



AGENDA
CITY OF CEDAR FALLS, IOWA
PLANNING AND ZONING COMMISSION MEETING
WEDNESDAY, MAY 08, 2024
5:30 PM AT CITY HALL, 220 CLAY STREET

Call to Order and Roll Call

Approval of Minutes

1. Planning and Zoning Commission Regular Meeting Minutes for April 24, 2024

Public Comments

Old Business

None

New Business

2. **Minor Plat –West Fork Crossing 1st Addition Lot 25 and Lot 26 Minor Subdivision Plat (MP24-001)**
Petitioner: Emsad and Edita Begic, Owners; Nick Brewer, Engineer
Previous discussion: *none*
Recommendation: *Approval*
P&Z Action: *hear public comments and make a recommendation to City Council*

3. **HWY-1 Site Plan – Boulder Tap House Restaurant on Lot 3 of Pinnacle Prairie Commercial South, Phase V, and Lot 2 of Phase VI**
Petitioner: L&M Investments, LLC; Oster Partners, LP, Owners; CGA Consultants, Inc, Engineer; Fusion Architects, Inc, Architect
Previous discussion: *none*
Recommendation: *Approval*
P&Z Action: *hear public comments and make a recommendation to City Council*

Commission Updates

Adjournment

Reminders:

- * May 22 and June 12 - Planning & Zoning Commission Meetings
- * May 20 and June 3 - City Council Meetings

**Cedar Falls Planning and Zoning Commission
Regular Meeting
April 24, 2024
Cedar Falls, Iowa**

MINUTES

The Cedar Falls Planning and Zoning Commission met in regular session on April 24, 2024 at 5:30 p.m. at City Hall. The following Commission members were present: Alberhasky, Hartley, Henderson, Johnson, Moser, Sorensen. Grybovych, Leeper and Stalnaker were absent. Karen Howard, Planning and Community Services Manager and Michelle Pezley, Planner III, were also present.

- 1.) Chair Hartley noted the Minutes from the April 10, 2024 regular meeting are presented. Sorenson made a motion to approve the Minutes as presented. Alberhasky seconded the motion. The motion was approved unanimously with 6 ayes (Alberhasky, Hartley, Henderson, Johnson, Moser and Sorensen), and 0 nays.
- 2.) The first item of business was a street vacation for a portion of alley between Longview Street and Cedar Street. Chair Hartley introduced the item and Ms. Pezley provided background information. She explained that the applicant proposes to vacate a portion of an alley that abuts his property. She discussed the three criteria that need to be met for a vacation and noted that all have been met. Staff recommends approval of the vacation.

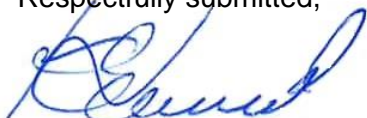
The petitioner stated that he has spoken to the neighbors and has filled out the appropriate paperwork.

Sorensen made a motion to approve the item. Johnson seconded the motion. The motion was approved unanimously with 6 ayes (Alberhasky, Hartley, Henderson, Johnson, Moser and Sorensen), and 0 nays.

- 3.) As there were no further comments, Soneson made a motion to adjourn. Alberhasky seconded the motion. The motion was approved unanimously with 6 ayes (Alberhasky, Hartley, Henderson, Johnson, Moser and Sorensen), and 0 nays.

The meeting adjourned at 5:37 p.m.

Respectfully submitted,


 Karen Howard
 Community Services Manager


 Joanne Goodrich
 Administrative Assistant



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
 220 Clay Street
 Cedar Falls, Iowa 50613
 Phone: 319-273-8600
 Fax: 319-268-5126
 www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Michelle Pezley, AICP, Planner III
 Matthew Tolan, EI, Civil Engineer II
DATE: May 8, 2024
SUBJECT: Replat of lots 25 and 26 of West Fork Crossing

REQUEST: West Fork Crossing 1st Addition Lot 25 and Lot 26 Minor Subdivision Plat
 (Case # MP24-001)

PETITIONER: Emsad and Edita Begic, Owners; Nick Brewer P.E, applicant

LOCATION: 1814 and 1830 Breckenridge Street

PROPOSAL

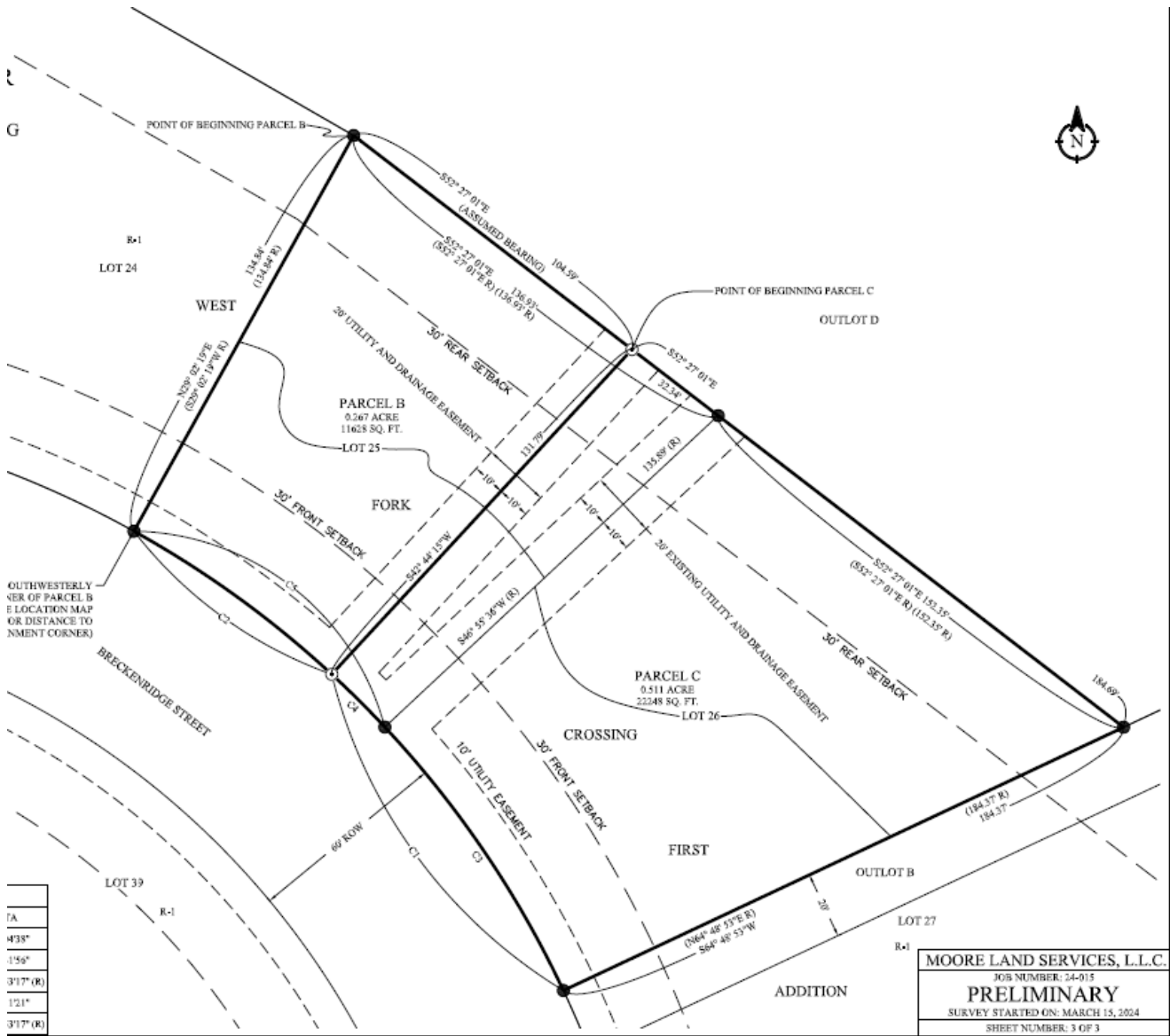
The Begics purchased 1814 and 1830 Breckenridge Street (West Fork Crossing First Addition Lots 25 and 26) to build one large single-family house. After designing their house, they realized that they would only need part of Lot 25. The Begics request a minor plat to increase the size of Lot 26 to accommodate the large house, but maintain Lot 25 as a buildable lot for another house in the future.

BACKGROUND

1814 and 1830 Breckenridge Street are part of the newly created plat of West Fork Crossings First Addition. The City Council approved the final plat and accepted the improvements in January of 2024. The subdivision is within the R-1 Zoning District. A 20-foot drainage and utility easement straddles the shared property line. There is a storm sewer pipe that was installed within this easement. Stormwater flows from the street through this pipe and outlets into the stormwater basin located to the rear of these lots.

ANALYSIS

The applicant proposes to shift the lot line to increase the size of Lot 26, thus reducing the size of Lot 25. The minimum lot size for a one-unit dwelling in the R-1 Zoning District is 9,000 square feet with a minimum lot width of 75 feet. The proposal meets the minimum lot size requirement as the applicant proposes Parcel B (Lot 25) to be 11,630 square feet and 80 feet wide at the front setback line, while Parcel C (Lot 26) will increase in size to 22,248 square feet.



The existing storm sewer pipe that is located within the easement that currently straddles the shared property line is too costly to move, so the applicant proposes to keep the existing drainage easement, the entirety of which would be located on the enlarged Lot 26. They plan to build a flat driveway over this easement to access a side entry garage (see attached site plan) and have acknowledged in the owner's statement that they understand that if the City ever needs to do maintenance on the storm sewer or other utilities within this easement, such that the driveway needs to be removed, that the owner will have to replace it at their expense.

In addition, the applicant will be required to establish a second drainage easement to convey overland drainage from the street to the storm water management facility. To meet this requirement, the applicant proposes a new 20-foot easement that straddles the new shared lot line between Parcel B and C. The drainage easements must be kept free of any obstruction including landscaping features, fences, berms, regrading, or similar obstructions that can change or alter the drainage patterns.

TECHNICAL COMMENTS

City technical staff, including Cedar Falls Utilities (CFU) personnel, has reviewed the proposed plat. Cedar Falls Utilities (CFU) has reviewed the Minor Plat for Lots 25-26 of the West Fork Crossing development. The existing utility box and stormwater intake will remain in place, so the driveway will have to be constructed in a manner that will not interfere with this infrastructure and will be reviewed with the site plan submitted with the building permit.

The property is located outside the floodplain overlay district.

A courtesy mailing was sent to the neighboring property owners.

STAFF RECOMMENDATION

Staff reviewed Minor Plat case #MP24-001, and recommends approval with the following stipulations:

1. Any comments or direction specified by the Planning and Zoning Commission.
2. Conformance with all city staff recommendations and technical requirements.

Staff recommends that if the Commission has no questions or concerns that require further review, the Commission make a recommendation to the Council.

PLANNING & ZONING COMMISSION

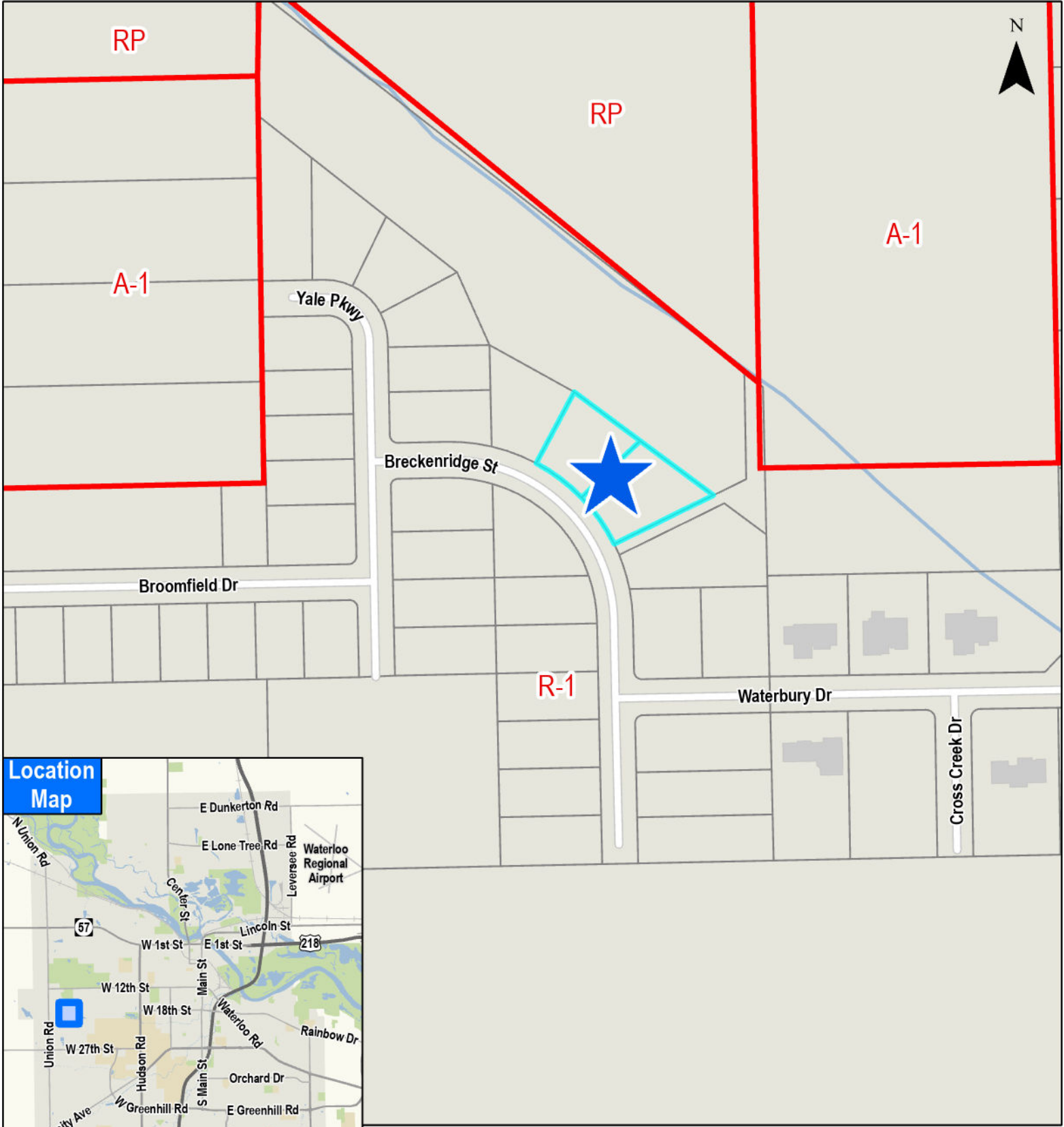
Discussion

5/8/2024

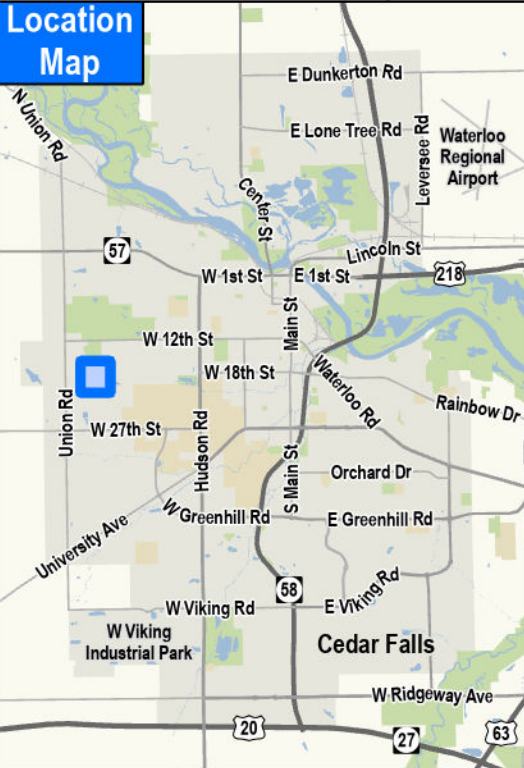
Cedar Falls Planning and Zoning

May 8, 2024

Item 2.

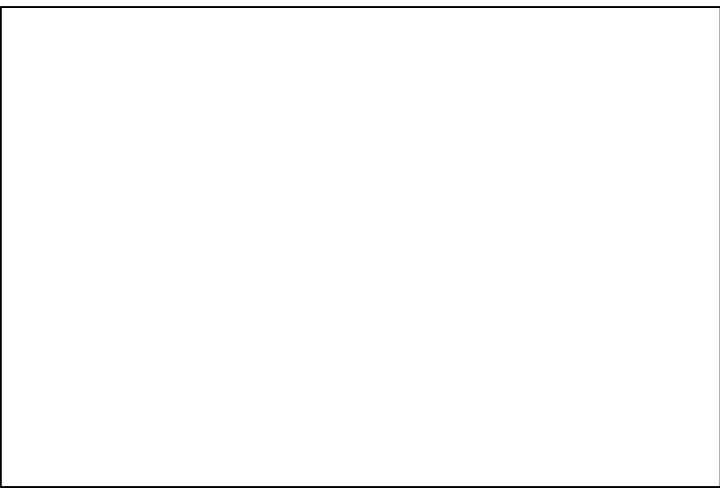


Location Map



**Minor Plat for Lot 25 and 26
of West Fork Crossing First Addition
(MP24-001)**

RECORDER'S INDEX
COUNTY: BLACK HAWK
SECTION: 15-T89N-R14W
QUARTER SECTION: NW
CITY: CEDAR FALLS
SUBDIVISION: WEST FORK CROSSING FIRST ADDITION
BLOCK: N/A
LOT(S): PARCEL B AND PARCEL C (IN LOTS 25 AND 26)
PROPRIETORS: EMSAD BEGIC AND EDITA BEGIC
REQUESTED BY: NICK BREWER (BREWER CIVIL, LLC)



FOR RECORDER'S USE ONLY

PREPARED BY/RETURN TO: MOORE LAND SERVICES, L.L.C., 13789 DOMINO ROAD, ELKADER, IA 52043 - PH: (563) 329-1051

PLAT OF SURVEY

"WEST FORK CROSSING FIRST ADDITION LOT 25 AND LOT 26 MINOR SUBDIVISION PLAT"

A REPLAT OF LOT 25 & 26 OF "WEST FORK CROSSING FIRST ADDITION", CEDAR FALLS, IOWA

NOTE: THIS IS A MINOR SUBDIVISION PLAT OF LOT 25 AND 26 OF WEST FORK CROSSING FIRST ADDITION, CEDAR FALLS, IOWA, AS SHOWN ON THE FINAL PLAT RECORDED IN FILE 2024-00009432, ON FILE IN THE BLACK HAWK COUNTY RECORDER'S OFFICE, WATERLOO, IOWA. FOR THIS MINOR SUBDIVISION PLAT, THE BLACK HAWK COUNTY AUDITOR HAS DESIGNATED THESE PARCELS AS "PARCEL B" AND "PARCEL C".

SURVEY DESCRIPTIONS:

PARCEL B

PARCEL B IN LOT 25 OF WEST FORK CROSSING FIRST ADDITION, CEDAR FALLS, IOWA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF SAID LOT 25;

THENCE **SOUTH 52°27'01" EAST (ASSUMED BEARING), 104.59 FEET** ALONG THE NORTHERLY LINE OF SAID LOT;

THENCE **SOUTH 42°44'15" WEST, 131.79 FEET** TO THE SOUTHERLY LINE OF SAID LOT 25;

THENCE **NORTHWESTERLY 72.92 FEET** ALONG A NON-TANGENT **305.00 FOOT** RADIUS CURVE CONCAVE **SOUTHWESTERLY**, (SAID CURVE HAVING A LONG CHORD OF **NORTH 54°06'43" WEST, 72.75 FEET**) ALONG THE SOUTH LINE OF SAID LOT 25 TO THE SOUTHWESTERLY CORNER THEREOF;

THENCE **NORTH 29°02'19" EAST, 134.84 FEET**, ALONG THE WESTERLY LINE OF SAID LOT 25 TO THE POINT OF BEGINNING;

CONTAINING **0.267 ACRE**, SUBJECT TO EASEMENTS, RESTRICTIONS, COVENANTS, ORDINANCES AND LIMITED ACCESS PROVISIONS OF RECORD AND NOT OF RECORD.

PARCEL C

PARCEL C IN LOT 25 AND 26 OF WEST FORK CROSSING FIRST ADDITION, CEDAR FALLS, IOWA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWESTERLY CORNER OF SAID LOT 25;

THENCE **SOUTH 52°27'01" EAST (ASSUMED BEARING), 104.59 FEET** ALONG THE NORTHERLY LINE OF SAID LOT TO THE POINT OF BEGINNING;

THENCE CONTINUING **SOUTH 52°27'01" EAST, 184.69 FEET** ALONG THE NORTHERLY LINES OF SAID LOT 25 AND 26 TO THE NORTHEASTERLY CORNER OF SAID LOT 26;

THENCE **SOUTH 64°48'53" WEST, 184.37 FEET** ALONG THE EASTERLY LINE OF SAID LOT 26 TO THE SOUTHEASTERLY CORNER THEREOF;

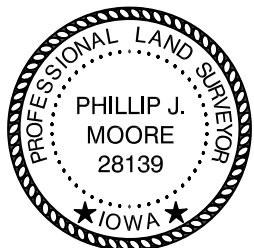
THENCE **NORTHWESTERLY 117.52 FEET** ALONG A NON-TANGENT **305.00 FOOT** RADIUS CURVE CONCAVE **SOUTHWESTERLY**, (SAID CURVE HAVING A LONG CHORD OF **NORTH 36°13'26" WEST, 116.80 FEET**) ALONG THE SOUTHERLY LINES OF SAID LOT 26 AND LOT 25;

THENCE **NORTH 42°44'15" EAST, 131.79 FEET** TO THE POINT OF BEGINNING;

CONTAINING **0.511 ACRE**, SUBJECT TO EASEMENTS, RESTRICTIONS, COVENANTS, ORDINANCES AND LIMITED ACCESS PROVISIONS OF RECORD AND NOT OF RECORD.

LEGEND

	FOUND 1/2"Ø IRON PIPE W/GPC #19880
	SET 1/2"Ø REBAR W/OPC #28139
	SURVEY BOUNDARY
	EXISTING PROPERTY LINE
	EASEMENT LINE
	SETBACK LINE
(R)	PREVIOUSLY RECORDED AS
OPC	ORANGE PLASTIC CAP
GPC	GREEN PLASTIC CAP
FO	COMMUNICATION LINE
G	GAS MAIN
SD	STORM SEWER PIPE
SAN	SANITARY SEWER PIPE
W	WATER PIPE
UE	UNDERGROUND UTILITY LINE
DT	DRAINAGE TILE
ssv	SANITARY SEWER SERVICE LINE
wsv	WATER SERVICE LINE
	SANITARY MANHOLE
	WATER VALVE
	FIRE HYDRANT
	STORM SEWER INTAKE
	RCP APRON END SECTION



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

PRELIMINARY

Phillip J. Moore, P.L.S. Date
 License Number: 28139
 My license renewal date is December 31, 2024.
 Sheets covered by this seal: SHEETS 1 THROUGH 3

REVISIONS		
REV.	DESCRIPTION	DATE
#1	TECH REVIEW UPDATES FROM 4/2/24	4/16/24
#2	ADDED PARCEL SQUARE FEET TO PLAT	4/26/24

MOORE LAND SERVICES, L.L.C.

JOB NUMBER: 24-015

SURVEY STARTED ON: MARCH 15, 2024

SHEET NUMBER: 1 OF 3

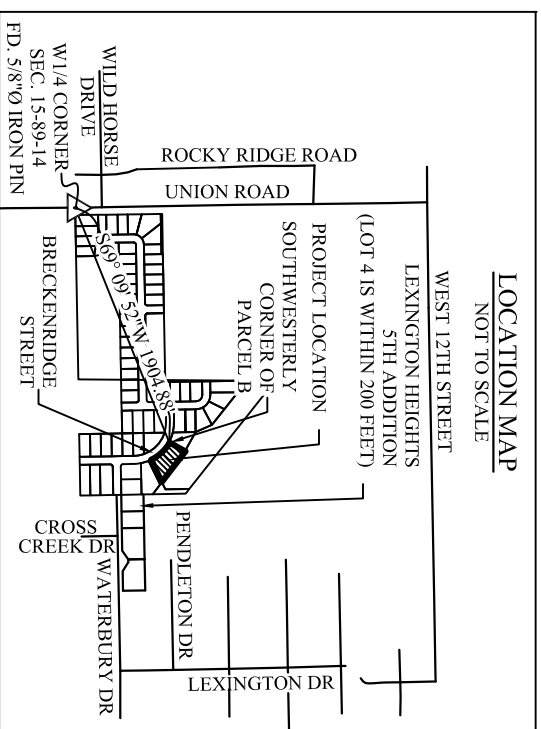
PLAT OF SURVEY

"WEST FORK CROSSING FIRST ADDITION LOT 25 AND LOT 26 MINOR SUBDIVISION PLAT"

A REPLAT OF LOT 25 & 26 OF "WEST FORK CROSSING FIRST ADDITION", CEDAR FALLS, IOWA

PREPARED BY/RETURN TO: MOORE LAND SERVICES, L.L.C., 13789 DOMINO ROAD, ELKADER, IA 52043 - PH: (563) 329-1051

NOTE:
ADJACENT PROPERTY OWNERSHIP IS SHOWN AS DEPICTED ON THE BLACK HAWK COUNTY ASSESSOR'S WEBSITE (BEACON).



SURVEY PERFORMED FOR:

EMSAID BEGIC
808 18TH STREET
CEDAR FALLS, IA 50613

PROPRIETORS:

EMSAID BEGIC AND EDITA BEGIC
LOT 25 ADDRESS:
1814 BRECKENRIDGE STREET
CEDAR FALLS, IA 50613

PROFESSIONAL LAND SURVEYOR

MOORE LAND SERVICES, LLC
13789 DOMINO ROAD
ELKADER, IOWA 52043
SURVEYOR: PHILLIP J. MOORE, P.L.S.
563-329-1051
phil@moorelandservices.us

LOT 26 ADDRESS:

1820 BRECKENRIDGE STREET
CEDAR FALLS, IA 50613

CURRENT ZONING

R-1 (1 AND 2 UNIT RESIDENTIAL)

GRAPHIC SCALE IN FEET
SCALE: 1"=30'
SEE SHEET 1 FOR LEGEND

BUILDING SETBACKS
FRONT - 30'
SIDE - 10% - 20% OF LOT WIDTH
(SIDE YARD SETBACK NOT SHOWN DUE TO IT BEING VARIABLE)
REAR - 30 FEET

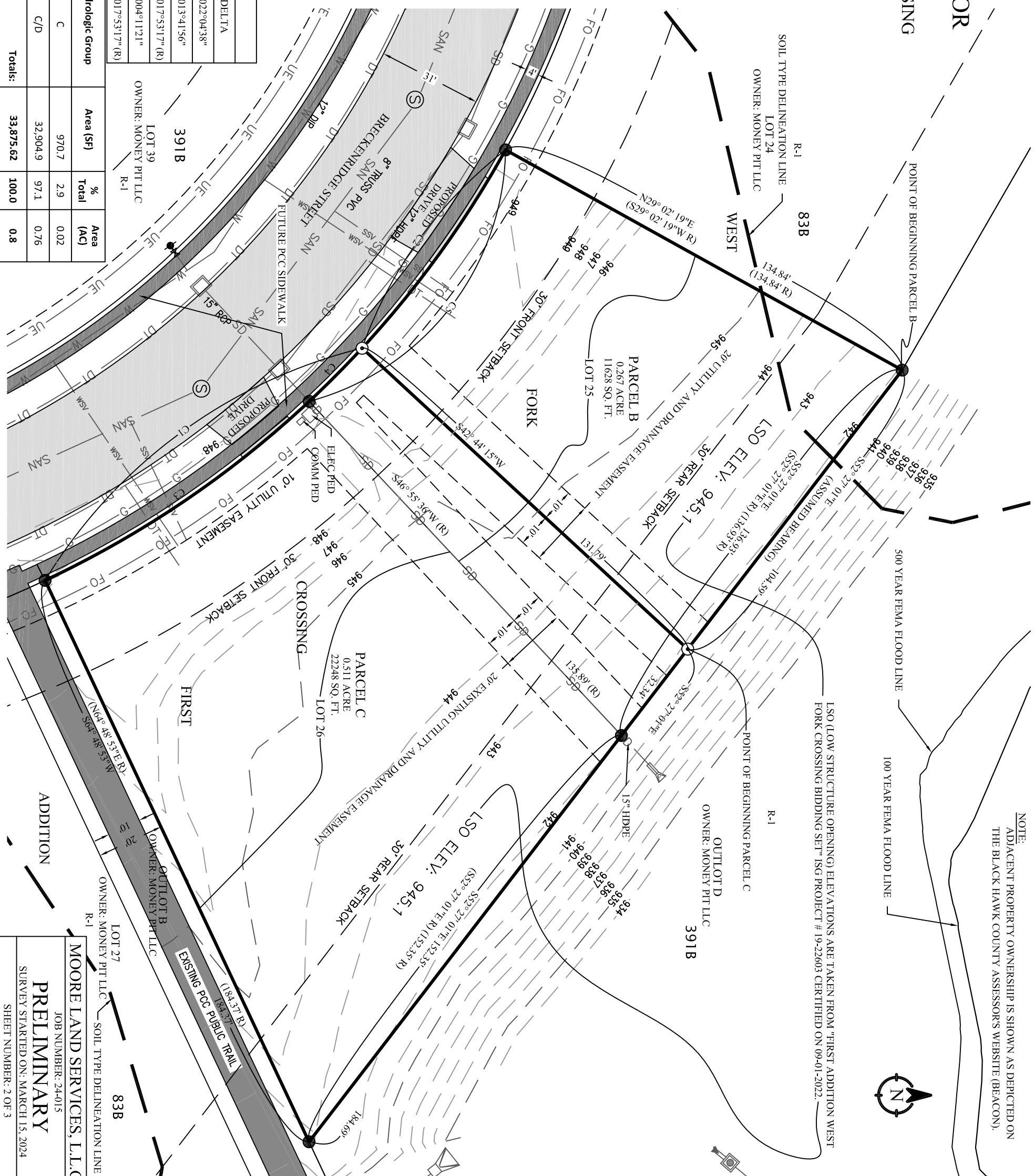
NOTE:
THE UNADJUSTED ERROR OF CLOSURE FOR BOTH PARCELS IS BETTER THAN 1:5,000



CURVE TABLE

NUMBER	ARC LENGTH	RADIUS	CHORD DIRECTION	CHORD LENGTH	DELTA
C1	117.52'	305.00'	N 36°13'26" W	116.80'	022°04'38"
C2	72.92'	305.00'	N 54°06'43" W	72.75'	013°41'56"
C3	95.22' (R)	305.00' (R)	N 34°07'46" W	94.84'	017°53'17" (R)
C4	22.30'	305.00'	N 45°10'05" W	22.30'	004°11'21"
C5	95.22' (R)	305.00' (R)	N 52°01'02" W	94.84'	017°53'17" (R)

Soil Code	Soil Name	Slopes	Runoff Class	Hydrologic Group	Area (Sf)	% Total	Area (Ac)
83B	Kenyon Loam	2 to 5%	Low	C	970.7	2.9	0.02
391B	Clyde-Floyd Complex	1 to 4%	Low	C/D	32,904.9	97.1	0.76
Totals:					33,875.62	100.0	0.8

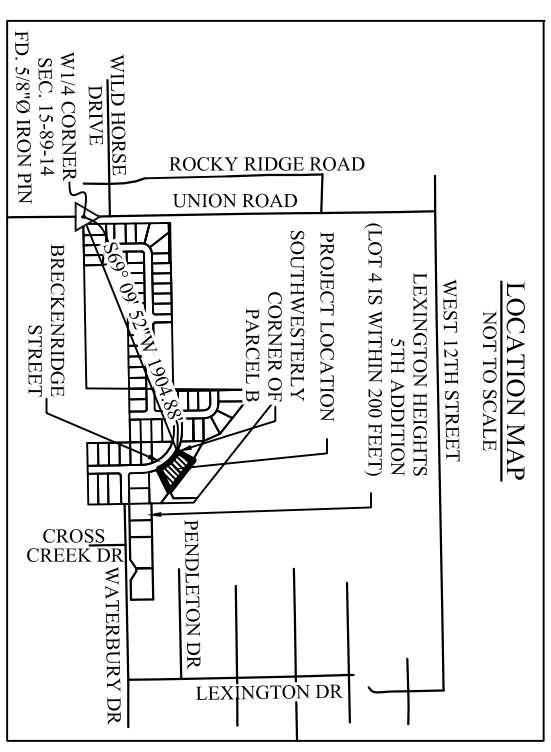


MOORE LAND SERVICES, L.L.C.
JOB NUMBER: 24-015
PRELIMINARY
SURVEY STARTED ON: MARCH 15, 2024
SHEET NUMBER: 2 OF 3

PLAT OF SURVEY

"WEST FORK CROSSING FIRST ADDITION LOT 25 AND LOT 26 MINOR SUBDIVISION PLAT"

A REPLAT OF LOT 25 & 26 OF "WEST FORK CROSSING FIRST ADDITION", CEDAR FALLS, IOWA



SURVEY PERFORMED FOR: EMSAD BEGIC
808 18TH STREET
CEDAR FALLS, IA 50613

PROPRIETORS: EMSAD BEGIC AND EDITA BEGIC

LOT 25 ADDRESS: 1814 BRECKENRIDGE STREET
CEDAR FALLS, IA 50613

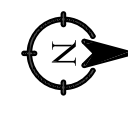
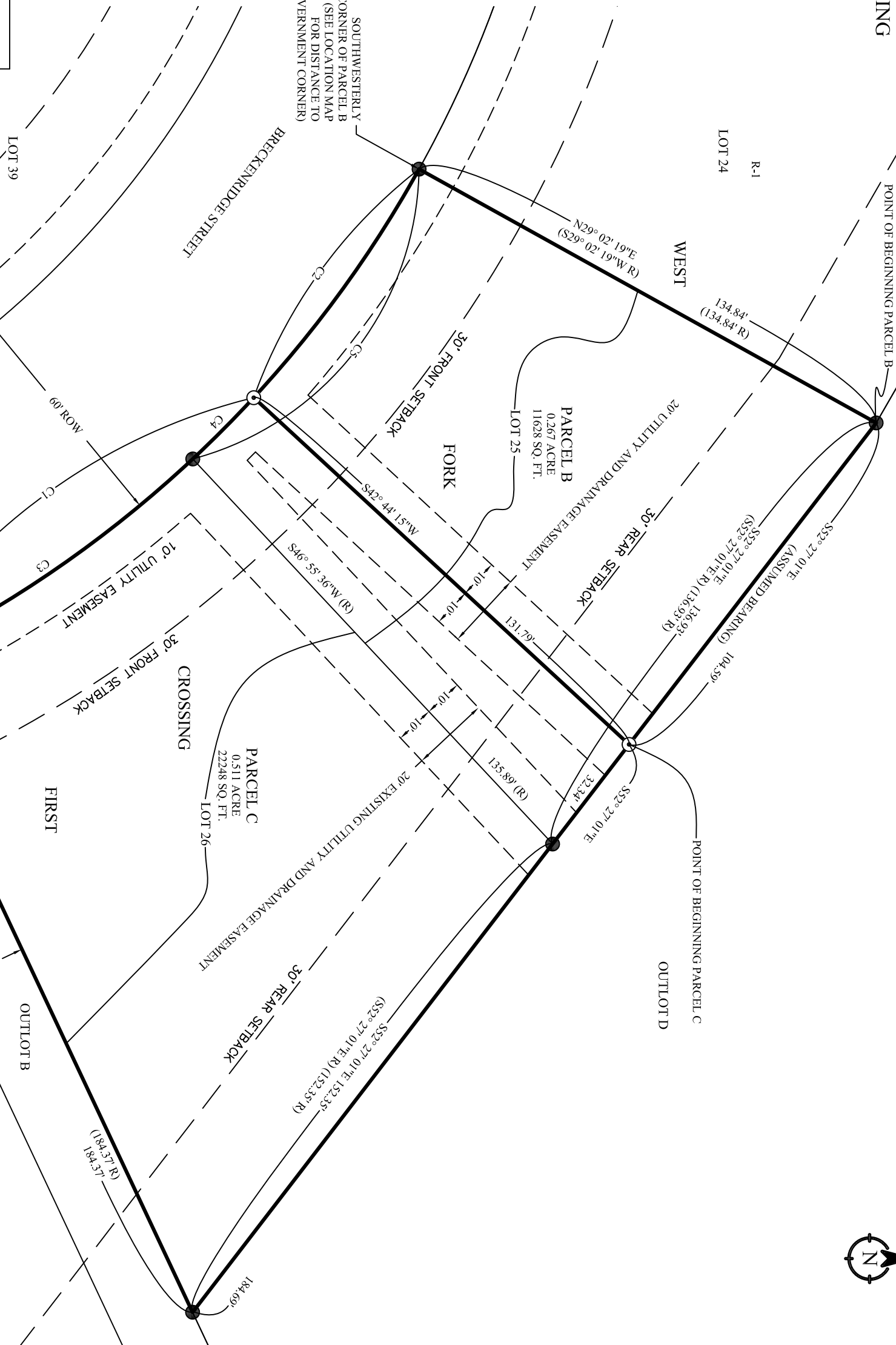
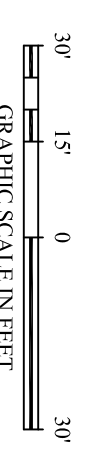
LOT 26 ADDRESS: 1820 BRECKENRIDGE STREET
CEDAR FALLS, IA 50613

PROFESSIONAL LAND SURVEYOR
MOORE LAND SERVICES, LLC
13789 DOMINO ROAD
ELKADER, IOWA 52043
SURVEYOR: PHILLIP J. MOORE, P.L.S.
563-329-1051
phil@mooreslandservices.us

CURRENT ZONING
R-1 (AND 2 UNIT RESIDENTIAL)

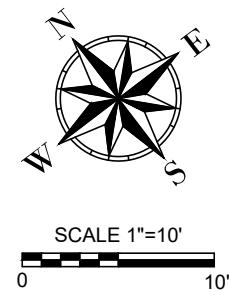
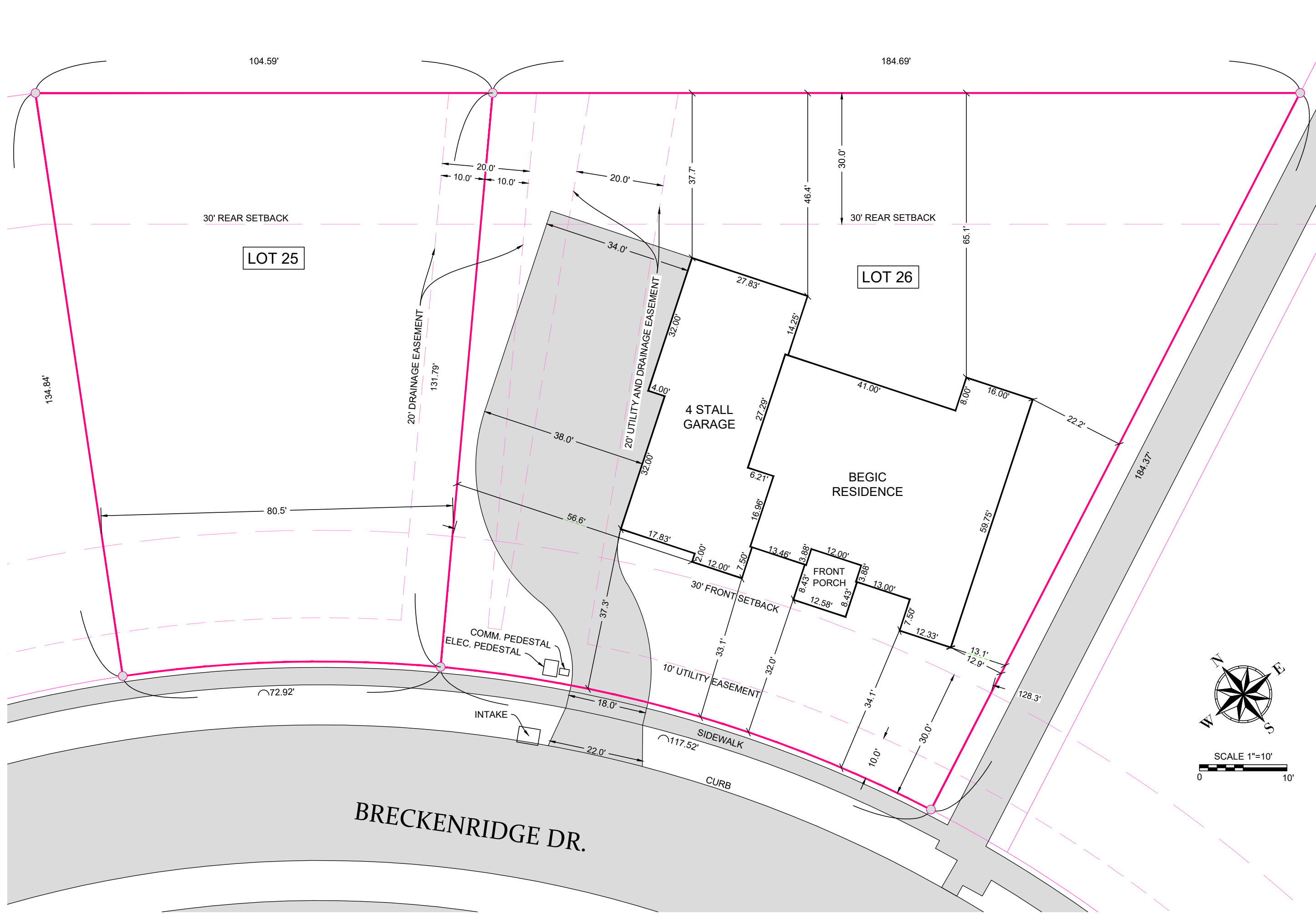
BUILDING SETBACKS
FRONT - 30'
SIDE - 10% - 20% OF LOT WIDTH
(SIDE YARD SETBACK NOT SHOWN DUE TO IT BEING VARIABLE)
REAR - 30 FEET

NOTE:
THE UNADJUSTED ERROR OF CLOSURE FOR BOTH PARCELS IS BETTER THAN 1:5,000



NUMBER	ARC LENGTH	RADIUS	CHORD DIRECTION	CHORD LENGTH	DELTA
C1	117.52'	305.00'	N 36°13'26" W	116.80'	022°04'38"
C2	72.92'	305.00'	N 54°06'43" W	72.75'	013°41'56"
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C4	22.30'	305.00'	N 45°1'00.5" W	22.30'	004°11'21"
C5	95.22' (R)	305.00' (R)	N 52°01'02" W	94.84'	017°53'17" (R)

MOORE LAND SERVICES, L.L.C.
JOB NUMBER: 24-015
PRELIMINARY
SURVEY STARTED ON: MARCH 15, 2024
SHEET NUMBER: 3 OF 3



BEGIC RESIDENCE

WEST FORK - LOT 26

PN: N/A
EMSAD BEGIC

OWNER'S STATEMENT OF RESTRICTIONS
FOR
WEST FORK CROSSING FIRST ADDITION LOT 25 AND LOT 26
MINOR SUBDIVISION PLAT

KNOW ALL MEN BY THESE PRESENTS:

That Emsad Begic and Edita Begic, husband and wife, are the owners of the following legally described real estate:

Lots 25 & 26 in "West Fork Crossing First Addition", Cedar Falls, Black Hawk County, Iowa, and being desirous of selling and dividing said real estate into two separate lots upon approval of this West Fork Crossing First Addition Lot 25 and Lot 26 Minor Subdivision Plat, by the City of Cedar Falls, does hereby submit the following statement of proposed easements and restrictions:

EASEMENTS

The undersigned do hereby grant and convey to the City of Cedar Falls, Iowa, its successors and assigns, and to any private corporation, firm or person furnishing utilities for the transmission and/or distribution of water, sanitary sewer, gas, electricity, communication service or cable television, perpetual easements for the erection, laying building and maintenance of said services over, across, on and/or under the property as shown on the attached minor plat.

The utility and drainage easements shall be free of all obstructions and made accessible in order to allow ease of entry and permit repair and maintenance activities as needed within said easement. Flat paving, such as a driveway may be installed in said easement upon condition that said paving shall be replaced at the expense of the property owner if repair, maintenance, installation, or excavation in the easement is necessary, as determined by the City Engineer.

All recorded easements affecting the property prior to this platting shall be recognized as continuing in effect and service and shall not be considered rescinded by this platting.

Any and all drainage easements shall be required to follow the "Stormwater Management Plan" and no building structures, fence structures, landscaping structures, private gardens or any other possible obstruction can be built in and over said drainage easements. All lot owners within the subdivision and/or contractors working on said lots will be responsible to maintain said easements to be free and clear of any physical obstruction(s) so as to allow the conveyance of overland storm water runoff as intended per "Stormwater Management Plan" on record with the City of Cedar Falls Engineer's Office.

RESTRICTIONS

1. All lots in shall be governed by the zoning ordinances of the City of Cedar Falls, Black Hawk County, Iowa, and all buildings thereon shall meet the minimum restrictions of said zoning ordinances.

2. No further subdivisions of the property will be allowed unless the subdivision of the property is approved by the City of Cedar Falls, Iowa.

3. Setbacks for the property are more particularly shown on the Minor Plat.

SIGNED and DATED this _____ day of _____, 2024

Emsad Begic

Edita Begic

STATE OF IOWA, BLACK HAWK COUNTY: ss

This record was acknowledged before me on this _____ day of April, 2024, by Emsad Begic and Edita Begic, husband and wife.

Notary Public in and for the State of Iowa



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
Fax: 319-273-8610
www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Thom Weintraut, AICP, Planner III
Matthew Tolan, EI, Civil Engineer II
DATE: May 8, 2024
SUBJECT: HWY-1 District Site Plan for Boulder Tap House

REQUEST: HWY-1 District Site plan approval for construction of a new restaurant, Boulder Tap House, on Lot 3 of Pinnacle Prairie Commercial South, Phase V, and Lot 2 of Phase VI (Case # SP24-001)

PETITIONER: L&M Investments, LLC, Applicant; Oster Partners, LP, Owner; CGA Consultants, Inc., Engineer; Fusion Architects, INC, Architect

LOCATION: South of Brandilynn Boulevard and east of Prairie Parkway.

PROPOSAL

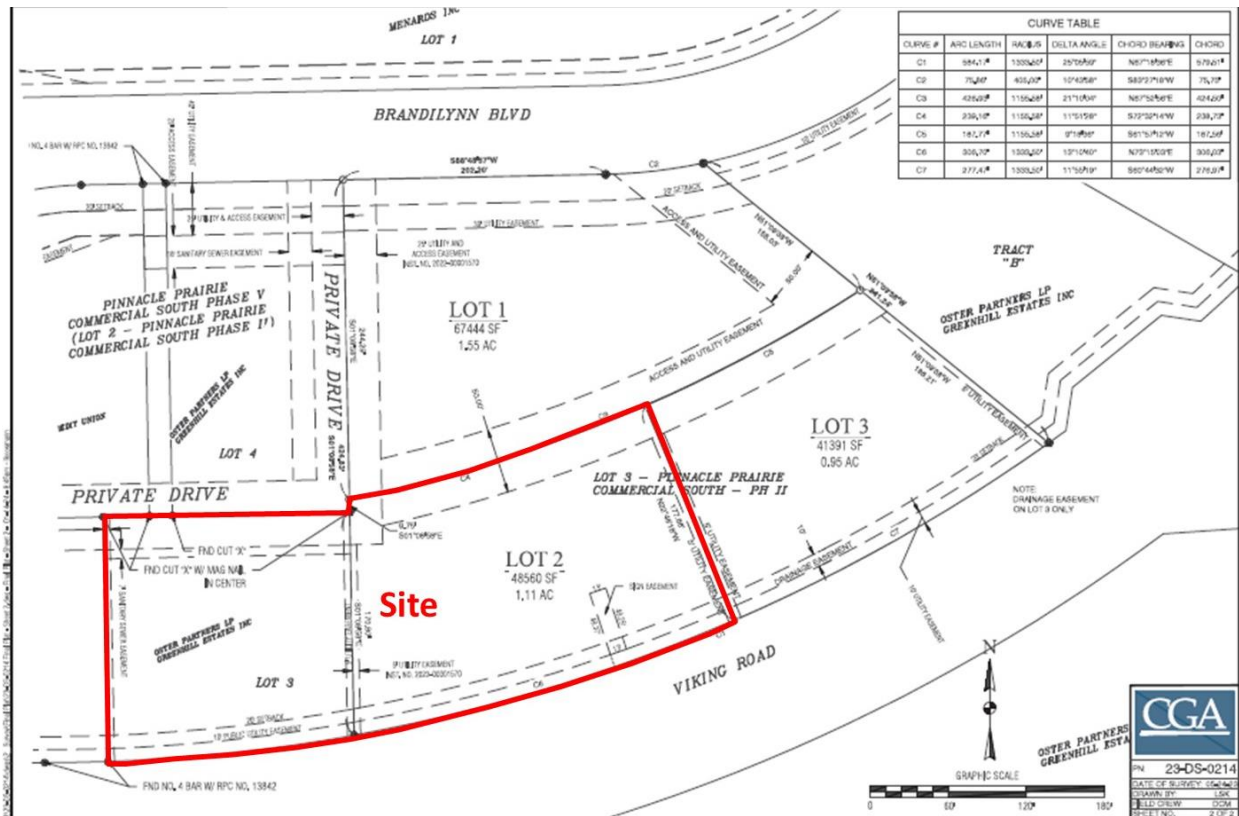
The applicant proposes to construct 6,135 square foot restaurant, Boulder Tap House, south of Brandilynn Boulevard and east of Unity Point Clinic Express, which is located at the intersection of Prairie Parkway and Viking Road (see location map at right). The site is Lot 3 of Pinnacle Prairie Commercial South – Phase V and Lot 2 of Pinnacle Prairie Commercial South – Phase VI. The proposal includes sitework, landscaping, private access way, parking area, drive-thru area, signage, and a new restaurant building.



The proposed layout of the building sits on about 1.89 acres of land that fronts on Viking Road.

BACKGROUND

The two parcels are in the HWY-1, Highway Commercial Zoning District. The proposal is for a restaurant to be located on Lot 3 of Pinnacle Prairie Commercial South-Phase V, created in 2021, and the parking to be located on Lot 2 of Pinnacle Prairie Commercial South-Phase VI, which was recently recommended for approval by the Planning and Zoning Commission and will be considered for approval at the May 6, 2024, City Council meeting. If approved, the site plan for the restaurant can move forward for approval. The development will have access from the shared private drive established with Pinnacle Prairie Commercial South-Phase V and a continuation of that private drive to the east boundary of development site, including the portion of the drive which will be located on Lot 1, north of this site.



Pinnacle Prairie Commercial South-Phase VI, a replat of Lot 3 Final Plat

ANALYSIS

The proposed development is in the HWY-1 Highway Commercial Zoning District. The HWY-1 District is intended to promote and facilitate comprehensively planned commercial developments located adjacent to major transportation corridors and interchanges. The HWY-1 regulations are to encourage high standards of building architecture, and site planning that will foster commercial development to maximize

pedestrian convenience, comfort, and pleasure. The ordinance requires a detailed site plan review before approval to ensure that the development site satisfies the specific standards of this zoning district. Attention to details such as parking, open green space, landscaping, signage, building design, and other similar factors help to ensure orderly development in the entire area.

Following is a review of the zoning ordinance requirements for the proposed development:

- 1) **Use:** The proposed use, a restaurant, is permitted in the HWY-1 District. **This use is allowed.**
- 2) **Building Location and Access:** Even though there is not direct access to Viking Road, the proposed building will be oriented to Viking Road with one row of parking located between the required 20-foot perimeter landscape buffer and the building. The required 20-foot buffer from the private access drive to the north has also been met.

The primary entrance will face the east where most of the parking is proposed. There is a sidewalk and marked access route provided from the Viking Road Trail to the main entrance of the building. Staff and delivery access is provided on the west side of the building from the parking lot.

There will be two vehicular access points from the shared private drive: one on the west side of the building and one on the east side of the site which will be provided through the extension of the private drive to the lot line of Lot 3. There will be no direct access to Viking Road. **The building and parking lot setbacks and the access to the property are satisfied.**

- 3) **Parking:** The parking requirement for a standard eat in restaurant is one space for every 150 square feet of gross floor area plus one space for every two employees. The plan shows 125 parking spaces meeting the commercial space requirement with five marked as accessible. The total area of the building is 6,135 square feet, which would require 41 spaces leaving 84 additional spaces, which will satisfy the employee parking requirement and provide additional parking for patrons beyond the requirement. **The parking requirement has been met.**
- 4) **Open Space Requirements:** The HWY-1 District requires that open space/landscaping requirements be provided at the rate of 10% of the total development site area excluding the perimeter setback area. Following is a summary of the landscape plan that details how this provision is met.

Development Site Area	83,043 SF	
Required Open/Green Space	8,305 SF	10%
Provided Open/Green Space	13,780 SF	16.6%

Landscaping is shown throughout the site, both around the building as well as within the parking lot, and along the streets within required setbacks. **The open green space exceeds the minimum requirement and is well distributed.**

- 5) Landscaping: The HWY-1 District requires minimum landscaping at the rate of 0.02 points per square foot of the total development site area. This can be achieved through planting a combination of trees and shrubbery. A minimum of 0.75 points per linear foot of street frontage shall be planted with street trees. In addition, parking lot landscaping requirements must be met, including peripheral landscape screening and parking lot trees according to City Code Section 26-220(i).

The total required site landscaping points are 1,660 points for the site and 750 points for street trees. The site plan shows the total points for the street trees has been met and the total points for the site as 2060 points, exceeding the minimum required number of points by 400 points. Planting point details can be seen in the attached landscaping plan for review.

Peripheral landscaping requirements for parking lots include placement of continuous landscaped strip not less than 5 feet in width and at least three feet in height, and one tree for every 50 lineal feet of landscaping barrier to screen the parking areas from the public streets and abutting lots. The internal landscaping requirement includes placement of one overstory tree for every 21 parking stalls to shade the parking areas.

The applicant has provided 6 parking lot trees and 15 peripheral trees meeting the requirements. The applicant has provided boxwood shrubs to screen the parking lot from Viking Road, the private access street, and the neighboring properties. In addition, the applicant will be providing prairie grass scattered throughout the site. The landscaping is well distributed on the site and exceeds the minimum required number of points. **Landscaping requirements have been met.**

- 6) Building Design: The HWY-1 District requires a design review of various elements to ensure a high quality of design and materials and compatibility with nearby buildings. These are noted below with a review on how each element is addressed.

Proportion: The relationship between the width and height of the front elevations of adjacent buildings shall be considered in the construction or alteration of a building; the relationship of width to height of windows and doors of adjacent buildings shall be considered in the construction or alteration of a building.

The Boulder Tap House shows a 30-foot tall “tower” standing proud of the building with a front gable marking the entrance to the building on the east elevation. The “tower” asymmetrically divides the east façade of the building. The north elevation has a center wall dividing the façade in two. Each of the two sections have a rhythm established by using windows in the dining area and

Bahama Shutter in the kitchen area of equal proportions. The south façade uses the same rhythm as the north wall; however, there is a covered and screened seating area on the western portion of the facade. The west elevation is the service entrance of the building. The exterior finish of the building uses the same finish materials and proportions as the other sides with an extension of the screened area wrapping around the building; however, other than the door, this side lacks the rhythm that was established along the north side of the building with the use of the Bahama Shutters. Staff finds this is acceptable as this is not a street-facing façade and provides for the service functions of the building.



The scale and proportion of the proposed new building is similar to the Veridian Credit Union. Veridian has a building footprint, including drive-thru canopy, of 5,364 square feet and includes a tower denoting the main entrance to the building. The three elevations with no drive-thru have large expanses of windows with the main entrance is also denoted by a tower on the southwest corner and an employee entrance on the north facade. The Veridian building also has a tower marking the main entrance.



Directly to the west is the Unity Point Clinic Express which has a smaller footprint of 4,310 square feet. The height to the top of the parapet is 19.5 feet; however, as with the proposal for the Boulder Tap House and Veridian, the northwest corner where the entrance is located, is slightly taller at 21 feet. The main street façade, facing Prairie Parkway, has two banks of floor to ceiling windows, the north (parking lot) façade has doors with a sidelight and transom



light above similar to the portion of the windows on the west façade; however, since this is a medical facility and privacy of concern, the windows in the examination areas are aligned with and have the same height as the transom window above the entrance. The south façade has two “examination” sized windows, and the east (rear) has an employee entrance and a single “examination” window.

Staff finds that the proposal is consistent with neighboring buildings and with the height allowances in the zoning district.

Roof shape, pitch, and direction: The similarity or compatibility of the shape, pitch, and direction of roofs in the immediate area shall be considered in the construction or alteration of a building.

The adjacent buildings utilize flat roofs with a parapet around the edge. The proposed new building will likewise utilize a flat roof, except for the gabled roof for the main entrance tower. The proposed building will feature additional height at the entrances to provide roof height changes. Staff finds that the proposed design is similar to the design of the neighboring buildings.

Pattern: Alternating solids and openings (wall to windows and doors) in the front facade and sides and rear of a building create a rhythm observable to viewers. This pattern of solids and openings shall be considered in the construction or alteration of a building.

The design of the building established both a horizontal and vertical rhythm to viewers. The placement of windows and pilasters create a strong vertical rhythm on the three public views, while also creating a horizontal layering on each façade. The windows are well-distributed across the primary street-facing facades.

Materials and texture: Materials and texture. The similarity or compatibility of existing materials and textures on the exterior walls and roofs of buildings in the immediate area shall be considered in the construction or alteration of a building. A building or alteration shall be considered compatible if the materials and texture used are appropriate in the context of other buildings in the immediate area.

The exterior finish of Boulder Tap House will be constructed using a mixture of materials and earthtone colors. The corners of the building, the entrance tower, base and pilasters, and the trash enclosure are constructed using ashen stone veneer. Between the pilasters above the window areas on all the north, east, and south sides of the building, a chestnut engineered wood siding is used, and a similar gray siding is used adjacent to the windows establishing a rhythm. This pattern continues around the to the west side of the building adhering to the horizontal pattern established on the other sides. The facia and roofing will be clad with matte black metals.

Unity Point Clinic Express uses a combination of three panel materials of contrasting colors to establish a horizontal pattern: a gray fiber cement block panel, redwood color fiber cement horizontal patterned panel, and a horizontal corrugated metal panel.

Veridian Credit Union uses a pattern similar to Boulder Tap House. The base uses random ashlar limestone veneer laid horizontally on all sides and alternate sections of brick, simulated wood horizontal fiber cement panels, and gray fiber cement panels with horizontal and vertical lines to add rhythm.

Color: The similarity or compatibility of existing colors of exterior walls and roofs of buildings in the area shall be considered in the construction or alteration of a building.

The Boulder Tap house uses an earthy color palette of gray and woody brown materials for the main facades. The fascia and roofing material will be matte black. The varied use of materials and color will enhance the architectural elements of the building.

The Boulder Tap House colors are compatible with both the Unity Point Clinic Express use of gray and redwood as well as Veridians use of gray stone and wood tone panels.

Architectural features: Architectural features, including but not limited to, cornices, entablatures, doors, windows, shutters, and fanlights, prevailing in the immediate area, shall be considered in the construction or alteration of a building. It is not intended that the details of existing buildings be duplicated precisely, but those features should be regarded as suggestive of the extent, nature, and scale of details that would be appropriate on new buildings or alterations.

The design of the building is a rustic timber frame style with a balance of horizontal and vertical elements, both with materials and colors. With the timber frame is in contrast with the modern style of the clinic, the use of colors and materials should complement the neighboring buildings. The roof is primarily flat like the neighboring buildings, but like Veridian Credit Union the entrance location is marked by a tower.

In summary, the proposed restaurant demonstrates a high quality of design and materials and compatibility with nearby buildings. Staff finds the architectural standards of the HWY-1 Zone are met.

- 7) Trash Dumpster Site: The dumpster enclosure is located at the northwest corner behind the building away from Viking Road. Trash enclosure is about 6.6 feet in height and will use the same stone veneer as the main building, including stone masonry in the lower area and brick masonry on the upper areas of the enclosure separated by stone band. The dumpster enclosure will have metal gates for

openings. **The placement of the dumpster and its design meet City standards.**

- 8) Lighting: The HWY-1 District regulations do not have specific lighting design guidelines. The applicant has proposed sconces on each side of both the entrances and parking lot lighting at seven locations of the site. The lights will be LED luminaires with a single head and are downcast and fully shielded to prevent spillover light on to adjacent properties. A photometric plan has been submitted for review. **Lighting is acceptable.**
- 9) Signage: For the proposed new building, two wall signs are illustrated on the building; one on the east wall above the main entrance from the parking lot and the other on the south wall facing Viking Road. As per code, wall sign areas cannot exceed 20 percent of the surface area of the single wall to which it is affixed. No more than two wall surfaces of any single structure may be utilized for sign displays. Both wall sign areas meet the code requirement (see elevations included in packet). The applicant will need to obtain a sign permit for each sign prior to installation.

There is no freestanding sign proposed.
Proposed Signage is acceptable.

- 10) Sidewalks: There is a 5-foot-wide PCC sidewalk proposed in the site plan which will connect to the Viking Road Trail to provide pedestrian access to the building.

Storm Water Management: All storm water will be collected by a private storm sewer which ties into the public storm sewer along Viking Road and flows to the regional detention pond approximately 300 feet east of the project site. No on-site detention will be required since this development falls within the area the regional detention facility was originally designed to accommodate.

TECHNICAL COMMENTS

Cedar Falls Utilities (CFU) has reviewed the Hwy 1 Site Plan for the proposed Boulder Tap House restaurant. Water, electric, gas, and communications utility services are available in accordance with the service policies of CFU. Water is available from the north side of Viking Road. Natural gas is available from the south side of Brandilynn Blvd or the south side of Viking Road. Cedar Falls Utilities will install and own the gas main and services. Developer must coordinate gas meter location and building gas load with CFU Gas & Water Operations.

Major technical comments from the City's Technical Review Committee have been addressed by the applicant.

A courtesy notice to surrounding property owners was mailed on April 29, 2024.

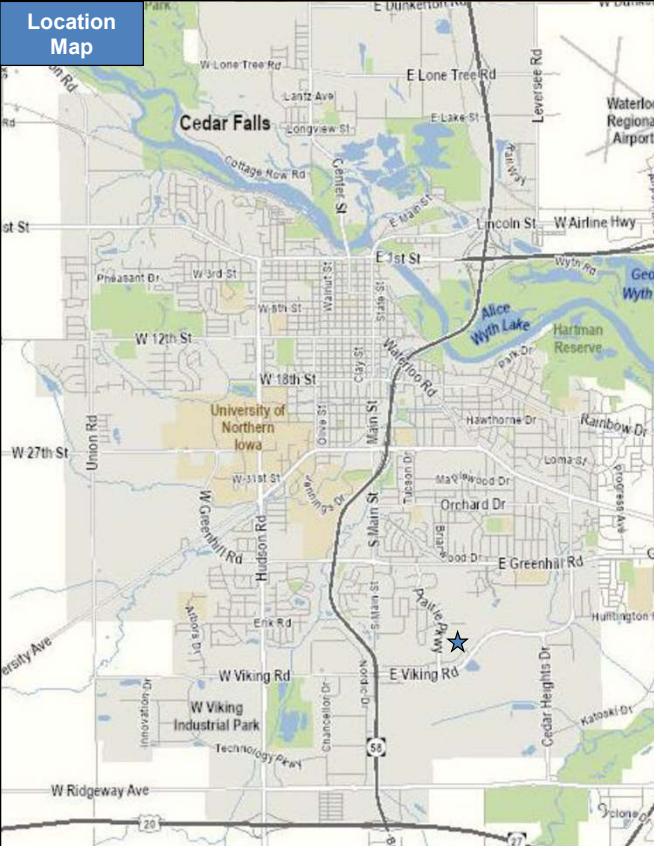
STAFF RECOMMENDATION

The Community Development Department has reviewed the proposed site plan for Boulder Tap House and recommends approval, provided the final plat for Pinnacle Prairie Commercial South, Phase VI has been approved by City Council and subject to the following conditions:

- 1. Any comments or direction specified by the Planning and Zoning Commission.
- 2. Conformance with all city staff recommendations and technical requirements.

PLANNING & ZONING COMMISSION

Introduction
&
Discussion
5/8/2024

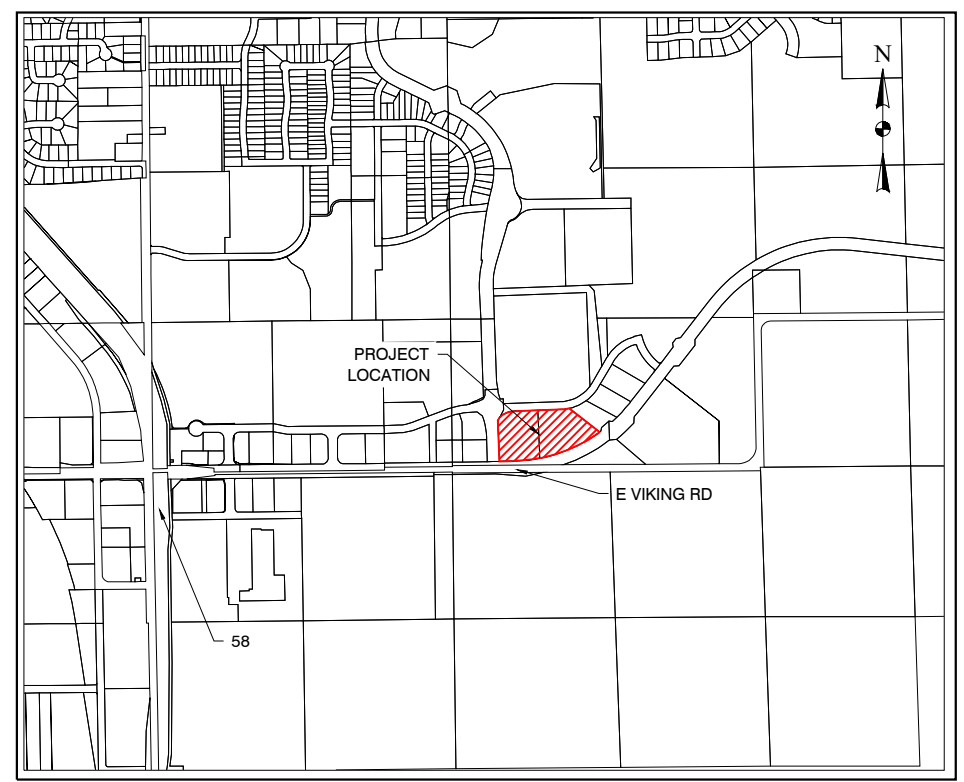


Boulder Tap House
Brandilynn Blvd

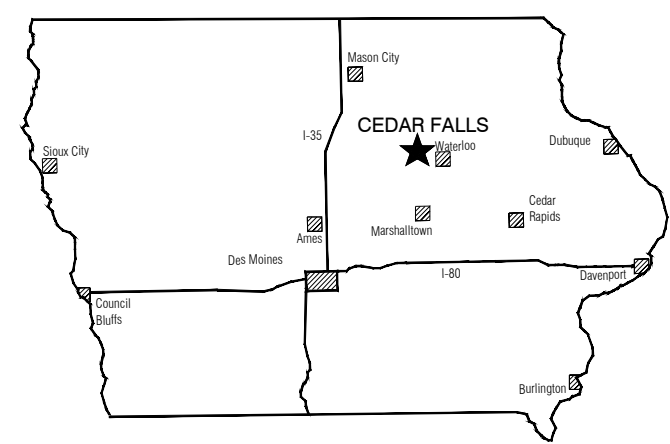
THE BOULDER TAP HOUSE CEDAR FALLS, IOWA 2023

GRADING, PAVING & UTILITIES CONSTRUCTION

WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, CURRENT EDITION (SUDAS) AND THE CITY OF CEDAR FALLS STANDARD SPECIFICATIONS AND SUPPLEMENTAL SPECS



VICINITY MAP
NOT TO SCALE



LOCATION MAP

INDEX OF SHEETS	
SHEET NO.	DESCRIPTION
C.001	TITLE SHEET
C.002	SYMBOLS, LEGEND AND GENERAL INFORMATION
C.100	EXISTING CONDITIONS & DEMOLITION
C.200	LAYOUT & UTILITY PLAN
C.300	GRADING PLAN
C.310	STORM WATER POLLUTION PREVENTION PLAN
C.400	LANDSCAPE PLAN
C.500-C.501	TYPICAL DETAILS



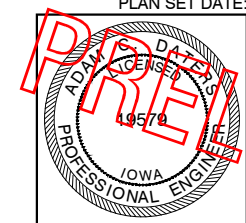
Clapsaddle-Garber Associates, Inc
5106 Nordic Dr.
Cedar Falls, Iowa 50613
Phone 319-266-0258
www.cgaconsultants.com

PLAN SET DATE: 3/21/24

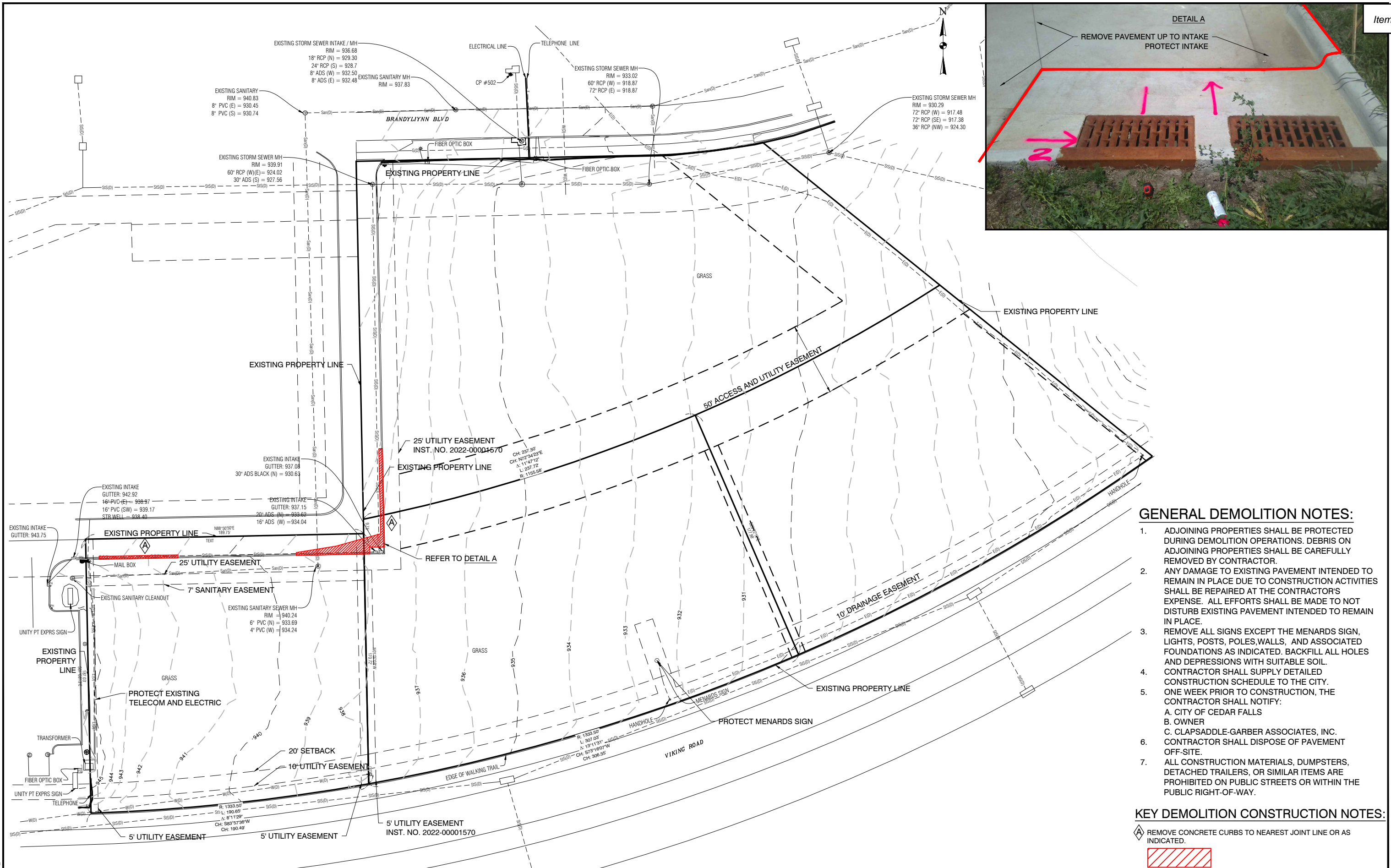
I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature: Adam C. Daters, PE Date: _____
Iowa License Number: 19570
My license renewal date is: December 31, 2025

Pages or sheets covered by this seal: _____



J:\23-DS-0214\wpes\Sherie\23-DS-0214 C.00 & C.01 (Title & Legend).dwg - C.001 - 03-21-24 - 10:36pm - krossmann



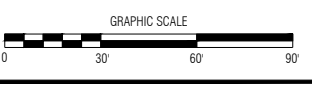
GENERAL DEMOLITION NOTES:

1. ADJOINING PROPERTIES SHALL BE PROTECTED DURING DEMOLITION OPERATIONS. DEBRIS ON ADJOINING PROPERTIES SHALL BE CAREFULLY REMOVED BY CONTRACTOR.
2. ANY DAMAGE TO EXISTING PAVEMENT INTENDED TO REMAIN IN PLACE DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ALL EFFORTS SHALL BE MADE TO NOT DISTURB EXISTING PAVEMENT INTENDED TO REMAIN IN PLACE.
3. REMOVE ALL SIGNS EXCEPT THE MENARDS SIGN, LIGHTS, POSTS, POLES, WALLS, AND ASSOCIATED FOUNDATIONS AS INDICATED. BACKFILL ALL HOLES AND DEPRESSIONS WITH SUITABLE SOIL.
4. CONTRACTOR SHALL SUPPLY DETAILED CONSTRUCTION SCHEDULE TO THE CITY. ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY:
 - A. CITY OF CEDAR FALLS
 - B. OWNER
 - C. CLAPSADDLE-GARBER ASSOCIATES, INC.
5. CONTRACTOR SHALL DISPOSE OF PAVEMENT OFF-SITE.
6. ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.

KEY DEMOLITION CONSTRUCTION NOTES:

- ⓐ REMOVE CONCRETE CURBS TO NEAREST JOINT LINE OR AS INDICATED.

J:\23-DS-0214\wpas5_Sherie\23-DS-0214_C:110 EXISTING CONDITIONS.dwg - C:100 - 03-21-24 - 10:36pm - konnamm



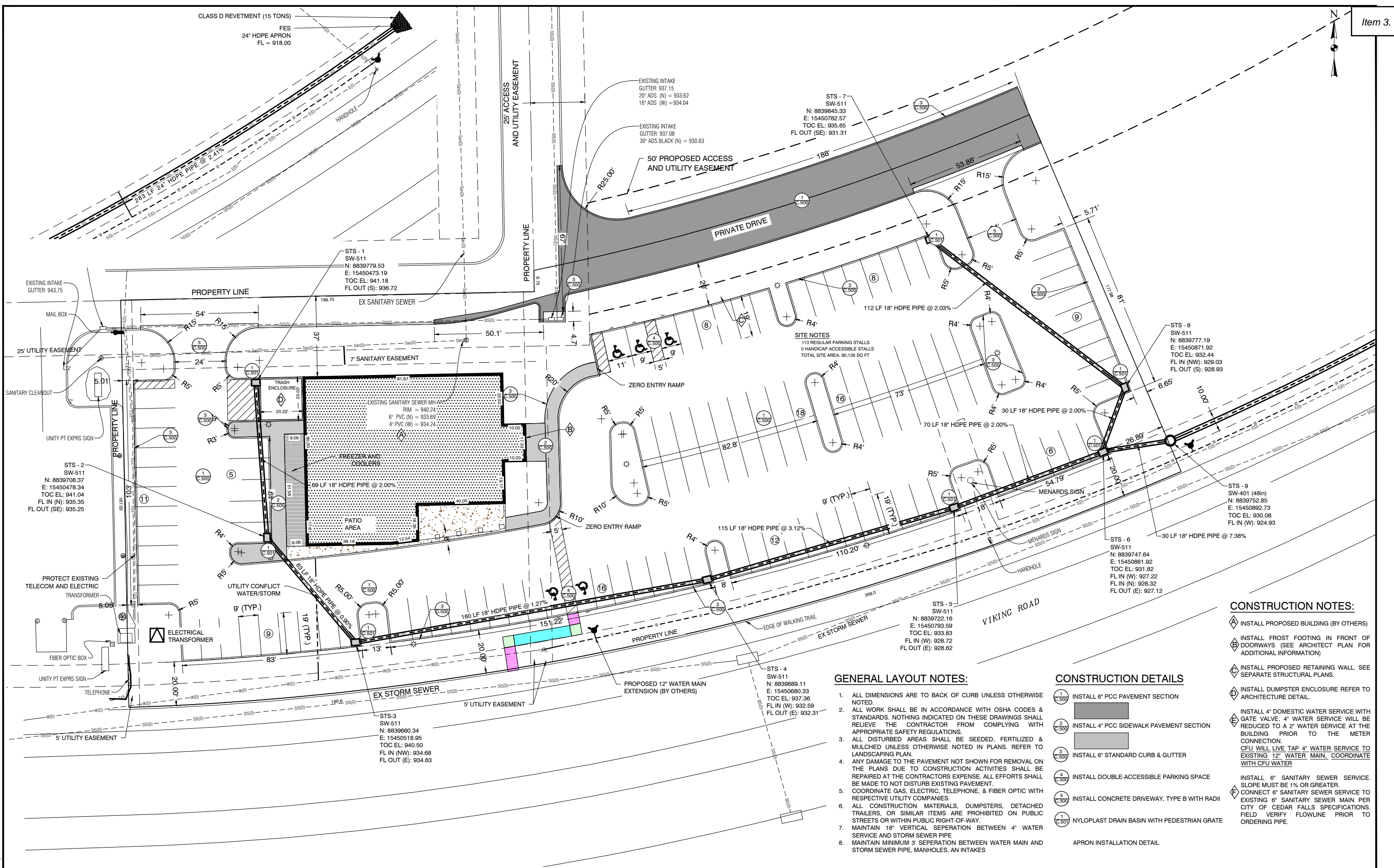
NO.	REVISION	BY	DATE	NO.	REVISION	DATE

GA Clapsaddle-Garber Associates, Inc.
 5106 Nordic Drive
 Cedar Falls, Iowa 50613
 Ph 319-266-0256
 www.cgaconsultants.com

DESIGNED: _____ DATE: _____
 DRAWN: _____ DATE: _____
 CHECKED: _____ DATE: _____
 APPROVED: _____ DATE: _____

BOULDER TAP HOUSE
 CEDAR FALLS, IOWA

EXISTING CONDITIONS & DEMOLITION PLAN



GENERAL LAYOUT NOTES:

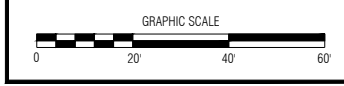
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES & STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH APPROPRIATE SAFETY REGULATIONS.
- ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED & MULCHED UNLESS OTHERWISE NOTED IN PLANS. REFER TO LANDSCAPING PLAN.
- ANY DAMAGE TO THE PAVEMENT NOT SHOWN FOR REMOVAL ON THE PLANS DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE. ALL EFFORTS SHALL BE MADE TO NOT DISTURB EXISTING PAVEMENT.
- COORDINATE GAS, ELECTRIC, TELEPHONE, & FIBER OPTIC WITH RESPECTIVE UTILITY COMPANIES.
- ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
- MAINTAIN 18" VERTICAL SEPERATION BETWEEN 4" WATER SERVICE AND STORM SEWER PIPE
- MAINTAIN MINIMUM 3' SEPERATION BETWEEN WATER MAIN AND STORM SEWER PIPE, MANHOLES, AN INTAKES

CONSTRUCTION DETAILS

- 1. INSTALL 6" PCC PAVEMENT SECTION
 - 2. INSTALL 4" PCC SIDEWALK PAVEMENT SECTION
 - 3. INSTALL 6" STANDARD CURB & GUTTER
 - 4. INSTALL DOUBLE-ACCESSIBLE PARKING SPACE
 - 5. INSTALL CONCRETE DRIVEWAY, TYPE B WITH RADII
 - 6. NYLOPLAST DRAIN BASIN WITH PEDESTRIAN GRATE
- APRON INSTALLATION DETAIL

CONSTRUCTION NOTES:

- Ⓐ INSTALL PROPOSED BUILDING (BY OTHERS)
- Ⓑ INSTALL FROST FOOTING IN FRONT OF DRIVEWAYS (SEE ARCHITECT PLAN FOR ADDITIONAL INFORMATION)
- Ⓒ INSTALL PROPOSED RETAINING WALL. SEE SEPARATE STRUCTURAL PLANS.
- Ⓓ INSTALL DUMPSTER ENCLOSURE REFER TO ARCHITECTURE DETAIL.
- Ⓔ INSTALL 4" DOMESTIC WATER SERVICE WITH GATE VALVE, 4" WATER SERVICE WILL BE REDUCED TO A 2" WATER SERVICE AT THE BUILDING PRIOR TO THE METER CONNECTION. CFU WILL LIVE TAP 4" WATER SERVICE TO EXISTING 12" WATER MAIN, COORDINATE WITH CFU WATER
- Ⓕ INSTALL 6" SANITARY SEWER SERVICE. SLOPE MUST BE 1% OR GREATER.
- Ⓖ CONNECT 6" SANITARY SEWER SERVICE TO EXISTING 6" SANITARY SEWER MAIN PER CITY OF CEDAR FALLS SPECIFICATIONS. FIELD VERIFY FLOWLINE PRIOR TO ORDERING PIPE.



NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

CGA Clapsaddle-Garber Associates, Inc.
 5106 Nordic Drive
 Cedar Falls, Iowa 50613
 Ph 319-266-9256
 www.cgaconsultants.com

DESIGNED: _____ DATE: _____
 DRAWN: _____ DATE: _____
 CHECKED: _____ DATE: _____
 APPROVED: _____ DATE: _____

BOULDER TAP HOUSE
 CEDAR FALLS, IOWA

LAYOUT AND UTILITY PLAN

LEGEND

- TOC TOP OF CURB
- HP HIGH POINT
- LP LOW POINT
- T/W TOP OF WALL
- B/W BOTTOM OF WALL
- 2.0% PROPOSED SLOPE
- PROPOSED DRAINAGE PATTERN

TOPOSOIL & EARTHWORK

TOPOSOIL:
 STRIP = 2,000 CY
 RESPREAD = 520 CY
 WASTE = 1,480 CY

EARTHWORK
 CUT = 2,330 CY
 FILL = 7,710 CY
 BORROW = 5,380 CY

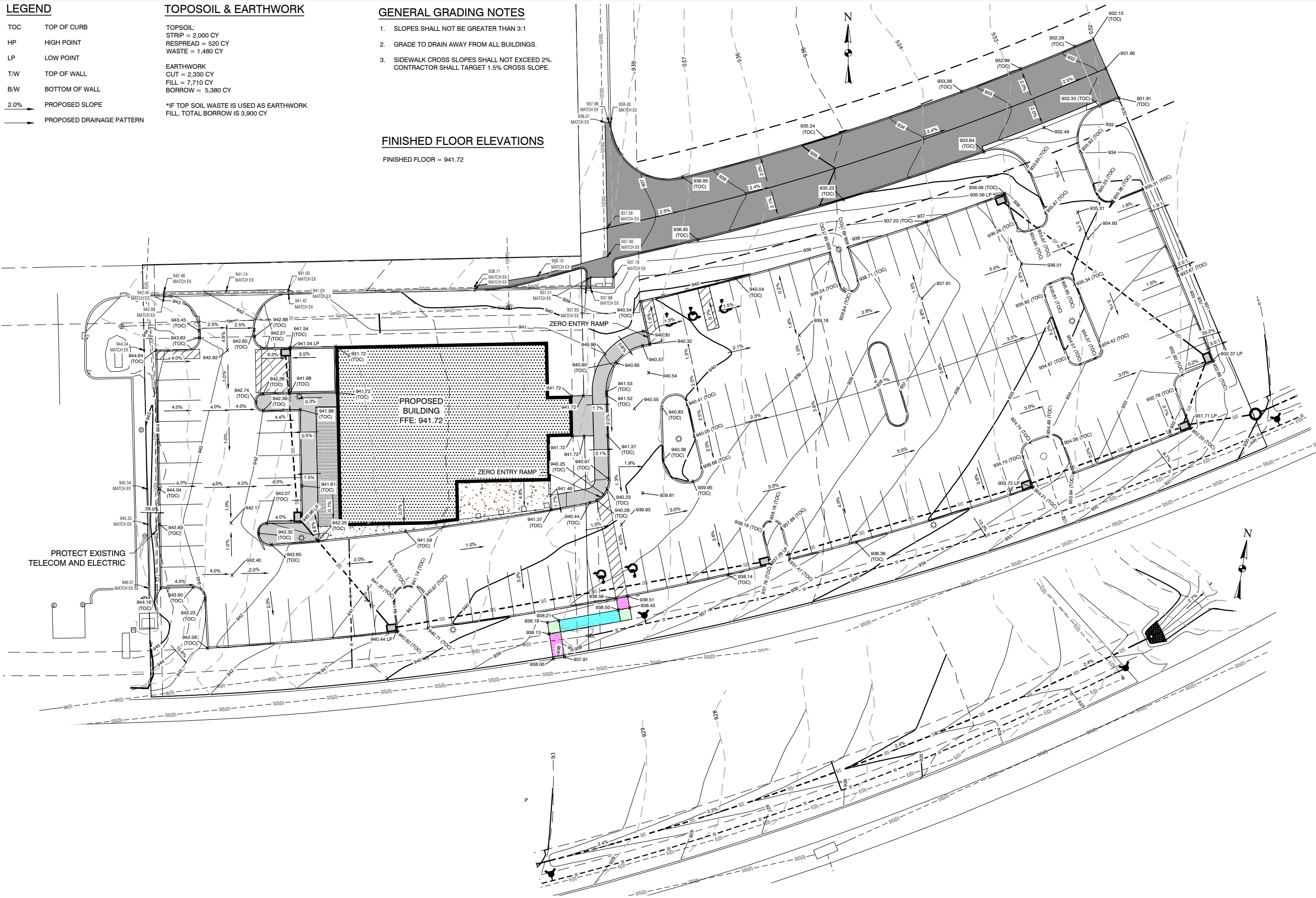
*IF TOP SOIL WASTE IS USED AS EARTHWORK FILL, TOTAL BORROW IS 3,900 CY

GENERAL GRADING NOTES

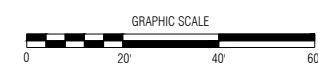
1. SLOPES SHALL NOT BE GREATER THAN 3:1
2. GRADE TO DRAIN AWAY FROM ALL BUILDINGS.
3. SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2%. CONTRACTOR SHALL TARGET 1.5% CROSS SLOPE.

FINISHED FLOOR ELEVATIONS

FINISHED FLOOR = 941.72



PROTECT EXISTING TELECOM AND ELECTRIC



NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

CGA Clapsaddle-Garber Associates, Inc.
 5106 Nordic Drive
 Cedar Falls, Iowa 50613
 Ph 319-266-9256
 www.cgaconsultants.com

DESIGNED: _____ DATE: _____
 DRAWN: _____ DATE: _____
 CHECKED: _____ DATE: _____
 APPROVED: _____ DATE: _____

BOULDER TAP HOUSE
 CEDAR FALLS, IOWA

GRADING PLAN

PROJECT NO. 23-DS-0214
 SHEET NO. C.300

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BLACK HAWK COUNTY, CITY OF CEDAR FALLS
POLLUTION PREVENTION PLAN

ALL CONTRACTORS/SUBCONTRACTORS SHALL CONDUCT THEIR OPERATIONS IN A MANNER THAT MINIMIZES EROSION AND PREVENTS SEDIMENTS FROM LEAVING THE PROJECT SITE. THE PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE AND IMPLEMENTATION OF THE POLLUTION PREVENTION PLAN (PPP) FOR THEIR ENTIRE CONTRACT. THIS RESPONSIBILITY SHALL BE FURTHER SHARED WITH SUBCONTRACTORS WHOSE WORK IS A SOURCE OF POTENTIAL POLLUTION AS DEFINED IN THIS PPP.

1. SITE DESCRIPTION

THIS POLLUTION PREVENTION PLAN (PPP) IS FOR PINNACLE PRAIRIE IN CEDAR FALLS, IOWA INCLUDING XXXXXX. THIS PPP COVERS APPROXIMATELY 1.86 ACRES WITH AN ESTIMATED 1.85 ACRES BEING DISTURBED. THE PORTION OF THE PPP COVERED BY THIS CONTRACT HAS 1.86 ACRES BEING DISTURBED.

THE PPP IS LOCATED IN AN AREA OF AREDALE LOAM-CLYDE-FLOYD COMPLEX-KENYON LOAM SOIL ASSOCIATION. THE ESTIMATED AVERAGE CURVE NUMBER FOR THIS PPP AFTER COMPLETION WILL BE XXXXX.

REFER TO THIS SHEET, AND THE GRADING SHEETS FOR LOCATIONS OF TYPICAL SLOPES, DITCH GRADES, AND MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS. A COPY OF THIS PLAN WILL BE ON FILE AT THE PROJECT ENGINEER'S OFFICE. RUNOFF FROM THIS WORK WILL FLOW INTO XXXXXXX.

2. POTENTIAL SOURCES OF POLLUTION

SITE SOURCES OF POLLUTION GENERATED AS A RESULT OF THIS WORK RELATE TO SILTS AND SEDIMENT WHICH MAY BE TRANSPORTED AS A RESULT OF A STORM EVENT. HOWEVER, THIS PPP PROVIDES CONVEYANCE FOR OTHER NON-PROJECT RUNOFF THAT IS BEYOND THE CONTROL OF THIS PPP. POTENTIALLY THIS RUNOFF CAN CONTAIN VARIOUS POLLUTANTS RELATED TO SITE-SPECIFIC LAND USES. EXAMPLES ARE:

RURAL AGRICULTURAL ACTIVITIES - RUNOFF FROM AGRICULTURAL LAND USE CAN POTENTIALLY CONTAIN CHEMICALS INCLUDING HERBICIDES, PESTICIDES, FUNGICIDES, AND FERTILIZERS.

COMMERCIAL AND INDUSTRIAL ACTIVITIES - RUNOFF FROM COMMERCIAL, INDUSTRIAL, AND COMMERCE LAND USE MAY CONTAIN CONSTITUENTS ASSOCIATED WITH THE SPECIFIC OPERATION. SUCH OPERATIONS ARE SUBJECT TO POTENTIAL LEAKS AND SPILLS WHICH COULD BE COMMINGLED WITH RUNOFF FROM THE FACILITY. POLLUTANTS ASSOCIATED WITH COMMERCIAL AND INDUSTRIAL ACTIVITIES ARE NOT READILY AVAILABLE SINCE THEY ARE TYPICALLY PROPRIETARY.

3. CONTROLS

PRIOR TO BEGINNING GRADING, EXCAVATION, OR CLEARING AND GRUBBING OPERATIONS, SILT FENCE SHALL BE PLACED ALONG THE PERIMETER OF THE AREAS TO BE DISTURBED AT LOCATIONS WHERE RUNOFF CAN MOVE OFFSITE. VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION SHALL BE PRESERVED. AS AREAS REACH THEIR FINAL GRADE, ADDITIONAL SILT FENCE, SILT BASINS, COMPOST FILLED SOCKS, INTERCEPTING DITCHES, SOD FLUMES, LETDOWNS, BRIDGE EDGE DRAINS, AND EARTH DIKES SHALL BE INSTALLED AS SPECIFIED IN THE PLANS AND/OR AS REQUIRED BY THE PROJECT ENGINEER. THIS WILL INCLUDE USING SILT FENCE OR EQUIVALENT AS DITCH CHECKS AND TO PROTECT INTAKES. TEMPORARY STABILIZING MULCH SHALL BE COMPLETED AS THE DISTURBED AREAS ARE CONSTRUCTED. IF CONSTRUCTION ACTIVITY IS NOT PLANNED TO OCCUR IN A DISTURBED AREA FOR AS LEAST 14 DAYS, THE AREA SHALL BE STABILIZED BY TEMPORARY MULCHING IMMEDIATELY. OTHER STABILIZING METHODS SHALL BE USED OUTSIDE THE SEEDING PERIOD.

THIS WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.

AS THE WORK PROGRESSES, ADDITIONAL EROSION CONTROL ITEMS SUCH AS STRAW BALE BARRIER, SEDIMENT TRAPS, AND OTHER APPROPRIATE MEASURES SHALL BE INSTALLED BY THE PRIME OR SUBCONTRACTOR AS DETERMINED BY THE ENGINEER AFTER FIELD INVESTIGATION. THE CONSTRUCTION WILL BE COMPLETED WITH THE ESTABLISHMENT OF PERMANENT PERENNIAL VEGETATION OF ALL DISTURBED AREAS.

4. OTHER CONTROLS

CONTRACTOR DISPOSAL OF UNUSED CONSTRUCTION MATERIALS AND CONSTRUCTION MATERIAL WASTES SHALL COMPLY WITH APPLICABLE STATE AND LOCAL WASTE DISPOSAL, SANITARY SEWER, OR SEPTIC SYSTEM REGULATIONS. IN THE EVENT OF A CONFLICT WITH OTHER GOVERNMENTAL LAWS, RULES AND REGULATIONS, THE MORE RESTRICTIVE LAWS, RULES OR REGULATIONS SHALL APPLY.

5. APPROVED STATE OR LOCAL PLANS

DURING THE COURSE OF THIS CONSTRUCTION, IT IS POSSIBLE THAT SITUATIONS WILL ARISE WHERE UNKNOWN MATERIALS WILL BE ENCOUNTERED. WHEN SUCH SITUATIONS ARE ENCOUNTERED, THEY WILL BE HANDLED ACCORDING TO ALL FEDERAL, STATE AND LOCAL REGULATIONS IN EFFECT AT THE TIME.

6. MAINTENANCE

THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES IN PROPER WORKING ORDER, INCLUDING CLEANING, REPAIRING, OR REPLACING THEM THROUGHOUT THE CONTRACT PERIOD. CLEANING OF SILT CONTROL DEVICES SHALL BEGIN WHEN THE FEATURES HAVE LOST 50% OF THEIR CAPACITY.

7. INSPECTIONS

INSPECTIONS SHALL BE MADE JOINTLY BY THE CONTRACTOR AND THE CONTRACTING AUTHORITY (IF APPLICABLE) EVERY SEVEN CALENDAR DAYS. THE CONTRACTOR SHALL IMMEDIATELY BEGIN CORRECTIVE ACTION ON ALL DEFICIENCIES FOUND. THE FINDINGS OF THIS INSPECTION SHALL BE RECORDED IN THE SWPPP BOOKLET OR PROJECT DIARY. THIS PPP MAY BE REVISED BASED ON THE FINDINGS OF THE INSPECTION. THE CONTRACTOR SHALL IMPLEMENT ALL REVISIONS. ALL CORRECTIVE ACTIONS SHALL BE COMPLETED WITHIN 3 CALENDAR DAYS OF THE INSPECTION.

8. NON-STORM DISCHARGES

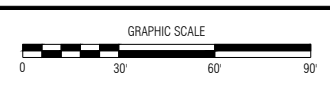
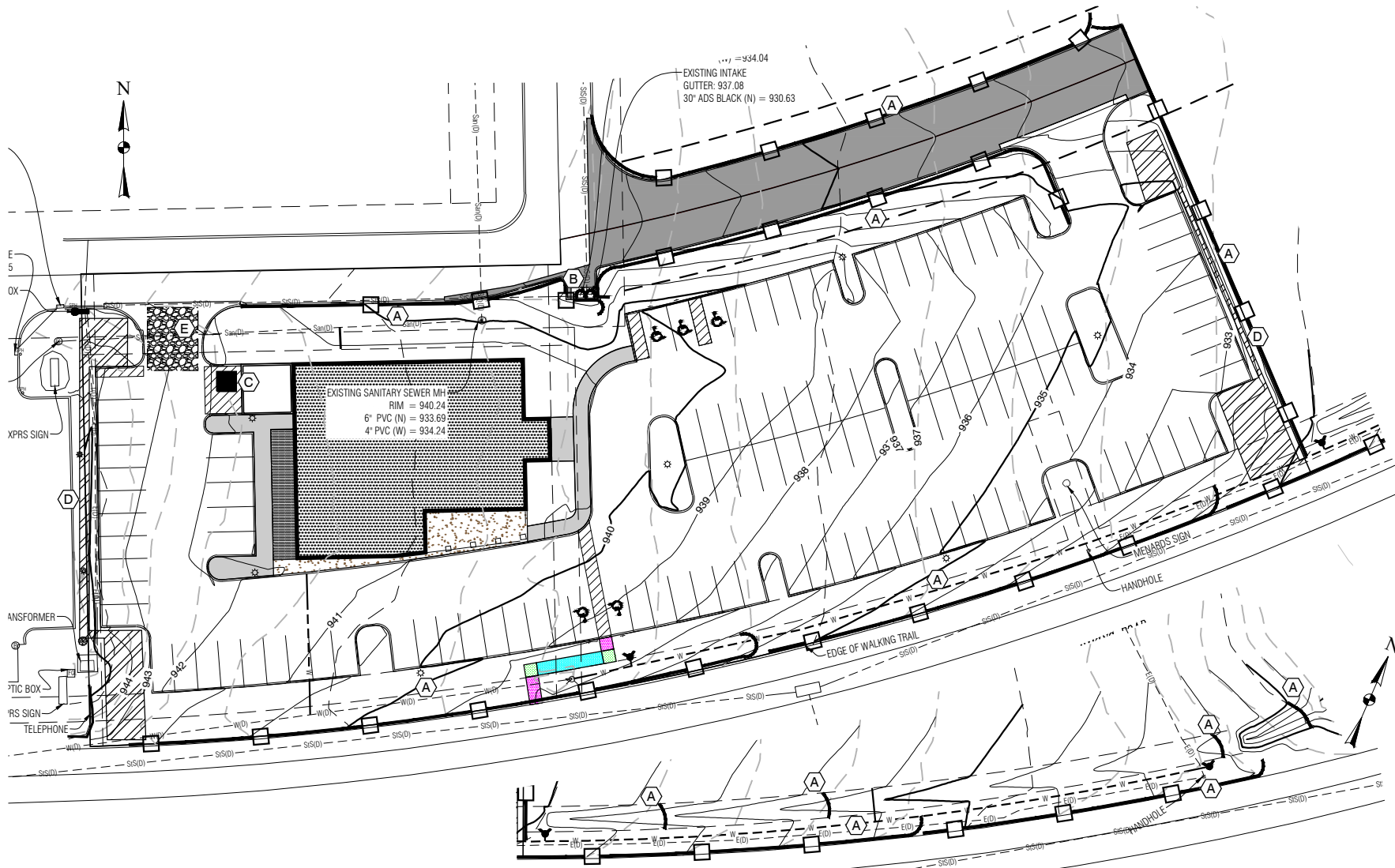
THIS INCLUDES SUBSURFACE DRAINS (I.E. LONGITUDINAL AND STANDARD SUBDRAINS), SLOPE DRAINS AND BRIDGE END DRAINS. THE VELOCITY OF THE DISCHARGE FROM THESE FEATURES MAY BE CONTROLLED BY THE USE OF PATIO BLOCKS, CLASS A STONE OR EROSION STONE.

9. GENERAL NOTES

- A. THE ABOVE PLAN IS NOT THE COMPLETE STORM WATER PREVENTION PLAN (SWPPP), BUT RATHER A PART OF THE SWPPP THAT IS TO BE UPDATED REGULARLY BY THE CONTRACTOR. IT IS PRIME CONTRACTORS RESPONSIBILITY TO DEVELOP AND UPDATE THE SWPPP PLAN AS NEED AS WELL AS CONDUCT ANY NECESSARY INSPECTIONS IN ACCORDANCE WITH IOWA DNR, EPA, AND JURISDICTION GUIDELINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ANY DEFICIENCIES, CORRECTING THOSE DEFICIENCIES IMMEDIATELY AND DOCUMENTING SUCH WITH THE SWPPP. ALL EROSION CONTROL ITEMS EXCEPT THE TURF REINFORCEMENT MAT SHALL BE REMOVED AT THE END OF THE PROJECT.
- B. ALL STOCK PILES NOT INTENDED TO BE REDISTRIBUTED IN 14 DAYS MUST BE SEED OR OTHERWISE CONTROLLED WITH EROSION CONTROL FEATURES IMMEDIATELY AFTER STOCK PILING. STOCK PILE LOCATIONS SHALL BE APPROVED BY THE OWNER.
- C. THE GENERAL CONTRACTOR SHALL PROVIDE CONTAINMENT OF ALL SOURCES OF POTENTIAL POLLUTION INCLUDING FUELING AREA, PORTABLE SANITARY FACILITIES, WASTE DEPOSITORY AREAS (DUMPSTER LOCATIONS), AND OTHER POLLUTION SOURCES. ALL AREAS WHERE CONCRETE TRUCKS ARE WASHED OUT SHALL BE DEFINED AND CONTAINED ON SITE. CONCRETE WASHOUT AREA SHALL BE CLEARLY MARKED AND THE CONTRACTOR SHALL CLEAN OUT THIS AREA PRIOR TO FINALIZING THE PROJECT (INCIDENTAL). ALL EROSION CONTROL DEVICES MUST BE MAINTAINED AS STATED IN THE POLLUTION PREVENTION PLAN.
- D. CONTRACTOR SHALL TAKE PRECAUTIONS TO INSURE THAT EQUIPMENT, VEHICLES, AND PLANTING OPERATIONS DO NOT DISTURB OR DAMAGE EXISTING GRADES, WALLS, DRIVES, PAVEMENT, UTILITIES, PLANTS, LAWNS, IRRIGATION SYSTEMS, AND OTHER FACILITIES. REPAIR, REPLACE, AND/OR RETURN TO ORIGINAL CONDITION ANY DAMAGED ITEM, WITHOUT ADDITIONAL COMPENSATION.
- E. THE CONTRACTOR SHALL PREVENT ACCUMULATION OF EARTH, SILTATION, OR DEBRIS ON ADJOINING PUBLIC OR PRIVATE PROPERTY FROM THE PROJECT SITE. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AT NO COST TO THE OWNER. TAKE REMEDIAL ACTIONS FOR PREVENTION, REPAIR, REPLACE, AND/OR RETURN TO ORIGINAL CONDITION, WITHOUT ADDITIONAL COMPENSATION.
- F. THE COST FOR THIS WORK SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID.

10. CONSTRUCTION NOTES:

- (A) INSTALL SILT FENCE OR COMPOST FILLED SOCK - TO BE REMOVED AT THE END OF THE PROJECT.
- (B) INSTALL INLET PROTECTION - TO BE REMOVED AT THE END OF THE PROJECT.
- (C) INSTALL CONCRETE WASH OUT AREA - TO BE REMOVED & RESTORED AT THE END OF THE PROJECT.
- (D) ROLLED MULCH OR ROLLED STRAW MATT PER SUDAS
- (E) INSTALL STABILIZED CONSTRUCTION ENTRANCE.



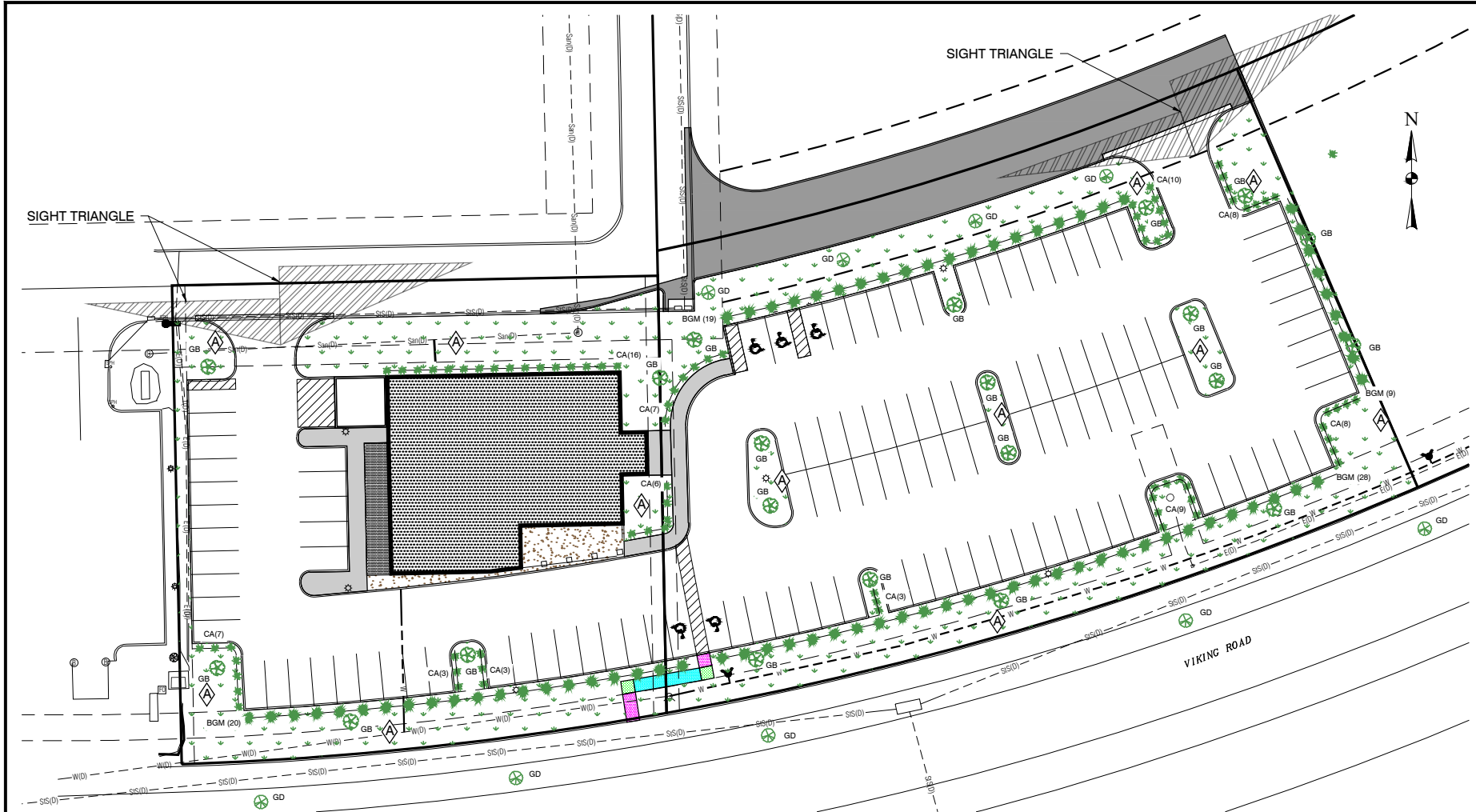
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BOULDER TAP HOUSE
CEDAR FALLS, IOWA

STORM WATER POLLUTION PREVENTION PLAN



CITY ORDINANCE:

- IF THE DEVELOPMENT SITE INCLUDES INTERNAL STREETS OR PRINCIPAL ACCESSWAYS A 20-FOOT SETBACK CONSISTING OF LANDSCAPE MATERIAL SHALL BE PROVIDED ADJACENT TO SAID STREET RIGHT-OF-WAY OR PRINCIPAL ACCESSWAY. NO STRUCTURE OR PARKING AREAS WILL BE ALLOWED WITHIN THIS SETBACK AREA. ALL SIGNAGE SHALL PROVIDE A TEN-FOOT SETBACK FROM THE PROPERTY LINE ALONG ALL PUBLIC RIGHTS-OF-WAY AND PRINCIPAL ACCESSWAYS. ALL SIGNAGE INSTALLED PRIOR TO SEPTEMBER 19, 2016, SHALL BE CONSIDERED CONFORMING SIGNS.
- LANDSCAPING/OPEN SPACE REQUIREMENTS. THE MINIMUM REQUIRED LANDSCAPE AREA SHALL BE TEN PERCENT OF THE TOTAL DEVELOPMENT SITE AREA OF THE REQUIRED DISTRICT EXCLUDING THE PERIMETER SETBACK AREA AS SPECIFIED HEREIN. IT IS THE INTENT OF THIS REGULATION THAT IN LARGER DEVELOPMENT SITES OPEN SPACE AND LANDSCAPE AREAS SHOULD BE DISTRIBUTED THROUGHOUT THE DEVELOPMENT SITE RATHER THAN ISOLATED IN ONE AREA OF THE SITE. A MINIMUM OF 0.02 POINTS PER SQUARE FOOT OF TOTAL DEVELOPMENT SITE AREA SHALL BE ACHIEVED WITH PLANTING OF A COMBINATION OF TREES AND SHRUBBERY. IF, IN THE JUDGMENT OF THE PLANNING AND ZONING COMMISSION THE REQUIRED NUMBER OF POINTS RESULT IN AN EXCESSIVE NUMBER OF PLANTINGS, UP TO TEN PERCENT OF THE TOTAL REQUIRED POINTS CAN BE ASSIGNED TO OPEN GREEN SPACE AT THE RATE OF ONE POINT FOR EACH 500 SQUARE FEET OF OPEN GREEN SPACE.
- STREET TREE PLANTING. A MINIMUM OF 0.75 POINTS PER LINEAR FOOT OF STREET FRONTAGE SHALL BE REQUIRED.
- PARKING AREAS. IN ADDITION TO THE OPEN SPACE AND LANDSCAPING REQUIREMENTS SPECIFIED HEREIN, TREE PLANTINGS AND OTHER LANDSCAPE TREATMENTS SHALL BE REQUIRED WITHIN DESIGNATED PARKING AREAS. THE INTENT OF THIS REQUIREMENT SHALL BE TO PROVIDE SHADE AND VISUAL RELIEF IN LARGE PARKING AREAS. IT IS RECOMMENDED THAT AT LEAST ONE OVERSTORY TREE BE ESTABLISHED FOR EVERY 15 PARKING STALLS OR 2,500 SQUARE FEET OF HARD SURFACED PARKING SPACE AREA. SAID TREES SHALL BE PROVIDED WITH A PROTECTED ISLAND AND ADEQUATE PERMEABLE SURFACE AREA TO PROMOTE GROWTH AND FULL MATURITY. SHRUBBERY, UNDERSTORY TREES, OR LANDSCAPE BERMS ARE TO BE REQUIRED AROUND THE PERIMETER OF ALL PARKING AREAS CONTAINING TEN OR MORE PARKING STALLS.
- MEASURED COMPLIANCE. THE POINT SCHEDULE BELOW AND CONDITIONS APPLY TO REQUIRED LANDSCAPING IN ALL ZONES AND SHALL BE USED IN DETERMINING ACHIEVED POINTS FOR REQUIRED PLANTING:

LANDSCAPE NOTES:

- PLANT QUANTITIES ARE FOR INFORMATION ONLY; DRAWING SHALL PREVAIL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BASING BID ACCORDINGLY.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3". WALNUT PRODUCTS ARE PROHIBITED.
- KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI 260-2004, OR MOST RECENT EDITION.
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE ENGINEER.
- THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND INITIAL ACCEPTANCE OF THE PROJECT.
- SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE ENGINEER FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT SCHEDULE. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON DRAWINGS.
- STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.

LANDSCAPE CONSTRUCTION NOTES:

- TYPE 1 LAWN MIXTURE (HYDROSEED OR SOD)

SITE INFORMATION:

TOTAL SITE AREA = 83,043 S.F.

EXISTING

- GREEN SPACE AREA = 80,028 S.F.
- ACCESS ROADWAY = 3015 S.F.
- GRAVEL AREA = 0 S.F.
- EXISTING BUILDING AREA = 0 S.F.

PROPOSED

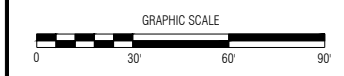
- GREEN SPACE AREA = 24,384 S.F.
- ALL IMPERVIOUS AREAS (W/O BUILDING) = 51,530 S.F.
- PROPOSED BUILDING AREA = 7,130 S.F.

OPEN SPACE REQUIREMENTS

DESCRIPTION	REQUIRED	PROVIDED
TOTAL DEVELOPED SITE AREA	-	83,043 S.F.
GREEN SPACE	10%	24,384 S.F. (29.4%)

DESCRIPTION	POINTS / UNIT	PROPOSED STREET	PROPOSED ENTIRE SITE
OVERSTORY TREES			
4" CALIPER OR GREATER	100		
3" CALIPER OR GREATER	90		
2" CALIPER OR GREATER	80	9	21
UNDERSTORY TREES			
2" CALIPER OR GREATER	40		
1.5" CALIPER OR GREATER	30		
1" CALIPER OR GREATER	20		
SHRUBS			
5 GALLON OR GREATER	10		
2 GALLON OR GREATER	5		76
CONIFERS			
10' HEIGHT OR GREATER	100		
8' HEIGHT OR GREATER	90		
6' HEIGHT OR GREATER	80		
5' HEIGHT OR GREATER	40		
4' HEIGHT OR GREATER	30		
3' HEIGHT OR GREATER	20		
TOTAL POINTS		960	2060
REQUIRED (0.02 X 83,043 SF AREA)	1661		
REQUIRED (0.75 X 934LF STREET)	701		
REQUIRED (1 OVERSTORY TREE PER 2500 SF PARKING) 45,500 SF PARKING LOT	19		
Overall Combined Points		3020	

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
Overstory Trees				
GD	GYMNOCLADUS DIOICA 'ESPRESSO'	ESPRESSO KENTUCKY COFFEE	9	2" CALIPER
GB	GINKGO BILOBA	GINKGO (MALE ONLY)	21	2" CALIPER
Shrubs				
BGM	BUXUS X 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	76	#3 CNT
Ornamental Grasses				
CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER GRASS	80	#1 (12" TALL X 6" WIDE)



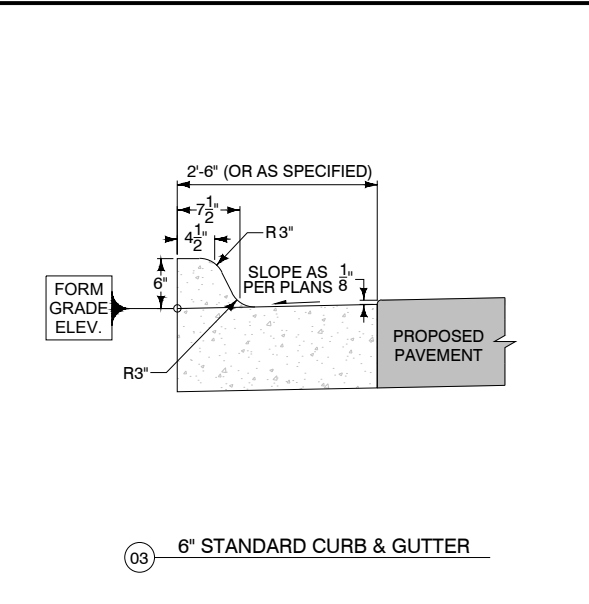
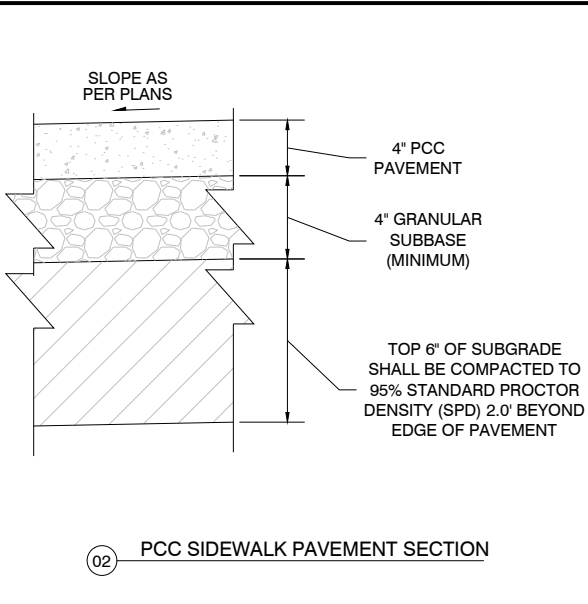
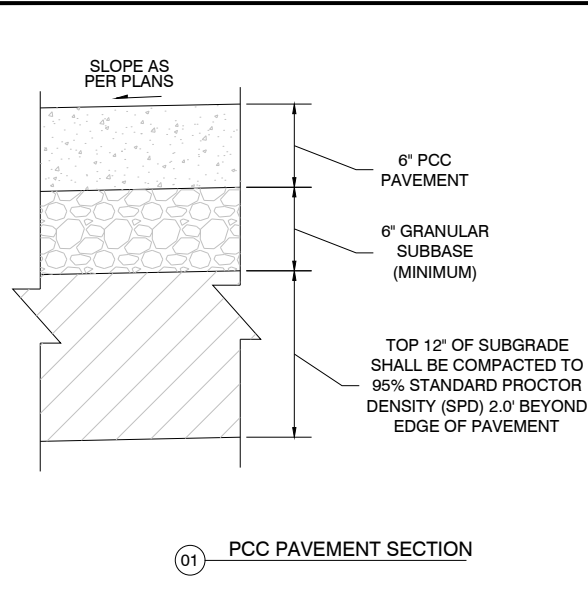
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CEDAR FALLS, IOWA

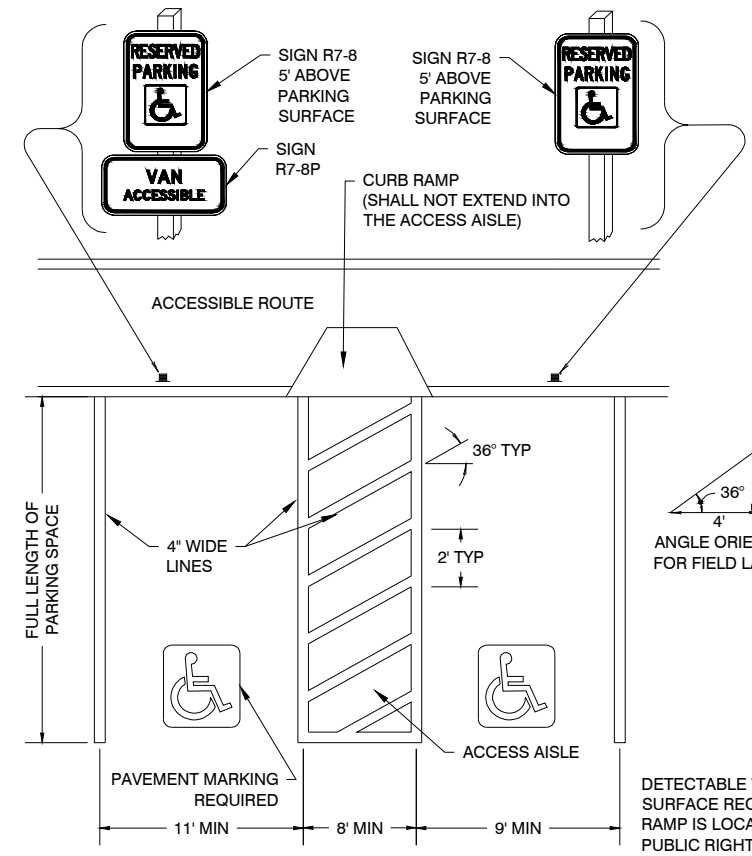
LANDSCAPING



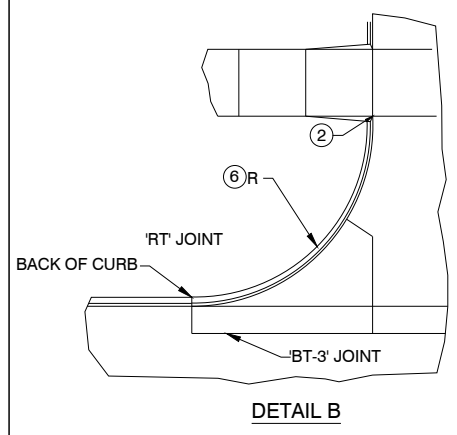
01 PCC PAVEMENT SECTION

02 PCC SIDEWALK PAVEMENT SECTION

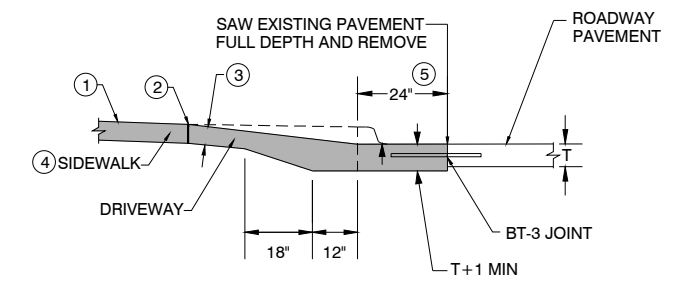
03 6" STANDARD CURB & GUTTER



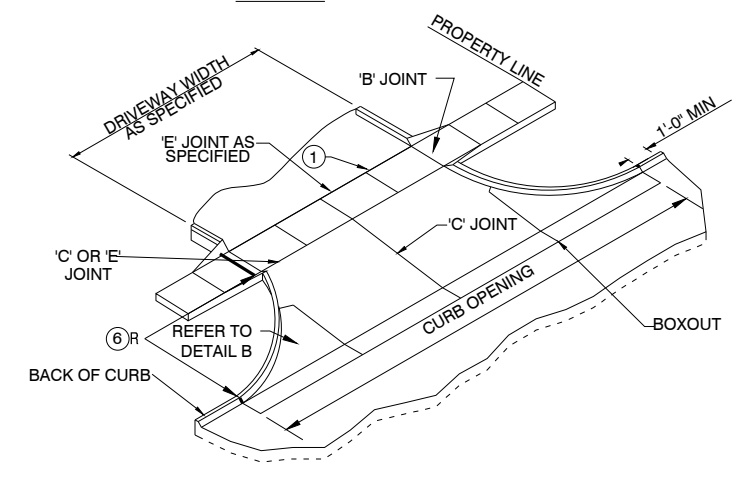
04 DOUBLE-ACCESSIBLE PARKING SPACE



DETAIL B



SECTION A-A



05 CONCRETE DRIVEWAY, TYPE B WITH RADII

- 1 CROSS SLOPE AT SIDEWALK SHALL NOT EXCEED 2%.
 - 2 TRANSITION THE CURB HEIGHT TO 0 INCHES AT END OF TAPER/RADIUS OR AT THE FRONT EDGE OF SIDEWALK. DO NOT EXTEND RAISED CURB ACROSS SIDEWALK.
 - 3 PAVEMENT THICKNESS = 8".
 - 4 SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY.
 - 5 IF LONGITUDINAL JOINT IS LOCATED 48 INCHES OR LESS FROM THE BACK OF CURB, EXTEND BOXOUT TO JOINT LINE. FULL DEPTH SAW CUT IS STILL REQUIRED.
- DRIVEWAY RADIUS (R) AS SPECIFIED IN THE CONSTRUCTION DOCUMENTS

SUDAS REFERENCED DETAILS	
FIGURE NUMBER	NAME
4040.231	SUBDRAINS
4040.232	SUBDRAIN CLEANOUTS
7030.102	CONCRETE DRIVEWAY, TYPE B
7030.201	CLASSES OF SIDEWALK
7030.204	GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK
7030.207	CURB RAMP FOR CLASS B OR C SIDEWALK
7030.210	DETECTABLE WARNING PLACEMENT
9040.102	FILTER BERM & FILTER SOCK
9040.110	RIP RAP FOR PIPE OUTLET ONTO FLAT GROUND
9040.119	SILT FENCE
9040.120	STABILIZED CONSTRUCTION ENTRANCE

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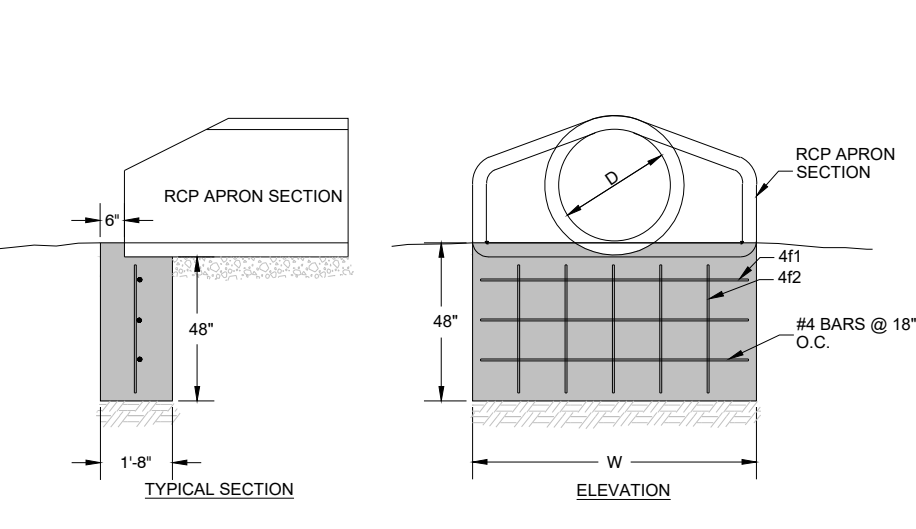
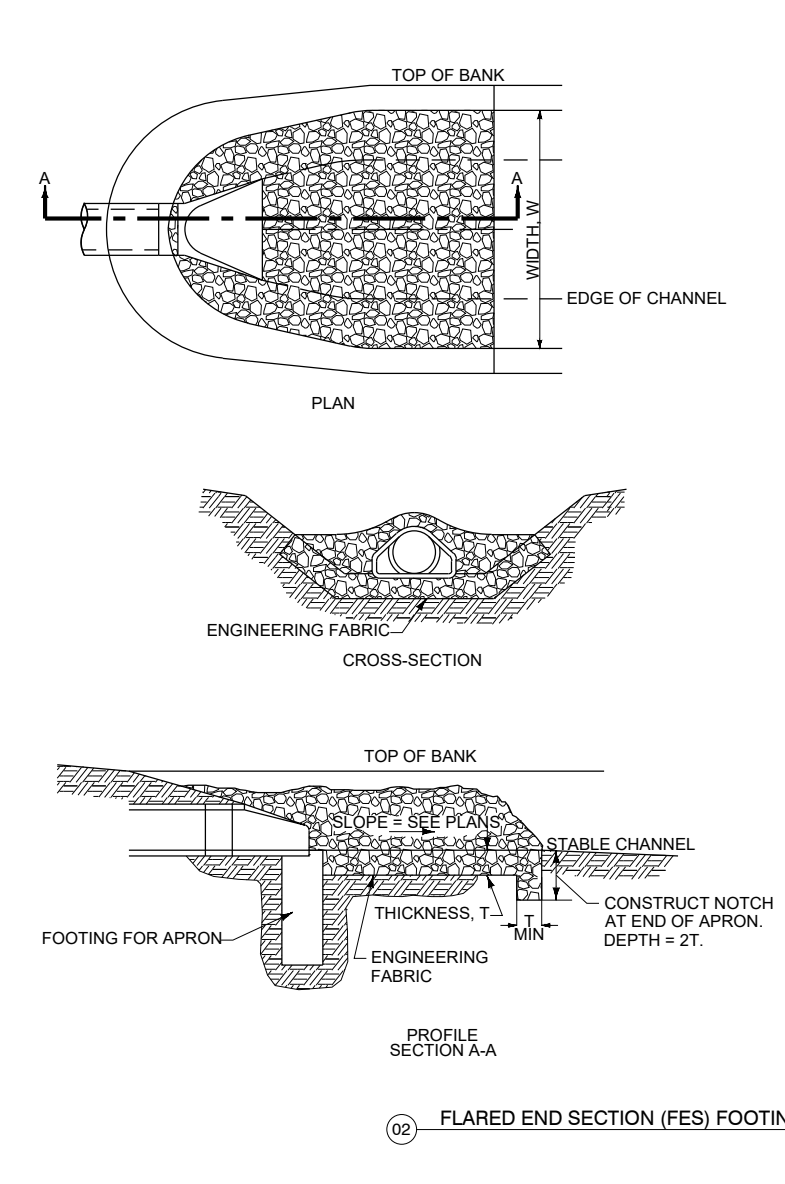
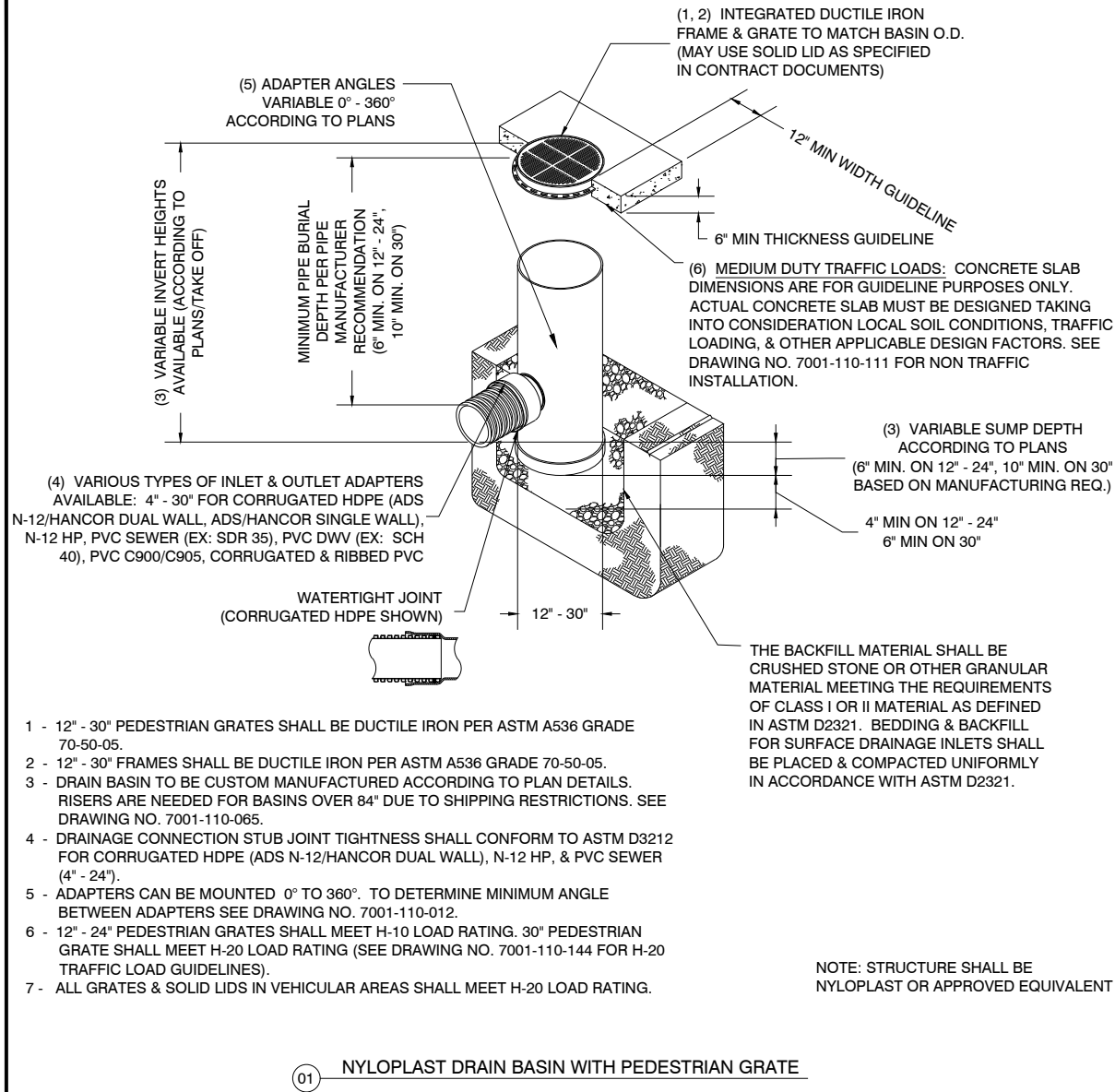
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BOULDER TAP HOUSE
 CEDAR FALLS, IOWA

TYPICAL DETAILS

PROJECT NO. 23-DS-0214
 SHEET NO. C.500

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REINFORCING BAR LIST

D	W	Mark	Size	Length	Count
12"	2'-4"	4f1	4	2'-0"	3
		4f2	4	3'-8"	2
15"	2'-10 1/2"	4f1	4	2'-6 1/2"	3
		4f2	4	3'-8"	2
18"	3'-5"	4f1	4	3'-1"	3
		4f2	4	3'-8"	3
24"	4'-6"	4f1	4	4'-2"	3
		4f2	4	3'-8"	3
30"	5'-7"	4f1	4	5'-3"	3
		4f2	4	3'-8"	4
36"	6'-8"	4f1	4	6'-4"	3
		4f2	4	3'-8"	5
42"	7'-3"	4f1	4	6'-11"	3
		4f2	4	3'-8"	5

D	W	Mark	Size	Length	Count
48"	7'-10"	4f1	4	7'-6"	3
		4f2	4	3'-8"	6
54"	8'-5"	4f1	4	8'-1"	3
		4f2	4	3'-8"	6
60"	8'-11"	4f1	4	8'-7"	3
		4f2	4	3'-8"	6
66"	8'-11"	4f1	4	8'-7"	3
		4f2	4	3'-8"	6
72"	10'-0"	4f1	4	9'-8"	3
		4f2	4	3'-8"	7
78"	10'-7"	4f1	4	10'-3"	3
		4f2	4	3'-8"	7
84"	11'-1"	4f1	4	10'-9"	3
		4f2	4	3'-8"	8

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BOULDER TAP HOUSE
 CEDAR FALLS, IOWA

TYPICAL DETAILS

PROJECT NO. 23-DS-0214
 SHEET NO. C.501







- EXTERIOR FINISH MATERIALS**
-  THIN VENEER STONE
ASHEN DRY STACK
 -  ENGINEERED WOOD SOFFIT & TRIM
COLOR: CANYON
 -  ENGINEERED 8" WOOD SIDING A
COLOR: CHESTNUT
 -  ENGINEERED 8" WOOD SIDING B
COLOR: GRAPHITE
 -  UNA-CLAD FLUSH FASCIA PANEL
COLOR: MATTE BLACK
 -  STANDING SEAM METAL ROOF
COLOR: MATTE BLACK

1 PROPOSED EAST ELEVATION
1" = 10'-0" FENESTRATIONS = 25%



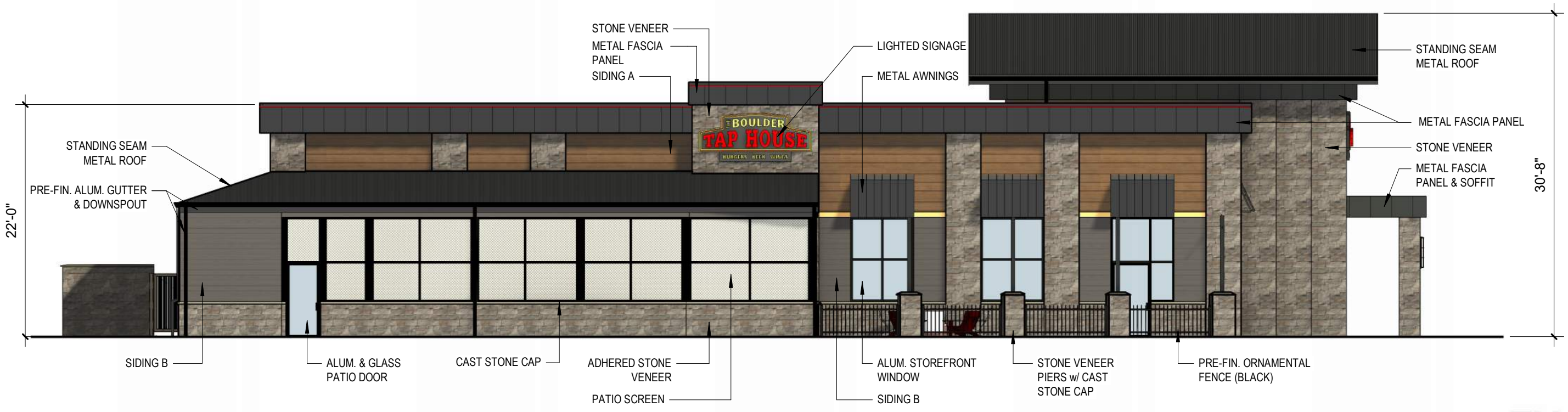
2 PROPOSED NORTH ELEVATION
1" = 10'-0" FENESTRATIONS = 14%

EXTERIOR FINISH MATERIALS

-  THIN VENEER STONE
ASHEN DRY STACK
-  ENGINEERED WOOD SOFFIT & TRIM
COLOR: CANYON
-
-
-
-  UNA-CLAD FLUSH FASCIA PANEL
COLOR: MATTE BLACK
-  STANDING SEAM METAL ROOF
COLOR: MATTE BLACK



2 PROPOSED WEST ELEVATION
1" = 10'-0" FENESTRATIONS = 2%



1 PROPOSED SOUTH ELEVATION
1" = 10'-0" FENESTRATIONS = 26%



Project:
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2/14/2023
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23-14810

FUSION
ARCHITECTS, INC.



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FUSION
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Date:
2/14/23