



Mayor
Scott Korthuis

Council Members
Gary Bode
Ron De Valois
Gerald Kuiken
Nick H. Laninga
Brent Lenssen
Kyle Strengholt
Mark Wohlrab

City Council Agenda - Regular Meeting
City Hall Annex, 205 4th Street
August 19, 2019

Call to Order

Pledge of Allegiance

Roll Call

Oath of Office

Approval of Minutes

- [1.](#) Draft Council Minutes- August 5, 2019
- [2.](#) Special City Council Meeting Minutes August 1, 2019 - Draft

Items from the Audience

Scheduled

- [3.](#) Regional Wayfinding Sign Program

Unscheduled (20 Minutes)

Audience members may address the Council on any issue other than those scheduled for a public hearing or those on which the public hearing has been closed. Prior to commenting please state your name, address, and topic. Please keep comments under 4 minutes.

Consent Agenda

- [4.](#) Approval of Payroll and Claims
- [5.](#) 2018 Berthusen Park Annual Report
- [6.](#) Contract with NW Ecological to Update Critical Area Maps
- [7.](#) Ordinance 1590 Amending Chapter 13.12 - Septic to Sewer
- [8.](#) Set Public Hearing Date for Water System Plan Update Service Area Map
- [9.](#) Set the Public Hearing to Consider Extension of the Pepin Creek Moratorium

Public Hearing

Unfinished Business

New Business

[10.](#) Final Plat Approval – North Prairie Phase 7, Division 2

Other Business

- [11.](#) Draft Parks Committee Minutes- July 15, 2019
- [12.](#) Draft Public Safety Minutes- July 11, 2019
- [13.](#) Draft Public Works Committee Meeting Minutes – August 7, 2019
- [14.](#) Calendar

Executive Session

Adjournment

CITY OF LYNDEN

EXECUTIVE SUMMARY



Meeting Date:	August 19, 2019	
Name of Agenda Item:	Draft Council Minutes- Regular Meeting	
Section of Agenda:	Approval of Minutes	
Department:	Administration	
Council Committee Review:	<input type="checkbox"/> Community Development <input type="checkbox"/> Public Safety <input type="checkbox"/> Finance <input type="checkbox"/> Public Works <input type="checkbox"/> Parks <input type="checkbox"/> Other: N/A	Legal Review: <input checked="" type="checkbox"/> Yes - Reviewed <input type="checkbox"/> No - Not Reviewed <input type="checkbox"/> Review Not Required
Attachments:	Draft Council Minutes- Regular Meeting	
Summary Statement:	Draft Council Minutes- Regular Meeting	
Recommended Action:	For Council review.	



August 5, 2019

1. CALL TO ORDER

Mayor Korthuis called to order the August 5, 2019 regular session of the Lynden City Council at 7:00 p.m. at the Lynden City Hall Annex.

ROLL CALL

Members present: Mayor Scott Korthuis and Councilors Gary Bode, Ron De Valois, Jerry Kuiken, Brent Lenssen, Nick Laninga, Mark Wohlrab and Kyle Strengholt.

Members absent: None

Staff present: Finance Director Anthony Burrows, Fire Chief Mark Billmire, HR Manager Denise Bosman, Parks Director Vern Meenderinck, Planning Director Heidi Gudde, Police Officer Russ Martin, Public Works Director Steve Banham, City Clerk Pam Brown and City Administrator Mike Martin.

OATH OF OFFICE - None

APPROVAL OF MINUTES

Councilor Wohlrab moved and Councilor Bode seconded to approve the regular council minutes of July 15, 2019. Motion approved on a 7-0 vote.

Mayor Korthuis introduced HR Manager Denise Bosman to Council and welcomed her to the city.

ITEMS FROM THE AUDIENCE

Scheduled: None

Nonscheduled:

Cynthia S. Ripke-Kutsagoitz, 7062 Guide Meridian #30, Lynden

Cynthia Ripke-Kutsagoitz addressed council members regarding her frustration with the articles in the Lynden Tribune and the people that speak hatred toward the country's president. She stated that the next time she encounters someone threatening violence towards the president she will report it to the Lynden police department.



CITY COUNCIL
MINUTES OF REGULAR MEETING

Jerilyn Klix-Luna, 408 Cascade Way, Lynden

Jerilyn Klix-Luna addressed council regarding the letter she received from the city at the end of May about parking and storing travel trailers on private properties. She spoke in favor of allowing residents to park and store their travel trailers on their private property as long as those trailers do not impede the public right of way. She also stated that some of her neighbors felt the same way but did not come to speak because they had not yet received a letter and they did not want to draw attention to themselves.

Councilor Wohlrab asked Ms. Klix-Luna to communicate to her neighbors that council is interested in hearing about their concerns and that they would not be targeted by expressing those concerns. Mayor Korthuis encouraged Ms. Klix-Luna ask her neighbors to join her in attending the next Community Development meeting and begin to discuss these issues and hopefully come up with some creative solutions.

2. CONSENT AGENDA

Approval of Payroll Disbursed – July 16-31

Paychex EFT	\$307,710.07
City of Lynden EFT	\$65,008.33
Warrant Liability	\$57,761.70
	\$430,480.10
Paychex EFT Liability	\$6,715.85
Total EFT & Other Liabilities.....	\$437,195.95

Approval of Claims – August 6, 2019

Manual Warrants No.	<u>73503</u>	through	<u>73505</u>		\$57,271.01
EFT Payment Pre-Pays					\$103,569.44
				Sub Total Pre-Pays	\$160,840.45
Voucher Warrants No.	<u>73506</u>	through	-		\$78,729.85
EFT Payments					0.00
				Sub Total	\$78,729.85
				Total Accts. Payable	239,570.30

Councilor De Valois moved and Councilor Kuiken seconded to approve the Consent Agenda. Motion approved on a 7-0 vote.



3. PUBLIC HEARING - None

4. UNFINISHED BUSINESS

Ordinance No. 1587- ROW Relocation for 17th Street Project

The City of Lynden is considering a modification to the vacation of the right-of-way easement for the extension of 17th Street resulting from the settlement between Marina Timmermans and the City of Lynden. This settlement agreement was originally executed in October of 2013.

An alteration under consideration is to shift the proposed right-of-way approximately 8-foot to the west, to the benefit of the property owner, to create a larger and more developable portion of property east of the proposed street.

As such, the owner of the property underlying the proposed vacated easement and the City have agreed to exchange the vacated easement for a similar easement of equal value located slightly west of the easement being vacated.

A public hearing on this issue was held before the City Council on July 17, 2019.

Councilor Bode moved and Councilor Laninga seconded to approve Ordinance No. 1587, vacating a portion of right-of-way and approving the corresponding agreement for a right of way grant from Marina A. Timmerman's, the underlying property owner, to facilitate the 17th Street Extension project and authorizing the mayor's signature on the documents. Motion approved on 7-0 vote

5. NEW BUSINESS

Public Defender (Westergreen) Interim Contract- This item pulled from the agenda.

Budget Amendment

The Police Department was remodeled and occupied in 2005/2006. The east and south-facing exterior walls of the building were designed and installed with 4 ft x 4 ft painted plywood panel siding. The panels are now failing; showing signs of peeling, warping and rotting.

Local contractor, Tim Koetje, President of Axiom Construction & Consulting LLC, was contacted and provided a bid for Aluminum Composite Panel siding at well below the current rate for materials and installation. Aluminum Composite Panels carry a 20-year warranty and will likely last for the life of the building.

The project will be funded through Capital Outlay as well as the Capital Reserve Fund.



Councilor Lenssen moved and Councilor Strengholt seconded to approve the 2019 budget amendment for Police Department exterior siding and authorize the Mayor's signature on the Axiom Proposal. Motion approved on 7-0 vote

Consideration of the Preliminary Plat Approval - Young's Long Plat and Development Standards Variance #19-01

On July 11, 2019, the Planning Commission held a public hearing at the request of Joan Kayser, on behalf of the Jack and Josephine Young Living Trust for the subdivision of 3.35 acres located at 8323 Double Ditch Road. The proposed long plat includes 7-single family lots. As the property is located within the RS-100 zoning designation, only single-family homes will be permitted.

As part of the Long Plat request, the applicants are also requesting a Development Standards Variance to allow a cul-de-sac which exceeds the maximum cul-de-sac length of 450 feet.

At the April 13th meeting the Planning Commission recommended approval of the long plat request.

Councilor Lenssen moved and Councilor De Valois seconded to grant preliminary plat approval of the Young's Long Plat and Development Standard's Variance #19-01, and to authorize the Mayor's signature on the Findings of Facts and Conclusion of Law. Motion approved on 7-0 vote

6. OTHER BUSINESS

Council Committee Updates

Councilor Lenssen reporting for the Community Development Committee, involving the discussion of:

- Parking agreement for the residential units being built above the liquor store
- Interlocal agreement for countywide planning policies
- Costs for the Wayfinding sign proposal and the best way to fund the project
- Bars and taverns
- Sidewalk obstructions and special use permits

Councilor Lenssen reporting for the Public Safety Committee, involving the discussion of:

- Interim Public Defender contract
- Ambulance for fire department
- Recruitment for Assistant Fire Chief position for anticipated funding available in 2020
- Chief Knapp 3-year plan



Councilor Bode reporting for the Public Works Committee, involving the discussion of:

- Residential units above the liquor store- construction easement & potential parking agreement
- Erdman property
- Bike racks for downtown areas
- Lighted school zone signs and sidewalks along Line Road

Councilor Laninga stated that he received a report from someone that he received two ballots in the mail, each with a different tracking number. That person did report the situation to the auditor's office and was not satisfied with the answers. Councilor Laninga knows of another instance where another family had received four additional ballots.

7. EXECUTIVE SESSION

Council did not hold an executive session.

8. ADJOURNMENT

The August 5, 2019 regular session of the Lynden City Council adjourned at 7:40 p.m.

Pamela D. Brown, MMC
City Clerk

Scott Korthuis
Mayor

CITY OF LYNDEN

EXECUTIVE SUMMARY



Meeting Date:	August 19, 2019	
Name of Agenda Item:	Special City Council Meeting Minutes August 1, 2019 – Draft	
Section of Agenda:	Approval of Minutes	
Department:	Police Department	
Council Committee Review:	<input type="checkbox"/> Community Development <input type="checkbox"/> Finance <input type="checkbox"/> Parks	<input checked="" type="checkbox"/> Public Safety <input type="checkbox"/> Public Works <input type="checkbox"/> Other: _____
		Legal Review: <input type="checkbox"/> Yes - Reviewed <input type="checkbox"/> No - Not Reviewed <input checked="" type="checkbox"/> Review Not Required
Attachments:	Special City Council Meeting Minutes August 1, 2019 – Draft	
Summary Statement:		
Recommended Action:	City Council Review	

CITY OF LYNDEN



POLICE DEPARTMENT
Office of the Chief of Police
(360) 354 - 2828

PUBLIC SAFETY COMMITTEE MEETING MINUTES
SPECIAL COUNCIL MEETING
4:00 PM August 1, 2019
Police Department Training Room

COMMITTEE

1. ROLL CALL

Members present: Mayor Scott Korthuis and Councilors Brent Lenssen, Gary Bode, Mark Wohlrab and Gerald Kuiken

Staff present: Chief Mark Billmire, Chief Michael Knapp, Lieutenant Jeremy Bos, City Administrator Mike Martin, Support Services Manager Holly Vega

2. ACTION ITEMS:

A. Approve minutes from July 11, 2019 meeting.

The July 11, 2019 meeting minutes were approved.

3. INFORMATION ITEMS:

A. Lynden School District parking request on Main Street

The Lynden School District submitted a written request to restructure the front of the old middle school to provide for a bus loop. The Committee agreed to forward the request to Public Works, noting possible safety concerns regarding traffic visibility, crosswalk usage and sidewalk placement.

B. Interim Public Defender contract

The previous public defender was not able to meet the criteria in the latest contract amendment. The Committee recommends approval of the Public Defender Interim contract with Sharon Westergreen at the August 5, 2019 council meeting. All current court cases would be transferred to the Interim attorney, and the City will be advertising statewide for a permanent public defender.

C. Budget amendment for 2 new police vehicles – 2019 budget

Councilor Lenssen expressed that the PD is falling behind in purchasing vehicles, and needs to plan to purchase 2 vehicles every few years. Mayor Korthuis believes there is funding in the 2019 budget to purchase 1 vehicle; advised to check with the Finance Director to confirm, and proceed with purchasing a vehicle without delay.

D. Update on Fire and Police staffing inside fairground during NWWF

Lt. Bos advised the patrol schedule will be similar to the last several years. The Sheriff's Office will also have deputies present on Friday and Saturday. Chief Billmire advised the Fire Dept. schedule will be staffed with a combination of fulltime and volunteer personnel. Several other fire districts will be present, and additional staff for special events.

E. Lynden WATCH update

Councilor Wohlrab gave an update on the Lynden WATCH program, noting the membership is continuing to grow. He arranged for a booth at the Raspberry Festival, which attracted additional followers.

FIRE DEPARTMENT

1. **ACTION ITEMS:** None.

2. **INFORMATION ITEMS:**

A. Monthly report

Chief Billmire presented the monthly report for July, noting a large number of motor vehicle accidents. Overtime hours were down, and volunteer hours were up again. Testing for new volunteer recruits resulted in 3 out of the original 15 candidates moving forward.

B. Assistant Chief position discussion

Mayor Korthuis, Chief Billmire and City Administrator Mike Martin have discussed the Assistant Chief position and propose to include it in the 2020 budget. The A/C position would take over the Fire Marshal duties as well as the training officer responsibilities.

POLICE DEPARTMENT

1. **ACTION ITEMS:**

2. **INFORMATION ITEMS:**

A. Organizational Survey

Chief Knapp provided a detailed memorandum on the organizational overview and needs assessment of the Police Department. Notable items include the staffing of administration and operations, urgent vehicle fleet and equipment needs.

He proposes the immediate promotion of a Sergeant to a new position of Lieutenant of Administration. There is a lack of administrative staff to monitor the processes and steer the department during a critical time. The operations side is understaffed to fill the current shift schedule.

There is an urgent need to replace several vehicles, as there are not enough emergency vehicles for every officer, nor any vehicles available as backup. The department is lacking essential ballistic equipment, as well as a surveillance system. Chief Knapp points out there is a lot to ask for, and suggests a 3-year plan, prioritizing items that jeopardize the safety of both citizens and officers.

B. Monthly Report

The new monthly report was designed by Sgt. Russ Martin. There was an increase in vehicle prowls, which was discussed further by Officer Scholten.

C. Officer Scholten's presentation on vehicle prowls

Officer Josh Scholten presented information on the vehicle prowls reported since January 1, 2019. He spoke about patterns and provided a map showing where the crimes have occurred.

3. ITEMS ADDED:

A. Speed limit on Northwood Rd.

Councilor Lenssen inquired on the status of the traffic counters on Northwood Rd. Councilor Bode advised he would follow up with Public Works.

Meeting adjourned 5:24pm.

Next Meeting Date: September 5, 2019

Holly Vega, Police Support Svc Mgr.

Scott Korthuis, Mayor

CITY OF LYNDEN

EXECUTIVE SUMMARY



Meeting Date:	August 19, 2019	
Name of Agenda Item:	Regional Wayfinding Sign Program	
Section of Agenda:	New Business	
Department:	Planning Department	
Council Committee Review:	<input checked="" type="checkbox"/> Community Development <input type="checkbox"/> Finance <input type="checkbox"/> Parks	<input type="checkbox"/> Public Safety <input type="checkbox"/> Public Works <input type="checkbox"/> Other: _____
		Legal Review: <input type="checkbox"/> Yes - Reviewed <input type="checkbox"/> No - Not Reviewed <input checked="" type="checkbox"/> Review Not Required
Attachments:		
Staff memo, Sign menu and draft budget, Letters of support		
Summary Statement:		
<p>Sandy Ward of the Bellingham Whatcom Tourism Office will be presenting the design efforts and project status of the regional wayfinding sign program.</p> <p>The design of this county-wide plan has been highly collaborative among many agencies including the Washington Department of Transportation. The Planning Department has assisted in providing feedback regarding sign design and placement.</p> <p>Please see attached staff memo and attachments for more information.</p>		
Recommended Action:		
None at this time.		

CITY OF LYNDEN



PLANNING DEPARTMENT
Heidi Gudde, Planning Director
(360) 354 - 5532

Planning Department Memorandum

To: City Council
From: Heidi Gudde, Planning Director
Date: August 19, 2019
Re: Regional Wayfinding Sign Program Presentation and Funding Strategy

This memo and attached information are meant to provide more information to the City Council regarding a proposed County-wide Wayfinding Sign Program which will be presented at the August 19th City Council meeting.

The design of the project has been headed by the Bellingham Whatcom Tourism Office under the direction of Sandy Ward. The consultant behind the work, Merje, specializes in designing wayfinding sign systems. As part of the regional system, Lynden will be given a detailed sign menu which is unique to the City. This program includes gateway indicators, vehicular wayfinding signs, and pedestrian signs within the downtown core.

Wayfinding Defined: Wayfinding signs are geared specifically toward assisting visitors to the City of Lynden and its attractions. This is more than a courtesy, studies indicate that visitors are open to



Downtown Front Street



Guide Meridian sign



East Grover Street

extending their stay or expanding their activities when visiting a region if they become aware of additional activities. These extended stays contribute to the local economy. The City of Lynden currently has a mix of signs and sign types which are used for wayfinding. As shown here, these signs tend to be inconsistent and usually undersized for their location.

CITY OF LYNDEN



PLANNING DEPARTMENT

Heidi Gudde, Planning Director
(360) 354 - 5532

Benefits of Wayfinding: A sign program which is consistent and regional in nature will give visitors to Whatcom County cohesive points of navigation. Small cities within Whatcom County recognize that their own local attractions, such as the Pioneer Museum or the Homestead Golf Course, are likely not the sole reason for visiting the County. However, one activity leads to another and consistent wayfinding provides visitors with information about attractions and the confidence to find them.

In Ashville, North Carolina, 11% of the visitors surveyed said they would spend at least one additional night in the area if they discovered more areas and attractions to visit. And, Camden, New Jersey has seen a 30% increase in visitation since installing their wayfinding system.

Project Scope: The Bellingham Whatcom Tourism Office has been working diligently with the consultant, Merje to develop a regional wayfinding sign program for all of Whatcom County. The Tourism Office has invited participation from local jurisdictions, tribes, the Washington Department of Transportation (WDOT), and the City's Chamber of Commerce. The Community Development Committee has seen preliminary drawings and schedules for this plan in the past.

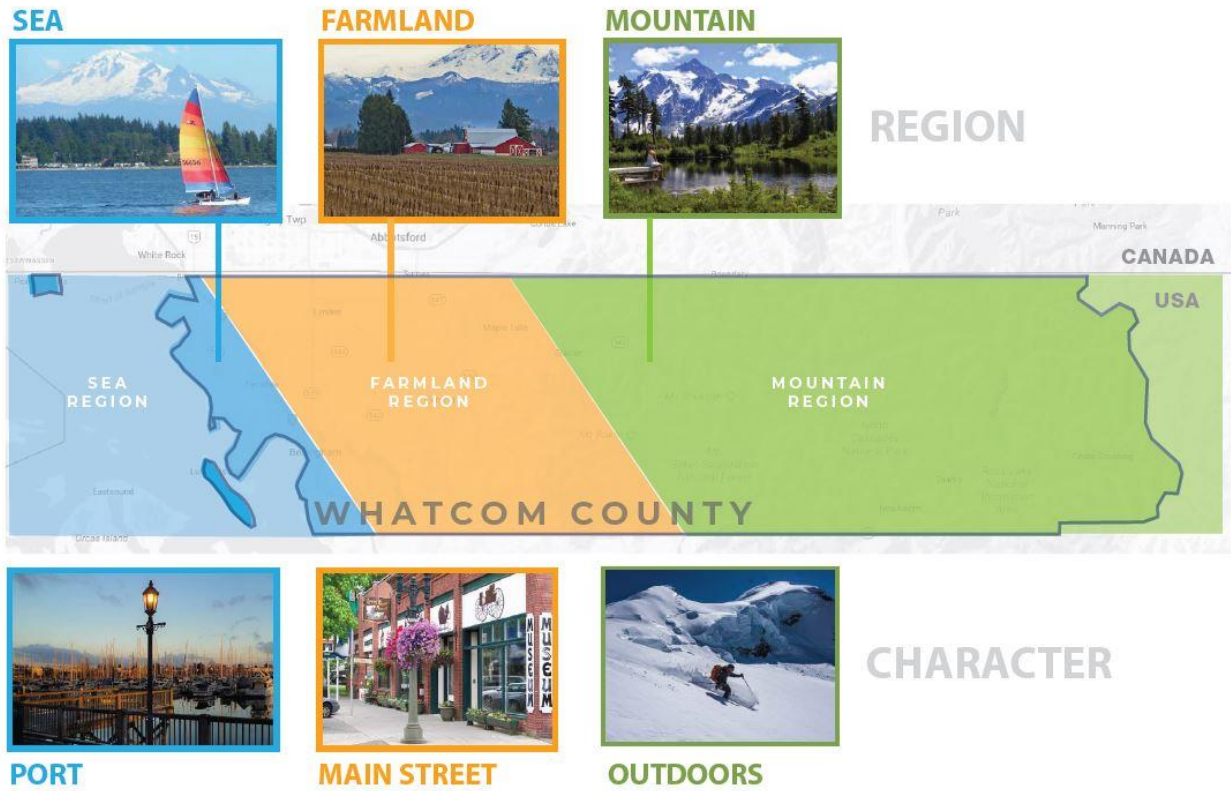
For the scope of this project, attractions that are featured on the signs must meet a specific criterion in order to be listed. This criterion can generally be described as attractions which are public, quasi-public, recreational, provide general shopping or dining opportunities, or provide lodging accommodations. Community facilities and specific businesses are not listed unless they meet the criteria outlined in the sign program.

Coordination is critical as the proposed sign program is regional in nature. The model used, in the case of Whatcom County is one that provides for consistency in size and type of signage but recognizes the individuality of each region and jurisdiction within the County. The program generally divides Whatcom County into the coastal region, the farmland region, and the mountain region.

CITY OF LYNDEN



PLANNING DEPARTMENT
Heidi Gudde, Planning Director
(360) 354 - 5532



Each of these regions have an icon that is used for unincorporated areas and each municipal jurisdiction and tribal region has an icon specific to their identity. The inspiration for these icons is the vintage labels which graced the steamer trunks and luggage of world travelers.

The icons are also highly reproducible and could be used for marketing materials such as brochures, t-shirts, coffee mugs, websites, etc. The icon is not intended to replace a City’s municipal seal or logo.



The icon proposed for Lynden is the result of a number of iterations. The consultant focused on the connection to the agricultural region with the raspberries, and a nod toward the flower baskets on Front Street with the depiction of a basket shown with basket weave pattern. There is also a version of the icon without a basket weave features a flower. No matter which icon is used, it is critical that it is graphically simple and easy to read even from a vehicle.

CITY OF LYNDEN

PLANNING DEPARTMENT
Heidi Gudde, Planning Director
(360) 354 - 5532



CANADA



USA

The proposed sign program uses consistent imaging and reflective surface. Signs are sized according to location, audience, and traffic speed. It is also designed to be a kit of parts which means panels can easily be replaced or exchanged without the need to replace an entire sign.

The final deliverable from Merje and the Tourism office will be a sign package that will include enough detail to go out to bid and seek permits from WDOT as needed.



Project Status: In June the consultants traveled throughout the City of Lynden to refine the plan for potential sign locations. This resulted a few signs which could be eliminated, some relocated to better positions, and some reduced in size. The proposed locations, which do not show the most recent changes, are include in the attached Programing Message Schedule.

Changes which resulted from this on-site “truthing” are reflected in the attached budget by a reduction of approximately \$60,000 from what was originally drafted.

Funding: The draft budget and funding strategy is attached. County Executive, Jack Louws has expressed support for the plan which would include EDI funding and an interlocal agreement to ensure consistency and a long-term maintenance plan to address sign revisions or damage. City staff is proposing that the Lynden package be funded with EDI Grant and EDI loan which would be repaid with Hotel/Motel tax funds. Costs shown in the attached strategy could potentially be reduced by the elimination of signs from the package, the use of wooden posts, and in-house installation for signs located within the City.

WHATCOM COUNTY
Wayfinding & Signage Program

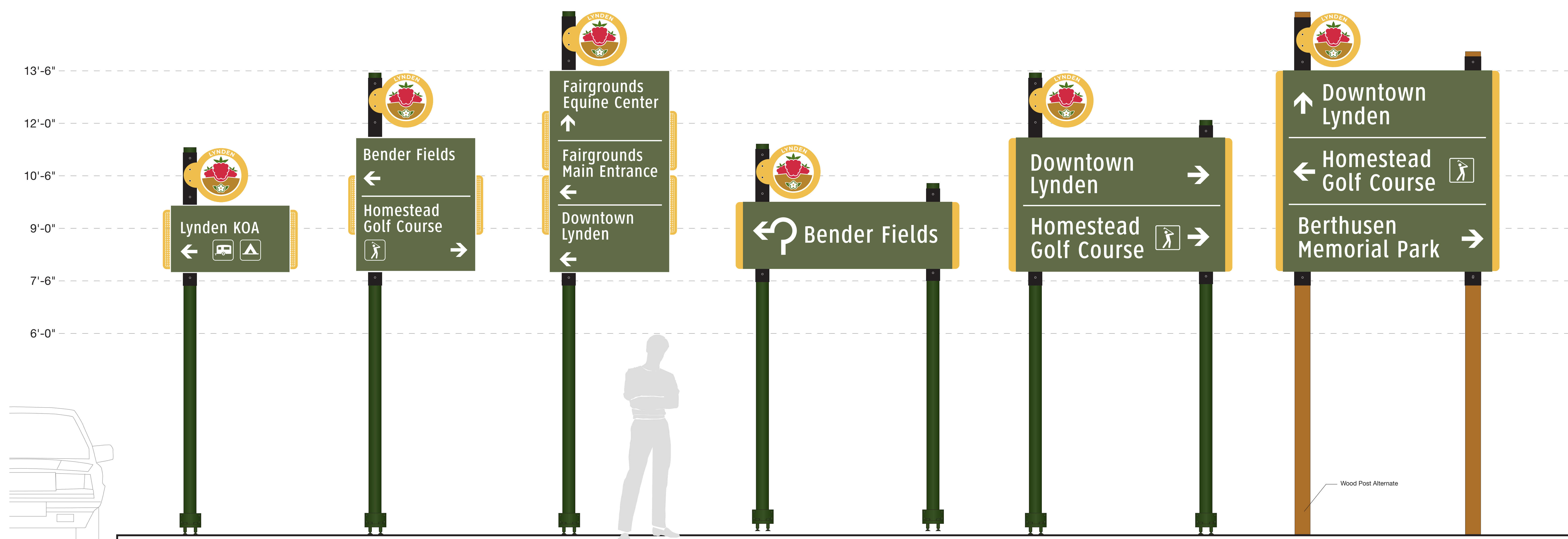
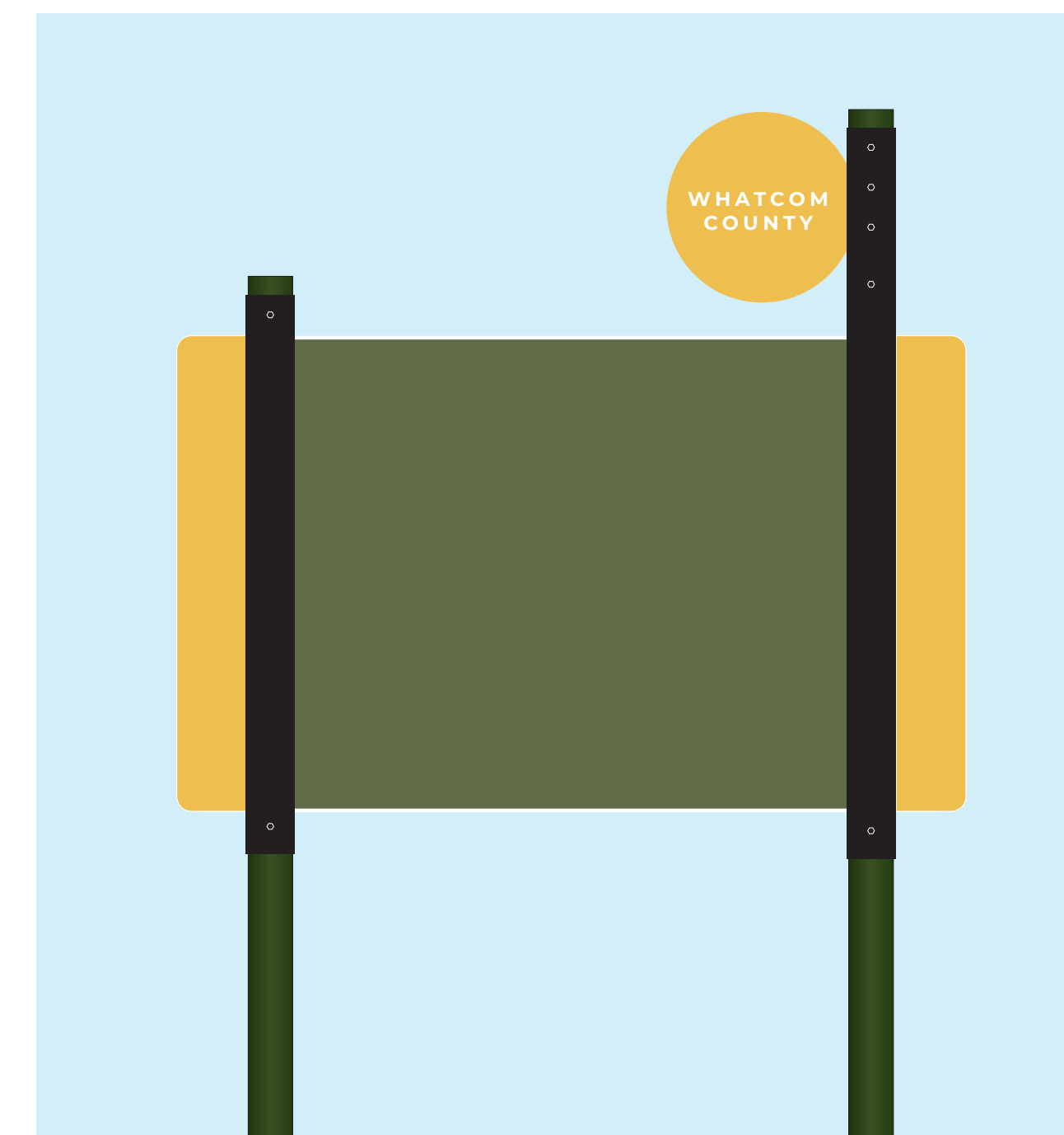
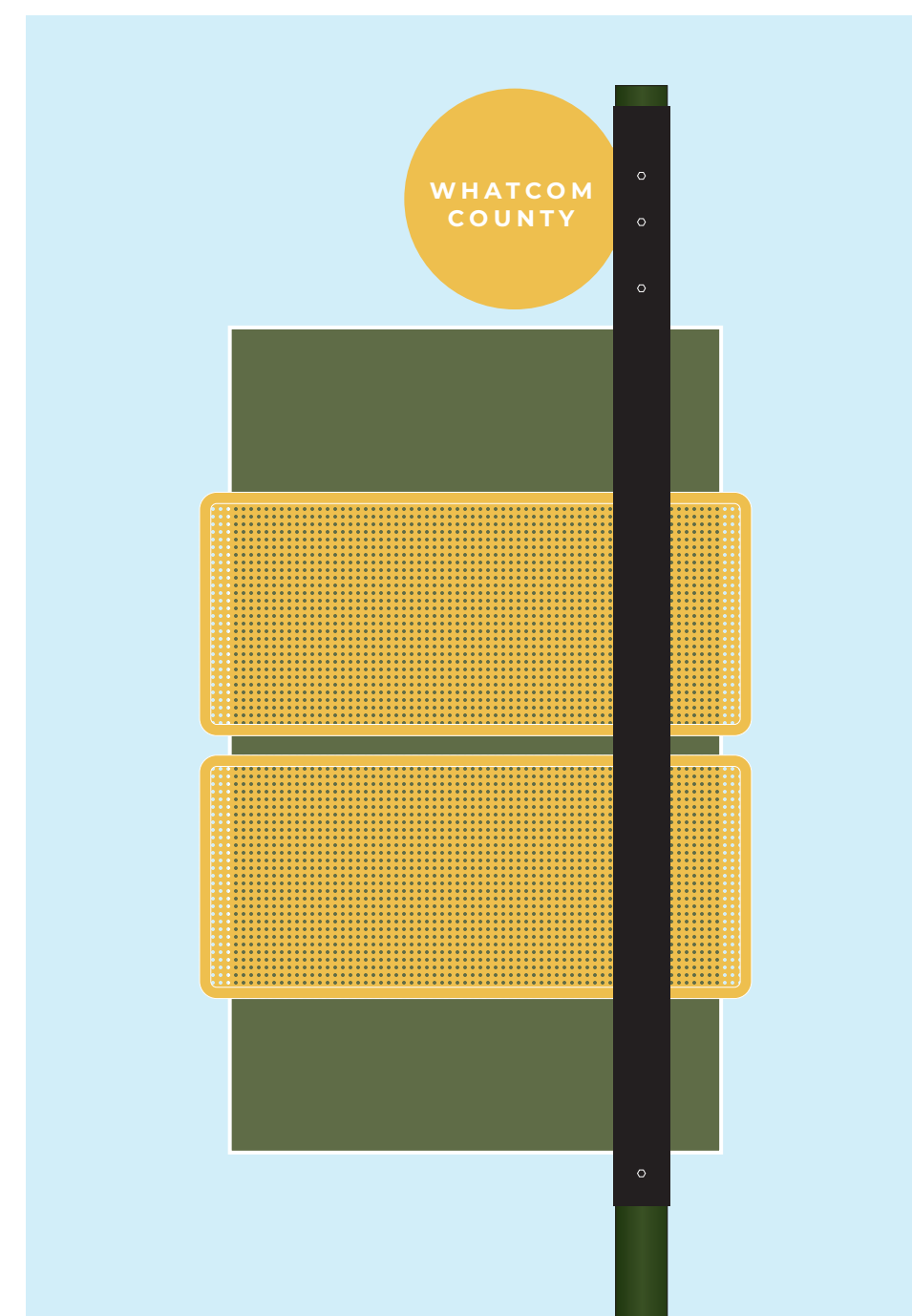
PROGRAMMING:
Sign Location Plan

- Submittal #1: September 11, 2018
- Submittal #2: December 4, 2018
- Submittal #3: March 22, 2019
- Submittal #4: August 15, 2019

merJE

MERJE | ENVIRONMENTS & EXPERIENCES
120 North Church Street
Suite 208
West Chester, PA 19380
T 484.266.0648
www.merjedesign.com

5 | Lynden



SCALE: 3/4" = 1'-0"

VDIR.1 Vehicular Directional (25 mph or less)

VDIR.2 Vehicular Directional (25 mph or less)

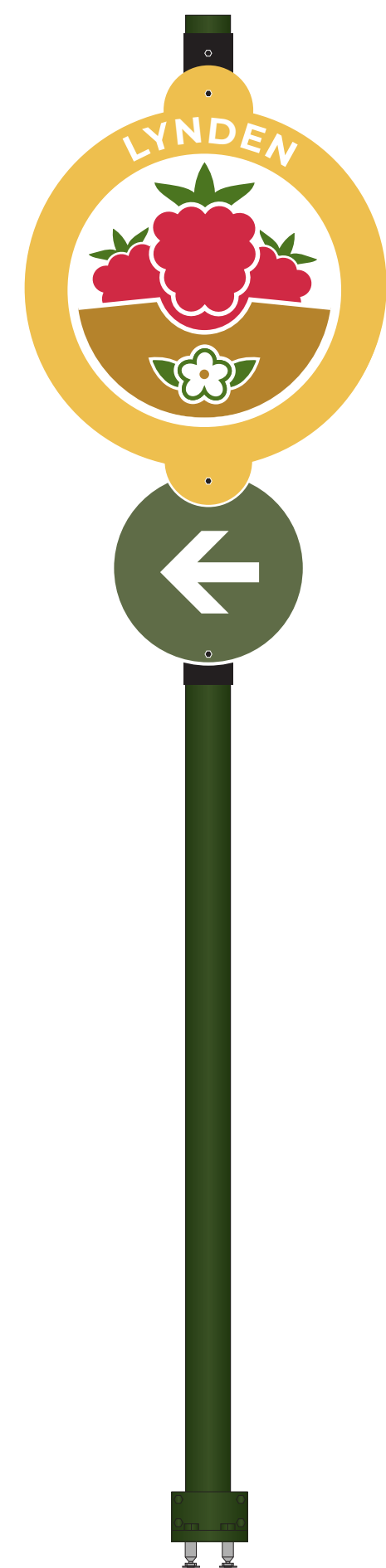
VDIR.3 Vehicular Directional (25 mph or less)

VDIR.4 Vehicular Directional (25 mph or more)

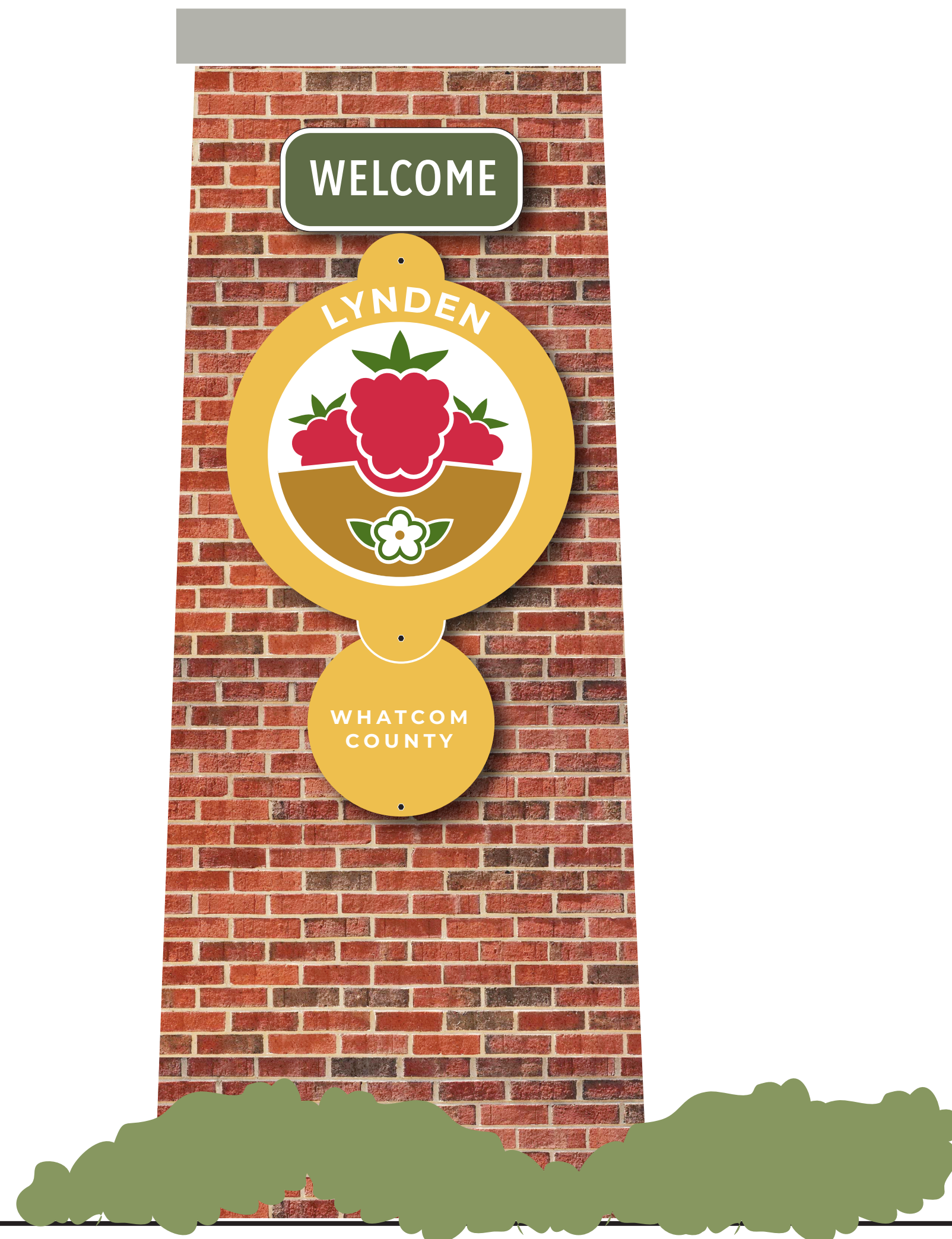
VDIR.5 Vehicular Directional (25 mph or more)

VDIR.6 Vehicular Directional (25 mph or more)





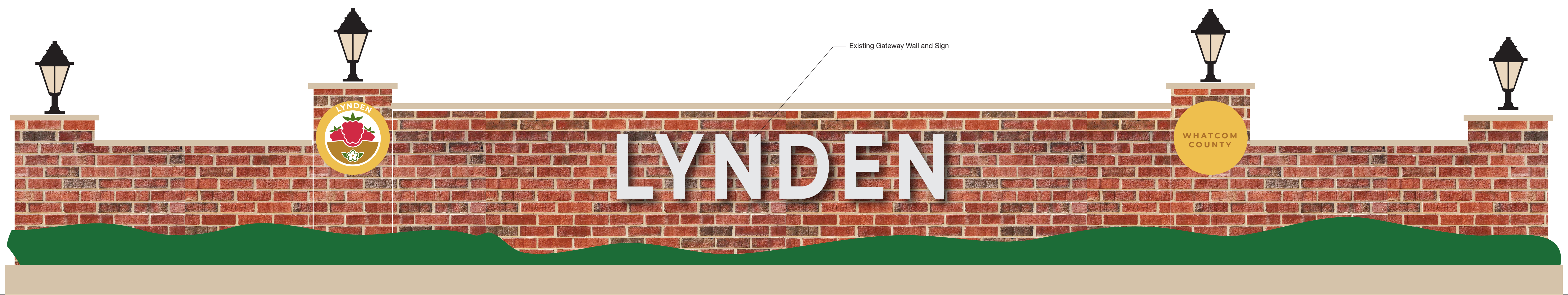
VDIR.7
Vehicular Trailblazer



CITY.GATE.1
Primary City Gateway
(Monument)



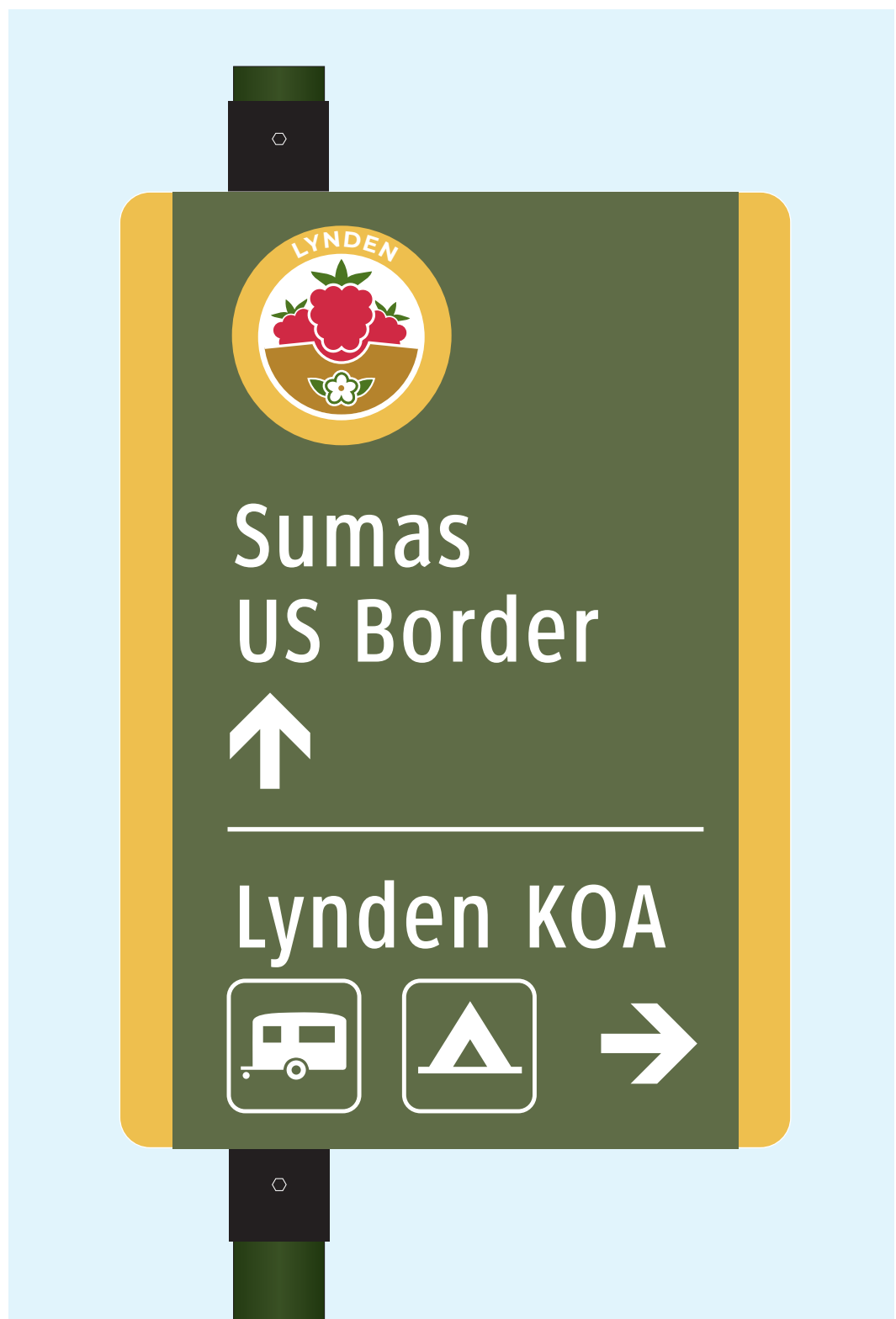
CITY.GATE.2
Secondary City Gateway
(Post & Panel)



Existing Gateway Wall and Sign

CITY.GATE.3
Primary City Gateway
(Add panel to existing)

SCALE: 3/4" = 1'-0"



13'-6"

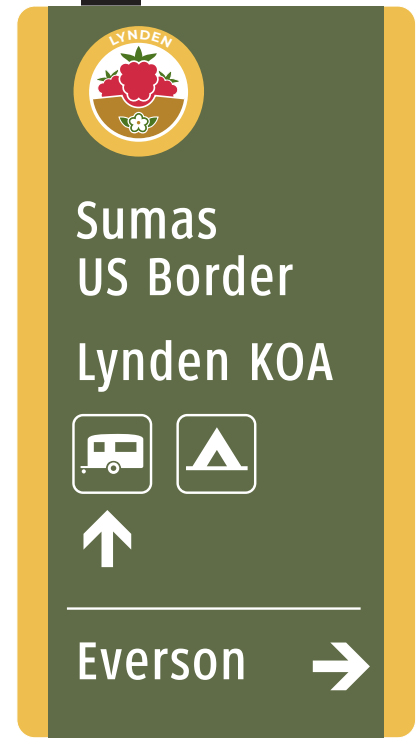
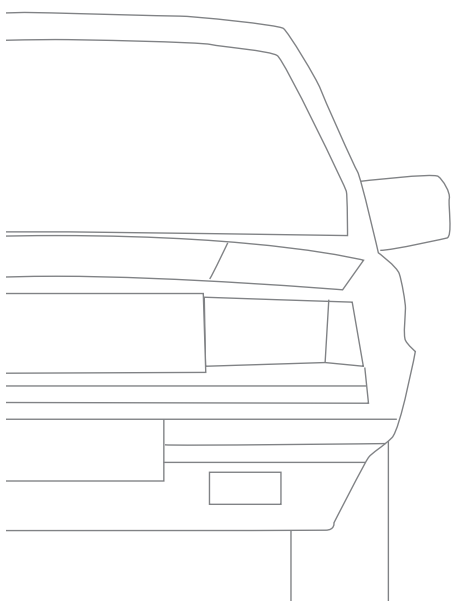
12'-0"

10'-6"

9'-0"

7'-6"

6'-0"



RESIDENT.1 Vehicular Directional (25 mph or less)

RESIDENT.2 Vehicular Directional (25 mph or less)

RESIDENT.3 Vehicular Directional (25 mph or less)

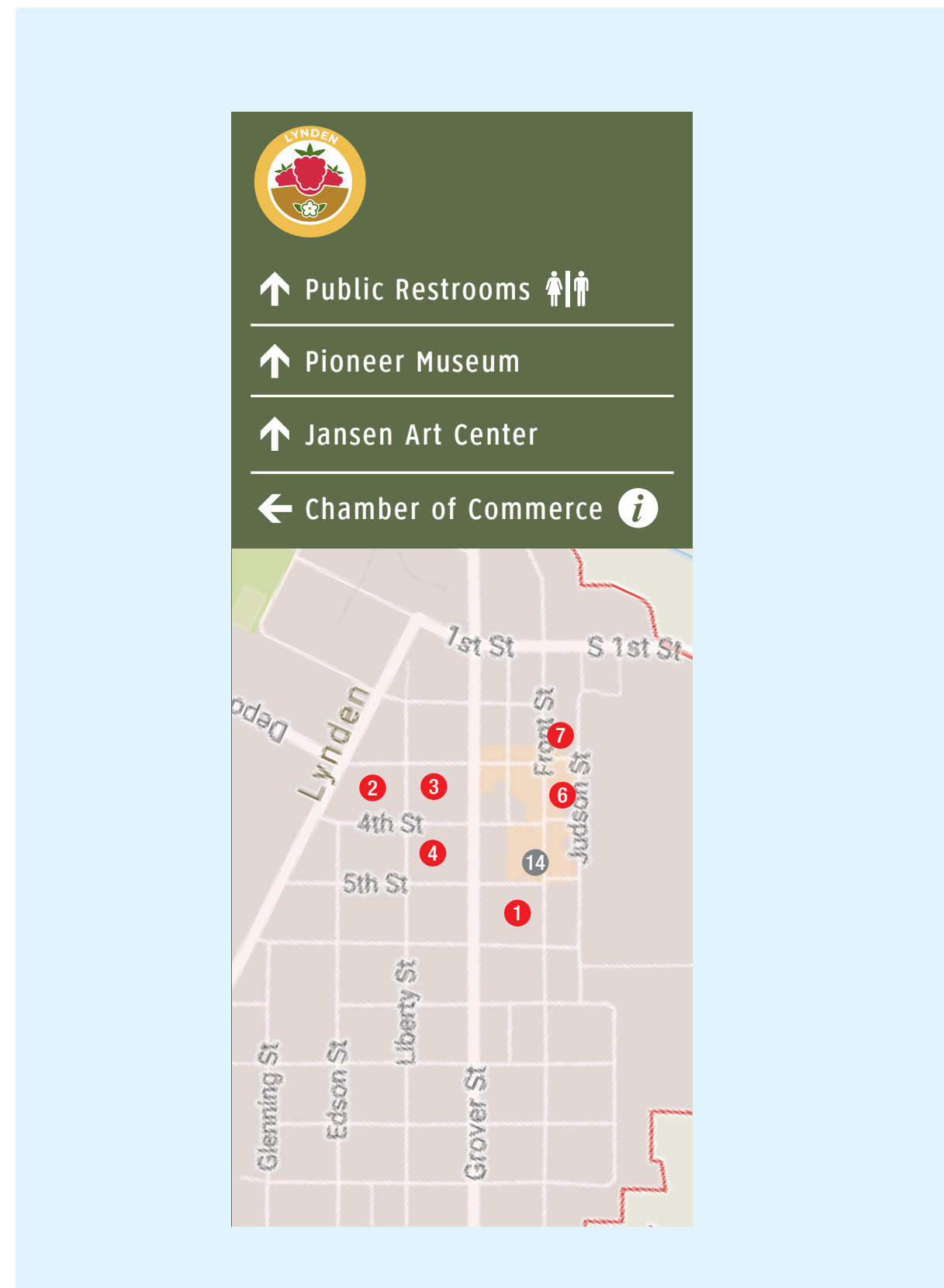
PARK.1 Parking Trailblazer

PARK.2 Parking Lot ID Front View

PARK.3 Parking Lot ID Front View

SCALE: 3/4" = 1'-0"





13'-6"

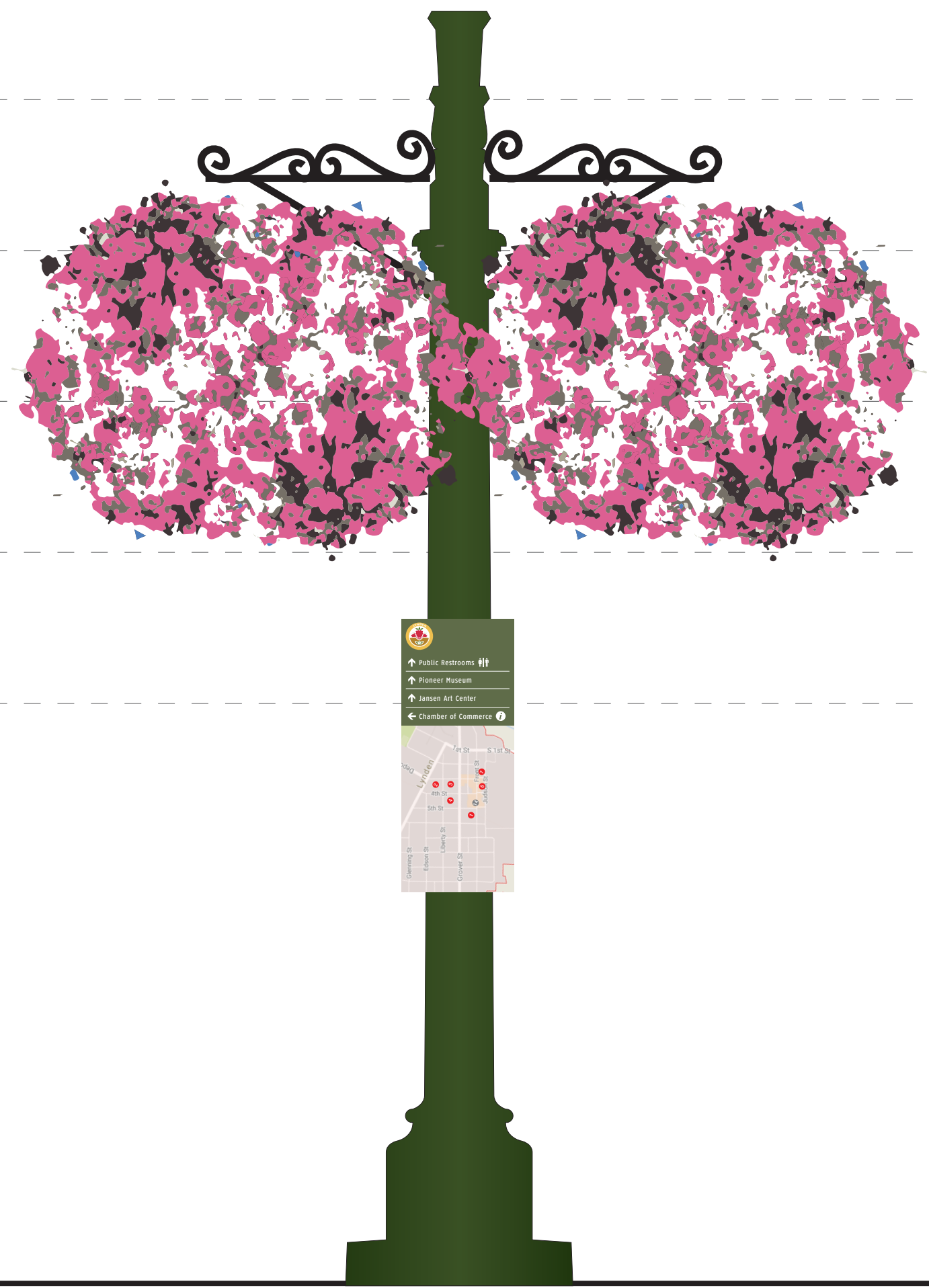
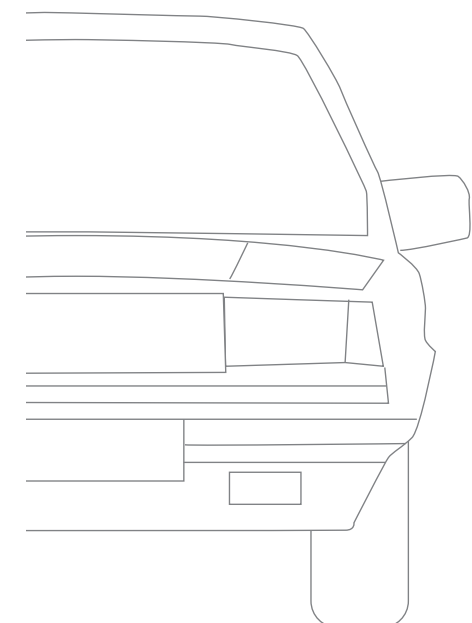
12'-0"

10'-6"

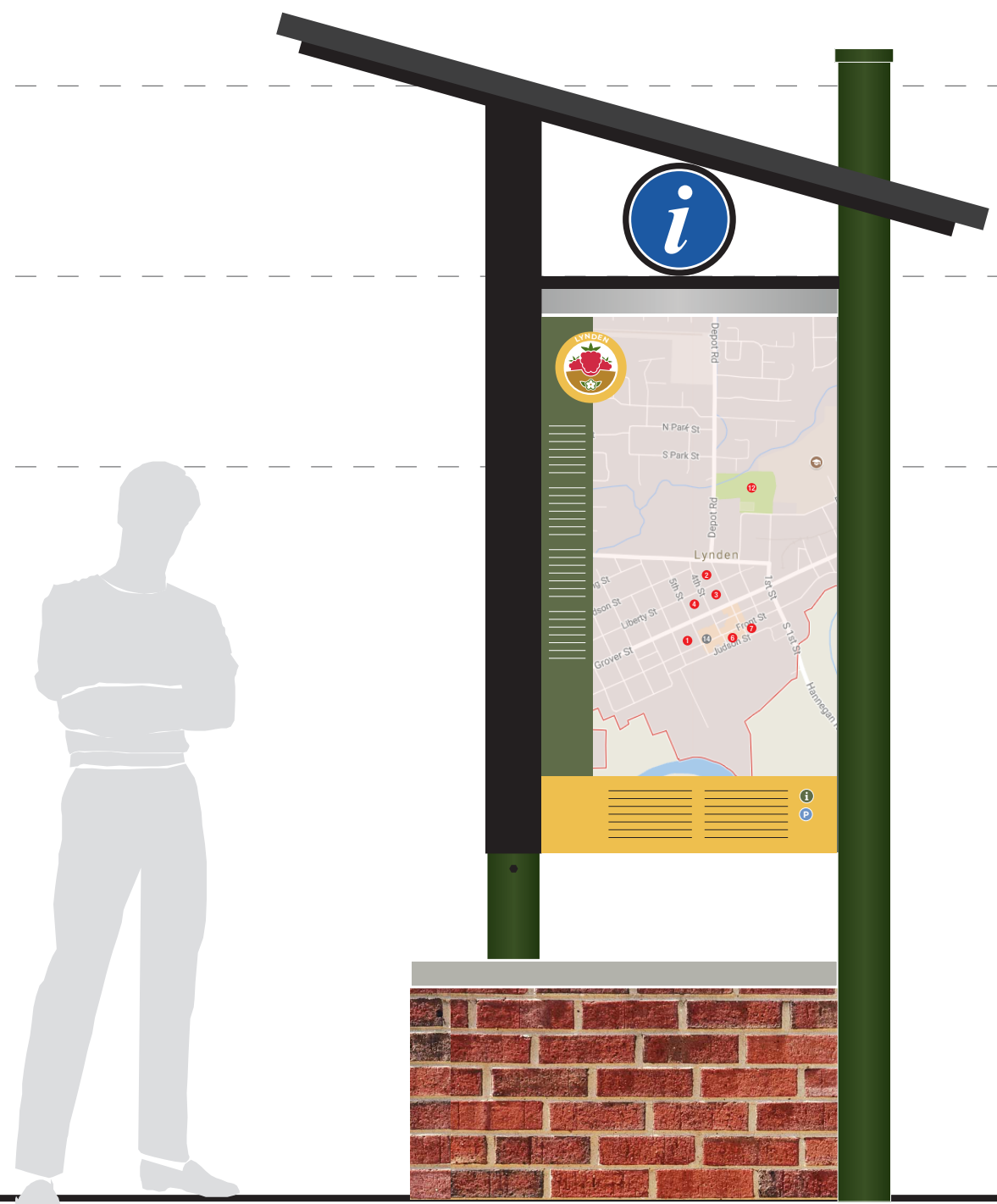
9'-0"

7'-6"

6'-0"



PDIR.3
 Pedestrian Directional
 (Existing Pole)



KIOSK.1
 Pedestrian Kiosk



SCALE: 3/4" = 1'-0"

SPECIFICATIONS

Refer to the Whatcom County Wayfinding and Signage design intent documentation for sign type drawings, materials and installation methods.

Refer to the Whatcom County Wayfinding and Signage System message schedule for all sign type messages, location numbers, quantities, and specific location details.

SIGNAGE LEGEND

- 001 Gateways
- 100 Vehicular Directionals
- 200 Vehicular Directionals
- 300 Parking Signage
- 400 Pedestrian Signage
- 500 Trail Signage

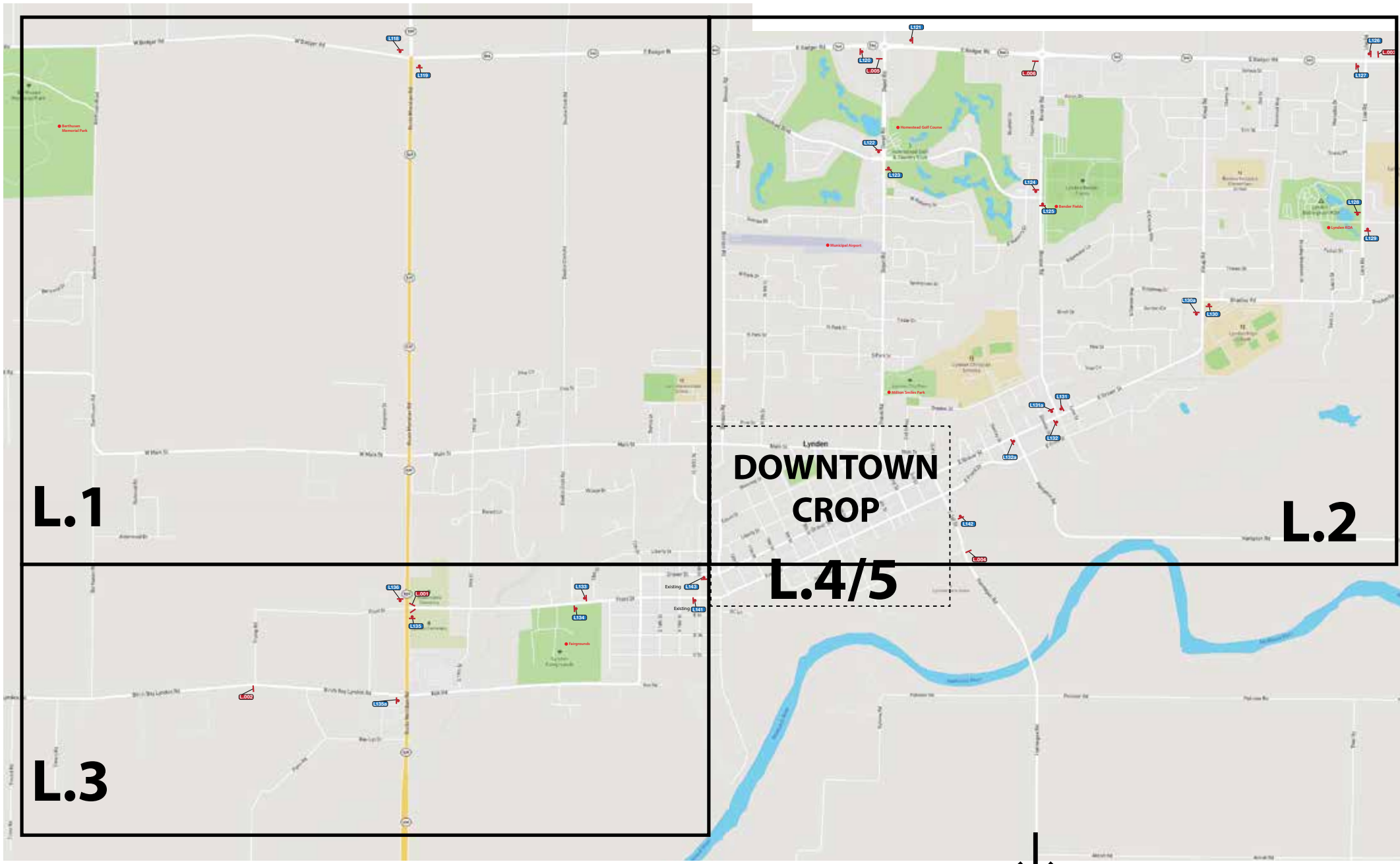
- NOTES:**
- General sign locations are provided on these plan sheets.
 - The Message Schedule provides more detailed guidance of sign location in the Remarks column.
 - Refer to the Message Schedule for the final messages of each sign.
 - Utilize the above Legend to help determine sign types, and other details of location.

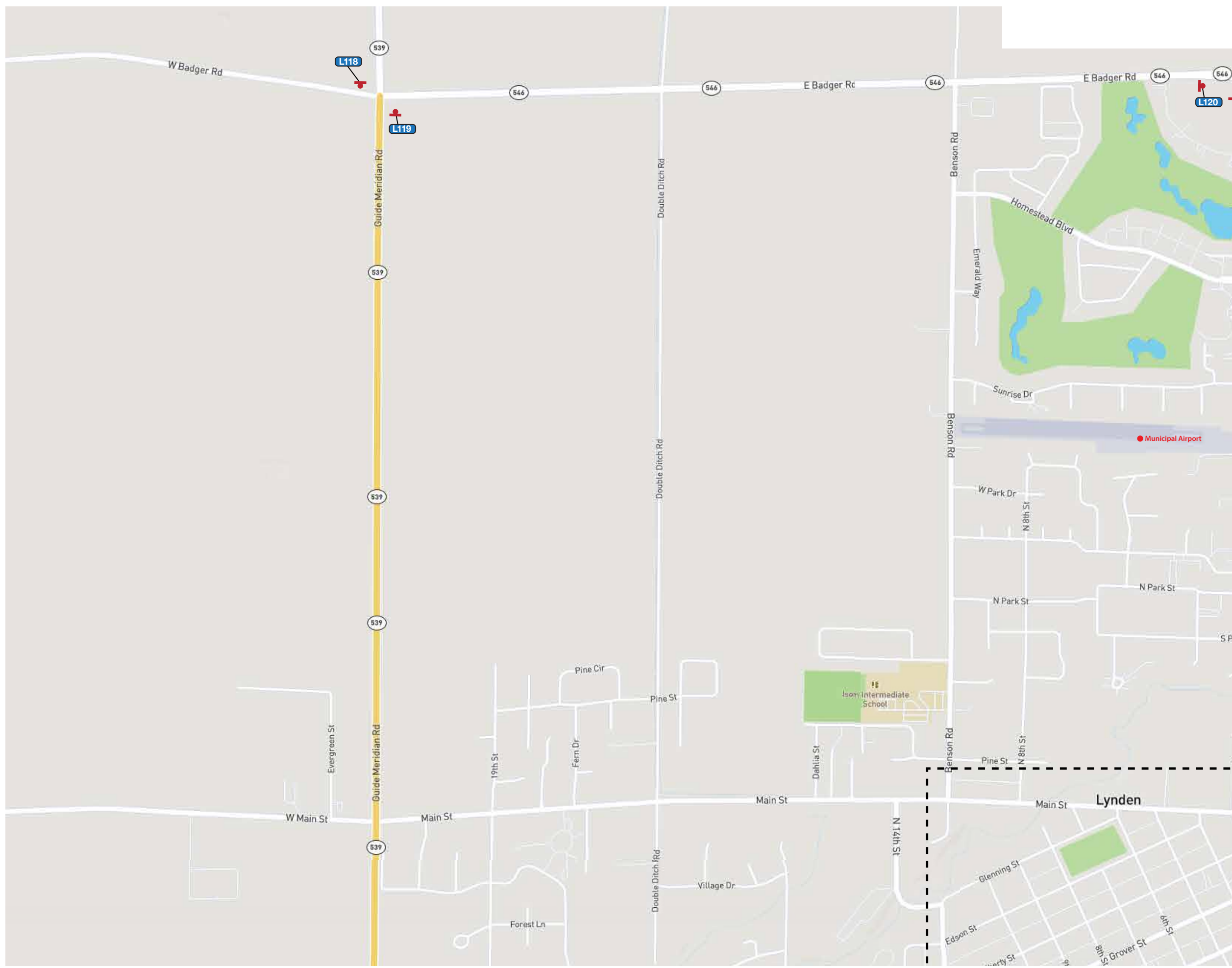
ENVIRONMENTS & EXPERIENCES

merJe

120 North Church Street
Suite 208
West Chester, PA 19380
T 484.266.0648
www.merjedesign.com

DATE	05/25/18	CLIENT / PROJECT
DRAWN BY:	LH	
<p>These drawings are meant for DESIGN INTENT ONLY and are not for construction. Contractor shall verify and be responsible for all dimensions and conditions of the job. Contractor shall be familiar with the site and conditions it presents. This office must be notified of any variations from the dimensions and conditions shown on this drawing. Shop drawings and details must be submitted to this office for approval prior to proceeding with fabrication. All copy shall be proofread by client and legal requirements checked by legal department.</p>		<p>Whatcom County, WA Wayfinding and Signage System</p>
REVISIONS	07/20/18	PROJECT NO.
	07/30/19	SHEET TITLE
		<p>Lynden Sign Location Plan Key</p>
		SHEET NO.
		KEY





SPECIFICATIONS

Refer to the Whatcom County Wayfinding and Signage design intent documentation for sign type drawings, materials, and installation methods. 25

Refer to the Whatcom County Wayfinding and Signage System message schedule for all sign type messages, location numbers, quantities, and specific location details.

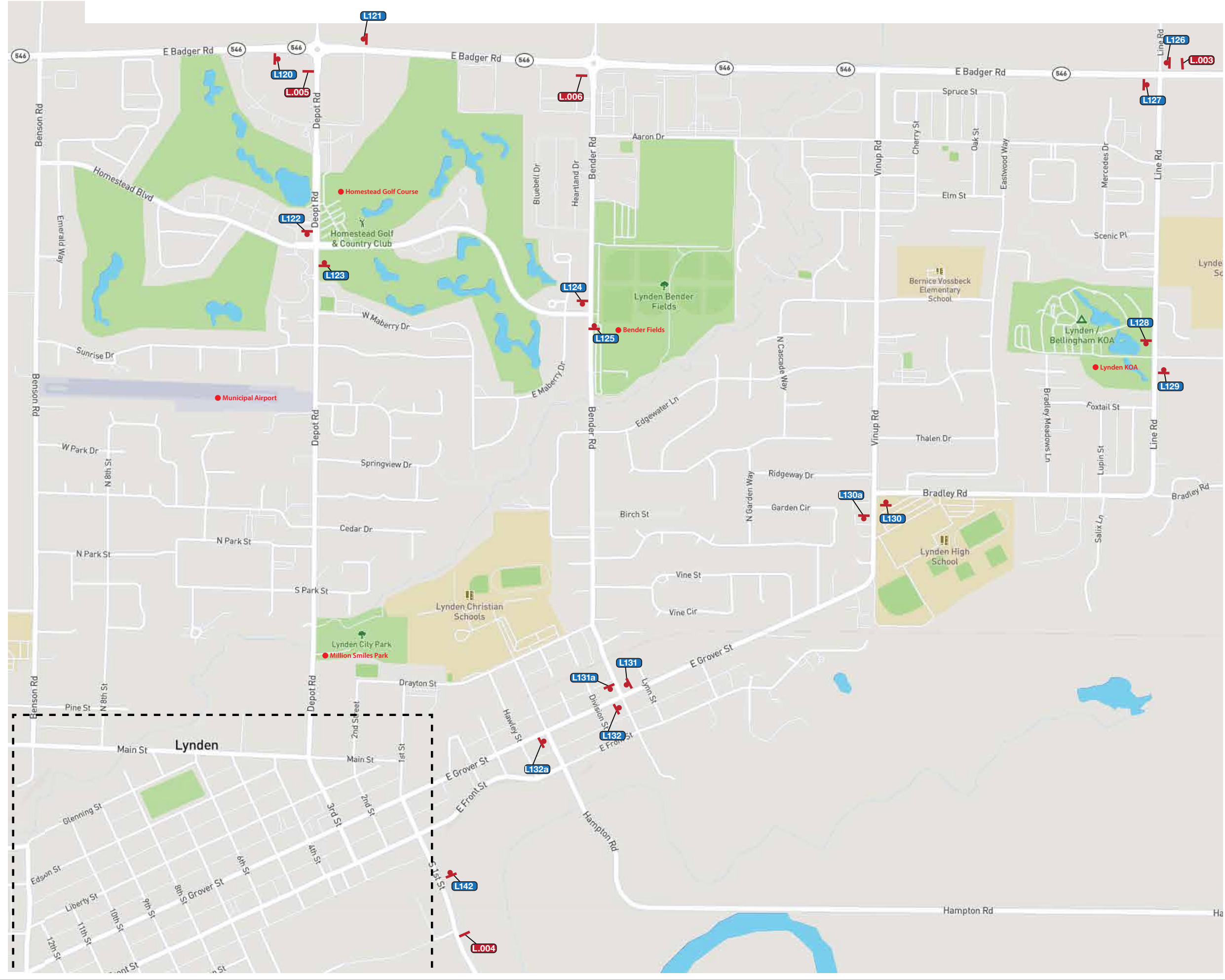
SIGNAGE LEGEND	
001	Gateways
100	Vehicular Directionals
200	Vehicular Directionals
300	Parking Signage
400	Pedestrian Signage
500	Trail Signage

- NOTES:**
- General sign locations are provided on these plan sheets.
 - The Message Schedule provides more detailed guidance of sign location in the Remarks column.
 - Refer to the Message Schedule for the final messages of each sign.
 - Utilize the above Legend to help determine sign types, and other details of location.

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DRAWN BY:	LH	
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REVISIONS	07/20/18	PROJECT NO.
	07/30/19	SHEET TITLE
		Lyden Sign Location Plans
		SHEET NO.
		L.1



SPECIFICATIONS

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SIGNAGE LEGEND

- 001 Gateways
- 100 Vehicular Directionals
- 200 Vehicular Directionals
- 300 Parking Signage
- 400 Pedestrian Signage
- 500 Trail Signage

NOTES:

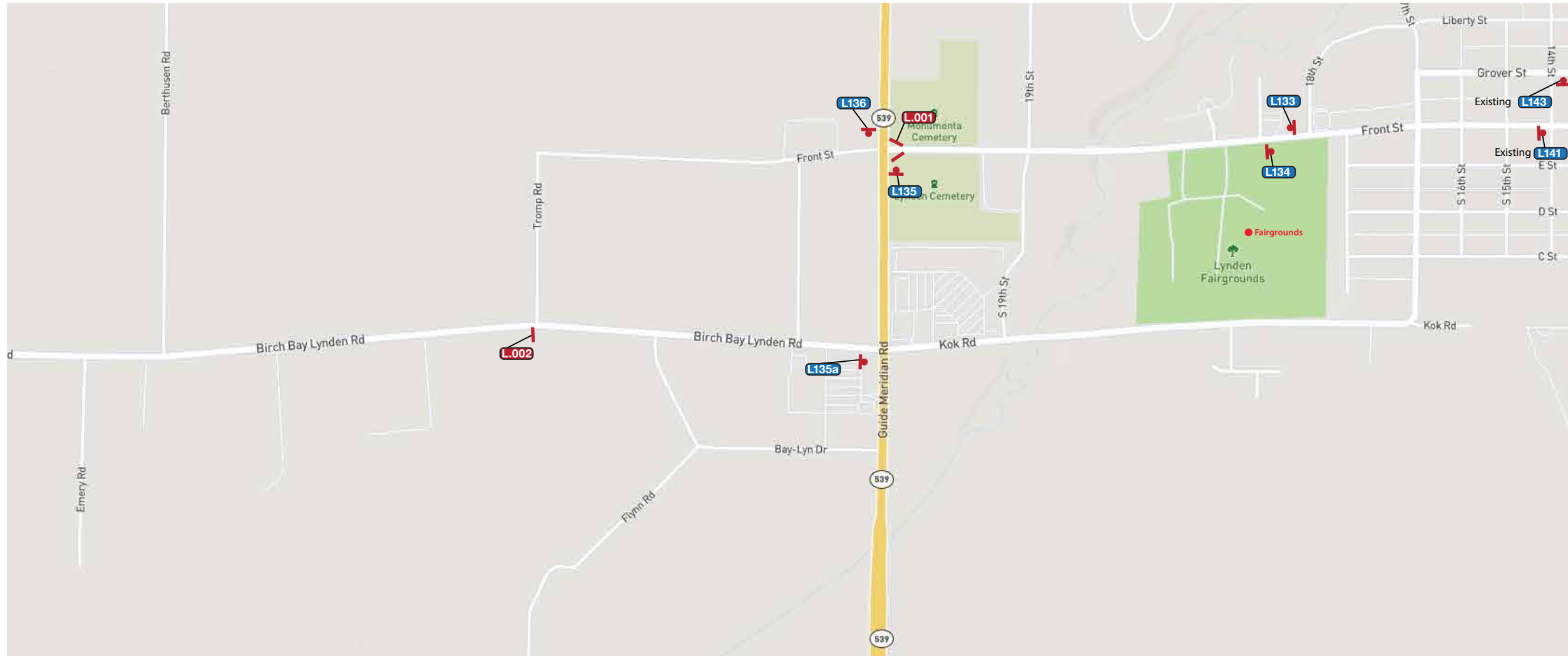
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DATE	05/25/18	CLIENT / PROJECT
DRAWN BY:	LH	Whatcom County, WA Wayfinding and Signage System
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REVISIONS		PROJECT NO.
07/20/18		SHEET TITLE
07/30/19		Lynden Sign Location Plans
		SHEET NO.
		L.2



SPECIFICATIONS

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Refer to the Whatcom County Wayfinding and Signage System message schedule for all sign type messages, location numbers, quantities, and specific location details.

SIGNAGE LEGEND

- 001 Gateways
- 100 Vehicular Directionals
- 200 Vehicular Directionals
- 300 Parking Signage
- 400 Pedestrian Signage
- 500 Trail Signage

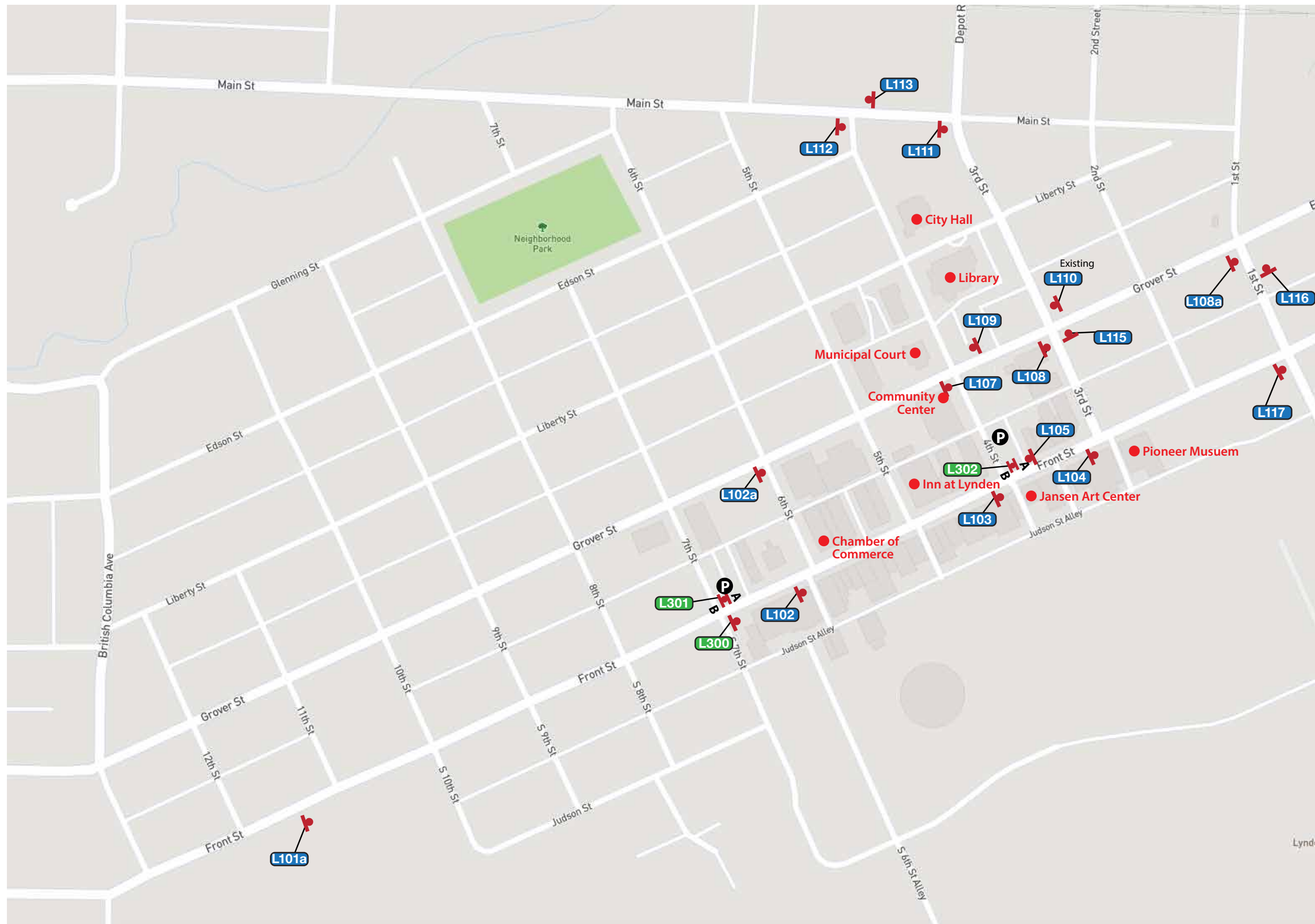
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DRAWN BY:	LH		
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REVISIONS	07/20/18		Lynden Sign Location Plans
	07/30/19	SHEET NO.	L.3



SPECIFICATIONS

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SIGNAGE LEGEND	
001	Gateways
100	Vehicular Directionals
200	Vehicular Directionals
300	Parking Signage
400	Pedestrian Signage
500	Trail Signage

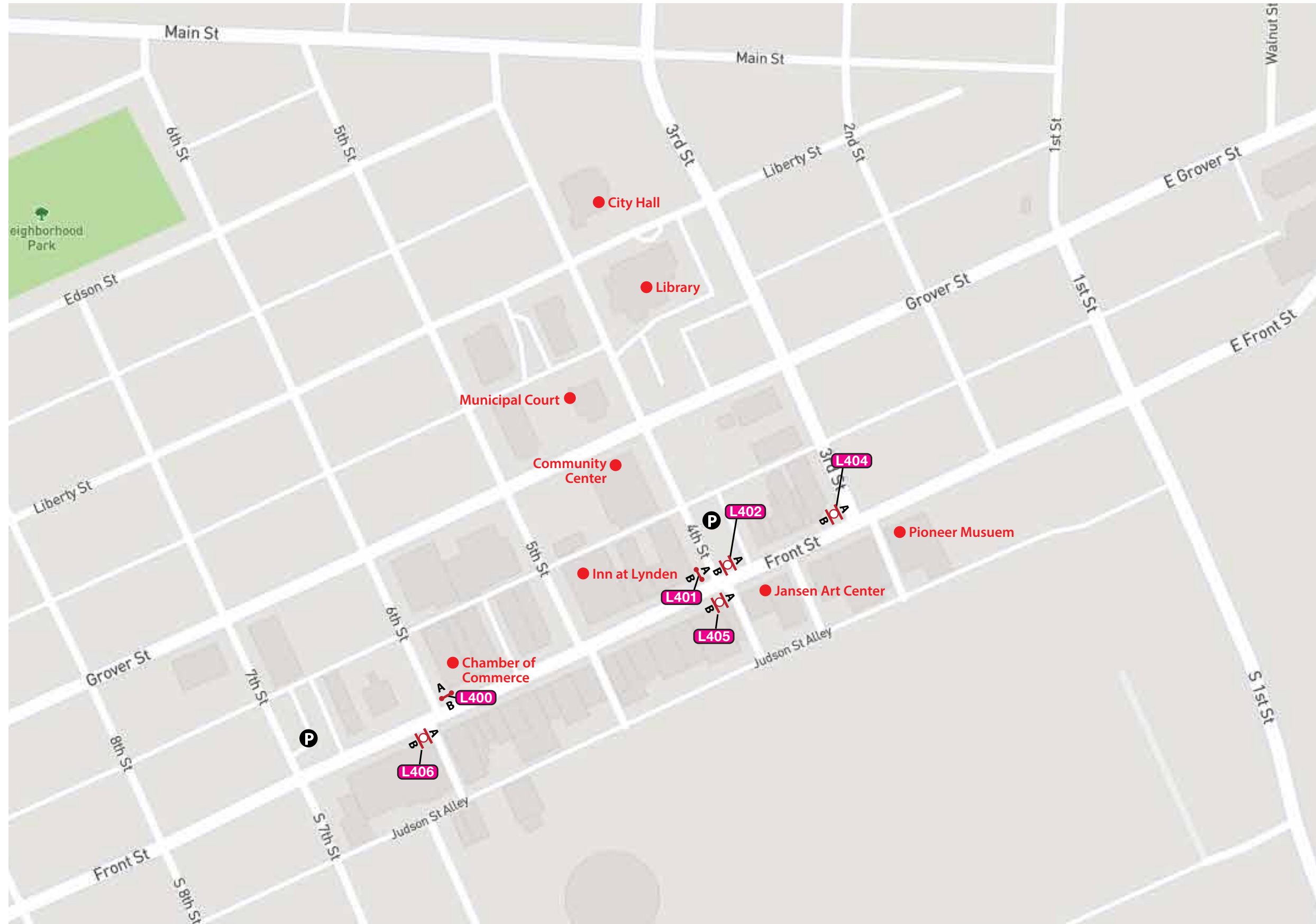
- NOTES:**
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		SHEET TITLE	Lyden Sign Location Plans
REVISIONS	07/20/18	SHEET NO.	
	07/30/19		L.4



SPECIFICATIONS

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SIGNAGE LEGEND	
001	Gateways
100	Vehicular Directionals
200	Vehicular Directionals
300	Parking Signage
400	Pedestrian Signage
500	Trail Signage

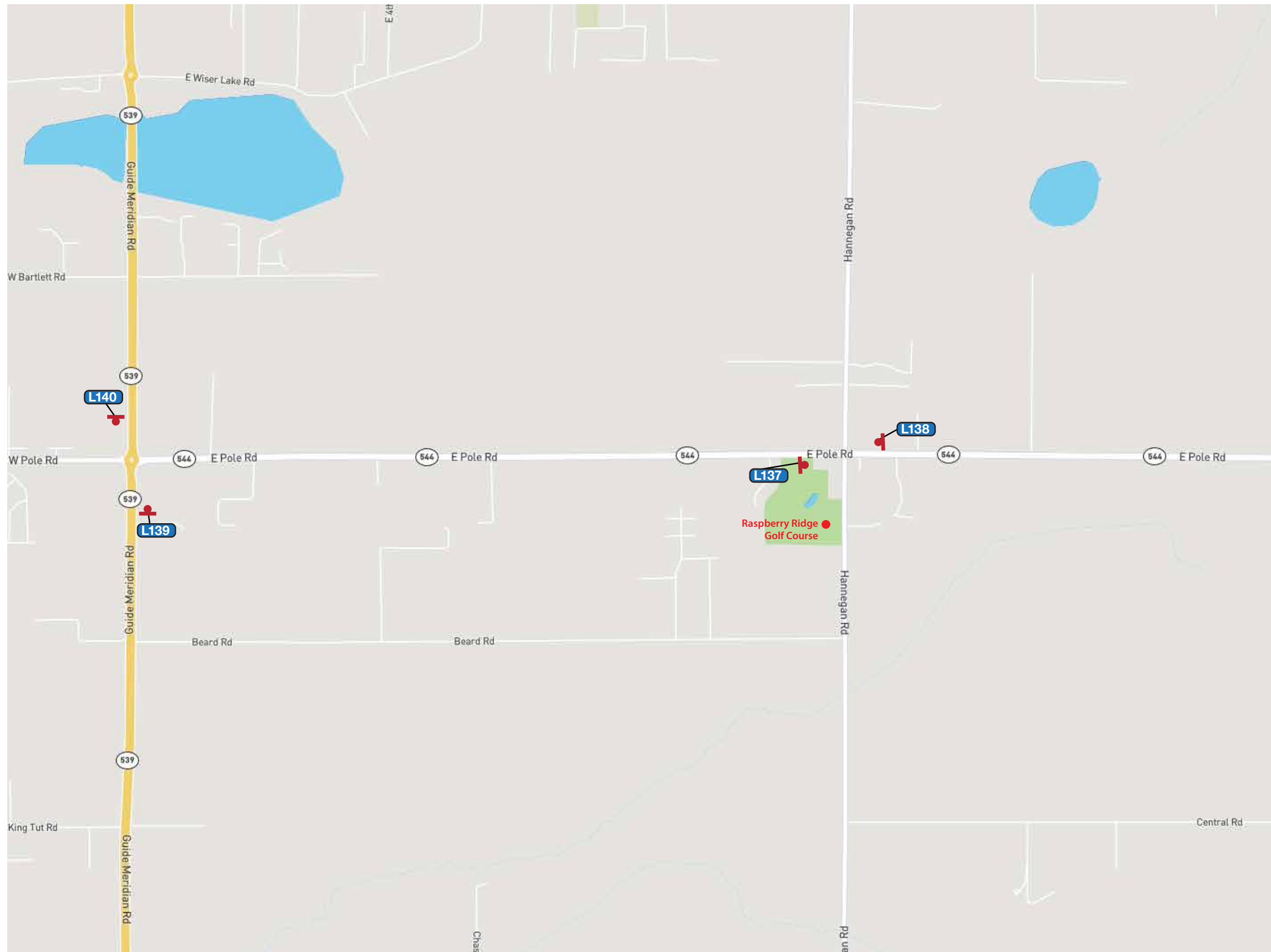
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		SHEET TITLE	Lynden Sign Location Plans Pedestrian
REVISIONS	07/20/18	SHEET NO.	
	07/30/19		
			L.5



SPECIFICATIONS

Refer to the Whatcom County Wayfinding and Signage design intent documentation for sign type drawings, materials, and installation methods.

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Refer to the Whatcom County Wayfinding and Signage System message schedule for all sign type messages, location numbers, quantities, and specific location details.

SIGNAGE LEGEND	
001	Gateways
100	Vehicular Directionals
200	Vehicular Directionals
300	Parking Signage
400	Pedestrian Signage
500	Trail Signage

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REVISIONS	07/20/18	PROJECT NO.
	07/30/19	SHEET TITLE
		<p>Lyden Sign Location Plans</p>
		SHEET NO.
		L.6

SIGN COUNT SUMMARY

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Date: July 30, 2019

Sign Type	Quantity	Phase
CITY.GATE.2	5	1
CITY.GATE.3	2	1
DELETE	8	1
DELETED	1	1
KIOSK.1	2	1
PARK.1	1	1
PARK.2	1	1
PARK.3	1	1
PDIR.3	4	1
RESIDENT.1	2	1
RESIDENT.2	5	1
RESIDENT.3	10	1
VDIR.1	4	1
VDIR.2	4	1
VDIR.3	11	1
VDIR.4	2	1
VDIR.6	5	1

SIGN MESSAGE SCHEDULE

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Phase	Location No.:	Sign Type	City / Area	Sheet No.:	Message:	Comments:
1	L.001A	CITY.GATE.3	Lynden	L.3	Sign Panel 1: 'Lynden Pictograph' Sign Panel 2: WHATCOM COUNTY	Existing Gateway Install Panels on existing Brick Piers. Verify Dimensions in Field prior to Fabrication.
1	L.001B	CITY.GATE.3	Lynden	L.3	Sign Panel 1: 'Lynden Pictograph' Sign Panel 2: WHATCOM COUNTY	Existing Gateway Install Panels on existing Brick Piers. Verify Dimensions in Field prior to Fabrication.
1	L.002	CITY.GATE.2	Lynden	L.3	Welcome 'Lynden Pictograph' Whatcom County	Replace Existing Sign Remove Existing Lynden City Limits Sign co-located on Speed Limit Sign Relocate Speed Limit Sign Mount-Grass/Dirt
1	L.003	CITY.GATE.2	Lynden	L.2	Welcome 'Lynden Pictograph' Whatcom County	Locate before Northwood Roundabout Remove Existing Lynden City Limits Sign co-located on Pedestrian Crossing Mount-Grass/Dirt
1	L.004	CITY.GATE.2	Lynden	L.2	Welcome 'Lynden Pictograph' Whatcom County	Remove Existing Lynden City Limits Sign co-located on Reduced Speed Ahead Relocate Reduced Speed Ahead Mount-Grass/Dirt
1	L.005	CITY.GATE.2	Lynden	L.2	Welcome 'Lynden Pictograph' Whatcom County	Remove Existing Lynden City Limits Sign co-located on Seatbelts must be worn Relocate Seatbelts must be worn sign Mount-Grass/Dirt

SIGN MESSAGE SCHEDULE

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Phase	Location No.:	Sign Type	City / Area	Sheet No.:	Message:	Comments:
1	L.006	CITY.GATE.2	Lynden	L.2	Welcome 'Lynden Pictograph' Whatcom County	Replace Existing Sign Mount-Grass/Dirt
1	L.010	DELETE	Lynden	L.4	Welcome to Historic Downtown Lynden	Existing Downtown Gateway
1	L.101	DELETE	Lynden	L.4	(Up-Left) Downtown (Up- Left) Shopping / Dining (Pictographs)	
1	L.101a	RESIDENT.3	Lynden	L.4	^ Downtown ^ Pioneer Museum ^ Visitor Info (i)	Replace existing * Review Messages Mount-Grass/Dirt
1	L.102	VDIR.3	Lynden	L.4	^ Jansen Art Center ^ Pioneer Museum < Chamber of Commerce (i)	Locate in Flower Bed Alt. in Sidewalk City to approve Final Location Mount-Grass/Dirt
1	L.102a	RESIDENT.3	Lynden	L.4	^ Community Center Chamber of Commerce (i) > Shopping / Dining (Pictographs) >	Locate in grass Bumpout Mount-Grass/Dirt
1	L.103	VDIR.3	Lynden	L.4	< Library (Picto) < Municipal Court < City Hall	* Review: Possibly add Community Ctr. Locate in bump-out Mount-Concrete Sidewalk Center in Sidewalk Block
1	L.104	VDIR.3	Lynden	L.4	^ Lynden KOA (Pictograms) < City Hall < Library (Picto)	Locate in bump-out Approx 27' from manhole cover Mount-Concrete Sidewalk Center in Sidewalk Block Align with Planters
1	L.105	VDIR.3	Lynden	L.4	Library (Picto) > City Hall > Municipal Court >	Mount-Concrete Sidewalk

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Phase	Location No.:	Sign Type	City / Area	Sheet No.:	Message:	Comments:
1	L.106	DELETE	Lynden	L.4	^ Chamber of Commerce (i) ^ Shopping/ Dining (Pictographs) ^ Jansen Art Center	Mount-Concrete Sidewalk
1	L.107	RESIDENT.3	Lynden	L.4	< Library (Picto) < City Hall < Municipal Court	Locate in Bumpout Center in Sidewalk Block 15' from beginning of Yellow Angle/Sewer Drain Mount-Concrete Sidewalk
1	L.108	RESIDENT.3	Lynden	L.4	< Million Smiles Park < Municipal Airport (Picto) Pioneer Museum >	Replace existing 3 hr Parking Sign - City to Relocate City Approval Required Mount-Grass/Dirt
1	L.108a	RESIDENT.3	Lynden	L.4	^ Lynden KOA (Pictograms) ^ Sumas US Border > Bellingham	Replace Existing 5'-0" Horizontal Clearance Mount-Grass/Dirt
1	L.109	RESIDENT.3	Lynden	L.4	Library (Picto) > City Hall > Municipal Court >	Mount-Grass/Dirt
1	L.110	RESIDENT.3	Lynden	L.4	< Downtown Million Smiles Park > Municipal Airport (Picto) >	Replace Existing Sign has ^Community Center Sign can only fit 3 messages City to Approve Message Mount-Grass/Dirt
1	L.111	RESIDENT.3	Lynden	L.4	< Million Smiles Park < Homestead Golf Course (Picto) < Municipal Airport (Picto)	Replace Existing Mount-Grass/Dirt
1	L.112	VDIR.3	Lynden	L.4	Downtown > Library (Picto) > City Hall >	Locate 20' after wood utility pole center in sidewalk block Mount-Concrete Sidewalk

SIGN MESSAGE SCHEDULE

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Phase	Location No.:	Sign Type	City / Area	Sheet No.:	Message:	Comments:
1	L.113	VDIR.3	Lynden	L.4	< Downtown < Library (Picto) < City Hall	City to relocate "No Parking Sign" Mount - Concrete Sidewalk
1	L.114	DELETE	Lynden	L.4	TBD	Existing sign?
1	L.115	RESIDENT.3	Lynden	L.4	^ Municipal Airport (Picto) ^ Million Smiles Park > KOA Lynden (Pictograms)	Remove Existing sign of Existing Traffic Signal Pole. Locate in Bumpout Center between Ped/Walk Signal Call Box and bumpout + Horizontal Mount-Concrete Sidewalk
1	L.116	RESIDENT.1	Lynden	L.4	Lynden KOA > (Pictograms)	Replace Existing Truck Route Sign Mount-Grass/Dirt
1	L.117	RESIDENT.1	Lynden	L.4	< Lynden KOA (Pictograms)	Possible Utility Conflicts Position As Needed City Approval Required Mount Grass/Dirt
1	L.118	VDIR.6	Lynden	L.1	^ Downtown < Homestead Golf Course (Picto) Berthusen Memorial Park >	300 Feet before SUMAS WSDOT sign Mount Grass/Dirt
1	L.119	VDIR.6	Lynden	L.1	< Berthusen Memorial Park Homestead Golf Course (Picto)> Bender Fields >	300 Feet from WSDOT Border Sign Mount Grass/Dirt
1	L.120	VDIR.6	Lynden	L.1	Downtown> Homestead Golf Course (Picto)> Municipal Airport (Picto) >	Special layout: Roundabout) Arrow. Mount Grass/Dirt Possible Combine with existing - City to Approve

SIGN MESSAGE SCHEDULE

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Phase	Location No.:	Sign Type	City / Area	Sheet No.:	Message:	Comments:
1	L.121	VDIR.6	Lynden	L.1	< Downtown < Homestead Golf Course (Picto) < Municipal Airport (Picto)	Special layout: Roundabout) Arrow. Mount Grass/Dirt Possible Combine with existing - City to Approve
1	L.122	VDIR.4	Lynden	L.1	< Bender Fields	Special layout: Roundabout) Arrow. Mount Grass/Dirt Possible Combine with existing - City to Approve
1	L.123	VDIR.4	Lynden	L.1	Bender Fields >	Special layout: Roundabout) Arrow. Mount Grass/Dirt Possible Combine with existing - City to Approve
1	L.124	VDIR.3	Lynden	L.1	^ Downtown < Bender Fields Homestead Golf Course (Picto)>	Tree Trimming Mount - Grass/Dirt
1	L.125	VDIR.2	Lynden	L.1	< Homestead Golf Course (Picto) Bender Fields >	Tree Trimming Locate Start of Left Turning Lane Mount - Grass/Dirt
1	L.126	VDIR.6	Lynden	L.1	^ Downtown ^ Homestead Golf Course (Picto) ^ Bender Fields	Mount - Grass/Dirt
1	L.127	DELETE	Lynden	L.1	Lynden KOA > (Pictograms)	Existing TOD Sign Keep
1	L.128	DELETE	Lynden	L.1	Lynden KOA > (Pictograms)	
1	L.129	DELETE	Lynden	L.1	< Lynden KOA (Pictograms)	

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Phase	Location No.:	Sign Type	City / Area	Sheet No.:	Message:	Comments:
1	L.130	RESIDENT.2	Lynden	L.1	^ Sumas US Border Lynden KOA > (Pictograms)	Mount - Grass/Dirt
1	L.130a	VDIR.3	Lynden	L.1	< Downtown < Pioneer Museum < Shopping & Dining (Picto)	Remove Existing Mount - Grass/Dirt
1	L.131	RESIDENT.2	Lynden	L.1	^ Downtown Bender Fields >	Replace Existing Mount - Grass/Dirt
1	L.131a	RESIDENT.2	Lynden	L.1	< Lynden KOA (Pictograms) Downtown >	Mount - Grass/Dirt
1	L.132	RESIDENT.2	Lynden	L.1	^ Lynden KOA (Pictograms) < Bender Fields	Replace Existing Move or Remove Truck Route Sign Mount - Grass/Dirt
1	L.132a	RESIDENT.3	Lynden	L.1	^ Lynden KOA (Pictograms) ^ Sumas US Border Everson >	Replace Existing sign Mount - Grass/Dirt
1	L.133	DELETE	Lynden	L.3	< Fairgrounds	
1	L.134	VDIR.2	Lynden	L.3	^ Downtown ^ Shopping and Dining (Picto)	Mount - Grass/Dirt
1	L.135	VDIR.2	Lynden	L.3	Downtown Lynden > Fairgrounds >	Mount - Concrete/Left Edge of Sidewalk
1	L.135a	VDIR.3	Lynden	L.3	< Downtown Lynden < Fairgrounds Main Entrance ^ Fairgrounds Equine Center	Mount - Grass/Dirt

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Project: Whatcom County Wayfinding & Signage

Date: July 30, 2019

Phase	Location No.:	Sign Type	City / Area	Sheet No.:	Message:	Comments:
1	L.136	VDIR.2	Lynden	L.3	< Downtown Lynden < Fairgrounds	Replace Existing Lynden Sign Mount - Grass/Dirt
1	L.137	VDIR.1	Lynden	L.6	< Downtown Lynden	Mount Grass/Dirt Right Side of Sidewalk Existing Sign Raspberry Ridge - No need to message
1	L.138	VDIR.1	Lynden	L.6	> Downtown Lynden	Mount Grass/Dirt Right Side of Sidewalk Existing Sign Raspberry Ridge - No need to message
1	L.139	VDIR.1	Lynden	L.6	Raspberry Ridge (Picto) >	Mount - Grass/Dirt
1	L.140	VDIR.1	Lynden	L.6	< Raspberry Ridge (Picto)	Mount - Grass/Dirt
1	L.141	VDIR.3	Lynden	L.3	^ Downtown ^ Shopping / Dining (Picto) < KOA Truck Route (Pictograms)	Replace Existing Sign Mount Grass/Dirt
1	L.142	VDIR.3	Lynden	L.2	< Downtown < Pioneer Museum Lynden KOA > (Pictograms)	*Replace existing Mount - Grass/Dirt
1	L.143	RESIDENT.2	Lynden	L.3	KOA Truck Route > (Pictograms)	Replace Existing Sign Mount - Grass/Dirt
1	L.300	PARK.1	Lynden	L.4	P <	Mount-Grass/Dirt

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Phase	Location No.:	Sign Type	City / Area	Sheet No.:	Message:	Comments:
1	L.301	PARK.3	Lynden	L.4	(Side A) P Public Parking Lot 1 Free Parking (3 Hour Limit) (Side B) P Public Parking Lot 1 Free Parking (3 Hour Limit)	Replace Existing Mount - Grass Dirt
1	L.302	PARK.2	Lynden	L.4	Side (A) P Public Parking Lot 2* > Accessible Off Street Parking > Bike Repair (Icon) Side (B) P Public Parking Lot 2* < Accessible Off Street Parking < Bike Repair (Icon)	*Confirm Lot Name Remove and Replace Existing Mount - Concrete Sidewalk
1	L.400	KIOSK.1	Lynden	L.5	Side (A) Map of Downtown Citywide Inset Side (B) Interpretive (Possible Content- Phoebe Goodell Johnson, Agriculture)	Locate in Planter Bed Remove Existing Phoebe Goodell Johnson Sign. City to Provide Input on Interpretive Sign Mount - Grass/Dirt

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Phase	Location No.:	Sign Type	City / Area	Sheet No.:	Message:	Comments:
1	L.401	KIOSK.1	Lynden	L.5	Side (A) Map of Downtown Citywide Inset Side (B) Interpretive (Possible Content- History of Lynden (from existing downtown sign at 3rd Street.	Locate in sidewalk bump out City to Provide Input on Interpretive Sign Mount/ Concrete Sidewalk
1	L.402	PDIR.3	Lynden	L.5	Side A: Sign 1 > Public Restrooms (Picto) > Bike Repair Station (Picto) > Library (Picto) > City Hall > Community Center > Municipal Court ^ Chamber of Commerce (i) Side B: Sign 2 < Public Restrooms (Picto) < Bike Repair Station (Picto) < Library (Picto) < City Hall < Community Center < Municipal Court ^ Pioneer Museum	Mount to existing Light Poles Note-Sign Assembly consists of 2 Sign Panels
1	L.403	DELETED	Lynden	L.5	Side A: Sign 1 TBD Downtown Map (Front) Side B: Sign 2 TBD Downtown Map (Front)	Mount to existing Light Poles Note-Sign Assembly consists of 2 Sign Panels

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Phase	Location No.:	Sign Type	City / Area	Sheet No.:	Message:	Comments:
1	L.404	PDIR.3	Lynden	L.5	Side A: Sign 1 ^ Public Restrooms (Picto) ^ Chamber of Commerce (i) ^ Jansen Art Center Downtown Map (Front Street) Side B: Sign 2 < Library (Picto) < City Hall > Pioneer Museum Downtown Map (Front Street)	Mount to existing Light Poles Note-Sign Assembly consists of 2 Sign Panels
1	L.405	PDIR.3	Lynden	L.5	Side A: Sign 1 > Public Restrooms (Picto) > Bike Repair Station (Picto) > Library (Picto) > City Hall > Community Center > Municipal Court ^ Chamber of Commerce (i) Side B: Sign 2 < Public Restrooms (Picto) < Bike Repair Station (Picto) < Library (Picto) < City Hall < Community Center < Municipal Court ^ Pioneer Museum	Mount to existing Light Poles Note-Sign Assembly consists of 2 Sign Panels
1	L.406	PDIR.3	Lynden	L.5	Side A: Sign 1 > Chamber of Commerce (i) ^ Pubic Parking Lot 1 (P) Downtown Map (Front Street) Side B: Sign 2 ^ Public Restrooms (Picto) < Chamber of Commerce (i) ^ Jansen Art Center ^ Pioneer Museum Downtown Map (Front Street)	Mount to existing Light Poles Note-Sign Assembly consists of 2 Sign Panels

BUDGET WORKSHEET

SIGN DESCRIPTION	SIGN TYPE	PRODUCT	INSTALL	SUB TOTAL	QTY	TOTAL	COMMENTS
GATEWAYS							
City Gateway	CITY GATE.1	\$15,000	\$3,000	18,000	0	\$0	Not Used
City Gateway	CITY GATE.2	\$4,000	\$700	4,700	5	\$23,500	
City Gateway	CITY GATE.3	\$1,000	\$300	1,300	1	\$1,300	
						\$24,800	GATEWAYS TOTAL
VEHICULAR DIRECTIONAL							
Vehicular Directional - 4" Copy / Single Pole	VDIR.1	\$4,000	\$700	4,700	4	\$18,800	
Vehicular Directional - 4" Copy / Single Pole	VDIR.2	\$4,500	\$750	5,250	4	\$21,000	
Vehicular Directional - 4" Copy / Single Pole	VDIR.3	\$5,000	\$800	5,800	11	\$63,800	
Vehicular Directional - 6" Copy / Double Pole	VDIR.4	\$6,500	\$1,000	7,500	2	\$15,000	
Vehicular Directional - 6" Copy / Double Pole	VDIR.5	\$6,750	\$1,250	8,000	0	\$0	
Vehicular Directional - 6" Copy / Single Pole	VDIR.6	\$7,000	\$1,300	8,300	5	\$41,500	
Vehicular Trailblazer	VDIR.7	\$7,000	\$1,300	8,300	0	\$0	
Vehicular Directional - Residential Size	RESIDENT.1	\$3,000	\$700	3,700	2	\$7,400	
Vehicular Directional - Residential Size	RESIDENT.2	\$3,500	\$750	4,250	5	\$21,250	
Vehicular Directional - Residential Size	RESIDENT.3	\$4,000	\$800	4,800	10	\$48,000	
						\$236,750	VEHICULAR TOTAL
PARKING							
Parking Trailblazer	PARK.1	\$3,200	\$700	3,900	1	\$3,900	
Parking Lot Identification	PARK.2	\$4,000	\$700	4,700	1	\$4,700	
Parking Lot Identification	PARK.3	\$5,200	\$1,200	6,400	1	\$6,400	
						\$8,600	PARKING TOTAL
PEDESTRIAN							
Pedestrian Kiosk - New	KIOSK.1	\$15,000	\$1,200	16,200	2	\$32,400	
Pedestrian Directional - New Pole	PDIR.1	\$3,800	\$500	4,300	0	\$0	Not Used
Pedestrian Directional - Existing Pole	PDIR.2	\$1,250	\$300	1,550	0	\$0	Not Used
Pedestrian Directional -Existing Pole	PDIR.3	\$1,000	\$200	1,200	4	\$4,800	
						\$37,200	PEDESTRIAN TOTAL
						\$307,350	PROJECT TOTAL

IMPLEMENTATION SOFT COST

	COST	INSTALL	SUB TOTAL	QTY	TOTAL	COMMENTS
Prototype Sign / Installed + Sample Components	\$3,250	\$1,000	4,250	1	\$4,250	

WHATCOM COUNTY WAYFINDING PROGRAM - Lynden

Shop Drawings and Color / Material Samples	\$5,000
Engineering (Structural, Civil and/or Electrical)	\$5,000
Traffic Control Plans (Labor and Materials)	\$3,250
Utility Clearances	\$1,500
Permits & Fees	\$1,500
Other Reimbursables (incl. Travel)	\$4,250
Removal of Existing Signs	\$0
Shipping & Storage	\$3,800
Bonds	\$2,000
Allowance for Additional Concrete Work	\$5,000
Project Management + All Others Misc. Cost	\$4,125
Taxes (Confirm Exemptions w/ Owner)	\$0

FOR DISCUSSION PURPOSES ONLY

1	\$5,000
1	\$5,000
1	\$3,250
1	\$1,500
1	\$1,500
1	\$4,250
1	\$0
1	\$3,800
1	\$2,000
1	\$5,000
1	\$4,125
1	\$0
	\$39,675

ADDITIONAL ITEMS TOTAL

July 24, 2019 email to Planning Director, Heidi Gudde

I have been involved in the County Wayfinding process from the very beginning as a member of the BWCT board of directors.

In all my years of community board roles and in business in Bellingham and Whatcom County, I have never seen a broader group of people come together, dig in, work collaboratively and actually produce a product, so quickly and with such support from all! This Wayfinding Plan has tremendous potential to connect and unify the three uniquely different areas of Whatcom County.

This plan is supported by every small city in Whatcom County, DOT, City of Bellingham, Tribal Leadership and even the residents on Lummi Island (who up until now, did not want to be part of a Tourism plan because they believed it would increase traffic to the Island!), just to name a few.

Each community will implement what they can afford. There is no obligation to do more. We also can elect to create a longer term plan with parts of our program implemented each year. This is a win/win for all! There is also a plan being discussed using EDI monies to make loans to small cities who cannot afford part or all of their proposed Wayfinding Plan.

I am proud of the City of Lynden and the role they have taken to support County Wayfinding.

I would be happy to meet with Heidi to discuss how this will impact downtown and how we can capitalize on the good works of the community effort.

I copied Sandy Ward, the President and CEO of Bellingham Whatcom County Tourism as she is planning to make a presentation to the Lynden City Council about the Wayfinding Plan. It would be great for many of our members to attend.

Sincerely,

Teri

Teri Treat
The Inn at Lynden
Sage Management I LLC
3716 Home Road
Bellingham, Washington 98225

Comments from a July 24, 2019 email to Planning Director, Heidi Gudde

“signage for downtown has been talked about for years and the need for its improvement”

“We do have some signage relating to downtown but most of it is 'lost' because of the insignificant size of the signage - you mentioned that you could reduce the number and the size of them - we would love to work with you in some capacity, but for the past 30 years our group has expressed the need for more signage pointing to downtown and larger, more readable signage for vehicle traffic”

Ken Stap

Downtown Business Association

CITY OF LYNDEN



EXECUTIVE SUMMARY

Meeting Date:	August 19, 2019	
Name of Agenda Item:	Approval of Payroll and Claims	
Section of Agenda:	Consent	
Department:	Finance	
Council Committee Review:	Legal Review:	
<input type="checkbox"/> Community Development <input checked="" type="checkbox"/> Finance <input type="checkbox"/> Parks	<input type="checkbox"/> Public Safety <input type="checkbox"/> Public Works <input type="checkbox"/> Other: _____	<input type="checkbox"/> Yes - Reviewed <input checked="" type="checkbox"/> No - Not Reviewed <input type="checkbox"/> Review Not Required
Attachments:		
None		
Summary Statement:		
<p>RCW 42.24.180 sets forth the conditions for issuance of warrants or checks before Council approval. The auditing officer and the City officers designated to sign the warrants shall have an official duty for the faithful discharge of his or her duties.</p> <p>The City Council has adopted contracting, hiring, purchasing, and disbursing policies that implement effective internal controls; and shall provide for its review of the documentation supporting claims paid for its approval of all warrants issued in payment of claims and/or payroll at regularly scheduled public meetings within one month of issuance.</p> <p>The City Council shall require that if, upon review, it disapproves some claims and/or payroll, the auditing officer and the officer designated to sign the warrants or checks shall jointly cause the disapproved claims to be recognized as receivables and to pursue collection diligently until the amounts disapproved are collected or until the City Council is satisfied and approves the claims and/or payroll.</p> <p>The Finance Committee and/or full City Council may stipulate that certain kinds or amounts of claims and/or payroll should not be paid before the City Council has reviewed the supporting documents.</p>		
Recommended Action:		
Approve the payment of City Payroll and Claims.		

CITY OF LYNDEN

EXECUTIVE SUMMARY



Meeting Date:	August 19, 2019	
Name of Agenda Item:	2018 Berthusen Park Annual Report	
Section of Agenda:	Consent	
Department:	Finance	
Council Committee Review:	<input type="checkbox"/> Community Development <input checked="" type="checkbox"/> Finance <input type="checkbox"/> Parks	<input type="checkbox"/> Public Safety <input type="checkbox"/> Public Works <input type="checkbox"/> Other: _____
	Legal Review: <input type="checkbox"/> Yes - Reviewed <input type="checkbox"/> No - Not Reviewed <input checked="" type="checkbox"/> Review Not Required	
Attachments:	2018 Berthusen Park Annual Report	
Summary Statement:	<p>Annual Review of the Berthusen Park Financial Report:</p> <p>As stipulated in the Berthusen will granting Berthusen Park to the City of Lynden, a financial report needs to be reviewed by the City Council.</p> <p>Finance Committee reviewed this information at its meeting on August 19, 2019.</p>	
Recommended Action:	For Information Only.	

CITY OF LYNDEN



FINANCE DEPARTMENT

Anthony Burrows, Finance Director
(360) 354 - 2829

BERTHUSEN PARK - 2018 FINANCIAL REPORT

REVENUES:

Non-Operating Revenues:

Beginning Cash/Investment (Reserved)	106,360
Beginning - Cash/Investments (Unreserved):	5,546
Interest Income - Trust	2,001
Total Non-Operating Revenues:	\$ 113,907

Operating Revenues:

Real Estate Property Taxes	43,500
Interest	63
Facility Rentals	10,865
Land Leases	20,439
House Rent	8,254
Miscellaneous	11,732
Agency Deposit - Tax	3,743
Total Operating Revenues:	\$ 98,596

TOTAL REVENUES:

\$ 212,503

EXPENDITURES:

Operating Expenditures:

Salaries/Benefits	54,691
Advertising	228
Agency Disbursements	2,884
Assessments/Taxes	154
Communications	0
Insurance	10,980
Public Utilities	1,761
Repairs/Maintenance	18,064
Supplies	7,649
Miscellaneous	3,315
Total Operating Expenditures:	\$ 99,725

TOTAL EXPENDITURES:

\$ 99,725

TOTAL ENDING CASH/INVESTMENT

\$ 112,778

ALLOCATION:

ENDING CASH/INVESTMENT - TRUST (Restricted)	\$ 72,220
ENDING CASH-WORKING CAPITAL (Unrestricted)	\$ 40,558

Prepared by: Anthony Burrows, Finance Director
Council Review: August 19, 2019
Published Lynden Tribune: August 21, 2019

CITY OF LYNDEN

EXECUTIVE SUMMARY



Meeting Date:	August 19, 2019	
Name of Agenda Item:	Contract with NW Ecological to Update Critical Area Maps	
Section of Agenda:	Consent	
Department:	Planning Department	
Council Committee Review:	<input type="checkbox"/> Community Development <input type="checkbox"/> Finance <input type="checkbox"/> Parks	<input type="checkbox"/> Public Safety <input type="checkbox"/> Public Works <input checked="" type="checkbox"/> Other: 2019 Budget Item
		Legal Review: <input type="checkbox"/> Yes - Reviewed <input checked="" type="checkbox"/> No - Not Reviewed <input type="checkbox"/> Review Not Required
Attachments:		
Contract Agreement for Professional Services, Scope of Work, Existing Critical Areas Map		
Summary Statement:		
<p>The City of Lynden recently updated its critical area code found in Chapter 16.16 of the Lynden Municipal Code(LMC). As a supplement to the code, Planning staff rely on a critical area inventory and map to identify areas within the City where critical areas are believed to exist.</p> <p>The current critical area inventory and map were created in 2002. These documents would benefit from updated field verification and revisions utilizing current terminology. Deliverables will include GIS data which can be layered into the City’s database.</p> <p>Northwest Ecological Services has been selected from our vendor list to assist in the update. The proposed agreement for professional services, scope of work, and the existing critical areas map have been attached. The proposed work of the consultant does not assume access to private property. It does not constitute an official delineation or replace the need for critical area studies as required in LMC 16.16.</p> <p>The update to critical areas inventory and map was included in the City’s 2019 Budget at a cost of \$8,000. It is anticipated that the final cost will be \$9,900. As such additional funding will be requested in the 2020 Budget to complete the contract. Expenses in 2019 will not exceed the budgeted amount of \$8,000.</p>		
Recommended Action:		
Motion to approve the Agreement for Professional Services between the City and Northwest Ecological Services, LLC and to authorize the Mayor’s signature on the document.		

AGREEMENT

FOR PROFESSIONAL SERVICES

BETWEEN

**CITY OF LYNDEN
300 4TH STREET
LYNDEN, WA 98264**

AND

**NORTHWEST ECOLOGICAL SERVICES, LLC
2801 MERIDIAN ST
BELLINGHAM, WA 98225**

PROJECT: Lynden Critical Areas Maps – Update 2019

THIS AGREEMENT combines all understanding between the Parties regarding professional services for the Project named above and supersedes all prior proposals, quotations, solicitations, negotiations, representations, agreements, or understandings, whether written or oral.

The performance of the professional services described here, as well as payment for such services, shall be on the terms and conditions presented in this Agreement and the following Sections which are attached and incorporated by reference which, taken together, shall constitute the whole Agreement.

- Section 1 - Relationship of the Parties
- Section 2 - Payment
- Section 3 - General Provisions
- Section 4 - Scope of Services
- Section 5 - Extent of Agreement

SECTION 1: RELATIONSHIP OF THE PARTIES

The City of Lynden hereby contracts with NW Ecological Services, LLC ("Consultant") to perform the professional services described in Exhibit A of this Agreement.

This Agreement shall enure to the benefit of and be binding upon the successors, assigns, and legal representatives of each of the Parties hereto. The Consultant must notify and obtain approval from the City prior to contracting with a sub-consultant(s). Any other assignment or transfer of an interest in this Agreement, by either Party, without the written consent of the other shall be void.

SECTION 2: PROFESSIONAL REIMBURSEMENT

Professional Reimbursement to the Consultant shall be in accordance with the Consultant's budget for the Scope of Work described in Exhibit A.

The budgeted total cost for each requested service shall be a "not to exceed" cost. The City shall pay all of the Consultant's invoices in accordance with the other conditions of the Agreement.

SECTION 3: GENERAL PROVISIONS

3.1 PROFESSIONAL SERVICES

The Consultant shall be consultant and advisor to the City and shall not be agent or representative of the City. The Consultant represents that the studies, survey results, projections, plans, reports, maps, specifications, cost estimates, recommendations and all other consulting, and analytical services furnished under this Contract will be in accordance with generally accepted professional practices. The Consultant hereby agrees to exercise usual and customary professional care in efforts to comply with all federal; state and local laws, rules and ordinances applicable to the work and to this Agreement in force at the time of Consultant's performance of the work hereunder.

The Consultant makes no other representation or warranty, express or implied.

3.2 PAYMENT CONDITIONS

The City agrees to pay the Consultant on a monthly basis, during the term of the project, commensurate with portions of the work completed. The Consultant's compensation shall be paid monthly on account, for the services performed during that month, with payment due within 30 days of the invoice date. The City of Lynden, Finance Department, must receive invoices from vendors by the 5th of each month (or the following Monday if the 5th falls on a weekend day) for processing in the current month's run. The Finance Department is required to seek City Council approval to pay invoices during the second City Council meeting of the month (third Monday) before payment can be rendered. **All invoices must include the Project name and number and the services rendered, according to the approved scope of work, for which payment is to be rendered. Consultant is responsible for providing a cost tracking report for fund allocations and for declining budget balances on invoices. Invoices and supporting documentation will be reviewed for completeness before payment will be authorized.**

The Consultant will not incur any liability for damages of any type or nature when the performance is stopped as a result of stopping performance of services due to the failure of the City to pay for services rendered.

3.3 GENERAL CITY RESPONSIBILITIES

The City shall provide full information regarding its requirements for the services to be performed by the Consultant, and any circumstances known to the City that would hinder the Consultants performance, or make performance by the Consultant more difficult or expensive than would ordinarily be expected. The City shall furnish any required information and services, and shall render approvals and decisions as expeditiously as necessary for the orderly progress of the Consultant's services. If the City observes or otherwise becomes aware of any fault or defect in the services performed by the Consultant, the City shall promptly give written notice thereof to the Consultant.

3.4 PROFESSIONAL RESPONSIBILITY

The Consultant represents that the services shall be performed within the limits prescribed by this Agreement in a manner consistent with that type of care and skill ordinarily exercised by other professional consultants under similar circumstances. No other representations to the City, express or implied, and no warranty or guarantee is included or intended in the Agreement, or in any report, opinion, document, or

otherwise. The Consultant shall not accept other tasks, within the City of Lynden, that could be viewed as a conflict of interest.

3.5 LIABILITY FOR CLAIMS

The City shall, to the extent of its negligence and/or the negligence of its agents or employees, defend and indemnify the Consultant against any and all liability for personal injury (including death resulting therefrom) or property damage of any kind, sustained by any person and caused by or resulting from the concurrent negligence of the City, its agents, or employees, and the Consultant, its agents, or employees. Likewise, the Consultant, shall, to the extent of its negligence and/or the negligence of its agents or employees, defend and indemnify the City against any and all liability for personal injury (including death resulting therefrom) or property damage of any kind, sustained by any person and caused by or resulting from the concurrent negligence of the Consultant, its agents, or employees, and the City, its agents, or employees. For purposes of this provision, the City and Consultant agree to waive the statutory immunity under Title 51 of the Revised Code of Washington, and the parties, by this Agreement, certify and warrant that its waiver of statutory immunity was mutually negotiated by the parties. The provisions of this section shall survive the expiration or termination of this Agreement.

3.6 INDEMNIFICATION

The City agrees that the following language shall be included in any agreement between the City and any third person and/or any third person and fourth person ("SubConsultant") for work of any kind or nature to be performed in connection with the Project, including without limitation, construction services.

"The Consultant shall defend, indemnify, and hold harmless the City and its respective officers, agents, and employees, from and against all damages, claims, losses, demands, suits, judgments, actions, and costs, including reasonable attorney's fees and expenses, arising out of or resulting from the performance of the work, provided that any such damages, claim, loss, demand, suit, judgment, cost, or expense:

- (1) Is attributable to bodily injury, sickness, disease, or death or to injury to, or destruction of tangible property (other than the work itself) including the loss of use resulting therefrom or to purely economic loss; and
- (2) Is caused in whole or in part by any negligent act or omission on the part of the SubConsultant, anyone directly or indirectly employed by any one of them, or anyone for whose acts any of them may be liable, regardless of whether or not it is caused in part by a party indemnified hereunder.
- (3) It is further specifically and expressly understood that the indemnification provided herein constitutes the Consultant's waiver of immunity under Industrial Insurance, Title 51RCW, solely for the purposes of this indemnification. This waiver has been mutually negotiated by the Consultant and City. The provisions of this section shall survive the expiration or termination of this Agreement."

3.7 INSURANCE

The Consultant shall maintain insurance coverage for claims under the Workmen's Compensation Act and claims for bodily injury, death, or property damage, which might arise from the performance of their services under this Agreement. Limits of liability shall be as follows:

Professional Liability	\$1,000,000	each occurrence
Professional Liability	\$2,000,000	annual aggregate
Comprehensive General Liability	\$1,000,000	each occurrence
Comprehensive General Liability	\$2,000,000	annual aggregate
Automobile Liability	\$1,000,000	combined single limit

The City of Lynden shall be listed as additional insured on all applicable certificates of insurance. Consultant will provide City with current insurance certificate upon request.

3.8 OPPORTUNITY TO REMEDY

The parties agree that in the event of alleged error or omission by the Consultant in performance of services under the Scope of Services, the City shall notify the Consultant promptly in writing of that fact and allow the Consultant a reasonable time to remedy the problem. Upon notice the Consultant shall promptly review and remedy the problem at the cost of the Consultant. Where responsibility for a problem may be shared by the Consultant and others, the Consultant shall endeavor to remedy the Consultant's share, at the cost of the Consultant, and to cooperate with others involved. If the Consultant demonstrates that it is not at fault, for a problem identified by the City under this Section, the City shall reimburse the Consultant for its costs of investigating the problem.

3.9 TERMINATION

After one year, the City may, at its sole discretion, terminate the Agreement, by giving the Consultant a 90-day written Notice of Termination, and the Consultant may terminate the Agreement by giving the City a 90-day written Notice of Termination. If any portion of the authorized work covered by this Agreement, and begun by the Consultant, shall be abandoned, unreasonably delayed, or indefinitely postponed, the Consultant may terminate this Agreement. Whether or not terminated, the City shall pay the Consultant for the services rendered in connection therewith, prior to written notice of such abandonment, delay, or postponement, payment to be based insofar as possible, on the amounts specifically established in the Agreement.

3.10 OWNERSHIP AND USE OF DOCUMENTS

Drawings, specifications, documents, reports and electronic discs prepared by the Consultant pursuant to this Agreement are property of the City. The Consultant may retain copies, including reproducible copies of drawings and specifications for information and reference. The Consultant does not intend or represent such drawings and specifications to be suitable for reuse by the City or others on extensions of the Project. The City shall retain copyrights to any and all documents produced by it during the course of this Agreement. The City shall indemnify, hold harmless, and defend the Consultant from and against any and all claims asserted by any party in any manner resulting from unauthorized use by the City, of the Consultant-prepared drawings, specifications, or other documents.

All inventions, patents, design patents, and computer programs and copyrights relating thereto, acquired or developed by the Consultant in connection or relation to the Project, shall remain the property of the Consultant and shall be protected by the City from use by others, except pursuant to agreement in writing between the Consultant and the City, with agreed-upon compensation to the Consultant.

3.11 DISPUTE RESOLUTION

Any dispute, controversy, or claim arising out of or relating to this Agreement, or the breach, termination, or invalidity thereof, shall be submitted for mediation pursuant to the Mediation Rules of the American Intermediation Service (AIS) prior to the commencement of arbitration or other adjudicative procedures.

Mediations and arbitration hearings shall be held at the location mutually agreed upon by the Consultant and the City.

If a settlement is agreed upon through mediation, the parties may agree that the settlement be reduced to writing, and that the mediator(s) shall be deemed to be arbitrator(s), for the sole purpose of signing that written settlement agreement, which shall then have the same force and effect as an arbitral award.

3.12 CLAIMS AND DISPUTES

At the City's request, and only if the City and the Consultant first agree on compensation to the Consultant, the Consultant will assist the City in reviewing and evaluating claims and disputes, preparing information for the City's legal counsel, providing services as witness in litigation or arbitration to which the City is a party, and providing other services in connection with actual or potential claims or disputes, regardless of whether or not the Consultant is named in such legal action. In no case shall the Consultant be obligated to provide such services until the method of compensation therefore is agreed.

3.13 COMPLIANCE WITH EQUAL OPPORTUNITY LEGISLATION

The Consultant agrees to comply with all federal, state, and local laws governing equal opportunity employment. The Consultant will not discriminate against any employee or applicant for employment because of race, creed, color, sex, age, marital status, national origin, or the presence of any sensory, mental, or physical handicap, unless based on a bona fide occupational qualification. Such action includes, but is not limited to, the following: employment, upgrading, demotion or transfer, recruitment or recruitment advertising, layoff or termination, rates of pay, or other forms of compensation and selection for training, including apprenticeship. The Consultant further agrees to maintain notices, posted in conspicuous places, setting forth the provisions of this nondiscrimination clause.

The Consultant will ensure that applicants for employment, and all employees during their employment, are treated without regard to race, creed, color, sex, age, marital status, national origin, or the presence of any sensory, mental, or physical handicap, unless based on a bona fide occupational qualification. The

Consultant agrees to take affirmative action to ensure that all of its employees, agents, and subConsultants adhere to this provision.

The Consultant will make positive efforts to utilize small businesses and minority-owned business sources of supplies and services. Efforts will allow these sources the maximum feasible opportunity to compete for sub-agreements and contracts to be performed utilizing federal grant funds.

3.14 REFERENCE INFORMATION

If the Consultant is required by the City to rely upon information provided by or through the City or a third party to perform the Consultant's services, the Consultant shall not be liable for errors or omissions in the Consultant's services caused by errors or omissions in said information.

3.15 ADDITIONAL TAXES

Since the Consultant's costs can be adversely affected through the application of new, additional, or retroactive taxes or charges (for instance, a sales tax on professional services or a new income tax), amounts due to the Consultant shall be increased equitably to compensate for any additional taxation charges, over those currently in effect, or for taxes retroactively determined to be due on services rendered, or on products delivered by the Consultant to the City.

3.16 APPLICABLE LAWS AND VENUE

This Agreement has been, and shall be construed as having been made and delivered within the State of Washington, and it is mutually understood and agreed by and between the City and the Consultant, that this Agreement shall be governed by the laws of the State of Washington, both as to interpretation and performance. Any action in law, suit in equity, or judicial proceeding, for the enforcement of this Agreement, or any of the provisions contained therein, shall be instituted and maintained only in the Whatcom County Superior Court, Bellingham, Washington.

SECTION 4: SCOPE OF SERVICES

The Consultant agrees to perform the services requested per the attached Scope of Work.

The Consultant will make every attempt to complete the work within the estimated budget and time schedule. However, should changes in the Scope of Work require the Consultant to expend more time or incur more expenses than anticipated, the Consultant will notify the City, and upon concurrence by the City, an amendment to the Agreement will be prepared and executed.

SECTION 5: EXTENT OF AGREEMENT

This Agreement contains all of the terms and conditions agreed upon by the parties. The parties agree that there are no other understandings, oral or otherwise, regarding the subject matter of this Agreement. This Agreement may only be amended by written agreement of the parties.

SECTION 6: NOTICES

In every case where, under any of the provisions of this Agreement or in the opinion of either the City or the Consultant or otherwise, it shall or may become necessary or desirable to make, give, or serve any declaration, demand, or notice of any kind or character or for any purpose whatsoever, the same shall be in writing, and it shall be sufficient to either (1) deliver the same or a copy thereof in person to the Planning Director, if given by the Consultant, or to the President or Secretary of the Consultant personally, if given by the City; or (2) mail the same or a copy thereof by registered or certified mail, postage prepaid, addressed to the other party at such address as may have theretofore been designated in writing by such party, by notice served in the manner herein provided, and until some other address shall have been so designated, the address

of the City for the purpose of mailing such notices shall be as follows:

Planning Director
CITY OF LYNDEN
300 4th Street
Lynden, Washington 98264

and the address of the Consultant shall be as follows:

Northwest Ecological Services, LLC
2801 Meridian St
Bellingham, WA 98225

SECTION 7: ATTORNEY’S FEES

The parties agree that in the event a civil action is instituted by either party to enforce any of the terms and conditions of this Agreement or to obtain damages or other redress for any breach hereof, the prevailing party shall be entitled to recover from the other party, in addition to its other remedies, its reasonable attorney's fees in such suit or action and upon any appeal therefrom.

SECTION 8: CONTRACT VALIDITY

If any provision of this Agreement is held invalid, the remainder of this Agreement shall not be affected thereby, if such remainder would then continue to conform to the terms and requirements of the applicable law.

SECTION 9: NONWAIVER OF BREACH

Failure of either party to require performance of any provision of this Agreement shall not limit such party’s right to enforce such provision, nor shall a waiver of any breach of any provision of this Agreement constitute a waiver of any succeeding breach of such provision or a waiver of such provision itself.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year written below.

CONSULTANT:
NAME

CITY OF LYNDEN

Michelle Zottler 8/12/19
Date

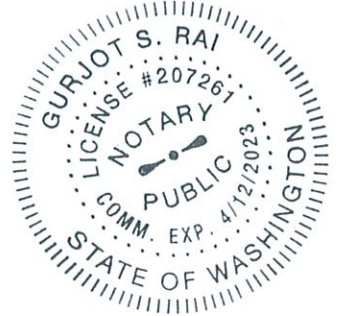
Date

STATE OF WASHINGTON)
) ss
COUNTY OF WHATCOM)

I certify that I know or have satisfactory evidence that Michele S Bodtke signed this instrument and acknowledged it to be his/her/their free and voluntary act for the uses and purposes mentioned in this instrument.

DATED: 8-12-19

Gurjot S. Rai
NOTARY PUBLIC in and for the State of Washington,
Residing at Whatcom.
My commission expires 4-12-2023.



STATE OF WASHINGTON)
) ss
COUNTY OF WHATCOM)

I certify that I know or have satisfactory evidence that _____ signed this instrument and acknowledged it to be his/her/their free and voluntary act for the uses and purposes mentioned in this instrument.

DATED: _____

NOTARY PUBLIC in and for the State of Washington,
Residing at _____.
My commission expires _____.

SCOPE OF WORK**PROJECT: Lynden Critical Areas Maps – Update 2019**

1. Services. The Services shall include the following (plus any additional Services specified by the Company in writing): -

- **Task 1: Review Existing Maps and Inventory**
 - Background research and review of existing Maps and Inventory.
 - Work with staff to decide on details of what the updated maps, inventory should look like and what information to include.

 - **Estimate of 8 Hrs / Cost: \$1,080**

- **Task 2: Field Work**
 - Consultant will perform field reconnaissance to confirm location of previously inventoried CAs and note changes, deletions, and/or addition of new CAs that are not included on existing maps.

 - **Estimate of 18 Hrs / Cost: \$4,320**

- **Task 3: Production of New Maps and Update Inventory**
 - Consultant will produce new maps that note changes, additions, updates and provide appropriate nomenclature to correspond with 2018 CAO update.
 - Update language in Inventory to correspond with new maps.

 - **Estimate of 40 Hrs / Cost: \$4,500**

2. Deliverables. Deliverables for this project are as follows:

Final Deliverables to be determined in Task 1

- Updated Inventory and updated general descriptions as appropriate
- New Critical Areas Map (HCAs and Wetlands)
- New Critical Areas Map (Geohazards)
- GIS data for Map updates

3. Schedule. The Consultant Scope of Work believes the following schedule will be necessary to support the deliverables:

- Start date of September 1, 2019.
- Deliverables to be complete by April 30, 2020.

4. Compensation. Consultant shall receive the following compensation in exchange for the Services under this Agreement:

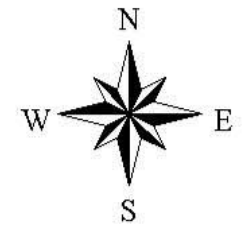
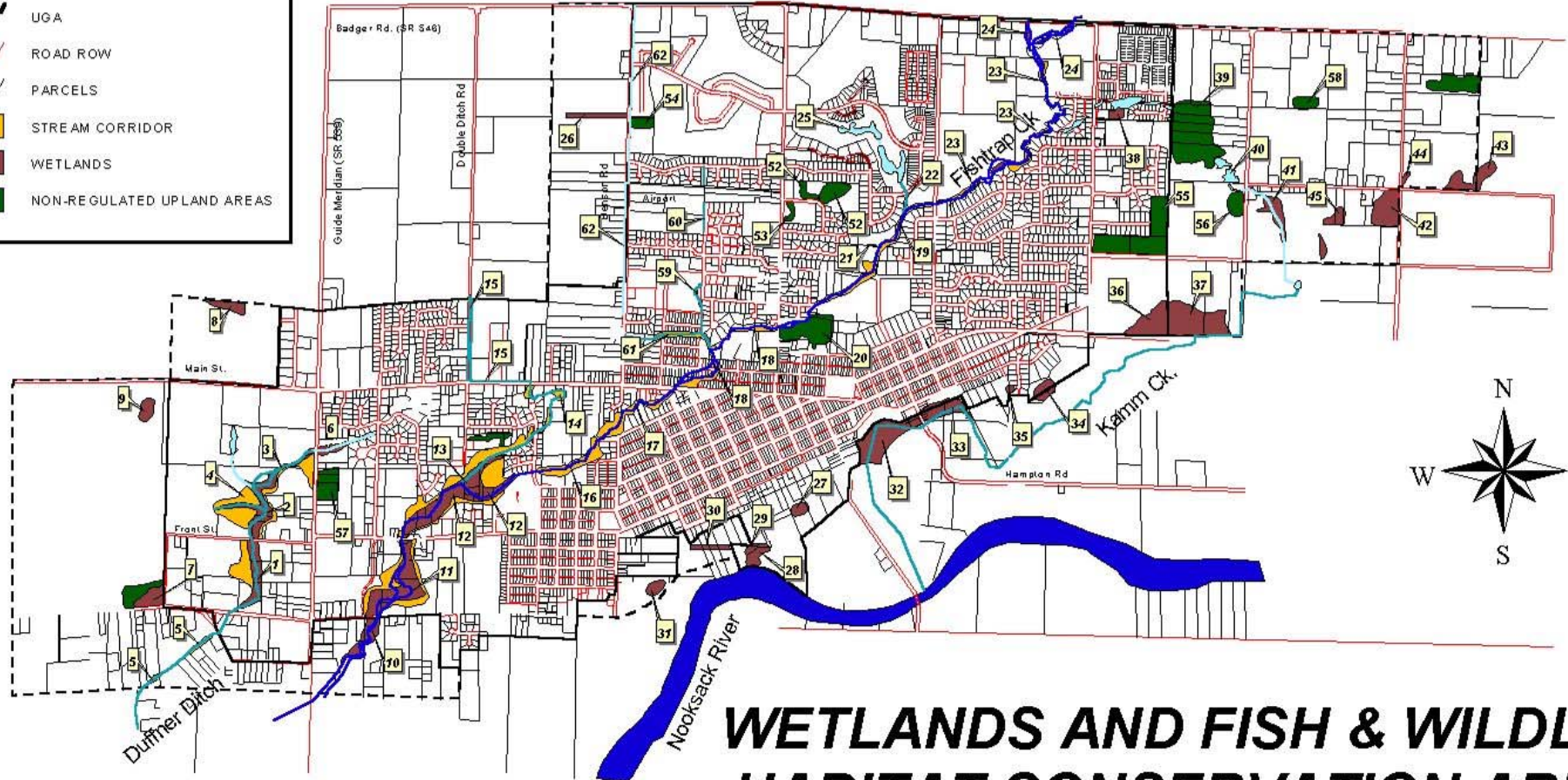
- **\$ 9,900. Not to exceed \$8,000 in 2019 or to exceed \$12,000 for total project.**

5. Expenses. Client shall reimburse Consultant up to for expenses (which are included in the total compensation above), including reasonable and actual travel and travel-related expenses incurred by Consultant in connection with the performance of the Services. All expenses hereunder are subject to Client's review and Consultant must submit appropriate documentation evidencing expenses to be reimbursed.

CITY OF LYNDEN

GENERAL LEGEND

- CLASS A HCA
- CLASS B HCA
- CLASS C HCA
- CITY LIMITS
- UGA
- ROAD ROW
- PARCELS
- STREAM CORRIDOR
- WETLANDS
- NON-REGULATED UPLAND AREAS



2000 0 2000 4000 Feet

**WETLANDS AND FISH & WILDLIFE
HABITAT CONSERVATION AREAS
(HCA)**

Table 2. Critical Areas in Duffner Basin.

1. Duffner Creek Birch Bay Lynden to Tromp Road	
Roads:	Birch Bay Lynden, Tromp Roads.
Critical Area/Descrip:	Riparian Wetland (PFOC), Fish & Wildlife HCA
Vegetation:	Paper birch, western red cedar, red alder, hazelnut. Predominantly deciduous. West side riparian wetland vegetation with blackberry, reed canarygrass. East side with canarygrass, skunk cabbage, ranging 50-100 feet from OHWM. Forested buffer on west side with alder, salmonberry. Riparian wetlands with skunk cabbage
Category/Class:	Category II Wetland. Class (B) River/stream Habitat.
NRCS Soil Unit:	(100) Lynden sandy loam, 3 to 8 percent slopes, (80) Kickerville silt loam, 3 to 8 percent slopes, and (116) Pangborn muck, drained, 0 to 2 percent slope (Hydric, 1, depressions).
Notes:	Near Birch Bay Lynden, wetlands extend east fence and west to slope. Channel is still somewhat exposed due to sparse canopy, particularly on east side. Water has a reddish tinge due to iron fixing bacteria and high turbidity. Riparian wetland can also be seen from above on Tromp Road. Tromp Road culvert may pose a barrier as noted by 1995 Shoreline Inventory and by WDFW. Splash rocks have been placed below culvert to improve passage. Upland forested buffer on west provides upland wildlife habitat.
2. Duffner Riparian Wetlands, W. Front Road (Tromp) to Tributary Confluence	
Roads:	Tromp Road 100 feet north to confluence of North Tributary and Guide Tributary.
Critical Area/Descrip:	Forested Riparian Wetlands (PFOC), Fish & Wildlife HCA, wetland in ravine north of Tromp Road.
Vegetation:	Red alder, black cottonwood, salmonberry, willow, black cottonwood, skunk cabbage.
Category/Class:	Category II Wetland; Class (B) River/stream Habitat.
NRCS Soil Unit:	(100) Lynden sandy loam, 3 to 8 percent slopes, (99) Lynden sandy loam, 0 to 3 percent slopes, and (165) Tromp loam, 0 to 2 percent slopes.
Notes:	Wetland is more extensive than indicated by shorelands inventory. On west side is cleared wetland drainage pattern.
3. Duffner Creek Riparian Wetlands, Tributary Confluence to Guide Meridian Tributary	
Roads:	Guide Meridian, downstream.
Critical Area/Descrip:	Forested Riparian Wetlands (PFOC). Fish & Wildlife HCA.
Vegetation:	Western red cedar, red alder, birch, salmonberry, skunk cabbage, creeping buttercup, lady fern.
Category/Class:	Category II Wetland. Class (B) River/stream Habitat.
NRCS Soil Unit:	(165) Tromp loam, 0 to 2 percent slopes, and (96) Laxton loam, 0 to 3 percent slopes
Notes:	Confluence of North and East Forks to Guide Meridian. Riparian wetlands on north banks then shifting to south side then both sides on riparian shelves. Wetlands extensive, resident cutthroat trout may be present.

Table 2. Critical Areas in Duffner Basin (Continued).

3a. Duffner Creek Wetlands, 600 feet west of Guide Meridian	
Roads:	Guide Meridian, downstream.
Critical Area/Descrip:	Forested Riparian Wetlands (PFOC). Fish & Wildlife HCA.
Vegetation:	Western red cedar, red alder, birch, salmonberry creeping buttercup, lady fern.
Category/Class:	Category III Wetland. Class (C) River/stream Habitat.
NRCS Soil Unit:	(165) Tromp loam, 0 to 2 percent slopes, and (96) Laxton loam, 0 to 3 percent slopes
Notes:	Northeastern portion of forks to Guide Meridian, north of confluence Wetlands present with seasonal waterflow from street runoff
4. Duffner Creek North Tributary, Confluence to West Main Street	
Roads:	West Main Street.
Critical Area/Descrip:	Riparian Wetlands (PEMC) (PFOC) at confluence; Fish & Wildlife HCA.
Category/Class:	Category III Wetland. Class (C) River/stream Habitat.
NRCS Soil Unit:	(165) Tromp loam, 0 to 2 percent slopes.
Notes:	North Tributary heavily impacted by recent industrial development. Clearing of riparian wetlands to edge of OHWM. Stream from the pond to West Main was enclosed in February 2000. Downstream of the settling pond, forested riparian wetlands have been cleared of timber. Old irrigation pond now functions as settling pond.
5. Duffner Creek Potential Riparian (UGA)	
Roads:	south of Bay-Lyn Road.
Critical Area/Descrip:	Fish & Wildlife HCA.
Category/Class:	Class (B) River/stream Habitat.
NRCS Soil Unit:	(116) Pangborn muck, drained, 0 to 2 percent slope (Hydric, 1, depressions).
Notes:	
6. Guide Meridian Forested Wetlands	
Roads:	Guide Meridian, upstream.
Critical Area/Descrip:	Forested Wetlands (PEMC, POW, PFOC).
Vegetation:	weeping willow, western red cedar, red alder, reed canarygrass.
Category/Class:	Category II Wetland.
NRCS Soil Unit:	(96) Laxton loam, 0 to 3 percent slopes.
Notes:	Headwater tributary to Duffner Creek but now is isolated from creek.
7. Forested Wetland (UGA)	
Roads:	Birch Bay-Lynden Road and Tromp Road (UGA).
Critical Area/Descrip:	Forested Wetlands (PFOC), with forested upland buffer and wildlife habitat.
Vegetation:	cottonwood, red alder, paper birch, salmonberry, skunk cabbage.
Category/Class:	Category III Wetland.
NRCS Soil Unit:	(80) Kickerville silt loam, 3 to 8 percent slopes.
Notes:	The SE half of these woods are wetlands.

Table 2. Critical Areas in Duffner Basin (Continued).

8. Emergent Wetland in Field North of West Main Street (50) (UGA)
Roads: West Main, north of in field.
Critical Area/Descrip: Emergent Wetland (PEMC).
Vegetation: reed canarygrass, shrubs, scattered trees in vicinity.
Category/Class: Category IV Wetland.
NRCS Soil Unit: (62) Hale silt loam, drained, 0 to 2 percent slopes (Hydric, 2A, terraces).
Notes: Duffner Creek headwaters, forms sliver near agricultural ditches.
9. West Main Farm Pond (UGA)
Roads: east of Duffner Creek, south of Red Barn.
Critical Area/Descrip: Emergent Wetland (POW, PEMC).
Vegetation: soft rush and grasses grow around margins.
Category/Class: Category IV Wetland.
NRCS Soil Unit: (45) Edmonds-Woodlyn loams, drained, 0 to 2 percent slopes (Hydric, 2b3, depression).
Notes: open water, probably shallow, agricultural water source for horses. surrounded by horse field and corn field.

Fishtrap Creek / Double Ditch Drainage

Fishtrap Creek flows into the Nooksack River just upstream of Bertrand Creek. Headwaters originate in Canada with a mean annual flow of (37.8) cfs (City of Lynden 1995). The reaches of Fishtrap Creek that flow through the City of Lynden offer relatively good quality habitat. Despite the proximity of a variety of land-uses, the reaches of Fishtrap Creek that extend through the City Limits and the UGA have generally retained their natural meanders with limited diking and ditching. In some locations Fishtrap Creek lacks a canopy and is encroached by residential lawns or retaining walls at the edge of the creek.

Fishtrap Creek has five species of salmonids including chum, coho, chinook, steelhead, sea-run cutthroat, resident trout and Dolly Vardin (City Pamphlet). Problems with fecal coliform and low in-stream flows have been identified for Fishtrap Creek.

Double Ditch Creek is a tributary to Fishtrap Creek, entering Fishtrap Creek within City Limits. Double Ditch has a mean annual flow of 5.3 cfs (City of Lynden 1995). Originating in headwater in British Columbia, Double Ditch runs down Double Ditch Road in two ditched channels through agricultural land for several miles before it enters City Limits. The best quality habitat for Double Ditch Creek exists at the confluence with Fishtrap Creek and extending upstream to 17th Street. Like Fishtrap Creek, Double Ditch has been identified as having problems with fecal coliform.

In the lower reaches of Double Ditch Creek, forested conditions prevail with riparian wetlands and stream habitat. Seventeen critical areas including those in Double Ditch Creek were identified for the Fishtrap Creek basin.

Table 3. Critical Areas in Fishtrap Basin.

10. Fishtrap Creek Riparian Wetlands, south of KOK (UGA)	
Roads:	KOK, Guide Meridian.
Critical Area/Descrip:	Riparian Wetlands, Fish & Wildlife HCA.
Vegetation:	Reed canarygrass.
Category/Class:	Category I or II Wetland. Class (A) River/stream habitat.
NRCS Soil Unit:	(22) Briscot silt loam, drained , 0 to 2 percent slopes (Hydric, 2b3, floodplains).
Notes:	lowland riparian shelf, channel has tight meanders.
11. Fishtrap Creek Riparian Wetlands, west of Fair grounds	
Roads:	KOK Road north to Front Street, 19 th .
Critical Area/Descrip:	Riparian Wetlands (PFOC, PEMC); Fish & Wildlife HCA.
Vegetation:	Big leaf maple, red alder, Douglas fir, reed canarygrass.
Category/Class:	Category II or III Wetland. Class (A) River/stream habitat.
NRCS Soil Unit:	(22) Briscot silt loam, drained , 0 to 2 percent slopes (Hydric, 2b3, floodplains).
Notes:	Lowland riparian shelf with a few scattered alders; west side is mostly open. East side mowed lawn below fair grounds. Area has high revegetation opportunities. Forested and scrub shrub wetlands to north on west side. Sloping uplands form ravine and provide well vegetated upland buffer to this system. Access road down to riparian shelf with cedar trees occurring further north.
12. Fishtrap and Double Ditch Creek Confluence	
Roads:	Front Street to 17 th Street.
Critical Area/Descrip:	Riparian Wetland, forested; Fish & Wildlife HCA.
Vegetation:	Mature lowland forest with western red-cedar, Douglas fir. with red alder, salmonberry, skunk cabbage, red elderberry.
Category/Class:	Category II Wetland. Class (A) River/stream habitat.
NRCS Soil Unit:	(103) Lynnwood sandy loam, 5 to 20 percent slopes.
Notes:	Private residence near confluence. Old side channels are evident within wetland/upland complex in floodplain. Riparian wetland associated with mouth of Double Ditch Creek offers good quality salmonid habitat for spawning, good shade, presence of wood, and cover, fisheries utilization and quality habitat. An upland forested ridge divides Fishtrap Creek from Double Ditch.

Table 3. Critical Areas in Fishtrap Basin (Continued).

13. Mouth of Double Ditch Creek at Fishtrap Creek (42)	
Roads:	Front Street to 17 th Street. (Fishtrap Way, Double Ditch Road, Wood Creek Drive).
Critical Area/Descrip:	Wetlands. Fish & Wildlife HCA.
Vegetation:	Red alder, cedar, salmonberry, skunk cabbage, red elderberry.
Category/Class:	Category II Wetland; Class (A) River/stream habitat.
NRCS Soil Unit:	(103) Lynnwood sandy loam, 5 to 20 percent slopes.
Notes:	Riparian wetland associated with mouth of Double Ditch Creek. Wetlands associated with Double Ditch formed by seepage at toe of slope. An upland forested ridge divides Fishtrap Creek from Double Ditch. Stream offers good quality salmonid habitat: spawning, shade, presence of wood and cover, habitat structure, and presence of moderate buffer. This area, from the mouth to 17th Street, offers the highest quality aspects of Double Ditch Creek system. Possibly steep and unstable slopes.
14. Double Ditch Creek, 17th to Main	
Roads:	17th to Main Street.
Critical Area/Descrip:	Fish & Wildlife HCA.
Vegetation:	Several large cedar trees grow along the straightened channel to the north of Main Street.
Category/Class:	Class (B) River/stream habitat.
NRCS Soil Unit:	(96) Laxton loam, 0 to 3 percent slopes.
Notes:	Double Ditch has steep ravine banks. Forested areas has red alder, hazelnut, willow. New culvert work has been completed at the 17 th street crossing on Double Ditch, where a ten foot wide culvert is set low enough but still shoots water through it. Natural meanders through residential areas with minimal buffer.
15. Double Ditch Creek, Mainstem	
Roads:	Main Street to Double Ditch Road.
Critical Area/Descrip:	Fish & Wildlife HCA.
Vegetation:	Cedar north of Main Street.
Category/Class:	Class (B) River/stream habitat.
NRCS Soil Unit:	(96) Laxton loam, 0 to 3 percent slopes.
Notes:	downstream of N/S segment but this reach straightened.
16. Fishtrap Creek Riparian, 17th to 14th	
Roads:	17th to 14th Street, east of 17 th Street.
Critical Area/Descrip:	Fish & Wildlife HCA, Riparian Wetlands.
Vegetation:	tansy, Himalayan blackberry, orchard grass, conifer plantings.
Category/Class:	Category II Wetland; Class (A) River/stream habitat.
NRCS Soil Unit:	(103) Lynnwood sandy loam, 5 to 20 percent slopes.
Notes:	Enhancement opportunity. Reach exposed and poorly vegetated, degraded lowland riparian area on left (south bank). Residential lawn area in riparian zone.

Table 3. Critical Areas in Fishtrap Basin (Continued).

17. Fishtrap Creek Riparian, 14th to Main Street	
Roads:	14th to Main Street.
Critical Area/Descrip:	Fish & Wildlife HCA, Wetland Potential.
Vegetation:	Reed canarygrass, Himalayan blackberry, lawn grass.
Category/Class:	Class (A) River/stream habitat; Category II Wetland.
NRCS Soil Unit:	(22) Briscot silt loam, drained, 0 to 2 percent slopes (Hydric, 2b3, floodplains).
Notes:	Lowland shelf, riparian with steep upper banks (potential Geologic Hazard).
18. Fishtrap Creek, Main Street to Depot Road	
Roads:	Main Street to Depot Road.
Critical Area/Descrip:	Fish & Wildlife HCA.
Vegetation:	
Category/Class:	Class (A) River/stream habitat.
NRCS Soil Unit:	(103) Lynnwood sandy loam, 5 to 20 percent slopes, (62) Hale silt loam, drained, 0 to 2 percent slopes (Hydric, 2A, terraces).
Notes:	Recently cleared lowland shelf (of blackberry) and potential wetland pasture, mowed. Tributary drainage enters Fishtrap Creek from the north. Segment near the school is poorly buffered with exposed channel.
19. Fishtrap Creek Riparian Depot Road to Bender Road	
Roads:	Depot Road to Bender Road, Jim Kaemingk Sr. Trail.
Critical Area/Descrip:	Fish & Wildlife HCA.
Vegetation:	Mature red alder, cedar, birch, bigleaf maple, knotweed, Indian plum.
Category/Class:	Class (A) River/stream habitat.
NRCS Soil Unit:	(96) Laxton loam, 0 to 3 percent slopes.
Notes:	Minimum buffer on both sides, trees provide some shade. South with residential lawns and patios to edge of creek. To north is a 30-foot well vegetated buffer, then Jim Kaemingk Sr. Trail. Mowed lawn near large residential houses. Riparian wetland upstream of City Trail Bridge, track and field area. Recreational, Residential, Public Use.
20. Fishtrap Creek at City Park	
Roads:	Depot Road on east side.
Critical Area/Descrip:	Fish & Wildlife HCA.
Vegetation:	Douglas fir and sparse understory.
Category/Class:	Class (A) River/stream habitat.
NRCS Soil Unit:	(103) Lynnwood sandy loam, 5 to 20 percent slopes, (96) Laxton loam, 0 to 3 percent slopes, and (62) Hale silt loam, drained, 0 to 2 percent slopes (Hydric, 2A, terraces).
Notes:	Riparian area at Fishtrap Cr. running along north side with sparse limited buffer. Evidence of stream restoration activities. A city trail runs through with playgrounds. Residential lawns abut to north. Park-like and well-trodden. Mature upland coniferous forest to south.

Table 3. Critical Areas in Fishtrap Basin (Continued).

21. Wetland Swale	
Roads:	Jim Kaemingk Sr. Trail.
Critical Area/Descrip:	Emergent Wetland (PEMC).
Vegetation:	soft rush, grass, creeping buttercup.
Category/Class:	Category IV Wetland.
NRCS Soil Unit:	(96) Laxton loam, 0 to 3 percent slopes.
Notes:	Mowed lawn to edge forms buffer.
22. Enhanced Tributary to Fishtrap Creek	
Roads:	West of Bender Road.
Critical Area/Descrip:	Fish & Wildlife HCA.
Vegetation:	Red-osier dogwood, red alder, birch, cedar.
Category/Class:	Class (B) River/stream habitat.
NRCS Soil Unit:	(96) Laxton loam, 0 to 3 percent slopes.
Notes:	Enters right bank of Fishtrap Creek: log weirs, woody vegetation, spawning gravels, shaded. Originates from golf course pond to north.
23. Fishtrap Creek Riparian Meanders	
Roads:	Bender Road to Aaron Road. Bender Road Ball Fields to north, residential to south.
Critical Area/Descrip:	Riparian Wetlands and Buffer; Fish & Wildlife HCA.
Vegetation:	Red alder, salmonberry, ninebark, red elderberry, bigleaf maple, mature alders.
Category/Class:	Category II Wetland; Class (A) River/stream habitat.
NRCS Soil Unit:	(165) Tromp loam, 0 to 2 percent slopes.
Notes:	This reach has many meanders and has good riparian wetland potential. Much of the channel is exposed and could use a buffer gain where acceptable. The ball field foot bridge access has rip wrapped banks. To east are cows and low wet spots, snags present.
24. Fishtrap Creek Riparian Wetland and Stream Enhancement	
Roads:	Aaron Drive to Badger Road.
Critical Area/Descrip:	Fish & Wildlife HCA and Riparian Wetland.
Vegetation:	fir and other plantings. Canarygrass is a problem with disturbed conditions.
Category/Class:	Class (A) River/stream habitat; Category III Wetland.
NRCS Soil Unit:	(96) Laxton loam, 0 to 3 percent slopes.
Notes:	At Badger Road stream reach has recent enhancement activities and riparian wetlands. Evidence of beaver mortality on plantings. Near northeast entrance to city limits and fronted by field and apartments. To the west a new backwater channel has been excavated in a former tributary drainage. Pileated woodpecker noted in mature alder tree. Red winged blackbirds present. Stream bank erosion.

Table 3. Critical Areas in Fishtrap Basin (Continued).

25. Ponds and miscellaneous golf course swales and created wetlands	
Roads:	Depot Road, Homestead Boulevard.
Critical Area/Descrip:	Fish & Wildlife HCA and created wetlands/ponds.
Vegetation:	Grass.
Category/Class:	Class (C) HCA; Open water - Non regulated wetlands.
NRCS Soil Unit:	(62) Hale silt loam, drained, 0 to 2 percent slopes (Hydric, 2A, terraces).
Notes:	Approximately 16 created ponds are present in the golf course area.
26. Potential Agricultural Wet Spots (UGA)	
Roads:	East of Benson Road.
Critical Area/Descrip:	Wetland Potential.
Vegetation:	Pasture or row crops.
Category/Class:	Category IV Wetland, Emergent.
NRCS Soil Unit:	(62) Hale silt loam, drained, 0 to 2 percent slopes
Notes:	Based only on aerial interpretation.

Nooksack River Basin and Floodplain Areas

A small portion of the City of Lynden lies within the basin of the Nooksack River. This area falls between Fishtrap/Bertrand and Kamm Creeks. Surface water from these units would drain directly into the Nooksack River. The inventory resulted in the identification of a number of wetland areas, and several potential Geologic Hazard Areas as a result of the areas of Pangborn Muck and Shalcar Muck. These hazard areas are discussed separately in the Geologically hazardous Areas section, below. Much of this area is within the 100-year floodplain. Floodplain review has not been part of this inventory.

There are five wetland or potential wetland areas in the Nooksack River Basin and Floodplain Areas. In addition, the Nooksack River, itself, is classified as a Class A River/stream habitat due to the presence of both Chinook salmon and Bull Trout.

Table 4. Critical Areas in Nooksack River and Floodplain Areas.

27. Emergent Wetland Pasture	
Roads:	Front Street, Judson Alley.
Critical Area/Descrip:	Emergent Wetland, wet pasture.
Vegetation:	Soft rush, grasses.
Category/Class:	Category III Wetland.
NRCS Soil Unit:	(116) Pangborn muck, drained, 0 to 2 percent slope (Hydric, 1, depressions).
Notes:	South of Lynden Roller Rink. Other potential wetlands in vicinity.
28. Forested Wetland Fringing Treatment Plant	
Roads:	On drive to treatment plant.
Critical Area/Descrip:	Forested Wetland (PFOC).
Vegetation:	Willow, canarygrass, Himalayan blackberry, salmonberry, creeping buttercup, Pacific willow, red alder, cottonwood.
Category/Class:	Category III Wetland.
NRCS Soil Unit:	(116) Pangborn muck, drained, 0 to 2 percent slope (Hydric, 1, depressions). (22) Briscot silt loam, drained, 0 to 2 percent slopes (Hydric, 2b3, floodplains).

Table 4. Critical Areas in Nooksack River and Floodplain Areas (Continued).

29. Emergent Wetland North of Treatment Plant	
Roads:	Treatment plant access road.
Critical Area/Descrip:	Emergent Wetland (PEMC).
Vegetation:	Soft rush, grasses.
Category/Class:	Category III Wetland.
NRCS Soil Unit:	(116) Pangborn muck, drained, 0 to 2 percent slope (Hydric, 1, depressions).
Notes:	Grazed land, cows.
30. Potential Emergent Wetlands (UGA)	
Roads:	Judson Street.
Critical Area/Descrip:	Potential wetland.
Vegetation:	Pasture.
Category/Class:	Category III Wetland.
NRCS Soil Unit:	(116) Pangborn muck, drained, 0 to 2 percent slope (Hydric, 1, depressions)
31. Potential Emergent Wetlands (UGA)	
Roads:	South of B.C. Avenue.
Critical Area/Descrip:	Potential Wetland.
Vegetation:	Pasture.
Category/Class:	Category III Wetland.
NRCS Soil Unit:	(116) Pangborn muck, drained, 0 to 2 percent slope (Hydric, 1, depressions).

Kamm Creek Basin

Kamm Creek flows into the Nooksack River south of the City of Lynden. Most of the drainage is outside the City limits and UGA. A tributary drainage to Kamm Creek is located within City Limits. There are a series of ponds situated around the KOA campground. The 1995 shoreline inventory reports a water control structure near the intersection of Line Road and Kamm Road that helps to regulate pond levels. Kamm Slough has been identified as having problems associated with dissolved oxygen, pH, and fecal coliform

There are 14 identified Critical Areas and potential critical areas in the Kamm Basin. This includes 6 wetlands within City Limits, and 8 potential wetland and riparian areas within the UGA.

Table 5. Critical Areas in Kamm Basin.

32. Front Street Oxbow, Kamm Creek	
Roads:	East Front Street between Hannegan and Nooksack Bridge crossings.
Critical Area/Descrip:	Forested wetland, emergent wetland. (PFOC) (PSSC)(PEMC).
Vegetation:	Red alder, bigleaf maple, cottonwood, willow, salmonberry, skunk cabbage, horsetail, reed canarygrass, water lily, cattail.
Category/Class:	Category II Wetland.
NRCS Soil Unit:	(22) Briscot silt loam, drained, 0-2 percent slopes (Hydric, 2b3, floodplains). (124) Puyallup fine sandy loam, 0 to 2 percent slopes.
Notes:	Wetland has formed at base of steep slope. Wetland could be remnant oxbow. Springs are shown to occur by USGS. Standing water noted and a flowing channel (>2' wide) at base of slope.

Table 5. Critical Areas in Kamm Basin (Continued).

33. East Front Street Wetlands at Base of Slope	
Roads:	East Front Street.
Critical Area/Descrip:	Forested Wetland, Emergent Wetland.
Vegetation:	Willow, red alder, salmonberry, skunk cabbage.
Category/Class:	Category II Wetland (PFOC) (PEMC).
NRCS Soil Unit:	(124) Puyallup fine sandy loam, 0 to 2 percent slopes. (116) Pangborn muck, drained, 0 to 2 percent slope (Hydric, 1, depressions).
Notes:	Similar to #(51), ponding in woods extends out to ponding in emergent wetlands. Lowland area forms riparian wetland adjacent to Kamm Creek.
34. Terrace Drive wetlands	
Roads:	Terrace Drive.
Critical Area/Descrip:	Emergent Wetland (PEMC).
Vegetation:	Soft rush, cattail, grasses.
Category/Class:	Category III Wetland.
NRCS Soil Unit:	(116) Pangborn muck, drained, 0 to 2 percent slope (Hydric, 1, depressions). (124) Puyallup fine sandy loam, 0 to 2 percent slopes.
Notes:	May be a contrived treatment or detention basin related to future development.
35. Lowlands south of East Front Street Potential Wetlands	
Roads:	East Front Street, Terrace Drive.
Critical Area/Descrip:	Potential Wetlands in and around City limits, near "Miracle Ridge".
Vegetation:	Reed canarygrass.
Category/Class:	Category IV Wetland.
NRCS Soil Unit:	(116) Pangborn muck, drained, 0 to 2 percent slope (Hydric, 1, depressions).
Notes:	Sloping pasture.
36. Lynden High School Forested/Scrub Shrub wetland	
Roads:	RR Tracks, school access.
Critical Area/Descrip:	Forested and scrub-shrub wetland (PFOC, PSS).
Vegetation:	Red alder, red-osier dogwood, willow, spirea.
Category/Class:	Category III Wetland.
NRCS Soil Unit:	(80) Kickerville silt loam, 3 to 8 percent slopes. (143) Shalcar muck, drained, 0 to 2 percent slopes (Hydric, 1, depressions).
Notes:	Hydrologically connected to sloping wetland to the east.
37. Sloping Emergent Wetland with Woods and Pond (UGA)	
Roads:	RR Tracks, south of Bradley Road, SE study area.
Critical Area/Descrip:	Emergent wet pasture (PEMC), slope wetlands.
Vegetation:	Soft rush, eastern portions dense. Red alder, grasses.
Category/Class:	Category III Wetland.
NRCS Soil Unit:	(80) Kickerville silt loam, 3 to 8 percent slopes. (143) Shalcar muck, drained, 0 to 2 percent slopes (Hydric, 1, depressions).
Notes:	Pasture well grazed by cows. Forested wetlands with ponds north of Railroad tracks. Slope wetland. Wetland is ditched and partially drained.

Table 5. Critical Areas in Kamm Basin (Continued).

38. Elm St Emergent Wetland, Voskuilen Tracts	
Roads:	Elm and Vinup, north of Bernice Vossbeck Elementary School.
Critical Area/Descrip:	Emergent Wetland (PEMC).
Vegetation:	Soft rush, buttercup, cattail, <i>Juncus spp</i> , <i>Juncus acuminatus</i> , water foxtail, American speedwell, mannagrass, <i>Scirpus microcarpus</i> .
Category/Class:	Category III Wetland.
NRCS Soil Unit:	(96) Laxton loam, 0 to 3 percent slopes. (62) Hale silt loam, drained, 0 to 2 percent slopes (Hydric, 2A, terraces).
Notes:	Depressional in either filled banks or marginal areas, serving larger as a detention and filtration basin. Wetland surrounded by residences and Bernice Vossbeck Elementary School. Drains to the east toward Kamm Creek basin. Depressional outflow. No inlet. Wetland is spring fed in one area with groundwater and surface water influence. Probably has a discharge or hydrologic support function. Outlet with watercress and is dammed with flow control structure. Could be enhanced with willow. No buffer.
39. Eastwood Forest, north of KOA Campground (UGA)	
Roads:	Eastwood Way, Line Road.
Critical Area/Descrip:	Forested Wetland, ponds, stream drainage (HCA).
Vegetation:	Western red cedar, red alder.
Category/Class:	Category III or II Wetland. Class (C) River/stream Habitat.
NRCS Soil Unit:	(99) Lynden sandy loam, 0 to 3 percent slopes. (62) Hale silt loam, drained, 0 to 2 percent slopes (Hydric, 2A, terraces). (80) Kickerville silt loam, 3 to 8 percent slopes.
Notes:	difficult to access, fences etc. Within UGA. (not field verified). Possible utilities bisect.
40. KOA ponds and drainage (UGA)	
Roads:	Line Road, Kamm Road.
Critical Area/Descrip:	Open Water wetlands (POW) and HCA potential.
Category/Class:	Category III or II Wetland. Class (C) River/stream Habitat.
NRCS Soil Unit:	w, (80) Kickerville silt loam 3 to 8 percent slopes. (62) Hale silt loam, drained, 0 to 2 percent slopes (Hydric, 2A, terraces).
41. Woods and Drainage south of Kamm Road (UGA)	
Roads:	Line Road, Kamm Road, below KOA.
Critical Area/Descrip:	Stream drainage, tributary to Kamm Creek (HCA).
Vegetation:	Western red cedar.
Category/Class:	Class (C) River/stream Habitat.
NRCS Soil Unit:	(80) Kickerville silt loam, 3 to 8 percent slopes.
Notes:	Pools and tributary habitat, ditched drainage east, and with pond downstream. Potential forested wetlands.

Table 5. Critical Areas in Kamm Basin (Continued).

42. Emergent Wetland, Corner of Kamm and Northwood Roads (UGA)	
Roads:	Kamm Road, Northwood Road.
Critical Area/Descrip:	Emergent Wetland (PEMC).
Vegetation:	Soft rush, grass.
Category/Class:	Category III or IV Wetland.
NRCS Soil Unit:	(143) Shalcar muck, drained, 0 to 2 percent slopes (Hydric, 1, depressions).
Notes:	Partially ditched, possibly slope wetland.
43. Wetland Woods north of Kamm Road (UGA)	
Roads:	Kamm Road, Northwood Road.
Critical Area/Descrip:	Forested and Shrub Wetland (PSSC) (PFOC).
Vegetation:	Cottonwood, red alder, willow, salmonberry, red osier dogwood.
Category/Class:	Category III Wetland.
NRCS Soil Unit:	(143) Shalcar muck, drained, 0 to 2 percent slopes (Hydric, 1, depressions).
Notes:	
44. Shrub Wetland north of Kamm Road on Northwood Road (UGA)	
Roads:	Northwood, Kamm Road.
Critical Area/Descrip:	Shrub Wetland (PSSC).
Vegetation:	Willow.
Category/Class:	Category III Wetland.
NRCS Soil Unit:	(143) Shalcar muck, drained, 0 to 2 percent slopes (Hydric, 1, depressions).
Notes:	Small scrub-shrub wetland. Horses graze nearby pasture.
45. Residential pond South of Kamm (UGA)	
Roads:	Kamm Road.
Critical Area/Descrip:	Pond, potential wetlands (POW).
Vegetation:	
Category/Class:	Category IV Wetland.
NRCS Soil Unit:	(80) Kickerville silt loam, 3 to 8 percent slopes.
Notes:	Potential wetlands throughout this area.

Geologically Hazardous Areas

Two types of geologically hazardous areas within the City of Lynden were addressed through this inventory. These include steep slopes and earthquake-sensitive areas. Steep slopes (areas having a slope inclination greater than 35%) are associated with the Duffner and Fishtrap stream corridors and also occur in one area immediately south of East Front Street. Earthquake-sensitive areas are associated with the presence of organic soils, including Pangborn Muck and Shalcar Muck. This inventory identified six geologically hazardous areas within the city or UGA. In some cases a single hazard name refers to several locations within the study area where such conditions occur. Locations of Geologically Hazardous Areas are shown on Critical Areas Map #2 - Natural Hazards.

Table 6. Geologically Hazardous Areas.

46. Ravines Associated With Streams	
Roads:	Duffner Creek, Fishtrap Creek.
Critical Area/Descrip:	Geo-hazard Area.
Category/Class:	Steep slope.
Notes:	Steep slopes and stream bank erosion in some locations.
47. Steep Upper banks Fishtrap Creek	
Roads:	14th to Main Street, below Methodist Church.
Critical Area/Descrip:	Geo-hazard Area.
Category/Class:	Steep slope.
Notes:	lowland riparian shelf below steep banks Steep slopes
48. East Front Steep Slope Landslide Hazard	
Roads	East of Hannegan Road entrance to City
Critical Area/Descrip:	Geo-hazard Area
Category/Class:	Steep slope.
Notes	Notes: Slope > 40 %. Located above oxbow wetland.
49. Pangborn Muck, Organic Soil Mapped for south Lynden	
Roads:	Judson Alley.
Critical Area/Descrip:	Geo-hazard Area.
Category/Class:	Earthquake-sensitive area.
NRCS Soil Unit:	(116) Pangborn muck, drained, 0 to 2 percent slope (Hydric, 1, depressions).
Notes:	Floodplain, sloping pasture, wet meadow.
50. Shalcar Muck, Mapped for Eastern UGA in Kamm Basin	
Roads:	Kamm Road, Northwood.
Critical Area/ Descrip:	Geo-hazard Area.
Category/Class:	Earthquake-sensitive area.
NRCS Soil Unit:	(143) Shalcar muck, drained, 0 to 2 percent slopes (Hydric, 1, depressions).
Notes:	Floodplain, sloping pasture, wet meadow.
51. Pangborn Muck, Organic Soil Mapped for Duffner Creek	
Roads:	South of Birch Bay Lynden Road.
Critical Area/Descrip:	Geo-hazard Area.
Category/Class:	Earthquake-sensitive area.
NRCS Soil Unit:	(116) Pangborn muck, drained, 0 to 2 percent slope (Hydric, 1, depressions).
Notes:	

Remnant Tributary Drainages

Several former tributary drainages that flow into Fishtrap Creek have been identified. These drainages have been significantly modified to fit within established residential and agricultural areas. In the Fall of 2002, these areas were investigated further and in some cases the presence of salmonids was observed.

Table 7. Remnant Tributary Drainages.

59. Wetland Drainage Swale	
Roads:	West Park Road, South Park.
Critical Area/Descrip:	Fish & Wildlife HCA.
Vegetation:	Pasture grass.
Category/Class:	Class (B) River/stream habitat.
NRCS Soil Unit:	(96) Laxton loam, 0 to 3 percent slopes.
Notes:	Drainage retains a natural meander in otherwise straightened drainage. Anadromous fish observed upstream in Fall of 2002.
60. Cedar Woods Drainage Channel	
Roads:	North end of Park Street. Cedar Street; crosses east of Depot Road.
Critical Area/Descrip:	Fish & Wildlife HCA.
Vegetation:	Western red cedar.
Category/Class:	Class (B) River/stream Habitat.
NRCS Soil Unit:	(96) Laxton loam, 0 to 3 percent slopes.
Notes:	Small drainage in cedar woods with deep banks, possibly a remnant stream. Coho salmon observed during Fall of 2002.
61. Small woodland Drainage 8th Street	
Roads:	8 th Street.
Critical Area/Descrip:	Fish & Wildlife HCA; tributary to Fishtrap Creek.
Vegetation:	Black cottonwood, cedar, bigleaf maple.
Category/Class:	Class (B) River/stream habitat.
NRCS Soil Unit:	(96) Laxton loam, 0 to 3 percent slopes.
Notes:	Stream has very minimal buffer with new retaining wall to west of 8 th . Coho salmon carcasses observed in Fall of 2002. Area includes suitable spawning gravel.
62. Ditched Tributary Drainage Benson Road	
Roads:	West side of Benson Road, then on east side north of Sunrise.
Critical Area/Descrip:	Fish & Wildlife HCA.
Vegetation:	Grass.
Category/Class:	Class (C) River/stream habitat.
NRCS Soil Unit:	(165) Tromp loam, 0 to 2 percent slopes.
Notes:	Great Blue heron is stalking in channel. Looks similar to Double Ditch.

Non-Regulated Natural Resource Areas

These sites were noted for their habitat value. The community may want to consider as valuable habitats for their uniqueness and upland wildlife species. Many of these upland sites support older trees with forests having old growth characteristics.

While a comprehensive inventory of wildlife species was not conducted as part of this habitat inventory, wildlife observations include the following:

Eagles were noted near the northwest vicinity of Lynden, flying or perching or being chased by crows. Two mature eagles were perching in alder trees between farm field. A Bald eagle was noted over western part of golf course being harassed by a crow. Other Bald Eagles and two immature were spotted as well. Red tailed hawks were noted over Kamm basin area.

Most all of the upland woods support song birds. The liveliest patch was in at Duffner Creek Wetlands, west of the Guide Meridian and north of Front Street. Birds common to most of these areas include Robin, Black Capped Chickadee, (smaller chestnut brown @ Duffner), Oregon Junco, Stellar Jay, Brown Creeper, and Crow. Great Blue Heron was noted at Oxbow wetland and in the Benson Road Ditch.

Table 8. Non-Regulated Natural Resource Areas.

52. Woodfield Woods, Mature Cedar Woods	
Roads:	Woodfield Drive, Depot Road, East Sunrise.
Habitat Description:	Non-regulated Upland Wildlife Habitat.
Vegetation:	Upland mature forest with cedars, big leaf maple, and paper birch, having a sparse understory.
NRCS Soil Unit:	(165) Tromp loam, 0 to 2 percent slopes.
Notes:	Woods join upland pasture to north. junco, chickadee, robins noted.
53. Woods - Two areas	
Roads:	Woodfield Drive, Depot Road.
Habitat Description:	Non-regulated Upland Wildlife Habitat.
Vegetation:	Mature cedar woods and small home. Also cedar and birch.
NRCS Soil Unit:	(165) Tromp loam, 0 to 2 percent slopes.
54. Woods off Benson at golf course	
Roads:	Benson Road b/w West Sunrise and East Homestead.
Habitat Description:	Non-regulated wildlife habitat, and possibly wetlands (needs field checking).
Notes:	Eagle being harassed by crow.
55. Vinup Woods	
Roads:	Vinup Road, Bradley Road.
Habitat Description:	Non-regulated wildlife habitat, large woods north of high school.
Vegetation:	Mature upland cedar forest at south with sparse understory, then broken canopy and shrub zone with birch, bigleaf maple salmonberry, spirea, snowberry, and osoberry Moving south into larger upland woodland with Douglas fir, thick growth and vegetative stratification.
NRCS Soil Unit:	(79) Kickerville silt loam, 0 to 3 percent slopes, (80) Kickerville silt loam, 3 to 8 percent slopes.
Notes:	Good species diversity in shrub layer and groundlayer. Several trails. No wetlands noted. Junco and jay observed..

Table 8. Non-Regulated Natural Resource Areas (Continued).

56. Upland Woods south of pond and KOA drainage	
Roads:	Line Road.
Habitat Description:	Non-regulated upland woods.
Vegetation:	Red alder, Indian plum dominated.
NRCS Soil Unit:	(80) Kickerville silt loam, 3 to 8 percent slopes
Notes:	Moist woods, appears to be non-wetland, upland wildlife habitat, songbirds.
57. Upland Conifer Woods at Duffner Creek	
Roads:	Guide Meridian - east side.
Habitat Description:	Non-regulated, mature second growth cedar.
Vegetation:	Western Red Cedar
NRCS Soil Unit:	
Notes:	Upland wildlife, natural stream buffer. Guide culvert is perched 5-12 inches (double 3 foot culverts).
58. Woods, unidentified in UGA	
Roads:	South of Badger Road between Line Road and Northwood Road.
Habitat Description:	Non-regulated forested wildlife habitat.
Vegetation:	
NRCS Soil Unit:	(80) Kickerville silt loam, 3 to 8 percent slopes.
Notes:	Forms western edge to large woods. There are several smaller wood patches in this eastern UGA.

CITY OF LYNDEN



EXECUTIVE SUMMARY

Meeting Date:	August 19, 2019	
Name of Agenda Item:	Ordinance 1590 Amending Chapter 13.12 - Septic to Sewer	
Section of Agenda:	Consent	
Department:	Public Works	
Council Committee Review:	<input type="checkbox"/> Community Development <input type="checkbox"/> Finance <input type="checkbox"/> Parks	<input type="checkbox"/> Public Safety <input checked="" type="checkbox"/> Public Works <input type="checkbox"/> Other: _____
		Legal Review: <input checked="" type="checkbox"/> Yes - Reviewed <input type="checkbox"/> No - Not Reviewed <input type="checkbox"/> Review Not Required
Attachments:		
Ordinance 1590 Amending Chapter 13.12 – Septic to Sewer		
Summary Statement:		
<p>The revisions to Ordinance 1590 preserve the residential waiver of sewer connection fees; but adds conditions for non-single-family septic to sewer conversions. As larger parcels want to connect under the waiver, the City needs to consider adjacent properties that might also want to connect which might require a utility easement as a condition of the waiver.</p> <p>The Public Works Committee reviewed this at their August 7 meeting and concurred to recommend approval to the full City Council.</p>		
Recommended Action:		
That City Council approve Ordinance 1590 Amending Chapter 13.12 – Septic to Sewer and authorize the Mayor’s signature.		

ORDINANCE NO. 1590
AN ORDINANCE OF THE CITY OF LYNDEN, COUNTY OF WHATCOM,
AMENDING CHAPTER 13.12 OF THE LYNDEN MUNICIPAL CODE

WHEREAS, RCW 35.67.360 expressly authorizes local governments to assist the public through loans or credits in converting existing on-site septic systems to public sewer systems to preserve water quality; and

WHEREAS, the City finds there is a public benefit in converting existing residential septic systems to the public sanitary sewer system, including helping meet the goals of the City’s water quality program and compliance with its Stormwater NPDES Permit; and

WHEREAS, in March 2017, the City established its septic to sewer connection incentive program (“the Program”); and

WHEREAS, after implementing the Program for the past two years, the City has become aware that the Program should be amended to provide clarification and promote the public interest; and

WHEREAS, code changes are shown herein though strikeout of existing provisions removed and underline of new language added; and

WHEREAS, the foregoing recitals are material findings and declarations of the Lynden City Council;

NOW THEREFORE, BE IT ORDAINED as follows:

Section 1: Lynden Municipal Code Section 13.12.055 is amended as follows:

13.12.055 – General facilities charges.

....

- F. The director may grant to any All property with an existing on-site sewage system (OSS) located within the city limits ~~is eligible for a waiver of~~ relief from sewer general facilities charges to connect to the city sanitary sewer system; provided that, such ~~waiver relief~~ shall not include the surcharge due from property within the East Lynden/Line Road Sub-Basin or other such situations where a Council created or approved surcharge is or shall be in place. Refer to Section 13.12.105 for details on the incentive program.

Section 2: Lynden Municipal Code Section 113.12.105 is amended as follows:

13.12.105 - Establishment of septic to sewer connection incentive program.

A. The city hereby establishes a new program designated the septic to sewer connection incentive program. All properties located within the city limits with OSS are eligible properties.

B. The director shall grant a waiver of payment of the city sewer general facilities charges to all eligible properties consisting of only one single-family home to connect to the city sanitary sewer system.

C. The director may in his or her discretion grant other This program will provide eligible properties, which do not qualify under subsection B above, option to obtain a waiver of payment of sewer general facilities charges to connect to the city sanitary sewer system. Any such waiver shall be supported by a written finding of the director that granting the waiver will promote the public interest and does not result in an undue financial burden for the utility. The director may consider one or more factors in determining whether a waiver will promote the public interest such as, without limitation, potential reduction of fecal coliform in nearby surface or ground water, better compliance with City NPDES permit, enhancing efficiency in sewer utility operations, or achievement of a similar public benefit.

D. For any eligible property, including single-family homes, the director will require the property owner to properly decommission the existing OSS and pipe all wastewater to the City sanitary sewer system. The director may in his or her discretion also require the granting of easements or other appropriate measures as conditions of granting a waiver of general facilities charges.

~~B. E.~~ Eligible OSS properties in the East Lynden/Line Road Sub-Basin ~~opting for waiver of sewer general facilities charges~~ receiving relief under this section shall still be required to pay the sewer surcharge for such connection as required by LMC 13.12.055.

~~C. F.~~ The eligibility for ~~this waiver~~ relief under this section shall expire two years from the time of official written notification by the city that sewer services are available, or from the time a property owner applies to connect to the city sewer system, whichever occurs first. Any request for extension must be made in writing and approved by the ~~public works~~ director.

Section 5. If any section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be invalid or unconstitutional, such decision shall not affect the

validity of the remaining portions of this ordinance. The Council hereby declares that it would have passed this ordinance and each section, subsection, sentence, clause and phrase thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses or phrases has been declared invalid or unconstitutional, and if, for any reason, this ordinance should be declared invalid or unconstitutional, then the original ordinance or ordinances shall be in full force and effect.

Section 6. Any ordinance or parts of ordinances in conflict herewith are hereby repealed.

Section 7. This ordinance shall be in full force and effect five (5) days after its passage, approval and publication as provided by law.

PASSED by the City Council this _____ day of _____, 2019, and signed by the Mayor on the _____ day of _____, 2019.

MAYOR

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

CITY OF LYNDEN

EXECUTIVE SUMMARY



Meeting Date:	August 19, 2019	
Name of Agenda Item:	Set Public Hearing Date for Water System Plan Update Service Area Map	
Section of Agenda:	Consent	
Department:	Public Works	
Council Committee Review:	<input type="checkbox"/> Community Development <input type="checkbox"/> Finance <input type="checkbox"/> Parks	<input type="checkbox"/> Public Safety <input checked="" type="checkbox"/> Public Works <input type="checkbox"/> Other: _____
		Legal Review: <input type="checkbox"/> Yes - Reviewed <input type="checkbox"/> No - Not Reviewed <input checked="" type="checkbox"/> Review Not Required
Attachments:		
Water System Plan Service Area Map Figure 2-3		
Summary Statement:		
<p>City staff is working with RH2 Engineering to finalize the update to the City’s Water System Plan (WSP). Staff has addressed comments from the Department of Health and Department of Ecology on our draft submittal, and now it’s time to resubmit the plan for final comments and approval. Whatcom County, as part of their review, requires that the City hold a meeting to hear any public comment on City changes before including the service area map revision in the County’s Coordinated Water System Plan (updated service area map attached).</p> <p>At the request of the Department of Health the City has committed to provide water to adjoining water associations with nitrate contamination, should the City first obtain sufficient water rights. These associations are shown on the map as Potential Future Additions to the Retail Service Area (RSA).</p> <p>The Public Works Committee reviewed this at their August 7th meeting and directed staff to forward to City Council to set a public hearing date of September 3, 2019.</p>		
Recommended Action:		
That City Council set a Public Hearing Date of September 3, 2019 to hear comments on the Water System Plan Service Area (per the attached map).		

This map is a graphic representation derived from the City of Lynden Geographic Information System. It was designed and intended for City of Lynden staff use only; it is not guaranteed to survey accuracy. This map is based on the best information available on the date shown on this map.

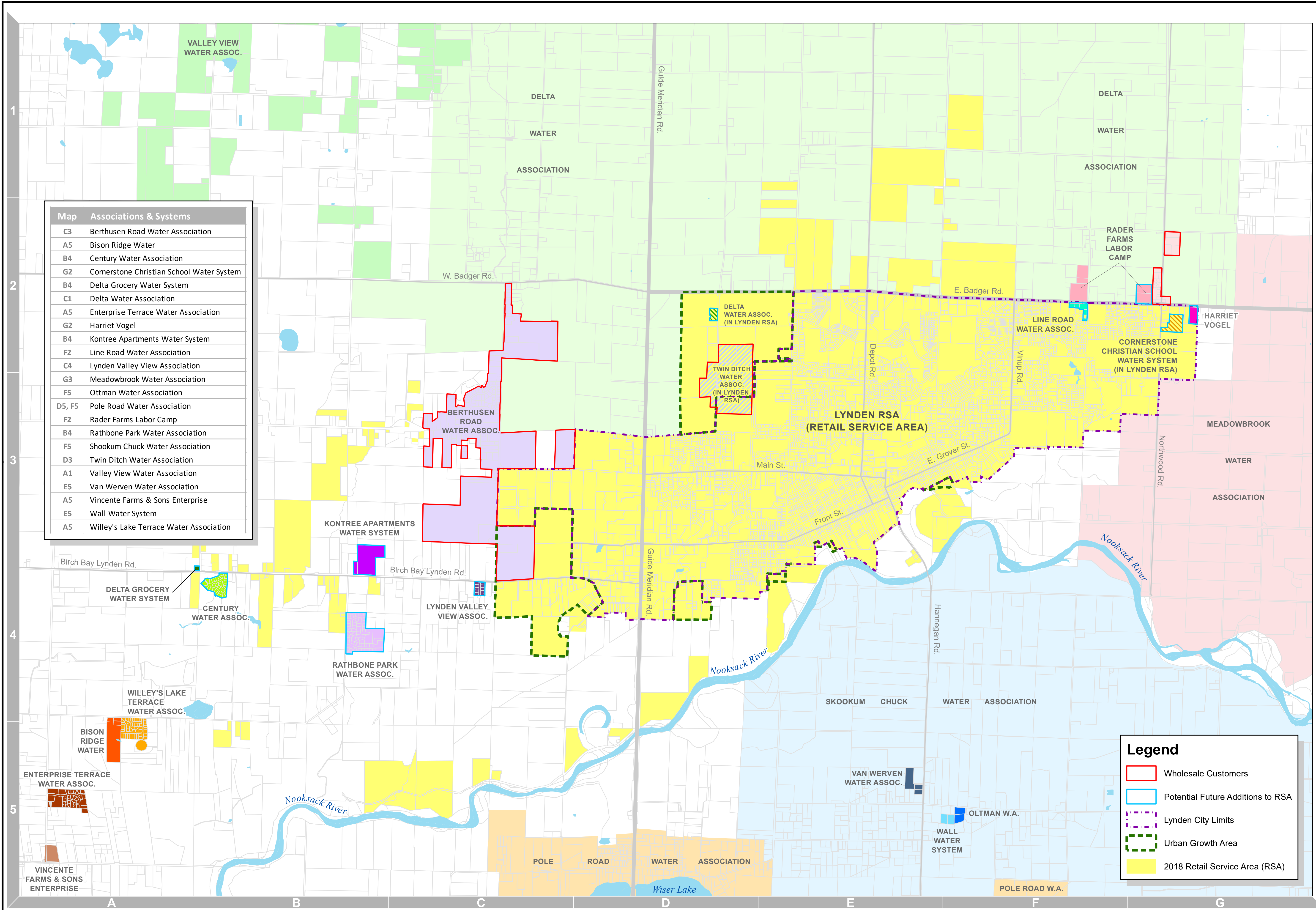
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Vicinity Map



Figure 2-3 Service Area and Adjacent Systems City of Lynden Water System Plan



Map	Associations & Systems
C3	Berthusen Road Water Association
A5	Bison Ridge Water
B4	Century Water Association
G2	Cornerstone Christian School Water System
B4	Delta Grocery Water System
C1	Delta Water Association
A5	Enterprise Terrace Water Association
G2	Harriet Vogel
B4	Kontree Apartments Water System
F2	Line Road Water Association
C4	Lynden Valley View Association
G3	Meadowbrook Water Association
F5	Ottman Water Association
D5, F5	Pole Road Water Association
F2	Rader Farms Labor Camp
B4	Rathbone Park Water Association
F5	Shookum Chuck Water Association
D3	Twin Ditch Water Association
A1	Valley View Water Association
E5	Van Werven Water Association
A5	Vincente Farms & Sons Enterprise
E5	Wall Water System
A5	Wiley's Lake Terrace Water Association

Legend

- Wholesale Customers
- Potential Future Additions to RSA
- Lynden City Limits
- Urban Growth Area
- 2018 Retail Service Area (RSA)

J:\Data\LYN114-131\GIS\maps\Figure 2-3.mxd By:zschremp Plot Date: 8/12/2019 Coordinate System:NAD 1983 StatePlane Washington North FIPS 4601 Feet



1 inch = 1,600 feet
0 800 1,600 3,200 Feet
DRAWING IS FULL SCALE WHEN BAR MEASURES 2"



CITY OF LYNDEN

EXECUTIVE SUMMARY



Meeting Date:	August 19, 2019	
Name of Agenda Item:	Set the Public Hearing to Consider Extension of the Pepin Creek Moratorium	
Section of Agenda:	Consent	
Department:	Planning Department	
Council Committee Review:	Legal Review:	
<input type="checkbox"/> Community Development <input type="checkbox"/> Public Safety <input type="checkbox"/> Finance <input type="checkbox"/> Public Works <input type="checkbox"/> Parks <input type="checkbox"/> Other: _____	<input type="checkbox"/> Yes - Reviewed <input type="checkbox"/> No - Not Reviewed <input checked="" type="checkbox"/> Review Not Required	
Attachments:		
Moratorium Area Map, Ordinance 1513 Establishing the Moratorium		
Summary Statement:		
<p>The Pepin Creek moratorium has been in place since September of 2016. It was established in recognition of significant constraints associated with what is now known as the Pepin Creek Sub-area. The City has undertaken significant efforts to examine these constraints and develop solutions which would allow for growth in this area. Some of these key points are noted below:</p> <p>May 2017 – City initiates a Pepin Creek sub-area study and the drafting of a sub-area plan</p> <p>July 2018 – Value engineering study held to explore alternate creek realignment options.</p> <p>September 2018 - Planning Department releases a draft of the Pepin Creek Sub-Area Plan.</p> <p>December 2018 – City officially amends the Comprehensive Plan and establish the Pepin Creek Sub-area.</p> <p>March 2019 – Adoption of residential design standards in light of future growth within the sub-area.</p> <p>March 2019 – City initiates a Financial Mitigation Study with Berk Consulting to establish the “fair share” contribution of development to the realignment and roadway improvements with the Pepin Creek Subarea</p> <p>June 2019 – Engineering team completes the review and estimation of the Value Engineering scenarios.</p> <p>September 2019 – Engineering team develops phasing plan for the creek realignment project to deduce a preferred scenario</p> <p>It has been determined that the significant infrastructure improvements associated with the creek realignment and the improvement of Benson and Double Ditch Roads must be undertaken in a phased approach. Given this approach, the engineering team and the Public Works department is developing a preferred scenario which is expected to be finalized in September. Subsequently, the financial mitigation study, which began in March, can then be completed as it must correspond closely with a specific plan for creek realignment and a corresponding transportation network.</p> <p>As these final elements are defined and executed, City staff recommends that the moratorium on construction and development within the Pepin Creek area be continued an additional 6 months from the current date of expiration of September 9, 2019.</p>		
Recommended Action:		
Motion to set a public hearing date of September 3, 2019 to consider a 6 month extension the existing moratorium of development on those properties previously identified within the Pepin Creek Sub-area.		

ORDINANCE NO. 1513ORDINANCE ESTABLISHING AN EMERGENCY MORATORIUM ON
SUBDIVISION AND PLANNED RESIDENTIAL DEVELOPMENT APPLICATIONS
AND BUILDING PERMIT APPLICATIONS FOR PROPERTY
LOCATED WITHIN THE PEPIN CREEK PROJECT AREA

WHEREAS, on August 19, 2013, the City of Lynden ("City") adopted the April 2009 Amendment to the January 1992 Stormwater Management Plan identifying the "Pepin Creek" project ("Pepin Creek Project"); and

WHEREAS, the Pepin Creek Project includes the relocation and combination of surface water flows from Double Ditch and Benson Ditch between Badger Road and Main Street into one "new" watercourse known as Pepin Creek; and

WHEREAS, the general vicinity of the Pepin Creek Project has experienced instances of extreme flooding in recent years, causing hundreds of thousands of dollars in property damage, closing and damaging public roads and infrastructure, cutting residents off from emergency access, and damaging agricultural land; and

WHEREAS, the Pepin Creek Project is designed to implement a new drainage pattern to protect public roads and public road infrastructure, substantially reduce flooding, facilitate improved storm water control, and provide the ancillary benefit of natural fish and wildlife habitat; and

WHEREAS, the City has completed acquisition of several properties necessary to accommodate the new Pepin Creek corridor; and

WHEREAS, the City must now undertake numerous complex and detailed planning, funding, design, permitting, construction and other associated issues to complete the Pepin Creek Project ("Pepin Creek Project Issues"); and

WHEREAS, Pepin Creek Project Issues include without limitation:

- corridor design and permitting for the Pepin Creek Project;
- infrastructure and utility location, including for stormwater;
- design and permitting options associated with necessary downstream bank stabilization associated with the Pepin Creek Project;
- equitable allocation of system construction costs; and

WHEREAS, that area of the city believed to be affected by Pepin Creek Issues at this time and for purposes of this Ordinance include without limitation the area shown on Exhibit A ("Pepin Creek Project Area"), which is incorporated herein; and

WHEREAS, Ordinance No. 1509, *An Ordinance of the City of Lynden to provide Annexation to the City of Lynden* adopted on June 6, 2016 ("Ordinance No. 1509"), annexed property in the Pepin Creek Project Area into the City of Lynden; and

WHEREAS, Ordinance No. 1509 included a clause stating that the “City has identified the need for the completion of the Pepin Creek project prior to development” of the property annexed into the City; and

WHEREAS, property development within the Pepin Creek Project Area will likely disrupt the City’s ability to effectively address Pepin Creek Project Issues; and

WHEREAS, to assure that Pepin Creek Project Issues are addressed consistent the objectives of the Pepin Creek Project, and with the public health, safety, and welfare of the community, a moratorium on development in the Pepin Creek Project Area is required to allow for proper planning and implementation of the Pepin Creek Project;

WHEREAS, the foregoing recitals are a material part of this Ordinance;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF LYNDEN DOES ORDAIN as follows:

Section 1. Findings of Fact. The City Council adopts the above “WHEREAS” recitals as findings of fact in support of this Ordinance. The Council may adopt additional findings in the event that additional evidence is presented to the City Council.

Section 2. Moratorium Established. The City shall not accept applications for any new subdivisions (including both short plats and long plats) or for planned residential developments or for new building permits for property located in whole or in part in the Pepin Creek Project Area, as shown on Exhibit A, for a period of sixty (60) days, or until the City adopts a replacement interim ordinance, whichever comes first, pursuant to RCW 36.70A.390 and RCW 35A.63.220.

Section 3. Public Hearing Required. The City Council shall hold a public hearing within sixty (60) days from the date of this ordinance (on or before November 18, 2016) on this or a substitute ordinance that addresses new subdivisions, planned residential developments, building permits and/or related land use development projects in the Pepin Creek Project Area.

Section 4. Emergency Situation. Based on the findings herein, the City Council hereby declares that an emergency exists necessitating that this Ordinance take effect immediately upon passage by a majority vote plus one of the whole membership of the Council as required by RCW 35A.13.190.

Section 5. If the provisions of this Ordinance are found to be inconsistent with other provisions of the Lynden Municipal Code, this Ordinance shall control.

Section 6. Should any section, paragraph, sentence, clause or phrase of this ordinance, or its application to any person or circumstance, be declared unconstitutional or otherwise invalid for any reason, or should any portion of this ordinance be pre-empted by state or federal law or regulation, such decision or pre-emption shall not affect the validity of the remaining portions of this ordinance or its application to other persons or circumstances.

Section 7. This Ordinance shall take effect immediately.

PASSED BY THE CITY COUNCIL OF THE CITY OF LYNDEN, WASHINGTON, AND APPROVED
BY THE MAYOR ON THE 19 DAY OF SEPTEMBER, 2016.



MAYOR

ATTEST:



CITY CLERK

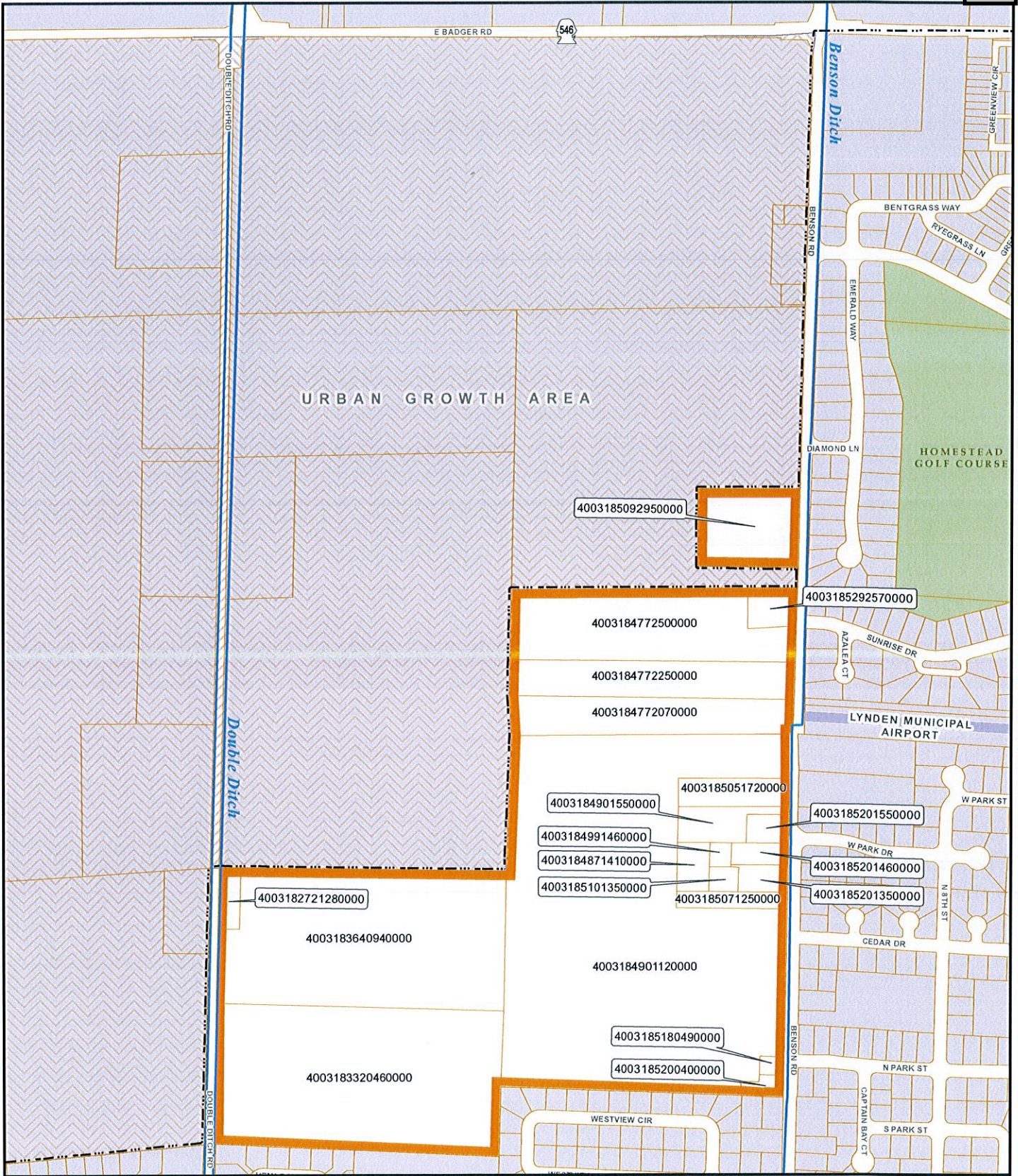
APPROVED AS TO FORM:



CITY ATTORNEY

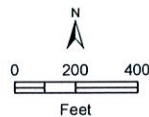
Exhibit A

Properties Located within Pepin Creek Project Area



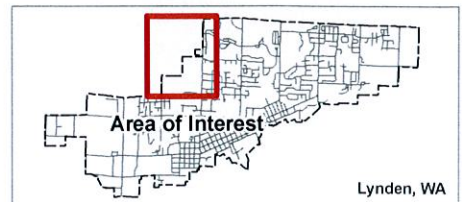
Map Key

-  Properties in Pepin Creek Project Area
-  Property Boundaries
-  City Limit
-  Urban Growth Area (Unincorporated)
-  Waterway



Updated: September 19, 2016

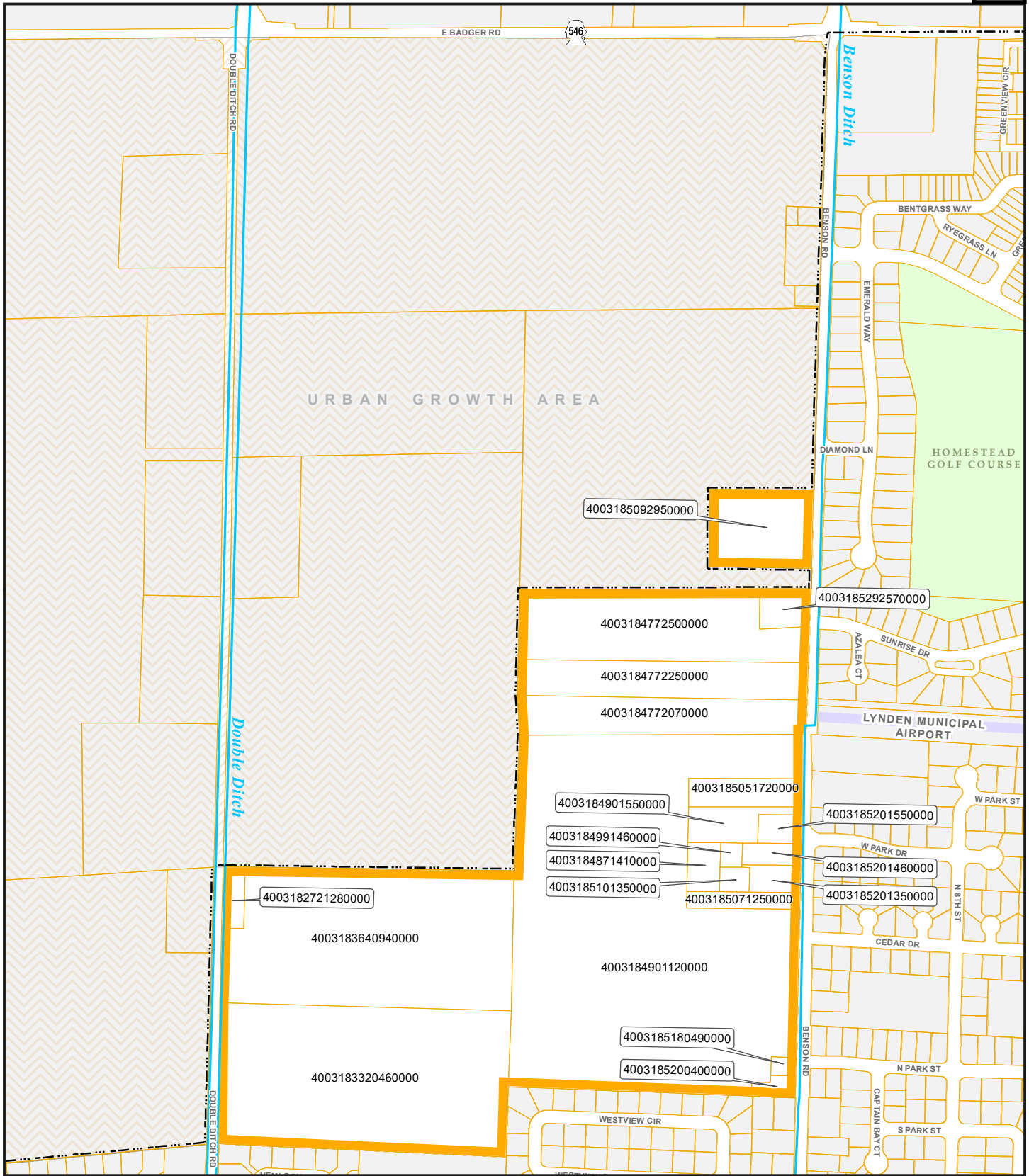
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Lynden, WA

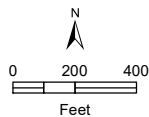
Exhibit A

Properties Located within Pepin Creek Project Area



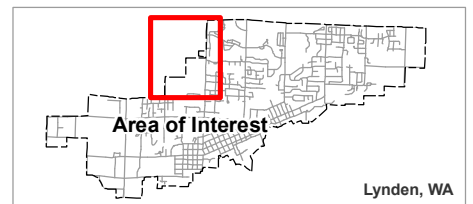
Map Key

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Updated: September 19, 2016

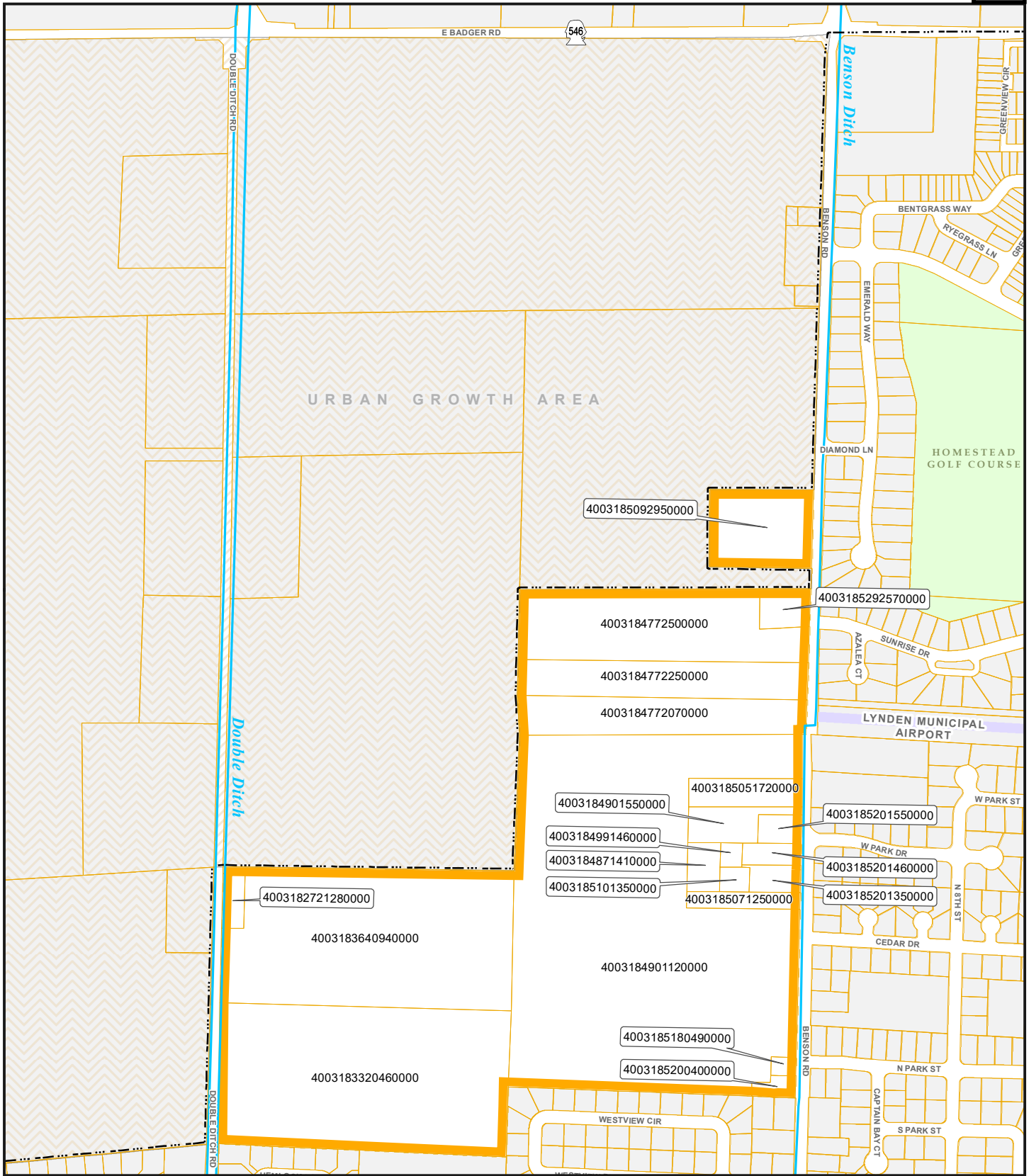
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Lynden, WA

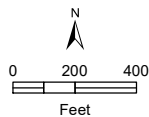
Exhibit A

Properties Located within Pepin Creek Project Area



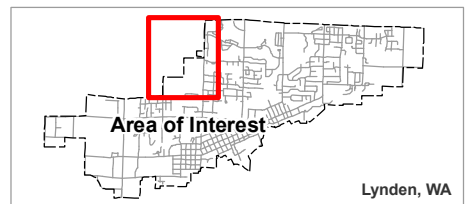
Map Key

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Updated: September 19, 2016

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Lynden, WA

CITY OF LYNDEN

EXECUTIVE SUMMARY



Meeting Date:	August 19, 2019	
Name of Agenda Item:	Final Plat Approval – North Prairie Phase 7, Division 2	
Section of Agenda:	New Business	
Department:	Planning Department	
Council Committee Review:	<input type="checkbox"/> Community Development <input type="checkbox"/> Finance <input type="checkbox"/> Parks	<input type="checkbox"/> Public Safety <input type="checkbox"/> Public Works <input type="checkbox"/> Other: _____
	Legal Review: <input type="checkbox"/> Yes - Reviewed <input type="checkbox"/> No - Not Reviewed <input checked="" type="checkbox"/> Review Not Required	
Attachments:		
Final Plat Drawings, Findings of Fact		
Summary Statement:		
<p>In September of 2017 the City Council granted preliminary plat approval for the long plat known as North Prairie Phase 7, a proposal by Bob Libolt of North Prairie LLC. The long plat is located east of Northwood Road at the intersection of Brome Street. The 93 lot plat is approximately 23 acres and has a single-family zoning of RS-72.</p> <p>On December 17, 2018 the City Council authorized an amendment to the development plan which allowed the 93 lot plat to be split into two divisions. At the same meeting the Council authorized final plat approval Division 1 which is made up of 60 lots.</p> <p>Mr. Libolt is now requesting final plat approval of Division 2. This includes the remaining 33 lots of the North Prairie Phase 7 Long Plat.</p> <p>Staff recommends granting final plat approval based on the following conditions:</p> <ol style="list-style-type: none"> 1. Completion of all punch list items. 2. Submittal and acceptance of required maintenance bonds and any necessary performance bonds. 3. Payment of final inspection fees for plat construction. 4. Submittal of final as-built drawings. 5. Submittal of final plat mylars. 6. Final development fees paid in full. 		
Recommended Action:		
Motion to grant final plat approval of Division 2 of the North Prairie Phase 7 Long Plat subject to the conditions noted above.		

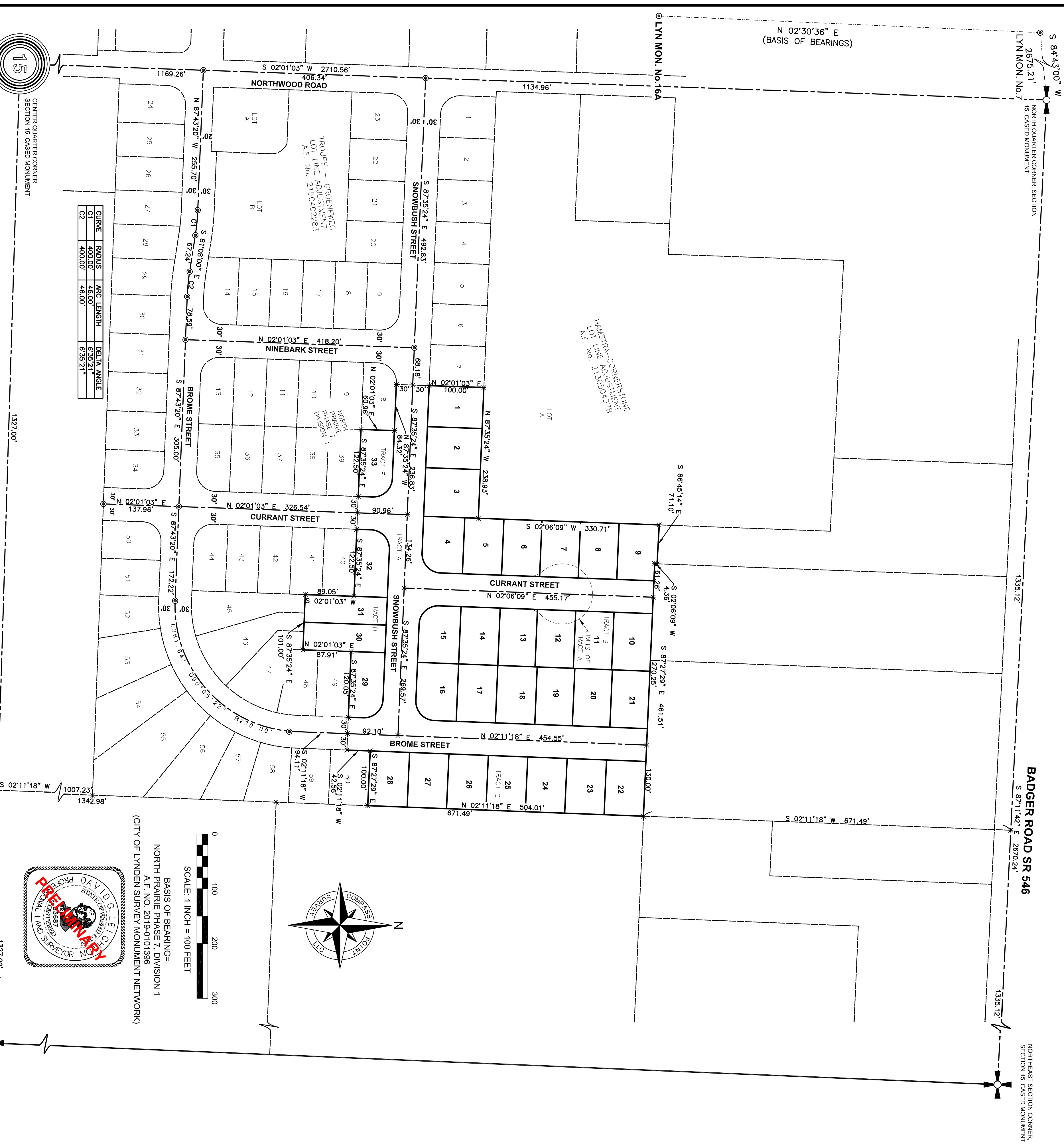
NORTH PRAIRIE PHASE 7, DIVISION 2

WITHIN THE CITY OF LYNDEN, WHATCOM COUNTY, WASHINGTON.

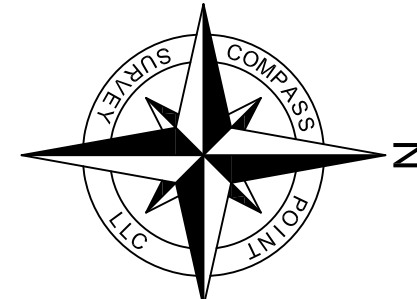
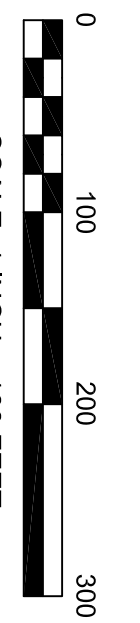
NORTH QUARTER CORNER SECTION
SECTION 15, CASED MONUMENT
LYN MON. No. 7
S 84°43'00" W
2675.21'

BADGER ROAD SR 546
S 87°11'42" E 2670.24'

NORTHEAST SECTION CORNER
SECTION 15, CASED MONUMENT



CURVE	RADIUS	ARC LENGTH	DELTA ANGLE
C1	400.00'	46.00'	6°35'21"
C2	400.00'	46.00'	6°35'21"



BASIS OF BEARING=
NORTH PRAIRIE PHASE 7, DIVISION 1
A.F. NO. 2019-0101396
(CITY OF LYNDEN SURVEY MONUMENT NETWORK)



SHEET: 2 OF 3	DATE: 04/24/18	BY: DA/20/18	REVIEWED BY: DL 8 RL
DRAWN BY: DL 8 JD	DATE: 04/24/18	BY: DA/20/18	REVIEWED BY: DL 8 RL
	PROJECT: 154003-2006	CLIENT: 154003-016	DRAWING: NP PHASE 7 INV 2.DWG

COMPASS POINT SURVEY, LLC
523 FRONT STREET, LYNDEN, WA 98264
PH: 360-354-8320 FAX: 360-354-8321

NORTH PRAIRIE PHASE 7, DIVISION 2

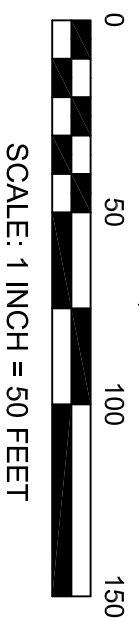
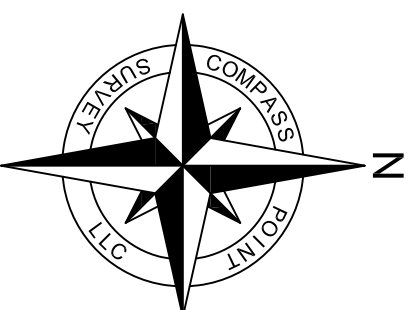
WITHIN THE CITY OF LYNDEN, WHATCOM COUNTY, WASHINGTON.

SURVEYOR'S NOTES:

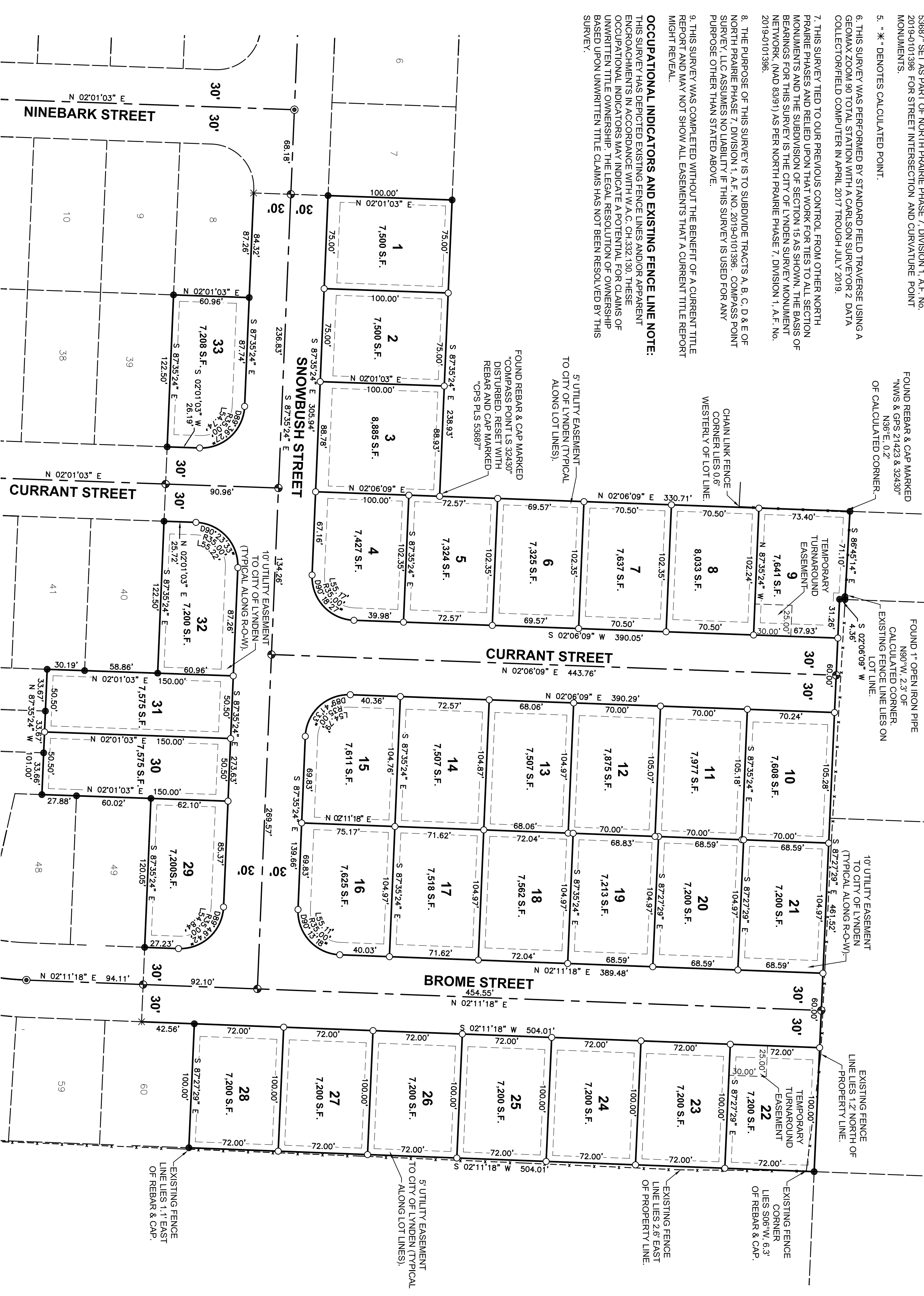
1. "O" DENOTES 5/8 INCH REBAR WITH PLASTIC CAP MARKED "CPS PLS 53687" SET BY THIS SURVEY FOR LOT CORNERS IN JUNE OF 2018.
2. "●" DENOTES FOUND REBAR AND CAP AS PER NORTH PRAIRIE PHASE 7, DIVISION 1 A.F. NO. 2019-0101396 OR AS NOTED.
3. "⊙" DENOTES BRASS DISC IN CONCRETE MARKED "COMPASS POINT PLUS 53687" SET BY THIS SURVEY IN JUNE & JULY OF 2019 FOR STREET INTERSECTION AND CURVATURE POINT MONUMENTS.
4. "⊙" DENOTES BRASS DISC IN CONCRETE MARKED "COMPASS POINT PLUS 53687" SET AS PART OF NORTH PRAIRIE PHASE 7, DIVISION 1, A.F. NO. 2019-0101396 FOR STREET INTERSECTION AND CURVATURE POINT MONUMENTS.
5. "*" DENOTES CALCULATED POINT.
6. THIS SURVEY WAS PERFORMED BY STANDARD FIELD TRAVERSE USING A GEOMAX ZOOM 90 TOTAL STATION WITH A CARLSON SURVEYOR 2 DATA COLLECTOR/FIELD COMPUTER IN APRIL 2017 TROUGH JULY 2019.
7. THIS SURVEY TIED TO OUR PREVIOUS CONTROL FROM OTHER NORTH PRAIRIE PHASES AND RELIED UPON THAT WORK FOR TIES TO ALL SECTION MONUMENTS AND THE SUBDIVISION OF SECTION 15 AS SHOWN. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CITY OF LYNDEN SURVEY MONUMENT NETWORK. (NAD 83/91) AS PER NORTH PRAIRIE PHASE 7, DIVISION 1, A.F. NO. 2019-0101396.
8. THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE TRACTS A, B, C, D & E OF NORTH PRAIRIE PHASE 7, DIVISION 1, A.F. NO. 2019-0101396. COMPASS POINT SURVEY, LLC ASSUMES NO LIABILITY IF THIS SURVEY IS USED FOR ANY PURPOSE OTHER THAN STATED ABOVE.
9. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY NOT SHOW ALL EASEMENTS THAT A CURRENT TITLE REPORT MIGHT REVEAL.

OCCUPATIONAL INDICATORS AND EXISTING FENCE LINE NOTE:

THIS SURVEY HAS DEPICTED EXISTING FENCE LINES AND/OR APPARENT ENCROACHMENTS IN ACCORDANCE WITH W.A.C. CH.332.130. THESE OCCUPATIONAL INDICATORS MAY INDICATE A POTENTIAL FOR CLAIMS OF UNWRITTEN TITLE OWNERSHIP. THE LEGAL RESOLUTION OF OWNERSHIP BASED UPON UNWRITTEN TITLE CLAIMS HAS NOT BEEN RESOLVED BY THIS SURVEY.



BASIS OF BEARINGS= NORTH PRAIRIE PHASE 7, DIVISION 1 A.F. NO. 2019-0101396 (CITY OF LYNDEN SURVEY MONUMENT NETWORK)



SHEET: 3 OF 3	DATE:	REVISIONS:
	04/11/18 04/24/18 07/29/18	154003-2006 154003-06 SOUTHLCRD
DRAWN BY:	REVIEWED BY:	DRAWING:
RL	DL	NP PHASE 7 DIV 2AING



COMPASS POINT SURVEY, LLC
523 FRONT STREET, LYNDEN, WA 98264
PH: 360-354-8320 FAX: 360-354-8321

CITY OF LYNDEN
FINDINGS OF FACT AND CONCLUSIONS OF LAW

REGARDING THE AMENDMENT OF
PRELIMINARY PLAT APPROVAL FOR
Bob Libolt, representative for North
Prairie LLC, TO SUBDIVIDE
PROPERTY

LP #17-04

AMENDED FINDINGS OF FACT,
CONCLUSIONS OF LAW, CONDITIONS
and DECISION on PRELIMINARY PLAT
APPROVAL OF LONG PLAT #17-04

Petitioner

LOTS B, C AND D OF THE HAMSTRA-CORNERSTONE LOT LINE ADJUSTMENT, AS
PER THE MAP THEREOF RECORDED UNDER AUDITOR'S FILE NUMBER
2130504378, IN THE AUDITOR'S OFFICE OF WHATCOM COUNTY, WASHINGTON.

COMMONLY DESCRIBED AS: 8818 Northwood Road, Lynden

North Prairie LLC applied for a subdivision of the above described parcel into 93 residential lots within the RS-72 zone. The Lynden Planning Commission held a public hearing on July 13, 2017 and August 3, 2017, and recommended approval to the City Council through Planning Commission Resolution #17-06. The application came before the Lynden City Council on September 5, 2017 and received preliminary plat approval. On December 5, 2018, the applicant requested an amendment to the preliminary plat approval to allow the plat to be finalized in two phases. Said request, having come before the Lynden City Council on December 17, 2018, and the Lynden City Council having fully and duly considered this discretionary request, hereby makes the following:

I. FINDINGS OF FACT AND CONCLUSIONS OF LAW

1.01 Application. Bob Libolt, on behalf of North Prairie LLC ("Property Owners"), has submitted a request to amend the preliminary plat for a subdivision which was granted preliminary plat approval by the City on September 5, 2017.

1.02 Location. The Property is located at 8818 Northwood Road in Lynden, Whatcom Co., Washington as described above.

1.03 Ownership. North Prairie LLC is the Property Owner.

1.04 Request. To introduce a phasing plan for the prior preliminary plat approval subdividing a parcel approximately 23 acres in size into 93 residential lots all located within the RS-72 zone. Two phases are proposed as division one and two. Division one consisting of 60 lots and division two consisting of 33 lots.

1.05 Reason for Request. To allow for final plat approval in phases due to unusual difficulties in completing the originally approved preliminary plat in light of the extensive off-site sewer infrastructure improvements associated with the preliminary plat approval and other financial issues.

1.06 Conformance with Zoning and Comprehensive Plans. The phasing amendment, proposed subsequent to preliminary plat approval, is not specifically addressed by City zoning ordinances, comprehensive plans, or other applicable City development regulations and falls within the discretionary authority of the City Council. Each phase (division) as conditioned herein, is consistent with City zoning ordinances, comprehensive plans and other applicable City development regulations

1.07 Compliance with General Requirements for Subdivision Approval. The entire long plat, complies with Chapter 18.06 LMC, General Requirements for Subdivision Approval, as applicable.

1.08 Compliance with Lot and Plat Design Standards. The entire long plat, complies with lot and plat design standards as required under Chapter 18.14 LMC as applicable.

1.09 Compliance with Project Manual for Engineering Design and Development Standards. The entire long plat complies with the development standards and requirements set forth in Title 18 LMC and with the Project Manual for Engineering Design and Development Standards.

1.10 Appropriate Provisions for Promoting Health, Safety and General Welfare. The entire long plat makes appropriate provisions for public health, safety and general welfare.

1.11 Open Spaces, Streets, Roads, Sidewalks and Alleys. The entire long plat makes appropriate provisions for public open spaces, roads, streets, sidewalks and alleys.

1.12 Potable Water Supplies, Sanitary Wastes and Drainage Ways. The entire long plat makes appropriate provisions for public drainage ways, potable water supplies and sanitary wastes.

1.13 Public Interest. The entire long plat results in gradual infilling within the City consistent with the City's Comprehensive Plan and the Growth Management Act. The public interest will be served by the approval of the application.

1.14 Critical Area Review. The Critical Area checklist for this project has been submitted with the initial preliminary plat application and requires no further review.

1.15 SEPA Determination. Environmental review of the initial preliminary plat application has been made under the requirements of WAC 197-11 and a mitigated determination of non-significance has been made. The amendment proposes no additional impacts.

The foregoing Findings of Fact and Conclusions of Law are not labeled. Those sections which are most properly considered Findings of Fact are hereby designated as such. Those sections which are most properly considered Conclusions of Law are also designated as such. From the foregoing Findings of Fact and Conclusions of Law, the Council establishes the following conditions:

CONDITIONS

Any approval of the Applicant’s preliminary plat amendment shall be subject to the conditions as listed below:

Phasing Requirements:

1. Right of way dedications to the City of Lynden for the entirety of the long plat must be made prior to the final plat approval of division one. This includes dedications from property not owned by North Prairie LLC. It shall be North Prairie’s responsibility to obtain said dedications in a form approved by the City of Lynden from the owners of lots A and B of the TK Williams Short Plat. Improvements to division two right-of-ways will not be accepted by the City until completed to standard.
2. Emergency access must be provided to extend Snowbush Street to the dead-end stubs of Currant Street and Brome Street. Access shall be 24 feet in width with a minimum of 20 feet hardened surface capable of supporting fire apparatus. Said emergency access shall be available for use until final plat approval for division 2. In the event an alternate emergency access is necessary, North Prairie may seek approval from the City of Lynden for an alternate emergency access. Access to the general public must be restricted by a method approved by the City of Lynden Fire Department such as fencing, blockade, or bollards. Emergency access to be noted on the face of the division one plat.
3. Fire hydrant locations must be located to provide full coverage to all lots within division one and division two. Locations to be approved by the Fire Department prior to final plat approval of division one and division two.
4. Vehicle turn around area, consistent with the dimensions of the City of Lynden Engineering Design and Development Standard for temporary hammer head (Figure 4-12) and easement to the City for said hammer head, must be provided at the end of Snowbush Street and Brome Street and noted on the division one plat drawings. Turn around areas and easements shall be removed upon completion of division two.
5. Provide additional road name for north/south portion of most easterly road. This street may not continue as Brome as noted in the original TRC Report. See also Public Works comments below.
6. Water lines required herein must be dedicated to the City prior to final plat approval for Division One.
7. Staff understands that Division One lots will be numbered 1-60. Division Two lots will be numbered 1-33.
8. Applicant must obtain signatures from all property owners for final plat approval for Division one.

Standard Requirements:

The following requirements are standard for all development projects.

9. The construction drawings for any improvements in each of the two phases will be submitted for review and approval prior to construction. These drawing must illustrate that the utility improvements and extensions meet the standards listed within the Project Manual for Engineering Design and Development Standards (EDDS), unless they have been specifically varied by the approval of the plat. It is the project engineer's responsibility to be aware of these standards.
10. There is a review deposit of \$200 per lot, \$2,000 minimum, to review the civil construction plans and a plat construction inspection deposit of \$350 per lot, \$5,000 minimum, due prior to review and construction respectively.
11. A post construction maintenance bond in the amount of 10% of the construction costs will be required prior to final plat approval of each of the two divisions.
12. A 150% performance bond is required for all work in the City's right-of-way or on city owned property, except for work in those City rights of way being dedicated to the City at the time of final plat approval for Division one for completion of Division two improvements.
13. All surveying work and engineering design must be based on the City of Lynden survey control monuments. AutoCAD files for all improvements must be provided to the City in digital format approved by the City. A copy of the City's control monuments is available to the project consultant for their use.
14. Petitioner shall record the final subdivision with the County in conformance with LMC 18.06.010.2, 18.06.020 and 18.06.030 within five (5) years from September 5, 2017, after which City approval of this application shall become void; provided that, this one-year deadline may be extended for up to one (1) additional year upon application to and approval by the City Council.
15. All addressing must follow the requirements of the Lynden Municipal Code.
16. Transportation impact fees plus half of the fire and park impact fees for each phase are due prior to final plat approval of said Division. Calculation of those fees will be done at the time the applicant submits final check prints and lot closures in accordance with the municipal code. Credit may be granted for offsite roadway improvements made to Northwood Road.
17. North Prairie LLC will obtain and maintain in force at least the following minimum insurance coverages covering all construction activity taking place within the City of Lynden right of way, and as to which the City of Lynden shall be named as additional insured (with any endorsement required by the policy): Worker's Compensation: Statutory Amount; Broad Form Comprehensive General Liability: \$1,000,000 per occurrence \$2,000,000 aggregate; Automobile Liability: \$1,000,000. Said insurance shall be primary and noncontributory with any other insurance for which the City is a

named insured. All insurance coverages required under this License shall include a waiver of subrogation against the City for losses arising from work performed by or for North Prairie LLC. An insurance certificate showing the coverage required under this section will be submitted to the City for approval at least annually. Said policy shall not be cancelled or modified without 30 days written notice to City prior to any cancellations or modifications.

Specific Project Comments from the Technical Review Committee:

Planning and Development

18. *Plat Drawings:* Applicant to provide a draft of all Division 1 and Division 2 plat pages including proposed notes and restrictions prior to final plat approval for each phase.
19. *Housing Types:* The area to be developed in this application is located within a Single Family Residential zone (RS-72). As part of the RS-72 zone, only single family units are permitted on lots with a minimum of 7200 square feet and up subject to the development requirements listed under 19.15.060 and 19.15.070 of the Lynden Municipal Code.
20. *Minimum Lot Size:* The lots proposed in this subdivision meet the minimum lot size requirements with parcels that range from 7200 square feet to 20,313 square feet. Per Section 19.15.060, lot coverage shall not exceed 35% for each lot.
21. *Lot width:* Per 18.14.010, the minimum frontage of each lot must be at least 50 feet. Lots on a cul-de-sac require a minimum frontage of 40 feet but meeting a 50 width at the front setback line. Please demonstrate minimum frontage on lots at the north end of Currant Street or revise as needed.
22. *Utility Easements:* Per 18.14.075, a 5-foot utility easement is required around the interior property line of all lots.
23. *Plat Circulation System:* Per 18.14.100(C), a maximum of one lot per 25 lots, or portion thereof, can be accessed via access easement rather than public right-of-way. Four lots accessed via easements at the north end of D Street (as named in the original preliminary plat map accompanying the original application), as permitted per code. This ratio is calculated on the whole of the North Prairie Phase 7 Long Plat rather than each Division.
24. *Parking:* Per Chapter 19.51.040 of the LMC, a minimum of 2 parking stalls is required per unit. It is important to note that if an enclosed single car garage is provided per dwelling unit, a minimum of two outside spaces must be provided. If an enclosed garage for two or more vehicles is provided, a minimum of one outside parking space must be provided.
25. *Street Trees:* Be advised, per Section 18.14.120, the developer will be required to provide street trees within the dedicated public utility easement adjacent to the street, preferably between the curb and the sidewalk.

- a. There shall be a minimum of one tree per lot with a maximum of one hundred feet between trees.
 - b. Street trees shall not be located within 35-feet of any corner / intersection.
 - c. Maintenance of street trees shall be the responsibility of the adjoining property owner.
26. *Resolution of Encroachments:* Any fence or building encroachments within proposed rights-of-way must be removed prior to dedication to the City of Lynden and final plat approval. This is especially relevant to the south end of Ninebark Street right-of-way and Brome Street right-of-way.
27. *Archaeological Resources:* Compliance with all applicable laws pertaining to archaeological resources is required. Should archaeological materials (e.g. shell midden, faunal remains, stone tools) or human remains be observed during project activities, all work in the immediate vicinity shall stop, and the area shall be secured. The contractor/owner shall contact the state Office of Archaeology and Historic Preservation (OAHP) at 360-586-3065, the Lummi Nation Tribal Historic Preservation Office (LNTHPO) at 360-384-2298, and the Nooksack Tribe at 360-592-9065 in order to help assess the situation and determine how to preserve the resource(s). In the event that the find includes human remains the Lynden Police Department shall be called immediately at 360-354-2828. Regarding human remains, the LNTHPO will contact the appropriate tribal repatriation specialists.

Public Works

- 1. All public improvements for each phase must be constructed to the current standards as noted in the City of Lynden Manual for Engineering Design and Development Standards prior to final plat approval. Bonding for improvements may be permitted consistent with LMC 18.18.010(G).
- 2. Proponent must obtain all necessary permits prior to construction.
- 3. All addressing must follow the requirements of the Lynden Municipal Code. This may require the existing home to change as well.
- 4. Streets
 - a. The eastern most north-south road may not continue as Brome Street. Road will need to be renamed prior to final plat of phase one.
 - b. There is no vehicular access permitted to Northwood Road from Division One lots 1, 23, and 24.

- c. Access to A (Snowbush) Street for Division One lots 1 and 23 shall be a minimum of 50-feet back from Northwood Road.
 - d. Access to Division One lot 24 onto Brome Street shall be a minimum of 50-feet from Northwood Road.
 - e. The southern end of B (Ninebark) Street may need easements from parcel to the south in order to build street. If this is necessary, easements must be transferred to the City of Lynden.
5. The property owners of Lots A and B of the TK Williams Short Plat must work with property owner of this proposed long plat to demonstrate compliance with the existing short plat conditions as filed under Whatcom County Auditors File Number 2101103668.
 6. A 10-foot utility easement is required on all lots adjacent to street right-of-way.
 7. Proponent shall verify and/or obtain City standard right-of-way from lots at the northeast corner of Northwood Road and Brome Street.
 8. Utilities in Northwood Road must be installed along the full frontage of the property as required per City standards.
 9. Stormwater
 - a. A stormwater management plan prepared by a professional engineer will be required for this development and must be approved by the City of Lynden prior to approval of construction plans. An erosion control plan must be included in the drainage plan and construction plans as necessary.
 - b. All plans must be designed and constructed in compliance with the Department of Ecology's Best Management Practices and the standards approved in the Manual for Engineering Design and Development Standards.
 - c. Stormwater from public streets may be infiltrated within the dedicated right-of-way, or within a separate dedicated tract, but may not be within the street prism. Infiltration areas and street trees should have adequate separation to insure the proper functioning of the drainage system and survival of the tree.
 - d. A Construction National Pollutant Discharge Elimination System (NPDES) permit may be needed.
 10. Water
 - a. As per 6.2 (M) of the City of Lynden Project Manual for Engineering Design and Development Standards, the water mainline must be extended to the furthest property line of the proposed plat phase.

- b. An 8-inch water line must be looped through plat, Brome Street and A (Snowbush) Street unless pressure issues require a 12-inch line.
- c. Each house and/or unit within this plat must be individually metered. Water meters must be located within the City right-of-way.
- d. Air-vac is required per industry standard.

11. Sanitary Sewer

- a. Sanitary sewer and water system design and construction must meet the requirements of the City of Lynden Engineering Design and Development Standards.
- b. As per 7.2 (P) of the City of Lynden Project Manual for Engineering Design and Development Standards, sanitary sewer must be extended to the furthest property line of the proposed plat.
- c. Proponent will need to extend sanitary sewer from existing termination at east end of the Ridge at Lynden Long Plat. No final plat approval will be granted until this extension is completed.
- d. All city standard 20-foot sewer easements shall be obtained and transferred to the City of Lynden prior to project acceptance.
- e. Access roads must match easement width.
- f. All peat soils to be removed to support sewer and line and full access width.

Fire and Life Safety

- 12. The installation of a fire hydrants subject to Fire's review, but potentially at the following locations:
 - At the end of the cul-de-sac on the proposed D Street (as named in the original preliminary plat map accompanying the original application).
 - At the entrance of Northwood Road and the proposed A Street (Snowbush Street) on the south side.
 - At the entrance to Northwood Road and Brome Street on the south side.
 - In front of the lot at the north corner of the intersection of Snowbush Street and the most easterly north/south street.
- 13. At the conclusion of Division Two, lot 22 at the end of the most easterly north/south street, provides an easement for a hammer head to provide adequate fire truck turnaround until property north of the North Prairie Long Plat provides emergency access and turn around.

Parks and Recreation

- 14. No additional comments.

II. DECISION

Petitioner’s application to amend the preliminary plat approval of the North Prairie Phase 7 long plat described herein into a 60 lot phase one and a 33 lot phase two for future development is hereby **Preliminarily Approved** and otherwise consistent with Planning Commission Resolution #17-06 and subject to the conditions set forth in this document. This Amended Findings of Fact, Conclusions of Law, Conditions and Decision on Preliminary Plat Approval of Long Plat #17-04, replaces the City’s prior decision for the plat.

DATED: _____

Scott Korthuis
Mayor

CITY OF LYNDEN

EXECUTIVE SUMMARY



Meeting Date:	August 19, 2019	
Name of Agenda Item:		
Section of Agenda:	Other Business	
Department:	Parks	
Council Committee Review:	<input type="checkbox"/> Community Development <input type="checkbox"/> Finance <input checked="" type="checkbox"/> Parks	<input type="checkbox"/> Public Safety <input type="checkbox"/> Public Works <input type="checkbox"/> Other: _____
	Legal Review: <input type="checkbox"/> Yes - Reviewed <input type="checkbox"/> No - Not Reviewed <input checked="" type="checkbox"/> Review Not Required	
Attachments:		
	Draft Parks Committee Minutes July 15, 2019	
Summary Statement:		
	See Next Page	
Recommended Action:		
	For Council Review	



PARKS COMMITTEE MINUTES

July 15, 2019

1. Roll Call:

Members Present: Ron De Valois, Mark Wohlrab, Nick Laninga

Staff Present: Mayor Korthuis, Mike Martin, Vern Meenderinck, Nancy Norris

Others Present: Tim Faber, Kevin Rus

2. Action Items

A. **Approval of minutes from June 17, 2019**

DeValois motioned to approve the minutes, Laninga seconded the motion.

Action: The minutes from June 15, 2019, were approved.

B. **Rotary Boulder Park**

Confirmed the amount the City will contribute to the Rotary project between \$30,000-\$40,000.

The Rotary is looking at a budget around \$250,000/260,000, if they do the rocks/bb courts/pickle ball courts/and sand volleyball.

So far, have \$119,600 dedicated cash, will use an additional \$45,000 from Rotary General budget, \$20,000 from carry over from last year's budget, materials & account credits of \$20,000+=total of Approx. \$205,000, plus contribution from City and further requests for donations will continue.

Action: Parks Committee approved contributing \$30,000-\$40,000 for this project.

C. **Benson Park planning, approve use of funds budgeted to hire an architect to draw up plans for the initial 20-acre park.**

Action: Parks Committee approved the budgeted funds for development of Benson Park to hire an architect to design a park plan.

D. **What should be the path forward on YMCA repair/additions/rebuild**

Tim Faber shared the proposed plan to renovate the existing YMCA.

The estimated cost is approx. \$8million. A new YMCA building at a different location would cost approximately \$30million.

The Parks Committee reviewed the Park and Trail survey's questions and responses regarding the YMCA. After further discussion the recommendation is to form a Citizens Committee to get the ball rolling on developing a new YMCA or renovating the existing YMCA.

Action: Mayor Korthuis will contact the Lynden Representative YMCA Board Member Shane Vander Giessen to assist in forming a Citizen Committee to renovate or build a new YMCA for Lynden.



3. Information Items

A. **Request/ideas on installing a bike dirt jump/pump track-**

Kevin Rus proposed to the Parks Committee installing a bike dirt track and or a bike pump track. Kevin shared the approximate cost/funding options and design. Parks committee liked the idea of offering more recreational activities within the City Parks.

Kevin will meet with Vern to look into possible locations that might work for either tracks.

B. **Dickenson Property/House**

Discussion on what to do with the House on Dickenson property Parks Committee discussed using the house for an Interpretive Center or short term rental.

Details have not been completed with Dept. of Ecology conditions for use of the property.

C. **Glenning street property**

Lacrosse questions and ideas. Lacrosse submitted a plan for the Glenning St property and proposal to sign a long term lease of the Glenning St, property. If Lacrosse makes the improvements with two (2) light turf lacrosse fields basketball courts and an open air amphitheater for summer and non-lacrosse use.

Parks Committee was impressed with the proposal from Lacrosse; they have concerns of having lighted fields in a residential area. Parks Committee suggested possibly including lighted turf lacrosse fields and an open air amphitheater at Benson Park.

D. **Park identification signs at smaller parks? Patterson, Greenfield, Northwood/Lynden Jim**

Parks Committee would like Park identifications signs at all Parks

4. Items Added

A. **Fire Hydrant Spray Day at Glenning**

Mark Wohlrab proposed the City offer a Hydrant Spray Day at the Glenning St. property once the City takes ownership of it.

Mr. Wohlrab explained with the pool being closed, it would be a fun way to cool off on a hot summer day. Wohlrab said the communities who offer this type of event, receive lots of accolades and it's a way to promote the City and It might be a way to inform the voters of the upcoming Park and Rec District bond.

The Mayor and Parks Committee asked Mark to get details of how other cities/community's facilitate this type of event.

Next meeting: August 19, 2019

Meeting Adjourned 5:32pm.

CITY OF LYNDEN

EXECUTIVE SUMMARY



Meeting Date:	August 19, 2019	
Name of Agenda Item:	Public Safety Minutes- July 11, 2019	
Section of Agenda:	Other Business	
Department:	Police	
Council Committee Review:	<input type="checkbox"/> Community Development <input type="checkbox"/> Finance <input type="checkbox"/> Parks	<input checked="" type="checkbox"/> Public Safety <input type="checkbox"/> Public Works <input type="checkbox"/> Other: _____
		Legal Review: <input type="checkbox"/> Yes - Reviewed <input type="checkbox"/> No - Not Reviewed <input checked="" type="checkbox"/> Review Not Required
Attachments:	Public Safety Minutes- July 11, 2019	
Summary Statement:	Public Safety Minutes- July 11, 2019 attached for review	
Recommended Action:	For Council review.	



PUBLIC SAFETY COMMITTEE MEETING MINUTES

4:00 PM July 11, 2019

Police Department Training Room

COMMITTEE

1. ROLL CALL

Members present: Councilors Brent Lenssen (chair), Gary Bode, Mark Wohlrab, Mayor Scott Korthuis

Staff present: Chief Mark Billmire, Chief Michael Knapp, Sergeant Russ Martin, City Administrator Mike Martin, Support Services Manager Holly Vega

2. ACTION ITEMS: None.

3. INFORMATION ITEMS:

A. Public Defender contract amendment

A contract amendment for Public Defender services was reviewed and recommended for Council approval on July 15, 2019.

B. Lynden Watch update

Councilor Wohlrab provided an update on the Lynden Watch program and website. There is a block contact meeting tonight, July 11, 2019, and there will be a booth present at the Raspberry Festival.

4. ITEMS ADDED:

A. Shared Leave Resolution for Police Officer

Mike Martin presented a resolution to allow a one-time shared vacation leave for an officer who has been deployed for military service. The Committee recommends the resolution be approved by Council on July 15, 2019.

FIRE DEPARTMENT

1. ACTION ITEMS: None.

2. INFORMATION ITEMS:

A. Monthly report

Chief Billmire overviewed the monthly report for June noting a drop in Auto Aid and Mutual Aid. Volunteer and overtime hours were both up due to summer vacation coverage. The temporary fulltime position ends in August, which will likely increase overtime hours as well. There was a recent garage fire, which caused significant damage to the residence. All 5 people got out safely and the crew did an outstanding job.

B. Draft MOU amendment for Lieutenants

A draft Memorandum of Understanding to extend the title change and rate increase from Fire Lieutenants to Fire Captains was reviewed and recommended for Council approval on July 15, 2019.

POLICE DEPARTMENT

1. ACTION ITEMS: None.

2. INFORMATION ITEMS:

A. Chief Knapp's recap of first 2 weeks

Chief Knapp noted a few observations in his first few weeks with the City. He recommends and is proceeding with various internal audits to increase the efficiency of the Police Department. The vehicle fleet is not adequate and needs to be rectified as soon as possible. One vehicle has a damaged transmission, too costly to repair, and there is no backup fleet at all. Chief Knapp also feels the current manpower is inadequate to fill the needs of the shift power. The facility is not necessarily designed for a police department and needs a bit of restructuring to better utilize the space.

B. Monthly report

The monthly report was provided in a slightly different format, identifying the 'Top 10' crimes that most affect citizens' safety and security.

3. ITEMS ADDED:

A. Loaned Executive Management Assistance Program (LEMAP)

LEMAP, organized by Washington Association of Sheriff's & Police Chiefs, is an operational review that includes evaluation and recommendations to bring the Police Department up to published, industry standards. Chief Knapp advised it is an invaluable program and requests Council approval of the agreement on July 15, 2019. The Public Safety Committee recommends approval.

B. Fourth of July Fireworks

Sgt. Martin advised it was a good holiday overall, and no fireworks were confiscated.

C. Northwest Washington Fair Planning

Lt. Bos has met with NWWF management. Whatcom County Sheriff's Office will be involved as well.

Meeting adjourned at 4:50 p.m.

Next Meeting Date: August 1, 2019

CITY OF LYNDEN

EXECUTIVE SUMMARY



Meeting Date:	8/19/2019	Legal Review: <input type="checkbox"/> Yes - Reviewed <input type="checkbox"/> No - Not Reviewed <input checked="" type="checkbox"/> Review Not Required
Department:	Public Works	
Contact Name/Phone:	Laura Burford / 360-354-3446	
Council Committee Review:		
<input type="checkbox"/> Community Development	<input type="checkbox"/> Public Safety	
<input type="checkbox"/> Finance	<input checked="" type="checkbox"/> Public Works	
<input type="checkbox"/> Parks	<input type="checkbox"/> Other: _____	
Attachments:		
August 7, 2019 Draft Public Works Committee Meeting Minutes		
Name of Agenda Item:		
Draft Public Works Committee Meeting Minutes – August 7, 2019		
Summary Statement:		
Draft minutes for the August 7, 2019 Public Works Committee meeting		
Recommended Action:		
For Review		



PUBLIC WORKS COMMITTEE MINUTES

4:15 PM August 7, 2019

City Hall 2nd Floor Large Conference Room

1. ROLL CALL

Members Present: Councilors Gary Bode, Ron DeValois and Jerry Kuiken

Staff Present: City Administrator Mike Martin, Public Works Director Steve Banham; Programs Manager Mark Sandal; and Administrative Assistant Lori Jilk

Public Present: Michelle Campbell and Zach Schrempp RH2 Engineering
Stan Stuurmans
Jim Frey, Lynden School District

2. ACTION ITEMS

A. Approve Minutes of July 10, 2019

The minutes for July 10, 2019 were approved as submitted.

B. Request to send Bid Recommendation for 7th Street Revitalization Project Directly to City Council September 3rd if Responsive / Responsible, In Range of Engineer's Estimate and Upon TIB Approval. Bid Opening August 15th

Banham stated that bids for this project are scheduled to be opened August 15 and asked the Council for permission to send the bid recommendation straight to City Council so as not to delay the project start and because TIB approval is needed prior to award. Banham noted that the bid tabulation would be sent to the Committee to review ahead of time.

Action

The Public Works Committee concurred to recommend that the bid recommendation be sent directly to the September 3rd City Council meeting for approval if they are responsive, reasonable, within budget, and upon TIB approval.

C. Lynden School District Request to Install Parking on North Side of Main Street at Old Middle School 516 Main Street. Currently parking is not allowed in this area so City Code would need an update. This is also going to Safety Committee.

Banham presented a letter from Jim Frey, Superintendent with the Lynden School District explaining that, with repurposing the old middle school facilities they are adding early childhood classrooms as well as the district offices at this location. Part of the planning includes a bus loop and parent drop off next to the school along Main Street. In conjunction with the loop drop off, the school district would like to add 8 parking stalls on Main Street, which is necessitating the parking allowance. Currently parking is not allowed along the sidewalk next to the school as previously that would have created unsafe circumstances.

Banham noted that in order to allow parking at this location, a code change would be needed to Section 10.08.100.

Action

The Public Works Committee concurred and directed staff to update Chapter 10.08.100 of the Code to allow for parking in this area of the school and forward to the full City Council for approval.

D. Final Review of Septic to Sewer Ordinance Before Sending to Full City Council as Directed at the July 19th Public Works Committee Meeting

Banham presented the latest updates to the draft ordinance amending Chapter 13.12 – Septic to Sewer Ordinance. The intent is to preserve the residential waiver of sewer connection fees; but adds conditions for non-single-family septic to sewer conversions. As larger parcels and uses want to connect under the waiver, the City needs to consider service to adjacent properties and might require a utility easement as a condition of the waiver.

Action

The Public Works Committee concurred to recommend approval of the Septic to Sewer Ordinance amending Chapter 13.12 and directed staff to forward this to the full City Council.

E. Water System Plan Update – RH2 Presentation – Recommendation to Submit to DOH; Public Meeting May Be Required

RH2 Engineering has been working with staff to finalize the update to the City's Water System Plan (WSP) and it is now ready for resubmittal to the Washington State Department of Health (DOH), Department of Ecology (DOE), Whatcom County Planning (County), and Whatcom County Health Department (HD) for final approval.

Banham presented an updated map of the Service Area and Adjacent Water Systems. As part of their review, Whatcom County required that the City hold a meeting to hear any public comment on Service Area Map

changes before including the service area map revision in the County's Coordinated Water System Plan.

At the request of the Department of Health the City has committed to provide water to adjoining water associations with nitrate contamination, should the City first obtain sufficient water rights. These associations are shown on the map as "Potential Future Additions" to the Retail Service Area (RSA).

The Committee also discussed Rader Farm's possible nitrate contamination and concurred that this area should be added to the City's service area map along with the other associations considered as Potential Future Additions.

Action

The Public Works Committee concurred and directed staff to forward the updated service area map, including Rader Farms property, to City Council to set a public hearing date of September 3, 2019 to hear comments.

F. Stan Stuurmans Boundary Line Agreement Request

Stan Stuurmans presented a map showing where he would like to see a boundary line adjustment with his and the City's property. He outlined what he would like to do with this property (approximately 30,000 feet) and that he is interested in purchasing this property from the City. This was the process previously used for him to acquire 1,500 square feet of land from the City near the same area.

The Committee discussed that this property might need to be used for future expansion of the West Lynden Stormwater Detention Pond.

Action

The Public Works Committee concurred that they are not interested in selling this City property at this time, as doing so would put the City further out of compliance with County code.

3. INFORMATION ITEMS:

A. Hiring a Structural Engineer to Check City Facilities Seismic Readiness per FEMA

Banham stated that the City would like to retain the services of a structural engineer to do a rapid visual assessment of the City's buildings per FEMA seismic guidelines.

This will let staff know the condition of the buildings and will help establish repair priorities and identify what funding might be needed for future budgets.

B. Northwood Road Speed Study

Banham submitted speed statistics for Northwood Road going south and going north for the Committee's review.

C. Two Diseased Pin Oak Removals on Front Street at 11th and 15th Streets Arborist to Evaluate Other Pin Oaks and Provide Report

Banham stated that the two diseased trees will be removed August 21, 22 and 23rd and road closure notices will be sent out. The City is also hiring an arborist to check on the condition of the other Pin Oaks.

D. Projects:

1. Pepin Creek Ditch (Phase 1 Upstream) – This is the emergency intercept ditch (FHWA-ER funded). The schedule was presented. Bid opening Sept 5th with City Council approval on Sept 16th.
2. Old Elevated Water Tank (Old Middle School Property) Soil Remediation – Small Works Roster Project – No Bids Received – In Process of Negotiations with Four Contractors
3. “Pepin Parkway” Arterial Connector – Benson to Double Ditch

Banham presented a concept exhibit of an arterial parkway from Benson Road to Pine Street / Double Ditch Road. This would reduce the number of bridge crossings and reduce the infrastructure cost in this subarea. Analysis by WCOG shows that there would be sufficient roadway capacity with the single arterial route. The Committee had no issues with the concept.

4. Old Devine Property Groundwater and Soil Investigation – Whatcom Environmental; Approximately \$20,000

Sandal explained that this work is being done to investigate the groundwater on the old Devine property to see if it may be a source of arsenic plume in the area. The Committee concurred this is needed.

5. 17th Street Project Update

Banham stated that the design team is reviewing pedestrian improvements and traffic calming as discussed during the vacation hearing. The additional design efforts have pushed out the construction contract award to the end of the year so most of the construction will occur next year.

6. Darigold Stormwater

Design is being finalized and bids will be solicited the end of the month.

7. Line Road Pedestrian Safety Improvements – SEPA Submitted

The meeting was adjourned at 6:05 pm

CITY OF LYNDEN

EXECUTIVE SUMMARY



Meeting Date:	August 19, 2019	
Name of Agenda Item:	Calendar	
Section of Agenda:	Other Business	
Department:	Administration	
Council Committee Review:	<input type="checkbox"/> Community Development <input type="checkbox"/> Finance <input type="checkbox"/> Parks	<input type="checkbox"/> Public Safety <input type="checkbox"/> Public Works <input type="checkbox"/> Other: N/A
		Legal Review: <input type="checkbox"/> Yes - Reviewed <input type="checkbox"/> No - Not Reviewed <input checked="" type="checkbox"/> Review Not Required
Attachments:	Outlook Calendar	
Summary Statement:	See next page.	
Recommended Action:	None	

August 19, 2019

Monday

3:00 PM - 4:00 PM

Finance Committee Meeting -- City Hall 1st Floor Large Conference Room
Visit WWW.LYNDENWA.ORG to view the agenda

4:00 PM - 5:00 PM

Parks Committee -- City Hall 1st Floor Large Conference Room
This Meeting has been moved to Tuesday August 20, 2019, 4pm at City Hall 1st Floor Large Conference Room

7:00 PM - 9:00 PM

Copy: Council Meeting -- Annex Council Chamber; Annex East Training Room; Annex North East Conference Room; Annex South East Conference Room

August 20, 2019

Tuesday

9:00 AM - 11:00 AM

Small Cities Caucus -- City Hall 1st Floor Large Conference Room

4:00 PM - 5:00 PM

Parks Committee Meeting -- City Hall 1st Floor Small Conference Room

5:00 PM - 6:30 PM

Design Review Board -- Annex Council Chamber

August 21, 2019

Wednesday

9:00 AM - 5:00 PM

Court -- Annex Council Chamber; Annex East Training Room; Annex North East Conference Room; Annex South East Conference Room

2:00 PM - 3:30 PM

Wellness Committee Meetings -- City Hall 1st Floor Large Conference Room
Please forward as needed.
Thanks.

Pam

4:00 PM - 6:00 PM

Community Development Committee -- City Hall 2nd Floor Large Conference Room

5:00 PM - 6:30 PM

Board of Adjustment Meeting -- Annex South East Conference Room

August 21, 2019 Continued

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Wednesday

7:00 PM - 8:30 PM

Board of Adjustment -- City Hall 2nd Floor Large Conference Room

August 23, 2019

Friday

10:00 AM - 11:00 AM

Check-In Steve/Mike -- Mike's Office

11:00 AM - 12:00 PM

Check0In Heidi/Mike -- Mike's Office

12:00 PM - 1:30 PM

Copy: Berthusen Park BBQ -- 8837 Berthusen Park

August 26, 2019

Monday

9:00 AM - 10:00 AM

Copy: Check-In Vern/Mike -- Mike's Office

August 27, 2019

Tuesday

8:30 AM - 9:30 AM

LT Meeting -- City Hall 1st Floor Large Conference Room

4:30 PM - 5:30 PM

Civil Service Meeting -- City Hall 1st Floor Large Conference Room

7:00 PM - 9:00 PM

Rec. District Promotional Committee -- Annex South East Conference Room

August 28, 2019

Wednesday

9:00 AM - 10:00 AM

Check-In Mark/Mike -- Mike's Office

10:00 AM - 11:00 AM

Check-In Nic/Mike -- Mike's Office

September 2, 2019

Monday

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All Day

Labor Day -- United States

September 3, 2019

Tuesday

8:30 AM - 9:30 AM

LT Meeting -- City Hall 1st Floor Large Conference Room

5:00 PM - 6:30 PM

Design Review Board Meeting -- Annex South East Conference Room

7:00 PM - 9:00 PM

Council Meeting -- Annex Council Chamber; Annex East Training Room; Annex North East Conference Room; Annex South East Conference Room