

CITY OF MACKINAC ISLAND

AGENDA

PLANNING COMMISSION MEETING

Tuesday, September 12, 2023 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

- I. **Call to Order**
- II. **Roll Call**
- III. **Pledge of Allegiance**
- IV. **Approval of Minutes**
 - a. [Approval of August 8 2023 Minutes](#)
- V. **Adoption of Agenda**
- VI. **Correspondence**
- VII. **Staff Report**
 - a. HDC Meeting Summary
 - b. REU Update
- VIII. **Committee Reports**
- IX. **Old Business**
 - a. [Updated Site Plan Review Checklist](#)
 - b. [R323-007-051 Hoban Hill-Nephew New Building](#)
 - c. [R323-007-052 Hoban Hill-Chippewa New Building](#)
 - d. [R322-016-028 Benser Triplex Siding Amendment](#)
 - e. [HB23-007-055 Inn at Stonecliffe Mercantile Bldg Contingencies & Propane Tank Amendment](#)
 - f. [HB21-001-061 Stonecliffe Rooftop Equipment Fence Amendment](#)
 - g. [HB23-001-099 Stonecliffe Wellness Center Bilco Door Amendment](#)
 - h. [HB21-001-099 Stonecliffe Cottage 1 Basement Door Amendment](#)
- X. **New Business**
 - a. [R323-008-061 MICT New Boardinghouse](#)
 - b. [MD23-011-067\(H\) McGreevy Fence](#)
 - c. [C23-021-068\(H\) Bicycle Street Inn Door Change](#)
 - d. [R323-007-069 Hoban Hill Benser Bldg A](#)
 - e. [R323-007-071 Hoban Hill Bldg C Doud](#)
 - f. [C23-053-070\(H\) Trayser Demolition of Building](#)
 - g. [MD23-011-072\(H\) MICT Lennox Front Porch Variance](#)
 - h. [HB23-015-073 Inn at Stonecliffe Apple Orchard](#)
 - i. [HB23-017-074 Stonecliffe's Love Shack Change of Use](#)
- XI. **Public Comment**
- XII. **Adjournment**

MINUTES

PLANNING COMMISSION MEETING

Tuesday, August 08, 2023 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. Call to Order

The meeting was called to order at 4:02 PM.

II. Roll Call

PRESENT

Trish Martin

Jim Pettit

Michael Straus

Anneke Myers

Ben Mosley

Mary Dufina

Lee Finkel

Staff: Erin Evashevski, Dennis Dombroski

III. Pledge of Allegiance

IV. Approval of Minutes

a. July 11, 2023 Minutes

Motion by to approve as written.

Motion made by Finkel, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

V. Adoption of Agenda

Motion to approve as written.

Motion made by Martin, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

VI. Correspondence

None

VII. Staff Report

a. HDC Meeting Summary

Finkel summarized the August 8th HDC meeting

b. REU Update

Allan Burt stated the sales have been 32.75 out of 40 . There are 2 small commercial, 3.25 commercial, and 2 boardinghouse REU's.

Next year:

We have estimated 18.025 out of 20 allowed

Harbour View 7th Street project needs 13.5 REU's.

There is no letter from the Grand for an agreement for the boardinghouse project so the REU's cannot be issued until he has that.

Burt stated that at today's board meeting the DPW approved 6 REU's to be set aside from general pool for: 2 for the school and 4 for next phase of Forest Way Townhomes.

c. Site Plan Review Amendment

Myers shared the amended site plan review that was adopted by council on June 14, 2023. The amendment added sections to clarify the demolition process and site plan review and application process. In addition it addresses freight transport, materials and vehicle storage, and dumpsters removed before frost law. The start and stop time for construction is also requested so it will be on record.

VIII. Committee Reports

Master Plan review committee met August 7th. The Committee went over questions to place on survey, reviewed the Use map and existing land use map and how to revise together. The Committee voted to set a town hall meeting August 31st at 5:30 PM. The next meeting is September 11th at 4:00 PM.

Dufina provided a Study Committee update. Past Perfect is going to make a few fixes on the map which will be disseminated by Metz after being reviewed by the Study Committee. There was a discussion of the narrative report and a couple of

minor changes were made. The next meeting is August 21st at noon. The hearing will be 60 days after the report is disseminated.

IX. Old Business

a. Grand Hotel - Facade Restoration Update

Gene Hopkins provided a status report on the progress of phase I on the facade. Hopkins showed a video showing the evolution of the hotel and what they picked out to include. The video showed the changes from when first built to their future vision. There were able to complete this past winter: shingles on east end, completed whole 300 level siding and were only able to restore two columns. Hopkins stated the goal is to do 14 more columns this winter. The flag poles on the east side end were all restored. About 30 coats of paint were removed and awning were put on.

Phase 2 this coming winter:

The 300 level windows on the west end are to be replaced, along with the eyebrow and siding. The doors and windows under cupola are to be replaced and 14 more columns restored. There are 39 columns in total. The lower lobby windows will be restored or replaced. On east side going back in to the facade at the porch and ceiling of porch, and restore the siding, existing windows, Juliet balconies, and ceiling. The deck will be last.

Within the month all phase 2 documents will go to Dombroski and be ready to go November 1.

b. R123-014-036 Hammons New Home

Application was tabled for HOA approval. That has been received. Myers stated the height has been added. Motion to approve

Motion made by Finkel, Seconded by Mosley.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

X. New Business

a. Zoning Permit Application Site Plan Review Checklist Review/Amend

Pereny is to update the checklist to coincide with recent changes and submit for review in the September meeting.

Motion made by Myers, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

b. R323-007-051 Hoban Hill-Nephew New Building

James Murray stated that the owner is Hoban Hill LLC., not Nephew and C as shown on the Agenda. There is one owner for all three properties.

There was much discussion on approving as if it were already condominiumized. Dombroski stated he likes looking at separately as if it were condominiumized. If you don't take into account lot density at this point then you might have to have some variances. The architect has calculated density based on the drawings submitted. Murray stated they are asking for approval subject to REU availability. When reviewing with Dombroski they appear to comply with requirements for condominium such as road width and emergency access. Myers confirmed that the parcels will be combined and then condominiumized. Pettit asked if we approve building B, where does the garbage go since the garbage storage is shown on a different parcel. The density shown on site plan meets the boardinghouse density maximums. Evashevski stated she was comfortable reviewing as if it was condominiumized. Myers stated it should be noted in the approval that the trash will be stored as shown on the entire project site plan. Myers stated that per section 20.04, question 16, the start date and estimated construction duration need to be provided in writing. Porter stated they would like to excavate in the fall of 2023 and place the modules in May and then work on the interior. Completion is expected by August of 2024, subject to REU's. Porter stated she expected to take occupancy by spring of 2025. Myers read a section of the ordinance aloud and stated that in regards to question 14, freight hauling and motor vehicles, she wanted to make sure Porter understood that if they cannot place in spring due to frost laws, they will have to wait until fall. Porter stated she understood. Myers read aloud the next question in the ordinance and stated her concern that the construction materials will be stored out by the road, like the current project has for two years. Porter stated they are using a different construction method partly because of this problem. Porter does not want her employees to living in a messy construction environment either. Martin asked where the materials will be stored. Porter stated back by the building. Murray pointed out the vehicles are permitted later in this building area. Dombroski predicted the modules would probably have to be placed by March to avoid frost laws. Murray stated they will have approximately two weeks in the later part of May. The applicant is aware of the risk of not being able to set. Myers asked how many units the building is. Murray stated 4 or 6. Porter suggested that Dickinson homes may be answer the questions on motor vehicles needed. Myers stated that the purpose of the new questions in the site plan are to provide an overall view of the construction that will be taking place in the spring. Dufina stated that all of these answers need to be in written form. Myers and Straus questioned how they will do buildings A and C after B and D. Myers asked when they might be building A and C. Murray stated possibly a year or two after the Nephew building is done. Myers asked if either B or D will be occupied year round. Porter stated that B will be used in the winter on first floor only. Dufina again was wondering about the trash storage. Porter believes it will be easier to pick up at one location. Occupants and the manager will bring the trash to the dumpsters. Dufina asked how the trash will be screened. Porter stated that hasn't been determined. Porter confirmed that the commission would like to see a detailed plan for the garbage area. Dufina stated bike parking also needs to be shown. Section 20.04 c,11, states the requirements for the garbage area. Evashevski stated that under our ordinance, each condominium lot has to have its own garbage storage area. Evashevski stated that at a minimum the trash must be available at least on the 2nd building. Evashevski stated that until the area has been condominiumized it

would need to be reviewed as separate lots. Murray suggested approving on the area being condominiumized. Porter stated that she could do temporary areas for B and A and C and D. Then after combined, change it as shown on the presented site plan. Pettit suggested just storing in the basement and then pull out on garbage day. Myers stated in general she is ok with this project but wants to make sure the nitty gritty is reviewed legally. The trash issue will have to be addressed in any sort of Motion. The other questions must be addressed in writing. Martin questioned a notation on the plans, which were lights. Straus asked if they had considered an outside storage area to charge ebikes. Benser and Porter agreed that is a good idea. Mosley confirmed that the building will be sprinkled. Porter confirmed what needed to be submitted; trash drawings and answers to questions 14-16 in writing. Motion to approve application R323-007-051, the Nephew building (building B) contingent on a trash temporary plan, questions 14-16 in Site Plan Review under 20.04, C, addressed in writing, and an ebike charging station added to the site plan.

Motion made by Myers, Seconded by Mosley.
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

c. R323-007-052 Hoban Hill-Chippewa New Building

Straus stated the same issues would apply to this building. Myers asked about occupancy in the winter. Brian Bailey stated it will be winterized but not sure if people will be there in the winter. Motion to approve R323-007-052, Chippewa building D, contingent on a temporary trash storage depicted and as per Section 20.04, C, questions 14-16 answered in writing, and an ebike charging station added to the site plan.

Motion made by Myers, Seconded by Mosley.
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

d. R423-065-054 Bazinau Variance for a Shed

Alex Bazinau stated he wants to set an existing building on his property and he needs a variance. The shed is 8.5' from neighbor building. Dombroski stated the new shed is larger than the existing. The building is there but not set, which came from Smi's house. In lieu of tearing down, Dombroski allowed Bazinau to move it from Smi's. The shed is 3' off the fence instead of 5' and doesn't meet the 20' to principal building on Gough property. Dombroski is thinking that was meant for houses, but the barn is the primary building on the neighboring lot. Pettit confirmed that the neighbor is an existing non-conforming lot. Myers asked what the variance on the side is. 1.5' variance is required on each side and variance for neighbor building is 11.5'. But Dombroski noted the principal building is non-conforming. The neighboring lot owner submitted a letter of no objection for the project. Motion to give favorable recommendation to the Zoning Board of Appeals for the shed based on the existing foundation, the other building is a non-conforming barn, and the agreement with adjoining property owner. The side yard variance 1.5 feet, back yard 1.5, and neighboring lot variance is 11.5'.

Motion made by Martin, Seconded by Mosley.
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

Section IV, Itema.

e. HB23-007-055 Stonecliffe New Mercantile Building

Kevin Doyle presented a site plan for a new mercantile building between the bbq pavilion and the bike shelter. Doyle showed the elevations of the proposed building which is a green building with brown roof that matches maintenance shed on the property. Straus commented on the fact that he would like to send the project for architectural review. Doyle stated he sent it to Neumann and he gave it a cursory initial ok. Martin asked about the doors. Mosley asked about the siding which is engineered wood. Doyle confirmed it is not batten. It will be an amish building. Doyle would like to do the foundation in September or October . Sean O'Boyle will do the concrete slab and the amish finish the rest. Straus asked if the maintenance building was very visible and Doyle stated it was not. Martin asked what the bike shelter looks like. Doyle presented a photo. Martin confirmed it would be a green building between two white buildings. Mosley asked if there will be any signage but Doyle wasn't sure; maybe a small sign on the front elevation. Mosley asked about lighting which Doyle pointed out on the plan. Dufina asked if the barn look was the idea. Doyle stated yes. Doyle stated he would get a written answer to questions 14-16 from the Site Plan Review section in the Ordinance. Myers asked about vehicles and Doyle stated he did not anticipate asking for any vehicles. Myers asked if a bathroom was required for a store. Dombroski stated it must be close by and accessible. Doyle pointed out the two existing accessible restrooms by the breezeway. The front of the building will face toward the circle. There will be heavy tree landscaping. Dombroski clarified where the fire lane is. Myers stated that they moved the road to accommodate the building, so that new road will need to be submitted for approval as well. Doyle stated the new turning radius still works for the fire truck. Myers asked if bike parking is required. It was determined the bike pavilion is enough. Straus stated he would like something in writing from Neumann, and also, the Ordinance questions answered in writing. Myers asked if Straus was concerned with the color. Straus stated that is not under their purview. Straus does not want it to detract from the main building. Myers asked if there were any other modifications on the site plan. Doyle stated they will be coming back next month to a modification to the roof. Pettit stated that propane tanks need to be added to the site plan. Motion to approve the building and the alteration to site plan as presented contingent on favorable review from Neumann and written answers to questions 14-16 in Section 20.04, C.

Motion made by Myers, Seconded by Pettit.
Voting Yea: Martin, Pettit, Straus, Myers, Mosley, Dufina, Finkel

XI. Public Comment

None

XII. Adjournment

Motion by Martin, second by Mosley to adjourn 5:57. All in favor. Motion carries.

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input type="checkbox"/>
11. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).	<input type="checkbox"/>	<input type="checkbox"/>
12. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.	<input type="checkbox"/>	<input type="checkbox"/>
13. Proposed construction start date and estimated duration of construction.	<input type="checkbox"/>	<input type="checkbox"/>
14. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
15. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input type="checkbox"/>
16. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input type="checkbox"/>
17. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input type="checkbox"/>
18. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input type="checkbox"/>
<u>Physical Features</u>		
19. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input type="checkbox"/>
20. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input type="checkbox"/>
21. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units	<input type="checkbox"/>	<input type="checkbox"/>
22. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features	<input type="checkbox"/>	<input type="checkbox"/>
23. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)	<input type="checkbox"/>	<input type="checkbox"/>
24. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)	<input type="checkbox"/>	<input type="checkbox"/>
25. Description of Existing and proposed on-site lighting (see also Section 4.27)	<input type="checkbox"/>	<input type="checkbox"/>
<u>Utility Information</u>		
26. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input type="checkbox"/>
27. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input type="checkbox"/>
28. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input type="checkbox"/>

29. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

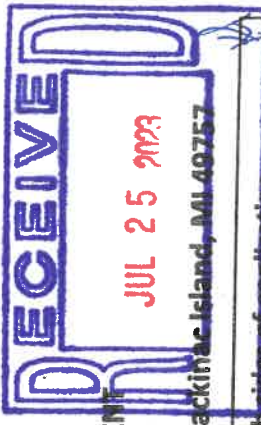
<u>Demolition</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input type="checkbox"/>	<input type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input type="checkbox"/>

CITY OF MACKINAC ISLAND
 PLANNING COMMISSION & BUILDING DEPARTMENT
 APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757



Please complete both sides of application.
 The Fee and ~~fourteen~~ four copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

APPLICANT NAME & CONTACT INFORMATION:

Hoban Hill Property
P.O. Box 460 Mackinac Island, MI 49757
231-981-4430 Nancy4650@outlook.com
 Phone Number Email Address

Property Owner & Mailing Address (If Different From Applicant)

- Is The Proposed Project Part of a Condominium Association? NO
- Is The Proposed Project Within a Historic Preservation District? NO
- Applicant's Interest in the Project (If not the Fee-Simple Owner): NO
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
- Is a Variance Required? NO
- Are REU's Required? How Many? Yes 16

Type of Action Requested:

- Standard Zoning Permit
 - Special Land Use
 - Planned Unit Development
 - Other _____
- Appeal of Planning Commission Decision _____
 Ordinance Amendment/Rezoning _____
 Ordinance Interpretation _____

Property Information:

- A. Property Number (From Tax Statement): 051-630-007-30 Nephew
- B. Legal Description of Property: See attached
- C. Address of Property: Cadotte Ave
- D. Zoning District: R3
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) ALO
- G. Sketch Plan Attached: Yes
- H. Architectural Plan Attached: Yes
- I. Association Documents Attached (Approval of project, etc.): _____
- J. FAA Approval Documents Attached: Contracted For by Neil Hill
- K. Photographs of Existing and Adjacent Structures Attached: Yes

Proposed Construction/Use:

- A. Proposed Construction: _____
 New Building
 _____ Other, Specify _____
 _____ Alteration/Addition to Existing Building

- B. Use of Existing and Proposed Structures and Land: _____

Existing Use (If Non-conforming, explain nature of use and non-conformity): _____

Proposed Use: _____
File No. R323-007-051
Exhibit A

C. If Vacant: _____
 Previous Use: Vacant
 Proposed Use: Employee Housing
 Length of Time Parcel Has Been Vacant: _____
 Date: 7-25-23
 Initials: KP

OFFICE USE ONLY

FILE NUMBER: R323-007-051 FEE: \$400-
 DATE: 7-25-23 CHECK NO: 1287 INITIALS: KP
 Revised Oct 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Nancy Nephew Port
Signature

SIGNATURES

Signature

Nancy Nephew Portee
Please Print Name

Please Print Name

Signed and sworn to before me on the 25 day of July, 2023.

K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025

K. Rickley
Notary Public

Mackinac County, Michigan
My commission expires: 10/21/2025

Zoning Permit issued: _____ **FOR OFFICE USE ONLY**

Inspection Record:	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2018

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

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For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

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Requirements (Section 20.04, B and C)**

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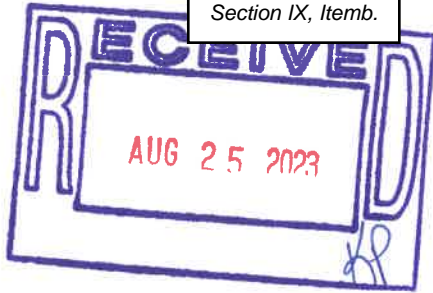
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**Architectural Review
Informational Requirements (Section 18.05)**

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Section IX, Itemb.



August 23, 2023

Erin K. Evashevski
Mackinac Island City Attorney
Evashevski Law Office
838 N. State Street
P.O. Box 373
St. Ignace, MI 49781

Re: City of Mackinac Island Planning Commission
Application of Hoban Hill Property, LLC

Dear Ms. Evashevski:

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Response: See attached “Mackinac Island Travel Route” prepared by Dickinson Homes (the “Dickinson Plan”).

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ATTORNEYS & COUNSELORS AT LAW

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*Response: Fall 2023: Excavation and construction of foundation
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Can you confirm that this supplemental reply conforms with the Planning Commissions approval and that nothing else is required.

Thanks.

Very truly yours,



James J. Murray
Plunkett Cooney
Direct Dial: 231-348-6413

JJM/tll
Enclosures

Cc: Hoban Hill Property, LLC
City Planning Department

Open.27463.90836.31610705-1

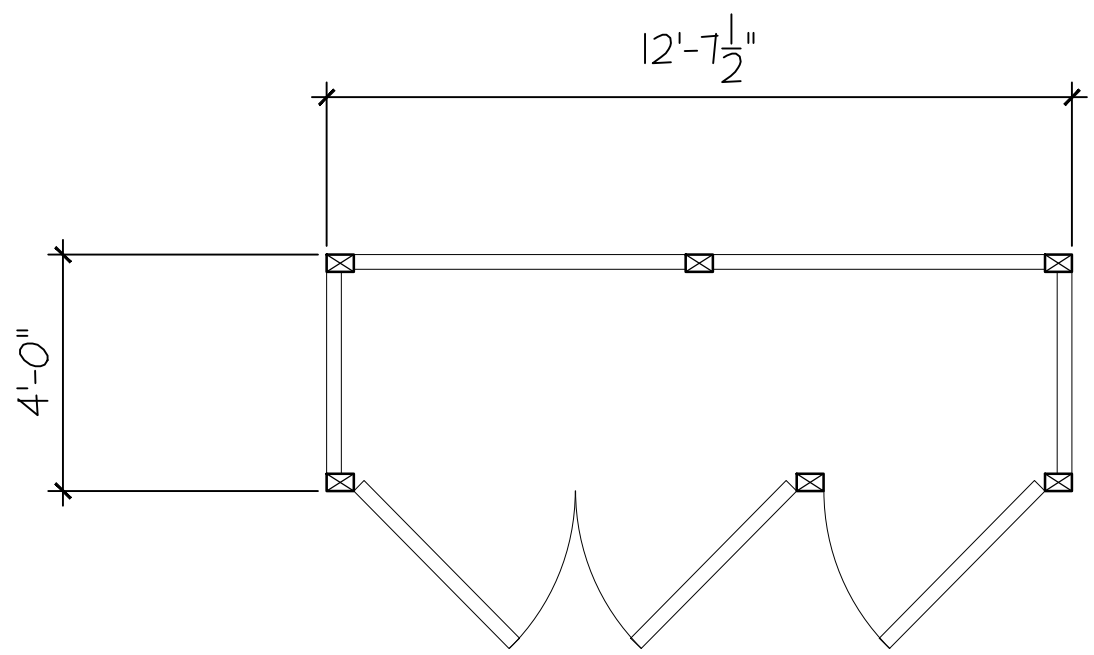
Mackinac Island Travel Route





Equipment Needed for Hauling and setting:

- 2 Tractors For Hauling Mods
- 9 Trailers
- 1 Set Truck with Sling Trailer
- 1 Crane
- 1 Semi Truck with Counter Weight for Crane

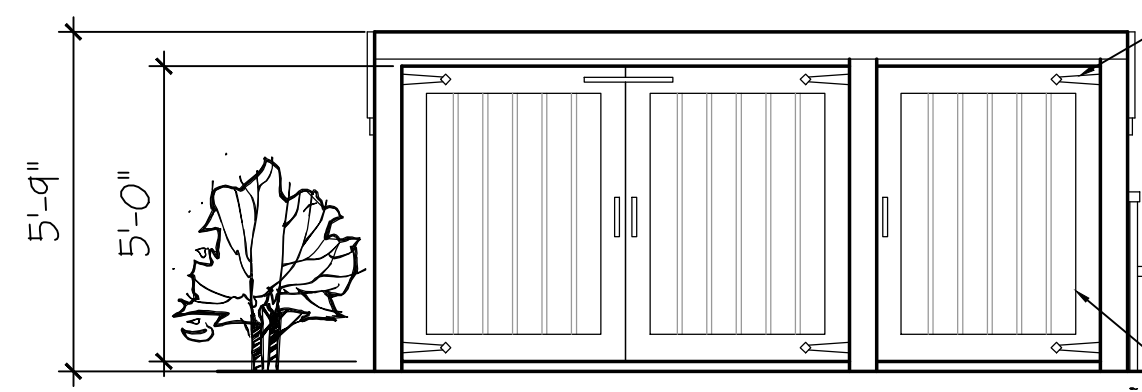
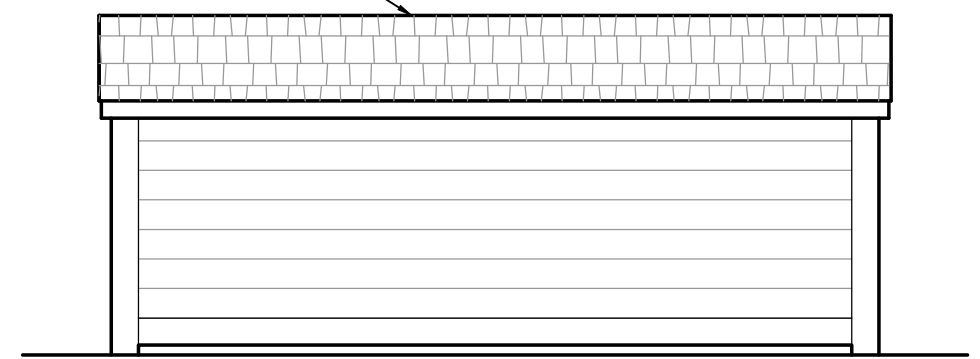


Plan View

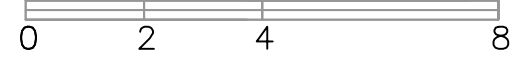


← SHARED TRASH HUTCH FOR BUILDINGS "B" & "D"

ASPHALT SHINGLE ROOF TO MATCH BUILDINGS



Elevation Views

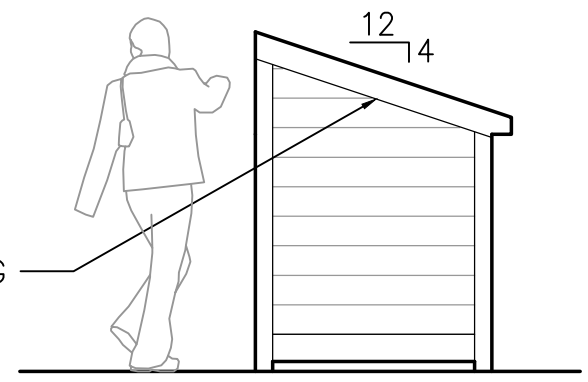


HEAVY DUTY BARN DOOR TYPE HINGES.

HOSE BIB FOR CLEAN UP, DRAINABLE FOR WINTERIZATION.

AZEK TRIM w/ VINYL SIDING TO MATCH BUILDINGS.

THREE 45"x60" SIDE HINGED DOORS, AZEK BOARDS.



Richard Clements Architect, PLLC 15215 Merry Lane Oscqueoc, MI 49759 richardlee1525@live.com 989-370-3681	HOBAN HILL TRASH HUTCH			date: Aug. 24, 2023 project: 1916	sheet: A1.1
	HOBAN AVE. MACKINAC ISLAND, MICHIGAN			TRASH HUTCH	COPYRIGHT © 2023

COMBINED ALLOWABLES:

ZONING: R-3
 OVERALL SITE AREA = 51,786 s.f. = 1.18 ACRES (ALL 5 LOTS)
 MAXIMUM LOT COVERAGE = 40%
 BUILDING AREA = 17,521 S.F.
 TOTAL IMPERVIOUS LOT COVERAGE = $\frac{17521}{51786} = 33.8\%$
 ALLOWABLE DENSITY = 20 DWELLING UNITS PER ACRE
 ALLOWABLE DENSITY = 1 OCCUPANT PER 500 s.f. SITE

COMBINED LOT DENSITY:

LOT 1: @20 DWELLING UNITS PER ACRE = 4 ALLOWED, 3 ACTUAL.
 LOTS 2,3,4, & 5 COMBINED = 38,778 S.F. DIVIDED BY 500 S.F. = 77 OCCUPANTS ALLOWED, = 72 OCCUPANTS ACTUAL

STORMWATER PLAN:

DESIGN CRITERIA:
 10 YEAR 24 HOUR RAINFALL = 3.3"
 (SOURCE: MDOT MS4 REPORT)
 = (0.28") = 0.011' /hour
 INFILTRATION RATE OF SOIL = 0.2"/hr.
 (SOURCE: USDA) = 0.016'/hour x24 hrs. * 67% = 0.25' / storm event
 DESIGN STORM VOLUME = 15,161 s.f. IMPERVIOUS x 0.28" = 4,246 cu. ft.
 APSORPTION AREAS ADJACENT TO BUILDING = 27,155 s.f.
 STORMWATER ABSORPTION = 27,155 s.f. x 0.25' = 6,788 cu. ft.
 STORM ABSORPTION VOLUME EXCEEDS REQUIRED DETENTION;
 6,788 cu. ft. > 4,246 cu. ft.
 STORMWATER WILL BE ABSORBED IN THE LAWN AREAS AROUND THE STRUCTURES WITH NO RETENTION REQUIRED.

BREAKDOWN OF EMPLOYEES:

BUILDING A: 2 SINGLE BEDROOM	= 2x2	= 4	16
12 SLEEPING ROOMS	= 12x1	= 12	
BUILDING B: 4 SINGLE BEDROOM	= 4x2	= 8	16
8 SLEEPING ROOMS	= 8x1	= 8	
BUILDING C: 2 SINGLE BEDROOM	= 2x2	= 4	16
12 SLEEPING ROOMS	= 12x1	= 12	
BUILDING D: 2 SINGLE BEDROOM	= 2x2	= 4	24
20 SLEEPING ROOMS	= 20x1	= 20	
TOTAL OCCUPANTS:		= 72	

INDIVIDUAL LOT SIZES:

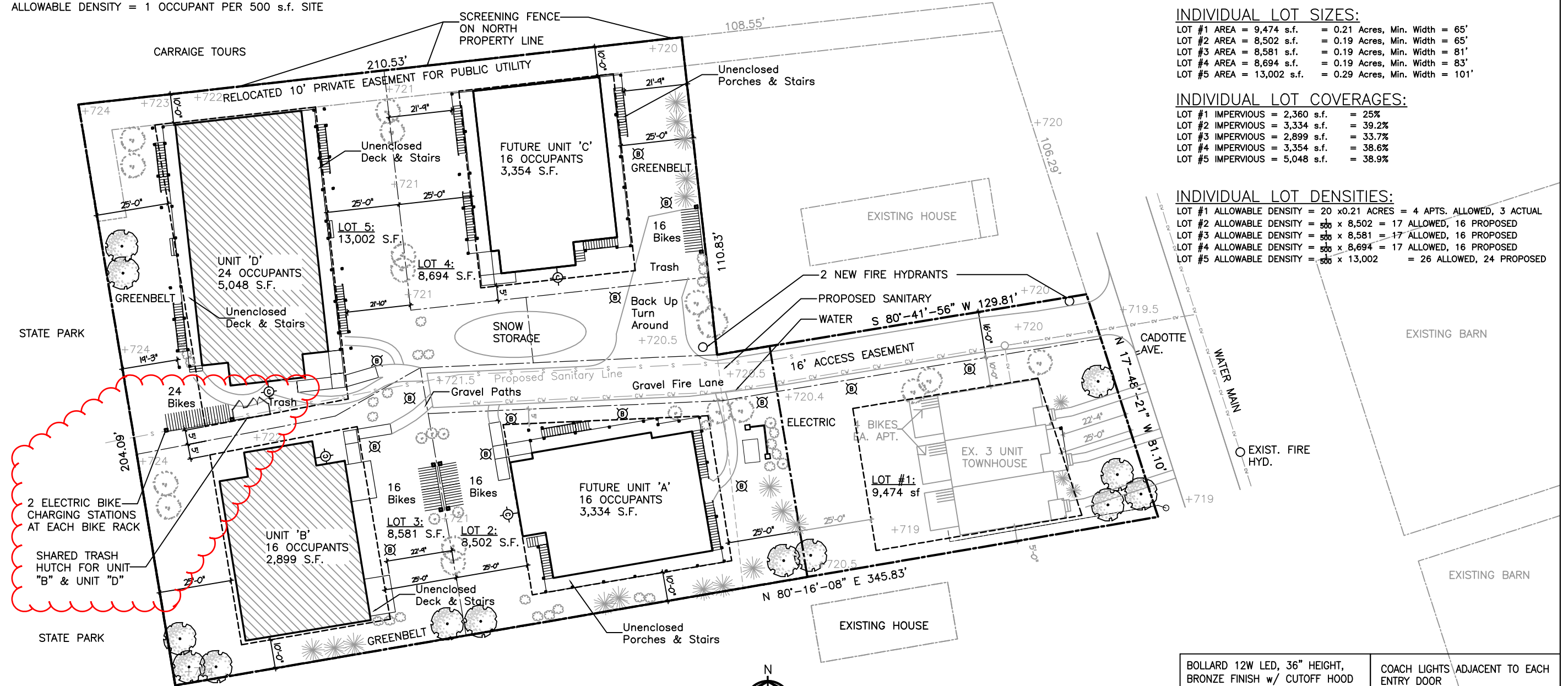
LOT #1 AREA = 9,474 s.f.	= 0.21 Acres, Min. Width = 65'
LOT #2 AREA = 8,502 s.f.	= 0.19 Acres, Min. Width = 65'
LOT #3 AREA = 8,581 s.f.	= 0.19 Acres, Min. Width = 81'
LOT #4 AREA = 8,694 s.f.	= 0.19 Acres, Min. Width = 83'
LOT #5 AREA = 13,002 s.f.	= 0.29 Acres, Min. Width = 101'

INDIVIDUAL LOT COVERAGES:

LOT #1 IMPERVIOUS = 2,360 s.f.	= 25%
LOT #2 IMPERVIOUS = 3,334 s.f.	= 39.2%
LOT #3 IMPERVIOUS = 2,899 s.f.	= 33.7%
LOT #4 IMPERVIOUS = 3,354 s.f.	= 38.6%
LOT #5 IMPERVIOUS = 5,048 s.f.	= 38.9%

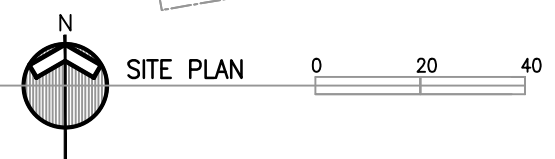
INDIVIDUAL LOT DENSITIES:

LOT #1 ALLOWABLE DENSITY = 20 x 0.21 ACRES = 4 APTS. ALLOWED, 3 ACTUAL
LOT #2 ALLOWABLE DENSITY = $\frac{500}{8,502} = 17$ ALLOWED, 16 PROPOSED
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LOT #5 ALLOWABLE DENSITY = $\frac{500}{13,002} = 26$ ALLOWED, 24 PROPOSED



LANDSCAPE NOTES

- A. LANDSCAPE BUFFERS SHALL HAVE A MINIMUM WIDTH OF TEN FEET AND SHALL BE PLANTED WITH GRASS, GROUND COVER, SHRUBBERY, OR OTHER SUITABLE PLANT MATERIAL. THE LOCATION, PLACEMENT, SPACING AND TYPES OF PLANT MATERIALS WILL BE SUCH THAT AN EFFICIENT HORIZONTAL AND VERTICAL OBSCURING OR SCREENING EFFECT BETWEEN LAND USES WILL BE ACHIEVED.
- B. ALL PLANTS COMPRISING THE BUFFER WILL BE CONTINUOUSLY MAINTAINED IN A SOUND, HEALTHY, VIGOROUS GROWING CONDITION, FREE OF DISEASES, INSECT PESTS, REFUSE AND DEBRIS.
- C. MINIMUM SIZES OF TREES AND SHRUBS PLANTED AS A PART OF A LANDSCAPE BUFFER ARE AS FOLLOWS:
 1. DECIDUOUS SHRUBS. MINIMUM TWO FEET IN HEIGHT.
 2. DECIDUOUS TREES. MINIMUM TWO INCHES IN CALIPER (DIAMETER).
 3. EVERGREEN SHRUBS. MINIMUM TWO FEET IN HEIGHT.
 4. EVERGREEN TREES. MINIMUM FIVE FEET IN HEIGHT.



BOLLARD 12W LED, 36" HEIGHT, BRONZE FINISH w/ CUTOFF HOOD 	COACH LIGHTS ADJACENT TO EACH ENTRY DOOR 9W LED SHEILDLED TO CONFINE LIGHT WITHIN THE SITE.
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Richard Clements Architect, PLLC 15215 Merry Lane Ocoeeoc, MI 49759 richardlee1523@live.com 989-370-3681	HOBAN HILL HOUSING rev: 07.24.23 rev: 01.16.23 rev: 12.29.22 date: 12.27.22		sheet: A1.0 COPYRIGHT © 2023
	CADOTTE AVENUE MACKINAC ISLAND, MI rev: 08.16.23 project: 1916		

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the _____ (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Nancy Nephew Porter SIGNATURE _____ Signature

Nancy Nephew Porter Please Print Name _____

Signed and sworn to before me on the 25 day of July, 2023.

K. RICKLEY
Notary Public
Mackinac County, State of Michigan
Mackinac County, Michigan
My Commission Expires: 10/21/2025
My commission expires: 10/21/2025

Zoning Permit Issued: _____ FOR OFFICE USE ONLY

Inspection Record: _____
Inspection Date Inspector Comments

- 1.
- 2.
- 3.

Occupancy Permit Issued _____

City of Mackinac Island

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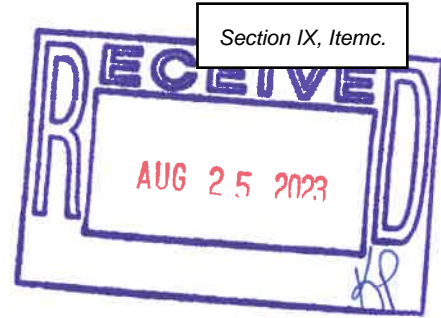
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Section IX, Itemc.



August 23, 2023

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Mackinac Island City Attorney
Evashevski Law Office
838 N. State Street
P.O. Box 373
St. Ignace, MI 49781

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June – August 2024: Complete on-site construction by local contractors*

The final requirement of the Planning Commission was a revised drawing showing how trash and debris would be handled for each proposed unit within the project. Those drawings will be coming directly from architect, Richard Clements.

Can you confirm that this supplemental reply conforms with the Planning Commissions approval and that nothing else is required.

Thanks.

Very truly yours,



James J. Murray
Plunkett Cooney
Direct Dial: 231-348-6413

JJM/tll
Enclosures

Cc: Hoban Hill Property, LLC
City Planning Department

Open.27463.90836.31610705-1

Mackinac Island Travel Route





Equipment Needed for Hauling and setting:

- 2 Tractors For Hauling Mods**
- 9 Trailers**
- 1 Set Truck with Sling Trailer**
- 1 Crane**
- 1 Semi Truck with Counter Weight for Crane**

COMBINED ALLOWABLES:

ZONING: R-3
 OVERALL SITE AREA = 51,786 s.f. = 1.18 ACRES
 (ALL 5 LOTS)

MAXIMUM LOT COVERAGE = 40%
 BUILDING AREA = 17,521 S.F.

TOTAL IMPERVIOUS LOT COVERAGE = $\frac{17521}{51786} = 33.8\%$

ALLOWABLE DENSITY = 20 DWELLING UNITS PER ACRE
 ALLOWABLE DENSITY = 1 OCCUPANT PER 500 s.f. SITE

COMBINED LOT DENSITY:

LOT 1: @20 DWELLING UNITS PER ACRE = 4 ALLOWED, 3 ACTUAL.

LOTS 2,3,4, & 5 COMBINED = 38,778 S.F. DIVIDED BY 500 S.F. = 77 OCCUPANTS ALLOWED, = 72 OCCUPANTS ACTUAL

STORMWATER PLAN:

DESIGN CRITERIA:
 10 YEAR 24 HOUR RAINFALL = 3.3"
 (SOURCE: MDOT MS4 REPORT)
 = (0.28") = 0.011" /hour
 INFILTRATION RATE OF SOIL = 0.2"/hr.
 (SOURCE: USDA) = 0.016"/hour x24 hrs. * 67% = 0.25" / storm event
 DESIGN STORM VOLUME = 15,161 s.f. IMPERVIOUS x 0.28" = 4,246 cu. ft.
 APSORPTION AREAS ADJACENT TO BUILDING = 27,155 s.f.
 STORMWATER ABSORPTION = 27,155 s.f. x 0.25" = 6,788 cu. ft.
 STORM ABSORPTION VOLUME EXCEEDS REQUIRED DETENTION;
 6,788 cu. ft. > 4,246 cu. ft.
 STORMWATER WILL BE ABSORBED IN THE LAWN AREAS AROUND THE STRUCTURES WITH NO RETENTION REQUIRED.

BREAKDOWN OF EMPLOYEES:

BUILDING A: 2 SINGLE BEDROOM	= 2x2	= 4	16
12 SLEEPING ROOMS	= 12x1	= 12	
BUILDING B: 4 SINGLE BEDROOM	= 4x2	= 8	16
8 SLEEPING ROOMS	= 8x1	= 8	
BUILDING C: 2 SINGLE BEDROOM	= 2x2	= 4	16
12 SLEEPING ROOMS	= 12x1	= 12	
BUILDING D: 2 SINGLE BEDROOM	= 2x2	= 4	24
20 SLEEPING ROOMS	= 20x1	= 20	
TOTAL OCCUPANTS:		= 72	

INDIVIDUAL LOT SIZES:

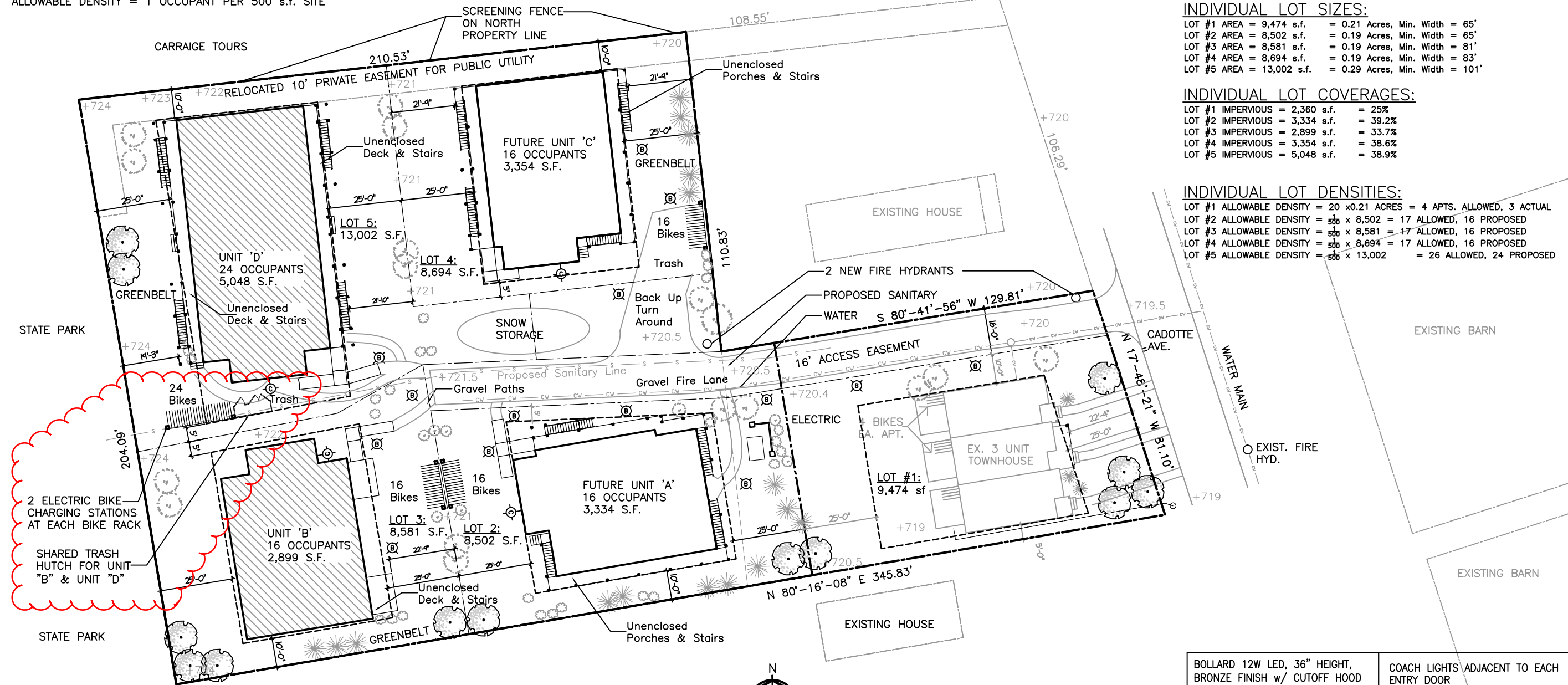
LOT #1 AREA = 9,474 s.f.	= 0.21 Acres, Min. Width = 65'
LOT #2 AREA = 8,502 s.f.	= 0.19 Acres, Min. Width = 65'
LOT #3 AREA = 8,581 s.f.	= 0.19 Acres, Min. Width = 81'
LOT #4 AREA = 8,694 s.f.	= 0.19 Acres, Min. Width = 83'
LOT #5 AREA = 13,002 s.f.	= 0.29 Acres, Min. Width = 101'

INDIVIDUAL LOT COVERAGES:

LOT #1 IMPERVIOUS = 2,360 s.f.	= 25%
LOT #2 IMPERVIOUS = 3,334 s.f.	= 39.2%
LOT #3 IMPERVIOUS = 2,899 s.f.	= 33.7%
LOT #4 IMPERVIOUS = 3,354 s.f.	= 38.6%
LOT #5 IMPERVIOUS = 5,048 s.f.	= 38.9%

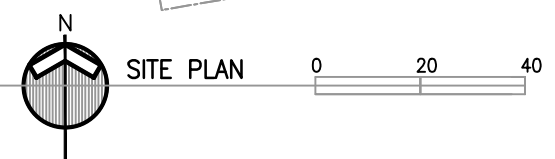
INDIVIDUAL LOT DENSITIES:



LOT #1 ALLOWABLE DENSITY = 20 x 0.21 ACRES = 4 APTS. ALLOWED, 3 ACTUAL
LOT #2 ALLOWABLE DENSITY = $\frac{500}{8,502} = 17$ ALLOWED, 16 PROPOSED
LOT #3 ALLOWABLE DENSITY = $\frac{500}{8,581} = 17$ ALLOWED, 16 PROPOSED
LOT #4 ALLOWABLE DENSITY = $\frac{500}{8,694} = 17$ ALLOWED, 16 PROPOSED
LOT #5 ALLOWABLE DENSITY = $\frac{500}{13,002} = 26$ ALLOWED, 24 PROPOSED



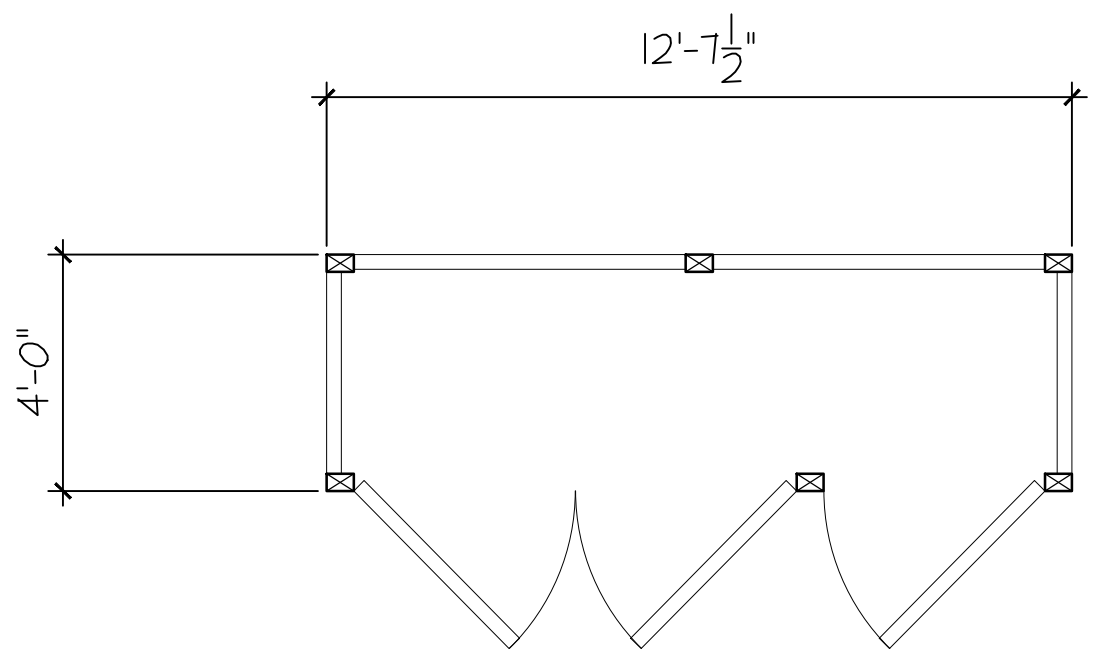
LANDSCAPE NOTES

- A. LANDSCAPE BUFFERS SHALL HAVE A MINIMUM WIDTH OF TEN FEET AND SHALL BE PLANTED WITH GRASS, GROUND COVER, SHRUBBERY, OR OTHER SUITABLE PLANT MATERIAL. THE LOCATION, PLACEMENT, SPACING AND TYPES OF PLANT MATERIALS WILL BE SUCH THAT AN EFFICIENT HORIZONTAL AND VERTICAL OBSCURING OR SCREENING EFFECT BETWEEN LAND USES WILL BE ACHIEVED.
- B. ALL PLANTS COMPRISING THE BUFFER WILL BE CONTINUOUSLY MAINTAINED IN A SOUND, HEALTHY, VIGOROUS GROWING CONDITION, FREE OF DISEASES, INSECT PESTS, REFUSE AND DEBRIS.
- C. MINIMUM SIZES OF TREES AND SHRUBS PLANTED AS A PART OF A LANDSCAPE BUFFER ARE AS FOLLOWS:
 1. DECIDUOUS SHRUBS. MINIMUM TWO FEET IN HEIGHT.
 2. DECIDUOUS TREES. MINIMUM TWO INCHES IN CALIPER (DIAMETER).
 3. EVERGREEN SHRUBS. MINIMUM TWO FEET IN HEIGHT.
 4. EVERGREEN TREES. MINIMUM FIVE FEET IN HEIGHT.



BOLLARD 12W LED, 36" HEIGHT, BRONZE FINISH w/ CUTOFF HOOD 	COACH LIGHTS ADJACENT TO EACH ENTRY DOOR 9W LED SHEILDLED TO CONFINE LIGHT WITHIN THE SITE. 
--	---

Richard Clements Architect, PLLC 15215 Merry Lane Ocoeeoc, MI 49759 richardlee1523@live.com 989-370-3681	HOBAN HILL HOUSING rev: 07.24.23 rev: 01.16.23 rev: 12.29.22 date: 12.27.22	sheet: A1.0 COPYRIGHT © 2023
	CADOTTE AVENUE MACKINAC ISLAND, MI rev: 08.24.23 project: 1916	

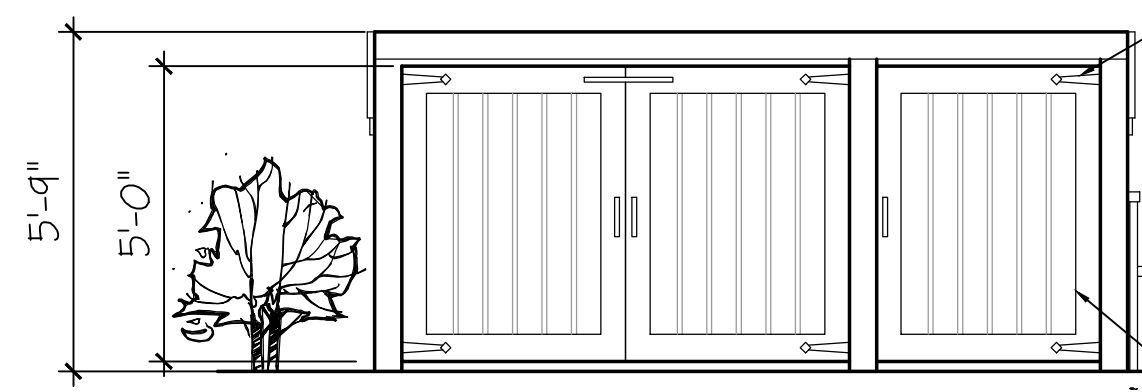
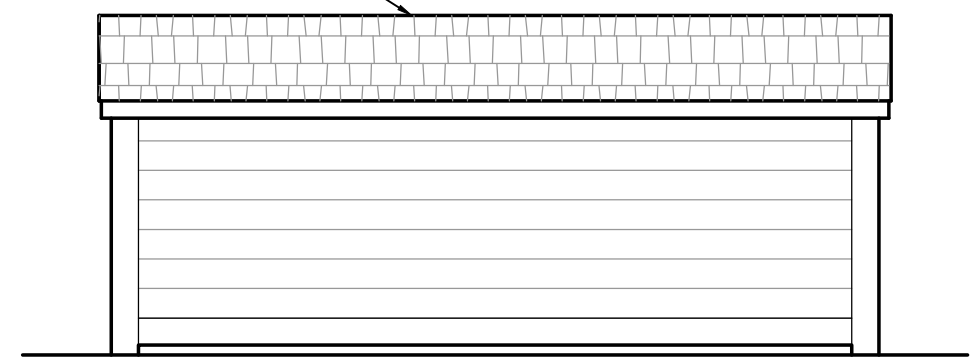


Plan View

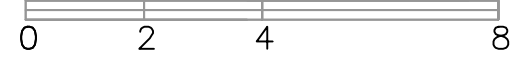


← SHARED TRASH HUTCH FOR BUILDINGS "B" & "D"

ASPHALT SHINGLE ROOF TO MATCH BUILDINGS



Elevation Views

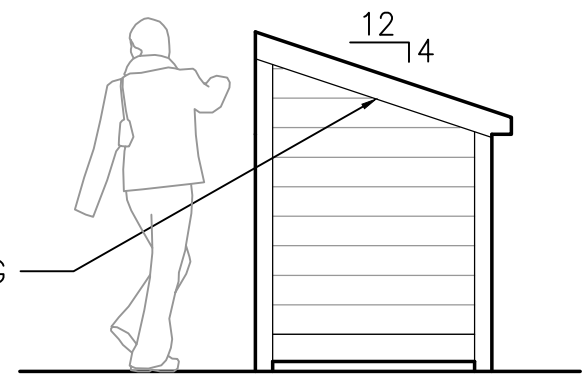


HEAVY DUTY BARN DOOR TYPE HINGES.

HOSE BIB FOR CLEAN UP, DRAINABLE FOR WINTERIZATION.

AZEK TRIM w/ VINYL SIDING TO MATCH BUILDINGS.

THREE 45"x60" SIDE HINGED DOORS, AZEK BOARDS.



Richard Clements Architect, PLLC 15215 Merry Lane Oscqueoc, MI 49759 richardlee1525@live.com 989-370-3681	HOBAN HILL TRASH HUTCH			date: Aug. 24, 2023 project: 1916	sheet: A1.1
	HOBAN AVE. MACKINAC ISLAND, MICHIGAN			TRASH HUTCH	COPYRIGHT © 2023

WINDOWS/DOORS: ANDERSEN WOOD CLAD DOUBLE HUNG WITH SIMULATED BETWEEN GLASS DIVIDED LITES, CLEAR GLASS WITH LIGHT TRANSMITTANCE GREATER THAN 60%.

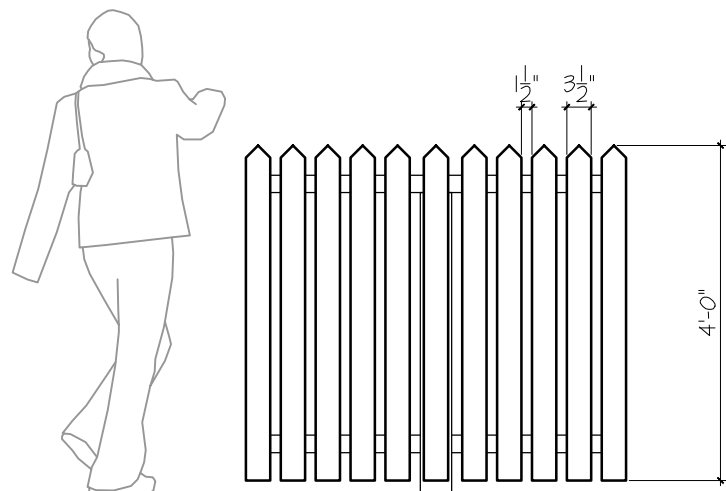
CHANGE SIDINGS & TRIMS FROM PAINTED CEDAR TO EVERLAST COMPOSITE SIDINGS & TRIMS

Top of Roof 134'-9"
 Kneewall 125'-3 1/4"
 Attic Floor 120'-3 1/4"
 2nd Floor 108'-5 1/2"
 1st Floor 100'-11 1/2"
 Top of Foundation 100'-0"



West Elevation

0 4 8 16



Picket Fence

0 1 2 4

PICKET FENCE CONSTRUCTION:
 MATCH EXISTING:
 1x4 CEDAR PICKETS w/ 1 1/2" SPACING PAINTED WHITE
 4x4 CEDAR POSTS PAINTED WHITE
 2x4 PAINTED HORIZONTAL RAILS



South Elevation

0 4 8 16

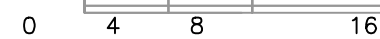
Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1525@live.com 989-370-3681	BOB BENSER NEW TRIPLEX	rev.: 8.22.23 rev.: 6.23.22 date: 5.24.22 project: 2146	sheet: A1.3 COPYRIGHT © 2022
	TRUSCOTT ST. MACKINAC ISLAND, MI 49757		



East Elevation



North Elevation



WINDOWS/DOORS: ANDERSEN WOOD CLAD DOUBLE HUNG WITH SIMULATED BETWEEN GLASS DIVIDED LITES, CLEAR GLASS WITH LIGHT TRANSMITTANCE GREATER THAN 60%.

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	BOB BENSER NEW TRIPLEX	rev.: 8.22.23	sheet:
	TRUSCOTT ST. MACKINAC ISLAND, MI 49757	rev.: 6.23.22 date: 5.24.22 project: 2146	A1.4 COPYRIGHT © 2022



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

30 August 2023

Katie Pereny, Secretary
Planning Commission
City of Mackinac Island
Mackinac Island, MI 49757

Re: **INN AT STONECLIFFE MERCANTILE BUILDING**
Architectural Review

Dear Ms. Pereny:

Find attached the architectural review for the new Mercantile Building proposed on the property at the Inn at Stonecliffe.

Should you have any questions, please let me know.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann

- c. Dennis Dombroski, City of Mackinac Island
Erin Evashevski, Evashevski Law Office
Kevin Doyle, Inn at Stonecliffe
Rich Clements, Richard Clements Architect



Richard
Neumann
Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

30 August 2023

ARCHITECTURAL REVIEW

INN AT STONECLIFFE MERCANTILE BUILDING

Mackinac Island, Michigan

INTRODUCTION

The proposed project is the construction of a new commercial building at the Inn at Stonecliffe, at 8593 Cudahy Circle, in the HB Hotel / Boardinghouse district near the airport. The building would be 24 x 36 feet, or 864 SF in size, and would be located between the Barbecue Pavilion and the Bike Shelter, closer to the former than the latter. The purpose would be for retail sales.

This architectural review is based on the stated intent of Section 18.06 "Standards for Review", paragraph C. "Commercial structures in all areas", of Article 18 "Architectural Review", of the City of Mackinac Island Ordinance No. 479, effective November 12, 2013, and as amended through Ordinance No. 547, effective May 16, 2017. Any necessary additional interpretation of these standards is based on the widely used and professionally acknowledged standards developed by the Department of the Interior entitled "The Secretary of the Interior's Standards for the Treatment of Historic Properties".

Materials submitted for Review consist of architectural drawings including site plans, floor plan, elevations, and context photographs, dated 22 July 2023, by Richard Clements Architect.

REVIEW

The general standards for review in Section 18.06 are the following:

Placement on Lot:

The proposed new building would be located between the Barbecue Pavilion and the Bike Shelter, directly south of the Stonecliffe Manor house, meeting setback and lot area coverage requirements.

Height:

The height of the new structure would be 16 feet, well below the height maximum.

Appearance:

The appearance of the Mercantile Building would be that of a small barn structure, with vertical board siding and multiple doors and windows on each side. The shape of the new building would be a center gable roof having a shed roof extending from each eave side. This appearance would be compatible with the multiple buildings of varying characters on the grounds of the historic Stonecliffe Manor Inn, and in harmony with the historical character of the Island.

The detailed Standards for review in Section 18.06 are the following:

Exterior Features:

1. **Siding.** *"The surface of all exterior walls accessible to the public or exposed to public views shall be clad in wood to reflect a traditional / historic appearance. Materials having the appearance of wood or other historically appropriate materials may be allowed, as determined appropriate by the Planning Commission."*

Exterior walls would be clad with vertical wood board and batten siding, reflecting a traditional barn-like appearance.

2. **Windows.**

- a. *"Windows on the street level for display purposes shall be framed in wood or like material with a minimum trim width of 3-1/2 inches, must be a minimum of 18 inches above the walking surface, and the top of the window shall not be more than 12 feet above the walking surface."*

This standard is not applicable as there are no retail display windows.

- b. *"The maximum glass area for upper level exterior wall surfaces is 50%. A minimum of 70% of the individual window units shall be either the single or double hung type, or single hung or double hung in appearance. Mirrored or dark tinted glass with a visible light transmittance of less than 60% shall not be allowed."*

The glass area of the wall surfaces would be less than 50%, and the windows would be double-hung type to reflect the predominant windows in the larger Stonecliffe complex. No mirrored or dark tinted glass would be used.

- c. *"The replacement of windows identical in appearance to existing windows does not require architectural review. The installation of new windows or the replacement of existing windows with a new window type shall be required, as determined appropriate by the Planning Commission, to match the type (ie., single hung, double hung) and appearance (ie., with muntins) of the original windows or what would have been typical historically."*

This standard is not applicable as there are no replacement windows, but rather, all new construction.

30 August 2023
Inn at Stonecliffe Mercantile Building AR
Page 3

d. *"The requirements of this subsection shall not apply to approved attached or detached greenhouse type structures."*

This standard is not applicable as there would be no greenhouse type structure.

3. **Building Entryways.** *"Entryways shall be recessed into the building walls. No doors shall be opened directly onto the public right-of-way. No sliding, revolving, roll-up, tilt-up or overhead garage style doors shall be allowed."*

This standard is not applicable in that the Mercantile Building would not open directly onto a public right-of-way.

4. **Roofs.** *"All roofs shall be consistent with types and appearance of those on surrounding architecture."*

The proposed roof shape (gable and shed) and slope (5/12 and 3/12 respectively) would be consistent with the type and appearance of surrounding roofs.

5. **Overhangs.** *"Overhangs, canopies, and projecting elements extending over the public right of way shall have prior municipal approval from the City Council. All such elements shall be compatible with the architecture of the building. No access to the roof of an overhang, canopy or the like will be allowed."*

This standard is not applicable.

6. **Awnings.** *"The style of awnings shall be appropriate to the architecture of the building and be in keeping with the traditional shed or sloped style found historically. No backlit awnings shall be allowed. The City of Mackinac Island sign ordinance (Ordinance No. 351, as amended) must be followed in regards to lettering. Color choices shall meet the commercial 'colors' standard as set forth in the following paragraph."*

No awnings are proposed.

7. **Colors.** *"When architectural review is required by this ordinance, colors shall be reviewed and shall be in keeping with surrounding buildings and the historic nature of Mackinac Island. Neon, fluorescent or iridescent colors are prohibited. Changing the color of a building or structure (repaint) does not require architectural review but any such repaint is subject to the prohibition against neon, fluorescent or iridescent colors and shall be in keeping with the colors of surrounding buildings and the historic nature of Mackinac Island."*

The drawings note the building's colors to be brown roof shingles, green siding, and brown doors, windows, and trim.

30 August 2023
Inn at Stonecliffe Mercantile Building AR
Page 4

8. Utility Features. *“Placement of such features as venting, central air/heating, satellite dishes, ATM and vending machines and the like will be reviewed for visibility and noise impact. Such features shall be disguised or shielded from view and muffled to suppress noise levels. No window mounted heating/ventilating/air conditioning (HVAC) units shall be allowed.”*

The utility features are not noted or specifically shown.

9. Lighting. *“Exterior lighting and fixtures, as well as interior lighting intended to be viewed from the outside, shall be appropriate to the architecture of the building and to the historic nature of the neighborhood. Architectural outlining, flashing, strobe, neon or the like shall not be allowed. Decorative lighting for holidays and special Island events shall be allowed only for the duration of the event.”*

The exterior lighting is not indicated.

10. Chimneys. *“All chimneys shall be stylistically consistent with the appearance of the building. Existing chimneys that are stylistically significant shall be preserved.”*

There are no chimneys proposed.

Based on review of the above Standards, the Exterior Features standards would be met.

Color and Texture of Materials:

Based on the elevation drawings, and the above discussion, this standard would be met.

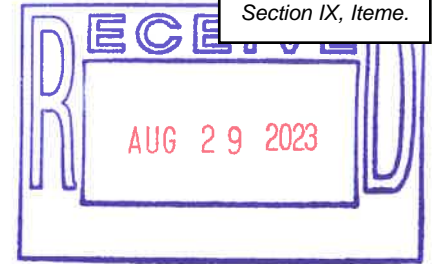
Conclusion:

Based on the findings above, the proposed Mercantile Building project would meet the Standards for review.

END OF REVIEW

Mercantile Project

File No. HB23-007-055
 Exhibit E
 Date 8-29-23
 Initials KP



14. Freight Hauling Plan

Material Hauling

- Arnold Freight to Island → Mackinac Island Service Company to site
- If necessary, Fresh Air to Island → Mackinac Island Service Company to site
- Unloading/loading of overweight items with annually permitted equipment on site.

Expected Equipment

- Utilize permitted equipment already on site – e.g., Ditch Witch
- (1) Mini Mobile Mud Hog Mixer
- Mackinac Island Service Co delivery to site (when possible)

All equipment will be operated in accordance with permitting guidelines and parked out of public view when not in use.

Construction Debris & Trash

- Placed in debris wagon or dumpster (noted in red on plan)
- Drop-off and timely removal contingent on Mackinac Island Service Co availability.

15. Construction Staging Plan

Material, Equipment, Construction Debris & Trash, Dumpsters, Vehicles

- Stored away from fire lanes, exits, and access points.
- Construction tents used to cover materials and equipment sensitive to elements.
- Debris and material kept off ground, covered, and out of public view when possible.
- Annually permitted equipment to be moved to and from maintenance area daily and returned to maintenance area when not in use.

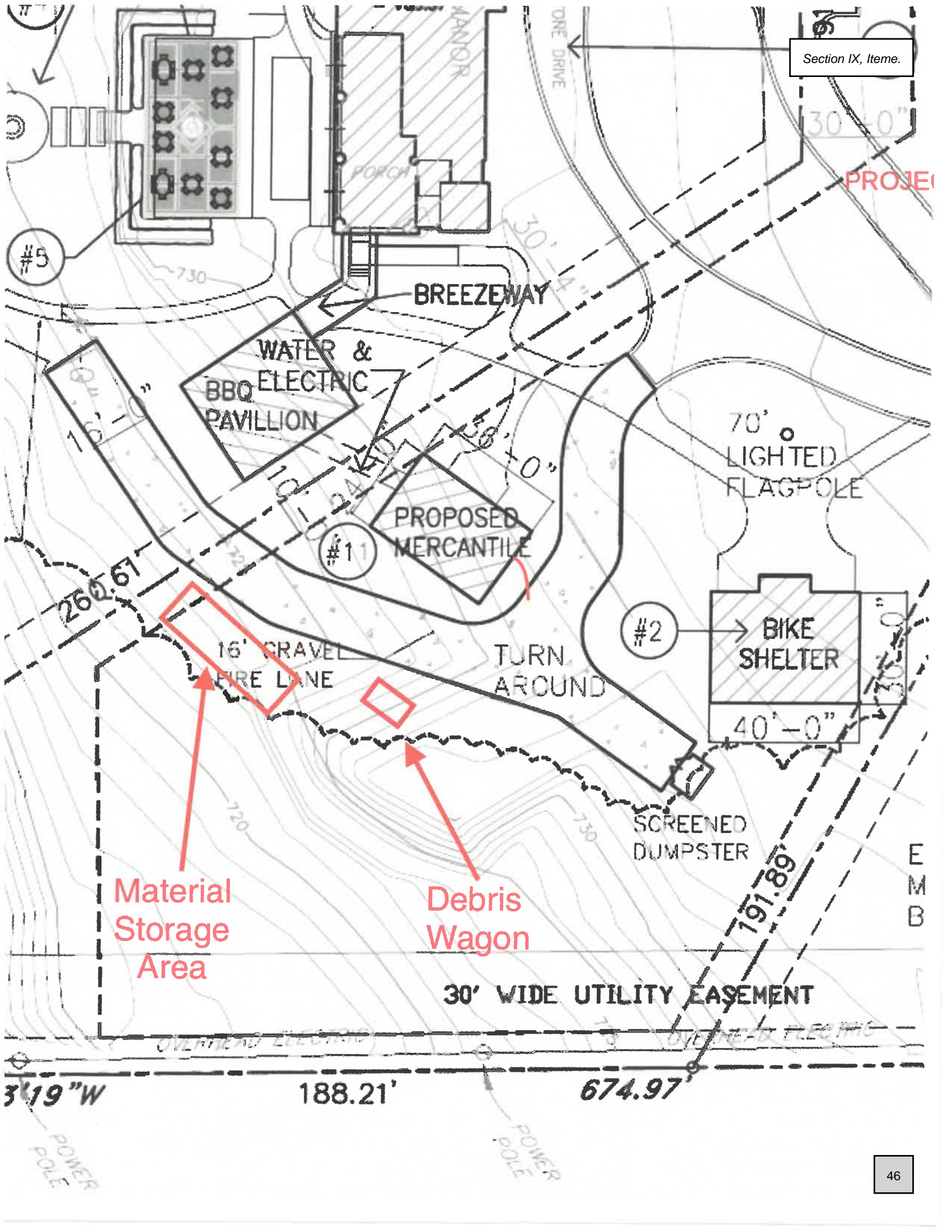
Safety & Security

- Construction area signage, fencing, and caution tape used to secure areas that pose safety or security risk to contractors or the general public.

16. Start Date/End Date

Proposed Start: October 2023

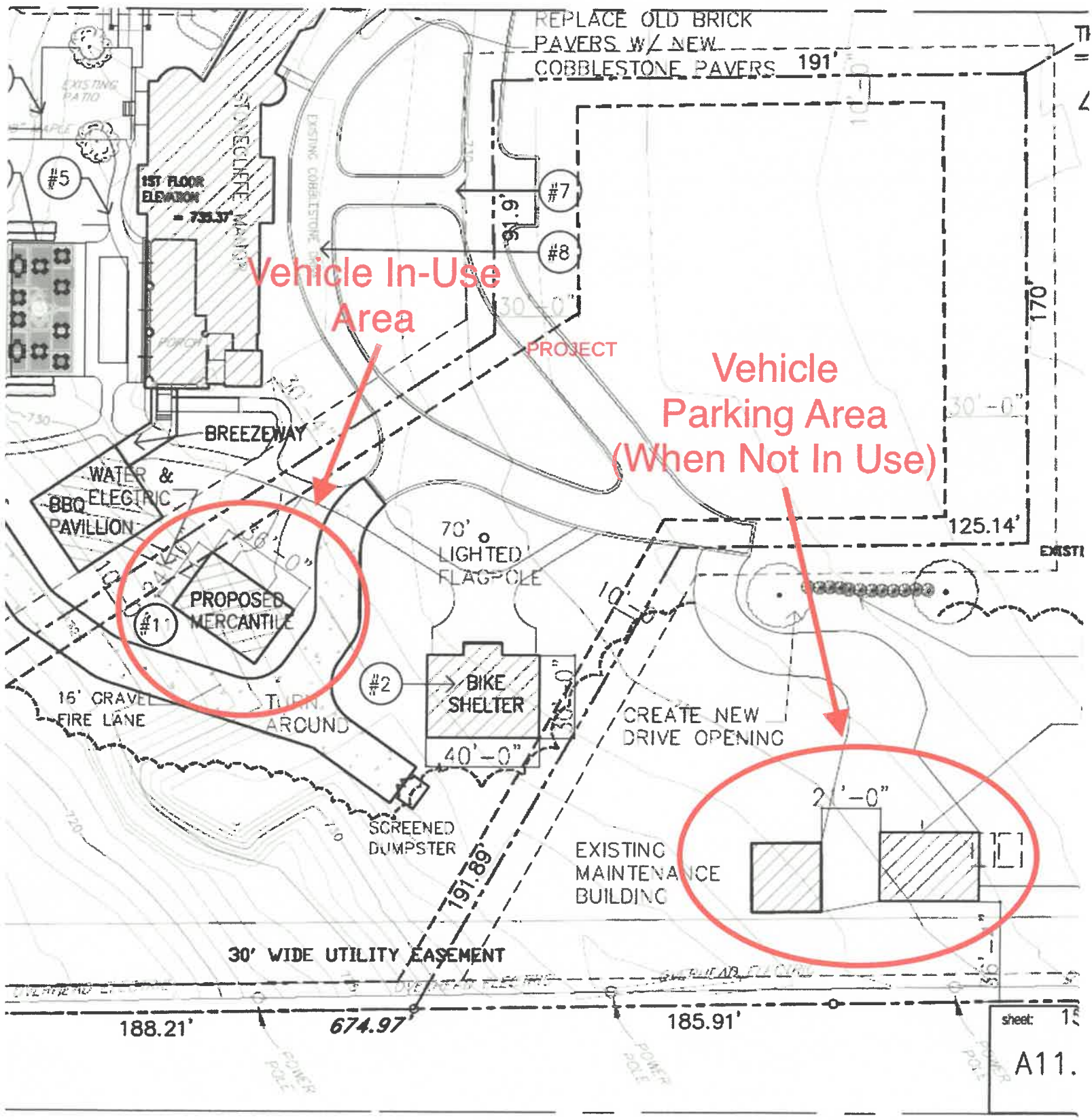
Anticipated Completion: Winter/Spring 2024



PROJECT

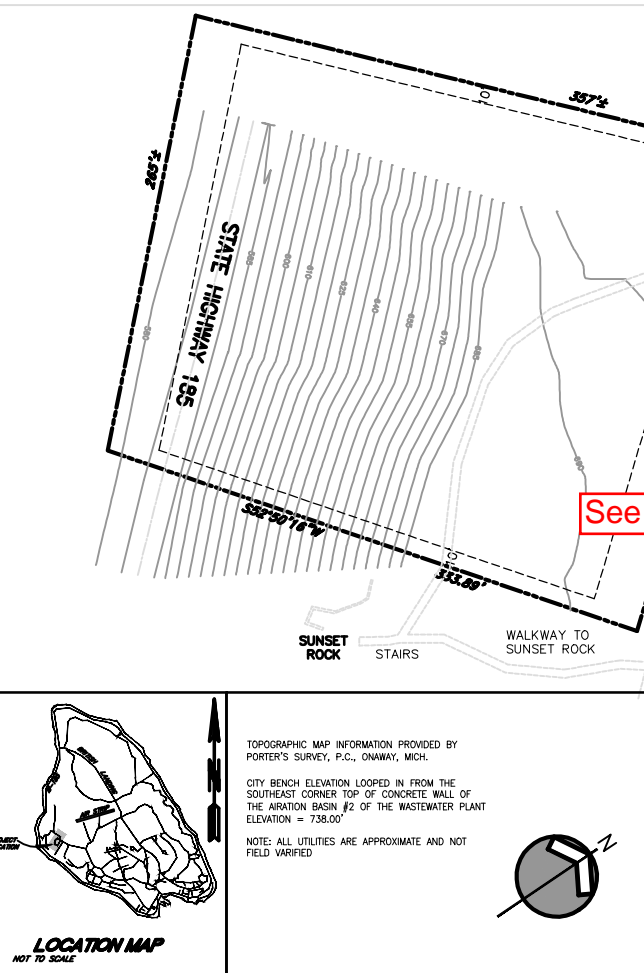
Material Storage Area

Debris Wagon



FOUNDATION COTTAGES LOT LEGAL DESCRIPTION:

PRIVATE CLAIM NO.2 COM AT THE NE'LY COR OF PC 2 TH S 32 DEG 51'45"W 4020.8 FT ALG SE'LY LINE OF PC 2 TO THE POB TH N 40 DEG 40'50"W 130.0 FT TH N 14 DEG 18'18"E 257.95 FT M/L TO S'LY LINE OF STONECLIFFE CONDO VI TH E'LY AND N'LY ALG CONDO BOUNDARY TO THE N LINE OF AN EASEMENT (282/163) TH E'LY ALG N LINE OF SAID EASEMENT TO THE E'LY LINE OF PC 2 WITH SAID POINT BEING S 32 DEG 51'45"W 3523.82 FT FROM THE NE'LY COR OF PC 2 TH S 32 DEG 51' 45"W 200.0 FT M/L ALG SE'LY LINE OF PC 2 TO THE N LINE OF A PARCEL DESC IN 289 TH N 87 DEG 32'W 85.75 FT TH S 02 DEG 28'W TO SE'LY LINE OF PC 2 TH S 32 DEG 51'45"W ALG SE'LY LINE TO THE POB. PART OF PC 2.



STONECLIFFE LEGAL DESCRIPTION:

COMMENCING AT THE NORTHEAST CORNER OF PRIVATE CLAIM NO.3; THENCE ALONG SOUTHEASTERLY LINE OF SAID PRIVATE CLAIM S 33°21'17" W 1188.02' TO A MONUMENT BY THE GATE OF STONECLIFFE; THENCE CONTINUING ON THE EASTERLY LINE OF SAID PRIVATE CLAIM BEING THE SOUTHEASTERLY LINE OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472 AND LIBER 412, PAGE 473 MACKINAC COUNTY RECORDS S 33°03'19" W 136.97' TO THE POINT OF BEGINNING; THENCE ALONG THE SOUTHEASTERLY LINE OF PRIVATE CLAIM NO.3, S 33°03'19" W 674.97' THENCE N 57°15'00" W 150.00'; THENCE N 67°59'24" W 298.94'; THENCE S 78°32'09" W 164.57'; THENCE N 39° 36'27" W 63.13' TO THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3; THENCE ALONG SAID PRIVATE CLAIM LINE N 32°55'00" E 113.87' TO THE WESTERLY LINE OF CONDO NO.1, AS RECORDED IN LIBER 264, PAGE 602, MACKINAC COUNTY RECORDS; THENCE ALONG THE WEST LINE OF SAID CONDO NO.1, S 02°56'12" W 11.34' TO THE SOUTH LINE OF SAID CONDO NO.1; THENCE ALONG THE SOUTH LINE OF SAID CONDO NO.1, S 87°03'39" E 93.75' TO THE SOUTHEASTERLY CORNER OF CONDO NO.1; THENCE ALONG THE EASTERLY LINE OF SAID CONDO NO.1, N 02°56'23" E 160.00' TO THE NORTHEASTERLY CORNER OF SAID CONDO NO.1; THENCE ALONG THE NORTH LINE OF SAID CONDO NO.1, N 87°03'19" W 8.00' TO THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3; THENCE ALONG THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3, N 32°55' 00" E 242.45' TO THE SOUTHWESTERLY LINE OF A PARCEL DESCRIBED IN LIBER 260, PAGE 204 AND LIBER 260, PAGE 229, MACKINAC COUNTY RECORDS; THENCE ALONG SAID SOUTHWESTERLY LINE S 57°05'38" E 80.00' TO THE SOUTHEASTERLY CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL N 32°55'00" E 60.01' TO THE NORTHEAST CORNER OF SAID PARCEL; THENCE S 57°05'38" E 73.24'; THENCE N 60°14'04" E 22.74'; THENCE N 22°15'51" E 53.51'; THENCE N 20°12'58" E 51.33'; THENCE N 29°47'45" E 60.40'; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 400.00', A DELTA OF 33°26'55", AN ARC LENGTH OF 233.52' AND A CHORD WHICH BEARS N 59°02'27" E 230.21'; THENCE S 83°08' 17" E 48.39' TO THE NORTHERLY LINE OF A 20' WIDE PRIVATE EASEMENT RECORDED LIBER 454, PAGES 366-369, MACKINAC COUNTY RECORDS; THENCE S 57°35'45" E 191.19' ALONG THE NORTH LINE OF SAID EASEMENT; THENCE S 33°03'20" W 20.00' TO THE NORTHWESTERLY CORNER OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472, AND LIBER 412, PAGE 473, MACKINAC COUNTY RECORDS; THENCE ALONG THE NORTHWESTERLY LINE OF SAID PARCEL S 33°03'19" W 152.25' TO THE SOUTHWESTERLY CORNER OF SAID DESCRIBED PARCEL; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL S 57°15'00" E 150.00' TO THE POINT OF BEGINNING, CONTAINING 10.32 ACRES, BEING SUBJECT TO ALL EASEMENTS OF RECORD, IF ANY, ALL BEING A PART OF PRIVATE CLAIM NO.3, T40N, R3W, CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

See Sheet A2.1 →

See Sheet A2.2 →

STONECLIFFE SITE PLAN NOTES:

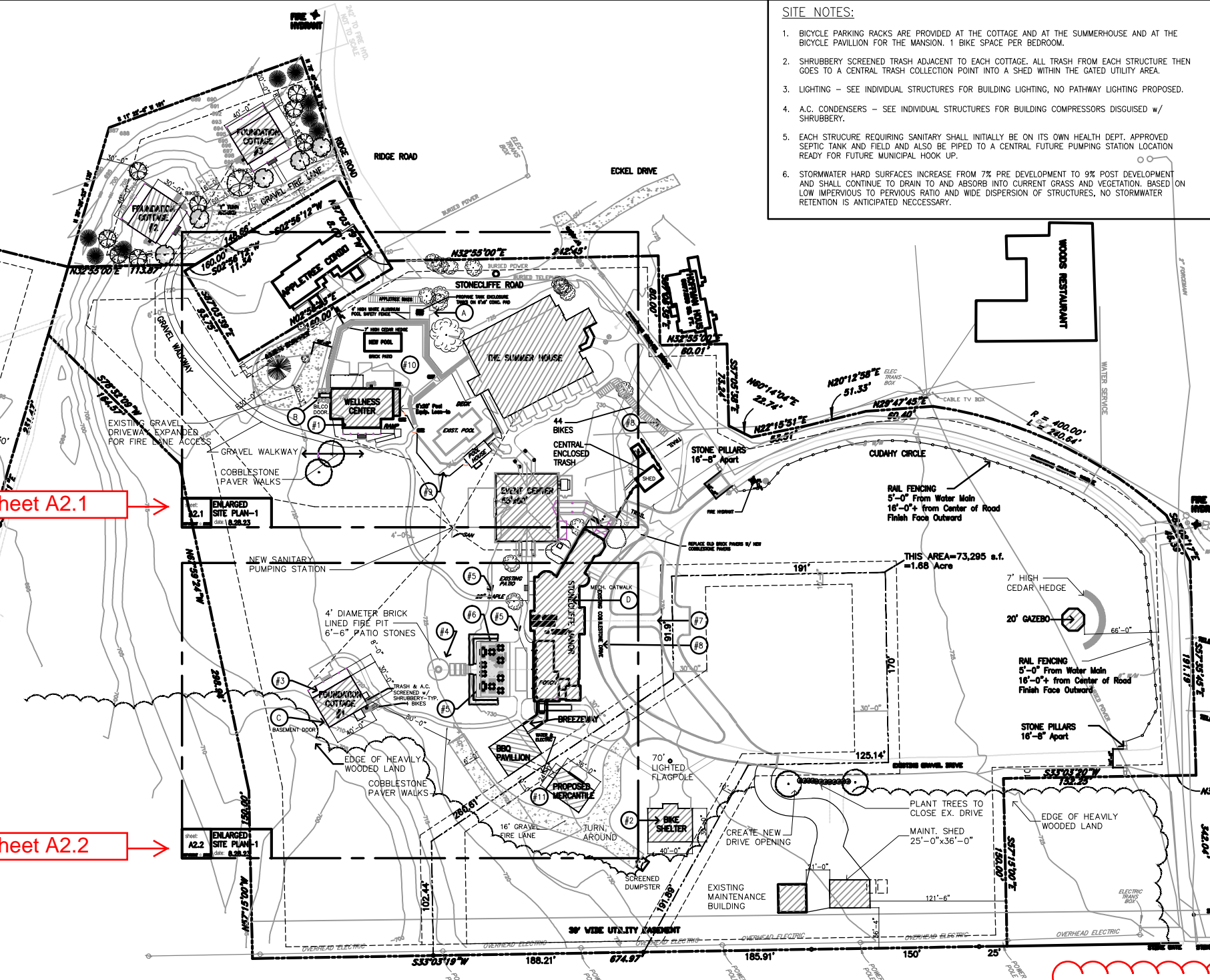
- PROPERTY ZONED HB HOTEL BOARDINGHOUSE.
- MINIMUM LOT SIZE REQUIREMENTS: AREA SHALL NOT BE LESS THAN 7500 SQ. FT. W/ A MIN. WIDTH OF 60' AT THE BUILDING LINE.
- ACTUAL LOT SIZE = 8.64 AC (376,358 SF) LARGE PARCEL + 1.68 AC (73,181 SF) SMALL PARCEL = 10.32 AC (449,539 S.F.).
- MINIMUM SETBACK REQUIREMENTS: FRONT = 30 FEET, SIDE = 10 FEET, REAR = 30 FEET.
- NO BUILDING SHALL EXCEED 40 FEET OR 3½ STORIES IN HEIGHT.
- MAXIMUM LOT COVERAGE IS 40%.
- ACTUAL LOT COVERAGE OF LARGE PARCEL IS 15.7% = 58,920 S.F. = ALL BUILDINGS, PATIOS, COBBLES, PATHS, WALKS, DRIVES. (AN INCREASE OF 100 S.F. (LP TANK PAD, BILCO HATCH,)) TO LARGE LOT FROM PREVIOUS SUBMISSIONS)
- ACTUAL LOT COVERAGE OF SMALL INTERIOR PARCEL IS 11.6% = 8,432, NO INCREASE FROM PREVIOUS SUBMISSION.
- HOTEL UNITS:
 - THE MANSION - 16 EXISTING HOTEL ROOMS
 - THE SUMMERHOUSE - 31 EXISTING HOTEL ROOMS
 - THE FOUNDATION COTTAGE - SINGLE FAMILY UNIT OR 1 HOTEL GUEST ROOM
 - 16+31+1 = 48 TOTAL GUESTROOMS INCLUDING THE COTTAGE.
- ALLOWABLE AND ACTUAL DENSITIES:
 - HOTELS: ALLOWABLE = 60 BEDROOMS PER ACRE = 60 x 8.64 ACRES = 518 ALLOWED.
 - HOTEL USE = 47-50 ACTUAL = 10% OF SITE UTILIZED AS HOTEL USE. THUS 90% OF SITE AVAILABLE FOR RESIDENTIAL USE.
 - DWELLING UNITS ALLOWED = 20 DWELLING UNITS PER ACRE x (8.64 ACRES x90%) = 155 ALLOWED, 1 PROPOSED.
- AT LEAST 1 BICYCLE SPACE PER BEDROOM IS PROVIDED.

SITE NOTES:

- BICYCLE PARKING RACKS ARE PROVIDED AT THE COTTAGE AND AT THE SUMMERHOUSE AND AT THE BICYCLE PAVILION FOR THE MANSION. 1 BIKE SPACE PER BEDROOM.
- SHRUBBERY SCREENED TRASH ADJACENT TO EACH COTTAGE. ALL TRASH FROM EACH STRUCTURE THEN GOES TO A CENTRAL TRASH COLLECTION POINT INTO A SHED WITHIN THE GATED UTILITY AREA.
- LIGHTING - SEE INDIVIDUAL STRUCTURES FOR BUILDING LIGHTING, NO PATHWAY LIGHTING PROPOSED.
- A.C. CONDENSERS - SEE INDIVIDUAL STRUCTURES FOR BUILDING COMPRESSORS DISGUISED W/ SHRUBBERY.
- EACH STRUCTURE REQUIRING SANITARY SHALL INITIALLY BE ON ITS OWN HEALTH DEPT. APPROVED SEPTIC TANK AND FIELD AND ALSO BE PIPED TO A CENTRAL FUTURE PUMPING STATION LOCATION READY FOR FUTURE MUNICIPAL HOOK UP.
- STORMWATER HARD SURFACES INCREASE FROM 7% PRE DEVELOPMENT TO 9% POST DEVELOPMENT AND SHALL CONTINUE TO DRAIN TO AND ABSORB INTO CURRENT GRASS AND VEGETATION. BASED ON LOW IMPERVIOUS TO PERVIOUS RATIO AND WIDE DISPERSION OF STRUCTURES, NO STORMWATER RETENTION IS ANTICIPATED NECESSARY.

LEGEND:

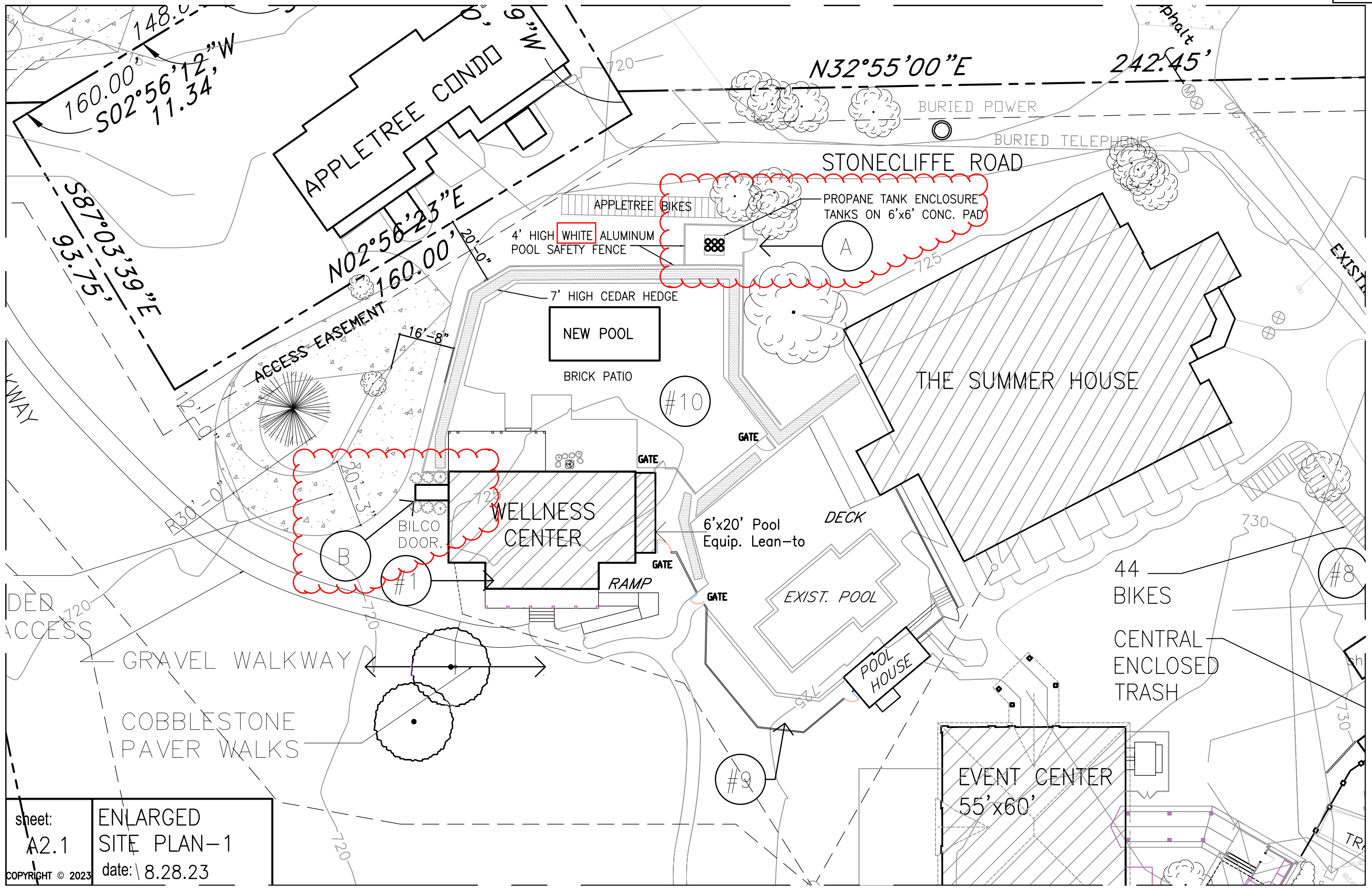
- KEY: = (1) →
- ADDITION OF A WELLNESS CENTER BUILDING WHICH INCLUDES AN EXERCISE ROOM WITH HIS & HERS LOCKERS AND BATHROOMS.
 - ADDITION OF A BICYCLE SHELTER.
 - ADDITION OF A FOUNDATION COTTAGE #1.
 - ADDITION OF A PATIO WITH 4'X4' FIRE PIT AREA.
 - CHANGE OUT REAR PAVEMENT WALKWAYS & PATIOS WITH NEW COBBLESTONE PAVERS.
 - ADD A SMALL WATER FEATURE FOUNTAIN TO THE EXISTING PATIO AREA OFF OF THE REAR COVERED LANAI.
 - ADDITION OF A SECONDARY COBBLESTONE PAVEMENT ARRIVAL LOOP FOR HORSE AND CARRIAGE TRAFFIC.
 - REPLACE THE OLD PAVEMENT DRIVE & WALKWAYS TO SUMMERHOUSE WITH NEW COBBLESTONE PAVERS.
 - CUT BACK EXISTING POOL PATIO BY 12'. MOVE BACK PATIO DECK FENCE 12' WITH NEW ALUMINUM 4' HIGH BRONZE COLOR POOL FENCE.
 - OUTDOOR POOL AT WELLNESS CENTER & MISC. LANDSCAPE FEATURES.
 - MERCANTILE BUILDING.



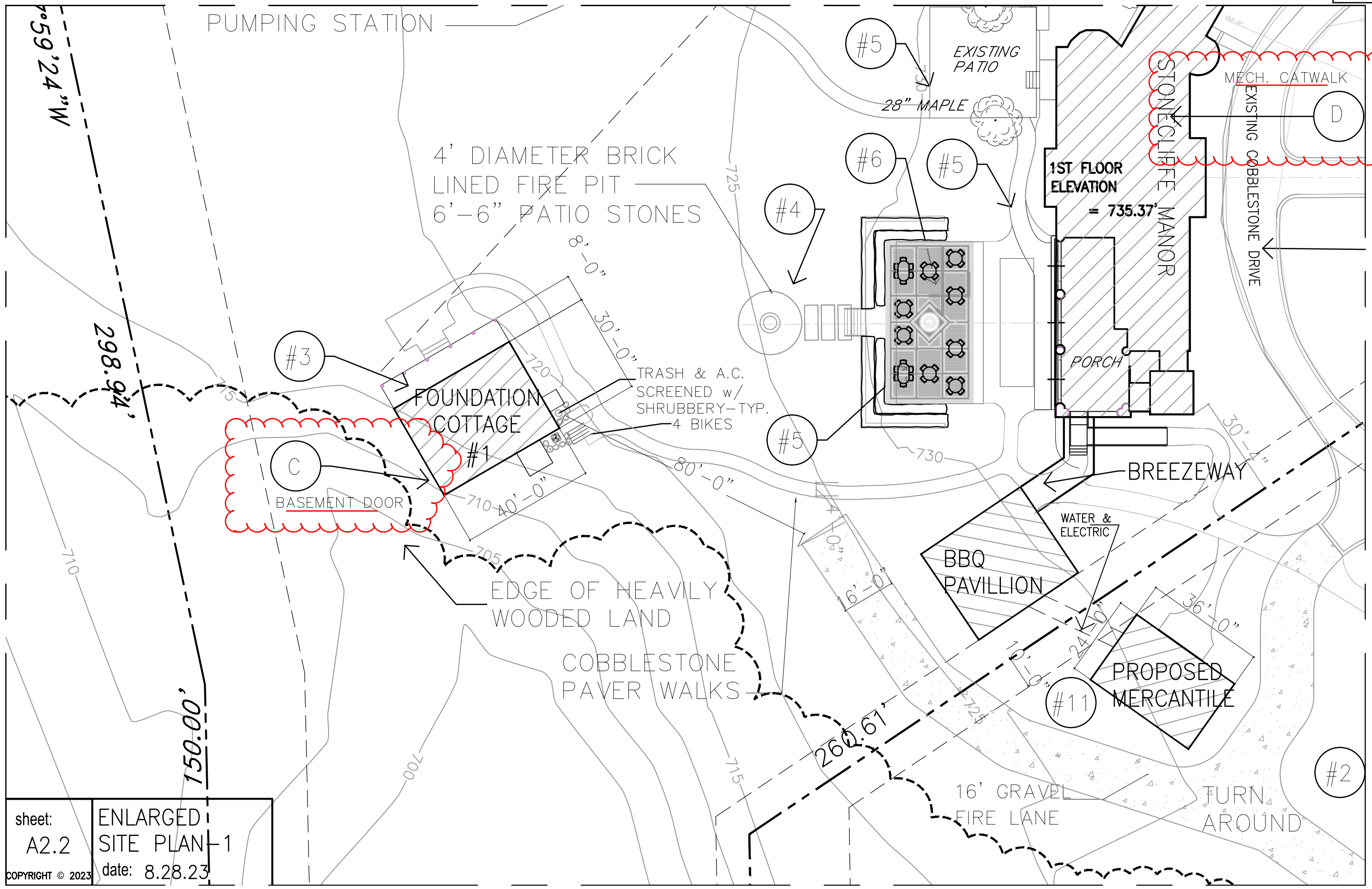
SITE PLAN 2.2 AMMENDMENT
8.24.23:
KEY: (A) →

- SCREENED PROPANE TANKS ON CONCRETE PAD USING ALUMINUM FENCING & SHRUBBERY. CHANGE FENCING COLOR FROM BLACK TO WHITE.
- WELLNESS CENTER BASEMENT BILCO DOOR. DOOR TO BE CONCEALED USING HYDRANGAS & LILAC BUSHES.
- COTTAGE #1 ADD BASEMENT DOOR.
- MANOR ROOFTOP EQUIPMENT CATWALK.

Richard Clements Architect, PLLC 1925 Merry Lane Oceano, MI 49759 richard@rca1925.com 989-370-3681	THE INN AT STONECLIFFE MERCANTILE PROJECT 8593 CUDAHY CIRCLE MACKINAC ISLAND, MI	date: Aug. 28, 2023 project: 2131 SHEET: SITE PLAN	sheet: A2.0 COPYRIGHT © 2023
---	--	--	---



sheet: A2.1
 ENLARGED SITE PLAN-1
 date: 8.28.23
 COPYRIGHT © 2023



sheet: A2.2
 ENLARGED SITE PLAN - 1
 date: 8.28.23
 COPYRIGHT © 2023

File No. HBal-001-061
 Exhibit V
 Date 8.29.23

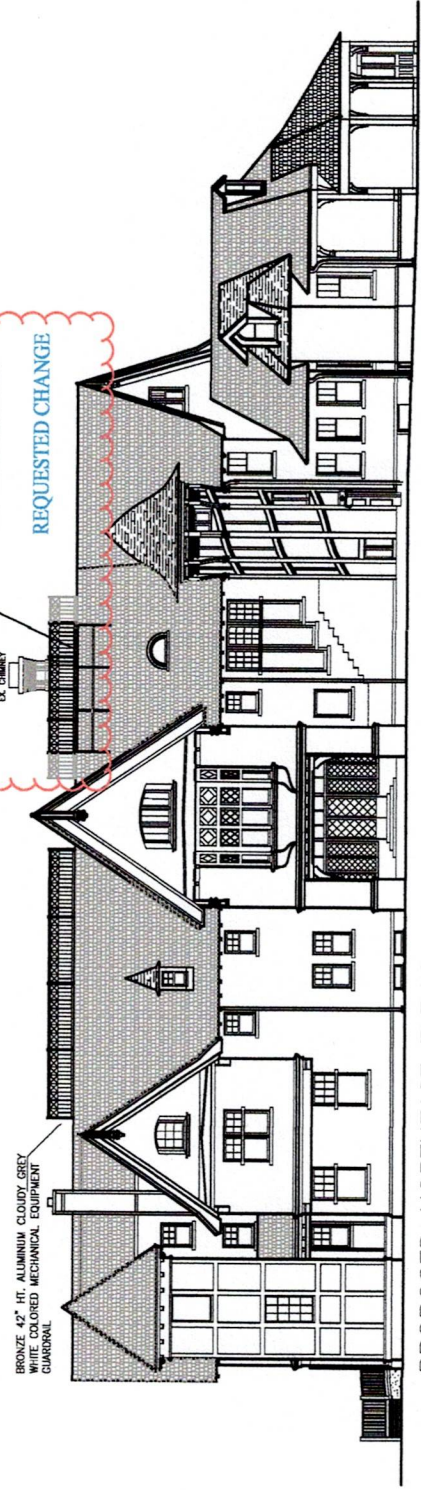
RECEIVED
 AUG 29 2023

Initials AK
 AS PREVIOUSLY APPROVED



EXISTING NORTHEAST ELEVATION
 SCALE 1/16"=1'-0"

SEE DETAIL ON FOLLOWING SHEET.
 REQUESTED CHANGE

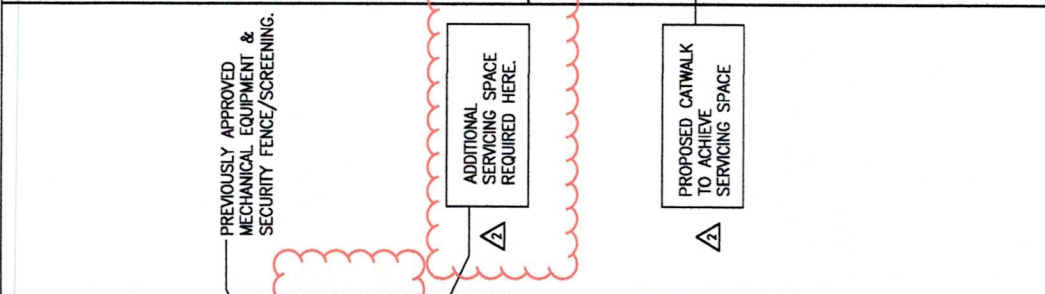
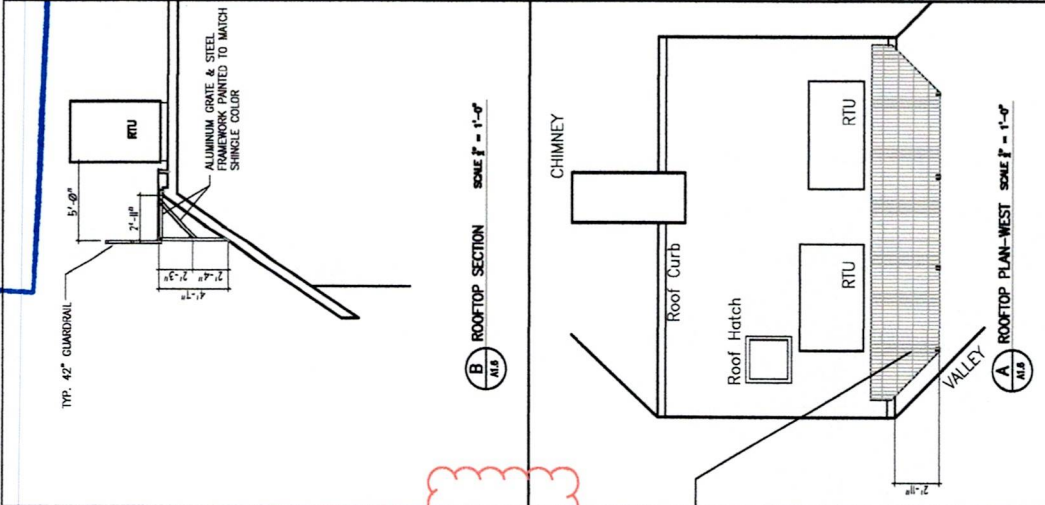


PROPOSED NORTHEAST ELEVATION
 SCALE 1/16"=1'-0"

Richard Clements Architect, PLLC 1925 Miami Lane Okemos, MI 48869 richard@rcapl.com 989-370-3681	THE INN AT STONECLIFFE CUDAHY MANOR REHABILITATION 8593 CUDAHY CIRCLE MACKINAC ISLAND, MI	rev: Jan. 24, 2022 Δ rev: Aug. 28, 2023 Δ	date: Aug. 29, 2021 project: 2131	sheet: A1.6 <small>COPYRIGHT © 2021</small>
			ROOFTOP RAILING	

RECEIVED

AUG 29 2023



PREVIOUSLY APPROVED MECHANICAL EQUIPMENT & SECURITY FENCE/SCREENING.

ADDITIONAL SERVICING SPACE REQUIRED HERE.

PROPOSED CATWALK TO ACHIEVE SERVICING SPACE

<p>Richard Clements Architect, PLLC 1920 Merry Lane Okemos, MI 48879 richard@rca2.com 990.370.3681</p>	<p>THE INN AT STONECLIFFE CUDAHY MANOR REHABILITATION 8593 CUDAHY CIRCLE MACKINAC ISLAND, MI</p>	<p>rev: Jan. 24, 2022 rev: Aug. 28, 2023</p>	<p>date: Aug. 29, 2021 project: 2131</p>
<p>ROOFTOP RAILING</p>		<p>sheet: A1.7 copyright © 2021</p>	

RECEIVED
AUG 29 2023

File No. HB21-001-099

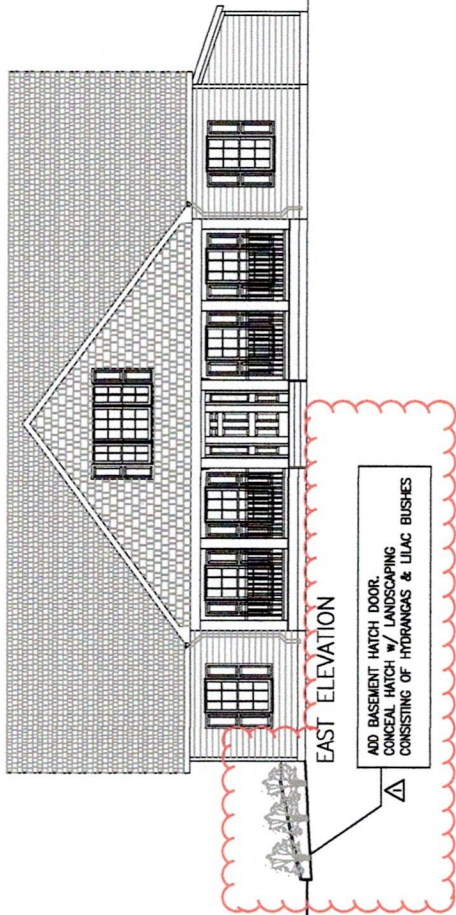
Exhibit AAA

Date 8.29.23

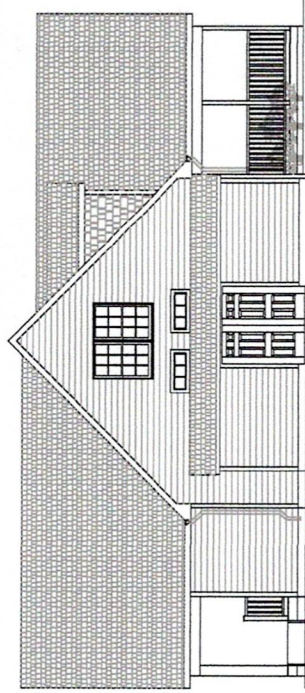
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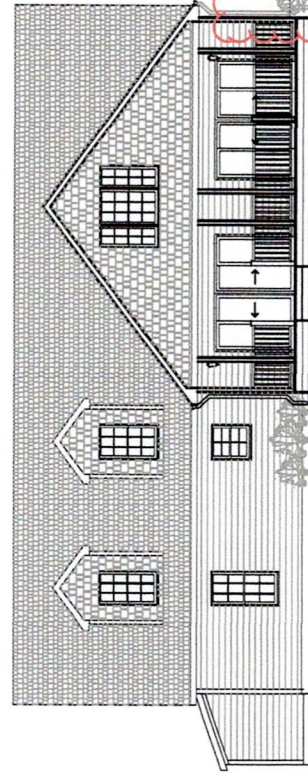
REPRESENTATIVE BILCO HATCH



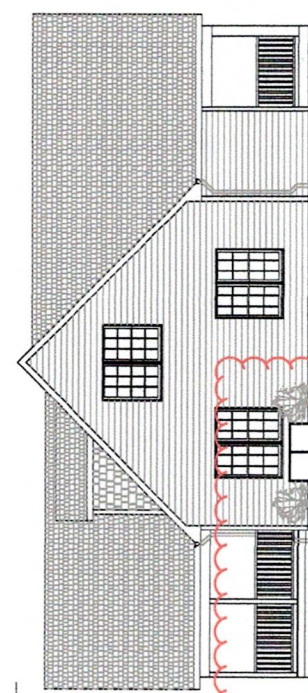
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

PEAK

24'-1 1/2"

TOF

SCALE 1/8"=1'-0"

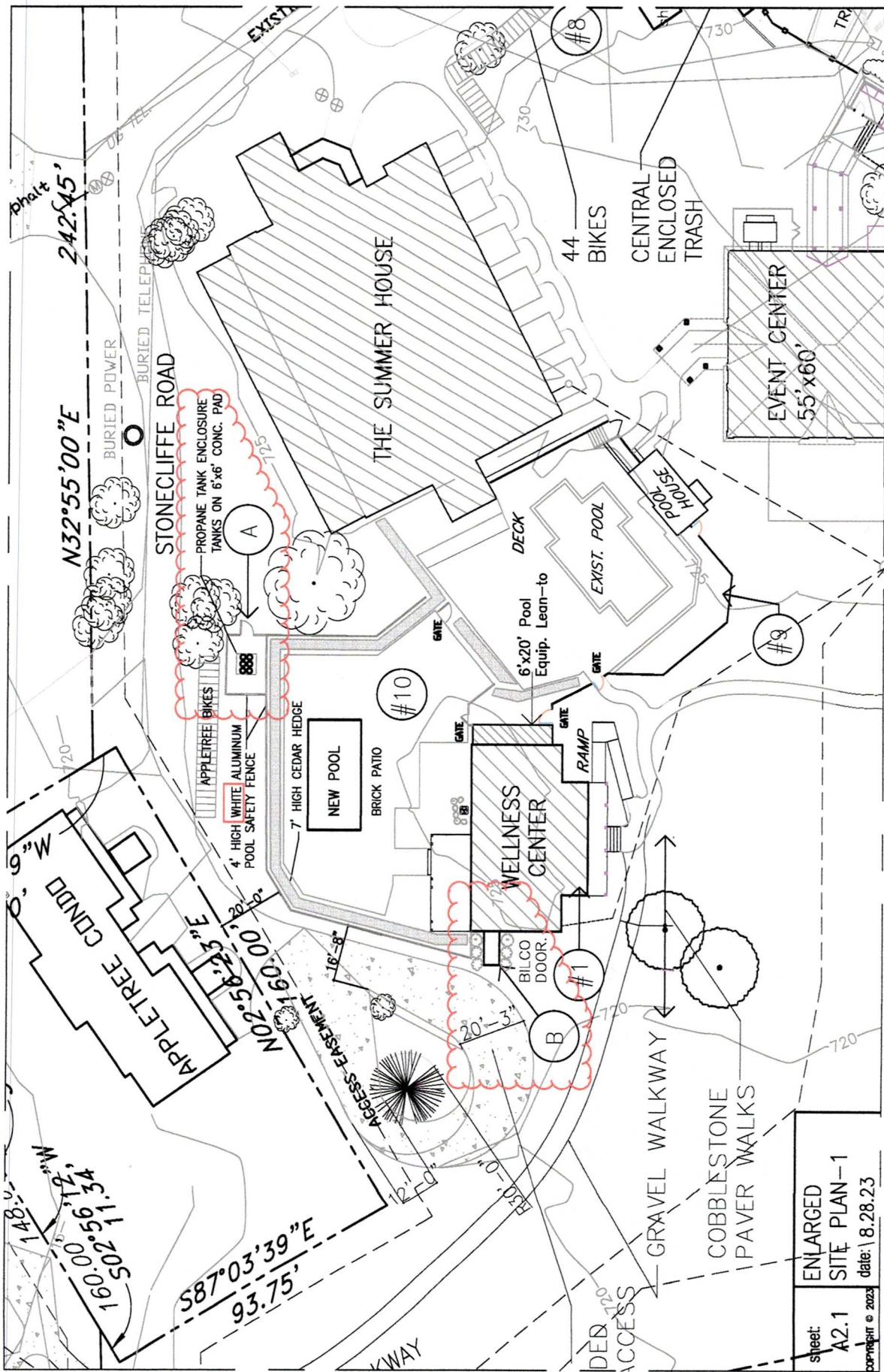
WELLNESS CENTER

Richard Clements Architect, PLLC
1220 West Lake
Capehart, IN 46709
richard@rca-arch.com 960.370.4500

THE INN AT STONECLIFFE
WELLNESS CENTER
6563 CUDWAY CIRCLE
MACOMB ISLAND, MI

date: Aug. 28, 2023
project: 2131
WELLNESS CENTER
ELEVATIONS

sheet: A2.5
drawing: 1 of 1



sheet: A2.1
 ENLARGED SITE PLAN-1
 copyright © 2023 date: 8.28.23

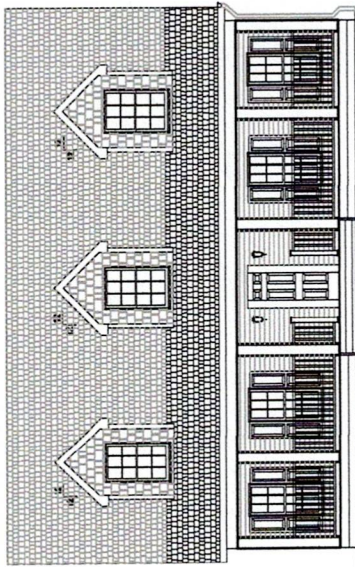
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AUG 29 2023

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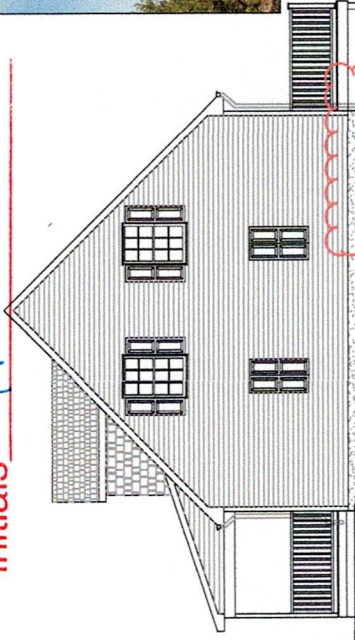
Exhibit CCC

Date 8.29.23

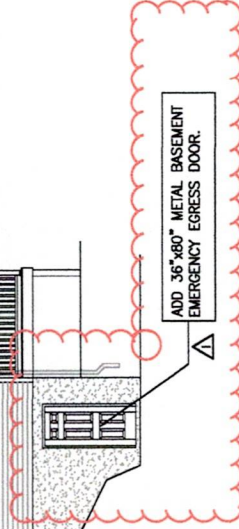
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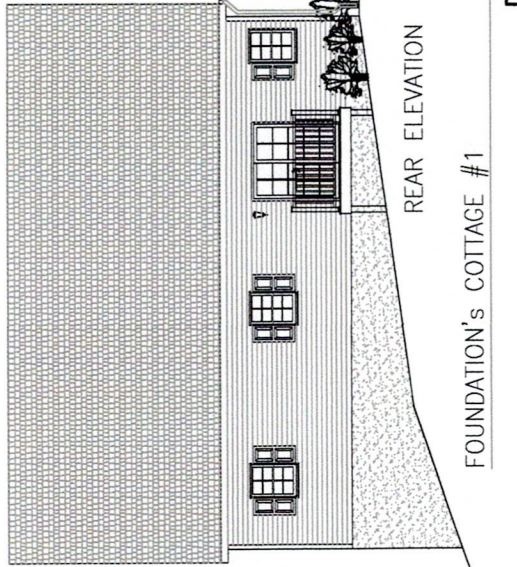
FRONT ELEVATION



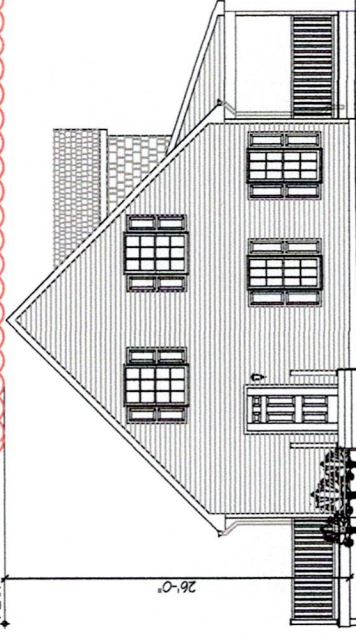
RIGHT ELEVATION



ADD 36" x 80" METAL BASEMENT EMERGENCY EGRESS DOOR.



REAR ELEVATION



LEFT ELEVATION

FOUNDATION'S COTTAGE #1

SCALE 1/8"=1'-0"

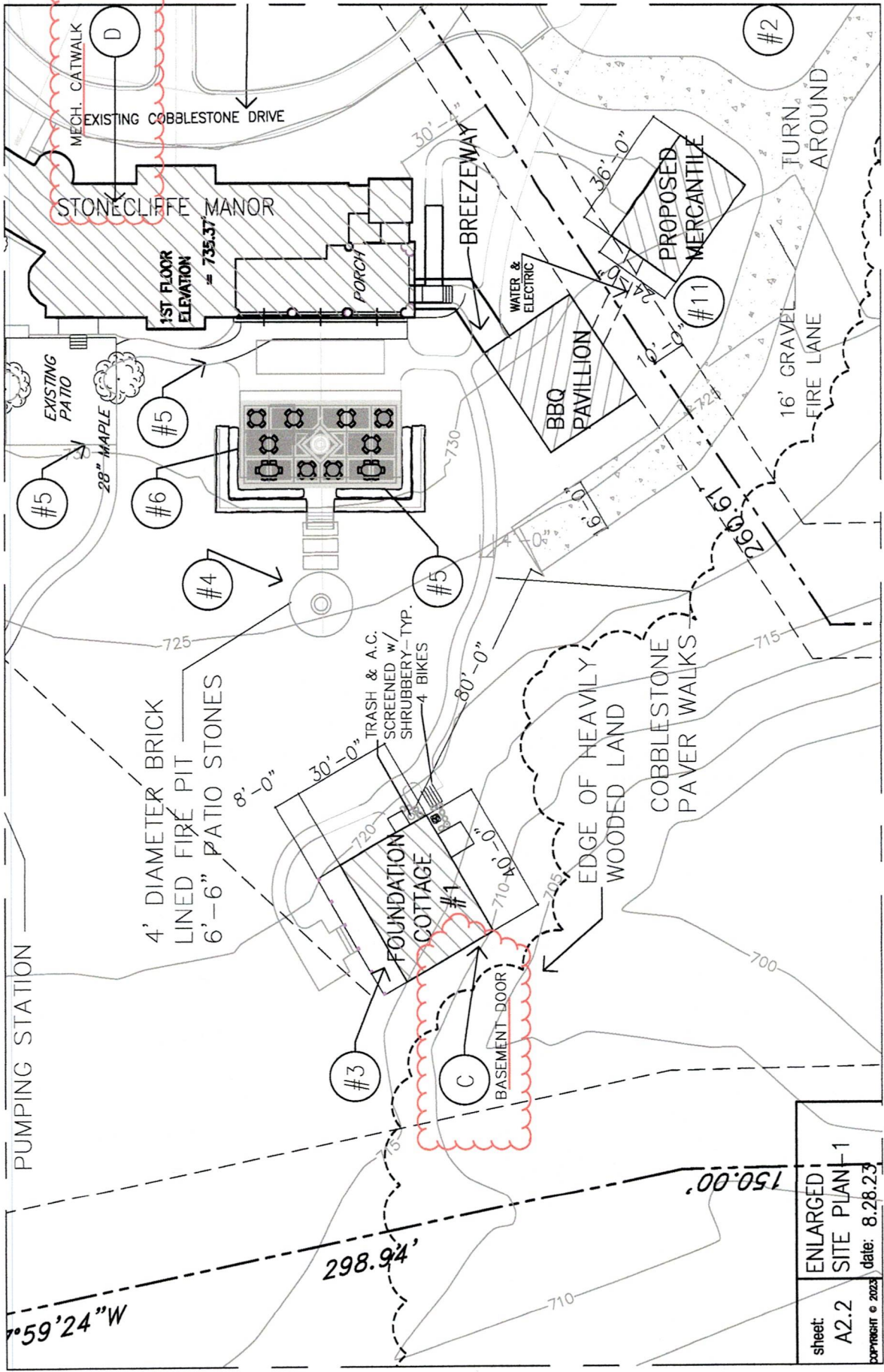
Richard Clements Architect, PLLC
1930 West Lane
Croydon, MI 49729
rc@clark.com 519.296.1600

THE INN AT STONECLIFFE
FOUNDATION'S COTTAGE #1
8583 CUDAHY CIRCLE
MACKINAC ISLAND, MI

date: Aug. 28, 2023

date: Nov. 27, 2021
project: 2131
FOUNDATION'S COTTAGE #1
ELEVATIONS

sheet: AN2



PUMPING STATION

7°59'24"W

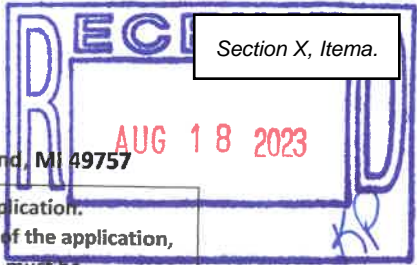
298.94'

150.00'

ENLARGED
 SITE PLAN-1
 date: 8.28.23
 copyright © 2023

sheet:
 A2.2

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**



www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT:
 Mackinac island Carriage Tours Inc
 PO Box 400 Mackinac Is MI 49757
 906-847-3307 andy@mict.com
 Phone Number Email Address

Please complete both sides of application.
 The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Address (If Different From Applicant)

- Is The Proposed Project Part of a Condominium Association? No
- Is The Proposed Project Within a Historic Preservation District? No
- Applicant's Interest in the Project (If not the Fee-Simple Owner): _____
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? No
- Is a Variance Required? No
- Are REU's Required? How Many? YES 111

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-630-008-00
- B. Legal Description of Property: Assessors plat of Harrisonville Lot 8
- C. Address of Property: 2287 Cadotte Ave
- D. Zoning District: R3
- E. Site Plan Checklist Completed & Attached: yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) yes
- G. Sketch Plan Attached: no
- H. Architectural Plan Attached: yes
- I. Association Documents Attached (Approval of project, etc.): yes
- J. FAA Approval Documents Attached: na
- K. Photographs of Existing and Adjacent Structures Attached: yes

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):
Boarding House
 Proposed Use: Boarding House

File No. R323-008-061
Exhibit A

C. If Vacant:

Previous Use: _____
 Proposed Use: _____
 Length of Time Parcel Has Been Vacant: _____

Date 8-18-23
Initials KP

OFFICE USE ONLY			
FILE NUMBER: <u>R323-008-061</u>		FEE: <u>\$400-</u>	
DATE: <u>8-18-23</u>	CHECK NO: _____	INITIALS: <u>KP</u>	Revised Oct 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.


Signature

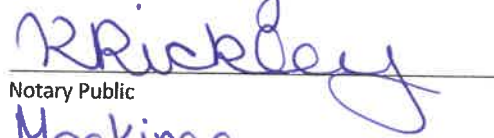
SIGNATURES _____
Signature

Bradley T. Charles, Treasurer
Please Print Name

Please Print Name

Signed and sworn to before me on the 17 day of August 2023

K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025


Notary Public
Mackinac County, Michigan
My commission expires: 10/21/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2018

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

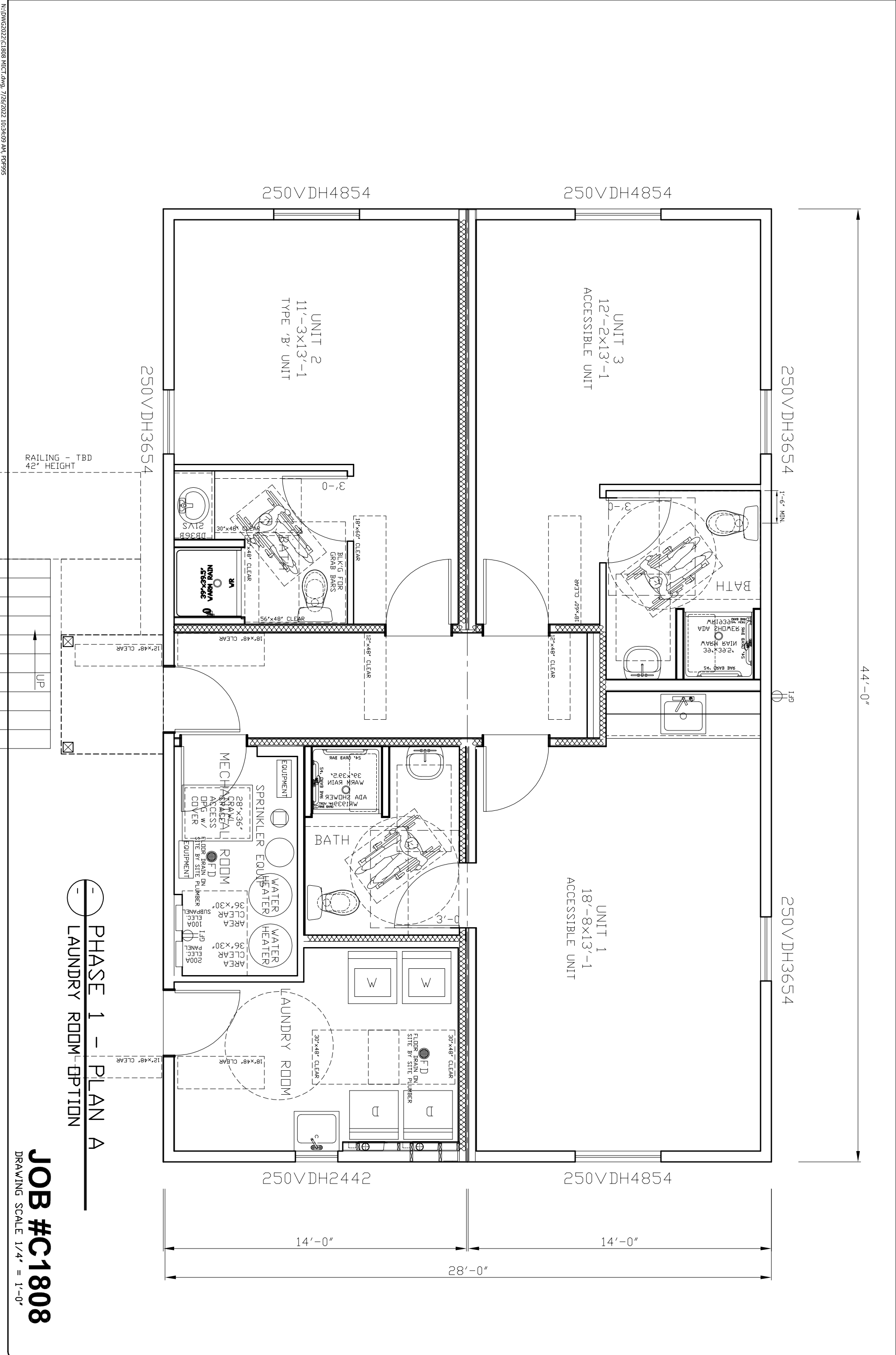
- | | | |
|--|-------------------------------------|--------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Utility Information

- | | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-------------------------------------|
| 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Architectural Review
Informational Requirements (Section 18.05)**

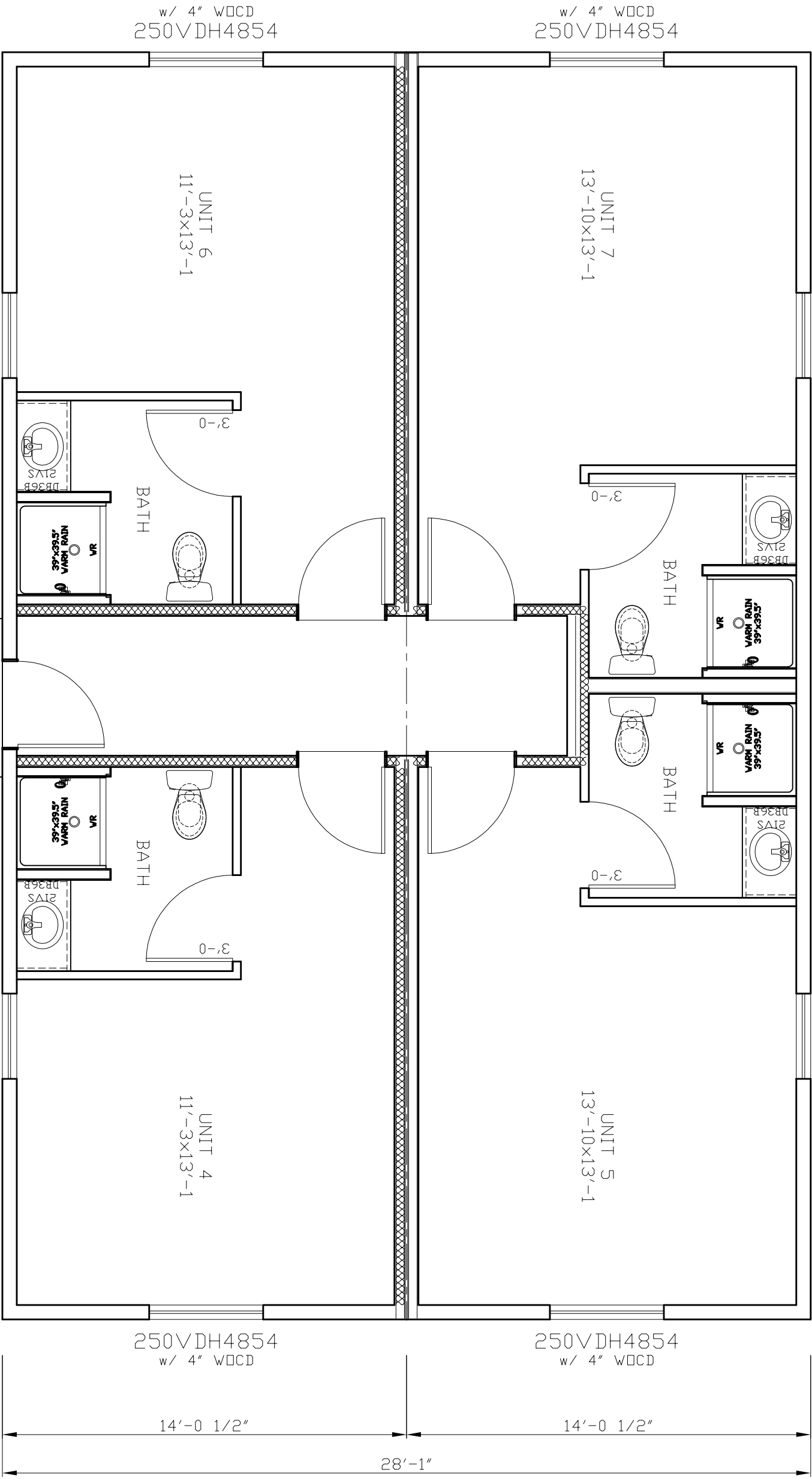
- | <u>Item</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-----------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Legal description of the property | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |



PHASE 1 - PLAN A
LAUNDRY ROOM - OPTION

JOB #C1808
DRAWING SCALE 1/4" = 1'-0"

revision 7/5/22 APS 7/26/22 APS	proj title EMPLOYEE HOUSING 1st FLOOR PLAN	contact person RYAN SPENCER	date 6/3/22	origiator PD	sht no A1
---------------------------------------	--	--------------------------------	----------------	-----------------	--------------



44'-0"

250VDH3654

250VDH3654

250VDH3654

250VDH3654

RAILING - TBD
42" HEIGHT

2nd FLOOR PLAN

250VDH4854
w/ 4" WOOD

250VDH4854
w/ 4" WOOD

250VDH3654

250VDH3654

14'-0 1/2"

14'-0 1/2"

28'-1"

UNIT 6
11'-3x13'-1

UNIT 7
13'-10x13'-1

UNIT 4
11'-3x13'-1

UNIT 5
13'-10x13'-1

3'-0"

3'-0"

3'-0"

3'-0"

BATH

BATH

BATH

BATH

WASH RAIN
39"x39.5"
VR

WASH RAIN
39"x39.5"
VR

WASH RAIN
39"x39.5"
VR

WASH RAIN
39"x39.5"
VR

DB368
21VS

DB368
21VS

DB368
21VS

DB368
21VS

DOWN

JOB #C1808
DRAWING SCALE 1/4" = 1'-0"

proj title	revision
2nd FLOOR PLAN	7/5/22 APS
	7/26/22 APS
contact person	date
RYAN SPENCER	6/3/22
originator	PD
PD	
shd no	A2

Dickinson Homes
1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

WWW.DICKINSONHOMES.COM
FAX: 906-774-5813

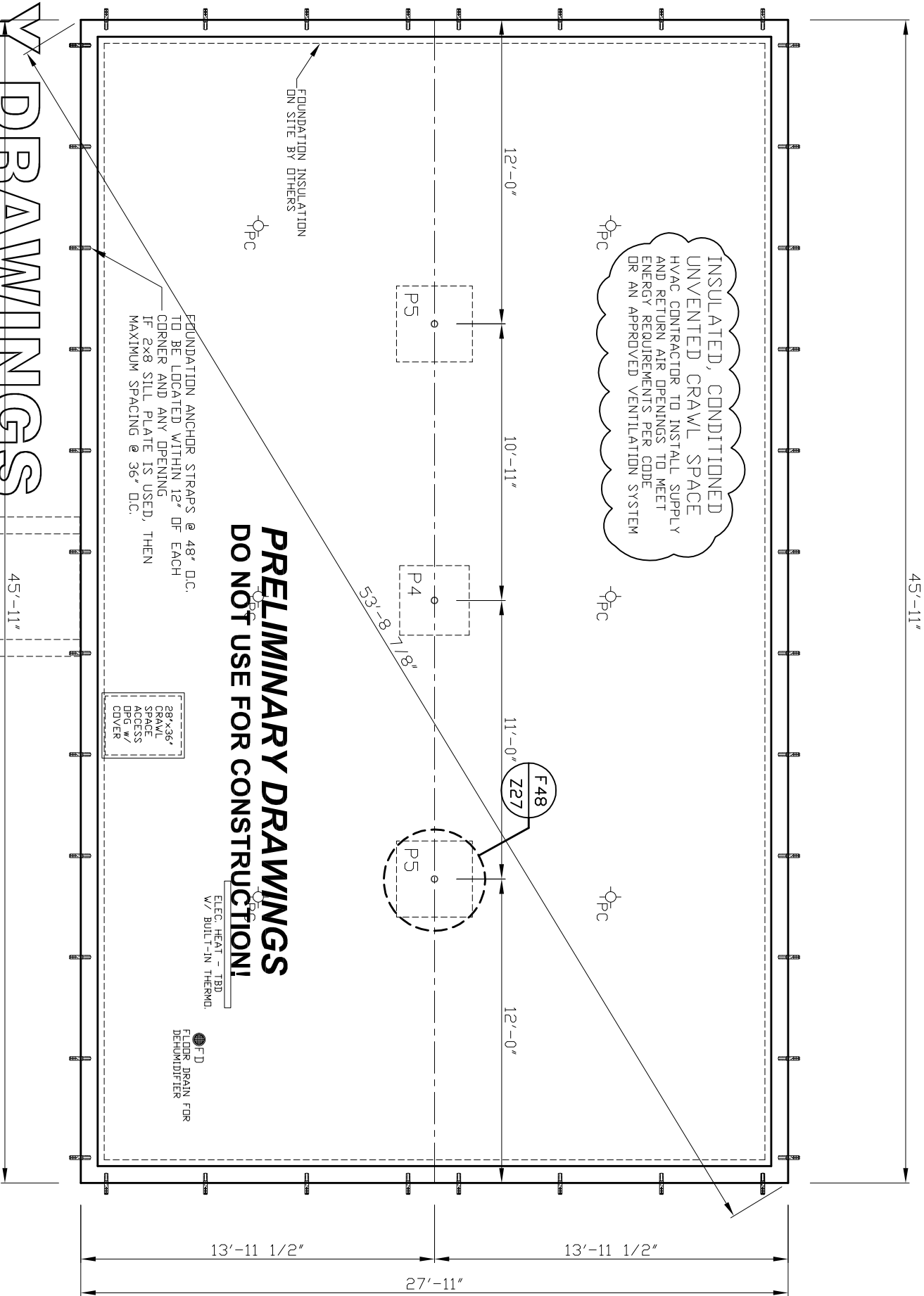
1. Unless Dickinson Homes, Inc. acts as prime contractor, it provides this foundation drawing as a service, and shall assume no liability or responsibility for foundation design and/or construction. Builder/Dealer and site contractor shall check and verify all dimensions for accuracy prior to commencement of foundation construction.
2. All foundation and slab work shall comply with local building codes.
3. Basement insulation shall be installed in compliance with local building codes and heat loss energy calculations.

SOIL BEARING CAPACITY: 2,500 PSF			
70# GS. LD.	MAXIMUM TOTAL LOAD	PAD FOOTING	PAD (REBAR) REINFORCING
P1	9,552#	24"x24"x10"	NOT REQUIRED
P2	11,817#	27"x27"x12"	NOT REQUIRED
P3	14,781#	30"x30"x12"	NOT REQUIRED
P4	17,715#	33"x33"x14"	NOT REQUIRED
P5	20,880#	36"x36"x16"	NOT REQUIRED
P6	28,971#	42"x42"x12"	(8) #4 EACH WAY
P7	37,480#	48"x48"x14"	(10) #4 EACH WAY
P8	47,436#	54"x54"x14"	(12) #4 EACH WAY

4. It is recommended that soils analysis be conducted by a soils engineer based upon site borings to determine unusual conditions such as poor bearing values and high water table. The purpose of the soil analysis is to determine special foundation design requirements for construction and drainage.
5. It is recommended that detailed foundation drawings to be designed and prepared by a structural engineer, taking into consideration the soils analysis based upon site borings at the site.
6. This drawing assumes a soil bearing value of 2,500 psf for the design of footings and column pad sizes, unless it is known that the soil is sandy gravel and/or gravel, a value of 3,000 psf will be used.
7. The bottoms of footings and pads shall be at the level of undisturbed earth, or on fill, below the frost line or a design using frost protected footings/foundations.
8. Fill, clean sand or clean gravel placed in layers no more than 6" thick and compacted to 95% maximum density.
9. Backfill, use of existing soils on site to be placed against foundation walls. Backfill is not compacted and will settle in time.
- 9a. A minimum three-foot perimeter of undisturbed soil shall be provided around and under the concrete column pads.
10. Sidewalks, driveways, and any hard surface shall be placed on suitable soils that are compacted.

LIMITED PURPOSE FOUNDATION DRAWING

11. Concrete shall have an ultimate compressive strength of not less than 3,000 psi at 28 days. Porches, carport slabs, steps exposed to the weather and garage floor slabs shall have an ultimate compressive strength of not less than 3,500 psi at 28 days.
12. The concrete cover over foundation reinforcement rods shall comply with local codes.
13. Soil in crawl spaces shall be covered with a 6 mil vapor barrier or local building code requirements.
14. Crawl space ventilation shall comply with all local building codes.
15. When applying exterior board type insulation, the thickness of the board must be subtracted from each side of the foundation wall where applied to maintain the outside dimensions of the foundation walls as noted on the drawing.



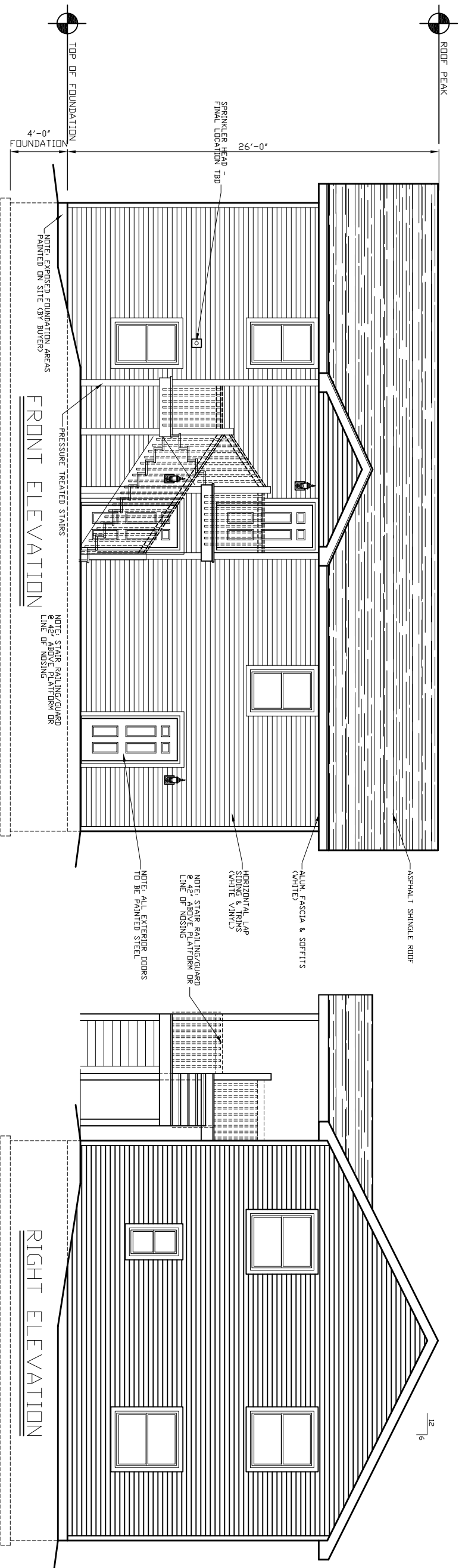
**PRELIMINARY DRAWINGS
DO NOT USE FOR CONSTRUCTION!**

**PRELIMINARY DRAWINGS
DO NOT USE FOR CONSTRUCTION!**

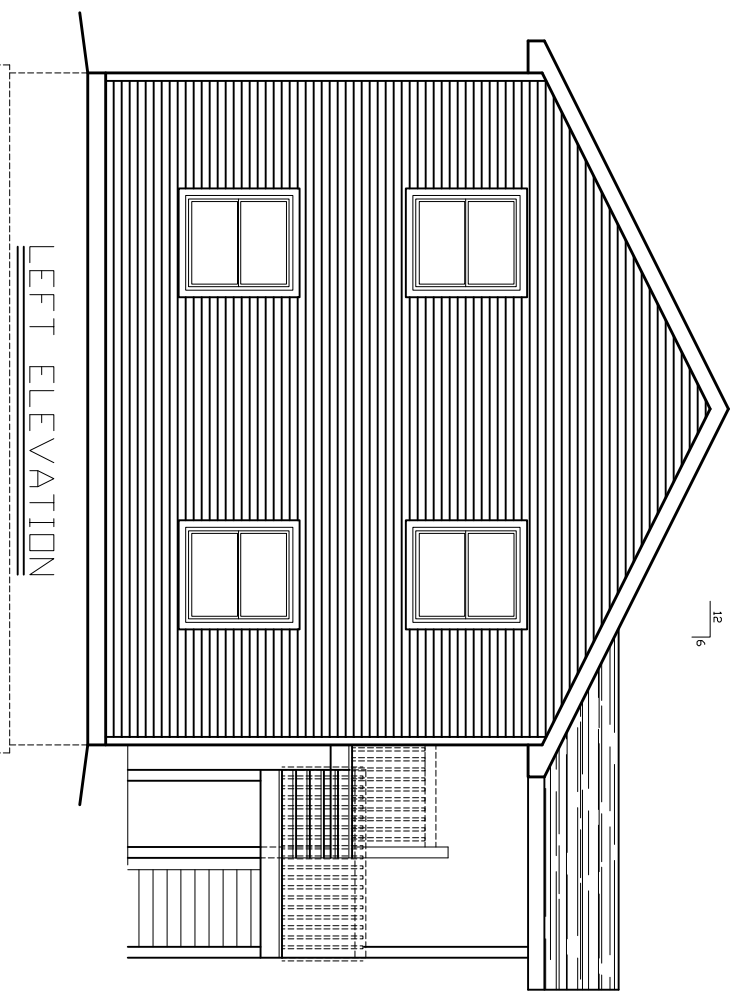
JOB #C1808
DRAWING SCALE 3/16" = 1'-0"

revision 7/5/22 APS 7/26/22 APS	proj title
contact person PD	origiator PD
date 6/3/22	sho no A3
MICT RYAN SPENCER EMPLOYEE HOUSING FOUNDATION PLAN	

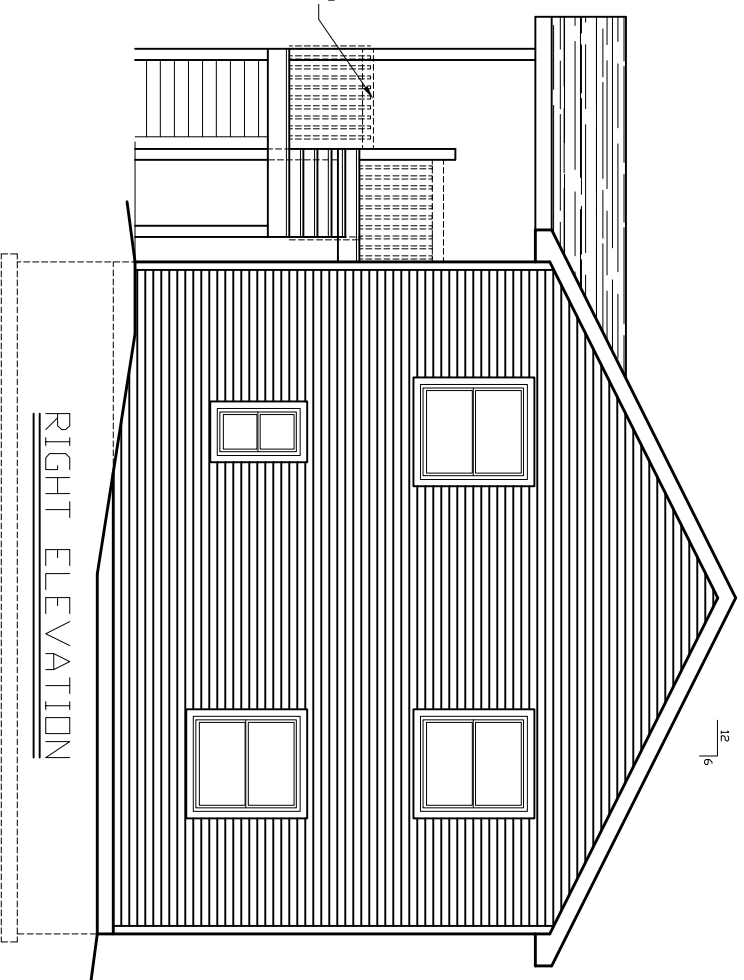
Dickinson Homes www.DICKINSONHOMES.COM
 1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800 FAX: 906-774-5813



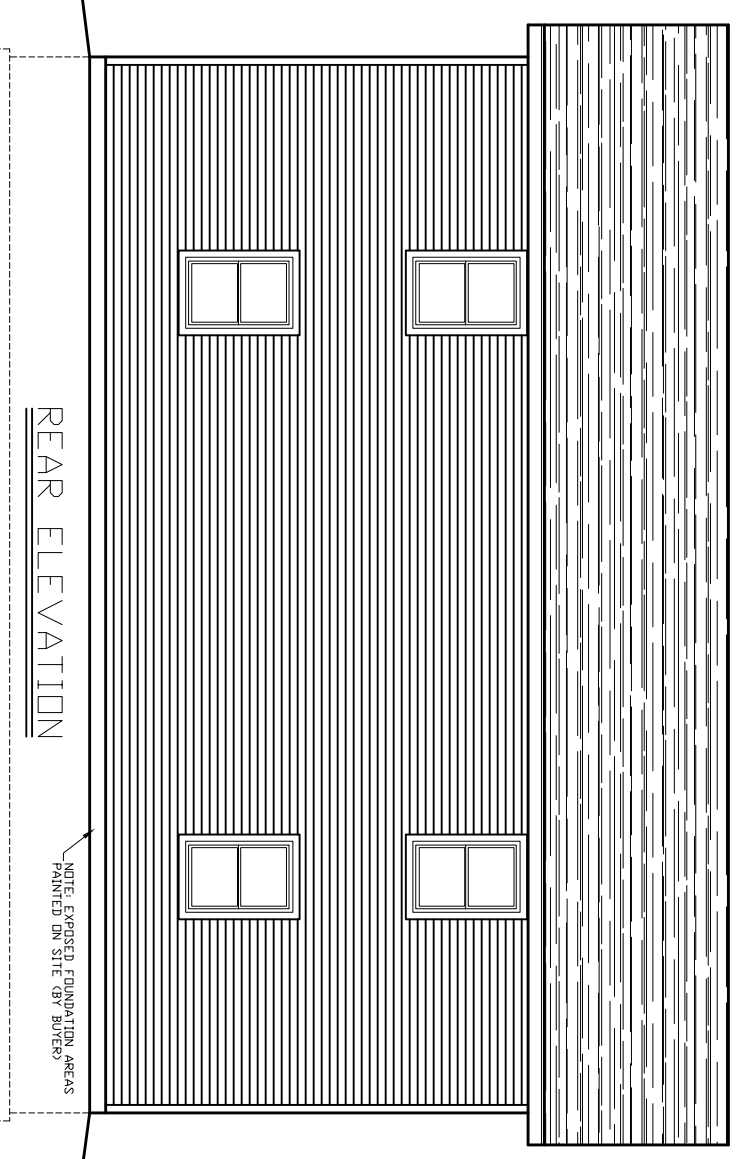
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



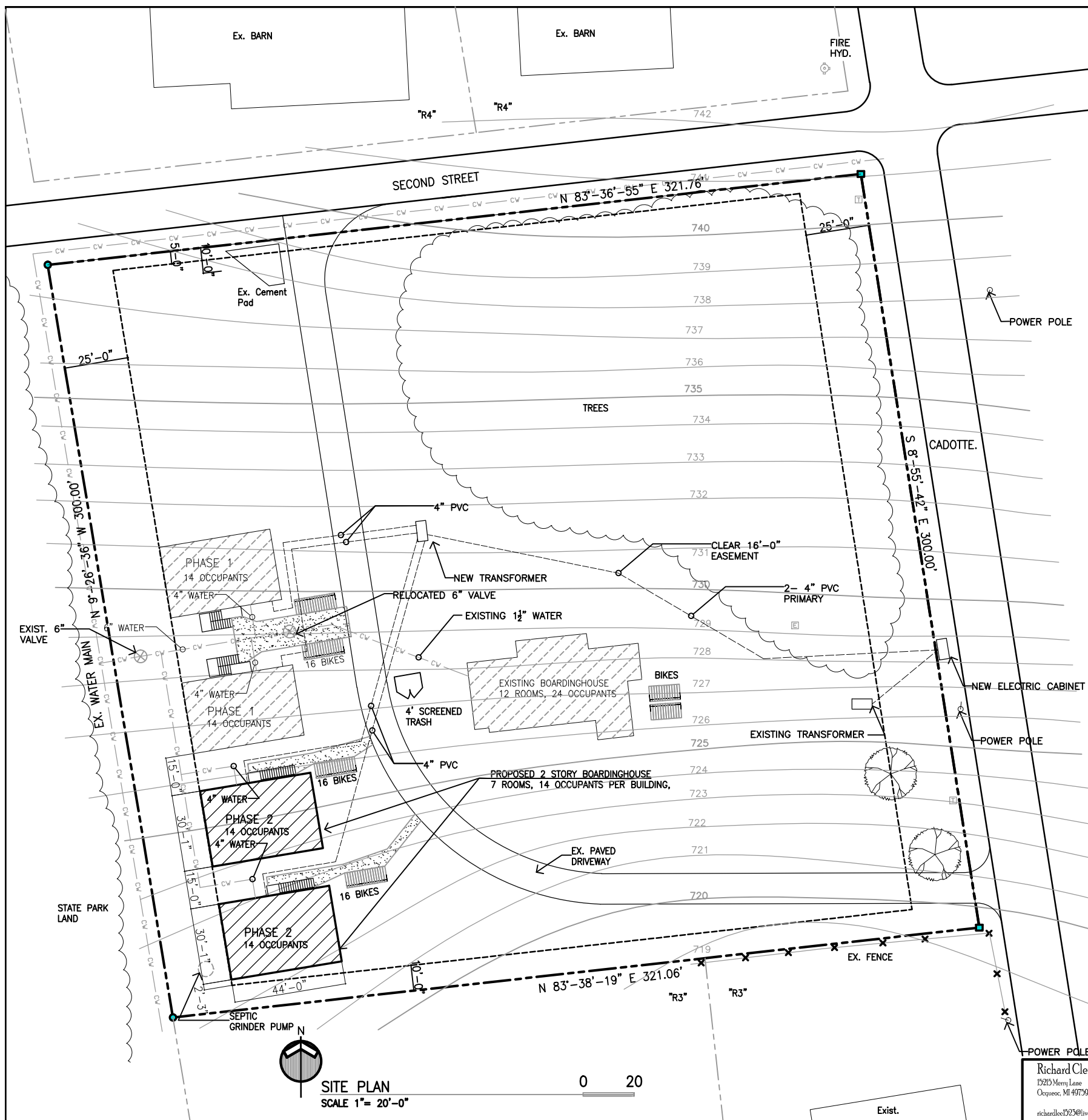
REAR ELEVATION

JOB #C1808

DRAWING SCALE 1/8" = 1'-0"

revision 7/5/22 APS 7/26/22 APS	proj title MICT RYAN SPENCER EMPLOYEE HOUSING EXTERIOR ELEVATIONS	date 6/3/22	contact person PD	origiator PD	sht no A4
---------------------------------------	--	----------------	----------------------	-----------------	--------------





SITE INFORMATION:
 ZONED: R3

LOT AREA 96,007 s.f = 2.2 ACRES

PROPOSED PROJECT: TWO PHASE 2 EMPLOYEE HOUSING UNITS ON THE SITE

DENSITY CALCULATION:
 ALLOWABLE: 1 BOARDER PER 500 S.F. OF SITE AREA

ALLOWABLE DENSITY = 96,007 s.f. / 1 per 500 s.f. = 192 ALLOWED.

CURRENT BOARDINGHOUSE OCCUPANTS: 24
 CURENT PHASE 1 OCCUPANTS: 28
 PROPOSED PHASE 2 OCCUPANTS: 28 (14 occupants x 2 buildings)
 TOTAL PROPOSED OCCUPANTS: 80

ALLOWABLE LOT COVERAGE = 40% x 96,007 s.f. = 38,402 s.f.

ACTUAL LOT COVERAGE:

EXISTING BUILDING	= 2,102 s.f.
PHASE 1 BUILDINGS	= 2,612 s.f.
PHASE 2 BUILDINGS	= 2,800 s.f.
DRIVEWAY/WALKS:	= 6,100 s.f.
TOTAL IMPERVIOUS	= 13,614 s.f. = 14.2%

LEGAL INFORMATION:
 LOT 8, ASSESSOR'S PLAT OF HARRISONVILLE, PRIVATE CLAIM 110, T40N, R3W, MACKINAC ISLAND, MACKINAC COUNTY MICHIGAN.
 TAX I.D. #: 051-630-008-00

2287 CADOTTE AVE.
 MACKINAC ISLAND, MI, 49757

- SITE NOTES:**
- BICYCLE PARKING RACKS ARE PROVIDED AT THE EXISTING AND PROPOSED BUILDINGS AT A RATE OF 1 PER OCCUPANT.
 - COMMON SCREENED TRASH, w/ 4'-0" HEIGHT LAPPED SIDING SCREEN WALL w/ GATES.
 - LIGHTING - NO AREA LIGHTING PROPOSED. COACH 15W LED's LIGHTING PROVIDED AT BUILDING ENTRANCES SHIELDED TO CONFINE LIGHT WITHIN THE SITE.
 - STORMWATER HARD SURFACES INCREASE FROM 8.5% PRE DEVELOPMENT TO 14.0% POST DEVELOPMENT AND SHALL CONTINUE TO DRAIN TO AND ABSORB INTO CURRENT GRASS AND VEGETATION. BASED ON LOW IMPERVIOUS TO PERVIOUS RATIO AND WIDE DISPERSION OF HARD SURFACES, NO STORMWATER RETENTION IS DEEMED NECESSARY.

LEGEND:

	IRON
	CONCRETE
	ELECTRIC BOX
	TELEPHONE BOX
	FIRE HYDRANT
	PROPERTY LINE
	SETBACK LINE
	FENCE
	EDGE OF TREES
	SANITARY LINE
	WATER LINE
	U.G. ELECTRIC

SITE PLAN
 SCALE 1" = 20'-0"
 0 20

Richard Clements Architect, PLLC 1520 Merry Lane Oshtemo, MI 49759 richardc@1523@ire.com 989-370-3681	CARRIAGE TOURS EMPLOYEE HOUSING 2287 CADOTTE MACKINAC ISLAND MI,	prior: July 21, 2022 project: 2203	sheet: A1.0
		rev: Aug. 14, 2023 rev: Apr. 24, 2023	SITE PLAN COPYRIGHT © 2022

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

SIGNATURES
Signature Andrew McGreevy Stephanie McGreevy
Please Print Name

Signed and sworn to before me on the day of ,

Notary Public
County, Michigan
My commission expires:

FOR OFFICE USE ONLY

Zoning Permit Issued:

Table with 5 columns: Inspection, Date, Inspector, Comments. Rows 1, 2, 3.

Occupancy Permit Issued

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|--|-------------------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Katie Pereny

From: London Square <london1776@gmail.com>
Sent: Thursday, July 27, 2023 12:59 PM
To: Katie Pereny
Subject: This is to go with McGreevys fence extension.

To whom it may concern,
Our neighbor asked if they could put up a privacy fence between their rental unit and our property. We have no problem with that as long as it's no higher then six feet from ground up like Andrew Doud's privacy



fence, also that it's see through, and since the lot line is dead center of the 4x4 that is only erected on their half of the 4x4 and that it's aesthetically appealing on our side.

The reason for six feet height like the average privacy fences like Doud's, so that it does not look like and eyesore from the lane plus it does not block the sun on our vegetable garden and flowers that we spend thousands of dollars on our plants every year. The reason for open spaces on fence like lattice work so it does not stop our airflow where we site all summer in our upper terrace. We get a nice breeze come through that area. The reason for staying on their side of the 4x4 is because he made such a big stink down at my neighbors house when Stephany gave porky and Phyllis permission to be a half of an inch onto their property and when Andrew found out, he made porky and my cousin dig it all up even the cement for his precious 1/2 inch. So since he already drew the line on that one he stays on his half of the 4x4. The

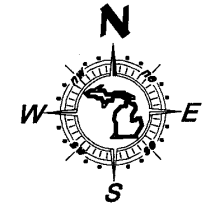
reason for having it look **aesthetically pleasing** our garden has been in magazines and books and people take pictures of our beautiful back yard every day and we don't want to have to look at 15 to 20 foot long big eyesore.

Thanks
Jeffrey Shaffer
Dwight LaPine

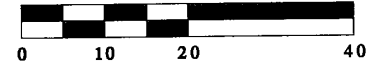
iPhone 13 pro max

LIBER 938 PAGE 297

Lot 1 & 2, Block 2, Assessor's Plat No. 4
Part of Lot 1, Block 3, Assessor's Plat No. 4
City of Mackinac Island, Mackinac County, M

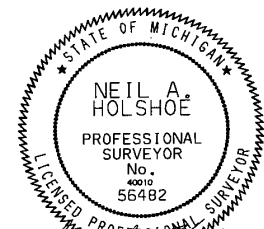


SCALE: 1" = 20'

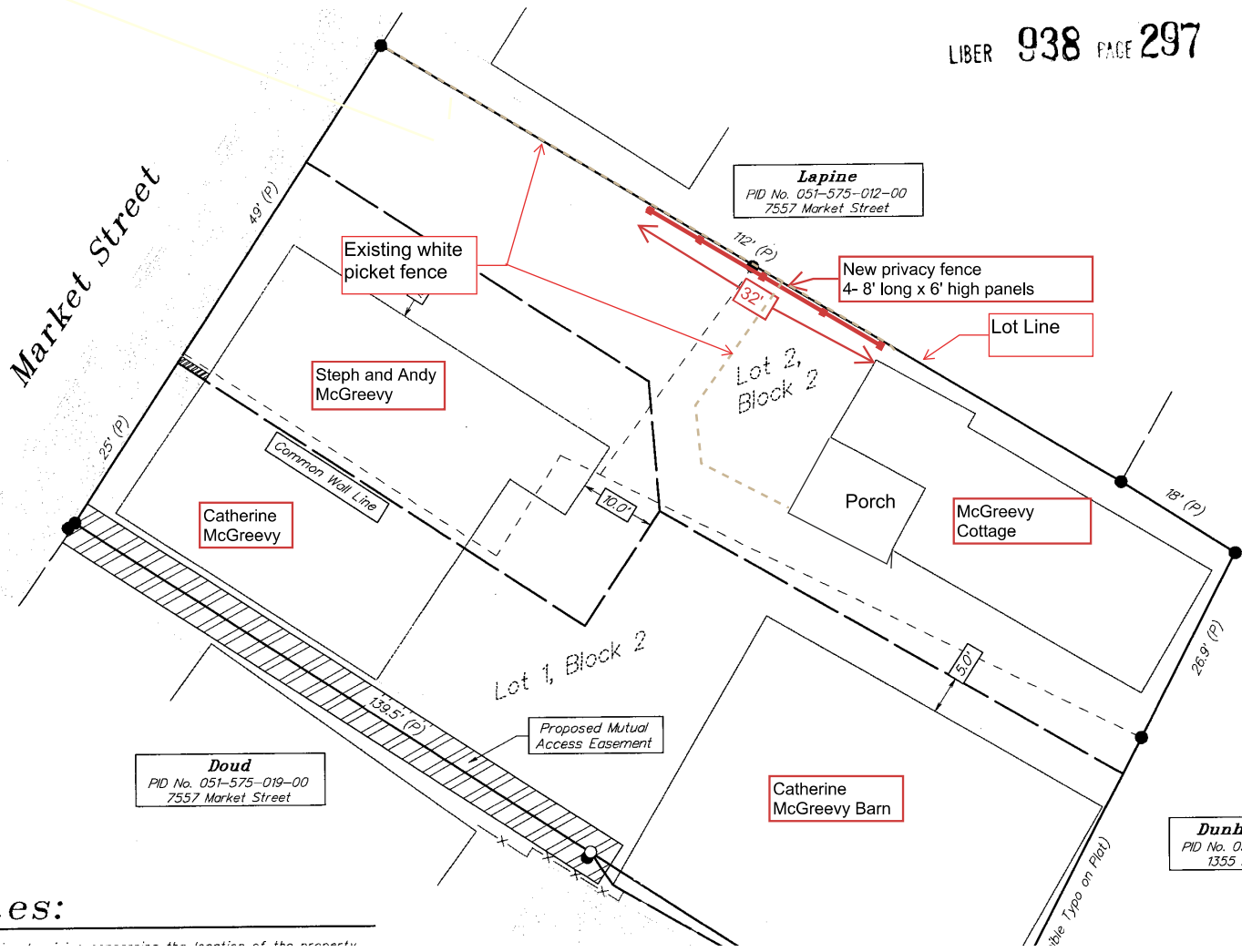


Legend:

- Found Survey Iron
- Set 5/8" Iron Capped PS No. 5
- Approximate Existing Boundary
- - - Existing Parcel Lines
- - - Proposed Property Adjustment



Neil A. Holshoe



Notes:

...



Eastern UP GIS

Parcel Report: 051-575-011-11

8/16/2023
9:50:46 AM



Property Address

-
- - -

Owner Address

MCGREEVY ANDREW M & STEPHANIE W

PO BOX 225

MACKINAC ISLAND, MI 49757-0225

Unit:

051

Unit Name:

CITY OF MACKINAC ISLAND

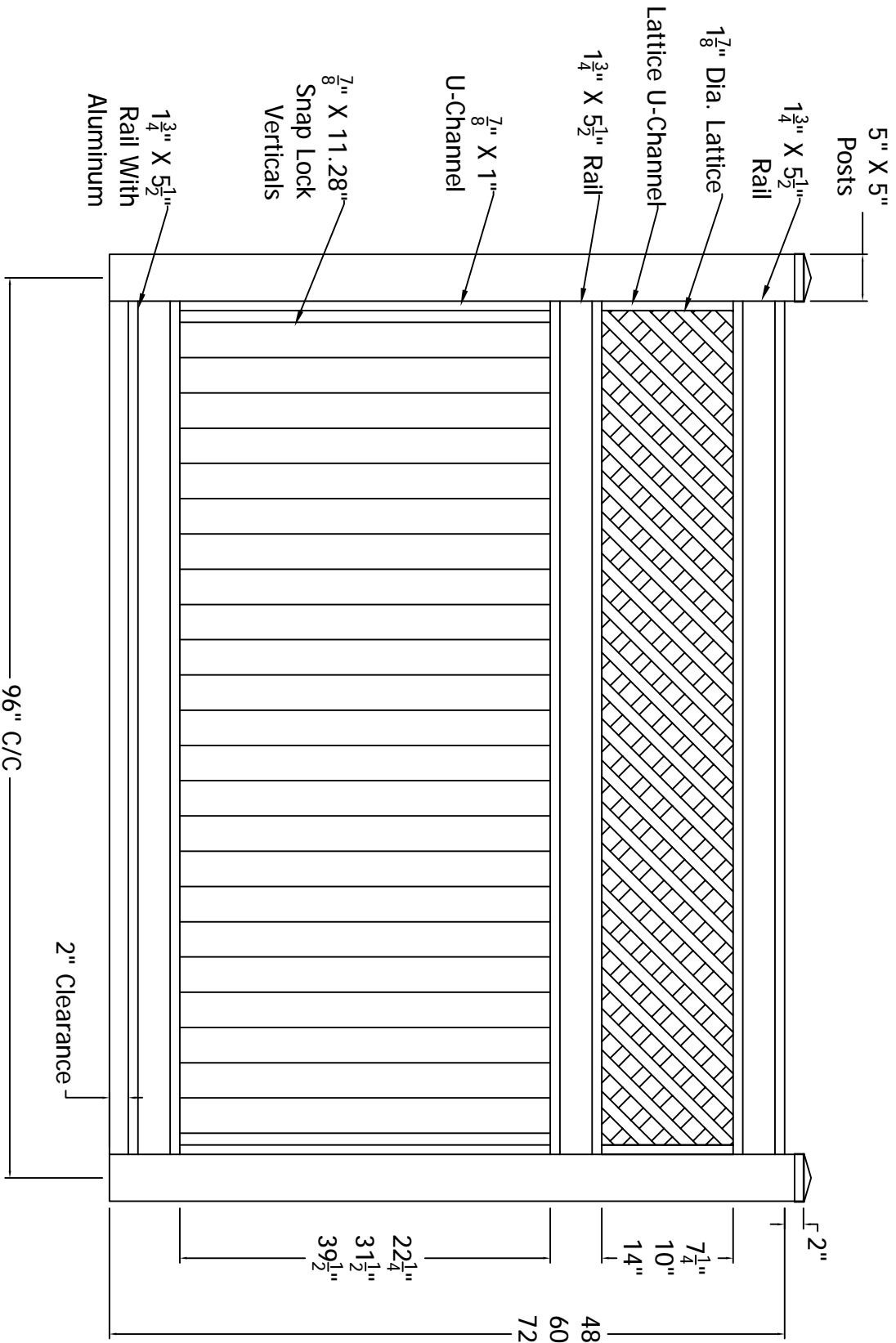
General Information for 2023 Tax Year

Parcel Number:

051-575-011-11

Legal Description

PT OF LOT 1 & 2 BLOCK 2 ASSESSORS PLAT NO 4 COMM AT COR BETWEEN LOTS 2 & 3 ON ELY LI OF MARKET ST, TH ALG THE NLY LI OF LOTS 2 S 58 DEG 55' 04" E 112.10 FT, TH CONT ALG LO LI S 57 DEG 30' 31 E 17.51 FT TO NLY COR, TH ALG ELY LIS 27 DEG 01' 39" W 27.04 FT, TH ALG ELY LI OF LOT 1 S 27 DEG 20' 10" W 5.28 FT, TH N 59 DEG 51' 46" W 69.44 FT, TH N 04 DEG 27' 13" W 17.03 FT, TH N 56 DEG 51' 29" W 53.13 FT TO ELY LI OF MARKET ST, TH ALG ELY LI N 32 DEG 55' 40" E 18.06 FT TO POB CONT .08 AC +/-



REV.	LOC.	REVISION	DATE



DSI Digger Specialties Inc.
 3446 US 6 EAST
 Bremen, IN 46506
 diggerspecialties.com

DRAWN BY: EH	STYLE:
DATE DRAWN: 01-11-2019	Majestic
SCALE = 1"=1"	AS SHOWN: 72" T Majestic
DRAFT NO.: 20190111-1E	LOC: Z:\Vrm\polyvinyl Fence\Majestic\Updated Standard Drawings
	REV:

4 3 2 1

96" C/C

2" Clearance

1 3/4" X 5 1/2"
 Rail With
 Aluminum

7/8" X 1 1/8"
 Snap Lock
 Verticals

7/8" X 1"
 U-Channel

1 3/4" X 5 1/2" Rail

Lattice U-Channel

1 7/8" Dia. Lattice

1 3/4" X 5 1/2"
 Rail

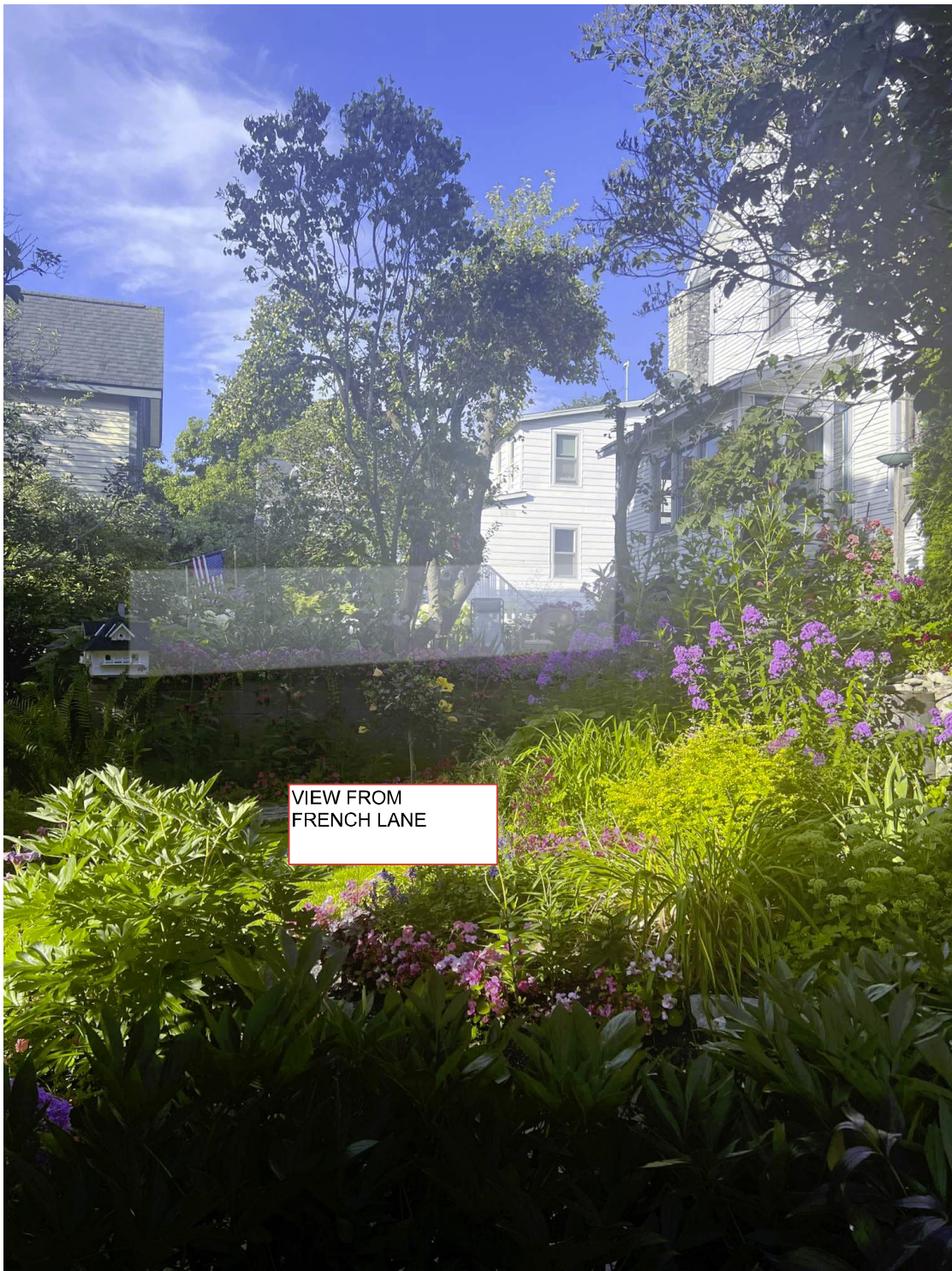
5" X 5"
 Posts

2"
 2"
 7 1/4"
 10"
 14"
 48"
 60"
 72"
 22 1/4"
 31 1/2"
 39 1/2"





NEW 6' X 32' PRIVACY FENCE



VIEW FROM
FRENCH LANE

CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

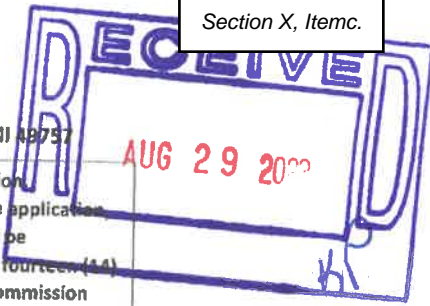
www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:
Barry J Polzin

906-226-8661 bpolzin@bjparchitects.com
Phone Number Email Address

Property Owner & Mailing Address (If Different From Applicant)
BSI RESORT HOLDINGS LLC
100 Saint Paul Street, Suite 800
Denver, CO 80206

Please complete both sides of application.
The Fee and fourteen (14) copies of the application
plans and all required documents must be
submitted to the Zoning Administrator fourteen (14)
days prior to the scheduled Planning Commission
Meeting.



- Is The Proposed Project Part of a Condominium Association? No
- Is The Proposed Project Within a Historic Preservation District? Yes
- Applicant's Interest in the Project (If not the Fee-Simple Owner): Architect
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? No
- Is a Variance Required? No
- Are REU's Required? How Many? None

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-550-021-00
- B. Legal Description of Property: See A0 0
- C. Address of Property: 7416 Main St
- D. Zoning District: C Commercial
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
- G. Sketch Plan Attached: Yes
- H. Architectural Plan Attached: Yes
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: N/A
- K. Photographs of Existing and Adjacent Structures Attached: Yes

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity):

Commercial: Hotel, Food & beverage, retail

Proposed Use: No change in use.

File No 23.021.068(H)

Exhibit A

C. If Vacant:

Previous Use: N/A

Proposed Use: _____

Length of Time Parcel Has Been Vacant: _____

Date 8.29.23

Initials KP

OFFICE USE ONLY

FILE NUMBER: 23.021.068(H)

FEE: \$400 -

DATE: 8.29.23

CHECK NO: 10176

INITIALS: KP

Revised Oct 2018

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

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Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|--|--------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

1. The plan shall be drawn to [a] scale of not greater than one inch equals 20 feet for a development of not more than three acres and a scale of not less than one inch equals 100 feet for a development in excess of three acres with north point and scale shown on the plan drawing. See sheet A1.0 & A1.1 for plans and north arrows.
2. The plan shall show an appropriate descriptive legend. North arrow, scale, date of preparation and the name and address of the individual or firm preparing the same. See attached plans
3. The property shall be identified by lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property. See attached sheet C1.0
4. The topography of the site with at least two- to five-foot contour intervals and all natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features shall be shown. Topography is shown on C1.0 the rest is N/A.
5. Existing manmade features upon the site and within 100 feet of the same shall be identified. All features have been identified on A1.0 and C1.0.
6. The location, proposed :finished floor and grade line elevations, size of proposed main and accessory buildings, the relationship of buildings to one another and to any existing structures on the site, the height of all buildings and square footage of floor space therein shall be disclosed. Site plans for multiple family residential development shall also include a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units. N/A
7. All proposed and existing streets, driveways, sidewalks and other bicycle or pedestrian circulation features upon and adjacent to the site shall be shown, together with the location, size and number of on-site parking areas, service lanes thereto, and parking and delivery or loading areas. See C1.0
8. The location, use and size of open spaces together with landscaping, screening, fences, walls and proposed alterations of topography or other natural features shall be indicated. No changes proposed to any landscaping.
9. The proposed operations on the site shall be described, in writing, in sufficient detail to indicate the effect, if any, upon adjoining lands and occupants with any special features which are proposed to relieve any adverse effects to adjoining land and occupants. Any potential demands for future community services will be described, together with any special features which will assist in satisfying such demands. See A1.0 for project description, no changes in demands for services.
10. Any earth-change plans required by state law shall also be submitted with the application. N/A
11. On site lighting, surface water drainage for the site, proposed sanitary sewage disposal, water supply, solid waste storage and disposal, other utility services (i.e., propane tanks, electrical service, transformers), and utility easements shall be included in the plans. N/A no change

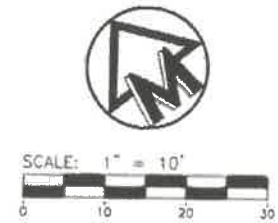
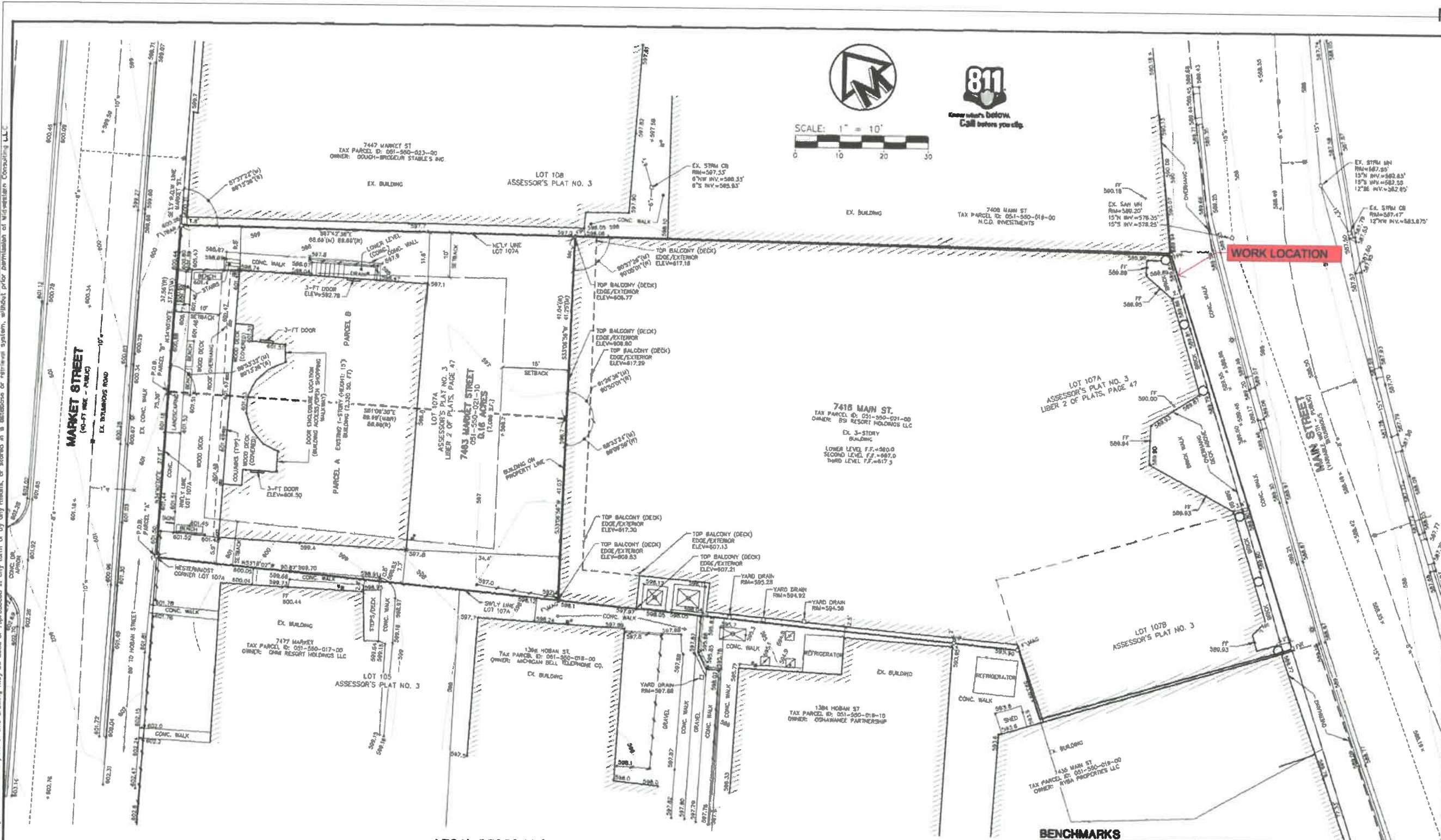
12. A general description and location of stormwater management system shall be shown on the grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features. **N/A no change**
13. Any feature of the proposed development that would directly or indirectly impact a public right-of-way, public utility, or adjoining property. See **A1.0 for changes to façade on Main Street.**
14. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan). **This is minor change to the façade any materials, equipment, construction debris, and any trash will be stored within the building and then hauled by Drey pickup to be scheduled with Mackinac Island Service company as necessary.**
15. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed. **Construction Materials will be stored in the courtyard between the Carousel Arcade and the Bicycle Street Inn. Construction debris will be placed there as well with Drey pickup to be scheduled with Mackinac Island Service company as necessary. A temporary orange construction barrier will be placed between the Carrousel and the Stables to limit access into the Construction Staging Area.**
16. Proposed construction start date and estimated duration of construction. **Proposed start date November 1st, completed by Mid-April**
17. Such other information as may be determined to be necessary by the planning commission

BICYCLE STREET

Section X, Itemc.

MACKINAC ISLAND, MICHIGAN
AUGUST 23, 2023

RECEIVED
AUG 29 2023



WORK LOCATION

Copyright © 2023 Midwestern Consulting LLC. All rights reserved. No part of this drawing may be used or reproduced in any form or by any means, or stored in a retrieval system, without prior permission of Midwestern Consulting LLC.

LEGAL DESCRIPTION

(Per Near North Title Group, Commitment No. M0203514, with Conveyance Date of April 11, 2022)
Sited in the City of Mackinac Island, Mackinac County, Michigan:

Parcel A:
Beginning at the Westmost corner of Lot 107A, ASSESSOR'S PLAT NO. 3, according to the recorded Plat thereof as recorded in Liber 2 of Plats, Page 47, Mackinac County Records, thence Northwesterly along the Northwesterly line of said Lot 107A 37.57 feet to an iron stake thence at an angle of 89°13'25" to the right from the last described course 89.89 feet to an iron stake; thence at an angle of 89°09'59" to the right from the last described course 41.03 feet to an iron stake on the Southwesterly line of said Lot 107A, thence Northwesterly along the Southwesterly line of said Lot 107A 90.87 feet to the Point of Beginning; being a part of said Lot 107A, ASSESSOR'S PLAT NO. 3, according to the recorded Plat thereof as recorded in Liber 2 of Plats, Page 47, Mackinac County Records.

Parcel B:
Commencing at the Westmost corner of Lot 107A, ASSESSOR'S PLAT NO. 3, according to the recorded Plat thereof as recorded in Liber 2 of Plats, Page 47, Mackinac County Records, thence Northwesterly along the Northwesterly line of said Lot 107A 37.57 feet to an iron stake thence at an angle of 89°13'25" to the right from the last described course 41.04 feet to an iron stake on the Northwesterly line of said Lot 107A, thence Northwesterly along the Northwesterly line of said Lot 107A 85.56 feet to an iron stake at the Northmost corner of said Lot, thence Southwesterly along the Northwesterly line of said Lot 107A 37.58 feet to the Point of Beginning; being a part of said Lot 107A, ASSESSOR'S PLAT NO. 3, according to the recorded Plat thereof as recorded in Liber 2 of Plats, Page 47, Mackinac County Records.

BENCHMARKS

BENCHMARK #1:
TOP ARROW ON HYDRANT, IN WEST RIGHT-OF-WAY OF MARKET ST., AT THE INTERSECTION OF HOBAN ST., ±100' S. OF 746J MARKET ST., ELEVATION=607.07' (NAVD88)

BENCHMARK #2:
TOP ARROW ON HYDRANT, IN EASTERLY RIGHT-OF-WAY OF MAIN ST., AT THE INTERSECTION OF HOBAN ST., ±100' S. OF 7416 MAIN ST., ELEVATION=589.65' (NAVD88)

LEGEND

⊛	DIST. LIGHT POLE	⊠	FENCE
—	DIST. WATER MAIN	⊞	BLDG. TRANSFORMER
⊙	DIST. HYDRANT	⊞	EXST. AC UNIT
⊞	DIST. GATE VALVE IN BOX	⊞	EXST. SIGN
⊞	EXST. FIRE DEPARTMENT CONNECTION	⊞	EXST. POST
⊞	DIST. STORM SEWER	⊞	TELEPHONE RISER
⊞	EXST. CATCH BASIN OR INLET	⊞	ELECTRIC METER
⊞	EXST. REDWYE INLET	⊞	FOUND IRON PIPE
⊞	EXST. SANITARY SEWER	⊞	FOUND IRON ROD
⊞	EXST. CLEANOUT	⊞	FOUND P.K.

MIDWESTERN
CONSTRUCTION



CLIENT
DAVIDSON HOSPITALITY
One Ravine Drive, Suite 1060
Atlanta, GA 30348
Attn: Tomoro Burns (HopkingsBurns@DavidsonHospitality.com)
734-424-3344

7463 MARKET ST. / 7416 MAIN ST.
TOPOGRAPHIC SURVEY OF PARCELS OF LAND
LOCATED IN THE CITY OF MACKINAC ISLAND
MACKINAC COUNTY, MICHIGAN

1

DATE: 8/23/2023
SHEET 1 OF 1
JOB NO. 22163
DRAWN BY: J.P.
CHECKED BY: J.P.
SCALE: AS SHOWN
PROJECT: BICYCLE STREET

File No. CA3.021-068(F)
Exhibit C
Date 8.29.23
Initials KP

C1.0
4 OF 4

BARRY J. POLZIN
ARCHITECTS

BICYCLE STREET INN

Section X, Itemc.

MACKINAC ISLAND, MICHIGAN

AUGUST 23, 2023

OWNER: BSI RESORT HOLDINGS LLC
100 SAINT PAUL STREET, SUITE 800
DENVER, CO 80206

ARCHITECT: BARRY J POLZIN ARCHITECTS INC.
101 N LAKESHORE BLVD.
MARQUETTE, MI 49855

ZONING: C COMMERCIAL

PROJECT DESCRIPTION:

THE EXISTING BICYCLE STREET INN WILL REMAIN ON THE SECOND AND THIRD LEVEL. CHECK IN WILL BE MOVED TO THE SECOND FLOOR. A NEW HOTEL ENTRANCE FROM THE STREET WILL BE CREATED.

THE FIRST FLOOR WILL BE CONVERTED BACK TO ITS ORIGINAL USE AS AN OPEN MARKET/FOOD HALL AND RETAIL SPACES. EXTERIOR WILL REMAIN THE SAME EXCEPT REWORKING THE NORTH ENTRY TO BECOME THE NEW HOTEL ENTRANCE.

FOUR WINDOWS ARE PROPOSED TO BE ADDED IN THE BACK TO BRING IN NATURAL LIGHT TO THE REAR OF THE BUILDING.

STOREFRONT WINDOWS ARE ALUMINUM FRAME WITH WOOD TRIM (PAINTED)

WINDOW UNITS ARE ALUMINUM CLAD WOOD WINDOW UNITS WITH CLEAR INSULATING GLASS. ALL WINDOW TRIM IS WOOD (PAINTED).

INDEX

- A1.0 MAIN ST ELEVATION AND PLAN
- A1.1 WEST ELEVATION AND PLAN
- A1.2 RENDERINGS
- C1.0 SITE PLAN/LEGAL



File No. C23-021-068(H)
Exhibit D
Date 8-29-23
Initials KP



MAIN STREET ELEVATION

SCALE: 1/8" = 1'-0"

EXISTING TRANSOM WINDOWS TO REMAIN

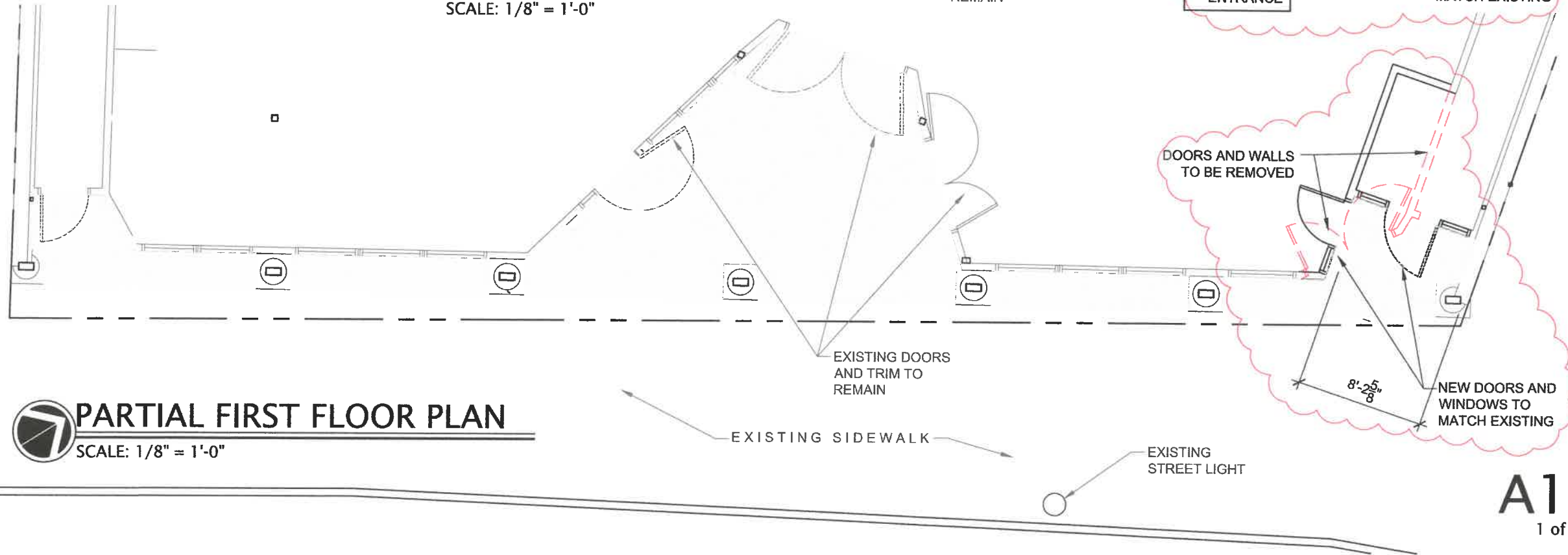
SHORTEN EXISTING AWNING

NEW AWNING FOR BSI

EXISTING DOORS AND TRIM TO REMAIN

NEW HOTEL ENTRANCE

NEW DOORS AND WINDOWS TO MATCH EXISTING



PARTIAL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

DOORS AND WALLS TO BE REMOVED

EXISTING DOORS AND TRIM TO REMAIN

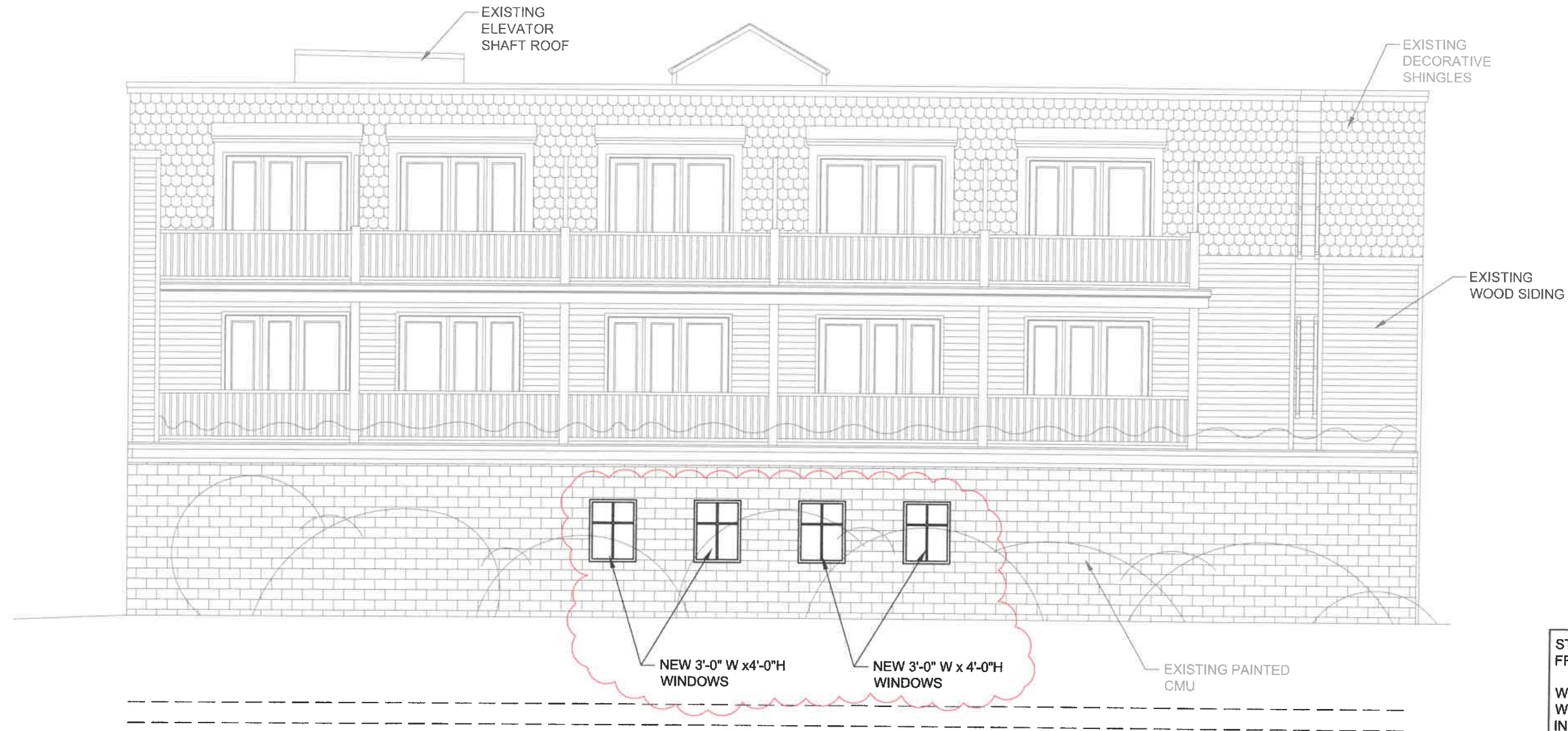
NEW DOORS AND WINDOWS TO MATCH EXISTING

EXISTING SIDEWALK

EXISTING STREET LIGHT

A1.0
1 of 4

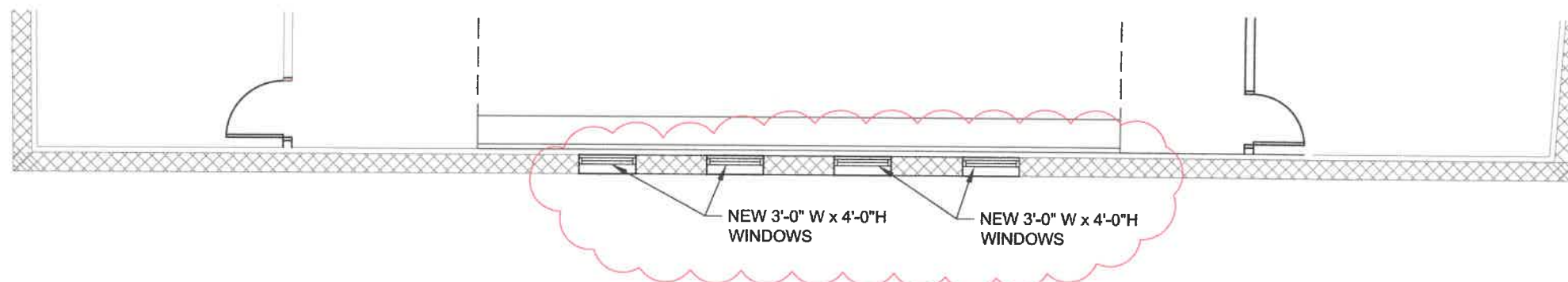
BARRY J. POLZIN
ARCHITECTS



STOREFRONT WINDOWS ARE ALUMINUM FRAME WITH WOOD TRIM (PAINTED)
WINDOW UNITS ARE ALUMINUM CLAD WOOD WINDOW UNITS WITH CLEAR INSULATING GLASS. ALL WINDOW TRIM IS WOOD (PAINTED).

WEST ELEVATION

SCALE: 1/8" = 1'-0"



PARTIAL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

A1.1
2 of 4

BICYCLE STREET INN

Section X, Itemc.
MACKINAC ISLAND, MICHIGAN
AUGUST 23, 2023

RECEIVED
AUG 29 2023
KP



RENDERING

File No. C23-021-068(A)

Exhibit E

Date 8.29.23

Initials KP

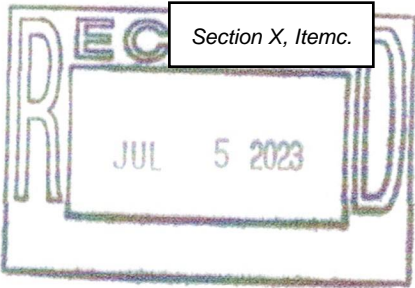
NEW DOORS AND
WINDOWS TO
MATCH EXISTING

A1.2

3 of 4

BARRY J. POLZIN

ARCHITECTS



Richard Neumann Architect

610 Grand Avenue, Petoskey, Michigan 49770, 231.347.0931

29 June 2023

Katie Pereny, Secretary
Historic District Commission
City of Mackinac Island
Mackinac Island, MI 49757

File No. C23-021-068 (A)
Exhibit G
Date 9.6.23
Initials KP

Re: **BICYCLE STREET INN NEW HOTEL ENTRY**
Market and Main Historic District
Design Review

Dear Ms. Pereny:

I have reviewed the renovations proposed to relocate the hotel check-in and entry at the Bicycle Street Inn, 7416 Main Street in the Market and Main Historic District. As a non-historic building, the Inn is a Non-contributing structure in the district.

The proposed work would alter the door configuration at the north corner of the building along the public sidewalk. A pair of existing doors set on an angle would be removed and replaced by a single door serving the first floor retail space, and a second single door serving an enlarged hotel stair entry (the hotel check-in is being relocated to the second floor). The existing retail awning would be shortened, and a new hotel awning would be placed above the enlarged hotel door. New doors, windows, and awnings would match existing similar features. In a separate location on the first floor, four new windows would be added in the existing concrete block rear building wall to let light into the adjoining retail space.

The Standards for review which are applicable to this request are: Standard 9 - Exterior alterations would not destroy materials that characterize the building, and would be compatible with the architectural features of the existing resource. Under Sec. 10-161(b), the architectural character of the property and its relationship to the surrounding district would be maintained. The proposed changes would be compatible in appearance, and would be appropriate to the historic district. As such, I believe the proposed changes would meet the Standards for review.

Sincerely,

RICHARD NEUMANN ARCHITECT

Rick Neumann
Rick Neumann

- c. Barry Polzin, Barry J. Polzin Architects
Dennis Dombroski, City of Mackinac Island
Gary Rentrop, Rentrop & Morrison

20170707 FAX 01/23/23

CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

HORAN HILL PROPERTIES, LLC
PO Box 481 MACKINAC IS.
231-881-3343 BBENS@PREMIE.COM

Phone Number

Email Address



Please complete both sides of application.

The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Robert G. Benser MEMBER

Is The Proposed Project Part of a Condominium Association? NO, BUT IN THE FUTURE

Is The Proposed Project Within a Historic Preservation District? NO

Applicant's Interest in the Project (If not the Fee-Simple Owner): —

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO

Is a Variance Required? NO

Are REU's Required? How Many? YES (14)

(I THANK)

Type of Action Requested:

Standard Zoning Permit

Special Land Use

Planned Unit Development

Other _____

Appeal of Planning Commission Decision
Ordinance Amendment/Rezoning
Ordinance Interpretation

Property Information:

A. Property Number (From Tax Statement): OSI-630-007-30

B. Legal Description of Property: SEE ATTACHED

C. Address of Property: 2269 CADOTTE AVE

D. Zoning District: R3

E. Site Plan Checklist Completed & Attached: YES

F. Site Plan Attached: (Comply with Section 20.04 of the Zoning Ordinance) YES

G. Sketch Plan Attached: YES

H. Architectural Plan Attached: YES

I. Association Documents Attached (Approval of project, etc.): _____

J. FAA Approval Documents Attached: BY NEIL HELL

K. Photographs of Existing and Adjacent Structures Attached: YES

Proposed Construction/Use:

A. Proposed Construction: _____

New Building

Other, Specify _____

Alteration/Addition to Existing Building

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity): _____

Proposed Use: _____

C. If Vacant:

Previous Use: VACANT

Proposed Use: MANAGEMENT / EMPLOYEE HOUSING

Length of Time Parcel Has Been Vacant: MANY YEARS

OFFICE USE ONLY

FILE NUMBER: _____

FEE: _____

DATE: _____

CHECK NO: _____

INITIALS: _____

Revised July 2023

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the _____ (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Signature

Robert S. Benser

SIGNATURES

Signature

Please Print Name

Robert S. Benser

Please Print Name

Signed and sworn to before me on the 29 day of August, 2023.

BRENDA BUNKER, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 07/21/2025

Notary Public

[Signature]

County, Michigan

My commission expires: _____

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

Inspection

Date

Inspector

Comments

1. _____
2. _____
3. _____

Occupancy Permit Issued _____

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan Informational Requirements (Section 20.04, B and C)

General Information

Provided

Not Provided or Applicable

- 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.
- 2. Name and address of the individual or firm preparing the site plan
- 3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres
- 4. Legend, north arrow, scale, and date of preparation
- 5. Legal description of the subject parcel of land
- 6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property
- 7. Area of the subject parcel of land
- 8. Present zoning classification of the subject parcel
- 9. Written description of the proposed development operations
- 10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants
- 11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission

Natural Features

Provided

Not Provided or Applicable

- 12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)
- 13. Topography of the site with at least two- to five-foot contour intervals
- 14. Proposed alterations to topography or other natural features
- 15. Earth-change plans, if any, as required by state law

Physical Features

Provided

Not Provided or Applicable

- 16. Location of existing manmade features on the site and within 100 feet of the site
- 17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Architectural Review
Informational Requirements (Section 18.05)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>



August 14, 2023

Erin K. Evashevski
Mackinac Island City Attorney
Evashevski Law Office
838 N. State Street
P.O. Box 373
St. Ignace, MI 49781

For R323.007.069

Re: City of Mackinac Island Planning Commission
Application of Hoban Hill Property, LLC

Dear Ms. Evashevski:

On Tuesday, August 8, the City of Mackinac Island Planning Commission granted approval to my client, Hoban Hill Property, LLC, described Project numbers: R323-007-051 and R323-007-052.

The Planning Commission granted approval subject to receipt of verification addressing Section 20.04 of the City's Zoning Ordinance, as it was amended this past Spring. Accordingly, in compliance with the Planning Commission's request, please accept the following written additions to the applications:

20.04(C) – Application Procedure:

13. Any feature of the proposed development that would directly or indirectly impact a public right of way, public utility or adjoining property.

Response: Not applicable.

14. Freight hauling plans.

Response: See attached.

15. Construction Planning Plan.

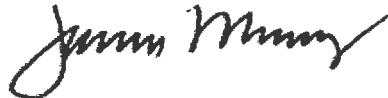
Response: See attached.

16. Proposed construction start date and estimate duration of construction:

Response: *2024*
 Fall ~~2023~~: Excavation and construction of foundation
 May ~~2024~~: *2025* Transportation and setting of pre-manufactured building
 June - August ~~2024~~: Complete on-site construction by local contractors
2025

If you have any questions or concerns, please advise.

Very truly yours,



James J. Murray
Plunkett Cooney
Direct Dial: 231-348-6413

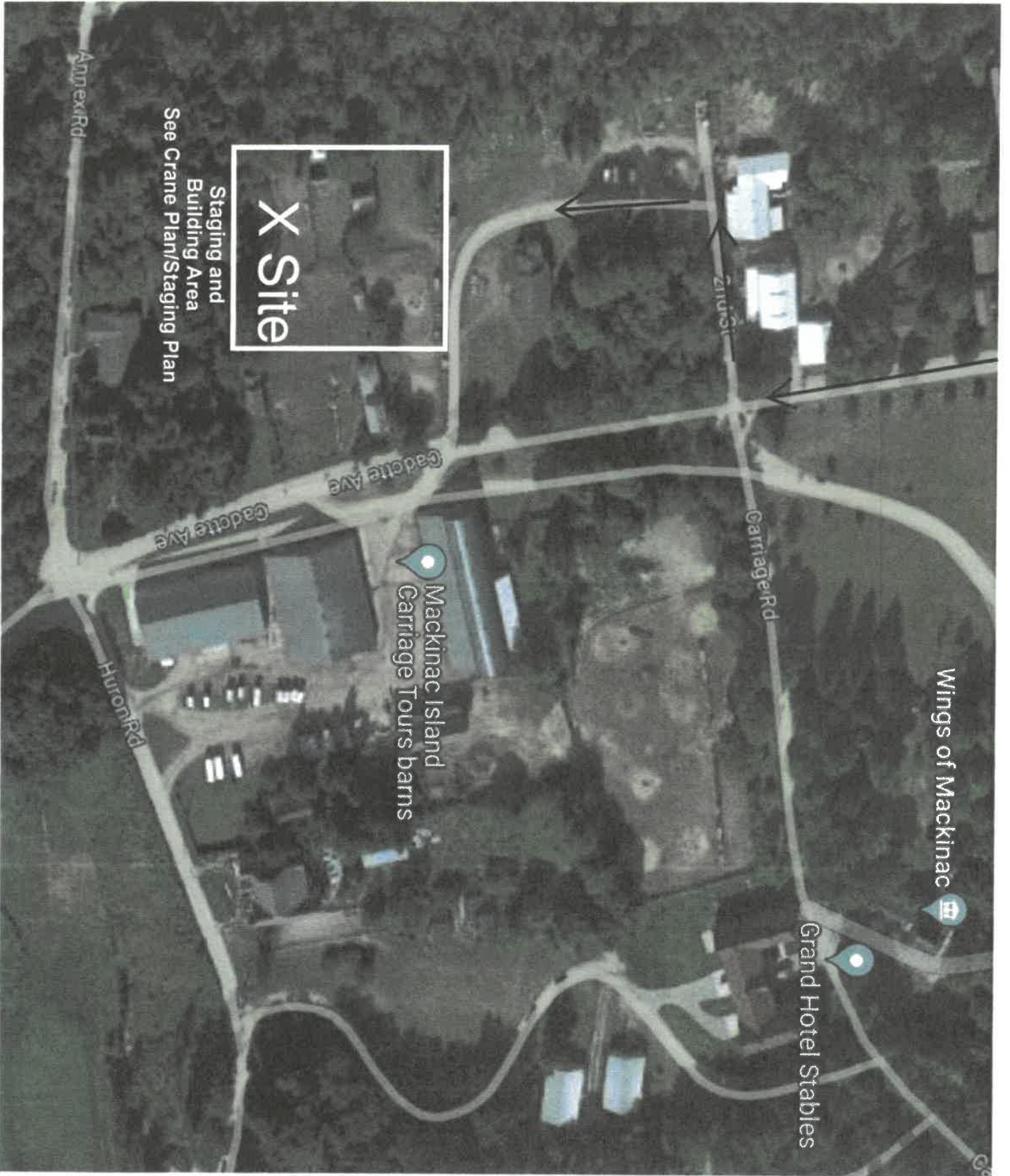
JJM/tll
Enclosures

Cc: Hoban Hill Property, LLC

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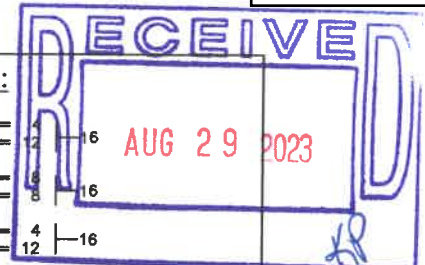
Equipment Needed for Hauling and setting:

- 2 Tractors For Hauling Mods**
- 9 Trailers**
- 1 Set Truck with Sling Trailer**
- 1 Crane**
- 1 Semi Truck with Counter Weight for Crane**





Mackinac Island Travel Route



COMBINED ALLOWABLES:
 ZONING: R-3
 OVERALL SITE AREA = 51,786 s.f. = 1.18 ACRES (ALL 5 LOTS)
 MAXIMUM LOT COVERAGE = 40%
 BUILDING AREA = 17,521 S.F.
 TOTAL IMPERVIOUS LOT COVERAGE = $\frac{17521}{51786} = 33.8\%$
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 ALLOWABLE DENSITY = 1 OCCUPANT PER 500 s.f. SITE

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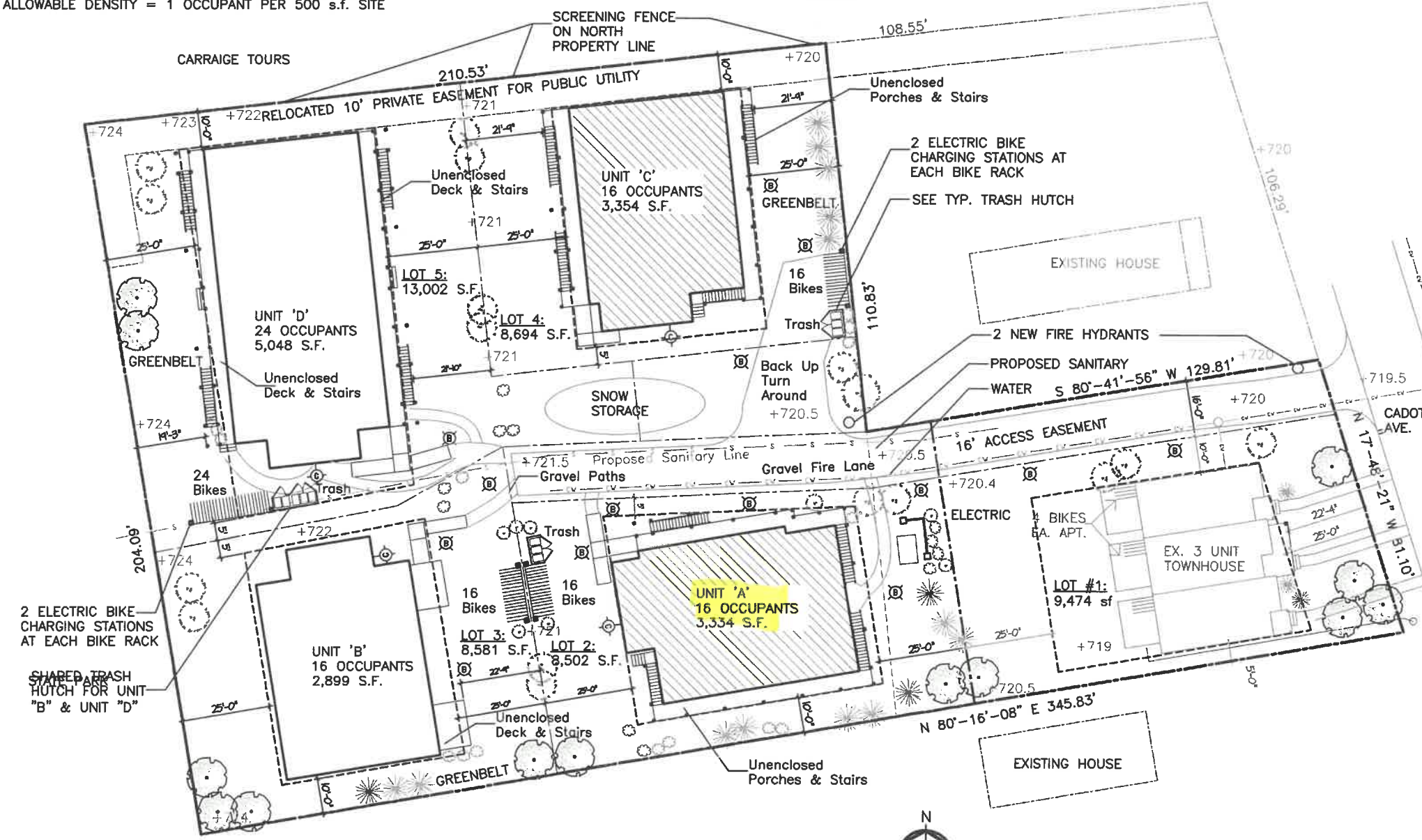
STORMWATER PLAN:
 DESIGN CRITERIA:
 10 YEAR 24 HOUR RAINFALL = 3.3" (SOURCE: MDOE MS4 REPORT) = (0.28") = 0.011' /hour
 INFILTRATION RATE OF SOIL = 0.2"/hr. (SOURCE: USDA) = 0.016"/hour x24 hrs. * 67% = 0.25' / storm event
 DESIGN STORM VOLUME = 15,161 s.f. IMPERVIOUS x 0.28" = 4,246 cu. ft.
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 12 SLEEPING ROOMS = 12x1 = 12
 BUILDING B: 4 SINGLE BEDROOM = 4x2 = 8
 8 SLEEPING ROOMS = 8x1 = 8
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 12 SLEEPING ROOMS = 12x1 = 12
 BUILDING D: 2 SINGLE BEDROOM = 2x2 = 4
 20 SLEEPING ROOMS = 20x1 = 20
 TOTAL OCCUPANTS: = 24 = 72

INDIVIDUAL LOT SIZES:
 LOT #1 AREA = 9,474 s.f. = 0.21 Acres, Min. Width = 65'
 LOT #2 AREA = 8,502 s.f. = 0.19 Acres, Min. Width = 65'
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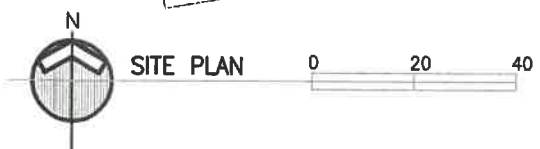
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 LOT #5 ALLOWABLE DENSITY = $\frac{500}{13002} \times 13002 = 26$ ALLOWED, 24 PROPOSED

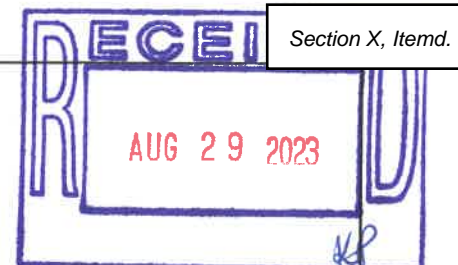


File No. R323-007-069
 Exhibit B
 Date 8-29-23
 Initials KLP

LANDSCAPE NOTES
 A. LANDSCAPE BUFFERS SHALL HAVE A MINIMUM WIDTH OF TEN FEET AND SHALL BE PLANTED WITH GRASS, GROUND COVER, SHRUBBERY, OR OTHER SUITABLE PLANT MATERIAL. THE LOCATION, PLACEMENT, SPACING AND TYPES OF PLANT MATERIALS WILL BE SUCH THAT AN EFFICIENT HORIZONTAL AND VERTICAL OBSCURING OR SCREENING EFFECT BETWEEN LAND USES WILL BE ACHIEVED.
 B. ALL PLANTS COMPRISING THE BUFFER WILL BE CONTINUOUSLY MAINTAINED IN A SOUND, HEALTHY, VIGOROUS GROWING CONDITION, FREE OF DISEASES, INSECT PESTS, REFUSE AND DEBRIS.
 C. MINIMUM SIZES OF TREES AND SHRUBS PLANTED AS A PART OF A LANDSCAPE BUFFER ARE AS FOLLOWS:
 1. DECIDUOUS SHRUBS. MINIMUM TWO FEET IN HEIGHT.
 2. DECIDUOUS TREES. MINIMUM TWO INCHES IN CALIPER (DIAMETER).
 3. EVERGREEN SHRUBS. MINIMUM TWO FEET IN HEIGHT.
 4. EVERGREEN TREES. MINIMUM FIVE FEET IN HEIGHT.

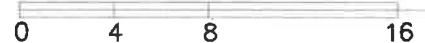


Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 48869 richardlee1523@live.com 989-370-3681	HOBAN HILL HOUSING rev: 07.24.23 rev: 01.16.23 rev: 12.29.22	sheet: A1.0 COPYRIGHT © 2023
	CADOTTE AVENUE MACKINAC ISLAND, MI rev: 08.24.23 rev: 08.16.23 project: 1916	date: 12.27.22



SOUTH ELEVATION

SCALE 1"=4'-0"

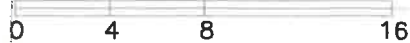


File No. B323'007-069
 Exhibit C
 Date 8.29.23
 Initials KP

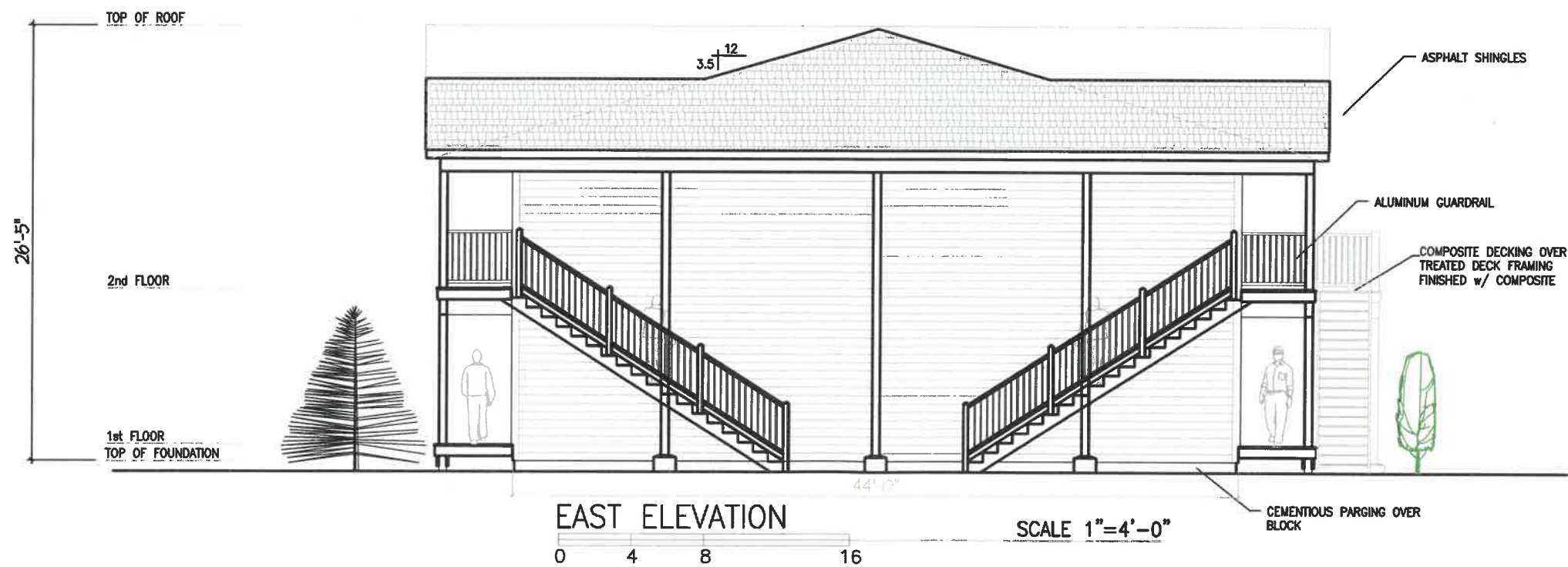


WEST ELEVATION

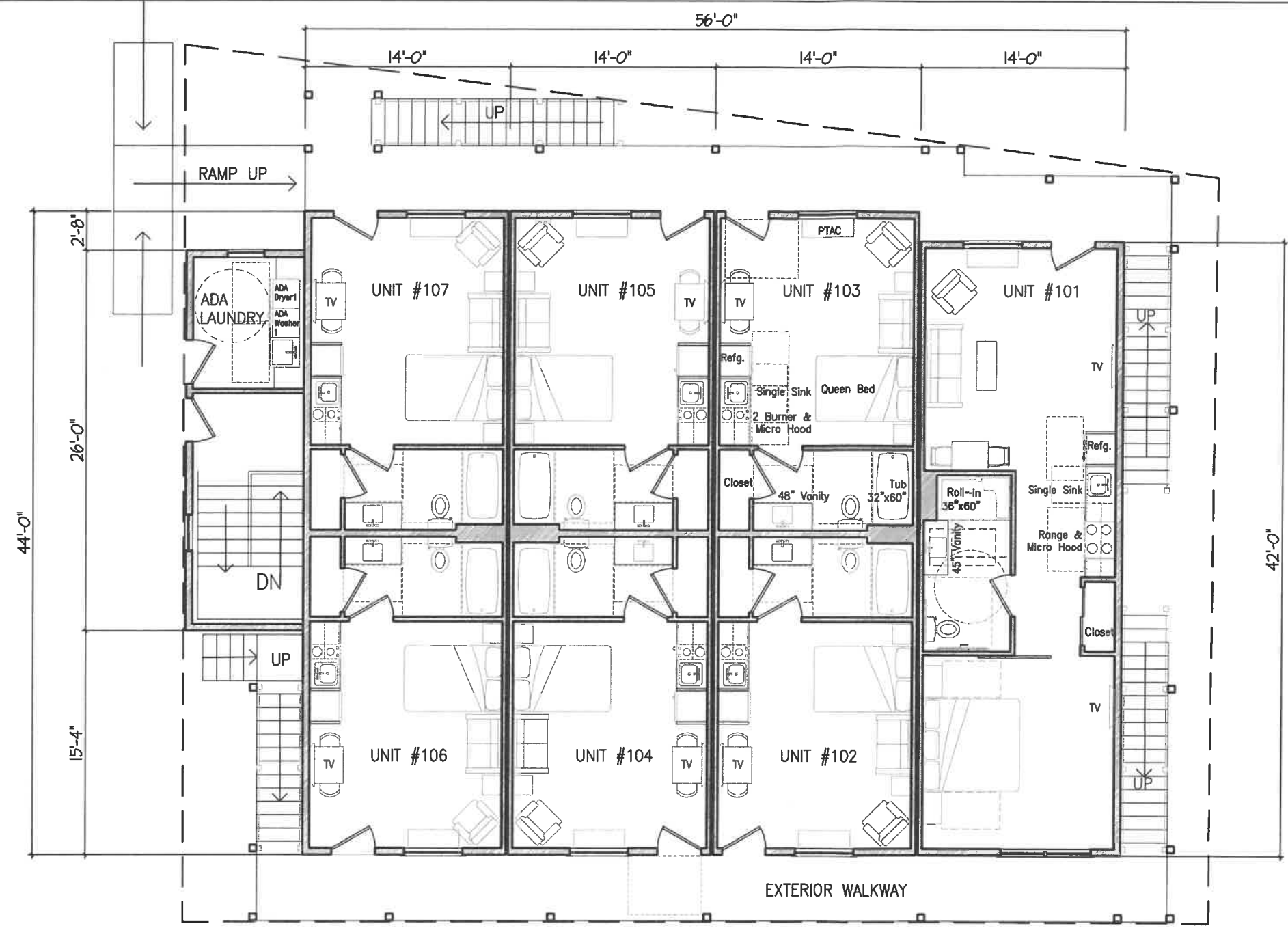
SCALE 1"=4'-0"



Richard Clements Architect, PLLC 15215 Merry Lane Oqueoc, MI 49759 richardlee1523@live.com 989-370-3681	HOBAN HILL BUILDING 1 HOBAN AVE. MACKINAC ISLAND, MICHIGAN	date: Aug. 19, 2023 project: 1916	sheet: B2.1
		BENSER BUILDING	COPYRIGHT © 2023



Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	HOBAN HILL BUILDING 1	date: Aug. 19, 2023 project: 1916	sheet:
	HOBAN AVE. MACKINAC ISLAND, MICHIGAN		BENSER BUILDING



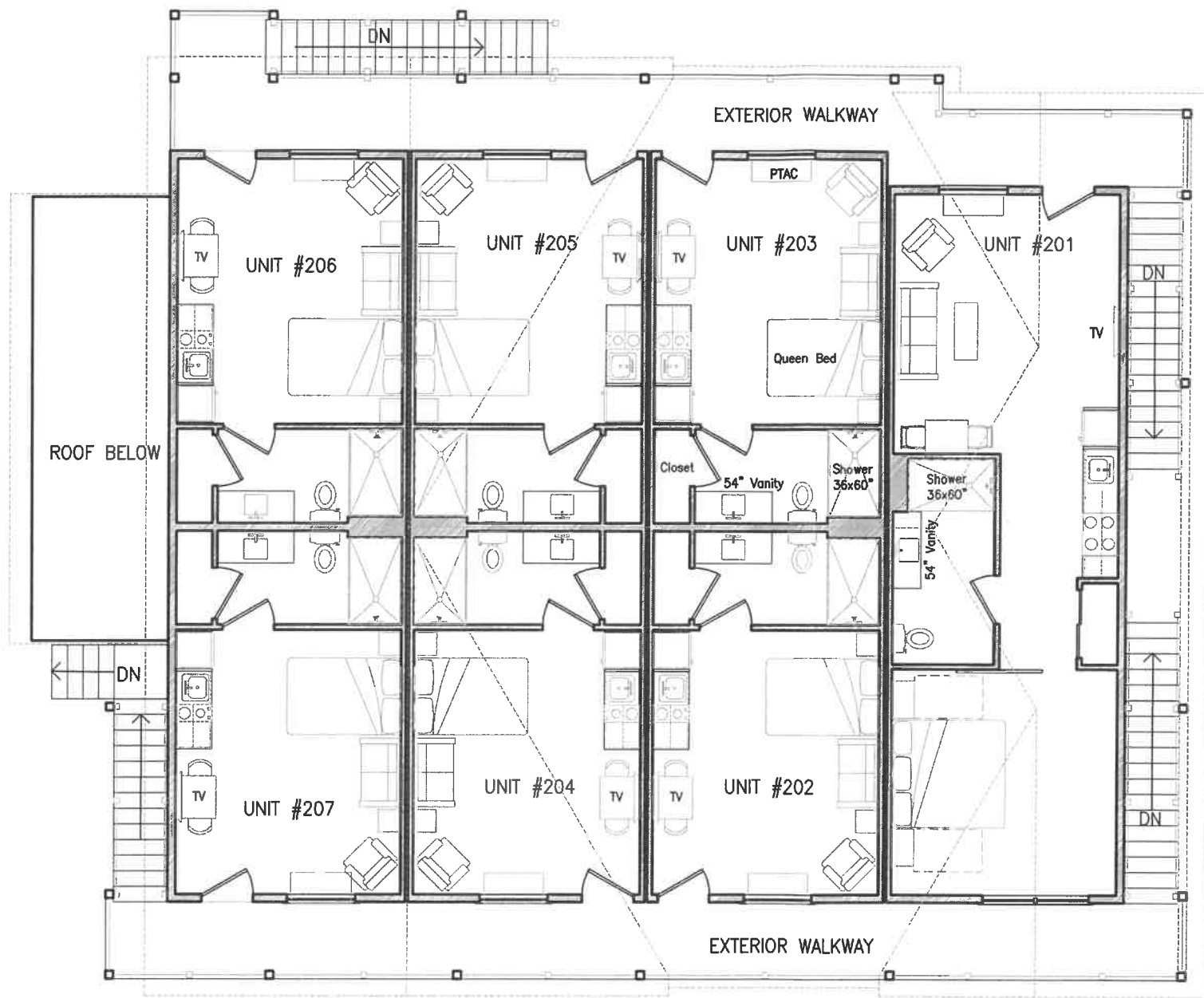
UNIT #101 IS FULLY ACCESSIBLE
 ALL OTHER GROUND FLOOR UNITS ARE SEMI-ACCESSIBLE TYPE B.
 NO ACCESSIBILITY REQUIREMENTS ON 2nd FLOOR.

1st Floor Plan
 0 4 8 16



(2) 1 BR UNITS = 4 OCCUPANTS
 (12) STUDIOS = 12 OCCUPANTS

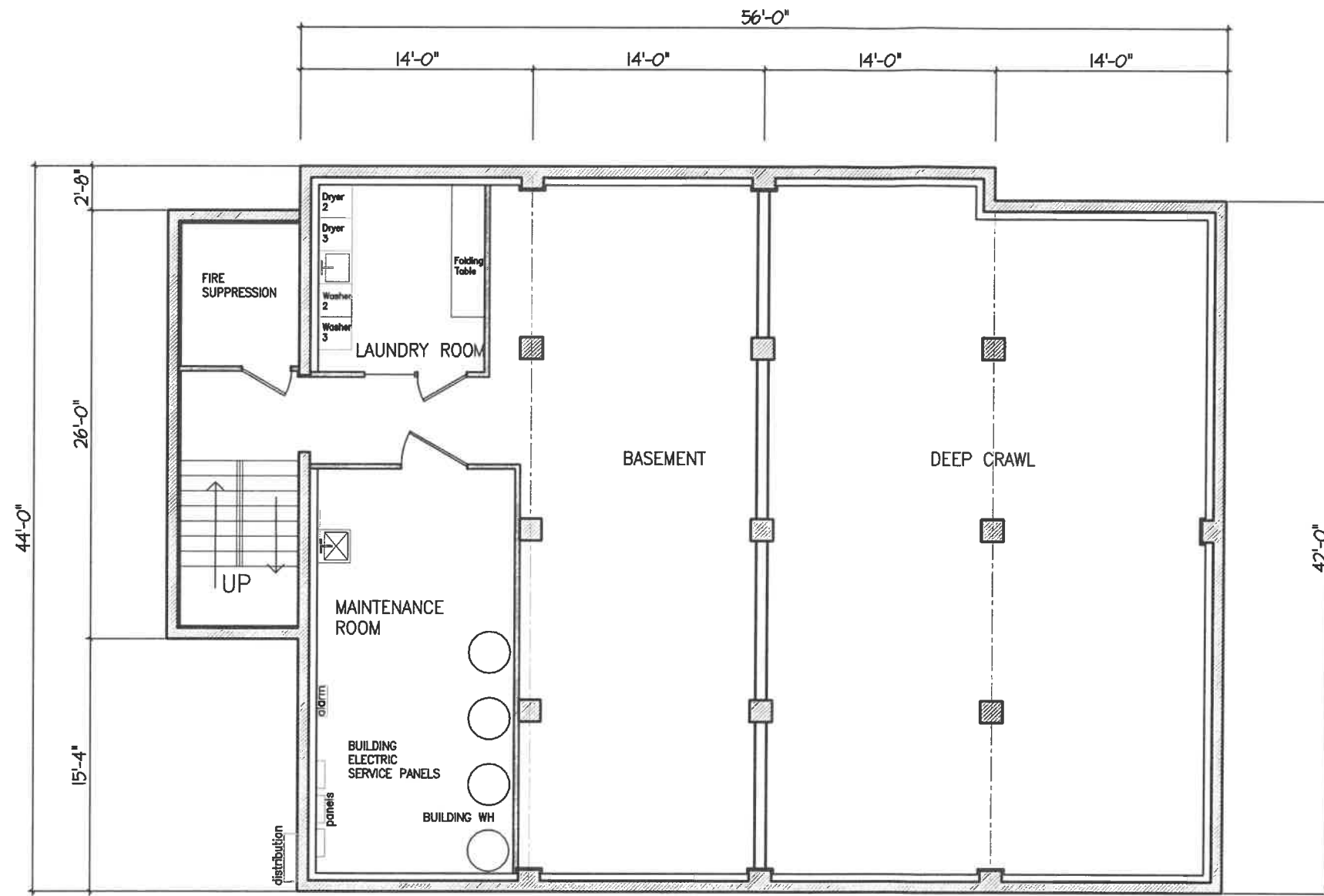
Richard Clements Architect, PLLC 15215 Merry Lane Oscoda, MI 49759 richardlee1523@live.com 989-370-3681	HOBAN HILL BUILDING A	date: Aug. 19, 2023 project: 1916	sheet: B1.1
	HOBAN AVE. MACKINAC ISLAND, MICHIGAN	BENSER BUILDING	COPYRIGHT © 2023



2nd Floor Plan
 0 4 8 16

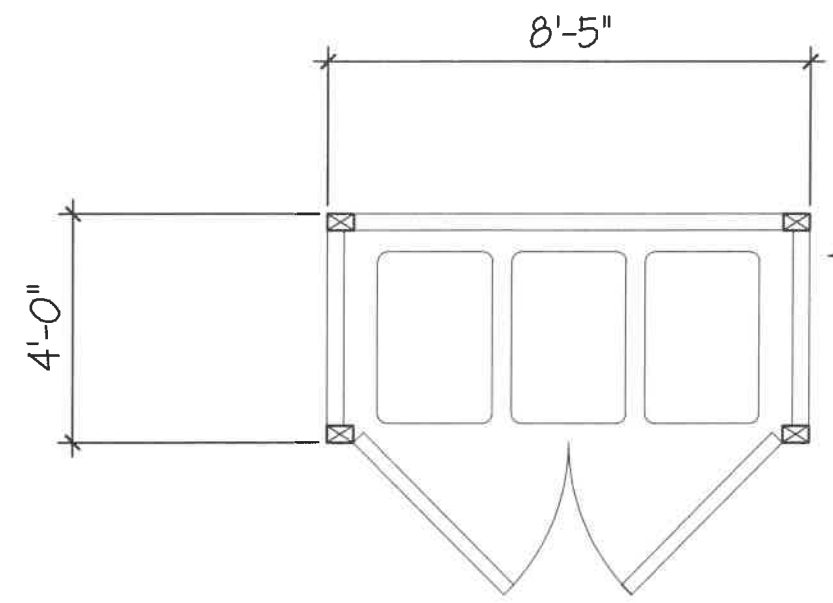
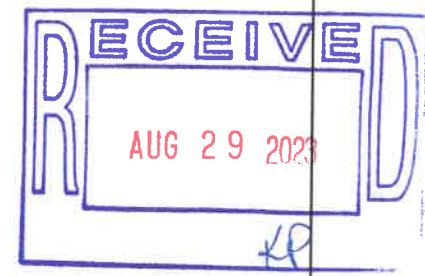


Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	HOBAN HILL BUILDING A	date: Aug. 19, 2023 project: 1916	sheet: B1.2
	HOBAN AVE. MACKINAC ISLAND, MICHIGAN	BENSER BUILDING	COPYRIGHT © 2023



Basement Plan

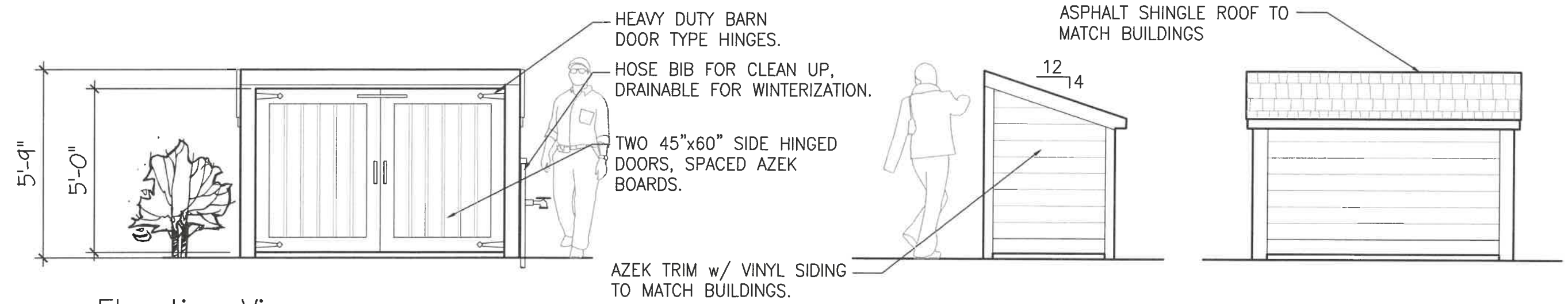
Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	HOBAN HILL BUILDING 4	date: Aug. 19, 2023 project: 1916	sheet: B1.3
	HOBAN AVE. MACKINAC ISLAND, MICHIGAN	BENSER BUILDING	COPYRIGHT © 2023



INDIVIDUAL TRASH HUTCH FOR BUILDINGS "A" & "C"

File No. R323.007.069
 Exhibit D
 Date 8-29-23
 Initials KP

Plan View



Elevation Views

Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1525@live.com 989-370-3681	HOBAN HILL TYPICAL TRASH HUTCH		date: Aug. 24, 2023 project: 1916	sheet: A1.1
	HOBAN AVE. MACKINAC ISLAND, MICHIGAN		TRASH HUTCH	COPYRIGHT © 2023



August 29, 2023

Katie Pereny
City of Mackinac Island
Building & Zoning Department
7358 Market Street
Mackinac Island, MI 49757

Re: Hoban Hill Property, LLC
Mackinac Island, MI

Dear Katie:

I am the attorney for Hoban Hill Property, LLC, a Michigan limited liability company ("Hoban Hill"). On behalf of Hoban Hill, I enclose 5 copies of each of the following applications to the Planning Commission:

1. Parcel No. 051-630-007-30 (Unit A), including:
 - A. Documents from Richard Clements Architect, PLLC which include the site plan, building specifications and trash hutch model
 - B. Documents from Dickinson Homes which includes the proposed travel route and equipment list

2. Parcel No. 051-630-007-20 (Unit C), including:
 - A. Documents from Richard Clements Architect, PLLC which include the site plan, building specifications and trash hutch model
 - B. Documents from Dickinson Homes which includes the proposed travel route and equipment list

Under prior action, the Planning Commission approved the Applications for both Units B and D at its last meeting. Subsequent to the meeting, I furnished City Attorney Erin Evashevski with a supplement on behalf of Units B and D as requested to the Planning Commission. A copy of that correspondence should be in the City's files and is incorporated herein by reference.

As it appears the City's application may not track the amendment to Article 20 of Ordinance 278 passed this last Spring, please consider this a supplement to the application. Specifically, the freight hauling plan is included in the drawings provided by Dickinson Homes. These plans demonstrate how the materials, equipment, construction debris and

trash will be transported to and from the property and the motor vehicles that will be required (New Section 14). In addition, the construction staging plan is also depicted on the attached drawings (New Section 15). As for the proposed construction start date and estimated duration of construction, the answer depends for these units on the approval of REUs from the City. As soon as REUs are approved, the construction start date would be immediately thereafter and, given it is pre-manufactured by Dickinson, the duration of construction should last approximately 3 months (New Section 16).

Finally, as noted, this project is owned by Hoban Hill, but the intent, once approval is received from the Planning Commission, is to proceed with a condominium project. This condominium project will require, by operation of the Michigan Condominium Act, complete plans and specifications, known as "Exhibit B." Exhibit B will have thorough details on utilities, setbacks, legal description and common elements. The condominium plans are intended to be consistent with the drawings submitted to the Planning Commission.

As always, if you have any questions, please do not hesitate to contact me.

Very truly yours,



James J. Murray
Plunkett Cooney
Direct Dial: 231-348-6413

JJM/tll

Enclosures

Open.27463.90836.31692187-1



August 29, 2023

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City of Mackinac Island
Building & Zoning Department
7358 Market Street
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Open.27463.90836.31692187-1

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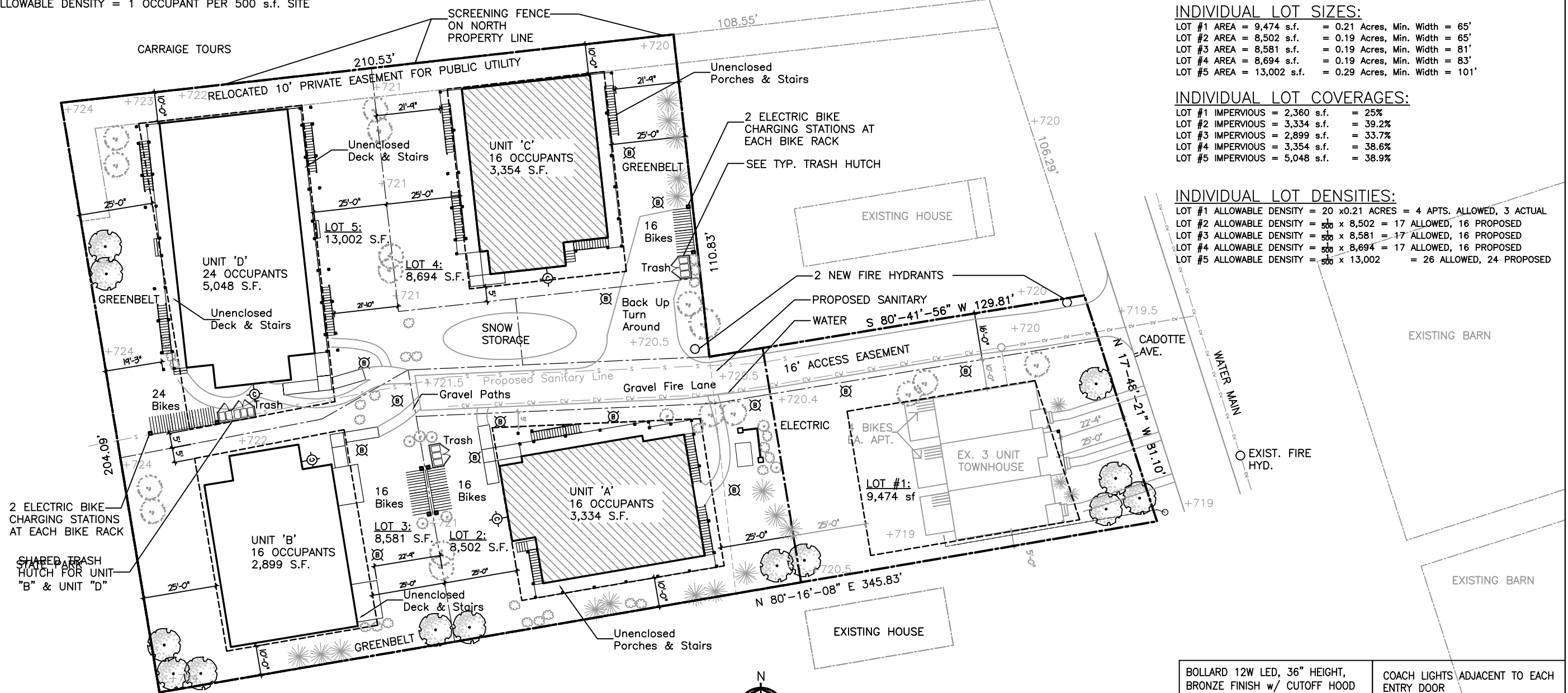
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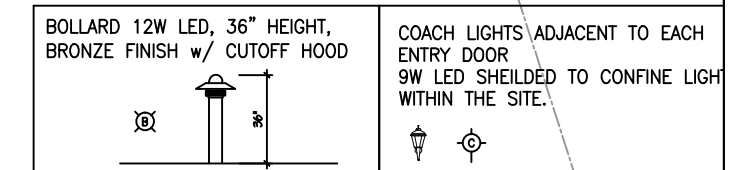
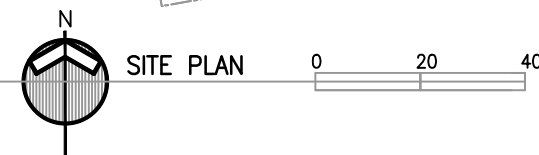
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- A. LANDSCAPE BUFFERS SHALL HAVE A MINIMUM WIDTH OF TEN FEET AND SHALL BE PLANTED WITH GRASS, GROUND COVER, SHRUBBERY, OR OTHER SUITABLE PLANT MATERIAL. THE LOCATION, PLACEMENT, SPACING AND TYPES OF PLANT MATERIALS WILL BE SUCH THAT AN EFFICIENT HORIZONTAL AND VERTICAL OBSCURING OR SCREENING EFFECT BETWEEN LAND USES WILL BE ACHIEVED.
- B. ALL PLANTS COMPRISING THE BUFFER WILL BE CONTINUOUSLY MAINTAINED IN A SOUND, HEALTHY, VIGOROUS GROWING CONDITION, FREE OF DISEASES, INSECT PESTS, REFUSE AND DEBRIS.
- C. MINIMUM SIZES OF TREES AND SHRUBS PLANTED AS A PART OF A LANDSCAPE BUFFER ARE AS FOLLOWS:
 1. DECIDUOUS SHRUBS. MINIMUM TWO FEET IN HEIGHT.
 2. DECIDUOUS TREES. MINIMUM TWO INCHES IN CALIPER (DIAMETER).
 3. EVERGREEN SHRUBS. MINIMUM TWO FEET IN HEIGHT.
 4. EVERGREEN TREES. MINIMUM FIVE FEET IN HEIGHT.



Richard Clements Architect, PLLC
 15215 Merry Lane
 Okemos, MI 49739
 richardlee1523@live.com 989-370-3681

HOBAN HILL HOUSING

CADOTTE AVENUE
 MACKINAC ISLAND, MI

rev: 07.24.23
 rev: 01.16.23
 rev: 12.29.22
 rev: 08.24.23 date: 12.27.22
 rev: 08.16.23 project: 1916

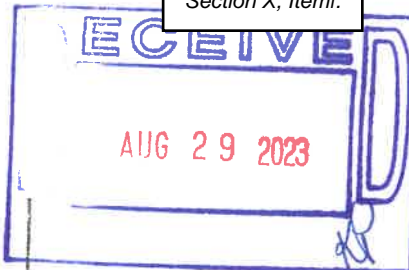
sheet:
A1.0
 COPYRIGHT © 2023

File No. C23-053-070(H)

Exhibit C

Date 8-29-23

Initials KP



PROPERTY INFORMATION

Property Number: 051-550-053-00
School Dist: 49110
Property Address:
7347 MAIN
MACKINAC ISLAND

LEGAL DESCRIPTION:
M2 119 218/12 216/645 271/575 277/695 698/315
723/638WD 725/615WD BLDG & LOT 133 EXC TH NELY
30 1/2 FT ALSO PARCEL OF LAKE HURON BOTTOM LAND
ADJ OPP & CONTIGUOUS TO LOT 133 BEG AT SE
COR OF SAID LOT 133, TH N 25 DEG 30 DEG E ALONG
ELY LINE 70.5 FT TH S 64 DEG 30'E 45 FT TH S 55
DEG 24'30"E 19 FT TH S 32 DEG 19'20"W 67.98 FT
TO S'LY LINE OF LOT 133 EXTENDED TH N 60 DEG 30'W
ALONG SAID LINE EXT 55.69 FT TO POB. .10 A
ASSESSOR'S PLAT NO. 3
*** BALANCE OF DESCRIPTION ON FILE ***

PLEASE NOTE: OFFICE HOURS ARE MONDAY THRU FRIDAY
8:30 A.M. TO 4:30 P.M.

FOR TAXPAYERS IN BANKRUPTCY THIS IS NOT AN ATTEMPT
TO COLLECT. IT IS A STATEMENT OF TAXES DUE AS
REQUIRED BY STATE STATUTE.

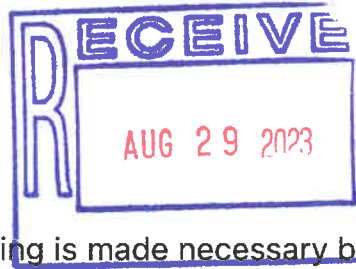
Please detach along perforation.

Pay this tax to: PLEASE

MR. JOSEPH E GOUDREAU
MACKINAC COUNTY TREASURER
333 MARLEY STREET
SANTARUM, MI 49781

**TAXPAYER NOTE: Are your name & mailing address corre
not, please make corrections below. Thank You.**

Property Address:
7347 MAIN
051-550-053-00
TRAYSER PROPERTIES LLC



File No. C23-053

Section X, Itemf.

Exhibit D

Date 8.29.23

Initials KP

See the following page:

The removal of the storage building is made necessary because of the soil borings needed to construct a seawall able to take us out of the flood zone which endangers all buildings along the shoreline beyond the velocity zone shown by FEMA. All building within this flood zone are currently imperiled by a seiche wave model, and for insurance, and these include all the building upon the Coal Dock as well as all building along the shore which are not above the flood plain and specifically the velocity zone which can tear these building apart if they are not protected.

Even neighboring buildings not protected impact neighbors who may be above the flood zone but will be impacted by neighbors not above the flood zone and especially the velocity zone.

This will impact all of our neighbors we will have experts the best we could find in the state at the meeting on October 12 which both commissions will want to hear what they have to say, if we are placed at those meetings.

This drawing shows the planned replacement which is the outline of the extension of our building to have a first floor level and basement level with safe ceiling heights as required by code for commercial use. This plan will not only increase safety of our building but bring safe ceiling heights to our basement.

The plan also shows the seawall which will be explained by the experts at this meeting, and the foundation wall of the building which by the nature of this design will protect the property from a seiche wave.

The building extension is to open up the harbor to the public in it's entirely, bring restaurant seating across the entire lake shore to the public, including out door seating.

This first phase the demolition of the building is required to gain access to soil borings for the plan for. The seawall and for the foundation wall of our building. Without demolishing this separate building from our main building, we can not build neither the seawall necessary to protect our property from a seiche wave nor do the borings necessary to that.

See the following page

Existing Storage building lake-ward labeled "EXISTING STO. BLDG" is proposed to be demolished.

Demolition of storage shed 30 by 50 feet, using 2 10 yard standard dump trucks, a 30 thousand pound Komatsu pc 10 excavator, a 10 thousand pound Caterpillar skid steer, and a ram pick up truck for tools and equipment. The building will have two ramps detached from main building by 4 to 6 feet, and it is separated from all other neighboring buildings by at least 10 feet to 20 feet minimum, the excavator will demolish and deposit all building remnants into dump trucks onto barge which delivers by ramp and removes by ramp from island all debris

File No. Ca3.053.070(A)
 Exhibit E
 Date 8.29.23

Initials AP

RESUBMITTED AS RECORDED IN 1887.37, PAGE 656, MICHIGAN COUNTY RECORDS, COOT. CITY OF MICHIGAN COUNTY, MICHIGAN, SUBJECT OF MOTION (SAD PROJ. 1887.37) AS THE SITION BUILDING ON MADISON ISLAND, MICHIGAN.

NOTE: DOTTED CIVIL ENGINEERS SURVEY WAS PERFORMED IN 1986 FOR THE PURPOSE OF AN EXISTING STORAGE BUILDING TO BE CONVERTED TO RESTAURANT USE. THE BUILDING WAS DESIGNED IN EXHIBIT "A" WHICH BECAME AS FOLLOWS:

LETTER FROM THE MICHIGAN COMMISSION DATED JANUARY 11, 1986, ACCORDING TO THE APPLICATION FOR PERMIT TO CONSTRUCT A RESTAURANT BUILDING ON MADISON ISLAND, MICHIGAN, THERE IS 64'30" E 45' 00" W, THERE IS 65'2'34" E 25' 00" W, THERE IS 65'2'34" E 25' 00" W, THERE IS 64'30" W 70'00" E, THERE IS 64'30" W 70'00" E, TO THE POINT OF BEGINNING.

THE APPLICATION WAS THEN RETIRED TO THE RECORDS AS SHOWN ON THE ABOVE DRAWING.

ZONING INFORMATION:
 COMMERCIAL
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 C-2 (2) 1.5
 C-3 (3) 1.5
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RECEIVED
 AUG 29 2023
 KP

SHEET	INDEX	DESCRIPTION
A1.0	1	1st FLOOR PLAN
A1.1	2	2nd FLOOR PLAN
A1.2	3	3rd FLOOR PLAN
A1.3	4	4th FLOOR PLAN
A1.4	5	5th FLOOR PLAN
A1.5	6	6th FLOOR PLAN
A1.6	7	7th FLOOR PLAN
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A1.8	9	9th FLOOR PLAN
A1.9	10	10th FLOOR PLAN
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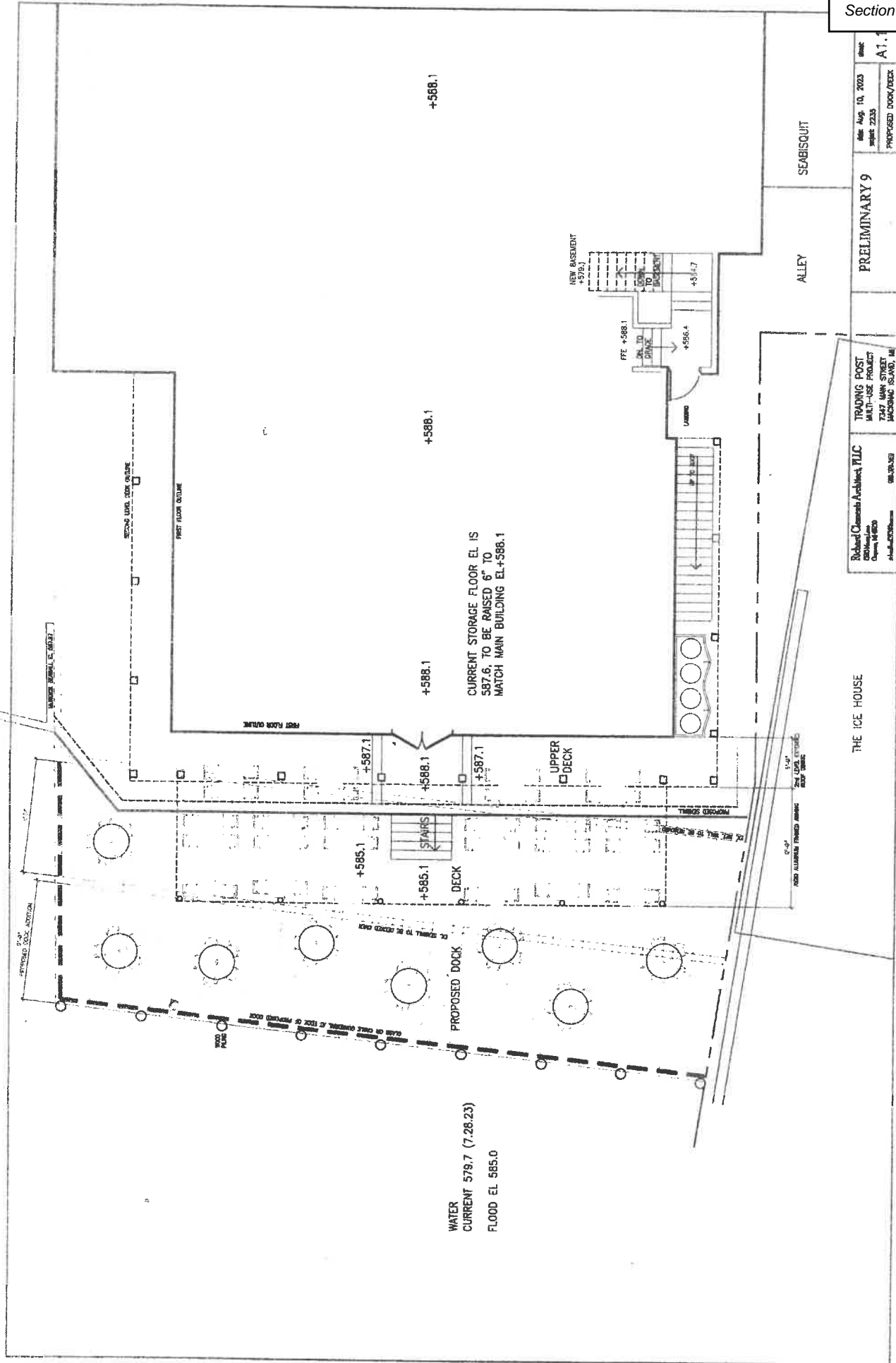
SCALE 1"=20'
 BEARINGS BASED ON SURVEY BY
 DOTTLE CIVIL ENGINEERS

SCALE 1"=10'
 CALLED NORTH

DATE: Aug. 10, 2023
 PROJECT: 2235
 SHEET: AD.0

Richard Clements Architects, PLLC 2500 Lakeshore Drive Grand Rapids, MI 49503	Richard Clements Architects, PLLC 2500 Lakeshore Drive Grand Rapids, MI 49503
TRADE SHOW POST MULTI-USE PROJECT 7347 MAIN STREET MADONIA ISLAND, MI	TRADE SHOW POST MULTI-USE PROJECT 7347 MAIN STREET MADONIA ISLAND, MI
PRELIMINARY 9	PRELIMINARY 9

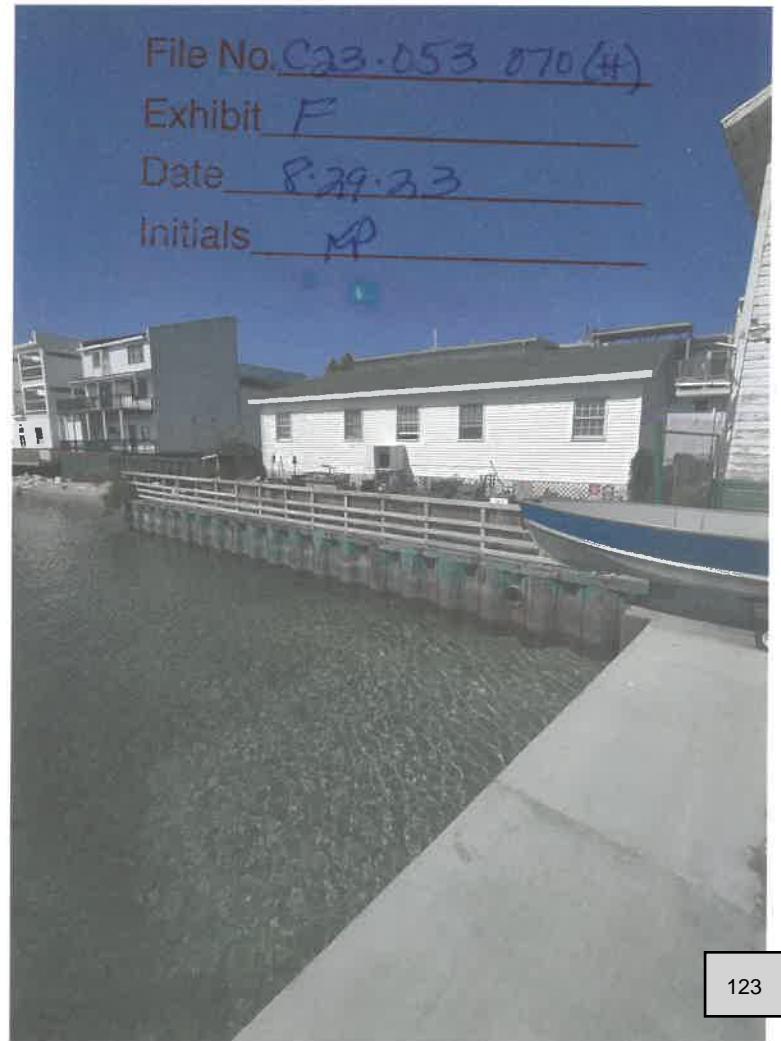
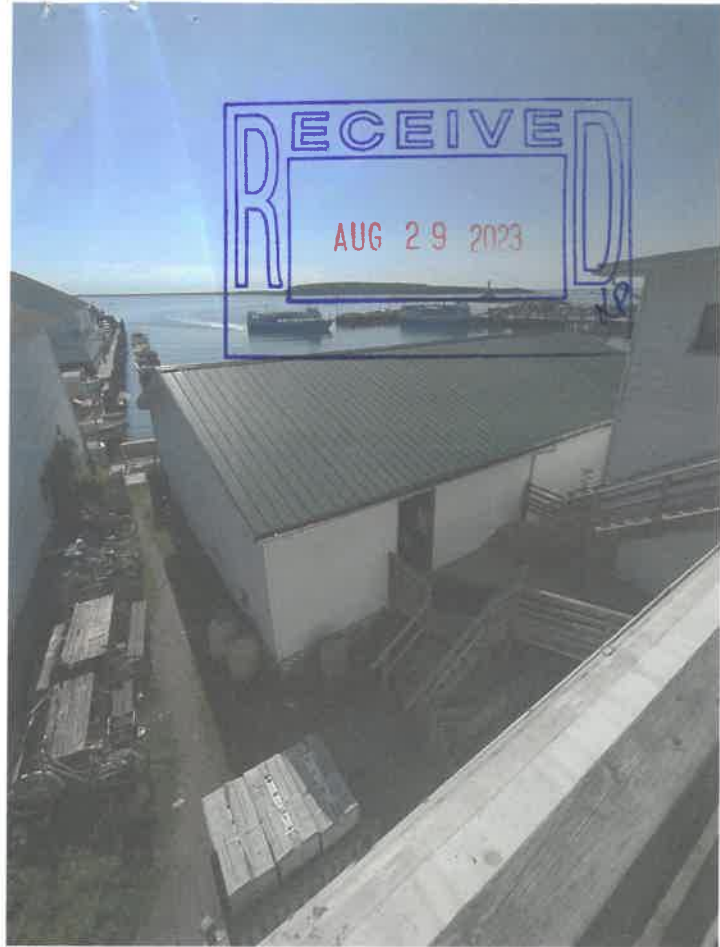
Section X, Itemf.

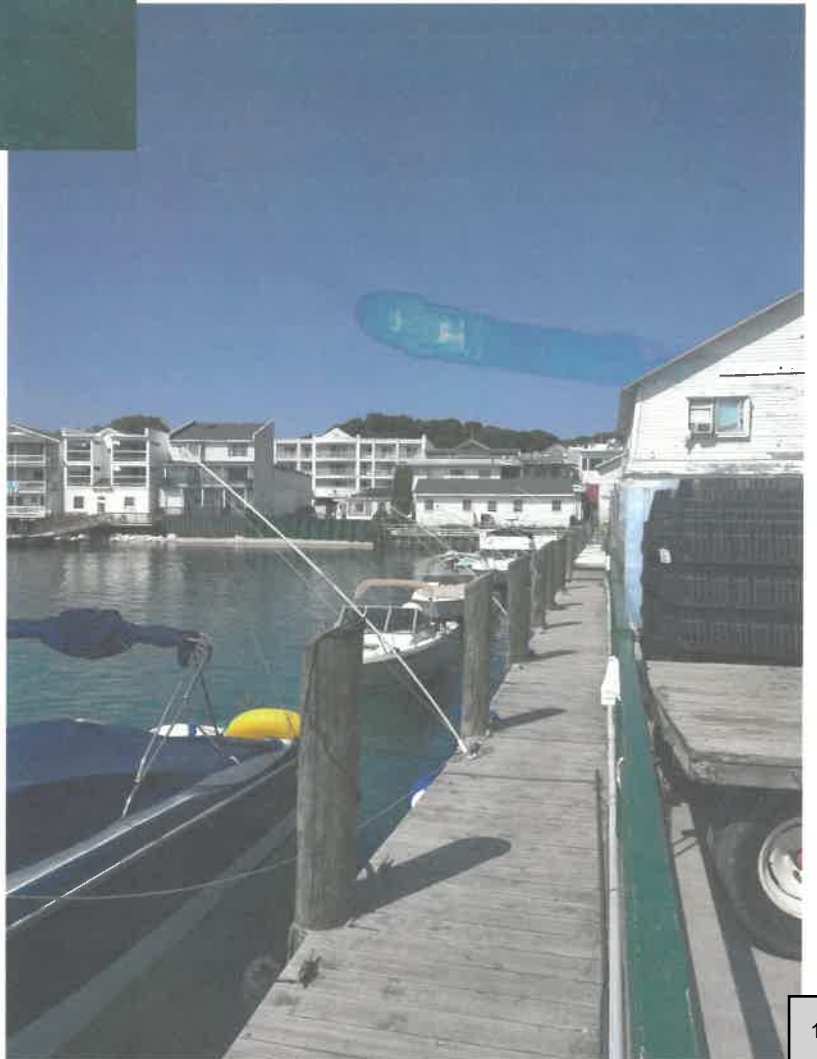
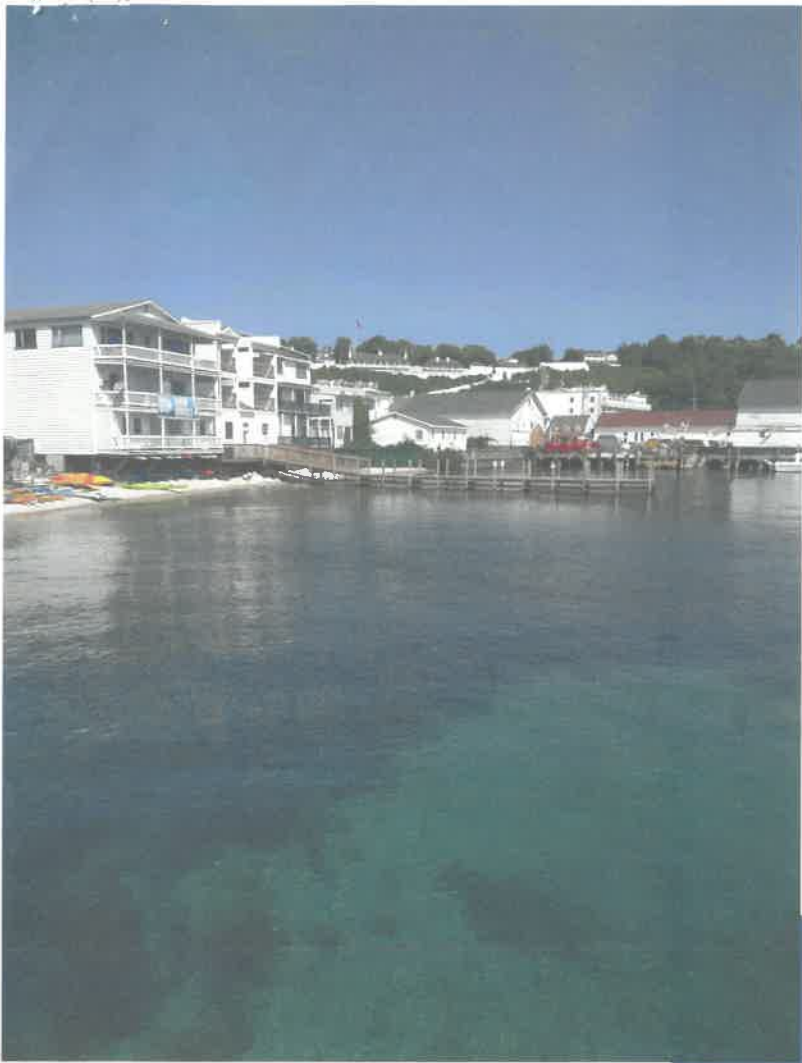


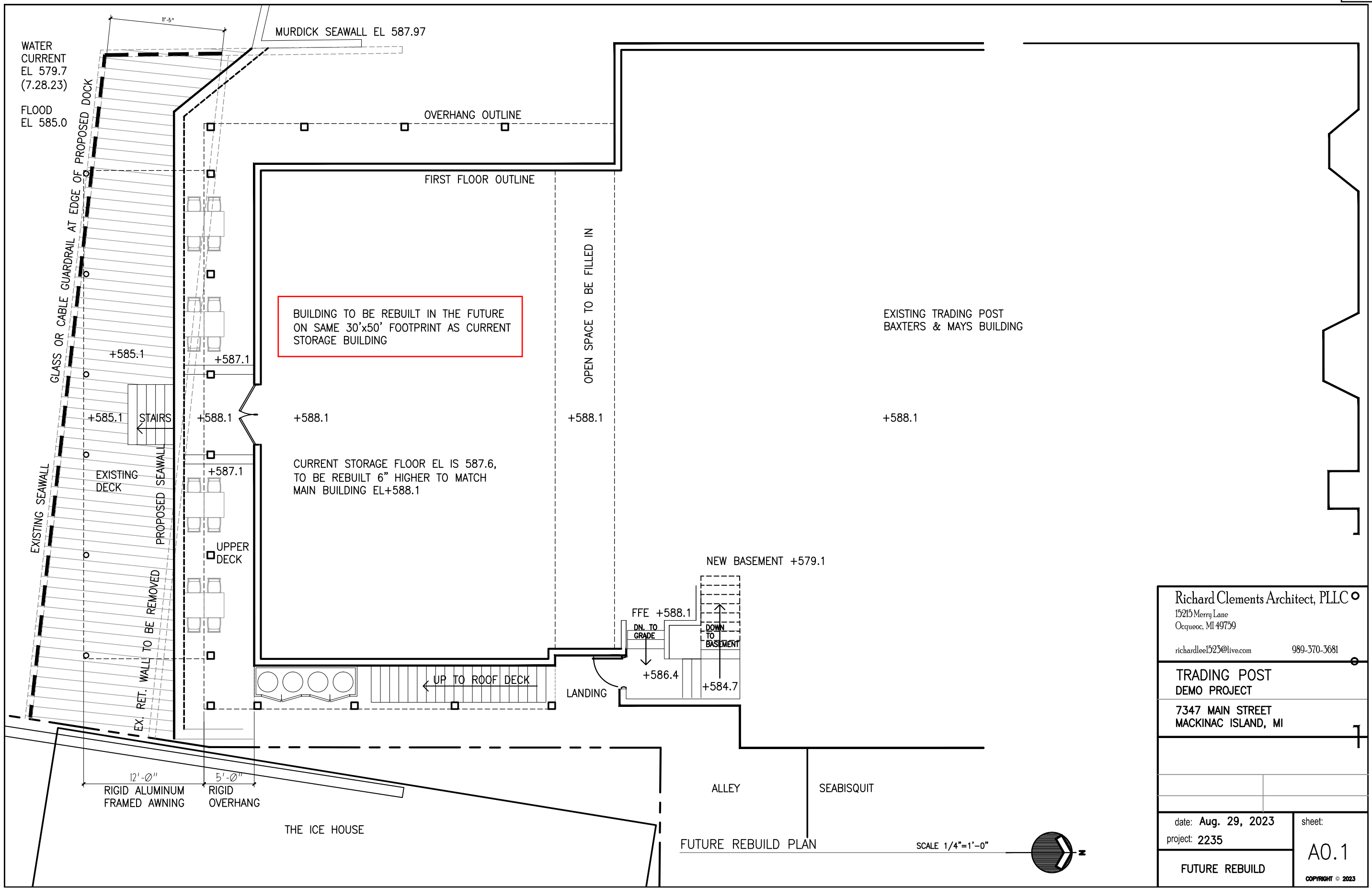
WATER
CURRENT 579.7 (7.26.23)
FLOOD EL 585.0

CURRENT STORAGE FLOOR EL IS
587.6, TO BE RAISED 6" TO
MATCH MAIN BUILDING EL+588.1

Richard O'Connell Architects, PLLC 200 Main Street Canaan, VT 05590 Tel: 802-245-1234	TRADING POST MULTI-USE PROJECT 100 MAIN STREET JACKSONVILLE, VT	PRELIMINARY 9	DATE: Aug. 10, 2023 SCALE: 2/32" = 1'-0" PROJECT: PROPOSED DOCK/DECK	SHEET: A1.1
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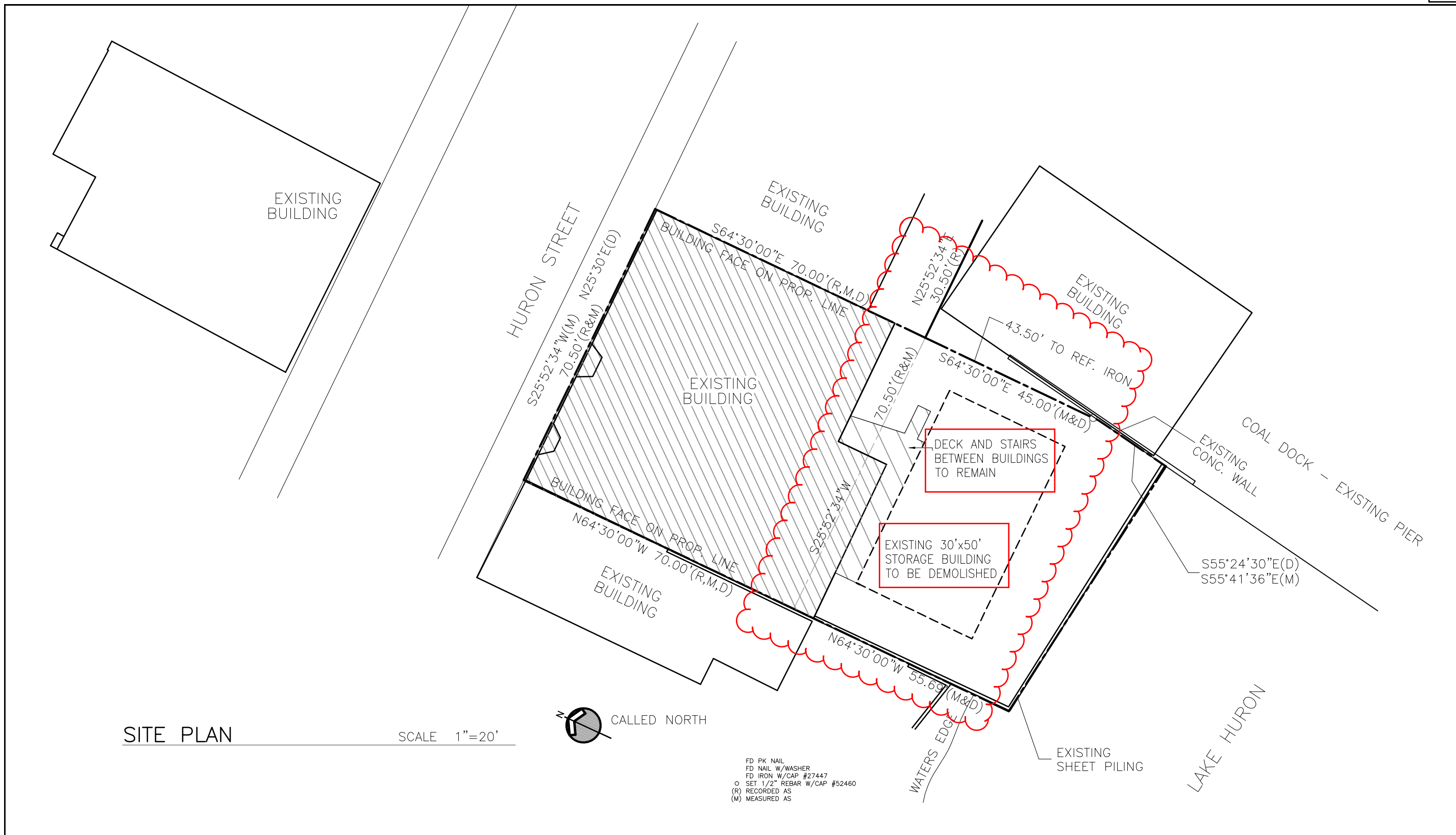




Richard Clements Architect, PLLC
 15215 Merry Lane
 Ocqueoc, MI 49759
 richardlee1523@live.com 989-370-3681

TRADING POST
 DEMO PROJECT
 7347 MAIN STREET
 MACKINAC ISLAND, MI

date: Aug. 29, 2023	sheet:
project: 2235	A0.1
FUTURE REBUILD	COPYRIGHT © 2023



SITE PLAN

SCALE 1"=20'

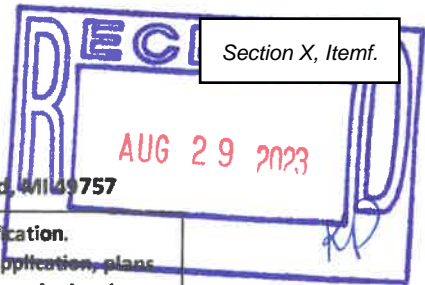


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Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	TRADING POST DEMO PROJECT	<h2 style="color: blue;">DEMO SITE PLAN</h2>	date: Aug. 29, 2023 project: 2235	sheet: <h1 style="font-size: 2em;">A0.0</h1>
	7347 MAIN STREET MACKINAC ISLAND, MI		DEMO SITE PLAN	COPYRIGHT © 2023

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757



APPLICANT NAME & CONTACT INFORMATION:

Anthony M. Trayer
7347 Main Street
231 633 6093 ABC123@
Phone Number Email Address
AOL.COM
P.O. Box 1276
 Property Owner & Mailing Address (if Different From Applicant)

Please complete both sides of application. The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Is The Proposed Project Part of a Condominium Association? NO
 Is The Proposed Project Within a Historic Preservation District? YES
 Applicant's Interest in the Project (If not the Fee-Simple Owner):
 Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
 Is a Variance Required? NO
 Are REU's Required? How Many? NO /

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-550-053-00
- B. Legal Description of Property: SEE ATTACHED
- C. Address of Property: 7347 Main Street, Mackinac Island
- D. Zoning District: "C" Commercial District
- E. Site Plan Checklist Completed & Attached: _____
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) _____
- G. Sketch Plan Attached: _____
- H. Architectural Plan Attached: _____
- I. Association Documents Attached (Approval of project, etc.): _____
- J. FAA Approval Documents Attached: _____
- K. Photographs of Existing and Adjacent Structures Attached: _____

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify Demolition
- B. Use of Existing and Proposed Structures and Land:
 - Existing Use (If Non-conforming, explain nature of use and non-conformity): _____
 - Proposed Use: Commercial File No. C23-053-070(H)
 - Commercial Exhibit B
- C. If Vacant:
 - Previous Use: _____
 - Proposed Use: _____
 - Length of Time Parcel Has Been Vacant: _____
 - Date 8-29-23
 - Initials KP

OFFICE USE ONLY			
FILE NUMBER: <u>C23-053-070(H)</u>	FEE: <u>\$400 -</u>		
DATE: <u>8-29-23</u>	CHECK NO: <u>5045</u>	INITIALS: <u>KP</u>	Revised July 2023

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the _____ (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Signature

SIGNATURES

Signature

Please Print Name

Anthony M. Trayer

Please Print Name

Signed and sworn to before me on the 27th day of August, 2023.

Notary Public

Grand Traverse County, Michigan

My commission expires: 1/22/29

Edward Harrigan
Notary Public, State of Michigan
Grand Traverse County, MI
My Commission Expires: 01/22/2029

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised July 2023

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

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- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

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The undersigned affirms that he/she or they is (are) the applicant and the _____ (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

C Campbell
Signature

SIGNATURES Erik Ammerman
Signature

C Campbell
Please Print Name

Erik T Ammerman
Please Print Name

Signed and sworn to before me on the 28 day of Aug 2023

C Campbell
Notary Public
My Commission Expires: February 24, 2024
Chippewa County, Michigan
My commission expires: 02-24-19-2021

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised July 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input type="checkbox"/>

- | | | |
|--|--------------------------|--------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/> | <input type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input type="checkbox"/> |

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input type="checkbox"/>	<input type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input type="checkbox"/>	<input type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational (Demolition)
Requirements (Section 20.04, D)**

Demolition

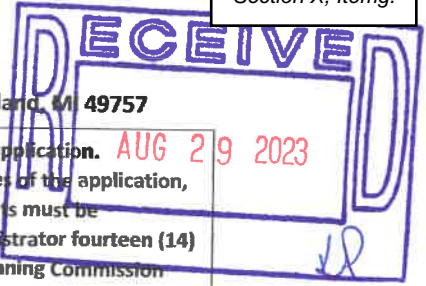
	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Copy of asbestos survey if required by EGLE or other state department.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Results of a pest inspection and, if necessary, a pest management plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT:
Mackinac Island Carriage Tours
PO Box 400 Mackinac Is MI 49757
906-847-3307 andy@mict.com
Phone Number Email Address

Please complete both sides of application. **AUG 29 2023**
The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.



Property Owner & Address (If Different From Applicant)

- Is The Proposed Project Part of a Condominium Association? NO
- Is The Proposed Project Within a Historic Preservation District? YES
- Applicant's Interest in the Project (If not the Fee-Simple Owner): _____
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
- Is a Variance Required? YES
- Are REU's Required? How Many? NO /

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other Variance (Front Setback)
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-550-011-00
- B. Legal Description of Property: Attached
- C. Address of Property: 7396 Market St
- D. Zoning District: Market
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
- G. Sketch Plan Attached: NO
- H. Architectural Plan Attached: Yes
- I. Association Documents Attached (Approval of project, etc.): NA
- J. FAA Approval Documents Attached: NA
- K. Photographs of Existing and Adjacent Structures Attached: Yes

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____

- B. Use of Existing and Proposed Structures and Land:
 - Existing Use (If Non-conforming, explain nature of use and non-conformity): Commercial office/boarding house
 - Proposed Use: Commercial office/boarding house

C. If Vacant:

Previous Use: _____
 Proposed Use: _____
 Length of Time Parcel Has Been Vacant: _____

File No. MD23-011-072(H)
Exhibit A
Date 8-29-23
Initials KP

OFFICE USE ONLY			
FILE NUMBER: <u>MD23-011-072(H)</u>	FEE: <u>\$1500 -</u>		
DATE: <u>8-29-23</u>	CHECK NO: <u>42775</u>	INITIALS: <u>KP</u>	Revised Oct 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

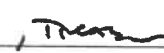
- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the ~~TREASURER~~ (Specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.


Signature

SIGNATURES _____
Signature

Brad Chambers 
Please Print Name

Please Print Name

Signed and sworn to before me on the 29 day of August, 2023.

BRENDA BUNKER, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 07/21/2025


Notary Public

County, Michigan
My commission expires: _____

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2018

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

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For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

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1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
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2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- | | | |
|--|-------------------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

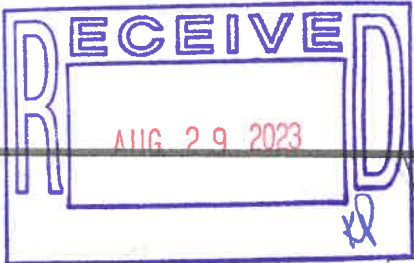
<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>



Eastern UP GIS

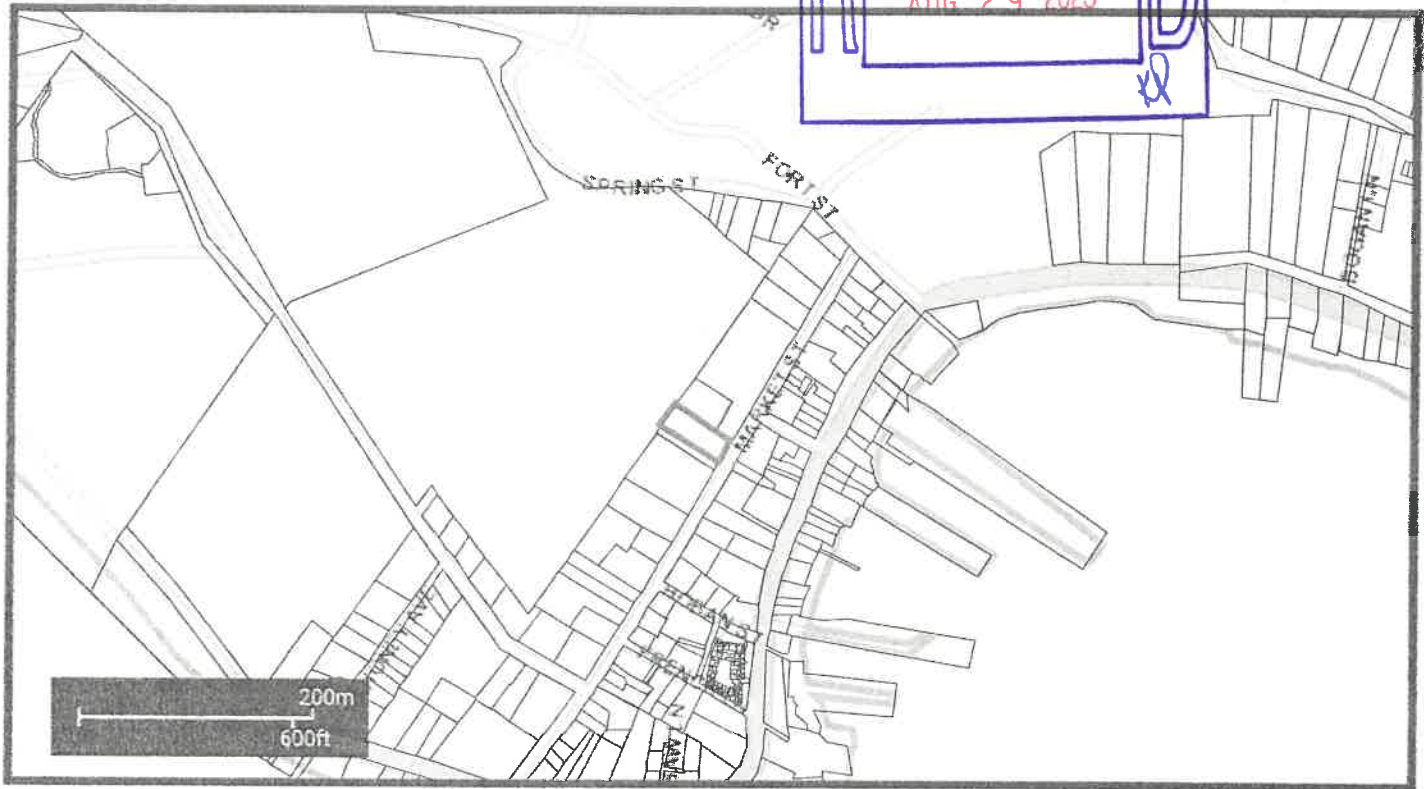
Parcel Report: 051-550-011-00

Section X, Itemg.



8/15/2023

2:00:59 PM



Property Address

7396 MARKET ST
MACKINAC ISLAND, MI, 49757

File No. MD23-011-072(4)

Exhibit D

Date 8.29.23

Initials KP

Owner Address

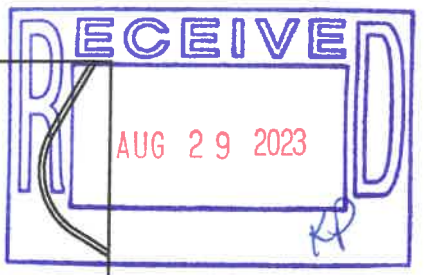
MACKINAC ISLAND CARRIAGE TOURS
LENOX COTTAGE
PO BOX 400
MACKINAC ISLAND, MI 49757-0400

Legal Description

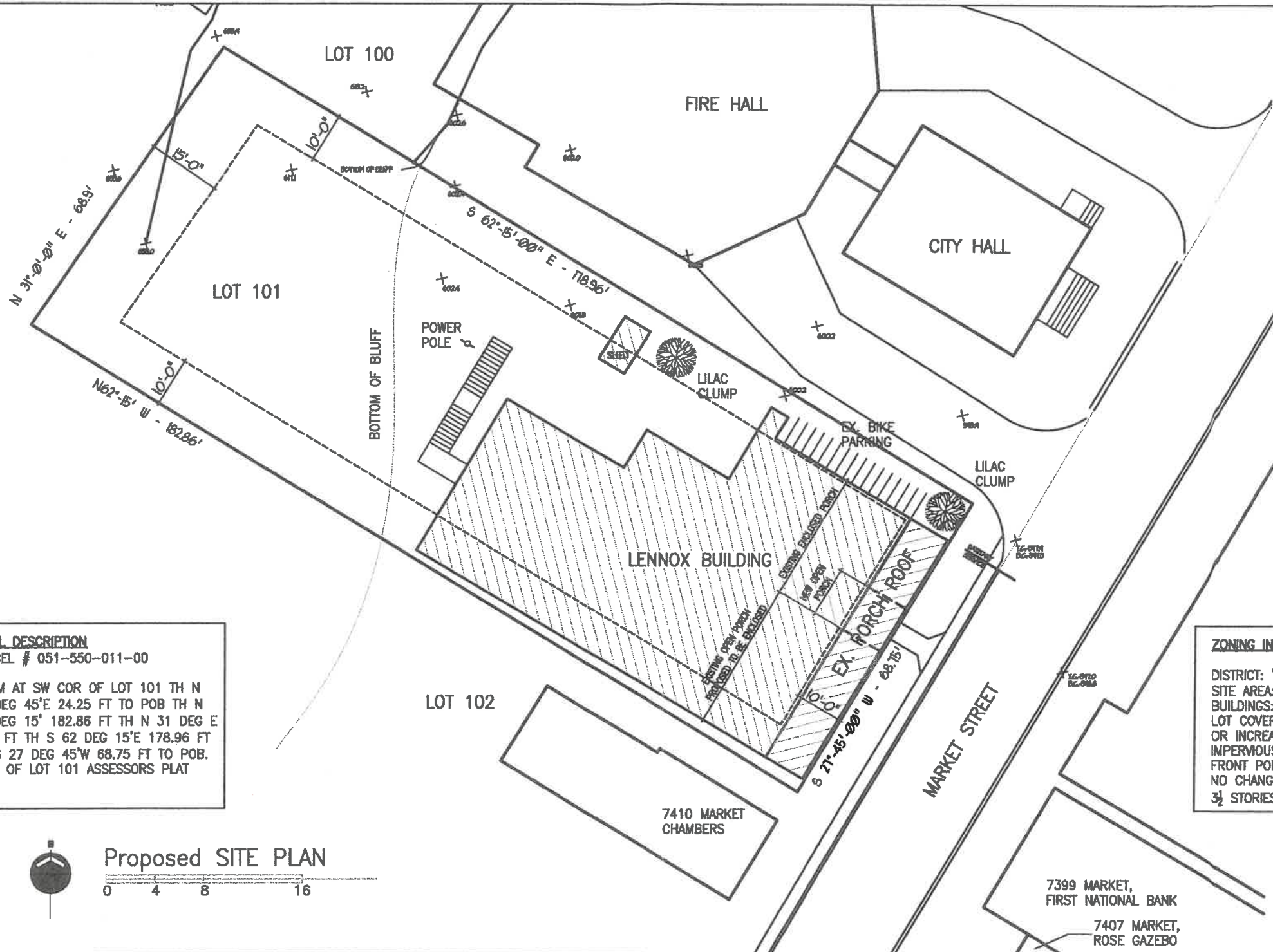
MI 81 COMM AT SW COR OF LOT 101 TH N 27 DEG 45'E 24.25 FT TO POB TH N 62 DEG 15' 182.86 FT TH N 31 DEG E 68.9 FT TH S 62 DEG 15'E 178.96 FT TH S 27 DEG 45'W 68.75 FT TO POB. PART OF LOT 101 ASSESSORS PLAT NO.3

Parcel Number:

051-550-011-00



File No. MD23-011-072(H)
 Exhibit C
 Date 8.29.23
 Initials AR

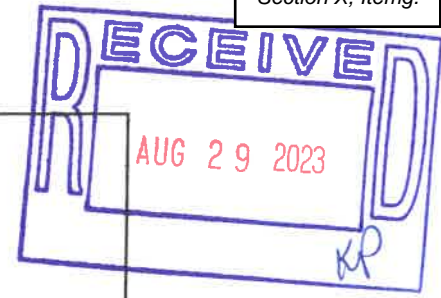


LEGAL DESCRIPTION
 PARCEL # 051-550-011-00
 COMM AT SW COR OF LOT 101 TH N 27 DEG 45'E 24.25 FT TO POB TH N 62 DEG 15' 182.86 FT TH N 31 DEG E 68.9 FT TH S 62 DEG 15'E 178.96 FT TH S 27 DEG 45'W 68.75 FT TO POB. PART OF LOT 101 ASSESSORS PLAT NO.3

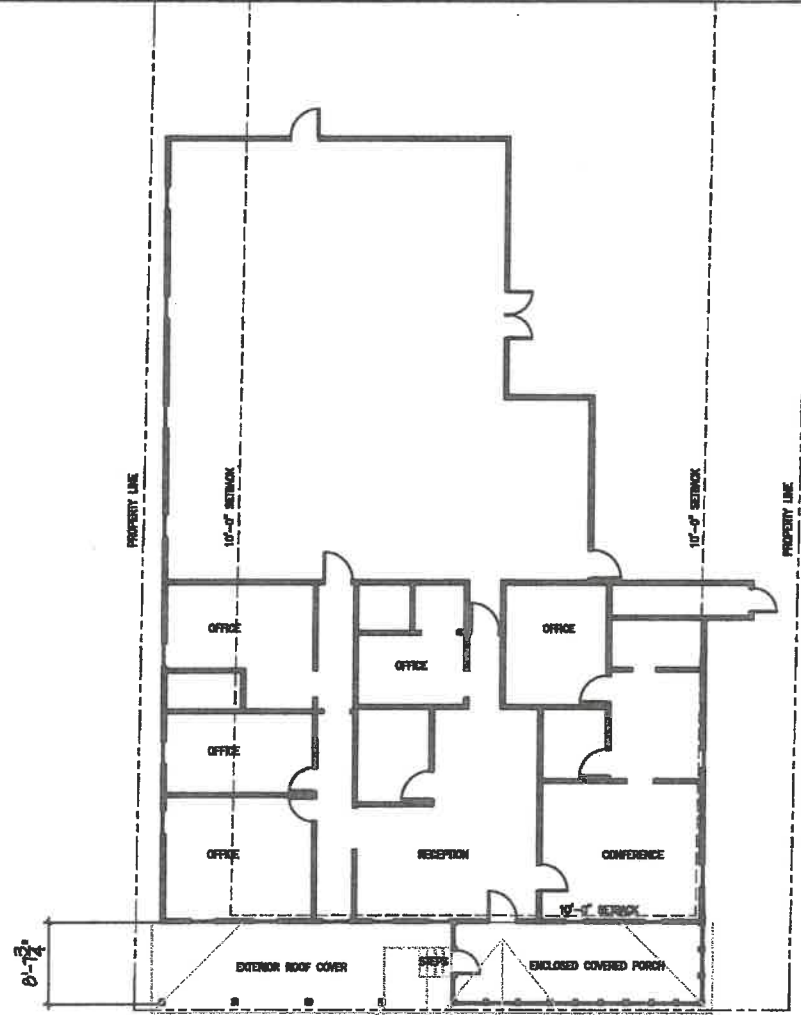
ZONING INFORMATION
 DISTRICT: "MD" - MARKET DISTRICT
 SITE AREA: 12,482 SQUARE FEET
 BUILDINGS: 4,496 SQUARE FEET
 LOT COVERAGE: 36% - NO CHANGE OR INCREASE TO EXISTING IMPERVIOUS - INCLUDES ROOF OVER FRONT PORCH, AND THE SHED
 NO CHANGE TO EXISTING HEIGHT = 3 1/2 STORIES



Richard Clements Architect, PLLC 15215 Merry Lane Okemos, MI 49739 richardlee1523@live.com 989-370-3681	CARRAIGE TOURS LENOX PORCH 7396 MARKET STREET MACKINAC ISLAND, MICHIGAN	date: Aug. 28, 2023 project: 2247	sheet: A1.0 COPYRIGHT © 2023
		PROPOSED SITE PLAN	

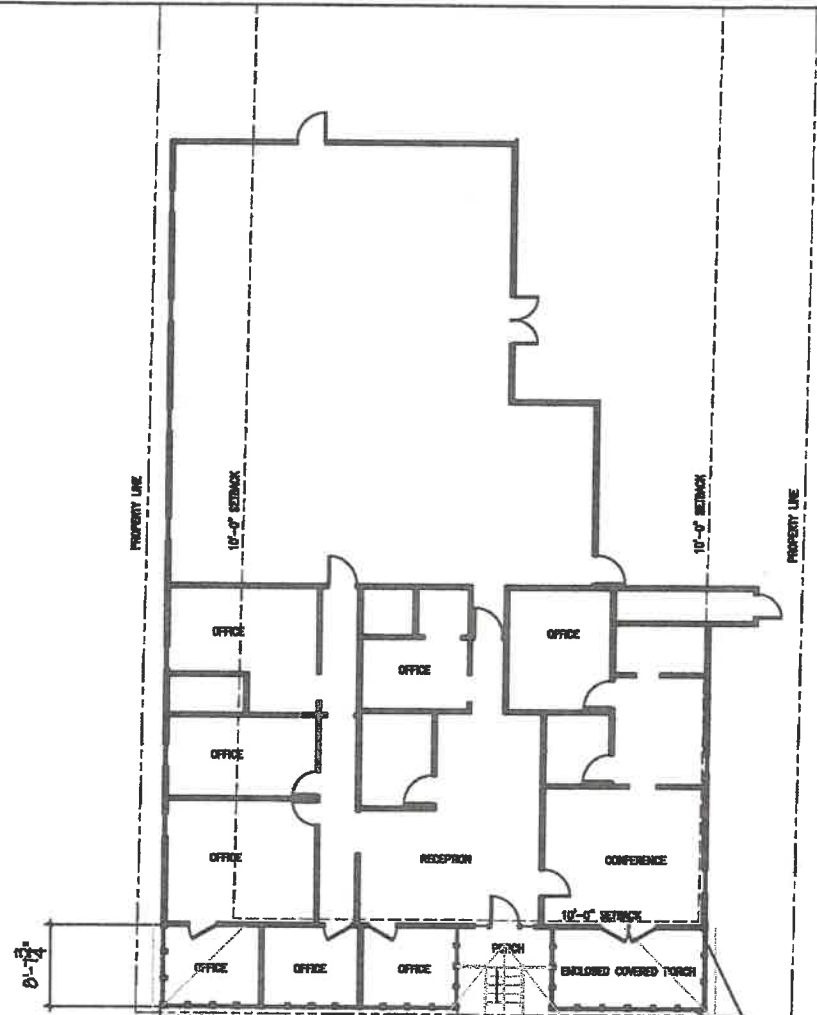
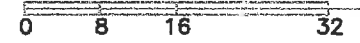


File No. MD23-011-072(4)
 Exhibit E
 Date 8.29.23
 Initials KP



SHEET CURB		10'-1/2"		26'-5 1/2"	
EXISTING OPEN PORCH PROPOSED TO BE ENCLOSED		EXISTING ENCLOSED PORCH		57'-1/2"	

EXISTING 1st Floor Plan



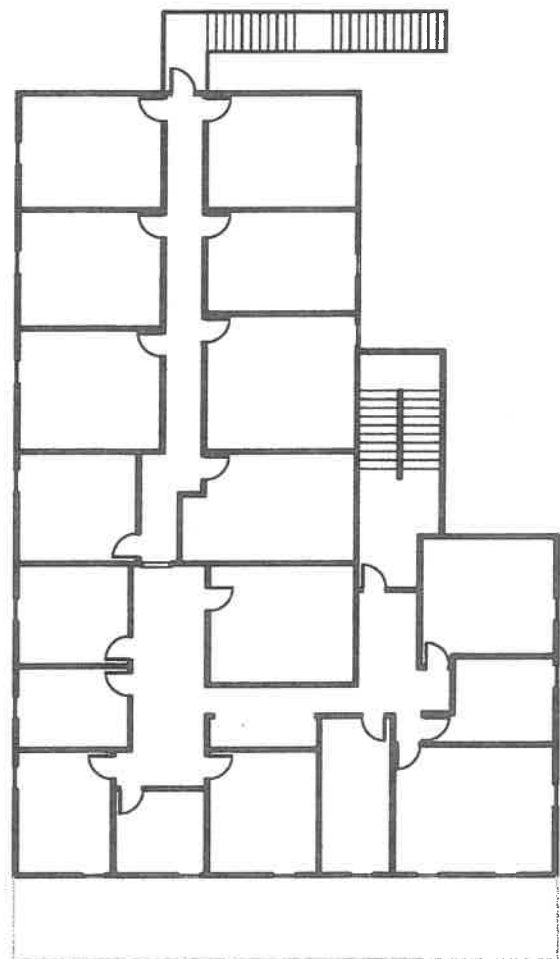
SHEET CURB		10'-1/2"		16'-4"	
EXISTING OPEN PORCH PROPOSED TO BE ENCLOSED		NEW OPEN PORCH		EXISTING ENCLOSED PORCH	
				57'-1/2"	

PROPOSED 1st Floor Plan



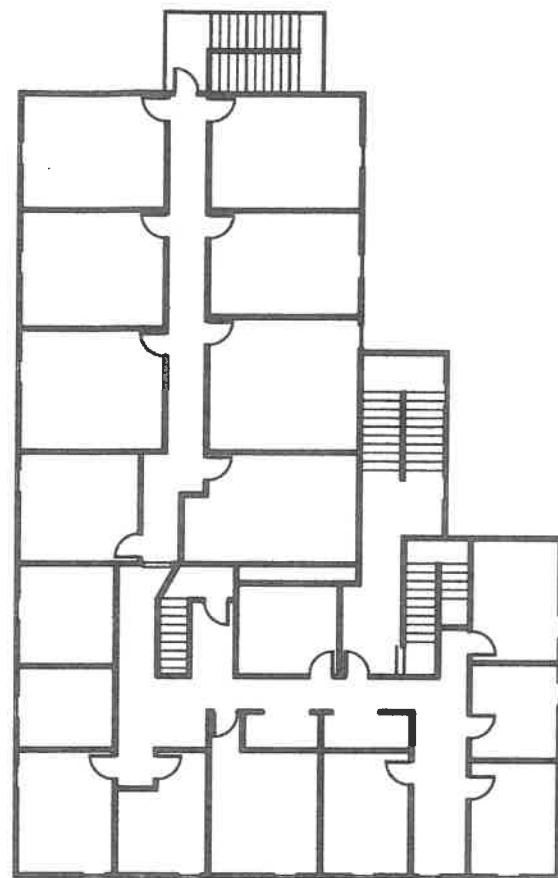
EXISTING WOOD WINDOWS IN EXISTING ENCLOSED COVERED PORCH TO BE REFURBISHED. THIS PORTION IS UNHEATED SEASONAL USE DUE TO EXISTING CONSTRUCTION & SINGLE PANE WINDOWS.

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	CARRAIGE TOURS LENOX PORCH 7396 MARKET STREET MACKINAC ISLAND, MICHIGAN	date: Aug. 28, 2023 project: 2247	sheet: A1.1 COPYRIGHT © 2023
		MAIN FLOOR PLAN	



EXISTING 2nd Floor Plan

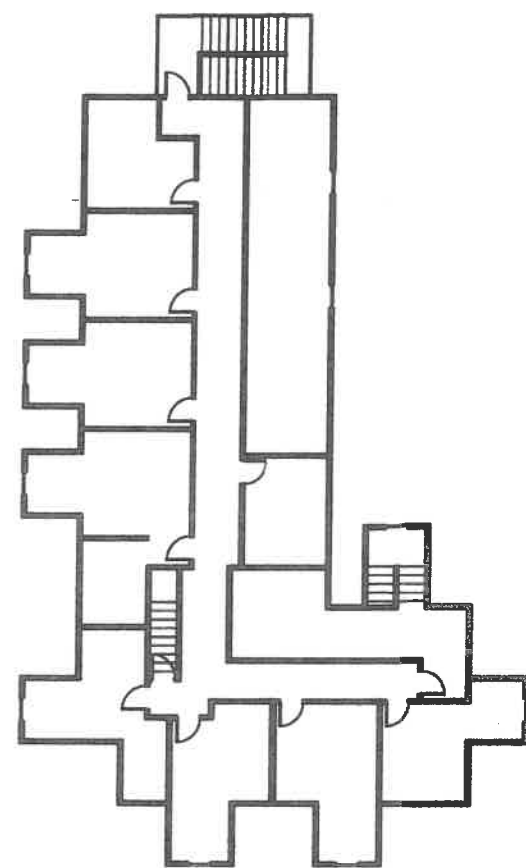
0 8 16 32



NO CHANGES TO LEVELS 2-4

EXISTING 3rd Floor Plan

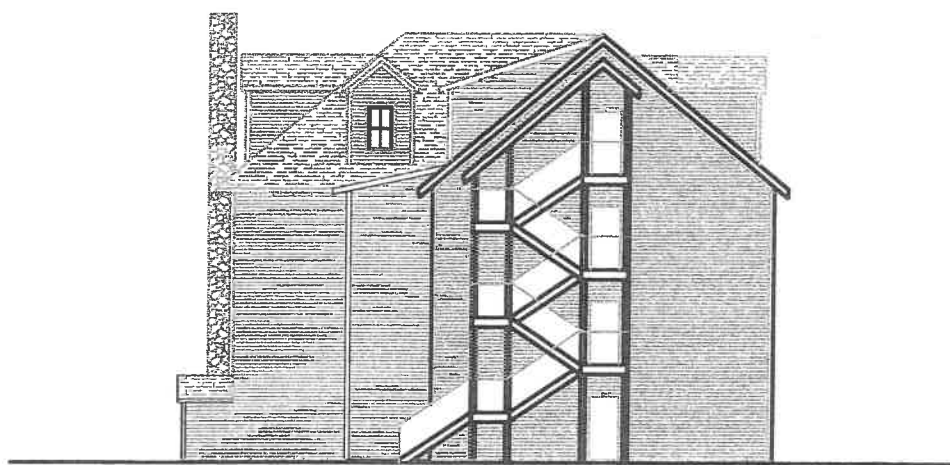
0 8 16 32



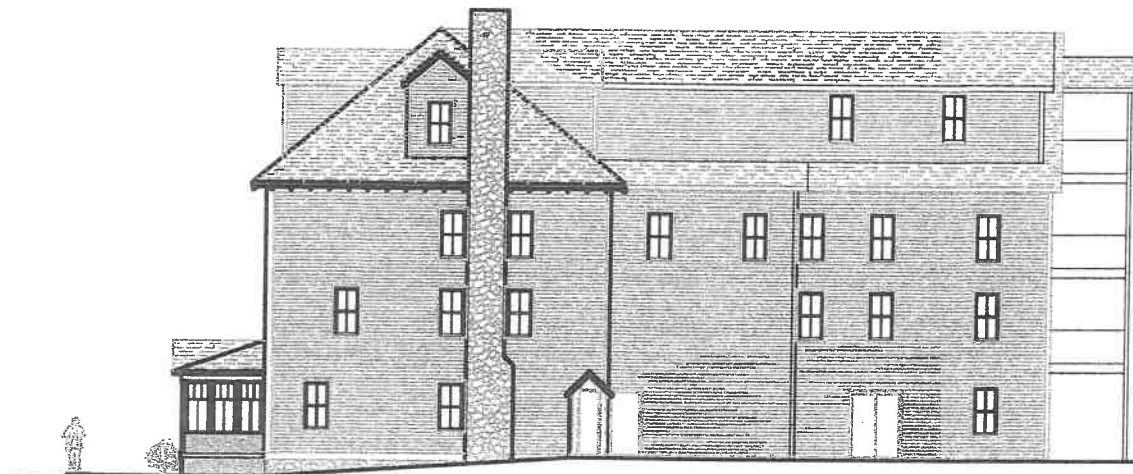
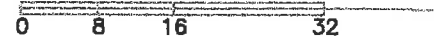
EXISTING 4th Floor Plan

0 8 16 32

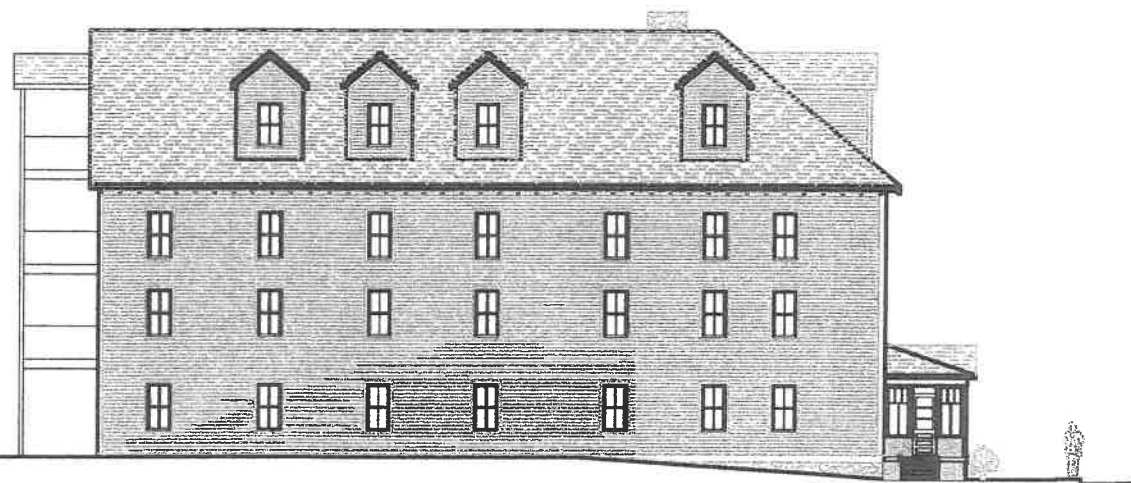
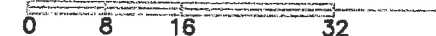
Richard Clements Architect, PLLC 15215 Merry Lane Oqueoc, MI 49759 richardlee1525@live.com 989-370-3681	CARRAIGE TOURS LENOX PORCH		date: Aug. 28, 2023 project: 2247	sheet: A1.2
	7396 MARKET STREET MACKINAC ISLAND, MICHIGAN		OTHER FLOORS	COPYRIGHT © 2023



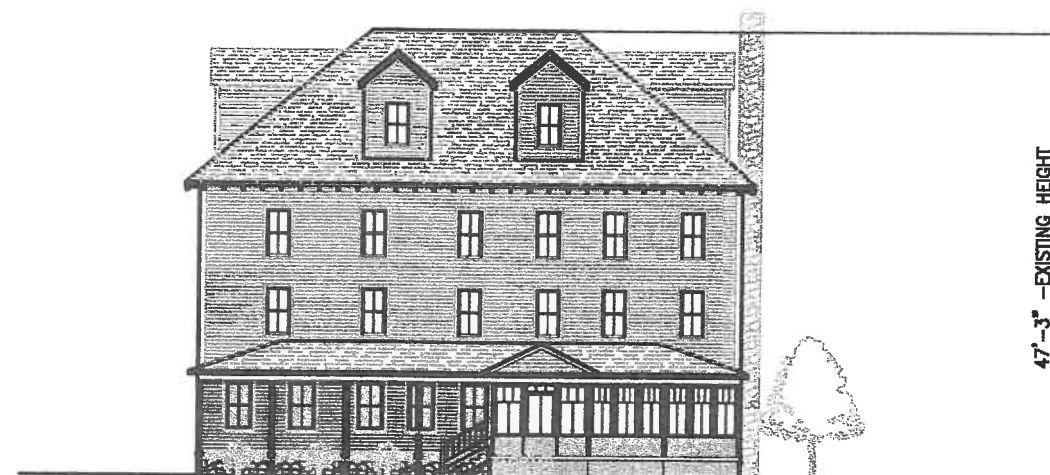
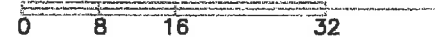
Existing West Elevation



Existing East Elevation



Existing North Elevation

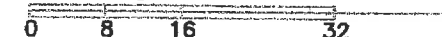


47'-3" - EXISTING HEIGHT

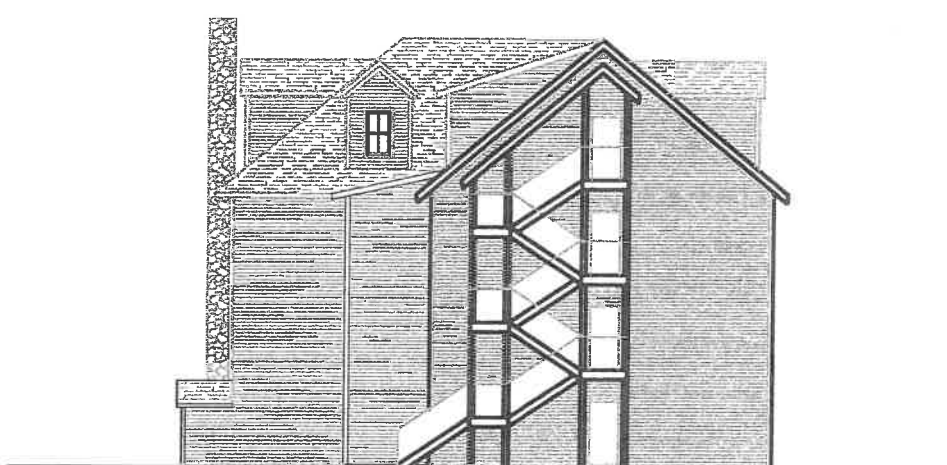
EXISTING OPEN PORCH
PROPOSED TO BE ENCLOSED

EXISTING ENCLOSED PORCH

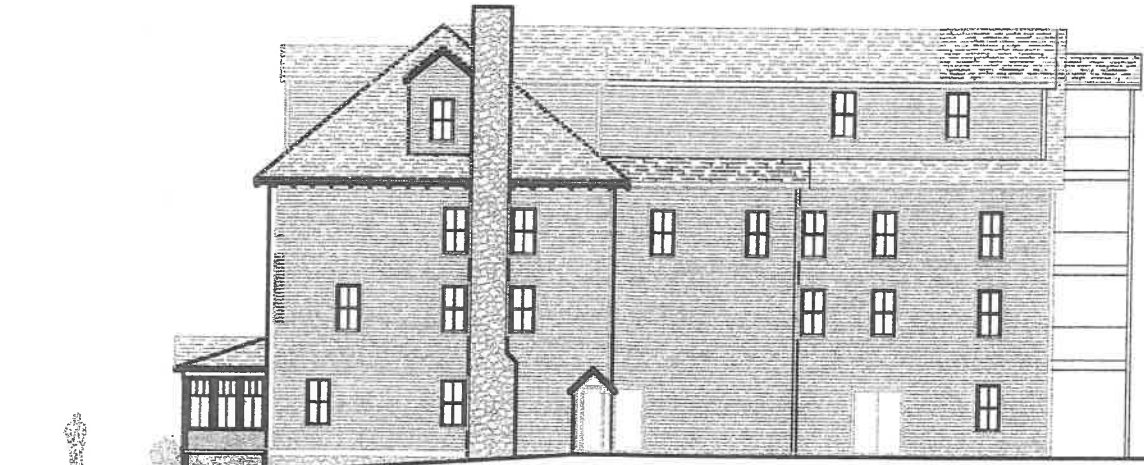
Existing South Elevation



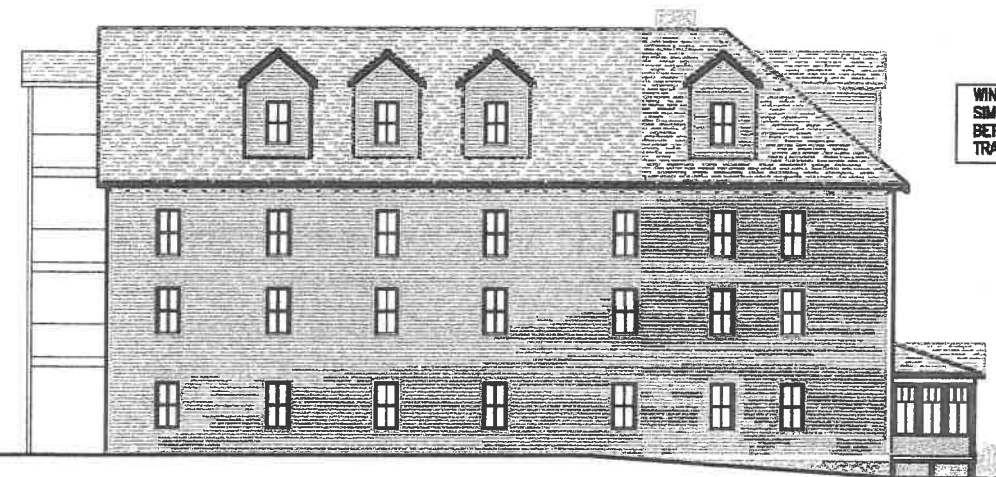
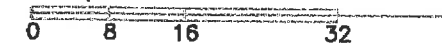
Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	CARRAIGE TOURS LENOX PORCH	date: Aug. 28, 2023 project: 2247	sheet: A1.3
	7396 MARKET STREET MACKINAC ISLAND, MICHIGAN	EXISTING ELEVATIONS	COPYRIGHT © 2023



Proposed West Elevation—No Change



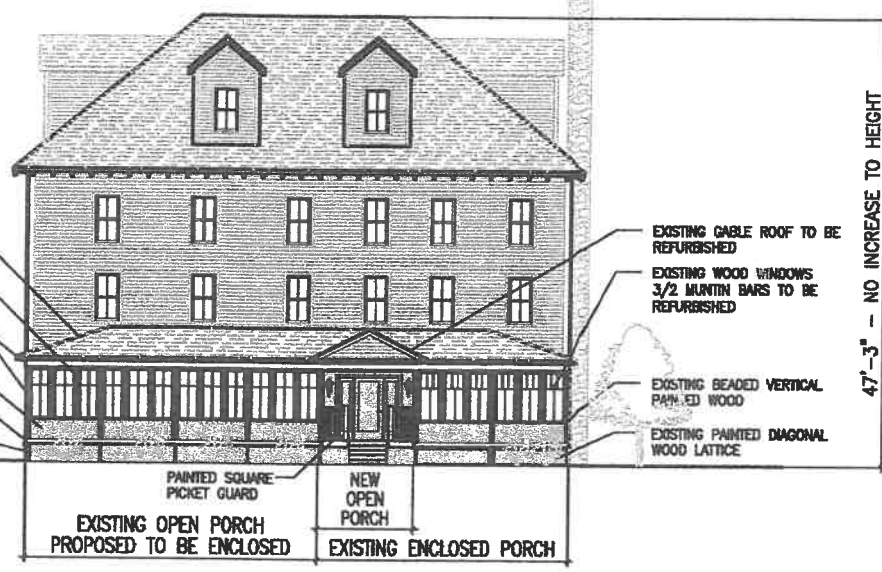
Proposed East Elevation—No Change



Proposed North Elevation



WINDOWS/DOORS: WOOD DOUBLE HUNG WITH SIMULATED DIVIDED LITES BOTH SIDES OF GLASS & BETWEEN PANES, CLEAR GLASS WITH LIGHT TRANSMITTANCE GREATER THAN 60%.



Proposed South Elevation



- EXISTING ASPHALT SHINGLE ROOF
- NEW WOOD WINDOWS 2/2 MUNTINS
- PAINTED CEDAR 1x TRIM
- NEW NON-BEADED VERTICAL PAINTED WOOD
- PAINTED CEDAR 1x TRIM
- PAINTED SQUARE WOOD LATTICE

- EXISTING GABLE ROOF TO BE REFURBISHED
- EXISTING WOOD WINDOWS 3/2 MUNTIN BARS TO BE REFURBISHED
- EXISTING BEADED VERTICAL PAINTED WOOD
- EXISTING PAINTED DIAGONAL WOOD LATTICE

47'-3" - NO INCREASE TO HEIGHT

- PAINTED SQUARE PICKET GUARD
- EXISTING OPEN PORCH PROPOSED TO BE ENCLOSED
- NEW OPEN PORCH
- EXISTING ENCLOSED PORCH

Richard Clements Architect, PLLC
 15215 Merry Lane
 Oshtemo, MI 49759
 richardlee1523@live.com 989-570-3681

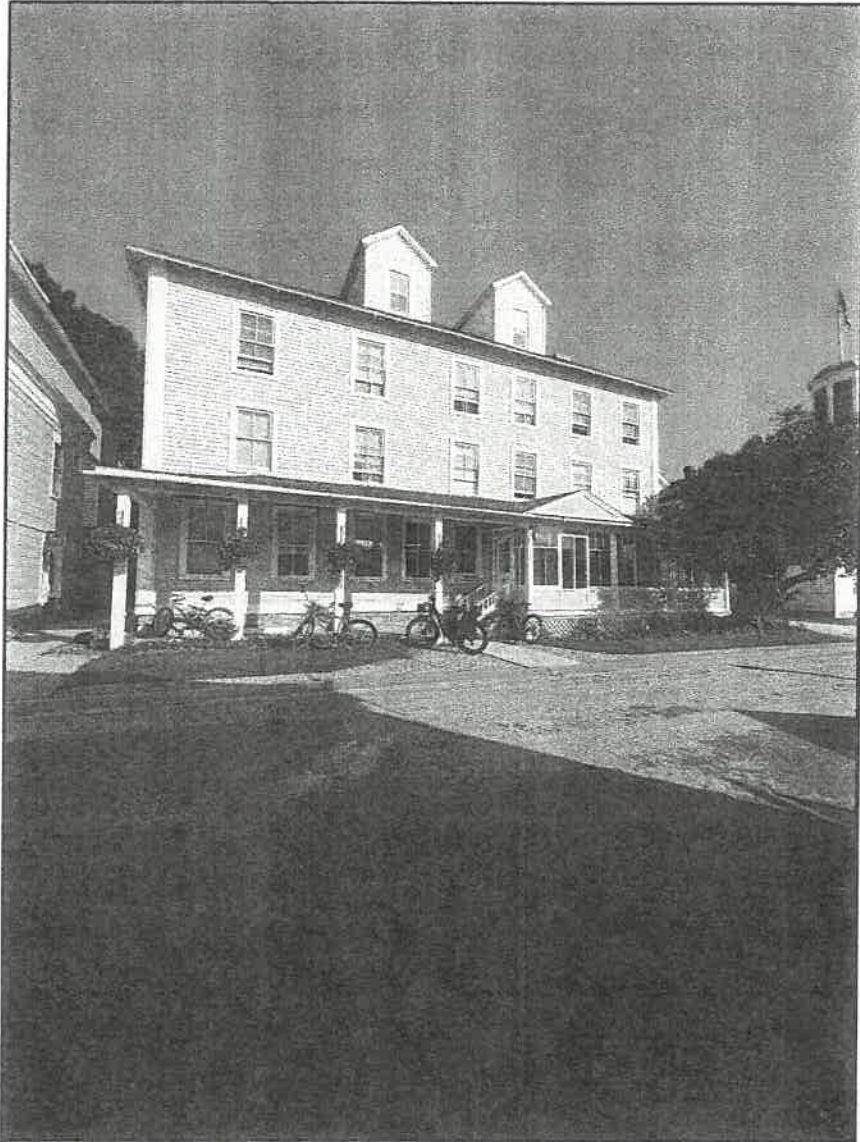
CARRAIGE TOURS
 LENOX PORCH
 7396 MARKET STREET
 MACKINAC ISLAND, MICHIGAN

date: Aug. 28, 2023
 project: 2247
 PROPOSED ELEVATIONS

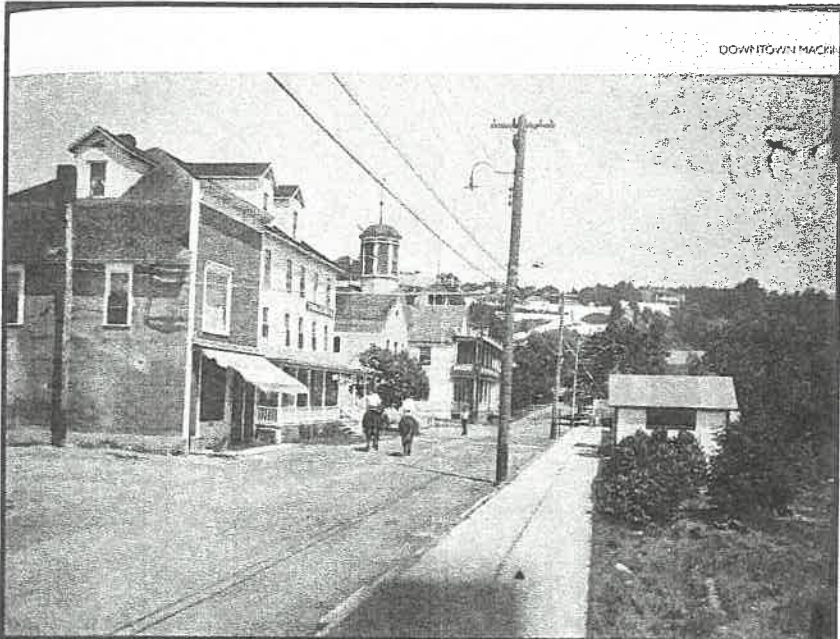
sheet:
 A1.4
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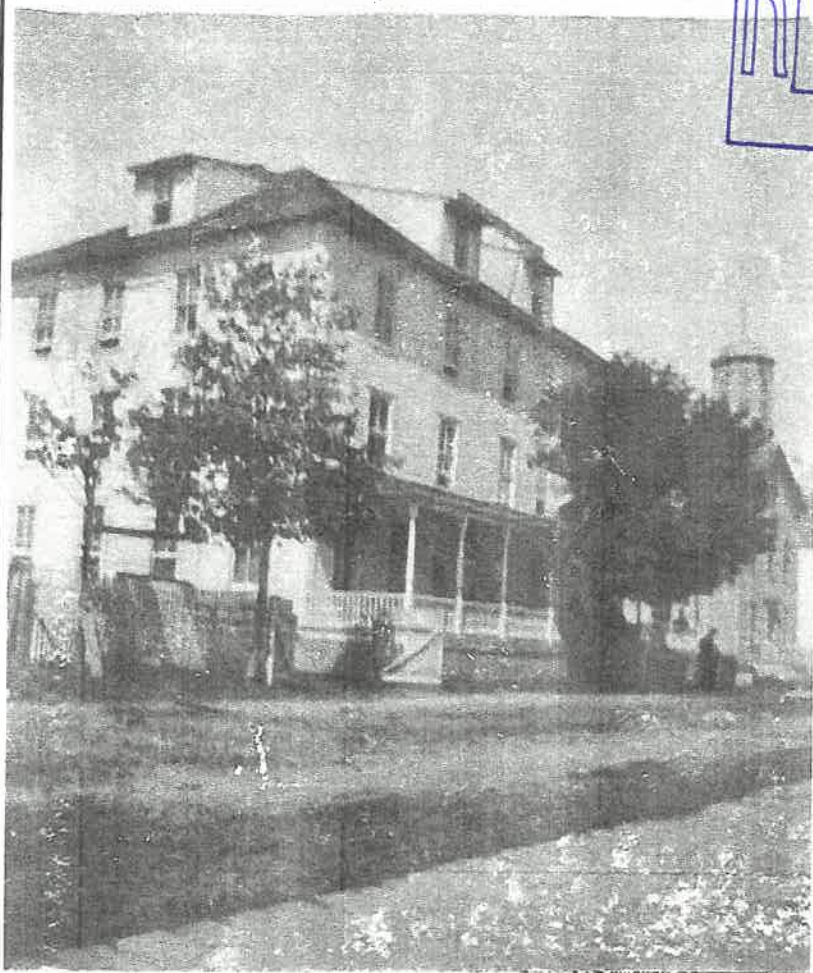


EXISTING LENNOX PHOTO



HISTORIC LENNOX PHOTO

SHOWING ENTIRE PORCH WAS
ELEVATED 36" AT ONE TIME



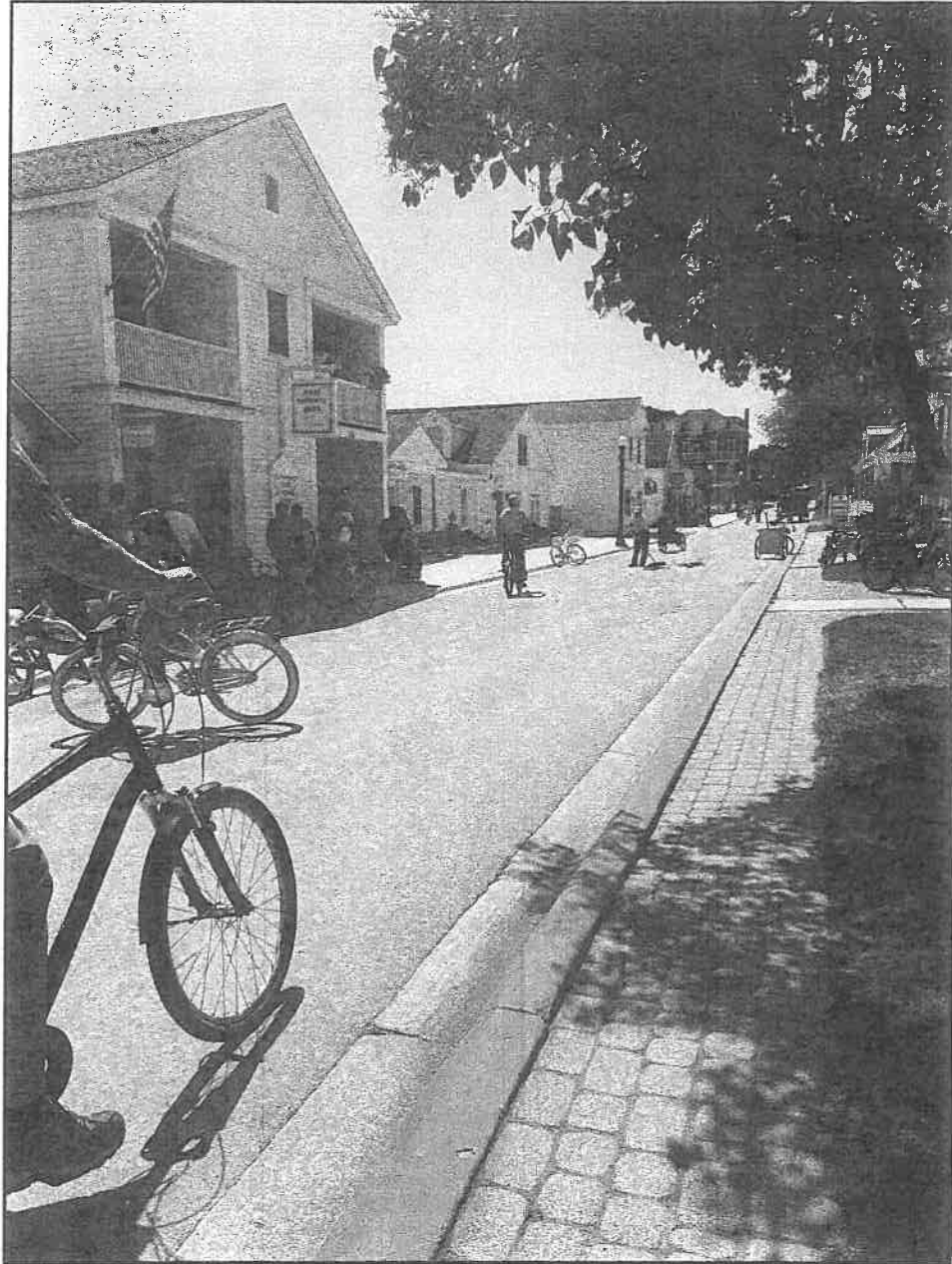
Chicago Hotel, Mackinac.

HISTORIC LENNOX PHOTO

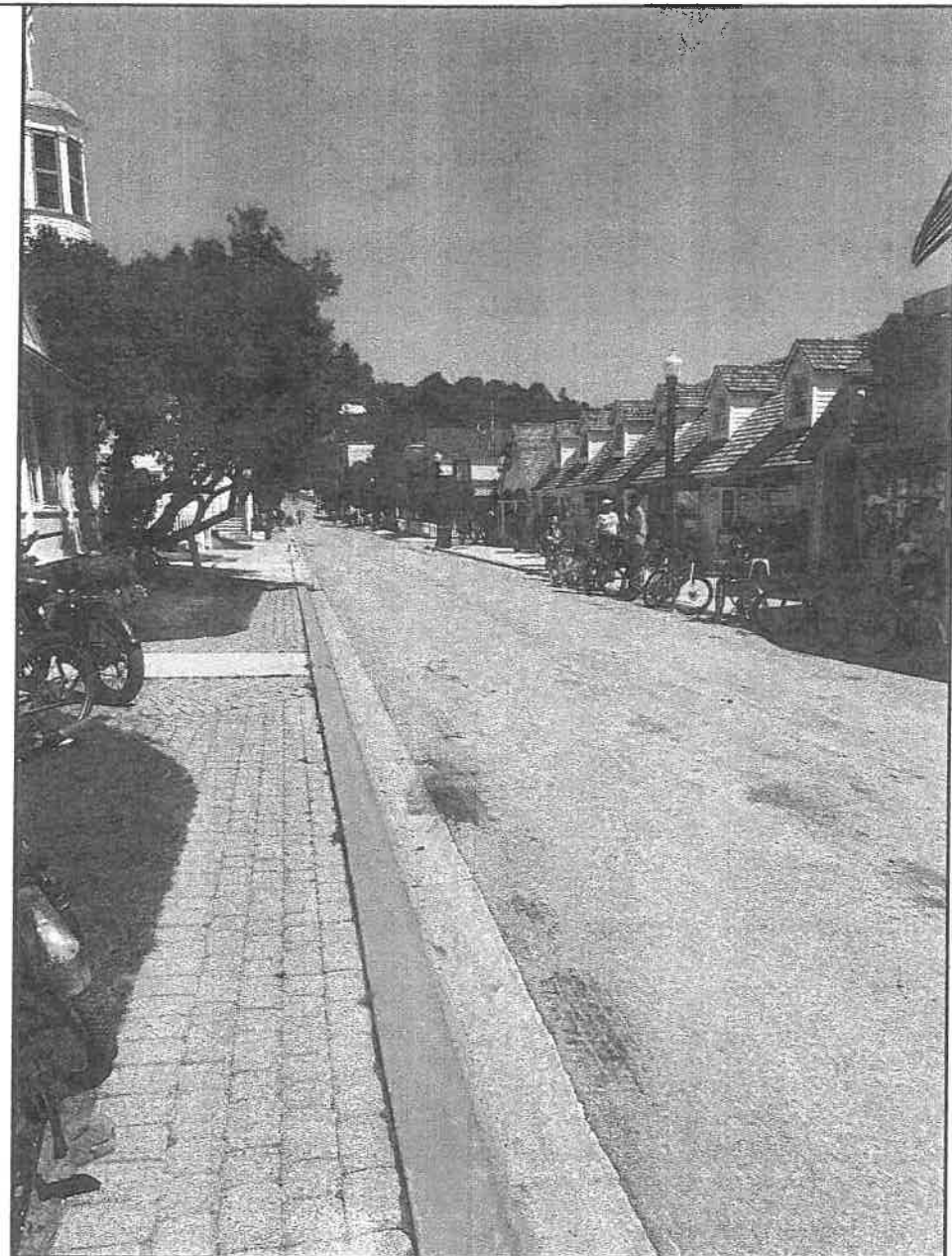
SHOWING ENTIRE PORCH WAS
ELEVATED 36" AT ONE TIME

File No. MD23-011-072(+)
Exhibit F
Date 8.29.23
Initials KR

Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1525@live.com 989-370-3681	CARRAIGE TOURS LENOX PORCH		date: Aug. 28, 2023 project: 2247	sheet: A0.0 COPYRIGHT © 2023
	7396 MARKET STREET MACKINAC ISLAND, MICHIGAN		PHOTOS	



LOOKING WEST FROM LENNOX



LOOKING EAST FROM LENNOX

Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	CARRAIGE TOURS LENOX PORCH		date: Aug. 28, 2023 project: 2247	sheet: A0.1
	7396 MARKET STREET MACKINAC ISLAND, MICHIGAN		PHOTOS	COPYRIGHT © 2023

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

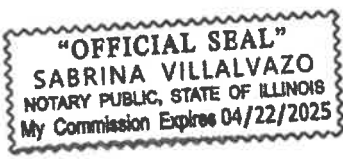
[Signature]
Signature

SIGNATURES _____
Signature

Karen Doyle; Stonetree Properties LLC
Please Print Name

Please Print Name

Signed and sworn to before me on the 29th day of August, 2023



Sabrina Villalvazo
Notary Public
DuPage County, ILLINOIS
My commission expires: 4/22/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised July 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.ci.mackinac.mi.us.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Revised October 2018

Apple Orchard Project

14. Freight Hauling Plan

Material

- Arnold Freight to Island → Mackinac Island Service Company to site
- If necessary, Fresh Air to Island → Mackinac Island Service Company to site
- Unloading/loading of overweight items with annually permitted equipment on site

Expected Equipment

- Utilize annually permitted equipment already on site – e.g., Ditch Witch, Kubota Tractor
- Skid Steer
- Mackinac Island Service Co delivery to site (when possible).

All equipment will be operated in accordance with permitting guidelines and parked out of public view when not in use.

Construction Debris & Trash

- Placed in debris wagon or dumpster (noted in red on plan).
- Drop-off and timely removal contingent on Mackinac Island Service Co availability.

15. Construction Staging Plan

Material, Equipment, Construction Debris & Trash, Dumpsters, Vehicles

- Stored away from fire lanes, exits, and access points.
- Construction tents used to cover materials and equipment sensitive to elements.
- Debris and material kept off ground, covered, and out of public view when possible.
- Vehicles move to and from site from maintenance area daily. Vehicle returned to maintenance area when not in use.

Safety & Security

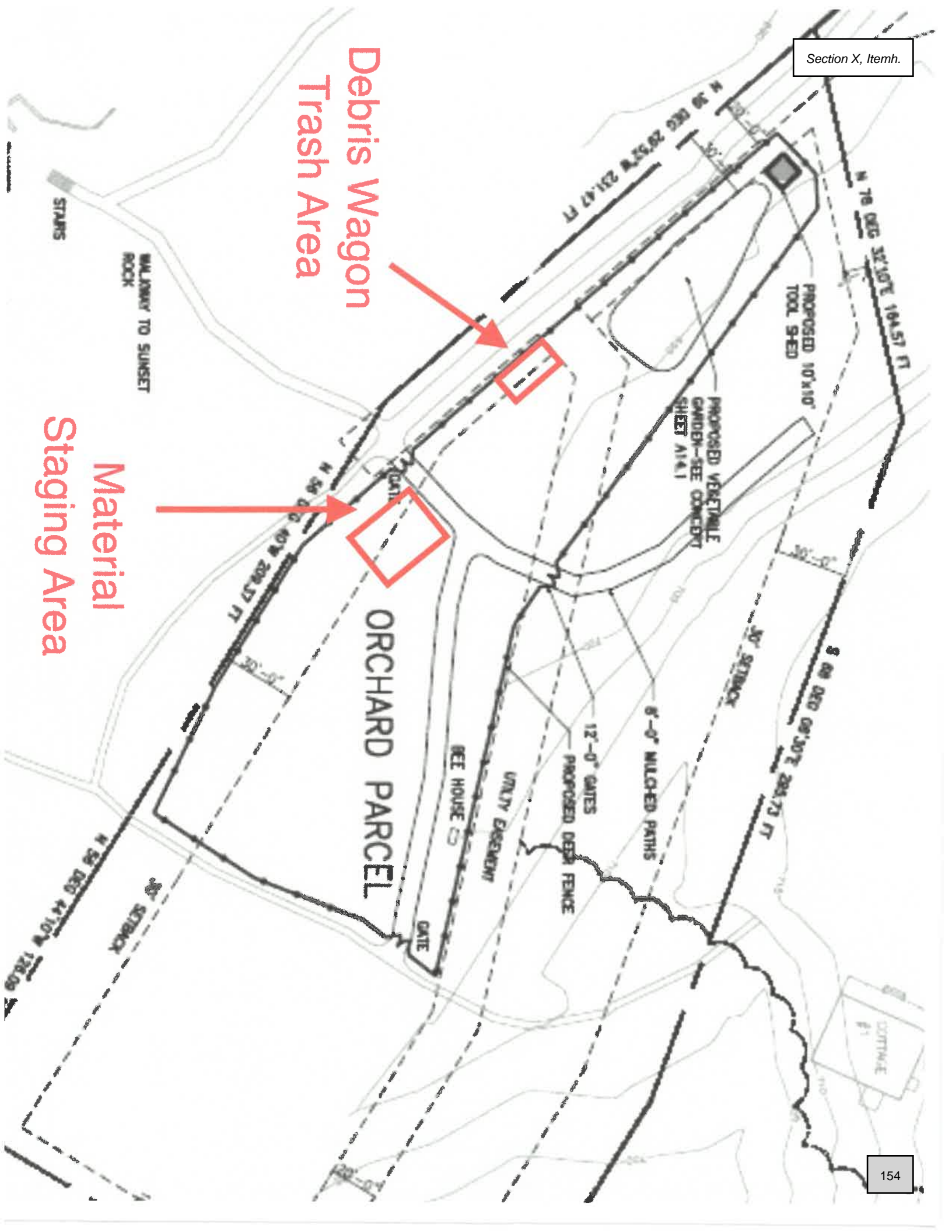
- Construction area signage, fencing, and caution tape used to secure areas that pose safety or security risk to contractors or the general public.

16. Start Date/End Date

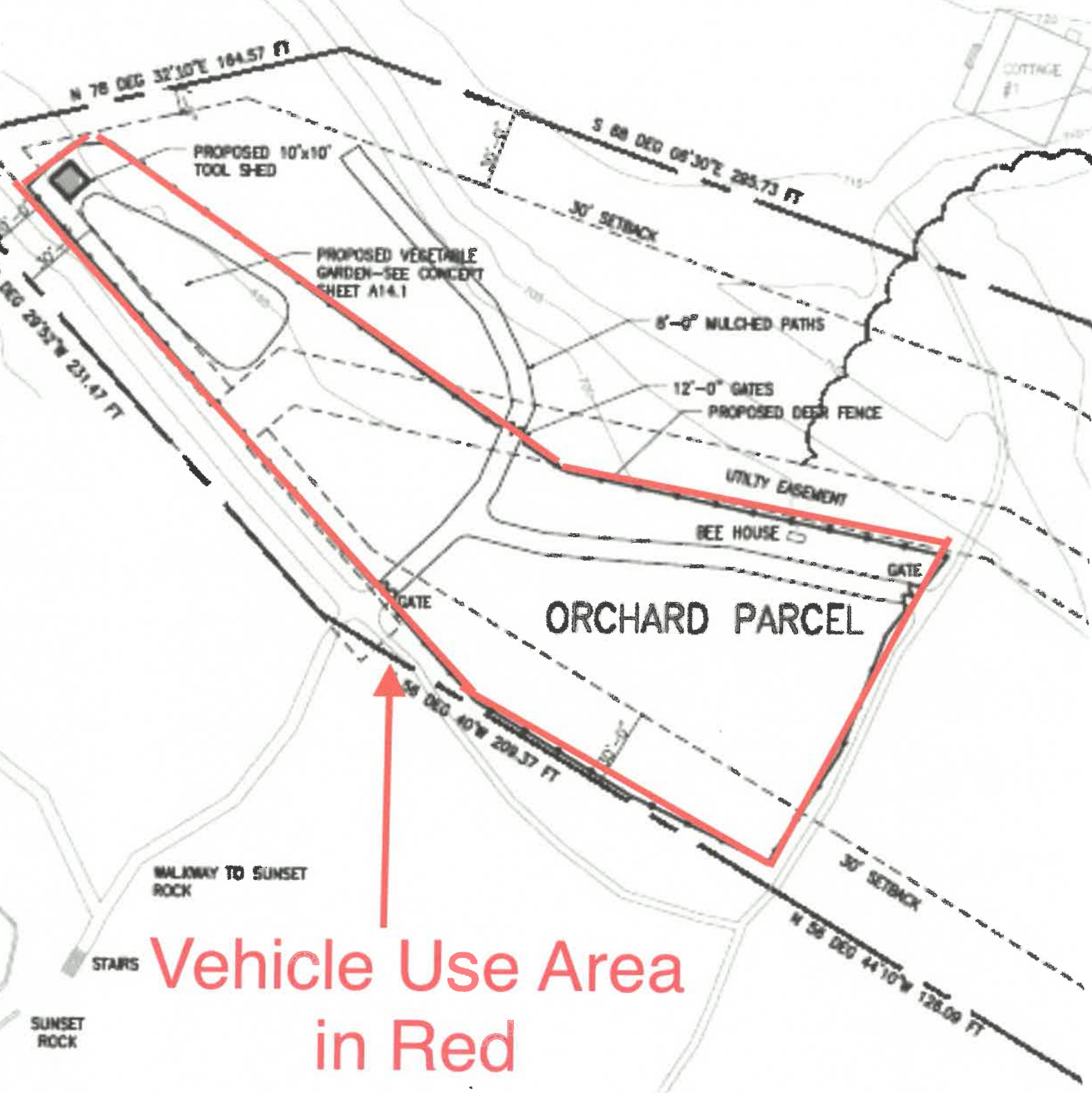
Proposed Start: October 2023 Anticipated Completion: Winter/Spring 2024

Debris Wagon
Trash Area

Material
Staging Area



EGRESS & UTILITY EASEMENT



Vehicle Use Area in Red

SITE PLAN





Stonecliffe Properties LLC - Stonecliffe Orchard

Project Description:

Stonecliffe is revitalizing the historic Apple Orchard by improving the health of the existing trees, planting dozens of new trees, adding beehives & a chicken coop, and creating a vegetable garden. To support the orchard and other agricultural uses, the following are being proposed to be added to the site:

- 6' deer fence, made of cedar poles and mesh wire (matching to the fence that lines that neighboring property)
- 10x10 storage shed with LP Lap siding, wood double doors, and green shingles

Description of effect on adjoining lands:

This converted use will not affect any adjoining properties. The fence will be built inside of the path used to access Sunset Rock, and thus not affect public access to Sunset Rock.

Description of Operations:

The Orchard will be operated & maintained by the Stonecliffe staff, along with the rest of the property. Additional programs (e.g., Beekeeping classes, plain air painting classes) will be hosted in the Orchard in partnership with other Island businesses / third parties.

File No. HB23-015-073

Exhibit B

Date 8-29-23

Initials KP

File No. HB23-015-073

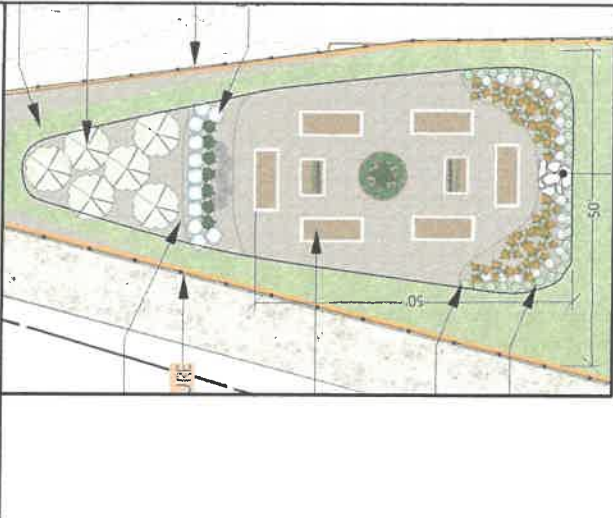
Exhibit C

Date 8.29.23

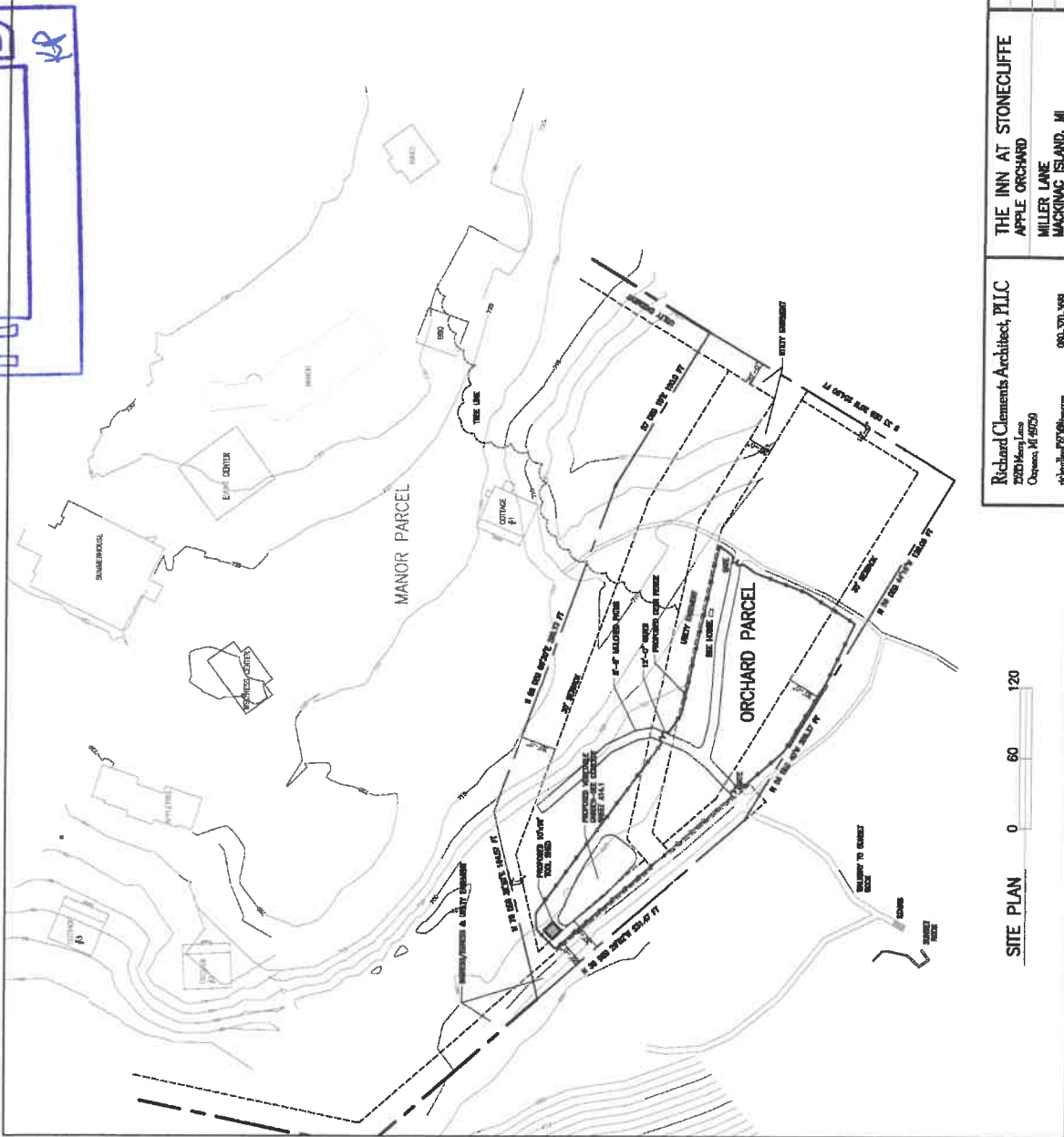
Initials KP



SITE PLAN NOTES: PARCEL #051-675-015-47
 PROPERTY ZONED HB HOTEL BOARDINGHOUSE.
 1. MINIMUM LOT SIZE REQUIREMENTS: AREA SHALL NOT BE LESS THAN 7500 SQ. FT. W/ A MIN. WIDTH OF 90' AT THE BUILDING LINE.
 2. ACTUAL LOT SIZE = 2.47 AC (107,594 SF) PARCEL
 3. MINIMUM SETBACK REQUIREMENTS:
 4. FRONT = 30 FEET, SIDE = 10 FEET, REAR = 30 FEET.
 5. NO BUILDING SHALL EXCEED 40 FEET OR 3/4 STORIES IN HEIGHT. ACTUAL SHED HEIGHT IS 1 STORY.
 6. MAXIMUM LOT COVERAGE IS 40%.
 7. ACTUAL LOT COVERAGE OF PARCEL IS 0.1% = 100 S.F.



CONCEPT PLAN FOR VEGETABLE GARDEN



SITE PLAN 0 60 120

Richard Clements Architects, PLLC
 2200 Henry Lane
 Okemos, MI 48869
 richard@rcaarchitects.com 980.370.3388

THE INN AT STONECLIFFE
 APPLE ORCHARD
 MILLER LANE
 MACKINAC ISLAND, MI

date: Aug. 28, 2023
 project: 2131-12
 APPLE ORCHARD
 sheet: A14.0
 continue to next

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 AUG 29 2023
 KP

Section X, Itemh.



PATH INTO ORCHARD



SAMPLE SHED



BEE HOUSE



IMAGE: DEER FENCE, CEDAR POSTS W/GAUGED MESH WIRE

PROPOSED FENCE



EXISTING BORDERING MANOGOJAN FENCE

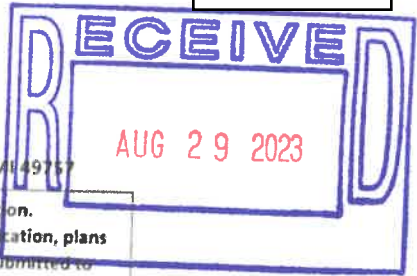
File No. HBa3-015.073
 Exhibit D
 Date 8.29.23
 Initials KP

Richard Clements Architect, PLLC
 1200 Henry Lane
 Oshtemo, MI 48820
 richard@rca2.com 989.370.3581

THE INN AT STONECLIFFE
 APPLE ORCHARD
 MILLER LANE
 MACKINAC ISLAND, MI

date: Aug. 28, 2023
 project: 2131-12
 APPLE ORCHARD

sheet: A14.1
 of: 14



CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Stonecliffe Properties, LLC - Love Shack
8593 Cudahy Circle, Mackinac Island, MI 49757
+1 (434) 841-1295 kevin@pultefamilyfoundation.org
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans
and all required documents must be submitted to
the Zoning Administrator fourteen (14) days prior to
the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Stonecliffe Properties LLC
220 S. Dixie Hwy.
Boca Raton, FL 33432

- Is The Proposed Project Part of a Condominium Association? No
- Is The Proposed Project Within a Historic Preservation District? No
- Applicant's Interest in the Project (If not the Fee-Simple Owner): Owner
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? Yes
- Is a Variance Required? No
- Are REU's Required? How Many? No

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other Change of Use
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-675-017-90
- B. Legal Description of Property: See Site Plan
- C. Address of Property: 3597 Ridge Rd
- D. Zoning District: HB
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
- G. Sketch Plan Attached: No
- H. Architectural Plan Attached: Yes
- I. Association Documents Attached (Approval of project, etc.): Not Applicable
- J. FAA Approval Documents Attached: In process
- K. Photographs of Existing and Adjacent Structures Attached: Yes

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____
- B. Use of Existing and Proposed Structures and Land:
 - Existing Use (If Non-conforming, explain nature of use and non-conformity): Residence
 - Proposed Use: HB
 - File No. HB23-017-074
 - Exhibit A
- C. If Vacant:
 - Previous Use: _____
 - Proposed Use: _____
 - Length of Time Parcel Has Been Vacant: _____
 - Date 8.29.23
 - Initials KP

OFFICE USE ONLY

FILE NUMBER: HB23-017-074 FEE: \$400 -

DATE: 8.29.23 CHECK NO: 1098 INITIALS: KP Revised July 2023

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

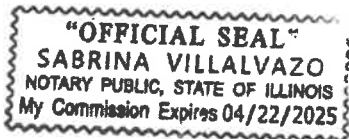
The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

[Signature] SIGNATURE
Signature

Kevin Doyle; StoneLife Properties LLC
Please Print Name Please Print Name

Signed and sworn to before me on the 24th day of August 2023



[Signature]
Notary Public
DuPage County, Michigan Illinois
My commission expires: 4/22/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:
Inspection Date Inspector Comments

- 1.
- 2.
- 3.

Occupancy Permit Issued _____

Revised July 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist

Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

<u>Utility Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Revised October 2018

Love Shack Project

14. Freight Hauling Plan

Material Hauling

- Arnold Freight to Island → Mackinac Island Service Company to site
- If necessary, Fresh Air to Island → Mackinac Island Service Company to site
- Unloading/loading of overweight items with annually permitted equipment on site

Equipment

- Utilize annually permitted equipment already on site – e.g., Ditch Witch
- (1) Mini Mobile Mud Hog Mixer
- Belonga Excavation Equipment
- Mackinac Island Service Co delivery to site (when possible)

Vehicles to be submitted for permitting from City and State Park, with police escorts, if necessary.

All equipment will be operated in accordance with permitting guidelines and parked out of public view when not in use.

Construction Debris & Trash

- Placed in debris wagon (noted in red on plan)
- Drop-off and timely removal contingent on Mackinac Island Service Co availability.

15. Construction Staging Plan

Material, Equipment, Construction Debris & Trash, Dumpsters, Vehicles

- Stored away from fire lanes, exits, and access points.
- Construction tents used to cover materials and equipment sensitive to elements.
- Debris and material kept off ground, covered, and out of public view when possible.
- Annually permitted equipment to be moved to and from Stonecliffe property maintenance area daily and returned to maintenance area when not in use.

Safety & Security

- Construction area signage, fencing, and caution tape used to secure areas that pose safety or security risk to contractors or the general public.

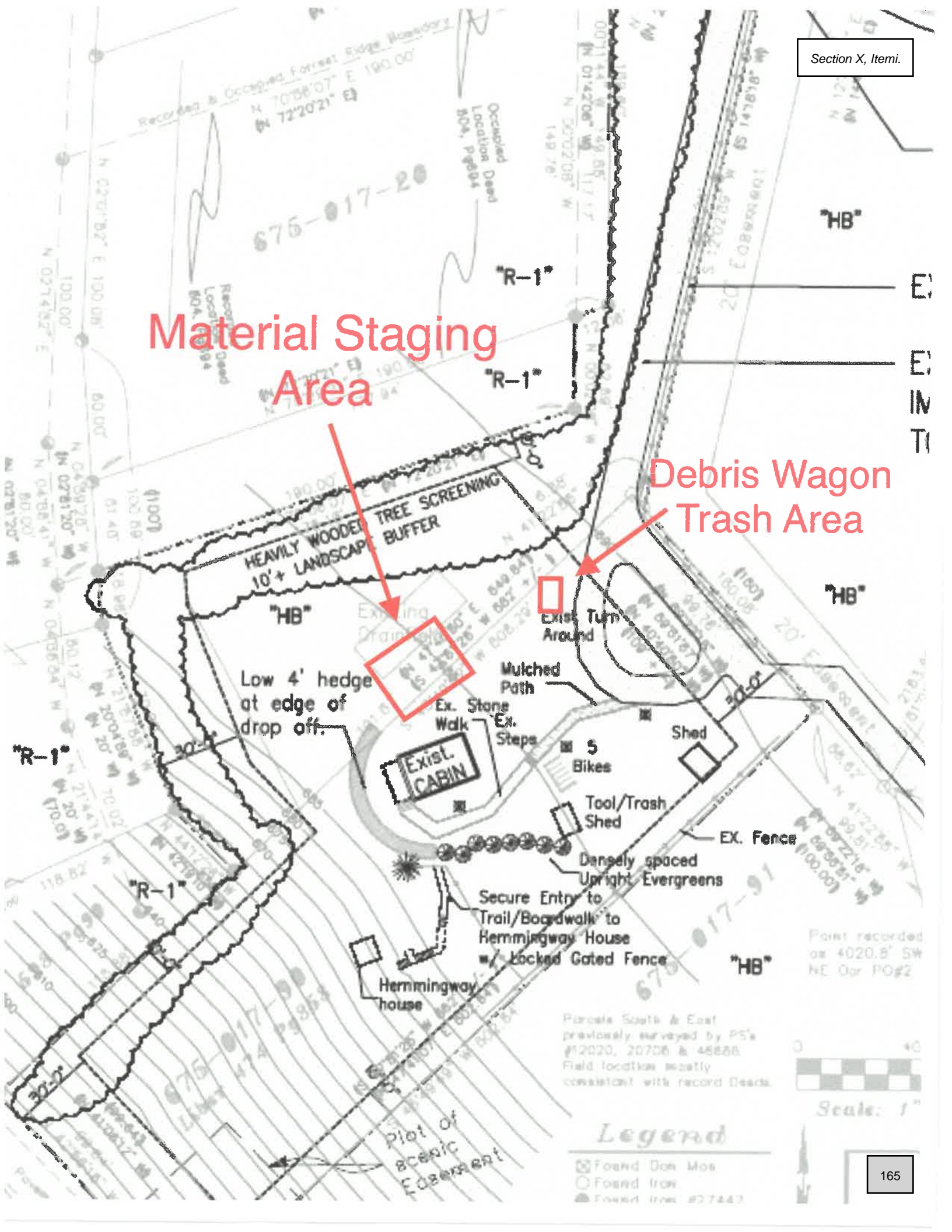
16. Start Date/End Date

Proposed Start: October 16, 2023

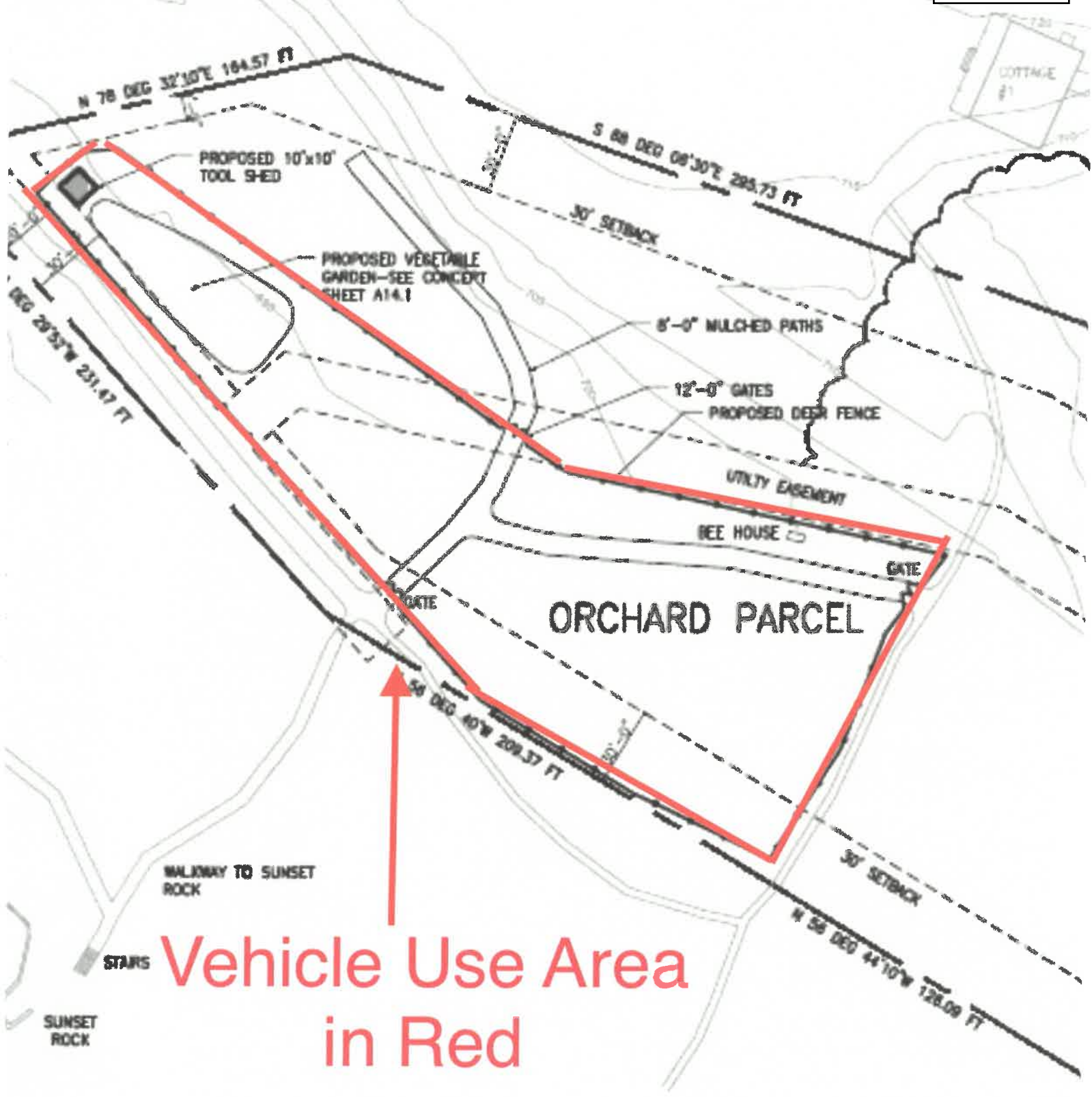
Anticipated Completion: Winter/Spring 2024

Material Staging Area

Debris Wagon Trash Area



5/EGRESS & UTILITY EASEMENT

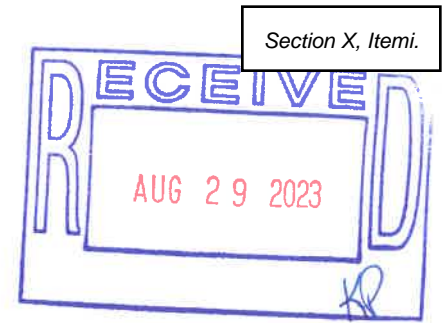


Vehicle Use Area in Red

SITE PLAN



File No. #B23-017-074
Exhibit B
Date 8.29.23
Initials EP



Stonecliffe Properties – The Stonecliffe Love Shack

Project Description:

This project is proposing to convert the use of a residential home that is zoned for HB use to an HB use. Interior updates will be completed to bring the building up to commercial code. Exterior changes are minimal, but include addition of a railing to the porch, rebuilding the porch steps, increasing turning radius in the driveway, adding a hedge to the bluff, and adding a locked gate to an existing man-made staircase down the bluff.

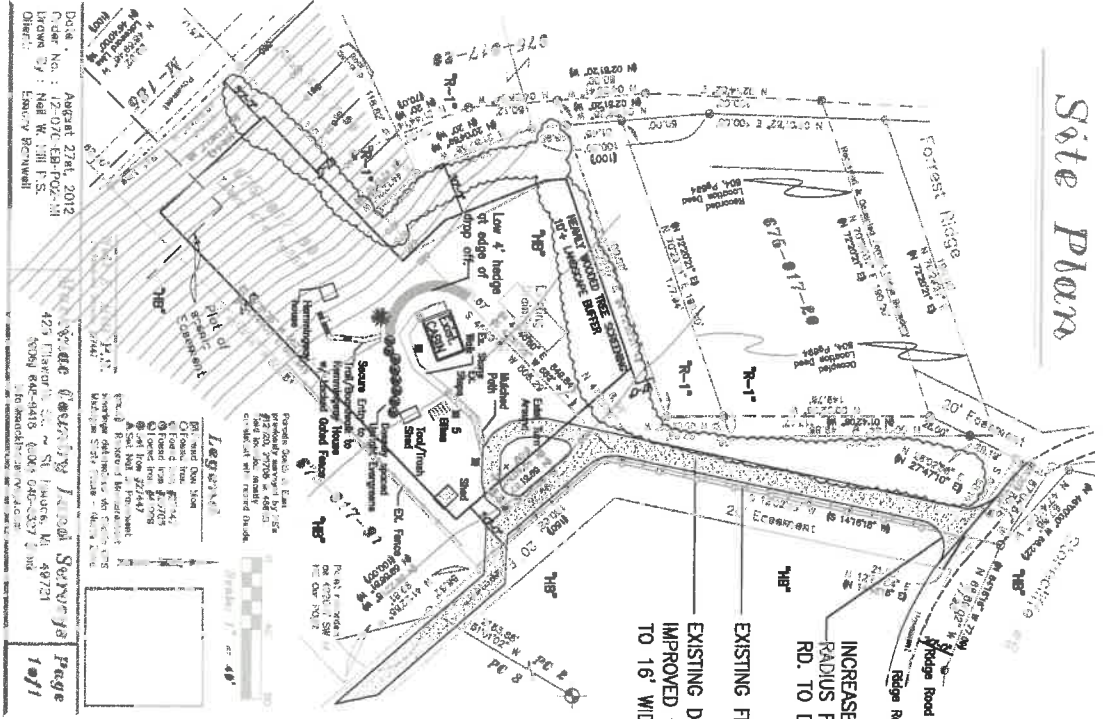
Description of effect on adjoining lands:

This converted use will have no effect on any adjoining properties and its location is not encumbered by any easements.

Description of Operations:

This building will be rented as a hotel room, along with the rest of Stonecliffe's hotel room inventory. It will be operated & maintained by the Stonecliffe staff, along with the rest of the property and hotel rooms.

Site Plan



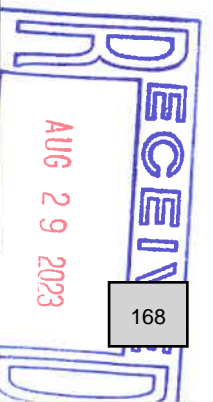
Date: August 27th, 2012
 Order No.: 12-07C-EB-PO2-M
 Drawn By: Neil W. Hill P.E.
 Designer: Emily Brownell

427 Highland Ave., St. Joseph, MI 49721
 Phone: 866-9413 / 866-045-327
 Fax: 866-9413 / 866-045-327

Project # 1071

- SITE PLAN NOTES: PARCEL #051-675-017-90**
1. PROPERTY ZONED HB HOTEL BOARDINGHOUSE.
 2. MINIMUM LOT SIZE REQUIREMENTS: AREA SHALL NOT BE LESS THAN 7500 SQ. FT. W/ A MIN. WIDTH OF 60' AT THE BUILDING LINE.
 3. ACTUAL LOT SIZE = 1.29 AC (56,205 SF) PARCEL
 4. MINIMUM SETBACK REQUIREMENTS:
 FRONT = 30 FEET, SIDE = 10 FEET, REAR = 30 FEET.
 5. NO BUILDING SHALL EXCEED 40 FEET OR 3/4 STORIES IN HEIGHT.
 6. MAXIMUM LOT COVERAGE IS 40%.
 7. ACTUAL LOT COVERAGE OF PARCEL IS 1.6% = 900 S.F. = NO INCREASE TO EXISTING IMPERVIOUS SURFACES.
 8. ALLOWABLE AND ACTUAL DENSITIES:
 -HOTEL: ALLOWABLE = 60 BEDROOMS PER ACRE = 60 x 1.29 ACRES = 77 ALLOWED.
 -HOTEL USE = 1 ACTUAL.
 9. FIVE (5) BICYCLE SPACES ARE PROVIDED.

Exhibit HB23.017.074
 Date 8.29.23
 Initials HP



Property Description

Part: Emily Brownell
 Metcalf/Hendel

DESCRIPTION OF THE PROPERTY

Traverse City, Michigan
 Parcel # 051-675-017-90 &
 1.29 ACRES
 The property is located at the corner of PC Rd. (City of Mackinac Island) and Mackinac Island Road (M-18) in the City of Mackinac Island, Michigan. The parcel is bounded by PC Rd. to the north, Mackinac Island Road to the east, and the City of Mackinac Island to the south and west. The parcel is currently zoned HB (Hotel Boardinghouse) and is being offered for sale by the City of Mackinac Island. The parcel is approximately 1.29 acres in size and is bounded by PC Rd. to the north, Mackinac Island Road to the east, and the City of Mackinac Island to the south and west. The parcel is currently zoned HB (Hotel Boardinghouse) and is being offered for sale by the City of Mackinac Island.

THE INN AT STONECLIFFE
 427 Highland Ave., St. Joseph, MI 49721
 Phone: 866-9413 / 866-045-327
 Fax: 866-9413 / 866-045-327

Richard Clements Architect, PLLC
 19215 Kent Lane
 Oshtemo, MI 49729
 Phone: 866-9413 / 866-045-327

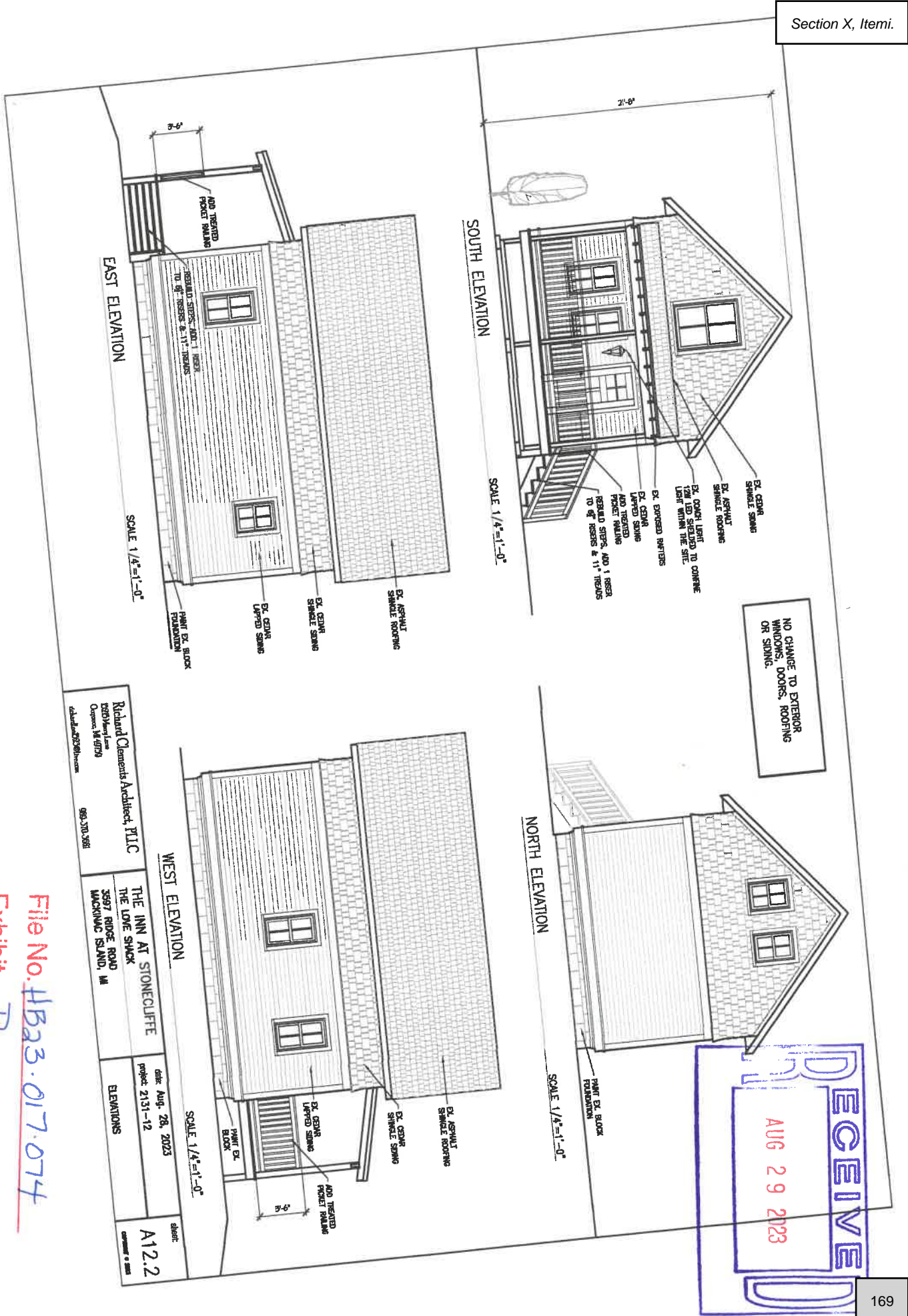
THE INN AT STONECLIFFE
 THE LOVE SHACK
 3597 RIDGE ROAD
 MACKINAC ISLAND, MI

date: Aug. 28, 2023
 project: 2131-12

sheet: **A12.0**

LOVE SHACK SITE PLAN

© 2023



Richard Clements Architect, PLLC
2500 Main Lane
Owens, MD 21779
rcl@rca.com 410.293.9800

980.370.3681
THE INN AT STONECLIFFE
THE LOVE SWACK
3597 RIDGE ROAD
MACKINAC ISLAND, MI

date: Aug. 28, 2023
project: 2131-12
ELEVATIONS
sheet: A12.2

File No. HB23-017.074
Exhibit D
Date 8.29.23
Initials KR

File No. #B23-017-074

Exhibit E

Date 8.29.23

Initials

RP

RECEIVED
AUG 29 2023



LOOKING SOUTH AT PROPERTY



LOOKING NORTH AT PROPERTY



LOOKING SOUTHWEST ON PROPERTY



OUTBUILDING & FENCE ON-SITE



LOOKING NORTH TOWARD RIDGE RD.



EASEMENT DRIVE AT PROPOSED BACK-UP TURN AROUND TO BE WIDENED

Richard Clements Architects, PLLC
8220 Langford
Clydesdale, MI 49729
richard@rca2.com 989.370.3861

THE INN AT STONECLIFFE
THE LOVE SHACK
3597 RIDGE ROAD
MACKINAC ISLAND, MI

date: Aug. 28, 2023
project: 2131-12
EXTERIOR PHOTOS

sheet:
A12.3
drawing of 2023



LIVING ROOM LOOKING NORTHWEST



LIVING ROOM LOOKING WEST



UPSTAIRS SLEEPING LOFT LOOKING NORTHWEST

Richard Clements Architect, PLLC 7520 Kendall Ave Oxley, WA 98779 Richard.Clements@rcaarch.com	989.370.3681	THE INN AT STONECLIFFE THE LOVE SHACK 3597 RIDGE ROAD WACHING ISLAND, MI	date: Aug. 28, 2023 project: 2131--12	sheet: A12.4 OF 10 SHEETS
INTERIOR PHOTOS				