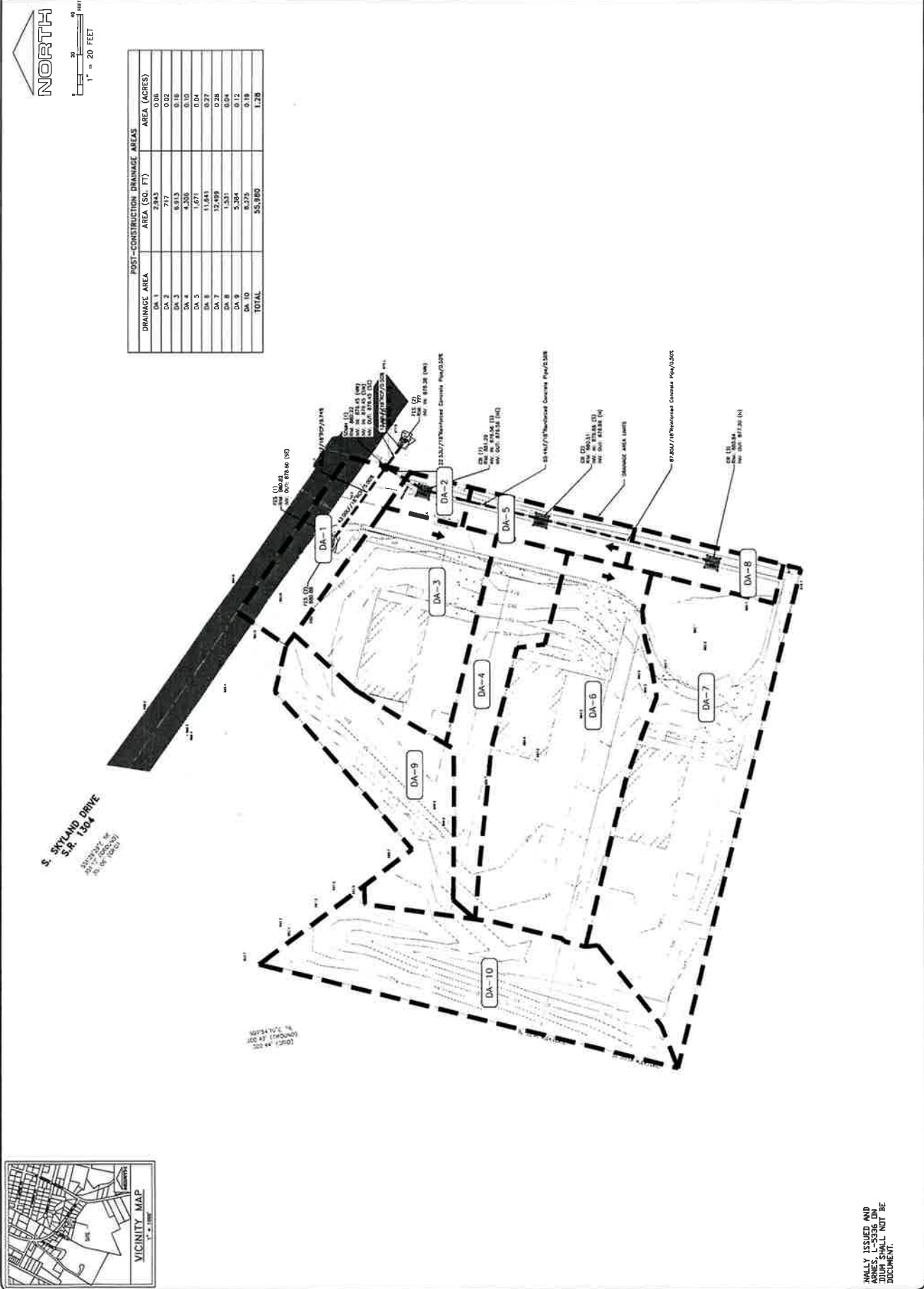
DATE	
DESCRIPTION	

BESSEMER CITY HOMES
 POST-DEVELOPMENT DRAINAGE BASIN MAP
 810 S SKYLAND DR., BESSEMER CITY, NC 28018
 © 2024 CIESO SURVYING
 PROJECT NO. 24024.1000
 CHECKED BY: MJC
 DESIGNED BY: MJC
 PROJECT MANAGER: MJC
 APPROVED BY: MJC
 PROJECT START: 7/24/24

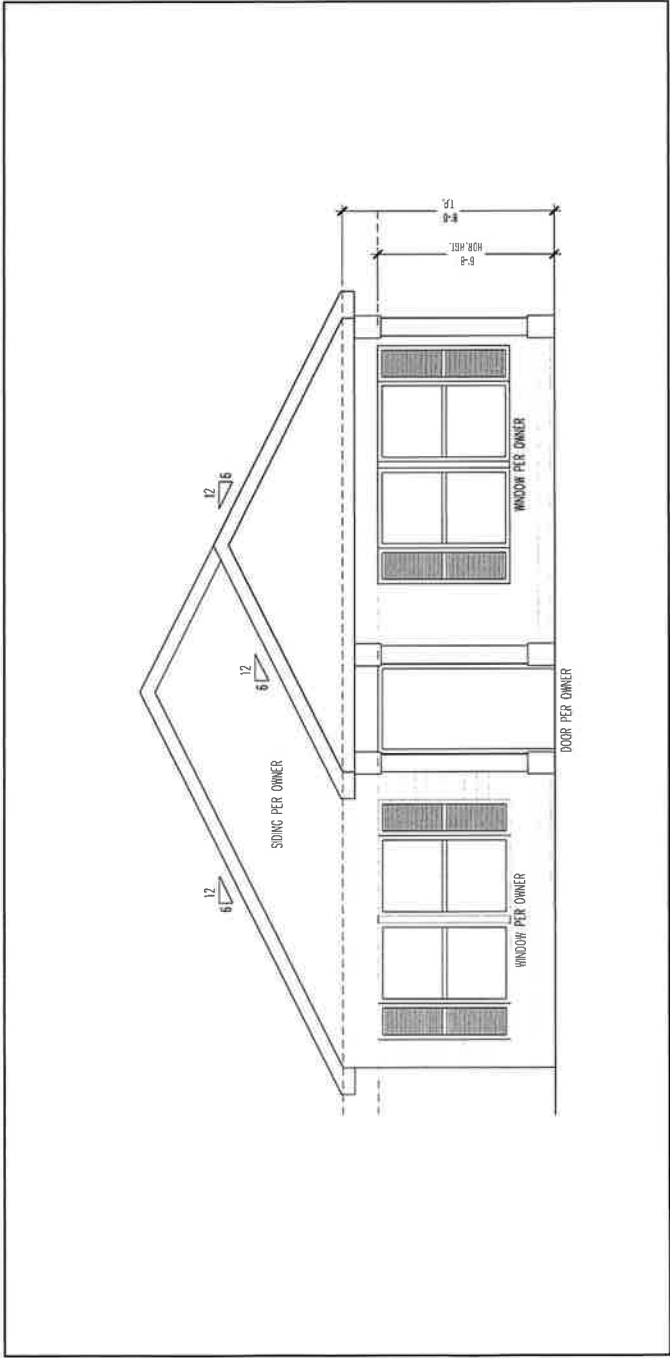
CIESO
 CIVIL SURVYING
 111182024



WQ101
 Item 1.



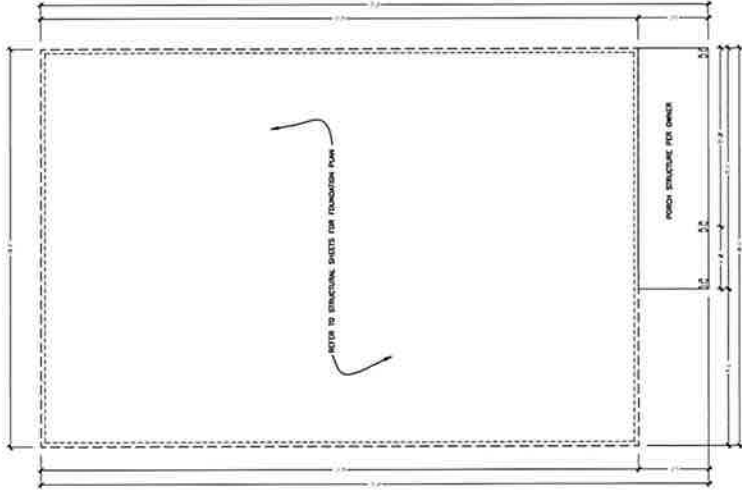
CONTRACTOR LOGO	Savage Land Company RESIDENCE		DRAWING ISSUED FOR CONSTRUCTION	RESUBMIT	FILE NAME 121028-A-0	DATE 6/9/2021	PROJECT NUMBER 121028	SHEET TITLE	SHEET
	NEW CONSTRUCTION								
TITLE PAGE								A-0	



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Savage Land Company Build

CONTRACTOR LOGO	Savage Land Company RESIDENCE	NEW CONSTRUCTION	DRAWING ISSUED FOR CONSTRUCTION
	RESUBMIT		
FILE NAME	121028A-02	DATE	6/8/2021
PROJECT NUMBER	131028	SHEET TITLE	FOUNDATION PLAN
SHEET			A-0.2
DESIGNED BY: WILLIAM LEROY			



1
1/4" = 1'-0"

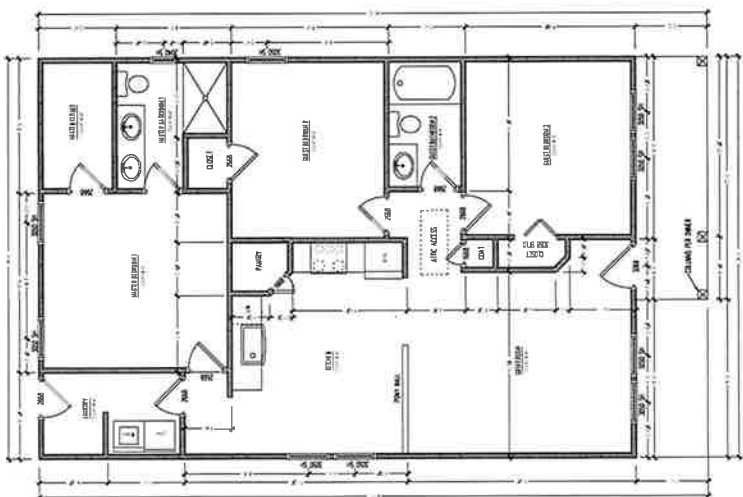
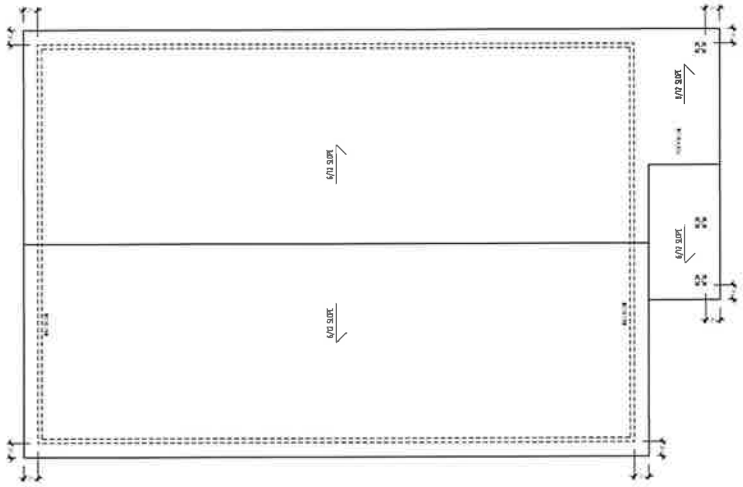
PROPOSED FOUNDATION PLAN

AREA CALCULATIONS

DESCRIPTION	AREA	PERCENT
NEW CONCRETE AREA 1ST FLOOR	4,116	100%
NEW FOUNDATION AREA 1ST FLOOR	88	2%

*****NOTE: ALL DIMENSIONS, DOOR/WINDOW LOCATIONS & SIZES, & MATERIAL SELECTION TO BE FIELD VERIFIED & APPROVED BY OWNER.*****

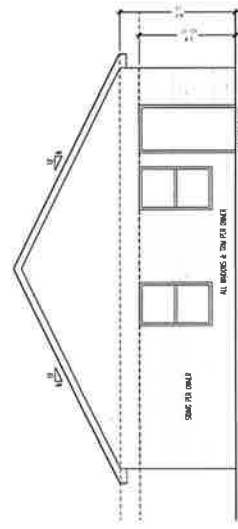
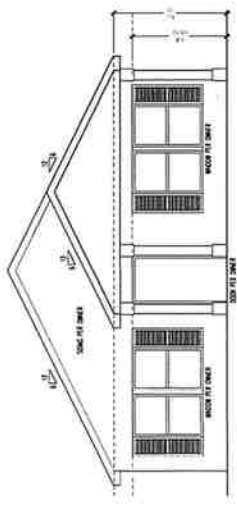
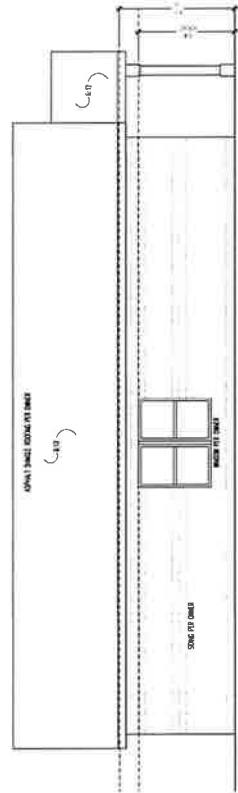
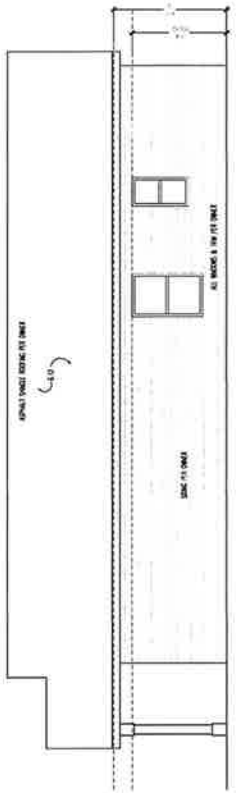
	NEW CONSTRUCTION	Savage Land Company RESIDENCE	DRAWING ISSUED FOR CONSTRUCTION
CONTRACTOR LOGO			
REVISIONS		FILE NAME: 121028-A-01	DATE: 08/25/21
		PROJECT NUMBER: 121028	SHEET TITLE: 1ST FLOOR PLAN, ROOF PLAN
		A-01	
DESIGNED BY: WILLIAM LED			



AREA CALCULATIONS			
DESCRIPTION	AREA	PERIMETER	TOTALS
1ST FLOOR	1,391	144	
2ND FLOOR	1,391	144	
TOTAL	2,782	288	

NOTE: ALL DIMENSIONS, DOOR/WINDOW LOCATIONS & SIZES, & MATERIAL SELECTION TO BE FIELD VERIFIED & APPROVED BY OWNER.

	NEW CONSTRUCTION	Savage Land Company RESIDENCE	
CONTRACTOR LOGO			
DRAWING ISSUED FOR CONSTRUCTION			
REVISIONS			
FILE NAME	121028-A-02		
DATE	6/8/2021		
PROJECT NUMBER	131028		
SHEET TITLE	PROPOSED ELEVATIONS		
SHEET	A-02		
DESIGN BY: WILLIAM LEE			



AREA CALCULATIONS

DESCRIPTION	AREA	PERIMETER
NEW UNCONDITIONED AREA 1ST FLOOR	95	134.81
NEW UNCONDITIONED AREA 2ND FLOOR	95	134.81

*****NOTE: ALL DIMENSIONS, DOOR LOCATIONS & SIZES, WINDOW LOCATIONS & SIZES, & EXTERIOR MATERIAL SELECTION TO BE FIELD VERIFIED & APPROVED BY OWNER. *****

Noted For
FOR CONSTRUCTION

© BLACK MARIA 2023
No. _____ Date _____

Project No. 2313

Issue Date
07/30/2024

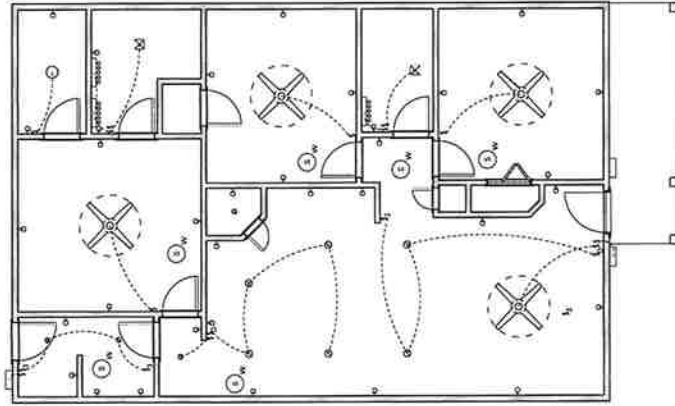
Sheet Title
ELECTRICAL PLAN

E101

Item 1.

GENERAL NOTES

1. ALL WORK IS TO BE INSTALLED IN FULL COMPLIANCE WITH THE NC ELEC CODE.
2. REFER TO ALL SET DOCUMENTS FOR ADDITIONAL NOTES.
3. SPECIFICATIONS, MATERIALS AND WARRANTY PROCEDURES FOR ALL CODE COMPLIANCE AND MATERIALS SHALL BE OBTAINED FROM THE MANUFACTURER'S WEBSITE AND APPROVED BY THE ARCHITECT.
4. CONTRACTOR SHALL VERIFY ALL ELECTRICAL WORK IS IN ACCORDANCE WITH ALL NATIONAL ELECTRICAL CODES AND LOCAL ORDINANCES.
5. INFORMATION AND COORDINATION SHALL BE OBTAINED FROM ALL TRADES AND SUBS.
6. ALL EXISTING BUILDING CONDITIONS, LOCATIONS OF PIPINGS AND DUCTS, FLOOR AND CEILING JOISTS, AND ALL OTHER INFORMATION SHALL BE OBTAINED FROM THE ARCHITECT BEFORE ANY FIELD MEASUREMENTS AND ELECTRICAL LAYOUT.
7. ALL ELECTRICAL WORK SHALL BE COMPLETED BY A LICENSED ELECTRICIAN. ALL WIRING SHALL BE IN ACCORDANCE WITH THE NC ELEC CODE AND ALL LOCAL ORDINANCES.
8. CONTRACTOR SHALL VERIFY ALL ELECTRICAL WORK IS IN ACCORDANCE WITH ALL NATIONAL ELECTRICAL CODES AND LOCAL ORDINANCES.
9. ALL ELECTRICAL WORK SHALL BE IN FULL COMPLIANCE WITH THE NC ELEC CODE AND ALL LOCAL ORDINANCES.



① ELECTRICAL PLAN
1/4" = 1'-0"

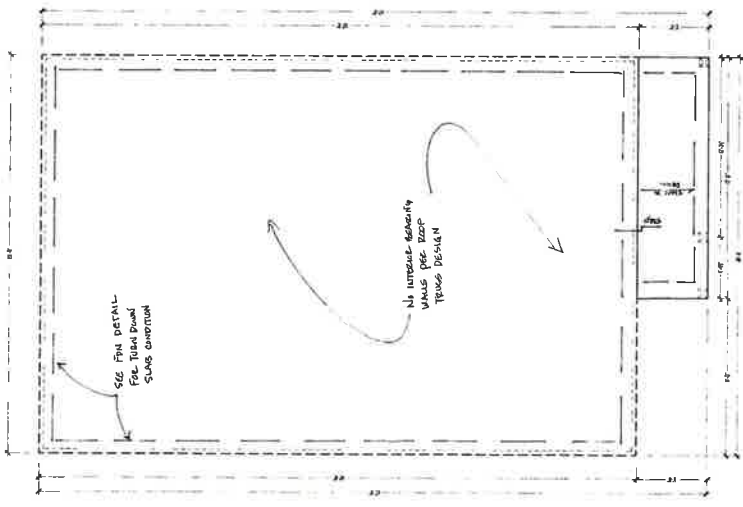
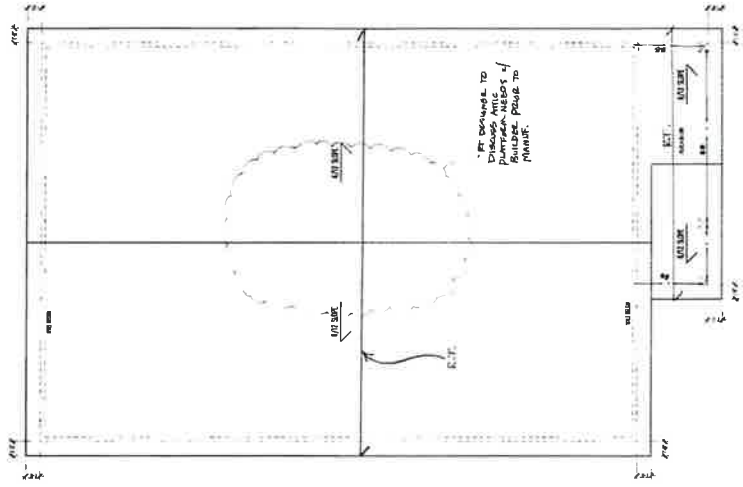
S2

NO.	DATE	DESCRIPTION

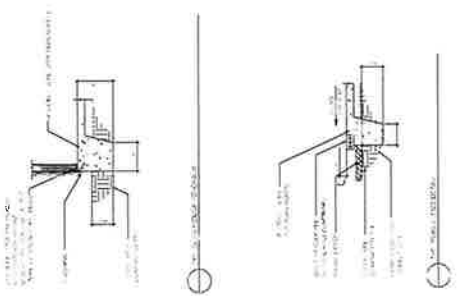


Residential Structures, P.C.
 Engineering and Design
 Charlotte 843-908-1774
 Myrtle Beach/Florence 704-301-8521
 www.residentialstruc.com

- REVISIONS:**
1. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
- NOTES:**
1. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.



- FOUNDATION NOTES:**
1. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS TO BE SHOWN UNLESS OTHERWISE NOTED.





Residential Structures, P.C.
 Engineering and Design
 Charlotte 704-522-6500
 Chesapeake 704-301-8521
 Myrtle Beach/Vienna 704-301-8521
 www.residentialstructurespc.com



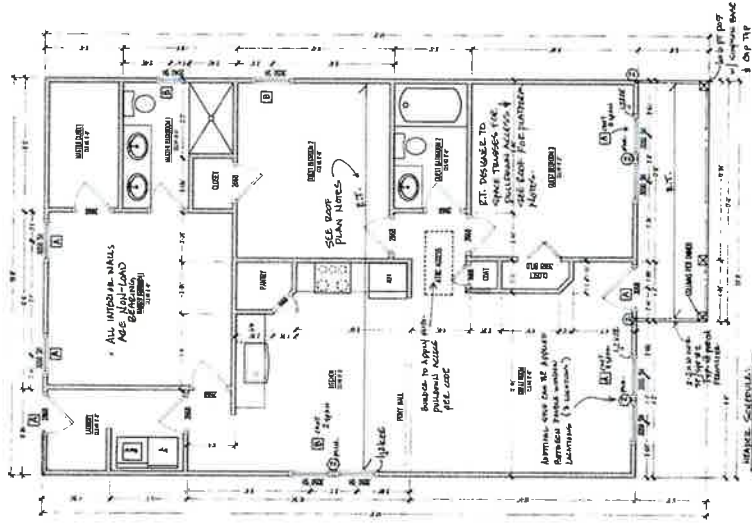
RESIDENTIAL STRUCTURES, P.C.
 5905 STATE STREET, SUITE 100
 CHARLOTTE, NC 28217
 704-522-6500

S3

Item 1.

REV	DATE	DESCRIPTION

SHEET



- SEE COLOR FINISHING NOTES**
- ALL INT./EXT. LOAD BEARING WALL HEADERS TO BE 2" MINIMUM. w/ (1) JACK
 - ALL EXTERIOR WALL HEADERS TO HAVE (1) KING PER EVERY 3 FEET OF OPENING
 - ALL C.C. WALLS TO BE REINFORCED PER MEMBER 1014 SHALL BE SHOWN ON
 - CONCRETE WALLS TO BE REINFORCED PER MEMBER 1014 SHALL BE SHOWN ON
 - SPOUR SIZES SHALL BE 3" OFF BEAMS ATTACHED TO FRAMING W/PA COOLER WALLS
 - OR #6 SPACING @ 7" O.C. ALONG THE EDGES AND IN THE FIELD
 - ATTACH LUGS TO WALLS AT 12" O.C. FROM EACH FACE (AND
 - ATTACH TO WALLS AT 12" O.C. FROM EACH FACE (AND
 - REINFORCE WITH TRUSSING AT JOINTS AND WALLS (SEE FLOOR PLAN LOADS TYP)
 - SCHEDULE #4 OR EJECT SHALL BE IN ALL WALLS.
 - REINFORCE ALL POINT LOADS FROM ABOVE THROUGH THE FIRST FLOOR w/ AN
 - ALL EXTERIOR WALLS TO BE SHOWN w/ 2" OR 2" OR 2" ATTACHED TO FRAMING w/ #4
 - WALLS AT 8" O.C. LUGS AND 12" O.C. FIELD. PROVIDE BLOCKING AT ALL PANEL
 - SPACES: SEE NOTE TYP, (AND)

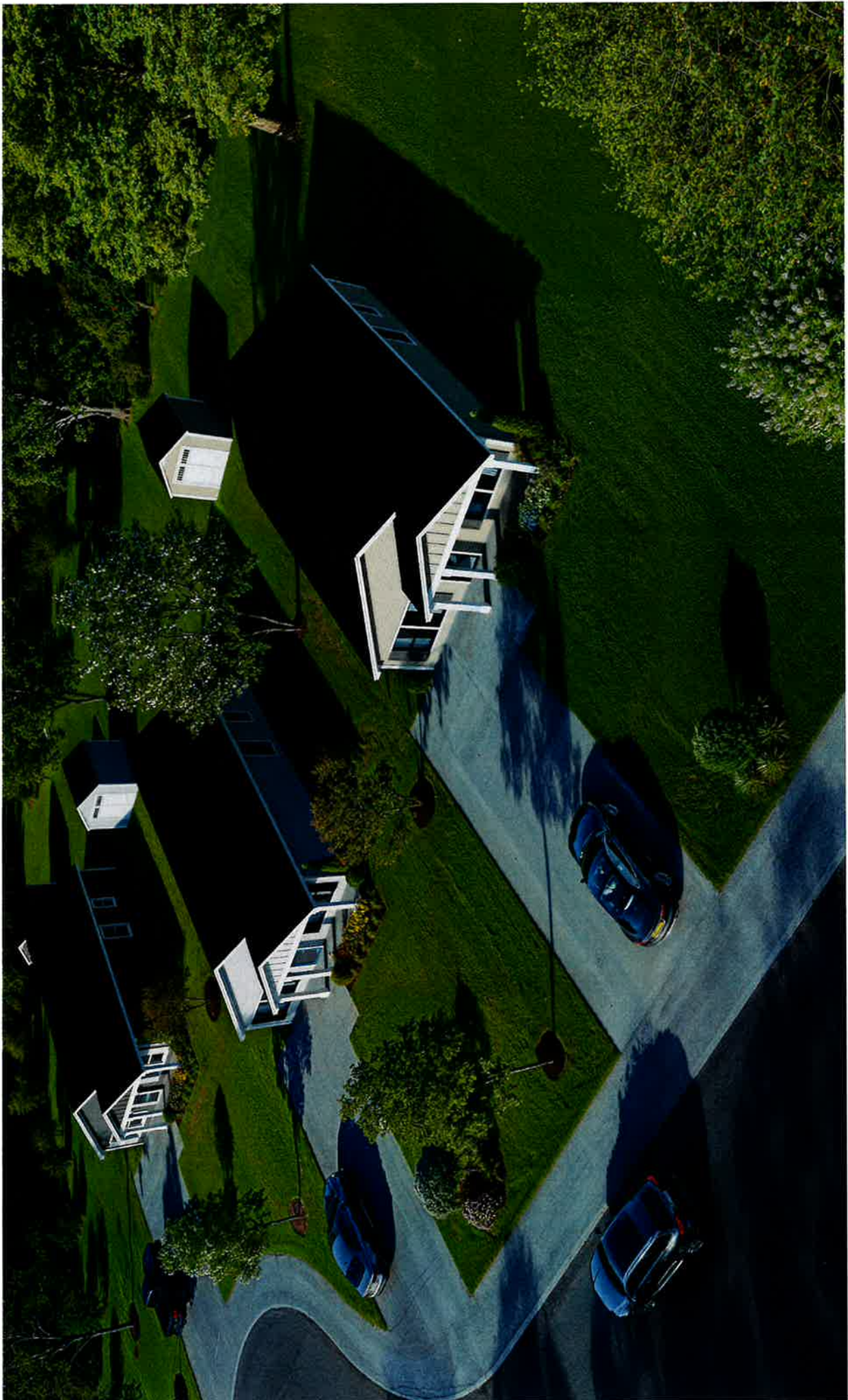
TYPICAL HEADERS

NO.	DESCRIPTION	SECTION	DETAIL
1	2" MINIMUM	...	...
2	2" MINIMUM	...	...
3	2" MINIMUM	...	...
4	2" MINIMUM	...	...
5	2" MINIMUM	...	...
6	2" MINIMUM	...	...
7	2" MINIMUM	...	...
8	2" MINIMUM	...	...
9	2" MINIMUM	...	...
10	2" MINIMUM	...	...

WALL STUD REQUIREMENTS

NO.	DESCRIPTION	SECTION	DETAIL
1	2" MINIMUM	...	...
2	2" MINIMUM	...	...
3	2" MINIMUM	...	...
4	2" MINIMUM	...	...
5	2" MINIMUM	...	...
6	2" MINIMUM	...	...
7	2" MINIMUM	...	...
8	2" MINIMUM	...	...
9	2" MINIMUM	...	...
10	2" MINIMUM	...	...

- FRAME SCHEDULE**
- ① - 2" x 4" LUG w/ 4" DIA. H.L.
 - ② - 2" x 4" LUG w/ 4" DIA. H.L.
 - ③ - 2" x 4" LUG w/ 4" DIA. H.L.
 - ④ - 2" x 4" LUG w/ 4" DIA. H.L.
 - ALL WALS TO HAVE MIN. 1" DIA. LUGS INTO THIS
 - 1" DIA. LUGS INTO THIS







NORTH CAROLINA

GASTON COUNTY

AGREEMENT FOR INSTALLATION OF UTILITIES

THIS AGREEMENT, made effective this the ____ day of _____, 2024, by and between MERITAGE HOMES OF THE CAROLINAS, INC., a North Carolina corporation hereinafter referred to as "Developer", and the CITY OF BESSEMER CITY, a North Carolina municipal corporation organized and existing under the laws of the State of North Carolina, hereinafter referred to as "City";

W I T N E S S E T H:

WHEREAS, Developer is the owner of that certain real property shown on Exhibit A in the City locally known as approximately 36.07 acres identified as PID 314026, herein called the "Property"; and

WHEREAS, Developer now intends to subdivide and develop the property by furnishing and installing labor, materials, and other necessary improvements to the property to construct infrastructure and to develop, construct and market approximately 100 single-family dwellings; and

WHEREAS, Developer has sought and obtained certain conditional use permits, zoning changes and other developmental permitting to authorize and allow it to construct these improvements; and

WHEREAS, as part of the Developer's intended development, herein called the "Subdivision", natural gas infrastructure to deliver natural gas sold by City to each single-family dwelling in the Subdivision must be constructed; and

WHEREAS, Developer has agreed to pay for all necessary labor, materials, permits, engineering studies, engineering opinions, reports, and any and all related goods or services necessary to install the infrastructure required to furnish natural gas to each home in the Subdivision, herein called the "Infrastructure"; and

WHEREAS, City has agreed to procure, seek bids for, acquire, furnish, and install such natural gas Infrastructure provided that Developer pay all charges, invoices, costs, fees, and related expenses for same as set forth herein.

NOW, THEREFORE, in consideration of the terms, conditions and agreements hereinafter set forth, and in further consideration of the sum of one hundred and 00/100 (\$100.00) Dollars paid by Developer, the receipt of which is hereby acknowledged by City, it is agreed by the parties hereto as follows:

1. City shall procure, furnish, seek permits for, engineer, design, and otherwise provide the labor and materials necessary to install the Infrastructure at the property as set forth on the plans and specifications attached hereto as Exhibit "A". Developer acknowledges that City must comply with all applicable public contracting requirements of the North Carolina Gen. statutes and that all working materials must conform to the City's standards and specifications.
2. The Infrastructure, including any required pipes, valves, pump stations, electrical lines, excavations, or other labor or materials shall be provided and installed by a contractor of cities choice and in accordance with all required engineering plans, profiles and specifications prescribed by City.
3. The Infrastructure shall be installed within the boundaries of either existing or to be dedicated streets, alleys, or utilities rights-of-way within the subdivision and Developer, for itself, its successors and assigns, does hereby agree and grant to City a temporary construction easement to enter upon and over lands of Developer within the property as may be reasonably necessary or convenient to perform the installation of the Infrastructure.
4. Notwithstanding anything in this agreement to the contrary, Developer shall reimburse City for all necessary labor, materials, permits, engineering studies, engineering opinions, reports, and any and all related goods or services necessary to install the Infrastructure. After commencement of the construction of the Infrastructure, City shall forward all invoices for any such costs or expenses to Developer within 10 days of receipt by City and Developer shall pay same either to City or directly to the provider within 10 days of its receipt thereof.
5. Upon substantial completion of the Infrastructure, and full payment of all invoices for the construction of same by Developer, City shall provide a certificate of completion and shall issue certificates of occupancy for each single-family dwelling within the subdivision as same are completed. However, in the event that Developer fails to substantially perform pursuant to this agreement, specifically by paying for the Infrastructure, City shall withhold all certificates of occupancy or other permits necessary to allow Developer to market or convey the dwellings within the subdivision.
6. The connection of the Infrastructure to the City systems shall not be permanently made or maintained until the same shall have been tested under supervision of and the written approval and acceptance of such installation given by the City's Director of Engineering / City Engineer. After such approval and acceptance, City shall thereafter repair and maintain the same, except for defects in workmanship or materials, or as a result of noncompliance with the plans and specifications therefor. If needed, Developer shall obtain, provide and furnish at Developer's expense, including attorney fees and recording fees, such perpetual

rights-of-way or deeds to City as shall be specified by City for the construction, maintenance and operation of the Infrastructure, including any encroachment agreements that might be required from the North Carolina Department of Transportation or any public utility.

7. Neither Developer nor any other person shall be entitled to any service laterals from the main or line installed by City except upon permission of City and the payment of any fees required by any ordinances or regulations of City.

8. Developer warrants that upon completion of the installation and construction of the Infrastructure, the same, including any rights-of-way therefor, shall be free and clear of all claims or encumbrances of any person whatsoever.

9. Installation of the Infrastructure shall be done and completed within ____ months from the date of the agreement, otherwise the terms of this agreement shall be null and void, provided, however, that any failure by Developer to pay for the Infrastructure as provided herein shall release and discharge City from any further responsibility to provide the Infrastructure or otherwise perform hereunder.

10. Developer shall indemnify and hold harmless City from any and all loss, cost, damages, expense and liability (including attorney's fees) caused by accident or other occurrence resulting in bodily injury or property damage to any person or property arising from the installation of the Infrastructure.

11. Developer shall comply and be bound and governed by all zoning and subdivision ordinances and regulations of City now in existence or hereafter adopted that are applicable to the properties to be serviced by the utility, and all ordinances and regulations of City now in existence or hereafter adopted, regarding the operation, control, maintenance and protection of the subject utility of City, and it is expressly understood that the aforesaid compliance shall be a condition precedent to the acceptance and approval by City of the system.

12. Upon request by City, Developer shall execute a memorandum of this agreement to be recorded in the office of the register deeds for Gaston County, North Carolina, to evidence the existence thereof in the conveyance by Developer to City of the rights and privileges set forth herein.

13. In the event of the violation of any of the above agreements, City shall have the right to declare all or any of the rights of Developer under this agreement forfeited and to refuse to connect or to remove and to disconnect any tap or connection made under this agreement, and shall thereafter, at its option, be relieved of any obligations to Developer under this agreement.

14. This agreement shall be binding upon the parties hereto and upon their respective successors and assigns; provided however, no assignment of this agreement shall be made without the prior written consent of the City and the payment of any applicable fees, charges or expenses in accordance with applicable City ordinances, policies and regulations.

IN WITNESS WHEREOF, Developer has caused this Agreement to be executed, and City has caused this Agreement to be executed in its name by its City Manager, attested by its City Clerk, and its corporate seal thereto affixed, all in at least two counterparts, each of which when so executed shall constitute one and the same Agreement.

MERITAGE HOMES OF THE
CAROLINAS, INC.

By: _____

Print Name: _____

Title: _____

CITY OF BESSEMER CITY

By: _____

Print Name: _____

Title: _____

APPROVED AS TO FORM:

City Attorney

STATE OF NORTH CAROLINA

COUNTY OF GASTON

I, _____, a Notary Public of the aforesaid County and State, do hereby certify that _____ personally appeared before me this day and acknowledged that he/she is the _____ of the City of Bessemer City and that by authority duly given and as the act of the municipal corporation, the foregoing instrument was signed in its name.

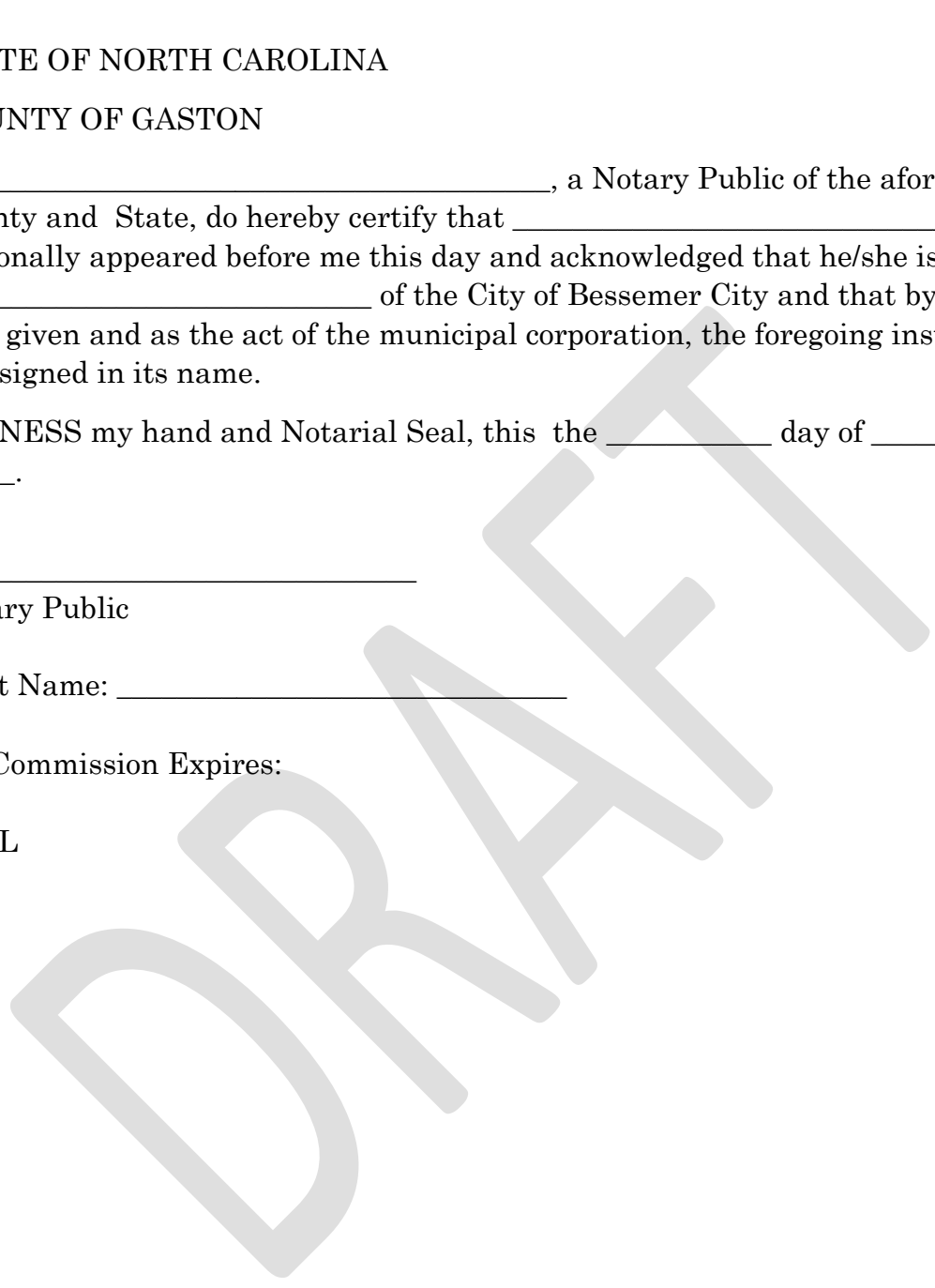
WITNESS my hand and Notarial Seal, this the _____ day of _____, 20__.

Notary Public

Print Name: _____

My Commission Expires:

SEAL



STATE OF _____

COUNTY OF _____

I, _____, a Notary Public of the aforesaid County and State, do hereby certify that _____, _____ of MERITAGE HOMES OF THE CAROLINAS, INC. a corporation, personally appeared before me this day and acknowledged the due execution of the foregoing instrument as the act and deed of the corporation.

WITNESS my hand and Notarial Seal, this the _____ day of _____, 20__.

Notary Public

Print Name: _____

My Commission Expires:

SEAL

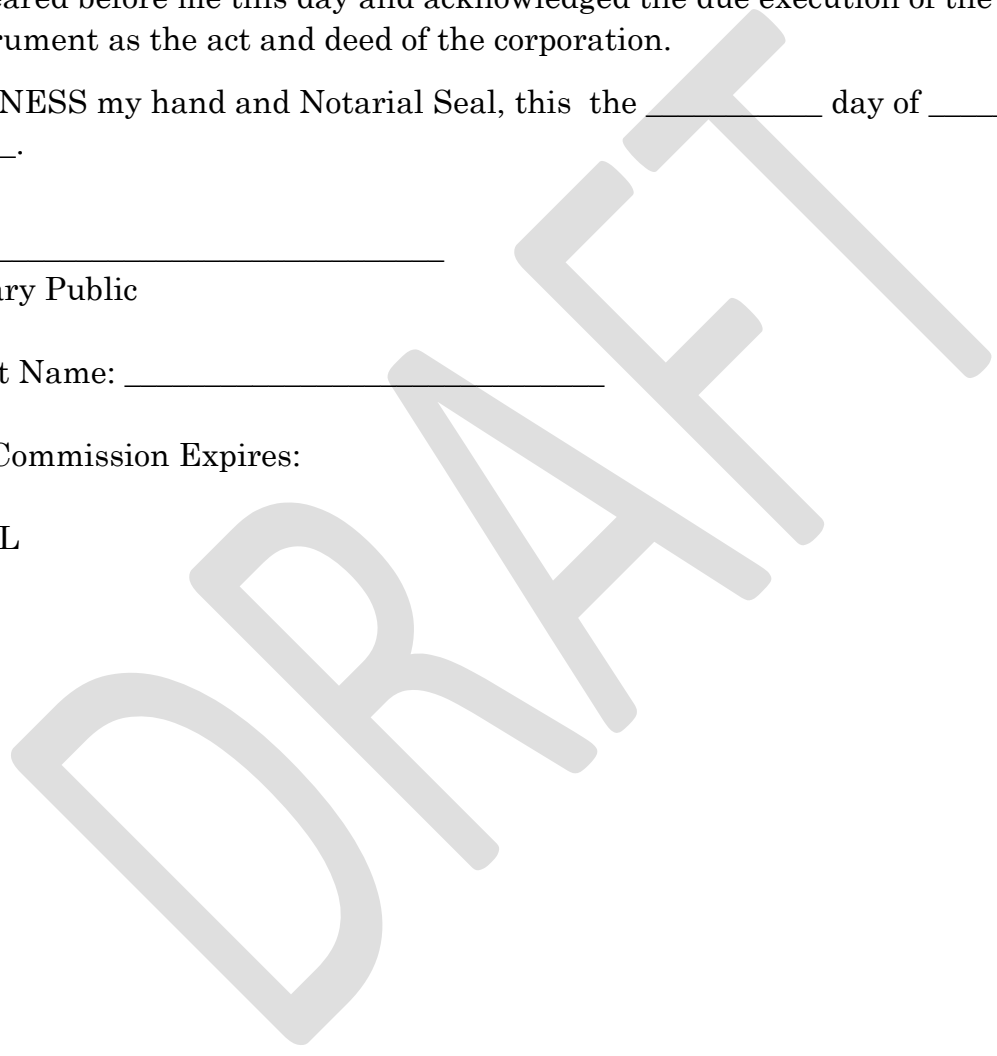


EXHIBIT "A"
Plans and Specifications

DRAFT