

Historic Preservation Commission



Members:

Ms. Suzanne Wright – Chairperson

Dr. Stephen Gibson – Secretary

Mr. Tim Hoffman

Mr. Larry Jackson

Mr. Chris Myers

Dr. Michael Garrett

Vacant Seat

Councilwoman Laurie Marchini

Staff Liaison: Kathy McKenney, Historic Planner/Preservation Coordinator

AGENDA

Historic Preservation Commission
Cumberland City Hall, Council Chambers

DATE: September 09, 2020

TIME: 2:00 PM

APPROVAL OF MINUTES

- [1.](#) Approval of Minutes from the August 12, 2020 Public Meeting

PUBLIC COMMENT

CERTIFICATES OF APPROPRIATENESS

- [2.](#) 3 Pershing Street – Allegany Museum - Request to Change/Amend COA842 for After the Fact work in the rear façade, including an HVAC enclosure, replacement of stairs and accessible ramp, as well as the replacement of the soffit on the rear entrance addition - Mike Fetchero, applicant
- [3.](#) 23 Washington Street – Request to Change/Amend COA20-000003 to modify the existing sidewalk – Gorman Getty III, applicant
- [4.](#) 27 North Centre Street – COA20-000004 - Request to replace window units, Sandi Saville, applicant.

TAX INCENTIVE APPLICATION REVIEW

- [5.](#) 107-109 Baltimore Street – Part 1 Review – Steve Chaney, Town Center Development Group, LLC

OTHER BUSINESS

- [6.](#) Staff/Chairperson Updates
- [7.](#) Review of Proposed Revisions to the Rules of Procedure for the Purpose of Incorporating Virtual Meetings, Providing for Digital Signatures for Approved Documents, and for Revising the Motion Template

8. Administrative Approvals Report - HPC Staff Reviewed and Approved a Limited Scope of Work for 23 Washington Street (COA20-000003)

ADJOURNMENT

If you are unable to attend this meeting, please contact the Department of Community Development at (301) 759-6431 or (301) 759-6442.

Applicants or their appointed representatives must be present at the meeting for a review to take place. Please remember to turn off or silence all electronic devices prior to entering the meeting.

File Attachments for Item:

Approval of Minutes from the August 12, 2020 Public Meeting

MINUTES

HISTORIC PRESERVATION COMMISSION

September 9, 2020

Virtual Zoom Meeting

The Cumberland Historic Preservation Commission held its regular meeting on Wednesday, August 12, 2020 at 4:00 p.m., via a virtual zoom meeting. Members present were Chairperson, Dr. Stephen Gibson, Mr. Larry Jackson, Dr. Michael T. Garrett, Mr. Chris Myers, Ms. Suzanne Wright, and Councilwoman Lauri Marchini.

Others in attendance were Kathy McKenney, Historic Planner/Preservation Coordinator, Debbie Helmstetter, Code Technician, Mr. Wes Bender, Ms. Lori Dudiak, and Mrs. Jane Belt.

Chairperson, Dr. Stephen Gibson, called the meeting to order. He read the following statement into the record: "The Cumberland Historic Preservation Commission exists pursuant to Section 11 of the City of Cumberland Municipal Zoning Ordinance. Members are appointed by the Mayor and City Council and shall possess a demonstrated special knowledge or professional or academic training in such fields as history, architecture, architectural history, planning, archeology, anthropology, curation, conservation, landscape architecture, historic preservation, urban design or related disciplines. The Commission strives to enhance quality of life by safeguarding the historical and cultural heritage of Cumberland. Preservation is shown to strengthen the local economy, stabilize and improve property values, and foster civic beauty. The Cumberland Historic Preservation Commission operates pursuant to State of Maryland 1977 Open Meetings Act and therefore no pending applications shall be discussed between or amongst Commissioners outside the public hearing to determine the disposition of the application."

Chairperson Dr. Stephen Gibson introduced the Commission members present and staff.

APPROVAL OF MINUTES

1. *Minutes for July 8, 2020 were approved as written. Mr. Chris Myers made the motion to approve the minutes as read and Councilwoman Lauri Marchini second the motion; all members were in favor, motion approved.*

PUBLIC COMMENT

Mrs. Jane Belt, Chairwoman of the Board of Directors of Humpty Dumpty Learning Center. Mrs. Belt explained that they are in the process of opening two classrooms grades Kindergarten and first grade then a second classroom for the 2-5 grades students who will need care while their parents are working this fall due to COVID19 conditions. She indicated that this project came together at the last minute so she was unable to request a permit review prior to the Historic Preservation Commission's meeting. She indicated a need to have a safe area outside for a play area. The right side of the former Centre Street United Methodist Church is now being renovated and she stated a need to move the playground to the left side of the building and now need to fence in the play area for the children.

Mrs. Belt asked for the permission of the Historic Preservation Commission and for Kathy McKenney's guidance to install a temporary fence, similar to the black metal fence is on the old playground area. Ms. McKenney has the product specifications that were used at American Rent All and, the contractor Rick Burley will put up a temporary fence until the fence can be ordered and installed. Opening date will be this Monday. Mr. Belt said their classrooms will be full.

Chris Myers made the motion to approve this request to install a temporary fence and to provide staff authorization to review the permanent fence. Dr. Michael Garrett seconded the motion; all members were in favor.

CERTIFICATES OF APPROPRIATENESS

1. **COA 813** - Wes Bender, applicant for the Corner Tavern and Café, requested to remove the existing side door and storm door on the Hanover Street side and to then install a new Tubelite-brand door from the Standard Narrow Stile product line. The size of the door will match the existing opening. The aluminum door will feature two glass lights and

the finish will be clear anodized. An additionally one-year extension to the expiration date of the original Certificate of Appropriateness was requested.

A motion was made by Ms. Suzanne Wright to approve COA 813 pursuant to approval by the Maryland Historical Trust for the amendment application for the Small Commercial Tax Credit application. Seconded by Mr. Larry Jackson, all members were in favor; motion approved.

2. **COA20-000002**, Applicant Lori Dudiak, Queen City Bloom Box, 10 South Mechanic Street, requested to repaint the storefront, black and white, and add a new wood sign. Her proposal is to paint previously painted surfaces on the façade. The roofing material on the roof above the storefront is to be painted black, the storefront cornice and brackets are to be painted white; the existing painted brick surfaces are to be painted white; the entryways on each side as well as the planters are to be painted black. The original brownstone will not be painted and the existing light fixtures will be retained and repainted.

The new sign will be constructed from 16-gauge Black Steel and will be painted a bronze color and then will be clear coated and sealed. The applicant confirmed that the current lighting will be reused.

Mr. Larry Jackson made the motion to approve COA20-000002 pursuant to guidelines 13, 14, 46, 47, 49 and 54. Mr. Chris Myers seconded the motion; all members were in favor, motion approved.

3. **COA 842**, Request to Change/Amend to COA 842, 3 Pershing Street, The applicant, Mike Fetchero was not present, so the request to review change/amend COA 842 was moved to the September agenda.
4. **COA20-000001**, applicant Larry Jackson and Steve Chaney of Town Center Development Group, LLC, 107-109 Baltimore Street, requested to renovate 107- 109 Baltimore Street the former Morton's Jewelry Store. Exterior improvements are to include: the "after the fact" removal of the wood-substitute shingles on the façade of the first floor along with the removal of the projecting sign on the second floor and the sign board above the storefront. The rooftop cornice is to be repaired and

repainted. The existing upper story windows and window hoods are to be repaired and repainted. The original brick façade is to be cleaned and repainted. The remaining parts of the flush mounted sign structure above the storefront are to be repaired and the surface behind the sign structure is to be repainted. The installation of a future hanging sign above the storefront, indicated on the submitted specifications, should be installed using the mortar joints, instead of using the brick surface. The transom window above the entrance on the front façade that leads to the upper floors is to be re-exposed, repaired and repainted. The existing storefront entrance door is to be retained along with the recessed entrance windows. The masonry surfaces are to be painted consistent with the submitted color key.

For the rear elevation on Dexter Place, the rubber membrane and metal rood will be replaced with a new rubber roof. The gutters and downspouts are to be replaced. The porch roof will be replaced with a rubber membrane roof.

The abandoned furnace vent pipe is to be removed along with other utility equipment. The concrete block, stairs and brick surfaces are to be painted. A new railing is to be installed. The brick on the third floor is be repointed.

Ms. Suzanne Wright made the motion to approve COA20-000001 as submitted with the following changes: conditions of the sign board above the storefront is to be restored without backlighting. Councilwoman Laurie Marchini seconded the motion pursuant to guidelines: 1, 2, 3, 8, 13, 14, 15, 20, 22, 29, 33, 37, 39, 40, 41, 42, 45, 46, 47, 49, 50, and 55. Vote was 4-0 for and with Larry Jackson abstained from the vote since he is one of the owners as a member of Town Center Development Group, LLC.

OTHER BUSINESS/STAFF UPDATES

1. There were no administrative approvals in July.
2. As a follow up from last meeting: The Non-Capitol Grant for the Carver School requires at least two letters of support to be submitted with the application. Ms. McKenney asked if the members of the Historic Preservation Commission would consider providing one. Ms. Suzanne Wright made a motion for Kathy to draft a letter up for Chairman Dr. Steven Gibson to sign. Mr. Jackson seconded the motion. All members

were in favor; motion approved.

3. Ms. McKenney advised the members of the HPC that the new digital permit software platform incorporates digital signatures within the system related to reviews and approvals. In order to make this updated procedure, she recommended that the Rules of Procedure be updated to accommodate this provision and a new process could be incorporated to obtain new digital signatures each year when new officers are elected. Ms. McKenney said she will update the Rules of Procedure in order to present them for consideration at the September meeting.

An audio of the meeting is available upon request.

ADJOURMENT

Dr. Michael Garrett made the motion to adjourn and Mr. Larry Jackson seconded the motion. All members were in favor; motion approved.

Respectfully,

Mr. Tim Hoffman, Secretary

September 9, 2020

File Attachments for Item:

2. 3 Pershing Street – Allegany Museum - Request to Change/Amend COA842 for After the Fact work in the rear façade, including an HVAC enclosure, replacement of stairs and accessible ramp, as well as the replacement of the soffit on the rear entrance addition - Mike Fetchero, applicant



EXISTING CERTIFICATE OF APPROPRIATENESS REQUEST FOR CHANGE/AMENDMENT

Certificate of Appropriateness #: 842 (Second Change/Amendment Request)

Property Owner: Western Maryland Station Center Inc.

Original Approval Date: October 15, 2018

Project Address: 3 Pershing Street

Property Number: 04044517

Change/Amendment Review Date: August 12, 2020

The request for a change/amendment to the original review includes the following scope of work: After the Fact approval of the construction of a wooden enclosure and new pad around the HVAC unit, reconstruction of the exterior stairs, reconstruction of the accessible ramp, and replacement of the soffit on the rear addition using Hardie Reveal cement board.

The request was:

DENIED
APPROVED AS SUBMITTED
APPROVED, SUBJECT TO THE FOLLOWING
CONDITIONS

APPROVED with the following conditions:

Signed:

HPC Chair

HPC Secretary

NOTE: Please note that the approval listed above only constitutes the approval of the Historic Preservation Commission. You must still ensure that all other permits associated with this project, if required, have been applied for and approved by the Building and Zoning Officer.

3 Pershing Street “Before” Photos





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OF
MARYLAND
Serving the People
**RESERVED
VISITOR**

COMPTROLLER
OF MARYLAND
Serving the People
**RESERVED
STA**



**3 Pershing Street
Project Underway
July 2020**











Documents Provided by Project Architect to the Maryland Historical Trust for Preservation Easement Review

GROVE & DALL'OLIO ARCHITECTS PLLC

May 16, 2019

Ms. Kate Bolasky
Easement Administrator
Maryland Historic Trust
Maryland Department of Planning
100 Community Place
Crownsville, MD 21032

Dear Ms. Bolasky,

We have developed a third revised design concept for the rear entrance of the Allegany Museum in Cumberland, MD.

The scope is as follows:

- 1) Existing Stair, ramp and railings will be removed. The previously sent pictures show that the concrete has deteriorated since its installation in the 1950s.
- 2) A new ramp, elevated waiting area, and steps will be constructed out of concrete. The steps will have cast aluminum nosings (cut sheet attached). The surface of the concrete will receive a broom finish to improve traction. One set of steps will be from the sidewalk and another wider set of steps will be from the parking area
- 3) The existing underside of the soffit has significant cracking will be removed and replaced with light grey Hardie Board Reveal system smooth finish cement board with $\frac{1}{4}$ " reveals at 4' on center. The completed installation will be coated with a finish to match the existing stucco. The previous surface was installed without any control joints. This likely led to its deterioration. New outdoor rated LED can lights will be installed in the soffit. (Product cut sheet is attached)
- 4) Railing design will be standard 1-1/2" tubular steel.
- 5) The existing double loaded head-in parking lot is wider than it needs to be. In order to contribute to reductions in stormwater runoff an absorbant landscaped buffer is needed. In lieu of the previous planting plans submitted, the new green area between the parking and building façade will simply be grass to match the other facades.



Attached for your review and comment are 3D renderings of the proposed renovations as well as the amendment form. If there are any questions or if any additional information is needed, please do not hesitate to call me at 540-773-2328. If the schematic concept is approved by your office, we will work with the museum and the Civil Engineer to produce final construction drawings with the additional details that you requested.

Thank you,

A handwritten signature in black ink, appearing to read 'Lisa Dall'Olio', written in a cursive style.

Lisa Dall'Olio, AIA, LEED AP

Cc: Michael Fetchero
Victor Rezendes
Matt Brewer





Silver, Cast Aluminum Stair Nosing, Installation Method: Fasteners, 48" Width

Item # 2TVD7 Mfr. Model # AG101.3-4 Catalog Page # 1900 UNSPSC # 31201513



Categories based on your search



Safety



Matting

Web Price ⓘ

\$69.59 / each

Shipping Pickup

Ships from supplier. Expected to arrive on or before **Wed. Jun 12.**

Ship To 22801 (Change)

Auto-

Reorder ⓘ

Deliver one time

only

Qty

1

Add to Cart

Item	Stair Nosing
Color	Silver
Material	Cast Aluminum
Installation Method	Fasteners
Depth	3"



Stair Tread Covers and Nosings

Other products based on your search



[object Object] ⓘ

Silver, Cast Aluminum Stair Nosing, Installation Method: Fasteners, 48" Width

VIEW

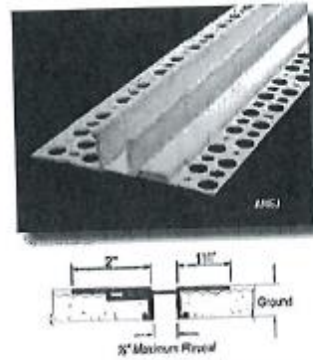
VIEW

Chat with an Agent



Vinyl 2-Piece Expansion Joint with 1/2" Reveal is designed to relieve stresses in stucco wall and ceiling areas where a greater than normal degree of movement might occur. This joint allows for movement in two different planes and is recommended at through-wall construction joints and where two different framing materials meet. If AMEJ is installed horizontally, place the female component on the top side and the male component on the bottom side. 10' standard length.

Product No.	Joint Width	Reveal	Ground	Box Count
AMEJ380-500	Adjustable W" to W"	W"	W"	25
AMEJ500-500	Adjustable W" to 1/2"	W"	W"	25
AMEJ580-500	Adjustable W" to W"	W"	W"	25
AMEJ750-500	Adjustable W" to W"	W"	W"	25
AMEJ780-500	Adjustable W" to W"	W"	W"	20



Male Expansion Component

is the companion part of the two-piece expansion joint and other multi-part expansion joints. Designed to relieve stucco stress in wall and ceiling areas where excessive horizontal and vertical movements might occur. 10' standard length.

Product No.	Type	Ground	Box Count
AMMEJ-380	Male	W"	50
AMMEJ-500	Male	W"	50
AMMEJ-580	Male	W"	50
AMMEJ-750	Male	W"	50
AMMEJ-780	Male	W"	50



Female Expansion Component

is half of the two-piece expansion joint and other multi-part expansion joints. It is used to fabricate reveals and soffit joints, which incorporate expansion. 10' standard length.

Product No.	Type	Ground	Box Count
AMFEJ-380	Female	W"	50
AMFEJ-500	Female	W"	50
AMFEJ-580	Female	W"	50
AMFEJ-750	Female	W"	50
AMFEJ-780	Female	W"	50



Vinyl Angles are used with inside and outside corner expansion joints (can be sold separately). 10' standard length.

Product No.	Dimensions (Legs)	Box Count
AM750-750	W" x W"	50
AM1000-1000	1" x 1"	50
AM1500-1500	1 1/2" x 1 1/2"	50



NOTES:
 All joints should be embedded in sealant and sealed after installation if necessary.
 Items are assembled after order is placed and require additional lead time.

5/16/2019

5 in. and 6 in. Downlight Nickel 1200-Lumen Integrated LED Recessed Trim Retrofit Light-DCR561121205KNK - The Home Depot

Home / Lighting / Recessed Lighting / Recessed Lighting Trims

Model # DCR561121205KNK Internet #305599409



Live Chat

Save to Favorites

5 in. and 6 in. Downlight Nickel 1200-Lumen Integrated LED Recessed Trim Retrofit Light

★★★★★ (1) Write a Review

\$29⁹⁵

Save up to \$100[◇] on your qualifying purchase.
Apply for a Home Depot Consumer Card

Actual Color Temperature (K) - Color Temperature: 5000K - Daylight



Quantity

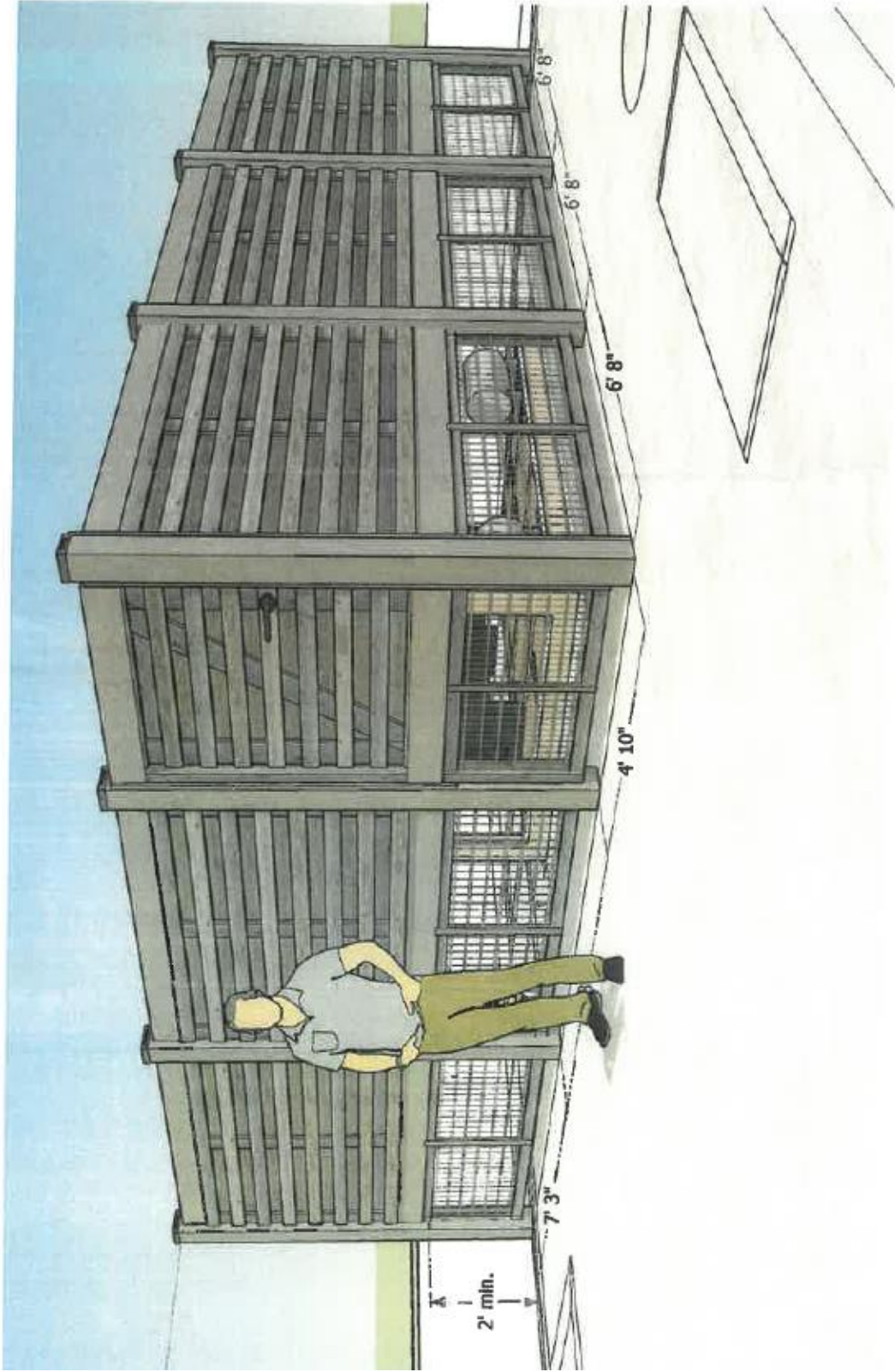
Not in Your Store - We'll Ship It There

Available for pickup
May 24 - May 30

We'll send it to Winchester for free pickup

5 in. and 6 in. Downlight Nickel 1200-Lumen Integrated LED Recessed Trim Retrofit Light-DCR561121205KNK/305599409

Additional Project Information Provided by Applicant



Allegany Museum / Cumberland, MD
Painted Wood / Chiller Screen Concept 2 ✓



REVEAL[®] PANEL SYSTEM

About Reveal[®] Panel System

Embody a modern aesthetic

Get the look you are after with the solution that offers design flexibility. The Reveal[®] Panel System by James Hardie can be utilized to create an effective modern, durable, panelized look.

See Product

Install & Tech Docs

A system of components specifically developed for multi-family and light commercial construction. If your project calls for a panelized look — the Reveal Panel system offers the design flexibility you need.

Beginning with a commercial grade panel developed for multi-family and light commercial applications, the Reveal Panel system by James Hardie is a complete solution for creating a panelized look. Eliminate the guesswork in creating this look with the Reveal Panel system, with all parts including panels, trims and fasteners supplied by James Hardie. Check for availability and call your local James Hardie representative for a recommended experienced installer.

Design Freedom

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..





- 7/16" thick, commercial grade panels
- Nominal 4' x 8' panels with 1/2" joint
- Panels can be cut on-site to desired size
- Cleaner look with fewer fasteners (approximately 14-21 per 4' x 8' panel)
- Panels available with ColorPlus® Technology
- Horizontal or vertical application

Unique Aesthetic

- Sharp express joint look with deep shadow lines
- Two different trim profiles
- Exposed or countersunk fasteners
- Off-stud jointing solution provides design flexibility

Proven James Hardie Durability

- Engineered for Climate® to stand up to the demands of your project's specific climate
- Commercial panel developed specifically for use in multi-family, mixed use, senior living and light commercial facilities
- Ventilated rain screen assembly incorporates best practices for moisture management
- Proven performance with James Hardie fiber cement panels coupled with durable aluminum trims

	Our HZ10 products are formulated for superior performance in areas that experience both strong sunlight and high winds, hurricanes and storms.	
Resists damage from moisture including cracking, splitting, rotting and swelling	 30	30-year limited, transferable warranty
 With ColorPlus® Technology, offering up to 30% more fade resistance** to high UV levels	 Resists flame spread	

Smooth Panel

Available in:
Primed for Paint

REVEAL® PANEL SYSTEM Smooth Panel

Smooth Panel

Primed for Paint

Size Options

Thickness	0.438"
Weight	3.14 lbs. per square foot
Length	95.5"

Widths	47.5"
Pcs./Pallet	10

JHInsite.com

The Insite technical service platform makes it easier and faster than ever to specify and build with James Hardie. Insite members enjoy direct access to the Advanced Technical Support Team at James Hardie R&D.



**Certificate of Appropriateness Application
Presentation of Information
By Kathy McKenney**

COA#842 (Request for a Second Change/Amendment)

Business Name Allegany Museum

Address 3 Pershing Street

Project Contact Mike Fetchero

Project Summary

An application for a Certificate of Appropriateness was approved on October 15, 2018 (COA#842) for the After the Fact review of a new sign that was installed on the parapet at the rooftop. Unfortunately, the property owners' engineer was provided incorrect information upon inquiring with Department of Community Development staff as to whether permits would be required for this project. Although building permits were not required, information was not provided about the need for a Certificate of Appropriateness review.

The original request for a Change/Amendment to the original COA was reviewed on December 12, 2018 for the addition of a sign panel for the at-grade freestanding sign.

An additional amended review has now been requested to approve additional work that has already been completed on or around the rear addition to the building which is visible from the public rights of way of South Mechanic Street and Harrison Street. The applicant's architect has provided copies of documents that were submitted to the Maryland Historical Trust for their review since they hold a perpetual preservation easement on the building. These documents, however, appear to differ from the completed design that currently exists. According to the applicant, the HVAC equipment was originally to be installed on the rooftop but instead needed to be placed at ground-level.

The rear addition was extensively altered in 1997 and included in COA#204.

The sections of the Preservation Guidelines that pertain to this application are Guideline 3: Restore Significant Historic Features (Chapter 5 Page 678 – cited in reference to the work related to the later rear addition); Guideline 6: Safety Codes and Handicap Access (Chapter 5 page 69); Guideline 55: Utility Equipment (Chapter 5 Page 108); Guideline 60: Ground-Mounted Equipment (Chapter 5 Page 112)

File Attachments for Item:

3. 23 Washington Street – Request to Change/Amend COA20-000003 to modify the existing sidewalk – Gorman Getty III, applicant



EXISTING CERTIFICATE OF APPROPRIATENESS REQUEST FOR CHANGE/AMENDMENT

Certificate of Appropriateness #: 20-000003

Property Owner: Gorman E. Getty III and Alicelyn W Getty

Original Approval Date: September 2, 2020

Project Address: 23 Washington Street

Property Number: 06-035620

Change/Amendment Review Date: September 9, 2020

The request for a change/amendment to the original review includes the following scope of work: In addition to the previously approved removal of the existing brick for the purpose of leveling the surface underneath the sidewalk, the additional work will include reducing the width of the sidewalk to seven feet, the installation of concrete pavers, measuring 3.5" x 11.5", to separate the sidewalk from the grass plot between the sidewalk and the curb, and installation of a new grass plot between the curb and the new pavers. No mortar will be utilized in the installation. The original brick will be reinstalled for the newly leveled sidewalk.

The request was:

DENIED
APPROVED AS SUBMITTED
APPROVED, SUBJECT TO THE FOLLOWING
CONDITIONS

APPROVED with the following conditions:

Signed:

HPC Chair

HPC Secretary

NOTE: Please note that the approval listed above only constitutes the approval of the Historic Preservation Commission. You must still ensure that all other permits associated with this project, if required, have been applied for and approved by the Building and Zoning Officer.



23 Washington Street

Project: (1) Remove and replace existing brick sidewalk to eliminate “trip points.”

(2) Place curbing (stone pavers) at grade to separate walk from street curb.

(3) Install topsoil and plant with grass between curb and walk. Finished walkway will be 7 feet wide consistent with Allegany County’s walkway to the West.

Purpose: To eliminate trip points on the walk and to make walk consistent in appearance with adjacent properties

Product Sample
Photo 1

477087

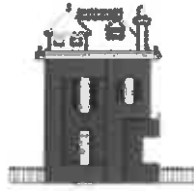




Product
Sample
Photo 2

4780774

0



**Certificate of Appropriateness Application
Change/Amendment
Presentation of Information
By Kathy McKenney**

COA# 20-000003

Address: 23 Washington Street

Project Contact: Gorman Getty III

Project Summary The request for a change/amendment to the original review (approved administratively on 9/3/20) includes the following scope of work: in addition to the previously approved removal of the existing brick for the purpose of leveling the surface underneath the sidewalk, the additional work will include reducing the width of the sidewalk to seven feet, the installation of concrete pavers, measuring 3.5" x 11.5", to separate the sidewalk from the grass plot between the sidewalk and the curb, and installation of a new grass plot between the curb and the new pavers (shown in the attached Photos # 1 and 2). No mortar will be utilized in the installation. The original brick will be reinstalled for the newly leveled sidewalk.

The applicant has requested this project to correct tripping hazards along the surface as well as to reduce the walking surface in width to match that of the adjacent property.

The sections of the Preservation Guidelines that pertain to this application are Guideline 1: Preserve Significant Historic Features (Chapter 5, page 65), Guideline 2: Repair Before Replace (Chapter 5 Page 66), Guideline 65: Landscaping Hard Scape (Chapter 5, Page 114)



Kathy McKenney <kathy.mckenney@cumberlandmd.gov>

Explanation

1 message

ggetty@ggettylaw.com <ggetty@ggettylaw.com>
To: Kathy McKenney <kathy.mckenney@cumberlandmd.gov>

Thu, Sep 3, 2020 at 10:12 AM

The writing on the picture:

On the left side it says: stone pavers, on edge. Those will be as shown in the pictures I sent yesterday.

The walk is proposed to be 7 feet wide between the wall and the edged stone. That is the width of the adjacent property.

The hatched area is to show where I am proposing to remove the brick and replace it with top soil and grass. That is the text that is difficult to read at the bottom of the picture.

Gorman E. Getty III
23 Washington Street
Cumberland, MD 21502
(301)777-8032
ggetty@ggettylaw.com

File Attachments for Item:

4. 27 North Centre Street – COA20-000004 - Request to replace window units, Sandi Saville, applicant.

CERTIFICATE OF APPROPRIATENESS

See attached for information which may be requested by the Historic Preservation Commission, as deemed necessary.

**LOCATION: 27 N CENTRE ST
OWNER: SAVILLE SANDRA K
APPLICANT _____
SAVILLE SANDRA K
27 N CENTRE ST
CUMBERLAND, MD 21502**

File Date: 08/31/2020

Work Description: 27 North Centre Street Replacement Windows

Description	Total Cost
Certificate of Appropriateness Review Fee	30.00
Proposed Work: Install. 2 New Vinyl replacement windows. Windows to be double hung with stops on top sash to stop from coming down windows will be bronze on exterior and white on the interior. Triple pane glass with low-e and argon, half screens Installation to include full perimeter insulation new brake metal on entire exterior all to be sealed with urethane base sealant.	TOTAL AMOUNT: 30.00

**Subject: However to revocation by the HPC in the case the afore named construction is not in compliance with the requirements of the City Ordinance related to Historic Preservation, especially Ordinance No. 3208. H.P.C Chairman _____ H.P.C Secretary _____ statement: I hereby agree to comply with all regulations which are applicable hereto, and further agree that the proposed work shall be faithfully carried out as described on this request and as shown on the plans accompanying same, and not otherwise. This application hereby expires six months following the file date if no action is taken to start specific work. Also, this application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision.
Signed _____**



CITY OF CUMBERLAND MARYLAND

DEPARTMENT OF COMMUNITY DEVELOPMENT

57 N. LIBERTY STREET, CUMBERLAND, MD 21502 • PHONE 301-759-6442 • FAX 301-759-6433 • TDD 800-733-2258

www.cumberlandmd.gov

CERTIFICATE OF APPROPRIATENESS PERMIT APPLICATION

For ALL exterior changes to a structure (including painting), design and maintenance issues within the City's preservation District. Including but not limited to additions, alterations, awnings, entrances and doors, painting porches, fences, siding, signage, window replacement, demolition, and new construction.

Project Location _____ Tax ID # _____ - _____

The Tax ID # can be found on your deed or by visiting www.dat.state.md.us / Real Property / Real Property Search. When construction is being done and several property account numbers are involved, permit must fall under account of the main structure referencing other accounts (or a separate permit will be required per each property record). It will be necessary to contact the state of Maryland assessment Office, 112 Baltimore Street, Gateway Center, 301-777-2133, prior to applying for permit in order to obtain documentation required for the new Tax Account.

Application Date _____ COA #

Application Name _____ Phone _____

Fax _____ Email _____

Contractor Name _____ Phone _____

Address _____

Email _____

Summarized Description of Project _____

Do not begin work until written approval is received from the Community Development programs manager. If the project requires additional building or occupancy permits, all applicable permits must all be approved. An Occupancy, Building, or Sign permit application may be required for this application and approval to be considered complete. Those permits are approved by the Code Compliance Manager or designated representative.





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VINYL WINDOWS



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Ease of Operation + Ownership

Welded Frame & Sash Corners



Fusion welded frame and sash corners are strong and free from gaps.

Integrated Extruded Pull Rails are part of sash extrusions, not added later.

Heavy Duty Cam-Style Locks & Keepers secure and air-tight seal.



Self-cleaning, Acid etched finish. Finish available.*

energySMART Insulated Glass

Standard Patented Roller Tilt™ 4" Constant Force Balance System. Springs travel with the sash. This allows the sash to operate with significantly less friction and noise.

Sash Limit Locks limit sash travel secure partial opening.



double hung

casement

Continuous Over/Under Interlock & Weather-Stripping prevent air infiltration across entire meeting rail.



energy™ All meeting rail*



True stop and drain off for positive water drain off. No weep holes to clog.

*optional



Double Hung

Shown here in Bronze Exterior Laminate. (full screen required on painted and laminate windows).



Most Efficient 2020
ENERGY STAR
www.energystar.gov

Windows are qualify as Most Efficient award-level with the Ultimate and Ultimate Plus™ glass packages. Get your score up for more information.



* FOAM FILL

double hung

Benefits of Our Window

Our extrusions are fusion welded at every corner to create seamless and strong windows.

Maintenance Free

The vinyl formulation maintains its color and smooth surface.

Multi-Chamber Extrusions

Interior walls add strength. These walls and air chambers between further improve insulating properties.

Casement

Sash cranks fold into base for a clean look. Sash opens fully with just a few turns. These windows are triple sealed against the weather and can be safely cleaned inside the home. Hinged side of sash slides away from frame when fully opened.





Gliders 2+3 Lite
 Sash lift out from inside
 for easy cleaning.
 2 lite - half screen
 3 lite - active panel screen[s]



***Innergy®**

- Innergy is the innovative, energy-efficient alternative to aluminum.
- Right Thermal Reinforcement: An advanced fiberglass reinforced foam inserts, designed to make every inch window mechanically stronger, support, and insulation.
- Better Thermal Performance: Up to 70% better than aluminum, a material-to-material comparison.
- Better Thermal Break: Insulation is added at the joint.
- Better Protection Against Condensation: Thermally broken design that can control moisture & reduce energy costs.
- Better Flexibility: Windows permanently set when installed.



The name and logo of Innergy are the registered trademarks and the products and services manufactured by them are trademarks (protected by national and international laws, being the registered trademark of Innergy North America, Inc.) of Innergy LLC, a subsidiary of Innergy's North America LLC.

***BetterVUE®**



- BetterVUE® Screen Mesh**
Better Insect Screen
- 10% Better Insect Protection
 - 20% Better Airflow
 - 20% Clearer View

Standard



- Standard Screen Mesh**
- Sight more obstructed
 - Less Airflow than BetterVue Screens
 - Proven and Reliable

Screen

- Strong, extruded aluminum frame in white or tan
- Half screen Standard
- Aluminum Screen Mesh*
- Available in Pet Screen* and Full Screen*



Awning
 Enjoy fresh air even
 on rainy days.

Ask for a ThermalWeld Plus® Patio Door brochure

*options



DECORATIVE GLASS*

Designs



PLATED LOCK FINISHES*



Internal Muntin Styles



COLORS*



New! Exterior Laminate* 20 Year Warranty Against fading, peeling or blistering



MINIBUNDS*



Please refer to actual color samples for true product representation.

RESEARCH & DEVELOPMENT

Polaris products are scrutinized under extreme weather and structural stresses at the Polaris in-factory testing facility. Our R&D Department ensures that our products feature the latest industry innovations. Top quality and integrity are guaranteed.



MORE GLASS OPTIONS Krypton fill, Bronze or Gray tint

ENERGY EFFICIENT GLASS

energySMART® glass is standard in every Polaris® window. These insulated glass (IG) units are panes of glass sealed onto the Intercept® U-shaped steel spacer. Together, the spacer and sashlet block temperature transfer and reduce condensation. We also offer many high-performance energySMART upgrades. Low-E coating reduces ultra violet light damage and heat gain. Triple pane IG units have sound deadening properties. Argon or krypton gas fill between panes further reduces temperature transfer. Ask about ENERGY STAR qualified upgrades.



Exterior Paint* 20 Year Warranty Against fading, peeling or blistering



Lead time 4-6 weeks. †Muntin color may be affected by glass coatings, such as Low-E. Call for exact match. *Options Colors shown are reproduced by mechanical process and may vary from actual colors of product. Use actual color selector.



Ask About Our Glass Breakage Warranty

*options

LT192 2020_05

Glass Service of Cumberland, Inc.

813 LaFayette Ave.
Cumberland, MD 21502
Phone 301-724-3434 Fax 301-724-5912

TO Sandra Saville
27 N. Centre Street APT. 2
Cumberland, MD 21502

DATE: July 27, 2020

PROJECT: Vinyl Replacement windows

Description of work to be performed: Furnish & Install. 2 New Vinyl replacement windows. Windows to be double hung with stops on top sash to stop from coming down windows will be bronze on exterior and white on the interior. Triple pane glass with low-e and argon, half screens Installation to include full perimeter insulation new brake metal on entire exterior all to be sealed with urethane base sealant.

Lump Sum Price: \$ 2830.00

Exclusions/Clarifications:

1. We exclude any glass breakage except by GSC personnel.
2. A 1/3 deposit will be required at time of acceptance.

Thank you for allowing us the opportunity to work with you. If you have any questions or I may be of further assistance please advise.

All quoted prices reflect "cash prices." If you choose to pay with a credit or debit card, you will be assessed a 4% "convenience fee". This fee will be reflected on your credit or debit card receipt.

ACCEPTED:

Firm/Owner: _____ GLASS SERVICE OF CUMBERLAND, INC.

By: _____ By: _____

Title: _____ Title: Rich Davis

Date: _____ Date: Estimator

MHIC 12957

This Proposal is subject to revision or withdrawal by GSC until communication of acceptance, and may be revised after communication of acceptance where an inadvertent error by GSC has occurred. This Proposal expires thirty (30) days after the date stated above, unless Glass Service of Cumberland expressly agrees to an extension.



**Certificate of Appropriateness Application
Presentation of Information
By Kathy McKenney**

COA# COA20-000004

Address: 27 North Centre Street

Project Contact: Sandra Saville

Project Summary The applicant has proposed to install new replacement windows on the upper story of the front façade. The structure is considered a contributing structure to the Canal Place Preservation District, according to the 2012 updated inventory from Paula Reed and Associates. Although some records show the property could date as far back as circa 1900, substantial alterations took place on the façade prior to the designation of the Canal Place Preservation District as a locally zoned historic district in the mid-1990s.

The proposed replacement windows are manufactured by Thermal Weld. A copy of the product information has been included with the application packet. The windows will be double hung vinyl, bronze in color. The applicant has not proposed to alter the sizes of the window openings.

**The section of the Preservation Guidelines that pertain to this application is Guideline 23:
Replacement Windows (Chapter 5 Page 82)**

File Attachments for Item:

5. 107-109 Baltimore Street – Part 1 Review – Steve Chaney, Town Center Development Group, LLC



CITY OF
CUMBERLAND
MARYLAND

DEPARTMENT OF COMMUNITY DEVELOPMENT

57 N. LIBERTY STREET, CUMBERLAND, MD 21502 • PHONE 301-759-6442 • FAX 301-759-6432 • TDD 800-735-2258
www.cumberlandmd.gov

Permit Number: COA20-000001

Approval Date: 8/12/2020

Certificate of Appropriateness Permit

Permit issued as per plans and subject to all applicable Preservations Guidelines, City Codes and regulations.

Project Location: MD Prop. #: Owner:	107 BALTIMORE ST 22005855 TOWN CENTER DEV GROUP LLC	Date applied: Work expected to begin:	08/05/2020
Applicant: Address: City/State/Zip: Phone: Email:	Town Center Development Group, L.L.C. 841 Windsor Rd. Cumberland, MD 21502, 301-268-3971 towncenterdevelopmentgroup@yahoo.com	Contractor: Address: City/State/Zip: Phone: Email: MD Master Plumber License #:	Steve Chaney 3018761472 chaney8C9@yahoo.com WD7459738


Quantity	Description	Amount	Total Cost
1.0	Certificate of Appropriateness Review Fee	30.00	30.00

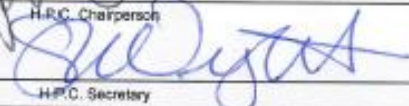
Project Description:
107 Baltimore st Renovation

Administrative Review Comments:

N/A
Signature / Date

SUBJECT: However to revocation by the HPC in the case the afore named construction is not in compliance with the requirements of the City Ordinances relating to Historic Preservation, especially Ordinance No. 3673.


H.P.C. Chairperson


H.P.C. Secretary

STATEMENT: I hereby agree to comply with all regulations which are applicable hereto, and further agree that the proposed work shall be faithfully carried out as described on this request and as shown on the plans accompanying same, and not otherwise. This application hereby expires six months following the file date if no action is taken to start specified work. Also, this application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision. The application is active for two years.

Signature on file in electronic format
Signature



CERTIFICATE OF APPROPRIATENESS DECISION

August 19, 2020

- Approved
 Denied
 Conditional

Certificate of Appropriateness # 20-000001
Agenda Item 5
Project Address: 107 Baltimore Street
Meeting Date: August 12, 2020
Property Number: 22005855

Town Center Development Group LLC
Attn: Mr. Larry Jackson
841 Windsor Road
Cumberland, MD 21502

Dear Mr. Jackson:

The Historic Preservation Commission of the City of Cumberland on the above date, considered the application for construction at the above address as follows:

Exterior improvements are to include: the “after the fact” removal of the wood-substitute shingles on the façade of the first floor along with the removal of the projecting sign on the second floor and the sign board above the storefront. The rooftop cornice is to be repaired and repainted.

The existing upper story windows and window hoods are to be repaired and repainted.

The original brick façade is to be cleaned and repainted. The cleaning of the exterior surfaces are to be undertaken consistent with Preservation Brief #1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings <https://www.nps.gov/tps/how-to-preserve/briefs/1-cleaning-water-repellent.htm> and Preservation Brief #6: Dangers of Abrasive Cleaning to Historic Buildings <https://www.nps.gov/tps/how-to-preserve/briefs/6-dangers-abrasive-cleaning.htm>

The remaining parts of the flush mounted sign structure above the storefront are to be repaired and the surface behind the sign structure is to be repainted. There is also a reference The installation of a future hanging sign above the storefront, indicated on the submitted specifications, should be installed using the mortar joints, instead of using the brick surface.

The transom window above the entrance door on the front façade that leads to stairs to the upper floors is to be re-exposed, repaired and repainted. A new ¾ lite door is to be installed in the door opening consistent with the submitted product specifications.

The existing storefront entrance door is to be retained along with the recessed entrance windows. The masonry surfaces are to be painted consistent with the submitted color key.

For the rear elevation on Dexter Place, the rubber membrane and metal roof will be replaced with a new rubber roof. The gutters and downspouts are to be replaced. The porch roof, currently constructed of metal, is to be replaced with a rubber membrane roof.

The abandoned furnace vent pipe is to be removed along with other abandoned utility equipment. The concrete block and stairs, along with the brick surfaces on the second floor are to be painted. A new railing is to be installed. Rotten wood in the porch ceiling is to be replaced. The brick on the third floor is to be repointed. Consistent with comments by the Maryland Historical Trust, the mortar mix used for the repointing must be consistent with the historic mortar. Once the remaining specifications for the rear deck have been finalized, they can be submitted for review as a Change/Amendment request to this Certificate of Appropriateness if these specifications are available within two years from the date of the application of the original Certificate of Appropriateness.

The application was:

DENIED
APPROVED AS SUBMITTED
APPROVED, SUBJECT TO THE FOLLOWING CONDITIONS

APPROVED with the following conditions: the sign board above the storefront is to be restored without backlighting.

Sincerely,

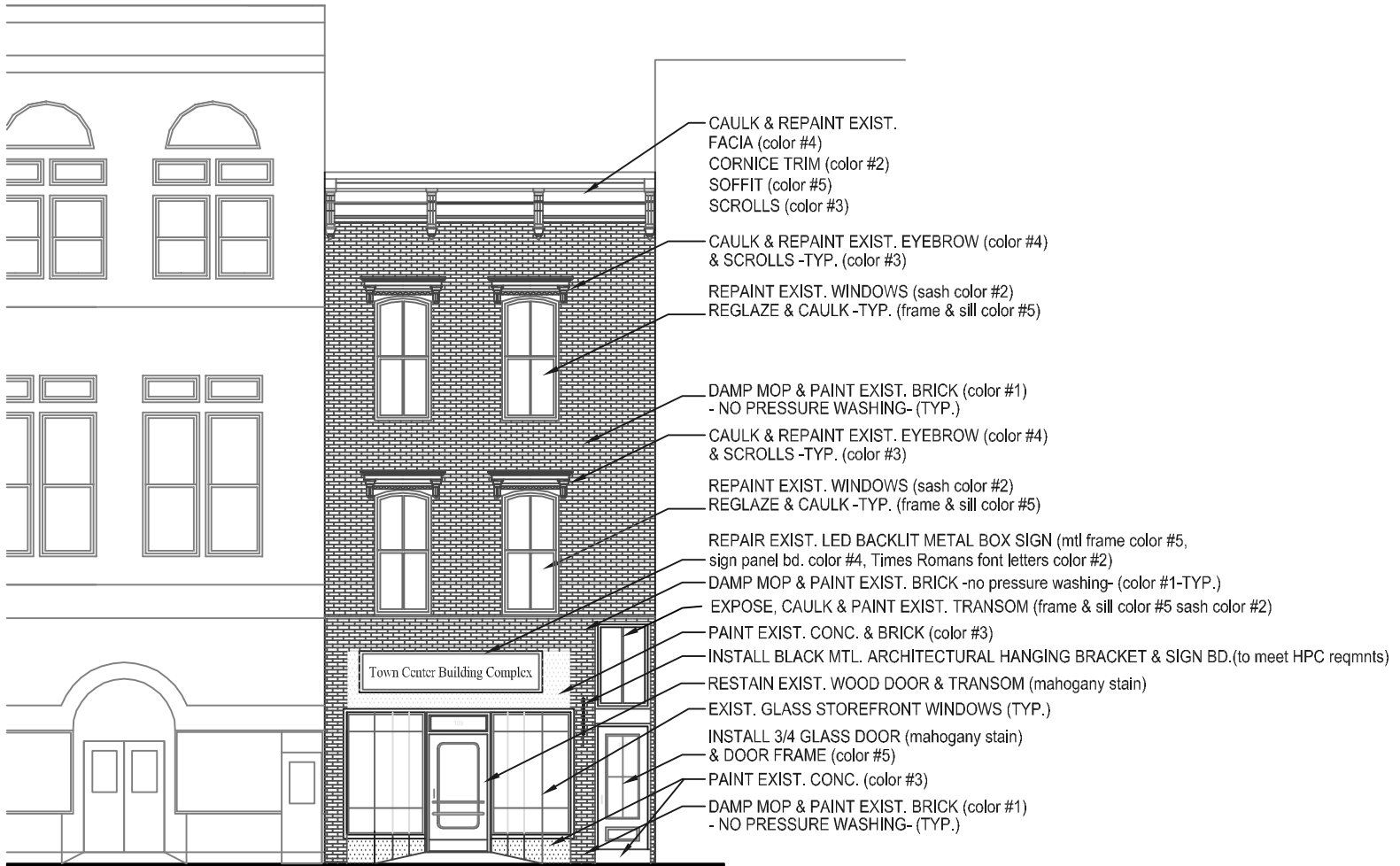


Kathy McKenney
Community Development Programs Manager

Cc: Planning and Zoning
COA File

NOTE: Please note that the approval listed above only constitutes the approval of the Historic Preservation Commission. You must still ensure that all other permits associated with this project, if required, have been applied for and approved by the Building and Zoning Officer.

EXPIRATION OF CERTIFICATES OF APPROPRIATENESS: This application hereby expires six months following the file date if no action is taken to start specified work. Also, the application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision.



111/113 BALTIMORE STREET

Front Elevation

107-109 BALTIMORE STREET



Front Elevation



**City of Cumberland
Historic Preservation Tax Program
Part I – Pre-Construction Work Scope Application**

**TO: Cumberland Historic Preservation Commission
57 North Liberty Street
Cumberland, MD 21502**

FOR OFFICE USE ONLY	
COA # _____	_____
Tax Account # _____	_____
Date COA/Part I Approved _____	_____

APPLICANT: *-type or print in ink-*
Owner's Name: Town Center Development Group, LLC **PROPERTY:** (if different from applicant information)
Address: 841 Windsor Rd. **Name:** Mortzis Jewelry Bldg.
Cumberland, MD 21502 **Address:** 107 Baltimore St.
301-268-3971 **Address:** Cumberland, MD 21502

Please Check the District in Which Structure is Located:

- Canal Place Preservation District (CPPD) (Locally Zoned Historic District)*
 For properties in the CPPD, is the property also located within:
 - Primary Special Taxing District
 - Secondary Special Taxing District
 - Decatur Heights District (National Register of Historic Places District)
 - Greene Street District (National Register of Historic Places District)
 - South Cumberland (Chapel Hill) District (National Register of Historic Places District)
- An additional assessment freeze may apply*

**If structure is located in the Canal Place Preservation District, a Certificate of Appropriateness must be approved prior to the commencement of construction. A Certificate of Appropriateness is required for all exterior work in this district even if the tax credit application process is not completed and/or is denied.*

If you are unsure as to which district your property is located, please consult the City of Cumberland's Historic Planner/Preservation Coordinator at 301-759-6431 or the City of Cumberland's website at <http://www.ci.cumberland.md.us/engineering/maps.htm>

MORTON'S JEWELRY BUILDING
ADAPTIVE REUSE & UPPER FLOOR APARTMENTS
 107-109 BALTIMORE STREET
 CUMBERLAND MARYLAND 21502

AN HISTORIC REHABILITATION OF THE FORMER:
MORTON'S JEWELRY BUILDING

1
 2
 3

CLIENT:
Town Center Development Group LLC
 841 Windsor Road
 Cumberland MD 21502

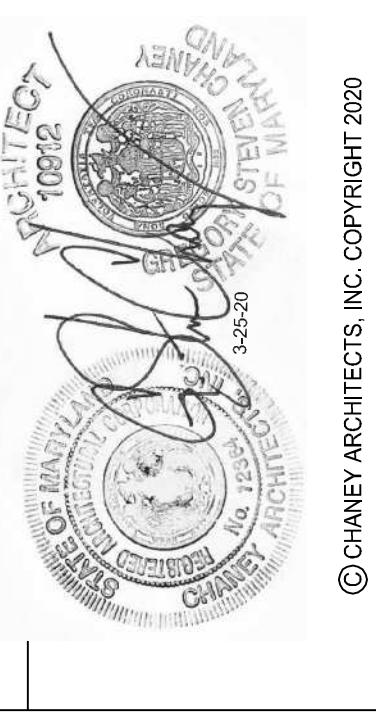
FOR:
Adaptive Reuse & Redevelopment



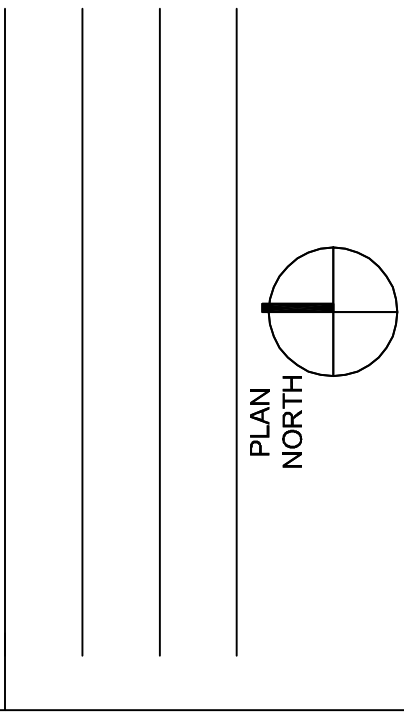
CHANEY ARCHITECTS, INC.
 DESIGN - CONSTRUCTION MANAGEMENT - PLANNING
 116 BALTIMORE STREET SUITE 201
 CUMBERLAND, MD 21502
 Chaney818@yahoo.com 301.777.1335

5

6



SEAL:
 DRAWN BY: _____ CHECKED: _____
 REVISIONS: _____



8
 SHEET TITLE:
CODE DATA SHEET

SCALE: DATE: CAI PROJ.#:
 AS NOTED 3.25.2020 16108
 PROJECT PHASE: PERMITTING
 MHT PROJECT #: 2017-184
 DRAWING #:

9
A-011

CODE DATA:

PROJECT NAME AND LOCATION : APPLICABLE CODES :

INTERNATIONAL BUILDING CODE, 2015 EDITION W/ THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT MODIFICATIONS (REF: COMAR 05.02.07)
 IECC 2015 - INTERNATIONAL ENERGY CONSERVATION CODE 2015 (REF: COMAR 05.02.07)
 NFPA 2015 - INTERNATIONAL LIFE SAFETY CODE, 2015 EDITION (REF: COMAR 23.06.01) & NFPA STANDARD 1 FIRE CODE, MARYLAND STATE FIRE PREVENTION CODE
 MARYLAND ACCESSIBILITY CODE 2015 (REF: COMAR 05.02.02)
 SAFETY GLAZING REQUIREMENTS SET FORTH IN THE IBC 2015, AND IN THE PUBLIC SAFETY ARTICLE, TITLE 12, LABOR LICENSING AND REGULATIONS REQUIREMENTS
 NATIONAL ELECTRICAL CODE 2011 (REF: COMAR 05.02.07; PUBLIC SAFETY ARTICLE TITLE 12, SUBTITLE 6, (ANNOTATED CODE OF MARYLAND)
 INTERNATIONAL MECHANICAL CODE 2012 WITH MODIFICATIONS (REF: COMAR 05.02.07; BUSINESS REGULATION ARTICLE SECTION 9A-205, ANNOTATED CODE OF MARYLAND) - EFFECTIVE JUNE 24, 2013
 NATIONAL STANDARD PLUMBING CODE 2012 ILLUSTRATED WITH MODIFICATIONS, 2007 SUPPLEMENT TO 2006 NATIONAL STANDARD PLUMBING CODE, NATIONAL FUEL GAS CODE, ANSI Z223.1, NFPA - 54, 2006, AND LIQUIFIED PETROLEUM GAS CODE, NFPA 58, 2004 (REF: COMAR 05.02.07; BUSINESS OCCUPATIONS AND PROFESSIONS ARTICLE 12, ANNOTATED CODE OF MARYLAND)-EFFECTIVE MAY 13, 2013

BUILDING USE AND CONSTRUCTION CLASSIFICATIONS

USE GROUP: IBC REF.: NFPA REF.:
 R-2 (RESIDENTIAL GROUP) 2nd & 3rd FLOOR NEW APARTMENT BUILDING (CHAPTER 30)
 B (BUSINESS) 1st FLOOR

PROPOSED TYPE OF CONSTRUCTION: TYPE 5B (SPRINKLERED, UNPROTECTED)
 ALLOWABLE BUILDING HEIGHT: 2 STORIES - 40' (TABLE 503)
 ACTUAL BUILDING HEIGHT: 3 STORIES, 41'-7" (PER 502.1 DEFINITION) (ALLOWABLE BLDG HIGHT & STORY INCREASE EXCEPTION SECTION 504.2)
 ALLOWABLE GROSS BUILDING AREA PER FLOOR: 7,000 GROSS SQ. FT.
 ACTUAL BUILDING AREA PER GROSS FLOOR: 1,034 GROSS SQ. FT. - FIRST FLOOR
 1,159 GROSS SQ. FT. - SECOND FLOOR
 1,136 GROSS SQ. FT. - THIRD FLOOR
 3,329 GROSS SQ. FT. - TOTAL BLDG

OCCUPANCY LOADS

USE: IBC REF.: NFPA REF.:
 BUSINESS B (FIRST FLOOR) 100 GROSS (TABLE 1004.1.2)
 RESIDENTIAL R-2 (SECOND FLOOR) 200 GROSS (TABLE 1004.1.2)
 RESIDENTIAL R-2 (THIRD FLOOR) 200 GROSS (TABLE 1004.1.2)

OCCUPANCY LOADS AND EGRESS REQUIREMENTS :

LOCATION	AREA IN SQ. FT. CALCULATED.	SO. FT. PER PERSON LOAD:	OCCUPANT PROVIDED (IN.):	EGRESS DOOR WIDTH PROVIDED (IN.):	WIDTH OF EGRESS STAIR PROVIDED (IN.):	STAIR WIDTH PROVIDED (IN.):	# OF EXITS REQUIRED:	# OF EXITS PROVIDED:
1ST FLR (B)	1,034	100 GROSS	11	2.2 IN.*	32"	N/A	1**	2
2ND FLR (R-2)	1,159	200 GROSS	6	1.2 IN.*	64"	1.8 IN.*	1**	2
3RD FLR (R-2)	1,136	200 GROSS	6	1.2 IN.*	60"	1.8 IN.*	1**	2

* EGRESS WIDTH REQUIREMENTS CALCULATED AT 0.3 IN. AT STAIRWAYS AND 0.2 AT DOORS AND CORRIDORS PER OCCUPANT (PER IBC TABLE 1005.1) AND NFPA 7.2.1.2.3 OR 4.4" MIN. (PER ADA, IBC 1005.1 AND NFPA 7.3.4.1)
 ** NUMBER OF EXITS REQUIRED, PER IBC 24.2.2.1.2 EXCEPTION 2; AND NFPA 7.4.1.1, 30.2.4.2.

MAXIMUM TRAVEL DISTANCE TO EXIT :

ACTUAL: IBC (TABLE 1016.1) 73'-6" FIRST FLR. 87'-4" SECOND FLR. 54'-7" THIRD FLR.
 ALLOWABLE: IBC (TABLE 1016.1) 250'-0"
 NFPA (30-26) 250'-0"

FIRE PROTECTION SYSTEM REQUIREMENTS :

AUTOMATIC SPRINKLERS	FIRE ALARM SYSTEMS	FIRE EXTINGUISHERS	STORAGE ROOMS > 100 SQ. FT.	MAXIMUM DEAD END DISTANCE :
REQD. SYSTEM: YES	YES	YES	1 HR OR FIRE EXTINGUISHING SYSTEM	IBC REF.: 50 FT (1018.4) NFPA REF.: 50 FT (30.2.5.6.2)

REMOVEDNESS OF EXITS

IBC 1015.2.1: - MINIMUM SEPARATION DISTANCE SHALL BE 1/3 THE LENGTH OF THE MAXIMUM DIAGONAL OF THE BUILDING
 NFPA 7.5.1.3.3: - 1/3 THE LENGTH OF MAXIMUM BUILDING DIAGONAL OF THE BUILDING

MINIMUM PASSAGE WIDTH REQUIREMENTS :

WIDTH: 3'-8" (44") CLEAR (IBC 2015)
 PANIC HARDWARE :
 REQUIRED: NO
 IBC REF.: 1021.2
 NFPA REF.: 30.2.3.2

EMERGENCY LIGHTING REQUIREMENTS :

REQUIRED: YES
 IBC REF.: 1006.1
 NFPA REF.: 30.2.9
 LOCATIONS: ALL MEANS OF EGRESS - NORMALLY OCCUPIED SPACES

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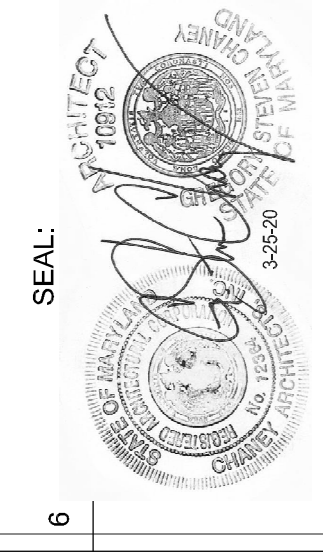
MORTON'S JEWELRY BUILDING
 ADAPTIVE REUSE & UPPER FLOOR APARTMENTS
 117-109 BALTIMORE STREET
 CUMBERLAND MARYLAND 21502

CLIENT:
Town Center Development Group LLC
 841 Windsor Road
 Cumberland MD 21502

FOR:
Adaptive Reuse & Redevelopment



CHANEY ARCHITECTS, INC.
 DESIGN - CONSTRUCTION MANAGEMENT - PLANNING
 115 MARKET STREET SUITE 201
 CUMBERLAND, MD 21502
 Chaney608@chaney.com 301.777.1335



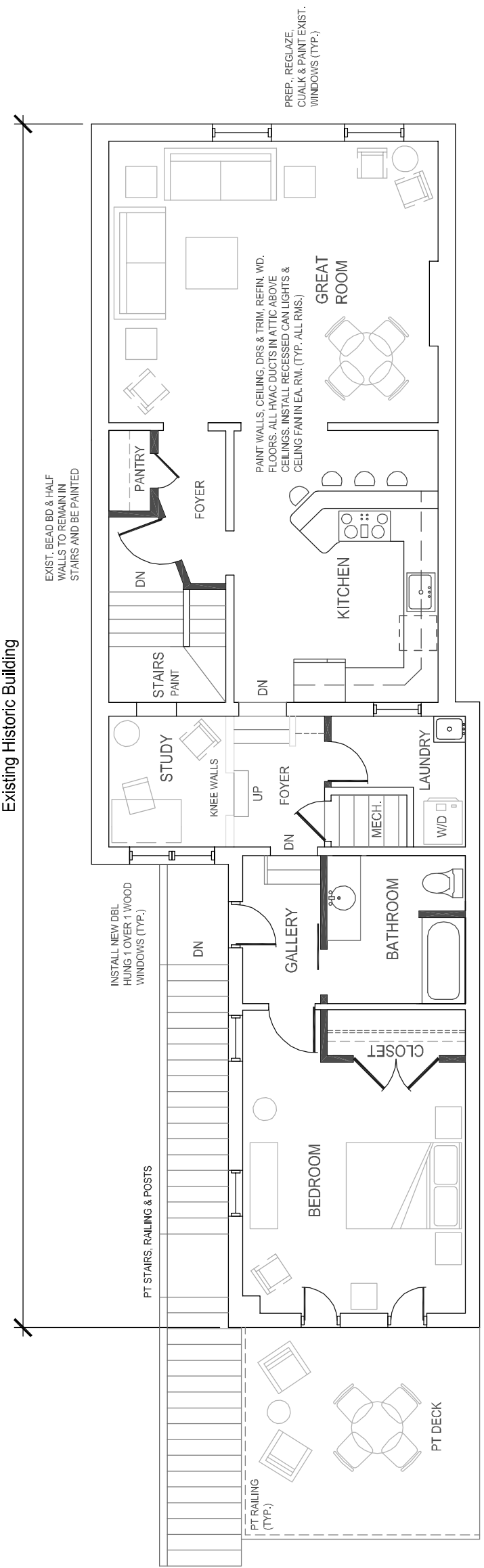
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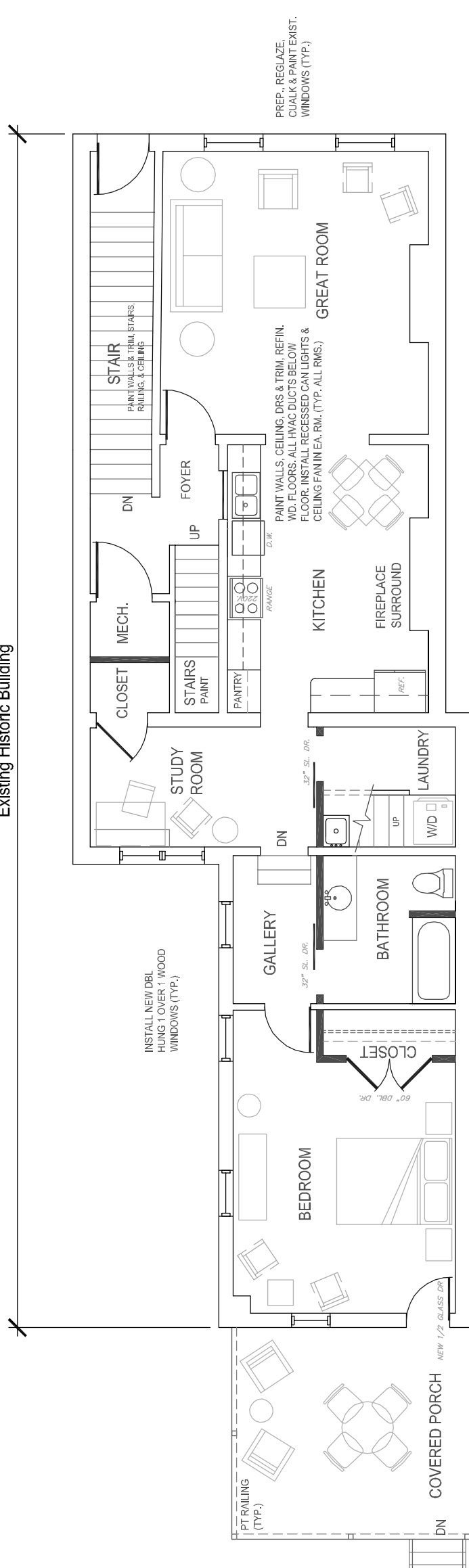
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 SHEET TITLE:
FLOOR PLANS

SCALE: AS NOTED DATE: 3.25.2020 CA PROJ.#: 16108
 PROJECT PHASE: PERMITTING
 MHT PROJECT #: 2017-184
 DRAWING #:

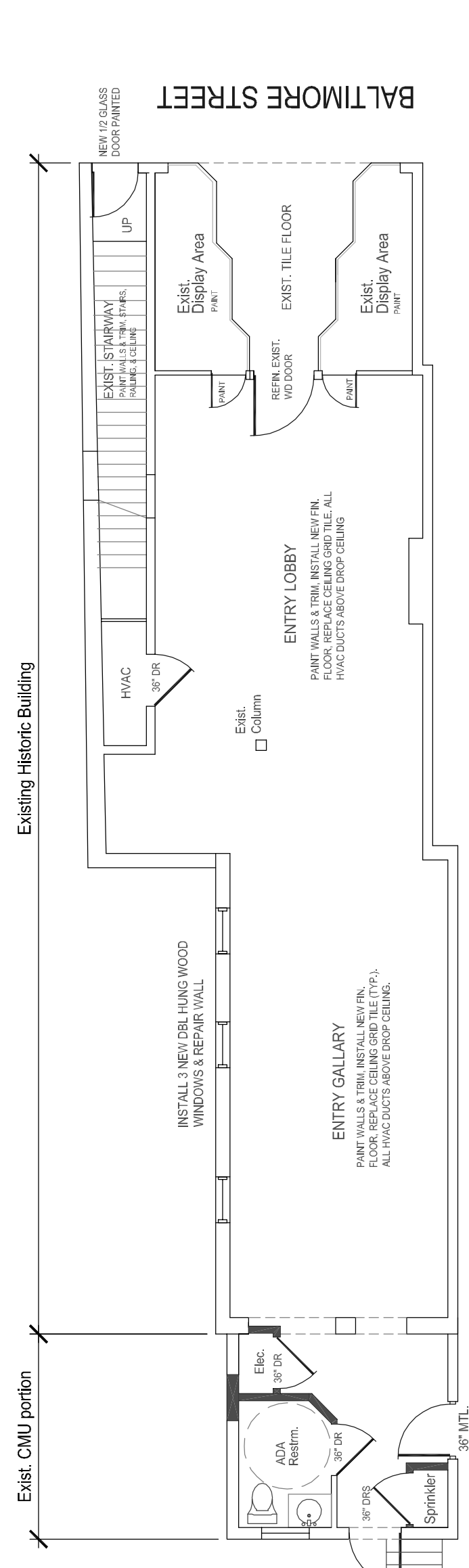
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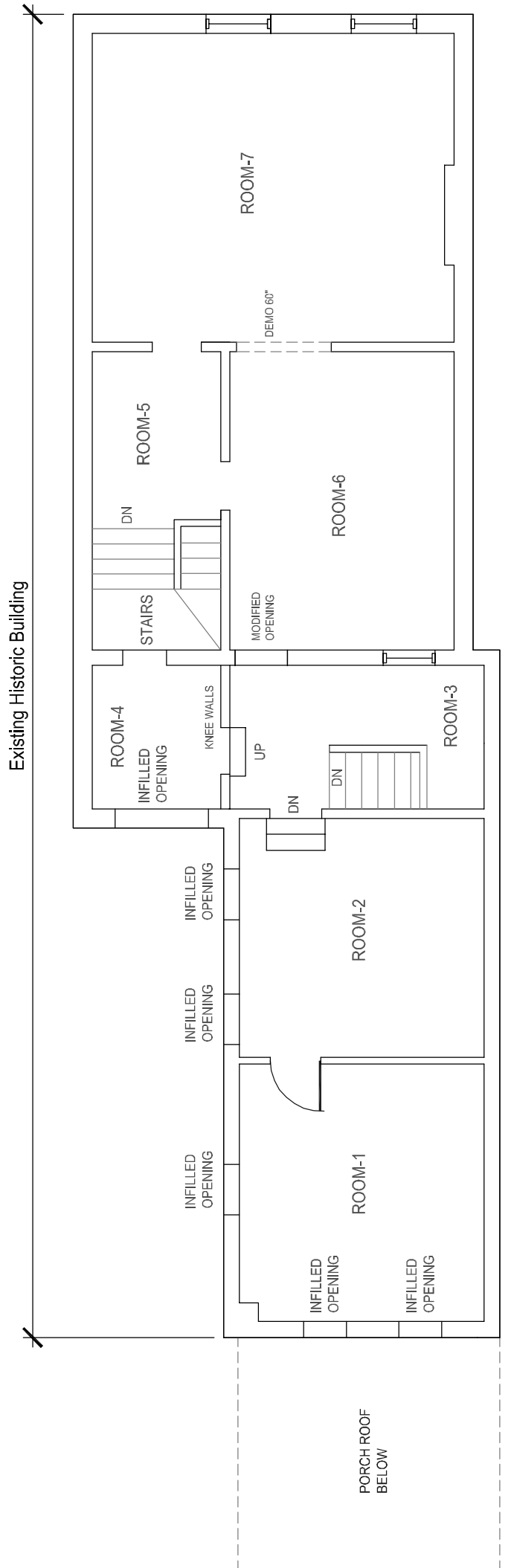
Third Floor Plan
 A100 5 4 3 2 1 0 5 10 15



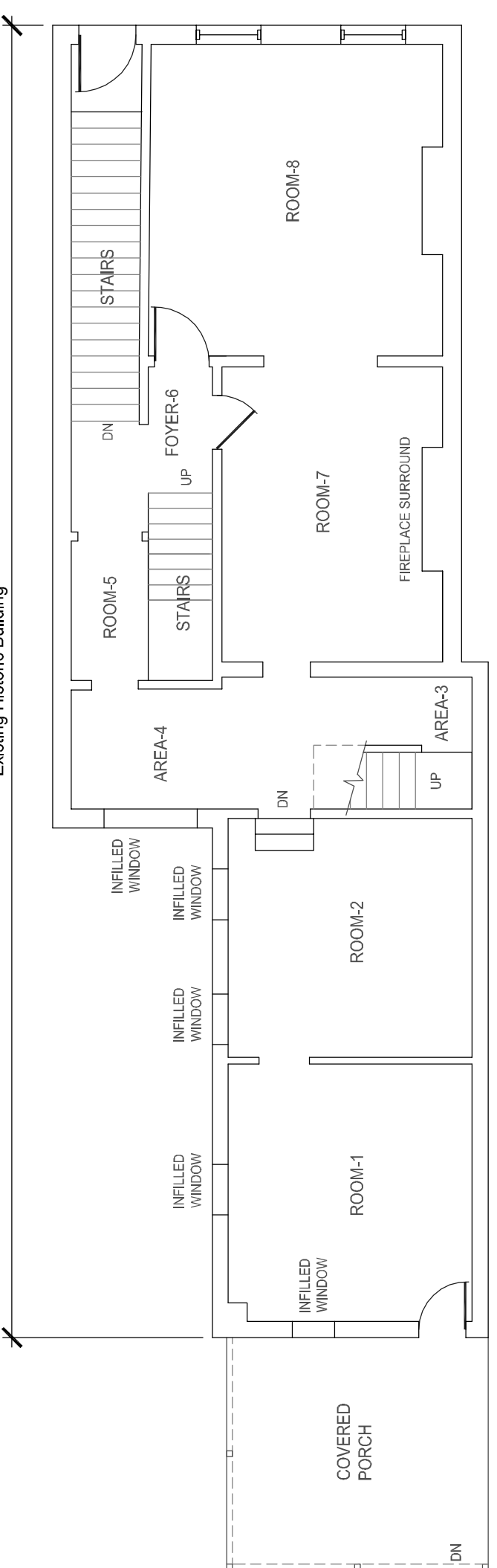
Second Floor Plan
 A100 5 4 3 2 1 0 5 10 15



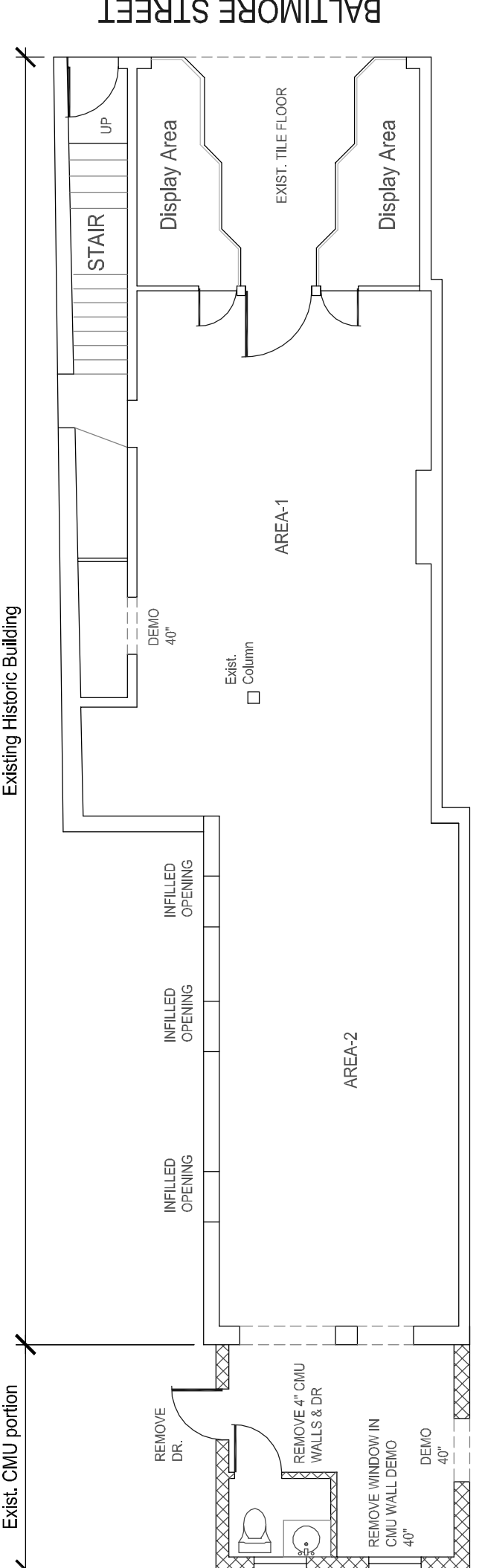
First Floor Plan
 A100 5 4 3 2 1 0 5 10 15



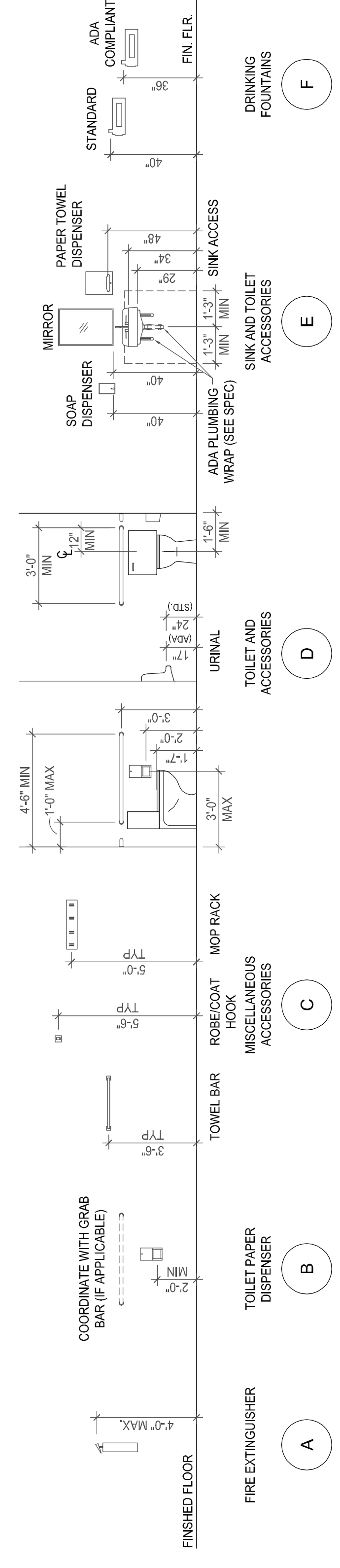
Third Floor Existing Plan
 A100 5 4 3 2 1 0 5 10 15



Second Floor Existing Plan
 A100 5 4 3 2 1 0 5 10 15



First Floor Existing Plan
 A100 5 4 3 2 1 0 5 10 15



Standard ADA Mounting Heights
 NOTE: MOUNTING HEIGHTS CONFORM TO AMERICANS WITH DISABILITIES ACT (PUBLIC LAW 101-538)

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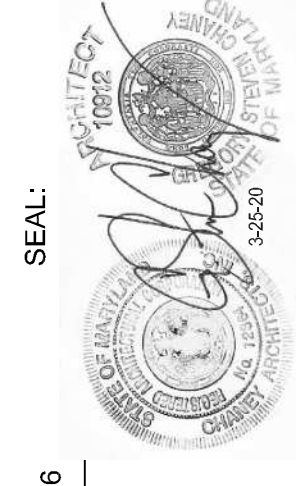
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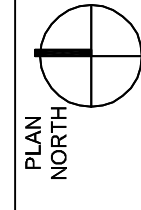
FOR:
**Adaptive Reuse &
 Redevelopment**

CHANEY ARCHITECTS, INC.
 DESIGN-CONSTRUCTION MANAGEMENT - PLANNING
 15 EAST BAY STREET SUITE 202
 CUMBERLAND MD 21502
 ChaneyA@att.net 301.777.1335



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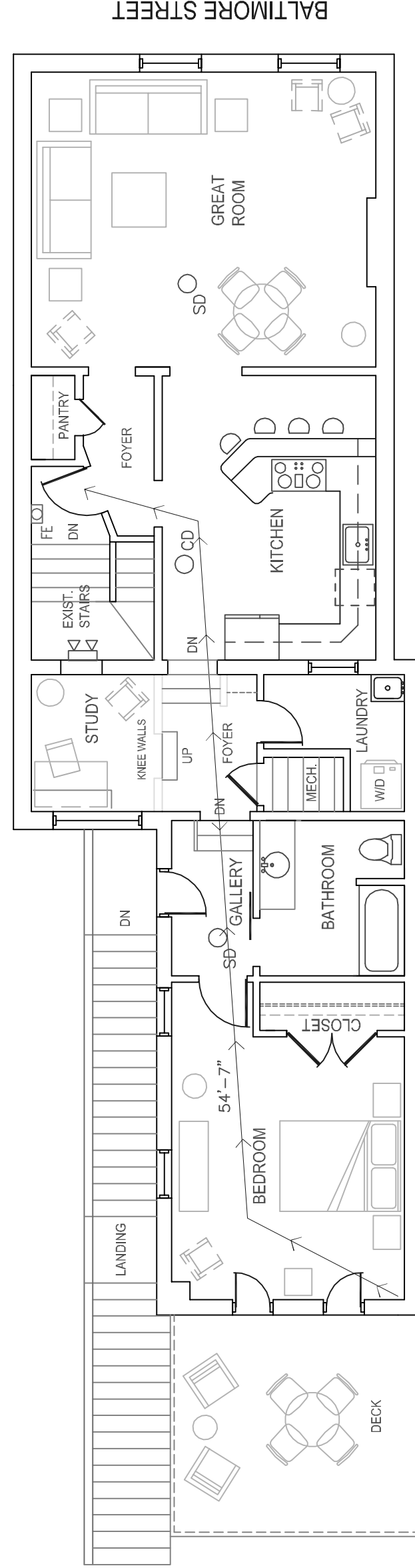
DRAWN BY: _____ CHECKED: _____
 REVISIONS: _____



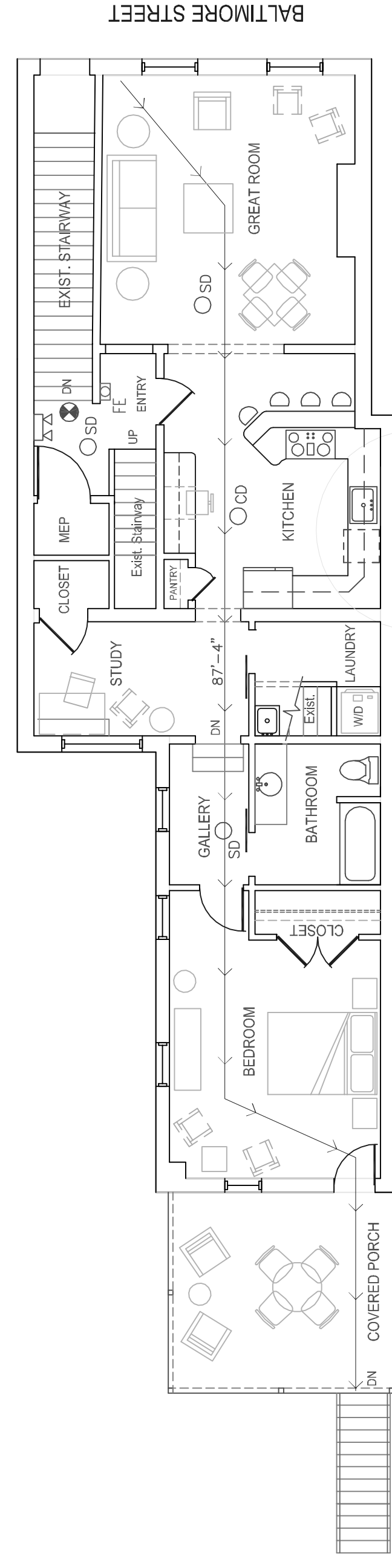
SHEET TITLE:
LIFE SAFETY PLAN

SCALE: _____ DATE: _____ CAI PROJ.#:
AS NOTED 3.25.2020 16108
 PROJECT PHASE: **PERMITTING**
 MHT PROJECT #: 2017-184
 DRAWING #:

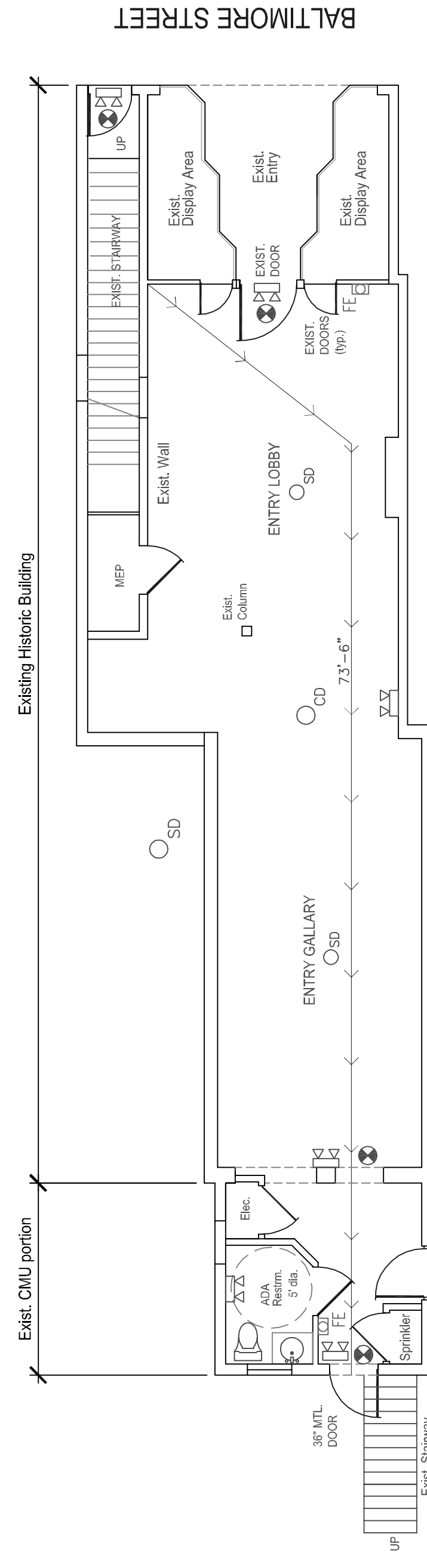
A-010



3
 3rd Floor Life Safety Plan



2
 2nd Floor Life Safety Plan



1
 1st Floor Life Safety Plan

LEGEND	
—XX—XX—	APPROX. CALCULATED DISTANCE
—XX—XX—	APPROX. MAXIMUM TRAVEL DISTANCE
—XX—XX—	1 HR FIRE RATED WALL
⊗	ILLUMINATED EXIT SIGN
○ _{CD}	CARBON MONOXIDE DETECTOR
⊗	BATTERY PACK
○ _{SD}	SMOKE DETECTOR
⊗	FIRE EXTINGUISHER
⊗	EMERGENCY LIGHT

- NOTES:**
- EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT, UNLESS SPECIFICALLY OTHERWISE APPROVED. (NFPA 101, 7.2.1.5.1).
 - ALL BUILDING SERVICE EQUIPMENT INCLUDING UTILITIES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF NFPA STANDARD 101, CHAPTER 9.
 - SEE SHEET A-010 & AS SHOWN FOR BUILDING CODE IDENTIFY REQUIRED EXIT DOORS. ADDITIONAL ILLUMINATED EXIT SIGNS SHALL BE PROVIDED AT IDENTIFIED ROUTES OF TRAVEL TO EXITS WHERE THE ROUTE OF TRAVEL IS NOT CLEAR.
 - APPROVED EMERGENCY LIGHTING SHALL BE PROVIDED FOR ALL MEANS OF EGRESS TO AUTOMATICALLY ACHIEVE REQUIRED ILLUMINATION LEVELS FOR A PERIOD OF ONE AND ONE-HALF HOURS IN THE EVENT OF FAILURE OF NORMAL LIGHTING.
 - APPROVED PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH NFPA STANDARD 10. (2007 EDITION). THE ACTUAL TRAVEL DISTANCE TO REACH AN EXTINGUISHER SHALL NOT EXCEED 75 FEET FROM ANY POINT IN THE BUILDING (NFPA 10).

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MORTON'S JEWELRY BUILDING
ADAPTIVE REUSE & UPPER FLOOR APARTMENTS
 107-109 BALTIMORE STREET
 CUMBERLAND MARYLAND 21502

AN HISTORIC REHABILITATION OF THE FORMER:

CLIENT:
Town Center Development Group LLC
 841 Windsor Road
 Cumberland MD 21502

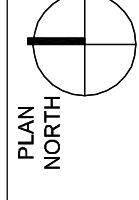
FOR:
**Adaptive Reuse &
 Redevelopment**



CHANNEY ARCHITECTS, INC.
 DESIGN - CONSTRUCTION MANAGEMENT - PLANNING
 SUITE 201
 115 BALTIMORE STREET
 CHANEY@A200.COM
 301.777.1335

SEAL:

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DRAWN BY: _____ **CHECKED:** _____
REVISIONS: _____



SHEET TITLE:
EXTERIOR ELEVATIONS

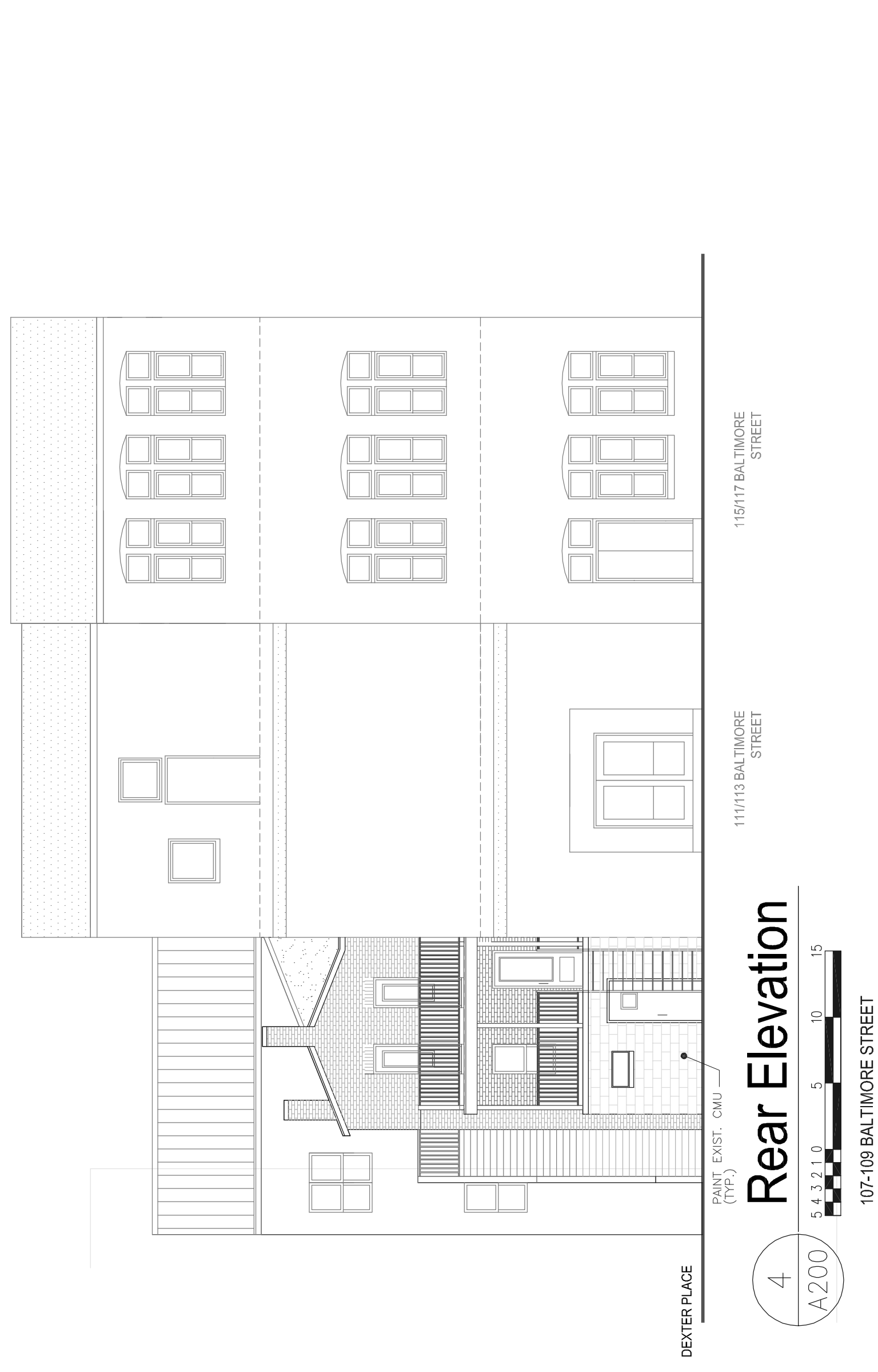
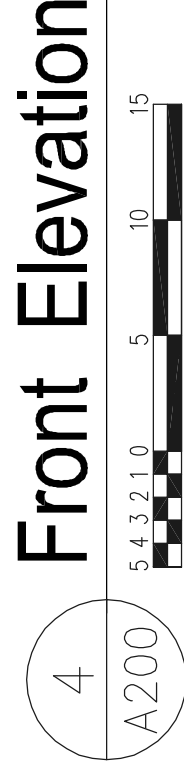
SCALE: DATE: C/M PROJ./#
AS NOTED 3.25.2020 16108
PROJECT PHASE: PERMITTING
MHT PROJECT #: 2017-184
DRAWING #:

A-200

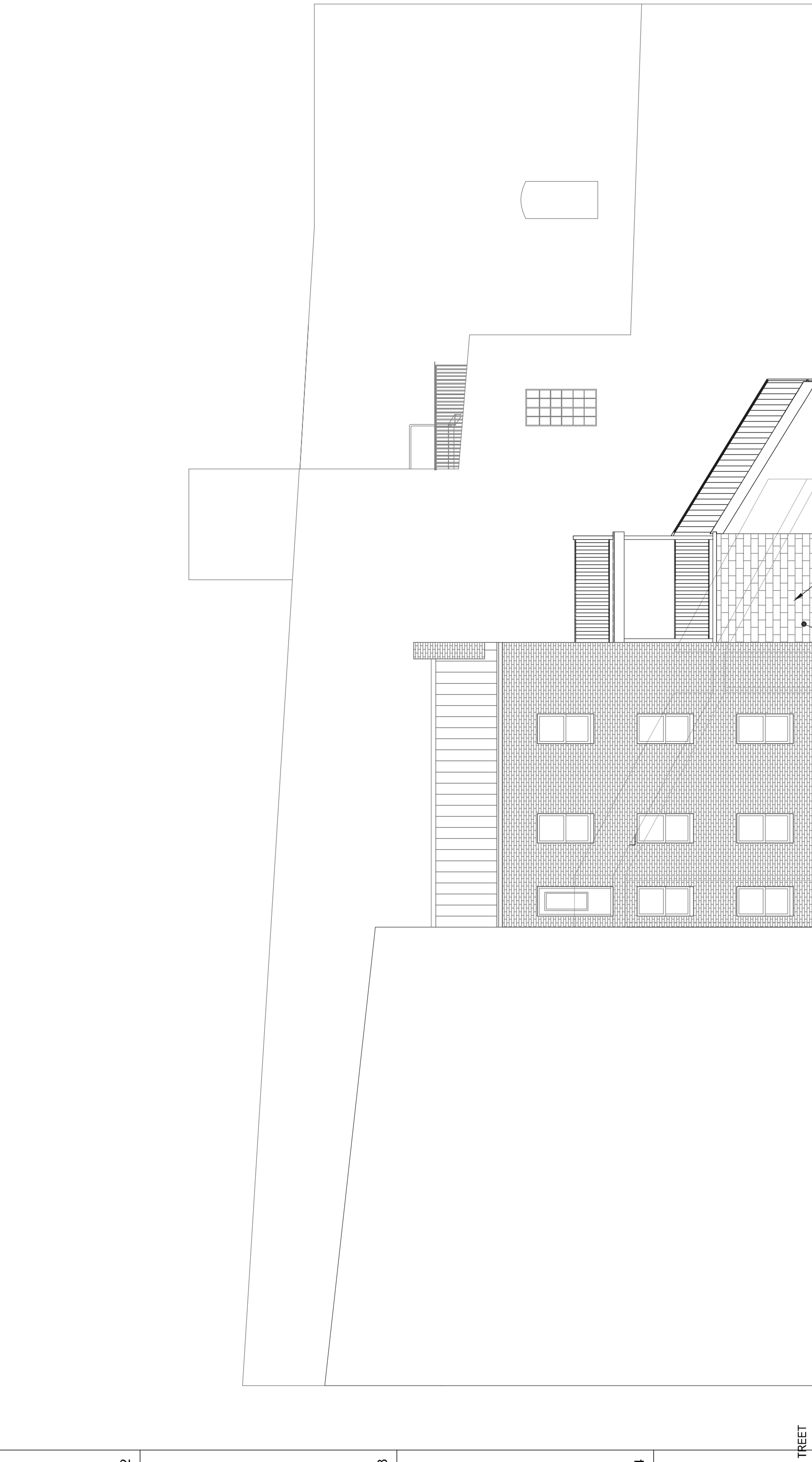
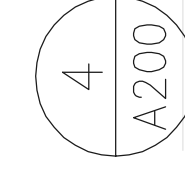
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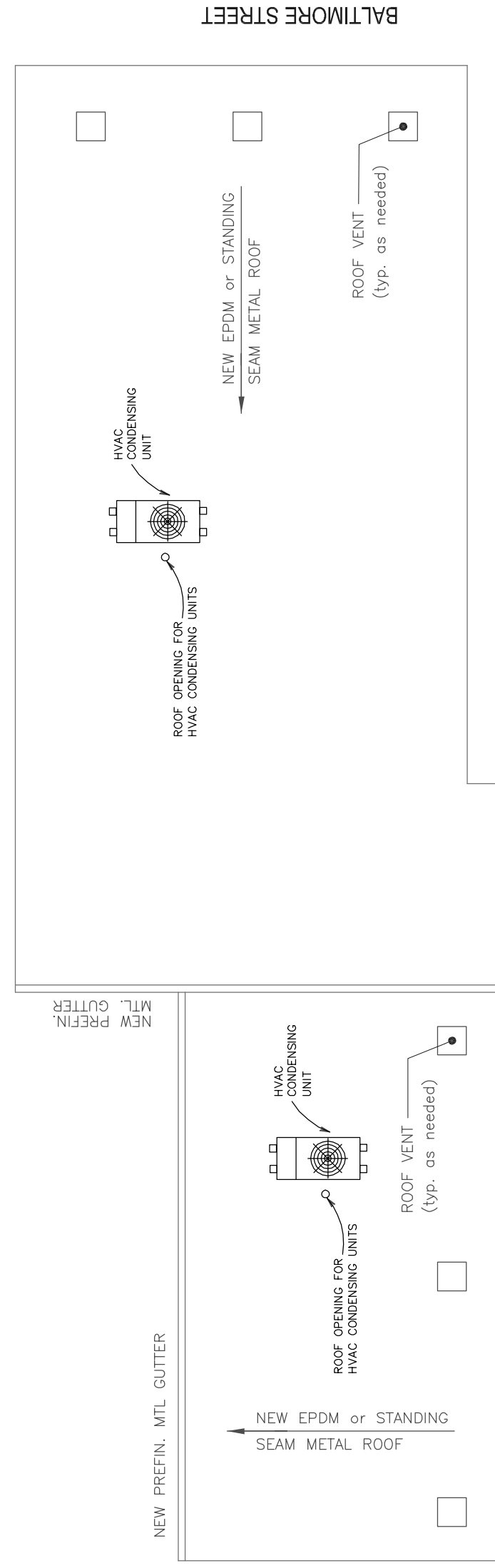
Front Elevation
 107-109 BALTIMORE STREET



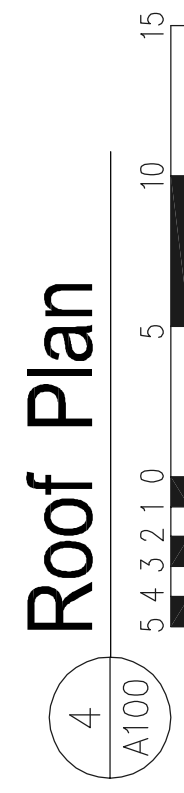
Rear Elevation
 107-109 BALTIMORE STREET



Side Elevation
 STREET



Roof Plan



SUMMARIZED DESCRIPTION OF THE PROJECT AT 107 BALTIMORE ST.

The project located at 107 Baltimore Street in the heart of historic downtown Cumberland, (commonly known as the Morton's Jewelry Building), will entail the complete renovation and restoration of this early 20th century three story jewel. This project is an essential part of helping in creating additional vibrancy along historic Baltimore Street. The building is in dire need of improvements inside and out as it's a bit of a neglected eyesore downtown but a true small diamond in the rough.

Existing condition summary:

The existing building consists of a small rectangular shaped three story brick historic building with original double hung windows and exterior trim on the upper floors of the front façade, including the original wood cornice. The original first floor front facade does not exist. An attempt to "modernize" its entry consists of vinyl/resin imitation wood shake siding and a stepped back storefront showcase window system. The building has a partial crawl space and the original stairway system exists from first floor to second floor and on up to the third floor. The building has been expanded in the past with what appears to be perhaps two rear additions at some point. A rear covered porch exists on the second floor and is also in poor condition.

Roof System:

The existing gable and sloped metal roof system is in good to poor condition including the roof flashing, parapets, drainage, and roof top systems. The existing rear covered porch roof is failing and is in dire need of repair. Noticeable roof leaks and interior exterior wall moisture along with some ceiling damage exists on the upper two floors. Immediate roof and roof flashing repair work is necessary to save, properly protect and preserve this historic building. Additional new roof work including installing new plumbing stacks and vent penetrations through the existing roof and their associated boots and flashing will be required with the upper floor apartment systems.

Structural:

The existing building structure consists of load bearing masonry face brick double/triple width exterior walls with plaster interior coating. The primary structural system consists of wood floor joists, wood stud/lathe and plaster walls, wood trusses and wood decking including a partial crawl space. Interior masonry walls exist due to the additions to the rear of the building. However, they appear to be in good condition. The existing integrity of the systems appear to be in good working order. No new work is

anticipated on any floor or area other than minor work as may be required for any reconfiguration for the second floor apartment and third floor apartment unit.

Windows, Doors and Exterior Facades:

The existing upper story double hung windows, doors, brick facades and exterior systems and conditions are in good to poor condition. Some original window openings have been bricked in on the west side and rear of the building.

Electrical:

The existing electrical service, systems and equipment - in general - are in working order but appear to be the original system from when the building was initially built. No new work is proposed to the systems or on first floor. New service feed, wiring, electrical panels, fixtures and equipment will be installed for the second floor apartment and the third floor apartment unit. Including new power outlets, meters, lighting and switches as required and per building code.

Fire, Health & Safety, Code Compliance:

This Project will involve installing a fully automatic NFPA regulated sprinkler system and controls throughout the entire building as required by building codes for a mixed use building including residential occupancy on the second and third floor. Emergency and exit lights on first floor are dated and need to be replaced. New ones will be installed as required on second and third floor for the apartments as well as hard -wired smoke detectors and alarm systems as required by code.

Building Review Summary:

The existing historic building is a quaint yet uniquely configured residential/light commercial scale building in the heart of downtown. Its general 'bones' are fairly good but the building is "tired" and is in need of attention before it is too late and becomes too costly to repair and restore. The upper two floors have noticeably been left neglected. It appears no real or major improvements or maintenance have occurred in many, many decades - if at all. The upper two floors are totally underutilized and are in poor condition and in need of attention.

DETAILED PLANS REGARDING EXTERIOR

Architectural feature: Building facade 1st floor

Existing feature and its condition: Store front window most likely installed in the pre-war II era, not original. Other areas around covered in shingles in about 1980. Generally rundown condition. Original side door to steps covered over. Most original façade features completely destroyed.

Work and impact on existing feature: Retain existing storefront glass and remove shingles. Will retain and re-use existing wooden door. Restore covered transom window that still exists above the side stairwell entrance. Install missing door (its plywood now). Paint existing brick to match the rest of the painted brick they will be re-painted in a historic color palette. Existing horizontal sign to remain.

Architectural feature: Building facade 2nd and 3rd floors

Existing feature and its condition: Original Hard pressed red brick and mortar with carved wood accents and detail over windows and cornice, in good condition. 1950's metal sign frame in middle of façade. No impact except to preserve original features.

Work and impact on existing feature: Scrape, prime and paint and repair any wooden decorative pieces as needed. Repaint brick. Façade in good shape.

Architectural feature: **Facade** cornice - front

Existing feature and its condition: Original wooden façade still in place. Good condition.

Work and impact on existing feature: Scrape, prime and paint and repair any sections as needed

Architectural feature: Facade windows - 2nd floor/3rd floor

Existing feature and its condition: Original two over two double hung windows with single pane glass. Wood above windows in good condition. All glass is in good shape but missing glazing. Wood frames and sashes in fair condition.

Work and impact on existing feature: All windows to be caulked, re-glazed and rebuilt as needed to match original condition. Replace missing wood sills as required.

Replace missing wood dentals to match existing dentals. Scrape, prime and paint all wood windows and transoms with a historic color palette. Scrape and clean glass.

Architectural feature: Sloped shed roof - 3rd floor – not in view shed

Existing feature and its condition: Rubber membrane shed roof with metal roof panels on top. Roof and flashing in poor condition. Missing lap sealant at seams. Coping is cracking in some areas. Metal gutter and downspout in poor condition. Leaking and damaged areas.

Work and impact on existing feature: Install new rubber roof. Seal all rubber lap seams per manufacturer recommendation. Attach and reseal flashing as required. Replace coping as required. Replace gutter and down spout. New roof will preserve building.

Architectural feature: Sloped shed roof - rear of 2nd floor – not in view shed

Existing feature and its condition: Metal roof and flashing with metal gutter and downspout in poor condition and leaking at perimeter areas.

Work and impact on existing feature: Replace roof and flashing with rubber membrane roof. Replace metal gutter and downspout. New roof will protect building.

Architectural feature: Flat roof – porch roof

Existing feature and its condition: rubber membrane roof over plywood. System is completely failing and in horrible condition.

Describe work and impact on existing feature: new roof with new sub-roof installed and new membrane roof installed over that.

Architectural feature: Rear facade - 1st floor

Existing feature and its condition: Concrete block. Two basement type windows. Metal stairs leading from 2nd floor porch. All in very poor condition.

Work and impact on existing feature: remove abandoned furnace vent pipe and other abandoned pipes. Scrape and repaint metal steps. Paint concrete block.

Architectural feature: Rear facade -2nd floor, 3rd floor

Describe the existing feature and its condition: 2nd floor: 1960's Original brick wall with attached porch over first floor concrete roof. In very poor condition. Most of the porch railing is missing. What is left is probably not original, but installed when the first floor bump out edition was completed. Ceiling of porch consists of exposed structure beams Roof above consists of deteriorated plywood. 3rd floor: unpainted original brick.

Work and impact on existing feature: 2nd floor: re-paint brick to preserve. Add plain safety railing (will NOT put decorative railing in to avoid any confusion that it would be original). Replace rotted wood in the ceiling of the porch when fixing the porch roof leaving original exposed beams. 3rd floor: re-point brick as needed. No change.

AN HISTORIC REHABILITATION OF THE FORMER:

Morton's Jewelry Building

ADAPTIVE REUSE - UPPER STORY APARTMENTS

107-109 BALTIMORE STREET

CUMBERLAND MARYLAND 21502 ALLEGANY COUNTY

MHT Project No.:

2017-184

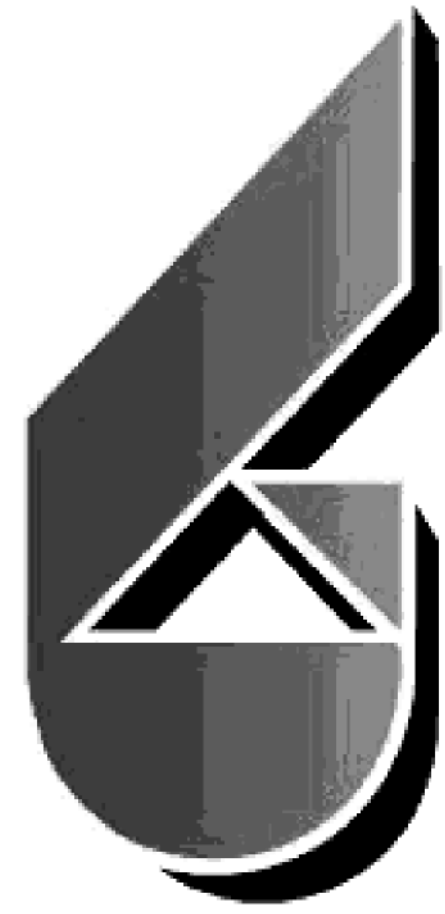
- PERMIT SET -

For:

TOWN CENTER DEVELOPMENT GROUP LLC

841 WINDSOR ROAD

CUMBERLAND MARYLAND 21502



CHANNEY ARCHITECTS, INC.

DESIGN • PLANNING • CONSTRUCTION MANAGEMENT

115 Baltimore Street • Suite 201 • Cumberland • Maryland • 21502
301.777.1335 • chaney808@yahoo.com

LIST OF DRAWINGS:

- G-001 COVER SHEET
- G-002 GENERAL NOTES & GRAPHICAL SHEET
- A-010 LIFE SAFETY PLAN
- A-011 CODE DATA SHEET
- A-100 EXISTING DEMO & PROPOSED FLOOR PLANS
- A-200 EXTERIOR ELEVATIONS & ROOF PLAN

NOTICES:

WAIVER NOTICE:
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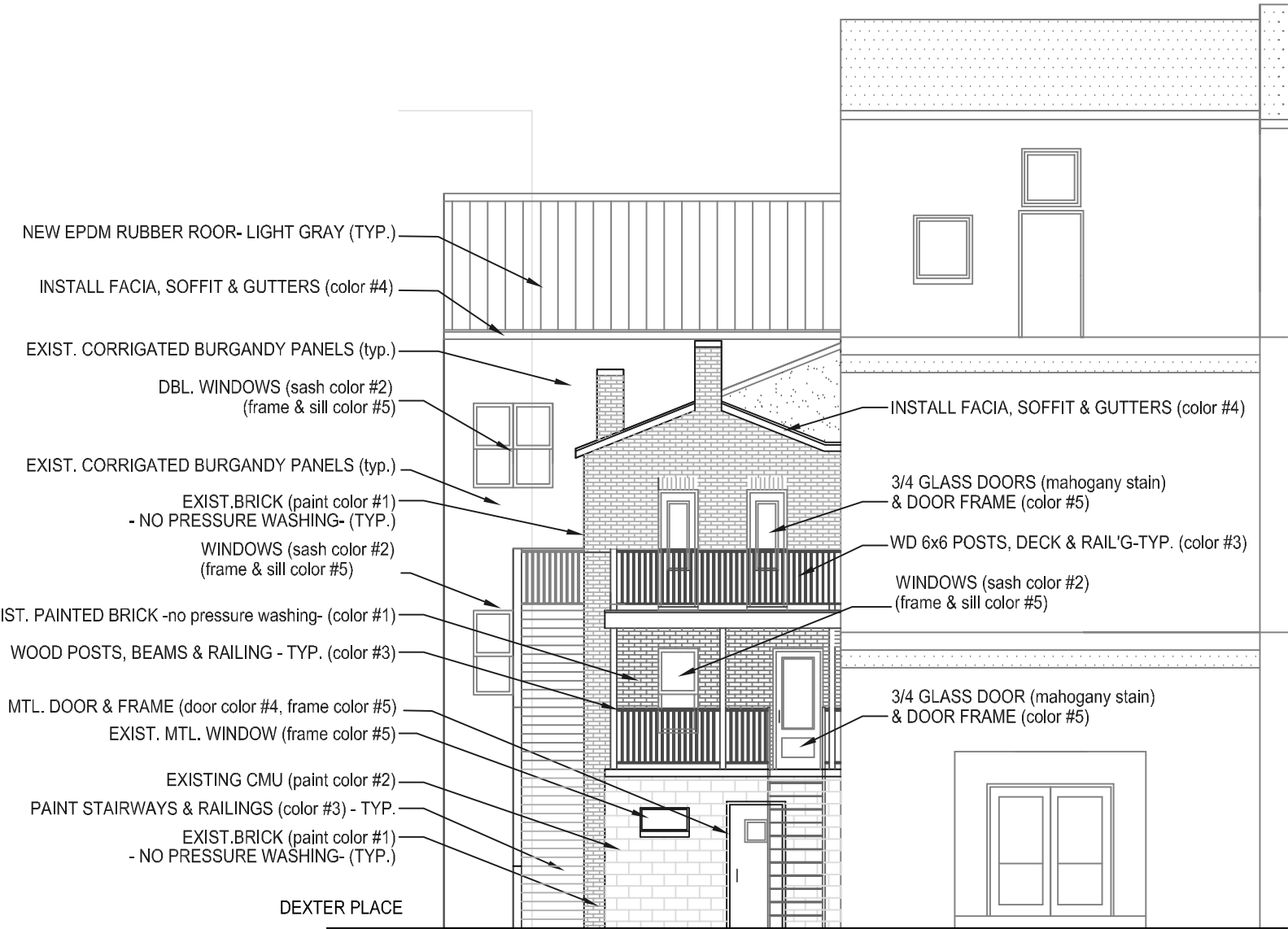


DOCUMENT FUNCTION:

- PERMIT SET -

TITLE SHEET
MARCH 25, 2020
SET NO.:

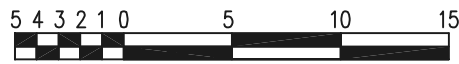
SHEET NO.: G-001
CAI PROJECT #: 16108
PAGE: 1 of



111/113 BALTIMORE STREET



Rear Elevation



107-109 BALTIMORE STREET

PERMIT NO. COA20-000001

CERTIFICATE OF APPROPRIATENESS

See attached for information which may be requested by the Historic Preservation Commission, as deemed necessary.

LOCATION: 107 BALTIMORE ST
OWNER: TOWN CENTER DEV GROUP LLC
APPLICANT _____
Larry Jackson
841 Windsor Rd.
Cumberland, MD 21502

File Date: 08/05/2020

Work Description: 107 Baltimore st Renovation

Description	Total Cost
Certificate of Appropriateness Review Fee	30.00
Proposed Work: 107 Baltimore st Renovation	TOTAL AMOUNT: 30.00

Subject: However to revocation by the HPC in the case the afore named construction is not in compliance with the requirements of the City Ordinance related to Historic Preservation, especially Ordinance No. 3208. H.P.C Chairman _____ H.P.C Secretary _____ statement: I hereby agree to comply with all regulations which are applicable hereto, and further agree that the proposed work shall be faithfully carried out as described on this request and as shown on the plans accompanying same, and not otherwise. This application hereby expires six months following the file date if no action is taken to start specific work. Also, this application will expire six months following the file date if the applicant fails to provide additional information as requested by the HPC or its staff in order for the Commission to render a decision. Signed _____



DEPARTMENT OF COMMUNITY DEVELOPMENT
57 N. LIBERTY STREET, CUMBERLAND, MD 21502 • PHONE 301-759-6442 • FAX 301-759-6432 • TDD 800-735-2258
www.cumberlandmd.gov

CERTIFICATE OF APPROPRIATENESS PERMIT APPLICATION

For ALL exterior changes to a structure (including painting), design and maintenance issues within the City's preservation District. Including but not limited to additions, alterations, awnings, entrances and doors, painting porches, fences, siding, signage, window replacement, demolition, and new construction.

Project Location _____ Tax ID # _____ - _____

The Tax ID # can be found on your deed or by visiting www.dat.state.md.us / Real Property / Real Property Search. When construction is being done and several property account numbers are involved, permit must fall under account of the main structure referencing other accounts (or a separate permit will be required per each property record). It will be necessary to contact the state of Maryland assessment Office, 112 Baltimore Street, Gateway Center, 301-777-2133, prior to applying for permit in order to obtain documentation required for the new Tax Account.

Application Date _____

Application Name _____ Phone _____

Fax _____ Email _____

Contractor Name _____ Phone _____

Address _____

Email _____

Summarized Description of Project _____

COA #

Attach a full written scope of work

Attach photographs of the site and structure

- Include:
- Facade Elevations
 - Sample of Proposed Materials
 - Scaled Drawings
 - Digital Renderings, when available
 - Color Scheme/Paint Chips
 - Manufacturer's Cut-Sheets or Product Specifications

Provide one (1) complete original copy of all supplementary materials

Pay 1 non-refundable Certificate of Appropriateness review fee of \$30.00 - payable at time of application.

Apply for relevant Building and Occupancy Permits through the City (*fees apply*)

The HPC meets the second Wednesday of each month and complete applications are due the first Wednesday of each month before 4:00 p.m. You (or a representative) are required to attend the meeting scheduled for your COA review.

Preservation Guidelines (*updated 1/1/16*) can be found on the city of Cumberland website at www.cumberlandmd.gov.

Do not begin work until written approval is received from the Community Development programs manager. If the project requires additional building or occupancy permits, all applicable permits must all be approved. An Occupancy, Building, or Sign permit application may be required for this application and approval to be considered complete. Those permits are approved by the Code Compliance Manager or designated representative.

8/6/2020

Permit Detail



Photo:
Aug 05, 2020



2020



City of Cumberland File Photo



Rear Façade (Source – Google Earth Maps)

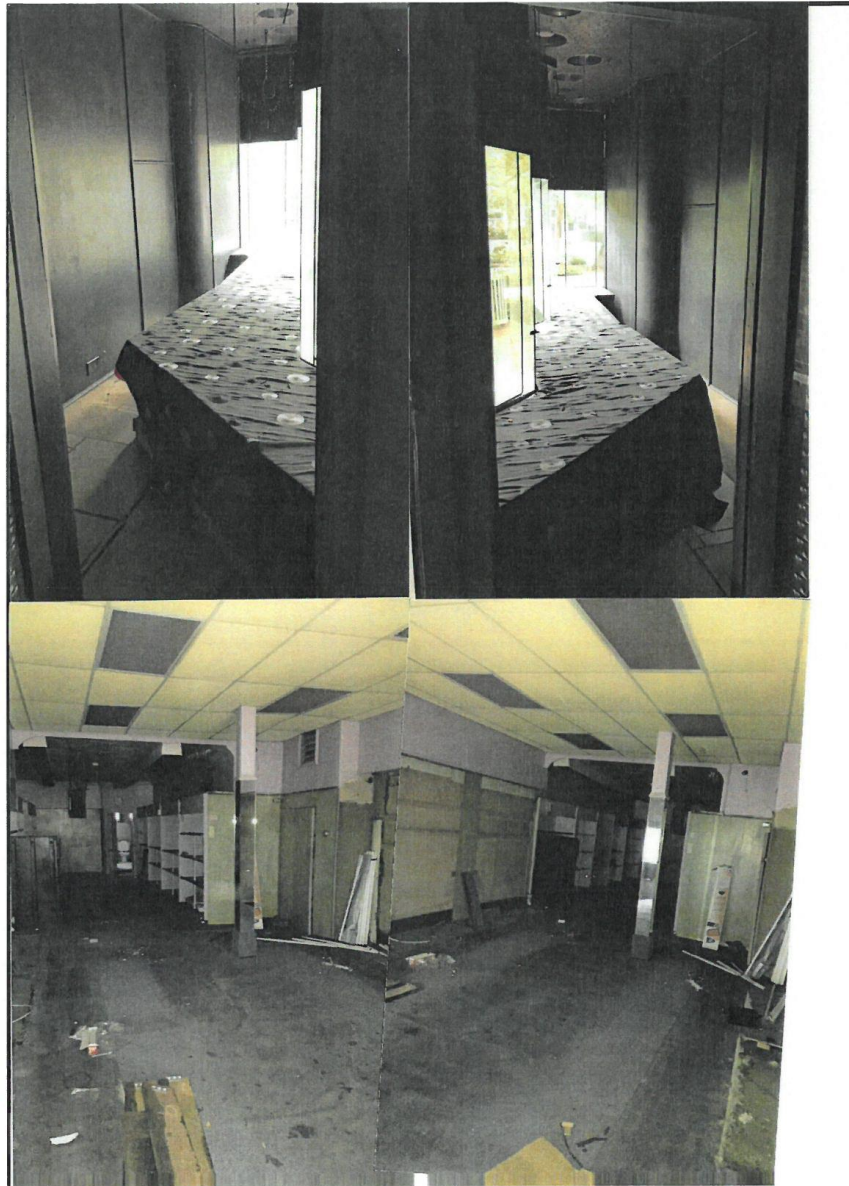


Photo:
Aug 05, 2020

8/6/2020

Permit Detail



Photo:
Aug 05, 2020

8/6/2020

Permit Detail

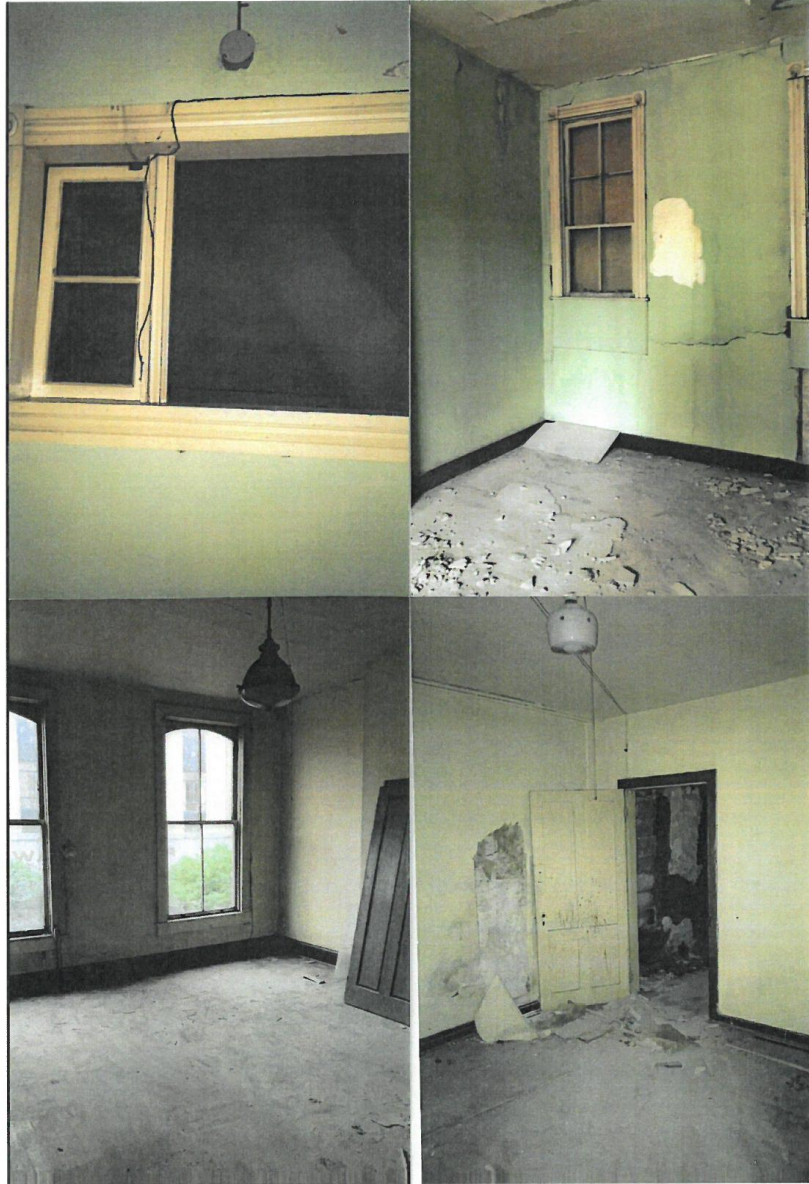


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Aug 05, 2020



Photo:
Aug 05, 2020



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Aug 05, 2020



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Aug 05, 2020

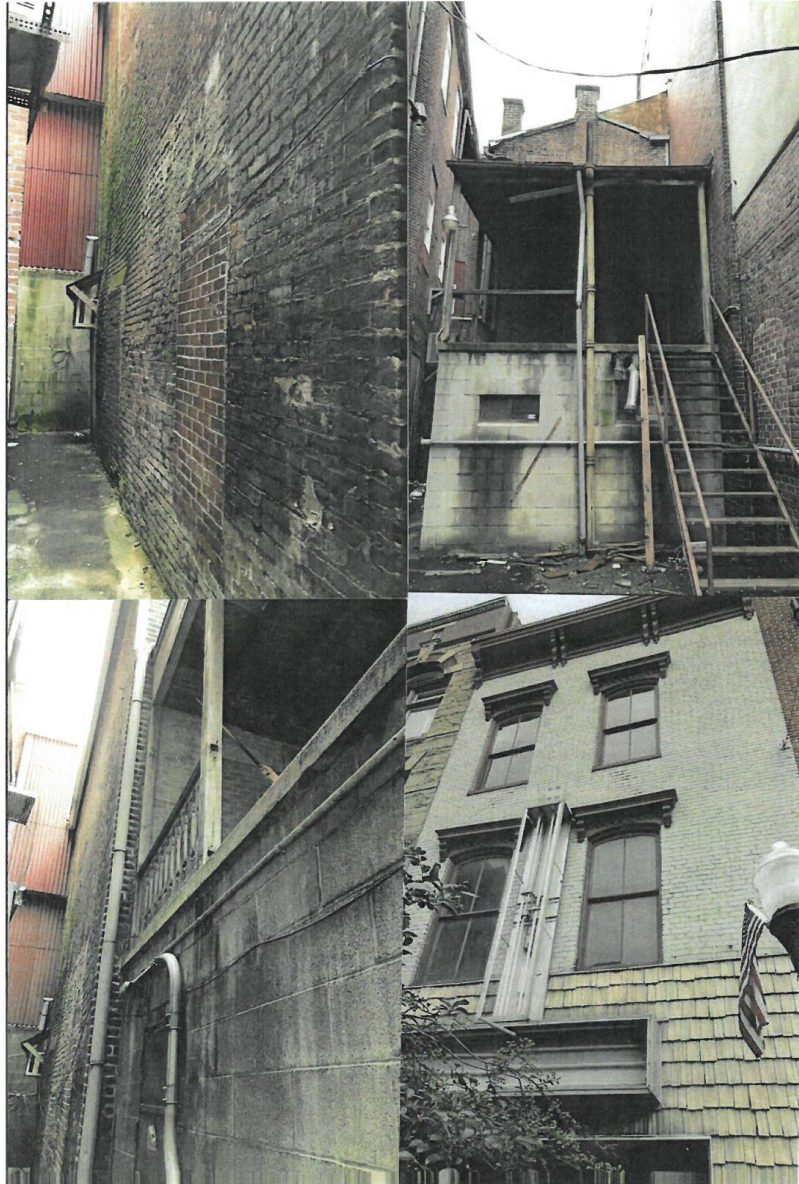


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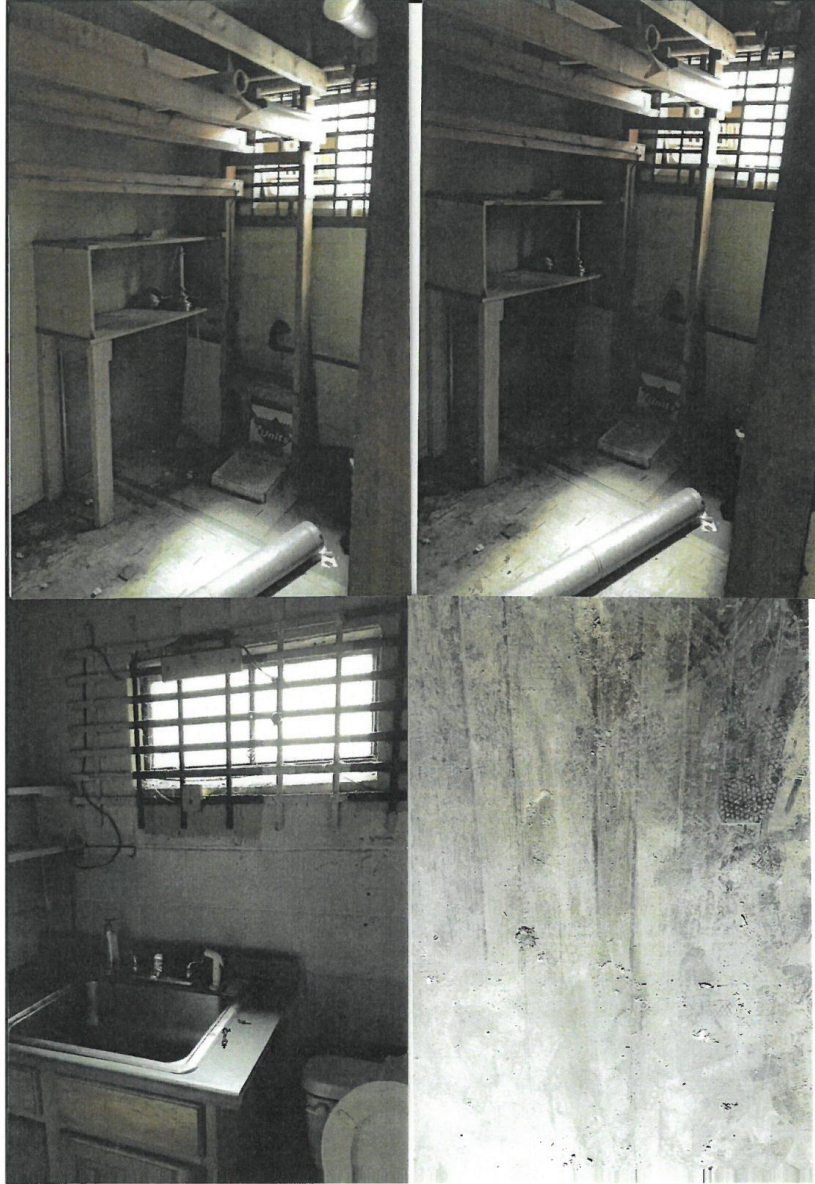


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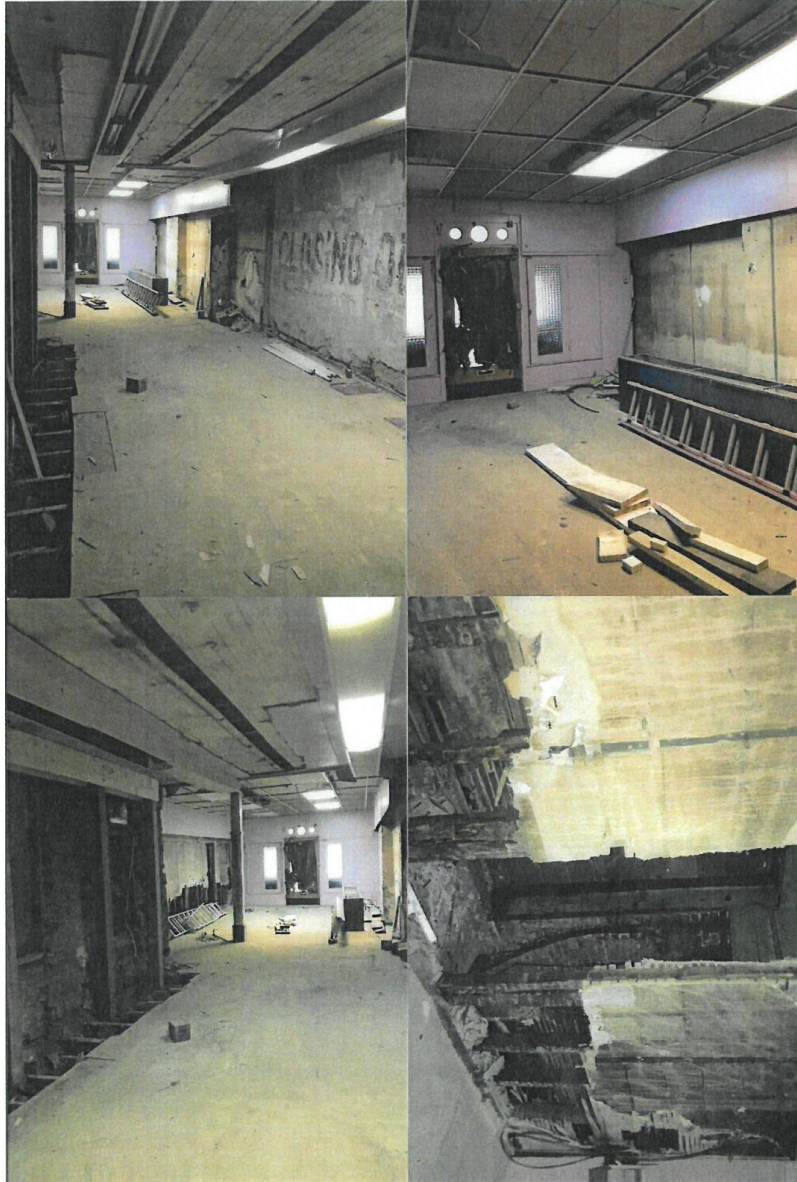


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8/6/2020

Permit Detail



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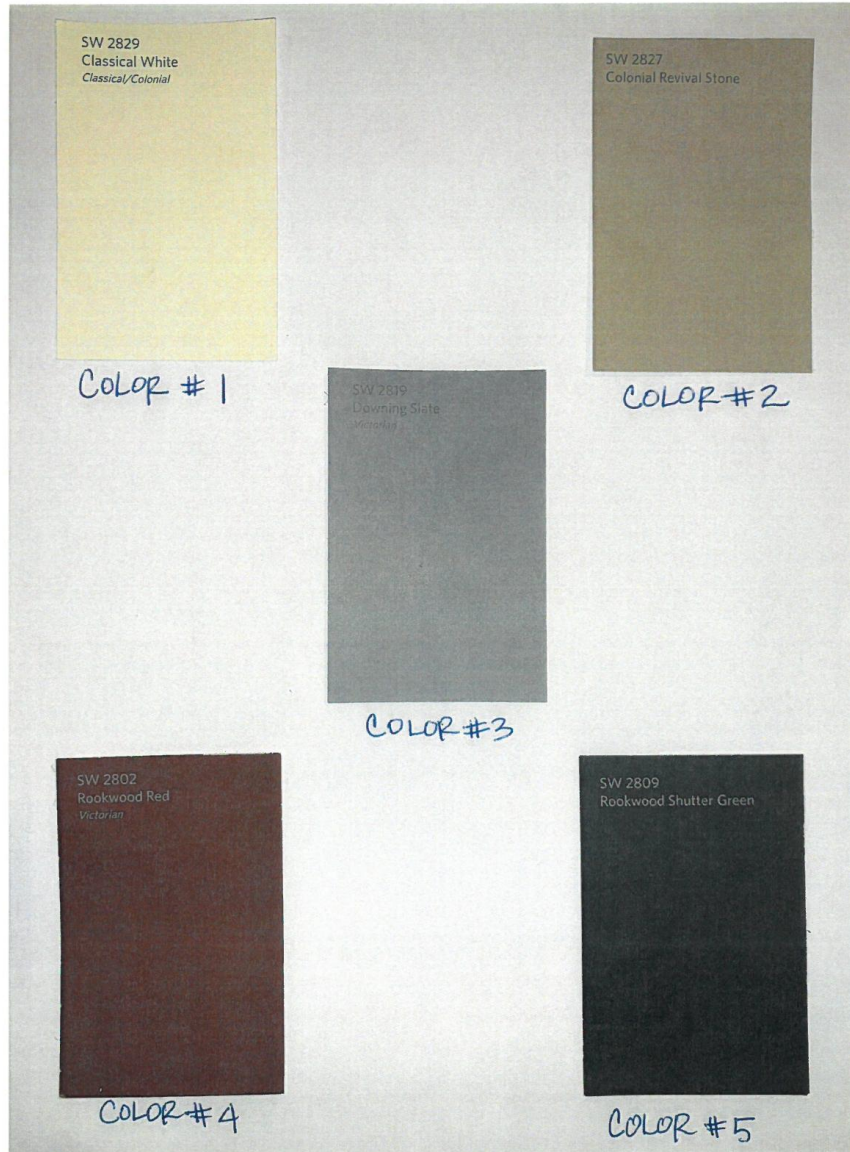


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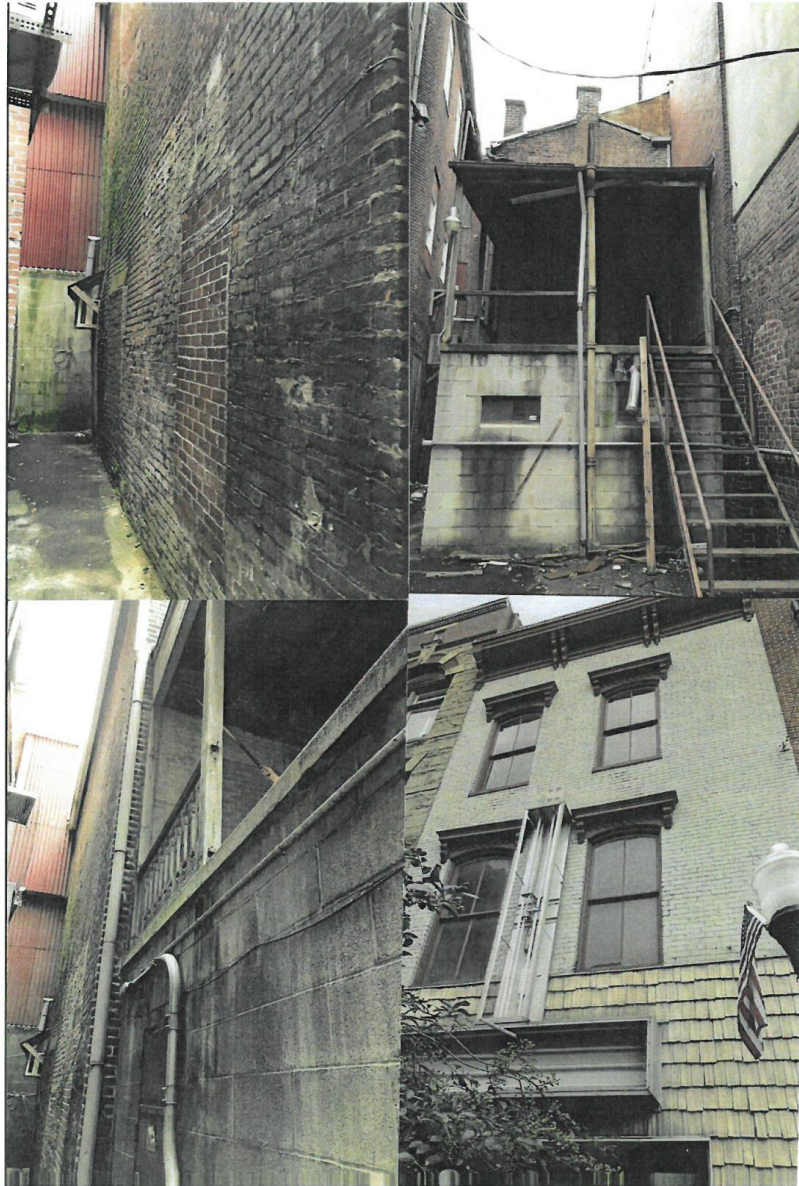


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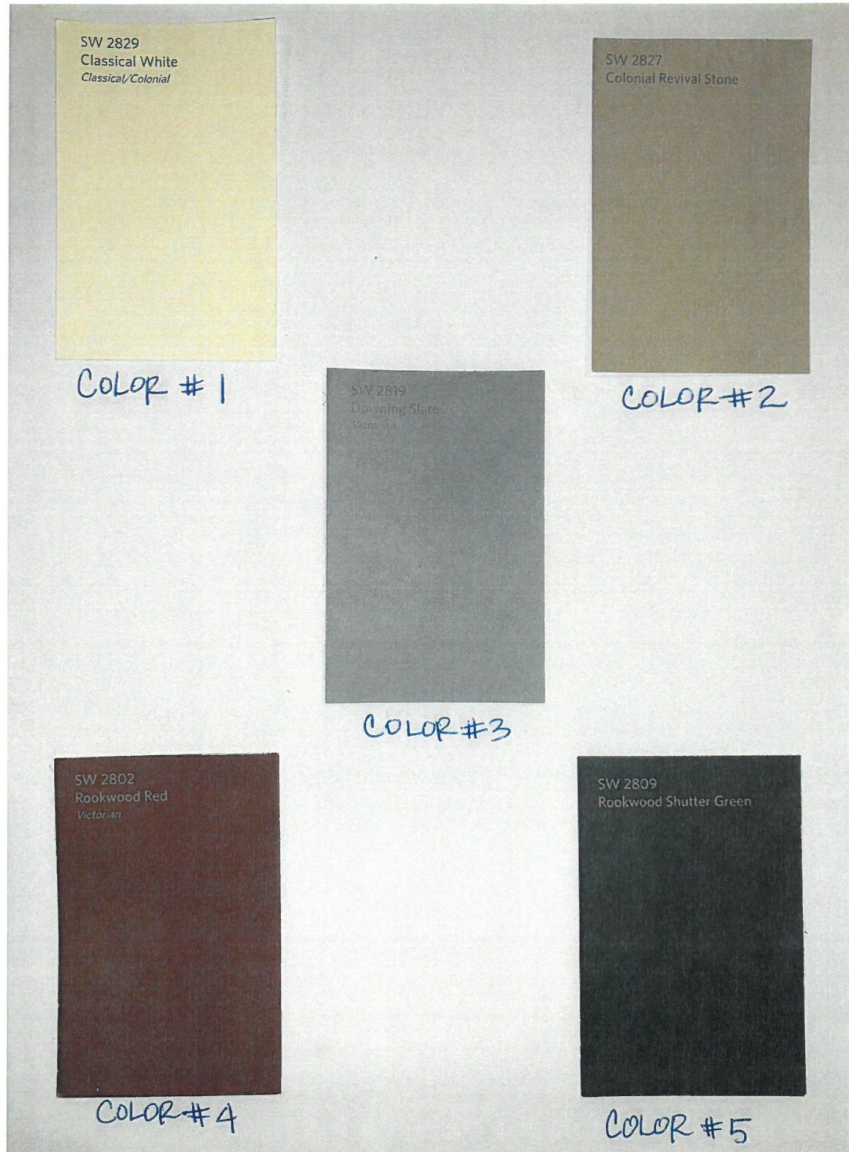


Photo:
Aug 05, 2020

8/6/2020

Permit Detail



City of Cumberland

Department of Community Development • 57 N. Liberty Street • Cumberland, MD 21502 • www.cumberlandmd.gov
301-759-6431 • Fax 301-759-6432 • kathy.mckenney@cumberlandmd.gov

Administrative Review HP Commission Review

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Application Date 7-31-20 COA #

Applicant Name Town Center Development Group Phone 301-876-1472

Address 841 Windsor Rd. Cumberland, MD 21502

Fax NA Email towncenterdevelopmentgroup@yahoo.com

Contractor Name Chaney Construction Mgmt. Phone 301-876-1472

Address 1028 Richmond Ave. Cumberland, MD 21502

Email Chaney808@yahoo.com

Summarized Description of Project - See attached narrative -

Attach a full written scope of work

Attach photographs of the site and structure

- Include: Façade Elevations
Sample of Proposed Materials
Scaled Drawings
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The existing building consists of a small rectangular shaped three story brick historic building with original double hung windows and exterior trim on the upper floors of the front façade, including the original wood cornice. The original first floor front facade does not exist. An attempt to "modernize" its entry consists of vinyl/resin imitation wood shake siding and a stepped back storefront showcase window system. The building has a partial crawl space and the original stairway system exists from first floor to second floor and on up to the third floor. The building has been expanded in the past with what appears to be perhaps two rear additions at some point. A rear covered porch exists on the second floor and is also in poor condition.

Roof System:

The existing gable and sloped metal roof system is in good to poor condition including the roof flashing, parapets, drainage, and roof top systems. The existing rear covered porch roof is failing and is in dire need of repair. Noticeable roof leaks and interior exterior wall moisture along with some ceiling damage exists on the upper two floors. Immediate roof and roof flashing repair work is necessary to save, properly protect and preserve this historic building. Additional new roof work including installing new plumbing stacks and vent penetrations through the existing roof and their associated boots and flashing will be required with the upper floor apartment systems.

Structural:

The existing building structure consists of load bearing masonry face brick double/triple width exterior walls with plaster interior coating. The primary structural system consists of wood floor joists, wood stud/lathe and plaster walls, wood trusses and wood decking including a partial crawl space. Interior masonry walls exist due to the additions to the rear of the building. However, they appear to be in good condition. The existing integrity of the systems appear to be in good working order. No new work is anticipated on any floor or area other than minor work as may be required for any reconfiguration for the second floor apartment and third floor apartment unit.

Windows, Doors and Exterior Facades:

The existing upper story double hung windows, doors, brick facades and exterior systems and conditions are in good to poor condition. Some original window openings have been bricked in on the west side and rear of the building.

Electrical:

The existing electrical service, systems and equipment - in general - are in working order but appear to be the original system from when the building was initially built. No new work is proposed to the systems or on first floor. New service feed, wiring, electrical panels, fixtures and equipment will be installed for the second floor apartment and the third floor apartment unit. Including new power outlets, meters, lighting and switches as required and per building code.

Fire, Health & Safety, Code Compliance:

This Project will involve installing a fully automatic NFPA regulated sprinkler system and controls throughout the entire building as required by building codes for a mixed use building including residential occupancy on the second and third floor. Emergency and exit lights on first floor are dated and need to be replaced. New ones will be installed as required on second and third floor for the apartments as well as hard-wired smoke detectors and alarm systems as required by code.

Building Review Summary:

The existing historic building is a quaint yet uniquely configured residential/light commercial scale building in the heart of downtown. Its general 'bones' are fairly good but the building is "tired" and is in need of attention before it is too late and becomes too costly to repair and restore. The upper two floors have noticeably been left neglected. It appears no real or major improvements or maintenance have occurred in many, many decades - if at all. The upper two floors are totally underutilized and are in poor condition and in need of attention.

DETAILED PLANS REGARDING EXTERIOR

Architectural feature: Building facade 1st floor

Existing feature and its condition: Store front window most likely installed in the pre-war II era, not original. Other areas around covered in shingles in about 1980. Generally rundown condition. Original side door to steps covered over. Most original façade features completely destroyed.

Work and impact on existing feature: Retain existing storefront glass and remove shingles. Will retain and re-use existing wooden door. Restore covered transom window that still exists above the side stairwell entrance. Install missing door (its plywood now). Paint existing brick to match the rest of the painted brick they will be re-painted in a historic color palette. Existing horizontal sign to remain.

Architectural feature: Building facade 2nd and 3rd floors

Existing feature and its condition: Original Hard pressed red brick and mortar with carved wood accents and detail over windows and cornice, in good condition. 1950's metal sign frame in middle of façade. No impact except to preserve original features.

Work and impact on existing feature: Scrape, prime and paint and repair any wooden decorative pieces as needed. Repaint brick. Façade in good shape.

Architectural feature: Façade cornice - front

Existing feature and its condition: Original wooden façade still in place. Good condition.

Work and impact on existing feature: Scrape, prime and paint and repair any sections as needed

Architectural feature: Façade windows - 2nd floor/3rd floor

Existing feature and its condition: Original two over two double hung windows with single pane glass. Wood above windows in good condition. All glass is in good shape but missing glazing. Wood frames and sashes in fair condition.

Work and impact on existing feature: All windows to be caulked, re-glazed and rebuilt as needed to match original condition. Replace missing wood sills as required. Replace missing wood dentals to match existing dentals. Scrape, prime and paint all wood windows and transoms with a historic color palette. Scrape and clean glass.

Architectural feature: Sloped shed roof - 3rd floor – not in view shed

Existing feature and its condition: Rubber membrane shed roof with metal roof panels on top. Roof and flashing in poor condition. Missing lap sealant at seams. Coping is cracking in some areas. Metal gutter and downspout in poor condition. Leaking and damaged areas.

Work and impact on existing feature: Install new rubber roof. Seal all rubber lap seams per manufacturer recommendation. Attach and reseal flashing as required. Replace coping as required. Replace gutter and down spout. New roof will preserve building.

Architectural feature: Sloped shed roof - rear of 2nd floor – not in view shed

Existing feature and its condition: Metal roof and flashing with metal gutter and downspout in poor condition and leaking at perimeter areas.

Work and impact on existing feature: Replace roof and flashing with rubber membrane roof. Replace metal gutter and downspout. New roof will protect building.

Architectural feature: Flat roof – porch roof

Existing feature and its condition: rubber membrane roof over plywood. System is completely failing and in horrible condition.

Describe work and impact on existing feature: new roof with new sub-roof installed and new membrane roof installed over that.

Architectural feature: Rear facade - 1st floor

Existing feature and its condition: Concrete block. Two basement type windows. Metal stairs leading from 2nd floor porch. All in very poor condition.

Work and impact on existing feature: remove abandoned furnace vent pipe and other abandoned pipes. Scrape and repaint metal steps. Paint concrete block.

Architectural feature: Rear facade -2nd floor, 3rd floor

Describe the existing feature and its condition: 2nd floor: 1960's Original brick wall with attached porch over first floor concrete roof. In very poor condition. Most of the porch railing is missing. What is left is probably not original, but installed when the first floor bump out edition was completed. Ceiling of porch consists of exposed structure beams Roof above consists of deteriorated plywood. 3rd floor: unpainted original brick.

Work and impact on existing feature: 2nd floor: re-paint brick to preserve. Add plain safety railing (will NOT put decorative railing in to avoid any confusion that it would be original). Replace rotted wood in the ceiling of the porch when fixing the porch roof leaving original exposed beams. 3rd floor: re-point brick as needed. No change.

AN HISTORIC REHABILITATION OF THE FORMER:

Morton's Jewelry Building

ADAPTIVE REUSE - UPPER STORY APARTMENTS

107-109 BALTIMORE STREET

CUMBERLAND MARYLAND 21502 ALLEGANY COUNTY

MHT Project No.:
2017-184

- PERMIT SET -

For:

TOWN CENTER DEVELOPMENT GROUP LLC
841 WINDSOR ROAD
CUMBERLAND MARYLAND 21502



CHANNEY ARCHITECTS, INC.

DESIGN • PLANNING • CONSTRUCTION MANAGEMENT

115 Baltimore Street • Suite 201 • Cumberland • Maryland • 21502
301.777.1335 • chaney@chaneyarch.com

LIST OF DRAWINGS:

- G-001 COVER SHEET
- A-001 GENERAL NOTES
- A-010 LIFE SAFETY PLAN
- A-011 CODE DATA SHEET
- A-200 PROPOSED FLOOR PLANS
- A-200 EXISTING ELEVATIONS & ROOF PLAN

NOTICES:

CONTRACTOR'S NOTICE

THIS CONTRACTOR HAS REVIEWED THE PERMIT SET AND HAS FOUND IT TO BE COMPLETE AND ACCURATE. THE CONTRACTOR HAS NO OBJECTIONS TO THE PERMIT SET AND IS WILLING TO PROCEED WITH THE PROJECT.

DATE: 05/15/2017

CONTRACTOR: TOWN CENTER DEVELOPMENT GROUP LLC

PROJECT: ADAPTIVE REUSE - UPPER STORY APARTMENTS

ADDRESS: 107-109 BALTIMORE STREET, CUMBERLAND, MD 21502

PERMIT NO.: 2017-184

SEAL: [Signature]

SEALS:

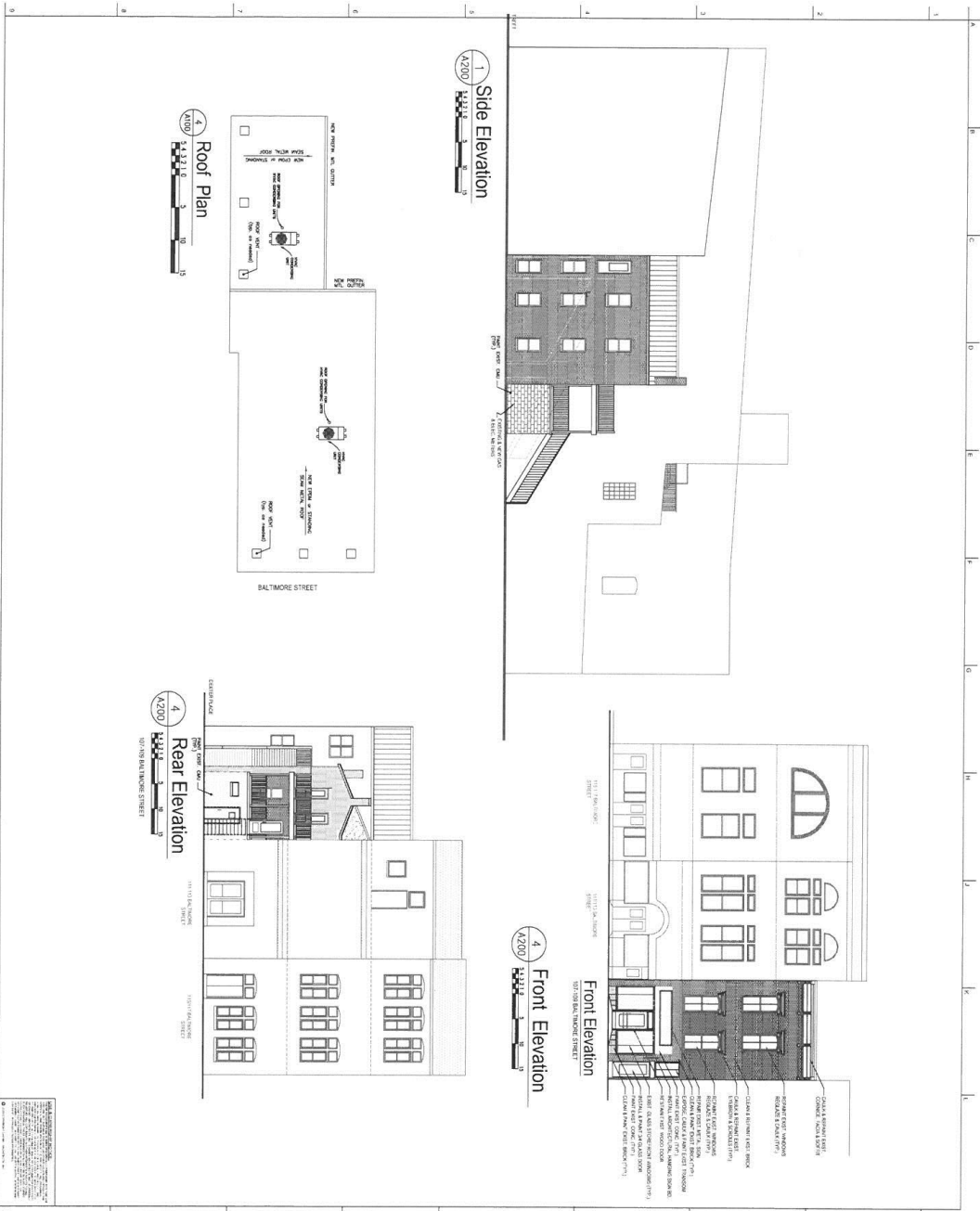


DOCUMENT FUNCTION:

TITLE SHEET
WMO-02-300

- PERMIT SET -

SHEET NO. 001
CA PROJECT # 1618
PAGE 1 of 1



AN HISTORIC REHABILITATION OF THE FORMER
MORTON'S JEWELRY BUILDING
 ADAPTIVE REUSE & UPPER FLOOR APARTMENTS
 107-109 BALTIMORE STREET
 CUMBERLAND MARYLAND 21502

CLIENT
First Capital Development Group LLC
 10000 WOODBURN DRIVE
 CUMBERLAND MD 21502
 410.777.1188

DATE
 02/15/2018

ADAPTIVE REUSE &
 REDEVELOPMENT



CHANAY ARCHITECTS, INC.
 10000 WOODBURN DRIVE
 CUMBERLAND MD 21502
 410.777.1188



OWNER
 CHANEY ARCHITECTS, INC. 10000 WOODBURN DRIVE
 CUMBERLAND MD 21502

DATE
 02/15/2018

SCALE
 DATE
 02/15/2018

PROJECT NAME
 ADAPTIVE REUSE & UPPER FLOOR APARTMENTS
 107-109 BALTIMORE STREET
 CUMBERLAND MD 21502

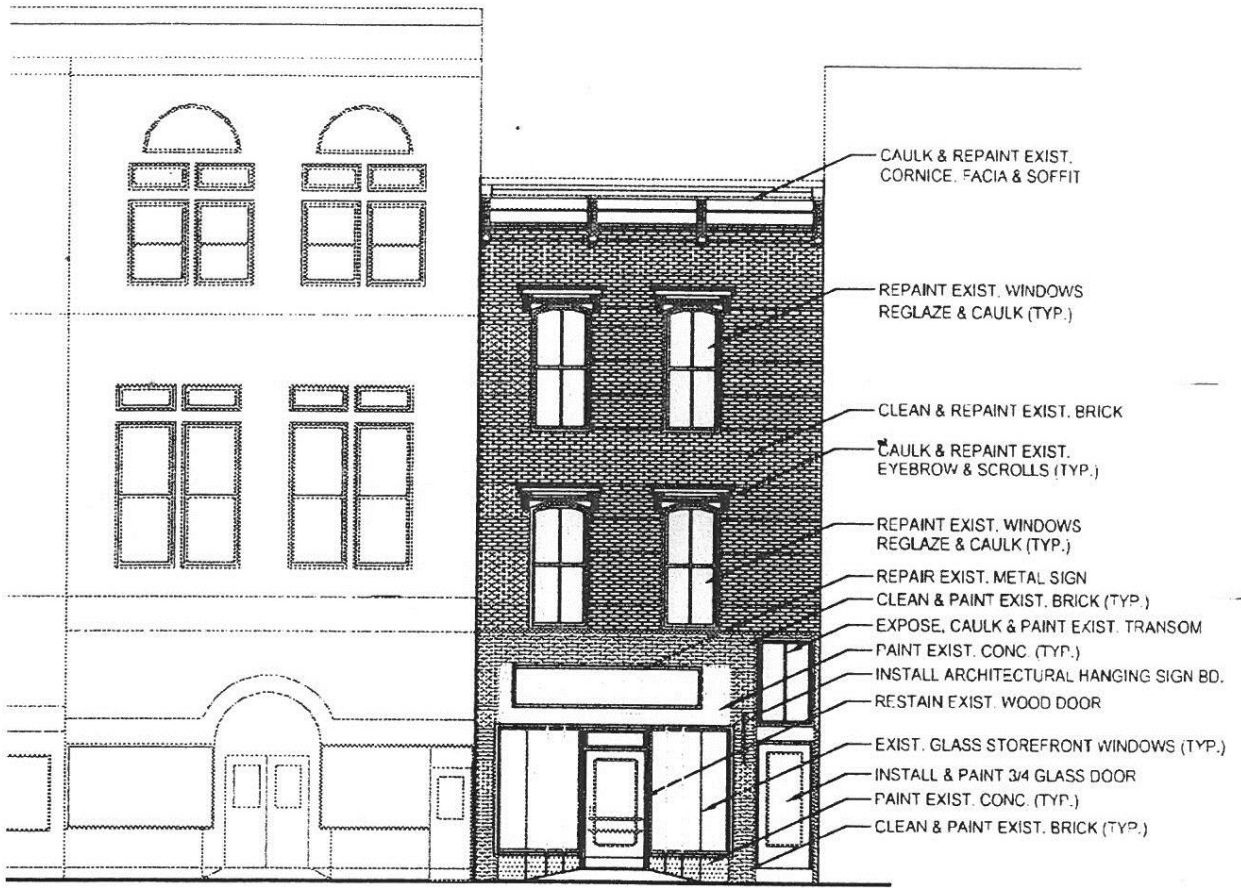
SHEET TITLE
 EXTERIOR ELEVATIONS

A-200

J

K

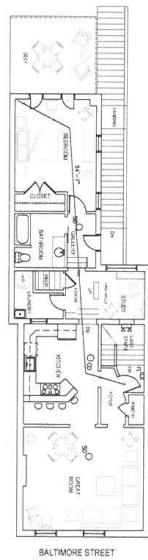
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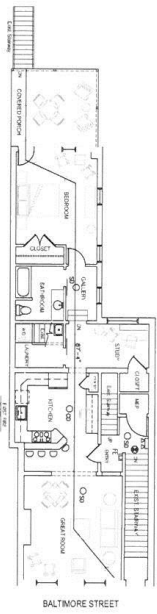
111-113 BALTIMORE STREET

Front Elevation

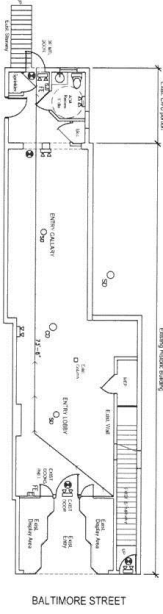
107-109 BALTIMORE STREET



3 3rd Floor Life Safety Plan



2 2nd Floor Life Safety Plan



1 1st Floor Life Safety Plan

LEGEND

--- 10' MINIMUM CALCULATED DISTANCE	● ILLUMINATED EXIT SIGN
--- 118" FIRE RATED WALL	○ CARBON MONOXIDE DETECTOR
□ BATTERY PACK	○ SMOKE DETECTOR
□ FIRE EXTINGUISHER	○ EMERGENCY LIGHT

NOTES:

1. ALL EXITS SHALL BE KEPT UNOCCUPIED FROM THE GROSS SIZE, WITHOUT THE USE OF A KEY, SPECIFIC TO THE BUILDING.
2. ALL EXITS SHALL BE KEPT UNOCCUPIED FROM THE GROSS SIZE, WITHOUT THE USE OF A KEY, SPECIFIC TO THE BUILDING.
3. ALL EXITS SHALL BE KEPT UNOCCUPIED FROM THE GROSS SIZE, WITHOUT THE USE OF A KEY, SPECIFIC TO THE BUILDING.
4. ALL EXITS SHALL BE KEPT UNOCCUPIED FROM THE GROSS SIZE, WITHOUT THE USE OF A KEY, SPECIFIC TO THE BUILDING.
5. ALL EXITS SHALL BE KEPT UNOCCUPIED FROM THE GROSS SIZE, WITHOUT THE USE OF A KEY, SPECIFIC TO THE BUILDING.
6. APPROVED PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH NFPA STANDARDS TO PROTECT LIFE SAFETY.
7. APPROVED PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH NFPA STANDARDS TO PROTECT LIFE SAFETY.
8. APPROVED PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH NFPA STANDARDS TO PROTECT LIFE SAFETY.
9. APPROVED PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH NFPA STANDARDS TO PROTECT LIFE SAFETY.
10. APPROVED PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH NFPA STANDARDS TO PROTECT LIFE SAFETY.

AN HISTORIC REHABILITATION OF THE FORMER:
MORTON'S JEWELRY BUILDING
 ADAPTIVE REUSE & UPPER FLOOR APARTMENTS
 107-109 BALTIMORE STREET
 CUMBERLAND MARYLAND 21502

CLIENT
 Tower Capital Development Group LLC
 107-109 Baltimore Street
 Cumberland MD 21502

DATE
 Adaptive Reuse &
 Redevelopment

CHANEY ARCHITECTS, INC.
 107-109 BALTIMORE STREET
 CUMBERLAND MARYLAND 21502
 410.321.1234
 www.chaneyarchitects.com



DATE: 12/15/2017
 PROJECT NAME: PRESERVATION
 SHEET TITLE: LIFE SAFETY PLAN
 SCALE: AS SHOWN
 DRAWING NO: A-010

A-010

AN HISTORIC REHABILITATION OF THE FORMER:
MORTON'S JEWELRY BUILDING
 ADAPTIVE REUSE & UPPER FLOOR APARTMENTS
 107-109 BALTIMORE STREET
 CUMBERLAND MARYLAND 21502

CLIENT:
 Team Capital Development Group
 2000 North Street
 Cumberland MD 21502

DATE:
 3/28/2018

PROJECT NAME:
 Adaptive Reuse & Redevelopment



SCALE:
 AS NOTED 3/28/2018 1811

PROJECT NAME: PRINTING

DATE: 2018.04.04

PROJECT NUMBER: 2018.044

DATE: 2018.04.04

SHEET TITLE:
CODE DATA SHEET

SCALE: AS NOTED 3/28/2018 1811

PROJECT NAME: PRINTING

DATE: 2018.04.04

PROJECT NUMBER: 2018.044

DATE: 2018.04.04

CODE DATA:

PROJECT NAME AND LOCATION:
 INTERNATIONAL BUILDING CODE 2015 EDITION W/ THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
 BUILDING CENTER VESTIBULE
 107-109 BALTIMORE STREET
 CUMBERLAND, MD 21502
 ALLEGANY COUNTY

APPLICABLE CODES:
 INTERNATIONAL BUILDING CODE 2015 EDITION W/ THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
 EICC 2015 - INTERNATIONAL ENERGY CONSERVATION CODE 2015 (REF: COMA 05.02.01)
 MARYLAND STATE FIRE PREVENTION CODE
 SAFETY AND ANTI-CORROSION CODE 2015 (REF: COMA 05.02.02)
 SUBTITLE 4, ANNOTATED CODE OF MARYLAND (REF: COMA 05.02.01) IN ADDITION TO THE DEPARTMENT OF
 NATIONAL ELECTRICAL CODE 2011 (REF: COMA 05.02.01) PUBLIC SAFETY ARTICLE 12, SUBTITLE 6,
 INTERNATIONAL MECHANICAL CODE 2012 WITH AMENDATIONS (REF: COMA 05.02.02), BUSINESS REGULATION
 NATIONAL STANDARD PLUMBING CODE 2012 SUBMITTED WITH AMENDATIONS, 2007 SUPPLEMENT TO 2006
 NATIONAL STANDARD MECHANICAL CODE 2012 (REF: COMA 05.02.01) BUSINESS REGULATION ARTICLE 12, ANNOTATED CODE OF MARYLAND (EFFECTIVE MAY 13, 2013)

BUILDING USE AND CONSTRUCTION CLASSIFICATIONS:

USE GROUP: **B-2** (BUSINESS) W/ ROOM B (OFFICE)
 TYPE: 90 (GENERAL BLDG. UNPROTECTED)
 ALLOWABLE BUILDING HEIGHT: 2 STORES + 40' (TABLE 502) (ALLOWABLE BLDG. HEIGHT EXCEPT SECTION 504.2) (TABLE 503) R-4
 ALLOWABLE GROSS BUILDING AREA PER FLOOR: 7,000 GROSS SQ FT - SECOND FLOOR
 ACTUAL BUILDING AREA PER GROSS FLOOR: 1,159 GROSS SQ FT - SECOND FLOOR
 3,159 GROSS SQ FT - 1ST FLOOR

OCCUPANCY LOADS

LOCATION	AREA IN SQ FT	OCCUPANT	LOAD	REMARKS
RESIDENTIAL R-2 (SECOND FLOOR)	1,159	RESIDENTIAL	12 N/A	
RESIDENTIAL R-2 (FIRST FLOOR)	3,159	RESIDENTIAL	12 N/A	

MINIMUM PASSAGE WIDTH REQUIREMENTS:

MINIMUM PASSAGE WIDTH	REMARKS
3'-0" (44" CLEAR (IRC 2015))	100% OF CLEARANCE
NO	100% OF CLEARANCE

EMERGENCY LIGHTING REQUIREMENTS:

REQUIREMENTS	REMARKS
YES	100% OF CLEARANCE
NO	100% OF CLEARANCE

EMERGENCY LIGHTING REQUIREMENTS:

REQUIREMENTS	REMARKS
YES	100% OF CLEARANCE
NO	100% OF CLEARANCE

EMERGENCY LIGHTING REQUIREMENTS:

REQUIREMENTS	REMARKS
YES	100% OF CLEARANCE
NO	100% OF CLEARANCE



HISTORIC PRESERVATION CERTIFICATION APPLICATION
STATE HISTORIC PRESERVATION OFFICE
REVIEW & RECOMMENDATION SHEET
SIGNIFICANCE - PART 1



#2617-184

SECTION 1. APPLICATION INFORMATION PROJECT NUMBER

Property Name Morton's Jewelry Building

Property Address 107 Baltimore Street, Cumberland, MD 21502

Historic District or National Register Property Downtown Cumberland Historic District

National Register District Certified State or Local District

Property with multiple buildings, including individually-listed properties and properties in a historic district (see Section 6)

Date application received by SHPO 8/22/17

Date(s) additional information requested by SHPO _____

Date complete information received by SHPO _____

Date of transmittal to NPS 7/8/2020

Property visited by SHPO staff (date) 10/17/17

Preliminary (date) _____

SHPO REVIEW SUMMARY

No outstanding concerns

In-depth NPS review requested

SHPO recommendation differs from applicant's request

SHPO recommendation differs from NR documentation on file

Applicant informed of SHPO recommendation

SECTION 2. APPLICATION MATERIALS Photographs Historic District Map Other (list) _____

For properties with more than one building - map or site plan of the entire property and map or site plan of the portion of the property under applicant's ownership or control.

SECTION 3. SHPO RECOMMENDATION

Megan Klem, who meets the Secretary of the Interior's Professional Qualification Standards, has reviewed this application.

- The property contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for the purpose of rehabilitation.
- The property contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes in accordance with the Internal Revenue Code.
- The property does not contribute to the significance of the above-named district.
- Insufficient documentation has been provided to evaluate the property.
- This application is being forwarded without recommendation.

Preliminary Determinations

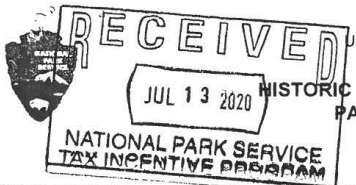
- The property appears to meet the National Register Criteria for Evaluation and will be nominated individually.
- The property does not appear to meet the National Register Criteria for Evaluation and will not be nominated.
- The property appears to contribute to the significance of a:
 - proposed historic district that appears to meet the National Register Criteria for Evaluation and will likely be nominated.
 - registered historic district, but is outside the period(s) or areas of significance as documented in the National Register nomination or district documentation on file with the NPS. The nominated will be amended.
- The property is located in a proposed historic district and:
 - the property does not appear to contribute to the significance of the proposed historic district.
 - the proposed historic district does not appear to meet the National Register Criteria for Evaluation and will not be nominated.

7/8/2020

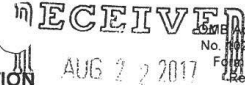
Date

State Historic Preservation Office Signature

This is a review sheet only and does not constitute an official determination of the significance of the property.



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE



Approved
No. 1024-0009
Form 10-168
Rev. 2014

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 - EVALUATION OF SIGNIFICANCE**
2017-184

BY: _____
NPS Project Number
42222

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. Property Name M1

Street 107 Baltimore St.

City Cumberland County Allegany State MD Zip 21502-2301

Name of Historic District Downtown Cumberland Historic District/Canal Place preservation area

National Register district certified state or local district potential district

2. Nature of request (check only one box)

- certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
- certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
- certification that the building does not contribute to the significance of the above-named district.
- preliminary determination for individual listing in the National Register.
- preliminary determination that a building located within a potential historic district contributes to the significance of the district.
- preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Project Contact (if different from applicant)

Name Larry Jackson Company Town Center Development Group LLC

Street 841 Windsor Rd. City Cumberland State MD

Zip 21502-2301 Telephone (301) 268-3971 Email Address towncenterdevelopmentgroup@yahoo.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001 which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Larry Jackson Signature [Signature] Date 07/27/2017

Applicant Entity Limited Liability Company SSN _____ or TIN 52-2232814

Street 841 Windsor Rd. City Cumberland State MD

Zip 21502-2301 Telephone (301) 268-3971 Email Address towncenterdevelopmentgroup@yahoo.com

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Part 1 for the above-named property and has determined that the property:

- contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
- contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
- does not contribute to the significance of the above-named district.

Preliminary Determinations:

- appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
- appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
- appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
- does not appear to qualify as a certified historic structure.

Date 7/27/2017 National Park Service Authorized Signature [Signature]

NPS comments attached



**HISTORIC PRESERVATION CERTIFICATION APPLICATION
STATE HISTORIC PRESERVATION OFFICE
REVIEW & RECOMMENDATION SHEET
REHABILITATION - PART 2 / PART 3**



#2017-184

SECTION 1. APPLICATION INFORMATION

PROJECT NUMBER

Property Name Morton's Jewelry Building

Property Address 107 Baltimore Street, Cumberland, MD 21502

Certified Historic Structure (select one) Yes Pending

Part 2

Preliminary (date) _____

Applying for state tax credit

Part 3 (Part 2 previously reviewed)

Completed rehabilitation work conforms to work previously approved

Completed rehabilitation work differs substantively from work previously approved (describe divergences from Part 2 scope of work in Section 5)

Part 3 (Part 2 not previously reviewed)

Date application received by SHPO 7/22/17

Amendment

Date(s) additional information requested by SHPO 10/4/17, 10/28/17

Advisory determination that a phase meets the Standards

Date complete information received by SHPO 6/26/2020 4/8/2

Property visited by State staff (dates):

Date of transmittal to NPS 7/8/2020

Before 10/17/17, during _____, and/or after _____ rehab.

SHPO REVIEW SUMMARY

No outstanding concerns

In-depth NPS review requested

Applicant informed of SHPO recommendation

SECTION 2. APPLICATION MATERIALS

Sent previously: Photographs Other (list) _____

Attachments: Photographs Rolled plans Flat plans, large size Flat plans, 11" x 17" or smaller Other (list)

Sent separately: Photographs Rolled plans Flat plans, large size Flat plans, 11" x 17" or smaller Other (list)

Documentation remaining on file in SHPO (e.g., masonry repointing samples, specifications) _____

SECTION 3. SHPO RECOMMENDATION

Megan Klein who meets the Secretary of the Interior's Professional Qualification Standards, has reviewed this application.

This rehabilitation work (select only one):

meets the Standards.

meets the Standards with concerns.

meets the Standards *only* if the attached conditions are met (Part 2 only).

does not meet Standard number(s) _____ and for the reasons described in Section 5.

does not meet Standard number(s) _____ as completed, but could be brought into conformance with the Standards if the remedial work recommended in Section 5 is completed (Part 3 only).

warrants denial for lack of information.

is being forwarded without recommendation.

7/8/2020
Date

[Signature]
State Historic Preservation Office Signature

This is a review sheet only and does not constitute an official certification of rehabilitation.

SECTION 4. ISSUES

- | | |
|---|--|
| <input type="checkbox"/> Alteration of significant exterior features or surfaces | <input type="checkbox"/> Alteration, removal, or covering of significant interior features or finishes |
| <input type="checkbox"/> Window replacement | <input type="checkbox"/> Changes in significant interior plan, spaces, or circulation patterns |
| <input type="checkbox"/> Additions, including rooftop | <input type="checkbox"/> Other (explain) _____ |
| <input type="checkbox"/> Extensive site work, adjacent new construction, or demolition of adjacent structures | |

SECTION 5. SHPO EVALUATION

Explain the recommendation and any concerns, particularly issues checked in Section 4. Where denial is recommended, explain fully. For Part 3s, describe any work that differs substantially from the approved work. For Part 3s that do not meet the Standards as completed, describe remedial work, if any, that could enable the project to meet the Standards. Comment on notable aspects of the project, such as technical design innovations or creative solutions.

* See attached conditions.

SECTION 6. NATIONAL PARK SERVICE EVALUATION

Date

National Park Service Signature

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
NATIONAL PARK SERVICE
CONDITIONS**

#2617-184
Property Name Morton's Jewelry Building Project Number _____
Property Address 107 Baltimore Street, Cumberland, MD 21502

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

- See attached conditions pages (2 pages)

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

7/8/2020
Date


State Historic Preservation Office Signature

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.

Date

National Park Service Signature

1. In preparing the exterior of the building for painting, wood features must be cleaned using the gentlest means possible, per Standard #7. Gentle methods using hand-sanding and hand-scraping for paint removal, and a water-based solution with mild detergent and a soft-bristled brush are recommended for historic wood repairs. High-pressure power washing to clean and/or remove paint is not permitted due to the potential for water to become trapped causing damage to historic materials.
2. If all of the existing paint will be removed from the masonry during cleaning, then the masonry should be repainted with a vapor-permeable paint (typically mineral paint / stain). Latex paint is not appropriate for masonry as it creates a coating that does not allow the masonry wall to breathe properly and may lead to further damage. However, if all of the existing masonry paint will not be fully removed prior to repainting, the MHT recommends painting with the same type of paint as the existing as a vapor-permeable paint or stain will not adhere properly to latex paint.
3. The cleaning of masonry must be accomplished using the gentlest means possible without damage to the surface of the masonry, per Standard #7. This work must be accomplished in accordance with the guidance provided in Preservation Brief #1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings. Specification and test sample must be reviewed and approved on an Amendment form by MHT before proceeding with this work. Good-quality overall and close-up photographs of the masonry both before and after cleaning must be submitted with the Part 3: Request for Certification of Completed Work.
4. Historic wood windows must be repaired and restored in accordance with the guidance provided in Preservation Brief #9: The Repair of Historic Wooden Windows.
5. MHT is approving the roof replacement with a rubber membrane material. If another material is to be used, please submit a product specification on an Amendment form for review and approval prior to undertaking the work.
6. The floor plans and elevation drawings submitted with the application show a deck being constructed. However, this work is not included in the Part 2 application narrative for review. If this feature is anticipated to be constructed, please submit a detailed description of work and materials on an Amendment form for review and approval prior to construction of the new deck. (Note – this work is considered new construction and costs are not eligible for the tax credit).
7. The re-pointing mortar must match the color, texture, composition, joint width, and joint profile of the existing mortar. This work must be accomplished in accordance with the guidance provided in Preservation Brief #2: Repointing Mortar Joints in Historic Masonry Buildings. Good-quality before and after photographs of the mortar joints must be submitted with the Part 3: Request for Certification of Completed Work.
8. To ensure compliance with the Standards, please submit a detailed drawing of the proposed 2nd floor safety railing on an Amendment form for review and approval prior to installation.
9. To ensure compliance with the Standards, please submit a lighting layout showing the location of ceiling and wall fixtures and indicate the type of lighting on an Amendment form for review and approval prior to installation. The installation of recessed lighting in plaster ceilings is not appropriate as it results in the removal of historic materials and finishes. In spaces that will retain plaster ceilings, MHT recommends the use of ceiling mount, floor, or table lamps.
10. To ensure compliance with the Standards, please submit the HVAC layout on an Amendment form for review and approval prior to installation. The Part 2 narrative says 'See drawings', but no HVAC drawings were included with the drawings set submitted. The HVAC layout should show the location of equipment, supply vents, returns, bulkheads and chases, or the location of mini-split units. Ductwork must be concealed within closets, attics, basements, crawl spaces, or other secondary spaces. Any new bulkheads or chases to conceal ductwork must not impact existing window and door openings or trim and molding.
11. To ensure compliance with the Standards, please submit the plumbing layout on an Amendment form for review and approval. Plumbing must be concealed within secondary spaces, closets, or chases. The proposed sprinkler system should also be submitted with the plumbing layout and a detailed description of installation included.
12. The existing door between the 2nd floor foyer and Room 7 must be retained in place. The interior (apartment) side may be drywalled to allow for fire rating, but the door, transom, and trim should remain exposed from the foyer (hall) side.

13. Repairs to plaster walls should be done in-kind, per Standard #6. Where plaster is beyond repair, drywall may be patched into areas where damaged plaster has been removed and then skim coated for an even appearance that matches the texture of the historic plaster wall. Drywall must be installed within the existing plane of the plaster so as to not impact historic trim profiles.
14. To ensure compliance with the Standards, please submit product specification sheets for all proposed new interior and exterior doors and any proposed new windows on an Amendment form for review and approval prior to installation.
15. The historic wood flooring remains in many of the second and third floor spaces and is the appropriate floor finish for this historic building, per Standard #6. The following second floor spaces must either be the existing repaired wood floor or replacement wood floor to match the historic: Room 3, Room 4, Room 5, Room 6, Room 7, and Room 8. The following third floor spaces must either be the existing repaired wood floor or replacement wood to match the historic: Room 3, Room 4, Room 5, Room 6, and Room 7. If Room 1 and Room 2 have deteriorated wood floorings, new hardwood to match must be installed prior to installation of carpet. To ensure compliance with the Standards, please submit a finish schedule indicating the existing and proposed flooring for each space.
16. The third floor foyer at the top of the stair (Room 5) must not be subdivided. Hallways and landings are important to the historic layout and circulation pattern of a building and their full volume should be retained. The apartment entrance should be installed within one of the existing door openings from the foyer space. To ensure compliance with the Standards, please submit a revised foyer plan on an Amendment form for review and approval prior to work in this area.
17. New walls and associated new door trim and baseboard should be differentiated from the historic so not to create a false sense of historic development of the interior layout. New trim should be simplistic and compatible with the historic character of the building.
18. New electrical wiring should be "fished" through walls to the greatest extent possible to minimize removal of historic materials and finishes.

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In response to paragraph 2 of the letter from MHT dated 10-4-2017 please see revised drawings as requested in the letter. Photographs requested in the letter were submitted on January 9th, 2018.

5. DETAILED DESCRIPTION OF REHABILITATION/PRESERVATION WORK

ITEM NUMBER: 1- REVISION – This addresses paragraph 4 of the letter from MHT dated 10-4-2017

Architectural feature: Building facade 1st floor

Approximate date of feature: 1950-1980

Describe the existing feature and its condition: Store front window most likely installed in the pre-war II era, not original. Other areas around covered in shingles in about 1980. Generally rundown condition. Original side door to steps covered over. Most original façade features completely destroyed.

Photo(s) #: 1-a 1-b, 1-c, 1-d -

Drawing #: 4 A

Describe work and impact on existing feature: Retain existing storefront glass and remove shingles. Will retain and re-use existing wooden door. Restore covered transom window that still exists above the side stairwell entrance. Install missing door (its plywood now). Paint existing brick to match the rest of the painted brick they will be re-painted in a historic color palette. Existing horizontal sign to remain.

ITEM NUMBER: 2

Architectural feature: Building facade 2nd and 3rd floors

Approximate date of feature: 1900

Describe the existing feature and its condition: Original Hard pressed red brick and mortar with carved wood accents and detail over windows and cornice, in good condition. 1950's metal sign frame in middle of façade. No impact except to preserve original features.

Photo(s) #: 1-a 1-b

Drawing #: A

Describe work and impact on existing feature: Scrape, prime and paint and repair any wooden decorative pieces as needed. Repaint brick. Façade in good shape.

ITEM NUMBER: 3

Architectural feature: Facade cornice - front

Approximate date of feature: 1900

Describe the existing feature and its condition: Original wooden façade still in place. Good condition.

Photo(s) #: 1-a 1-b

Drawing #: A

Describe work and impact on existing feature: Scrape, prime and paint and repair any sections as needed

ITEM NUMBER: 4

Architectural feature: Facade windows - 2nd floor/3rd floor

Approximate date of feature: 1900

Describe the existing feature and its condition: Original two over two double hung windows with single pane glass. Wood above windows in good condition. All glass is in good shape but missing glazing. Wood frames and sashes in fair condition.

Photo(s) #: 1-a 1-b

Drawing #: A

Describe work and impact on existing feature: All windows to be caulked, re-glazed and rebuilt as needed to match original condition. Replace missing wood sills as required. Replace missing wood dentals to match existing dentals. Scrape, prime and paint all wood windows and transoms with a historic color palette. Scrape and clean glass.

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5. DETAILED DESCRIPTION OF REHABILITATION/PRESERVATION WORK

ITEM NUMBER: 5

Architectural feature: Sloped shed roof - 3rd floor

Approximate date of feature: 1990

Describe the existing feature and its condition: Rubber membrane shed roof with metal roof panels on top. Roof and flashing in poor condition. Missing lap sealant at seams. Coping is cracking in some areas. Metal gutter and downspout in poor condition. Leaking and damaged areas.

Photo(s) #: IX-A, IX-B, IX-C **Drawing #:** N/A

Describe work and impact on existing feature: Install new roof. Seal all rubber lap seams per manufacturer recommendation. Attach and reseal flashing as required. Replace coping as required. Replace gutter and down spout. New roof will preserve building.

ITEM NUMBER: 6

Architectural feature: Sloped shed roof - rear of 2nd floor

Approximate date of feature: 1980

Describe the existing feature and its condition: Metal roof and flashing with metal gutter and downspout in poor condition and leaking at perimeter areas.

Photo(s) #: IX-A, IX-D **Drawing #:** N/A

Describe work and impact on existing feature: Replace roof and flashing with rubber membrane roof. Replace metal gutter and downspout. New roof will protect building.

ITEM NUMBER: 7

Architectural feature: Flat roof – porch roof

Approximate date of feature: unknown

Describe the existing feature and its condition: rubber membrane roof over plywood. System is completely failing and in horrible condition.

Photo(s) #: IX-E **Drawing #:** N/A

Describe work and impact on existing feature: new roof with new sub-roof installed and new membrane roof installed over that.

ITEM NUMBER: 8

Architectural feature: Rear facade - 1st floor

Approximate date of feature: 1960

Describe the existing feature and its condition: Concrete block. Two basement type windows. Metal stairs leading from 2nd floor porch. All in very poor condition.

Photo(s) #: II-A, II-B **Drawing #:** N/A

Describe work and impact on existing feature: remove abandoned furnace vent pipe and other abandoned pipes. Scrape and repaint metal steps. Paint concrete block.

ITEM NUMBER: 8B

Architectural feature: Rear facade -2nd floor, 3rd floor

Approximate date of feature: 1960

Describe the existing feature and its condition: 2nd floor: Original brick wall with attached porch over first floor concrete roof. In very poor condition. Most of the porch railing is missing. What is left is probably not original, but installed when the first floor bump out edition was completed. Ceiling of porch consists of exposed structure beams Roof above consists of deteriorated plywood. 3rd floor: unpainted original brick.

Photo(s) #: II-A, II-B, III-A, III-B, V-M **Drawing #:** 5 ~~N/A~~

Describe work and impact on existing feature: 2nd floor: re-paint brick to preserve. Add plain safety railing (will NOT put decorative railing in to avoid any confusion that it would be original). Replace rotted wood in the ceiling of the porch when fixing the porch roof leaving original exposed beams. 3rd floor: re-point brick as needed. No change.

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1st Floor:

ITEM NUMBER: 9 **REVISION** – This addresses paragraph 5 of the letter from MHT dated 10-4-2017

Architectural feature: 1st floor front interior retail area

Approximate date of feature: 1970

Describe the existing feature and its condition: Wall to wall carpet and drop ceiling. Walls are lined with built-in wood and glass showcases. Entire area is in very poor condition. No evidence of any original features

Photo(s) #: IV-C, IV-D, IV-E **Drawing #:** B, E # 1

Describe work and impact on existing feature: Gut existing flooring, shefts, drop ceiling. Create new open space that will serve as a common lobby and gallery. New carpet, ceiling, lighting, and patch and repair existing perimeter walls as needed.

ITEM NUMBER: 10 **REVISION** – This addresses paragraph 5 of the letter from MHT dated 10-4-2017

Architectural feature: 1st floor rear interior area

Approximate date of feature: 1950

Describe the existing feature and its condition: The rear first floor was added on around 1950 with block construction and poured concrete roof. Area has a storage area and a bathroom all in very poor condition. There is a blocked off exterior door.

Photo(s) #: IV-F, IV-G, IV-H, IV-I **Drawing #:** B, E # 1

Describe work and impact on existing feature: Gut bathroom and put in new fixtures. New carpet, ceiling, lighting, and patch and repair existing perimeter walls as needed. Install A 42" opening in the rear concrete block wall at the very far end of the structure (the new part, see drawing). This opening will have a fire-rated door. The opening will be to connect to the adjoining building to access for ADA requirements (there is an elevator lobby at that spot). This opening will have NO visual impact in the structure. It will be visible from the main volume of original first floor retail space, as this portion is all the way in the rear, which is a non-historic concrete block addition and has always been used as storage and janitorial space.

ITEM NUMBER: 11

Architectural feature: Interior of front window display area

Approximate date of feature: 1940

Describe the existing feature and its condition: Dated canned lights in tile ceiling. Plywood built displays covered in black material. Plywood floor. Paneled walls.

Photo(s) #: IV-A, IV-B **Drawing #:** B, E

Describe work and impact on existing feature: Install new ceiling grid. Eliminate display plywood. Retain existing walls.

2nd Floor:

ITEM NUMBER: 12

Architectural feature: 2nd floor front interior area (room 8) **REVISION** – This addresses paragraph 6 of the letter from MHT dated 10-4-2017

Approximate date of feature: 1900

Describe the existing feature and its condition: Original room largely intact. Lathe and Plaster ceiling and walls. Original wood trim around windows and floor. Original hardwood floor. Light fixture not original. Back wall taken out at some point.

Photo(s) #: V-A, V-B, V-BB

Drawing #: 2 SF

Describe work and impact on existing feature: Re-finish and seal original floor. Maintain all woodwork. Maintain all original lathe and plaster. Any missing spots fill in with gypsum board. Install new lighting. Retain existing cased opening where it once existed. Re-install remaining wall in location where it originally existed. See revised drawings.

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ITEM NUMBER: 13 REVISION – This addresses paragraph 6 of the letter from MHT dated 10-4-2017

Architectural feature: 2nd floor front interior area (room 7)

Approximate date of feature: 1900

Describe the existing feature and its condition: Original room severely deteriorated. Lathe and Plaster ceiling and walls crumbling or missing. Original wood trim outlining a faux fireplace on east wall (no evidence of anything ever in there). Original hardwood floor. Door from Foyer has original transom window in place. Front wall taken out at some point.

Photo(s) #: V-C, V-D

Drawing #: 2 ~~C,F~~

Describe work and impact on existing feature: Create kitchen area. Re-finish and seal original floor. Retain historic fireplace surround woodwork in place. Maintain all existing woodwork and transom. Maintain any original lathe and plaster that can be used. Any missing spots fill in with gypsum board. Install new kitchen fixtures and lighting. All existing doors and transoms remain. See revised drawings.

ITEM NUMBER: 14 This addresses paragraph 6 of the letter from MHT dated 10-4-2017

Architectural feature: 2nd floor front interior area (room 3)

Approximate date of feature: 1900

Describe the existing feature and its condition: Original room with a second stairwell that looks like maybe was added in midcentury? Very deteriorated area, that is all cut up and a hodge-podge. Lathe and Plaster ceiling and walls failing. No original wood trim or flooring intact.

Photo(s) #: V-G, V-H

Drawing #: ~~C,F~~ #2

Describe work and impact on existing feature: New gypsum board on walls. Install new, lighting, and flooring. Retain existing stairway and wooden trim.

ITEM NUMBER: 15 This addresses paragraph 6 of the letter from MHT dated 10-4-2017

Architectural feature: 2nd floor front interior area (room 6)

Approximate date of feature: 1900

Describe the existing feature and its condition: Original room that serves as a stairway foyer

Photo(s) #: V-G, V-H

Drawing #: 2 ~~C,F~~

Describe work and impact on existing feature: Re-finish and seal original floor. Retain all original trim. Retain and paint all walls, ceiling and trim. Patch and paint.

ITEM NUMBER: 16 This addresses paragraph 6 of the letter from MHT dated 10-4-2017

Architectural feature: 2nd floor next to last room (room 2)

Approximate date of feature: 1900, 1950?

Describe the existing feature and its condition: Room steps down in elevation. Room seems to retain some original lathe and plaster, but exterior wall replaced with concrete block on west side, Extensive water damage.

Photo(s) #: V-I, V-J, V-K

Drawing #: ~~C,F~~ #2

Describe work and impact on existing feature: New gypsum board on interior walls on areas that are deteriorated. Re-finish and seal original floor. Retain all original trim. Retain and paint all walls, ceiling and trim. Install new partition wall and door to create new bathroom and closet. Install new water resistant flooring bathroom over existing flooring. Existing interior walls remain intact.

ITEM NUMBER: 17 This addresses paragraph 6 of the letter from MHT dated 10-4-2017

Architectural feature: 2nd floor last room (room 1)

Approximate date of feature: 1950?

Describe the existing feature and its condition: Room seems to retain some original lathe and plaster, but exterior wall replaced with concrete block on west side. Extensive water damage. Very similar to room 2. Door to porch maybe original.

Photo(s) #: V-L

Drawing #: 2 ~~C,F~~

Describe work and impact on existing feature: New gypsum board on interior walls on areas that are deteriorated. Re-finish and seal original floor. Retain all original trim. Retain and paint all walls, ceiling and trim. Install new partition wall and door to create closet. Existing interior walls remain intact. Install new door where it is missing between room 1 and 2.

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ITEM NUMBER: 18

Architectural feature: 2nd floor small middle room (room 4)

Approximate date of feature: 1900

Describe the existing feature and its condition: Room has original lathe and plaster and some wooden wains-coating. Extensive water damage. Woodwork in place. Floor extensive decay. Rot and decay evident. Blocked in window.

Photo(s) #: V-N

Drawing #:

C, F

Describe work and impact on existing feature: Renovate entire area in to study area. New gypsum board on walls on areas that are deteriorated. All new electric, plumbing, and HVAC systems to be installed. Install new sub-floor and flooring with carpet. Retain wood trim and wains-coating where possible, but the window will not be retained due to wall behind it. We will retain the window trim.

ITEM NUMBER: 18B This addresses paragraph 6 of the letter from MHT dated 10-4-2017

Architectural feature: 2nd floor small middle interior room (room 5)

Approximate date of feature: 1900

Describe the existing feature and its condition: Room has original lathe and plaster. Extensive water damage. Woodwork in place. Floor extensive decay. Poor condition.

Photo(s) #: V-N

Drawing #:

2 C, F

Describe work and impact on existing feature: New gypsum board on interior walls on areas that are deteriorated. Re-finish and seal original floor. Retain all original trim. Retain and paint all walls, ceiling and trim. Existing interior walls remain intact. Install partition wall and doors. See drawing.

3rd Floor:

ITEM NUMBER: 19 This addresses paragraph 7 of the letter from MHT dated 10-4-2017

Architectural feature: 3rd floor front interior area (room 7)

Approximate date of feature: 1900

Describe the existing feature and its condition: Original room has had water damage and has been modified. Lathe and Plaster ceiling and walls still intact except for rear wall. Original wood trim around windows and floor. Original hardwood floor. Light fixture not original. Back wall taken out at some point. Painted sign on wall that predates 1900 (and the building) showing on west brick wall. Evidence of lathe and plaster originally on that wall, but not covering sign.

Photo(s) #: VI-A, VI-B, VI-C

Drawing #:

3 D, G

Describe work and impact on existing feature: Re-finish and seal original floor. Maintain all woodwork. Maintain all original lathe and plaster. Any missing spots fill in with gypsum board, including finishing wall where the lathe and plaster is missing. See revised drawings. Leave west brick wall exposed, and leave the painted sign on brick in original state.

ITEM NUMBER: 20 This addresses paragraph 7 of the letter from MHT dated 10-4-2017

Architectural feature: 3rd floor front interior area (room 6)

Approximate date of feature: 1900

Describe the existing feature and its condition: Original room fairly intact. Lathe and Plaster ceiling and walls. Original hardwood floor. Door from Foyer has original transom window in place, front wall lathe and plaster was removed at some point.

Photo(s) #: VI-A, VI-D

Drawing #:

3 D, G

Describe work and impact on existing feature: Create kitchen area. Re-finish and seal original floor. Maintain all existing woodwork and transom. Maintain any original lathe and plaster that can be used. Any missing spots fill in with gypsum board. All new electric, plumbing, and HVAC systems to be installed. Install new kitchen fixtures and lighting.

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ITEM NUMBER: 21

Architectural feature: 3rd floor front interior area (room 3)

Approximate date of feature: 1900

Describe the existing feature and its condition: Original room with a second stairwell that looks like maybe was added in midcentury? Very deteriorated area. Lathe and Plaster ceiling and walls and some original wood trim intact.

Photo(s) #: VI-F

Drawing #: 3 D-G

Describe work and impact on existing feature: Install partition wall for laundry room. New gypsum board on walls in areas needed. Retain stairway and any existing trim and wainscoting. Add door at the top of the steps. Paint.

ITEM NUMBER: 22 This addresses paragraph 7 of the letter from MHT dated 10-4-2017

Architectural feature: 3rd floor front interior area (room 5)

Approximate date of feature: 1900

Describe the existing feature and its condition: Original room at top of the original main stairwell. Very deteriorated area with extensive water damage. Lathe and Plaster ceiling and walls failing. Some original wood trim /flooring intact.

Photo(s) #: VI-E

Drawing #: 3 D-G

Describe work and impact on existing feature: All new electric, plumbing, and HVAC systems to be installed. Install new gypsum board, and flooring. Existing stairways retained. All transoms, doors, and bead-board, half-wall to be retained and restored.

ITEM NUMBER: 23 This addresses paragraph 7 of the letter from MHT dated 10-4-2017

Architectural feature: 3rd floor next to last room (room 2)

Approximate date of feature: 1900, 1950?

Describe the existing feature and its condition: Room steps down in elevation. Room seems to retain some original lathe and plaster, but exterior wall replaced with concrete block on west side. Extensive water damage.

Photo(s) #: VI-G, VI-H, VI-J

Drawing #: 3 D-G

Describe work and impact on existing feature: New gypsum board on interior walls on areas that are deteriorated. Re-finish and seal original floor. Retain all original trim. Retain and paint all walls, ceiling and trim. Install new partition wall and door to create new bathroom and closet. Install new water resistant flooring bathroom over existing flooring. Existing interior walls remain intact.

ITEM NUMBER: 24 This addresses paragraph 7 of the letter from MHT dated 10-4-2017

Architectural feature: 3rd floor last room (room 1)

Approximate date of feature: 1900, 1950?

Describe the existing feature and its condition: Room seems to retain some original lathe and plaster, but exterior wall replaced with concrete block on west side. Extensive water damage. Very similar to room 2.

Photo(s) #: VI-I, VI-L, VI-K, VI-M

Drawing #: L D-G 3

Describe work and impact on existing feature: New gypsum board on interior walls on areas that are deteriorated. Re-finish and seal original floor. Retain all original trim. Retain and paint all walls, ceiling and trim. Install new partition wall and door to create closet. Existing interior walls remain intact. Install new door where it is missing between room 1 and 2.

Stairwells:

ITEM NUMBER: 25

Architectural feature: Stairwell from 1st floor to 2nd floor- Close-up of transom window

Approximate date of feature: 1900

Describe the existing feature and its condition: 1 x1 original decorative window with window trim

Photo(s) #: VII-A, VII-B

Drawing #: B,E

Describe work and impact on existing feature: Preserve window. Scrape and re-glaze. Paint woodwork..

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ITEM NUMBER: 25B

Architectural feature: Stairwell from 1st floor to 2nd floor- Close-up landing on first floor, showing door covering
Approximate date of feature: 1900, 1970

Describe the existing feature and its condition: Original door modified and destroyed.

Photo(s) #: VII-B **Drawing #:** ~~B,E~~ 1, 2

Describe work and impact on existing feature: Install new door.

ITEM NUMBER: 26

Architectural feature: Stairwell from 1st floor to 2nd floor-
Approximate date of feature: 1900

Describe the existing feature and its condition: Straight flight of stairs from street level to 2nd floor original hand rail still in place. Walls are lathe and plaster

Photo(s) #: VII-C, VII-D **Drawing #:** B,E

Describe work and impact on existing feature: Preserve steps and decorative handrails by cleaning up area and painting the walls and ceiling. Add two wall sconces for lighting safety.

ITEM NUMBER: 27

Architectural feature: Stairwell from 2nd floor to 3rd floor up to landing
Approximate date of feature: 1900

Describe the existing feature and its condition: Original stairwell. Walls are lathe and plaster with wooden wainscoting on west side. No handrail.

Photo(s) #: VII-E, VII-F **Drawing #:** C, D, F, G

Describe work and impact on existing feature: Preserve steps and wainscoting by cleaning up area and painting the walls and ceiling. Add one wall sconce and plain handrail for safety.

ITEM NUMBER: 28

Architectural feature: Stairwell from 2nd floor to 3rd floor from landing to 3rd floor
Approximate date of feature: 1900

Describe the existing feature and its condition: Original stairwell. Walls are lathe and plaster with wooden wainscoting on east side. Handrail on top of wall.

Photo(s) #: VII-J, VII-G **Drawing #:** C, D, F, G

Describe work and impact on existing feature: Preserve steps and wainscoting by cleaning up area and painting the walls and ceiling. Add one wall sconce for safety.

ITEM NUMBER: 29

Architectural feature: Interior window moldings, 2nd and 3rd floor
Approximate date of feature: 1900

Describe the existing feature and its condition: Very elaborate and ornate interior window trim is on the front windows on both 2nd and 3rd floors.

Photo(s) #: V-A, VI-A **Drawing #:** C, D, F, G

Describe work and impact on existing feature: Trim will be retained and restored on both floors.

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ITEM NUMBER: 30

Architectural feature: Wood baseboard and wooden door trim molding.

Approximate date of feature: 1900

Describe the existing feature and its condition: Several doors in the second and third floors have ornate molding around the frames. Some areas of the second and third floor have original wooden baseboard.

Photo(s) #: all series V and VI photos

Drawing #:

N/A

Describe work and impact on existing feature: Trim on doorways will be retained and restored on both floors. Baseboard retained and restored. Areas where baseboard has been destroyed or long since removed will have baseboard patched in a sensitive manner.

ITEM NUMBER: 31 REVISION – This addresses paragraph 3 of the letter from MHT dated 10-4-2017

Architectural feature: Mechanical, electrical, and plumbing upgrades as required by current building code.

Approximate date of feature: 1950, 1970

Describe the existing feature and its condition:

Photo(s) #: none

Drawing #:

N/A 1, 2, 3

Describe work and impact on existing feature:

PLUMBING/ Sprinklering:

New work proposed on all floors consists of new and/or replacement all associated piping and fixtures. A new supply line will be installed from the existing main service entry to new water piping that will run within the walls feeding all new fixtures on each floor. New and/or existing sanitary piping will be modified as required to connect all fixtures on each floor. All plumbing pipe work will be concealed within walls and/or plenum spaces. The capping and removal of existing pipe not in use is also proposed.

Each floor will have a new small capacity water heater installed in the mechanical room. No original restrooms or plumbing fixtures exist within the building. All vent pipes and vent stacks for fixtures will be reused or replaced as codes require and concealed within the walls. New gas meters shall be installed for each floor to allow separate metering.

The building will have a full sprinkler system installed as required by code.

No visible loss or change of character shall exist to the historic building with regard to mechanical or plumbing work.

HVAC: REVISION – This addresses paragraph 3 of the letter from MHT dated 10-4-2017

A new gas fired split system HVAC unit will be installed for each floor; ductwork will be concealed within crawl spaces, closets, attics, basements, or other secondary spaces. Any bulkheads or chases needed to conceal ductwork will not impact existing windows, doors openings, trim, or molding. See drawings. Code compliant exhaust vents will be installed in each restroom area.

No visible loss or change of character shall exist to the historic building with regard to mechanical work.

ELECTRICAL:

A new main electrical service entry shall be installed into the building providing separate metering on each floor. New 200 amp electrical panels shall be installed on each floor. New lighting, data, switches, outlets and wiring shall be installed on each floor to meet codes as required. No original electrical fixtures exist in the building and or they are too old to meet current life/safety codes.

New exit signs and emergency lights will be installed to meet NFPA Life Safety code. All wiring will be concealed within walls, conduit, and/or plenum. Electrical baseboard units will be installed below any windows as required per floor.

No visible loss or change of character shall exist to the historic building with regard to electrical work.



**Certificate of Appropriateness Application
Presentation of Information
By Kathy McKenney**

COA# 20-000001

Business Name Town Center Development Group LLC

Address 107 Baltimore Street

Project Contact Larry Jackson

Project Summary The applicant, who is also a member of the Historic Preservation Commission, has submitted an application for an extensive rehabilitation of the front and rear facades of this structure, which is a contributing structure to the Canal Place Preservation District. According to the updated 2012 district inventory, the original structure was constructed c. 1840 and was added onto c.1880. The applicant has provided a number of photographs related to the interior floorplan with corresponding photos, however this should be taken for informational purposes only since the interior work is not subject to review by the Historic Preservation Commission. Additionally, the applicant has provided copies of documents submitted to the Maryland Historical Trust and National Park Service related to applications for State of Maryland and Federal tax incentives for historic structures. There are two pages of conditions that have been provided by the Maryland Historic Trust related to the tax credit review and these can be found on pages 35-36 of this packet. Many of these comments require additional specifications to be submitted for their review.

The applicant had submitted a previous Certificate of Appropriateness application in 2017 (COA#815), however it expired and was not reviewed since it was incomplete. I had submitted a letter to the applicant in November 2017 requesting the following specifications in order to complete the application:

- What product/method is planned for the cleaning of the brick?
- What is the method for removing the wood shakes from the storefront?
- Will the existing showcase windows be retained with the new storefront panels to be built around them or will they be removed?
- Could you provide product specifications for the doors and storefront
- What colors have been selected for the paint scheme?
- What are the specifications for the sign board (materials, size, lighting)
- What material will the new storefront cornice be constructed of?

This information was never received so, in accordance with the terms for the Certificate of Appropriateness applications, COA#851 expired six months after the application date since it was never completed.

A new application for a Certificate of Appropriateness was submitted by the applicant on August 5, 2020. When it was submitted, it became apparent that significant work, similar to the scope of work presented in 2017, had been recently completed and which was completed without approval by the Historic Preservation Commission or its staff. Upon realizing this, I contacted the applicant. He replied that the wood shakes had been removed because "They started to fall off the Bldg and were removed for safety sake knowing they were not long for the world". There was no explanation about the removal of the two signs.

In terms of the scope of work submitted with this current Certificate of Appropriateness application, the front façade elevation can be found on page 27. As shown on this elevation, the rooftop cornice is to be repaired and repainted.

The existing upper story windows and window hoods are to be repaired and repainted.

The original brick façade is to be cleaned and repainted, however there are not specifications included as to the method in which the brick is to be cleaned. Guideline 1 in the Preservation Guidelines points to the National Park Service Preservation Briefs for more technical assistance. This can be found in Preservation Brief #1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings <https://www.nps.gov/tps/how-to-preserve/briefs/1-cleaning-water-repellent.htm> and Preservation Brief #6: Dangers of Abrasive Cleaning to Historic Buildings <https://www.nps.gov/tps/how-to-preserve/briefs/6-dangers-abrasive-cleaning.htm>

Although a variety of surfaces are proposed to be repainted, the submitted paint palette, shown on page 18 of this packet, does not contain a corresponding color key.

The remaining parts of the flush mounted sign structure above the storefront are to be repaired. There do not appear to be any specifications as to the process for doing so, however. The surface behind the sign structure is to be repainted. There is also a reference to the installation of a hanging sign above the right-hand side of the storefront, however there are not any specifications included, such as the size, material, and description of this sign.

The transom window above the entrance door on the front façade that leads to stairs to the upper floors is to be re-exposed, repaired and repainted. A new ¾ lite door is to be installed in the door opening (which had also been covered by the wood shake siding for many decades), however, there has been no product specifications provided for it.

The existing storefront entrance door appears to be retained in this project. The recessed entrance windows will be retained and the masonry surfaces are to be painted.

The application provides a rear elevation. This façade is visible and accessible from the public right of way on Dexter Place. The elevation drawing does not provide details regarding the undertaking on this façade, however the submitted narratives provide some information. The rubber membrane and metal roof is to be replaced with a new rubber roof. The gutters and downspouts are to be replaced. The porch roof, currently constructed of metal, is to be replaced with a rubber membrane roof.

The abandoned furnace vent pipe is to be removed along with other abandoned utility equipment. The concrete block and stairs are to be painted. The second-floor brick is to be repainted. A new railing is to be installed (specifications not provided). Rotten wood in the porch ceiling is to be replaced (although the proposed replacement material specifications have not been provided. There is a reference to leaving the original beams exposed, however). The brick on the third floor is to be repointed. Consistent with comments by the Maryland Historical Trust, the mortar mix used for the repointing must be consistent with the historic mortar. Although a new deck appears on the rear elevation drawings above the second-floor porch roof, there does not seem to be any specifications provided regarding that new feature.

There also appears to be a new set of stairs proposed for the rear elevation however those specifications have not been provided.

The sections of the Preservation Guidelines that pertain to this application are Guideline 1: Preserve Significant Historic Features (Chapter 5 Page 65); Guideline 2: Repair Before Replace (Chapter 5 Page 66); Guideline 3: Restore Significant Historic Features (Chapter 5 Page 67); Guideline 8: Repointing Historic Masonry (Chapter 5 Page 70); Guideline 13: General Painting Approaches (Chapter 5 Page 74); Guideline 14: Painting Masonry and Determining a Color Scheme (Chapter 5 Page 74-75); Guideline 15: Roofing Material (Chapter 5 Page 77); Guideline 20: Gutters and Downspouts (Chapter 5 Page 80); Guideline 22: Retain Historic Windows (Chapter 5 Page 82); Guideline 29: Replacement Doors (Chapter 5 Page 86); Guideline 33: Restore Historic Porch Features (Chapter 5 Page 89); Guideline 37: Commercial Building Ornamentation (Chapter 5 Page 93); Guideline 39: Storefront Entrances (Chapter 5 Page 94); Guideline 40: Storefront Windows (Chapter 5 Page 95); Guideline 41: Upper Story Windows (Chapter 5 Page 96); Guideline 42: Historic Storefront Alterations (Chapter 5 Page 97); Guideline 45: Maintain and Restore Historic Signs (Chapter 5 Page 102); Guideline 46: Sign Placement; Guideline 47: Sign Size (Chapter 5, Pages 102-103); Guideline 49: New Sign Materials (Chapter 5 Page 104); Guideline 50: Existing Non-Historic Signs (Chapter 5 Page 104); Guideline 55: Utility Equipment (Chapter 5 Page 108)



CITY OF CUMBERLAND MARYLAND

DEPARTMENT OF COMMUNITY DEVELOPMENT

November 2, 2017

Mr. Larry Jackson
841 Windsor Road
Cumberland, MD 21502

Dear Mr. Jackson:

Our office received a partial submission of information from you as a request for a Certificate of Appropriateness application on October 5, 2017. As a followup from my email to you on October 16, 2017, the application did not contain enough information about the project specifications. At your earliest convenience, please provide additional information as follows:

- What product/method is planned for the cleaning of the brick?
- What is the method for removing the wood shakes from the storefront?
- Will the existing showcase windows be retained with the new storefront panels to be built around them or will they be removed?
- Could you provide product specifications for the doors and storefront (they can be attached electronically)?
- What colors have been selected for the paint scheme?
- What are the specifications for the sign board (materials, size, lighting)
- What material will the new storefront cornice be constructed of?

MAYOR
BRIAN K. GRIM

COUNCIL
SETH D. BERNARD
DAVID J. CAPORALE
RICHARD J. CIONI, JR.
EUGENE T. FRAZIER

CITY ADMINISTRATOR
JEFFREY D. RHODES

CITY CLERK/ASST.
CITY ADM.
MARJORIE A. WOODRING

CODE COMPLIANCE
MANAGER
DAVID COX

COMM. DEV. PROGRAMS
MANAGER
KATHY MCKENNEY

Unfortunately, since the application was incomplete our office will not be able to forward your request for the November 8th Historic Preservation Commission meeting agenda.

Please provide all remaining documentation no later than Wednesday, December 6, 2017 for inclusion on the December 13th meeting agenda. If you have any questions or need assistance, please contact me at 301-759-6431 or kathy.mckenney@cumberlandmd.gov.

Sincerely,

|
Kathy McKenney
Community Development Programs Manager



MEMBER MARYLAND
MUNICIPAL LEAGUE (MML)

57 N. LIBERTY STREET, CUMBERLAND, MD 21502 www.cumberlandmd.gov
VOICE (301)759-6456 • FAX (301)759-6432 • TDD (800)735-2258

File Attachments for Item:

7. Review of Proposed Revisions to the Rules of Procedure for the Purpose of Incorporating Virtual Meetings, Providing for Digital Signatures for Approved Documents, and for Revising the Motion Template

CITY OF CUMBERLAND HISTORIC PRESERVATION COMMISSION
BYLAWS AND RULES OF PROCEDURE
CITY OF CUMBERLAND

FOREWORD

These rules of procedure were created to assist the Commission, staff, and other City agencies in the expedient conduct of all matters of interest and concern to the Commission.

Objective

The Commission endeavors to conduct all business according to law or custom to assure the preservation of present and future use of historic resources within the designated historic district.

THE ROLE OF THE HISTORIC PRESERVATION COMMISSION

The Preservation Commission is created to safeguard the historical heritage of Cumberland by preserving sites, structures, and districts which reflect elements of cultural, social, economic, political, archeological, or architectural history; to promote preservation and appreciation of historic sites, structures, and districts; to inform the citizens of the City, County, State, and Nation of the value of the historic fabric which exists in Cumberland. To this end, the Commission shall be a resource to assist owners of historic properties or sites to maintain, appropriately renovate, and otherwise preserve the integrity of the historic properties.

SECTION 1. DEFINITIONS

- 1.1 The word "Commission" means the Historic Preservation Commission of the City of Cumberland.

SECTION 2. MEMBERSHIPS, OFFICERS, AND COMMITTEES

- 2.1 The membership shall consist of seven members to be appointed by the Mayor and City Council and a councilmember who shall be a voting member. Each of the appointed shall serve a term of three years and be eligible for reappointment. Commissioners serve on the HPC without compensation, in a volunteer status. Membership requirements are set forth in section 25-299 of the City Code.
- 2.2 The Commission shall annually elect a Chairperson, Vice-Chairperson, and Secretary and the officers shall be eligible for reelection.

- 2.3 Any vacancies in the Commission shall be filled within the time frame provided for in the City’s Historic Area Regulations, presently sixty days. A member whose term has expired shall serve until the Mayor and City Council appoints a successor.
- 2.4 Each member shall possess a demonstrated special interest, specific knowledge, or professional or academic training in such fields as history, architecture, architectural history, planning, archaeology, anthropology, curation, conservation, landscape architecture, historic preservation, urban design, or related disciplines. At least two members of the Commission shall possess professional or academic training in one or more of the above-listed fields in accordance with the minimum professional requirements of the United States Department of the Interior for certifying local governments under 36 C.F.R. Part 61.
- 2.5 The Chairperson, or in his/her absence, the Vice-Chairperson, shall preside at all meetings or hearings of the Commission. In the absence of the Chairperson and Vice-Chairperson, the Commission may elect a temporary Chairperson to preside over the particular meeting. The presiding officer shall decide on all points of order and procedure, subject to these rules, unless otherwise directed by a majority of the Commission members present.

~~2.5.2.6~~ Digital Signatures of each officer will be obtained annually after each election in order to utilize these signatures solely related to the issuance of Certificates of Appropriateness that are approved, approved with conditions, or denied by the Commission during the review process. These signatures shall not be used for any other purposes in the conduct of business by the Commission.

- 2.6 Special committees may be appointed for special purposes or study.

SECTION 3. MEETINGS

- 3.1 Regular meetings shall be held on the second Wednesday of each month at 4:00 p.m. in City Hall in the second floor Council Chambers. However, meetings may be held at such other sites as the Commission may determine to be in its best interest. This includes meetings using virtual online platforms that also provide the ability for members of the public to join, view, and/or participate to the same extent in the same manner, or as close to the same manner is practicable, -as is provided in a “live” setting. Adjustments to the regular meeting schedule may be arranged in the beginning of each year by the Commissioners. Staff shall give Commissioners ample notice of any changes in the meeting schedules.
- 3.2 Special meetings may be called by the Chairperson, or in his/her absence, the Vice-Chairperson. Ample notice of such meetings shall be given to each member by mail or telephone.

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- 3.3 Notice of meetings shall be sent to the Cumberland Times-News and all media outlets specified by the City of Cumberland, on the City's website, its Facebook page and such other means as are utilized by the Mayor and City Council in giving notice of its meetings. including publication on the City of Cumberland's social media platforms, such as Facebook as public notification and by email to all media contacts specified by the City of Cumberland. Notice shall also be posted on a bulletin board within the Department of Community Development and on the City of Cumberland website. When meetings are to be held in a virtual setting, the notice will include information about how the meeting can be accessed electronically or telephonically as well as how comments regarding items on the agenda, as well as general public comment, can be provided presented to the Historic Preservation Commission.
- 3.4 Attendance – It shall be the duty of each member to attend all meetings. Should any member be absent from three (3) regular meetings during the year, without acceptable justification to the Commission, the Commission shall recommend that the member's resignation be requested unless determined by vote of a majority of Commission members that there is a sufficient excuse for non-attendance. It shall be the responsibility of each member who cannot attend a meeting to so notify the staff.
- 3.5 All Commission hearings shall be public meetings. All persons with requests to the Commission are required to appear and be heard by the Commissioners before the Commission reaches a decision on any matter. The voting on such decisions shall be held during a public meeting and the Commission shall keep open records of its resolutions, proceedings, and actions which shall be available for public inspection during business hours or by electronic access on the City of Cumberland's website. Nothing contained herein shall be construed to prevent the Commission from holding executive sessions from which the public may be excluded, provided the exclusion of the public is allowed under the Maryland Open Meetings Act, but no ordinance, resolution, regulation, or other matter shall be finally acted upon at such an executive session.
- 3.6 -The Commission shall be responsible for ~~keeping an accurate and true record of all proceedings at its meetings and public hearings.~~ However, it is expected that the City's Department of Community Development shall assist the Commission in the performance of these duties. The minutes shall be taken from recordings of the actual meetings and distributed to Commissioners to be placed on record and stored on file at the Department of Community Development.
- 3.7 Any applicant or petitioner must appear on his/her behalf or be represented by an agent or attorney at said meeting. In the absence of any personal appearance on behalf of the applicant or petitioner, the Commission will table the item. The presiding officer retains the right to have persons removed from public meetings if they unreasonably interfere with the orderly conduct of the business at hand.

3.8 Subject to the statutory 45-day limitation or agreement by the applicant, the Commission may postpone or continue any case due to lack of quorum, or for further study and information until the next regular meeting. The Commission may require any additional material in the form of maps, charts, reports, material specifications, additional project specifications, and studies and such other relevant information, in order to reach to assist it in reaching a decision. In addition, the Commissioners may postpone a decision and request a site visit.

The Commission's meetings shall be conducted in accordance with these Bylaws and Rules of Procedure. Otherwise, *Robert's Rules of Order* may serve as a guide for the conduct of said meetings, but compliance with its terms is not required.

SECTION 4. VOTING

4.1 Five members shall constitute a quorum for the transaction of business, and action may be taken only upon a majority vote. No decision shall be made in the absence of a quorum. At the discretion of the Chairperson, a Commissioner may vote by telephone or other live means.

4.2 The order of business shall be in accord with the agenda.

4.3 If there is a tie vote among the Commissioners, the Chairperson or Presiding Officer may vote to break the tie. If the Chairperson abstains, a tie vote by the Commissioners shall be interpreted as a defeat of the motion.

4.4 No member shall vote on a matter in which he/she has personal involvement. Members are encouraged to request that Commission staff consult the City Solicitor as to the propriety of their voting on any matter which may involve a conflict of interest.

4.5 Commissioners' votes shall be recorded on each motion unless the vote is unanimous.

~~4.5~~ The motion template set forth in the, shown in Attachment A attached to of this document these Bylaws and Rules of Procedure, shall be utilized as a template for the review of and decision on each application for a Certificate of Appropriateness review.

4.6

SECTION 5. CONDUCT- AND DUTIES OF COMMISSION MEMBERS

5.1 No Commissioner shall speak on behalf of the Commission unless authorized by the Commission. In any public or private statement concerning Commission affairs, members will carefully indicate whether they are speaking for the Commission or for themselves.

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- 5.2 Conduct at meetings – Members shall conduct themselves at Commission meetings in a fair, understanding manner. They shall seek to be considerate of all individuals, attitudes, and differences of opinion involved in official Commission business.
- 5.3 Each member of the Commission will familiarize himself or herself with the applications under consideration.
- 5.4 The review process carried out by the HPC requires judgment of each application based upon architectural guidelines, historical, archival, and archaeological information as well as technical and consultant assistance.
- 5.5 As necessary, the Chair may assign commissioners to special duties that relate to HPC business, on a pro-tem basis.

SECTION 6. PROCEDURE IN BRINGING MATTERS BEFORE THE COMMISSION

- 6.1 Once the historic area work permit application is determined by the staff to be complete, the application will be scheduled for a decision at the Commission's next regularly scheduled meeting. Complete applications, as determined by the Commission staff, must be submitted at least seven (7) days prior to a regularly scheduled Commission meeting in order to be included on the monthly agenda and receive a decision during that month's meeting.
- 6.2 In specific cases, where the proposed work involves exact replacement "in kind," such as the replacement of gutters or downspouts, the staff of the Department of Community Development, may determine that an application meets all requirements of the preservation ordinance. Staff may also act on cases that involve the need for emergency removal of a hazardous or diseased tree within the public right of way, the need for which is to be determined by the City of Cumberland's Natural Resources Specialist. In such cases, a permit may be issued at the administrative level which does not require the review of the Historic Preservation Commission. Staff will provide a report of all cases reviewed administratively at each monthly meeting.
- 6.3 Major rehabilitation, new construction and demolition, and any matters where an applicant does not agree with staff decisions shall be heard by the Commission at a public meeting.
- 6.4 When historical, archeological, or architecturally significant sites, structures and districts that exemplify the cultural, social, economic, political, or architectural history of the city, state, or nation are identified by a member of the Commission, its staff, a property owner, neighborhood group, or by an individual, the Historic Preservation Commission may, after making full and proper study, recommend designation for such landmarks, sites, structures, or districts. The resources used for designation will be a completed Local Survey Form, Maryland Inventory of

Historic Properties documentation, National Register of Historic Properties Nomination Forms, or equivalent.

- 6.5 Decisions regarding the matters set forth in the preceding section may only be made at an open meeting. The Commission's recommendations shall be submitted to the Mayor and City Council. It is understood that the Mayor and City Council may accept, accept with modification(s), or reject the Commission's recommendations.
- 6.6 Agendas for the Commission's meetings shall be prepared by its staff in advance of the meetings, as required by the Maryland Open Meetings Act. Members of the Commission who wish to add to meeting agendas must notify the Chairperson of the proposed addition(s) prior to the meeting. Unscheduled items not requiring public notice may be added to the agenda during the meeting upon the unanimous approval of the members present. Agenda items that have been acted upon shall not be reconsidered unless new substantive information is presented.
- 6.7 In an effort to expedite routine items before the Commission, the Commission hereby establishes a "Consent Agenda" procedure as follows:
- (a) ~~(a)~~ Business items shall be eligible for inclusion on the Consent Agenda upon the recommendations of the Commission's staff or upon the recommendation of a Commission member.
 - (b) All items thus eligible shall be placed on the Consent Agenda by motion of any member of the Commission which is duly seconded.
 - (b) ~~(c)~~ The Commission shall then take public comment on the Consent Agenda in order to ascertain whether members of the public or Commission have any comments, questions, or opposition to the granting of any item(s) on the Consent Agenda. Any such item(s) shall be removed from the Consent Agenda and heard in regular order.
 - (c) ~~(d)~~ The Commission shall then vote upon any item(s) which remain on the Consent Agenda upon any duly seconded motion calling for such a vote.
 - (e) If amendments or conditions are proposed on Consent Agenda items, applicants must agree to amendments or conditions to receive Consent Agenda approval.
- 6.8 Any person aggrieved by any decision of the Commission to approve, deny or delay an application for a permit may appeal that decision by filing a petition for judicial review with the Circuit Court for Allegany County, Maryland within thirty days of the date the decision is made.

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6.9 All requests requiring action by the Commission must be received by the Department of Community Development no later than one week prior to the next regularly scheduled meeting.

SECTION 7. AMENDMENTS

7.1 Amendments to these Bylaws and Rules of Procedure may be introduced at any meeting of the Commission and voted upon at any subsequent regular meeting. Majority approval is required for the passage of amendments.



Motion Writing Guide:

Commission Members state: *I have studied the application and all other relevant documents and presentations related to this case, and I am familiar with the property in question. I find that:*

- The property individually contributes/ does not contribute to the period of significance and historic context of the Canal Place Preservation District as detailed in Chapter 3 of the Preservation District Design and Preservation Guidelines for Cumberland, Maryland
- The proposed changes are/are not consistent with guidelines and criteria found in Chapter 5 of the Canal Place Preservation District because: (Re: 4.1.J – 4.1.L) list facts as applied including the Secretary of Interior's Standards to support consistency/lack of consistency cite applicable Guideline numbers (usually referenced on the Presentation of Information by HPC staff)

Based on these findings, I move to approve/approve with conditions Certificate of Appropriateness number/name:

or

Based on these findings, I move to deny Certificate of Appropriateness number:

Summarize project listing all required items requested as submitted or as amended in plans and correspondence with date. I authorize the use of the digital signatures on file for the Chairperson and Secretary of the HPC with the Department of Community Development to be utilized to provide the determination documents to the applicant(s):

Second:

Discussion:

Vote: