



**AGENDA
CITY OF CEDAR FALLS, IOWA
PLANNING AND ZONING COMMISSION MEETING
WEDNESDAY, JANUARY 23, 2019
5:30 PM AT CITY HALL**

Call to Order and Roll Call

Approval of Minutes

1. Planning and Zoning Commission Minutes of January 9, 2019.

Public Comments

Old Business

- 2. College Hill Neighborhood Overlay District - Site Plan Review: 2119 College Street (DEFERRED)**

Location: 2119 College Street, 925 W. 22nd Street, & 1003 W. 22nd Street

Applicant: CV Commercial, LLC., Owner; Slingshot Architects, Architect

Previous discussion: November 28, 2018, December 12, 2018, January 9, 2019

Recommendation: *Recommend Approval*

P&Z Action: *Item deferred until City Council considers proposed zoning code amendments for the College Hill Overlay Zoning District.*

New Business

3. **Land Use Map Amendment and Rezoning – SE Corner of Union Road and West 12th Street**

Location: SE Corner of Union Road and West 12th Street

Applicant: Brent Dahlstrom, Owner; NewAldaya Lifescapes, Fehr Graham Engineering

Previous discussion: None

Recommendation: *Review and continue discussion.*

P&Z Action: *Provide direction and comments for the February 13 P&Z Meeting*

4. **Greenhill Village Townhomes II Preliminary Plat**

Location: 5.3 acres southeast of the Greenhill Road and Hudson Road intersection

Applicant: Panther Farms LLC – owner; CGA Engineers – Civil Engineer

Previous discussion: None

Recommendation: *Review and continue discussion.*

P&Z Action: *Provide direction and comments for the February 13th P&Z meeting*

5. **Greenhill Village Townhomes II Site Plan**

Location: Lot 1 in the proposed Greenhill Village Townhomes II Subdivision

Applicant: Panther Farms LLC – owner; CGA Engineers – Civil Engineer

Previous discussion: None

Recommendation: *Review and continue discussion.*

P&Z Action: *Provide direction and comments for the February 13th P&Z meeting*

Commission Updates

Adjournment

Reminders:

February 13th & 27th Planning and Zoning Commission Meetings
February 4th & 18th City Council Meetings

**Cedar Falls Planning and Zoning Commission
Regular Meeting
January 9, 2019
City Hall Council Chambers
220 Clay Street, Cedar Falls, Iowa**

MINUTES

The Cedar Falls Planning and Zoning Commission met in regular session on Wednesday, January 9, 2019 at 5:30 p.m. in the City Hall Council Chambers, 220 Clay Street, Cedar Falls, Iowa. The following Commission members were present: Adkins, Giarusso, Hartley, Holst, Leeper, Saul and Wingert. Larson and Oberle were absent. Karen Howard, Community Services Manager and David Sturch, Planner III, were also present. Holst presided as acting chair due to Oberle's absence.

- 1.) Acting Chair Holst noted the Minutes from the December 12, 2018 regular meeting are presented. Mr. Hartley made a motion to approve the Minutes as presented. Ms. Adkins seconded the motion. The motion was approved unanimously with 7 ayes (Adkins, Giarusso, Hartley, Holst, Leeper, Saul and Wingert), and 0 nays.

- 2.) The first item of business was Zoning Code Text Amendments – Proposed changes to Section 29-160, College Hill Neighborhood Overlay Zoning District to define and clarify standards for mixed-use buildings. Acting Chair Holst introduced the item and Ms. Howard provided background information. She explained that a public notice was published in the Waterloo Courier and it has been entered into public record. She went on to discuss the goals of the amendments. The primary goal is to clear up the ambiguous and confusing language in the College Hill Overlay District and establish clear and objective standards in the code to facilitate consistent review and approval of proposed development. The changes are intended to further the existing Comprehensive Plan goals for the College Hill Neighborhood, including improvement of pedestrian access, spurring local development of more mixed-use storefronts with apartment dwellings above and to link the “Upper Hill” and the “Lower Hill” along College Street into a more cohesive, walkable area. She noted that there will likely be an upcoming study of public parking in College Hill, so the proposed zoning amendments may need to be adjusted after the parking study is completed. She also discussed the hidden costs of setting aside too much land for private off-street parking. As requested by the Commission after conflicting opinions about the interpretation of the zoning ordinance for several previous development requests, staff is recommending to delete ambiguous and confusing language in the code regarding principal and secondary uses, define mixed use buildings and establish parking standards for residential dwelling units within a mixed-use building. In addition, staff is recommending to establish building design standards for mixed-use buildings that address safe and prominent building entries, quality storefront design and standard for high quality building materials and building articulation to match what is required for multiple dwellings within the College Hill Overlay. There would also be some minor clean-up on the terms used for different types of dwellings to match Section 29-2, Definitions. Staff recommends approval of the proposed zoning code amendments.

Jerry Geisler, 4412 S. Hudson Road, stated that he did not get his paperwork in to the Commission in time to be a part of the record, but at the last meeting it was mentioned that a lot of the students come from middle income families and are looking for a cheaper place to live. He noted that in his experience the students want to have the maximum amount of tenants in a unit to keep costs down, but they also all have vehicles. He feels that parking requirements should be more than one vehicle per bedroom to accommodate the added tenants.

Mr. Sturch noted that there are letters that were submitted and given to the Commission after the packets were compiled.

Eashaan Vajpeyi, 3831 Convair Lane, feels there is a distinct difference between any preliminary parking studies in the downtown area, where the developments are more expensive and tenants have higher incomes and fewer vehicles, and the parking situation on the Hill. He mentioned a survey of landlords of college students that showed that 98% of the students own cars. The students will typically walk to class from their apartment, leaving their cars parked in the available spaces during the day. This does not allow much turnover for commercial/visitor parking. He stated his opinion that city parking is not there for residents of developers to capture and use for their purposes. Mr. Vajpeyi recited a quote from Maggie Miller, former director of government relations for University of Northern Iowa. "Every student I know that lives off campus owns a car. There's really not a way to live in this city without a car. We've had a problem with Urban Flats." He stated that the Urban Flats project was passed through with the agreement that the students were to buy a UNI parking pass, however there was no verification in place and there is only one lot where a 24 hour pass can be purchased. He feels a study needs to be done before another project like that is approved.

Kamyar Enshayan, 1703 Washington Street, board member of the College Hill Partnership, stated that a letter of support of the change was sent to the Commission. The Partnership's goal is to encourage vitality, walkability and bike-ability on the Hill and they feel that the change is a reasonable step forward.

Dan Drendel, Slingshot Architecture, stated that he is in support of what staff is recommending and appreciates the Commission's work to remove ambiguity from the code. He feels this is a good interim step until the parking study is completed.

Brian Sires, 1939 College Street, agreed with the majority of the comments made. He stated that College Hill will change over time and he encourages the Commission to create adequate parking for the future to accommodate those changes.

Ryan Kriener, 4487 Donald Drive, asked about an opportunity for using remote, off-site parking to serve the needs of residents and whether that would be added to the code. Ms. Howard stated that this is an option that could be considered with the larger parking study and future code amendments.

Becky Hawbaker, 2309 College Street, commented that the Hill is changing and bringing more variety. As a resident of the area, she feels that density should be built to create walkable neighborhoods. As new businesses are coming in, there is less of a need for students to drive.

Mr. Leeper made a motion to approve. Mr. Wingert seconded the motion.

Mr. Leeper understands the parking concerns but feels that the increased density and walkability is a good goal.

Ms. Giarusso stated that she feels that the parking study should include the University of Northern Iowa. She feels that there may be students who don't drive often or at all and may be willing to park further from their residences as they walk to classes.

Ms. Saul feels that the study should be done before any changes are made.

Mr. Hartley likes the change and feels it provides a measured solution in the interim until completion of the study.

Mr. Holst supports the parking study for gathering information.

Ms. Adkins asked about the timeframe for the study. Howard responded that there has not been a specific timeline determined at this time.

The motion was approved with 4 ayes (Hartley, Holst, Leeper and Wingert), and 3 nays (Adkins, Giarusso and Saul).

- 3.) The next item for consideration by the Commission was a College Hill Neighborhood Overlay District Site Plan Review for 2119 College Street. Mr. Holst introduced the item and Mr. Wingert noted that he will not be abstaining from the vote as he has no conflict of interest in the matter. Mr. Sturch provided a brief summary of the project, including the number of units and proposed parking. He discussed the current code requirements with regard to parking stalls as well as proposed elevation from different perspectives. He displayed renderings of the proposed building materials and the building height in relation to existing buildings in the area. He discussed additional site plan review elements stating that all requirements are met. Staff recommends approval with conformance to all city staff recommendations and technical requirements, development and execution of a parking agreement for the project and adherence to any direction from the Commission.

Dan Drendel, Slingshot Architecture, feels that the project will provide the density called for in the Comprehensive Plan and work well with the constraints of the site.

Kamyar Enshayan, 1703 Washington Street, stated that the College Hill Partnership board unanimously supports the project.

Eashaan Vajpeyi, 3831 Convair Lane, feels that approving the project based on the assumption that the council will approve the code amendment is putting the train ahead of the engine. Once the project is completed, it's too late to undo the work. He also commented on Mr. Wingert's statement that he would not be recusing himself from voting, stating that it is important to avoid even the appearance of impropriety.

Howard clarified that the proposed site plan should be considered on its own merits under the current code and should not be tied to code amendments that have not yet been approved. She noted that the Commission, at its discretion could vote on the matter under the current code or defer it to a future meeting.

Ms. Saul made a motion to defer action until the Council considers the zoning code amendments discussed previously. Ms. Giarusso seconded the motion. The motion was approved unanimously with 6 ayes (Adkins, Giarusso, Hartley, Holst, Leeper, and Saul), and 1 nay (Wingert).

- 4.) As there were no further comments, Mr. Leeper made a motion to adjourn. Ms. Saul seconded the motion. The motion was approved unanimously with 7 ayes (Adkins, Giarusso, Hartley, Holst, Leeper, Saul and Wingert), and 0 nays.

The meeting adjourned at 6:43 p.m.

Respectfully submitted,


Karen Howard
Community Services Manager


Joanne Goodrich
Administrative Clerk



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
Fax: 319-273-8610
www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: David Sturch, Planner III
DATE: January 17, 2019
SUBJECT: Rezoning Request

REQUEST: Land Use Map Amendment and Rezone property from A-1, Agricultural to R-P, Planned Residence District

PETITIONER: Brent Dahlstrom, Owner; NewAldaya Lifescapes, Fehr Graham Engineering

LOCATION: 42.35 acre parcel at the southeast corner of W. 12th Street and Union Road

PROPOSAL

The petitioner has submitted a request to rezone 42.3 acres of land at the southeast corner of W. 12th Street and Union Road from A-1, Agricultural to R-P, Planned Residential. The rezoning will allow development of a NewAldaya Lifescapes campus that includes one and two unit dwellings and multi-unit dwellings for a 55 and over clientele.

The R-P district is guided by a development concept plan that the applicant submitted as part of this request. The development concept shows the general location of the streets, buildings, building lines, common areas, future floodplain and the storm water management areas. It is important to show the location of the streets and their extensions in order to create connections to other nearby existing and future neighborhoods. All the streets identified in the concept plan, except for the private drive for the multi-unit building at the northwest corner of the property, will be dedicated to the public and constructed according to city specifications. This plan will serve as a guide for the development of the preliminary and final plat that will be submitted at a later date.

The plan includes 69 one and two unit dwellings and two large multi-unit dwellings; one building with 40 to 50 units is located at the corner of W. 12th Street and Union Road and the second building with 20 to 25 units is located near the southwest corner of the site. It is proposed to establish 129 to 144 units on the 42 acres of land for a residential density of 3.07 to 3.42 units per acre. This development plan can be considered a low density residential use.

BACKGROUND

This property has been zoned as agricultural since adoption of the Zoning Ordinance in 1970. The land is surrounded by residential zoning on the west (across Union Road), north (across W. 12th Street) and northeast side of the property. The current owner is interested in selling this land to NewAldaya Lifescapes for a new 55 and over housing development.

The rezoning of this property must be carefully considered by evaluating the characteristics of the land and surrounding properties. This staff report will outline a number of these elements in order to have a firm understanding of the future use of this property.

ANALYSIS

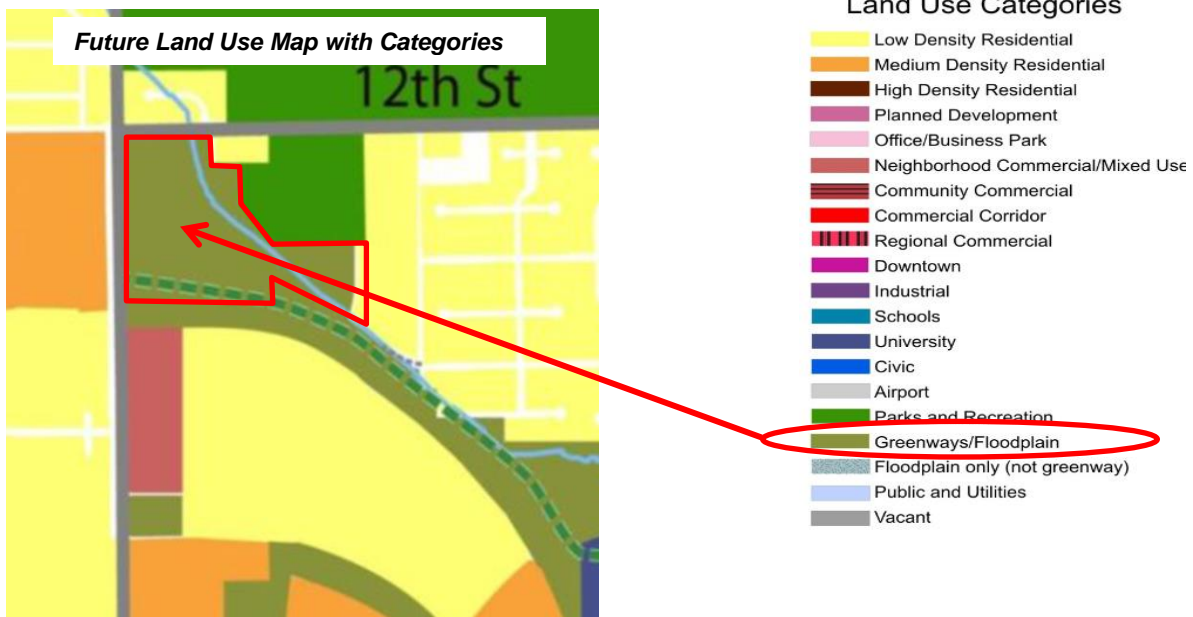
The purpose of the A-1, agricultural zoning district is to act as a “holding zone” for future development when municipal services (sanitary sewer, water, roads) are accessible to the site. When these services are available, the development of the land is threefold, beginning with the rezoning of the land, platting and construction.

As previously mentioned, this 42-acre property is surrounded by residential development on the west, north and northeast. There is a single lot development to the south and the Robinson Dresser athletic complex to the east. This property is bisected with the western reach of the University branch of Dry Run Creek. A portion of the property is located in the 100-year floodplain which will need to be revised as part of the platting process. With the exception of the floodplain, there are no other sensitive areas within this rezoning plat.

Zoning considerations normally involve evaluation of three main criteria:

- 1) *Is the rezoning request consistent with the Future Land Use Map and the Comprehensive Plan?*

The Future Land Use Map identifies the property as greenways/floodplain. The greenways/floodplain category is identified in the Comprehensive Plan for traditional parks, recreational areas and environmentally sensitive areas to be possibly incorporated into the city’s trail system. These areas are also reserved for stormwater management. A drainageway flows through the middle of the site in a northwesterly to southeasterly direction. The floodplain boundary buffers this drainageway but only encompasses a portion of the entire land area, which is approximately 13 acres. There is a considerable portion of the property that is developable.



The proposed concept development plan includes the preservation of the floodplain, creating open space, trails, sidewalks and stormwater management areas for the neighborhood. Trails and sidewalks are planned along W. 12th Street and Union Road and within the development. A city park is not planned for this property. There are other nearby parks surrounding this property including the Robinson Dresser Sports Complex, Pheasant Ridge Golf Course and Birdsall Park. Other than the location of the floodplain, there are no other sensitive features on this property.



Currently, FEMA has submitted a preliminary set of floodplain maps to the city for review. This review process will take place over the next 18-20 months. The existing and future floodplain boundary must be located outside the building areas of the proposed dwellings.

It seems appropriate to amend the future land use map to accommodate this development. The proposed amendment would maintain the location of the floodplain and change the “Greenway” designation to “Planned Development.”

2) *Is the property readily accessible to sanitary sewer service?*

Yes, sanitary sewer is readily available to the site. This sewer is located through the middle of the property within the aforementioned floodplain and drainageway. This sanitary sewer is located in the Cherrywood Interceptor Sewer District which includes a sewer tapping fee as part of the development. The sewer tapping fee is \$294.63 per acre of development. This fee is paid by the developer at the time of final platting.

3) *Does the property have adequate roadway access?*

The property currently has access from W. 12th Street and Union Road. The development concept plan shows two public street connections onto Union Road and one public street connection onto W. 12th Street. The two street connections onto Union Road are approximately 449' and 852' feet, respectively, south of W. 12th Street. The southern street connection onto Union Road is directly across from Sonoma Drive. The W. 12th Street connection is approximately 750' feet east of Union Road and it is directly across from Alexis Boulevard. The development concept plan also shows a street stub to the south and a street stub to the east. These street connections will be important for general traffic circulation and connections between neighborhoods and future neighborhoods. For example, while there may be no development planned for the existing large single family properties to the south, at some point in the future there may be a desire to further subdivide those lots. Without a street planned street connection to this area, future infill development would not be possible. Staff notes that during the preliminary platting of the subject property, care should be taken to locate these street connections so they can be extended in a logical manner to adjacent properties and avoid conflicting with existing development. For example, the street connection to the south should be located to avoid extending too close to the existing home to the south. Angling this future roadway to the east to potentially parallel the creek may be an appropriate option.

A preliminary Developmental Procedures Agreement has been submitted for this rezoning request. The agreement describes the development details such as subdivision plats, description of proposed uses, maximum residential densities and agreement to submit all multi-unit developments for further site plan review by the Planning and Zoning Commission and City Council. The Development Agreement should be viewed as the narrative version of the graphic site plan. The agreement should also note that sanitary sewer and other utility connections will be extended to the site and that any sewer or water tapping fees will be paid at the time of platting and installation. The sewer service serving this area is subject to the Cherrywood Interceptor Sewer District tapping fee of \$294.63 per acre which was established by the City Council several years ago.

As part of the technical review of this proposal, Cedar Falls Utilities personnel, have no concerns with the proposed rezoning request. Water, electric, gas, and communication utilities are all available to this site from W. 12th Street and from Union Road per the service policy of each utility. There is a water connection fee of \$55,833.14 for this property based on the street lineal footage of W. 12th Street and Union Road. This connection fee is part of the cost of the original water main installations on W. 12th Street and on Union Road. All utility services will be extended into this property as part of the platting process.

A notice was mailed to the adjoining property owners on January 17, 2019 regarding this rezoning request.

STAFF RECOMMENDATION

Gather any comments from the Planning and Zoning Commission and public then continue the discussion on this rezoning request and set the date for public hearing for the Land Use Map Amendment and the Rezoning at the next Planning and Zoning Commission meeting on February 13, 2019.

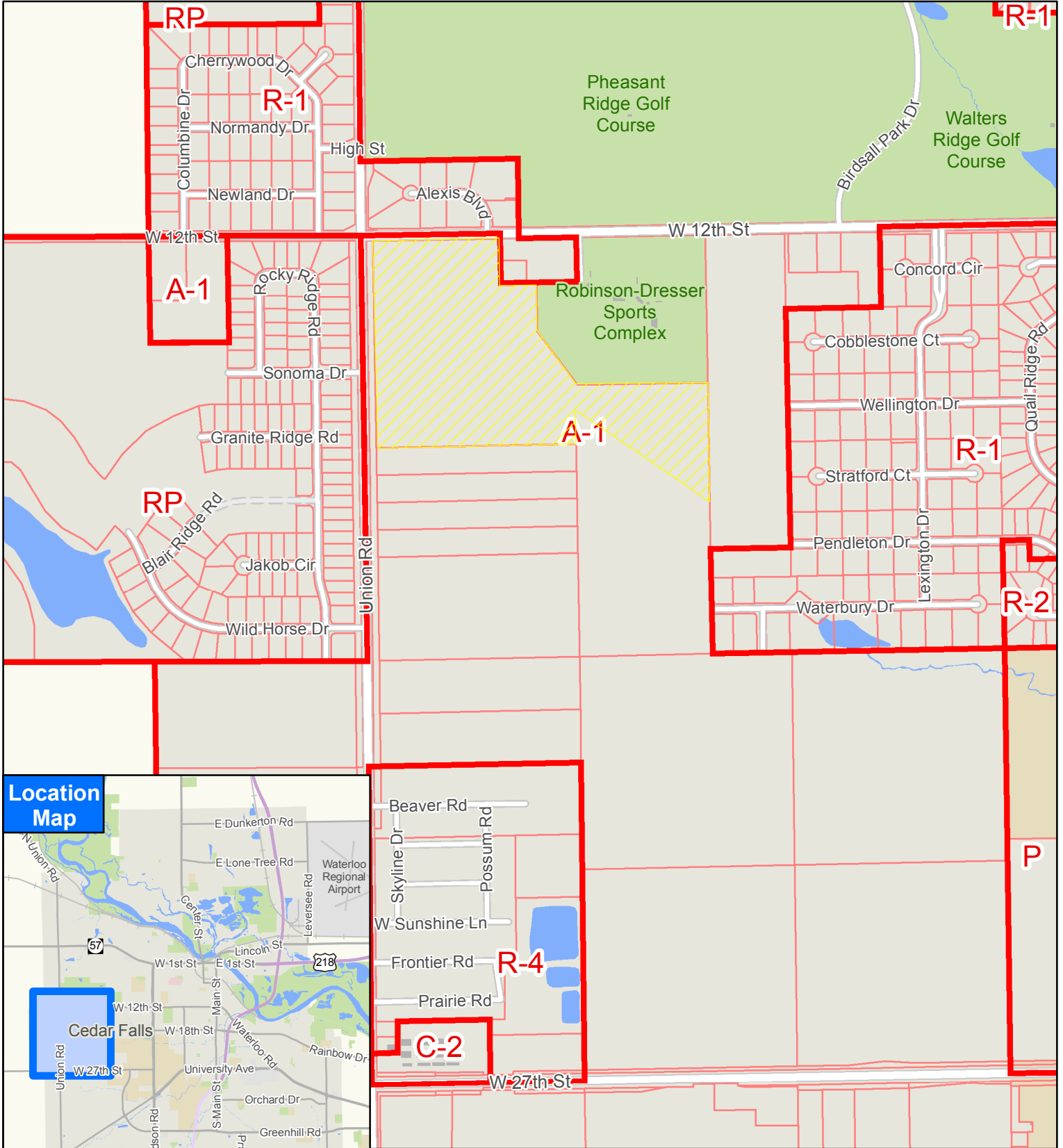
PLANNING & ZONING COMMISSION

Introduction

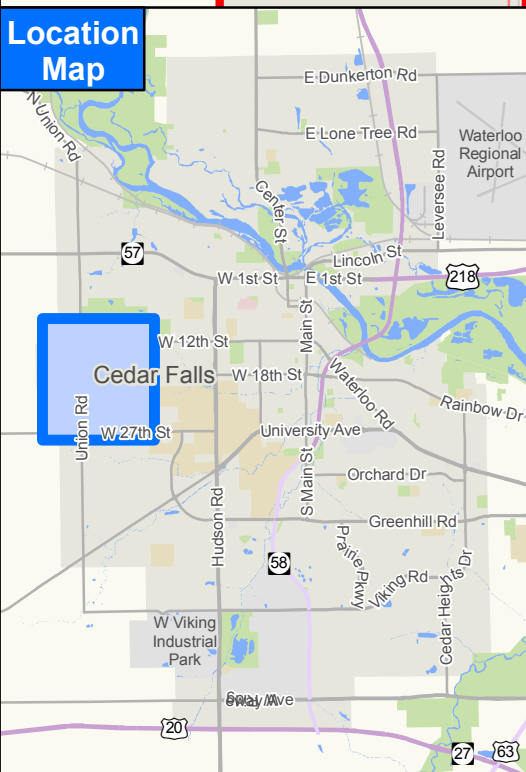
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Cedar Falls Planning & Zoning Commission

January 23, 2019

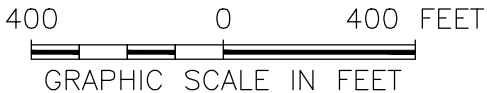


Location Map

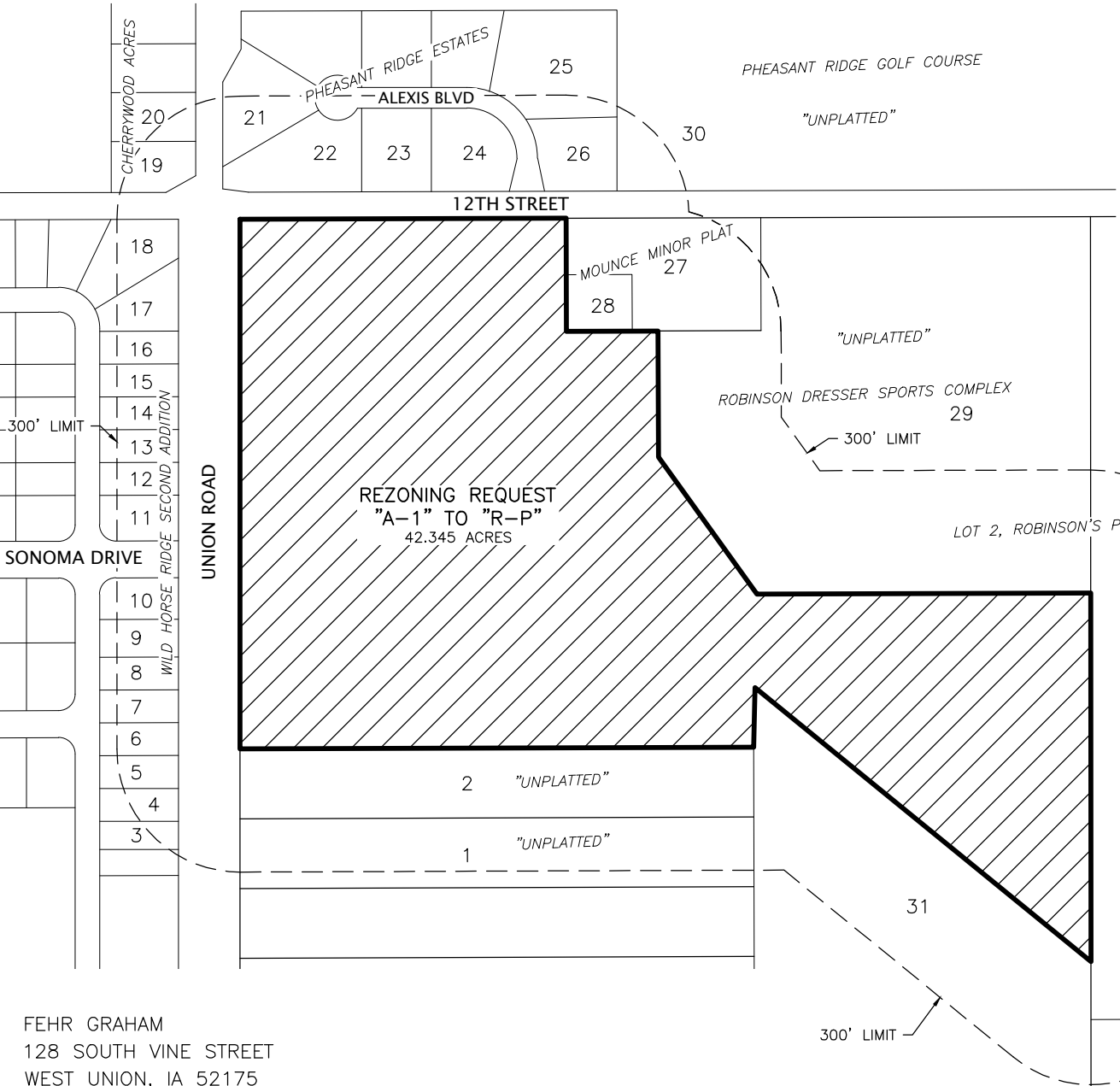


Rezoning request from A-1 to R-P

OWNER'S LISTING MAP
 FOR
 REZONING REQUEST
 "A-1" TO "R-P"
 PART OF LOT 2 OF ROBINSON'S
 MINOR PLAT OF PART OF THE
 NW1/4 OF SECTION
 15-T89N-R14W
 CITY OF CEDAR FALLS,
 BLACK HAWK COUNTY, IOWA



SEE SHEET 2 OF 2 FOR
 PROPERTY OWNER LISTING



FEHR GRAHAM
 128 SOUTH VINE STREET
 WEST UNION, IA 52175
 563-422-5131

JANUARY 8, 2018

FEHR GRAHAM
 ENGINEERING & ENVIRONMENTAL

11

SHEET 1 OF 2

ILLINOIS
 IOWA
 WISCONSIN

THE TERRACES AT WEST GLEN DEVELOPMENT CONCEPT

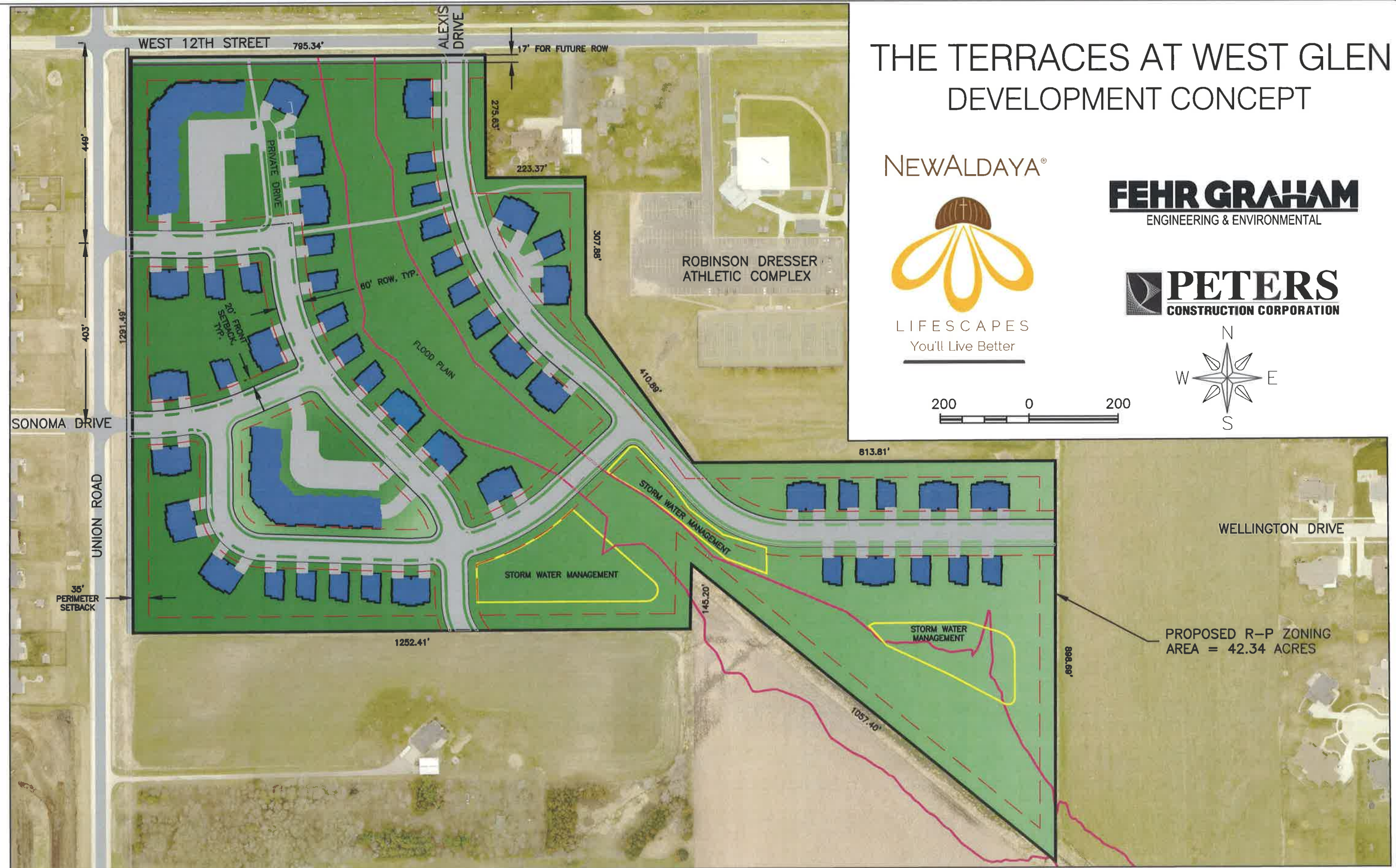
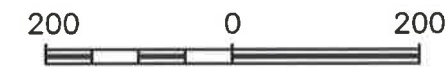
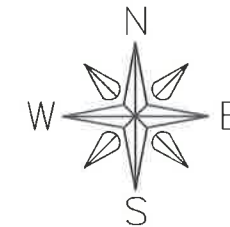
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PROPOSED R-P ZONING
AREA = 42.34 ACRES

JANUARY 15, 2019

R-P PLANNED RESIDENCE ZONING DISTRICT
DEVELOPMENTAL PROCEDURES AGREEMENT

This agreement is made and entered into this day ____ of _____, 2019, by and between the City of Cedar Falls, Iowa, hereinafter called "**City**" and Newaldaya Lifescapes, hereinafter called "**NewAldaya**", for the purpose of outlining procedures to be followed for the development of certain land located near Union Road and West 12th Street containing approximately 42.345 acres, being owned currently by Money Pit LLC and proposed for purchase by NewAldaya, which is now the subject of a rezoning proceeding with the City, said land legally described as follows:

A PARCEL IN LOT 2 OF ROBINSON'S MINOR PLAT OF PART OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 89 NORTH, RANGE 14 WEST OF THE 5TH P.M., BLACK HAWK COUNTY, IOWA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION;

THENCE **NORTH 89°49'32" EAST (ASSUMED BEARING), 75.00 FEET** ALONG THE NORTH LINE OF SAID SECTION TO THE NORTHERLY EXTENSION OF THE WEST LINE OF LOT 2 OF ROBINSON'S MINOR PLAT OF PART OF THE NORTHWEST QUARTER OF SAID SECTION;

THENCE **SOUTH 00°00'06" EAST, 33.00 FEET** ALONG SAID WEST EXTENSION LINE TO THE NORTHWEST CORNER OF SAID LOT 2 AND THE POINT OF BEGINNING;

THENCE **NORTH 89°49'32" EAST, 795.34 FEET** ALONG THE NORTH LINE OF SAID LOT 2 TO THE NORTHWEST CORNER OF LOT 1 IN SAID MINOR PLAT;

THENCE **SOUTH 00°09'12" EAST, 275.63 FEET**;

THENCE **NORTH 89°48'38" EAST, 223.37 FEET**;

THENCE **SOUTH 00°10'46" EAST, 307.88 FEET**;

THENCE **SOUTH 35°48'01" EAST, 410.89 FEET**;

THENCE **NORTH 89°49'48" EAST, 813.81 FEET**;

THENCE **SOUTH 00°02'24" EAST, 898.69 FEET**, ALL ALONG THE EASTERLY LINE OF SAID LOT 2;

THENCE **NORTH 50°48'28" WEST, 1,057.40 FEET**;

THENCE **SOUTH 01°16'33" WEST, 145.20 FEET** TO THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION AS SHOWN ON SAID MINOR PLAT;

THENCE **SOUTH 89°47'16" WEST, 1,252.41 FEET** ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION AS SHOWN ON SAID MINOR PLAT TO THE WEST LINE OF SAID LOT 2;

THENCE **NORTH 00°00'06" WEST, 1,291.49 FEET** TO THE POINT OF BEGINNING;

CONTAINING **42.345 ACRES**, SUBJECT TO EASEMENTS OF RECORD.

WHEREAS, it is the desire of NewAldaya to develop this land as an addition to the City of Cedar Falls, Iowa, amending part of the R-P, Planned Residence Zoning District;

WHEREAS, it is the desire of the City of Cedar Falls to ensure that said development proceeds in an orderly manner.

NOW, THEREFORE, in consideration of the mutual covenants hereinafter contained, the City and NewAldaya agree as follows:

1. The subject property will be developed in several phases of age 55+ dwelling units and associated infrastructure. Preliminarily, the phasing is contemplated as a first phase which will consist of infrastructure and single and two-family dwelling units on the southwest portion of the property. The second phase will consist of infrastructure, single and two-family dwelling units on the east side of the property. The third, fourth, and fifth phases will be single, two-family, 2-story (20 -25 unit) and a 3-story (42-48 unit) building. This phasing concept is preliminary and will be driven by demand. Final phasing will be reviewed with City of Cedar Falls prior to construction.
2. The City agrees to allow a subdivision of this parcel for the purpose of creating a retirement community by NewAldaya. A preliminary plat and final plat in accordance with current City of Cedar Falls city code will be prepared for review by the City and approval by the Planning and Zoning Commission and City Council.
3. NewAldaya agrees to construct any necessary public roads, including paving, drainage, and water and sewage improvements for this development.
4. NewAldaya agrees to construct at minimum a 5' wide public sidewalk on each side of any new public street in accordance with City subdivision and engineering regulations. NewAldaya further agrees to construct a 5' wide public sidewalk along the south side of W. 12th Street and participate in the construction of the proposed 10' recreational trail along Union Road. This recreational trail cost share includes paying for one-half of the width of the trail along the entire length of the property described above.
5. NewAldaya agrees to follow the current floodplain management regulations of the City of Cedar Falls. The current floodplain boundary must be modified prior to the final platting of lots for development. This includes obtaining a LOMA (Letter of Map Amendment) from FEMA and a no-rise certification for the construction of the street crossing over the designated SFHA (Special Flood Hazard Area).
6. The exterior of all proposed buildings will be individually approved by the Planning & Zoning Commission and City Council prior to any building construction. Single and Two-Family housing units are contemplated as pitched, shingled roof units with a mix of masonry and other conventional siding materials. Multi-story buildings are contemplated as partial pitched and flat roof

structures with a mix of masonry and other exterior façade elements to be determined.

7. NewAldaya agrees to provide a landscaping plan in accordance with the R-P, Planned Residential Zoning District standards. These plans will be approved by the Planning & Zoning Commission and City Council prior to any building construction.
8. Signage on the buildings and grounds will be in accordance with the applicable zoning regulations at the time of development.
9. The City agrees with the traffic impact analysis prepared for this development and submitted at the time of rezoning.
10. NewAldaya agrees to dedicate 17 feet of land across the northern boundary along W. 12th Street for future roadway improvements
11. Storm water runoff will be captured on-site and directed to new detention basins either directly or by an adequately sized storm sewer system. NewAldaya will maintain all necessary easements to comply with state and local code.
12. The sewer service serving this area is subject to the Cherrywood Interceptor Sewer District tapping fee of \$294.63 per acre which was established by the City of Cedar Falls on September 13, 1999, Ordinance #2276.
13. As part of the cost of the original water main installations on W. 12th Street and Union Road, there is a water connection fee of \$55,833.14 for this property. This connection fee is based on the street lineal footage along W. 12th Street and Union Road.
14. The foregoing conditions shall be binding upon NewAldaya, its successors and assigns and shall apply to the above described real estate and shall run with the land.

Newaldaya Lifescapes

City of Cedar Falls, Iowa

By: _____

By: _____



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
Fax: 319-273-8610
www.cedarfalls.com

MEMORANDUM Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Iris Lehmann, Planner II
Matt Tolan, Civil Engineer II
DATE: January 17, 2019
SUBJECT: Greenhill Village Townhomes II – Preliminary Plat

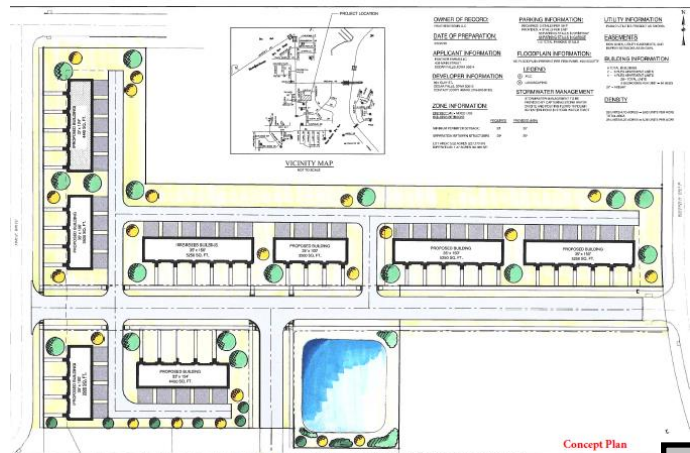
REQUEST: Request to approve the Greenhill Village Townhomes II Preliminary Plat
PETITIONER: Panther Farms LLC – owner; CGA Engineers – Civil Engineer
LOCATION: 5.3 acres southeast of the Greenhill Road and Hudson Road intersection

PROPOSAL

The applicant is proposing to subdivide a 5.3 acre parcel in the MU, Mixed Use Residential, zoning district with the intent to develop townhome buildings. The proposal consists of one developable lot, tracts for future streets and stormwater basins, and two outlots as placeholders for future development.

BACKGROUND

In 1998 the 130 acres of the Greenhill Village property was rezoned to MU, Mixed Use Residential. This rezoning was accompanied by the creation of a Greenhill Village Master Plan that was to be used as a guide for the development in this area. Since that time there have been a number of amendments to the Greenhill Village Master Plan. The most recent amendment to the Master Plan was approved in April 2018. This amendment to the Master Plan focused on the 5.3 acres southeast of the Greenhill Road and Hudson Road intersection; the area being considered in this request. These 5.3 acres were originally designated for single-unit residential development with a density of 3.14 units an acre. The approved amendment allows for multi-unit, residential development at a density of approximately 7.7 units an acre.

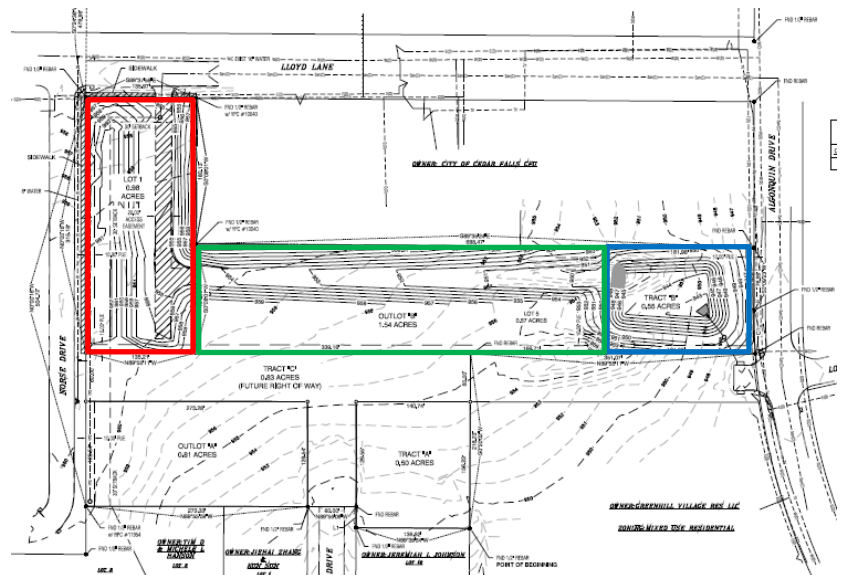


The concept plan that was approved with this update to the Greenhill Village Master Plan presented a development of townhomes, see image on previous page.

ANALYSIS

The property in question is located within the MU, Mixed Use Residential, zoning district. The intent of the MU district is to encourage a variety of housing types and neighborhood commercial land uses for the purpose of creating viable, self-supporting neighborhood districts. Therefore, MU districts permit a variety of uses ranging from neighborhood commercial to office to single-unit homes to condominiums. The approved Greenhill Village Master Plan, attached, arranges the various permitted uses and densities by area and provides a guide for needed street connections within the district. The Master Plan designates this site to be a multifamily development which will extend Loren Drive to the west creating an east-west connection to Norse Drive. The Master Plan also shows Addison Drive coming north to connect to the extension of Loren Drive. This connection will create another point of egress and ingress for the residential properties to the south. The layout of the proposed Greenhill Village Townhomes II Preliminary Plat provides the street connections as described and is consistent with the approved Greenhill Village Master Plan.

This Preliminary Plat proposes to create one buildable lot, Lot 1, outlined in red to the right. This lot will be 0.98 acres in size. The remainder of the site's 5.3 acres will be platted as a tract for future street connections (Tract C), outlots for future development (Outlots A and Outlot B), and two tracts for detention basins (Tract A and Tract B). The detention basin in Tract B, outlined in blue in the image to the right, will be installed with the creation of Lot 1. Along with the installation of this detention basin, the land in Outlot B, outlined in green, will be graded to guide stormwater from Lot 1 to this detention basin. This improvement ensures that the water runoff from the new development that will occur on Lot 1 will be properly managed. This detention basin will be oversized to serve the future development that may occur in Outlot B. The second detention basin, Tract A, will be installed in the future once Outlot A and B are platted for development. A private alley is proposed coming south off of Lloyd Lane to provide access to Lot 1. This private alley connection meets city standards and allows more flexibility with the grading of the site as opposed to a connection coming from the south. Public sidewalks will be installed on the west and north sides of Lot 1 as well as the east side of Tract B. Other public sidewalks will be installed in conjunction with the future extension of Loren Drive and Addison Drive once Outlot A and B are platted for development. Utilities are readily available to this site. The developer will coordinate with CFU for extending the utility services to the proposed development.



Another Preliminary Plat and Final Plat will be required once the developer is ready to move forward with the development of Outlots 1 and 2.

TECHNICAL COMMENTS

City technical staff, including Cedar Falls Utilities (CFU) personnel, has reviewed the proposed plat. Technical comments are outlined below:

1. The list of record owners of property within 200' needs to include the proprietors of "Greenhill Village Fourth Condominiums".
2. Adjoining record title lines should be called out in the legal description (the deed that the water tower sits on and the deed to the unplatted land to the South of proposed Tract "B").
3. Add a public sidewalk on the east side of Tract "B".
4. A note about wetlands should be shown.
5. A utility easement needs to be shown of the North line of Lot 1 for the sanitary sewer.
6. The 10' PUE (assuming public utility easement) needs to be wider to accommodate the depth of the sanitary sewer on the West sides of Lot 1 and Outlot "A". Extend to 20 feet.
7. The boundary line of the addition needs to be a heavier line weight than the interior lot lines
8. On Sheet 2 of 2 remove "Lot 5 0.57 acres" language from the Plat
9. Deed of Dedication – will be finalized with the Final Plat
10. Submit final stormwater management report at time of construction plans.

Basic platting documents have been submitted including plats and platting fee (\$300). A drafted Deed of Dedication, Attorney's Title Opinion, and Surveyor's Certificate have all been submitted.

The property is located outside of the designated floodplain. Notice to adjoining property owners for this preliminary plat was mailed on January 16, 2019.

STAFF RECOMMENDATION

The proposed Greenhill Village Townhomes II Preliminary Plat is consistent with the development intent of this area and serves as an intermediate step in the development of this site. Staff recommends gathering any comments from the Planning and Zoning Commission and the public and then continuing the discussion of the proposed subdivision plat at the next Planning and Zoning Commission meeting on February 13, 2019. Approval will be subject to the resolution of the technical comments listed above.

PLANNING & ZONING COMMISSION

Discussion
1/23/2019

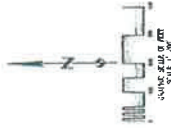
Vote
2/13/2019

Attachments: Greenhill Village Master Plan
Proposed Preliminary Plat
Drafted Deed of Dedication

GREENHILL VILLAGE CEDAR FALLS, IOWA

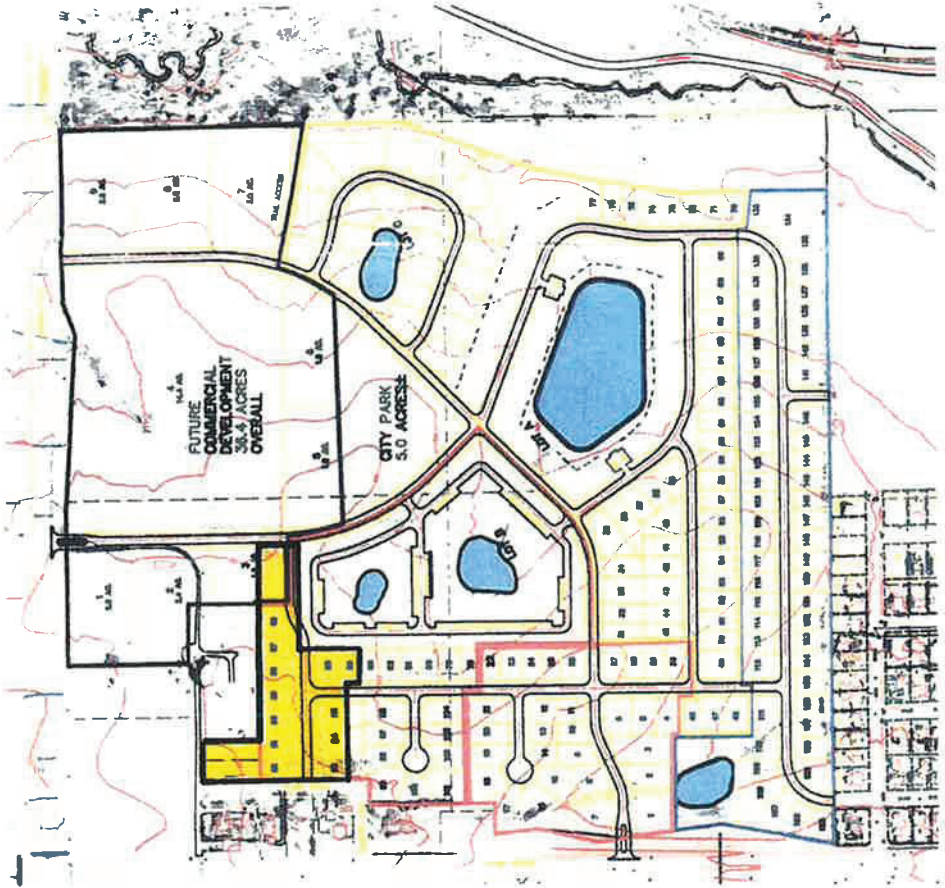
ORIGINAL MASTERPLAN - 2003

HIGHLIGHTED -
PROPOSED
CHANGE



-  NUMBER OF 1.5 UNIT LUXURY CONDOMINIUM BLDGS = 12 TOTAL
-  NUMBER OF 2 UNIT PATIO HOMES = 20 TOTAL
-  NUMBER OF 6 UNIT TOWNHOME BLDGS = 20 TOTAL
-  NUMBER OF SINGLE FAMILY LOTS = 100

PHASE	ACRES OVERALL	DESCRIPTION
PHASE I	10.6 ACRES OVERALL	10.6 ACRES SINGLE FAMILY 30 SINGLE FAMILY LOTS 2.80 UNITS/ACRE
PHASE II	42.7 ACRES OVERALL	10.1 ACRES LOT A 20 - 6 UNIT TOWNHOME BLDGS 11.9 UNITS/ACRE 11.0 ACRES LOT C 20 - 2 UNIT PATIO HOMES 80 UNITS TOTAL 6 UNITS/ACRE 21.6 ACRES SINGLE FAMILY 47 SINGLE FAMILY LOTS 2.18 UNITS/ACRE
PHASE III	21.3 ACRES OVERALL	8.8 ACRES SINGLE FAMILY 27 SINGLE FAMILY LOTS 3.14 UNITS/ACRE 12.7 ACRES LOT B 12 - 12 UNIT LUXURY CONDOMINIUM BLDGS 144 UNITS TOTAL 11.3 UNITS/ACRE
PHASE IV	16.1 ACRES OVERALL	16.1 ACRES SINGLE FAMILY 84 SINGLE FAMILY LOTS 5.22 UNITS/ACRE
	38.4 ACRES	
	3.8 ACRES	
















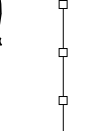


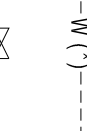
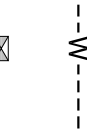
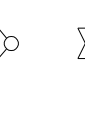
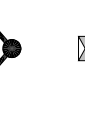
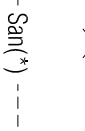
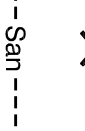

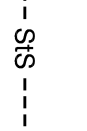




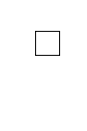
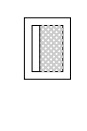




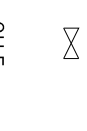
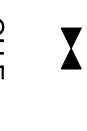


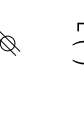

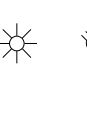
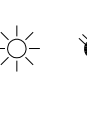
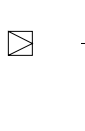
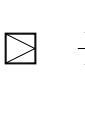

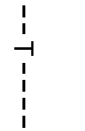
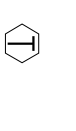





<p>DATE: 11/11/2011 DRAWN BY: BJC CHECKED BY: JES DATE: 11/17/2011 DATE: 11/22/2011</p>	<p>SCALE: 1" = 50'</p>	<p>PROJECT: GREENHILL VILLAGE LOCATION: CEDAR FALLS, IOWA</p>	<p>CONCEPT PLAN</p>
<p>GREENHILL VILLAGE CEDAR FALLS, IOWA</p>		<p>HFE HILL & FERGUSON INC 200 UNIVERSITY AVENUE, SUITE 200 CEDAR FALLS, IOWA 52601 PH: 319.266.1111 FAX: 319.266.1112</p>	<p>1 OF 1</p>

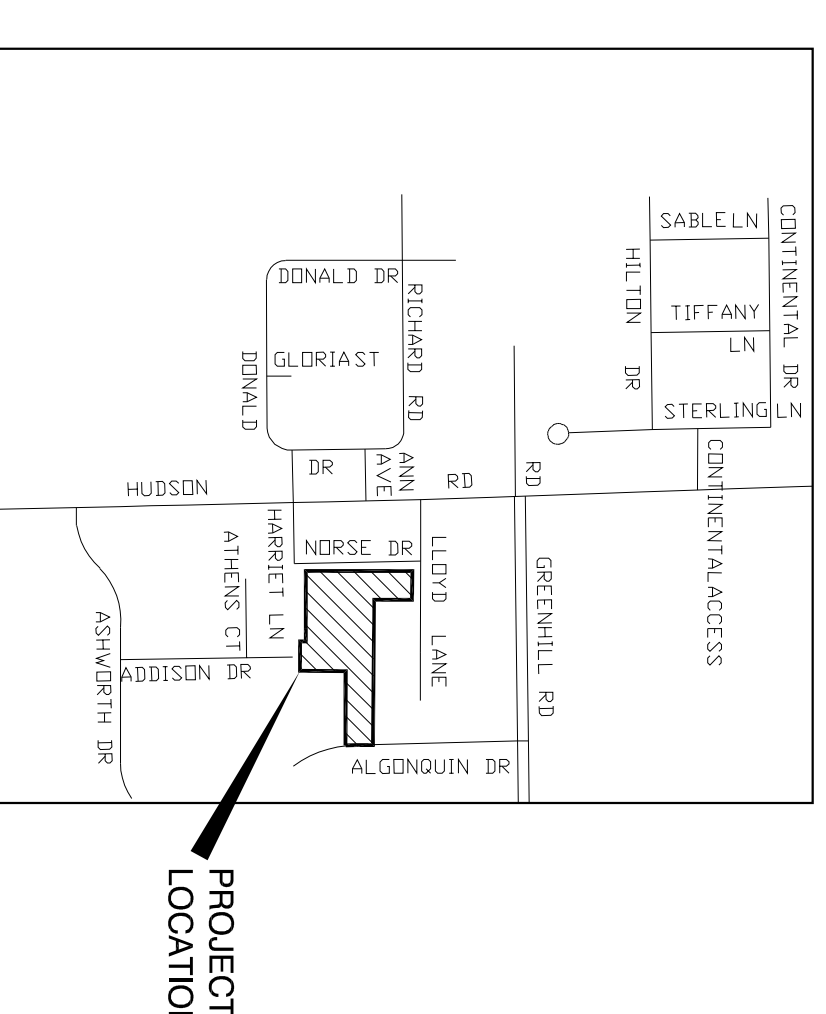
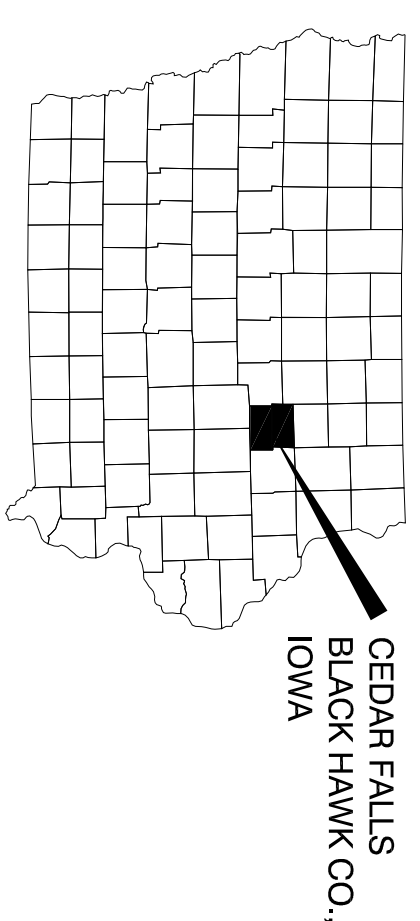
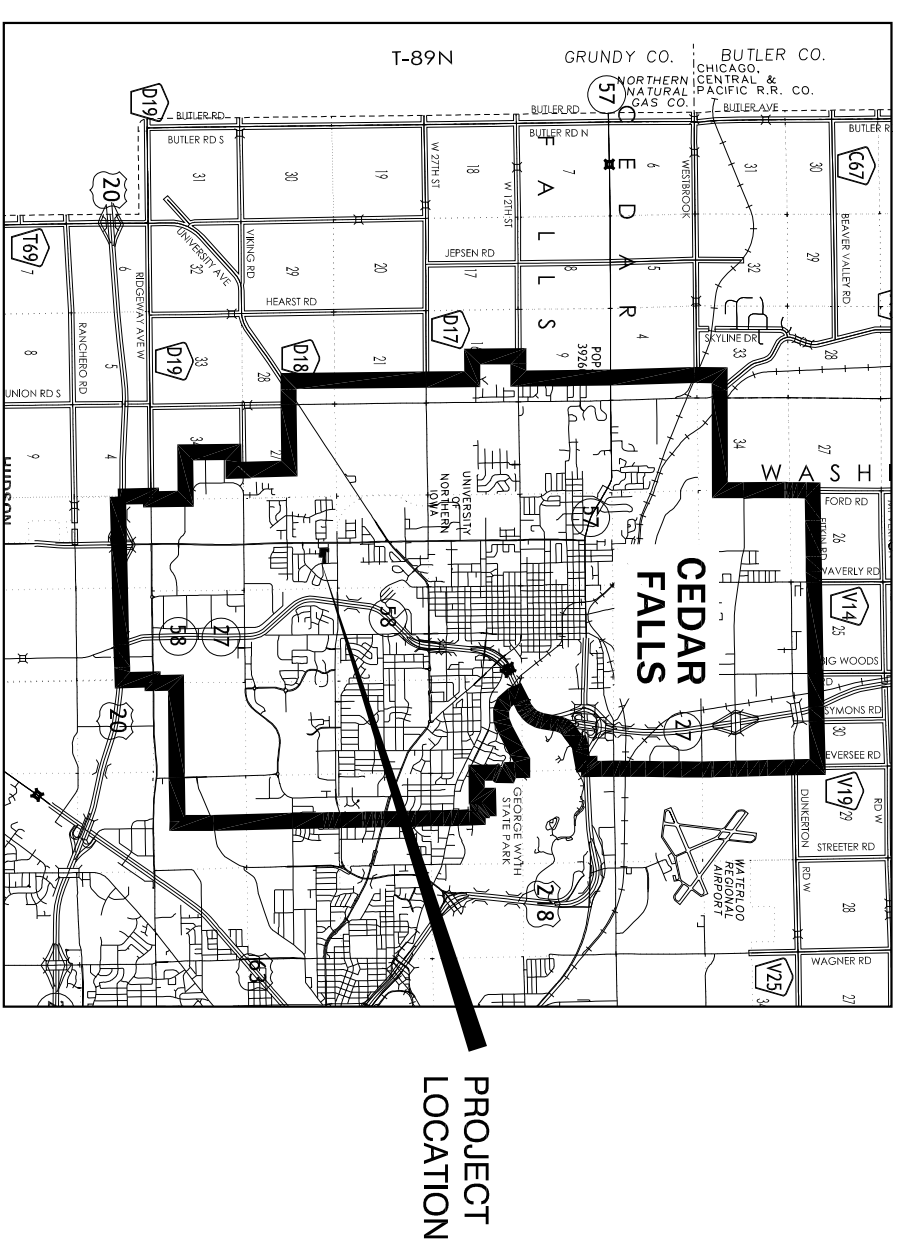
PRELIMINARY PLAT

GREENHILL VILLAGE TOWNHOMES II

CEDAR FALLS, IOWA

LEGEND

EXISTING	PROPOSED
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	



LEGAL DESCRIPTION

SAID PROPERTY IS LEGALLY DESCRIBED AS:

GREENHILL VILLAGE TOWNHOMES II LOCATED IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 89 NORTH, RANGE 14 WEST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF CEDAR FALLS, BLACK HAWK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF A CERTAIN PARCEL OF LAND DESCRIBED AS LOT 12 OF GREENHILL VILLAGE SECOND ADDITION AND RECORDED IN INSTRUMENT NO. 2005-00020608 IN THE OFFICE OF THE RECORDER BLACK HAWK COUNTY, IOWA; THENCE, N89°39'54"W, 139.92' ALONG THE NORTH LINE OF SAID GREENHILL VILLAGE; THENCE, N0°19'47"E, 26.06'; THENCE, N89°55'09"W, 60.00'; CONTINUING N89°55'09"W, 273.33' TO A NORTHWEST CORNER OF LOT 3 OF SAID GREENHILL VILLAGE; THE AFORESAID ALL BEING ALONG THE NORTH LINE OF SAID GREENHILL VILLAGE; SAID POINT ALSO BEING A POINT ON THE EAST RIGHT OF WAY LINE OF NORSE DRIVE; THENCE, N0°00'16"W, 604.72' ALONG SAID EAST RIGHT OF WAY LINE TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF LLOYD LANE; THENCE, S89°37'56"E, 136.97' ALONG SAID SOUTH RIGHT OF WAY LINE; THENCE, S0°08'01"W, 180.13'; THENCE, S89°35'24"E, 688.47' TO A POINT ON THE WEST RIGHT OF WAY LINE OF ALGONQUIN DRIVE; THENCE, S0°09'23"W, 76.99' ALONG SAID WEST RIGHT OF WAY LINE; THENCE, SOUTHERLY 53.45' ALONG THE ARC OF A 780.00' RADIUS CURVE, CONCAVE EASTERLY, HAVING A CHORD BEARING OF S1°47'42"E AND A CHORD DISTANCE OF 53.44' ALONG SAID WEST RIGHT OF WAY LINE; THENCE, N89°55'11"W, 351.07'; THENCE, S0°20'02"W, 216.23' TO THE POINT OF BEGINNING, CONTAINING 5.21 ACRES. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

I FURTHER CERTIFY THAT THE ACCOMPANYING PLAT IS A TRUE REPRESENTATION OF SAID PROPERTY IN ACCORDANCE WITH MY FIELD NOTES; THAT THE DIMENSIONS OF THE STREETS, LOTS, AND EASEMENTS DEPICTED ON SAID PLAT ARE IN FEET AND DECIMALS THEREOF; AND THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SURVEYOR AND ENGINEER

JEREMY A. HARRIS, P.L.S.
ADAM DATERS, P.E.
CLAPSADDLEGARBER
ASSOCIATES
P.O. BOX 754 - 16 E. MAIN
STREET
MARSHALLTOWN, IOWA 50158
(641) 752-6701

ZONING INFORMATION:

CURRENT: MU - MIXED USE

SURVEY REQUESTED BY:

PANTHER FARMS, L.L.C.
BRIAN WINGERT
CEDAR FALLS, IOWA 50613

CLOSURE:

- ALL SUBDIVISION BOUNDARIES ARE WITHIN THE 1:10,000 ERROR OF CLOSURE REQUIREMENT
- ALL LOTS ARE WITHIN THE 1:5000 ERROR OF CLOSURE REQUIREMENT.

NOTE:

ALL BEARINGS ARE THE RESULT OF G.P.S. OBSERVATIONS USING NAD83 IOWA STATE PLAN NORTH ZONE

OWNERS OF RECORD

PANTHER FARMS, LLC
604 CLAY ST.
CEDAR FALLS, IOWA 50613

FLOOD ZONE:

FEMA FIRM MAP NUMBER 19013C0277F
ZONE X (UNSHADED)
EFFECTIVE JULY 18, 2011.

SITE DATA:

SETBACK=30' (CODE ALLOWS FOR 20' w/ APPROVAL)

SURVEY LEGEND

- ▲ GOVERNMENT CORNER MONUMENT FOUND
- △ GOVERNMENT CORNER MONUMENT SET
- 1/2" x 30" REBAR w/BLUE PLASTIC ID CAP #22259
- PARCEL OR LOT CORNER MONUMENT FOUND
- SET 1/2" x 30" REBAR w/BLUE PLASTIC ID CAP #22259
- () RECORDED AS

NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE
1	CITY COMMENTS	CAO	6-11-2018	4	GRAADING/UTILITY CHANGES	LAW	9-24-2018
2	CITY COMMENTS	CAO	7-23-2018	5	CITY COMMENTS	CAO	10-22-2018
3	CITY COMMENTS	CAO	9-4-2018	6	CITY COMMENTS	BMC	11-21-2018

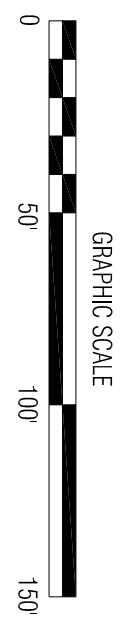


DESIGNED:	DATE:	DRAWN:	DATE:	CHECKED:	DATE:	APPROVED:	DATE:
-	5-12-2018	CAO	5-12-2018	ADJ		ADJ	

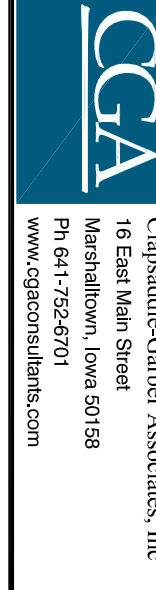
GREENHILL VILLAGE TOWNHOMES II
CEDAR FALLS, IOWA

PRELIMINARY PLAT

PROJECT NO.
5638.05
SHEET NO.
1 OF 2



NO.	REVISION	BY	DATE
1	CITY COMMENTS	CAO	6-11-2018
2	CITY COMMENTS	CAO	7-23-2018
3	CITY COMMENTS	CAO	9-5-2018
4	GRADING/UTILITY CHANGES	LAW	9-24-2018
5	CITY COMMENTS	CAO	10-22-2018
6	CITY COMMENTS	BMC	11-21-2018



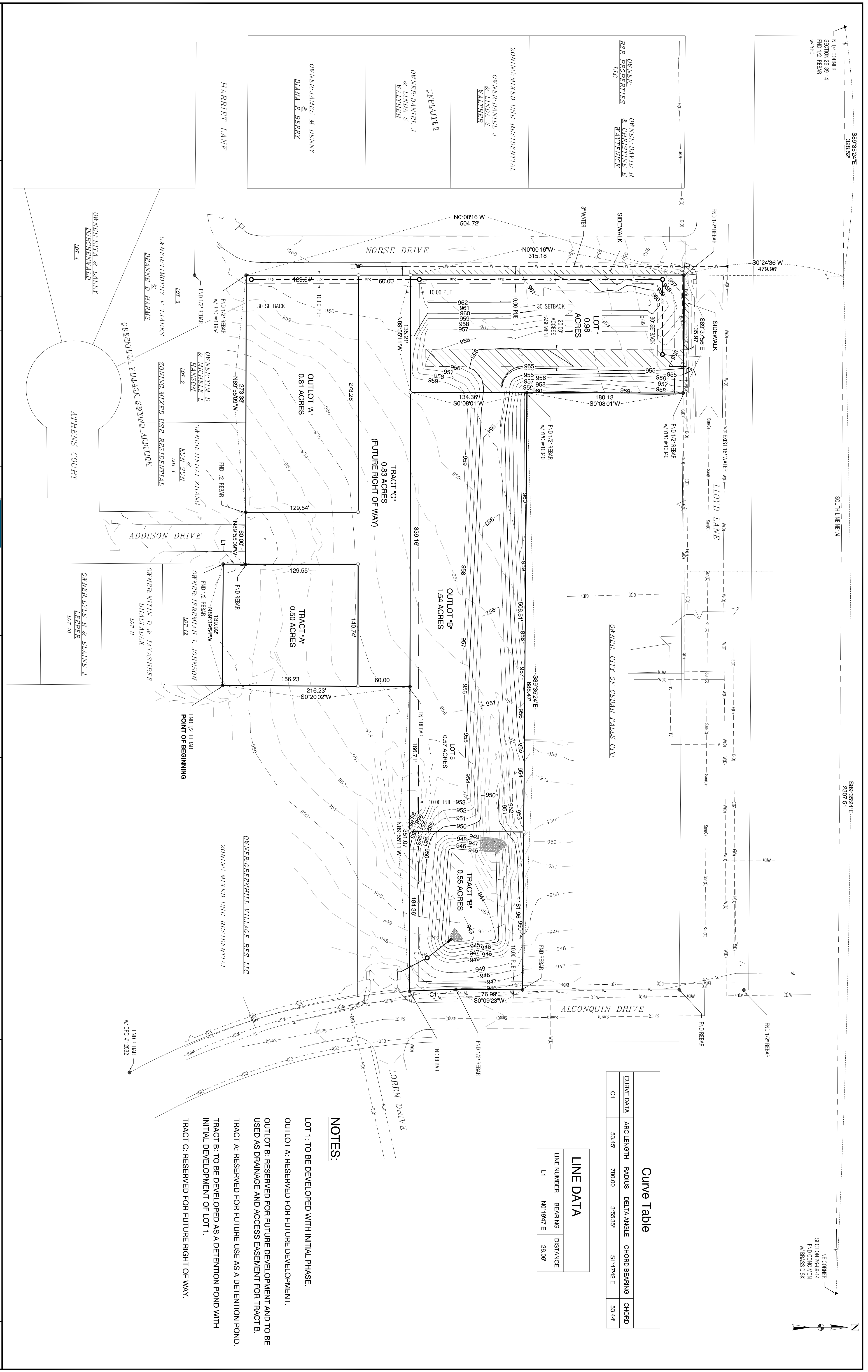
DESIGNED	DATE
DRAWN: BMC	DATE: 11-21-2018
CHECKED: ADJ	DATE:
APPROVED: ADJ	DATE:

GREENHILL VILLAGE TOWNHOMES II

CEDAR FALLS, IOWA

PRELIMINARY PLAT

PROJECT NO.	SHEET NO.
5638.05	2 of 2



CURVE DATA	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD
C1	53.45'	780.00'	3°55'33"	S1°47'42"E	53.44'

LINE NUMBER	BEARING	DISTANCE
L1	N0°19'47"E	26.06'

NOTES:

- LOT 1: TO BE DEVELOPED WITH INITIAL PHASE.
- OUTLOT A: RESERVED FOR FUTURE DEVELOPMENT.
- OUTLOT B: RESERVED FOR FUTURE DEVELOPMENT AND TO BE USED AS DRAINAGE AND ACCESS EASEMENT FOR TRACT B.
- TRACT A: RESERVED FOR FUTURE USE AS A DETENTION POND.
- TRACT B: TO BE DEVELOPED AS A DETENTION POND WITH INITIAL DEVELOPMENT OF LOT 1.
- TRACT C: RESERVED FOR FUTURE RIGHT OF WAY.



DEED OF DEDICATION
OF
GREENHILL VILLAGE TOWNHOMES II
CITY OF CEDAR FALLS, IOWA

KNOW ALL MEN BY THESE PRESENTS:

That Panther Builders, LLC, an Iowa limited liability company, with its principal office in Cedar Falls, Iowa; being desirous of setting out and platting into lots and streets the land described in the attached Certificate of Survey by ~~Travis R. Stewart~~ Jeremy A. Harris, a Professional Engineer and Licensed Land Surveyor, dated ____ day of _____, ~~2018~~ 2019, do by these presents designate and set apart the aforesaid premises as a subdivision of the City of Cedar Falls, Iowa the same to be known as:

GREENHILL VILLAGE TOWNHOMES II
CITY OF CEDAR FALLS, IOWA

(“Development”) all of which is with the free consent and the desire of the undersigned and the undersigned do hereby designate and set apart for public use the street(s) as shown upon the attached plat.

EASEMENTS

The undersigned do hereby grant and convey to the City of Cedar Falls, Iowa, its successors and assigns, and to any private corporation, firm or person furnishing utilities for the transmission and/or distribution of water, sanitary sewer, gas, electricity, communication service or cable television, perpetual easements for the erection, laying building and maintenance of said services over, across, on and/or under the property as shown on the attached plat.

RESTRICTIONS

Be it also known that the undersigned do hereby covenant and agree for themselves and their successors and assigns that each and all of the residential lots in Development be and the same are hereby made subject to the following restrictions upon their use and occupancy as fully and effectively to all intents and purposes as if the same were contained and set forth in each deed of conveyance or mortgage that the undersigned or their successors in interest may hereinafter make for any of said lots and that such restrictions shall run with the land and with each individual lot thereof for the length of time and in all particulars hereinafter stated, to-wit:

1. ____ Any building that shall be erected shall have a minimum setback from the front, side, and rear of the lot lines as indicated on attached Final Plat. All minimum setbacks will be required to meet or exceed M-U Mixed Use Zoning.
2. ____ Only buildings containing townhomes shall be constructed on Lots.

3. Tract “CA” to be deeded to the City of Cedar Falls, Iowa for public street purposes. ~~That portion of Tract “A” south of Lot 5 and Tract “C” will not be required to be constructed until such time as Lot 5 Outlots “A” and “B” are developed. is developed, with the~~ The costs of construction on a future extension of Tract “C” south of Tract “B” shall to be shared between Developer and the owner of the real estate to the south of Tract “BA”.

4. Tracts “BA” & “CB” shall be used for water retention and shall be maintained by the Greenhill Village Townhomes II of Cedar Falls Owners Association. The City of Cedar Falls and the Greenhill Village Townhomes II of Cedar Falls Owners Association shall have access to said detention ponds for maintenance as more particularly shown on the Final Plat.

5. All private streets in Development shall be maintained by the Greenhill Village Townhomes II of Cedar Falls Owners Association.

6. Any and all drainage easements will be required to follow the “Stormwater Management Plan” and no building structures, fence structures, landscaping structures, private gardens or any other possible obstruction can be built in and over said drainage easements. All lot owners and/or contractors working on said lots will be responsible to maintain said easements to be free and clear of any physical obstruction(s) thus allowing the conveyance of overland storm water runoff as intended per “Stormwater Management Plan” on record with the City of Cedar Falls Engineer's Office.

7. The Owner and/or occupant of each Lot shall jointly and severally be responsible to keep in good order or to maintain the area between the curblin and the property line abutting their property including keeping said area free of holes, pitfalls, stumps of trees, fences, brick, stone, cement, stakes, posts or rods to which a metal, plastic or similar receptacle designed to hold newspapers are affixed, private irrigation or sprinkler systems, retaining walls, landscaping brick, block, stone, timber or other similar materials, or any other simulator obstruction. All mailboxes shall be clustered or grouped for the units, and shall not be placed between the curb line and the property line abutting the lots.

8. All townhomes shall be subject to the Declaration of Submission of Property to Horizontal Property Regime for Greenhill Village Townhomes II Cedar Falls, Black Hawk County, Iowa to be filed within one (1) week of the filing of the Final Plat.

9. Every lot in Addition and the owner thereof shall be subject to all of the provisions of the Greenhill Village Master Plan currently on file with the City of Cedar Falls, Iowa, at the time of construction and the lot, and all amendments thereto, including but not limited to the design guidelines contained therein.

~~10. Lots 3 and 5 shall be granted cross easements over the other lot for access from each Lot to Tract A and that portion of future Loren Drive south of Lot 5 and Tract C.~~

10. The undersigned and all persons and entities hereafter acquiring any right, title, or interest in any of the Lots in said Development shall be taken and held to have agreed and covenanted with the owners of all other Lots in this Development and with the respective successors and assigns of all of the rest of such other Lots to conform to and observe all of the

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foregoing covenants, restrictions, and stipulations as to the construction of building thereon, for a period of 21 years from the date of filing of said plat, and this deed of dedication for record. Within the period of 21 years and in accordance with Iowa Code § 614.24 and § 614.25 or their successor provisions, these covenants, restrictions, and stipulations may be extended for an additional period of 21 years upon compliance with § 614.24 and § 614.25 of the Code of Iowa. In the event an extension of the covenants, restrictions, and stipulations is not filed within the period of 21 years or successive 21-year periods, then the covenants, restrictions, and stipulations contained herein shall terminate at the end of the existing period of 21 years.

~~1121~~. Invalidation of any of these covenants by judgment, decree, or court order, shall in no way affect any of the other provisions of this dedication and such other provisions shall remain in full force and effect.

~~1322~~. If the parties hereto, or any of them, or their heirs or assigns shall violate or attempt to violate any of the covenants or restrictions here, it shall be lawful for any other person owning property in said addition to prosecute any proceedings at law or in equity against the person or persons violating or attempting to violate any such covenants or restrictions, and for the purpose of preventing such acts or recovering damages for such violations or both, and for costs and reasonable attorney fees as determined by the court.

PUBLIC IMPROVEMENTS REQUIRED IN PLAT

1. The public street(s) shown on the attached plat, will be brought to City grade and that the street will be thirty-one (31) feet, back of curb to back of curb, with approved hard surface pavement in accordance with the City of Cedar Falls, Standard Specifications unless otherwise specified as per approved construction plans.

2. Sanitary sewer, together with the necessary manholes and sewer service lines to all buildings in the plat will be provided.

3. That underground utilities, as required by the Subdivision Ordinance of the City of Cedar Falls, Iowa, shall be installed.

4. That city water will be provided to all buildings as required by the Cedar Falls Municipal utilities.

5. That municipal fire hydrant(s) will be provided as required by the Cedar Falls Public Safety Department.

6. That Storm sewer will be provided as specified by the City Engineer.

7. That handicap ramps will be provided as required by law.

8. All buildings erected on any lot in this Development shall be constructed in accordance with the building, plumbing and electrical codes of the City of Cedar Falls.

9. The Developer or its successors will install a 4-foot wide concrete sidewalk four inches thick across the entire frontage of any Lot, on and corner Lots, at the time of construction upon said Lot. This shall include handicap ramps as provided by state law. Any Lots remaining vacant for five (5) years after the date of final approval of the plat, shall be improved with sidewalks as soon as the construction season permits.

10. That the work improvements called herein shall be in accordance with the specifications of the City of Cedar Falls, Iowa, and performed under the supervision of the City Engineer. In the event that the developer, Panther Farms, LLC, its grantees and assigns fail to complete said work and improvements called for within one (1) year from the date of the acceptance of said final plat by the City of Cedar Falls, Iowa, the City may then make improvements and assess the costs of the same to the respective lots. The undersigned, for themselves, their successors, grantees and assigns, waive all statutory requirements of notice of time and place of hearing and agree that the City may install said improvements and assess the total costs thereof against the respective lots.

11. That the City may perform said work, levy the cost thereof as assessments, and the undersigned agree that said assessments so levied shall be a lien on the respective lots with the same force and effect as though all legal provisions pertaining to the levy of such special assessments have been observed, and further authorize the City Clerk to certify such assessments to the County Auditor as assessments to be paid in installments as provided by law.

12. The Developer shall construct and install all required public improvements within the subdivision plat, to conform with approved construction plans which meet the specifications of the City of Cedar Falls, Iowa. Such required public improvements shall meet the following requirements:

- A. Shall be constructed and installed in a good and workmanlike manner;
- B. Shall be free of defects in workmanship or materials;
- C. Shall be free of any conditions that could result in structural or other failure of said improvements;
- D. Shall be constructed and installed in accordance with the design standards and technical standards established for such public improvements by the City and by Cedar Falls Utilities;
- E. Shall be constructed and installed in strict compliance with the minimum acceptable specifications for the construction of public improvements set forth in the Cedar Falls Code of Ordinances, including without limitation, Chapter 24, Subdivisions, and as such specifications shall be recommended for approval by the City Engineer from time to time, and approved by the city council.

13. The Developer's construction plans are now on file in the Office of the City Engineer.

| SIGNED and DATED this _____ day of _____, ~~2018~~2019

Panther Builders, LLC

Brent Dahlstrom, Manager

STATE OF IOWA, BLACK HAWK COUNTY: ss

| On this ____ day of _____, ~~2018~~2019, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Brent Dahlstrom, Manager of Panther Builders, LLC, to me known as the identical persons named in and who executed the foregoing instrument and acknowledged that they executed the same as their voluntary act and deed on behalf of Panther Builders, LLC.

Notary Public in and for the State of Iowa



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
220 Clay Street
Cedar Falls, Iowa 50613
Phone: 319-273-8600
Fax: 319-273-8610
www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Iris Lehmann, Planner II
DATE: January 17, 2019
SUBJECT: Greenhill Village Townhomes II – Site plan

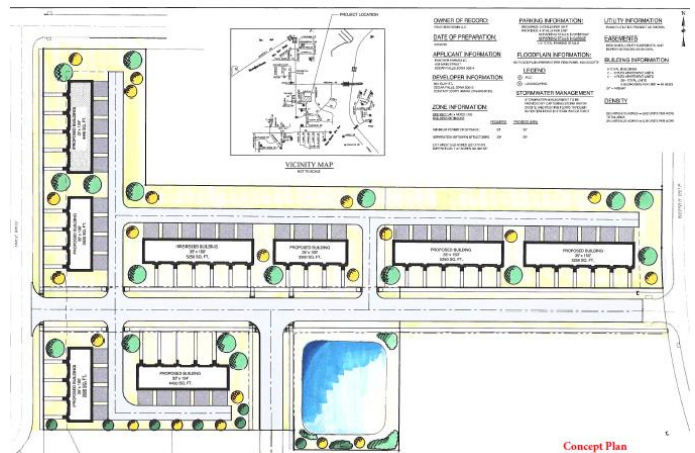
REQUEST: Request to approve the Greenhill Village Townhomes II Site Plan
PETITIONER: Panther Farms LLC – owner; CGA Engineers – Civil Engineer
LOCATION: Lot 1 in Greenhill Village Townhomes II, 0.98 acres southeast of the Lloyd Lane and Norse Drive intersection

PROPOSAL

The applicant is proposing to build one (1) four-unit townhome building and one (1) five-unit townhome building on Lot 1 of the Greenhill Village Townhome II subdivision. This request will be subject to the approval of the Greenhill Village Townhomes II Preliminary and Final Plat.

BACKGROUND

In 1998 the 130 acres of the Greenhill Village property was rezoned to MU, Mixed Use Residential. This rezoning was accompanied by the creation of a Greenhill Village Master Plan that was to be used as a guide for the development in this area. Since that time there have been a number of amendments to the Greenhill Village Master Plan. The most recent amendment to the Master Plan was approved in April 2018. This amendment to the Master Plan focused on the 5.3 acres southeast of the Greenhill Road and Hudson Road intersection; the land now described as Greenhill Village Townhomes II. These 5.3 acres were originally designated for single-unit residential development with a density of 3.14 units an acre. The approved amendment allows for multi-unit, residential development at a density of approximately 7.7 units an acre. The concept plan that was approved with this update to the Greenhill Village Master Plan presented a development of townhomes, see image to the right.



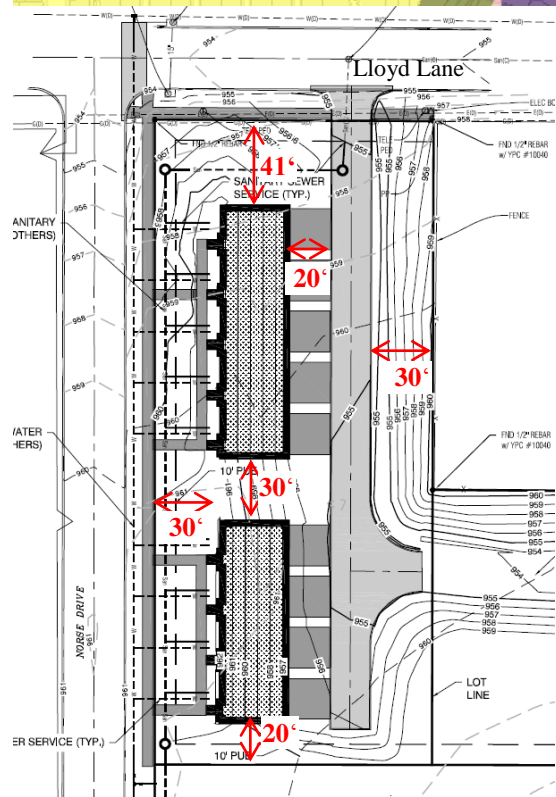
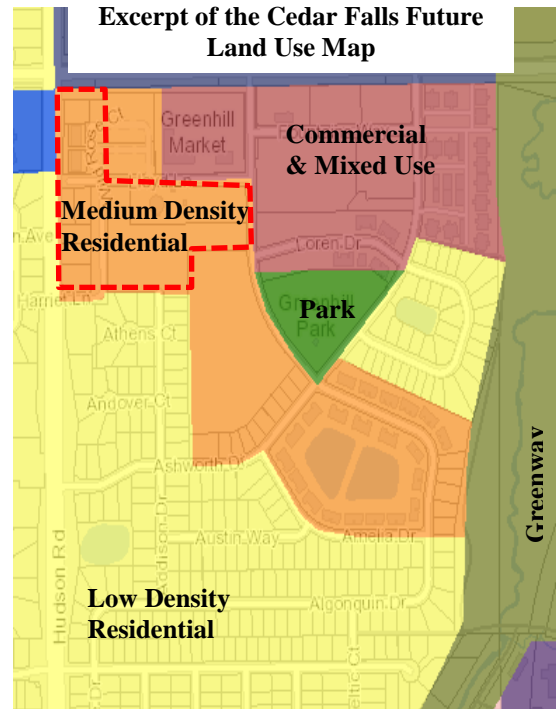
ANALYSIS

The property in question is located within the MU, Mixed Use Residential, zoning district. Development in an MU zoning district requires a detailed site plan review to ensure that the development site satisfies the standards of the comprehensive plan, recognizes principles of civic design, land use planning, landscape architecture, and building architectural design that are set out for the district. Attention to details such as parking, open green space, landscaping, signage, building design, and other similar factors help to ensure orderly development. The following is a review of the zoning ordinance requirements:

Use: The intent of the MU district is to encourage a variety of housing types and neighborhood commercial land uses for the purpose of creating viable, self-supporting neighborhood districts. Therefore, MU zoning permits a variety of uses ranging from neighborhood commercial to office to single-unit homes to condominiums. The approved Greenhill Village Master Plan, attached, arranges the various permitted uses and densities by area. The proposed Greenhill Village Townhomes II Site Plan proposes to build two townhome buildings that are consistent with the approved Greenhill Village Master Plan and concept plan; see the Background section of the report. The City's Future Land Use Map closely follows the Greenhill Village Master Plan. A standard planning practice is to create a gradual transition of development intensity from single family development to higher density residential to neighborhood-serving commercial and mixed-uses. The City's Future Land Use Map shows this area, outlined in red in the image to the right, as being developed as Medium Density Residential. The proposed Greenhill Village II Site Plan will serve as a transition in development intensity and is consistent with the City's Future Land Use Map. **The proposed use of Townhomes is a permitted use in this area.**

Building Location: In the MU Zoning District a 30 foot minimum setback area consisting of open landscaped green space must be established around the district. In addition, principal structures must be setback at least 20 feet from any interior streets and other buildings. The boundaries of the Greenhill Village MU zoning district run along Lloyd Lane and Norse Drive. The proposed setbacks are enhanced over an excerpt of the submitted site plan in the image to the right. **The locations of the two buildings meet or exceed the standards of the district.**

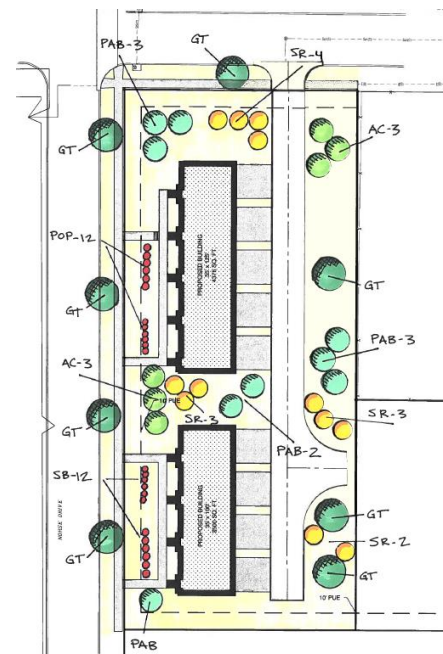
Parking: The parking requirement for townhomes in



Cedar Falls is two parking spaces per dwelling unit, plus one additional parking space for each bedroom in each dwelling unit in excess of two bedrooms. The applicant is proposing to build one (1) four-unit townhome building and one (1) five-unit townhome building. Each unit will have three bedrooms, see floor plan below. Per the city code the development will need to provide each townhome unit a minimum of three parking spaces. In addition to this general requirement, one stall is required for every five units in excess of five units for visitor parking. There are nine units being proposed in this site plan; no guest parking is required. The proposed development will provide each unit with a tuck under two stall garage located in the rear of the buildings. Each garage will have a 20 foot long by 20 foot wide driveway. The proposed layout provides four parking spaces per unit: two in each garage and two in front of each garage. These four stalls would provide the needed parking for the optional fourth bedroom shown in the lower level next to the garage. If this additional bedroom is added it will need to meet all building and safety standards. The location of the garages off of the back of the buildings creates a more pedestrian-oriented, residential character along the streets which is consistent with the intent of the district. Parking lot regulations and landscaping requirements are not applicable to this review. **The parking requirement is met.**



Open Green Space/Landscaping: The MU District requires that open green space be provided at the rate of 10% of the total development site area excluding the required district setbacks. The development site is 0.98 acres or 42,689 square feet. The proposed site plan offers 0.46 acres or 20,038 square feet (47%) of open space. The minimum required open space area for this lot is 4,269 square feet. When deducting the district setbacks for this property (13,534 square feet) the open space provided for the site is 6,504 square feet. **The open green space requirement is met.** In addition to the greenspace requirement the MU district has a landscaping requirement of 0.02 landscaping points per square foot of total development site area. For a 42,689 square foot lot, 854 landscaping points are needed. The proposed landscaping plan, see image to the right, is proposing to provide 2,160 landscaping points. The proposed landscaped areas will be distributed throughout



the development site. The MU District also requires 0.75 landscaping points for street trees per linear foot of public street frontage. This development is required to provide 338 (415 feet x 0.75) landscaping points worth of street trees. The applicant is proposing to provide five 2 inch overstory street trees which equates to 400 landscaping points. Additional landscaping will be required as future development occurs throughout the Greenhill Village Subdivision. **Staff recommends that two of the existing overstory “site trees” be relocated to the east side of Tract B, detention basin, to meet the street tree requirements for that tract. The landscaping requirements are met.**

Building Height: The maximum building height allowed in this district is 35 feet or three stories, whichever is less. The two proposed buildings will be three stories with a height of 34 feet 11 ¼ inches. **The building height requirement is met.**

Building Design: The MU District requires a design review of various elements to ensure architectural compatibility to surrounding structures within the MU District. Below are a set of images showing the character of neighboring buildings and developments within the MU District.



1510 Athens Ct and 1517 Athens Ct (properties to the south)



Greenhill Market and Greenhill Crossing (developments to the north)



Greenhill Village Commercial 4th (development to the east)

Proportion: The relationship between the width and height of the front elevations of adjacent buildings shall be considered in the construction or alteration of a building; the relationship of width to height of windows and doors of adjacent buildings shall be considered in the construction or alteration of a building.

As seen in the images on the previous page the MU District houses a variety of housing types and neighborhood commercial land uses. The property in question has single family residential development to the south and west (the land to the west is outside of the MU zoning district so an example of this housing stock is not included in this analysis). A water tower (outside of the MU zoning district), Greenhill Market (commercial), and Greenhill Crossing (multi-family development) are to the north. The Greenhill Village Commercial 4th (Multi-family development) is to the east. Two and three story buildings are typical for this area. Below are front and back elevations of the proposed five-unit building. Note that the proposed four-unit building has the same design, see attached for the complete set of elevations.



Each proposed townhome will be 25 feet wide by 35 feet long. In total, the four-unit townhome building will be 100 feet long and the five-unit townhome building will be 125 feet long. The proposed design breaks up a multiunit building so each townhome is easily distinguished from the adjacent townhome with each townhome proportioned consistent with that of a single family home. **Criterion met.**

Roof shape, pitch, and direction: *The similarity or compatibility of the shape, pitch, and direction of roofs in the immediate area shall be considered in the construction or alteration of a building.*

All neighboring residential developments have pitched roofs. The proposed two buildings incorporate the same roof shape, pitch, and direction. **Criterion met.**

Pattern: *Alternating solids and openings (wall to windows and doors) in the front facade and sides and rear of a building create a rhythm observable to viewers. This pattern of solids and openings shall be considered in the construction or alteration of a building.*

The two proposed buildings have a distinct repeating pattern for each unit on both the back and front facades. Each entry is recessed from the front line of the main portion of the townhome units to add additional depth to the front façade. In the rear the second floor dormer overhangs the main portion of the house to also create depth in the façade. The proposed doors and windows on each side create visual interest and rhythm.

Criterion met.

Materials and texture: *The similarity or compatibility of existing materials and textures on the exterior walls and roofs of buildings in the immediate area shall be considered in the construction or alteration of a building. A building or alteration shall be considered compatible if the materials and texture used are appropriate in the context of other buildings in the immediate area.*

To help distinguish between the townhome units a vertical board and batten siding will alternate with a horizontal lap board siding from unit to unit. This variation in design also helps to prevent monotony by visually breaking up the façade into distinct units. The siding is cement board, which is a more durable material than vinyl siding. A brick liner will be used in areas where the foundation is visible. The applicant is proposing to use a standing seam metal roof. The proposed materials are consistent with materials used within the district. **Criterion met.**

Color: *The similarity or compatibility of existing colors of exterior walls and roofs of buildings in the area shall be considered in the construction or alteration of a building.*

The proposed buildings will be covered with both vertical and horizontal, white siding, gray brick, and topped with a gray roof. The use of a neutral color is consistent with the area. To provide additional visual interest, along with the alternating siding, the applicant is showing each unit with its own unique door color. **Criterion met.**

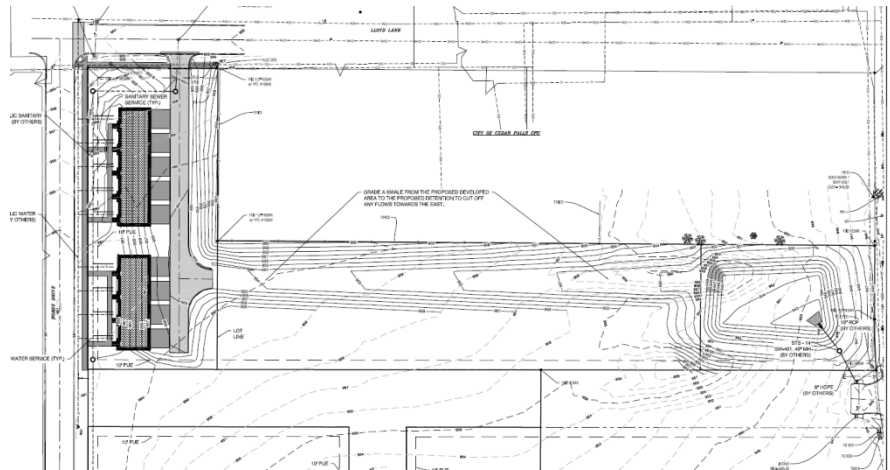
Architectural features: *Architectural features, including but not limited to, cornices, entablatures, doors, windows, shutters, and fanlights, prevailing in the immediate area, shall be considered in the construction or alteration of a building. It is not intended that the details of existing buildings be duplicated precisely, but those features should be regarded as suggestive of the extent, nature, and scale of details that would be appropriate on new buildings or alterations.*

Each townhome unit of this building has a small porch and balcony. The roof line is broken up and the front walls are setback in places to create both visual horizontal and vertical breaks. The architectural elements of these two buildings can be found in the

residential development to the south. **Criterion met.**

Signage: No signage is currently proposed. **The signage criterion is not applicable to this proposal.**

Access locations: A private alley is proposed coming south off of Lloyd Lane to provide access to the garages for the townhomes on Lot 1. A turnaround will be provided at a location where the private alley could continue east to serve potential future development. Public sidewalks are required along the north and west sides of Lot 1. Sidewalk connections are required along the public streets. Since there



will be a Loren Drive constructed along the south side of the subject lot in the future, a public sidewalk will also be required along the south lot line, but this can be installed when this street is constructed in the future. This future public sidewalk should be noted on the site plan prior to approval. Private sidewalk connections to the townhomes will also be provided as shown.

Future public sidewalk connection should be indicated on the site plan.

Stormwater: A detention basin to the east, part of the Greenhill Village Townhomes II development, will be utilized to control water runoff from this site. The neighboring Outlot will be graded to guide the stormwater from Lot 1 to the detention basin. This improvement ensures that the water runoff from the new development will be managed. This detention basin will be oversized so it has the capability to also serve future development. **Criterion met.**

Other Site Elements: The developer intends to remove garbage and snow from the site with a private contractor.

TECHNICAL COMMENTS

City technical staff, including Cedar Falls Utilities (CFU) personnel, has reviewed the proposed plat. Technical comments are outlined below:

1. Enlarge all drawing plan views such that on an 11x17 sheet, they will scale properly.
2. Increase width of PUE to 20' around N/S sanitary main and include northern sanitary manholes/main within a PUE.
3. Add sidewalk along the eastern lot line of Tract B.
4. Add note for future sidewalk along the south side of Lot 1
5. On sheet C.300 remove "(By OTHERS)"
6. Revise and update sheet C.100 accordingly with any Preliminary Plat revisions
7. Submit final stormwater management report at time of construction plans.
8. On Sheet No.C.200:
 - a. Update the height details of the building so to be consistent with the elevations (should be 34' 11 1/4 ").
 - b. Site triangle details have not been provided.
 - c. Update required parking information. Three stalls are required per unit.
9. Landscaping Plan

- a. Update required landscaping points so that they are just representative of Lot 1. Square footage used appears to be for the entire site.
- b. Staff recommends that two of the existing overstory “site trees” be relocated to the east side of Tract B, detention basin to meet the street tree requirements for that tract.

Notice to adjoining property owners for this site plan was mailed on January 16, 2019.

PLANNING & ZONING COMMISSION

Discussion
1/23/2019

STAFF RECOMMENDATION

The proposed Greenhill Village Townhomes II Site Plan is consistent with the development intent of this area. Staff recommends gathering any comments from the Planning and Zoning Commission and the public and then continuing the discussion of the proposed subdivision plat at the next Planning and Zoning Commission meeting on February 13, 2019. Approval of this site plan will be subject to the resolution of the technical comments listed above and the approval of the Greenhill Village Townhomes II Preliminary and Final Plats.

Attachments: Greenhill Village Master Plan
Proposed Site Plan
Building Elevations
Proposed Landscaping Plan

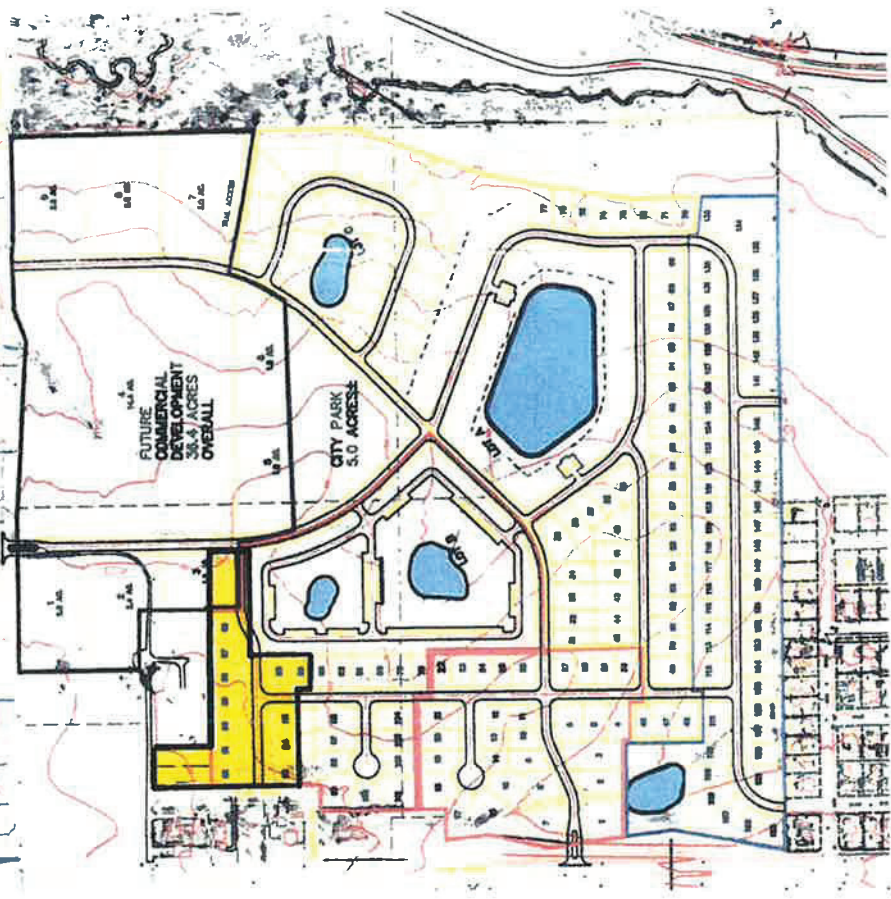
**GREENHILL VILLAGE
CEDAR FALLS, IOWA**



 NUMBER OF 1.5 UNIT LUXURY CONDOMINIUM BUILDINGS = 12 TOTAL
 NUMBER OF 2 UNIT PATIO HOMES = 20 TOTAL
 NUMBER OF 6 UNIT TOWNHOME BUILDINGS = 20 TOTAL
 NUMBER OF SINGLE FAMILY LOTS = 100

PHASE	ACRES OVERALL	DESCRIPTION
PHASE I	10.6 ACRES OVERALL	10.6 ACRES SINGLE FAMILY 30 SINGLE FAMILY LOTS 2.80 UNITS/ACRE
PHASE II	42.7 ACRES OVERALL	10.1 ACRES LOT A 20 - 6 UNIT TOWNHOME BLDGS 11.9 UNITS/ACRE 11.0 ACRES LOT C 20 - 2 UNIT PATIO HOMES 80 UNITS TOTAL 6 UNITS/ACRE 21.4 ACRES SINGLE FAMILY 47 SINGLE FAMILY LOTS 2.18 UNITS/ACRE 8.8 ACRES SINGLE FAMILY 27 SINGLE FAMILY LOTS 3.14 UNITS/ACRE
PHASE III	21.3 ACRES OVERALL	12.7 ACRES LOT B 12 - 12 UNIT LUXURY CONDOMINIUM BLDGS 144 UNITS TOTAL 11.3 UNITS/ACRE
PHASE IV	16.1 ACRES OVERALL	16.1 ACRES SINGLE FAMILY 47 SINGLE FAMILY LOTS 2.88 UNITS/ACRE
	38.4 ACRES	
	3.8 ACRES	

ORIGINAL MASTERPLAN - 2003
 HIGHLIGHTED -
 PROPOSED
 CHANGE



SHEET NO. 1 OF 1	CONCEPT PLAN
GREENHILL VILLAGE CEDAR FALLS, IOWA	HFE
HANNA HILL ENGINEERS INC. 200 WESTERN AVENUE, SUITE 200 CEDAR FALLS, IOWA 52601 PHONE: 319.266.1100 FAX: 319.266.1101	DATE: 11/15/03 DRAWN BY: JAC CHECKED BY: JAC DATE: 11/15/03 DATE: 11/15/03

GREENHILL VILLAGE TOWNHOMES II

LOT 1 SITE PLAN SUBMITTAL

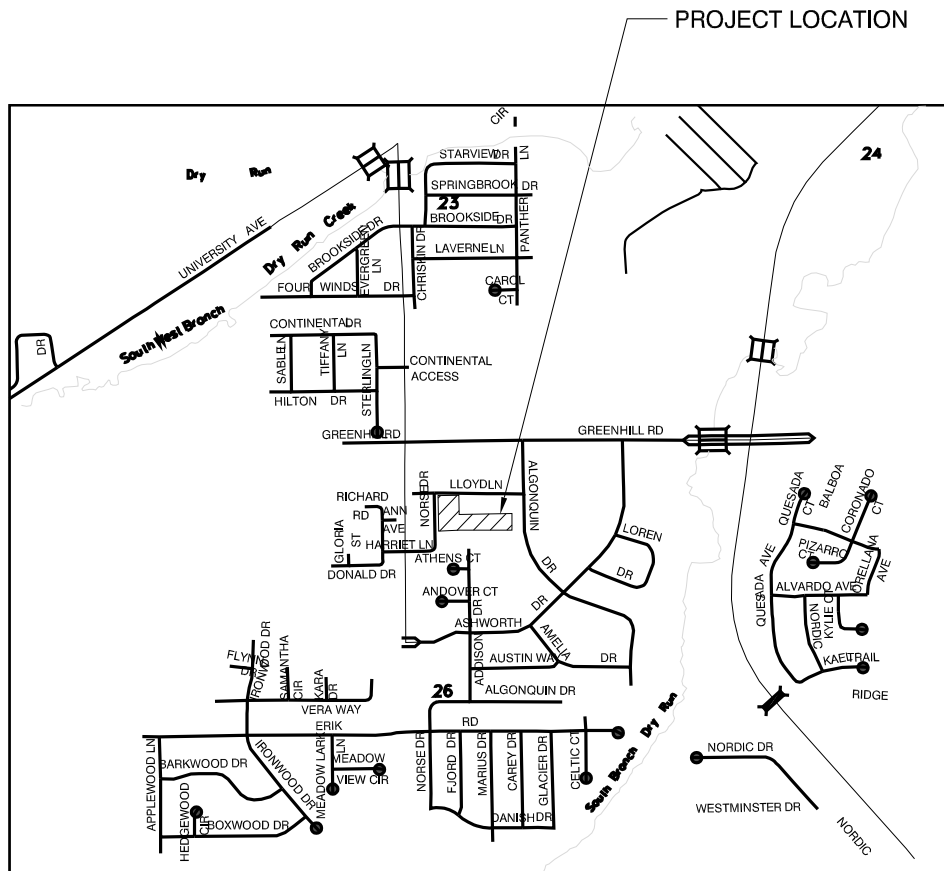
CEDAR FALLS, IOWA

2019

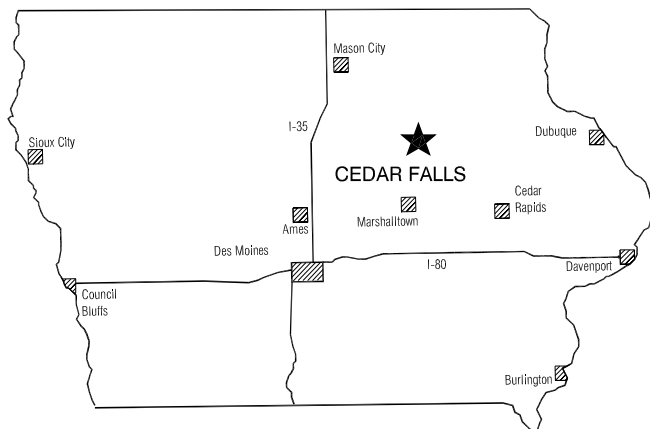
GRADING, PAVING, & UTILITIES

WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2018 EDITION (SUDAS) AND THE CITY OF CEDAR FALLS STANDARD SPECIFICATIONS

SHEET NO.	INDEX OF SHEETS DESCRIPTION
C.001	TITLE SHEET
C.002	SYMBOLS, LEGEND AND GENERAL INFORMATION
C.100	EXISTING CONDITIONS AND DEMOLITION PLAN
C.200	SITE PLAN
C.300	OVERALL UTILITIES AND GRADING PLAN
C.301-C.302	GRADING PLAN
C.303	SWPPP
C.500-C.504	DETAILS



VICINITY MAP
NOT TO SCALE



LOCATION MAP

**PRELIMINARY
- NOT FOR
CONSTRUCTION**



Clapsaddle-Garber Associates, Inc
16 East Main Street, P.O. Box 754
Marshalltown, Iowa 50158
Phone 641-752-6701
www.cgaconsultants.com

SITE PLAN SUBMITTAL SET - DATE: 01-11-19

	I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.	
	Signature Adam C. Daters, PE Iowa License Number 19579 My license renewal date is December 31, 2018	Date
Pages or sheets covered by this seal: _____		

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
		EVERGREEN TREE	---	---	WATERLINE
		DECIDUOUS TREE			WATER VALVE
		FRUIT TREE			FIRE HYDRANT
		SHRUBS (BUSHES)			WATER METER
		TREE LINE			CURB STOP
		STUMP			YARD HYDRANT
		SWAMP			POST INDICATOR VALVE
		CEMETERY	---	---	SANITARY SEWER LINE
		GRAVE	---	---	STORM SEWER LINE
		CAVE			MANHOLE
		SINK HOLE			CLEANOUT
		WELL			INTAKE
		WINDMILL			BEEHIVE INTAKE
		CISTERN			ROOF DRAIN
		SEPTIC TANK			ROOF DRAIN (SURFACE)
		LP GAS TANK			ROOF DRAIN (UNDERGROUND)
		UNDERGROUND STORAGE TANK	---	---	GAS LINE
		SATELLITE DISH			GAS VALVE
		SIGN (TYPE AS NOTED)			GAS METER
		FLAGPOLE	---	---	OVERHEAD ELECTRICAL LINE
		SOIL BORING	---	---	BURIED ELECTRICAL LINE
		MONITORING WELL			POWER POLE
		PARKING METER			ELECTRICAL METER
		MAILBOX			ELECTRICAL HIGHLINE TOWER
		POST			TRAFFIC SIGNAL
		BOLLARD			STREET LIGHT
		SPRINKLER HEAD			LUMINAIRE
		SPRINKLER HEAD VALVE			ELECTRICAL BOX/TRANSFORMER
		GUARDRAIL (BEAM OR CABLE)	---	---	FIBER OPTICS LINE
		FENCE			FIBER OPTICS BOX
		FIELD TILE			FIBER PEDESTAL
		TILE OUTLET	---	---	TELEPHONE LINE
		DRAINAGE WAY			TELEPHONE POLE
		EDGE OF WATER			TELEPHONE PEDESTAL
		SILT FENCE			TELEPHONE BOX
		CONTOUR LINE			CABLE TELEVISION LINE
		SPOT ELEVATION	---	---	TELEVISION PEDESTAL
					TELEVISION BOX
					AIR CONDITIONER

EXISTING	PROPOSED	SECTION/R.O.W. LINE
---	---	BOUNDARY LINE
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	SETBACK LINE
■	■	R.O.W. RAIL OR LOT CORNER
■	■	CONCRETE MONUMENT
▲	▲	GOVERNMENT CORNER MONUMENT
●	○	PARCEL OR LOT CORNER MONUMENT
○	○	TEMP. CONSTRUCTION EASEMENT CORNER
◆	◆	SURVEY CONTROL POINT

GENERAL NOTES

1. ALL DIMENSIONS ARE TO BACK OF CURB WHERE APPLICABLE.
2. ALL DISTURBED AREAS, UNLESS OTHERWISE INDICATED, SHALL BE SEEDED, FERTILIZED AND MULCHED WITHIN THE APPROPRIATE SEEDING PERIOD. SEED SHALL BE TYPE 1 LAWN MIXTURE. SEE SUDAS SECTION 9010.
3. SEEDED SLOPES SHALL BE 4:1. MAXIMUM SLOPE ALLOWED SHALL BE 3:1 WHERE APPROVED BY ENGINEER.
4. CONTRACTOR TO VERIFY EXISTING UTILITY SIZES PRIOR TO CONSTRUCTION. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
5. CONTRACTOR SHALL SUPPLY DETAILED CONSTRUCTION SCHEDULE TO PROJECT ENGINEER PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL COORDINATE RELOCATION OF EXISTING UTILITIES, WHICH ARE TO BE PERFORMED BY OTHERS, WITH RESPECTIVE UTILITY COMPANIES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
8. ONE WEEK PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER OF THEIR INTENT TO COMMENCE CONSTRUCTION.
9. CONTRACTOR SHALL DISPOSE OF WASTE EARTHWORK ON-SITE, AT THE DIRECTION OF THE PROJECT ENGINEER.
10. STORMWATER POLLUTION PREVENTION INFORMATION INCLUDED IN THIS PLAN SET IS NOT THE COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), BUT RATHER A PART OF THE SWPPP THAT IS TO BE UPDATED REGULARLY.
11. ALL SIDEWALK AND RAMPS SHALL BE IN COMPLIANCE WITH IOWA SUDAS SIDEWALK DESIGN REQUIREMENTS AND ADA ACCESSABILITY GUIDELINES. FAILURE OF SIDEWALK TO MEET THESE REQUIREMENTS WILL REQUIRE REMOVAL AND RECONSTRUCTION AT CONTRACTOR'S COST.

UTILITY NOTES

1. PRIOR TO INSTALLING UTILITIES, CONTRACTOR SHALL EXCAVATE AND FIELD VERIFY EXACT LOCATION, SIZE, AND ELEVATION OF ALL PUBLIC/PRIVATE UTILITIES WITHIN THE PROJECT LIMITS.
2. UNDERGROUND STRUCTURES, FACILITIES, AND UTILITIES HAVE BEEN PLATTED FROM AVAILABLE SURVEYS, RECORDS, AND DEEDS. THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN.
3. THE CONTRACTOR SHALL CALL IOWA ONE CALL AT (800) 292-8989 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS AND FLOW LINES PRIOR TO CONSTRUCTION AND TO PROTECT ALL UTILITIES FROM DAMAGE.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY ACCESS OR CONSTRUCTION ACTIVITIES TO ORIGINAL CONDITIONS. THIS MAY INCLUDE SCARIFYING AND RESEEDING OR OTHER RESTORATION EFFORTS AS REQUIRED. RESTORATION SHALL BE INCIDENTAL TO THE PROJECT.
2. ADJOINING PROPERTY SHALL BE PROTECTED DURING DEMOLITION OPERATIONS. DEBRIS SPILLAGE ON ADJOINING PROPERTIES SHALL BE CAREFULLY REMOVED BY THE CONTRACTOR.
3. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM SITE AND PROPERLY DISPOSED OF.

SHOP DRAWING SUBMITTALS

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER ALL SHOP DRAWINGS, MATERIAL CERTIFICATIONS AND VENDOR MATERIALS CERTIFICATIONS FOR ALL MATERIALS TO BE INCORPORATED INTO THE PROJECT.
2. CONTRACTOR SHALL ALLOW 14 CALENDAR DAYS FOR REVIEW OF SHOP DRAWINGS, MATERIAL CERTIFICATIONS AND VENDOR MATERIALS CERTIFICATIONS. IF REVIEW HAS NOT BEEN COMPLETED IN 14 CALENDAR DAYS, THIS SHALL NOT IMPLY APPROVAL. CONTACT PROJECT ENGINEER FOR SUBMITTAL STATUS.
3. CONTRACTOR SHALL NOT BE COMPENSATED FOR ANY MATERIAL THAT IS INSTALLED PRIOR TO APPROVAL BY THE ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COST TO REPLACE ANY NON-APPROVED MATERIALS.

UTILITY COMPANIES

THE FOLLOWING UTILITIES ARE PRESENT ON THIS PROJECT

ELECTRIC/GAS/WATER/TV	FIRE PROTECTION
CEDAR FALLS UTILITIES	CITY OF CEDAR FALLS
JOHN OSTERHAUS (ELECTRIC)	(319) 273-8663
(319) 268-5298	
JERALD LUKENSMEYER (GAS & WATER)	
(319) 268-5330	
DAVE SCHILLING (COMMUNICATIONS)	
(319-268-5265)	

TELEPHONE	STREETS - CITY
CENTURY LINK	CITY OF CEDAR FALLS
JEREMY AHRENS	PUBLIC WORKS
(319) 291-9441	
CFU	BRIAN HEATH
DAVID SCHILLING	(319) 268-5575
(319) 268-5265	

CABLE	BUILDING DEPARTMENT
MEDIACOM	CITY OF CEDAR FALLS
KEVIN PARKER	(319) 268-5180
(319) 240-4987	

STORM/SANITARY SEWER	CITY ENGINEER
WATER RECLAMATION	CITY OF CEDAR FALLS
MIKE NYMAN	(319) 268-5161
(319) 268-5560	

NOTE:
TYPICAL DEPTH OF COVER ON WATER MAIN PIPE IN CEDAR FALLS IS 5.5 FT.

UNDERGROUND STRUCTURES, FACILITIES, AND UTILITIES HAVE BEEN PLATTED FROM AVAILABLE SURVEYS, RECORDS AND DEEDS. THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN.

WATER MAIN NOTES

1. MATERIAL AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE "MUNICIPAL WATER UTILITY OF THE CITY OF CEDAR FALLS, IOWA" ON FILE WITH THE DEPARTMENT OF NATURAL RESOURCES, THE "CEDAR FALLS MUNICIPAL WATER DISTRIBUTION STANDARDS" AND THE "TEN STATE STANDARDS." THE CONTRACTOR SHALL VERIFY THESE REQUIREMENTS PRIOR TO BIDDING ON THIS PROJECT. IF THE STANDARDS CONFLICT, THE CONTRACTOR SHALL ABIDE BY THE MORE STRINGENT STANDARD.
2. ALL WATER MAIN SHALL HAVE A MINIMUM OF 5.5 FEET OF COVER AT FINISHED GRADE IN PARKING AREAS AND 6.0 FEET IN STREET AREAS.
3. VALVES SHALL BE LEFT HAND OPEN RESILIENT SEAT GATE VALVES. THE COST OF VALVE BOXES ARE INCLUDED IN APPLICABLE ITEMS. APPROXIMATE DEPTH OF VALVE BOXES WILL BE 7 FEET.
4. LEAK PRESSURE TESTS WILL BE CONDUCTED IN CONFORMANCE WITH AWWA C600-77 (CURRENT REVISION), AND SUPERVISED BY CEDAR FALLS UTILITIES.
5. DISINFECTION WILL BE CONDUCTED IN CONFORMANCE WITH THE IOWA STANDARDS FOR WATER SUPPLY DISTRIBUTION SYSTEMS AND THE IOWA DEPARTMENT OF NATURAL RESOURCES STANDARD SPECIFICATIONS AND SUPERVISED BY CEDAR FALLS UTILITIES.
6. WATER MAIN SHALL NOT BE DEFLECTED MORE THAN 5" VERTICALLY OR HORIZONTALLY.
7. ALL WATERMAIN SHALL BE WRAPPED WITH BLUE HIGH DENSITY CROSS LINKED, 8 MIL, POLYETHYLENE WRAP IN ACCORDANCE WITH AWWA C105.
8. SEE CFU DETAIL FOR END OF WATER MAIN HYDRANT ASSEMBLY

WATER SYSTEM SHUTDOWN NOTIFICATION

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WATER MAIN SHUT DOWNS WITH ANY AFFECTED CUSTOMERS AND CFU AT LEAST 48 HOURS PRIOR TO SHUTDOWN TO MINIMIZE SERVICE DISRUPTIONS. SHUT DOWNS MAY HAVE TO BE COMPLETED DURING NON-TRADITIONAL HOURS DEPENDING ON THE NEEDS OF THE AFFECTED CUSTOMERS. NO ADDITIONAL COMPENSATION WILL BE PROVIDED TO THE CONTRACTOR FOR WORK.



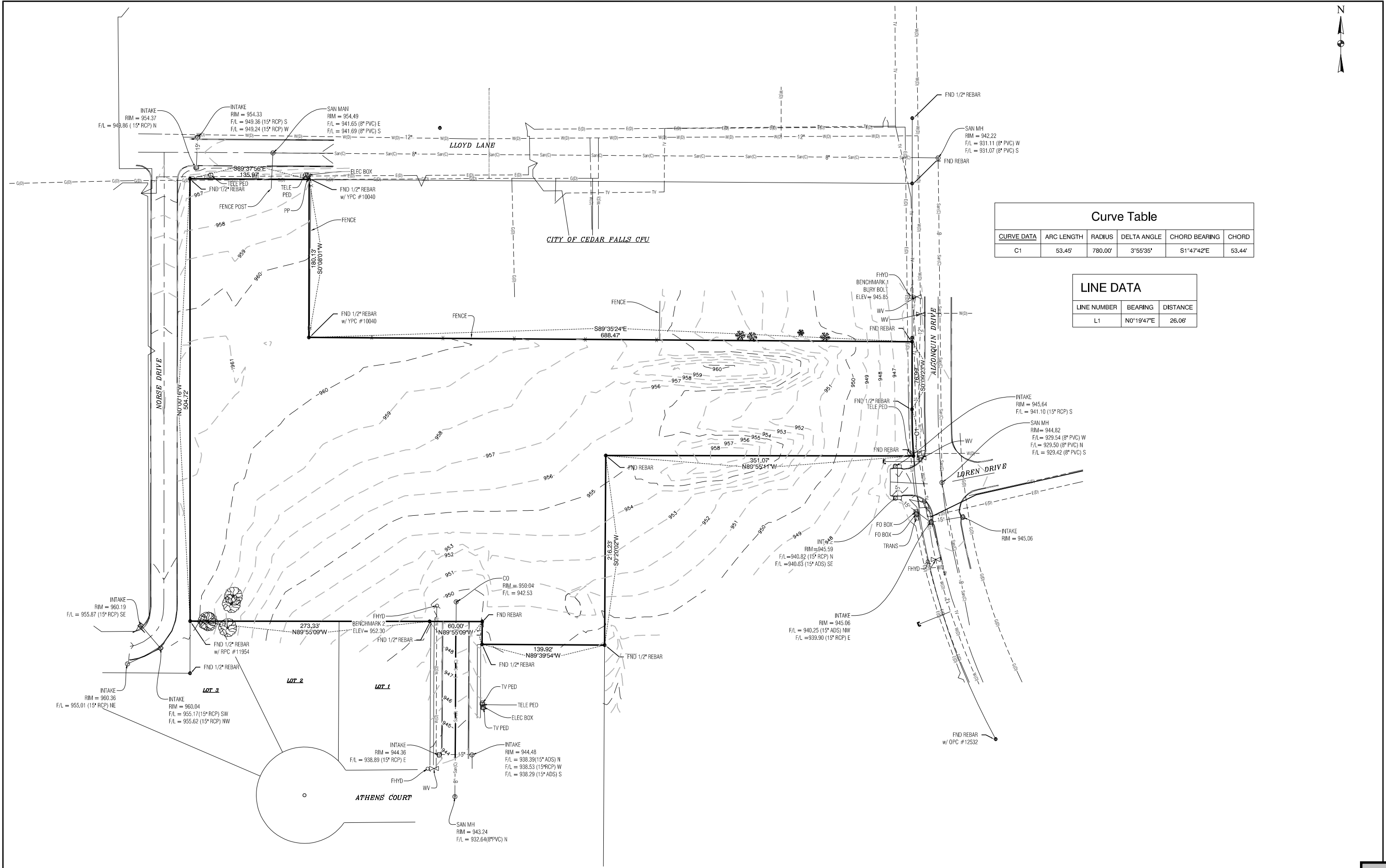
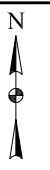
NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

CGA Clapsaddle-Garber Associates, Inc.
1523 S. Bell Ave. Suite 101
Ames, Iowa 50010
Ph 515-292-8639
www.cgaconsultants.com

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DRAWN: BMC DATE: 11-21-2018
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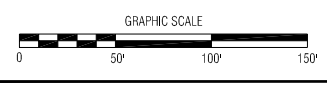
GREENHILL VILLAGE TOWNHOMES II
CEDAR FALLS, IOWA

SYMBOLS, LEGEND, AND GENERAL INFORMATION



Curve Table					
CURVE DATA	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD
C1	53.45'	780.00'	3°55'35"	S1°47'42"E	53.44'

LINE DATA		
LINE NUMBER	BEARING	DISTANCE
L1	N0°19'47"E	26.06'



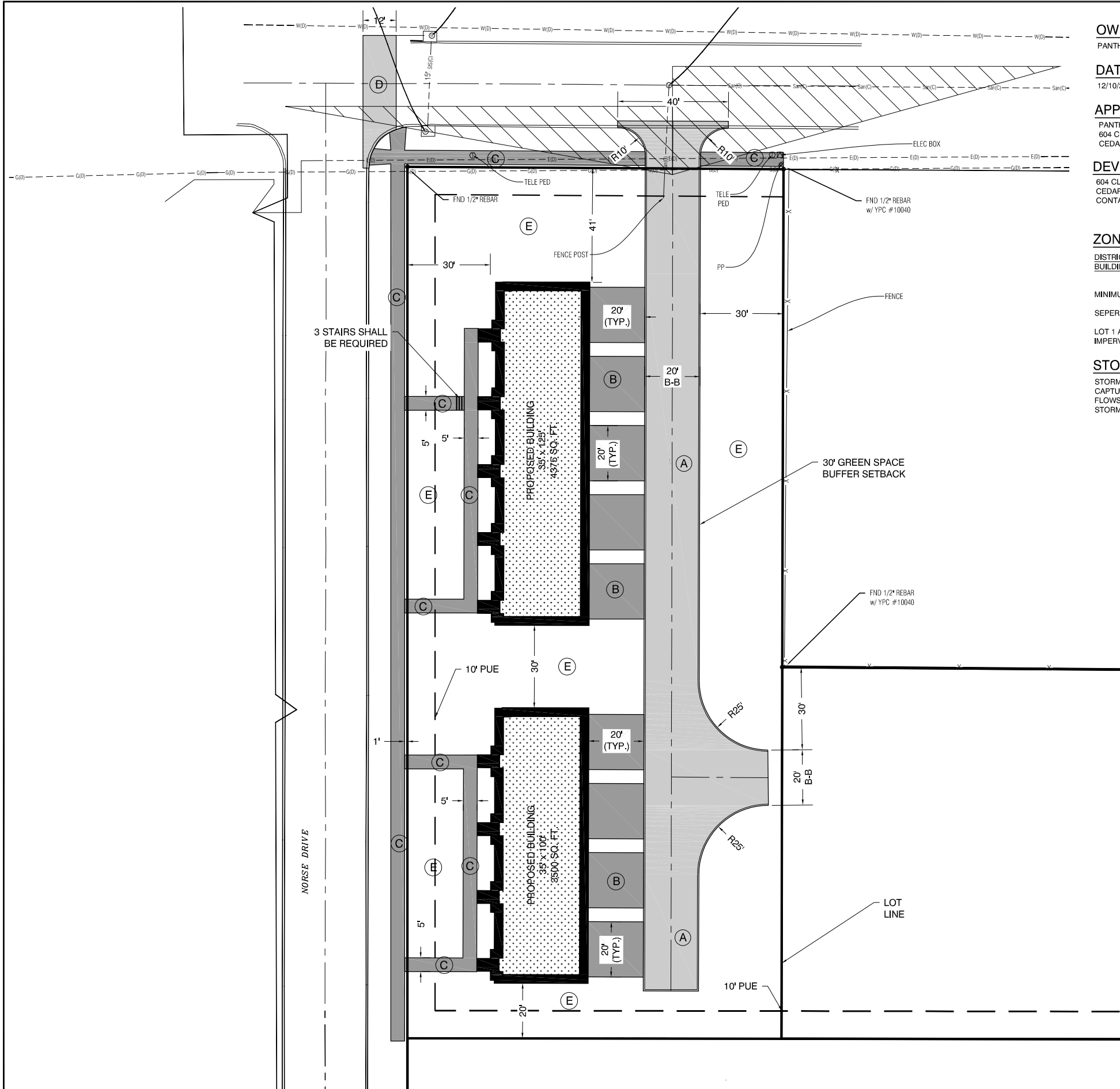
NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE



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GREENHILL VILLAGE TOWNHOMES
 CEDAR FALLS, IOWA

EXISTING CONDITIONS



OWNER OF RECORD:

PANTHER FARMS LLC

DATE OF PREPARATION:

12/10/2018

APPLICANT INFORMATION

PANTHER FARMS LLC
604 CLAY ST.
CEDAR FALLS, IOWA 50613

DEVELOPER INFORMATION

604 CLAY ST.
CEDAR FALLS, IOWA 50613
CONTACT: CORY HENKE (319-640-0182)

ZONE INFORMATION:

DISTRICT: MU - MIXED USE
BUILDING SETBACKS

	REQUIRED	PROVIDED (MIN)
MINIMUM PERIMETER SETBACK:	30'	30'
SEPERATION BETWEEN STRUCTURES	20'	30'

LOT 1 AREA: 0.98 ACRES (42,689 SF)
IMPERVIOUS: 0.46 ACRES (19,986 SF)

STORMWATER MANAGEMENT

STORMWATER MANAGEMENT TO BE PROVIDED BY CAPTURING STORM WATER ON SITE AND ROUTING FLOWS THROUGH A DETENTION POND IN THE STORM WATER TRACT TO THE SOUTHEAST.

PARKING INFORMATION:

REQUIRED: 2 STALLS PER UNIT
PROVIDED: 4 STALLS PER UNIT
18 PARKING STALLS IN DRIVEWAY
18 PARKING STALLS IN GARAGE
36 TOTAL PARKING STALLS

FLOODPLAIN INFORMATION:

NO FLOODPLAIN PRESENT PER FIRM PANEL 19013C0277F

LEGEND

- (A) - PRIVATE ACCESS DRIVE, 6" PCC
- (B) - PRIVATE DRIVEWAY, 6" PCC
- (C) - SIDEWALK, 4" PCC
- (D) - PCC PATCH
- (E) - LANDSCAPING

PROPERTY USE

MULTIFAMILY HOUSING

UTILITY INFORMATION

PUBLIC UTILITIES PRESENT AS SHOWN.

SIGHT TRIANGLES

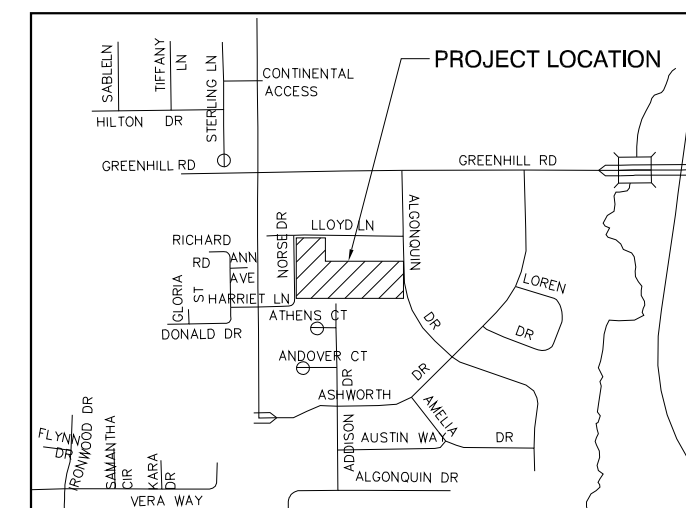
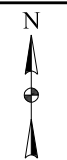
SIGHT TRIANGLE SHOWN ARE BASED ON A 30 MPH DESIGN SPEED

EASEMENTS

ROW LINES, UTILITY EASEMENTS, AND BUFFER SETBACKS AS SHOWN.

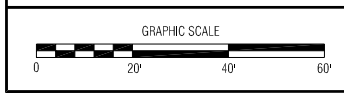
BUILDING INFORMATION

2 TOTAL BUILDINGS
1 - 4 PLEX APARTMENT UNITS
1 - 5 PLEX APARTMENT UNITS
9 - TOTAL UNITS
3 BEDROOMS PER UNIT = 27 BEDS
32' - HEIGHT



VICINITY MAP

NOT TO SCALE



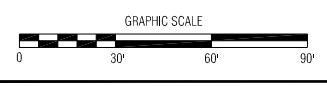
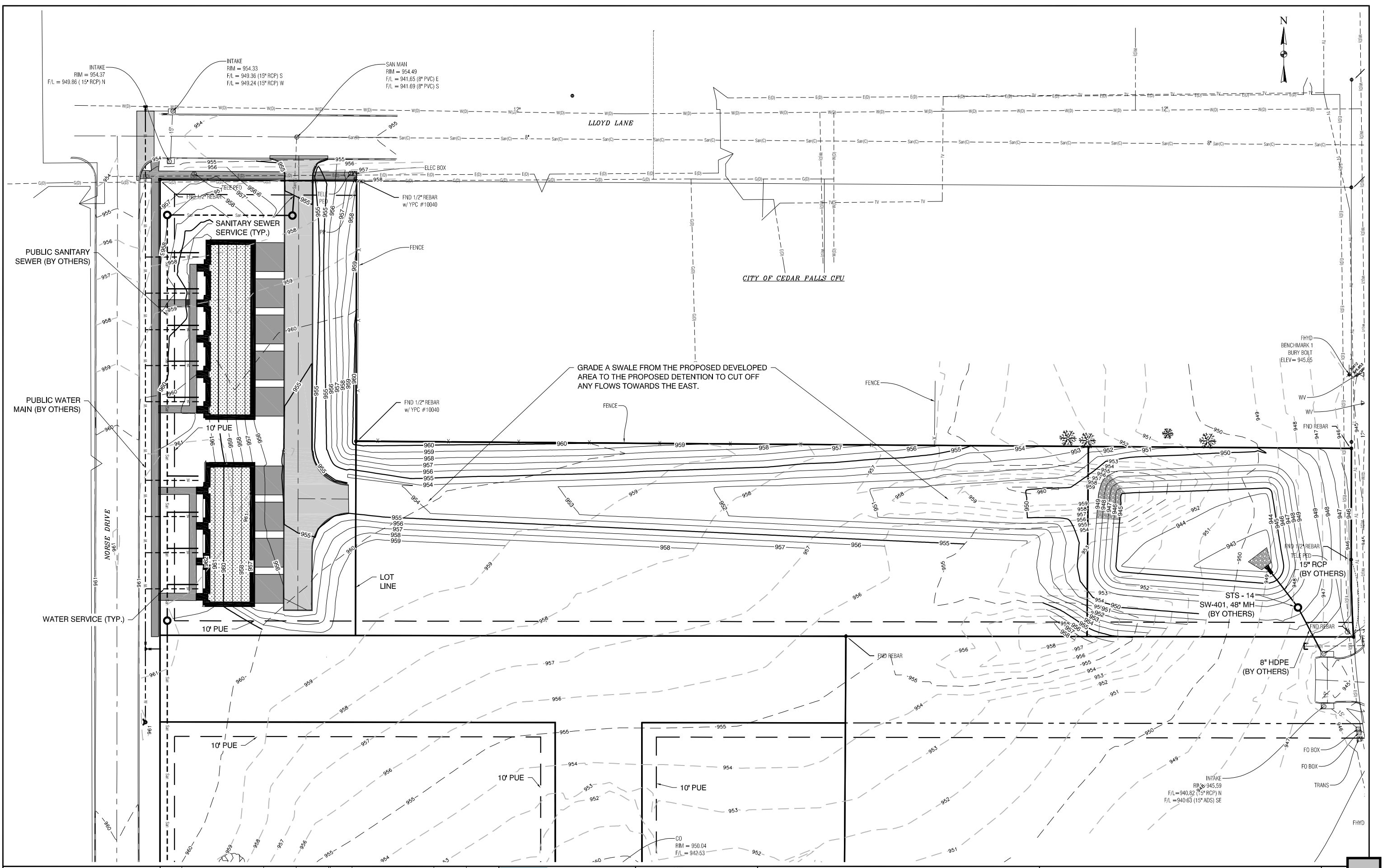
NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

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16 East Main Street
Marshalltown, Iowa 50158
Ph 641-752-6701
www.cgaconsultants.com

DESIGNED: LAW DATE: 08-06-18
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CHECKED: ACD DATE: 08-06-18
APPROVED: --- DATE: 08-06-18

GREENHILL VILLAGE TOWNHOMES II
CEDAR FALLS, IOWA

SITE PLAN



NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE



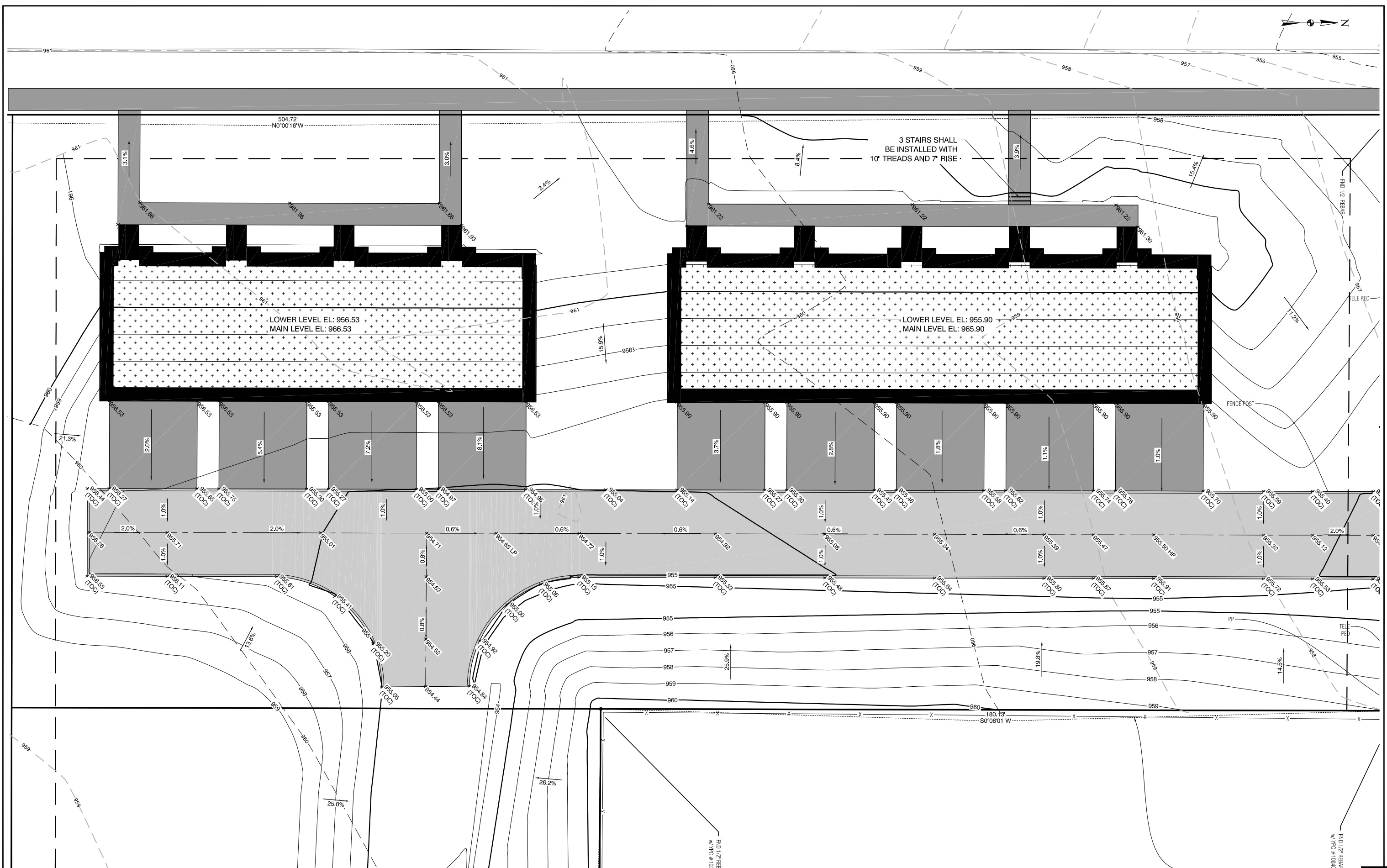
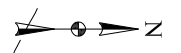
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 CHECKED: ACD DATE: 11-21-2018
 APPROVED: _____ DATE: _____

GREENHILL VILLAGE TOWNHOMES II

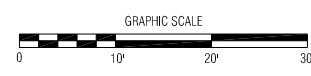
CEDAR FALLS, IOWA

OVERALL UTILITY AND GRADING PLAN

PROJECT: 56
 SHEET NO. C.300



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NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

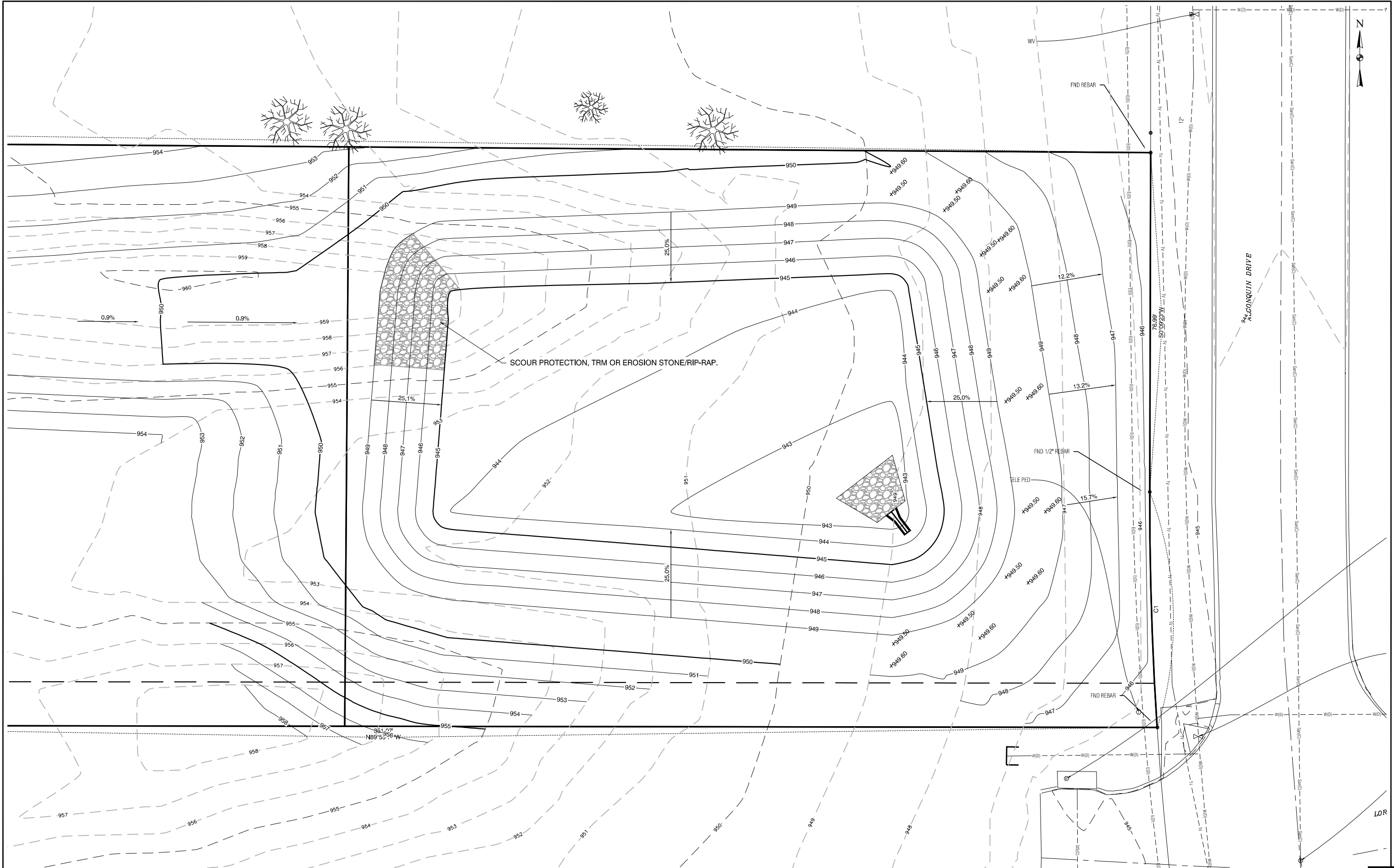
CGA Clapsaddle-Garber Associates, Inc.
 1523 S. Bell Ave. Suite 101
 Ames, Iowa 50010
 Ph 515-232-1784
 www.cgaconsultants.com

DESIGNED: LAW DATE: 11-21-2018
 DRAWN: BMC DATE: 11-21-2018
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 APPROVED: DATE:

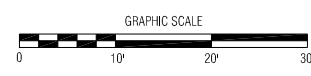
GREENHILL VILLAGE TOWNHOMES II
 CEDAR FALLS, IOWA

GRADING PLAN

PROJECT: 56
 SHEET NO.: C.301



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 1523 S. Bell Ave. Suite 101
 Ames, Iowa 50010
 Ph 515-223-1784
 www.cgaconsultants.com

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GREENHILL VILLAGE TOWNHOMES II
CEDAR FALLS, IOWA

GRADING PLAN

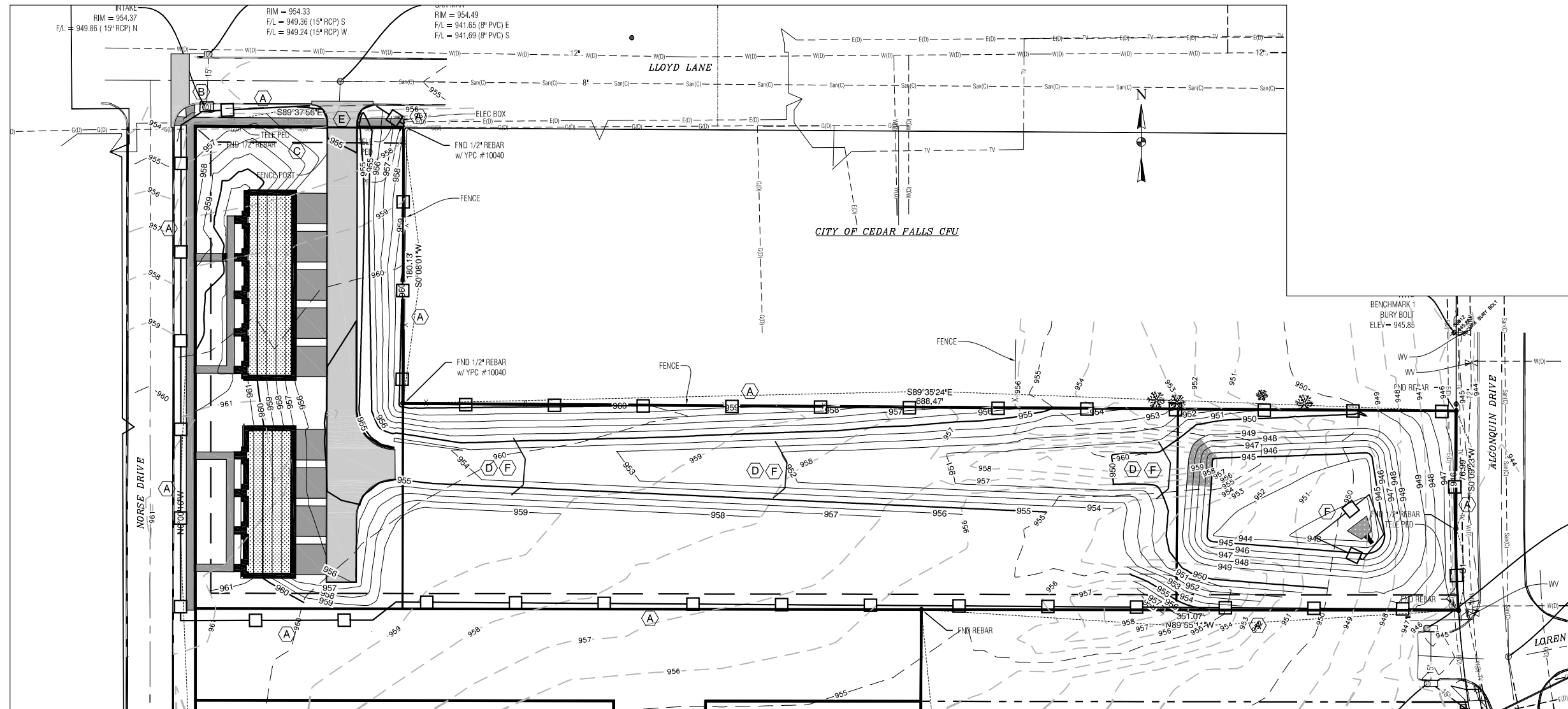
PROJECT: 56
 SHEET NO.: C.302

POLLUTION PREVENTION PLAN NOTES

- ALL CONTRACTORS SHALL BE SUPPLIED A COPY OF THE SWPPP DOCUMENT AT THE BEGINNING OF CONSTRUCTION. A COPY OF THE SWPPP DOCUMENTS SHALL BE LOCATED WITH THE SWPPP MANAGER AT ALL TIME. COPIES CAN ALSO BE FOUND AT THE OFFICES OF 16 E MAIN STREET, MARSHALLTOWN, IA 50158. ALL CONTRACTORS/SUBCONTRACTORS SHALL CONDUCT THEIR OPERATIONS IN A MANNER THAT MINIMIZES EROSION AND PREVENTS SEDIMENTS AND NON EARTH DISTURBING POLLUTANTS FROM LEAVING THE SITE AS DESCRIBED IN THE SWPPP. THE PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE AND IMPLEMENTATION OF THE SWPPP FOR THEIR ENTIRE CONTRACT. THIS RESPONSIBILITY SHALL BE FURTHER SHARED WITH SUBCONTRACTORS WHOSE WORK IS A SOURCE OF POTENTIAL POLLUTION AS DEFINED IN THE SWPPP.
- THIS SHEET IS NOT THE COMPLETE STORM WATER PREVENTION PLAN (SWPPP), BUT RATHER A PART OF THE SWPPP THAT IS TO BE UPDATED REGULARLY BY THE CONTRACTOR. IT IS THE PRIME CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP PLAN AS NEEDED AS WELL AS CONDUCT ANY NECESSARY INSPECTIONS IN ACCORDANCE WITH THE CITY OF CEDAR FALLS, IOWA DNR AND EPA GUIDELINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ANY DEFICIENCIES, CORRECTING THOSE DEFICIENCIES IMMEDIATELY AND DOCUMENTING SUCH WITH THE SWPPP. ALL EROSION CONTROL ITEMS SHALL BE REMOVED AT THE END OF THE PROJECT. THE SWPPP MANAGER SHALL UPDATE SITE PLAN WITH THE LOCATION OF THE 'POLLUTION PREVENTION PLAN LEGEND' ITEMS ONCE THE LOCATION OF THOSE CONTROLS IS ESTABLISHED. ANY ADDITIONAL CONTROLS THAT ARE USED BUT ARE NOT LISTED IN THE LEGEND SHALL BE CLEARLY IDENTIFIED ON THE PLANS. POST CONSTRUCTION STORM WATER CONTROL (DETENTION) IS LOCATED OFFSITE.

LEGEND

- (A) INSTALL SILT FENCE OR COMPOST FILLED FILLED SOCK - TO BE REMOVED AT THE END OF THE PROJECT.
- (B) INSTALL INLET PROTECTION - TO BE REMOVED AT THE END OF THE PROJECT.
- (C) INSTALL CONCRETE WASH OUT AREA - TO BE REMOVED & RESTORED AT THE END OF THE PROJECT.
- (D) INSTALL EXCELSIOR MAT
- (E) INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- (F) INSTALL FILTER SOCKS/DITCH CHECKS



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NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

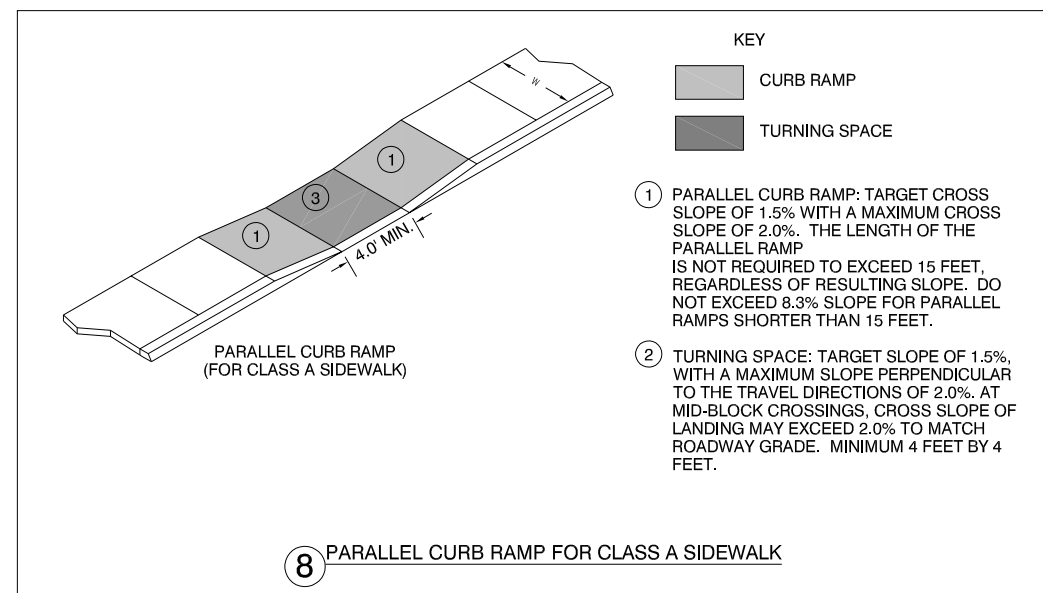
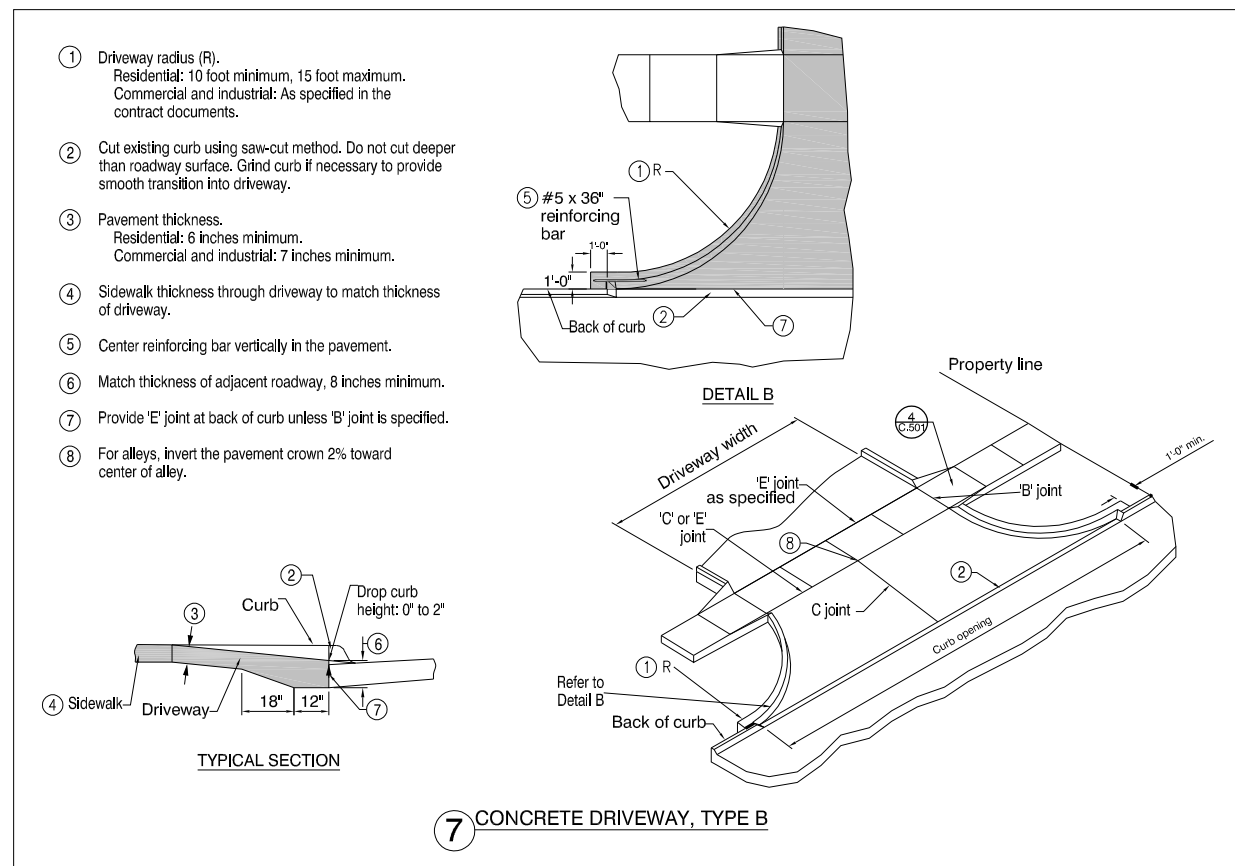
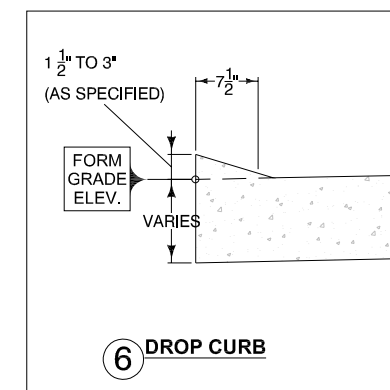
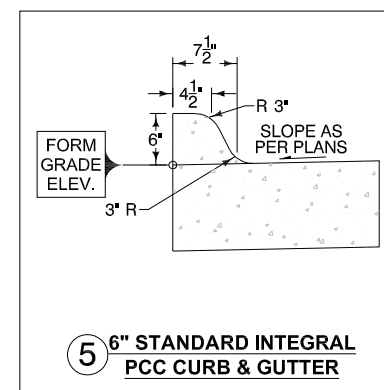
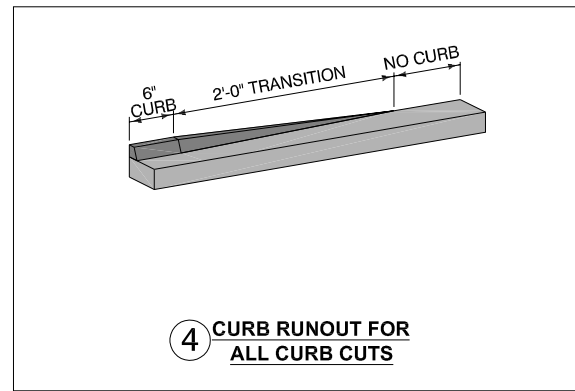
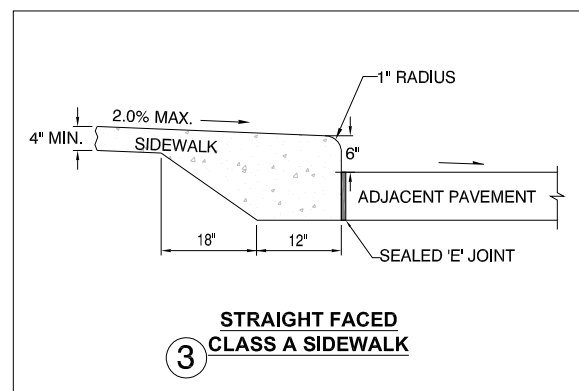
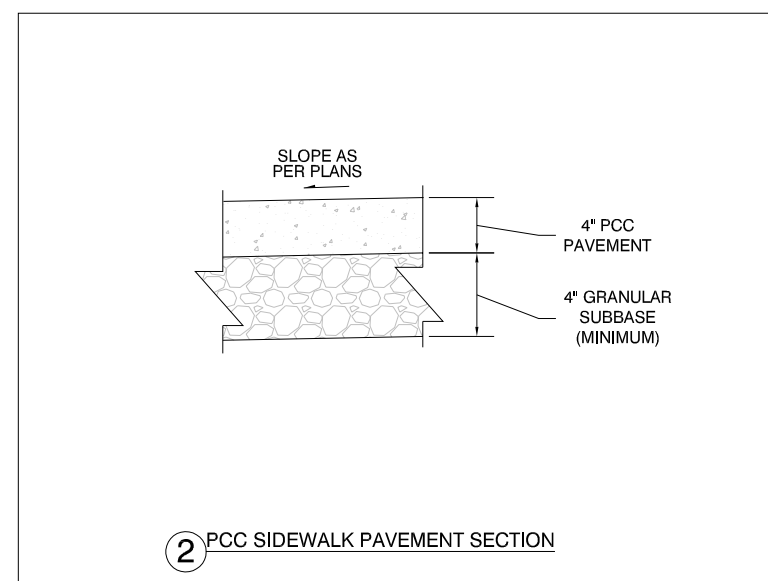
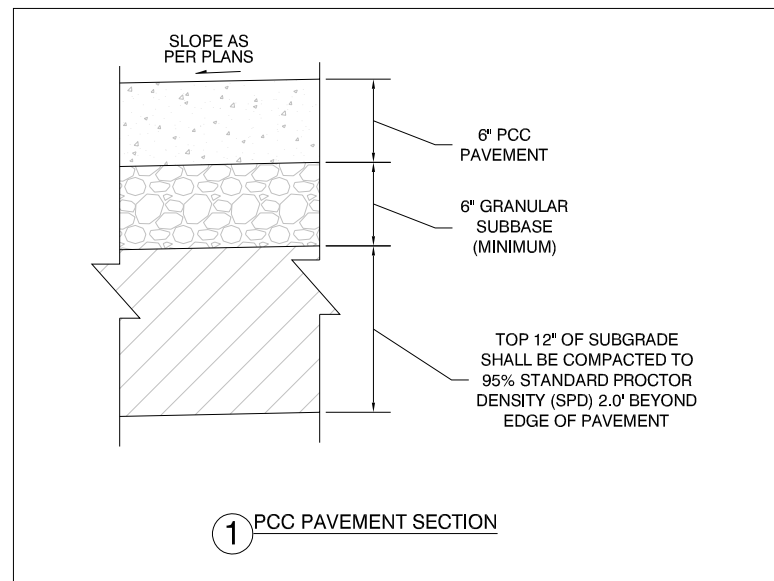
CGA Clapsaddle-Garber Associates, Inc.
16 East Main Street
Marshalltown, Iowa 50158
Ph 641-752-6701
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GREENHILL VILLAGE TOWNHOMES II
CEDAR FALLS, IOWA

STORM WATER POLLUTION PREVENTION PLAN

PROJECT NO. 56
SHEET NO. C.303



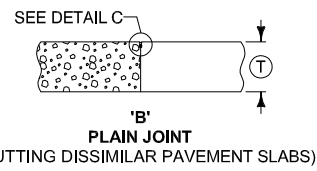
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NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

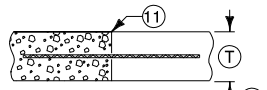


DESIGNED: LAW DATE: 06-29-2017
 DRAWN: BMC DATE: 06-29-2017
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 APPROVED: --- DATE: 06-29-2017

GREENHILL VILLAGE TOWNHOMES II
 CEDAR FALLS, IOWA

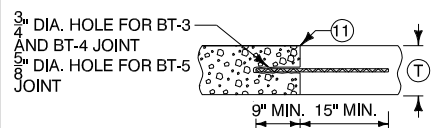


'B'
PLAIN JOINT
(ABUTTING DISSIMILAR PAVEMENT SLABS)



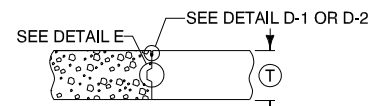
'BT'
ABUTTING PAVEMENT JOINT - RIGID TIE

T	JOINT	BAR	BAR LENGTH AND SPACING
< 8"	'BT-1'	#4	36" LONG AT 30" CENTERS
≥ 8"	'BT-2'	#5	36" LONG AT 30" CENTERS

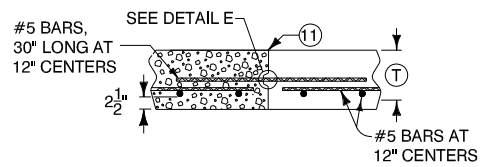


'BT'
ABUTTING PAVEMENT JOINT - RIGID TIE (DRILLED)

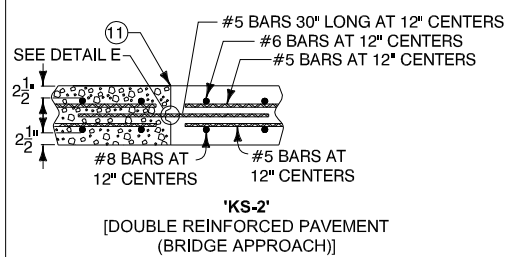
T	JOINT	BAR	BAR LENGTH AND SPACING
< 8"	'BT-3'	#4	24" LONG AT 30" CENTERS
≥ 8"	'BT-4'	#5	24" LONG AT 15" CENTERS



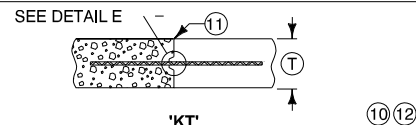
'K'
KEYED JOINT FOR ADJACENT SLABS
(WHERE T IS 8" OR MORE)



'KS-1'
[SINGLE REINFORCED PAVEMENT (BRIDGE APPROACH)]

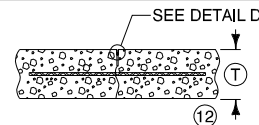


LONGITUDINAL CONTRACTION JOINTS



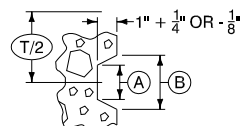
ABUTTING PAVEMENT JOINT - KEYWAY TIE

T	JOINT	BAR	BAR LENGTH AND SPACING
< 8"	'KT-1'	#4	30" LONG AT 30" CENTERS
≥ 8"	'KT-2'	#5	30" LONG AT 30" CENTERS
≥ 8"	'KT-3'	#5	30" LONG AT 15" CENTERS



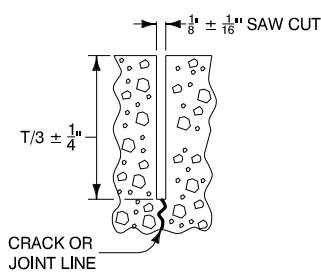
CONTRACTION JOINT

T	JOINT	BAR	BAR LENGTH AND SPACING
< 8"	'L-1'	#4	36" LONG AT 30" CENTERS
≥ 8"	'L-2'	#5	36" LONG AT 30" CENTERS
≥ 8"	'L-3'	#5	36" LONG AT 15" CENTERS

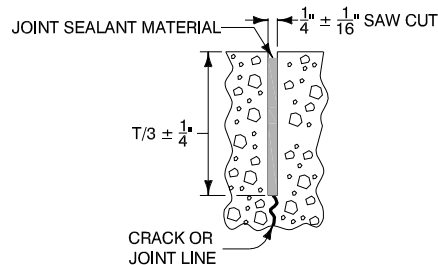


KEYWAY DIMENSIONS

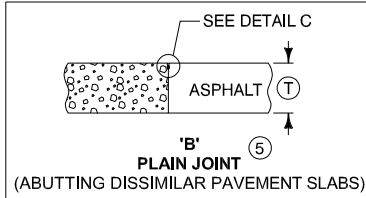
KEYWAY TYPE	PAVEMENT THICKNESS T	A	B
STANDARD	8" OR GREATER	1 3/4"	2 3/4"
NARROW	LESS THAN 8"	1"	2"



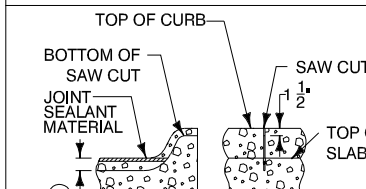
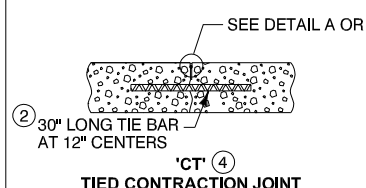
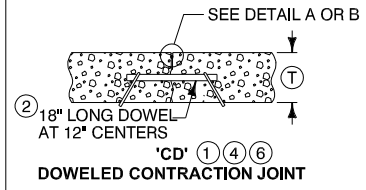
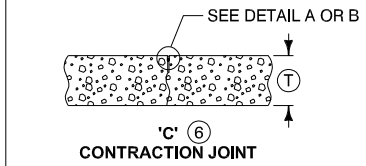
DETAIL D-1
(REQUIRED WHEN THE DEPARTMENT OF TRANSPORTATION IS THE CONTRACTING AUTHORITY, OR WHEN SPECIFIED IN THE CONTRACT DOCUMENTS.)



DETAIL D-2
(REQUIRED WHEN THE DEPARTMENT OF TRANSPORTATION IS THE CONTRACTING AUTHORITY, OR WHEN SPECIFIED IN THE CONTRACT DOCUMENTS.)



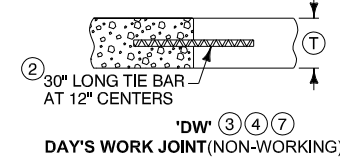
'B'
PLAIN JOINT
(ABUTTING DISSIMILAR PAVEMENT SLABS)



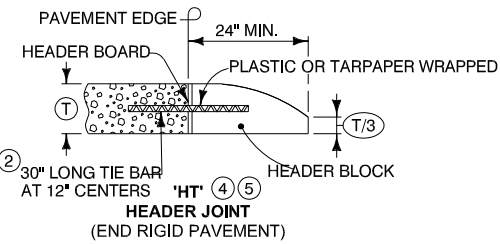
'C' JOINT IN CURB
(MATCH 'CT', 'CD', OR 'C' JOINT IN PAVEMENT.)

BAR SIZE TABLE

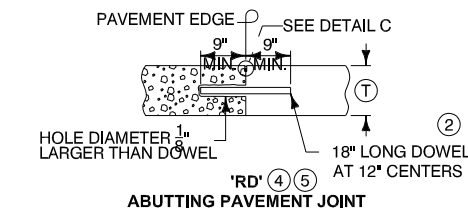
T	DOWEL DIAMETER	TIE BAR SIZE
< 8"	3/4"	#6
≥ 8"	1 1/4"	#10



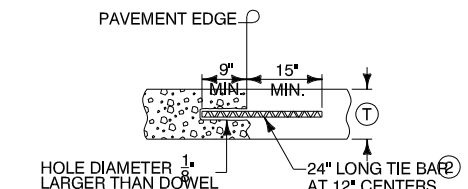
'DW'
DAY'S WORK JOINT (NON-WORKING)



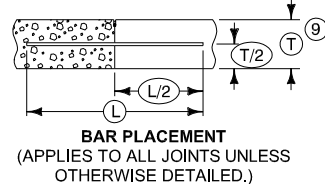
'HT'
HEADER JOINT
(END RIGID PAVEMENT)



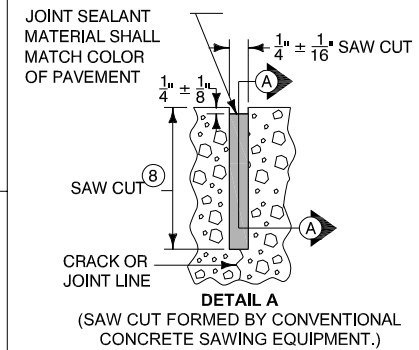
'RD'
ABUTTING PAVEMENT JOINT



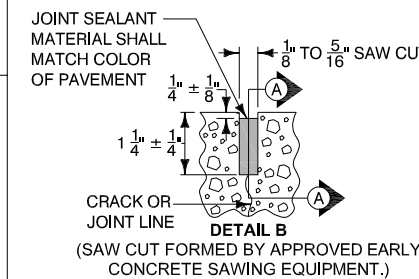
'RT'
ABUTTING PAVEMENT JOINT
RIGID TIE



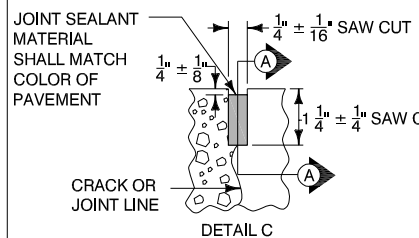
BAR PLACEMENT
(APPLIES TO ALL JOINTS UNLESS OTHERWISE DETAILED.)



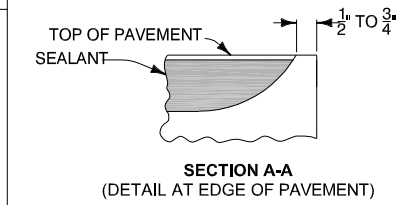
DETAIL A
(SAW CUT FORMED BY CONVENTIONAL CONCRETE SAWING EQUIPMENT.)



DETAIL B
(SAW CUT FORMED BY APPROVED EARLY CONCRETE SAWING EQUIPMENT.)



DETAIL C



SECTION A-A
(DETAIL AT EDGE OF PAVEMENT)

TRANSVERSE CONTRACTION JOINTS

J:\6588\dwg\Sheets\Phase 1\Private Sites\5638 - C.501 (Detail).dwg - C.501 - 01-11-19 - 11:06am - raw304

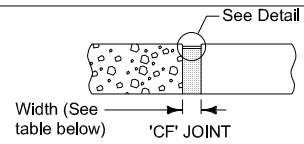
NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE



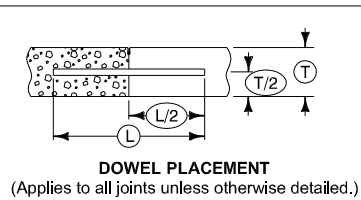
DESIGNED: LAW DATE: 06-29-2017
 DRAWN: BMC DATE: 06-29-2017
 CHECKED: ACD DATE: 06-29-2017
 APPROVED: DATE: 06-29-2017

GREENHILL VILLAGE TOWNHOMES II
 CEDAR FALLS, IOWA

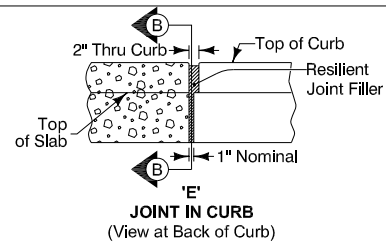
DETAILS



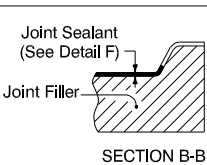
TYPE	WIDTH
CF-1	2"
CF-2	2 1/2"
CF-3	3"
CF-4	3 1/2"



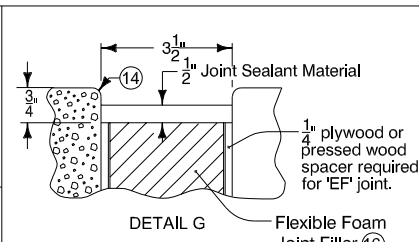
DOWEL PLACEMENT
(Applies to all joints unless otherwise detailed.)



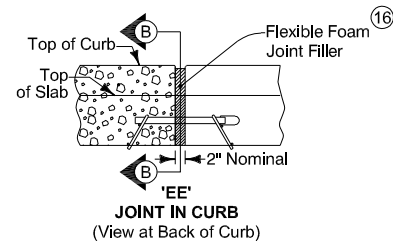
'E' JOINT IN CURB
(View at Back of Curb)



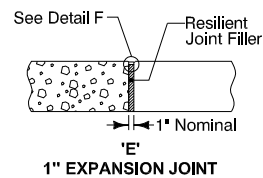
SECTION B-B



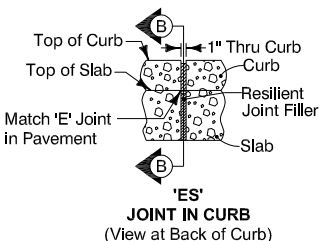
DETAIL G



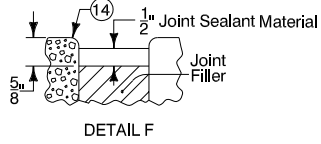
'EE' JOINT IN CURB
(View at Back of Curb)



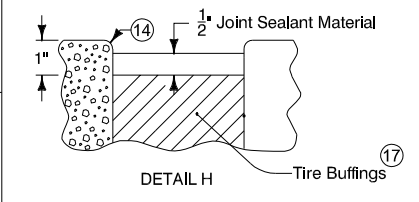
'E' JOINT IN CURB



'ES' JOINT IN CURB
(View at Back of Curb)



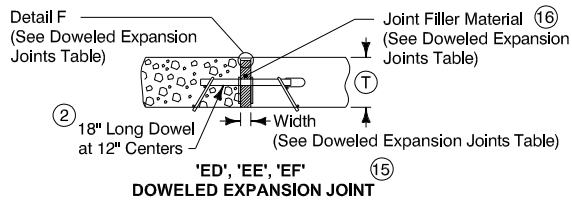
DETAIL F



DETAIL H

DOWELED EXPANSION JOINTS		
TYPE	WIDTH	FILLER MATERIAL 16
ED	1"	Resilient (Detail F)
EE	2"	Flexible Foam (Detail F)
EF	3 1/2"	Flexible Foam (Detail G)

BAR SIZE TABLE			
T	< 8"	≥ 8" but < 10"	≥ 10"
Dowel Diameter	3/4	1 1/4	1 1/2



'ED', 'EE', 'EF' DOWELED EXPANSION JOINT

EXPANSION JOINTS

NOTES:

- PAVEMENT JOINT TYPES ARE DEPENDENT UPON POUR SEQUENCE.
- JOINTS SHALL BE A MINIMUM OF 2' IN LENGTH AND HAVE AN ANGLE OF 70° OR MORE.
- MAXIMUM JOINT SPACING IS AS FOLLOWS:
TRANSVERSE = 15'
LONGITUDINAL = 12.5'
- SEE DOWEL ASSEMBLIES FOR FABRICATION DETAILS.
- SEE BAR SIZE TABLE.
- LOCATE 'DW' JOINT AT A MID-PANEL LOCATION BETWEEN FUTURE 'C' OR 'CD' JOINTS. PLACE NO CLOSER THAN 5 FEET TO A 'C' OR 'CD' JOINT.
- PLACE BARS WITHIN THE LIMITS SHOWN UNDER DOWEL ASSEMBLIES.
- EDGE WITH 1/4 INCH TOOL FOR LENGTH OF JOINT INDICATED IF FORMED; EDGING NOT REQUIRED WHEN CUT WITH DIAMOND BLADE SAW. REMOVE HEADER BLOCK AND BOARD WHEN SECOND SLAB IS PLACED.
- UNLESS OTHERWISE SPECIFIED, USE 'CD' TRANSVERSE CONTRACTION JOINTS IN MAINLINE PAVEMENT WHEN T IS GREATER OR EQUAL TO 8 INCHES. USE 'C' JOINTS WHEN T IS LESS THAN 8 INCHES.
- 'RT' JOINT MAY BE USED IN LIEU OF 'DW' JOINT AT THE END OF THE DAYS WORK. REMOVE ANY PAVEMENT DAMAGED DUE TO THE DRILLING AT NO ADDITIONAL COST TO THE CONTRACTING AUTHORITY.
- SAW 'CD' JOINT TO A DEPTH OF T/3 ± 1/4"; SAW 'C' JOINT TO A DEPTH OF T/4 ± 1/4".
- WHEN TYING INTO OLD PAVEMENT, T REPRESENTS THE DEPTH OF SOUND PCC.
- BAR SUPPORTS MAY BE NECESSARY FOR FIXED FORM PAVING TO ENSURE THE BAR REMAINS IN A HORIZONTAL POSITION IN THE PLASTIC CONCRETE.
- SAWING OR SEALING OF JOINT NOT REQUIRED.
- THE FOLLOWING JOINTS ARE INTERCHANGEABLE, SUBJECT TO THE POURING SEQUENCE:
'BT-1', 'L-1', AND 'KT-1'
'KT-2' AND 'L-2'
'KT-3' AND 'L-3'
- SEALANT OR CLEANING NOT REQUIRED.
- EDGE WITH 1/4 INCH TOOL FOR LENGTH OF JOINT INDICATED IF FORMED; EDGING NOT REQUIRED WHEN CUT WITH DIAMOND BLADE SAW.
- SEE DOWEL ASSEMBLIES FOR FABRICATION DETAILS AND PLACEMENT LIMITS. COAT THE FREE END OF DOWEL BAR TO PREVENT BOND WITH PAVEMENT. AT INTAKE LOCATIONS, DOWEL BARS MAY BE CAST-IN-PLACE.
- PREDRILL OR PREFORM HOLES IN JOINT MATERIAL FOR APPROPRIATE DOWEL SIZE.
- COMPACT TIRE BUFFINGS BY SPADING WITH A SQUARE-NOSE SHOVEL.

Joint	Type			Method of Load Transfer				Thermal movement				Comments
	Transverse	Longitudinal	Expansion	Aggregate Interlock	Key	Tie Bar	Dowel Bar	Doweled to allow movement	Tied to prevent movement	Expansion joint allows movement	Lack of reinforcing allows movement	
B	X	X									X	Used between dissimilar materials or when other joints are not suitable.
C	X			X							X	Transverse joint used when T < 8 in. May also be used on non-primary routes if AADIT < 200 vpd.
CD	X			X			X	X				Transverse joint used when T ≥ 8 in. Use C joint when joint length is 2 ft.
CT	X			X		X			X			Specialty tied contraction joint.
DW	X					X			X			Used by contractor as a stopping point.
HT	X					X			X			Used at the end of rigid pavement prior to placement of second slab.
RD	X						X	X				Joint between new and existing pavements, dowels are used.
RT	X					X			X			Joint between new and existing pavements, tie bars are used.
BT-1		X							X			Longitudinal joint used when T < 8 in, interchangeable with L-1 depending on paving sequence.
BT-2		X							X			Used when L-2 and the KT-2 are not possible, T ≥ 8 in.
BT-3		X							X			Joint used between new and existing pavements. Tie bars are used when T ≥ 8 in.
BT-4		X							X			Joint used between new and existing pavements. Tie bars are used when T ≥ 8 in.
BT-5		X							X			Joint used between new and existing pavements. Tie bars are used when T < 8 in.
K		X			X						X	T > 8 in. minimal usage.
KS		X			X				X			Used in reinforced pavements.
KT-1		X			X				X			Longitudinal joint used when T < 8 in, interchangeable with L-1 depending on paving sequence.
KT-2		X			X				X			Longitudinal joint used when T < 8 in, interchangeable with L-2 depending on paving sequence.
KT-3		X			X				X			Longitudinal joint used when T < 8 in, interchangeable with L-3 depending on paving sequence.
L-1		X		X					X			Longitudinal joint used when T < 8 in, interchangeable with BT-1.
L-2		X		X					X			Longitudinal joint used when T ≥ 8 in, interchangeable with KT-2 depending on paving sequence.
L-3		X		X					X			Longitudinal joint used with pavement of large width, interchangeable with KT-3 depending on paving sequence.
CF	X		X								X	4 in expansion joint.
E	X	X	X								X	1 in expansion joint.
E	X		X				X	X			X	1 in doweled expansion joint.
EE	X		X				X	X			X	2 in doweled expansion joint.
EF	X		X				X	X			X	4 in doweled expansion joint.
ES			X								X	Used in curb to match expansion joint in pavement.

NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

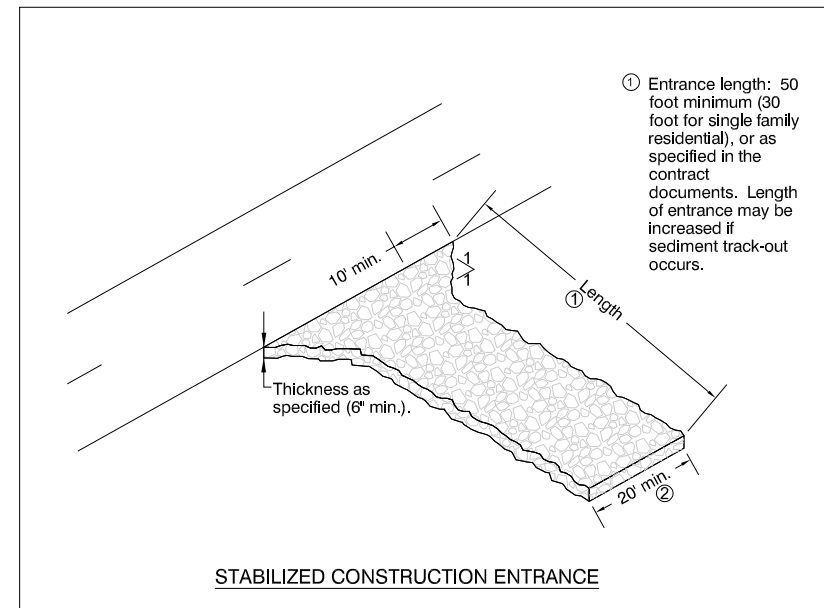
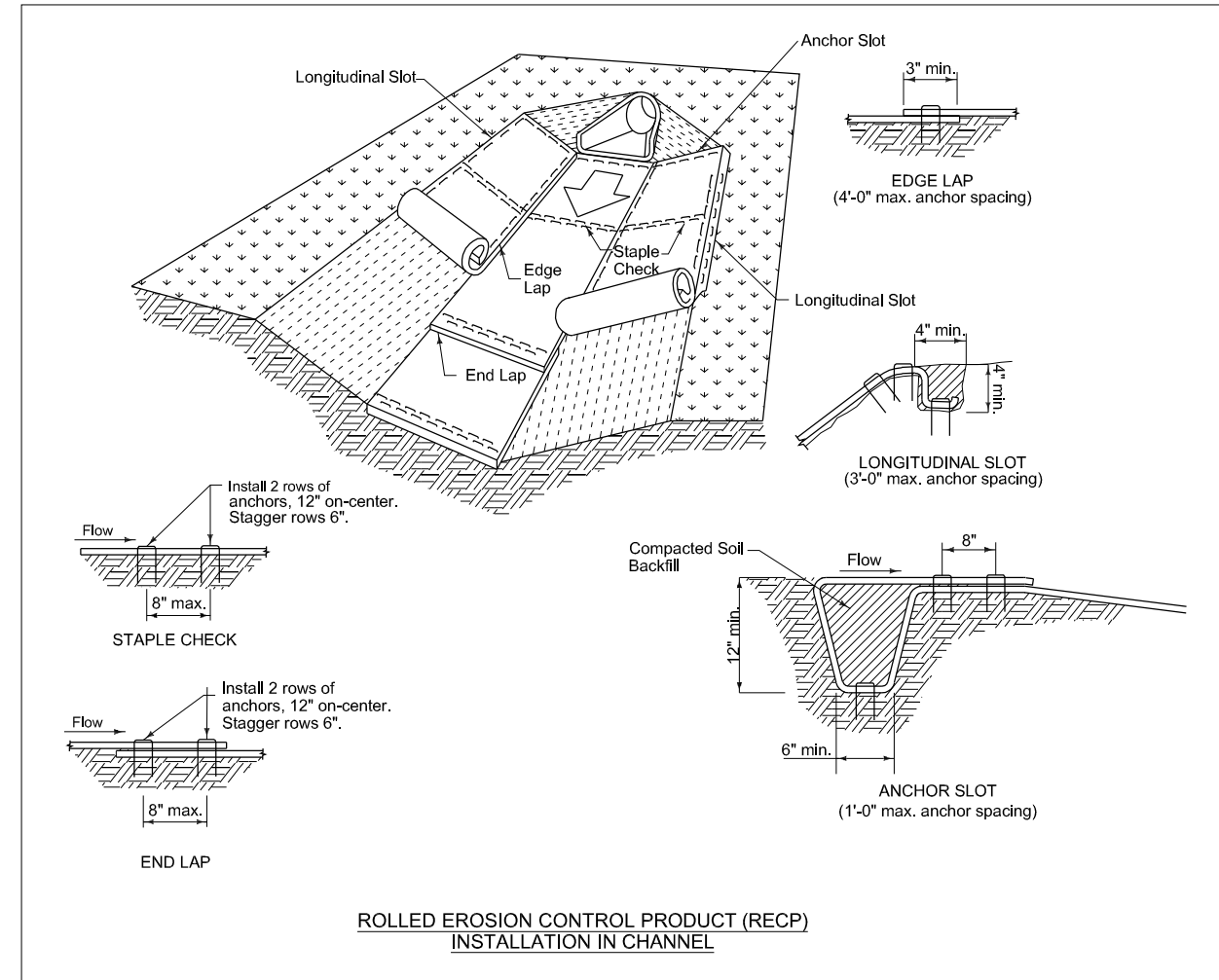
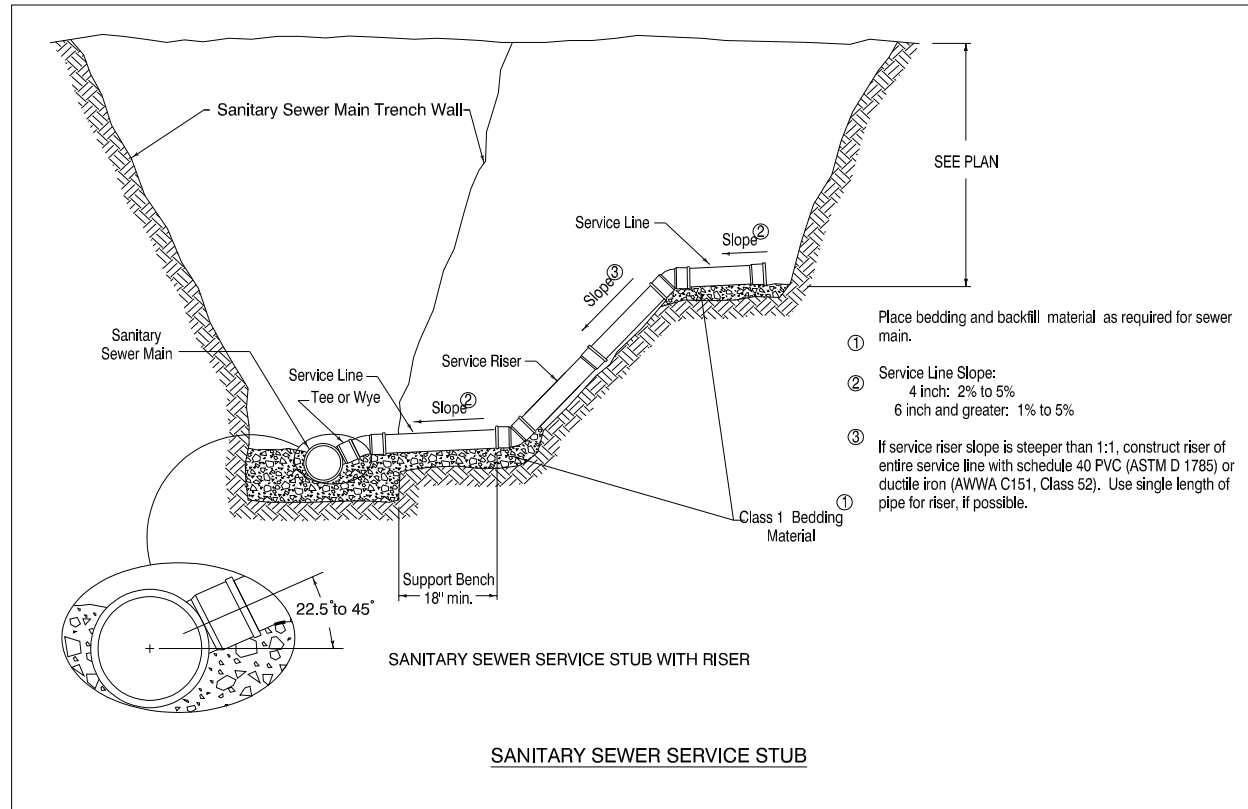


DESIGNED: LAW DATE: 06-29-2017
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 CHECKED: ACD DATE: 06-29-2017
 APPROVED: DATE: 06-29-2017

GREENHILL VILLAGE TOWNHOMES II
 CEDAR FALLS, IOWA

DETAILS

PROJECT: 56
 SHEET NO.: C.502



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NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

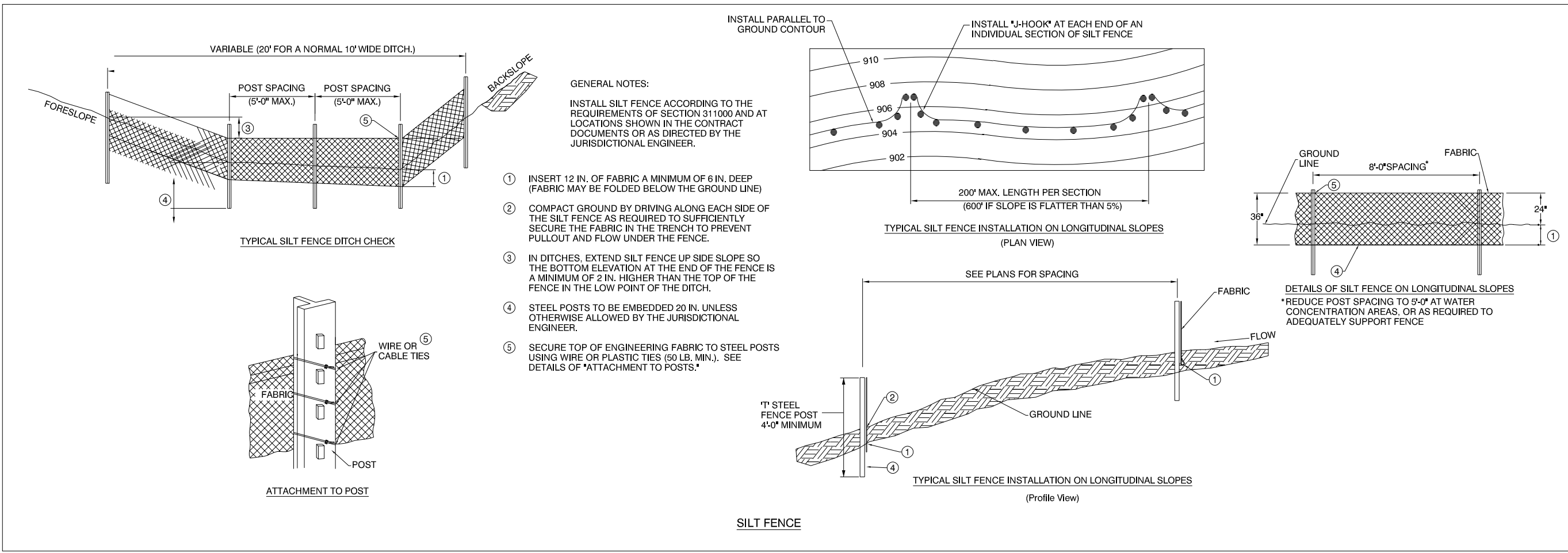


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 APPROVED: --- DATE: 06-29-2017

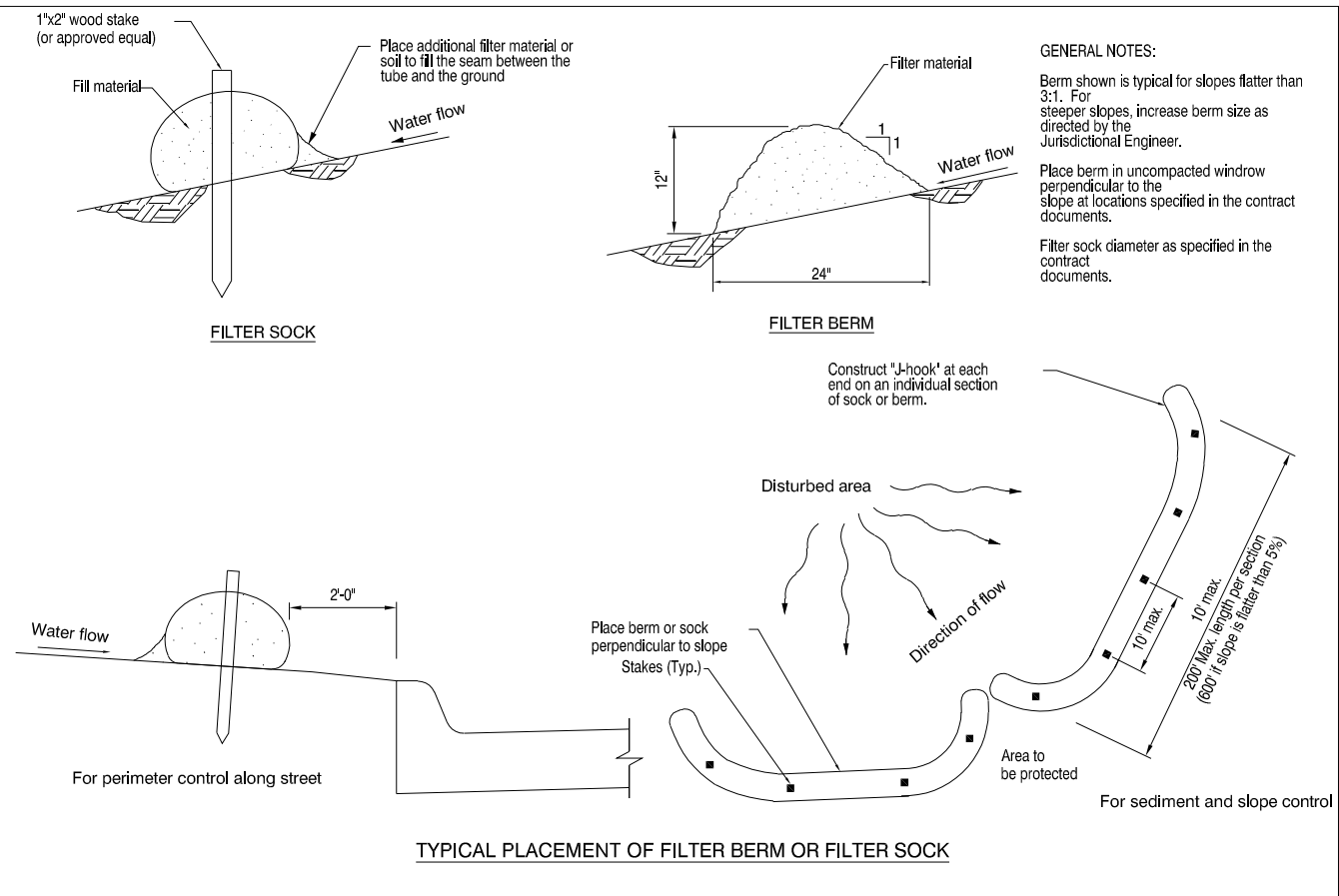
GREENHILL VILLAGE TOWNHOMES II
 CEDAR FALLS, IOWA

DETAILS

PROJECT: 56
 SHEET NO. C.503



SILT FENCE



NO.	REVISION	BY	DATE	NO.	REVISION	BY	DATE

CGA Clapsaddle-Garber Associates, Inc.
 16 East Main Street
 Marshalltown, Iowa 50158
 Ph 641-752-6701
 www.cgaconsultants.com

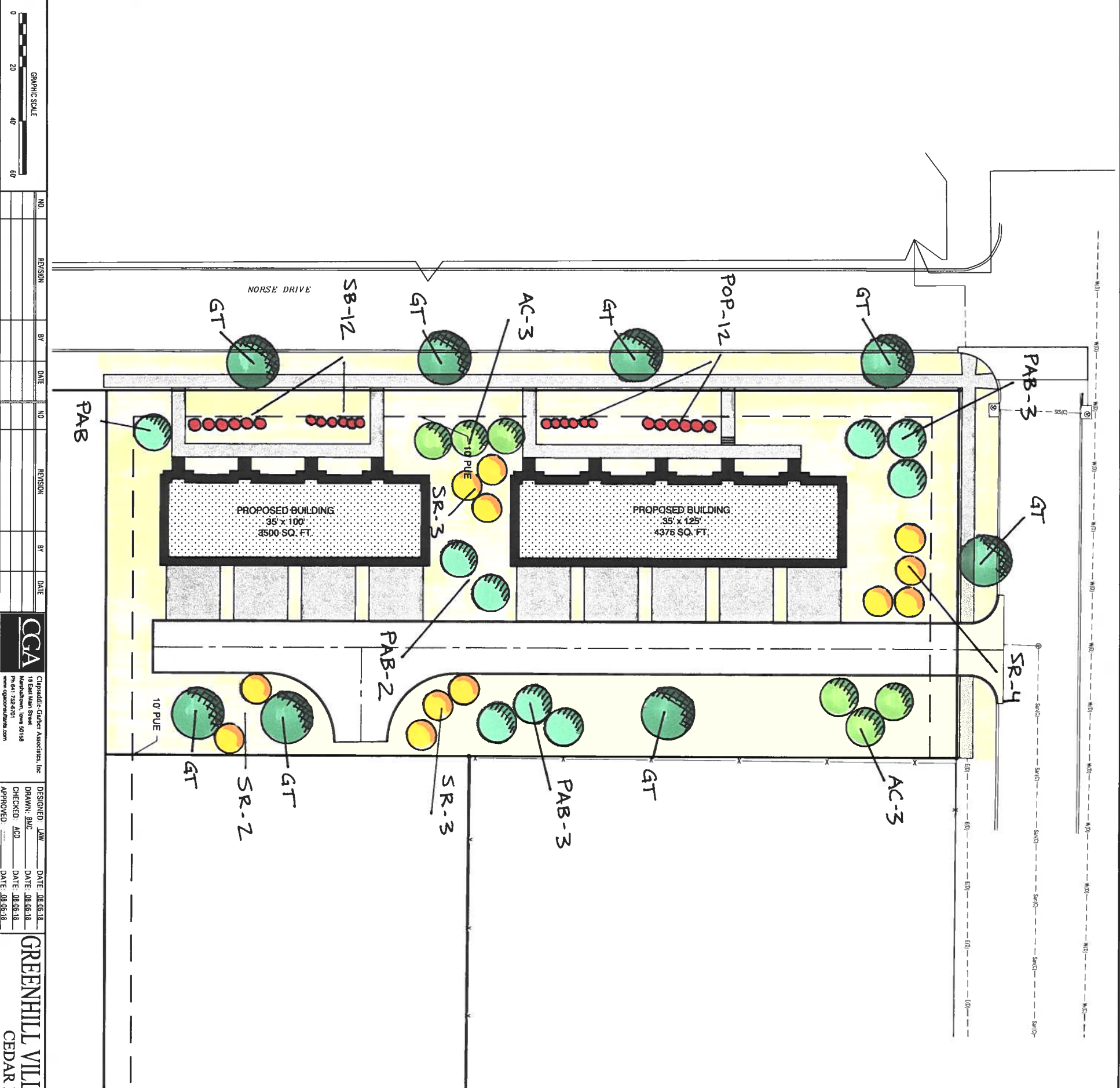
DESIGNED: LAW DATE: 06-29-2017
 DRAWN: BMC DATE: 06-29-2017
 CHECKED: ACD DATE: 06-29-2017
 APPROVED: DATE: 06-29-2017

GREENHILL VILLAGE TOWNHOMES II
 CEDAR FALLS, IOWA

DETAILS

PROJECT: 56
 SHEET NO. C.504

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PLANT SCHEDULE

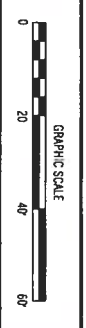
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
Deciduous Overstory Trees				
GT	GLEDITSIA TRIACANTHOS VAR. INERMIS	SKYLINE HONEYLOCUST	8	2" BB
Evergreen				
AC	ABIES CONCOLOR	CONCOLOR FIR	6	6" BB
PAB	PICEA ABIES	NORWAY SPRUCE	9	6" BB
Ornamental Trees				
SR	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	12	2" BB
Shrubs				
POP	PHYSOCARPUS OPUULIFOLIUS	BURGUNDY CANDY NINEBARK	12	#5
SB	SPIREA X BUMALDA 'MAGIC CARPET'	MAGIC CARPET SPIREA	12	#5

LOT 1:

REQUIRED ORDINANCE	PROVIDED
0.02 POINTS PER SQ. FT. OF TOTAL DEVELOPED AREA SHALL BE LANDSCAPED	QTY. TYPE PTS./EA PTS./TYPE
106,723 SF X 0.02 = 2,134 POINTS NEEDED	3 2" OVERSTORY TREES = 240
	12 2" UNDERSTORY = 480
	15 6" EVERGREEN = 1200
	24 5 GAL SHRUBS = 240
	TOTAL POINTS = 2160
STREET TREE PLANTING: A MINIMUM OF 0.75 POINTS PER LINEAR FOOT OF STREET FRONTAGE SHALL BE PROVIDED	5 - 2" OVERSTORY TREES PROVIDED = 400 POINTS
492 LF X 0.75 = 369 POINTS NEEDED	

LANDSCAPE NOTES:

1. PLANT QUANTITIES ARE FOR INFORMATION ONLY; DRAWING SHALL PREVAIL. IF CONFLICT OCCURS, CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BASING BID ACCORDINGLY.
2. NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETED AND BEFORE PLANT PITS ARE EXCAVATED.
3. CONTRACTOR SHALL PLACE SHREDED HARDWOOD BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3". WALNUT PRODUCTS ARE PROHIBITED.
4. KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60-2004, OR MOST RECENT EDITION.
5. THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND INITIAL ACCEPTANCE OF THE PROJECT.
7. SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OR VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
8. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT SCHEDULE. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON DRAWINGS.
9. STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.
10. ALL DISTURBED AREAS NOT OTHERWISE COVERED BY BUILDING, PAVEMENT, AND LANDSCAPE BEDS SHALL BE SOODED WITH KENTUCKY BLUE TURF GRASS AS APPROVED BY LANDSCAPE ARCHITECT AND OWNER.



NO.	PERSON	BY	DATE

NO.	PERSON	BY	DATE

CCA
 Commercial Center Association, Inc.
 11 East Main Street, Suite 501B
 Cedar Falls, Iowa 51401
 Phone: 319.261.0101
 www.ccaofia.com

DESIGNED	LAW	DATE
DRAWN: BJC		08.06.18
CHECKED: AJO		08.06.18
APPROVED:		08.06.18

GREENHILL VILLAGE TOWNHOMES II
 CEDAR FALLS, IOWA

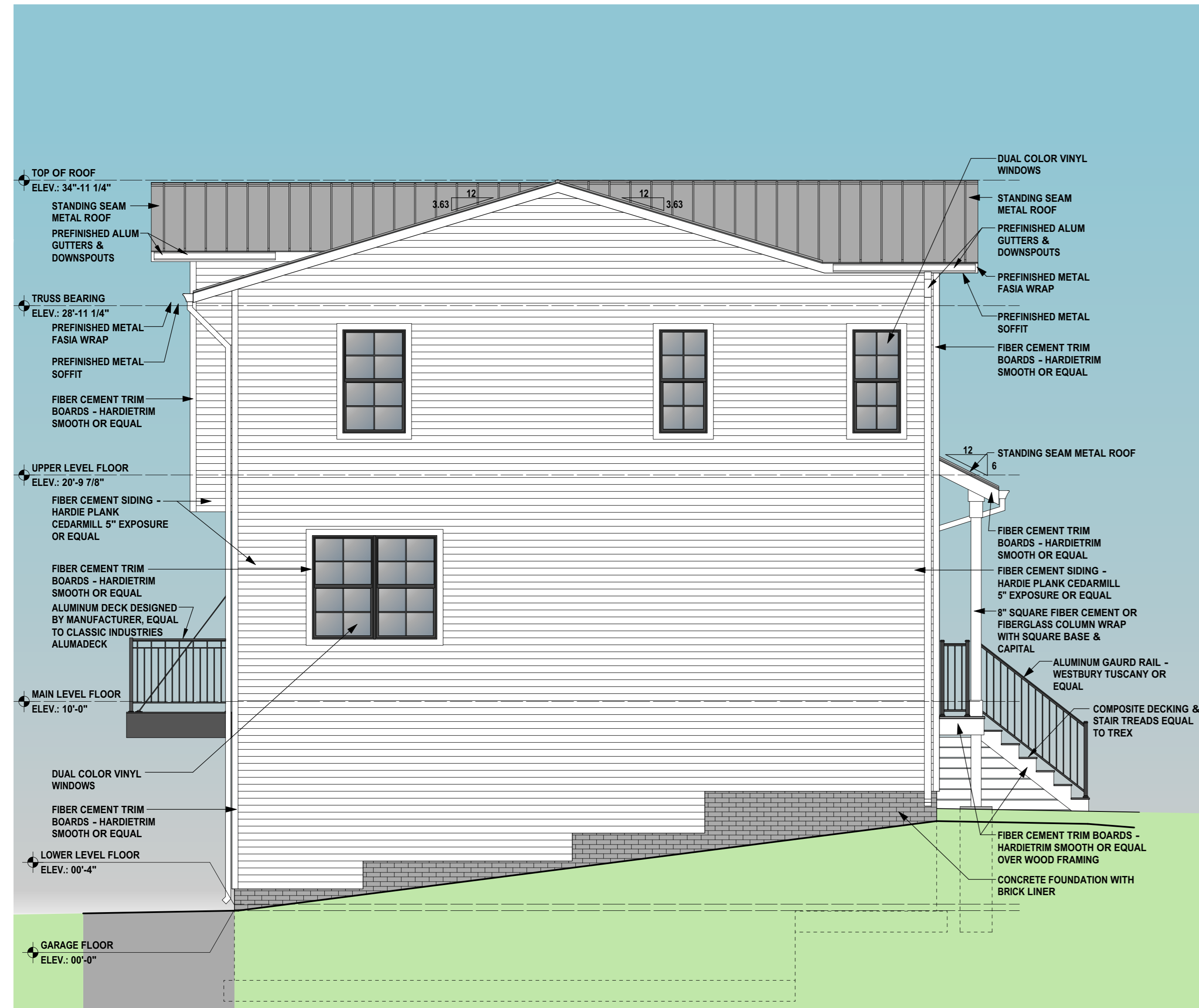
LANDSCAPE PLAN



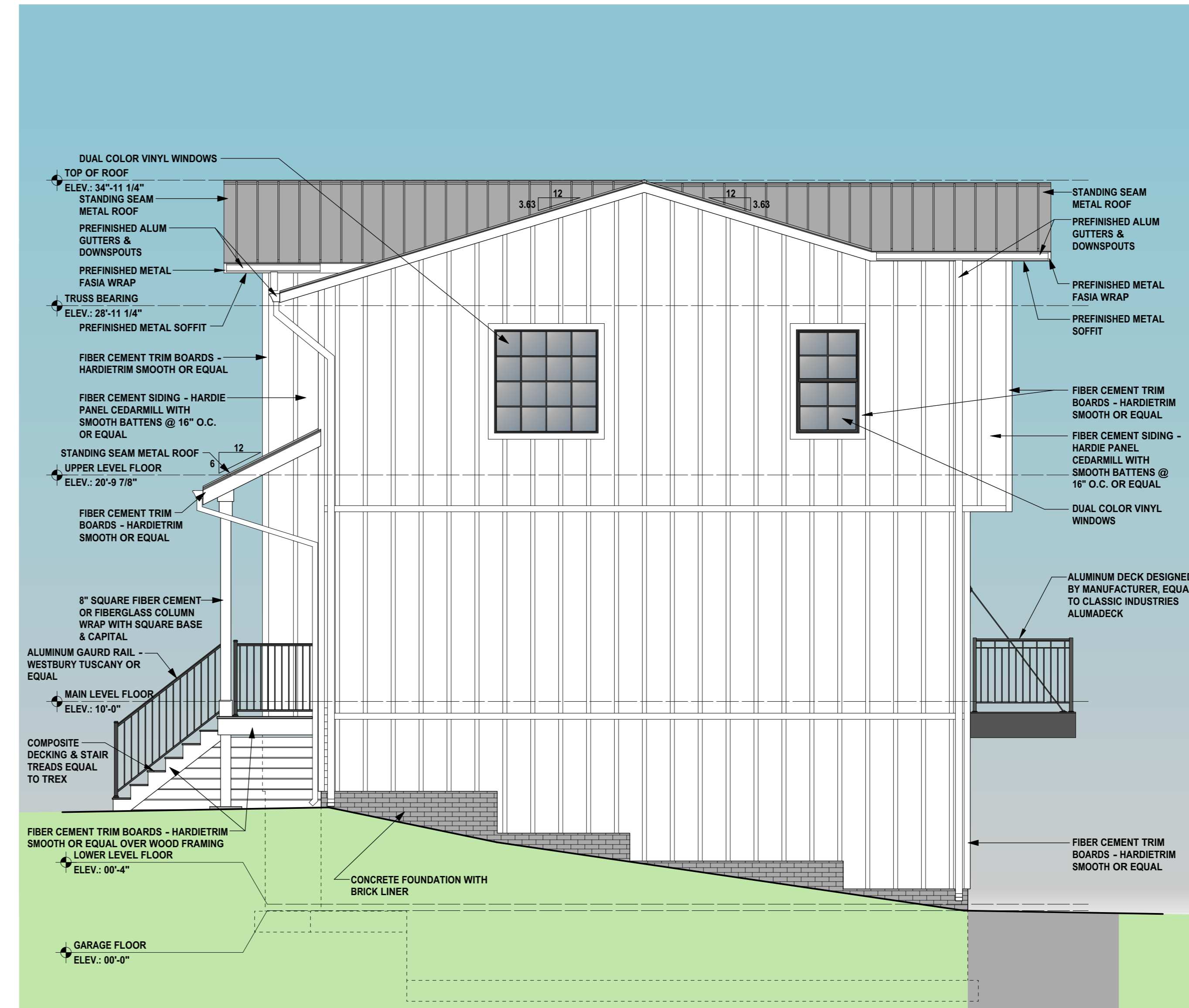
5 Unit Front Elevation
Scale: 1/4" = 1'-0"



5 Unit Rear Elevation
Scale: 1/4" = 1'-0"

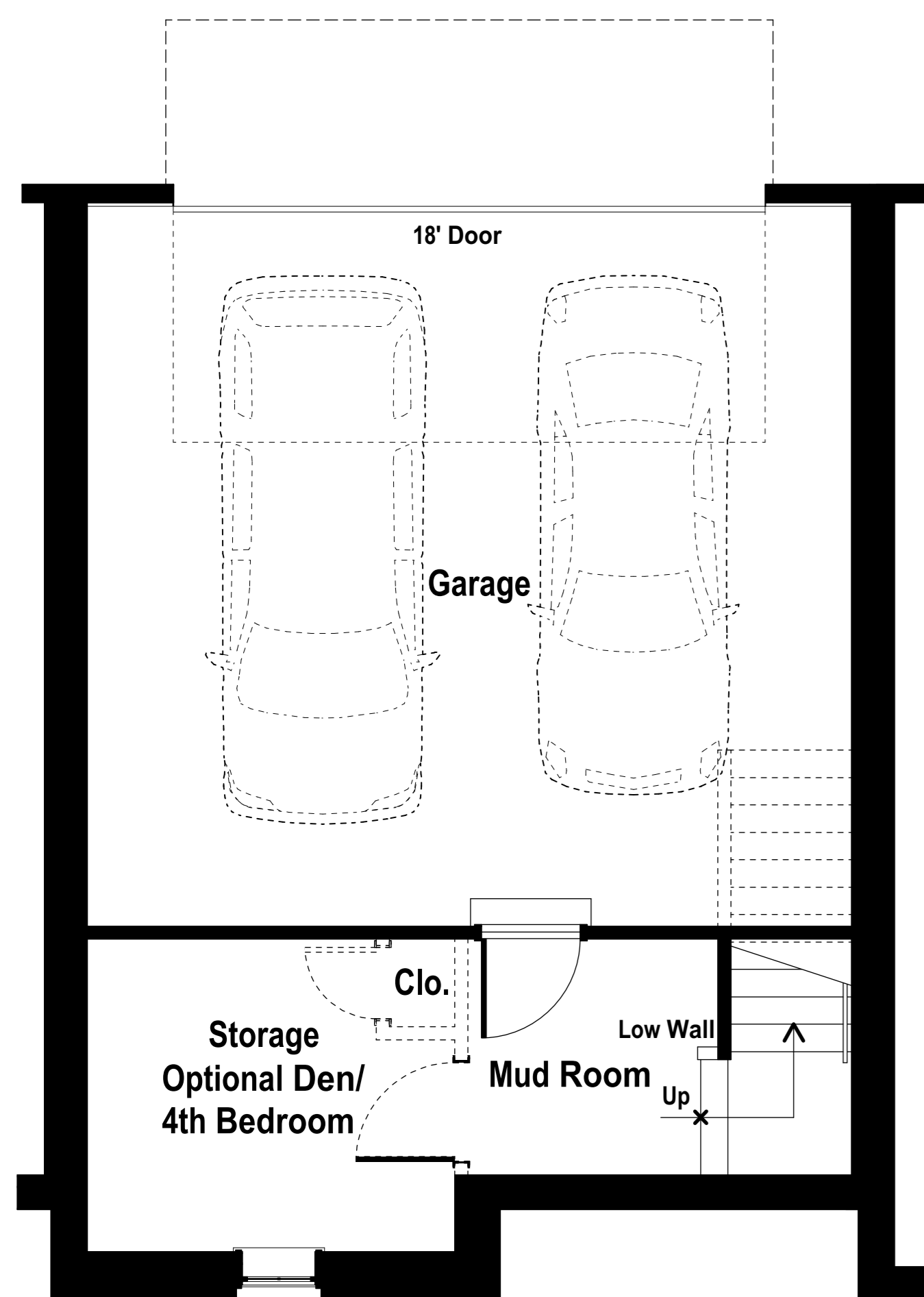
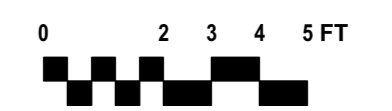


Side Elevation
Scale: 1/4" = 1'-0"

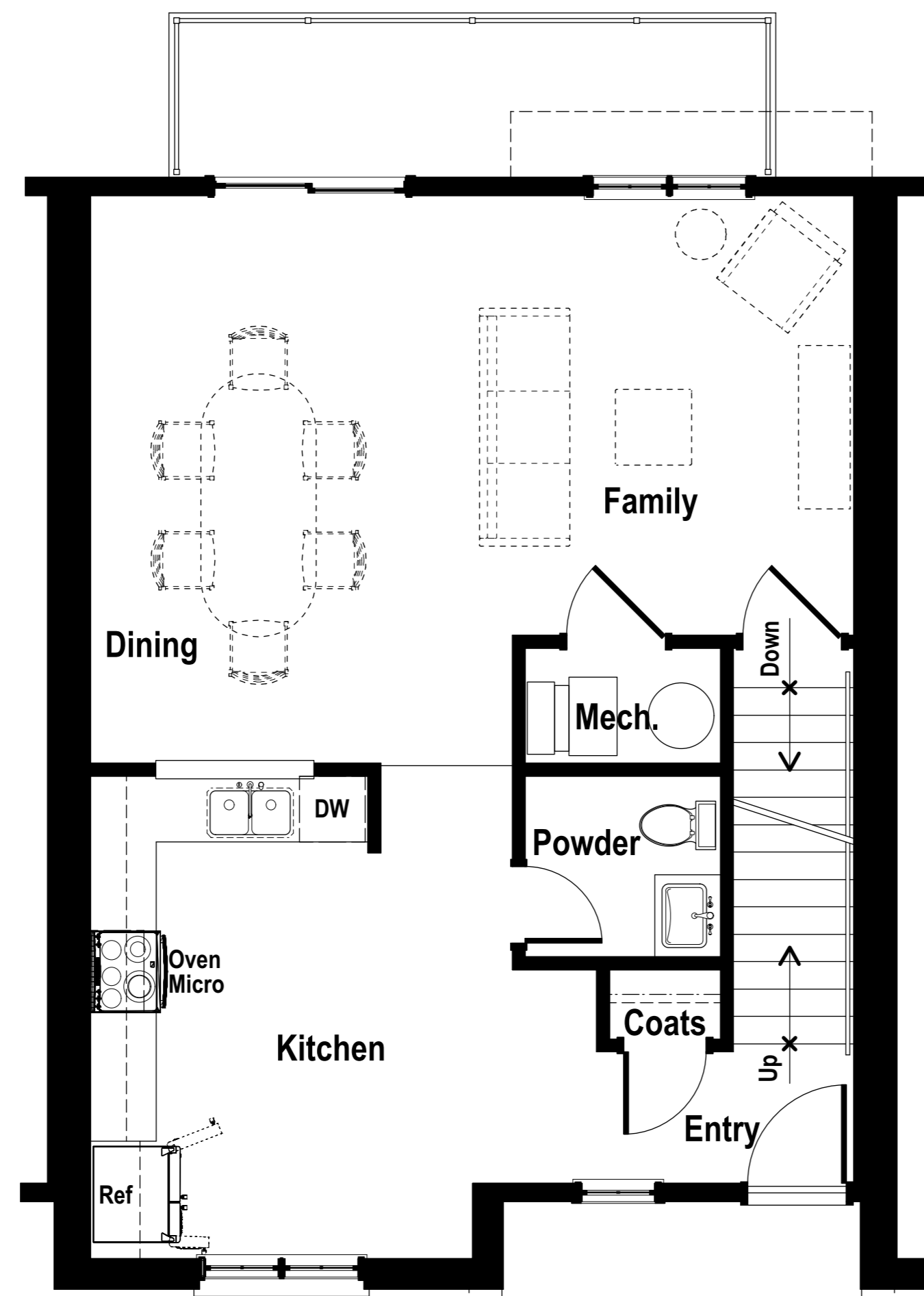


Side Elevation
Scale: 1/4" = 1'-0"

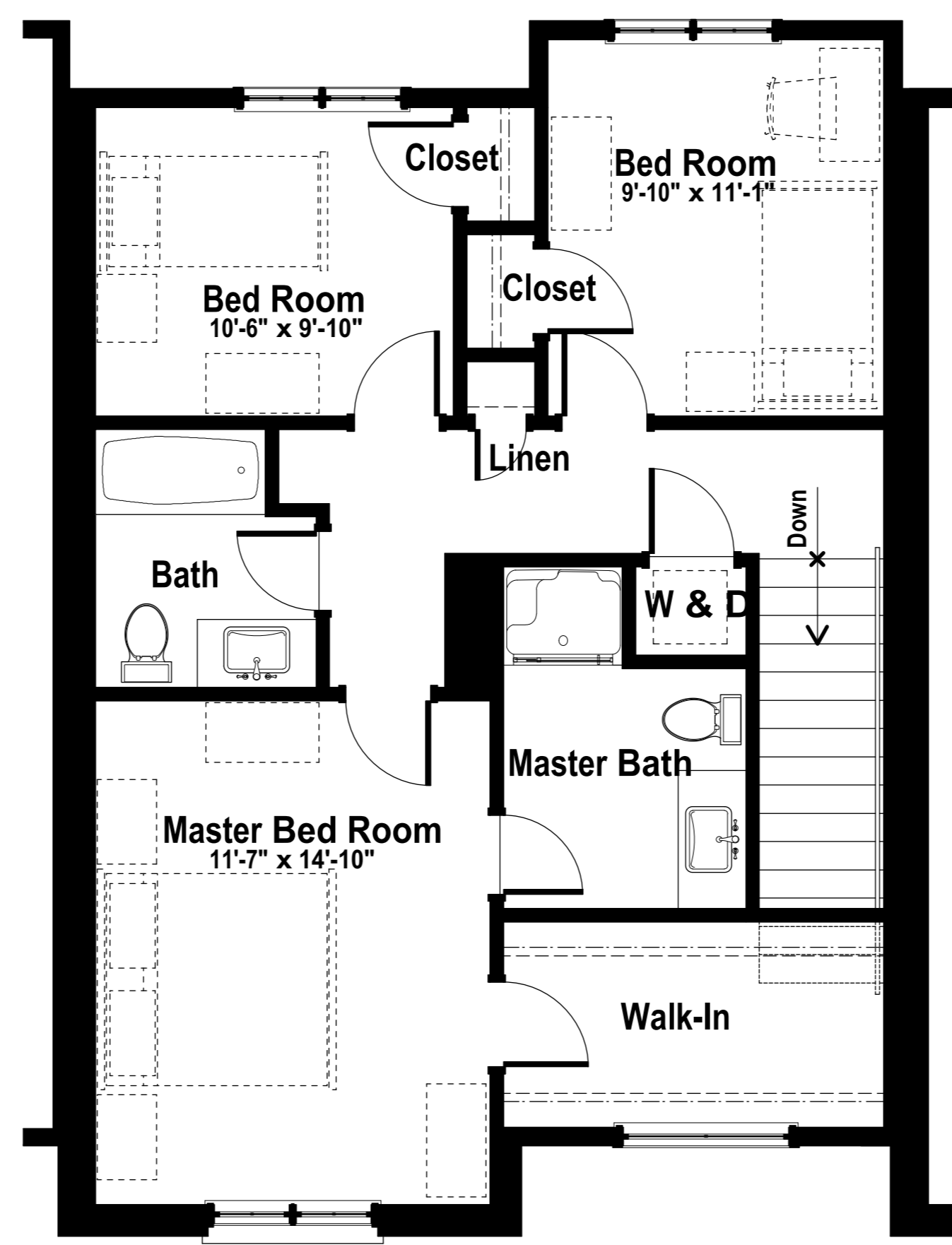
Proposed Condo Unit



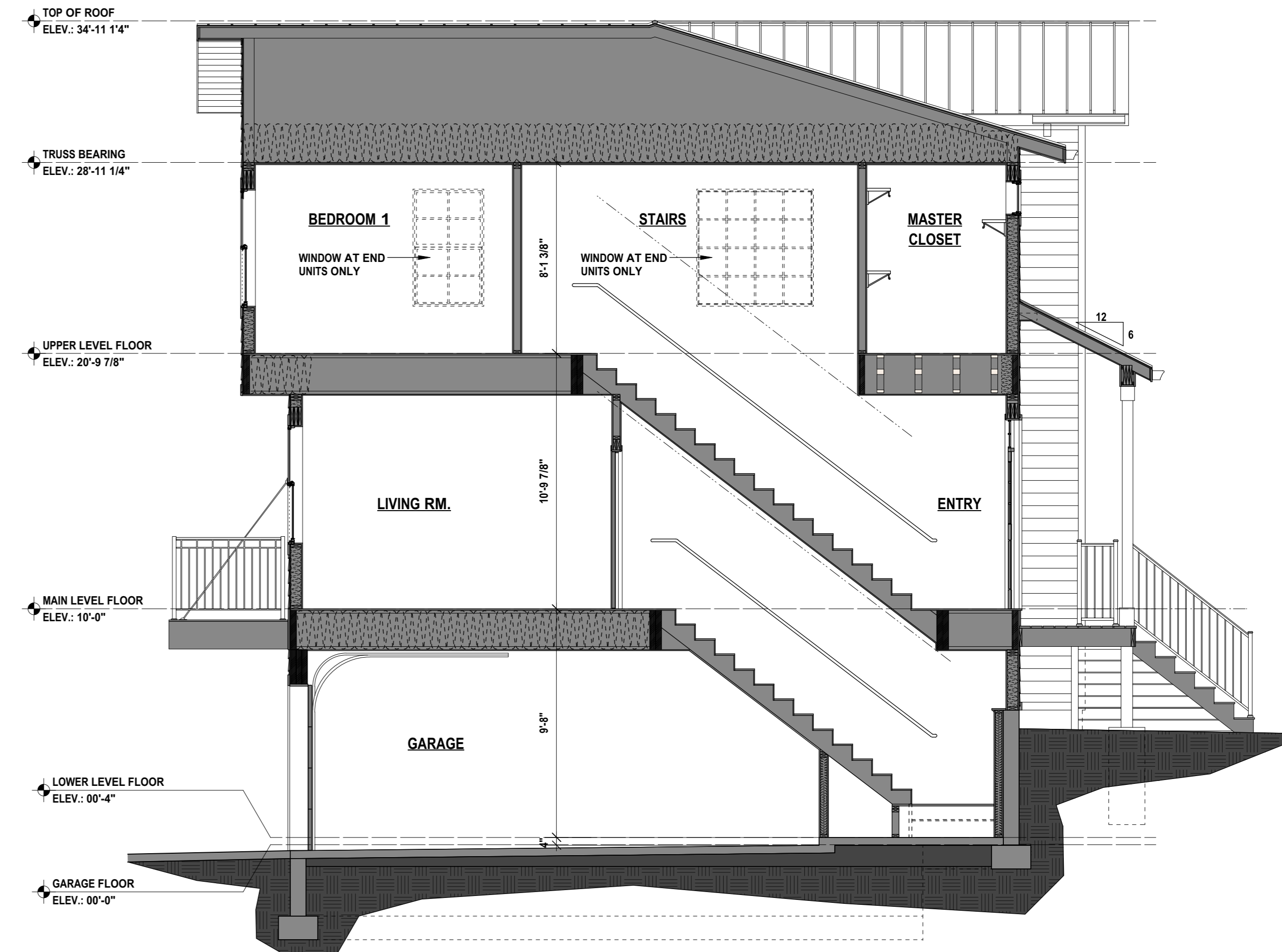
Lower Level
Scale: 1/4" = 1'-0"



Main Level
Scale: 1/4" = 1'-0"



Upper Level
Scale: 1/4" = 1'-0"



Building Section
Scale: 1/4" = 1'-0"



4 Unit Front Elevation
Scale: 1/4" = 1'-0"



4 Unit Rear Elevation
Scale: 1/4" = 1'-0"