



TOWN OF PAONIA
215 GRAND AVENUE
WEDNESDAY, AUGUST 07, 2024
PLANNING COMMISSION MEETING AGENDA 6:30 PM
[HTTPS://US02WEB.ZOOM.US/J/89201383836](https://us02web.zoom.us/j/89201383836)
MEETING ID: 892 0138 3836

Roll Call

Approval of Agenda

Approval of Minutes

Actions & Presentations

1. Public Hearing

Special Use Review for The Hearth, Located at 138 Grand Avenue, Operated by The Learning Council, to Allow Commercial Recreation Use.

2. Public Hearing

Special Use Review for the Property Located at 325 Grand Avenue, Operated by Lori Hunter, to Allow Dwelling Units as Part of a Business Use.

Adjournment

I. RULES OF PROCEDURE

Section 1. Schedule of Meetings. Regular Board of Trustees meetings shall be held on the second and fourth Tuesdays of each month, except on legal holidays, or as re-scheduled or amended and posted on the agenda prior to the scheduled meeting.

Section 2. Officiating Officer. The meetings of the Board of Trustees shall be conducted by the Mayor or, in the Mayor's absence, the Mayor Pro-Tem. The Town Clerk or a designee of the Board shall record the minutes of the meetings.

Section 3. Time of Meetings. Regular meetings of the Board of Trustees shall begin at 6:30 p.m. or as scheduled and posted on the agenda. Board Members shall be called to order by the Mayor. The meetings shall open with the presiding officer leading the Board in the Pledge of Allegiance. The Town Clerk shall then proceed to call the roll, note the absences and announce whether a quorum is present. Regular Meetings are scheduled for three hours, and shall be adjourned at 9:30 p.m., unless a majority of the Board votes in the affirmative to extend the meeting, by a specific amount of time.

Section 4. Schedule of Business. If a quorum is present, the Board of Trustees shall proceed with the business before it, which shall be conducted in the following manner. Note that all provided times are estimated:

- (a) Roll Call - (5 minutes)
- (b) Approval of Agenda - (5 minutes)
- (c) Announcements (5 minutes)
- (d) Recognition of Visitors and Guests (10 minutes)
- (e) Consent Agenda including Approval of Prior Meeting Minutes (10 minutes)
- (f) Mayor's Report (10 minutes)
- (g) Staff Reports: (15 minutes)
 - (1) Town Administrator's Report
 - (2) Public Works Reports
 - (3) Police Report
 - (4) Treasurer Report
- (h) Unfinished Business (45 minutes)
- (i) New Business (45 minutes)
- (j) Disbursements (15 minutes)
- (k) Committee Reports (15 minutes)
- (l) Adjournment

* This schedule of business is subject to change and amendment.

Section 5. Priority and Order of Business. Questions relative to the priority of business and order shall be decided by the Mayor without debate, subject in all cases to an appeal to the Board of Trustees.

Section 6. Conduct of Board Members. Town Board Members shall treat other Board Members and the public in a civil and polite manner and shall comply with the Standards of Conduct for Elected Officials of the Town. Board Members shall address Town Staff and the Mayor by his/her title, other Board Members by the title of Trustee or the appropriate honorific (i.e.: Mr., Mrs. or Ms.), and members of the public by the appropriate honorific. Subject to the Mayor's discretion, Board Members shall be limited to speaking two times when debating an item on the agenda. Making a motion, asking a question or making a suggestion are not counted as speaking in a debate.

Section 7. Presentations to the Board. Items on the agenda presented by individuals, businesses or other organizations shall be given up to 5 minutes to make a presentation. On certain issues, presenters may be given more time, as determined by the Mayor and Town Staff. After the presentation, Trustees shall be given the opportunity to ask questions.

Section 8. Public Comment. After discussion of an agenda item by the Board of Trustees has concluded, the Mayor shall open the floor for comment from members of the public, who shall be allowed the opportunity to comment or ask questions on the agenda item. Each member of the public wishing to address the Town Board shall be recognized by the presiding officer before speaking. Members of the public shall speak from the podium, stating their name, the address of their residence and any group they are representing prior to making comment or asking a question. Comments shall be directed to the Mayor or presiding officer, not to an individual Trustee or Town employee. Comments or questions should be confined to the agenda item or issue(s) under discussion. The speaker should offer factual information and refrain from obscene language and personal attacks.

Section 9. Unacceptable Behavior. Disruptive behavior shall result in expulsion from the meeting.

Section 10. Posting of Rules of Procedure for Paonia Board of Trustees Meetings. These rules of procedure shall be provided in the Town Hall meeting room for each Board of Trustees meeting so that all attendees know how the meeting will be conducted.

II. CONSENT AGENDA

Section 1. Use of Consent Agenda. The Mayor, working with Town Staff, shall place items on the Consent Agenda. By using a Consent Agenda, the Board has consented to the consideration of certain items as a group under one motion. Should a Consent Agenda be used at a meeting, an appropriate amount of discussion time will be allowed to review any item upon request.

Section 2. General Guidelines. Items for consent are those which usually do not require discussion or explanation prior to action by the Board, are non-controversial and/or similar in content, or are those items which have already been discussed or explained and do not require further discussion or explanation. Such agenda items may include ministerial tasks such as, but not limited to, approval of previous meeting minutes, approval of staff reports, addressing routine correspondence, approval of liquor licenses renewals and approval or extension of other Town licenses. Minor changes in the minutes such as non-material Scribner errors may be made without removing the minutes from the Consent Agenda. Should any Trustee feel there is a material error in the minutes, they should request the minutes be removed from the Consent Agenda for Board discussion.

Section 3. Removal of Item from Consent Agenda. One or more items may be removed from the Consent Agenda by a timely request of any Trustee. A request is timely if made prior to the vote on the Consent Agenda. The request does not require a second or a vote by the Board. An item removed from the Consent Agenda will then be discussed and acted on separately either immediately following the consideration of the Consent Agenda or placed later on the agenda, at the discretion of the Board.

III. EXECUTIVE SESSION

Section 1. An executive session may only be called at a regular or special Board meeting where official action may be taken by the Board, not at a work session of the Board. To convene an executive session, the Board shall announce to the public in the open meeting the topic to be discussed in the executive session, including specific citation to the statute authorizing the Board to meet in an executive session and identifying the particular matter to be discussed “in as much detail as possible without compromising the purpose for which the executive session is authorized.” In the event the Board plans to discuss more than one of the authorized topics in the executive session, each should be announced, cited and described. Following the announcement of the intent to convene an executive session, a motion must then be made and seconded. In order to go into executive session, there must be the affirmative vote of two thirds (2/3) of Members of the Board.

Section 2. During executive session, minutes or notes of the deliberations should not be taken. Since meeting minutes are subject to inspection under the Colorado Open Records Act, the keeping of minutes would defeat the private nature of executive session. In addition, the deliberations carried out during executive session should not be discussed outside of that session or with individuals not participating in the session. The contents of an executive session are to remain confidential unless a majority of the Trustees vote to disclose the contents of the executive session.

Section 3. Once the deliberations have taken place in executive session, the Board should reconvene in regular session to take any formal action decided upon during the executive session. If you have questions regarding the wording of the motion or whether any other information should be disclosed on the record, it is essential for you to consult with the Town Attorney on these matters.

IV. SUBJECT TO AMENDMENT

Section 1. Deviations. The Board may deviate from the procedures set forth in this Resolution, if, in its sole discretion, such deviation is necessary under the circumstances.

Section 2. Amendment. The Board may amend these Rules of Procedures Policy from time to time.

Minutes
Planning Commission Meeting
Town of Paonia, Colorado
May 01, 2024

RECORD OF PROCEEDINGS

Roll Call

PRESENT

Commissioner Lyn Howe
Commissioner Suzanne Watson
Commissioner Paige Smith
Commissioner Bill Brunner
Commissioner Peter McCarthy

Appointment of Officers

Town Administrator Wynn starts by reading the legal opinion from Kelly PC, Town Attorney firm, regarding appointment of officers.

Commissioner McCarthy makes a motion, seconded by Commissioner Brunner, to appoint Commissioner Watson as Chair.

The motion carries unanimously.

Chair Watson makes a motion, seconded by Commissioner Brunner, to appoint Commissioner Howe as Vice-Chair.

The motion carries unanimously.

Commissioner Smith makes a motion, seconded by Commissioner McCarthy, to appoint Deputy Clerk Ruben Santiago as Secretary.

The motion carries unanimously.

Approval of Agenda

Commissioner Smith makes a motion, seconded by Commissioner McCarthy, to approve the agenda.

The motion carries unanimously.

Approval of Minutes

April 3, 2024, Planning Commission Minutes

Vice-Chair Howe makes a motion, seconded by Commissioner Smith, to approve the April 3, 2024, meeting minutes with the correction to the spelling of 'Paonia' on page 4.

Voting Aye:

Chair Watson

Vice-Chair Howe

Commissioner McCarthy

Commissioner Smith

Voting Nay:

Commissioner Brunner

Actions & Presentations

1. Public Hearing

Presentation of the draft element portion of the Comprehensive Plan – Transportation; Parks & Recreation Trails and Urban Forest.

This is a presentation only, no action will be taken on this item.

Chair Watson opens the Public Hearing at 6:00PM

Marrison Mommaerts, of Phoenix Rising Resources LLC, starts presentation specific to Transportation, Trees (Urban Forest), Parks, Recreation & Trails visions, Values, and Policies. Advises May 15th as when the next set of comments are due for these elements.

Commissioner Brunner makes a motion, seconded by Commissioner Smith, to have each section presented and then discussed after each rather than after the entire presentation.

Motion carries unanimously.

The Planning Commission discussed the Comprehensive Plan, emphasizing the importance of caring for the town's urban forest and partnership between the town and property owners in maintaining and enhancing parks and recreational amenities. The commissioners also discussed transportation and mobility in the community, highlighting the need for multimodal transportation and accessible routes, and reviewed and refined the comprehensive plan, focusing on action items, budget considerations, and public engagement.

Commissioner Watson closes the Public Hearing at 7:40PM

2. Public Hearing

Consideration of a recommendation to the Board of Trustees, of a variance for the parking minimums of the Paonia Municipal Code for The Learning Council, for the use of The Hearth at the property located at 138 Grand Avenue.

Chair Watson opens the Public Hearing at 7:48PM.

There is no applicant presentation.

Town Administrator Wynn provides a staff report indicating that the application received as a Variance when it should have been a Special Review with a Public Hearing. The staff report requests tabling the hearing until applicant has met all requirements and addressed concerns regarding parking, traffic, and Fire Marshal's approval.

Public Comment:

Mitch Morgan, Paonia Farm and Home, questions applicant's application and need for needing public input.

Chair Watson closes the Public Hearing at 8:00PM

Commissioner Brunner makes a motion to deny this request due to being complete and not explained how it is appropriate.

Motion dies from lack of a second.

Commissioner Smith makes a motion, seconded by Vice-Chair Howe, to remand back to staff for a Special Review of the Hearth as Community Recreational.

There is a brief discussion among Commissioners regarding updating forms, various options, timeframe, and staff time.

The motion carries unanimously.

Adjournment

Chair Watson adjourns the meeting at 8:17PM

Ruben Santiago, Deputy Clerk

Suzanne Watson, Chair



SPECIAL REVIEW/VARIANCE APPLICATION

Name The Learning Council Application Date 10/23/2023
Property Address 138 J Grand Ave ZBOA Hearing Date _____
Telephone Number 970-433-5882 Council Hearing Date _____

11.01 Intent. Each established zoning district is intended for a specific type or category of land use (e.g., single family dwelling in an R-1 district). However, there are certain uses, which may or may not be appropriate in a district depending on the situation. For example, the location, nature of the proposed use, character of the surrounding area, traffic capacities of adjacent streets, and potential environmental effects all may dictate that the circumstances of the development should be individually reviewed. The special review process is established to provide for these specific uses without establishing numerous separate zoning classifications. It is the intent of this chapter to provide a review of such uses so that the community is assured that the proposed uses are compatible with the location and surrounding land uses.

11.02: When Allowed. Within each zoning district, certain land uses are permitted by right, by special review or prohibited. Special review uses may be permitted in designated districts upon review by the Planning and Zoning Commission and approval by the Town Board.

11.03: Site Plan and Supporting Documents. There shall be filed with each special review application a site plan drawn to scale and an appropriate number of copies as determined by the Town Manager. The site plan shall be drawn in black ink on Mylar. Following approval by the Town Board the applicant shall submit a reproducible copy of the original site plan to the Town for the Town's permanent records.

The special review application shall include the following:

- The site plan showing the location of all buildings, structures and other improvements to be placed on the real property. A building envelope may be used in lieu of showing the exact building or structure location to allow for minor variations in the location. *Site plan*
- A legal description of the property, which may require a survey. *Blue print*
- A list of the names and addresses of all property owners within 200 ft. of the property.
- All off-street parking and loading areas. *Site plan*
- The location of all ways for ingress and egress to all buildings, and parking areas. *Site plan*
- Service and refuse collection areas. *Site plan*
- Major screening proposals.
- The size, shape, height and character of all signs. *site plan Attachment (Sign application)*
- The area and location of all open space and recreation areas. *site plan*
- The location and type of outdoor lighting. *site plan attachments*
- The character and type of landscaping to be provided. The landscaping shall be indicated in tabular form showing the type of plant material, minimum size and quantity. The approximate location of landscaping shall be indicated on the site plan. *Site plan*
- The anticipated timetable for completion. If the project is to be completed in phases, then the data for completion of each phase shall be indicated.

- All owners and lien-holders of the property shall sign the following agreement that will be placed on the original special review site plan.
- Home Owner's association Written plan approval (if applicable)

The undersigned agree that the real property described on the site plan shall be developed only in accordance with the approved special review site plan and other provisions of the zoning regulations of the Town of Paonia.

I. Site Plan

Any application for Special Review/Variance that includes a new structure or improvement to an existing structure will require a site plan. Plans may be hand drawn, but must be clearly written with accurate measurements indicated. The Site Plan may be submitted as two separate drawings or one drawing with an overlay.

II. Project Summary

Please answer only the questions that apply to your Special Review/Variance request. Any additional information, which would be beneficial in the consideration, may be noted in the "Comments" section.

- a. Reason for Special Review/Variance Parking Requirements exceed what we have
- b. Current Zoning of Property C-1
- c. What land boundary changes are necessary? Parking variance
- d. What addition/changes to existing buildings/structures will be made? Reference Building Permit 403900
- e. What new buildings/structures will be constructed? Reference Building Permit 403900
- f. What additions/changes in utilities will be necessary? Include water, sewer, gas, and electric. Reference Building Permit 403900
- g. Will property have Commercial/Private or Public Use? All of the above uses
- h. Anticipated traffic flow and volume? Regularly less than 20. For special events 2-8x's per year up to 200 people.

- i. Detail the Safety and Disabled Access accommodations? RAMP @ Rear Entrance, 1 ADA Bathroom,
- j. Detail the possible environmental impact; such as noise, lighting glare, pollutants, etc. NA

Comments: _____

III. Public Notice Requirements

All property owners within 200 feet of the property being reviewed shall be notified via certified mail of a public hearing whereby the Zoning Board of Adjustments shall consider this application. It is incumbent upon the applicant to request the names of the property owners from the Delta County GIS Department (970-874-2119). Please have the GIS e-mail the information to **StefenW@townofpaonia.com**. Applications for Special Review shall be filed at least 30 days in advance of the meeting at which they are to be considered by the Zoning Board of Adjustments. Incomplete applications shall result in denial of application acceptance and returned for completion, consequentially delaying hearings.

IV. Acknowledgement to Pay Fees

This application must be completed and a fee of **\$250.00** is assessed to include preliminary costs of administrative services and initial correspondence. Additional charges will be invoiced for, publication and certified mailings to property owners within 200 feet of said property.

Payment must accompany this application.

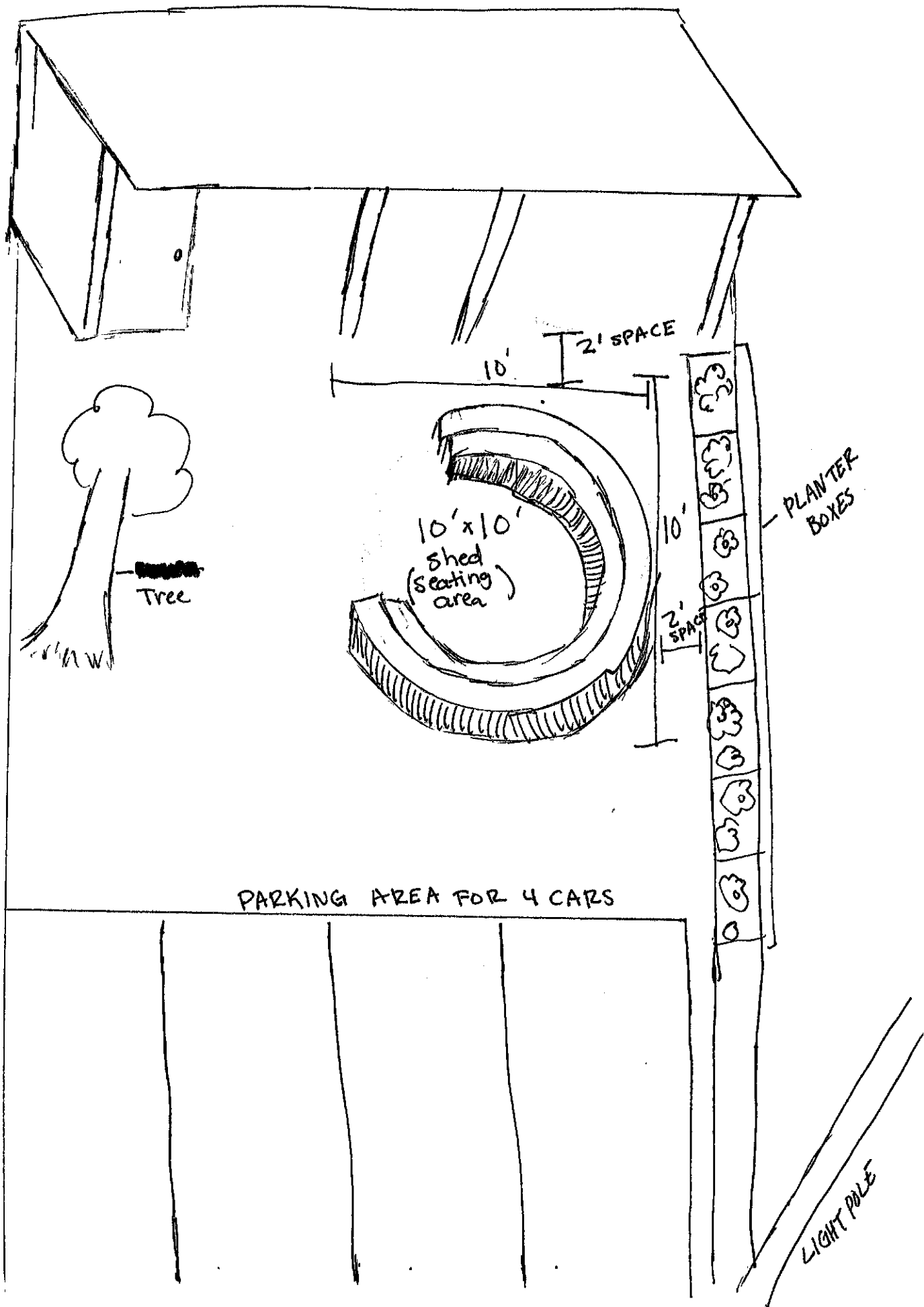
FEES PAID HEREUNDER ARE NON-REFUNDABLE UPON SIGNING

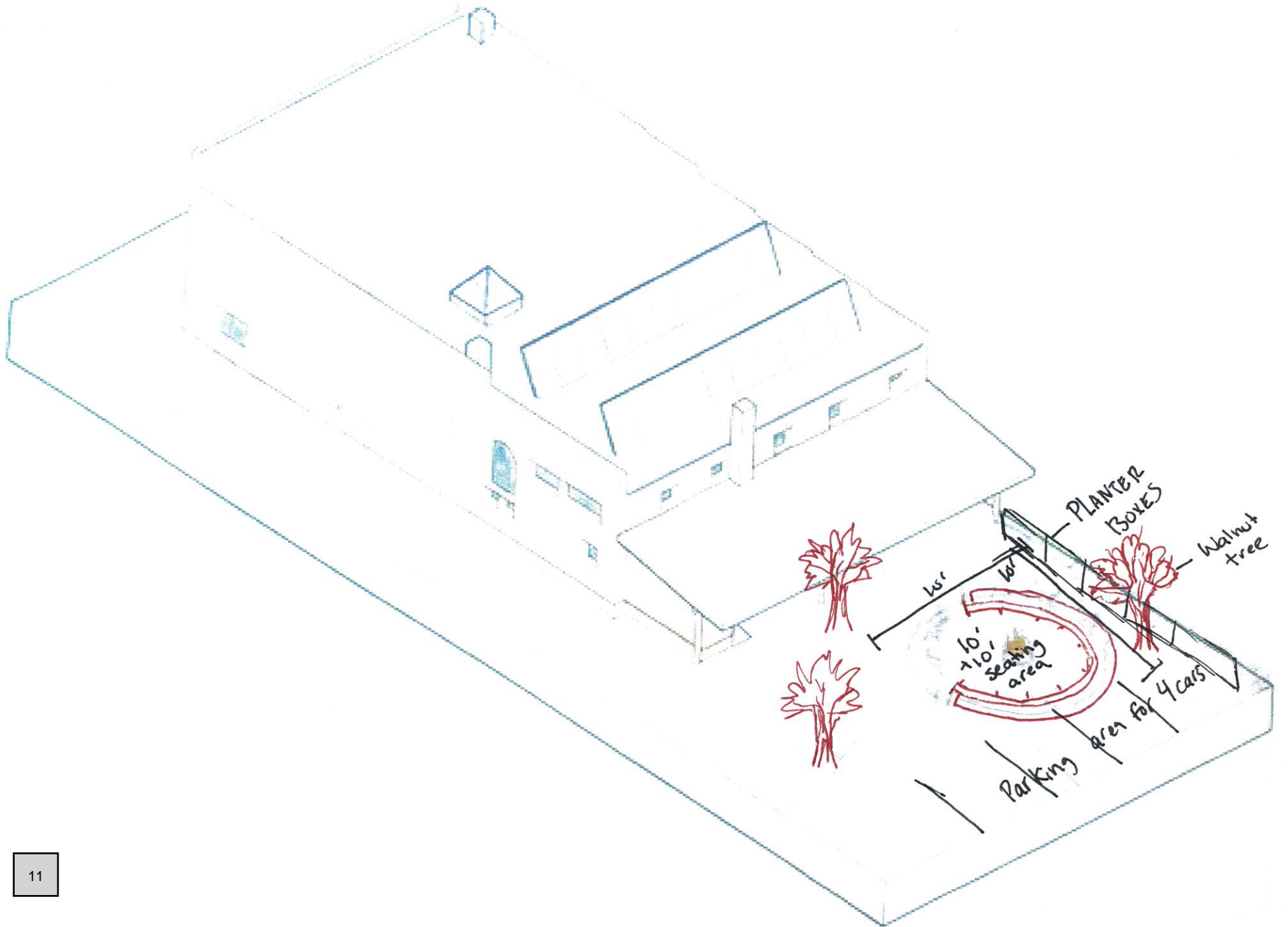
By signing below, I acknowledge that I will be billed for any overages of costs incurred for this Special Review/Variance. I am aware that upon acceptance of the Special Review/Variance by the Planning and Zoning Commission, a building permit must be applied and approved by the Building Inspector, if applicable.

SIGNED Alicia Michelsen

PRINTED NAME Alicia Michelsen DATE: 10/30/2023

Clerks Acceptance _____ DATE _____





REVIEWED
FOR CODE
COMPLIANCE

05/18/2022 5:25:39 PM



StudioMW
DESIGN + PLANNING

www.studiomw.com
130 Grand Ave., P.O. Box 1067
Paoia, CO 81059
303-910-8827
www.studiomw.com

NOTES
Any conditions required for the best of the drawings or specifications are to be checked with the Designer before construction. Key dimensions in dimensions or feet conditions in no way constitute a warranty of the Designer's liability for the design of the work. Failure to verify conditions of the site and/or other conditions of the site prior to construction shall constitute an assumption of responsibility. Changes made to the project, drawings or specifications, without the consent of the Designer are prohibited. This is a preliminary drawing. Use of this drawing for construction is prohibited. Designer's Office: 130 Grand Ave., Paoia, CO 81059

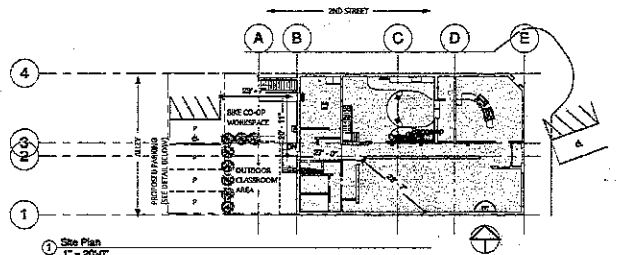
REVISIONS:

THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

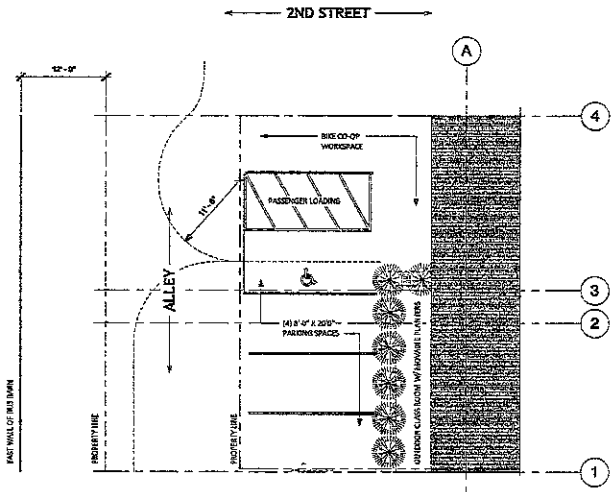
Project Number	Project Number
Drawn by	May 17, 2022
Checked by	Actor
	Checker

L1.0
SITE PLAN

Scale: As Indicated
Max Plot scale Printed @ 85% on 11x17"



1 Site Plan
1" = 20'-0"

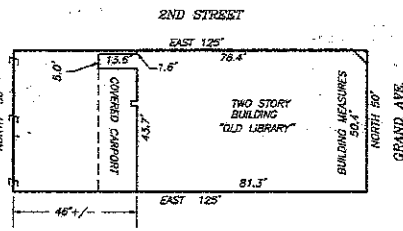


2 Site Plan - PARKING
1/8" = 7'-0"

IMPROVEMENT LOCATION CERTIFICATE

THIS IS NOT A SURVEY

BORROWER(S): TOM D. AND SUSAN G. COOMBE
ORDERED BY: RE/MAX MNT. WEST
PROPERTY ADDRESS: 138 GRAND AVE, PAONIA
GENERAL LOCATION: PAONIA
DATE: APRIL 27, 2007



TYPICAL LEGEND

- ⊕ Found pin with cap
- Fenceline
- Tel. line
- E. Electric (overhead)
- G. Gas line
- W. Water line
- S. Sewer
- C. Creek - River
- I. Irrigation ditch
- Concrete

NOTE:
BOUNDARY LINES ARE UNKNOWN WITHOUT A SURVEY. NO MONUMENTS WERE FOUND. THE IMPROVEMENTS APPEAR TO BE WITHIN THE BOUNDARY LINES.

LEGAL DESCRIPTION:

LOTS 19 AND 20 IN BLOCK 2 OF THE ORIGINAL TOWN OF PAONIA, COLORADO.
DELTA COUNTY, STATE OF COLORADO.

INVESTIGATION BY WILMORE AND COMPANY PROFESSIONAL LAND SURVEYING INC., P.O. BOX 1652, 406 GRAND AVENUE, PAONIA, COLORADO 81428 (970)627-4200 FAX (970)627-4202
I hereby certify that this IMPROVEMENT LOCATION CERTIFICATE was prepared solely for RE/MAX MNT. WEST, that it is NOT a survey plat, and that it is NOT to be relied upon for the establishment of fences, buildings, or other future improvement construction lines.
I further certify that the improvements on the above described parcels on this 27TH day of APRIL, 2007, EXCEPT as may be shown above, that there are no apparent encroachments upon the described parcel by improvements on an adjoining property, EXCEPT as indicated, and that there is no apparent evidence of any easement crossing or burdening this parcel, EXCEPT AS NOTED.

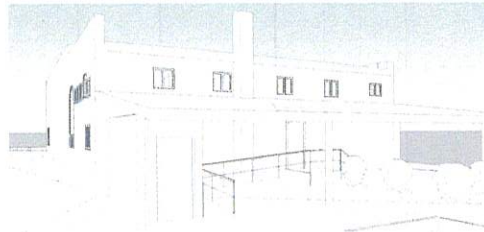
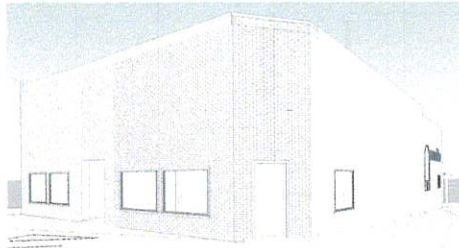
W&C Wilmore and Company
Professional Land Surveying Inc.

JOB# LC07059 APRIL 27, 2007 DRAWN BY: JFC & RAW FIELD: JFC & RAW PROFESSIONAL LAND SURVEYOR COLO# 86972

REVIEWED FOR CODE COMPLIANCE

All work is subject to Field Inspections. The entire Commercial Kitchen is pending review of deferred Mechanical Drawings; no Mechanical work can take place at this time.

THE LEARNING COUNCIL BUILDING



CODE & ZONING SUMMARY

CODE: PAONIA ZONING CODE 2015

PARTICLE: 124506(1)3001

PERMITS SUMMARY:

USE:	ACTUAL COMMERCIAL	ALLOWABLE(A) OR PERMITTED USE
LOT AREA	0.1 ACRE	
LOT WIDTH	50'	
SLOPE	IN CONFORMANCE	
BUILDING SQ. FT.	6288 SF	EXISTING BUILDING
BUILD HEIGHT	20'0"	EXISTING BUILDING
CONDS TYPE	VI	
BUILDING OCCUPANCY TYPE	ASSEMBLY (A)	
PARKING	4 (INCLUDING 1 VAN ACCESSIBLE W/LOADING AREA)	

BUILDING FEATURES:

EXISTING:	PROPOSED:	REQUIRED:
WATER CLOSETS	4	3 (MALE) 7 (FEMALE)
LAVATORIES	4	7
DRINKING FOUNTAINS	1	1
SERVICE SINK	1	1

BUILDING CODE SUMMARY:

2003 INTERNATIONAL BUILDING CODE
 2003 INTERNATIONAL EXISTING BUILDING CODE
 2018 INTERNATIONAL PLUMBING CODE
 2018 INTERNATIONAL FIRE CODE
 2019 NATIONAL ELECTRIC CODE
 NFPA 111 & NFPA 1

PROJECT NARRATIVE:

The Learning Council Building is a renovation project in downtown Paonia that involves creating and reappropiating spaces in the former Old's Ice Cream Shop and Bakery into collaborative use areas such as a commercial kitchen and classroom. It will also include a reading room and the basement will be repurposed into the late Co-op operational space and storage. The exterior will largely stay as is, with the exception of some new window openings and the rear of the building having designated parking and movable planters to contain an outdoor classroom as a meadow.

CHANGE OF USE:

SEE A2.1 A1.3 FOR OCCUPANCY AND AREAS PER USE (ROOM TAG)

EXISTING:	PROPOSED:	MERCANTILE ASSEMBLY - 3	OCCUPANTS:
EXISTING: REFRIGERY	PROPOSED: THE HEARTH		152
EXISTING: MEETING ROOM + WORKSHOP	PROPOSED: THE COMMERCIAL KITCHEN	BUSINESS ASSEMBLY - 2	5
EXISTING: BREAK ROOM - KITCHEN	PROPOSED: READING ROOM (LIBRARY)	BUSINESS ASSEMBLY - 3	7
EXISTING: BASEMENT STORAGE	PROPOSED: INK CO-OP WORKROOM	STORAGE BUSINESS	4
NO CHANGE:			
ICE CREAM PARLOR	ASSEMBLY - 2		35
LOFT OFFICE	BUSINESS		6
BASEMENT STORAGE	STORAGE		4
UTILITY	UTILITY		2
TOTAL OCCUPANCY:			212

PROJECT TEAM

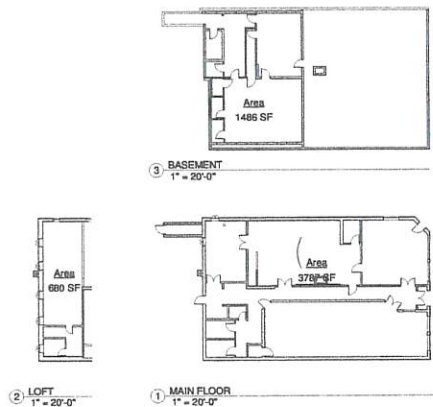
OWNER:
 THE LEARNING COUNCIL
 Alicia Meechem
 alicia@thelearningcouncil.org | (970) 433-5457
 138 GRAND AVE, PAONIA, CO 81428

ARCHITECT OF RECORD:
 STUDIO MVM, LLC
 Molly Wheeler, Principal
 molly@studiomvm.com | 303-910-4557
 136 Grand Ave., Paonia, CO 81428-1007

DESIGNER:
 ID Design Think
 Ian Cooper
 ian@idthink.com | (720) 785-8374

SURVEYOR:
 WILMORE & COMPANY
 Randy Wilmore
 randy@wilmoreandcompany.com | (970) 527-4200
 400 Grand Ave | Paonia, CO 81428

VICINITY MAP: 138 GRAND AVE



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PROPOSED FIRST FLOOR	A1.2
PROPOSED LOFT FLOOR	A1.3
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PROPOSED ELEVATIONS	A2.0
PROPOSED ELEVATIONS	A2.1
BUILDING SECTIONS	A3.0
STAIR + RAMP DETAILS	A5.0
SCHEDULES	A7.0
STRUCTURAL PLAN	S1.0

THE HEARTH - RENOVATION
 138 GRAND AVE, PAONIA, CO
 PERMIT SET

Project Number: _____
 Date: May 17, 2022
 Drawn by: _____
 Checked by: _____

T0.0
COVER SHEET

Scale: 1" = 20'-0"
 Note: Half scale if printed @ 50% on 11"x17"

REVIEWED
FOR CODE
COMPLIANCE

05/18/2022 5:25:30 PM



StudioMW
DESIGN + PLANNING

www.studiomw.com
138 Grand Ave., P.O. Box 1087
Paconia, CO 81452
970.476.4527
www.studiomw.com

NOTES:
Any questions regarding the identification of the drawing or specifications are to be clarified with the Designer before construction. Any discrepancies in the drawings or field conditions are to be immediately brought to the attention of the Designer before proceeding with work. Failure to notify Designer of changing conditions releases the Designer of responsibility. Changes made by a third party without the express written consent of the Designer are void. Do not scale drawings. Use field dimensions. Contact Designer for more information is needed.

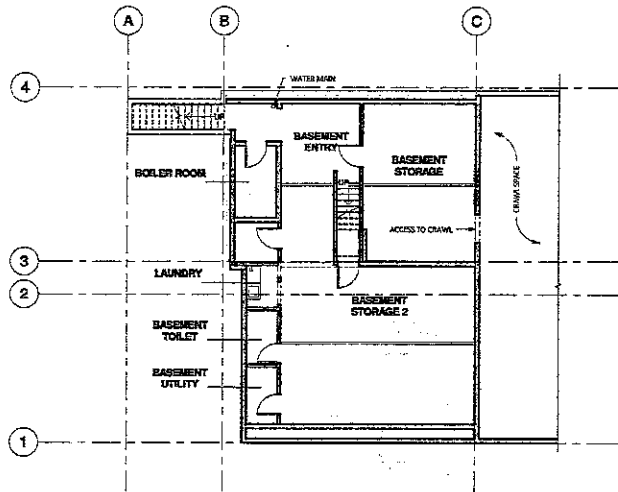
REVISIONS:

THE HEARTH - RENOVATION
138 GRAND AVE, PACONIA, CO
PERMIT SET

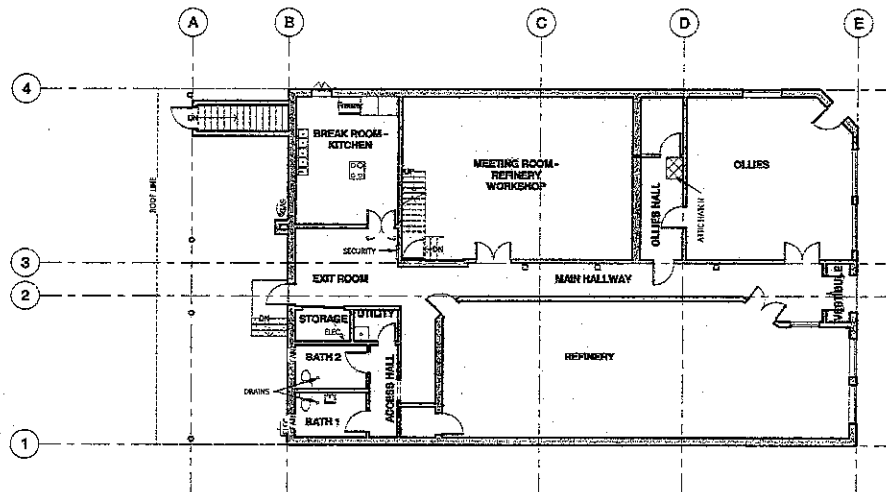
Project Number	Project Number
Date	May 12, 2022
Drawn by	Author
Checked by	Checker

A1.0
EXISTING
PLANS

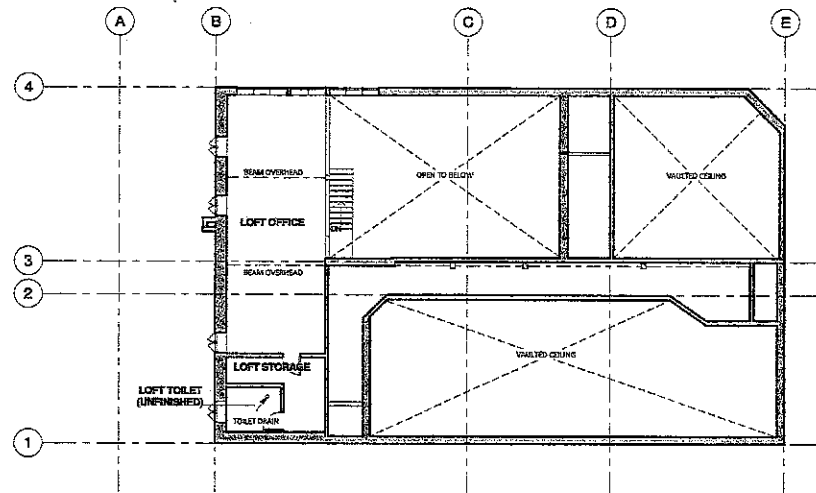
Scale: 1/8" = 1'-0"
Notes: Not for Construction (NFC) or Final (F)



1. EXISTING BASEMENT PLAN
1/8" = 1'-0"



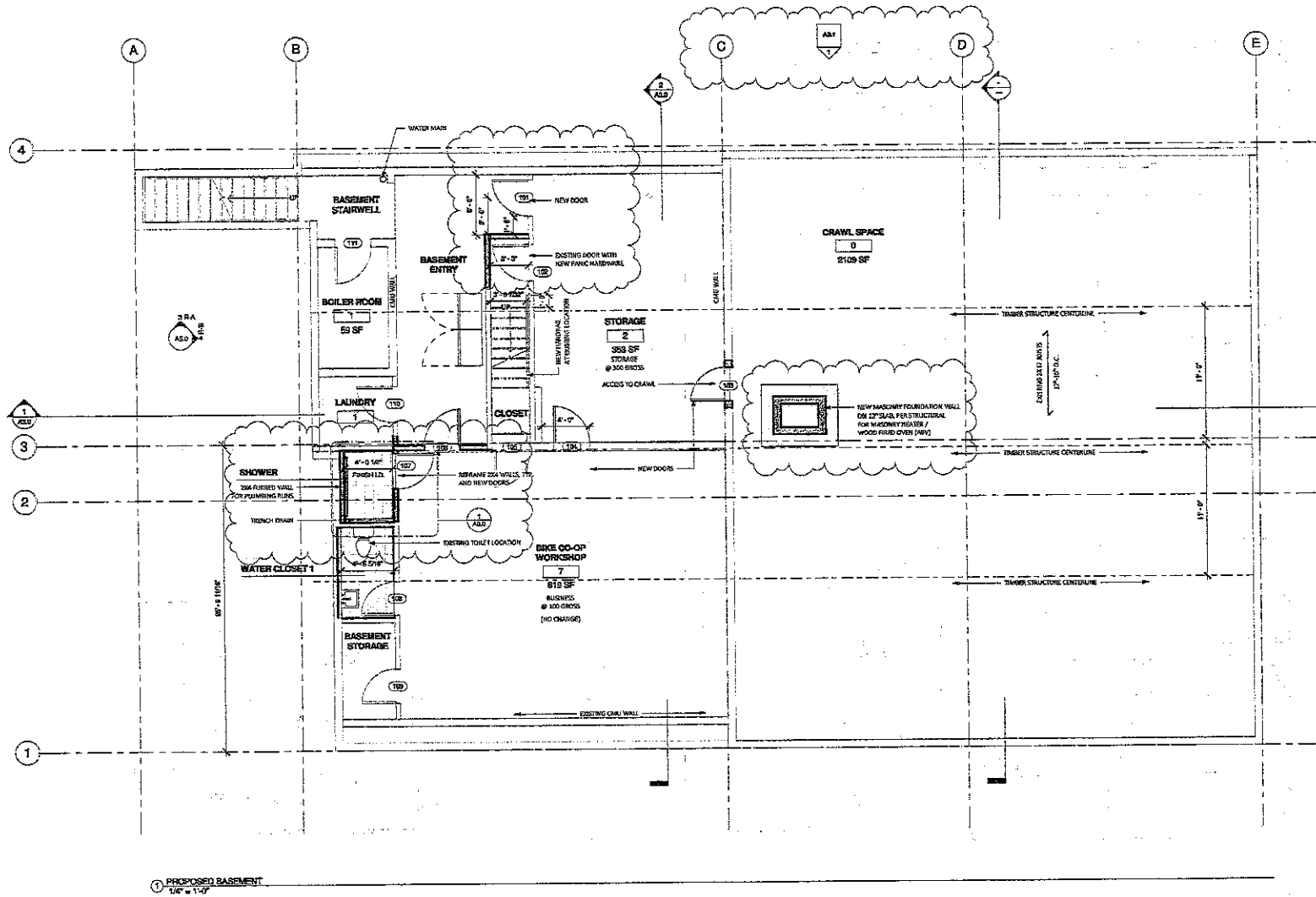
2. EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"



3. EXISTING LOFT PLAN
1/8" = 1'-0"

REVIEWED
FOR CODE
COMPLIANCE

05/18/2022 5:25:29 PM



1 PROPOSED BASEMENT
1/8" = 1'-0"

NOTES
Any questions regarding the intent of the drawings or specifications are to be clarified with the Designer before construction. Any discrepancies in dimensions or field conditions to be immediately brought to the attention of the Designer before proceeding with work. Follow-up design or changes of conditions shall be the responsibility of the Designer unless otherwise specified. Do not make drawings, use, record, duplicate, or disseminate drawings or information without the consent of the Designer. Do not make drawings, use, record, duplicate, or disseminate drawings or information without the consent of the Designer.

REVISIONS:

THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project number	Project Number
By	May 17, 2022
Drawn by	Author
Checked by	Checker

A1.1
PROPOSED
BASEMENT

Scale: 1/8" = 1'-0"
Date: 05/18/2022 5:25:29 PM

REVIEWED
FOR CODE
COMPLIANCE

05/16/2022 5:25:39 PM



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NOTES:
Any questions regarding the intent of the
Contract or specifications shall be clarified
with the Designer before construction. Any
changes to the Contract or specifications or field
conditions to be immediately brought to the
attention of the Designer and approved in writing.
No work shall be performed by the Contractor
without the written consent of the Designer.
Do not make changes, use relief
dimensions, or make substitutions without the
written consent of the Designer.

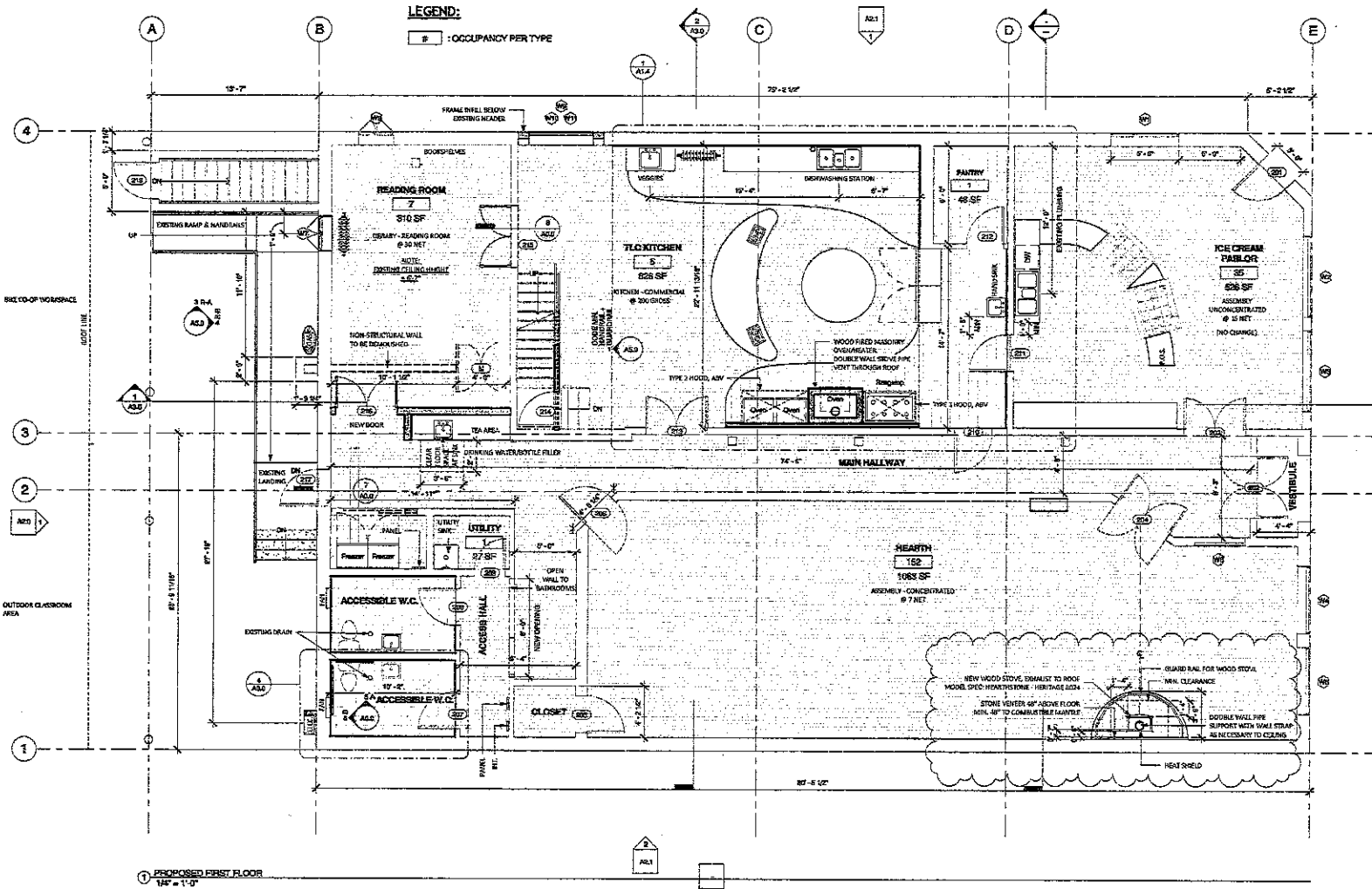
REVISIONS:

THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project number	Project Name
Date	May 16, 2022
Drawn by	Author
Checked by	Checker

A1.2
PROPOSED
FIRST FLOOR

Scale: 1/8" = 1'-0"
Note: All work to be done in accordance with the 2021 International Building Code.



1 PROPOSED FIRST FLOOR
1/8" = 1'-0"

REVIEWED
FOR CODE
COMPLIANCE

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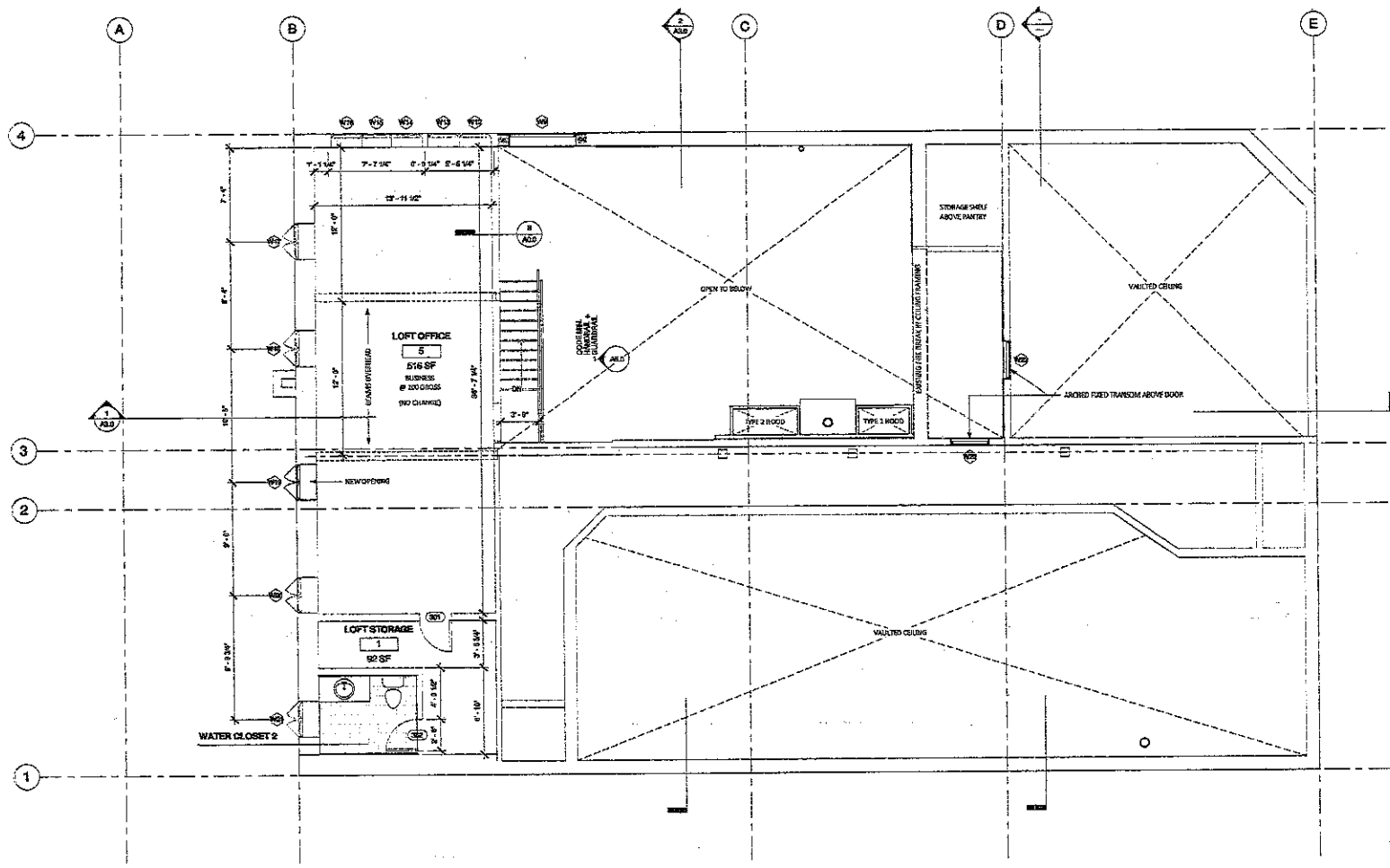
NOTES:
Any specifications regarding the layout of the drawing or specifications are to be carried out by the Designer before construction. Any discrepancies in dimensions or field conditions are to be immediately brought to the attention of the Designer before proceeding with work. Failure to notify the Designer of changing conditions releases the Designer of responsibility. Changes made to the present Documents without the consent of the Designer are unauthorized. Do not make drawings, use project information, or contact the Designer if more information is needed.

REVISIONS:

THE HEARTH - RENOVATION
138 GRAND AVE, PACOMA, CO
PERMIT SET

Project Number	
By	May 17, 2022
Drawn by	Author
Checked by	Checker

A1.3
PROPOSED LOFT FLOOR
Scale: 1/4" = 1'-0"
Sheet: 10/21/2021
Drawn: 10/21/2021, Checked: 05/18/2022



① PROPOSED T.O. LOFT FLOOR
1/4" = 1'-0"

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FOR CODE
COMPLIANCE

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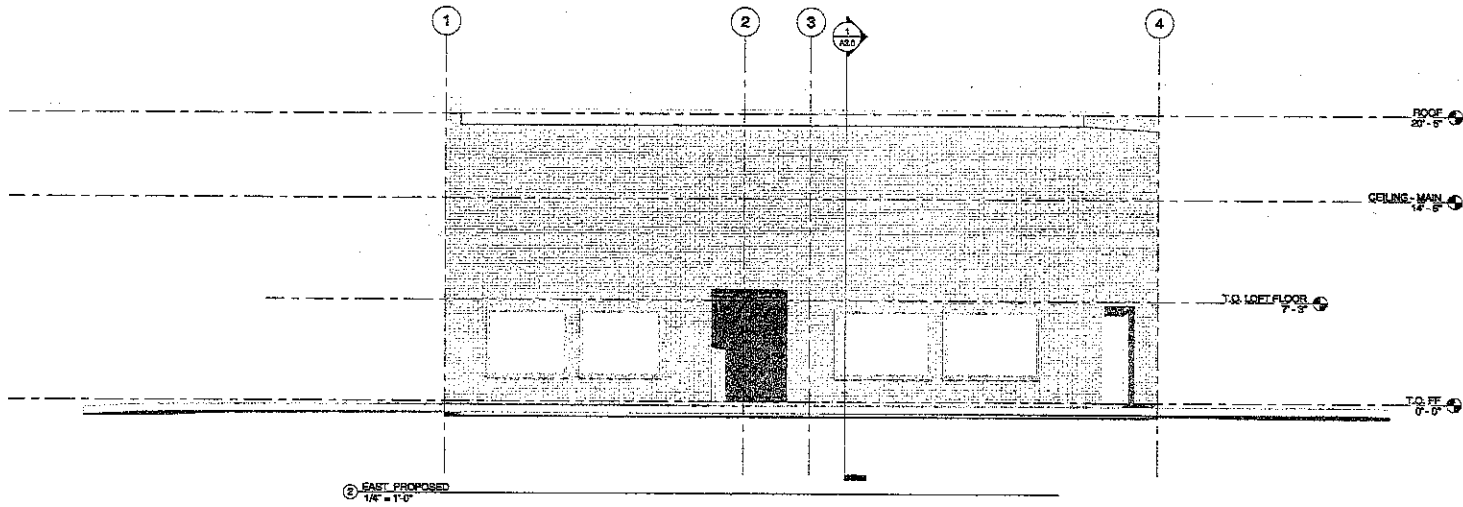
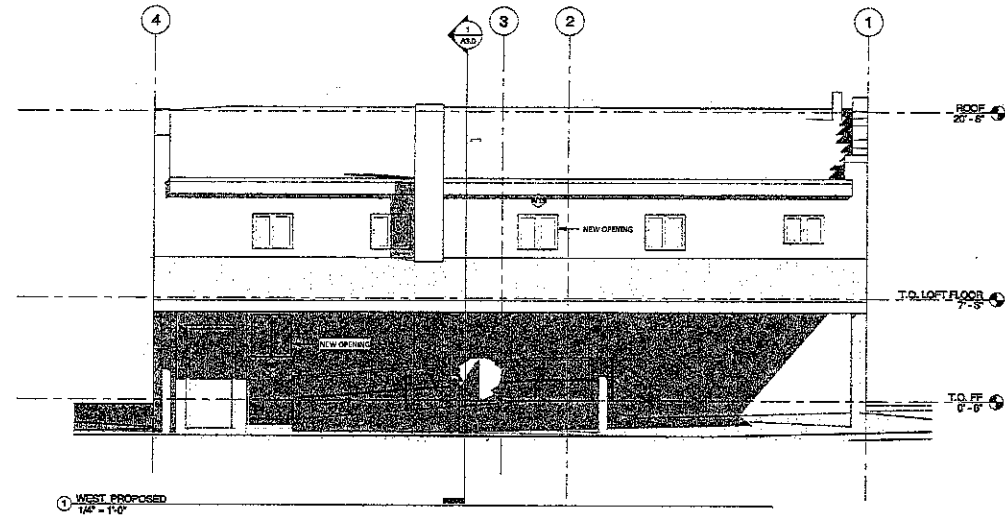


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NOTES
Any questions regarding the intent of the drawing or specifications are to be clarified with the Designer before construction. Any change order, bid increase or bid conditions to be immediately brought to the attention of the Designer before proceeding with work. Failure to notify Designer of changing conditions releases the Designer of responsibility. Changes made to the permit documents without the consent of the Designer are unauthorized.
Do not scale drawings, use noted dimensions. Contact Designer if more information is needed.

REVISIONS:



THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project Number	Project Name
Date	May 16, 2022
Drawn by	Author
Checked by	Checker

A2.0
PROPOSED ELEVATIONS

Scale 1/4" = 1'-0"
Note: Half scale for panels 02-03B, 03-11, 03-17

REVIEWED
FOR CODE
COMPLIANCE

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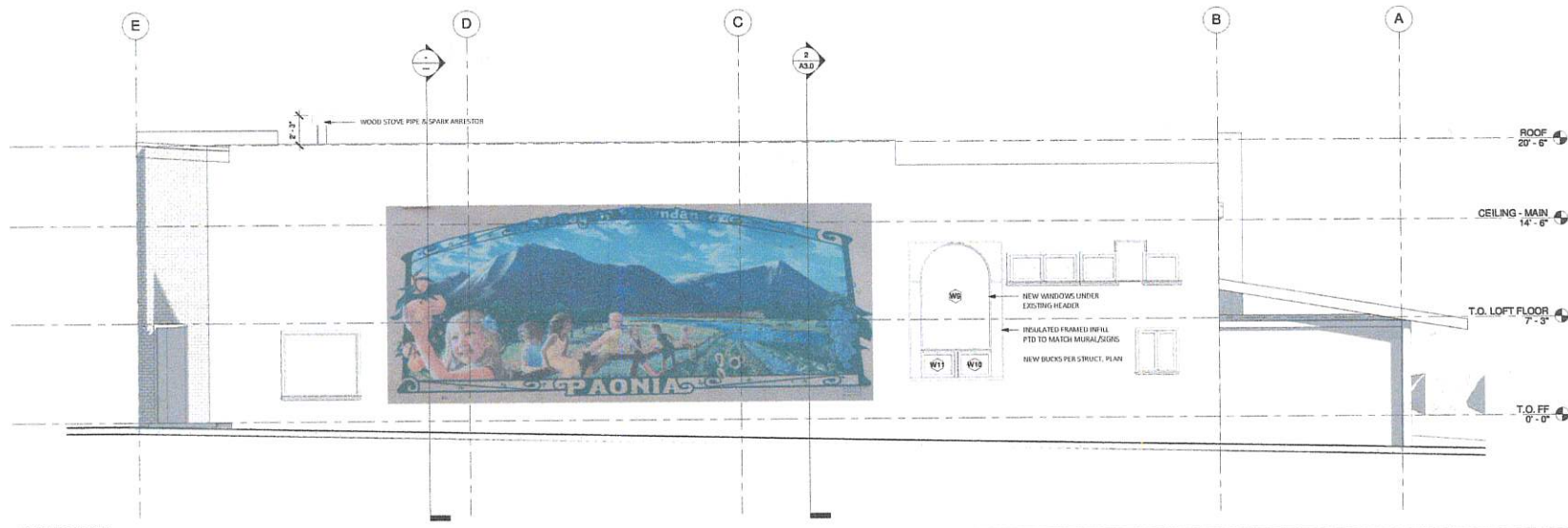


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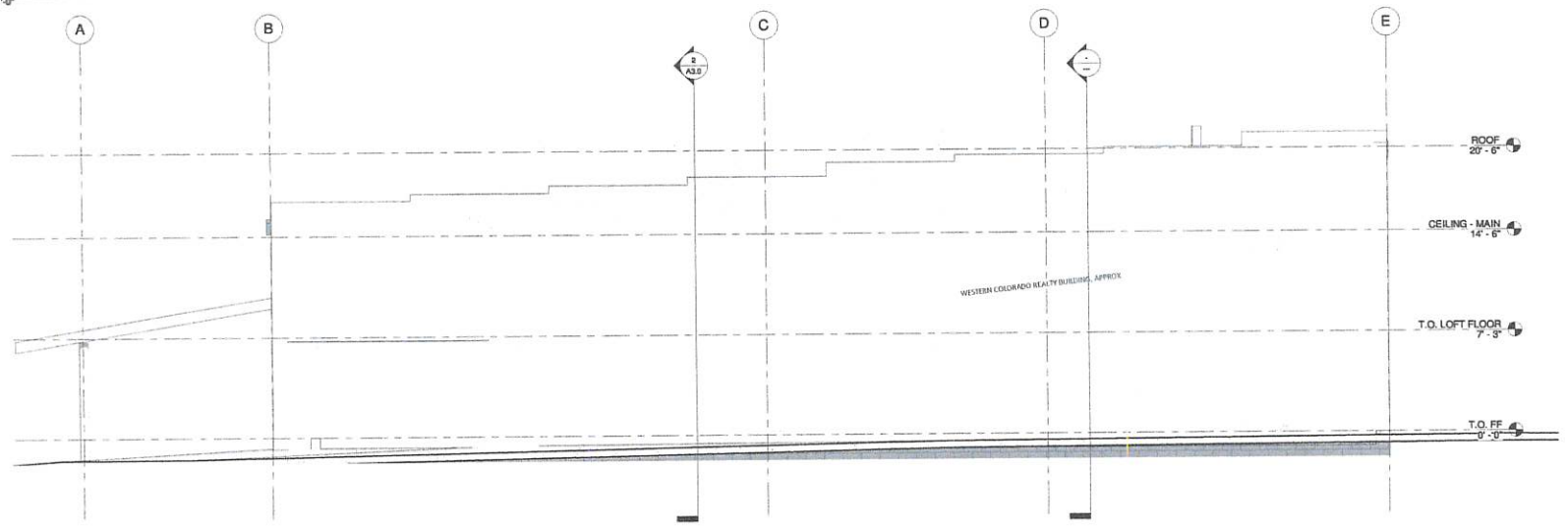
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Do not scale drawings. Use noted dimensions. Contact Designer if more information is needed.

REVISIONS:



1 NORTH, PROPOSED
1/4" = 1'-0"



2 SOUTH, PROPOSED
1/4" = 1'-0"

THE HEARTH - RENOVATION
138 GRAND AVE., PAONIA, CO
PERMIT SET

Project number	Project Number
Date	May 17, 2022
Drawn by	Author
Checked by	Checker

A2.1
PROPOSED ELEVATIONS
Scale 1/4" = 1'-0"

Note: Half scale if printed @ 50% on 11"x17"

05/18/2022 14:55:17 AM

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Do not scale drawings, use correct dimensions. Contact Designer if more information is needed.

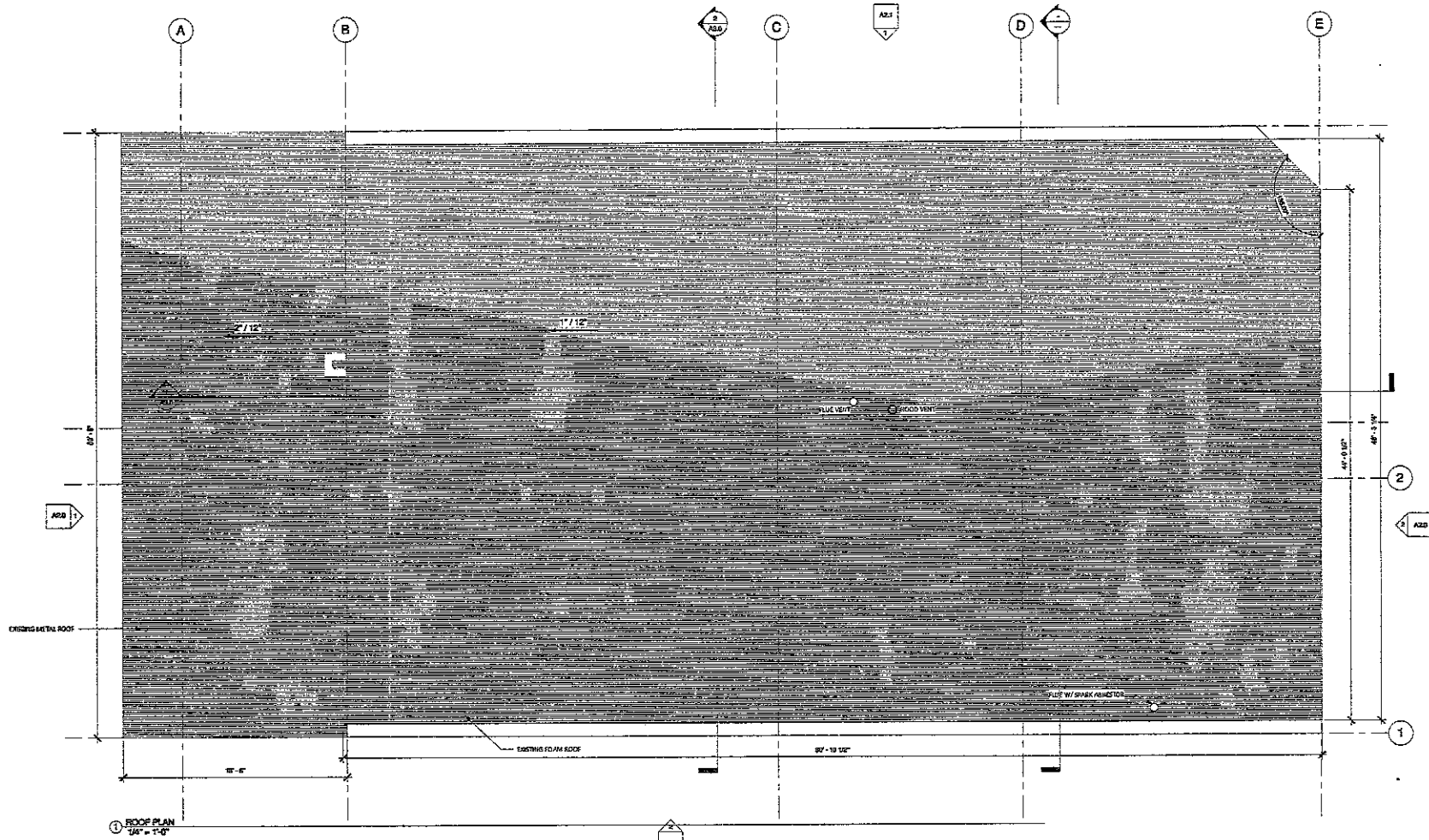
REVISIONS:

THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project number	Project Number
Client	May 17, 2022
Drawn by	Author
Checked by	Checker

A1.5
ROOF PLAN

Scale: 1/4" = 1'-0"
Made: Helvetica 2 point @ 320% on 11x17"



1 ROOF PLAN
1/4" = 1'-0"

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COMPLIANCE

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1

NOTES
Any questions regarding the scope of the drawings or specifications are to be clarified with the Designer before construction. Any discrepancies in dimensions or field conditions is an immediate concern to the attention of the Designer before proceeding with work. Failure to notify Designer of changing conditions releases the Designer of responsibility. Changes made in the present Document will bear the onus of the Designer and are irrevocable. Do not make drawings, use revised dimensions. Contact Designer if more information is needed.

LSP - BASEMENT
3/16" = 1'-0"

REVISIONS:

1
INGLISHER
IN MONOXIDE DETECTOR
DETECTOR
INITIATED EXIT SIGN
BED
IG
OCCUPANCY RATING

THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project Number: _____
Date: May 17, 2022
Signed by: _____
Checked by: _____

A0.1
LIFE SAFETY
PLANS
Scale: 3/16" = 1'-0"
Plot Date: 05/16/2022 10:09:03 AM
Plot Path: C:\Users\jpl\OneDrive\Documents\2022\051622\A0.1.dwg

REVIEWED
FOR CODE
COMPLIANCE

05/18/2022 5:25:09 PM



NOTES:
Any conditions specified in the contract or specifications are to be checked with the Designer before construction. Any discrepancies, omissions or field conditions to be immediately brought to the attention of the Designer before proceeding with work. Failure to notify Designer of changing conditions releases the Designer of responsibility. Changes made to the contract documents without the consent of the Designer are void. Do not make duplicate, use, or post drawings. Contact Designer if any information is needed.

REVISIONS:

THE HEARTH - RENOVATION
188 GRAND AVE, PAONIA, CO
PERMIT SET

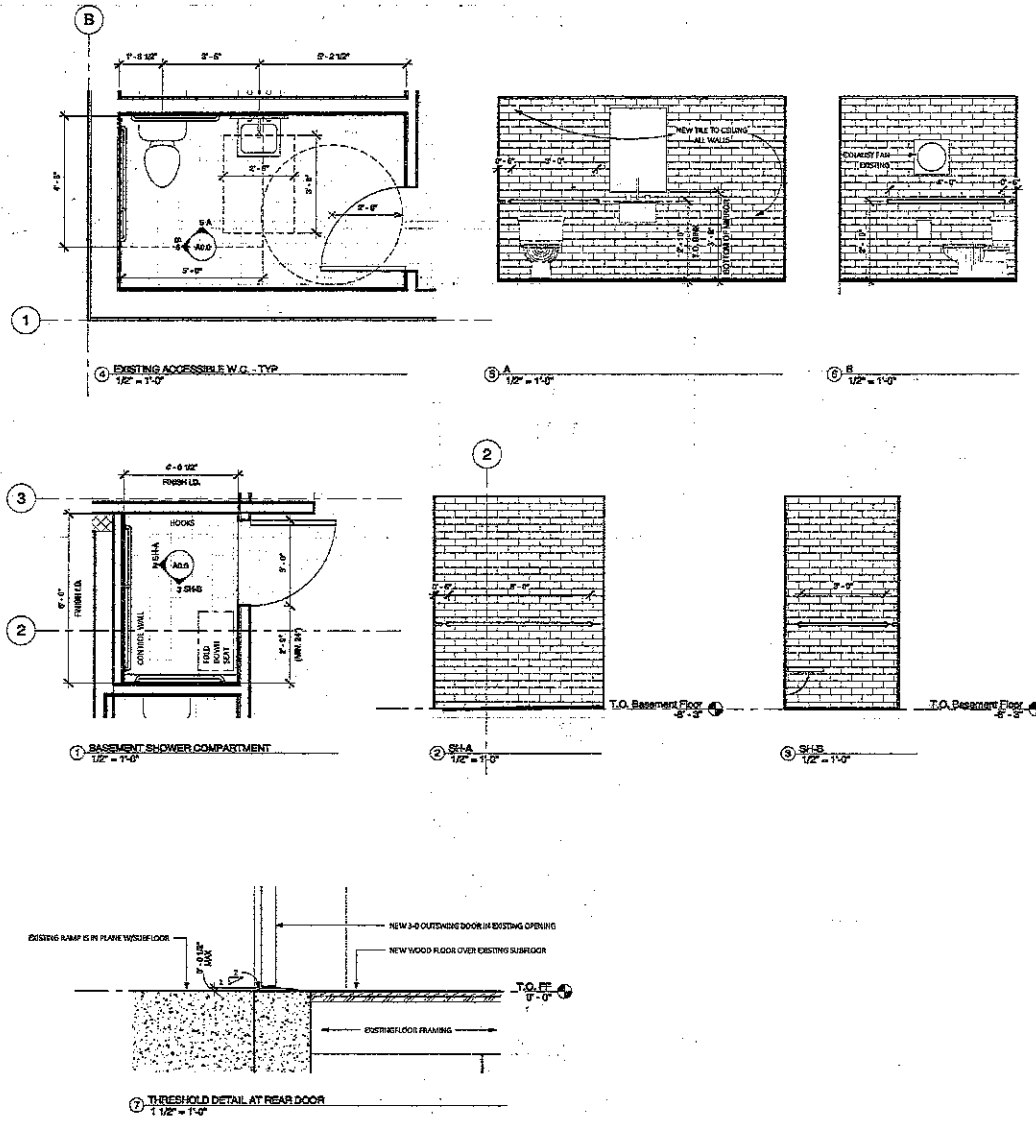
Project Number: May 12, 2022
Date: May 12, 2022
Drawn by: [Blank]
Checked by: [Blank]

A0.0
GENERAL INFO
& DETAILS

Scale: As Indicated
Notes: Full scale if printed @ 22% on 11x17"

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	INFO.	INFORMATION
ADJ.	ADJUSTABLE	INSUL.	INSULATION
ALT.	ALTERNATE	JST.	JOIST
ANB.	ANCHOR BOLTS	LL	LIVE LOAD
AND	AND	LONGENT.	LONGITUDINAL
ARCH.	ARCHITECTURAL	N.L.C.	NOT IN CONTRACT
AT	AT	O.C.	ON CENTER
BEAM	BEAM	OPP.	OPPOSITE
BM. PKT.	BEAM POCKET	O/P	OVER
BRG.	BEARING	PAINTED	PAINTED
BLKYS.	BLOCKING	PERF.	PERFORATED
BOT.	BOTTOM	PL.	PLATE
B.F.	BOTTOM OF FOOTING	PLY.	PLYWOOD
BLDG.	BUILDING	PROP. LINE	PROPERTY LINE
B.O.	BUILDING BY OWNER	REFIN.	REINFORCEMENT
CAB.	CABINET	REDWD.	REDWOOD
C.C.G.	CERILING	REQD.	REQUIRED
CL.	CENTER LINE	RESIL.	RESILIENT
C.T.	CERAMIC TILE	REV.	REVISED
CLR.	CLEAR	S.M.	SHEET METAL
COL.	COLUMN	SIM.	SIMILAR
CONC.	CONCRETE	S.F. OR SQ. FT.	SQUARE FEET
CONNL.	CONNECTION	STD.	STANDARD
CONT.	CONTINUOUS	STL.	STEEL
CSH.	CRAWL SPACE HATCH	STDS.	STUDS
DTL.	DETAIL	THK.	THICK
DBL.	DOUBLE	TLT.	TILE
DWL.	DOWEL	T.F.	TOP OF FINISH
EW.	EACH WAY	T.P.	TOP OF PLATE
ELEV. OR EL.	ELEVATION	T.L.	TOP OF LEDGE
EQ.	EQUAL/EQUIDISTANT	T.W.	TOP OF WALL
EXIST'G.	EXISTING	TOT.	TOTAL
EXT.	EXTERIOR	T.S.	TRANSVERSE
F.F.	FINISHED FLOOR	TRNSV.	TRANSVERSE
F.D.	FLOOR DRAIN	TYP.	TYPICAL
F.L.	FLOOR	UNL.G.	UNLESS NOTED OTHERWISE
FTG.	FOOTING	V.L.F.	VERIFY IN FIELD
FND.	FOUNDATION	VERT.	VERTICAL
GA.	GALVE	W.C.	WATER CLOSURE
G.I.	GULLIM	W.H.	WATER HEATER
G.W.B.	GYPSUM WALL BOARD	W.P.	WATERPROOF
G.S.	GAS STUD	W.R.	WATER RESISTANT
H.B.	HOSE BIB	WRL	WATER RESISTANT
HT.	HEIGHT	WF	WITH
HK.	HOOK	WD.	WOOD
HORIZ.	HORIZONTAL		
HYD.	HYDRANT		



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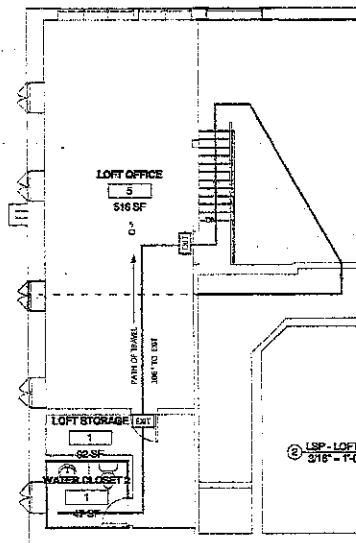


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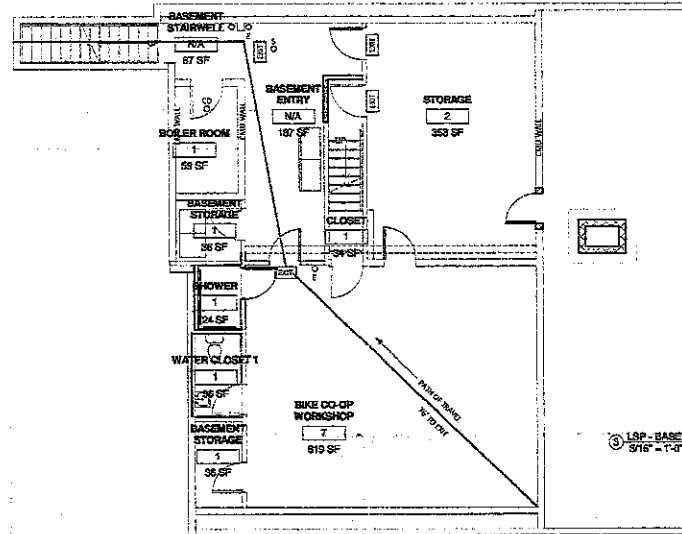
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NOTES
Any questions regarding the basis of the design or specifications are to be clarified with the Designer before construction. Any discrepancies in dimensions or field conditions to be immediately brought to the attention of the Designer before proceeding with work. Failure to notify Designer of changing conditions releases the Designer of responsibility. Changes made to the project documents without the consent of the Designer are unauthorized. Do not make field, on-site alterations. Contact Designer if more information is needed.

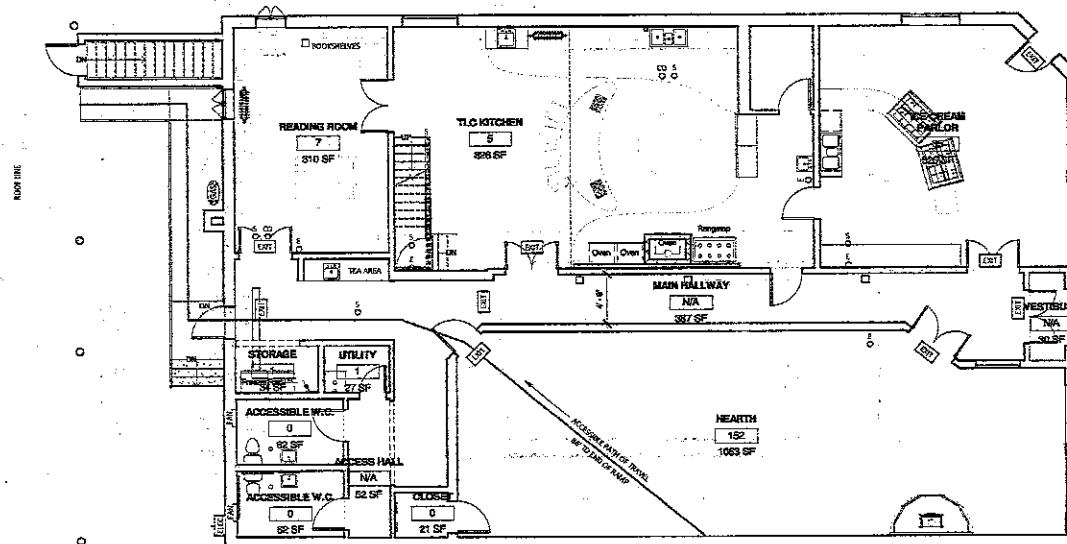
REVISIONS:



② LSP - LOFT
316' - 1'-0"



③ LSP - BASEMENT
316' - 1'-0"



① LIFE SAFETY PLAN - MAIN
316' - 1'-0"

LEGEND:
E: FIRE EXTINGUISHER
CO: CARBON MONOXIDE DETECTOR
S: SMOKE DETECTOR
EXT: ILLUMINATED EXIT SIGN
○: PROPOSED
○: EXISTING
: OCCUPANCY RATING

THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project Number	Project Name
Drawn by	
Checked by	

A0.1
LIFE SAFETY PLANS

Scale: 3/16" = 1'-0"
March 16, 2022 1:08:28 AM
March 16, 2022 1:08:28 AM

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NOTES
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Do not modify drawings, use exact dimensions. Correct Designer's errors. Information is essential.

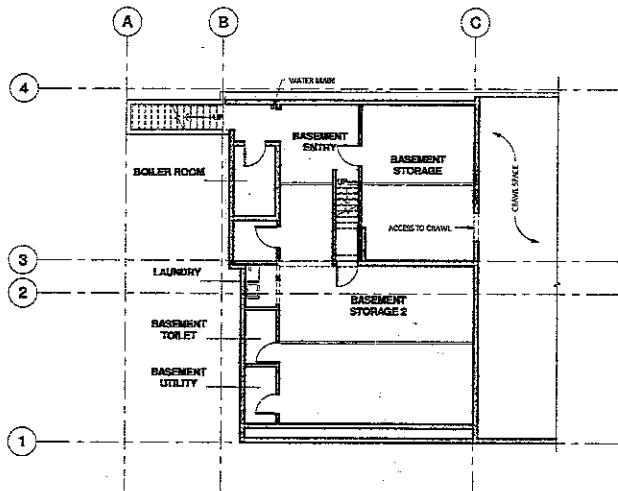
REVISIONS:

THE HEARTH - RENOVATION
138 GRAND AVE, PACONIA, CO
PERMIT SET

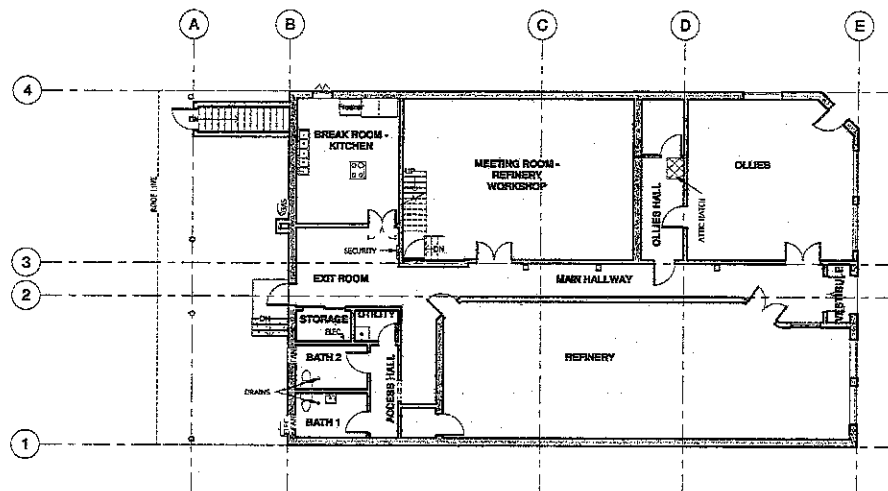
Project Number	Project Number
Date	May 17, 2022
Drawn by	Author
Checked by	Checker

A1.0
EXISTING
PLANS

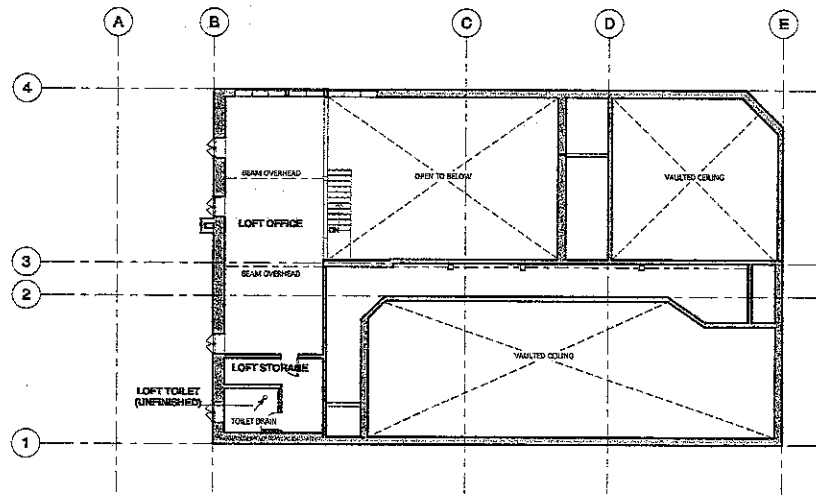
Scale 1/8" = 1'-0"
Note: Half scale if plotted @ 50% or 25%.



1 EXISTING BASEMENT PLAN
1/8" = 1'-0"



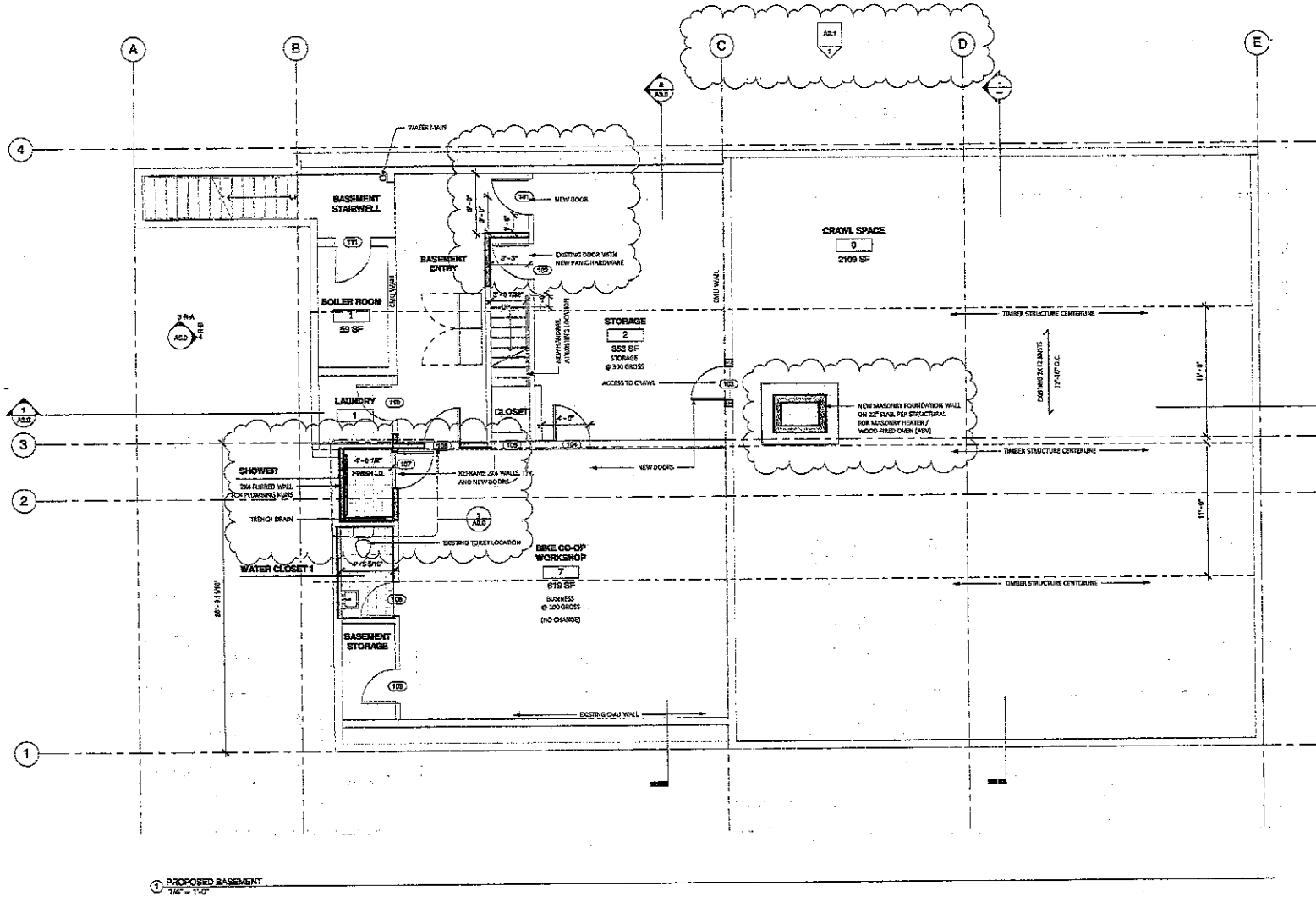
2 EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"



3 EXISTING LOFT PLAN
1/8" = 1'-0"

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05/18/2022 5:25:39 PM



1 PROPOSED BASEMENT
1/4" = 1'-0"

NOTES:
Any questions regarding the intent of the drawings or specifications are to be clarified with the Designer before construction. Any discrepancies in dimensions or field conditions to be immediately brought to the attention of the Designer before proceeding with work. Future liability Designer of changing conditions remains the Designer of responsibility. Changes made at the present Designer are responsibility. Do not make drawings, add, delete dimensions, Change Designer if more than one revision.

REVISIONS:

NO.	DESCRIPTION

THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project number	Project Number
Date	May 17, 2022
Drawn by	Author
Checked by	Checker

A1.1
PROPOSED BASEMENT
Scale 1/4" = 1'-0"
Notes: See sheet 1 of 10 and 305 on 71317

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Do not scale drawings, use noted dimensions. Contact Designer if more information is needed.

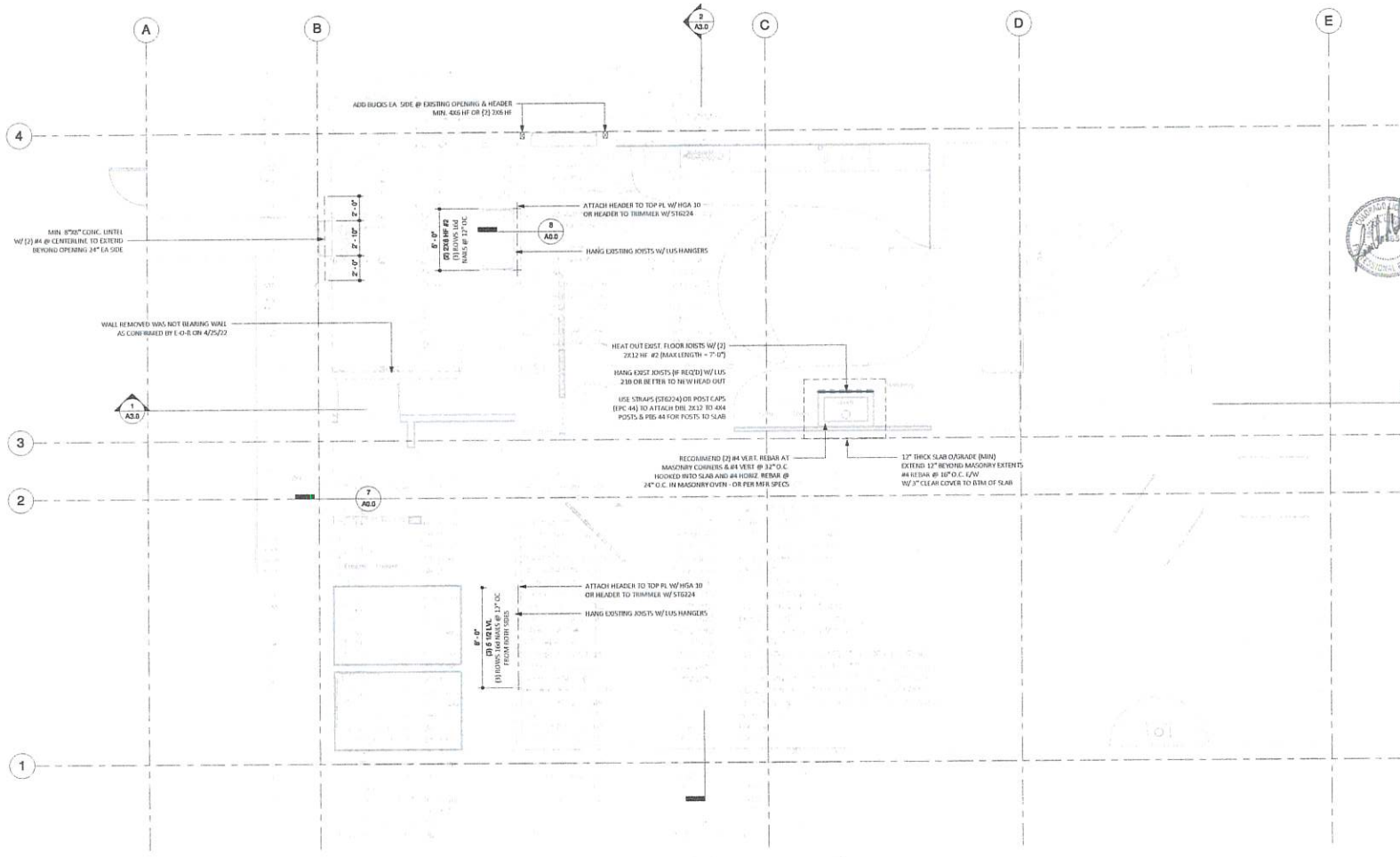
REVISIONS:

THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project number	Project Number
Date	May 13, 2022
Drawn by	Author
Checked by	Checker

S1.0
STRUCTURAL PLAN

Scale 1/4" = 1'-0"
Note: Half scale if printed @ 92% on 11"x17"



1 STRUCTURAL PLAN
1/4" = 1'-0"

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Do not make drawings, site visit elevations. Contact Designer for more information if needed.

REVISIONS:

Door Schedule					
Door Tag	Level	Door Size	Family and Type	Phase Created	Finish Hardware
101	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	PROPOSED	PANIC EXIT DEVICE
102	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	EXISTING	PANIC EXIT DEVICE
104	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	PROPOSED	PASSAGE
104	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	PROPOSED	PANIC EXIT DEVICE
105	T.O. Basement Floor	26" x 80"	Single-Flush: 36" x 80"	EXISTING	PASSAGE
106	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	PROPOSED	PANIC EXIT DEVICE
107	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	PROPOSED	LEVER HANDLE - PRIVACY
108	T.O. Basement Floor	34" x 80"	Single-Flush: 34" x 80"	EXISTING	LEVER HANDLE - PRIVACY
109	T.O. Basement Floor	34" x 80"	Single-Flush: 34" x 80"	EXISTING	PASSAGE
110	T.O. Basement Floor	34" x 80"	Single-Flush: 34" x 80"	EXISTING	PASSAGE
111	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	EXISTING	PASSAGE
201	T.O. FF	86" x 84"	Single-Flush: 36" x 84"	EXISTING	LEVER HANDLE WITH KEYS LOCK/DEADBOLT
202	T.O. FF	60" x 84"	Double-Glass 1: 60" x 84"	EXISTING	LEVER HANDLE WITH KEYS LOCK/DEADBOLT
203	T.O. FF	80" x 84"	Double-Glass 1: 60" x 84"	EXISTING	LEVER HANDLE WITH KEYS LOCK/DEADBOLT
204	T.O. FF	60" x 84"	Double-Glass 1: 60" x 84"	EXISTING	LEVER HANDLE WITH KEYS LOCK/DEADBOLT
205	T.O. FF	36" x 84"	Single-Flush: 36" x 84"	EXISTING	LEVER HANDLE WITH KEYS LOCK/DEADBOLT
206	T.O. FF	36" x 84"	Single-Flush: 36" x 84"	EXISTING	PASSAGE
207	T.O. FF	36" x 80"	Single-Flush: 36" x 80"	EXISTING	LEVER HANDLE - PRIVACY
208	T.O. FF	36" x 80"	Single-Flush: 36" x 80"	EXISTING	LEVER HANDLE - PRIVACY
209	T.O. FF	30" x 80"	Single-Flush: 30" x 80"	EXISTING	LEVER HANDLE - KEYS
210	T.O. FF	36" x 96"	Single-Flush: 36" x 96"	EXISTING	LEVER HANDLE - KEYS
211	T.O. FF	36" x 96"	Single-Flush: 36" x 96"	EXISTING	LEVER HANDLE - KEYS
212	T.O. FF	36" x 84"	Single-Flush: 36" x 84"	EXISTING	PASSAGE
213	T.O. FF	60" x 84"	Double-Glass 1: 60" x 84"	EXISTING	LEVER HANDLE - KEYS
214	T.O. FF	34" x 80"	Single-Flush: 34" x 80"	EXISTING	LEVER HANDLE - KEYS
215	T.O. FF	60" x 77"	Double-Glass 1: 60" x 77"	PROPOSED	LEVER HANDLE - KEYS
216	T.O. FF	60" x 77"	Double-Glass 1: 60" x 77"	PROPOSED	LEVER HANDLE - KEYS
217	T.O. FF	36" x 80"	Single-Flush: 36" x 80"	EXISTING	PANIC EXIT DEVICE
218	T.O. FF	36" x 84"	Single-Flush: 36" x 84"	EXISTING	PANIC EXIT DEVICE
301	T.O. LOFT FLOOR	30" x 80"	Single-Flush: 30" x 80"	EXISTING	LEVER HANDLE - KEYS
302	T.O. LOFT FLOOR	30" x 80"	Single-Flush: 30" x 80"	EXISTING	LEVER HANDLE - PRIVACY

[*] = SIGN ABOVE DOOR TO READ "DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS"

Window Schedule							
Mark	Width	Height	Level	Sill Height	Type	New Opening?	Comments
W1	5'-5"	14'-7"	T.O. FF	1'-11"	Window-Fixed	EXISTING	
W2	6'-7"	14'-7"	T.O. FF	1'-11"	Window-Fixed	EXISTING	
W3	5'-7"	14'-7"	T.O. FF	1'-11"	Window-Fixed	EXISTING	
W4	5'-6"	14'-7"	T.O. FF	1'-11"	Window-Fixed	EXISTING	
W5	5'-8"	14'-7"	T.O. FF	1'-11"	Window-Fixed	EXISTING	
W6	4'-2"	15'-10"	T.O. FF	3'-0"	Window-Fixed	EXISTING	
W7	2'-10"	3'-0"	T.O. FF	3'-0"	Window-Casement-Double	PROPOSED	
W8	2'-10"	3'-0"	T.O. FF	3'-0"	Window-Casement-Double	EXISTING	
W9	5'-3"	7'-10 1/2"	T.O. FF	0'-0 1/2"	Window-Fixed-Round-Top	PROPOSED	NEW DOUBLE GLAZED ARCHED WINDOW BY OWNER
W10	2'-8"	2'-0"	T.O. FF	2'-11"	Window-Awning-Single	PROPOSED	
W11	2'-8"	2'-0"	T.O. FF	2'-11"	Window-Awning-Single	PROPOSED	
W12	2'-6"	2'-0"	T.O. FF	10'-0"	Window-Awning-Single	EXISTING	
W13	2'-6"	2'-0"	T.O. FF	10'-0"	Window-Awning-Single	EXISTING	
W14	2'-6"	2'-0"	T.O. FF	10'-0"	Window-Awning-Single	EXISTING	
W15	2'-4"	3'-0"	T.O. FF	10'-0"	Window-Fixed	EXISTING	
W16	2'-5"	2'-0"	T.O. FF	10'-0"	Window-Awning-Single	EXISTING	
W17	2'-10"	2'-8"	T.O. LOFT FLOOR	3'-6"	Window-Casement-Double	EXISTING	
W18	2'-10"	2'-8"	T.O. LOFT FLOOR	3'-6"	Window-Casement-Double	EXISTING	
W19	2'-10"	2'-6"	T.O. LOFT FLOOR	3'-6"	Window-Casement-Double	PROPOSED	
W20	2'-10"	2'-8"	T.O. LOFT FLOOR	3'-6"	Window-Casement-Double	EXISTING	
W21	2'-10"	2'-8"	T.O. LOFT FLOOR	4'-0"	Window-Casement-Double	EXISTING	
W22	3'-0"	1'-6"	T.O. FF	10'-0"	Window-Fixed-Half-Round	PROPOSED	
W23	3'-0"	1'-6"	T.O. FF	10'-0"	Window-Fixed-Half-Round	PROPOSED	

NEW WINDOWS TO BE WEATHER SHIELD ALUMINUM CLAD PREMIUM SERIES, U.S.A.

THE HEARTH - RENOVATION
138 GRAND AVE, PACONIA, CO
PERMIT SET

Project Number: _____ Project Number: _____
Date: May 11, 2022
Drawn by: _____ Checker: _____
Checked by: _____

A7.0
SCHEDULES

Scale: _____
Note: Half scale if printed @ 20% on 11x17"

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FOR CODE
COMPLIANCE

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NOTES:
Any conditions regarding the location of the change or specifications are to be clarified with the Designer before construction. Any changes in the location or field conditions to be immediately reported to the start of the Designer before proceeding with work. Failure to notify Designer of changed conditions will be the Designer's responsibility. Changes made to Program/Drawings without the consent of the Designer are unacceptable.
1. Do not scale drawings, use field dimensions. Contact Designer if more information is needed.

REVISIONS:

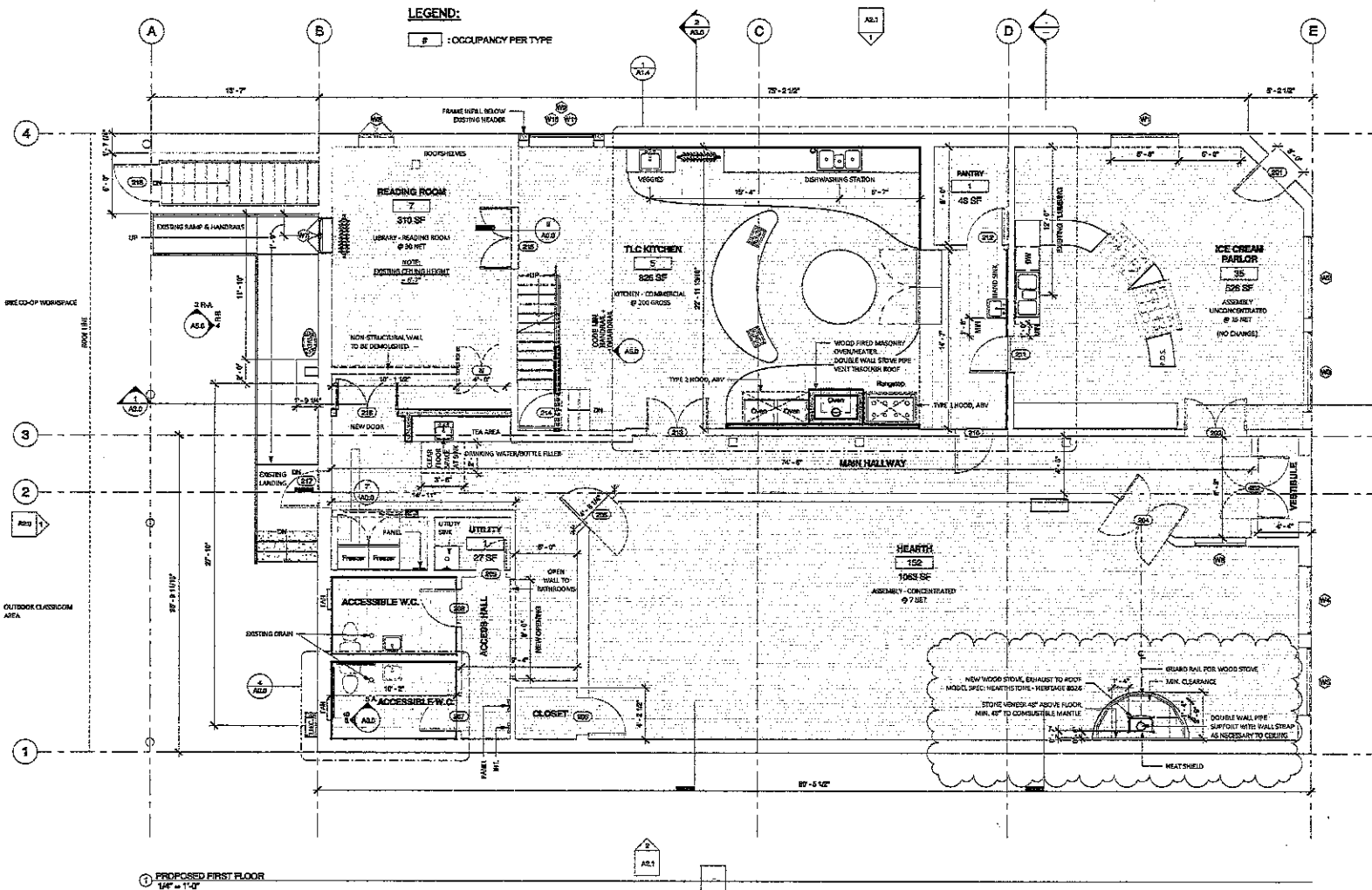
THE HEARTH - RENOVATION

138 GRAND AVE., PAONIA, CO

PERMIT SET

Project number	Project Name
Date	May 17, 2022
Drawn by	Author
Checked by	Checker

A1.2
PROPOSED FIRST FLOOR
Scale: 1/4" = 1'-0"
Notes: Not made if printed @ 25% or 175%



1 PROPOSED FIRST FLOOR
1/4" = 1'-0"

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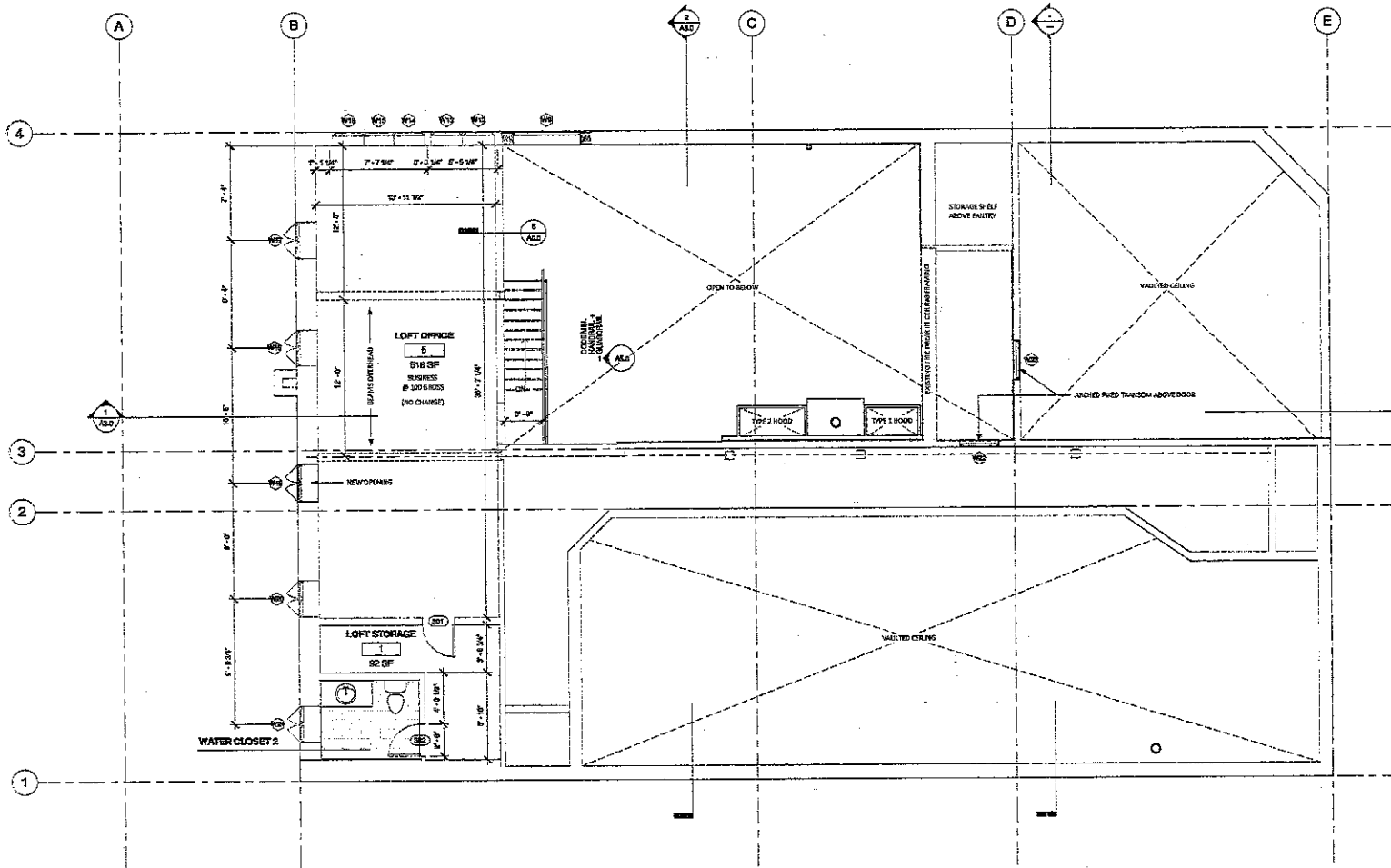
NOTES
Any conditions regarding the intent of the drawings or specifications are to be clarified with the Designer before construction. Any discrepancies in dimensions or field conditions are to be immediately brought to the attention of the Designer before proceeding with work. Failure to notify the Designer of changing conditions releases the Designer of responsibility. Changes made to the contract documents without the consent of the Designer are unauthorized. Do not scale drawings, use printed alterations. Contact Designer if more information is needed.

REVISIONS:

THE HEARTH - RENOVATION
188 GRAND AVE., PAONIA, CO
PERMIT SET

Prepared by	Project Number
Date	May 17, 2022
Drawn by	Author
Checked by	Checker

A1.3
PROPOSED
LOFT FLOOR
Scale: 1/4" = 1'-0"
Sheet No: 188P01.MX
Date: 05/18/2022 5:25:39 PM



1 PROPOSED T.O. LOFT FLOOR
1/4" = 1'-0"

REVIEWED
FOR CODE
COMPLIANCE

05/18/2022 3:25:30 PM



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Poncha, CO 81081
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http://www.studiomw.com

NOTES

Any questions regarding the scope of the drawing or specifications are to be directed with the Designer before construction. Any dimensional adjustments or field conditions to be immediately inspected by the architect of the Designer before proceeding with work. Failure to verify the accuracy of changing conditions releases the Designer responsibility. Changes made to the project drawings will not be covered by the Designer's responsibility. Do not scale drawings. Use actual dimensions. Contact Designer if more information is needed.

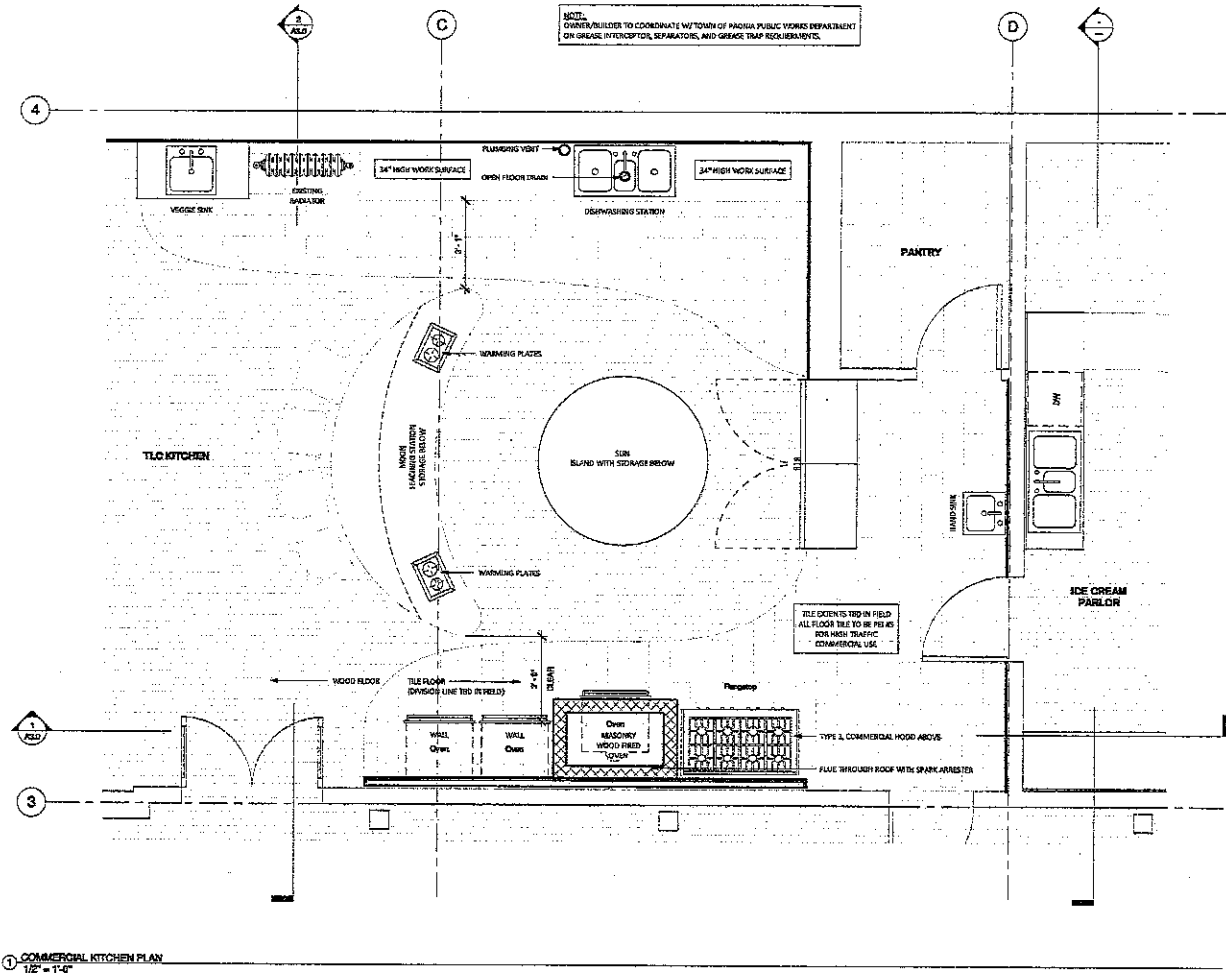
REVISIONS:

THE HEARTH - RENOVATION
138 GRAND AVE, PONCHA, CO
PERMIT SET

Project number	Project number
Date	May 17, 2022
Drawn by	Architect
Checked by	Designer

A1.4
PROPOSED
KITCHEN

Scale: 1/2" = 1'-0"
Note: Half scale if plotted @ 22x36 on 11x17"



1 COMMERCIAL KITCHEN PLAN
1/2" = 1'-0"

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COMPLIANCE

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NOTES
Any questions regarding the impact of the
change of specifications are to be clarified
with the Designer before construction. Any
discrepancies in dimensions or field
conditions to be immediately brought to the
attention of the Designer before proceeding
with work. Failure to notify Designer of
changing conditions releases the Designer of
responsibility. Changes made to the project
documents without the consent of the
Designer are unauthorized.
Do not make drawings, use, copy or
distribute. Contact Designer if more
information is needed.

REVISIONS:

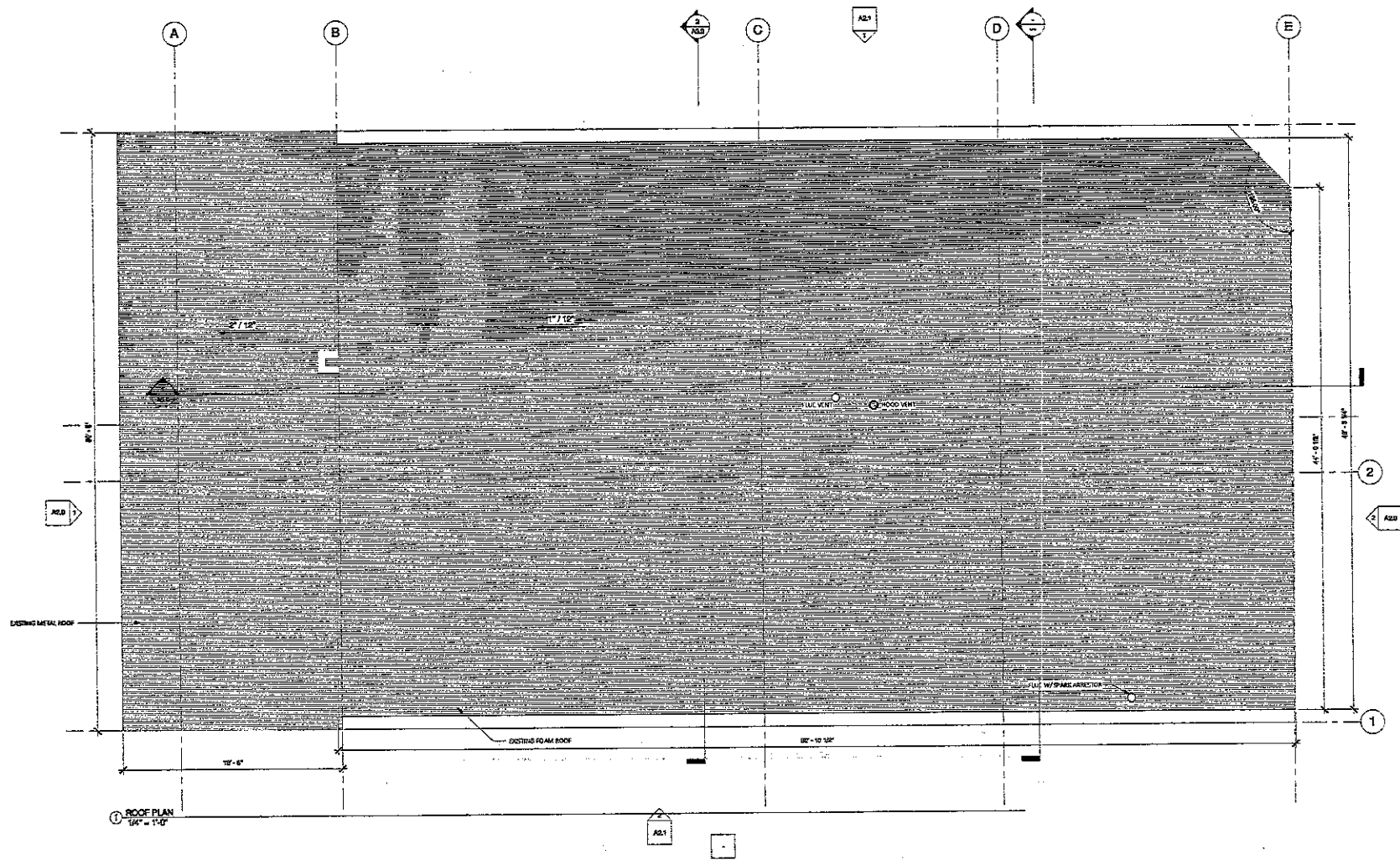
THE HEARTH - RENOVATION
138 GRAND AVE, PONCHA, CO
PERMIT SET

Project Number	
Date	May 17, 2022
Drawn by	Author
Checked by	Checker

A1.5
ROOF PLAN

Scale: 1/8" = 1'-0"
Note: Half scale for field @ 3/16" = 1'-0"

DATE PLOTTED: 05/19/2022 5:25:40 PM



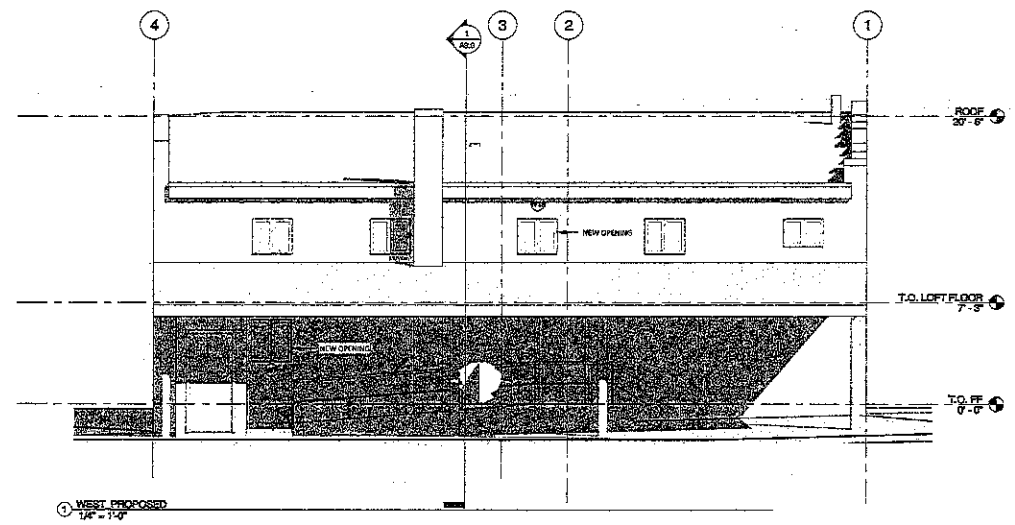
REVIEWED
FOR CODE
COMPLIANCE

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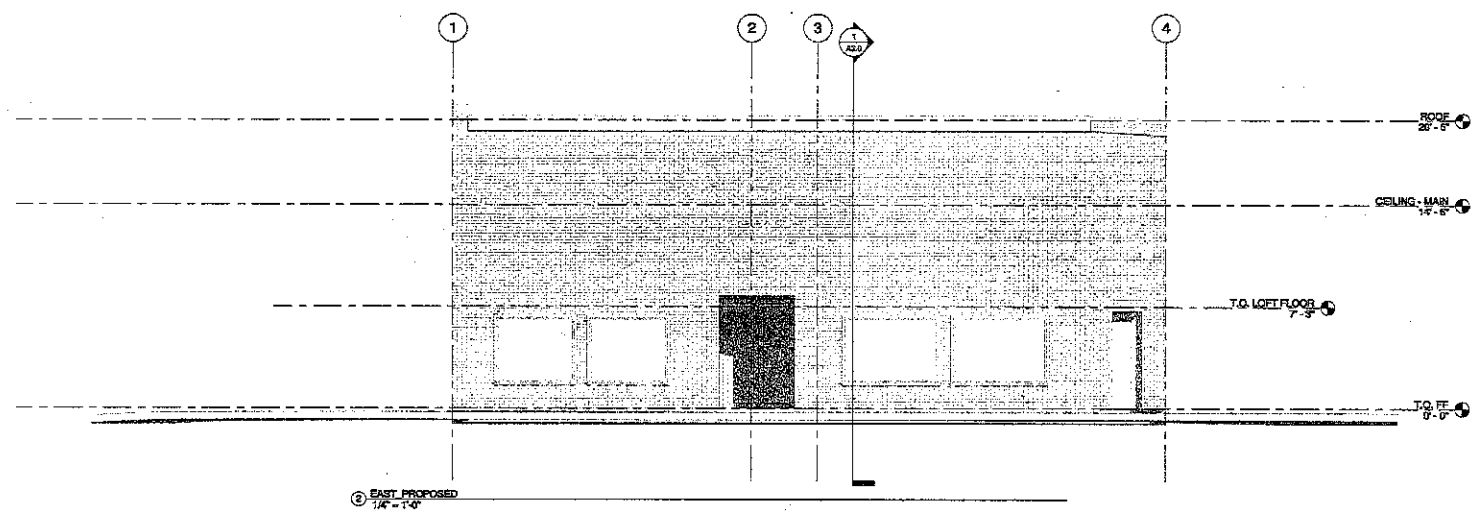


NOTES
Any conditions regarding the fabrication of drawings or specifications are to be clarified with the Designer before construction. Any changes or conditions in drawings or specifications to be introduced by the contractor shall be brought to the attention of the Designer before proceeding with work. Failure to notify the Designer of changes, conditions, or errors shall be the responsibility of the contractor. Changes made to the drawings without the consent of the Designer are prohibited. Do not scale drawings, use exact dimensions. Contact Designer if more information is needed.

REVISIONS:



① WEST PROPOSED
1/4" = 1'-0"



② EAST PROPOSED
1/4" = 1'-0"

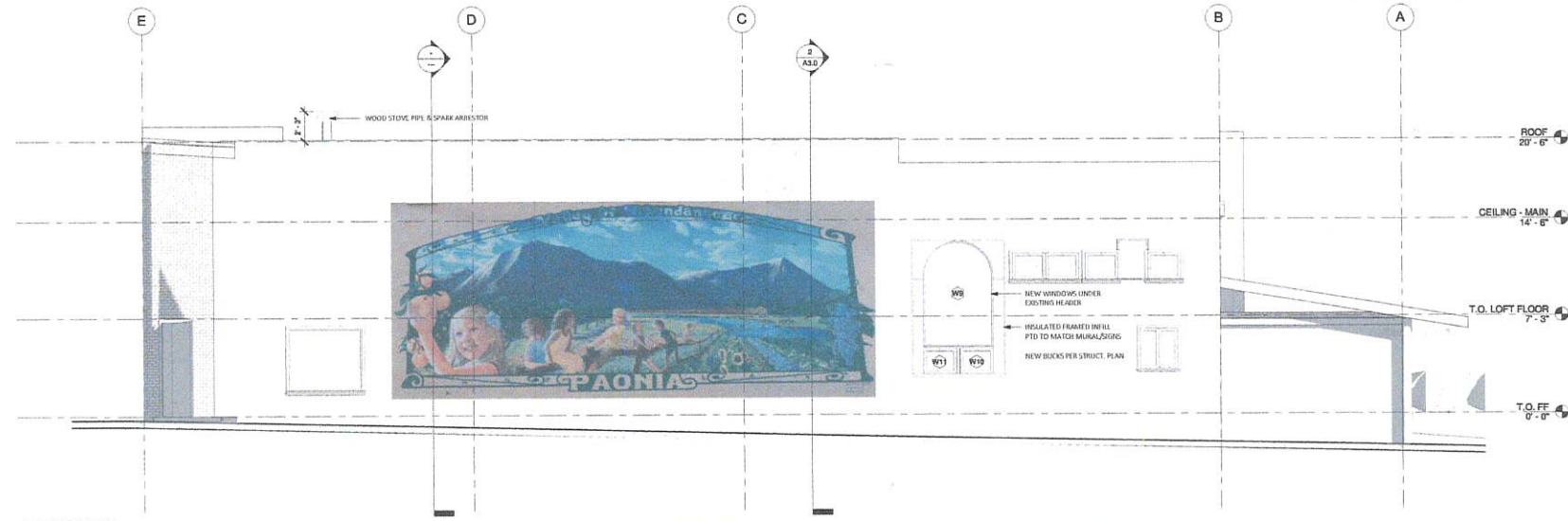
THE HEARTH - RENOVATION
138 GRAND AVE., PAONIA, CO
PERMIT SET

Project Number:	Project Name:
124	May 17, 2022
Drawn by:	Author:
Checked by:	Checker:

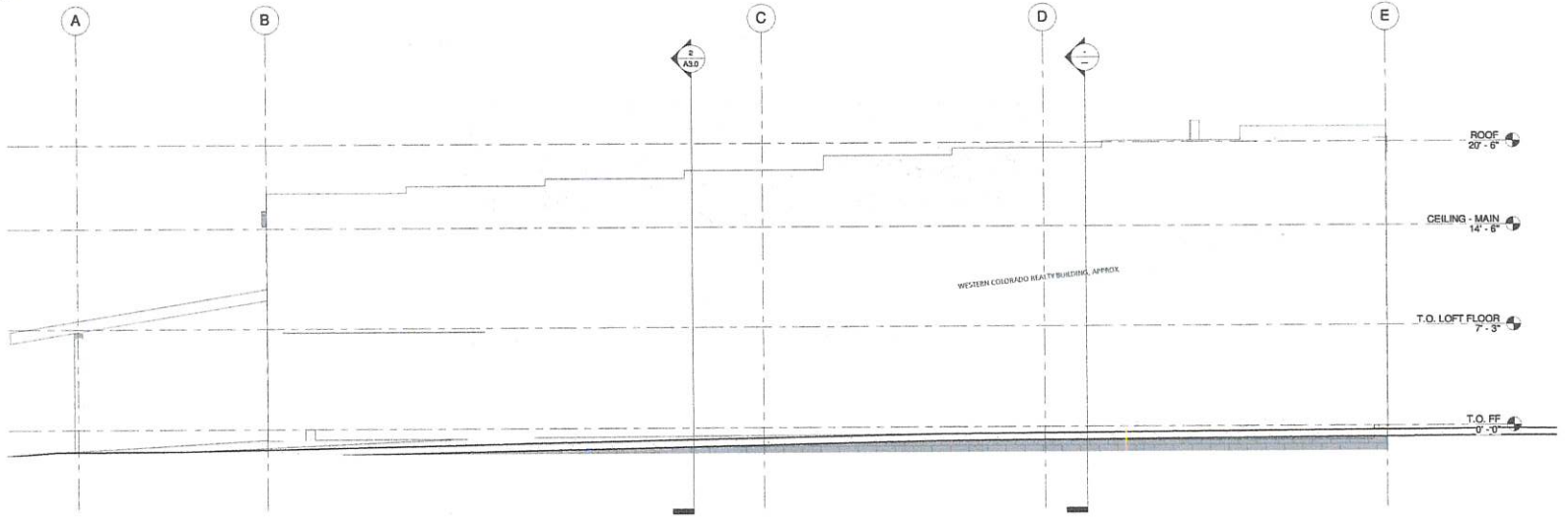
A2.0
PROPOSED ELEVATIONS
Scale: 1/4" = 1'-0"
Notes: All work to be in accordance with the 2021 International Building Code (IBC) and all applicable local codes.

REVIEWED
FOR CODE
COMPLIANCE

05/18/2022 5:25:40 PM



1 NORTH PROPOSED
1/4" = 1'-0"



2 SOUTH PROPOSED
1/4" = 1'-0"



NOTES
Any questions regarding the intent of the drawing or specifications are to be clarified with the Designer before construction. Any discrepancies in dimensions or field conditions to be immediately brought to the attention of the Designer before proceeding with work. Failure to notify Designer of responsibility. Changes made in the present documents without the consent of the Designer are unauthorized.
Do not make drawings, use raised dimensions. Contact Designer if more information is needed.

REVISIONS:

THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project Number	Project Number
Date	May 17, 2022
Drawn by	Author
Checked by	Checker

A2.1
PROPOSED
ELEVATIONS
Scale 1/4" = 1'-0"
Date: 05/18/2022 10:02:17 AM

REVIEWED
FOR CODE
COMPLIANCE

05/16/2022 5:25:40 PM

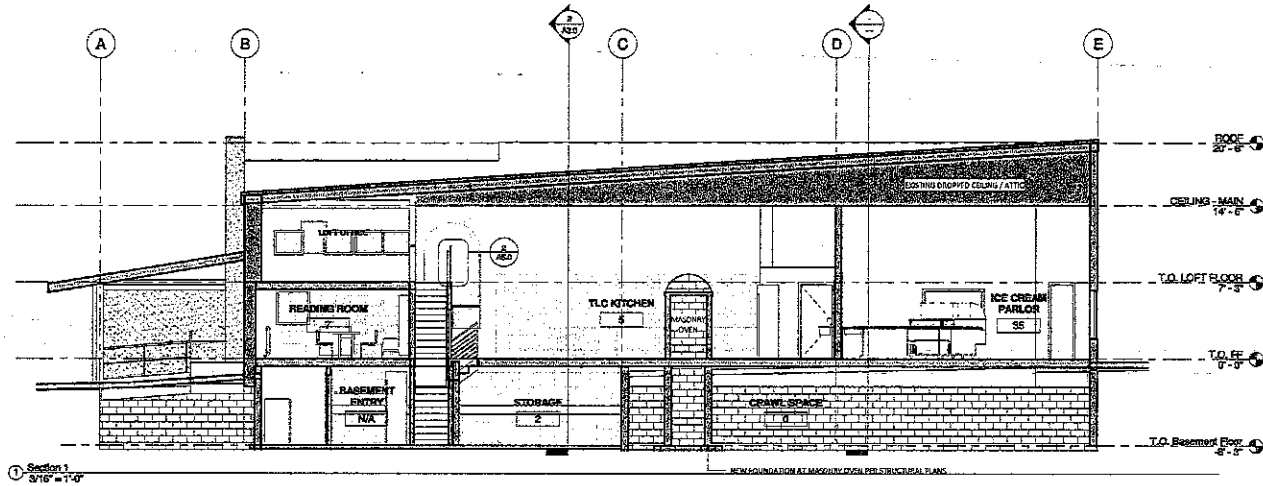


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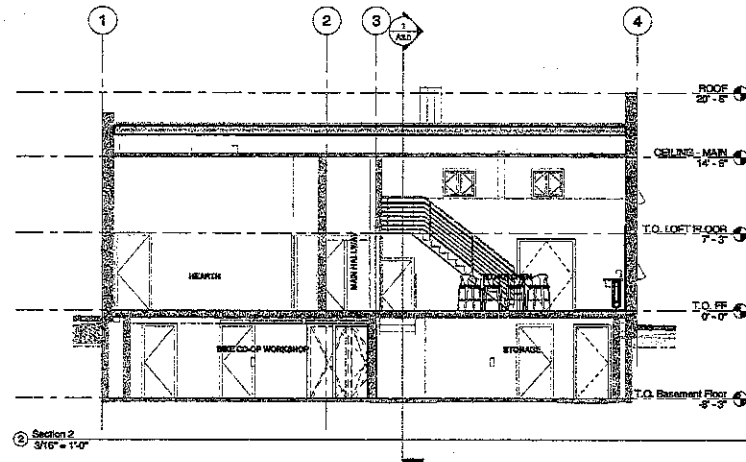
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970-498-4807
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NOTES
Any conditions regarding the latest edition of code or specifications are to be clarified with the Designer before construction. Any changes to the drawings or specifications are the responsibility of the Designer before proceeding with work. Plans to modify the design or changing conditions without the Designer's responsibility. Changes made to the permit documents without the consent of the Designer are unauthorized. Do not make changes, measurements, dimensions. Contact Designer if any information is needed.

REVISIONS:



① Section 1
3/16" = 1'-0"



② Section 2
3/16" = 1'-0"

THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project Number	Project Name
Date	May 17, 2022
Drawn by	Author
Checked by	Checker

A3.0
BUILDING
SECTIONS

Scale: 3/16" = 1'-0"
Notes: Millwork & Painted @ 50% or 100%
SEE DRAWING 1000000000

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FOR CODE
COMPLIANCE

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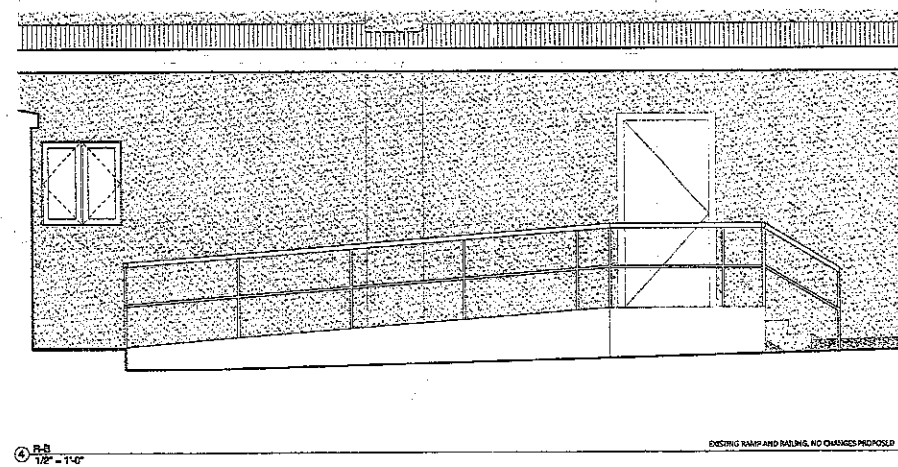
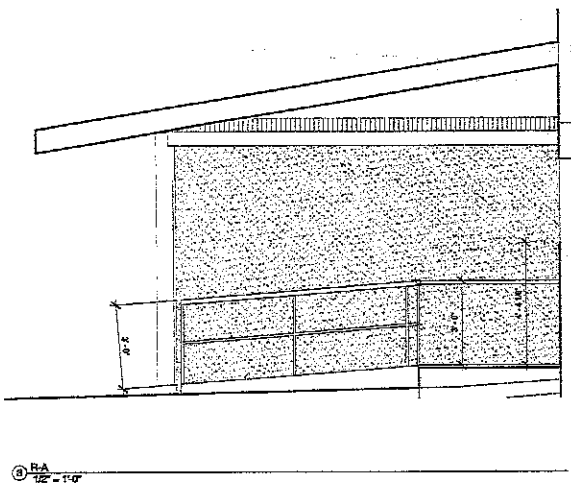
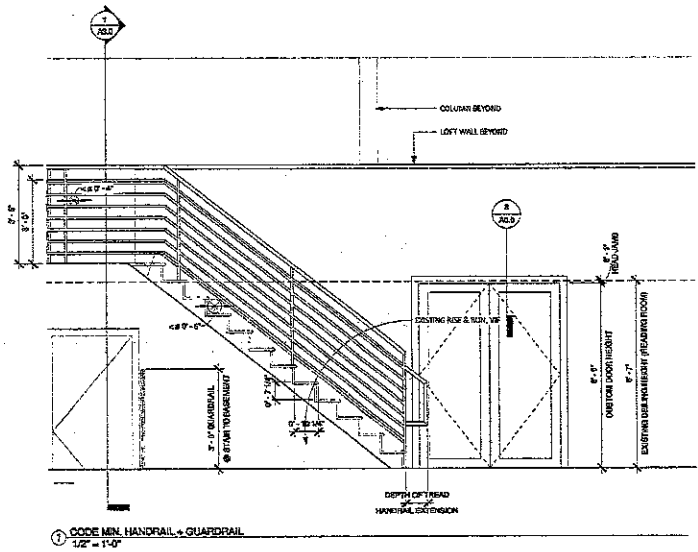
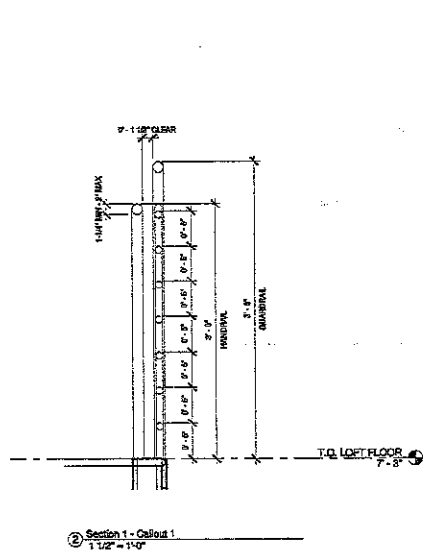


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NOTES
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REVISIONS:



THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project Number	Project Name
Date	May 17, 2022
Drawn by	Author
Checked by	Checker

A5.0
STAIR + RAMP
DETAILS
Scale: As Indicated
Revised: Not used if placed @ 07/26/21 11:07 AM

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COMPLIANCE

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NOTES

Any conditions regarding the location, change or specifications are to be clarified with the Designer before construction. Any discrepancies, instructions or omissions with work, failure to notify Designer of changing conditions and/or the Designer's responsibility. Changes made by the owner without the consent of the Designer, are not binding. In the event of a dispute, the Designer's interpretation shall prevail. Contact Designer if more information is needed.

REVISIONS:

THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project Number: Project Name:
Date: May 12, 2022
Drawn by: Author
Checked by: Gender

A7.0
SCHEDULES

Scale: 1/8" = 1'-0"
Note: Not scale if part of EDC or 1/4" = 1'-0"

Door Schedule					
Door Tag	Level	Door Size	Family and Type	Phase Created	Finish
101	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	PROPOSED	PANIC EXIT DEVICE
102	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	EXISTING	PANIC EXIT DEVICE
103	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	PROPOSED	PASSAGE
104	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	PROPOSED	PANIC EXIT DEVICE
105	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	EXISTING	PASSAGE
106	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	PROPOSED	PANIC EXIT DEVICE
107	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	PROPOSED	LEVER HANDLE - PRIVACY
108	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	EXISTING	LEVER HANDLE - PRIVACY
109	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	EXISTING	PASSAGE
110	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	EXISTING	PASSAGE
111	T.O. Basement Floor	36" x 80"	Single-Flush: 36" x 80"	EXISTING	PASSAGE
201	T.O. FF	36" x 84"	Single-Flush: 36" x 84"	EXISTING	LEVER HANDLE WITH KEYED LOCK/DEADBOLT
202	T.O. FF	60" x 94"	Double-Glass 1: 60" x 94"	EXISTING	LEVER HANDLE WITH KEYED LOCK/DEADBOLT
203	T.O. FF	60" x 94"	Double-Glass 1: 60" x 94"	EXISTING	LEVER HANDLE WITH KEYED LOCK/DEADBOLT
204	T.O. FF	60" x 94"	Double-Glass 1: 60" x 94"	EXISTING	LEVER HANDLE WITH KEYED LOCK/DEADBOLT
205	T.O. FF	36" x 84"	Single-Flush: 36" x 84"	EXISTING	LEVER HANDLE WITH KEYED LOCK/DEADBOLT
206	T.O. FF	36" x 84"	Single-Flush: 36" x 84"	EXISTING	PASSAGE
207	T.O. FF	36" x 80"	Single-Flush: 36" x 80"	EXISTING	LEVER HANDLE - PRIVACY
208	T.O. FF	36" x 80"	Single-Flush: 36" x 80"	EXISTING	LEVER HANDLE - PRIVACY
209	T.O. FF	30" x 80"	Single-Flush: 30" x 80"	EXISTING	LEVER HANDLE - KEYED
210	T.O. FF	36" x 80"	Single-Flush: 36" x 80"	EXISTING	LEVER HANDLE - KEYED
211	T.O. FF	36" x 80"	Single-Flush: 36" x 80"	EXISTING	LEVER HANDLE - KEYED
212	T.O. FF	36" x 84"	Single-Flush: 36" x 84"	EXISTING	PASSAGE
213	T.O. FF	60" x 94"	Double-Glass 1: 60" x 94"	EXISTING	LEVER HANDLE - KEYED
214	T.O. FF	36" x 80"	Single-Flush: 36" x 80"	EXISTING	LEVER HANDLE - KEYED
215	T.O. FF	60" x 77"	Double-Glass 1: 60" x 77"	PROPOSED	LEVER HANDLE - KEYED
216	T.O. FF	60" x 77"	Double-Glass 1: 60" x 77"	PROPOSED	LEVER HANDLE - KEYED
217	T.O. FF	36" x 80"	Single-Flush: 36" x 80"	EXISTING	PANIC EXIT DEVICE
218	T.O. FF	36" x 84"	Single-Flush: 36" x 84"	EXISTING	PANIC EXIT DEVICE
201	T.O. LOFT FLOOR	30" x 80"	Single-Flush: 30" x 80"	EXISTING	LEVER HANDLE - KEYED
202	T.O. LOFT FLOOR	30" x 80"	Single-Flush: 30" x 80"	EXISTING	LEVER HANDLE - PRIVACY

T1 - SHY ABOVE DOOR TO READ TAGS TO REMAIN UNOCCUPIED DURING BUSINESS HOURS

Window Schedule						
Mark	Width	Height	Level	Sill Height	Type	Comments
W1	5'-6"	4'-7"	T.O. FF	1'-11"	Window-Fixed	EXISTING
W2	6'-7"	4'-7"	T.O. FF	1'-11"	Window-Fixed	EXISTING
W3	8'-7"	4'-7"	T.O. FF	1'-11"	Window-Fixed	EXISTING
W4	5'-6"	4'-7"	T.O. FF	1'-11"	Window-Fixed	EXISTING
W5	5'-0"	4'-7"	T.O. FF	1'-11"	Window-Fixed	EXISTING
W6	4'-2"	3'-10"	T.O. FF	3'-0"	Window-Fixed	EXISTING
W7	2'-10"	3'-0"	T.O. FF	3'-0"	Window-Casement-Double	PROPOSED
W8	2'-10"	3'-0"	T.O. FF	3'-4"	Window-Casement-Double	EXISTING
W9	5'-3"	7'-10 1/2"	T.O. FF	5'-0 1/2"	Window-Fixed-Round-Top	PROPOSED NEW DOUBLE GLAZED ARCHED WINDOW BY OWNER
W10	2'-6"	2'-0"	T.O. FF	2'-11"	Window-Awning-Single	PROPOSED
W11	2'-6"	2'-0"	T.O. FF	2'-11"	Window-Awning-Single	PROPOSED
W12	2'-6"	2'-0"	T.O. FF	10'-0"	Window-Awning-Single	EXISTING
W13	2'-6"	2'-0"	T.O. FF	10'-0"	Window-Awning-Single	EXISTING
W14	2'-6"	2'-0"	T.O. FF	10'-0"	Window-Awning-Single	EXISTING
W15	2'-6"	3'-0"	T.O. FF	10'-0"	Window-Fixed	EXISTING
W16	2'-6"	2'-0"	T.O. FF	10'-0"	Window-Awning-Single	EXISTING
W17	2'-10"	2'-6"	T.O. LOFT FLOOR	3'-6"	Window-Casement-Double	EXISTING
W18	2'-10"	2'-6"	T.O. LOFT FLOOR	3'-6"	Window-Casement-Double	EXISTING
W19	2'-10"	2'-6"	T.O. LOFT FLOOR	3'-6"	Window-Casement-Double	PROPOSED
W20	2'-10"	2'-6"	T.O. LOFT FLOOR	3'-6"	Window-Casement-Double	EXISTING
W21	2'-10"	2'-0"	T.O. LOFT FLOOR	4'-0"	Window-Casement-Double	EXISTING
W22	3'-0"	1'-8"	T.O. FF	10'-0"	Window-Fixed-Half-Round	PROPOSED
W23	3'-0"	1'-8"	T.O. FF	10'-0"	Window-Fixed-Half-Round	PROPOSED

NEW WINDOWS TO BE WEATHER SHIELD ALUMINUM CLAD FINISH/INTERIOR LINEN.

REVIEWED
FOR CODE
COMPLIANCE

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Paonia, CO 81450
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NOTES
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Do not scale drawings. Use noted dimensions. Contact Designer if more information is needed.

REVISIONS:

NO.	DESCRIPTION

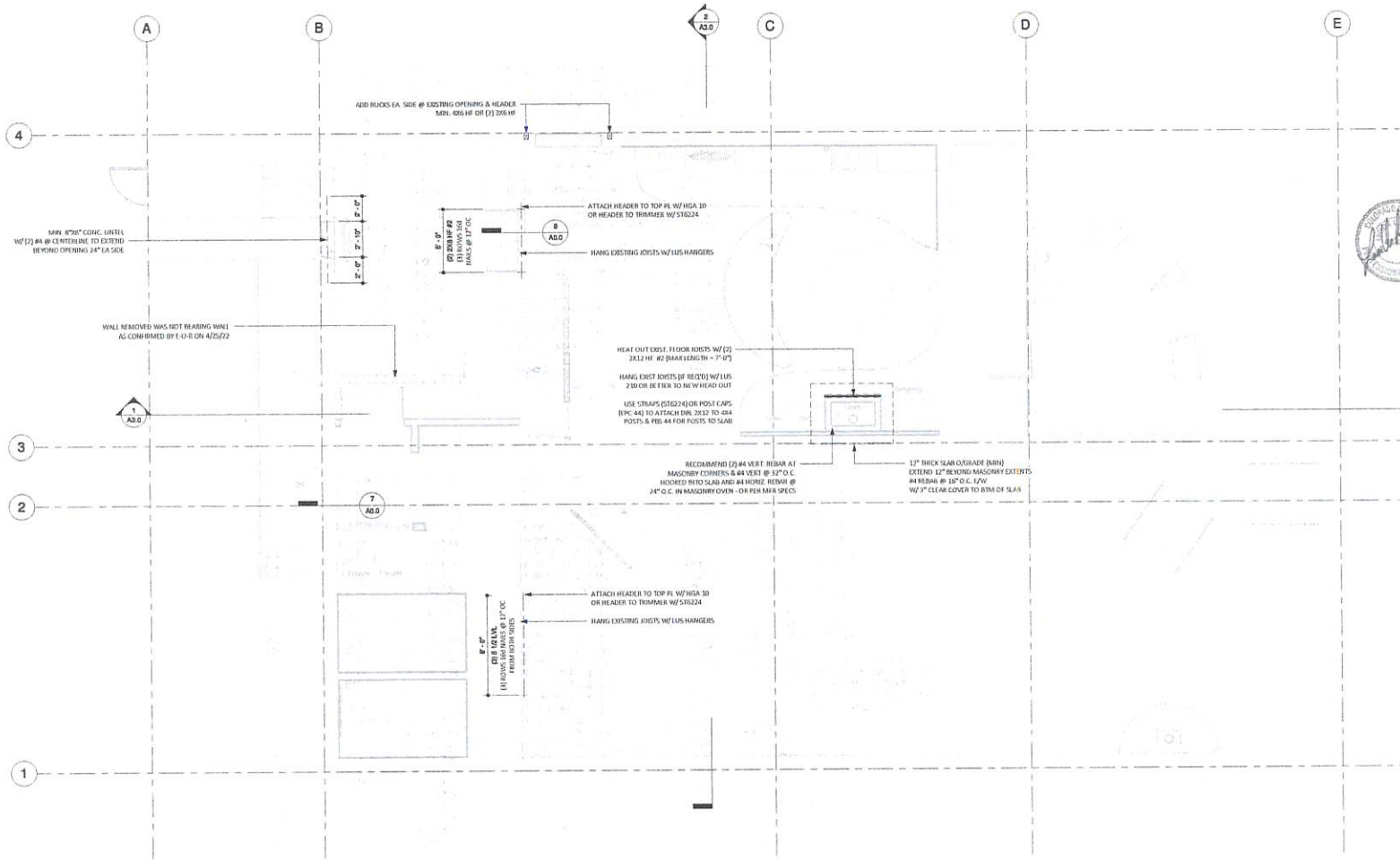
THE HEARTH - RENOVATION
138 GRAND AVE, PAONIA, CO
PERMIT SET

Project Number	Project Number
Date	May 15, 2022
Drawn by	Author
Checked by	Checker

S1.0
STRUCTURAL PLAN

Scale: 1/4" = 1'-0"
Note: Half scale if printed @ 50% on 11"x17"

5/10/2022 5:25:40 PM



1 STRUCTURAL PLAN
1/4" = 1'-0"

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COMPLIANCE

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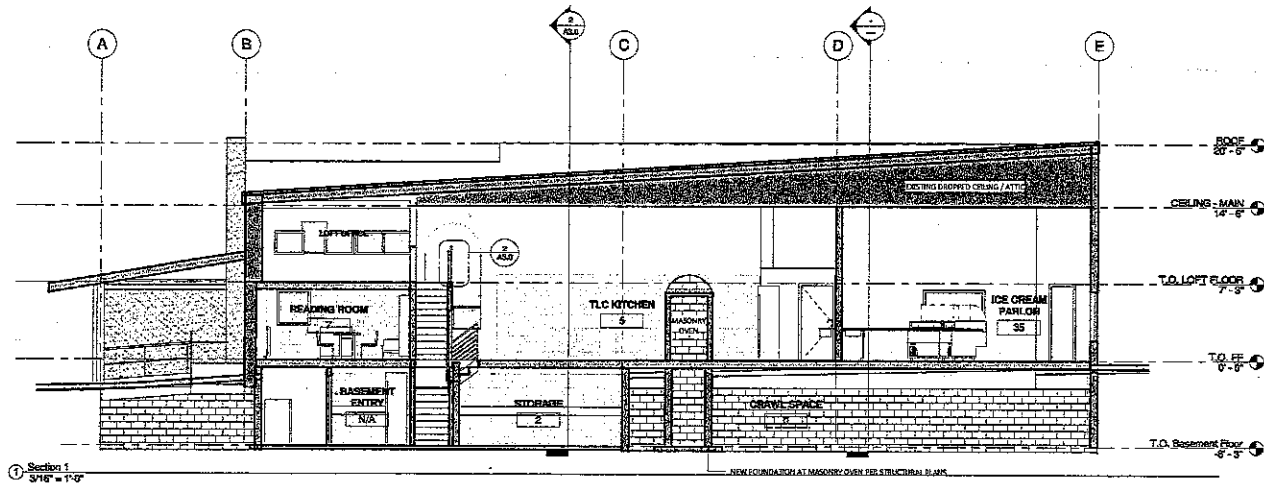


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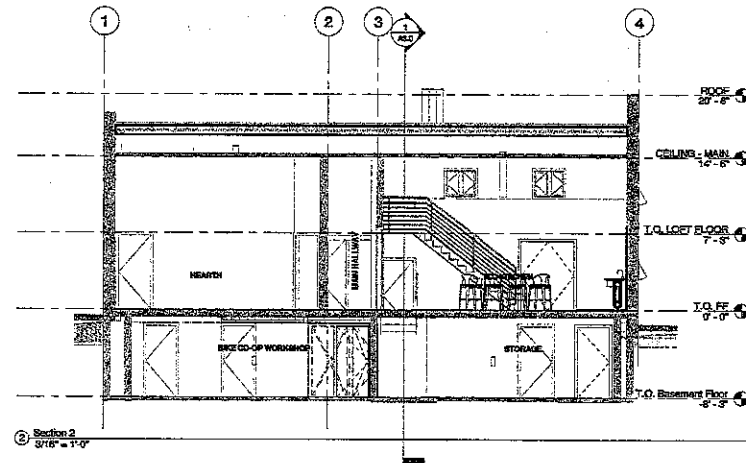
www.studiomw.com
138 Grand Ave, 2nd Fl, West 1007
Paconia, CO 80645
303-610-4527
www.studio.mw.us

NOTES
Any conditions regarding the extent of the
Contract or specifications are to be clarified
with the Designer before execution. Any
dimensions in parentheses or in bold
conditions to be immediately brought to the
attention of the Designer before proceeding
with work. Failure to notify Designer of
changing conditions releases the Designer of
responsibility. Changes made to Permit
documents without the designer's office
Designer are void. Do not scale drawings. Use stated
dimensions. Contact Designer if space
shortage is needed.

REVISIONS:



Section 1
3/16" = 1'-0"



Section 2
3/16" = 1'-0"

THE HEARTH - RENOVATION
138 GRAND AVE, PACONIA, CO
PERMIT SET

Project Number	Project Number
Date	May 12, 2022
Drawn by	Author
Checked by	Checker

A3.0
BUILDING
SECTIONS

Scale 3/16" = 1'-0"

Note: Half scale if plotted @ 20% or 17.5%

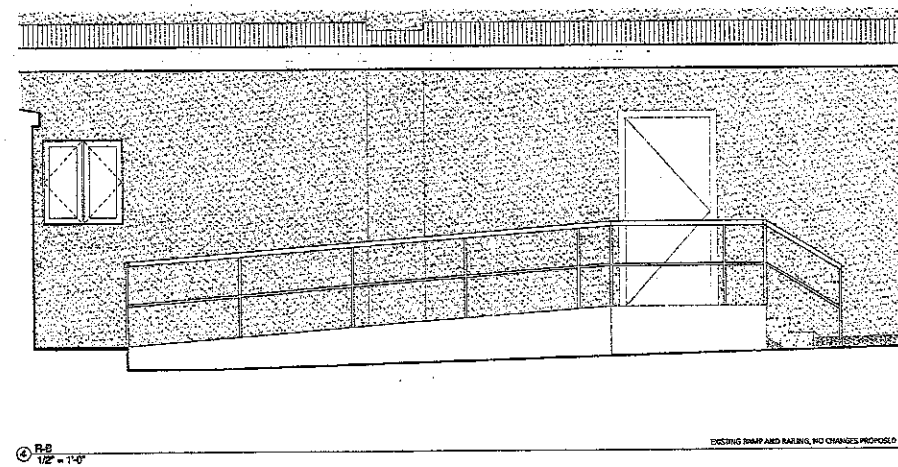
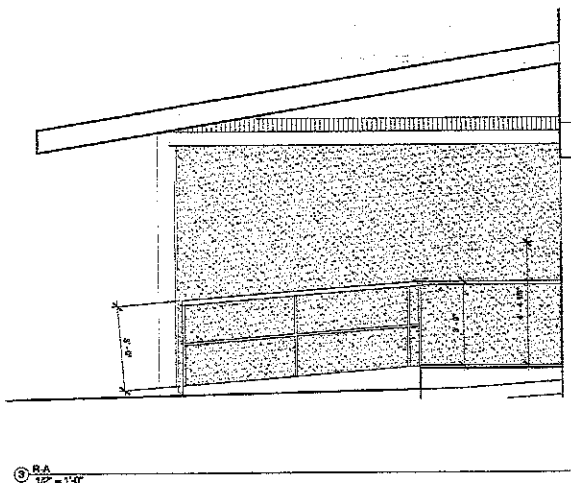
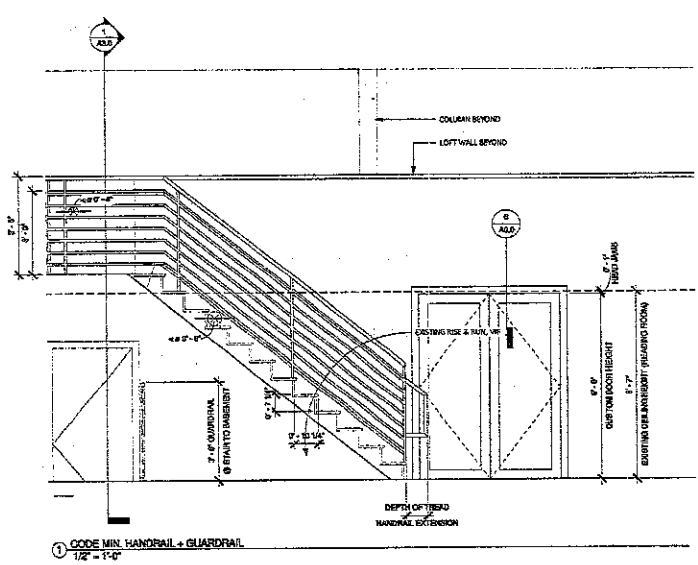
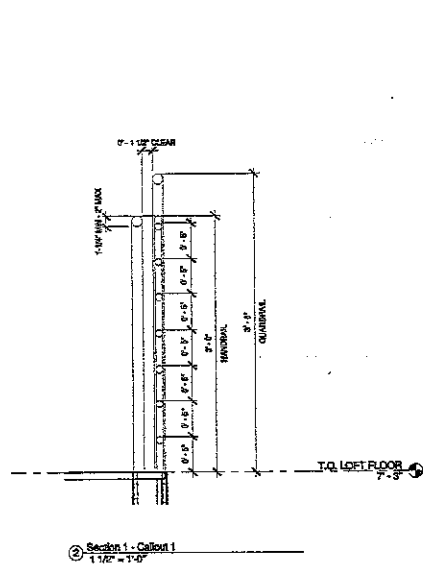
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COMPLIANCE

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NOTES
Any questions regarding the intent of the drawings or specifications are to be clarified with the Designer before construction. Any discrepancies in dimensions or field conditions are to be immediately brought to the attention of the Designer before proceeding with work. Failure to notify the Designer of such discrepancies releases the Designer of responsibility. Changes made to the project discussion without the consent of the Designer are unauthorized.
Do not scale drawings. Use exact dimensions. Contact Designer if more information is needed.

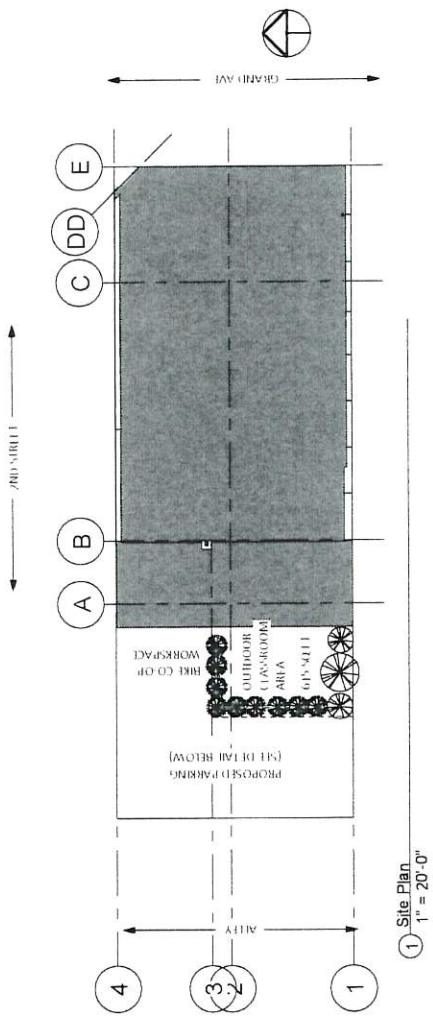
REVISIONS:



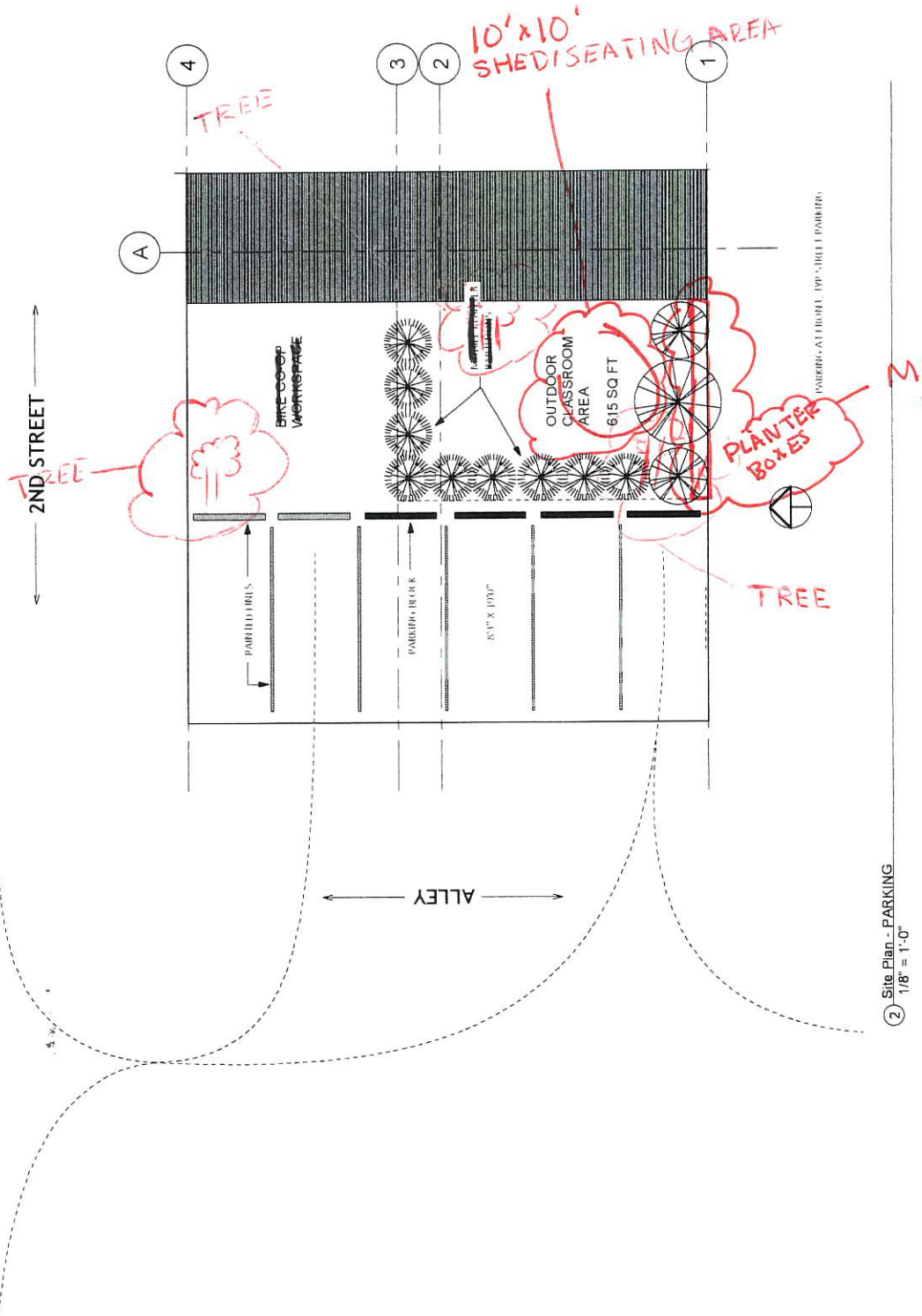
THE HEARTH - RENOVATION
138 GRAND AVE., PAONIA, CO
PERMIT SET

Project number: Project Number
Date: May 17, 2022
Design by: Author
Checked by: Checker

A5.0
STAIR + RAMP
DETAILS
Scale: As Indicated
Note: Not scale if printed @ 50% or 175%



EXAMPLE AUTOMOBILE CIRCULARIZATION





The Learning Council

education, creativity, & life skills

PO Box 1744 Paonia, CO 81428 970-433-5852

Oct 30, 2023

The Hearth timetable for Completion

Interior projects

Ice Cream Corner and Bike Shop/basement space Approved by Dan Reardon 2021+2022

TLC Kitchen December 2023 goal for approval of use

Windows completed October 2023

The Hearth Space December 2023 Goal for approval of use pending on parking variance

TLC office space mezzanine goal for approval December 2023

Restrooms approved

Exterior projects

Roof Compleat November 2023

Solar panel installation Completed by July 2024

Shed/Classroom seating- March 2024

Walk in cooler December 2023

Planting of three trees and medicinal herbs spring-fall 2024

Build guild Exterior Art Project December 2024

Type of Plant Material	Minimum Size	Quantity
Tree	2' tall	3
Medicinal Herbs	1"x1"	150

Town of Paonia

214 Grand Avenue
Paonia CO 81428
970-527-4101

NO. 359993

RECEIPT

PAID 36-23

DATE OCT 30 2023

RECEIVED FROM TLC

\$ 250

Two Hundred Fifty Dollars TOWN OF PAONIA DOLLARS

FOR Zoning Board - Perkins Variance Fee

AMOUNT OF ACCOUNT		
THIS PAYMENT	<u>250</u>	
BALANCE DUE		

- CASH
- CHECK 250
- CREDIT CARD
- MONEY ORDER

BY [Signature]

AFFIDAVIT OF PUBLICATION

State of Pennsylvania, County of Lancaster, ss:

Hadley Christman, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Delta County Independent, a newspaper printed and published in the City of Delta, County of Delta, State of Colorado, and that this affidavit is Page 1 of 1 with the full text of the sworn-to notice set forth on the pages that follow, and the hereto attached:

PUBLICATION DATES:

Jul. 18, 2024

Jul. 25, 2024

Aug. 1, 2024

NOTICE ID: baYwBvuKt7IEKw28vfOq

PUBLISHER ID: DCI000507

NOTICE NAME: SRV 2024-03(a) TLC 138 Grand Ave

Publication Fee: 46.64

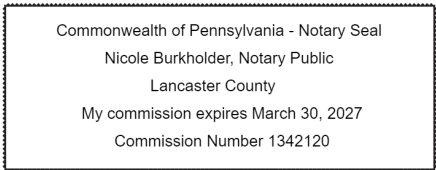
I declare under penalty of perjury under the law of Colorado that the foregoing is true and correct.

Hadley Christman

(Signed) _____

VERIFICATION

State of Pennsylvania
County of Lancaster



Subscribed in my presence and sworn to before me on this: 08/02/2024

Nicole Burkholder

Notary Public
Notarized remotely online using communication technology via Proof.

**TOWN OF PAONIA,
COLORADO
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the Town of Paonia will hold a Public Hearing commencing Wednesday, August 7, 2024, at 6:30 p.m., at the Paonia Town Hall, 214 Grand Avenue, Paonia, Colorado 81428. The purpose of the Public Hearing is to consider an application from the Learning Council for a Special Use Review for The Hearth at the property located at 138 Grand Avenue, to allow Commercial Recreational Use.

Further Notice is hereby given that the Board of Trustees of the Town of Paonia will hold a Public Hearing commencing Tuesday, August 27, 2024 at 6:30 p.m., at the Paonia Town Hall, 214 Grand Avenue, Paonia, Colorado 81428. The purpose of the Public Hearing is to consider an application from the Learning Council for a Special Use Review for The Hearth at the property located at 138 Grand Avenue, to allow Commercial Recreational Use.

Any person may appear at the Public Hearings and be heard regarding the matters under consideration. Copies of the application and related application materials are on file and available for public inspection in the office of the Town Clerk, 214 Grand Avenue, Paonia, Colorado 81428.

Dated the 5th day of July, 2024.

TOWN OF PAONIA, COLORADO
Samira Vetter, Town Clerk
Published Thursday, July 18, 25, August 1, 2024

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Frame Lypps Revocable Trust
158 Mystery Lane
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Cedarhurst, NY 11516-2011

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 500 Paganio Valley Rd, Ste 20
 Walnut Creek, CA 94596-3845

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Sent To: **Jeffrey Scott Rupert**
 Street and Apt. No., or PO Box No.
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Postage	\$0.73
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Sent To: **Michael Jackson**
 Street and Apt. No., or PO Box No.
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 Paonia, CO 81428-0074

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Sent To: **Donald Smith**
 Street and Apt. No., or PO Box No.
 P.O. Box 1658
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 Paonia, CO 81428-0023

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 Madison, WI 53717-2152

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 Paonia, CO 81428-1744

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Paonia, CO 81428-1649

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Nicholas Lypps Revocable Trust
Street and Apt. No., or PO Box No.
P.O. Box 356
City, State, ZIP+4®
Paonia, CO 81428-0356

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40218 M Road
City, State, ZIP+4®
Paonia, CO 81428-6414

PS Form 3800, January 2023 PSN 7500-02-000-9047 See Reverse for Instructions

RE: Posted notice

Ruben Santiago <RubenS@townofpaonia.com>

Wed 7/17/2024 4:21 PM

To:Alicia Michelsen <alicia@thelearningcouncil.org>

Cc:Samira V <SamiraV@townofpaonia.com>;Paonia <paonia@townofpaonia.com>

Thank you, Ms. Michelsen.

Best,
Ruben



Ruben Santiago,
Deputy Clerk / CIW Associate
P : (970) 527-4101
F : (970) 527-4102
E : RubenS@townofpaonia.com

214 Grand Ave.
Paonia, CO 81428

<https://townofpaonia.colorado.gov/>

From: Alicia Michelsen <alicia@thelearningcouncil.org>

Sent: Wednesday, July 17, 2024 4:08 PM

To: Ruben Santiago <RubenS@townofpaonia.com>

Subject: Posted notice

You don't often get email from alicia@thelearningcouncil.org. [Learn why this is important](#)





Wednesday June 26, 2024
10 am
meeting w/ stefan

SPECIAL REVIEW/VARIANCE APPLICATION

Name LORI HUNTER Application Date 4/20/2024
Property Address 325 Grand Ave. P&Z Hearing Date 8/7/2024 @ 6:30PM
Telephone Number 720 595 9674 Council Hearing Date 8/27/2024 @ 6:30PM

11.01 Intent. Each established zoning district is intended for a specific type or category of land use (e.g., single family dwelling in an R-1 district). However, there are certain uses, which may or may not be appropriate in a district depending on the situation. For example, the location, nature of the proposed use, character of the surrounding area, traffic capacities of adjacent streets, and potential environmental effects all may dictate that the circumstances of the development should be individually reviewed. The special review process is established to provide for these specific uses without establishing numerous separate zoning classifications. It is the intent of this chapter to provide a review of such uses so that the community is assured that the proposed uses are compatible with the location and surrounding land uses.

11.02: When Allowed. Within each zoning district, certain land uses are permitted by right, by special review or prohibited. Special review uses may be permitted in designated districts upon review by the Planning and Zoning Commission and approval by the Town Board.

11.03: Site Plan and Supporting Documents. There shall be filed with each special review application a site plan drawn to scale and an appropriate number of copies as determined by the Town Manager. The site plan shall be drawn in black ink on Mylar. Following approval by the Town Board the applicant shall submit a reproducible copy of the original site plan to the Town for the Town's permanent records.

The special review application shall include the following:

- The site plan showing the location of all buildings, structures and other improvements to be placed on the real property. A building envelope may be used in lieu of showing the exact building or structure location to allow for minor variations in the location.
- A legal description of the property, which may require a survey.
- A list of the names and addresses of all property owners within 200 ft. of the property.
- All off-street parking and loading areas.
- The location of all ways for ingress and egress to all buildings, and parking areas.
- Service and refuse collection areas.
- Major screening proposals.
- The size, shape, height and character of all signs.
- The area and location of all open space and recreation areas.
- The location and type of outdoor lighting.
- The character and type of landscaping to be provided. The landscaping shall be indicated in tabular form showing the type of plant material, minimum size and quantity. The approximate location of landscaping shall be indicated on the site plan.
- The anticipated timetable for completion. If the project is to be completed in phases, then the data for completion of each phase shall be indicated.

- All owners and lien-holders of the property shall sign the following agreement that will be placed on the original special review site plan:

The undersigned agree that the real property described on the site plan shall be developed only in accordance with the approved special review site plan and other provisions of the zoning regulations of the Town of Paonia.

I. Site Plan

Any application for Special Review/Variance that includes a new structure or improvement to an existing structure will require a site plan. Plans may be hand drawn, but must be clearly written with accurate measurements indicated. The Site Plan may be submitted as two separate drawings or one drawing with an overlay.

II. Project Summary

Please answer only the questions that apply to your Special Review/Variance request. Any additional information, which would be beneficial in the consideration, may be noted in the "Comments" section.

- a. Reason for Special Review/Variance change of use to "lodging" - an allowable use in C-1 zones with special review
- b. Current Zoning of Property C-1
- c. What land boundary changes are necessary? none
- d. What addition/changes to existing buildings/structures will be made? none
- e. What new buildings/structures will be constructed? back fence, parking space at alley
- f. What additions/changes in utilities will be necessary? Include water, sewer, gas, and electric. none
- g. Will property have Commercial/Private or Public Use? Commercial, as zoned
- h. Anticipated traffic flow and volume? 2-4 persons in residence 2 weeks per month, on average
- i. Detail the Safety and Disabled Access accommodations? _____

- j. Detail the possible environmental impact; such as noise, lighting glare, pollutants, etc. noise reduction from prior use,
no additional lighting, pollutants

Comments: _____

III. Public Notice Requirements

Stefan W

All property owners within 200 feet of the property being reviewed shall be notified via certified mail of a public hearing whereby the Planning and Zoning Commission shall consider this application. It is incumbent upon the applicant to request the names of the property owners from the Delta County GIS Department (970-874-2119). Please have the GIS e-mail the information to Corinne@townofpaonia.com. Applications for Special Review shall be filed at least 30 days in advance of the meeting at which they are to be considered by the Planning and Zoning Commission. Incomplete applications shall result in denial of application acceptance and returned for completion, consequentially delaying hearings.

IV. Acknowledgement to Pay Fees

This application must be completed and a fee of \$250.00 is assessed to include preliminary costs of administrative services, initial correspondence, publication and certified mailings to property owners within 200 feet of said property. **Payment must accompany this application.**

FEES PAID HEREUNDER ARE NON-REFUNDABLE UPON SIGNING

By signing below, I acknowledge that I will be billed for any overages of costs incurred for this Special Review/Variance. I am aware that upon acceptance of the Special Review/Variance by the Planning and Zoning Commission, a building permit must be applied and approved by the Building Inspector, if applicable.

SIGNED Lori Hunter

PRINTED NAME Lori Hunter DATE: 6/20/24

Clerks Acceptance Dannia M. Vetter DATE 6/20/24

Special Review / Variance Application

- Name: Lori Hunter
- Property Address: 325 Grand Avenue
- Telephone number: 720-595-9647

Three site plans at end of document.

- #1, lot with building
- #2, building with proposed interior alterations
- #3, lot with proposed exterior alterations

Legal description:

- 325 GRAND AVE PAONIA 81428 S: 6 T: 14S R: 91W Subdivision: ORIGINAL PAONIA Block: 9 Lot: 28 TOTAL 0.067 AC+- LOT 28 BLK 9 ORIGINAL PAONIA. BK 262 PG 243 BK 537 PG 399 BK 541 PG 811 R-611306 R-638080 R-638081 POA R-638082 R-715495 R-721135 R-721136 R739768 SOA R739769

List of names and addresses of property owners within 200 feet, identified through Delta County's Tax Parcel GIS maps and assessor's records. Have also requested from Delta County GIS office, with request that information be emailed to StefanW@TownofPaonia.com

Owner	Property within 200 feet	Mailing Address
Donna Wright	340 Grand Ave	PO Box 582, Paonia, CO 81428
Melissa Jaffee	334 Grand Ave	2522 Chase St, Edgewater CO 80214
Infinite Potential	328 Grand Av	328 Grand Ave, Paonia, CO 81428
David McClellan	322 Grand Ave	POB 1162, Paonia, CO 81428
Louis Hayes	320 Grand Ave	POB 1713, Paonia, CO 81428
Charles Stewart	314 Grand Ave	POB 934, Paonia, CO 81428
312 Grand LLC	312 Grand Ave	1217 Pitkin Ave, Glenwood Springs, CO 81601
Paul Maudin	337 Grand Ave	POB 1553, Paonia, CO 81428
Stephen Rice	333 Grand Ave	POB 774, Paonia, CO 81428
John Sacklin (and Delaney Rudy)	329 Grand Ave	329 Grand Ave, Paonia, CO 81428
David Marek	321 Grand Ave	55 Pan American Ave, Paonia, CO 81428
Daniel Rubinoff	317 Grand Ave	1661, Paonia, CO 81428
PLC Co Assets	311 Grand Ave	16801 Greenspoint Park Drive, Suite 376, Houston, TX 77060
Nancy Cockroft	305 Grand Ave	35789 Back River Rd, Hotchkiss 81419
Jeff Skeels	332 Onarga	3975 Clear Fork Rd, Craword, CO 81415
David Gilbert	328 Onarga	Choice properties, 2170 Southgate Lane, Delta 81416
Skip Naft	324 Onarga	POB 1275, Paonia, CO 81428
David Evans	320 Onarga	929 3rd St SE, Paris TX 75460
Molly Wheelock	314 Onarga	POB 1087, Paonia, CO 81428
Brossanova LLC	312 Onarga	POB 84, Paonia, CO 81428
Dianne Schevene	211 4th Street, Unit A	POB 1372, Paonia, CO 81428
Kathryn Swartz	209 4th street	POB 533, Paonia, CO 81428

All off-street parking and loading areas.

- See site plan #3 for parking space to be created off alley.

The location of all ways for ingress and egress to all buildings, and parking areas.

- See site plan #3 for all ingress and egress information.

Service and refuse collection areas.

- See site plan #3 for all service and refuse collection areas.

Major screening proposals.

- 6ft, wood & metal fence to be erected as displayed on site plan #3. Design as in picture below.



Size, shape, and character of all signs.

- All signs are to be removed. The prior signs (large PUB sign at front peak, chalkboard with daily offerings) already removed. PUB sign on fence to be removed and replaced with fence pickets of like kind.

The area and location of all open space and recreation areas.

- Noted on site plan #3.

The location and type of outdoor lighting.

- All outdoor lighting locations noted on site plan #3 and pictures are below. No changes.
- Two front lights on porch; circular, small LED bulbs, low wattage.



- At back, two bulbs (40 watts (450 lumens) each) under canopy as shown.



The character and type of landscaping to be provided.

- Site plan #3 makes note of landscaping. Primary changes are to replace back area – entirely covered with gravel – with native landscaping, vegetable beds, and a fruit tree.
- Planted material includes:

Location

Along back fence

In raised beds

Elsewhere

Material

Apricot tree

Vegetables

Native pollinator plants,
selected from CSU

Extensions

recommendations:

<https://extension.colostate.edu/topic-areas/insects/creating-pollinator-habitat-5-616/>

Early-Season

- Nodding onion - *Allium cernuum*
- Serviceberry - *Amelanchier alnifolia*
- Winecups - *Callirhoe involucrata*
- Sulphur flower - *Eriogonum umbellatum*
- Wallflower - *Erysimum spp*
- Prairie smoke - *Geum triflorum*
- Blue Flax - *Linum lewisii*
- Blue mist and firecracker penstemon - *Penstemon eatorii* and *P. virens*
- Pasque flower - *Pulsatilla patens*
- Flowering fruit trees including apples, cherries, peaches and plums
- Penstemons (many native and cultivar options, check with local nursery)
- Yarrow - *Achillea millefolium*

Mid-Season

- Lead Plant - *Amorpha canescens*
- Asters (many native and cultivar options, check with local nursery)
- Pearly everlasting - *Anaphalis margaritacea*
- Showy milkweed - *Asclepias speciosa*
- Harebells - *Campanula rotundifolia*
- Blanket flower - *Gaillardia aristata*
- Salvias (many native and cultivar options, check with local nursery)
- Flowering trees including willows, black locust, linden and honey locust

Late-Season

- Blue Giant Hyssop - *Agastache foeniculum*
- Rocky Mountain bee plant - *Cleome serrulata*
- Plains Coreopsis - *Coreopsis tinctoria*
- Common sunflower - *Helianthus annuus*
- Hairy False Goldenaster - *Heterotheca villosa*
- Goldenrod - *Solidago spp.*
- Rabbitbrush - *Chrysothamnus nauseosus*
- Chokecherry - *Prunus virginiana*
- Boulder raspberry - *Rubus deliciosus*

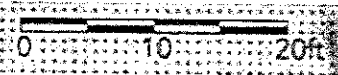
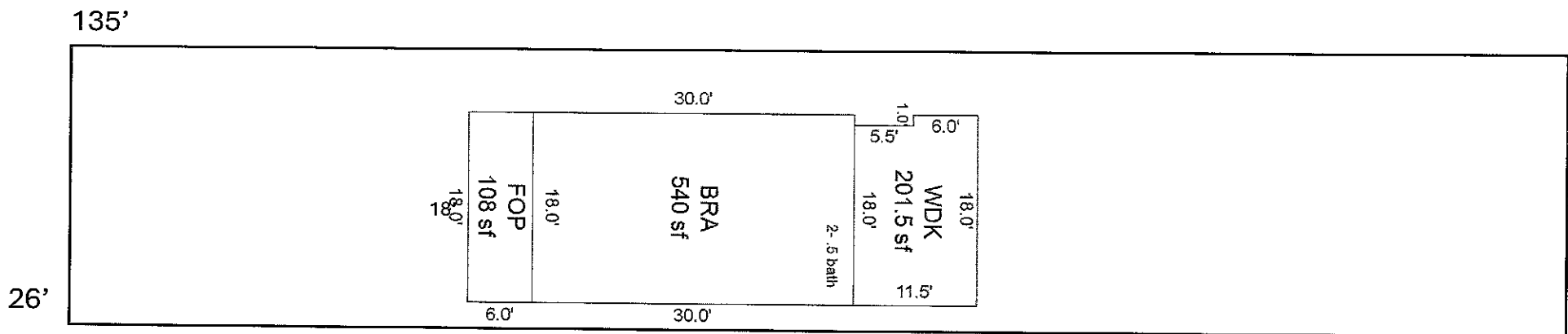
The anticipated timetable for completion.

- Interior alterations: by September 2024.
- Back landscaping: by September 2024.

All owners and lien-holders of property shall sign the following agreement that will be placed on the original special review site plan.

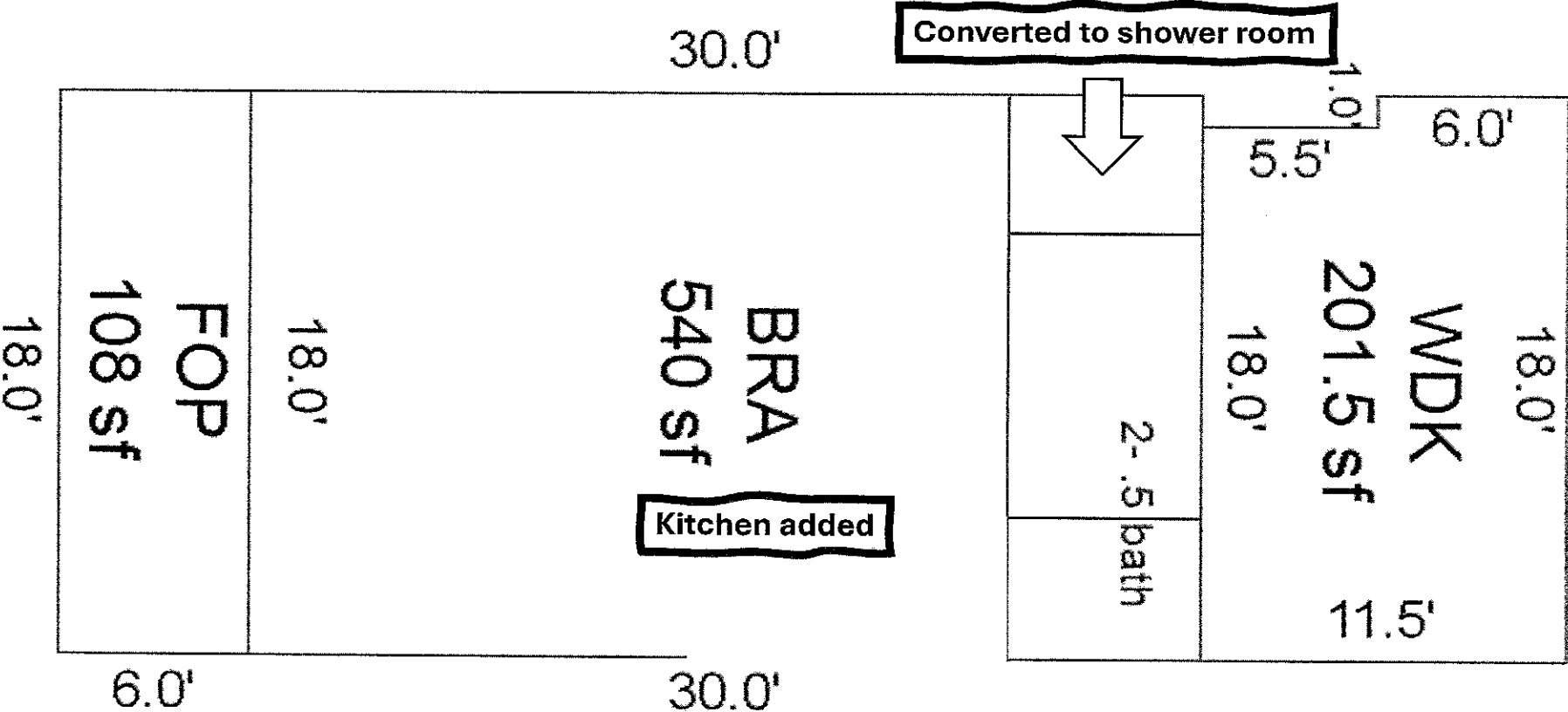
- Done.

Site Plan #1 [Full lot with structure]

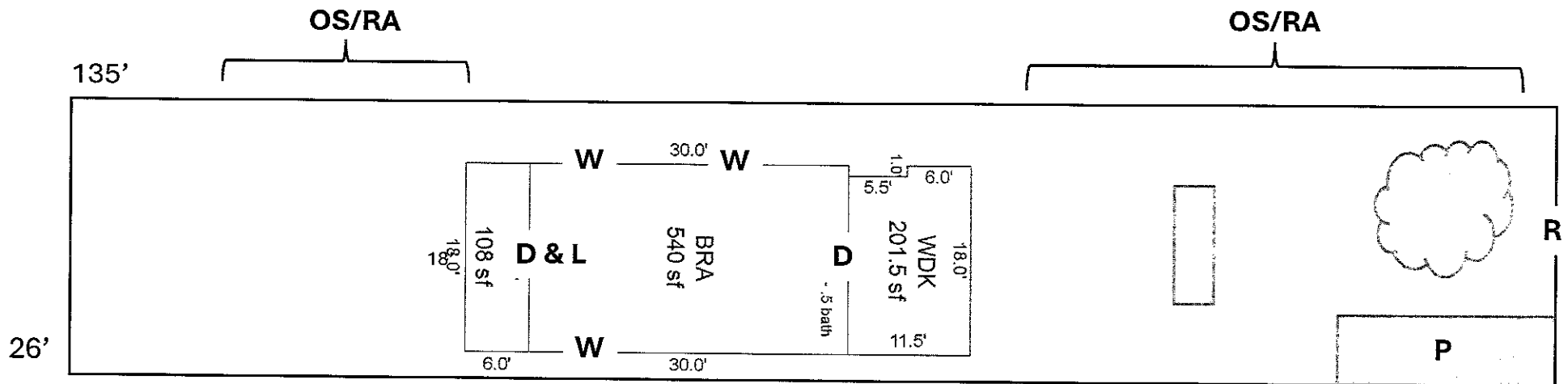


FOP: Front Porch
 BRA: Bar Area Average
 WDK: Wood deck


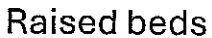
Site Plan #2 [Only structure, to highlight interior additions]



Site Plan #3 [to highlight exterior alterations]



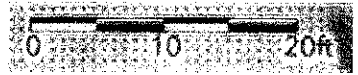
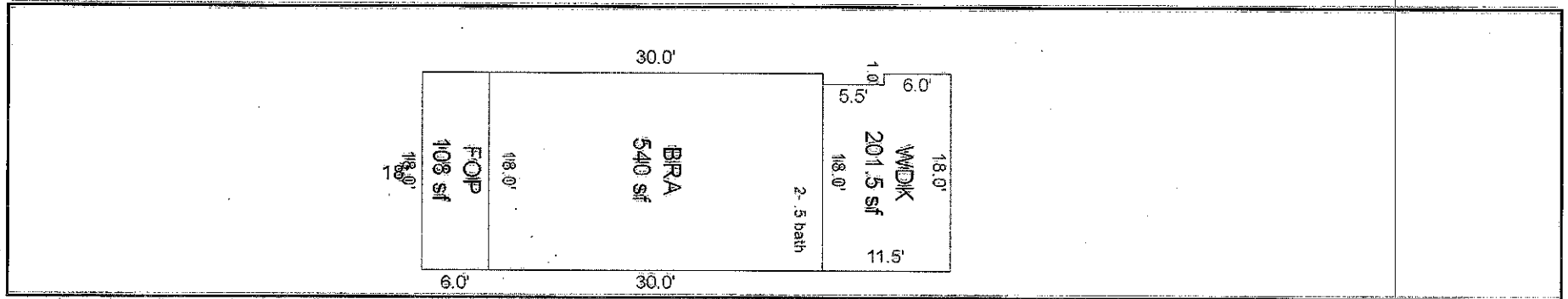
FOP: Front Porch
 BRA: Bar Area Average
 WDK: Wood deck

W: window (ingress/egress, no changes)
 D: door (ingress/egress, no changes)
 L: outdoor lighting (no changes)
 R: refuse collection / service access
 P: off-street parking
 OS/RA: open space / recreation area
 Tree  Raised beds

Site Plan #1 [Full lot with structure]

135'

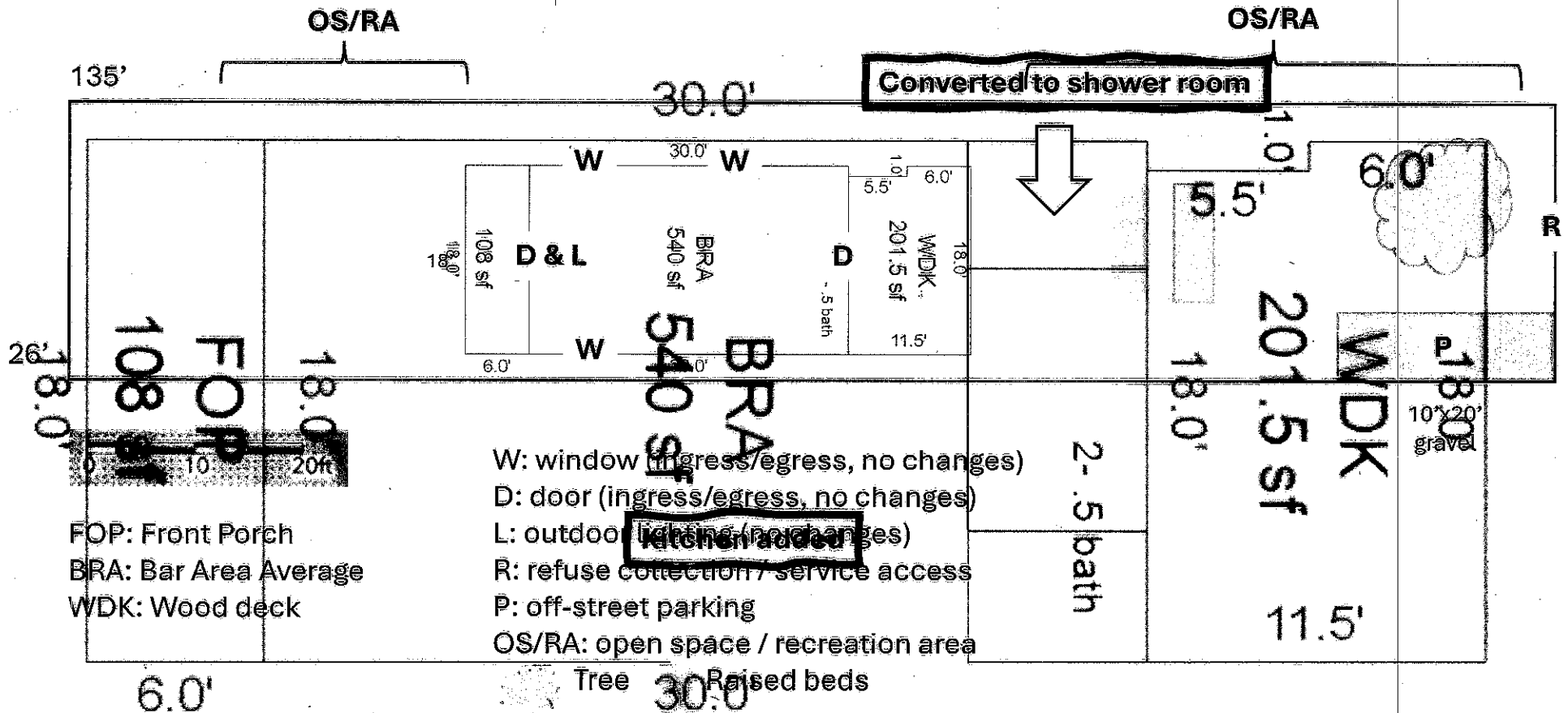
26'

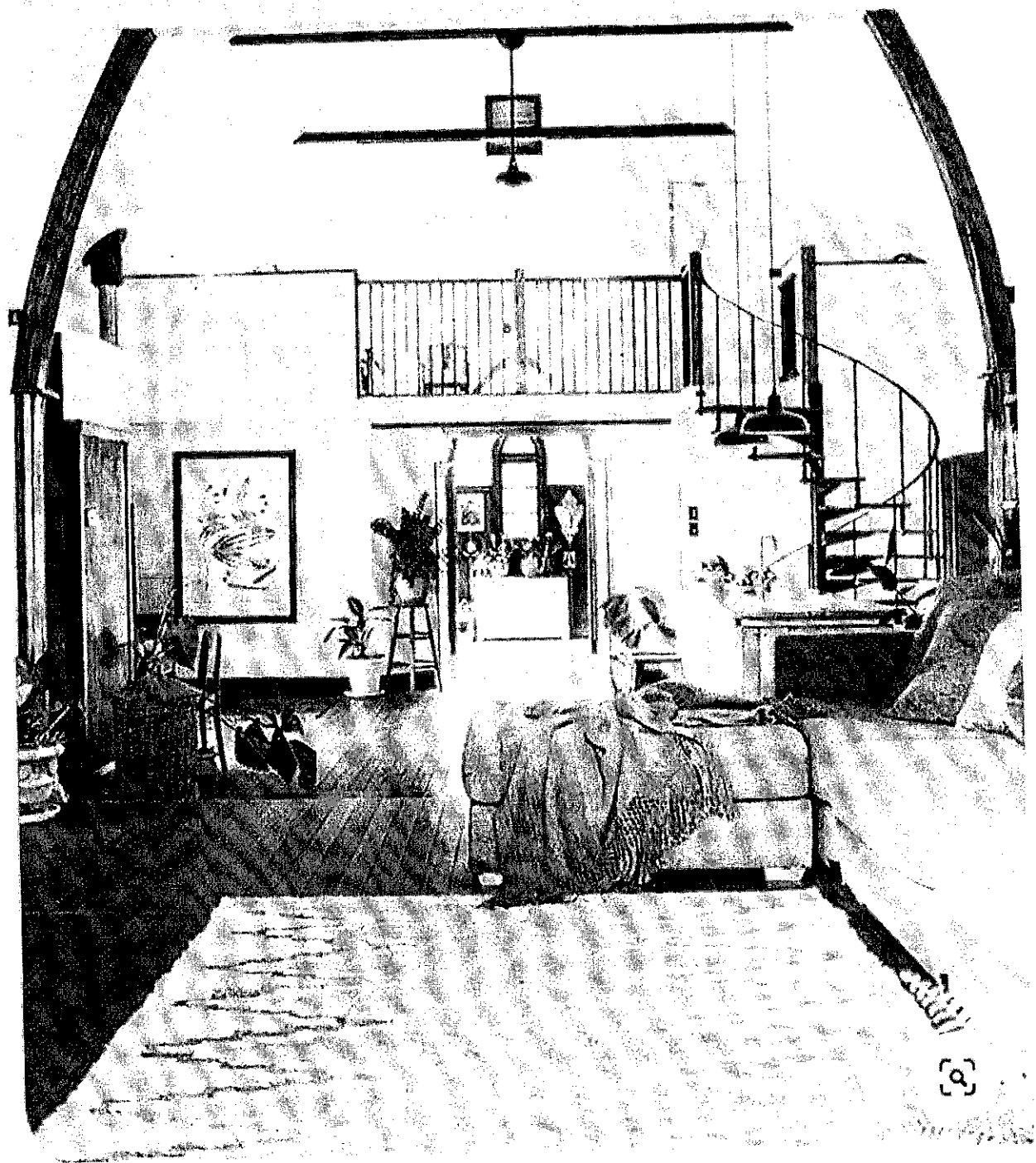


FOP: Front Porch
 BRA: Bar Area Average
 WDK: Wood deck

Site Plan #3 [to highlight exterior alterations]

Site Plan #2 [Only structure, to highlight interior additions]





325

PAONIA
ANNOUNCEMENT
The Paonia Public Library is pleased to announce the opening of a new branch library in the historic Paonia Hotel building. The new branch is located at 325 1st Street, Paonia, CO 81429. The building is a historic landmark and has been recently renovated. The new branch will provide a quiet place to read, study, and enjoy the community. The hours of operation are 10:00 AM to 5:00 PM, Monday through Friday. For more information, please contact the Paonia Public Library at 970.825.2111 or visit our website at www.paoniapubliclibrary.org.

The PUB has
moved just a
few blocks
away →
201 1st St
Enjoy!



AFFIDAVIT OF PUBLICATION

State of Pennsylvania, County of Lancaster, ss:

Hadley Christman, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Delta County Independent, a newspaper printed and published in the City of Delta, County of Delta, State of Colorado, and that this affidavit is Page 1 of 1 with the full text of the sworn-to notice set forth on the pages that follow, and the hereto attached:

PUBLICATION DATES:

Jul. 18, 2024

Jul. 25, 2024

Aug. 1, 2024

NOTICE ID: nfr3UfGs1PKT6I66HqFb

PUBLISHER ID: DCI000510

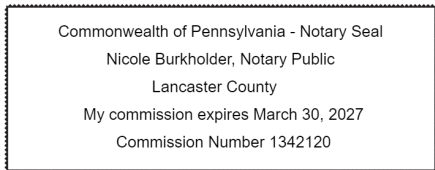
NOTICE NAME: SRV 2024-04 Hunter - 325 Grand Avenue

Publication Fee: 44.88

I declare under penalty of perjury under the law of Colorado that the foregoing is true and correct.

Hadley Christman

(Signed) _____



VERIFICATION

State of Pennsylvania
County of Lancaster

Subscribed in my presence and sworn to before me on this: 08/02/2024

Nicole Burkholder

Notary Public

Notarized remotely online using communication technology via Proof.

**TOWN OF PAONIA,
COLORADO
NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the Town of Paonia will hold a Public Hearing commencing Wednesday, August 7, 2024, at 6:30 p.m., at the Paonia Town Hall, 214 Grand Avenue, Paonia, Colorado 81428. The purpose of the Public Hearing is to consider an application from Lori Hunter for a Special Use Review for the property located at 325 Grand Avenue, to allow Dwelling Units as Part of a Business Use.

Further Notice is hereby given that the Board of Trustees of the Town of Paonia will hold a Public Hearing commencing Tuesday, August 27, 2024 at 6:30 p.m., at the Paonia Town Hall, 214 Grand Avenue, Paonia, Colorado 81428. The purpose of the Public Hearing is to consider an application from Lori Hunter for a Special Use Review for the property located at 325 Grand Avenue, to allow Dwelling Units as Part of a Business Use.

Any person may appear at the Public Hearings and be heard regarding the matters under consideration. Copies of the application and related application materials are on file and available for public inspection in the office of the Town Clerk, 214 Grand Avenue, Paonia, Colorado 81428.

Dated the 11th day of July, 2024.

**TOWN OF PAONIA, COLO-
RADO**

Samira M Vetter, Town Clerk
Published Thursday, July 18, 25,
August 1, 2024

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City, State, ZIP+4®: Crawford, CO 81415-9511



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Street and Apt. No., or PO Box No.: 1217 Titkin Ave
City, State, ZIP+4®: Glenwood Springs, Co 81601-3824



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Postage \$0.73
Total Postage and Fees \$9.68

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Street and Apt. No., or PO Box No.: 2529 Chase Street
City, State, ZIP+4®: Edgewater, Co. 80214-1231



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Total Postage and Fees	\$7.68



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John Sacklin
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P.O. Box 621
City, State, ZIP+4®
Paonia, Co. 81428

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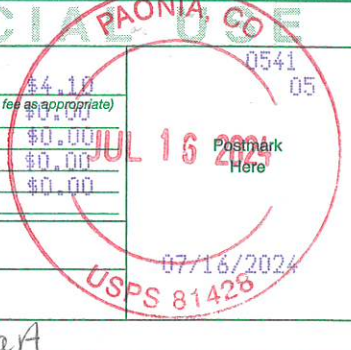
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Total Postage and Fees	\$7.68



Sent To
Charles Stewart
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P.O. Box 934
City, State, ZIP+4®
Paonia, Co. 81428

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Total Postage and Fees	\$7.68



Sent To
David McCellan
Street and Apt. No., or PO Box No.
P.O. Box 1162
City, State, ZIP+4®
Paonia, Co. 81428

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<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.73
Total Postage and Fees	\$7.68



Sent To
David Merck
Street and Apt. No., or PO Box No.
35 Pan American Ave
City, State, ZIP+4®
Paonia, Co. 81428

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Delta, CO 81416

Certified Mail Fee	\$4.85
Extra Services & Fees (check box, add fee as appropriate)	\$4.10
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.73
Total Postage and Fees	\$7.68



Sent To
David Gilbert
Street and Apt. No., or PO Box No.
2170 Southgate Lane
City, State, ZIP+4®
Delta, Co. 81416-2408

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Paonia, CO 81428

Certified Mail Fee	\$4.85
Extra Services & Fees (check box, add fee as appropriate)	\$4.10
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.73
Total Postage and Fees	\$7.68



Sent To
Paul Mauldin
Street and Apt. No., or PO Box No.
P.O. Box 1553
City, State, ZIP+4®
Paonia, Co. 81428

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Certified Mail Fee	\$4.85
Extra Services & Fees (check box, add fee as appropriate)	\$4.10
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.73
Total Postage and Fees	\$9.68

Sent To
Dianne Schrevene
Street and Apt. No., or PO Box No.
P.O. Box 1372
City, State, ZIP+4®
Paonia, Co. 81428



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Boulder, CO 80302

Certified Mail Fee	\$4.85
Extra Services & Fees (check box, add fee as appropriate)	\$4.10
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.73
Total Postage and Fees	\$9.68

Sent To
325 Grand Ave LLC
Street and Apt. No., or PO Box No.
1734 Spruce Street
City, State, ZIP+4®
Boulder, Co. 80302-4311



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Paonia, CO 81428

Certified Mail Fee	\$4.85
Extra Services & Fees (check box, add fee as appropriate)	\$4.10
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.73
Total Postage and Fees	\$9.68

Sent To
Skip Matt
Street and Apt. No., or PO Box No.
P.O. Box 1375
City, State, ZIP+4®
Paonia, Co. 81428



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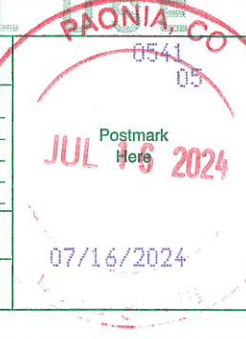
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Paonia, CO 81428

Certified Mail Fee	\$4.85
Extra Services & Fees (check box, add fee as appropriate)	\$4.10
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.73
Total Postage and Fees	\$9.68

Sent To
Donna Wright
Street and Apt. No., or PO Box No.
P.O. Box 582
City, State, ZIP+4®
Paonia, Co. 81428



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Certified Mail Fee	\$4.85
Extra Services & Fees (check box, add fee as appropriate)	\$4.10
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.73
Total Postage and Fees	\$9.68

Sent To
Molly Wheelock
Street and Apt. No., or PO Box No.
P.O. Box 1087
City, State, ZIP+4®
Paonia, Co. 81428



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Certified Mail Fee	\$4.85
Extra Services & Fees (check box, add fee as appropriate)	\$4.10
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.73
Total Postage and Fees	\$9.68

Sent To
Intervite Potential Real Estate LLC
Street and Apt. No., or PO Box No.
P.O. Box 571
City, State, ZIP+4®
Paonia, Co. 81428



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Certified Mail Fee	\$4.85
\$	\$4.10
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.73

Total Postage and Fees \$7.68

Sent To
Kathryn Swartz
Street and Apt. No., or PO Box No.
P.O. Box 533
City, State, ZIP+4®
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Certified Mail Fee	\$4.85
\$	\$4.10
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.73

Total Postage and Fees \$7.68

Sent To
Louis Hayes
Street and Apt. No., or PO Box No.
P.O. Box 1713
City, State, ZIP+4®
Paonia, Co. 81428

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Certified Mail Fee	\$4.85
\$	\$4.10
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.73

Total Postage and Fees \$7.68

Sent To
Daniel Rubinoff
Street and Apt. No., or PO Box No.
P.O. Box 1661
City, State, ZIP+4®
Paonia, Co. 81428

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