

CITY OF MACKINAC ISLAND

AGENDA

PLANNING COMMISSION MEETING

Tuesday, August 08, 2023 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

- I. **Call to Order**
- II. **Roll Call**
- III. **Pledge of Allegiance**
- IV. **Approval of Minutes**
 - a. [July 11, 2023 Minutes](#)
- V. **Adoption of Agenda**
- VI. **Correspondence**
- VII. **Staff Report**
 - a. HDC Meeting Summary
 - b. REU Update
 - c. [Site Plan Review Amendment](#)
- VIII. **Committee Reports**
- IX. **Old Business**
 - a. [Grand Hotel - Facade Restoration Update](#)
 - b. [R123-014-036 Hammons New Home](#)
- X. **New Business**
 - a. [Zoning Permit Application Site Plan Review Checklist Review/Amend](#)
 - b. [R323-007-051 Hoban Hill-Nephew New Building](#)
 - c. [R323-007-052 Hoban Hill-Chippewa New Building](#)
 - d. [R423-065-054 Bazinau Variance for a Shed](#)
 - e. [HB23-007-055 Stonecliffe New Mercantile Building](#)
- XI. **Public Comment**
- XII. **Adjournment**

MINUTES

PLANNING COMMISSION MEETING

Tuesday, July 11, 2023 at 4:00 PM

City Hall – Council Chambers, 7358 Market St., Mackinac Island, Michigan

I. **Call to Order** The meeting was called to order at 4:08 PM

II. **Roll Call**

PRESENT

Trish Martin

Jim Pettit

Michael Straus

Anneke Myers

Mary Dufina

Lee Finkel

ABSENT

Ben Mosley

III. **Pledge of Allegiance**

IV. **Approval of Minutes**

a. Minutes of the June 13, 2023 Regular Meeting

Motion to approve as written

Motion made by Dufina, Seconded by Myers.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

V. **Adoption of Agenda**

Motion to approve as written

Motion made by Dufina, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

VI. **Correspondence**

VII. **Staff Report**

a. HDC Meeting Summary

Finkel summarized the July 11th HDC meeting. Part of the discussion was about penalty violations. Myers confirmed with Evashevski that this will be discussed in the Ordinance Committee.

b. REU Update

Allen Burt was not in attendance so no update was given.

VIII. Committee Reports

a. Master Plan Update

Myers stated there was a kick-off meeting with Adam Young. The meeting was an organizational meeting and meeting dates were set and tasks were assigned. The next meeting is August 7th. There will also be a meeting at the end of August. There will be an additional hearing in October. Members were asked to look at the existing Current Use map and look at places in their neighborhood for any changes.

IX. Old Business

X. New Business

a. Zoning Application Draft for Approval

Motion to approve the revised application

Motion made by Myers, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

b. R123-001-038 Wastewater Plant Improvements

Neal Liddicoat from DPW was available for questions. Dombroski stated the plant is on state property so does not require formal action from Planning Commission, but the application was submitted for information only and to keep the Commission up to speed. Liddicoat stated that bids were opened and 6 of the 8 categories had bids submitted. The remaining categories were put out for bid again. Work is planned to start October or November of this year and be commissioned by 2025. The plan is to build the new plant and then decommission the old plant. Some of the existing plant will be used in the new plant. Myers asked that when they have a better time frame to come back to Planning Commission and give an update.

c. HB23-015-043 Forest Way Townhomes Fence

Dombroski stated that this is a 10' segment of fence between two storage buildings. Right now the opening is being used as a short cut by Green Shed residents. This fence would cut off the short cut. Dombroski confirmed the fence meets all the zoning requirements. Dombroski believes it is a 6' high panel. The Commission wants to know the material of the fence. The application states the good side will face out. Myers would like to make sure that is done and that the fence is no higher than 6'. Motion to approve contingent on the height, material of the fence, and confirmation that the good side of the fence will be facing out.

Motion made by Myers, Seconded by Pettit.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

d. HB23-072-044 1358 French Lane Change of Use - Lakeview Mackinac LLC

Sam Barnwell stated the house is currently residential and would like the Use to be boardinghouse. Barnwell stated this is an allowed use. Fire code requirements will be done

this winter. Three sides are employee housing and the fourth is hotel use. Dufina the neighboring use in writing. Barnwell stated the maximum density will be less than what is allowed. This is zoned Hotel/Boardinghouse. Dombroski stated that even though it is an allowed use, it should be a recorded change of use.

motion to approve the change of use as allowed with letter describing the neighborhood.

Motion made by Myers, Seconded by Finkel.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

e. MD23-026-040(H) Benser - Shryock Residence Fence

Straus stated this was approved by the HDC. Roy Shryock stated he would like to use 5/4" decking and treated lumber for the post and railings, and painted white. Finkel confirmed that it meets all zoning requirements. Grass will be planted between the sidewalk and deck. Fence. Myers asked about timeframe. Roy said probably after November.

Motion to approve

Motion made by Martin, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

f. HB23-037-048 Chippewa Hotel St Cloud Deck

Roy stated smoking will no longer be allowed on front porch. They would like to build a ground level deck for bbq and smoking. It will be made of treated lumber and uncovered. The size is a 16' x 14' deck. The little deck in the picture is being removed and replaced with the new deck They will build around the existing lilac tree. There will be an 1/8 inch gap between the boards. The deck will be about the height of a stair riser. Myers asked if the commission wanted to send it for review since it is part of the proposed Mission historic district. Straus did not think it was necessary and the deck should not prevent the building from being a contributing structure. The deck can be easily removed. Dufina asked about the back yard and Roy stated there is no room in other parts of the yard. Motion to approve

Motion made by Dufina, Seconded by Martin.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

g. R423-095-031 GHMI 7527 4th Street Renovations

Dombroski stated there are several renovations to be done after a pipe break. There is sheathing and siding that needs to be replaced. The Interior stair is being done and new windows on the side of the building. One window will be relocated and then another window added. In addition there will be a door change. Motion to approve

Motion made by Myers, Seconded by Dufina.

Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

h. HB23-002-046 Grand Hotel Security Gate

Richard Chambers stated the gate in the wind tunnel is damaged and needs to be replaced. It will be very similar to the existing. It will be aluminum mesh. Motion to

approve. Straus asked if there is an issue with the roll up door. Dombroski stated currently roll up and is grandfathered in. But it should be noted that a roll up door approved and is very similar to the existing. Section 18 allows the approval of the roll up door.

Section IV, Itema.

Motion made by Dufina, Seconded by Martin.
Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

i. C23-021-047(H) GHMI Bicycle Street Inn New Entry Doors

David Jurcak requested that this be removed and resubmitted with a new application in August

XI. Public Comment

Corrigan stated that at the EUP Consortium met today and he thought it important that the commission know the state is getting 1.9 billion for upgrades. The way the state the money is allocated is through planning commissions and the prosperity areas identified in the state. Larry Jacques, MIHI director for strategic planning for Sault Tribe did study on climate change in the up. There may be increased precipitation but no other. The concern is there will be gentrification of the areas. Housing and everything else will increase. There has been a steady increase in 2 million-dollar homes sold over the years. In 2017, 3 houses in the Eastern UP were sold, and in 2022, 23 houses were sold. Straus asked how we get involved in the internet. Myers thought we joined EUP Connect to get funding. Corrigan stated they only identify the funding. Corrigan suggested starting with Astrea and contacting the Regional Planning Commission, the county commissioners and Judy St Lewis, who is our representative. The money that was given to EUP Connect was used for the survey. Myers asked what the report showed as the needs of the island. Corrigan will get the data for the Commission.

XII. Adjournment

Motion to adjourn the meeting at 5:20

Motion made by Finkel, Seconded by Martin.
Voting Yea: Martin, Pettit, Straus, Myers, Dufina, Finkel

Michael Straus, Chairman



Katie Pereny, Secretary

**AMENDMENT TO ZONING ORDINANCE,
BEING ORDINANCE NO. 479, AS AMENDED
CITY OF MACKINAC ISLAND**

Ord. No. _____, **Eff.** _____

An ordinance to amend Article 20 of Ordinance No. 278, as amended, (Appendix A – Zoning of the City of Mackinac Island Code) to ensure the proper review of Site Plans by the planning commission.

THE CITY OF MACKINAC ISLAND ORDAINS:

Section 1. Article 20 of said Zoning Ordinance (Ordinance No. 479, as amended) is repealed and replaced with the following:

Section 20.01 - Purpose.

The purpose of this article is to provide for coordination and cooperation between the landowner and the planning commission in order that the owner may accomplish his objectives in the utilization of this land within the regulations of this zoning ordinance and with minimum adverse effect on the use of adjacent streets and on existing and future uses in the immediate area and vicinity.

This article shall also apply to any construction and/or modifications of any structures, docks, marinas, or uses on land or in water within the "M" Marine District and "L" Lake District.

Section 20.02 - Scope.

Except as set forth below, the zoning administrator shall not issue a zoning permit for construction of structures or uses until a site plan, submitted in accordance with the city zoning ordinance, shall have been reviewed and approved by the planning commission and city council in the case of planned unit development; and the planning commission only for all other area, on land or in water, used for which a site plan is required by this ordinance. "Construction" for the purpose of this article shall be defined as: the construction, erection, reconstruction, alteration, conversion, demolition, deconstruction, repair, moving, or equipping of buildings or structures.

The following buildings, structures, or uses shall be exempt from the site plan review procedure:

- A. Interior, accessory and subordinate buildings requiring no new additional means of access thereto from adjoining public streets and complying with all zoning ordinance requirements.
- B. Buildings or structures otherwise specifically exempted from site plan review in other sections of this zoning ordinance.

(Ord. No. 539, § 1, 2, 7-20-2016)

Section 20.03 - Optional preliminary plan review.

An applicant may, at his or her discretion, submit preliminary sketches of proposed site and development plans to the planning commission for review prior to final approval. Additionally, the zoning administrator shall have the authority to require the submittal of preliminary sketches of proposed site and development plans to the planning commission for review prior to final approval where, in his or her opinion, the complexity and/or scale of the site or the proposed development so warrants. The purpose of such procedure is to allow discussion between the applicant and the planning commission to better inform the applicant of the acceptability of the proposed plans prior to incurring extensive engineering and other costs which might be necessary for final site plan approval.

Applications for preliminary plan review shall be made by filing with the zoning administrator. Preliminary plans shall include as a minimum the following:

- A. The name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership.
- B. A legal description of the property.
- C. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development.

Section 20.04 - Applicable procedure.

Requests for final site plan review shall be made by filing with the zoning administrator the following:

- A. The application shall be accompanied with a fee to cover the cost of processing the review.
- B. Copies of the completed application form for site plan review, in a number as determined by the City, which shall contain, as a minimum, the following:
 - 1. The name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership.
 - 2. The legal description of the subject parcel of land.
 - 3. The area of the subject parcel of land.
 - 4. The present zoning classification of the subject parcel.
 - 5. A general description of the proposed development.
 - 6. Condominium subdivision project site plans shall also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.
- C. Copies of the proposed site plan, in a number as determined by the City, which shall include, as a minimum, the following:

1. The plan shall be drawn to [a] scale of not greater than one inch equals 20 feet for a development of not more than three acres and a scale of not less than one inch equals 100 feet for a development in excess of three acres with north point and scale shown on the plan drawing.
2. The plan shall show an appropriate descriptive legend. North arrow, scale, date of preparation and the name and address of the individual or firm preparing the same.
3. The property shall be identified by lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property.
4. The topography of the site with at least two- to five-foot contour intervals and all natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features shall be shown.
5. Existing manmade features upon the site and within 100 feet of the same shall be identified.
6. The location, proposed finished floor and grade line elevations, size of proposed main and accessory buildings, the relationship of buildings to one another and to any existing structures on the site, the height of all buildings and square footage of floor space therein shall be disclosed. Site plans for multiple family residential development shall also include a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units.
7. All proposed and existing streets, driveways, sidewalks and other bicycle or pedestrian circulation features upon and adjacent to the site shall be shown, together with the location, size and number of on-site parking areas, service lanes thereto, and parking and delivery or loading areas.
8. The location, use and size of open spaces together with landscaping, screening, fences, walls and proposed alterations of topography or other natural features shall be indicated.
9. The proposed operations on the site shall be described, in writing, in sufficient detail to indicate the effect, if any, upon adjoining lands and occupants with any special features which are proposed to relieve any adverse effects to adjoining land and occupants. Any potential demands for future community services will be described, together with any special features which will assist in satisfying such demands.
10. Any earth-change plans required by state law shall also be submitted with the application.

- 11. On site lighting, surface water drainage for the site, proposed sanitary sewage disposal, water supply, solid waste storage and disposal, other utility services (i.e., propane tanks, electrical service, transformers), and utility easements shall be included in the plans.
- 12. A general description and location of stormwater management system shall be shown on the grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features.
- 13. Any feature of the proposed development that would directly or indirectly impact a public right-of-way, public utility, or adjoining property.
- 14. A freight hauling plan shall be shown to demonstrate how the materials, equipment, construction debris, and any trash will be transported to and from the property, what, if any motor vehicles may be needed for the project. (Applicant is responsible for ensuring frost laws do not delay necessary actions of this plan).
- 15. A construction staging plan shall be shown to demonstrate where and how materials, equipment, construction debris, trash, dumpsters and motor vehicles will be stored and secured during construction. This plan shall ensure the site is kept clean, show how construction debris and trash will be controlled, and how safety issues will be secured including any necessary fencing or barriers that will be needed.
- 16. Proposed construction start date and estimated duration of construction.
- 17. Such other information as may be determined to be necessary by the planning commission because of any peculiar features of the proposed development.

D. Additional information required specific to applications for demolition or raising of a building:

- 1. Site plan of property where demolition is going to take place. This plan shall include structure(s) being demolished, location of utilities, septic tanks, an itemized statement of valuation of demolition and restoration work to be performed, or other such items as may be required by the building official.
- 2. Copy of asbestos survey if required by EGLE or other state department.
- 3. Results of a pest inspection and, if necessary, a pest management plan.

- 4. Plans for restoring street frontage improvements (curb closure, sidewalk replacement, street patch, or other items as required by the building official). These items will not be required if building permits for redevelopment have been applied for or if redevelopment is planned within six months. In such case, the cash bond will be held until building permits for redevelopment are issued or improvements are complete. Completion shall not be deferred more than six months. Temporary erosion control and public protection shall be maintained during this time.
- 5. A written work schedule for the demolition project. Included in this may be, but are not limited to, street closures, building moving dates, right-of-way work, or other items as required by the building official.
- 6. Acknowledgment that if any unknown historic or archeological remains discovered while accomplishing the activity authorized by a permit granted by the City, all work must immediately stop and notification of what was discovered must be made by the applicant to the City as well as any other required offices. The City will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.

Section 20.05 - Action on application and plans.

- A. The zoning administrator or Planning Commission secretary shall record the date of the receipt of the application and plans, and transmit copies thereof to the planning commission, and place the request on the next available planning commission agenda.
- B. The planning commission shall have the authority to approve, disapprove, modify, or alter the proposed plans in accordance with the purpose of the site plan review provisions of the city zoning ordinance and the criteria contained thereon. Any required modification or alteration shall be stated in writing, together with the reasons for such modification, and delivered to the applicant. The planning commission may either approve the plans contingent upon the required alterations or may require a further review after the same have been included in the revised site plan by the applicant. The decision of the planning commission shall be made within 100 days of the date of its first review of the plans by the planning commission.
- C. Copies of the approved final site plan, in a number as determined by the City, including required modifications or alterations shall be maintained as part of the city records for future review and enforcement.

Section 20.06 - Criteria for review.

In reviewing the application and site plan and approving, disapproving or modifying same, the planning commission shall be governed by the following standards:

A. That all requirements pertaining to the district in which development is proposed are adequately met.

B. That there is a compatible relationship between the existing streets within the vicinity further defined as: adequate service drives, entrance and exit driveways and parking areas to ensure the safety and convenience of pedestrian, bicycle and horse traffic.

C. That the buildings and structures to be located upon the premises are so situated to minimize adverse effects upon owners and occupants of adjacent properties, in relationship to lighting, loading activities, noise producing activities, erosion and flooding, and site access.

D. That as many natural features of the landscape shall be retained as possible where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes and where they assist in preserving the character of the area.

E. That the adverse effects of the proposed development and activities emanating therefrom which affect adjoining residents or owners shall be minimized by appropriate screening, fencing, landscaping, setback and location of buildings, structures and entryways.

F. That the lot layout and individual building design is harmonious with the historic and natural character of the island to insure an optimal relationship between the proposed development and existing contiguous land uses.

G. That the proposed development will be adequately served by essential public facilities and services, such as streets, police and fire protection, water, sewer (if appropriate), stormwater management, and refuse disposal.

H. That all provisions of the city zoning ordinance are complied with unless appropriate variance therefrom has been granted by the board of zoning appeals.

I. That all structures and objects associated with utilities including but not limited to electrical transformers, telephone boxes and wires be underground, covered or addressed as to minimize the visual or adverse effects on the surrounding areas.

J. That the proposed development will not encroach upon or interfere with a public right of way, public utility or adjoining property.

K. That all freight being transported to and from the project is being done in a manner that is considered the least invasive.

L. That all materials, equipment, dumpsters, and any motor vehicles needed for the project will be staged and stored in a manner that will minimize the visual or adverse effects on the surrounding areas.

M. That all dumpsters are removed from the property prior to the frost law restrictions are imposed.

N. That the start date and timeline for the proposed construction is least invasive to the summer season.

O. That the site plan is in compliance with all applicable local, state and federal laws.

P. Additional criteria for review specific to demolition or raising of a building:

1. That the proposed plans properly and safely disconnect, remove and dispose of all utilities, septic tanks, propane tanks and other items connected to the building or land.
2. That the proposed plans will adequately restore street frontage improvements including but not limited to: curb closure, sidewalk replacement, street patch.
3. That the proposed plans properly and safely handle and dispose of all materials including hazardous materials.
4. In the event that a redevelopment plan has been applied for and is planned, that the proposed plans will adequately protect the public and erosion control for the interim period.
5. That the proposed plan properly accounts for the need and procedure that will be followed if a pest or insect management plan is necessary.
6. That the adverse effects of the proposed demolition and activities emanating therefrom which affect adjoining residents or owners shall be minimized by appropriate screening, timing of work, and cleanup process.
7. That notice of the address, dates and times of the demolition and cleanup process shall be posted in a conspicuous manner on the front of the property to be demolished for no less than seven (7) consecutive days. The notice sign shall be provided by the City's Building Department. Working hours for demolition and cleanup shall be limited to 8am-5pm.

Section 20.07 - Conformity to approved site plan.

Any property which is the subject of site plan approval must be developed in strict compliance with the approved site plan, inclusive of any amendments, which have received the approval of the planning commission. The site plan, as approved, shall become a part of the record of approval, and subsequent actions relating to the activity authorized shall be consistent with the approved site plan.

Section 20.08 - Violation of site plan approval.

Sites not developed in conformance with an approved site plan are in violation of this ordinance.

Section 20.09 - Commencing construction.

Approval of the site plan shall be valid for a period of one year. If a building permit has not been obtained and on-site development activity actually commenced within one year, the site plan approval shall be null and void. The planning commission, upon application by the owner, may grant an extension thereof for good cause for a period not to exceed one year.

Section 20.10 - Amendment to site plan.

The zoning administrator shall have the authority to determine if a proposed change requires an amendment to an approved final site plan. A site plan may be amended upon application and in accordance with the procedure herein for a final site plan. The zoning administrator may approve minor changes in an approved final site plan, provided that a revised final site plan drawing is submitted showing such minor changes, for purposes of record.

Section 20.11 - Performance bond.

The city council, upon recommendation of the planning commission, shall have the right and authority to require the developer to file with the city clerk following approval of the site plan and at the time of the application for a building permit, a performance bond or bank letter of credit in such amounts as may be determined by the said commission to insure installation of improvements in accordance with the approved site plan, including but not limited to roadways, lighting, utilities, sidewalks, screening and drainage. Such bond, if required shall continue for the duration of the construction and development of the site and any cash deposits shall be rebated in a reasonable proportion to the ratio of work completed on the required improvements

Section 2. Effective Date. This ordinance shall become effective _____.

Margaret M. Doud, Mayor

Danielle M. Leach, Clerk

Adopted: _____

Effective: _____

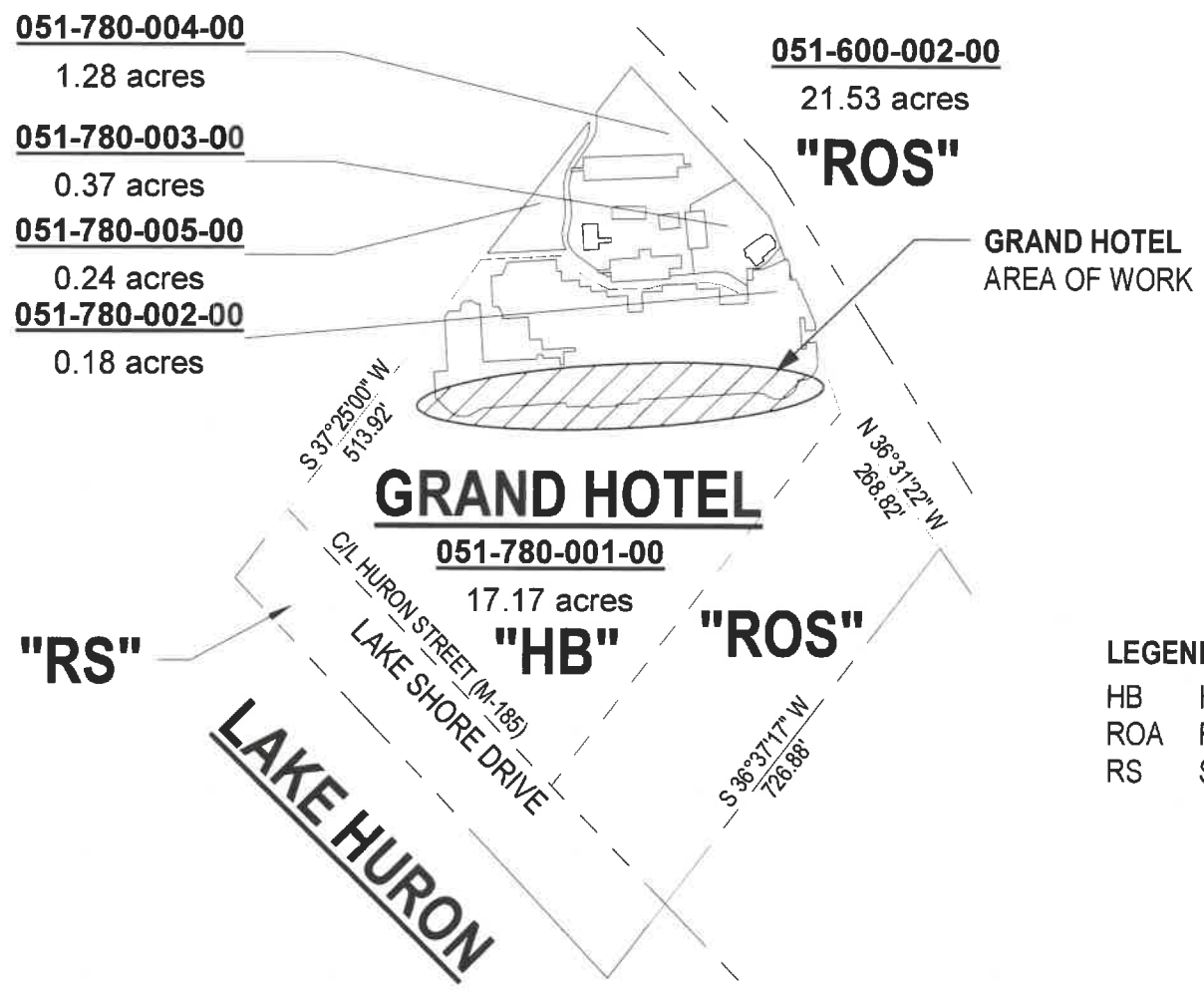
Grand Hotel

WORLD'S LARGEST SUMMER HOTEL

Statement of Historic Significance
 The project involves the Restoration and Reconstruction of a historic building listed as a National Historic Landmark. Utmost care, sensitivity and respect shall be shown to the building at all times.

Grand Hotel FACADE AND PORCH RESTORATION + RECONSTRUCTION

MACKINAC ISLAND, MI



Sheet List

1	COVER
2	HISTORIC EVOLUTION
3	ELEVATION
4	RENDERING
5	RENDERING
6	PHOTOGRAPHS

LEGEND

HB	HOTEL/BOARDING
ROA	RECREATION/OPEN SPACE
RS	SHORELINE RESIDENTIAL

OWNER: GRAND HOTEL
 CONTACTS: KEN PETERSON 906.847.3331
 DAVID JURCAK 303.710.8474
 PROPERTY ADDRESS: 7798 WEST BLUFF RD MACKINAC ISLAND, MI 49757
 PARCEL #: 051-780-001-00

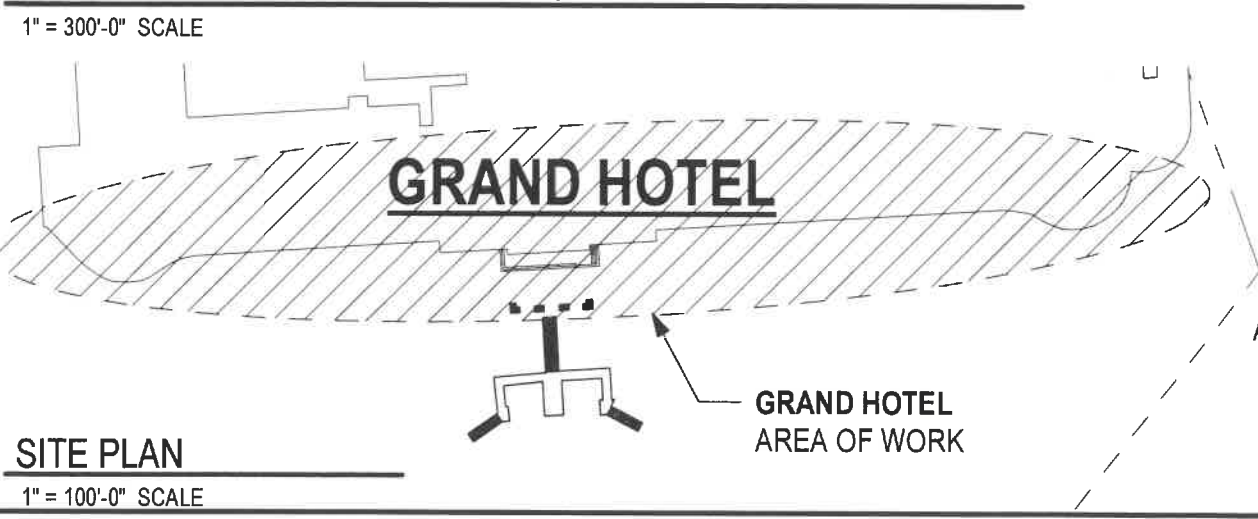
Project Description
 Reconstruct original eave below 300 level.
 Restore south façade including columns, flag poles, siding, balconies, and windows from grade to the reconstructed historic eave.
 Replace siding below reconstructed historic eave porch fascia with original shingles.
 Replace siding, windows, and doors on the 300 and center of the 400 level above the reconstructed historic eave.
 Replace lobby and parlor level awnings.
 Replace porch finish.
 Reconstruct historic porte cochere.

Zoning
 CURRENT ZONING DISTRICT: HOTEL/BOARDING HOUSE, "HB"

Requirements

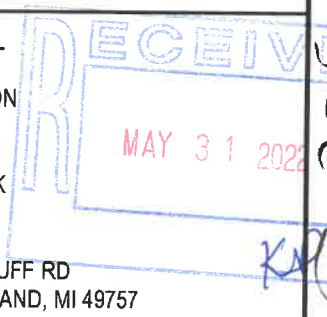
	REQ'D	EXISTING	PROPOSED
MIN. LOT SIZE:	7,500 SF	649,800 SF (14.92 ACRES "HB")	
SETBACKS	ALLOWED	EXISTING	PROPOSED
FRONT YARD	30' MIN		GREATER OR EQUAL TO 30'
SIDE YARD	10' MIN		GREATER OR EQUAL TO 10'
REAR YARD	30' MIN		GREATER OR EQUAL TO 30'
HEIGHT	ALLOWED	EXISTING	PROPOSED
STORIES MAX	3.5	7	NO CHANGE
FEET (MIN)(MAX)	(12')(40')	~90'	NO CHANGE
LOT COVERAGE	ALLOWED	EXISTING	PROPOSED
SQ. FT. (INCLUDING PORCHES AND DECKS)	259,920 SF (40%)	171,540 SF (26.4%)	NO CHANGE
DENSITY	EXISTING		
BUFFER AT ADJACENT SINGLE FAMILY RESIDENTIAL USE:	EXISTING		
BIKE PARKING:	PROVIDED		

EXISTING PROPERTY DESCRIPTION



File No. HB22-001-030
 Exhibit B
 Date 5-31-22
 Initials KP

ARCHITECT
HopkinsBurns Design Studio
 113 S Fourth Ave.
 Ann Arbor, Michigan 48104
 (734)424-3344
 www.hopkinsburns.com



Grand Hotel
 WORLD'S LARGEST SUMMER HOTEL
 05/31/2022
 SCALE: As indicated

Facade and Porch
 Restoration + Reconstruction
 Planning Commission

HopkinsBurns
 DESIGN STUDIO
 historic preservation & communities by design

2 HISTORIC EVOLUTION

Grand Hotel
WORLD'S LARGEST SUMMER HOTEL
SCALE: 12" = 1'-0"
05/31/2022

Facade and Porch
Restoration + Reconstruction
Planning Commission

HopkinsBurns
DESIGN STUDIO
historic preservation & communities by design

S:\Projects\Grand Hotel\300 Level Siding and Window Replacement\Cad\GH - 300 Level Windows_A21_local.rvt
5/31/2022 1:48:32 PM

ORIGINAL HOTEL EAVE

PORCH FASCIA W/
SHINGLE SIDING

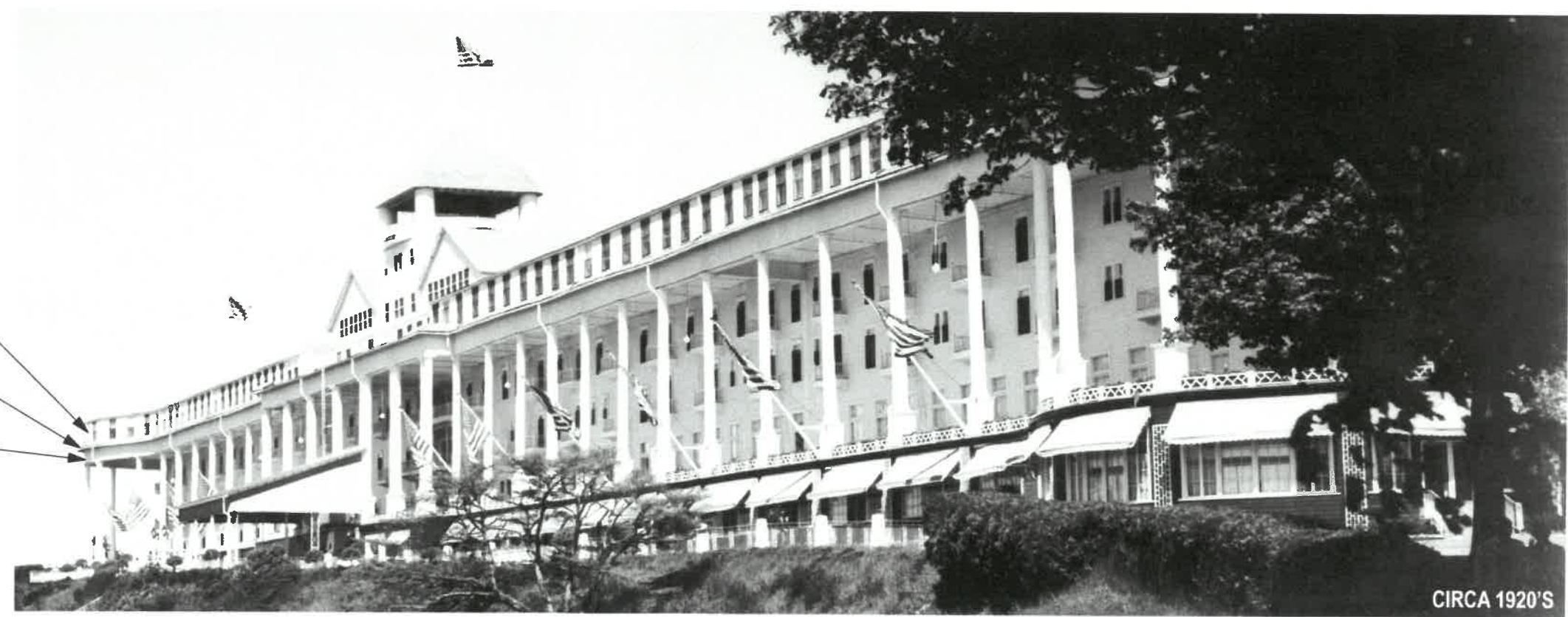


CIRCA 1912

SHINGLE SIDING BETWEEN
SINGLE WINDOWS

HISTORIC EAVE

PORCH FASCIA W/
SHINGLE SIDING



CIRCA 1920'S

WINDOW HEADS LOWERED

WINDOWS MODIFIED FROM
SINGLE TO GANGED

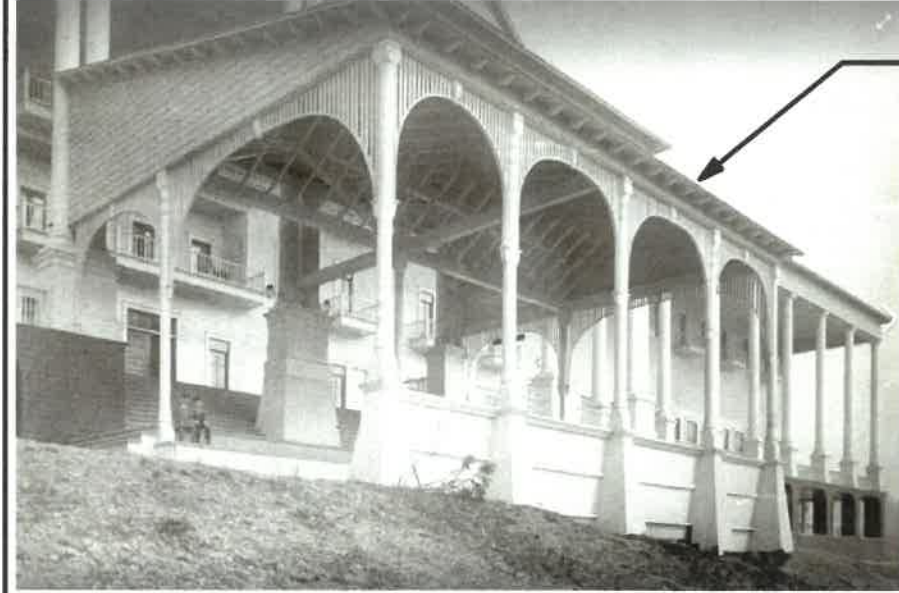
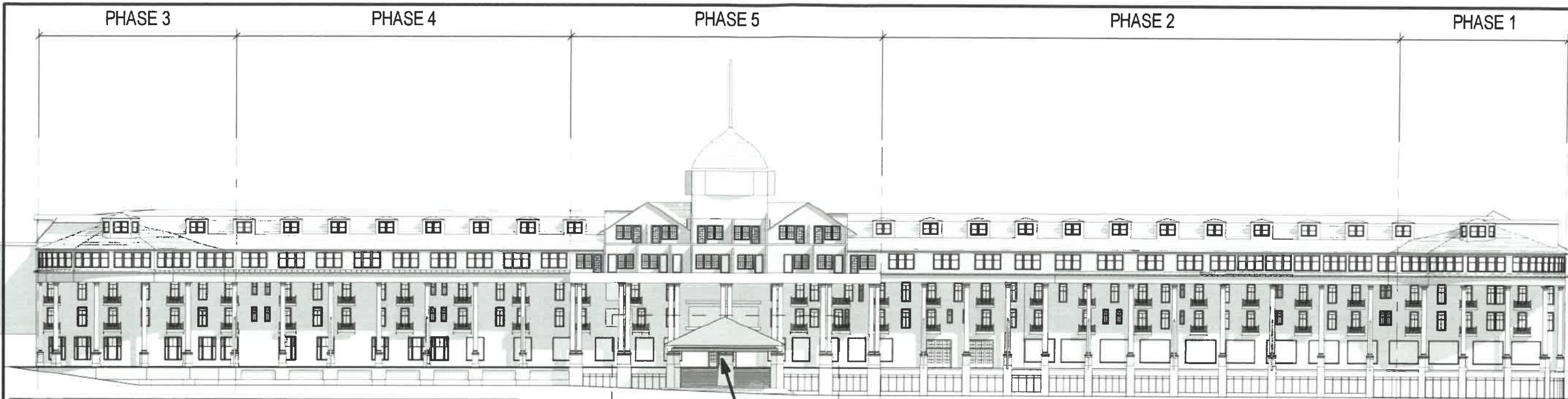
HISTORIC EAVE REMOVED

FIBER BOARD
CLAPBOARD SIDING



PRESENT DAY

HOTEL HISTORIC EVOLUTION



HISTORIC PORTE COCHERE TO BE RECONSTRUCTED

NEW EAVE TO MATCH ORIGINAL ROOF EAVE.

NEW SHINGLE SIDING, SQUARE CUT, PREFINISHED

NEW MARVIN SINGLE HUNG, COTTAGE STYLE, ALUM CLAD, W/ 3" CASING

FRONT ELEVATION

1" = 40'-0" SCALE

PROPOSED FACADE AND PORCH SCOPE OF WORK

- Reconstruct original eave below 300 level.
- Restore south façade including columns, flag poles, siding, balconies, and windows from grade to the reconstructed historic eave.
- Replace siding below reconstructed historic eave porch fascia with original shingles.
- Replace siding, windows, and doors on the 300 and center of the 400 level above the reconstructed historic eave.
- Replace lobby and parlor level awnings.
- Replace porch finish.
- Reconstruct historic porte cochere.



300 LEVEL (ENLARGED)

1/8" = 1'-0" SCALE

3
ELEVATION

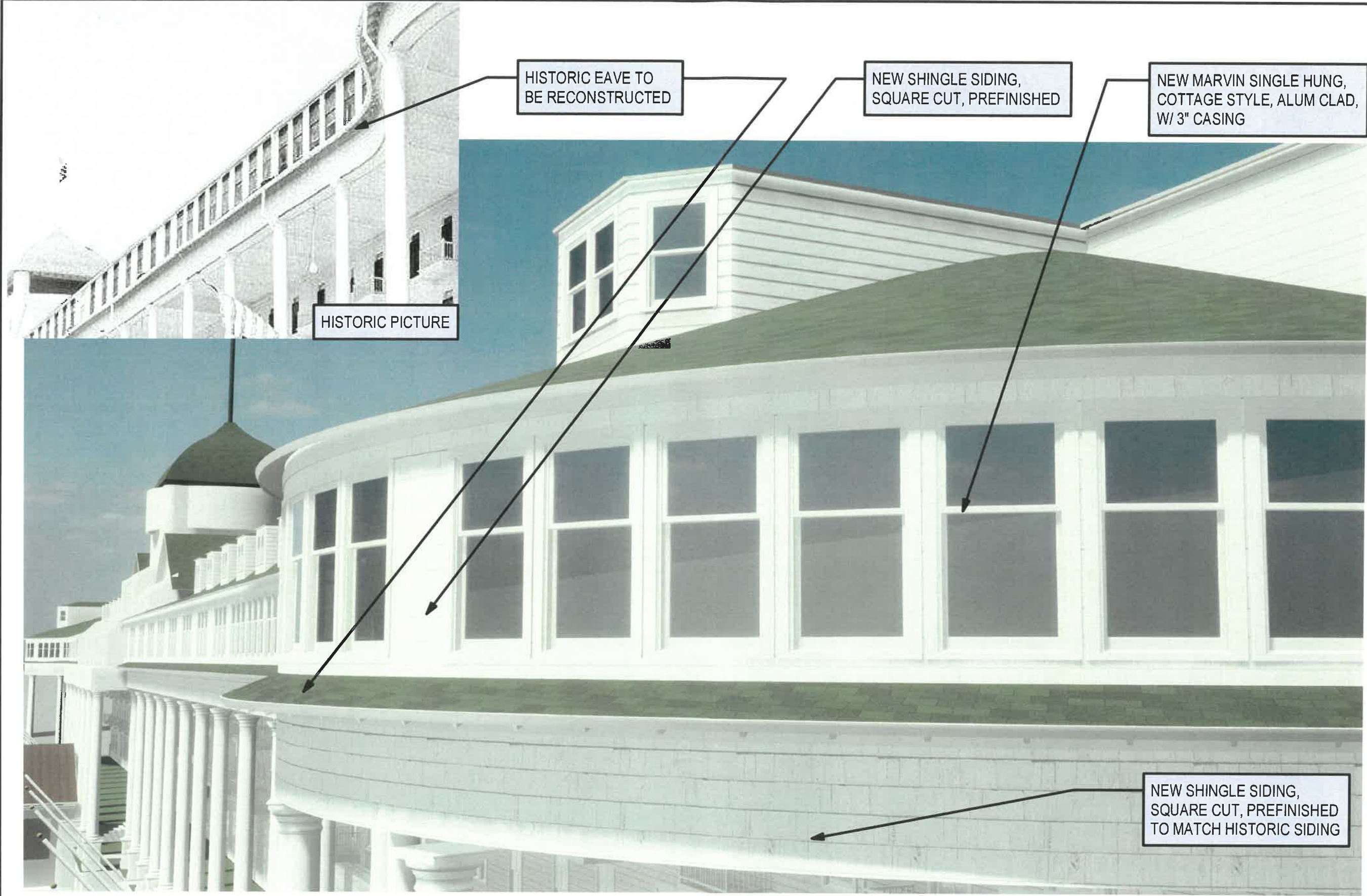
Grand Hotel
WORLD'S LARGEST SUMMER HOTEL
05/31/2022

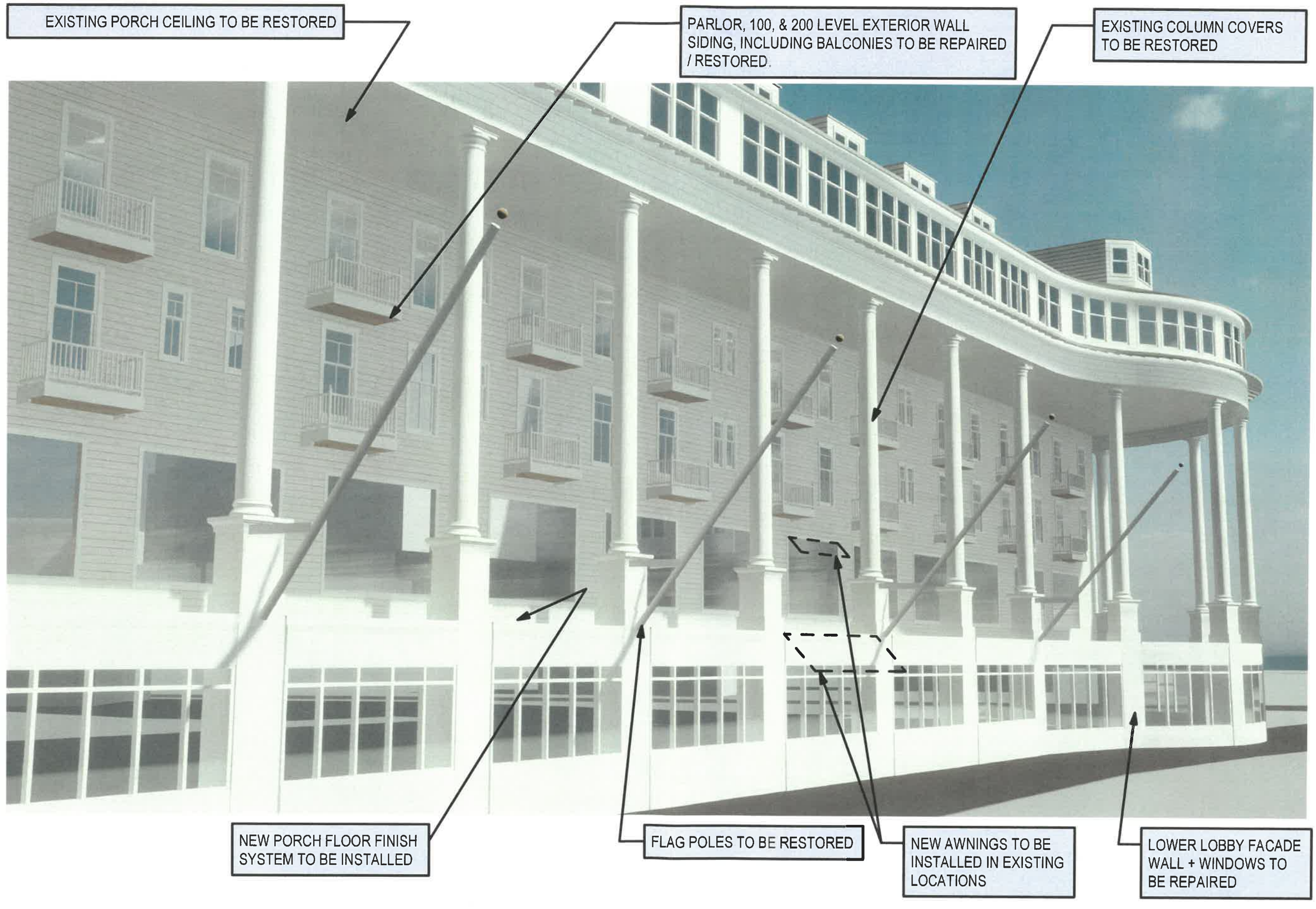
SCALE: As indicated

Facade and Porch
Restoration + Reconstruction

Planning Commission

HopkinsBurns
DESIGN STUDIO
historic preservation & communities by design





5
RENDERING

Grand Hotel
WORLD'S LARGEST SUMMER HOTEL
SCALE: 1/2" = 1'-0"
05/31/2022

Facade and Porch
Restoration + Reconstruction
Planning Commission

HopkinsBurns
DESIGN STUDIO
historic preservation & communities by design



EXISTING WEST LOBBY LOOKING EAST



EXISTING PORTE COCHERE



EXISTING EAST LOBBY FACADE



EXISTING EAST LOBBY WINDOWS



EXISTING SOUTH FACADE OF HOTEL



EXISTING VIEW PORCH FACADE



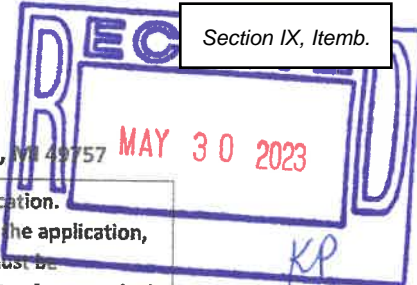
EXISTING VIEW OF WEST END



EXISTING VIEW OF EAST END 300 LEVEL

**CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION**

Section IX, Itemb.



www.cityofmi.org | kep@cityofmi.org | 906-847-6190 | PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

U.P. NORTH CONSTRUCTION
PO BOX 1349 MACKINAC ISLAND
3728/6895 sr.lengge@msn.com
Phone Number Email Address

Please complete both sides of application.
The Fee and fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Greg & Denise HAMMONS
27015 JESS MORGAN ROAD
ROLAND ARK. 72135

- Is The Proposed Project Part of a Condominium Association? yes
- Is The Proposed Project Within a Historic Preservation District? NO
- Applicant's Interest in the Project (If not the Fee-Simple Owner): NO
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? YES
- Is a Variance Required? NO
- Are REU's Required? How Many? yes 1/1

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-755-014-60
- B. Legal Description of Property: UNIT 14 Stonecliffe Manor
- C. Address of Property: Lot 14
- D. Zoning District: D-1
- E. Site Plan Checklist Completed & Attached: YES
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) YES
- G. Sketch Plan Attached: yes
- H. Architectural Plan Attached: yes
- I. Association Documents Attached (Approval of project, etc.): yes
- J. FAA Approval Documents Attached: Neil Hill Submitted
- K. Photographs of Existing and Adjacent Structures Attached: yes

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity): _____

Proposed Use: New Single family Home

C. If Vacant:

Previous Use: _____
Proposed Use: _____
Length of Time Parcel Has Been Vacant: _____
File No. R123-014-036
Exhibit A
Date 5.30.23
Initials KP

OFFICE USE ONLY	
FILE NUMBER: <u>R123-014-036</u>	FEE: <u>5/50-</u>
DATE: <u>5.30.23</u>	CHECK NO: <u>5063</u> INITIALS: <u>KP</u>
Revised Oct 2018	

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

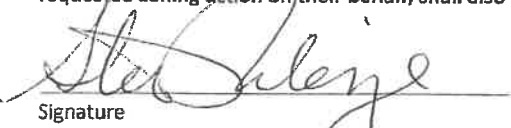
The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Contractor (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.


Signature

SIGNATURES _____
Signature

STEVEN R. LENGE
Please Print Name

Please Print Name

Signed and sworn to before me on the 30 day of May, 2023



Notary Public BRENDA BUNKER, Notary Public
Mackinac County, State of Michigan
County, Michigan
My commission expires: _____
Acting in the County of Mackinac
My Commission Expires: 07/21/2025

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2018

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>

- | | | |
|--|--------------------------|-------------------------------------|
| 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 22. Description of Existing and proposed on-site lighting (see also Section 4.27) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Utility Information

- | | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|--------------------------|-------------------------------------|
| 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Architectural Review
Informational Requirements (Section 18.05)**

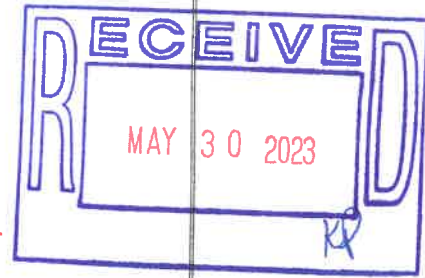
- | <u>Item</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-----------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Legal description of the property | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Site Plan

051-755-014-00

Unit 14, Stonecliffe Manor Condo

For: Denis Hammons & Steve Relinge

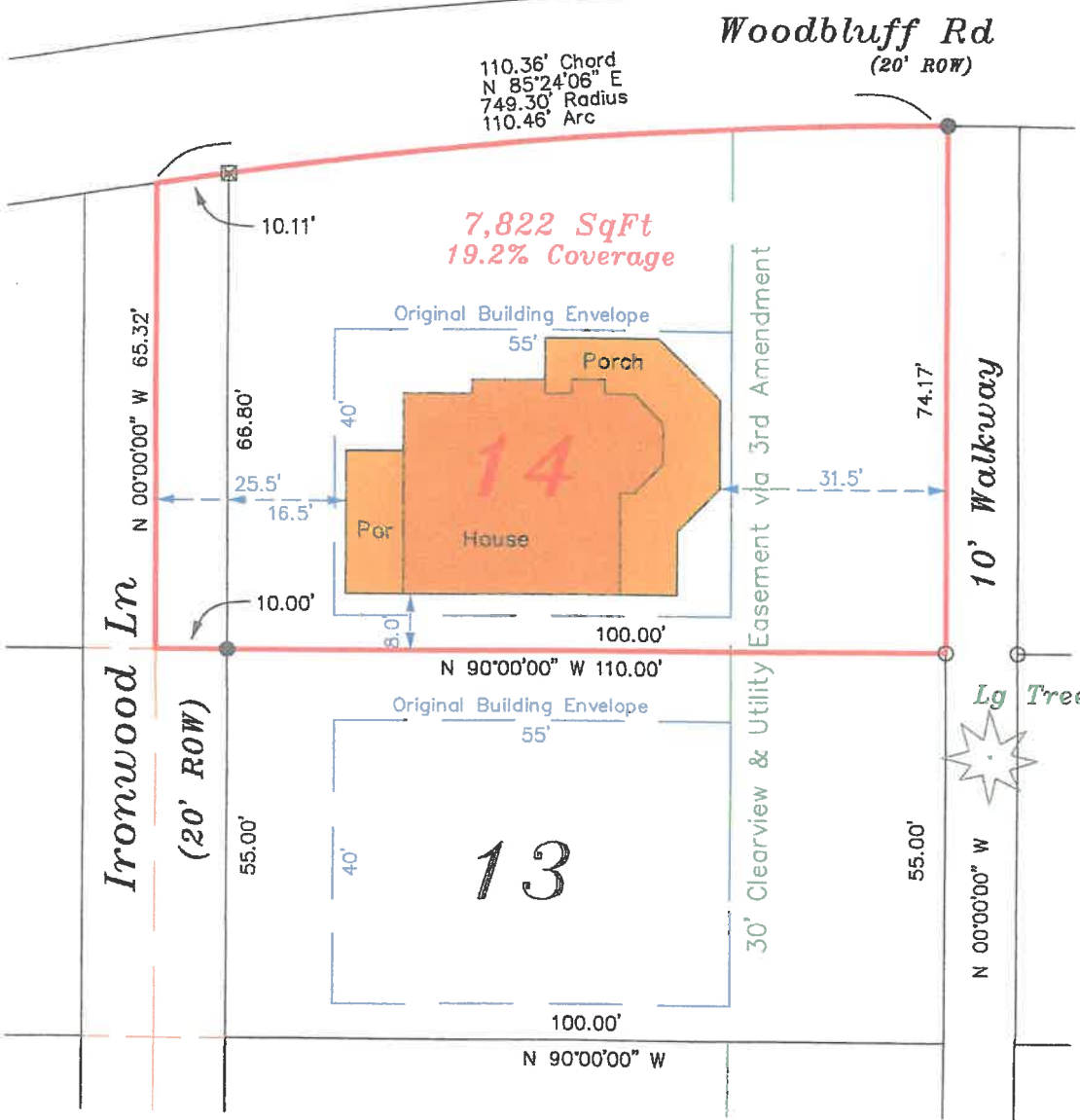
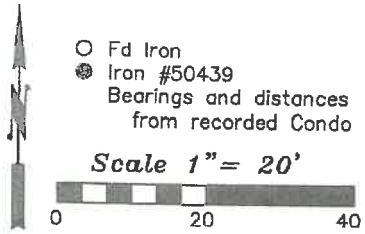


File No. R123-014-036

Exhibit B

Date 5.30.23

Initials KR



By: *Neil W. Hill P.S.*
Neil W. Hill P.S. #50439
Registered Land Surveyor
Date: May 23, 2023
Order No.: 23028-DH-14-SC1-MI



429 Ellsworth Street
St. Ignace, MI 49781
(906) 643-9418 Phone
(906) 643-6327 Fax
info@mackinacsurveys.com



© 2023 This Document may NOT be reproduced without written consent of surveyor

Sunset Forest Association Architectural Review and Building Handbook

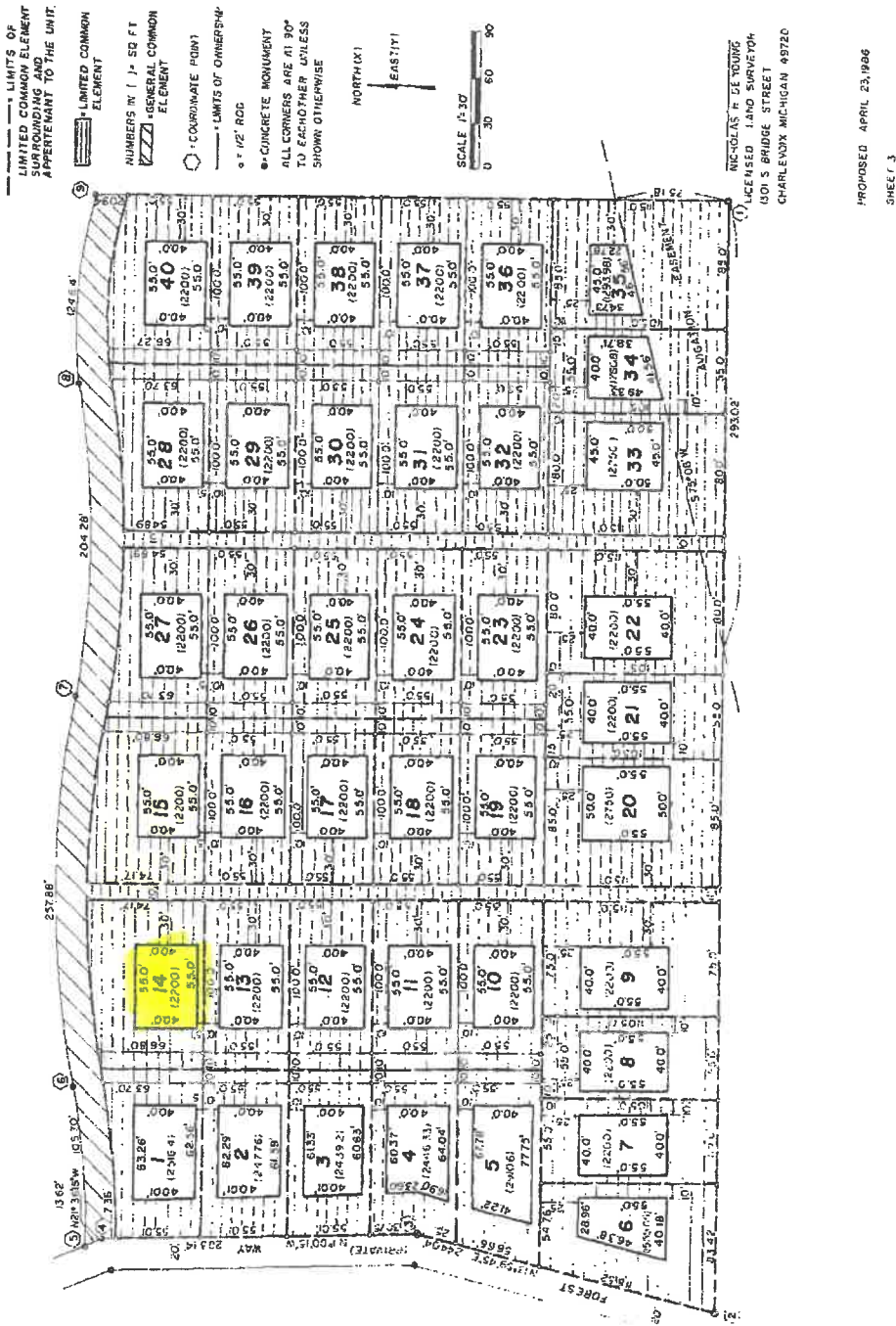
Section IX, Itemb.

Section i - Introduction

Stonecliffe Manor I

Presently consisting of 40 Units or Lots. Borders Jewel / Woods Golf Course – Fairways 7 and 8

**UNIT PLAN OF
STONECLIFFE MANOR
A CONDOMINIUM**





Eastern UP GIS

Parcel Report: 051-755-014-00

Section IX, Itemb.

5/30/2023

9:28:01 AM



Property Address

IRONWOOD LN
MACKINAC ISLAND, MI, 49757

Owner Address

HAMMONS DENISE M
—
27015 JESS MORGAN RD
ROLAND, AR 72135

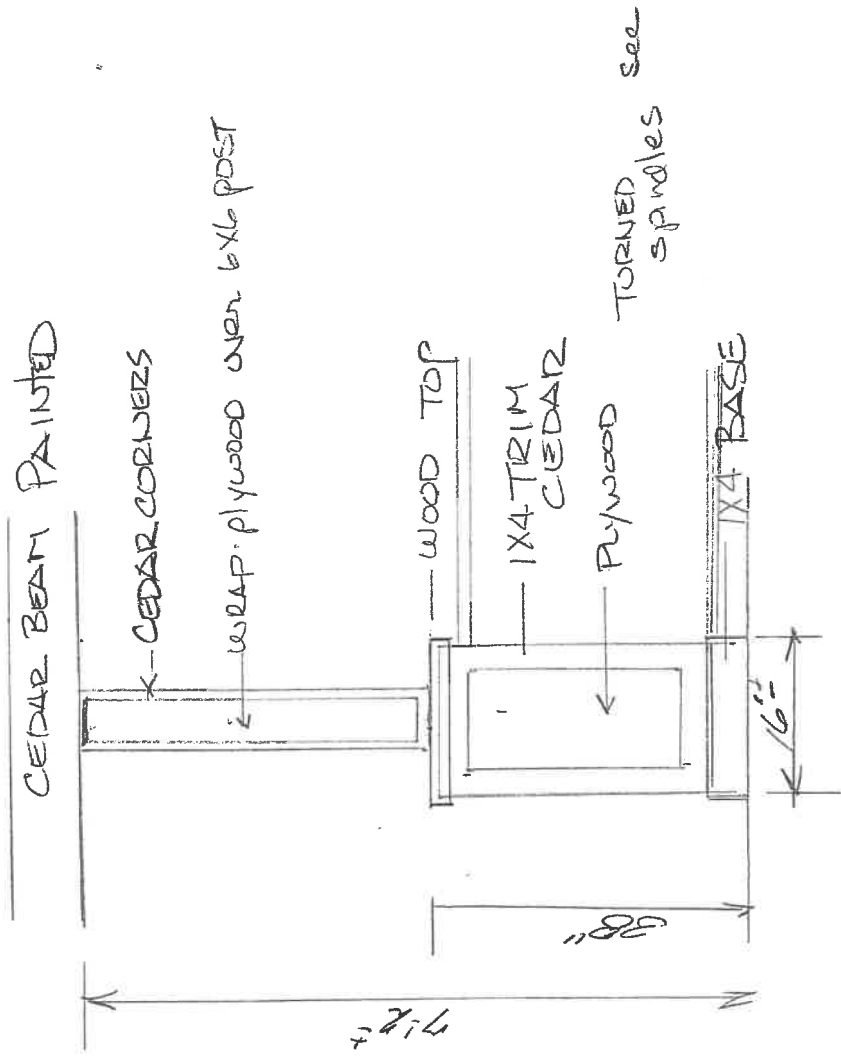
Unit: 051
Unit Name: CITY OF MACKINAC ISLAND

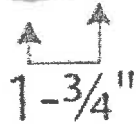
General Information for 2023 Tax Year

Parcel Number: 051-755-014-00

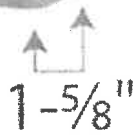


File No. R123-014-036
Exhibit C
Date 5.30.23
Initials KP





McKinlev Spindle — 2x2



Porch Spindle — 1 5/8"





RECEIVED
MAY 30 2023
KP

File No. K133-014-036

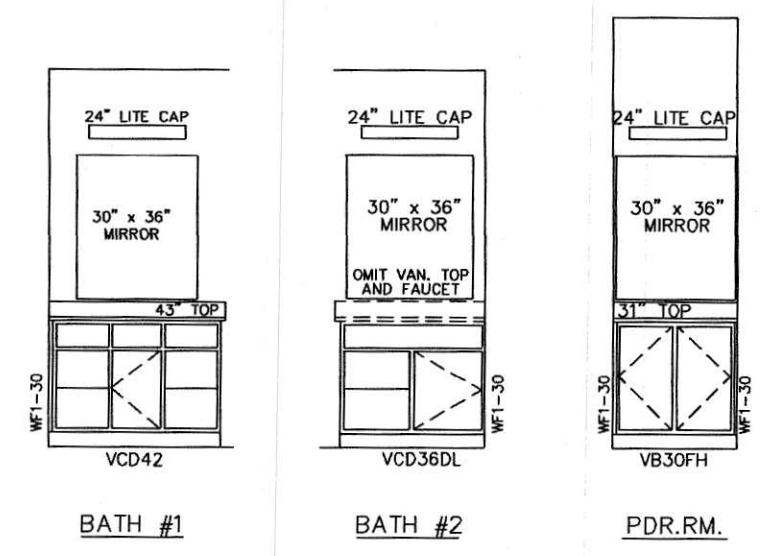
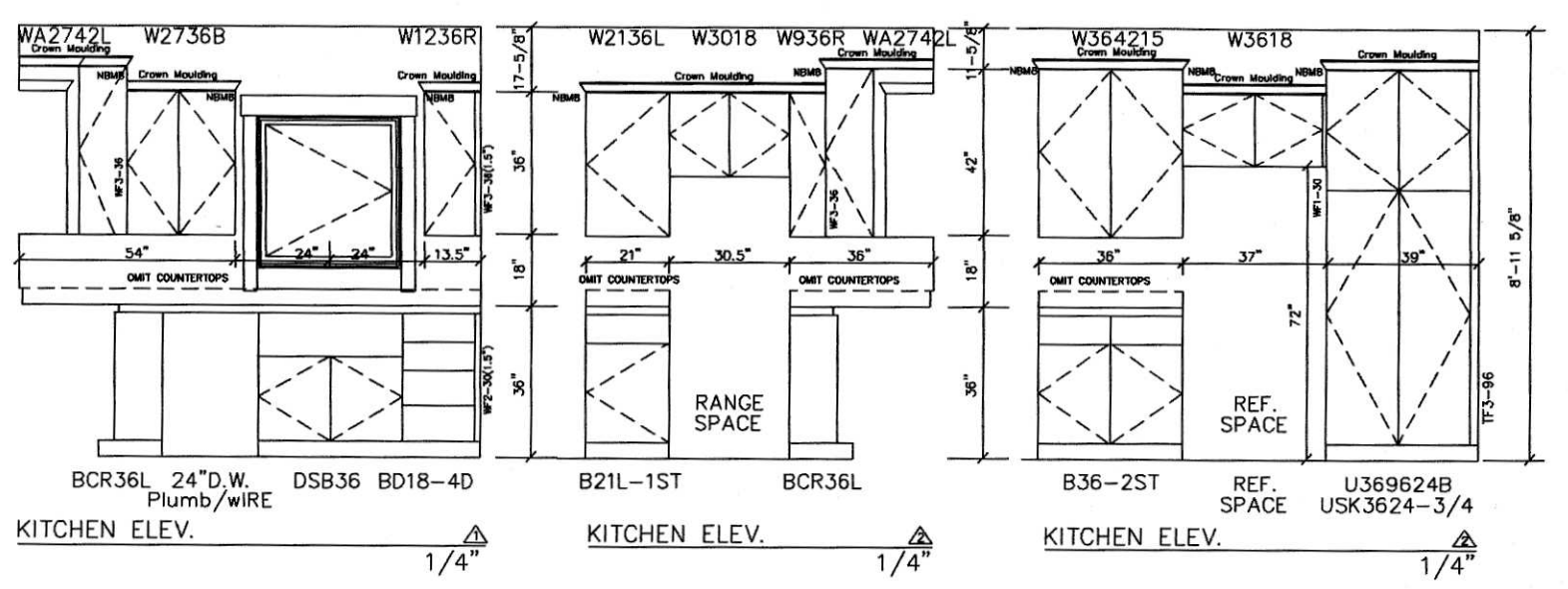
Exhibit D

Date 6-30-23

Initials KP







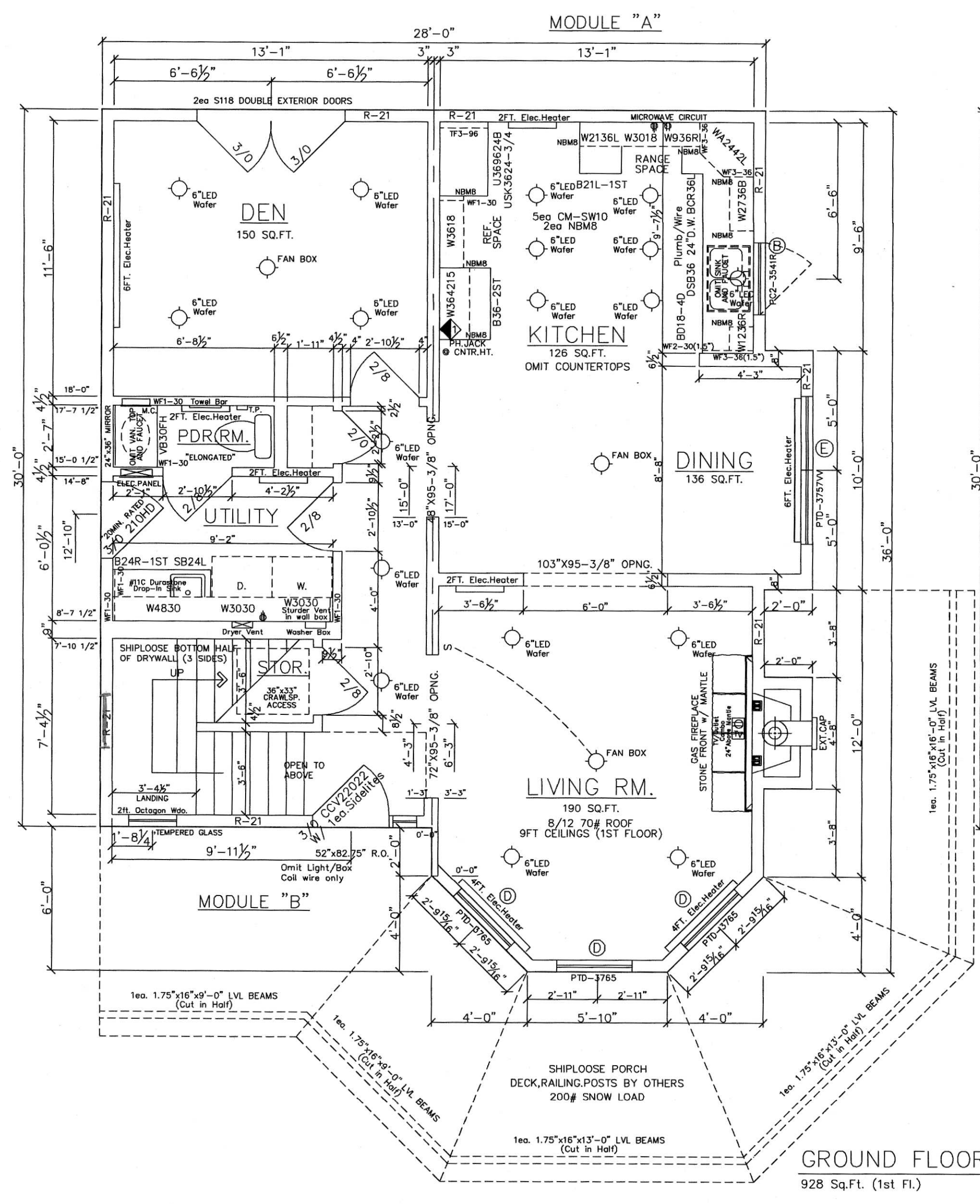
PELLA(WOOD) Omit Grilles

(A)	PTD-2941	DH	30"x41-3/4"	BATH
(B)	PC2-3541	CSMNT	36"x41-3/4"	KITCHEN
(C)	PTD-3757	DH	38"x57-3/4"	EGRESS (5.9)
(D)	PTD-3765	DH	38"x65-3/4"	EGRESS (6.9)
(E)	PTD-3757VV	DH	75"x57-3/4"	EGRESS (5.9x2)
(F)	PC2-2929LR	CSMNT	59"x29-3/4"	STAIRS

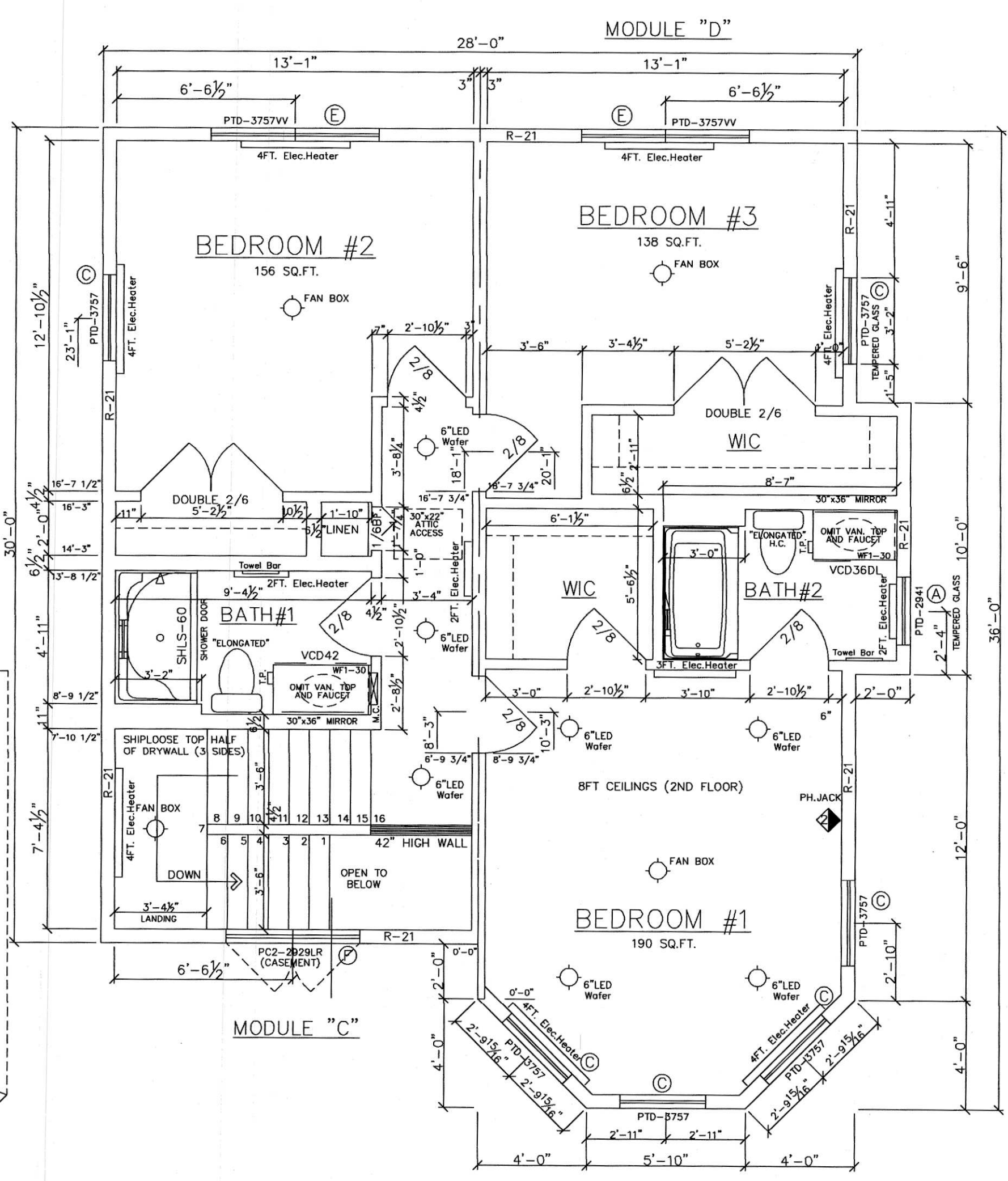
ALL WINDOWS AT STD. HEADER HT.(82" AFF)

DRN RMN
DATE 9/10/08
REV 11/23/22 RMN
REV 11/23/22 RMN

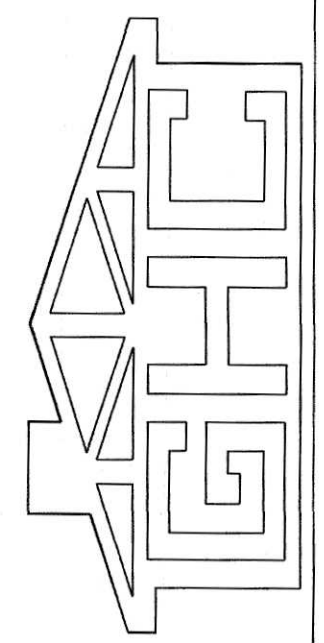
GENERAL HOUSING
CORPORATION
4650 E. WILDER RD.
BAY CITY, MICHIGAN 48706



GROUND FLOOR PLAN (CRAWLSPACE)
928 Sq.Ft. (1st Fl.) 1856 Sq.Ft. TOTAL
SCALE: 1/4"



SECOND FLOOR PLAN (CRAWLSPACE)
928 Sq.Ft. (2nd Fl.) 1856 Sq.Ft. TOTAL
SCALE: 1/4"



16024F-ARMSTRONG-HAMMOND
COPYRIGHT 2014 GENERAL HOUSING CORP.

TITLE
BAYVIEW.....16024
Crawlspace, End Kitchen, R.H.
FLOOR PLAN.....1/4"

MODEL
16024F
SHEET
A-1 of 3



HAMMONS HOME		
SCALE: 1/4"=1'-0"	APPROVED BY:	DRAWN BY SR
DATE: 5/21/23		REVISED
STONECLIFFE MANOR I LOT 14		
UP NORTH CONSTRUCTION		DRAWING NUMBER



FRONT ELEVATION

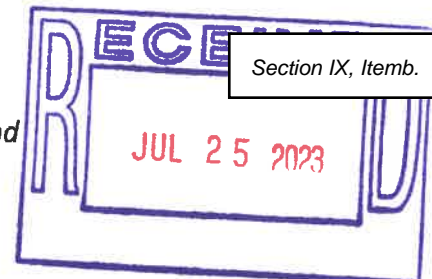


LEFT ELEVATION

COLOR SCHEDULE	
CEDAR SIDING -	BENJAMIN MOORE HALE NAVY
CEDAR TRIM	BENJAMIN MOORE WHITE
ROOF SHINGLES -	CERTAINTED ARCHITECTURAL PRO MOIRE BLACK
WINDOWS -	BLACK PELLA WITH WHITE TRIM SURROUNDING
PORCH RAILINGS - COLUMNS - SPINDLES	BENJAMIN MOORE WHITE

HAMMONS HOME		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY SR
DATE: 5/21/23		REVISED
STONECLIFFE MANOR I LOT 14		
UP NORTH CONSTRUCTION		DRAWING NUMBER

Sunset Forest Association
PO Box 1941, Mackinac Island, Michigan 49757
Preserving the Unique Character of Mackinac Island



July 25, 2023

Mackinac Island Planning Commission
City Hall
7358 Market Street
Mackinac Island, Michigan 49757

File No. RI23-014-0310
Exhibit I
Date 7-25-23
Initials RP

Re: Approval of Hammons Building Project, Stonecliffe Manor I Lot 14

Dear Planning Commission:

Plans have been submitted to the Architectural Review Committee (ARC) of Sunset Forest Association for a new home on lot 14 in Stonecliffe Manor (often referred to as Stonecliffe Manor I).

The ARC of Stonecliffe Manor and the ARC of Sunset Forest Association have reviewed plans submitted by Steve Rilenge on July 10, 2023 on behalf of owners Greg and Denise Hammons. All specifications supplied to the Sunset Forest Association ARC meet the architectural requirements of the master deed. Therefore, the ARC grants approval for this project to proceed.

If you have any questions, you may contact me at 574-309-7762 or dickriel@att.net.

Sincerely,

Richard Riel
Chairman, Architectural Review Committee
Sunset Forest Association

cc: Steve Rilenge
John Hubel
Jim Reitman
Katie Pereny

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

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1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
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2. Name and address of the individual or firm preparing the site plan	<input type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input type="checkbox"/>	<input type="checkbox"/>

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.1.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.2.1)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.2.7)

Utility Information Provided Not Provided or Applicable

- 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand
- 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.1.3)
- 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.1.3)
- 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.2.6)

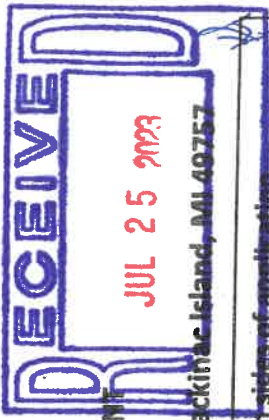
**Architectural Review
Informational Requirements (Section 18.05)**

Item Provided Not Provided or Applicable

- 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership
- 2. Legal description of the property
- 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)
- 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.

CITY OF MACKINAC ISLAND
 PLANNING COMMISSION & BUILDING DEPARTMENT
 APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757



APPLICANT NAME & CONTACT INFORMATION:

Hoban Hill Property
 P.O. Box 460 Mackinac Island, MI 49757
 231-881-4430 Nancy 4650@outlook.com
 Phone Number Email Address

Please complete both sides of application.
 The Fee and ~~fourteen~~ 14 copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

- Is The Proposed Project Part of a Condominium Association? NO
- Is The Proposed Project Within a Historic Preservation District? NO
- Applicant's Interest in the Project (If not the Fee-Simple Owner): NO
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO
- Is a Variance Required? Yes
- Are REU's Required? How Many? 16

Type of Action Requested:

- Standard Zoning Permit
 - Special Land Use
 - Planned Unit Development
 - Other _____
- Appeal of Planning Commission Decision _____
 Ordinance Amendment/Rezoning _____
 Ordinance Interpretation _____

Property Information:

- A. Property Number (From Tax Statement): 051-630-007-30 Nephew
- B. Legal Description of Property: See attached
- C. Address of Property: Cadotte Ave
- D. Zoning District: R3
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) ALO
- G. Sketch Plan Attached: Yes
- H. Architectural Plan Attached: Yes
- I. Association Documents Attached (Approval of project, etc.): _____
- J. FAA Approval Documents Attached: Contracted For by Neil Hill
- K. Photographs of Existing and Adjacent Structures Attached: Yes

Proposed Construction/Use:

- A. Proposed Construction: _____
 New Building
 _____ Other, Specify _____
 _____ Alteration/Addition to Existing Building

- B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity): _____

Proposed Use: _____

File No. R323-007-051

Exhibit A

Date 7-25-23

Initials NH

- C. If Vacant:

Previous Use: Vacant

Proposed Use: Employee Housing

Length of Time Parcel Has Been Vacant: _____

OFFICE USE ONLY

FILE NUMBER: R323-007-051

DATE: 7-25-23 CHECK NO: 1287 INITIALS: NH

FEE: \$400-

Revised Oct 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Nancy Nephew Port
Signature

SIGNATURES

Signature

Nancy Nephew Portee
Please Print Name

Please Print Name

Signed and sworn to before me on the 25 day of July, 2023.

K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025

K. Rickley
Notary Public

Mackinac County, Michigan
My commission expires: 10/21/2025

Zoning Permit issued: _____ **FOR OFFICE USE ONLY**

Inspection Record:	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised October 2018

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

Utility Information

Provided Not Provided or Applicable

- 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand
- 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)
- 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)
- 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)

**Architectural Review
Informational Requirements (Section 18.05)**

- | <u>Item</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-----------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Legal description of the property | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Section X, Itemb.

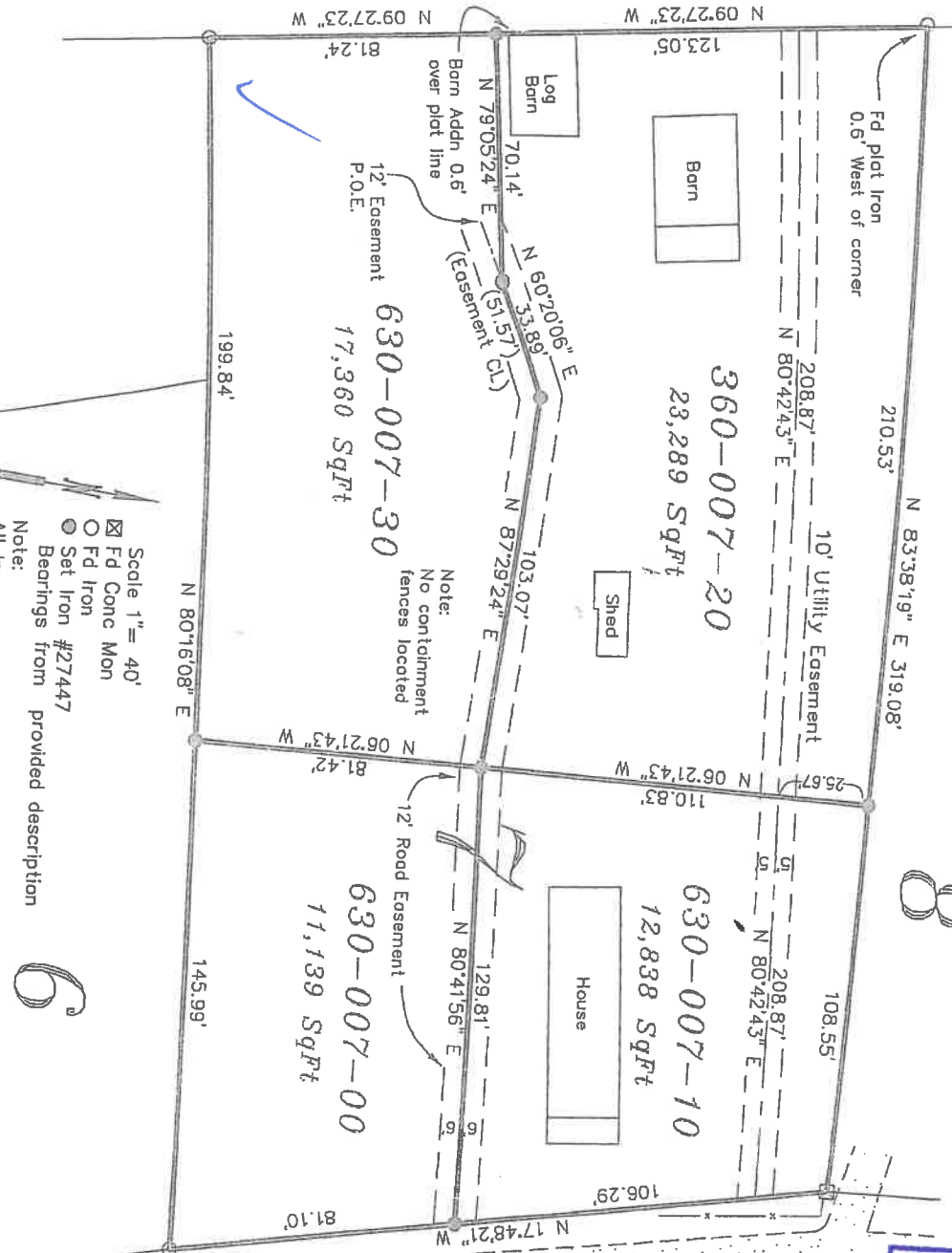
By: Neil E. Hill P.S. #27447
Registered Land Surveyor
Neil E. Hill P.S. #27447
Order No.: 14-046-Ort-7-APH-MI
Date: August 20, 2014 (Rev. 12-10-18)



429 Ellsworth Street
St. Ignace, MI 49781
(906) 643-9418 Phone
(906) 643-6327 Fax
info@mackinacsurveys.com



I certify that this map correctly represents a survey made under my supervision of the land described. The relative error of closure being better than 1 part in 5000; and that the encroachments affecting said land, if any, are located as shown hereon.



Note:
No containment fences located

Note:
All irons occupy record location within 0.1' unless noted.

Scale 1" = 40'

Fd Conc Mon

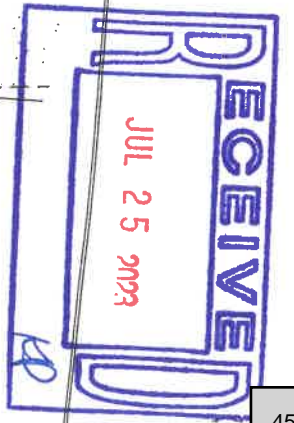
Fd Iron

Set Iron #27447

Bearings from provided description

6

File No. R323-067.051
Exhibit D
Date 7.25.23
Initials KP

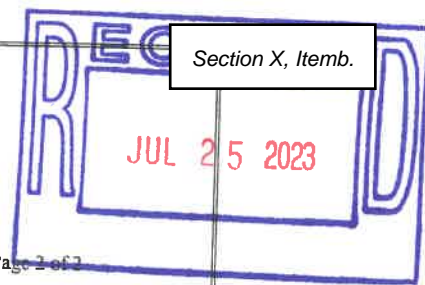


Certified Survey

For: Debra & Sandra Ort
PO Box 1188
Mackinac Island, MI 49757

Certified Survey

For: Debra & Sandra Orr
PO Box 1188
Mackinac Island, MI 49757



Page 2 of 2

Provided Descriptions:

051-630-007-00

Beginning at the Southeast corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 17-48-21 W 81.10 feet, along the East line of Lot 7;
thence S 80-41-56 W 129.81 feet;
thence S 06-21-43 E 81.42 feet, to the South line of Lot 7;
thence N 80-16-08 E 145.99 feet, to the Point of Beginning.

Subject to any Easements, Restrictions or Reservations of Record.

051-630-007-10

Commencing at the Southeast corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 17-48-21 W 81.10 feet, to the Point of Beginning;
Thence N 17-48-21 W 106.29 feet along the East line of Lot 7
thence S 83-38-19 W 108.55 feet, along the North line of Lot 7
thence S 06-21-43 E 110.83 feet
thence N 80-41-56 E 129.81 feet, to the Point of Beginning;

Subject to any Easements, Restrictions or Reservations of Record.

051-630-007-20

Beginning at the Northwest corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 83-38-19 E 210.53 feet, along the North line of Lot 7;
thence S 06-21-43 E 110.83 feet;
thence S 87-29-24 W 103.07 feet;
thence S 60-20-06 W 33.89 feet;
thence S 79-05-24 W 70.14 feet, to the West line of Lot 7;
thence N 09-27-23 W 123.05 feet, along the West line of Lot 7, to the Point of Beginning.

Subject to any Easements, Restrictions or Reservations of Record.

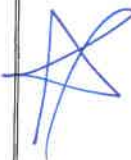
051-630-007-30

Beginning at the Southwest corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 09-27-23 W 81.24 feet along the West line of Lot 7;
thence N 79-05-24 E 70.14 feet;
thence N 60-20-06 E 33.89 feet;
thence N 87-29-24 E 103.07 feet;
thence S 06-21-43 E 81.42 feet, to the South line of Lot 7;
thence S 80-16-08 W 199.84 feet, along the South line of Lot 7, to the Point of Beginning.

Subject to any Easements, Restrictions or Reservations of Record.

Note: Easement descriptions not listed.
(Revision to correct bearing typo)



I certify that this map correctly represents a survey made under my supervision of the land described. The relative error of closure being better than 1 part in 5000; and that the encroachments affecting said land, if any, are located as shown hereon.

By: Neil E. Hill P.S.P.C.
Neil E. Hill P.S. #27447
Registered Land Surveyor
Date: August 20, 2014 (Rev. 12-10-18)
Order No.: 14-046-Orr-7-APH-MI



429 Ellsworth Street
St. Ignace, MI 49781
(906) 643-9418 Phone
(906) 643-6327 Fax
info@mackinacsurveys.com



COMBINED ALLOWABLES:

ZONING: R-3
 OVERALL SITE AREA = 51,786 s.f. = 1.18 ACRES
 (ALL 5 LOTS)

MAXIMUM LOT COVERAGE = 40%
 BUILDING AREA = 17,521 S.F.

TOTAL IMPERVIOUS LOT COVERAGE = $\frac{17521}{51786} = 33.8\%$

ALLOWABLE DENSITY = 20 DWELLING UNITS PER ACRE
 ALLOWABLE DENSITY = 1 OCCUPANT PER 500 s.f. SITE

COMBINED LOT DENSITY:

LOT 1: 20 DWELLING UNITS PER ACRE = 4 ALLOWED, 3 ACTUAL

LOTS 2,3,4, & 5 COMBINED = 38,778 S.F. DIVIDED BY 500 S.F. = 77 OCCUPANTS ALLOWED, = 72 OCCUPANTS ACTUAL

STORMWATER PLAN:

DESIGN CRITERIA:
 10 YEAR 24 HOUR RAINFALL = 3.3"
 (SOURCE: MDT MS4 REPORT)
 = (0.28") = 0.011"/hour
 INFILTRATION RATE OF SOIL = 0.2"/hr.
 (SOURCE: USDA) = 0.016"/hour x 24 hrs. * 67% = 0.25"/ storm event
 DESIGN STORM VOLUME = 15,161 s.f. IMPERVIOUS x 0.28" = 4,246 cu. ft.
 ABSORPTION AREAS ADJACENT TO BUILDING = 27,155 s.f.
 STORMWATER ABSORPTION = 27,155 s.f. x 0.25" = 6,788 cu. ft.
 STORM ABSORPTION VOLUME EXCEEDS REQUIRED DETENTION;
 6,788 cu. ft. > 4,246 cu. ft.
 STORMWATER WILL BE ABSORBED IN THE LAWN AREAS AROUND THE STRUCTURES WITH NO RETENTION REQUIRED.

BREAKDOWN OF EMPLOYEES:

BUILDING A: 4 SINGLE BEDROOM	= 2x2	= 4	16
12 STUDIOS	= 12x1	= 12	
BUILDING B: 2 SINGLE BEDROOM	= 2x2	= 4	16
12 STUDIOS	= 12x1	= 12	
BUILDING C: 2 SINGLE BEDROOM	= 2x2	= 4	16
12 STUDIOS	= 12x1	= 12	
BUILDING D: 2 SINGLE BEDROOM	= 2x2	= 4	24
20 STUDIOS	= 20x1	= 20	
TOTAL OCCUPANTS:			= 72

INDIVIDUAL LOT SIZES:

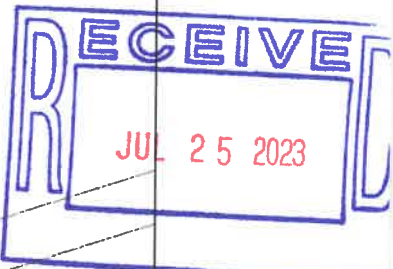
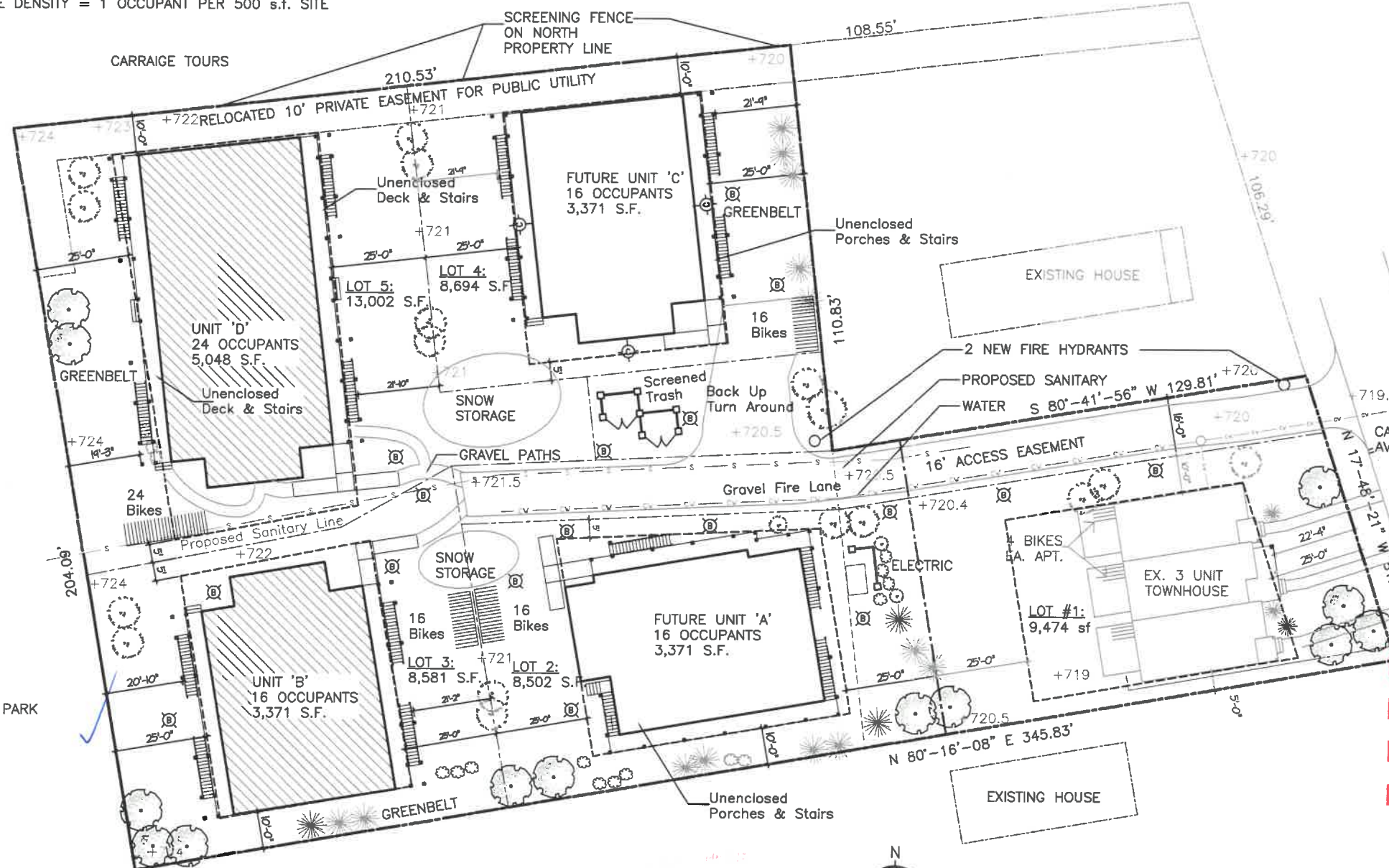
LOT #1 AREA = 9,474 s.f.	= 0.21 Acres, Min. Width = 65'
LOT #2 AREA = 8,502 s.f.	= 0.19 Acres, Min. Width = 65'
LOT #3 AREA = 8,581 s.f.	= 0.19 Acres, Min. Width = 81'
LOT #4 AREA = 8,694 s.f.	= 0.19 Acres, Min. Width = 83'
LOT #5 AREA = 13,002 s.f.	= 0.29 Acres, Min. Width = 101'

INDIVIDUAL LOT COVERAGES:

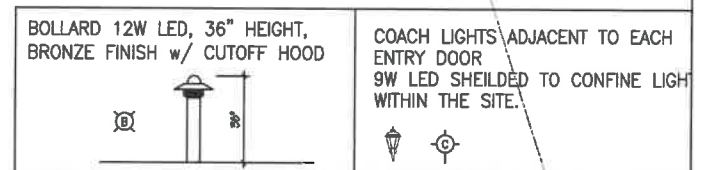
LOT #1 IMPERVIOUS = 2,360 s.f.	= 25%
LOT #2 IMPERVIOUS = 3,371 s.f.	= 39.7%
LOT #3 IMPERVIOUS = 3,371 s.f.	= 39.3%
LOT #4 IMPERVIOUS = 3,371 s.f.	= 38.8%
LOT #5 IMPERVIOUS = 5,048 s.f.	= 38.9%

INDIVIDUAL LOT DENSITIES:

LOT #1 ALLOWABLE DENSITY = 20 x 0.21 ACRES = 4 APTS. ALLOWED, 3 ACTUAL
LOT #2 ALLOWABLE DENSITY = $\frac{500}{8,502} \times 8,502 = 17$ ALLOWED, 16-PROPOSED
LOT #3 ALLOWABLE DENSITY = $\frac{500}{8,581} \times 8,581 = 17$ ALLOWED, 16 PROPOSED
LOT #4 ALLOWABLE DENSITY = $\frac{500}{8,694} \times 8,694 = 17$ ALLOWED, 16 PROPOSED
LOT #5 ALLOWABLE DENSITY = $\frac{500}{13,002} \times 13,002 = 26$ ALLOWED, 24 PROPOSED

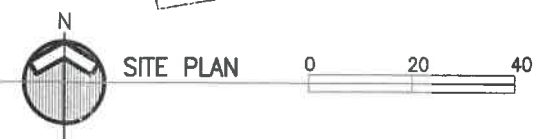


File No. R323-007-051
 Exhibit C
 Date 7-25-23
 Initials LR

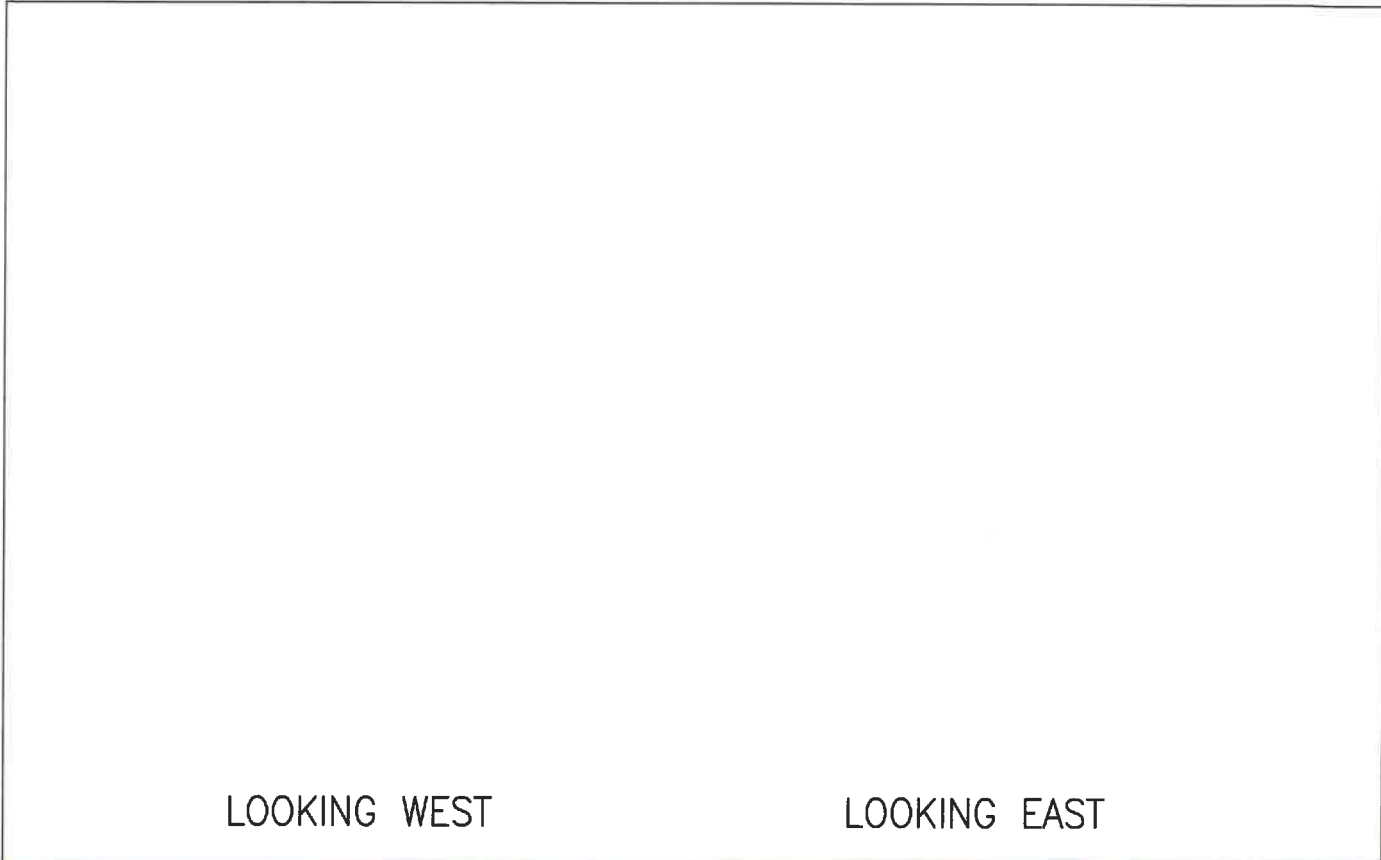


LANDSCAPE NOTES

- A. LANDSCAPE BUFFERS SHALL HAVE A MINIMUM WIDTH OF TEN FEET AND SHALL BE PLANTED WITH GRASS, GROUND COVER, SHRUBBERY, OR OTHER SUITABLE PLANT MATERIAL. THE LOCATION, PLACEMENT, SPACING AND TYPES OF PLANT MATERIALS WILL BE SUCH THAT AN EFFICIENT HORIZONTAL AND VERTICAL OBSCURING OR SCREENING EFFECT BETWEEN LAND USES WILL BE ACHIEVED.
- B. ALL PLANTS COMPRISING THE BUFFER WILL BE CONTINUOUSLY MAINTAINED IN A SOUND, HEALTHY, VIGOROUS GROWING CONDITION, FREE OF DISEASES, INSECT PESTS, REFUSE AND DEBRIS.
- C. MINIMUM SIZES OF TREES AND SHRUBS PLANTED AS A PART OF A LANDSCAPE BUFFER ARE AS FOLLOWS:
 1. DECIDUOUS SHRUBS. MINIMUM TWO FEET IN HEIGHT.
 2. DECIDUOUS TREES. MINIMUM TWO INCHES IN CALIPER (DIAMETER).
 3. EVERGREEN SHRUBS. MINIMUM TWO FEET IN HEIGHT.
 4. EVERGREEN TREES. MINIMUM FIVE FEET IN HEIGHT.



Richard Clements Architect, PLLC 15215 Merry Lane Ockeeoc, MI 49759 richardlee1523@live.com 989-370-3681	HOBAN HILL HOUSING	rev: 07.24.23 rev: 01.16.23 rev: 12.29.22 date: 12.27.22	sheet: A1.0
	CADOTTE AVENUE MACKINAC ISLAND, MI	project: 1916	COPYRIGHT © 2023



LOOKING WEST

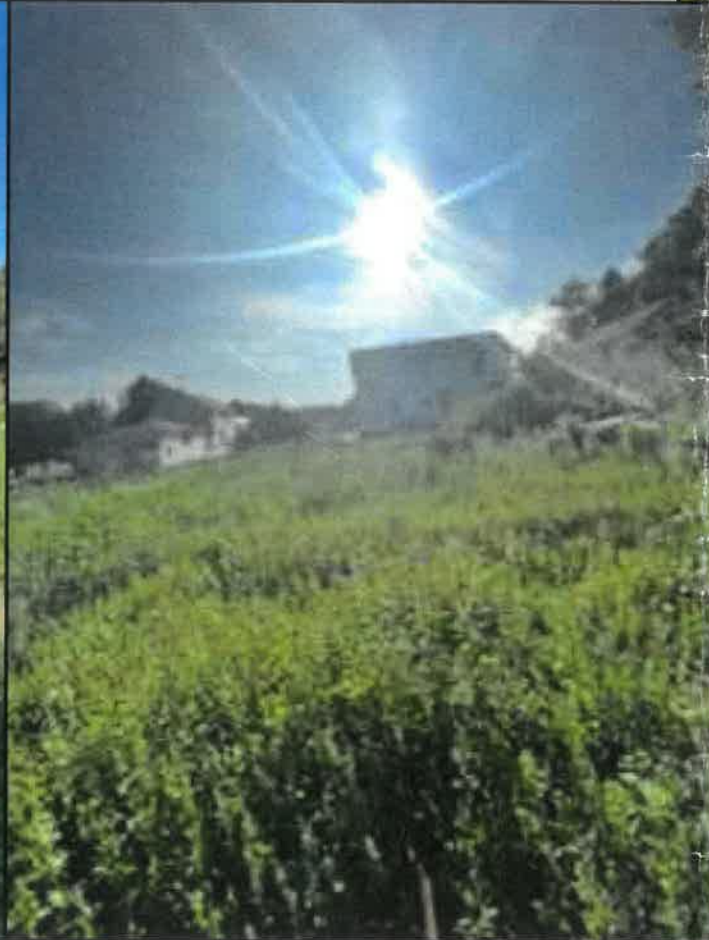
LOOKING EAST



EXISTING TOWNHOUSE



AS SEEN FROM ACCESS EASEMENT



File No. R323.007.051
Exhibit B
Date 7.25.23
Initials RP

Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	
HOBAN HILL HOUSING	
CADOTTE AVENUE MACKINAC ISLAND, MI	
	sheet: A0.0
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RECEIVED
JUL 25 2023
RP

Street looking NE



Google Earth
© 2023 Google

Street looking NW



Google Earth
© 2023 Google

Opposite side of street



Google Earth
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Street looking SE

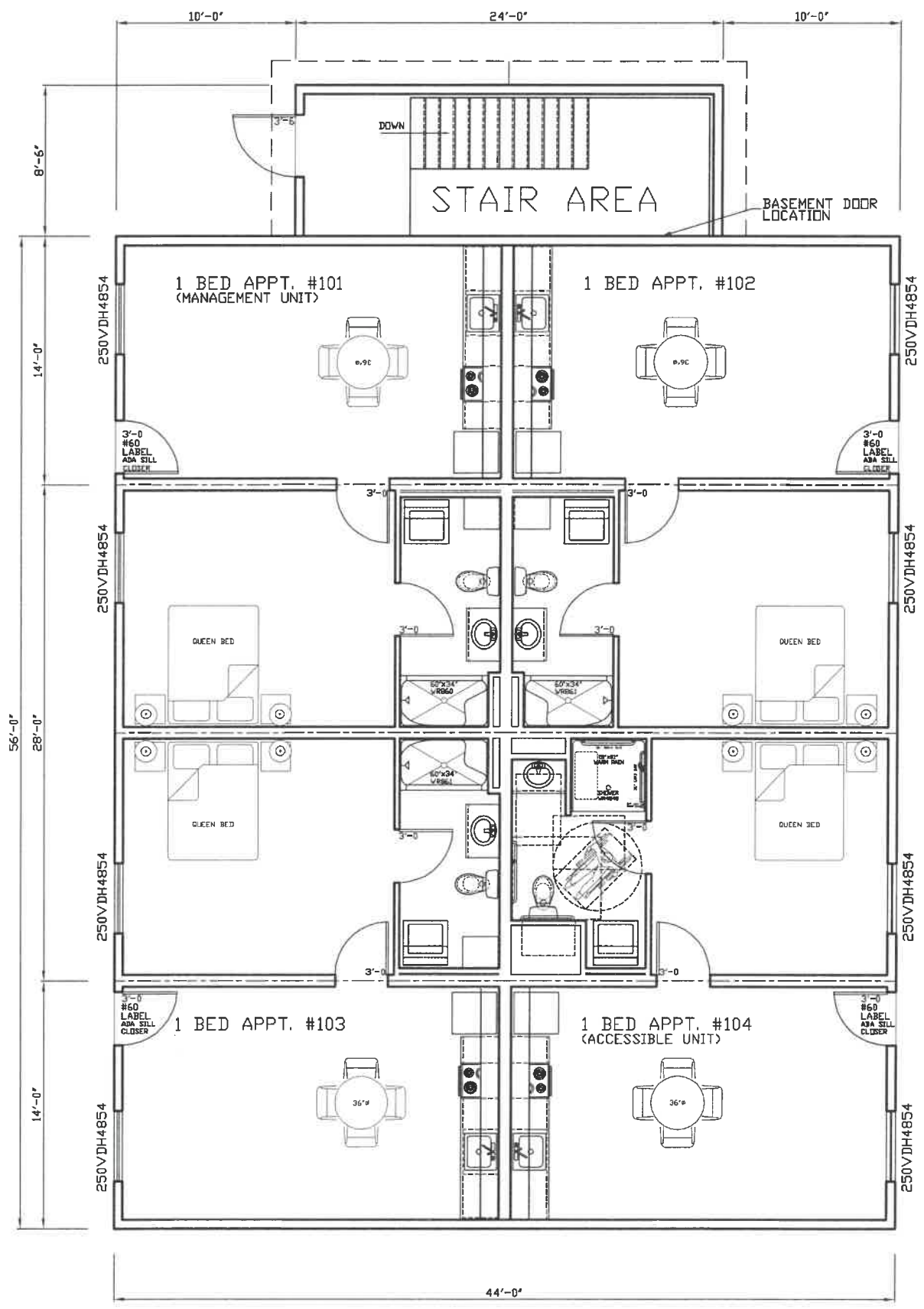


Google Earth
© 2023 Google

Richard Clements Architect, PLLC
15215 Merry Lane
Ocqueoc, MI 49759
richardlee1523@live.com 989-370-3681

HOBAN HILL HOUSING
CADOTTE AVENUE
MACKINAC ISLAND, MI

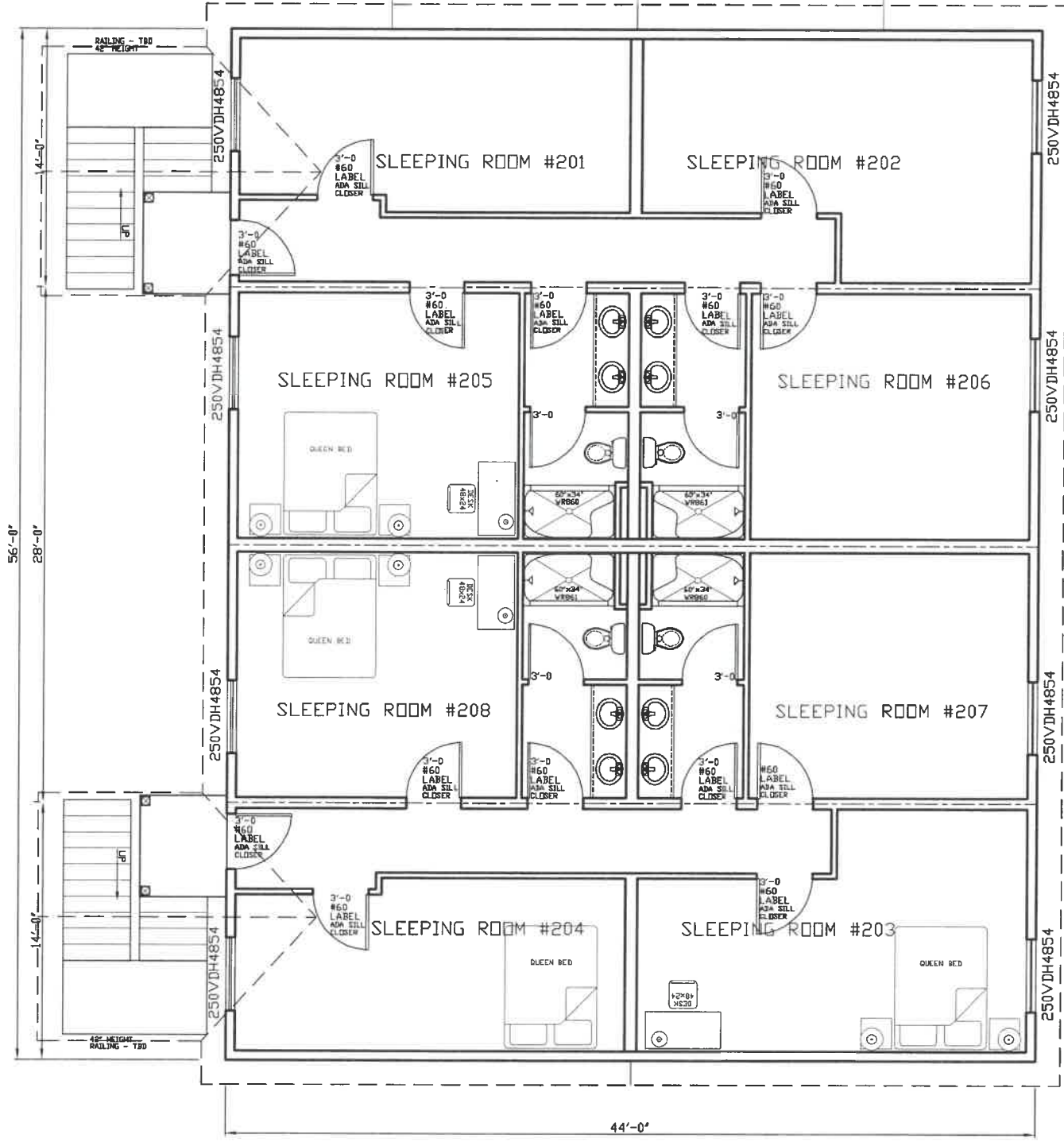
sheet:
A0.1
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1st FLOOR

TOTAL
 (8)ea SLEEPING ROOMS
 (4)ea STUDIO (1) BEDROOM

File No. R323-007-051
 Exhibit G
 Date 7-27-23
 Initials AP



2nd FLOOR

JOB #C1857
 DRAWING SCALE 1/8" = 1'-0"

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 906-774-5813
 FAX

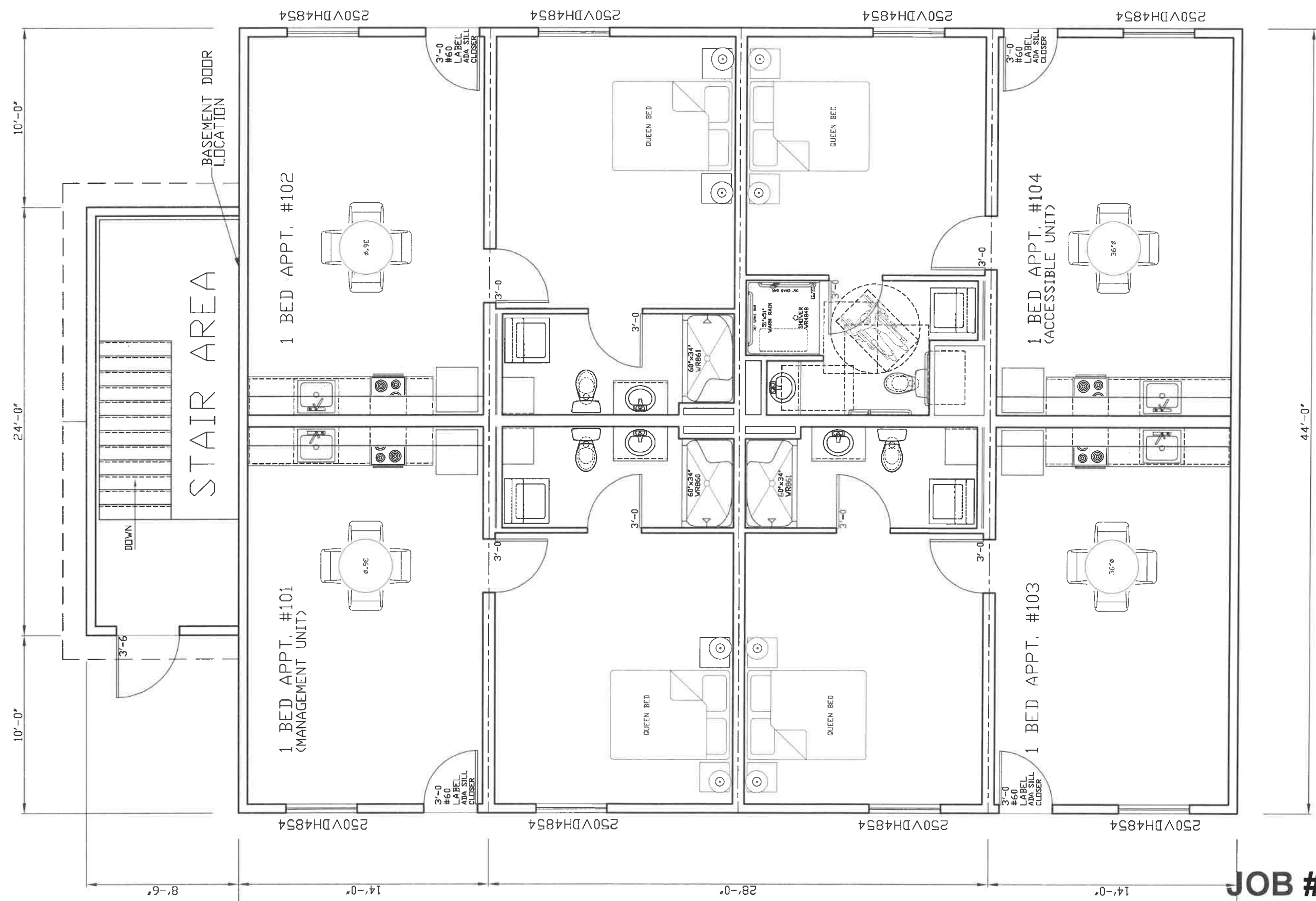
Dickinson Homes
 1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

revision	date	description
1	7/25/23	BC
2	7/26/23	BC

project title
 NEPHEW HOUSING
 RYAN SPENCER
 HOUSING UNIT B
 1ST & 2nd FLOOR PLAN

contact person
 date
 6/1/23
 originator
 APS
 sht no
 A1

N:\DWG2023\Cxxxx-NEPHEW HOUSING.dwg, 7/26/2023 3:45:28 PM, 0.125:12, Rick Cmejla



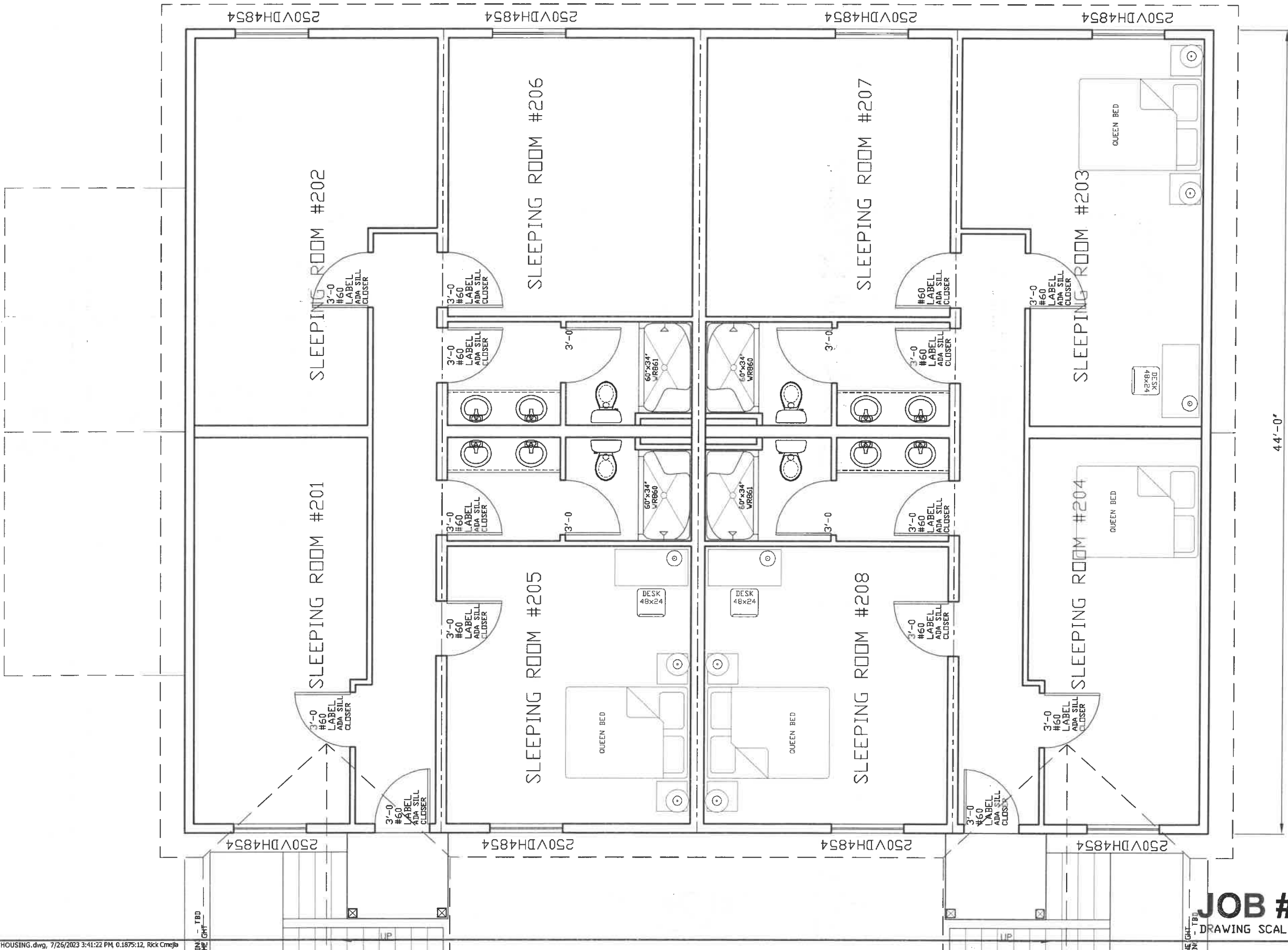
1st FLOOR

JOB #C1857
DRAWING SCALE 3/16" = 1'-0"

revision	6/27/23 RC
6/27/23 RC	
7/26/23 RC	
7/26/23 RC	
proj	title
NEPHEW HOUSING	
RYAN SPENCER	
HOUSING UNIT B'	
1st FLOOR PLAN	
contact	
date	8/1/9
originator	APS
sheet no	A1a

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N:\DWG2023\Cxxxx-NEPHEW HOUSING.dwg, 7/26/2023 3:41:34 PM, 0.1875:12, Rick Crejla



2nd FLOOR

44'-0"

JOB #C1857
DRAWING SCALE 3/16" = 1'-0"

revision	5/27/23	RC
revision	7/26/23	RC
project	NEPHEW HOUSING	
title	RYAN SPENCER HOUSING 'UNIT B' 2nd FLOOR PLAN	
date	2/1/9	
originator	APS	
sht no	A1b	

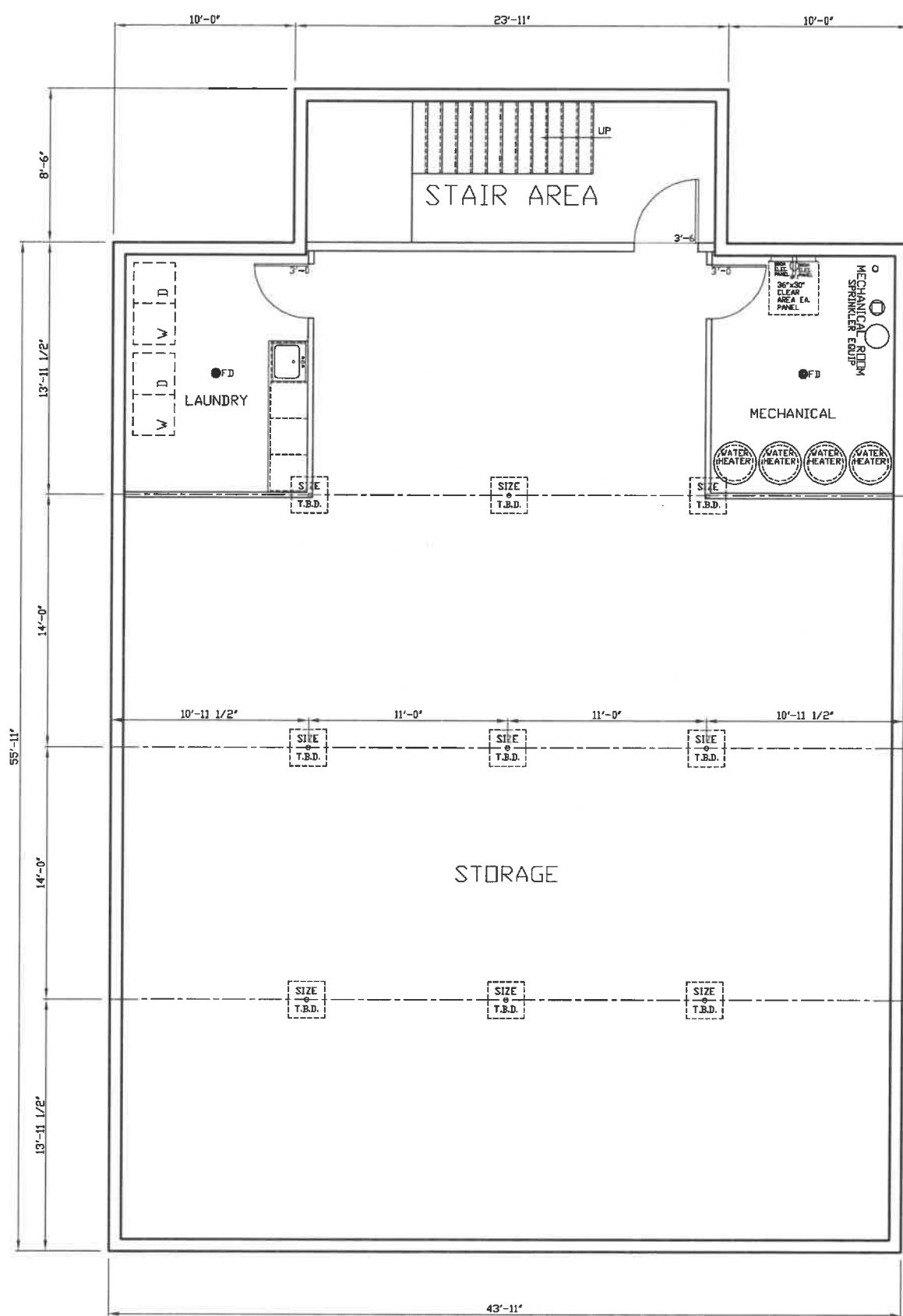
Dickinson Homes
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LIMITED PURPOSE FOUNDATION DRAWING

1. Unless Dickinson Homes, Inc. acts as prime contractor, it provides this foundation drawing as a service, and shall assume no liability or responsibility for foundation design and/or construction. Builder/Dealer and site contractor shall check and verify all dimensions for accuracy prior to commencement of foundation construction.
2. All foundation and slab work shall comply with local building codes.
3. Basement insulation shall be installed in compliance with local building codes and heat loss energy calculations.
4. It is recommended that soils analysis be conducted by a soils engineer based upon site borings to determine unusual conditions such as poor bearing values and high water table. The purpose of the soil analysis is to determine special foundation design requirements for construction and drainage.
5. It is recommended that detailed foundation drawings to be designed and prepared by a structural engineer, taking into consideration the soils analysis based upon site borings at the site.
6. This drawing assumes a soil bearing value of 2,500 psf for the design of footings and column pad sizes, unless it is known that the soil is sandy gravel and/or gravel, a value of 3,000 psf will be used.
7. The bottoms of footings and pads shall be at the level of undisturbed earth, or on fill, below the frost line or a design using frost protected footings/foundations.
8. Fill, clean sand or clean gravel placed in layers no more 6' thick and compacted to 95% maximum density.
9. Backfill, use of existing soils on site to be placed against foundation walls. Backfill is not compacted and will settle in time.
- 9a. A minimum three-foot perimeter of undisturbed soil shall be provided around and under the concrete column pads.
10. Sidewalks, driveways, and any hard surface shall be placed on suitable soils that are compacted.
11. Concrete shall have an ultimate compressive strength of not less than 3,000 psi at 28 days. Porches, carport slabs, steps exposed to the weather and garage floor slabs shall have an ultimate compressive strength of not less than 3,500 psi at 28 days.
12. The concrete cover over foundation reinforcement rods shall comply with local codes.
13. Soil in crawl spaces shall be covered with a 6 mil vapor barrier or local building code requirements.
14. Crawl space ventilation shall comply with all local building codes.

15. When applying exterior board type insulation, the thickness of the board must be subtracted from each side of the foundation wall where applied to maintain the outside dimensions of the foundation walls as noted on the drawing.

SOIL BEARING CAPACITY: 2,500 PSF			
70# GS LD.	MAXIMUM TOTAL LOAD	PAD FOOTING	PAD (REBAR) REINFORCING
P1	9,552#	24"x24"x10"	NOT REQUIRED
P2	11,817#	27"x27"x12"	NOT REQUIRED
P3	14,781#	30"x30"x12"	NOT REQUIRED
P4	17,715#	33"x33"x14"	NOT REQUIRED
P5	20,880#	36"x36"x16"	NOT REQUIRED
P6	28,971#	42"x42"x12"	(8) #4 EACH WAY
P7	37,480#	48"x48"x14"	(10) #4 EACH WAY
P8	47,436#	54"x54"x14"	(12) #4 EACH WAY



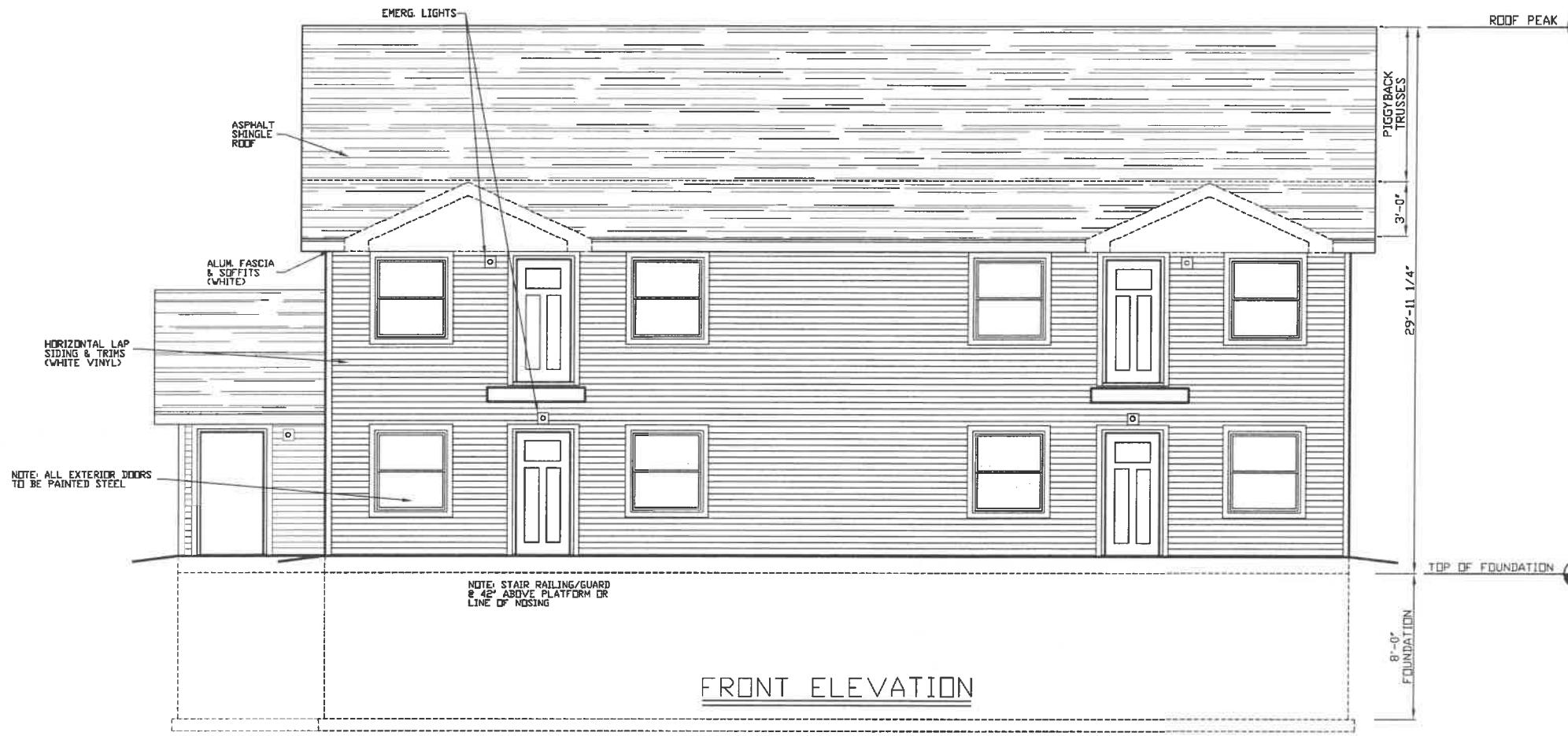
**PRELIMINARY DRAWINGS
DO NOT USE FOR CONSTRUCTION!**

JOB #C1857
DRAWING SCALE 1/8" = 1'-0"

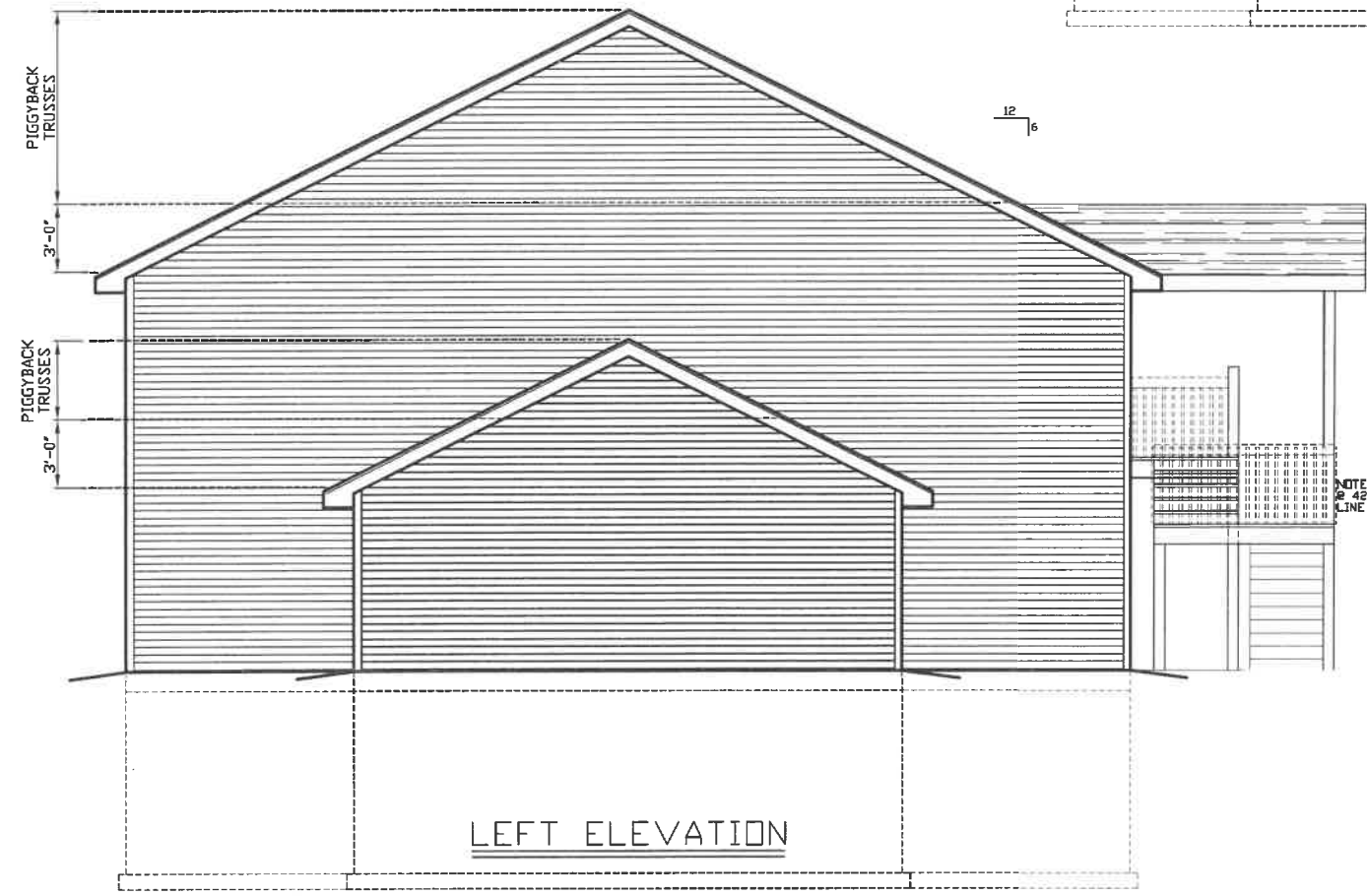
Dickinson Homes
 1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800
 WWW.DICKINSONHOMES.COM 906-774-5813

revision	6/27/23 APS
6/27/23 APS	7/26/23 RC
proj	title
NEPHEW HOUSING	HOUSING UNIT B
RYAN SPENCER	FOUNDATION PLAN
contact person	
date	6/1/23
originator	APS
sht no	A2

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FRONT ELEVATION



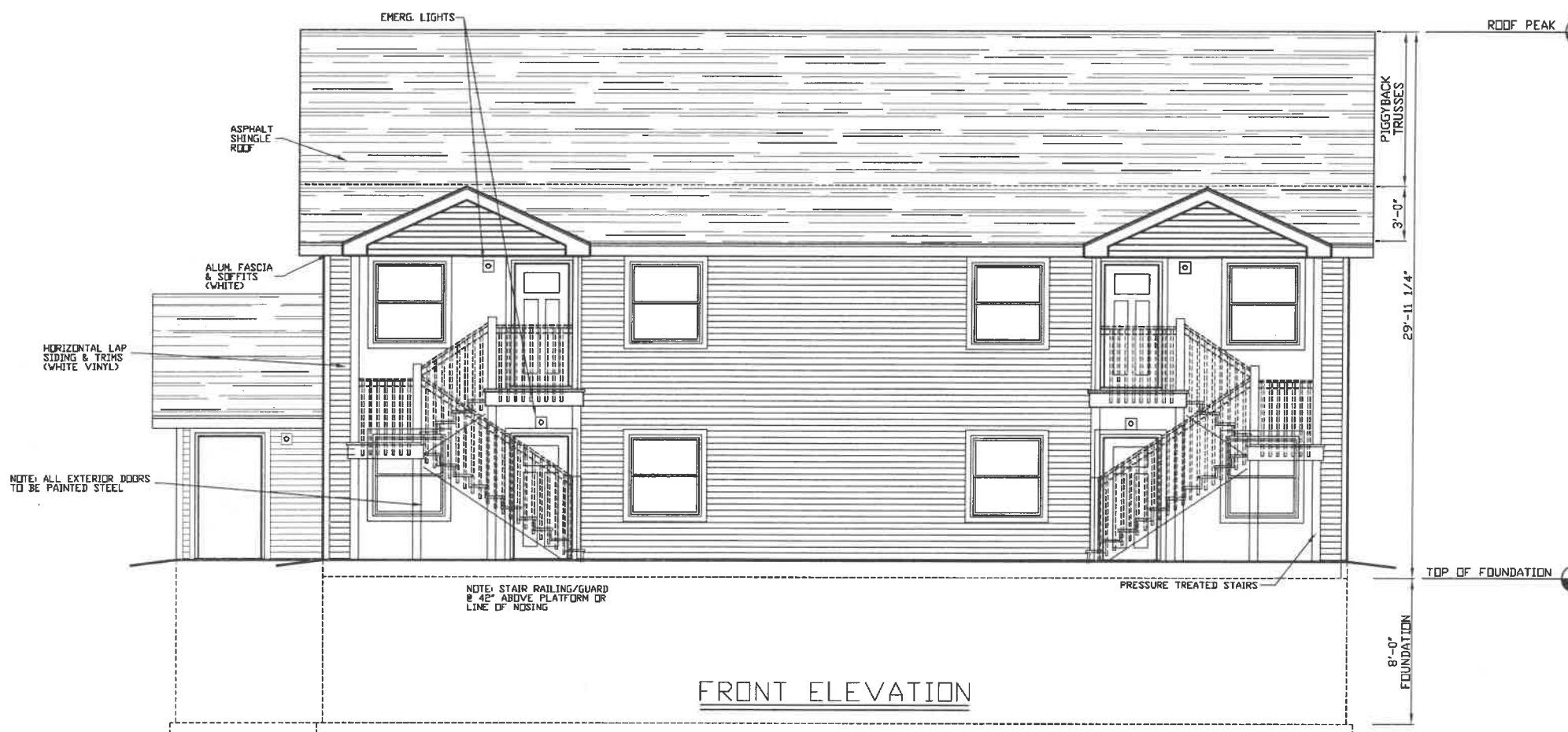
LEFT ELEVATION

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 906-774-5800
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Dickinson Homes

revision	---
6/27/23 APS	---
7/6/23 RC	---
proj title	NEPHEW HOUSING
contact person	RYAN SPENCER
date	6/1/23
originator	APS
sht no	A3

JOB #C1857
 DRAWING SCALE 1/8" = 1'-0"



ROOF PEAK

PIGGYBACK TRUSSES

3'-0"

29'-11 1/4"

8'-0" FOUNDATION

TOP OF FOUNDATION

Dickinson Homes

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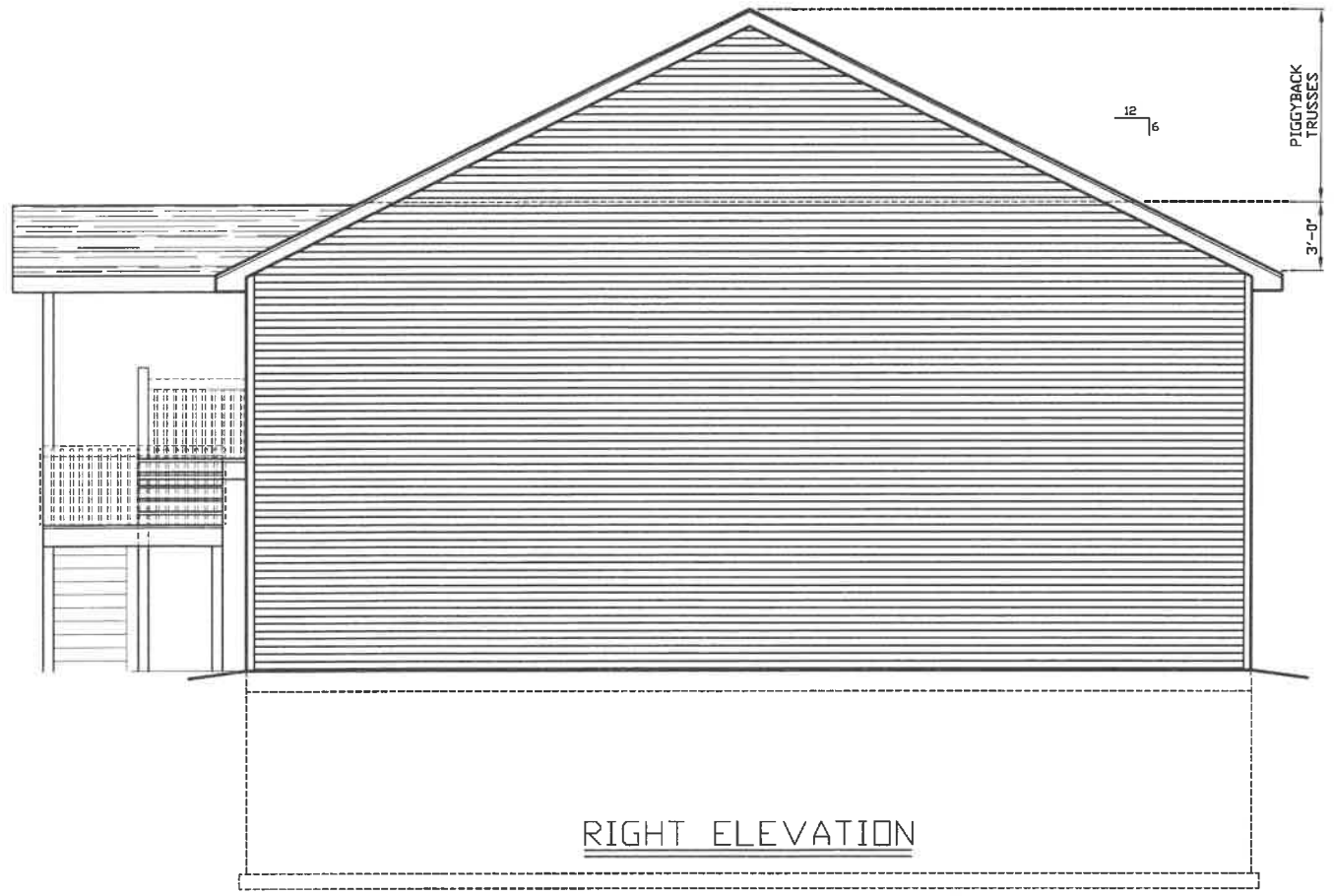
revision	
7/25/23 RC	
7/26/23 RC	
proj	title
NEPHEW HOUSING	HOUSING UNIT B
RYAN SPENCER	EXTERIOR ELEVATIONS
contact person	
date	6/1/23
originator	APS
sht no	A3a

JOB #C1857

DRAWING SCALE 1/8" = 1'-0"



REAR ELEVATION

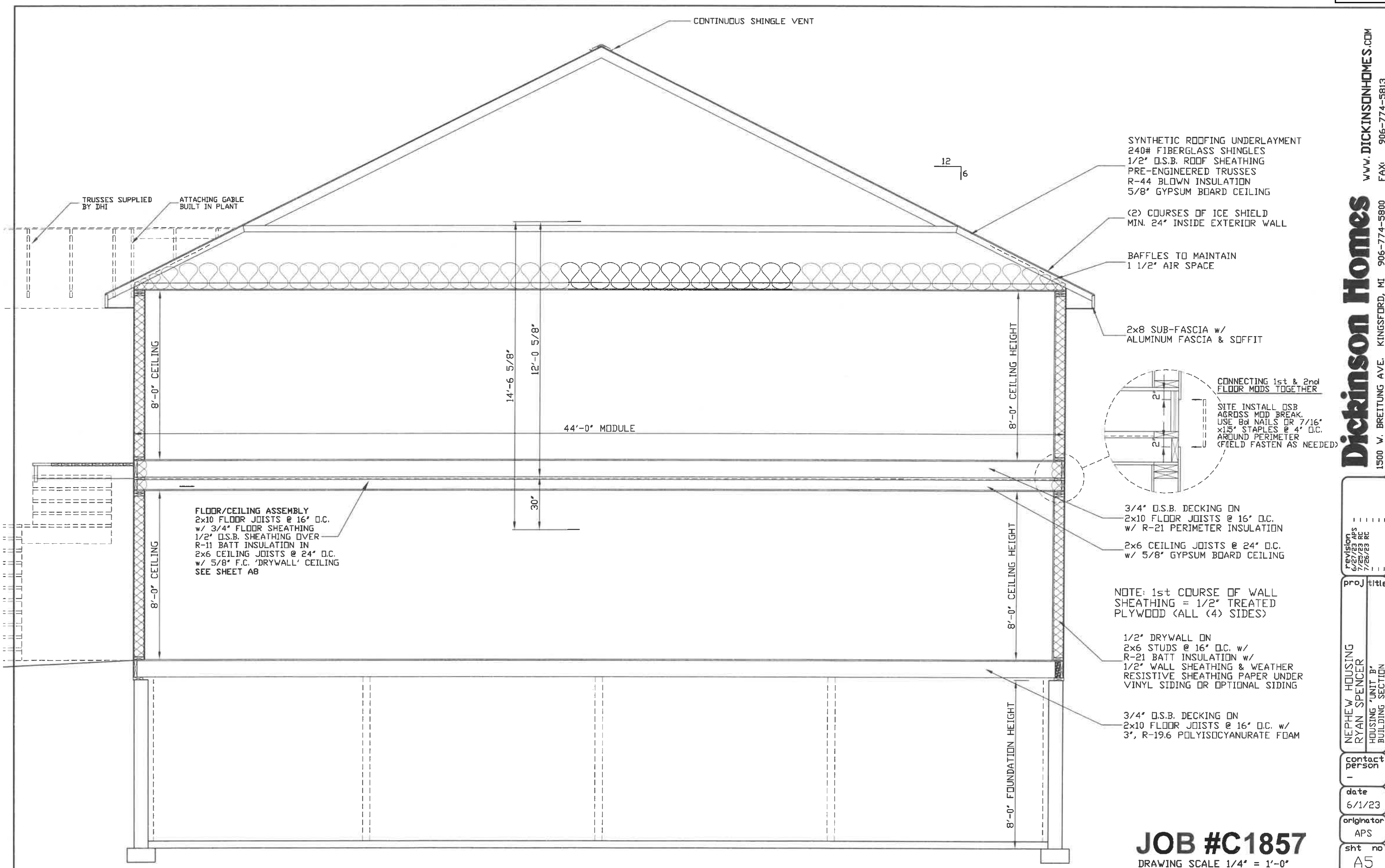


RIGHT ELEVATION

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revision	---
6/27/23 APS	---
7/26/23 RC	---
7/26/23 RC	---
proj title	---
NEPHEW HOUSING	---
RYAN SPENCER	---
HOUSING UNIT B'	---
EXTERIOR ELEVATIONS	---
contact person	---
date	6/1/23
originator	APS
sht no	A4

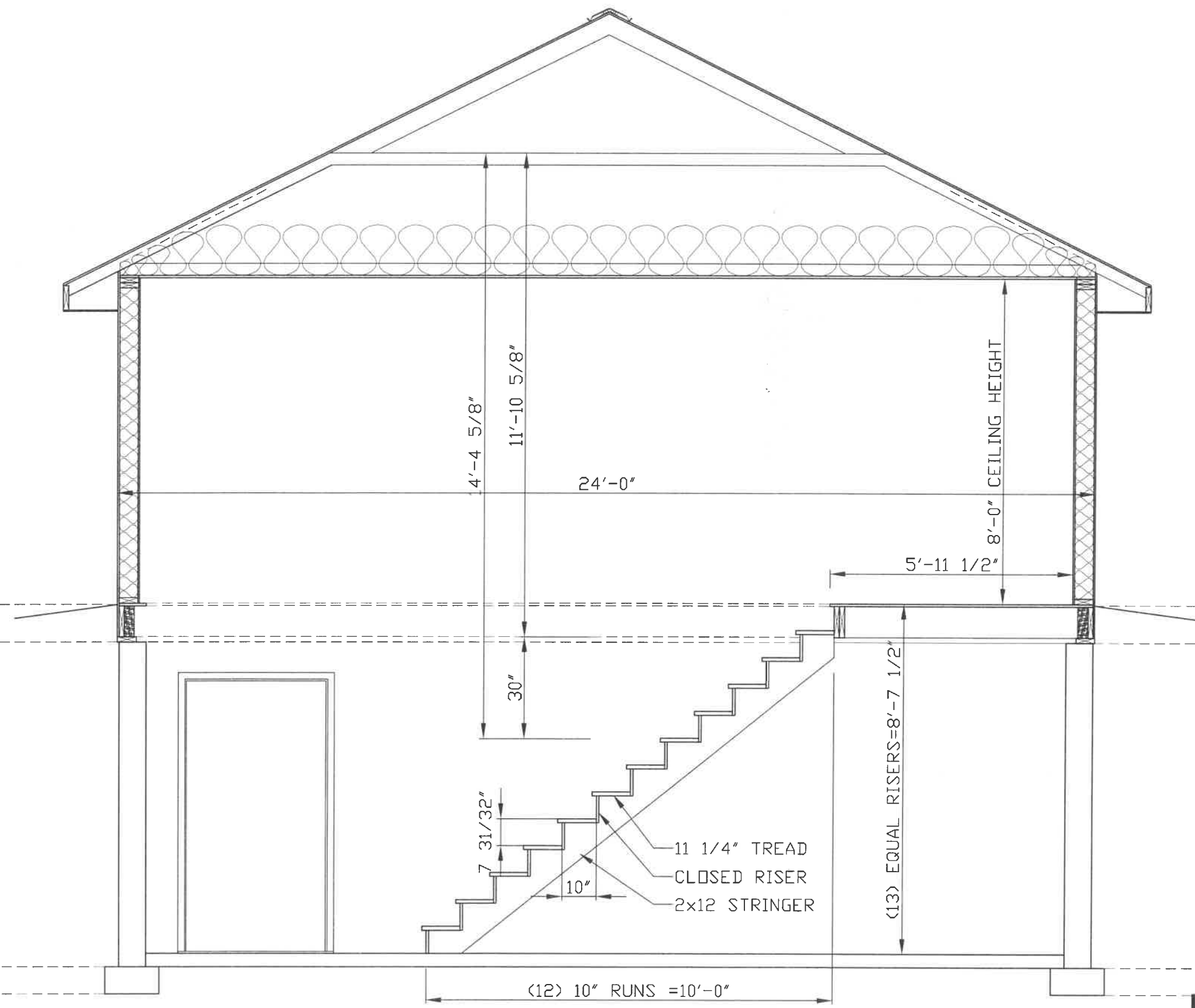
JOB #C1857
 DRAWING SCALE 1/8" = 1'-0"



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 906-774-5813
Dickinson Homes
 1500 W. BREITUNG AVE. KINGSFORD, MI 906-774-5800

revision
6/27/23 APS	
7/26/23 RC	
proj title	
NEPHEW HOUSING	
RYAN SPENCER	
HOUSING UNIT 'B'	
BUILDING SECTION	
contact person	
date	6/1/23
originator	APS
sht no	A5

JOB #C1857
 DRAWING SCALE 1/4" = 1'-0"



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 FAX: 906-774-5813

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revision	7/25/23 RC
7/26/23 RC	
proj	NEPHEW HOUSING
title	RYAN SPENCER
	HOUSING UNIT B'
	BUILDING SECTION/STAIR DETAIL
contact person	
date	6/1/23
originator	APS
sht no	A6

JOB #C1857
 DRAWING SCALE 3/8" = 1'-0"

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JUL 25 2023

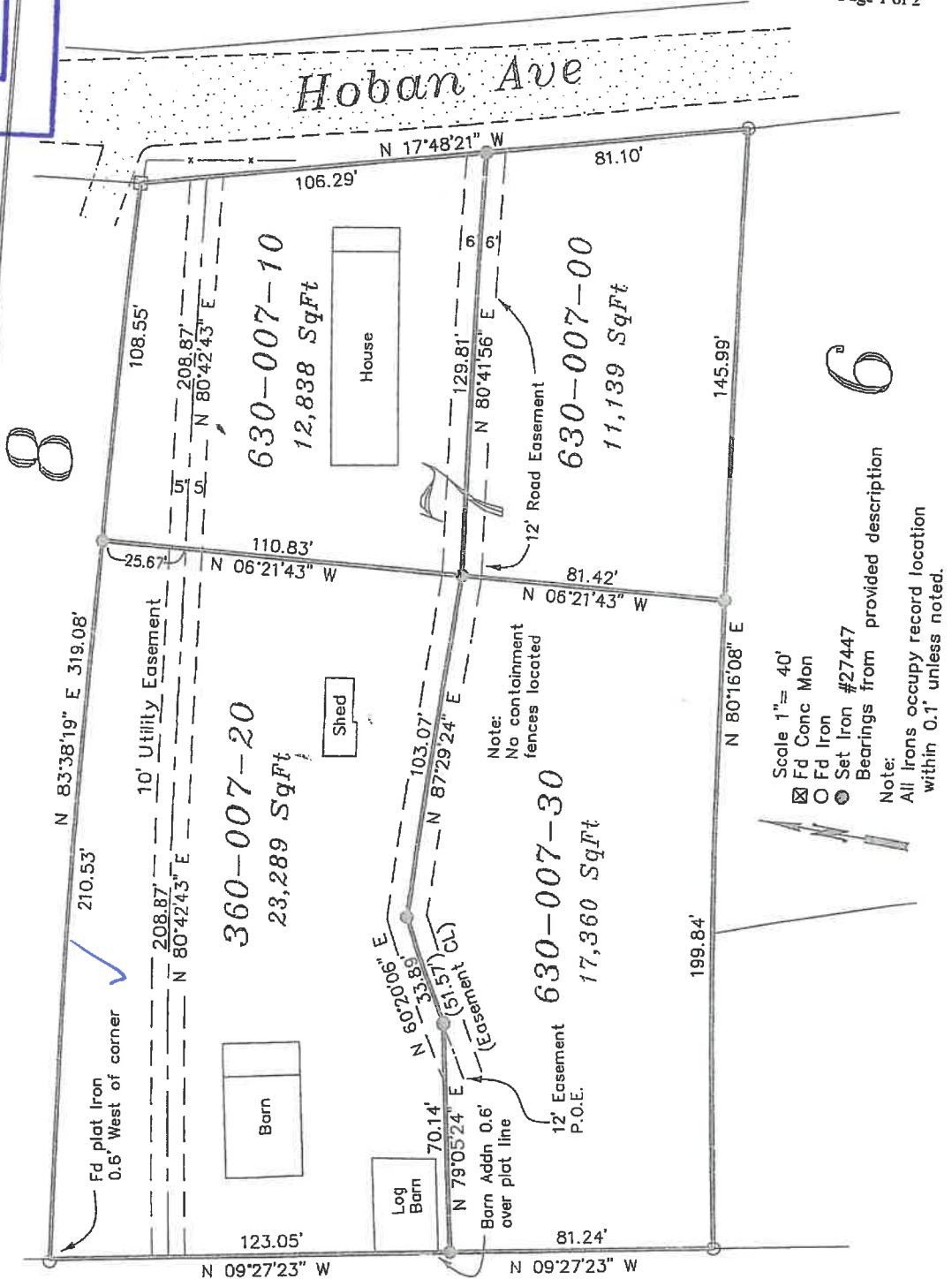
Section X, Itemc.

Certified Survey Exhibit C

For: Debra & Sandra Orr
 PO Box 1188
 Mackinac Island, MI 49757

File No. R3230
 Date 7.25.23
 Initials KP


Page 1 of 2



Scale 1" = 40'
 ☒ Fd Conc Mon
 ○ Fd Iron
 ● Set Iron #27447
 Bearings from provided description
 Note:
 All irons occupy record location within 0.1' unless noted.

I certify that this map correctly represents a survey made under my supervision of the land described. The relative error of closure being better than 1 part in 5000; and that the encroachments affecting said land, if any, are located as shown hereon.

By: Neil E. Hill P.S.C.
 Neil E. Hill P.S. #27447
 Registered Land Surveyor

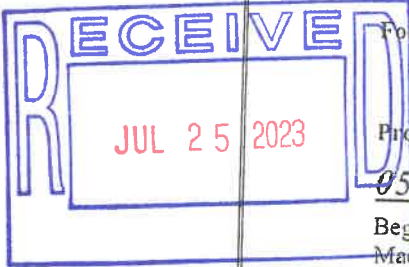

 429 Ellsworth Street
 St. Ignace, MI 49781
 (906) 643-9418 Phone
 (906) 643-6327 Fax
 info@mackinacsurveys.com

Date: August 20, 2014 (Rev. 12-10-18)
 Order No.: 14-046-Ort-7-APH-MI

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Certified Survey



For: Debra & Sandra Orr
PO Box 1188
Mackinac Island, MI 49757

Provided Descriptions:

051-630-007-00

Beginning at the Southeast corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 17-48-21 W 81.10 feet, along the East line of Lot 7;
thence S 80-41-56-W 129.81 feet;
thence S 06-21-43 E 81.42 feet, to the South line of Lot 7;
thence N 80-16-08 E 145.99 feet, to the Point of Beginning.

Subject to any Easements, Restrictions or Reservations of Record.

051-630-007-10

Commencing at the Southeast corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 17-48-21 W 81.10 feet, to the Point of Beginning;
Thence N 17-48-21 W 106.29 feet along the East line of Lot 7
thence S 83-38-19 W 108.55 feet, along the North line of Lot 7
thence S 06-21-43 E 110.83 feet
thence N 80-41-56 E 129.81 feet, to the Point of Beginning;

Subject to any Easements, Restrictions or Reservations of Record.

051-630-007-20

Beginning at the Northwest corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 83-38-19 E 210.53 feet, along the North line of Lot 7;
thence S 06-21-43 E 110.83 feet;
thence S 87-29-24 W 103.07 feet;
thence S 60-20-06 W 33.89 feet;
thence S 79-05-24 W 70.14 feet, to the West line of Lot 7;
thence N 09-27-23 W 123.05 feet, along the West line of Lot 7, to the Point of Beginning.

Subject to any Easements, Restrictions or Reservations of Record.

051-630-007-30

Beginning at the Southwest corner of Lot 7, Assessor's Plat of Harrisonville, Mackinac Island, Michigan;

Thence N 09-27-23 W 81.24 feet along the West line of Lot 7;
thence N 79-05-24 E 70.14 feet;
thence N 60-20-06 E 33.89 feet;
thence N 87-29-24 E 103.07 feet;
thence S 06-21-43 E 81.42 feet, to the South line of Lot 7;
thence S 80-16-08 W 199.84 feet, along the South line of Lot 7, to the Point of Beginning.

Subject to any Easements, Restrictions or Reservations of Record.

Note: Easement descriptions not listed.
(Revision to correct bearing typo)

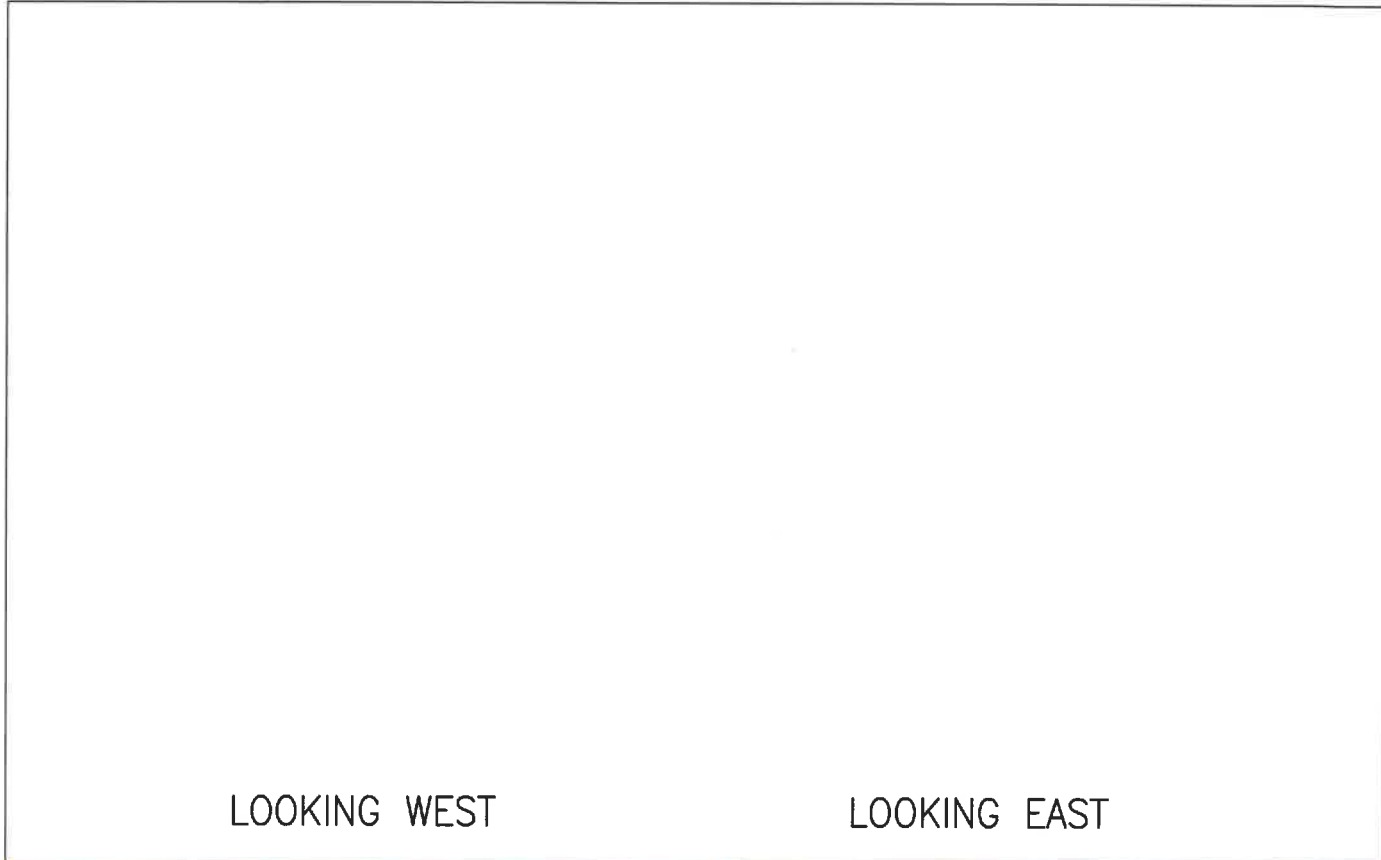
I certify that this map correctly represents a survey made under my supervision of the land described. The relative error of closure being better than 1 part in 5000; and that the encroachments affecting said land, if any, are located as shown hereon.

By: Neil E. Hill P.S.P.
Neil E. Hill P.S. #27447
Registered Land Surveyor
Date: August 20, 2014 (Rev. 12-10-18)
Order No.: 14-046-ORR-7-APH-MI



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St. Ignace, MI 49781
(906) 643-9418 Phone
(906) 643-6327 Fax
info@mackinacsurveys.com





LOOKING WEST

LOOKING EAST



EXISTING TOWNHOUSE



AS SEEN FROM ACCESS EASEMENT



File No. R323.007.052

Exhibit D

Date 7.25.23

Initials KP

Richard Clements Architect, PLLC

15215 Merry Lane
Oshtemo, MI 49759

richardlee1523@live.com

989-370-3681

HOBAN HILL HOUSING

CADOTTE AVENUE
MACKINAC ISLAND, MI

sheet:

A0.0

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Street looking NE



Google Earth
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Street looking NW



Google Earth
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Opposite side of street



Google Earth
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Street looking SE



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<p>Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681</p>	<p>HOBAN HILL HOUSING CADOTTE AVENUE MACKINAC ISLAND, MI</p>		<p>sheet: A0.1 COPYRIGHT © 2023</p>
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File No. R323 007-052

Exhibit B

Date 7-25-23

Initials KP

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JUL 25 2023
Section X, Itemc.
KP

COMBINED ALLOWABLES:

ZONING: R-3
OVERALL SITE AREA = 42,153 s.f. = 0.97 ACRES
MAXIMUM LOT COVERAGE = 40%
BUILDING AREA = 13,710 S.F.
TOTAL IMPERVIOUS LOT COVERAGE = 33%
ALLOWABLE DENSITY = 20 DWELLING UNITS PER ACRE
ALLOWABLE DENSITY = 1 OCCUPANT PER 500 s.f. SITE

COMBINED LOT 2,3,4&5 DENSITY:

LOTS 2,3,4&5 SITE AREA = 38,648 S.F.
42,152 S.F. DIVIDED BY 500 S.F. =
= 77 OCCUPANTS ALLOWED,
= 72 OCCUPANTS ACTUAL

BREAKDOWN OF EMPLOYEES:

BUILDING A:	4 SINGLE BEDROOM	= 2x2 = 4	16
	4 STUDIOS	= 6x2 = 12	
BUILDING B:	2 SINGLE BEDROOM	= 2x2 = 4	16
	6 STUDIOS	= 6x2 = 12	
BUILDING C:	2 SINGLE BEDROOM	= 2x2 = 4	16
	6 STUDIOS	= 6x2 = 12	
BUILDING D:	2 SINGLE BEDROOM	= 2x2 = 4	24
	20 STUDIOS	= 20x1 = 20	
TOTAL OCCUPANTS:			= 72

INDIVIDUAL LOT SIZES:

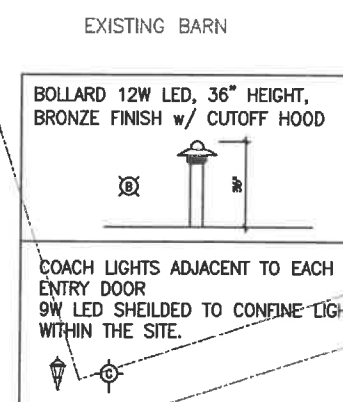
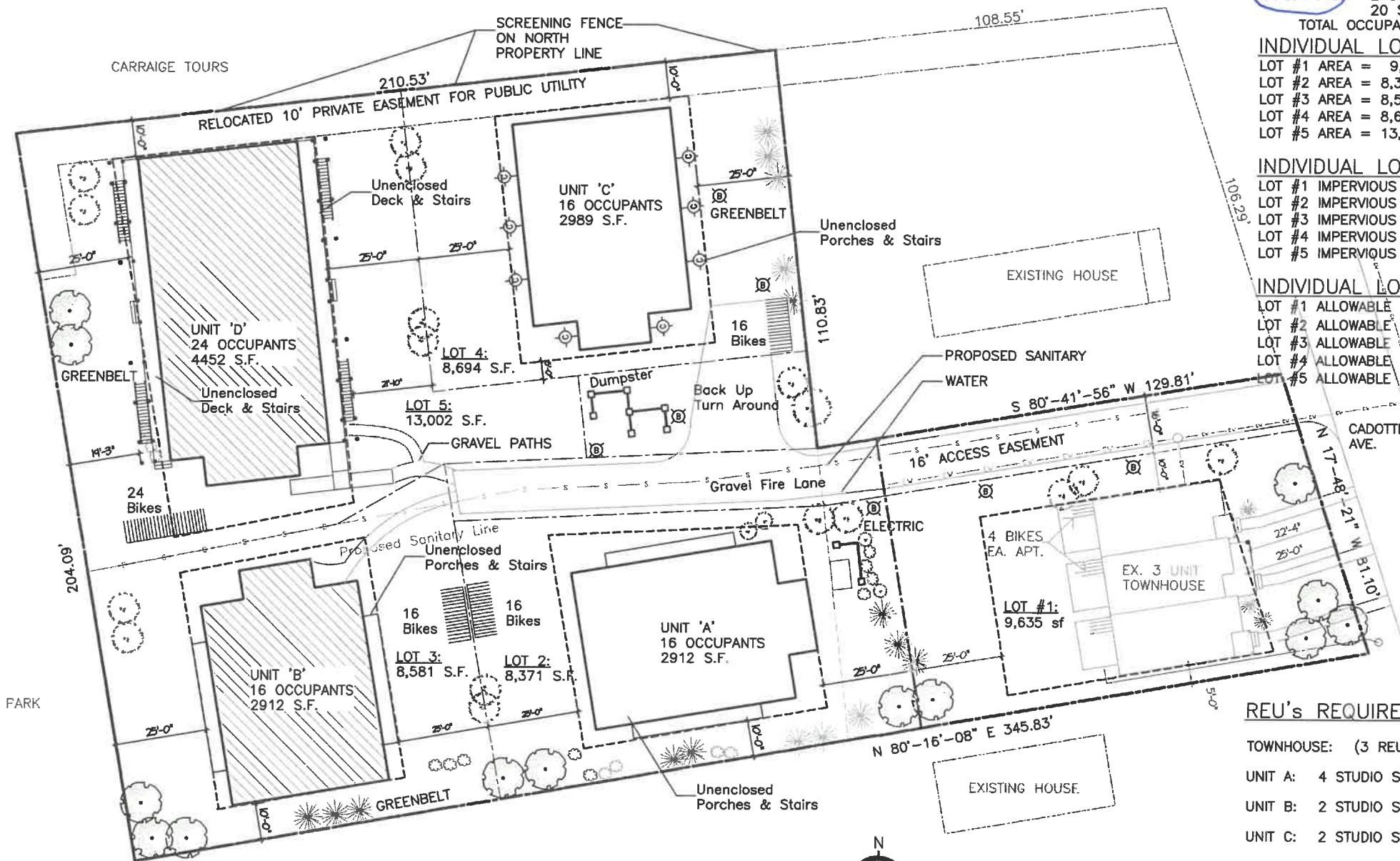
LOT #1 AREA = 9,635 s.f. = 0.22 Acres, Min. Width = 65'
LOT #2 AREA = 8,371 s.f. = 0.19 Acres, Min. Width = 65'
LOT #3 AREA = 8,581 s.f. = 0.19 Acres, Min. Width = 81'
LOT #4 AREA = 8,694 s.f. = 0.19 Acres, Min. Width = 83'
LOT #5 AREA = 13,002 s.f. = 0.29 Acres, Min. Width = 101'

INDIVIDUAL LOT COVERAGES:

LOT #1 IMPERVIOUS = 2,360 s.f. = 25%
LOT #2 IMPERVIOUS = 2,912 s.f. = 35%
LOT #3 IMPERVIOUS = 2,912 s.f. = 34%
LOT #4 IMPERVIOUS = 2,989 s.f. = 34%
LOT #5 IMPERVIOUS = 5,058 s.f. = 39%

INDIVIDUAL LOT DENSITIES:

LOT #1 ALLOWABLE DENSITY = 20 x 0.22 ACRES = 4 APTS. ALLOWED, 3 ACTUAL
LOT #2 ALLOWABLE DENSITY = $\frac{1}{500} \times 8,371 = 16$ ALLOWED, 16 PROPOSED
LOT #3 ALLOWABLE DENSITY = $\frac{1}{500} \times 8,581 = 17$ ALLOWED, 16 PROPOSED
LOT #4 ALLOWABLE DENSITY = $\frac{1}{500} \times 8,694 = 17$ ALLOWED, 16 PROPOSED
LOT #5 ALLOWABLE DENSITY = $\frac{1}{500} \times 13,002 = 26$ ALLOWED, 24 PROPOSED

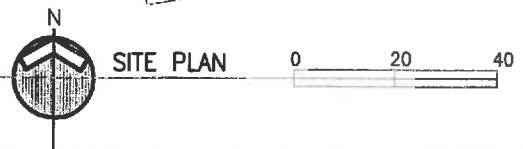


REU's REQUIRED:

TOWNHOUSE:	(3 REU's ARE PREVIOUSLY ACCOUNTED FOR)	
UNIT A:	4 STUDIO STYLE, 4 DORMITORY STYLE = 4x1 + 4x0.5	= 6
UNIT B:	2 STUDIO STYLE, 6 DORMITORY STYLE = 2x1 + 6x0.5	= 5
UNIT C:	2 STUDIO STYLE, 10 DORMITORY STYLE = 2x1 + 10x0.5	= 7
UNIT D:	4 STUDIO STYLE, 4 DORMITORY STYLE = 4x1 + 4x0.5	= 6
TOTAL REU's		= 24

LANDSCAPE NOTES

- A. Landscape buffers shall have a minimum width of ten feet and shall be planted with grass, ground cover, shrubbery, or other suitable plant material. The location, placement, spacing and types of plant materials will be such that an efficient horizontal and vertical obscuring or screening effect between land uses will be achieved.
- B. All plants comprising the buffer will be continuously maintained in a sound, healthy, vigorous growing condition, free of diseases, insect pests, refuse and debris.
- C. Minimum sizes of trees and shrubs planted as a part of a landscape buffer are as follows:
 1. Deciduous shrubs. Minimum two feet in height.
 2. Deciduous trees. Minimum two inches in caliper (diameter).
 3. Evergreen shrubs. Minimum two feet in height.
 4. Evergreen trees. Minimum five feet in height.



Richard Clements Architect, PLLC
15215 Merry Lane
Oscoda, MI 49759
richardlee1523@live.com 989-370-3681

HOBAN HILL HOUSING
CADOTTE AVENUE
MACKINAC ISLAND, MI

rev: 07.17.23
rev: 01.16.23
rev: 12.29.22
date: 12.27.22
project: 1916

sheet:
A1.0
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COMBINED ALLOWABLES:

ZONING: R-3
 OVERALL SITE AREA = 51,786 s.f. = 1.18 ACRES
 (ALL 5 LOTS)

MAXIMUM LOT COVERAGE = 40%
 BUILDING AREA = 17,521 S.F.

TOTAL IMPERVIOUS LOT COVERAGE = $\frac{17521}{51786} = 33.8\%$

ALLOWABLE DENSITY = 20 DWELLING UNITS PER ACRE
 ALLOWABLE DENSITY = 1 OCCUPANT PER 500 s.f. SITE

COMBINED LOT DENSITY:

LOT 1: @20 DWELLING UNITS PER ACRE = 4 ALLOWED, 3 ACTUAL.

LOTS 2,3,4, & 5 COMBINED = 38,778 S.F. DIVIDED BY 500 S.F. = 77 OCCUPANTS ALLOWED,
 = 72 OCCUPANTS ACTUAL

STORMWATER PLAN:

DESIGN CRITERIA:
 10 YEAR 24 HOUR RAINFALL = 3.3"
 (SOURCE: MDOT MS4 REPORT)
 = (0.28") = 0.011" /hour
 INFILTRATION RATE OF SOIL = 0.2"/hr.
 (SOURCE: USDA) = 0.016"/hour x24 hrs. * 67% = 0.25' / storm event
 DESIGN STORM VOLUME = 15,161 s.f. IMPERVIOUS x 0.28" = 4,246 cu. ft.
 ABSORPTION AREAS ADJACENT TO BUILDING = 27,155 s.f.
 STORMWATER ABSORPTION = 27,155 s.f. x 0.25" = 6,788 cu. ft.
 STORM ABSORPTION VOLUME EXCEEDS REQUIRED DETENTION;
 6,788 cu. ft. > 4,246 cu. ft.
 STORMWATER WILL BE ABSORBED IN THE LAWN AREAS AROUND THE STRUCTURES WITH NO RETENTION REQUIRED.

BREAKDOWN OF EMPLOYEES:

BUILDING A: 4 SINGLE BEDROOM	= 2x2	= 4	16
12 STUDIOS	= 12x1	= 12	
BUILDING B: 2 SINGLE BEDROOM	= 2x2	= 4	16
12 STUDIOS	= 12x1	= 12	
BUILDING C: 2 SINGLE BEDROOM	= 2x2	= 4	16
12 STUDIOS	= 12x1	= 12	
BUILDING D: 2 SINGLE BEDROOM	= 2x2	= 4	24
20 STUDIOS	= 20x1	= 20	
TOTAL OCCUPANTS:		= 72	

INDIVIDUAL LOT SIZES:

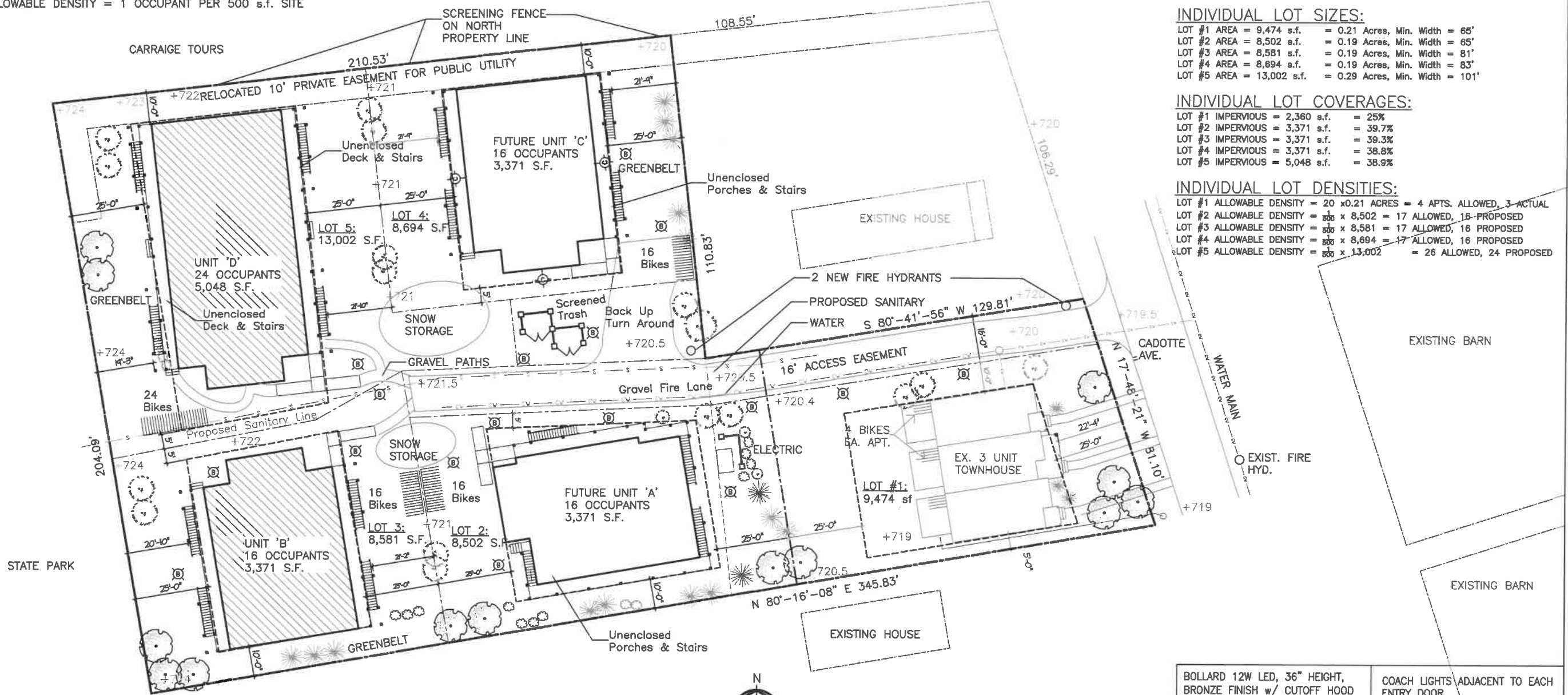
LOT #1 AREA = 9,474 s.f.	= 0.21 Acres, Min. Width = 65'
LOT #2 AREA = 8,502 s.f.	= 0.19 Acres, Min. Width = 65'
LOT #3 AREA = 8,581 s.f.	= 0.19 Acres, Min. Width = 81'
LOT #4 AREA = 8,694 s.f.	= 0.19 Acres, Min. Width = 83'
LOT #5 AREA = 13,002 s.f.	= 0.29 Acres, Min. Width = 101'

INDIVIDUAL LOT COVERAGES:

LOT #1 IMPERVIOUS = 2,360 s.f.	= 25%
LOT #2 IMPERVIOUS = 3,371 s.f.	= 39.7%
LOT #3 IMPERVIOUS = 3,371 s.f.	= 39.3%
LOT #4 IMPERVIOUS = 3,371 s.f.	= 38.8%
LOT #5 IMPERVIOUS = 5,048 s.f.	= 38.9%

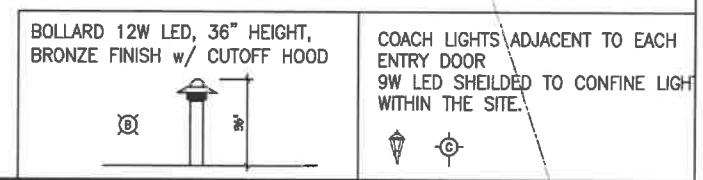
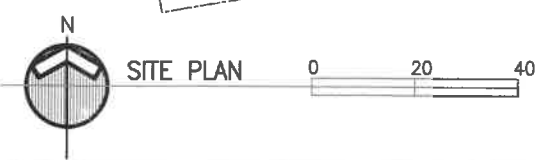
INDIVIDUAL LOT DENSITIES:

LOT #1 ALLOWABLE DENSITY = 20 x 0.21 ACRES = 4 APTS. ALLOWED, 3 ACTUAL
LOT #2 ALLOWABLE DENSITY = $\frac{500}{8502} \times 8,502 = 17$ ALLOWED, 16-PROPOSED
LOT #3 ALLOWABLE DENSITY = $\frac{500}{8581} \times 8,581 = 17$ ALLOWED, 16 PROPOSED
LOT #4 ALLOWABLE DENSITY = $\frac{500}{8694} \times 8,694 = 17$ ALLOWED, 16 PROPOSED
LOT #5 ALLOWABLE DENSITY = $\frac{500}{13002} \times 13,002 = 26$ ALLOWED, 24 PROPOSED

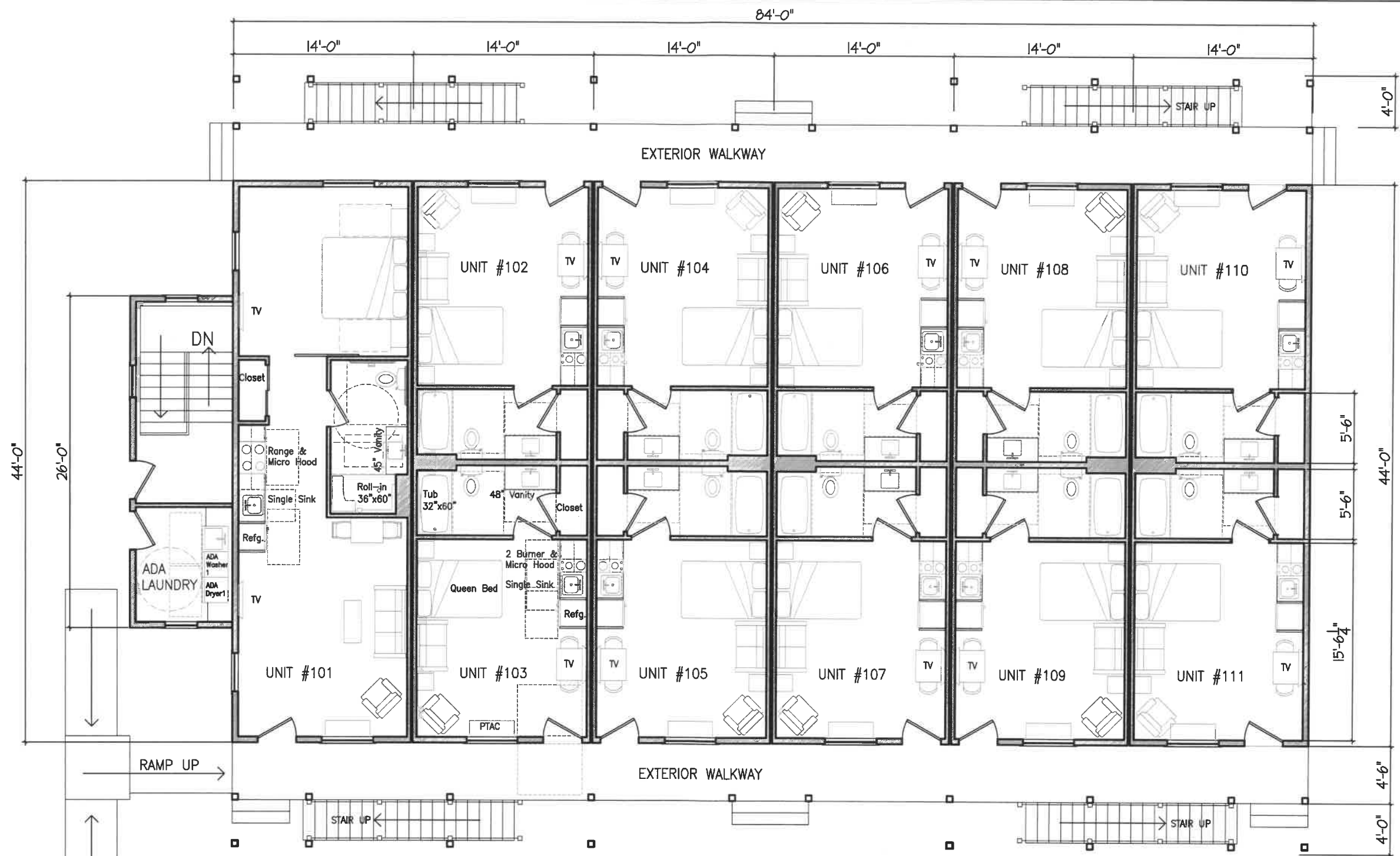


LANDSCAPE NOTES

- A. LANDSCAPE BUFFERS SHALL HAVE A MINIMUM WIDTH OF TEN FEET AND SHALL BE PLANTED WITH GRASS, GROUND COVER, SHRUBBERY, OR OTHER SUITABLE PLANT MATERIAL. THE LOCATION, PLACEMENT, SPACING AND TYPES OF PLANT MATERIALS WILL BE SUCH THAT AN EFFICIENT HORIZONTAL AND VERTICAL OBSCURING OR SCREENING EFFECT BETWEEN LAND USES WILL BE ACHIEVED.
- B. ALL PLANTS COMPRISING THE BUFFER WILL BE CONTINUOUSLY MAINTAINED IN A SOUND, HEALTHY, VIGOROUS GROWING CONDITION, FREE OF DISEASES, INSECT PESTS, REFUSE AND DEBRIS.
- C. MINIMUM SIZES OF TREES AND SHRUBS PLANTED AS A PART OF A LANDSCAPE BUFFER ARE AS FOLLOWS:
 1. DECIDUOUS SHRUBS. MINIMUM TWO FEET IN HEIGHT.
 2. DECIDUOUS TREES. MINIMUM TWO INCHES IN CALIPER (DIAMETER).
 3. EVERGREEN SHRUBS. MINIMUM TWO FEET IN HEIGHT.
 4. EVERGREEN TREES. MINIMUM FIVE FEET IN HEIGHT.

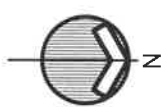


Richard Clements Architect, PLLC 15215 Merry Lane Okemos, MI 49759 richardlee1523@live.com 989-370-3681	HOBAN HILL HOUSING CADOTTE AVENUE MACKINAC ISLAND, MI	rev: 07.24.23 rev: 01.16.23 rev: 12.29.22 date: 12.27.22 project: 1916	sheet: <h1 style="text-align: center;">A1.0</h1> COPYRIGHT © 2023
	HOVAN HILL HOUSING		



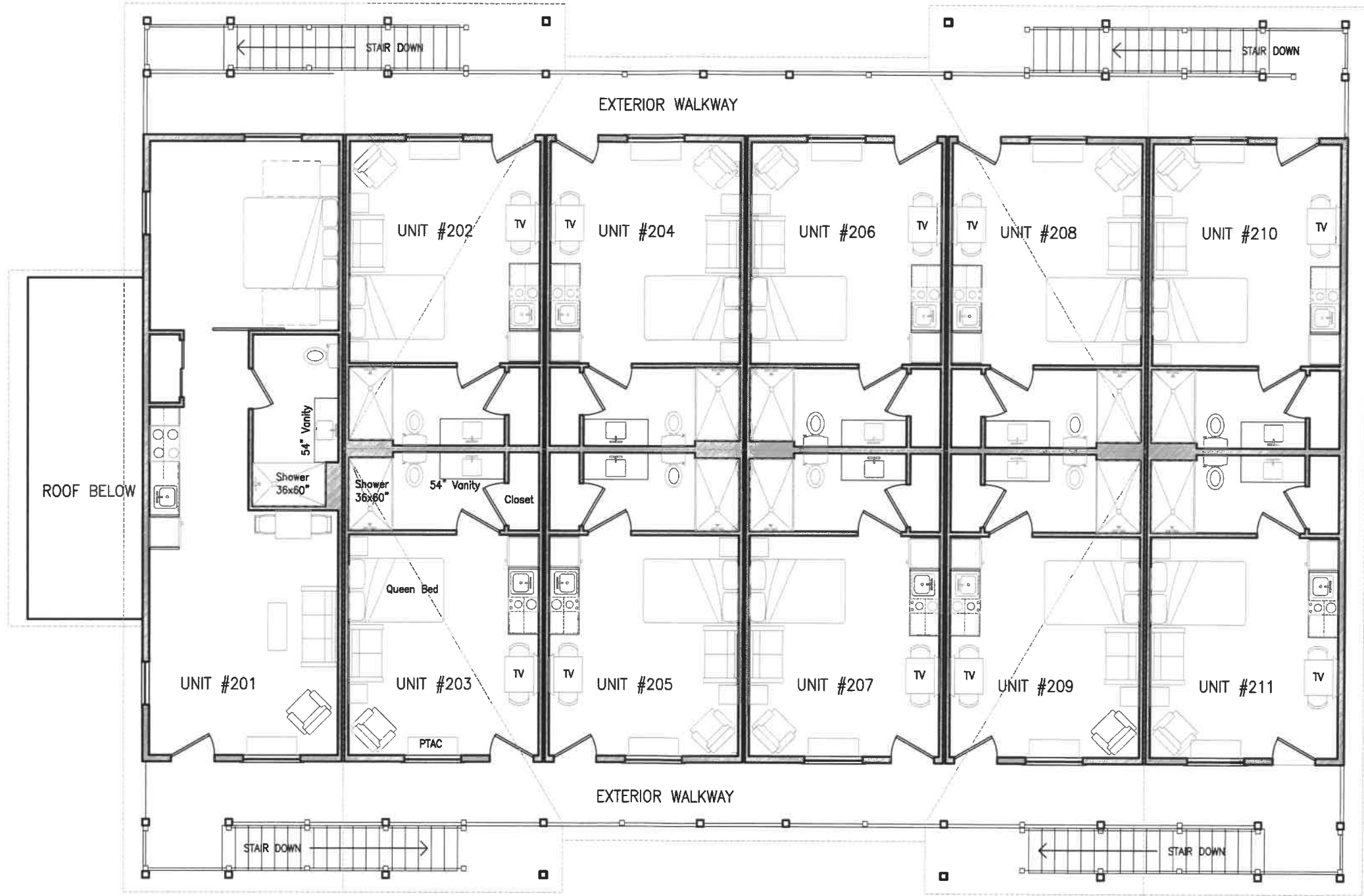
UNIT #101 IS FULLY ACCESSIBLE
 ALL OTHER GROUND FLOOR UNITS ARE SEMI-ACCESSIBLE TYPE B.
 NO ACCESSIBILITY REQUIREMENTS ON 2nd FLOOR.

1st Floor Plan
 0 4 8 16



(2) 1 BR UNITS = 4 OCCUPANTS
 (20) STUDIOS = 20 OCCUPANTS

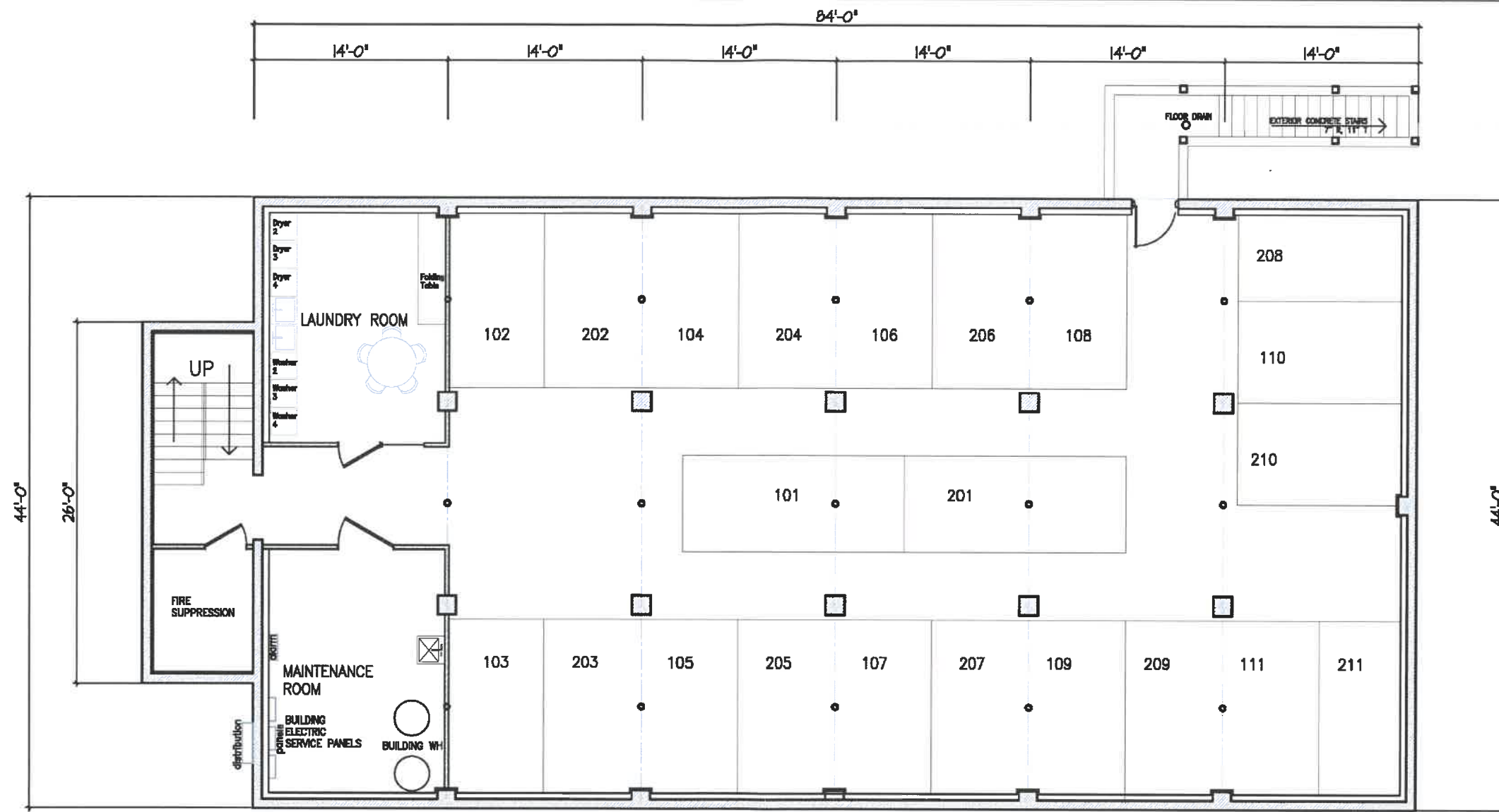
Richard Clements Architect, PLLC 15215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	HOBAN HILL BUILDING 4 HOBAN AVE. MACKINAC ISLAND, MICHIGAN	date: July 24, 2023 project: 1916 CHIPPEWA BUILDING	sheet: C1.1 COPYRIGHT © 2023
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2nd Floor Plan

0 4 8 16

<p>Richard Clements Architect, PLLC 15215 Merry Lane Oscqueoc, MI 49759 richardleel1523@live.com 989-370-3681</p>	<p>HOBAN HILL BUILDING 4 HOBAN AVE. MACKINAC ISLAND, MICHIGAN</p>	<p>date: July 24, 2023 project: 1916</p>	<p>sheet: C1.2 CHIPPEWA BUILDING COPYRIGHT © 2023</p>
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Basement Plan 

0 4 8 16

Richard Clements Architect, PLLC
 15215 Merry Lane
 Oshtemo, MI 49759
 richardlee1523@live.com 989-370-3681

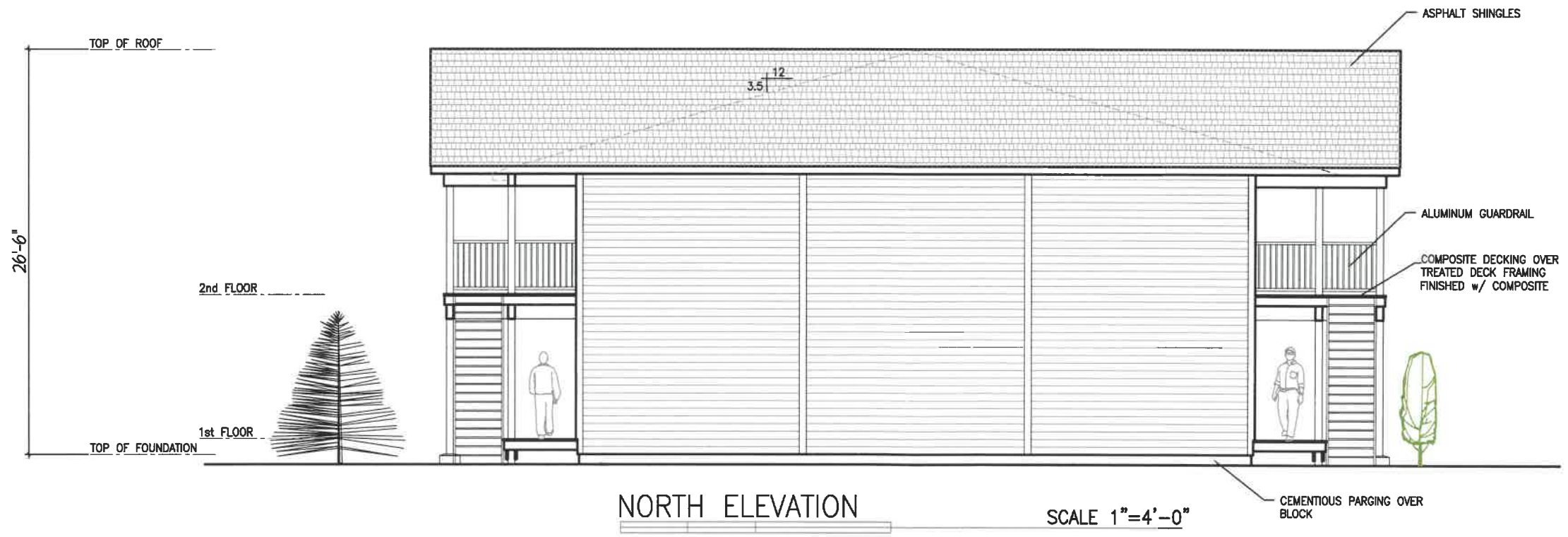
HOBAN HILL
 BUILDING 4
 HOBAN AVE.
 MACKINAC ISLAND, MICHIGAN

date: July 24, 2023
 project: 1916
 CHIPPEWA BUILDING

sheet:
C1.3
 COPYRIGHT © 2023



Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardleel523@live.com 989-370-3681	HOBAN HILL BUILDING 4		date: July 24, 2023 project: 1916	sheet: C2.1
	HOBAN AVE. MACKINAC ISLAND, MICHIGAN		CHIPPEWA BUILDING	COPYRIGHT © 2023



Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 richardlee1523@live.com 989-370-3681	HOBAN HILL BUILDING 4		date: July 24, 2023 project: 1916	sheet: C2.2
	HOBAN AVE. MACKINAC ISLAND, MICHIGAN		CHIPPEWA BUILDING	COPYRIGHT © 2023

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the _____ (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

Nancy Nephew Porter SIGNATURE _____ Signature

Nancy Nephew Porter Please Print Name _____

Signed and sworn to before me on the 25 day of July, 2023.

K. RICKLEY
K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025
Mackinac County, Michigan
My commission expires: 10/21/2025

Zoning Permit Issued: _____ FOR OFFICE USE ONLY

Inspection Record:	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

Utility Information

Not Provided or Applicable

Provided

- 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand
- 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)
- 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)
- 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)

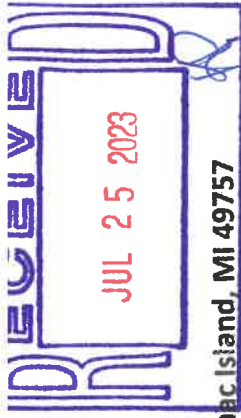
**Architectural Review
Informational Requirements (Section 18.05)**

Item

Not Provided or Applicable

Provided

- 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership
- 2. Legal description of the property
- 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)
- 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.



CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

Website: cityofmi.org Email: kep@cityofmi.org Phone: 906-847-6190 Address: PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Name: ALEX BAZINAU
Address: 2908 CADOTTE AVE MACK, ISL.
Phone: 906 440 2056 Email: A_BAZINAU@HOTMAIL.COM

Please complete both sides of application.
The Fee and ⁵fourteen (14) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

PO Box 1331

Is The Proposed Project Part of a Condominium Association? NO

Is The Proposed Project Within a Historic Preservation District? NO

Applicant's Interest in the Project (If not the Fee-Simple Owner): Fee Simple Owner

Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? NO

Is a Variance Required? YES

Are REU's Required? How Many? NO

Type of Action Requested:

- Standard Zoning Permit
 - Special Land Use
 - Planned Unit Development
 - Other VARIANCE (SET BACK)
- Appeal of Planning Commission Decision _____
Ordinance Amendment/Rezoning _____
Ordinance Interpretation _____

Property Information:

- A. Property Number (From Tax Statement): 49-051-630-065-00
- B. Legal Description of Property: LOT 65
- C. Address of Property: 2908 CADOTTE AVE.
- D. Zoning District: R4
- E. Site Plan Checklist Completed & Attached: _____
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) See ATTACHED SKETCH PLAN
- G. Sketch Plan Attached: YES See ATTACHED
- H. Architectural Plan Attached: N/A
- I. Association Documents Attached (Approval of project, etc.): N/A
- J. FAA Approval Documents Attached: Previously OBTAINED ON SECOND FLOOR ADDITION
- K. Photographs of Existing and Adjacent Structures Attached: See ATTACHED

Proposed Construction/Use:

- A. Proposed Construction: New Building
- _____ Other, Specify _____
- _____ Alteration/Addition to Existing Building

B. Use of Existing and Proposed Structures and Land:

Existing Use (If Non-conforming, explain nature of use and non-conformity): Residential

Proposed Use: SAME

File No. R423.065.054

Exhibit A

Date 7.25.23

Initials AB

C. If Vacant:

Previous Use: N/A

Proposed Use: N/A

Length of Time Parcel Has Been Vacant: _____

OFFICE USE ONLY

FILE NUMBER: R423.065.054 FEE: \$1500

DATE: 7.25.23 CHECK NO: _____ INITIALS: AB

Revised Oct 2018

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

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Signature

SIGNATURES

Signature

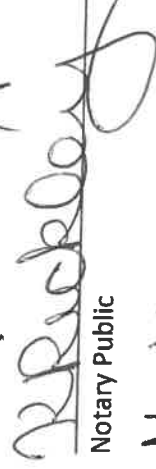
WALTER A BARNAU

Please Print Name

Please Print Name

Signed and sworn to before me on the 25 day of July, 2023.

K. RICKLEY, Notary Public
Mackinac County, State of Michigan
Acting in the County of Mackinac
My Commission Expires: 10/21/2025



Notary Public

Mackinac County, Michigan
My commission expires: 10/21/2025

Zoning Permit Issued: _____

FOR OFFICE USE ONLY

Inspection Record:

1.	Inspection	Date	Inspector	Comments
2.				
3.				

Occupancy Permit Issued _____

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

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**Site Plan Informational
Requirements (Section 20.04, B and C)**

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- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
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- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

Utility Information

Not Provided or Applicable

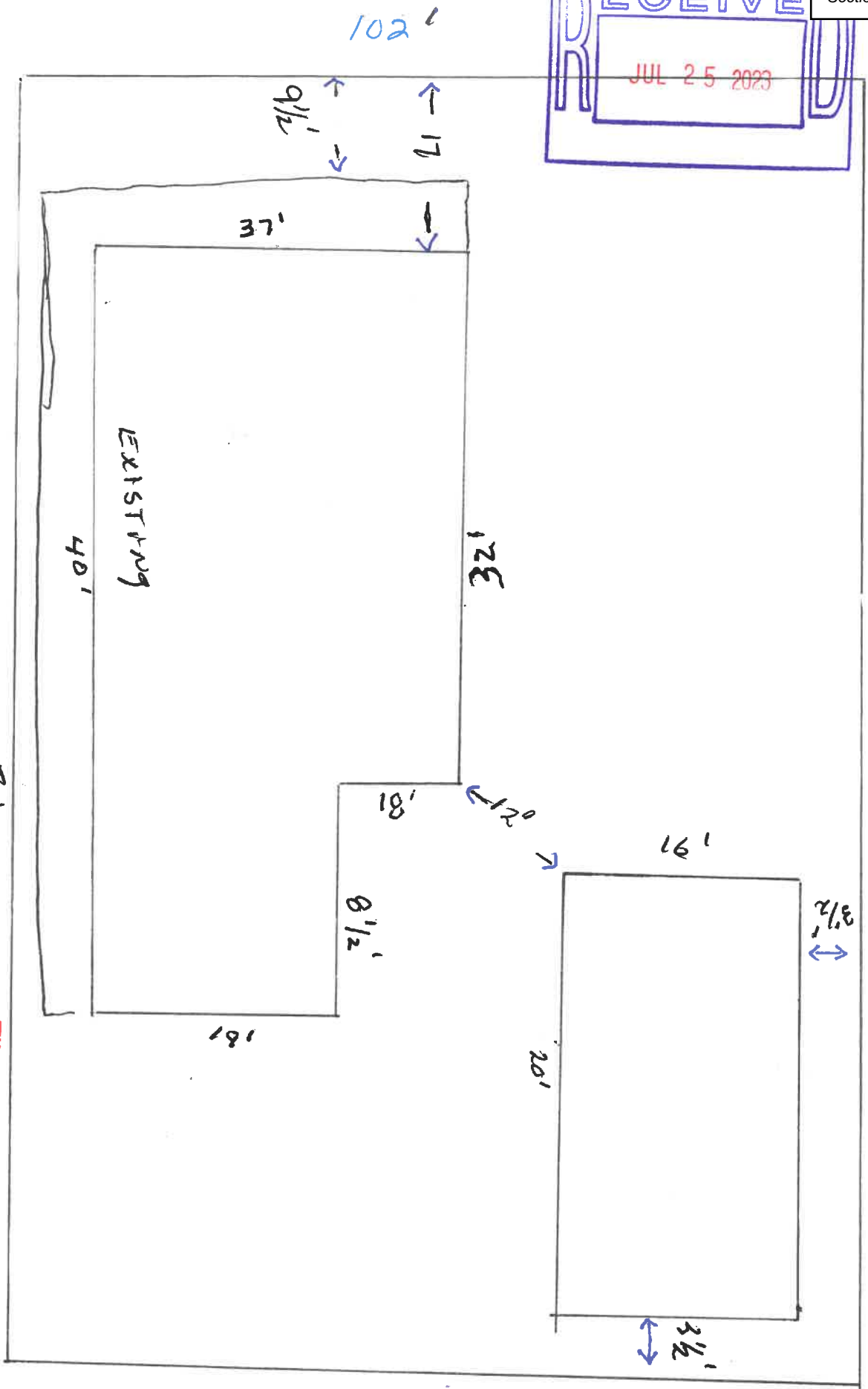
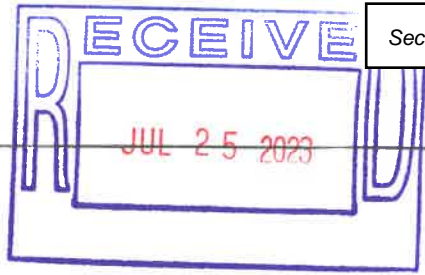
Provided

- 23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand
- 24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)
- 25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)
- 26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)

Architectural Review
Informational Requirements (Section 18.05)

- | <u>Item</u> | <u>Provided</u> | <u>Not Provided or Applicable</u> |
|---|-------------------------------------|-----------------------------------|
| 1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Legal description of the property | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site. | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Section X, Itemd.



75'

CADOTTE AVE. 75'

File No. R423.065.054

Exhibit B

Date 7.25.23

Initials KF

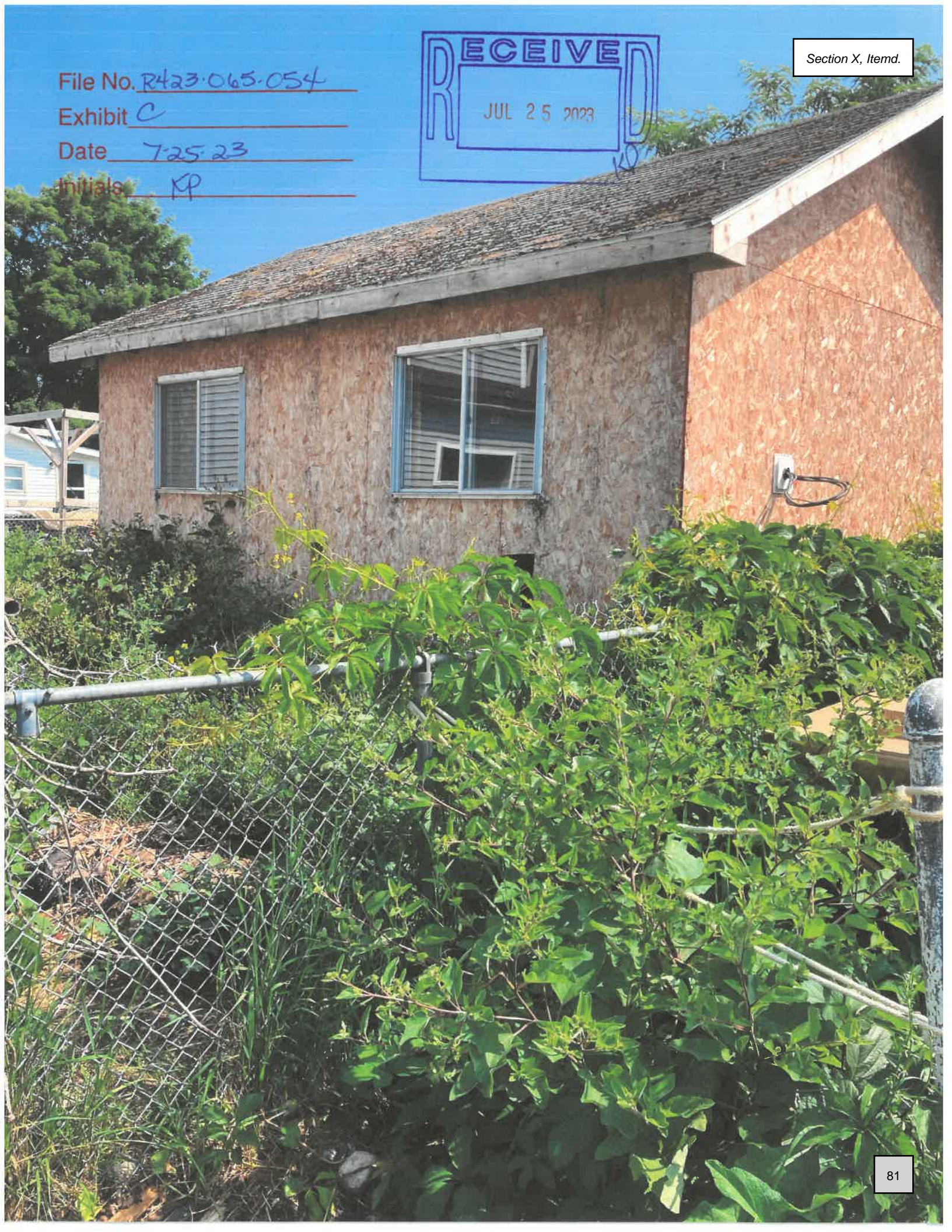
RECEIVED
JUL 25 2023
KOP

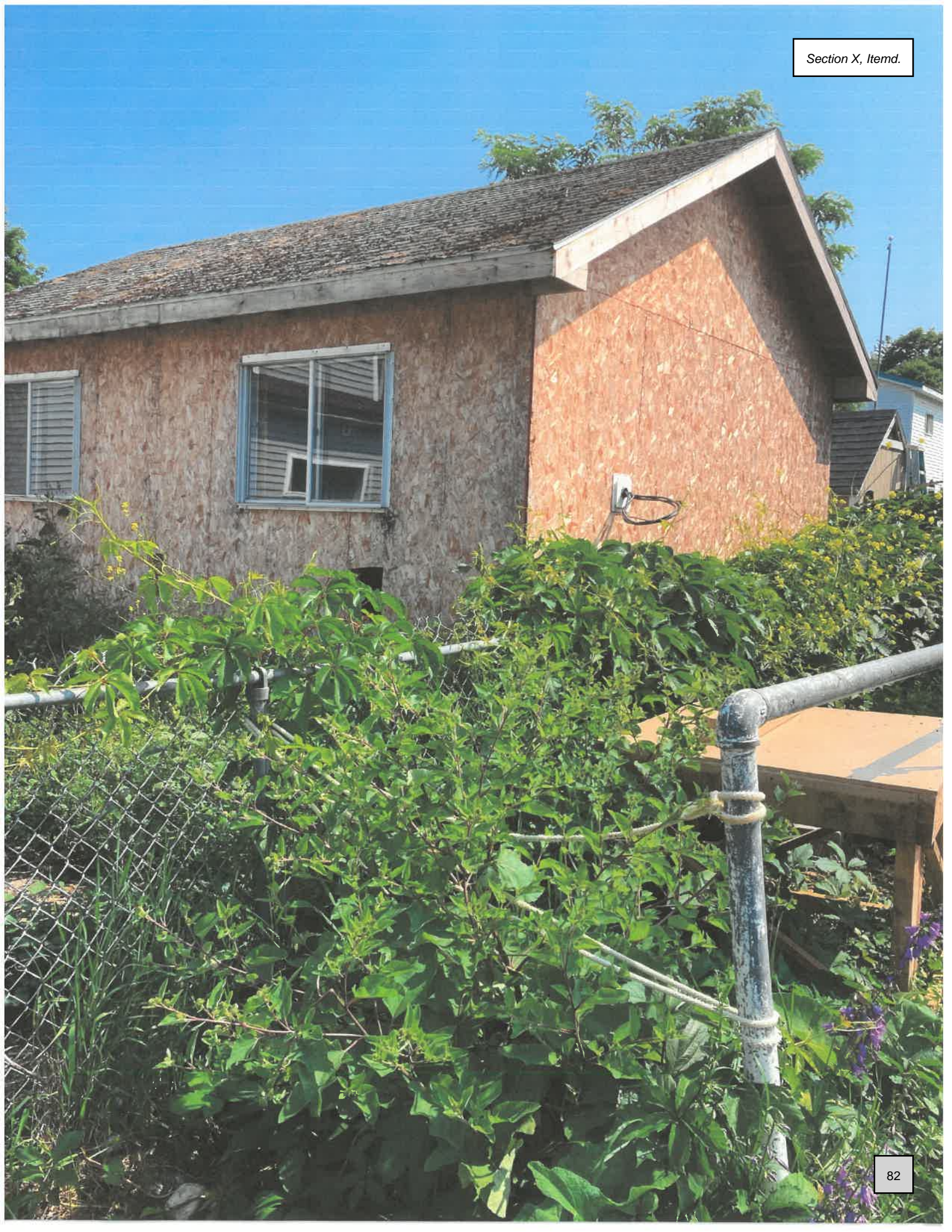
File No. R423-065-054

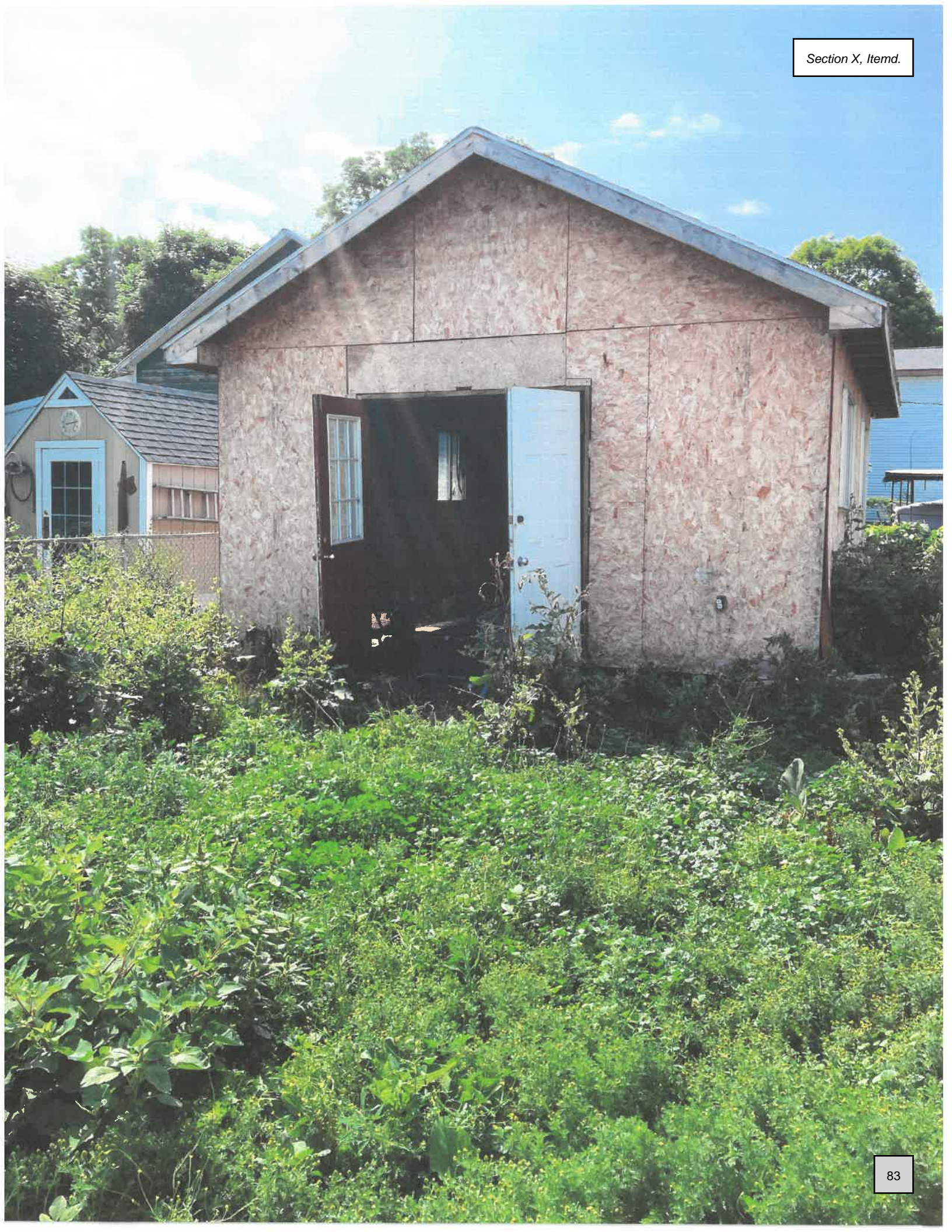
Exhibit C

Date 7-25-23

Initials KP











Gough Livery Carriages

P.O. Box 351
Mackinac Island, Michigan 49757-0331
906-847-1053

Section X, Itemd.

goughcarriages.com
goughcarriages@gmail.com

August/2/2023

To whom it may concern,

I am writing to you today in regards to the building on the property of Mr. Alex Bazinau.

I have adjoining property on the south side of Mr. Bazinau. He has been a respectful and friendly neighbor for as long as I can remember. I am sending this in support of him having building in question on his property. While the shed may considered nonconforming I fully believe it will not have any negative impact on our adjoining properties.

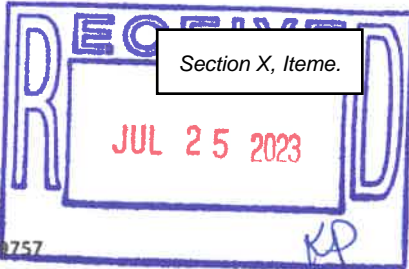
In conclusion, please let the records show I fully support Mr. Alex Bazinau in having this shed on his property regardless of the fact that it impedes on the setback laws.

Respectfully,

A handwritten signature in black ink that reads "Dale Gough". The signature is written in a cursive, flowing style.

Mr. Dale Gough

Section X, Iteme.



CITY OF MACKINAC ISLAND
PLANNING COMMISSION & BUILDING DEPARTMENT
APPLICATION FOR ZONING ACTION

www.cityofmi.org kep@cityofmi.org 906-847-6190 PO Box 455 Mackinac Island, MI 49757

APPLICANT NAME & CONTACT INFORMATION:

Stonecliffe Properties, LLC - Mercantile Project
8593 Cudahy Circle, Mackinac Island, MI 49757

+1 (434) 841-1295 kevin@pultefamilyfoundation.org
Phone Number Email Address

Please complete both sides of application.
The Fee and five (5) copies of the application, plans and all required documents must be submitted to the Zoning Administrator fourteen (14) days prior to the scheduled Planning Commission Meeting.

Property Owner & Mailing Address (If Different From Applicant)

Pulte Family Charitable Foundation
220 S. Dixie Hwy.
Boca Raton, FL 33432

- Is The Proposed Project Part of a Condominium Association? No
- Is The Proposed Project Within a Historic Preservation District? No
- Applicant's Interest in the Project (If not the Fee-Simple Owner): Owner
- Is the Proposed Structure Within Any Area That The FAA Regulates Airspace? Yes
- Is a Variance Required? No
- Are REU's Required? How Many? TBD /

Type of Action Requested:

- Standard Zoning Permit
- Special Land Use
- Planned Unit Development
- Other _____
- Appeal of Planning Commission Decision
- Ordinance Amendment/Rezoning
- Ordinance Interpretation

Property Information:

- A. Property Number (From Tax Statement): 051-763-008-00; in process of combining with 051-762-001-00
- B. Legal Description of Property: See Site Plan
- C. Address of Property: 8593 Cudahy Circle
- D. Zoning District: HB
- E. Site Plan Checklist Completed & Attached: Yes
- F. Site Plan Attached: (Comply With Section 20.04 of the Zoning Ordinance) Yes
- G. Sketch Plan Attached: No
- H. Architectural Plan Attached: Yes
- I. Association Documents Attached (Approval of project, etc.): Not Applicable
- J. FAA Approval Documents Attached: In process
- K. Photographs of Existing and Adjacent Structures Attached: Yes

Proposed Construction/Use:

- A. Proposed Construction:
 - New Building
 - Alteration/Addition to Existing Building
 - Other, Specify _____

- B. Use of Existing and Proposed Structures and Land:
 - Existing Use (If Non-conforming, explain nature of use and non-conformity):
Open space adjacent to BBQ Pavilion, Bike Pavilion, and fire lane

Proposed Use: Mercantile building

File No. HB23-007-055

Exhibit A

- C. If Vacant:

Previous Use: _____

Proposed Use: _____

Length of Time Parcel Has Been Vacant: _____

Date 7.25.23

Initials KP

OFFICE USE ONLY			
FILE NUMBER: <u>HB23-007-055</u>	FEE: <u>5400-</u>		
DATE: <u>7-25-23</u>	CHECK NO: <u>1093</u>	INITIALS: <u>KP</u>	Revised July 2023

STATE OF MICHIGAN)
COUNTY OF MACKINAC) ss.

AFFIDAVIT

The applicant agrees that the permit applied for, if granted, is issued on the representation made herein and that the permit issued may be revoked without further notice on any breach of representation or conditions.

The applicant further understands that any permit issued on this application will not grant any right of privilege to erect any structure or to use any premises described for any purposes or in any manner prohibited by the Zoning Ordinance, or by other codes or ordinances or regulations of the City of Mackinac Island.

The Applicant further agrees to furnish evidence of the following before a permit will be granted:

- A. Proof of ownership of the property; and/or other evidence establishing legal status to use the land in the manner indicated on the application.
- B. Proof that all required federal, state, county, and city licenses or permits have been either applied for or acquired.
- C. Other information with respect to the proposed structure, use, lot and adjoining property as may be required by the Zoning Administrator in accord with provisions of the Mackinac Island Zoning Ordinance.

The Applicant further agrees to notify the Zoning Administrator when construction reaches the stage of inspection stated on the permit, if granted. Upon completion of construction to the structure(s) or land the Zoning Administrator shall inspect the premises for compliance with the Mackinac Island Zoning Ordinance and the terms of this permit. Upon determination of compliance, an occupancy permit may be issued. It is further understood that pursuant to the City of Mackinac Island Zoning Ordinance, No. 479 and amendments, adopted November 2013, unless a substantial start on the construction is made within one year, unless construction is completed within one and one-half years from the date of issuance of the permit, this permit shall come under review by the Planning Commission and may either be extended or revoked.

The undersigned affirms that he/she or they is (are) the applicant and the Owner (specify: owner, Lessee, Architect/Engineer, Contractor or other type of interest) involved in the application and that the answers and statements herein attached are in all respects true and correct to the best of his, her or their knowledge and belief. The applicant hereby further affirms that he/she or they has read the foregoing and understands the same. If the applicant is other than the owner, then a notarized affidavit from the owner, giving the applicant permission to seek the requested zoning action on their behalf, shall also be submitted with this application.

[Signature]
Signature

SIGNATURES N/A
Signature

Kevin Doyle, Stonecreek Properties LLC
Please Print Name

N/A
Please Print Name

Signed and sworn to before me on the 25 day of July, 2023



[Signature]
Notary Public

DuPage County, Michigan Illinois
My commission expires: 4/29/2026

FOR OFFICE USE ONLY

Zoning Permit Issued: _____

Inspection Record:

	Inspection	Date	Inspector	Comments
1.				
2.				
3.				

Occupancy Permit Issued _____

Revised July 2023

City of Mackinac Island

7358 Market Street
P.O. Box 455
Mackinac Island, MI 49757

Site Plan Review Checklist
Please Submit With The Application for Zoning Action

As a minimum, the following information shall be included on the site plan submitted for review and processing; more complex plans may require additional information as noted.

NOTE: The engineer, architect, planner and/or designer retained to develop the site plan shall be responsible for securing a copy of the City of Mackinac Island Zoning Ordinance (Ord. No. 479, effective November 12, 2013), which can be obtained via the City's website at www.cityofmi.org.

Site plan review requirements are primarily found within Article 4, General Provisions, and Article 20, Site Plan Review of the City Zoning Ordinance. References are provided whenever possible for the section of the Zoning Ordinance that deals with a particular item. When in doubt, refer to the Zoning Ordinance directly for required information.

For further information, contact Mr. Dennis Dombroski, City Building Official/Zoning Administrator, at (906) 847-4035.

Optional Preliminary Plan Review
Informational Requirements (Section 20.03)

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Sketch drawings showing tentative site plans, property boundaries, placement of structures on the site, and nature of development	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Site Plan Informational
Requirements (Section 20.04, B and C)**

<u>General Information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership. For condominium subdivision project site plans, also include the name and address of the planner, design engineer or surveyor who designed the project layout and any interest he holds in the land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Name and address of the individual or firm preparing the site plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Scale of not greater than one 1 in = 20 ft for a development of not more than three acres and a scale of not less than 1 in = 100 ft for a development in excess of three acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Legend, north arrow, scale, and date of preparation	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Legal description of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Lot lines and general location together with dimensions, angles, and size correlated with the legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Area of the subject parcel of land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Present zoning classification of the subject parcel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Written description of the proposed development operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Written description of the effect, if any, upon adjoining lands and occupants, and any special features which are proposed to relieve any adverse effects to adjoining land and occupants	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Other information pertinent to the proposed development, specifically required by the Zoning Ordinance, and/or as may be determined necessary by the City Planning Commission	<input checked="" type="checkbox"/>	<input type="checkbox"/>

<u>Natural Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
12. Location of natural features such as wood lots, streams, wetlands, unstable soils, bluff lines, rock outcroppings, and similar features (see also Section 4.26)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Topography of the site with at least two- to five-foot contour intervals	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Proposed alterations to topography or other natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Earth-change plans, if any, as required by state law	<input type="checkbox"/>	<input checked="" type="checkbox"/>

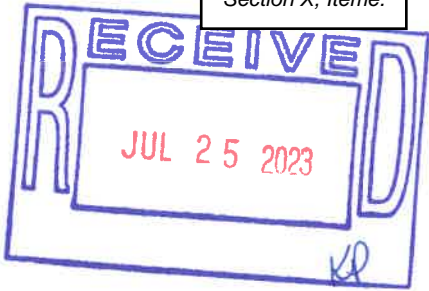
<u>Physical Features</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
16. Location of existing manmade features on the site and within 100 feet of the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Location of existing and proposed principal and accessory buildings, including proposed finished floor and grade line elevations, height of buildings, size of buildings (square footage of floor space), and the relationship of buildings to one another and to any existing structures on the site	<input checked="" type="checkbox"/>	<input type="checkbox"/>

- 18. For multiple family residential development, a density schedule showing the number of dwelling units per acre, including a dwelling schedule showing the unit type and number of each such units
- 19. Existing and proposed streets, driveways, sidewalks and other bicycle or pedestrian circulation features
- 20. Location, size and number of on-site parking areas, service lanes, parking and delivery or loading areas (see also Section 4.16)
- 21. Location, use and size of open spaces together with landscaping, screening, fences, and walls (see also Section 4.09 and Section 4.21)
- 22. Description of Existing and proposed on-site lighting (see also Section 4.27)

<u>Utility information</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
23. Written description of the potential demand for future community services, together with any special features which will assist in satisfying such demand	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed surface water drainage, sanitary sewage disposal, water supply and solid waste storage and disposal (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
25. Location of other existing and proposed utility services (i.e., propane tanks, electrical service, transformers) and utility easements (see also Section 4.13)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
26. Written description and location of stormwater management system to be shown on a grading plan, including pre- and post-site development runoff calculations used for determination of stormwater management, and location and design (slope) of any retention/detention features (see also Section 4.26)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Architectural Review
Informational Requirements (Section 18.05)**

<u>Item</u>	<u>Provided</u>	<u>Not Provided or Applicable</u>
1. Name and address of the applicant or developer, including the names and addresses of any officers of a corporation or partners of a partnership	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Legal description of the property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Drawings, sketches and plans showing the architectural exterior features, heights, appearance, color and texture of the materials of exterior construction and the placement of the structure on the lot, and any additional information determined necessary by the planning commission to determine compliance with the architectural standards (see also Section 18.06)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Photographs of existing site conditions, including site views, existing buildings on the site, streetscape views in all directions, and neighboring buildings within 150 feet of the site.	<input checked="" type="checkbox"/>	<input type="checkbox"/>



Stonecliffe Properties Mercantile Building

Project Description:

This project is proposing to add a 36x24 building to the south-side of The Inn at Stonecliffe property - located between the BBQ Pavilion and Bike Pavilion. This building is similar in size and style to a previously approved building that has been built on the Stonecliffe property.

Description of effect on adjoining lands:

This building will have no effect on any adjoining properties and its location is not encumbered by any easements.

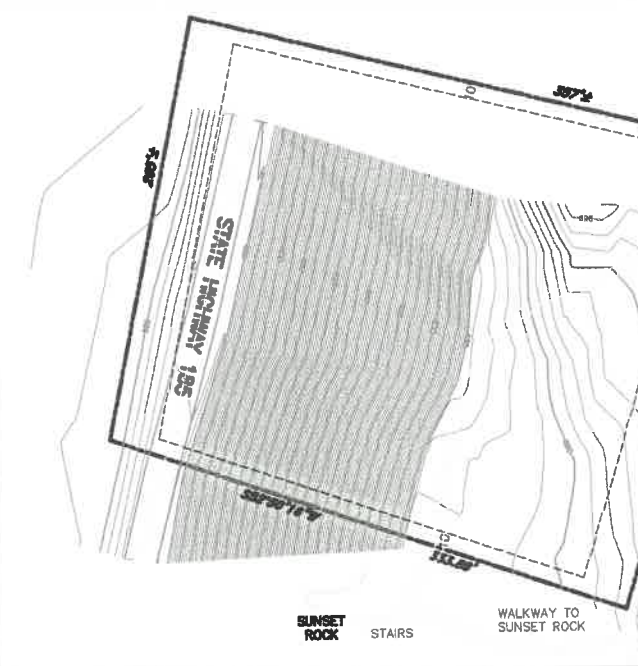
Description of Operations:

This mercantile building will be used to sell sundries, apparel, local art, collectibles, and other merchandise consistent with a typical hotel gift shop. The building will be operated & maintained by the Stonecliffe staff, along with the rest of the property.

File No. 4B23-007-055
Exhibit B
Date 7-25-23
Initials RP

FOUNDATION COTTAGES LOT LEGAL DESCRIPTION:

PRIVATE CLAIM NO.2 COM AT THE NE'LY COR OF PC 2 TH S 32 DEG 51'45"W 4020.8 FT ALG SE'LY LINE OF PC 2 TO THE POB TH N 40 DEG 40'50"W 130.0 FT TH N 14 DEG 18'18"E 257.95 FT M/L TO S'LY LINE OF STONECLIFFE CONDO W TH E'LY AND W'LY ALG CONDO BOUNDARY TO THE N LINE OF AN EASEMENT (282/163) TH E'LY ALG N LINE OF SAID EASEMENT TO THE E'LY LINE OF PC 2 WITH SAID POINT BEING S 32 DEG 51'45"W 3523.82 FT FROM THE NE'LY COR OF PC 2 TH S 32 DEG 51'45"W 200.0 FT M/L ALG SE'LY LINE OF PC 2 TO THE N LINE OF A PARCEL DESC IN 400 TH N 87 DEG 32'W 85.75 FT TH S 02 DEG 28'W TO SE'LY LINE OF PC 2 TH S 32 DEG 51'45"W ALG SE'LY LINE TO THE POB. PART OF PC 2.



TOPOGRAPHIC MAP INFORMATION PROVIDED BY PORTER'S SURVEY, P.C., CHANNAY, MI. CITY BENCH ELEVATION LOOPED IN FROM THE SOUTHEAST CORNER TOP OF CONCRETE WALL OF THE ABUTMENT BASIN #2 OF THE WASTEWATER PLANT ELEVATION = 738.00'. NOTE: ALL UTILITIES ARE APPROXIMATE AND NOT FIELD VERIFIED.

STONECLIFFE LEGAL DESCRIPTION:

COMMENCING AT THE NORTHEAST CORNER OF PRIVATE CLAIM NO.3; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PRIVATE CLAIM S 33°21'17" W 1188.02' TO A MONUMENT BY THE GATE OF STONECLIFFE; THENCE CONTINUING ON THE EASTERLY LINE OF SAID PRIVATE CLAIM BEING THE SOUTHEASTERLY LINE OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472 AND LIBER 412, PAGE 473 MACKINAC COUNTY RECORDS S 33°03'19" W 136.97' TO THE POINT OF BEGINNING; THENCE ALONG THE SOUTHEASTERLY LINE OF PRIVATE CLAIM NO.3, S 33°03'19" W 674.97' THENCE N 57°15'00" W 150.00'; THENCE N 67°59'24" W 298.94'; THENCE S 78°32'09" W 184.57'; THENCE N 39°36'27" W 63.13' TO THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3; THENCE ALONG SAID PRIVATE CLAIM LINE N 32°55'00" E 113.87' TO THE WESTERLY LINE OF CONDO NO.1, AS RECORDED IN LIBER 284, PAGE 602, MACKINAC COUNTY RECORDS; THENCE ALONG THE WEST LINE OF SAID CONDO NO.1, S 02°56'12" W 11.34' TO THE SOUTH LINE OF SAID CONDO NO.1; THENCE ALONG THE SOUTH LINE OF SAID CONDO NO.1, S 87°03'39" E 93.75' TO THE SOUTHEASTERLY CORNER OF CONDO NO.1; THENCE ALONG THE EASTERLY LINE OF SAID CONDO NO.1, N 02°56'23" E 160.00' TO THE NORTHEASTERLY CORNER OF SAID CONDO NO.1; THENCE ALONG THE NORTH LINE OF SAID CONDO. NO.1, N 87°03'19" W 8.00' TO THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3; THENCE ALONG THE NORTHWESTERLY LINE OF PRIVATE CLAIM NO.3, N 32°55'00" E 242.45' TO THE SOUTHWESTERLY LINE OF A PARCEL DESCRIBED IN LIBER 260, PAGE 204 AND LIBER 260, PAGE 229, MACKINAC COUNTY RECORDS; THENCE ALONG SAID SOUTHWESTERLY LINE S 57°05'38" E 80.00' TO THE SOUTHEASTERLY CORNER OF SAID PARCEL; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID PARCEL N 32°55'00" E 60.01' TO THE NORTHEASTLY CORNER OF SAID PARCEL; THENCE S 57°05'38" E 73.24'; THENCE N 60°14'04" E 22.74'; THENCE N 22°15'51" E 53.51'; THENCE N 20°12'58" E 51.33'; THENCE N 29°47'45" E 60.40'; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 400.00', A DELTA OF 33°28'53", AN ARC LENGTH OF 233.52' AND A CHORD WHICH BEARS N 59°02'27" E 230.21'; THENCE S 83°08'17" E 48.30' TO THE NORTHERLY LINE OF A 20' WIDE PRIVATE EASEMENT RECORDED LIBER 454, PAGES 366-369, MACKINAC COUNTY RECORDS; THENCE S 57°35'45" E 191.19' ALONG THE NORTH LINE OF SAID EASEMENT; THENCE S 33°03'20" W 20.00' TO THE NORTHWESTERLY CORNER OF A PARCEL DESCRIBED IN LIBER 412, PAGE 472, AND LIBER 412, PAGE 473, MACKINAC COUNTY RECORDS; THENCE ALONG THE NORTHWESTERLY LINE OF SAID PARCEL S 33°03'19" W 152.25' TO THE SOUTHWESTERLY CORNER OF SAID DESCRIBED PARCEL; THENCE ALONG THE SOUTHWESTERLY LINE OF SAID PARCEL S 57°15'00" E 150.00' TO THE POINT OF BEGINNING, CONTAINING 10.32 ACRES, BEING SUBJECT TO ALL EASEMENTS OF RECORD, IF ANY, ALL BEING A PART OF PRIVATE CLAIM NO.3, T40N, R3W, CITY OF MACKINAC ISLAND, MACKINAC COUNTY, MICHIGAN.

STONECLIFFE SITE PLAN NOTES:

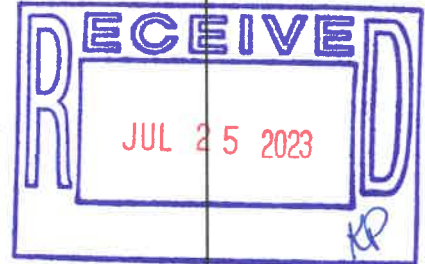
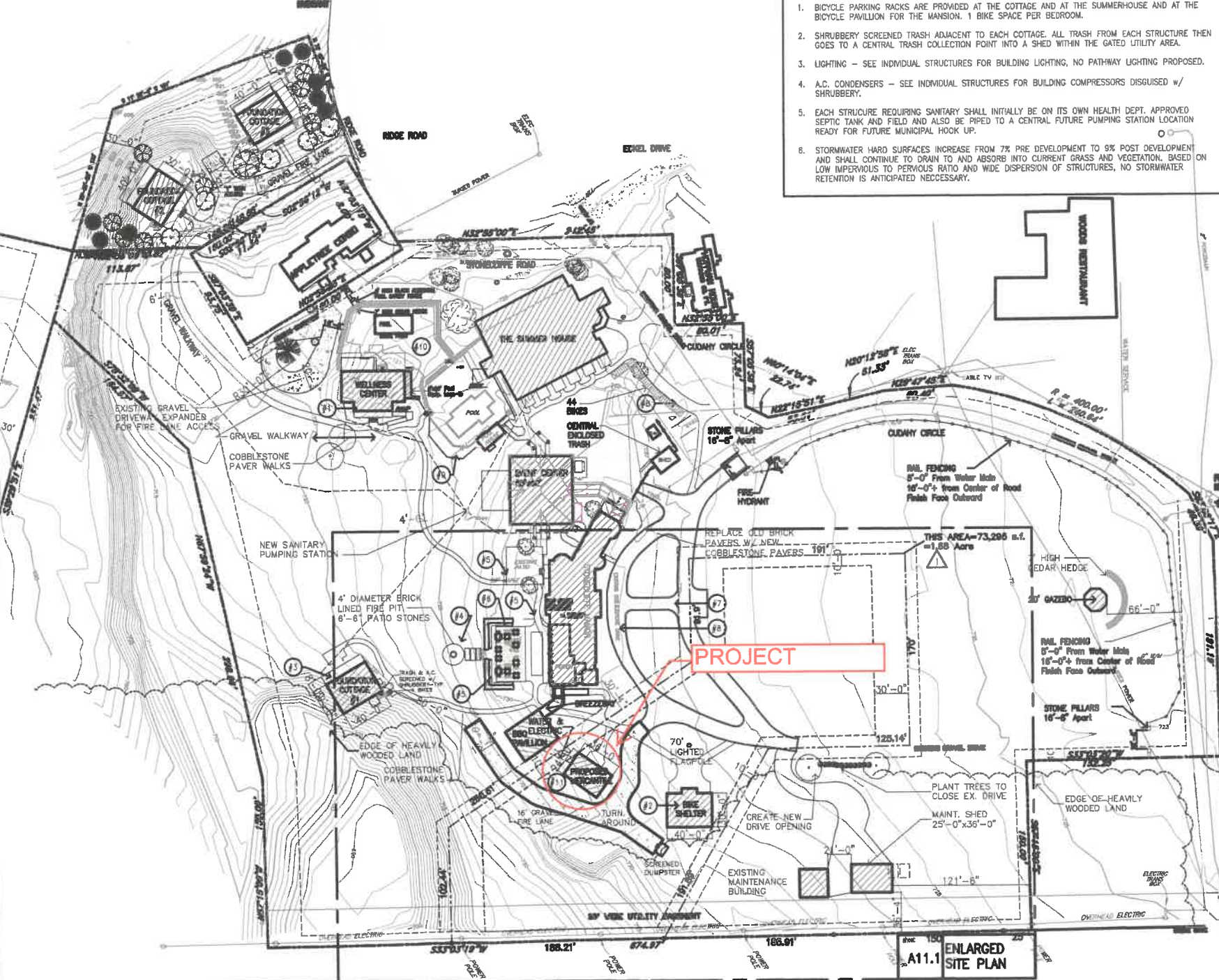
- 1. PROPERTY ZONED HB HOTEL BOARDINGHOUSE.
2. MINIMUM LOT SIZE REQUIREMENTS: AREA SHALL NOT BE LESS THAN 7500 SQ. FT. W/ A MIN. WIDTH OF 60' AT THE BUILDING LINE.
3. ACTUAL LOT SIZE = 8.64 AC (376,358 SF) LARGE PARCEL + 1.68 AC (73,181 SF) SMALL PARCEL = 10.32 AC (449,539 S.F.).
4. MINIMUM SETBACK REQUIREMENTS: FRONT = 30 FEET, SIDE = 10 FEET, REAR = 30 FEET.
5. NO BUILDING SHALL EXCEED 40 FEET OR 3 1/2 STORIES IN HEIGHT.
6. MAXIMUM LOT COVERAGE IS 40%.
7. ACTUAL LOT COVERAGE OF LARGE PARCEL IS 15.7% = 58,820 S.F. = ALL BUILDINGS, PATIOS, COBBLES, PATHS, WALKS, DRIVES. (NO CHANGE TO LARGE LOT FROM PREVIOUS SUBMISSIONS)
8. ACTUAL LOT COVERAGE OF SMALL INTERIOR PARCEL IS 11.8% = 8,432, AN INCREASE OF 768 S.F.
9. HOTEL UNITS:
7.1. THE MANSION - 16 EXISTING HOTEL ROOMS
7.2. THE SUMMERHOUSE - 31 EXISTING HOTEL ROOMS
7.3. THE FOUNDATION COTTAGE - SINGLE FAMILY UNIT OR 1 HOTEL GUEST ROOM
7.4. 16+31+1 = 48 TOTAL GUESTROOMS INCLUDING THE COTTAGE.
10. ALLOWABLE AND ACTUAL DENSITIES:
-HOTELS: ALLOWABLE = 60 BEDROOMS PER ACRE = 60 x 8.64 ACRES = 518 ALLOWED.
-HOTEL USE = 47-50 ACTUAL = 10% OF SITE UTILIZED AS HOTEL USE. THUS 90% OF SITE AVAILABLE FOR RESIDENTIAL USE.
-DWELLING UNITS ALLOWED = 20 DWELLING UNITS PER ACRE x (8.64 ACRES x 90%) = 155 ALLOWED, 1 PROPOSED.
11. AT LEAST 1 BICYCLE SPACE PER BEDROOM IS PROVIDED.

SITE NOTES:

- 1. BICYCLE PARKING RACKS ARE PROVIDED AT THE COTTAGE AND AT THE SUMMERHOUSE AND AT THE BICYCLE PAVILION FOR THE MANSION. 1 BIKE SPACE PER BEDROOM.
2. SHRUBBERY SCREENED TRASH ADJACENT TO EACH COTTAGE. ALL TRASH FROM EACH STRUCTURE THEN GOES TO A CENTRAL TRASH COLLECTION POINT INTO A SHED WITHIN THE GATED UTILITY AREA.
3. LIGHTING - SEE INDIVIDUAL STRUCTURES FOR BUILDING LIGHTING, NO PATHWAY LIGHTING PROPOSED.
4. A.C. CONDENSERS - SEE INDIVIDUAL STRUCTURES FOR BUILDING COMPRESSORS DISGUISED W/ SHRUBBERY.
5. EACH STRUCTURE REQUIRING SANITARY SHALL INITIALLY BE ON ITS OWN HEALTH DEPT. APPROVED SEPTIC TANK AND FIELD AND ALSO BE PIPED TO A CENTRAL FUTURE PUMPING STATION LOCATION READY FOR FUTURE MUNICIPAL HOOK UP.
6. STORMWATER HARD SURFACES INCREASE FROM 7% PRE DEVELOPMENT TO 9% POST DEVELOPMENT AND SHALL CONTINUE TO DRAIN TO AND ABSORB INTO CURRENT GRASS AND VEGETATION. BASED ON LOW IMPERVIOUS TO PERVIOUS RATIO AND WIDE DISPERSION OF STRUCTURES, NO STORMWATER RETENTION IS ANTICIPATED NECESSARY.

LEGEND:

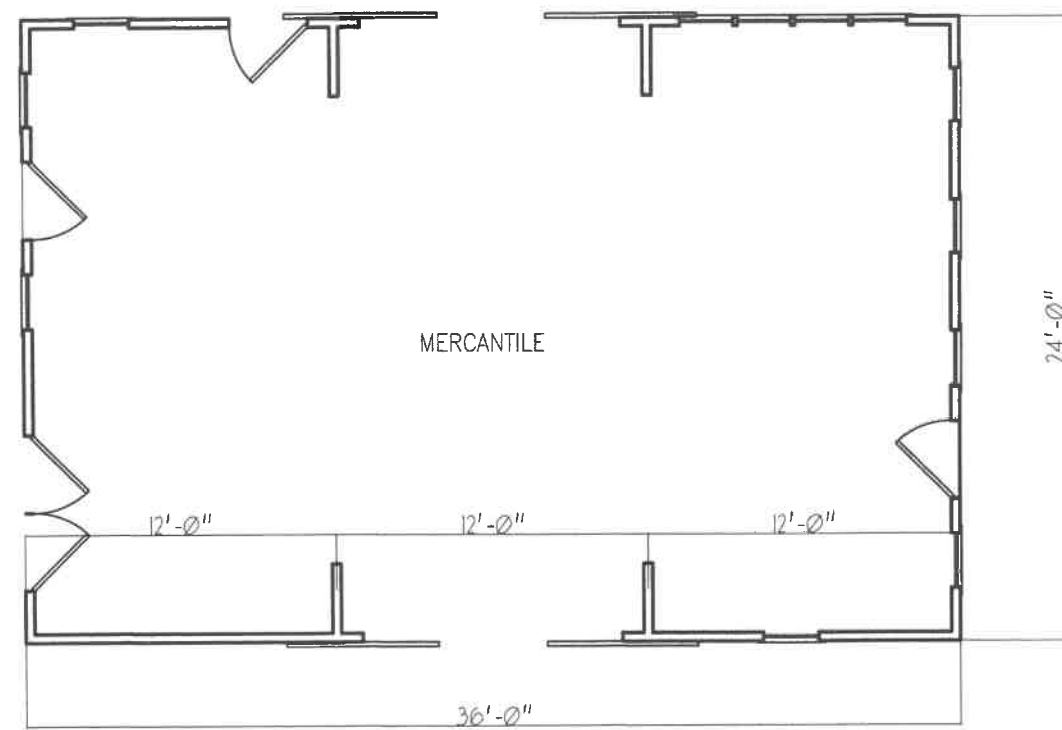
- KEY: = [Symbol]
1. ADDITION OF A WELLNESS CENTER BUILDING WHICH INCLUDES AN EXERCISE ROOM WITH HIS & HERS LOCKERS AND BATHROOMS.
2. ADDITION OF A BICYCLE SHELTER.
3. ADDITION OF A FOUNDATION COTTAGE #1.
4. ADDITION OF A PATIO WITH 4'X4' FIRE PIT AREA.
5. CHANGE OUT REAR PAVER WALKWAYS & PATIOS WITH NEW COBBLESTONE PAVERS.
6. ADD A SMALL WATER FEATURE FOUNTAIN TO THE EXISTING PATIO AREA OFF OF THE REAR COVERED LANA.
7. ADDITION OF A SECONDARY COBBLESTONE PAVER ARRIVAL LOOP FOR HORSE AND CARRIAGE TRAFFIC.
8. REPLACE THE OLD PAVER DRIVE & WALKWAYS TO SUMMERHOUSE WITH NEW COBBLESTONE PAVERS.
9. CUT BACK EXISTING POOL PATIO BY 12'. MOVE BACK PATIO DECK FENCE 12' WITH NEW ALUMINUM 4" HIGH BRONZE COLOR POOL FENCE.
10. OUTDOOR POOL AT WELLNESS CENTER & MISC. LANDSCAPE FEATURES.
11. PROPOSED MERCANTILE BUILDING.



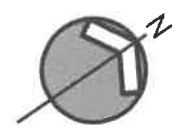
ENLARGED SITE PLAN A11.1

File No. HB23.007.055
Exhibit C
Date 7.25.23
Initials KP

Richard Clements Architect, PLLC
15215 Merry Lane
Oshtemo, MI 49759
richard@rca2.com 980.370.3681
THE INN AT STONECLIFFE MERCANTILE PROJECT
8503 CUDAHY CIRCLE MACKINAC ISLAND, MI
date: July 22, 2023 sheet
project 2131 A11.0
SITE PLAN



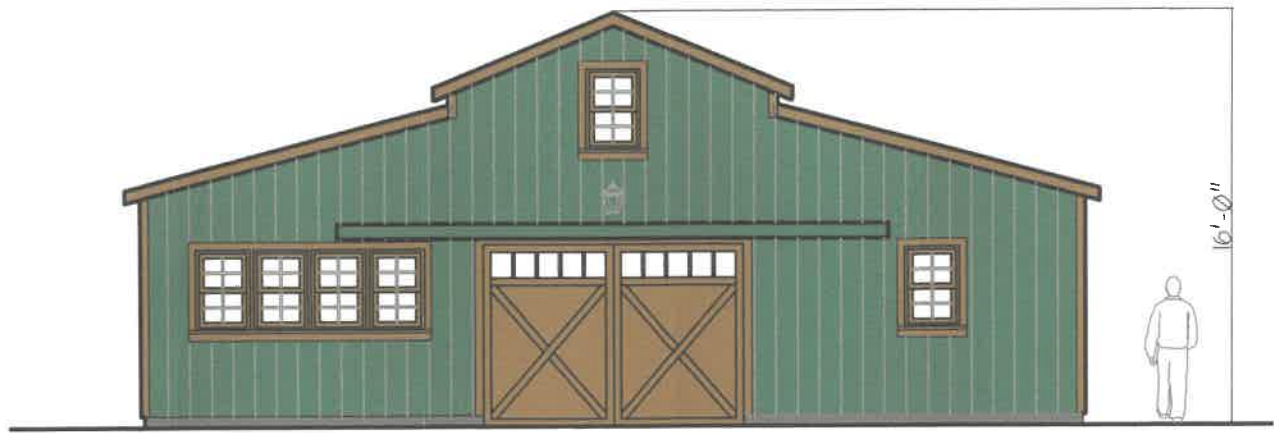
FLOOR PLAN



Richard Clements Architect, PLLC 13215 Merry Lane Oshtemo, MI 49759 richardlee1523@live.com 989-370-3681	THE INN AT STONECLIFFE MERCANTILE PROJECT	date: July 22, 2023 project: 2131	sheet: A11.2
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LEFT ELEVATION



FRONT ELEVATION

BROWN ASPHALT DIMENSIONAL SHINGLES TO MATCH MAINTENANCE BUILDING ON SITE.

GREEN SMARTSIDE SIDING & TRIMS
BROWN TRIM

BROWN WOOD/CLAD WINDOWS W/ 60% GLASS TRANSMITTANCE

BROWN CEDAR WOOD DOORS

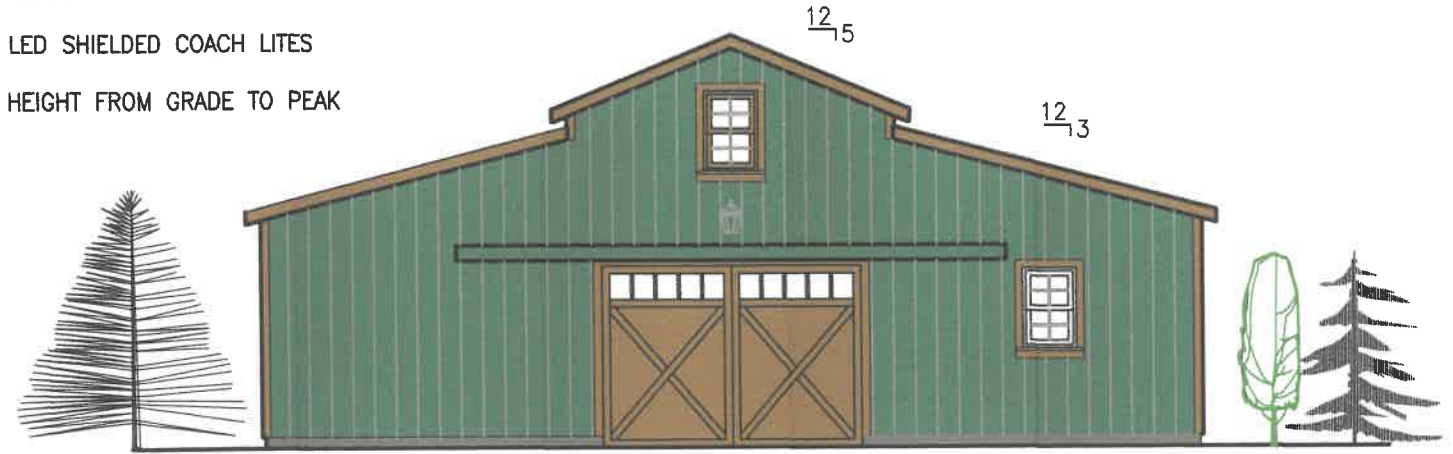
PAINTED CONCRETE WHERE EXPOSED

7-15W LED SHIELDED COACH LITES

16'-0" HEIGHT FROM GRADE TO PEAK



RIGHT ELEVATION



REAR ELEVATION

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Mercantile Building to be placed 20' from BBQ pavillion and 50' from Bike pavillion.

Mercantile Building to be approximately at red box.

Richard Clements Architect, PLLC 15215 Merry Lane Ocqueoc, MI 49759 <small>richardlee1523@live.com 989-370-3681</small>	THE INN AT STONECLIFFE MERCANTILE PROJECT	date: July 22, 2023 project: 2131	sheet: A11.4 <small>COPYRIGHT © 2023</small>
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