



## PLANNING BOARD MEETING - NOVEMBER 1, 2021

Monday, November 01, 2021 at 5:30 PM  
City Council Chambers | 202 N. Virginia Street, Port Lavaca TX 77979

### PUBLIC NOTICE OF MEETING

#### AGENDA

*Planning Board will consider/discuss the following items and take any action deemed necessary.*

#### **COVID-19 MEETING PROCEDURE**

*Public notice is hereby given that the Planning Board of the City of Port Lavaca, Texas, will hold a meeting Monday, November 1, 2021 beginning at 5:30 p.m., at the regular meeting place in Council Chambers at City Hall, 202 North Virginia Street, Port Lavaca, Texas to consider the following items of business:*

*Due to COVID-19 concerns, social distancing guidelines will be encouraged for in-person attendance. The meeting will also be available via the video conferencing application "ZOOM".*

*Join Zoom Meeting:*

<https://us02web.zoom.us/j/85259846737?pwd=dFZnOTVvZUtyVW1FNES4dEZ1NzNFUT09>

*Meeting ID: 852 5984 6737*

*Passcode: 952992*

*One Tap Mobile*

*+13462487799,,82182482989#,,, \*912619# US (Houston)*

*Dial by your location*

*+1 346 248 7799 US (Houston)*

#### **ROLL CALL**

#### **CALL TO ORDER**

**COMMENTS FROM THE PUBLIC** - *Comments will be limited to three (3) Minutes per individual unless permission to speak longer is received in advance.*

#### **APPROVAL OF MINUTES**

**ACTION ITEMS** - *Council will consider/discuss the following items and take any action deemed necessary*

1. Consider and discuss approval of a 2-lot Preliminary Plat. Generally located at the northeast corner of Austin Street and Alcoa Street. The legal description for this parcel is A0035 MAXIMO SANCHEZ, TRACT PT 11 PLD, ACRES 1.96. The property identification for this site is 39302.
2. Consider and discuss approval of a conceptual car wash. To be located at 2248 FM 3084, also known as Half League Road. The legal description for this property is A0035 MAXIMO SANCHEZ, TRACT PT 30 in Calhoun County, Texas. Being .187 acres.
3. Consider and discuss approval of a Preliminary Plat. The proposed Preliminary Plat is located at 2248 FM 3084, also known as Half League Road. The legal description for this property is A0035 MAXIMO SANCHEZ, TRACT PT 30 in Calhoun County, Texas. Being .187 acres.
4. Consider and discuss approval of a conceptual industrial shop, industrial storage, and business office use to be located on Henry Barber Way. The legal description for this location is A0137 SAMUEL SHUPE, TRACT PT 1, ACRES 12.449. The PIN # for this property is 14186.
5. Consider and discuss approval of a 3-lot Preliminary Minor Plat, Port Lavaca Crossing. Located south of Tiney Browning Boulevard on SH 35 North. Being 3.19 acres. The original tracts for this proposed plat are identified as PIN# 29954 and PIN# 86163 of the Calhoun County CAD.
6. Consider and discuss candidates to represent the Planning Board to be considered for the Economic Development Vision Committee.

**ADJOURN**

**CERTIFICATION OF POSTING NOTICE**

This is to certify that the above notice of a regular meeting of The Planning Board of The City of Port Lavaca, scheduled for **Monday, November 1, 2021**, beginning at 5:30 p.m., was posted at city hall, easily accessible to the public, as of **8:00 a.m. Friday, October 29, 2021**.

\_\_\_\_\_  
**Jessica Carpenter**, *Director of Development Services*

**ADA NOTICE**

The Port Lavaca City Hall and Council Chambers are wheelchair accessible. Access to the building is available at the primary north entrance facing Mahan Street. Special parking spaces are located in the Mahan Street parking area. In compliance with the Americans with Disabilities Act, the City of Port Lavaca will provide for reasonable accommodations for persons attending meetings. To better serve you, requests should be received 24 hours prior to the meetings. Please contact City Secretary Mandy Grant at (361) 552-9793 Ext. 230 for assistance.

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# COMMUNICATION

**SUBJECT:** Consider and discuss approval of a 2-lot Preliminary Plat. Generally located at the northeast corner of Austin Street and Alcoa Street. The legal description for this parcel is A0035 MAXIMO SANCHEZ, TRACT PT 11 PLD, ACRES 1.96. The property identification for this site is 39302.

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## INFORMATION:

MEETING: November 01, 2021 AGENDA ITEM \_\_\_\_\_

DATE: 10.22.2021

TO: PLANNING BOARD

FROM: JESSICA CARPENTER, DEVELOPMENT SERVICES DIRECTOR

SUBJECT: Consider and discuss approval of a 2-lot preliminary plat. Generally located at the northeast corner of Austin Street and Alcoa Street. The legal description for this parcel is A0035 MAXIMO SANCHEZ, TRACT PT 11 PLD, ACRES 1.96. The property identification for this site is 39302.

**Chapter 42 - SUBDIVISIONS AND PLATS**

[https://library.municode.com/tx/port\\_lavaca/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH42SUPL\\_ARTIINGE\\_S42-5PO](https://library.municode.com/tx/port_lavaca/codes/code_of_ordinances?nodeId=PTIICOOR_CH42SUPL_ARTIINGE_S42-5PO)

Below references the City Code of Ordnances, Chapter 42 – Subdivisions and Plats, where this Preliminary Plat request is compliant and will meet the ordinance as presented.

**Sec. 42-2. - Purpose.**

(c) The city planning board, before approving any plats submitted to it, shall refer such plats to the departments, agencies, and utilities in this chapter named for their suggestions and comments by written report.

*Applicant has adhered to the proper subdivision plat submittal and review procedural process prior to presentation before the Planning Board.*

**Sec. 42-5. - Policy.**

(a) It shall be unlawful for any owner or agent of any owner of land to lay out, subdivide, plat or replat any land into lots, blocks, and streets within the jurisdictional area of this chapter without the proper approval of the planning board. It shall be unlawful for any such owner or agent to offer for sale or sell property for building lots, building tracts or urban use therein, which has not been laid out, subdivided, platted, or replatted with the approval of the planning board in accordance with this chapter.

*The applicant is in compliance with the platting process prior to development.*

**Sec. 42-6. - Procedure**

A plat must be approved prior to the offering for sale of any lot, tract, or building site; prior to any construction work; and before any map of said subdivision is prepared in a form for recording.

*This plat is unnamed at this time. This preliminary plat is a 1.96-acre parcel. The intent is to subdivide this parcel into two (2) lots. Lot one being 1.37 acres and is vacant. Lot two being 0.69 acres and has an existing retail food establishment on site. Each lot has full frontage. Lot one has frontage on Alcoa Drive and lot two has frontage on Austin Street. The existing restaurant on lot two has all of the proper permits in the record of file back to 2015 when the structure was built.*

**Staff Recommendation:** Approval

Staff recommends approval of a 2-lot preliminary plat. Generally located at the northeast area of Austin Street and Alcoa Drive. The legal description for this parcel is A0035 MAXIMO SANCHEZ, TRACT PT 11 PLD, ACRES 1.96. The property identification for this site is 39302.

Attachments:

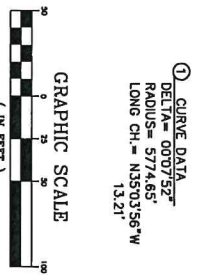
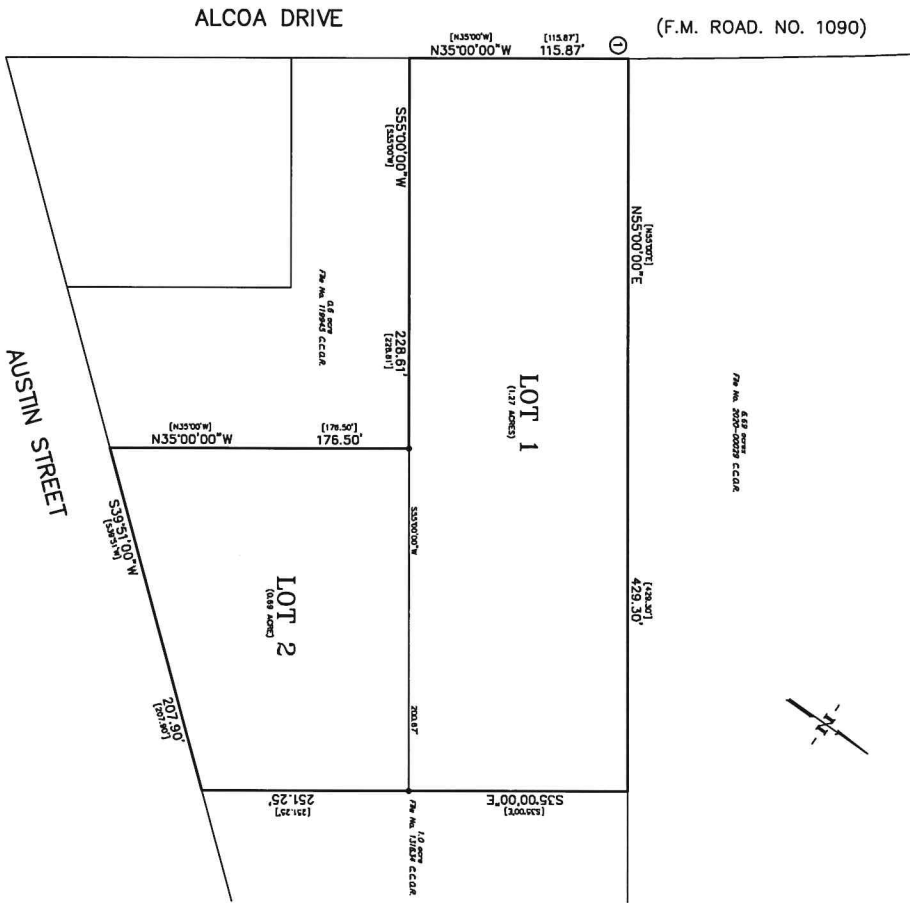
- Unnamed Preliminary Plat
- CAD for PIN 39302
- Image of lot 1
- Image of lot 2

# SUBDIVISION NAME

## 1.96 ACRE SUBDIVISION

BRING ALL OF 1.96 ACRES IN GENERAL WARRANTY DEED RECORDED IN FILE NO. 129673 C.C.O.R. MAXIMO SANCHEZ SURVEY, ABSTRACT NO. 35 OF CALHOUN COUNTY, TEXAS

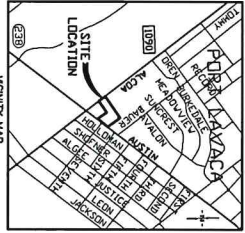
(F.M. ROAD. NO. 1090)



① CURVE DATA  
 DELTA= 00°07'52"  
 RADIUS= 5774.65'  
 LONG CH= 1350'35.96"W  
 13.21'

LEGEND  
 O CENTER POINT  
 --- CURVE CENTER POINT  
 --- CURVE CENTER POINT  
 --- CURVE CENTER POINT  
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BOUNDARY SHOWN HEREON ARE TEXAS STATE PLAT SOUTH OF THE 1983 PLAT AND SOUTH OF THE 1983 PLAT



### CERTIFICATE OF COMPLETION

I, the undersigned, owner of the land shown on this plat, and designated herein as the owner of the land, do hereby certify that the foregoing subdivision plat has been approved by the City Council of the City of Port Lavaca, Calhoun County, Texas, and that the subdivision plat is in accordance with the provisions of the City Charter and the laws of the State of Texas.

DATE OF \_\_\_\_\_ 2021.

CITY SECRETARY  
 STATE OF TEXAS

COUNTY CLERK CERTIFICATE  
 STATE OF TEXAS  
 COUNTY OF CALHOUN

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

10-13-2021  
 RELEASE DATE

### FLOODPLAIN ADMINISTRATION

ACCORDING TO THE FLOOD HAZARD MAP (FHM) FOR CALHOUN COUNTY, TEXAS, COMMUNITY FLOOD HAZARD ZONING, EFFECTIVE DATE 07/01/16, THE SUBJECT PROPERTY IS LOCATED IN SPECIAL FLOOD HAZARD AREA ZONE 1 AND ZONE 2 AND (FLOODWAY) ZONE 1A.

A DEVELOPER'S PERMIT IS REQUIRED FROM THE FLOOD PLAIN ADMINISTRATOR'S OFFICE, 311 SOUTH MAIN STREET, ROOM 301, PORT LAVACA, TEXAS, 77978.

LUDWIG HOPSON  
 FLOODPLAIN ADMINISTRATOR

### CITY COUNCIL CERTIFICATE APPROVAL

I, Mayor David A. Dunlap, Mayor of the City of Port Lavaca, do hereby certify that the foregoing subdivision plat has been approved by the City Council of the City of Port Lavaca, Calhoun County, Texas, and that the subdivision plat is in accordance with the provisions of the City Charter and the laws of the State of Texas.

DATE OF \_\_\_\_\_ 2021.

CITY SECRETARY  
 STATE OF TEXAS

### CALHOUN COUNTY APPRAISAL DISTRICT

I, Henry A. Danvish, Appraiser of the Calhoun County Appraisal District, do hereby certify that the above-described property has been appraised in accordance with the provisions of the Special Appraisal Act (Government Code Chapter 43A) and that the appraisal roll for the year 2021 is not included in this certificate [14 day grace period 1/10/21].

SPEND THE \$\_\_\_\_\_ DATE OF \_\_\_\_\_ 2021.

HENRY A. DANVISH  
 APPRAISER

I, Henry A. Dunlap, a Registered Professional Land Surveyor, do hereby certify that the plat shown herein represents the result of a survey made on the ground under my direction on September 02, 2021.



PRELIMINARY PLAT

FILE NO.: 10127-001  
 JOB NO.: 10127-001  
 SHEET NO.: 1 OF 1

**G & W ENGINEERS, INC.**  
 ENGINEERING • SURVEYING • PLANNING  
 205 W. LIVE OAK STREET, PORT LAVACA, TEXAS 77979  
 TBPLS FIRM NO.: 10022100  
 (361) 552-4509; (979) 323-7100; BAY CITY

DRAWN BY: J.H.D.  
 CHECKED BY: H.A.D.  
 DATE: SEPT. 13, 2021  
 SCALE: 1" = 50'

Item 1. Identification #: 39302

Property Information: 2022

Owner Identification #: 97172

Geo ID: A0035-00000-0313-00  
Situs: 1901 WAUSTIN ST PORT  
Address: LAVACA, TX 77979  
Property Type: Real  
State Code: F1

Legal Description: A0035 MAXIMO SANCHEZ, TRACT PT 11 PLD, ACRES 1.96  
Abstract: A0035  
Neighborhood: PORT LAVACA WEST  
Appraised Value: N/A  
Jurisdictions: G05, NV6, S01, C04, FML, CAD, GWD

Name: OLACHIA-RODRIGUEZ EMILIANA  
Exemptions:  
DBA: Null

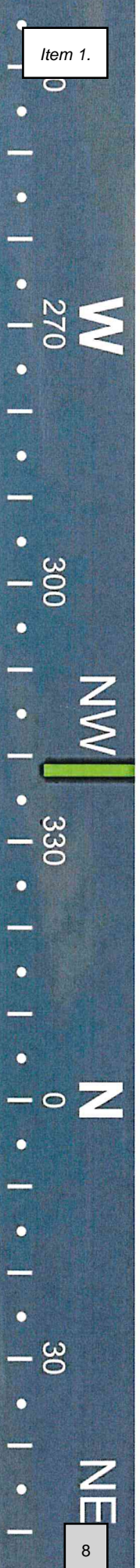
Re-Center Map



Calhoun CAD Map Search

This product is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The Calhoun County Appraisal District expressly disclaims any and all liability in connection herewith.

Item 1.

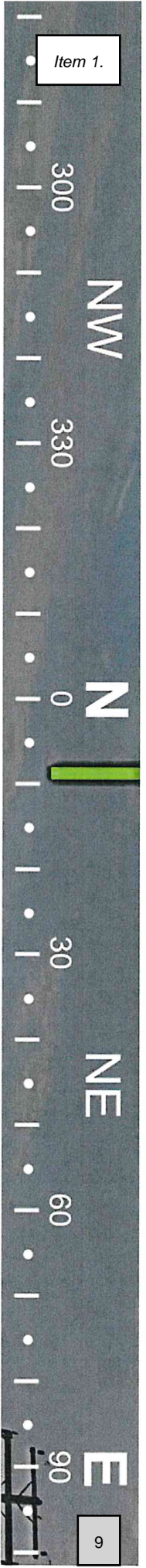


☀ 322°NW (T)    ☉ 28°36'3"N, 96°38'11"W ±13ft    ▲ 20ft

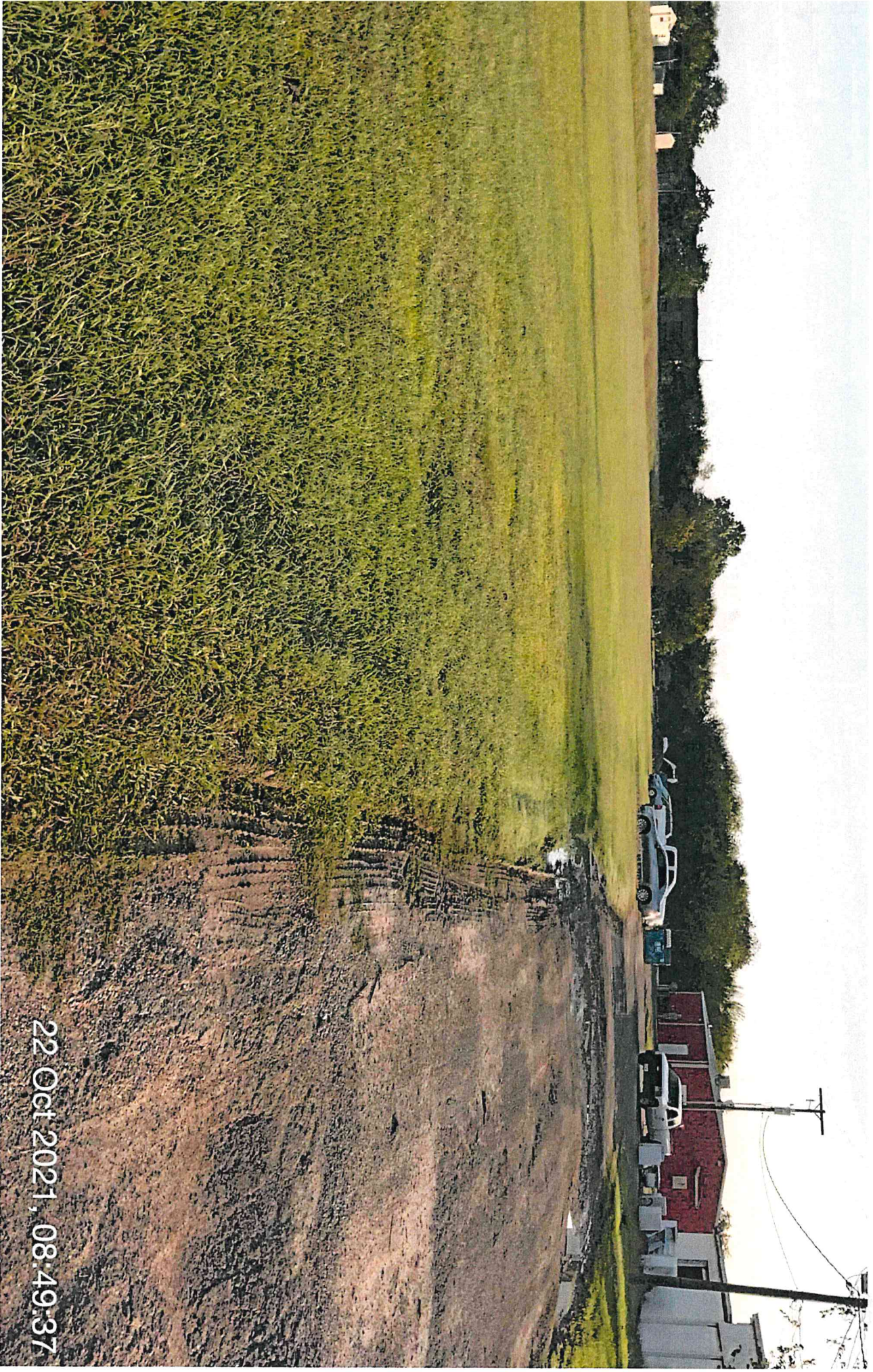


22 Oct 2021, 08:47:20





☀ 9°N (T)    ● 28°36'3"N, 96°38'15"W ±22ft    ▲ 20ft



22 Oct 2021, 08:49:37

## **COMMUNICATION**

**SUBJECT:** Consider and discuss approval of a conceptual car wash. To be located at 2248 FM 3084, also known as Half League Road. The legal description for this property is A0035 MAXIMO SANCHEZ, TRACT PT 30 in Calhoun County, Texas. Being .187 acres.

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## **INFORMATION:**

**MEETING:** November 01, 2021 **AGENDA ITEM** \_\_\_\_\_

**DATE:** 10.25.2021

**TO:** PLANNING BOARD MEMBERS

**FROM:** JESSICA CARPENTER, DEVELOPMENT SERVICES DIRECTOR

**SUBJECT:** Consider and discuss approval of a conceptual car wash. To be located at 2248 FM 3084, also known as Half League Road. The legal description for this property is A0035 MAXIMO SANCHEZ, TRACT PT 30 in Calhoun County, Texas. Being .187 acres.

**Sec. 42-159. - Approval of planning commission required.**

No person shall construct a multifamily dwelling, townhouse, patio home or other commercial development project without approval of said construction project by the planning commission...

*The applicant is proposing to construct a car wash at this location. To be located at 2248 FM 3084, also known as Half League Road. A fire access easement is required from the YMCA property to this property, as discussed prior with city Fire Chief.*

**Future Land Use Map**

<https://portlavaca.org/wp-content/uploads/2020/10/Future-Land-Use-Plan.pdf>

*The Future Land Use map designates this parcel as Commercial. Therefore, the proposed car wash, is complaint with the Future Land Use map.*

If approved the specifications for parking are as follows:

The details of the restaurant seating and retail square footage will determine the parking requirements and be defined during the development and plan review phases of the project.

**Subdivision II – Off Street Parking**

<i>Retail stores and shops, personal service shops, equipment repair and service shops, etc.</i>	1 per 300 square feet of gross floor area
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*The minimum ADA parking width is 16ft. to include van accessibility.*

**Texas Department of Licensing and Regulations**

<https://www.tdlr.texas.gov/ab/2012TAS/2012tasChap5.pdf>

## CHAPTER 5: GENERAL SITE AND BUILDING ELEMENTS

### 502 Parking Spaces

- **502.2 Vehicle Spaces.** Van parking spaces shall be a minimum 132 inches wide and must contain an access aisle. Car parking spaces shall be at least 96 inches in width. However, van parking spaces may be 96 inches wide only if the access aisle is 96 inches wide.
- **502.3.1 Width.** Access aisles serving car and van parking spaces shall be 60 inches (1525 mm) wide minimum.

#### Sec. 42-6. - Procedure

A plat must be approved prior to the offering for sale of any lot, tract, or building site; prior to any construction work; and before any map of said subdivision is prepared in a form for recording. Any plat filed for the first time shall be considered as a preliminary plat, except as otherwise stated in this chapter.

*The preliminary plat for this proposed car wash property is being presented on this same agenda for the November 1, 2021, Planning Board Meeting.*

#### Department Comments:

#### The applicant has a Predevelopment Meeting scheduled for November 3<sup>rd</sup>.

**Fire:** If approval is granted for this location to be developed as a car wash, a pre-development meeting is recommended to discuss the comprehensive site development and design standards, including but not limited to the following comments shall be scheduled with the applicant and pertinent city representatives.

- a. A fire department review and inspection will be required at the time of plan submittal and site development.
- b. A fire access easement is required from the YMCA property.

**Public Works:** If approval is granted for this location to be developed as a car wash, a pre-development meeting is recommended to discuss the comprehensive site development and design standards.

**Engineering:** If approval is granted for this location to be developed as a car wash, a pre-development meeting to discuss the comprehensive site development and design standards, including but not limited to the following comments shall be scheduled with the applicant and pertinent city representatives.

- a. Discuss the access, possible easements, and drainage under plat review and the predevelopment meeting.

- b. **TxDOT:** All drainage and access for this site requires TxDOT approval. TxDOT will formally review and comment under the plat review process.

**Development Services:** If approval is granted for this location to be developed as a car wash, a pre-development meeting to discuss the comprehensive site development and design standards, including platting will be scheduled.

Ensure to meet the following code:

[https://library.municode.com/tx/port\\_lavaca/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_C H50UT\\_ARTIISE\\_DIV3GRGROICO\\_S50-150GRGROICO](https://library.municode.com/tx/port_lavaca/codes/code_of_ordinances?nodeId=PTIICOOR_C H50UT_ARTIISE_DIV3GRGROICO_S50-150GRGROICO)

(c) *Installation and maintenance requirements.*

(1) Installations.

a. New facilities.

2. All permanent car washes and wash bays which are newly proposed or constructed, or existing facilities which will be expanded or renovated to include a car wash or wash bay, where such facility did not previously exist, shall be required to design, install, operate, and maintain and register with the city a grit trap/interceptor in accordance with the currently adopted plumbing codes and other applicable ordinances. Grit traps/interceptors shall be installed and inspected prior to issuance of a certificate of occupancy.

**Staff Recommendation:** APPROVAL

Staff recommends approval of a conceptual car wash. To be located at 2248 FM 3084, also known as Half League Road. The legal description for this property is A0035 MAXIMO SANCHEZ, TRACT PT 30 in Calhoun County, Texas. Being .187 acres.

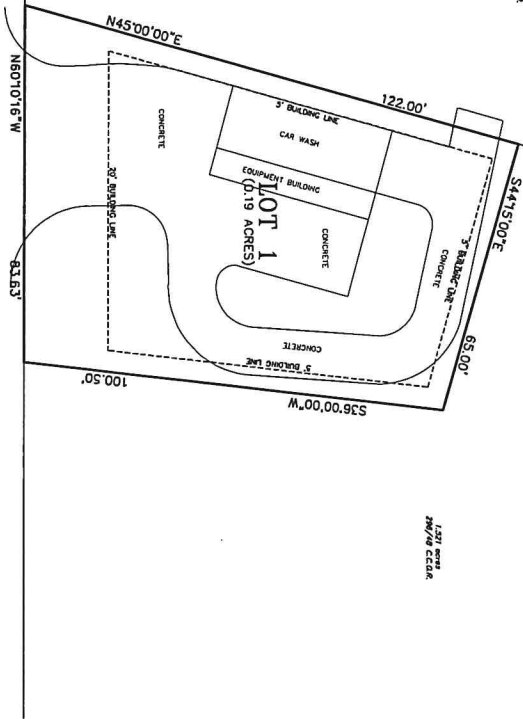
**Attachments:**

- Car Wash Site Plan
- Car Wash Exhibits
- Car Wash Preliminary Plat Map
- Parcel CAD map

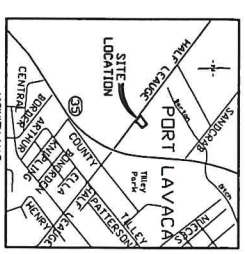
# RAFEI SUBDIVISION

## 0.19 ACRE SUBDIVISION

BEING ALL OF 0.187 ACRE IN GENERAL WARRANTY DEED RECORDED  
IN FILE NO. 2020-00204 C.C.O.R.  
MAXIMO SANCHEZ SURVEY, ABSTRACT NO. 35 OF CALHOUN COUNTY, TEXAS



LEGEND
○ EASEMENT
○ EXISTING ROAD
○ CONCRETE
○ CONCRETE DRIVE
○ CONCRETE DRIVE
○ CONCRETE DRIVE
○ CONCRETE DRIVE



BOUND BEARINGS SHOWN HEREON ARE TEXAS STATE PLAIN 2011. CURVES ARE SHOWN BY THE METHOD OF THE AITHEMATIC.

**CERTIFICATE OF OWNERSHIP**

I, the undersigned, owner of the land shown on this plat, and residing herein as the land subdivision, and whose name is suspended hereby, hereby consent to the use of public records for all streets, alleys, parks, improvements, drains, easements and other places herein shown for the purposes and consideration herein expressed.

THIS BOND (LATEST MUST COMPLY WITH REGULATIONS)

STATE OF TEXAS  
COUNTY OF CALHOUN

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED EDUARDO RAMON, known to be the person whose name is suspended to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations herein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021.

HONORARY PUBLIC STATE OF TEXAS

**LOCAL PLAN ADMINISTRATOR**

According to the flood insurance rate map (FIRM) from Calhoun County, Texas Community Panel Number 44363-C-026, effective date October 14, 2014, the subject property is located Flood Hazard Area Zone X.

A floodplain report is required from the Flood Plain Administrators Office 211 South Main Street, Room 301, Port Lavaca, Texas 77973.

LOCAL PLAN ADMINISTRATOR  
FLOODPLAIN ADMINISTRATOR

**CITY COUNCIL CERTIFICATE APPROVAL**

I, Mayor Daniel, City Secretary of the City of Port Lavaca, an incorporated city in Calhoun County, Texas, do hereby certify that the foregoing subdivision plat was approved by the City Council of said City as approved by Law, and that the resolution appears of record in volume \_\_\_\_\_ page \_\_\_\_\_ of the minutes of the Planning Board of Port Lavaca as held in its office.

WITNESS MY HAND AND SEAL OF THE CITY OF PORT LAVACA, TEXAS, ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021.

CITY SECRETARY  
CITY OF PORT LAVACA, CALHOUN COUNTY  
STATE OF TEXAS

**COUNTY CLERK CERTIFICATE**

I, \_\_\_\_\_, County Clerk of Calhoun County, Texas, do hereby certify that this instrument was duly recorded in my office on this \_\_\_\_\_ day of \_\_\_\_\_ 2021.

STATE OF TEXAS  
COUNTY OF CALHOUN

**CALHOUN COUNTY APPROVAL/USING**

I, \_\_\_\_\_, County Clerk of Calhoun County, Texas, do hereby certify that the following instrument was duly recorded in my office on this \_\_\_\_\_ day of \_\_\_\_\_ 2021.

IF APPLICABLE, THE ABOVE DESCRIBED PROPERTY HAS/IS RECEIVING SPECIAL APPROVAL BASED ON ITS USE, AND ADDITIONAL REGULATORY TIES MAY BECOME ONE BASED ON THE PROVISIONS OF THE SPECIAL APPROVAL. (COMPARISON TABLE 8.2.24) ON PROPERTY OBTAINED FROM THE APPROVAL. AS DESCRIBED UNDER THE CODE SECTION 22.21 IS NOT INCLUDED IN THIS CONTRACT (TAX CODE SECTION 31.09 (3)).

SIGNED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2021.

BY: \_\_\_\_\_  
JESSIE H. HARRIS, CHIEF APPRAISER

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELEAS UPON AS A FINAL SURVEY DOCUMENT.

10-11-2021  
RELEASE DATE

I, \_\_\_\_\_, a duly licensed Professional Land Surveyor, have prepared this preliminary plat and certify that it represents the result of a survey made on the ground under my direction on October 02, 2021.

C & W ENGINEERS, INC.  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5088



PRELIMINARY PLAT

<b>G &amp; W ENGINEERS, INC.</b>	
ENGINEERING • SURVEYING • PLANNING	
205 W. LIVE OAK STREET, PORT LAVACA, TEXAS 77979	
TBPLS FIRM NO.: 10022100	
(361) 552-4509; PORT LAVACA (979) 323-7106; BAY CITY	

DRAWN BY: J.H.D.	FILE NO.: 7118-002
CHECKED BY: H.A.D.	DATE: OCT. 11, 2021
SCALE: 1" = 20'	SHEET NO.: 1 OF 1

Item 2. Property Identification #: 38209

Property Information: 2022

Owner Identification #: 115115

Geo ID: A0035-00000-0153-00  
Sitius: 2248 FM 3084 PORT LAVACA,  
Address: TX 77979  
Property Type: Real  
State Code: C1

Legal Description: A0035 MAXIMO SANCHEZ, TRACT PT 30, ACRES .187  
Abstract: A0035  
Neighborhood: PORT LAVACA EAST  
Appraised Value: N/A  
Jurisdictions: G05, NV6, S01, C04, FML, CAD, GWD

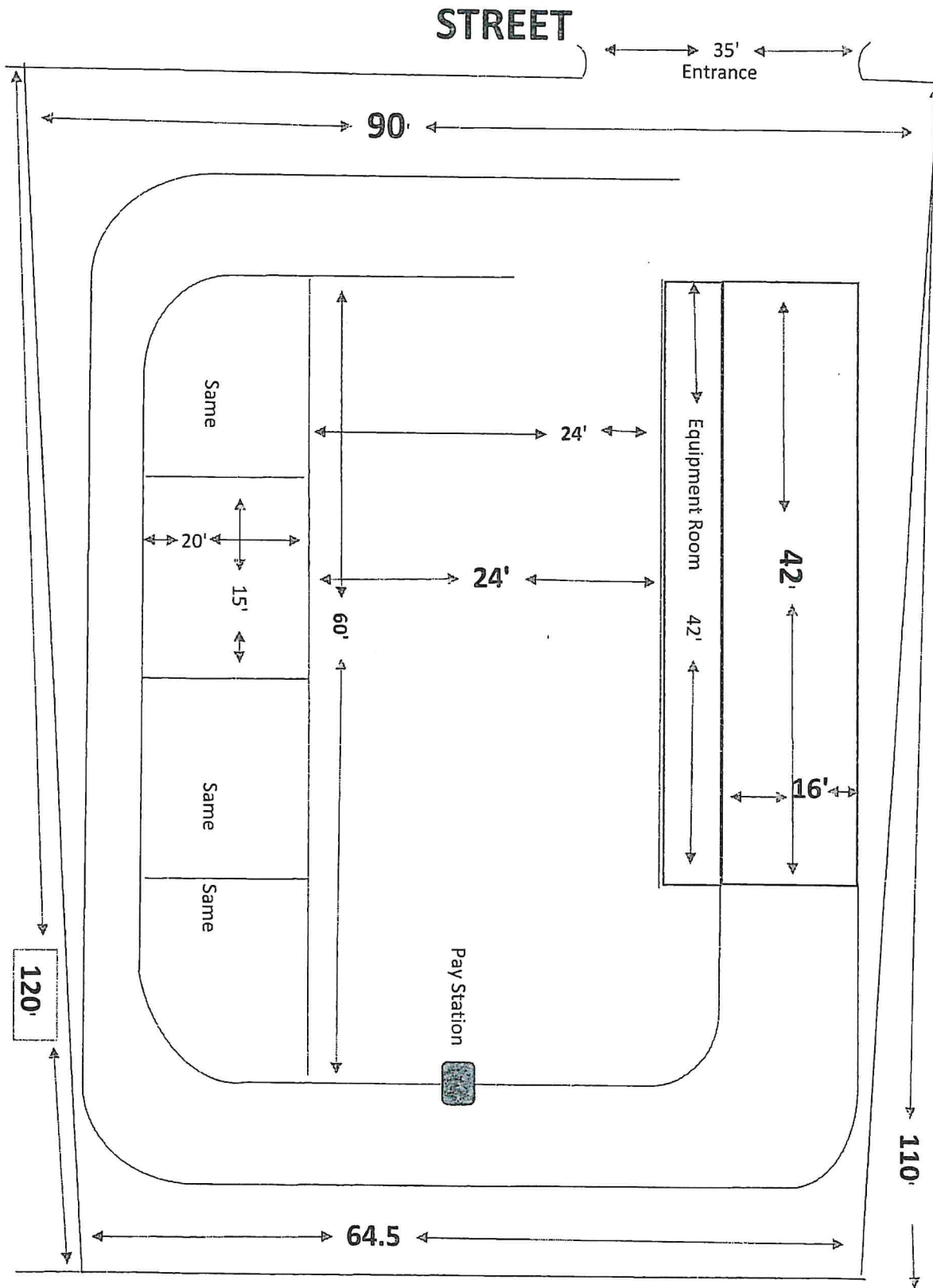
Name: QUEST TRUST COMPANY  
Exemptions:  
DBA: Null

Re-Center Map

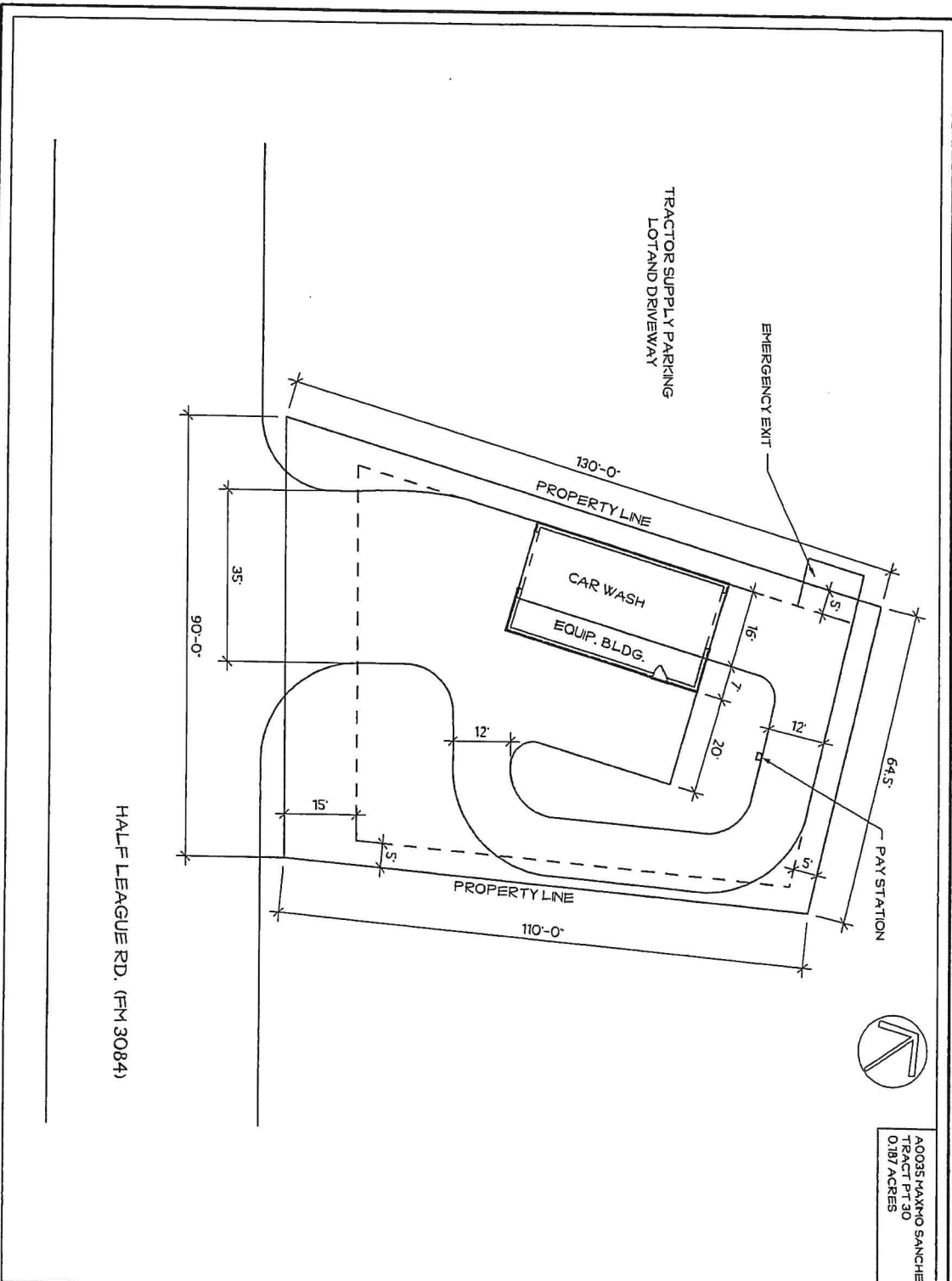


Callhoun CAD Map Search

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A0035 MAXIMO SANCHEZ  
TRACT PT 30  
0.187 ACRES

GENERAL NOTES

No.	REVISION/ISSUE	DATE

ALL DIMENSIONS ARE THE PROPERTY OF THE DESIGNER AND THE USER. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

**VEF Engineering**

527 Emilwest Drive  
Port Lavaca, TX 77979  
(361) 920-6240  
TX Firm No. 17596

PROJECT NAME:  
**Automated Car Wash**  
2248 FM 3084  
Port Lavaca, TX

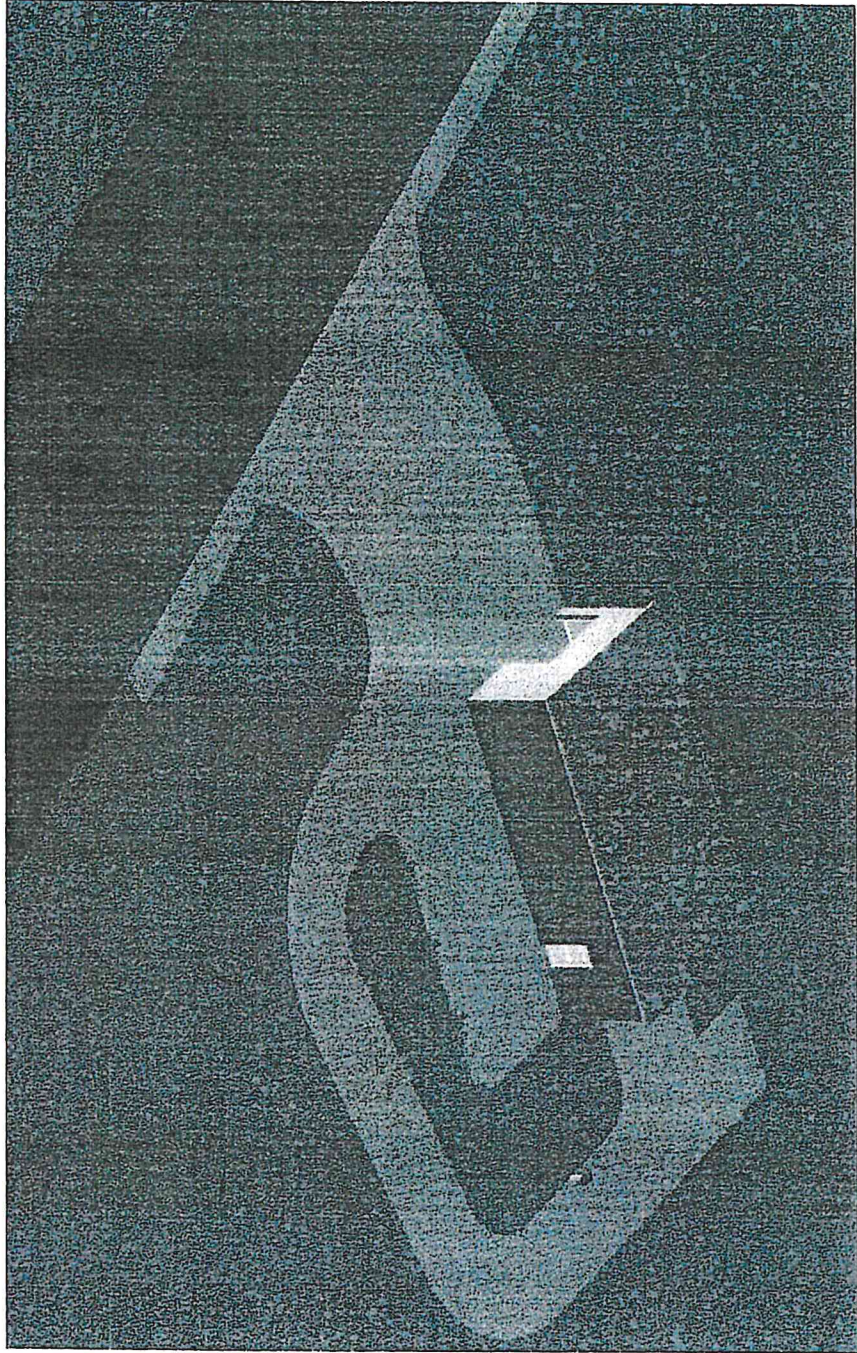
CLIENT:  
Ethan Rafael

DRAWING:  
**PRELIMINARY SITE PLAN**

SCALE: 1"=30' DATE: FEB. 2021

DRAWN BY: VEF  
CHECKED BY: VEF  
APPROVED BY: VEF

SHEET: **1**



GENERAL NOTES

No.	REVISION/ISSUE	DATE

ALL DIMENSIONS ARE THE RESPONSIBILITY OF THE ARCHITECT AND THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS.

**VEF Engineering**

527 Emburst Drive  
 Fort Laroza, TX 77979  
 (361) 920-6240  
 TX Perm. No. 17296

PROJECT NAME:

Automated Car Wash  
 2248 FM 3084  
 Port Lavaca, TX

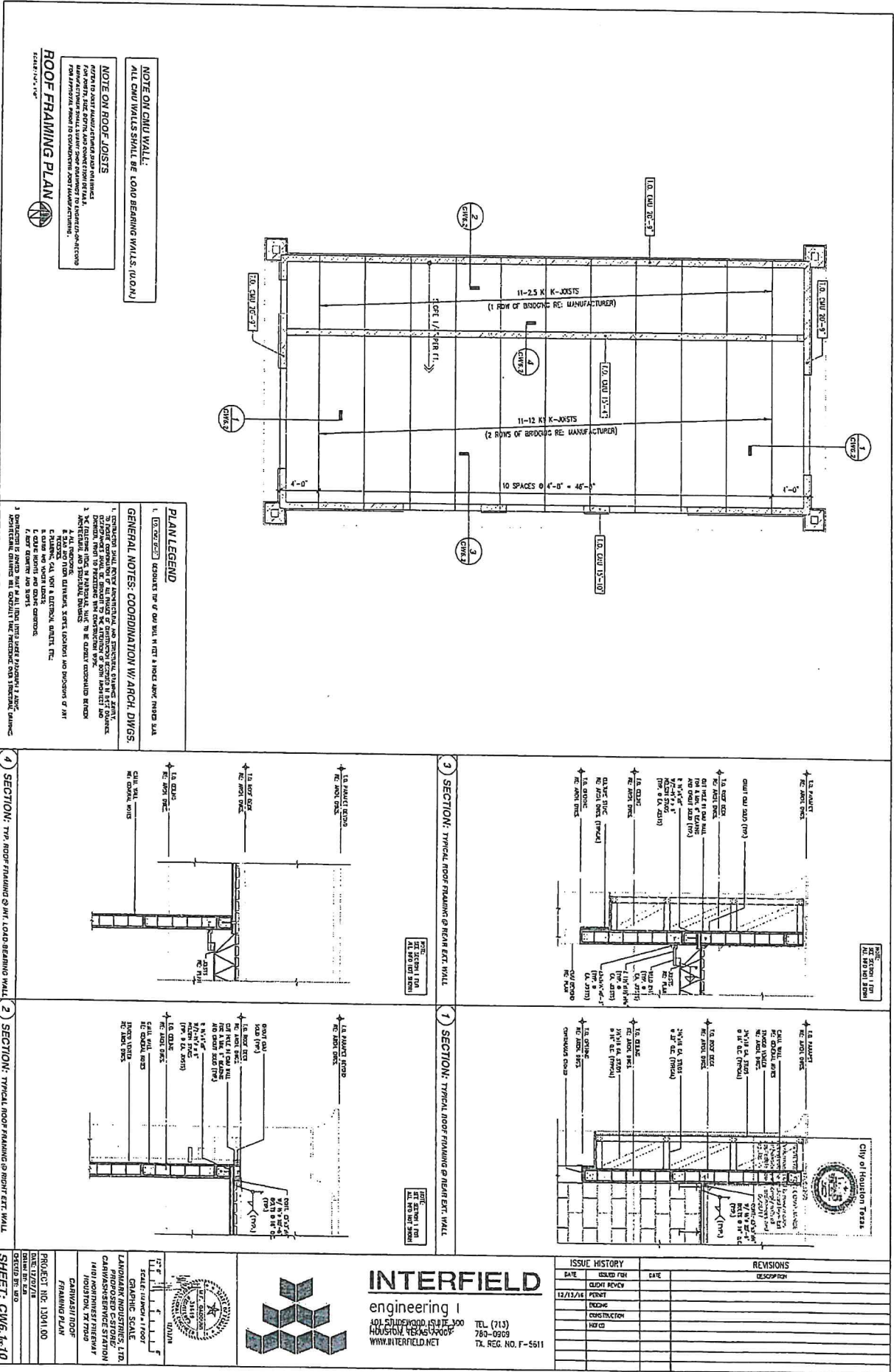
CLIENT:

Ethlon Rafel

DRAWING: PRELIMINARY RENDERING

SCALE: 1/8" = 1'-0" DATE: FEB. 2021

DESIGN BY: VEF	SHEET: 2
CHECKED BY: VEF	
APPROVED BY: VEF	



**NOTE ON CMU WALL:**  
ALL CMU WALLS SHALL BE LOAD BEARING WALLS. (U.O.M.)

**NOTE ON ROOF JOISTS:**  
ROOF JOISTS SHALL BE MANUFACTURED TO THE MANUFACTURER'S SPECIFICATIONS. ALL JOISTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST. ALL JOISTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST. ALL JOISTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST.

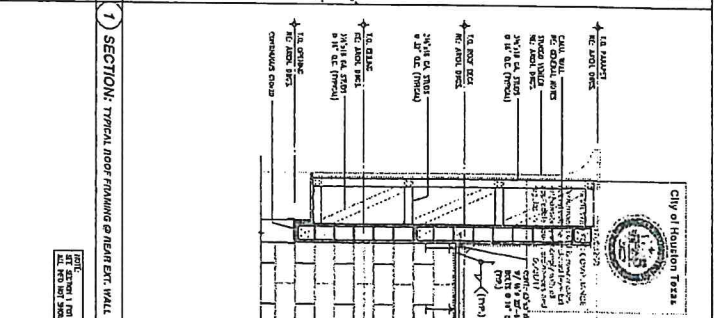
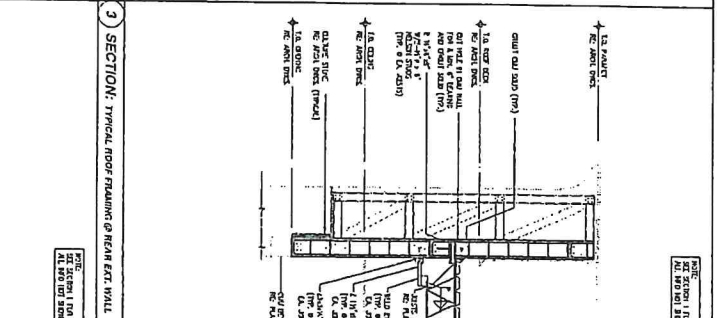
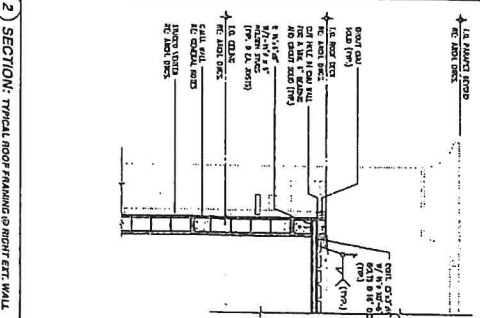
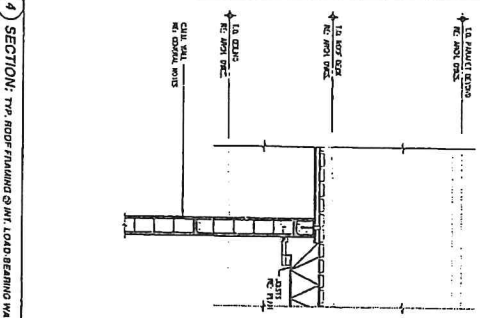
**ROOF FRAMING PLAN**

**PLAN LEGEND**

1. [Symbol] JOIST

**GENERAL NOTES: COORDINATION W/ ARCH. DWGS**

1. STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE MANUFACTURER AND SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST.
2. ALL JOISTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST.
3. ALL JOISTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST.
4. ALL JOISTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST.
5. ALL JOISTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST.
6. ALL JOISTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST.
7. ALL JOISTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST.
8. ALL JOISTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST.
9. ALL JOISTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST.
10. ALL JOISTS SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) END BRACES PER JOIST.



**PROJECT NO. 1041100**

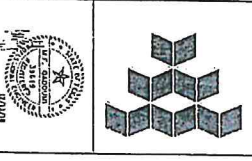
**DATE: 12/13/14**

**PROJECT NO. 1041100**

**DATE: 12/13/14**

**PROJECT NO. 1041100**

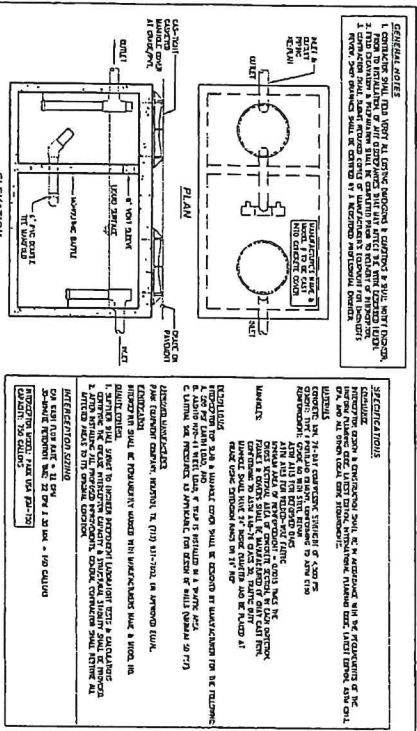
**DATE: 12/13/14**



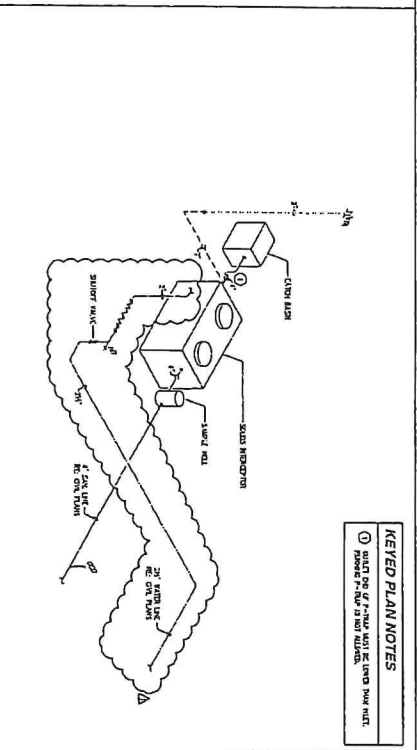
**INTERFIELD**  
engineering I  
401 COLLEENWOOD DRIVE, SUITE 300  
HOUSTON, TEXAS 77057  
WWW.INTERFIELD.NET

TEL: (713) 783-0909  
TX. REG. NO. F-5611

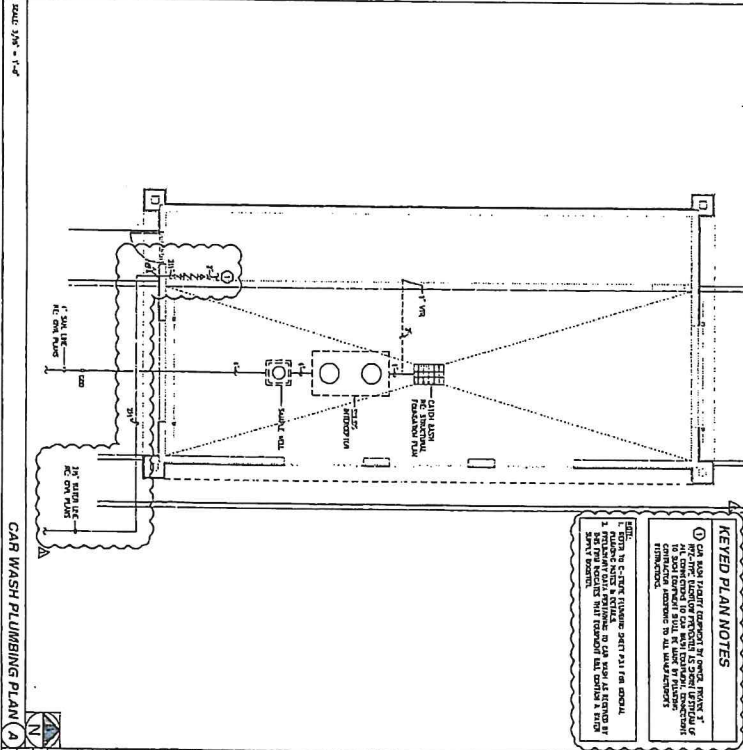
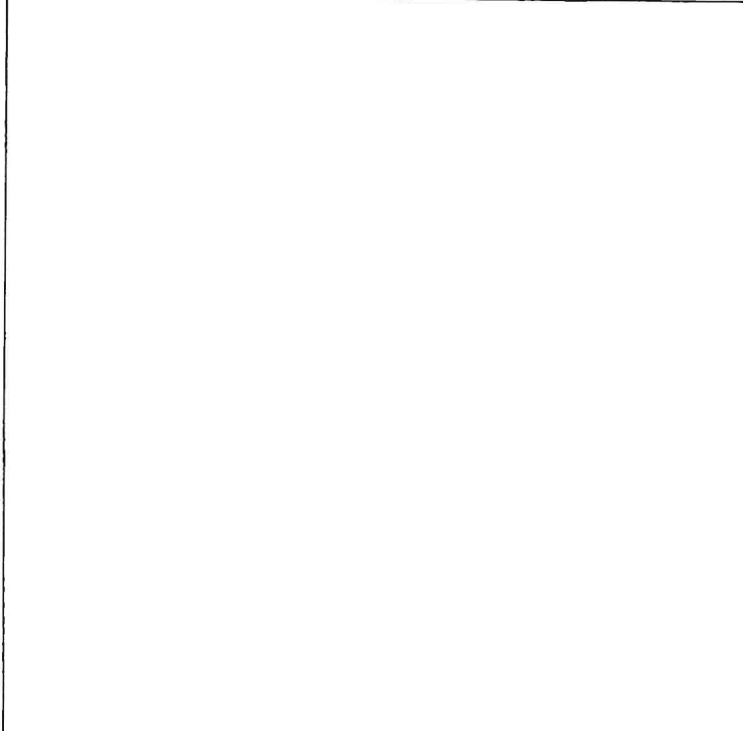
ISSUE HISTORY		REVISIONS	
DATE	ISSUED FOR	DATE	DESCRIPTION
12/13/14	NO		
	NO		
	CONSTRUCTION		
	NO		



1) DETAIL - SOUNDS INTERCEPTION



(B) CAR WASH RISER DIAGRAM



**KEYED PLAN NOTES**

1. CAR WASH RISER SHALL BE INSTALLED AT ALL EXTERIOR WALLS AND CEILING JOINTS...
2. SOUND INTERCEPTION SHALL BE INSTALLED AT ALL EXTERIOR WALLS AND CEILING JOINTS...
3. CLEAN WASH SHALL BE INSTALLED AT ALL EXTERIOR WALLS AND CEILING JOINTS...

**PLUMBING LEGEND**

SYMBOL	DESCRIPTION	REMARKS
(Symbol)	1/2" DIA. GALV. STEEL	
(Symbol)	3/4" DIA. GALV. STEEL	
(Symbol)	1" DIA. GALV. STEEL	
(Symbol)	1 1/2" DIA. GALV. STEEL	
(Symbol)	2" DIA. GALV. STEEL	
(Symbol)	3" DIA. GALV. STEEL	
(Symbol)	4" DIA. GALV. STEEL	
(Symbol)	6" DIA. GALV. STEEL	
(Symbol)	8" DIA. GALV. STEEL	
(Symbol)	10" DIA. GALV. STEEL	
(Symbol)	12" DIA. GALV. STEEL	
(Symbol)	14" DIA. GALV. STEEL	
(Symbol)	16" DIA. GALV. STEEL	
(Symbol)	18" DIA. GALV. STEEL	
(Symbol)	20" DIA. GALV. STEEL	
(Symbol)	24" DIA. GALV. STEEL	
(Symbol)	30" DIA. GALV. STEEL	
(Symbol)	36" DIA. GALV. STEEL	
(Symbol)	42" DIA. GALV. STEEL	
(Symbol)	48" DIA. GALV. STEEL	
(Symbol)	54" DIA. GALV. STEEL	
(Symbol)	60" DIA. GALV. STEEL	
(Symbol)	66" DIA. GALV. STEEL	
(Symbol)	72" DIA. GALV. STEEL	
(Symbol)	78" DIA. GALV. STEEL	
(Symbol)	84" DIA. GALV. STEEL	
(Symbol)	90" DIA. GALV. STEEL	
(Symbol)	96" DIA. GALV. STEEL	
(Symbol)	102" DIA. GALV. STEEL	
(Symbol)	108" DIA. GALV. STEEL	
(Symbol)	114" DIA. GALV. STEEL	
(Symbol)	120" DIA. GALV. STEEL	
(Symbol)	126" DIA. GALV. STEEL	
(Symbol)	132" DIA. GALV. STEEL	
(Symbol)	138" DIA. GALV. STEEL	
(Symbol)	144" DIA. GALV. STEEL	
(Symbol)	150" DIA. GALV. STEEL	
(Symbol)	156" DIA. GALV. STEEL	
(Symbol)	162" DIA. GALV. STEEL	
(Symbol)	168" DIA. GALV. STEEL	
(Symbol)	174" DIA. GALV. STEEL	
(Symbol)	180" DIA. GALV. STEEL	
(Symbol)	186" DIA. GALV. STEEL	
(Symbol)	192" DIA. GALV. STEEL	
(Symbol)	198" DIA. GALV. STEEL	
(Symbol)	204" DIA. GALV. STEEL	
(Symbol)	210" DIA. GALV. STEEL	
(Symbol)	216" DIA. GALV. STEEL	
(Symbol)	222" DIA. GALV. STEEL	
(Symbol)	228" DIA. GALV. STEEL	
(Symbol)	234" DIA. GALV. STEEL	
(Symbol)	240" DIA. GALV. STEEL	
(Symbol)	246" DIA. GALV. STEEL	
(Symbol)	252" DIA. GALV. STEEL	
(Symbol)	258" DIA. GALV. STEEL	
(Symbol)	264" DIA. GALV. STEEL	
(Symbol)	270" DIA. GALV. STEEL	
(Symbol)	276" DIA. GALV. STEEL	
(Symbol)	282" DIA. GALV. STEEL	
(Symbol)	288" DIA. GALV. STEEL	
(Symbol)	294" DIA. GALV. STEEL	
(Symbol)	300" DIA. GALV. STEEL	
(Symbol)	306" DIA. GALV. STEEL	
(Symbol)	312" DIA. GALV. STEEL	
(Symbol)	318" DIA. GALV. STEEL	
(Symbol)	324" DIA. GALV. STEEL	
(Symbol)	330" DIA. GALV. STEEL	
(Symbol)	336" DIA. GALV. STEEL	
(Symbol)	342" DIA. GALV. STEEL	
(Symbol)	348" DIA. GALV. STEEL	
(Symbol)	354" DIA. GALV. STEEL	
(Symbol)	360" DIA. GALV. STEEL	
(Symbol)	366" DIA. GALV. STEEL	
(Symbol)	372" DIA. GALV. STEEL	
(Symbol)	378" DIA. GALV. STEEL	
(Symbol)	384" DIA. GALV. STEEL	
(Symbol)	390" DIA. GALV. STEEL	
(Symbol)	396" DIA. GALV. STEEL	
(Symbol)	402" DIA. GALV. STEEL	
(Symbol)	408" DIA. GALV. STEEL	
(Symbol)	414" DIA. GALV. STEEL	
(Symbol)	420" DIA. GALV. STEEL	
(Symbol)	426" DIA. GALV. STEEL	
(Symbol)	432" DIA. GALV. STEEL	
(Symbol)	438" DIA. GALV. STEEL	
(Symbol)	444" DIA. GALV. STEEL	
(Symbol)	450" DIA. GALV. STEEL	
(Symbol)	456" DIA. GALV. STEEL	
(Symbol)	462" DIA. GALV. STEEL	
(Symbol)	468" DIA. GALV. STEEL	
(Symbol)	474" DIA. GALV. STEEL	
(Symbol)	480" DIA. GALV. STEEL	
(Symbol)	486" DIA. GALV. STEEL	
(Symbol)	492" DIA. GALV. STEEL	
(Symbol)	498" DIA. GALV. STEEL	
(Symbol)	504" DIA. GALV. STEEL	
(Symbol)	510" DIA. GALV. STEEL	
(Symbol)	516" DIA. GALV. STEEL	
(Symbol)	522" DIA. GALV. STEEL	
(Symbol)	528" DIA. GALV. STEEL	
(Symbol)	534" DIA. GALV. STEEL	
(Symbol)	540" DIA. GALV. STEEL	
(Symbol)	546" DIA. GALV. STEEL	
(Symbol)	552" DIA. GALV. STEEL	
(Symbol)	558" DIA. GALV. STEEL	
(Symbol)	564" DIA. GALV. STEEL	
(Symbol)	570" DIA. GALV. STEEL	
(Symbol)	576" DIA. GALV. STEEL	
(Symbol)	582" DIA. GALV. STEEL	
(Symbol)	588" DIA. GALV. STEEL	
(Symbol)	594" DIA. GALV. STEEL	
(Symbol)	600" DIA. GALV. STEEL	

**GRAPHIC SCALE**

1" = 1'-0"

SCALE: 3/16" = 1'-0"

**REVISIONS**

NO.	DATE	REVISIONS
1	11/15/24	ISSUE FOR PERMIT
2	11/15/24	ISSUE FOR CONSTRUCTION

**THE INTERFIELD GROUP**

LANDMARKS INDUSTRIES, LTD.

PROPOSED DESIGN & CONSTRUCTION STATION ADDITION

1111 HENNINGSON DRIVE, SUITE 1000

MINNETONKA, MN 55345

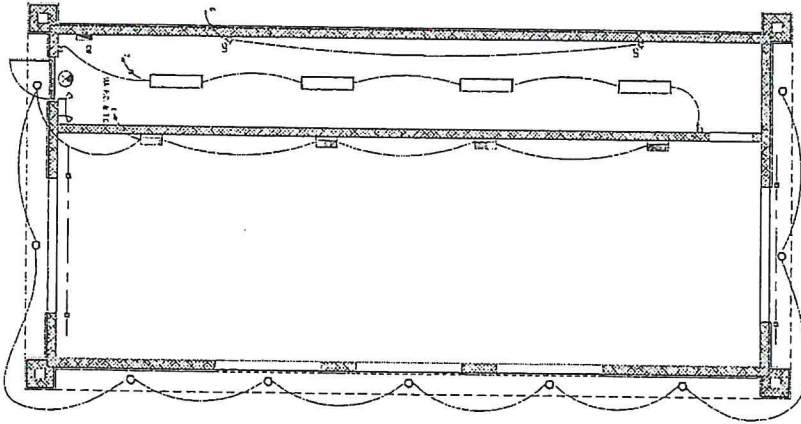
PHONE: 952.891.1234

**CWB-1 of 12**

WIRE NO.	WIRE SIZE	WIRE TYPE	WIRE COLOR	WIRE LENGTH	WIRE WEIGHT	WIRE AREA	WIRE VOLUME	WIRE RESISTANCE	CABLE		CABLE WEIGHT	CABLE AREA	CABLE VOLUME	CABLE RESISTANCE
									NO. OF CABLES	NO. OF CABLES				
1	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
2	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
3	1/2"	THHN	GREEN	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
4	1/2"	THHN	BLACK	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
5	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
6	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
7	1/2"	THHN	GREEN	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
8	1/2"	THHN	BLACK	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
9	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
10	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
11	1/2"	THHN	GREEN	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
12	1/2"	THHN	BLACK	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
13	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
14	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
15	1/2"	THHN	GREEN	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
16	1/2"	THHN	BLACK	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
17	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
18	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
19	1/2"	THHN	GREEN	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
20	1/2"	THHN	BLACK	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
21	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
22	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
23	1/2"	THHN	GREEN	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
24	1/2"	THHN	BLACK	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
25	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
26	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
27	1/2"	THHN	GREEN	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
28	1/2"	THHN	BLACK	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
29	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
30	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
31	1/2"	THHN	GREEN	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
32	1/2"	THHN	BLACK	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
33	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
34	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
35	1/2"	THHN	GREEN	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
36	1/2"	THHN	BLACK	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
37	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
38	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
39	1/2"	THHN	GREEN	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
40	1/2"	THHN	BLACK	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
41	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
42	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
43	1/2"	THHN	GREEN	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
44	1/2"	THHN	BLACK	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
45	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
46	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
47	1/2"	THHN	GREEN	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
48	1/2"	THHN	BLACK	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
49	1/2"	THHN	RED	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015
50	1/2"	THHN	BLUE	1000'	1000'	0.015	1000'	0.015	1	1	0.015	1000'	0.015	0.015

PANEL QW

- PLAN NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
  2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
  3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
  4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
  5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
  6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
  7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
  8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
  9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
  10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).



SCALE 1/4" = 1'-0"

CAR WASH ELECTRICAL PLAN A

**ELECTRICAL LEGEND**

[Symbol]	CONDUIT
[Symbol]	WIRE
[Symbol]	TRAY
[Symbol]	TRAY COVER
[Symbol]	TRAY HANGAR
[Symbol]	TRAY BRACKET
[Symbol]	TRAY CLAMP
[Symbol]	TRAY END CAP
[Symbol]	TRAY JOINT
[Symbol]	TRAY REPAIR
[Symbol]	TRAY WELD
[Symbol]	TRAY BRACKET
[Symbol]	TRAY CLAMP
[Symbol]	TRAY END CAP
[Symbol]	TRAY JOINT
[Symbol]	TRAY REPAIR
[Symbol]	TRAY WELD

**LEGEND**

[Symbol]	CONDUIT
[Symbol]	WIRE
[Symbol]	TRAY
[Symbol]	TRAY COVER
[Symbol]	TRAY HANGAR
[Symbol]	TRAY BRACKET
[Symbol]	TRAY CLAMP
[Symbol]	TRAY END CAP
[Symbol]	TRAY JOINT
[Symbol]	TRAY REPAIR
[Symbol]	TRAY WELD

**GRAPHIC SCALE**

1" = 1'-0"

DATE	REVISION
12/12/13	ISSUE
12/12/13	REVISED FOR
12/12/13	REVISION
12/12/13	REVISION

**THE INTERFIELD GROUP**  
ARCHITECTURE PLANNING ENGINEERING

**LANDMARK INDUSTRIES, LTD.**  
ARCHITECTURE PLANNING ENGINEERING

**CAR WASH ELECTRICAL PLAN**

PROPOSED C-STORE & CARWASH SERVICE STATION ADDITION

1401 HAWTHORNE AVENUE (STATION AND SIGN)

ANN ARBOR, MICHIGAN 48106

DATE: 12/26/13

SCALE: 1/4" = 1'-0"

CW9-1-13

# COMMUNICATION

**SUBJECT:** Consider and discuss approval of a Preliminary Plat. The proposed Preliminary Plat is located at 2248 FM 3084, also known as Half League Road. The legal description for this property is A0035 MAXIMO SANCHEZ, TRACT PT 30 in Calhoun County, Texas. Being .187 acres.

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## INFORMATION:

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**CITY OF PORT LAVACA**

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**MEETING:** November 01, 2021 **AGENDA ITEM** \_\_\_\_\_

**DATE:** 10.25.2021

**TO:** PLANNING BOARD

**FROM:** JESSICA CARPENTER, DEVELOPMENT SERVICES DIRECTOR

**SUBJECT:** Consider and discuss approval of a Preliminary Plat. The proposed preliminary plat is located at 2248 FM 3084, also known as Half League Road. The legal description for this property is A0035 MAXIMO SANCHEZ, TRACT PT 30 in Calhoun County, Texas. Being .187 acres.

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**Chapter 42 - SUBDIVISIONS AND PLATS**

[https://library.municode.com/tx/port\\_lavaca/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH42SUP\\_L\\_ARTIINGE\\_S42-5PO](https://library.municode.com/tx/port_lavaca/codes/code_of_ordinances?nodeId=PTIICOOR_CH42SUP_L_ARTIINGE_S42-5PO)

Below references the City Code of Ordances, Chapter 42 – Subdivisions and Plats, where this Preliminary Plat request is compliant and will meet the ordinance as presented.

**Sec. 42-2. - Purpose.**

(c) The city planning board, before approving any plats submitted to it, shall refer such plats to the departments, agencies, and utilities in this chapter named for their suggestions and comments by written report.

*Applicant has adhered to the proper subdivision plat submittal and review procedural process prior to presentation before the Planning Board.*

**Sec. 42-5. - Policy.**

(a) It shall be unlawful for any owner or agent of any owner of land to lay out, subdivide, plat or replat any land into lots, blocks, and streets within the jurisdictional area of this chapter without the proper approval of the planning board. It shall be unlawful for any such owner or agent to offer for sale or sell property for building lots, building tracts or urban use therein, which has not been laid out, subdivided, platted, or replatted with the approval of the planning board in accordance with this chapter.

*The applicant is in compliance with the platting process prior to development.*

**Sec. 42-6. - Procedure**

A plat must be approved prior to the offering for sale of any lot, tract, or building site; prior to any construction work; and before any map of said subdivision is prepared in a form for recording.

*This preliminary plat if approved and recorded, is anticipated to be developed for a proposed car wash. The applicant has a predevelopment meeting scheduled for November 3<sup>rd</sup> to discuss the car wash site development standards. There is a fire access easement requirement from the YMCA property. The*

*applicant has received verbal approval from the YMCA for the fire assessment. The city will draft the fire access easement document for recordation in the platting process.*

**Department Comments:**

**The applicant has a Predevelopment Meeting scheduled for November 3<sup>rd</sup>.**

**Fire:** If approval is granted for this location to be developed as a car wash, a pre-development meeting is recommended to discuss the comprehensive site development and design standards, including but not limited to the following comments shall be scheduled with the applicant and pertinent city representatives.

- a. A fire department review and inspection will be required at the time of plan submittal and site development.
- b. A fire access easement is required from the YMCA property.

**Public Works:** If approval is granted for this location to be developed as a car wash, a pre-development meeting is recommended to discuss the comprehensive site development and design standards.

**Engineering:** If approval is granted for this location to be developed as a car wash, a pre-development meeting to discuss the comprehensive site development and design standards, including but not limited to the following comments shall be scheduled with the applicant and pertinent city representatives.

- a. Discuss the access, possible easements, and drainage under plat review and the predevelopment meeting.
- b. **TxDOT:** All drainage and access for this site requires TxDOT approval. TxDOT will formally review and comment under the plat review process.

**Development Services:** If approval is granted for this location to be developed as a car wash, a pre-development meeting to discuss the comprehensive site development and design standards, including platting will be scheduled.

Ensure to meet the following code:

[https://library.municode.com/tx/port\\_lavaca/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH50UT\\_ARTIISE\\_DIV3GRGROICO\\_S50-150GRGROICO](https://library.municode.com/tx/port_lavaca/codes/code_of_ordinances?nodeId=PTIICOOR_CH50UT_ARTIISE_DIV3GRGROICO_S50-150GRGROICO)

*(c) Installation and maintenance requirements.*

(1) Installations.

a. New facilities.

2. All permanent car washes and wash bays which are newly proposed or constructed, or existing facilities which will be expanded or renovated to include a car wash or wash bay, where such facility did not previously exist, shall be required to design, install, operate, and maintain and register with the city a grit trap/interceptor in accordance with the currently adopted plumbing codes and other applicable ordinances. Grit traps/interceptors shall be installed and inspected prior to issuance of a certificate of occupancy.



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## CITY OF PORT LAVACA

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**Staff Recommendation:** Approval

Staff recommends approval of this Preliminary Plat. The preliminary plat is located at 2248 FM 3084, also known as Half League Road. The legal description for this property is A0035 MAXIMO SANCHEZ, TRACT PT 30 in Calhoun County, Texas. Being .187 acres.

**Attachments:**

- Car Wash Site Plan
- Car Wash Exhibits
- Car Wash Preliminary Plat Map
- Parcel CAD map



Item 3.

Property Identification #: 382209

Property Information: 2022

Owner Identification #: 116115

Geo ID: A0035-00000-0153-00  
 Situs 2248 FIM 3084 PORT LAVACA,  
 Address: TX 77979  
 Property Type: Real  
 State Code: C1

Legal Description: A0035 MAXIMIO SANCHEZ, TRACT PT 30, ACRES .187  
 Abstract: A0035  
 Neighborhood: PORT LAVACA EAST  
 Appraised Value: N/A  
 Jurisdictions: G05, NV6, S01, C04, FML, CAD, GWD

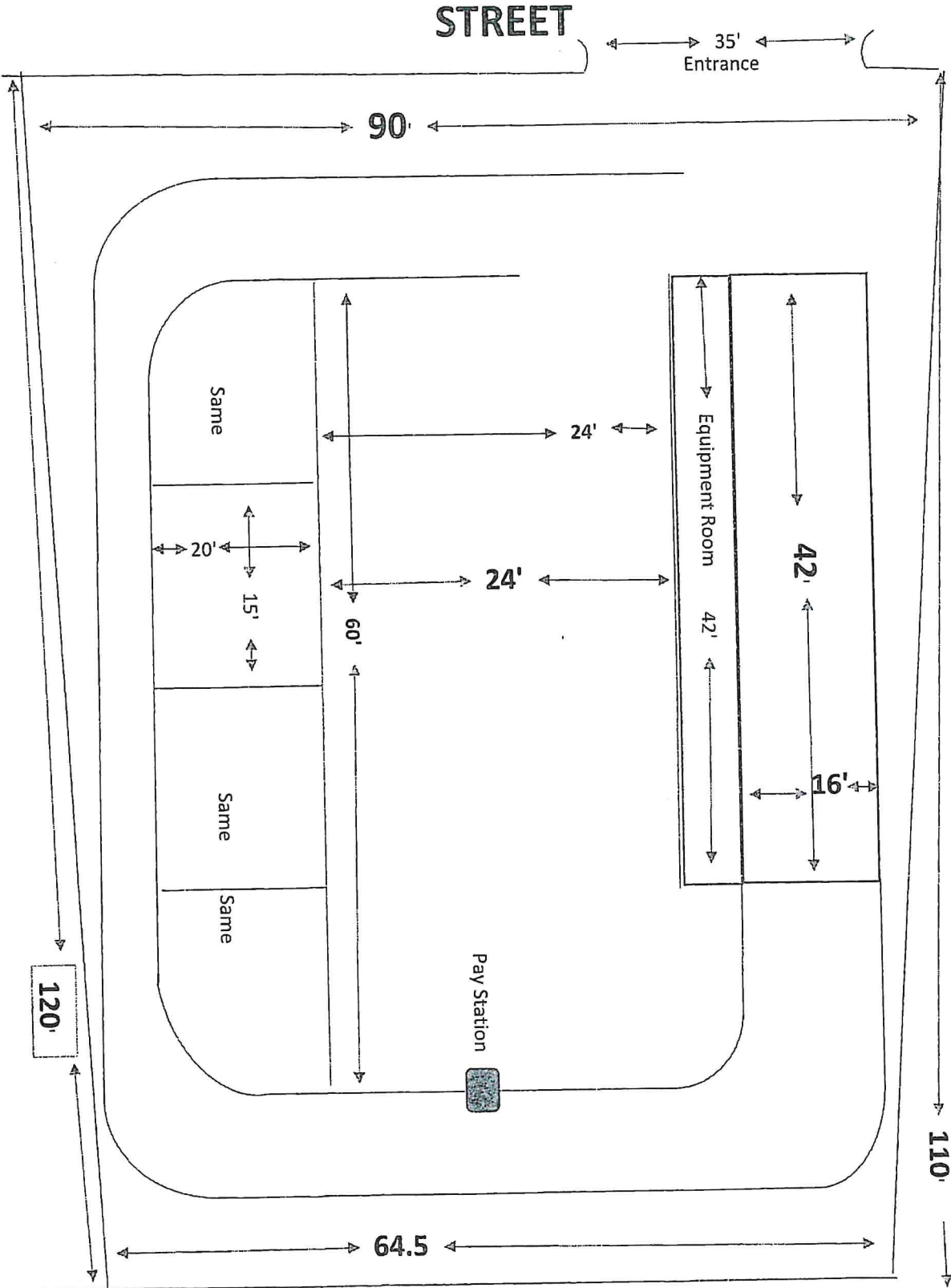
Name: QUEST TRUST COMPANY  
 Exemptions:  
 DBA: Null

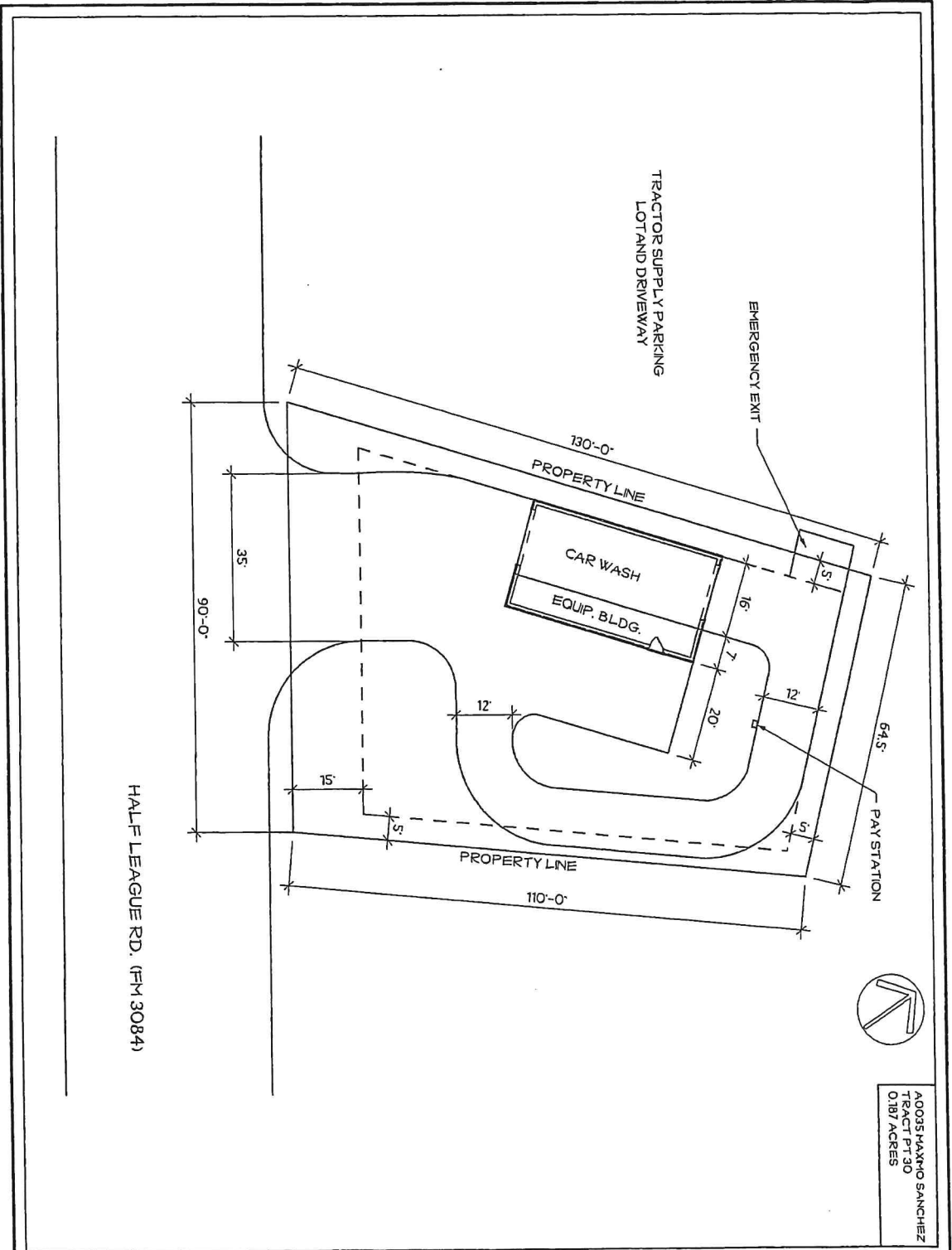
Re-Center Map



Calhoun CAD Map Search

This product is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The Calhoun County Appraisal District expressly disclaims any and all liability in connection herewith.





A0035 MAXIMO SANCHEZ  
TRACT PT 30  
0.187 ACRES

GENERAL NOTES

No.	REVISION/ISSUE	DATE

ALL DIMENSIONS ARE PER APPROVED "AS-BUILT" RECORDS AND THE FABRICATOR'S RECOMMENDATION. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED. THE FABRICATOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF THE EQUIPMENT AND TO VERIFY THE LOCATION OF THE EQUIPMENT ON THE SITE. THE FABRICATOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF THE EQUIPMENT ON THE SITE.

**VEF Engineering**

527 Embury Drive  
Port Lavaca, TX 77979  
(361) 920-6240  
TX Firm No. 17395

PROJECT NAME  
**Automated Car Wash**  
2248 FM 3084  
Port Lavaca, TX

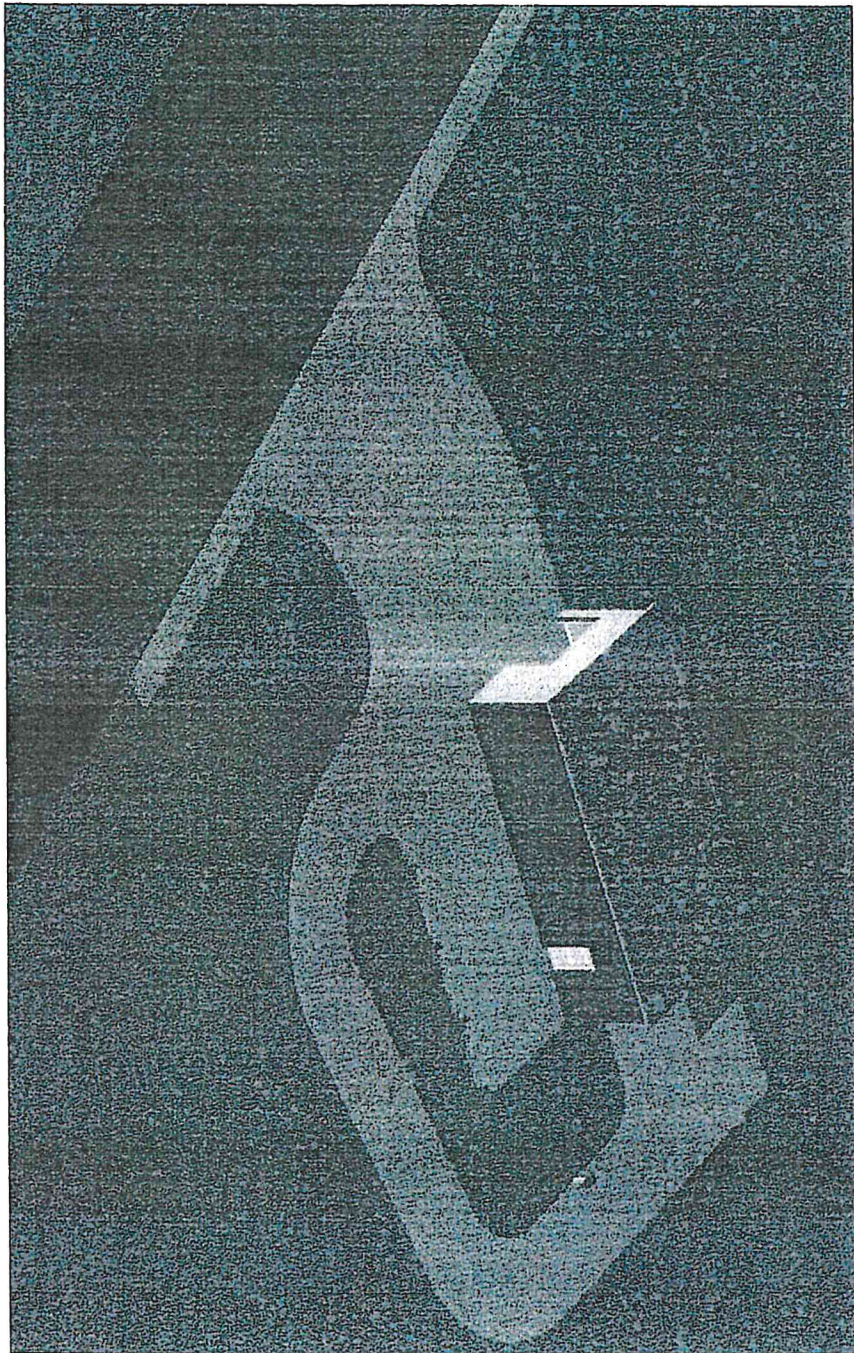
CLIENT  
Ethlon Refel

DRAWING  
PRELIMINARY SITE PLAN

SCALE: 1"=30' DATE: FEB. 2021

DRAWN BY: VEF  
CHECKED BY: VEF  
APPROVED BY: VEF

SHEET  
**1**



GENERAL NOTES

NO.	REVISION/ISSUE	DATE

ALL DRAWINGS ARE THE PROPERTY OF VEF ENGINEERING AND ARCHITECTURE. NO PARTS OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF VEF ENGINEERING AND ARCHITECTURE.

**VEF Engineering**

527 Elmhurst Drive  
 Port Lavaca, TX 77979  
 (361) 928-6240  
 TX Empl. No. 17596

PROJECT NAME:

Automated Car Wash  
 2248 FM 3084  
 Port Lavaca, TX

CLIENT:

Ethon Rafel

DRAWING: PRELIMINARY RENDERING

SCALE: 1/8" = 1'-0" DATE: FEB. 2021

DRAWN BY:	VEF	SHEET:
CHECKED BY:	VEF	<b>2</b>
APPROVED BY:	VEF	

**NOTE ON CMU WALL:**  
ALL CMU WALLS SHALL BE LOAD BEARING WALLS. (M.O.M.)

**NOTE ON ROOF JOISTS:**  
FOR THE ROOF JOIST SYSTEM, THE JOIST MANUFACTURER SHALL SUBMIT THEIR PLACEMENT TO INTERFIELD ENGINEERS FOR APPROVAL PRIOR TO CONSTRUCTION. (M.O.M.)

**ROOF FRAMING PLAN**

**PLAN LEGEND**

1. [Symbol] JOISTES PER 4' ON WALL IN SET A HIGHER ABOVE FINISH SLL

**GENERAL NOTES: COORDINATION W/ ARCH. DWGS.**

1. CONSULT WITH ARCHITECT AND SPECIALTY TRADES AGENT TO VERIFY COMPLIANCE WITH ALL CITY OF HOUSTON PERMITS AND ALL APPLICABLE CODES. (M.O.M.)
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND PROVIDING THE NECESSARY BRACING AND SHORING TO MAINTAIN THE EXISTING STRUCTURE DURING CONSTRUCTION. (M.O.M.)
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND PROVIDING THE NECESSARY BRACING AND SHORING TO MAINTAIN THE EXISTING STRUCTURE DURING CONSTRUCTION. (M.O.M.)
4. ALL JOISTES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (M.O.M.)
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND PROVIDING THE NECESSARY BRACING AND SHORING TO MAINTAIN THE EXISTING STRUCTURE DURING CONSTRUCTION. (M.O.M.)
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND PROVIDING THE NECESSARY BRACING AND SHORING TO MAINTAIN THE EXISTING STRUCTURE DURING CONSTRUCTION. (M.O.M.)
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**3) SECTION: TYPICAL ROOF FRAMING @ REAR EXT. WALL**

**1) SECTION: TYPICAL ROOF FRAMING @ REAR EXT. WALL**

**4) SECTION: TYPICAL ROOF FRAMING @ INT. LOAD-BEARING WALL**

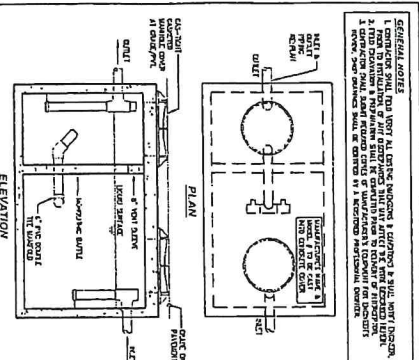
PROJECT NO. 12041100  
SHEET: CW6-1a/10

**INTERFIELD**  
engineering inc  
10101 HUNTERS GREEN BLVD  
HOUSTON, TEXAS 77036  
WWW.INTERFIELD.NET

TEL: (713) 780-0909  
TX. REG. NO. F-5511

**ISSUE HISTORY**

DATE	ISSUED FOR	DATE	REVISIONS
12/13/16	PERMIT		
	CONSTRUCTION		
	REVISION		

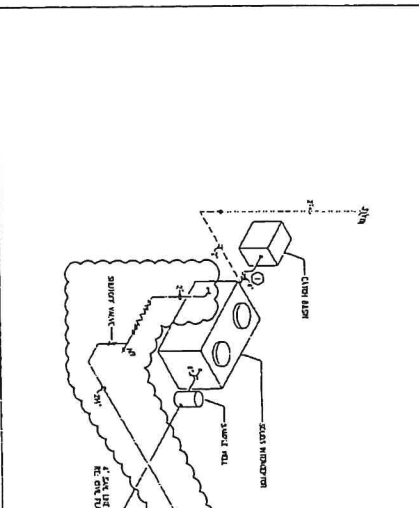


**1 DETAIL: SLOPED INTERCEPTION**

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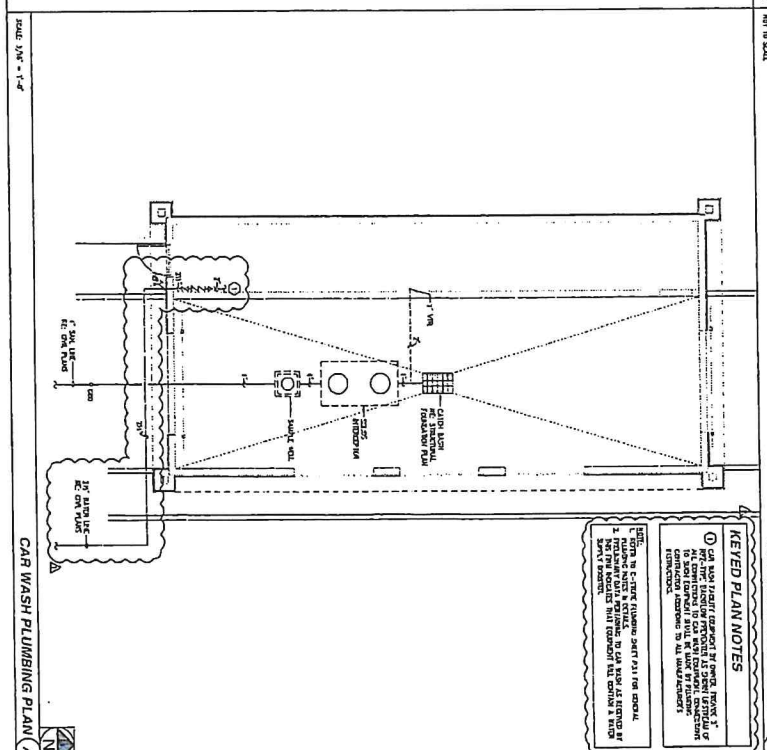


**KEYED PLAN NOTES**

- SHOW THE LOCATION OF ALL PLUMBING RISERS & VALVES.
- SHOW THE LOCATION OF ALL SLOPED INTERCEPTIONS & FOUNDATION FEET.

**PLUMBING LEGEND**

Symbol	Description	Material / Note																																													
[Symbol]	PLUMBING RISER	1/2\"/>																																													
[Symbol]	SLOPED INTERCEPTION	1/2\"/> <tr> <td>[Symbol]</td> <td>FOUNDATION FOOT</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING VALVE</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING FITTING</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING HANGAR</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING STRAP</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING BOLLARD</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING SCHEDULE</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING HOLE</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING CUTOUT</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING SERVICE LINE</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING MAIN</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING BRANCH</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING SERVICE LINE</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING MAIN</td> <td>1/2\"/&gt;  <tr> <td>[Symbol]</td> <td>PLUMBING BRANCH</td> <td>1/2\"/&gt; 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**CAR WASH PLUMBING PLAN (A)**

**ISSUE HISTORY**

DATE	ISSUED FOR	DATE	REVISIONS
12/17/18	PRELIM	12/17/18	ISSUE FOR PERMIT
01/11/19	FINAL	01/11/19	ISSUE FOR CONSTRUCTION

**THE INTERFIELD GROUP**  
ARCHITECTURAL PLANNING ENGINEERING

**LANDMARK INDUSTRIES, LTD.**  
ARCHITECTURAL PLANNING ENGINEERING

**CARWASH PLUMBING PLAN RISER & DETAILS**

**CW8.1 of 12**





## **COMMUNICATION**

**SUBJECT:** Consider and discuss approval of a conceptual industrial shop, industrial storage, and business office use to be located on Henry Barber Way. The legal description for this location is A0137 SAMUEL SHUPE, TRACT PT 1, ACRES 12.449. The PIN # for this property is 14186.

---

## **INFORMATION:**

**MEETING:** November 01, 2021 **AGENDA ITEM** \_\_\_\_\_

**DATE:** 10.25.2021

**TO:** PLANNING BOARD

**FROM:** JESSICA CARPENTER, DEVELOPMENT SERVICES DIRECTOR

**SUBJECT:** Consider and discuss approval of a conceptual industrial shop, industrial storage, and business office use to be located on Henry Barber Way. The legal description for this location is A0137 SAMUEL SHUPE, TRACT PT 1, ACRES 12.449. The PIN # for this property is 14186.

**Sec. 42-159. - Approval of planning commission required.**

No person shall construct a multifamily dwelling, townhouse, patio home or other commercial development project without approval of said construction project by the planning commission...

*The applicant is proposing an industrial and business office use located on Henry Barber Way. The site location is currently not platted and has a cell tower on site and drainage to the rear of the property adjacent to Chocolate Bayou.*

*The proposal is to develop the site with the following:*

- *1(one) building serving as a general office and industrial shop*
- *1(one) Storage Building*
- *Parking*
- *Driveway to shop from Henry Barber Way*
- *Driveway access to general (private/public parking adjacent to office*

**Future Land Use Map**

<https://portlavaca.org/wp-content/uploads/2020/10/Future-Land-Use-Plan.pdf>

*The Future Land Use map designates this parcel as Light Industrial. Therefore, the proposed industrial maintenance services servicing Formosa and business office use is compliant with the Future Land Use map.*

**Department Comments:**

**Fire:** If approval is granted for this location to be developed as an industrial and business use, a pre-development meeting is recommended to discuss the comprehensive site development and design standards, including but not limited to the following comments shall be scheduled with the applicant and pertinent city representatives.

- a. A fire department review and inspection will be required at the time of plan submittal and site development.

**Public Works:** If approval is granted for this location to be developed as an industrial and business use, a pre-development meeting is recommended to discuss the comprehensive site development and design standards.

**Engineering:** If approval is granted for this location to be developed as an industrial and business use, a pre-development meeting to discuss the comprehensive site development and design standards, including but not limited to the following comments shall be scheduled with the applicant and pertinent city representatives.

- a. Discuss the access, possible easements, and drainage under plat review and the predevelopment meeting.

**Development Services:** If approval is granted for this location to be developed as an industrial and business use, a pre-development meeting to discuss the comprehensive site development and design standards, including platting will be scheduled.

**Staff Recommendation:**

Discuss the light industrial understanding of the Future Land Use Map in accordance to the industrial specifications of use proposed by the applicant for the conceptual industrial shop, industrial storage, and business office use to be located on Henry Barber Way. The legal description for this location is A0137 SAMUEL SHUPE, TRACT PT 1, ACRES 12.449. The PIN # for this property is 14186.

**Attachments:**

- Conceptual industrial and office use exhibits
- CAD PIN14186

Item 4.

Prod Identification #: 14186

Property Information: 2022

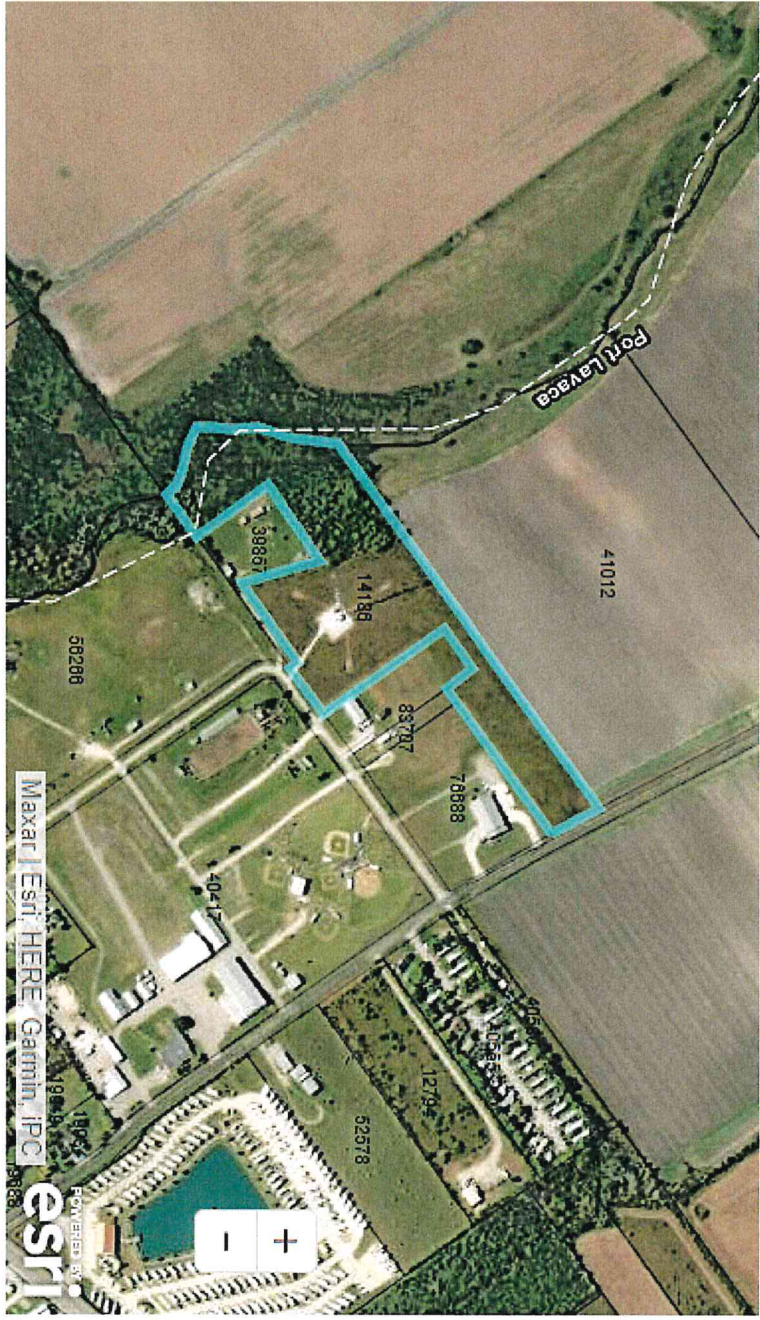
Owner Identification #: 117147

Geo ID: A0137-000000-0001-AA  
Situs: HENRY BARBER WY PORT  
Address: LAVACA, TX 77979  
Property Type: Real  
State Code: E4

Legal: A0137 SAMUEL SHUPE,  
Description: TRACT PT 1, ACRES 12.449  
Abstract: A0137  
Neighborhood: PORT LAVACA WEST  
Appraised Value: N/A  
Jurisdictions: G05, NV6, S01, C04, FML, CAD, GWD

Name: MELENDEZ ERICK F  
Exemptions:  
DBA: Null

Re-Center Map



Calhoun CAD Map Search

This product is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The Calhoun County Appraisal District expressly disclaims any and all liability in connection herewith.



Gonzalez Industrial Insulation, Inc.  
3706 E. Rio Grande  
Suite B  
Victoria, TX 77901  
Office 361-987-2770

Item 4.

October 15, 2021

Ms. Jessica Carpenter  
City of Port Lavaca  
Director of Development Services  
202 North Virginia  
Port Lavaca, TX 77979

**RE: Conceptual Approval Request – Gonzalez Industrial Insulation, Inc. (Property Identification #: 14186**

Dear Ms. Carpenter:

GII, Inc. sincerely appreciates the opportunity to present this request for conceptual approval for the improvements to the property located off Henry Barber Way (CR 101), approximately 2,400 lf east of SH 238 and 3,000 lf west of SH 35, in Port Lavaca, Calhoun County, Texas. GII, Inc., based in Victoria, Texas, has provided professional industrial maintenance services for local chemical plants such as Formosa for over 30 years and intends to expand their facilities to a more appropriate location within the City of Port Lavaca.

It is our understanding that the said property is currently appropriately zoned for commercial/industrial. GII intends to develop the site in accordance with this zoning to include the following general elements:

- 1 (one) building structure serving as general office and industrial shop
- 1 (one) storage building
- Parking
- Driveway access to shop from Henry Barber Way (CR 101)
- Driveway access to general (private/public) parking adjacent to office

Dimensions and geometry of office/shop building, storage building, and parking facilities are to be determined and will comply with city code and requirements.

Per our conversation on October 12, 2021, this project is subject to the following:

1. Review and Approval of the site improvements concept by Planning Board and City Council
2. Predevelopment Meeting with appropriate City Departments
3. Platting Process – Approval of preliminary/final plats by Planning Board and City Council

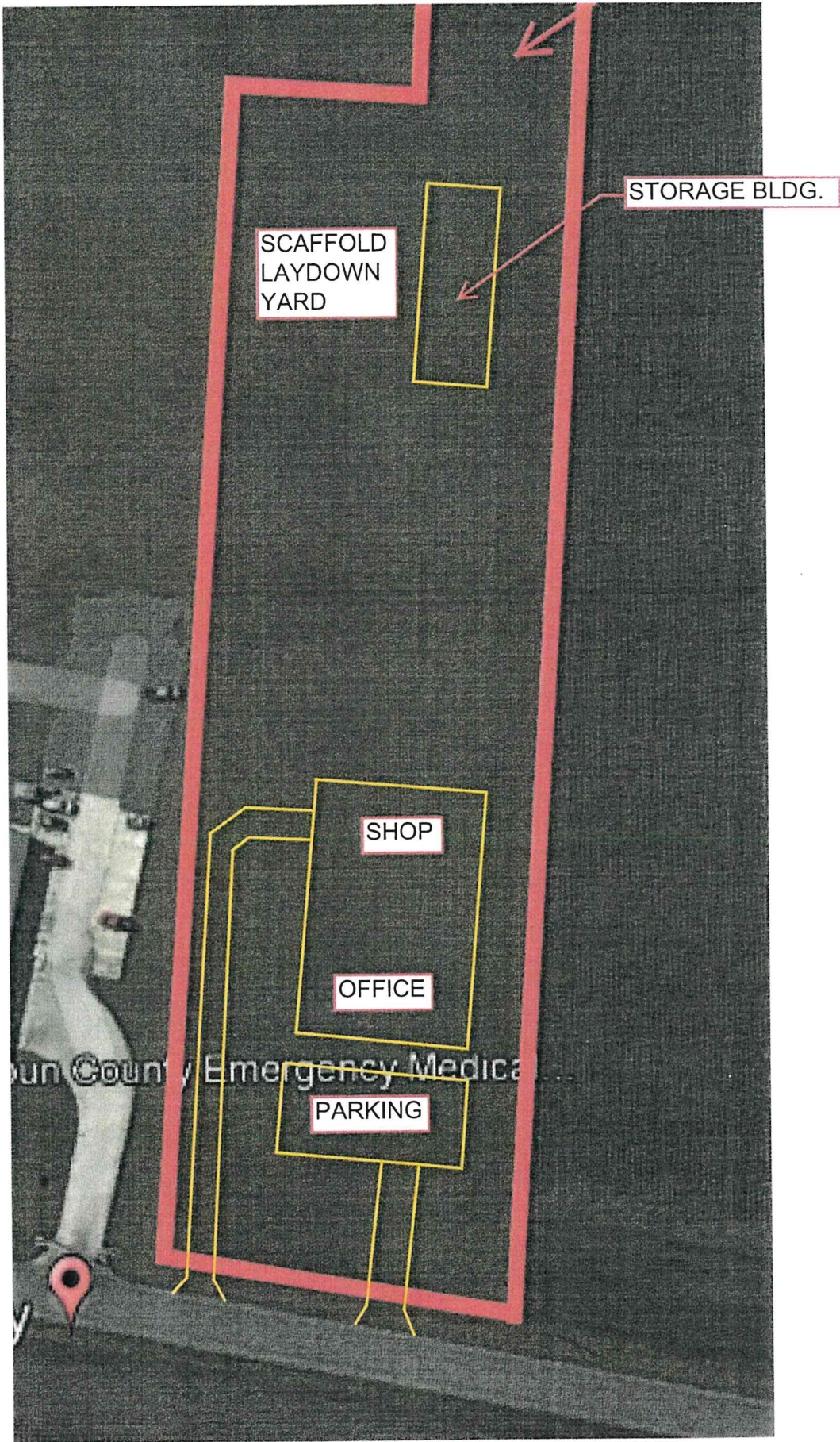
GII, Inc. thanks you for this opportunity to provide this plan and we look forward to working with you to complete this project. If you have any questions, please feel free to call 361-571-5739 or email at [gii@hughes.net](mailto:gii@hughes.net).

Sincerely,

Arnulfo Gonzalez  
President

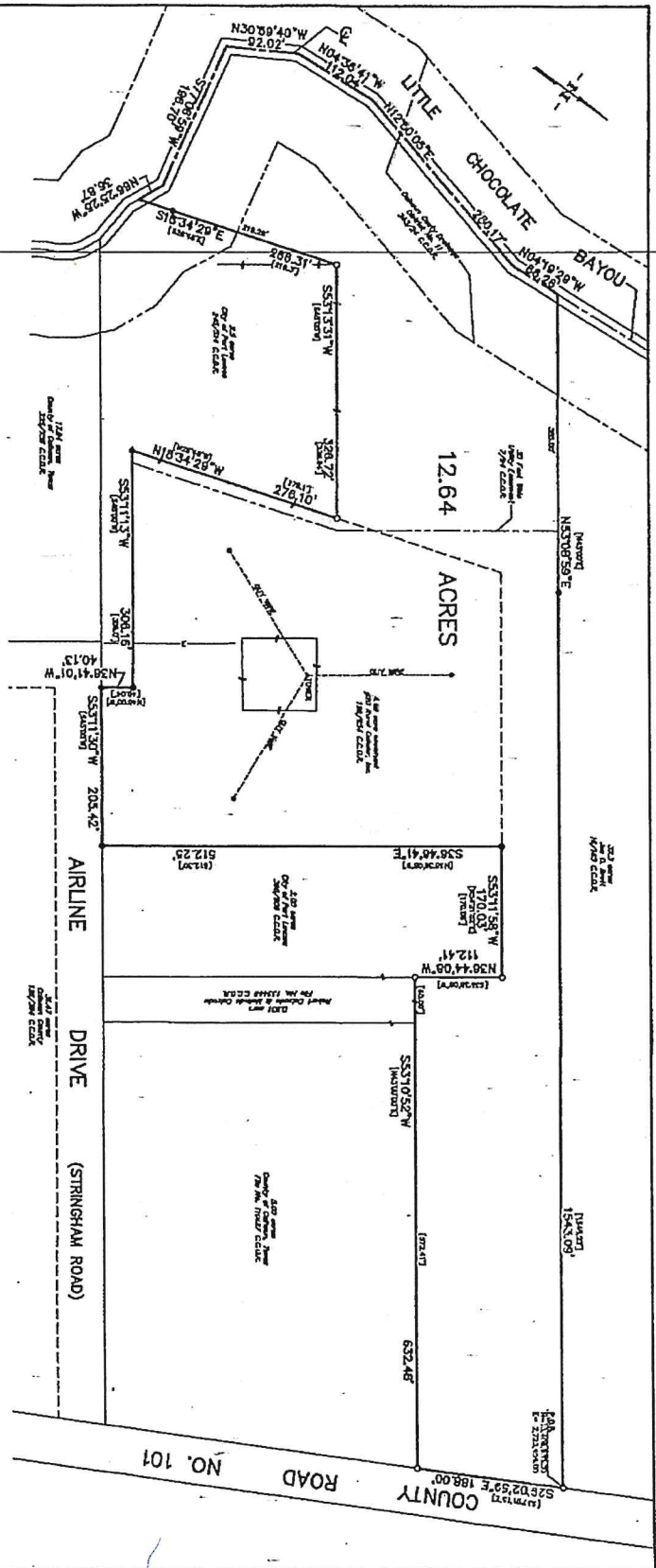


Boundary shown is approximate. Not to scale.



Concept only. Boundary and dimensions of facilities to be determined.





12.64 ACRE SURVEY  
 PART OF THE AMERICAN  
 G.I. FORUM TRACT SUBDIVISION  
 VOLUME Z, PAGE 616 OF THE  
 CALHOUN CO. PLAT RECORDS  
 SAMUEL SHUPE SURVEY  
 ABSTRACT NO. 137  
 CALHOUN COUNTY, TEXAS

BEING A PART OF THE SAME PROPERTY DESCRIBED AS 20.0 ACRES IN  
 WARRANTY DEED WITH VENDOR'S LIEN DATED JULY 15, 1987 FROM  
 DOROTHY L. DAVIS TO AMERICAN G. I. FORUM, INC. RECORDED IN  
 VOLUME 7, PAGE 94 OF THE OFFICIAL RECORDS OF CALHOUN COUNTY,  
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 TEXAS.

- LEGEND
- BOUNDARY MARK
  - EXISTING 1/2\"/>

HERBERT A. DAVENPORT, REGISTERED PROFESSIONAL LAND SURVEYOR, No. 10888  
 AND A PROPERTY REPRESENTATIVE RECORDED RECORDS THE  
 DISTRICT OF TEXAS, COUNTY OF CALHOUN, TEXAS  
 HERBERT A. DAVENPORT, INC.  
 1005 W. LIVE OAK STREET, PORT LAVACA, TEXAS 77979  
 (361) 552-4509



FILE NO.:	ENGINEERING	DRAWN BY:	J.H.D.
BOOK NO.:	SURVEYING	CHECKED BY:	H.A.D.
SECTION NO.:	PLANNING	DATE:	JUNE 22, 2020
SCALE:	1" = 100'		

The undersigned has reviewed  
 and accepted this survey this

\_\_\_\_\_ day of \_\_\_\_\_ of 20\_\_\_\_

PROPERTY DESCRIPTION  
12.64 ACRES

STATE OF TEXAS }  
COUNTY OF CALHOUN }

All of that certain tract or parcel containing 12.64 acres situated in the Samuel Shupe Survey, Abstract No. 137 of Calhoun County, Texas and being part of the American G. I. Forum Tract Subdivision according to Plat recorded in Volume Z, Page 616 of the Calhoun County Plat Records and also being a part of the same property described as 20.0 acres in Warranty Deed With Vendor's Lien dated July 15, 1987 from Dorothy J. Davis to American G. I. Forum, Inc. recorded In Volume 7, Page 94 of the Official Records of Calhoun County, Texas. This 12.64 acres is more particularly described by metes and bounds as follows:

**BEGINNING** at an existing 5/8 inch iron rod (N=13,409,835.30; E=2,723,454.05) located in the Southwest line of County Road No. 101 and at the East corner of a 37.3 acre tract described in deed recorded in Volume 16, Page 183 of the Calhoun County Official Records and at the North corner of the above referenced 20.0 acre tract for the North corner of this 12.64 acres being described;

**THENCE** South 29° 02' 59" East [deed call = South 37° 01' 15" East], with the Southwest line of County Road No. 101 and the Northeast line of the said 20.0 acre tract, a distance of 188.00 feet to an existing 5/8 inch iron rod located at the North corner of a 5.00 acre tract described in deed recorded in File No. 110127 of the Calhoun County Official Records for the East corner of this 12.64 acres being described;

**THENCE** South 53° 10' 52" West [deed call = North 45° 00' 00" East], crossing a portion of the said 20.0 acre tract with the Northwest line of the said 5.00 acre tract and the Northwest line of a 0.551 acre tract described in deed recorded in File No. 133468 of the Calhoun County Official Records, a distance of 632.48 feet [deed call = 572.41 feet & 60.00 feet] to an existing 5/8 inch iron rod located in the Northeast line of a 2.00 acre tract described in deed recorded in Volume 398, Page 806 of the Calhoun County Official Records and at the West corner of the said 0.551 acre tract for a corner of this 12.64 acres being described;

**THENCE** North 36° 44' 08" West [deed call = South 35° 38' 08" West], crossing a portion of the said 20.0 acre tract with the Northeast line of the said 2.00 acre tract, a distance of 112.41 feet to an existing 5/8 inch iron rod located at the North corner of the said 2.00 acre tract for an interior corner of this 12.64 acres being described;

**THENCE** South 53° 11' 58" West [deed call = North 54° 21' 52" East], crossing a portion of the said 20.0 acre tract with the Northwest line of the said 2.00 acre tract, a distance of 170.03 feet [deed call = 170.06 feet] to an existing 1/2 inch iron rod located at the West corner of the said 2.00 acre tract and at the North corner of a 4.89 acre Easement described in deed recorded in Volume 199, Page 654 of the Calhoun County Official Records for an interior corner of this 12.64 acres being described;

**THENCE** South 36° 46' 41" East [deed call = North 35° 38' 08" West], crossing a portion of the said 20.0 acre tract with the Southwest line of the said 2.00 acre tract and the Northeast line of the said 4.89 acre Easement, a distance of 512.25 feet [deed call = 512.30 feet] to an existing 1/2 inch iron rod located in the Southeast line of the said 20.0 acre tract and in the Northwest line of a 31.47 acre tract described in deed recorded in Volume 126, Page 384 of the Calhoun County Deed Records and in the Northwest line of Airline Drive (Stringham Road) and at the South corner of the said 2.00 acre tract and at the East corner of the said 4.89 acre Easement for a corner of this 12.64 acres being described;

**THENCE** South 53° 11' 30" West [deed call = South 45° 00' West], with the Southeast line of the said 20.0 acre tract and the Southeast line of the said 4.89 acre Easement and the Northwest line of the said 31.47 acre tract and the Northwest line of Airline Drive (Stringham Road), a distance of 205.42 feet to a 5/8 inch iron rod with plastic cap set at a corner of a 2.5 acre tract described in deed recorded in Volume 245, Page 514 of the Calhoun County Deed Records and at a corner of the said 20.0 acre tract and a corner of the said 4.89 acre Easement and for a corner of this 12.64 acres being described;



PROPERTY DESCRIPTION  
12.64 ACRES

(continued)

**THENCE** North 36° 41' 01" West [deed call = North 45° 00' West], with an interior line of the said 20.0 acre tract and a line of the said 4.89 acre Easement and the Northeast line of the said 2.5 acre tract, a distance of 40.13 feet [deed call = 40.04 feet] to an existing 1/2 inch iron rod located at a corner of the said 2.5 acre tract and at an interior corner of the said 20.0 acre tract and at an interior corner of the said 4.89 acre Easement for an interior corner of this 12.64 acres being described;

**THENCE** South 53° 11' 13" West [deed call = South 45° 00' West], with an interior line of the said 2.5 acre tract and an interior line of the said 20.0 acre tract and an interior line of the said 4.89 acre Easement, a distance of 306.16 feet [deed call = 306.0 feet] to a 5/8 inch iron rod with plastic cap set at an interior corner of the said 2.5 acre tract and for a corner of the said 20.0 acre tract and for a corner of the said 4.89 acre Easement for a corner of this 12.64 acres being described;

**THENCE** North 18° 34' 29" West [deed call = North 26° 48' West], with an interior line of the said 2.5 acre tract and an interior line of the said 20.0 acre tract and in part with the Southwest line of the said 4.89 acre Easement, a distance of 276.10 feet [deed call = 246.1 feet] to existing 5/8 inch iron rod located at the North corner of the said 2.5 acre tract and at an interior corner of the said 20.0 acre tract for an interior corner of this 12.64 acres being described;

**THENCE** South 53° 13' 31" West [deed call = South 45° 00' West], with the Northwest line of the said 2.5 acre tract and an interior line of the said 20.0 acre tract, a distance of 326.72 feet [deed call = 328.94 feet] to existing 5/8 inch iron rod located at the West corner of the said 2.5 acre tract and at an interior corner of the said 20.0 acre tract for an interior corner of this 12.64 acres being described;

**THENCE** South 18° 34' 29" East [deed call = South 26° 48' East], with the Southwest line of the said 2.5 acre tract and an interior line of the said 20.0 acre tract, passing a 5/8 inch iron rod with plastic cap set on line at a distance of 219.29 feet and continuing a total distance of 266.31 feet [deed call = 219.3 feet] to the center of Little Chocolate Bayou for the Southeast corner of this 12.64 acres being described;


**THENCE** with the center of Little Chocolate Bayou and lines of the said 20.0 acre tract with the following courses and distances:

- North 66° 25' 25" West a distance of 36.87 feet;
- South 77° 06' 59" West a distance of 196.70 feet;
- North 30° 59' 40" West a distance of 92.02 feet;
- North 04° 36' 41" West a distance of 112.04 feet;
- North 12° 50' 05" East a distance of 280.17 feet;
- North 04° 19' 29" West a distance of 66.26 feet to the South corner of the said 37.3 acre tract

and the West corner of the said 20.0 acre tract for the West corner of this 12.64 acres being described;

**THENCE** North 53° 08' 59" East [deed call = North 45° 00' East], with the Southeast line of the said 37.3 acre tract and the Northwest line of the said 20.0 acre tract, passing a 5/8 inch iron rod with plastic cap set on line at a distance of 385.00 feet and continuing a total distance of 1543.09 feet [deed call = 1545.23 feet] to the **PLACE OF BEGINNING**, containing within these metes and bounds 12.64 acres.

The bearings and coordinates recited herein are Texas State Plane South Central Zone NAD'83 Grid based on an Opus Solution. This property description and a plat were prepared from a survey made on the ground under my direction on June 23, 2020.

  
G & W ENGINEERS, INC.  
TBPLS FIRM NO. 10022100  
Henry A. Danysh  
Registered Professional  
Land Surveyor, No. 5088



## **COMMUNICATION**

**SUBJECT:** Consider and discuss approval of a 3-lot Preliminary Minor Plat, Port Lavaca Crossing. Located south of Tiney Browning Boulevard on SH 35 North. Being 3.19 acres. The original tracts for this proposed plat are identified as PIN# 29954 and PIN# 86163 of the Calhoun County CAD.

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## **INFORMATION:**

**MEETING:** November 01, 2021 **AGENDA ITEM** \_\_\_\_\_

**DATE:** 10.27.2021

**TO:** PLANNING BOARD

**FROM:** JESSICA CARPENTER, DEVELOPMENT SERVICES DIRECTOR

**SUBJECT:** Consider and discuss approval of a 3-lot Preliminary Minor Plat, Port Lavaca Crossing. Located south of Tiny Browning Boulevard on SH 35 North. Being 3.19 acres. The original tracts for this proposed plat are identified as PIN# 29954 and PIN# 86163 of the Calhoun County CAD.

**Sec. 42-6. - Procedure**

A plat must be approved prior to the offering for sale of any lot, tract, or building site; prior to any construction work; and before any map of said subdivision is prepared in a form for recording.

*G & W Engineering, the applicant for the proposed Port Lavaca Crossing Subdivision plat is requesting to subdivide the 9.678-acre parcel and a 1.07-acres parcel totaling 10.748-acres into three (3) lots. A remainder tract will be left unplatted being 7.558-acres to the east of the Wal-Mart subdivision.*

*The current legal description for tract-1 is A0012 ALEJANDRO ESPARZA, TRACT PT 1 WILSON, NOBLE & BOYDE, ACRES 9.678. The Calhoun County CAD property identification number for this 9.678-acres is PIN# 29954. The current legal description for tract-2 is A0012 ALEJANDRO ESPARZA, TRACT PT 1 WILSON, NOBLE & BOYDE, ACRES 1.07. The Calhoun County CAD property identification number for this 1.07-acres is PIN# 86163.*

*The Proposed Port Lavaca Crossing Preliminary Minor Plat is being subdivided into three (3) lots. Lot one (1) being 1.05-acres, lot two (2) being 1.07-acres. Lot three (3) also being 1.07-acres. Lot 1 has a proposed development of a Verizon store and a Quick Service Restaurant to be constructed at this location. Lot 2 has a proposed Burger King to be developed at this location. Lot 3 has the existing White Oak development on site.*

*The development team for the proposed Burger King on Lot 2 have attended a predevelopment meeting with the city and are preparing to submit the building plans for the Burger King.*

*The remainder tract of 7.558-acres that is not included in the Port Lavaca Crossing Preliminary Minor Plat is under contract for purchase. The future owners of this parcel have attended a predevelopment meeting with the city for a proposed future residential development. The new tentative owners are aware this tract of land will be required to be platted prior to any permits issued and development to occur.*

Below references the City Code of Ordnances, Chapter 42 – Subdivisions and Plats, where this Preliminary Plat request is compliant and will meet the ordinance as presented.

**Sec. 42-2. - Purpose.**

(c) The city planning commission, before approving any plats submitted to it, shall refer such plats to the departments, agencies, and utilities in this chapter named for their suggestions and comments by written report.

*Applicant has adhered to the proper subdivision plat submittal and review procedural process prior to presentation before the Planning Commission.*

**Sec. 42-5. - Policy.**

(a) It shall be unlawful for any owner or agent of any owner of land to lay out, subdivide, plat or replat any land into lots, blocks, and streets within the jurisdictional area of this chapter without the proper approval of the planning commission. It shall be unlawful for any such owner or agent to offer for sale or sell property for building lots, building tracts or urban use therein, which has not been laid out, subdivided, platted, or replatted with the approval of the planning commission in accordance with this chapter.

*Each lot is being platted and prepared to be developed for retail development in full compliance of Sec. 42-5. – Policy.*

**Department Comments:**

**Engineering:**

- The preliminary plat engineering team and the City Engineer/City Manager are currently working through locating all utility placement and easements if needed. Any revisions or additions to the utility locations and or easements will be identified and/or referenced as a recording file number on the final plat prior to being presented before the Planning Board. There is a current access and drainage easement from the Walmart site to this proposed plat under recorded File# 00087910 Vol. 379 Pg. 564 with the Calhoun County Clerk's office.

**Fire:**

- Ensure access is identified as "Fire Lane" access as well.

**Public Works:**

- Record any utility easements for the Port Lavaca Crossing plat that are offsite of this plat boundary.

**Development Services:**

- Ensure all platting and permitting criteria is met prior to issuance of certificate of occupancy and occupant load certificate.

**Staff Recommendation:** Approval

Staff recommends approval of a 3-lot Preliminary Minor Plat, Port Lavaca Crossing. Located south of Tiny Browning Boulevard on SH 35 North. Being 3.19 acres. The original tracts for this proposed plat are identified as PIN# 29954 and PIN# 86163 of the Calhoun County CAD.

**Attachments:**

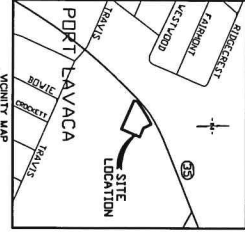
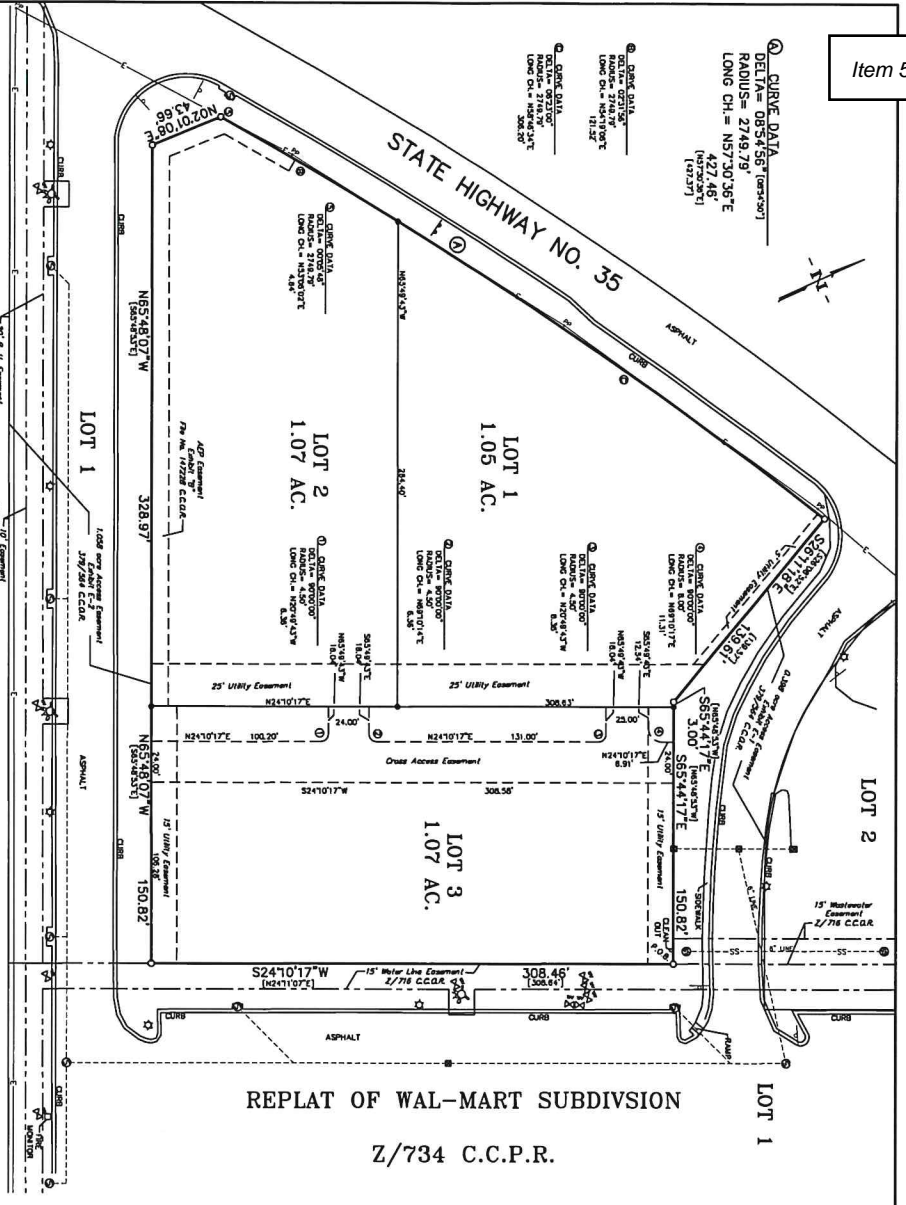
Port Lavaca Crossing Preliminary Plat  
Port Lavaca Crossing Preliminary Utility Plan  
CAD PIN# 86163  
CAD PIN# 29954

Item 5.

① CURVE DATA  
DELTA= 085°45' 10" (100°30')  
RADIUS= 2748.79'  
LONG CH= NS730.36'E  
427.48'  
(427.27')

② POINT DATA  
STATION 1  
ELEVATION 113.2'  
LONG CH= NS730.36'E  
427.48'  
(427.27')

STATE HIGHWAY NO. 35



GRAPHIC SCALE  
( IN FEET )  
1 inch = 50 ft

- LEGEND**
- DISTINGUISHING MARK FOR ROAD
  - DISTINGUISHING MARK FOR RAILROAD
  - DISTINGUISHING MARK FOR UTILITY
  - DISTINGUISHING MARK FOR FENCE
  - DISTINGUISHING MARK FOR EASEMENT
  - DISTINGUISHING MARK FOR SURVEY POINT
  - DISTINGUISHING MARK FOR BOUNDARY
  - DISTINGUISHING MARK FOR ADJACENT PROPERTY
  - DISTINGUISHING MARK FOR ADJACENT ROAD
  - DISTINGUISHING MARK FOR ADJACENT RAILROAD
  - DISTINGUISHING MARK FOR ADJACENT UTILITY
  - DISTINGUISHING MARK FOR ADJACENT FENCE
  - DISTINGUISHING MARK FOR ADJACENT SURVEY POINT
  - DISTINGUISHING MARK FOR ADJACENT BOUNDARY
  - DISTINGUISHING MARK FOR ADJACENT ROAD
  - DISTINGUISHING MARK FOR ADJACENT RAILROAD
  - DISTINGUISHING MARK FOR ADJACENT UTILITY
  - DISTINGUISHING MARK FOR ADJACENT FENCE
  - DISTINGUISHING MARK FOR ADJACENT SURVEY POINT
  - DISTINGUISHING MARK FOR ADJACENT BOUNDARY

REPLAT OF WAL-MART SUBDIVISION  
Z/734 C.C.P.R.

PORT LAVACA CROSSING  
3.19 ACRE SUBDIVISION

**CERTIFICATE OF OWNERSHIP**

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE PORT LAVACA CROSSING, AND WHOSE NAME IS SUBMITTED HEREIN, HEREBY DECLARE TO THE USE OF PUBLIC RECORDS ALL STREET, ALLEY, PARK, WATERWAY, DRAIN, EASEMENTS AND PUBLIC PLACES HEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS HEREON EXPRESSED.

OWNER OF LOTS 1 & 2  
WALMART STORE #1132  
COUNTY OF TARRANT  
STATE OF TEXAS

OWNER OF LOT 3  
PORT LAVACA CROSSING, LLC  
COUNTY OF TARRANT  
STATE OF TEXAS

ONION UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

NOTARY PUBLIC, STATE OF TEXAS

**CITY COUNCIL CERTIFICATE APPROVAL**  
I, WALMART CITY SECRETARY OF THE CITY OF PORT LAVACA, AN INCORPORATED CITY IN TARRANT COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING SUBDIVISION PLAT WAS RECORDED IN THE PUBLIC RECORDS OF TARRANT COUNTY, TEXAS, AND THAT THE RESOLUTION APPROVED BY THE CITY COUNCIL OF PORT LAVACA AS SET FORTH IN THE FOREGOING IS TRUE AND CORRECT.

WALMART CITY SECRETARY  
COUNTY OF TARRANT  
STATE OF TEXAS

**CITY COUNCIL CERTIFICATE APPROVAL**  
I, HENRY A. DANFORS, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON REPRESENTS THE RESULT OF A SURVEY MADE ON THE GROUND UNDER MY DIRECTION ON OCTOBER 06, 2021.

HENRY A. DANFORS  
REGISTERED PROFESSIONAL LAND SURVEYOR  
NO. 5088

**G & W ENGINEERS, INC.**  
ENGINEERING SURVEYING PLANNING  
205 W. LIVE OAK STREET, PORT LAVACA, TEXAS 77979  
TBPLS FIRM NO.: 10022100  
(361) 552-4509; PORT LAVACA (979) 323-7100; BAY CITY

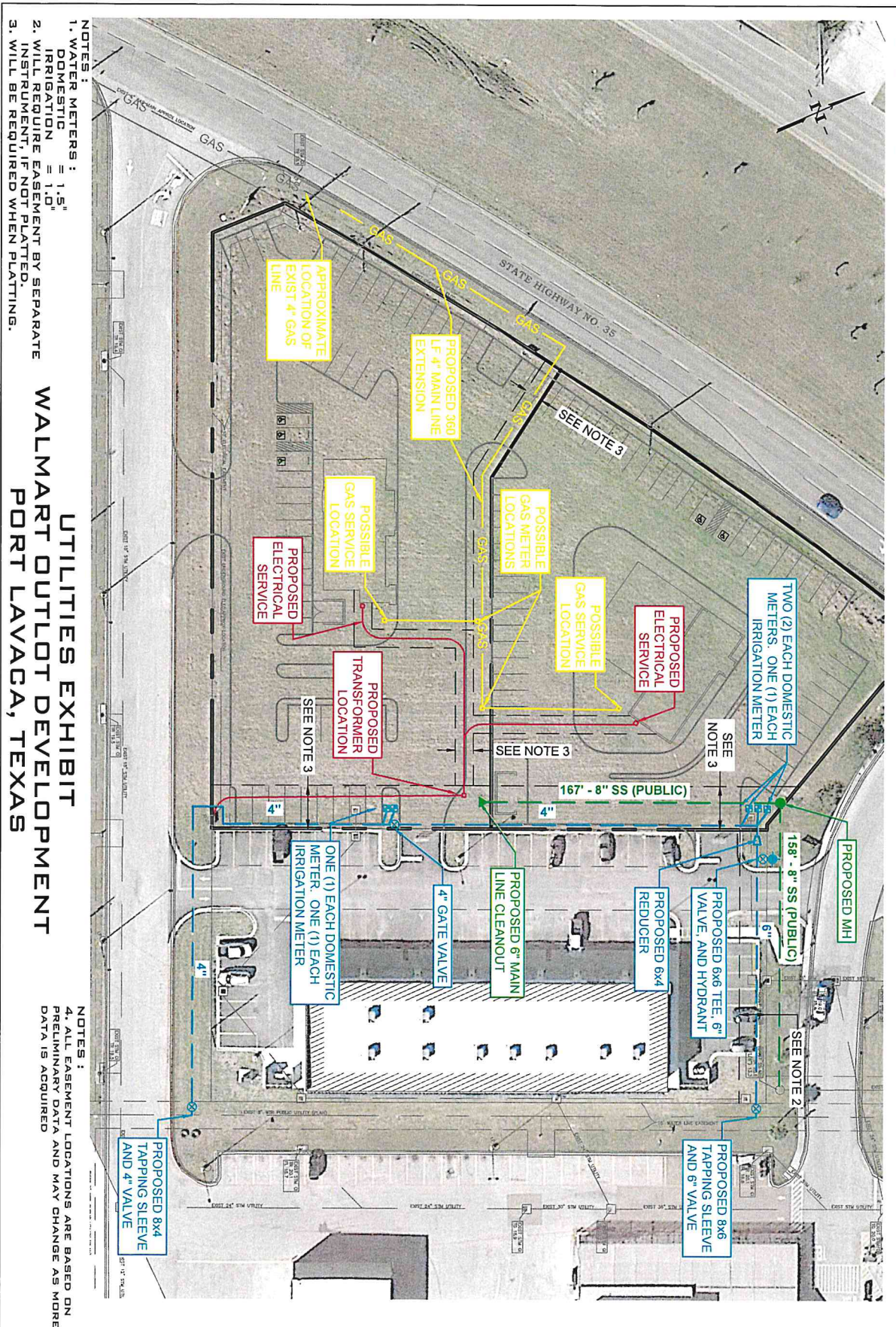
FILE NO.: 10179-001  
JOB NO.: 10179-001  
SHEET NO.: 1 OF 1

DRAWN BY: J.H.D.  
CHECKED BY: H.A.D.  
DATE: OCT. 26, 2021  
SCALE: 1" = 50'

PRELIMINARY PLAT







NOTES:  
 1. WATER METERS:  
 DOMESTIC = 1.5"  
 IRRIGATION = 1.0"  
 2. WILL REQUIRE EASEMENT BY SEPARATE INSTRUMENT, IF NOT PLATTED.  
 3. WILL BE REQUIRED WHEN PLATTING.

**UTILITIES EXHIBIT  
 WALMART OUTLOT DEVELOPMENT  
 PORT LAVAGA, TEXAS**

NOTES:  
 4. ALL EASEMENT LOCATIONS ARE BASED ON PRELIMINARY DATA AND MAY CHANGE AS MORE DATA IS ACQUIRED

<p><b>G &amp; W ENGINEERS, INC.</b>                  ENGINEERING • SURVEYING • PLANNING                  205 W. LIVE OAK STREET, PORT LAVAGA, TEXAS 77979                  TBPE FIRM NO.: F04188                  (361) 552-4509; PORT LAVAGA (979) 323-7100; BAY CITY</p>	<p>DRAWN BY: S.P.M.</p> <p>CHECKED BY: S.P.M.</p> <p>DATE: 10/26/21</p> <p>SCALE: 1"=50'</p>	<p>PRELIMINARY</p> <p>JOB NO.: 10179.002</p> <p>SHEET NO.: 1 OF 1</p>
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Property Identification #: 86163

Property Information: 2022

Owner Identification #: 104560

Geo ID: A0012-00000-0222-A0  
Situs: 300 TINNEY BROWNING BLVD  
Address: PORT LAVACA, TX 77979  
Property Type: Real  
State Code: F1

Legal Description: A0012ALEJANDRO ESPARZA, TRACT PT 1 WILSON, NOBLE & BOYDE, ACRES 1.07  
Abstract: A0012  
Neighborhood: PORT LAVACA COMMERCIAL  
Appraised Value: N/A  
Jurisdictions: G05, NV6, S01, C04, FML, CAD, GWD

Name: PORT LAVACA CROSSING LLC  
Exemptions:  
DBA: Null

Re-Center Map



Calhoun CAD Map Search

This product is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The Calhoun County Appraisal District expressly disclaims any and all liability in connection herewith.

Item 5

Property Identification #: 29954

Property Information: 2022

Owner Identification #: 55412

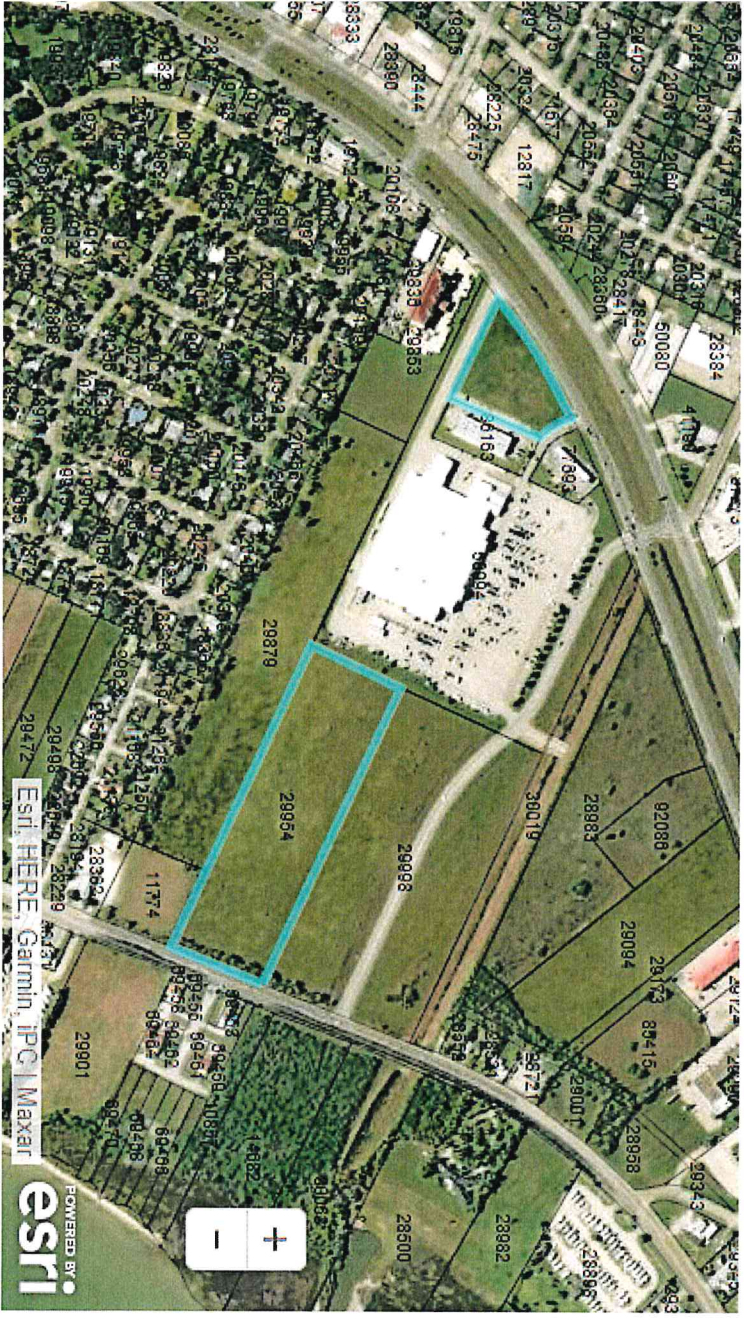
51

Geo ID: A0012-00000-0222-00  
 Situs: 300 TINNEY BROWNING BLVD  
 Address: PORT LAVACA, TX 77979  
 Property Type: Real  
 State Code: D1

Legal: A0012 ALEJANDRO ESPARZA, TRACT PT 1  
 Description: WILSON, NOBLE & BOYDE, ACRES 9.678  
 Abstract: A0012  
 Neighborhood: PORT LAVACA COMMERCIAL  
 Appraised Value: N/A  
 Jurisdictions: G05, NV6, S01, C04, FML, CAD, GWD

Name: LEBOW ROBERT TRUST  
 Exemptions:  
 DBA: Null

Re-Center Map



Calhoun CAD Map Search

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# **COMMUNICATION**

**SUBJECT:** Consider and discuss candidates to represent the Planning Board to be considered for the Economic Development Vision Committee.

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## **INFORMATION:**

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**CITY OF PORT LAVACA**

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**MEETING:** November 01, 2021 **AGENDA ITEM** \_\_\_\_\_

**DATE:** 10.26.2021

**TO:** PLANNING BOARD MEMBERS

**FROM:** JESSICA CARPENTER, DEVELOPMENT SERVICES DIRECTOR

**SUBJECT:** Consider and discuss candidates to represent the Planning Board to be considered for the Economic Development Vision Committee.

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Request for consideration and discussion for candidates to represent the Planning Board to be considered for the Economic Development Vision Committee.

There will be Vision Committee members from the planning committee that was involved with the zoning ordinance, as well as representatives from the City Council, Parks Board, Planning Board, Main Street, the Comprehensive Plan Committee, the medical community, the school district, and equitable representation of underrepresented ethnic groups, religious organizations, and age demographics.