



AGENDA
CITY OF CEDAR FALLS, IOWA
PLANNING AND ZONING COMMISSION MEETING
WEDNESDAY, AUGUST 28, 2024
5:30 PM AT CITY HALL, 220 CLAY STREET

Call to Order and Roll Call

Approval of Minutes

1. Planning and Zoning Commission Regular Meeting Minutes for August 14, 2024

Public Comments

Old Business

2. **HWY-1 District Site Plan for Golden China restaurant at 1150 Brandilynn Blvd. (Case #SP24-004)**
Petitioners: Darren Fang, LLC, owner; Dan Levi, Levi Architecture; Monica Smith, Robinson Engineering
Previous discussion: August 14, 2024
Recommendation: *Approval*
P&Z Action: *Discuss and make a recommendation to City Council*

New Business

3. **Zoning Code Text Amendment – Accessory Dwelling Units**
Petitioners: City of Cedar Falls (Referral from City Council)
Previous discussion: none
Recommendation: *Discuss and set a public hearing*
P&Z Action: *Discuss and set a public hearing for September 11th.*

Special Presentation

Staff presentation of proposed updates to the Major Thoroughfare Map and street connectivity standards

Adjournment

Reminders:

- * September 11 and September 25 - Planning & Zoning Commission Meetings
- * September 3 (Tuesday) and September 16 - City Council Meetings

**Cedar Falls Planning and Zoning Commission
Regular Meeting
August 14, 2024
Cedar Falls, Iowa**

MINUTES

The Cedar Falls Planning and Zoning Commission met in regular session on August 14, 2024, at 5:30 p.m. at City Hall. The following Commission members were present: Alberhasky, Grybovych, Hartley, Johnson, Moser and Sorensen. Henderson and Stalnaker were absent. Karen Howard, Planning and Community Services Manager and Thomas Weintraut, Planner III, were also present.

- 1.) Chair Hartley noted the Minutes from the July 24, 2024, regular meeting are presented. Alberhasky made a motion to approve the Minutes as presented. Sorensen seconded the motion. The motion was approved unanimously with 6 ayes (Alberhasky, Grybovych, Hartley, Johnson, Moser and Sorensen), and 0 nays.

- 2.) The first item of business was a HWY-1 District Site Plan for a Golden China restaurant at 1150 Brandilynn Boulevard (Case #SP24-004). Chair Hartley introduced the item and Mr. Weintraut provided background information. He explained that the site is located at the corner of Brandilynn Boulevard and Prairie Parkway and is part of the Pinnacle Prairie Commercial South Phase V subdivision. All HWY-1 standards have been met except for the primary building elevation not facing the street as required, the refuse container is highly visible from the public right of way and the sidewalk connection does not provide convenient access to the main entrance. Mr. Weintraut discussed the view of the building from the street view and presented renderings of the different aspects of the proposal.

Staff recommends denial due to the following issues: the primary building façade does not face the street as required by the Pinnacle Prairie Design Guidelines and does not meet the architectural standards of the HWY-1 District; the refuse enclosure is highly visible from the public right-of-way; and the sidewalk connection from Brandilynn Boulevard does not provide a convenient, comfortable, or pleasant means for the public to access the main entrance from the public street. Alternatively, staff recommends deferral if the applicant is willing to work on an alternative proposal that would re-orient the building toward the public street frontage to meet code requirements.

Sorensen made the observation that the Veridian building does not have access from the Brandilynn side either. He also noted that it is easier to have windows on four sides of a bank building than a restaurant.

Dan Levi, Levi Architecture, 3228 Cedar Heights Drive, stated that the item was submitted knowing that there were some issues. He noted that they are willing to make some changes but wanted direction from the Commission. He also stated that they would not be able to relocate sidewalk as shown because of existing grade conditions.

Chair Hartley asked about the refuse area and what can be done to improve it. Mr. Levi explained the options available. Ms. Howard also provided other potential options. There was lengthy discussion about what options are most ideal.

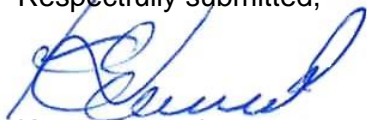
Ms. Alberhasky stated that she feels this is a great development and appreciates the cultural context with a north facing entrance. She feels it would be great to find some compromise with the façade and the refuse area.

Moser made a motion to defer to the next meeting to allow time for the applicant to make necessary changes to meet the standards in the HWY-1 District. Alberhasky seconded the motion. The motion was approved unanimously with 6 ayes (Alberhasky, Grybovych, Hartley, Johnson, Moser and Sorensen), and 0 nays.

- 3.) Ms. Howard noted that there will be a special presentation at the next P&Z meeting of proposed changes to the Major Thoroughfare Map and street connectivity standards.
- 4.) As there were no further comments, Alberhasky made a motion to adjourn. Sorensen seconded the motion. The motion was approved unanimously with 6 ayes (Alberhasky, Grybovych, Hartley, Johnson, Moser and Sorensen), and 0 nays.

The meeting adjourned at 6:05 p.m.

Respectfully submitted,



Karen Howard
Community Services Manager



Joanne Goodrich
Administrative Assistant



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
 220 Clay Street
 Cedar Falls, Iowa 50613
 Phone: 319-273-8600
 Fax: 319-273-8610
 www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning and Zoning Commission
FROM: Thom Weintraut, AICP, Planner III
 Ben Claypool, Civil Engineer II, PhD., PE.
DATE: August 28, 2024
SUBJECT: HWY-1 District Site Plan for Golden China

REQUEST: HWY-1 District Site plan approval for construction of a new restaurant, Golden China, on Lot 4 of Pinnacle Prairie Commercial South, Phase V (Case # SP24-004)
PETITIONER: Dan Levi, Levi Architecture; Darren Fang, LLC, Owner; Monica Smith, Robinson Engineering Company
LOCATION: 1150 Brandilynn Boulevard and east of Prairie Parkway.

Note: Updates to the staff report addressing revisions to the site plan and building design since the last meeting are shown in blue.

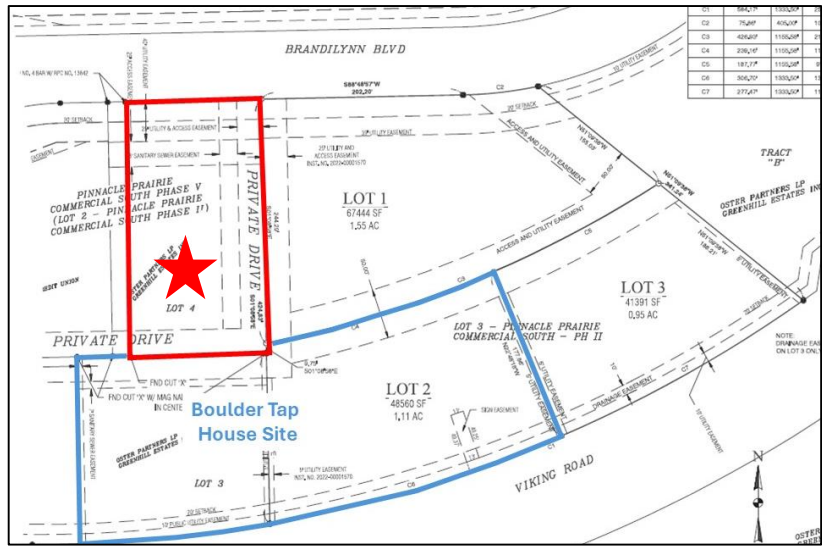
PROPOSAL

The applicant proposes to construct 3,461 square foot restaurant, Golden China, at 1150 Brandilynn Boulevard. The site is east of Veridian Credit Union, which is located at the southeast corner of the intersection of Brandilynn Boulevard and Prairie Parkway (see location map at right). The site is Lot 4 of Pinnacle Prairie Commercial South – Phase V. The proposal includes sitework, landscaping, private access way, parking, a drive-up pickup window (no menu board), signage, and a new restaurant building. The proposed layout of the building sits on about 0.78 acres of land that fronts on Brandilynn Boulevard.



BACKGROUND

The parcel is located in the HWY-1, Highway Commercial Zoning District. The proposal is for a restaurant to be located on Lot 4 of Pinnacle Prairie Commercial South-Phase V approved in 2021. The development will have access from the shared private drive established with that subdivision. A site plan for the Boulder Tap House was recently approved on the lots to the south, as shown below.



ANALYSIS

The HWY-1 District is intended to promote and facilitate comprehensively planned commercial developments located adjacent to major transportation corridors and interchanges. The HWY-1 regulations are to encourage high standards of building architecture, and site planning that will foster commercial development to maximize pedestrian convenience, comfort, and pleasure. The ordinance requires a detailed site plan review before approval to ensure that the development site satisfies the specific standards of this zoning district. Attention to details such as parking, open green space, landscaping, signage, building design and orientation, and other similar factors help to ensure orderly development in the entire area.

Following is a review of the zoning ordinance requirements for the proposed development:

- 1) Use: The proposed use, a restaurant, is permitted in the HWY-1 District. **This use is allowed.**
- 2) Building Location and Vehicular Access: The parcel has street frontage on Brandilynn Boulevard and access to the site is via shared private drives established with the subdivision connecting to Prairie Parkway on the west and Brandilynn Boulevard to the north. The building is situated roughly equidistant between Brandilynn Boulevard and the private access drive on the south side of the property. There will be two access points on the east side of the property from the private drive. The main façade of the building is oriented to the south toward the private access drive and the main building entrance is located on the west end of the building near an order pick-up drive. There will be no drive-thru menu board, only an order pick-up window.

There are two rows of parking located north and south of the building.

The building and parking lot setbacks and vehicular access satisfies the requirements.

3. Building Orientation and Pedestrian Access The property is located in the Pinnacle Prairie master planned area, so the Pinnacle Prairie Design Guidelines apply. These guidelines note that buildings in commercial areas are to be sited with the primary building elevation oriented to the street. It is also the intent of the HWY-1 Commercial district to “promote a high standard of building architecture and site planning that maximizes pedestrian convenience, comfort, and pleasure.”

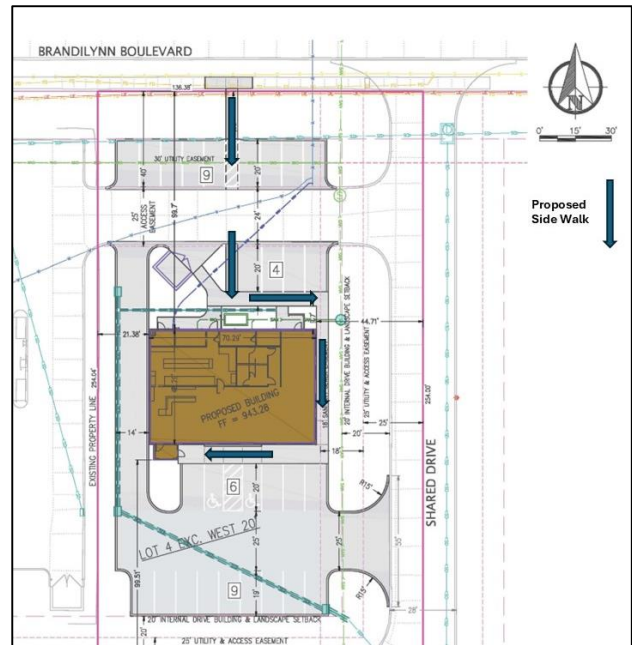
This property only has one street frontage, Brandilynn Boulevard. However, the site is designed so the back side of the building is oriented toward the public street. As shown below, the façade facing Brandilynn is clearly the service side of the building meant for access for employees only and is the location of the refuse enclosure. There is no customer entrance on this side, nor is a customer entrance visible from the public street. This side of the building is largely a blank façade with no design elements typical of a front façade, such as storefront windows and customer entrance features.

Compared to adjacent buildings, Veridian Credit Union and Unity Point Clinic Express have windows facing the adjacent streets and the Boulder Tap House has storefront windows on the Viking Road façade.



The proposed orientation of the building poses a particular challenge for pedestrian and bicycle access to the site. The sidewalk connection from Brandilynn Boulevard to the entrance of the building, leads the public to a blank wall on the rear of the building. The pedestrians are then required to walk along the rear of the building to the east side, turn and go south along the building’s eastside to the sidewalk on the south side the building, and turn west and walk to the opposite end of the building to the public entrance on the southwest corner of the building. There are no sidewalks along the private shared drive, so there is no direct or visible pedestrian access to the restaurant.

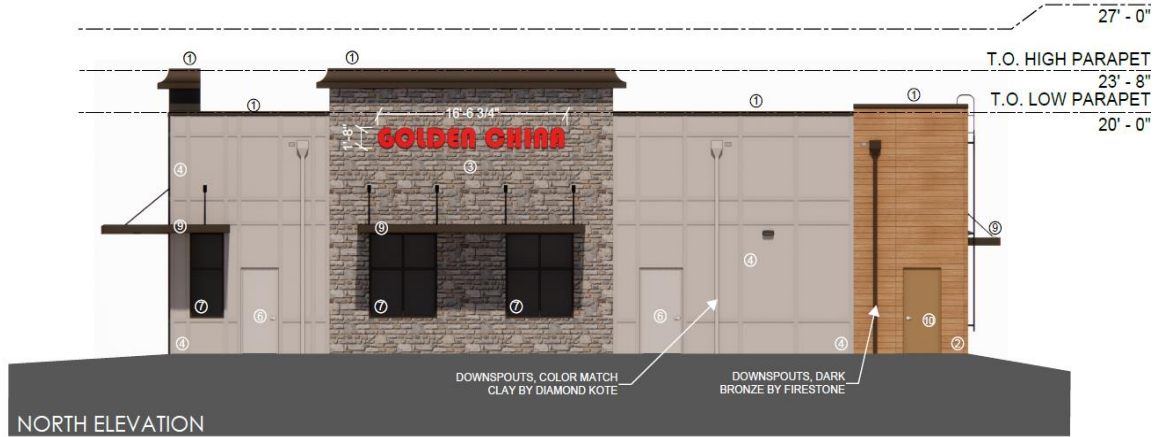
If the building was rotated 180 degrees, the main entrance would face Brandilynn Boulevard, and the public entrance would be located to address both Brandilynn Boulevard and the north-south access drive. The sidewalk connection could be location parallel to the access drive and create a more inviting public entrance to the building by providing a direct connection from the sidewalk along Brandilynn Boulevard to the main entrance. This change would not only make pedestrian access to the building more direct and easier it would provide a more welcoming and appealing appearance to pedestrians and the motoring public.



The orientation of the building with the back side of the building facing the public street does not meet the intent of the HWY-1 District. The orientation presents the less attractive aspects of the building and site within public view, including a blank façade, service entrance, and dumpster area. The pedestrian connection from the public sidewalk along Brandilynn leads to a service entrance rather than to the public entrance to the restaurant. In addition, the orientation of the building does not meet the Pinnacle Prairie Design Guidelines which require the primary façade of buildings to be oriented toward the street.

Due to topographical constraints, the applicant could not provide a more direct route to the entrance from Brandilynn Boulevard and meet the ADA requirements. While not ideal, staff finds that due to the topographical constraints, this route is acceptable.

The applicant has added two pairs of windows with spandrel glass and a canopy to the Brandilynn façade matching the placement of the windows and canopies on the south and east sides of the building. The downspout color has changed to the board and batten siding color to blend in with the façade. The refuse area has been relocated to the parking area on the south side of the building and the screen has been removed from the location in front of the east door. The changes to the façade and the relocation of the refuse area improved the visual appearance of the building and provides a more inviting appearance from the street.



Revised North Elevation

- 4) Parking: The parking requirement for a standard eat-in restaurant is one space for every 150 square feet of gross floor area plus one space for every two employees with 5 as a minimum number for employees. The plan shows 28 parking spaces meeting the commercial space requirement with two marked as accessible. The gross floor area of the building is 3,115 square feet, which would require 21 spaces and maximum number of employees per shift will 8, leaving 2 additional spaces beyond the minimum requirement.

The relocation of the refuse area has eliminated 1 parking space while still leaving the site with one space above the minimum requirement.

The parking requirement has been met.

- 5) Open Space Requirements: The HWY-1 District requires that open space/landscaping requirements be provided at the rate of 10% of the total development site area excluding the perimeter setback area. Following is a summary of the landscape plan that details how this provision is met.

Lot Area	34,036 SF	
Minus 25 ft. Easement and 20 ft. Perimeter setback	15,542 SF	
Development Site Area	18,494 SF	
Required Open/Green Space	1,849 SF	10%
Provided Open/Green Space	3,418 SF	18.4%

Landscaping is shown throughout the site, both around the building as well as within the parking lot, and along the streets within required setbacks.
The open green space exceeds the minimum requirement and is well distributed.

- 6) Landscaping: The HWY-1 District requires minimum landscaping at the rate of 0.02 points per square foot of the total development site area. This can be

achieved through planting a combination of trees and shrubbery. A minimum of 0.75 points per linear foot of street frontage shall be planted with street trees. In addition, parking lot landscaping requirements must be met, including peripheral landscape screening and parking lot trees according to City Code Section 26-220(i).

The total required site landscaping points are 681 points for the site and 320 points for street trees. The site plan shows the points for the street trees has been met and the total points for the site as 694 points; however, the landscape plan incorrectly identified the points for a 3" caliper Common Hackberry as 40 points and all 2 gallon size shrubs as 2 points. A 3" caliper Hackberry is worth 90 points, and 2 gallon shrubs are worth 5 points thus the total points landscape points equal 920 points and so the site exceeds the requirement by 239 points. Planting point details can be seen in the attached landscaping plan for review.

Peripheral landscaping requirements for parking lots include placement of continuous landscaped strip not less than 5 feet in width and at least three feet in height, and one tree for every 50 lineal feet of landscaping barrier to screen the parking areas from the public streets and abutting lots. The internal landscaping requirement includes placement of one overstory tree for every 21 parking stalls to shade the parking areas.

The applicant has provided 2 parking lot trees and 4 peripheral trees meeting the requirements. The applicant has provided hydrangea, weigela, and ninebark shrubs to screen the parking lot areas from Brandilynn Boulevard and the private access street. In addition, the applicant will be providing prairie grass scattered throughout the site. The landscaping is well distributed on the site and exceeds the minimum required number of points.

The landscaping plan shows the addition of a Norway Spruce along the south side of the refuse area and tall prairie grass along the west side to add screening from the private drive and adjacent property. A Norway Spruce has been added on the north side of the building in the place were the refuse area had been located along with shrubs and grasses. With the addition of the two spruces, the number of landscape points exceeds the required number of landscape points and the number of points on the plan submitted at the August 14 meeting.

Landscaping requirements have been met.

- 7) Building Design: The HWY-1 District requires a design review of various elements to ensure a high quality of design and materials and compatibility with nearby buildings. These are noted below with a review on how each element is addressed.

Proportion: The relationship between the width and height of the front elevations of adjacent buildings shall be considered in the construction or alteration of a building; the

relationship of width to height of windows and doors of adjacent buildings shall be considered in the construction or alteration of a building.



View From Prairie Parkway



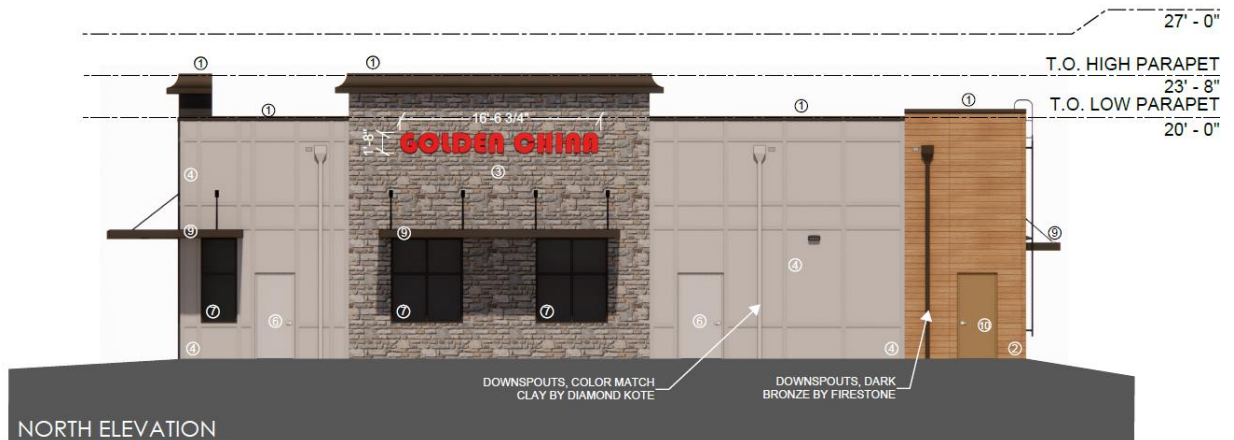
View corner of Prairie Parkway and Brandilynn Blvd.



Boulder Tap House – View from Viking Road



Previous Design as viewed from Brandilynn Boulevard

*Revised plan as viewed from Brandilynn Boulevard*

The Golden China is similar in height and scale to Veridian, the Express Clinic, and the Boulder Tap House. Veridian, Boulder Tap House, and Golden China use a “tower” to denote their primary entrances while the Express Clinic uses a higher parapet wall. The windows and doors on the front elevations of the Express Clinic, Veridian, and Boulder Tap House are similar in size, scale and proportion not only to the individual building, but to each other. *With the changes made to the street-facing façade since the last meeting, there is now some window coverage consistent with other buildings in the vicinity. While these windows are not functional with the spandrel glass, they give the impression of a front façade. De-emphasizing the more utilitarian back-of-building elements by matching paint colors of the service doors and downspouts also helps to give a better visual impression as viewed from the public street.*

Roof shape, pitch, and direction: The similarity or compatibility of the shape, pitch, and direction of roofs in the immediate area shall be considered in the construction or alteration of a building.

The adjacent buildings utilize flat roofs with a parapet around the edges. The proposed new building will likewise utilize a flat roof for main building and the roof for the main entrance tower. Staff finds that the proposed design is similar to the design of the neighboring buildings.

Pattern: Alternating solids and openings (wall to windows and doors) in the front facade and sides and rear of a building create a rhythm observable to viewers. This pattern of solids and openings shall be considered in the construction or alteration of a building.

On the previous design, the street-facing façade had few windows and doors, so it did not have a pattern discernible to viewers and was not consistent with other buildings in the area. On the south, west, and east-facing elevations, the placement of windows and board and batten siding create a strong vertical rhythm, while the use of the canopy on these two façades provides horizontal relief. The brackets for the awning introduce an additional rhythm to these elevations. ***Similar windows and canopy elements have been added to the street-facing façade. The windows are now well-distributed, including on the façade facing Brandilynn. With these revisions to the design, staff finds that the building meets the standard.***

Materials and texture: The similarity or compatibility of existing materials and textures on the exterior walls and roofs of buildings in the immediate area shall be considered in the construction or alteration of a building. A building or alteration shall be considered compatible if the materials and texture used are appropriate in the context of other buildings in the immediate area.

Staff finds that the exterior materials are consistent with neighboring buildings by using the combination of stone, wood, and metal. The height of the building is within the allowances of the zoning district and is consistent with the general height of the neighboring buildings.

Color: The similarity or compatibility of existing colors of exterior walls and roofs of buildings in the area shall be considered in the construction or alteration of a building.

Golden China uses a combination of gray and woodsy brown materials for the facades. The fascia, canopy, and roofing material will be matte black. The varied use of materials and color will enhance the architectural elements of the building. The colors and materials are compatible with those used by the other buildings.

Architectural features: Architectural features, including but not limited to, cornices, entablatures, doors, windows, shutters, and fanlights, prevailing in the immediate area, shall be considered in the construction or alteration of a building. It is not intended that the details of existing buildings be duplicated precisely, but those features should be regarded as suggestive of the extent, nature, and scale of details that would be appropriate on new buildings or alterations.

The profile of the building subtly provides an image of East Asian design. The façade materials will complement the materials that will be used on the Boulder Tap house. The proposed colors of the building will blend with the neighboring and proposed buildings. The roof is flat like the neighboring buildings, but like Veridian Credit Union and Boulder Tap House, the entrance location will be marked by a tower. The placement and distribution of windows along the dining side of the building are in scale with the neighboring properties. ***With the changes proposed to the street-facing façade to add more windows and similar canopy as the other elevations, staff finds the architectural features as viewed from the public street to be acceptable.***

The improvements to the north elevation make the Brandilynn Boulevard façade's appearance comparable to the Veridian Credit Union Building, the Unity Point Clinic Express, and the design of the Boulder Tap House.

The standards for the HWY-1 have been met.

- 8) **Trash Dumpster Site:** The dumpster enclosure is located at the northwest corner of the building. This location is in a highly visible from Brandilynn Boulevard. Trash enclosure is over seven feet in height and will be constructed using a rock-face block painted to match the gray board and batten siding. The gate is metal and over six feet high and will be clad with vinyl slats resembling vertical boards.

The dumpster enclosure meets City standards; however, the placement should be in a less visible location and not in the front yard and visible from Brandilynn Boulevard.

The applicant has relocated the refuse area to the southwest side of the building away from direct view from Brandilynn Boulevard. This location is less visible than the previous location. The landscape plan shows a spruce and additional native grasses around the dumpster location, which will help to screen the area from the Veridian site and the private access drive.

- 9) **Lighting:** The HWY-1 District regulations do not have specific lighting design guidelines. The applicant has proposed seven wall sconces on the pick-up window and rear sides of the building and downcast floodlights for the building canopy. The parking lot lighting will consist of one downcast LED luminaire fully shielded to prevent spillover light on to adjacent properties. A photometric plan has been submitted for review.

Lighting is acceptable.

- 10) **Signage:** For the proposed new building, two wall signs are illustrated on the building; one on the south wall near the main entrance from the parking lot and the other on the north wall facing Brandilyn Boulevard. As per code, wall sign areas cannot exceed 20 percent of the surface area of the single wall to which it is affixed. No more than two wall surfaces of any single structure may be utilized

for sign displays. Both wall sign areas meet the code requirement (see elevations included in packet). The applicant will need to obtain a separate sign permit for each sign prior to installation.

Proposed Signage is acceptable.

- 11) Sidewalks: There is a 5-foot-wide PCC sidewalk proposed which will connect to the Brandilynn Boulevard sidewalk. The sidewalk is circuitous in its connection from Brandilynn Boulevard. The sidewalk enters the property centered on the service-side wall of the building, and then turns east to the corner of the building, turning south to the southeast corner of the building, before turning again and crossing the entire length of the south façade to the entrance. If the building was re-oriented so the main entrance was at the northeast corner of the building facing Brandilynn Boulevard, the sidewalk could be installed along the private drive and cross the driveway and connect to the building entrance in a direct more inviting manner.

Due to topographical constraints, the applicant could not provide a more direct route to the customer entrance from Brandilynn Boulevard and meet the ADA requirements. While not ideal, staff finds that due to the topographical constraints, this route is acceptable.

- 12) Storm Water Management: All storm water will be collected by a private storm sewer which ties into the public storm sewer and which flows to the regional detention pond approximately 300 feet east of the project site. No on-site detention will be required since this development falls within the area the regional detention facility was originally designed to accommodate.

TECHNICAL COMMENTS

Cedar Falls Utilities (CFU) has reviewed the site plan for Golden China next to 1000 and 1050 Brandilynn Blvd. Water, electric, gas, and communications utility services are available in accordance with the service policies of CFU.

All water lines shall be installed a minimum of 5.5 ft below grade. The water service material shall be copper. All water services in Cedar Falls are customer owned. Cedar Falls Utilities advises the Golden China owner to provide an easement to Veridian Credit Union for their water service. It is also recommended that an agreement between Veridian CU and the owner of Golden China be put in place for the repair of the shared water service on the Golden China property.

Natural gas is available from the south side of Brandilynn Blvd. Cedar Falls Utilities will install and own the gas service. Coordinate the gas meter location and building loads with CFU Gas & Water Operations.

The landscaping plan shows trees and other landscaping features in the right of way or utility easements. Removal and replacement of the trees or any other landscaping

including monument signs located within these areas that may be disturbed by utility maintenance, repair, or replacement is the responsibility of the property owner.

The parking lot on the north side of the property shows the pavement will be placed over the utility easement. If access is needed to the utility infrastructure, removal and replacement of the pavement is the responsibility of the property owner.

The applicant has addressed the concerns with the orientation of the building by adding the spandrel glass and canopy to the Brandilynn Boulevard side of the building making it compatible with other buildings in the area that face a public street. In addition, the refuse area has been relocated to the southside of the building in a less visible location. Due the constraints created by the existing topography of the site and the location of the customer entrance on the south side of the building, the proposed route is the best option to meet ADA compliance.

A courtesy notice to surrounding property owners was mailed on July 8, 2024.

STAFF RECOMMENDATION

With the changes proposed by the applicant since the last meeting, Staff recommends approval of SP24-004, a HWY-1 District site plan for the Golden China restaurant located at 1150 Brandilynn Boulevard, subject to:

- 1. Any comments or direction specified by the Planning and Zoning Commission.**
- 2. Conformance with all city staff recommendations and technical requirements.**

PLANNING & ZONING COMMISSION

Introduction & Discussion 8/14/2024	The first item of business was a HWY-1 District Site Plan for a Golden China restaurant at 1150 Brandilynn Boulevard (Case #SP24-004). Chair Hartley introduced the item and Mr. Weintraut provided background information. He explained that the site is located at the corner of Brandilynn Boulevard and Prairie Parkway and is part of the Pinnacle Prairie Commercial South Phase V. All HWY-1 standards have been met except for the primary building elevation not facing the street as required, the refuse container is highly visible from the public right of way and the sidewalk connection does not provide convenient access to the main entrance. Mr. Weintraut discussed the view from the street view and provided renderings of the different aspects of the proposal.
--	---

Staff recommends denial due to the following issues: the primary building façade does not face the street as required by the Pinnacle Prairie Design Guidelines and does not meet the architectural standards of the HWY-1 District; the refuse enclosure is highly

visible from the public right-of-way; and the sidewalk connection from Brandilynn Boulevard does not provide a convenient, comfortable, or pleasant means for the public to access the main entrance from the public street. Alternatively, staff recommends deferral if the applicant is willing to work on an alternative proposal that would re-orient the building toward the public street frontage to meet code requirements.

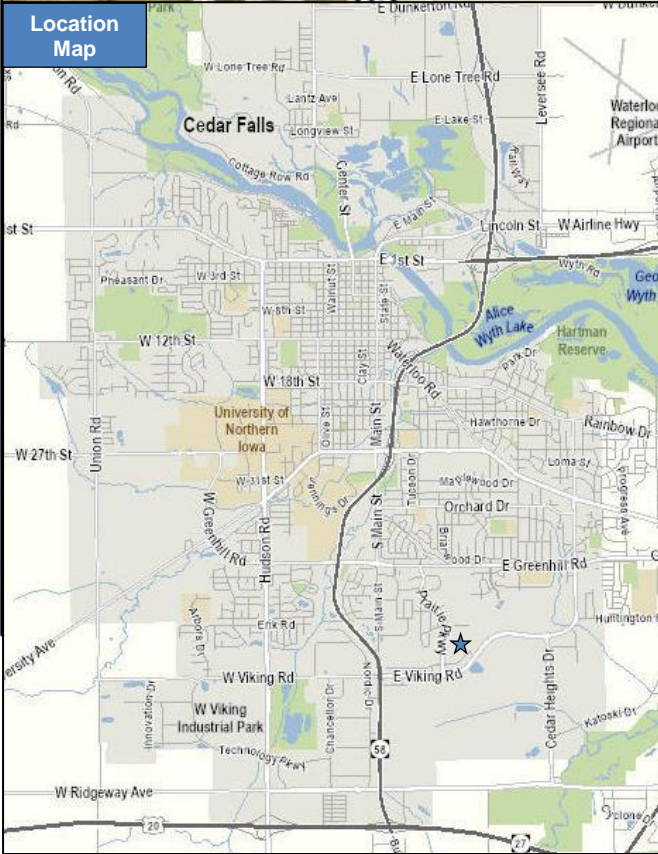
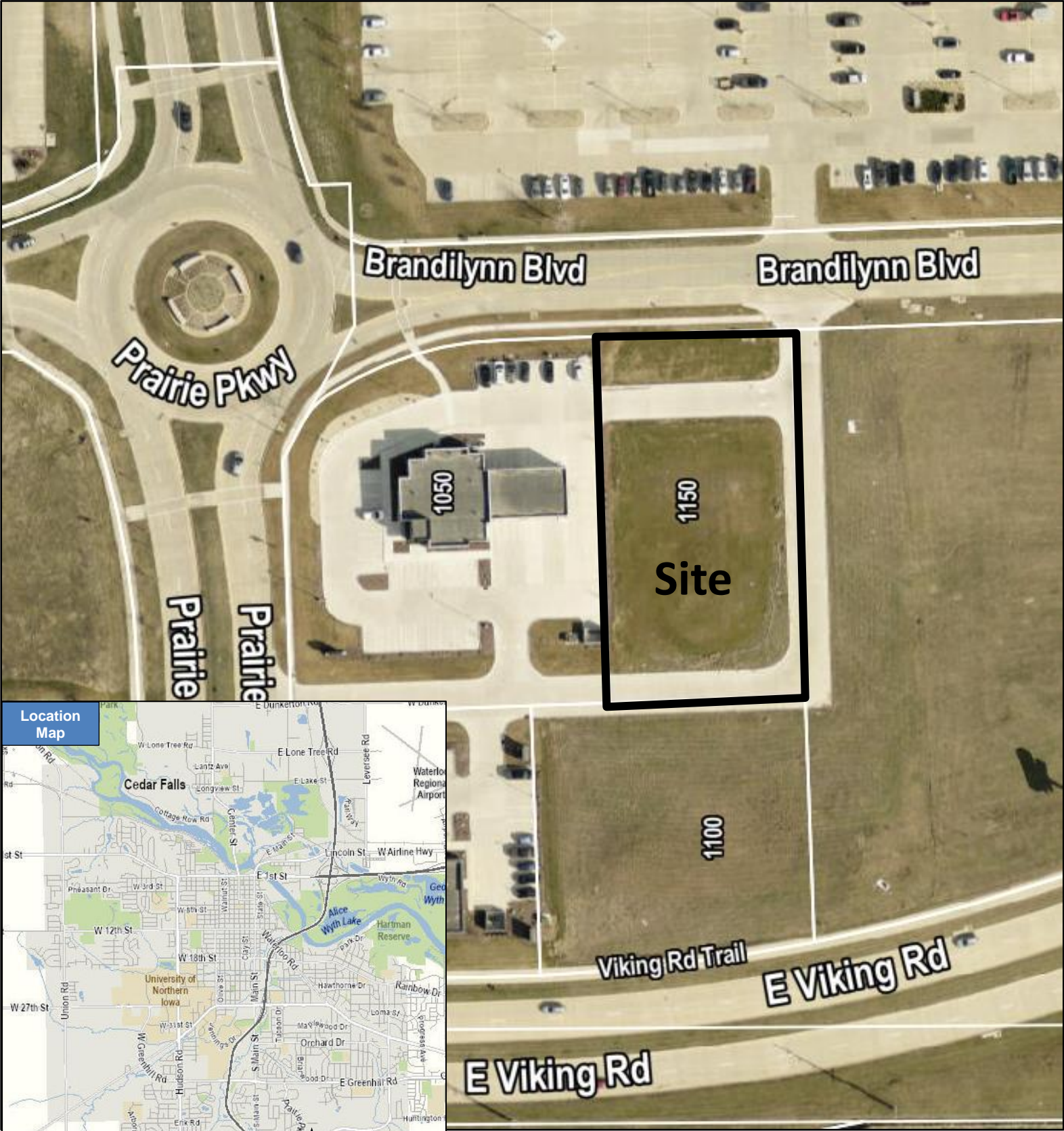
Sorensen made the observation that the Veridian building does not have access from the Brandilynn side either. He also noted that it is easier to have windows on four sides of a bank building than a restaurant.

Dan Levi, Levi Architecture, 3228 Cedar Heights Drive, stated that the item was submitted knowing that there were some issues as they are willing to make adjustments. He noted that the north elevation has been revised and has all been reviewed again. He also stated that they would not be able to relocate sidewalk as shown because of existing grade conditions.

Chair Hartley asked about the refuse area and what can be done to improve it. Mr. Levi explained the options available. Ms. Howard also provided other potential options. There was lengthy discussion about what options are most ideal.

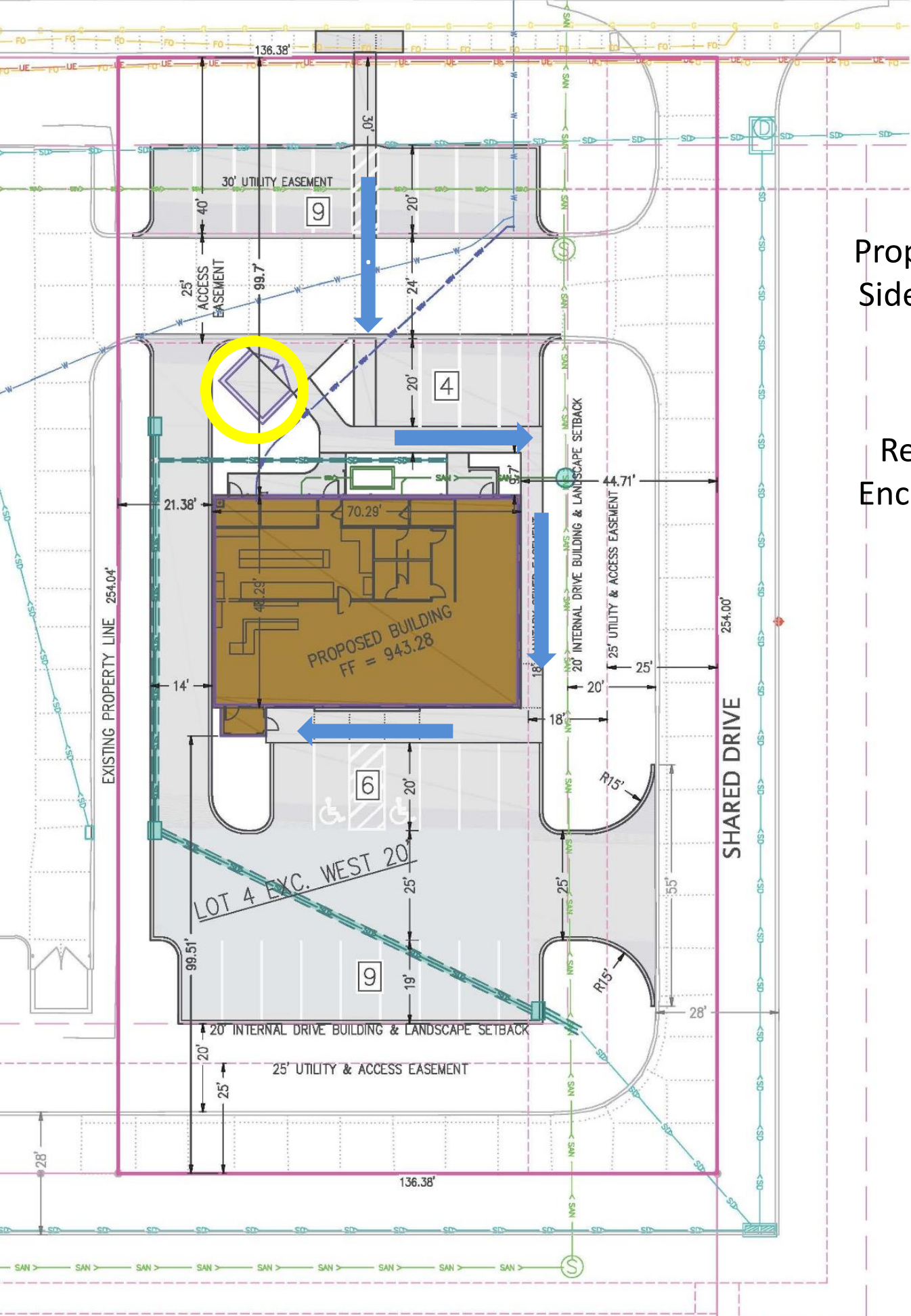
Ms. Alberhasky stated that she feels this is a great development and appreciates the cultural context with a north facing entrance. She feels it would be great to find some compromise with the façade and the refuse area.

Moser made a motion to defer to the next meeting. Alberhasky seconded the motion. The motion was approved unanimously with 6 ayes (Alberhasky, Grybovych, Hartley, Johnson, Moser and Sorensen), and 0 nays.



Golden China Restaurant
1150 Brandilynn Blvd

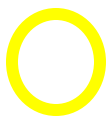
BRANDILYNN BOULEVARD



Proposed Sidewalk

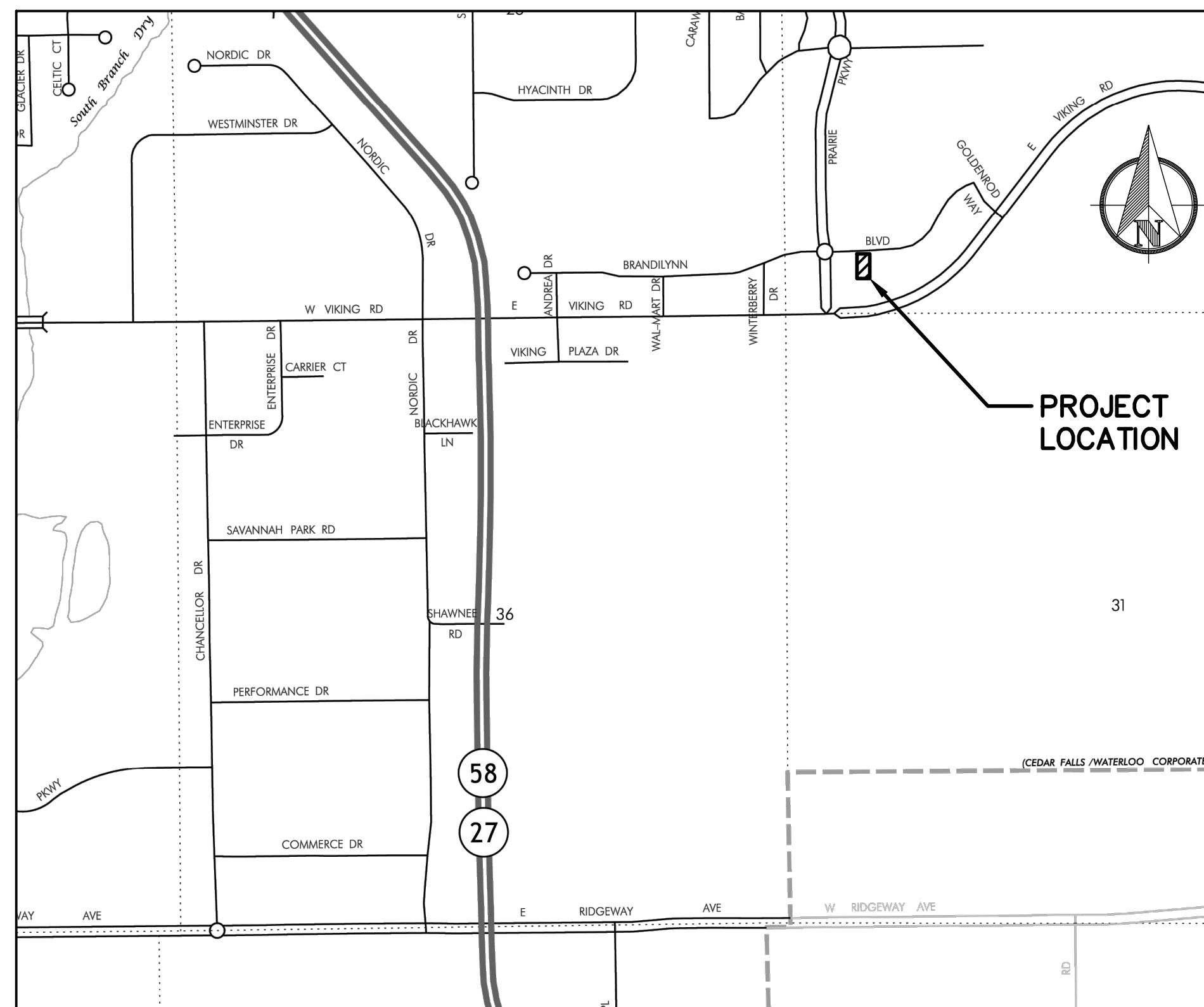
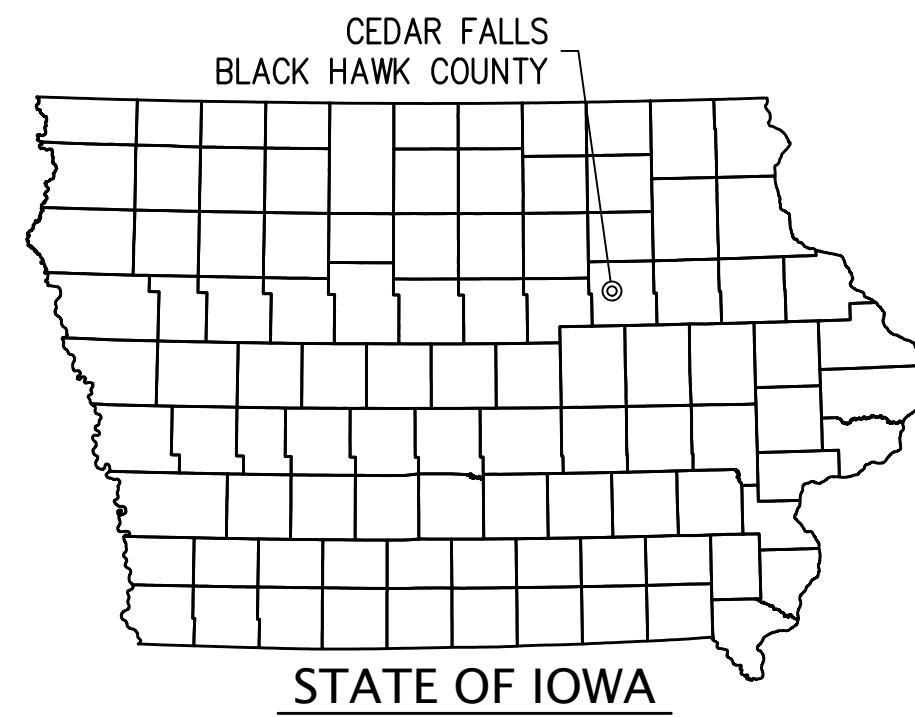


Refuse Enclosure



GOLDEN CHINA RESTAURANT IN THE CITY OF CEDAR FALLS, BLACK HAWK COUNTY, IOWA

1150 BRANDILYNN BOULEVARD
NEW COMMERCIAL DEVELOPMENT
PN: 24001



LOCATION MAP
CEDAR FALLS, IOWA
NTS

Sheet List Table	
Sheet Number	Sheet Title
C0.1	COVER
C0.2	SITE DEVELOPMENT PLAN
C0.3	GENERAL NOTES AND APPLICABLE SPECIFICATIONS
C1.1	UTILITY PLAN
C2.1	PAVING PLAN - SOUTH
C2.2	PAVING PLAN - CENTER
C2.3	PAVING PLAN - NORTH
C3.1	SWPPP - INITIAL DISTURBANCE
C3.2	SWPPP - CONSTRUCTION PHASE
LA.1	LANDSCAPE PLAN



THE SITE IMPROVEMENTS SHOWN WITHIN THIS PLAN SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE 2024 VERSION OF THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, ALSO KNOWN AS SUDAS (2024), AS AMENDED BY THE CITY OF CEDAR FALLS, AND, IF PROVIDED, PROJECT SPECIFIC SUPPLEMENTAL SPECIFICATIONS.

DEVELOPER

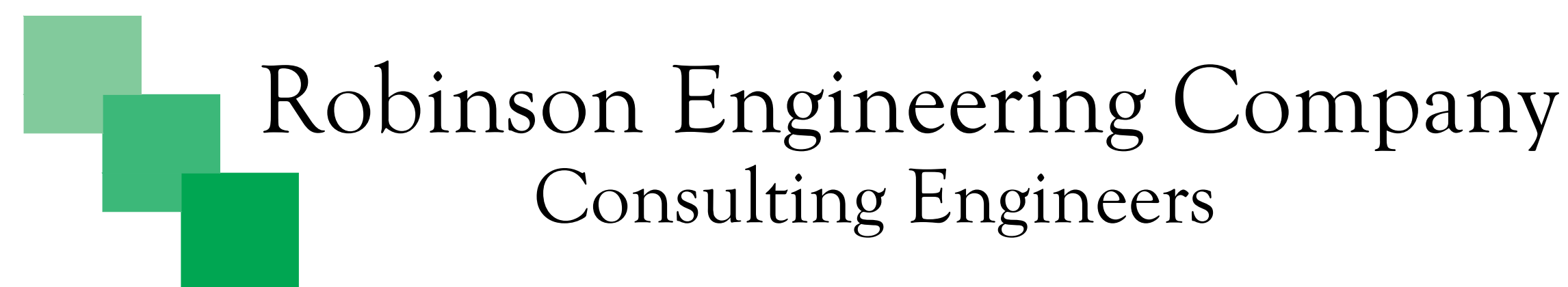
DARREN FANG, LLC (CONTRACT)
905 LISA DRIVE
WATERLOO, IA 50701

ARCHITECT

LEVI ARCHITECTURE
3228 CEDAR HEIGHTS DRIVE
CEDAR FALLS, IA 50613

CIVIL ENGINEER

ROBINSON ENGINEERING
819 SECOND STREET NE
INDEPENDENCE, IOWA 50644
319-334-7211
PROJECT CONTACT: ALEX BOWER
ENGINEER: MONICA SMITH



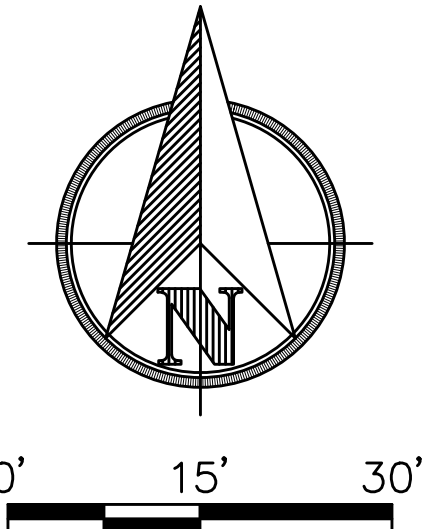
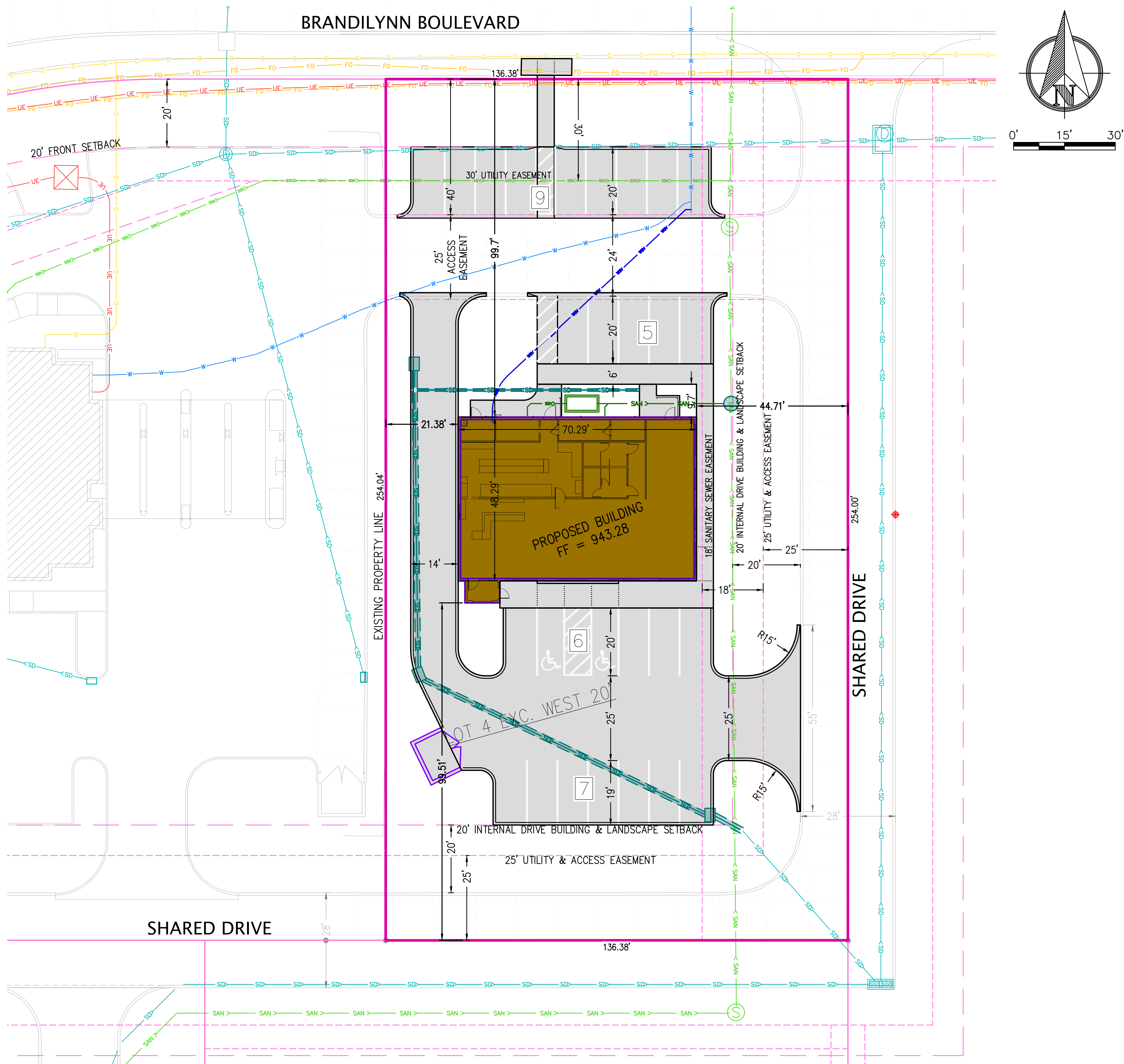
819 Second Street NE
Independence, Iowa 50644
319-334-7211

C0.1

8/20/2024
SUBMITTAL 4

	I hereby certify that this Engineering document was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.	
	MONICA M. SMITH	LICENSE NO. 15074
	Signature	Date
	My License renewal date is: <u>DECEMBER 31, 2025</u>	
Pages or sheets covered by this seal: <u>'C' SHEETS</u>		

BRANDILYNN BOULEVARD



SITE ADDRESS: 1150 BRANDILYNN BOULEVARD
 PARCEL ID: 891330351030
 DEVELOPER: DARREN FANG, LLC (CONTRACT)
 905 LISA DRIVE
 WATERLOO, IA 50701

ZONING: HWY-1 HIGHWAY COMMERCIAL
 LOT SIZE: 34,036 SF / 0.781 ACRES
 SETBACK REQUIREMENTS
 FRONT: 20'
 REAR: NOT NOTED
 SIDE: NOT NOTED

LOT AREA UTILIZATION
 BUILDING FOOTPRINT: 3,461 SF (10.2%)
 TOTAL PAVEMENT & SIDEWALKS: 20,182 SF (59.3%)
 TOTAL VEGETATED SURFACE: 10,393 SF (30.5%)

PARKING:
 REQUIRED PER SEC. 26-220, (a), 2, b, 4.
 31. Restaurant (standard eat in). One parking space for every 150 square feet of gross floor area, plus one parking space for every two employees, with a minimum of five parking spaces for employee parking.

CALCULATIONS:
 GROSS FLOOR AREA = 3,115 SF / 150 = 21 SPACES
 PR. EMPLOYEES MAX SHIFT: = 8 EMPLOYEES
 REQUIRED PARKING = 26 SPACES
 PROVIDED PARKING = 27 SPACES

FLOOD PLAIN: ZONE X PER FEMA FIRM 19013C0281F, EFFECTIVE 7/18/2011

STORM WATER MANAGEMENT: REGIONAL DETENTION

Robinson Engineering Company
 Consulting Engineers



819 Second Street NE
 Independence, Iowa 50644
 319-334-7211

SITE DEVELOPMENT PLAN

GOLDEN CHINA RESTAURANT

PN: 24001
 DARREN FANG, LLC (CONTRACT)

C0.2
 8/20/2024
 SUBMITTAL 4

TRAFFIC CONTROL

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH ALL APPLICABLE JURISDICTIONAL REQUIREMENTS.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO AND BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
2. THE SITE IMPROVEMENTS SHOWN WITHIN THIS PLAN SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE 2024 VERSION OF THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, ALSO KNOWN AS SUDAS (2024) AS AMENDED BY THE CITY OF CEDAR FALLS UNLESS SPECIFICALLY STATED OTHERWISE IN THESE PLANS, THE PROJECT MANUAL (IF APPLICABLE), OR CITY AND OTHER APPLICABLE ORDINANCES. THIS INCLUDES, IF PROVIDED, PROJECT SPECIFIC SUPPLEMENTAL SPECIFICATIONS.
3. ANY QUANTITIES SHOWN ON THE CIVIL (C) SHEETS ARE TO ASSIST THE BIDDER. THE BIDDER/CONTRACTOR SHALL MAKE A FINAL DETERMINATION OF THE QUANTITIES REQUIRED TO COMPLETE THE WORK AND THE BID SHALL BE ON THE BASIS OF THE BIDDER/CONTRACTOR'S OWN CALCULATIONS. ANY COMMENT RELATED TO QUANTITY OR PAYMENT ON THE CIVIL SHEETS IS SOLELY PROVIDED TO ASSIST THE BIDDER/CONTRACTOR IN THE PREPARATION OF BIDDING AND SHALL NOT BE CAUSE FOR CHANGE ORDER REQUEST.
4. CONSTRUCTION SURVEY FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE ENGINEERING DEPARTMENTS AND UTILITY COMPANIES PRIOR TO CONSTRUCTION. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO ANY EXISTING UTILITY. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES NOTICE TO IOWA ONE CALL (1-800-292-8989) NOT LESS THAN 48 HOURS BEFORE EXCAVATION, EXCLUDING WEEKENDS AND LEGAL HOLIDAYS.
6. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, LOCATE AND DETERMINE THE UNDERGROUND UTILITIES ON THE PROJECT SITE. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES.
7. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO BECOME FULLY FAMILIAR WITH THE EXISTING CONDITIONS OF THE SITE. FAILURE TO VISIT THE SITE SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING THE WORK IN ACCORDANCE WITH THESE DRAWINGS.
8. THE CONTRACTOR SHALL VERIFY AT THE SITE, ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICT PRIOR TO PROCEEDING WITH THE WORK.
9. DRAWING DIMENSIONS SHALL GOVERN OVER SCALING OF DRAWINGS. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS. NOTES AND DETAILS ON THE DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OUTSIDE THE CONSTRUCTION LIMITS RESULTING FROM NEGLIGENCE.
11. CONTRACTOR SHALL PROTECT EXISTING FACILITIES, BUILDINGS, AND OTHER APPURTENANCES NOT TO BE REMOVED FROM THE SITE DURING THE CONSTRUCTION ACTIVITIES.
12. CONTRACTOR SHALL CONFINE WORK TO THE CONSTRUCTION LIMITS AND EASEMENTS PROVIDED OR EASEMENTS OBTAINED. COPIES OF ANY EASEMENTS THE CONTRACTOR OBTAINS FOR CONSTRUCTION WORK ON THIS PROJECT SHALL BE PROVIDED TO THE OWNER.
13. CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE AND STAGING PLAN A MINIMUM OF TWO (2) DAYS PRIOR TO THE PRECONSTRUCTION MEETING.
14. CONTRACTOR SHALL NOT INTERRUPT ACCESS TO OTHER PROPERTIES, WHERE INGRESS/EGRESS IS PERMITTED, DURING CONSTRUCTION.
15. CONTRACTOR SHALL INSTALL INITIAL EROSION CONTROL MEASURES FOR INSPECTION BY THE CITY PRIOR TO EARTH MOVING ACTIVITIES.
16. CONTRACTOR SHALL COORDINATE TEMPORARY DISRUPTION OF UTILITY SERVICES WITH THE CITY OF CEDAR FALLS, AFFECTED UTILITY COMPANIES, AND/OR AFFECTED PROPERTY OWNERS WHEN UTILITY SERVICES ARE INTERRUPTED DUE TO CONSTRUCTION ACTIVITIES ON THIS PROJECT.
17. TYPE A COMPACTION SHALL BE REQUIRED FOR EXCAVATION/EMBANKMENT WORK ON THIS PROJECT. ADDITIONAL COMPACTION REQUIREMENTS MAY BE REQUIRED FOR BUILDING CONSTRUCTION. REFER TO APPLICABLE SPECIFICATIONS FOR THAT WORK.
18. PROPOSED LINework IS PROVIDED IN .DWG FORMAT AND THE EXISTING AND PROPOSED SURFACES ARE PROVIDED IN .XML FORMAT FOR BIDDING PURPOSES. NO OTHER ELECTRONIC DATA WILL BE PROVIDED FOR BIDDING PURPOSES. ALL ENTITIES WHO CHOSE TO USE THESE ELECTRONIC DOCUMENTS WHETHER ISSUED FOR BIDDING OR ISSUED DURING CONSTRUCTION SHALL ASSUME RESPONSIBILITY FOR ENSURING ITS ACCURACY TO THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
19. THE CONTRACTOR WILL BE PROVIDED WITH THE STORM WATER POLLUTION PREVENTION PLAN AND ACCOMPANYING NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT NUMBER 2 (SWPPP) DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SWPPP MANAGEMENT, INSPECTIONS, MAINTENANCE, EXECUTION, AND REMOVAL OF DEVICES. IN ADDITION, CONTRACTOR SHALL SUBMIT 'NOTICE OF DISCONTINUATION' TO THE IOWA DNR AT TIME SITE IS CONSIDERED FULLY ESTABLISHED, SUBJECT TO CITY APPROVAL.

APPLICABLE SUDAS SECTIONS:

Iowa Statewide Urban Design and Specifications (SUDAS) is available publicly at <https://iowasudas.org>

The following specifications sections are brought to the attention of the contractor for work on this project. Exclusion from this list shall not exempt other sections from applicability to work on this project. For all items called out in subsection 1.08 MEASUREMENT AND PAYMENT, '1. Measurement;' and '2. Payment;' shall be excluded. '3. Includes;' shall still apply to all sections. Any reference to 'Unit price' or similar context shall refer to The Contract arrangement for payment in the Project Manual for this project. EXAMPLE: where a 6" Gate valve is called out in the Plans all incidentals under Division 5, Section 5020, Part 1, Sub Section 1.08, A., 3, shall apply.

DIVISION 2: Earthwork
2010: Earthwork, Subgrade, and Subbase

DIVISION 3: Trench Excavation and Backfill
3010: Trench Excavation and Backfill
3020: Trenchless Construction (Boring, Jacking, and Tunneling)

DIVISION 4: Sewers and Drains
4010: Sanitary Sewers
4020: Storm Sewers
4060: Cleaning, Inspection, and Testing of Sewers

DIVISION 5: Water Mains and Appurtenances
5010: Pipe Fittings
5020: Valves, Fire Hydrants, and Appurtenances
5030: Testing and Disinfection

DIVISION 6: Structures for Sanitary and Storm Sewers
6010: Structures for Sanitary and Storm Sewers
6030: Cleaning, Inspection, and Testing of Structures

DIVISION 7: Streets and Related Work
7010: Portland Cement Concrete Pavement
7030: Sidewalks, Shared Used Paths, and Driveways

DIVISION 8: Traffic Control
8020: Pavement Markings
8030: Temporary Traffic Control

DIVISION 9: Site Work and Landscaping
9010: Seeding
9030: Plant Material and Planting
9040: Erosion and Sediment Control
9060: Chain Link Fence

Division 11: Miscellaneous
11,010: Construction Survey
11,050: Concrete Washout

APPLICABLE SUDAS DETAILS:

Iowa Statewide Urban Design and Specifications (SUDAS) is available publicly at <https://iowasudas.org>

The following details are brought to the attention of the contractor for work on this project. Exclusion from this list shall not exempt other details from applicability to site work on this project.

DIVISION 2: Earthwork
2010.101 - DETAILS OF EMBANKMENTS AND REBUILDING EMBANKMENTS
2010.102 - DESIGNATION OF ROADWAY EARTHWORK ITEMS

DIVISION 3: Trench Excavation and Backfill
3010.101 - Trench Bedding and Backfill Zones
3010.103 - Flexible Gravity Pipe Trench Bedding
3010.104 - Pressure Pipe Trench Bedding

DIVISION 4: Sewers and Drains
4010.201 - Sanitary Sewer Service Stub
4010.203 - Sanitary Sewer Cleanout
4020.211 - Storm sewer Pipe Connections

DIVISION 5: Water Mains and Appurtenances
5010.101 - Thrust Blocks
5010.102 - Tracer System
5010.901 - Minimum Clearance Between Water Service and Structure
5020.201 - Fire Hydrant Assembly

DIVISION 7: Streets and Related Work
7010.101 - Joints
7010.102 - PCC Curb Details [6" Standard Curb]
7010.904 - Typical Jointing Layout
7030.102 - Concrete Driveway, Type B [With Radii]
7030.202 - Curb Details for Class A Sidewalk [Detail 3]

DIVISION 8: Traffic Control
8030-102 - Work off of Pavement with Minor Encroachment onto Traveled Way
8030.104 - Lane Closure on Low Volume Street (Self-Regulating)

DIVISION 9: Site Work and Landscaping
9030.101 - Planting Pit
9030.102 - Tree Staking, Guying, And Wrapping
9040.102 - Filter Berm and Filter Sock
9040.103 - Rolled Erosion Control Product (RECP) Installation on Slopes
9040.104 - Rolled Erosion Control Product (RECP) Installation in Channel
9040.105 - Rip Rap for Pipe Outlet onto Flat Ground
9040.111 - Rap Rap Apron for Pipe Outlet into Channel
9040.114 - Sediment Basin with Emergency Spillway
9040.119 - Silt Fence
9040.120 - Stabilized Construction Entrance
9060.101 - Chain Link Fence
9060.102 - Chain Link Gate

Robinson Engineering Company
Consulting Engineers



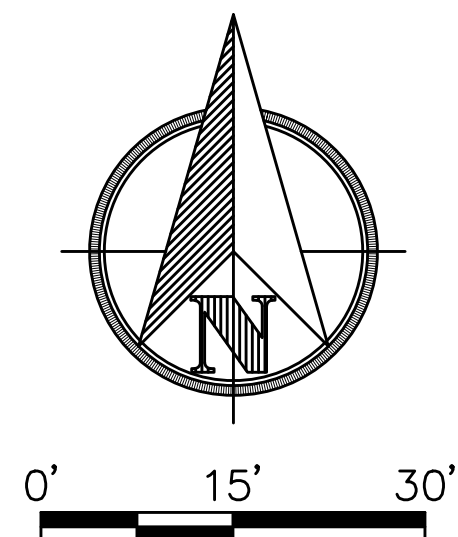
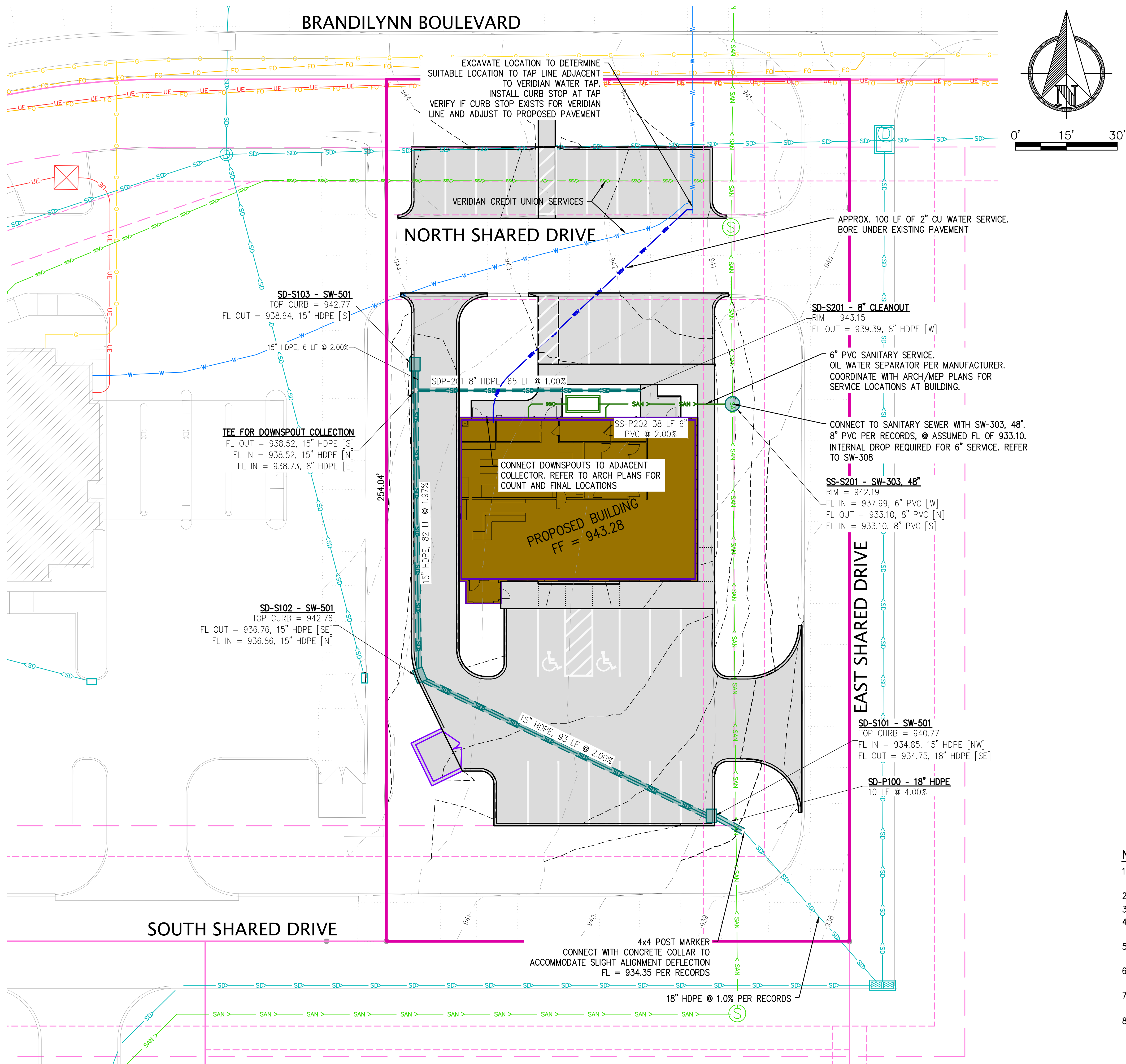
819 Second Street NE
Independence, Iowa 50644
319-334-7211

GENERAL NOTES AND
APPLICABLE SPECIFICATIONS

GOLDEN CHINA RESTAURANT

PN: 24001
DARREN FANG, LLC (CONTRACT)

C0.3
8/20/2024
SUBMITTAL 4



NOTES:

1. ALL HDPE DRAINAGE PIPE SHALL BE OF DUAL WALL CONSTRUCTION UNLESS SPECIFICALLY SPECIFIED OTHERWISE.
2. STORM PIPING SHALL BE RCP WHERE PLACED WITHIN CITY RIGHT OF WAY.
3. WATER LINE SHALL BE BURIED TO MAINTAIN 6' COVER.
4. CONTRACTOR SHALL FIELD VERIFY LOCATION, ELEVATION, AND MATERIAL OF ALL WATER, STORM, AND SANITARY CONNECTIONS.
5. CONFIRM WATER SERVICE ENTRANCE LOCATION TO BUILDING WITH ARCHITECTURAL AND MECHANICAL PLANS.
6. COORDINATE CONNECTION TO MUNICIPAL WATER MAIN WITH CEDAR FALLS UTILITIES STAFF.
7. SANITARY SERVICE SHALL BE INSTALLED WITH TRACER WIRE. PLACE TRACER STATION AT CLEAN OUT WHERE SERVICE EXISTS BUILDING.
8. PLACE LIGHT POLES, IF PROVIDED, 3' CLEAR FROM EDGE PAVING/BACK OF CURB.

Robinson Engineering Company
Consulting Engineers

819 Second Street NE
Independence, Iowa 50644
319-334-7211

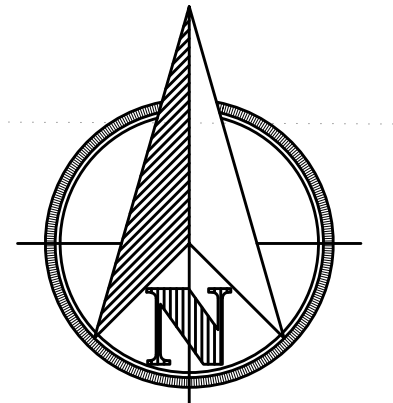
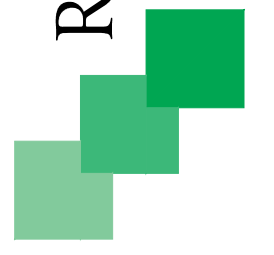
UTILITY PLAN

GOLDEN CHINA RESTAURANT

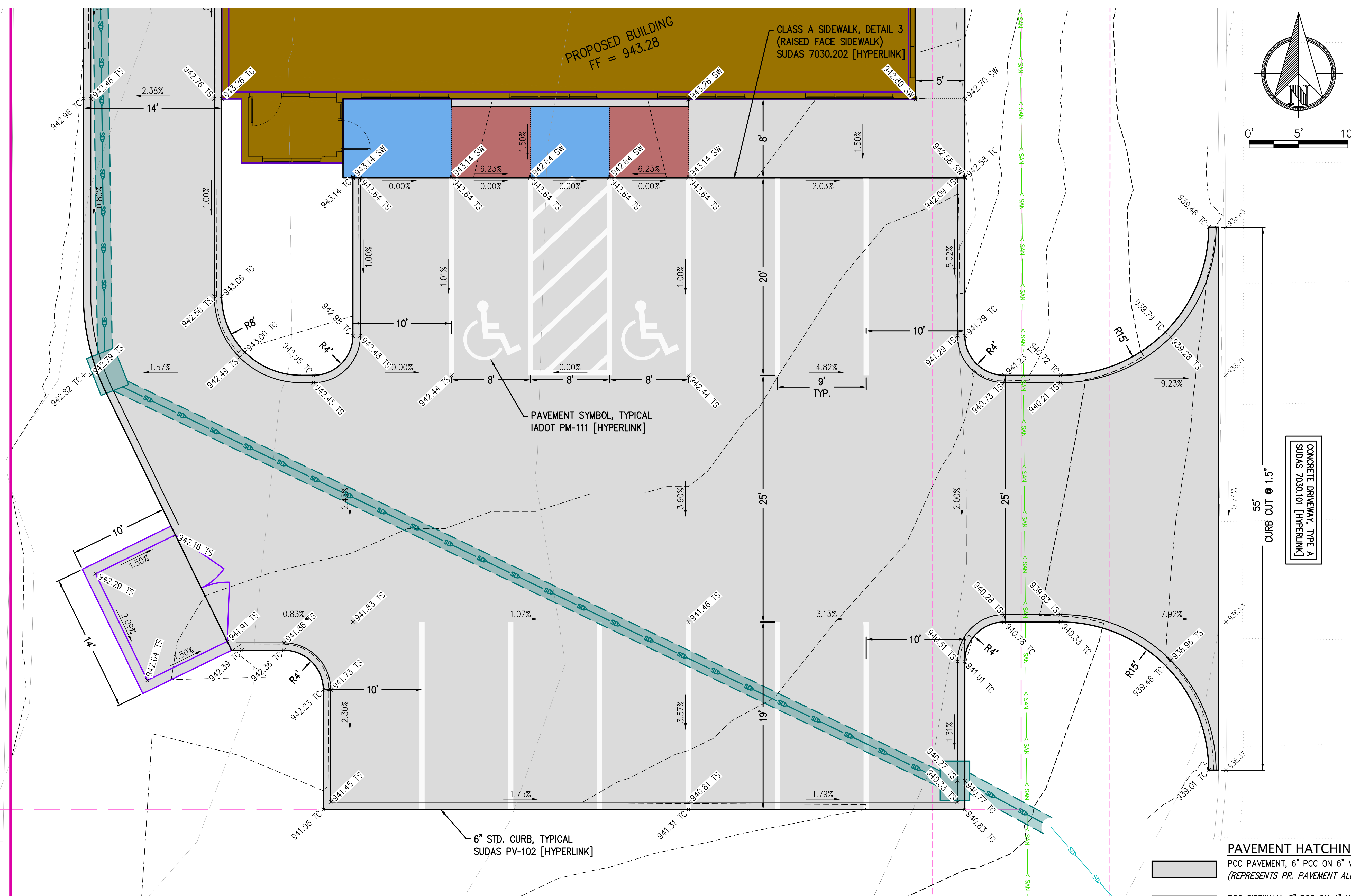
PN: 24001
DARREN FANG, LLC (CONTRACT)

C1.1






8/20/2024
SUBMITTAL 4



EAST SHARED DRIVE



PAVEMENT HATCHING LEGEND

-  PCC PAVEMENT, 6" PCC ON 6" MODIFIED SUBBASE (REPRESENTS PR. PAVEMENT ALL OTHER SHEETS)
-  PCC SIDEWALK, 5" PCC ON 4" MODIFIED SUBBASE (OVERLAY HATCH)
-  PCC PAVEMENT, 8" PCC ON 6" MODIFIED SUBBASE (OVERLAY HATCH)
-  TURNING SPACE (OVERLAY HATCH)
-  SIDEWALK RAMP (OVERLAY HATCH)

(OVERLAY HATCHING ONLY UTILIZED ON PAVING PLAN SHEETS.)

PAVEMENT NOTES:

1. SIDEWALKS ARE DESIGNED AT 1.5% CROSS SLOPE OR LESS. AS CONSTRUCTED CROSS SLOPS SHALL NOT EXCEED 2%.
2. CARE SHALL BE TAKEN TO INSTALL WALKS IN ACCORDANCE WITH THE SURFACE DESIGN HEREIN.
3. END STALLS ARE 10' WIDE MEASURED FROM BACK OF CURB TO CENTER PAVEMENT MARKING. STANDARD STALLS ARE 9' WIDE MEASURED CENTER TO CENTER OF PAVEMENT MARKING. HANDICAP STALLS ARE AS NOTED.
4. PROVIDE AND INSTALL HANDICAP PARKING SIGNS. SIGNS SHALL BE ALUMINUM ON GALVANIZED STEEL SQUARE TUBE UNLESS MOUNTED TO BUILDING.

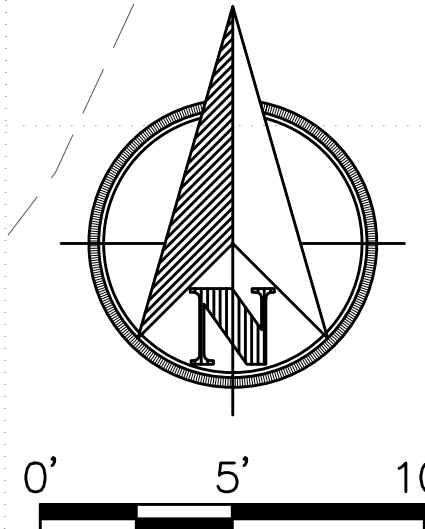
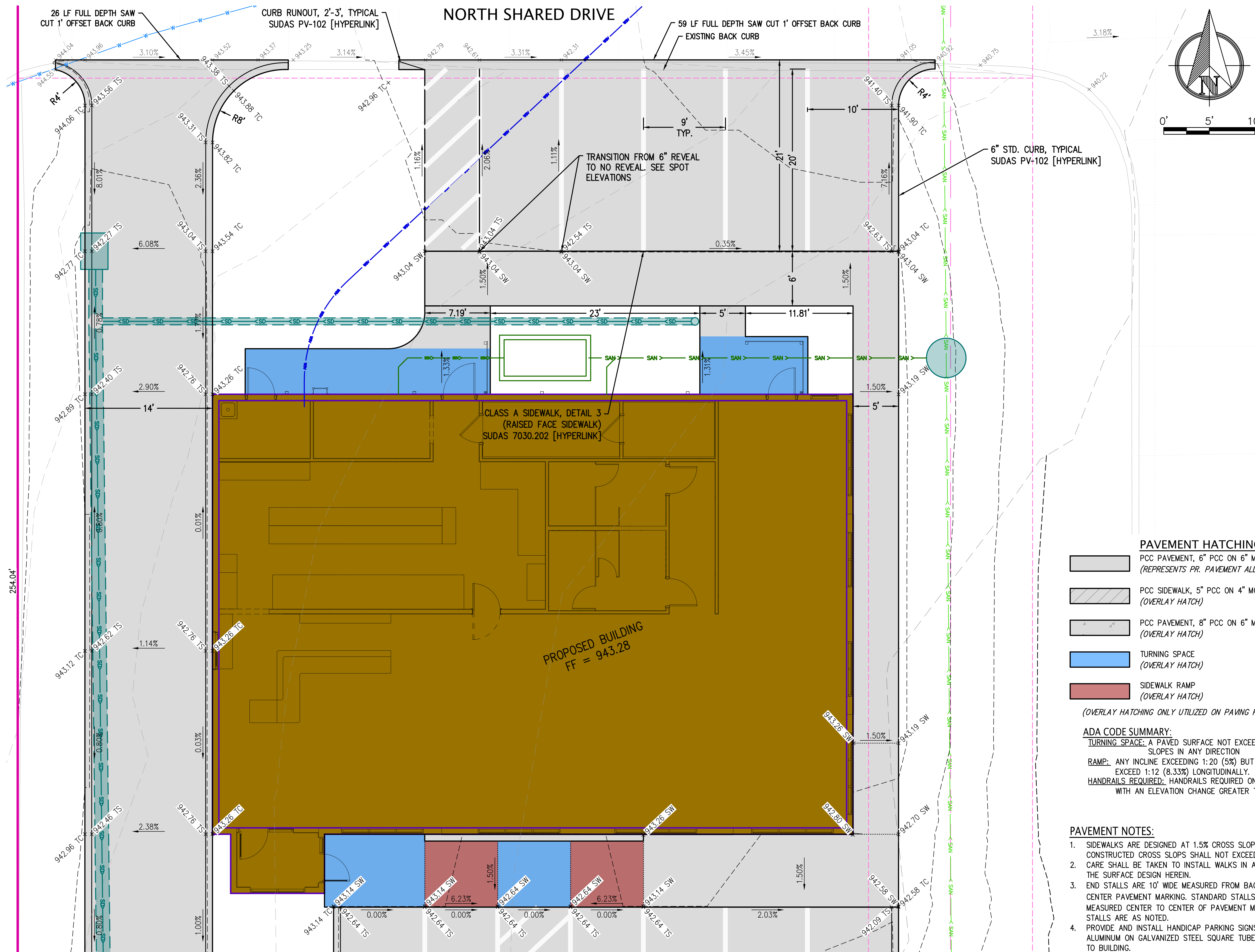
ADA CODE SUMMARY:

TURNING SPACE: A PAVED SURFACE NOT EXCEEDING 2% SLOPES IN ANY DIRECTION

RAMP: ANY INCLINE EXCEEDING 1:20 (5%) BUT SHALL NOT EXCEED 1:12 (8.33%) LONGITUDINALLY.

HANDRAILS REQUIRED: HANDRAILS REQUIRED ON ANY RAMP WITH AN ELEVATION CHANGE GREATER THAN 6"

SOUTH SHARED DRIVE



EAST SHARED DRIVE

PAVEMENT HATCHING LEGEND

	PCC PAVEMENT, 6" PCC ON 6" MODIFIED SUBBASE (REPRESENTS PR. PAVEMENT ALL OTHER SHEETS)
	PCC SIDEWALK, 5" PCC ON 4" MODIFIED SUBBASE (OVERLAY HATCH)
	PCC PAVEMENT, 8" PCC ON 6" MODIFIED SUBBASE (OVERLAY HATCH)
	TURNING SPACE (OVERLAY HATCH)
	SIDEWALK RAMP (OVERLAY HATCH)

(OVERLAY HATCHING ONLY UTILIZED ON PAVING PLAN SHEETS.)

ADA CODE SUMMARY:
TURNING SPACE: A PAVED SURFACE NOT EXCEEDING 2% SLOPES IN ANY DIRECTION
RAMP: ANY INCLINE EXCEEDING 1:20 (5%) BUT SHALL NOT EXCEED 1:12 (8.33%) LONGITUDINALLY.
HANDRAILS REQUIRED: HANDRAILS REQUIRED ON ANY RAMP WITH AN ELEVATION CHANGE GREATER THAN 6"

- PAVEMENT NOTES:**
- SIDEWALKS ARE DESIGNED AT 1.5% CROSS SLOPE OR LESS. AS CONSTRUCTED CROSS SLOPS SHALL NOT EXCEED 2%.
 - CARE SHALL BE TAKEN TO INSTALL WALKS IN ACCORDANCE WITH THE SURFACE DESIGN HEREIN.
 - END STALLS ARE 10' WIDE MEASURED FROM BACK OF CURB TO CENTER PAVEMENT MARKING. STANDARD STALLS ARE 9' WIDE MEASURED CENTER TO CENTER OF PAVEMENT MARKING. HANDICAP STALLS ARE AS NOTED.
 - PROVIDE AND INSTALL HANDICAP PARKING SIGNS. SIGNS SHALL BE ALUMINUM ON GALVANIZED STEEL SQUARE TUBE UNLESS MOUNTED TO BUILDING.

Robinson Engineering Company
 Consulting Engineers

819 Second Street NE
 Independence, Iowa 50644
 319-334-7211

PAVING PLAN - CENTER

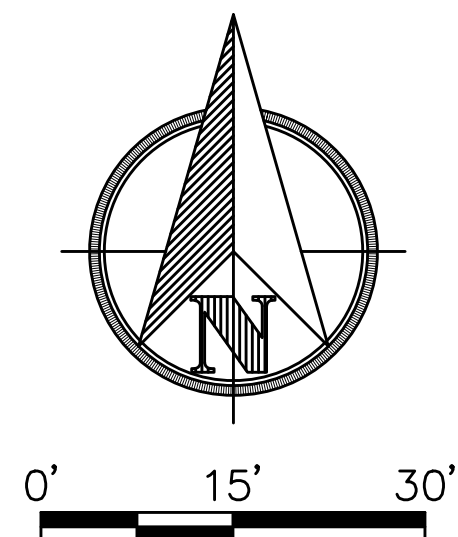
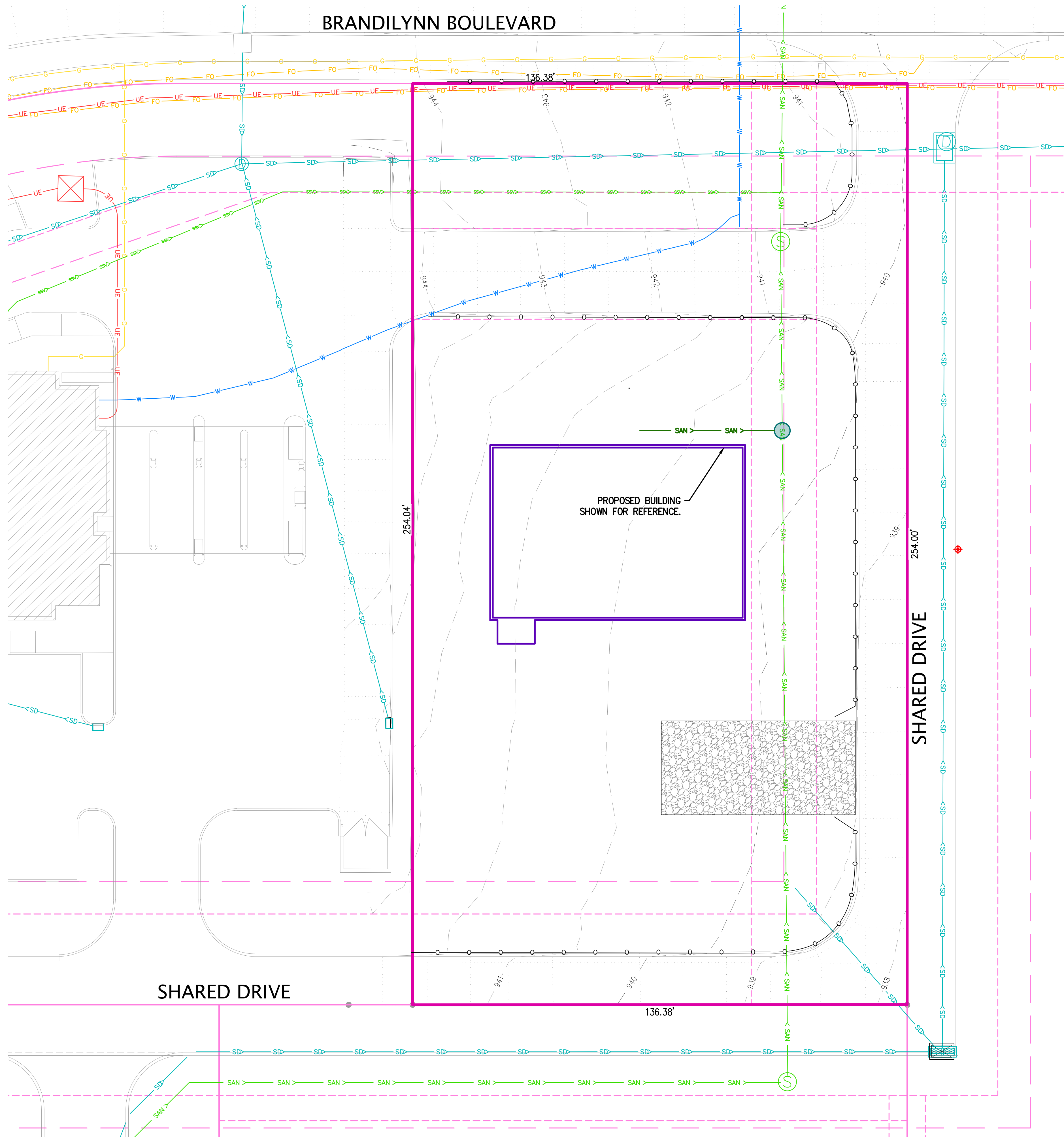
GOLDEN CHINA RESTAURANT

PN: 24001
 DARREN FANG, LLC (CONTRACT)

C2.2

8/20/2024
 SUBMITTAL 4

BRANDILYNN BOULEVARD



SEQUENCE OF ACTIVITIES

INITIAL
PREPARATION OF SITE FOR MOBILIZATION
AND COMMENCEMENT OF WORK

1. INSTALL SWPPP BOX
2. ESTABLISH PERIMETER CONTROLS
3. INSTALL TEMPORARY CONSTRUCTION ENTRANCE
4. INSTALL PORTABLE SANITARY FACILITY
5. ESTABLISH STAGING & PARKING AREAS
6. ESTABLISH STOCK PILE CONTROLS
7. PLACE INLET PROTECTION DEVICES ON ROADWAY INLETS.

LEGEND

- PCC
- TOPSOIL, SEEDING, AND MULCHING (MAY INCLUDE LANDSCAPING, REFER TO LANDSCAPING PLAN)
- GRANULAR SURFACING PERMANENT OR TEMPORARY
- EROSION MULCHING
- TEMPORARY ROLLED EROSION CONTROL PRODUCT
- INLET PROTECTION - SILT BAG
- INLET PROTECTION - SOCK
- 9" - FILTER SOCK, MULCH FILL**
- SILT FENCE

** MAY SUBSTITUTE WITH SILT FENCE OR MULCH BERM WHERE PERMITTED

KEY

- ① SWPPP BOX
- ② PORTABLE SANITARY FACILITY
- ③ CONSTRUCTION DUMPSTER
- ④ CONSTRUCTION PARKING
- ⑤ CONSTRUCTION TRAILER
- ⑥ MATERIAL STORAGE
- ⑦ STABILIZED CONSTRUCTION ENTRANCE COMPLY WITH SUDAS 9040.12
- ⑧ CONCRETE WASHOUT

NOTES:

1. NOT ALL KEY AND/OR LEGEND ITEMS MAY BE USED AND SHOWN ON THIS PLAN. THEY ARE AVAILABLE FOR USE IF NEEDED.
2. PORTABLE SANITARY FACILITY SHALL BE STAKED DOWN TO WITHSTAND ANY ANTICIPATED WINDS
4. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY ON ANY EXPOSED SOILS IF EARTH DISTURBING ACTIVITIES HAVE CEASED TEMPORARILY OR PERMANENTLY AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
5. ADDITIONAL AND MORE COMPREHENSIVE DETAILS AND INSTRUCTIONS CONTAINED WITHIN THE SWPPP DOCUMENT
6. CONCRETE SLURRY GENERATED BY WET SAWING SHALL BE VACUUMED OR UTILIZE OTHER ACCEPTABLE CONTAINMENT METHOD TO CAPTURE AND DISPOSE OF THE MATERIAL IN ACCORDANCE WITH APPLICABLE LAWS.

Robinson Engineering Company
Consulting Engineers

SWPPP - INITIAL DISTURBANCE

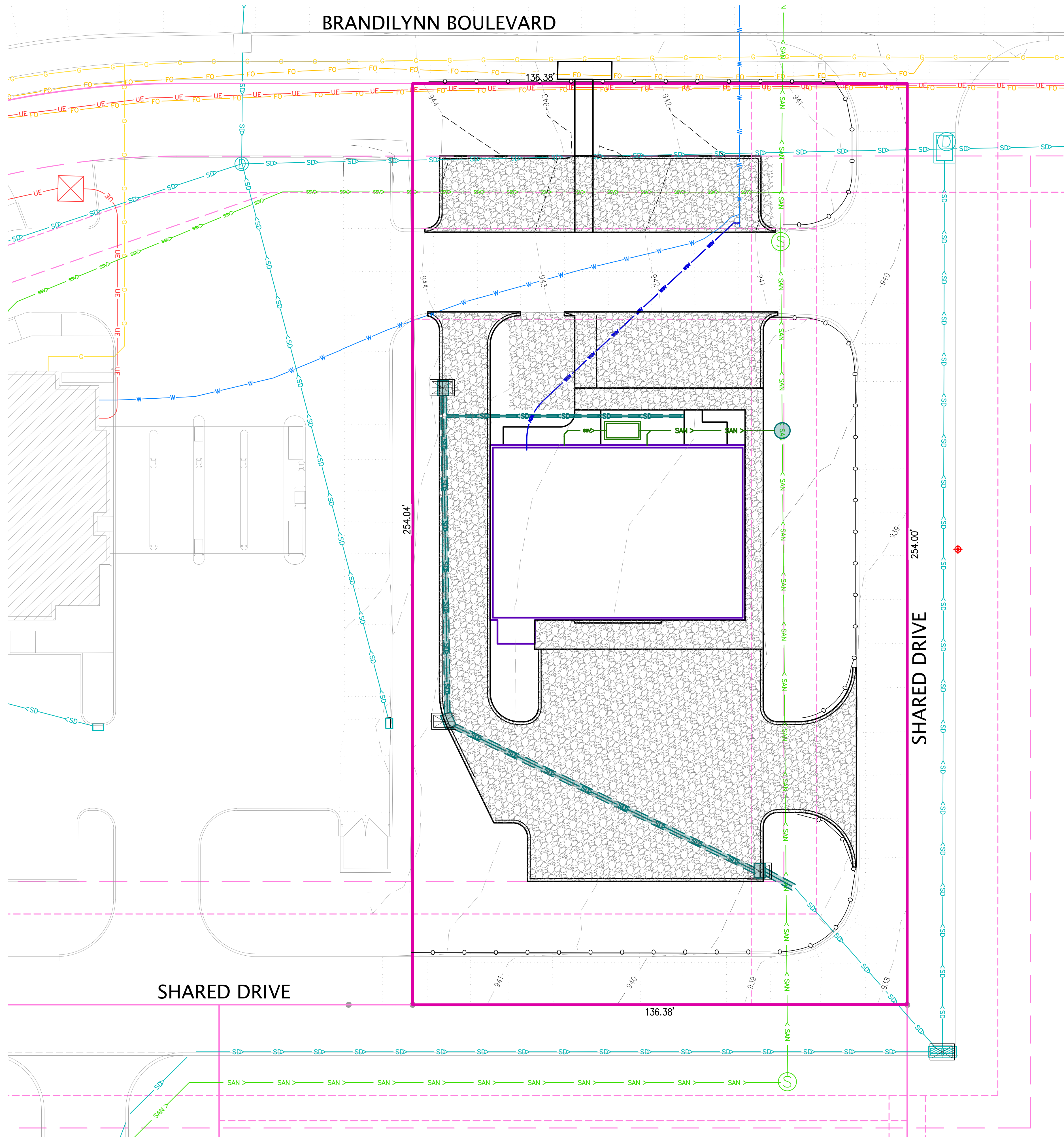
GOLDEN CHINA RESTAURANT

PN: 24001
DARREN FANG, LLC (CONTRACT)

C3.1
8/20/2024
SUBMITTAL 4

819 Second Street NE
Independence, Iowa 50644
319-334-7211

BRANDILYNN BOULEVARD



SEQUENCE OF ACTIVITIES

CONSTRUCTION
CONTINUED MAINTENANCE, IMPLEMENTATION,
AND EVOLUTION OF SWPPP

1. MAINTENANCE
 - 1.A. SWPPP DOCUMENTS
 - 1.B. PERIMETER CONTROLS
 - 1.C. TEMPORARY CONSTRUCTION ENTRANCE
 - 1.D. STOCK PILES
2. SITE GRADING
 - 2.A. INSTALL DETENTION BASIN ON SOUTH END TO OPERATE AS SEDIMENT BASIN DURING CONSTRUCTION.
 - 2.B. PLACE EROSION MULCHING WHEN AREAS ARE NOT BEING WORKED OR ONCE GRADE IS ESTABLISHED
 - 2.C. PLACE PAVEMENT SUBBASE ONCE SUBGRADE PREPARED
 - 2.D. SWEEP STREETS WHEN EROSION IS TRACKED
3. UTILITIES
 - 3.A. PLACE EROSION MULCHING THROUGH DISTURBED AREAS
 - 3.B. PLACE INLET PROTECTION DEVICES FOR NEWLY INSTALLED INTAKES
 - 3.C. PLACE SILT FENCE TO PROTECT CULVERTS
 - 3.D. SWEEP STREETS WHEN EROSION IS TRACKED
4. BUILDING CONSTRUCTION
 - 4.A. MAINTAIN ONSITE CONTROLS
5. SITE PAVING
 - 5.A. INSTALL CONCRETE WASHOUT
 - 5.B. REMOVE TEMPORARY CONSTRUCTION ENTRANCE ONCE REQUIRED TO PREPARE SUBBASE AND PLACE PAVEMENT

LEGEND

- PCC
- TOPSOIL, SEEDING, AND MULCHING (MAY INCLUDE LANDSCAPING, REFER TO LANDSCAPING PLAN)
- GRANULAR SURFACING PERMANENT OR TEMPORARY
- EROSION MULCHING
- TEMPORARY ROLLED EROSION CONTROL PRODUCT
- INLET PROTECTION - SILT BAG
- INLET PROTECTION - SOCK
- 9" - FILTER SOCK, MULCH FILL**
- SILT FENCE

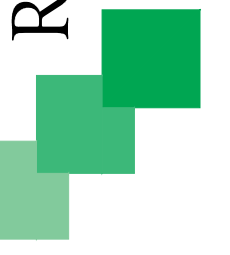
** MAY SUBSTITUTE WITH SILT FENCE OR MULCH BERM WHERE PERMITTED

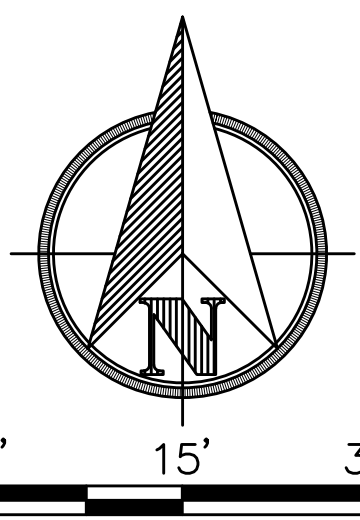
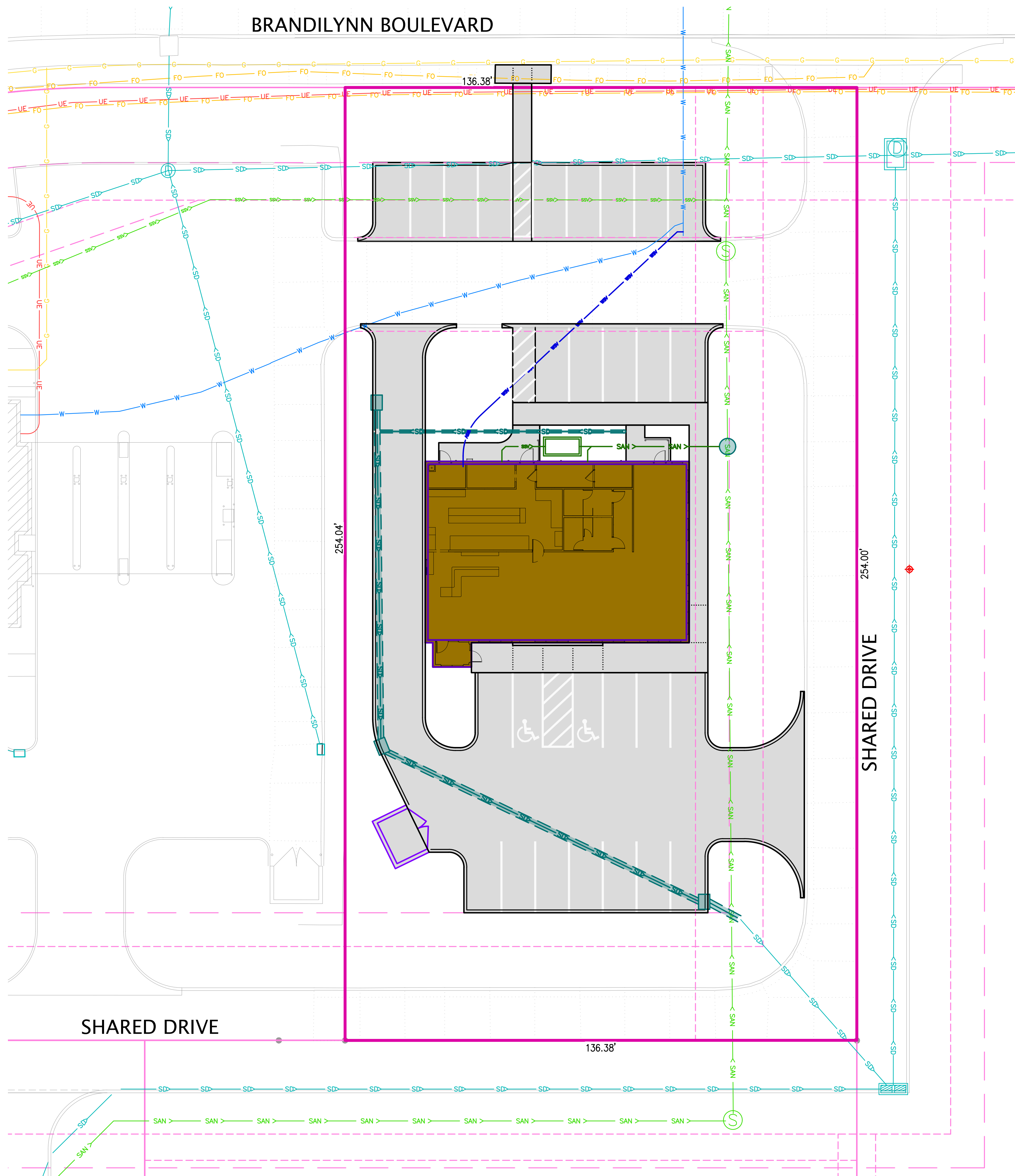
KEY

- ① SWPPP BOX
- ② PORTABLE SANITARY FACILITY
- ③ CONSTRUCTION DUMPSTER
- ④ CONSTRUCTION PARKING
- ⑤ CONSTRUCTION TRAILER
- ⑥ MATERIAL STORAGE
- ⑦ STABILIZED CONSTRUCTION ENTRANCE COMPLY WITH SUDAS 9040.12
- ⑧ CONCRETE WASHOUT

NOTES:

1. NOT ALL KEY AND/OR LEGEND ITEMS MAY BE USED AND SHOWN ON THIS PLAN. THEY ARE AVAILABLE FOR USE IF NEEDED.
2. PORTABLE SANITARY FACILITY SHALL BE STAKED DOWN TO WITHSTAND ANY ANTICIPATED WINDS
4. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY ON ANY EXPOSED SOILS IF EARTH DISTURBING ACTIVITIES HAVE CEASED TEMPORARILY OR PERMANENTLY AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
5. ADDITIONAL AND MORE COMPREHENSIVE DETAILS AND INSTRUCTIONS CONTAINED WITHIN THE SWPPP DOCUMENT
6. CONCRETE SLURRY GENERATED BY WET SAWING SHALL BE VACUUMED OR UTILIZE OTHER ACCEPTABLE CONTAINMENT METHOD TO CAPTURE AND DISPOSE OF THE MATERIAL IN ACCORDANCE WITH APPLICABLE LAWS.





LANDSCAPE PLAN GOLDEN CHINA RESTAURANT

ZONING: HWY-1 HIGHWAY COMMERCIAL

LOT SIZE: 34,036 SF / 0.781 ACRES

LOT AREA UTILIZATION:
 BUILDING FOOTPRINT: 3,461 SF (10.2%)
 TOTAL PAVEMENT & SIDEWALKS: 20,182 SF (59.3%)
 TOTAL VEGETATED SURFACE: 10,393 SF (30.5%)

REQUIREMENTS PER ORDINANCE (PARAPHRASED):

- A. MIN. OPEN SPACE OF 10% EXCLUDING PERIMETER SETBACK
- B. MIN. 0.02 PTS/SF OF SITE AREA. (REDUCTIONS POSSIBLE SUBJECT TO APPROVAL)
 $34,036 \text{ SF} * 0.02 \text{ PTS/SF} = \mathbf{681 \text{ POINTS}}$
- C. MIN. 0.75 PTS PER LF OF FRONTAGE
 $137 \text{ LF FRONTAGE} * 0.75 \text{ PTS/LF} = \mathbf{103 \text{ PTS}}$

SUB REQUIREMENTS

- OVERSTORY TREES PLACED ADJACENT TO PARKING AT A RATE OF 1 TREE PER 15 PARKING SPACES OR 1 TREE PER 2500 SF OF HARD SURFACE
 $10,401 \text{ SF PAVEMENT} / 2500 \text{ SF} = \mathbf{5 \text{ TREES}}$
- LANDSCAPING AROUND PERIMETER OF PARKING AREAS.

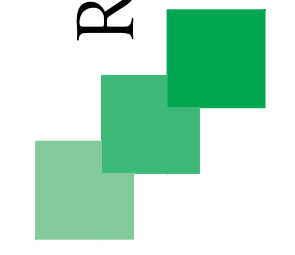
OPEN SPACE PROVIDED

TOTAL AREA EXCLUSIVE OF LANDSCAPE SETBACK: 20,473 SF
 VEGETATED SURFACE: 3,418 S.F. (16.7%)

MEASURED COMPLIANCE

OVERSTORY TREES	
4 INCH CALIPER OR GREATER	100 POINTS
3 INCH CALIPER OR GREATER	90 POINTS
2 INCH CALIPER OR GREATER	80 POINTS
TREES WITH CALIPER OF MORE THAN 4 INCHES	25 POINTS PER INCH
UNDERSTORY TREES	
2 INCH CALIPER OR GREATER	40 POINTS
1½ INCH CALIPER OR GREATER	30 POINTS
1 INCH CALIPER OR GREATER	20 POINTS
SHRUBS	
5 GALLON OR GREATER	10 POINTS
2 GALLON OR GREATER	5 POINTS
CONIFERS	
10 FOOT HEIGHT OR GREATER	100 POINTS
8 FOOT HEIGHT OR GREATER	90 POINTS
6 FOOT HEIGHT OR GREATER	80 POINTS
5 FOOT HEIGHT OR GREATER	40 POINTS
4 FOOT HEIGHT OR GREATER	30 POINTS
3 FOOT HEIGHT OR GREATER	20 POINTS

Robinson Engineering Company
Consulting Engineers

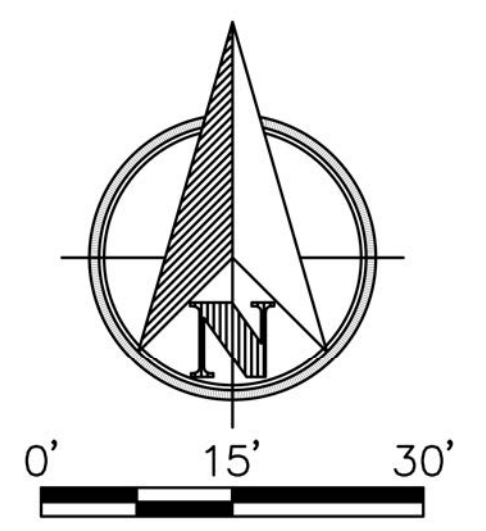
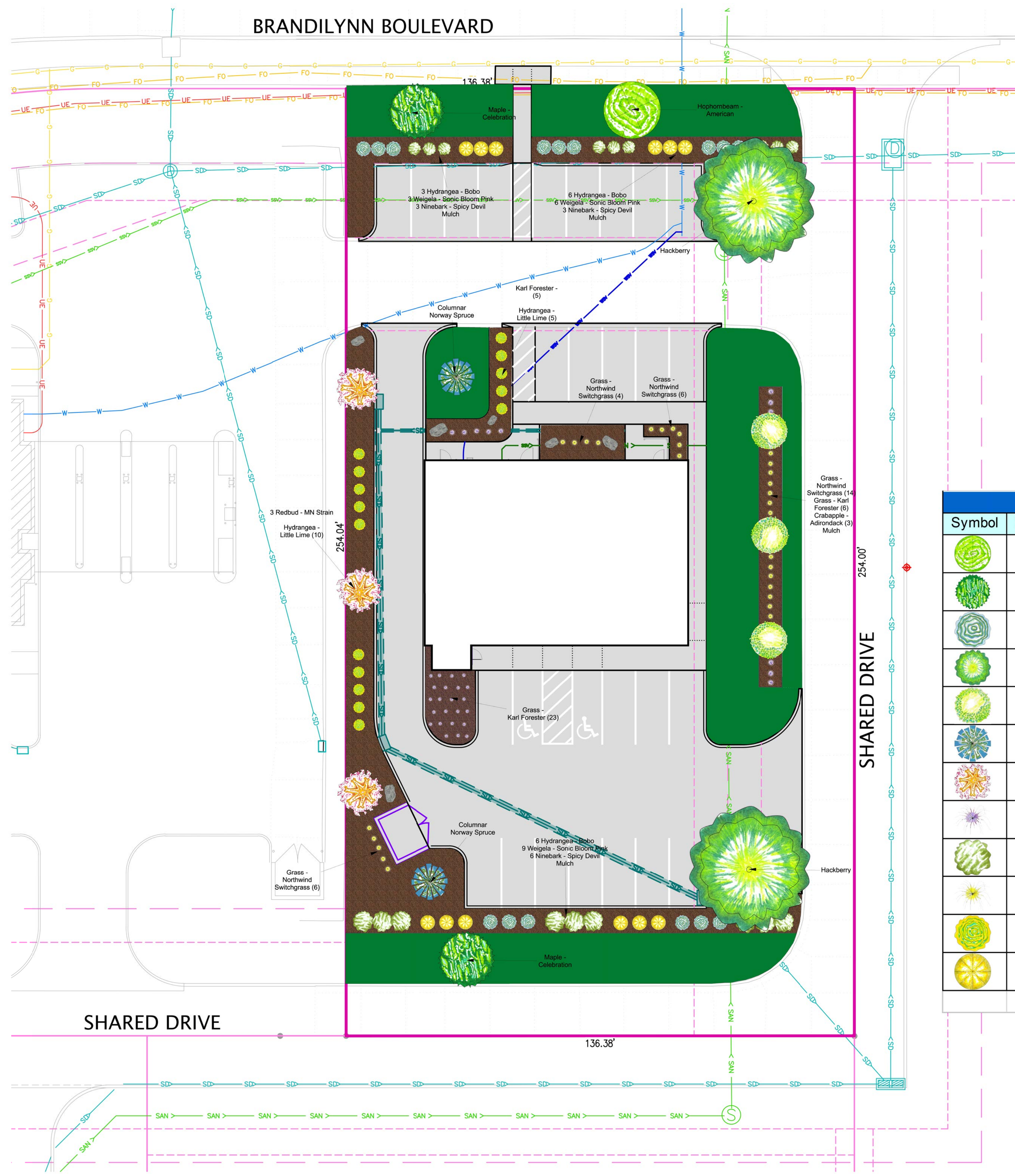


819 Second Street NE
Independence, Iowa 50644
319-334-7211

LANDSCAPE PLAN
GOLDEN CHINA RESTAURANT

PN: 24001
DARREN FANG, LLC (CONTRACT)

LA.1
8/20/2024
SUBMITTAL 4



LANDSCAPE PLAN GOLDEN CHINA RESTAURANT

ZONING: HWY-1 HIGHWAY COMMERCIAL

LOT SIZE: 34,036 SF / 0.781 ACRES

LOT AREA UTILIZATION:
 BUILDING FOOTPRINT: 3,461 SF (10.2%)
 TOTAL PAVEMENT & SIDEWALKS: 20,182 SF (59.3%)
 TOTAL VEGETATED SURFACE: 10,393 SF (30.5%)

REQUIREMENTS PER ORDINANCE (PARAPHRASED):

- A. MIN. OPEN SPACE OF 10% EXCLUDING PERIMETER SETBACK
 - B. MIN. 0.02 PTS/SF OF SITE AREA. (REDUCTIONS POSSIBLE SUBJECT TO APPROVAL)
 34,036 SF * 0.02 PTS/SF = **681 POINTS**
 - C. MIN. 0.75 PTS PER LF OF FRONTAGE
 137 LF FRONTAGE * 0.75PTS/LF = **103 PTS**
- SUB REQUIREMENTS
- OVERSTORY TREES PLACED ADJACENT TO PARKING AT A RATE OF 1 TREE PER 15 PARKING SPACES OR 1 TREE PER 2500 SF OF HARD SURFACE
 10,401 SF PAVEMENT / 2500 SF = **5 TREES**
 - LANDSCAPING AROUND PERIMETER OF PARKING AREAS.

OPEN SPACE PROVIDED
 TOTAL AREA EXCLUSIVE OF LANDSCAPE SETBACK: 20,473 SF
 VEGETATED SURFACE: 3,418 S.F. (16.7%)

MEASURED COMPLIANCE

OVERSTORY TREES	
4 INCH CALIPER OR GREATER	100 POINTS
3 INCH CALIPER OR GREATER	90 POINTS
2 INCH CALIPER OR GREATER	80 POINTS
TREES WITH CALIPER OF MORE THAN 4 INCHES 25 POINTS PER INCH	
UNDERSTORY TREES	
2 INCH CALIPER OR GREATER	40 POINTS
1 1/2 INCH CALIPER OR GREATER	30 POINTS
1 INCH CALIPER OR GREATER	20 POINTS
SHRUBS	
5 GALLON OR GREATER	10 POINTS
2 GALLON OR GREATER	5 POINTS
CONIFERS	
10 FOOT HEIGHT OR GREATER	100 POINTS
8 FOOT HEIGHT OR GREATER	90 POINTS
6 FOOT HEIGHT OR GREATER	80 POINTS
5 FOOT HEIGHT OR GREATER	40 POINTS
4 FOOT HEIGHT OR GREATER	30 POINTS
3 FOOT HEIGHT OR GREATER	20 POINTS

Plant Legend

Symbol	Qty	Common	Size	Points	Total Points
	1	American Hophmbeam	2"	80	80
	2	Maple - Celebration	3"	90	180
	15	Hydrangea - Bobo	#2	2	30
	2	Common Hackberry	3"	40	80
	3	Crabapple - Adirondack	1 1/2"	30	90
	2	Columnar Norway Spruce	4'	30	60
	3	Eastern Redbud - MN Strain	1 1/2"	30	90
	34	Grass - Karl Forester	#1	0	0
	18	Weigela - Sonic Bloom Pink	#2	2	36
	30	Grass - Northwind Switchgrass	#1	0	0
	15	Hydrangea - Little Lime	#2	2	30
	12	Ninebark - Spicy Devil	#2	2	24
					700

Robinson Engineering Company
Consulting Engineers

819 Second Street NE
Independence, Iowa 50644
319-334-7211

LANDSCAPE PLAN
GOLDEN CHINA RESTAURANT
PN: 24001
DARREN FANG, LLC (CONTRACT)

LA.1

8/20/2024
SUBMITTAL 4





GOLDEN CHINA

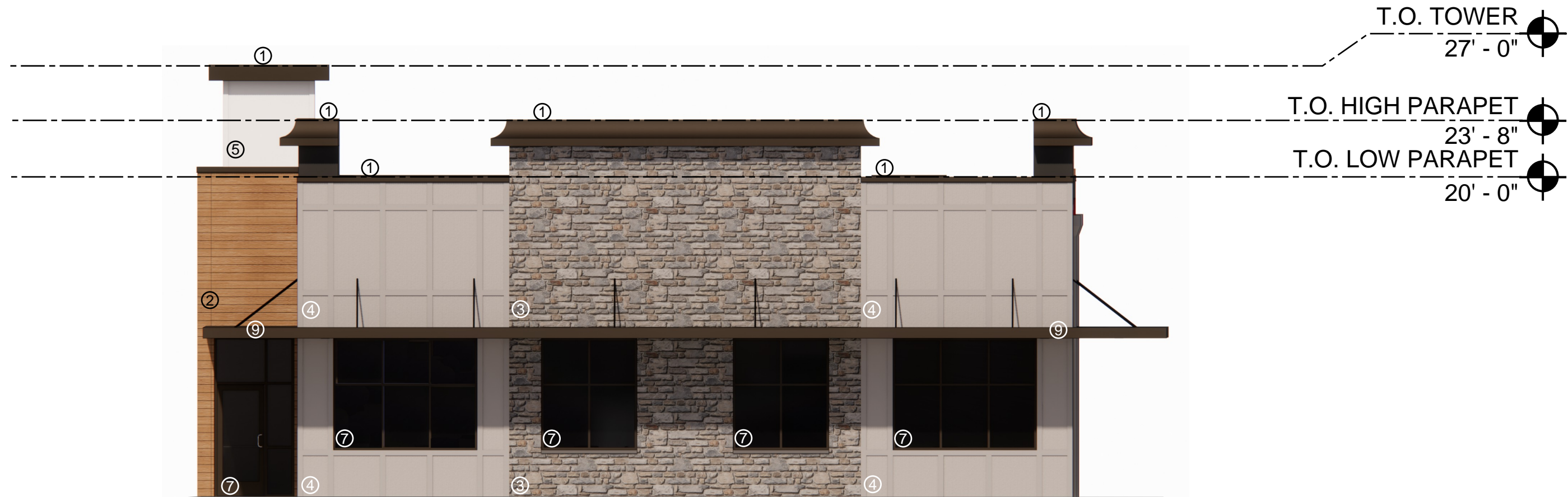
1150 Brandilynn Blvd. | Cedar Falls, IA



- ① PREFIN. SHT. MTL. CAP - FIRESTONE DARK BRONZE
- ② NICHIIHA VINTAGE WOOD PANELS - CEDAR
- ③ STONE VENEER - COLOR TBD
- ④ LP BOARD & BATTEN & TRIM - CLAY BY DIAMOND KOTE
- ⑤ LP BOARD & BATTEN & TRIM - WHITE BY DIAMOND KOTE
- ⑥ INSUL. GALV. H.M. DOOR - MATCH CLAY BY DIAMOND KOTE
- ⑦ ALUM. STOREFRONT FRAMING - DARK BRONZE
- ⑧ DRIVE-THRU WINDOW - DARK BRONZE
- ⑨ PREFIN. SHT. MTL. CANOPY - DARK BRONZE

GOLDEN CHINA

1150 Brandilynn Blvd. | Cedar Falls, IA



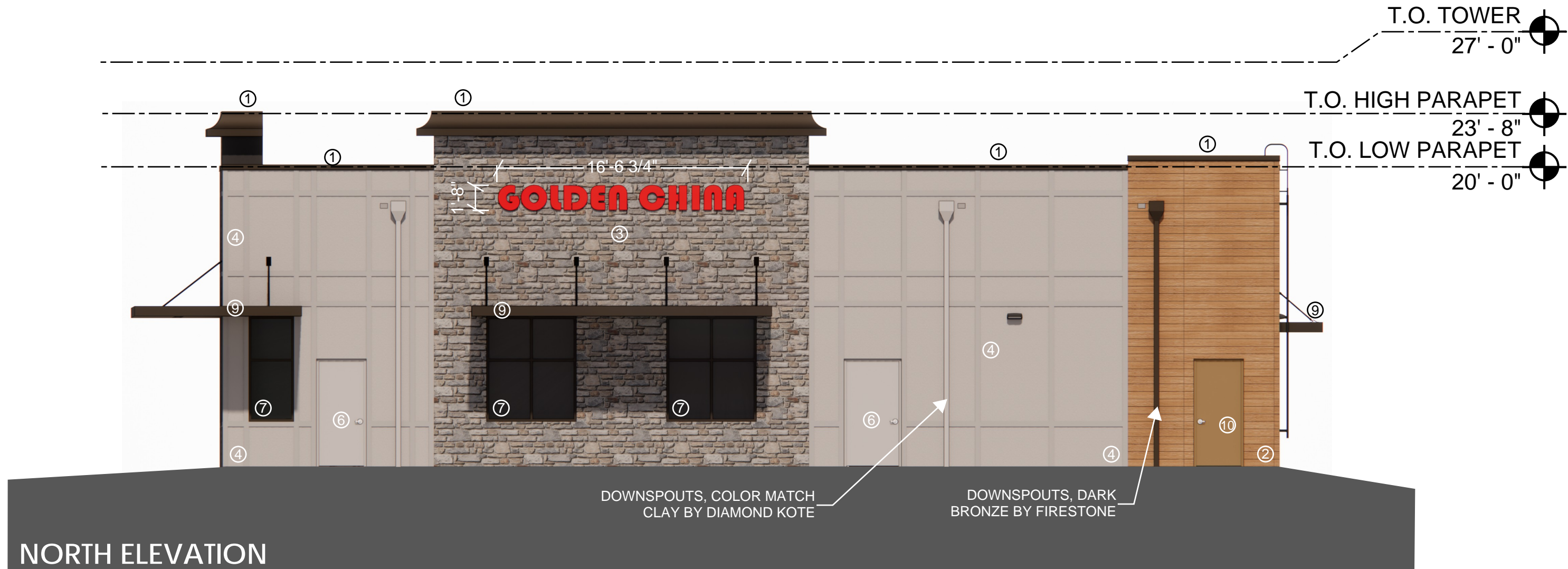
FUTURE WALL SIGNAGE TO NOT EXCEED
 20% OF THE ATTACHED SURFACE AREA.
 TOTAL EAST WALL AREA = 1,158 SF
 20% OF EAST WALL AREA = 232 SF
 CURRENT SIGNAGE AS SHOWN = 28 SF
 FINAL SIGNAGE TO BE REVIEWED W/ EACH BUILD-OUT

EAST ELEVATION

- ① PREFIN. SHT. MTL. CAP - FIRESTONE DARK BRONZE
- ② NICHIIHA VINTAGE WOOD PANELS - CEDAR
- ③ STONE VENEER - COLOR TBD
- ④ LP BOARD & BATTEN & TRIM - CLAY BY DIAMOND KOTE
- ⑤ LP BOARD & BATTEN & TRIM - WHITE BY DIAMOND KOTE
- ⑥ INSUL. GALV. H.M. DOOR - MATCH CLAY BY DIAMOND KOTE
- ⑦ ALUM. STOREFRONT FRAMING - DARK BRONZE
- ⑧ DRIVE-THRU WINDOW - DARK BRONZE
- ⑨ PREFIN. SHT. MTL. CANOPY - DARK BRONZE

GOLDEN CHINA

1150 Brandilynn Blvd. | Cedar Falls, IA



- | | |
|--|--|
| ① PREFIN. SHT. MTL. CAP - FIRESTONE DARK BRONZE | ⑥ INSUL. GALV. H.M. DOOR - MATCH CLAY BY DIAMOND KOTE |
| ② NICHIIA VINTAGE WOOD PANELS - CEDAR | ⑦ ALUM. STOREFRONT FRAMING - DARK BRONZE |
| ③ STONE VENEER - COLOR TBD | ⑧ DRIVE-THRU WINDOW - DARK BRONZE |
| ④ LP BOARD & BATTEN & TRIM - CLAY BY DIAMOND KOTE | ⑨ PREFIN. SHT. MTL. CANOPY - DARK BRONZE |
| ⑤ LP BOARD & BATTEN & TRIM - WHITE BY DIAMOND KOTE | ⑩ INSUL. GALV. H.M. DOOR - MATCH FIRESTONE DARK BRONZE |

GOLDEN CHINA

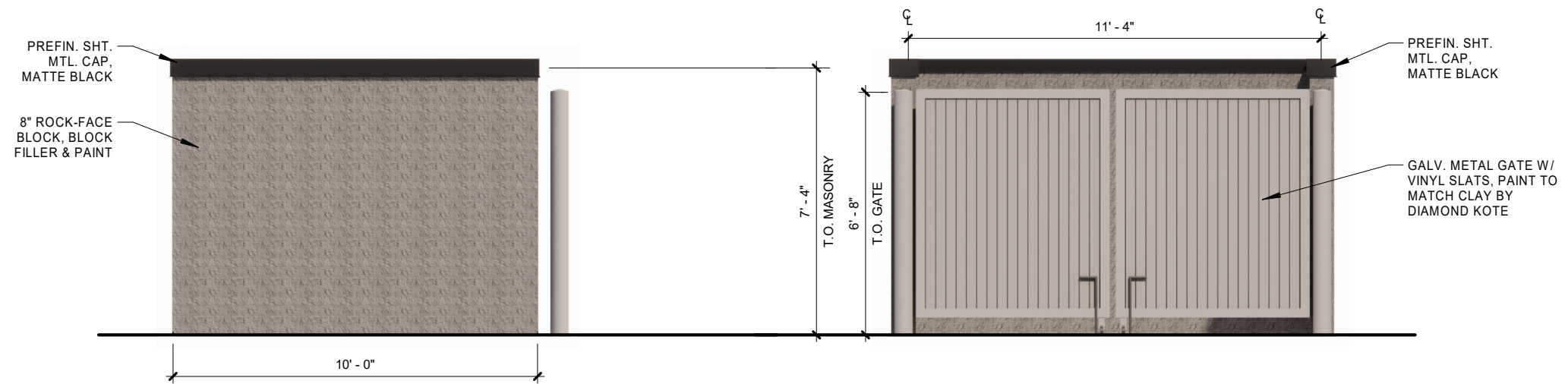
1150 Brandilynn Blvd. | Cedar Falls, IA



- ① PREFIN. SHT. MTL. CAP - FIRESTONE DARK BRONZE
- ② NICHIBA VINTAGE WOOD PANELS - CEDAR
- ③ STONE VENEER - COLOR TBD
- ④ LP BOARD & BATTEN & TRIM - CLAY BY DIAMOND KOTE
- ⑤ LP BOARD & BATTEN & TRIM - WHITE BY DIAMOND KOTE
- ⑥ INSUL. GALV. H.M. DOOR - MATCH CLAY BY DIAMOND KOTE
- ⑦ ALUM. STOREFRONT FRAMING - DARK BRONZE
- ⑧ DRIVE-THRU WINDOW - DARK BRONZE
- ⑨ PREFIN. SHT. MTL. CANOPY - DARK BRONZE

GOLDEN CHINA

1150 Brandilynn Blvd. | Cedar Falls, IA



ENCLOSURE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

ENCLOSURE FRONT ELEVATION

SCALE: 1/4" = 1'-0"



DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls
 220 Clay Street
 Cedar Falls, Iowa 50613
 Phone: 319-273-8606
 Fax: 319-273-8610
 www.cedarfalls.com

MEMORANDUM

Planning & Community Services Division

TO: Planning & Zoning Commission
FROM: Chris Sevy, AICP, Planner II
DATE: August 28, 2024
SUBJECT: Zoning Code Text Amendment – Accessory Dwelling Units (TA24-003)

INTRODUCTION

In a Committee of the Whole meeting on March 18, 2024, City Council made a referral directing staff to prepare an ordinance to allow accessory dwelling units (ADUs) in all residential zones. Currently they are only allowed in the Downtown Character District (CD-DT). An ADU is a smaller secondary dwelling unit that is accessory to a principal dwelling unit. They are commonly created within the principal dwelling, for example, in a daylight basement or within a detached accessory structure, such as above a garage. In cities that allow them, properties with an ADU are differentiated from duplexes primarily through limitations and restrictions that ensure the ADU is subordinate to a principal dwelling.

WHY ADUs?

The Housing Needs Assessment completed in 2023 identified shortfalls in the housing supply within Cedar Falls. This needs assessment has since been a topic of discussion for the Housing Commission and the City Council. One of the recommendations of that report was to expand the ADU policy to apply more broadly across the city.

In 2021 AARP conducted a national Home and Community Preferences Survey. This survey revealed that adults would consider creating an ADU in order to:

- Provide a home for a loved one in need of care (86%)
- Provide housing for relatives or friends (86%)
- Have a space for guests (82%)
- Create a place for a caregiver to stay (74%)
- Increase the value of their home (69%)
- Feel safer by having someone living nearby (67%)
- Earn extra income from renting to a tenant (63%)

Aside the above benefits to owners, ADUs have several other benefits to the broader community. For example, ADUs:

- Are an economical housing option,
- Increase the taxable value of properties,
- Add small, affordable housing units with little change to the neighborhood character;

- Are inexpensive to maintain and have a low carbon footprint,
- Are sized to accommodate today's smaller average household size, and
- Can house people of all ages.

As discussed above, allowance for ADUs can be a facet of our broader effort to increase housing within the city. If done right, it can stabilize neighborhoods by adding flexibility for homeowners to continue to reside on their property through many stages of their lives. It can also provide rental income for homeowners.

METHODOLOGY

In drafting the code language, staff used the provisions in the Downtown Character District code (CD-DT) as a starting point. Staff also researched best practices for ADU ordinances in the U.S. and Canada, and considered provisions adopted by other cities in Iowa, namely: Des Moines, Ames, Iowa City, and Cedar Rapids. Discussions with persons in those jurisdictions were also helpful. The provisions in CD-DT serve as the basis for this code draft. The CD-DT has clear and objective standards for size, placement, and design. To be consistent, the proposed code language includes similar standards.

PROPOSED STANDARDS

The detailed standards proposed for ADUs are attached. This language is crafted to account for potential issues or concerns that could arise.

The basic standards include:

- Allowed only on owner-occupied properties;
- No more than one ADU per lot
- Limited to one bedroom;
- Size limited to 50% of the floor area of the principal dwelling or 800 square feet, whichever is less.
- Allowed only in the rear yard (as an accessory structure) or within the existing principal dwelling.
- Certain design standards apply, similar to standards currently in the code for accessory structures.

The standards ensure that neighborhood character is maintained regardless of the context. The current limits on detached accessory structures will still apply. For instance, today the maximum footprint of all accessory structures on most lots in the city is between 891 and 1,024 square feet. Those limits will not increase. The primary change here is to allow a portion of that allowance to be used for an ADU.

Worth noting is that communities are often slow to adopt an ADU ordinance where the administrative burden of rental licensing, inspections, and enforcement present new challenges they are not equipped for. However, Cedar Falls already has a rental licensing program and the anticipated administrative burden will be no different than other rentals within the city.

STAFF RECOMMENDATION

Staff is bringing forward the attached code language for review and discussion. If the Commission is supportive of the general approach, staff recommends setting a public hearing for the text amendments to be considered at the next Commission meeting on September 11.

PLANNING & ZONING COMMISSION

Discussion

8/28/2024

Attachments: Proposed ADU Code Language

Accessory Dwelling Units (ADUs)

Definition: A small secondary dwelling unit that is accessory to an owner-occupied, detached single-unit dwelling either created within the existing building envelope of the principal dwelling, or within a detached accessory structure according to the rules set forth in this chapter. Properties with ADUs shall not be considered duplexes.

Applicability: ADUs are permitted in owner-occupied detached single-unit dwellings or in buildings accessory to owner-occupied detached single-unit dwellings, not including cottages within a cottage court, according to the regulations set forth in this section.

Rental License and Occupancy: Only one dwelling unit on the lot will be allowed a rental license (either the ADU or the principal dwelling, but not both). The owner of the property must occupy at least one of the dwelling units on the property as the permanent legal resident. The ADU and the principal dwelling must be under the same ownership. The maximum rental occupancy of an ADU is two persons aged 18 years or older.

Site Plan Review Required: An application for site plan review for the ADU shall be submitted to the City for administrative approval through the site plan process as established by the City.

Limits: ADUs are subject to the following restrictions:

1. No more than one ADU per lot.
2. No more than one bedroom per ADU.
3. For a detached ADU, the building footprint and height shall not exceed the maximums set forth in Section 26-126, Detached Accessory Structures.
4. Minimum size: 125 square feet.
5. Maximum size: Floor area of an ADU shall not exceed 50% of the floor area of the principal dwelling (excluding the area of any attached garage), or 800 square feet, whichever is less. This maximum also applies to ADUs within accessory structures.

Location: ADUs are only allowed in the rear yard or within the existing principal dwelling. Minor additions to the existing principal dwelling will be allowed to create an entryway into an ADU.

Side and Rear Setback for detached structures: 5 feet minimum.

Design and Materials: All detached ADUs regardless of size shall meet the design and material standards set forth in paragraph 26-126 (13), including all subparagraphs. The following are additional design standards that apply:

1. A permanent structure is required. No wheeled or transportable structures will be permitted.
2. It must be a complete, separate dwelling unit from the principal dwelling. This includes walled separation for ADUs within the principal building envelope.
3. It must contain its own kitchen and bathroom facilities.
4. A separate, secure entrance to the unit is required, either from the exterior or from a shared foyer.

5. No exterior stairs leading to an upper story are allowed for access to an ADU located within the principal residence. Exterior stairs are allowed to access a unit above a detached garage. Exterior stairs must have a protective finish. A secondary means of egress is not required for an ADU.
6. A paved pedestrian path to the entryway of the ADU is required.
7. For detached structures and upper story units in a principal dwelling, window type and coverage shall be similar to that of the principal dwelling.
8. For basement units, a minimum of two windows meeting egress standards shall be required.

Exceptions: If there is intent to repurpose an existing detached accessory structure that does not conform to the setback or height standards of this ordinance, an applicant may appeal to the Board of Adjustment for a special exception.

Required Acknowledgement: A permit for an ADU will only be issued with a signed acknowledgement from the owner that the proposed ADU is considered an accessory use and as such does not establish any rights to use or sell the property as a duplex. All limits, encumbrances, and obligations in relation to the ADU will apply to future owners.