



CITY of CLOVIS

AGENDA • CITY COUNCIL MEETING

Council Chamber, 1033 Fifth Street, Clovis, CA 93612 (559) 324-2060
www.cityofclovis.com

May 6, 2024

6:00 PM

Council Chamber

In compliance with the Americans with Disabilities Act, if you need special assistance to access the City Council Chamber to participate at this meeting, please contact the City Clerk or General Services Director at (559) 324-2060 (TTY – 711). Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the Council Chamber.

The Clovis City Council meetings are open to the public at the physical address listed above. There are numerous ways to participate in the City Council meetings: you are able to attend in person; you may submit written comments as described below; and you may view the meeting which is webcast and accessed at www.cityofclovis.com/agendas.

Written Comments

- Members of the public are encouraged to submit written comments at: www.cityofclovis.com/agendas at least two (2) hours before the meeting (4:00 p.m.). You will be prompted to provide:

- Council Meeting Date
- Item Number
- Name
- Email
- Comment



- Please submit a separate form for each item you are commenting on.
- A copy of your written comment will be provided to the City Council noting the item number. If you wish to make a verbal comment, please see instructions below.
- Please be aware that any written comments received that do not specify a particular agenda item will be marked for the general public comment portion of the agenda.
- If a written comment is received after 4:00 p.m. on the day of the meeting, efforts will be made to provide the comment to the City Council during the meeting. However, staff cannot guarantee that written comments received after 4:00 p.m. will be provided to City Council during the meeting. All written comments received prior to the end of the meeting will be made part of the record of proceedings.

CALL TO ORDER

FLAG SALUTE - Councilmember Mouanoutoua

ROLL CALL

PUBLIC COMMENTS - This is an opportunity for the members of the public to address the City Council on any matter within the City Council's jurisdiction that is not listed on the Agenda. In order for everyone to be heard, please limit your comments to 3 minutes or less, or 10 minutes per topic. Anyone wishing to be placed on the Agenda for a specific topic should contact the City Manager's office and submit correspondence at least 10 days before the desired date of appearance.

ORDINANCES AND RESOLUTIONS - With respect to the approval of resolutions and ordinances, the reading of the title shall be deemed a motion to waive a reading of the complete resolution or ordinance and unless there is a request by a Councilmember that the resolution or ordinance be read in full, further reading of the resolution or ordinance shall be deemed waived by unanimous consent of the Council.

CONSENT CALENDAR - Items considered routine in nature are to be placed upon the Consent Calendar. They will all be considered and voted upon in one vote as one item unless a Councilmember requests individual consideration. A Councilmember's vote in favor of the Consent Calendar is considered and recorded as a separate affirmative vote in favor of each action listed. Motions in favor of adoption of the Consent Calendar are deemed to include a motion to waive the reading of any ordinance or resolution on the Consent Calendar. For adoption of ordinances, only those that have received a unanimous vote upon introduction are considered Consent items.

1. Administration - Approval - Minutes from the April 15, 2024, Council Meeting.
2. Administration - Approval – Waive Formal Bidding Requirements and Authorize the City Manager to Enter into an Agreement with Keyser Marston Associates for \$135,000 to Conduct a Mixed Income Ordinance Feasibility Study and In-Lieu Fee Analysis.
3. Administration - Receive and File – Economic Development Corporation Serving Fresno County Quarterly Report, Jan. 1, 2024 – Mar. 31, 2024.
4. Fire – Approval – Authorizing the City Manager to Enter into an Agreement with the Central California Emergency Medical Services Agency for the provision of Fire Department Dispatch Services from July 1, 2024, through June 30, 2027, in the amount of \$1,309,203.00.
5. General Services – Approval – Res. 24-___, Authorizing Amendments to the City's Classification and Compensation Plans to Adopt the Lead Accounting Systems Technician Classification with a Salary Range of \$6,984 to \$8,489 per month, and Approval – Res. 24-___, Amending the City's FY 23-24 Position Allocation Plan.
6. General Services – Approval – Res. 24-___, Amending the City's FY 2023-2024 Position Allocation Plan by adding one (1) Senior Management Analyst Position and removing (1) Fire Administrator Position within the Fire Department.
7. Planning and Development Services – Approval – Final Acceptance for CIP 22-06 Test Hole at Reservoir T-10 Site.
8. Planning and Development Services – Approval – Bid Award for CIP 23-27, Temperance Avenue Street Improvements to Dave Christian Construction in the amount of \$979,231.08; and authorize the City Manager to execute the contract on behalf of the City.

- [9.](#) Planning and Development Services - Approval - Res. 24-____, a request to adopt a resolution approving the initiation of a general plan amendment and rezone for the Infill Rezone Program; and Approval – Res. 24-____, a request to adopt a resolution authorizing the City Manager to execute a consultant agreement between the City of Clovis and Rincon Consultants, Inc., for preparation of an environmental assessment and related services.
- [10.](#) Planning and Development Services - Approval - Res. 24-____, a request to adopt a resolution approving the initiation of a general plan amendment and ordinance amendment to adjust the existing density ranges for multi-family residential development in the General Plan and Development Code.
- [11.](#) Police – Approval – Annual Review of Ordinance 22-03, Clovis Police Department Policy 706, and the Annual Military Equipment Use Report

PUBLIC HEARINGS - A public hearing is an open consideration within a regular or special meeting of the City Council, for which special notice has been given and may be required. When a public hearing is continued, noticing of the adjourned item is required as per Government Code 54955.1.

- [12.](#) Consider Approval – Res. 24-____, Adoption of the City of Clovis 2024-2025 Annual Action Plan for the expenditure of Community Development Block Grant Funds.

Staff: Claudia Cazares, Housing Programs Manager
Recommendation: Approve

- [13.](#) Consider items associated with approximately 155 acres of land located on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues. Great Bigland, LP., owner/ applicant; Harbour and Associates, representative. (Continued from the March 18, 2024, Council Meeting)

a. Consider Approval - Res. 24-____, A Resolution of the Clovis City Council approving adoption of an addendum to the previously certified EIR for the Shepherd North Project.

b. Consider Approval - Res. 24-____, GPA2021-006, A Resolution of the Clovis City Council approving a request to amend the circulation element of the General Plan to allow for the placement of a Shepherd Avenue access point on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues.

c. Consider Approval - Res. 24-____, GPA2021-005, A Resolution of the Clovis City Council approving a request to amend the land use element of the General Plan for the Development Area (approximately 77 acres) from the Rural Residential land use designation to the Medium-High Density Residential land use designation.

d. Consider Introduction - Ord. 24-____, R2021-009, An Ordinance of the Clovis City Council approving a request to prezone property within the Development Area (approximately 77 acres) of the Project site from the Fresno County AL20 Zone District to the Clovis R-1-PRD Zone District.

e. Consider Approval - Res. 24-____, TM6205, A Resolution of the Clovis City Council approving a request to approve a vesting tentative tract map for a 605-lot single-family planned residential development.

f. Consider Approval - Res. 24-____, PDP2021-004, A Resolution of the Clovis City Council approving a request to approve a planned development permit for a 605-lot single-family residential development.

g. Consider Approval - Res. 24-____, A Resolution of the Clovis City Council approving an amendment to the 2017 Amended and Restated Memorandum of Understanding between the County of Fresno and City of Clovis regarding a Sphere of Influence Expansion to add approximately 155 acres and the Standards of Annexation to address the annexation of approximately 77 acres of property (Shepherd-Sunnyside Northeast Reorganization).

Staff: George González, Senior Planner

Recommendation: Approve

CITY MANAGER COMMENTS

COUNCIL COMMENTS

ADJOURNMENT

FUTURE MEETINGS

Regular City Council Meetings are held at 6:00 P.M. in the Council Chamber. The following are future meeting dates:

May 13, 2024 (Mon.)

May 20, 2024 (Mon.)

June 3, 2024 (Mon.)

June 10, 2024 (Mon.)

June 17, 2024 (Mon.)

CLOVIS CITY COUNCIL MEETING

April 15, 2024

6:00 P.M.

Council Chamber

Meeting called to order by Mayor Ashbeck **at 6:00**
Flag Salute led by Councilmember Bessinger

Roll Call: Present: Councilmembers, Basgall, Bessinger, Mouanoutoua, Pearce
Mayor Ashbeck

PRESENTATION – 6:02

6:02 ITEM 1 - PRESENTATION OF UPDATED FRESNO COUNTY CLOVIS REGIONAL LIBRARY ELEVATIONS.

6:18 ITEM 2 - PRESENTATION OF PROCLAMATION DECLARING APRIL 26, 2024, AS ARBOR DAY.

6:21 ITEM 18 - APPROVED – VARIOUS ACTIONS ASSOCIATED WITH THE PERSONNEL COMMISSION AND PLANNING COMMISSION.

Motion for approval by Councilmember Mouanoutoua, seconded by Councilmember Basgall. Motion carried by unanimous vote.

PUBLIC COMMENTS – 6:26

Eric Rollins, resident, spoke on the need for more police officers.

Brent Berdine, resident, made comments on the vision, mission, and goals of the City.

Heather Walkingstick, resident, expressed concerns regarding traffic and road condition issues in the City.

Kate Wilcox, resident, inquired on affordable housing initiatives.

CONSENT CALENDAR – 6:40

Motion by Councilmember Mouanoutoua, seconded by Councilmember Bessinger, that items 1-13 on the Consent Calendar be approved except for Item No. 9 to be continued to a date uncertain. Motion carried by unanimous vote.

3. Administration - Approved - Minutes from the April 8, 2024, Council Meeting.

4. Administration – Approved – Award the Request for Proposals and approve the purchase of twenty-two (22) Mobile Data Computers to Stommel, Inc., dba Lehr Auto for \$102,025.66 plus tax.
 5. Finance – Received and Filed – Investment Report for the Month of November 2023.
 6. Finance – Received and Filed – Treasurer’s Report for the Month of November 2023.
 7. Finance – Received and Filed – Investment Report for the Month of December 2023.
 8. Finance – Received and Filed – Treasurer’s Report for the Month of December 2023.
 9. Finance – **Continued** – **Res. 24-XX**, A Resolution of the Clovis City Council Dissolution of the Community Facilities District 2004-1 Oversight Committee. **Continued to a date uncertain.**
 10. General Services – Approved - Claim Rejection of the General Liability Claim by Candace Smith.
 11. Planning and Development Services - Approved – Final Acceptance for CIP 15-03 Landmark Square
 12. Planning and Development Services – Approved – Bid Award for CIP 23-03, Willow Avenue Street Improvements to Asphalt Design by Juan Gomez in the amount of \$1,058,995.50; and authorize the City Manager to execute the contract on behalf of the City.
 13. Planning and Development Services – Approved – Bid Award for CIP 23-11, Alley Improvements to Dave Christian Construction in the amount of \$636,931; and authorize the City Manager to execute the contract on behalf of the City, and Approved – **Res. 24-38**, amending the 2023-2024 Community Investment Program Budget for Sewer Capital Projects - Enterprise in the amount of \$190,000.
- 6:40 ITEM 14 - PLANNING AND DEVELOPMENT SERVICES - APPROVED – **RES. 24-39**, ANNEXATION OF MISCELLANEOUS PROPERTIES TO THE LANDSCAPE MAINTENANCE DISTRICT NO. 1. (COUNCILMEMBER BESSINGER HAS A CONFLICT OF INTEREST ON THIS ITEM)

Motion by Councilmember Basgall, seconded by Councilmember Pearce, that the item be approved. Motion carried 4-0-0-1 with Councilmember Bessinger abstaining.

PUBLIC HEARINGS – 6:43

- 6:43 ITEM 15 - CONSIDER ITEMS ASSOCIATED WITH APPROXIMATELY 1.62 ACRES OF LAND LOCATED ON THE NORTHWEST CORNER OF ASHLAN AND DE WOLF AVENUES. HARPREET SINGH SUMAL, OWNER/APPLICANT; KELSEY GEORGE OF PRECISION CIVIL ENGINEERING, REPRESENTATIVE.

Kelsey George, applicant representative, provided comments on the requested action.

Brendan Daily, resident, spoke on concerns regarding the application including traffic.

Brent Burdine, resident, spoke on concerns regarding the application.

Laura Bacigalupi, resident, spoke on concerns regarding the application.

Cesar Lopez, resident, spoke on concerns regarding the application.

Michelle Swartz, resident, spoke on concerns regarding the application.

Leslie Granite, resident, spoke on concerns regarding the application.

Allison Huerra, resident, spoke on concerns regarding the application.

David Ruckshaw, resident, spoke on concerns regarding the application.

Manuel Benjamin Garcia, resident, spoke on concerns regarding the application.

Andre Metzler, resident, spoke on concerns regarding the application.

Resident, spoke on the traffic and safety issues in support of the project.

ITEM 15A - CONSIDER INTRODUCTION - **RES. 24-40**, A RESOLUTION TO APPROVE AN ENVIRONMENTAL FINDING OF A MITIGATED NEGATIVE DECLARATION FOR GENERAL PLAN AMENDMENT 2023-002 AND REZONE 2023-002.

Motion for approval by Councilmember Bessinger, seconded by Councilmember Mouanoutoua. Motion carried by 4-1 with Councilmember Bessinger voting no.

ITEM 15B - APPROVED INTRODUCTION - **RES. 24-41**, GPA2023-002, A RESOLUTION TO AMEND THE GENERAL PLAN AS PART OF THE SECOND GENERAL PLAN AMENDMENT CYCLE OF 2024, RE-DESIGNATING THE SUBJECT PROPERTY FROM THE LOW DENSITY RESIDENTIAL (2.1-4.0 DWELLING UNITS PER ACRE) AND OPEN SPACE DESIGNATIONS TO THE HIGH DENSITY RESIDENTIAL (15.1-30.0 DWELLING UNITS PER ACRE) DESIGNATION.

Motion for approval by Councilmember Bessinger, seconded by Councilmember Mouanoutoua. Motion carried by 3-2 with Mayor Ashbeck and Councilmember Basgall voting no.

ITEM 15C - APPROVED INTRODUCTION - **ORD. 24-01**, R2023-002, AN ORDINANCE TO REZONE THE SUBJECT PROPERTY FROM THE R-A (SINGLE-FAMILY RESIDENTIAL VERY LOW DENSITY) ZONE DISTRICT TO THE R-3 (MULTIFAMILY HIGH DENSITY RESIDENTIAL) ZONE DISTRICT.

Motion for approval by Councilmember Bessinger, seconded by Councilmember Mouanoutoua. Motion carried by 3-2 with Mayor Ashbeck and Councilmember Basgall voting no.

ADMINISTRATIVE ITEMS – 8:42

8:43 ITEM 16 – APPROVED – **RES. 24-42**, A RESOLUTION DECLARING THE INTENTION TO LEVY AND COLLECT ASSESSMENTS FOR FISCAL YEAR 2024-25, AUTHORIZING THE CITY OF CLOVIS ENGINEERING DIVISION TO CONDUCT A PROPERTY OWNER PROPOSITION 218 PROCEEDING, APPROVING THE FISCAL YEAR 2024-25 PRELIMINARY ENGINEER’S REPORT, AND SETTING A PUBLIC HEARING FOR JUNE 17, 2024, OR AT SUCH TIME THEREAFTER FOR AREA 1 OF BENEFIT ASSESSMENT DISTRICT NO. 95-1 (BLACKHORSE ESTATES).

Frank Stafford, resident, spoke expressed concerns with the budget.

Motion for approval by Councilmember Pearce, seconded by Councilmember Basgall. Motion carried by unanimous vote.

9:08 ITEM 17 - APPROVED - **RES. 24-43**, APPROVING THE SALE AND TRANSFER OF INTEREST IN K & M CASINOS, INC., (500 CLUB CASINO LOCATED AT 771 W. SHAW AVE, CLOVIS, CA 93612) FROM MICHAEL LEBLANC TO RICHARD BARCLAY AND MARK ENGLISH.

Jarhett Blonien, representative, spoke in favor of the item.

Motion for approval by Councilmember Mouanoutoua, seconded by Councilmember Bessinger. Motion carried by unanimous vote.

CITY MANAGER COMMENTS – 9:15

COUNCIL COMMENTS – 9:15

CLOSED SESSION – 9:20

9:20 ITEM 19 - GOVERNMENT CODE SECTION 54956.9(D)(2) CONFERENCE WITH LEGAL COUNSEL ANTICIPATED LITIGATION: ONE POTENTIAL CASE

RECONVENE INTO OPEN SESSION AND REPORT FROM CLOSED SESSION – 9:31

No action taken.

ADJOURNMENT

Mayor Ashbeck adjourned the meeting of the Council to May 6, 2024

Meeting adjourned: 9:31 p.m.

Mayor

City Clerk



CITY *of* CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Administration

DATE: May 6, 2024

SUBJECT: Administration - Approval – Waive Formal Bidding Requirements and Authorize the City Manager to Enter into an Agreement with Keyser Marston Associates for \$135,000 to Conduct a Mixed Income Ordinance Feasibility Study and In-Lieu Fee Analysis.

ATTACHMENTS: 1. Proposal

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

For the City Council to waive the City's formal bidding requirements and authorize the City Manager to enter into Agreement with Keyser Marston Associates for \$135,000 to conduct a Mixed Income Ordinance Feasibility Study and In-Lieu Fee Analysis.

EXECUTIVE SUMMARY

On February 20, 2024, Council approved a settlement to resolve housing related litigation, and the court approved the settlement and entered a Judgment in the case on March 19, 2024. As part of the Judgment, the City is required to conduct a study to determine the parameters of a feasible Mixed Income Zoning Ordinance. Pursuant to the Judgment, the opposing party and counsel have approved the proposal from Keyser Marston Associates to conduct the required study. As this process is outside of typical procurement policy requirements City Council approval of the agreement is required.

BACKGROUND

On February 20, 2024, Council approved a settlement to resolve housing related litigation, and the court approved the settlement and entered a Judgment in the case on March 19, 2024. The Judgment requires the city to implement several affordable housing programs, and the study to be conducted by KMA and the report to be prepared will provide the and subsequent approval of a Mixed Income Zoning Ordinance including and In-Lieu Fee Analysis is one.

The proposal from Keyser Marston Associates (KMA) will allow the City to continue with implementing affordable housing programs as required by the Judgment. The tasks to be performed by KMA for the study include:

1. Financial Feasibility Analysis – the feasibility analysis will evaluate the ability of new market rate residential developments to sustain alternative inclusionary requirements and in-lieu fees.
2. In-Lieu Fee Analysis – the in-lieu fee analysis will evaluate in-lieu fee levels that are equivalent to the cost of providing affordable units either within the project or in a separate 100% affordable project.
3. Existing Unit Analysis – the existing unit analysis will provide information on affordability of existing market rate housing and support a potential compliance option to acquire and deed restrict existing units.
4. Report – KMA will prepare a report to present the analysis and findings.
5. Stakeholder and Public Meetings – KMA is available to present findings and respond to questions as part of stakeholder and public meetings to be scheduled.

KMA has deep experience in conducting similar studies across the State of California. It is anticipated the study and outreach will take 9-10 months in total.

KMA's proposal has been approved by staff and the opposing party and counsel in accordance with the Judgment, and City Council approval is required so KMA can begin the study. Staff recommends waiving the City's formal bidding requirements given the unique services and circumstances involved in this agreement. The proposal is attached (**Attachment 1**). The cost is \$135,000, and funding is available in the 2023-2024 Fiscal Year's budget.

FISCAL IMPACT

\$135,000 cost for the services involved in conducting the study and preparing the report and other tasks as identified in the attached proposal. Sufficient funds are available in the 2023-24 budget.

REASON FOR RECOMMENDATION

The amount of the agreement for these services is above the City Manager's purchasing authority and the purchasing policy requires at least three proposals. Because of the unique services and circumstances of contracting for these services, waiving the formal purchasing policy requirements is appropriate as authorized by Municipal Code section 2.7.06(a) and Section IV.C. of the Purchasing Manual. Approval of this agreement will allow the study to commence so that the study can be completed and the City can continue with the steps to satisfy the requirements of the Judgment.

ACTIONS FOLLOWING APPROVAL

The City Manager will execute the agreement and the study will be commenced. A workshop will be conducted for City Council to consider the report in approximately 10 months.

Prepared by: Andrew Haussler, Assistant City Manager

Reviewed by: City Manager *AH*

CITY OF CLOVIS CONSULTANT SERVICE AGREEMENT

This Consultant Service Agreement ("Agreement") is entered into between the City of Clovis, a California general law city ("City") and Keyser Marston Associates, Inc., a California corporation ("Consultant") with respect to the following recitals. This Agreement shall be effective on the date the Agreement has been signed by both parties ("Effective Date").

RECITALS

- A. City desires to obtain services for the preparation of a study/report and associated services in connection with a mixed income zoning ordinance feasibility study ("Services") as described in the proposal from Consultant dated April 12, 2024, which is attached hereto as **Exhibit A** and incorporated herein by reference.
- B. Consultant is engaged in the business of furnishing the Services and hereby warrants and represents that it is qualified, licensed, and professionally capable of performing the Services.
- C. City desires to retain Consultant, and Consultant desires to provide the City with the Services, on the terms and conditions as set forth in this Agreement.

NOW, THEREFORE, in consideration of the promises and mutual agreements herein, City and Consultant agree as follows:

AGREEMENT

1. Scope of Services. Consultant shall perform the Services described in the Recitals and detailed in **Exhibit A** attached hereto. Changes in the scope of Services, including the work performed and/or deliverables produced, shall be made in writing and describe the changes in Services, including changes in the payment/costs and schedule/term, as applicable.
2. Priority and Conflicts; Exclusions. If the terms and requirements of this Agreement and **Exhibit A** conflict, this Agreement shall control. No contractual terms and/or conditions found in **Exhibit A** shall purport to waive, disclaim, or limit Consultant's liability, indemnification obligations, warranties, or insurance requirements, and any such provisions shall have no force or effect with respect to this Agreement and the Services performed by Consultant.
3. Term of Agreement; Commencement of Services; Schedule. The term of this Agreement shall commence on the Effective Date, and Consultant shall begin performing the Services on that date, unless otherwise instructed by City. Consultant shall complete the Services not later than April 30, 2025 ("Completion Date"), unless extended beyond this date by mutual consent of the Parties. This Agreement may be terminated prior to the Completion Date in accordance with Section 17 herein. Consultant shall perform the Services according to the estimated project timeline ("Schedule") set forth in **Exhibit A**. The Schedule may be subject to modification based on the City's operational needs, and City shall notify Consultant in writing in advance of any material modification to the Schedule.
4. Payment for Services. City shall pay Consultant for the Services performed pursuant to this Agreement according to the project budget set forth in **Exhibit A**. The total amount payable by City to Consultant for the Services performed under this Agreement shall not exceed One Hundred Thirty-Four Thousand Six Hundred Five Dollars (\$134,605.00). The foregoing is inclusive of all labor, equipment,

materials, costs and expenses, taxes, and overhead. City shall pay Consultant for Services satisfactorily performed pursuant to this Agreement. Consultant shall submit monthly invoices to City containing detailed billing information regarding the Services provided and City shall tender payment to Consultant within thirty (30) days after receipt of invoice.

5. Independent Contractor Status. Consultant and any subcontractors Consultant may engage shall perform the Services as independent contractors and not as officers, employees, agents or volunteers of City. Consultant is engaged in an independently established trade, occupation, or business to perform the Services required by this Agreement and is hereby retained to perform work that is outside the usual course of City's business. Consultant is free from the control and direction of City in connection with the manner of performance of the work. Nothing contained in this Agreement shall be deemed to create any contractual relationship between City and Consultant's employees or subcontractors, nor shall anything contained in this Agreement be deemed to give any third party, including but not limited to Consultant's employees or subcontractors, any claim or right of action against City.

6. Consultant Representations; Standard of Care; Compliance with Law. Consultant represents that Consultant and any subcontractors utilized by Consultant are and will be qualified in the field for which Services are being provided under this Agreement and Consultant and any subcontractors are now, and will be throughout their performance of the Services under this Agreement, properly licensed, certified, secured/bonded, trained, and/or otherwise qualified and authorized to perform the Services required and contemplated by this Agreement, as may be required by law. Consultant and its subcontractors shall utilize the standard of care and skill customarily exercised by members of their profession, shall use reasonable diligence and best judgment while performing the Services, and shall comply with all applicable laws, regulations, and industry standards.

7. Identity of Subcontractors and Sub-Consultants. Consultant shall, before commencing any Services under this Agreement, provide to City in writing: (a) the identity of all subcontractors and sub-consultants (collectively referred to as "subcontractors"), if any, Consultant intends to utilize in Consultant's performance of this Agreement; and (b) a detailed description of the full scope of work to be provided by such subcontractors. Consultant shall only employ subcontractors pre-approved by City and in no event shall Consultant replace an approved subcontractor without the advance written permission of City, with the understanding that City's permission will not be unreasonably withheld. Notwithstanding any other provisions in this Agreement, Consultant shall be liable to City for the performance of Consultant's subcontractors.

8. Subcontractor Provisions. Consultant shall include in its written agreements with its subcontractors, if any, provisions which: (a) impose upon the subcontractors the obligation to provide to City the same insurance and indemnity obligations that Consultant owes to City; (b) make clear that City intends to rely upon the reports, opinions, conclusions and other work product prepared and performed by subcontractors for Consultant; and (c) entitle City to impose upon subcontractors the assignment rights found elsewhere in this Agreement.

9. Power to Act on Behalf of City. Consultant is not acting as an agent of City and shall not have any right, power, or authority to create any obligation, express or implied, or make representations on behalf of City except as may be expressly authorized in advance in writing from time to time by City and then only to the extent of such authorization.

10. Record Keeping; Reports. Consultant shall keep complete records showing the type of Services performed. Consultant shall be responsible and shall require its subcontractors to keep similar records. City shall be given reasonable access to the records of Consultant and its subcontractors for inspection and audit purposes. Consultant shall provide City with a working draft of all reports upon reasonable written request by City and of all final reports prepared by Consultant under this Agreement.

11. *Intentionally omitted.*

12. Confidentiality. All data, tests, reports, analyses, documents, records, conclusions, opinions, recommendations and other work product generated by or produced for Consultant or any subcontractors in connection with the Services (“Work Product”) prepared and performed by and on behalf of Consultant in connection with the Services shall be kept confidential and shall be disclosed only to City, unless otherwise provided by law or expressly authorized by City. Consultant shall not disclose or permit the disclosure of any confidential information acquired during performance of the Services, except to its agents, employees and subcontractors who need such confidential information to properly perform their duties relative to this Agreement. Consultant shall also require its subcontractors to be bound by these confidentiality provisions.

13. City Name and Logo. Consultant shall not use City's name or insignia, photographs relating to the City projects or work for which Consultant's Services are rendered, or any publicity pertaining to the Consultant's Services under this Agreement in any magazine, trade paper, newspaper, television or radio production, internet website, social media, or other similar medium without the prior written consent of City.

14. Conflicts of Interest. Consultant warrants that neither Consultant nor any of its employees have an improper interest, present or contemplated, in the Services which would affect Consultant's or its employees' performance of the Services and the Work Product produced. Consultant further warrants that neither Consultant nor any of its employees have real property, business interests or income that will be affected by the Services. Consultant covenants that no person having any such interest, whether an employee or subcontractor shall perform the Services under this Agreement. During the performance of the Services, Consultant shall not employ or retain the services of any person who is employed by the City or a member of any City board or commission.

15. Non-liability of Officers and Employees. No officer or employee of City shall be personally liable to Consultant, or any successors in interest, in the event of a default or breach by City for any amount which may become due Consultant or its successor, or for any breach of any obligation under the terms of this Agreement.

16. City Right to Employ Other Consultants. Unless expressly stated otherwise in this Agreement, this Agreement and performance of the Services are non-exclusive and City reserves the right to employ other consultants in connection with the Services while this Agreement is in effect.

17. Termination of Agreement. This Agreement shall terminate as provided in Section 3, unless terminated earlier pursuant to the following:

a. Termination by City: For Convenience. City may at its discretion terminate this Agreement for convenience and without cause upon fourteen (14) days prior written notice to Consultant. Upon receipt of a termination notice pursuant to this subsection, Consultant shall promptly discontinue all Services affected, unless the notice directs otherwise.

b. Termination by City or Consultant: For Cause. Either party may terminate this Agreement upon twenty (20) days prior written notice to the other party of a material breach, and a failure within that time period to cure or commence reasonable steps to cure the breach.

c. Compensation to Consultant Upon Termination. Consultant shall be paid compensation for Services satisfactorily performed prior to notice of termination. As to any phase of Services described in the project budget in **Exhibit A** that is partially performed but for which the applicable portion of

Consultant's compensation has not become due, Consultant shall be paid the reasonable value of its Services provided. However, in no event shall such payment when added to any other payment due under the applicable part of the project budget exceed the total compensation of such part as specified in the project budget.

d. Effect of Termination. Upon termination of this Agreement, Consultant shall: (i) promptly discontinue all Services affected, unless the notice of termination directs otherwise; and (ii) deliver or otherwise make available to the City, without additional compensation, all Work Product and/or deliverables accumulated by the Consultant in performing the Services pursuant to this Agreement, whether completed or in process. Consultant may not refuse to provide such Work Product for any reason whatsoever.

18. Insurance. Consultant shall satisfy the insurance requirements set forth in **Exhibit B**.

19. Indemnity and Defense. Consultant hereby agrees to indemnify, defend and hold the City, its officials, officers, employees, and agents harmless from and against all claims, demands, causes of action, actions, damages, losses, expenses, and other liabilities (including without limitation reasonable attorney fees and costs of litigation) of every nature arising out of or in connection with the alleged or actual acts, errors, omissions or negligence of Consultant or its subcontractors relating to the performance of Services described herein to the fullest extent permitted by law, unless the injuries or damages are the result of City's sole negligence or willful misconduct, subject to any limitations imposed by law. Consultant and City agree that said indemnity and defense obligations shall survive the expiration or termination of this Agreement for any items specified herein that arose or occurred during the term of this Agreement.

20. Taxes. Consultant is responsible for the payment of all taxes, licenses, and fees levied or assessed by any governmental agency on Consultant incident to the performance of Services under this Agreement and the receipt of compensation from City for the Services, and Consultant shall not seek or be entitled to any additional compensation from City above the compensation described in Section 4 to satisfy its responsibilities under this Section.

21. Assignment. Neither this Agreement nor any duties or obligations hereunder shall be assignable by Consultant without the prior written consent of City. In the event of an assignment to which City has consented, the assignee shall agree in writing to personally assume and perform the covenants, obligations, and agreements herein contained. In addition, Consultant shall not voluntarily assign the payment of any monies due Consultant from City under the terms of this Agreement to any other individual, corporation, or entity. City retains the right to pay all monies due Consultant directly to Consultant.

22. Form and Service of Notices. Any and all notices or other communications required or permitted by this Agreement or by law to be delivered to, served upon, or given to either party to this Agreement by the other party shall be in writing and shall be deemed properly delivered, served or given by one of the following methods:

a. Personally delivered to the party to whom it is directed. Service shall be deemed the date of delivery.

b. Delivered by e-mail to a known address of the party to whom it is directed provided the e-mail is accompanied by an acknowledgment of receipt by the other party. Service shall be deemed the date of acknowledgement.

c. Delivery by a reliable overnight delivery service, with a retained receipt, addressed to the addressees set forth below the signatories to this Agreement. Service shall be deemed the date of delivery.

d. Delivery by deposit in the United States mail, first class, postage prepaid. Service shall be deemed delivered three (3) business days after deposit.

23. Entire Agreement. This Agreement, including the referenced Exhibits, represents the entire Agreement between City and Consultant regarding the Services and supersedes all prior negotiations, representations or agreements, either written or oral with respect to the subject matter herein. This Agreement may be amended only by written instrument signed by both City and Consultant.

24. Successors and Assigns. This Agreement shall be binding upon and shall inure to the benefit of the parties hereto and their respective successors and assigns.

25. Authority. The signatories to this Agreement warrant and represent that they have the legal right, power, and authority to execute this Agreement and bind their respective entities.

26. Severability. In the event any term or provision of this Agreement is declared to be invalid or illegal for any reason, this Agreement will remain in full force and effect and will be interpreted as though such invalid or illegal provision were not a part of this Agreement. The remaining provisions will be construed to preserve the intent and purpose of this Agreement and the parties will negotiate in good faith to modify any invalidated provisions to preserve each party's anticipated benefits.

27. Applicable Law and Interpretation and Venue. This Agreement shall be interpreted in accordance with the laws of the State of California. The language of all parts of this Agreement shall, in all cases, be construed as a whole, according to its fair meaning, and not strictly for or against either party. This Agreement is entered into by City and Consultant in the County of Fresno, California. Consultant shall perform the Services required under this Agreement in the County of Fresno, California. Thus, in the event of litigation, venue shall only lie with the appropriate state or federal court in Fresno County.

28. Amendments and Waiver. This Agreement shall not be modified or amended in any way, and no provision shall be waived, except in writing signed by the parties hereto. No waiver of any provision of this Agreement shall be deemed, or shall constitute, a waiver of any other provision, whether or not similar, nor shall any such waiver constitute a continuing or subsequent waiver of the same provision. Failure of either party to enforce any provision of this Agreement shall not constitute a waiver of the right to compel enforcement of the remaining provisions of this Agreement.

29. Third Party Beneficiaries. Nothing in this Agreement shall be construed to confer any rights upon any party not a signatory to this Agreement.

30. Execution in Counterparts. This Agreement may be executed in multiple counterparts such that the signatures may appear on separate signature pages. A copy or an original, with all signatures appended together, shall be deemed a fully executed Agreement.

31. Alternative Dispute Resolution. If a dispute arises out of or relating to this Agreement, or the alleged breach thereof, and if said dispute cannot be settled through negotiation, the parties agree first to try in good faith to settle the dispute by non-binding mediation before resorting to litigation. The mediator shall be mutually selected by the parties, but in case of disagreement, the mediator shall be selected by lot from among two nominations provided by each party. All costs and fees required by the mediator shall be split equally by the parties, otherwise each party shall bear its own costs of mediation.

If mediation fails to resolve the dispute within thirty (30) days, either party may pursue litigation to resolve the dispute.

Demand for mediation shall be in writing and delivered to the other party to this Agreement. A demand for mediation shall be made within reasonable time after the claim, dispute or other matter in question has arisen. In no event shall the demand for mediation be made after the date when institution of legal or equitable proceedings based on such a claim, dispute or other matter in question would be barred by California statutes of limitations.

32. Non-Discrimination. Consultant shall not discriminate on the basis of any protected class under federal or State law in the provision of the Services or with respect to any Consultant employees or applicants for employment. Consultant shall ensure that any subcontractors are bound to this provision. A protected class includes, but is not necessarily limited to race, color, national origin, ancestry, religion, age, sex, sexual orientation, marital status, and disability.

Now, therefore, the City and Consultant have executed this Agreement on the date(s) set forth below.

KEYSER MARSTON ASSOCIATES, INC.,
A California corporation

CITY OF CLOVIS

By: _____
David Doezema, Vice President

By: _____
John Holt, City Manager

Date: _____

Date: _____

Party Identification and Contact Information:

Consultant
Keyser Marston Associates, Inc.
Attn: David A. Doezema, Vice President
2130 Center Street, Suite 301
Berkeley, CA 94704

City of Clovis
Attn: John Holt, City Manager
1033 Fifth Street
Clovis, CA 93612

ATTEST

Andrew Haussler, Interim City Clerk

APPROVED AS TO FORM

Scott G. Cross, City Attorney

EXHIBIT A



KEYSER MARSTON ASSOCIATES

ADVISORS IN:
REAL ESTATE
AFFORDABLE HOUSING
ECONOMIC DEVELOPMENT

April 12, 2024

BERKELEY
DEBBIE M. KERN
DAVID DOEZEMA

Andy Haussler
Assistant City Manager
City of Clovis

LOS ANGELES
KATHLEEN H. HEAD
KEVIN E. ENGSTROM
JULIE L. ROMIEY
TIM BRETZ

1033 Fifth Street
Clovis, CA 93612

SAN DIEGO
PAUL C. MARRA
LINNIE GAVINO

Re: Proposed Scope of Services: Mixed Income Ordinance Feasibility Study and In-Lieu Fee Analysis

EMERITUS
A. JERRY KEYSER
TIMOTHY C. KELLY

Dear Mr. Haussler:

Keyser Marston Associates, Inc. (KMA) is pleased to provide the enclosed proposed scope of services for preparation of a feasibility study and in-lieu fee analysis to support consideration of a new Mixed Income Ordinance by the City of Clovis (“City”).

KMA has an extensive and distinguished track record in preparing financial feasibility, nexus studies, and in-lieu fee analyses for cities and counties throughout California. As a core area of the firm’s work, KMA is typically engaged in around half a dozen inclusionary assignments at any given time. We pride ourselves on the integrated approach we bring to these assignments, combining our firm’s core practice areas of real estate economics and affordable housing.

KMA’s understanding is that the City has entered into a settlement agreement that commits the City to the adoption of a new Mixed Income Ordinance within approximately one year and establishes certain parameters of a new program. The enclosed scope of services will result in the identification of feasible affordable unit percentages, at affordability levels consistent with the settlement agreement, for each of three geographic subareas of the City and for up to five residential project types. The scope also includes calculation of in-lieu fee amounts that reflect the cost of delivering required affordable units, consistent with the basis for in-lieu fees contemplated in the settlement agreement.

Andy Haussler
City of Clovis

April

AGENDA ITEM NO. 2.

Page 2

KMA is delighted to have an opportunity to assist the City of Clovis with this important work. Please contact me if you would like to discuss this proposal.

Sincerely,
KEYSER MARSTON ASSOCIATES, INC.



David Doezema

Enclosures

Attachment A – Proposed Scope of Services

Attachment B – Proposed Budget

Attachment C – KMA Public Client Rate Schedule

Attachment A

Proposed Scope of Services

Financial Feasibility Analysis

The following proposed scope of services is for Keyser Marston Associates, Inc. (KMA) to support the City of Clovis (City) with consideration of a proposed new Mixed Income Ordinance. The following major tasks are included:

- (1) **Financial Feasibility Analysis** – the feasibility analysis will evaluate the ability of new market rate residential developments to sustain mixed income housing requirements, including both on-site units and alternatives, such as in-lieu fees and construction of affordable units on alternative sites.
- (2) **In-Lieu Fee Analysis** – the in-lieu fee analysis will evaluate in-lieu fee levels that are sufficient to fully cover the estimated financing gap associated with providing affordable units in a separate 100% affordable project.
- (3) **Existing Unit Analysis** – the existing unit analysis will provide information on affordability of existing market rate housing and support a potential compliance option to acquire and deed-restrict existing units.
- (4) **Report** – KMA will prepare a report to present the analysis and findings.
- (5) **Stakeholder and Public Meetings** – KMA is available to present findings and respond to questions as part of stakeholder and public meetings.

A full description of each of these tasks follows.

(1) Financial Feasibility Analysis

KMA will prepare a real estate financial feasibility analysis to evaluate the feasibility of alternative mixed income housing requirements. Preparation of the analysis will entail the following:

Task a. Prototype Identification. KMA anticipates identifying up to five residential prototype projects that are reflective of recent and proposed residential development types in the City of Clovis and nearby communities such as Fresno. Prototypes will be distinguished in terms of product type (detached, attached, density, parking, etc.), size (bedrooms, square footage) and tenure (rental or ownership). To identify prototypes for the analysis, KMA will begin by reviewing materials on recent and proposed projects to be requested from City staff. KMA will then access

additional data sources on recently developed housing projects to identify the prototypical residential project types.

Task b. Geographic Subareas. The five prototypes will be evaluated as to rental income, sales prices, development costs, and supported land values or financial returns in up to three separate geographic subareas areas of the City. The purpose will be to reflect differences in the economics of development projects by location. Geographic areas will be defined following review of market data and development activity by geographic area.

Task c. Pro Forma Development. A real estate pro forma model will be created for each of the five prototype residential development types within each of the geographic subareas. Following is a description of the pro forma development process:

- *Rents and Sales Prices* – KMA will estimate market prices and rents for each of the five prototype development projects. Sales prices for new units currently being marketed for sale, data on recent market rate unit sales, and data on market rents for new and newer rental units will be used for this purpose. Data sources include commercial market data providers such as CoreLogic and CoStar, apartment and developer websites, and other sources. Affordable rents and sales prices will reflect the range of mixed income housing requirements being tested and will be consistent with the City’s settlement agreement in the Martinez case (“Settlement Agreement”).
- *Development Costs* – KMA will estimate the cost to develop each prototype residential project. Key current cost components include site improvements, vertical construction costs, parking costs, architectural and engineering fees, impact and planning fees, financing costs, overhead costs, and all other “indirect” costs of construction. These estimates will be based on KMA’s database of costs for other comparable projects, third party data sources such as RS Means, any pro forma information provided by local market-rate and affordable-housing developers, and published costs for recent 100% affordable projects, among other sources. It is assumed that the City will provide an estimate of applicable impact and permit fee requirements.
- *Warranted Investment and Financial Feasibility* – In order for a new development project to be financially feasible, the sales prices or projected net operating income must support a level of investment that exceeds the development costs and generate a return (profit) to the developer that adequately recognizes development risks. As a function of the large volume of projects KMA evaluates at any given time, we are well attuned to the developer return thresholds that are required by the private marketplace. To supplement our own sources, we also utilize third party sources to adjust developer return thresholds and cap rates, including Real Estate Research Corporation (RERC) and PwC, both of which provide regular updates on the housing market. Finally, local

property sales and the cap rates reflected in those sales are another key source that will be reviewed.

- *Market Rate Developer Cost of delivering affordable units on-site* – KMA will calculate a dollar per square foot amount that is equivalent to the cost of including required affordable units on-site as part of a market rate development project. The analysis will be based on the residential development prototypes, and the market pricing and rents established in the feasibility analysis. The analysis will calculate the forgone revenue experienced by the developer of a market rate project in setting aside affordable units within their projects. For rentals, the analysis is based on the difference in developer investment that can be supported by market rate rents as compared to affordable rents. This forgone developer revenue will be expressed in terms of an equivalent in-lieu fee amount. This analysis is useful for understanding whether the developer will be incentivized to choose an in-lieu fee option versus providing the units on-site within the Project.

Task d. Pro Forma Testing. Pro forma models developed in Task 1c for each of the prototype projects will be used to test a range of potential affordable housing requirements, including:

- Onsite mixed income housing requirements, ranging in terms of the percent of units to be set aside as affordable and the affordability level of the units (Very Low, Low, etc.), with the options to be evaluated consistent with the ordinance parameters identified in Section 2.e.ii. B and C of the Settlement Agreement.
- Delivery of affordable units in a stand-alone low-income housing tax credit project on- or off-site.

(2) In-Lieu Fee Analysis

KMA will prepare an analysis to identify in-lieu fees sufficient to cover the need for gap financing for off-site affordable units consistent with the in-lieu fee methodology prescribed by Section 2.e.i.C of the Settlement Agreement. The gap financing need will be estimated based on 100% affordable projects and the development costs and financing sources of recent local affordable projects. This gap financing amount will then be expressed in terms of the in-lieu fee amount that would need to be collected to fully fund the estimated financing gap to replace the affordable units that are not provided on-site.

(3) Acquisition and Rehab of Existing Units

KMA will provide analysis to support consideration of a potential option to acquire and place deed restrictions on existing units. The analysis will evaluate affordability levels associated with existing market rate for-sale and rental units and the gap between market rate and affordable rents and prices. Separate gap calculations will be prepared for an acquisition and rehab option to assist in the design of a program option of this nature.

(4) Report

KMA acknowledges that time is of the essence for performance of this agreement and will prepare a comprehensive report documenting the analyses and findings along with an executive summary. An administrative draft, public review draft, and final report will be provided consistent with the schedule outlined below.

(5) Meetings and Stakeholder Engagement

KMA participation in the following meetings is anticipated as part of the proposed scope. Meetings are assumed to be virtual except for public hearings.

- *Staff Meetings* – KMA will meet with City staff at key junctures in preparation of the study and to prepare for public and stakeholder meetings.
- *Facilitator Meetings* – KMA will participate in up to three meetings with City staff and the Facilitator group in connection with the meet and confer process contemplated by Section 2.e.iv of the Settlement Agreement.
- *Developer Interviews* – KMA will interview up to ten market rate and affordable developers, including at least three (3) non-profit affordable housing developers who have developed residential projects in the Fresno region. Developer interviews will help provide a deeper understanding of local development economics, affordable unit development costs, and unique considerations for developing in Clovis.
- *Public and Stakeholder Meeting Series 1* – KMA will participate in a series of public and stakeholder meetings concluding with an initial City Council meeting to discuss findings of the study. KMA participation in up to two stakeholder meetings, contemplated to include non-profit affordable housing developers, tenant advocates, market rate developers, civic or business advocates, and other interested parties. Two public hearings are assumed as part of this first series of meetings. Preparation of one PowerPoint presentation to be used for the meeting series is assumed.
- *Public and Stakeholder Meeting Series 2* – Following the drafting of a proposed ordinance that considers the findings of the study and input from the first series of public and stakeholder meetings, KMA will participate in a second series of public and stakeholder meetings to consider the proposed ordinance, concluding with an adoption hearing at the City Council. KMA participation in up to two stakeholder meetings and two public hearings is assumed.

Project Timeline

Below is an outline of key milestones and estimated timing.

Milestone	Estimated Timing
Contract Approval and Notice to Proceed	May 2024
Public Review Draft of Study	November 2024
Public / Stakeholder Meeting Series 1	November to January 2024
Ordinance Drafting (by City or outside counsel)	January to February 2025
Public / Stakeholder Meeting Series 2	February 2025 to March 2025

Attachment B Project Budget

KMA proposes to proceed with the scope of services on a time and materials basis within a not-to-exceed budget authorization of \$134,605 based on the estimate included in the table below.

	Sr. Principal	Associate	Admin	Total	BUDGET ESTIMATE
Hourly Rates	\$295	\$185	\$90		
Task 1. Financial Feasibility Analysis					
a. Prototypes and Submarkets	30	50	-	80	\$18,100
b. Base Case Pro Forma	60	80	-	140	\$32,500
c. Pro Forma Testing of Alternative Requirements	20	15	-	35	\$8,675
Subtotal	110	145	-	255	\$59,275
Task 2. In-Lieu Fee Analysis	30	20	-	50	\$12,550
Task 3. Acquisition and Rehab Analysis	15	20	-	35	\$8,125
Task 4. Report	50	10	6	66	\$17,140
Task 5. Meetings and Stakeholder Engagement					
a. Staff Meetings	20	-	-	20	\$5,900
b. Facilitator Meetings	6	-	-	6	\$1,770
c. Developer Interviews	15	-	-	15	\$4,425
d. Stakeholder and Public Meetings	76	-	-	76	\$22,420
Subtotal	117	-	-	117	\$34,515
Data Purchase Costs and Reimbursables					\$3,000
Grand Total	322	195	6	523	\$134,605

**ATTACHMENT C
KEYSER MARSTON ASSOCIATES, INC.
PUBLIC SECTOR HOURLY RATES**

	<u>2023/2024</u>
CHAIRMAN, PRESIDENT, MANAGING PRINCIPALS*	\$305.00
SENIOR PRINCIPALS*	\$295.00
PRINCIPALS*	\$275.00
MANAGERS*	\$245.00
SENIOR ASSOCIATES	\$205.00
ASSOCIATES	\$185.00
SENIOR ANALYSTS	\$170.00
ANALYSTS	\$145.00
TECHNICAL STAFF	\$105.00
ADMINISTRATIVE STAFF	\$90.00

Directly related job expenses not included in the above rates are: auto mileage, parking, air fares, hotels and motels, meals, car rentals, taxis, telephone calls, delivery, electronic data processing, graphics and printing. Directly related job expenses will be billed at 110% of cost.

Monthly billings for staff time and expenses incurred during the period will be payable within thirty (30) days of invoice date.

* Rates for individuals in these categories will be increased by 50% for time spent in court testimony.

EXHIBIT B

INSURANCE REQUIREMENTS

Prior to commencement of the Services, Consultant shall take out and maintain at its own expense the insurance coverage required by this **Exhibit B**. Consultant shall cause any subcontractor with whom Consultant contracts for the performance of Services pursuant to this Agreement to take out and maintain equivalent insurance coverage. Said insurance shall be maintained at all times during Consultant's performance of Services under this Agreement, and for any additional period specified herein. All insurance shall be placed with insurance companies that are licensed and admitted to conduct business in the State of California and are rated at a minimum with an "A:VII" by A.M. Best Company, unless otherwise acceptable to the City.

a. Minimum Limits of Insurance. Consultant shall maintain the following types of insurance with limits no less than specified:

(i) General Liability Insurance (including operations, products and completed operations coverages) in an amount not less than \$2,000,000 per occurrence for bodily injury, personal injury and property damage. If Commercial General Liability insurance or other form with a general aggregate limit is used, either the general aggregate limit shall apply separately to this project/location (ISO CG 25 03 or 25 04) or the general aggregate limit shall be twice the required occurrence limit.

(ii) Worker's Compensation Insurance as required by the State of California.

(iii) Automobile Liability Insurance in an amount not less than \$1,000,000 per accident for bodily injury and property damage.

(iv) Umbrella or Excess Liability. In the event Consultant purchases an Umbrella or Excess insurance policy(ies) to meet the "Minimum Limits of Insurance," this insurance policy(ies) shall "follow form" and afford no less coverage than the primary insurance policy(ies). In addition, such Umbrella or Excess insurance policy(ies) shall also apply on a primary and non-contributory basis for the benefit of the City, its officers, officials, employees, agents and volunteers.

If Consultant maintains higher limits than the minimums shown above, the City shall be entitled to coverage at the higher limits maintained.

b. Other Insurance Provisions. The general liability policy is to contain, or be endorsed to contain, the following provisions:

(i) The City, its officers, officials, employees, agents, and volunteers are to be covered as insured's with respect to liability arising out of automobiles owned, leased, hired or borrowed by or on behalf of the Consultant; and with respect to liability arising out of work or operations performed by or on behalf of the Consultant including materials, parts or equipment furnished in connection with such work or operations. General liability coverage can be provided in the form of an endorsement to the Consultant's insurance (at least as broad as ISO Form 20 10 11 85 or both CG 20 10, CG 20 26, CG 20 33 or CG 20 38; and CG 20 37 forms if later revisions used).

(ii) For any claims related to the Services performed pursuant to this Agreement, the Consultant's insurance coverage shall be primary insurance as respects the City, its officers, officials, employees, agents, and volunteers. Any insurance or self-insurance maintained by the City, its officers,

officials, employees, agents or volunteers shall be excess of the Consultant's insurance and shall not contribute with it.

(iii) Each insurance policy required by this section shall be endorsed to state that the City shall receive written notice at least thirty (30) days prior to the cancellation, non-renewal, or material modification of the coverages required herein.

(iv) Consultant grants to the City a waiver of any right to subrogation which any insurer of said Consultant may acquire against the City by virtue of the payment of any loss under such insurance. Consultant agrees to obtain any endorsement that may be necessary to affect this waiver of subrogation, but this provision applies regardless of whether or not the City has received a waiver of subrogation endorsement from the insurer.

(v) Any deductibles or self-insured retentions must be declared to and approved by the City of Clovis Risk Services. The City may require the Consultant to purchase coverage with a lower deductible or retention or provide proof of ability to pay losses and related investigations, claim administration, and defense expenses within the retention.

c. Evidence of Coverage. Consultant shall deliver to City written evidence of the above insurance coverages, including the required endorsements prior to commencing Services under this Agreement; and the production of such written evidence shall be an express condition precedent, notwithstanding anything to the contrary in this Agreement, to Consultant's right to be paid any compensation under this Agreement. City's failure, at any time, to object to Consultant's failure to provide the specified insurance or written evidence thereof (either as to the type or amount of such insurance), shall not be deemed a waiver of City's right to insist upon such insurance later.

d. Maintenance of Insurance. If Consultant fails to furnish and maintain the insurance required by this section, City may (but is not required to) purchase such insurance on behalf of Consultant, and the Consultant shall pay the cost thereof to City upon demand, and City shall furnish Consultant with any information needed to obtain such insurance. Moreover, at its discretion, City may pay for such insurance with funds otherwise due Consultant under this Agreement.

e. Subcontractors. If the Consultant should subcontract all or any portion of the work to be performed in this Agreement, the Consultant shall cover the subcontractor, and/or require each subcontractor to adhere to all the requirements contained herein. Similarly, any cancellation, lapse, reduction or change of subcontractor's insurance shall have the same impact as described above.

f. Special Risks or Circumstances. The City reserves the right to modify these requirements, including limits, based on the nature of the risk, prior experience, insurer, coverage, or other special circumstances.

g. Indemnity and Defense. Except as otherwise expressly provided, the insurance requirements in this section shall not in any way limit, in either scope or amount, the indemnity and defense obligations separately owed by Consultant to City under this Agreement.



CITY *of* CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Administration

DATE: May 6, 2024

SUBJECT: Administration - Receive and File – Economic Development Corporation Serving Fresno County Quarterly Report, Jan. 1, 2024 – Mar. 31, 2024.

ATTACHMENTS: 1. EDC Quarter 3 Report, January 1, 2024 – March 31, 2024

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

That the City of Clovis receive and file the Quarter 3 Report, January – March 2024, from the Economic Development Corporation Serving Fresno County.

EXECUTIVE SUMMARY

The Economic Development Corporation serving Fresno County (EDC) has submitted their Quarter 3 Report of activities for the City Council to receive and file, as required per the 2023-2024 Agreement with the City.

BACKGROUND

In the summer of 2023, the City of Clovis and the EDC entered into a contract for the 2023-2024 fiscal year to provide regional marketing and business services to Clovis businesses. The contract provides for \$40,000 in baseline funding and provides \$10,000 for focused outreach and project support for the City of Clovis in developing the Five Year Comprehensive Economic Development Strategy plan update. This allows Clovis to be part of a regional effort in attracting commercial and industrial businesses to Clovis. Attached is a report detailing the progress of their activities to provide information to industrial/commercial representatives not currently located in Clovis for recruiting purposes, and to continue to assist existing Clovis businesses with informational and/or technical assistance to access statewide business support programs.

Highlights of the EDC quarterly report include:

LOCAL BUSINESS OUTREACH

In Q3 2024, EDC staff has spent over 79 hours working directly with 18 Clovis businesses

Here are a few we would like to spotlight:

Anlin Windows and Doors

Fresno County EDC staff is working with Anlin Windows & Doors to connect them with workforce development resources and incentives, namely the New Employment Opportunities (NEO) Program, Good Jobs Challenge Grant, and PG&E’s Economic Development Rate. Additionally, we are providing them a wage analysis that will help them understand how competitive their compensation packages are in the labor market and how they might adjust to accommodate a fluctuating talent pool.

CLIENTS SERVED

- 2 Hands Corn Dogs
- A Mind Above
- Accounting America
- Affordable Site Model
- AMA Management, Inc.
- Ano-Tech Metal Finishing inc.
- Big Bear Apparel
- CALBEC Group
- Circle Automotive
- City of Clovis
- Clovis Stone Masonry & Landscape
- Denny’s #9549
- Elite Team Offices, Inc
- Facelogic Spa
- Going Places
- Paul Halajian Architects
- SMS Services Inc.
- Wawona Frozen Foods

Q3 2024 BY THE NUMBERS

\$150,000

in funding secured from the EDA to develop the County CEDS

18 Clients served in Q3 2024

11 New Business leads generated using Gazelle.Ai

15
Active NEO Businesses

5
NEO Job Placements

\$22,000
in NEO wage reimbursements

FISCAL IMPACT

The City will forward the Quarter 3 installment payment to EDC. The funds were budgeted in the 2023-2024 fiscal year budget.

REASON FOR RECOMMENDATION

The attached report meets the requirement established in the 2023-2024 Agreement between the EDC and the City of Clovis.

ACTIONS FOLLOWING APPROVAL

Staff will file the report.

Prepared by: Chad McCollum, Economic Development, Housing and Communications Director

Reviewed by: City Manager *AAH*



FRESNO COUNTY ECONOMIC DEVELOPMENT CORPORATION

Quarterly Activity Report
Quarter 3, FY 2023-2024



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GOOD JOBS CHALLENGE - HR SPECIALIST PROGRAM

In collaboration with the State Center for Community Colleges and hosted at Clovis Community College's Herndon Campus, this initiative caters to Good Jobs clients and Welfare-to-Work participants. The training will equip participants with essential office skills, fundamental HR knowledge, and provide externship placements that could foster pathways to permanent employment. There are currently 18 students enrolled in the program, including four individuals displaced by the closure of Prima Wawona.

BUSINESS ATTRACTION

Fresno County EDC facilitated 7 leads in Q3; with 3 shown Clovis properties. Property is a key consideration for lead activity.

Med Tech Manufacturer

Fresno County EDC is working with a Bay Area medical device company that has been recently awarded a contract by Valley Children's Hospital. The company specializes in medical diagnostic technology and imports their equipment from Singapore. EDC will be assisting with site selection; the company requires 10,000 sf of distribution space but would also like to find additional space to onshore their manufacturing arm. During the initial meeting, the client was excited to hear about Clovis' interest in companies such as his. In addition to site selection, EDC will provide incentive and workforce information, the company will employ 10 staff initially (warehouse, office, logistics, engineers) and scale up to about 50.

AI-Enabled Attractions

Gazelle AI identifies companies with a high probability of future expansion, along with the key decision makers behind them, allowing economic developers to proactively engage with companies with the highest potential for conversion. Gazelle takes a unique approach to lead generation in that it primarily utilizes AI and machine learning models to predict company growth based on a variety of key indicators.



GAZELLE.AI

This past quarter, we leveraged Gazelle AI while attending trade shows such as the Sacramento Food Processing Expo, World Ag Expo, and most recently, ICSC Monterey to maximize our time in attendance and ensure our team is engaging with the right companies at the right time.

Using Gazelle alongside our in-house industry cluster analyses allows us to identify strong candidates for business attraction that are compatible with Clovis's existing industry clusters. This past quarter, we identified 11 potential leads which include top-scoring companies in the medical equipment and supplies manufacturing industries. According to Gazelle's verified projects database, each of these MedTech companies has an established U.S. footprint and is seeking to expand their operations in the near term.

CLOVIS CHAMBER (EDR OVERVIEW)

The EDC sees our partnership with the Chamber as a vital component of providing assistance to local businesses in Clovis. We are working on providing information on various incentives and resources at Chamber events throughout the year; The first of these collaborations will revolve around PG&E's Economic Development Rate.

CLOVIS BROKER MIXER

In partnership with Heritage Development Company, Retail California, Newmark Pearson Commercial, and the City of Clovis, Fresno County EDC supported a commercial and retail mixer for brokers at The Row Residencies Clubhouse. This event featured preliminary plan reviews for the Heritage Grove development, as well as an opportunity to meet the leadership teams and learn about community vision planning. EDC staff connected with Vincent Ricchiuti of PR Farms. At a follow-up meeting, we discussed retailers to target in our business attraction efforts for The Avenue at Heritage Grove development.

REGIONAL INITIATIVES

Positioning Fresno County for Semiconductor Expansion

Fresno County EDC staff continues to work alongside the City of Clovis to expand opportunities within the semiconductor industry. Local efforts have led to introductions to Ajit Manocha, Global President/CEO of SEMI, to visit in Q3. SEMI is a global association comprised of 3,000-member semiconductor companies that are committed to advancing global electronics design and manufacturing supply chain.

In February, Mr. Manocha visited Fresno State, alongside President Jimenez-Sandoval, Fresno County EDC, faculty and industry partners. This meeting fostered conversation about investments underway in the region, including:

- local incentives (including a new recruitment initiative leveraging the Creating Helpful Incentives to Promote Semiconductors (CHIPS) Act funding),
- university assets,
- future available real estate, such as Clovis' NE growth area
- Federally funded workforce development programs that can be tailored to meet industry needs.



Mr. Manocha valued the information and provided updates on SEMI's plans to support the semiconductor industry growth, which is slated to surpass \$1 trillion by 2030. Following, a delegation was invited to visit Semi's headquarters in Milpitas, California in April. City of Clovis leadership will be joining President/CEO Will Oliver on this visit where further discussion of market opportunities in the regional semiconductor supply chain and potential of establishing a triangle public-private industry partnership will continue.

FY 23-24 Overview of Work Product	Deliverables	FY 2023 – 2024 Target Outcomes	FY24 YTD
<p>Economic Development Corporation Serving Fresno County</p> <p>Contract: \$40,000</p> <p>Comprehensive Economic Development Strategy</p> <p>Phase 1: \$10,000 - Plan Participation and Outreach</p> <p>Staff:</p> <p>President & CEO Will Oliver</p> <p>VP of Workforce Development Chris Zeitz</p> <p>Director of Business Services Lauren Nikkel</p>	<p>Business Retention:</p> <ul style="list-style-type: none"> • Provide informational resources and technical assistance to retain and expand existing Clovis businesses. • The Economic Development team will work towards fostering a closer working relationship with local business associations to enhance the accessibility of EDC’s services to City employers. <p>New Business Recruitment: Facilitate information and conduct tours for company representatives not currently located in Clovis for the purpose of recruiting new businesses to the City of Clovis. Assist the City of Clovis in promoting future industrial areas and existing industrial sites to new clients.</p> <ul style="list-style-type: none"> • Coordinate virtual and in-person site tours for the purpose of business attraction and expansion. • Create and update marketing materials. • Support in-person or virtual commercial and industrial broker events for the City of Clovis. • Communicate leads status during monthly EDC – City of Clovis meeting. • Assist the City in preparing for, and conducting, proactive targeted outreach to companies identified in the Clovis Comparison Healthcare 	Respond to all City of Clovis business inquires and connect them to appropriate resources	<p>33 Clients Served</p>
		New Business Leads	<p>17 New Business Leads</p>
		Outreach and project support for 5 Year CEDS Update	Ongoing
		Economic Profile Update	Completed
		Targeted HCA Outreach	Ongoing

	<p>Analysis, or other business prospecting tools, if available.</p> <p>Comprehensive Economic Development Strategy Participation and Engagement Planning for the County of Fresno Comprehensive Economic Development Five Year Update is set to occur beginning in 2023. EDC will partner with the City in providing focused outreach and project support to ensure the City's goals and objectives are included in the CEDS update.</p>		
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ATTACHMENT 1



CITY *of* CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Fire Department

DATE: May 6, 2024

SUBJECT: Fire – Approval – Authorizing the City Manager to Enter into an Agreement with the Central California Emergency Medical Services Agency for the provision of Fire Department Dispatch Services from July 1, 2024, through June 30, 2027, in the amount of \$1,309,203.00.

ATTACHMENTS: 1. 2024-2027 Agreement for Dispatch Services

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

For the City Council to authorize the City Manager to enter into an agreement with the Central California EMS Agency for Fire Department dispatch services for the period of July 2024 - June 2027.

EXECUTIVE SUMMARY

Since May of 2007, the Fire Department has contracted with Central California Emergency Medical Services Agency (CCEMSA) to provide emergency communication dispatch services for all fire department calls. CCEMSA's dispatch center works in coordination with the Clovis Police Dispatch center. The proposed contract would renew our contract which has been in place since 2007. The current existing contract expires June 30, 2024. The proposed contract is for a three-year term starting in July 2024 and ending June 2027.

BACKGROUND

In August 2006, the Clovis Fire Department sought out solutions to emergency communication problems that were overloading the Clovis Police Department's Communications Center and to improve community and responder safety through a more regionalized dispatch system. On March 19, 2007, the City Council approved a one-year contract with CCEMSA to provide emergency communication/dispatch services to the Clovis Fire Department. Since 2007, the Fire Department has contracted with CCEMSA for dispatch services. This agreement has been

renewed several times with the last renewal in 2021. The current agreement terminates on June 30, 2024.

CCEMSA subcontracts the labor for this service to American Ambulance, who is the local ambulance provider for Fresno County. One of American Ambulance's primary roles as the exclusive ambulance provider to Fresno County is to staff and operate the Fresno County EMS Communications Center. In this relationship, American Ambulance provides personnel, supervision, and management. The County of Fresno is responsible for the infrastructure and equipment, which includes IT/GIS support, maintenance and support of radios, telephones, computer-aided dispatch systems, dispatch consoles, workstations, paging/alerting systems and the oversight of dispatch policy and procedures for the EMS Communications Center. The City of Clovis remains responsible for our own radios, IT/GIS, telephone, mobile data computers and related policies. In March of 2021, the EMS Communications Center was moved from the City of Fresno to the City of Clovis. Having the dispatch center within the city limits enables Fire Department staff to attend meetings with their staff while still being available for emergency response locally which improves service to the Fire Department and all our citizens in turn.

Provisions within the new contract provide the following additional benefits to the City of Clovis:

1. The new contract includes performance measures that must be met each month to receive full payment. These measurements include call processing and dispatch processing time standards to ensure the best possible service to the citizens of Clovis. Service that does not meet performance standards will result in a credit back to the City of Clovis.
2. The maximum compensation payable to County under the performance of this Agreement is as follows:
 - For the period of July 1, 2024, through June 30, 2025, the amount of this Agreement shall not exceed Three Hundred Eighty-Nine Thousand Two Hundred Seventy-Three and 00/100 Dollars (\$389,273.00).
 - For the period of July 1, 2025, through June 30, 2026, the amount of this Agreement shall not exceed Four Hundred Thirty-Five Thousand Nine Hundred Eighty-Six and 00/100 Dollars (\$435,986.00).
 - For the period of July 1, 2026, through June 30, 2027, the amount of this Agreement shall not exceed Four Hundred Eighty-Three Thousand Nine Hundred Forty-Four and 00/10 Dollars (\$483,944.00).

These numbers reflect an increase to our current contract pricing. For the 2021-2024 contract, the annual fee was \$347,656.00. During negotiations, a proposed increase of 29% was proposed for year one, with minor increases for the proceeding years of 3% and 2%, respectively. To ease the burden on the City, the contract was renegotiated to the currently proposed rates. The increase is now spread more evenly over the three years of the proposed contract.

The proposed contract increases are due to the increased costs related to inflation and personnel.

FISCAL IMPACT

The annual cost for this service will increase to \$389,273 in 2024/25, to \$435,986 in 2025/26, and to \$483,944 in 2026/27 over the next three years and will be included in the 2024/25 Fire Department budget request.

REASON FOR RECOMMENDATION

Clovis Fire Department has evaluated local emergency communications options and determined Fresno County EMS provides the best value to the City of Clovis at this time.

ACTIONS FOLLOWING APPROVAL

The contract will be provided to the City Manager for signature and a fully executed copy of the contract will be procured for record retention.

Prepared by: Chris Ekk, Fire Chief

Reviewed by: City Manager *AA*

Exhibit A

AGREEMENT

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This Service Agreement (“Agreement”) is dated _____ and is between the City of Clovis, a California Municipal Corporation (“City”), and the County of Fresno, a political subdivision of the State of California (“County”).

Recitals

A. City receives calls requesting City’s Fire Department (“City Fire”) for emergency services and emergency medical first responder services (“EMS”).

B. City transfers those calls for EMS to County’s EMS Communications Center for dispatching the appropriate emergency ambulances and equipment.

C. City FIRE continues to desire to receive dispatching services for fire suppression calls, which may include dispatching of non-transport first responder services, (collectively, “City Fire Dispatching Services”) from County’s EMS Communications Center.

D. County has provided dispatching services for City since May 1, 2007.

E. It is to the mutual benefit and in the best interest of the parties hereto to have a combined EMS and City Fire Dispatching Service for the purpose of providing improved services to the public.

F. It is a goal of County and City to maintain consolidated dispatching services in Fresno County.

G. It has been determined by City and County that there is a need to provide EMS dispatching services and City Fire Dispatching Services through a centralized and combined effort by County’s EMS Communications Center and City Fire.

H. County’s EMS Communications Center is staffed and operated by K.W.P.H. Enterprises, doing business as American Ambulance, a California Corporation (“Provider”) through that certain Emergency Medical Services and Provider Agreement for Emergency Ambulance Services, dated May 16, 2017 (County Agreement No. 17-218), by and between County and Provider, including all amendments thereto (the “EMS Provider Agreement”).

The parties therefore agree as follows:

Exhibit A

Article 1

City’s Responsibilities

1.1 The City shall perform all of the services provided in Exhibit A to this Agreement, titled “City’s Responsibilities.”

1.2 **Representation.** The City represents that it is qualified, ready, willing, and able to perform all of the services provided in this Agreement.

1.3 **Compliance with Laws.** The City shall, at its own cost, comply with all applicable federal, state, and local laws and regulations in the performance of its obligations under this Agreement, including but not limited to workers compensation, labor, and confidentiality laws and regulations.

Article 2

County’s Services

2.1 The County shall perform all of the services provided in Exhibit B to this Agreement titled “County’s Services.”

2.2 **Representation.** The County represents that it is qualified, ready, willing, and able to perform all of the services provided in this Agreement.

Article 3

Compensation, Invoices, and Payments

3.1 For County’s performance of Fire Dispatching Services herein, City agrees to pay, and the County agrees to receive, compensation for the performance of its services under this Agreement according to Exhibit C to this Agreement, titled “Compensation.”

3.2 **Maximum Compensation.** The maximum compensation payable to County under the performance of this Agreement is as follows:

For the period of July 1, 2024 through June 30, 2025, the amount of this Agreement shall not exceed Three Hundred Eighty-Nine Thousand Two Hundred Seventy-Three and 00/100 Dollars (\$389,273.00).

1 For the period of July 1, 2025 through June 30, 2026, the amount of this Agreement
2 shall not exceed Four Hundred Thirty-Five Thousand Nine Hundred Eighty-Six and 00/100
3 Dollars (\$435,986.00).

4 For the period of July 1, 2026 through June 30, 2027, the amount of this Agreement
5 shall not exceed Four Hundred Eighty-Three Thousand Nine Hundred Fourty-Four and 00/10
6 Dollars (\$483,944.00).

7 3.3 **Performance Standards.** In the event County fails to comply with the performance
8 standards identified within this Agreement, City may begin to withhold Two Hundred Fifty and
9 No/100 Dollars (\$250.00) per day until such time as the non-compliance has been corrected to
10 the satisfaction of the City Fire Chief and the County EMS Director. City must provide County
11 EMS Director with a written notice of non-compliance. Said withholdings may begin thirty (30)
12 days after receipt of notice if non-compliance has not been cured.

13 3.4 **Invoices.** County shall invoice City monthly, addressed to the City of Clovis Fire
14 Department, 1233 Fifth Street, Clovis, California, 93612, Attention: Fire Chief

15 3.5 **Payment.** Payments by City shall be in arrears, for services provided during the
16 preceding month, within forty-five (45) days after receipt and verification of County’s invoices by
17 City Fire. All payments shall be remitted to County at the following address: County of Fresno,
18 Department of Public Health – Emergency Medical Services Division, P.O. Box 11867, Fresno,
19 California, 93775.

20 3.6 **Incidental Expenses.** The City is solely responsible for all of its costs and expenses
21 that are not specified as payable by the County under this Agreement.

22 **Article 4**

23 **Term of Agreement**

24 4.1 **Term.** This Agreement is effective on July 1, 2024 and terminates on June 30, 2027,
25 except as provided in Article 6, “Termination and Suspension,” below.

26 4.2 **Data Upon Termination.** When this Agreement terminates, County shall promptly
27 provide City with the data generated through the Fire Dispatching Services provided herein in a
28 commonly usable electronic format.

Exhibit A

Article 5

Notices

5.1 **Contact Information.** The persons and their addresses having authority to give and receive notices provided for or permitted under this Agreement include the following:

For the County:
Director, Department of Public Health
County of Fresno
P.O. Box 11867
Fresno, CA 93775
CCEMSA@fresnocountyca.gov
Fax: (559) 600-7691

For the City:
City of Clovis
Attn: City Manager
1033 Fifth Street
Clovis, CA 93612

5.2 **Change of Contact Information.** Either party may change the information in section 5.1 by giving notice as provided in section 5.3.

5.3 **Method of Delivery.** Each notice between the County and the City provided for or permitted under this Agreement must be in writing, state that it is a notice provided under this Agreement, and be delivered either by personal service, by first-class United States mail, by an overnight commercial courier service, by telephonic facsimile transmission, or by Portable Document Format (PDF) document attached to an email.

(A) A notice delivered by personal service is effective upon service to the recipient.

(B) A notice delivered by first-class United States mail is effective three County business days after deposit in the United States mail, postage prepaid, addressed to the recipient.

(C) A notice delivered by an overnight commercial courier service is effective one County business day after deposit with the overnight commercial courier service, delivery fees prepaid, with delivery instructions given for next day delivery, addressed to the recipient.

1 (D) A notice delivered by telephonic facsimile transmission or by PDF document
2 attached to an email is effective when transmission to the recipient is completed (but, if
3 such transmission is completed outside of County business hours, then such delivery is
4 deemed to be effective at the next beginning of a County business day), provided that
5 the sender maintains a machine record of the completed transmission.

6 5.4 **Claims Presentation.** For all claims arising from or related to this Agreement,
7 nothing in this Agreement establishes, waives, or modifies any claims presentation
8 requirements or procedures provided by law, including the Government Claims Act (Division 3.6
9 of Title 1 of the Government Code, beginning with section 810).

10 **Article 6**

11 **Termination and Suspension**

12 6.1 **Termination for Non-Allocation of Funds.** The terms of this Agreement are
13 contingent on the approval of funds by the appropriating government agency. If sufficient funds
14 are not allocated, then either party may:

- 15 (A) Modify the services provided under this Agreement; or
- 16 (B) Terminate this Agreement by the non-appropriating governmental agency giving
17 the other party at least ninety (90) days advance written notice of an intention to
18 terminate.

19 6.2 **Termination for Breach.**

20 (A) Upon determining that a breach (as defined in paragraph (C) below) has
21 occurred, the County may give written notice of the breach to the City. The written notice
22 may suspend performance under this Agreement, and must provide at least 30 days for
23 the City to cure the breach.

24 (B) If the City fails to cure the breach to the County’s satisfaction within the time
25 stated in the written notice, the County may terminate this Agreement immediately.

26 (C) For purposes of this section, a breach occurs when, in the determination of the
27 County, the City has:

- 28 (1) Obtained or used funds illegally or improperly;

Exhibit A

- (2) Failed to comply with any part of this Agreement;
- (3) Submitted a substantially incorrect or incomplete report to the County; or
- (4) Improperly performed any of its obligations under this Agreement.

6.3 **Termination without Cause.** Under circumstances other than those set forth above, this Agreement may be terminated by City or County upon giving the other party at least ninety (90) days advance written notice of an intention to terminate.

6.4 **No Penalty or Further Obligation.** Any termination of this Agreement by the County under this Article 6 is without penalty to or further obligation of the County.

6.5 **County’s Rights upon Termination.** City shall compensate or provide funding to County for Fire Dispatching Services performed prior to termination of this Agreement. This section survives the termination of this Agreement.

Article 7

Independent Contractor

7.1 **Status.** In performing under this Agreement, the County, including its officers, agents, employees, and volunteers, is at all times acting and performing as an independent contractor, in an independent capacity, and not as an officer, agent, servant, employee, joint venturer, partner, or associate of the City.

7.2 **Verifying Performance.** The City has no right to control, supervise, or direct the manner or method of the County’s performance under this Agreement, but the City may verify that the County is performing according to the terms of this Agreement.

7.3 **Benefits.** Because of its status as an independent contractor, the County has no right to employment rights or benefits available to City employees. The County is solely responsible for providing to its own employees all employee benefits required by law. The County shall save the City harmless from all matters relating to the payment of County’s employees, including compliance with Social Security withholding and all related regulations.

7.4 **Services to Others.** The parties acknowledge that, during the term of this Agreement, the County may provide services to others unrelated to the City.

Exhibit A

Article 8

Indemnity and Defense

1 **8.1 Indemnity by City.** The City shall indemnify and hold harmless and defend the
2 County (including its officers, agents, employees, and volunteers) against all claims, demands,
3 injuries, damages, costs, expenses (including attorney fees and costs), fines, penalties, and
4 liabilities of any kind to the County, the City, or any third party that arise from or relate to the
5 performance or failure to perform by the City (or any of its officers, agents, subcontractors, or
6 employees) under this Agreement. The County may conduct or participate in its own defense
7 without affecting the City's obligation to indemnify and hold harmless or defend the County.
8

9 **8.2 Indemnity by County.** The County shall indemnify and hold harmless and defend
10 the City (including its officers, agents, employees, and volunteers) against all claims, demands,
11 injuries, damages, costs, expenses (including attorney fees and costs), fines, penalties, and
12 liabilities of any kind to the City, the County, or any third party that arise from or relate to the
13 performance or failure to perform by the County (or any of its officers, agents, subcontractors,
14 employees, or Provider) under this Agreement. The City may conduct or participate in its own
15 defense without affecting the County's obligation to indemnify and hold harmless or defend the
16 City.
17

18 **8.3 Concurrent Negligence.** In the event of concurrent negligence on the part of County
19 or any of its officers, agents or employees, or Provider, and of City or any of its officers, agents,
20 or employees, the liability for any and all such claims, demands and actions in law or equity for
21 such costs and expenses (including attorneys' fees and costs), damages, and losses shall be
22 apportioned under the State of California's theory of comparative negligence as presently
23 established or as may be modified hereafter.

24 **8.4 Survival.** This Article 8 survives the termination of this Agreement.

Article 9

Insurance

25 **9.1** The Parties shall comply with all the insurance requirements in Exhibit D to this
26 Agreement.
27
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Exhibit A

Article 10

Inspections, Audits, and Public Records

10.1 **Inspection of Documents.** During the term of this Agreement and for a period of three (3) years after final payment under this Agreement, each party shall at any time during business hours, and as often as the other party may deem necessary, make available to the other party for examination all of the party’s records and data with respect to the matters covered by this Agreement. During the same period of time, each party shall also, upon request by the other party, permit the other party to audit and inspect all such records and data necessary to ensure the party’s compliance with the terms of this Agreement.

10.2 **State Audit Requirements.** If the compensation under this Agreement exceeds \$10,000, the County is subject to the examination and audit of the California State Auditor, as provided in Government Code section 8546.7, for a period of three years after final payment under this Agreement.

10.3 **Public Records.** The County is not limited in any manner with respect to its public disclosure of this Agreement or any record or data that the City may provide to the County. The County’s public disclosure of this Agreement or any record or data that the City may provide to the County may include but is not limited to the following:

(A) The County may voluntarily, or upon request by any member of the public or governmental agency, disclose this Agreement to the public or such governmental agency.

(B) The County may voluntarily, or upon request by any member of the public or governmental agency, disclose to the public or such governmental agency any record or data that the City may provide to the County, unless such disclosure is prohibited by court order.

(C) This Agreement, and any record or data that the City may provide to the County, is subject to public disclosure under the Ralph M. Brown Act (California Government Code, Title 5, Division 2, Part 1, Chapter 9, beginning with section 54950).

Exhibit A

1 (D) This Agreement, and any record or data that the City may provide to the County,
2 is subject to public disclosure as a public record under the California Public Records Act
3 (California Government Code, Title 1, Division 7, Chapter 3.5, beginning with section
4 6250) ("CPRA").

5 (E) This Agreement, and any record or data that the City may provide to the County,
6 is subject to public disclosure as information concerning the conduct of the people's
7 business of the State of California under California Constitution, Article 1, section 3,
8 subdivision (b).

9 (F) Any marking of confidentiality or restricted access upon or otherwise made with
10 respect to any record or data that the City may provide to the County shall be
11 disregarded and have no effect on the County's right or duty to disclose to the public or
12 governmental agency any such record or data.

13 **10.4 Public Records Act Requests.** If the County receives a written or oral request
14 under the CPRA to publicly disclose any record that is in the City's possession or control, and
15 which the County has a right, under any provision of this Agreement or applicable law, to
16 possess or control, then the County may demand, in writing, that the City deliver to the County,
17 for purposes of public disclosure, the requested records that may be in the possession or
18 control of the City. Within five business days after the County's demand, the City shall (a)
19 deliver to the County all of the requested records that are in the City's possession or control,
20 together with a written statement that the City, after conducting a diligent search, has produced
21 all requested records that are in the City's possession or control, or (b) provide to the County a
22 written statement that the City, after conducting a diligent search, does not possess or control
23 any of the requested records. The City shall cooperate with the County with respect to any
24 County demand for such records. If the City wishes to assert that any specific record or data is
25 exempt from disclosure under the CPRA or other applicable law, it must deliver the record or
26 data to the County and assert the exemption by citation to specific legal authority within the
27 written statement that it provides to the County under this section. The City's assertion of any
28 exemption from disclosure is not binding on the County, but the County will give at least 10

1 days' advance written notice to the City before disclosing any record subject to the City's
2 assertion of exemption from disclosure. The City shall indemnify the County for any court-
3 ordered award of costs or attorney's fees under the CPRA that results from the City's delay,
4 claim of exemption, failure to produce any such records, or failure to cooperate with the County
5 with respect to any County demand for any such records.

6 10.5 **Retention.** Each party shall maintain its records in connection with the respective
7 services referred to under this Agreement. Such records must be maintained for a minimum of
8 three (3) years. Records must also be maintained a minimum of three (3) years after the
9 termination of this Agreement. The party generating the records shall maintain ownership of the
10 records upon termination of this Agreement.

11 10.6 This Article 10 shall survive the expiration or termination of this Agreement.

12 **Article 11**

13 **General Terms**

14 11.1 **Modification.** Except as provided in Article 6, "Termination and Suspension," this
15 Agreement may not be modified, and no waiver is effective, except by written agreement signed
16 by both parties. The City acknowledges that County employees have no authority to modify this
17 Agreement except as expressly provided in this Agreement.

18 11.2 **Non-Assignment.** Neither party may assign its rights or delegate its obligations
19 under this Agreement without the prior written consent of the other party.

20 11.3 **Governing Law.** The laws of the State of California govern all matters arising from
21 or related to this Agreement.

22 11.4 **Jurisdiction and Venue.** This Agreement is signed and performed in Fresno
23 County, California. City consents to California jurisdiction for actions arising from or related to
24 this Agreement, and, subject to the Government Claims Act, all such actions must be brought
25 and maintained in Fresno County.

26 11.5 **Construction.** The final form of this Agreement is the result of the parties' combined
27 efforts. If anything in this Agreement is found by a court of competent jurisdiction to be
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Exhibit A

1 ambiguous, that ambiguity shall not be resolved by construing the terms of this Agreement
2 against either party.

3 11.6 **Days.** Unless otherwise specified, “days” means calendar days.

4 11.7 **Headings.** The headings and section titles in this Agreement are for convenience
5 only and are not part of this Agreement.

6 11.8 **Severability.** If anything in this Agreement is found by a court of competent
7 jurisdiction to be unlawful or otherwise unenforceable, the balance of this Agreement remains in
8 effect, and the parties shall make best efforts to replace the unlawful or unenforceable part of
9 this Agreement with lawful and enforceable terms intended to accomplish the parties’ original
10 intent.

11 11.9 **Nondiscrimination.** During the performance of this Agreement, the City shall not
12 unlawfully discriminate against any employee or applicant for employment, or recipient of
13 services, because of race, religious creed, color, national origin, ancestry, physical disability,
14 mental disability, medical condition, genetic information, marital status, sex, gender, gender
15 identity, gender expression, age, sexual orientation, military status or veteran status pursuant to
16 all applicable State of California and federal statutes and regulation.

17 11.10 **No Waiver.** Payment, waiver, or discharge by the County of any liability or obligation
18 of the City under this Agreement on any one or more occasions is not a waiver of performance
19 of any continuing or other obligation of the City and does not prohibit enforcement by the County
20 of any obligation on any other occasion.

21 11.11 **Entire Agreement.** This Agreement, including its exhibits, is the entire agreement
22 between the City and the County with respect to the subject matter of this Agreement, and it
23 supersedes all previous negotiations, proposals, commitments, writings, advertisements,
24 publications, and understandings of any nature unless those things are expressly included in
25 this Agreement. If there is any inconsistency between the terms of this Agreement without its
26 exhibits and the terms of the exhibits, then the inconsistency will be resolved by giving
27 precedence first to the terms of this Agreement without its exhibits, and then to the terms of the
28 exhibits.

Exhibit A

1 11.12 **No Third-Party Beneficiaries.** This Agreement does not and is not intended to
2 create any rights or obligations for any person or entity except for the parties.

3 11.13 **Authorized Signature.** The City represents and warrants to the County that:

4 (A) The City is duly authorized and empowered to sign and perform its obligations
5 under this Agreement.

6 (B) The individual signing this Agreement on behalf of the City is duly authorized to
7 do so and his or her signature on this Agreement legally binds the City to the terms of
8 this Agreement.

9 11.14 **Electronic Signatures.** The parties agree that this Agreement may be executed by
10 electronic signature as provided in this section.

11 (A) An “electronic signature” means any symbol or process intended by an individual
12 signing this Agreement to represent their signature, including but not limited to (1) a
13 digital signature; (2) a faxed version of an original handwritten signature; or (3) an
14 electronically scanned and transmitted (for example by PDF document) version of an
15 original handwritten signature.

16 (B) Each electronic signature affixed or attached to this Agreement (1) is deemed
17 equivalent to a valid original handwritten signature of the person signing this Agreement
18 for all purposes, including but not limited to evidentiary proof in any administrative or
19 judicial proceeding, and (2) has the same force and effect as the valid original
20 handwritten signature of that person.

21 (C) The provisions of this section satisfy the requirements of Civil Code section
22 1633.5, subdivision (b), in the Uniform Electronic Transaction Act (Civil Code, Division 3,
23 Part 2, Title 2.5, beginning with section 1633.1).

24 (D) Each party using a digital signature represents that it has undertaken and
25 satisfied the requirements of Government Code section 16.5, subdivision (a),
26 paragraphs (1) through (5), and agrees that each other party may rely upon that
27 representation.
28

Exhibit A

1 (E) This Agreement is not conditioned upon the parties conducting the transactions
2 under it by electronic means and either party may sign this Agreement with an original
3 handwritten signature.

4 11.15 **Counterparts.** This Agreement may be signed in counterparts, each of which is an
5 original, and all of which together constitute this Agreement.

6 **Article 12**

7 **Miscellaneous Provisions**

8 12.1 **Provider.** The parties hereto acknowledge that Provider, or its replacement, if any
9 during the term of the EMS Provider Agreement, will carry out County's provision of Fire
10 Dispatching Services herein. In the event of any such replacement of Provider, the replacement
11 EMS Provider Agreement will be on substantially the same terms as the EMS Provider
12 Agreement to the extent that it concerns this Agreement, as provided herein.

13 12.2 **Force Majeure.**

14 A. If either party hereto is rendered unable, wholly or in part, by Force Majeure to
15 carry out its obligations under this Agreement, that party shall give to the other party hereto
16 prompt written notice of the Force Majeure with full particulars relating thereto. Thereupon, the
17 obligations of the party giving the notice, so far as they are affected by the Force Majeure, shall
18 be suspended during, but no longer than, the continuance of the Force Majeure, except for a
19 reasonable time thereafter required to resume performance.

20 B. During any period in which either party hereto is excused from performance by
21 reason of the occurrence of an event of Force Majeure, the party so excused shall promptly,
22 diligently, and in good faith take all reasonable action required in order for it to be able to
23 promptly commence or resume performance of its obligations under this Agreement. Without
24 limiting the generality of the foregoing, the party so excused from performance shall, during any
25 such period of Force Majeure, take all reasonable action necessary to terminate any temporary
26 restraining order or preliminary or permanent injunctions to enable it to so commence or resume
27 performance of its obligations under this Agreement.

28 C. The party whose performance is excused due to the occurrence of an event of

Exhibit A

1 Force Majeure shall, during such period, keep the other party hereto notified of all such actions
2 required in order for it to be able to commence or resume performance of its obligations under
3 this Agreement.

4 D. "Force Majeure" is defined as an Act of God, act of public
5 enemy, war, and other extraordinary causes not reasonably within the control of either of the
6 parties hereto.

7 [SIGNATURE PAGE FOLLOWS]

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Exhibit A

1 The parties are signing this Agreement on the date stated in the introductory clause.

2 CITY OF CLOVIS

COUNTY OF FRESNO

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5 _____
Lynne Ashbeck, Mayor

Nathan Magsig, Chairman of the Board of
Supervisors of the County of Fresno

6
7 _____
John Holt, City Manager

Date

8
9 Attn: Fire Chief
10 1233 5th Street
11 Clovis, CA 93612

Attest:
Bernice E. Seidel
Clerk of the Board of Supervisors
County of Fresno, State of California

12 By: _____
Deputy

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Exhibit A

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City's Responsibilities

City shall perform the following functions:

(1) Provide all fire suppression services for all fire suppression calls dispatched by County's EMS Communications Center requiring City Fire apparatuses. During specific City events (i.e., Fourth of July, times of local disaster, or a large-scale emergency), City may assign a Command Officer to serve as a Temporary Dispatch Liaison to direct the assignment of City Fire resources, at which time deviation from routine dispatch procedures outlined herein will be granted.

(2) Allow City Radio frequencies to be used by County for the purpose of City Fire Dispatching Services.

(3) Consult with County's Representative in developing and adopting City Fire's Policies and Procedures relating to dispatch only. City must provide its City Fire's Policies and Procedures to County's Representative for review and acceptance that such policies and procedures are substantially consistent with the County's EMS Communication Center's Policies and Procedures, and do not create additional workload for staff or impact other programs in the County's EMS Communications Center.

(4) Provide continuing education and training to County's EMS Communications Center radio operators and staff regarding the dispatching and management of City Fire resources.

(5) Immediately transfer all calls to City for City Fire calls for service to County's EMS Communications Center.

(6) City shall provide County with data that includes the exact times that EMS and City calls for service are received at City's Police Department Communications Center (or other point of City contact, if any) and transferred to County's EMS Communications Center.

(7) Participate in an internal quality improvement program, which includes the participation of County and Provider.

(8) Provide operation and maintenance of all radio and computer equipment in City Fire apparatuses and fire stations.

Exhibit A

1 (9) Be responsible for all costs associated with maintaining telecommunication
2 lines and equipment between City and EMS Communications Center.

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Exhibit B

County's Services

County shall be responsible for and provide each of the following:

(1) Provide to City dispatching services for fire suppression calls requesting or otherwise requiring response by City Fire apparatuses, which may include dispatching of non-transport first responder services, (collectively, the "City Fire Dispatching Services"). County shall provide City Fire Dispatching Services in accordance with the terms and subject to the conditions set out in this Agreement and using personnel of required skill, experience and qualifications.

(2) Select, configure, install, and maintain all dispatching equipment, hardware, software (including software licenses), and other technologies, except for radio infrastructure purchased by City, which will be utilized for triage and entry of information for City Fire Dispatching Services in County's EMS Communications Center computer-aided dispatch ("CAD") system. All dispatching equipment, hardware, software (including software licenses), and other technologies purchased and/or obtained under this Agreement shall be the sole property of County. The Parties hereby acknowledge that County's provision of City Fire Dispatching Services does not include any County provision of fire suppression services, and that County is providing City Fire Dispatching Services to City on a non-exclusive basis.

(3) Provide all City Fire Dispatching Services through County's EMS Communication Center through City Fire's radios and electronic communications in accordance with City Fire's Policies and Procedures related to dispatch only ("City Fire's Policies and Procedures") and as reviewed and accepted by County's EMS Director or designee (the "County's Representative"), as further provided in Paragraph (2) of Exhibit A herein.

(4) Provide approved pre-arrival instructions to callers requesting City Fire Dispatch Services.

(5) Provide inter-agency coordination regarding requests for fire suppression service, mutual aid and auto aid services, and order specialized fire equipment from City or other agencies (e.g., hazardous materials equipment, or rescue) which may be needed to

Exhibit B

1 manage an incident, and perform other related duties, all in accordance with City Fire's Policies
2 and Procedures.

3 (6) Track all activity of City Fire's apparatuses utilizing the County's EMS
4 Communications Center CAD system.

5 (7) Develop and maintain processes which assist in dispatching signatories to
6 City automatic aid agreements to include those agencies outside the County's EMS
7 Communications Center. Such processes include Automatic Vehicle Location ("AVL"), unit
8 status and some form of CAD to CAD process where call information is automatically shared
9 between agencies regardless of dispatch center location. In the event an automatic aid agency
10 outside County's EMS Communications Center is unable to provide unit AVL and unit status,
11 the Parties agree to meet and confer on how to implement and determine cost sharing to
12 receive this information.

13 (8) Provide notification to chief officers and duty officers as needed for
14 applicable emergency incidents using phone, email, text or other contemporary method of
15 messaging according to City Fire's Policies and Procedures.

16 (9) Provide CAD software which is capable of tracking City's closest fire unit,
17 real-time call data/updates, GIS, radio channel, incident location, and resources.

18 (10) Provide the ability to send response-time data or additional required CAD
19 data to the fire reporting software known as Fire Records Management System ("Fire RMS").
20 The Fire RMS data shall include date and time call received in the secondary Public Safety
21 Answering Point ("PSAP") (i.e., EMS Communications phone pickup), unit alert, unit enroute,
22 unit arrival and unit available, for all units assigned to the call. In addition, it shall send incident
23 location, grid and call nature.

24 (11) Record all telephone and radio transmissions and provide instant playback
25 as needed. County shall retain recordings for a minimum of four (4) years from the date of
26 recording.

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Exhibit B

1 (12) Provide any and all reports at the request of City; provided, however,
2 County must be given reasonable time to develop custom ad hoc reports or reports that are not
3 already developed.

4 (13) County shall provide a radio operator, who is able to dispatch City Fire's
5 apparatuses twenty-four (24) hours a day, seven (7) days a week meeting the one hundred and
6 twenty (120) second total Alarm Handling (TAH) as outlined below. In addition, the goal is for
7 the CLOVIS radio channel to be answered in no more than two attempts. During specific City
8 events (i.e., Fourth of July, times of local disaster, or a large scale emergency), City Fire may
9 assign a Command Officer to serve as a Temporary Dispatch Liaison to direct the assignment
10 of City Fire resources, at which time deviation from routine dispatch procedures outlined herein
11 will be granted. County shall ensure that dispatch staff shall be trained in the National Academy
12 of Emergency Dispatch at the Emergency Fire Dispatcher level or substitute training with
13 approval of City Fire. County shall coordinate emergency services with other public safety
14 answering points (PSAP).

15 (14) Provide a minimum of one (1) dispatch supervisor who shall be on duty at
16 County's EMS Communications Center twenty-four (24) hours a day, seven (7) days a week
17 and available to City's on-duty fire administration as needed.

18 (15) Maintain an up-to-date manual of City Fire's Policies and Procedures
19 (subject to review by County's Representative, as provided in Paragraph (3) of Exhibit A herein)
20 for all dispatch staff, and provide training and continuing education of dispatch staff as needed.

21 (16) It is the intent of both parties to achieve the recommendations outlined in
22 the National Fire Protection Association ("NFPA") Standard 1221 for the immediate dispatch of
23 a fire apparatus. The Total Alarm Handling (TAH) time will be measured from the time the
24 telephone is answered by the call taker at EMS Communications Center to the time that the first
25 fire apparatus is alerted to the incident either by radio, telephone, station alerting device or any
26 other mutually agreed upon method of alerting. The TAH times shall be one hundred and
27 twenty (120) seconds or less in a minimum of ninety percent (90%) of incidents. The TAH time
28 measurement will exclude reassigned responses and other situations beyond the County's EMS

Exhibit B

1 Communications Center control. County shall review all cases in which dispatches are over one
2 hundred and twenty (120) seconds, and results will be evaluated for improvement opportunities
3 by the Fire Dispatch Continuous Quality Improvement (“CQI”) Committee. The Parties agree to
4 meet and confer to refine the list of situations stated hereinabove where one hundred and
5 twenty (120) second call processing may not be achievable. Modifications may be made to said
6 list of situations upon written mutual agreement between County’s EMS Director or designee,
7 and City’s Fire Chief or designee.

8 (17) Provide monthly reports on City key performance measures and other
9 areas as agreed upon by the Parties.

10 (18) Provide necessary support staff to respond within ten (10) days of a City
11 request for changes in CAD system, including GIS updates, response criteria, update of street
12 layers, CAD/mobile software updates, protocols and CAD/RMS interface(s).

13 (19) Develop a formal quality improvement process that identifies problems by
14 the field, formalizes a tracking mechanism, provides feedback to the sender, determines
15 solutions, establishes timelines for correction, shares the information with all dispatch personnel
16 and formalizes a CQI review of dispatcher performance.

17 (20) County and City will work together with the State of California-CAL OES
18 911 Emergency Communications Branch in order to maintain a secondary Public Safety
19 Answering Point (PSAP) designation for FIRE.

20 (21) County will track all 9-1-1 call data related to FIRE operations
21 (fire/EMS/rescue/hazmat, etc.), that would qualify for State of California-CAL OES 911
22 Emergency Communications Branch funding as a secondary PSAP.

23 (22) If 9-1-1 funds are received by State of California-CAL OES 911 Emergency
24 Communications Branch for the FIRE secondary PSAP designation, the City agrees to allow
25 County to use said funds to enhance FIRE dispatch operations in accordance with the State of
26 California-CAL OES 911 Emergency Communications Branch funding guidelines.

27 (23) Throughout the life of this Agreement, City Fire and County will continue to
28 discuss refinement of the list of situations stated hereinabove where one hundred and twenty

Exhibit B

1 (120) second call processing may not be achievable. Modifications may be made to said list of
2 situations upon written mutual agreement between County's EMS Director, or designee, and
3 City's Fire Chief, or designee.

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Exhibit C

Compensation

The County will be compensated for performance of its services under this Agreement as provided in this Exhibit C. The County is not entitled to any compensation except as expressly provided in this Exhibit C.

County will be compensated according to the following schedule:

Payment	Month	Payment Amount
1	Oct 2024	\$97,318.25
2	Jan 2025	\$97,318.25
3	Apr 2025	\$97,318.25
4	Jul 2025	\$97,318.25
5	Oct 2025	\$108,996.50
6	Jan 2026	\$108,996.50
7	Apr 2026	\$108,996.50
8	Jul 2026	\$108,996.50
9	Oct 2026	\$120,986
10	Jan 2027	\$120,986
11	Apr 2027	\$120,986
12	Jun 2027	\$120,986

Insurance Requirements

1. Required Policies

Without limiting the indemnification of each party as stated in Article 8 above, it is understood and agree that City and County shall maintain, at their sole expense, the following insurance policies or self-insurance programs including, but not limited to, an insurance pooling arrangement and/or Joint Powers Agreement to fund their respective liabilities through the term of this Agreement:

- (A) **Commercial General Liability.** Commercial general liability insurance with limits of not less than Two Million Dollars (\$2,000,000) per occurrence and an annual aggregate of Four Million Dollars (\$4,000,000). This policy must be issued on a per occurrence basis. Coverage must include products, completed operations, property damage, bodily injury, personal injury, and advertising injury. Each party shall obtain an endorsement to this policy naming the other party, its officers, agents, employees, and volunteers, individually and collectively, as additional insureds, but only insofar as the operations under this Agreement are concerned. Such coverage for additional insureds will apply as primary insurance and any other insurance, or self-insurance, maintained by each party is excess only and not contributing with insurance provided under the other party's policy.
- (B) **Automobile Liability.** Automobile liability insurance with limits of not less than One Million Dollars (\$1,000,000) per occurrence for bodily injury and for property damages. Coverage must include any auto used in connection with this Agreement.
- (C) **Workers Compensation.** Workers compensation insurance as required by the laws of the State of California with statutory limits.

2. Additional Requirements

- (A) **Verification of Coverage for City.** Within 30 days after the City signs this Agreement, and at any time during the term of this Agreement as requested by the County's Risk Manager or the County Administrative Office, the City shall deliver, or cause its broker or producer to deliver, to the County Risk Manager, at 2220 Tulare Street, 16th Floor, Fresno, California 93721, or HRRiskManagement@fresnocountyca.gov, and by mail or email to the person identified to receive notices under this Agreement, certificates of insurance and endorsements for all of the coverages required under this Agreement.
 - (i) Each insurance certificate must state that: (1) the insurance coverage has been obtained and is in full force; (2) the County, its officers, agents, employees, and volunteers are not responsible for any premiums on the policy; and (3) the City has waived its right to recover from the County, its officers, agents, employees, and volunteers any amounts paid under any insurance policy required by this Agreement and that waiver does not invalidate the insurance policy.
 - (ii) The commercial general liability insurance certificate must also state, and include an endorsement, that the County of Fresno, its officers, agents, employees, and volunteers, individually and collectively, are additional insureds insofar as the operations under this Agreement are concerned. The commercial general liability

insurance certificate must also state that the coverage shall apply as primary insurance and any other insurance, or self-insurance, maintained by the County shall be excess only and not contributing with insurance provided under the City's policy.

- (iii) The automobile liability insurance certificate must state that the policy covers any auto used in connection with this Agreement.

(B) Verification of Coverage for County. Within 30 days after the County signs this Agreement, and at any time during the term of this Agreement as requested by the City, the County shall deliver, or cause its broker or producer to deliver, to the City, certificates of insurance and endorsements for all of the coverages required under this Agreement.

- (i) Each insurance certificate must state that: (1) the insurance coverage has been obtained and is in full force; (2) the City, its officers, agents, employees, and volunteers are not responsible for any premiums on the policy; and (3) the County has waived its right to recover from the City, its officers, agents, employees, and volunteers any amounts paid under any insurance policy required by this Agreement and that waiver does not invalidate the insurance policy.
- (ii) The commercial general liability insurance certificate must also state, and include an endorsement, that the City of Clovis, its officers, agents, employees, and volunteers, individually and collectively, are additional insureds insofar as the operations under this Agreement are concerned. The commercial general liability insurance certificate must also state that the coverage shall apply as primary insurance and any other insurance, or self-insurance, maintained by the City shall be excess only and not contributing with insurance provided under the County's policy.
- (iii) The automobile liability insurance certificate must state that the policy covers any auto used in connection with this Agreement.

(C) Acceptability of Insurers. All insurance policies required under this Agreement must be issued by admitted insurers licensed to do business in the State of California and possessing at all times during the term of this Agreement an A.M. Best, Inc. rating of no less than A: VII.

(D) Notice of Cancellation or Change. For each insurance policy required under this Agreement, each party shall provide to the other party, or ensure that the policy requires the insurer to provide to the other party, written notice of any cancellation or change in the policy as required in this paragraph, not less than 30 days in advance of cancellation or change.

(E) County's Entitlement to Greater Coverage. If the City has or obtains insurance with broader coverage, higher limits, or both, than what is required under this Agreement, then the County requires and is entitled to the broader coverage, higher limits, or both. To that end, the City shall deliver, or cause its broker or producer to deliver, to the County's Risk Manager certificates of insurance and endorsements for all of the

coverages that have such broader coverage, higher limits, or both, as required under this Agreement.

- (F) **Waiver of Subrogation for City.** The City waives any right to recover from the County, its officers, agents, employees, and volunteers any amounts paid under the policy of worker's compensation insurance required by this Agreement. The City is solely responsible to obtain any policy endorsement that may be necessary to accomplish that waiver, but the City's waiver of subrogation under this paragraph is effective whether or not the city obtains such an endorsement.
- (G) **Waiver of Subrogation for County.** The County waives any right to recover from the City, its officers, agents, employees, and volunteers any amounts paid under the policy of worker's compensation insurance required by this Agreement. The County is solely responsible to obtain any policy endorsement that may be necessary to accomplish that waiver, but the County's waiver of subrogation under this paragraph is effective whether or not the County obtains such an endorsement.
- (H) **County's Remedy for City's Failure to Maintain.** If the City fails to keep in effect at all times any insurance coverage required under this Agreement, the County may, in addition to any other remedies it may have, suspend or terminate this Agreement upon the occurrence of that failure, or purchase such insurance coverage, and charge the cost of that coverage to the City.
- (I) **City's Remedy for County's Failure to Maintain.** If the County fails to keep in effect at all times any insurance coverage required under this Agreement, the City may, in addition to any other remedies it may have, suspend or terminate this Agreement upon the occurrence of that failure, or purchase such insurance coverage, and charge the cost of that coverage to the County.
- (J) **Subcontractors.** The City shall require and verify that all subcontractors used by the County to provide services under this Agreement maintain insurance meeting all insurance requirements provided in this Agreement.



CITY of CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: General Services Department

DATE: May 6, 2024

SUBJECT: General Services – Approval – Res. 24-____, Authorizing Amendments to the City’s Classification and Compensation Plans to Adopt the Lead Accounting Systems Technician Classification with a Salary Range of \$6,984 to \$8,489 per month, and Approval – Res. 24-____, Amending the City’s FY 23-24 Position Allocation Plan.

ATTACHMENTS: 1. Res. 24-____ Classification and Compensation Plan
2. Res. 24-____ Position Allocation Plan

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

For City Council to approve a resolution authorizing amendments to the City’s Classification and Compensation Plans by adopting the Lead Accounting Systems Technician with a Salary Range of \$6,984 to \$8,489 per month, and approve a resolution amending the City’s FY 23-24 Position Allocation Plan by deleting one (1) Senior Accounting Systems Technician position and adding one (1) Lead Accounting Systems Technician position in the Finance Department.

EXECUTIVE SUMMARY

After analyzing the Senior Accounting Systems Technician position, it has been determined that a lead position is needed. This analysis revealed that a lead position, which combines education and experience with increased supervisory duties, is necessary due to the City’s growth. Currently, the Finance Department is authorized for four (4) Senior Accounting Systems Technician positions. It is recommended that the City’s Position Allocation Plan be amended to add one (1) Lead Accounting Systems Technician position and eliminate one (1) Senior Accounting Systems Technician position in the Finance Department. Council approval is required for changes to the Classification, Compensation, and Position Allocation Plans.

BACKGROUND

Personnel recently conducted a classification review of the Senior Accounting Systems Technician position within the Finance Department, assessing its responsibilities and tasks. The evaluation identified the necessity for a lead position due to the nature and scope of duties performed by the Senior Accounting Systems Technician, particularly in payroll functions, which involve more substantial supervisory and monitoring responsibilities compared to other positions in this class. These changes reflect the evolving needs within the Department, driven by the City's growth and the increased complexity of coordinating payroll responsibilities.

It is recommended that the new classification be assigned to the Clovis Confidential Technical and Financial Professionals (CTFP) bargaining unit for employee representation. CTFP representatives are supportive of the assignment of the classification to the CTFP employee bargaining unit.

FISCAL IMPACT

The fiscal impact of salary and benefits for the remainder of FY 23-24 is approximately an additional \$675. There are adequate funds in the Finance Department budget to cover the costs of this position for this fiscal year.

REASON FOR RECOMMENDATION

The addition of one (1) Lead Accounting Systems Technician position and the elimination of one (1) Senior Accounting Systems Technician position reflects the level of responsibility needed of staff in the Finance Department. Approval from the Council is necessary for any changes to the City Classification, Compensation, and Position Allocation Plans.

ACTIONS FOLLOWING APPROVAL

Personnel staff will update the City's Classification, Compensation and Position Allocation Plans with the addition of the Lead Accounting Systems Technician. The position vacancy will be filled through a promotional recruitment.

Prepared by: Lori Shively, Deputy General Services Director

Reviewed by: City Manager AA

RESOLUTION 24-

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING AMENDMENTS TO THE CITY’S CLASSIFICATION AND COMPENSATION PLAN BY ADOPTING A LEAD ACCOUNTING SYSTEMS TECHNICIAN CLASSIFICATION IN THE FINANCE DEPARTMENT

WHEREAS, it has been determined that the City has a need for a Lead Accounting Systems Technician classification to provide the necessary support to the Finance Department; and

WHEREAS, it has been determined that the appropriate salary range for the Lead Accounting Systems Technician is \$6,984 to \$8,489 per month; and

WHEREAS, it has been determined that it is appropriate to assign the Lead Accounting Systems Technician to the Clovis Confidential Technical and Financial Professionals (CTFP) bargaining unit.

NOW THEREFORE, BE IT RESOLVED that the City of Clovis will modify the City’s Classification and Compensation Plans to include the Lead Accounting Systems Technician classification (**Attachment A**) with a monthly salary range of \$6,984 to \$8,489 per month.

* * * * *

The foregoing Resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote to wit:

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

DATED: May 6, 2024

Mayor

City Clerk

City of Clovis
LEAD ACCOUNTING SYSTEMS TECHNICIAN
Salary \$6,984 - \$8,489 monthly

DEFINITION

Under general supervision, participate, coordinate, assign, and monitor the operations of the assigned functional area; including, but not limited to: lead supervision of employees in the same class or subordinates; perform a variety of technical and administrative tasks; and to perform related work as required.

CLASS CHARACTERISTICS

Positions in this class act as a lead supervisor to Senior Accounting Systems Technicians, while participating fully in the work assignment. Positions in this classification direct, monitor, and correct the work of others. Incumbents act as a resource person to all City employees in their area of responsibility; perform work that has some variation and range of choice which requires a higher skill level in the application of the work assignment. Incumbents are expected to refer to the supervisor for instruction for matters which do not fit a clear pattern.

EXAMPLES OF DUTIES

Lead, train, review, coordinate, provide work direction, and participate in Senior Accounting System Technician duties of the assigned area; instruct relevant staff in area of work assignment; check and correct work of City personnel. Lead responsibilities entailing such duties as assigning and reviewing work, setting priorities, training, and documenting work methods and procedures. Monitor and coordinate workflow and assure the timely completion of duties assigned to the area of responsibility. Performs a wide range of complex accounting and financial information data analysis work; creates and maintains financial records; develops procedures for increased efficiency, prepares reconciliations; prepares finance related Federal, State, and local reports regarding payroll, employee demographic, and census data; answers payroll-related questions from employees; provides payroll and system training and guidance to employees; ensures proper authorization and compliance with city policies and procedures; responsible for auditing and verification of time cards for accuracy and compliance with various MOUs, policies, procedures, and FLSA; maintains the process for history files for employees for salary and benefits, including authorized payroll deductions; maintains accounting records to reflect personnel transactions and position control such as changes in pay rates, classification or departmental assignment, new hires, and separations from payroll; reconciles detailed records of employee earnings, deductions, and leave usage; updates finance system data source table structure; provides technical assistance and guidance to city personnel; creates and maintains periodic reports on a regularly scheduled or request basis; develops procedural and training manuals on financial and computer system applications; conducts research and analysis on finance system related issues; operates a city vehicle, operates computer equipment, calculators, and other office equipment; and performs related work as required.

TYPICAL QUALIFICATIONS LICENSE REQUIRED

- Possession of a valid California driver's license and a good driving record.

EDUCATION AND EXPERIENCE

Education:

- Graduation from an accredited college or university with a Bachelor's Degree in Public Administration, Business Administration, Finance, or a related field.
- In lieu of the required education, additional experience may be substituted on a year-for-year basis, with one year of experience equaling thirty semester units.

AND

Experience:

- Three (3) years' experience of increasingly responsible experience in performing technical accounting duties comparable to that of a Senior Accounting System Technician.
- Experience in training and/or supervising personnel.

QUALIFICATIONS

Knowledge of:

- Principles and practices of general and governmental accounting;
- Financial analysis and research procedures;
- Data processing systems and procedures as they apply to financial record keeping;
- Personal computer applications;
- Applicable Federal, State and local laws, rules, policies and procedures and their effect on City processes and financial software applications;
- Personnel training methods;
- Payroll tax preparation and reporting;
- Payroll Laws and regulations;
- Negotiation agreements and State retirement rules and processes;
- Modern office equipment and procedures;
- English usage, spelling, grammar and punctuation; and
- Business math;

Ability to:

- Establish, analyze, and troubleshoot accounting systems, issues, and procedures;
- Classify fiscal documents and transactions;
- Perform journey level accounting and financial record keeping work;
- Prepare clear, concise, analytical reports;
- Facilitate importing and exporting of data to and from financial system;
- Clearly articulate instructions to non-technical users;
- Create and maintain procedure manuals(s) for the position;
- Create and maintain calculation codes and tables in financial software;
- Create and implement efficiencies in staff processes;

- Perform statistical analysis and auditing;
- Interpret and implement specific project accounting and fiscal requirements; procedures and policies;
- Implement new and updated software solutions within financial area of expertise;
- Direct other departments and subordinates regarding variances, exceptions and other accounting issues;
- Plan and coordinate the work of subordinates;
- Maintain the confidentiality of privileged information;
- Operate a 10-key by touch;
- Operate a computer terminal accurately and efficiently;
- Plan, schedule, set priorities, and make work assignments;
- Operate a vehicle observing legal and defensive driving practices;
- Establish and maintain effective relationships with those contacted in the course of work, both internally and externally;
- Perform difficult and complex assignments involving independent judgement and develop effective courses of action;
- Direct, monitor, and correct the work of others;
- Evaluate the performance of employees;

SUPPLEMENTAL INFORMATION

PHYSICAL DEMANDS AND WORKING CONDITIONS

- Strength: Light work-Lifting, carrying and/or pushing 25 pounds maximum with frequent lifting and/or carrying of objects weighing up to 25 pounds.
- Incumbent in this classification is designated as confidential under the Meyers-Milias Brown Act.
- Incumbent may be required to travel within and out of the City to attend meetings.
- Incumbent may be required to work overtime or weekends.

RESOLUTION 24-

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING AMENDMENTS TO THE CITY’S FY 23-24 POSITION ALLOCATION PLAN

WHEREAS, the FY 23-24 Position Allocation Plan in the Finance Department was approved as part of the FY 23-24 City Budget adoption process; and

WHEREAS, a review of the staffing needs for the Finance Department indicates that adding one (1) Lead Accounting Systems Technician and removing (1) Senior Accounting Systems Technician is needed in order to provide the necessary support for the Finance Department; and

WHEREAS, amending the City’s adopted FY 23-24 Position Allocation Plan requires City Council authorization.

NOW THEREFORE, BE IT RESOLVED by the City of Clovis that the City’s FY 23-24 Position Allocation Plan shall be amended as noted in **Attachment A**.

* * * * *

The foregoing Resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED: May 6, 2024

Mayor

City Clerk

POSITION ALLOCATION ADJUSTMENT BY DEPARTMENT FY 2023-2024

<u>DEPARTMENT</u>	<u>NUMBER OF POSITIONS</u>
-------------------	----------------------------

Finance

Add: Lead Accounting System Technician 1.0

Delete: Senior Accounting Systems Technician 1.0



CITY of CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: General Services Department

DATE: May 6, 2024

SUBJECT: General Services – Approval – Res. 24-____, Amending the City’s FY 2023-2024 Position Allocation Plan by adding one (1) Senior Management Analyst Position and removing (1) Fire Administrator Position within the Fire Department.

ATTACHMENTS: 1. Resolution 24-____ Position Allocation Plan

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

For City Council to approve a resolution amending the City’s FY 2023-2024 position allocation plan by adding one (1) Senior Management Analyst position and removing one (1) Fire Administrator position within the Fire Department.

EXECUTIVE SUMMARY

The Management Analyst incumbent in the Fire Department has been assigned significant additional duties and responsibilities beyond the scope of the current classification. A Fire Administrator classification was budgeted for the 2023-2024 fiscal year, but the position was not filled. Consequently, it is appropriate to re-class the position from Management Analyst to Senior Management Analyst. It is recommended that the City’s Position Allocation Plan be amended to add one (1) Senior Management Analyst position and eliminate one (1) Fire Administrator position in the Fire Department. Council approval is required for changes to the Position Allocation Plan.

BACKGROUND

Personnel has recently evaluated the responsibilities and work being performed by a Management Analyst in the Fire Department as part of a classification review. The nature and scope of duties currently performed by the Management Analyst incumbent is at a depth/breadth greater than the current classification encompasses. This reflects evolutions within the

Department associated with City growth, the incumbent's skill set, and the level of work necessary to effectively coordinate projects and programs. The incumbent is now performing duties more in line with a Senior Management Analyst that includes direct supervision over two administrative support staff. The incumbent directs, evaluates, and coordinates the workload of the administrative staff, performs complex administrative duties, and oversees special projects for the Department, which are beyond the scope of a Management Analyst.

The Fire Department recommended a conversion from Management Analyst to Fire Administrator in the 2023-2024 budget before the creation of the Senior Management Analyst classification and included the additional funds in the budget. Due to the creation of the Senior Management Analyst classification the Fire Administrator classification is not needed.

FISCAL IMPACT

The addition of the Senior Management Analyst position and the elimination of the Fire Administrator position do not result in any changes to the Fire Department budget.

REASON FOR RECOMMENDATION

The addition of one (1) Senior Management Analyst position and the elimination of one (1) Fire Administrator meet the needs of the Fire Department and its staff responsibilities. The reclassification and position allocation change require Council approval.

ACTIONS FOLLOWING APPROVAL

The position allocation for the Fire Department will be modified as noted in Attachment 1A.

Prepared by: Lori Shively, Deputy General Services Director

Reviewed by: City Manager AA

RESOLUTION 24-

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING AMENDMENTS TO THE CITY’S FY 2023-2024 POSITION ALLOCATION PLAN

WHEREAS, the FY 2023-2024 Position Allocation Plan in the Fire Department was approved as part of the FY 2023-2024 City Budget adoption process; and

WHEREAS, a review of the staffing needs for the Fire Department indicates that the addition of one (1) Senior Management Analyst position and the removal of one (1) Fire Administrator is needed in order to provide the necessary support for the Fire Department; and

WHEREAS, amending the City’s adopted FY 2023-2024 Position Allocation Plan requires City Council authorization.

NOW THEREFORE, BE IT RESOLVED that the City of Clovis shall amend the City’s FY 2023-2024 Position Allocation Plan as noted in **Attachment A**.

* * * * *

The foregoing Resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote to wit:

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

DATED: May 6, 2024

Mayor

City Clerk

POSITION ALLOCATION ADJUSTMENT BY DEPARTMENT FY 2023-2024

DEPARTMENT NUMBER OF POSITIONS

Fire

Add:	Senior Management Analyst	1.0
Remove:	Fire Administrator	1.0



CITY *of* CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services Department

DATE: May 6, 2024

SUBJECT: Planning and Development Services – Approval – Final Acceptance for CIP 22-06 Test Hole at Reservoir T-10 Site.

ATTACHMENTS: 1. Vicinity Map

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

For the City Council to accept the work performed as complete and authorize the recording of the notice of completion for this project.

EXECUTIVE SUMMARY

The scope of the project consisted of furnishing all permits, materials, labor, equipment, fuel, tools, transportation, services and incidentals for the drilling, soil sampling, and logging of a test hole, sieve analyses, construction, water sampling, zone testing, and test-hole abandonment in accordance with the project specifications at the future site of City Reservoir T-10, located in the southeast area of Willow and Behymer Avenues, on the property north of Derrel's Mini Storage.

BACKGROUND

There were no bid proposals received from the bid opening that took place on October 25, 2022. On February 26, 2023, the City Council authorized the City Manager to award and execute the contract to Strickland Enterprises, Inc., who staff negotiated a price with after the bid opening.

The project was completed in accordance with the construction documents and the contractor has submitted a request for acceptance of the project.

FISCAL IMPACT

1. Award	\$178,023.21
2. Contract Change Orders	\$0.00
3. Liquidated Damages Assessed	\$0.00
Final Contract Cost	<u>\$178,023.21</u>

The project is funded by the Water Capital – Enterprise fund through the City Community Investment Program.

REASON FOR RECOMMENDATION

The Public Utilities Department, the City Engineer, the Engineering Inspector, and the Project Engineer agree that the work performed by the contractor is in accordance with the construction documents and has been deemed acceptable. The contractor, Strickland Enterprises, Inc. has requested final acceptance from the City Council.

ACTIONS FOLLOWING APPROVAL

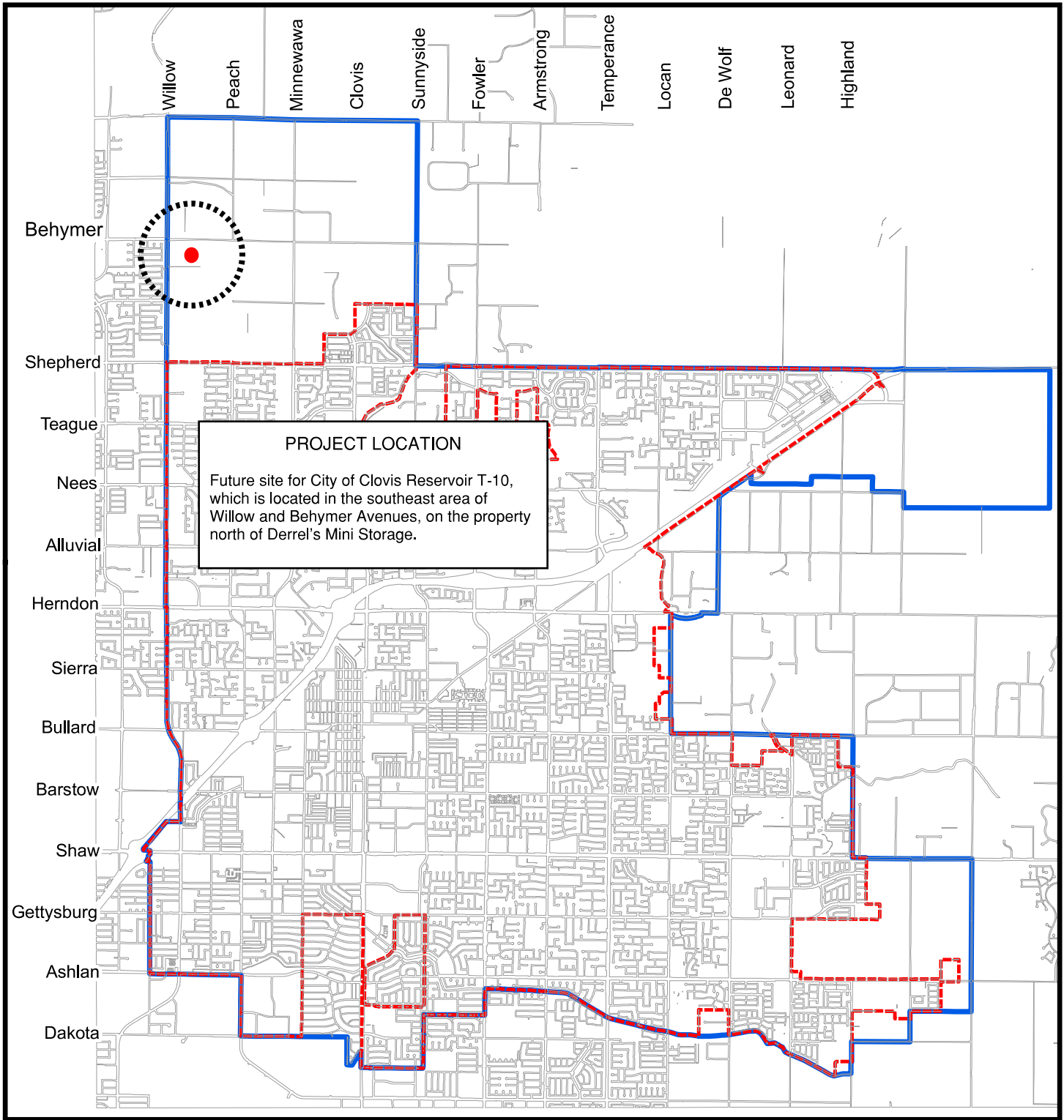
1. The Notice of Completion will be recorded; and
2. All remaining retention funds will be released no later than 35 calendar days following recordation of the notice of completion, provided no liens have been filed. Retention funds may be released within 60 days after the date of completion, provided no liens have been filed, with "completion" defined as the earlier of either (a) beneficial use and occupancy and cessation of labor, or (b) acceptance by the City Council per Public Contract Code Section 7107(c)(2).

Prepared by: Karl Lenhof, Engineering Inspector

Reviewed by: City Manager *AA*

VICINITY MAP

CIP 22-06 Test Hole at Reservoir T-10 Site



Attachment 1





CITY *of* CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services Department

DATE: May 6, 2024

SUBJECT: Planning and Development Services – Approval – Bid Award for CIP 23-27, Temperance Avenue Street Improvements to Dave Christian Construction in the amount of \$979,231.08; and authorize the City Manager to execute the contract on behalf of the City.

ATTACHMENTS: 1. Vicinity Map

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

1. For the City Council to award a contract for CIP 23-27, Temperance Avenue Street Improvements – to Dave Christian Construction in the amount of \$979,231.08; and
2. For the City Council to authorize the City Manager to execute the contract on behalf of the City.

EXECUTIVE SUMMARY

Staff is recommending that the City Council authorize the City Manager to award and execute the contract to Dave Christian Construction Co., Inc, who was the lowest responsible bidder from a bid opening that took place on April 9, 2024.

The project includes furnishing all labor, materials, services and equipment; performing all work necessary as specified for, but not limited to, street rehabilitation of an approximately ±0.33 mile of existing Temperance Avenue from Herndon Avenue to State Route 168. The work includes full depth removal of AC pavement and replacing in areas of severe structural failure, adjusting utility boxes and manhole lids to grade, reconstructing damaged curb and gutters, installing detector loops, and striping to match the existing of Temperance Avenue.

BACKGROUND

The following is a summary of the bids received on April 9, 2024:

BIDDERS	BASE BID
Dave Christian Construction	\$ 979,231.08
Cal Valley Construction	\$1,109,887.80
Avison Construction	\$1,143,183.00
 ENGINEER’S ESTIMATE	 \$1,021,066.00

All bids were examined, and the bidder’s submittals were found to be in order except for a few minor arithmetic errors on a bid which did not change the order of the bidders. Dave Christian Construction is the lowest responsible bidder. Staff has validated the lowest bidder contractor’s license status, bid bond and completeness of grant funding paperwork.

FISCAL IMPACT

This project was budgeted in the 2023-2024 Community Investment Program. The project is supported by Surface Transportation Block Grant Program (STBG) through the City Community Investment Program.

REASON FOR RECOMMENDATION

Dave Christian Construction is the lowest responsible bidder. There are sufficient funds available for the anticipated cost of this project.

ACTIONS FOLLOWING APPROVAL

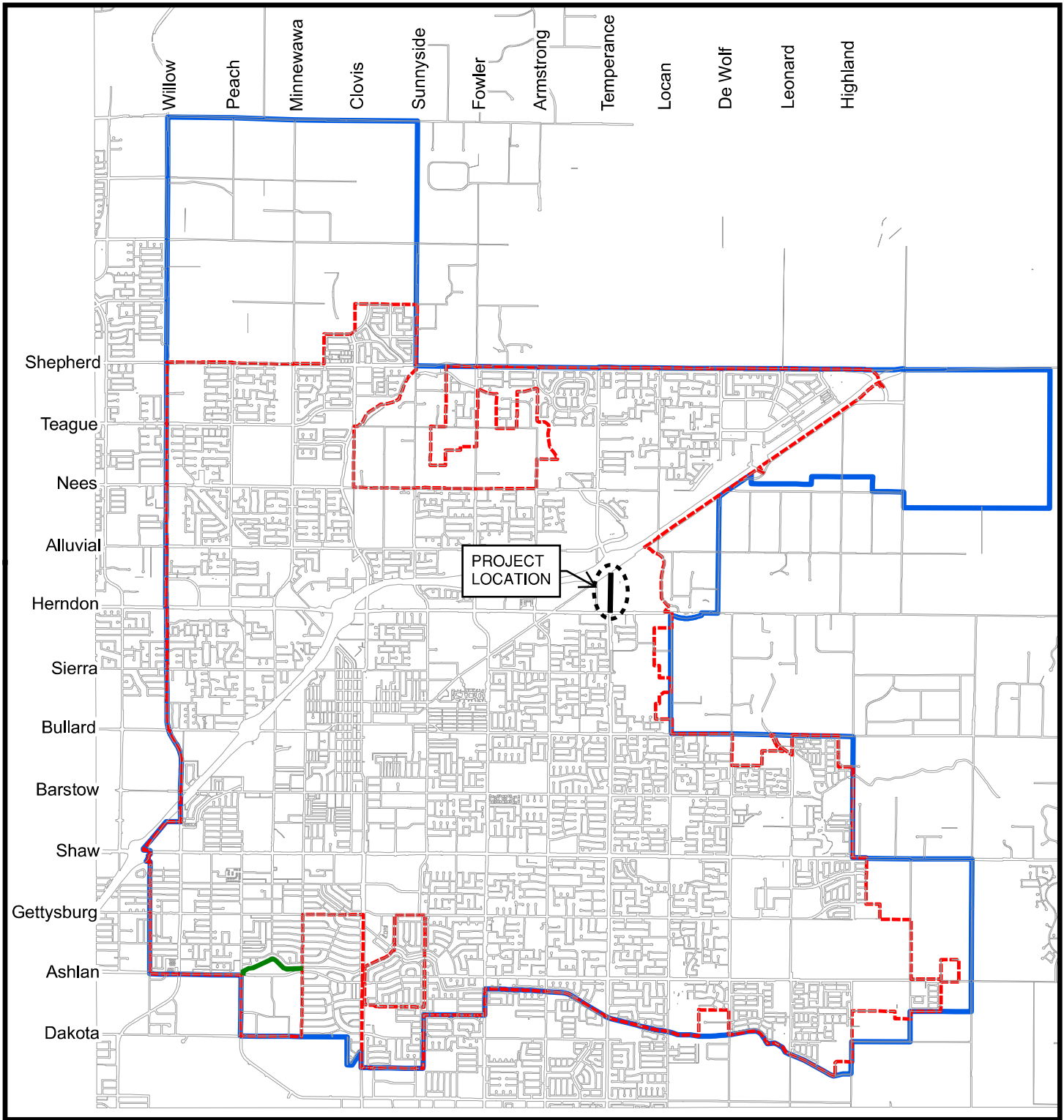
1. The contract will be prepared and executed, subject to the Contractor providing performance security that is satisfactory to the City.
2. Construction will begin approximately two (2) weeks after contract execution and be completed in thirty (30) working days thereafter.

Prepared by: Nate Stava, Project Engineer

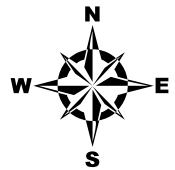
Reviewed by: City Manager *AK*

VICINITY MAP

CIP 23-27 Temperance Avenue Street Improvements



Attachment 1





CITY of CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: May 6, 2024

SUBJECT: Planning and Development Services - Approval - Res. 24-____, a request to adopt a resolution approving the initiation of a general plan amendment and rezone for the Infill Rezone Program; and Approval – Res. 24-____, a request to adopt a resolution authorizing the City Manager to execute a consultant agreement between the City of Clovis and Rincon Consultants, Inc., for preparation of an environmental assessment and related services.

ATTACHMENTS: 1. Resolution 24-____, Initiation of the Infill Rezone Program
2. Resolution 24-____, Consultant Agreement

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

Staff recommends that the City Council adopt a resolution initiating a general plan amendment and rezoning applications for the Infill Rezone Program and adopt the resolution authorizing the City Manager to execute a consultant agreement between the City of Clovis and Rincon Consultants, Inc. (Rincon), for the preparation of an environmental assessment and related services.

EXECUTIVE SUMMARY

Pursuant to the terms of the Judgment recently entered in the Martinez v. City of Clovis case [Fresno County Superior Court Case No. 19CECG03855] (the “Judgement”), the City is required to complete an Infill Rezone Program to rezone multiple sites throughout the City to the R-3 (Multifamily High Density) or R-4 (Multifamily Very High Density) zone districts to provide approximately 1,284 affordable housing dwelling units. The project will also include amendments to the general plan designation for each of the affected sites to ensure consistency between the general plan designation and the zoning classification. As part of the Program, the preparation of an environmental assessment is required. Rincon Consultants has been selected to perform the required work, a scope and cost proposal have been obtained, and staff is recommending the City Manager be authorized to execute a consultant services agreement.

BACKGROUND

Infill Rezoning Program Initiation

On February 20, 2024, Council approved a settlement agreement in conjunction with the Martinez v. City of Clovis litigation and the agreement has since been approved by the court and Judgement has been entered. This requires the City to complete an Infill Rezone Program, which will rezone several sites within the City to the R-3 (Multifamily High Density) or R-4 (Multifamily Very High Density) zone districts. The rezoning of the sites will create capacity for affordable housing. The sites to be rezoned will also be required to change general plan land use designations to be consistent with the updated zoning. This will require the project to include general plan amendments for the sites.

As part of the settlement agreement and subsequent Judgement, 24 candidate sites for the Program were identified. However, as more detailed analysis of each site is completed, it is possible that some of the parcels may need to be removed and be replaced to maintain the required capacity of approximately 1,284 housing units.

The rezoning and general plan amendment applications will be processed as a single program affecting multiple sites. Both applications will be presented to the Planning Commission to receive the Commission's recommendation before being brought back to the Council for final consideration. Public outreach for the Infill Rezoning Program will include the following components:

- Staff will reach out to the individual property owners included in the Program to inform them of the inclusion of their property in the Program and to answer any questions.
- Two general community meetings will be scheduled to provide information to the public in conformance with the City's policy on general plan amendment applications. One meeting will be held before the Planning Commission meeting, and the second will be held between the Commission and Council meetings.
- For each public hearing conducted by the Commission and Council, a one-eighth page public notice will be published in the Fresno Business Journal pursuant to state law. (A one-eighth page public notice is used in lieu of direct mailing when the number of owners to whom notice would be mailed is greater than 1,000.)

Environmental Assessment Consultant Agreement

As part of the Infill Rezone Program, the City must prepare an environmental assessment that complies with Government Code Section 65759(b). This provision of state law specifies that certain court-ordered projects and activities, such as the Infill Rezoning Program, are not subject to the California Environmental Quality Act. However, an environmental assessment is still required, with a scope very similar to what a draft environmental impact report would provide. The City has requested and received a proposal from Rincon Consultants to prepare the required environmental assessment. The proposal (**Attachment 2A**) for the preparation of the

environmental assessment is \$295,387. This amount includes an optional Local Transportation Analysis and a 10% Contingency.

Rincon was selected from the City's list of authorized environmental consultants that was established for the Planning and Development Services (PDS) Department. The list was created through a competitive request for qualifications (RFQ) process, which resulted in a total of 10 firms being pre-qualified to perform in-depth environmental reviews for both public and private projects. The RFQ process is repeated, and the list of authorized consultants is refreshed, every two years. The most recent list was prepared in December of 2023. This process allows the City to select a firm and negotiate a scope of work and cost from any consultant on the list. Rincon was selected because of the familiarity of their team with the Clovis area and their experience with environmental assessments prepared pursuant to Government Code Section 65759(b). Though the selection of a firm from the authorized list is consistent with City's practices, it varies from the City's standard purchasing policies. As such, a waiver of formal bidding requirements is included in the recommended resolution.

FISCAL IMPACT

Simultaneous with the development of the 2014 General Plan, the Council instituted a financing mechanism to support long-term and strategic planning endeavors. This mechanism involves the collection of fees tied to the valuation of the construction in progress, encompassing all building permits. This revenue stream offers adequate funding to cover the expenses associated with the preparation of the environmental assessment.

REASON FOR RECOMMENDATION

Staff is seeking City Council authorization for the City to initiate the Infill Rezone Program and to enter into an agreement with Rincon for the preparation of an environmental assessment required for the Infill Rezone Program. Authorization to proceed as requested would allow the preparation of the environmental assessment and technical studies to begin and meet the required timelines established in the settlement agreement and subsequent Judgement.

ACTIONS FOLLOWING APPROVAL

The City Manager will execute the agreement with Rincon and staff will begin working on the Infill Rezone Program. After conclusion of the environmental assessment, it is anticipated that the City Council will consider the Infill Rezone Program between late 2024 and mid 2025 in conformance with the timelines established in the settlement agreement and subsequent Judgement.

Prepared by: McKencie Perez, Senior Planner

Reviewed by: City Manager *AA*

RESOLUTION 24-___**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS
APPROVING THE INITIATION OF A GENERAL PLAN AMENDMENT AND REZONE
APPLICATION FOR THE CITY OF CLOVIS INFILL REZONE PROGRAM**

WHEREAS, the City Council of the City of Clovis (City) desires to provide safe and quality affordable housing for lower income households in the City with the creation of new affordable housing programs; and

WHEREAS, pursuant to the terms of the Judgment recently entered in the Martinez v. City of Clovis case [Fresno County Superior Court Case No. 19CECG03855] (the “Judgement”), the City is required to complete an Infill Rezone Program to rezone multiple sites throughout the City to the R-3 (Multifamily High Density) or R-4 (Multifamily Very High Density) zone districts to provide approximately 1,284 affordable housing dwelling units; and

WHEREAS, the Judgment identifies 24 parcels, comprising approximately 54 acres, to be included in the Infill Rezone Program; and

WHEREAS, the Judgment acknowledges that during the Infill Rezone process, some parcels may need to be removed and other parcels added, in order to create capacity for approximately 1,284 additional multifamily dwelling units, and outlines the steps to be followed if a parcel is to be added or replaced; and

WHEREAS, the general plan land use designation for the parcels included in the Infill Rezoning Program will also be amended to the High Density Residential or Very High Density Residential land use designations to be consistent with the R-3 or R-4 zoning classification, respectively.

NOW, THEREFORE, BE IT RESOLVED, that the City of Clovis initiates the rezone and general plan amendment applications for the Infill Rezone Program pursuant to the terms of the Judgment entered in the Martinez v. City of Clovis case [Fresno County Superior Court Case No. 19CECG03855].

* * * * *

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote, to wit.

AYES:
NOES:
ABSENT:
ABSTAIN:

DATED:

Mayor

City Clerk

RESOLUTION 24-____**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS
AUTHORIZING THE CITY MANAGER TO EXECUTE A CONSULTANT AGREEMENT
WITH RINCON CONSULTANTS, INC. FOR THE PREPARATION OF AN
ENVIRONMENTAL ASSESSMENT FOR THE INFILL REZONE PROGRAM**

WHEREAS, pursuant to the terms of the Judgment recently entered in the Martinez v. City of Clovis case [Fresno County Superior Court Case No. 19CECG03855] (the “Judgement”), the City is required to complete an Infill Rezone Program to rezone multiple sites throughout the City to the R-3 (Multifamily High Density) or R-4 (Multifamily Very High Density) zone districts to provide approximately 1,284 affordable housing dwelling units; and

WHEREAS, the general plan land use designation for the parcels included in the Infill Rezoning Program will also be amended to the High Density Residential or Very High Density Residential land use designations to be consistent with the R-3 or R-4 zoning classification, respectively; and

WHEREAS, the City Council of the City of Clovis (City) initiated rezone and general plan amendment applications for the Infill Rezone Program; and

WHEREAS, the City requires assistance from an external consulting firm to assist with the preparation of an environmental assessment and related services for purposes of analyzing potential environmental effects, related to the Infill Rezone Program pursuant to Government Code section 65759(b); and

WHEREAS, a list of City-authorized environmental consultants was established in December of 2023 through a competitive request for qualifications (RFQ) process, which resulted in a total of 10 firms being pre-qualified to perform in-depth environmental reviews for both public and private projects; and

WHEREAS, Rincon Consultants, Inc. (Rincon), was selected from the City’s list of authorized environmental consultants to prepare the required environmental assessment based on their experience with the preparation of environmental assessments and technical studies for similar projects and their familiarity with the required scope of work.

**NOW, THEREFORE, BASED UPON THE ENTIRE RECORD OF THE PROCEEDINGS,
THE CITY COUNCIL RESOLVES AND FINDS AS FOLLOWS:**

1. In conjunction with the use of the City's list of authorized environmental consultants for the preparation of an environmental assessment for the Infill Rezone Program, the City's standard bidding requirements are waived.
2. The consultant agreement with Rincon attached hereto as **Attachment A** addressing the preparation of an environmental assessment and related services is approved and the City Manager is authorized to execute the consultant agreement.

* * * * *

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote, to wit.

AYES:
NOES:
ABSENT:
ABSTAIN:

DATED:

Mayor

City Clerk

**CITY OF CLOVIS
CONSULTANT SERVICE AGREEMENT**

INFILL REZONE PROGRAM

This Consultant Services Agreement ("Agreement") is entered into between the City of Clovis, a California general law city ("City") and Rincon Consultants, Inc. ("Consultant") with respect to the following recitals, which are a substantive part of this Agreement. This Agreement shall be effective on _____ ("Effective Date").

RECITALS

- A. City desires to obtain planning and environmental study services ("Services") for the proposed Infill Rezone Program ("Project") as more fully described in the Scope of Work for the Project (**Exhibit A**), and Budget for the Project (**Exhibit B**), which are incorporated herein by reference.
- B. Consultant is engaged in the business of furnishing the Services and hereby warrants and represents that Consultant is qualified, experienced, and capable of performing the Services, and possesses any required licenses, certifications, security/bonding, and/or training necessary to perform the Services.
- C. City desires to retain Consultant, and Consultant desires to provide the City with the Services, on the terms and conditions as set forth in this Agreement.

NOW, THEREFORE, in consideration of the promises and mutual agreements herein, City and Consultant agree as follows:

AGREEMENT

1. Scope of Services. Consultant shall perform the Services described in the Recitals and detailed in **Exhibits A and B**. Changes in the scope of Services, including the work performed and/or deliverables produced, shall be made in writing and particularly describe the changes in Services, including payment/costs and schedule/term, as applicable.
2. Priority and Conflicts; Exclusions. If the terms and requirements of this Agreement conflict with **Exhibits A or B**, the terms of this Agreement shall control. No contractual terms and/or conditions found in **Exhibits A or B** shall purport to waive, disclaim, or limit Consultant's liability, indemnification obligations, warranties, damages for breach or delay, or any security, bonding, or insurance requirements, and any such provisions shall have no force or effect with respect to this Agreement and the Services performed by Consultant.
3. Term of Agreement; Commencement of Services; Schedule. The term of this Agreement shall commence on the Effective Date, and Consultant shall begin performing the Services on that date, unless otherwise instructed by City. The Services shall proceed in accordance with the Task Schedule set forth in **Exhibits A and B**, and Consultant shall continue with the Services until satisfactorily completed, as determined by City. The Task Schedule shall be subject to modification based on the City's operational needs. City will notify Consultant in advance of any modification to the Task Schedule.
4. Payment for Services. City shall pay Consultant for the Services performed pursuant to this Agreement according to the rate(s) stated in **Exhibit B**. The individual budget amounts for each task, and the cumulative budget totals, paid by City to Consultant shall not exceed the amounts set forth in **Exhibit B**. The foregoing is inclusive of all labor, equipment, materials, costs and expenses, taxes, and overhead. City shall pay Consultant for Services satisfactorily performed pursuant to this Agreement.

Consultant shall submit monthly invoices to City containing detailed billing information regarding the Services provided and amounts expended to date. After receipt of Consultant's monthly invoice, City shall make payment to Consultant within thirty (30) days after receipt of invoice.

Should the City decide to abandon the Project, City and Consultant shall work cooperatively together to terminate the Services or otherwise negotiate amendments to this Agreement.

5. Independent Contractor Status. Consultant and its subcontractors shall perform the Services as independent contractors and not as officers, employees, agents or volunteers of City. Consultant is engaged in an independently established trade, occupation, or business to perform the Services required by this Agreement and is hereby retained to perform work that is outside the usual course of City's business. Consultant is free from the control and direction of City in connection with the manner of performance of the work. Nothing contained in this Agreement shall be deemed to create any contractual relationship between City and Consultant's employees or subcontractors, nor shall anything contained in this Agreement be deemed to give any third party, including but not limited to Consultant's employees or subcontractors, any claim or right of action against City.

6. Consultant Representations; Standard of Care; Compliance with Law. Consultant represents that Consultant and any subcontractors utilized by Consultant are and will be qualified in the field for which Services are being provided under this Agreement and Consultant and any subcontractors are now, and will be throughout their performance of the Services under this Agreement, properly licensed, certified, secured/bonded, trained, and/or otherwise qualified and authorized to perform the Services required and contemplated by this Agreement, as may be required by law. Consultant and its subcontractors shall utilize the standard of care and skill customarily exercised by members of their profession, shall use reasonable diligence and best judgment while performing the Services, and shall comply with all applicable laws, regulations, and industry standards.

7. Identity of Subcontractors and Sub-Consultants. Consultant shall, before commencing any work under this Agreement, provide to City in writing: (a) the identity of all subcontractors and sub-consultants (collectively referred to as "subcontractors"), if any, Consultant intends to utilize in Consultant's performance of this Agreement; and (b) a detailed description of the full scope of work to be provided by such subcontractors. Consultant shall only employ subcontractors pre-approved by City and in no event shall Consultant replace an approved subcontractor without the advance written permission of City, with the understanding that City's permission will not be unreasonably withheld. Notwithstanding any other provisions in this Agreement, Consultant shall be liable to City for the performance of Consultant's subcontractors.

8. Subcontractor Provisions. Consultant shall include in its written agreements with its subcontractors, if any, provisions which: (a) impose upon the subcontractors the obligation to provide to City the same insurance and indemnity obligations that Consultant owes to City; (b) make clear that City intends to rely upon the reports, opinions, conclusions and other work product prepared and performed by subcontractors for Consultant; and (c) entitle City to impose upon subcontractors the assignment rights found elsewhere in this Agreement.

9. Power to Act on Behalf of City. Consultant is not acting as an agent of City and shall not have any right, power, or authority to create any obligation, express or implied, or make representations on behalf of City except as may be expressly authorized in advance in writing from time to time by City and then only to the extent of such authorization.

10. Record Keeping; Reports. Consultant shall keep complete records showing the type of Services performed. Consultant shall be responsible and shall require its subcontractors to keep similar records. City shall be given reasonable access to the records of Consultant and its subcontractors for inspection and audit purposes. Consultant shall provide City with a working draft of all reports upon reasonable request by City and of all final reports prepared by Consultant under this Agreement.

11. Ownership and Inspection of Documents. All data, tests, reports, analyses, documents, records,

conclusions, opinions, recommendations and other work product generated by or produced for Consultant or its subcontractors in connection with the Services, regardless of the medium, including physical drawings and materials recorded on computer discs or other electronic devices ("Work Product"), shall be and remain the property of City. City shall have the right to use, copy, modify, and reuse the Work Product as it sees fit. Upon City's request, Consultant shall make available for inspection and copying all such Work Product and all Work product shall be turned over to City promptly at City's request or upon termination of this Agreement, whichever occurs first. Consultant shall not release any Work Product to third parties without prior written approval of City. This obligation shall survive termination of this Agreement and shall survive for four (4) years from the date of expiration or termination of this Agreement.

12. Confidentiality. All Work Product prepared and performed by and on behalf of Consultant in connection with the Services performed pursuant to this Agreement shall be kept confidential and shall be disclosed only to City, unless otherwise provided by law or expressly authorized by City. Consultant shall not disclose or permit the disclosure of any confidential information acquired during performance of the Services, except to its agents, employees and subcontractors who need such confidential information in order to properly perform their duties relative to this Agreement. Consultant shall also require its subcontractors to be bound to these confidentiality provisions.

13. City Name and Logo. Consultant shall not use City's name or insignia, photographs relating to the City projects or work for which Consultant's services are rendered, or any publicity pertaining to the Consultant's Services under this Agreement in any magazine, trade paper, newspaper, television or radio production, internet website, social media, or other similar medium without the prior written consent of City.

14. Conflicts of Interest. Consultant warrants that neither Consultant nor any of its employees have an improper interest, present or contemplated, in the Services which would affect Consultant's or its employees' performance of the Services and the Work Product produced. Consultant further warrants that neither Consultant nor any of its employees have real property, business interests or income that will be affected by the Services. Consultant covenants that no person having any such interest, whether an employee or subcontractor shall perform the Services under this Agreement. During the performance of the Services, Consultant shall not employ or retain the services of any person who is employed by the City or a member of any City Board or Commission.

15. Non-liability of Officers and Employees. No officer or employee of City shall be personally liable to Consultant, or any successors in interest, in the event of a default or breach by City for any amount which may become due Consultant or its successor, or for any breach of any obligation under the terms of this Agreement.

16. City Right to Employ Other Consultants. Unless **Exhibit A** specifically provides that the Services City seeks pursuant to this Agreement are exclusive to Consultant, this Agreement and performance of the Services are non-exclusive and City reserves the right to employ other consultants in connection with the Services while this Agreement is in effect.

17. Termination of Agreement. This Agreement shall terminate as provided in Section 3, unless terminated earlier pursuant to the following:

a. Termination by City: For Convenience. City may at its discretion terminate this Agreement for convenience and without cause upon fourteen (14) days prior written notice to Consultant. Upon receipt of a termination notice pursuant to this subsection, Consultant shall promptly discontinue all Services affected, unless the notice directs otherwise.

b. Termination by City or Consultant: For Cause. Either party may terminate this Agreement upon ten (10) days prior written notice to the other party of a material breach, and a failure within that time period to cure or commence reasonable steps to cure the breach.

c. Compensation to Consultant Upon Termination. Consultant shall be paid compensation for Services satisfactorily performed prior to notice of termination. As to any phase partially performed but for which the applicable portion of Consultant's compensation has not become due, Consultant shall be paid the reasonable value of its Services provided. However, in no event shall such payment when added to any other payment due under the applicable part of the work exceed the total compensation of such part as specified Section 4. In the event of termination due to Consultant's failure to perform in accordance with the terms of this Agreement through no fault of City, City may withhold an amount that would otherwise be payable as an offset to City's damages caused by such failure.

d. Effect of Termination. Upon termination of this Agreement, Consultant shall: (i) promptly discontinue all Services affected, unless the notice of termination directs otherwise; and (ii) deliver or otherwise make available to the City, without additional compensation, all Work Product and/or deliverables accumulated by the Consultant in performing this Agreement, whether completed or in process. Consultant may not refuse to provide such Work Product for any reason whatsoever.

18. Insurance. Consultant shall satisfy the insurance requirements set forth in **Exhibit C**.

19. Indemnity and Defense. Consultant hereby agrees to indemnify, defend and hold the City, its officials, officers, employees, agents, and volunteers harmless from and against all claims, demands, causes of action, actions, damages, losses, expenses, and other liabilities, (including without limitation reasonable attorney fees and costs of litigation) of every nature arising out of or in connection with the alleged or actual acts, errors, omissions or negligence of Consultant or its subcontractors relating to the performance of Services described herein to the fullest extent permitted by law, unless the injuries or damages are the result of City's sole negligence or willful misconduct, subject to any limitations imposed by law. Consultant and City agree that said indemnity and defense obligations shall survive the expiration or termination of this Agreement for any items specified herein that arose or occurred during the term of this Agreement.

20. Taxes. Consultant agrees to pay all taxes, licenses, and fees levied or assessed by any governmental agency on Consultant incident to the performance of Services under this Agreement, and unemployment and workers' compensation insurance, social security, or any other taxes upon the wages of Consultant, its employees, agents, and representatives. Consultant agrees to obtain and renew an annual business tax certificate from City and pay the applicable annual business registration tax to City during the term of this Agreement.

21. Assignment. Neither this Agreement nor any duties or obligations hereunder shall be assignable by Consultant without the prior written consent of City. In the event of an assignment to which City has consented, the assignee shall agree in writing to personally assume and perform the covenants, obligations, and agreements herein contained. In addition, Consultant shall not assign the payment of any monies due Consultant from City under the terms of this Agreement to any other individual, corporation or entity. City retains the right to pay any and all monies due Consultant directly to Consultant.

22. Form and Service of Notices. Any and all notices or other communications required or permitted by this Agreement or by law to be delivered to, served upon, or given to either party to this Agreement by the other party shall be in writing and shall be deemed properly delivered, served or given by one of the following methods:

a. Personally delivered to the party to whom it is directed. Service shall be deemed the date of delivery.

b. Delivered by e-mail to a known address of the party to whom it is directed provided the e-mail is accompanied by an acknowledgment of receipt by the other party. Service shall be deemed the date of acknowledgement.

c. Delivery by a reliable overnight delivery service, ex., Federal Express, receipted, addressed to the addressees set forth below the signatories to this Agreement. Service shall be deemed the date of delivery.

d. Delivery by deposit in the United States mail, first class, postage prepaid. Service shall be deemed delivered ninety-six (96) hours after deposit.

23. Entire Agreement. This Agreement, including the Exhibits and any other attachments, represents the entire Agreement between City and Consultant and supersedes all prior negotiations, representations or agreements, either written or oral with respect to the subject matter herein. This Agreement may be amended only by written instrument signed by both City and Consultant.

24. Successors and Assigns. This Agreement shall be binding upon and shall inure to the benefit of the parties hereto and their respective successors and assigns.

25. Authority. The signatories to this Agreement warrant and represent that they have the legal right, power, and authority to execute this Agreement and bind their respective entities. Evidence of Consultant's authority is attached as **Exhibit D**.

26. Severability. In the event any term or provision of this Agreement is declared to be invalid or illegal for any reason, this Agreement will remain in full force and effect and will be interpreted as though such invalid or illegal provision were not a part of this Agreement. The remaining provisions will be construed to preserve the intent and purpose of this Agreement and the parties will negotiate in good faith to modify any invalidated provisions to preserve each party's anticipated benefits.

27. Applicable Law and Interpretation and Venue. This Agreement shall be interpreted in accordance with the laws of the State of California. The language of all parts of this Agreement shall, in all cases, be construed as a whole, according to its fair meaning, and not strictly for or against either party. This Agreement is entered into by City and Consultant in the County of Fresno, California. Consultant shall perform the Services required under this Agreement in the County of Fresno, California. Thus, in the event of litigation, venue shall only lie with the appropriate state or federal court in Fresno County.

28. Amendments and Waiver. This Agreement shall not be modified or amended in any way, and no provision shall be waived, except in writing signed by the parties hereto. No waiver of any provision of this Agreement shall be deemed, or shall constitute, a waiver of any other provision, whether or not similar, nor shall any such waiver constitute a continuing or subsequent waiver of the same provision. Failure of either party to enforce any provision of this Agreement shall not constitute a waiver of the right to compel enforcement of the remaining provisions of this Agreement.

29. Third Party Beneficiaries. Nothing in this Agreement shall be construed to confer any rights upon any party not a signatory to this Agreement.

30. Execution in Counterparts. This Agreement may be executed in counterparts such that the signatures may appear on separate signature pages. A copy or an original, with all signatures appended together, shall be deemed a fully executed Agreement.

31. Alternative Dispute Resolution. If a dispute arises out of or relating to this Agreement, or the alleged breach thereof, and if said dispute cannot be settled through negotiation, the parties agree first to try in good faith to settle the dispute by non-binding mediation before resorting to litigation. The mediator shall be mutually selected by the parties, but in case of disagreement, the mediator shall be selected by lot from among two nominations provided by each party. All costs and fees required by the mediator shall be split equally by

the parties, otherwise each party shall bear its own costs of mediation. If mediation fails to resolve the dispute within thirty (30) days, either party may pursue litigation to resolve the dispute.

Demand for mediation shall be in writing and delivered to the other party to this Agreement. A demand for mediation shall be made within reasonable time after the claim, dispute or other matter in question has arisen. In no event shall the demand for mediation be made after the date when institution of legal or equitable proceedings based on such a claim, dispute or other matter in question would be barred by California statutes of limitations.

32. Non-Discrimination. Consultant shall not discriminate on the basis of any protected class under federal or State law in the provision of the Services or with respect to any Consultant employees or applicants for employment. Consultant shall ensure that any subcontractors are bound to this provision. A protected class, includes, but is not necessarily limited to race, color, national origin, ancestry, religion, age, sex, sexual orientation, marital status, and disability.

33. Performance Requirements. Notwithstanding, and in addition to the provisions of, Section 17 of this Agreement, if the Services performed hereunder are not in conformity with the requirements of this Agreement and other pertinent documents, City shall have the right to require Consultant to correct the work in conformity with the requirements of this Agreement at no additional increase in the payment to Consultant. Consultant shall promptly correct the work rejected by City for failing to conform to the requirements of the Agreement. Remedy for non-compliance or non-performance shall commence within 24 hours of notice. City shall also have the right to require Consultant to take all necessary steps to ensure future performance of the Services in conformity with the requirements of this Agreement. In the event Consultant fails to correct the work or fails to take necessary steps to ensure future performance of the Services in conformity with the requirements of this Agreement, City shall have the right to immediately terminate this Agreement for default.

Now, therefore, the City and Consultant have executed this Agreement on the date(s) set forth below.

CONSULTANT

CITY OF CLOVIS

By: _____
Matt Maddox, Principal

By: _____
John Holt, City Manager

Date: _____

Date: _____

By: _____
Megan Jones, Principal

Date: _____

Party Identification and Contact Information:

Consultant
Rincon Consultants, Inc.
Attn: Eric VonBerg, Project Manager
7080 North Winery Avenue, Suite 101
Fresno, CA 93720
evonberg@rinconconsultants.com
(559) 721-6063

City of Clovis
Planning and Development Services Department
Attn: McKencie Perez, MPA, Senior Planner
1033 Fifth Street
Clovis, CA 93612
mckenciep@cityofclovis.com
(559) 324-2310

ATTEST

_____, City Clerk

APPROVED AS TO FORM

Scott G. Cross, City Attorney

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EXHIBIT A SCOPE OF WORK

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Clovis Infill Rezone Program Environmental Assessment

Background

The City of Clovis has entered into a settlement agreement with Desiree Martinez regarding the City of Clovis' Housing Element. Rincon has been requested to prepare an Environmental Assessment in conformance with California Government Code Section 65759 to evaluate an increased capacity for affordable housing dwelling units in Clovis.

Project Description

The project involves a General Plan Amendment and rezoning on 54 acres across 24 parcels to create the capacity to provide approximately 1,284 affordable housing dwelling units as described in the settlement agreement between Desiree Martinez and the City of Clovis. The 24 parcels have been identified in Exhibit 2 of the settlement agreement and attached for reference. Our analysis will include the identification and assessment of up to five additional parcels to study as optional parcels if needed, or as part of an alternative in the EA. This is included in the below scope of work.

Scope of Work

Rincon's scope of work and methodology is described below to conform to the requirements of Government Code Section 65759 to prepare an EA and required technical studies needed to inform the EA. The EA will assess impacts programmatically to evaluate the broad policy implications of the proposed GPA and zone change and to identify strategies to avoid or mitigate potentially significant environmental effects. Our impact analysis will substantively evaluate growth-inducing, indirect/secondary, and cumulative impacts, specifically estimating and comparing the expected long-term development patterns supported by the project for each impact category.

Though the EA is not a "CEQA" document under section 65759, the structure of the document, the scope of the analysis, and the thresholds of significance used in the EA will closely resemble that which would be used in comparable EIR.

Task 1 Preparation of Project Description

Rincon will prepare a preliminary Project Description with the City-provided data mapping the opportunity sites to be rezoned and the potential residential density of those sites (dwelling units per acre), along with development of a project alternative in addition to the no project alternative. This scope of work assumes that City staff will conduct one round of review of the Project Description and provide consolidated, non-contradictory comments and edits.

Task 2 Project Management

Throughout the EA process, Rincon will proactively identify issues, immediately bring those issues to the attention of City staff, identify potential solutions, and coordinate with City staff as to the best course of action. Rincon will participate in 30-minute project management conference calls as needed with the project team to ensure that all tasks get completed on time to adhere to the agreed-upon schedule. Rincon will use email communications and have telephone/videoconference conversations with City staff, as needed, during the course of the project to ensure clear communication. Rincon has included budget for three in-person meetings at the City of Clovis attended by the Rincon Project Manager. Rincon assumes the attendance at 15 virtual meetings with City staff throughout the length of the project with a billable time of one hour each to include preparing agendas and meeting



minutes/notes. Rincon will prepare monthly invoices with status reports documenting the progress made each month on completing the project, and review and update the schedule when necessary.

Task 3 Technical Studies

In support of the project’s EA compliance requirements, Rincon will conduct focused assessments of the following environmental topics of concern. For Air Quality & Greenhouse Gas Emissions, Noise, and Biological Resources, the analyses described below will be summarized in the corresponding EA section(s); separate technical reports will not be prepared. For Cultural Resources and Transportation, separate technical reports will be prepared and attached to the EA as appendices. City of Clovis is providing Rincon the Water Supply Assessment (WSA) that will be included as an appendix as well.

Task 3.1 Air Quality & Greenhouse Gas Emissions

The air quality and greenhouse gas (GHG) emissions analyses will consider temporary construction and long-term operational emissions from buildout of the project area. The analysis will be conducted with consideration of the approaches to the air quality and GHG emissions sections in the City’s 2014 General Plan Environmental Impact Report (EIR). This will include summarizing the existing air quality conditions in the air basin using data from nearby air monitoring stations available from the California Air Resources Board and the San Joaquin Valley Air Pollution Control District (SJVAPCD). The state of the climate and relevant federal, state, and local climate change regulations will be described, with GHGs identified as an area of primary concern. This section will summarize federal, state, and local standards and regulatory review requirements pertinent to air quality and GHG emissions and evaluate the significance of air quality and GHG impacts per SJVAPCD standards.

The project’s operational and construction emissions will be addressed qualitatively by referencing their increase over the plan-level models conducted in the 2014 General Plan EIR. No air quality or GHG modeling is proposed. The analysis will also evaluate potential odor impacts through buildout of the project area; evaluate the project’s compliance with applicable Air Quality Management Plans; evaluate the project’s compliance with applicable State and local GHG reduction plans, policies, and regulations; and develop mitigation measures for identified potentially significant air quality and GHG impacts. Mitigation measures from the City’s 2014 General Plan EIR will potentially be used and/or modified depending on the impact findings.

Task 3.2 Noise

The noise section of the EA will be conducted in accordance with City of Clovis guidelines, standards, and ordinances. The analysis will be conducted with consideration of the noise section in the City’s 2014 General Plan EIR. The existing setting will describe existing ambient and traffic noise levels, and a discussion of existing airport noise levels based on available data from the General Plan and other sources. No ambient noise measurements are proposed. The noise analysis will examine both temporary construction noise and long-term operational noise. Construction noise and vibration impacts associated with buildout of the plan area will be addressed qualitatively. The project’s traffic noise will be addressed qualitatively by referencing the project’s increase over the models conducted in the 2014 General Plan EIR; no traffic noise modeling is proposed. Noise impacts from non-transportation sources will be evaluated on a programmatic level, qualitatively based on local noise standards. Feasible mitigation measures will be identified to minimize noise and vibration impact; mitigation measures from the City’s 2014 General Plan EIR will potentially be used.



Task 3.3 Biological Resources

The project sites support a mixture of residential and commercial development, and vacant land, and may support special-status species such as burrowing owl, and Swainson’s hawk, among others. As part of the biological resources analysis, Rincon will collect regional background information on biological resources that could be affected by the project. The collected information will include database queries (e.g., California Natural Diversity Database [CNDDDB], California Native Plant Society, U.S. Fish and Wildlife Service, National Wetland Inventory), reviews of regional planning documents (including the City’s 2014 General Plan EIR), and information provided by City staff. Given the programmatic nature of the analysis, this scope of work does not include site specific biological surveys, or reconnaissance site visits to any of the parcels.

The biological setting section will describe the regulatory framework, vegetation communities per the California Wildlife Habitat Relationships classifications, waters and wetlands, and special-status species occurrences and habitats. Rincon will compile results from database queries in an appendix to the EA and summarize the results and findings within the EA section. The impact analysis will include a description of methodology, a summary of land use changes that may result in impacts to biological resources, consistency with the City’s 2014 General Plan EIR, and avoidance and mitigation measures, as appropriate.

Task 3.4 Cultural Resources

The following cultural subtasks will be billed under Task 3.4 Cultural Resources Evaluation.

California Historical Resources Information System Records Search

Rincon will conduct a California Historical Resources Information System (CHRIS) records search of the project site and a .50-mile radius at the Southern San Joaquin Valley Information Center (SSJVIC) located at California State University Bakersfield. The primary purpose of the records search is to identify previously recorded cultural resources known to exist within or near the project site. In addition to the resource records and reports, an examination will be made of historical maps, the National Register of Historic Places, California Register of Historical Resources, the Built Environment Resources Directory, the Archaeological Determinations of Eligibility list, and the listing of California Historical Landmarks. The records search will also reveal the nature and extent of any cultural resources work conducted in or near the project site. Direct expenses associated with the records search will not exceed \$3,500. Record search requests at SSJVIC are typically fulfilled in 4-6 weeks.

Native American Heritage Commission Sacred Lands File Request

Rincon will contact the Native American Heritage Commission (NAHC) to request a Sacred Lands File (SLF) search. The SLF search will indicate whether recorded Sacred Lands are present within the vicinity of the project site. The NAHC will also provide a list of Native American contacts for the project. This does not constitute Assembly Bill 52 or Senate Bill 18 consultation.

Cultural Resources Technical Report

Rincon will prepare a Cultural Resources Technical Report that will present findings, recommendations, and impact assessments. The report will follow the California Office of Historic Preservation’s Archaeological Resource Management Reports (ARMR): Recommended Contents and Format and will provide applicable environmental and cultural contexts for the project site and vicinity, outline the regulatory framework within which impacts to cultural resources will be analyzed, present the methods and results of the CHRIS records search, archival research, desktop archaeological



sensitivity analysis of the parcels and the potential to encounter subsurface prehistoric or historic-period archaeological resources during construction. The report findings will include recommendations for additional work or mitigation measures, if any are deemed necessary.

Rincon assumes one (1) round of comments. Deliverables will be provided in electronic format (PDF and/or Word). A copy of the final report will be filed with the SSJVIC.

Senate Bill 18 Letter Assistance Package

Under SB 18 (California Government Code Section 65352.3 and 65352.4), the CEQA lead agency, is required to begin consultation with California Native American Tribes that are traditionally and culturally affiliated with the project site, prior to the release of a negative declaration, mitigated negative declaration, or environmental impact report. SB 18 notification process will be prepared and carried out by City staff.

Assumptions

- Tribal consultation pursuant to AB 52 is not included.
- The cultural resources assessment will be negative for cultural resources.
- No field survey will be required, and no resources will be recorded or evaluated for inclusion in the California Register of Historical Resources or National Register of Historic Places.

Task 3.5 Transportation

The scope of work from Kittleson for the transportation portion of the EA will focus on required CEQA elements consistent with Appendix G of the CEQA Guidelines in line with the requirements of GC 65759 for the preparation of an EA. Specifically, CEQA Guidelines § 15064.3, subdivision (b)(1), that states for land use projects, “Vehicle miles traveled exceeding an applicable threshold of significance may indicate a significant impact.”

Kittleson will develop a travel forecast by coordinating with Rincon to verify appropriate factors to convert acreages of various land use designations to quantities of housing units by type.

Kittleson will apply the Fresno County activity-based travel model maintained by the Fresno Council of Governments (Fresno COG) to provide travel forecasts for two new scenarios:

- Existing plus Project: Base Year (2019) with Proposed Infill/General Plan Amendment
- Cumulative with Project: 2046 with Proposed Infill/General Plan Amendment

Kittleson will provide inputs to air quality, GHG and noise analyses. Typical transportation data items are listed below.

Air Quality and Greenhouse Gas Emissions Analysis Inputs

- Average daily vehicle trips in Clovis without and with the project
- Total daily VMT in Clovis without and with the project

Noise Analysis Inputs

- Average daily vehicle traffic volumes on key road segments in Clovis (up to 20) without and with the project Task 3 Deliverables

EA Evaluation

Consistent with Appendix G of the CEQA Guidelines, the proposed Infill Rezone and General Plan Amendment will have a significant impact on the environment associated with transportation and circulation if it will:

- a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities;
- b) Conflict or be inconsistent with CEQA Guidelines § 15064.3, subdivision (a);
- c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment);
- d) Result in inadequate emergency access.

VMT Analysis

CEQA Guidelines § 15064.3, subdivision (b)(1), states for land use projects, “Vehicle miles traveled exceeding an applicable threshold of significance may indicate a significant impact.”

Kittelson will report the following VMT statistics for the Fresno County region and the City of Clovis:

- Total daily VMT
- Household-based VMT per capita at household locations

The VMT per capita calculations will be consistent with the guidance from the California Office of Planning and Research (OPR) “Technical Advisory on Evaluating Transportation Impacts in CEQA.”

Kittelson will coordinate with Rincon and city staff to determine the appropriate impact thresholds to use for VMT analysis. One type of threshold that has been used for other General Plans is to demonstrate that development under the proposed Infill Rezone/General Plan Amendment would result in lower VMT per capita than the current General Plan. Average daily vehicle traffic volumes on key road segments in Clovis (up to 20) without and with the project

Kittelson will provide inputs to the EA transportation section including the following listed below: They will provide an administrative draft to include in the Administrative Draft EA and respond to any edits to include in the Screencheck EA.

EA Documentation

Kittelson will provide inputs to the EA transportation section or a stand-alone memorandum including the following:

- Essential updates to the Transportation Setting text from the prior General Plan EIR, not including any new data collection, data analysis or mapping
- Updates to the Regulatory Setting section to incorporate changes in State law
- New Impacts and Mitigation section consistent with the current CEQA checklist for transportation impacts

Kittelson will provide an initial administrative draft EA section and revise the section in response to Rincon review. Kittelson will then provide the transportation section for the Administrative Draft EA. Kittelson will respond to one set of comments from the city staff review of the administrative draft EA,



as compiled by Rincon. Kittelson will provide a revised transportation section for the Draft EA and a comment/response matrix to document how city staff comments were addressed.

Task 3.6 Local Transportation Analysis (Optional)

Kittelson will prepare a Local Transportation Analysis (LTA) for the infill sites to address circulation issues that are not required for CEQA.

Because of the widely dispersed locations and unknown site plans for the housing sites, it is not practical to provide detailed traffic operations analysis at specific locations or project access points. Therefore, the LTA will be based on the road segment capacity analysis that is documented in the June 2014 EIR for the Clovis General Plan, Appendix A. The following process will be used:

- – Road segments will be selected for analysis if the General Plan EIR reported them at LOS D, E or F in the Year 2035 plus Proposed General Plan conditions in either the AM or PM peak hour
- The total increments of traffic growth caused by the proposed infill housing sites will be identified for these study segments based on the differences between the 2046 traffic forecasts without and with the proposed Infill/General Plan Amendment
- The total road segment traffic volumes will be estimated by adding the growth increments to the volumes reported in the General Plan EIR
- The total road segment volumes will be compared to the level of service thresholds reported in the General Plan EIR
- Capacity issues will be reported for two cases:
 - LOS D becomes LOS E or worse
 - The proposed housing units add traffic to segments that would be LOS E or worse without the additional housing

Where capacity issues are identified, potential mitigation will be proposed and compared to the city's Capital Improvement Program and the General Plan Circulation Element.

Kittelson will prepare a memorandum documenting the LTA and supporting calculations. Kittelson will respond to one set of comments on the draft LTA memorandum and prepare a final LTA memorandum.

Task 4 Environmental Assessment

Task 4.1 Administrative Draft Environmental Assessment

Rincon will prepare an Administrative Draft EA in compliance with California Government Code Section 65759 requirements, utilizing the information developed from the technical studies listed above to address identified environmental impacts based on the project description developed for the project. Each topical section in the environmental analysis will be introduced with a brief statement of its context in the EA.

The setting for each topical section will describe existing conditions relevant to the topic and provide the groundwork for impact analysis. Rincon will clearly state the thresholds used to determine the significance of project impacts and will include thresholds as described in and consistent with the CEQA Guidelines, Appendix G, City guidelines (as applicable), and existing regulatory standards, where applicable.

For each potentially significant impact identified in the Administrative Draft EA, Rincon will identify feasible mitigation measures to avoid or reduce identified impacts.



Clovis Infill Rezone Program Environmental Assessment Project Scope of Work

To prepare an EA that meets the needs of the City and complies with Government Code Section 65759, the EA will include the following sections:

1. **Executive Summary.** This section will provide a summary of the entire EA, including a summary of impacts and mitigation measures in matrix format.
2. **Introduction and Environmental Setting.** The introduction will describe the purpose of the EA, the scope of issues to be addressed, and present the organization of the report.
3. **Project Description.** The project description will contain the City’s objectives for the project; a summary of goals, policies, programs, and development regulations; and graphical depiction of the proposed housing sites.
4. **Analysis, Impacts, and Mitigation Measures.** Analysis of impacts will include four main components:
 - 4.1. Setting: description of current conditions with respect to the issue in question, including the existing regulatory environment.
 - 4.2. Impact analysis: discussion of potentially significant effects of the proposed project; impacts are typically compared to established “thresholds of significance.”
 - 4.3. Programmatic mitigation measures: methods by which significant effects can be reduced or eliminated.
 - 4.4. Level of significance after mitigation: discussion of whether proposed mitigation measures would reduce impacts to less than significant.
5. **Effects Found Not to be Significant.** This section will address the potential environmental effects of the project that were determined not to be significant. We anticipate that this section will include a discussion on Agriculture and Forestry Resources, Mineral Resources, and Wildfire.
6. **Alternatives.** Using the Alternatives considered under Task 1 above, the EA will consider two alternatives to the proposed project, including the “no project” alternative. The alternatives analysis will be less detailed than the project analysis but will identify the magnitude of each impact and associated mitigation requirements.

Rincon’s Project Manager will discuss approaches to the impact analysis for the EA with City staff. The approach will be consistent with the assumptions and methodologies used in recent EIRs in the City to the extent warranted. In general, the impact analysis will focus on the environmental issues and resource concerns present in the City and likely to be affected or impacted by the Clovis Infill Rezone Program. We anticipate that the EA will examine the following issue areas in detail:

- | | |
|-----------------------------|---------------------------------|
| Aesthetics | Hazards and Hazardous Materials |
| Agriculture/Forestry | Land Use and Planning |
| Air Quality | Mineral Resources |
| Biological Resources | Noise |
| Cultural Resources | Population and Housing |
| Energy | Public Services and Recreation |
| Geology and Soils | Transportation |
| Greenhouse Gas Emissions | Tribal Cultural Resources |
| Hydrology and Water Quality | Utilities and Service Systems |
| | Wildfire |



Task 4.2 Screencheck Environmental Assessment

Rincon will incorporate City staff input into the Administrative Draft EA. This scope of work assumes that City staff will conduct one round of review of the Administrative Draft EA and provide consolidated, non-contradictory comments and edits. Rincon will incorporate appropriate revisions and meet with the City if needed to discuss comments. Rincon will prepare a clean copy of the Screencheck Draft EA in a pdf format. A track changes version can be provided if requested.

Task 4.3 Final Environmental Assessment

Upon receiving final edits on the Screencheck EA from City staff, the team will prepare the Final EA for the City. Rincon will provide a complete PDF digital version of the EA (including appendices) for City use. We will also provide to the City the Word files used to create the complete pdf version. The Word files are not for publishing or releasing to the public.

Task 4.4 Mitigation Monitoring and Reporting Program

Concurrent with Final EA, Rincon will prepare a Mitigation Monitoring and Reporting Program (MMRP) to be included in the Final EA. The MMRP will be provided in a format designed for use by planners, environmental monitors, or code enforcement officers. Essentially, this plan will take the form of a detailed table that describes:

1. Persons/agencies responsible for monitoring compliance with each condition
2. Timing when monitoring must occur
3. Frequency of monitoring
4. Criteria to be used to determine compliance with conditions

Task 5 Public Hearing

We have budgeted for participation at two public hearings on the project. This is assumed to be one Planning Commission and one City Council hearing to update them on the project and receive input. For the public hearing, Rincon will be prepared to discuss any environmental recommendations. Additional public hearings will be billed on a time and materials basis, per Rincon's billing rates in effect at the time the service is provided.

EXHIBIT B BUDGET AND TASK SCHEDULE

To be provided with final agreement

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EXHIBIT C INSURANCE REQUIREMENTS

Prior to commencement of the Services, Consultant shall take out and maintain at its own expense the insurance coverage required by this **Exhibit C**. Consultant shall cause any subcontractor with whom Consultant contracts for the performance of Services pursuant to this Agreement to take out and maintain equivalent insurance coverage. Said insurance shall be maintained at all times during Consultant's performance of Services under this Agreement, and for any additional period specified herein. All insurance shall be placed with insurance companies that are licensed and admitted to conduct business in the State of California and are rated at a minimum with an "A:VII" by A.M. Best Company, unless otherwise acceptable to the City.

a. Minimum Limits of Insurance. Consultant shall maintain the following types of insurance with limits no less than specified:

(i) Professional Liability Insurance (Errors and Omissions) in an amount not less than \$2,000,000.00 per occurrence or claim and \$2,000,000 in the aggregate. Said insurance shall be maintained for an additional period of five years following the earlier of completion of Consultant's Services under this Agreement or termination of this Agreement.

(ii) General Liability Insurance (including operations, products and completed operations coverages) in an amount not less than \$2,000,000 per occurrence for bodily injury, personal injury and property damage. If Commercial General Liability insurance or other form with a general aggregate limit is used, either the general aggregate limit shall apply separately to this project/location (ISO CG 25 03 or 25 04) or the general aggregate limit shall be twice the required occurrence limit.

(iii) Worker's Compensation Insurance as required by the State of California.

(iv) Automobile Liability Insurance in an amount not less than \$1,000,000 per accident for bodily injury and property damage.

(v) Umbrella or Excess Liability. In the event Consultant purchases an Umbrella or Excess insurance policy(ies) to meet the "Minimum Limits of Insurance," this insurance policy(ies) shall "follow form" and afford no less coverage than the primary insurance policy(ies). In addition, such Umbrella or Excess insurance policy(ies) shall also apply on a primary and non-contributory basis for the benefit of the City, its officers, officials, employees, agents and volunteers.

If Consultant maintains higher limits than the minimums shown above, the City shall be entitled to coverage at the higher limits maintained.

b. Other Insurance Provisions. The general liability policy is to contain, or be endorsed to contain, the following provisions:

(i) The City, its officers, officials, employees, agents, and volunteers are to be covered as insured's with respect to liability arising out of automobiles owned, leased, hired or borrowed by or on behalf of the Consultant; and with respect to liability arising out of work or operations performed by or on behalf of the Consultant including materials, parts or equipment furnished in connection with such work or operations. General liability coverage can be provided in the form of an endorsement to the Consultant's insurance (at least as broad as ISO Form 20 10 11 85 or both CG 20 10, CG 20 26, CG 20 33 or CG 20 38; and CG 20 37 forms if later revisions used).

(ii) For any claims related to the Services performed pursuant to this Agreement, the Consultant's insurance coverage shall be primary insurance as respects the City, its officers, officials, employees, agents, and volunteers. Any insurance or self-insurance maintained by the City, its officers, officials, employees, agents or volunteers shall be excess of the Consultant's insurance and shall not contribute with it.

(iii) Each insurance policy required by this section shall be endorsed to state that the City shall receive written notice at least thirty (30) days prior to the cancellation, non-renewal, or material modification of the coverages required herein.

(iv) Consultant grants to the City a waiver of any right to subrogation which any insurer of said Consultant may acquire against the City by virtue of the payment of any loss under such insurance. Consultant agrees to obtain any endorsement that may be necessary to affect this waiver of subrogation, but this provision applies regardless of whether or not the City has received a waiver of subrogation endorsement from the insurer.

(v) Any deductibles or self-insured retentions must be declared to and approved by the City of Clovis Risk Services. The City may require the Consultant to purchase coverage with a lower deductible or retention or provide proof of ability to pay losses and related investigations, claim administration, and defense expenses within the retention.

c. Evidence of Coverage. Consultant shall deliver to City written evidence of the above insurance coverages, including the required endorsements prior to commencing Services under this Agreement; and the production of such written evidence shall be an express condition precedent, notwithstanding anything to the contrary in this Agreement, to Consultant's right to be paid any compensation under this Agreement. City's failure, at any time, to object to Consultant's failure to provide the specified insurance or written evidence thereof (either as to the type or amount of such insurance), shall not be deemed a waiver of City's right to insist upon such insurance later.

d. Maintenance of Insurance. If Consultant fails to furnish and maintain the insurance required by this section, City may (but is not required to) purchase such insurance on behalf of Consultant, and the Consultant shall pay the cost thereof to City upon demand, and City shall furnish Consultant with any information needed to obtain such insurance. Moreover, at its discretion, City may pay for such insurance with funds otherwise due Consultant under this Agreement.

e. Subcontractors. If the Consultant should subcontract all or any portion of the work to be performed in this Agreement, the Consultant shall cover the subcontractor, and/or require each subcontractor to adhere to all the requirements contained herein. Similarly, any cancellation, lapse, reduction or change of subcontractor's insurance shall have the same impact as described above.

f. Special Risks or Circumstances. The City reserves the right to modify these requirements, including limits, based on the nature of the risk, prior experience, insurer, coverage, or other special circumstances.

g. Indemnity and Defense. Except as otherwise expressly provided, the insurance requirements in this section shall not in any way limit, in either scope or amount, the indemnity and defense obligations separately owed by Consultant to City under this Agreement.

EXHIBIT D SIGNING AUTHORITY

To be provided with final agreement

DRAFT



CITY of CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: May 6, 2024

SUBJECT: Planning and Development Services - Approval - Res. 24-____, a request to adopt a resolution approving the initiation of a general plan amendment and ordinance amendment to adjust the existing density ranges for multi-family residential development in the General Plan and Development Code.

ATTACHMENTS: 1. Resolution 24-____, Initiation of GPA and OA

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

Staff recommends that the City Council adopt a resolution initiating a general plan amendment application and an ordinance amendment application to modify the existing density ranges for multi-family residential development.

EXECUTIVE SUMMARY

The initiation of a general plan amendment and ordinance amendment are required in accordance with the terms of the Judgment recently entered in the Martinez v. City of Clovis case. The City is specifically required to amend the R-3 (Multifamily High Density) zone district to increase the minimum permitted density from 15 to 20 units per acre. To avoid a gap in residential density ranges, an adjustment to the R-2 (Multifamily Medium-High Density) zone district to increase the maximum density from 15 to 20 units is also recommended. Amendments to the corresponding general plan designations for both zone districts are necessary to ensure consistency between general plan designations and zoning classifications. The amendments to be initiated by the proposed action are outlined below in the table below.

General Plan Designation Zone District	Current Density	Amended Density
Medium-High Density R-2:	7.1 – 15.0 du/ac	7.1 – 20.0 du/ac
High Density R-3:	15.1 – 30.0 du/ac	20.1 – 30.0 du/ac

BACKGROUND

R-3 Zone District Minimum Density

On February 20, 2024, the City Council approved a settlement agreement in conjunction with the Martinez v. City of Clovis litigation and the agreement has since been approved by the court and Judgement has been entered. This requires the City to amend its R-3 zone district to increase the minimum permitted density from 15 units per acre to 20 units per acre. The current density range is 15-30 units per acre. The modified density range is proposed to be 20-30 units per acre.

R-2 Zone District Maximum Density

The current density range for the R-2 zone district is 7-15 units per acre. With the required increase to the R-3 minimum density to 20 units per acre, there would be a gap between the top-end of the R-2 District (15 units) and the bottom of the R-3 District (20 units). To avoid this gap in density ranges, and to maintain the opportunity for projects to be developed between 15 and 20 units per acre, an increase to the maximum density of the R-2 zone district from 15 to 20 units is recommended. The modified density range is proposed to be 7-20 units per acre.

Amendments to General Plan Land Use Designations

While the Martinez v. City of Clovis Judgement specifically addresses zoning, the underlying general plan designations that correspond to the zone districts described above also need to be modified so that there is consistency between the zoning and the General Plan. The density permitted in the H (High Density Residential) general plan designation will need to be amended to match the new R-3 density (20-30 units per acre). The density in the MH (Medium-High Density Residential) general plan designation will need to be amended to match the new R-2 density (7-20 units per acre).

REASON FOR RECOMMENDATION

Staff is seeking City Council initiation of a general plan amendment and ordinance amendment to modify multi-family land use designations and zoning classifications. The proposed changes are required in conjunction with the terms of the Judgment recently entered in the Martinez v. City of Clovis case.

ACTIONS FOLLOWING APPROVAL

Staff will prepare the general plan and ordinance amendment materials and schedule public hearings for consideration by the Commission and Council. The terms of the Judgement require that the modifications be completed no later than July 31, 2024.

Prepared by: Dave Merchen, City Planner

Reviewed by: City Manager *AM*

RESOLUTION 24-__

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS
APPROVING THE INITIATION OF A GENERAL PLAN AMENDMENT AND ORDINANCE
AMENDMENT TO ADJUST THE EXISTING DENSITY RANGES FOR MULTI-FAMILY
RESIDENTIAL DEVELOPMENT IN THE GENERAL PLAN AND DEVELOPMENT CODE

WHEREAS, the City Council of the City of Clovis (City) desires to provide safe and quality affordable housing for lower income households in the City with the creation of new affordable housing programs; and

WHEREAS, pursuant to the terms of the Judgment recently entered in the Martinez v. City of Clovis case [Fresno County Superior Court Case No. 19CECG03855] (the “Judgement”), the City is required to amend its R-3 zone district to increase the minimum permitted density from 15 units per acre to 20 units per acre; and

WHEREAS, to avoid a gap in density ranges that would otherwise result from the increase to the minimum density to the R-3 zone district, an increase in the maximum density of the R-2 zone district from 15 to 20 units is desired; and

WHEREAS the underlying general plan designations that correspond to the R-2 and R-3 zone districts need to be modified so that there is consistency between the zoning and the General Plan.

NOW, THEREFORE, BE IT RESOLVED, that the City of Clovis initiates general plan amendment and ordinance amendment applications to modify the densities in the R-2 and R-3 zone districts and the corresponding Medium-High Density Residential and High Density Residential general plan designations.

* * * * *

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote, to wit.

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

- DATED:

Mayor

City Clerk



CITY *of* CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Police Department

DATE: May 6, 2024

SUBJECT: Police – Approval – Annual Review of Ordinance 22-03, Clovis Police Department Policy 706, and the Annual Military Equipment Use Report

ATTACHMENTS: 1. Ordinance 22-03
2. Policy 706 of the Clovis Police Department Policy Manual
3. Annual Military Equipment Use Report

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

Staff recommends that the City Council renews the ordinance adopting our Military Equipment Use Policy in accordance with AB 481.

EXECUTIVE SUMMARY

Staff recommends that the City Council approve the Military Equipment Use Policy, Policy 706 of the Clovis PD Policy Manual, and the Annual Military Equipment Use Report. The Policy and ordinance must be renewed to allow the Department to continue using existing military equipment in the Department's inventory and acquire new equipment for operational needs. The proposed Policy 706, Ordinance, and Annual Military Equipment Report comply with the requirements of AB 481.

AB 481 requires law enforcement agencies to obtain approval from the applicable governing body, of an ordinance adopting a military equipment use policy, prior to obtaining, acquiring, and using military equipment. "Military equipment" is defined to include, without limitation, the following equipment: unmanned aerial or ground vehicles, armored vehicles, command and control vehicles, pepper balls, less lethal shotguns, less lethal 40mm projectile launchers, long range acoustic devices, flashbangs, and foundational equipment, such as rifles. This equipment is used as a component of overall best practices for law enforcement agencies throughout the country. Losing the ability to use this equipment would jeopardize the welfare of citizens and peace officers within the City.

There is a significant interest in ensuring that the Department continues to have access to equipment that provides the Department as many resources as possible to safeguard lives, ensure safety, and protect civil liberties. The use of military equipment is crucial to the Department's mission and will continue to be strictly regulated through internal processes and oversight, transparency, and City Council and public review.

BACKGROUND

On January 1, 2022, Governor Newsom signed into law AB 481, codified in Government Code sections 7070 through 7075. This new law requires law enforcement agencies to obtain approval from the applicable governing body of a military equipment use policy (adopted by ordinance) before obtaining funding, acquiring, or using military equipment.

The Department seeks City Council's approval of Policy 706 (Attachment 2), by renewing Ordinance 22-03 (Attachment 1), so that the Department may continue using the equipment as specified in the Policy. The purpose of Policy 706 is to safeguard the public's welfare, safety, civil rights, and civil liberties. Policy 706 ensures that there are adequate safeguards in place for the use of such equipment, including transparency, oversight, and accountability.

Policy 706 includes an inventory of each piece of equipment identified in Government Code section 7070 that is currently owned by the City, and the current use and cost of each piece of equipment. The equipment has been appropriately used in accordance with applicable legal requirements before enactment of AB 481. The Department has not identified a reasonable alternative to the equipment listed in Policy 706 that can achieve the same objective of officer and civilian safety. Policy 706 also allows for other law enforcement agencies to use military equipment when assisting in Clovis as long as the assisting agency has a similar military equipment use policy adopted by its governing body.

As required by AB 481, the proposed Policy 706 has been posted on the Department's website. If Policy 706 is re-approved, it will remain posted and publicly available on the Department's website.

Once Policy 706 is approved, AB 481 requires the Department to annually submit a military equipment report for each approved type of military equipment to the City Council for as long as the military equipment is available for use. Additionally, the Department must make each annual report publicly available on its website for as long as the equipment is available for use. The annual report must be presented to and reviewed by the City Council at a regular meeting each year, and the City Council must determine at the annual meeting whether each type of military equipment identified in the report continues to comply with the standard of approval, and determine whether to renew the ordinance approving Policy 706.

Future acquisition of any equipment deemed to be "military equipment" will comply with applicable funding and procurement requirements.

FISCAL IMPACT

None.

REASON FOR RECOMMENDATION

Department Policy 706, the Annual Military Equipment Use Report, and the adopting ordinance meet the requirements of Assembly Bill 481, and approval will allow the Department to continue using its existing military equipment to safeguard the public and officers.

ACTIONS FOLLOWING APPROVAL

The Department will continue to use its existing military equipment in accordance with Policy 706 after approval of the Military Equipment Use Report and renewal of Ordinance 22-03.

Prepared by: Craig Aranas, Police Lieutenant

Reviewed by: City Manager *AA*

ORDINANCE 22-03**AN ORDINANCE BY THE CITY COUNCIL OF THE CITY OF CLOVIS ADOPTING
A MILITARY EQUIPMENT USE POLICY**

The City Council of the City of Clovis does hereby ordain as follows:

SECTION 1. Findings.

The City Council finds:

- A. On September 30, 2021, Governor Gavin Newsom signed into law Assembly Bill 481, which codified procedures of funding, acquisition and use of military equipment by law enforcement agencies under Government Code sections 7070 through 7075.
- B. Assembly Bill 481 requires law enforcement agencies to obtain approval from the applicable governing body by ordinance adopting a military equipment use policy prior to taking certain actions relating to funding, acquisition, or use of military equipment.
- C. Assembly Bill 481 allows a city council of a city to approve the funding, acquisition, or use of military equipment within its jurisdiction only if it makes specified determinations pursuant to Government Code section 7071.
- D. Assembly Bill 481 requires law enforcement agencies to annually submit to the applicable governing body a military equipment report for each approved type of military equipment for as long as the military equipment is available for use, and to make each annual report publicly available on its website for as long as the equipment is available for use.
- E. Assembly Bill 481 requires a city council that has adopted an ordinance approving a military equipment use policy to annually review the military equipment report submitted by the law enforcement agency to determine whether each type of military equipment identified in the report continues to comply with the standard of approval.
- F. Assembly Bill 481 requires a city council that has adopted an ordinance approving a military equipment use policy to annually review the ordinance and vote on whether to renew the ordinance at a regular meeting.
- G. Policy 706 of the Clovis Police Department Policy Manual has been prepared by the Clovis Police Department as its proposed military equipment use policy, and it has been published on the Clovis Police Department's page of the City's internet website since March 18, 2022.
- H. A duly noticed public meeting was conducted by the City Council at its regular meeting on April 18, 2022, to consider Policy 706.

SECTION 2. Determinations.

A. Based on the above-findings and the information provided to and considered by the City Council during the public meeting, the City Council determines that Policy 706 of the Clovis Police Department Policy Manual complies with the following standards for approval under Government Code section 7071:

1. The identified military equipment is necessary because there is no reasonable alternative that can achieve the same objective of officer and civilian safety.

2. Policy 706 of the Clovis Police Department Policy Manual will safeguard the public's welfare, safety, civil rights, and civil liberties.

3. The purchase and use of the identified military equipment is reasonably cost effective compared to available alternatives that can achieve the same objective of officer and civilian safety.


4. All military equipment use prior to the adoption of Policy 706 of the Clovis Police Department Policy Manual complied with applicable Department policy in effect at that time, and adoption of Policy 706 will ensure future compliance.

B. Policy 706 of the Clovis Police Department Policy Manual is approved and adopted.

SECTION 3. This Ordinance shall take effect thirty (30) days after its adoption but will not be codified in the City's Municipal Code.

SECTION 4. The City Clerk is hereby directed to cause a summary of this Ordinance to be published by one insertion in a newspaper of general circulation in the community at least five (5) days prior to adoption and again fifteen (15) days after its adoption. If a summary of the ordinance is published, then the City Clerk shall cause a certified copy of the full text of the proposed ordinance to be posted in the office of the City Clerk at least five (5) days prior to the Council meeting at which the ordinance is adopted, and again after the meeting at which the ordinance is adopted. The summary shall be approved by the City Attorney.

APPROVED: April 18, 2022



Mayor Pro Tem



City Clerk

* * * * *

The foregoing Ordinance 22-03 was introduced at a regular meeting of the City Council of the City of Clovis held on April 18, 2022, and was thereafter duly adopted at a regular meeting of said City Council held on May 9, 2022, by the following vote, to wit:

AYES: Councilmembers Ashbeck, Mouanoutoua, Whalen

NOES: None

ABSENT: Councilmember Bessinger, Mayor Flores

ABSTAIN: None

DATED: May 9, 2022



Karen Chan

City Clerk

Military Equipment

706.1 PURPOSE AND SCOPE

The purpose of this policy is to provide guidelines for the approval, acquisition, and reporting requirements of military equipment (Government Code § 7070; Government Code § 7071; Government Code § 7072).

706.1.1 DEFINITIONS

Definitions related to this policy include (Government Code § 7070):

Governing body – The elected or appointed body that oversees the Department.

Military equipment – Includes but is not limited to the following:

- Unmanned, remotely piloted, powered aerial or ground vehicles.
- Mine-resistant ambush-protected (MRAP) vehicles or armored personnel carriers.
- High mobility multipurpose wheeled vehicles (HMMWV), two-and-one-half-ton trucks, five-ton trucks, or wheeled vehicles that have a breaching or entry apparatus attached, excluding unarmored all-terrain vehicles and dirt bikes.
- Tracked armored vehicles that provide ballistic protection to their occupants and utilize a tracked system instead of wheels for forward motion.
- Command and control vehicles that are either built or modified to facilitate the operational control and direction of public safety units.
- Weaponized aircraft, vessels, or vehicles of any kind.
- Battering rams, slugs, and breaching apparatuses that are explosive in nature. This does not include a handheld ram designed to be operated by one person.
- Firearms and ammunition of fifty (.50) caliber or greater, excluding standard-issue shotguns and standard-issue shotgun ammunition.
- Specialized firearms and ammunition of less than fifty (.50) caliber, including firearms and accessories identified as assault weapons pursuant to Penal Code section 30510 and Penal Code section 30515, with exception of standard department issued firearms.
- Any firearm or firearm accessory that is designed to launch explosive projectiles.
- Noise-flash diversionary devices and explosive breaching tools, including, but not limited to, grenades.
- Munitions containing tear gas or oleoresin capsicum (OC), excluding standard, Department-issued handheld pepper spray.
- TASER® Shockwave, microwave weapons, water cannons, and Long-Range Acoustic Devices (LRADs).
- Kinetic energy weapons and munitions, including, but not limited to, projectile launchers, bean bag rounds, and rubber bullets.

Military Equipment

- Any other equipment as determined by a governing body or a state agency to require additional oversight.

706.2 POLICY

It is the policy of the Clovis Police Department that members of this department comply with the provisions of Government Code § 7071.

706.3 MILITARY EQUIPMENT COORDINATOR

The Chief of Police should designate a member of this department to act as the military equipment coordinator. The responsibilities of the military equipment coordinator include but are not limited to:

- (a) Acting as liaison to the governing body for matters related to the requirements of this policy.
- (b) Identifying department equipment that qualifies as military equipment in the current possession of the Department, or the equipment the Department intends to acquire that requires approval by the governing body.
- (c) Conducting an inventory of all military equipment at least annually.
- (d) Collaborating with any allied agency that may use military equipment within the jurisdiction of Clovis Police Department (Government Code § 7071).
- (e) Preparing for, scheduling, and coordinating the annual community engagement meeting to include:
 1. Publicizing the details of the meeting.
 2. Preparing for public questions regarding the department's funding, acquisition, and use of equipment.
- (f) Preparing the annual military equipment report for submission to the Chief of Police and ensuring that the report is made available on the department website (Government Code § 7072).
- (g) Establishing the procedure for a person to register a complaint or concern, or how that person may submit a question about the use of a type of military equipment, and how the Department will respond in a timely manner.

706.4 MILITARY EQUIPMENT INVENTORY

The following constitutes a list of qualifying military equipment for the Department:

[See attachment: Military Equipment List.pdf](#)

706.5 APPROVAL

The Chief of Police or the authorized designee shall obtain approval from the governing body by way of an ordinance adopting this military equipment policy. As part of the approval process, the Chief of Police or the authorized designee shall ensure the proposed military equipment policy is submitted to the governing body and is available on the department website at least thirty (30) days prior to any public hearing concerning the military equipment at issue (Government Code §

Military Equipment

7071). The military equipment policy must be approved by the governing body prior to engaging in any of the following (Government Code § 7071):

- (a) Requesting military equipment made available pursuant to Title 10 of the United States Code section 2576a.
- (b) Seeking funds for military equipment, including but not limited to applying for a grant, soliciting or accepting private, local, state, or federal funds, in-kind donations, or other donations or transfers.
- (c) Acquiring military equipment either permanently or temporarily, including by borrowing or leasing.
- (d) Collaborating with another law enforcement agency in the deployment or other use of military equipment within the jurisdiction of this department.
- (e) Using any new or existing military equipment for a purpose, in a manner, or by a person not previously approved by the governing body.
- (f) Soliciting or responding to a proposal for, or entering into an agreement with, any other person or entity to seek funds for, apply to receive, acquire, use, or collaborate in the use of military equipment.
- (g) Acquiring military equipment through any means not provided above.

706.6 COORDINATION WITH OTHER JURISDICTIONS

Military equipment maybe used by any other law enforcement agencies or members in this jurisdiction if such military equipment has been approved for use in accordance with this policy. Military equipment used by other law enforcement agencies that are providing mutual aid or assistance to this jurisdiction shall comply with their respective military use policies in rendering mutual aid or assistance.

706.7 ANNUAL REPORT

Upon approval of a military equipment policy, the Chief of Police or the authorized designee should submit a military equipment report to the governing body for each type of military equipment approved within one year of approval, and annually thereafter for as long as the military equipment is available for use (Government Code § 7072).

The Chief of Police or the authorized designee should also make each annual military equipment report publicly available on the department website for as long as the military equipment is available for Department use. The report shall include all information required by Government Code section 7072 for the preceding calendar year for each type of military equipment in department inventory.

706.8 COMMUNITY ENGAGEMENT

Within thirty (30) days of submitting and publicly releasing the annual report, the Department shall hold at least one well-publicized and conveniently located community engagement meeting,

Military Equipment List.pdf

Military Equipment

1. **Mobile Command Vehicle (MCV)** – A vehicle used as a mobile dispatch center and/or office that provides heated and cooled shelter, a source of electricity and lighting, access to Department computer systems, and a place for department members to meet at the scene of a critical incident, pre- planned event, natural disaster, or community event.

- a. Description quantity, capabilities, and purchase cost

The MCV is custom built by the Farber Company on a 2 axel Freightliner Chassis that had an initial cost of \$542,608 in 2006. The single unit (1) has a chassis motor which propels the vehicle and a generator which powers all internal electrical components and can provide external power to additional lights or equipment as necessary. The MCV has two full dispatch terminals, space for up to 7 additional workstations, and multiple divider doors that can break up the space into five separate rooms. The MCV has three dedicated cell phone lines and 5 sets of radios that can communicate with all surrounding agencies on both UHF and VHF frequencies.

- b. Purpose

To be used at the scene of any pre planned event, community event, critical event, or natural disaster where a portable office, dispatch center, heated or cooled shelter, supplemental power source and/or meeting location is needed.

- c. Authorized use

Only staff trained in the deployment and operation of the MCV may operate it. Only members that have a California Class B driver's license with air brake endorsement may drive the vehicle.

- d. Lifespan

The MCV has a 30-year lifespan on the chassis and vehicle. Upgrades on technology inside the vehicle will be on an as needed basis.

- e. Fiscal Impact

Annual maintenance cost is approximately \$1,500.00

- f. Training

The drivers shall receive training in the safe handling of the vehicle on a closed training course. Once the operator has shown competence in vehicle handling, the driver will drive the vehicle throughout the city with an experienced driver.

The driver shall also undergo California Department of Motor Vehicle commercial vehicle testing.

g. Legal and Procedural Rules

Use shall be in accordance with California State law regarding the operation of motor vehicles.

2. **Crisis Negotiation Team (CNT) Vehicle-** A vehicle used as a mobile office that provides shelter, access to the Police Department computer systems, and facilities on extended events.

a. Description, quantity, capabilities, and purchase cost

2007 General Motors 4500 Utilimaster (custom built) vehicle, cost: \$149,654, quantity: 1 The CNT vehicle can be utilized with SWAT/CNT callouts and for community events.

b. Purpose

To be utilized for critical incident callouts and community events.

c. Authorized Use

The CNT vehicle is used by officers and staff who have been properly trained in the safe handling of the vehicle. The driver of the vehicle shall have a valid California driver license.

d. Lifespan

The CNT vehicle has a 30-year lifespan on a chassis and vehicle.

e. Fiscal Impact

Annual maintenance, \$600.

f. Training

Once completing a closed training course, the operator will drive the vehicle throughout the city with an experienced driver.

g. Legal and Procedural Rules

Use shall be in accordance with California State law regarding the operation of motor vehicles.

3. **Unmanned Aircraft System (UAS):** An unmanned aircraft along with the associated equipment necessary to control it remotely.

a. Description, quantity, capabilities, and purchase cost of current UAS:

- i. DJI MAVIC MINI, cost: \$500 each, quantity: 12. Miniature UAS that weighs approximately 249 grams and can record video and audio with approximately 30 minutes of flight time.
- ii. DJI MAVIC MINI 2 Cost: \$600 Quantity:8 Miniature UAS that weighs approximately 249 grams and can record video an audio with approximately 30 minutes of flight time.
- iii. DJI MAVIC 2 ENTERPRISE ADVANCED, cost: \$7,500, quantity: 2. UAS that has a color and thermal camera as well as audible speaker and light. Capable of video recording and weighs 909 grams without a payload, approx. 30 minutes of flight time.
- iv. DJI MAVIC ENTERPRISE, cost: \$3,500, quantity: 1. UAS that has a color and thermal camera as well as audible speaker and light. Capable of video recording and weighs 899 grams without a payload, approx. 30 minutes of flight time.
- v. DJI MAVIC PRO, cost: \$1,500, quantity: 1. UAS that weighs approx. 1.5 pounds, 25-minute flight time and a single-color camera with recording capabilities.
- vi. DJI PHANTOM 4, cost: \$1,600, quantity: 1. UAS that weighs approx. 1380 grams, 28-minute fight time and a single-color camera with recording capabilities.
- vii. DJI MATRICE 300 with HT20 camera, cost: \$25,000 each, quantity: 1. UAS that has 45 minutes of flight time, in all weather, has an IR camera, zoom camera and light. Has video recording capabilities.
- viii. DJI MATRICE 210 with Z30 camera, cost: 10,500 each, quantity: 1. UAS that has 30 minutes of flight time without a payload, in all weather, has a zoom camera and light. Has video recording capabilities.
- ix. SKY HERO LOKI 2, cost: 10,500 for a package of 2, quantity: 1. Ruggedized interior tactical UAS that has 16 minutes of flight time. It has a forward facing analog fixed day-night + IR camera allowing it to fly in total darkness. Unable to record video currently.

- x. SKYDIO 2 Cost: \$1,100 Quantity: 1 UAS that weighs approx. 775 grams and has 27 minutes of flight time. It has a zoom camera and 360-degree obstacle avoidance. Unable to fly in darkness.
- xi. DJI Air 2s Cost: \$1,200 Quantity: 1 UAS that weighs approx. 595 grams, 31 minutes of flight time. Has the ability to perceive its environment in four directions and features advanced image transmission technology.
- xii. DJI M30T Cost: \$16,500 Quantity: 1 UAS that weighs approx. 3.77 kilograms, 36-41 minutes of flight time. Wide-angle camera, 8k photo, 4K/30 fps video resolution, laser rangefinder up to 1,200 meters, and a thermal sensor.
- xiii. DJI AVATA Cost: \$3,200 Quantity: 2 UAS that weighs approx. 405 grams, 19 minutes of flight time. Expanded sensor to capture 4K/60fps HDR in vivid detail. Has 20GB of internal storage and 1 / 1.7 inch SMO super-wide angle camera
- xiii. BRINC LEMUR 2 Cost: \$29,999 Quantity: 2 UAS that utilized night vision, thermal, 2-way communication, obstacle avoidance, and can map the interior of structures in real-time. Has 22 minutes of flight time and weighs 3.2 lbs.

b. Purpose

To be deployed when its view would assist officers or incident commanders with the following situations, which include but are not limited to:

- i. Major collision investigations.
- ii. Searching for missing persons.
- iii. Natural disaster management.
- iv. Crime scene photography.
- v. SWAT, tactical or other public safety and life preservation missions.
- vi. In response to specific requests from local, state, or federal fire authorities for fire response and/or prevention.

c. Authorized Use

Only assigned operators who have completed the required training shall be permitted to operate any UAS during approved missions.

d. Expected Life Span

All UAS equipment, 3-5 years.

e. Fiscal Impact

Annual maintenance and battery replacement cost is approximately \$10,000.

f. Training

All Department UAS operators are required to obtain a PART 107 license. In addition, each operator must attend a basic department training course and participate in ongoing quarterly training.

g. Legal and Procedural Rules

Use is established under FAA Regulations 14 CFR Part 107, COA, FAA waivers, and the City of Clovis UAS policy. It is the policy of Clovis Police Department to utilize UAS only for official law enforcement purposes, and in a manner that respects the privacy of our community, pursuant to State and Federal law.

4. **40 MM Launchers and Rounds:** 40MM Launchers are utilized by department personnel as a less lethal tool to launch impact rounds.

a. Description, quantity, capabilities, and purchase cost:

- i. DEFENSE TECHNOLOGY, 40MM SINGLE SHOT LAUNCHER, #1425, cost: \$1000, quantity: 2. The 40MM Single Launcher is a tactical single shot launcher that features an expandable ROGERS Super Stoc and an adjustable Integrated Front Grip (IFG) with light rail. It will fire standard 40mm less lethal ammunition, up to 4.8 inches in cartridge length. It will launch a 40MM less lethal round up to 131 feet and only authorized to be used by SWAT personnel.
- ii. DEFENSE TECHNOLOGY, 40MM TACTICAL 4-SHOT LAUNCHER, #1440, cost: \$1975, quantity: 2. The 40mm Tactical 4-Shot Launcher is low-profile and lightweight, providing multi-shot capability in an easy to carry launcher. It features the Rogers Super Stoc™ expandable gun stock, an adjustable Picatinny mounted front grip, and a unique direct-drive system to advance the magazine cylinder. It will launch a 40MM less lethal round up to 131 feet and is only authorized to be used by SWAT personnel
- iii. Cost: \$23 Quantity: 26 A less lethal 40mm round used to penetrate barriers such as windows, hollow core doors, wallboard, and thin plywood. Upon impacting the barrier, the nose cone ruptures and instantaneously delivers a small chemical payload inside of a structure or vehicle. In a tactical deployment situation, the 40mm Ferret is primarily used to dislodge barricaded subjects from confined areas. Its purpose is to minimize the risks to all parties through pain compliance, temporary discomfort and/or incapacitation of potentially violent or dangerous subjects.

- iv. DEFENSE TECHNOLOGY, 40MM EXACT IMPACT SPONGE, #6325, cost: \$18, quantity: 73. A less lethal 40mm lightweight plastic and foam projectile fired from a single or multi-round purpose built 40mm grenade launcher with a rifled barrel at 325 FPS. The 30-gram foam projectile delivers 120 ft/lbs. of energy on impact. The 40mm Exact Impact Sponge Round provides accurate and effective performance when fired from the approved distance of not less than five (5) feet and as far as 131 feet from the target.
- v. DEFENSE TECHNOLOGY, SPEDE-HEAT 40MM LONG-RANGE, CS, #6182, cost: \$30, quantity: 26. The SPEDE-HEAT CS Long-Range Munitions delivers one chemical canister of CS agent from a 40 mm launcher down range up to 150 yards. The Spede-Heat is a pyrotechnic round designed specifically for outdoor use in crowd control situations with a high-volume continuous burn that expels its payload in approximately 20-40 seconds from a single source. The Spede-Heat family may be used to conceal tactical movement or to route a crowd.
- vi. DEFENSE TECHNOLOGY, SPEDE-HEAT 40MM LONG-RANGE ROUND, SAF SMOKE, #6183, cost: \$27, quantity: 14. The Spede-Heat Saf-Smoke Long Range Munitions is designed to deliver one chemical canister of Saf-Smoke™ payload down range up to 150 yards. The Spede-Heat is a pyrotechnic round designed specifically for outdoor use in crowd control situations with a high-volume continuous burn that expels its payload in approximately 20-40 seconds from a single source. The Spede-Heat 40 mm is designed for outdoor and has a maximum effective range of 150 yards.

b. Purpose:

To limit the escalation of conflict where employment of lethal force is prohibited or undesirable.

c. Authorized Use:

- i. Situations for use of the less lethal weapon systems may include, but are not limited to:
- ii. Self-destructive, dangerous and/or combative individuals. Riot/crowd control and civil unrest incidents.
- iii. Circumstances where a tactical advantage can be obtained. Potentially vicious animals.
- iv. Training exercises or approved demonstrations.
- v. By officers who have been trained in their proper use.

d. Lifespan:

- i. Defense Technology #1425- 25 years.
- ii. Defense Technology #1440- 15 years.
- iii. Model 2262 Defense Technology, Ferret 40mm: 5 years
- iv. Model 6182 Defense Technology Spede-Heat 40 MM long-range, CS- 5 years.
- v. Model 6183 Spede-Heat 40mm Long-range Round, Saf Smoke- 5 years.

e. Fiscal Impact:

Annual maintenance is approximately \$50 for each launcher.

f. Training:

Sworn members utilizing 40MM less lethal chemical agents or impact rounds are trained in their use by POST certified and/or Defense Technology less lethal and chemical agent instructors.

g. Legal and Procedural Rules:

The 40mm launchers are to be used only for official law enforcement purposes and pursuant to State and Federal law, including those regarding the use of force.

5. **Distraction Devices:** A device used to distract dangerous persons.a. Description, quantity, capabilities, and purchase cost:

Defense Technology, 7290-2 FLASH-BANG, cost: \$52, quantity: 33. A non-bursting, non-fragmenting multi-bang device that produces a thunderous bang with an intense bright light. Ideal for distracting dangerous suspects during assaults, hostage rescue, room entry or other high-risk arrest situations.

b. Purpose:

A distraction device is ideal for distracting dangerous suspects during assaults, hostage rescue, room entry or other high-risk arrest situations. To produce atmospheric over-pressure and brilliant white light and, as a result, can cause short-term (6 - 8 seconds) physiological/psychological sensory deprivation to give officers a tactical advantage.

c. Authorized Use:

Diversionsary Devices shall only be used:

- i. In hostage and barricaded subject situations.
- ii. In high-risk warrant (search/arrest) services where there may be extreme hazards to officers.
- iii. During other high-risk situations where their use would enhance officer safety.
- iv. During training exercises or approved demonstrations.
- v. By officers who have been trained in their proper use.

d. Lifespan:

Until used.

e. Fiscal Impact:

No annual maintenance.

f. Training:

Prior to use, officers must attend diversionary device training that is conducted by Post certified instructors and/or Defense Technology.

g. Legal and Procedural Rules:

Diversion devices are to be used only for official law enforcement purposes and pursuant to State and Federal law, including those regarding the use of force.

6. **Chemical Agent and Smoke Canisters:** Canisters that contain chemical agents that are released when deployed.

a. Description, quantity, capabilities, and purchase cost:

- i. DEFENSE TECHNOLOGY, TRIPLE-CHASER SEPARATING CANISTER, CS, #1026, cost: \$47, quantity: 18. The Triple-Chaser CS consists of three separate canisters pressed together with separating charges between each. When deployed, the canisters separate and land approximately 20 feet apart

allowing increased area coverage in a short period of time. This canister can be hand thrown or launched from a fired delivery system. The canister is 6.5 in. by 2.7 in. and holds an approximately 3.2 oz. of active agent payload. It has an approximate burn time of 20-30 seconds.

- ii. DEFENSE TECHNOLOGY, RIOT CONTROL CONTINUOUS DISCHARGE GRENADE, CS, #1082, cost: \$27, quantity: 9. The Riot Control CS Grenade is designed specifically for outdoor use in crowd control situations with a high volume continuous burn that expels its payload in approximately 20-40 seconds through four gas ports located on the top of the canister. This grenade can be used to conceal tactical movement or to route a crowd. The volume of smoke and agent is vast and obtrusive. This launchable grenade is 6.0 in. by 2.35 in. and holds approximately 2.7 oz. of active agent.
- iii. DEFENSE TECHNOLOGY, FLAMELESS EXPULSION CS GRENADE, #2042, cost: \$48, quantity: 8. The CS Flameless Expulsion Grenade is a compact, non-pyrotechnic, chemical agent device that provides safe expulsion without risk of fire. It is safe to use inside of a residence. Unlike pyrotechnical grenades, this device's contents are expelled upon actuation of a CO2 cartridge that will affect a confined area of approximately 1500 square feet. This grenade is 7.5 in. by 1.65 in. and delivers approximately .16 oz. of active agent during its 3-second discharge time.
- iv. DEFENSE TECHNOLOGY, MAXIMUM HC SMOKE MILITARY-STYLE CANISTER, #1083, cost: \$38, quantity: 18. The Military-Style Maximum Smoke Grenade comes from the Defense Technology #3 smoke grenade. It is a slow burning, high volume, continuous discharge grenade designed for outdoor use in crowd management situations. Emits grey-white smoke only for approximately 1.5 to 2 minutes.
- v. DEFENSE TECHNOLOGY, POCKET TACTICAL BLUE SMOKE GRENADE, #1017B, cost: \$39, quantity: 3. The Pocket Tactical Blue Smoke Grenade is a small, lightweight device. Though it is slightly over four inches in length, it produces a blue smoke cloud so fast it appears to be an enveloping screen produced by a full size tactical colored smoke grenade. It will burn approximately 20-40 seconds.
- vi. DEFENSE TECHNOLOGY, RIOT CONTROL CONTINUOUS DISCHARGE CS GRENADE, #1080, cost \$41, quantity: 8- The Riot Control OC Grenade is designed specifically for outdoor use in crowd control situations with a high-volume continuous burn that expels its payload in approximately 20-40 seconds through four gas ports located on the top of the canister. This grenade can be used to conceal tactical movement or to route a crowd. The volume of smoke and agent is vast and obtrusive. This launchable grenade is 6.0 in. by 2.35 in. and holds approximately 0.88 oz. of active agent.

- vii. DEFENSE TECHNOLOGY, OC VAPOR AEROSOL GRENADE, #1056, cost: \$49, quantity: 12. The Defense Technology OC Vapor Aerosol Grenade is for law enforcement and corrections use to deliver a high concentration of Oleoresin Capsicum (OC) in a powerful mist. The grenade is designed for indoor use in confined areas and once deployed, inflames the mucous membranes and exposed skin resulting in an intense burning sensation. The incapacitating effect of the OC Vapor on the subject is dramatic with minimal decontamination needed. Removing the subject from the affected area to fresh air will resolve respiratory effects within minutes. The OC Vapor Aerosol Grenade is ideal for cell extractions or barricade situations where the use of pyrotechnic, powder or liquid devices is not practical or desired.
- viii. DEFENSE 1.3% MK-46V STREAM OC AEROSOL #43046, cost: \$495, quantity: 1. The MK-46 features a trigger handle, is intended for use in crowd management and will deliver 26 short bursts of OC at an effective range of 25-30 ft. This 1.3% MC OC aerosol product utilizes a stream delivery method providing a target-specific, strong concentrated stream for greater standoff.
- ix. DEFENSE TECHNOLOGY, SPEDE-HEAT CS, #1072, cost: \$40, quantity: 72. The Spede-Heat CS Grenade is a high volume, continuous burn it expels its payload in approximately 20-40 seconds. The payload is discharged through four gas ports on top of the canister, three on the side and one on the bottom. This launchable grenade is 6.12 in. by 2.62 in. and holds approximately 2.9 oz. of active agent. It is delivered in a burn safe for safety.
- x. DEFENSE TECHNOLOGY, SPEDE-HEAT POCKET TACTICAL CS, # 1072 cost: \$30, quantity: 62. Pocket Tactical Grenade, CS. The Pocket Tactical CS Grenade is a quick burning, reduced volume, continuous discharge grenade. Pelletized chemical agent is discharged through one (1) gas port located on the bottom of the canister. The Pocket Tactical Grenade is a small, lightweight, easily carried device that provides a medium volume of chemical agent. The 0.9 oz. of active agent will burn approximately 20-40 seconds. It is delivered in a tomahawk burn safe for safety.
- xi. DEFENSE TECHNOLOGY, RUBBER BALL STINGERS CS, cost \$ 30, quantity: 13: The Stinger Grenade is most widely used as a crowd management tool by Law Enforcement and Corrections. The Stinger Grenade has an initial 1.5 second delay that initiates fuze assembly separation, followed by another .5 second delay before the blast which is sufficient to project the rubber balls and chemical agent in a 50-foot radius.
- xii. DEFENSE TECHNOLOGY, STINGERS OC, cost \$ 30, quantity: 8: The Stinger OC Grenade is a maximum effect device that delivers four stimuli for psychological and physiological effects: rubber pellets, light, sound, and OC.

The Stinger Grenade is most widely used as a crowd management tool by Law Enforcement and Corrections. The Stinger Grenade has an initial 1.5 second delay that initiates fuze assembly separation, followed by another .5 second delay before the blast which is sufficient to project the rubber balls and chemical agent in a 50-foot radius.

b. Purpose:

To limit the escalation of conflict where employment of lethal force is prohibited or undesirable. Situations for use of the less lethal weapon systems may include, but are not limited to:

Self-destructive, dangerous and/or combative individuals. Riot/crowd control and civil unrest incidents.

Circumstances where a tactical advantage can be obtained. Potentially vicious animals.

c. Authorized Use:

Only officers who have been trained in proper use in the use of chemical agents are authorized to use chemical agents.

d. Lifespan:

5 years from manufacturing date.

e. Fiscal Impact:

No annual maintenance.

f. Training:

Sworn members utilizing chemical agent canisters are certified by POST and/or Defense Technology less lethal and chemical agent instructors.

g. Legal and Procedural Rules:

Chemical agents will only be used for official law enforcement purposes and pursuant to State and Federal law.

7. **Armored Vehicles: Wheeled armored personnel vehicle utilized for law enforcement purposes.**

a. Description, quantity, capabilities, and purchase cost

- i. MRAP, cost: \$0, quantity: 1. The MRAP is a United States Army specialized armored vehicle manufactured of common commercial and

military parts. It seats 10-12 personnel with open floor plan that allows for rescue of down personnel. It stops various projectiles, which provides greater safety to citizens and officers beyond the protection level of shield and personal body armor.

- ii. Lenco Bearcat, G3, cost: \$431,133.42, quantity 1. The Lenco Bearcat, G3, is an armored vehicle that seats 10-12 personnel with open floor plan that allows for rescue of down personnel. It can stop various projectiles, which provides greater safety to citizens and officers beyond the protection level of a shield and personal body armor.

b. Purpose

To be used in response to critical incidents to enhance officer and community safety, improve scene containment and stabilization, and assist in resolving critical incidents.

c. Authorized Use

The use of armored vehicles shall only be authorized by a watch commander or SWAT commander, based on the specific circumstances of a given critical incident. Armored vehicles shall be used only by officers trained in their deployment and in a manner consistent with Department policy and training.

d. Lifespan

Estimated 15-25 years.

e. Fiscal Impact

Annual maintenance of approximately \$5,000.

f. Training

All drivers/operators shall attend formalized instruction and be trained in vehicle operations and practical driving. MRAP drivers are required to possess a valid Class B California driver license. The Bearcat may be driven by any Clovis Police Officer trained in the operation of the Bearcat.

g. Legal and Procedural Rules

The department will only use the MRAP and Bearcat for official law enforcement purposes, and pursuant to State and Federal law.

8. **Explosive Breaching Tools:** Tools that are used to conduct an explosive breach.

a. Description, quantity, capabilities, and purchase cost

- i. Detonating Cord, cost: \$1 per foot, quantity: 20 feet. The detonating cord is a thin, flexible plastic tube usually filled with pentaerythritol tetranitrate (PETN, pentrite). With the PETN exploding at a rate of approximately 6400 m/s, any common length of detonation cord appears to explode instantaneously. It is a high-speed fuse which explodes, rather than burns, and is suitable for detonating high explosives. Detonating cord is the primary explosive used to defeat doors, walls, windows, and other barricades for SWAT Operators to safely make entry into a specific location, or create distraction, with no risk to the person inside of the room being breached.
- ii. Blasting Cap, cost: \$12, quantity: 30. A blasting cap is a small sensitive primary explosive device generally used to detonate a larger, more powerful, and less sensitive secondary explosive such as TNT, dynamite, or plastic explosive. Blasting caps come in a variety of types, including non-electric caps, electric caps, and fuse caps.
- iii. Nonel, cost: \$429.00 per case, Quantity: 10 total. Nonel is a zero-delay shock tube that contains a reactive explosive compound that provides a safe distance from the explosive initiator to the explosive charge that is placed on the target that is going to be breached.
- iv. Remington 870 Express Breaching Shotgun, cost: \$500, quantity: 2. This weapon allows for breachers to safely utilize shotgun breaching rounds to destroy deadbolts, locks, and hinges. The stand-off that is attached to the end of the barrel allows for positive placement of the gun into the correct position and vents gases to prevent overpressure. This weapon can also defeat windows and sliding glass doors with a flash bang round. A less lethal 2.4-inch 12-gauge shotgun round firing a ballistic fiber bag filled with 40 grams of lead shot at a velocity of 270-290 feet per second (FPS).
- v. Royal Arms Tesar-2 Back Cap 425 Grain Copper Frangible Breaching Round, cost: \$5 per round, quantity: 50. The round is fired from a breaching shotgun and is used to destroy deadbolts, locks, and hinges.
- vi. Royal Arms Tesar-4 Yellow Cap 750 Grain Copper Frangible Breaching Round, cost: \$5 per round, quantity: 45. The round is fired from a breaching shotgun and is used to destroy deadbolts, locks, and hinges.

- vii. Royal Arms HP C, cost: \$6 per round, quantity: 20. The round is fired from a breaching shotgun and is used to cut rebar, penetrate security glass, car doors, and can penetrate engine blocks.
- viii. Royal Arms FTR-P1 12 Gauge Frangible Polyshot Training Rounds 48, cost: \$2.50 per round, quantity 48. The round is fired from a breaching shotgun and used as a training tool to show how to effectively use and deploy a breaching shotgun.

b. Purpose

To safely force entry into a structure.

c. Authorized Use

Explosive breaching may only occur after authorization by the Incident Commander or SWAT Commander in the field, and during training exercises.

d. Lifespan

Breaching Shotgun- 25 years, Blasting Caps- 10 years, Detonating cord- 10 years,

Royal Arms Tesar-2 black cap 425 grain copper breaching round- 5 years,

Tesar-4 yellow cap 750 grain copper frangible breaching round- 5 years, Royal Arms HP cutter 12-gauge hollow point rebar cutter breaching round- 5 years

e. Fiscal Impact

Annual maintenance is approximately \$500.

f. Training

All officers who use explosive breaching tools shall attend 40 hours of explosive breaching instruction and must additionally receive quarterly training for explosive operations.

g. Legal and Procedural Rules

Breaching tools will only be used for official law enforcement purposes, and pursuant to State and Federal law.

9. **Less Lethal Shotgun:** Less Lethal Shotguns are used to deploy the less lethal 12-gauge Defense Technology Beanbag Round.

a. Description, quantity, capabilities, and purchase cost

- i. REMINGTON 870 LESS LETHAL SHOTGUN, cost: \$946, quantity: 19. The Remington 870 Less Lethal Shotgun is used to deploy the less lethal 12-gauge Defense Technology Beanbag Round up to 75 feet. The range of the weapon system helps to maintain space between officers and a suspect reducing the immediacy of the threat which is a principle of De-escalation.
- ii. DEFENSE TECHNOLOGY DRAG STABILIZED 12 GAUGE BEAN BAG ROUND: cost: \$5, quantity: 400. A less lethal 2.4 -inch translucent 12-gauge shotgun round in a tear shaped bag filled with 40 grams of lead shot at a velocity of 270 feet per second (FPS). Bean bag rounds are discharged from a dedicated 12-gauge shotgun that is distinguishable by an orange butt stock and fore grip. This design utilizes four stabilizing tails and utilizes smokeless powder as a propellant. This round provides accurate and effective performance when fired from the approved distance of not fewer than five (5) feet. The maximum effective range of this munition is up to 75 feet from the target. The Bean Bag round is very accurate. However, effectiveness depends on many variables, such as distance, clothing, stature, and the point where the projectile impacts.

b. Purpose

To limit the escalation of conflict where employment of lethal force is prohibited or undesirable.

c. Authorized Use

Only Officers who have been instructed on and demonstrated proficient use of this force option are allowed to deploy and utilize it.

Situations for use of the less lethal weapon systems may include, but are not limited to:

- i. Self-destructive, dangerous and/or combative individuals.
- ii. Riot/crowd control and civil unrest incidents.
- iii. Circumstances where a tactical advantage can be obtained.
- iv. Potentially vicious animals.

v. Training exercises or approved demonstrations.

d. Lifespan

Remington 870 Less-lethal shotgun- 25 years, Defense Technology Bean Bag rounds- No expiration.

e. Fiscal Impact

Annual maintenance is approximately \$5.00 per shotgun.

f. Training

All officers are trained in the use of the 12 gauge less lethal shotgun as a less lethal option through in-service training.

g. Legal and Procedural Rules

Less lethal shotguns are to be used only for official law enforcement purposes, and pursuant to State and Federal law.

10. **PepperBall PPC Less Lethal Launchers:** PepperBall Launchers are used to deploy PepperBall projectiles.

a. Description, quantity, capabilities, and purchase cost

- i. PEPPERBALL PPC LAUNCHERS Cost: \$4,597 Quantity: 5 PepperBall PPC is a lightweight and portable non-lethal projectile launcher. The PPC is designed to give patrol officers an easy to operate non-lethal option. The PPC uses PepperBall .68 caliber round or VXR projectile and is powered by either HPA or an 88-gram single-use CO2 cartridge.
- ii. PEPPERBALL INERT PROJECTILES Cost: \$323 for 375 Quantity: 1500 Containing a harmless, scented powder, this projectile is best suited for training, qualifications, and direct impact when chemical exposure is not desired.
- iii. PEPPERBALL LIVE MAX PROJECTILES Cost: \$2,497 Quantity: 700 Live-Maxx is the most powerful and potent projectile developed by PepperBall. It is formulated with Maxsaicin, a new proprietary process that produces powder with more airborne PAVA. PepperBall Live-Maxx has 50% more bio-availability than the standard PAVA powders.

b. Purpose

To limit the escalation of conflict where employment of lethal force is prohibited or undesirable.

c. Authorized Use

Only officers who have been instructed on and demonstrated proficient use of this force option are allowed to deploy and utilize the launchers. Situations for the use of the less lethal weapon systems may include, but are not limited to:

- Self-destructive, dangerous, and/or combative individuals.
- Riot/crowd control and civil unrest incidents.
- Circumstances where a tactical advantage can be obtained.
- Potentially vicious animals.
- Training exercises or approved demonstrations.

d. Expected Life Span

PepperBall PPC Launchers: No manufacturer life span indicated by the manufacturer
PepperBall Projectiles: 2 years

e. Fiscal Impact

Annual maintenance is approximately \$10 per launcher.

f. Training

All officers are trained in the use of the PepperBall PPC launcher as a less lethal option through in-service training by POST certified less lethal and chemical agent instructors.

g. Legal and Procedural Rules

PepperBall PPC launchers are only to be used for official law enforcement purposes and pursuant to State and Federal law.

11. **Sniper Rifle:** Provides SWAT Snipers the ability to engage hostile suspects at great distance with precision rifle fire.

a. Description, Purchase Cost, Quantity, and Capabilities

- i. ACCURACY INTERNATIONAL AT, 308 CALIBER Cost: \$6,000 Quantity: 4
The Accuracy International AT is a short action precision rifle with a Thunder Beast Suppressor and a Night Force NXS Scope with a 3.5-15x50mm second focal plane.
- ii. FEDERAL CARTRIDGE .308 CAL 168 GRAIN TRU TACTICAL TIP MATCH KING AMMUNITION Cost: \$500 per case Quantity: 4,700 rounds
- iii. FEDERAL CARTRIDGE .308 WIN TACTICAL BONDED TIP 168 GRAIN DUTY AMMUNITION Cost: \$390 per case Quantity: 1,400 rounds

b. Purpose

The .308 bolt action Sniper Rifle provides SWAT Snipers the ability to engage hostile suspects at great distance with precision rifle fire. These rifles are typically deployed with the SWAT Sniper Team during high-risk SWAT operations and special events or instances wherein Sniper Over Watch Teams are needed.

c. Authorized Use

To be used exclusively by officers assigned to the SWAT Sniper Team. Only Officers who have been instructed and demonstrated proficient use of the rifle are allowed to deploy and utilize it. Situations for use of the sniper rifle may include, but are not limited to:

- High-Risk SWAT Operations
- Sniper Over Watch

d. Expected Life Span

Accuracy International AT .308 caliber: 1 year limited warranty

Barrel life rated for approximately 5,000 rounds.

e. Training

All SWAT Snipers are trained through in-service and outside rigorous trainings. SWAT Snipers must complete a 40-hour POST basic sniper school and regularly train with the rifle platform.

f. Legal and Procedural Rules

Sniper rifles are only to be used for official law enforcement purposes and pursuant to State and Federal Law.

12. **Specialty Impact Munitions (SIM):** UTM pistol conversion kits used to fire non-lethal training rounds for in-service department training.

a. Description, Purchase Cost, Quantity, and Capabilities

- i. UTM SIMMUNITION PISTOL CONVERSION KITS Cost: \$648 Quantity: 15
UTM Simunition Pistol Conversion kits are used to fire a non-lethal training round. These munitions provide for realistic close-quarters firearms training while allowing the shooter to visually assess shot placement and accuracy in force-on-force training scenarios.
- ii. UTM 9MM MAN MARKER ROUNDS TRAINING ROUNDS Cost: \$600 per 1,000 Quantity: 6,830 The UTM 9mm Man Marker Round is an accurate and reliable marking projectile for force-on-force target training.
- iii. UTM AR15 300 BLK RIFLE BOLT CARRIER ASSEMBLY Cost: \$822 Quantity: 13 The UTM rifle conversions employ a fail-safe measure where the firing pin is offset from the center. Not only is the firing pin strike outside of the strike area of a "Live" cartridge center fire primer, it does not strike the primer at all hence the weapons fail to fire the host weapons "Live" caliber ammunition.
- iv. UTM AR 15 300 BO MAN MARKER ROUNDS Cost: \$783 per 900 Quantity: 2,400 The UTM 300 BLK is an accurate and reliable marking projectile for force-on-force target training.
- v. UTM GLOCK 45 BLANK BARREL Cost: \$238 Quantity: 5 The Glock blank barrel is designed to fire blank rounds, no projectiles.

- vi. UTM GLOCK 45 BLANK ROUNDS Cost: \$460 Quantity: 3,800 Glock blank rounds used for training purposes.
- vii. UTM GLOCK 17 T CONVERSIONS KITS Cost: \$268 Quantity: 4 The Glock 17T conversion kit allows the 17T to fire UTM training rounds.

b. Purpose

To provide realistic close-quarters firearms training while allowing the shooter to visually assesses shot placement and accuracy in force-on-force training scenarios.

c. Authorized Use

Only Officers who have been instructed on and demonstrated proficient use of the systems are allowed to use the training tools.

Situations for use of the Simmunitions equipment may include:

- Police Trainings
- Approved Demonstrations

d. Expected Life Span

Conversion Kits: 15-20 years (avg.) Rounds: 6 years

e. Fiscal Impact

Annual maintenance is approximately \$5 per kit.

f. Training

All officers are trained in the use of the Simmunitions conversion kits.

g. Legal and Procedural Rules

Simmunitions conversion kits are to be used only for official law enforcement purposes and pursuant to State and Federal law.

13. **Robot:** A remotely controlled, unmanned machine that operates on the ground, which is utilized to enhance the safety of the community and officers.

a. Description, quantity, capabilities, and purchase cost

ICOR Caliber T5, Cost: \$120,000, Quantity: 1, Capabilities: It is a compact, two-man portable system that shares the same core design of a large robot. Able to climb stairs and provide disruption capabilities. The T5 is best suited to assist EOD and SWAT teams in inspecting and retrieving of suspicious devices from narrow passages of buses, trains, and places. It's turreted claw/disruptor arm integrates the remote handling capabilities of a disruptor. Able to lift to 45 pounds with arm retracted and 18 pounds with arm extended. Capable of dragging 200+ pounds.

b. Purpose

To be used to remotely obtain visual and audio intelligence, remotely bring any medium weight items to a safe location, disrupt suspicious packages, X-ray,

search buildings/indoor or outdoor areas, provide phones or other items to people during Crisis Negotiations.

c. Authorized Use

Only approved operators who have completed the required training are authorized to use this equipment. These personnel are restricted to EOD team members only and the use is authorized by the Bomb Squad Commander and requested by the Incident Commander incidents.

d. Expected Lifespan

8-10 Years

e. Fiscal Impact

Maintenance and battery replacement at about \$1,200 annually.

f. Training

Only EOD team members who have attended HDS six-week certification course or who have completed other necessary training as approved by the Bomb Commander.

g. Legal and Procedural Rules

The robot is to be used only for official law enforcement purposes, and in a manner that respects the privacy of our community, pursuant to State and Federal law.

I. Maintenance of Military Use Supply Levels

When stocks of military equipment such as less lethal rounds, gas canisters, UAS batteries, etc. have reached significantly low levels or have been exhausted, the Department may order an amount sufficient to replenish the supply up to the above listed amounts without city council approval to maintain essential availability for the Department's needs. Clovis Police Department may also acquire additional stock of items listed here from other law enforcement agencies or CalOES in the event of an emergency when approved by the Chief of Police or designee.

Military Equipment

at which the Department should discuss the report and respond to public questions regarding Department funding, acquisition, or use of military equipment.

In accordance with Section 706.3(g) of this policy and Government Code section 7070(d)(7), members of the public may register complaints or concerns or submit questions about the use of each specific type of military equipment in this policy. The Department will monitor all complaints, concerns, and questions to ensure timely responses are completed. Complaints, concerns, or questions may be submitted by any of the following means:

1. Via email to: militaryequipmentquestions@cityofclovis.com
2. Via phone call to: (559) 324-2406
3. Via postal mail to: Clovis Police Department, Attn: Chief of Police, 1233 Fifth Street, Clovis, CA 93612



**CLOVIS POLICE DEPARTMENT
ANNUAL MILITARY
EQUIPMENT REPORT
2023**

PRESENTED BY

Lt. Craig Aranas



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PREFACE

The Clovis Police Department is committed to maintaining public safety by providing the highest quality police services to the community we serve. We have an obligation to our community and the people of this state never to let those who would engage in violent acts of criminality dictate the path of life for our city. We know all too well that violent crime thrives when the enforcement posture, resources, and equipment available to our Department are not sufficient. The equipment items listed in this annual report are essential tools that may be required from time to time to aid in de-escalating intense situations or bringing volatile conditions and critical incidents to a safe resolution.

The mere possession of this equipment does not warrant its use in every circumstance. However, having this equipment and adequate resources available makes our Department more capable of confronting those who would visit violence upon our community and threaten "The Clovis Way of Life."

With this indispensable equipment and relentless fortitude, the brave men and women of the Clovis Police Department continue to stand at the ready to fulfill the very core of our ethos, "To Protect and Serve."



CURT FLEMING
CHIEF OF POLICE

HISTORY OF AB-481



On September 30, 2021, the Governor of the State of California approved AB-481 requiring law enforcement agencies to obtain approval of the applicable governing body (Mayor and City Council), by adoption of a military equipment use policy. The Department is required to seek City Council approval of their military equipment use procedure by ordinance at a regular open meeting prior to taking certain actions relating to the funding, acquisition, or use of military equipment, as defined. The bill allows the governing body to approve the funding, acquisition, or use of military equipment within its jurisdiction only if it determines that the military equipment meets specified standards. The ordinance is subject to annual City Council review to determine whether, based on an annual military equipment report, the standards set forth in the approving ordinance have been met. The City Council may renew the authorizing ordinance, disapprove authorization for particular military equipment where standards have not been met, or require modifications to the military equipment use procedure to address any non-compliance with standards. Finally, the bill requires publication of the military equipment use procedure and the annual military equipment report on the Department's website. The military equipment use procedure must be posted on the website at least 30 days prior to the Council meeting.

AB-481, Section 7072 states the following:

(a) A law enforcement agency that receives approval for a military equipment use policy pursuant to Section 7071 shall submit to the governing body an annual military equipment report for each type of military equipment approved by the governing body within one year of approval, and annually thereafter for as long as the military equipment is available for use. The law enforcement agency shall also make each annual military equipment report required by this section publicly available on its internet website for as long as the military equipment is available for use.

The annual military equipment report shall, at a minimum, include the following information for the immediately preceding calendar year for each type of military equipment:

- (1) A summary of how the military equipment was used and the purpose of its use.
- (2) A summary of any complaints or concerns received concerning the military equipment.
- (3) The results of any internal audits, any information about violations of the military equipment use policy, and any actions taken in response.
- (4) The total annual cost for each type of military equipment, including acquisition, personnel, training, transportation, maintenance, storage, upgrade, and other ongoing costs, and from what source funds will be provided for the military equipment in the calendar year following submission of the annual military equipment report.
- (5) The quantity possessed for each type of military equipment.
- (6) If the law enforcement agency intends to acquire additional military equipment in the next year, the quantity sought for each type of military equipment.

(b) Within 30 days of submitting and publicly releasing an annual military equipment report pursuant to this section, the law enforcement agency shall hold at least one well-publicized and conveniently located community engagement meeting, at which the general public may discuss and ask questions regarding the annual military equipment report and the law enforcement agency's funding, acquisition, or use of military equipment.

In addition to maintaining the highest levels of public safety, the Clovis Police Department is committed to transparency, public trust, community partnerships, and compliance with the law. As such, the Department has authored the following 2023 Annual Military Equipment Report in accordance with annual reporting requirements set forth in AB-481.

INTRODUCTION



The Clovis Police Department retains and employs a wide variety of military equipment to assist in safely achieving the furtherance of its **mission statement**:

"To provide superior protection and service in a manner that builds public confidence and improves the quality of life in our community."

To those we serve, we want to be the best.

While the inventory of military equipment is varied, the mere possession of the equipment does not warrant its use for every incident.

The Clovis Police Department recognizes that critical incidents are unpredictable and can be very dynamic in nature. A variety of military equipment options can greatly assist supervisors, officers, and specific units in bringing those incidents to a swift resolution in a safe manner.

The use of military equipment is restricted for use only in certain instances and in some cases only by certain units. While the military equipment procedure is wide-ranging, it is not all-inclusive. There may be instances wherein unpredictable critical incidents demand the need for incident commanders to authorize military equipment to be used in a manner not outlined within Department procedure. In scrutinizing those particular instances, the judgment of the supervisor influenced by the totality of the circumstances, public safety, officer safety, civil rights, and information available at the time will be used.

It is incumbent upon supervisors, individual officers, and specific units to recognize the particular circumstances wherein military equipment should be employed to enhance the safety of the public and officers, and to bring a critical incident to a safe resolution.

This Annual Military Equipment Report outlines a summary of military equipment usage guidelines, inventory, fiscal impact, and complaints (of which there were none) for 2023.

DEFINITIONS

Pursuant to AB-481, the following definitions are applicable only to the Department's current military equipment inventory and potential future military equipment acquisitions for operational needs. (For a more detailed list, refer to Government Code section 7070, for "military equipment" as defined within the Assembly Bill.)

"Governing body" means the Clovis City Council and Mayor.

"Military equipment" means the following:

- Unmanned, remotely piloted, powered aerial or ground vehicles.
- Mine-resistant ambush-protected (MRAP) vehicles or armored personnel carriers.
- High mobility multipurpose wheeled vehicles (HMMWV), two-and-one-half-ton trucks, five-ton trucks, or wheeled vehicles that have a breaching or entry apparatus attached, excluding unarmored all-terrain vehicles and dirt bikes.
- Tracked armored vehicles that provide ballistic protection to their occupants and utilize a tracked system instead of wheels for forward motion.
- Command and control vehicles that are either built or modified to facilitate the operational control and direction of public safety units.
- Weaponized aircraft, vessels, or vehicles of any kind.
- Battering rams, slugs, and breaching apparatuses that are explosive in nature. This does not include a handheld ram designed to be operated by one person.
- Firearms and ammunition of fifty (.50) caliber or greater, excluding standard-issue shotguns and standard-issue shotgun ammunition.
- Specialized firearms and ammunition of less than fifty (.50) caliber, including firearms and accessories identified as assault weapons pursuant to Penal Code section 30510 and Penal Code section 30515, with exception of standard department issued firearms.
- Any firearm or firearm accessory that is designed to launch explosive projectiles.
- Noise-flash diversionary devices and explosive breaching tools, including, but not limited to, grenades.
- Munitions containing tear gas or oleoresin capsicum (OC), excluding standard, Department-issued handheld pepper spray.
- TASER® Shockwave, microwave weapons, water cannons, and Long-Range Acoustic Devices (LRADs).
- Kinetic energy weapons and munitions, including, but not limited to, projectile launchers, bean bag rounds, and rubber bullets.
- Any other equipment as determined by a governing body or a state agency to require additional oversight.

SUMMARY OF MILITARY EQUIPMENT



The inventory of military equipment, particularly consumable material (ammunition, diversionary devices, Extended Range Impact Weapon –ERIW munitions, etc.) fluctuates regularly. This is based on a variety of factors including but not limited to operational usage, operational deterioration, training, maintenance, and expiration and replenishment guidelines. The Clovis Police Department is committed to transparency in disclosing its military equipment inventory and related information to our community and elected officials in compliance with the law. The Department strives its utmost to provide the most accurate military equipment inventory and information at the time of this report’s publication.

The following are the various types, descriptions, and guidelines for usage of military equipment currently employed by the Clovis Police Department: (*NOTE: The manufacturer descriptions and source photos contained within are referenced via publicly accessible website source citations. The website source citations utilized in this report are for military equipment descriptive purposes only and are not an endorsement by the City of Clovis or the Clovis Police Department of a particular product or vendor.)

SUMMARY OF MILITARY EQUIPMENT

1. Mobile Command Vehicle (MCV): A vehicle used as a mobile dispatch center and/or office that provides heated and cooled shelter, a source of electricity and lighting, access to Department computer systems, and a place for department members to meet at the scene of a critical incident, pre-planned event, natural disaster, or community event.

Description, Purchase Cost, Quantity, and Capabilities



The MCV is custom built by the Farber Company on a 2 axel Freightliner Chassis that had an initial cost of \$542,608 in 2006. The single unit (1) has a chassis motor which propels the vehicle and a generator which powers all internal electrical components and can provide external power to additional lights or equipment as necessary. The MCV has two full dispatch terminals, space for up to 7 additional workstations, and multiple divider doors that can break up the space into five separate rooms. The MCV has three dedicated cell phone lines and 5 sets of radios that can communicate with all surrounding agencies on both UHF and VHF frequencies.

Purpose

To be used at the scene of any pre-planned event, community event, critical event, or natural disaster where a portable office, dispatch center, heated or cooled shelter, supplemental power source and/or meeting location is needed.

Authorized Use

Only staff trained in the deployment and operation of the MCV may operate it. Only members that have a California Class B driver's license with air brake endorsement may drive the vehicle.

Expected Life Span

The MCV has a 30-year lifespan on the chassis and vehicle. Upgrades on technology inside the vehicle will be on an as needed basis.

Fiscal Impact

Annual maintenance cost is approximately \$1,500.00

Training

The drivers shall receive training in the safe handling of the vehicle on a closed training course. Once the operator has shown competence in vehicle handling, the driver will drive the vehicle throughout the city with an experienced driver. The driver shall also undergo California Department of Motor Vehicle commercial vehicle testing.

Legal and Procedural Rules

Use shall be in accordance with California State law regarding the operation of motor vehicles.

SUMMARY OF MILITARY EQUIPMENT

2. Crisis Negotiation Team (CNT) Vehicle: A vehicle used as a mobile office that provides shelter, access to the Police Department computer systems, and facilities on extended events.

Description, Purchase Cost, Quantity, and Capabilities



2007 GENERAL MOTORS 4500 UTILIMASTER
(CUSTOM BUILT) VEHICLE

Cost: \$149,654

Quantity: 1

The CNT vehicle can be utilized with SWAT/CNT callouts and for community events.

Purpose

To be utilized for critical incident callouts and community events.

Authorized Use

The CNT vehicle is used by officers and staff who have been properly trained in the safe handling of the vehicle. The driver of the vehicle shall have a valid California driver license.

Expected Life Span

The CNT vehicle has a 30-year lifespan on a chassis and vehicle.

Fiscal Impact

Annual maintenance, \$600.

Training

Once completing a closed training course, the operator will drive the vehicle throughout the city with an experienced driver.

Legal and Procedural Rules

Use shall be in accordance with California State law regarding the operation of motor vehicles.

SUMMARY OF MILITARY EQUIPMENT

3. Unmanned Aircraft Systems (UAS): An unmanned aircraft along with the associated equipment necessary to control it remotely.

Description, Purchase Cost, Quantity, and Capabilities of Current UAS



DJI MAVIC MINI

Cost: \$500 Quantity: 12

Miniature UAS that weighs approximately 249 grams and can record video and audio with approximately 30 minutes of flight time.



DJI MAVIC MINI 2

Cost: \$600 Quantity: 8

Miniature UAS that weighs approximately 249 grams and can record video and audio with approximately 30 minutes of flight time.



DJI MAVIC 2 ENTERPRISE ADVANCED

Cost: \$7,500 Quantity: 2

UAS that has a color and thermal camera as well as audible speaker and light. Capable of video recording and weighs 909 grams without a payload, approx. 30 minutes of flight time.



DJI MAVIC 2 ENTERPRISE DUAL

Cost: \$3,500 Quantity: 1

UAS that has a color and thermal camera as well as audible speaker and light. Capable of video recording and weighs 899 grams without a payload, approx. 30 minutes of flight time.



DJI MAVIC PRO

Cost: \$1,500 Quantity: 1

UAS that weighs approx. 1.5 pounds, 25-minute flight time and a single-color camera with recording capabilities.



DJI PHANTOM 4

Cost: \$1,600 Quantity: 1

UAS that weighs approx. 1,380 grams, 28-minute flight time and a single-color camera with recording capabilities.



DJI MATRICE 300 with HT20 camera

Cost: \$25,000 Quantity: 1

UAS that has 45 minutes of flight time, in all weather, has an IR camera, zoom camera and light. Has video recording capabilities.



DJI MATRICE 210 with Z30 camera

Cost: \$10,500 Quantity: 1

UAS that has 30 minutes of flight time without a payload, in all weather, has a zoom camera and light. Has video recording capabilities.



SKY HERO LOKI 2

Cost: \$10,500 for a package of 2 Quantity: 1

Ruggedized interior tactical UAS that has 16 minutes of flight time. It has a forward facing analog fixed day-night + IR camera allowing it to fly in total darkness. Unable to record video currently.

SUMMARY OF MILITARY EQUIPMENT

Unmanned Aircraft Systems (UAS), Continued

Description, Purchase Cost, Quantity, and Capabilities



SKYDIO 2

Cost: \$1,100 Quantity: 1

UAS that weighs approx. 775 grams, 27 minutes of flight time. It has a zoom camera and 360-degree accident avoidance. Unable to fly in darkness.



DJI Air 2s

Cost: \$1,200 Quantity: 1

UAS that weighs approx. 595 grams, 31 minutes of flight time. Has the ability to perceive its environment in four directions and features advanced image transmission technology.



DJI M30T

Cost: \$16,500 Quantity: 1

UAS that weighs approx. 3.77 kilograms, 36-41 minutes of flight time. Wide-angle camera, 8k photo, 4K/30 fps video resolution, laser rangefinder up to 1,200 meters, and a thermal sensor.



DJI AVATA

Manufacturer: DJI

Cost: \$3,200 Quantity: 2

UAS that weighs approx. 405 grams, 18 minutes of flight time. Expanded sensor to capture 4K/60fps HDR in vivid detail. Has 20GB of internal storage and 1/1.7 inch CMOS super-wide angle camera



BRINC LEMUR 2

Manufacturer: Brinc

Cost: \$29,999 Quantity: 2

UAS that utilizes night vision, thermal, 2-way communication, obstacle avoidance, and can map the interior of structures in real-time. Has 22 minutes of flight time and weighs 3.2 lbs.

SUMMARY OF MILITARY EQUIPMENT

Unmanned Aircraft Systems (UAS), Continued

Purpose

To be deployed when its view would assist officers or incident commanders with the following situations, which include but are not limited to major collision investigations, searching for missing persons, natural disaster management, crime scene photography, SWAT, tactical or other public safety and life preservation missions, in response to specific requests from local, state, or federal fire authorities for fire response and/or prevention.

Authorized Use

Only assigned operators who have completed the required training shall be permitted to operate any UAS during approved missions.

Expected Life Span

All UAS equipment, 3-5 years

Fiscal Impact

Annual maintenance and battery replacement cost is approximately \$10,000.

Training

All Department UAS operators are required to obtain a PART 107 license. In addition, each operator must attend a basic department training course and participate in ongoing quarterly training.

Legal and Procedural Rules

Use is established under FAA Regulations 14 CFR Part 107, COA, FAA waivers, and the City of Clovis UAS policy. It is the policy of Clovis Police Department to utilize UAS only for official law enforcement purposes and in a manner that respects the privacy of our community, pursuant to State and Federal law.

SUMMARY OF MILITARY EQUIPMENT

4. 40mm Launchers and Rounds: 40mm Launchers are utilized by department personnel as a less lethal tool to launch impact rounds.

Description, Purchase Cost, Quantity, and Capabilities

DEFENSE TECHNOLOGY, 40MM SINGLE SHOT LAUNCHER, #1425
 Cost: \$1,000 Quantity: 2



The 40mm Single Shot Launcher is a tactical single shot launcher that features an expandable ROGERS Super Stoc and an adjustable Integrated Front Grip (IFG) with light rail. It will fire standard 40mm less lethal ammunition, up to 4.8 inches in cartridge length. It will launch a 40mm less lethal round up to 131 feet and is only authorized to be used by SWAT personnel.

DEFENSE TECHNOLOGY, 40MM TACTICAL 4-SHOT LAUNCHER, #1440
 Cost: \$1,975 Quantity: 2



The 40mm Tactical 4-Shot Launcher is low-profile and lightweight, providing multi-shot capability in an easy to carry launcher. It features the Rogers Super Stoc expandable gun stock, an adjustable Picatinny mounted front grip, and a unique direct-drive system to advance the magazine cylinder. It will launch a 40mm less lethal round up to 131 feet and is only authorized to be used by SWAT personnel.

DEFENSE TECHNOLOGY, FERRET 40MM LIQUID BARRICADE PENETRATOR ROUND, #2262
 Cost: \$23 Quantity: 26



A less lethal 40mm round used to penetrate barriers such as windows, hollow core doors, wallboard, and thin plywood. Upon impacting the barrier, the nose cone ruptures and instantaneously delivers a small chemical payload inside of a structure or vehicle. In a tactical deployment situation, the 40mm Ferret is primarily used to dislodge barricaded subjects from confined areas. Its purpose is to minimize the risks to all parties through pain compliance, temporary discomfort and/or incapacitation of potentially violent or dangerous subjects.

DEFENSE TECHNOLOGY, 40MM EXACT IMPACT SPONGE, #6325
 Cost: \$18 Quantity: 73



A less lethal 40mm lightweight plastic and foam projectile fired from a single or multi-round purpose built 40mm grenade launcher with a rifled barrel at 325 FPS. The 30-gram foam projectile delivers 120 ft/lbs. of energy on impact. The 40mm Exact Impact Sponge Round provides accurate and effective performance when fired from the approved distance of not less than five (5) feet and as far as 131 feet from the target.

DEFENSE TECHNOLOGY, SPEDE-HEAT 40MM LONG-RANGE, CS, #6182
 Cost: \$30 Quantity: 26



The Spede-Heat CS Long-Range Munitions delivers one chemical canister of CS agent from a 40mm launcher down range up to 150 yards. The Spede-Heat is a pyrotechnic round designed specifically for outdoor use in crowd control situations with a high-volume continuous burn that expels its payload in approximately 20-40 seconds from a single source. The Spede-Heat family may be used to conceal tactical movement or to route a crowd.

DEFENSE TECHNOLOGY, SPEDE-HEAT 40MM LONG-RANGE ROUND, SAF SMOKE, #6183
 Cost: \$27 Quantity: 14



The Spede-Heat Saf-Smoke Long Range Munitions is designed to deliver one chemical canister of Saf-Smoke payload down range up to 150 yards. The Spede-Heat is a pyrotechnic round designed specifically for outdoor use in crowd control situations with a high-volume continuous burn that expels its payload in approximately 20-40 seconds from a single source. The Spede-Heat 40mm is designed for outdoor use and has a maximum effective range of 150 yards.

SUMMARY OF MILITARY EQUIPMENT

40mm Launchers and Rounds, Continued

Purpose

To limit the escalation of conflict where employment of lethal force is prohibited or undesirable.

Authorized Use

Situations for use of the less lethal weapon systems may include, but are not limited to:

- Self-destructive, dangerous and/or combative individuals.
- Riot/crowd control and civil unrest incidents.
- Circumstances where a tactical advantage can be obtained.
- Potentially vicious animals.
- Training exercises or approved demonstrations.
- By officers who have been trained in their proper use.

Expected Life Span

- Defense Technology #1425: 25 years
- Defense Technology #1440: 15 years
- Model 2262 Defense Technology, Ferret 40mm: 5 years
- Model 6325 Defense Technology, 40mm Exact Impact Sponge: 5 years
- Model 6182 Defense Technology Spede-Heat 40mm long-range, CS: 5 years
- Model 6183 Spede-Heat 40mm Long-range Round, Saf Smoke: 5 years

Fiscal Impact

Annual maintenance is approximately \$50 for each launcher.

Training

Sworn members utilizing 40mm less lethal chemical agents or impact rounds are trained in their use by POST certified and/or Defense Technology less lethal and chemical agent instructors.

Legal and Procedural Rules

The 40mm launchers are to be used only for official law enforcement purposes and pursuant to State and Federal law, including those regarding the use of force.

SUMMARY OF MILITARY EQUIPMENT

5. Distraction Devices: A device used to distract dangerous persons.

Description, Purchase Cost, Quantity, and Capabilities



DEFENSE TECHNOLOGY, LOW ROLL II

Cost: \$52

Quantity: 33

A non-bursting, non-fragmenting multi-bang device that produces a thunderous bang with an intense bright light. Ideal for distracting dangerous suspects during assaults, hostage rescue, room entry or other high-risk arrest situations.

Purpose

A distraction device is ideal for distracting dangerous suspects during assaults, hostage rescue, room entry, or other high-risk arrest situations. To produce atmospheric over-pressure and brilliant white light and, as a result, can cause short-term (6 - 8 seconds) physiological/psychological sensory deprivation to give officers a tactical advantage.

Authorized Use

Diversionary Devices shall only be used:

- In hostage and barricaded subject situations.
- In high-risk warrant (search/arrest) services where there may be extreme hazards to officers.
- During other high-risk situations where their use would enhance officer safety.
- During training exercises or approved demonstrations.
- By officers who have been trained in their proper use.

Expected Life Span

Until used.

Fiscal Impact

No annual maintenance.

Training

Prior to use, officers must attend diversionary device training that is conducted by POST certified instructors and/or Defense Technology.

Legal and Procedural Rules

Diversion devices are to be used only for official law enforcement purposes and pursuant to State and Federal law, including those regarding the use of force.

SUMMARY OF MILITARY EQUIPMENT

6. Chemical Agent and Smoke Canisters: Canisters that contain chemical agents that are released when deployed.

Description, Purchase Cost, Quantity, and Capabilities



DEFENSE TECHNOLOGY, TRIPLE-CHASER SEPARATING CANISTER, CS, #1026

Cost: \$47 Quantity: 18

The Triple-Chaser CS consists of three separate canisters pressed together with separating charges between each. When deployed, the canisters separate and land approximately 20 feet apart allowing increased area coverage in a short period of time. This canister can be hand thrown or launched from a fired delivery system. The canister is 6.5 in. by 2.7 in. and holds an approximately 3.2 oz. of active agent payload. It has an approximate burn time of 20-30 seconds.



DEFENSE TECHNOLOGY, RIOT CONTROL CONTINUOUS DISCHARGE GRENADE, CS, #1082

Cost: \$27 Quantity: 9

The Riot Control CS Grenade is designed specifically for outdoor use in crowd control situations with a high volume continuous burn that expels its payload in approximately 20-40 seconds through four gas ports located on the top of the canister. This grenade can be used to conceal tactical movement or to route a crowd. The 9 volume of smoke and agent is vast and obtrusive. This launchable grenade is 6.0 in. by 2.35 in. and holds approximately 2.7 oz. of active agent.



DEFENSE TECHNOLOGY, FLAMELESS EXPULSION CS GRENADE, #2042

Cost: \$48 Quantity: 8

The CS Flameless Expulsion Grenade is a compact, non-pyrotechnic, chemical agent device that provides safe expulsion without risk of fire. It is safe to use inside of a residence. Unlike pyrotechnical grenades, this device's contents are expelled upon actuation of a CO2 cartridge that will affect a confined area of approximately 1,500 square feet. This grenade is 7.5 in. by 1.65 in. and delivers approximately .16 oz. of active agent during its 3-second discharge time.



DEFENSE TECHNOLOGY, MAXIMUM HC SMOKE MILITARY-STYLE CANISTER #1083

Cost: \$38 Quantity: 18

The Military-Style Maximum Smoke Grenade comes from the Defense Technology #3 smoke grenade. It is a slow burning, high volume, continuous discharge grenade designed for outdoor use in crowd management situations. Emits grey-white smoke only for approximately 1.5 to 2 minutes.



DEFENSE TECHNOLOGY, POCKET TACTICAL BLUE SMOKE GRENADE, #1017B

Cost: \$39 Quantity: 3

The Pocket Tactical Blue Smoke Grenade is a small, lightweight device. Though it is slightly over four inches in length, it produces a blue smoke cloud so fast it appears to be an enveloping screen produced by a full size tactical colored smoke grenade. It will burn approximately 20-40 seconds.



DEFENSE TECHNOLOGY, RIOT CONTROL CONTINUOUS DISCHARGE CS GRENADE, #1080

Cost: \$41 Quantity: 8

The Riot Control OC Grenade is designed specifically for outdoor use in crowd control situations with a high-volume continuous burn that expels its payload in approximately 20-40 seconds through four gas ports located on the top of the canister. This grenade can be used to conceal tactical movement or to route a crowd. The volume of smoke and agent is vast and obtrusive. This launchable grenade is 6.0 in. by 2.35 in. and holds approximately 0.88 oz. of active agent.

SUMMARY OF MILITARY EQUIPMENT

Chemical Agent and Smoke Canisters, Continued

Description, Purchase Cost, Quantity, and Capabilities



DEFENSE TECHNOLOGY, OC VAPOR AEROSOL GRENADE, #1056

Cost: \$49 Quantity: 12

The Defense Technology OC Vapor Aerosol Grenade is for law enforcement and corrections use to deliver a high concentration of Oleoresin Capsicum (OC) in a powerful mist. The grenade is designed for indoor use in confined areas and once deployed, inflames the mucous membranes and exposed skin resulting in an intense burning sensation. The incapacitating effect of the OC Vapor on the subject is dramatic with minimal decontamination needed. Removing the subject from the affected area to fresh air will resolve respiratory effects within minutes. The OC Vapor Aerosol Grenade is ideal for cell extractions or barricade situations 10 where the use of pyrotechnic, powder or liquid devices is not practical or desired.



DEFENSE 1.3% MK-46V STREAM OC AEROSOL #43046

Cost: \$495 Quantity: 1

The MK-46 features a trigger handle, is intended for use in crowd management and will deliver 26 short bursts of OC at an effective range of 25-30 ft. This 1.3% MC OC aerosol product utilizes a stream delivery method providing a target-specific, strong concentrated stream for greater standoff.



DEFENSE TECHNOLOGY, SPEDE-HEAT CS, #1072

Cost: \$40 Quantity: 72

The Spede-Heat CS Grenade is a high volume, continuous burn it expels its payload in approximately 20-40 seconds. The payload is discharged through four gas ports on top of the canister, three on the side and one on the bottom. This launchable grenade is 6.12 in. by 2.62 in. and holds approximately 2.9 oz. of active agent. It is delivered in a burn safe for safety.



DEFENSE TECHNOLOGY, SPEDE-HEAT POCKET TACTICAL CS, # 1072

Cost: \$30 Quantity: 62

The Pocket Tactical CS Grenade is a quick burning, reduced volume, continuous discharge grenade. Pelletized chemical agent is discharged through one (1) gas port located on the bottom of the canister. The Pocket Tactical Grenade is a small, lightweight, easily carried device that provides a medium volume of chemical agent. The 0.9 oz. of active agent will burn approximately 20-40 seconds. It is delivered in a tomahawk burn safe for safety.



DEFENSE TECHNOLOGY, RUBBER BALL STINGERS CS

Cost: \$30 Quantity: 13

The Stinger Grenade is most widely used as a crowd management tool by Law Enforcement and Corrections. The Stinger Grenade has an initial 1.5 second delay that initiates fuze assembly separation, followed by another .5 second delay before the blast which is sufficient to project the rubber balls and chemical agent in a 50-foot radius.



DEFENSE TECHNOLOGY, STINGERS OC

Cost: \$30 Quantity: 8

The Stinger OC Grenade is a maximum effect device that delivers four stimuli for psychological and physiological effects: rubber pellets, light, sound, and OC. The Stinger Grenade is most widely used as a crowd management tool by Law Enforcement and Corrections. The Stinger Grenade has an initial 1.5 second delay that initiates fuze assembly separation, followed by another .5 second delay before the blast which is sufficient to project the rubber balls and chemical agent in a 50-foot radius.

SUMMARY OF MILITARY EQUIPMENT

Chemical Agent and Smoke Canisters, Continued

Purpose

To limit the escalation of conflict where employment of lethal force is prohibited or undesirable. Situations for use of the less lethal weapon systems may include, but are not limited to:

- Self-destructive, dangerous and/or combative individuals.
- Riot/crowd control and civil unrest incidents.
- Circumstances where a tactical advantage can be obtained.
- Potentially vicious animals.

Authorized Use

Only officers who have been trained in the proper use of chemical agents are authorized to use chemical agents.

Expected Life Span

5 years from manufacturing date.

Fiscal Impact

No annual maintenance.

Training

Sworn members utilizing chemical agent canisters are certified by POST and/or Defense Technology less lethal and chemical agent instructors.

Legal and Procedural Rules

Chemical agents will only be used for official law enforcement purposes and pursuant to State and Federal law.

SUMMARY OF MILITARY EQUIPMENT

7. Armored Vehicles: Wheeled armored personnel vehicles utilized for law enforcement purposes.

Description, Purchase Cost, Quantity, and Capabilities



MRAP

Cost: \$0 Quantity: 1

The MRAP is a United States Army specialized armored vehicle manufactured of common commercial and military parts. It seats 10-12 personnel with an open floor plan that allows for rescue of down personnel. It stops various projectiles, which provides greater safety to citizens and officers beyond the protection level of shield and personal body armor.



LENCO BEARCAT, G3

Cost: \$431,133.42 Quantity: 1

The Lenco Bearcat, G3, is an armored vehicle that seats 10-12 personnel with an open floor plan that allows for rescue of down personnel. It can stop various projectiles, which provides greater safety to citizens and officers beyond the protection level of a shield and personal body armor.

Purpose

To be used in response to critical incidents to enhance officer and community safety, improve scene containment and stabilization, and assist in resolving critical incidents.

Authorized Use

The use of armored vehicles shall only be authorized by a watch commander or SWAT commander, based on the specific circumstances of a given critical incident. Armored vehicles shall be used only by officers trained in their deployment and in a manner consistent with Department policy and training.

Expected Life Span

Estimated 15-25 years.

Fiscal Impact

Annual maintenance of approximately \$5,000.

Training

All drivers/operators shall attend formalized instruction and be trained in vehicle operations and practical driving. MRAP drivers are required to possess a valid Class B California driver license. The Bearcat may be driven by any Clovis Police Officer trained in the operation of the Bearcat.

Legal and Procedural Rules

The department will only use the MRAP and Bearcat for official law enforcement purposes and pursuant to State and Federal law.

SUMMARY OF MILITARY EQUIPMENT

8. Explosive Breaching Tools: Tools that are used to conduct an explosive breach.

Description, Purchase Cost, Quantity, and Capabilities



DETONATING CORD

Cost: \$1 per foot Quantity: 20 feet

The detonating 13 cord is a thin, flexible plastic tube usually filled with pentaerythritol tetranitrate (PETN, pentrite). With the PETN exploding at a rate of approximately 6400 m/s, any common length of detonation cord appears to explode instantaneously. It is a high-speed fuse which explodes, rather than burns, and is suitable for detonating high explosives. Detonating cord is the primary explosive used to defeat doors, walls, windows, and other barricades for SWAT Operators to safely make entry into a specific location, or create distraction, with no risk to the person inside of the room being breached.



BLASTING CAP

Cost: \$12 Quantity: 30

A blasting cap is a small sensitive primary explosive device generally used to detonate a larger, more powerful, and less sensitive secondary explosive such as TNT, dynamite, or plastic explosive. Blasting caps come in a variety of types, including non-electric caps, electric caps, and fuse caps.



NONEL

Cost: \$429.00 per case Quantity: 10

Nonel is a zero-delay shock tube that contains a reactive explosive compound that provides a safe distance from the explosive initiator to the explosive charge that is placed on the target that is going to be breached.



REMINGTON 870 EXPRESS BREACHING SHOTGUN

Cost: \$500 Quantity: 2

This weapon allows for breachers to safely utilize shotgun breaching rounds to destroy deadbolts, locks, and hinges. The stand-off that is attached to the end of the barrel allows for positive placement of the gun into the correct position and vents gases to prevent overpressure. This weapon can also defeat windows and sliding glass doors with a flash bang round. A less lethal 2.4- inch 12-gauge shotgun round firing a ballistic fiber bag filled with 40 grams of lead shot at a velocity of 270-290 feet per second (FPS).



ROYAL ARMS TESAR-2 BLACK CAP 425 GRAIN COPPER FRANGIBLE BREACHING ROUND

Cost: \$5 per round Quantity: 50

The round is fired from a breaching shotgun and is used to destroy:

- deadbolts
- locks
- hinges



ROYAL ARMS TESAR-4 YELLOW CAP 750 GRAIN COPPER FRANGIBLE BREACHING ROUND

Cost: \$5 per round Quantity: 45

The round is fired from a breaching shotgun and is used to destroy:

- deadbolts
- locks
- hinges

SUMMARY OF MILITARY EQUIPMENT

Explosive Breaching Tools, Continued

Description, Purchase Cost, Quantity, and Capabilities



ROYAL ARMS HP CUTTER 12 GA HOLLOW POINT REBAR CUTTER ROUND

Cost: \$6 per round Quantity: 20

The round is fired from a breaching shotgun and is used to cut rebar and penetrate:

- Security Glass
- Car Doors
- Engine Blocks



ROYAL ARMS FTR-P1 12 GAUGE FRANGIBLE POLYSHOT TRAINING ROUNDS

Cost: \$2.50 per round Quantity: 48

The round is fired from a breaching shotgun and used as a training tool to show how to effectively use and deploy a breaching shotgun.

Purpose

To safely force entry into a structure.

Authorized Use

Explosive breaching may only occur after authorization by the Incident Commander or SWAT Commander in the field and during training exercises.

Expected Life Span

Detonating Cord: 10 years - Blasting Caps: 10 years - Nonel: 3 years

Breaching Shotgun: 25 years - Royal Arms Tesar-2 Black Cap: 5 years

Royal Arms Tesar-4 Yellow Cap: 5 years - Royal Arms HP Cutter: 5 years

Royal Arms FTR-P1 12: 5 years

Fiscal Impact

Annual maintenance is approximately \$500.

Training

All officers who use explosive breaching tools shall attend 40 hours of explosive breaching instruction and must additionally receive quarterly training for explosive operations.

Legal and Procedural Rules

Breaching tools will only be used for official law enforcement purposes and pursuant to State and Federal law.

SUMMARY OF MILITARY EQUIPMENT

9. Less Lethal Shotgun: Less Lethal Shotguns are used to deploy the less lethal 12-gauge Defense Technology Beanbag Round.

Description, Purchase Cost, Quantity, and Capabilities



REMINGTON 870 LESS LETHAL SHOTGUN

Cost: \$946 Quantity: 19

The Remington 870 Less Lethal Shotgun is used to deploy the less lethal 12-gauge Defense Technology Beanbag Round up to 75 feet. The range of the weapon system helps to maintain space between officers and a suspect reducing the immediacy of the threat which is a principle of de-escalation.



DEFENSE TECHNOLOGY DRAG STABILIZED 12 GAUGE BEAN BAG ROUND

Cost: \$5 Quantity: 400

A less lethal 2.4 -inch translucent 12-gauge shotgun round in a tear-shaped bag filled with 40 grams of lead shot at a velocity of 270 feet per second (FPS). Bean bag rounds are discharged from a dedicated 12-gauge shotgun that is distinguishable by an orange butt stock and foregrip. This design utilizes four stabilizing tails and utilizes smokeless powder as a propellant. This round provides accurate and effective performance when fired from the approved distance of not fewer than five (5) feet. The maximum effective range of this munition is up to 75 feet from the target. The Bean Bag round is very accurate. However, effectiveness depends on many variables, such as distance, clothing, stature, and the point where the projectile impacts.

Purpose

To limit the escalation of conflict where employment of lethal force is prohibited or undesirable.

Authorized Use

Only Officers who have been instructed on and demonstrated proficient use of this force option are allowed to deploy and utilize it. Situations for use of the less lethal weapon systems may include, but are not limited to:

- Self-destructive, dangerous and/or combative individuals.
- Riot/crowd control and civil unrest incidents.
- Circumstances where a tactical advantage can be obtained.
- Potentially vicious animals.
- Training exercises or approved demonstrations.

Expected Life Span

Remington 870 Less Lethal Shotgun: 25 years

Defense Technology Bean Bag Rounds: No expiration

Fiscal Impact

Annual maintenance is approximately \$5.00 per shotgun.

Training

All officers are trained in the use of the 12 gauge less lethal shotgun as a less lethal option through in-service training.

Legal and Procedural Rules

Less lethal shotguns are to be used only for official law enforcement purposes and pursuant to State and Federal law.

SUMMARY OF MILITARY EQUIPMENT

10. PepperBall PPC Less Lethal Launchers: PepperBall Launchers are used to deploy PepperBall projectiles.

Description, Purchase Cost, Quantity, and Capabilities



PEPPERBALL PPC LAUNCHERS

Cost: \$4,597 Quantity: 5

PepperBall PPC is a lightweight and portable non-lethal projectile launcher. The PPC is designed to give patrol officers an easy to operate non-lethal option. The PPC uses PepperBall .68 caliber round or VXR projectile and is powered by either HPA or an 88-gram single-use CO2 cartridge.



PEPPERBALL INERT PROJECTILES

Cost: \$323 for 375 Quantity: 1500

Containing a harmless, scented powder, this projectile is best suited for training, qualifications, and direct impact when chemical exposure is not desired.



PEPPERBALL LIVE MAX PROJECTILES

Cost: \$2,497 Quantity: 700

Live-Maxx is the most powerful and potent projectile developed by PepperBall. It is formulated with Maxsaicin, a new proprietary process that produces powder with more airborne PAVA. PepperBall Live-Maxx has 50% more bio-availability than the standard PAVA powders.

Purpose

To limit the escalation of conflict where employment of lethal force is prohibited or undesirable.

Authorized Use

Only officers who have been instructed on and demonstrated proficient use of this force option are allowed to deploy and utilize the launchers.

Situations for the use of the less lethal weapon systems may include, but are not limited to:

- Self-destructive, dangerous, and/or combative individuals.
- Riot/crowd control and civil unrest incidents.
- Circumstances where a tactical advantage can be obtained.
- Potentially vicious animals.
- Training exercises or approved demonstrations.

Expected Life Span

PepperBall PPC Launchers: No manufacturer life span indicated by the manufacturer

PepperBall Projectiles: 2 years

Fiscal Impact

Annual maintenance is approximately \$10 per launcher.

Training

All officers are trained in the use of the PepperBall PPC launcher as a less lethal option through in-service training by POST certified less lethal and chemical agent instructors.

Legal and Procedural Rules

PepperBall PPC launchers are only to be used for official law enforcement purposes and pursuant to State and Federal law.

SUMMARY OF MILITARY EQUIPMENT

11. Sniper Rifle: Provides SWAT Snipers the ability to engage hostile suspects at great distance with precision rifle fire.

Description, Purchase Cost, Quantity, and Capabilities



ACCURACY INTERNATIONAL AT, 308 CALIBER

Cost: \$6,000 Quantity: 4

The Accuracy International AT is a short action precision rifle with a Thunder Beast Suppressor and a Night Force NXS Scope with a 3.5-15x50mm second focal plane.



FEDERAL CARTRIDGE .308 CAL 168 GRAIN TRU TACTICAL TIP MATCH KING AMMUNITION

Cost: \$500 per case Quantity: 4700 rounds



FEDERAL CARTRIDGE .308 WIN TACTICAL BONDED TIP 168 GRAIN DUTY AMMUNITION

Cost: \$390 per case Quantity: 1,400 rounds

Purpose

The .308 bolt action Sniper Rifle provides SWAT Snipers the ability to engage hostile suspects at great distance with precision rifle fire. These rifles are typically deployed with the SWAT Sniper Team during high-risk SWAT operations and special events or instances wherein Sniper Over Watch Teams are needed.

Authorized Use

To be used exclusively by officers assigned to the SWAT Sniper Team. Only Officers who have been instructed and demonstrated proficient use of the rifle are allowed to deploy and utilize it.

Situations for use of the sniper rifle may include, but are not limited to:

- High-Risk SWAT Operations
- Sniper Over Watch

Expected Life Span

Accuracy International AT .308 caliber: 1 year limited warranty

Barrel life rated for approximately 5,000 rounds.

Fiscal Impact

Annual maintenance is approximately \$100 per rifle.

Training

All SWAT Snipers are trained through in-service and outside rigorous trainings. SWAT Snipers must complete a 40-hour POST basic sniper school and regularly train with the rifle platform.

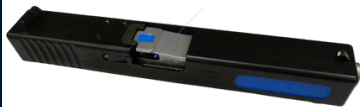
Legal and Procedural Rules

Sniper rifles are only to be used for official law enforcement purposes and pursuant to State and Federal Law.

SUMMARY OF MILITARY EQUIPMENT

12. Specialty Impact Munitions (SIM): UTM pistol conversion kits used to fire non-lethal training rounds for in-service department training.

Description, Purchase Cost, Quantity, and Capabilities



UTM SIMMUNITION PISTOL CONVERSION KITS

Cost: \$648 Quantity: 15

UTM Simunition Pistol Conversion kits are used to fire a non-lethal training round. These munitions provide for realistic close-quarters firearms training while allowing the shooter to visually assess shot placement and accuracy in force-on-force training scenarios.



UTM 9MM MAN MARKER ROUNDS TRAINING ROUNDS

Cost: \$600 per 1,000 Quantity: 6,830

The UTM 9mm Man Marker Round is an accurate and reliable marking projectile for force-on-force target training.



UTM AR15 300 BLK RIFLE BOLT CARRIER ASSEMBLY

Cost: \$822 Quantity: 13

The UTM rifle conversions employ a fail-safe measure where the firing pin is offset from the center. Not only is the firing pin strike outside of the strike area of a “Live” cartridge center fire primer, it does not strike the primer at all hence the weapons fail to fire the host weapons “Live” caliber ammunition.



UTM AR 15 300 BO MAN MARKER ROUNDS

Cost: \$783 per 900 Quantity: 2,400

The UTM 300 BLK is an accurate and reliable marking projectile for force-on-force target training.



UTM GLOCK 45 BLANK BARREL

Cost: \$238 Quantity: 5

The Glock blank barrel is designed to fire blank rounds, no projectiles.



UTM GLOCK 45 BLANK ROUNDS

Cost: \$460 Quantity: 3,800

Glock blank rounds used for training purposes.



UTM GLOCK 17 T CONVERSIONS KITS

Cost: \$268 Quantity: 4

The Glock 17T conversion kit allows the 17T to fire UTM training rounds.

SUMMARY OF MILITARY EQUIPMENT

Specialty Impact Munitions (SIM), Continued

Purpose

To provide realistic close-quarters firearms training while allowing the shooter to visually assess shot placement and accuracy in force-on-force training scenarios.

Authorized Use

Only Officers who have been instructed on and demonstrated proficient use of the systems are allowed to use the training tools.

Situations for use of the Simmunitions equipment may include:

- Police Trainings
- Approved Demonstrations

Expected Life Span

Conversion Kits: 15-20 years (avg.)

Rounds: 6 years

Fiscal Impact

Annual maintenance is approximately \$5 per kit.

Training

All officers are trained in the use of the Simmunitions conversion kits.

Legal and Procedural Rules

Simmunitions conversion kits are to be used only for official law enforcement purposes and pursuant to State and Federal law.

SUMMARY OF MILITARY EQUIPMENT

13. Robot: A remotely controlled, unmanned machine that operates on the ground, which is utilized to enhance the safety of the community and officers.

Description, Purchase Cost, Quantity, and Capabilities



ICOR Caliber T5

Cost: \$120,000 Quantity: 1

It is a compact, two-man portable system that shares the same core design of a large robot. Able to climb stairs and provide disruption capabilities. The T5 is best suited to assist EOD and SWAT teams in inspecting and retrieving of suspicious devices from narrow passages of buses, trains, and places. It's turreted claw/disruptor arm integrates the remote handling capabilities of a disruptor. Able to lift to 45 pounds with arm retracted and 18 pounds with arm extended. Capable of dragging 200+ pounds.

Purpose

To be used to remotely obtain visual and audio intelligence, remotely bring any medium weight items to a safe location, disrupt suspicious packages, X-ray, 17 search buildings/indoor or outdoor areas, provide phones or other items to people during Crisis Negotiations.

Authorized Use

Only approved operators who have completed the required training are authorized to use this equipment. These personnel are restricted to EOD team members only and the use is authorized by the Bomb Squad Commander and requested by the Incident Commander incidents.

Expected Life Span

8-10 Years

Fiscal Impact

Maintenance and battery replacement at about \$1,200 annually.

Training

Only EOD team members who have attended HDS six-week certification course or who have completed other necessary training as approved by the Bomb Commander.

Legal and Procedural Rules

The robot is to be used only for official law enforcement purposes, and in a manner that respects the privacy of our community, pursuant to State and Federal law.

MILITARY EQUIPMENT USE SUMMARY



While the Clovis Department's inventory of military equipment is varied, the mere possession of the equipment does not warrant its use for every incident. The Clovis Police Department recognizes that critical incidents are unpredictable and can be very dynamic in nature. A variety of military equipment options can greatly assist incident commanders, officers, and specific units in bringing those incidents to a swift resolution in a safe manner. The use of military equipment is restricted for use only in certain instances and in some cases only by certain units.

This section outlines the military equipment usage for 2023. Certain items of military equipment, particularly consumables (ammunition, diversionary devices, pepper balls, chemical agents, etc.) are used throughout the year on a regular basis for training in order to maintain proficiency. Training usage is not captured in this section. This section only provides data for the operational use of military equipment listed within this Annual Equipment Report.



MILITARY EQUIPMENT USE SUMMARY

Below is a table that shows the total number of incidents a specified equipment was deployed in 2023. It should be noted that different types of equipment may be deployed in one incident and the same equipment may be deployed by multiple officers within a single incident.

EQUIPMENT	NUMBER OF INCIDENTS
Mobile Command Vehicle	6
Crisis Negotiations Team Vehicle	2
Unmanned Aircraft System	600
40 MM Launcher (Single Shot)	0
40 MM Launcher (4-shot launcher)	2
Def-Tec 40 MM Exact Impact Sponge Rounds	3
Def-Tec 40 MM Ferret Liquid Barricade Rounds	4
Def- Tec 40 MM Spede-Heat Smoke Rounds	0
Def-Tec 7290 Sight Sounds Distraction Device	1
Def-Tec Triple Chaser Canister	0
Def-Tec Riot Control CS Canister	0
Def-Tec Flamesless Expulsion CS Canister	0
Def-Tec Maximum HC Smoke Canister	0
Defense Technology -SSDD	4
Def-Tec Riot Control Continuous CS Canister	0
Def-Tec OC Vapor Aerosol Canister	0
Def-Tec MK-46 OC Stream Aerosol	0
Def-Tec Spede - Heat CS	0
Def-Tec Spede - Heat Pocket Tactical CS	0
Def-Tec Stinger Rubber Ball Stingers CS	0
Def-Tec Stingers OC	0
MRAP	3
BearCat	30
Detonating Cord	0
Blasting Cap	0
Nonel	0
Remington 870 Breaching Shotgun	0
Royal Arms Tesar Black Cap	0
Royal Arms Tesar Yellow Cap	0
Royal Arms HP CUTTER	0
Royal Arms FTR-P1	0
Remington 870 Less Lethal Shotgun	0
Def-Tec Drag Stabilized Bean Bag Round	0
EOD Robot	15

COMPLAINTS AND AUDITS SUMMARY REGARDING MILITARY EQUIPMENT USAGE

There have been no internal audits, (others than those to conducted to gather and confirm data for this report), identified violations of equipment use or any complaints concerning the above listed equipment.

PROJECTED MILITARY EQUIPMENT ACQUISITIONS FY 2024

Projected consumable military equipment acquisitions for FY24 (July 2023- June 2024) should be in line with current replenishment schedules and quantities for consumables. A variety of commercial factors (i.e. supply and demand, inflation, supply chain issues etc.) may influence the fiscal impact of future military equipment acquisitions and ongoing military equipment purchases throughout the year. The replenishment schedules for military equipment consumables can vary and is dictated by inventory levels that fluctuate as a result of training, operational usage, or manufacturer recommended replacement guidelines. Categories of consumable military equipment are listed below:

- Ammunition – all calibers
- Explosive Breaching Equipment
- Chemical Agents
- Specialty Munitions (40mm, and bean bag ammo)
- Diversionary Devices
- Pepper ball Munitions
- Specialty Impact Munitions (SIM's)

Funding for the majority consumable military equipment for FY23 should be secured via the General Fund.

PROJECTED MILITARY EQUIPMENT ACQUISITIONS FY 2024, CONT.

Future Unmanned Aircraft Systems (UAS): There are three (3) new projected acquisitions for non-consumable military equipment at this time. These projected acquisitions consist of three Unmanned Aircraft Systems (UAS).

The projected acquisitions are as follows:



DJI AVATA 2

Manufacturer: DJI

Total Projected Cost: Approximately \$1,200

Funding Source: General Funding

The DJI Avata 2 works extremely well during interior building searches. This UAV is extremely stable inside of buildings even without GPS connection. Its size and signal strength allows pilots to search most interior structures without having to make entry and expose themselves to potential danger.



DJI MINI 4 PRO

Manufacturer: DJI

Total Projected Cost: Approximately \$1,100

Funding Source: General Funding

The DJI Mini 4 Pro is a low budget UAV that all pilots carry with them while working. This UAV allows pilots to quickly deploy and get aerial observations which allows them to assist with locating potential suspects and efficiently set up perimeters. This UAV is also utilized for training UAV training.



DJI Matrice 3TD

Manufacturer: DJI

Total Projected Cost: Approximately \$24,000-\$30,000

Quantity: 2

Funding Source: General Funding

DFR programs represent a strategic innovation in emergency response, utilizing unmanned aerial vehicles (UAVs) to promptly and adeptly handle diverse emergencies. These programs diverge from conventional drone use by pre-positioning UAVs at strategic locations for immediate deployment in response to emergency calls.



Responder

Manufacturer: Brinc

Total Projected Cost: Approximately \$60,000-\$90,000

Quantity: 2

Funding Source: General Funding

DFR programs significantly reduce response times through strategically placed drone stations. This swift response, coupled with advanced automation, provides crucial scene insights even before ground officers arrive, streamlining the entire emergency response process.

The remainder of **non-consumable military acquisitions** will consist of on-going maintenance costs for existing equipment. Funding for the majority of non-consumable military equipment should be secured via the General Fund.

CONCLUSION

This Annual Military Equipment Report reaffirms the Clovis Police Department's commitment to providing transparency and information to our communities and elected officials in addition to ensuring compliance with the law. The equipment, resources, and training outlined in this report allow Clovis Police Officers to better protect our communities, enhance the safety of the public and officers, and bring critical incidents to a safe resolution. It is not a matter of if a critical incident will happen within our city, but a matter of when. The content listed within this report gives our officers the training, confidence, and capability to meet that moment head on when called upon to do so.

Public safety is and always has remained a shared responsibility. The strength of our Department lies not solely within the actions of the individual officer but within the resilience and willingness of our communities to work in partnership with our officers to address crime in their neighborhoods. This shared partnership and continued support has helped our officers maintain the City of Clovis as the safest city in the Valley.

CLOVIS POLICE DEPARTMENT ANNUAL MILITARY EQUIPMENT REPORT 2023

PRESENTED BY

Lt. Craig Aranas



CITY *of* CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Administration

DATE: May 6, 2024

SUBJECT: Consider Approval – Res. 24-____, Adoption of the City of Clovis 2024-2025 Annual Action Plan for the expenditure of Community Development Block Grant Funds.

Staff: Claudia Cazares, Housing Programs Manager
Recommendation: Approve

ATTACHMENTS: 1. Resolution
2. 2024-2025 Annual Action Plan

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

For the City Council to approve the resolution adopting the City of Clovis 2024-2025 Annual Action Plan for the expenditure of Community Development Block Grant Funds.

EXECUTIVE SUMMARY

The U.S. Department of Housing and Urban Development (HUD) requires the City adopt an Annual Action Plan to identify projects, programs and/or activities proposed to be funded by the Community Development Block Grant (CDBG) program in the 2024-2025 fiscal year.

BACKGROUND

As an entitlement city for the purpose of receiving Community Development Block Grant Funds from HUD, Clovis must adopt an Annual Action Plan to identify CDBG funded activities for the 2024-2025 fiscal year. The Annual Action Plan represents the yearly implementation of the goals established in the 5-year Consolidated Plan, which was approved by City Council in 2021. Development of the Consolidated Plan required an extensive analysis of housing and community development needs for disadvantaged populations to be completed through community input and census data analysis. Staff conducted over 50 interviews with agencies and Clovis residents to identify gaps in services for disadvantaged populations. Additionally, staff employed a

consultant to analyze demographic data to determine the needs in the community. The analysis and input resulted in the following summary of needs by priority, as included in the Consolidated Plan:

High Priority

- Job Creation/Retention
- ADA Sidewalk Improvements
- Street/Alley Improvements
- Homeless Services/Shelters
- Fire Stations/Equipment
- Code Enforcement
- Affordable Housing for Families/Seniors/Veterans
- Housing Rehabilitation
- Jobs for Youth
- Food Pantry Programs
- Programs for Foster Children Aging Out of System
- Youth Counseling/Resource Center
- First-Time Homebuyer Programs
- Youth Centers
- Community Centers

Medium Priority

- Substance Abuse Services
- Micro Loans to Small Businesses
- More Educational Opportunities
- Support Groups for Families of Disabled
- Legal Services
- Road Reconstruction
- Tenant/Landlord Fair Housing
- Parks/Recreational Facilities
- Substance Abuse Services

Low Priority

- Façade Improvements
- Utility Improvements (Water/Sewer)

Aside from meeting a Priority Need from the list above, all potential CDBG funded activities must fall into one of the following eligibility categories:

1. Directly benefit low- and moderate-income persons.
2. Aid in the prevention and elimination of slums or blight.
3. Meet an urgent need.

The following projects and activities were approved to be funded in the five-year Consolidated Plan period (at estimated amounts), based on the identified Priority Needs, and the CDBG program regulations:

5 Year Goals and Proposed Funding Allocations

1	Goal Name	Public Facility Improvements.
	Description	The City of Clovis intends to utilize approximately \$1,500,000 in CDBG funds for the purpose of acquisition, construction, reconstruction, rehabilitation, or installation of water system improvements, sewer systems improvements, street and drainage improvements, neighborhood facilities, solid waste facilities, and/or parks and recreation facilities. In addition, a portion of those funds will be used for the removal of architectural barriers including curb cuts, park improvements, and improvements to public buildings to meet ADA requirements.
2	Goal Name	Preservation of Affordable Housing Units.
	Description	The City of Clovis intends to utilize approximately \$683,421.25 in CDBG funds for the purpose of providing rehabilitation services to LMI owner-occupied units.

3	Goal Name	Job creation for low-income individuals.
	Description	The City of Clovis intends to utilize approximately \$250,000 in CDBG funds for the purpose of economic development. The funds will be used to promote commercial revitalization, business expansion, and/or job creation.
4	Goal Name	Create a suitable living environment.
	Description	The City of Clovis has utilized approximately \$212,443 in CDBG funds for the purpose of providing code enforcement as a public service to LMI neighborhoods within Clovis.
5	Goal Name	CDBG Administration.
	Description	The City will continue to administer the CDBG program in compliance with program regulations and requirements. To ensure the effective use of limited CDBG funds, the City must allocate funding towards planning and monitoring of the related projects.

As of April 23, 2024, HUD has not yet established the nationwide CDBG allocations for the 2024-2025 fiscal year, as it is pending approval of the U.S. budget. In the proposed 2024-2025 Annual Action Plan, staff estimated a CDBG allocation of approximately \$650,000. In determining the recommended use of the CDBG allocation, staff followed the process identified in the HUD-approved Citizen Participation Plan and a list of priority projects was created.

The selected projects will meet the goals of the Consolidated Plan to improve neighborhoods, create jobs, and enhance the quality of life for the citizens of Clovis. The recommended projects for the 2024-2025 program year will improve infrastructure by making street/alley and trail improvements, support microenterprise businesses, provide services to seniors and survivors of domestic violence and continue to emphasize improvements to Clovis' low- and moderate-income housing stock.

Staff recommends the following proposed activities be funded for the 2024-2025 program year, at the identified CDBG funding amount:

- Housing Rehabilitation - \$100,000.00
- Micro-Enterprise Culinary Kitchen - \$55,000.00
- Santa Ana Avenue Sidewalk Installation - \$124,000.00
- Holland/Richert Alley Improvements (Peach/Homsy) - \$143,500.00
- Clovis Senior Center Enrichment Activities - \$48,750.00
- Marjaree Mason Center Critical Domestic Violence Services - \$48,750.00
- Administration - \$130,000.00

As the national CDBG budget has not been finalized, HUD recommends Cities anticipate and plan for a higher or lower CDBG allocation than what is estimated by City staff. Therefore, staff recommends any increase or decrease in the estimated CDBG funding level will be reflected in 1) the Public Services activities (Senior Center and Marjaree Mason Center), as these

funding levels are based on a 15% maximum of the CDBG allocation, 2) on Administration as this funding level is based on a 20% maximum of the CDBG allocation, and 3) on the Holland/Richert Alley Improvements (Peach/Homsy) Project.

In addition to the projects listed above, staff recommends the following projects be included as contingency projects be funded if additional funds become available during the year:

- Acts of Kindness by Habitat for Humanity
- Upwards BOOST Daycare Micro-Enterprise Support

These proposed activities for CDBG funding, along with the availability of the 2024-2025 Annual Action Plan, were advertised for review and public comment in The Business Journal and the Fresno Bee on April 5, 2024, and on April 7, 2024. The notifications and request for public comments was also posted on the City of Clovis website and social media, at the following locations City Council Chamber public display window, Clovis Senior Center, Clovis Recreation Center, Fresno County Library Clovis Branch, local laundry mats, and Miss Winkles Pet Adoption Center. Physical copies of the Action Plan were made available at the Clovis Branch of the Fresno County Public Library, City of Clovis Administration Office, Clovis Recreation Center and the Clovis Senior Center.

FISCAL IMPACT

It is anticipated that a total of \$650,000 in CDBG funds will be available for 2024-2025. HUD distributes the funds on a reimbursement basis. The funds are included in the proposed 2024-2025 City of Clovis budget.

REASON FOR RECOMMENDATION

HUD requires the City Council to adopt an Annual Action Plan each year. The recommended action meets HUD's requirements to receive CDBG funds as an entitlement city.

ACTIONS FOLLOWING APPROVAL

Staff will submit the 2024-2025 Annual Action Plan to HUD by May 15, 2024, as required. Staff will then begin operation of the 2024-2025 CDBG Program, and activities will be completed during the 2024-2025 fiscal year, or soon thereafter.

Prepared by: Claudia Cazares, Housing Programs Manager

Reviewed by: City Manager *JH*

RESOLUTION 24-__

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS
ADOPTING THE 2024-2025 COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG)
ANNUAL ACTION PLAN**

WHEREAS, The City Council of the City of Clovis is a U. S. Department of Housing and Urban Development (HUD) entitlement city for the purpose of receiving Community Development Block Grant funds; and

WHEREAS, HUD requires the City of Clovis to adopt an Annual Action Plan to identify activities to be funded for the 2024-2025 program year for use of Community Development Block Grant funds.

NOW, THEREFORE, BE IT RESOLVED, that the City of Clovis approves and adopts the 2024-2025 Annual Action Plan.

* * * * *

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote, to wit:

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

- DATED:

Mayor

City Clerk



**Community Development
Block Grant (CDBG)
2024-2025 Annual Action Plan
Public Review Draft
April 5, 2024**

Clovis City Council

Lynne Ashbeck, Mayor

Vong Mouanoutoua, Mayor Pro Tem

Drew Bessinger

Diane Pearce

Matthew Basgall

John Holt, City Manager

Andrew Haussler, Assistant City Manager

Executive Summary

AP-05 Executive Summary - 24 CFR 91.200(c), 91.220(b)

1. Introduction

The Action Plan is a document submitted to HUD on an annual basis that serves as a comprehensive housing affordability strategy, community development plan, and submission for funding under the U.S. Department of Housing and Urban Development's (HUD) entitlement formula grant programs.

As a CDBG entitlement city, the City of Clovis through its Economic Development, Housing and Communications Department is required to, and has developed, a five-year strategic plan that identifies and prioritizes the future use of the City's Community Development Block Grant (CDBG) funds. The five-year plan, referred to as the "Consolidated Plan" became effective July 1, 2021, and will terminate on June 30, 2026. This 2024-2025 Annual Action Plan represents year four of the five-year plan.

In preparing the Consolidated Plan, the City utilized several methods to analyze the housing and community development needs of Clovis. These methods included conducting interviews of community residents, stakeholders, community organizations, and multi-family unit property owners, analyzing U.S. census data, and utilizing information in several city and county planning documents. The City hosted community meetings, hearings and met with organizations as an effort to outreach to and encourage participation of all residents, particularly low- and moderate-income residents, elderly persons, and persons with disabilities. The purpose of the meetings was to inform the community about the Consolidated Plan process and to identify opportunities to improve collaborative efforts, eliminate service delivery gaps in order to develop and sustain decent and affordable housing, suitable living environments, and expand community and economic opportunities.

2. Summarize the objectives and outcomes identified in the Plan

This could be a restatement of items or a table listed elsewhere in the plan or a reference to another location. It may also contain any essential items from the housing and homeless needs assessment, the housing market analysis or the strategic plan.

Clovis estimates that it will receive CDBG funding of \$3,750,000 over the Consolidated Planning Period. It is anticipated that 20% of those funds will be used for Administrative costs. The balance of CDBG funds are anticipated to be divided between four prioritized goals, as follows:

Goal 1: Housing - \$750,000 (24%) to be used to improve the quality of owner-occupied units, increase multi-family units for low- to moderate-income households, support transitional and permanent housing for homeless persons, and support regional efforts to end chronic homelessness.

Goal 2: Economic Development - \$250,000 (6%) to be used to support activities that create jobs for low-to moderate-income persons.

Goal 3: Infrastructure - \$1,337,500 (35%) to be used to improve the quality, and increase the quantity, of public improvements that benefit low- to moderate-income residents and neighborhoods, improve the quality, and increase the quantity, of facilities that benefit neighborhoods, seniors, and those with special needs, and provide funds to bring public facilities into ADA compliance.

Goal 4: Public Services - \$562,500 (15%) to be used to provide crime awareness and additional policing that benefits low- to moderate-income neighborhoods, support senior and youth programs, support programs and activities that benefit those with special needs, and to support food pantry programs.

3. Evaluation of past performance

This is an evaluation of past performance that helped lead the grantee to choose its goals or projects.

The following is a summary of the prior year performance and goals:

Affordable Housing Development – Previously, the City received \$1,559,243 in Permanent Local Housing Allocation (PLHA) Program funds from the State of California, for the preservation and/or development of affordable housing. In January 2024, the City awarded \$1,481,280 to a local affordable housing developer, AHDC Inc., who, in partnership with the Fresno Housing Authority proposes to build a 51-unit affordable senior housing development. The project is currently in pre-development. AHDC will apply for state and federal development funds during the 2024-2025 years. Additional PLHA funds, in the amount of \$320,932, was awarded to the City in early 2024.

Housing Rehabilitation - The City provides grants of up to \$8,000 for health and safety repairs, and accessibility improvements to homes, for low-income owner-occupied households. This program served almost 300 households during the previous Consolidated Planning Period. In the 2021-2022 fiscal year, 16 homeowners were assisted with repairs. In the 2022-2023 fiscal year, 7 homeowners were assisted with repairs. An additional 14 homeowners will be assisted in the 2023-2024 fiscal year.

The City also administers a state-funded housing rehabilitation loan program (CalHome), which is utilized in combination with the CDBG program to provide needed housing repairs. City staff commenced administration of this program in July 2022, and have processed over 26 applications. Of these, 20 applicants were selected for funding. A total of 6 homes have been completed, 5 are scheduled to be completed before June 30, 2024, and the remaining 9 will be completed in the 2024-2025 program year.

Area-Based Policing/Crime Awareness - Additional policing, crime awareness and code enforcement has historically been funded with CDBG funds through a dedicated Community Service Officer. The officer has focused on improving neighborhood conditions in CDBG eligible census tracts by developing relationships with property owners, and utilizing neighborhood watch programs in eligible neighborhoods, providing code enforcement actions, and actively working to improve neighborhood conditions.

Economic Development/Job Creation - The City invests heavily in economic development activities using local, state and federal resources to attract and retain businesses that provide high wage jobs for its

citizens. CDBG funds are currently used to pay space/storage rental fees at our local community kitchen for low-income entrepreneurs owning, or planning to start, a food-based micro-business. Utilization of the kitchen has allowed these entrepreneurs to start and/or expand their business.

Capital Improvements - The City funded the following projects during the current Consolidated Plan period:

1. Gettysburg-Norwich Alley Reconstruction (\$190,000) – Project was completed in March 2023.
2. Dennis-Beverly/Mitchell Beverly-San Jose Alley Reconstruction, Phase 1 and 2, constructed concurrently (\$720,000) – Project was completed in August 2023.
3. Brookhaven/Cole/Rosebrook Alley Reconstruction, 3 Alleys to be constructed concurrently (\$541,987) – Project is in design and is expected to be completed during the 2024-2025 program year.
4. Gould Canal Improvements (\$134,255) – Project is in design and is expected to be completed within the 2024 calendar year.

Affirmatively Furthering Fair Housing - HUD requires any jurisdiction receiving funds to commit to affirmatively further fair housing. In accordance with federal requirements, the City of Clovis completed the Analysis of Impediments to Fair Housing Choice in November of 2019, and submitted the Analysis to HUD for their review and approval.

4. Summary of Citizen Participation Process and consultation process

Summary from citizen participation section of plan.

Clovis' Citizen Participation Plan (CPP) encourages citizens, particularly LMI residents, to participate in the development of the Consolidated Plan, Action Plans, Substantial Amendments, and Annual Performance Reports. Citizens are engaged through community meetings, emails, social media postings, public notices, public hearings, and individual interviews.

The primary goals of the CPP are 1) to generate significant public participation, specifically from LMI residents and those residing in LMI neighborhoods; 2) to gather data that accurately describes and quantifies housing and community development needs and to suggest workable solutions; and 3) to obtain comments on proposals for allocating resources. The City consulted with Citizens, nonprofits, interested parties, and both internal City Departments and external agencies to determine the needs of the Clovis community and to allocate available resources.

City staff also held three public meetings in the development of the Action Plan.

- The first public meeting was an application workshop, held on February 8, 2024, that also provided information regarding the Consolidated Plan and Action Plan. Staff provided instructions on how to fill out the CDBG Proposal Application to apply for CDBG funding. The meeting notice was shared via email on January 26, 2024 to over 47 local non-profit service providers, including those who service limited English speaking persons, it was also published on the City's social media

websites on January 26, 2024 and noticed in English and Spanish in two local newspapers, *The Business Journal* and *The Fresno Bee*, which serve Clovis and the surrounding areas, on January 26, 2024. One person attended this meeting, and there were no public comments made at the meeting regarding the Action Plan.

- The second public meeting was held on March 14, 2024. Staff provided information regarding the Consolidated Plan and the Action Plan. This meeting was held to obtain citizen input and to respond to proposal related questions. The meeting notice was shared via email on February 26, 2024 to over 47 local non-profit service providers, it was also published on the City's social media and website on February 28, 2024 and again on March 11, 2024. The meeting was also noticed in English and Spanish in both *The Business Journal* and *The Fresno Bee*, on February 28, 2024. Four people attended the meeting, which included a robust discussion on the City's Consolidated Plan and Housing Goals, as well as several questions regarding the use of CDBG funds for homelessness assistance. Attendees also had several questions that were not CDBG funding related, including questions regarding zoning ordinances and accessory dwelling unit programming. The City received two comments to the Facebook post announcing this meeting, as shown in the table below.
- PLACEHOLDER FOR INFORMATION FROM PUBLIC HEARING TO BE HELD MAY 6, 2024

5. Summary of public comments

This could be a brief narrative summary or reference an attached document from the Citizen Participation section of the Con Plan.

In regards to the February 8, 2024 Public Meeting notice posted on Facebook on January 26, 2024, the City received the following comment:

Comment 1: "Hopefully this affordable housing plan will include single hard working men/woman with no children. That community of people are over looked and should not be."

In regards to the March 14, 2024 Public Meeting noticed on Facebook on February 28, 2024, and again on March 11, 2024, the City received the following comments via Facebook:

Comment 2: "Nope. Nobody wants low income housing on Willow. Keep the land and orchards."

Comment 3: "Including everyone? Street vendors too?" [City replied: "Public Meetings are open to all; commentator replied "thank you"]

In regards to the public meeting held on March 14, 2024: Four people attended the meeting, which included a robust discussion on the City's Consolidated Plan and Housing Goals, as well as several questions regarding the use of CDBG funds for homelessness assistance. Attendees also had several questions that were not CDBG funding related, including questions regarding zoning ordinances and accessory dwelling unit programming.

In regards to the May 6, 2024 Public Hearing at the Clovis City Council Meeting: PLACEHOLDER FOR ANY COMMENTS RECEIVED AT MAY 6, 2024 PUBLIC HEARING

6. Summary of comments or views not accepted and the reasons for not accepting them

All comments were accepted and incorporated into this Action Plan.

7. Summary

Clovis staff prepared extensive information relative to the CDBG program, the preparation of the Consolidated Plan and Annual Action Plans, and the Citizen Participation process and its importance, and had these readily available at the meetings. The information was also provided via email to all interested parties, local non-profit service providers and the general public via public notices, social media posts, and in the presentation at the public meetings and public hearing. A great effort on the part of the City went into the notices, emails, and meeting preparations. Though the application workshop did not see substantial attendance, the City welcomed 4 participants to the Public Input meeting, and received 3 comments via social media, which was a substantial increase from years past. The City also conducts scientifically sampled surveys every two years to provide feedback to the City on services needed. All feedback is incorporated into the needs assessment for the community.

PR-05 Lead & Responsible Agencies – 91.200(b)

1. Agency/entity responsible for preparing/administering the Consolidated Plan

Describe the agency/entity responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source.

Table 1 – Responsible Agencies

Agency Role	Name	Department/Agency
CDBG Administrator	CLOVIS	Economic Dev., Housing and Communications Dept.

Narrative

The City of Clovis’ Economic Development, Housing and Communications Department serves as the lead agency for the Consolidated Plan, 2024-2025 Action Plan, annual Performance Report, and the administration of CDBG funds. The City’s institutional structure consists of a council-manager form of government. Under the council-manager form of government, adopted by the municipal code, the City Council hires, and supervises the performance of, a professional manager and provides them policy direction to carry out administrative responsibilities and City operations. The Council is the legislative body which approves the budget and determines the tax rate, for example. The Council also focuses on the community's goals, major projects, and such long-term considerations as community growth, land use policies, development, capital improvement plans, capital financing, and strategic planning.

Consolidated Plan Public Contact Information

Claudia Cazares, Housing Program Manager
 City of Clovis
 1033 Fifth Street
 Clovis, CA 93612
 (559) 324-2094
 claudiac@cityofclovis.com

AP-10 Consultation – 91.100, 91.200(b), 91.215(I)

1. Introduction

The City consulted with the public, and both internal City Departments and external agencies to determine the needs of the Clovis community and plan for the allocation of available resources relative to the Consolidated Planning period, and this Action Plan. Internally, Clovis met with several department representatives to provide information about the Consolidated Plan and the Community Development Block Grant. Department staff provided input on how CDBG resources can be utilized and leveraged to provide services such as housing programs, economic development, and infrastructure improvements.

Provide a concise summary of the jurisdiction’s activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(I))

The City of Clovis currently does not have publicly-owned housing. However, the City works closely with the Housing Authority to provide referrals for Housing Choice vouchers to Clovis residents. City staff corresponds regularly with Housing Authority administrators and staff to ensure coordination regarding development of affordable housing. In the 2023-2024 program year, the City continued to work with the Housing Authority and a local non-profit housing developer to set aside funding to provide for additional affordable rental units in the City. The City coordinates with other agencies including private and governmental health, mental health and service agencies through our participation in the Fresno Madera Continuum of Care (FMCoC). City staff participates in regular board meetings and holds a membership position on the FMCoC executive board. As a Board Member, City staff helps form policy, and assists in rating applications for funding.

Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness.

The City of Clovis is an active member of the Fresno Madera Continuum of Care (FMCoC), which is the organization that acts as the regional planning body to address homelessness. This collaborative group addresses chronic homelessness, homelessness prevention, and discharge coordination policies on the region-wide basis of Fresno and Madera Counties, which includes the City of Clovis. Based upon the consultation process, the City has recognized a need for shelters for other at-risk populations such as youth and veterans and will pursue projects to serve these populations.

Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards for and evaluate outcomes of projects and activities assisted by ESG funds, and develop funding, policies and procedures for the operation and administration of HMIS

The City of Clovis does not receive ESG funding.

2. Describe Agencies, groups, organizations and others who participated in the process and describe the jurisdiction's consultations with housing, social service agencies and other entities

See table below

Table 2 – Agencies, groups, organizations who participated

1	Agency/Group/Organization	Fresno Madera Continuum of Care
	Agency/Group/Organization Type	Housing Services - Housing Services-Children Services-Elderly Persons Services-Persons with Disabilities Services-Victims of Domestic Violence Services-homeless Services - Victims Regional organization
	What section of the Plan was addressed by Consultation?	Homeless Needs - Chronically homeless Homeless Needs - Families with children Homelessness Needs - Veterans Homelessness Needs - Unaccompanied youth Homelessness Strategy
	Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?	City staff presented the public comment period and availability of the Action Plan draft at the April 11, 2024 FMCOG General Membership meeting. Based upon the consultation process, the City has recognized a need for shelters and other housing for at-risk populations such as youth and veterans, and will pursue projects to serve these populations.
2	Agency/Group/Organization	Fresno Housing Authority
	Agency/Group/Organization Type	Housing PHA Services - Housing Services-Children Services-Persons with Disabilities Services-homeless

<p>What section of the Plan was addressed by Consultation?</p>	<p>Housing Need Assessment Public Housing Needs Homeless Needs - Chronically homeless Homeless Needs - Families with children Homelessness Needs - Veterans Homelessness Needs - Unaccompanied youth Market Analysis</p>
<p>Briefly describe how the Agency/Group/Organization was consulted. What are the anticipated outcomes of the consultation or areas for improved coordination?</p>	<p>Based upon the consultation process, the City has recognized a need for public housing.</p>

Identify any Agency Types not consulted and provide rationale for not consulting

N/A

Other local/regional/state/federal planning efforts considered when preparing the Plan

Table 3 – Other local / regional / federal planning efforts

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Continuum of Care	Fresno Madera Continuum of Care	This effort aligns with the strategic plan goal to support activities to respond to homelessness and its impacts on the community.
City of Clovis Housing Element	Clovis Planning and Development Services	Government Code Section (GSC) 65300 requires cities and counties to adopt and maintain a General Plan with a minimum of seven mandatory elements: Land Use, Circulation, Housing, Conservation, Open Space, Noise, and Safety. This Action Plan is reflected in the Housing portion of the Housing Element.
SJVHC Goals and Objectives	Fresno State University - Community & Economic Development	The San Joaquin Valley Housing Collaborative (SJVHC) serves as a regional voice for effective affordable housing policy in the San Joaquin Valley. The group establishes and supports a broad network of partners to promote and increase the development of affordable and workforce housing in the Valley.

Narrative (optional)

AP-12 Participation – 91.105, 91.200(c)

1. Summary of citizen participation process/Efforts made to broaden citizen participation Summarize citizen participation process and how it impacted goal-setting

Clovis' Citizen Participation Plan (CPP) encourages citizens, particularly LMI residents, to participate in the development of the Consolidated Plan, Action Plans, Substantial Amendments, and Annual Performance Reports. Citizens are engaged through community meetings, public hearings, and individual interviews.

The primary goals of the CPP are 1) to generate significant public participation, specifically from LMI residents and those residing in LMI neighborhoods; 2) to gather data that accurately describes and quantifies housing and community development needs and to suggest workable solutions; and 3) to obtain comments on proposals for allocating resources. The City consulted with Citizens, nonprofits, interested parties, and both internal City Departments and external agencies to determine the needs of the Clovis community and to allocate available resources.

City staff also held three public meetings in the development of the Action Plan.

- The first public meeting was an application workshop, held on February 8, 2024, that also provided information regarding the Consolidated Plan and Action Plan. Staff provided instructions on how to fill out the CDBG Proposal Application to apply for CDBG funding. The meeting notice was shared via email on January 26, 2024 to over 47 local non-profit service providers, including those who service limited English speaking persons, it was also published on the City's social media websites on January 26, 2024 and noticed in English and Spanish in two local newspapers, *The Business Journal* and *The Fresno Bee*, which serve Clovis and the surrounding areas, on January 26, 2024. One person attended this meeting, and there were no public comments made at the meeting regarding the Action Plan. The City received one comment to the Facebook post announcing this meeting, as shown in the table below.
- The second public meeting was held on March 14, 2024. Staff provided information regarding the Consolidated Plan and the Action Plan. This meeting was held to obtain citizen input and to respond to proposal related questions. The meeting notice was shared via email on February 26, 2024 to over 47 local non-profit service providers, it was also published on the City's social media and website on February 28, 2024 and again on March 11, 2024. The meeting was also noticed in English and Spanish in both *The Business Journal* and *The Fresno Bee*, on February 28, 2024. Four people attended the meeting, which included a robust discussion on the City's Consolidated Plan and Housing Goals, as well as several questions regarding the use of CDBG funds for homelessness assistance. Attendees also had several questions that were not CDBG funding related, including questions regarding zoning ordinances and accessory dwelling unit programming. The City received two comments to the Facebook post announcing this meeting, as shown in the table below.
- PLACEHOLDER FOR PUBLIC COMMENTS FROM MAY 6, 2024 PUBLIC HEARING

The City was prepared to provide interpreters for non-English speaking citizens upon request for all public meetings, however, no requests were made. Both public input meetings and the public hearing were held during evening hours at convenient locations that accommodate persons with disabilities.

Citizen Participation Outreach

Table 4 – Citizen Participation Outreach

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of Comments received	Summary of comments not accepted and reasons	URL (If applicable)
1	Public Meeting	<p>Minorities</p> <p>Non-English Speaking - Specify other language: Spanish</p> <p>Persons with disabilities</p> <p>Potential CDBG Applicants</p>	<p>2/8/2024 workshop meeting - 1 person attended</p>	None	None	
2	Newspaper Ad	<p>Minorities</p> <p>Non-English Speaking - Specify other language: Spanish</p> <p>Non-targeted/broad community</p> <p>General Public and Potential CDBG Applicants</p>	<p>Newspaper publications on 1/26/2024 for 2/8/2024 workshop meeting: No responses</p>	None	None	

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of Comments received	Summary of comments not accepted and reasons	URL (If applicable)
3	Internet Outreach	Minorities Non-English Speaking - Specify other language: Spanish Persons with disabilities Non-targeted/broad community General Public and Potential CDBG Applicants	3 comments submitted on Facebook	Comment 1: Hopefully this affordable housing plan will include single hard working men/woman with no children. That community of people are over looked and should not be. Comment 2: Nope. Nobody wants low income housing on Willow. Keep the land and orchards. Comment 3: Including everyone? Street vendors too? [City replied: Public Meetings are open to all; commentator replied: thank you]	All comments were accepted and incorporated into this Action Plan.	https://www.facebook.com/clovis.ca

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of Comments received	Summary of comments not accepted and reasons	URL (If applicable)
4	Public Meeting	Minorities Non-English Speaking - Specify other language: Spanish Non-targeted/broad community Residents of Public and Assisted Housing General Public and Potential CDBG Applicants	3/14/2024 meeting - 4 persons attended	Attendees participated in a robust discussion regarding the City's Consolidated Plan and Housing Goals. Questions were made regarding the use of CDBG funds, particularly for homelessness assistance.	None	

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of Comments received	Summary of comments not accepted and reasons	URL (if applicable)
5	Public Hearing	Minorities Non-English Speaking - Specify other language: Spanish Persons with disabilities Non-targeted/broad community Residents of Public and Assisted Housing General Public and Potential CDBG Beneficiaries	5/6/2024 meeting PLACEHOLDER	PLACEHOLDER		

Expected Resources

AP-15 Expected Resources – 91.220(c)(1,2)

Introduction

The City anticipates that, over the Consolidated Plan Period, the CDBG Entitlement allocation will equal \$3,750,000. The City received \$748,745 in year one, \$698,855 in year two, and \$652,542 in year 3, of the 5 year Plan Period. As of the publication of this draft Action Plan, the federal government has not provided the annual CDBG funding allocations. For the development of this draft Action Plan, the City estimates receiving \$650,000 in CDBG Funds. The City of Clovis is committed to leveraging as many funds as possible against the CDBG allocation, including the following:

- State of California CalHome Program funds for housing rehabilitation and homeownership assistance
- Permanent Local Housing Allocation Funds for housing development
- HOME program funds through a State allocation for housing assistance
- Remnant Housing Successor Agency funds for housing assistance
- Local Funds

An increase or decrease in the estimated CDBG funding level will be applied to the Holland/Richert Alley Improvements (Peach/Homsey) Project, and will be reflected in the adjustments to the funding level allocations for Public Services (15% maximum) and Administration (20% maximum) (see project activities table below).

Anticipated Resources

Table 5 - Expected Resources – Priority Table

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Remainder of ConPlan \$	Narrative Description
			Annual Allocation : \$	Program Income: \$	Prior Year Resources : \$	Total: \$		
CDBG	public - federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	650,000	0	0	650,000	1,649,858	The expected amount available remainder of Con Plan does not include a deduction of proposed 2024-2025 CDBG funds

Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied

There is no matching requirement for the use of CDBG funds. However, Clovis strives to leverage as many funding sources as possible when planning community and economic development activities. For example, in the previous funding year, and for future funding years, Clovis leverages remnant Housing Successor Agency funds, HOME Program funds, Permanent Housing Local Allocation Funds, State CalHome Program funds, and local funds for the purpose of expanding and preserving Clovis' affordable housing stock.

If appropriate, describe publically owned land or property located within the jurisdiction that may be used to address the needs identified in the plan

The City has identified two parcels of publicly owned land that will be targeted towards addressing the housing needs identified in this Action Plan. It is anticipated that the properties will be utilized as part of the proposed Housing Trust Fund, to help incentivize the development of affordable housing. The properties are located at 650 Fowler Avenue, and at 354 Osmon Circle. Staff will also continue to search for additional land purchase opportunities.

Discussion

The City of Clovis is committed to leveraging as many funds as possible against the CDBG allocation. In 2021 the City provided \$1,000,000 to the Fresno Housing Authority for the construction of 60 units of affordable housing. The funding was provided through the City's Affordable Housing Development Impact Fee Reduction Program. In 2022, the City provided \$300,000 in Development Impact Fee Reduction funds to assist the City's first permanent supportive housing development, Butterfly Gardens. The 75-unit project provides housing and supportive services to disabled individuals and at-risk homeless individuals.

The City was awarded State of California CalHome Program funds in 2020, which have been leveraged with CDBG Program funds for housing rehabilitation activities. These funds are focused on owner-occupied housing rehabilitation, including mobile home repair and replacements, which house extremely low, and low-income seniors who are at high risk of homelessness. City staff commenced administration of this program in July 2022, and has processed over 26 applications. Of these, 20 applicants were selected for funding. A total of 6 homes are completed, 5 are scheduled to be completed before June 30, 2024, and the remaining 9 will be completed in the 2024-2025 program year.

The City has also been awarded California CalHome Program funds from the 2023 Program Year. These funds will also be leveraged with CDBG Program Funds to provide for housing rehabilitation activities. It is anticipated that 20 units will be rehabilitated over the 3 year program period. A portion of the 2023 CalHome Program Funds will be allocated towards mortgage assistance in the purchase of mobile homes. It is anticipated that 8 homes will be purchased over the 3 year program period.

Previously, the City received \$1,559,243 in Permanent Local Housing Allocation (PLHA) Program funds from the State of California, for the preservation and/or development of affordable housing. In January 2024, the City awarded \$1,481,280 to a local affordable housing developer, AHDC Inc., who, in partnership with the Fresno Housing Authority, proposes to build a 51-unit affordable senior housing development. The project is currently in the pre-development stage. AHDC will apply for state and federal development funds during the 2024 and 2025 years. Additional PLHA funds, in the amount of \$320,932, was awarded to the City in early 2024. Programming for the use of the 2024 PLHA funds will be determined in the 2024 calendar year.

In the 2024-2025 program year, the City anticipates creating two new locally funded affordable housing development assistance programs. The Development Impact Fee Deferral Program will provide for the deferral of up to 50% of a housing unit's major facility sewer and water impact fees, depending on income targeting/affordability of the unit. The Clovis Housing Trust Fund Program will establish a local fund to hold and expend affordable housing funds and be available to accept the future transfer of real property into the name of the Housing Trust Fund to assist in the development and preservation of affordable housing. These program funds will be leveraged with state and federal program funds, as applicable, to maximize affordable housing opportunities.

Annual Goals and Objectives

AP-20 Annual Goals and Objectives

Goals Summary Information

Note, the annual allocation of CDBG funds has not been approved by Congress. The City of Clovis has developed the proposed activity list below based on an estimated allocation of \$650,000 in CDBG funds. Any increase or decrease in the estimated CDBG funding level will be applied to the Holland/Richert Alley Improvements (Peach/Homsy) Project, and will be reflected in the adjustments to the funding level allocations for Public Services (15% maximum) and Administration (20% maximum).

Table 6 – Goals Summary

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Administration	2021	2025	Administration	City of Clovis Low-Moderate Census Tracts	Increase, Improve, and Preserve Affordable Housing Job Creation/Retention Improve Public Facilities Improve Homeless Shelters/Services	CDBG: \$130,000	
2	Affordable Housing	2021	2025	Affordable Housing	City of Clovis Low-Moderate Census Tracts	Increase, Improve, and Preserve Affordable Housing	CDBG: \$100,000	Homeowner Housing Rehabilitated: 10 Household Housing Unit
3	Infrastructure	2021	2025	Non-Housing Community Development	City of Clovis Low-Moderate Census Tracts	Improve Public Facilities		Public Facility or Infrastructure Activities other than Low/Moderate Income Housing Benefit: 1605 Persons Assisted

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal
4	Economic Development	2021	2025	Non-Housing Community Development	City of Clovis Low-Moderate Census Tracts	Job Creation/Retention	CDBG: \$55,000	Jobs created/retained: 10 Jobs
5	Public Services	2021	2025	Crime Awareness *NOTE: Two projects will be funded, one for assistance for homeless, and one for assistance to seniors (neither are Crime Awareness activities)	City of Clovis Low-Moderate Census Tracts	Improve Homeless Shelters/Services	CDBG: \$97,500	Public service activities other than Low/Moderate Income Housing Benefit: 208 Persons Assisted

Goal Descriptions

1	Goal Name	Administration
	Goal Description	Any increase or decrease in the estimated CDBG funding level will be applied to the Holland/Richert Alley Improvements (Peach/Homsy) Project, and will be reflected in the adjustments to the funding level allocations for Public Services (15% maximum) and Administration (20% maximum).
2	Goal Name	Affordable Housing
	Goal Description	Provide rehabilitation services to LMI owner-occupied households.
3	Goal Name	Infrastructure
	Goal Description	Any increase or decrease in the estimated CDBG funding level will be applied to the Holland/Richert Alley Improvements (Peach/Homsy) Project, and will be reflected in the adjustments to the funding level allocations for Public Services (15% maximum) and Administration (20% maximum).

4	Goal Name	Economic Development
	Goal Description	Provide grants for low-income individuals to start businesses at the Clovis Culinary Center - Micro - enterprise
5	Goal Name	Public Services
	Goal Description	Any increase or decrease in the estimated CDBG funding level will be applied to the Holland/Richert Alley Improvements (Peach/Homsy) Project, and will be reflected in the adjustments to the funding level allocations for Public Services (15% maximum) and Administration (20% maximum).

Projects

AP-35 Projects – 91.220(d)

Introduction

The Consolidated Plan goals described in the AP-20 Goals section represent high (and medium) priority needs for the City of Clovis, and serve as the basis for the strategic actions the City will implement to meet those needs. The City’s goal in meeting these needs is to expand and preserve the affordable housing stock in Clovis, as well as provide public facilities improvements and public services that will strengthen neighborhood revitalization, particularly in low-income neighborhoods. The City of Clovis’ Consolidated Plan preparation coincided with the development of the first year of the Action Plan. This Annual Action Plan represents year four of the five-year plan.

Projects

Table 7 - Project Information

#	Project Name
1	2024-2025 CDBG Administration
2	2024-2025 Housing Rehabilitation Program Grants
3	2024-2025 Micro-Enterprise Culinary Kitchen
4	2024-2025 Santa Ana Avenue Sidewalk Installation
5	2024-2025 Holland/Richert Alley Improvements (Peach to Homsy)
6	2024-2025 Clovis Senior Center Enrichment Activities
7	2024-2025 Marjaree Mason Center Critical Domestic Violence Services

Describe the reasons for allocation priorities and any obstacles to addressing underserved needs

The projects have been selected based on consultation with the public, City departments, and outside agencies. Allocation priorities and decisions were also made based on the emerging needs from the assessments made in the needs assessment section of the 2021-2025 Consolidated Plan, as well as public consultations through the annual City of Clovis development survey. These priorities have been selected based on the most pressing needs of the City.

An increase or decrease in the estimated CDBG funding level will be applied to the Holland/Richert Alley Improvements (Peach/Homsy) Project, and will be reflected in the funding level allocations for Public Services (15% maximum) and Administration (20% maximum).

AP-38 Project Summary

Table 8 - Project Summary Information

1	Project Name	2024-2025 CDBG Administration
	Target Area	City of Clovis Low-Moderate Census Tracts
	Goals Supported	Administration
	Needs Addressed	Increase, Improve, and Preserve Affordable Housing Job Creation/Retention Improve Public Facilities Improve Homeless Shelters/Services
	Funding	CDBG: \$130,000
	Description	Provide administration to implement the CDBG program. An increase or decrease in the estimated CDBG funding level will be applied to the Holland/Richert Alley Improvements (Peach/Homsy) Project, and will be reflected in the adjustments to the funding level allocations for Public Services (15% maximum) and Administration (20% maximum) (see project activities table below).
	Target Date	6/30/2025
	Estimate the number and type of families that will benefit from the proposed activities	n/a
	Location Description	n/a
	Planned Activities	Program Administration
2	Project Name	2024-2025 Housing Rehabilitation Program Grants
	Target Area	City of Clovis Low-Moderate Census Tracts
	Goals Supported	Affordable Housing
	Needs Addressed	Increase, Improve, and Preserve Affordable Housing
	Funding	CDBG: \$100,000
	Description	Provide rehabilitation services to LMI owner-occupied households. Grants of up to \$8,000 per home are provided for health and safety repairs, as well as weatherization, and other eligible repairs.
	Target Date	6/30/2025

	Estimate the number and type of families that will benefit from the proposed activities	10 low-income families will benefit from this activity
	Location Description	Projects will be located citywide within the City of Clovis.
	Planned Activities	Provide housing rehabilitation to low-income owner-occupied households.
3	Project Name	2024-2025 Micro-Enterprise Culinary Kitchen
	Target Area	City of Clovis Low-Moderate Census Tracts
	Goals Supported	Economic Development
	Needs Addressed	Job Creation/Retention
	Funding	CDBG: \$55,000
	Description	Provide grants for low-income individuals to start a business at the Clovis Culinary Center.
	Target Date	6/30/2025
	Estimate the number and type of families that will benefit from the proposed activities	10 low-income business owners will benefit from this activity
	Location Description	
	Planned Activities	Provide grants for low-income individuals to start businesses at the Clovis Culinary Center.
4	Project Name	2024-2025 Santa Ana Avenue Sidewalk Installation
	Target Area	City of Clovis Low-Moderate Census Tracts
	Goals Supported	Infrastructure
	Needs Addressed	Improve Public Facilities
	Funding	CDBG: \$124,000
	Description	This project will install continuous sidewalk along the south side of Santa Ana Avenue from Peach to Villa Avenues. Currently, there are significant gaps of sidewalk in this area, leaving it un-walkable, particularly during times of rain.
	Target Date	6/30/2026

	Estimate the number and type of families that will benefit from the proposed activities	An estimated 1,055 LMI persons will be assisted with this activity within this neighborhood.
	Location Description	Sidewalk located along the south side of Santa Ana Avenue from Peach to Villa Avenues
	Planned Activities	Install sidewalk where none currently exists.
5	Project Name	2024-2025 Holland/Richert Alley Improvements (Peach to Homsy)
	Target Area	City of Clovis Low-Moderate Census Tracts
	Goals Supported	Infrastructure
	Needs Addressed	Improve Public Facilities
	Funding	CDBG: \$143,500
	Description	The proposed project will provide safe alleyway access to all the residents located around the project area. Improvements include clearing & grubbing, grinding existing AC pavement and replacing with new 2" AC / 4" AB section, installation of concrete valley gutters and drive approaches, and raising utilities to finished grade. This project involves approximately 0.20 miles of alley improvements. An increase or decrease in the estimated CDBG funding level will be applied to the Holland/Richert Alley Improvements (Peach/Homsy) Project, and will be reflected in the funding level allocations for Public Services (15% maximum) and Administration (20% maximum).
	Target Date	6/30/2026
	Estimate the number and type of families that will benefit from the proposed activities	An estimated 550 persons will be assisted with this activity within this neighborhood.
	Location Description	Alley located between Holland and Richert Alley, between Peach to Homsy Avenues.
	Planned Activities	Reconstruct an alley located between Holland and Richert Alley, between Peach to Homsy Avenues.
6	Project Name	2024-2025 Clovis Senior Center Enrichment Activities
	Target Area	
	Goals Supported	Public Services
	Needs Addressed	Special Needs Services

	Funding	CDBG: \$48,750
	Description	The project will provide new and enhanced programs, services and classes in order to serve more senior citizens at the Clovis Senior Center. An increase or decrease in the estimated CDBG funding level will be applied to the Holland/Richert Alley Improvements (Peach/Homsey) Project, and will be reflected in the funding level allocations for Public Services (15% maximum) and Administration (20% maximum).
	Target Date	6/30/2025
	Estimate the number and type of families that will benefit from the proposed activities	The project is anticipated to assist 58 limited clientele seniors.
	Location Description	Services will be provided at the Clovis Senior Center.
	Planned Activities	Provision of enrichment activities for limited clientele seniors.
7	Project Name	2024-2025 Marjaree Mason Center Critical Domestic Violence Services
	Target Area	City of Clovis Low-Moderate Census Tracts
	Goals Supported	Public Services
	Needs Addressed	Improve Homeless Shelters/Services
	Funding	CDBG: \$48,750
	Description	The project will provide supportive services for community outreach and critical services for survivors and their families recovering from domestic violence. An increase or decrease in the estimated CDBG funding level will be applied to the Holland/Richert Alley Improvements (Peach/Homsey) Project, and will be reflected in the funding level allocations for Public Services (15% maximum) and Administration (20% maximum).
	Target Date	6/30/2025
	Estimate the number and type of families that will benefit from the proposed activities	The project is anticipated to assist 150 limited clientele-DV households.
	Location Description	Services will be provided in the City of Clovis.
	Planned Activities	This program will be used to support 24/7 safe shelter and critical support services for survivors of domestic violence as well as outreach programs which increase awareness of domestic violence and its impact on the community.

AP-50 Geographic Distribution – 91.220(f)

Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed

- Home rehabilitation assistance will be open to all LMI owner-occupied households throughout Clovis.
- Public Infrastructure projects will take place only in LMI Census Tract/Block Group(s).
- The microenterprise program will be open to LMI small business entrepreneurs and will take place in Clovis.
- The public services programs will be available to Limited Clientele persons and will take place in Clovis

Geographic Distribution

Table 9 - Geographic Distribution

Target Area	Percentage of Funds
City of Clovis Low-Moderate Census Tracts	100

Rationale for the priorities for allocating investments geographically

CDBG public infrastructure investments will be made in Census Tracts where at least 51% of the residents are low- to moderate-income.

Discussion

A map identifying low- to moderate-income census tracts is attached as an Appendix to this Action Plan as Grantee Unique Appendices (“LMI Map”).

Affordable Housing

AP-55 Affordable Housing – 91.220(g)

Introduction

The City of Clovis prioritizes activities that preserve or develop the affordable housing stock in Clovis. Over the last several years, the City has participated with both the Fresno Housing Authority and affordable housing developers for the creation of new affordable housing units. Additionally, in the 2024-2025 program year, the City anticipates creating two new locally funded affordable housing development assistance programs. These program funds will be leveraged with state and federal program funds, as applicable, to maximize affordable housing opportunities. The table below identifies households to be assisted in regards to Affordable Housing. A total of 10 households will be assisted through the CDBG funded owner-occupied housing rehabilitation program activities. It is expected that 150 persons will be assisted by the Marjaree Mason Center through public service set aside, to ensure survivors of domestic violence can find safe shelter and avoid homelessness.

Table 10 - One Year Goals for Affordable Housing by Support Requirement

One Year Goals for the Number of Households to be Supported	
Homeless	150
Non-Homeless	10
Special-Needs	0
Total	160

Table 11 - One Year Goals for Affordable Housing by Support Type

One Year Goals for the Number of Households Supported Through	
Rental Assistance	0
The Production of New Units	0
Rehab of Existing Units	10
Acquisition of Existing Units	0
Total	10

Discussion

To assist in meeting the City’s Affordable Housing goals, the City intends to utilize CDBG financing to provide grants to low-income homeowners to assist in the rehabilitation of their home. It is anticipated that the program will benefit 10 homeowners in the 2024-2025 program year. Up to \$8,000 in grant funding is made available to low-income homeowners to provide for health and safety repairs, as well as provide for weatherization as an eligible use second to health and safety uses.

In the 2024-2025 program year, the City will provide CDBG public service set aside funds to the Marjaree Mason Center. The Marjaree Mason Center will fund 24/7 safe shelter and critical support services for

survivors of domestic violence as well as outreach programs which increase awareness of domestic violence and its impact on the community.

Non-Federal Sources:

In 2021, the City partnered with the Housing Authority to develop Solivita Commons, a 59-unit affordable housing development, available to households earning less than 60% of area median income. In addition, Butterfly Gardens, a 75-unit supportive housing project targeting disabled individuals and at-risk homeless individuals completed construction in October 2022. This project is in partnership with the County of Fresno Behavioral Health Department and a private not-for-profit developer.

The City has also previously received \$1,559,243 in Permanent Local Housing Allocation (PLHA) Program funds from the State of California, for the preservation and/or development of affordable housing. In January 2024, the City awarded \$1,481,280 to a local affordable housing developer, AHDC Inc., who, in partnership with the Fresno Housing Authority proposes to build a 51-unit affordable senior housing development. The project is currently in pre-development. AHDC will apply for state and federal development funds during the 2024-2025 years. Additional PLHA funds, in the amount of \$320,932, was awarded to the City in early 2024.

Additionally, the City works closely with the Fresno Housing Authority to provide referrals to the Housing Choice Voucher program for Clovis residents. As population demographics continue to change and need continues to rise, Clovis will explore further partnerships with the Housing Authority and other affordable housing developers to develop additional affordable housing projects in Clovis.

Finally, during the upcoming program year, the City of Clovis will be creating two new affordable housing programs, with the use of local funds, to help meet the goal of providing safe, decent and affordable housing. The Development Impact Fee Deferral Program will provide for the deferral of up to 50% of a housing unit's major facility sewer and water impact fees, depending on income targeting/affordability of the unit. The Clovis Housing Trust Fund Program will establish a local fund to hold and expend affordable housing funds and be available to accept the future transfer of real property into the name of the Housing Trust Fund to assist in the development and preservation of affordable housing.

AP-60 Public Housing – 91.220(h)

Introduction

The City of Clovis does not currently own or manage public housing.

Actions planned during the next year to address the needs to public housing

The City will continue to partner with the local Housing Authority to address needs of public housing. Additionally, staff regularly refers Clovis residents to the Housing Authority when they are in search of public housing units and/or voucher assistance.

Actions to encourage public housing residents to become more involved in management and participate in homeownership

The City will work with the local Housing Authority to market the 2023 CalHome Program funds for homeownership. Funds in the amount of \$415,600 will be available over 3 program years to provide mortgage assistance to low income first time homebuyers in their purchase of a mobile home.

If the PHA is designated as troubled, describe the manner in which financial assistance will be provided or other assistance

The Fresno County Housing Authority is not considered to be troubled.

Discussion

Please refer to the narrative above.

AP-65 Homeless and Other Special Needs Activities – 91.220(i)

Introduction

The City of Clovis doesn't receive direct state or federal funding to assist the homeless population or other special needs populations. The City of Clovis is an active member of the Fresno Madera Continuum of Care (FMCoC), which is the organization that acts as the regional planning body to address homelessness in the region. This collaborative group addresses chronic homelessness, homelessness prevention, and discharge coordination policies on the region-wide basis of Fresno and Madera Counties, which includes the City of Clovis. Based upon the consultation process, the City has recognized a need for shelters for other at-risk populations such as youth and veterans, and has provided funding to a 75-unit permanent supportive housing project, Butterfly Gardens, that provides permanent supportive housing units for disabled and at risk homeless individuals.

In the 2024-2025 program year, the City of Clovis will provide CDBG funds to the Marjaree Mason Center, a local non-profit that provides safe shelter and lifesaving supportive services for individuals and families affected by domestic violence. In addition to the provision of CDBG funds, the City will continue to pursue funding and projects to serve these populations. Clovis shares tax revenue with Fresno County that helps support programs such as the Marjaree Mason Center, which reports servicing over 300 battered women from the Clovis area per year. In addition, the tax revenue supports the EOC Sanctuary Youth Center that reports sheltering over 200 homeless youths ages 11-17 annually.

The Fresno-Madera Continuum of Care (FMCoC) released the Point-in-Time (PIT) count in June 2022. The PIT is the annual count of the region's sheltered and unsheltered homeless individuals and families. Despite the FMCoC's efforts to expand housing availability and services, the overall count of the number of persons experiencing homelessness continues to increase significantly, as compared to the 2020 Count. At 4,216 homeless individuals, the 2022 report represents an increase of 15.8% in comparison to the 2020 PIT. Of the 4,216 individuals, 2,338 were experiencing unsheltered homelessness, 1,524 were using emergency shelters, and 336 were using transitional housing. The PIT identified a total of 5,101 homeless specific housing units that were operational within Fresno County and Madera County as of February 23, 2022.

Per the information provided in the 2022 PIT, the Count in the region rose to a peak in 2011, gradually declined for several years after that, and then began increasing again, with a sharper increase over the last two years. This pattern roughly tracks the progress of the economy: homelessness rose during the last years of the Great Recession in 2009 and 2010, then fell over the next few years as the economy recovered, then began rising again around 2017 as droughts and layoffs reduced job market opportunities in the Central Valley, then further increased in 2019 as the COVID-19 pandemic interfered with service and entertainment jobs. Homelessness is often a lagging indicator of general poverty: when people are laid off from work, they often will be able to remain housed for a year or two using savings, help from family, and so on before running out of options. It is worth noting that the last few years have seen a truly impressive increase in the number of emergency shelter beds available in the FMCoC region. This has caused the number of people experiencing unsheltered homelessness in the FMCoC to decrease by about

13%, even as the total number of people experiencing homelessness has been increasing.

Describe the jurisdictions one-year goals and actions for reducing and ending homelessness including:

Reaching out to homeless persons (especially unsheltered persons) and assessing their individual needs

As mentioned above, the City proposes to provide 2024-2025 program year CDBG funds to the Marjaree Mason Center. This program will be used to support 24/7 safe shelter and critical support services for survivors of domestic violence as well as outreach programs which increase awareness of domestic violence and its impact on the community. Families that are victims of domestic violence, dating violence, sexual assault, and stalking are most likely to need emergency housing, rapid re-housing, or homeless prevention assistance as they may be hiding from their assailants. They are at risk of being homeless as a result of their experiences. It is anticipated that 150 persons will receive assistance with this CDBG funded program.

The City is also an active supporter of the FMCoC's Coordinated Entry System. The Coordinated Entry System provides an integrated intake process that connects individuals facing housing, domestic violence, substance abuse, physical health and/or mental health challenges to supportive services. Those needing service can access the system at various multi-Agency access points of entry (MAP), or via telephone. MAP access points are located throughout the County, and specifically at the Poverello House (a homeless shelter), Clinica Sierra Vista, Fresno EOC, The Welcome Center and at the Marjaree Mason Center. Those needing homeless services within Clovis are referred to the MAP sites, and/or to the 24 hour telephone access line.

Addressing the emergency shelter and transitional housing needs of homeless persons

The City of Clovis amended their Development Code to allow emergency shelters and transitional housing, by-right, in any area that allows residential development. The first project to come to fruition is Butterfly Gardens. In the 2024-2025 program year, the City of Clovis will also provide CDBG funds to the Marjaree Mason Center to provide assistance to survivors of domestic violence. The number of survivors seeking safe shelter and domestic violence support services continues to rise each year. Clients will be provided with comprehensive case management services, individual and group counseling, legal advocacy, housing assistance, employment assistance, financial planning, transportation and linkages to additional service providers when appropriate.

Helping homeless persons (especially chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth) make the transition to permanent housing and independent living, including shortening the period of time that individuals and families experience homelessness, facilitating access for homeless individuals and families to affordable housing units, and preventing individuals and families who were

recently homeless from becoming homeless again

In October 2022, the City welcomed its first dedicated permanent supportive housing development, Butterfly Gardens. The 75-unit project was a result of a partnership with the County of Fresno Behavioral Health Department, and a private non-profit housing developer. Butterfly Gardens provides housing and supportive services to disabled individuals and at-risk homeless individuals. City staff continues to meet regularly with management staff from Butterfly Gardens to provide any needed support and to ensure the project partnership continues. Additionally, City staff regularly refers persons needing housing assistance to the various MAP sites, and to the 24-hour intake telephone line.

Helping low-income individuals and families avoid becoming homeless, especially extremely low-income individuals and families and those who are: being discharged from publicly funded institutions and systems of care (such as health care facilities, mental health facilities, foster care and other youth facilities, and corrections programs and institutions); or, receiving assistance from public or private agencies that address housing, health, social services, employment, education, or youth needs.

In addition, Clovis residents have access to many facilities within Fresno County, including assisted and independent residential facilities for both the general adult population and the elderly. There are over 200 residential elderly care facilities in the County of Fresno, with capacity for over 5,000 persons. There are over 150 Adult residential facilities, with capacity for over 900 persons.

- Residential Care Facilities for the Elderly provide care, supervision and assistance with activities of daily living, such as bathing and grooming. They may also provide incidental medical services under special care plans. The facilities provide services to persons 60 years of age and over, and persons under 60 with comparable needs. These facilities can also be known as assisted living facilities, nursing homes, and board and care homes.

Adult Residential Facilities are facilities of any capacity that provide 24-hour non-medical care for adults ages 18-59, who are unable to provide for their own daily needs. Adults may be physically handicapped, developmentally disabled, and/or mentally disabled.

Discussion

The Marjaree Mason Center has over 40 years of experience in providing safe shelter and lifesaving supportive services for individuals and families affected by domestic violence. CDBG funds will be used to support 24/7 safe shelter and critical support services for survivors of domestic violence as well as outreach programs which increase awareness of domestic violence and its impact on the community. Domestic violence is a vicious cycle of power and control that includes (but is not limited to) isolation, physical assault, verbal abuse, emotional abuse, sexual abuse and financial abuse; the long-term effects of which often lead victims to experience depression, anxiety, fear, homelessness, unemployment and financial instability. Clients will receive comprehensive case management services, individual and group

counseling, legal advocacy, housing assistance, employment assistance, financial planning, transportation and linkages to additional service providers when appropriate.

In October 2022, the City welcomed its first dedicated permanent supportive housing development, Butterfly Gardens. The 75-unit project was a result of a partnership with the County of Fresno Behavioral Health Department, and a private non-profit housing developer. Butterfly Gardens provides housing and supportive services to disabled individuals and at-risk homeless individuals. City staff continues to meet regularly with management staff from Butterfly Gardens to provide any needed support and to ensure the project partnership continues successfully into the future.

The City of Clovis granted funds to the Fresno Housing Authority for the development of Solivita Commons, a 60-unit affordable multi-family project. The project is 100% deed-restricted for affordable housing. The City provided land use support, application for funding support, and the grant of funds to make the project possible. Construction was completed in 2021, and the property is now leased.

The City is a recipient of State of California CalHome program funds. These funds are focused on owner-occupied rehabilitation including mobile home replacements which house extremely low-income seniors who are at high risk of homelessness. In addition, a small portion of the funds will be used for down-payment assistance.

The City is also a recipient of Permanent Local Housing Allocation (PLHA) program funds. In January 2024, the City awarded \$1,481,280 in PLHA funds to a local affordable housing developer, AHDC Inc., who, in partnership with the Fresno Housing Authority proposes to build a 51-unit affordable senior housing development. The project is currently in pre-development. AHDC will apply for state and federal development funds during the 2024-2025 years. Additional PLHA funds, in the amount of \$320,932, was awarded to the City in early 2024. Programming for the additional PLHA funds will be determined in the 2024-2025 program year.

AP-75 Barriers to affordable housing – 91.220(j)

Introduction:

Clovis faces barriers to affordable housing that are common across housing markets, including decreasing supply of developable land, which increases the cost of acquisition and development of the land. Another common barrier is negative reaction from neighbors regarding affordable housing development based upon a misconception that property values will decline and cause an increase in parking and traffic. Over the last two years, the region has experienced a rapid rise in home values, and interest rates, thereby pricing out first time homebuyers from the home ownership market. Though home values are still significantly below what can be found in surrounding areas, such as the Bay Area, Central Coast and Southern California, the asking prices for homes in the Central Valley are still beyond reach for most lower income families. Although the number of active listings is higher this year than in 2022, home sales have slowed due to these market forces.

Actions it planned to remove or ameliorate the negative effects of public policies that serve as barriers to affordable housing such as land use controls, tax policies affecting land, zoning ordinances, building codes, fees and charges, growth limitations, and policies affecting the return on residential investment

In its 2015-2023 Housing Element, Clovis identified several governmental constraints to the development, maintenance, and improvement of housing and affordable housing, as follows: Zoning Code Amendments, Lot Consolidation and Lot Splits, and Monitoring of Planning and Development Fees. Nongovernmental constraints were identified as follows: Land Costs, Construction Costs, and Availability of Financing.

Discussion:

Obtaining financing for purchasing a first home can be a daunting task. Many low-income families depend on the availability of government resources to assist them complete a financing package to purchase a home. Clovis staff will continue to apply for and administer mortgage assistance, or first-time homebuyer programs to assist low-income families purchase a home. For the 2024-2025 program year, Clovis proposes to utilize federal funds and state funds for downpayment assistance/mortgage assistance.

Additionally, the City is currently updating its Housing Element, for the state of California. New housing and planning programs will be identified in the Housing Element to remove or ameliorate the negative effects of past policies that at times were barriers to the provision of affordable housing.

AP-85 Other Actions – 91.220(k)

Introduction:

This section will provide The City's other actions related to implementing the goals and priorities identified in the 2021-2025 Consolidated Plan. The CDBG programs have a stated goal to support the development of viable urban communities by funding programs that provide decent housing, suitable living environments, and expansion of economic opportunities, principally for persons of low and moderate-income.

The City will prioritize funding to meet the following Consolidated Plan goals:

- Improve Public Facilities
- Increase access to affordable housing
- Provide community and supportive services
- Expand economic development, including commercial revitalization, business expansion, and/or job creation

Actions planned to address obstacles to meeting underserved needs

In the 2024-2025 program year, the City will provide CDBG public service set aside funds to two organizations, the Clovis Senior Center, and the Marjaree Mason Center. The Clovis Senior Center Enrichment Activities project will provide new and enhanced programs, services and classes in order to serve more senior citizens at the Clovis Senior Center. The Marjaree Mason Center will fund 24/7 safe shelter and critical support services for survivors of domestic violence as well as outreach programs which increase awareness of domestic violence and its impact on the community.

Additionally, the City will continue to pursue additional Federal, State, local and private funding, when available, to assist in meeting the underserved needs of Clovis residents. The City will continue partnering with community based organizations, businesses and other public agencies to increase and align services in the community.

Actions planned to foster and maintain affordable housing

City staff will continue to monitor and apply for other funding sources, to increase the stock of affordable housing, and improve the condition of homes owned by lower income families.

The City of Clovis is undergoing an update to its Housing Element, which is planned to be completed and approved by the State of California in 2024. The update will provide guidance to City Departments, residents, business and housing developers on how to strategically provide housing for all income levels, particularly those with lower incomes.

Additionally, in the 2024-2025 program year, the City anticipates creating two new locally funded affordable housing development assistance programs. The Development Impact Fee Deferral Program will provide for the deferral of up to 50% of a housing unit's major facility sewer and water impact fees, depending on income targeting/affordability of the unit. The Clovis Housing Trust Fund Program will establish a local fund to hold and expend affordable housing funds and be available to accept the future transfer of real property into the name of the Housing Trust Fund to assist in the development and preservation of affordable housing. These program funds will be leveraged with state and federal program funds, as applicable, to maximize affordable housing opportunities.

City staff also provides technical assistance to affordable housing developers throughout the development process. Review and approval of these projects is a priority for City Departments. The City's Planning Division also provides for a development density bonus as part of its Affordable Housing Incentives programming, and assists developers in the application for and implementation of this tool. Additional incentives or concessions are reviewed and approved by the City if the development meets income targeting thresholds. These can include reductions in standards such as setback requirements, approval of mixed use land uses not otherwise authorized by code, and other incentives that may be requested by the applicant.

The City will also continue to administer its "Cottage Home Program" to incentivize the construction of accessory dwelling units (ADU). The City offers three pre-approved ADU building plans free of charge to residents who propose to build a Cottage Home on their property. A goal of the program is to provide additional affordable housing opportunities for the community.

The City was recently awarded \$1.8M in 2023 funds from the State of California CalHome program. These funds are focused on owner-occupied mobile home rehabilitation, including mobile home replacements, which house extremely low-income seniors who are at high risk of homelessness. In addition, a small portion of the funds will be used for down-payment assistance.

The City is also a recipient of Permanent Local Housing Allocation (PLHA) program funds. In January 2024, the City awarded \$1,481,280 in PLHA funds to a local affordable housing developer, AHDC Inc., who, in partnership with the Fresno Housing Authority proposes to build a 51-unit affordable senior housing development. The project is currently in pre-development. AHDC will apply for state and federal development funds during the 2024-2025 years. Additional PLHA funds, in the amount of \$320,932, was awarded to the City in early 2024. Programming for the additional PLHA funds will be determined in the 2024-2025 program year.

Actions planned to reduce lead-based paint hazards

City staff will continue to provide households with resources and guidance to reduce lead-based paint hazards. All housing program participants receive the "Protect Your Family From Lead in Your Home" pamphlet published by the US Environmental Protection Agency. All required precautions are taken to ensure lead is not disturbed with projects assisted with CDBG funds, and that vulnerable residents are not

exposed.

Actions planned to reduce the number of poverty-level families

The City was recently awarded \$1.8M in funds from the State of California CalHome program. These funds are focused on owner-occupied mobile home rehabilitation, including mobile home replacements, which house extremely low-income seniors who are at high risk of homelessness. In addition, a small portion of the funds will be used for down-payment assistance.

The City is also a recipient of Permanent Local Housing Allocation (PLHA) program funds. In January 2024, the City awarded \$1,481,280 in PLHA funds to a local affordable housing developer, AHDC Inc., who, in partnership with the Fresno Housing Authority proposes to build a 51-unit affordable senior housing development. The project is currently in pre-development. AHDC will apply for state and federal development funds during the 2024-2025 years. Additional PLHA funds, in the amount of \$320,932, was awarded to the City in early 2024. Programming for the additional PLHA funds will be determined in the 2024-2025 program year.

Actions planned to develop institutional structure

City of Clovis staff responsible for the administration of the CDBG program will continue to access online, local and regional training to improve and enhance the City's knowledge of the CDBG regulations, building healthy homes, and reducing lead hazards.

Actions planned to enhance coordination between public and private housing and social service agencies

The City of Clovis will continue to maintain memberships and participation in the FMCoC, and the San Joaquin Valley Housing Collaborative. In addition, the City will continue to work closely with the Fresno Housing Authority (Fresno Housing), our local Habitat for Humanity, Self-Help Enterprises, Fresno County Department of Social Services, and other local affordable housing developers to enhance coordination activities between agencies.

Discussion:

The City of Clovis is committed to seeking funding, coordinating with agencies, and planning for the provision of services to our community, particularly those in high need.

Program Specific Requirements

AP-90 Program Specific Requirements – 91.220(I)(1,2,4)

Introduction:

Community Development Block Grant Program (CDBG) Reference 24 CFR 91.220(I)(1)

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

1. The total amount of program income that will have been received before the start of the next program year and that has not yet been reprogrammed	0
2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan.	0
3. The amount of surplus funds from urban renewal settlements	0
4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan	0
5. The amount of income from float-funded activities	0
Total Program Income:	0

Other CDBG Requirements

1. The amount of urgent need activities	0
2. The estimated percentage of CDBG funds that will be used for activities that benefit persons of low and moderate income. Overall Benefit - A consecutive period of one, two or three years may be used to determine that a minimum overall benefit of 70% of CDBG funds is used to benefit persons of low and moderate income. Specify the years covered that include this Annual Action Plan.	100.00%

100% of the CDBG funds used during the 2024-2025 program year will be for the benefit of LMI persons.

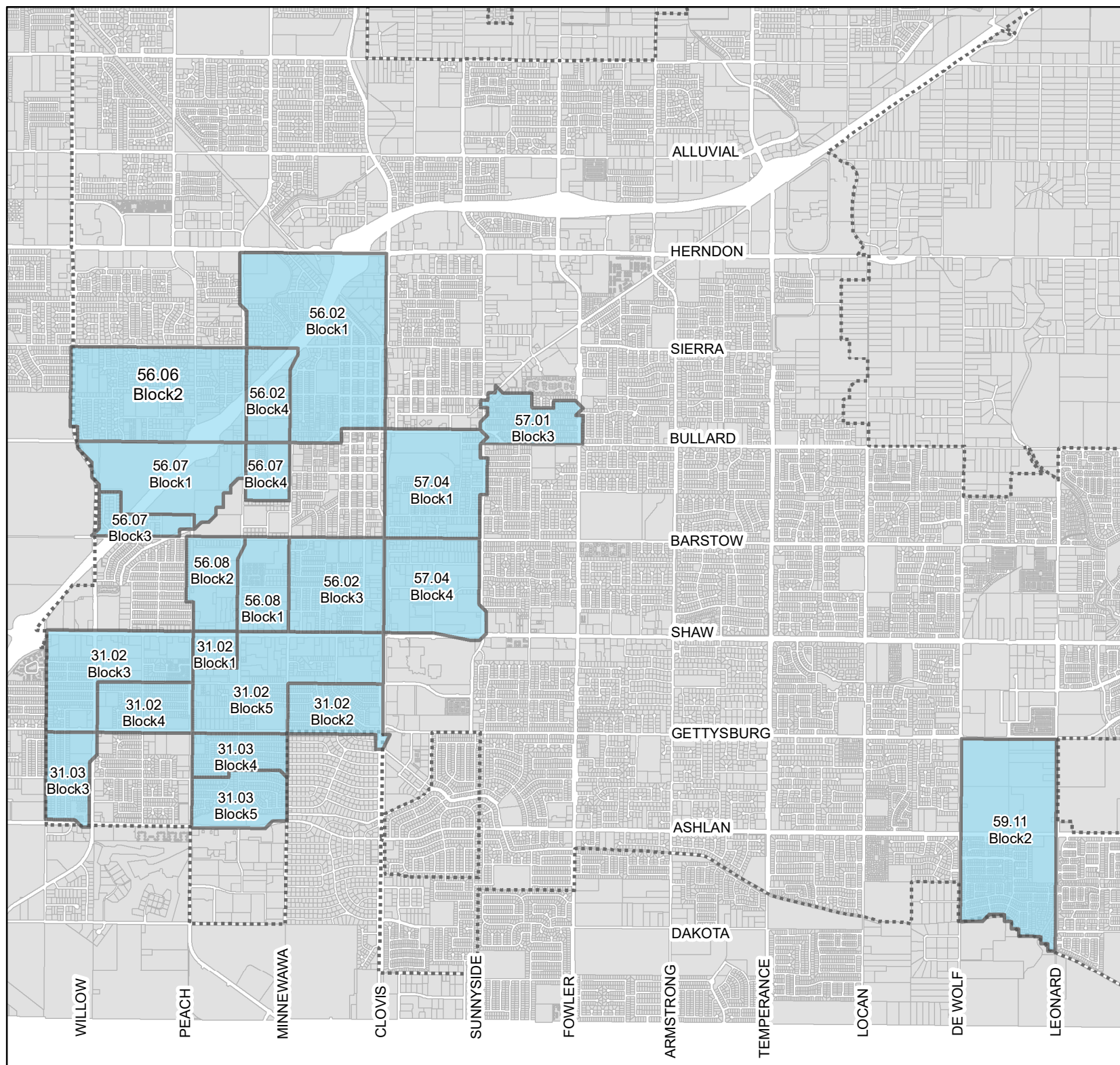
ATTACHMENT

LOW-MODERATE INCOME CENSUS TRACT MAP



Eligible CDBG Areas

-  City Limits
-  Eligible Census Block Groups



9/2/2022

ATTACHMENT

Citizen Participation and Comment
2024-2025 Annual Action Plan (CDBG)

CONTENTS

1. Summary of Public Comments Received
2. Proof of Publications for Public Meetings and Public Hearing
3. Facebook and Other Public Meeting Notices
4. Webpage posting: www.cityofclovis.com

Summary of Public Comments Received

1/26/2024

Comment on Facebook Public Meeting Notice:

Comment 1: Hopefully this affordable housing plan will include single hard working men/woman with no children. That community of people are over looked and should not be.

3/14/2024

Comment on Facebook Public Meeting Notice:

Comment 2: “Nope. Nobody wants low income housing on Willow. Keep the land and orchards.”

Comment 3: “Including everyone? Street vendors too ?” [City replied: “Public Meetings are open to all; commentator replied “thank you”]

Comments from 3/14/24 Public Meeting Attendees:

Four people attended the meeting, which included a robust discussion on the City’s Consolidated Plan and Housing Goals, as well as several questions regarding the use of CDBG funds for homelessness assistance. Attendees also had several questions that were not CDBG funding related, including questions regarding zoning ordinances and accessory dwelling unit programming.

5/6/2024

placeholder

Proof of Publications for Public Meetings and Public Hearing

THE BUSINESS JOURNAL

FRESNO | KINGS | MADERA | TULARE

P.O. Box 126
Fresno, CA 93707
Telephone (559) 490-3400

AGENDA ITEM NO. 12.

(Space Below for use of County Clerk Only)

IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA

CITY OF CLOVIS

2024-2025 COMMUNITY DEVELOPMENT BLOCK GRANT

CALL FOR PROJECTS

Project proposals will be accepted
until 4:00 P.M. on Wednesday, March
27, 2024

MISC. NOTICE

DECLARATION OF PUBLICATION (2015.5 C.C.P.)

STATE OF CALIFORNIA

COUNTY OF FRESNO

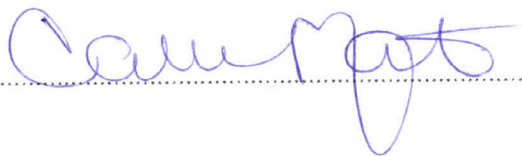
I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of **THE BUSINESS JOURNAL** published in the city of Fresno, County of Fresno, State of California, Monday, Wednesday, Friday, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Fresno, State of California, under the date of March 4, 1911, in Action No.14315; that the notice of which the annexed is a printed copy, has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to wit:

JANUARY 26, 2024

I declare under penalty of perjury that the foregoing is true and correct and that this declaration was executed at Fresno, California,

JANUARY 26, 2024

ON



CITY OF CLOVIS
2024-2025 COMMUNITY
DEVELOPMENT BLOCK GRANT
CALL FOR PROJECTS

January 26, 2024
The City of Clovis is now accepting affordable housing and community development project proposals for the 2024-2025 Community Development Block Grant (CDBG). Project proposals will be accepted by the Clovis Economic Development, Housing, and Communications Department until 4:00 P.M. on Wednesday, March 27, 2024.

The 2024-2025 CDBG program year will begin on July 1, 2024, and end on June 30, 2025. While the exact amount of CDBG funding is unknown at this time, it is anticipated that Clovis will receive approximately \$652,000 from the U.S. Department of Housing and Community Development. It is anticipated that the total amount of proposals submitted will exceed the amount of funding available.

To be considered for funding, CDBG project proposals must meet one of the following objectives:

- Directly benefit low- and moderate-income persons;
- Aid in prevention or elimination of slums or blight;
- Meet an urgent need (the activity provides a remedy to a serious and immediate health or welfare problem, such as a natural disaster).

Proposals will only be accepted from the following:

- Governmental agencies
- Non-profit organizations
- Private for-profit entities

Examples of CDBG projects completed in previous program years include Housing Rehabilitation, ADA Improvements, Streets and Alley Improvements, Micro-Business Development and Public Services.

A workshop for those interested in submitting a proposal will be held on Thursday, February 8, 2024, at 4:00 p.m. at the City Council Chambers of the City of Clovis, 1033 Fifth Street, Clovis, CA 93612. For further information about the CDBG program, or to request a proposal application packet, please contact: Claudia Cazares, Program Manager Affordable Housing Programs 1033 Fifth Street, Clovis, CA 93612 (559) 324-2094 claudiac@cityofclovis.com

In compliance with the Americans with Disabilities Act, if you need special assistance or translation services to participate in this meeting, please contact Claudia Cazares at (559) 324-2094. Notification 48-hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility. It is the policy of the City of Clovis to not discriminate on the basis of race, color, national origin, religion, sex, and sexual preference. If you have a complaint or concern, please contact the City of Clovis 504 Coordinator at (559) 324-2060. 01/26/2024

(Space Below for use of County Clerk Only)

THE BUSINESS JOURNAL

FRESNO | KINGS | MADERA | TULARE

P.O. Box 126
Fresno, CA 93707
Telephone (559) 490-3400

IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA

CIUDAD DE CLOVIS

2024-2025 PROGRAMA DE FONDOS PARA EL
DESARROLLO DE LA COMUNIDAD

Solicitudes serán aceptadas
4:00 P.M. del miércoles, 27 de marzo,
2024

MISC. NOTICE

DECLARATION OF PUBLICATION (2015.5 C.C.P.)

STATE OF CALIFORNIA

COUNTY OF FRESNO

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JANUARY 26, 2024

ON

CIUDAD DE CLOVIS
2024-2025 PROGRAMA DE FONDOS
PARA EL DESARROLLO DE LA
COMUNIDAD
LLAMADA POR SOLICITUDES,
PROYECTOS O PROGRAMAS
26 de enero, 2024

La Ciudad de Clovis ya está aceptando propuestas para proyectos o programas para viviendas de bajo costo o desarrollo de la comunidad para el Programa de Fondos para el Desarrollo de la Comunidad ("CDBG" en inglés) para el año fiscal 2024-2025. Solicitudes serán aceptadas en el Departamento de Desarrollo Económico, de Viviendas y Comunicación terminando a las 4:00 P.M. del miércoles, 27 de marzo, 2024.

El Programa de CDBG 2024-2025 empieza el 1 de julio, 2024 y termina el 30 de junio, 2025. Aunque el gobierno federal no le ha proveído la cantidad exacta de fondos CDBG que se le dará a la ciudad, se anticipa que Clovis recibirá aproximadamente \$652,000 del Departamento Federal de Viviendas y Desarrollo Comunitario ("HUD" en inglés). Se anticipa que la ciudad recibirá mas propuestas en una cantidad que sobrepase la cantidad de fondos que se anticipa recibir.

Para ser considerado para recibir fondos del Programa CDBG, su propuesta y proyecto tiene que llenar uno de estos objetivos:

- Beneficiar directamente a personas de bajos recursos ("low-moderate income" en inglés)
 - Asistir en la eliminación de condiciones de vida precarias e insalubres
 - Satisfacer una necesidad urgente (para actividades que remedian un problema serio e inmediato a la salud, tal como un desastre natural)
- Propuestas nada más serán aceptadas de las siguientes entidades:
- Agencias del gobierno
 - Organizaciones no-lucrativas
 - Empresas privadas con fines de lucro

Algunos ejemplos de proyectos de CDBG completados en el pasado incluyen: Rehabilitación de Viviendas, Mejoras de Acceso para Personas con Discapacidades, Mejoras a Vías Públicas, Desarrollo para Micro-Empresas y Servicios Públicos.

Habrà un taller informativo para personas interesadas en presentar una solicitud para un proyecto o programa. El taller se llevará acabo el jueves 8 de febrero, 2024, a las 4:00 P.M. dentro de la Cámara del Concilio de Clovis, ubicada en el 1033 Fifth Street, Clovis, CA 93612. Para más información tocante el Programa CDBG, o para pedir una aplicación para su propuesta, favor de contactar a: Claudia Cazares, Program Manager Programas de Viviendas Asequibles 1033 Fifth Street, Clovis, CA 93612 (559) 324-2094 claudiac@cityofclovis.com

De acuerdo con las leyes para personas con discapacidad física (ADA), si usted necesita acceso especial, o si usted necesita servicios de traducción, para participar en este programa, o estas juntas, favor de llamar a Claudia Cazares al (559) 324-2094, con 48 horas de adelanto para que la Ciudad de Clovis pueda hacer los arreglos necesarios para su acceso. Es la póliza de la Ciudad de Clovis de no discriminar basado en su raza, color, origen de nacionalidad, religión, sexo, o preferencia sexual. Si tiene alguna queja o asunto, favor de contactar al coordinador del Program 504 de la Ciudad de Clovis al (559) 324-2060.

01/26/2024



The Beaufort Gazette
 The Belleville News-Democrat
 Bellingham Herald
 Centre Daily Times
 Sun Herald
 Idaho Statesman
 Bradenton Herald
 The Charlotte Observer
 The State
 Ledger-Enquirer

Durham | The Herald-Sun
 Fort Worth Star-Telegram
 The Fresno Bee
 The Island Packet
 The Kansas City Star
 Lexington Herald-Leader
 The Telegraph - Macon
 Merced Sun-Star
 Miami Herald
 El Nuevo Herald

AGENDA ITEM NO. 12.

The Sun News - Myrtle Beach
 Raleigh News & Observer
 Rock Hill | The Herald
 The Sacramento Bee
 San Luis Obispo Tribune
 Tacoma | The News Tribune
 Tri-City Herald
 The Wichita Eagle
 The Olympian

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Amount	Cols	Depth
122562	514082	Print Legal Ad-IPL01570910 - IPL0157091		\$789.46	1	92L

Attention: City of

City of Clovis
 1033 Fifth Street
 Clovis, CA 93612

claudiac@ci.clovis.ca.us

COUNTY OF DALLAS STATE OF TEXAS

The undersigned states:

McClatchy Newspapers in and on all dates herein stated was a corporation, and the owner and publisher of The Fresno Bee.

The Fresno Bee is a daily newspaper of general circulation now published, and on all-the-dates herein stated was published in the City of Fresno, County of Fresno, and has been adjudged a newspaper of general circulation by the Superior Court of the County of Fresno, State of California, under the date of November 28, 1994, Action No. 520058-9.

The undersigned is and on all dates herein mentioned was a citizen of the United States, over the age of twenty-one years, and is the principal clerk of the printer and publisher of said newspaper; and that the notice, a copy of which is hereto annexed, marked Exhibit A, hereby made a part hereof, was published in The Fresno Bee in each issue thereof (in type not smaller than nonpareil), on the following dates.

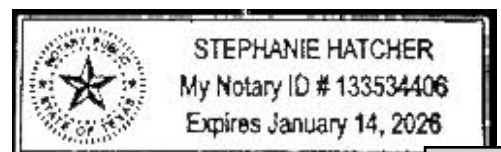
1 insertion(s) published on:

01/26/24

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated: 01/31/2024

Notary Public in and for the state of Texas, residing in Dallas County



Extra charge for lost or duplicate affidavits.
 Legal document please do not destroy!

PUBLIC NOTICE
**CITY OF CLOVIS
 2024-2025 COMMUNITY DEVELOPMENT BLOCK GRANT
 CALL FOR PROJECTS**

January 26, 2024

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 Affordable Housing Programs
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 (559) 324-2094
 claudiac@cityofclovis.com

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 Jan 26 2024



The Beaufort Gazette
 The Belleville News-Democrat
 Bellingham Herald
 Centre Daily Times
 Sun Herald
 Idaho Statesman
 Bradenton Herald
 The Charlotte Observer
 The State
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Durham | The Herald-Sun
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 El Nuevo Herald

AGENDA ITEM NO. 12.

The Sun News - Myrtle Beach
 Raleigh News & Observer
 Rock Hill | The Herald
 The Sacramento Bee
 San Luis Obispo Tribune
 Tacoma | The News Tribune
 Tri-City Herald
 The Wichita Eagle
 The Olympian

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Amount	Cols	Depth
122562	514083	Print Legal Ad-IPL01570940 - IPL0157094		\$1,093.60	2	64 L

Attention: City of

City of Clovis
 1033 Fifth Street
 Clovis, CA 93612

claudiac@ci.clovis.ca.us

PUBLIC NOTICE

**CIUDAD DE CLOVIS
 2024-2025 PROGRAMA DE FONDOS PARA EL DESARROLLO DE
 LA COMUNIDAD
 LLAMADA POR SOLICITUDES, PROYECTOS O PROGRAMAS**

26 de enero, 2024

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 Jan 26 2024

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1 insertion(s) published on:

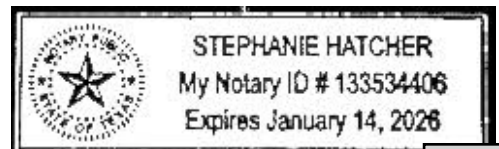
01/26/24

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated: 01/31/2024

Stephanie Hatcher

Notary Public in and for the state of Texas, residing in Dallas County



Extra charge for lost or duplicate affidavits.
 Legal document please do not destroy!

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P.O. Box 126
Fresno, CA 93707
Telephone (559) 490-3400

AGENDA ITEM NO. 12.

(Space Below for use of County Clerk only)

IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA

YOUR INPUT IS NEEDED!

CITY OF CLOVIS - 2024-2025 COMMUNITY DEVELOPMENT
BLOCK GRANT

Meeting Information:
Date: March 14, 2024
Time: 5:00 P.M.

DECLARATION OF PUBLICATION (2015.5 C.C.P.)

MISC. NOTICE

STATE OF CALIFORNIA

COUNTY OF FRESNO

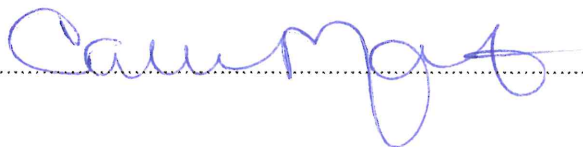
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FEBRUARY 28, 2024

I declare under penalty of perjury that the foregoing is true and correct and that this declaration was executed at Fresno, California,

FEBRUARY 28, 2024

ON



YOUR INPUT IS NEEDED!
CITY OF CLOVIS - 2024-2025
COMMUNITY DEVELOPMENT
BLOCK GRANT
The City of Clovis invites you to participate in a meeting regarding the City's Community Development Block Grant (CDBG) program. Currently under development is the 2024-2025 Action Plan for use of CDBG funds, and input is needed on what projects should be considered. The CDBG Program is a federal program to address the Housing and Community Development needs of low and moderate-income persons. Potential projects include: 1) Housing Rehabilitation, 2) Public infrastructure improvements such as water, sewer, sidewalks, streets and drainage, 3) Public Services and 4) Micro-Business Development.
Meeting Information:
Date: March 14, 2024
Time: 5:00 P.M.
Place: City of Clovis Council Chambers
1033 Fifth Street
Clovis, CA 93612
You can also join online via Webex.
Meeting Link:
<https://cityofclovis.webex.com/cityofclovis/j.php?MTID=mcb6353b6089888749c9d3f5c36e29d22>
Webinar number: 2491 559 3992
Webinar password: 2024!CDBG (20240232 from phones)
Join by phone: 1-844-992-4726 United States Toll Free or +1-408-418-9388 United States Toll | Access code: 2491 559 3992
For questions contact: Claudia Cazares, (559) 324-2094, claudiac@cityofclovis.com
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02/28/2024

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Telephone (559) 490-3400

AGENDA ITEM NO. 12.

(Space Below for use of County Clerk only)

IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA

¡NECESITAMOS SU PARTICIPACIÓN!

CIUDAD DE CLOVIS - 2024-2025 PROGRAMA DE FONDOS PARA EL DESARROLLO DE LA COMUNIDAD

Meeting Information:
Date: March 14, 2024
Time: 5:00 P.M.

DECLARATION OF PUBLICATION (2015.5 C.C.P.)

MISC. NOTICE

STATE OF CALIFORNIA

COUNTY OF FRESNO

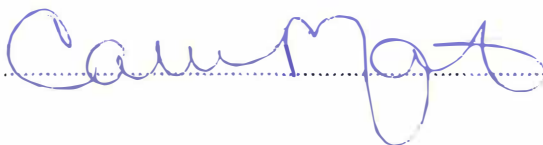
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FEBRUARY 28, 2024

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FEBRUARY 28, 2024

ON



¡NECESITAMOS SU PARTICIPACIÓN!
CIUDAD DE CLOVIS - 2024-2025 PROGRAMA DE FONDOS PARA EL DESARROLLO DE LA COMUNIDAD
La Ciudad de Clovis le hace una invitación a participar en una junta tocante el Programa de Fondos para el Desarrollo Comunitario (CDBG). Actualmente la Ciudad está desarrollando el Plan Anual para el año 2024-2025, para el uso de estos fondos. y necesitamos sus comentarios sobre cuales proyectos deberían ser considerados para el programa. El Programa CDBG es un programa de fondos federales para ayudar en el desarrollo de viviendas asequibles y desarrollo de la comunidad para el beneficio de personas de bajos ingresos. Los proyectos que posiblemente se llevaran a cabo a través de este programa son: 1) Rehabilitación de Viviendas, 2) Infraestructura física como agua, alcantarillado, banquetas, calles, y drenaje, 3) Servicios Públicos y 4) Desarrollo de Negocios.

De acuerdo con las leyes para personas con discapacidad física (ADA), si usted necesita acceso especial, o si usted necesita servicios de traducción, para participar en este programa, o estas juntas, favor de llamar a Claudia Cazares al (559) 324-2094, con 48 horas de adelanto para que la Ciudad de Clovis pueda hacer los arreglos necesarios para su acceso. Es la póliza de la Ciudad de Clovis de no discriminar basado en su raza, color, origen de nacionalidad, religión, sexo, o preferencia sexual. Si tiene alguna queja o asunto, favor de contactar al coordinador del Program 504 de la Ciudad de Clovis al (559) 324-2060. 02/28/2024

Información de la Junta:
Día: March 14, 2024
Hora: 5:00 P.M.
Lugar: Ayuntamiento de la Ciudad de Clovis
Cámara del Concilio
1033 Fifth Street
Clovis, CA 93612
Además puede unirse a la junta por computadora por el programa WebEx.
Enlace:
<https://cityofclovis.webex.com/cityofclovis/j.php?MTID=mcb6353b6089888749c9d3f5c36e29d22>
Numero del Webinar: 2491 559 3992
Contraseña del Webinar: 2024!CDBG (20240232 de su telefono)
Unase por telefono al: 1-844-992-4726
Gratis en EEUU o (408) 418-9388 de Paga EEUU | Codigo de Acceso: 2491 559 3992
Nombre de contacto: Claudia Cazares, (559) 324-2094, claudiac@cityofclovis.com



The Beaufort Gazette
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 The Sacramento Bee
 San Luis Obispo Tribune
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 The Olympian

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Amount	Cols	Depth
122562	524704	Print Legal Ad-IPL01615140 - IPL0161514		\$764.80	2	44 L

Attention: City of

City of Clovis
 1033 Fifth Street
 Clovis, CA 93612

claudiac@ci.clovis.ca.us

PUBLIC NOTICE

**YOUR INPUT IS NEEDED!
 CITY OF CLOVIS - 2024-2025 COMMUNITY DEVELOPMENT
 BLOCK GRANT**

The City of Clovis invites you to participate in a meeting regarding the City's Community Development Block Grant (CDBG) program. Currently under development is the 2024-2025 Action Plan for use of CDBG funds, and input is needed on what projects should be considered. The CDBG Program is a federal program to address the Housing and Community Development needs of low and moderate-income persons.

Potential projects include: 1) Housing Rehabilitation, 2) Public infrastructure improvements such as water, sewer, sidewalks, streets and drainage, 3) Public Services and 4) Micro-Business Development.

Meeting Information:

Date: March 14, 2024

Time: 5:00 PM.

Place: City of Clovis Council Chambers, 1033 Fifth Street, Clovis, CA 93612

You can also join online via Webex.

Meeting Link: <https://cityofclovis.webex.com/cityofclovis/j.php?MTID=mcb-6353b6089888749c9d3f5c36e29d22>

Webinar number: 2491 559 3992

Webinar password: 2024ICDBG (20240232 from phones)

Join by phone: 1-844-992-4726 United States Toll Free or +1-408-418-9388

United States Toll | Access code: 2491 559 3992

For questions contact: Claudia Cazares, (559) 324-2094, claudiac@cityofclovis.com

In compliance with the Americans with Disabilities Act, if you need special assistance or translation services to participate in this meeting, please contact Claudia Cazares at (559) 324-2094. Notification 48-hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility. It is the policy of the City of Clovis to not discriminate on the basis of race, color, national origin, religion, sex, and sexual preference. If you have a complaint or concern, please contact the City of Clovis 504 Coordinator at (559) 324-2060. IPL0161514
 Feb 28 2024

COUNTY OF DALLAS STATE OF TEXAS

The undersigned states:

McClatchy Newspapers in and on all dates herein stated was a corporation, and the owner and publisher of The Fresno Bee.

The Fresno Bee is a daily newspaper of general circulation now published, and on all-the-dates herein stated was published in the City of Fresno, County of Fresno, and has been adjudged a newspaper of general circulation by the Superior Court of the County of Fresno, State of California, under the date of November 28, 1994, Action No. 520058-9.

The undersigned is and on all dates herein mentioned was a citizen of the United States, over the age of twenty-one years, and is the principal clerk of the printer and publisher of said newspaper; and that the notice, a copy of which is hereto annexed, marked Exhibit A, hereby made a part hereof, was published in The Fresno Bee in each issue thereof (in type not smaller than nonpareil), on the following dates.

1 insertion(s) published on:

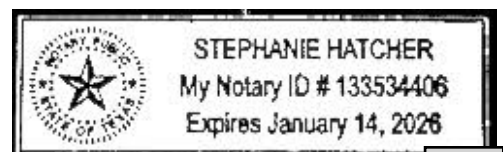
02/28/24

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated: 02/28/2024

Stephanie Hatcher

Notary Public in and for the state of Texas, residing in Dallas County



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The Beaufort Gazette
 The Belleville News-Democrat
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Durham | The Herald-Sun
 Fort Worth Star-Telegram
 The Fresno Bee
 The Island Packet
 The Kansas City Star
 Lexington Herald-Leader
 The Telegraph - Macon
 Merced Sun-Star
 Miami Herald
 El Nuevo Herald

AGENDA ITEM NO. 12.

The Sun News - Myrtle Beach
 Raleigh News & Observer
 Rock Hill | The Herald
 The Sacramento Bee
 San Luis Obispo Tribune
 Tacoma | The News Tribune
 Tri-City Herald
 The Wichita Eagle
 The Olympian

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Amount	Cols	Depth
122562	524703	Print Legal Ad-IPL01615130 - IPL0161513		\$830.56	2	48 L

Attention: City of

City of Clovis
 1033 Fifth Street
 Clovis, CA 93612

claudiac@ci.clovis.ca.us

PUBLIC NOTICE

**¡NECESITAMOS SU PARTICIPACION!
 CIUDAD DE CLOVIS - 2024-2025 PROGRAMA DE FONDOS PARA
 EL DESARROLLO DE LA COMUNIDAD**

La Ciudad de Clovis le hace una invitación a participar en una junta tocante el Programa de Fondos para el Desarrollo Comunitario (CDBG). Actualmente la Ciudad está desarrollando el Plan Anual para el año 2024-2025, para el uso de estos fondos, y necesitamos sus comentarios sobre cuales proyectos deberían ser considerados para el programa. El Programa CDBG es un programa de fondos federales para ayudar en el desarrollo de viviendas asequibles y desarrollo de la comunidad para el beneficio de personas de bajos ingresos.

Los proyectos que posiblemente se llevaran a cabo a través de este programa son:
 1) Rehabilitación de Viviendas, 2) Infraestructura física como agua, alcantarillado, banquetas, calles, y drenaje, 3) Servicios Públicos y 4) Desarrollo de Negocios.

Información de la Junta:

Día: March 14, 2024
 Hora: 5:00 PM.
 Lugar: Ayuntamiento de la Ciudad de Clovis, Cámara del Concilio, 1033 Fifth Street, Clovis, CA 93612

Además puede unirse a la junta por computadora por el programa WebEx.
 Enlace: <https://cityofclovis.webex.com/cityofclovis/j.php?MTID=mcb6353b-6089888749c9d3f5c36e29d22>

Numero del Webinar: 2491 559 3992
 Contraseña del Webinar: 2024!CDBG (20240232 de su telefono)

Unase por telefono al: 1-844-992-4726 Gratis en EEUU o (408) 418-9388 de Paga EEUU | Codigo de Acceso: 2491 559 3992

Nombre de contacto: Claudia Cazares, (559) 324-2094, claudiac@cityofclovis.com

De acuerdo con las leyes para personas con discapacidad física (ADA), si usted necesita acceso especial, o si usted necesita servicios de traducción, para participar en este programa, o estas juntas, favor de llamar a Claudia Cazares al (559) 324-2094, con 48 horas de adelanto para que la Ciudad de Clovis pueda hacer los arreglos necesarios para su acceso. Es la póliza de la Ciudad de Clovis de no discriminar basado en su raza, color, origen de nacionalidad, religión, sexo, o preferencia sexual. Si tiene alguna queja o asunto, favor de contactar al coordinador del Program 504 de la Ciudad de Clovis al (559) 324-2060.
 IPL0161513
 Feb 28 2024

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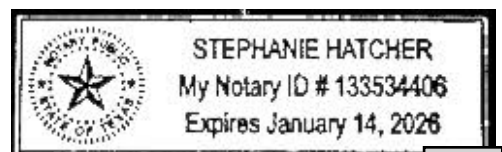
02/28/24

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Notary Public in and for the state of Texas, residing in Dallas County



Extra charge for lost or duplicate affidavits.
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Facebook and Other Public Meeting Notices


<https://www.facebook.com/clovis.ca>

POSTING OF PUBLIC NOTICES ON CITY OF CLOVIS FACEBOOK PAGE
AND OTHER SOCIAL MEDIA WEBPAGES



DATE: January 26, 2024

Facebook

 **City of Clovis, California - Government** 21m · 🌐




The City of Clovis is now accepting affordable housing and community development project proposals for the 2024-2025 Community Development Block Grant (CDBG) Program.

Project proposals will be accepted by the Economic Development, Housing, and Communications Department until 4:00 P.M. on Wednesday, March 27, 2024.

A workshop for those interested in submitting a proposal will be held on Thursday, February 8, 2024, at 4:00 p.m. at the City Council Chambers of the City of Clovis, 1033 Fifth Street, Clovis, CA 93612.


For further information about the CDBG program, or to request a proposal application packet, please contact Claudia Cazares, Affordable Housing Programs Manager, at (559) 324-2094 or via email at claudiac@cityofclovis.com.

La Ciudad de Clovis ya está aceptando propuestas para proyectos o programas para viviendas de bajo costo o desarrollo de la comunidad para el Programa de Fondos para el Desarrollo de la Comunidad ("CDBG" en inglés) para el año 2024-2025. Solicitudes serán aceptadas en el Departamento de Desarrollo Económico, de Viviendas y Comunicación terminando a las 4:00 P.M. del miércoles, 27 de marzo, 2024. Habrá un taller informativo para personas interesadas en presentar una solicitud para un proyecto o programa. El taller se llevará a cabo el jueves 8 de febrero, 2024, a las 4:00 P.M. dentro de la Cámara del Concilio de Clovis, ubicada en el 1033 Fifth Street, Clovis, CA 93612. Para más información tocante el Programa CDBG, o para pedir una aplicación para su propuesta, favor de contactar a Claudia Cazares, Supervisora de Programa de Viviendas Asequibles, at (559) 324-2094 o por correo electrónico a claudiac@cityofclovis.com.

 CITY OF CLOVIS	 LA CIUDAD DE CLOVIS
<p>2024-2025 Community Development Block Grant (CDBG) Meeting</p> <p>Where: City Council Chambers, 1033 Fifth Street, Clovis, CA 93612</p> <p>When: February 8, 2024 at 4pm</p>	<p>Programa de Fondos para el Desarrollo de la Comunidad ("CDBG" en inglés) para el año 2024-2025</p> <p>Lugar: dentro de la Camara del Concilio de Clovis, ubicada en el 1033 Fifth Street, Clovis, CA 93612</p> <p>Cuando: 8 de febrero, 2024, a las 4:00 PM</p>
	

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Continued on next page

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City of Clovis ✓

Economic Development, Housing and Communications Director Chad McCollum • Edited Just now



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Continued on next page

DATE: February 28, 2024

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 **City of Clovis, California - Government** 
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YOUR INPUT IS NEEDED! The City of Clovis invites you to participate in a meeting regarding the City's Community Development Block Grant (CDBG) program. Currently under development is the 2024-2025 Action Plan for use of CDBG funds, and input is needed on what projects should be considered. The CDBG Program is a federal program to address the Housing and Community Development needs of low and moderate-income persons.

Meeting Information:
Date: March 14, 2024
Time: 5:00 P.M.
Place: City of Clovis Council Chambers, 1033 Fifth Street, Clovis, CA 93612

You can also join online via Webex. For more information and a link to the webinar, visit: <https://cityofclovis.com/.../public-input-meeting-2024.../>

For questions, contact: Claudia Cazares, (559) 324-2094, claudiac@cityofclovis.com

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¡NECESITAMOS SU PARTICIPACIÓN! La Ciudad de Clovis le hace una invitación a participar en una junta tocante el Programa de Fondos para el Desarrollo Comunitario (CDBG). Actualmente la Ciudad está desarrollando el Plan Anual para el año 2024-2025, para el uso de estos fondos, y necesitamos sus comentarios sobre cuales proyectos deberían ser considerados para el programa. El Programa CDBG es un programa de fondos federales para ayudar en el desarrollo de viviendas asequibles y desarrollo de la comunidad para el beneficio de personas de bajos ingresos.

Información de la Junta:
Día: March 14, 2024
Hora: 5:00 P.M.
Lugar: Ayuntamiento de la Ciudad de Clovis
Cámara del Concilio,
1033 Fifth Street, Clovis, CA 93612

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Nombre de contacto: Claudia Cazares, (559) 324-2094, claudiac@cityofclovis.com

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rest of posting follows on next page

Ciudad de Clovis pueda hacer los arreglos necesarios para su acceso. Es la política de la Ciudad de Clovis de no discriminar basado en su raza, color, origen de nacionalidad, religión, sexo, o preferencia sexual. Si tiene alguna queja o asunto, favor de contactar al coordinador del Program 504 de la Ciudad de Clovis al (559) 324-2060.

 <h2>CITY OF CLOVIS</h2> <p>PUBLIC INPUT MEETING FOR THE 2024-2025 COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) PROGRAM Where: City Council Chambers, 1033 Fifth Street, Clovis, CA 93612 When: March 14, 2024 at 5:00 PM</p> 	 <h2>LA CIUDAD DE CLOVIS</h2> <p>ANUNCIO DE JUNTA COMUNITARIA PROGRAMA PARA EL DESARROLLO DE LA COMUNIDAD (CDBG) 2024-2025 Lugar: Ayuntamiento de la Ciudad de Clovis Cámara del Concilio, 1033 Fifth Street, Clovis, CA 93612 Cuando: 14 de marzo, 2024, a las 5:00 PM</p> 
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Continued on next page

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What's on your mind, neighbor?

City of Clovis ✓
Communications & Marketing Analyst Taylor Danielson • 19 hr ago

YOUR INPUT IS NEEDED! The City of Clovis invites you to participate in a meeting regarding the City's Community Development Block Grant (CDBG) program. Currently See more...

 CITY OF CLOVIS	 LA CIUDAD DE CLOVIS
PUBLIC INPUT MEETING FOR THE 2024-2025 COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) PROGRAM Where: City Council Chambers, 1033 Fifth Street, Clovis, CA 93612 When: March 14, 2024 at 5:00 PM	ANUNCIO DE JUNTA COMUNITARIA PROGRAMA PARA EL DESARROLLO DE LA COMUNIDAD (CDBG) 2024-2025 Lugar: Ayuntamiento de la Ciudad de Clovis Cámara del Concilio, 1033 Fifth Street, Clovis, CA 93612 Cuando: 14 de marzo, 2024, a las 5:00 PM
	

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PLACEHOLDER FOR ADDITIONAL POSTINGS



**NOTICE OF PUBLIC COMMENT PERIOD AND PUBLIC HEARING
FOR THE ADOPTION OF THE 2024-2025 CDBG ANNUAL ACTION PLAN**

April 5, 2024

NOTICE IS HEREBY GIVEN, that the City of Clovis will have copies of the 2024-2025 Annual Action Plan for the Community Development Block Grant (CDBG) Program available for a 30-day public review and comment period beginning April 5, 2024, and ending at 4:30 p.m. on May 6, 2024, at the following locations:

- Clovis City Hall: 1033 Fifth Street, Clovis, CA 93612
- Clovis Senior Center: 850 4th Street, Clovis, CA 93612
- Fresno County Public Library in Clovis: 1155 Fifth Street, Clovis, CA 93612
- Clovis Recreational Center: 3495 Clovis Ave., Clovis, CA 93612
- City of Clovis Web Site: www.cityofclovis.com

**All of the above facilities are readily accessible to individuals with mobility impairments.

By this notice, the City of Clovis invites parties that have an interest in, or may be impacted by, the activities discussed in the Annual Action Plan, to submit a written comment and attend the Public Hearing, below. Citizen participation is considered an important element of the Annual Action Plan process and is encouraged by the U.S. Department of Housing and Urban Development and the City of Clovis. All written comments received by the close of business on May 6, 2024, at the address below will be considered and included as attachments in the Annual Action Plan document.

A public hearing will be held on May 6, 2024, at 6:00 p.m. in the City of Clovis Council Chambers located at 1033 Fifth Street in Clovis. The facility is readily accessible to individuals with mobility impairments. Citizens may provide their views and comments on the Annual Action Plan and the proposed use of CDBG funds for the 2024-2025 program year. The 2024-2025 CDBG allocations from the U.S. Department of Housing and Urban Development (HUD) have not been announced yet, but Clovis estimates receiving an allocation of \$650,000. The proposed use of funds for the 2024-2025 program year are as follows:

- Housing Rehabilitation - \$100,000
- Micro-Enterprise Culinary Kitchen - \$55,000.00

- Santa Ana Avenue Sidewalk Installation - \$124,000.00
- Holland/Richert Alley Improvements (Peach/Homsy) - \$143,500.00
- Clovis Senior Senter Enrichment Activities - \$48,750.00
- Marjaree Mason Center Critical Domestic Violence Services - \$48,750.00
- Administration - \$130,000.00

An increase or decrease in the estimated CDBG funding level will be applied to the Holland/Richert Alley Improvements (Peach/Homsy) Project, and will be reflected in the funding level allocations for Public Services (15% maximum) and Administration (20% maximum).

Backup projects:

- Acts of Kindness by Habitat for Humanity
- Upwards BOOST Daycare Micro-Enterprise Support

Public Comment

Citizens and groups are encouraged to submit written or verbal comments concerning the proposed projects and the CDBG Program by contacting:

Claudia Cázares, Affordable Housing Program Manager
1033 Fifth Street, Clovis, CA 93612

Ms. Cázares may also be contacted at (559) 324-2094 or via email at claudiac@cityofclovis.com, Monday through Friday.

Accessibility and Language Services

If you require reasonable accommodation or need language assistance, translation services or interpretation services to participate in this meeting please contact Claudia Cazares at (559) 324-2094. Notification of 48-hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility.

NOTICE OF NON-DISCRIMINATION:

It is the policy of the City of Clovis to not discriminate on the basis of race, color, national origin, religion, sex, and sexual preference. If you have a complaint or concern, please contact the City of Clovis 504 Coordinator at (559) 324-2060.

Need Assistance Contacting the City of Clovis? California Relay Service provides specially trained Communication Assistants to relay conversations between deaf, hard of hearing, or speech-loss individuals and people who use a standard telephone. You can use this service to contact the City of Clovis by dialing 711.

This notice is available in Spanish by contacting our offices at (559) 324-2060. Esta notificación esta disponible en español llamando al (559) 324-2060. Si usted requiere servicios de interpretación o traducción favor de llamar a Claudia Cázares al (559) 324-2094.



AVISO DE PERÍODO DE COMENTARIOS PÚBLICOS Y AUDIENCIA PÚBLICA PARA LA APROBACIÓN DEL PLAN DE ACCIÓN ANUAL CDBG 2024-2025

5 de abril, 2024

SE NOTIFICA POR EL PRESENTE ANUNCIO, que la Ciudad de Clovis tendrá copias del Plan de Acción Anual para el Programa de Desarrollo de la Comunidad (CDBG) 2024-2025, disponible por 30 días para revisión y comentarios públicos empezando el 5 de abril, 2024, hasta el 6 de mayo, 2024 a las 4:30 p.m., en los siguientes lugares:

- Centro Cívico de Clovis: 1033 Fifth Street, Clovis, CA 93612
- Centro de la Tercera Edad (Clovis Senior Center): 850 4th Street, Clovis, CA 93612
- Biblioteca Pública del Condado de Fresno en Clovis: 1155 Fifth Street, Clovis, CA 93612
- Centro de Recreación de Clovis, 3495 Clovis Ave., Clovis, CA 93612
- Ciudad de Clovis Sitio Web: www.cityofclovis.com

**Éstas instalaciones están fácilmente accesibles a, y utilizables por, personas con discapacidades.

Mediante este aviso, la Ciudad de Clovis invita a los residentes que tienen un interés o puedan verse afectados por las actividades mencionadas en el Plan, a que sometan sus opiniones por escrito y que atiendan la Audiencia Pública. La participación ciudadana se considera un elemento importante del proceso de Plan de Acción Anual y es recomendado por el Departamento de HUD EE.UU. y la Ciudad de Clovis. Todos los comentarios escritos recibidos antes de 4:30 p.m. el 6 de mayo de 2024, en la dirección a continuación serán considerados e incluidos como archivo adjunto en el documento de Plan.

Una audiencia pública se llevará a cabo el 6 de mayo, 2024 a las 6:00 p.m. en la sala del Concilio de la Ciudad de Clovis, situada en 1033 Fifth Street en Clovis. Ésta instalaciones están fácilmente accesibles a, y utilizables por, personas con discapacidades. Residentes pueden someter sus opiniones y comentarios sobre el Plan de Acción Anual y el uso propuesto de los fondos CDBG para el año del programa 2024-2025. Las asignaciones de fondos del programa CDBG del Departamento de EE.UU. de Vivienda y Desarrollo Urbano (HUD) para el año 2024-2025 no han sido aprobadas por el gobierno federal, aun así Clovis estima recibir una asignación de \$650,000. El uso propuesto de los fondos para el año del programa 2024-2025 son los siguientes:

- Rehabilitación de Viviendas - \$100,000.00
- Ayuda a Micro-Empresa: Cocina Culinaria - \$55,000.00

- Instalación de Banqueta: Avenida Santa Ana - \$124,000.00
- Mejoras de Callejón: Holland/Richert – Peach a Homsy - \$143,500.00
- Servicios Sociales en el Centro de la Tercera Edad de Clovis - \$48,750.00
- Servicios Sociales para Víctimas de Violencia Doméstica en el Centro Marjaree Mason Clovis - \$48,750.00
- Administración - \$130,000.00

Si Clovis recibe más, o menos fondos de CDBG, el cambio será aplicado al proyecto Mejoras de Callejón: Holland/Richert, y además los cambios serán reflexionados en las asignaciones de fondos para Servicios Sociales (tiene asignación máxima de 15%) y Administración (asignación máxima de 20%).

Proyectos de respaldo:

- Actos de Bondad (mejoras a viviendas) – Habitat for Humanity
- Upwards BOOST Ayuda a Micro-Empresas

Comentarios Públicos

Residentes y grupos son invitados a someter comentarios por escrito ó orales tocante los proyectos propuestos y el programa de CDBG al ponerse en contacto con:

Claudia Cazares, Supervisora de Programas de Viviendas
1033 Fifth Street, Clovis, CA 93612

La Sra. Cazares a la vez puede ser contactada por teléfono al (559) 324-2094, ó por correo electrónico al claudiac@cityofclovis.com, de lunes a viernes.

Accesibilidad y Servicios de Traducción

Si usted requiere adaptaciones razonables, o requiere asistencia en otro idioma, de traducción o interpretación para participar en esta reunión, favor de contactar a Claudia Cazares al (559) 324-2094. Notificación de 48 horas antes de la reunión permitirá a la ciudad para hacer los arreglos razonables para garantizar la accesibilidad.

Notificación de no discriminación:

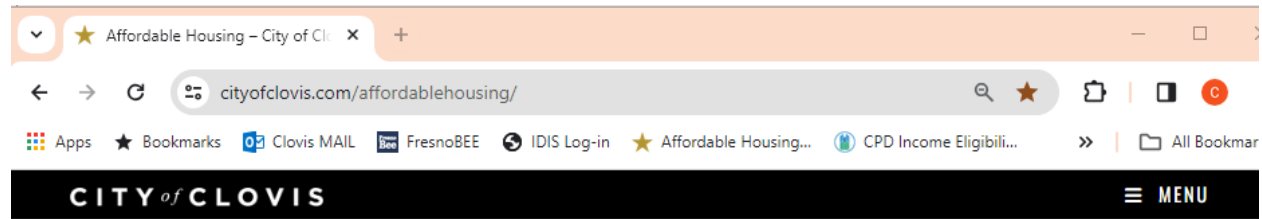
Es la política de la Ciudad de Clovis de no discriminar basado en su raza, color, origen de nacionalidad, religión, sexo, o preferencia sexual. Si tiene alguna queja o asunto, favor de contactar al coordinador del Program 504 de la Ciudad de Clovis al (559) 324-2060.

Necesita asistencia contactando la Ciudad de Clovis?

El programa de Servicio de Re-Transmisión de California le puede proveer Asistencia de Comunicación especialmente capacitada para transmitir comunicaciones entre personas sordas, los que sufren de ensordecimiento, personas sordo-mudas y los que usan teléfonos fijos. Puedes usar este servicio para contactar a la Ciudad de Clovis al marcar al 711.

Webpage posting: www.cityofclovis.com

DATE: January 26, 2024



2024-2025 COMMUNITY DEVELOPMENT BLOCK GRANT AND CALL FOR PROJECTS

The City of Clovis is now accepting affordable housing and community development project proposals for the 2024-2025 Community Development Block Grant (CDBG). Project proposals will be accepted by the Clovis Economic Development, Housing, and Communications Department until 4:00 P.M. on Wednesday, March 27, 2024, and is available for download by clicking on this link: [CDBG 2024-2025 Project Proposal Application Packet \(299.78 kB\)](#). Additional information is provided in the CDBG Tab of this website here: <https://cityofclovis.com/affordablehousing/cdbg-documents-2/>

CITY of CLOVIS
≡ MENU

housing@cityofclovis.com

CITY OF CLOVIS 2024-2025 COMMUNITY DEVELOPMENT BLOCK GRANT CALL FOR PROJECTS

January 26, 2024

The City of Clovis is now accepting affordable housing and community development project proposals for the 2024-2025 Community Development Block Grant (CDBG). Project proposals will be accepted by the Clovis Economic Development, Housing, and Communications Department until 4:00 P.M. on Wednesday, March 27, 2024, and is available for download here: [CDBG 2024-2025 Project Proposal Application Packet \(299.78 kB\)](#)

The 2024-2025 CDBG program year will begin on July 1, 2024, and end on June 30, 2025. While the exact amount of CDBG funding is unknown at this time, it is anticipated that Clovis will receive approximately \$652,000 from the U.S. Department of Housing and Community Development. It is anticipated that the total amount of proposals submitted will exceed the amount of funding available.

To be considered for funding, CDBG project proposals must meet one of the following objectives:

- Emergency Rental Assistance
- Tenant & Landlord Resources
- Facing Eviction
- Victim of Housing Discrimination
- At Risk of Foreclosure
- At Risk of Becoming or are Homeless
- Victim of Domestic Violence
- Not Sure and Need Help?
Call us at (559) 324-2060 or
Email housing@cityofclovis.com.

Directly benefit low- and moderate-income persons;
Aid in prevention or elimination of slums or blight;
Meet an urgent need (the activity provides a remedy to a serious and immediate health or welfare problem, such as a natural disaster).

Proposals will only be accepted from the following:

Governmental agencies
Non-profit organizations
Private for-profit entities

Examples of CDBG projects completed in previous program years include Housing Rehabilitation, ADA Improvements, Streets and Alley Improvements, Micro-Business Development and Public Services. A brief explanation of Eligible CDBG Activities is available here: [📄 CDBG Eligible Activities \(86.02 kB\)](#); and a map of CDBG Eligible Census tracts is available here: [📄 CDBG Eligible Areas Map \(790.35 kB\)](#).

A workshop for those interested in submitting a proposal will be held on Thursday, February 8, 2024, at 4:00 p.m. at the City Council Chambers of the City of Clovis, 1033 Fifth Street, Clovis, CA 93612. For further information about the CDBG program, please contact:

Claudia Cazares, Program Manager

Affordable Housing Programs

1033 Fifth Street, Clovis, CA 93612

(559) 324-2094

claudiac@cityofclovis.com

In compliance with the Americans with Disabilities Act, if you need special assistance or translation services to participate in this meeting, please contact Claudia Cazares at (559) 324-2094. Notification 48-hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility. It is the policy of the City of Clovis to not discriminate on the basis of race, color, national origin, religion, sex, and sexual preference. If you have a complaint or concern, please contact the City of Clovis 504 Coordinator at (559) 324-2060.

DATE: February 28, 2024



City of Clovis

cityofclovis.com

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CITY of CLOVIS MENU

Anuncio de junta comunitaria, 14 de marzo: Programa de Fondos para el Desarrollo de la Comunidad ("CDBG") para el año 2024-2025

WELCOME TO THE CITY of CLOVIS

PAY & APPLY EMPLOYMENT PUBLIC SAFETY NEWS AGENDAS RESIDENTS

City of Clovis • 1022 Fifth Street • Clovis, CA • 99610 • TTY 711

ATTACHMENT

City Council Resolution
To be inserted
Pending Public Hearing of May 6, 2024

ATTACHMENT

Federal CDBG Application and Attachments
To be inserted after May 6, 2024 public hearing



CITY *of* CLOVIS

REPORT TO THE CITY COUNCIL

- TO: Mayor and City Council
- FROM: Planning and Development Services
- DATE: May 6, 2024
- SUBJECT: Consider items associated with approximately 155 acres of land located on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues. Great Bigland, LP., owner/ applicant; Harbour and Associates, representative. (Continued from the March 18, 2024, Council Meeting)
- a. Consider Approval - Res. 24-____, A Resolution of the Clovis City Council approving adoption of an addendum to the previously certified EIR for the Shepherd North Project.
 - b. Consider Approval - Res. 24-____, GPA2021-006, A Resolution of the Clovis City Council approving a request to amend the circulation element of the General Plan to allow for the placement of a Shepherd Avenue access point on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues.
 - c. Consider Approval - Res. 24-____, GPA2021-005, A Resolution of the Clovis City Council approving a request to amend the land use element of the General Plan for the Development Area (approximately 77 acres) from the Rural Residential land use designation to the Medium-High Density Residential land use designation.
 - d. Consider Introduction - Ord. 24-____, R2021-009, An Ordinance of the Clovis City Council approving a request to prezone property within the Development Area (approximately 77 acres) of the Project site from the Fresno County AL20 Zone District to the Clovis R-1-PRD Zone District.
 - e. Consider Approval - Res. 24-____, TM6205, A Resolution of the Clovis City Council approving a request to approve a vesting tentative tract map for a 605-lot single-family planned residential development.

f. Consider Approval - Res. 24-____, PDP2021-004, A Resolution of the Clovis City Council approving a request to approve a planned development permit for a 605-lot single-family residential development.

g. Consider Approval - Res. 24-____, A Resolution of the Clovis City Council approving an amendment to the 2017 Amended and Restated Memorandum of Understanding between the County of Fresno and City of Clovis regarding a Sphere of Influence Expansion to add approximately 155 acres and the Standards of Annexation to address the annexation of approximately 77 acres of property (Shepherd-Sunnyside Northeast Reorganization).

Staff: George González, Senior Planner

Recommendation: Approve

ATTACHMENTS:

1. Draft Resolution Addendum to Certified EIR
2. Draft Resolution GPA2021-006
3. Draft Resolution GPA2021-005
4. Draft Ordinance R2021-009
5. Draft Resolution TM6205
6. Draft Resolution PDP2021-004
7. Draft Resolution Fourth Amendment to MOU
8. Applicant's Justification for GPA2021-005 & GPA2021-006
9. Applicant's Development Standards – Citrea
10. Applicant's Development Standards – Elev8ions
11. Applicant's Development Standards – Regent Park
12. Floor & Elevation Plans – Citrea
13. Floor & Elevation Plans – Elev8ions
14. Floor & Elevation Plans – Regent Park
15. Open Space & Park Exhibit
16. Correspondence from Commenting Agencies
17. Findings in Support of Project Applications
18. 2017 Amended and Restated Memorandum of Understanding between the County of Fresno and City of Clovis
19. March 18, 2024, City Council Staff Report
20. Existing & Proposed Project Design Accommodations

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

Staff recommends that the City Council take action to approve each component of the proposed Project as outlined in the subject title of this item. Staff will note, if no Project revisions are made, the addendum to the previously certified EIR (**Attachment 1A**) does not need to be considered.

EXECUTIVE SUMMARY

At the March 18, 2024, public hearing, the City Council approved the Project EIR, sphere of influence, and annexation components of the proposed Project. Furthermore, the City Council requested that the developer meet with the adjacent neighbors again to discuss and potentially address some of the concerns presented during the public hearing. The Council continued the remaining six (6) components of the proposed Project to a date certain, May 6, 2024.

City staff assisted in facilitating two neighborhood meetings between the developer and adjacent property owners. The first meeting on April 2, 2024, was primarily an opportunity for neighboring property owners express concerns and ask questions. The second meeting on April 17, 2024, was designed as a follow-up meeting where responses and answers to neighbor comments were provided by the developer and City staff. The developer described potential modifications to the Project to help address some of the neighborhood concerns, but no agreement was reached between both parties.

The applicant is requesting approval of the six component items outlined above associated with the proposed Project, as originally presented to the City Council on March 18, 2024. Staff has included the March 18, 2024, City Council staff report (**Attachment 19**), which provides staff's analysis and the specific requests associated with the proposed general plan amendments, prezone, vesting tentative tract map, planned development permit, and the fourth amendment to the MOU between the County of Fresno and City of Clovis.

BACKGROUND

Following Council's direction from the March 18, 2024, meeting, staff worked with the developer to identify two dates in April (April 2nd and April 17th) to hold neighborhood meetings. Mailed notices were sent notifying the original public notification list for the Project, comprised of 580 properties, of both meetings. On April 2, 2024, City staff facilitated the first neighborhood meeting at the City of Clovis Transit Center where approximately 45-50 people attended the meeting. Additionally, members of the developer team and Fresno LAFCo were also in attendance at the meeting. County staff were invited to attend the meeting, but declined to participate and confirmed that County staff would be conducting a separate meeting between staff and area residents focusing on Sunnyside Avenue. The County's meeting was subsequently scheduled for May 1st.

The primary intent of the April 2nd meeting was to allow residents to express their concerns with the proposed Project and ask questions. If any items were unable to be addressed during the meeting, the developer and/or City staff would further evaluate the item in question and provide an answer to the neighbors at the second neighborhood meeting. Some of the main points of concern expressed at the meeting included traffic, density, water, Perrin Road, Sunnyside Avenue, Shepherd Avenue, fourth MOU amendment, and annexation.

On April 17, 2024, City staff facilitated the second neighborhood meeting at the City of Clovis Senior Activity Center along with the developer. Additionally, County staff, Fresno LAFCO, and the Chief of Staff for Supervisor Nathan Magsig were also in attendance at this meeting. The developer outlined a series of potential changes (**Attachment 20**) that could be made to the Project to address, in part, neighbor comments and concerns. Most of the modifications focused on design and layout within the proposed subdivision. Examples include a reduction in the

number of lots (from 605 to 580 units), adding the Windsor (larger) product to the northern portion of the proposed project, relocating the gated entry on the north side of Heirloom Avenue to enhance the landscape buffer, increasing wall height and limiting height of play structure, committed to minimizing impacts to the intersection of Shepherd and Fowler Avenues, and extend the water line along Perrin Avenue with three (3) stub out locations.

The developer presented these potential modifications with the condition that the neighbors supported the Project and take no legal action against the City. After additional discussion with the neighbors, the developer was unable to acquire consensus in support of the Project from the neighbors. Therefore, no changes to the Project are proposed.

PROPOSAL AND ANALYSIS

Proposal

The complete analysis of the proposed Project may be reviewed under the March 18, 2024, City Council staff report (**Attachment 19**). Below, please find a brief summary of each component of the proposed Project that were continued to the May 6, 2024, City Council meeting.

General Plan Amendment 2021-006

The applicant is requesting to amend the General Plan Circulation Element to allow for a placement of a Shepherd Avenue access point.

General Plan Amendment 2021-005

The applicant is requesting to amend the General Plan Land Use Designation for approximately 77 acres (Development Area) from the Rural Residential (1 DU/2 AC) land use designation to the Medium-High Density Residential (7.1 to 15.0 DU/AC) land use designation. The actual density for the proposed Project is approximately 7.77 units per acre. The applicant has provided a justification for both proposed general plan amendments (**Attachment 8**).

Prezone 2021-006

The applicant is requesting to prezone the Project site (Development Area) from the Fresno County AL20 Zone District to the Clovis R-1-PRD (Planned Residential Development) Zone District.

Vesting Tentative Tract Map 6205

The applicant is requesting approval of a Vesting Tentative Tract Map 6205 (**Attachment 5A**). The map includes 605 lots and is consistent with the requirements of the Subdivision Map Act.

If the City Council decides to consider the Revised Vesting Tentative Tract Map 6205 with 580 lots, please note that the updated 6205 map, Windsor product floor plans and elevations, and the associated development standard sheet have been included under **Attachment 20**.

Planned Development Permit 2021-004

The applicant is requesting approval of Planned Development Permit 2021-004. The applicant has provided a list of development standards as outlined in **Attachments 9, 10 and 11**. These standards are incorporated into the Project's planned development permit (PDP). Internal amenities within the Project and public/community amenities have been identified in conjunction with the PDP.

Fourth Amendment to the MOU

The City staff worked with the County of Fresno to draft the Fourth Amendment to the Memorandum of Understanding (**Attachment 7B**). A Fourth Amendment to the MOU between the County of Fresno and City of Clovis is necessary to accommodate the sphere of influence expansion area and the annexation of the Shepherd-Sunnyside Northeast Reorganization to the City of Clovis. During the City Council's discussion on March 18, 2024, some concern was expressed over the traffic enforcement provisions contained in the MOU. After that discussion, City staff spoke with County staff about the possibility for additional changes to the MOU. County staff noted that the proposed language has been incorporated into previous MOU amendments for other street sections and to that extent, has become standard. No additional changes were entertained. The specific language addressing traffic enforcement is included below.

Upon written request from the Fresno County Director of Public Works and Planning to the Clovis City Manager, the City shall commence and be responsible for specific traffic enforcement activities for Sunnyside Avenue between Shepherd and Nees Avenues within the confines of the Dry Creek Preserve area beginning no later than thirty (30) days after receipt of the request.

California Environmental Quality Act (CEQA)

The City prepared a Revised Final EIR for the proposed Project in compliance with State CEQA Guidelines. On March 18, 2024, the City Council certified the Revised Final Project Environmental Impact Report for the Shepherd North Project; adopted the CEQA Findings of Fact and a Statement of Overriding Consideration; and adopted a Mitigation Monitoring and Reporting Program.

Subsequent to the certification of the Project EIR, the City prepared an EIR Addendum (**Attachment 1A**) to analyze the proposed revisions presented to the neighbors on April 17, 2024. Though the applicant has not requested to modify the project to include these revisions (due to the absence of an agreement with the neighboring property owners) the addendum has been completed and provided to the Council in the event that some or all of the revisions contemplated by the applicant are eventually incorporated into the project. The Addendum concludes that the proposed revisions do not cause a new significant impact or substantially increase the severity of a previously identified significant impact. Therefore, a subsequent EIR is not required per CEQA Guidelines section 15162. If any of the revisions contemplated by the applicant are incorporated into the approval of the Project, the Council must review and consider the information presented in the addendum as part the approval (**Attachment 1A**). If no Project revisions are made, the addendum does not need to be considered.

REASON FOR RECOMMENDATION

As stated in the March 18, 2024, City Council staff report, the proposal will provide a diversity in housing types and a quality residential environment for this area. The Project does not substantially impact sewer, water and other public services and will contribute to their proportionate share of infrastructure and open space. The proposed vesting tentative tract map is consistent with the goals and policies of the General Plan and Development Code. Each component of the Project meets the findings that must be considered when making a decision on a project, as outlined in detail in **Attachment 17**. Staff therefore recommends that the City Council approve GPA2021-006, GPA2021-005, R2021-009, TM6205, PDP2021-004, and the fourth amendment to the MOU, subject to the conditions of approval attached as **Attachment 5B** and **Attachment 6A** of this staff report.

ACTIONS FOLLOWING APPROVAL

The approved resolution for the Fourth Amendment to the MOU will be forwarded to the County Board of Supervisors for consideration and approval. The Project approvals will be provided to LAFCo, allowing LAFCo proceedings to begin on the SOI amendment and annexation.

Prepared by: George González, MPA, Senior Planner

Reviewed by: City Manager *JH*

RESOLUTION 24-____**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS
APPROVING ADOPTION OF AN ADDENDUM TO THE PREVIOUSLY CERTIFIED
ENVIRONMENTAL IMPACT REPORT FOR THE SHEPHERD NORTH PROJECT**

WHEREAS, Great Bigland, LP., 7550 N. Palm Avenue, Suite 102, Fresno, CA 93711, initiated the applications for (i) General Plan Amendment 2021-006 to amend the Circulation Element of the 2014 Clovis General Plan to allow for placement of an access point on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues; (ii) General Plan Amendment 2021-005 to amend the Land Use Element of the 2014 Clovis General Plan to re-designate land from the Rural Residential (1 DU/2 Ac) land use designation to the Medium-High Density Residential (7.1 to 15.0 DU/AC) land use designation; (iii) Prezone 2021-009 to prezone approximately 77 acres from the Fresno County AL20 Zone District to the Clovis R-1-PRD (Single Family Planned Residential Development) Zone District; (iv) Vesting Tentative Tract Map 6205 for a 605-lot single-family subdivision; (v) Planned Development Permit 2021-004 to deviate from the R-1 Zone District development standards associated with Vesting Tentative Tract Map 6205; (vi) and the Fourth Amendment to the MOU; and

WHEREAS, the City prepared a Revised Final EIR for the Project in compliance with State CEQA Guidelines. On March 18, 2024, the City Council certified the Revised Final Project Environmental Impact Report for the Shepherd North Project; adopted the CEQA Findings of Fact and a Statement of Overriding Consideration; and adopted a Mitigation Monitoring and Reporting Program; and

WHEREAS, the City prepared an EIR Addendum to analyze the proposed revisions presented to the neighbors on April 17, 2024 and to the City Council on May 6, 2024. The addendum has been provided to the Council in the event that some or all of the revisions completed by the applicant are incorporated into the project; and

WHEREAS, the EIR Addendum concludes that the proposed revisions do not cause a new significant impact or substantially increase the severity of a previously identified significant impact; and

WHEREAS, a subsequent EIR is not required per CEQA Guidelines section 15162; and

WHEREAS, the EIR Addendum was prepared in accordance with the California Environmental Quality Act ("CEQA"), including CEQA Guidelines section 15162, subd. (a)(2). There have been no changes in the environmental conditions on the property not previously contemplated and analyzed in the certified EIR that would result in new or substantially more severe environmental impacts; and

WHEREAS, the City Council has had an opportunity to independently review, evaluate and consider the entire Administrative Record relating to the Project and the EIR Addendum, which is on file with the City's Department of Planning and Development Services ("Department"), and reviewed and considered those portions of the Administrative Record determined to be

necessary to make an informed decision, including, but not necessarily limited to, the staff report, the written materials submitted with the requests, and the verbal and written testimony and other evidence presented during the public hearing; and

WHEREAS, the City Council has independently reviewed and considered the EIR Addendum (**Attachment A**); and

WHEREAS, the City Council has evaluated and considered all comments, written and oral, received from persons who reviewed the EIR Addendum, or otherwise commented on the Project; and

NOW, THEREFORE, BASED UPON THE ENTIRE RECORD OF THE PROCEEDINGS, THE CITY COUNCIL RESOLVES AND FINDS AS FOLLOWS:

1. Finds that the EIR Addendum for the Project is adequate and has been completed in compliance with CEQA and the CEQA Guidelines.
2. Finds and declares that the EIR Addendum was presented to the City Council and that the City Council has independently reviewed and considered the information contained in the EIR Addendum prior to recommending approval of the Project.
3. Based upon its review of the EIR Addendum, finds that the EIR Addendum is an adequate assessment of the proposed revisions of the Project and represents the independent judgment of the City Council.
4. Finds that there is no new information of substantial importance (which was not known or could not have been known at the time of the application, that identifies: a new significant impact (CEQA Guidelines section 15162, subd. (a)(3)(A)), a substantial increase in the severity of a previously identified significant impact (CEQA Guidelines section 15162, subd. (a)(3)(B)); mitigation measures or alternatives previously found infeasible that would now be feasible and would substantially reduce one or more significant effects; or mitigation measures or alternatives which are considerably different from those analyzed in the certified EIR which would substantially reduce one or more significant effects on the environment (CEQA Guidelines section 15162, subdivision (a)(3)(C) and (D)). None of the “new information” conditions listed in the CEQA Guidelines section 15162, subdivision (a)(3) are present here to trigger the need for a Subsequent or Supplemental EIR.
5. The City Council does approve the adoption of the EIR Addendum as adequate and completed in compliance with CEQA and the CEQA Guidelines.
6. The City Council does adopt the EIR Addendum set forth in **Attachment A**.

* * * * *

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote, to wit.

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

DATED: May 6, 2024

Mayor

City Clerk

EIR ADDENDUM

FOR THE

SHEPHERD NORTH PROJECT

APRIL 25, 2024

Prepared for:

City of Clovis
Planning Division
1033 Fifth Street
Clovis, CA 93612
(559) 324-2340

Prepared by:

De Novo Planning Group
1020 Suncastr Lane, Suite 106
El Dorado Hills, CA 95762
(916) 580-9818

D e N o v o P l a n n i n g G r o u p

A Land Use Planning, Design, and Environmental Firm

EIR ADDENDUM
FOR THE
SHEPHERD NORTH PROJECT

APRIL 22, 2024

Prepared for:

City of Clovis
Planning Division
1033 Fifth Street
Clovis, CA 93612
(559) 324-2340

Prepared by:

De Novo Planning Group
1020 Suncast Lane, Suite 106
El Dorado Hills, CA 95762
(916) 580-9818

EIR ADDENDUM

1.1 PROJECT BACKGROUND

On March 18, 2024, the City of Clovis, as the lead agency, certified an EIR for the Shepherd North project and approved certain entitlements and continued other entitlements for a later hearing. At the certification hearing the City Council directed City staff, and the applicant (Wilson Homes), to meet with neighbors to attempt to resolve certain concerns raised during the Planning Commission and City Council hearings. The City Council decided to continue action on certain entitlement requests until after meetings could be held between these parties to attempt to resolve the concerns.

A meeting with City staff and Wilson Homes' representatives occurred on April 2, 2024, with about 50 area neighbors, including persons from the Dry Creek Preserve, Fowler Ave, Sunnyside Ave, and the Lexington/Purdue 18-lot neighborhood. There were many diverse views stated and Wilson agreed to evaluate the feasibility of many of the requests and report any project-related accommodations at a second meeting. The neighbors' requests included: reducing the number of units, building a taller block wall (approximately 7') along Heirloom & Fordham, reducing the height of park equipment, installing water lines into the Lexington/Purdue neighborhood (costs to be paid entirely by Wilson), providing City water to the Lexington/Purdue neighborhood, annexing the Lexington/Purdue neighborhood into the City of Clovis (costs to be paid entirely by the neighbors), closing Sunnyside Ave south of Shepherd, and delaying further development approvals within the Heritage Grove area until the streets to serve that area are completed to City standards.

1.2 PROJECT REVISIONS

Wilson Homes evaluated the feasibility of the requests and has offered to revise the project to accommodate certain concerns subject to City and County approval. The following revisions are proposed by Wilson Homes to accommodate such concerns and were presented to the area neighbors at the second neighborhood meeting held on Wednesday, April 17, 2024. Exhibits 1 and 2 illustrate the project approved with the certified EIR and the proposed revised project, respectively.

- **Reduce Project Density** and Revise Product in the north neighborhood from *Regent Park* to *Windsor*
 - 20% Further Density Reduction in the north neighborhood, Reduced from 132 Lots to 107 Lots (Density Reduced from 4.73 DU/Ac to 3.82 DU/Ac)
 - Total project reduced from 605 to 580 units
 - All 107 lots will be Wilson's Windsor product
 - All 107 Lots will be restricted to Single Story Homes
- **Add Buffer Area**
 - Relocate the interior street connection to the gated subdivision north of Heirloom from mid-block to the west property line to allow enhanced landscape buffer and street buffering across the entire westerly frontage of the site.

EIR ADDENDUM

- **Increase Wall Height and Reduce Play Structure Height**
 - Add one course of block to wall height along Heirloom and Trail within gated community effectively increasing the wall from 6' to 6'-8" plus a concrete cap to achieve approximately 7' total wall height (wall heights always vary slightly as constructed).
 - Reduce Play structure Height to minimize park impacts to adjacent neighbors.
- **Reduce Fowler Ave Construction Traffic Impacts**
 - Extend/stub utilities required in Shepherd Ave past the intersection of Fowler Avenue (east) to minimize impacts to this intersection resulting from future extensions of pipelines and improvements.
- **Install Water Facilities to assist the Lexington/Purdue neighbors**
 - To serve Lexington & Purdue neighbors - Build 1320 Linear feet of new 16" water main in Perrin Avenue from the project's emergency vehicle access (EVA) at Stanford and Sunnyside and connecting to the 24" Transmission pipeline at Sunnyside Avenue.
 - To serve Lexington & Purdue neighbors – Stub 8" water main south from the proposed new water main in Perrin Ave at 2 locations: at Purdue and at Sunnyside.
 - To serve Lexington & Purdue neighbors - Stub 8" water main north from project improvements in Sunnyside and Heirloom.

Wilson Homes and City staff determined that the Shepherd North project is unable to accommodate requests to install water lines inside the Lexington/Purdue neighborhood, provide City water to the Lexington/Purdue neighborhood, annex the Lexington/Purdue neighborhood into the City of Clovis, close Sunnyside Ave south of Shepherd, or delay further development approvals in the Heritage Grove area until the streets to serve that area are completed to City standards.

1.3 CEQA DOCUMENT FOR REVISIONS

The City has determined that the proposed revisions should be analyzed under an EIR Addendum. CEQA Guidelines Section 15164 defines an Addendum as:

The lead agency or responsible agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred.

....A brief explanation of the decision not to prepare a subsequent EIR pursuant to Section 15162 should be included in an addendum to an EIR, the lead agency's findings on the project, or elsewhere in the record.

Decision to not prepare a Subsequent EIR

The following analysis shows that the proposed changes do not cause a new significant impact or substantially increase the severity of a previously identified significant impact, and there have been no other changes in the circumstances that meet this criterion (CEQA Guidelines section 15162, subd. (a)(2).) There have been no changes in the environmental conditions on the property not previously contemplated and analyzed in the EIR that would result in new or substantially more

severe environmental impacts. There is no new information of substantial importance (which was not known or could not have been known at the time of the application, that identifies: a new significant impact (CEQA Guidelines section 15162, subd. (a)(3)(A)); a substantial increase in the severity of a previously identified significant impact (CEQA Guidelines section 15162, subd. (a)(3)(B)); mitigation measures or alternatives previously found infeasible that would now be feasible and would substantially reduce one or more significant effects; or mitigation measures or alternatives which are considerably different from those analyzed in the EIR which would substantially reduce one or more significant effects on the environment (CEQA Guidelines section 15162, subd. (a)(3)(C) and (D)). None of the “new information” conditions listed in the CEQA Guidelines section 15162, subdivision (a)(3) are present here to trigger the need for a Subsequent or Supplemental EIR.

CEQA Guidelines section 15164 states that, “[t]he lead agency or a responsible agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred.” An addendum is appropriate here because, as explained above, none of the conditions calling for preparation of a subsequent EIR have occurred.

The section below identifies the environmental topics addressed in the EIR, provides a summary of impacts associated with the Original Project, as described in the EIR, and includes a brief analysis of the potential impacts associated with the revisions when compared to the Project approved under the certified EIR.

1.4 ANALYSIS

Analysis of Impacts Found to be Less Than Significant

Specific impacts within the following categories of environmental effects were found to be less than significant as set forth in more detail in the certified EIR. Following each bullet is a conclusion on whether the proposed revision changes the impact conclusion found in the original EIR.

Aesthetics and Visual Resources: The following specific impacts were found to be less than significant: 3.1-1, 3.1-2, and 3.1-3.

- Some of the revisions to the project are specifically aimed at alleviating aesthetic and visual concerns raised by neighbors. The revisions do not increase the severity of any impact. These revisions would be beneficial as it relates to this environmental topic. However, the revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Agricultural Resources: The following specific impacts were found to be less than significant: 3.2-1, 3.2-2, and 3.2-3.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not

EIR ADDENDUM

change the environmental conclusion of less than significant that was provided in the certified EIR.

Air Quality: The following specific impacts were found to be less than significant: 3.3-1, 3.3-2, 3.3-3, 3.3-4, and 3.3-5.

- The revisions do not increase the severity of any impact. These revisions that would reduce density will result in slightly less vehicle trips per day which will translate into slightly less vehicle air quality emissions per day. The revisions will also result in slightly less area source air quality emissions under operational conditions. These revisions would be beneficial as it relates to this environmental topic. However, the revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Biological Resources: The following specific impacts were found to be less than significant: 3.4-1, 3.4-2, 3.4-5, 3.4-6, 3.4-7, 3.4-8, 3.4-9, and 3.4-10.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Geology and Soils: The following specific impacts were found to be less than significant: 3.6-1, 3.6-2, 3.6-3, 3.6-4, 3.6-5, and 3.6-7.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Greenhouse Gases, Climate Change, and Energy: The following specific impacts were found to be less than significant: 3.7-1 and 3.7-2.

- The revisions do not increase the severity of any impact. These revisions that would reduce density will result in slightly less vehicle trips per day which will translate into slightly less vehicle GHG emissions per day. The revisions will also result in slightly less area source GHG emissions under operational conditions. These revisions would be beneficial as it relates to this environmental topic. However, the revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Hazards and Hazardous Materials: The following specific impacts were found to be less than significant: 3.8-2, 3.8-3, 3.8-4, 3.8-5, and 3.8-6.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not

INTRODUCTION

change the environmental conclusion of less than significant that was provided in the certified EIR.

Hydrology and Water Quality: The following specific impacts were found to be less than significant: 3.9-1, 3.9-2, 3.9-3, 3.9-4, 3.9-5, and 3.9-6.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Land Use and Population: The following specific impacts were found to be less than significant: 3.10-1, 3.10-2, 3.10-3, and 3.10-4.

- Some of the revisions to the project are specifically aimed at alleviating land use concerns raised by neighbors. The revisions do not increase the severity of any impact. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Noise: The following specific impacts were found to be less than significant: 3.11-3, 3.11-4, and 3.11-5.

- The revisions do not increase the severity of any impact. These revisions that would reduce density will result in slightly less vehicle trips per day which will translate into slightly less vehicle noise along roadways. These revisions would be beneficial as it relates to this environmental topic. However, the revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Public Services and Recreation: The following specific impacts were found to be less than significant: 3.12-1, 3.12-2, 3.12-3, 3.12-4, 3.12-5, and 3.12-6.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Transportation and Circulation: The following specific impacts were found to be less than significant: 3.13-2 and 3.13-3.

- The revisions do not increase the severity of any impact. The revisions reducing density will result in slightly less vehicle trips per day which will translate into slightly less vehicle miles along roadways. The revisions would be beneficial as related to this environmental topic. While the proposed revisions do not have any significant change to the safety of the roadways, the revisions also do not change the environmental conclusion of less than significant that was provided in the certified EIR.

EIR ADDENDUM

Utilities: The following specific impacts were found to be less than significant: 3.14-1, 3.14-2, 3.14-3, 3.14-4, 3.14-5, and 3.14-6, 3-14.7.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Analysis of Impacts Found to be Less Than Cumulatively Considerable

Specific impacts within the following categories of environmental effects were found to be less than cumulatively considerable contribution as set forth in more detail in the certified EIR. Following each bullet is a conclusion on whether the proposed revision change the impact conclusion found in the original EIR.

Aesthetics and Visual Resources: The following specific impact was found to be less than cumulatively considerable: 4.1, 4.2, and 4.3.

- Some of the revisions to the project are specifically aimed at alleviating aesthetic and visual concerns raised by neighbors. The revisions do not increase the severity of any impact. These revisions would be beneficial as it relates to this environmental topic. However, the revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Agricultural Resources: The following specific impact was found to be less than cumulatively considerable: 4.4.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Air Quality: The following specific impact was found to be less than cumulatively considerable 4.5.

- The revisions do not increase the severity of any impact. These revisions that would reduce density will result in slightly less vehicle trips per day which will translate into slightly less vehicle air quality emissions per day. The revisions will also result in slightly less area source air quality emissions under operational conditions. These revisions would be beneficial as it relates to this environmental topic. However, the revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Biological Resources: The following specific impact was found to be less than cumulatively considerable: 4.6.

INTRODUCTION

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Cultural and Tribal Resources: The following specific impact was found to be less than cumulatively considerable: 4.7.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Geology and Soils: The following specific impact was found to be less than cumulatively considerable: 4.8.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Greenhouse Gases, Climate Change, and Energy: The following specific impact was found to be less than cumulatively considerable: 4.9 and 4.10.

- The revisions do not increase the severity of any impact. These revisions that would reduce density will result in slightly less vehicle trips per day which will translate into slightly less vehicle GHG emissions per day. The revisions will also result in slightly less area source GHG emissions under operational conditions. These revisions would be beneficial as it relates to this environmental topic. However, the revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Hazards and Hazardous Materials: The following specific impact was found to be less than cumulatively considerable: 4.11.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Hydrology and Water Quality: The following specific impacts were found to be less than cumulatively considerable: 4.12, 4.13, 4.14, and 4.15.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

EIR ADDENDUM

Land Use and Population: The following specific impact was found to be less than cumulatively considerable: 4.16 and 4.17.

- Some of the revisions to the project are specifically aimed at alleviating land use concerns raised by neighbors. The revisions do not increase the severity of any impact. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Noise: The following specific impact was found to be less than cumulatively considerable: 4.18.

- The revisions do not increase the severity of any impact. These revisions that would reduce density will result in slightly less vehicle trips per day which will translate into slightly less vehicle noise along roadways. These revisions would be beneficial as it relates to this environmental topic. However, the revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Public Services and Recreation: The following specific impact was found to be less than cumulatively considerable: 4.19.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Transportation and Circulation: The following specific impact was found to be less than cumulatively considerable: 4.21.

- The revisions do not increase the severity of any impact. The revisions reducing density will result in slightly less vehicle trips per day which will translate into slightly less vehicle miles along roadways. The revisions would be beneficial as related to this environmental topic. While the proposed revisions do not have any significant change to the safety of the roadways, the revisions also do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Utilities: The following specific impacts were found to be less than cumulatively considerable: 4.22, 4.23, 4.24, 4.25, and 4.26.

- The revisions do not increase the severity of any impact. These revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant that was provided in the certified EIR.

Analysis of Impacts Found to be Less Than Significant with Mitigation

Specific impacts within the following categories of environmental effects were found to be less than cumulatively considerable contribution with mitigation as set forth in more detail in the certified EIR. Following each bullet is a conclusion on whether the proposed revision change the impact conclusion found in the original EIR.

Biological Resources

Impact 3.4-3: The proposed Project has the potential to have direct or indirect effects on special-status bird species. The potential for the Project to have direct or indirect effects on special-status bird species is discussed on page 3.4-22 through 3.4-28 of the Draft EIR. The following mitigation measure was adopted and will be implemented as provided by the Mitigation Monitoring Program: Mitigation Measure 3.4-1. The revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant with mitigation that was provided in the certified EIR.

Impact 3.4-4: The proposed Project has the potential to result in direct or indirect effects on special-status mammal species. The potential for the Project to result in direct or indirect effects on special-status mammal species is discussed on pages 3.4-28 and 3.4-29 of the Draft EIR. The following mitigation measure was adopted and will be implemented as provided by the Mitigation Monitoring Program: Mitigation Measure 3.4-2. The revisions do not have a net change in impact as it relates to this environmental topic. The revisions do not change the environmental conclusion of less than significant with mitigation that was provided in the certified EIR.

Cultural and Tribal Resources

Impact 3.5-1: Project implementation has the potential to cause a substantial adverse change to a significant historical or archaeological resource, as defined in CEQA Guidelines §15064.5. The potential for the Project to cause a substantial adverse change to a significant historical or archaeological resource, as defined in CEQA Guidelines §15064.5, is discussed on pages 3.5-14 through 3.5-17 of the Draft EIR. The following mitigation measure was adopted and will be implemented as provided by the Mitigation Monitoring Program: Mitigation Measure 3.5-1. The revisions do not change the environmental conclusion of less than significant with mitigation that was provided in the certified EIR.

Impact 3.5-2: Project implementation has the potential to disturb human remains, including those interred outside of formal cemeteries. The potential for the Project to disturb human remains, including those interred outside of formal cemeteries is discussed on page 3.5-17 of the Draft EIR. The following mitigation measure was adopted and will be implemented as provided by the Mitigation Monitoring Program: Mitigation Measure 3.5-1. The revisions do not change the environmental conclusion of less than significant with mitigation that was provided in the certified EIR.

EIR ADDENDUM

Impact 3.5-3: Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074, and that is: Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k), or a resource determined by the lead agency. The potential for the Project to cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074, and that is: Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k), or a resource determined by the lead agency, is discussed on page 3.5-18 of the Draft EIR. The following mitigation measure was adopted and will be implemented as provided by the Mitigation Monitoring Program: Mitigation Measure 3.5-1. The revisions do not change the environmental conclusion of less than significant with mitigation that was provided in the certified EIR.

Geology and Soils

Impact 3.6-6: The proposed Project has the potential to directly or indirectly destroy a unique paleontological resource or site or unique geologic feature. The potential for the Project to directly or indirectly destroy a unique paleontological resource or site or unique geologic feature is discussed on page 3.6-23 of the Draft EIR. The following mitigation measure were adopted and will be implemented as provided by the Mitigation Monitoring Program: Mitigation Measure 3.6-1. The revisions do not change the environmental conclusion of less than significant with mitigation that was provided in the certified EIR.

Hazards and Hazardous Materials

Impact 3.8-1: Potential to create a significant hazard through the routine transport, use, or disposal of hazardous materials or through the reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. The potential to create a significant hazard through the routine transport, use, or disposal of hazardous materials or through the reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment is discussed on pages 3.8-20 through 3.8-24 of the Draft EIR. The following mitigation measures were adopted and will be implemented as provided by the Mitigation Monitoring Program: Mitigation Measures 3.8-1 and 3.8-2. The revisions do not change the environmental conclusion of less than significant with mitigation that was provided in the certified EIR.

Noise

Impact 3.11-1: Operational Noise - The Proposed Project has the potential to generate a substantial temporary or permanent increase in ambient noise levels in the vicinity of the Project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. The potential to generate a

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substantial temporary or permanent increase in ambient noise levels in the vicinity of the Project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies during operation is discussed on pages 3.11-15 through 3.11-19 of the Draft EIR. The following mitigation measures were adopted and will be implemented as provided by the Mitigation Monitoring Program: Mitigation Measures 3.11-1 and 3.11-2. The revisions do not change the environmental conclusion of less than significant with mitigation that was provided in the certified EIR.

Impact 3.11-2: Construction Noise - The Proposed Project has the potential to generate a substantial temporary or permanent increase in ambient noise levels in the vicinity of the Project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. The potential to generate a substantial temporary or permanent increase in ambient noise levels in the vicinity of the Project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies during construction is discussed on pages 3.11-19 and 3.11-20 of the Draft EIR. The following mitigation measures were adopted and will be implemented as provided by the Mitigation Monitoring Program: Mitigation Measures 3.11-3 and 3.11-4. The revisions do not change the environmental conclusion of less than significant with mitigation that was provided in the certified EIR.

Analysis of Impacts Found to be Significant and Unavoidable

Transportation and Circulation

Impact 3.13-1: Project implementation would result in VMT increases that are greater than 87 percent of Baseline conditions. The potential for the Project to result in VMT increases that are greater than 87 percent of Baseline conditions is discussed on pages 3.13-18 through 3.13-23 of the Draft EIR. No feasible mitigation measures were identified. The City Council found that impact would remain significant and unavoidable after all design measures were incorporated. The City found that environmental, economic, social, and other benefits of the Project override any remaining significant adverse impact of the Project associated with cumulative impacts related to VMT increases that are greater than 87 percent of Baseline conditions.

- The revisions do not increase the severity of any impact. These revisions that would reduce density will result in slightly less vehicle trips per day which will translate into slightly less vehicle miles along roadways. These revisions would be beneficial as it relates to this environmental topic. However, the revisions do not change the environmental conclusion of significant and unavoidable that was provided in the certified EIR.

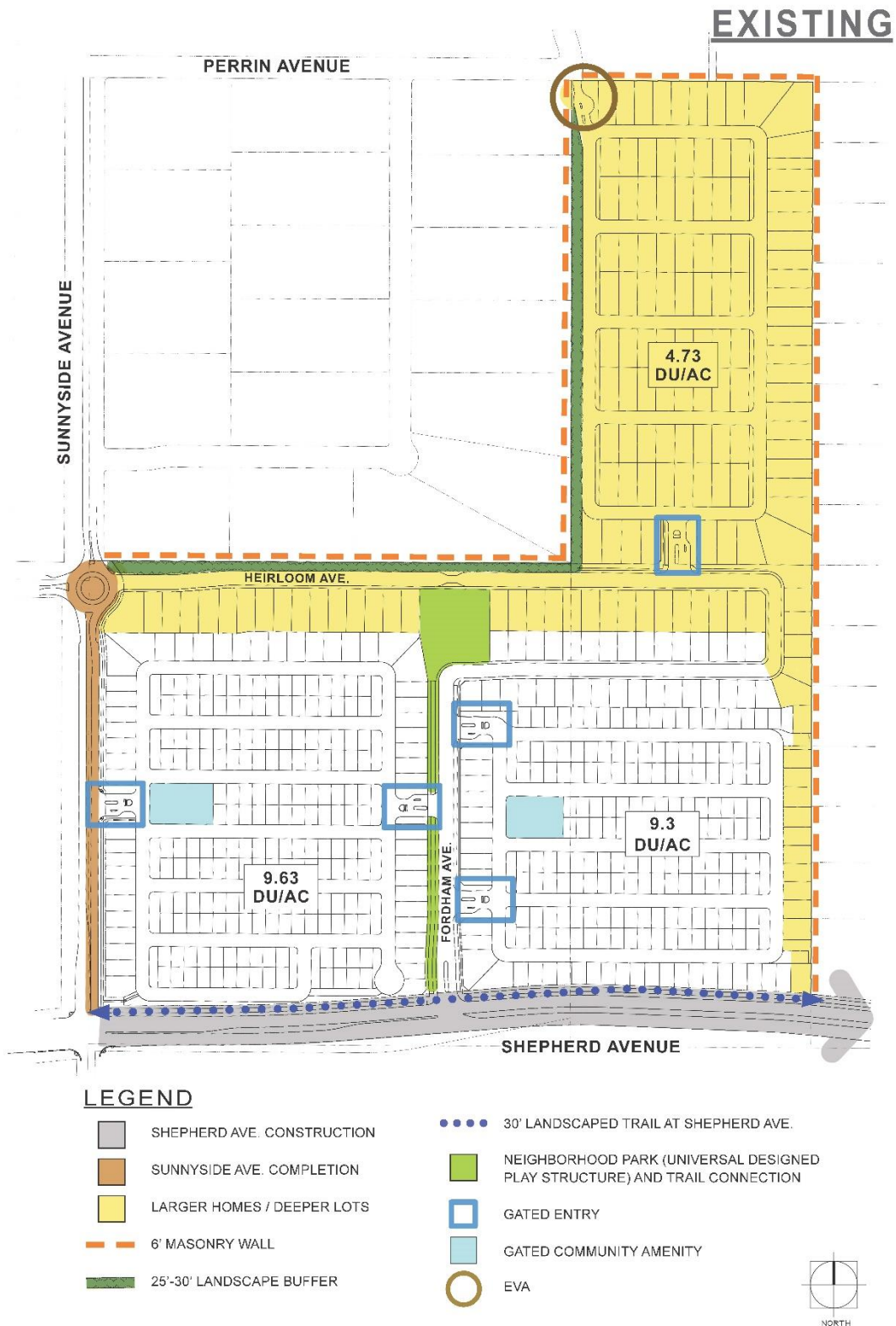
Impact 4.20: Under Cumulative conditions, Project development would result in VMT increases that are greater than 87 percent of Baseline conditions. The potential for the Project to result in VMT increases that are greater than 87 percent of Baseline conditions is discussed on page 4.0-19 of the Draft EIR. No feasible mitigation measures

EIR ADDENDUM

were identified. The City Council found that impact would remain significant and unavoidable after all design measures were incorporated. The City found that environmental, economic, social, and other benefits of the Project override any remaining significant adverse impact of the Project associated with cumulative impacts related to VMT increases that are greater than 87 percent of Baseline conditions.

- The revisions do not increase the severity of any impact. The revisions reducing density will result in slightly less vehicle trips per day which will translate into slightly less vehicle miles along roadways. These revisions would be beneficial as related to this environmental topic. However, the revisions do not change the environmental conclusion of significant and unavoidable that was provided in the certified EIR.

INTRODUCTION



PREVIOUSLY AGREED PROJECT DESIGN ACCOMODATIONS



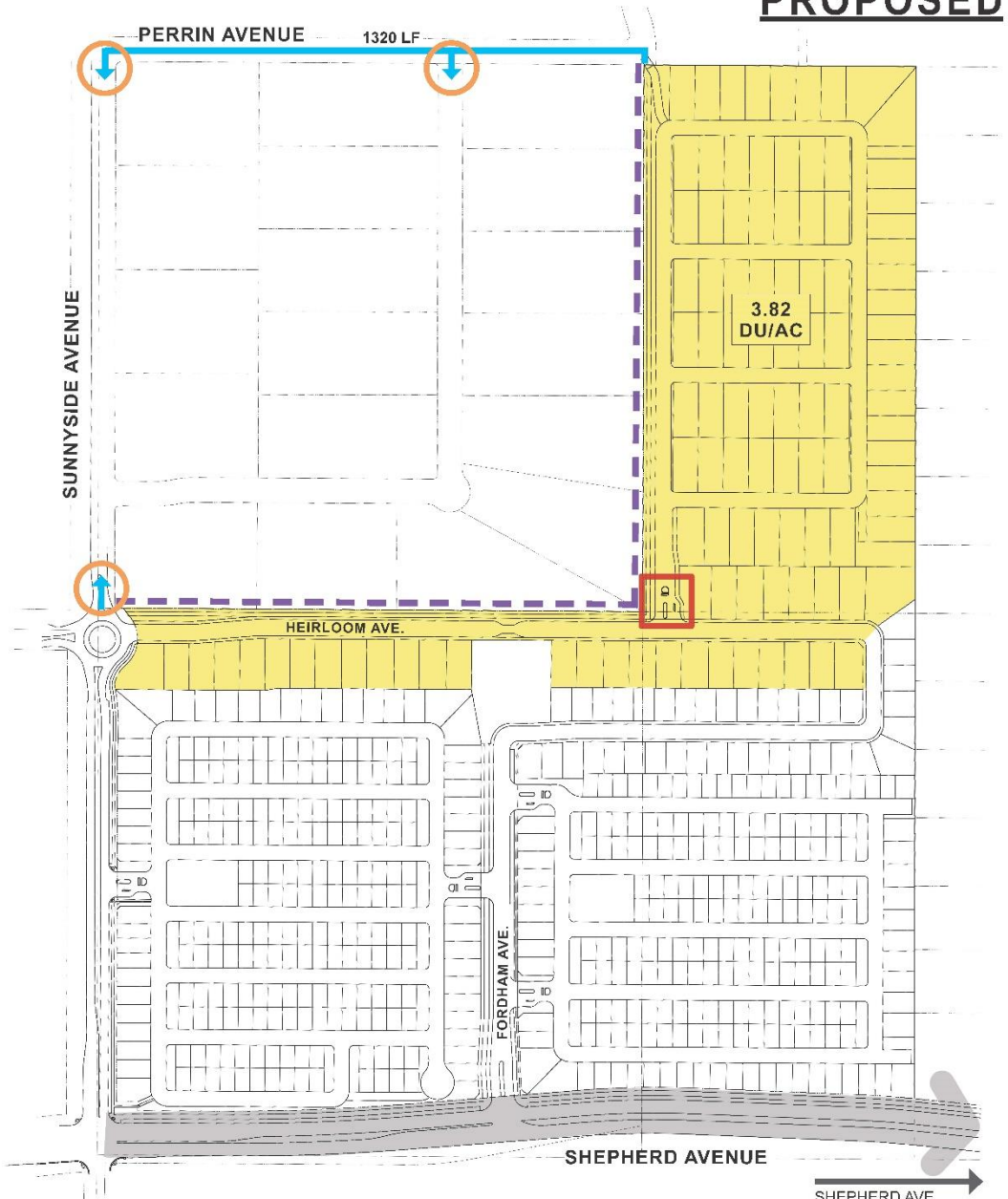
TRACT 6205

EXHIBIT 1









PROPOSED



LEGEND

-  REDUCED AMOUNT OF LOTS - ALL SINGLE STORY
-  6-8" MASONRY WALL WITH CONCRETE CAP
-  NEW 8" WATER LINE WITH STUB OUT LOCATIONS
-  ADDITIONAL BUFFER

SHEPHERD AVE. CONSTRUCTION IMPROVEMENTS EXTEND PAST THE FOWLER AVE. INTERSECTION



ADDITIONAL PROJECT DESIGN ACCOMODATIONS



TRACT 6205

EXHIBIT 2

BROUSSARD ASSOCIATES
landscape architects

RESOLUTION 24-__**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING
GENERAL PLAN AMENDMENT GPA2021-006 AMENDING THE CIRCULATION
ELEMENT TO ALLOW AN ACCESS POINT ON THE NORTH SIDE OF SHEPHERD
AVENUE, BETWEEN N. SUNNYSIDE AND N. FOWLER AVENUES**

WHEREAS, Great Bigland, LP., 7550 N. Palm Avenue, Suite 102, Fresno, CA 93711, has applied for a General Plan Amendment 2021-006; and

WHEREAS, the Applicant submitted an application for a general plan amendment (GPA 2021-006) to amend the Circulation Element of the 2014 Clovis General Plan to allow for placement of an access point on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues, in the County of Fresno, California; and

WHEREAS, the proposed GPA 2021-006, was assessed under the provisions of the California Environmental Quality Act (CEQA) and the potential effects on the environment were considered by the Planning Commission, together with comments received and public comments, and the entire public record was reviewed; and

WHEREAS, on March 18, 2024, the City Council certified the Revised Final Project Environmental Impact Report for the Shepherd North Project, inclusive of GPA 2021-006; Adopted the CEQA Findings of Fact and a Statement of Overriding Consideration; and Adopted a Mitigation Monitoring and Reporting Program; and

WHEREAS, a duly noticed hearing was held on March 18, 2024, at which time the City Council considered GPA 2021-006; and

WHEREAS, on March 18, 2024, the City Council continued GPA 2021-006 to the May 6, 2024, public hearing; and

WHEREAS, the City Council held a public hearing on May 6, 2024, at which time the City Council considered GPA 2021-006; and

WHEREAS, the Planning Commission's recommendations were forwarded to the City Council for consideration; and

WHEREAS, a public notice was sent out to area residents within 800 feet of said property boundaries, including the Dry Creek Preserve Area, ten (10) days prior to said hearing; and

WHEREAS, the City Council has had an opportunity to review and consider the entire Administrative Record relating to the Project, which is on file with the City of Clovis Department of Planning and Development Services ("Department"), and reviewed and considered those portions of the Administrative Record determined to be necessary to make an informed decision, including, but not necessarily limited to, the staff report, the written materials submitted with the request, and the verbal and written testimony and other evidence presented during the public hearing.

ATTACHMENT 2

NOW, THEREFORE, BASED UPON THE ENTIRE RECORD OF THE PROCEEDINGS, THE CITY COUNCIL RESOLVES AND FINDS AS FOLLOWS:

- 1. The City Council hereby approves GPA 2021-006.
- 2. The Project satisfies the required findings for approval of a general plan amendment, as follows:
 - a) GPA 2021-006 is internally consistent with the goals, policies, and actions of the General Plan.
 - b) GPA 2021-006 would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.
 - c) There is a compelling reason for the amendment, as the proposal will provide a diversity in housing types and a quality residential environment for this area, adjacent to the Heritage Grove growth area.
- 3. The basis for the findings is detailed in the May 6, 2024, staff report, which is hereby incorporated by reference, the entire Administrative Record, as well as the evidence and comments presented during the public hearing.

* * * * *

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote, to wit.

AYES:
NOES:
ABSENT:
ABSTAIN:

DATED: May 6, 2024

Mayor

City Clerk

RESOLUTION 24-__**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING
GENERAL PLAN AMENDMENT GPA2021-005 AMENDING THE LAND USE ELEMENT
FOR APPROXIMATELY 77 ACRES LOCATED AT THE NORTHEAST CORNER OF
SHEPHERD AND N. SUNNYSIDE AVENUES**

WHEREAS, Great Bigland, LP., 7550 N. Palm Avenue, Suite 102, Fresno, CA 93711, has applied for a General Plan Amendment 2021-005; and

WHEREAS, the Applicant submitted an application for a General Plan Amendment (GPA 2021-005) to amend the General Plan to re-designate land from the Rural Residential (1 DU/2 Ac) land use designation to the Medium-High Density Residential (7.1 to 15.0 DU/AC) land use designation to allow for the construction of 605 single-family homes within the Project site, in the County of Fresno, California; and

WHEREAS, the proposed GPA 2021-005, was assessed under the provisions of the California Environmental Quality Act (CEQA) and the potential effects on the environment were considered by the City Council, together with comments received and public comments, and the entire public record was reviewed; and

WHEREAS, on March 18, 2024, the City Council certified the Revised Final Project Environmental Impact Report for the Shepherd North Project, inclusive of GPA2021-005; Adopted the CEQA Findings of Fact and a Statement of Overriding Consideration; and Adopted a Mitigation Monitoring and Reporting Program; and

WHEREAS, a duly noticed hearing was held on March 18, 2024, at which time the City Council considered GPA 2021-005; and

WHEREAS, on March 18, 2024, the City Council continued GPA 2021-005 to the May 6, 2024, public hearing; and

WHEREAS, the City Council held a public hearing on May 6, 2024, at which time the City Council considered GPA 2021-005; and

WHEREAS, the Planning Commission's recommendations were forwarded to the City Council for consideration; and

WHEREAS, a public notice was sent out to area residents within 800 feet of said property boundaries, including the Dry Creek Preserve Area, ten (10) days prior to said hearing; and

WHEREAS, the City Council has had an opportunity to review and consider the entire Administrative Record relating to the Project, which is on file with the City of Clovis Department of Planning and Development Services ("Department"), and reviewed and considered those portions of the Administrative Record determined to be necessary to make an informed decision, including, but not necessarily limited to, the staff report, the written materials

ATTACHMENT 3

submitted with the request, and the verbal and written testimony and other evidence presented during the public hearing.

NOW, THEREFORE, BASED UPON THE ENTIRE RECORD OF THE PROCEEDINGS, THE CITY COUNCIL RESOLVES AND FINDS AS FOLLOWS:

- 1. The City Council hereby approves GPA 2021-005.
- 2. The Project satisfies the required findings for approval of a general plan amendment, as follows:
 - a) GPA 2021-005 is internally consistent with the goals, policies, and actions of the General Plan.
 - b) GPA 2021-005 would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.
 - c) There is a compelling reason for the amendment, as the proposal will provide a diversity in housing types and a quality residential environment for this area, adjacent to the Heritage Grove growth area.
- 3. The basis for the findings is detailed in the May 6, 2024, staff report, which is hereby incorporated by reference, the entire Administrative Record, as well as the evidence and comments presented during the public hearing.

* * * * *

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote, to wit.

AYES:
NOES:
ABSENT:
ABSTAIN:

DATED: May 6, 2024

Mayor

City Clerk

ORDINANCE 24-____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CLOVIS AMENDING AND CHANGING THE OFFICIAL ZONE MAP OF THE CITY OF CLOVIS IN ACCORDANCE WITH SECTION 9.080.020 OF THE CLOVIS MUNICIPAL CODE TO PREZONE APPROXIMATELY 77 ACRES FROM THE FRESNO COUNTY AL20 ZONE DISTRICT TO THE CLOVIS R-1-PRD (SINGLE FAMILY PLANNED RESIDENTIAL DEVELOPMENT) ZONE DISTRICT FOR PROPERTY LOCATED AT THE NORTHEAST CORNER OF SHEPHERD AND N. SUNNYSIDE AVENUES

LEGAL DESCRIPTION:

See Attachment A

WHEREAS, Great Bigland, LP., 7550 N. Palm Avenue, Suite 102, Fresno, CA 93711, has applied for a Prezone 2021-009; and

WHEREAS, the request is to prezone approximately 77 acres from the Fresno County AL20 Zone District to the Clovis R-1-PRD (Single Family Planned Residential Development) Zone District for property located at the northeast corner of Shepherd and N. Sunnyside Avenues (“Prezone”); and

WHEREAS, the Planning Commission held a duly noticed public hearing on November 16, 2023, to consider the Project, at which time interested persons were given opportunity to comment on the Project; and

WHEREAS, the Planning Commission voted and recommended that the City Council deny Prezone R2021-009; and

WHEREAS, the Planning Commission’s recommendations were forwarded to the City Council for consideration; and

WHEREAS, the City published notice of the public hearing in the Fresno Business Journal on March 6, 2024, mailed public notices to property owners within 800 feet of the Property ten (10) days prior to the City Council hearing, and otherwise posted notice of the public hearing according to applicable law; and

WHEREAS, the City Council held a duly noticed public hearing on March 18, 2024, to consider approval of Prezone R2021-009, at which time the City Council continued Prezone 2021-009 to the May 6, 2024, public hearing; and

WHEREAS, the City Council held a public hearing on May 6, 2024, to consider approval of Prezone R2021-009; and

WHEREAS, the City Council has had an opportunity to review and consider the entire Administrative Record relating to the Prezone, which is on file with the City of Clovis Department of Planning and Development Services, and reviewed and considered those portions of the Administrative Record determined to be necessary to make an informed decision, including, but not necessarily limited to, the staff report, the written materials submitted with the request, and the verbal and written testimony and other evidence presented during the public hearing; and

WHEREAS, the City Council considered the CEQA analysis outlined in the staff report, which is incorporated by reference herein, and elsewhere in the Administrative Record which determines that the Prezone meets the requirements pursuant to CEQA Guidelines; and

WHEREAS, on March 18, 2024, the City Council certified the Revised Final Project Environmental Impact Report for the Shepherd North Project, inclusive of Prezone 2021-009; adopted the CEQA Findings of Fact and a Statement of Overriding Consideration; and adopted a Mitigation Monitoring and Reporting Program; and

WHEREAS, the Prezone is in keeping with the intent and purpose of the Zoning Ordinance; and

WHEREAS, after hearing evidence presented by City staff and other verbal and written testimony presented during the public hearing, and after making the following findings:

NOW, THEREFORE, BASED UPON THE ENTIRE RECORD OF THE PROCEEDINGS, THE CITY COUNCIL FINDS AS FOLLOWS:

1. The proposed prezone is consistent with the goals, policies, and actions of the adopted General Plan.
2. The proposed prezone would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.
3. The Property is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested zoning designation and development of the Project.
4. On March 18, 2024, the City Council certified the Revised Final Project Environmental Impact Report for the Shepherd North Project; adopted the CEQA Findings of Fact and a Statement of Overriding Consideration; and adopted a Mitigation Monitoring and Reporting Program.
5. The basis and evidence for the findings are detailed in the May 6, 2024, staff report and staff presentation addressing the Project during the May 6, 2024, public hearing, both of which are hereby incorporated by reference, the entire Administrative Record, as well as the evidence and comments presented during the public hearing.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CLOVIS DOES ORDAIN AS FOLLOWS:

Section 1 The official map of the city is amended in accordance with Section 9.08.020 and Chapter 9.86 of the Clovis Municipal Code by rezoning certain land in the City of Clovis, County of Fresno, State of California, to wit:

LEGAL DESCRIPTION:

See the attached **Attachment A**.

From the Fresno County AL20 Zone District to the Clovis R-1-PRD (single family planned residential development) Zone District.

Section 2 This Ordinance shall go into effect and be in full force from and after thirty (30) days after its final passage and adoption.

APPROVED: May 6, 2024

Mayor

City Clerk

* * * * *

The foregoing Ordinance was introduced and read at a regular meeting of the City Council held on May 6, 2024, and was adopted at a regular meeting of said Council held on Date Adopted, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

DATED: Date Adopted

City Clerk

ATTACHMENT A LEGAL DESCRIPTION

Legal Description:

The land referred to is situated in the unincorporated area of the County of Fresno, State of California, and is described as follows:

PARCEL ONE:

The South half of the West half of the East half of the Southwest quarter of Section 21, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the Official Plat thereof.

APN: 557-021-20

PARCEL TWO:

The Southwest quarter of the Southwest quarter of Section 21, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the Official Plat thereof.

EXCEPTING THEREFROM that portion thereof described as follows:

Commencing at the Southeast corner of the Southwest quarter of the Southwest quarter of Section 21; thence North 89° 49' 50" West, 567.24 feet, along the Southerly line of the Southwest quarter of the Southwest quarter of Section 21, to a point in the centerline of Shepard Avenue, which is South 89° 49' 50" East, 752.46 feet from the Southwest corner of Section 21; thence Easterly along the centerline of Shepard Avenue as follows:

Along a curve to the left, having a radius of 850 feet, through a center angle of 11° 39' 10", an arc distance of 173.00 feet, North 78° 31' 00" East, 334.79 feet; thence along a curve to the right, having a radius of 940 feet through a central angle of 3° 33' 20", an arc distance of 58.33 feet to a point on the Easterly line of the Southwest quarter of the Southwest quarter of Section 21; thence leaving the centerline of Shepard Avenue, South 0° 02' 20" East, 97.6 feet along the Easterly line of the Southwest quarter of the Southwest quarter of Section 21, to the point of commencement.

APN: 557-021-19

PARCEL THREE:

The North ½ of the West ½ of the East ½ of the Southwest ¼ of Section 21, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to the Official Plat thereof.

APN: 557-021-21

RESOLUTION 24-__**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING A VESTING TENTATIVE TRACT MAP FOR A 605-LOT SINGLE-FAMILY SUBDIVISION ON APPROXIMATELY 77 ACRES OF PROPERTY LOCATED AT THE NORTHEAST CORNER OF SHEPHERD AND N. SUNNYSIDE AVENUES**

WHEREAS, Great Bigland, LP., 7550 N. Palm Avenue, Suite 102, Fresno, CA 93711, submitted an application for Vesting Tentative Tract Map 6205 for a 605-lot single-family subdivision ("Tract Map") on approximately 77 acres of property located at the northeast corner of Shepherd and N. Sunnyside Avenues ("Property"); and

WHEREAS, the City published notice of the public hearing in the Fresno Business Journal on February 9, 2024, mailed public notices to property owners within 800 feet of the Property, including the Dry Creek Preserve Area, ten (10) days prior to said City Council hearing, and otherwise posted notice of the Public Hearing according to applicable law; and

WHEREAS, Vesting Tentative Tract Map 6205, was filed on November 12, 2021, and was presented to the City Council for approval in accordance with the Subdivision Map Act of the Government of the State of California and Title 9, Chapter 2, of the Municipal Code and the City of Clovis; and

WHEREAS, the Planning Commission considered said map on November 16, 2023, denying said map; and

WHEREAS, a duly noticed hearing was held on March 18, 2024, at which time the City Council considered Vesting Tentative Tract Map 6205; and

WHEREAS, on March 18, 2024, the City Council continued Vesting Tentative Tract Map 6205 to the May 6, 2024, public hearing; and

WHEREAS, the City Council held a public hearing on May 6, 2024, at which time the City Council considered Vesting Tentative Tract Map 6205; and

WHEREAS, the City Council has given careful consideration to this map on May 6, 2024, and considered the CEQA analysis outlined in the staff report and elsewhere in the Administrative Record which determines that the Tract Map meets the requirements pursuant to CEQA Guidelines; and

WHEREAS, on March 18, 2024, the City Council certified the Revised Final Project Environmental Impact Report for the Shepherd North Project, inclusive of TM6205; adopted the CEQA Findings of Fact and a Statement of Overriding Considerations; and adopted a Mitigation Monitoring and Reporting Program; and

WHEREAS, the City Council has reviewed and considered the entire Administrative Record relating to the Tract Map, which is on file with the City of Clovis Department of Planning and Development Services, and reviewed and considered those portions of the Administrative Record determined to be necessary to make an informed decision, including, but not limited to,

ATTACHMENT 5

the staff report, the written materials submitted with the request, and the verbal and written testimony and other evidence presented during the public hearing, and the conditions of approval attached as **Attachment B** to this Resolution, which are incorporated herein by this reference.

NOW, THEREFORE, BASED UPON THE ENTIRE RECORD OF THE PROCEEDINGS, THE CITY COUNCIL RESOLVES AND FINDS AS FOLLOWS:

1. The City Council hereby approves Vesting Tentative Tract Map 6205 as shown in **Attachment A** and subject to the conditions of approval set forth in **Attachment B** to this Resolution.
2. The Project satisfies the required findings for approval of a tentative tract map, as follows:
 - a. The proposed map, subdivision design, and improvements are consistent with the General Plan and any applicable specific plan.
 - b. The site is physically suitable for the type and proposed density of development.
 - c. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
 - d. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems.
 - e. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. This finding may also be made if the review authority finds that alternate easements for access or use will be provided, and that they will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record, or to easements established by judgment of a court of competent jurisdiction, and no authority is hereby granted to the review authority to determine that the public at large has acquired easements of access through or use of property within the proposed subdivision.
 - f. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board.
 - g. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities.

- h. The proposed subdivision, its design, density, and type of development and improvements conform to the regulations of this Development Code and the regulations of any public agency having jurisdiction by law.
- 3. Without the conditions of approval (**Attachment B** of this resolution), the City Council could not make the findings necessary for approval of vesting tentative tract map TM6205 (attached and labeled **Attachment A**).
- 4. The basis for the findings is detailed in the May 6, 2024, staff report, which is hereby incorporated by reference, the entire Administrative Record, as well as the evidence and comments presented during the Public Hearing.

* * * * *

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote, to wit.

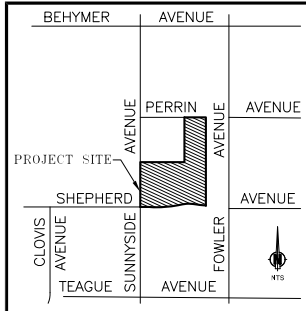
AYES:
 NOES:
 ABSENT:
 ABSTAIN:

DATED: May 6, 2024

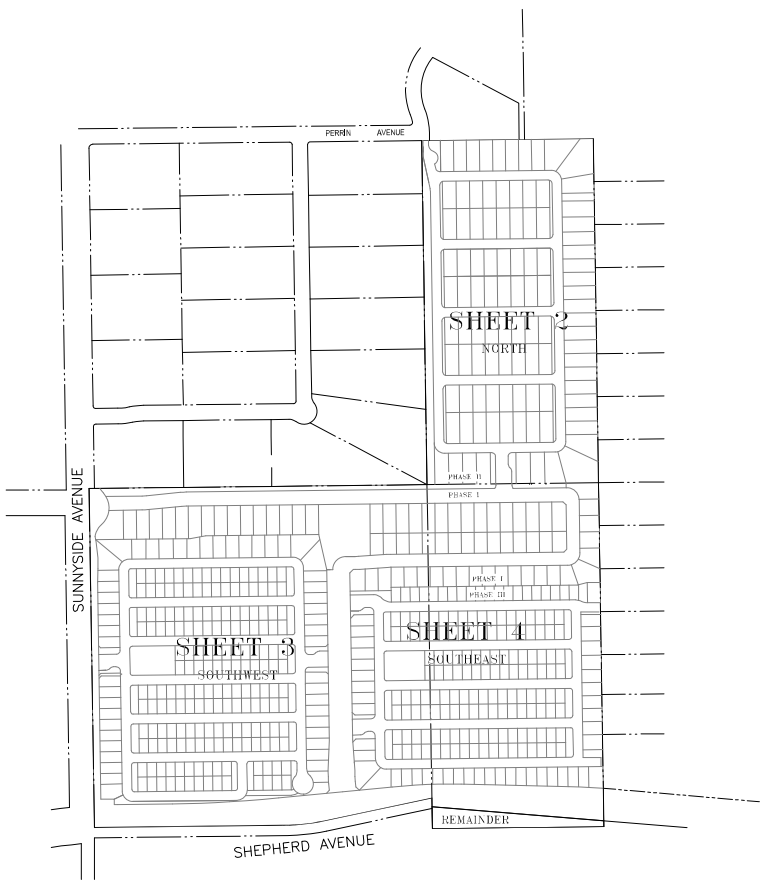
Mayor

City Clerk

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA



VICINITY MAP
N.T.S.



KEY MAP
N.T.S.

LEGAL DESCRIPTION:

APN: 557-021-20
THE SOUTH HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

APN: 557-021-19
THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF EXCEPTING THEREFROM THAT PORTION THEREOF DESCRIBED AS FOLLOWS
COMMENCING AT THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 21, THENCE NORTH 89°49'50" WEST, 347.24 FEET, ALONG THE SOUTHWEST LINE OF THE SOUTHWEST QUARTER OF SECTION 21, TO A POINT IN THE CENTERLINE OF SHEPHERD AVENUE WHICH IS SOUTH 89°49'50" EAST, 752.46 FEET FROM THE SOUTHWEST CORNER OF SECTION 21, THENCE EASTERLY ALONG THE CENTERLINE OF SHEPHERD AVENUE AS FOLLOWS
ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 800 FEET, THROUGH A CENTER ANGLE OF 113°01'07", AN ARC DISTANCE OF 173.00 FEET THROUGH 76°31'00" EAST, 334.79 FEET, THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 840 FEET, THROUGH A CENTER ANGLE OF 33°37'30", AN ARC DISTANCE OF 58.33 FEET TO A POINT ON THE EASTERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, THENCE LEAVING THE CENTERLINE OF SHEPHERD AVENUE, SOUTH 0°02'50" EAST, 97.66 FEET ALONG THE EASTERLY LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TO THE POINT OF COMMENCEMENT.

APN: 557-021-21
THE NORTH HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.
TOGETHER WITH AN EASEMENT FOR ROAD PURPOSES OVER AND ACROSS THE EAST 30 FEET OF THE SOUTH HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.
EXCEPTING THEREFROM THE RIGHT-OF-WAY DECEDED TO THE CITY OF CLOVIS PER DEED DOCUMENT NUMBER 2022-0112539 RECORDED ON SEPTEMBER 8, 2022.

NOTES:

1. THIS AREA IS SUBJECT TO FLOODZONE X (UNSHADED) AND FLOODZONE AH (SHADED).
2. ALL IMPROVEMENTS SHALL BE AS REQUIRED BY THE CITY OF CLOVIS TO CITY STANDARDS, AND SHALL INCLUDE SANITARY SEWER, POTABLE WATER, UNDERGROUND POWER, TELEPHONE, GAS, CONCRETE CURBS, GUTTERS, SIDEWALKS, PERMANENT STREET PAVEMENT STREET LIGHTS, ETC.
3. THERE SHALL BE NO GRADE DIFFERENTIALS OF GREATER THAN WITHIN 200 FEET OF THE SITE UNLESS APPROVED BY THE CITY OF CLOVIS DEVELOPMENT DEPARTMENT.

EXISTING BUILDINGS EXISTING BUILDINGS TO BE REMOVED	SOURCE OF GAS PG&E
EXISTING TREES EXISTING TREES TO BE REMOVED	SOURCE OF CABLE T.V. COMCAST
EXISTING USE RURAL RESIDENTIAL AND ORCHARD	SOURCE OF TELEPHONE AT&T
EXISTING ZONING R-20	ASSESSOR'S PARCEL NUMBER 557-021-19, 557-021-20 & 557-021-21
PROPOSED ZONING R-1 & R-1-PRE	SITE AREA 77.89 AC (GROSS) 72.37 AC (NET)
PROPOSED USE SINGLE FAMILY RESIDENTIAL SUBDIVISION	NUMBER OF LOTS 605 LOTS & 52 OUTLOTS
SOURCE OF WATER CITY OF CLOVIS	DENSITY 7.77 DU/AC
SOURCE OF SEWAGE DISPOSAL CITY OF CLOVIS	AVERAGE LOT SIZE 3,363 SF
SOURCE OF WASTE DISPOSAL CITY OF CLOVIS	OUTLOT SCHEDULE • OUTLOTS A, B, & C ARE FOR PRIVATE ROAD & PUBLIC UTILITY PURPOSES • OUTLOTS D, E, F, G, H, I, J, K, L, M, N, R, T, U, V, W, X, LL, MM, NN, RR, SS, UU, & ZZ ARE FOR PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES • OUTLOTS O, Q, V, & CC ARE FOR PRIVATE LANDSCAPE, PRIVATE RESIDENTIAL & PUBLIC UTILITY PURPOSES • OUTLOTS S, Y, X, Y, AA, BB, CC, DD, EE, FF, HH, OO, SS, TT, UU, WW, XX, & YY ARE FOR PRIVATE PARKING, PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES • OUTLOTS S, Y, & YY ARE FOR PRIVATE POOL & PARK AREA, PRIVATE PARKING, PRIVATE LANDSCAPING & PUBLIC UTILITY PURPOSES • OUTLOT P IS FOR FM/CD DRAINAGE CHANNEL PURPOSES
SOURCE OF ELECTRICITY FOR	
OPEN SPACE: REQUIRED = 1.63 ACRES PROVIDED = 4.32 ACRES	

TENTATIVE SUBDIVISION MAP

Prepared by:
Great Bigland, L.P.
7330 HARBOUR DRIVE, SUITE 100
FRESNO, CALIFORNIA 93720
(559) 232-1000

Harbour & Associates
Civil Engineers
3501 S. Highway 99, Suite 300 • Clovis, CA 93240 • 559.232.1000
(559) 232-7070 • Fax: 559.232-1000 • Email: info@harbourandassociates.com

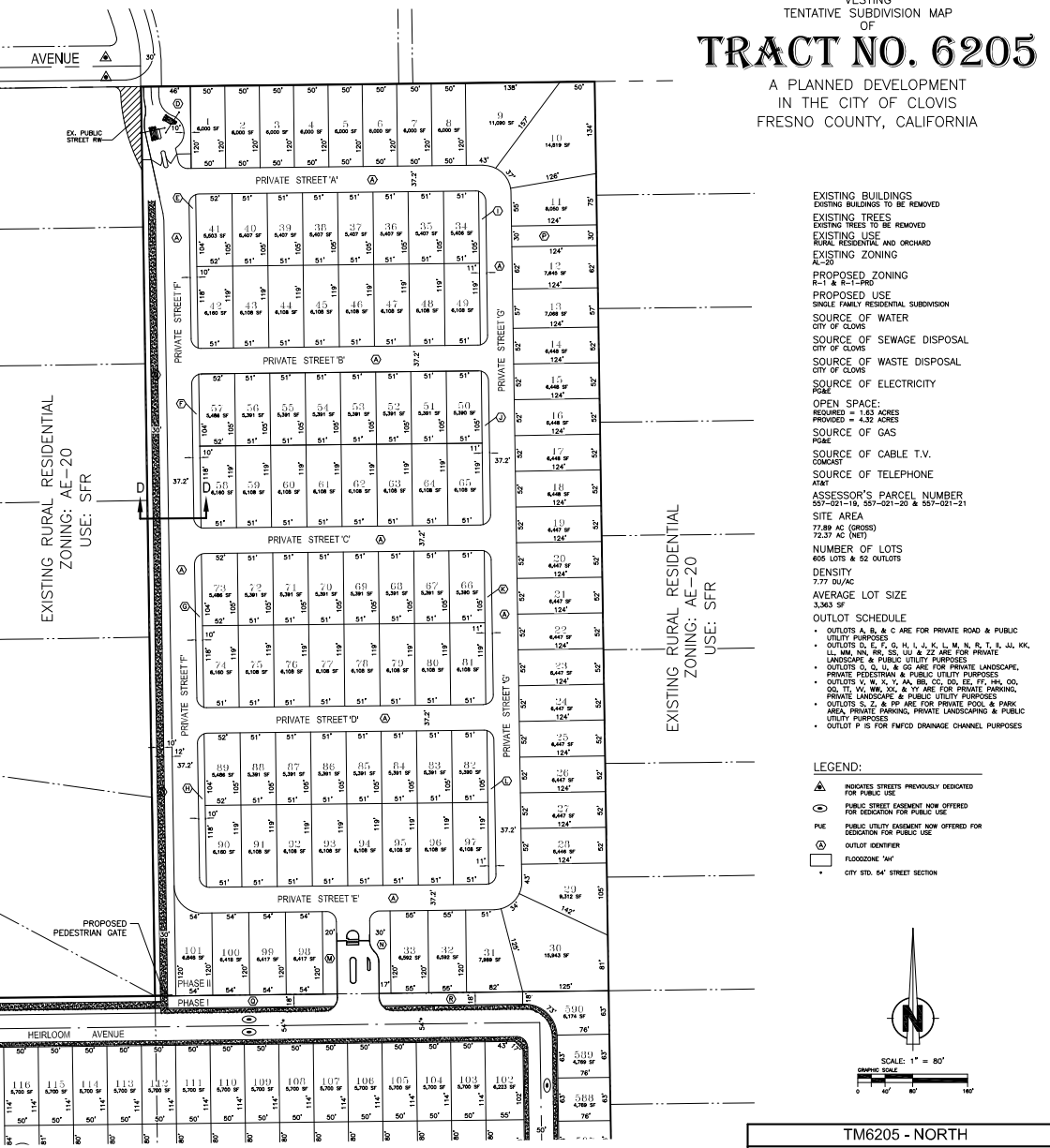
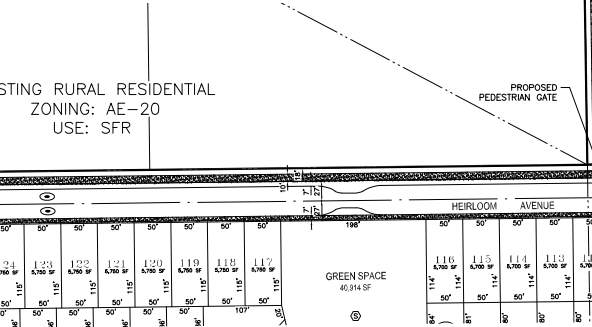
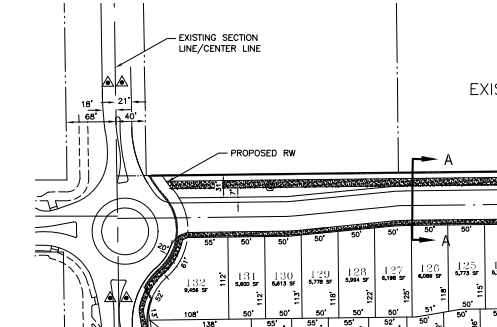
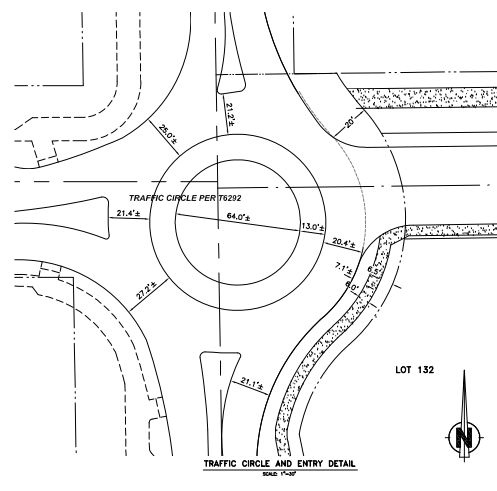
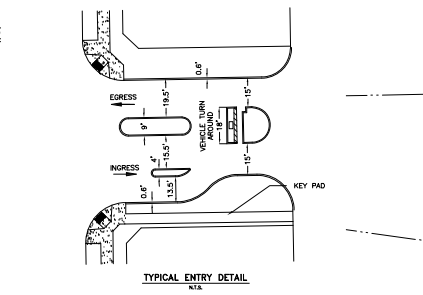
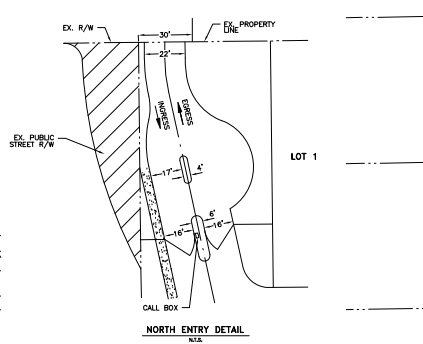
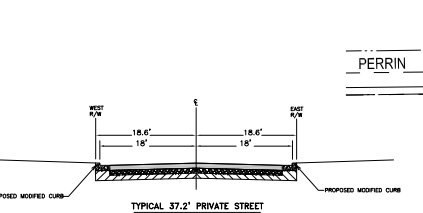
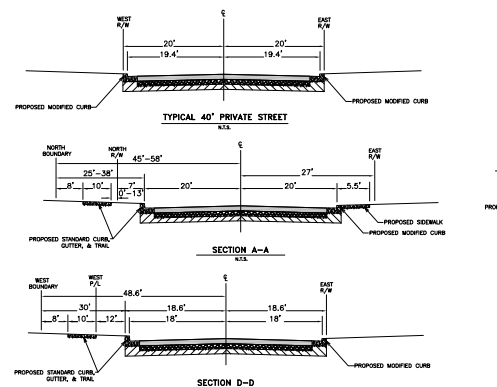
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DATE: 4-14-23 DRAWN BY: SDH U.S. #1-100 D-857

ATTACHMENT A

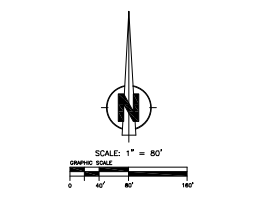
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VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA



- EXISTING BUILDINGS**
EXISTING BUILDINGS TO BE REMOVED
- EXISTING TREES**
EXISTING TREES TO BE REMOVED
- EXISTING USE**
RURAL RESIDENTIAL AND ORCHARD
- EXISTING ZONING**
AE-20
- PROPOSED ZONING**
R-1 & R-1-PRO
- PROPOSED USE**
SINGLE FAMILY RESIDENTIAL SUBDIVISION
- SOURCE OF WATER**
CITY OF CLOVIS
- SOURCE OF SEWAGE DISPOSAL**
CITY OF CLOVIS
- SOURCE OF WASTE DISPOSAL**
CITY OF CLOVIS
- SOURCE OF ELECTRICITY**
POE
- OPEN SPACE:**
REQUIRED = 1.63 ACRES
PROVIDED = 4.32 ACRES
- SOURCE OF GAS**
POE
- SOURCE OF CABLE T.V.**
CONCAT
- SOURCE OF TELEPHONE**
AT&T
- ASSESSOR'S PARCEL NUMBER**
597-021-19, 597-021-20 & 597-021-21
- SITE AREA**
77.89 AC (GROSS)
72.37 AC (NET)
- NUMBER OF LOTS**
605 LOTS & 52 OUTLOTS
- DENSITY**
7.77 DU/AC
- AVERAGE LOT SIZE**
3,363 SF
- OUTLOT SCHEDULE**
- OUTLOTS A, B, & C ARE FOR PRIVATE ROAD & PUBLIC UTILITY PURPOSES
 - OUTLOTS D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES
 - OUTLOTS G, H, I, & Q ARE FOR PRIVATE LANDSCAPE, PRIVATE PEDESTRIAN & PUBLIC UTILITY PURPOSES
 - OUTLOTS V, W, X, Y, AA, BB, CC, DD, EE, FF, HH, OO, PP, TT, VV, WW, XX, YY, ZZ ARE FOR PRIVATE PARKING, PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES
 - OUTLOTS Z & AA ARE FOR PRIVATE POOL & PARK AREA, PRIVATE PARKING, PRIVATE LANDSCAPING & PUBLIC UTILITY PURPOSES
 - OUTLOT P IS FOR FINFCD DRAINAGE CHANNEL PURPOSES

- LEGEND:**
- ⊙ INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
 - ⊕ PUBLIC STREET EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - ⊖ PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - ⊙ OUTLOT IDENTIFIER
 - ⊖ FLOODZONE 'M'
 - CITY STD. 54' STREET SECTION



TM6205 - NORTH

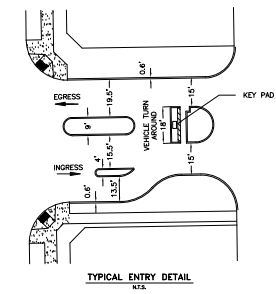
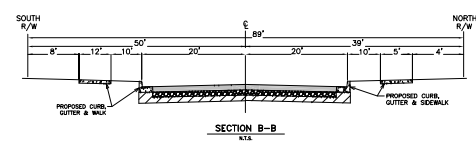
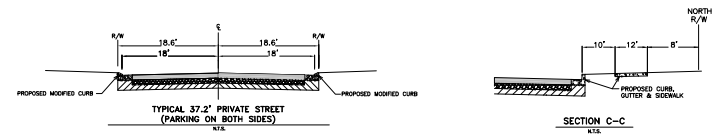
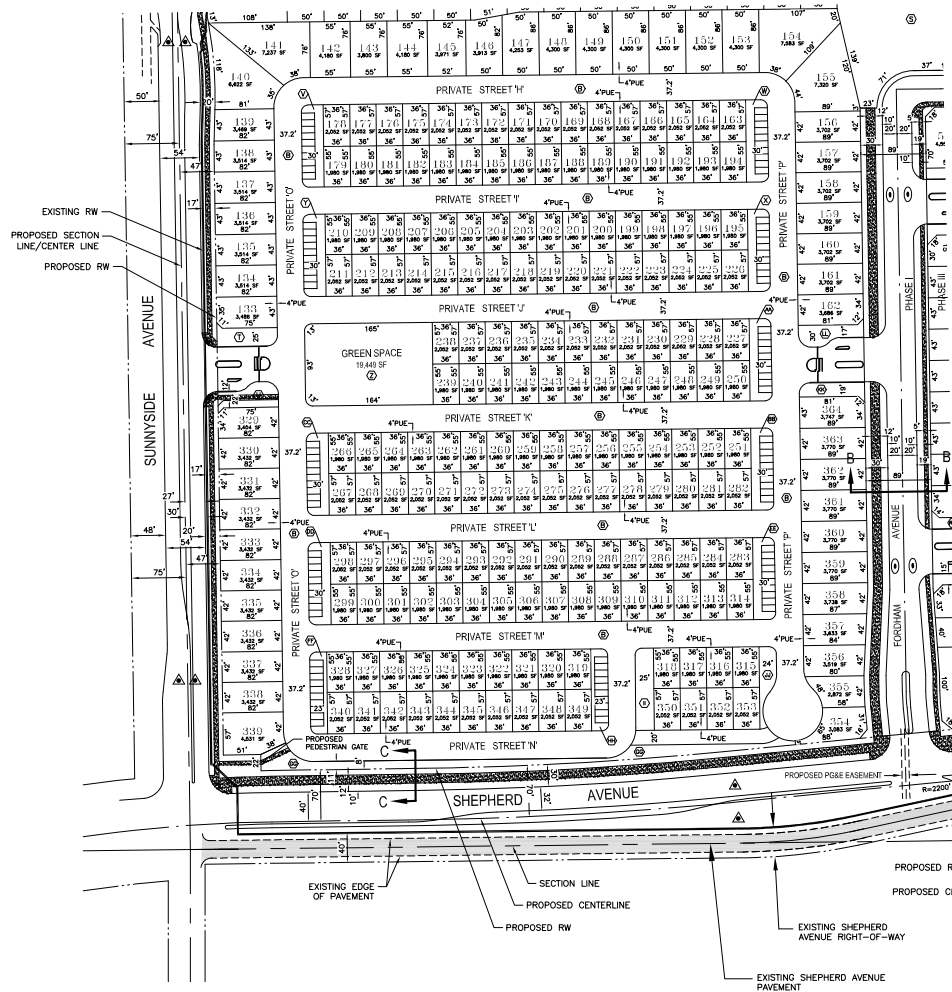
Great Bigland, L.P.

Harbour & Associates
Civil Engineers
350 38th Street, Suite 300 • Clovis, CA 93240-2912
(559) 235-7676 • Fax: (559) 235-7678 • www.harbourandassociates.com

DATE: 4-14-23 SCALE: 1"=80' DRAWN BY: SDH REVISED: SHEET NO. 2 OF 4

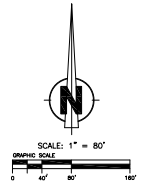
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VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA



- EXISTING BUILDINGS TO BE REMOVED
- EXISTING TREES TO BE REMOVED
- EXISTING USE: RURAL RESIDENTIAL AND ORCHARD
- EXISTING ZONING: A-20
- PROPOSED ZONING: R-1 & R-1-PFD
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL SUBDIVISION
- SOURCE OF WATER: CITY OF CLOVIS
- SOURCE OF SEWAGE DISPOSAL: CITY OF CLOVIS
- SOURCE OF WASTE DISPOSAL: CITY OF CLOVIS
- SOURCE OF ELECTRICITY: PUC
- OPEN SPACE: REQUIRED = 1.82 ACRES; PROVIDED = 4.32 ACRES
- SOURCE OF GAS: PUC
- SOURCE OF CABLE T.V.: COMCAST
- SOURCE OF TELEPHONE: AT&T
- ASSESSOR'S PARCEL NUMBER: 557-021-19, 557-021-20 & 557-021-21
- SITE AREA: 77.89 AC (GROSS); 72.37 AC (NET)
- NUMBER OF LOTS: 405 LOTS & 52 OUTLOTS
- DENSITY: 7.77 DU/AC
- AVERAGE LOT SIZE: 3,843 SF
- OUTLOT SCHEDULE:
 - OUTLOTS A, B, & C ARE FOR PRIVATE ROAD & PUBLIC UTILITY PURPOSES
 - OUTLOTS D, E, F, G, H, J, K, L, M, N, R, T, U, V, W, X, LL, MM, NN, RR, SS, UU & ZZ ARE FOR PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES
 - OUTLOTS O, Q, V, & QZ ARE FOR PRIVATE LANDSCAPE, PRIVATE RECREATION & PUBLIC UTILITY PURPOSES
 - OUTLOTS Y, W, X, Y, AA, BB, CC, DD, EE, FF, HH, OO, QQ, TT, UU, WW, XX & YY ARE FOR PRIVATE PARKING, PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES
 - OUTLOTS S, Z, & PP ARE FOR PRIVATE POOL & PARK AREA, PRIVATE PARKING, PRIVATE LANDSCAPING & PUBLIC UTILITY PURPOSES
 - OUTLOT P IS FOR FM/CD DRAINAGE CHANNEL PURPOSES

- LEGEND:**
- ▲ INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
 - PUBLIC STREET EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - ⊖ PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - ⊕ FLOODZONE 'WF'



03/2011 s.u.v.11022-11022-11022-Sunnyside-Avenue & Shepherd-Avenue Map/Current/Layout TM 6205 4-14-23.dwg Plotted By: jsmw 04/14/23 - 10:09 AM

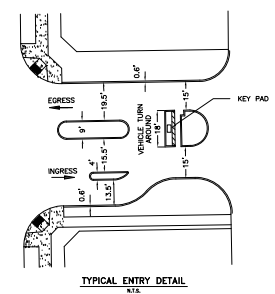
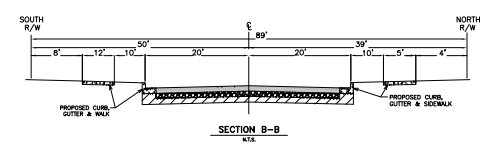
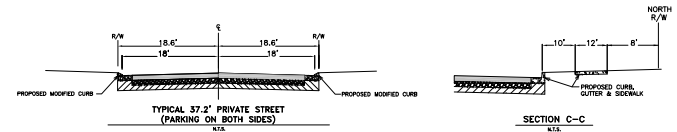
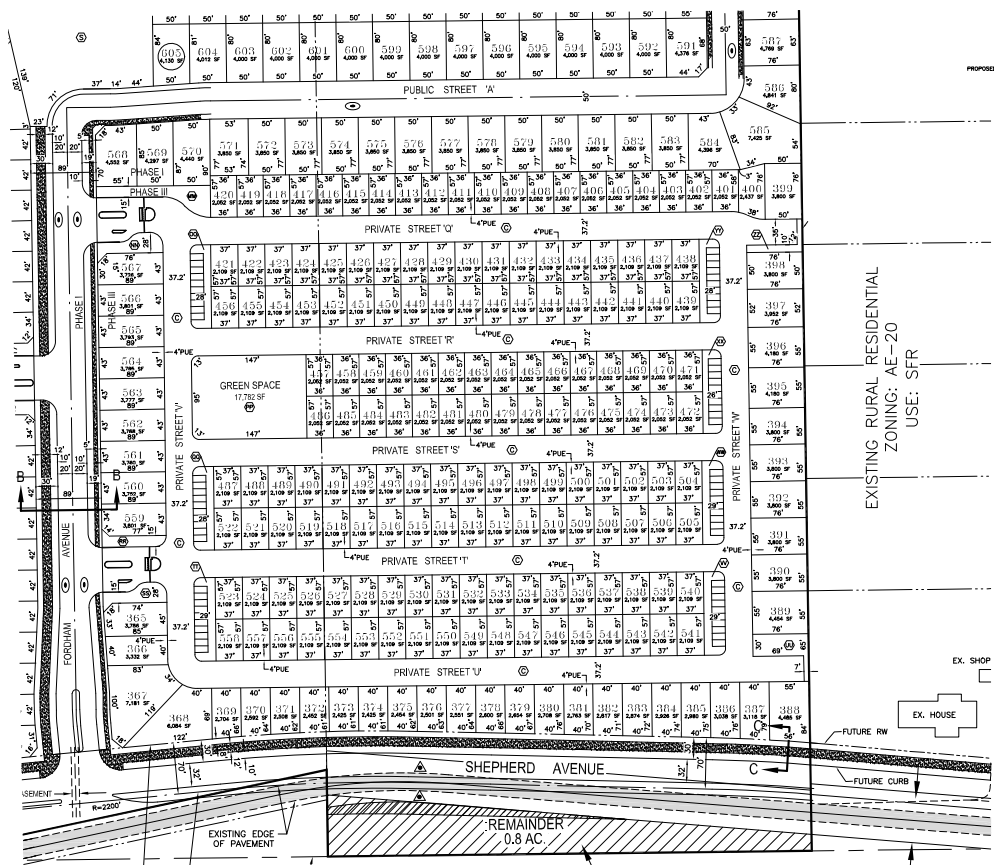
TM6205 - SOUTHWEST

COMPILED BY:
Great Bigland, L.P.
7330 HUNTERS BLVD SUITE 100
FRESNO, CALIFORNIA 93720

Harbour & Associates Civil Engineers 3500 N. Highway 99, Suite 300 • Clovis, CA 93618 • 509.325-7676 • Fax: 509.325-0318 • www.harbourandassociates.com	REVISIONS	SHEET NO.
	3	OF 4

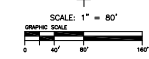
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VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA



- EXISTING BUILDINGS TO BE REMOVED
- EXISTING TREES TO BE REMOVED
- EXISTING UTILITIES TO BE REMOVED
- EXISTING ZONING: AE-20
- PROPOSED ZONING: R-1 & R-1-TREQ
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL SUBDIVISION
- SOURCE OF WATER: CITY OF CLOVIS
- SOURCE OF SEWAGE DISPOSAL: CITY OF CLOVIS
- SOURCE OF WASTE DISPOSAL: CITY OF CLOVIS
- SOURCE OF ELECTRICITY: PG&E
- OPEN SPACE: REQUIRED = 1.63 ACRES PROVIDED = 4.32 ACRES
- SOURCE OF GAS: PG&E
- SOURCE OF CABLE T.V.: COMCAST
- SOURCE OF TELEPHONE: AT&T
- ASSESSOR'S PARCEL NUMBER: 057-021-19, 057-021-20 & 057-021-21
- SITE AREA: 72.89 AC (GROSS) 72.87 AC (NET)
- NUMBER OF LOTS: 605 LOTS & 52 OUTLOTS
- DENSITY: 7.77 RV/AC
- AVERAGE LOT SIZE: 3,363 SF

- LEGEND:**
- INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
 - PUBLIC STREET EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - OUTLOT IDENTIFIER



TM6205 - SOUTHEAST

Great Bigland, L.P.
7330 UNIVERSITY AVENUE, SUITE 100
FRESNO, CALIFORNIA 93720

Harbour & Associates
Civil Engineers
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DATE: 6-14-23 SCALE: 1"=80' DRAWN BY: SDH

REVISIONS: SHEET NO. 4 OF 4

DATE: 6-14-23 SCALE: 1"=80' DRAWN BY: SDH

Attachment B

Conditions of Approval - TM6205 Planning Division Comments

(George González, Senior Planner - (559) 324-2383)

1. The applicant shall obtain City approval in advance of temporary and permanent subdivision signs through separate sign review, consistent with the development criteria of the Clovis Municipal Code Sign Ordinance.
2. The developer shall repair and or replace any broken or damaged irrigation lines, valves, and other equipment on their properties which are intended to serve adjacent or downstream properties.
3. Prezone 2021-009 approves an R-1-PRD (Planned Residential Development) Zone District for the Project site (Development Area). Density shall be consistent with the Medium-High Density Land Use Designation of the Clovis General Plan and not exceed 15.0 dwelling units per acre.
4. No more than two of the same unit type (floor layout and exterior materials package) shall be repeated side by side. When two of the same units are repeated side by side, they shall be different colors. These identical provisions may be waived by the City Planner on a specific lot basis within the project when the size or configuration of a lot would otherwise prevent compliance with the above requirements of any other siting or setback/yard requirements established under this application. If such a waiver is requested, the developer and City Planner shall work together to ensure that any sitings of units not in compliance with the above requirements shall be of different materials and elevations in order to minimize any adverse visual impacts that may result.
5. TM6205 is subject to the development standards of the R-1-PRD Zone District and Planned Development Standards and Guidelines.
6. The developer shall construct a neighborhood park with associated amenities, additional landscaping areas, open space areas, and community trails per **Attachment 15** of this report.
7. The proposed project must also produce a comprehensive development of superior quality than which might otherwise occur from more traditional development on the site. This could include an enhanced entry point, an embellished block wall on both street frontages, and superior exterior elevation design, all of which will be reviewed and approved through the civil plan review process and residential site plan review.
8. TM6205 is subject to the development standards of Planned Development Permit 2021-004. Any development standards not expressed within PDP2021-004 shall be subject to the underlying Zone District R-1-PRD Standards and Guidelines.

9. Setbacks shall be measured to the exterior face of the framing of the structure. Exceptions to the setbacks are identified in §9.24.100, of the Clovis Municipal Code.
10. Maximum lot coverage for the Citrea lots/ homes of TM6205 is 60% unless specifically approved through a residential site plan review or variance.
11. Maximum lot coverage for the Elev8ions lots/ homes of TM6205 is 65% unless specifically approved through a residential site plan review or variance.
12. Maximum lot coverage for the Regent lots/ homes of TM6205 is 60% unless specifically approved through a residential site plan review or variance.
13. The developer shall construct a fence along the property line of adjacent rural residential properties that will not impact the existing and/or permitted animals.
14. The developer shall utilize thematic street lights along local and private streets within the development area that complement the Heritage Grove Design Guidelines and a model that will shield the light from up lighting.
15. The developer shall construct a minimum six-foot high solid masonry wall along the northern property line of Heirloom Avenue and the western property line of Private Street "F" frontage.
16. The developer shall construct a minimum six-foot high solid masonry wall along property lines adjacent to the Fordham Avenue frontage.
17. The developer shall record a Covenant regarding a "right to farm," for adjacent property owners. Such agreement shall be disclosed to all future home buyers.
18. Maximum building (main structure) height shall not exceed thirty-five (35) feet.
19. Setbacks for the Citrea lots/ homes of TM6205 shall be as follows:

Setbacks	Front (Garage)	Front (house)	Garage Side	Corner Street Sides	Rear
Plan 1334 (one-story)	18'	10'	5'	5'	5'
Plan 1482 (one-story)	18'	10'	5'	5'	5'
Plan 1612 (one-story)	18'	10'	5'	5'	5'
Plan 1782 (one-story)	18'	10'	5'	5'	5'
Plan 2741 (two-story)	18'	10'	5'	5'	5'

Lot Coverage: 60% Max
 Maximum Height: 2-stories not to exceed 35 feet
 Minimum Lot Size: 3,700 square feet
 Minimum Parcel Width: 50 feet
 Minimum Curved Parcel Width: 25 feet
 Minimum Corner Parcel Width: 53 feet

Minimum Parcel Depth:	74 feet
Reversed Corner Street Side Setback:	5 feet
Corner Street Side Fence Setback:	3 feet
Interior Side Yard Setback (opposite from garage):	3 feet
Setback to Projections and/or Porch/ Patio:	9 feet
Garages:	20'x20' interior dimension (2-car)

20. Setbacks for the Elev8ions lots/ homes of TM6205 shall be as follows:

Setbacks	Front (Garage)	Front (house)	Garage Side	Corner Street Sides	Rear
Plan 1212 (two-story)	5'	5'	5'	3'	4'
Plan 1390 (two-story)	5'	5'	5'	3'	4'
Plan 1648 (two-story)	5'	5'	5'	3'	4'
Plan 1660 (two-story)	5'	5'	5'	3'	4'

Lot Coverage:	65% Max
Maximum Height:	2-stories not to exceed 35 feet
Minimum Lot Size:	1,980 square feet
Minimum Parcel Width:	36 feet
Minimum Curved Parcel Width:	36 feet
Minimum Corner Parcel Width:	50 feet
Minimum Parcel Depth:	50 feet
Reversed Corner Street Side Setback:	3 feet
Corner Street Side Fence Setback:	3 feet
Interior Side Yard Setback (opposite from garage):	3 feet
Setback to Projections and/or Porch/ Patio:	4 feet
Garages:	20'x20' interior dimension (2-car) 10'x20' interior dimension (1-car)

21. Setbacks for the Regent lots/ homes of TM6205 shall be as follows:

Setbacks	Front (Garage)	Front (house)	Garage Side	Corner Street Sides	Rear
Plan 1887 (one-story)	18'	10'	5'	8'	8'
Plan 2007 (one-story)	18'	10'	5'	8'	8'
Plan 2162 (one-story)	18'	10'	5'	8'	8'
Plan 2432 (two-story)	18'	10'	5'	8'	8'
Plan 3056 (two-story)	18'	10'	5'	8'	8'

Lot Coverage:	60% Max
Maximum Height:	2-stories not to exceed 35 feet
Minimum Lot Size:	4,500 square feet
Minimum Parcel Width:	50 feet
Minimum Curved Parcel Width:	25 feet
Minimum Corner Parcel Width:	53 feet

Minimum Parcel Depth:	90 feet
Reversed Corner Street Side Setback:	8 feet
Corner Street Side Fence Setback:	3 feet
Interior Side Yard Setback (opposite from garage):	3 feet
Setback to Projections and/or Porch/ Patio:	9 feet
Garages:	20'x20' interior dimension (2-car) 20'x20' minimum with 9'x15.5' minimum tandem (3-car)

22. Landscape plans shall be reviewed and approved separately by the landscape review committee for tree and landscape type and location.
23. Shepherd Avenue shall have a 30-foot landscape/pedestrian setback, with a 10-foot parkway, 12-foot trail, and 8-foot landscape buffer setback.
24. Sunnyside Avenue shall have a 20-foot landscape/pedestrian setback, with a 10-foot landscape, 6-foot walk, and 4-foot landscape buffer setback.
25. Upon final recordation of this vesting tentative tract map, it shall be the applicant's responsibility to furnish to the Planning Department an electronic (PDF) copy of the original map obtained from the Fresno County Recorder's Office.
26. The applicant shall relay all conditions of approval for Vesting Tentative Tract Map 6205 to all subsequent purchasers of individual lots, if applicable, and/or to subsequent purchasers of this entire tract map development.
27. The applicant shall record a Notice of Nonconformance dealing with any structure used for model homes where the garage is converted for the use as a sales office.
28. All lighting shall be screened from direct view from the public right-of-way and adjacent residential properties.
29. All landscaping (open space and private yards) shall conform to the City of Clovis Water Efficient Landscape Ordinance.
30. This Project requires the submittal and approval of a residential site plan review entitlement for lot-specific development standards within TM6205. Specific color and materials of the models, walls, amenities, landscaping, and fencing will be evaluated through the civil plans.
31. The applicant shall provide an all-weather surface for the placement and storage of trash receptacles leading from the 5-foot side yard to the front of the property.
32. The developer shall comply with all mitigation measures identified in the Mitigation Monitoring and Reporting Program prepared for the Project, which was included in the March 18, 2024, City Council staff report.

33. This vesting tentative tract map is approved per **Attachment 5A** of this report.
34. The developer shall construct a minimum six-foot high solid split face masonry wall along the Shepherd and N. Sunnyside Avenue frontages. The masonry wall along Shepherd Avenue shall incorporate tubular steel fencing with pedestrian gates. The masonry walls shall incorporate angled corners at entries, and columns at the corners and ends.
35. The developer shall install pedestrian bollard lighting along the community trail on Shepherd Avenue, consistent with TM6200 to the west. Bollard light spacing will be every 100 linear feet.
36. The developer shall provide trail furniture, including benches and trash receptacles, along Shepherd Avenue, Heirloom Avenue and Private Street "F."
37. As a public amenity for the Project, the developer shall contribute a dollar amount totaling \$150,000 to the City for utilization in future open space and/or park improvements.
38. As a private amenity for the Project, the developer shall contribute the construction of a recreational area within two gated communities, which includes a pool, restroom facility, outdoor shower, cabana/ pergola, and lawn chairs. Specific amenity details will be reviewed during the civil plan review process.
39. The developer shall incorporate the Corner Gateway at the northeast corner of Shepherd and N. Sunnyside Avenues to complement the Corner Gateway at the northwest corner of intersection.
40. A minimum 6-foot high wood fence shall be placed along the northern (near Perrin Road alignment) and eastern property lines. If one is existing, it shall be of a condition to the satisfactory of the Planning Division and in compliance with fence standards.

Police Department Conditions

(Sean O'Brien, Department Representative - 324-3468)

41. Construction work shall be limited to the hours set forth in the Clovis Municipal Code. (CMC § 5.18.15.)
42. It shall be the responsibility of the property owner to maintain the structures and adjoining fences to the project free of graffiti. All forms of graffiti shall be removed within 72 hours. (CMC §§ 5.18.02(r), 5.18.06 (b).)
43. Emergency phone numbers for responsible parties shall be kept current during the building phase of the project.
44. All construction materials shall be located within a secured area or monitored by security staff during non-construction hours.

Fire Department Conditions

(Rick Fultz, Fire Department Representative – (559) 324-2214)

Roads / Access

45. ***Two Points of Access:*** Any development to this parcel will require a minimum of two (2) points of access to be reviewed and approved by the Clovis Fire Department. All required access drives shall remain accessible during all phases of construction which includes paving, concrete work, underground work, landscaping, perimeter walls. Developments of one- or two-family dwellings where the number of dwelling units exceeds 30 shall be provided with two separate and approved fire apparatus access roads. 2022 CMC 4.4 Section D107
46. ***Maximum Travel Distance to a Residence on Local Streets from an Expressway, Arterial, or Collector Street:*** In order to provide first due emergency response and effective response force (ERF), the Fire Department adopted response times include 4:00 minutes for travel. It takes approximately 3 minutes to drive 1.9 miles based on the average speeds of arterial and collector streets. It then takes an additional 1 minute to drive 2,000 feet on a local street based on reduced speed of 25mph. Once fire department apparatus has entered a local street from an arterial or a collector street, the maximum travel distance to a residence shall be 2,000 feet. This distance is based on travel times for apparatus covering a 2 ½ mile by 2 ½ mile area of the city which is the standard insurance service organization (ISO) individual station response area.
47. ***Street Width:*** Fire apparatus access width shall be determined by measuring from “base of curb” to “base of curb” for roadways that have curbs. When roadways do not have curbs, the measurements shall be from the edge of the roadway surface (approved all weather surface). Clovis Fire Standard #1.1
48. ***Street Width for Single Family Residences:*** Minimum Access Road Width of 36 feet for Single Family Residences. Roads 36 feet or wider allow for Parking on both sides of street. Access roads near fire department access gates shall be a minimum of 20’ in width and marked as fire lanes.
49. ***Streets with Median Islands:*** Streets with median islands shall comply with Clovis Fire Department Standard 1.1. Based on the street width, no trees will be allowed to be planted in the median island.
50. ***Fire Lane Marking Requirement for Single Family Residences:*** Based on the street width, fire lane markings will be required along the length of the street from the entry point off Shepherd until the street direction changes heading east. Fire lane markings will also be required on both sides of the median along the entire length of the street. The fire lanes shall be posted with signs and/or the curbs shall be painted red as per Clovis Fire Department Standard #1.1 and identified on site plan. Clovis Fire Standard #1.1

51. **Turning Radius:** All access way roads constructed shall be designed with a minimum outside turning radius of forty-five feet (45') Clovis Fire Standard #1.1
52. **Temporary Street Signs:** The applicant shall install temporary street signs that meet City Temporary Street Sign Standard #1.9 prior to issuance of building permits within a subdivision.
53. **All Weather Access & Water Supply:** The applicant shall provide all weather access to the site during all phases of construction to the satisfaction of the approved Clovis Fire Department Standard #1.2 or #1.3.
54. **Security Gates:** All security gates shall comply with Clovis Fire Department Gates Standard #1.5. Plans shall be submitted for review and permits issued by Fire Department prior to installation. Gates shall be inspected and tested for operation prior to any occupancy.
1. All vehicle gates for developments containing dwellings or as required by the Fire Chief shall be equipped with an approved "Class II" modulated light detection system capable of receiving a modulated frequency of 14.035 Hz. plus or minus 0.250 Hz. The detection system shall be installed according to the manufacturer's specifications. The light detection shall be installed to operate from any angle of approach by Clovis Fire Department Emergency Vehicles. Multiple light detection sensors may be required to be installed to allow access from different angles of approach. All light sensors are required to be tested by Clovis Fire Department Emergency Vehicles for approval.
 2. For separate entrance and exit gates when opened, gates shall provide a clear width of not less than **14** feet. A single gate providing entrance and exiting shall provide a clear width of not less than **20 feet**.

Exception to Clovis Fire Department Gates Standard #1.5 specific to this project for the north gate only: Due to conflicts and concerns from homes owners of existing homes, this gate may be used for emergency ingress and egress only. The developer shall provide written documentation of monthly testing of the gate by a third party contractor to the Clovis Fire Department.

Water Systems

55. **Residential Fire Hydrant:** The applicant shall install 4 ½" x 2 ½" approved Residential Type fire hydrant(s) and "Blue Dot" hydrant locators, paint fire hydrant(s) yellow with blue top and caps, and paint the curb red as specified by the adopted Clovis Fire Department Standard #1.4. Plans shall be submitted to the Clovis Fire Department for review and approval prior to installation. The hydrant(s) shall be charged and in operation prior to any framing or combustible material being brought onto the site. Clovis Fire Standard #1.4. The locations shown on the current tract meet Clovis Fire Department Standard #1.4.

56. **Looped Water Main:** The applicant shall install approved looped water main capable of the necessary flow of water for adequate fire protection and approved by the Clovis Fire Department.

General Plan: Circulation Element

57. **Policy 1.5:** Neighborhood connectivity. The transportation network shall provide multimodal access between neighborhoods and neighborhood-serving uses (educational, recreational, or neighborhood commercial uses). The proposed layout does not provide connectivity from Shepherd to any future development to the north.

58. **Policy 1.6:** Internal circulation. New development shall utilize a grid or modified-grid street pattern. Areas designated for residential and mixed-use village developments should feature short block lengths of 200 to 600 feet. Both Sheet 3 and Sheet 4 have streets in excess of 600'.

59. **Policy 1.8:** Network completion. New development shall complete the extension of stub streets planned to connect to adjacent streets, where appropriate. Fordham should be constructed to extend to the north and provide access for through traffic.

Engineering / Utilities / Solid Waste Division Conditions

(Sean Smith, Engineering Division Representative – 324-2363)

(Paul Armendariz, Department Representative – 324-2649)

Maps and Plans

60. The conditions of this tract map are written under the assumption that all dedications and improvements have been completed by the adjacent TM 6200 development, and that these dedications and improvements have been accepted by the City. Additional conditions shall be required at the discretion of the City Engineer if the improvements and dedications by TM 6200 have not been accepted by the City.

61. The applicant shall have a final tract map prepared, in the form prescribed by the Subdivision Map Act and City of Clovis Municipal Code. The final tract map shall be submitted to the City of Clovis Engineering Division, and should include, but not be limited to, final tract map, the current filing fee, closure calculations, current preliminary title report, legal descriptions and drawings of required dedications.

62. The applicant shall submit separately to the City of Clovis Engineering Division, a set of construction plans on 24" x 36" sheets with City standard title block for all required improvements and a current preliminary title report. These plans shall be prepared by a registered civil engineer, and shall include a grading plan, landscape plan, a site plan showing trash enclosure locations and an overall site utility plan showing locations and sizes of sewer, water, storm drain, and irrigation mains, laterals, manholes, meters, valves, hydrants, fire sprinkler services, other facilities, etc. Plan check and inspection fees per City of Clovis Resolution No. 23-34 shall be paid with the first submittal of said plans. All

plans shall be submitted at or before the time the building plans are submitted to the Building Division and shall be approved by the City and all other involved agencies prior to the release of any development permits.

63. Prior to the initial submittal of the improvement plans, the applicant shall contact Sean Smith at (559) 324-2363 to setup a coordination meeting (Pre-submittal Meeting).
64. Upon approval of improvement plans, the applicant shall provide the City with the appropriate number of copies. After all improvements have been constructed and accepted by the City, the applicant shall submit to the City of Clovis Engineering Division (1) digital copy to the City in PDF format of the approved set of construction plans revised to accurately reflect all field conditions and revisions and marked "AS-BUILT" for review and approval. Upon approval of the AS-BUILTs by the City, and prior to granting of final occupancy or final acceptance, the applicant shall provide to the City (1) digital copy in PDF format and two (2) bond copies.
65. The applicant shall comply with reporting requirements in accordance with Government Code 65940.1, which requires the City to, "request from a development proponent, upon issuance of a certificate of occupancy or the final inspection, whichever occurs last, the total amount of fees and exactions associated with the project for which the certificate was issued. The City shall post this information on its internet website, and update it at least twice per year."

General Provisions

66. The applicant shall pay all applicable development fees at the rate in effect at the time of payment and prior to final map approval by Council or have the fees payable directly to the City through a separate escrow account at the time of recordation of the map.
67. The applicant is advised that, pursuant to California Government Code, Section 66020, any party may protest the imposition of fees, dedications, reservations, or other exactions imposed on a development project by a local agency. Protests shall be filed in accordance with the provisions of the California Government Code and shall be filed within 90 days after conditional approval of this application is granted. The 90-day protest period for this project shall begin on the "date of approval" as indicated on the "Acknowledgment of Acceptance of Conditions" form.
68. All reimbursement requests shall be prepared and submitted in accordance with the requirements of the current version of the "Developer Reimbursement Procedures" a copy of which may be obtained at the City Engineer's Office.
69. The applicant shall install all improvements within public right-of-way and easements in accordance with the City of Clovis standards, specifications, master plans, and record drawings in effect at the time of improvement plan approval.

70. The applicant shall address all conditions, and be responsible for obtaining encroachment permits from the City of Clovis for all work performed within the City's right-of-way and easements.
71. The applicant shall submit a soils report or a waiver of soils report to the City of Clovis Engineering Division for approval by the City Engineer.
72. The applicant shall provide and pay for all geotechnical services per City policy.
73. The applicant shall comply with the requirements of the local utility, telephone, and cable companies. It shall be the responsibility of the applicant to notify the local utility, telephone, and cable companies for the removal or relocation of utility poles where necessary. The City shall not accept first submittals without proof that the applicant has provided the improvement plans and documents showing all proposed work to the utility, telephone, and cable companies. All utility vaults in which lids cannot be sloped to match proposed finished grading, local utilities have 5% max slope, shall be located in sidewalk areas with pedestrian lids so the lid slope matches sidewalk cross slope.
74. All existing overhead and new utility facilities located on-site or within the street right-of-way along the streets adjacent to this tract shall be undergrounded unless otherwise approved by the City Engineer.
75. The applicant shall contact and address all requirements of the United States Postal Service Clovis Office for the location and type of mailboxes to be installed. The location of the facilities shall be approved by the City Engineer prior to approval of improvement plans or any construction.
76. The applicant shall contact and address Caltrans requirements. The applicant shall be required to mitigate impacts to State Highway facilities as determined by the City Engineer.

Dedications and Street Improvements

77. The applicant shall provide right-of-way acquisition or dedicate free and clear of all encumbrances and/or improve the following streets to City standards. The street improvements shall be in accordance with the City's specific plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the type, location, and grades of existing improvements.
- a. Shepherd Avenue – Along frontage, dedicate to provide right-of-way acquisition for 70' (existing 0' due to a change in the ultimate street centerline alignment) north of centerline and 60' (existing varies) south of centerline, and improve with curb, gutter and sidewalk on both sides of the street, drive approaches, curb return ramps, street lights, fiber optic conduit, median island, median island landscaping and irrigation, landscape strip, 60' (30' north + 30' south) of permanent paving, and transitional paving as needed.

- b. Shepherd Avenue – For orderly development, between the eastern limit of the development and North Fowler Avenue, dedicate to provide right-of-way acquisition for 70' (existing varies) north of centerline and 60' (existing varies) south of centerline, and improve with curb, gutter and sidewalk on both sides of the street, drive approaches, curb return ramps, street lights, fiber optic conduit, median island, median island landscaping and irrigation, landscape strip, 60' (30' north + 30' south) of permanent paving, and transitional paving as needed.
- c. North Sunnyside Avenue – Along frontage, dedicate to provide right-of-way acquisition for 47' (existing varies) east centerline, and improve with sidewalk, curb return ramps and landscape strip.
- d. North Sunnyside Avenue Round-A-Bout – At Heirloom Avenue, dedicate and improve to Federal Highway Administration guidelines and approval of the City Engineer.
- e. Heirloom Avenue –According to the approved Vesting Tentative Tract Map, dedicate to provide for 72' to 85' of right-of-way and improve with curb, gutter, sidewalk on the south side and pathway on the north side, drive approaches, curb return ramps, streetlights, landscaping and irrigation, permanent paving, and all transitional paving as needed.
- f. North Fordham Avenue – Between Shepherd Avenue and Public Street "A" according to the approved Vesting Tentative Tract Map, dedicate to provide for 89' of right-of-way and improve with curb, gutter, sidewalk on the east side and pathway on the west side, curb return ramps, streetlights, landscaping and irrigation, permanent paving, and all transitional paving as needed.
- g. Private Street "F" – Between Heirloom Avenue and Perrin Avenue, according to the approved Vesting Tentative Tract Map, dedicate to provide for 67.2' of right-of-way and improve with curb, gutter, pathway on the east side, curb return ramps, streetlights, landscape strip, permanent paving, and all transitional paving as needed.
- h. Gated Developments – Provide ample vehicle stacking area outside the travel lanes of the public street that will allow vehicles to wait as vehicles are accessing the control panel to open the security gates. Design a turn-a-round to allow vehicles that cannot enter the complex to return to the street without backing the vehicle up. Provide the Solid Waste Division with remote controls that will allow access for all solid waste and recycling vehicles.
- i. Public Interior Streets – Dedicate to provide for 50' or 54' of right-of-way in conformance with the City policy on street widths, and improve with curb, gutter, 5' sidewalk adjacent to the curb, drive approaches, curb return ramps, streetlights, permanent paving, and all transitional paving as needed.

- j. Private Interior Streets – For two-way traffic with no parking on both sides, the minimum travel width shall be 25' with a clear width of 30'. For two-way traffic with parking on one side, the minimum travel width shall be 32'. For two-way traffic with parking on both sides, the minimum travel width shall be 36'.
 - k. Entry feature streets with median islands shall have a minimum of 22' wide travel lanes in each direction with parking or without parking.
 - l. Cul-De-Sacs - dedicate to provide for 52' radius and improve with curb, gutter, sidewalk, streetlights, 43' permanent paving and all transitional paving as needed.
 - m. The applicant shall relinquish all vehicular access for all lots backing or siding onto Shepherd and North Sunnyside Avenues.
 - n. Shepherd Avenue – At the proposed local street, construct a 200-foot eastbound dedicated left-turn pocket and a 100-foot westbound dedicated right-turn lane.
78. The applicant shall provide a dedication for a 10' public utility easement, where applicable, along all frontages or alternate widths approved by the utilities companies.
79. For new onsite ADA paths of travel that connect to the City sidewalk, the applicant shall replace enough sidewalk to provide a compliant landing with appropriate transitions to existing sidewalk grades.
80. The applicant shall remove and repair all damaged or broken concrete improvements. The City Engineer may require the repair of additional improvements if they are damaged prior to occupancy.
81. The applicant shall not install any fences, temporary or permanent in public right-of-way.
82. The applicant shall provide preliminary title report, legal description and drawings for all dedications required which are not on the site. All contact with owners, appraisers, etc. of the adjacent properties where dedication is needed shall be made only by the City. The City will prepare an estimate of acquisition costs including but not limited to appraised value, appraisal costs, negotiation costs, and administrative costs. The applicant shall pay such estimated costs as soon as they are determined by the City.
83. The sideyard side of all corner lots shall have full width sidewalk except where planter strips or meandering sidewalk is proposed.
84. The applicant shall obtain "R Value" tests in quantity sufficient to represent all street areas, and have street structural sections designed by a registered civil engineer based on these "R Value" tests.

85. The applicant shall, at the ends of any permanent pavement abutting undeveloped property, install 2" x 6" redwood header boards that shall be placed prior to the street surfacing.
86. Standard barricades with reflectors shall be installed at ends of streets abutting undeveloped property and any other locations to be specified by the City Engineer.

Sewer

87. The applicant shall identify and abandon all septic systems to City standards.
88. The applicant shall install sanitary sewer mains of the size and in the locations indicated below, prior to occupancy. The sewer improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains shall require approval of the City Engineer and shall be supported by appropriate calculations.
 - a. Shepherd Avenue – Install 15" main between North Sunnyside Avenue and North Fowler Avenue.
 - b. Shepherd Avenue – Install 16" force main between North Sunnyside Avenue and North Fowler Avenue.
 - c. Shepherd Avenue – Install 8" force main between North Sunnyside Avenue and North Fowler Avenue.
 - d. Interior Streets – Install 8" mains.
89. The applicant shall install one (1) 4" sewer service house branch to each lot within the tentative tract.
90. The applicant shall notify all property owners annexed to the City and along streets where a new sewer main will be constructed to determine if they wish to be connected to City sewer. Property owners shall work directly with the applicant regarding costs and location. The applicant shall notify property owners that sewer connection fees are required if they choose to connect.
91. The City cannot guarantee at this time that sewer capacity will be available for this development when site construction occurs. The applicant, therefore, waives any claim or demand against the City for any delay in availability of sewer capacity for this subdivision.
92. Applicant acknowledges that sewage collection and treatment capacity for the area within which the proposed subdivision is located is extremely limited, and that capacity may not be available to provide service for the proposed subdivision at such time as applicant is ready to seek approval of a final map. Applicant acknowledges, understands, and agrees that if such sewage collection and treatment capacity is not available to serve the proposed subdivision, as determined in the sole and absolute discretion of the City of Clovis, the final map may not be approved. Notwithstanding the

foregoing, applicant has freely and voluntarily chosen to proceed with the submittal and processing of the tentative map, intends to expend money, time and effort in connection therewith, and accepts the risks that the final map approval may be delayed until sufficient capacity is available as determined in the sole and absolute discretion of the City of Clovis. Applicant agrees to hold harmless and indemnify the City of Clovis from any and all claims, costs, expenses, and damages incurred or suffered by applicant, its principals, officers, employees, agents, or contractors, caused by, in connection with, or arising out of the unavailability of sewage collection or treatment capacity to serve the proposed subdivision, or the City's refusal or failure to approve a final map for the proposed subdivision because of the unavailability of sewage collection or treatment.

Water

93. The applicant shall identify and abandon all water wells to City standards.
94. The applicant shall install water mains of the sizes and in the locations indicated below and provide an adequately looped and redundant water system prior to occupancy. The water improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains shall require approval of the City Engineer and shall be supported by appropriate calculations.
 - a. Shepherd Avenue – Relocate the 16" main so the centerline of the entire length between North Sunnyside Avenue and North Fowler Avenue is 33' south of the street centerline.
 - b. North Sunnyside Avenue – Install 24" main along the PG&E substation frontage to Perrin Avenue.
 - c. Perrin Avenue – Install 24" main between North Sunnyside Avenue and North Marion Avenue.
 - d. Interior Streets – Install 8" mains.
 - e. Interior Private Streets – Install 8" mains.
 - f. Provide appropriately sized off-site water mains for a redundant water system as approved by the City Engineer.
95. The applicant shall provide dedication of 15-foot-wide utility easements for all on-site water mains, hydrants, blow-offs, and water meters not located in otherwise dedicated rights-of-way.
96. The applicant shall install a City standard water service to each lot of the proposed subdivision. Water services shall be grouped at property lines to accommodate automatic meter reading system, including installation of connecting conduit. The water meter shall be placed in the sidewalk and not in planters or driveways.
97. The applicant shall notify all property owners' annexed to the City and along streets where a new water main will be constructed to determine if they wish to be connected

to City water. Property owners shall work directly with the applicant regarding costs and location. The applicant shall notify property owners that water connection fees are required if they choose to connect.

98. Prior to recording a final map of any phase, the applicant shall demonstrate to the satisfaction of the City Fire Chief and City Engineer that there is adequate water pressure to serve the units to be constructed. The applicant shall work with the City Engineer to determine the adequacy of water supply/pressure for the proposed development.
99. Applicant acknowledges that water distribution and treatment capacity for the area within which the proposed subdivision is located is extremely limited, and that distribution may not be available to provide service for the proposed subdivision at such time as applicant is ready to seek approval of a final map. Applicant acknowledges, understands, and agrees that if such water distribution and treatment capacity is not available to serve the proposed subdivision, as determined in the sole and absolute discretion of the City of Clovis, the final map may not be approved. Notwithstanding the foregoing, applicant has freely and voluntarily chosen to proceed with the submittal and processing of the tentative map, intends to expend money, time and effort in connection therewith, and accepts the risks that the final map approval may be delayed until sufficient distribution is available as determined in the sole and absolute discretion of the City of Clovis. Applicant agrees to hold harmless and indemnify the City of Clovis from any and all claims, costs, expenses, and damages incurred or suffered by applicant, its principals, officers, employees, agents, or contractors, caused by, in connection with, or arising out of the unavailability of water distribution or treatment capacity to serve the proposed subdivision, or the City's refusal or failure to approve a final map for the proposed subdivision because of the unavailability of water distribution or treatment capacity.

Recycled Water

100. The applicant shall install recycled water mains of the sizes and in the locations indicated below. The recycled water improvements shall be in accordance with the City's master plans and shall match existing improvements. All areas utilizing recycle water for irrigation shall be clearly marked on the improvement plans. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Any alternative routing of the mains shall require approval of the City Engineer and may require appropriate calculations.
 - a. Shepherd Avenue – Install 24" main between North Sunnyside Avenue and North Fowler Avenue.
 - b. Paseos, Trails, and Neighborhood Parks – Install mains as necessary to serve the paseos, trails, and the neighborhood parks.

Grading and Drainage

101. The applicant shall contact the Fresno Metropolitan Flood Control District (FMFCD) and address all requirements, pay all applicable fees required, obtain any required NPDES permit, and implement Best Available Technology Economically Achievable and Best Conventional Pollutant Control Technology to reduce or eliminate storm water pollution. Plans for these requirements shall be included in the previously required set of construction plans, and shall be submitted to and approved by FMFCD prior to the release of any development permits.
102. Portions of the project appear to lie within a flood zone. The applicant shall comply with the requirements of the City's Municipal Code.
103. In the event permanent storm drainage facilities are not available, the applicant shall provide temporary on-site retention basins for storm water disposal and provide a cash deposit for each basin to offset the City's cost of maintaining the basins. The size and design shall be in accordance with the requirements of the City Engineer and may change based on design calculations and access requirements for maintenance. The temporary pond maintenance deposit shall be based on size, depth, expected maintenance schedule, etc. However, the property owner shall be responsible for periodic cleaning of toxic material. The temporary basin is solely for the convenience of the subdivision.
104. The owner of the property on which the temporary basin(s) are located shall backfill said basin(s) within ninety (90) days after notice is given by the City that the basin(s) are no longer needed. In the event the owner fails to backfill said basin(s) within said 90 days, the City may cause the basin to be backfilled. A lien to cover the cost of the work will be placed on the property, including the costs to prepare and enforce the lien. A covenant shall be prepared and recorded on the lot on which the basin(s) is/are located.
105. Grade differentials between lots and adjacent properties shall be adequately shown on the grading plan and shall be treated in a manner in conformance with City of Clovis Standard Drawing No. M-4 as modified by the City Council. Any retaining walls required on-site or in public right of way shall be masonry construction. All retaining walls shall be designed by a registered civil engineer.

Irrigation and Landscaping Facilities

106. The applicant, as a portion of the required tract improvements, shall provide landscaping and irrigation as required herein. The landscaping and irrigation shall be installed in public right-of-way and the area reserved for landscaping. The irrigation and landscape improvements shall be in accordance with the City's master plans and shall match existing improvements. The applicant's engineer shall be responsible for verifying the size, location, and elevations of existing improvements. Plans for the required landscaping and irrigation systems shall be prepared by an appropriately registered professional at the applicant's expense and shall be approved by the City of Clovis

Planning and Development Services Department and Public Utilities Department prior to the beginning of construction or the recording of the final tract map, whichever occurs first. Landscape and irrigation facilities that the City Landscape Maintenance District shall maintain: landscape strips along North Sunnyside Avenue and Shepherd Avenue, and the median islands in Shepherd Avenue. The landscape strips around the planned unit developments in the interior streets may be maintained by a perpetual maintenance covenant.

107. The owner shall request annexation to and provide a covenant for the Landscape Maintenance District. The property owner acknowledges and agrees that such request serves as a petition pursuant to California State Proposition 218 and no further election shall be required for the establishment of the initial assessment. The assessment for each lot shall be obtained from the City for the tax year following the recordation of the final map. The estimated annual assessment per average sized lot is \$524.53, which is subject to change prior to issuance of building permit or final tract map approval and is subject to an annual change in the range of the assessment in the amount of the Consumer Price Index, U.S. City Average, All Urban Consumers (CPI Index), plus two percent (2%). The additional landscaping enhancements that exceed the City norms and are specific benefit to the property, such as the entry feature, columns, monuments, interior median islands, round-a-bouts, special streetlights, etc, if determined to be maintained by the Landscape Maintenance District, shall be maintained by an additional landscape maintenance assessment. The applicant shall provide construction costs and deposit with the City an amount equal to 50% of the value of the enhanced landscaping hardscape features, or an alternate amount approved by the City Engineer, such as columns, monuments, and special street lights, that exceeds the City norms. The applicant shall provide the City with an estimate of the annual maintenance for the special lighting and landscaping enhancements that exceeds the City norms. The owner/developer shall notify all potential lot buyers before they actually purchase a lot that this tract is a part of a Landscape Maintenance District and shall inform potential buyers of the assessment amount. Said notification shall be in a manner approved by the City. The owner/developer shall supply all pertinent materials for the Landscape Maintenance District.
108. The applicant shall comply with the City of Clovis Water Efficient Landscape Requirements Ordinance.
109. All existing agricultural irrigation systems either on-site or in public right of way, shall be identified prior to any construction activity on the site. Service to all downstream users of irrigation water shall be maintained at all times through preservation of existing facilities or, if the existing facilities are required to be relocated, the relocation and replacement of the existing facilities. It is the intent that downstream users not bear any burden as a result of development of the site. Therefore, the applicant shall pay all costs related to modification, relocation, or repair of any existing irrigation facilities resulting from or necessitated by the development of the site. The applicant shall identify on site plans and construction plans, all existing irrigation systems and their disposition (abandonment, repair, relocation, and/or piping). The applicant shall provide waivers

from all users in order to abandon or modify any irrigation pipelines or for any service interruptions resulting from development activities.

110. The applicant shall provide a landscape and irrigation perpetual maintenance covenant recorded for landscaping installed in the public right-of-way behind the curb including easements that will not be maintained by the Clovis Landscape Maintenance District. A recordable covenant shall be submitted to and approved by the City of Clovis City Engineer prior to final map approval.
111. The applicant shall provide a perimeter wall perpetual maintenance covenant on all properties that have a perimeter wall that is installed on private property. A recordable covenant shall be submitted to and approved by the City of Clovis City Engineer prior to final map approval.

Miscellaneous

112. The applicant shall install streetlights per the attached street light exhibit. Streetlights along the major streets shall be installed on metal poles to local utility provider's standards at the locations designated by the City Engineer. Street light locations shall be shown on the utility plans submitted with the final map for approval. Streetlights at future traffic signal locations shall be installed on approved traffic signal poles, including all conduits and pull boxes. Streetlights along the major streets shall be owned and maintained by local utility providers. Proof of local utility provider's approval shall be provided. The applicant may install thematic lighting, as approved by the City Engineer. If the applicant chooses to install thematic lighting, the applicant shall provide a conceptual lighting plan identifying adjacent properties that may be incorporated with thematic lights to create a neighborhood effect. Thematic lighting owned by the City shall be maintained by an additional landscape maintenance assessment.
113. The applicant shall install all major street monumentation and section corner monumentation within the limits of the project work in accordance with City Standard ST-32 prior to final acceptance of the project. Monumentation shall include all section corners, all street centerline intersection points, angle points and beginning and end of curves (E.C.'s & B.C.'s). The applicant/contractor shall furnish brass caps. Any existing section corner or property corner monuments damaged by this development shall be reset to the satisfaction of the City Engineer. A licensed land surveyor or civil engineer licensed to perform land surveying shall certify the placement of all required monumentation prior to final acceptance. Brass caps required for installation of new monuments or replacement of existing monuments shall be provided by the contractor/the applicant and approved by City prior to installation. Within five days after the final setting of all monuments has been completed, the engineer or surveyor shall give written notice to the City Engineer that the final monuments have been set. Upon payment to the engineer or surveyor for setting the final monuments, the applicant shall present to the City Engineer evidence of the payment and receipt thereof by the engineer or surveyor.

114. A deferment, modification, or waiver of any engineering conditions shall require the express written approval of the City Engineer.

115. The conditions given herein are for the entire development. Additional requirements for individual phases may be necessary pending review by the City Engineer.

Fresno Metropolitan Flood Control District (FMFCD) Comments

(Robert Villalobos, Department Representative – 559-456-3292)

116. The applicant shall refer to the attached FMFCD correspondence. If the list is not attached, please contact the Fresno Metropolitan Flood Control District for the requirements.

Fresno Irrigation District (FID) Conditions

(Laurence Kimura, Department Representative – 559-233-8227)

117. The applicant shall refer to the attached Fresno Irrigation District correspondence. If the list is not attached, please contact the FID for the list of requirements.

County of Fresno Health Department Conditions

(Kevin Tsuda, County of Fresno Health Department Representative – 600-3271)

118. The applicant shall refer to the attached Fresno County Health Department correspondence. If the list is not attached, please contact the Health Department for the list of requirements.

Caltrans

(Christopher Xiong, Caltrans Representative – 908-7064)

119. The applicant shall refer to the attached Caltrans correspondence. If the list is not attached, please contact the Caltrans for the list of requirements.

Clovis Unified School District

(Michael Johnston, CUSD Representative – 327-9000)

120. The applicant shall refer to the attached CUSD correspondence. If the list is not attached, please contact the CUSD for the list of requirements.

San Joaquin Valley Air Pollution Control District

(Carol Flores, SJVAPCD Representative – 230-5935)

121. The applicant shall refer to the attached SJVAPCD correspondence. If the list is not attached, please contact the SJVAPCD for the list of requirements.

Administration Department Conditions

(John Holt, Department Representative – 324-2060)

122. Prior to approval, recordation or filing of an annexation, final map, or site plan, the property covered by the Project shall be included within or annexed to a Community Facilities District (CFD), established by the City for the provision of public facilities and services, for which proceedings have been consummated, and shall be subject to the special tax approved with the formation or annexation to the CFD. The CFD applies only to residential projects.

RESOLUTION 24-__**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING A PLANNED DEVELOPMENT PERMIT FOR VESTING TENTATIVE TRACT MAP 6205 LOCATED AT THE NORTHEAST CORNER OF SHEPHERD AND N. SUNNYSIDE AVENUES**

WHEREAS, Great Bigland, LP., 7550 N. Palm Avenue, Suite 102, Fresno, CA 93711, has applied for a Planned Development Permit (PDP 2021-004) to deviate from the R-1 Zone District development standards associated with Vesting Tentative Tract Map 6205 for a 605-lot single-family subdivision (“Project”) on approximately 77 acres of property located at the northeast corner of Shepherd and N. Sunnyside Avenues (“Property”); and

WHEREAS, the proposed PDP 2021-004 is in keeping with the intent and purpose of the Zoning Ordinance; and

WHEREAS, the Planning Commission considered PDP 2021-004 on November 16, 2023, recommending denial of said PDP; and

WHEREAS, a duly noticed hearing was held on March 18, 2024, at which time the City Council considered PDP 2021-004; and

WHEREAS, on March 18, 2024, the City Council continued PDP 2021-004 to the May 6, 2024, public hearing; and

WHEREAS, the City Council held a public hearing on May 6, 2024, at which time the City Council considered PDP 2021-004; and

WHEREAS, the City published notice of the public hearing in the Fresno Business Journal on March 6, 2024, mailed public notices to property owners within 800 feet of the Property, including the Dry Creek Preserve Area, ten (10) days prior to said City Council hearing, and otherwise posted notice of the Public Hearing according to applicable law; and

WHEREAS, the City Council has given careful consideration to this Planned Development Permit on May 6, 2024, and considered the CEQA analysis outlined in the staff report and elsewhere in the Administrative Record which determines that the Project meets the requirements pursuant to CEQA Guidelines; and

WHEREAS, on March 18, 2024, the City Council certified the Revised Final Project Environmental Impact Report for the Shepherd North Project, inclusive of PDP2021-004; adopted the CEQA Findings of Fact and a Statement of Overriding Considerations; and adopted a Mitigation Monitoring and Reporting Program; and

WHEREAS, the City Council has reviewed and considered the entire Administrative Record relating to the Project, which is on file with the Department, and reviewed and considered those portions of the Administrative Record determined to be necessary to make an informed decision, including, but not necessarily limited to, the staff report, the written materials submitted with the request, and the verbal and written testimony and other evidence presented

during the public hearing, and the conditions of approval attached as **Attachment A** to this Resolution, which are incorporated herein by this reference.

NOW, THEREFORE, BASED UPON THE ENTIRE RECORD OF THE PROCEEDINGS, THE CITY COUNCIL RESOLVES AND FINDS AS FOLLOWS:

1. The City Council hereby approves Planned Development Permit 2021-004 (“PDP 2021-004”), subject to the conditions of approval set forth in **Attachment A** of this Resolution.
2. The Project satisfies the required findings for approval of a Planned Development Permit, as follows:
 - a. The Project is allowed within the subject base zoning district;
 - b. The Project is consistent with the purpose, intent, goals, policies, actions, and land use designations of the General Plan and any applicable specific plan;
 - c. The Project is generally in compliance with all of the applicable provisions of this Development Code relating to both on- and off-site improvements that are necessary to accommodate flexibility in site planning and property development and to carry out the purpose, intent, and requirements of this chapter and the subject base zoning district, including prescribed development standards and applicable design guidelines;
 - d. The Project ensures compatibility of property uses within the zoning district and general neighborhood of the proposed development;
 - e. The Project would produce a comprehensive development of superior quality (e.g., appropriate variety of structure placement and orientation opportunities, appropriate mix of structure sizes, high quality architectural design, increased amounts of landscaping and open space, improved solutions to the design and placement of parking facilities, incorporation of a program of enhanced amenities, etc.) than which might otherwise occur from more traditional development applications;
 - f. Proper standards and conditions have been imposed to ensure the protection of the public health, safety, and welfare;
 - g. Proper on-site traffic circulation and control is designed into the development to ensure protection for fire suppression and police surveillance equal to or better than what would normally be created by compliance with the minimum setback and parcel width standards identified in Division 2 of this title (Zoning Districts, Allowable Land Uses, and Zone-Specific Standards);

- h. The subject parcel is adequate in terms of size, shape, topography, and circumstances to accommodate the proposed development; and
 - i. The design, location, operating characteristics, and size of the proposed development would be compatible with the existing and future land uses in the vicinity, in terms of aesthetic values, character, scale, and view protection.
3. The City Council could not make the findings necessary for approval of PDP 2021-004 without the conditions of approval set forth in **Attachment A** to this Resolution.
 4. The basis for the findings is detailed in the May 6, 2024, staff report, which is hereby incorporated by reference, the entire Administrative Record, as well as the evidence and comments presented during the public hearing.

* * * * *

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote, to wit.

AYES:
 NOES:
 ABSENT:
 ABSTAIN:

DATED: May 6, 2024

Mayor

City Clerk

Attachment A
Conditions of Approval – PDP 2021-004
Planning Division Comments
(George González, Senior Planner - (559) 324-2383)

1. As part of the required public amenity for the Project, the developer shall contribute a dollar amount totaling \$150,000 to the City for utilization in future open space and/or park improvements.
2. As a private amenity for the Project, the developer shall contribute the construction of a recreational area within two gated communities, which includes a pool, restroom facility, outdoor shower, cabana/ pergola, and lawn chairs. Specific amenity details will be reviewed during the civil plan review process.
3. The proposed project must also produce a comprehensive development of superior quality than which might otherwise occur from more traditional development on the site. This could include an enhanced entry point, an embellished block wall on both street frontages, and superior exterior elevation design, all of which will be reviewed and approved through the civil plan review process and residential site plan review.
4. No more than two of the same unit type (floor layout and exterior materials package) shall be repeated side by side. When two of the same units are repeated side by side, they shall be different colors. These identical provisions may be waived by the City Planner on a specific lot basis within the project when the size or configuration of a lot would otherwise prevent compliance with the above requirements of any other siting or setback/yard requirements established under this application. If such a waiver is requested, the developer and City Planner shall work together to ensure that any sitings of units not in compliance with the above requirements shall be of different materials and elevations in order to minimize any adverse visual impacts that may result.
5. Setbacks shall be measured to the exterior face of the framing of the structure. Exceptions to the setbacks are identified in §9.24.100, of the Clovis Municipal Code.
6. Maximum lot coverage for the Citrea lots/ homes of TM6205 is 60% unless specifically approved through a residential site plan review or variance.
7. Maximum lot coverage for the Elev8ions lots/ homes of TM6205 is 65% unless specifically approved through a residential site plan review or variance.
8. Maximum lot coverage for the Regent lots/ homes of TM6205 is 60% unless specifically approved through a residential site plan review or variance.
9. Maximum building (main structure) height shall not exceed thirty-five (35) feet.

10.Planned Development Permit PDP 2021-004 standards for Citrea lots/ homes within TM6205 shall be as follows:

Setbacks	Front (Garage)	Front (house)	Garage Side	Corner Street Sides	Rear
Plan 1334 (one-story)	18'	10'	5'	5'	5'
Plan 1482 (one-story)	18'	10'	5'	5'	5'
Plan 1612 (one-story)	18'	10'	5'	5'	5'
Plan 1782 (one-story)	18'	10'	5'	5'	5'
Plan 2741 (two-story)	18'	10'	5'	5'	5'

Lot Coverage:	60% Max
Maximum Height:	2-stories not to exceed 35 feet
Minimum Lot Size:	3,700 square feet
Minimum Parcel Width:	50 feet
Minimum Curved Parcel Width:	25 feet
Minimum Corner Parcel Width:	53 feet
Minimum Parcel Depth:	74 feet
Reversed Corner Street Side Setback:	5 feet
Corner Street Side Fence Setback:	3 feet
Interior Side Yard Setback (opposite from garage):	3 feet
Setback to Projections and/or Porch/ Patio:	9 feet
Garages:	20'x20' interior dimension (2-car)

11.Planned Development Permit PDP2021-004 standards for Elev8ions lots/ homes within TM6205 shall be as follows:

Setbacks	Front (Garage)	Front (house)	Garage Side	Corner Street Sides	Rear
Plan 1212 (two-story)	5'	5'	5'	3'	4'
Plan 1390 (two-story)	5'	5'	5'	3'	4'
Plan 1648 (two-story)	5'	5'	5'	3'	4'
Plan 1660 (two-story)	5'	5'	5'	3'	4'

Lot Coverage:	65% Max
Maximum Height:	2-stories not to exceed 35 feet
Minimum Lot Size:	1,980 square feet
Minimum Parcel Width:	36 feet
Minimum Curved Parcel Width:	36 feet
Minimum Corner Parcel Width:	50 feet
Minimum Parcel Depth:	50 feet
Reversed Corner Street Side Setback:	3 feet
Corner Street Side Fence Setback:	3 feet
Interior Side Yard Setback (opposite from garage):	3 feet
Setback to Projections and/or Porch/ Patio:	4 feet
Garages:	20'x20' interior dimension (2-car) 10'x20' interior dimension (1-car)

12.Planned Development Permit PDP 2021-004 standards for Regent lots/ homes within TM6205 shall be as follows:

Setbacks	Front (Garage)	Front (house)	Garage Side	Corner Street Sides	Rear
Plan 1887 (one-story)	18'	10'	5'	8'	8'
Plan 2007 (one-story)	18'	10'	5'	8'	8'
Plan 2162 (one-story)	18'	10'	5'	8'	8'
Plan 2432 (two-story)	18'	10'	5'	8'	8'
Plan 3056 (two-story)	18'	10'	5'	8'	8'

Lot Coverage:	60% Max
Maximum Height:	2-stories not to exceed 35 feet
Minimum Lot Size:	4,500 square feet
Minimum Parcel Width:	50 feet
Minimum Curved Parcel Width:	25 feet
Minimum Corner Parcel Width:	53 feet
Minimum Parcel Depth:	90 feet
Reversed Corner Street Side Setback:	8 feet
Corner Street Side Fence Setback:	3 feet
Interior Side Yard Setback (opposite from garage):	3 feet
Setback to Projections and/or Porch/ Patio:	9 feet
Garages:	20'x20' interior dimension (2-car) 20'x20' minimum with 9'x15.5' minimum tandem (3-car)

13.Landscape plans shall be reviewed and approved separately by the landscape review committee for tree and landscape type and location.

14.All lighting shall be screened from direct view from the public right-of-way and adjacent residential properties.

15.All landscaping (open space and private yards) shall conform to the City of Clovis Water Efficient Landscape Ordinance.

16.The developer shall construct a minimum six-foot high solid split face masonry wall along the Shepherd and N. Sunnyside Avenue frontages. The masonry wall along Shepherd Avenue shall incorporate tubular steel fencing with pedestrian gates. The masonry walls shall incorporate angled corners at entries, and columns at the corners and ends.

17.The developer shall construct a minimum six-foot high solid masonry wall along property lines adjacent to the Fordham Avenue frontage.

18.The developer shall construct a minimum six-foot high solid masonry wall along the northern property line of Heirloom Avenue and the western property line of Private Street "F" frontage.

19. A minimum 6-foot high wood fence shall be placed along the northern (near Perrin Road alignment) and eastern property lines. If one is existing, it shall be of a condition to the satisfactory of the Planning Division and in compliance with fence standards.
20. The developer shall provide trail furniture, including benches and trash receptacles, along Shepherd Avenue, Fordham Avenue, Heirloom Avenue, and Private Street "F."
21. The developer shall install pedestrian bollard lighting along the community trail on Shepherd Avenue, consistent with TM6200 to the west. Bollard light spacing will be every 100 linear feet.
22. The applicant shall provide an all-weather surface for the placement and storage of trash receptacles.
23. This Project requires the submittal and approval of a residential site plan review entitlement for lot-specific development standards. Specific color and materials of the models, walls, amenities, landscaping, and fencing will be evaluated through the civil plans.

RESOLUTION 24-__

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CLOVIS APPROVING THE
FOURTH AMENDMENT TO THE 2017 AMENDED AND RESTATED MEMORANDUM OF
UNDERSTANDING BETWEEN THE COUNTY OF FRESNO AND CITY OF CLOVIS
REGARDING A SPHERE OF INFLUENCE EXPANSION AND STANDARDS OF
ANNEXATION**

WHEREAS, In November 2021, the Clovis City Council approved a request by Wilson Premier Homes to revise the previously approved SOI boundary from approximately 1,050 acres to 155 acres of land. The City Council authorized staff to proceed with the amendment to the City's SOI expansion to add approximately 155 acres and to prepare and submit a LAFCo application for the SOI expansion. Additionally, the City Council authorized staff to execute a consultant agreement for the preparation of an Environmental Impact Report (EIR) associated with the Shepherd North Project (TM6205); and

WHEREAS, A Fourth Amendment to the 2017 Amended and Restated Memorandum of Understanding between the County of Fresno and City of Clovis is necessary to facilitate the approved sphere of influence expansion and the annexation of the Shepherd-Sunnyside Northeast Reorganization to the City of Clovis, as set forth in **Attachment A**; and

WHEREAS, the City Council has reviewed and considered the staff report and all written materials submitted in connection with the application and hearing and considered the testimony presented during the public hearing ("Administrative Record"); and

WHEREAS, this Council finds and determines that approval of said Fourth Amendment to the Memorandum of Understanding between the County of Fresno and City of Clovis should be conditioned on all conditions recommended by the City and County staff, as set forth in **Attachment B**.

**NOW, THEREFORE, BASED UPON THE ENTIRE RECORD OF THE PROCEEDINGS,
THE CITY COUNCIL RESOLVES AND FINDS AS FOLLOWS:**

1. A Fourth Amendment to the 2017 Amended and Restated Memorandum of Understanding between the County of Fresno and City of Clovis is necessary to facilitate the sphere of influence expansion and the annexation of the Shepherd-Sunnyside Northeast Reorganization to the City of Clovis, as set forth in **Attachment A**; and
2. The basis for the findings is detailed in the May 6, 2024, staff report, which is hereby incorporated by reference, the entire Administrative Record, as well as the evidence and comments presented during the Public Hearing; and
3. As part of the Shepherd-Sunnyside Northeast Reorganization boundaries, the annexation area will include the full public rights-of-way of Shepherd Avenue, along the project's frontage; and

ATTACHMENT 7

- 4. The Fourth Amendment to the 2017 Amended and Restated Memorandum of Understanding between the County of Fresno and City of Clovis is hereby approved.

* * * * *

The foregoing resolution was introduced and adopted at a regular meeting of the City Council of the City of Clovis held on May 6, 2024, by the following vote, to wit.

AYES:
NOES:
ABSENT:
ABSTAIN:

DATED: May 6, 2024

Mayor

City Clerk

**SHEPHERD-SUNNYSIDE NORTHEAST REORGANIZATION
TO BE ANNEXED THE CITY OF CLOVIS AND DETACHMENT FROM FRESNO COUNTY
FIRE PROTECTION DISTRICT AND KINGS RIVER CONSERVATION DISTRICT**

That portion of the Southwest quarter of Section 21, Township 12 South, Range 21 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, described as follows:

BEGINNING at the Northwest corner of the East half of said Southwest quarter;

Thence (1) North $89^{\circ}21'24''$ East, along the North line of said East half, a distance of 659.82 feet to the Northeast corner of the West half of said East half;

Thence (2) South $00^{\circ}53'01''$ East, along the East line of the West half of said East half, a distance of 2535.22 feet to the Northwest corner of that area granted to the City of Clovis per Grant Deed recorded December 8, 2016 as Document No. 2016-0168528-00, Official Records of Fresno County, said point being the beginning of a 2234.00 foot radius non-tangent curve concave Southerly, a radial to said beginning bears North $04^{\circ}41'25''$ East;

Thence (3) Easterly, along the Northerly line of said area, along said curve, through a central angle of $0^{\circ}09'54''$, an arc distance of 6.43 feet;

Thence (4) South $85^{\circ}08'41''$ East, along the Northerly line of said area, a distance of 320.85 feet to a point on the East line of Parcel 3 of Parcel Map No. 3637 recorded in Book 24 of Parcel Maps at Page 59, Fresno County Records, said point being on the Westerly line of that area granted to the City of Clovis per Grant Deed recorded April 11, 2016 as Document No. 2016-0044555-00, Official Records of Fresno County;

Thence (5) North $00^{\circ}53'06''$ West, along the East line of said Parcel 3 and along the Westerly line of last said area, a distance of 11.70 feet to the Northwest corner of last said area;

Thence (6) along the Northerly line of last said area, the following five [5] courses: [1] South $85^{\circ}08'31''$ East, a distance of 235.79 feet;

Thence (7) [2] North $81^{\circ}43'27''$ East, a distance of 13.20 feet;

Thence (8) [3] South $85^{\circ}08'31''$ East, a distance of 12.68 feet;

Thence (9) [4] North $46^{\circ}59'18''$ East, a distance of 32.01 feet;

Thence (10) [5] South $89^{\circ}07'21''$ East, a distance of 20.00 feet to the Northeast corner of last said area;

Thence (11) North $79^{\circ}15'13''$ East, a distance of 60.90 feet to a point on the Northwest corner of that area granted to the City of Clovis per Grant Deed recorded September 3, 2014 as Document No. 2014-0097740-00, Official Records of Fresno County;

Thence (12) along the Northerly line of last said area, the following three [3] courses: [1] North $89^{\circ}07'09''$ East, a distance of 30.00 feet;

Thence (13) [2] South $45^{\circ}55'52''$ East, a distance of 32.54 feet;

Thence (14) [3] South $84^{\circ}50'13''$ East, a distance of 52.11 feet to the North corner of that area granted to the City of Clovis per Grant Deed recorded August 11, 2014 as Document No. 2014-0088209-00, Official Records of Fresno County;

Thence (15) South $00^{\circ}40'56''$ East, along the East line of last said area, a distance of 72.43 feet to a point on the South line of the Southeast quarter of said Section 2, said point being on the existing city limits of the City of Clovis;

Thence (16) South $89^{\circ}19'04''$ West, along the South line of said Southeast quarter and along the existing city limits of the City of Clovis, a distance of



**SHEPHERD-SUNNYSIDE NORTHEAST REORGANIZATION
TO BE ANNEXED THE CITY OF CLOVIS AND DETACHMENT FROM FRESNO COUNTY
FIRE PROTECTION DISTRICT AND KINGS RIVER CONSERVATION DISTRICT**

134.59 feet to the Southeast corner of the Southwest quarter of said Section 21;

Thence (17) South $89^{\circ}19'18''$ West, along the South line of said Southwest quarter and along the existing city limits of the City of Clovis, a distance of 1319.35 feet to the Southwest corner of the Southeast quarter of said Southwest quarter;

Thence (18) North $00^{\circ}53'13''$ West, along the West line of the Southeast quarter of said Southwest quarter and along the existing city limits of the City of Clovis, a distance of 96.48 feet to the most Northerly corner of that property described in Grant Deed recorded June 7, 2013 as Document No. 2013-0081665-00, Official Records of Fresno County, said point being the beginning of a 940.00 foot radius non-tangent curve concave Southeasterly, a radial to said beginning bears North $08^{\circ}10'20''$ w;

Thence (19) Southwesterly, along the Northwesterly line of said property and along the existing city limits of the City of Clovis, along said curve, through a central angle of $4^{\circ}09'29''$, an arc distance of 68.22 feet;

Thence (20) South $77^{\circ}40'10''$ West, along the Northwesterly line of said property and the Southwesterly prolongation thereof and along the existing city limits of the City of Clovis, a distance of 334.79 feet to the beginning of a 850.00 foot radius tangent curve concave Northerly, said point being on the Northerly line of that property described in Grant Deed recorded February 5, 2015 as Document No. 2015-0011969-00, Official Records of Fresno County;

Thence (21) Westerly, along the Northerly line of last said property and along the existing city limits of the City of Clovis, along said curve, through a central angle of $11^{\circ}39'08''$, an arc distance of 172.86 feet to a point on the South line of the Southwest quarter of said Section 21;

Thence (22) South $89^{\circ}19'18''$ West, along the South line of said Southwest quarter and along the existing city limits of the City of Clovis, a distance of 732.18 feet to a point being 20.00 feet East of the West line of said Southwest quarter;

Thence (23) North $00^{\circ}53'36''$ West, parallel with and 20.00 feet East of the West line of said Southwest quarter and along the existing city limits of the City of Clovis, a distance of 1323.68 feet to a point on the North line of the Southwest quarter of said Southwest quarter;

Thence (24) North $89^{\circ}20'22''$ East, along the North line of the Southwest quarter of said Southwest quarter and along the existing city limits of the City of Clovis, a distance of 20.00 feet;

Thence (25) leaving the existing city limits of the City of Clovis, North $89^{\circ}20'22''$ East, along the North line of the Southwest quarter of said Southwest quarter, a distance of 1279.49 feet to the Southwest corner of the North half of said East half;

Thence (26) North $00^{\circ}53'13''$ West, along the West line of said East half, a distance of 1323.30 feet to the **POINT OF BEGINNING.**

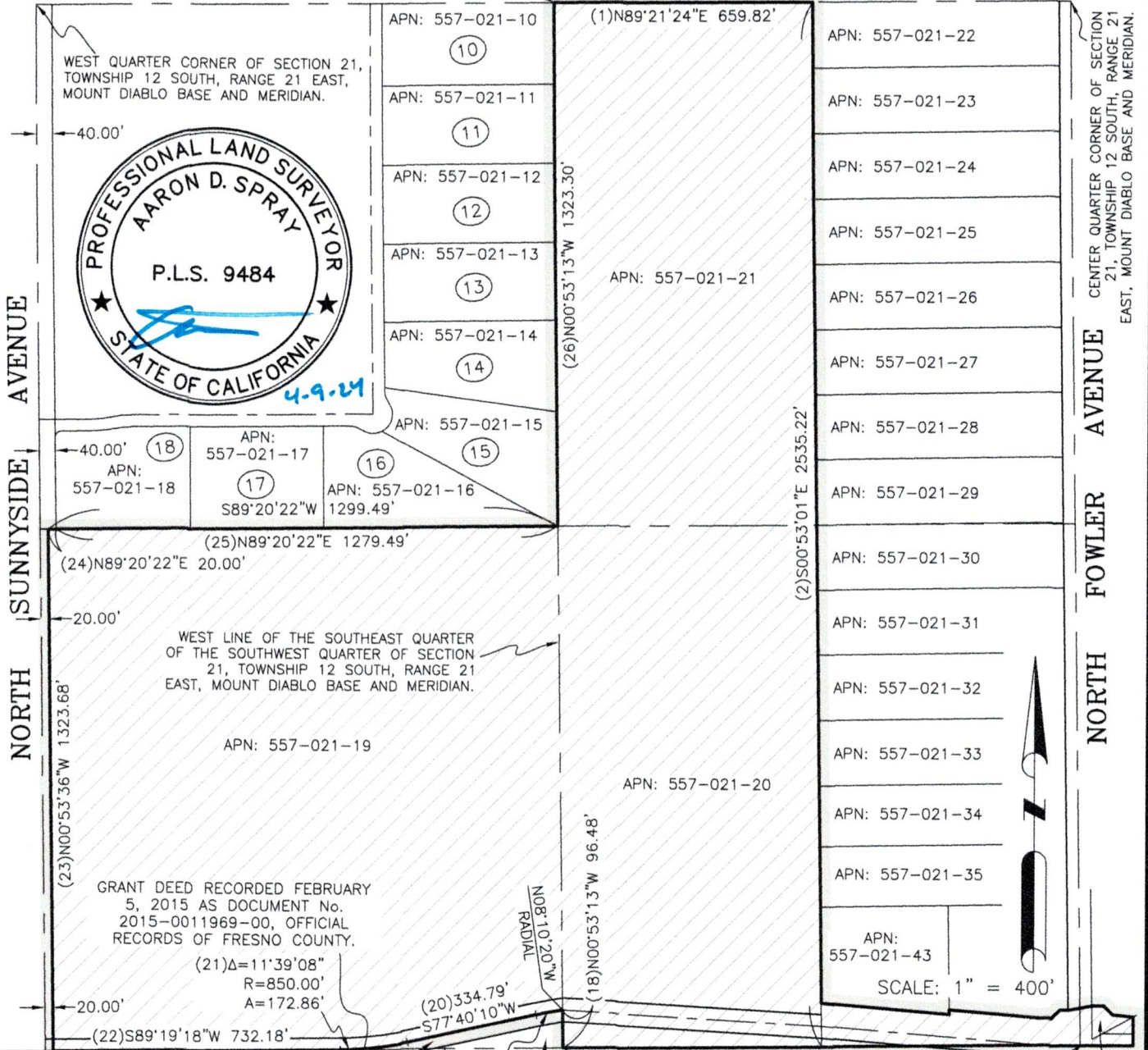
Containing 80.614 acres, more or less.



SHEPHERD-SUNNYSIDE NORTHEAST REORGANIZATION
A PORTION OF SECTION 21 TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN TO BE ANNEXED TO THE CITY OF CLOVIS AND DETACHMENT FROM FRESNO COUNTY FIRE PROTECTION DISTRICT AND KINGS RIVER CONSERVATION DISTRICT.

POINT OF BEGINNING:
 THE NORTHWEST CORNER OF THE EAST HALF OF THE
 SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 SOUTH,
 RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN.

PERRIN ROAD



CENTER QUARTER CORNER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN.

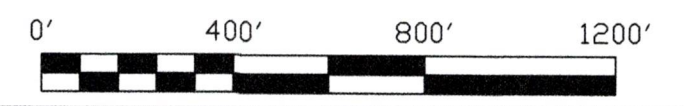
NORTH FOWLER AVENUE

NORTH SUNNYSIDE AVENUE

EAST SHEPHERD AVENUE
 SOUTHWEST CORNER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN.

AVENUE
 SOUTH QUARTER CORNER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN.

LEGEND
 [Hatched Box] AREA TO BE ANNEXED TO THE CITY OF CLOVIS. AREA: 80.269 ACRES +/-
 [Dashed Line] EXISTING CITY LIMITS OF THE CITY OF CLOVIS.
 (XX) LOT PER TRACT No. 3286, QUAIL RUN, RECORDED IN VOLUME 37 OF PLATS AT PAGE 88, FRESNO COUNTY RECORDS.



PREPARED BY:
DIXON & ASSOCIATES, INC.
LAND SURVEYING
 620 DEWITT, #101
 CLOVIS, CALIFORNIA, 93612
 PH: (559)297-4200 FAX: (559)297-4272

DATE: Jan. 5, 2022
 SCALE: 1" = 400'
 DWN BY: GMR
 WO: 18-147/6205
 REVISIONS:
 Sep. 8, 2023
 -
 DRAWING NO.
1
 OF 2 SHEETS

SHEPHERD-SUNNYSIDE NORTHEAST REORGANIZATION
 A PORTION OF SECTION 21 TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN TO BE ANNEXED TO THE CITY OF CLOVIS AND DETACHMENT FROM FRESNO COUNTY FIRE PROTECTION DISTRICT AND KINGS RIVER CONSERVATION DISTRICT.

PARCEL 2 OF PARCEL MAP No. 3637 RECORDED IN BOOK 24 OF PARCEL MAPS AT PAGE 59, FRESNO COUNTY RECORDS.

APN: 557-021-35



NORTH FOWLER AVENUE



NOT TO SCALE

(2)S00°53'01"E 2535.22'

PARCEL 3 OF PARCEL MAP No. 3637 RECORDED IN BOOK 24 OF PARCEL MAPS AT PAGE 59, FRESNO COUNTY RECORDS.

APN: 557-021-43

GRANT DEED RECORDED DECEMBER 8, 2016 AS DOCUMENT No. 2016-0168528-00, OFFICIAL RECORDS OF FRESNO COUNTY.

(3)Δ=0°09'54"
 R=2234.00'
 A=6.43'

(4)S85°08'41"E 320.85'

(5)N00°53'06"W 11.70'

PARCEL 4 OF PARCEL MAP No. 3637 RECORDED IN BOOK 24 OF PARCEL MAPS AT PAGE 59, FRESNO COUNTY RECORDS.

APN: 557-021-41

GRANT DEED RECORDED APRIL 11, 2016 AS DOCUMENT No. 2016-0044555-00, OFFICIAL RECORDS OF FRESNO COUNTY.

(6)S85°08'31"E 235.79'

(16)S89°19'04"W 134.69'

(17)S89°19'18"W 2618.71'

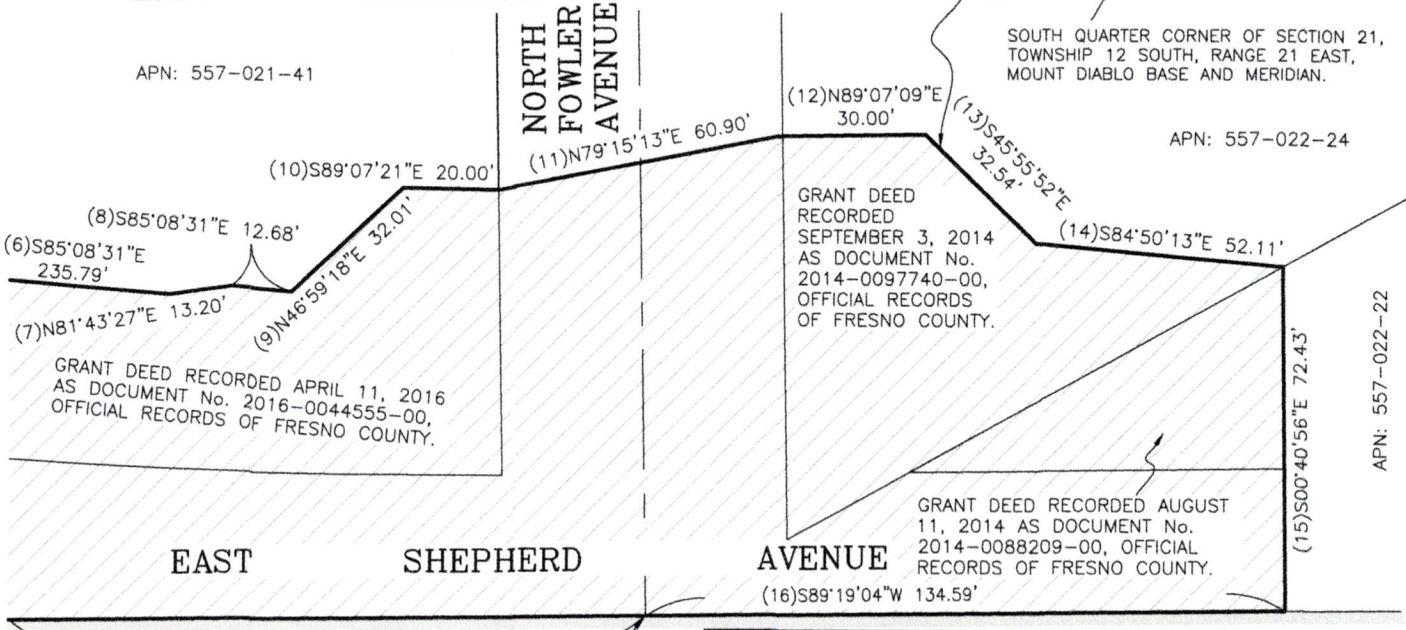
EAST SHEPHERD AVENUE

SEE DETAIL.

APN: 557-021-41

SOUTH QUARTER CORNER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN.

APN: 557-022-24



(6)S85°08'31"E 235.79'
 (8)S85°08'31"E 12.68'

(7)N81°43'27"E 13.20'

(10)S89°07'21"E 20.00'

(9)N46°59'18"E 32.01'

NORTH FOWLER AVENUE

(11)N79°15'13"E 60.90'

(12)N89°07'09"E 30.00'

(13)S45°55'52"E 32.54'

(14)S84°50'13"E 52.11'

GRANT DEED RECORDED APRIL 11, 2016 AS DOCUMENT No. 2016-0044555-00, OFFICIAL RECORDS OF FRESNO COUNTY.

GRANT DEED RECORDED SEPTEMBER 3, 2014 AS DOCUMENT No. 2014-0097740-00, OFFICIAL RECORDS OF FRESNO COUNTY.

GRANT DEED RECORDED AUGUST 11, 2014 AS DOCUMENT No. 2014-0088209-00, OFFICIAL RECORDS OF FRESNO COUNTY.

EAST SHEPHERD AVENUE

(16)S89°19'04"W 134.59'

(17)S89°19'18"W 1319.35'

SOUTH QUARTER CORNER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT DIABLO BASE AND MERIDIAN.

APN: 557-022-22

(15)S00°40'56"E 72.43'

LEGEND

- AREA TO BE ANNEXED TO THE CITY OF CLOVIS.
- AREA: 79.268 ACRES +/-
- EXISTING CITY LIMITS OF THE CITY OF CLOVIS.

PREPARED BY:

DIXON & ASSOCIATES, INC.
LAND SURVEYING

620 DEWITT, #101
 CLOVIS, CALIFORNIA, 93612

PH: (559)297-4200 FAX: (559)297-4272

DATE: Jan. 5, 2022
 SCALE: 1" = 400'
 DWN BY: GMR
 WO: 18-147/6205

REVISIONS:
 Sep. 8, 2023

DRAWING NO.

2

OF 2 SHEETS

Lot Report

Tue Apr 9 10:57:22 2024

Lot File: G:\6205 Shepherd & Sunnyside\Annexation\6205 ANNEX.lot
 CRD File: G:\6205 Shepherd & Sunnyside\Annexation\6205 ANNEX.crd

Lot: SHEPHERD-SUN, Block: ANNEX, Type: LOT

PNT#	Bearing	Distance	Northing	Easting	Station
29			10263.75	11608.11	0.00
	N 00°53'13" W	96.48			
31			10360.21	11606.61	96.48
	Radius: 940.00	Length: 68.22	Chord: 68.20	Delta: 4°09'29"	
	Chord BRG: S 79°44'55" W	Rad-In: S 08°10'20" E	Rad-Out: S 12°19'50" E		
	Radius Pt: 32	9429.76,11740.23	Tangent: 34.12	Dir: Left	
	Tangent-In: S 81°49'40" W	Tangent-Out: S 77°40'10" W	Non Tangential-In	Tangential-Out	
33			10348.07	11539.50	164.70
	S 77°40'10" W	334.79			
34			10276.58	11212.43	499.49
	Radius: 850.00	Length: 172.86	Chord: 172.57	Delta: 11°39'08"	
	Chord BRG: S 83°29'44" W	Rad-In: N 12°19'50" W	Rad-Out: N 00°40'42" W		
	Radius Pt: 35	11106.97,11030.91	Tangent: 86.73	Dir: Right	
	Tangent-In: S 77°40'10" W	Tangent-Out: S 89°19'18" W	Tangential-In	Tangential-Out	
36			10257.03	11040.98	672.35
	S 89°19'18" W	732.18			
37			10248.36	10308.85	1404.53
	N 00°53'36" W	1323.68			
1			11571.89	10288.21	2728.21
	N 89°20'22" E	20.00			
2			11572.12	10308.21	2748.21
	N 89°20'22" E	1279.49			
3			11586.87	11587.62	4027.71
	N 00°53'13" W	1323.30			
4			12910.01	11567.13	5351.01
	N 89°21'24" E	659.82			
5			12917.42	12226.91	6010.83
	S 00°53'01" E	2535.22			
14			10382.50	12266.02	8546.05
	Radius: 2234.00	Length: 6.43	Chord: 6.43	Delta: 0°09'54"	
	Chord BRG: S 85°13'38" E	Rad-In: S 04°41'25" W	Rad-Out: S 04°51'19" W		
	Radius Pt: 15	8155.98,12083.34	Tangent: 3.22	Dir: Right	
	Tangent-In: S 85°18'35" E	Tangent-Out: S 85°08'41" E	Non Tangential-In	Tangential-Out	
16			10381.97	12272.42	8552.48
	S 85°08'41" E	320.85			
17			10354.81	12592.12	8873.34
	N 00°53'06" W	11.70			
18			10366.51	12591.94	8885.03
	S 85°08'31" E	235.79			
19			10346.54	12826.88	9120.82
	N 81°43'27" E	13.20			
20			10348.44	12839.95	9134.02
	S 85°08'31" E	12.68			
21			10347.36	12852.58	9146.70
	N 46°59'18" E	32.01			
22			10369.20	12875.99	9178.71
	S 89°07'21" E	20.00			
23			10368.89	12895.98	9198.71
	N 79°15'13" E	60.90			
24			10380.25	12955.82	9259.61
	N 89°07'09" E	30.00			
25			10380.71	12985.81	9289.61
	S 45°55'52" E	32.54			
26			10358.08	13009.19	9322.14
	S 84°50'13" E	52.11			
27			10353.39	13061.09	9374.25
	S 00°40'56" E	72.43			
28			10280.97	13061.95	9446.68
	S 89°19'04" W	134.59			
6			10279.36	12927.36	9581.28
	S 89°19'18" W	1319.35			
29			10263.75	11608.11	10900.63

Closure Error Distance> 0.0071 Error Bearing> N 13°36'30" E
Closure Precision> 1 in 1538959.2 Total Distance> 10900.63
Area: 3511537 Sq. Feet, 80.6138 Acres

**FOURTH AMENDMENT TO
2017 AMENDED AND RESTATED
MEMORANDUM OF UNDERSTANDING**

COUNTY OF FRESNO AND THE CITY OF CLOVIS

This Fourth Amendment to 2017 Memorandum of Understanding (“Fourth Amendment”) is executed on _____, 2024 (“Effective Date”), by and between the County of Fresno, a political subdivision of the State of California (“County”), and the City of Clovis, a municipal corporation of the State of California (“City”), with respect to the following Recitals, which are a substantive part of this Fourth Amendment. County and City are a “Party” to this Fourth Amendment and are sometimes collectively referred to as “the Parties.”

RECITALS

A. The Parties previously entered into a comprehensive agreement covering development, annexations, sales taxes, property taxes, and other matters, which is entitled “2017 Amended and Restated Memorandum of Understanding,” dated June 6, 2017 (“2017 MOU”).

B. On June 6, 2017, the Parties executed a First Amendment to the 2017 MOU (County Agreement No. 17-236). On July 10, 2018, the Parties executed a Second Amendment to the 2017 MOU (County Agreement No. 18-380). On March 9, 2021, the Parties executed a Third Amendment to the 2017 MOU (County Agreement No. 21-072). Collectively, the 2017 MOU, First Amendment, Second Amendment, and Third Amendment are referred to as the “MOU.”

C. It has become apparent to the Parties that an amendment to the MOU is necessary and desirable to accommodate changes in the patterns of new urban growth and development that City is experiencing as it regulates and facilitates the build-out of its Sphere of Influence (“SOI”).

D. The City has notified the County of its desire to file a SOI proposal identified as the Shepherd North Sphere of Influence Expansion Area to the Fresno Local Agency Formation Commission (“LAFCo”) for a 155-acre expansion of the City’s SOI from Shepherd Avenue to Perrin Road and Sunnyside Avenue to Fowler Avenue as shown in the map attached hereto as **Exhibit A**.

E. The City’s SOI proposal will be accompanied by an annexation proposal identified as the “Shepherd-Sunnyside Northeast Reorganization Project” to LAFCo for annexing 77 acres of land for

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1 development of a residential subdivision, as shown in the map attached hereto as **Exhibit A**.

2 F. For the Shepherd-Sunnyside Northeast Reorganization Project to be developed, it must be
3 annexed into the City, which would extend a peninsula of the City north of Shepherd Avenue, between
4 Sunnyside Avenue and Fowler Avenue, which peninsula would be consistent with the associated SOI
5 request, but would not be consistent with the Standards for annexation set forth in the MOU.

6 G. The Shepherd-Sunnyside Northeast Reorganization Project represents a logical
7 development pattern in that it is under one ownership who desires annexation to the City and has presented
8 a tentative subdivision map for residential development to the City.

9 H. The parties recognize that this Fourth Amendment to the MOU is necessary to
10 accommodate the Shepherd North Sphere of Influence Expansion and the Shepherd-Sunnyside Northeast
11 Reorganization Project annexation and memorialize the City’s agreement to certain conditions associated
12 with said annexation.

13 NOW, THEREFORE, County and City hereby agree to amend the MOU as follows:

14 **AGREEMENT**

15 1. Amendment of City’s SOI. County consents to an amendment of City’s SOI to include the
16 Shepherd North Sphere of Influence Expansion Area as depicted in **Exhibit A** attached hereto, and City
17 may process the amendment through LAFCo.

18 2. City’s Annexation.

19 a. Section 2.9 is added to Article II of the MOU, as follows:

20 “2.9. At such time as City applies to LAFCo for the annexation of the Shepherd-
21 Sunnyside Northeast Reorganization Project, the boundaries of which are described in
22 Exhibit 8 [**Exhibit A** attached to the Fourth Amendment to this MOU] attached and
23 incorporated herein by reference, County agrees to express support for the annexation
24 by letter or by staff appearance before LAFCo.”

25 b. Section 2.10 is added to Article II of the MOU, as follows:

26 “2.10. The County and the City agree that the Shepherd-Sunnyside Northeast
27 Reorganization Project would be best served by being annexed to the City, and the
28 County and the City each agree to support annexation of the area and will express such

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1 support to LAFCo at appropriate times as set forth herein. The City shall request
2 LAFCo to schedule a hearing on the annexation application within six (6) months after
3 the Effective Date of the Fourth Amendment to this MOU.

4 In accordance with the Cortese-Knox-Hertzberg Local Government Reorganization
5 Act of 2000, if LAFCo approves the annexation of the Shepherd-Sunnyside Northeast
6 Reorganization Project and there is an insufficient protest, the area will be annexed to
7 the City. If there is a protest sufficient to require an election, the City will continue with
8 the LAFCo process through the election procedure.

9 If LAFCo fails to approve the annexation of the Shepherd-Sunnyside Northeast
10 Reorganization Project, or if the annexation is defeated at an election, the City will
11 make good faith efforts to actively pursue incremental annexation of the area as the
12 consent of various property owners can be obtained and logical annexation areas can
13 be defined.

14 Upon the completion of the Shepherd-Sunnyside Northeast Reorganization Project
15 annexation, the City shall be responsible for any existing code enforcement issues for
16 the annexed property. The City shall pay required annexation fees and costs in addition
17 to providing other preparation work. The City shall be responsible for the Fire District
18 Transition Fee in accordance with its Transition Agreement with the Fresno County
19 Fire Protection District.”

20 c. Section 2.11 is added to Article II of the MOU, as follows:

21 “2.11. Upon the completion of the Shepherd-Sunnyside Northeast Reorganization
22 Project annexation, the City agrees to do the following:

23 i. When development activity requires the construction of municipal utilities in
24 County road rights-of-way adjacent to the annexed area, the City shall require
25 reconstruction of affected sections of such roads to City standard cross-
26 section specifications.

27 ii. As a part of its development entitlement process, City shall require
28 developer(s) to obtain a County encroachment permit prior to constructing

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municipal utilities in County road rights-of-way adjacent to the annexed area. City agrees to the timely maintenance and repair of the County’s roadway adjacent to the annexed area at City’s expense for any repairs created by or related to the Shepherd-Sunnyside Northeast Reorganization Project annexation.

iii. All existing storm drainage patterns and all storm drainage generated as a result of development activity in the annexed area shall be accommodated by existing or project-installed Master Planned Storm Drainage infrastructure and shall not contribute to surface flows or ponding within the unincorporated areas. All new storm drainage shall conform to the Fresno Metropolitan Flood Control District’s master plan for the area.

iv. Upon written request from the Fresno County Director of Public Works and Planning to the Clovis City Manager, the City shall commence and be responsible for specific traffic enforcement activities for Sunnyside Avenue between Shepherd and Nees Avenues within the confines of the Dry Creek Preserve area beginning no later than thirty (30) days after receipt of the request.”

3. MOU Exhibits Relating to SOI Expansion and Annexation. The map included as **Exhibit A** attached hereto and incorporated herein by this reference shall be Exhibit 8 to the MOU as of the Effective Date of this Fourth Amendment.

4. Amendment to MOU. Upon the Effective Date, the MOU and this Fourth Amendment shall together constitute the MOU.

5. Other terms of MOU Unaffected. Unless expressly modified by the terms of this Fourth Amendment, all other terms of the MOU shall remain in full force and effect.

///
///

[Remainder of page blank – Signatures on next page]

1 IN WITNESS WHEREOF, the Parties hereto have executed this Fourth Amendment in the County
2 of Fresno, State of California, to be effective on the Effective Date set forth above.

3
4 **COUNTY OF FRESNO**, a Political Subdivision
5 of the State of California
6 (“County”)

CITY OF CLOVIS, a Municipal Corporation
of the State of California
 (“City”)

7 By: _____
8 Nathan Magsig, Chairman of the Board of
9 Supervisors of the County of Fresno

By: _____
Lynne Ashbeck, Mayor of the
City of Clovis

10 **ATTEST:**

11 BERNICE E. SEIDEL
12 Clerk of the Board of Supervisors
13 County of Fresno, State of California

ATTEST:

ANDREW HAUSSLER
Interim City Clerk, City of Clovis

14 By: _____
15 Deputy

By: _____
Andrew Haussler, Interim City Clerk

REVIEWED AND RECOMMENDED FOR APPROVAL:

JOHN HOLT
City Manager, City of Clovis

By: _____
John Holt

APPROVED AS TO LEGAL FORM:

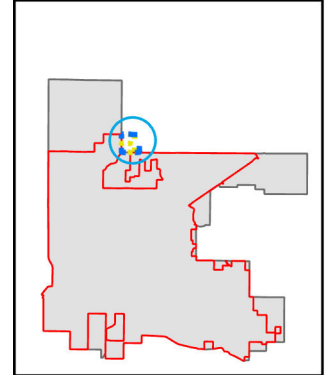
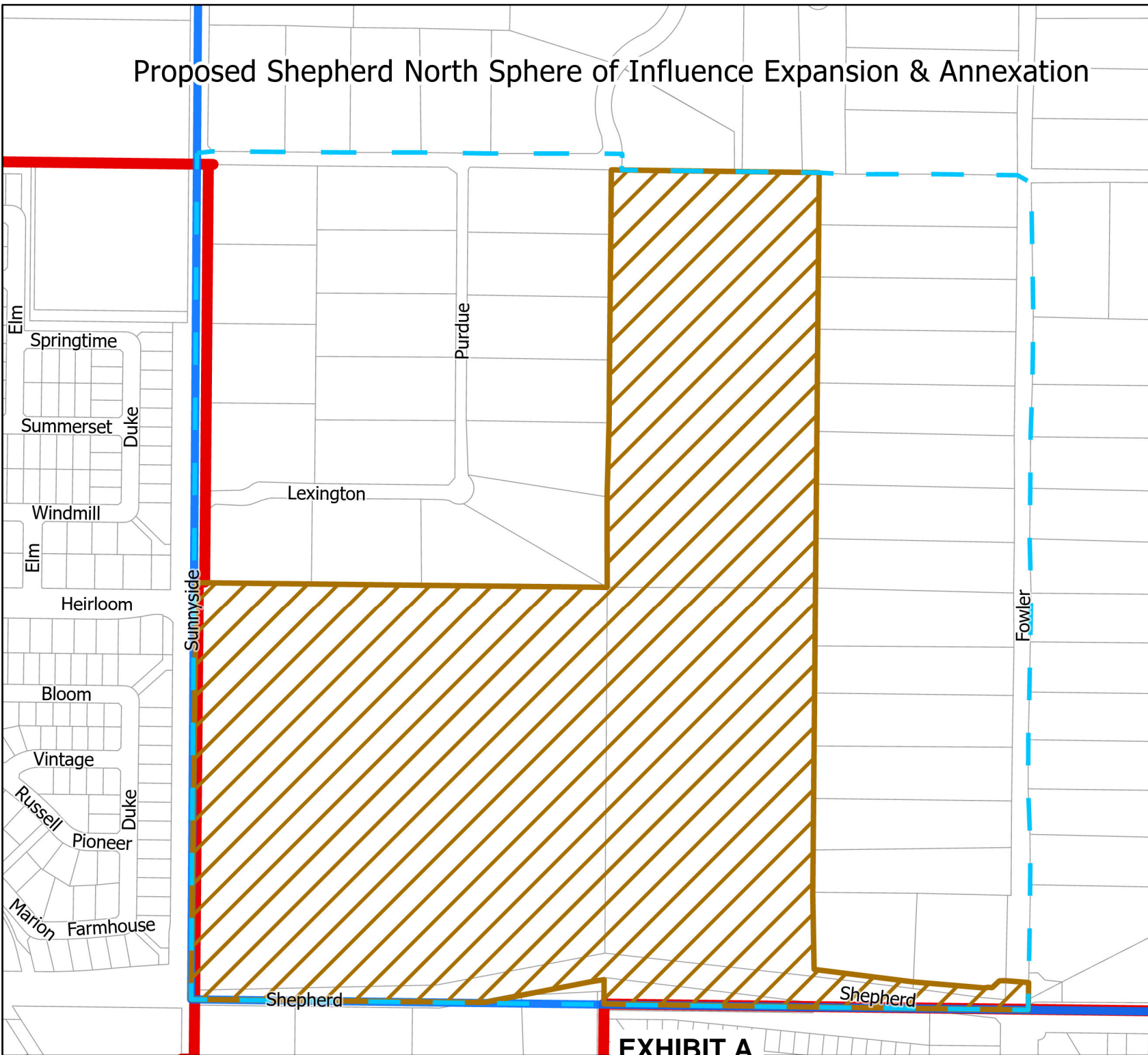
SCOTT G. CROSS
City Attorney, City of Clovis

By: _____
Scott G. Cross

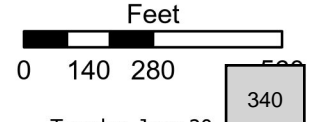
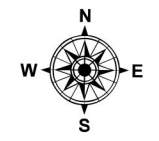
24 J:\wdocs\00607\001\agrt\01033897.DOCX

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Proposed Shepherd North Sphere of Influence Expansion & Annexation



- City Limits
- Sphere of Influence
- Proposed Boundaries
- Annexation
- Sphere of Influence Expansion



Wilson Homes, Inc.
Justification for General Plan Amendments
GPA2021-005 & GPA2021-006
October 11, 2023

Applicant: Wilson Homes, Inc.
 Mr. Leo Wilson
 7550 N. Palm Ave., Suite 102
 Fresno, CA 93711

Property Owner: Great Bigland, LP
 7550 N. Palm Ave., Suite 102
 Fresno, CA. 93711

APN: 557-021-19, 20 & 21

Current Zoning: AL-20

Area: 75.05 ± gross acres

REQUEST

The applicant, Wilson Premier Homes, Inc. (Wilson Homes), proposes to increase the density from Rural Residential (1 DU per 2 acres) to Medium High Density Residential (7.1 to 15.0 du/acre) for this 77.89 gross acre project located at the northeast corner of Sunnyside and Shepherd Avenues. This project also proposes a local public street connection to Shepherd Avenue, roughly halfway between Sunnyside and Folwer Avenues. Shepherd Avenue is designated as an expressway and therefore access is limited to collector and arterial streets. Please see the attached vicinity map and Tentative Tract Map No. 6205.

The proposed project will include three distinct product types; the *Elev8ions*, *Citrea* and the *Regent Park* products which are successfully marketed in Clovis.

BACKGROUND

The 77.89 acres of Great Bigland, LP property is designated for Rural Residential (1 du/2 ac.) uses. The existing designation would allow for 38 rural residential homes. The proposed modification to allow for Medium High Density Residential would generate a maximum of 1,168 single-family homes. As illustrated on Tentative Tract Map No. 6205, Wilson Homes is proposing to develop 605 single-family homes with a density of 7.77 ± du/acre, which is slightly higher than the maximum number of units allowed for a Medium Density Residential land use.

The proposed density would allow Wilson Homes to provide a variety of housing types of high quality and meet functional market affordability. While density is often a point of interest, and with building materials soaring in cost, affordability relies even more on density. The cost and

scarcity of materials has reached unprecedented levels with dramatic price increases and product scarcity. Communities, buyers, and developers are faced with not building and not providing for substantial demand detailed by various statewide mandates to build more homes to address the statewide shortage or to address the market challenges by adaptation.

The property has limited access with Sunnyside Avenue being the main access location for this project. The east side of this property is adjacent to developed rural residential parcels and doesn't allow for access to Fowler Avenue. Our northwesterly boundary also has developed rural residential parcels. We do have a very small amount of street frontage onto Perrin Avenue to the north, but the rural residential neighbors to the north of this project would like to discourage the amount of traffic utilizing this access point. Shepherd Avenue is an expressway and does not allow for local street connections.

Due to these limitations, we propose a local street connection to Shepherd Avenue, roughly halfway between Sunnyside Avenue to the west and Fowler Avenue to the east. This proposed access point will provide added circulation for this proposed community and increased access for emergency services. The location of this proposed access connection to Shepherd Avenue has been placed near the most northerly point of the curve of the Shepherd Avenue. At this location, traffic traveling along Shepherd Avenue will have a clear line of sight to see vehicles turning into or out of this proposed street connection.

JUSTIFICATION

The proposed General Plan Amendments should be granted based on the reasons provided below.

Consistency with the Heritage Grove Master Plan

The project proposed by Wilson Homes follows the goals detailed in the Heritage Grove Master Plan & Design Guidelines. The Plan goals are met by the project in the following ways:

1. Establish an overall theme and quality for Heritage Grove.

The high-quality homes provided by Wilson Homes would incorporate seamlessly into the theme and quality that the adjacent Heritage Grove Master Plan and the vision of the City of Clovis General Plan. As seen in other Wilson Homes communities throughout Clovis, Wilson Homes offers projects which incorporate into the themes of the master plan communities in which it resides. For Tentative Tract Map No. 6205, Wilson Homes products (*Elev8ions*, *Citrea* and *Regent Park*) will provide prominent characteristic of cultural and agricultural heritage, as set forth in the adjacent Heritage Grove Master Plan.

2. Illustrate and direct the intended architectural, landscape and site elements to reinforce the theme and quality.

The products proposed by Wilson Homes will architecturally be implemented and will follow the Heritage Grove Design Guidelines. Wilson Homes products will be reviewed by the Residential Site Plan Review entitlement for consistency and to reassure the city that the neighborhoods will comply with community theme and character. The *Elev8ions*, *Citrea* and *Regent Park* products will provide a contemporary, attractive and aesthetically pleasing design that fits into the vision of the adjacent Heritage Grove Master Plan.

3. Provide criteria and examples of expected design qualities and treatments.

The proposed project will provide a high-quality residential development which will fit into the vision of the adjacent Heritage Grove Master Plan and Design Guidelines. Wilson Homes is historically known for its top-quality homes which are constructed with high quality materials. Market research and product sales history accumulated by the developer indicates that the three products have a wide appeal to varying age groups, economic, and demographic diversity.

4. Refine and implement the Goals and Objectives of the Clovis General Plan.

Please see below for a full explanation of how the proposed project meets the goals and objectives of the Clovis General Plan.

Consistent with General Plan Housing Goals

The following goals and policies are being met by the proposed project:

- **Goal 3: Orderly and sustainable outward growth into three Urban Centers with neighborhoods that provide a balanced mix of land uses and development types to support a community lifestyle and small-town character.**

Tentative Tract Map No. 6205 is being proposed adjacent to the Northwest Urban Center in Clovis. The proposed project will offer future residence the opportunity to live and enjoy all future land uses, such as retail, recreational, public, proposed by the Heritage Grove Master Plan.

- **Policy 3.6 Mix of housing types and sizes. Development is encouraged to provide a mix of housing types, unit sizes, and densities at the block level. To accomplish this, individual projects five acres or larger may be developed at densities equivalent to one designation higher or lower than the assigned designation, provided that the density across an individual project remains consistent with the General Plan.**

As stated above, three housing product are proposed; the *Elev8ions* product which is an upscale residential product focused on the young professional in the move

up market and the mature buyer who desires less yard maintenance. The *Citrea* product is an upscale residential product focused on the young professional market and the mature buyer who may be downsizing and desires less yard maintenance. The *Regent Park* product which is also an upscale residence with a focus on the more traditional buyer who desires a larger lot and perhaps a larger home. Both products attract a large portion of current Clovis residents.

The proposed project encompasses a land area of 77.89 gross acres. The General Plan designation for the subject site is Rural Residential which allows for 1 du/2 ac. This Rural Residential density is not encouraged or generally planned for within cities general plans any longer. The proposed modification to the General Plan would change to Medium High Density Residential and would allow for 7.1 to 15.0 du/acre. This proposed density is a density that is currently encourage by State policies to reduce land consumption and develop more housing within a smaller footprint.

- **Goal 5: A city with housing, employment, and lifestyle opportunities for all ages and incomes of residents.**

The proposed project will provide a mix of housing sizes and lifestyle opportunities for all ages. The three proposed product types focus on meeting varied housing lifestyles and income levels of the Clovis market.

- **Policy 5.1 Housing variety in developments. The Clovis General Plan has been planned to provide a variety of housing product types suitable to each stage of a person's life. Each development should contribute to a diversity of housing sizes and types within the standards appropriate to the land use designation.**

As stated above, the three proposed product types focus on meeting varied housing lifestyle categories. The *Elev8ions*, *Citrea* and *Regent Park* products were specifically designed to address distinct elements of the Clovis residential market. Each product contributes to the diversity of housing sizes and types while still delivering the decades long tradition of quality Wilson homes.

Market research and product sales history accumulated by the developer indicates that the three products have a wide appeal to varying age groups and economic and demographic diversity.

- **Policy 5.2 Ownership and rental. Encourage a mixture of both ownership and rental options to meet varied preferences and income affordability needs.**

The proposed project is intended to provide for three distinct ownership opportunities based on market demand. Market research performed by the developer indicates that this project will appeal to varying economic demographic

diversity. Incidental to the sale of the homes, there is some conversion to rental units, which will give an opportunity for people seeking to rent a unit the opportunity to do so. It should be noted there is no legal way for the developer to prohibit the rental of units.

- **Policy 5.3 Innovative housing. Encourage innovative housing product types, including multigenerational, cooperative, and variations on live-work housing.**

The *Elev8ions*, *Citrea* and *Regent Park* products are currently offered in the Clovis market. Over time, these products have been modified to improve upon their design to better adapt to changing market demand. The *Elev8ions*, *Citrea* and *Regent Park* products have been widely accepted by a broader range of the market with a greater range of demographic, income and lifestyle appeal.

As mentioned previously, the *Elev8ions* product is an upscale detached single-family residential product of a slightly higher density specifically developed for the first-time buyer or mature buyer who does not want a large lot. The product goal is to build a quality home on a small lot with great livability.

The *Citrea* product is an upscale residential product focused on the young professional market and the mature buyer who may be downsizing and desires less yard maintenance.

The *Regent Park* product is also an upscale residence with a focus on the more traditional buyer who desires a larger lot and perhaps a larger home. Both products attract a large portion of current Clovis residents.

- **Goal 6: A city that grows and develops in a manner that implements its vision, sustains the integrity of its guiding principles, and requires few and infrequent amendments to the General Plan.**

The proposal to change the General Plan land use/circulation classifications is consistent with the adjacent Heritage Grove Design Guidelines by providing a quality residential development to accommodate a variety of lifestyles.

- **Policy 6.1 Amendment criteria. The City Council may approve amendments to the General Plan when the City Council is satisfied that the following conditions are met:**

A. The proposed changes are and will be fiscally neutral or positive.

In accordance with city policies, the proposed project will pay a range of development and impact fees and will install a variety of public improvements. The proposed homes are of a high quality which assures sustainability not only of the homes, but of the community in which they are

located. No information exists to suggest the project will not be revenue neutral to the city.

1. School Fees of \$5.8 million to Clovis Unified School District

a. Elevations – 1,500 sq. ft. average

407 units x 1,500 sq. ft. = 610,500 sq. ft. x \$5.68 per sq. ft. = **\$3.5 million**

b. Citrea – 1,800 sq. ft. average

66 units x 1,800 sq. ft. = 118,800 sq. ft. x \$5.68 per sq. ft. = **\$645 thousand**

c. Regent Park-2,300 sq. ft. average

132 units x 2,300 sq. ft. = 303,600 sq. ft. x \$5.68 per sq. ft. = **\$1.7 million**

2. Regional Mitigation Fees

a. Regional Transportation Mitigation Fee \$2,143/unit x 605 units = \$1,296,515

3. Clovis Community Facility District Public Safety Annual Assessments \$170,815.70

605 x \$282.34/unit = **\$170,815.70 per year for Clovis Public Safety (fire/police)**

B. The proposed land use change can be adequately served by public facilities and would not negatively impact service on existing development or the ability to service future development.

The proposed change can be adequately served by public facilities and will not negatively impact service on existing development or the ability to service future development.

C. The proposed land use change is consistent with the Urban Village Neighborhood Concept when within an Urban Center.

The proposed project is complementary to and directly adjacent to the Heritage Grove Master Plan. The proposed densities are reasonable and consistent with studies that suggest such densities reduce public and private cost of residential development.

- **Policy 6.2 Smart growth. The city is committed to the following smart growth goals.**

A. Create a range of housing opportunities and choices.

As described above, the proposed project offers three distinct housing products that appeal to a wide market base.

B. Create walkable neighborhoods.

The project will incorporate trails and pedestrian connection to enhance and promote walking and reduce the reliance on fossil fueled transportation sources to schools, and the Heritage Grove City Center Villages North and West.

The City Center Villages North and South Specific Plan is an area with the Heritage Grove Master Plan which will consist of approximately 210 ± acres of residential, commercial, and mixed-use developments. One of the main goals of the plan is to promote a healthy lifestyle by providing trails, parks, and pedestrian connectivity for all future residents to enjoy. A substantial body of empirical information exists indicating that walkability also has a positive influence on public health.

C. Encourage community and stakeholder collaboration.

Wilson Homes has committed to an appropriate outreach to the community to define the project characteristics and related compatibility.

D. Foster distinctive, attractive communities with a strong sense of place.

The project developer is well-known for developing attractive communities with a strong identity. This Wilson Homes project will not be an exception to historic high quality and design standards by integrating the project with its surroundings and linking with the master plan proposed open space areas that will create an attractive, distinctive project.

E. Make development decisions predictable, fair, and cost-effective.

Wilson Homes believes that there is ample justification for the proposed project and trusts that the public hearing and land use entitlement process will result in the approval of the request.

F. Mix land uses.

Please see the information above regarding the proposed mix of product.

G. Preserve open space, farmland, natural beauty, and critical environmental areas.

The proposed project will incorporate a trail connection to the regional trail system and facilitate development of a community park located to the west of the subject project. Consistent with the *Landscape of Choice*, the proposed increase in densities reduces pressure to convert nonurban farmland to urban purposes.

H. Provide a variety of transportation choices.

As mentioned above, the project will incorporate trails and pedestrian linkage to enhance walkability and reduce the reliance on fossil fueled transportation sources.

As stated in the Heritage Grove Master Plan, a roughly 30-acre community park will be constructed to the west of Tentative Tract Map No. 6205. The project will also provide a variety of open spaces throughout the development. Additionally, a community corner paseo will provide a reciprocal connection from the project's housing, community park, and will create future connectivity to the proximate planned school and community business center, as well as connectivity to the Dry Creek Trailhead and other community features.

Information developed when the *Landscape of Choice* was adopted, indicated that slight increases in residential densities promoted the use of non-motorized travel and increases in bus ridership.

I. Strengthen and direct development toward existing communities.

The proposed project is directly adjacent the Heritage Grove Master Plan. The project will strengthen the commitment to the planned area by providing a market sensitive product with exceptional master plan qualities.

J. Take advantage of compact building design.

The proposed products have evolved to be more efficient and still meet market demand for high quality housing on smaller than traditional sized lots.

K. Enhance the economic vitality of the region.

Completion of the proposed project will contribute to the completion of the Heritage Grove Master Plan area which was an integral part of the city's three urban village concepts. The proposed new housing will provide quality homes for employees and consumers thus contributing to the region's economic vitality.

This project will also complete an important segment of Shepherd Avenue to provide safer circulation east and west.

L. Support actions that encourage environmental resource management.

The proposed project seeks to create greater service delivery efficiencies, consume less fossil fuels which improves the quality of life and air quality by developing trails and open space amenities.

M. Key Overall City Benefits

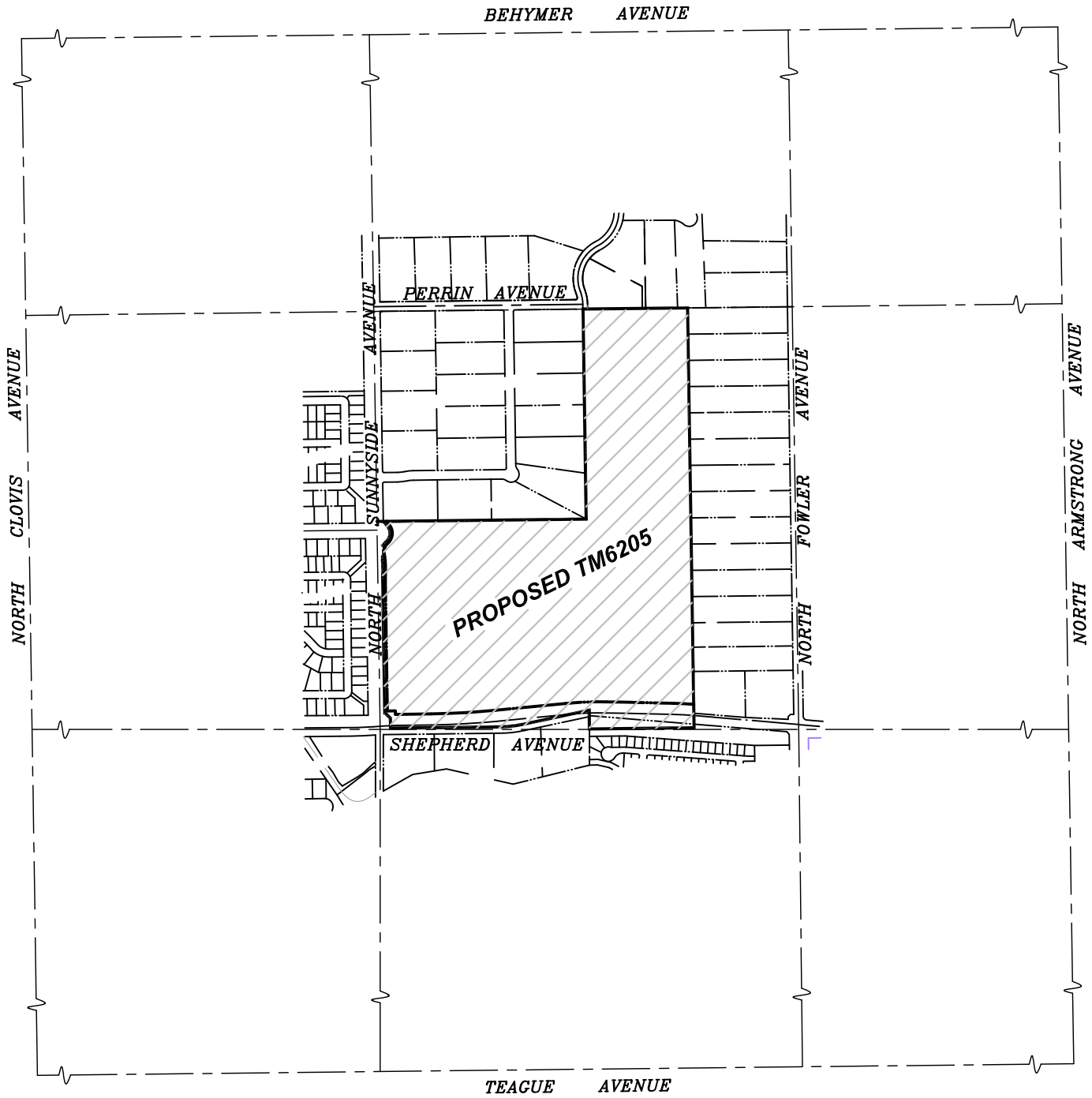
In addition to providing quality housing that meets several noted General Plan design criteria, this project uniquely provides several important benefits for the City of Clovis:

- Shepherd Avenue street improvements between Fowler Ave and Sunnyside Ave to greatly enhance community public safety and improve traffic circulation
- Sewer force main installation in Shepherd Ave between Sunnyside Ave and Fowler Ave, *to facilitate continued planned growth in Heritage Grove*
- Non-potable water main installation in Shepherd Ave between Sunnyside Ave and Fowler Ave, *to serve Heritage Grove*
- Completion of missing east-west community trail link between Sunnyside Ave and Fowler Ave
- Enhanced tax assessment (per Prop 13) and Public Safety CFD funding to provide enhanced Clovis General Fund & Safety Services tax revenue
- Construct 605 workforce housing priced units to address critical local market-rate housing needs:
 - Units priced between \$450,000 - \$800,000; 1,212sq.ft. – 3,020sq.ft.

CONCLUSION

For the reasons detailed above, Wilson Homes respectfully requests support of the proposed project as it is consistent with the Clovis General Plan, the adjacent Heritage Grove Master Plan, and the *Landscape of Choice*.

VICINITY MAP



Harbour & Associates

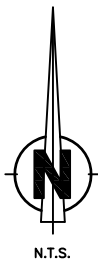
Civil Engineers

389 Clovis Avenue, Suite 300 • Clovis, California 93612

(559) 325-7676 • Fax (559) 325-7699 • e-mail lorrens@harbour-engineers.com

TENTATIVE SUBDIVISION MAP OF TRACT NO. 6205

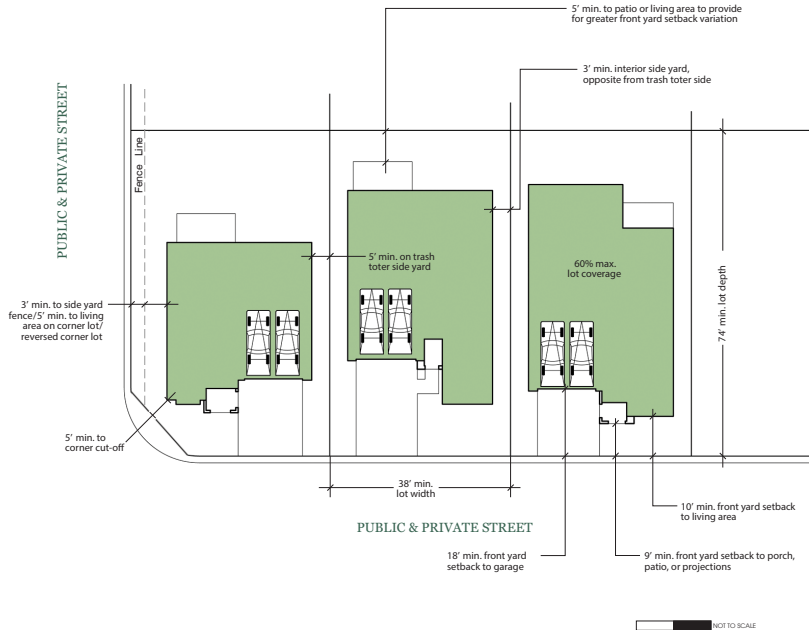
AGENDA ITEM NO. 13.



Residential Land Use Development Standards

TRACT 6205 – NEC SHEPHERD & SUNNYSIDE

LAND USE	DEVELOPMENT STANDARDS	
SINGLE-FAMILY RESIDENTIAL	STANDARD	NOTES
	DESIGNATION	
Zone District	R-1-PRD	
GP Density Range	7.1 - 15.0 du/ac	Medium-High Density Residential
Dwelling Units	66	
BUILDING INTENSITY		
Minimum Lot Area	3,700 sqft	
Minimum Lot Width	50'	
Minimum Lot Depth	74'	
Maximum Height	35'	
Curved/Cul-de-sac/ Corner Lot	25' min/25' min/33' min	For street frontage
BUILDING SETBACKS	All setbacks measured from PL.	
Front Yard (Local)	18' min/10' min/9' min	To garage/To living area/To projections and/or porch/patio
Side Yard	5' min/3' min	5' min one side/3' min other side
Corner/Reversed Corner	3' min/5' min	To side yard fence/To living area
Rear Yard	5' min	
Corner Cut-Off	5' min	
GARAGES/STREETS/PARKING		
Garages	2-car	20'x20' min
Streets (Private)	36' curb to curb	
On-Street Parking	Yes	
ACCESSORY USES	General list of requirements and restrictions.	
Walls/Fences	6' min - 8' high max	
Trellises	12' high max	
Pools and Spas	5' min	Water portion to rear and side P.Ls. Pool and spa may not be located in front yard.
Equipment	HVAC, Pool, spa and fountain equipment allowed in side yard easement and rear setback.	
Covered Structures Accessory Buildings	12' high max	Covered structures and building additions are allowed subject to review by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.



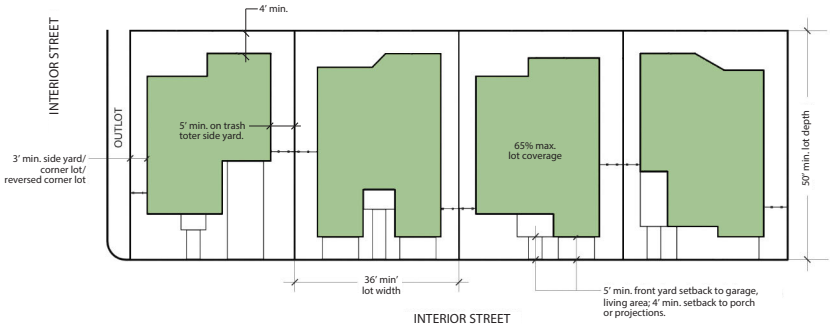
The imagery conveys samples of the architectural character intended for these neighborhoods.

Lots 140-155, 388-399, 568-605 of Tentative Map No. 6205.

Residential Land Use Development Standards

TRACT 6205 – NEC SHEPHERD & SUNNYSIDE

LAND USE		DEVELOPMENT STANDARDS	
SINGLE-FAMILY RESIDENTIAL		STANDARD	NOTES
DESIGNATION			
Zone District	R-1-PRD		
GP Density Range	7.1 - 15.0 du/ac	Medium-High Density Residential	
Dwelling Units	407		
BUILDING INTENSITY			
Minimum Lot Area	1,980 sq ft		
Minimum Lot Width	36'		
Minimum Lot Depth	50'		
Maximum Coverage	65%		
Maximum Height	35'		
Curved, Cul-de-sac or Corner Lot	36' min/50' min	For street frontage/For lot depth	
BUILDING SETBACKS		All setbacks measured from PL.	
Front Yard	5' min/4' min	To garage, living area/porch or projections	
Side Yard	5' min/3' min	5' min garage side/3' min other side	
Corner/Reversed Corner	3' min		
Rear Yard	4' min		
GARAGES/STREETS/PARKING			
Garages	1-car 2-car	10'x20' min 20'x20' min	
Streets (Interior)	36' wide	Curb-to-curb	
Parking	1.5 spaces/unit min	1 covered space per unit min	
ACCESSORY USES		General list of requirements and restrictions.	
Walls/Fences	6' min - 8' high max		
Trellises	12' high max		
Pools and Spas	3' min	Water portion to rear and side PLs. Pool and spa may not be located in front yard.	
Equipment	Pool, spa and fountain equipment allowed in side yard setback.		
Covered Structures	12' high max	Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.	
Accessory Buildings			



NOTE: Construction of more than two of the same plan type in a row or more than three 2-car garage models in a row (excepting tandem garage units) shall be addressed through the Residential Site Plan Review process.

The imagery conveys samples of the architectural character intended for these neighborhoods.

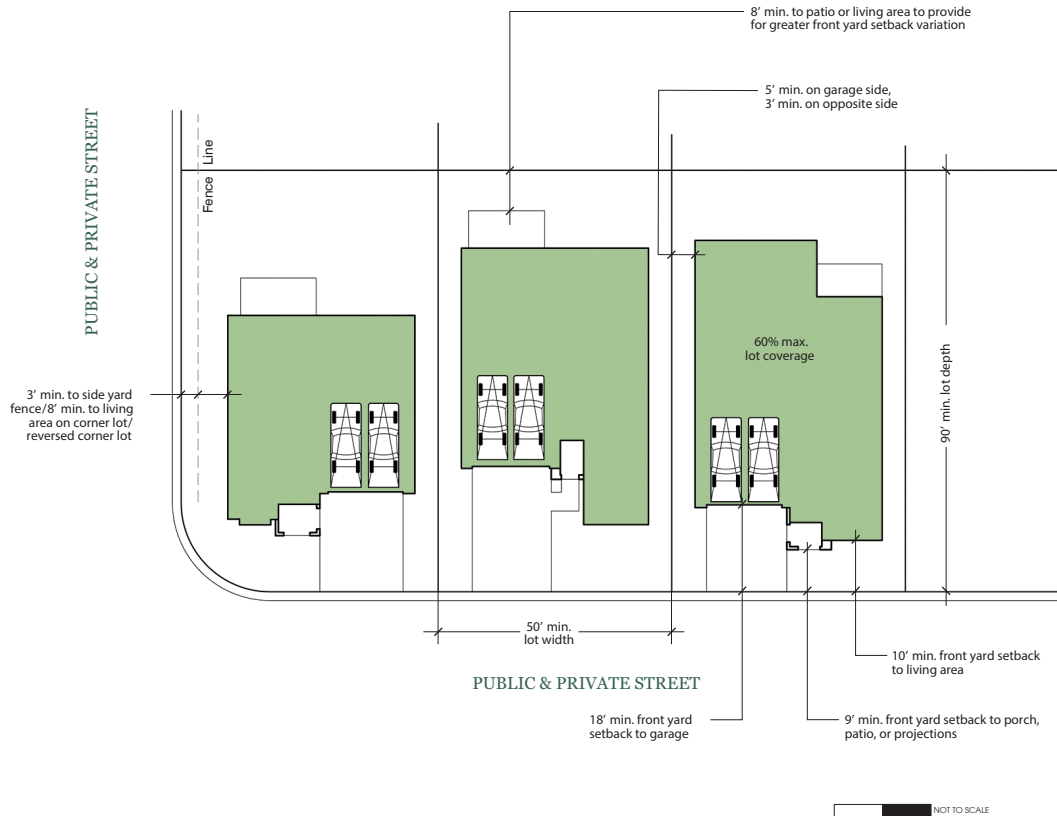
NOT TO SCALE

Lots 133-139, 156-387, 400-567 of Tentative Map No. 6205.

Residential Land Use Development Standards

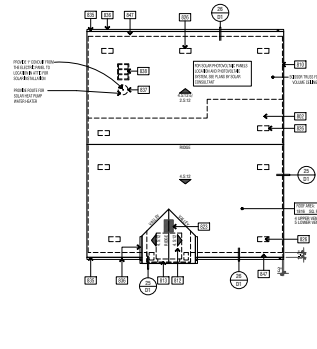
TRACT 6205 – NEC SHEPHERD & SUNNYSIDE

LAND USE		DEVELOPMENT STANDARDS		
SINGLE-FAMILY RESIDENTIAL		STANDARD	NOTES	
	DESIGNATION			
	Zone District	R-1-PRD		
GP Density Range	7.1 - 15.0 du/ac	Medium-High Density Residential		
Dwelling Units	132	Lots @ 50' x 90' min.		
BUILDING INTENSITY				
Minimum Lot Area	4,500 sqft			
Minimum Lot Width	50'			
Minimum Lot Depth	90'			
Maximum Height	35'			
Curved/Cul-de-sac	25' min	For street frontage		
Corner/Reversed Corner	53' min	Lot width		
BUILDING SETBACKS		All setbacks measured from PL.		
Front Yard (Local)	18' min/10' min/9' min	To garage/To living area/To projections and/or porch/patio		
Side Yard	5' min/3' min	5' min garage side/3' min opposite side		
Corner/Reversed Corner	3' min/8' min	To side yard fence/To living area		
Rear Yard	8' min			
GARAGES/STREETS/PARKING				
Garages	2-car	20'x20' min		
	3-car	20'x20' min w/tandem 9'x15, 5' min		
Streets (Public)	50'/54' wide			
On-Street Parking	Yes			
ACCESSORY USES		General list of requirements and restrictions.		
Walls/Fences	6' min - 8' high max			
Trellises	12' high max			
Pools and Spas	5' min	Water portion to rear and side PLs. Pool and spa may not be located in front yard.		
Equipment	Pool, spa and fountain equipment allowed in side yard easement.			
Covered Structures	12' high max	Covered structures and building additions are allowed subject to review by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.		
Accessory Buildings				



The imagery conveys samples of the architectural character intended for these neighborhoods.

Lots 1-132 of Tentative Map No. 6205.



ROOF PLAN

SCALE: 1/8" = 1'-0"

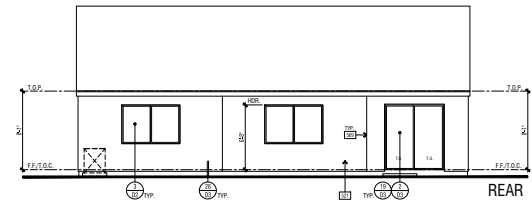
MANUFACTURER	MODEL	DESCRIPTION	CONTINGENCY	CONTEMPORARY SPANISH
LOW PROFILE CONCRETE TILE	S-TILE	2x6	NONE	1'-0" TIGHT

ROOF PLAN NOTES

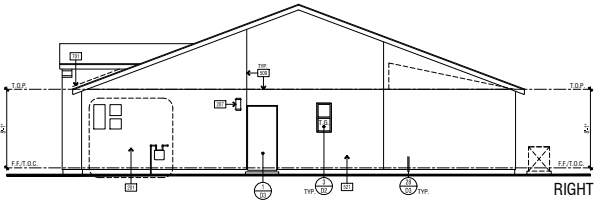
- USE GENERAL NOTES FOR ROOF NOTES.
- SPRINKLER RISERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATTIC ACCESS PER CODE SECTION 1003.
- PROVIDE ATTIC & GABLE CEILING FINISH PER CODE SECTION 1003. THE MINIMUM NET FREE VENTILATION SHALL BE 1/100TH THE AREA OF THE UNVENTED SPACE. PROVISION FOR WIND-BLOCKING FROM PROCEEDING AREAS SHALL BE 100% OF THE VENTED SPACE PROVIDED BY THE FOLLOWING CEILING FINISH:
 - a. CEILING FINISH IS 1/4" GYP BOARD OR 1/2" GYP BOARD IS INSTALLED ON THE UNVENTED SIDE OF THE CEILING.
 - b. NET LESS THAN 40 PERCENT AND NOT MORE THAN 30 PERCENT OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATION LOCATED IN THE SPACE ADJACENT TO THE ATTIC OR UNVENTED UPPER VENTILATION SHALL BE LOCATED NO MORE THAN 18" FEET IN AREA BELOW THE RIDGE OR HANGERS OF THE GABLE. PROVIDE SUFFICIENTLY THE BALANCE OF THE REQUIRED VENTILATION PROVIDED THROUGH THE GABLE WITH ONE THIRD OF THE GABLE SPACE. INDICATE THE LOCATION OF WALL OR ROOF FINISHES. MEMBERS CORRECT TO WITH THE REGULATION OF THE POINT OF FINISH OR WALL OR ROOF SHALL BE PERMITTED.
- CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 3:12 OR GREATER AND ROOF SLOPES FROM 3:12 TO 4:12 SHALL BE COVERED BY OTHER APPLICATIONS AS REQUIRED BY MANUFACTURER'S INSTRUCTIONS.
- WOOD BATTING ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES DECIDED TO BE TILE ROOFS WITH OTHER MATERIALS.
- WHERE ROOF WITH DIFFERENT PITCHES INTERSECT, THE FINISHES ON THESE MANUFACTURERS' BEST PRACTICE SHALL BE THE LOWEST PITCH TO ALSO BE THE CASE OF THE GABLES PITCH.
- ROOF SHALL HAVE MIN. ASHD SOLAR REFLECTANCE OF 0.25 MIN. NOMINAL RESISTANCE OF 0.15 IN. FOR SOLAR RADIATION RESISTANCE OF 15 IN. FOR COVERED GARAGES ROOFS. FOR ONE-SLOPED ROOF, ROOF SHALL HAVE MIN. ASHD SOLAR REFLECTANCE OF 0.15 NOMINAL RESISTANCE OF 0.15 IN. FOR SOLAR RADIATION RESISTANCE OF 15 IN. FOR ROOF PER CODE SECTION 1003.

SOLAR PHOTOVOLTAIC SYSTEMS

- SOLAR PHOTOVOLTAIC PANEL POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CODE SECTION 100.1001. INSTALLATION PER CODE SECTION 100.1001 THROUGH 100.1004 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE CONTRACT, FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZE, AND ALL OTHER REQUIREMENTS.
- NOTE THAT NO MECHANICAL PLUMBING HANGERS, ROOF ATTACHMENTS WILL BE PERMITTED UNDER THE SOLAR ROOF AREA. WHERE APPlicable, CONNECTIONS AND CONNECTIONS WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE OTHERS ANY MEMBERSHIP. SEE AN ENERGY CODE SECTION TO SEE THE OTHERS ANY MEMBERSHIP.



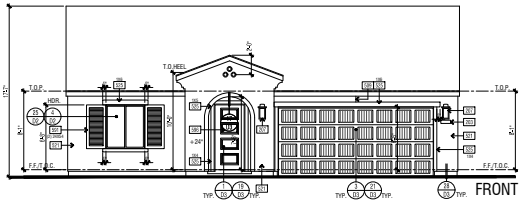
REAR



RIGHT

ROOF PLAN KEY NOTES	
1	USE GENERAL NOTES FOR ROOF NOTES.
2	SPRINKLER RISERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3	ATTIC ACCESS PER CODE SECTION 1003.
4	PROVIDE ATTIC & GABLE CEILING FINISH PER CODE SECTION 1003. THE MINIMUM NET FREE VENTILATION SHALL BE 1/100TH THE AREA OF THE UNVENTED SPACE. PROVISION FOR WIND-BLOCKING FROM PROCEEDING AREAS SHALL BE 100% OF THE VENTED SPACE PROVIDED BY THE FOLLOWING CEILING FINISH: <ul style="list-style-type: none"> a. CEILING FINISH IS 1/4" GYP BOARD OR 1/2" GYP BOARD IS INSTALLED ON THE UNVENTED SIDE OF THE CEILING. b. NET LESS THAN 40 PERCENT AND NOT MORE THAN 30 PERCENT OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATION LOCATED IN THE SPACE ADJACENT TO THE ATTIC OR UNVENTED UPPER VENTILATION SHALL BE LOCATED NO MORE THAN 18" FEET IN AREA BELOW THE RIDGE OR HANGERS OF THE GABLE. PROVIDE SUFFICIENTLY THE BALANCE OF THE REQUIRED VENTILATION PROVIDED THROUGH THE GABLE WITH ONE THIRD OF THE GABLE SPACE. INDICATE THE LOCATION OF WALL OR ROOF FINISHES. MEMBERS CORRECT TO WITH THE REGULATION OF THE POINT OF FINISH OR WALL OR ROOF SHALL BE PERMITTED.
5	CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 3:12 OR GREATER AND ROOF SLOPES FROM 3:12 TO 4:12 SHALL BE COVERED BY OTHER APPLICATIONS AS REQUIRED BY MANUFACTURER'S INSTRUCTIONS.
6	WOOD BATTING ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES DECIDED TO BE TILE ROOFS WITH OTHER MATERIALS.
7	WHERE ROOF WITH DIFFERENT PITCHES INTERSECT, THE FINISHES ON THESE MANUFACTURERS' BEST PRACTICE SHALL BE THE LOWEST PITCH TO ALSO BE THE CASE OF THE GABLES PITCH.
8	ROOF SHALL HAVE MIN. ASHD SOLAR REFLECTANCE OF 0.25 MIN. NOMINAL RESISTANCE OF 0.15 IN. FOR SOLAR RADIATION RESISTANCE OF 15 IN. FOR COVERED GARAGES ROOFS. FOR ONE-SLOPED ROOF, ROOF SHALL HAVE MIN. ASHD SOLAR REFLECTANCE OF 0.15 NOMINAL RESISTANCE OF 0.15 IN. FOR SOLAR RADIATION RESISTANCE OF 15 IN. FOR ROOF PER CODE SECTION 1003.

ATTIC VENTILATION CALCULATIONS		PLAN
ROOF ATTIC AREA	1,818	1,000
MIN. VENTILATION REQUIRED	TOTAL 872	TOTAL PROVIDED 882
MIN. VENTILATION REQUIRED	HIGH 436	TOTAL HIGH PROVIDED 392
MIN. VENTILATION REQUIRED	LOW 436	TOTAL LOW PROVIDED 490
ROOF VENTILATION METHOD		
CEILING VENT - CONCRETE TILE	0%	0%
CEILING VENT - GYP BOARD	100%	200%
GABLE VENT - CONCRETE TILE	0%	0%
GABLE VENT - GYP BOARD	100%	490%
TOTAL VENTILATION PROVIDED	690	690



FRONT

PROVIDED GRADE VALUES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ELEVATION KEY NOTES

NOTE	REMARKS
01	USE THE FINISH ELEVATION INDICATED ON THE DRAWING.
02	EXPOSED CONCRETE AND MASONRY SHALL BE FINISHED TO THE FINISH ELEVATION. EXPOSED MASONRY SHALL BE FINISHED TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION.
03	CONCRETE SHALL BE FINISHED TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION.
04	FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION.
05	FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION.
06	FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION.
07	FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION.
08	FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION.
09	FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION.
10	FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION.

NOTES: FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION. FINISH TO THE FINISH ELEVATION.

PROVIDED GRADE VALUES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ARCHITECTS, PLANNERS, ENGINEERS

WHA

OWENS COUNTY - LOS ANGELES - SAN ANTONIO - SACRAMENTO

WILSON HOMES

PLAN 1334
CITREA at CLOVIS
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D. (XX) (LWS)

06-26-2023

REVISIONS		
NO.	DATE	DESCRIPTION

CONTEMPORARY SPANISH

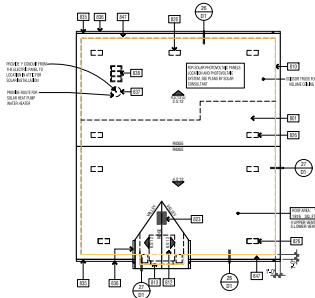
PLAN 1334A
ELEVATIONS AND
ROOF PLAN

PROJECT NUMBER: 356

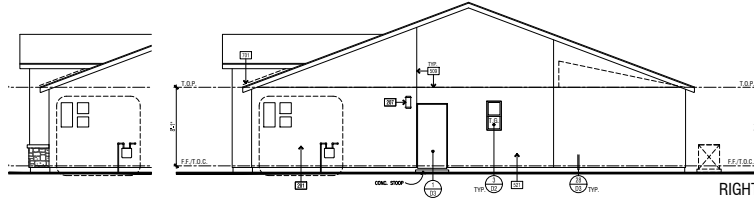
DATE: 06-26-23 SHEET: A1.4

SCALE: 1/4" = 1'-0"

2023009- 2022 CODE UPDATE FIRST BLDG DEPT SET



PARTIAL RIGHT @ OPT. STONE



RIGHT

ROOF PLAN

SCALE: 1/8" = 1'-0"

DESCRIPTION	C	MARKETING TITLE	PROGRESSIVE NAPA
CONCRETE FLAT TILE	1	1	1
WOOD SHAKES	2	2	2
CLAY TILE	3	3	3
GLAZED TILE	4	4	4

ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SHAKE, SHINGLES SHALL BE BOLDED AS ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATTIC ACCESS PER SPEC SECTION 9102.
- PROVIDE ATTIC & ROOF VENTILATION PER SPEC SECTION 9102. PROVIDE ONE (1) ATTIC VENTILATION AREA SHALL BE 1/1000 OF THE AREA OF THE UNVENTED SPACE. PROVIDE THE REMAINDER OF ATTIC VENTILATION AREA SHALL BE 1/1000 OF THE UNVENTED SPACE. PROVIDE THE REMAINDER OF ATTIC VENTILATION AREA SHALL BE 1/1000 OF THE UNVENTED SPACE. PROVIDE THE REMAINDER OF ATTIC VENTILATION AREA SHALL BE 1/1000 OF THE UNVENTED SPACE. PROVIDE THE REMAINDER OF ATTIC VENTILATION AREA SHALL BE 1/1000 OF THE UNVENTED SPACE.
- CLAY TILE: PROVIDE 1/4" AND 1/4" SLACK FOR LAP JOINTS. PROVIDE 1/4" SLACK FOR LAP JOINTS. PROVIDE 1/4" SLACK FOR LAP JOINTS. PROVIDE 1/4" SLACK FOR LAP JOINTS.
- WOOD SHAKES: PROVIDE 1/4" SLACK FOR LAP JOINTS. PROVIDE 1/4" SLACK FOR LAP JOINTS. PROVIDE 1/4" SLACK FOR LAP JOINTS. PROVIDE 1/4" SLACK FOR LAP JOINTS.
- GLAZED TILE: PROVIDE 1/4" SLACK FOR LAP JOINTS. PROVIDE 1/4" SLACK FOR LAP JOINTS. PROVIDE 1/4" SLACK FOR LAP JOINTS. PROVIDE 1/4" SLACK FOR LAP JOINTS.
- CLAY TILE: PROVIDE 1/4" SLACK FOR LAP JOINTS. PROVIDE 1/4" SLACK FOR LAP JOINTS. PROVIDE 1/4" SLACK FOR LAP JOINTS. PROVIDE 1/4" SLACK FOR LAP JOINTS.

ROOF PLAN KEY NOTES

NO.	DESCRIPTION	DATE
001	REVISION	10/10/2022
002	REVISION	10/10/2022
003	REVISION	10/10/2022

ATTIC VENTILATION CALCULATIONS

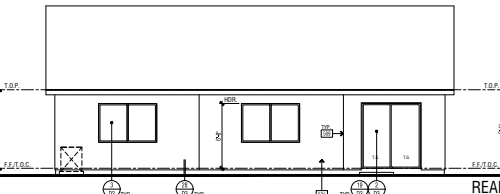
MIN. VENTILATION REQUIRED - WIND	MIN. VENTILATION REQUIRED - LOW	TOTAL PROVIDED	MIN. VENTILATION REQUIRED - HIGH	TOTAL PROVIDED
436	436	872	436	436
436	436	872	436	436

SOLAR PHOTOVOLTAIC SYSTEMS

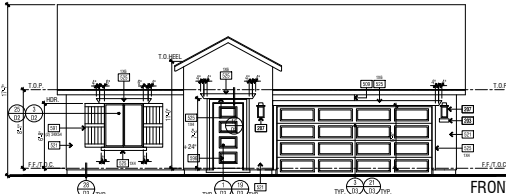
- SOLAR PHOTOVOLTAIC PANELS SHALL BE PROVIDED AS ACCORDANCE WITH SECTION 9102. PROVIDE SOLAR PHOTOVOLTAIC PANELS AS ACCORDANCE WITH SECTION 9102. PROVIDE SOLAR PHOTOVOLTAIC PANELS AS ACCORDANCE WITH SECTION 9102. PROVIDE SOLAR PHOTOVOLTAIC PANELS AS ACCORDANCE WITH SECTION 9102.
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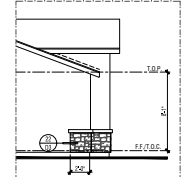
PARTIAL FRONT @ STONE OPT.



REAR



FRONT



PARTIAL LEFT @ OPT. STONE

FINISHED GRADE NOTES: SEE CIVIL ENGINEERING PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ELEVATION KEY NOTES

NO.	DESCRIPTION	DATE
001	REVISION	10/10/2022
002	REVISION	10/10/2022
003	REVISION	10/10/2022

ANY FINISHED GRADE NOTES: SEE CIVIL ENGINEERING PLANS FOR FINAL GRADE AND SITE DRAINAGE.



WILSON HOMES

PLAN 1334
CITREA at CLOVIS
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION

PLAN 1334C
ELEVATIONS AND
ROOF PLAN

PROJ. NO. 1334C
SHEET NO. 360

DATE: 06-26-23
SHEET: A1.8

SCALE: 1/4" = 1'-0"

TRACT NUMBER: R205
PROJECT TYPE: S.F.D. (XXX) LOS

2023009 - 2022 CODE UPDATE FIRST BLDG DEPT SET 06-26-2023



WILSON HOMES

TRACT NUMBER: 6205
 PROJECT TYPE: S.F.D. (XXX Lots)

PLAN 1482
CITREA at CLOVIS
 CLOVIS, CALIFORNIA
 WILSON HOMES
 FRESNO, CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION

CONTEMPORARY SPANISH

PLAN 1482A
 FLOOR PLAN

PROJECT NUMBER: 1482
 CLIENT: WILSON HOMES
 DATE: 06-26-23
 SHEET: A2.1

361

- FLOOR PLAN KEY NOTES**
1. REFER TO ARCHITECTURAL SYMBOLS LOCATED ON SHEET C-1 FOR ADDITIONAL INFORMATION.
 2. ATTICE ACCESS PER CIRC RADIUS CHAIRSTOPS PER CIRC RADIUS PER ADA.
 3. CORNER SPACES ACCESS PER CIRC RADIUS AND WHEELCHAIR PER ADA.
 4. CORNER SPACES ACCESS AND HEIGHT PER ADA.
 5. MINIMUM OF SPACES PER CIRC RADIUS.
 6. MINIMUM OF SPACES PER CIRC RADIUS.
 7. COMPARISON AIR TO WATER HEATER PER CIRC RADIUS.
 8. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CIRC RADIUS.
 9. MANDATORY REQUIREMENT FOR WHEELCHAIR PER CIRC RADIUS.
 10. THE WALL HEIGHT IS NOT TO EXCEED 8' FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOM. CIRC RADIUS 1.
 11. IN EVERY ROOM, THERE ARE OPENINGS IN THE WALLS TO BE LOCATED LESS THAN 2' FROM THE FINISHED FLOOR AND MORE THAN 2' ABOVE PROTECTIVE OR OTHER FINISHED FLOOR IN THE ROOMS AND BE PROTECTED BY A GUARD OR WALL WITH GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A PERSON IN A WHEELCHAIR CAN PASS THROUGH. CIRC RADIUS 2.
 12. A SLEEPING ROOM INSPECTION IS REQUIRED. CIRC RADIUS 1 & 2.
 13. GLASS IN WINDOWS LOCATED IN THE ROOMS TO BE GLAZED WITH SAFETY MATERIAL. CIRC RADIUS.
 14. VERTICAL CLEARANCE ABOVE THE CEILING TO OVERHEAD LIGHTS IS UNPROTECTED, OR NOT PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE FOR THE MINIMUM DIMENSIONS LISTED ON THE SHEET. CIRC RADIUS 1 & 2.
 15. THE WALL SURFACE BEING CONTACTED OR OTHER FROM WALL, MATERIALS, SURFACE TO SURFACE OR ARE CONTACTS OF MATERIALS THAT OVERHANG OR CURVE OR MAY CONTACT OR FROM LOCATED ON THE FLOOR PLAN. NOTE THAT THESE REQUIREMENTS APPLY TO ALL ROOMS EXCEPT SLEEPING ROOMS AND BATHS.
 16. NOTE THAT ALL ATTIC ACCESS OPENINGS ARE CONSIDERED TO PREVENT WALL LOSS. CIRC RADIUS 1.
 17. A MINIMUM OF ONE (1) CIRCLES IS REQUIRED IN THE SLEEPING ROOM. THE MINIMUM AREA OF THE SLEEPING COMPARTMENT IS 104 SQUARE FEET. CIRC RADIUS 1.

FLOOR PLAN NOTES

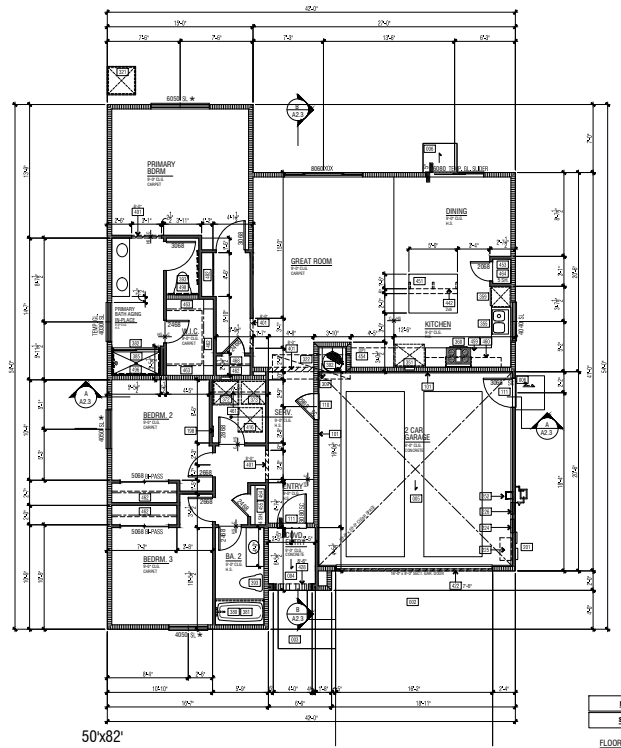
1. REFER TO ARCHITECTURAL SYMBOLS LOCATED ON SHEET C-1 FOR ADDITIONAL INFORMATION.
2. ATTICE ACCESS PER CIRC RADIUS CHAIRSTOPS PER CIRC RADIUS PER ADA.
3. CORNER SPACES ACCESS PER CIRC RADIUS AND WHEELCHAIR PER ADA.
4. CORNER SPACES ACCESS AND HEIGHT PER ADA.
5. MINIMUM OF SPACES PER CIRC RADIUS.
6. MINIMUM OF SPACES PER CIRC RADIUS.
7. COMPARISON AIR TO WATER HEATER PER CIRC RADIUS.
8. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CIRC RADIUS.
9. MANDATORY REQUIREMENT FOR WHEELCHAIR PER CIRC RADIUS.
10. THE WALL HEIGHT IS NOT TO EXCEED 8' FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOM. CIRC RADIUS 1.
11. IN EVERY ROOM, THERE ARE OPENINGS IN THE WALLS TO BE LOCATED LESS THAN 2' FROM THE FINISHED FLOOR AND MORE THAN 2' ABOVE PROTECTIVE OR OTHER FINISHED FLOOR IN THE ROOMS AND BE PROTECTED BY A GUARD OR WALL WITH GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A PERSON IN A WHEELCHAIR CAN PASS THROUGH. CIRC RADIUS 2.
12. A SLEEPING ROOM INSPECTION IS REQUIRED. CIRC RADIUS 1 & 2.
13. GLASS IN WINDOWS LOCATED IN THE ROOMS TO BE GLAZED WITH SAFETY MATERIAL. CIRC RADIUS.
14. VERTICAL CLEARANCE ABOVE THE CEILING TO OVERHEAD LIGHTS IS UNPROTECTED, OR NOT PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE FOR THE MINIMUM DIMENSIONS LISTED ON THE SHEET. CIRC RADIUS 1 & 2.
15. THE WALL SURFACE BEING CONTACTED OR OTHER FROM WALL, MATERIALS, SURFACE TO SURFACE OR ARE CONTACTS OF MATERIALS THAT OVERHANG OR CURVE OR MAY CONTACT OR FROM LOCATED ON THE FLOOR PLAN. NOTE THAT THESE REQUIREMENTS APPLY TO ALL ROOMS EXCEPT SLEEPING ROOMS AND BATHS.
16. NOTE THAT ALL ATTIC ACCESS OPENINGS ARE CONSIDERED TO PREVENT WALL LOSS. CIRC RADIUS 1.
17. A MINIMUM OF ONE (1) CIRCLES IS REQUIRED IN THE SLEEPING ROOM. THE MINIMUM AREA OF THE SLEEPING COMPARTMENT IS 104 SQUARE FEET. CIRC RADIUS 1.

FLOOR AREA TABLE

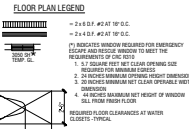
FLOOR AREA TABLE	PLAN 1482A
LOWER FLOOR PLAN	1482 SQ. FT.
TOTAL	1482 SQ. FT.
SAVY GARAGE	433 SQ. FT.
COVERED ENTRY PORCH	30 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHODS OF CALCULATION.

SCALE: 1/4" = 1'-0"

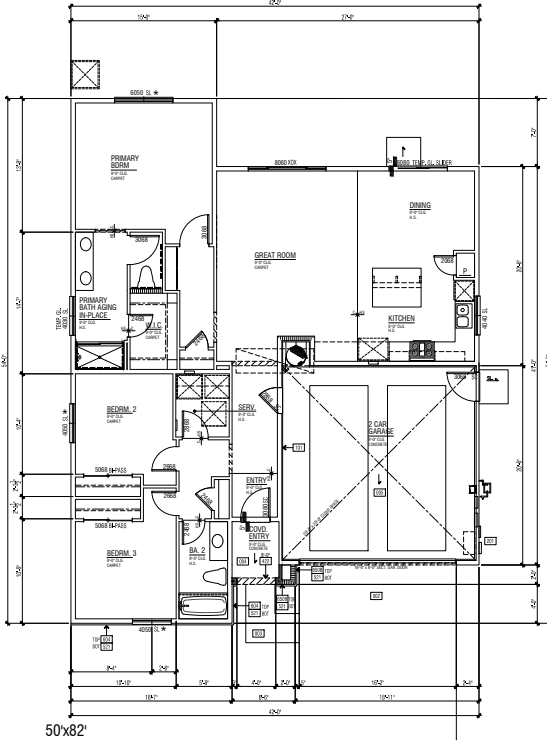


WINDOW SCHEDULE IS LOCATED ON SHEET PR-2
SEE SHEETS A2.1 & A2.2 FOR ADDITIONAL



FLOOR PLAN

50'x82'



FLOOR PLAN KEY NOTES	
00	SHEET # 14 OF 20 SHEETS
01	DO NOT SCALE
02	IF THE FLOOR PLAN IS TO BE USED FOR A PURPOSE OTHER THAN THAT FOR WHICH IT WAS DESIGNED, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON.
03	IF THE INFORMATION ON THIS SHEET IS TO BE USED FOR A PURPOSE OTHER THAN THAT FOR WHICH IT WAS DESIGNED, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON.
04	IF THE INFORMATION ON THIS SHEET IS TO BE USED FOR A PURPOSE OTHER THAN THAT FOR WHICH IT WAS DESIGNED, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON.
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06	IF THE INFORMATION ON THIS SHEET IS TO BE USED FOR A PURPOSE OTHER THAN THAT FOR WHICH IT WAS DESIGNED, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON.
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08	IF THE INFORMATION ON THIS SHEET IS TO BE USED FOR A PURPOSE OTHER THAN THAT FOR WHICH IT WAS DESIGNED, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON.
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11	IF THE INFORMATION ON THIS SHEET IS TO BE USED FOR A PURPOSE OTHER THAN THAT FOR WHICH IT WAS DESIGNED, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON.
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17	IF THE INFORMATION ON THIS SHEET IS TO BE USED FOR A PURPOSE OTHER THAN THAT FOR WHICH IT WAS DESIGNED, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON.
18	IF THE INFORMATION ON THIS SHEET IS TO BE USED FOR A PURPOSE OTHER THAN THAT FOR WHICH IT WAS DESIGNED, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON.
19	IF THE INFORMATION ON THIS SHEET IS TO BE USED FOR A PURPOSE OTHER THAN THAT FOR WHICH IT WAS DESIGNED, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON.
20	IF THE INFORMATION ON THIS SHEET IS TO BE USED FOR A PURPOSE OTHER THAN THAT FOR WHICH IT WAS DESIGNED, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

ADDENDA FLOOR PLAN NOTES

NOTE: THESE NOTES SHALL BE ADDED TO THE FLOOR PLAN AS SHOWN ON SHEET #14 OF 20 SHEETS.

NOTE: THESE NOTES SHALL BE ADDED TO THE FLOOR PLAN AS SHOWN ON SHEET #14 OF 20 SHEETS.

NOTE: THESE NOTES SHALL BE ADDED TO THE FLOOR PLAN AS SHOWN ON SHEET #14 OF 20 SHEETS.

WALL LEGEND

——	1/2" WALL	—————	3/4" WALL
====	1/2" BRICK WALL	=====	3/4" BRICK WALL
	1/2" CMU WALL		3/4" CMU WALL
▦▦▦▦	1/2" CONCRETE WALL	▦▦▦▦	3/4" CONCRETE WALL

- FLOOR PLAN NOTES**
- REFER TO ARCHITECTURAL SYMBOLS, LEGEND ON SHEET C1 FOR ADDITIONAL INFORMATION AND CLARIFICATIONS.
 - ARTISE ACCESS FOR THE SET: QUALITYSOUND PER ONE (1) AND VENTILATION PER ASHS.
 - DRIVE SPRING ACCESS PER ONE (1) AND VENTILATION PER ONE (1).
 - EMERGENCY ESCAPE AND RESCUE OPENINGS PER ONE (1) AND VENTILATION PER ONE (1).
 - GLAZING PER ONE (1) AND VENTILATION PER ONE (1).
 - COMBUSTION AIR INTAKE PER ONE (1) AND VENTILATION PER ONE (1).
 - REFRESHMENT AIR INTAKE PER ONE (1) AND VENTILATION PER ONE (1).
 - MECHANICAL EQUIPMENT LOCATION AND PROTECTION AS REQUIRED PER ONE (1) AND VENTILATION PER ONE (1).
 - MINIMUM REQUIREMENTS FOR APPLIANCE PER ONE (1) AND VENTILATION PER ONE (1).
 - THE SILL HEIGHT IS NOT TO EXCEED ANY PART OF THE CLEAR OPENING IN EXTERIOR WALLS PER ONE (1) AND VENTILATION PER ONE (1).
 - GLAZING PER ONE (1) AND VENTILATION PER ONE (1).
 - GLAZING PER ONE (1) AND VENTILATION PER ONE (1).
 - VERTICAL CLEARANCE ABOVE THE COUNTER TO COMBUSTIBLES 30".
 - VENTILATION PER ONE (1) AND VENTILATION PER ONE (1).
 - THE WALL SURFACE BENEATH CERAMIC TILE OR OTHER FRESH-WALL MATERIALS SUBJECT TO WATER PLUMBING AND CONSTRUCTION OF APERTURES TO BE PROTECTED BY WATER RESISTANT SHEATHING PER ONE (1) AND VENTILATION PER ONE (1).
 - NOTE THAT ALL ARTISE ACCESS OPENINGS ARE SEALED TO PREVENT AIR LOSS PER ONE (1) AND VENTILATION PER ONE (1).
 - A MINIMUM OF DIA. CIRCLE IS PROVIDED AT THE CHIMNEY FLOOR. THE MINIMUM FLOOR AREA OF THE CHIMNEY COMPARTMENT IS 100 SQUARE INCHES. USE PER ONE (1) AND VENTILATION PER ONE (1).

REVISIONS

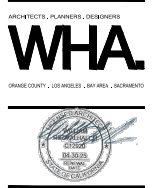
NO.	DATE	DESCRIPTION

INTERIOR ELEVATION KEY

FLOOR AREA TABLE		PLAN 1482 B	
LOWER FLOOR PLAN		1482 SQ. FT.	
TOTAL		1482 SQ. FT.	
BARRY GARAGE		402 SQ. FT.	
COVERED ENTRY PORCH		39 SQ. FT.	

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

SCALE: 1/4" = 1'-0"



WILSON HOMES

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D. (XXX Lots)

**PLAN 1482
CITREA at CLOVIS**
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

PROJECT INFORMATION

PROJECT NUMBER: 1482
PROJECT TYPE: S.F.D.
PROJECT ADDRESS: 1482 SQ. FT.
PROJECT OWNER: WILSON HOMES
PROJECT MANAGER: JACOB HARRIS
DATE: 06-26-23
SHEET: A2.9

**PLAN 1482B
ADDENDA
FLOOR PLAN**

PROJECT NUMBER: 1482

TRACT NUMBER: 6205

363

DATE: 06-26-23 SHEET: A2.9

2023009 - 2022 CODE UPDATE FIRST BLOG DEPT SET 06-26-2023

FLOOR PLAN

FLOOR PLAN KEY NOTES	
001	DATE: 06/26/2022
002	DRAWN BY: J. GARDNER
003	PROJECT: 2022 CODE UPDATE FIRST BLOG DEPT SET
004	THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE PERMITS AND ALL OTHER PERMITS AND REGULATIONS OF THE CITY OF CLOVIS, CALIFORNIA.
005	CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE PRIOR TO CONSTRUCTION.
006	ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CLOVIS, CALIFORNIA PERMITS AND REGULATIONS.
007	ALL MATERIALS SHALL BE APPROVED BY THE CITY OF CLOVIS, CALIFORNIA PERMITS AND REGULATIONS.
008	ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
009	ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.
010	ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED QUALITY STANDARDS.
011	ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED SAFETY STANDARDS.
012	ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED ENVIRONMENTAL STANDARDS.

ADDENDA FLOOR PLAN NOTES

NOTE: DIMENSIONS SHALL BE VERIFY PRIOR TO CONSTRUCTION.

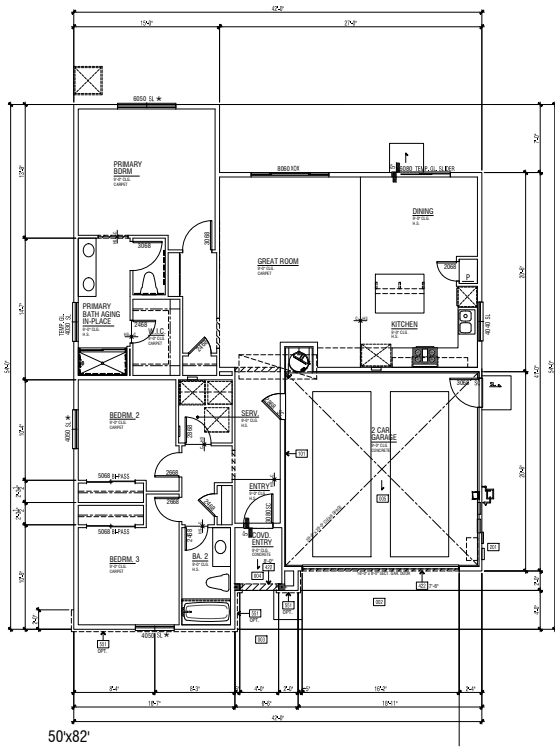
NOTE: ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CLOVIS, CALIFORNIA PERMITS AND REGULATIONS.

NOTE: THIS ADDENDUM SHALL BE USED IN CONJUNCTION WITH THE PERMITS AND ALL OTHER PERMITS AND REGULATIONS OF THE CITY OF CLOVIS, CALIFORNIA.

WALL LEGEND

	1/2\"/> WALL		GLASS PARTS
	2\"/> WALL		WALL PARTS
	3\"/> WALL		WALL PARTS
	1/2\"/> WALL		GLASS PARTS

- FLOOR PLAN NOTES**
- REFER TO ARCHITECTURAL GENERAL LEGEND OR SHEET OF FOR ADDITIONAL INFORMATION AND CLARIFICATIONS.
 - ATTEND ACCESS PER CMC SPEC. CRAMPTONS PER CMC SPEC. TO AVOID VENTILATION PER ADO.
 - DRAMA SPACE ACCESS PER CMC SPEC. A AND IDENTIFY PER PAR. 1.
 - IMPROVED LIGHTING AND SOUND OPERATIONS PER CMC SPEC. AND ADO.
 - GLASSING PER CMC SPEC. 1.2.1 & 1.2.2.
 - CONSTRUCTION AIR TO EXHAUST AIR OUT PER CMC CHAPTER 2.
 - CONSTRUCTION AIR TO EXHAUST AIR OUT PER CMC SECTION 5.0.
 - MECHANICAL EQUIPMENT LOCATION AND PROTECTION MAINTAIN CLEARANCE PER CMC SPEC. MANDATORY REQUIREMENTS FOR APPLIANCES PER CMC SECTION 110.1.
 - THE WALL HEIGHT IS NOT TO EXCEED 8' FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. CMC SPEC. 101.2.
 - SLIPPER FLOOR PLANK, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 6" ABOVE THE FINISHED FLOOR AND MORE THAN 2" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR MUST BE PROTECTED BY A GUARD OR OTHER SAFETY DEVICE. THE GUARDING MAY NOT OPENING THAT A SPACE OF 4" BETWEEN THE GUARD AND THE PROTECTION MAINTAIN CLEARANCE PER CMC SPEC. 110.1.2.
 - GLASSING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. CMC SPEC.
 - VERTICAL CLEARANCE ABOVE THE COUNTER TO COMBUSTIBLES IS 30" UNLESS OTHERWISE NOTED AND THE PROVISIONS THEREAFTER ARE REQUIRED TO BE FOR THE PERMANENT FINISHING LISTED ON THE CMC SPEC. 5.0.1 & 5.0.2.
 - THE WALL SURFACE BEING CERAMIC TILE OR OTHER FINISH WALL MATERIALS SHALL BE FINISHED TO THE FINISHED FLOOR AND MORE THAN 2" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR. REFER TO REINFORCED CONCRETE FOR ALL ACCESS OPENINGS ON THE FLOOR PLAN NOTE THAT WATER RESISTANT OPTION SHOULD BE NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. CMC SPEC. 2.2.
 - NOTE THAT ALL ACCESS OPENINGS ARE SHOWN TO PREVENT AIR LOSS. CMC SPEC.
 - A MINIMUM OF 24" CLEARANCE IS PROVIDED AT THE SHOWERS FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 30.0 SQUARE FEET. CMC SPEC. 110.1.2.



FLOOR AREA TABLE

DESCRIPTION	AREA (SQ. FT.)
LOWER FLOOR PLAN	1482 SQ. FT.
TOTAL	1482 SQ. FT.
2-CAR GARAGE	423 SQ. FT.
COVERED ENTRY/PORCH	35 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

SCALE: 1/4" = 1'-0"



WILSON HOMES

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D. (XXX Lots)

**PLAN 1482
CITREA at CLOVIS**
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION

PLAN 1482C
ADDENDA
FLOOR PLAN

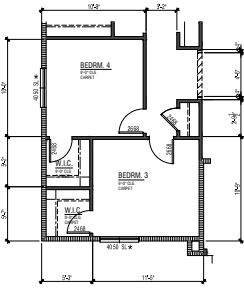
PROGRESSIVE MAP

PROJECT NUMBER	JOB
20220009-2022 CODE UPDATE FIRST BLOG DEPT SET	
DATE: 06-26-23	SHEET: A2.7

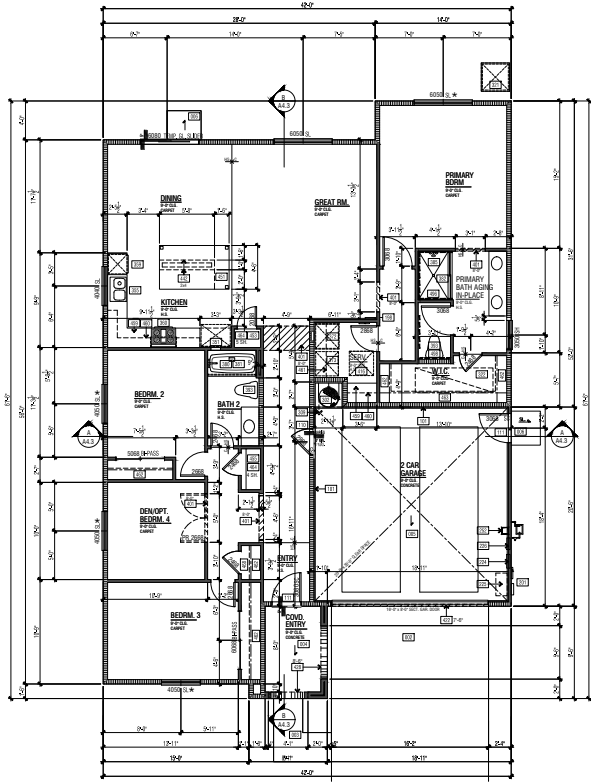
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20230009-2022 CODE UPDATE FIRST BLOG DEPT SET 06-26-2023

FLOOR PLAN



OPT. BEDRM. 4 AT DEN



FLOOR PLAN

MEMORANDUM FOR INFORMATION ONLY

WINDOW LOCATIONS IN LOCATIONS ON SHEET 204

WINDOW SCHEDULE A-4 & A-7 FOR AGENDA PLAN

DATE: 06-26-23

PROJECT: 2022 CODE UPDATE FIRST BLDG DEPT SET

REVISIONS: 1.0

NO. DATE DESCRIPTION

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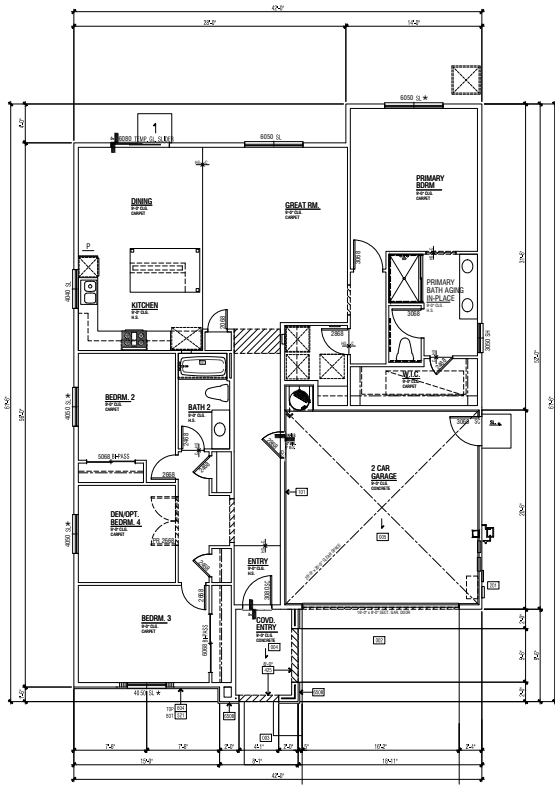
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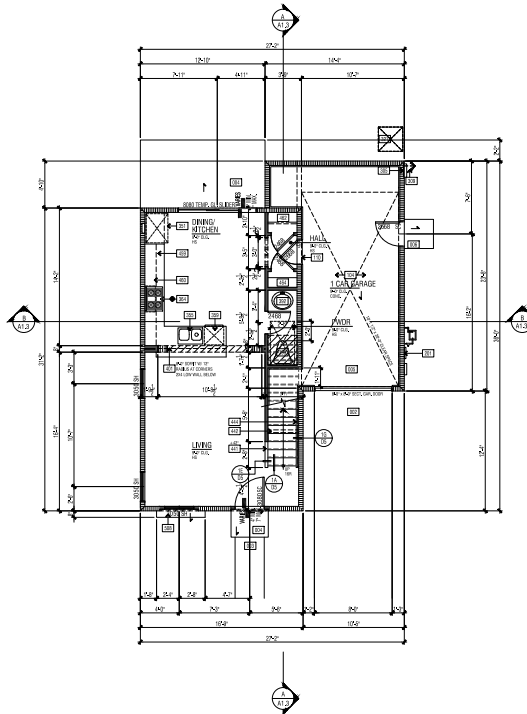
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FLOOR PLAN KEY NOTES	
NO	DESCRIPTION
001	CONCRETE SLAB ON GYPSUM
002	WOOD FLOOR FINISH
003	GLASS FLOOR SLAB
004	GLASS FLOOR SLAB
005	GLASS FLOOR SLAB
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030	GLASS FLOOR SLAB

ADDENDA FLOOR PLAN NOTES	
NOTE: SHOWN WALLS AND DOORS THAT ARE SHOWN ON THIS FLOOR PLAN.	
NOTE: SEE TO BE AND VERIFY CHANGES BY THESE FOR ALL THE WORK AND MATERIALS USED.	
REFER TO THESE DRAWINGS: A4.1 FOR ADDENDA NOTES AND REVISIONS.	

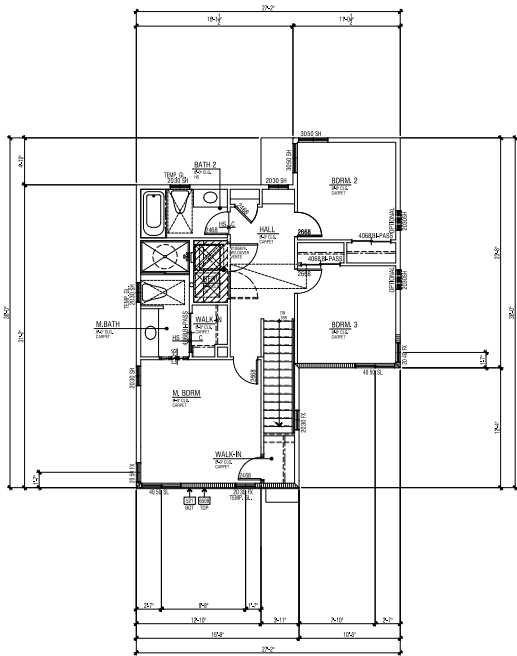
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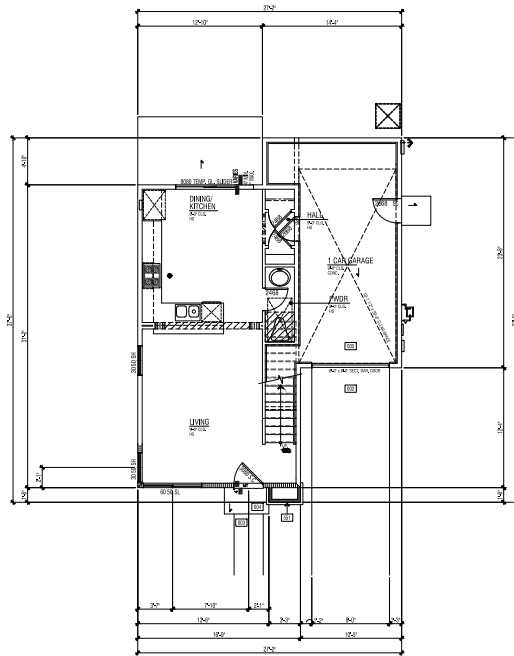
FLOOR PLAN KEY NOTES

NO.	TEXT
001	UNLESS NOTED OTHERWISE, ALL DIMENSIONS SHALL BE IN FEET AND INCHES.
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SPN # .
 FLOOR AREA TABLE PLAN 121
 NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



UPPER FLOOR PLAN



LOWER FLOOR PLAN

FLOOR PLAN KEY NOTES	
001	EXISTING DOOR SWING
002	EXISTING DOOR SWING
003	EXISTING DOOR SWING
004	EXISTING DOOR SWING
005	EXISTING DOOR SWING
006	EXISTING DOOR SWING
007	EXISTING DOOR SWING
008	EXISTING DOOR SWING
009	EXISTING DOOR SWING
010	EXISTING DOOR SWING

ADDENDA FLOOR PLAN NOTES	
NOTE: DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.	
NOTE: REFER TO ALL ADDENDA DRAWINGS BY DIMENSIONS FOR ALL DIMENSIONS AND DIMENSIONS FOR WALLS.	
REFER TO THE PLAN SHEET SET FOR ADDENDA NOTES AND DIMENSIONS.	



WILSON HOMES

NEW ELEVATIONS - PLAN 1212
 CLOVIS, CALIFORNIA
 WILSON HOMES
 FRESNO, CALIFORNIA
 TRACT NUMBER: 6168/6202
 PROJECT TYPE: S.F.D.

REVISIONS

NO.	DATE	DESCRIPTION

ADDENDA FLOOR PLANS 1212B

SPR #	FLOOR AREA TABLE	PLAN 1212B
LOWER FLOOR PLAN	482 SQ. FT.	
UPPER FLOOR PLAN	739 SQ. FT.	
TOTAL	1221 SQ. FT.	
GARAGE	302 SQ. FT.	

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PROJECT NUMBER	DATE	DATE	DATE
387			

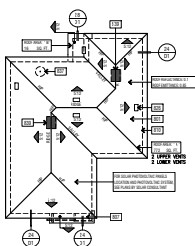
DATE: 06-18-20
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SCALE: 1/4" = 1'-0"

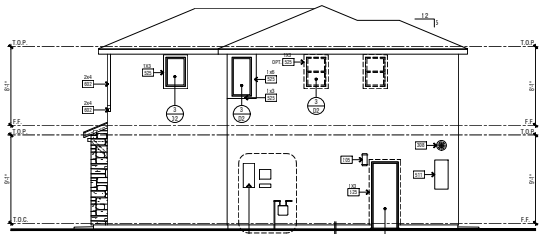
2018077.07 - FIRST BUILDING DEPARTMENT SUBMITTAL SET 06-18-2020

ATTIC VENTILATION CALCULATIONS

PLAN	FR		
ROOF AREA	11110.00 sq. ft.		
MIN. VENTILATION REQUIRED	TOTAL 395 sq. ft.		
MIN. VENTILATION PROVIDED	TOTAL PROVIDED 395 sq. ft.		
MIN. VENTILATION REQUIRED	HIGH 153 sq. ft.		
MIN. VENTILATION PROVIDED	TOTAL HIGH PROVIDED 158 sq. ft.		
MIN. VENTILATION REQUIRED	LOW 142 sq. ft.		
MIN. VENTILATION PROVIDED	TOTAL LOW PROVIDED 137 sq. ft.		
ROOF AREA	9' x 16' = 144 sq. ft.		
CALCULATION FACTOR	1/1,156		
MIN. VENTILATION METHOD	SIZE PER AREA	QUANTITY	AREA AREA
CLEANED VENT-CONG. FLAT TILE	90	3.02	272
			395
LOW VENTILATION METHOD	SIZE PER AREA	QUANTITY	AREA AREA
CLEANED VENT-CONG. FLAT TILE	90	3.02	272
			272
ROOF AREA	9' x 16' = 144 sq. ft.		
CALCULATION FACTOR	1/1,156		
MIN. VENTILATION METHOD	SIZE PER AREA	QUANTITY	AREA AREA
CLEANED VENT-CONCRETE TILE	90	3.02	272
			272
MIN. VENTILATION PROVIDED	TOTAL PROVIDED	272	272



RIGHT



FINISHED GRADE WORKS. USE CIVIL ENGINEER'S PLAN FOR FINAL GRADE AND SITE GRADING.

ELEVATION KEY NOTES

1. SLOPE
2. STREET LIGHTING AND STREET WALLS - VERIFY LOCATION
3. EROSION CONTROL - WITH THE LOCAL AGRO-COMMUNITY PLANNING BOARD A PORTION OF THIS PLAN SHALL BE SUBMITTED TO THE STREET
4. SLOPES SHALL BE SET BY THE CIVIL ENGINEER. MINIMUM GRAD SHALL BE 2% UNLESS OTHERWISE NOTED.
5. SLOPES SHALL BE SET BY THE CIVIL ENGINEER. MINIMUM GRAD SHALL BE 2% UNLESS OTHERWISE NOTED.
6. SLOPES SHALL BE SET BY THE CIVIL ENGINEER. MINIMUM GRAD SHALL BE 2% UNLESS OTHERWISE NOTED.
7. SLOPES SHALL BE SET BY THE CIVIL ENGINEER. MINIMUM GRAD SHALL BE 2% UNLESS OTHERWISE NOTED.
8. SLOPES SHALL BE SET BY THE CIVIL ENGINEER. MINIMUM GRAD SHALL BE 2% UNLESS OTHERWISE NOTED.
9. SLOPES SHALL BE SET BY THE CIVIL ENGINEER. MINIMUM GRAD SHALL BE 2% UNLESS OTHERWISE NOTED.
10. SLOPES SHALL BE SET BY THE CIVIL ENGINEER. MINIMUM GRAD SHALL BE 2% UNLESS OTHERWISE NOTED.

WHA
WILSON HOMES

WILSON HOMES

ROOF PLAN SCALE: 1/8" = 1'-0"

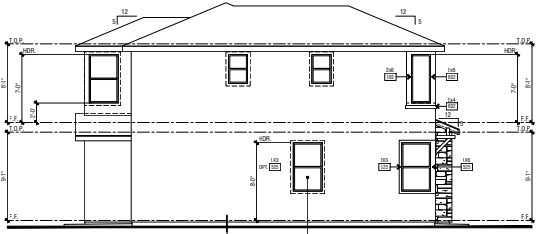
CONCRETE FLAT TILE	2x6	2x6	1'-0" U.N.O.	1'-0"
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ROOF PLAN KEY NOTES

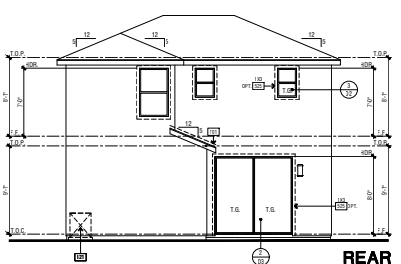
1. CLASS B ROOFING - CONCRETE FLAT TILE - 8" THICK ROOFING OVER 2x6 JOISTS
2. ROOFING - METAL OR CUSTOM METAL - 1/8" THICK
3. 1/2" INSULATION
4. ROOF JOIST - 2x6 @ 16" ON CENTER
5. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
6. ROOF JOIST - 2x6 @ 16" ON CENTER
7. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
8. ROOF JOIST - 2x6 @ 16" ON CENTER
9. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
10. ROOF JOIST - 2x6 @ 16" ON CENTER
11. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
12. ROOF JOIST - 2x6 @ 16" ON CENTER
13. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
14. ROOF JOIST - 2x6 @ 16" ON CENTER
15. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
16. ROOF JOIST - 2x6 @ 16" ON CENTER
17. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
18. ROOF JOIST - 2x6 @ 16" ON CENTER
19. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
20. ROOF JOIST - 2x6 @ 16" ON CENTER
21. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
22. ROOF JOIST - 2x6 @ 16" ON CENTER
23. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
24. ROOF JOIST - 2x6 @ 16" ON CENTER
25. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
26. ROOF JOIST - 2x6 @ 16" ON CENTER
27. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
28. ROOF JOIST - 2x6 @ 16" ON CENTER
29. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
30. ROOF JOIST - 2x6 @ 16" ON CENTER
31. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
32. ROOF JOIST - 2x6 @ 16" ON CENTER
33. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
34. ROOF JOIST - 2x6 @ 16" ON CENTER
35. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
36. ROOF JOIST - 2x6 @ 16" ON CENTER
37. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
38. ROOF JOIST - 2x6 @ 16" ON CENTER
39. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
40. ROOF JOIST - 2x6 @ 16" ON CENTER
41. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
42. ROOF JOIST - 2x6 @ 16" ON CENTER
43. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
44. ROOF JOIST - 2x6 @ 16" ON CENTER
45. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
46. ROOF JOIST - 2x6 @ 16" ON CENTER
47. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
48. ROOF JOIST - 2x6 @ 16" ON CENTER
49. 1/2" Gypsum Board - 1/2" Gypsum Board - 1/2" ON CENTER
50. ROOF JOIST - 2x6 @ 16" ON CENTER

ROOF PLAN NOTES

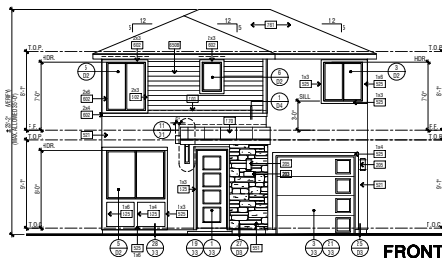
1. SEE GENERAL NOTES FOR ROOF NOTES.
2. SLOPE INDICATORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
3. ATTIC ACCESS FOR ONE SECTION MUST PROVIDE ACCESS TO BOTH THE ROOFING AND THE INSULATION. THE MINIMUM NET FLOOR AREA SHALL BE 1/300 OF THE AREA OF THE UNVENTED SPACE. LOCATIONS OF THE MINIMUM NET FLOOR AREA SHALL BE IN THE UNVENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - a. MINIMUM CLEARANCE OF 6" SHALL BE MAINTAINED ABOVE ROOFING OR INSULATION.
 - b. NOT LESS THAN 10% PERCENT OF THE UNVENTED SPACE SHALL BE PROVIDED BY THE MINIMUM NET FLOOR AREA. LOCATIONS OF THE MINIMUM NET FLOOR AREA SHALL BE IN THE UNVENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - a. MINIMUM CLEARANCE OF 6" SHALL BE MAINTAINED ABOVE ROOFING OR INSULATION.
 - b. NOT LESS THAN 10% PERCENT OF THE UNVENTED SPACE SHALL BE PROVIDED BY THE MINIMUM NET FLOOR AREA. LOCATIONS OF THE MINIMUM NET FLOOR AREA SHALL BE IN THE UNVENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - a. MINIMUM CLEARANCE OF 6" SHALL BE MAINTAINED ABOVE ROOFING OR INSULATION.
 - b. NOT LESS THAN 10% PERCENT OF THE UNVENTED SPACE SHALL BE PROVIDED BY THE MINIMUM NET FLOOR AREA. LOCATIONS OF THE MINIMUM NET FLOOR AREA SHALL BE IN THE UNVENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
4. CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF JOISTS OF 2" TO 4" ON CENTER. FOR ROOF JOISTS FROM 7" TO 10" O.C. DOUBLE END BRACKETING APPLICATION IS REQUIRED IN ACCORDANCE WITH MDS-3 (MDS-3.2.2). SLOPE SHALL BE SET BY THE CIVIL ENGINEER. UNLESS OTHERWISE SPECIFIED, THE RAFTERS OR TRUSS ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. THE RAFTERS OR TRUSS ANCHORS SHALL BE INSTALLED TO ALIGN WITH THE BASE OF THE LAMBRIF. MDS-3.2.2.2.1.1



LEFT



REAR



FRONT

NEW ELEVATIONS - PLAN 1212
 CLOMS, CALIFORNIA

WILSON HOMES
 FRESNO, CALIFORNIA

TRACT NUMBER: 6166/6202
 PROJECT TYPE: S.F.D.

REVISIONS

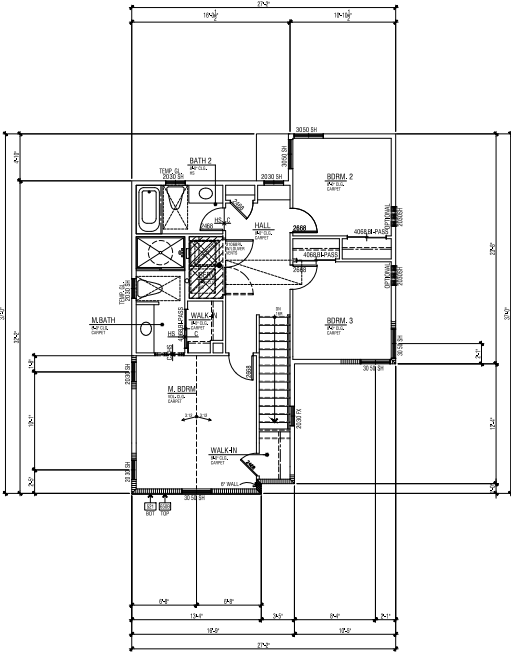
NO.	DATE	DESCRIPTION

PLAN 1212B
 EXTERIOR ELEVATIONS & ROOF PLAN

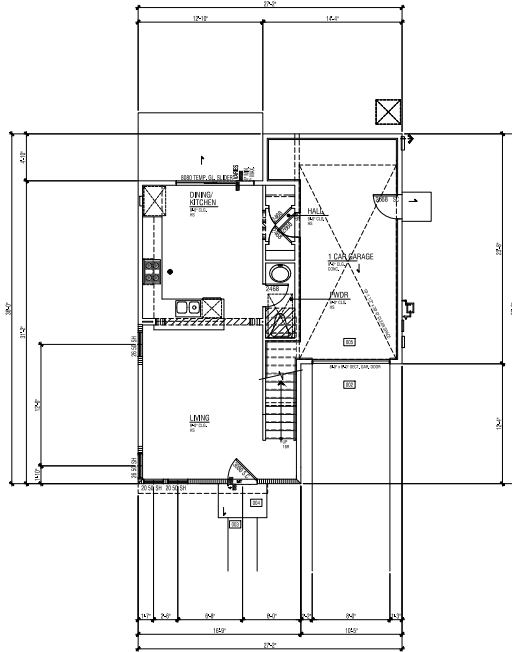
388

DATE: 06-18-20 SHEET: A1.6

SCALE: 1/4" = 1'-0"



UPPER FLOOR PLAN



LOWER FLOOR PLAN

FLOOR PLAN KEY NOTES	
001	SEE
002	EXISTING FLOOR FINISHES
003	EXISTING FLOOR FINISHES
004	CONCRETE FLOOR SLAB (2" OVER CONCRETE SLAB) 1" FLOOR FINISH (1" BELOW FINISH FLOOR)
005	CONCRETE FLOOR SLAB (2" OVER CONCRETE SLAB) 1" FLOOR FINISH (1" BELOW FINISH FLOOR)
006	EXISTING CONCRETE FLOOR FINISHES (2" OVER CONCRETE SLAB) 1" FLOOR FINISH (1" BELOW FINISH FLOOR)
007	EXISTING CONCRETE FLOOR FINISHES (2" OVER CONCRETE SLAB) 1" FLOOR FINISH (1" BELOW FINISH FLOOR)
008	SEE SHEET 061100 FOR THE CONCRETE FLOOR FINISHES. THE FINISHES SHALL BE AS SHOWN ON SHEET 061100. REFER TO SHEET 061100 FOR FINISHES. REFER TO SHEET 061100 FOR FINISHES.

ADDENDA FLOOR PLAN NOTES
 NOTE: DIMENSIONS SHALL BE AS SHOWN ON THIS SET. REFER TO THE BASE FLOOR PLAN FOR DIMENSIONS TO WALLS AND LANDSCAPE DIMENSIONS FOR ALL CONCRETS AND EXISTING CONCRETS.
 REFER TO THE PLAN SHEET 061100 FOR ADDENDA NOTES AND DIMENSIONS.

SP#	DESCRIPTION	DATE
1	FLOOR AREA TABLE	06-18-20
2	LOWER FLOOR PLAN	06-18-20
3	UPPER FLOOR PLAN	06-18-20
4	TOTAL	06-18-20
5	GARAGE	06-18-20

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

SCALE: 1/4" = 1'-0"



WILSON HOMES

NEW ELEVATIONS- PLAN 1212
 CLOVIS, CALIFORNIA

TRACT NUMBER: 6168/6202
 PROJECT TYPE: S.F.D.

WILSON HOMES
 FRESNO, CALIFORNIA

2018077.07 - FIRST BUILDING DEPARTMENT SUBMITTAL SET 06-18-2020

REVISIONS		
NO.	DATE	DESCRIPTION

ADDENDA FLOOR PLAN 1212C

PROJECT NUMBER: 06-18-20

DRAWN BY: [Signature]

CHECKED BY: [Signature]

DATE: 06-18-20

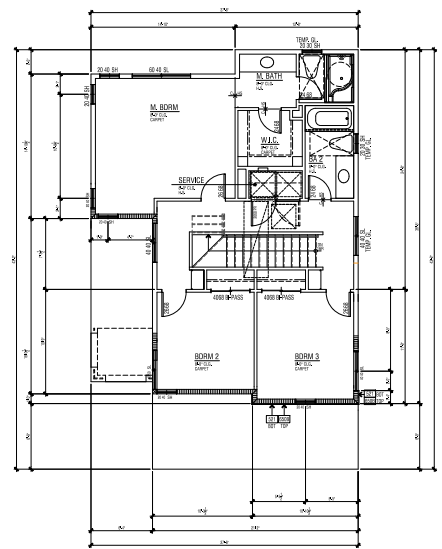
SHEET: A1.7

389

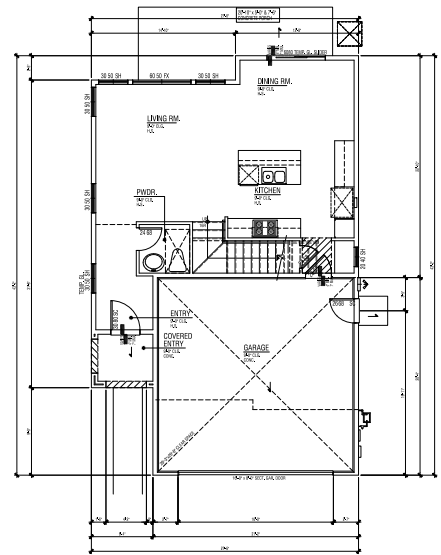
FLOOR PLAN KEY NOTES	
NO.	TEXT
001	CONFORM TO ALL CODES.
002	CONFORM TO ALL ORDINANCES.
003	VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS.
004	VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS.
005	VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS.
006	VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS.
007	VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS.
008	VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS.
009	VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS.
010	VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS.



WILSON HOMES



UPPER FLOOR PLAN



LOWER FLOOR PLAN

ADDENDA FLOOR PLAN NOTES
 NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE WRAE FLOOR PLAN.
 NOTE: REFER TO DIM. AND ANNOTATIVE DRAWINGS BY OTHERS FOR ALL DRAWINGS AND GENERAL LOCATIONS.
 REFER TO WRAE PLAN SHEET 8.1.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

SP#	FLOOR AREA TABLE	PLAN 1390C
LOWER FLOOR	420 SQ. FT.	
UPPER FLOOR	730 SQ. FT.	
TOTAL	1150 SQ. FT.	
GARAGE	420 SQ. FT.	
LOWEED ENTRY	38 SQ. FT.	

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

NEW ELEVATIONS - PLAN 1390
 CLONS, CALIFORNIA
 WILSON HOMES
 FRESNO, CALIFORNIA

TRACT NUMBER: 6T168/6202
 PROJECT TYPE: S.F.D.

2018077.07 - FIRST BUILDING DEPARTMENT SUBMITTAL SET 06-18-2020

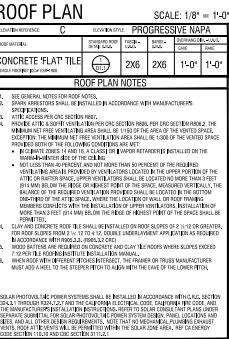
REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 1390C
 ADDENDA PLANS

PROJECT NUMBER	NO.

395

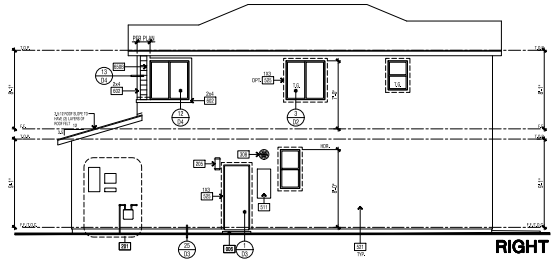
DATE	SHEET
06-18-20	A1.7



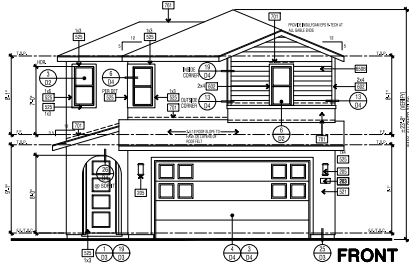
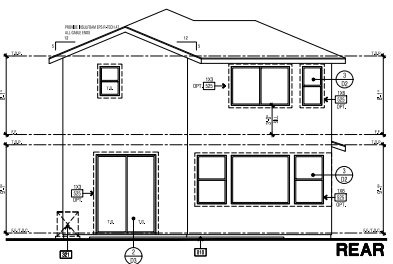
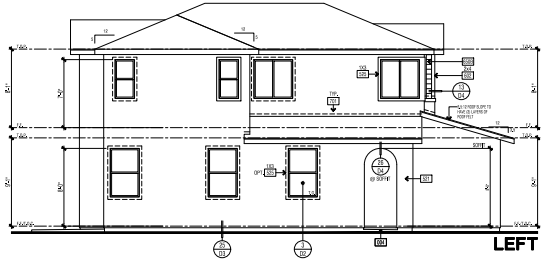
ATTIC VENTILATION CALCULATIONS				
ROOF AREA	PLAN	CALCULATION FACTOR	PLAN	AREA
1,592.00	1,592.00	0.83	1,328.00	0.83
MIN. VENTILATION REQUIRED	TOTAL	2,068.80	TOTAL PROVIDED	3,168.00
MIN. VENTILATION REQUIRED	MIN.	1,152.00	TOTAL MIN. PROVIDED	1,152.00
MIN. VENTILATION REQUIRED	LOW	1,916.80	TOTAL LOW PROVIDED	1,916.80
LOW VENTILATION METHOD				
CLEARED VENT. - CONC. FLAT TILE	SEE AREA	QUANTITY	FREE NET AREA	
	99	30	1,152	30
			TOTAL PROVIDED	1,152
ROOF ATTY. AREA				
MIN. VENTILATION REQUIRED	TOTAL	1,168	TOTAL PROVIDED	1,170
MIN. VENTILATION REQUIRED	MIN.	640	TOTAL MIN. PROVIDED	640
MIN. VENTILATION REQUIRED	LOW	1,144	TOTAL LOW PROVIDED	1,144
HIGH VENTILATION METHOD				
CLEARED VENT. - CONC. FLAT TILE	SEE AREA	QUANTITY	FREE NET AREA	
	99	30	1,152	30
			TOTAL PROVIDED	1,152
ROOF ATTY. AREA				
MIN. VENTILATION REQUIRED	TOTAL	1,168	TOTAL PROVIDED	1,170
MIN. VENTILATION REQUIRED	MIN.	640	TOTAL MIN. PROVIDED	640
MIN. VENTILATION REQUIRED	LOW	1,144	TOTAL LOW PROVIDED	1,144

ROOF PLAN KEY NOTES

NO.	DESCRIPTION
01	SEE GENERAL NOTES FOR RAIN WATER.
02	DRAIN SPACERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
03	RAIN WATER FALLS TO DOWNSPUTTERS TO EXTERIOR. IN CASES WHERE THE DOWNSPUTTER IS LOCATED OUTSIDE THE CURB OF THE ROOF, THE DOWNSPUTTER SHALL BE LOCATED WITHIN THE DOWNSPUTTER CLEARANCE AREA. THE DOWNSPUTTER SHALL BE LOCATED WITHIN THE DOWNSPUTTER CLEARANCE AREA.
04	ROOF DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
05	ROOF DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.



ELEVATION KEY NOTES	
01	SEE GENERAL NOTES FOR RAIN WATER.
02	DRAIN SPACERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
03	RAIN WATER FALLS TO DOWNSPUTTERS TO EXTERIOR. IN CASES WHERE THE DOWNSPUTTER IS LOCATED OUTSIDE THE CURB OF THE ROOF, THE DOWNSPUTTER SHALL BE LOCATED WITHIN THE DOWNSPUTTER CLEARANCE AREA. THE DOWNSPUTTER SHALL BE LOCATED WITHIN THE DOWNSPUTTER CLEARANCE AREA.
04	ROOF DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
05	ROOF DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.



WILSON HOMES

NEW ELEVATIONS - PLAN 1390
CLONS, CALIFORNIA

TRACT NUMBER: 6168/6202
PROJECT TYPE: S.F.D.

WILSON HOMES
CLONS, CALIFORNIA

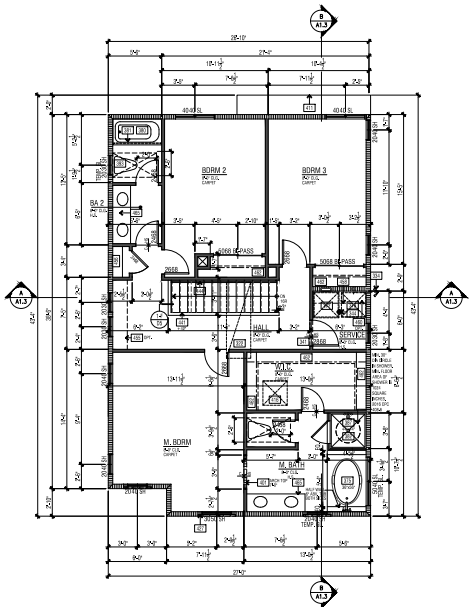
REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 1390C EXTERIOR ELEVATIONS & ROOF PLAN

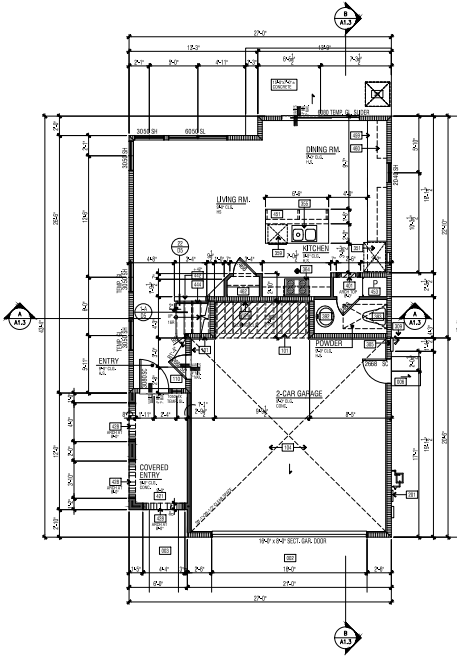
PROJECT NUMBER:	6168/6202
DRAWN BY:	JD
CHECKED BY:	JD
DATE:	06-18-20
SCALE:	1/4" = 1'-0"
396	
DATE:	06-18-20
SHEET:	A1.8

SCALE: 1/4" = 1'-0"

2018077_07 - FIRST BUILDING DEPARTMENT SUBMITTAL SET 06-18-2020



UPPER FLOOR PLAN



LOWER FLOOR PLAN

SEE SHEET A1.3 & A1.7 FOR APPENDIX FLOOR PLANS.

FLOOR PLAN NOTES

1. ALL OPEN ACCESS DOORS AND WINDOWS FOR ONE LEVEL AND OPENING PER FLOOR.
2. SHOW ACCESS DOORS FOR ONE LEVEL AND OPENING PER FLOOR.
3. EMERGENCY EGRESS AND RESCUE OPENINGS FOR ONE FLOOR PER FLOOR.
4. ALL OPEN ACCESS DOORS AND WINDOWS FOR ONE LEVEL AND OPENING PER FLOOR.
5. FACTORY MADE BRICKS AND BLOCKS FOR ONE FLOOR PER FLOOR.
6. CONSTRUCTION AND TO PROVIDE FOR ONE FLOOR PER FLOOR.
7. CONSTRUCTION AND TO PROVIDE FOR ONE FLOOR PER FLOOR.
8. CONSTRUCTION AND TO PROVIDE FOR ONE FLOOR PER FLOOR.
9. CONSTRUCTION AND TO PROVIDE FOR ONE FLOOR PER FLOOR.
10. CONSTRUCTION AND TO PROVIDE FOR ONE FLOOR PER FLOOR.
11. THE ALL ACCESS DOOR BE LOCATED AT THE BOTTOM OF THE CLEAR HEIGHT TO BE 80" MINIMUM CLEARANCE.
12. ALL OPEN ACCESS DOORS AND WINDOWS FOR ONE LEVEL AND OPENING PER FLOOR.
13. ALL OPEN ACCESS DOORS AND WINDOWS FOR ONE LEVEL AND OPENING PER FLOOR.
14. ALL OPEN ACCESS DOORS AND WINDOWS FOR ONE LEVEL AND OPENING PER FLOOR.
15. ALL OPEN ACCESS DOORS AND WINDOWS FOR ONE LEVEL AND OPENING PER FLOOR.
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17. ALL OPEN ACCESS DOORS AND WINDOWS FOR ONE LEVEL AND OPENING PER FLOOR.
18. ALL OPEN ACCESS DOORS AND WINDOWS FOR ONE LEVEL AND OPENING PER FLOOR.
19. ALL OPEN ACCESS DOORS AND WINDOWS FOR ONE LEVEL AND OPENING PER FLOOR.
20. ALL OPEN ACCESS DOORS AND WINDOWS FOR ONE LEVEL AND OPENING PER FLOOR.

FLOOR PLAN NOTES

- | | |
|-----|------|
| NO. | REV. |
| 001 | 001 |
| 002 | 001 |
| 003 | 001 |
| 004 | 001 |
| 005 | 001 |
| 006 | 001 |
| 007 | 001 |
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| 009 | 001 |
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| 043 | 001 |
| 044 | 001 |
| 045 | 001 |
| 046 | 001 |
| 047 | 001 |
| 048 | 001 |
| 049 | 001 |
| 050 | 001 |

WALLS SCHEDULE IS LOCATED ON SHEET A1.3

WALL LABELS

W1	2" x 4" CMU @ 8" O.C.
W2	2" x 4" CMU @ 8" O.C.



INTERIOR ELEVATION KEY

SRI #	PLAN 1648A
FLOOR AREA TABLE	
LOWER FLOOR	588 SQ. FT.
UPPER FLOOR	1009 SQ. FT.
TOTAL	1597 SQ. FT.
SCREEN GARAGE	486 SQ. FT.
COVERED ENTRY	78 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

NO.	DATE	DESCRIPTION



WILSON HOMES

NEW ELEVISIONS - PLAN 1648

CLONS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER: 6768/602
PROJECT TYPE: S.F.D.

REVISIONS

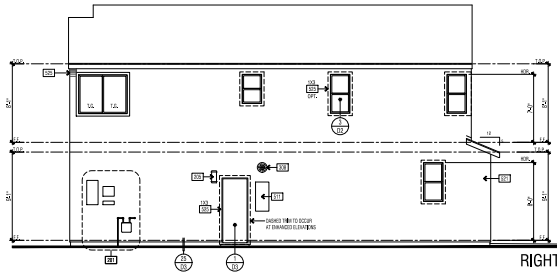
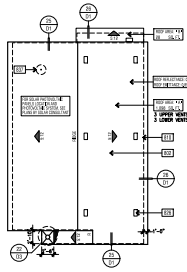
NO.	DATE	DESCRIPTION

PLAN 1648A
FLOOR PLANS

397

DATE: 06-18-20
SHEET: A1.1

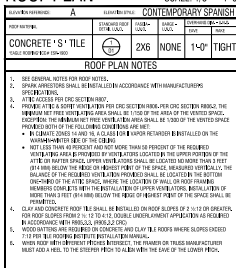
ATTIC VENTILATION CALCULATIONS - PLAN 1648				
ROOF AREA				PLAN 1648
ROOF AREA	1,190.0	sq ft	CALCULATION FACTOR:	1.1900
LOW VENTILATION REQUIRED - TOTAL	520	sq ft	TOTAL PROVIDED:	588
LOW VENTILATION REQUIRED - HIGH	780	sq ft	TOTAL PROVIDED:	784
LOW VENTILATION REQUIRED - LOW	280	sq ft	TOTAL PROVIDED:	294
ROOF VENTILATION METHOD	SIZE	PRE-AREA	QUANTITY	FREE ROOF AREA
CLEARWAY VENT - LONG-PILE	96	sq ft	6	576
TOTAL PROVIDED				588
LOW VENTILATION METHOD	SIZE	PRE-AREA	QUANTITY	FREE ROOF AREA
CLEARWAY VENT - LONG-PILE	96	sq ft	6	576
TOTAL PROVIDED				588
ROOF AREA	1,190.0	sq ft	CALCULATION FACTOR:	1.1900
LOW VENTILATION METHOD	SIZE	PRE-AREA	QUANTITY	FREE ROOF AREA
CLEARWAY VENT - LONG-PILE	96	sq ft	6	576
TOTAL PROVIDED				588



ELEVATION KEY NOTES	
No.	NOTE
01	SEE ELEVATION KEY FOR VENTILATION LOCATIONS
02	STAIR RISER PANELS SHALL BE FINISHED TO MATCH ADJACENT ROOFING SYSTEMS AND SHALL BE FINISHED TO MATCH THE STAIRS.
03	DO NOT INTERFERE WITH STRUCTURAL MEMBERS OR MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
04	GRADING SHALL BE MAINTAINED TO PREVENT WATER PENETRATION.
05	ROOF FINISH SHALL BE FINISHED TO MATCH ADJACENT ROOFING SYSTEMS.
06	ROOF FINISH SHALL BE FINISHED TO MATCH ADJACENT ROOFING SYSTEMS.
07	SEE FOUNDATION CONNECTION
08	DO NOT INTERFERE WITH MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
09	ROOF FINISH SHALL BE FINISHED TO MATCH ADJACENT ROOFING SYSTEMS.
10	DO NOT INTERFERE WITH MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
11	DO NOT INTERFERE WITH MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
12	DO NOT INTERFERE WITH MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.

ROOF PLAN

SCALE: 1/8" = 1'-0"



ROOF PLAN KEY NOTES			
No.	NOTE		
01	SEE FOUNDATION CONNECTION		
02	ROOF FINISH SHALL BE FINISHED TO MATCH ADJACENT ROOFING SYSTEMS.		
03	DO NOT INTERFERE WITH MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.		
04	DO NOT INTERFERE WITH MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.		
05	DO NOT INTERFERE WITH MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.		

1. ALL EXISTING NOTES FROM NOTES 1-4, FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

2. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

3. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

4. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

5. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

6. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

7. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

8. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

9. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

10. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

11. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

12. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

13. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

14. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

15. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

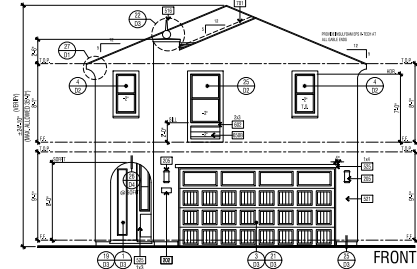
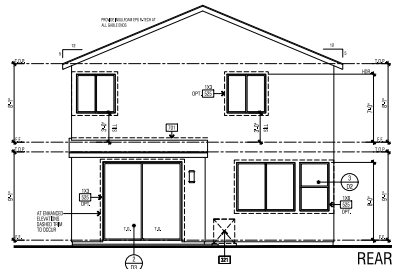
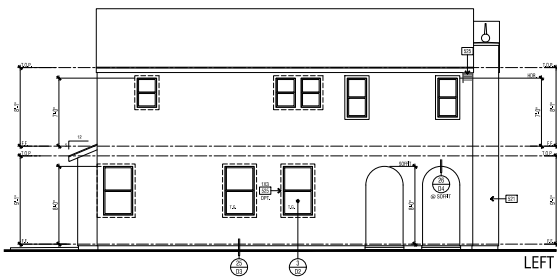
16. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

17. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

18. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

19. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.

20. FOUNDATION AND STRUCTURAL ACCORDING TO MANUFACTURERS' INSTRUCTIONS SHALL BE OBSERVED AND MAINTAINED.



NEW ELEVATIONS - PLAN 1648
CLONS, CALIFORNIA

TRACT NUMBER: 6168/6202
PROJECT TYPE: S.F.D.

WILSON HOMES
FRESNO, CALIFORNIA

REVISIONS		
No.	DATE	DESCRIPTION

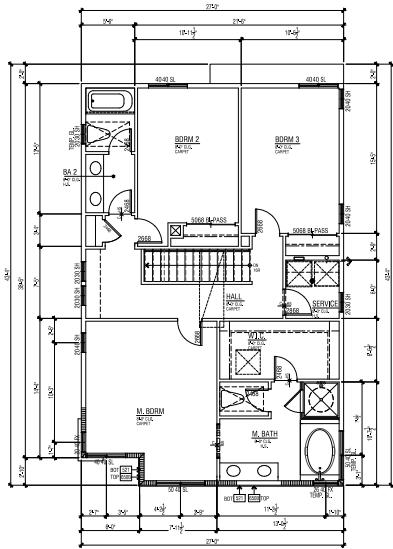
PLAN 1648A
EXTERIOR ELEVATIONS
& ROOF PLAN

PROJECT NUMBER	NO.
DRAWN BY	DATE
CHECKED BY	DATE
DATE OF PLAN SET	DATE
SCALE	SCALE
CAD FILE NAME	CAD FILE NAME

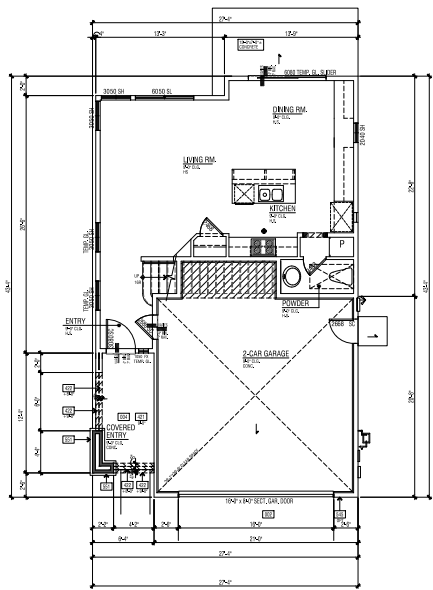
398

DATE	SHEET
06-18-20	A1.4

SCALE: 1/4" = 1'-0"



UPPER FLOOR PLAN



LOWER FLOOR PLAN

FLOOR PLAN KEY NOTES	
NO.	TEXT
001	CONCRETE FLOOR FINISH
002	CONCRETE FLOOR FINISH
003	CONCRETE FLOOR FINISH
004	CONCRETE FLOOR FINISH
005	CONCRETE FLOOR FINISH
006	CONCRETE FLOOR FINISH
007	CONCRETE FLOOR FINISH
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012	CONCRETE FLOOR FINISH
013	CONCRETE FLOOR FINISH
014	CONCRETE FLOOR FINISH
015	CONCRETE FLOOR FINISH
016	CONCRETE FLOOR FINISH
017	CONCRETE FLOOR FINISH
018	CONCRETE FLOOR FINISH
019	CONCRETE FLOOR FINISH
020	CONCRETE FLOOR FINISH

ADDENDA FLOOR PLAN NOTES
 NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASIC FLOOR PLAN.
 NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRAWINGS AND SPECIFIC LOCATIONS.
 REFER TO BASE FLOOR SHEET 01.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

SP#	FLOOR AREA TABLE	PLAN 1648B
LOWER FLOOR	1083 SQ. FT.	
UPPER FLOOR	1083 SQ. FT.	
TOTAL	2166 SQ. FT.	
2-CAR GARAGE	492 SQ. FT.	
COVERED ENTRY/PORCH	74 SQ. FT.	

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"



WILSON HOMES

NEW ELEVATIONS - PLAN 1648
 CLONS, CALIFORNIA

TRACT NUMBER: 6168/6202
 PROJECT TYPE: S.F.D.

WILSON HOMES
 FRESNO, CALIFORNIA

2018077.07 - FIRST BLDG DEPARTMENT SUBMITTAL SET 06-18-2020

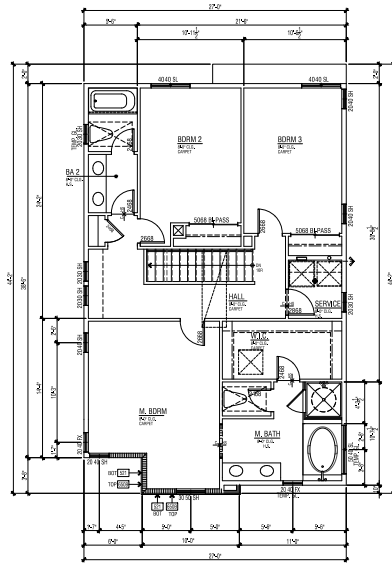
REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 1648B
 ADDENDA PLANS

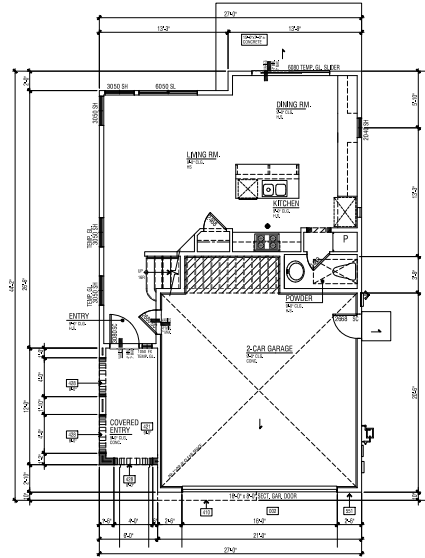
PROJECT NUMBER	00
DRAWN BY	
CHECKED BY	
DATE PLOTTED	
DATE PRINTED	
DATE BY MAIL	

399

DATE	SHEET
06-18-20	A1.5



UPPER FLOOR PLAN



LOWER FLOOR PLAN

FLOOR PLAN KEY NOTES	
NO.	TEXT
01	CONCRETE FLOOR FINISH
02	CONCRETE FLOOR FINISH
03	CONCRETE FLOOR FINISH
04	CONCRETE FLOOR FINISH
05	CONCRETE FLOOR FINISH
06	CONCRETE FLOOR FINISH
07	CONCRETE FLOOR FINISH
08	CONCRETE FLOOR FINISH
09	CONCRETE FLOOR FINISH
10	CONCRETE FLOOR FINISH
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14	CONCRETE FLOOR FINISH
15	CONCRETE FLOOR FINISH
16	CONCRETE FLOOR FINISH
17	CONCRETE FLOOR FINISH
18	CONCRETE FLOOR FINISH
19	CONCRETE FLOOR FINISH
20	CONCRETE FLOOR FINISH

ADDENDA FLOOR PLAN NOTES	
NOTE: DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.	
NOTE: REFER TO GROUND AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DIMENSIONS AND SYMBOLS LOCATIONS.	
REFER TO SHEET 06-18-20-01 FOR ADDITIONAL NOTES AND DIMENSIONS.	

SP#	FLOOR AREA TABLE	PLAN 1648C
LOWER FLOOR	148 SQ. FT.	
UPPER FLOOR	1071 SQ. FT.	
SQAZ GARAGE	496 SQ. FT.	
COVERED ENTRY PORCH	72 SQ. FT.	
TOTAL	1717 SQ. FT.	

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"



WILSON HOMES

NEW ELEVATIONS - PLAN 1648
CLONS, CALIFORNIA

TRACT NUMBER: 6168/6202
PROJECT TYPE: S.F.D.

WILSON HOMES
FRESNO, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION

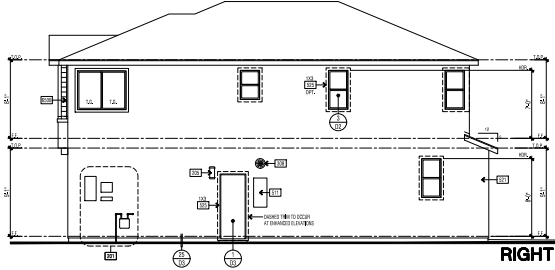
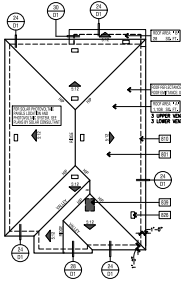
PLAN 1648C
ADDENDA PLANS

PROJECT NUMBER	06-18-20
DRAWN BY	
CHECKED BY	
DATE	06-18-20
SCALE	1/4" = 1'-0"
SHEET NUMBER	401
TOTAL SHEETS	

DATE: 06-18-20 SHEET: A1.7

2018077.07 - FIRST BLDG DEPARTMENT SUBMITTAL SET 06-18-2020

ATTIC VENTILATION CALCULATIONS		PLAN	6'
ROOF ATTIC AREA	A = 1160 sq ft	CALCULATION FACTOR:	1.000
MIN. VENTILATION REQUIRED	TOTAL 526 sq in	TOTAL PROVIDED	594 sq in
MIN. VENTILATION REQUIRED	HIGH 263 sq in	TOTAL HIGH PROVIDED	297 sq in
MIN. VENTILATION REQUIRED	LOW 263 sq in	TOTAL LOW PROVIDED	297 sq in
ROOF VENTILATION AREA	REQ. PER AREA	MIN. PER AREA	
CLEANED VENT. SOLAR FLAT TILE	sq. ft. sq. ft.	sq. in. sq. in.	
1.000	1.000	297	297
MIN. VENTILATION PROVIDED	REQ. PER AREA	MIN. PER AREA	
CLEANED VENT. SOLAR FLAT TILE	sq. ft. sq. ft.	sq. in. sq. in.	
1.000	1.000	297	297
ROOF ATTIC AREA	B = 263 sq ft	CALCULATION FACTOR:	1.7150
MIN. VENTILATION REQUIRED	TOTAL 451 sq in	TOTAL PROVIDED	594 sq in
MIN. VENTILATION REQUIRED	HIGH 228 sq in	TOTAL HIGH PROVIDED	297 sq in
MIN. VENTILATION REQUIRED	LOW 228 sq in	TOTAL LOW PROVIDED	297 sq in
ROOF VENTILATION AREA	REQ. PER AREA	MIN. PER AREA	
CLEANED VENT. SOLAR FLAT TILE	sq. ft. sq. ft.	sq. in. sq. in.	
1.000	1.000	297	297



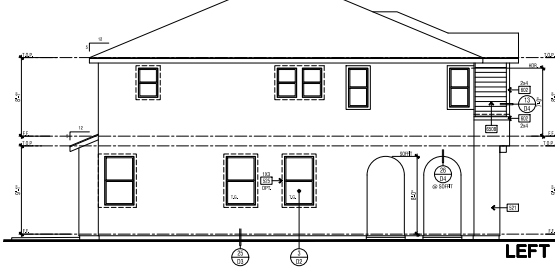
ELEVATION KEY NOTES	
01	INSTALL ROOFING PER PERMITS AND LOCAL CODES.
02	CONCRETE FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.
03	FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.
04	FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.
05	FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.
06	FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.
07	FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.
08	FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.



ROOF PLAN SCALE: 1/8" = 1'-0"

CONCRETE 'FLAT' TILE		2X6	2X6	1'-0"	1'-0"
ROOF PLAN NOTES					
1. SEE GENERAL NOTES FOR ROOF NOTES.					
2. CONCRETE SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.					
3. FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.					
4. CONCRETE SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.					
5. FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.					
6. FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.					
7. FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.					
8. FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.					
9. FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.					
10. FINISH FLOOR SHALL BE FINISHED TO FINISH GRADE PER PERMITS AND LOCAL CODES. PROVIDE FINISH FLOOR.					

ROOF PLAN KEY NOTES	
01	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
02	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
03	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
04	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
05	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
06	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
07	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
08	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.

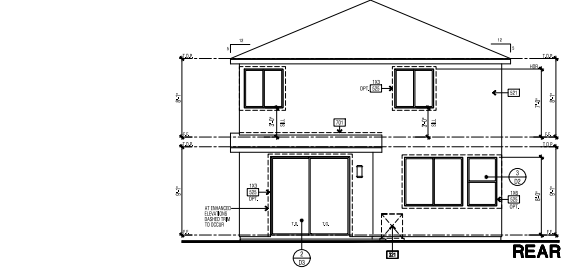


ELEVATION KEY NOTES	
01	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
02	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
03	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
04	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
05	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
06	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
07	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.
08	CONCRETE 'FLAT' TILE PER PERMITS AND LOCAL CODES.

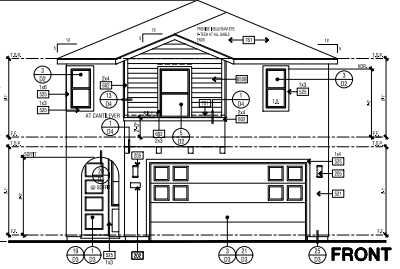
NEW ELEVATIONS - PLAN 1648
CLONS, CALIFORNIA

TRACT NUMBER: 6168/6202
PROJECT TYPE: S.F.D.

WILSON HOMES
FRESNO, CALIFORNIA



REVISIONS		
NO.	DATE	DESCRIPTION



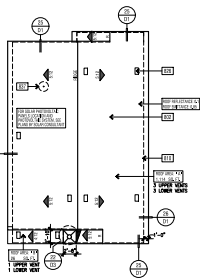
PLAN 1648C
EXTERIOR ELEVATIONS
& ROOF PLAN

402

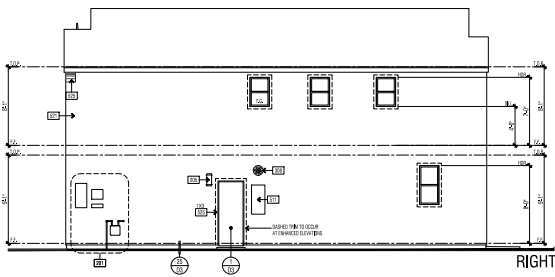
DATE: 06-18-20
SHEET: A1.8

SCALE: 1/4" = 1'-0"

201807.07 - FIRST BLDG DEPARTMENT SUBMITTAL SET 06-18-2020



ATTIC VENTILATION CALCULATIONS		PLAN 7A		
ROOF ATTIC AREA	1,114.00 SQ. FT.	CALCULATION FACTOR:	1,900	
MIN. VENTILATION REQUIRED:	TOTAL 530 SQ. IN.	TOTAL PROVIDED:	548 SQ. IN.	
HIGH	285 SQ. IN.	TOTAL HIGH PROVIDED:	294 SQ. IN.	
LOW	245 SQ. IN.	TOTAL LOW PROVIDED:	254 SQ. IN.	
ROOF VENTILATION METHOD	SIZE	QUANTITY	NET FREE AREA	
CLAYED VENT - CONCRETE-TILE	36"	15	285	
TOTAL PROVIDED:			285	
LOW VENTILATION METHOD	SIZE	PROVIDED AREA	QUANTITY	NET FREE AREA
CLAYED VENT - CONCRETE-TILE	36"	15	15	18
TOTAL PROVIDED:				18
ROOF ATTIC AREA	1,260 SQ. FT.	CALCULATION FACTOR:	1,900	
MIN. VENTILATION REQUIRED:	TOTAL 784 SQ. IN.	TOTAL PROVIDED:	198 SQ. IN.	
HIGH	6 SQ. IN.	TOTAL HIGH PROVIDED:	6 SQ. IN.	
LOW	6 SQ. IN.	TOTAL LOW PROVIDED:	6 SQ. IN.	
ROOF VENTILATION METHOD	SIZE	PROVIDED AREA	QUANTITY	NET FREE AREA
CLAYED VENT - CONCRETE-TILE	36"	15	15	18
TOTAL PROVIDED:				18
LOW VENTILATION METHOD	SIZE	PROVIDED AREA	QUANTITY	NET FREE AREA
CLAYED VENT - CONCRETE-TILE	36"	15	15	18
TOTAL PROVIDED:				18



ELEVATION KEY NOTES	
NO.	NOTE
001	VERIFY THE LOCATION OF ALL WINDOWS
002	VERIFY THE LOCATION OF ALL WINDOWS
003	VERIFY THE LOCATION OF ALL WINDOWS
004	VERIFY THE LOCATION OF ALL WINDOWS
005	VERIFY THE LOCATION OF ALL WINDOWS
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018	VERIFY THE LOCATION OF ALL WINDOWS
019	VERIFY THE LOCATION OF ALL WINDOWS
020	VERIFY THE LOCATION OF ALL WINDOWS



WILSON HOMES

ROOF PLAN

SCALE: 1/8" = 1'-0"

ITEM NO.	DESCRIPTION	UNIT	QUANTITY	REMARKS
1	CONCRETE - S* TILE	SQ. YD.	2X6	NONE
2	ROOF PLAN KEY NOTES			1'-0" TIGHT

ROOF PLAN KEY NOTES

NO.	NOTE
001	VERIFY THE LOCATION OF ALL WINDOWS
002	VERIFY THE LOCATION OF ALL WINDOWS
003	VERIFY THE LOCATION OF ALL WINDOWS
004	VERIFY THE LOCATION OF ALL WINDOWS
005	VERIFY THE LOCATION OF ALL WINDOWS
006	VERIFY THE LOCATION OF ALL WINDOWS
007	VERIFY THE LOCATION OF ALL WINDOWS
008	VERIFY THE LOCATION OF ALL WINDOWS
009	VERIFY THE LOCATION OF ALL WINDOWS
010	VERIFY THE LOCATION OF ALL WINDOWS

ROOF PLAN NOTES

1. SEE GENERAL NOTES FOR ROOF NOTES.

2. DRAIN DIRECTIONS SHALL BE DETERMINED IN ACCORDANCE WITH MINIMUM SLOPES REQUIRED FOR DRAINAGE.

3. VERIFY THE LOCATION OF ALL WINDOWS.

4. PROVIDE A 1/4" SLOPE FROM THE PERIMETER OF THE ROOF TO THE CENTER OF THE ROOF TO THE CENTER OF THE ROOF.

5. PROVIDE A 1/4" SLOPE FROM THE PERIMETER OF THE ROOF TO THE CENTER OF THE ROOF TO THE CENTER OF THE ROOF.

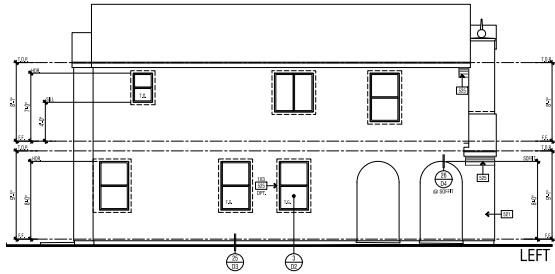
6. PROVIDE A 1/4" SLOPE FROM THE PERIMETER OF THE ROOF TO THE CENTER OF THE ROOF TO THE CENTER OF THE ROOF.

7. PROVIDE A 1/4" SLOPE FROM THE PERIMETER OF THE ROOF TO THE CENTER OF THE ROOF TO THE CENTER OF THE ROOF.

8. PROVIDE A 1/4" SLOPE FROM THE PERIMETER OF THE ROOF TO THE CENTER OF THE ROOF TO THE CENTER OF THE ROOF.

9. PROVIDE A 1/4" SLOPE FROM THE PERIMETER OF THE ROOF TO THE CENTER OF THE ROOF TO THE CENTER OF THE ROOF.

10. PROVIDE A 1/4" SLOPE FROM THE PERIMETER OF THE ROOF TO THE CENTER OF THE ROOF TO THE CENTER OF THE ROOF.



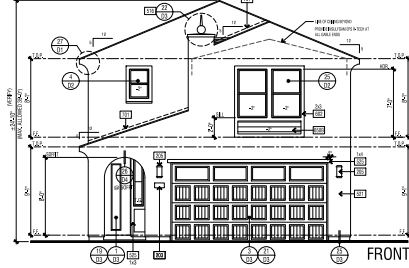
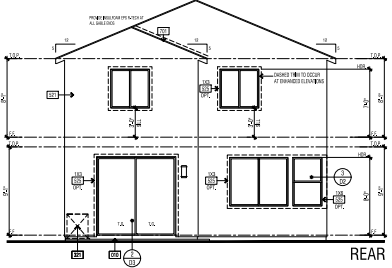
NEW ELEV8IONS - PLAN 1660

CLONIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER: 6768/6202
PROJECT TYPE: S.F.D.

2018077.07 - FIRST BUILDING DEPARTMENT SUBMITTAL SET 06-16-2020



REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 1660A EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT NUMBER	NO.

404

DATE	SHEET
06-18-20	A1.4

SCALE: 1/4" = 1'-0"



NEW ELEVATIONS - PLAN 1660

CLONIS, CALIFORNIA

TRACT NUMBER: 6168/6202
PROJECT TYPE: S.F.D.

WILSON HOMES
FRESNO, CALIFORNIA

NOTE: ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CLONIS, CALIFORNIA. THE BUILDING DEPARTMENT WILL REVIEW AND APPROVE THE DRAWINGS AND PERMITS. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DRAWINGS SHALL BE VALID FOR 180 DAYS FROM THE DATE OF ISSUANCE. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DRAWINGS SHALL BE VALID FOR 180 DAYS FROM THE DATE OF ISSUANCE.

REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 1660B
ADDENDA PLANS

PROJECT NUMBER:	06
DATE:	06-18-20
SHEET:	A1.5

405

FLOOR PLAN KEY NOTES	
NO.	NOTE
001	CONCRETE SLAB ON GRADE
002	CONCRETE FLOOR FINISH
003	CONCRETE FLOOR FINISH
004	CONCRETE FLOOR FINISH
005	CONCRETE FLOOR FINISH
006	CONCRETE FLOOR FINISH
007	CONCRETE FLOOR FINISH
008	CONCRETE FLOOR FINISH
009	CONCRETE FLOOR FINISH
010	CONCRETE FLOOR FINISH
011	CONCRETE FLOOR FINISH
012	CONCRETE FLOOR FINISH
013	CONCRETE FLOOR FINISH
014	CONCRETE FLOOR FINISH
015	CONCRETE FLOOR FINISH
016	CONCRETE FLOOR FINISH
017	CONCRETE FLOOR FINISH
018	CONCRETE FLOOR FINISH
019	CONCRETE FLOOR FINISH
020	CONCRETE FLOOR FINISH
021	CONCRETE FLOOR FINISH
022	CONCRETE FLOOR FINISH
023	CONCRETE FLOOR FINISH
024	CONCRETE FLOOR FINISH
025	CONCRETE FLOOR FINISH
026	CONCRETE FLOOR FINISH
027	CONCRETE FLOOR FINISH
028	CONCRETE FLOOR FINISH
029	CONCRETE FLOOR FINISH
030	CONCRETE FLOOR FINISH
031	CONCRETE FLOOR FINISH
032	CONCRETE FLOOR FINISH
033	CONCRETE FLOOR FINISH
034	CONCRETE FLOOR FINISH
035	CONCRETE FLOOR FINISH
036	CONCRETE FLOOR FINISH
037	CONCRETE FLOOR FINISH
038	CONCRETE FLOOR FINISH
039	CONCRETE FLOOR FINISH
040	CONCRETE FLOOR FINISH

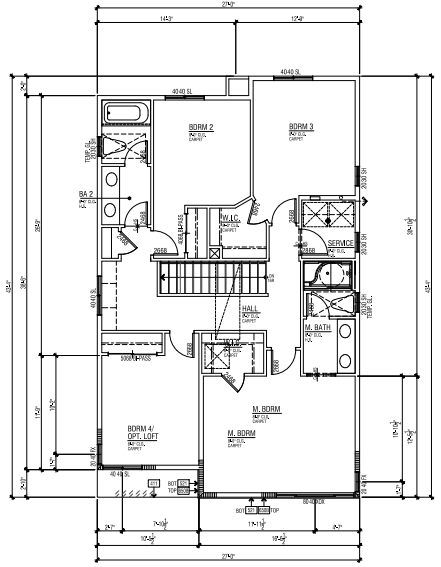
ADDENDA FLOOR PLAN NOTES

NOTE: DIMENSIONS SHALL INDICATE AREAS THAT ARE DIFFERENT THAN THE MAIN FLOOR PLAN.
NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DIMENSIONS AND SERVICE LOCATIONS.
REFER TO BASE PLAN SHEET A1.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

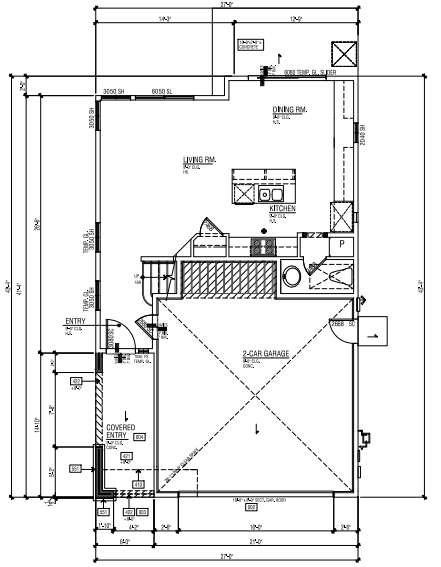
SPIN #	FLOOR AREA TABLE	PLAN 1660B
	LOWER FLOOR	965 SQ. FT.
	UPPER FLOOR	1075 SQ. FT.
	TOTAL	1940 SQ. FT.
	GARAGE	490 SQ. FT.
	COVERED ENTRY/PORCH	88 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

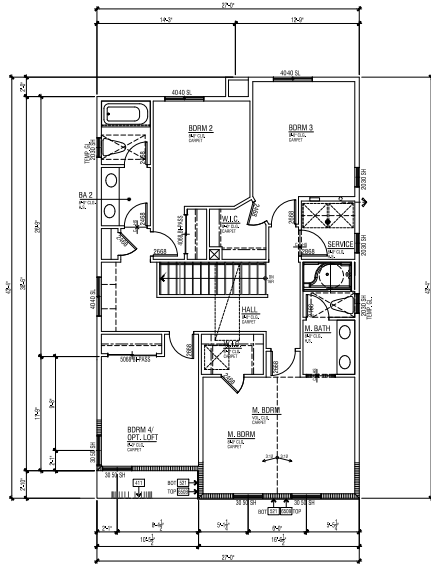
SCALE: 1/4" = 1'-0"



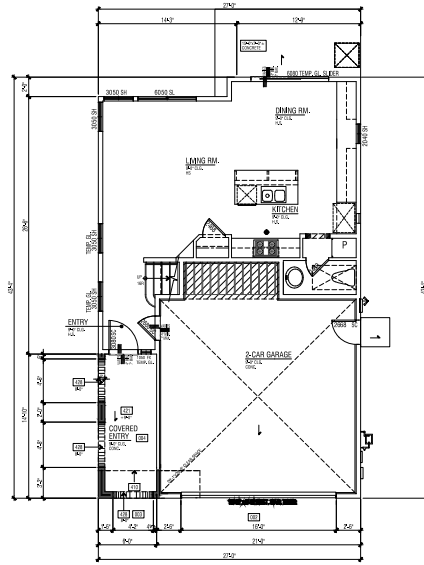
UPPER FLOOR PLAN



LOWER FLOOR PLAN



UPPER FLOOR PLAN



LOWER FLOOR PLAN

FLOOR PLAN KEY NOTES	
NO.	TEXT
001	CONCRETE FLOOR FINISH
002	CONCRETE FLOOR FINISH
003	CONCRETE FLOOR FINISH
004	CONCRETE FLOOR FINISH
005	CONCRETE FLOOR FINISH
006	CONCRETE FLOOR FINISH
007	CONCRETE FLOOR FINISH
008	CONCRETE FLOOR FINISH
009	CONCRETE FLOOR FINISH
010	CONCRETE FLOOR FINISH

ADDENDA FLOOR PLAN NOTES	
NOTE: SHARDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.	
NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DIMENSIONS AND SCENERY LOCATIONS.	
REFER TO BASE PLAN SHEET A1.1 FOR ADDITIONAL NOTES AND DIMENSIONS.	

SPN #	PLAN 1660C
FLOOR AREA TABLE	PLAN 1660C
LOWER FLOOR	585 SQ. FT.
UPPER FLOOR	1073 SQ. FT.
TOTAL	1658 SQ. FT.
GARAGE	498 SQ. FT.
COVERED ENTRY/PORCH	88 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'- 0"



WILSON HOMES

NEW ELEVATIONS - PLAN 1660

CLONS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER: 6168/6202
PROJECT TYPE: S.F.D.

REVISIONS		
NO.	DATE	DESCRIPTION

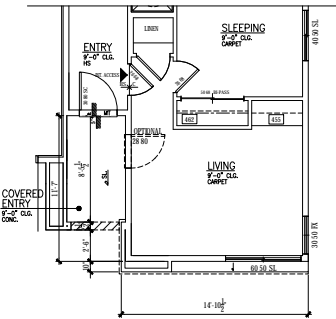
PLAN 1660C
ADDENDA PLANS

PROJECT NUMBER	6168
DRAWN BY	
CHECKED BY	
DATE	
PROJECT NUMBER	
DATE	
PROJECT NUMBER	
DATE	

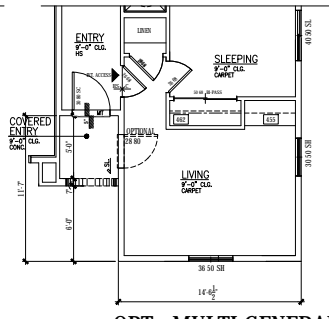
407

DATE: 06-18-20
SHEET: A1.7

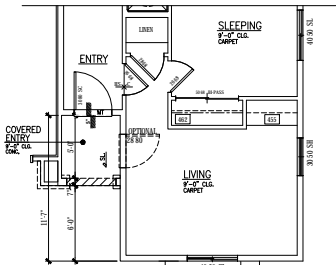
2018077.07 - FIRST BUILDING DEPARTMENT SUBMITTAL SET 06-18-2020



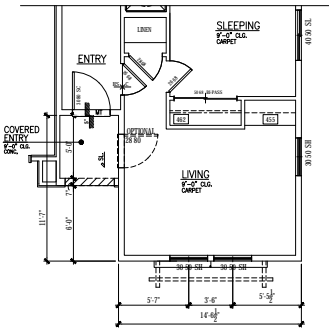
OPT. MULTI-GENERAL SUITE ILO BDRMS 2 & 3 AT PLAN 'B'



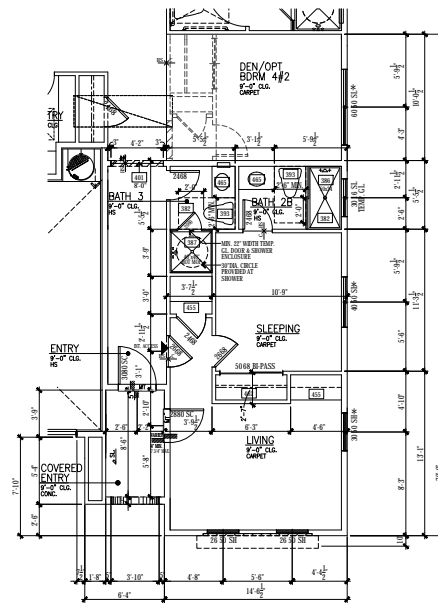
OPT. MULTI-GENERAL SUITE ILO BDRMS 2 & 3 AT PLAN 'C'



OPT. MULTI-GENERAL SUITE ILO BDRMS 2 & 3 AT PLAN 'D'



OPT. MULTI-GENERAL SUITE ILO BDRMS 2 & 3 AT PLAN 'E'



OPT. MULTI-GENERAL SUITE ILO BDRMS 2 & 3 AT PLAN 'A'

NO.	NOTE
001	CONCRETE DRIVE (BY OTHERS)
002	CONCRETE WALK BY OTHERS
003	CONCRETE PATIO (SLAB BY OTHERS), SLOPE 1/4" PER FOOT MINIMUM AWAY FROM FOUNDATION
004	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM AWAY FROM FOUNDATION
005	FLOOR FINISHES AND FINISHES TO BE USED - VERIFY LOCATIONS
006	SHOULDER - SEE FPD PLAN
007	SHOWER PROOF SHOWER DOOR ENCLOSURE
008	SHOWER - PRE-FABRICATED STEEL - 48"X60" OVER, 1.8X5.5 FLOOR AREA
009	SHOWER - NOT SHIP - SEE FPD PLAN - SEE 1.8X5.5 FLOOR AREA
010	STAIR - FINISHES MINIMUM 1/4" SLOPE CLEAR FLOOR AREA IN FRONT OF THRESHOLD
011	INTERIOR SURFACES (DROPPED CEILING), HEIGHT PER PLAN
012	STRUCTURE CEILING, HEIGHT PER PLAN
013	STRUCTURE SHIRT, HEIGHT PER PLAN
014	STRUCTURE SHIRT OVER WATERPROOFED STRUCTURE SHELF - SLOPE FRAMING FOR DRAINAGE TO PER FOOT MINIMUM
015	FINISHES OVER SHIRT, HEIGHT PER PLAN
016	LEAKS
017	WIRE SHELF AND POLE - LOCATE POLE AT 4" F.T. PROVIDE FOR BLOCKING WITH STEEL BOLT AT EACH END AT CENTER OF POLE FOR BALANCE. VERIFY SHELF BRACKET LOCATIONS & PROVIDE CORRELATE A BLOCKING ACCORDINGLY
018	WATER

- FLOOR PLAN NOTES**
- REFER TO ARCHITECTURAL SYMBOL LEGEND ON SHEET C1 FOR ADDITIONAL INFORMATION AND CLEARANCES.
 - ATRICS - ACCESS PER CMC 8007, DRAFTSTOPS PER CMC 8302.12 AND VENTILATION PER 8008.
 - CRACK SPACES - ACCESS PER CMC 8008 & VENTILATION PER 8008.1.
 - EMERGENCY ESCAPE AND RESCUE OPENINGS PER CMC 8303 & 8310. MEANS OF EGRESS PER CMC 711.
 - GLAZING PER CMC 8303.1, 8303.2.1.2 & 8308.
 - CONSTRUCTION AIR TO FORCE-DRY UNIT PER CMC CHAPTER 7.
 - CONSTRUCTION AIR TO WATER HEATER PER CMC SECTION 506.0.
 - ENVIRONMENTAL AIR DUCTS PER CMC SECTION 506.4.
 - Mechanical equipment location and protection against damage per CMC 503.
 - MANDATORY REQUIREMENTS FOR APPLIANCES PER CMC SECTION 110.1.
 - THE SILL HEIGHT IS NOT TO EXCEED 4" FROM THE BOTTOM OF THE CLEAR OPENING IN SLIDING DOORS, CMC 8310.1.3.
 - IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GLAZED OR RAYED FRIG GLASS. THE GLAZE MAY NOT HAVE OPENINGS THAT A SPHERE 6" IN DIAMETER CAN PASS THROUGH. CMC 8312.2.
 - A SHERROCK GLAZING PROTECTION IS REQUIRED. CMC 8310.1.4.2
 - GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. CMC 8308.
 - VERTICAL CLEARANCE ABOVE THE CORNER TO CORNERS SHALL BE 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. CMC 816.4 & 816.2.
 - THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. NOTE THE USE OF FINISH CHESTNUT. FINISH MAY BE REQUIRED TO BE SET ON GLASS MAY CEILING BACKERS ON THE FLOOR PLAN. NOTE THAT WATER NECESSARY CEILING BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. CMC 8302.4.2
 - NOTE THAT ALL ATIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. CMC 8303.0A
 - A MINIMUM 30" DIA. CIRCLIS IS PROVIDED AT THE SHOWER FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 104 SQUARE INCHES. CFC 606.6

ADDENDA FLOOR PLAN NOTES

NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT FROM THE BASE FLOOR PLAN.

NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.

REFER TO BASE PLAN SHEET A1.1.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

SCALE: 1/4" = 1'-0"

AGENDA ITEM NO. 13.

ARCHITECTS, PLANNERS, DESIGNERS
ORANGE COUNTY · LOS ANGELES · BAY AREA · SACRAMENTO

A CONTEMPORARY SPANISH - B MODERN - C PROGRESSIVE NAPA - D COTTAGE - E PROGRESSIVE FARMHOUSE

PLAN 1887

REGENT PARK at Clovis

CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D. (XX'XX' Lots)

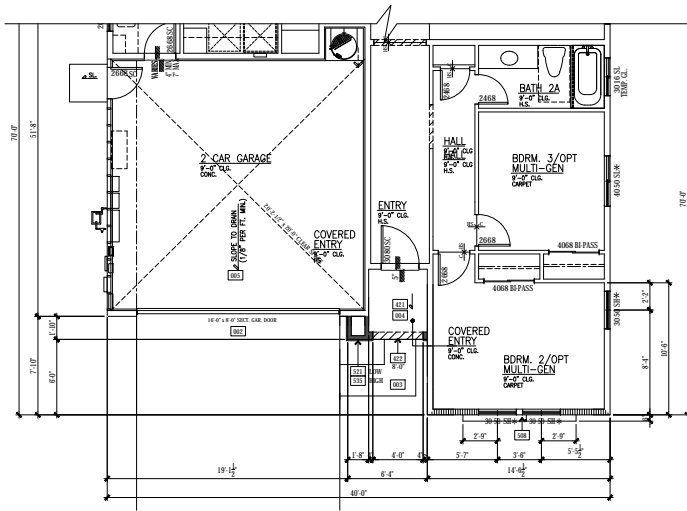
REVISIONS

NO.	DATE	DESCRIPTION

PLAN 1887A, B, C, D & E FLOOR PLAN OPTIONS

PROJECT MANAGER:	CC
DESIGNER:	MO
INTERIOR BY:	MBL/CJ
1ST REV. DATE:	06-19-09
USED FOR CONSTRUCTION:	02/23/10
JOB NUMBER:	022300
CAD FILE NAME:	A1.1.2
DATE:	02-23-23
SHEET:	A1.1.2

20230111 - PROGRESS SET 02-23-2023



PARTIAL FLOOR PLAN 1870E - PROGRESSIVE FARMHOUSE

FLOOR AREA TABLE	PLAN 1887E
LOWER FLOOR PLAN	1887 SQ. FT.
TOTAL	1887 SQ. FT.
GARAGE	429 SQ. FT.
COVERED ENTRY	27 SQ. FT.
REAR PATIO	102 SQ. FT.

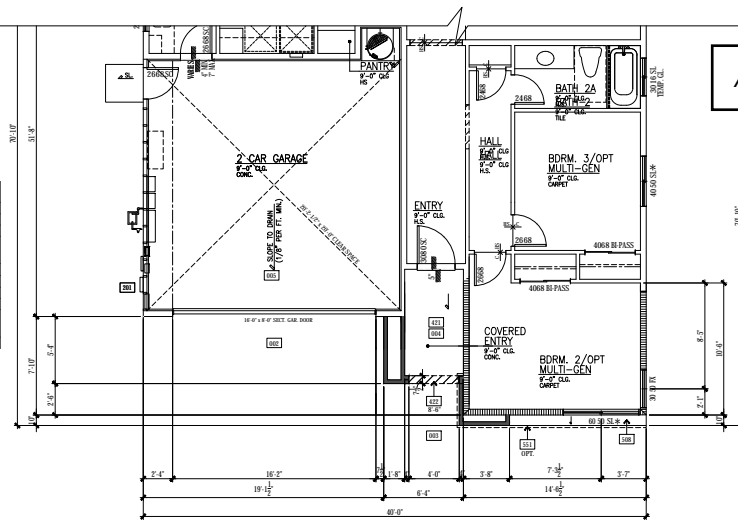
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

FLOOR PLAN KEY NOTES	NOTE
001	CONCRETE DRIVE BY OTHERS
002	CONCRETE WALK BY OTHERS
004	CONCRETE PORCE SLAB BY OTHERS - SLOPE 1/4" PER FOOT MINIMUM 2% SLOPED TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
006	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION.
011	STEICO CHEMIG HEIGHT PER PLAN
012	STEICO FORM HEIGHT PER PLAN
013	MANUFACTURED ADHESIVE STEICO STONE VENER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. BY THE OSBAGO STORE EC-ES OR ESR 1248. ADHESIVE MASONRY VENER. REQUIREMENTS PER THE SECTION 910.11.
014	WATERPROOFED STEICO SHEET - SLOPE 1/4" PER FOOT.

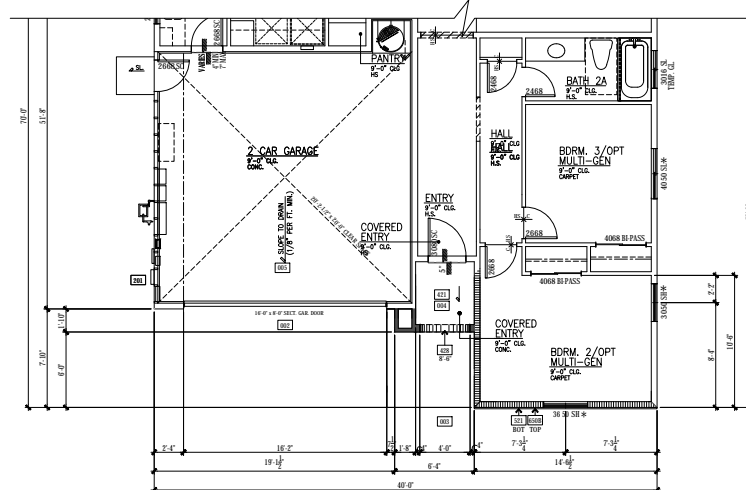
FLOOR AREA TABLE	PLAN 1887B
LOWER FLOOR PLAN	1887 SQ. FT.
TOTAL	1887 SQ. FT.
GARAGE	429 SQ. FT.
COVERED ENTRY	44 SQ. FT.
REAR PATIO	102 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

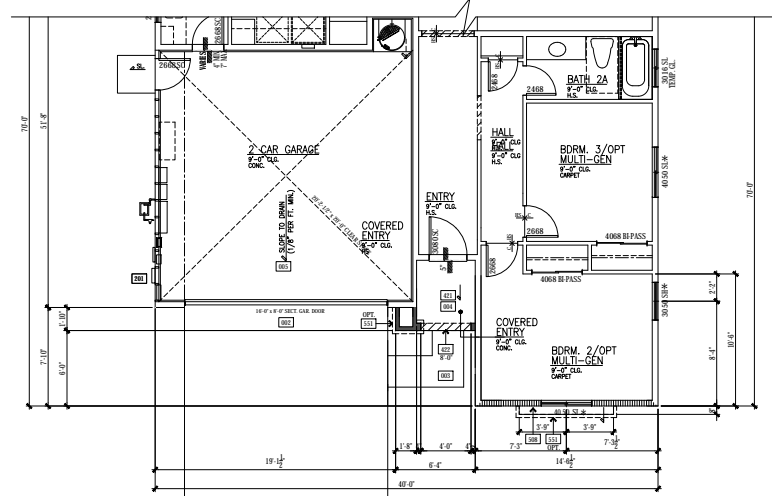
FLOOR PLAN KEY NOTES	NOTE
001	CONCRETE DRIVE BY OTHERS
002	CONCRETE WALK BY OTHERS
004	CONCRETE PORCE SLAB BY OTHERS - SLOPE 1/4" PER FOOT MINIMUM 2% SLOPED TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
006	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION.
011	STEICO CHEMIG HEIGHT PER PLAN
012	STEICO FORM HEIGHT PER PLAN
013	MANUFACTURED ADHESIVE STEICO STONE VENER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. BY THE OSBAGO STORE EC-ES OR ESR 1248. ADHESIVE MASONRY VENER. REQUIREMENTS PER THE SECTION 910.11.
014	WATERPROOFED STEICO SHEET - SLOPE 1/4" PER FOOT.



PARTIAL FLOOR PLAN 1870B - MODERN



PARTIAL FLOOR PLAN 1870C - PROGRESSIVE NAPA



PARTIAL FLOOR PLAN 1870D - COTTAGE

FLOOR AREA TABLE	PLAN 1887D
LOWER FLOOR PLAN	1887 SQ. FT.
TOTAL	1887 SQ. FT.
GARAGE	429 SQ. FT.
COVERED ENTRY	27 SQ. FT.
REAR PATIO	102 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

FLOOR PLAN KEY NOTES	NOTE
001	CONCRETE DRIVE BY OTHERS
002	CONCRETE WALK BY OTHERS
004	CONCRETE PORCE SLAB BY OTHERS - SLOPE 1/4" PER FOOT MINIMUM 2% SLOPED TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
006	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION.
011	STEICO CHEMIG HEIGHT PER PLAN
012	STEICO FORM HEIGHT PER PLAN
013	MANUFACTURED ADHESIVE STEICO STONE VENER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. BY THE OSBAGO STORE EC-ES OR ESR 1248. ADHESIVE MASONRY VENER. REQUIREMENTS PER THE SECTION 910.11.
014	WATERPROOFED STEICO SHEET - SLOPE 1/4" PER FOOT.

ADDENDA FLOOR PLAN NOTES

NOTE: SHADOWED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.
NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.
REFER TO BASE PLAN SHEET A1-1.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

FLOOR AREA TABLE	PLAN 1887C
LOWER FLOOR PLAN	1887 SQ. FT.
TOTAL	1887 SQ. FT.
GARAGE	429 SQ. FT.
COVERED ENTRY	27 SQ. FT.
REAR PATIO	102 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

FLOOR PLAN KEY NOTES	NOTE
001	CONCRETE DRIVE BY OTHERS
002	CONCRETE WALK BY OTHERS
004	CONCRETE PORCE SLAB BY OTHERS - SLOPE 1/4" PER FOOT MINIMUM 2% SLOPED TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
006	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION.
011	STEICO CHEMIG HEIGHT PER PLAN
012	STEICO FORM HEIGHT PER PLAN
013	MANUFACTURED ADHESIVE STEICO STONE VENER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. BY THE OSBAGO STORE EC-ES OR ESR 1248. ADHESIVE MASONRY VENER. REQUIREMENTS PER THE SECTION 910.11.
014	WATERPROOFED STEICO SHEET - SLOPE 1/4" PER FOOT.

SCALE: 1/4" = 1'-0"

AGENDA ITEM NO. 13.

WILSON HOMES

'B' MODERN, 'C' PROGRESSIVE NAPA, 'D' COTTAGE, 'E' PROGRESSIVE FARMHOUSE

PLAN 1887
REGENT PARK at Clovis
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER: 8205
PROJECT TYPE: S.F.D. (XX'XX' Lots)

WILSON HOMES ARCHITECTURE, INC. AND WILSON HOMES ARCHITECTURE, INC. AND WILSON HOMES ARCHITECTURE, INC. ARCHITECTS, PLANNERS, DESIGNERS. 1887 REGENT PARK AT CLOVIS, CALIFORNIA. CIVIL AND LANDSCAPE DRAWINGS BY OTHERS. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION. FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS, REFER TO THE CIVIL AND LANDSCAPE DRAWINGS BY OTHERS. REFER TO THE SECTION 910.11 FOR THE 3/4" DRAWING SCALE. SEE WILSON HOMES ARCHITECTURE, INC. PROJECT SHEET A1-1.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 1887B, C, D & E
ADDENDA FLOOR PLANS

PROJECT MANAGER:	CC
DRAWN BY:	MCE
INTERVIEW BY:	RBA/CC
1ST BLOC. SEPT. SUBMITAL:	30-05-20
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	202300
CAD FILE NAME:	A1.1.3

DATE: 02-23-23
A1.1.3

AGENDA ITEM NO. 13.

ARCHITECTS, PLANNERS, DESIGNERS
ORANGE COUNTY - LOS ANGELES - BAY AREA - SACRAMENTO

ITEM	NOTE
006	CONCRETE STAIR - 3" DEEP AND 7" WIDER THAN THE ROOM OR ROOMS IT SERVES TO BE BUILT TO MEET IN SECTION (SEE DETAIL)
201	FINISH: EXTERIOR WALL - SEE DETAIL 1/10
202	FINISH: EXTERIOR WALL - SEE DETAIL 1/11
203	ADDRESS PANEL - # 100, WHEN INCLUDING ADDRESS CHARACTERISTICS TO BE PLACED 70" FROM THE STREET
205	ACCENT EXTERIOR WALL - SEE DETAIL 1/12
207	AC COMPRESSING CONDENSER LOCATION
208	WATERPROOFED STYCCO SHEET - SLOPE 1/4" PER FOOT
209	STYCCO CONDENSER BARRIER - SEE DETAIL 1/10
110	DISCRETE FLOOR ACCESS - SEE DETAIL 1/14
211	EMERALD FINISH TILE (SEE CONTRACT) OR 6" x 6" x 1/2" STYCCO TILE FOR 11 PORTLAND CEMENT MORTAR PER MANUFACTURER'S INSTRUCTIONS
215	STYCCO OVER READ FRAMING - FLASH SHAPE PER DETAIL
216	STYCCO OVER READ FRAMING COURSE - FLASH SHAPE PER DETAIL
218	BRICK WORK WITH THROUGH BRICKS - CLASS 1 STEEL
402	BRICK TREATMENT - SEE PER ELEVATION
404	DOOR (CONCRETE) OR FRAME (5" X 7" MIN. EXPOSED) - FINISH: CONTRACT, TYPICAL EXPOSURE 1" FINISH: CONTRACT, TYPICAL EXPOSURE 2"
408	BRICK TO WALL C.I. FINISHING
701	C.I. FINISHING
702	CLASS 1 BRICKING - CONCRETE - 5" TILE - BY BRICK BRIDGING E.C.C. PER 1900

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 34" ABOVE FINISHED FLOOR AND MORE THAN 77" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A CURB OR HAVE A RADIUS CORNER. THE CURB MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. (REF. CBC 18A5.1.2)

NOTE: WATER RESISTIVE BARRIER APPLIED OVER WOOD BASE SHEATHING SHALL HAVE A LAYER OF CEMENT BINDER APPLIED OVER THE BARRIER. (REF. CBC 18A5.1.3)

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

WILSON HOMES

TRACT NUMBER: 0205
PROJECT TYPE: S.F.D. (XX-XXX LOTS)

PLAN 1887 REGENT PARK at Clovis CLOVIS, CALIFORNIA WILSON HOMES FRESNO, CALIFORNIA

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REVISIONS

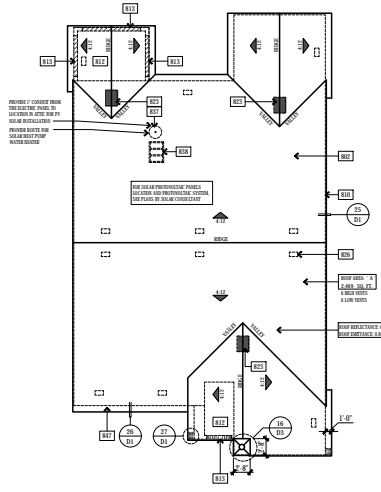
NO.	DATE	DESCRIPTION

PLAN 1887A EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	MR
DRAWN BY:	MR
INTERIOR BY:	MR
EXT. DESIGNER:	MR
USED FOR CONSTRUCTION:	MR
JOB NUMBER:	202300
CAD FILE NAME:	A1.4
DATE:	02-23-23
SHEET:	A1.4

SCALE: 1/4" = 1'-0"

20230111 - PROGRESS SET 02-23-2023



ROOF PLAN SCALE: 1/8" = 1'-0"

REVISIONS: A CONTEMPORARY SPANISH

NO.	DESCRIPTION	DATE
1	SEE GENERAL NOTES FOR ROOF NOTES.	
2	SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.	
3	ATTIC ACCESS FOR CRC SECTION 8006. PROVIDE ATTY & CORRE VENTILATOR PER CRC SECTION 8006.2. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1:50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1:20 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET: • IN CLIMATE ZONES 3, 4 AND 5, A CLASS 100 BRICK RETARDER IS INSTALLED ON THE WARM & WETTER SIDE OF THE CHIMNEY. • NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HEIGHTY POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATING PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE THIRD OF THE ATTIC SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONSULTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION OF MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HEIGHTY POINT OF THE SPACE SHALL BE PERMITTED.	
4	CLAY AND/OR CONCRETE TILE SHALL BE PERMITTED ONCE TILE SLOPE IS AT LEAST 1/4" PER INCH (20.3 MM) PER R.O.P. SLOPES PER ARE 1/4" TO 2 1/4" IN 12 OBLIQUE/INCLINATION APPLICATIONS ARE REQUIRED IN ACCORDANCE WITH ARE 1.1, ARE 3.1, AND 3.2. CROD WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 1/2" PER THE ROOFING INSTITUTE INSTALLATION MANUAL.	
5	WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A BIRD TO THE SHEEPER PITCH TO ALLOW THE LANE OF THE LOWER PITCH ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE INDEX (SRI) MIN. THERMAL EMITTANCE OF 0.75 OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 14 FOR STEEPED-SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE INDEX (SRI) OF 0.75 OR MORE PER ARE 10.200.10.1	
7	PHOTOVOLTAIC SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CRC SECTION 10.10.1. INSTALLATION FOR CRC SECTION 11 THROUGH REAR 8 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.	

ROOF PLAN NOTES

1. SEE GENERAL NOTES FOR ROOF NOTES.

2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

3. ATTIC ACCESS FOR CRC SECTION 8006. PROVIDE ATTY & CORRE VENTILATOR PER CRC SECTION 8006.2. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1:50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1:20 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
• IN CLIMATE ZONES 3, 4 AND 5, A CLASS 100 BRICK RETARDER IS INSTALLED ON THE WARM & WETTER SIDE OF THE CHIMNEY.
• NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HEIGHTY POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATING PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE THIRD OF THE ATTIC SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONSULTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION OF MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HEIGHTY POINT OF THE SPACE SHALL BE PERMITTED.

4. CLAY AND/OR CONCRETE TILE SHALL BE PERMITTED ONCE TILE SLOPE IS AT LEAST 1/4" PER INCH (20.3 MM) PER R.O.P. SLOPES PER ARE 1/4" TO 2 1/4" IN 12 OBLIQUE/INCLINATION APPLICATIONS ARE REQUIRED IN ACCORDANCE WITH ARE 1.1, ARE 3.1, AND 3.2. CROD WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 1/2" PER THE ROOFING INSTITUTE INSTALLATION MANUAL.

5. WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A BIRD TO THE SHEEPER PITCH TO ALLOW THE LANE OF THE LOWER PITCH ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE INDEX (SRI) MIN. THERMAL EMITTANCE OF 0.75 OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 14 FOR STEEPED-SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE INDEX (SRI) OF 0.75 OR MORE PER ARE 10.200.10.1

SOLAR PHOTOVOLTAIC SYSTEMS

1. SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CRC SECTION 10.10.1. INSTALLATION FOR CRC SECTION 11 THROUGH REAR 8 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

2. REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.

NOTE THAT NO MECHANICAL PLUMBING EXHAUST VENTS, ROOF ATTIC VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA, WHERE APPLICABLE. COORDINATION AND COORDINATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE UPPER VENT TERMINATION. REF. CA ENERGY CODE SECTION 10.10 AND CRC SECTION 11.1.1.1.

ROOF ATTIC AREA	A	2469	SQ. FT.	CALCULATION FACTOR:	1/300
MIN. VENTILATION REQUIRED:	TOTAL	1184	SQ. IN.	TOTAL PROVIDED:	1176
MIN. VENTILATION REQUIRED:	HIGH	592	SQ. IN.	TOTAL HIGH PROVIDED:	588
MIN. VENTILATION REQUIRED:	LOW	592	SQ. IN.	TOTAL LOW PROVIDED:	588

TYPE	SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLAY AND CONCRETE TILE	12 x 12	86.4	14	1184
TOTAL PROVIDED:		86.4	14	1184

TYPE	SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLAY AND CONCRETE TILE	12 x 12	86.4	14	86.4
TOTAL PROVIDED:		86.4	14	86.4

ROOF PLAN KEY NOTES

002 CLASS 1 BRICKING - LOW PROFILE CONCRETE - 5" TILE - BY BRICK BRIDGING E.C.C. PER 1900

003 LINE OF WALL BELOW

012 STYCCO CEILING

013 STYCCO SKIRT

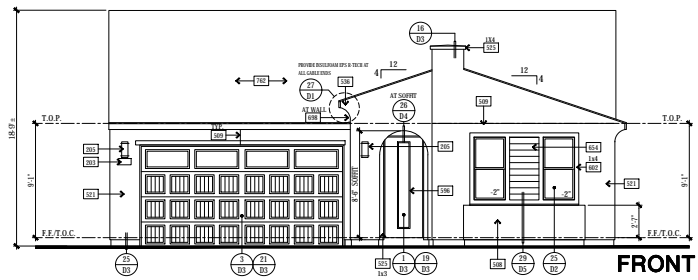
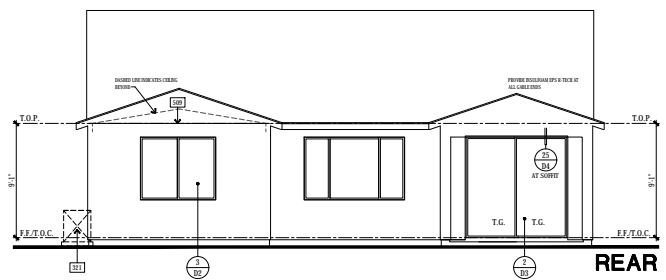
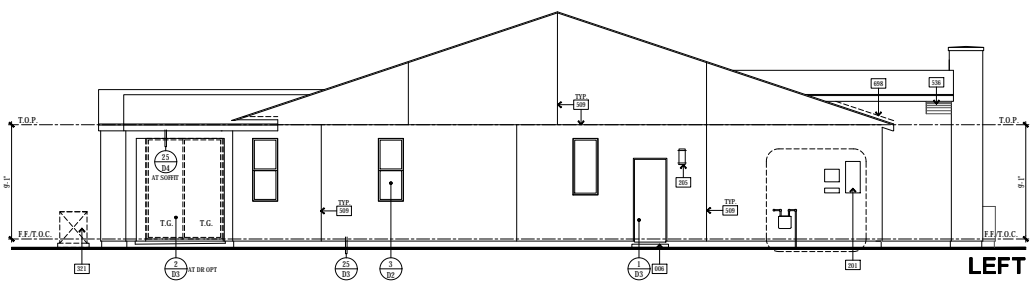
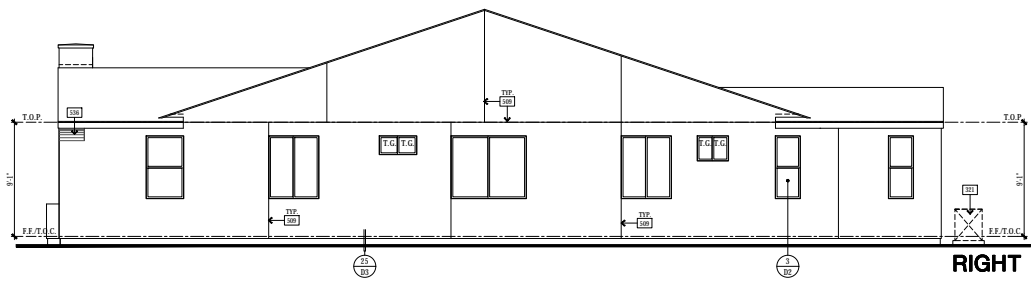
017 MIN. 2" O.P. OPENING IN CALIFORNIA ROOF FRAMING CONDENSERS FOR ATTY. ACCESS AND CROSS VENTILATION. CONTROLLER TO VERIFY ABOVE TO ALL ATTY. ACCESS

025 ROOF TEST - CRACK, PL. VENT. - CONCORD VENT. E.C. 3" SIZE (M806)

037 PARALLEL CORRECT FROM THE SELECTE PANEL TO LOCATED IN ATTY FOR PV SOLAR INSTALLATION. PROVIDE BUILT UP SOLAR BELT WITH WATER RESIST

038 PHOTOVOLTAIC SOLAR ARRAY

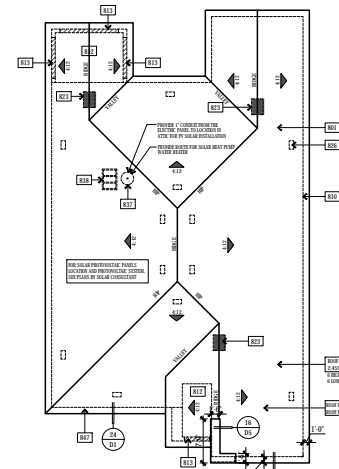
047 PROVIDE NON-COMBUSTIBLE BRICKWORK (6" FEET OR GREATER) AT CORNERED SPACES AT EAVES



REAR

FRONT

CONTEMPORARY SPANISH



ROOF PLAN

SCALE: 1/8" = 1'-0"

REVISION REFERENCE	DATE	DESCRIPTION
B	02/23/23	MODERN

ROOF MATERIAL	STANDARD ROOF	ALTERNATE ROOF	OVERLAP	MIN. SLOPE
CONCRETE FLAT TILE	2x8	2x8	1'-0"	1'-0"

ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATTIC ACCESS PER CRC SECTION 307.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION 308. PER CRC SECTION 308.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 THE AREA OF THE VENTED SPACE. EXCEPT FOR FREE VENTILATING AREAS SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 4, 7 AND 8, A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE INSIDE IN WINTER SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATING PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS COINCIDE WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION OF MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OF HIGHEST POINT OF THE SPACE SHALL BE FORBIDDEN.
- CLAY AND CLAY-BRICK ROOF TILE SHALL BE INSTALLED ON TOP OF 2" (51 MM) 1/2" (12.7 MM) GRADUATED FIBER OPTIC SLOPED INSULATION (F.O.S.I.) 12 TO 14. 2" (51 MM) 1/2" (12.7 MM) OVERLAYMENT APPLICATION AS REQUIRED IN ACCORDANCE WITH BOLA 3.1 (BOLA 3.1.1). WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- WHERE ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMES OR TRUSS MEMBERS CANNOT MEET AND ARE TO BE STEPPED UP TO ALIGN WITH THE SLOPE OF THE LOWER PITCH. ROOF SHALL HAVE MIN. ACED SOLAR REFLECTANCE OF 0.35. MIN. THERMAL EMITTANCE OF 0.75. OR ACED SOLAR REFLECTANCE INDEX 50B OR 14 FOR STEEP SLOPED ROOFS. FOR LOW SLOPED ROOFS, ROOF SHALL HAVE A MIN. ACED SOLAR REFLECTANCE OF 0.63 THERMAL EMITTANCE OF 0.75, OR ACED SOLAR REFLECTANCE INDEX 54B OR 75 OR MORE PER CRC 306.23(1).

SOLAR PHOTOVOLTAIC SYSTEMS

- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CRC SECTION 304.1(1). INSTALLATION PER CRC SECTION 304.1 THROUGH 304.4 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - REFER TO CLEAR CONSISTENT PLANS WHERE SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.
- NOTE THAT NO MECHANICAL PIPING, EXHAUST VENTS, ROOF ATTIC VENTS SHALL BE PERMITTED WITHIN THE SOLAR PANEL AREA. WHERE APPLICABLE, COORDINATION AND COOPERATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE OVERY VENT TERMINATION. REF. CA ENERGY CODE SECTION 146.09 AND CRC SECTION 311.2.1.

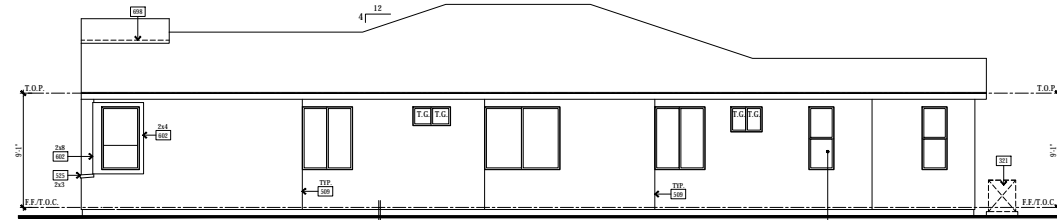
ROOF PLAN KEY NOTES

Name	NOTE
R01	CLASS 1 BOORING - CONCRETE - FLAT TILE - BY ANGLE BOORING E.C.'S FOR 1500
R02	EDGE OF WALL BELOW
R03	STYCOX CEILING
R04	MIN. 2" (51 MM) CLEAR OPENING FOR ACCESS AND LABOUR CONTRACTOR TO VERIFY AROUND TO ALL ATTIC AREAS
R05	ROOF VENT - SQUARE TILE SHOWN CLEARLY VENT BY E.C. FOR 1500
R07	PROVIDE 1" CONCRETE RING TO PROTECT PANELS FROM DAMAGE TO STRUCTURE. PROVIDE BUSHES FOR HOSE HOLE PUMP WATER RETURN
R08	PHOTOVOLTAIC SOLAR AREA
R09	PROVIDE 60% COMBUSTIBLE BRICKWORKING 10 FEET ON CENTER AT CORNERED SPACE AT EAVES

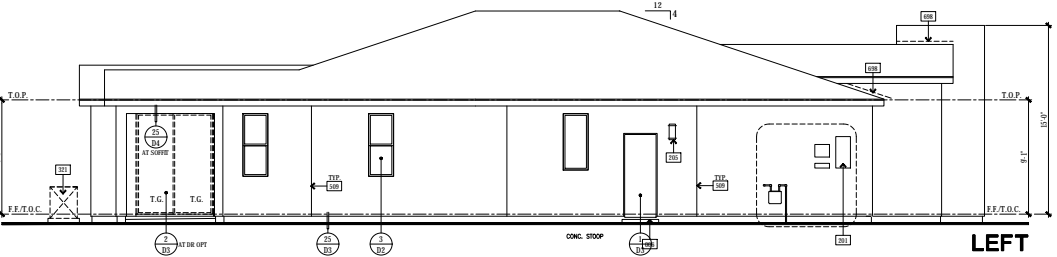
ATTIC VENTILATION CALCULATIONS				PLAN 1887B
ROOF ATTIC AREA	2459	sq. ft.	CALCULATION FACTOR:	1/300
MIN. VENTILATION REQUIRED:	TOTAL 1178	sq. in.	TOTAL PROVIDED:	1188
MIN. VENTILATION REQUIRED:	HIGH 599	sq. in.	TOTAL PROVIDED:	594
MIN. VENTILATION REQUIRED:	LOW 589	sq. in.	TOTAL PROVIDED:	594

HIGH VENTILATION METHOD				PLAN 1887B
SIZE	FREE AREA	QUANTITY	FREE VENT AREA	
CELOMATED VENT - CONG. FLAT TILE -	50	sq. in.	594	sq. in.
	TOTAL PROVIDED:	594	594	sq. in.

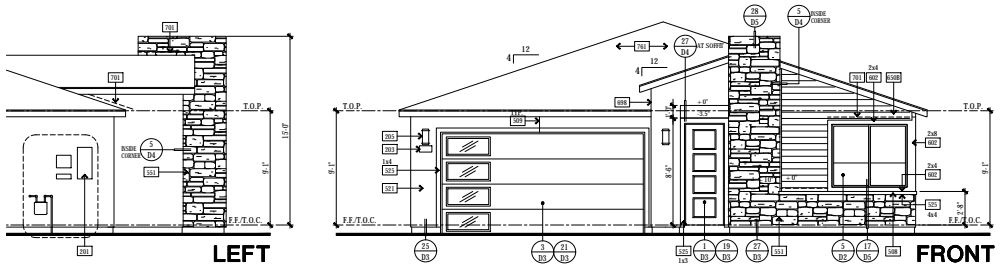
LOW VENTILATION METHOD				PLAN 1887B
SIZE	FREE AREA	QUANTITY	FREE VENT AREA	
CELOMATED VENT - CONG. FLAT TILE -	50	sq. in.	594	sq. in.
	TOTAL PROVIDED:	594	594	sq. in.



RIGHT

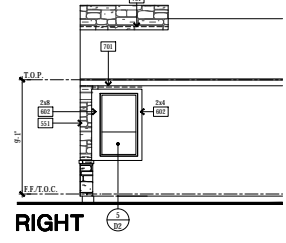


LEFT



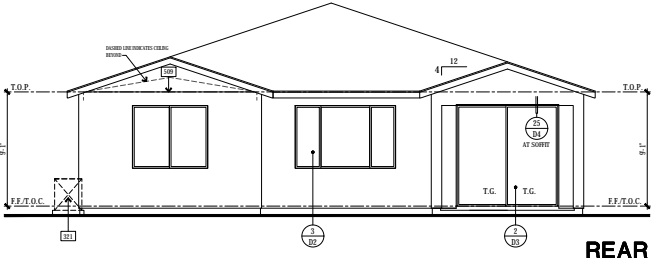
LEFT

FRONT

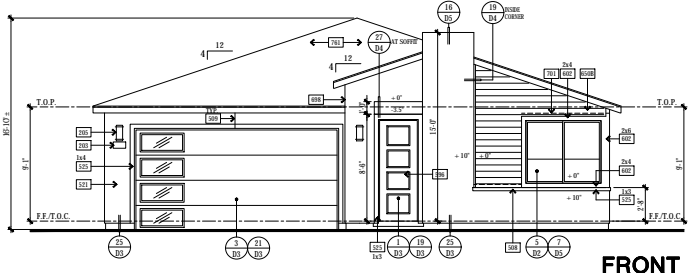


RIGHT

ELEVATIONS WITH OPTIONAL STONE



REAR



FRONT

SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

Name	NOTE
R01	CONCRETE STYCOX - 3/8" DEEP AND 7" WIDER THAN THE DOOR OR WINDOW TO BE USED IN STRUCTURE PROTECTIVE
R02	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
R03	ARCHITECTURAL FINISH - 1/4" MIN. THICK POLYURETHANE RESIN CHARACTERISTICS TO BE AS SHOWN FROM THE STREET
R04	BACKET EXTERIOR WALL LIGHT LOCATION - FIELD VERIFY
R05	48" COMBUSTIBLE CONCRETE DUCTWORK
R06	WATERPROOFING STYCOX SHEET - SLOPE 1:4" PER FOOT
R07	STYCOX (CONTIGUE JOINT - SEE DETAIL 74/04)
R08	UNGLAZED MASONRY BLOCK (SEE DETAIL 74/04) OR STYCOX TYPE (OR 11) PORTLAND CEMENT MORTAR PER MANUFACTURER'S INSTRUCTIONS
R09	STYCOX OVER BRICK FORMATION - FORM SHOWN PER DETAIL 74/04
R10	MANUFACTURER UNGLAZED STYCOX OVER FORMATION - VERIFY PER MANUFACTURER'S INSTRUCTIONS. UNGLAZED MASONRY VENER REQUIREMENTS PER CRC SECTION R311.2
R11	FRONT DOOR WITH TEMPOREARLY CURTAIN GLASS PANELS
R12	WOOD FINISH - SEE FINISH SCHEDULE
R13	FRONT CEILING LAP JOINTS - 3/4" THICK WOODPLANK OR EQUIVALENT FINISH SELECT FINISHES. UNLESS OTHERWISE NOTED PER MANUFACTURER'S INSTRUCTIONS
R14	DRYFLOOR TO SLAB E.C.'S FLASHING
R15	G.I. FLASHING
R16	BRICKING - CONCRETE - FLAT TILE - BY ANGLE BOORING E.C.'S FOR 1500

ALL OPENINGS THROUGH WALLS THAT IS LOCATED LESS THAN 3' FROM FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GLASS OR HAVE A FRAMING GLASS. THE GLASS MAY NOT HAVE OPENINGS THAT A 3/16" (4.8 MM) DIA. UNFINISHED CAN PASS THROUGH. SEE CRC 106.1.2

NOTE: WATER RESISTIVE BARRIER APPLIED OVER WATER-BASE SHEATHING SHALL HAVE 2 LAYERS OF GRADE UP PAPER APPLIED SINGLE FASHION. 2022 CRC 8/20.7.3

FINISHED GRADE VARIES. SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ARCHITECTS, PLANNERS, DESIGNERS

AGENDA ITEM NO. 13.

ORANGE COUNTY - LOS ANGELES - BAY AREA - SACRAMENTO

WILSON HOMES

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D. (XX-XXX Lots)

**PLAN 1887
REGENT PARK at Clovis**
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

WILSON HOMES ARCHITECTS, INC. (WHA)
WHA OFFICIAL PROJECTS BY LICENSED ARCHITECTS AND ENGINEERS. PROJECTS PROVIDED TO THE CLIENT BY WAIVER OF THE ARCHITECT'S LIABILITY. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OTHER PARTS OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OTHER PARTS OF THE PROJECT.

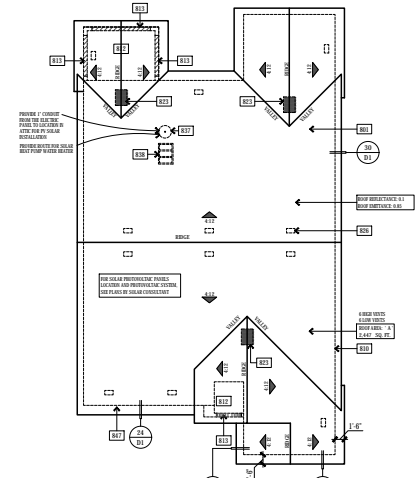
REVISIONS

NO.	DATE	DESCRIPTION

PLAN 1887B EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	MB
DRAWN BY:	MB/CC
INTERIOR BY:	MB/MB
3D RENDERING:	MB/MB
USED FOR CONSTRUCTION:	202303
JOB NUMBER:	190241.5
CAD FILE NAME:	190241.5
DATE:	02-23-23
SHEET:	A1.5

2023011 - PROGRESS SET 02-23-2023



ROOF PLAN SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	ALTERNATE STEEL	PROGRESSIVE NAPA
ROOF METHOD	STANDARD ROOF METHOD (S.D.)	STANDARD ROOF S.D.
CONCRETE FLAT TILE	2x6	2x6
	1'-0"	1'-0"

- ROOF PLAN NOTES**
- SEE GENERAL NOTES FOR ROOF NOTES.
 - SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ATTEC ACCESS PER CRC SECTION ROOF.
 - PROVIDE ATTEC A SHIRT VENTILATION PER CRC SECTION ROOF. PER CRC SECTION ROOF 2, THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE AREA OF THE VENTED SPACE EXCEPT: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 4, 7 AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WINDWARD WATER SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTEC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MAXIMALLY VERTICALLY, THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE THIRD OF THE ATTEC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONTACTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION OF MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OF HIGHEST POINT OF THE SPACE SHALL BE PROVIDED.
 - CLAY AND CONCRETE ROOF TILES SHALL BE INSTALLED ON TOP OF SLEEPS OF 2 1/4" (61 MM) MINIMUM PERIODIC SLEEPS PER IRC 12 TO 12 DOUBLE UNDERLAMENT APPLICATION AS REQUIRED IN ACCORDANCE WITH IRC 12.5, (FIGS. 12.5(1) & 12.5(2)).
 - WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLEEPS EXCEED 7/16" PER THE ROOFING MANUFACTURER'S INSTALLATION MANUALS.
 - WHERE ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST AND AHEAD TO THE CENTER LINE TO AHEAD TO THE CENTER LINE.
 - ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE OF 0.75. THERMAL EMITTANCE OF 0.75. OR AGED SOLAR REFLECTANCE INDEX OF 80 FOR STEEP-SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE OF 0.63 THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX OF 75 OR MORE PER CHS 190.30(1).

- SOLAR PHOTOVOLTAIC SYSTEMS**
- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CALIF. SECTION 190.10 (4). INSTALLATION PER CRC SECTION 10.4 THROUGH 10.4.4 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - REFER TO SEPARATE PLANS FOR SEPARATE INFORMATION FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.
- NOTE THAT NO MECHANICAL PLUMBING, EXHAUST VENTS, ROOF ATTEC VENTS WILL BE PERMITTED WITHIN THE SOLAR PANEL AREA. WHERE APPLICABLE, CONSIDERATION AND COORDINATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE OVERLY VENT TERMINATION. SEE CALIFORNIA CODE SECTION 190.10 AND CRC SECTION 10.4.1.

ROOF PLAN KEY NOTES

NO.	CLASS / ROOFING	CONCRETE - FLAT TILE	BY ENGLE ROOFING, E.C.F. ISR 1900
001	CLASS V ROOFING	CONCRETE - FLAT TILE	BY ENGLE ROOFING, E.C.F. ISR 1900
002	CLAY OR TILE ROOFING		
003	STICCO CEILING		
004	STICCO SHIRT		
005	MIN. 2" (51 MM) OPENING IN CALIFORNIA ROOF FRAMING CONDITIONS FOR ATTEC ACCESS AND CROSS VENTILATION. CONTRACTOR TO VERIFY AGAINST ALL ATTEC ATTES.		
006	ROOF VENT - OTHER THAN SHIRT'S COLORED VENT E.C. A MINIMUM		
007	PROVIDE 1" (25.4 MM) CLEARANCE FROM ELECTRIC PANEL TO SOLAR PANEL. PROVIDE 1" (25.4 MM) CLEARANCE FROM SOLAR PANEL TO SOLAR PUMP WATER HEATER		
008	PHOTOVOLTAIC SOLAR SHEET		
009	PROVIDE NON-COMBUSTIBLE FIREBLOCKING (10 FEET OR CENTER) AT CORNERED SPACE AT EAVES		

ATTIC VENTILATION CALCULATIONS

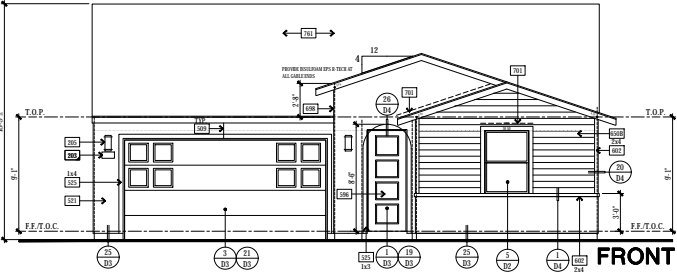
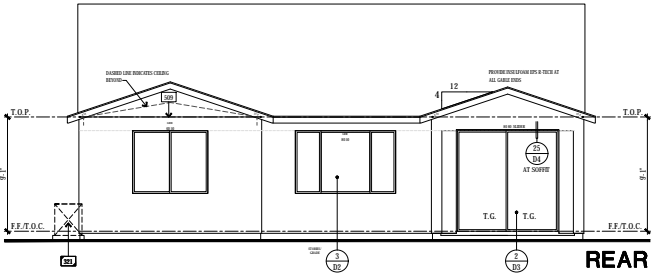
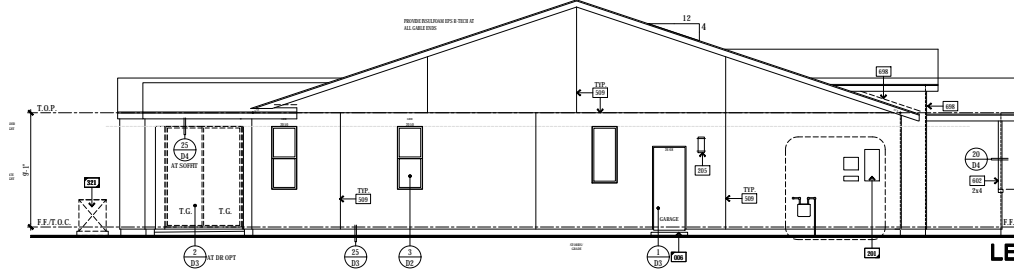
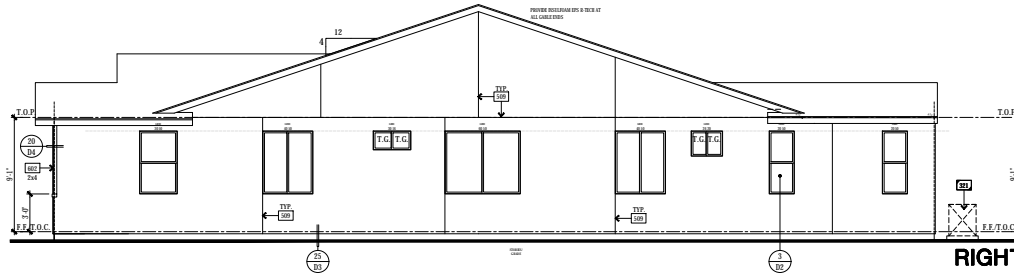
ROOF ATTEC AREA	PLAN 2447 sq. ft.	CALCULATION FACTOR:	1/300
TOTAL	1174 sq. ft.	TOTAL PROVIDED:	1188 sq. ft.
MIN. VENTILATION REQUIRED:	391 sq. ft.	TOTAL HIGH POINT:	594 sq. ft.
MIN. VENTILATION REQUIRED:	597 sq. ft.	TOTAL LOW POINT:	594 sq. ft.

UPPER VENTILATION METHOD

SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLOAKED VENT - CONG. FLAT TILE	59	1	594
TOTAL PROVIDED:			594 sq. ft.

LOW VENTILATION METHOD

SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLOAKED VENT - CONG. FLAT TILE	59	1	594
TOTAL PROVIDED:			594 sq. ft.



ELEVATION KEY NOTES

NO.	NOTE
006	CONCRETE STOP - 30" DEEP AND 2" WIDER THAN THE DOOR OR WINDOW TO BE IN ORDER TO PROTECT IT.
001	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
002	ADDRESS PANEL - 4" MIN. HIGH BUILDING ADDRESS CHARACTERISTICS TO BE PLACED 48" FROM THE STREET
003	ACCENT EXTERIOR WALL LIGHT LOCATION - FIELD VERIFY HEIGHT
004	AN OVERHANGING CORNER LOCATION
005	STICCO CONTROL SHIRT - SEE DETAIL 2404
001	ANGLED BRICKMOR WALL OVER COAT (R/C) ISR 104 STICCO TYPE FOR 1" PORTLAND CEMENT DETAIL PER MANUFACTURER'S LISTING
025	STICCO OVER REAR ROOF AREA - FOAM SHAPE PER ELEVATION
002	WOOD TRIMMS - SEE FOR ELEVATION
008	FRAMER TO VERIFY 5" MIN. WOOD UNDERLAMEL OR EQUIVALENT FROM SELECT CHANNEL EXPOSURE TO INSTALLATION PER MANUFACTURER'S INSTRUCTIONS
009	ROOF TO WALL G FLASING
010	CL FINISH
011	ROOFING - CONCRETE, FLAT TILE - BY ENGLE ROOFING E.C.F. ISR 1900

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 4" ABOVE FINISHED FLOOR AND MORE THAN 37" ABOVE FINISHED CEILING OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A CURB OR BULK A PRESH CASE. THE CURB MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. DETAIL CRC 1405.11.2

WHITE WATER RESISTIVE BARRIER APPLIED OVER WOOD-BASE SHEATHING SHALL HAVE 2 LAYERS OF CRACK-IF FRACTURE APPLIED THROUGHOUT. DETAIL CRC 8710.2.3

FINISHED GRADE VARIES. SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE.

AGENDA ITEM NO. 13.

ARCHITECTS, PLANNERS, DESIGNERS
ORANGE COUNTY · LOS ANGELES · BAY AREA · SACRAMENTO

WILSON HOMES

TRACT NUMBER: 8205
PROJECT TYPE: S.F.D. (XX'XX' Lots)

**PLAN 1887
REGENT PARK at Clovis**
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

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REVISIONS

NO.	DATE	DESCRIPTION

PROGRESSIVE NAPA
PLAN 1887C EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	
DRAWN BY:	MR
INTERVIEW BY:	MRB/CC
ESTIMATOR/SEPT. SUBMITTAL:	MR/AR
USED FOR CONSTRUCTION:	
JOB NUMBER:	202300
CAD FILE NAME:	11.6

DATE: 02-23-23
SHEET: A1.6

SCALE: 1/4" = 1'-0"

2023011 - PROGRESS SET 02-23-2023

PLAN 1887
REGENT PARK at Clovis
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

THIS DOCUMENT PREPARED BY CONTRACTOR FOR CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT AND FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL GOVERNMENT.

REVISIONS

NO.	DATE	DESCRIPTION

PLAN 1887D EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	YH
REVIEWED BY:	AR, JLC
EST. MANAGER:	AR, JLC
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2023010
CAD FILE NAME:	AL7

DATE: 02-23-23 SHEET: A1.7

COTTAGE

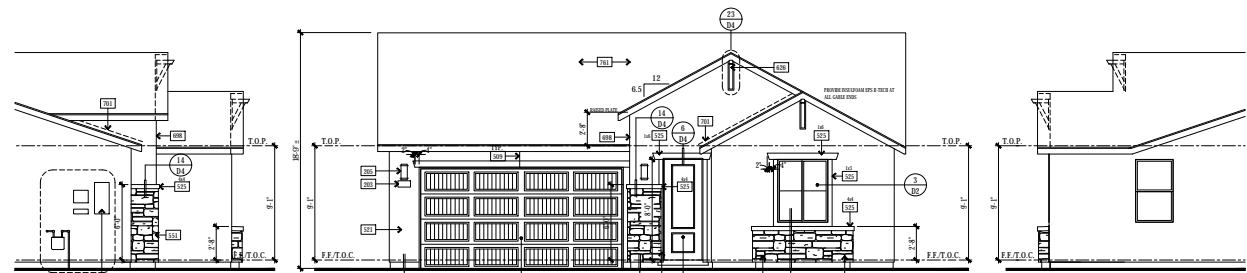
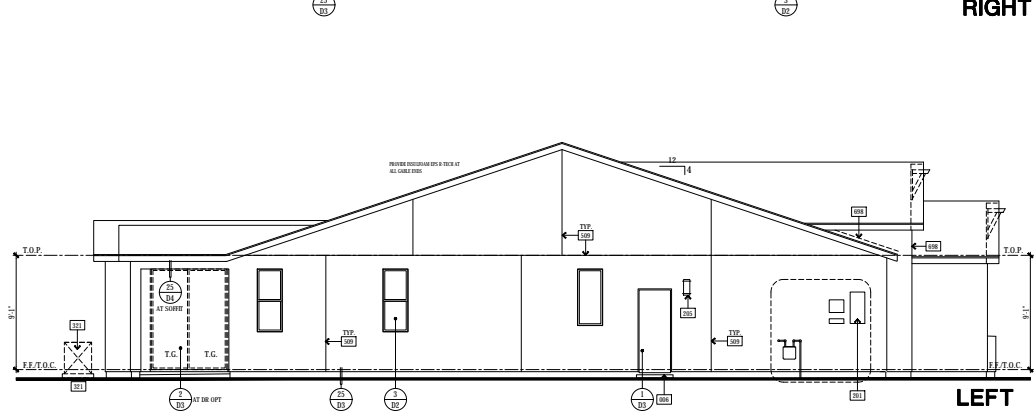
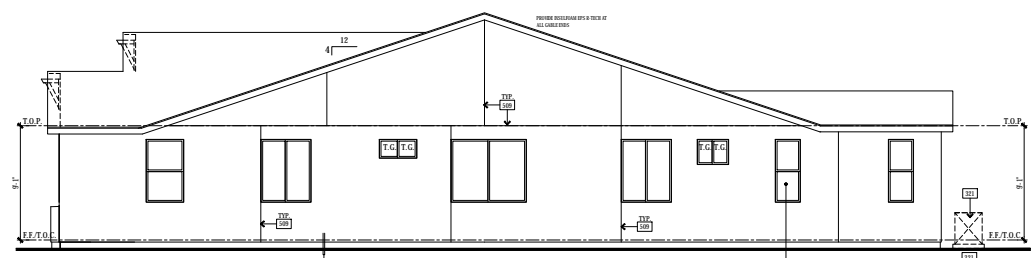
20230101 - PROGRESS SET 02-23-2023

Name	Note
000	CONCRETE SLOPE - 3" DROP AND 8" RISE THAT THE DECK OF ROOF MEMBRANES TO DRAIN TO DRAINAGE ROW SIDE
001	STEEL FLASHING AND GUTTER PANELS - VERIFY LOCATION
002	ASHESIN PANELS - 4" MIN. RISE BUILDING HEIGHT CHARACTERISTICS TO BE MAINTAINED FROM THE STREET
003	ACCENT EXTERIOR WALL LIGHT
004	WATERPROOFED STEPS SHEET - SLOPE 1" FT PER FOOT
005	STYCO CONTINUOUS SMOOT - SEE DETAIL S004
006	OMEGA SHIMMER WALL ONE COAT 800 KCC 85 R38 1194 STYCO TYPE 100 11 PORELAND CEMENT - INSTALL PER MANUFACTURER'S LISTING
007	STYCO FIBER REINFORCED FIBER - FIBER SHEET PER ELEVATION
008	MANUFACTURED SHIMMER STYCO VENEER - INSTALL PER MANUFACTURER'S LISTING. ADDRESS MANUFACTURER REQUIREMENTS PER CMC SECTION 010112
009	ROOF FLASH WITH THUNDER BOLTS AND GLASS PANELS
010	OUTDOOR ASSEMBLY - BRASS (SEE PER ELEVATION)
011	DOOR TO WALL C-1 BLANDING
012	GLZ BLANDING
013	ROOFING - CONCRETE - FLAT TILE - 8" SINGLE ROOFING, KCC 4 FOR 1000

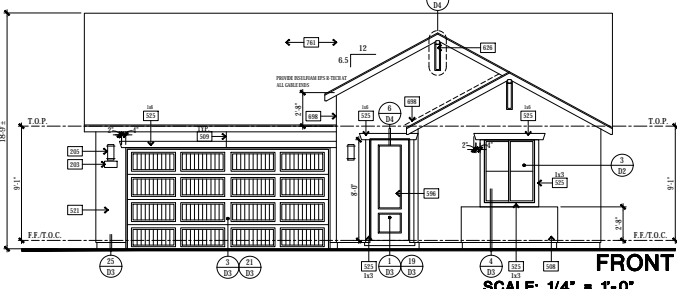
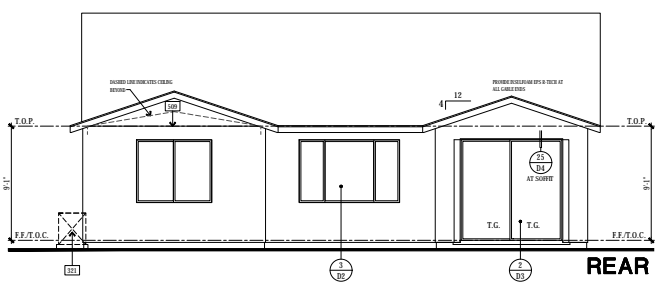
ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 4" ABOVE FINISHED FLOOR AND MORE THAN 4" ABOVE FINISHED GRADE OR OTHER OPENING BELOW AT THE EXTERIOR, MUST BE PROVIDED IN A GLAZED OR HAVE A FROD GLASS. THE GLAZED MAY NOT HAVE OPENINGS THAT A SPACER OR BARRIER CAN PASS THROUGH. SEE DETAIL S001.2.

NOTE: 3 LAYERS OF GRADE 9 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD WOOD SHEATHING. 2009 CMC SECTION 010112

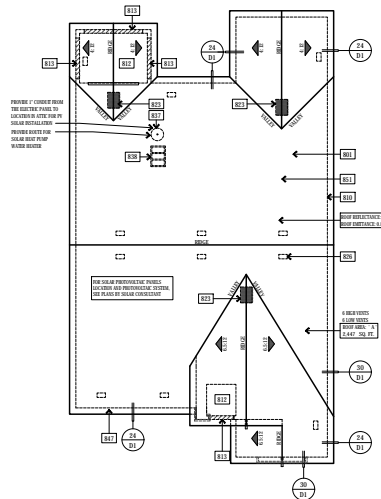
FINISHED GRADE VARIES. SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE.



PARTIAL LEFT FRONT W/OPT. STONE VENEER PARTIAL RIGHT



REAR FRONT SCALE: 1/4" = 1'-0"



ROOF PLAN SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	D	ELEVATION STYLE	COTTAGE
ROOF MATERIAL	CONCRETE FLAT TILE	STANDARD ROOF PITCH	2x6 2x6 1'-0" 1'-0"

- ROOF PLAN NOTES**
- SEE GENERAL NOTES FOR ROOF NOTES.
 - SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ATTEC ACCESS PER CMC SECTION 01007.
 - PROVIDE ATTEC & SMOOT VENTILATION PER CMC SECTION 01008. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTS: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 4 AND 5, A CLASS 100 VAPOR RETARDER IS INSTALLED ON THE INSIDE OR INSIDE SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTEC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (0.4 M) BELOW THE RIDGE OR IMPACT POINT OF THE SPACE. MEASURED VERTICALLY THE BALANCE OF THE REQUIRED VENTILATING PORTIONS SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTEC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION OF MORE THAN 3 FEET (0.4 M) BELOW THE RIDGE OF HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
 - CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED PER CMC SECTION 01012 OR GREATER. PER CMC SECTION 01012: 12" (30.5 CM) OVER INSULATION (APPLICATION OF THIS SECTION) IN ACCORDANCE WITH ROOF 3.3. (0906.1.2 CMC)
 - WOOD ARRESTORS ARE REQUIRED TO BE CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7/12 PER TILE ROOFING INSTALLATION MANUAL.
 - WHERE ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAME OF THIS MANUFACTURER MUST ADD A RISE TO THE LOWER PITCH TO ADJUST WITH THE RAISE OF THE LOWER PITCH. ROOF SHALL HAVE MIN. ACID SOLAR REFLECTANCE OF 0.25 MIN. THERMAL EMITTANCE OF 0.75 OR ACID SOLAR REFLECTANCE INDEX COR. OF 49 FOR STEEP-SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. ACID SOLAR REFLECTANCE OF 0.63 THERMAL EMITTANCE OF 0.75 OR ACID SOLAR REFLECTANCE INDEX COR. OF 75 OR MORE PER CMC 1.16A (0.81)

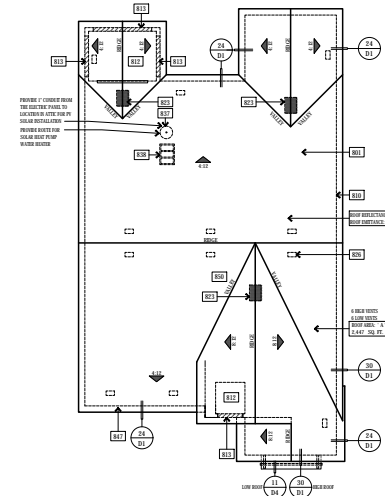
- SOLAR PHOTOVOLTAIC SYSTEMS**
- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CMC SECTION 1501.6 (0.1). INSTALLATION PER CMC SECTION 1501.4 THROUGH 1501.4 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - REFER TO SOLAR CONSULTANT PLANS FOR SEPARATE DETAIL FOR ALL PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.
- NOTE: THAT NO MECHANICAL EXHAUST VENTS, ROOF ATTEC VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA. WHERE APPLICABLE, COORDINATION AND COOPERATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DRYER VENT TERMINATION. SEE CMC SECTION 1501.6 AND CMC SECTION 111.2.1.

ROOF PLAN KEY NOTES

Name	Note
001	CLASS 'A' ROOFING - CONCRETE - FLAT TILE - 8" SINGLE ROOFING, KCC 4 FOR 1000
002	LINE OF WALL BELOW
003	STYCO FIBER
004	STYCO SHEET
005	MIN. 2" (51 MM) OPENING IN CALIFORNIA ROOF FRAMING CONDITIONS FOR ATTEC ACCESS AND CROSS VENTILATION. CONSTRUCTION TO VERIFY AIRFLOW IN ALL ATTEC AREAS.
006	ROOF VENT - DESIGN TO VERIFY CLOSURE WITH 2" (51 MM) RIGID.
007	PROVIDE 7" (178 MM) CONCRETE FROM THE ELECTRIC PANELS TO LOCATIONS AT ATTEC FOR PV SOLAR INSTALLATION. PROVIDE PROTECTIVE SOLAR RAY PROTECTIVE SHEET.
008	PHOTOVOLTAIC SOLAR ARRAY
009	PROVIDE NON-COMBUSTIBLE FIREBLOCKING OF ROOF OR CEILING, AT CONCRETE SPACE AT EAVES

ATTIC VENTILATION CALCULATIONS

ROOF ATTEC AREA	2447 sq. ft.	PLAN 1887D	
CALCULATION FACTOR:	13.000		
MIN. VENTILATION REQUIRED:	TOTAL 1174 sq. ft.	TOTAL PROVIDED: 1188 sq. ft.	
MIN. VENTILATION REQUIRED:	HIGH 587 sq. ft.	TOTAL HIGH PROVIDED: 594 sq. ft.	
MIN. VENTILATION REQUIRED:	LOW 587 sq. ft.	TOTAL LOW PROVIDED: 594 sq. ft.	
HIGH VENTILATION METHOD	SIZE FREE AREA QUANTITY FREE VENT AREA		
CLOAKED VENT - CONG. FLAT TILE -	99 sq. ft.	1	584 sq. ft.
TOTAL PROVIDED:			594 sq. ft.
LOW VENTILATION METHOD	SIZE FREE AREA QUANTITY FREE VENT AREA		
CLOAKED VENT - CONG. FLAT TILE -	99 sq. ft.	1	584 sq. ft.
TOTAL PROVIDED:			594 sq. ft.



ROOF PLAN

SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	E	ELEVATION STYLE	PROGRESSIVE FARMHOUSE
ROOF VENTILATION		STANDARD ROOF SYSTEM	
CONCRETE FLAT TILE		2x6	2x6
		1'-0"	1'-0"
		1'-6"	1'-0"

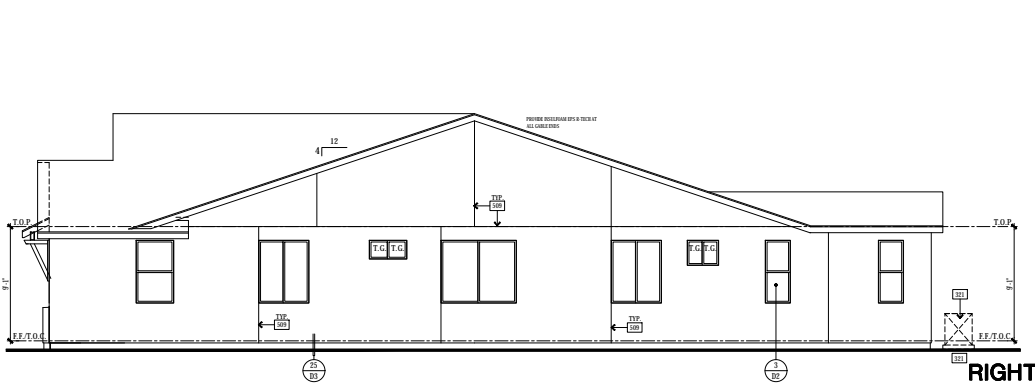
ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATTIC ACCESS PER CRC SECTION R007.
- PROVIDE ATTC 3.00% VENTILATION PER CRC SECTION R008. PER CRC SECTION R008, THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPT, THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 6 AND 8, A CLASS 1 VAPOR BARRIER IS INSTALLED ON THE INSIDE OR INSIDE SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR REDUCE POINT OF THE SPACE. MEASURED VERT. ALL THE BALANCE OF THE REQUIRED VENTILATING AREA SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION OF MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR REDUCE POINT OF THE SPACE SHALL BE PERMITTED.
- CLAY AND CONCRETE TILE SHALL BE INSTALLED PER CRC SECTION C7.14.12 OR CREATOR PER CRC SECTION R003.14.12. SEE CRC SECTION R003.14.12 FOR MINIMUM APPROXIMATE OVERLAP IN ACCORDANCE WITH R003.3.3. (R003.3.2 CRC)
- WOOD ARRESTS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WITH SLOPES EXCEED 7/12 PER TILE ROOFING INSTITUTE INSTALLATION MANUAL.
- WOOD ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAME OR TRUSS MANUFACTURER MUST ADD A TIE TO THE CEILING JOIST TO ADD TO THE BASE OF THE LOWER PITCH. ROOF SHALL HAVE MIN. ACID SOLAR REFLECTANCE OF 0.25. MIN. THERMAL EMITTANCE OF 0.75 OR ACID SOLAR REFLECTANCE INDEX COEF OF 18 FOR STEEP-SLOPED ROOFS. FOR LOW SLOPED ROOFS, ROOF SHALL HAVE A MIN. ACID SOLAR REFLECTANCE OF 0.63 THERMAL EMITTANCE OF 0.75, OR ACID SOLAR REFLECTANCE INDEX COEF OF 75 OR MORE PER (CR 1.58.10.01)

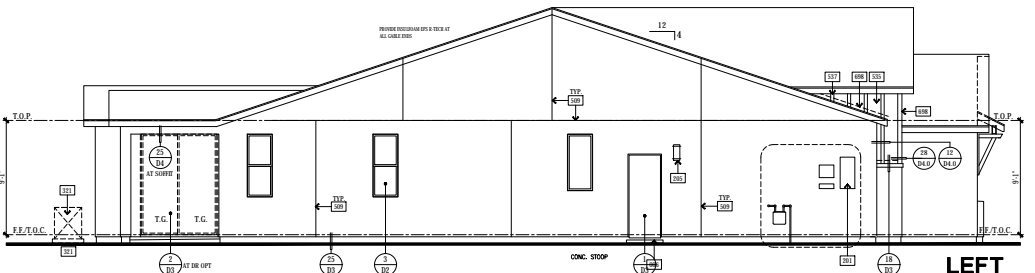
SOLAR PHOTOVOLTAIC SYSTEMS

- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CGC SECTION 150.160.1. INSTALLATION PER CRC SECTION 12.4 THROUGH 402.4.4 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE CONTRACT FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SEES, AND ALL OTHER DESIGN REQUIREMENTS.

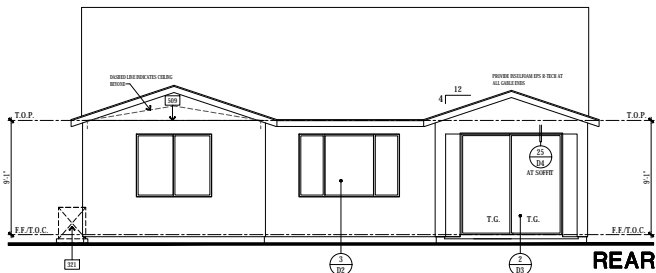
NOTE: THAT NO MECHANICAL EXHAUST VENTS, ROOF ATTE VENTS OR VENTS PERMITTED WITHIN THE SOLAR ZONE AREA. WHERE APPLICABLE, CONDENSATION AND CONDENSATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DRYER VENT TERMINATION. SEE CGS CODE SECTION 110.10 AND CRC SECTION 111.2.1.



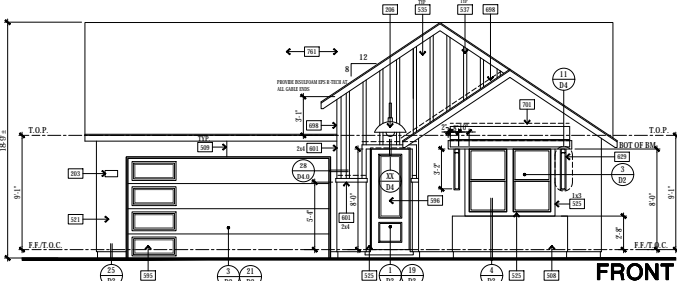
RIGHT



LEFT



REAR



FRONT

ROOF PLAN KEY NOTES

Number	NOTE
801	CLASS V ROOFING - CONCRETE - FLAT TILE - BY EAGLE ROOFING KC-1 RSR 1900
802	LINE OF WALL BELOW
803	STRICTLY SOUTH
804	MIN. 7/12 SLOPE PER CALIFORNIA ROOFING PRODUCTS CONDITIONS FOR ATTIC ACCESS AND CROSS VENTILATION CONTRACT TO VERIFY ADHERENCE TO ALL CITY ORDINANCES
805	ROOF VENT - (ORIGIN '16 SERIES' CHANGED TEST #2 - SEE 806.04)
807	PROVIDE 7' CLEARANCE FROM THE ELECTRIC PANEL TO LOCATION OF ATTIC FOR PV SOLAR INSTALLATION. PROVIDE ACCESS TO THE SOLAR ZONE FROM THE EXTERIOR
808	PHOTOVOLTAIC SOLAR ARRAY
809	PROVIDE 10' MIN. CLEARANCE FROM THE EXTERIOR TO THE CENTER OF THE SOLAR PANELS AT FINISHED GRADE BY NOTES

ATTIC VENTILATION CALCULATIONS

	PLAN 1887E	PLAN 1887E
ROOF ATTIC AREA	A 2447 sq. ft.	CALCULATION FACTOR: 1/300
	352368 sq. in.	
MIN. VENTILATION REQUIRED:	TOTAL 1174 sq. in.	TOTAL PROVIDED: 1188 sq. in.
	352368 sq. in.	
MIN. VENTILATION REQUIRED:	HIGH 587 sq. in.	TOTAL HIGH PROVIDED: 594 sq. in.
	352368 sq. in.	
MIN. VENTILATION REQUIRED:	LOW 587 sq. in.	TOTAL LOW PROVIDED: 594 sq. in.
	352368 sq. in.	

HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLARKED VENT - CONC. FLAT TILE	99	59.4 in. x 59.4 in.	584	59.4 in. x 59.4 in.
			TOTAL PROVIDED:	584

LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLARKED VENT - CONC. FLAT TILE	99	59.4 in. x 59.4 in.	584	59.4 in. x 59.4 in.
			TOTAL PROVIDED:	584

ELEVATION KEY NOTES

Number	NOTE
900	CONCRETE STAIR, 3" DEEP AND 7" WIDE THAT THE DOOR OR DOOR FRAME TO BE IN THE DOOR FRAME AREA
901	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
902	ADDRESS PANEL - IF THE HOME BUILDING ADDRESS CHARACTERISTICS APPLICABLE TO BE AS SHOWN FROM THE STREET
903	BACKY EXTERIOR WALL LEAK LOCATION - FIELD VERIFY WORK
904	EXTERIOR WALL VENTILATION - FIELD VERIFY HEIGHT WITH CITY
905	LAZ CONDENSING CONDENSER LOCATION
906	MANUFACTURED STUCCO SHEET - SLOPE 1/4" PER FOOT
907	SERVICE CONTROL DUCT - SEE DETAIL 1004
908	ORANGE SHINGLED WALL ONE COAT (W) R.C. IS FOR 104 STUCCO TYPE FOR 11 POUND LBS. CEMENT INSTALL PER MANUFACTURER'S LISTING
909	STUCCO OVER BRICK FROM THE HOUSE FROM THE ELEVATION
910	CEMENTIOUS VERTICAL PANEL OVER 1 LAYER BUILDING PAPER OVER 1/2" PLYWOOD SUBSTRATE OVER EPS FOAM BOARD OVER BRICKING PAPER. NOTE EPS FOAM BOARD SHALL BE CUTTED AT THE BRICK BOARD JOINTS PROVIDED THE WALL FINISH IS SET
911	LAZ VAPOR BARRIERS AT 48" O.C.
912	REINFORCED CONCRETE WINDOW FRAMEWORK CLASS WINDOW
913	FRONT DOOR WITH TYPICAL DOUBLE GLASS PANELS
914	WOOD TRIM - SEE PER ELEVATION
915	WOOD BRACE OUTSIDE WINDOW ASSEMBLY (SEE PER DETAIL)
916	RAZ PER WALL C.F. FINISHING
917	C.F. FINISHING
918	RAZ PER CONCRETE - FLAT TILE - BY EAGLE ROOFING KC-1 RSR 1900

NOTE: 2 LAYERS OF GRADE 5 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD WINDOW SUBSTRATE. (SEE CRC R-703.5)

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ARCHITECTS, PLANNERS, DESIGNERS

AGENDA ITEM NO. 13.

ORANGE COUNTY LOS ANGELES BAY AREA SACRAMENTO

WILSON HOMES

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D. (XX-XX-Lois)

PLAN 1887

REGENT PARK at Clovis

CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

1887 WILLIAM HERRMANN ARCHITECTS, INC. (WHA) HAS EXPRESSLY PROVIDED BY CONTRACT AND/OR OTHER AGREEMENTS PROVIDED HEREIN THAT THIS PLAN IS NOT TO BE USED OR REPRODUCED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF WILSON HOMES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

REVISIONS

NO.	DATE	DESCRIPTION

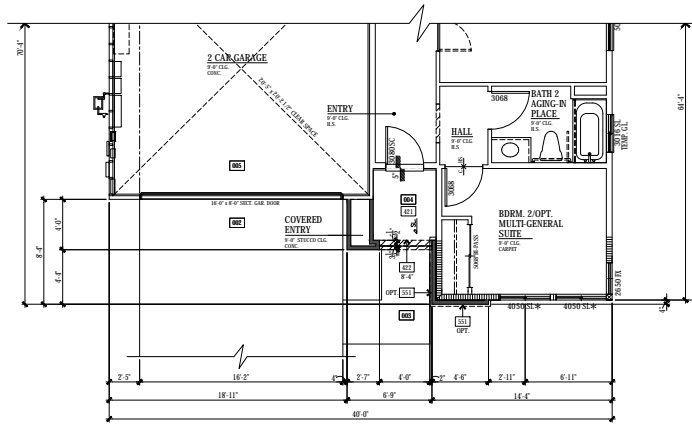
PLAN 1887E EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	WJ
DRAWN BY:	WJ/CC
INTERVIEWD BY:	WJ/CC
EST. BLOC. SHEET, SUBMITTAL:	NO. 00
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2023011
CAD FILE NAME:	1887

DATE: 02-23-23
SHEET: A1.8

SCALE: 1/4" = 1'-0"

20230111- PROGRESS SET 02-23-2023

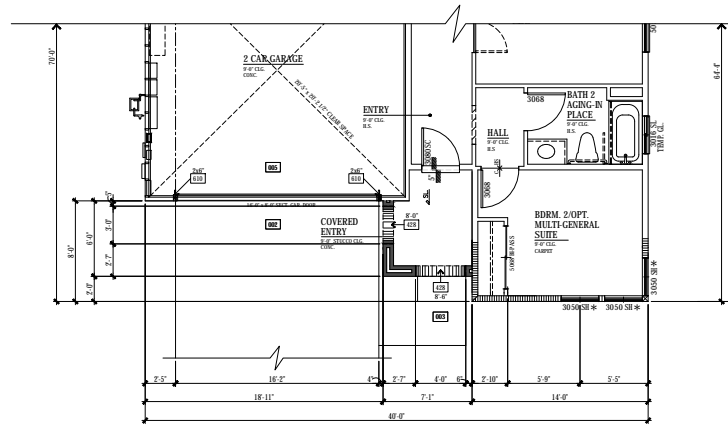


PARTIAL FLOOR PLAN 2007B - MODERN

FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALL (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) - SLOPE 1/4" PER FOOT MINIMUM (2% SLOPE) TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
001	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
421	STUCCO CHANG. HEIGHT PER PLAN
422	STUCCO SOFFIT HEIGHT PER PLAN
511	MANUFACTURED ADHERED STUCCO STONE VENER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ADHERED MASONRY VENER. REQUIREMENTS PER CMC SECTION R701.12

FLOOR AREA TABLE	PLAN 2007B
FLOOR PLAN	2007 SQ. FT.
TOTAL	2007 SQ. FT.
GARAGE	433 SQ. FT.
COVERED ENTRY	40 SQ. FT.
REAR PATIO	68 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



PARTIAL FLOOR PLAN 2007C - PROGRESSIVE NAPA

FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALL (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) - SLOPE 1/4" PER FOOT MINIMUM (2% SLOPE) TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
001	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
421	STUCCO CHANG. HEIGHT PER PLAN
422	STUCCO SOFFIT HEIGHT PER PLAN
610	WOOD POSTS - SEE PER PLAN

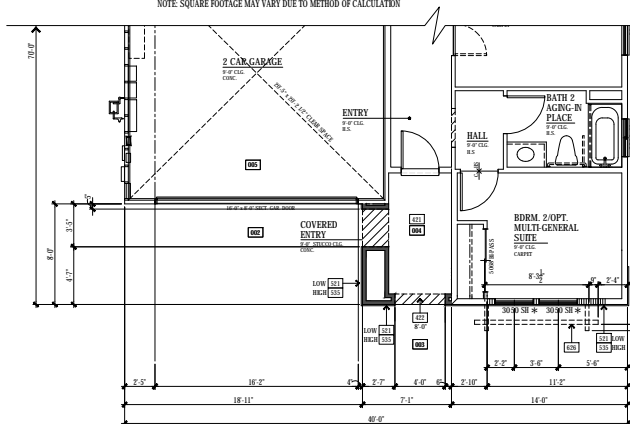
FLOOR AREA TABLE	PLAN 2007C
FLOOR PLAN	2007 SQ. FT.
TOTAL	2007 SQ. FT.
GARAGE	433 SQ. FT.
COVERED ENTRY	54 SQ. FT.
REAR PATIO	68 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

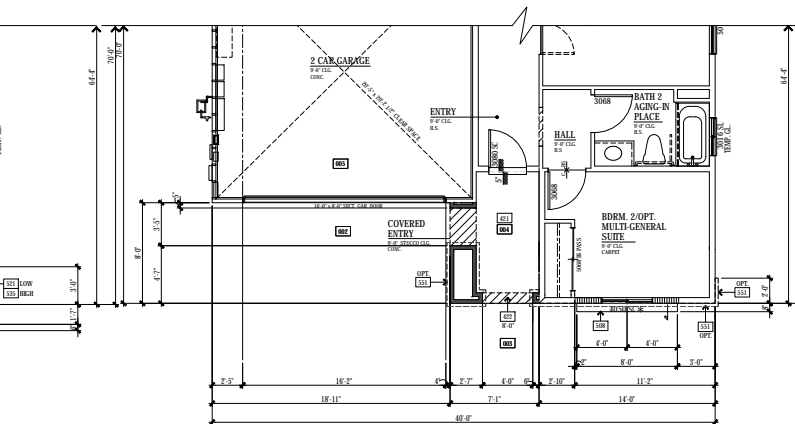
FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALL (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) - SLOPE 1/4" PER FOOT MINIMUM (2% SLOPE) TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
001	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
421	STUCCO CHANG. HEIGHT PER PLAN
422	STUCCO SOFFIT HEIGHT PER PLAN
521	EMERALD DIAMOND WALL ONT COAT (R6) (C.C. 85 1194 STUCCO TYPE1) (R6 1) PORTLAND CEMENT. INSTALL PER MANUFACTURER'S LISTING
531	BATH & BOARD WALL FINISH
511	MANUFACTURED ADHERED STUCCO STONE VENER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ADHERED MASONRY VENER. REQUIREMENTS PER CMC SECTION R701.12
508	WATERPROOFED STUCCO SHELF - SLOPE 1/4" PER FOOT
610	WOOD POSTS - SEE PER PLAN
628	OUTLOOKER ASSEMBLY ABOVE - WOOD (SIZE PER ELEVATION)

FLOOR AREA TABLE	PLAN 2007E
FLOOR PLAN	2007 SQ. FT.
TOTAL	2007 SQ. FT.
GARAGE	433 SQ. FT.
COVERED ENTRY	68 SQ. FT.
REAR PATIO	68 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



PARTIAL FLOOR PLAN 2007E - PROGRESSIVE FARMHOUSE



PARTIAL FLOOR PLAN 2007D - COTTAGE

FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALL (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) - SLOPE 1/4" PER FOOT MINIMUM (2% SLOPE) TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
001	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
421	STUCCO CHANG. HEIGHT PER PLAN
422	STUCCO SOFFIT HEIGHT PER PLAN
511	MANUFACTURED ADHERED STUCCO STONE VENER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ADHERED MASONRY VENER. REQUIREMENTS PER CMC SECTION R701.12
508	WATERPROOFED STUCCO SHELF - SLOPE 1/4" PER FOOT
610	WOOD POSTS - SEE PER PLAN

FLOOR AREA TABLE	PLAN 2007D
FLOOR PLAN	2007 SQ. FT.
TOTAL	2007 SQ. FT.
GARAGE	433 SQ. FT.
COVERED ENTRY	68 SQ. FT.
REAR PATIO	68 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

ADDENDA FLOOR PLAN NOTES	
NOTE: SHADED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN	
NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL OPENINGS AND GENERAL LOCATIONS.	
REFER TO BASE PLAN SHEET A1.1.1 FOR ADDITIONAL NOTES AND DIMENSIONS.	

SCALE: 1/4" = 1'-0"



ORANGE COUNTY · LOS ANGELES · BAY AREA · SACRAMENTO

WILSON HOMES

B MDRN - C PROGRESSIVE NAPA - D COTTAGE - E PROGRESSIVE FARMHOUSE
 REGENT PARK - PLAN 2007
 CLOVIS

CLOVIS, CALIFORNIA
 WILSON HOMES
 FRESNO, CALIFORNIA

TRACT NUMBER: 6205
 PROJECT TYPE: S.F.D.

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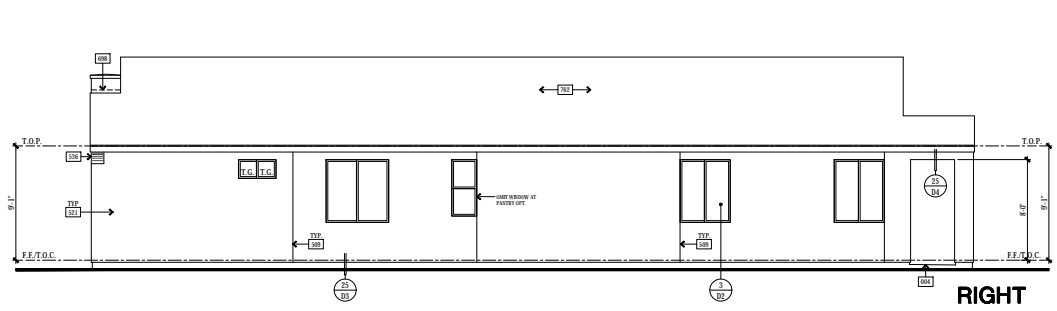
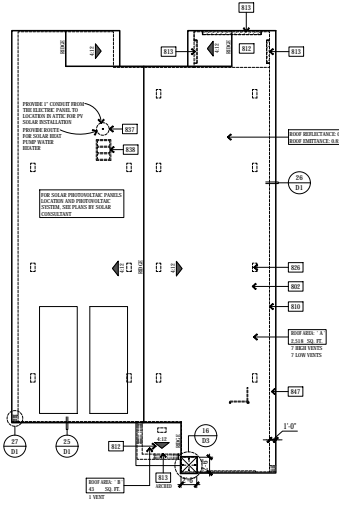
REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 2007B, C, D & E
ADDENDA FLOOR PLANS

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	NH
INTERVIEW:	
1ST BLOC. MEET. SERIAL:	
BASED FOR CONSTRUCTION:	
JOB NUMBER:	
CAD FILE NAME:	
DATE:	03-02-23
	A1.1.2

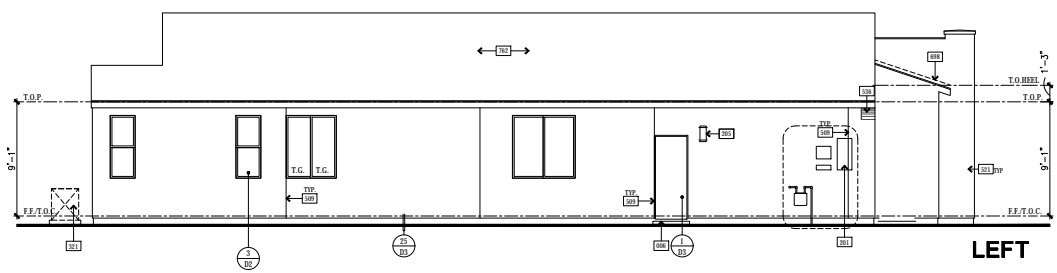
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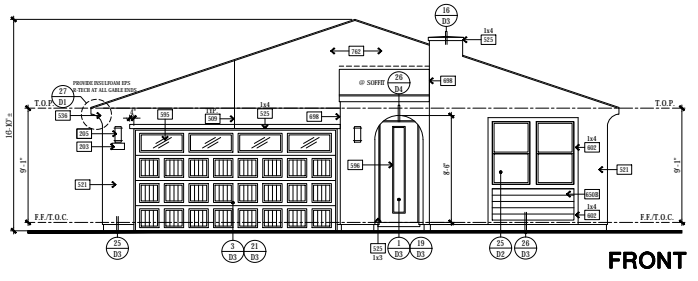
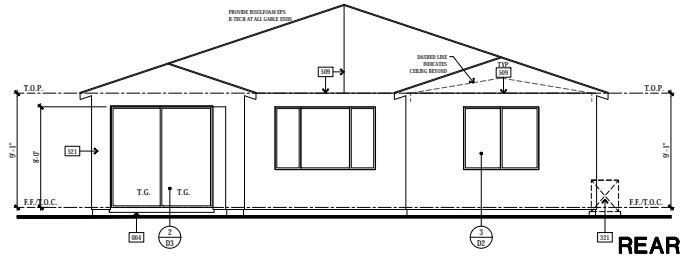
ATTIC VENTILATION CALCULATIONS		PLAN 2007A
ROOF ATTIC AREA	A 2516 SQ. FT.	CALCULATION FACTOR: 1/300
MIN. VENTILATION REQUIRED	TOTAL 1208 SQ. IN.	TOTAL PROVIDED: 1372 SQ. IN.
MIN. VENTILATION REQUIRED: HIGH	604 SQ. IN.	TOTAL HIGH PROVIDED: 686 SQ. IN.
MIN. VENTILATION REQUIRED: LOW	604 SQ. IN.	TOTAL LOW PROVIDED: 686 SQ. IN.
ROOF ATTIC AREA	B 43 SQ. FT.	CALCULATION FACTOR: 1/150
MIN. VENTILATION REQUIRED	TOTAL 41 SQ. IN.	TOTAL PROVIDED: 88 SQ. IN.
MIN. VENTILATION REQUIRED: HIGH	20 SQ. IN.	TOTAL HIGH PROVIDED: 44 SQ. IN.
MIN. VENTILATION REQUIRED: LOW	21 SQ. IN.	TOTAL LOW PROVIDED: 44 SQ. IN.

ROOF PLAN KEY NOTES	
802	CLASS 8 ROOFING - LOW PROFILE CONCRETE - S-TILE - BY EAGLE ROOFING, KCC 8 ESR 1900
810	LINE OF WALL BELOW
812	STUCCO CEILING
813	STUCCO SLOPP
825	ROOF VENT - (RIGID) 2L SERIES' CLOAKED VENT (CC - SEE 8062A)
827	PROVIDE T CONDUIT FROM THE ELECTR. PANEL TO LOCATIONS IN ATTIC FOR PV SOLAR INSTALLATION. PROVIDE ROUTE FOR SOLAR HEAT PUMP WATER HEATER (PROVIDE AT SOLAR AREA)
847	PROVIDE NON-COMBUSTIBLE FIREBLOCKING (10 FEET ON CENTER) AT CONCEALED SPACE AT BAYS



ROOF PLAN SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	DESCRIPTION	CONTEMPORARY SPANISH
ROOF MATERIAL	CONCRETE S-TILE	CONTEMPORARY SPANISH
ROOF PROFILE	CONCRETE S-TILE	CONTEMPORARY SPANISH
ROOF PLAN NOTES	<ol style="list-style-type: none"> SEE GENERAL NOTES FOR ROOF NOTES. SPRINKLER HEADS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. ATTIC ACCESS PER CRC SECTION 8007. PROVIDE AT LEAST 2 SQUARE FEET OF VENTILATION PER SQUARE FOOT OF THE AREA OF THE VENTED SPACE. EXCEPT FOR THE MINIMUM NET FREE VENTILATION AREA SHALL BE LOCATED IN THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET: <ul style="list-style-type: none"> IN CLIMATE ZONES 6, 7 AND 8 A CLASS 8 RATED BARRIER IS INSTALLED ON THE WARMER WINDWARD SIDE OF THE CEILING. NOT LESS THAN 10 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MOUNTED VENTILATORS SHALL BE LOCATED IN THE UPPER PORTION OF THE SPACE. MOUNTED VENTILATORS SHALL BE LOCATED IN THE UPPER PORTION OF THE SPACE. MOUNTED VENTILATORS SHALL BE LOCATED IN THE UPPER PORTION OF THE SPACE. MOUNTED VENTILATORS SHALL BE LOCATED IN THE UPPER PORTION OF THE SPACE. CLASS 8 ROOFING SHALL BE INSTALLED ON ROOF SLOPES OF 2:12 OR GREATER. PER ROOFING MANUFACTURER'S (R.M.) REQUIREMENTS. DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH R.M.'S. (SEE 8062A). WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER THE ROOFING MANUFACTURER'S INSTALLATION MANUAL. WHERE ROOF VENTILATORS INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A HANG TO THE STEEPER PITCH TO MATCH WITH THE HANG OF THE LOWER PITCH. ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE INDEX (SRI) OF 75. THERMAL EMITTANCE OF 0.75. OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 16 FOR STEEPER SLOPED ROOFS. FOR LOW SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE INDEX (SRI) OF 75 OR MORE PER (CMR 150.23011). 	
SOLAR PHOTOVOLTAIC SYSTEMS	<ol style="list-style-type: none"> SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CIRC. SECTION 140.101. INSTALLATION PER CRC SECTION 20.3 THROUGH 20.4 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. WHERE SOLAR CONSISTENT PLANS EXIST, SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND WIRING, AND ALL OTHER DESIGN REQUIREMENTS. <p>NOTE THAT NO MECHANICAL PLUMBING EXHAUST VENTS, ROOF ATTE VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA. WHERE APPLICABLE, CONDENSATION AND CONDENSATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE ROOF VENT TERMINATION. REF CA ENERGY CODE SECTION 140.10 AND CIRC. SECTION 3111.2.1.</p>	

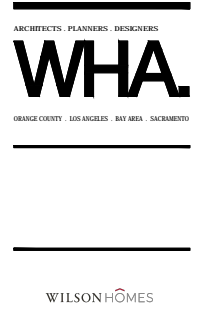


ELEVATION KEY NOTES	
Name	NOTE
006	CONCRETE SLOOP - 3/4" DEEP AND 2" WIDER THAN THE DOOR OPENING. SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED.
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION.
203	ADDRESS PANEL, 4" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
205	ACCENT EXTERIOR WALL LIGHT LOCATION - FIELD VERIFY HEIGHT WITH INTERIOR TYPE.
221	MIN. CONDENSING CONDENSER LOCATION.
249	STUCCO CONTROL JOINT - SEE DETAIL 2706.
251	OMEGA DIAMOND WALL ONE COAT (40 KCC 85 ESR 194 STUCCO TYPE FOR 1/2" PORTLAND CEMENT) INSTALL PER MANUFACTURERS DETAIL.
253	STUCCO OVER RIGID FOAM THERM. - FOAM SHAPE PER DETAIL.
336	STUCCO OVER RIGID FOAM THERM. - SEE SHAPE PER DETAIL.
353	TEMPERED GLASS WINDOW AT GARAGE DOOR.
356	FRONT DOOR WITH TEMPERED CURVED GLASS PANELS.
402	WOOD TRIMMS - SEE PER ELEVATION.
600B	FRONT CURVED GLASS WINDOW - 3/8" TYPICAL UNDERLAIN (OR EQUIVALENT). FINISH: SELECT CEDAR/MILL EXPOSURE. (IF INSTALLATION PER MANUFACTURERS INSTRUCTIONS).
604	C1 FLASHING AND GUTTER FLASHING AT EXTERIOR WALL AND ROOF WALL JOINTS.
701	C1 FLASHING.
702	EAGLE ROOFING KCC 8 ESR 1900 CLASS 8, 9 PSF - CONCRETE LOW PROFILE S-TILE.

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED CEILING OR OVERHANGS BELOW IT IS REQUIRED. MUST BE PROTECTED BY A GLAZED OR HAVE A PROOF GLASS. THE GLAZED MAY NOT HAVE OPERINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. (SEE CIRC 1406.1.2)

NOTE: WATER RESISTIVE BARRIER APPLIED OVER WOOD BASE SHEATHING SHALL HAVE 2 LAYERS OF GARBOL PAPER APPLIED. (SEE CIRC 9700.3.3)

FINISHED GRADE VALUES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.



WILSON HOMES

REGENT PARK - PLAN 2007
CLOVIS

CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D.

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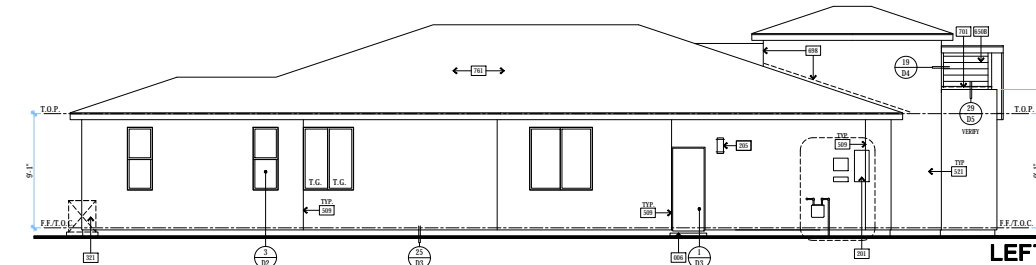
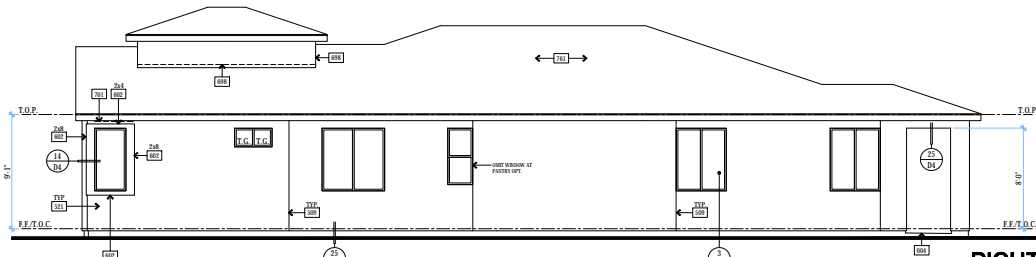
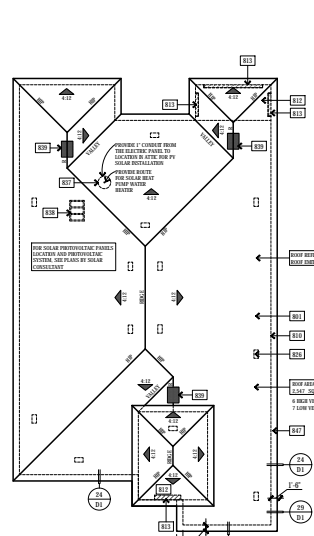
REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT MANAGER		CC
DESIGNER	AM	
DRAWN BY	NH	
INTERVIEWD BY		
1ST BLOC. SEPT. SUBMITTAL		
ISSUED FOR CONSTRUCTION		
JOB NUMBER:		
CAD FILE NAME:		
DATE:	03-02-23	A1.4

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SCALE: 1/4" = 1'-0"

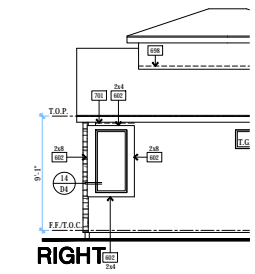
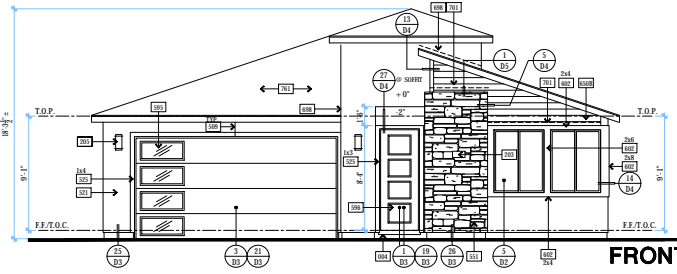
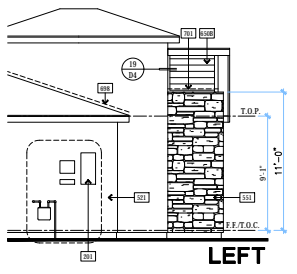
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ROOF PLAN SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	B	DESCRIPTION STYLE	MODERN	DESCRIPTION CLASS
ROOF MATERIAL	STANDARD ROOF	ROOF TYPE	FLAT	ROOF TYPE
CONCRETE FLAT TILE				
RAISED ROOFING	KC# 638-1000	ROOF PLAN NOTES	2x8	2x8
SPAN: 1'-0" 1'-0"				

- ROOF PLAN NOTES**
- SEE GENERAL NOTES FOR ROOF NOTES.
 - SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ATK ACCESS PER CRC SECTION 8002.
 - PROVIDE AT LEAST 4 SQUARE FEET PER VENTILATING AREA SHALL BE 1:150 OF THE AREA OF THE VENTED SPACE. EXCEPT FOR THE MINIMUM VENT AREA SHALL BE 1:150 OF THE VENTED SPACE. PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - MIN. CLEARANCE: 7 AND 4 CLASS FOR 8 VAPOR RETARDER IS INSTALLED ON THE MAIN OR WITHIN 24" OF THE VENT.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 40 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET 0 IN AND BELOW THE RICE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATING PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION OF ABOVE THIS 3 FEET 0 IN FROM THE EDGE OF HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
 - CLAY AND CONCRETE ROOF TILES SHALL BE INSTALLED ON ROOF SLATES OF 2 1/2" X 12" OR GREATER PER R.O.P. SLATES (1994.1.2) TO 1 1/2" X 12" OR GREATER AND ONLY APPROX. 1/8" OVERLAP. IN ACCORDANCE WITH R.O.P. 3.5 (1994.1.2) CHC.
 - WOOD BATTENS ARE REQUIRED FOR CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER TILE MANUFACTURER'S INSTALLATION MANUAL.
 - WHERE ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMES OR THIS MANUFACTURER MUST ADD A BELL TO THE STEEPER PITCH TO ALLOW WITH THE LEAVE OF THE LOWER PITCH. ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE INDEX OF 16. MIN. THERMAL RESISTANCE OF 0.75 OR AGED SOLAR REFLECTANCE INDEX OF 16 FOR STEEPED-SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE INDEX OF 0.65 THERMAL RESISTANCE OF 0.75 OR AGED SOLAR REFLECTANCE INDEX OF 16 OF 75-100 PER CHC 19.20(1).



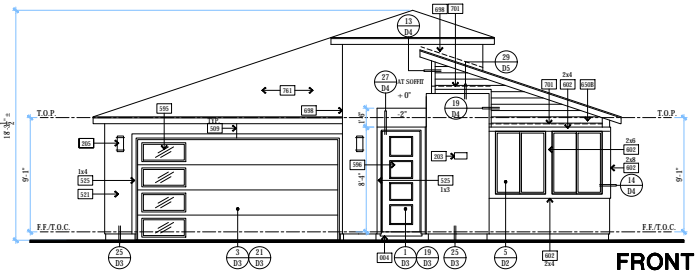
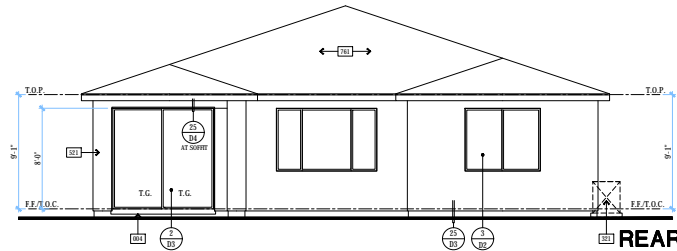
ATTIC VENTILATION CALCULATIONS

MIN. VENTILATION REQUIRED:	HIGH	LOW	TOTAL HIGH PROVIDED:	TOTAL LOW PROVIDED:
TOTAL	1222 sq. ft.	611 sq. ft.	594 sq. ft.	693 sq. ft.

MIN. VENTILATION REQUIRED:	TOTAL PROVIDED:
1222 sq. ft.	594 sq. ft.
611 sq. ft.	693 sq. ft.
TOTAL PROVIDED:	653 sq. ft.

ROOF PLAN KEY NOTES

Name	NOTE
R01	CLASS 'A' ROOFING - CONCRETE - FLAT TILE BY EAGLE ROOFING KC# ESR 1000
R02	EDGE OF WALL BELOW
R03	STUCCO CHASING
R04	STUCCO SHEET
R05	ROOF VENT - CHASING 'M' SERIES 'C' CLOAKED VENT (C# NER-961A)
R06	PROVIDE 1" CLEARANCE FROM THE ELECTRIC PANELS TO LOCATION IN ATTIC FOR PV SOLAR INSTALLATION. PROVIDE 6" CLEARANCE FROM SOLAR ROOF WITH WATER HEATER.
R07	PHOTOVOLTAIC SOLAR ARRAY
R08	MIN. 27" X 30" OPENING IN CALIFORNIA ROOF FRAMING CONFORMANCE FOR ATTIC ACCESS AND CROSS VENTILATION. CONTRACTOR TO VERIFY ACCESS TO ALL ATTIC AREAS.
R09	PROVIDE NON-COMBUSTIBLE FIBERGLASS (10 FEET ON CENTER) AT CONCEALED SPACES AT RAFTERS.



ELEVATION KEY NOTES

Name	NOTE
E01	CONCRETE FLOOR SLAB BY OTHERS SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
E02	CONCRETE STUCCO: 3/8" DEEP AND 7" WIDER THAN THE ROOF OPENING. SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED
E03	UTILITY EQUIPMENT AND SERVICE PANELS: VERIFY LOCATED
E04	ADDRESS PANEL: 4" MIN. HOLE BUILDING ADDRESS CHARACTERS PLACED IN PLACE A PROXIMATE TO THE PANELS VIEWED FROM THE STREET
E05	ACCENT EXTERIOR WALL LIGHT
E06	STUCCO CONTROL JOINT - SEE DETAIL 2500
E07	UNGLAZED SHOWN WITH ONE COAT (100 KC# 65) OR TWO (100 STUCCO TYPE I OR II PORTLAND CEMENT) INSTALL PER MANUFACTURER'S LISTING
E08	STUCCO OVER INSULATED FOAM FORM - FOAM SHAPE PER ELEVATION
E09	MANUFACTURER'S UNGLAZED STUCCO SHOWN VENEER - INSTALL PER MANUFACTURER'S INSTRUCTIONS. ADHERED MASONRY VENEER SPECIFICATIONS PER CRC SECTION 8014.2
E10	TINTED GLASS WINDOWS AT GARAGE DOOR
E11	FRONT DOOR WITH TINTED GLASS PANELS
E12	WOOD TRIMWORK - SEE FOR ELEVATION
E13	FRESH CEMENT LAY SIDING - 5/8" THICK HARDPLANK OR EQUIVALENT (PANEL SELECT CHARAMEL EXPOSURE: 6" INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)
E14	G.I. FLASHING AND COUNTER FLASHING AT RAKE WALLS AND ROOF TO WALL CONNECTIONS
E15	G.I. FLASHING
E16	EAGLE ROOFING KC# ESR 1000 CLASS 'A' 9 PSF - CONCRETE FLAT TILE

400 OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 4' ABOVE FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR. MUST BE PROTECTED BY L-GARD OR B-101 1/2" CLEAR GLASS. THE CLEAR BAY MUST HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. SEE CHC 146.1.3.2.

NOTE: WATER SENSITIVE BARRIER APPLIED OVER WOOD-BASE SHEATHING SHALL HAVE 2 LAYERS OF GARD OR PAPER APPLIED SHINGLE FASHION. R022 CHC R700.7.3

FINISHED GRADE VARIES. SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE.



WILSON HOMES

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D.

**REGENT PARK - PLAN 2007
CLOVIS**

CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

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1000 EXPRESS PARKWAY, SUITE 100, CLAYTON, CA 94520
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REVISIONS

NO.	DATE	DESCRIPTION

**PLAN 2007B
EXTERIOR ELEVATIONS
OPTIONS & ROOF PLAN**

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	MM
REVIEWED BY:	
1ST BLOC. MEET. SERIAL:	
BASED FOR CONSTRUCTION:	
JOB NUMBER:	
CAD FILE NAME:	
DATE:	03-02-23
SCALE:	A1.5

2023011.00 - PROGRESS SET 03-02-2023

ELEVATION KEY NOTES	
Name	NOTE
004	CONCRETE SLOOP - 3/4" DEEP AND 2" WIDER THAN THE DOOR OPENING. SLOOP 1/4" FROM FINISH TO MAIN R. DIRECTION INDICATED.
001	TRAY VENT POSITION AND COVER PANELS - VERIFY LOCATION.
003	ADDRESS PANEL 6" MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
005	ACCENT EXTERIOR WALL LOCATION - FIELD VENTRY HEIGHT WITH PICTURE TYPE.
001	MR. COMBUSTING CONDENSER LOCATION.
009	STUCCO CONTROL JOINT - SEE DETAIL 2706.
021	OMEGA HEMLOCK WALL ONE COAT (O1) K-C-ES ESR-1194 STUCCO TYPE FOR 1/4" PORTLAND CEMENT. INSTALL PER MANUFACTURER'S LISTING.
025	STUCCO OVER RIGID FOAM THERM. FOAM SHAPE PER DETAIL.
028	STUCCO OVER RIGID FOAM THERM. - SELF-SHAPE PER DETAIL.
029	TEMPERED GLASS WINDOWS AT GARAGE DOOR.
036	FRONT DOOR WITH TEMPERED OBSCURE GLASS PANELS.
042	WOOD TRIMMS - SEE PER ELEVATION.
050B	FRONT ENTRY LAP SIDING - 5/8" THICK WATERLAP OR EQUIVALENT. FINISH - SELECT CEDAR/ELM. EXPOSURE 6" (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS).
058	C-1 FLASHING AND COUNTER FLASHING AT BARK WALLS AND ROOF TO WALL CONNECTIONS.
061	C-1 FLASHING.
062	EAGLE ROOFING K-C ESR 1900, CLASS A, 9 PSF - CONCRETE LOW PROFILE 3" TIE.
ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 2' ABOVE FINISHED FLOOR AND MORE THAN 2' ABOVE FINISH GRADE OR OTHER FINISH BELOW IT, THE WINDOW MUST BE PROTECTED BY A GLAZED OR HAVE A FROD-GLASS. THE GLAZED MAY NOT HAVE OPENING THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. (SEE CIRC 446.13.2)	
NOTE: WATER RESISTIVE BARRIER APPLIED OVER WOOD-BASE SHEATHING SHALL HAVE 2 LAYERS OF GASKET IF PATCH APPLIED-SIMILAR FUNCTION. (SEE CIRC 7202.7.3)	
FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.	



ARCHITECTS, PLANNERS, DESIGNERS
ORANGE COUNTY · LOS ANGELES · BAY AREA · SACRAMENTO

WILSON HOMES

TRACT NUMBER: 6205
PROJECT TYPE: S.F.F.D.

REGENT PARK - PLAN 2007
CLOVIS, CALIFORNIA

CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

DR. WILLIAM HERRMANN ARCHITECTS, INC. 404 1/2
1000 GARDEN STREET, SUITE 100, CLOVIS, CA 95326
PH: 530.868.8888 FAX: 530.868.8889
WWW.WHA-ARCHITECTS.COM
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DATE: 03-02-23 DRAWN BY: SAK/MLP CHECKED BY: JPL/MLP

REVISIONS

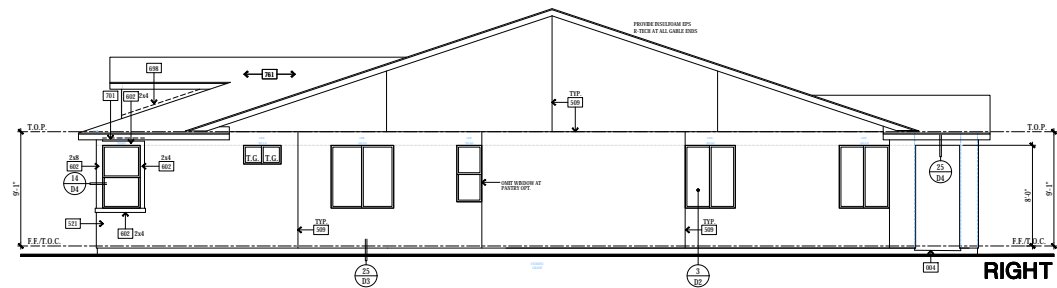
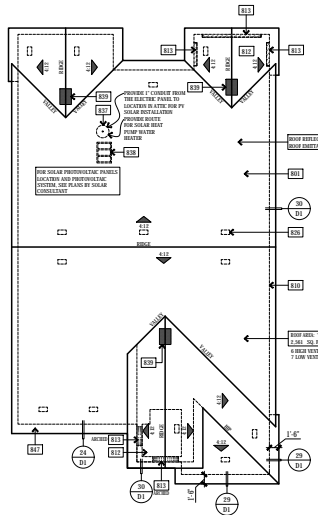
NO.	DATE	DESCRIPTION

PROGRESSIVE NAPAs
EXTERIOR ELEVATIONS
& ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	KA
INTERVIEWED BY:	
LISTED IN SEPT. SP. SERIALS:	
BASED FOR CONSTRUCTION:	
JOB NUMBER:	
CAD FILE NAME:	421

DATE: 03-02-23 A1.6

SCALE: 1/4" = 1'-0"



ROOF PLAN SCALE: 1/8" = 1'-0"

RELATION REFERENCE	C	ADJUSTED STRIP	PROGRESSIVE NAPAs
ROOF MATERIAL	STANDARD ROOF	SECTION	RANGE
CONCRETE FLAT TILE TAGS BARRING 2 1/4" X 10"	(Symbol)	2x6	2x6
		1'-0"	1'-0"

- ROOF PLAN NOTES**
- SEE GENERAL NOTES FOR ROOF NOTES.
 - SPLASH ARRESTERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ATTE ACCESS PER CIRC SECTION 8007.
 - PROVIDE ATTE A SLOTTED VENTILATION FOR CIRC SECTION 800A, PER CIRC SECTION 800B. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE. EXCEPT FOR THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - MINIMUM CLEARANCE ABOVE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE BELOW VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE SIDE OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE END OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE CORNER OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE CENTER OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE FACE OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE BACK OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE TOP OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE BOTTOM OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE SIDE OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE END OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE CORNER OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE CENTER OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE FACE OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE BACK OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE TOP OF THE VENT SHALL BE 1'-0" MIN.
 - MINIMUM CLEARANCE TO THE BOTTOM OF THE VENT SHALL BE 1'-0" MIN.
 - CLAY AND CONCRETE BLOCK SHALL BE INSTALLED ON TOP OF SLOOPS OF 2" TO 12" GRADES. PROVIDE SLOOPS MINIMUM 1/2" TO 1 1/2" DIAMETER UNLESS OTHERWISE SPECIFIED. NO REQUIRED BY ACCORDANCE WITH IRC S.1. (RANGE 2A CIRC).
 - WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER THE ROOFING MANUFACTURER'S INSTALLATION MANUALS.
 - WOOD ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAME ON TRUSS MANUFACTURER MUST ADD A BEAM TO THE STEEPER PITCH TO ALLOW THE SLOPE OF THE LOWER PITCH.
 - WOOD ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE OF 0.30 MIN. THERMAL EMITTANCE OF 0.75 OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 14 FOR STEEP SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE OF 0.43 THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 75 OR MORE PER CIRC 10.270.1.

SOLAR PHOTOVOLTAIC SYSTEMS

- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CIRC SECTION 50.16(A). INSTALLATION PER CIR SECTION 50.4 THROUGH 50.4.4 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - REFER TO SOLAR CONSULTANT PLANS FOR SEPARATE GENERAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.
- NOTE THAT NO ARCHITECTURAL, PLUMBING, EXHAUST VENTS, ROOF ATTE VENTS WILL BE PERMITTED WITHIN THE SOLAR PANEL AREA. WHERE APPLICABLE, COORDINATION AND COOPERATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT PRIOR TO PLACING THE ROOF VENT TERMINATIONS. REF: C.A. ENERGY CODE SECTION 110.10 AND CIRC SECTION 511.2.1.

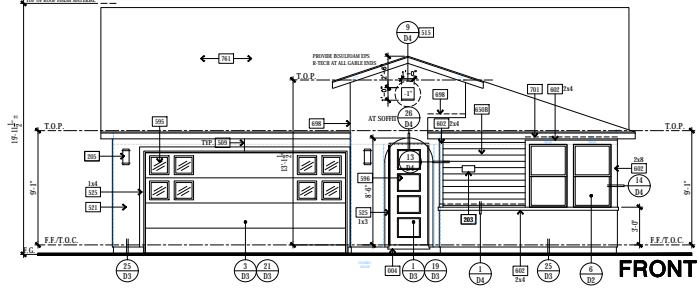
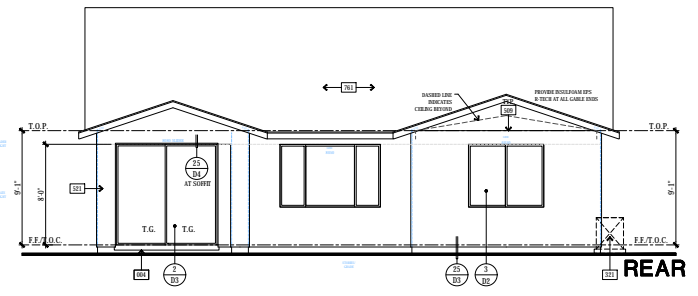
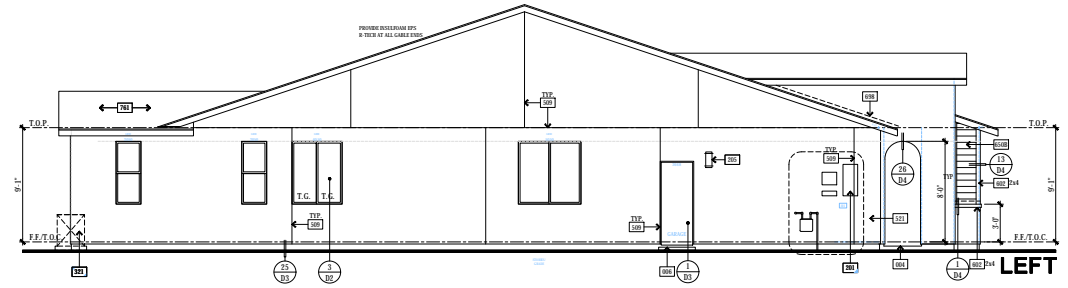
ROOF PLAN KEY NOTES

Name	NOTE
001	CLASS A ROOFING - CONCRETE - FLAT TILE - BY EAGLE ROOFING K-C ESR 1900
003	END OF WALL BELOW
012	STUCCO CHIMNEY
013	STUCCO SLOOP
028	ROOF VENT - (CHIMNEY TO SERIES) CLOUSED VENT (CVC 4 X 8X 1600)
037	PROVIDE 1" CONDUIT FROM THE ELECTRICAL PANEL TO LOCATOR IN ATTE FOR PV SOLAR INSTALLATION. PROVIDE ROUTE FOR SOLAR HEAT PUMP WATER HEATER
038	PHOTOVOLTAIC SOLAR ARRAY
039	MIN. 2" SLOPE OPENING IN CALIFORNIA ROOF FRAMING CONDENSERS FOR ATTE ACCESS AND CROSS VENTILATION. CONTRACTOR TO VERIFY ALIGNMENT TO ALL ATTE AREAS
047	PROVIDE NON-COMBUSTIBLE PRE-FLASHING (10 FEET ON CENTER) AT CONCEALED SPACE AT BAYES

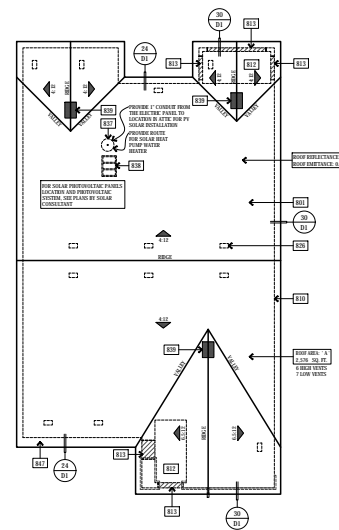
ATTIC VENTILATION CALCULATIONS

PLAN 2007C

ROOF ATTIC AREA	1287 SQ. FT.	CALCULATION FACTOR:	1/300
			42874 SQ. FT.
MIN. VENTILATION REQUIRED - TOTAL	1287 SQ. FT.	TOTAL PROVIDED:	1287 SQ. FT.
MIN. VENTILATION REQUIRED - HIGH	614 SQ. FT.	TOTAL HIGH PROVIDED:	594 SQ. FT.
MIN. VENTILATION REQUIRED - LOW	614 SQ. FT.	TOTAL LOW PROVIDED:	693 SQ. FT.
HIGH VENTILATION METHOD			
CLEANED VENT - CONC. FLAT TILE	SIZE	FREE AREA	QUANTITY
CLEANED VENT - CONC. FLAT TILE	50	504	9
		TOTAL PROVIDED:	594 SQ. FT.
LOW VENTILATION METHOD			
CLEANED VENT - CONC. FLAT TILE	SIZE	FREE AREA	QUANTITY
CLEANED VENT - CONC. FLAT TILE	50	693	14
		TOTAL PROVIDED:	693 SQ. FT.



2023011.00 - PROGRESS SET 03-02-2023



ROOF PLAN
SCALE: 1/8" = 1'-0"

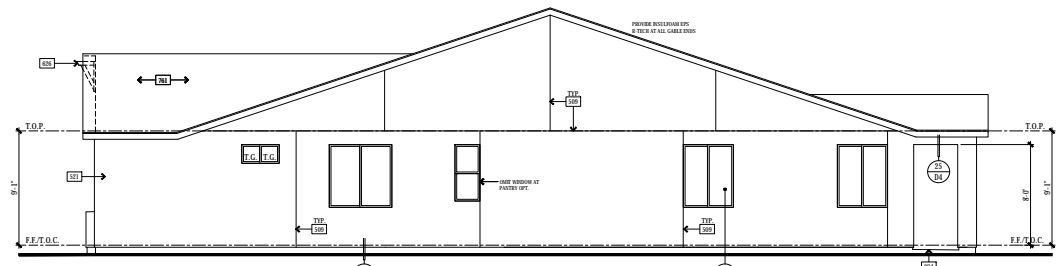
SECTION REFERENCE	D	SECTION TITLE	COTTAGE
ROOF MATERIAL		STANDARD ROOF	CONCRETE FLAT TILE
ROOF PITCH		2x6	2x6
OVERLAP		1'-0"	1'-0"

ROOF PLAN NOTES

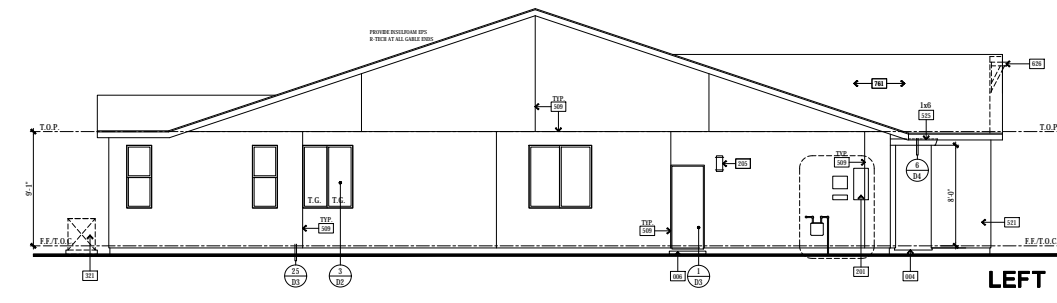
- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATTIC ACCESS FOR CRC SECTION R802.
- PROVIDE ATTE A VENTILATION PER CRC SECTION R802. PER CRC SECTION R802.4 THE EXCEPTED AIR MINIMUM OF FREE THERMAL AIR SHALL BE AROUND THE VENTED SPACE PROVIDED FOR EACH OF THE AIRING SYSTEMS. SEE DETAIL 1706.
- IN CLIMATE ZONES 6, 7 AND 8, A CLASS I OR II VAPOR RETARDER IS REQUIRED ON THE INSIDE OR OUTSIDE SIDE OF THE CLADDING.
- NOT LESS THAN 1/4" (6.35 MM) CLEARANCE SHALL BE MAINTAINED BETWEEN THE VENTILATION AIRWAYS AND THE ROOF OR WALL. THE VENTILATION AIRWAYS SHALL BE LOCATED AT THE BOTTOM OF THE ROOF OR AT THE TOP OF THE WALL OR CEILING. INSTALLATION OF MORE THAN 3 FEET (914 MM) BEYOND THE RIDGE OF HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- CLAY AND CONCRETE TILE ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH CALIFORNIA BUILDING CODE AND CALIFORNIA MECHANICAL CODE. TILE ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH BOLS 1.1. 0909.3.1.2.
- WOOD RAFTERS ARE REQUIRED OF CONCRETE OR CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER THE ROOFING MANUFACTURER'S INSTALLATION.
- WHERE RAFTERS WITH DIFFERENT PITCHES INTERSECT, BRACED OR TRUSS MANUFACTURER MUST ADD A BEAM TO THE STEEPER PITCH TO ALLOW FOR THE LOWER PITCH.
- ROOF SHALL HAVE MIN. AGE-SOLAR REFLECTANCE INDEX (SRI) MIN. THERMAL EMITTANCE OF 0.75 OR AGE-SOLAR REFLECTANCE INDEX (SRI) OF 0.80, STEEPER SLOPES. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGE-SOLAR REFLECTANCE OF 0.63 THERMAL EMITTANCE OF 0.75 OR AGE-SOLAR REFLECTANCE INDEX (SRI) OF 0.75 OR MORE PER CEC-120.3(B)(1)

SOLAR PHOTOVOLTAIC SYSTEMS

- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CRC SECTION 160.104.1 INSTALLATION PER CRC SECTION 160.104.2 THROUGH 160.104.2.2 CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S SPECIFICATIONS. SEE DETAIL 1706.
 - REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.
- NOTE THAT NO MECHANICAL PLUMBING APPLICABLE VENTS, ROOF ATTIC VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA. WHERE APPLICABLE, CONSIDERATION AND COORDINATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE UPPER VENT TERMINATION. SEE CALIFORNIA CODE SECTION 160.104 AND CRC SECTION 3.11.2.2.



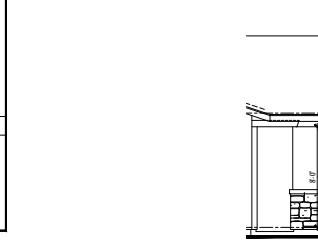
RIGHT



LEFT

ATTIC VENTILATION CALCULATIONS PLAN 2007D

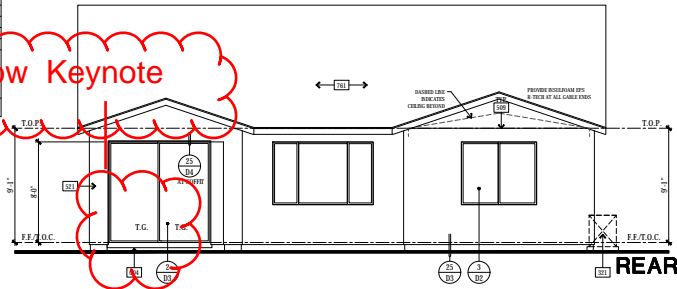
ROOF ATTIC AREA	A	2576	sq. ft.	CALCULATION FACTOR:	1,300
MIN VENTILATION REQUIRED: TOTAL	1235	sq. in.	TOTAL PROVIDED:	1287	sq. in.
MIN VENTILATION REQUIRED: HIGH	618	sq. in.	TOTAL HIGH PROVIDED:	594	sq. in.
MIN VENTILATION REQUIRED: LOW	618	sq. in.	TOTAL LOW PROVIDED:	693	sq. in.



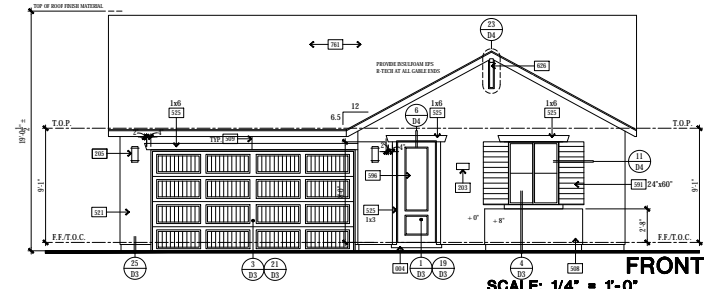
PARTIAL RIGHT

FRONT W/OPT. STONE VENEER

PARTIAL LEFT



REAR



FRONT
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

Name	NOTE
401	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
402	SCREENS PANEL 4" MIN. HIGH BEING HIGHEST CHARACTERISTICS PLACED IN SUCH A MANNER TO BE PLAINLY VISIBLE FROM THE STREET.
403	ACCENT EXTERIOR WALL LIGHT
404	MIN. COORDINATING CONSIDERATION LOCATION
405	STUCCO CONTROL JOINT - SEE DETAIL 2905
406	OMEGA BRANDED WALL ONE COAT (BO) KC'S ESR-1194 STUCCO TYPE I OR II PORTLAND CEMENT - INSTALL PER MANUFACTURER'S LISTING
407	STUCCO OVER BRIDG FROAM TERN - FOAM SLABS PER ELEVATION
408	MANUFACTURED ADHERED STUCCO STONE VENEER - INSTALL PER MANUFACTURER'S SPECIFICATIONS. BRANDED MANUFACTURER REQUIREMENTS PER CRC SECTION 160.12
409	DECORATIVE SHUTTER CASE AND STYLE PER ELEVATIONS SEE DETAIL 1706
410	FRONT DOOR WITH TEMPORARY OBSCURE GLASS PANELS
411	WOOD TERRACE - SEE PER ELEVATION
412	OUTLOOKER DISCREETLY - WOOD CASE PER ELEVATION
413	C1 FLASHING AND COVERED FLASHING - AT EAVE WALLS AND ROOF TO WALL CONNECTIONS
414	C2 FLASHING
415	EAGLE ROOFING KC'S ESR 1900 CLASS 'A' 9 PSF - CONCRETE FLAT TILE

AN OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 2' ABOVE FINISHED FLOOR AND MORE THAN 2' ABOVE FINISHED GRADE OR OTHER SURFACE AT THE EXTERIOR, MUST BE PROTECTED BY A GLAZED OR GLASS FIBER GLASS. THE GLAZED MAY NOT HAVE OPENINGS THAT A JOINT OF 1/8" MAXIMUM GAP PASS THROUGH. SEE CRC 160.12.2

NOTE: WATER RESISTIVE BARRIER APPLIED OVER WOOD-MASS SHEATHING SHALL HAVE 2 LAYERS OF GRADE UP PAPER APPLIED SINGLE FASHION. 2022 CRC 8703.7.3

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.



WILSON HOMES

REGENT PARK - PLAN 2007
CLOVIS
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D.

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REVISIONS

NO.	DATE	DESCRIPTION

PLAN 2007D
EXTERIOR ELEVATIONS
OPTIONS & ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	MB
INTERVIEWD BY:	
1ST BLOCK SEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	
CAD FILE NAME:	

DATE: 03-02-23
A1.7

2023011.00 - PROGRESS SET 03-02-2023

Show Keynote

COTTAGE

422

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REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 2007E
 EXTERIOR ELEVATIONS
 OPTIONS & ROOF PLAN

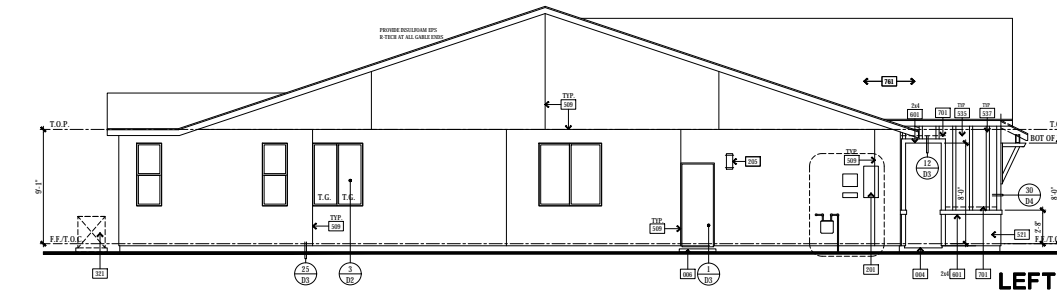
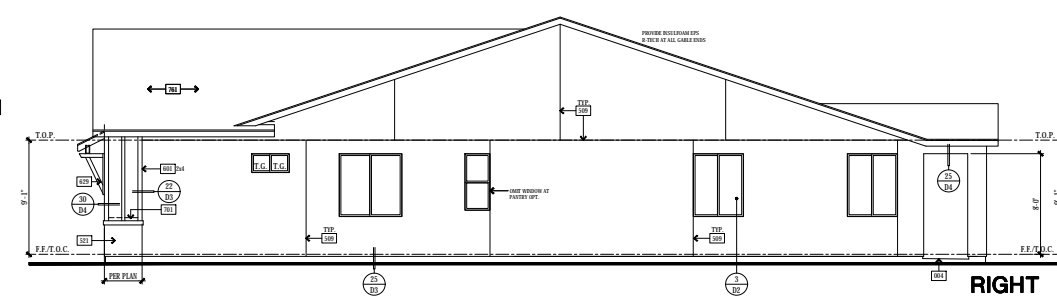
PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	MB
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1ST BLOC. SEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	
CAD FILE NAME:	423
DATE:	03-02-23
SCALE:	A1.8

ELEVATION KEY NOTES	
Name	NOTE
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
006	CONCRETE STOOD - 30" DEEP AND 2" WIDER THAN THE DOOR OPENING - SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED.
010	STEEL POWERPOW AND SERVICE PANELS - VERIFY LOCATION.
013	ADDRESS PANEL - 4" MIN. RICH BUILDING ADDRESS CHARACTERS PLACED IN SLICER POSITION TO BE PLACED VISIBLE FROM THE STREET.
015	ACCENT EXTERIOR WALL LIGHT.
021	AIR CONDENSING CONDENSER LOCATION.
029	STUCCO CORNER - 300' DETAIL DETAIL.
031	FRAMES HANDING WALL ONE COAT (BY EC - ESR-1194 STUCCO TYPE 108 11 PORTLAND CEMENT) INSTALL PER MANUFACTURER'S LISTING.
033	STUCCO OVER REND STONE EXTER. FRAME SLABS PER ELEVATION.
035	CLIMBSTOP VERTICAL PANEL OVER 2 LAYERS BUILDING PAPER OVER 1/2" PLYWOOD SHEATHING OVER EPS FOAM BOARD OVER BUILDING PAPER. NOTE: EPS FOAM BOARD MAY BE OMITTED AT NON-BUTTABLE SPACES PROVIDED THE WALL PLANS SET.
037	1/2" WOOD RAFTERS AT 24" O.C.
051	MANUFACTURED ADHESIVE STUCCO STONE VENEER - INSTALL PER MANUFACTURER'S INSTRUCTIONS. BY TL DORLAND STONE EC-45 BR-3540.
091	PERFORATED SHUTTER CASE AND STYLE PER ELEVATION. SEE DETAIL 1709.
093	TEMPERED GLASS WINDOWS AT GARAGE DOOR.
096	FRONT DOOR WITH TEMPERED GLASS PANEL.
061	WOOD TRIM - SEE PER ELEVATION.
028	OUTDOOR ASSEMBLY - WOOD (SEE PER ELEVATION).
029	WIDE BRACE OUTDOOR WOOD ASSEMBLY (SEE PER DETAIL).
069	2" FLOORING AND COUNTER-FLOORING - AT BALK WALKS AND ROOF TO WALL CONNECTORS.
091	2" FLOORING.
093	EDGE ROOFING EC-4 ESR 1000, CLASS A, 9 PSF - CONCRETE FLAT TILE.

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 4' ABOVE FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED GRADE OR OTHER FINISHED SURFACE AT THE EXTERIOR, MUST BE PROTECTED BY A GARAGE OR HAVE A PROOF GLASS. THE GARAGE MAY NOT HAVE OPERABLES THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. (SEE CH. 1405.1.2)

NOTE: WATER RESISTIVE BARRIER APPLIED OVER WOOD BASE SHEATHING SHALL HAVE 2 LAYERS OF GARBOL PAPER APPLIED SINGLE PAPER. (SEE CH. 1405.1.1)

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.



ATTIC VENTILATION CALCULATIONS			
ROOF ATTIC AREA	PLAN 2007E	ROOF AREA	PLAN 2007E
2576	1,300	2576	1,300
MIN. VENTILATION REQUIRED: TOTAL	1235	TOTAL PROVIDED:	1287
MIN. VENTILATION REQUIRED: HIGH	618	TOTAL HIGH PROVIDED:	594
MIN. VENTILATION REQUIRED: LOW	618	TOTAL LOW PROVIDED:	693

HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLEARED VENT - CONC. FLAT TILE	39	52.8	6	316.8
TOTAL PROVIDED:				316.8

LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLEARED VENT - CONC. FLAT TILE	59	52.8	6	316.8
TOTAL PROVIDED:				316.8

ROOF PLAN
 SCALE: 1/8" = 1'-0"

DESIGNER REFERENCE	E	REVISIONS	DATE

ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATTIC ACCESS PER CIRC SECTION 2006.
- PROVIDE ATTIC 2" CONDENS FROM THE ELECTRIC PANEL TO LOCATION AT ATTIC FOR PV SOLAR INSTALLATION. PROVIDE BOTTLE FOR SOLAR HEAT PUMP WATER HEATER.
- PROVIDE 1" CONDENS FROM THE ELECTRIC PANEL TO LOCATION AT ATTIC FOR PV SOLAR INSTALLATION. PROVIDE BOTTLE FOR SOLAR HEAT PUMP WATER HEATER.
- PROVIDE NON-COMBUSTIBLE FIREBLOCKING (14 FEET ON CENTER) AT CONCEALED SPACE AT EAVES.

SOLAR PHOTOVOLTAIC SYSTEMS

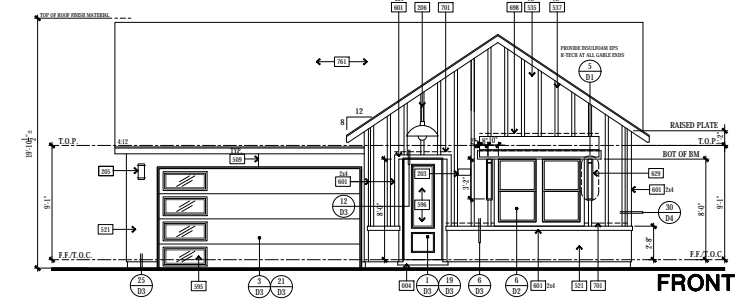
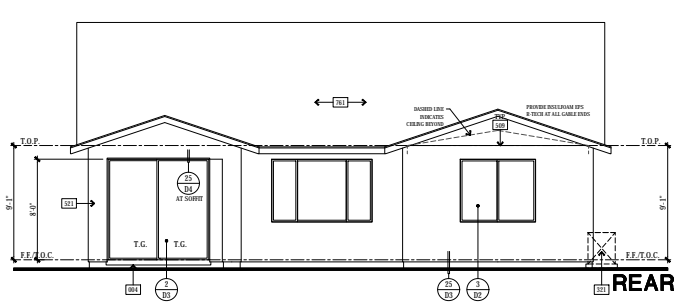
- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CEC, SECTION 16.10.1. INSTALLATION PER CEC SECTION 26.1 THROUGH 26.4 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- REFER TO SOLAR CONSULTANT PLANS FOR SPACED SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.

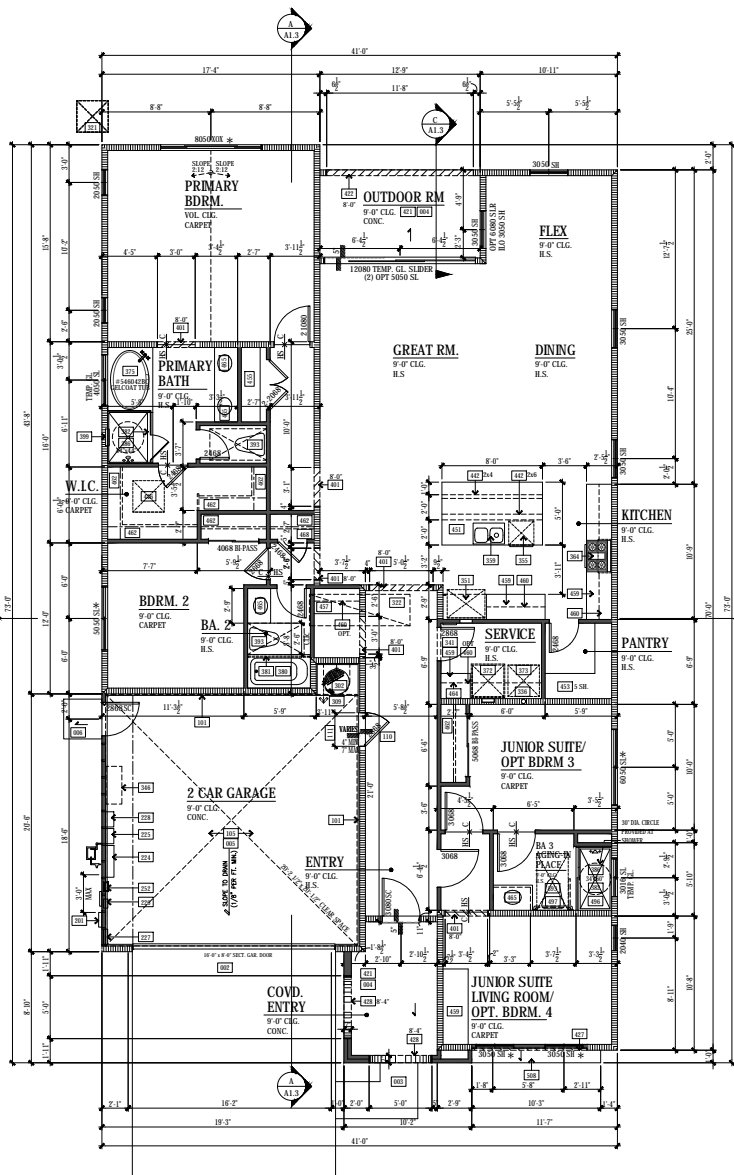
NOTE: THE 60 MINUTE FIREBLOCKING SHALL BE INSTALLED ON ROOF SLIPS OF 2" TO 4" OR GREATER FOR ROOF SLIPS WITH 2" TO 4" O.C. DEPEND UNDERLAMENT APPLICATION AS REQUIRED IN ACCORDANCE WITH BOLS 5.3, BOLS 5.2 CEC.

WOOD RAFTERS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7.5% PER THE ROOFING SYSTEMS INSTALLATION MANUAL.

WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A RIB TO THE STEEPER PITCH TO ALIGN WITH THE EAVE OR THE LOWER PITCH. ROOF SHALL HAVE MIN. ACED SOLAR REFLECTANCE OF 0.8. MIN. THERMAL EMITTANCE OF 0.25. OR ACED SOLAR REFLECTANCE INDEX (SRI) OF 75 OR MORE FOR STEEP ROOFS. ROOF SHALL HAVE A MIN. ACED SOLAR REFLECTANCE OF 0.63 THERMAL EMITTANCE OF 0.15. OR ACED SOLAR REFLECTANCE INDEX (SRI) OF 75 OR MORE PER CBS 154.5(B)(1).

ROOF PLAN KEY NOTES	
Name	NOTE
001	CLASS 1 ROOFING - CONCRETE - FLAT TILE - BY EDGE ROOFING EC # ESR 1000
010	LINE OF WALL BELOW
012	STUCCO CHANG
013	STUCCO SOFFIT
016	ROOF VENT - "ORANGE" 18" SERIES' COATED VENT (EC # MSR-0606A)
027	PROVIDE 1" CONDENS FROM THE ELECTRIC PANEL TO LOCATION AT ATTIC FOR PV SOLAR INSTALLATION. PROVIDE BOTTLE FOR SOLAR HEAT PUMP WATER HEATER
038	PHOTOVOLTAIC SOLAR PANEL
039	MR. 2" SIP SPACING IN CALIFORNIA ROOF FRAMING CONDENSERS FOR ATTIC ACCESS AND CONDENSATION. CONSIDERATION AND COORDINATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DRYER VENT TERMINATION. REF CA ERSRC CODE SECTION 110.9 AND CEC SECTION 3111.1.1





FLOOR PLAN

BDRM #3 & BDRM #4 I/O OF JUNIOR SUITE & JUNIOR SUITE LIVING ROOM

FLOOR PLAN NOTES

- REFER TO ARCHITECTURAL SYMBOL LEGEND ON SHEET C1 FOR ADDITIONAL INFORMATION AND CLEARANCES.
- ATTIC ACCESS PER CRC B301. RAFTERS/POPS PER CRC R301.4 AND VENTILATION PER B301.
- CLEAR SPACES ACCESS PER CRC R301.4 AND VENTILATION PER B301.1.
- EMERGENCY ESCAPE AND RESCUE OPENINGS PER CRC R301.4 & R301.6 MEANS OF EGRESS PER CRC R101. CLADDING PER CRC R301.1, R301.2.1 & R301.6.
- COMBUSTIBLE AIR TO BE EXHAUSTED AIR USE PER CRC CHAPTER 7.
- COMBUSTIBLE AIR TO WATER HEATER PER CRC SECTION 604.6.
- ENVIRONMENTAL AIR SYSTEMS PER CRC SECTION 604.
- METHEANOL REMOVAL LOCATION AND PROTECTION AGAINST DAMAGE PER CRC 305.
- MANDATORY REQUIREMENTS FOR APPLIANCES PER CRC SECTION 101.1.
- THE SILL HEIGHT IS NOT TO EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. CRC R301.1.
- IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 4" ABOVE THE FINISHED FLOOR AND MORE THAN 27" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GLASS OR GLASS-FIBER GLASS. THE GLASS IS NOT TO HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. CRC R312.2.
- A SHROTTING VALVE INSPECTION IS REQUIRED. CRC R309.1.4.2.
- CLADDING IN A REAR/SIDE LOADING IS REQUIRED TO BE CLASSED WITH SAFETY MATERIAL. CRC R308.
- VERTICAL CLEARANCE ABOVE THE CORNER TO COMBUSTIBLES IS 30" UNPROTECTED, OR 4" IF PROTECTED AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. CM 304.4 & 304.5.
- THE WALL SURFACE ABOVE CHIMNEY TIE OR OTHER PENETRATION WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT APPARENTLY AFFECTED BY WATER. WITH THE USE OF FREE CEMENT, FINISH MAT, REDUCED CEMENT OR GLASS MAT CYTOLIN BACKERS ON THE FLOOR PLAN. NOTE THAT WATER RESISTANT CYTOLIN BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. CRC R304.4.
- NOTE THAT ALL ATTIC ACCESS OPENINGS ARE CASKEDED TO PREVENT AIR LOSS. CRC 130.4.4.
- A MANDATORY 6" DIA. CIRCLE IS PROVIDED AT THE SHOWER FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 104.4 SQUARE INCHES. CRC 608.6.

FLOOR PLAN KEY NOTES

Name	NOTE
402	CONCRETE SLAB (BY OTHERS)
403	CONCRETE WALL (BY OTHERS)
404	CONCRETE FLOOR SLAB (BY OTHERS) - SLOPE 1/4" PER FOOT MIN FROM THE EXTERIOR TO INDICATED REFER TO LANDSCAPE AND WATER DRAINAGES
405	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM TO EXTERIOR
406	CONCRETE FLOOR - 3" SLOPE AND 7" MIN FROM THE EXTERIOR TO EXTERIOR
407	GARAGE AND/OR CARPORT (BY OTHERS) SHALL BE PROTECTED FROM COLLAPSE BY THE EXISTING OR NEW STRUCTURE TO BE 17' O.P. OR, OR OTHERWISE APPLIED TO THE GARAGE SLAB.
408	GARAGE AND/OR CARPORT (BY OTHERS) SHALL BE PROTECTED FROM COLLAPSE BY THE EXISTING OR NEW STRUCTURE TO BE 17' O.P. OR, OR OTHERWISE APPLIED TO THE GARAGE SLAB.
409	PROTECT SOLE WOOD DOOR, OR SILL OR WINDOW OR CASE STEEL DOORS NOT LESS THAN 1/4" THICK, OR IN THE LATTER DOOR, DOOR SHALL BE SELF-CLOSING AND SELF-LATCHING PER CRC SECTION 101.1.
410	PROTECT SOLE WOOD DOOR, OR SILL OR WINDOW OR CASE STEEL DOORS NOT LESS THAN 1/4" THICK, OR IN THE LATTER DOOR, DOOR SHALL BE SELF-CLOSING AND SELF-LATCHING PER CRC SECTION 101.1.
411	DOORS SHALL BE PROVIDED A CLEAR WIDTH OF NOT LESS THAN 30 INCHES MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES.
412	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
413	LOCATION OF SYSTEM QUALITY TRANSFER POINTS IDENTIFIED NOT REQUIRED.
414	1/4" X 1/4" PVC CRACK FILLER, NO PROTECTION REQUIRED
415	ACCESS PANEL
416	BACKLASH PANEL
417	SPLIT DOOR
418	SOLAR SHIELD DOOR
419	SHOWER GLASS DOOR WITH WATER HEATER (IF PLASTIC NOT REQUIRED BUT WILL BE PROVIDED FOR CONVENIENT LIFE DRAINAGE PURPOSES, PROTECT FROM DAMAGE PER CRC SECTION 601.1.1. SHOWER PROTECTION PER CRC SECTION 607.1. WATER STOP, TYPIC, FOR PERG. AND TRAP PER CRC 104.4 & A WATER BULBING SYSTEM PER CRC 104.4.4.
420	COMBUSTIBLE AND PRESSURE RESISTANT WALL - RECALCULATE LBN TO THE OUTSIDE OVER PER CRC SECTION 608.1.
421	AN EXTERIOR VENTILATION LOCATION
422	PROTECT AIR UNIT (BY SITE INSTALLATION)
423	6" DIA. CL BLOWER WITH APPROVED LIFT TRAP - VERIFY THROUGH ROOF
424	1/4" W/4" BRASS OR VEST APPROV. DOOR - VERIFY CUT THE DOOR - FIN
425	WALL BUILDING MATERIAL PER CRC SECTION 602.1 PER CRC SECTION 604.4.
426	LOCATION OF ENERGY STORAGE SYSTEM (ESS) PER CRC 104.5A. LOCATION PER CRC SECTION 101.1.1 AND 102.4.
427	INSULATION DOOR WITH RECESSED WATER DOOR
428	DOOR WITH CARBIDE SPOILER
429	DOOR FRAME - EXTERIOR DOOR
430	CORNER OF EXTERIOR DOOR WITH FIN AND LEAKY EXHAUST VIEW TO WITHSTAND THE VERTICAL CLEARANCE ABOVE THE CORNER TO COMBUSTIBLES IS 30" UNPROTECTED, OR 4" IF PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE MARKING LISTED ON THE UNIT. SILL: CRC R312.1 & R312.4.
431	WATERPROOF SPACE WITH RECESSED WATER DOOR AND OIL - WIRE SHIMMY PIN
432	SHOWER GLASS - SEE PER PLAN
433	EXTERIOR DOOR - SEE PER PLAN
434	WATERPROOF SHOWER DOOR (MIN. 2" WATER) EXCLUSIVE
435	SHOWER - WATERPROOFED SHALL 1/2" DIA. CIRCLE PROVIDED - SEE PER PLAN (MIN. 1.00 L4.4 FLOOR AREA)
436	PERFORATED DOOR
437	TRAP - PROVIDE MINIMUM 1/4" X 1/4" CLEAR FLOOR AREA IN FRONT OF TRAP
438	1/4" X 1/4" BRASS DOOR - VERIFY CUT THE DOOR - FIN
439	EXTERIOR DOOR (BY OTHERS) - VERIFY CUT THE DOOR - FIN
440	8" W/4" ATTIC ACCESS - DIMENSIONS ARE CLEAR. PER CRC 104.5A.4. ATTIC ACCESS DOOR SHALL HAVE PERMANENTLY ATTACHED BOLLARDS (LONG AMBUSH OR MECHANICAL FASTENERS AND THE ATTIC ACCESS SHALL BE CASKEDED TO PREVENT AIR LEAKAGE)
441	STEEL CASE - HEIGHT PER PLAN
442	STEEL CASE - HEIGHT PER PLAN
443	STEEL CASE - HEIGHT PER PLAN
444	STEEL CASE - HEIGHT PER PLAN
445	STEEL CASE - HEIGHT PER PLAN
446	STEEL CASE - HEIGHT PER PLAN
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455	STEEL CASE - HEIGHT PER PLAN
456	STEEL CASE - HEIGHT PER PLAN
457	STEEL CASE - HEIGHT PER PLAN
458	STEEL CASE - HEIGHT PER PLAN
459	STEEL CASE - HEIGHT PER PLAN
460	STEEL CASE - HEIGHT PER PLAN

SEE SHEET A1.1.2 FOR ADDENDA FLOOR PLANS

NAILING SCHEDULE IS IN SHEET SD.2

FLOOR PLAN LEGEND

- [Symbol] = 2 x 6 D.F. #2 AT 16" O.C.
- [Symbol] = 2 x 4 D.F. #2 AT 16" O.C.
- [Symbol] = 4" DIA. BRICKS WINDOW REQUIRED FOR EMERGENCY ESCAPE AND RESCUE WINDOW TO MEET THE REQUIREMENTS OF CRC R301.4. 5" SQUARE FEET NET CLEAR OPENING SIZE REQUIRED FOR MINIMUM EGRESS
- [Symbol] = 30 INCHES MINIMUM OPENING HEIGHT DIMENSION
- [Symbol] = 30 INCHES MINIMUM NET CLEAR OPERABLE WIDTH DIMENSION
- [Symbol] = 44 INCHES MINIMUM NET HEIGHT OF WINDOW SILL FROM FINISH FLOOR REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL



INTERIOR ELEVATION KEY

FLOOR AREA TABLE		PLAN 2162A	
FLOOR PLAN	TOTAL	2162 SQ. FT.	2162 SQ. FT.
GARAGE		431 SQ. FT.	
COVERED ENTRY/PORCH		79 SQ. FT.	
OUTDOOR ROOM		89 SQ. FT.	

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

AGENDA ITEM NO. 13.

ORANGE COUNTY LOS ANGELES BAY AREA SACRAMENTO



TRACT NUMBER: 6205
PROJECT TYPE: S.F.D.

REGENT PARK - PLAN 2162
CLOVIS
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

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REVISIONS

NO.	DATE	DESCRIPTION

PLAN 2162A
FLOOR PLAN & OPTIONS

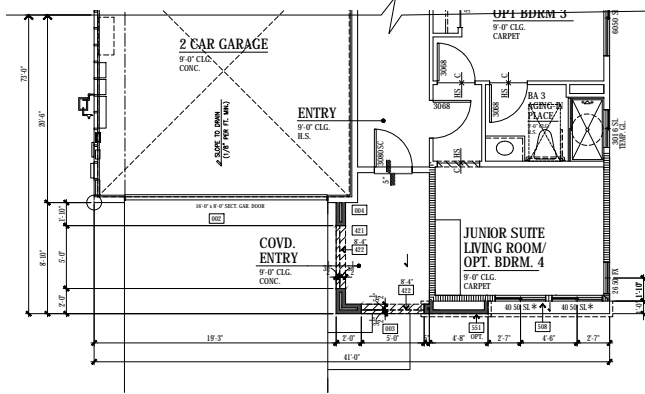
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DESIGNER:	AM		
DRAWN BY:	BA		
INTERVIEW:			
1ST PLAC. SEPT. SUBMITTAL:			
2ND FOR CONSTRUCTION:			
JOB NUMBER:	216201.00		
CAD FILE NAME:	A1.1.1		

DATE: 03-07-23

SHEET: A1.1.1

2023011.00 - PROGRESS SET 03-02-2023

CONTEMPORARY SPANISH



PARTIAL LOWER FLOOR PLAN 2162B - MODERN

FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE BY OTHERS
003	CONCRETE WALK BY OTHERS
004	CONCRETE POWER SLAB BY OTHERS - SLOPE 1/4" PER FOOT MINIMUM 2% SLOPE TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
006	STUCCO CHECK HEIGHT PER PLAN
007	STUCCO SMOKE HEIGHT PER PLAN
008	MANUFACTURED ADHESED STUCCO SHOWN VENEER - INSTALL PER MANUFACTURER'S INSTRUCTIONS. ADDRESS ANY OTHER VENEER REQUIREMENTS PER CEC SECTION 810.12.
009	WATERPROOFED STUCCO SHEET - SLOPE 1/4" PER FOOT
010	EMERALD BRAND WALL ONE COAT (BA 3) OR BA 3S FOR 1/4" STUCCO TYPE FOR 1/4" PORTLAND CEMENT. INSTALL PER MANUFACTURER'S LISTING.
011	5/8" THICK CONCRETE LIP SLOPE - 5/8" THICK HANDPLANK OR EQUIVALENT FINISH SELECT FINISHES. EXPLORE IF INSTALLATION PER MANUFACTURER'S INSTRUCTIONS ACC-485 NEER-485

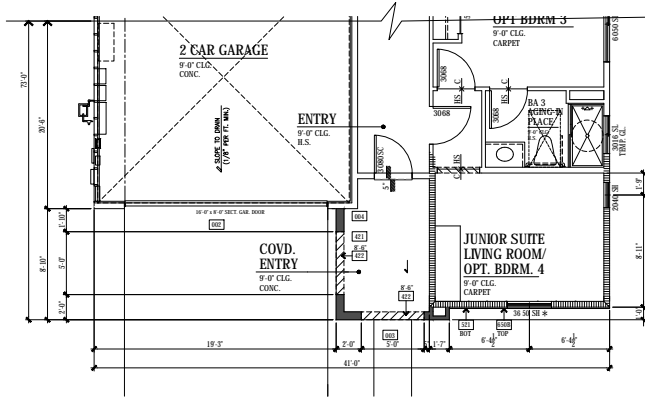
AGENDA ITEM NO. 13.

ARCHITECTS: PLANNERS, DESIGNERS
ORANGE COUNTY LOS ANGELES BAY AREA SACRAMENTO

FLOOR AREA TABLE	PLAN 2162B
FLOOR PLAN	2162 SQ. FT.
TOTAL	2162 SQ. FT.
GARAGE	431 SQ. FT.
COVERED ENTRY PORCH	79 SQ. FT.
OUTDOOR ROOM	89 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WILSON HOMES



PARTIAL LOWER FLOOR PLAN 2162C - PROGRESSIVE NAPA

FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE BY OTHERS
003	CONCRETE WALK BY OTHERS
004	CONCRETE POWER SLAB BY OTHERS - SLOPE 1/4" PER FOOT MINIMUM 2% SLOPE TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
006	STUCCO CHECK HEIGHT PER PLAN
007	STUCCO SMOKE HEIGHT PER PLAN
008	EMERALD BRAND WALL ONE COAT (BA 3) OR BA 3S FOR 1/4" STUCCO TYPE FOR 1/4" PORTLAND CEMENT. INSTALL PER MANUFACTURER'S LISTING.
009	5/8" THICK CONCRETE LIP SLOPE - 5/8" THICK HANDPLANK OR EQUIVALENT FINISH SELECT FINISHES. EXPLORE IF INSTALLATION PER MANUFACTURER'S INSTRUCTIONS ACC-485 NEER-485

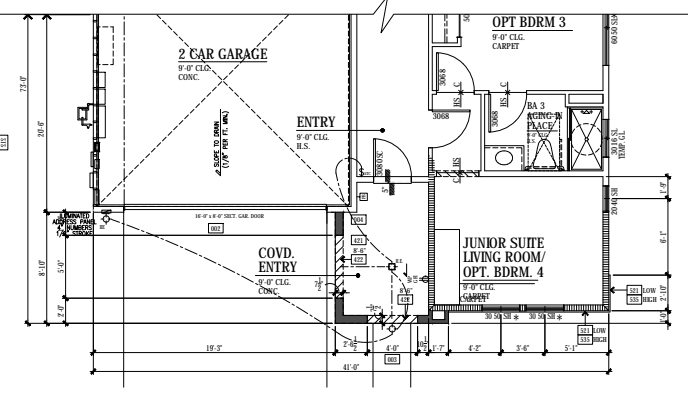
FLOOR AREA TABLE	PLAN 2162C
FLOOR PLAN	2162 SQ. FT.
TOTAL	2162 SQ. FT.
GARAGE	431 SQ. FT.
COVERED ENTRY PORCH	79 SQ. FT.
OUTDOOR ROOM	89 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

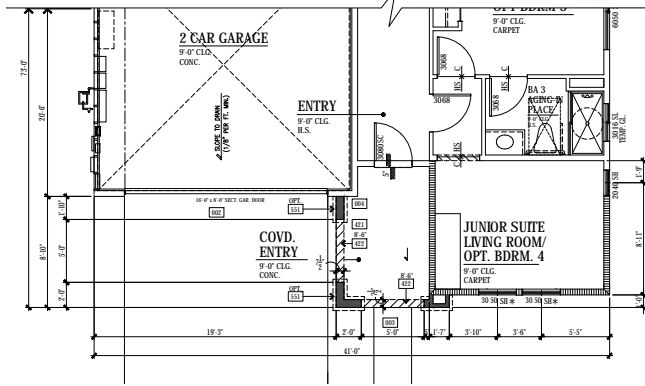
FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE BY OTHERS
003	CONCRETE WALK BY OTHERS
004	CONCRETE POWER SLAB BY OTHERS - SLOPE 1/4" PER FOOT MINIMUM 2% SLOPE TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
006	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
007	STUCCO CHECK HEIGHT PER PLAN
008	STUCCO SMOKE HEIGHT PER PLAN
009	EMERALD BRAND WALL ONE COAT (BA 3) OR BA 3S FOR 1/4" STUCCO TYPE FOR 1/4" PORTLAND CEMENT. INSTALL PER MANUFACTURER'S LISTING.
010	5/8" THICK CONCRETE LIP SLOPE - 5/8" THICK HANDPLANK OR EQUIVALENT FINISH SELECT FINISHES. EXPLORE IF INSTALLATION PER MANUFACTURER'S INSTRUCTIONS ACC-485 NEER-485

FLOOR AREA TABLE	PLAN 2162E
FLOOR PLAN	2162 SQ. FT.
TOTAL	2162 SQ. FT.
GARAGE	431 SQ. FT.
COVERED ENTRY PORCH	81 SQ. FT.
OUTDOOR ROOM	89 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



PARTIAL LOWER FLOOR PLAN 2162E CONTEMPORARY FARMHOUSE



PARTIAL LOWER FLOOR PLAN 2162D - COTTAGE

FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE BY OTHERS
003	CONCRETE WALK BY OTHERS
004	CONCRETE POWER SLAB BY OTHERS - SLOPE 1/4" PER FOOT MINIMUM 2% SLOPE TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
006	STUCCO CHECK HEIGHT PER PLAN
007	STUCCO SMOKE HEIGHT PER PLAN
008	EMERALD BRAND WALL ONE COAT (BA 3) OR BA 3S FOR 1/4" STUCCO TYPE FOR 1/4" PORTLAND CEMENT. INSTALL PER MANUFACTURER'S LISTING.
009	5/8" THICK CONCRETE LIP SLOPE - 5/8" THICK HANDPLANK OR EQUIVALENT FINISH SELECT FINISHES. EXPLORE IF INSTALLATION PER MANUFACTURER'S INSTRUCTIONS ACC-485 NEER-485

FLOOR AREA TABLE	PLAN 2162D
FLOOR PLAN	2162 SQ. FT.
TOTAL	2162 SQ. FT.
GARAGE	431 SQ. FT.
COVERED ENTRY PORCH	81 SQ. FT.
OUTDOOR ROOM	89 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

ADDENDA FLOOR PLAN NOTES	
NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.	
NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.	
REFER TO BASE PLAN SHEET A1.1.1 FOR ADDITIONAL NOTES AND DIMENSIONS.	

SCALE: 1/4" = 1'-0"

B MODERN - C PROGRESSIVE NAPA - D COTTAGE - E PROGRESSIVE FARMHOUSE
REGENT PARK - PLAN 2162
CLOVIS

CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

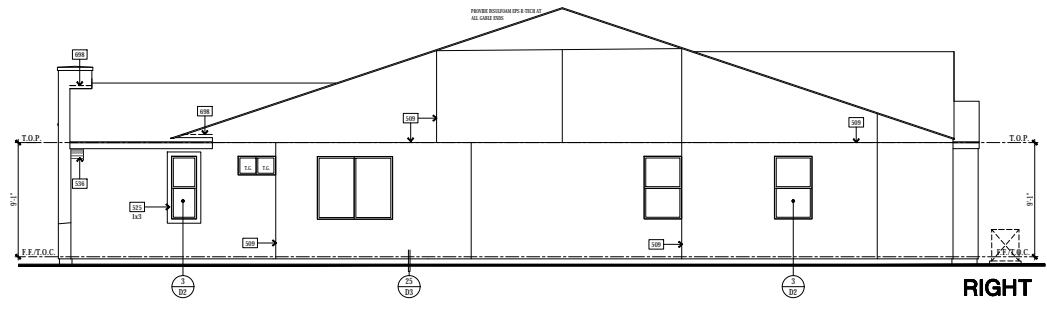
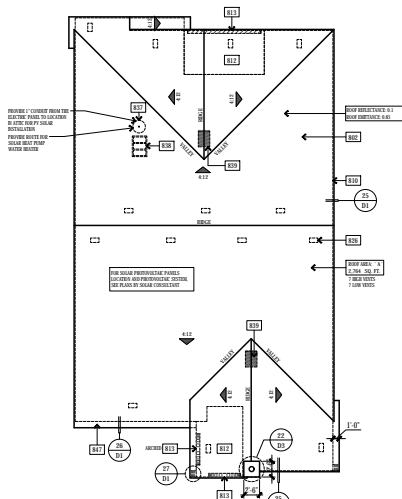
TRACT NUMBER: 6205
PROJECT TYPE: S.F.D.

REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 2162B, C, D & E
ADDENDA FLOOR
PLANS

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	BA
INTERVIEW BY:	
1ST BLOCK SEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2162301.00
CAD FILE NAME:	A1.1.2
DATE:	03-07-23
SHEET:	A1.1.2

2023011.00 - PROGRESS SET 03-02-2023



ELEVATION KEY NOTES	
NO.	NOTE
404	CONCRETE CHAMP, 30" DEEP AND 4" WIDER THAN THE DOOR OPENING. SLOPE 1/4" PER FOOT WARDEN TO PANEL IN SUBSTITUTION POSITION.
401	STREET LIGHTPOST AND STREET PANELS. VISION GLASS.
203	ADDRESS PANEL, 4" MIN. BECA BUILDING ADDRESS CHARACTERISTICS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
205	ACCENT EXTERIOR WALL LIGHT FIXTURE. FRESH VENT VENTILATOR WITH FINISH TYPE.
101	BAR CONDENSING CONDENSER LOCATIONS.
108	WATERPROOFED STUCCO SHELF. SLOPE 1/4" PER FOOT.
109	STUCCO COVERING. 2" MIN. OVER 2" MIN.
102	OMEGA CORRUGATED WALL ONE COAT 3/8" EC. 45 ESR-1584 STUCCO TYPE (OR 1) PORTLAND CEMENT. INSTALL PER MANUFACTURER'S LISTING.
105	STUCCO OVER BRICK FOUNDATION. FORM SLAB FOR ELEVATION.
106	STUCCO OVER EXISTING BRICK CORNER. SEE SLAB FOR DETAIL.
100	TEMPORARY GLASS WINDOWS AT GARAGE DOOR.
108	WOOD TRUSS. SEE PER ELEVATION.
604	FIBER CEMENT SHEET PAPERING ON TRUCK OR EQUIPMENT. FRESH. SMOOTH TEXTURE. PROPOSED 7" INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.
408	CL. FLASHING AND CORNER FLASHING AT BASE WALLS AND ROOF TO WALL CONNECTIONS.
701	CL. FLASHING.
702	EAGLE ROOFING EC4 ESR 1096 CLASS 2 PFR. CONCRETE LOW PROFILE S-TILE.

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 4' ABOVE FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GLAZED OR BUILT UP FIBER GLASS. THE GLAZED MAY NOT HAVE OPERATIONS THAT A FORCE OF 70 POUNDS PER SQUARE FOOT EXCEEDS. SEE CALIF. HCS 132.2.

NOTE: WATER RESISTIVE BARRIER APPLIED OVER WOOD BASK SHEATHING SHALL HAVE 3 LAYERS OF GRADE UP PAPER APPLIED SINGLE FASHION. SEE CALIF. HCS 132.3.

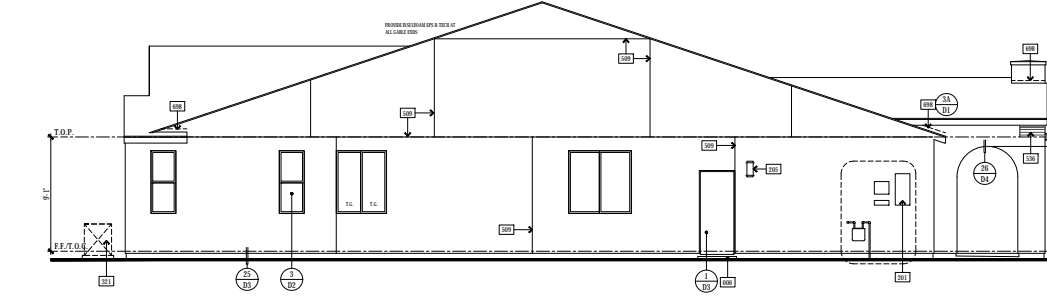
FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ROOF PLAN SCALE: 1/8" = 1'-0"

ROOF MATERIAL	STANDARD ROOF SLOPE	RAISE	RANGE	COVERING ROOF S.T.O.	COVERING	FINISH
LOW PROFILE CONCRETE S-TILE	2x6	NONE	1'-0"	TIGHT		

- ROOF PLAN NOTES**
- SEE GENERAL NOTES FOR ROOF NOTES.
 - SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ATTC ACCESS FOR CRC SECTION BR02.
 - PROVIDE ATTC & SOFFIT VENTILATION FOR CRC SECTION BR06. PER CRC SECTION BR06, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/30 OF THE AREA OF THE VENT SPACE EXCEPT: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/600 OF THE VENT SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - CLIMATE ZONE 6, 7 AND 8. A CLASS 100 W/ VAPOR BARRIER IS INSTALLED ON THE WARDEN SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 60 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 1 FEET (94 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MAXIMUM VENTILATOR BALANCE OF THE REQUIRED VENTILATOR PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE THIRD OF THE ATTC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION OF MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OF HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
 - CLAY AND CONCRETE BLOCK TILE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
 - PER CALIF. ENERGY CODE 701.10.2 (A) THROUGH 701.10.2 (C) AND 701.10.2 (D) THROUGH 701.10.2 (F).
 - WOOD BATTINS ARE REQUIRED UNDER CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER THE ROOFING INSTITUTE INSTALLATION MANUAL.
 - WHERE ROOF WITH DIFFERENT PITCHES MEET, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A BEEL TO THE STEEPER PITCH TO ALIGN WITH THE RAVE OF THE LOWER PITCH. ROOF SHALL HAVE MIN. 1/2" ACID SOLAR REFLECTANCE CO-EFF. MIN. THERMAL EMITTANCE OF 0.75. OR ACID SOLAR REFLECTANCE INDEX (SRI) OF 16 FOR STEEPER SLOPES. FOR LOW SLOPED ROOFS, ROOF SHALL HAVE A MIN. ACID SOLAR REFLECTANCE OF 0.63 THERMAL EMITTANCE OF 0.75. OR ACID SOLAR REFLECTANCE INDEX (SRI) OF 7.5 OR MORE PER CALIF. ENERGY CODE 701.10.2 (I).

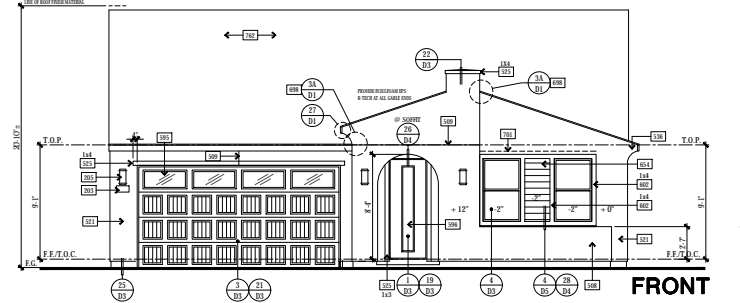
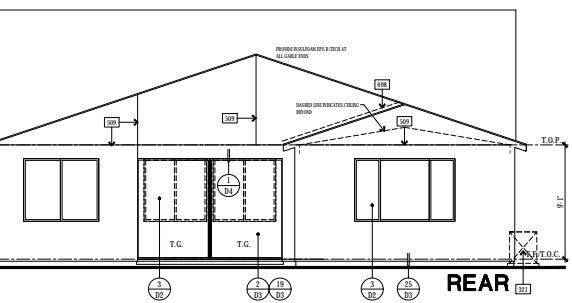
- SOLAR PHOTOVOLTAIC SYSTEMS**
- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CALIF. SECTION 150.10.1. INSTALLATION PER CRC SECTION 20.4 THROUGH 20.4.8 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEMS, PANEL LOCATIONS AND SERIAL AND ALL OTHER REQUIREMENTS.
- NOTE: THIS IS MECHANICAL PLUMBING SYMBOLS ONLY. ROOF ATTC SYSTEMS WILL BE IDENTIFIED WITHIN THE SOLAR ZONE AREA. WHERE APPLICABLE, COORDINATION AND COOPERATION WITH SOLAR PANEL LOCATIONS SHALL TAKE PLACE PRIOR TO THE SOFT VENT THERMINATION. SEE CALIF. ENERGY CODE SECTION 110.10 AND CALIF. SECTION 311.1.2.



ROOF PLAN KEY NOTES

NO.	NOTE
402	CLASS 2 RAINING, LOW PROFILE CONCRETE S-TILE BY EAGLE ROOFING EC4 ESR 1096
401	LINE OF WALL BELLY
402	STUCCO CEILING
403	STUCCO SOFFIT
404	PROVIDE 1" COVER TO THE ELECTRIC PANEL TO LOCATIONS B ATTC FOR PV SOLAR INSTALLATION. PROVIDE ROUTE FOR SOLAR RIG W/ STAMP WEATHER PROTECTIVE SOLAR ARMY
405	MIN. 2" R/P OFFSET IN CALIFORNIA AND FRAMING CONDENSERS FOR ATTC ACCESS CROSS VENTILATION. COUPLER TO BE INSTALLED TO ALL ATTC AREAS.
406	PROVIDE MIN. COMBUSTIBLE INSULATION (AS NOTED) AT COLLAPSED SPACE AT LAYS

ATTC VENTILATION CALCULATIONS		PLAN 2162A
GLAZED VENT - LOW PROFILE	SIZE	FREE VENT AREA
1326	50	688
CONC-S-TILE		688
TOTAL	1326	1372
CALCULATION FACTOR: 1/300		
MIN VENTILATION REQUIRED:	TOTAL	1372
MIN VENTILATION PROVIDED:	HIGH	683
MIN VENTILATION REQUIRED:	LOW	683
MIN VENTILATION PROVIDED:	LOW	686
HIGH VENTILATION METHOD		QUANTITY
GLAZED VENT - LOW PROFILE	50	7
CONC-S-TILE		688
TOTAL PROVIDED:		688
LOW VENTILATION METHOD		QUANTITY
GLAZED VENT - LOW PROFILE	50	7
CONC-S-TILE		688
TOTAL PROVIDED:		688



SCALE: 1/4" = 1'-0"



WILSON HOMES

REGENT PARK - PLAN 2162
CLOVIS

CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D.

REVISIONS

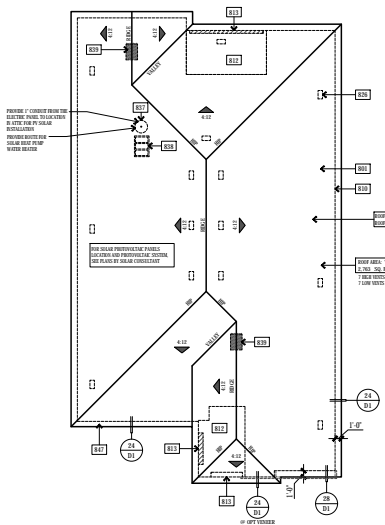
NO.	DATE	DESCRIPTION

PLAN 2137A
EXTERIOR ELEVATIONS
& ROOF PLAN

PROJECT MANAGER: CC
DESIGNER: BA
DRAWN BY: BA
CHECKED BY: BA
ISSUED FOR CONSTRUCTION:
JOB NUMBER:
CAD FILE NAME:
DATE: 03-07-23
A1.4

426

20230111.00 - PROGRESS SET 03-02-2023



ROOF PLAN SCALE: 1/8" = 1'-0"

SELECTION REFERENCE	SELECTION STYLE	SELECTION CODE	SELECTION DESCRIPTION
B	MODERN		

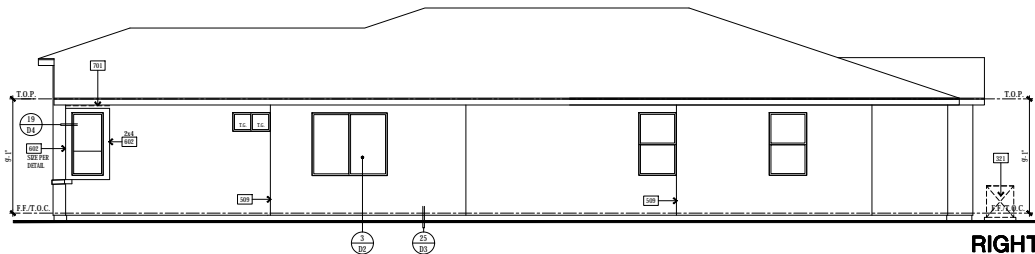
ROOF MATERIAL	STANDARD ROOF	FINISH	ROOF SLOPE	MINIMUM ROOF	MINIMUM RISE	MINIMUM LENGTH
CONCRETE FLAT TILE	1	2x8	2x8	1'-0"	1'-0"	1'-0"

ROOF PLAN NOTES

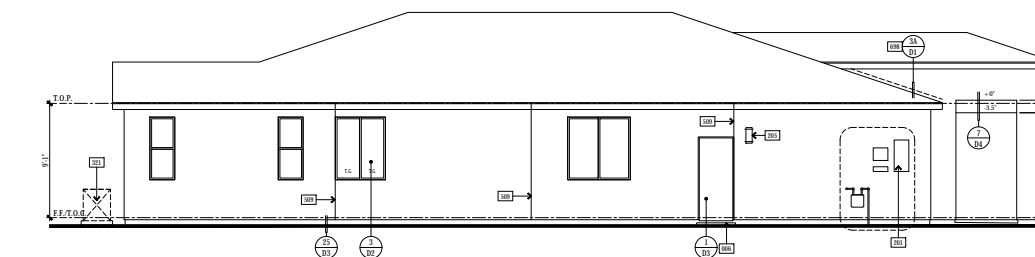
- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATK ACCESS PER CHC SECTION 8007.
- PROVIDE ATIK ACCESS VENTILATION PER CHC SECTION 8006. PER CHC SECTION 8006.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IF CLAY TILE OR CLASS 2 OR 4 VAPOUR RETARDER IS INSTALLED ON THE WALLS, WITHIN THE SIZE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATION LOCATED IN THE UPPER PORTION OF THE ATIK OR RAFTER SPACE. UPPER VENTILATIONS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE BRIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM OR ONE THIRD OF THE ATIK SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS COMPLETES WITH THE INSTALLATION OF UPPER VENTILATION, INSTALLATION OF MORE THAN 1 FOOT (305 MM) BELOW THE BRIDGE OF HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- CLAY AND CONCRETE TILE SHALL BE INSTALLED WITH SLOPES OF 2% TO 10% GRADING FOR ALL SLOPES. PER CHC SECTION 102.4.2. FOR BRICK OR ANOTHER SPECIFICATION AS SHOWN HEREIN IN ACCORDANCE WITH FIG. 3.3. (ENCS 3.2 CHC)
- WOOD BUTTERS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7/12 PER TILE ROOFING INSTITUTE INSTALLATION MANUAL.
- WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A BEEHIVE TO THE STEEPER PITCH TO ALIGN WITH THE EAVE OF THE LOWER PITCH.
- ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE OF 0.25. THERMAL EMITTANCE OF 0.75. OR AGED SOLAR REFLECTANCE INDEX (CRI) OF 16 FOR STEEPER SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE OF 0.45 THERMAL EMITTANCE OF 0.75. OR AGED SOLAR REFLECTANCE INDEX (CRI) OF 75 OR MORE PER CHC 150.20(11).

SOLAR PHOTOVOLTAIC SYSTEMS

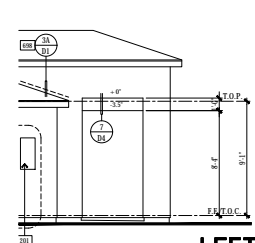
- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CHC SECTION 104.10(A). INSTALLATION PER CHC SECTION 204.3 THROUGH 204.8 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE CONTRACT FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SPEC. AND ALL OTHER DESIGN REQUIREMENTS.
- NOTE THAT NO MECHANICAL, PLUMBING, ELECTRIC, VENT, ROOF ATIK VENTS MAY BE PERMITTED WITHIN THE SOLAR ZONE AREA. WHERE APPLICABLE, CONSULTATION AND COORDINATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DOWN VENT TERMINATION. REF CA ENERGY CODE SECTION 150.10 AND CHC SECTION 3111.2.1



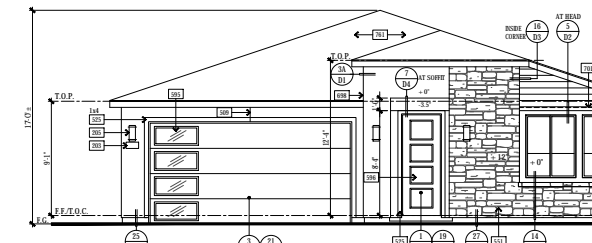
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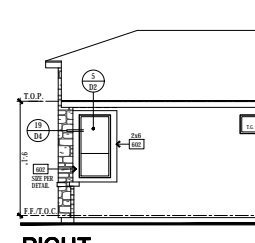
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LEFT

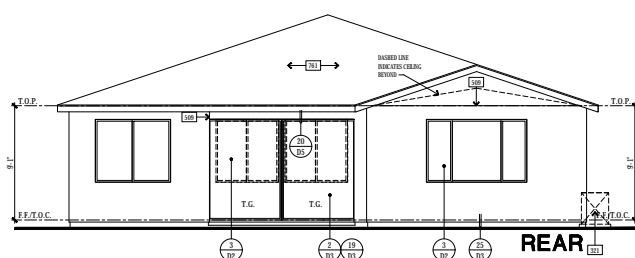


FRONT

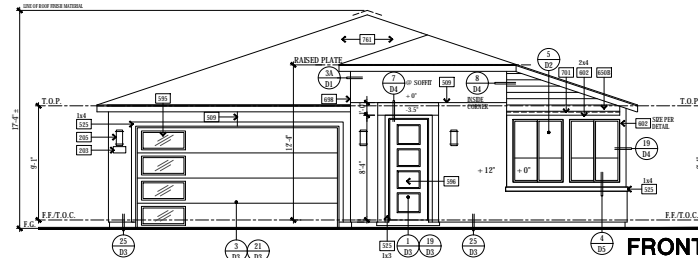


RIGHT

ELEVATIONS WITH OPTIONAL STONE



REAR



FRONT

ELEVATION KEY NOTES	
NO.	NOTE
006	CONCRETE STAMP, 3/8" DEEP AND 2" WIDER THAN THE DOOR OPENING. SLOPE 1/4" PER FOOT UPWARD TO BEAR IN DIRECTION INDICATED.
007	ENTRY LIGHTFIXTURE AND SERVICE PANELS - TYPICAL LOCATION.
003	ADDRESS PANEL, 4" HIGH. ALUM BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
005	ACCENT LIGHTING SHALL BE INSTALLED TO PROVIDE VISUAL INTEREST WITH INTERIOR TYPE.
021	AIR CONDENSING CONDENSATE DRAIN.
009	STICCO CONTROL JOINT. SEE DETAIL 2709.
017	FINISH CONCRETE SHALL BE CAST AND CURE BY 45 DEG. F. THAT STICCO TYPE OR 1" PROPRIETARY CHEMICAL. INSTALL PER MANUFACTURER'S LISTING.
025	STICCO OVER BRICK POOR FORM. BRICK STAFFED PER ELEVATION.
026	CONCRETE CLASS FINISHING AT GARAGE DOOR.
006	FRONT DOOR WITH TEMPERED GLASS CLASS PANELS.
002	WOOD TRIMMS - SEE PER ELEVATION.
008	FINISH CONCRETE SHALL BE CAST AND CURE BY 45 DEG. F. THAT STICCO TYPE OR 1" PROPRIETARY CHEMICAL. EXPOSED IF INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
004	ALUM. BULK HEAD.
001	CL FINISHING AND CHESTER FINISHING AT BARR WALLS AND ROOF TO WALL.
001	CL FINISHING.
001	FINISHING - CONCRETE. FLAT TILE BY ENGLE ROOFING ETC # EN 1000.

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 7' ABOVE FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED GRADE OR OTHER SPACE HEAVY AT THE EXTREME MUST BE PROTECTED BY A GLASS OR HAVE A BRICK CLASS. THE GLASS MAY NOT HAVE OPENINGS THAT A 1/8" DIA. IF IN GUARDRAIL CAR PASS THROUGH. 2002 CHC 1403.2.2

NOTE: WATER RESISTIVE BARRIER APPLIED OVER WOOD-BASE SHEATHING SHALL HAVE 2 LAYERS OF GABLE D PAPER APPLIED VERTICAL FINISHING. 2002 CHC 87010.3.3

FINISHED GRADE VARIES. SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ROOF PLAN KEY NOTES				
NO.	DESCRIPTION	NOTE	NO.	DESCRIPTION
007	CLASS 4 ROOFING - CONCRETE - FLAT TILE	BY ENGLE ROOFING ETC # EN 1000		
003	CLAY OR WALL BRICK			
012	STICCO CERAMIC			
006	STICCO CERAMIC			
007	PROVIDE 1" CONCRETE FROM THE ELECTRIC PANEL TO LOCATION IN ATIK FOR PV SOLAR INSTALLATION. PROVIDE BRACKET FOR SOLAR PANEL PLUMB WATER BRACKET			
009	PROVIDE 1" SOLAR PANEL			
020	MIN. 7/12 PITCH OR CALIFORNIA ROOF FRAMING CODES FOR ATIK ACCESS AND CROSS VENTILATION. CONSULTATION WITH ARCHITECT TO BE ATIK AREA.			
017	PROVIDE NON COMBUSTIBLE BRICK/CLAY (10 FOOT ON CENTER) AT CORNERED SPACE AT EAVES			

ATTIC VENTILATION CALCULATIONS				
ROOF ATTIC AREA	PLAN	CALCULATION FACTOR	PLAN	REQUIREMENT
A	2763	1/300	1381.5	1382
MIN. VENTILATION REQUIRED:	TOTAL	1325	MIN. PROVIDED:	1386
MIN. VENTILATION REQUIRED:	HIGH	663	MIN. HIGH PROVIDED:	693
MIN. VENTILATION REQUIRED:	LOW	663	MIN. LOW PROVIDED:	693

HIGH VENTILATION METHOD				
CLEANED VENT - CONC. FLAT TILE	SIZE	FREE AREA	QUANTITY	FREE VENT AREA
50.0	1.0	50.0	9	450.0
50.0	1.0	50.0	9	450.0
TOTAL PROVIDED:				900.0

LOW VENTILATION METHOD				
CLEANED VENT - CONC. FLAT TILE	SIZE	FREE AREA	QUANTITY	FREE VENT AREA
50.0	1.0	50.0	9	450.0
50.0	1.0	50.0	9	450.0
TOTAL PROVIDED:				900.0



ARCHITECTS, PLANNERS, DESIGNERS

ORANGE COUNTY, LOS ANGELES, BAY AREA, SACRAMENTO



REGENT PARK - PLAN 2162 CLOVIS

CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D.

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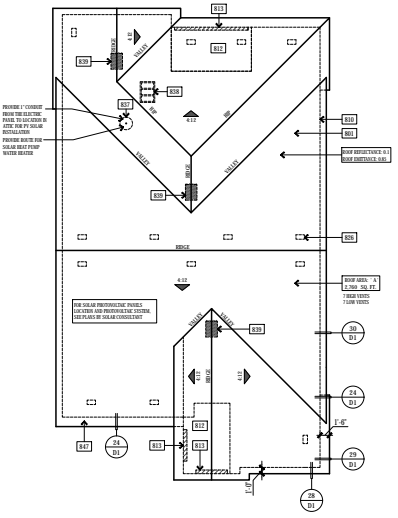
REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT MANAGER:		CC
DESIGNER:		MB
DRAWN BY:		MB
CHECKED BY:		MB
ISSUED FOR CONSTRUCTION:		
JOB NUMBER:		
JOB FILE NAME:		
DATE:	03-07-23	427
SCALE:	A1.5	

20230111.00 - PROGRESS SET 03-02-2023

MODERN

SCALE: 1/4" = 1'-0"



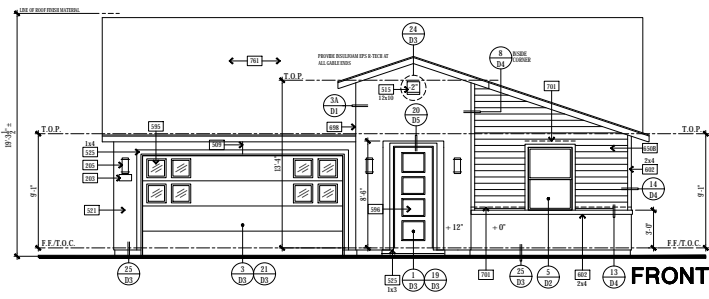
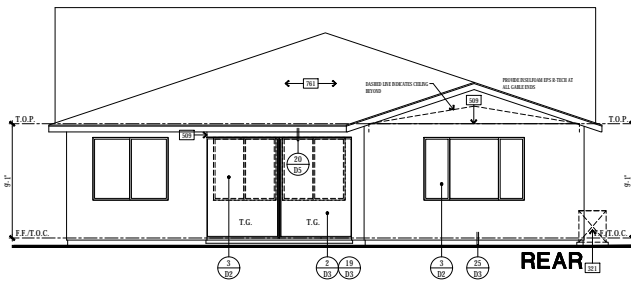
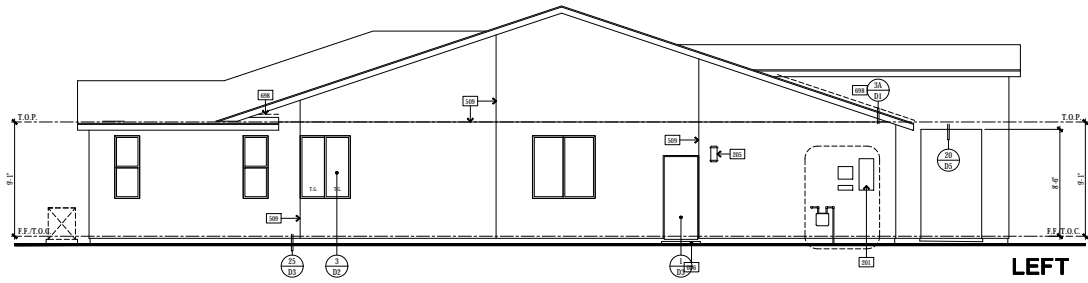
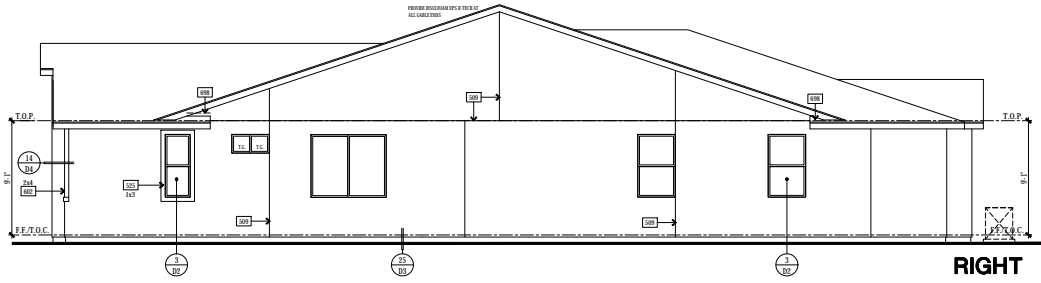
ROOF PLAN SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	C	PROGRESSIVE NAPA
ROOF MATERIAL	CONCRETE FLAT TILE	2x6
ROOF PLAN NOTES 1. SEE GENERAL NOTES FOR ROOF NOTES. 2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. 3. ATTIC ACCESS PER CRC SECTION 8B07. 4. PROVIDE A SURVEY VENTILATION PER CRC SECTION 8B06. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET: a. CLIMATE ZONES 6, 7 AND 8. A CLASS I OR B VAPOR RETARDER IS INSTALLED ON THE WARMER-WINDIER SIDE OF THE CEILING. b. NOT LESS THAN 4% PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIGID OR JOISTED POINT OF THE SPACE. MEASURED VERTICALLY, THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONTACTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION OF MORE THAN 1 FEET (914 MM) BELOW THE RIDGE OF HIGHEST POINT OF THE SPACE SHALL BE PERMITTED. 5. CLEAN AND CLIMBER ROOF SHALL BE MAINTAINED PER PSP (P 2) TO 1/2" (C) GRADE. PER PSP (P 2) PROVISION 1/2" (C) GRADE SHALL BE MAINTAINED UNDER ALL ROOF JOISTS. 6. IN ACCORDANCE WITH RMO 3.3 (RMO 3.2 CRC). 7. WOOD RAFTERS ARE REQUIRED TO BE CONCRETE AND CLAD TILE ROOFS WHERE SLOPES EXCEED 7:12 PER THE ROOFING INSTITUTE INSTALLATION MANUAL. 8. WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A RIDGE TO THE STEEPER PITCH TO MATCH WITH THE LOW OF THE LOWER CHINE. 9. ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE OF 0.28 MIN. THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX OF 14 FOR STEEPLY-SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE OF 0.63 THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 15 OR MORE PER CEC 156.2(B)(1). SOLAR PHOTOVOLTAIC SYSTEMS 1. SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CRC SECTION 140.100.1 INSTALLATION PER CRC SECTION 24.3 THROUGH 24.8 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. 2. REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS. NOTE THAT NO MECHANICAL PLUMBING EXHAUST VENTS, ROOF ATTE VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA. WHERE APPLICABLE, COORDINATION WITH SOLAR CONSULTANT SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DRYER VENT TERMINATION. SEE A RESNEY CODE SECTION 140.10 AND CRC SECTION 311.2.1.		

ROOF PLAN KEY NOTES

Name	NOTE
601	CLASS 'N' ROOFING - CONCRETE - FLAT TILE BY EAGLE ROOFING CC'S FOR 1900
602	LINE OF WALL BELOW
603	STEPCO CEILING
604	STEPCO SHEET
605	WOOD JOIST - SPACED '24' SQUARE - GRADED VENT '6" x 1" (SEE R004)
606	PROVIDE 1" CONDENS FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR PV SOLAR INSTALLATION. PROVIDE INSULATION TO NEAREST AIRSPACE TO ALL CABLES.
607	PROVIDE NON-COMBUSTIBLE FIBERGLASS CEILING (OR ROOF ON CONTACT) AT CONCEALED SPACE AT EAVES

ATTIC VENTILATION CALCULATIONS					
ROOF ATTIC AREA	A	2,760	sq. ft.	CALCULATION FACTOR:	1,300
MIN VENTILATION REQUIRED: TOTAL	1324	sq. in.		TOTAL PROVIDED:	1386
MIN VENTILATION REQUIRED: HIGH	662	sq. in.		TOTAL HIGH PROVIDED:	693
MIN VENTILATION REQUIRED: LOW	662	sq. in.		TOTAL LOW PROVIDED:	693
HIGH VENTILATION METHOD	SRI	FREE VENT AREA	693	sq. in.	
CLOSED VENT - CONC. FLAT TILE	2	sq. in. x 2	693	sq. in.	
TOTAL PROVIDED:	693	sq. in.			
LOW VENTILATION METHOD	SRI	FREE VENT AREA	693	sq. in.	
CLOSED VENT - CONC. FLAT TILE	2	sq. in. x 2	693	sq. in.	
TOTAL PROVIDED:	693	sq. in.			



ELEVATION KEY NOTES	
Name	NOTE
606	CONCRETE SLOOP - 36" DEEP AND 4" WIDER THAN THE DOOR OPENING - SLOPE 1/4" PER FOOT WINDING TO BE IN DIRECTION INDICATED
601	STEEL EXPANDED AND SURFACE FINISH - VENTILATION
603	ADDRESS PANEL - 4" MIN. RICH BUILDING ADDRESS CHARACTER PLACED IN SUCH A POSITION TO BE PLACED VISIBLE FROM THE STREET
605	ACCENT EXTERIOR WALL LIGHT FIXTURE - FREE VENT BRACKET WITH INTERIOR TYPE
601	BAR CONDENSING CONDENSER 10.0 A/C
609	STEPCO CONTROL JOINT - SEE R004. F700
611	EDGE FINISH SHALL NOT EXCEED 1/4" (50.8 MM) SLOPE TYPE FOR 1) REROLLER GUMBLE INSTALL PER MANUFACTURER'S LISTING
613	STEPCO NAME - SIZE PER ELEVATION - SLOPE 25/12" PER FT. MINIMUM
614	STEPCO OVER THE DOOR TOP - FOUR EIGHT PER FOOTING
615	TEMPERED GLASS WINDOWS AT GARAGE DOOR
616	FRONT DOOR WITH TEMPERED GLASS PANELS
608	WOOD TRUSS - SEE THE ELEVATION
6108	FIBER GYPSUM LAP SIDING - 1/2" THICK BROADPLANK OR EQUIVALENT (FRAMER SELECT EXTERIOR - EXPOSURE 4) INSTALLATION PER MANUFACTURER'S INSTRUCTIONS. SEE A.S.S. 506.4.05
608	G-I PLASTERING AND GYPSUM FINISHING AT BASE WALLS AND ROOF TO WALL CONNECTIONS
701	G-I PLASTERING
701	ROOFING - CONCRETE - FLAT TILE BY EAGLE ROOFING CC'S FOR 1900

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 34" ABOVE FINISHED FLOOR AND MORE THAN 34" ABOVE FINISHED GRADE OR OTHER BRACE BELOW AT THE EXTERIOR MUST BE PROTECTED BY A GLASS OR POLY CARBON FIBER GLASS. THE GLASS MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2021 CBC 1401.1.2

NOTE: WATER-RESISTIVE BARRIER APPLIED OVER WOOD-BASE SHEATHING SHALL HAVE 4 LAYERS OF GRADE #1 PAPER APPLIED DOUBLE FASHION. 2022 CBC 8703.7.3

FINISHED GRADE VARIES. SEE CDR ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ARCHITECTS, PLANNERS, DESIGNERS
WHA
 GRANGE COUNTY, LOS ANGELES, BAY AREA, SACRAMENTO

WILSON HOMES

TRACT NUMBER: 6205
 PROJECT TYPE: S.F.D.

REGENT PARK - PLAN 2162 CLOVIS

CLOVIS, CALIFORNIA
 WILSON HOMES
 FRESNO, CALIFORNIA

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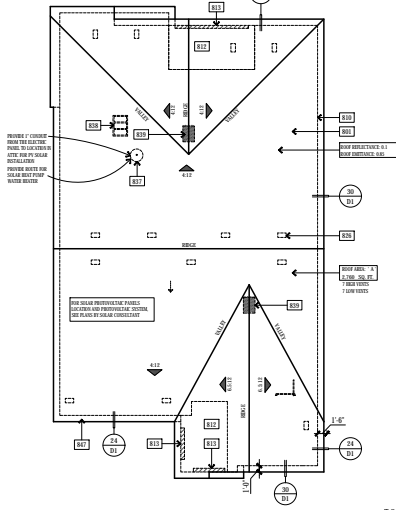
REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT MANAGER	
DESCRIBER	CC
DRAWN BY	BA
DESIGNED BY	
LIST ENCL. (SPP, SUBMITTAL)	
ISSUED FOR CONSTRUCTION	
FOR NUMBER	
CAD FILE NAME	
DATE:	

428

SCALE: 1/4" = 1'-0"

PROGRESSIVE NAPA



ROOF PLAN

SCALE: 1/8" = 1'-0"

REVISIONS	DATE	DESCRIPTION
D		REVISIONS

CONCRETE FLAT TILE	WOOD SHAKES	WOOD SHAKES	WOOD SHAKES
2x6	2x6	1'-0"	1'-0"

ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPRAIN ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATK ACCESS FOR CRC SECTION 8060.
- PROVIDE ATK & SLOTTED VENTILATION PER CRC SECTION 8060. PER CRC SECTION 8060.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED WITH THE FOLLOWING CONDITIONS ARE MET:
 - IF CLIMATE ZONE 3, 7 AND 8, A CLASS 1 SPOKE RESTRICTOR BE INSTALLED ON THE WARM & WETTER SIDE OF THE CHIMNEY.
 - NOT LESS THAN 40 PERCENT (40%) NET MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTK OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED TO MORE THAN 3 FEET 0" AND BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY, THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE THIRD OF THE ATTK SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING, MEMBERS, CONNECTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION OF MORE THAN 3 FEET 0" AND BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- CLAY AND CONCRETE ROOF TILES SHALL BE INSTALLED ON ROOF SLOPES OF 2% TO 4% GRADE PER IRC R502.5.10.2.1.1. DUE TO THE UNLIGNMENT APPROXIMATIONS REQUIRED IN ACCORDANCE WITH IRC R502.5.10.2.1.1.
- WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7.12 PER FOR ROOF FINISHING SYSTEMS INSTALLATION MANUAL.
- WALL ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAME OR TRUSS MANUFACTURER MUST ADD A HILL TO THE STEEPER PITCH TO ALIGN WITH THE RAFTER OF THE LOWER PITCH. ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE OF 0.6, MIN. THERMAL EMITTANCE OF 0.75 OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 16 FOR STEEP SLOPED ROOFS. FOR LOW SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE OF 0.45 THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 75 OR MORE PER CIRC 140.30611.

SOLAR PHOTOVOLTAIC SYSTEMS

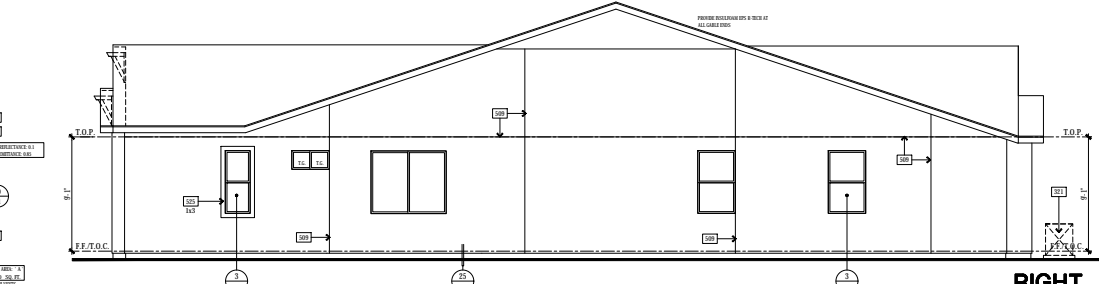
- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH C.E.C. SECTION 19A.1001. INSTALLATION PER C.E.C. SECTION 19A.1001.10 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE PROJECT FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LAYOUT, AND ALL OTHER DESIGN REQUIREMENTS.
- NOTE THAT NO MECHANICAL PLUMBING EXHAUST VENTS, ROOF ATTK VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA. WHERE APPLICABLE, CONSULTATION AND COORDINATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE UPPER VENT TERMINATION. REF CA ENERGY CODE SECTION 19A.10 AND C.E.C. SECTION 311.2.1.

ROOF PLAN KEY NOTES

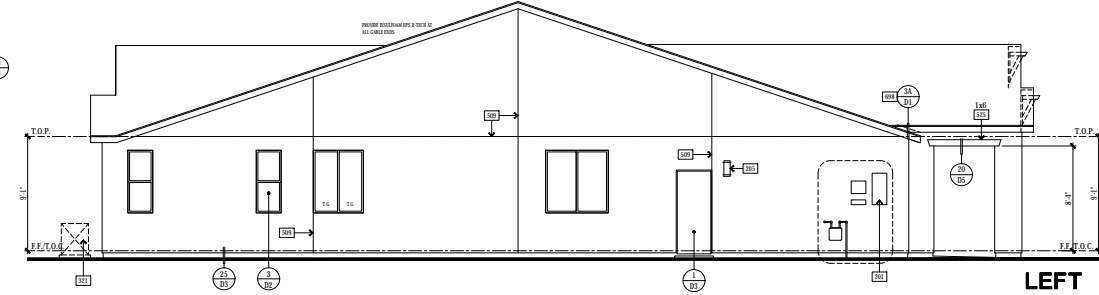
Name	NOTE
001	CLASS 1 ROOFING - CONCRETE - FLAT TILE - BY ENGLE ROOFING C.C. SEE 1900
002	LINE OF WALL BELOW
003	STUCCO CHIMNEY
004	STUCCO SPOKE
005	ROOF VENT - CHIMNEY "SL SERIES" CLOAKED VENT KIT # 1000
006	PROVIDE 1" CONCRETE FROM THE ELECTRIC PANEL TO LOCATOR IN ATTK. FOR PV SOLAR INSTALLATION. PROVIDE PROTECTIVE FLASHING OVER ROOF FLASHING.
007	PROVIDE 1" CONCRETE FROM THE ELECTRIC PANEL TO LOCATOR IN ATTK. FOR PV SOLAR INSTALLATION. PROVIDE PROTECTIVE FLASHING OVER ROOF FLASHING.

ATTK VENTILATION CALCULATIONS

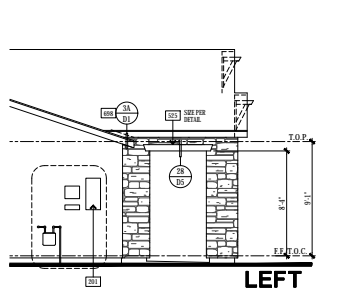
ATTK VENTILATION	PLAN
ROOF ATTK AREA	2760 SQ. FT.
CALCULATION FACTOR:	1/300
MIN. VENTILATION REQUIRED:	TOTAL 1324 SQ. IN.
MIN. VENTILATION REQUIRED:	HIGH 662 SQ. IN.
MIN. VENTILATION REQUIRED:	LOW 662 SQ. IN.
HIGH VENTILATION METHOD	SIZE FREE AREA QUANTITY FREE VENT AREA
CLOAKED VENT - CONC. FLAT TILE	50 SQ. IN. x 7 TOTAL PROVIDED: 693 SQ. IN.
LOW VENTILATION METHOD	SIZE FREE AREA QUANTITY FREE VENT AREA
CLOAKED VENT - CONC. FLAT TILE	50 SQ. IN. x 7 TOTAL PROVIDED: 693 SQ. IN.



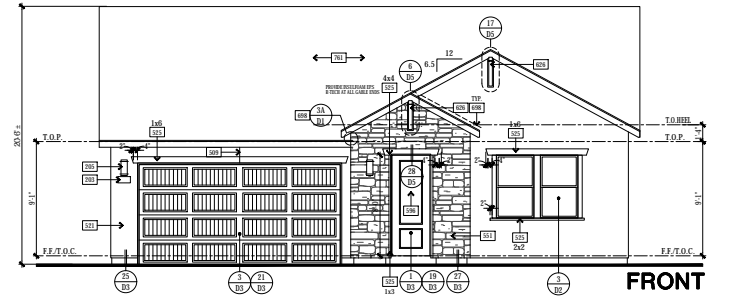
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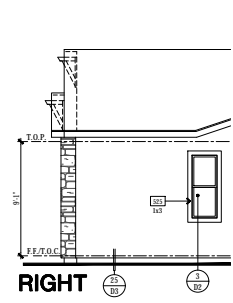
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LEFT

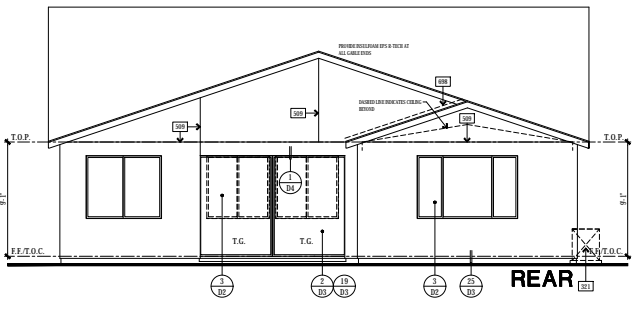


FRONT

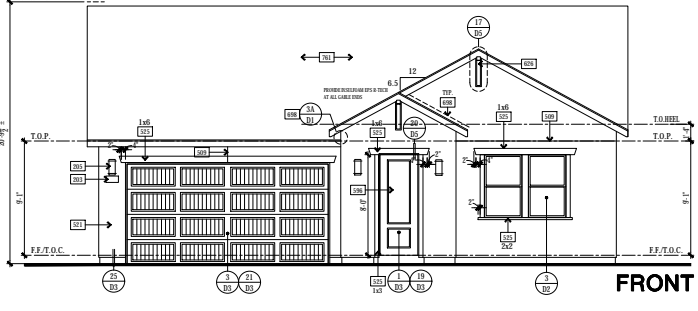


RIGHT

ELEVATIONS WITH OPTIONAL STONE



REAR



FRONT

SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES	
Name	NOTE
008	CONCRETE STAIR - 30" DEEP AND 7" WIDER THAN THE DOOR OPENING. SLOPE 1/4" PER FOOT INWARD TO BE DRIVEN IN SUBSTITUTION RELEVANT
009	CLAY ENAMELED WOOD SHAKES FINISH LOCATION
010	ADDRESS PANEL, 6" MIN. WEA. BEARING ADDRESS CHARACTERISTICS PRACTICED IN SUCH A MANNER TO BE PLACED 24" FROM THE STREET
011	ACCENT OUTSIDE WALL LIGHT FIXTURE - THIS VENTURE BEHIND WITH OTHER TYPE
012	ALL COMBINING CONDENSED LOCATION
013	STUCCO CONTROL JOINT - SEE DETAIL 2730
014	WALL FINISHING PER DETAIL 2730. SEE DETAIL 2730. 1/4" STUCCO TYPE FOR 11 PORTLAND CEMENT INSTALL PER MANUFACTURER'S LISTING
015	STUCCO MESH - SEE FOR DETAIL - SLOPE 3/4" PER FT. MINIMUM
016	MANUFACTURED UNFINISHED STUCCO SIDE VENEER - INSTALL PER MANUFACTURER'S INSTRUCTIONS. ADDRESS UNFINISHED VENEER REQUIREMENTS PER C.E.C. SECTION 8002.12
017	PROTECT ROOF FROM IMPACTS (SPECIFIC GLASS PANELS)
018	OUTLOOKER ASSEMBLY - WOOD (SEE PER ELEVATION)
019	C/L FLASHING AND CENTER FLASHING - AT BARE WALLS AND ROOF TO WALL CONNECTIONS
020	C/L FLASHING
021	FINISHING - CONCRETE - FLAT TILE BY ENGLE ROOFING C.C. SEE 1900

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 4' ABOVE FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED CEILING OR OTHER CEILING BELOW AT THE OUTSIDE. MUST BE PROTECTED BY A GLASS OR BUILT A BUILT-GLASS. THIS GLASS MAY NOT BE COVERED WITH A SPHERE IF IN DOORWAY CAN PASS THROUGH. 2022 CEC 1400.1.2

NOTE: WATER RESISTIVE BARRIER APPLIED OVER WOOD-BASE SHEATHING SHALL BE 3 LAYERS OF G-1080 IF PAPER APPLIED-SUBJECT TO FINISH. 2022 CEC 8003.1.3

FINISHED GRADE VARIES. SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE.



ORANGE COUNTY LOS ANGELES BAY AREA SACRAMENTO

WILSON HOMES

REGENT PARK - PLAN 2162
CLOVIS

CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D.

WHA WILLIAM HERRING ARCHITECTS, INC. dba WHA
WE HAVE DEVELOPED THESE PLANS FOR CONCRETE AND STEEL FRAMEWORK AND OTHER MATERIALS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR OTHERWISE REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF WHA. ANY REPRODUCTION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF WHA SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO WHA.

REVISIONS

NO.	DATE	DESCRIPTION

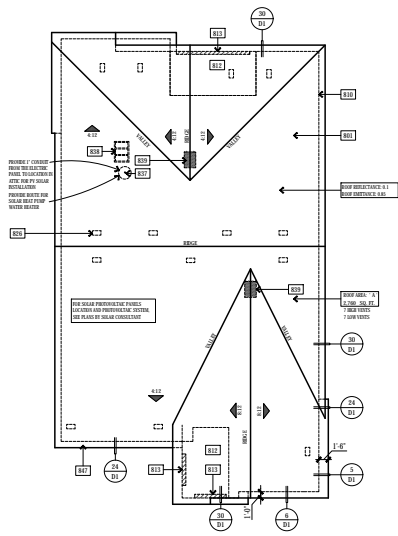
PLAN 2162D
EXTERIOR ELEVATIONS
& ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	SA
REVISIONS:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	429
CAD FILE NAME:	
DATE:	03-07-23

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COTTAGE

2023011.00 - PROGRESS SET 03-02-2023



ROOF PLAN SCALE: 1/8" = 1'-0"

RELATIVE ELEVATION	E	FINISHED GRADE	FINISHED GRADE	FINISHED GRADE	FINISHED GRADE
ROOF MATERIAL	CONCRETE FLAT TILE	2x6	2x6	1'-0"	1'-0"

- ROOF PLAN NOTES**
- SEE GENERAL NOTES FOR ROOF NOTES.
 - SPRINKLE HEADS SHALL BE NOTICED BY ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - AT-ICE ACCESS FOR CRC SECTION 8807.
 - PROVIDE AT-ICE NORTH VENTILATION FOR CRC SECTION 8806. PER CRC SECTION 8804.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE SECTION. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/200 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLEARANCE IS 7' AND A CLASS 0 OR B VAPOR BARRIER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CHRG.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE AT-ICE OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE RIF BOTTOM ONE THIRD OF THE AT-ICE SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION OF MORE THAN 1 FEET (304.8 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
 - CLAY CERAMIC TILE ROOF TRUSS SHALL BE INSTALLED ON ROOF SLATES OF 2" X 12" CERAMIC PER 8X12 SLATES (8X12) @ 12" O.C. OR 12" X 12" CERAMIC UNDERLAYMENT APPLICATIONS AS REQUIRED BY ACCORDANCE WITH 806.1.2. (806.1.2 C10)
 - WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7/12 PER THE ROOFING SYSTEM INSTALLATION MANUAL.
 - WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A BEEL TO THE STEEPER PITCH TO MATCH WITH THE EAVE OF THE LOWER PITCH.
 - ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE OF 0.75. THERMAL EMITTANCE OF 0.75 OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 16 FOR STEEP-SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE OF 0.45 THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 75 OR MORE PER (CS150.9001)

- SOLAR PHOTOVOLTAIC SYSTEMS**
- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED BY ACCORDANCE WITH CRC SECTION 194.001. INSTALLATION FOR CRC SECTION 261.3 THROUGH 261.8 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE CONTRACT FOR SOLAR PHOTOVOLTAIC POWER SYSTEMS, PANEL LOCATIONS AND SIZES, AND ALL OTHER RELEVANT INFORMATION.
- NOTE THAT NO MECHANICAL PLUMBING EXHAUST VENTS, ROOF AT-ICE VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA. WHERE APPLICABLE, COORDINATION AND CORROSION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE ROOF VENT TERMINATION. REF. CA ENERGY CODE SECTION 194.10 AND CRC SECTION 311.2.1.

ROOF PLAN KEY NOTES

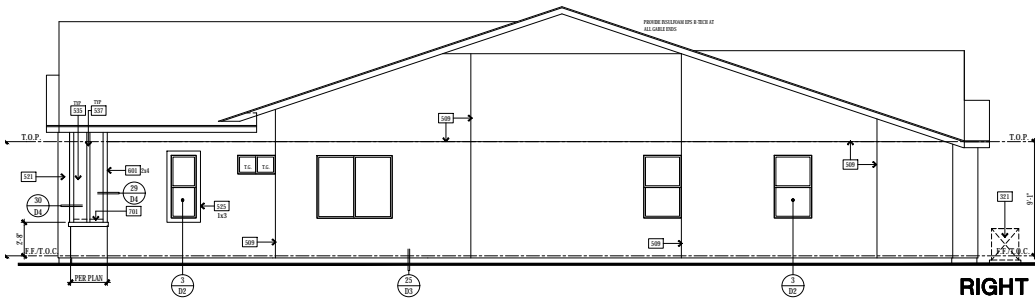
Name	NOTE
601	CLASS V ROOFING: CONCRETE, FLAT TILE, 80 EAGLE ROOFING, E.C.P. 808 1900
602	LINE OF WALL BELOW
603	STUCCO CERAMIC
604	STUCCO ROOF
605	ROOF VENT - CERAMIC TILE SERIES' CLOUSED VENT (C.P. 808 9000)
606	PROVIDE 1" CLOSURE FROM THE ELECTRIC PANEL TO LOCATION IN AT-ICE FOR PV SOLAR INSTALLATION. PROVIDE PROTECTIVE SOLAR HEAT STOP WITHIN ROOF.
607	PHOTOVOLTAIC SOLAR AREA
608	MIN. 2" OF OPENING IN CALIFORNIA ROOF FRAMING CONDITIONS FOR AT-ICE ACCESS AND CROSS VENTILATION. CONTRACTOR TO VERIFY AGAINST LOCAL AT-ICE AREA.
609	PROVIDE NON-COMBUSTIBLE FRAMING (OR RIF) ON CENTRAL AT-ICE LOCATIONS AT GABLES

AT-ICE VENTILATION CALCULATIONS PLAN 2120D

ROOF AT-ICE AREA	A	2760	SQ. FT.	CALCULATION FACTOR:	1/200
		997.448	SQ. IN.		
MIN. VENTILATION REQUIRED:	TOTAL	1324	SQ. IN.	TOTAL PROVIDED:	1386
	HIGH	662	SQ. IN.		693
	LOW	662	SQ. IN.		693

HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA	
CLOUSED VENT - CONC. FLAT TILE	50	50	7	662	
				TOTAL PROVIDED:	693

LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA	
CLOUSED VENT - CONC. FLAT TILE	50	50	7	662	
				TOTAL PROVIDED:	693



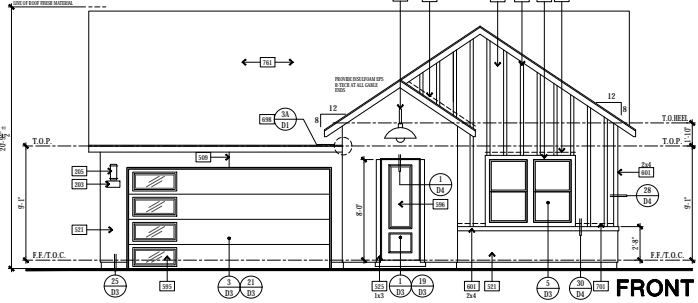
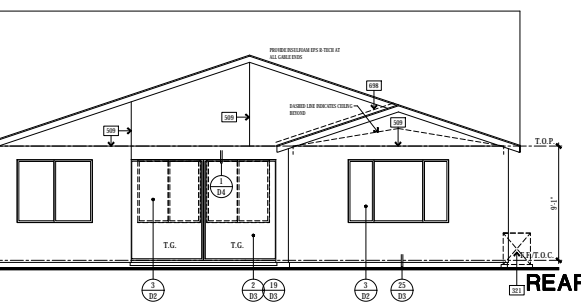
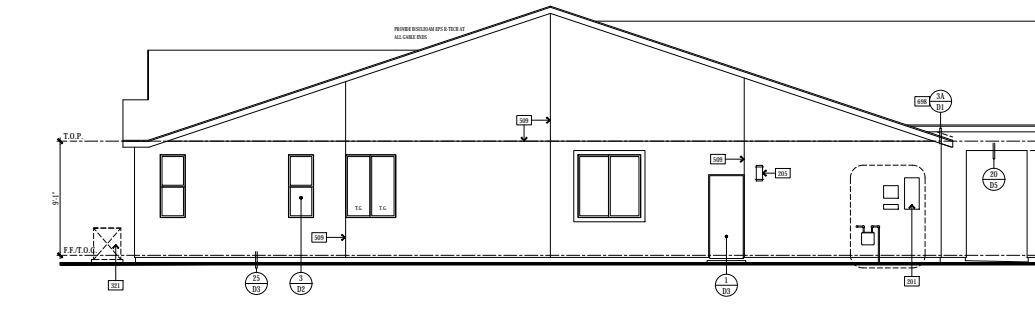
ELEVATION KEY NOTES

Name	NOTE
606	CONCRETE STOP - 30 DEEP AND 7" WIDER THAN THE ROOF OPENING. SLOPE 1/4" PER FOOT UPWARD TO DRAIN IN DOWNEN DIRECTION.
607	CEILING UPWARD AND DOWNEN FINISH - NORTH LOCATION
608	ADDRESS PANEL - 4" MIN. WID. BUILDING ADDRESS CHARACTERS PLACED IN SUCH A MANNER TO BE PLACED VISIBLE FROM THE STREET
609	ACTIVITY EXTERIOR WALL LIGHT LOCATION - FROM VAPOR BARRIER WITH OUTLET TYPE
610	1/2" AIR CONTINUOUS CONDENSATION CONTROL
611	STUCCO CONTINUE JOINT - SEE DETAIL 2100
612	FINISH CONDENSATION WALL ONE FOOT MIN. 8" X 8" FOR 10M STUCCO TYPE FOR 11 POUNDS PER SQ. FT. MANUFACTURER'S LISTING
613	STUCCO FINISH - 5/8" PER GAB AREA - SLOPE 3/4" PER FT. MINIMUM
614	STUCCO OVER RIGID FOAM INSUL. FROM SHIPY PER LISTING
615	CHRYSTALINE VERTICAL PANEL OVER 1 LAYER BUILDING PAPER OVER 1/2" PLYWOOD SHEATHING OVER EPS FOAM BOARD OVER BUILDING PAPER. ROOF EPS FOAM BOARD MAY BE LOCATED AT 1/4" BARRIER ONLY PROVIDED THE WALL FLANGE CUT
616	1/2" WOOD BATTEN AT 16" O.C.
617	TEMPERED GLASS WINDOWS AT GABLE END
618	FRONT DOOR WITH TEMPERED GLASS PANELS
619	C1 FLASHING AND CENTER FLASHING AT BARE WALLS AND ROOF TO WALL CONNECTION
620	C1 FLASHING
621	ROOFING: CONCRETE, FLAT TILE BY EAGLE ROOFING, E.C.P. 808 1900

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 4' ABOVE FINISHED GRADE AND MORE THAN 7' ABOVE FINISHED GRADE OR OTHER SILLING BELOW AT THE EXTERIOR, MUST BE PROTECTED BY 1/2" ABOVE FINISHED GRADE OR MORE STUCCO SLAB. THE GRADE MAY NOT HAVE OPENING THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2021 CRC 1406.13.2

WATER RESISTIVE BARRIER APPLIED OVER WOOD-BASE SHEATHING SHALL HAVE 2 LAYERS OF GYPSUM BOARD OR OTHER APPROVED FINISHING. 2021 CRC 803.7.5

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.



ARCHITECTS, PLANNERS, DESIGNERS
ORANGE COUNTY, LOS ANGELES, BAY AREA, SACRAMENTO

WILSON HOMES

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D.

REGENT PARK - PLAN 2162
CLOVIS

CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

WHA ARCHITECTS, INC. (REV. 05/18)
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REVISIONS

NO.	DATE	DESCRIPTION

PLAN 2137E
EXTERIOR ELEVATIONS
& ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	SA
REVIEWED BY:	
1ST BLOC DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	
CAD FILE NAME:	

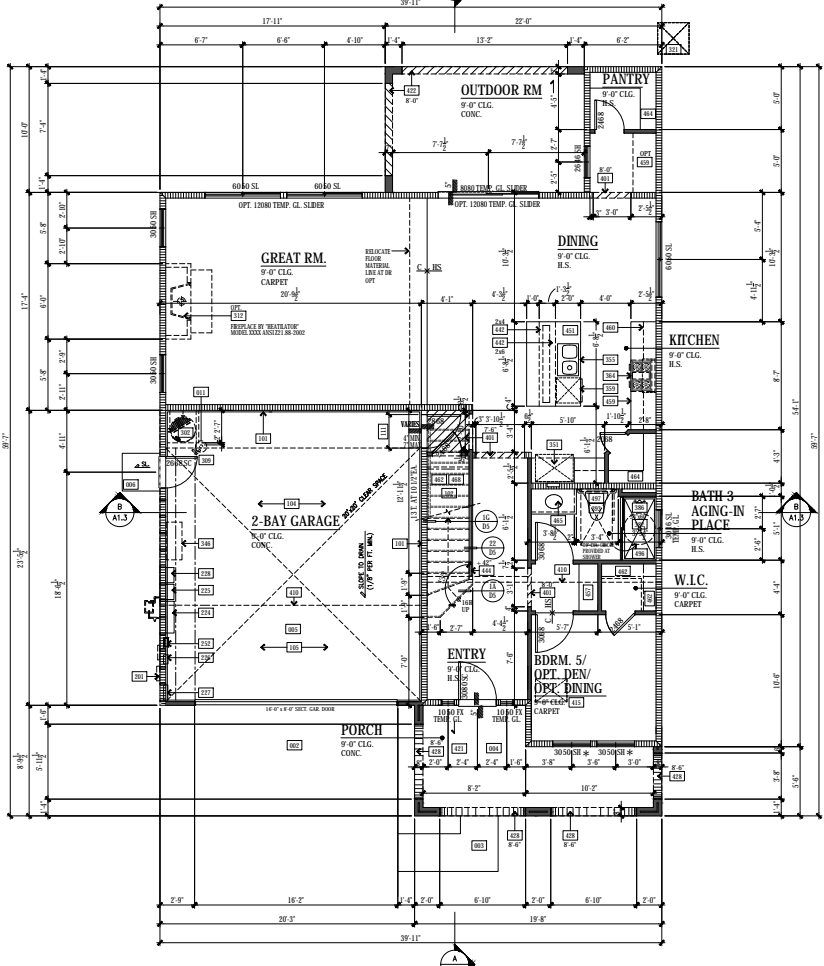
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DATE: 03-07-23
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PROGRESSIVE FARMHOUSE

SCALE: 1/4" = 1'-0"

20230111.00 - PROGRESS SET 03-02-2023



LOWER FLOOR PLAN

- FLOOR PLAN NOTES**
- REFER TO ARCHITECTURAL SYMBOL LEGEND ON SHEET C1 FOR ADDITIONAL INFORMATION AND CLEARANCES
 - ATTN: ACCESS PER CMC 1800. 30MINUTERS PER CMC 3002.12 AND VENTILATION PER ROOM.
 - GRAIN/SPACER ACCESS PER CMC 4008. 4-6" DIA VENTILATION PER ROOM.
 - EMERGENCY ESCAPE AND RESCUE OPENINGS PER CMC 7035. 4-6" DIA MEANS OF EGRESS PER CMC 711.
 - CLADDING PER CMC 8101.1. RSI 2.2 & RUSH.
 - CONSTRUCTION AIR TO FURNACE AIR INLET PER CMC CHAPTER 7.
 - CONSTRUCTION AIR TO WATER HEATER PER CMC SECTION 504.
 - ENVIRONMENTAL AIR DUCTS PER CMC SECTION 504.
 - MICROBIAL GROWTH CONTROL AND PROTECTIVE AGENTS DAMAGE PER CMC 505.
 - MANDATORY REQUIREMENTS FOR APPLIANCES PER CMC SECTION 101.1
 - THE CEILING HEIGHT 8'-0" TO EXCEED 4'-0" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. CMC 811.1.2
 - IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SLAT THAT IS LOCATED LESS THAN 36" ABOVE THE FINISHED FLOOR AND MORE THAN 12" ABOVE FINISHED GRADE OR OTHER SURFACE BEYOND OF THE EXTERIOR, MUST BE PROTECTED BY A GRAB BAR OR HAND PROTECTIVE GLASS. THE GRAB BAR MAY NOT HAVE PEEKING THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. CMC 811.2.4
 - A SHEETROCK NAILING INSPECTION IS REQUIRED. CMC 8109.1.4.2
 - GLAZING IN A WEATHERBAND IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. CMC 8109
 - VERTICAL CLEARANCE ABOVE THE COORP TO COMBUSTIBLES IS 30" UNEXCEPTED. 48" IS PROTECTED. AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE 3" PER THE PERMANENT MARKING LISTED ON THE LABEL. CMC 814.1.4 914.2
 - THE WALL SURFACE BEHIND CORK/ TILE OR OTHER FRESH WALL MATERIALS SUBJECT TO WATER SPILLAGE ARE CONSTRUCTED OF MATERIALS NOT EXPRESSLY AFFECTED BY WATER. NOTE THE USE OF FRESH CEMENT. FRESH MAT. REINFORCED CONCRETE GLASS MUST CONFORM WITH THE FLOOR PLAN. NOTE THAT WATER RESISTANT COPINGS BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. CMC 814.2
 - NOTE THAT ALL ATTIC ACCESS OPENINGS ARE CASKEADED TO PREVENT AIR LOSS. CMC 1506(a)
 - A WINDOW BY 24" CIRCULAR IS PROVIDED AT THE SLIDING FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 104 SQUARE FEET. CPC 408.6

OPTIONAL DEN / DINING IN LIEU OF BDRM. 5

FLOOR PLAN KEY NOTES

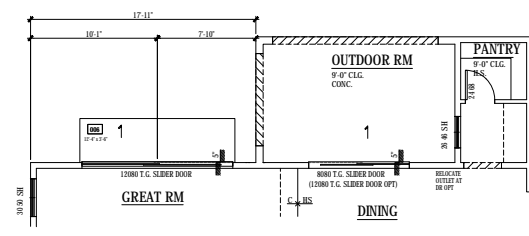
- | NO | NOTE |
|------|--|
| 902 | CONCRETE FINISH BY OTHERS |
| 903 | CONCRETE FINISH BY OTHERS |
| 904 | CONCRETE FLOOR SLAB BY OTHERS. SLOPE 1/4" PER FOOT BEYOND THE DRAWN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND FURNISH SCHEDULES |
| 905 | CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT AWAY FROM THE DRIVE |
| 906 | CONCRETE STAIR - 30' STEP AND 1/4" RISE THAT THE TOP OF THE STAIRS SHALL BE 1/4" BELOW FINISHED GRADE. SEE DETAIL 1830D |
| 907 | CALL OUT LOCATIONS SHALL BE IDENTIFIED WITH DIMENSIONS AND ALL STEPS BY MEANS OF A MIN. 1/4" CIP. OR, OR EQUIVALENT, APPLIED TO THE GARAGE SIDE AND EXTENDED TO THE HOIST STRUCTURE. CMC SECTION 504.2 |
| 908 | EXTERIOR ACCESSIBLE SPACE UNDER STAIRS, RAMP WALLS, UNDER STAIR STRUCTURE AND ANY SURFS PROTECTED ON THE EXCLUDED SIDE WITH 1/4" CIP/SIN BOARD PER CMC SECTION 504.2 |
| 909 | GARAGE AND/OR CARPORT CEILING WITH RAFTERS/BEAMS ABOVE SHALL BE SEPARATED FROM THE EXTERIOR BY A MIN. 1/4" TYPE 3 CIP. OR, OR EQUIVALENT, SUPPORTING THE CEILING. CMC SECTION 504.2 |
| 910 | GARAGE CEILING CARPORT ATTN: CEILING JOISTING USED FOR SEPARATION SHALL BE SEPARATED FROM THE EXTERIOR ATTY BY A MIN. 1/4" TYPE 3 CIP. OR, OR EQUIVALENT |
| 911 | PURCHASED WINDOW OR DOOR IS IDENTIFIED WITH THESE SYMBOLS. SEE LIST BELOW. 1/2" THICK OR TO MATCH THE BATED DOOR. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING PER CMC SECTION 8101.1 |
| 912 | CARPET SHALL BE POWER A CLEAR WIDTH OF NOT LESS THAN 36" OVER WAYS MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP. WITH THE DOOR OPEN NO |
| 913 | UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION |
| 914 | LOCATION OF SYSTEMS/DRAINAGE/STAIRWAYS (NOTIFIED NOT PROVIDED). INSTALL WITHIN 3' OF EXTERIOR WALL. REFER PER CMC SECTION 504.2 |
| 915 | 4" X 1/4" P.CIP. PANEL. NO PROTECTION REQUIRED |
| 916 | ACCESS PANELS |
| 917 | FLUORO CARBON PANELS |
| 918 | STAIRS RUS |
| 919 | STAIRS RUS RUS RUS |
| 920 | STAIRS RUS RUS RUS |
| 921 | STAIRS RUS RUS RUS |
| 922 | STAIRS RUS RUS RUS |
| 923 | STAIRS RUS RUS RUS |
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| 1000 | STAIRS RUS RUS RUS |

AGENDA ITEM NO. 13.

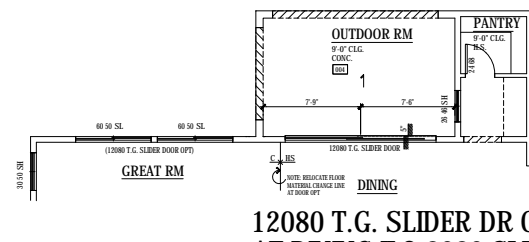
ORANGE COUNTY LOS ANGELES BAY AREA SACRAMENTO

WILSON HOMES

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D.



12080 T.G. SLIDER DR OPT AT GREAT RM ILO (2) 6050 SL WINDOWS

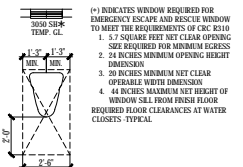


12080 T.G. SLIDER DR OPT AT DINING ILO 8080 SLDR

SEE SHEET A1.1.2 FOR ADDENDA FLOOR PLANS
NAILING SCHEDULE IS IN SHEET SD.2

FLOOR PLAN LEGEND

- 2 x 4 D.F. #2 AT 16" O.C.
- 2 x 4 D.F. #2 AT 16" O.C.



INTERIOR ELEVATION KEY

FLOOR AREA TABLE	PLAN 2432A
FIRST FLOOR	1258 SQ. FT.
SECOND FLOOR	1194 SQ. FT.
TOTAL	2452 SQ. FT.
2-BAY GARAGE	488 SQ. FT.
CALIFORNIA ROOM	158 SQ. FT.
PORCH	137 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

CONTEMPORARY SPANISH

PLAN 2432A
FLOOR PLAN AND
OPTION

PROJECT MANAGER: CC
DESIGNER: AM
DRAWN BY: NH
INTERIOR BY: CC
1ST I.D. DATE: 03-09-23
USED FOR CONSTRUCTION: 03-09-23
JOB NUMBER: 2432A.00
CAD FILE NAME: A1.1.1

DATE: 03-09-23
SHEET: A1.1.1

REGENT PARK - PLAN 2432
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

REGENT PARK - PLAN 2432
CLOVIS
 CLOVIS, CALIFORNIA
 WILSON HOMES
 FRESNO, CALIFORNIA

WILSON HOMES COMMERCIAL ARCHITECTS, INC. 460 N.W. 10TH AVENUE, SUITE 200, MIAMI, FL 33136
 7700 WILSON PARK DRIVE, SUITE 100, FRESNO, CA 93720
 1800 WILSON PARK DRIVE, SUITE 100, FRESNO, CA 93720
 3800 WILSON PARK DRIVE, SUITE 100, FRESNO, CA 93720

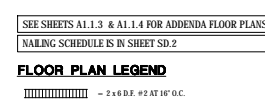
REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 2432A
FLOOR PLAN AND OPTION

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	NH
INTERVIEW BY:	
1ST BLOC. SEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2432A.00
CAD FILE NAME:	A1.1.2

DATE: **03-09-23**
 SHEET: **A1.1.2**

- ### FLOOR PLAN NOTES
- REFER TO ARCHITECTURAL SYMBOL LEGEND ON SHEET C1 FOR ADDITIONAL INFORMATION AND CLEARANCES
 - ATTIC: ACCESS PER CRC 807; DRAPETOPS PER CRC 803.1.2 AND VENTILATION PER 806.
 - CHIMNEY SPACES: ACCESS PER CRC 806.4 AND VENTILATION PER 806.1.
 - EMERGENCY ESCAPE AND RESCUE OPENINGS PER CRC 803.2 & 810.
 - MEANS OF EGRESS PER CRC 11.
 - CLADDING PER CRC 1201.1, 1201.2, 2.2.1 & 2.2.4 & 2.2.4.2.
 - COMBUSTION AIR TO FORCED AIR UNIT PER CRC CHAPTER 7.
 - COMBUSTION AIR TO WATER HEATER PER CRC SECTION 504.8.
 - ENVIRONMENTAL AIR DUCTS PER CRC SECTION 504.
 - MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CRC 305.
 - MANDATORY REQUIREMENTS FOR APPLIANCES PER CRC SECTION 110.1.
 - THE SILL HEIGHT IS NOT TO EXCEED 4" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. CRC 803.1.1
 - IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 4" ABOVE THE FINISHED FLOOR AND MORE THAN 7" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GLAZED OR GLAZED WITH GLASS. THE GLAZED MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. CRC 803.1.2
 - A SHERLOCK MARKING PROJECTION IS REQUIRED. CRC 810.1.4.2
 - GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. CRC 810.8
 - VERTICAL CLEARANCE ABOVE THE COURTYARD TO COMBUSTIBLES IS 3" UNPUNCTURED OR 4" PROTECTED. AND THE MINIMUM CLEARANCE IS REQUIRED TO BE PER THE PERMANENT MARKING LETTERS ON THE UNIT. CRC 116.4 & 916.2
 - THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPILLAGE ARE CONSTRUCTION OF MATERIALS NOT AFFECTED BY WATER. NOTE THE USE OF FIBER CEMENT, FIBER MAT, REINFORCED CONCRETE OR GLASS MAY OCCUR ON THE FLOOR PLAN. NOTE THAT WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. CRC 1201.2
 - NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. CRC 150.6(a)
 - A WINDOW OR DOOR CIRCLE IS PROVIDED AT THE SHOWER ROOM. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 1024 SQUARE INCHES. CRC 408.6

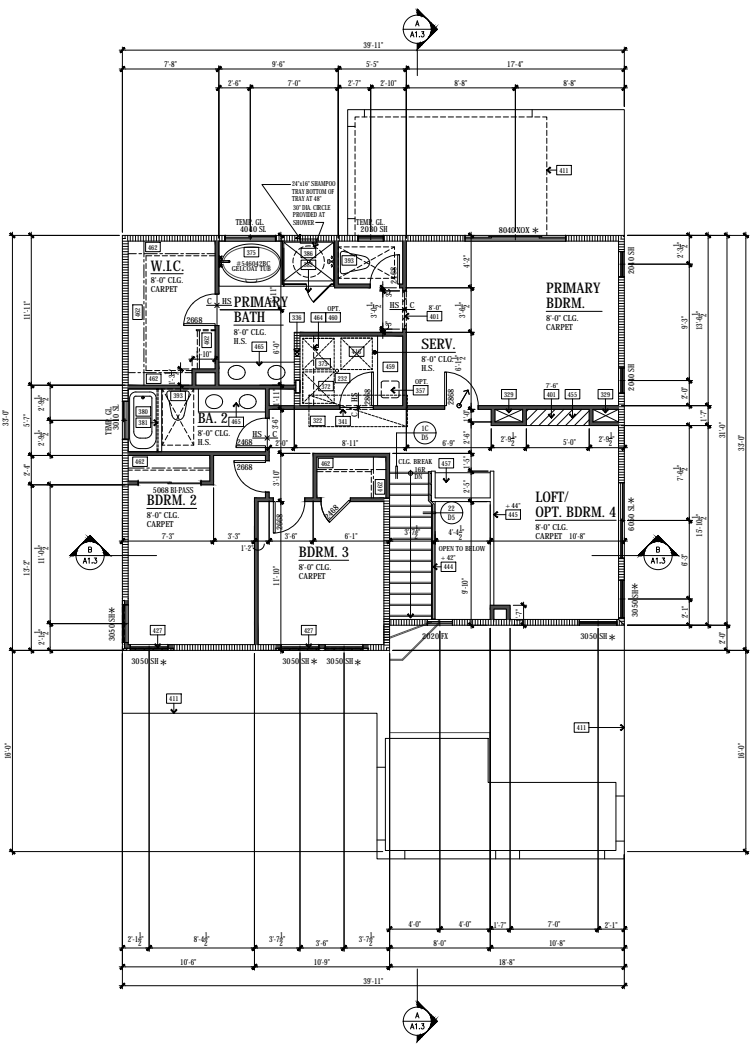


FLOOR AREA TABLE

FLOOR AREA TABLE	PLAN 2432A
FIRST FLOOR	1238 SQ. FT.
SECOND FLOOR	1194 SQ. FT.
TOTAL	2432 SQ. FT.
3-BAY GARAGE	488 SQ. FT.
CALIFORNIA ROOM	158 SQ. FT.
PORCH	137 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

- ### FLOOR PLAN KEY NOTES
- | NOTE | NOTE |
|-------------------------------|--------------------------------|
| 902 CONCRETE THRESH BY OTHERS | 909 CONCRETE THRESH BY OTHERS |
| 903 CONCRETE THRESH BY OTHERS | 910 CONCRETE THRESH BY OTHERS |
| 904 CONCRETE THRESH BY OTHERS | 911 CONCRETE THRESH BY OTHERS |
| 905 CONCRETE THRESH BY OTHERS | 912 CONCRETE THRESH BY OTHERS |
| 906 CONCRETE THRESH BY OTHERS | 913 CONCRETE THRESH BY OTHERS |
| 907 CONCRETE THRESH BY OTHERS | 914 CONCRETE THRESH BY OTHERS |
| 908 CONCRETE THRESH BY OTHERS | 915 CONCRETE THRESH BY OTHERS |
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| 978 CONCRETE THRESH BY OTHERS | 985 CONCRETE THRESH BY OTHERS |
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UPPER FLOOR PLAN

SEE SHEETS A1.1.3 & A1.1.4 FOR ADDENDA FLOOR PLANS
 MARKING SCHEDULE IS IN SHEET SD.2

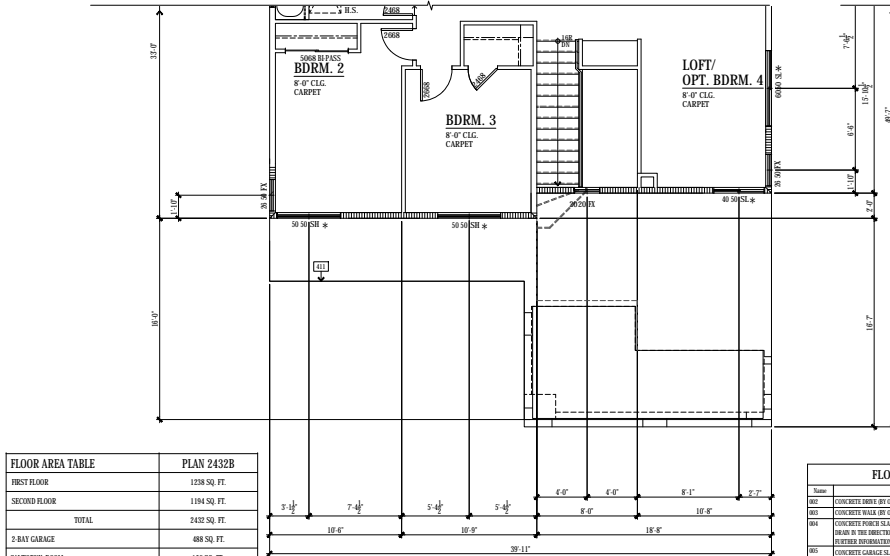
- ### FLOOR PLAN LEGEND
- 2'-6" H x 6" D @ 16" O.C.
 - 2'-4" H x 6" D @ 16" O.C.
- (*) INDICATES WINDOW REQUIRED FOR EMERGENCY ESCAPE AND RESCUE WINDOW TO MEET THE REQUIREMENTS OF CRC 810.1
- 5.7 SQUARE FEET NET CLEAR OPENING
 - 24 INCHES MINIMUM CLEAR HEIGHT DIMENSION
 - 30 INCHES MINIMUM NET CLEAR OPERABLE WIDTH DIMENSION
 - 44 INCHES MAXIMUM NET HEIGHT OF WINDOW SILL FROM FINISH FLOOR REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL.

AGENDA ITEM NO. 13.

ORANGE COUNTY · LOS ANGELES · BAY AREA · SACRAMENTO

WILSON HOMES

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D.

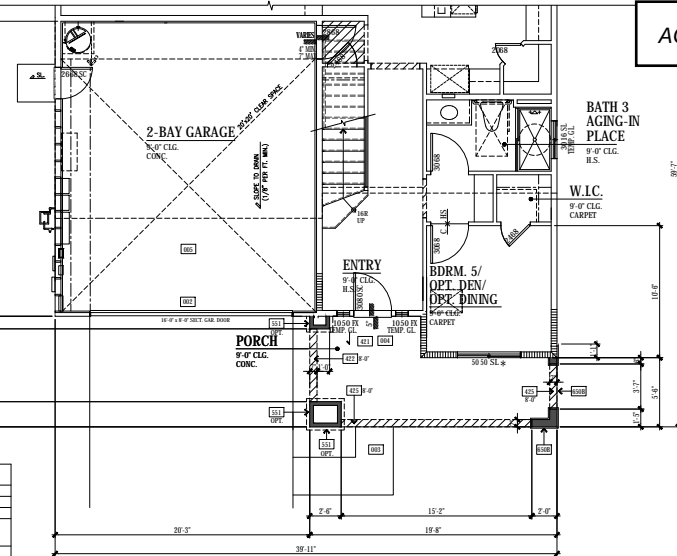


FLOOR AREA TABLE	PLAN 2432B
FIRST FLOOR	1238 SQ. FT.
SECOND FLOOR	1194 SQ. FT.
TOTAL	2432 SQ. FT.
2-BAY GARAGE	488 SQ. FT.
CALIFORNIA ROOM	158 SQ. FT.
PORCH	137 SQ. FT.

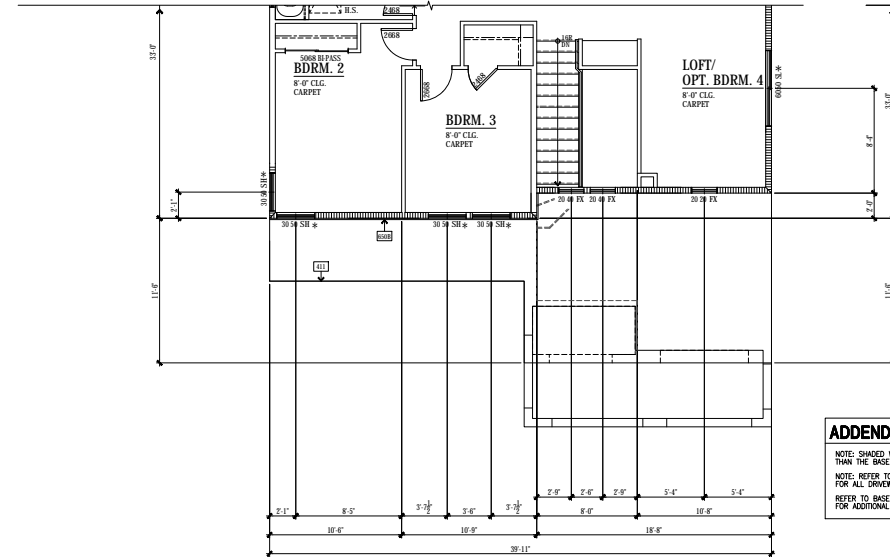
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

FLOOR PLAN KEY NOTES	
NOTE	NOTE
002	CONCRETE SLABS (BY OTHERS)
003	CONCRETE WALLS (BY OTHERS)
004	CONCRETE FINISH SLAB (BY OTHERS) - SLOPE 1/4" PER FOOT MINIMUM (2% SLOPE) TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FINISHED ELEVATIONS.
005	CONCRETE GABRIOL SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
011	SOFFIT OF FLOOR BELOW
021	STUCCO FINISH - HEIGHT PER PLAN
022	STUCCO SMOOTH - HEIGHT PER PLAN
023	WOOD SHIPIT - HEIGHT PER PLAN
031	MANUFACTURED/ASSEMBLED STUCCO SYSTEM VENDOR - INSTALL PER MANUFACTURER'S INSTRUCTIONS. ASSEMBLED MASONRY VENDOR REQUIREMENTS PER IBC SECTION 8.01.12
0308	FIELD CHECK LAP SPACING - 3" ON TYPICAL FOR EQUIVALENT DESIGN SELECT (CHANGING, DISPOSABLE, & INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)

PARTIAL UPPER FLOOR PLAN 2432B - MODERN



PARTIAL LOWER FLOOR PLAN 2432B - MODERN

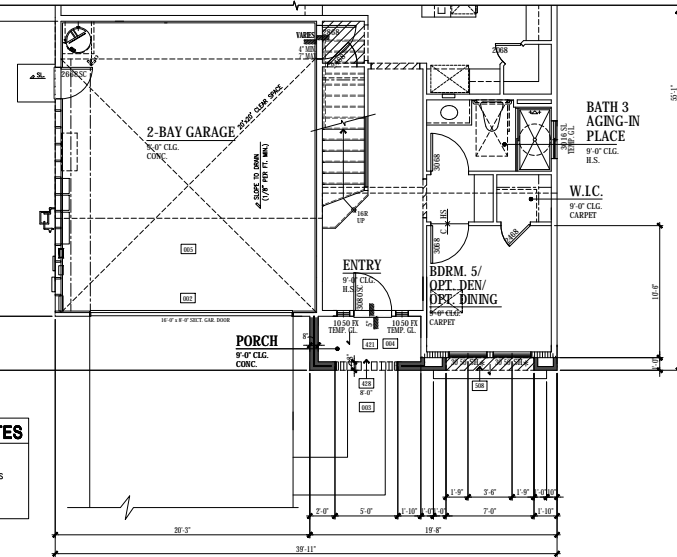


ADDENDA FLOOR PLAN NOTES	
NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN	
NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRAINAGE AND SIGNALLING LOCATIONS.	
REFER TO BASE PLAN SHEETS: A1.1.1 & A1.1.2 FOR ADDITIONAL NOTES AND DIMENSIONS.	

PARTIAL UPPER FLOOR PLAN 2432C - PROGRESSIVE NAPA

FLOOR PLAN KEY NOTES	
NOTE	NOTE
002	CONCRETE SLABS (BY OTHERS)
003	CONCRETE WALLS (BY OTHERS)
004	CONCRETE FINISH SLAB (BY OTHERS) - SLOPE 1/4" PER FOOT MINIMUM (2% SLOPE) TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FINISHED ELEVATIONS.
005	CONCRETE GABRIOL SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
011	SOFFIT OF FLOOR BELOW
021	STUCCO FINISH - HEIGHT PER PLAN
022	STUCCO SMOOTH - HEIGHT PER PLAN
031	MANUFACTURED/ASSEMBLED STUCCO SYSTEM VENDOR - INSTALL PER MANUFACTURER'S INSTRUCTIONS. ASSEMBLED MASONRY VENDOR REQUIREMENTS PER IBC SECTION 8.01.12
0308	FIELD CHECK LAP SPACING - 3" ON TYPICAL FOR EQUIVALENT DESIGN SELECT (CHANGING, DISPOSABLE, & INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)

PARTIAL LOWER FLOOR PLAN 2432C - PROGRESSIVE NAPA



FLOOR AREA TABLE	PLAN 2432C
FIRST FLOOR	1238 SQ. FT.
SECOND FLOOR	1194 SQ. FT.
TOTAL	2432 SQ. FT.
2-BAY GARAGE	488 SQ. FT.
CALIFORNIA ROOM	158 SQ. FT.
PORCH	40 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

REGENT PARK - PLAN 2432
CLOVIS

CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

'B' MODERN AND 'C' PROGRESSIVE NAPA

WILLIAM HERRMANN ARCHITECTS, INC. (AIA) 000000
THIS ARCHITECTURAL PROJECT IS LICENSED BY THE STATE OF CALIFORNIA. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS PROJECT OR ANY PART THEREOF IS STRICTLY PROHIBITED. ANY USE OF THIS PROJECT OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF WILLIAM HERRMANN ARCHITECTS, INC. IS STRICTLY PROHIBITED. THE THIRD PARTY SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

REVISIONS		
NO.	DATE	DESCRIPTION

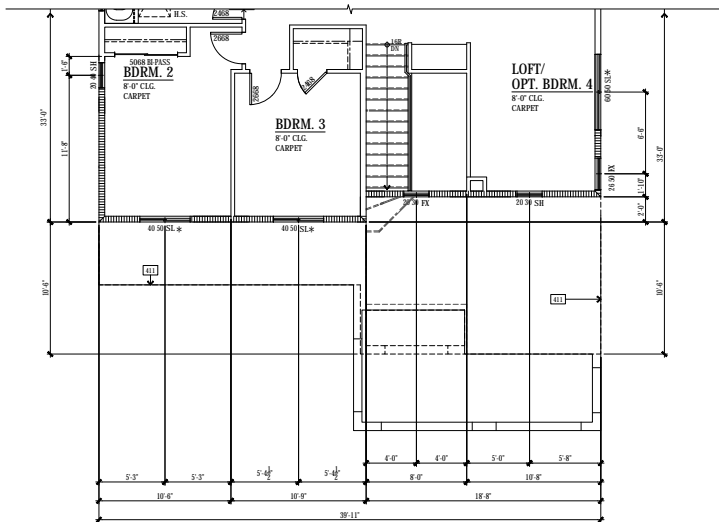
PLAN 2399B & C
ADDENDA FLOOR
PLANS

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	MB
INTERVIEW BY:	
1ST BLOC. SEPT. SUBMITTAL:	
USED FOR CONSTRUCTION:	
JOB NUMBER:	202301.00
CAD FILE NAME:	A1.1.3

DATE: 03-09-23
SHEET: A1.1.3

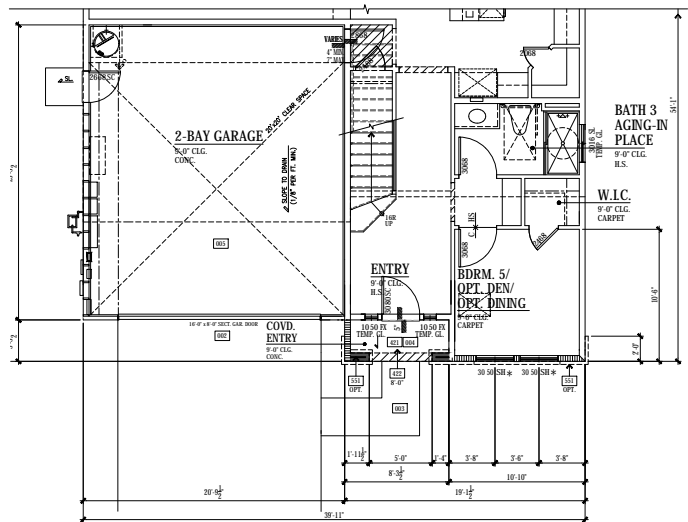
SCALE: 1/4" = 1'-0"

202301.1.00 - PROGRESS SET 03-09-2023



PARTIAL UPPER FLOOR PLAN 2432D

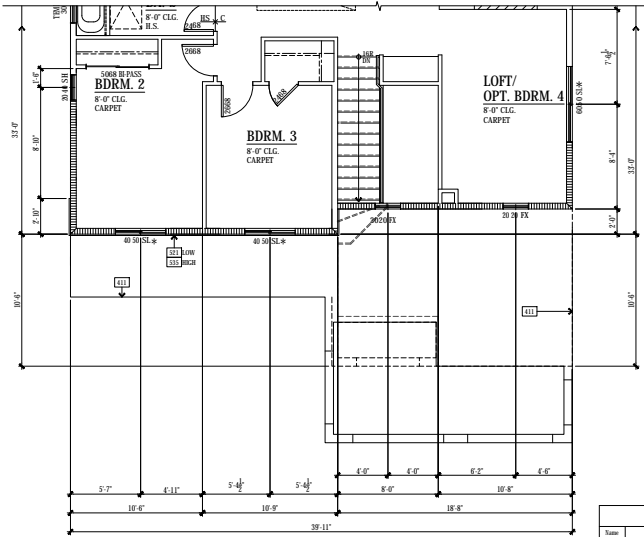
Item	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) - SLOPE 1/4" PER FOOT MINIMUM (2% SLOPE TO DRAIN IN THE DIRECTION INDICATED REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER DIMENSIONS)
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
006	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
011	LINE OF FLOOR FINISH
012	STYCO CO. CORE BOARD PER PLAN
013	STYCO CORE BOARD PER PLAN
014	MANUFACTURED ADHESIVE STYCO STAIN VENEER - INSTALL PER MANUFACTURER'S INSTRUCTIONS. ADHESIVE MANSUARY VERIFICATION REQUIREMENTS PER CBC SECTION 9103.12



PARTIAL LOWER FLOOR PLAN 2432D

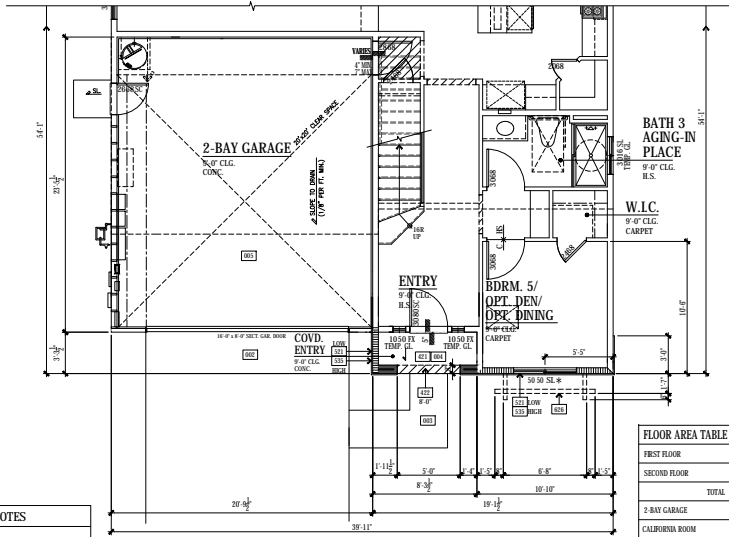
FLOOR AREA TABLE	PLAN 2432D
FIRST FLOOR	1238 SQ. FT.
SECOND FLOOR	1194 SQ. FT.
TOTAL	2432 SQ. FT.
2-BAY GARAGE	488 SQ. FT.
CALIFORNIA ROOM	158 SQ. FT.
PORCH	27 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



PARTIAL UPPER FLOOR PLAN 2432E

Item	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) - SLOPE 1/4" PER FOOT MINIMUM (2% SLOPE TO DRAIN IN THE DIRECTION INDICATED REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER DIMENSIONS)
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
006	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
011	LINE OF FLOOR FINISH
012	STYCO CO. CORE BOARD PER PLAN
013	STYCO CORE BOARD PER PLAN
014	MANUFACTURED ADHESIVE STYCO STAIN VENEER - INSTALL PER MANUFACTURER'S INSTRUCTIONS. ADHESIVE MANSUARY VERIFICATION REQUIREMENTS PER CBC SECTION 9103.12
015	INTERIOR ASSEMBLY ANOTE - WOOD CORE PER EXISTING



PARTIAL LOWER FLOOR PLAN 2432E

FLOOR AREA TABLE	PLAN 2432E
FIRST FLOOR	1238 SQ. FT.
SECOND FLOOR	1194 SQ. FT.
TOTAL	2432 SQ. FT.
2-BAY GARAGE	488 SQ. FT.
CALIFORNIA ROOM	158 SQ. FT.
PORCH	27 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

ADDENDA FLOOR PLAN NOTES
 NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN
 NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DIMENSIONS AND 'SCHEDULE' LOCATIONS
 REFER TO BASE PLAN SHEETS A1.1.1 & A1.1.2 FOR ADDITIONAL NOTES AND DIMENSIONS.

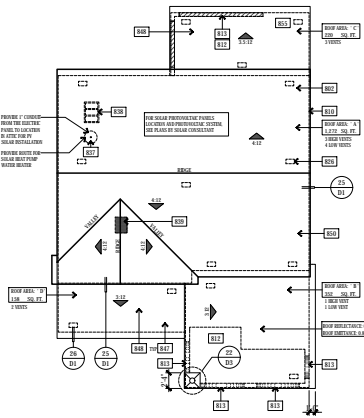
D' COTTAGE - E PROGRESSIVE FARMHOUSE
REGENT PARK - PLAN 2432
CLOVIS
 CLOVIS, CALIFORNIA
 WILSON HOMES
 FRESNO, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION

**PLAN 2432D
 ADDENDA FLOOR
 PLANS**

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	MB
INTERVIEW BY:	
1ST BLOC. SEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2023011.00
CAD FILE NAME:	A1.1.4
DATE:	03-09-23
SHEET:	A1.1.4

SCALE: 1/4" = 1'-0"



SCALE: 1/8" = 1'-0"

SECTION REFERENCE	A	SECTION TITLE	CONTEMPORARY SPANISH
ROOF MATERIAL	CONCRETE ROOF TILE	RAFTER	2x6
	LOW PROFILE CONCRETE S-TILE	TRUSS	NONE
		CEILING	1'-0"
		TRUSS	TIGHT

ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATTIC ACCESS PER CIRC SECTION B0607.
- PROVIDE ATTIC A SOFFIT VENTILATION PER CIRC SECTION B0607. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/10th OF THE AREA OF THE VENTED SPACE. EXCEPT THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30th OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - CLIMATE ZONES 4 & 7 AND A CLASS FOR A VAPOR RETARDER IS INSTALLED ON THE INSIDE IN VENTED SIDE OF THE ROOFING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (0.91 M) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS COINCIDES WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION OF MORE THAN 3 FEET (0.91 M) BELOW THE RIDGE OF HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 1/4:12 OR GREATER. PER CIRC SECTION B0607.4. IF 2:12 OR GREATER IN RAFTERS, ADAPT APPLICATION AS NOTED IN ACCORDANCE WITH B0607.3.1 (2006-12-CRC).
- WOOD RAFTERS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER THE ROOFING EXISTING INSTALLATION MANU.
- WHERE ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A RIB TO THE JOIST PER PITCH TO ALLOW FOR THE CORNER OF THE CORNER PITCH. ROOF SHALL HAVE MIN. ACID SOLAR REFLECTANCE OF 0.20 MIN. THERMAL EMITTANCE OF 0.75. OR ACID SOLAR REFLECTANCE INDEX OF 0.6 FOR STEEP-SLOPE ROOFS. FOR LOW-SLOPE ROOFS, ROOF SHALL HAVE A MIN. ACID SOLAR REFLECTANCE OF 0.63 THERMAL EMITTANCE OF 0.75. OR ACID SOLAR REFLECTANCE INDEX OF 0.75 OR MORE PER CIRC 154.2(B)(1).

SOLAR PHOTOVOLTAIC SYSTEMS

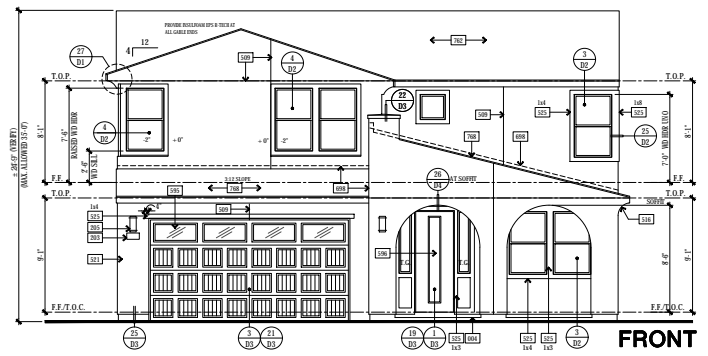
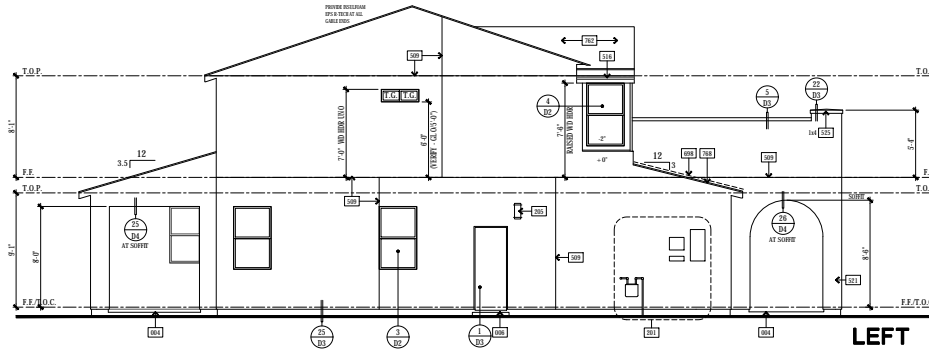
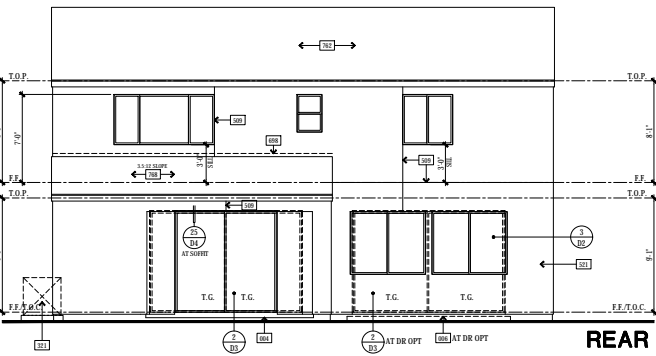
- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CIRC SECTION 154.1041. INSTALLATION PER CIRC SECTION 504.3 THROUGH 504.8 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - REFER TO SOI AS CONSULTANT PLANS THESE SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEMS, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.
- NOTE THAT NO MECHANICAL PLUMBING EXHAUST VENTS, ROOF ATTIC VENTS WILL BE PERMITTED WITHIN THE SOLAR PANEL AREA. WHERE APPLICABLE, CONSIDERATION AND COORDINATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DRYER VENT TERMINATION. SEE CA CHECK CODE SECTION 110.1(A) AND CIRC SECTION 111.2.1.

ROOF PLAN KEY NOTES

NO.	CLASS & ROOFING	NOTE
B002	CLASS & ROOFING - LOW PROFILE CONCRETE S-TILE	PER ENGLE ROOFING EX-CY FOR 1600
B010	AREA OF WALL BELOW	
B017	STUCCO CEILING	
B013	STUCCO SURF	
B020	ROOF VENT - OUTSIDE TO SURFACE CLOSED VENT EX-CY FOR 1600	
B027	PROVIDE 1" CONCRETE ROOF BEARING PANEL TO BE LOCATED IN ATTIC FOR PV SOLAR INSTALLATION. PROVIDE BRUTE FOR SOLAR HEAT PUMP WATER HEATER	
B028	PHOTOVOLTAIC SOLAR PANELS	
B029	MIN. 2" OUF OFFERING IN CALIFORNIA ROOF FRAMING CODEBOOKS FOR ATTIC ACCESS AND CROSS VENTILATION. CONTRAST TO VENTILATION TO ALL ATTIC AREAS.	
B047	PROVIDE NON-COMBUSTIBLE FINISHING ON THE CEILING. AT CONCEALED SPACE AT BAYS.	
B048	NOTE: LESS THAN 4:12 ROOF SLOPE TO BAY (2) LAYERS OF ROOF FEEL APPLIED SINGLE CHANNEL - TOP	

ATTIC VENTILATION CALCULATIONS PLAN #432A

ROOF ATTIC AREA A 1272 sq. ft. 18168 sq. in.		CALCULATION FACTOR: 1/300	
MIN. VENTILATION REQUIRED: TOTAL	610 sq. in.	TOTAL PROVIDED:	666 sq. in.
MIN. VENTILATION REQUIRED: HIGH	305 sq. in.	TOTAL HIGH PROVIDED:	294 sq. in.
MIN. VENTILATION REQUIRED: LOW	305 sq. in.	TOTAL LOW PROVIDED:	392 sq. in.
HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY
CLOSED VENT - LOW PROFILE	98 sq. in. x 4	392 sq. in.	4
CONC S-TILE			
LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY
CLOSED VENT - LOW PROFILE	98 sq. in. x 4	392 sq. in.	4
CONC S-TILE			
ROOF ATTIC AREA B 352 sq. ft. 5088 sq. in. <td colspan="3">CALCULATION FACTOR: 1/300</td>	CALCULATION FACTOR: 1/300		
MIN. VENTILATION REQUIRED: TOTAL	168 sq. in.	TOTAL PROVIDED:	196 sq. in.
MIN. VENTILATION REQUIRED: HIGH	84 sq. in.	TOTAL HIGH PROVIDED:	98 sq. in.
MIN. VENTILATION REQUIRED: LOW	84 sq. in.	TOTAL LOW PROVIDED:	98 sq. in.
HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY
CLOSED VENT - LOW PROFILE	98 sq. in. x 2	196 sq. in.	2
CONC S-TILE			
LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY
CLOSED VENT - CONC S-TILE	98 sq. in. x 2	196 sq. in.	2
CONC S-TILE			
ROOF ATTIC AREA C 220 sq. ft. 3100 sq. in. <td colspan="3">CALCULATION FACTOR: 1/150</td>	CALCULATION FACTOR: 1/150		
MIN. VENTILATION REQUIRED: TOTAL	211 sq. in.	TOTAL PROVIDED:	294 sq. in.
MIN. VENTILATION REQUIRED: HIGH	106 sq. in.	TOTAL HIGH PROVIDED:	147 sq. in.
MIN. VENTILATION REQUIRED: LOW	105 sq. in.	TOTAL LOW PROVIDED:	147 sq. in.
HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY
CLOSED VENT - LOW PROFILE	98 sq. in. x 3	294 sq. in.	3
CONC S-TILE			
ROOF ATTIC AREA D 158 sq. ft. 2276 sq. in. <td colspan="3">CALCULATION FACTOR: 1/150</td>	CALCULATION FACTOR: 1/150		
MIN. VENTILATION REQUIRED: TOTAL	152 sq. in.	TOTAL PROVIDED:	196 sq. in.
MIN. VENTILATION REQUIRED: HIGH	76 sq. in.	TOTAL HIGH PROVIDED:	196 sq. in.
MIN. VENTILATION REQUIRED: LOW	76 sq. in.	TOTAL LOW PROVIDED:	196 sq. in.
HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY
CLOSED VENT - LOW PROFILE	98 sq. in. x 2	196 sq. in.	2
CONC S-TILE			



ELEVATION KEY NOTES	
NO.	NOTE
B049	CONCRETE PARCH SLAB (BY OTHERS) - SLOPE 1/4" PER FOOT DOWN IN THE DIRECTION INDICATED REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR MORE INFORMATION.
B050	CONCRETE STRAP - 3/4" DEEP AND 1" WIDER THAN THE ROOF JOIST FOR ROOF MEMBERS IN WHICH THEY ARE USED.
B051	STUCCO EQUIPMENT AND SERVICE PANELS - VERIFY LOCATIONS.
B052	ADDRESS PANEL - 4" MIN. DEEP BEARING ADDRESS CHARACTERISTICS PATTERN SHOULD BE PROTECTED TO FULLY EXPOSE FROM THE STREET.
B053	ACCENT EXTERIOR WALL LIGHT
B054	FOR CONSERVING CONDENSER LOCATIONS
B055	STUCCO CEILING - VERIFY THE FINISH AND COLOR.
B056	SECURE THE EXTERIOR WALL ACCENT PER DETAIL.
B057	FOR ENDS OF ROOF EX-CY FOR 1600. STUCCO TYPE FOR 11 PORTLAND CEMENT FINISH PER MANUFACTURER'S LISTING.
B058	STUCCO OVER ROOF FROM TRIM - TRIM SHAPES PER ELEVATION.
B059	TAMPED GLASS WINDOWS AT GARAGE DOOR
B060	ROOF TRIM WITH FINISHING OVER THE GLASS PANELS
B061	WHERE CONCRETE LAP JOINTS, 5/8" THICK WADERSLIPS OR EQUIVALENT FINISH SELECT CEMENTABLE. EXPLORE IF INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.
B062	C.I. FLASHING - USE COLLAR FLASHING AT BAY WALLS, USE ROOF TO WALL CONNECTIONS.
B063	C.I. FLASHING
B064	ENGLE ROOFING EX-CY FOR 1600 CLASS 1, 9937 - CONCRETE LOW PROFILE S-TILE
B065	NOTE: LESS THAN 4:12 ROOF SLOPE TO BAY (2) LAYERS OF ROOF FEEL APPLIED SINGLE CHANNEL - TOP
ANY OPERABLE WINDOW WITH A VENT THAT IS LOCATED LESS THAN 4' ABOVE FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY AN OVERHEAD AIR-RAISED PANE GLASS. THE GLASS MUST NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. SEE CIRC 146.1.2	
NOTE: WATER RESISTIVE BARRIER APPLIED OVER ROOF AND BASE SHEETING SHALL HAVE 2 LAYERS OF GRADE 9 PAPER APPLIED OVERLAPPING JOINTS. SEE CIRC 670.1.3	
FINISHED GRADE VALUES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SEE DRAINAGE.	

AGENDA ITEM NO. 13.

ARCHITECTS, PLANNERS, DESIGNERS

ORANGE COUNTY LOS ANGELES BAY AREA SACRAMENTO

WILSON HOMES

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D.

REGENT PARK - PLAN 2432
CLOVIS

CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

WILLIAM HERRMANN ARCHITECTS, INC. (WHA)
WHA OFFICES: PROJECTS BY CONCRETE LAW OFFICE AND INTERIOR PROJECTS PROVIDED TO US BY OTHERS ARE NOT OURS OR OURS BY OTHERS. WE ARE NOT TO BE ACCUSED BY A THIRD PARTY. WE ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE THIRD PARTY FOR THE THIRD PARTY SHALL BE THE THIRD PARTY.
WHA - 1000 N. MARKET STREET, SUITE 100, FRESNO, CA 93702

REVISIONS

NO.	DATE	DESCRIPTION

PLAN 2432A EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	WB
CHECKED BY:	
DATE:	03-09-23
JOB NUMBER:	2432A1.00
CAD FILE NAME:	ALA

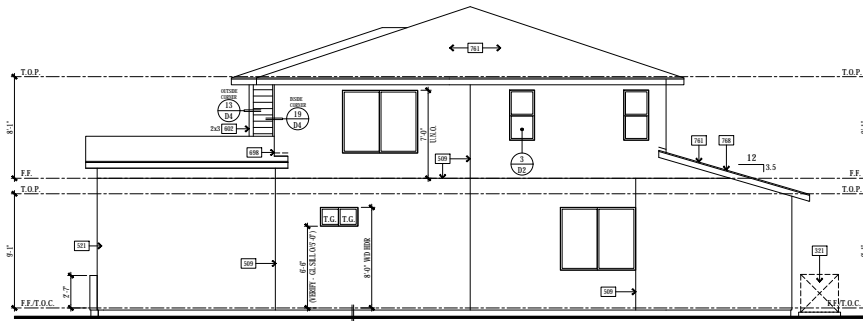
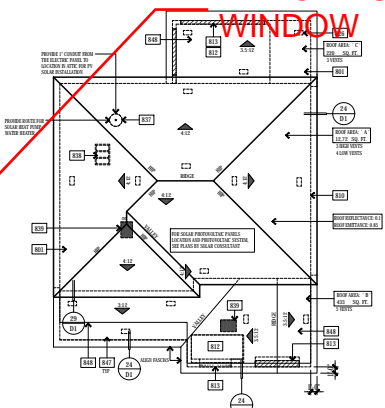
DATE: 03-09-23
SHEET: A1.4

SCALE: 1/4" = 1'-0"

CONTEMPORARY SPANISH

2023011.00 - PROGRESS SET 03-09-2023

REMOVE GRID WINDOW



RIGHT

ELEVATION KEY NOTES table with columns for Item and Note, listing material and construction specifications.



WILSON HOMES

ROOF PLAN SCALE: 1/8" = 1'-0"

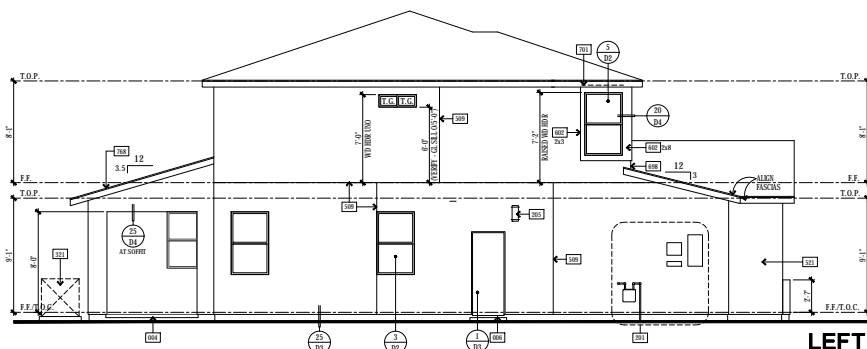
Table with columns for ROOF MATERIAL, DIMENSIONS, and PROGRESSIVE NAPA, listing concrete flat tile and dimensions.

ROOF PLAN NOTES

- 1. SEE GENERAL NOTES FOR ROOF NOTES. 2. SQUARE MEMBERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. 3. ATTC ACCESS PER CIRC SECTION 2007. 4. PROVIDE ATTC & SUPPORT VENTILATION PER CIRC SECTION 2008.2...

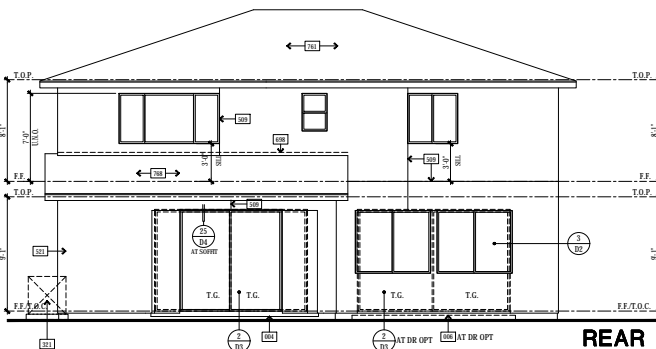
ATTIC VENTILATION CALCULATIONS PLAN 2432C

Table showing attic ventilation calculations for three scenarios (A, B, C) with columns for required and provided ventilation in sq. ft.

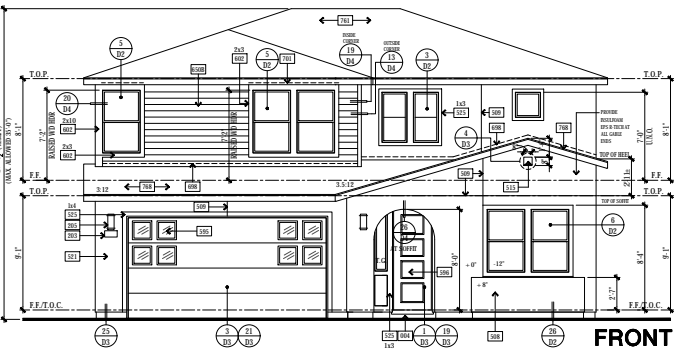


LEFT

ROOF PLAN KEY NOTES table with columns for Item and Note, detailing material and construction specifications for roof and solar systems.



REAR



FRONT

WHA ARCHITECTS, PLANNERS, DESIGNERS, GROUND COUNTY, LOS ANGELES, BAY AREA, SACRAMENTO

REVISIONS table with columns for NO., DATE, and DESCRIPTION, listing project changes.

PROGRESSIVE NAPA PLAN 2399C EXTERIOR ELEVATIONS & ROOF PLAN

Table with columns for PROJECT MANAGER, DESIGNER, DRAWN BY, and other project details.

437

DATE: 03-09-23 A1.6

PROGRESSIVE NAPA

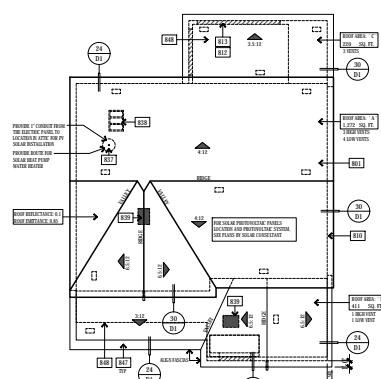
TRACT NUMBER: 6205 PROJECT TYPE: S.F.D.

REGENT PARK - PLAN 2432 CLOVIS

CLOVIS, CALIFORNIA WILSON HOMES FRESNO, CALIFORNIA

SCALE: 1/4" = 1'-0"

2023011.00 - PROGRESS SET 03-09-2023



ROOF PLAN

SCALE: 1/8" = 1'-0"

REVISION REFERENCE	DESCRIPTION	DATE
D	SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.	09/23/20
E	PROVIDE ATTE & SOFFIT VENTILATION PER CRC SECTION 220.4. PER CRC SECTION 220.2.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.	09/23/20

CONCRETE FLAT TILE
 24x6
 2x6
 1'-0" = 1'-0"

ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ATTE ACCESS FOR CRC SECTION 220.7.
- PROVIDE ATTE & SOFFIT VENTILATION PER CRC SECTION 220.4. PER CRC SECTION 220.2.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPT: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED NONE OF THE FOLLOWING CONDITIONS ARE MET:
 • IN CLIMATE ZONES 6, 7 AND 8, A CLASS 5 RATED RAFTER RETARDER IS INSTALLED ON THE WARM IN VENTED SPACE OF THE CEILING.
 • NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTE, OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED 30 MORE THAN 3 FEET 0/4 IN FROM THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY, THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTE SPACE, WHERE THE LOCATION OF WALL OR ROOF FINISHING MEMBERS CONFLICT WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION OF MORE THAN 3 FEET (94 4 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- CLAY AND CONCRETE ROOF TILES SHALL BE INSTALLED ON RAFTERS OF 2" x 4" OR GROUDED OR BLOCK SPACING FROM 16" TO 24" O.C. PER THE MANUFACTURER'S APPLICATIONS (AS REQUIRED) IN ACCORDANCE WITH 2905.1.3, 2905.1.2 (C)2.
- WOOD BATTLES ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7/12 PER THE ROOFING INSTITUTE INSTALLATION MANUAL.
- WHEN ROOF WITH DIFFERENT PITCHES MEET, THE FLASHING OR TRUSS MANUFACTURER MUST USE A FLEECE TO THE SHINGLE PITCH TO MATCH WITH THE HAVE OF THE LOWER PITCH. ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE OF 0.25. MIN. THERMAL IMPEDANCE OF 0.5, OR AGED SOLAR REFLECTANCE FROM 0.05 OF 16 STEEPSLOPED ROOFS. FOR LOW SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE OF 0.65 THERMAL IMPEDANCE OF 0.5, OR AGED SOLAR REFLECTANCE FROM 0.05 OF 7.0 IN MINIMUM PER CMC 150.2.20(1).

SOLAR PHOTOVOLTAIC SYSTEMS

- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CMC SECTION 150.110.1. INSTALLATION PER CMC SECTION 224.3 THROUGH 224.8 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.

NOTE THAT NO MECHANICAL FLUVENT EXHAUST SYSTEMS, ROOF ATTE VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA, WHERE APPLICABLE. CONSIDERATION AND COORDINATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DRIVER VENT TERMINATION. PER CMC SECTION 220.4.3 AND CMC SECTION 220.2.2.2.

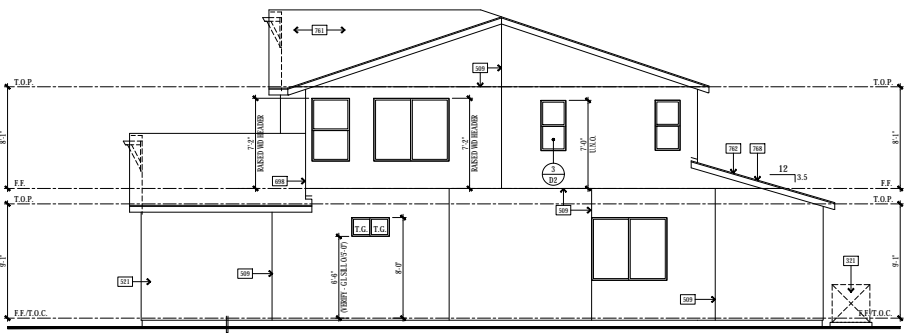
ROOF PLAN KEY NOTES

NO.	DESCRIPTION	NOTE
001	CLASS 5 ROOFING - CONCRETE - FLAT TILE - 24X6 ROOFING 2/4" ESR 1500	
002	CLASS 5 WALL ROOFING	
003	STECCO CEILING	
004	STECCO SOFFIT	
005	ROOF TEST - CONCRETE CLASSIFIED TEST PER 2905.110	
006	PROVIDE 1" CONCRETE ON THE ELECTRIC PANELS TO LOCATION B ATTE FOR PV SOLAR INSTALLATION. PROVIDE NOTCH FOR SOLAR RAY STOP WATER RESIST	
007	PHOTOVOLTAIC SOLAR ARRAY	
008	MIN. 2" AWG OPENING IN CALIFORNIA ROOF FINISHING CONDITIONS FOR ATTE ACCESS AND CROSS VENTILATION. CONDUCTIVITY TO KEEP AIRWAYS TO ALL ETC. AWAY	
009	PROVIDE WOOD COMPOSITE FIBERGLASSING (60 FEET) ON CENTER, AT CONVEXED SPACE AT EAVES	
010	NOTE: LESS THAN 4:12 ROOF SLOPE TO HAVE (2) LAYERS OF ROOF FELT APPLIED SINGLE FACTOR. TYP.	

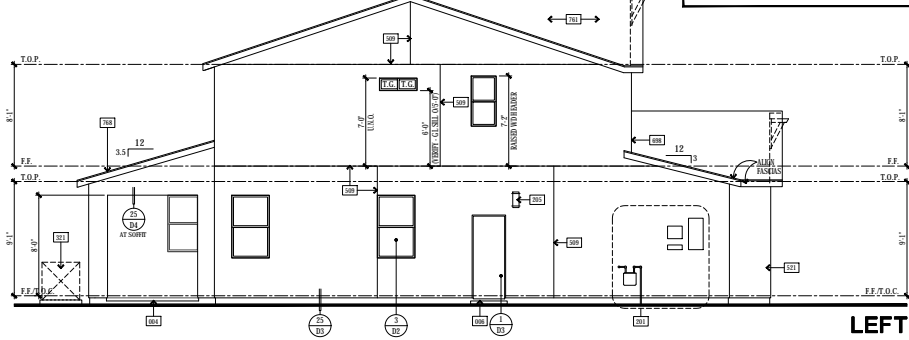
ROOF ATTE AREA	A	1272	60 FT.	18148	SQ. IN.	CALCULATION FACTOR:	1/150
MIN. VENTILATION REQUIRED:	TOTAL	610	SQ. IN.	TOTAL PROVIDED:	693	SQ. IN.	
MIN. VENTILATION REQUIRED:	HIGH	305	SQ. IN.	TOTAL HIGH PROVIDED:	297	SQ. IN.	
MIN. VENTILATION REQUIRED:	LOW	305	SQ. IN.	TOTAL LOW PROVIDED:	396	SQ. IN.	

ROOF ATTE AREA	B	411	60 FT.	5516	SQ. IN.	CALCULATION FACTOR:	1/300
MIN. VENTILATION REQUIRED:	TOTAL	197	SQ. IN.	TOTAL PROVIDED:	198	SQ. IN.	
MIN. VENTILATION REQUIRED:	HIGH	98	SQ. IN.	TOTAL HIGH PROVIDED:	99	SQ. IN.	
MIN. VENTILATION REQUIRED:	LOW	99	SQ. IN.	TOTAL LOW PROVIDED:	99	SQ. IN.	

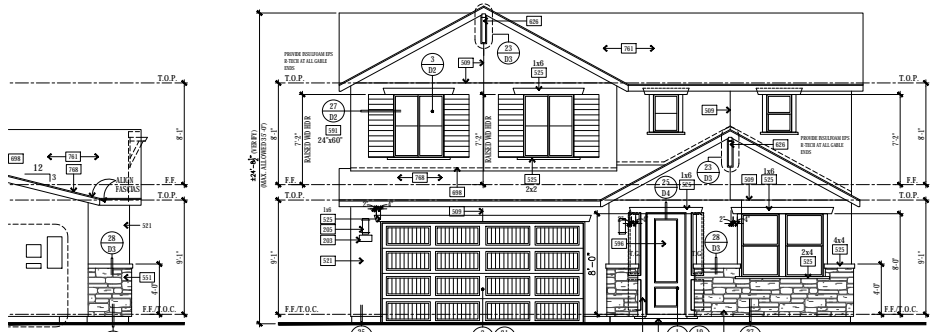
ROOF ATTE AREA	C	220	60 FT.	31680	SQ. IN.	CALCULATION FACTOR:	1/150
MIN. VENTILATION REQUIRED:	TOTAL	211	SQ. IN.	TOTAL PROVIDED:	297	SQ. IN.	
MIN. VENTILATION REQUIRED:	HIGH	211	SQ. IN.	TOTAL HIGH PROVIDED:	297	SQ. IN.	
MIN. VENTILATION REQUIRED:	LOW	211	SQ. IN.	TOTAL LOW PROVIDED:	297	SQ. IN.	



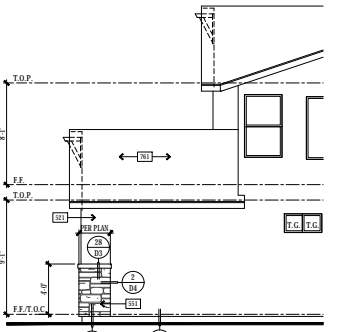
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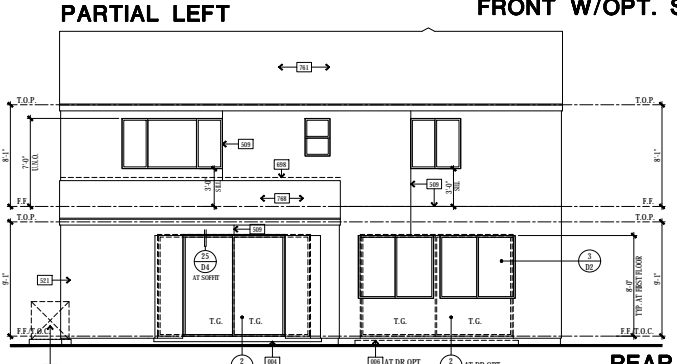
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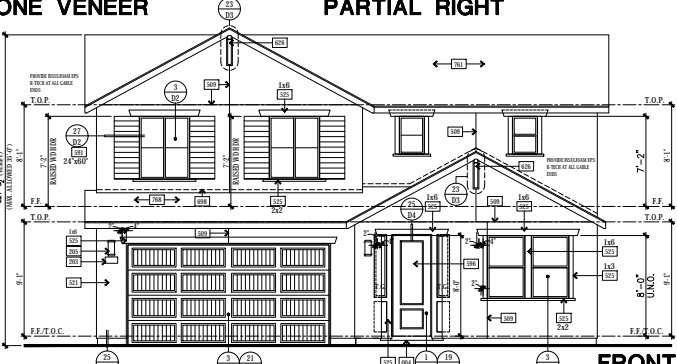
FRONT W/OPT. STONE VENEER



PARTIAL RIGHT



REAR



FRONT

SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

NO.	DESCRIPTION	NOTE
004	CONCRETE FINISH SLAB (BY OTHERS). SLOPE 1/4" PER FOOT MINIMUM (2% SLOPE) TO DRAIN IN THE DIRECTION INDICATED. REFER TO ARCH PLAN AND CIVIL DRAWINGS FOR FURTHER INFORMATION.	
006	CONCRETE FINISH - 2" THICK AND 4" MINIMUM WITH THE INSIDE FINISH (U.S.G.). SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED.	
007	STREET EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION	
008	ANCHORS / TIE-BARS / REBAR BENDING BARBERS / STRUCTURES PLACED IN SLABS A POSITION TO BE PLACED USUALLY FROM THE STREET.	
009	ACCELYS EXTERIOR WALL LIGHT	
010	STECCO CONTROL JOINTS - SEE DETAIL 2905	
011	CEILING FINISHING WALL LIGHT	
012	STECCO OVER READ ROOM TRIM - ROOM SCHEDULE FOR ELEVATION.	
013	MANUFACTURER APPROVED STECCO STONE VENEER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. LAMINAR FINISHES FINISH REQUIREMENTS PER CRC SECTION 220.4.12.	
014	DEFLECTION LIMITS SHALL BE 1/400 OF THE SPAN FOR FLOORING.	
015	DEFLECTION LIMITS SHALL BE 1/400 OF THE SPAN FOR FLOORING.	
016	DEFLECTION LIMITS SHALL BE 1/400 OF THE SPAN FOR FLOORING.	
017	CEILING FINISHING AND CEILING FINISHING. 4" WALL THICKNESS AND ROOF TO WALL CONNECTIONS.	
018	C-1 FLASHING.	
019	C-2 FLASHING.	
020	DRAINAGE.	

NOTE: WATER RESISTANT BARBER APPLIED OVER WOOD SHEATHING SHALL HAVE 2 LAYERS OF GRADE 5 PAPER APPLIED SINGLE FACTOR. PER CRC 2905.1.3.

FINISHED GRADE VALUES. SEE CIVIL ENGINEER'S PLANS FOR FINAL GRADE AND SITE DRAINAGE.



ARCHITECTS, PLANNERS, DESIGNERS

ORANGE COUNTY, LOS ANGELES, BAY AREA, SACRAMENTO



REGENT PARK - PLAN 2432 CLOVIS

CLOVIS, CALIFORNIA
 WILSON HOMES
 FRESNO, CALIFORNIA

TRACT NUMBER: 6205
 PROJECT TYPE: S.F.D.

DESIGN: WELLM-HORNBERGER ARCHITECTS, INC. (02/18/2020)
 WHEN APPROVED FOR PERMITS BY LOCAL AND STATE AGENCIES AND OTHER AGENCIES THAT ARE REQUIRED TO REVIEW THIS PLAN, THESE CHANGES AND REVISIONS SHALL BE MADE TO THIS PLAN. THE CLIENT HAS NOT AUTHORIZED THESE CHANGES. ANY CHANGES TO THIS PLAN SHALL BE MADE BY THE ARCHITECT OR A THIRD PARTY. THE THIRD PARTY SHALL HAVE FULL ACCESS TO ALL FILES AND INFORMATION OF THE PROJECT.

REVISIONS

NO.	DATE	DESCRIPTION

PLAN 2432D EXTERIOR ELEVATIONS & ROOF PLAN

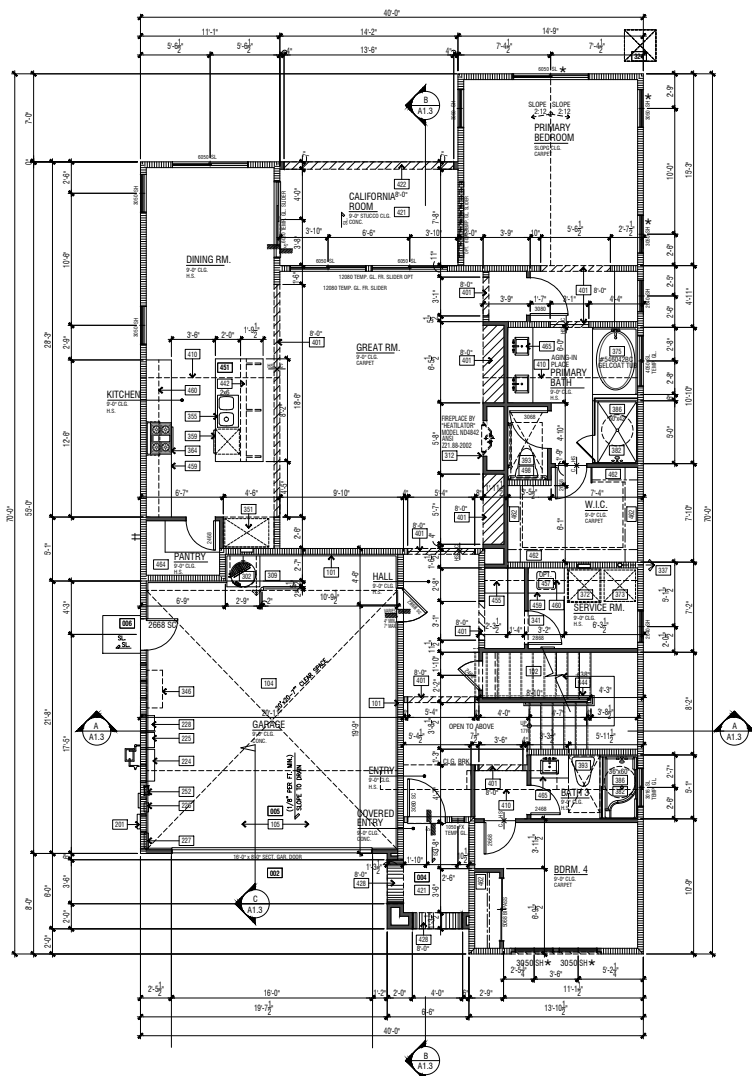
PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	MM
REVISIONS BY:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	
CAD FILE NAME:	

438

DATE: 03-09-23
 A1.7

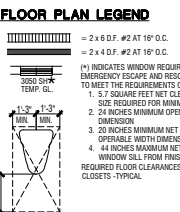
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COTTAGE

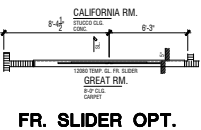
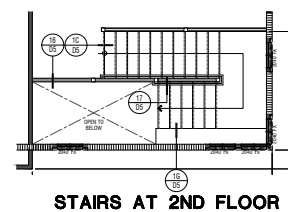
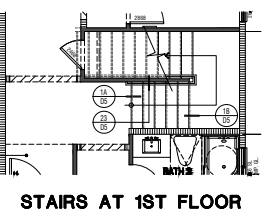


- FLOOR PLAN NOTES
1. REFER TO ARCHITECTURAL SYMBOL LEGEND ON SHEET C1 FOR ADDITIONAL INFORMATION AND CLEARANCES
2. ATTIC ACCESS PER CIRC RMO1, CHAETSTOPS PER CIRC R002.1 AND VENTILATION PER R006
3. CHAIR SPACES ACCESS PER CIRC R006 AND AIR VENTILATION PER R006.1

- FLOOR PLAN KEY NOTES
Name NOTE
001 CONCRETE DRIVE (BY OTHERS)
002 CONCRETE WALK OFF STRIP(S)
003 CONCRETE PORCH SLAB (BY OTHER) - SLOPE 1/4" PER FOOT MINIMUM (2% SLOPE) TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION
004 CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED



LOWER FLOOR PLAN



Tables for FLOOR AREA TABLE and BATHROOM #4 OPTION INCLUDED. Lists area for LOWER FLOOR PLAN, UPPER FLOOR PLAN, GARAGE, CALIFORNIA ROOM, and COVERED ENTRY/PORCH.

Tables for INTERIOR ELEVATION KEY and WALL LEGEND. Includes notes on window placement and material specifications.

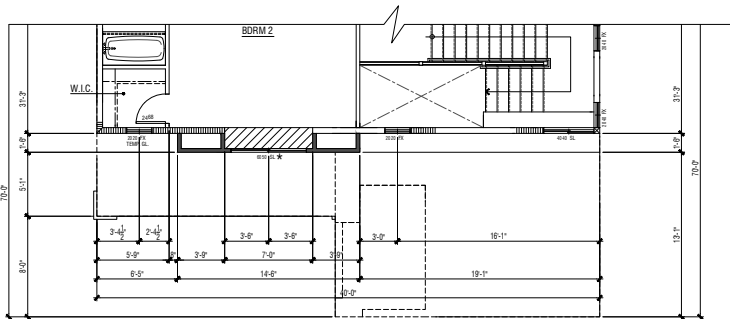
SCALE: 1/4" = 1'-0"

2022 WILLIAM HERRMANN ARCHITECTS, INC. AND OTHERS: THIS PLAN IS UNLESS OTHERWISE SPECIFIED THE PROPERTY IS UNDEVELOPED AND NOT TO BE USED FOR ANY OTHER PURPOSES EXCEPT FOR THAT OF THE PROJECT AND FOR WHICH THE CLIENT HAS PROVIDED ALL NECESSARY PERMITS AND APPROVALS. ANY CHANGES OR MODIFICATIONS TO THIS PLAN SHALL BE THE RESPONSIBILITY OF THE CLIENT AND ANY SUCH CHANGES SHALL BE MADE THROUGH THE WRITTEN PARTY CHANGES SHEET. THIS PLAN IS PROVIDED FOR YOUR INFORMATION AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT.

Table with 3 columns: NO., DATE, DESCRIPTION for REVISIONS.

CONTEMPORARY SPANISH

Table with 2 columns: PROJECT MANAGER, DESIGNER, DRAWN BY, REVIEWED BY, 1ST BLOCK DEPT. SUBMITTAL, ISSUED FOR CONSTRUCTION, JOB NUMBER, CAD FILE NAME. Includes date 04-03-23 and sheet number 440.



PARTIAL UPPER FLOOR PLAN 3056B - MODERN

BATHROOM #4 OPTION INCLUDED OR PRIMARY BDRM #2 W/BATH 4a INCLUDED

BATHROOM #4 OPTION INCLUDED

FLOOR AREA TABLE	PLAN 3056B
LOWER FLOOR PLAN	1811 SQ. FT.
UPPER FLOOR PLAN	1245 SQ. FT.
TOTAL	3056 SQ. FT.
GARAGE	474 SQ. FT.
CALIFORNIA ROOM	117 SQ. FT.
COVERED ENTRY/PORCH	70 SQ. FT.

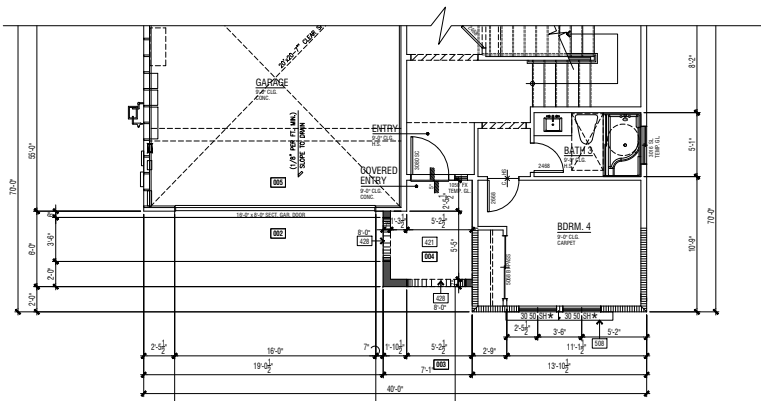
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

STANDARD BASE PLAN

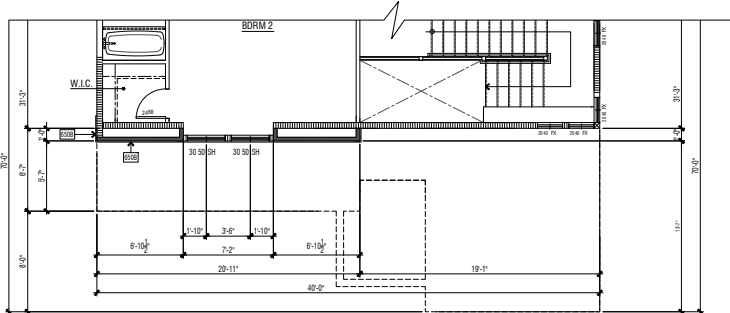
FLOOR AREA TABLE	PLAN 3056B
LOWER FLOOR PLAN	1811 SQ. FT.
UPPER FLOOR PLAN	1245 SQ. FT.
TOTAL	3056 SQ. FT.
GARAGE	474 SQ. FT.
CALIFORNIA ROOM	117 SQ. FT.
COVERED ENTRY/PORCH	70 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

FLOOR PLAN KEY NOTES	
NO.	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLUPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
005	CONCRETE GARAGE SLAB - SLUPE 1/2" PER FOOT MINIMUM IN DIRECTION INDICATED
006	CONCRETE GARAGE SLAB - SLUPE 1/2" PER FOOT MINIMUM IN DIRECTION INDICATED
007	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
008	STUCCO CEILING HEIGHT PER PLAN
009	WOOD SMOOTH HEIGHT PER PLAN
010	OPF SG. SHELF/LOW WALL - WIDTH AND HEIGHT PER PLAN
011	+4" GUARD (SEE DETAIL T10)
012	INTERPROCESSED STUCCO OVER SHEET SLUPE 1/4" PER FOOT
013	STUCCO - INSTALL PER MANUFACTURER'S LISTING BY OMEGA DIAMOND WALL ONE COAT STUCCO (BAK-KS-01) OR 1/4" THICK STUCCO TYPE OR 1" PORTLAND CEMENT
014	FINISH FLOORING (SEE DETAIL T11)
015	FINISH FLOORING (SEE DETAIL T11)
016	MANUFACTURED ARCHES STUCCO FINISH - INSTALL PER MANUFACTURER'S INSTRUCTIONS BY B. SPOONER STUCCO (SEE DETAIL S04)



PARTIAL LOWER FLOOR PLAN 3056B - MODERN



PARTIAL UPPER FLOOR PLAN 3056C - PROGRESSIVE NAPA

BATHROOM #4 OPTION INCLUDED OR PRIMARY BDRM #2 W/BATH 4a INCLUDED

BATHROOM #4 OPTION INCLUDED

FLOOR AREA TABLE	PLAN 3056C
LOWER FLOOR PLAN	1811 SQ. FT.
UPPER FLOOR PLAN	1245 SQ. FT.
TOTAL	3056 SQ. FT.
GARAGE	474 SQ. FT.
CALIFORNIA ROOM	117 SQ. FT.
COVERED ENTRY/PORCH	55 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

STANDARD BASE PLAN

FLOOR AREA TABLE	PLAN 3056C
LOWER FLOOR PLAN	1811 SQ. FT.
UPPER FLOOR PLAN	1245 SQ. FT.
TOTAL	3056 SQ. FT.
GARAGE	474 SQ. FT.
CALIFORNIA ROOM	117 SQ. FT.
COVERED ENTRY/PORCH	55 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

ADDENDA FLOOR PLAN NOTES

NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN

NOTE: REFER TO DIM. AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DIMENSIONS AND SIDEWALK LOCATIONS.

REFER TO BASE PLAN SHEET A1.1.1 & A1.1.2 FOR ADDITIONAL NOTES AND DIMENSIONS.

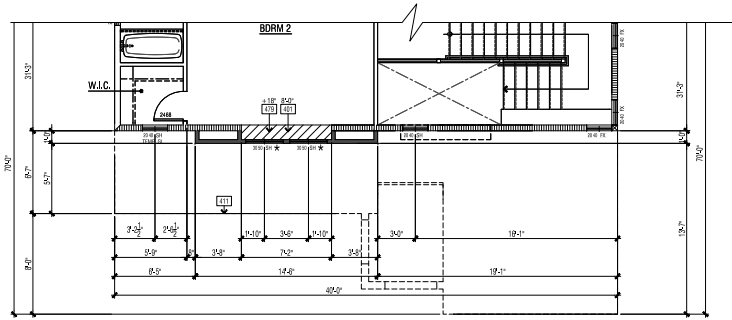
ADDENDA FLOOR PLAN NOTES	
NO.	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLUPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
005	CONCRETE GARAGE SLAB - SLUPE 1/2" PER FOOT MINIMUM IN DIRECTION INDICATED
006	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
007	INTERIOR GORTS/CORNER/CORNER/CORNER - HEIGHT PER PLAN
008	STUCCO CEILING HEIGHT PER PLAN
009	ARCHED STUCCO CORNER - HEIGHT PER PLAN
010	OPF SG. SHELF/LOW WALL - WIDTH AND HEIGHT PER PLAN
011	OPF SG. SEAT - WIDTH AND HEIGHT PER PLAN
012	WATERPROOFED STUCCO DECK - SLUPE 1/4" PER FOOT

PARTIAL LOWER FLOOR PLAN 3056C - PROGRESSIVE NAPA

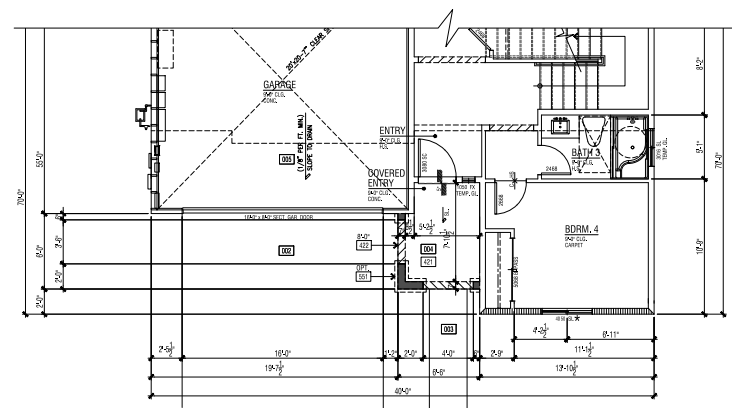
REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 3056B & C
ADDENDA FLOOR PLANS

PROJECT MANAGER:	CC
DESIGNER:	NM
REVIEWER:	NM/CC
1ST BLDG. DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	
CAD FILE NAME:	



PARTIAL UPPER FLOOR PLAN 3056D - COTTAGE



PARTIAL LOWER FLOOR PLAN 3056D - COTTAGE

BATHROOM #4 OPTION INCLUDED OR PRIMARY BDRM #2 W/BATH 4a INCLUDED

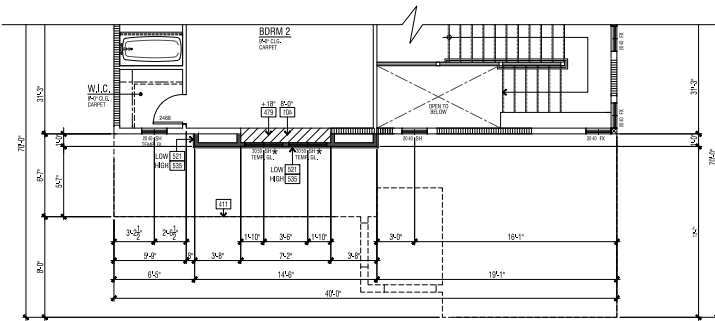
BATHROOM #4 OPTION INCLUDED	
FLOOR AREA TABLE	PLAN 3056D
LOWER FLOOR PLAN	1811 SQ. FT.
UPPER FLOOR PLAN	1245 SQ. FT.
TOTAL	3056 SQ. FT.
GARAGE	474 SQ. FT.
CALIFORNIA ROOM	117 SQ. FT.
COVERED ENTRY/PORCH	52 SQ. FT.

STANDARD BASE PLAN	
FLOOR AREA TABLE	PLAN 3056D
LOWER FLOOR PLAN	1811 SQ. FT.
UPPER FLOOR PLAN	1245 SQ. FT.
TOTAL	3056 SQ. FT.
GARAGE	474 SQ. FT.
CALIFORNIA ROOM	117 SQ. FT.
COVERED ENTRY/PORCH	52 SQ. FT.

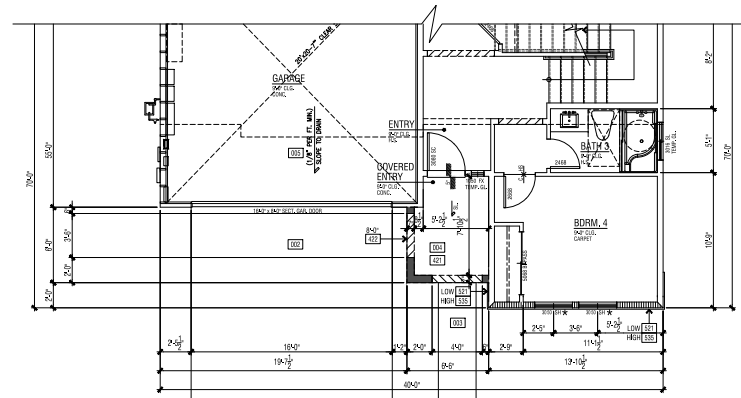
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

ADDENDA FLOOR PLAN NOTES	
NOTE: SHARED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN.	
NOTES REFER TO DIME AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DIMENSIONS AND ORIGINAL LOCATIONS.	
REFER TO BASE PLAN SHEET A1.1 & A1.2 FOR ADDITIONAL NOTES AND DIMENSIONS.	

FLOOR PLAN KEY NOTES	
Name	NOTE
001	CONCRETE DRIVE (BY OTHERS)
002	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
001	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
001	INTERIOR CEILING DIMENSIONS - CHECK HEIGHT PER PLAN
001	STUCCO CEILING HEIGHT PER PLAN
002	STUCCO SLOPE HEIGHT PER PLAN
019	OPV, 80 SEAT - VERIFY HEIGHT PER PLAN
001	MANUFACTURER SPECIFIED STUCCO FINISH - VERIFY ALL PER MANUFACTURERS INSTRUCTIONS. @ 1% GRADE STUCCO FINISH
008	WATERPROOFED STUCCO SHEET - SLOPE 1/4" PER FOOT



PARTIAL UPPER FLOOR PLAN 3056E PROGRESSIVE FARMHOUSE



PARTIAL LOWER FLOOR PLAN 3056E PROGRESSIVE FARMHOUSE

BATHROOM #4 OPTION INCLUDED OR PRIMARY BDRM #2 W/BATH 4a INCLUDED

STANDARD BASE PLAN	
FLOOR AREA TABLE	PLAN 3056E
LOWER FLOOR PLAN	1811 SQ. FT.
UPPER FLOOR PLAN	1245 SQ. FT.
TOTAL	3056 SQ. FT.
GARAGE	474 SQ. FT.
CALIFORNIA ROOM	117 SQ. FT.
COVERED ENTRY/PORCH	52 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

BATHROOM #4 OPTION INCLUDED	
FLOOR AREA TABLE	PLAN 3056E
LOWER FLOOR PLAN	1811 SQ. FT.
UPPER FLOOR PLAN	1245 SQ. FT.
TOTAL	3056 SQ. FT.
GARAGE	474 SQ. FT.
CALIFORNIA ROOM	117 SQ. FT.
COVERED ENTRY/PORCH	52 SQ. FT.

FLOOR PLAN KEY NOTES	
Name	NOTE
002	CONCRETE DRIVE (BY OTHERS)
002	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
005	CONCRETE GARAGE SLAB - SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
001	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
001	INTERIOR CEILING DIMENSIONS - CHECK HEIGHT PER PLAN
001	STUCCO CEILING HEIGHT PER PLAN
002	STUCCO SLOPE HEIGHT PER PLAN
019	OPV, 80 SEAT - VERIFY HEIGHT PER PLAN
001	MANUFACTURER SPECIFIED STUCCO FINISH - VERIFY ALL PER MANUFACTURERS INSTRUCTIONS. @ 1% GRADE STUCCO FINISH
008	WATERPROOFED STUCCO SHEET - SLOPE 1/4" PER FOOT

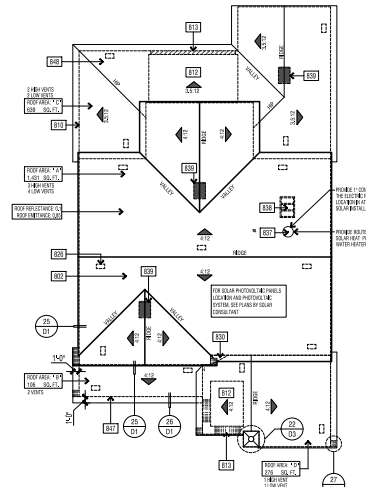
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REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 3056D & E
ADDENDA FLOOR PLANS

PROJECT MANAGER:	CC
DRAWN BY:	
CHECKED BY:	MM
ISSUED BY:	MM/CC
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	
CAD FILE NAME:	

443



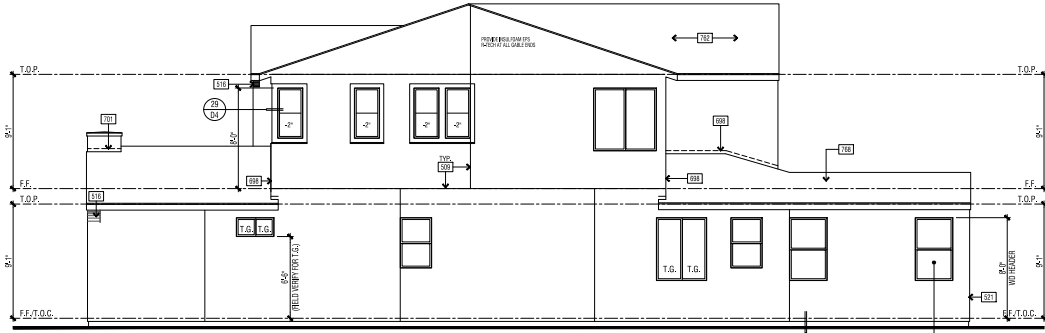
ROOF PLAN SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE:	A	ELEVATION STYLE:	CONTEMPORARY SPANISH
ROOF MATERIAL:	STANDARD ROOF:	FASAGA:	BARRO:
LOW PROFILE CONCRETE'S TILE	(1) D1	2x6	NONE
TABLE ROOFING: CE# ES# M#			1'-0"
ROOF PLAN NOTES			

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ATTIC ACCESS PER CRC SECTION R807.
- PROMOTE ATTIC & SOFFIT VENTILATION PER CRC SECTION R808. PER CRC SECTION R808.2, THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE EXCEPTION. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 6, 7 AND 8, A GLASS OR INVOR RETARDER IS INSTALLED ON THE WARM-WINTER SIDE OF THE CEILING
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE INSIDE OR HIGHEST POINT OF THE SPACE, MEASURED VENTILALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION OF MORE THAN 3 FEET (914 MM) BELOW THE INSIDE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 2 1/2% OR GREATER, FOR ROOF SLOPES FROM 2 1/2% TO 4:12, DOUBLE UNDERLAYMENT APPLICATION AS REQUIRED IN ACCORDANCE WITH PROG.3.3. (R905.3.2 CRC)
- WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER TILE ROOFING INSTITUTE INSTALLATION MANUAL.
- WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A NEEL TO THE STEEPER PITCH TO ALIGN WITH THE EAVE OF THE LOWER PITCH.
- ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE INDEX OF 60, MIN. THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 16 FOR STEEP-SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE INDEX OF 65 THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 75 OR MORE PER CEC150.2(B)(1)

SOLAR PHOTOVOLTAIC SYSTEMS

- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CEC/C SECTION 150.100.1 - INSTALLATION PER CRC SECTION 501.3 THROUGH PROG. 3.8 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA WIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.
- NOTE THAT NO MECHANICAL PLUMBING EXHAUST VENTS, ROOF ATTIC VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA, WHERE APPLICABLE. CONSIDERATION AND COORDINATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DRYER VENT TERMINATION. REF. CA ENERGY CODE SECTION 110.10 AND CRC SECTION 911.1.1



ELEVATION KEY NOTES

Item	NOTE
004	CONCRETE PORCH EAVE BY OTHERS - SLOPE 1" PER FOOT MINIMUM (2% SLOPE) TO DRAIN IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER DETAILS.
006	CONCRETE ESCOP - 2" DEEP AND 2" WIDER THAN THE DOOR OPENING. SLOPE 1:4 PER FOOT MINIMUM TO DRAIN AWAY FROM THE STRUCTURE.
001	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION.
003	ADDRESS PANEL - IF MULTIPLE BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE READ FROM THE STREET.
005	ACCENT EXTERIOR WALL LIGHT
007	CONCRETE COMPRESSOR LOCATION
008	SECURED CONTROL LINE - SEE SCHEDULE 3004
016	DECLARATIVE EAVE FOAM ACCENT - PER DETAIL.
021	CEILING CHANGING PANEL - ONE (1) FOOT (304.8 MM) STUCCO TYPE FOR 11 PORTLAND CEMENT. RETAIN PER MANUFACTURER'S INSTRUCTIONS.
025	STUCCO COLOR (MATERIAL) - VERIFY SAMPLE PER ELEVATION.
026	TRIMMED GLASS WINDOWS AT GARAGE DOOR.
028	FRONT DOOR WITH TRIMMED GLASS PANELS.
002	WOOD TRIMMS - SEE PER ELEVATION.
004	TRIM CONCEPT FOR FINISHING UP THE TOP OF WALLS. TRIM: SMOOTH TUFFRULO, POLISHED BY INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.
006	CL FLASHING AND CONTROLLING: AT HAVE WALLS AND ROOF TO WALL CONNECTIONS.
011	CL FLASHING.
018	CL FLASHING ON ROOF - SLOPE 1" PER FOOT MINIMUM.
012	SMALL PROFILES FOR EAVE TRIM CLASS 'C' (TYPE - CONCRETE LOW PROFILE) STYLE.
018	NOTE: LESS THAN 4:12 ROOF SLOPE TO HAVE (2) LAYERS OF ROOF FELT APPLIED SMOOTH FASHION - TYP.

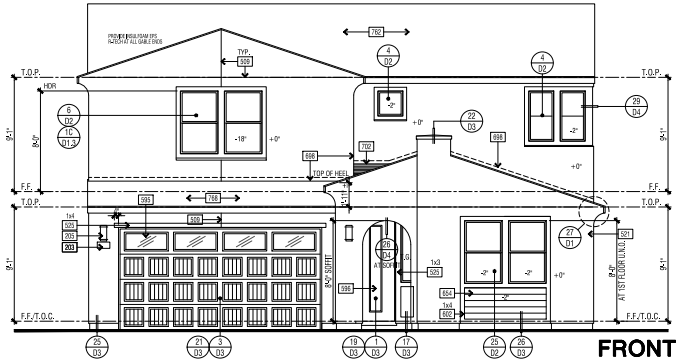
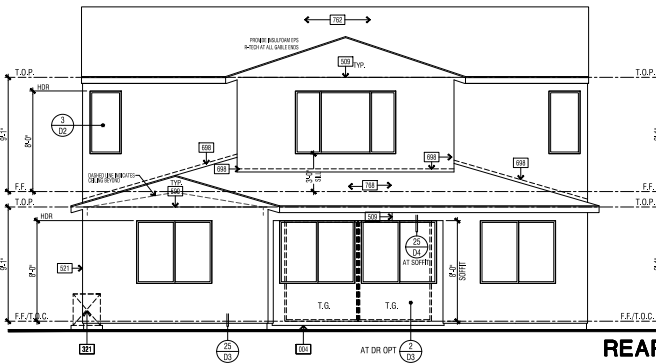
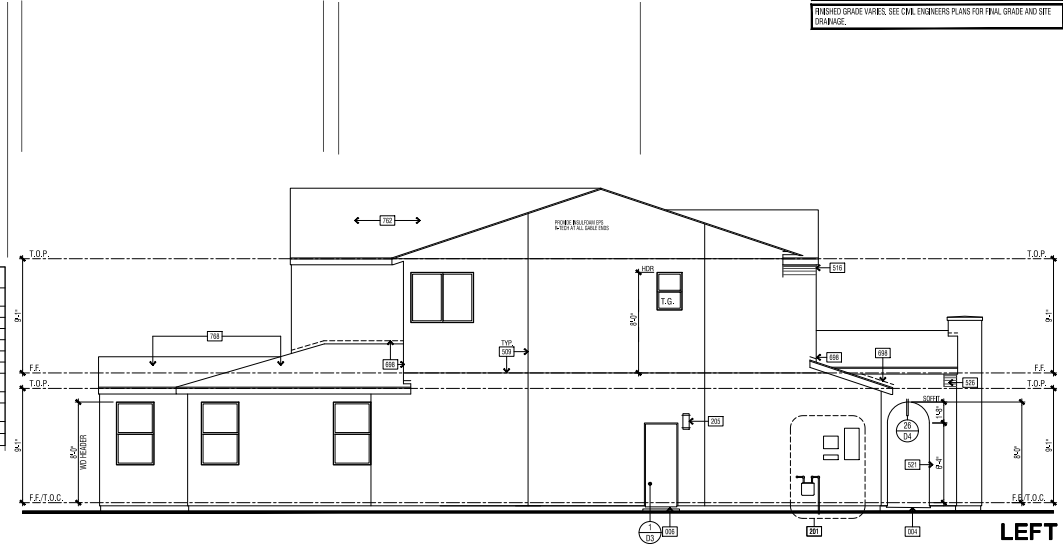
ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 2' ABOVE FINISHED FLOOR AND MORE THAN 2' ABOVE MEANS EAVE OR OTHER SURFACE BELOW IT THE WINDOW MUST BE PROTECTED BY A GUARD OR HAVE A FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. SEE CBC 1605.4.12.

NOTE: WATER RESISTIVE BARRIER APPLIED OVER RODDING: SHEATHING SHALL HAVE LAYERS OF BARRIER OF MORE THAN 3 MILIMETERS THICKNESS. SEE CBC 705.4.1.1.

TRIMMED GRADE VARIER. SEE C.A.E. ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ROOF PLAN KEY NOTES

Item	NOTE
002	GLASS ROOFING - CONCRETE 'S' TILE - BY TABLE ROOFING (CE# ES# M#)
010	LINE OF WALL BELOW
011	STRUCTURE LINE
013	STRUCTURE LINE
006	ROOF TRIM - CHANGING SERIES CLASS 'C' VENT (# METRABOND)
020	CL METAL FLASHING - SLOPE 1" PER FOOT MINIMUM
027	PROJECT / CONVULSION FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR SOLAR INSTALLATION, PROMOTE ROOF FOR SOLAR HEAT PLUMP WATER HEATER.
030	STRUCTURE LINE BELOW
037	MIX 2'X2' OPENING IN CALIFORNIA ROOF FRAMING CONDITIONS FOR ATTIC ACCESS AND CROSS VENTILATION - CONTRACTOR TO VERIFY APPROX TRUSS LAYOUT.
040	PROMOTE WATER RESISTANT BARRIER TO BE IN CENTER AT CONDENSED SPACE AT EAVES.
047	NOTE: LESS THAN 4:12 ROOF SLOPE TO HAVE (2) LAYERS OF ROOF FELT APPLIED SMOOTH FASHION - TYP.



FRONT SCALE: 1/4" = 1'-0"



ORANGE COUNTY · LOS ANGELES · BAY AREA · SACRAMENTO

PLAN 3056
REGENT PARK at CLOVIS
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

TRACT NUMBER: 6205
PROJECT TYPE: S.F.D. (XXXXZ) Lots

REVISIONS

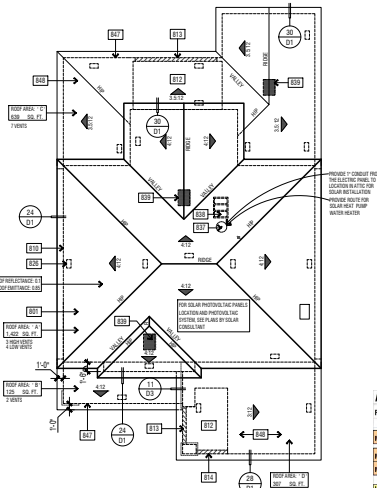
NO.	DATE	DESCRIPTION

PROJECT MANAGER: CC
DESIGNER: ...
CHECKED BY: ...
ISSUED FOR CONSTRUCTION: ...
JOB NUMBER: ...
CADD FILE NAME: ...

PLAN 3020A
EXTERIOR ELEVATIONS & ROOF PLAN

DATE: 04-03-23
A1.4

444



ROOF PLAN

SCALE: 1/8" = 1'-0"

Table with columns for ELEVATION REFERENCE, ELEVATION STYLE (MODERN), ROOF MATERIAL, STANDARD ROOF DETAIL U.N.D., PITCH U.N.D., RANGE U.N.D., OVERHANG DIM. U.N.D., SAVE, and GRADE.

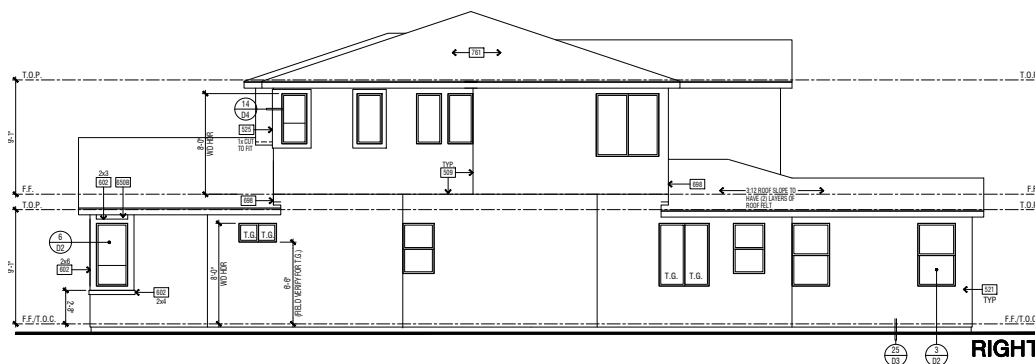
ROOF PLAN NOTES

- 1. SEE GENERAL NOTES FOR ROOF NOTES.
2. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. ATTIC ACCESS PER CRC SECTION R803...
4. PROVIDE ATTIC & GROSS VENTILATION PER CRC SECTION R903...
5. WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS...
6. WHEN ROOF WITH DIFFERENT PITCHES INTERSECT...
7. ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE OF 0.20...

SOLAR PHOTOVOLTAIC SYSTEMS

- 1. SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CGC, SECTION 16.10.1(B), INSTALLATION PER CRC SECTION 28A.1 THROUGH 28A.9 AND THE CALIFORNIA ELECTRICAL CODE...
2. REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES...
NOTE: THAT NO MECHANICAL PLUMBING EXHAUST VENTS, ROOF ATTIC VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA...

Table with columns Name and Note, listing details for roof materials, slopes, and solar panel annotations.

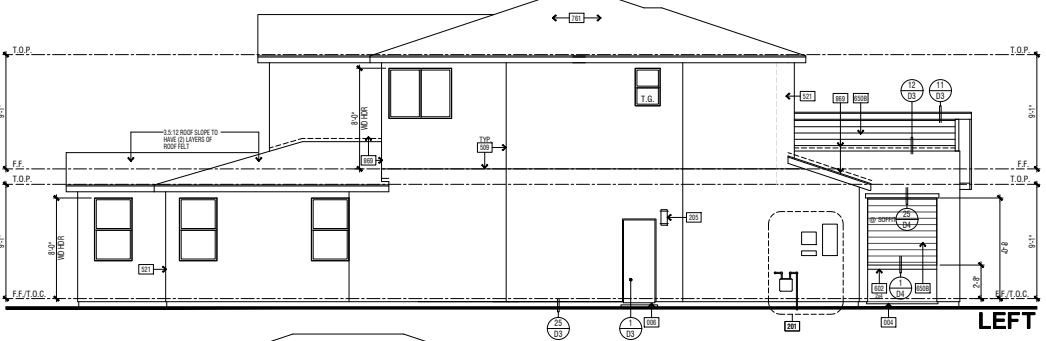


RIGHT

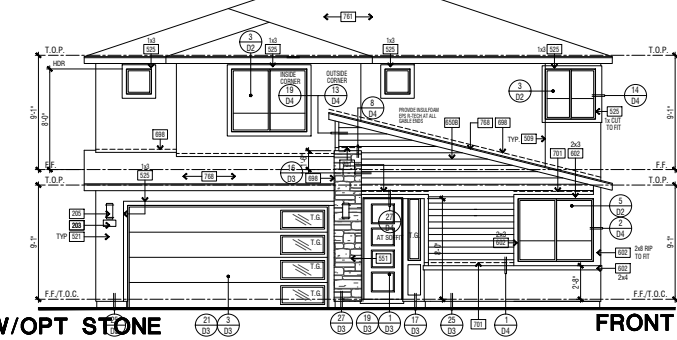
ELEVATION KEY NOTES table with columns Name and Note, detailing construction requirements for concrete, stucco, flashing, and roof treatments.

ATTIC VENTILATION CALCULATIONS table with sections A, B, C, D, showing required vs. provided ventilation for various roof areas and methods.

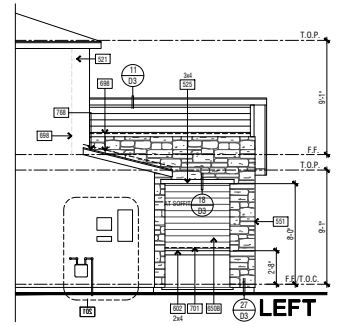
ELEVATIONS W/OPT STONE



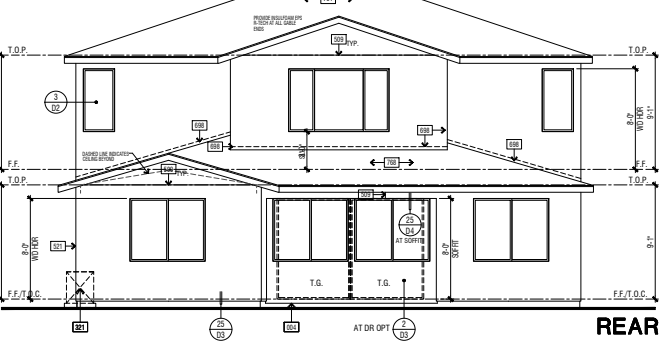
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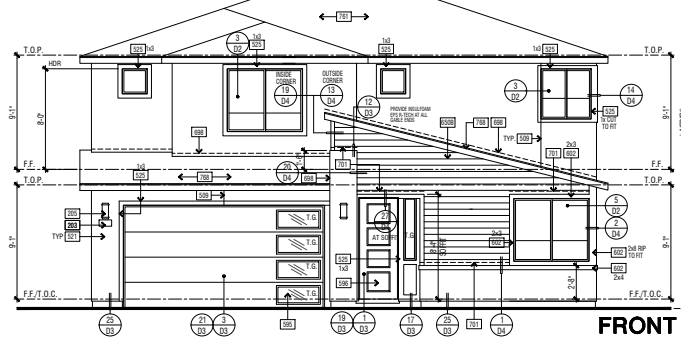
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REAR

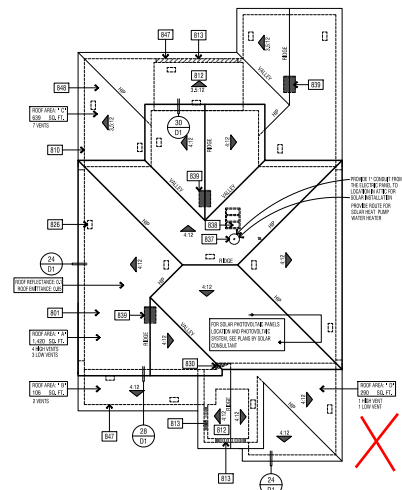


REAR



FRONT

Project information including ARCHITECTS, PLANNERS, DESIGNERS (WHA), WILSON HOMES, PLAN 3056 REGENT PARK at CLOVIS, CALIFORNIA, TRACT NUMBER: 6205, PROJECT TYPE: S.F.D. (XXXX2' Lots), REVISIONS table, and PROJECT MANAGER/DESIGNER/DATE information.



ROOF PLAN SCALE: 1/8" = 1'-0"

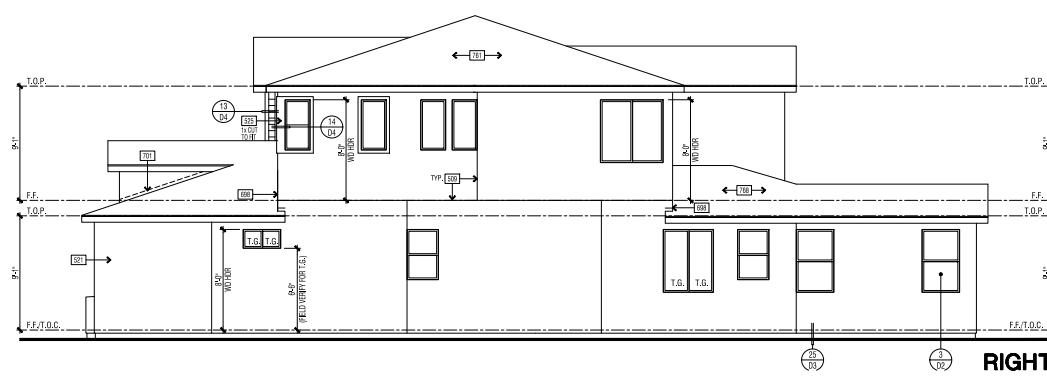
ELEVATION REFERENCE	C	ELEVATION STYLE	PROGRESSIVE NAPA
ROOF MATERIAL		STANDARD ROOF DETAIL, 1/8" x 1/4" x 1/2" (1.7)	SHINGLE - 2x6 LEAVE - 1'-0"
CONCRETE FLAT TILE		1 1/8" x 1/4" x 1/2" (1.7)	2x6 1'-0"
SMALL ROOFPIECE ROOF (100-100)		2x6 1'-0"	2x6 1'-0"

ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ATTIC ACCESS PER CBC SECTION R807.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CBC SECTION R906, PER CBC SECTION R906.2, THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 5, 7 AND 8, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM/WINTER SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION OF MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 2:12 OR GREATER, FOR ROOF SLOPES FROM 2 1/2:12 TO 4:12, DOUBLE UNDERLAYMENT APPLICATION AS REQUIRED IN ACCORDANCE WITH 9005.3.3, (9005.3.2 CBC).
- WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER TILE ROOFING INSTITUTE INSTALLATION MANUAL.
- WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A HILL TO THE STEEPER PITCH TO ALIGN WITH THE SLOPE OF THE LOWER PITCH. ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE OF 0.29, MIN. THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 16 FOR STEEP-SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE 4 MIN. AGED SOLAR REFLECTANCE OF 0.63, THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 75 OR MORE PER CEC150.2(B)1.

SOLAR PHOTOVOLTAIC SYSTEMS

- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CBC, SECTION 160.10(1). INSTALLATION PER CBC SECTION 504.2 THROUGH 504.4 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
 - REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.
- NOTE: THAT NO MECHANICAL PLUMBING EXHAUST VENTS, ROOF ATTIC VENTS WILL BE PERMITTED WITHIN THE SOLAR PANEL AREA, WHERE APPLICABLE. COORDINATION AND COOPERATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DRYER VENT TERMINATION. REF. CA ENERGY CODE SECTION 110.10 AND CBC SECTION 9111.2.1.



RIGHT

ELEVATION KEY NOTES

NAME	NOTE
204	CONCRETE PORCH FLOOR (BY OTHERS) - SLOPE 1/4" PER FOOT MINIMUM (2% SLOPE) TO DRAINAGE. THE OBJECTIVE IS TO DRAIN TO THE SIDE AND AWAY FROM THE FOUNDATION. SEE FURTHER INFORMATION.
206	CONCRETE FLOOR - TO BE SET AND FINISHED WITH THE ROOF FINISH. SLOPE 1/4" PER FOOT MINIMUM TO DRAIN PLUMBIC DRAINAGE.
207	CEILING FINISH AND COVERING: REFER TO ARCHITECT AND DCA DRAWINGS FOR FURTHER INFORMATION.
208	ADDRESS PANEL - IF WALL FINISH BEARING ADDRESS CHARACTERISTICS IN SUCH A POSITION TO BE PLACED NEAR THE STREET.
209	ACCESS THROUGH EXTERIOR WALL.
210	CONCRETE CONDENSER LOCATION.
211	WATERPROOFING FLOORS SHOWN - SLOPE 1/4" PER FOOT.
212	STUCCO CONTROL JAMB - SEE DETAIL 508.
213	STUCCO SILLING - SEE PER ELEVATION - SLOPE 1/8" PER FT. MINIMUM.
214	STUCCO - REFER TO MANUFACTURERS LITERATURE BY GRADE BRANDS WALL ONE COAT STUCCO AND IN CASE OF 2 COAT STUCCO - REFER PER 11 DETAIL AND COVER.
215	STUCCO OVER HEAD COVERING - REFER TO COVER SHEET PER ELEVATION.
216	WOOD TRIMMINGS - SEE PER ELEVATION.
217	WOOD TRIMMINGS - REFER TO PER ELEVATION.
218	WOOD TRIMMINGS - REFER TO PER ELEVATION.
219	WOOD TRIMMINGS - REFER TO PER ELEVATION.
220	WOOD TRIMMINGS - REFER TO PER ELEVATION.
221	WOOD TRIMMINGS - REFER TO PER ELEVATION.
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226	WOOD TRIMMINGS - REFER TO PER ELEVATION.
227	WOOD TRIMMINGS - REFER TO PER ELEVATION.
228	WOOD TRIMMINGS - REFER TO PER ELEVATION.
229	WOOD TRIMMINGS - REFER TO PER ELEVATION.
230	WOOD TRIMMINGS - REFER TO PER ELEVATION.

ANY OPERABLE WINDOW WITH A HILL, THAT IS LOCATED LESS THAN 6" ABOVE FINISHED FLOOR AND MORE THAN 17" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE OTHER, MUST BE PROTECTED BY A GUARD. 19. THE GUARD MAY NOT HAVE SPACERS THAT A SPACER 4" IN DIAMETER CAN PASS THROUGH. 2022 CBC 160.10.2

NOTE: WATER-RESISTIVE BARRIER APPLIED OVER WOODBASE SHEATHING SHALL HAVE 3 LAYERS OF GRADE-SPECIFIC FLOOR FINISH. 2022 CBC 1903.3.2.

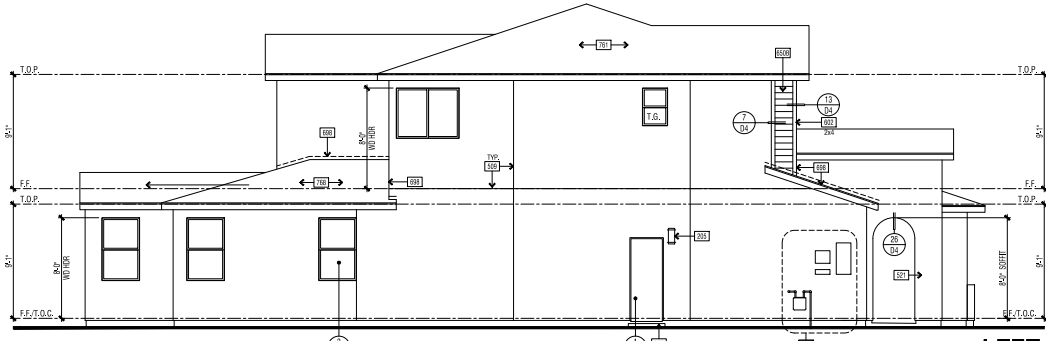
FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

SCALE: 1/8" = 1'-0"

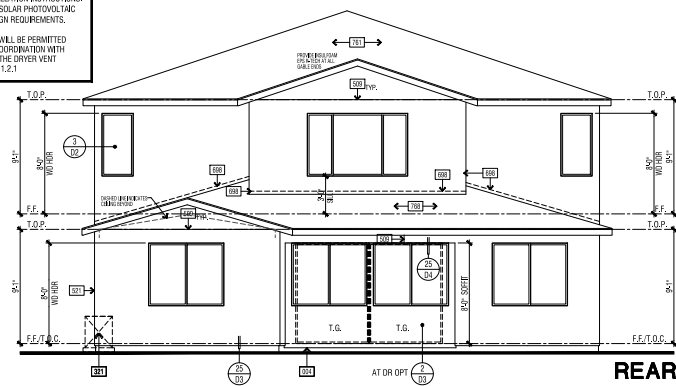
ROOF PLAN

ROOF PLAN KEY NOTES

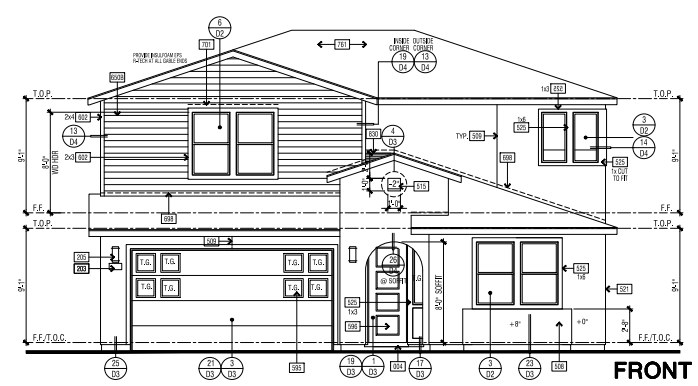
Name	NOTE
204	GLASS FLOORING - CONCRETE - FLAT TILE - BY EXISTING ROOFING EOP 1990
206	EDGE OF WALL BELOW
207	STUCCO SILLING
208	STUCCO CONTROL JAMB
209	ROOF TOP - CONCRETE FINISH - UNFINISHED - REFER TO PER ELEVATION
210	CLAY AND CONCRETE - SLOPE 1/4" PER FOOT MINIMUM
211	PROVIDE 7" COLOUR FROM THE EXISTING PANEL TO LOCATION WITH PER PV SOLAR INSTALLATION. PROVIDE PROTECT FOR SOLAR PANEL RAMP WATER-DRAINAGE.
212	PROTECT SOLAR PANEL
213	PROTECT SOLAR PANEL
214	PROTECT SOLAR PANEL
215	PROTECT SOLAR PANEL
216	PROTECT SOLAR PANEL
217	PROTECT SOLAR PANEL
218	PROTECT SOLAR PANEL
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223	PROTECT SOLAR PANEL
224	PROTECT SOLAR PANEL
225	PROTECT SOLAR PANEL
226	PROTECT SOLAR PANEL
227	PROTECT SOLAR PANEL
228	PROTECT SOLAR PANEL
229	PROTECT SOLAR PANEL
230	PROTECT SOLAR PANEL



LEFT



REAR



FRONT

SCALE: 1/4" = 1'-0"



TRACT NUMBER: 6205
PROJECT TYPE: S.F.D. (XXXX) LOTS

PLAN 3056C
REGENT PARK at CLOVIS
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION

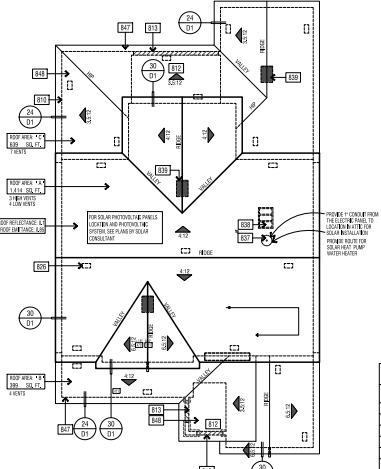
PROJECT MANAGER: CC
DESIGNER: ...
CHECKED BY: ...
DATE: 04-03-23

PLAN 3056C
EXTERIOR ELEVATIONS
& ROOF PLAN

PROJECT MANAGER: CC
DESIGNER: ...
CHECKED BY: ...
DATE: 04-03-23

446

20230111 - PROGRESS SET 04-03-2023



ROOF PLAN SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	D	ELEVATION STYLE	COTTAGE
ROOF MATERIAL	STANDARD ROOF	FACED -	BASE -
CONCRETE FLAT TILE	3 D.L.T.	2x6	2x6
		1'-0"	1'-0"

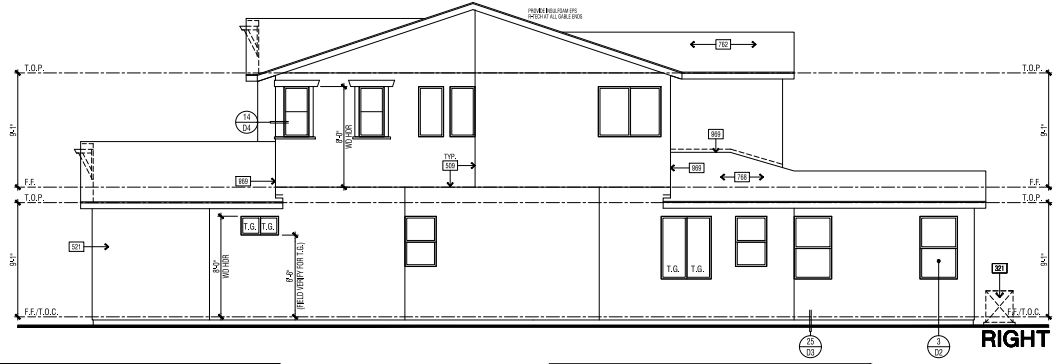
ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ATTIC ACCESS PER CRC SECTION R807.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R806. PER CRC SECTION R805.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 6, 7 AND 8: A CLASS I OR II WOOD BRAMBER IS INSTALLED ON THE WARMER/WINTER SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED ON THE BOTTOM ONE-THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS COINCIDES WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION OF MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OF HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 3:12 OR GREATER, FOR ROOF SLOPES FROM 2:12 TO 4:12, DOUBLE UNDERLAYMENT APPLICATION AS REQUIRED IN ACCORDANCE WITH R805.3.3, (R905.3.2 CRC).
- WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER THE ROOFING INSTITUTE INSTALLATION MANUAL.
- WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A HILL TO THE STEEPER PITCH TO ALIGN WITH THE EAVE OF THE LOWER PITCH. ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE OF 0.20, MIN. THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 16 FOR STEEPER-SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE OF 0.65, THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 75 OR MORE PER CIRC150.2(B)(1).

SOLAR PHOTOVOLTAIC SYSTEMS

- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH C.E.C. SECTION 160.10(i). INSTALLATION PER CRC SECTION 324.3 THROUGH 324.5 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
- REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.

NOTE THAT NO MECHANICAL PLUMBING EXHAUST VENTS, ROOF ATTIC VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA, WHERE APPLICABLE. COORDINATION AND COOPERATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DRYER VENT TERMINATION. REF. C.E.C. CODE SECTION 110.10 AND CRC SECTION 3111.2.1

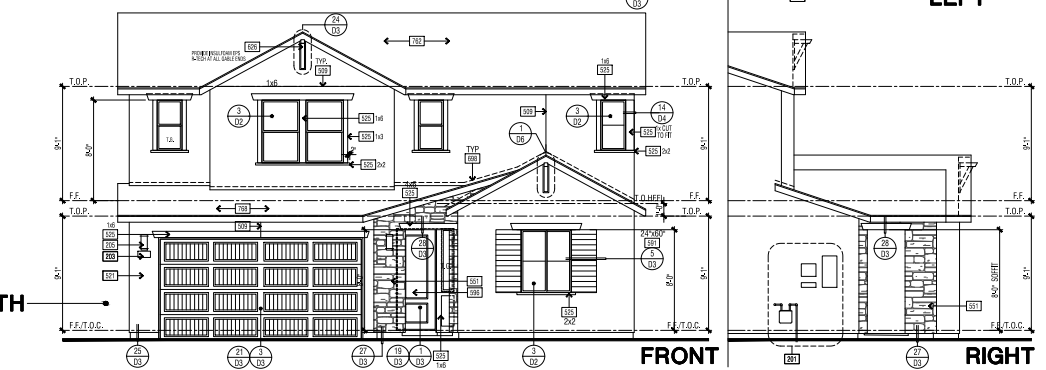
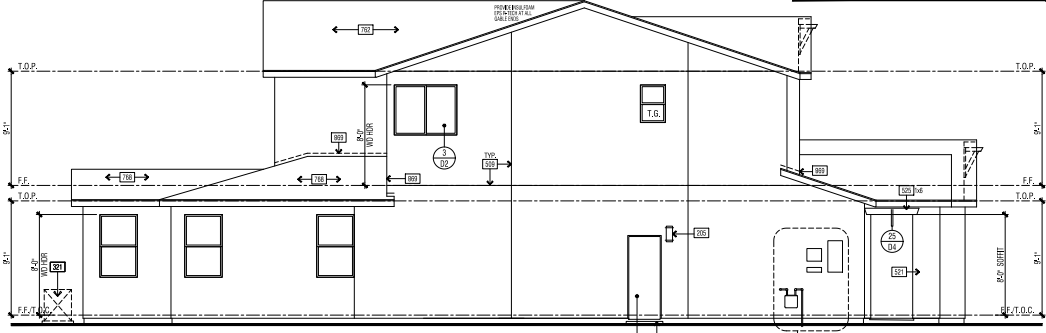


ELEVATION KEY NOTES

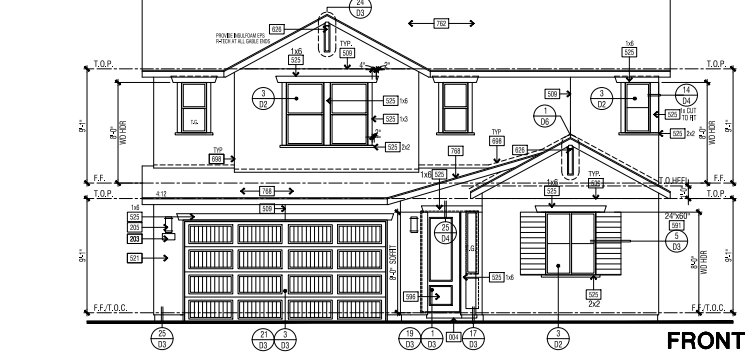
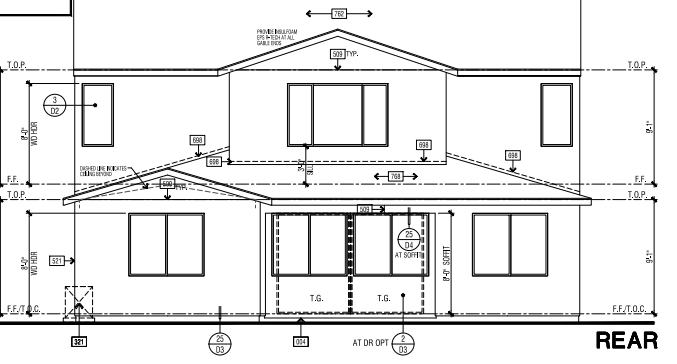
Item	NOTE
004	CONCRETE PORCH-FLOOR BY OTHERS; SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
005	CONCRETE FLOOR- 3" DEEP AND 7" WIDE; THIN THE DOOR OPENING. FINISH: 2" SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
007	UNITARY EQUIPMENT AND SERVICE PANELS- VERIFY LOCATION.
008	ADDRESS PANEL, 12" HIGH, WITH ADDRESS CHARACTERS PLACED IN SUCH A POSITION AS TO BE READILY OBSERVABLE FROM THE STREET.
009	ACCENT EXTERIOR WALL LEAF.
017	WALL COVERING- CONCRETE STUCCO.
020	STUCCO CONTROL JOINT- SEE DETAIL 2106.
021	STUCCO- METAL PER MANUFACTURER. SETTING BY OTHER. EXPOSED WALL OUE COAT STUCCO- 1/4" THICK STUCCO- TYPE III 1/4" PORTLAND CEMENT.
025	STUCCO OVER HARD BOARD FINISH- BOARD SHARE PER ELEVATION.
031	MANUFACTURED AGED STUCCO STONE VENEER- INSTALL PER MANUFACTURERS INSTRUCTIONS. 1/4" PLASTER OVER 1/4" Gypsum BOARD PER ASH-RAL, AGED STUCCO VENEER REQUIREMENTS PER CRC SECTION R703.2.
033	EXTERIOR SHUTTERING- 1/4" WOOD STYL PER ELEVATION. SEE DETAIL 1706.
035	EXTERIOR SHUTTERING- 1/4" WOOD STYL PER ELEVATION.
055	ALL FINISHING AND COUNTERTOP/SHED AT RAKE WALLS AND ROOF TO WALL CONNECTIONS.
070	ALL FINISHING.
075	ROOFING- CONCRETE FLAT TILE- 3" DEEP AND 7" WIDE OVER 1" INSULATION.
076	NOTE: LESS THAN 1/2" ROOF SLOPE TO HAVE 20 LAYERS OF ROOF FELT APPLIED SINGLE SHEAR-TYP.
080	ANY OPERABLE WINDOW WITH A GLASS THICKNESS OF LESS THAN 1/2" ABOVE FINISHED FLOOR AND MORE THAN 7/8" ABOVE FINISHED GRADE OR SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR HAVE A BUILT-IN GLASS, THE GUARD MAY NOT HAVE OPENINGS THAT A SPACE OF 1/8" EXISTING AT ANY POINT THROUGHOUT THE GLASS.
090	NOTE: WITHIN THE SHEDDER, OPERABLE WINDOW GLASSING SHALL HAVE 2 LAYERS OF GLASS OR PAPER APPLIED SINGLE SHEAR, 3002 CRC 9103.2.3.
095	THINDED GRADE VAPORS- SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ROOF PLAN KEY NOTES

Item	NOTE
001	CLASSIFIED ROOFING- CONCRETE FLAT TILE- 3" DEEP AND 7" WIDE OVER 1" INSULATION.
010	LINE OF WALL BELOW.
012	STUCCO CONTROL JOINT.
013	STUCCO CONTROL JOINT.
020	ROOF FINISH- CONCRETE FLAT TILE- 3" DEEP AND 7" WIDE OVER 1" INSULATION.
027	PROVIDE A GUARD FROM THE ELECTRICAL PANEL TO LOCATION AT THE POINT PER PLAN INSTALLATION. PROVIDE PROTECTIVE GLASS OR OTHER PROTECTIVE DEVICES.
028	PROTECTIVE SOLAR RAYWAY.
029	ALL EXPOSED FRAMING AND ROOF FINISHING CONDITIONS FOR AT-RACE ACCESS AND CROSS VENTILATION- CONTRACTOR TO VERIFY WITH ALL AT-RACE AREAS.
030	PROVIDE NON-COMBUSTIBLE INSULATION TO FIT IN CENTER AT COMPLETED SPACES (GAP). NOTE: LESS THAN 1/2" ROOF SLOPE TO HAVE 20 LAYERS OF ROOF FELT APPLIED SINGLE SHEAR-TYP.



ELEVATIONS WITH OPT STONE



PLAN 3056
 REGENT PARK at CLOVIS
 CLOVIS, CALIFORNIA

TRACT NUMBER: 6205
 PROJECT TYPE: S.F.D. (XXXX) Lots

WILSON HOMES
 FRESNO, CALIFORNIA

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 PROJECT NUMBER: PLAN 3056D
 THIS DOCUMENT IS THE PROPERTY OF ARCHITECTS, PLANNERS, DESIGNERS, INC. (WHA) AND SHALL BE KEPT IN CONFIDENCE. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE FIRM SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND SHALL BE RESPONSIBLE FOR THE INFORMATION PROVIDED TO THE CLIENT.
 DATE: 08/2021

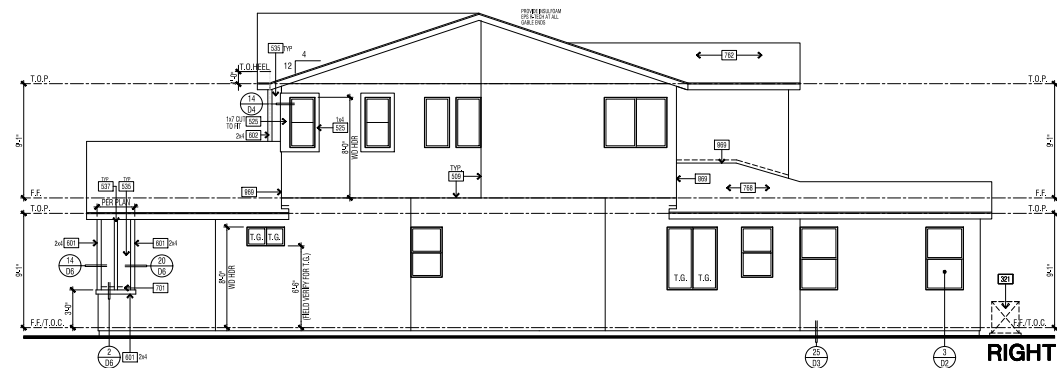
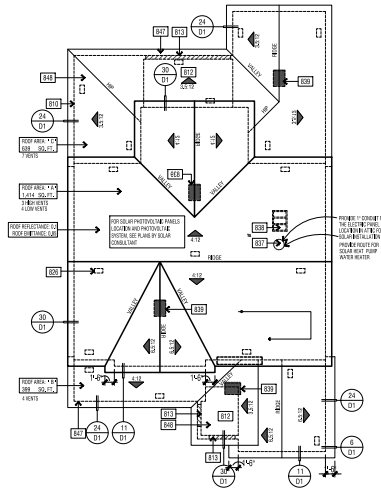
REVISIONS

NO.	DATE	DESCRIPTION

PLAN 3056D
 EXTERIOR ELEVATIONS
 & ROOF PLAN

COTTAGE SCALE: 1/4" = 1'-0"

PROJECT MANAGER:	CC
DESIGNER:	
REVIEWED BY:	RM, CC
ISSUED FOR CONSTRUCTION:	RM, CC
JOB NUMBER:	
CLIENT NAME:	
DATE:	04-03-23
	A1.7



ELEVATION KEY NOTES	
NO.	NOTE
001	CONCRETE FORDH SLAB (BY OTHERS). SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED.
002	CONCRETE SLOPE - 2% SLOPE AND 2" MINOR THAN THE DOOR SWINGING (UNLESS SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED).
003	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION.
004	ADDRESS PANEL - IF WALL - VERIFY BUILDING ADDRESS CHARACTERISTICS PLACED IN SUCH A POSITION TO BE EASILY VISIBLE FROM THE STREET.
005	ACCENT EXTERIOR WALL LIGHT.
006	NO CONCRETE CONSTRUCTION ELEVATION.
007	STUCCO CONTROL JANT - SEE DETAIL 300A.
008	STUCCO - INSTALL PER MANUFACTURER'S DETAILS BY GREGG (UNLESS WALL ONE COAT STUCCO IS SPECIFIED OTHERWISE) - FINISH TO MATCH THE REST OF THE PROJECT.
009	STUCCO OVER 7/8" THICK - FORM SHOVE PER ELEVATION.
010	CEMENTIOUS VENEER PANEL OVER 2 LAYERS BUILDING PAPER OVER TOP PLAYWOOD SHEETING OVER 2" POLYSTYRENE INSULATION OVER INSULATION PANEL. NOTE: 2" POLYSTYRENE INSULATION IS NOT PERMITTED AT NON-VARIABLE SPACES PROVIDED THE WALL IS LEVEL OUT.
011	WOOD SHIMS AT 16" O.C.
012	WOOD TRIM - SEE PER ELEVATION.
013	G.L. FLASHING AND COUNTERSINKING AT RAFTER WALLS AND ROOF TO WALL CONNECTIONS.
014	G.L. FLASHING AT ROOF TO WALL CONNECTIONS.
015	ROOFING - CONCRETE - FLAT TILE - 40% SLOPE ROOFING PER 1909.
016	RAILS LESS THAN 4:12 ROOF SLOPE TO HAVE 2" LAYERS OF ROOF FELT APPLIED SINGLE PLY OVER 2" INS.

ROOF PLAN KEY NOTES	
NO.	NOTE
001	CLASS W/ ROOFING - CONCRETE - FLAT TILE - BY EAGLE ROOFING PER 1909.
002	LINE OF WALL BELOW.
003	STUCCO CHASE.
004	STUCCO SOFFIT.
005	ROOF VENT - 3" DIA. TO SURETY COATED VENT (SEE P. 1909-1910).
006	PROVIDE 1" CONCRETE FLOOR TO BE 1" THICK TO BE LOCATED IN THE CENTER OF THE ROOF. PROVIDE ROUTER FOR SOLAR HEAT PUMP WATER HEATER.
007	PHOTOVOLTAIC SOLAR ARRAY.
008	1/4" 2" X 2" BRACKET FOR CONCRETE FLOORING CONDITIONS FOR ATTIC ACCESS AND CROSS VENTILATION - CONTRACTOR TO VERIFY WITH LOCAL CODES AT ATTIC AREAS.
009	PROVIDE CONCRETE FLOORING CONDITIONS FOR ATTIC ACCESS AT COVERED SPACE AT RAIS.
010	NOTE: LESS THAN 4:12 ROOF SLOPE TO HAVE 2" LAYERS OF ROOF FELT APPLIED SINGLE PLY OVER 2" INS.

ROOF PLAN

SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE: **E** ELEVATION STYLE: **PROGRESSIVE FARMHOUSE**

ROOF MATERIAL	STANDARD ROOF PITCH	FAIRLY	RAISE	RAISE	RAISE
CONCRETE FLAT TILE <small>(SLOPE ROOFING PER 1909-1910)</small>	3/12	2x6	2x6	1'-0" 1'-6"	1'-0"

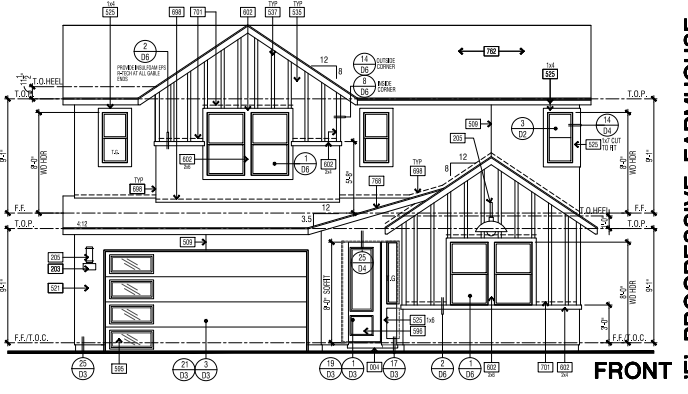
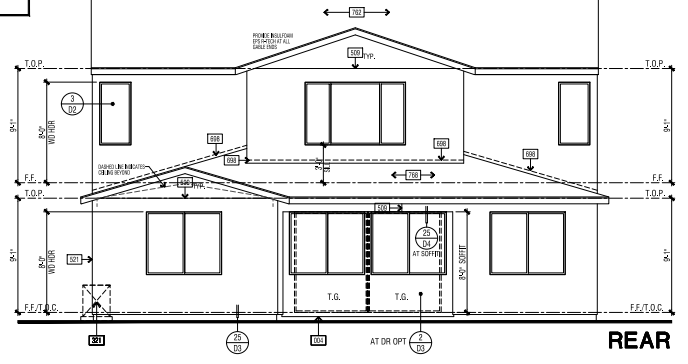
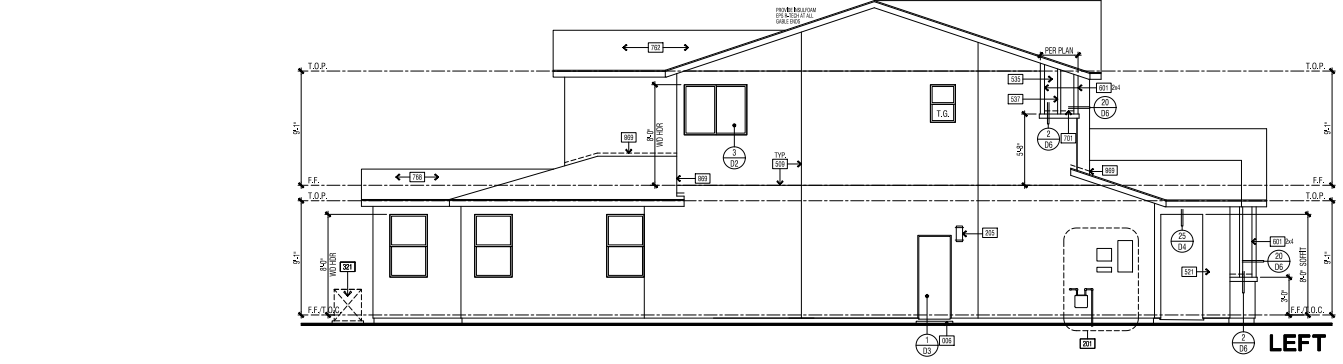
ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ATTIC ACCESS PER CRC SECTION R807.
- PROVIDE ATTIC SOFFIT VENTILATION PER CRC SECTION R806. PER CRC SECTION R806.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 6, 7 AND 8, A CLASS I OR II WOOD BE RASTER IS INSTALLED ON THE WARMER/WINTER SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS COINCIDES WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION OF MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- CLAY AND CONCRETE TILE SHALL BE INSTALLED ON ROOF SLOPES OF 5:12 OR GREATER, FOR ROOF SLOPES FROM 2 1/2:12 TO 4:12, DOUBLE UNDERLAYMENT APPLICATION AS REQUIRED IN ACCORDANCE WITH R905.3.3, (R905.3.2 CRC).
- WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER THE ROOFING INSTITUTE INSTALLATION MANUAL.
- WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A HILL TO THE STEEPER PITCH TO ALIGN WITH THE SLOPE OF THE LOWER PITCH. ROOF SHALL HAVE MIN. AGED SOLAR REFLECTANCE OF 0.20, MIN. THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 16 FOR STEEP-SLOPED ROOFS. FOR LOW-SLOPED ROOFS, ROOF SHALL HAVE A MIN. AGED SOLAR REFLECTANCE OF 0.25, THERMAL EMITTANCE OF 0.75, OR AGED SOLAR REFLECTANCE INDEX (SRI) OF 75 OR MORE PER CEC150.2(B)(1).

SOLAR PHOTOVOLTAIC SYSTEMS

- SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH CEC, SECTION 160.10.1.1. INSTALLATION PER CRC SECTION S24.3 THROUGH S24.6 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.

NOTE THAT NO MECHANICAL PLUMBING EXHAUST VENTS, ROOF ATTIC VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA, WHERE APPLICABLE. CONSIDERATION AND COORDINATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DRYER VENT TERMINATION. REF. CA ENERGY CODE SECTION 110.10 AND CRC SECTION 9111.2.1.



ORANGE COUNTY, LOS ANGELES, BAY AREA, SACRAMENTO

PLAN 3056
REGENT PARK at CLOVIS
 CLOVIS, CALIFORNIA

TRACT NUMBER: 6205
 PROJECT TYPE: S.F.D. (XXXX2) LOTS

WILSON HOMES
 FRESNO, CALIFORNIA

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REVISIONS		
NO.	DATE	DESCRIPTION

PROGRESSIVE FARMHOUSE
 SCALE: 1/4" = 1'-0"

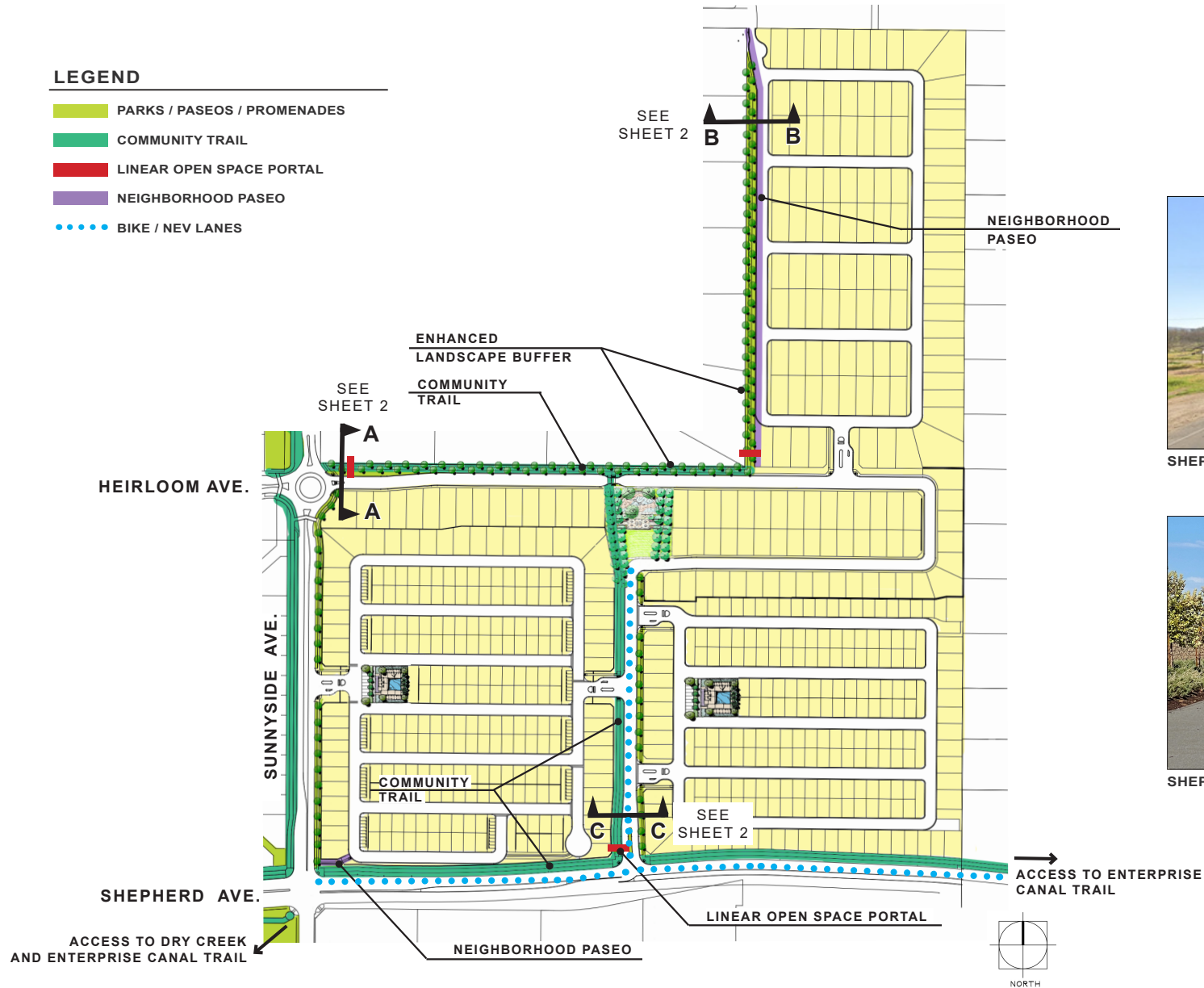
PROJECT MANAGER: CC
 DESIGNER: -
 DRAWN BY: MH
 CHECKED BY: MH/CC
 ISSUED FOR CONSTRUCTION:
 1ST BLOCK, DEPT. SUBMITTAL
 JOB NUMBER:
 CHECKED NAME:

DATE: 04-03-23
 448
 A1.8

20230111 - PROGRESS SET 04-03-2023

LEGEND

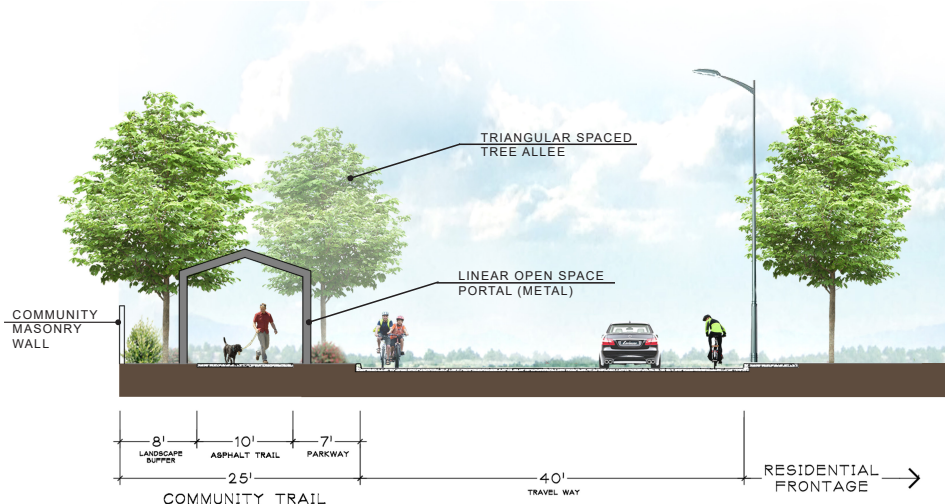
- PARKS / PASEOS / PROMENADES
- COMMUNITY TRAIL
- LINEAR OPEN SPACE PORTAL
- NEIGHBORHOOD PASEO
- BIKE / NEV LANES



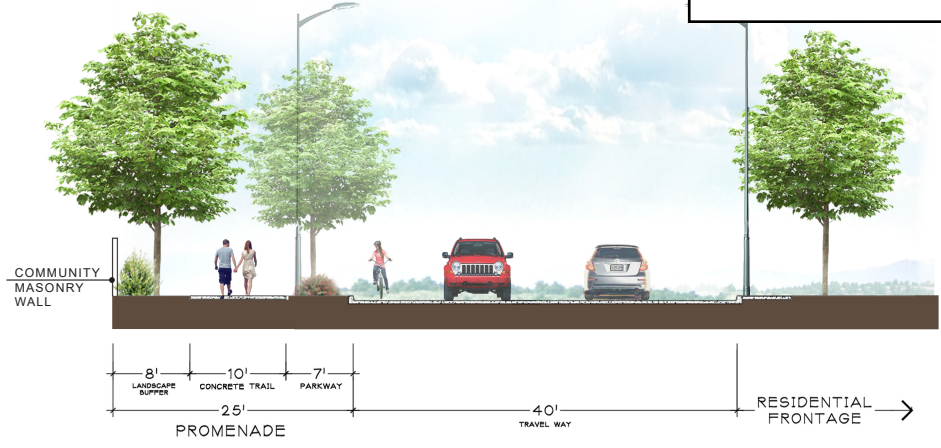
SHEPHERD AVENUE - BEFORE



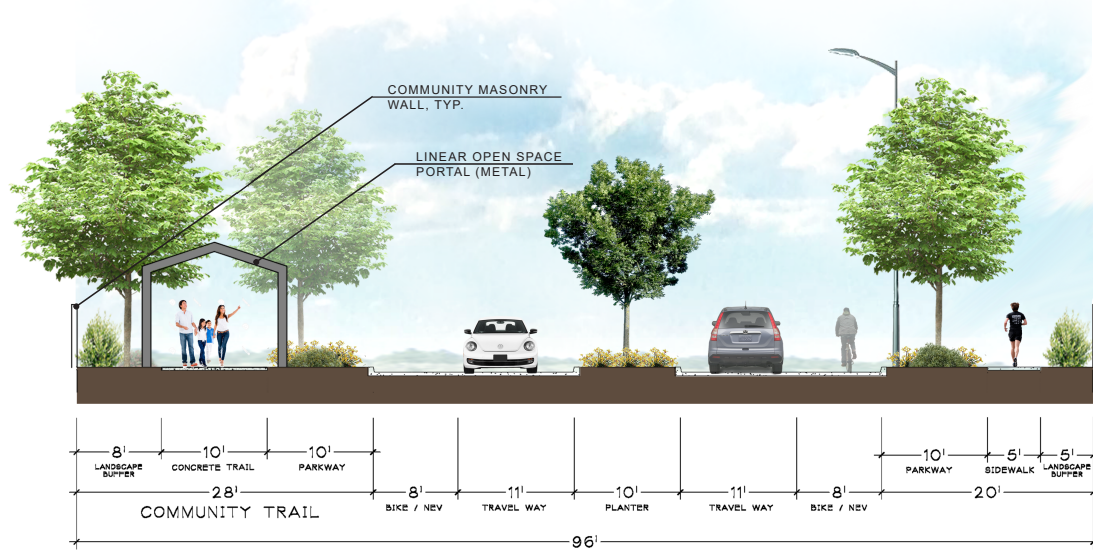
SHEPHERD AVENUE - AFTER



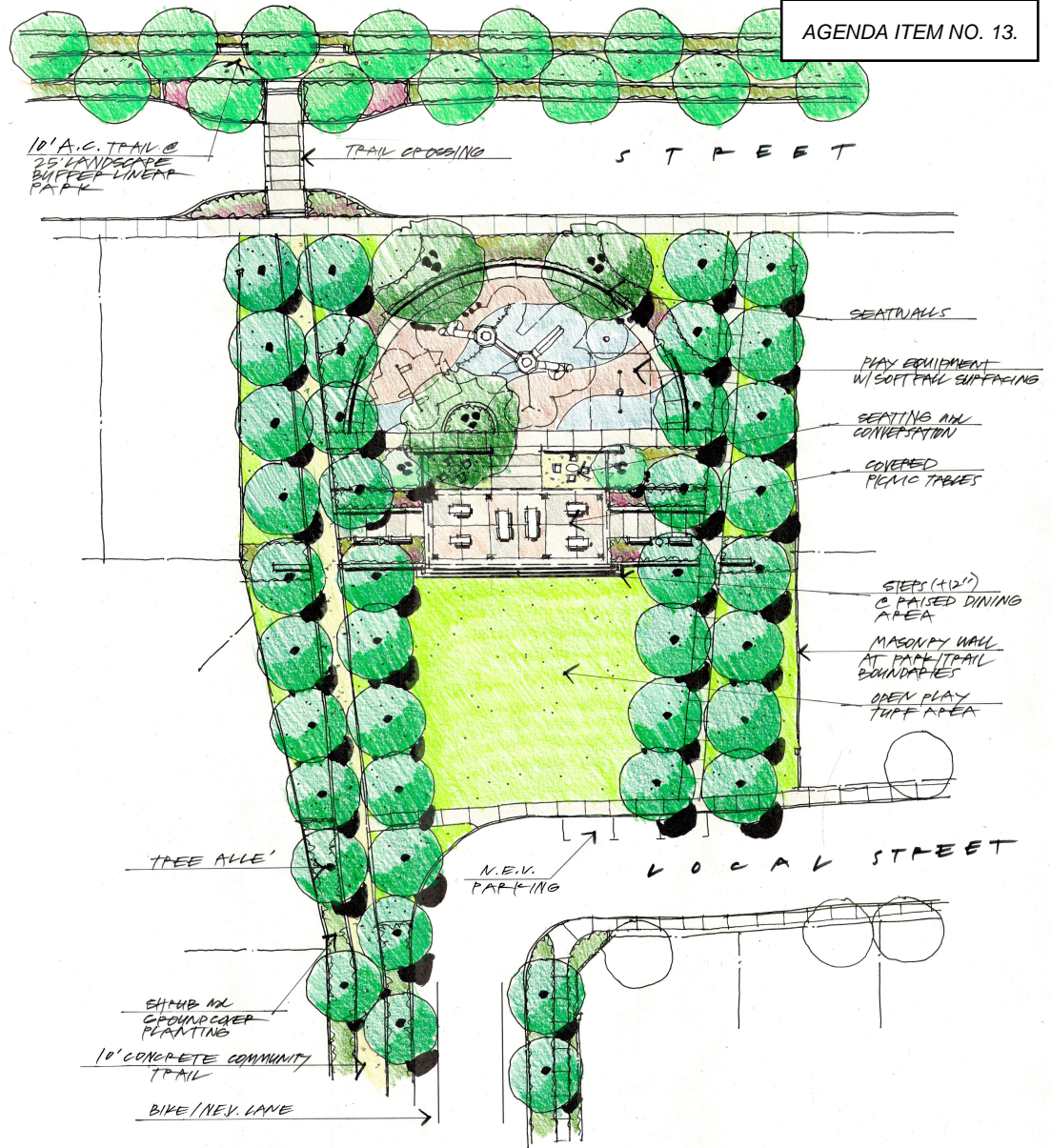
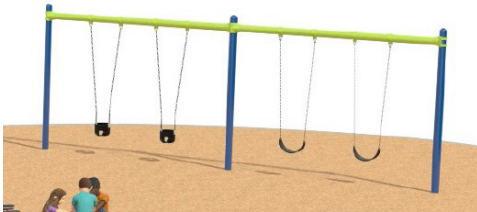
SECTION A-A



SECTION B-B



SECTION C-C





August 1, 2023

George Gonzalez, MPA, Senior Planner
Planning and Development Services Dept.
1033 Fifth St.
Clovis, CA 93612

SUBJECT: T-6205; 605-lot single-family subdivision
North of Shepherd Avenue, between N Sunnyside & N Fowler Avenue
APN: 557-020-19,20,21

Dear George Gonzalez:

The purpose of this letter is to provide school district information relative to the above-referenced development and to comply with Business and Professions Code section 11010, subdivision (b)(11)(A) regarding the provision of school-related information to the developer/owner and the State Department of Real Estate.

1. Elementary School Information:

- (a) The subject land is presently within the attendance area of the elementary school (grades K-6) listed below:

School Name: *Riverview Elementary*
Address: *2491 E Behymer Ave Fresno CA 93730-5419*
Telephone: *(559) 327-8600*
Capacity: *875*
Enrollment: *656 (CBEDS enrollment 2022-23 school year)*

- (b) Because of projected growth in the District and the District's plans for construction of new school facilities, it is possible that (1) adjustment of school attendance areas could occur in the future such that students residing in the project area may be required to attend an elementary school other than the school listed above, and (2) students residing in the project area may attend more than one elementary school within the District during their elementary school years.

(This space intentionally left blank)

Governing Board

- Hugh Awtrey
- Deena L. Combs-Flores
- David DeFrank
- Steven G. Fogg, M.D.
- Yolanda Moore
- Clinton Olivier
- Tiffany Stoker Madsen

Administration

- Corrine Folmer, Ed.D.
Superintendent
- Norm Anderson
Deputy Superintendent
- Marc Hammack, Ed.D.
Associate Superintendent
- Bary S. Jager, Jr.
Associate Superintendent
- Michael Johnston
Associate Superintendent

ATTACHMENT 16

George Gonzalez
 August 1, 2023
 Page 2

2. Intermediate School Information:

School Name: *Granite Ridge Intermediate*
 Address: *2770 E International Ave Fresno CA 93730-5400*
 Telephone: *(559) 327-5000*
 Capacity: *1512*
 Enrollment: *1118 (CBEDS enrollment 2022-23 school year)*

3. High School Information:

School Name: *Clovis North High School*
 Address: *2770 E International Ave Fresno CA 93730-5400*
 Telephone: *(559) 327-5000*
 Capacity: *2700*
 Enrollment: *2389 (CBEDS enrollment 2022-23 school year)*

4. Bus transportation is currently provided for grades K-6 students residing further than one mile from school and for grades 7-12 students residing further than two and one-half miles from school. Transportation will be available for students attending the above-identified elementary, intermediate and high schools in accordance with District standards in effect at the time of enrollment.
5. The District currently levies a school facilities fee of \$5.68 per square foot (as of July 3, 2023) for residential development. The fee is adjusted periodically in accordance with law. New development on the subject property will be subject to the fee in place at the time fee certificates are obtained.

The District hereby requests that the information in this letter be provided by the owner/subdivider to all prospective purchasers of property within the project.

Thank you for the opportunity to comment on the project. Please contact me if you have any questions regarding this letter.

Sincerely,



Michael Johnston
 Associate Superintendent
 Administrative Services

California Department of Transportation

DISTRICT 6 OFFICE
1352 WEST OLIVE AVENUE | P.O. BOX 12616 | FRESNO, CA 93778-2616
(559) 908-7064 | FAX (559) 488-4195 | TTY 711
www.dot.ca.gov



August 15, 2023

FRE-168-R7.805

Application for TTM – Tentative Tract Map
TM 6205, GPA 2021-005, GPA 2021-006
PDP 2021, R 2021-009, RO 307

<https://ld-igr-gts.dot.ca.gov/district/6/report/26417>

SENT VIA EMAIL

George Gonzalez, Senior Planner
Planning and Development Services Department
City of Clovis
1033 Fifth Street
Clovis, CA 93612

Dear Mx. Gonzalez:

Thank you for the opportunity to the Tentative Tract Map 6205 and the associated entitlements for the Shepherd North project which proposes to develop approximately 155 acres of land for the construction of 605 single-family residential units and parkland that is currently outside the City of Clovis' city limits. The project is approximately 2 miles north of the State Route (SR) 168 and Fowler Avenue interchange and 2.3 miles northeast of the SR 168 and Herndon Avenue interchange.

This project was previously reviewed as part of the Notice of Preparation (NOP) of an Draft Environmental Impact Report (DEIR) and a Scope of Work (SOW) for a Transportation Impact Analysis (TIA) with our office providing comment letters dated June 10, 2022 and June 22, 2022 respectively. All previous comment letters still apply to this project. Please see Attachment "A"

Our office is currently reviewing and plans on submitting a comment letter on the project's released DEIR with comments on the document due September 4, 2023.

George Gonzalez, TM 6205
August 15, 2023
Page 2

If you have any other questions, please call or email Christopher Xiong at (559) 908-7064 or Christopher.Xiong@dot.ca.gov.

Sincerely,



DAVID PADILLA, Branch Chief
Transportation Planning – North

Attachment A:
Previous Review Comment Letters

Attachment A

California Department of Transportation

DISTRICT 6 OFFICE
1352 WEST OLIVE AVENUE | P.O. BOX 12616 | FRESNO, CA 93778-2616
(559) 908-7064 | FAX (559) 488-4195 | TTY 711
www.dot.ca.gov



June 10, 2022

FRE-168-R7.805

Notice of Preparation of an EIR
Shepherd North Project

<https://ld-igr-gts.dot.ca.gov/district/6/report/26417>

SENT VIA EMAIL

George Gonzalez, Senior Planner
Planning and Development Services Department
City of Clovis
1033 Fifth Street
Clovis, CA 93612

Dear Mr. Gonzalez:

Thank you for the opportunity to review the Notice of Preparation (NOP) of a Draft Environmental Impact Report for the Shepherd North Project. The project proposes to develop approximately 155 acres of land for the construction of 605 single-family residential units and parkland that is currently outside the City of Clovis' city limits. Approximately 2 miles north of the State Route (SR) 168 and Fowler Avenue interchange, the project is located on the northwest quadrant of Shepherd and Fowler Avenue with the project being bounded on the north by Perrin Road, on the east by Fowler Avenue, on the south by Shepherd Avenue, and on the west by Sunnyside Avenue.

Additional subsequent actions and approvals from the City include a General Plan Amendment, Residential Site Plan Review, Vesting Tentative Maps, and other permits and annexation requests.

The mission of Caltrans is to provide a safe and reliable transportation network that serves all people and respects the environment. To ensure a safe and efficient transportation system, we encourage early consultation and coordination with local jurisdictions and project proponents on all development projects that utilize the multimodal transportation networks.

Caltrans provides the following comments consistent with the State's smart mobility goals that support a vibrant economy and sustainable communities:

1. Caltrans requests that prior to initiating the Transportation section of the Draft EIR, Caltrans be provided an opportunity to provide comments on the scope of work. If a kick-off meeting for the development of the Draft EIR is planned to be held by the City, Caltrans requests to be included in this meeting
2. Given the proposed number of single-family housing units and proximity to State Route facilities, the proposed project could have potential impacts on state highway facilities. Caltrans recommends that a transportation impact study (TIS) including a Vehicle miles traveled (VMT) analysis be conducted and the scope of the study should include interchanges of SR 168 at Herndon Avenue and Fowler Avenue, and the SR 168/Shepherd Avenue intersection.
3. Caltrans requests that the Draft EIR be submitted for review once completed and circulated by the City.
4. Caltrans recommends the project proponents consider working with the City to convert a portion of the planned residential units to affordable housing units.
5. It is recommended that the City consider a multimodal transportation system (such as bicycle and pedestrian facilities as well as public transportation) to provide connectivity of modes between the residential uses and commercial/retail uses to reduce VMT impacts from the project.
6. Caltrans recommends the City consider creating a VMT Mitigation Impact Fee to help reduce potential impacts on the State Highway System.
7. Alternative transportation policies should be applied to the development. An assessment of multimodal facilities should be conducted to develop an integrated multimodal transportation system to serve and help alleviate traffic congestion resulting from the project and related development in the area of the City. The assessment should include the following:
 - a. Pedestrian walkways should not only be limited to the project's internal connectivity but be connected to existing walkways and transit facilities outside the project area.
 - b. The project should consider coordinating connections to local and regional bicycle pathways to encourage the use of bicycles for commuter and recreational purposes.
 - c. If transit is not available within 1/4-mile of the project area, transit should be extended to provide services to high activity centers of the project.

George Gonzalez, NOP – EIR Shepherd North Project
June 10, 2022
Page 3

8. As part of the statewide effort to reduce greenhouse gas emissions, Caltrans recommends the project proponent consider the installation of public Level 2 Electric Vehicle (EV) and DC Fast Charging EV charging stations.
9. Active Transportation Plans and Smart Growth efforts support the state's 2050 Climate goals. Caltrans supports reducing VMT and GHG emissions in ways that increase the likelihood people will use and benefit from a multimodal transportation network.

If you have any other questions, please call or email Christopher Xiong at (559) 908-7064 or Christopher.Xiong@dot.ca.gov.

Sincerely,



DAVID PADILLA, Branch Chief
Transportation Planning – North

California Department of Transportation

DISTRICT 6 OFFICE
1352 WEST OLIVE AVENUE | P.O. BOX 12616 | FRESNO, CA 93778-2616
(559) 981-1041 | FAX (559) 488-4195 | TTY 711
www.dot.ca.gov



6/22/2022

FRE-168-R7.805
Shepherd North Traffic Scope
<https://ld-igr-gts.dot.ca.gov/district/6/report/26417>

SENT VIA EMAIL

Sean K. Smith
Supervising Civil Engineer
Engineering Division, City of Clovis
1033 Fifth Street
Clovis, California 93612

Dear Mr. Smith,

Thank you for the opportunity to review the scope of work for the North Shepherd Sphere of Influence (SOI) Expansion Transportation Impact Analysis. The 155-acre project site is located on the northeast corner of the Sunnyside Avenue/Shepherd Avenue intersection, approximately 2 miles north of the State Route (SR) 168/Fowler Avenue interchange and approximately 2.5 miles northeast of the SR 168/Herndon Avenue interchange.

General Comments

The project will be a residential development including 605 single-family homes on approximately 77-acres and an additional 78 acres will be used for the local road network utilities, greenspace, landscaping, and pedestrian paths.

The scope of work indicated the TIA will examine the following Caltrans intersections:

- State Route 168 (SR-168) Westbound Ramps/Herndon Avenue
- SR-168 Eastbound Ramps/Herndon Avenue

Project related comments

Caltrans provides the following comments consistent with the State's smart mobility goals that support a vibrant economy and sustainable communities:

1. Caltrans concurs the SR 168/Herndon Avenue interchange be included in the TIA. Caltrans recommends a ramp queuing analysis be completed at the SR 168/ Herndon Avenue interchange to identify potential traffic safety impacts. The evaluation for traffic safety impacts should include a review for speed differential between the exit ramps queue and the mainline of SR 99 during the same peak hour study period.

Sean K. Smith Shepherd North Traffic Scope

6/22/2022

Page 2

2. In addition, Caltrans anticipates the project related trips will utilize the SR 168/Fowler Avenue interchange. Therefore, Caltrans request the SR 168/Fowler Avenue interchange undergo the same analysis as mentioned in comment #1.
3. Caltrans concurs with the project including a vehicle-miles traveled (VMT) study. Improvements for existing/future bike and pedestrian facilities on roads in the vicinity of the Project and connectivity between home to work/home to shops should be considered and included in the VMT mitigation plan.
4. Caltrans recommends the City consider creating a VMT Mitigation Impact Fee so that projects, such as this one, can pay into to mitigate their fair share and provide funding for future transportation projects such as active transportation infrastructure.
5. Caltrans recommends the project proponent(s) consider working with the City to convert a portion of the planned residential units to affordable housing units.
6. Active Transportation Plans and Smart Growth efforts support the state's 2050 Climate goals. Caltrans supports reducing VMT and GHG emissions in ways that increase the likelihood people will use and benefit from a multimodal transportation network.
7. In summary, the trip generation, peak hours, study scenarios, VMT analysis, and methodology seem reasonable.

If you have any other questions, please call or email Edgar Hernandez at (559) 981-7436 or edgar.hernandez@dot.ca.gov.

Sincerely,



David Padilla, Branch Chief
Transportation Planning – North



2907 S. Maple Avenue
Fresno, California 93725-2208
Telephone: (559) 233-7161
Fax: (559) 233-8227

CONVEYANCE. COMMITMENT. CUSTOMER SERVICE.

August 9, 2023

George Gonzalez
Planning Division
City of Clovis
1033 Fifth Street
Clovis, CA 93612

RE: Vesting Tentative Tract Map Application No. TM6205
N/E Shepherd and Sunnyside avenues

Dear Mr. George:

The Fresno Irrigation District (FID) has reviewed the Vesting Tentative Tract Map Application No. TM6205 for which the applicant proposes a 605-lot single-family planned residential development, APNs: 557-021-19, 20, 21. This request is being processed with SOI Expansion, RO307, GPA2021-005, GPA2021-006, R2021-009, and PDP2021-004. FID has the following comments:

1. FID previously reviewed and commented on the subject property on December 2, 2021, as Development Review Committee Application No. 21-00053, and March 15, 2022, as Development Review Committee Application No. 2022-013. Those comments and conditions still apply, and a copy has been attached for your reference.

Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions, please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or clundeen@fresnoirrigation.com.

Sincerely,

Laurence Kimura, P.E.
Chief Engineer

Attachment

G:\Agencies\Clovis\Tract Map\TM6205\TM6205 FID Comments.doc

2907 S. Maple Avenue
 Fresno, California 93725-2208
 Telephone: (559) 233-7161
 Fax: (559) 233-8227



CONVEYANCE. COMMITMENT. CUSTOMER SERVICE.

March 15, 2022

Kelsey George
 City of Clovis
 Planning Division
 1033 Fifth Street
 Clovis, CA 93612

RE: Development Review Committee Application No. 2022-013
 N/E Shepherd and Sunnyside avenues

Dear Ms. George:

The Fresno Irrigation District (FID) has reviewed the Development Review Committee Application No. 2022-013 for which the applicant proposes a single-family residential development, APNs: 557-021-19, 20, 21. FID has the following comments:

1. FID previously commented on the subject property on December 2, 2021, as Development Review Committee Application No. 21-00053. Those comments and conditions still apply, and a copy has been attached for your reference.

Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions, please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or clundeen@fresnoirrigation.com.

Sincerely,

Laurence Kimura, P.E.
 Chief Engineer

Attachment

G:\Agencies\Clovis\DRC Meetings\DRC2022-013\DRC2022-013 FID Comment.doc



2907 S. Maple Avenue
 Fresno, California 93725-2208
 Telephone: (559) 233-7161
 Fax: (559) 233-8227

CONVEYANCE. COMMITMENT. CUSTOMER SERVICE.

December 2, 2021

Kelsey George
 City of Clovis
 Planning Division
 1033 Fifth Street
 Clovis, CA 93612

RE: Development Review Committee Application No. 21-00053
 N/E Shepherd and Sunnyside avenues

Dear Ms. George:

The Fresno Irrigation District (FID) has reviewed the Development Review Committee Application No. 21-00053 for which the applicant proposes a single-family residential development, APNs: 557-021-19, 20, 21. FID has the following comments:

1. FID does not own, operate, or maintain any facilities located on the subject property, as shown on the attached FID exhibit map. The property is located just outside the FID boundary and is not entitled to surface water from FID under the current Conveyance Agreement with the City of Clovis.
2. If treated surface water will be used, the City must acquire additional water from a water purveyor, such as FID for that purpose, so as to not impact water supplies to or create water supply deficits in other areas of the City or in the groundwater basin. Water supply issues must be resolved before any further "hardening" of the water supply demand is allowed to take place.
3. FID is concerned that the proposed development may negatively impact local groundwater supplies. The area is currently farmland completely dependent on groundwater pumping supplemented by annual rainfall. Under current circumstances the project area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in a conversion from imported surface water to groundwater, this deficit will increase. FID recommends the City of Clovis require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft problem.

G:\Agencies\Clovis\DRC Meetings\DRC2021-053\DRC-21-00053 FID Comment.doc

BOARD OF DIRECTORS

President RYAN JACOBSEN Vice-President JERRY PRIETO, JR. CHRISTOPHER WOOLF
 GEORGE PORTER GREGORY BEBERIAN General Manager BILL STRETCH

Kelsey George
Re: DRC No. 2021-00053
December 2, 2021
Page 2 of 2

4. California enacted landmark legislation in 2014 known as the Sustainable Groundwater Management Act (SGMA). The act requires the formation of local groundwater sustainability agencies (GSAs) that must assess conditions in their local water basins and adopt locally-based management plans. FID and the City of Clovis are members of the North Kings Groundwater Sustainability Agency which will manage the groundwater basin within the FID service area. This area is completely reliant on groundwater pumping and SGMA will impact all users of groundwater and those who rely on it. The City should consider the impacts of the development on the City's ability to comply with requirements of SGMA.
5. For informational purposes, FID's active Enterprise No. 109 runs northwesterly and crosses Fowler Avenue approximately 1,200 feet southeast of the subject property, Sunnyside Avenue approximately 440 feet south of the subject property, and Shepherd Avenue approximately 560 feet west of the subject property, as shown on the attached FID exhibit map. Should this project include any street and/or utility improvements along Fowler Avenue, Sunnyside Avenue, Shepherd Avenue, or in the vicinity of this facility, FID requires it review and approve all plans.
6. For informational purposes, Fresno Metropolitan Flood Control District's Big Dry Creek No. 150 runs westerly along south side of Shepherd Avenue and may be impacted by the proposed project. FID recommends contacting FMFCD for further comments and/or conditions they may have.

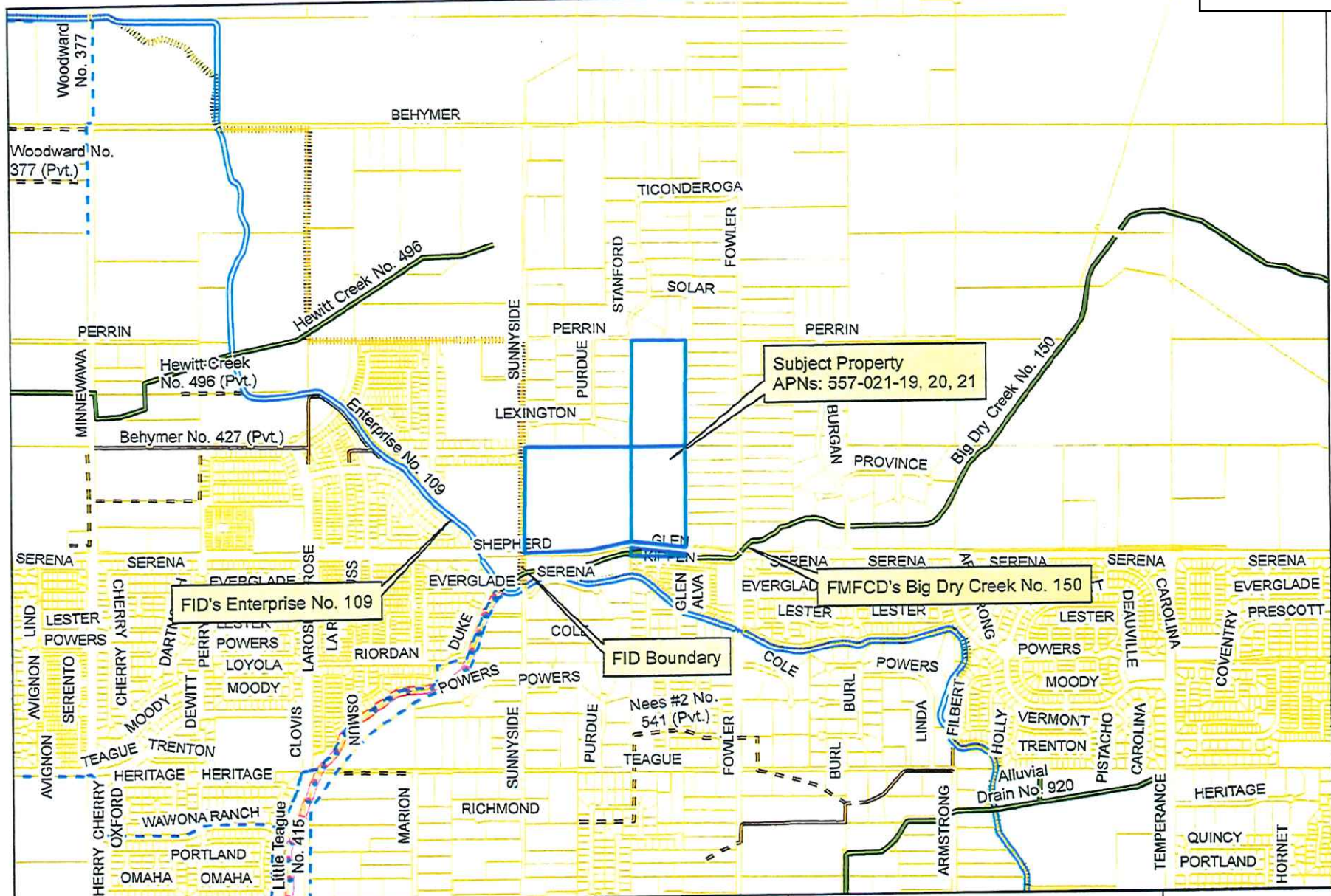
Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions, please feel free to contact Chris Lundeen at (559) 233-7161 extension 7410 or clundeen@fresnoirrigation.com.

Sincerely,



Laurence Kimura, P.E.
Chief Engineer

Attachment



Legend	
FID Canal	FID Pipeline
Private Canal	Private Pipeline
Abandoned Canal	Abandoned Pipeline
Stream Group	Other-Creek/River
Other-Pipeline	FID Boundary
Railroad	Parcel
Streets & Hwys	FMFCD Acquired Basins
	FMFCD Proposed Basins

This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or as inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 253-7161 for further information on FID facilities.



Spatial Reference
Name: NAD 1983 StatePlane California IV FIPS 5404 Path: G:\Fidgie\20211115 FID Master.mxd



City of Clovis DEVELOPMENT REVIEW COMMITTEE (DRC) APPLICATION

City Hall, 1033 Fifth Street, Clovis, California 93612 / (559) 324-2340

Print clearly in black or blue ink or type. There is no fee for the DRC; the back of this form has information on other fees.

The Development Review Committee is a pre-application meeting scheduled between developers and City Staff. It is a service provided, without cost, which is intended to encourage discussion on potential development projects. City representatives on the Development Review Committee include representatives from the Fire, Police, Planning, Building, and Public Works Departments, in addition to the Clovis Community Development Agency. The County Health Department, as well as other outside agencies, may also be invited to attend the Development Review Committee meeting.

As a general rule, the Development Review Committee meets every other Wednesday. If you wish to have your proposal reviewed with the Development Review Committee, you should submit eleven (11) **folded** copies of your plans, maximum size of 8 1/2" x 13", and the information form at least one week prior to the next scheduled meeting. A time will be scheduled for you at the time of application submittal. Please note that the more detailed the submittal the more complete the City's response will be.

A written list of comments will be sent to you approximately ten (10) days after the DRC meeting. Please keep in mind the list of comments is not meant to be an inclusive guideline, but only a list of suggestions, which may be in your best interest to examine closely.

NAME: Harbour & Associates
MAILING ADDRESS: 389 Clovis Ave., Suite 300, Clovis, CA. 93612
PHONE: (559) 325-7676 E-MAIL: lorrens@harbour-engineering.com

PROPOSED USE: Single family residential with two product types. All lots will be within gates.

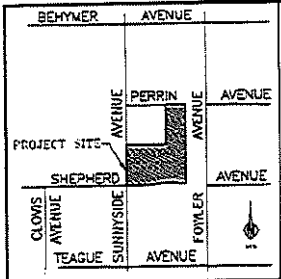
SIZE OF PROPERTY: 77.5 Ac. +/- Gross
ASSESSOR'S PARCEL NUMBER: 557-021-19, 20 & 21
EXISTING BUILDINGS: There is one home on this site and this home will be removed.
PROJECT LOCATION: Northeast corner of Sunnyside Avenue and Shepherd Avenue.

All submitted plans should try to include the following items:

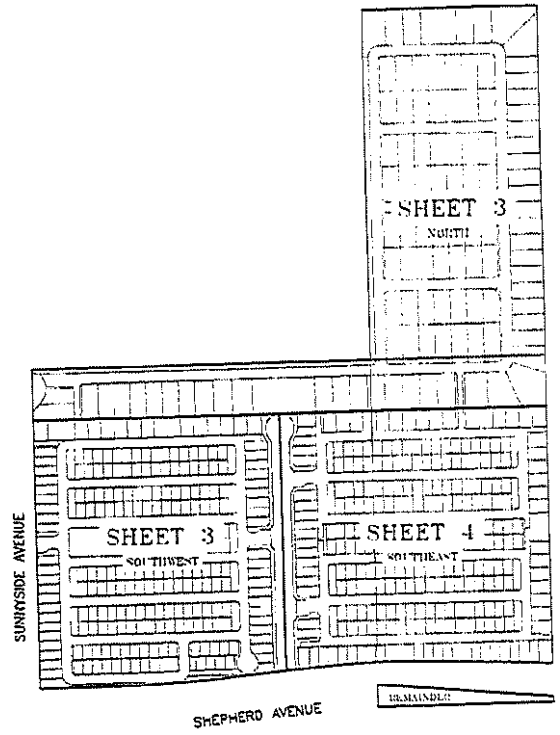
1. Scale of drawing (Engineering or Architectural scale).
2. North arrow (pointing to top of paper).
3. Name of property owner.
4. Existing uses and structures on the property.
5. Names of adjacent streets.
6. Correct location of centerlines of adjacent streets.
7. Correct location of property line.
8. If available, one copy of floor plans and elevations.
9. Indicate the land use of adjacent property.
10. Any existing off-site improvements (i.e. driveway approaches, fire hydrants, etc.).
11. Lotting pattern of adjacent parcels.

(FOR OFFICE USE ONLY)
File No: **DRC-21-00053**
Date: **12/22/21**
RHNA Site: **N/A**

Should you have any questions, please feel free to contact the Planning Division at (559) 324-2340.



LOCALITY MAP



KEY MAP

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA

LEGAL DESCRIPTION:

APN: 037-021-20
THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 NORTH, RANGE 12 WEST, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

APN: 037-021-18
THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 NORTH, RANGE 12 WEST, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

APN: 037-021-21
THE WEST HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 NORTH, RANGE 12 WEST, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

APN: 037-021-19
THE EAST HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 NORTH, RANGE 12 WEST, COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

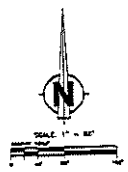
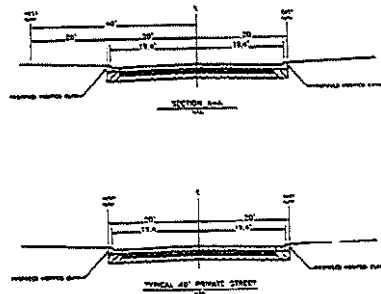
NOTES:

1. THIS AREA IS SUBJECT TO FLOODING. SEE ATTACHED.
2. ALL IMPROVEMENTS SHALL BE AS REQUIRED BY THE CITY OF CLOVIS. TO BE FINANCED BY THE DEVELOPER. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF ALL IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO: WATER, SEWER, GAS, CABLE TV, TELEPHONE, AND OTHER UTILITIES. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR THE COST OF ALL IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO: WATER, SEWER, GAS, CABLE TV, TELEPHONE, AND OTHER UTILITIES.
3. THERE SHALL BE NO OTHER IMPROVEMENTS OR SERVICES PROVIDED BY THE CITY OF CLOVIS.

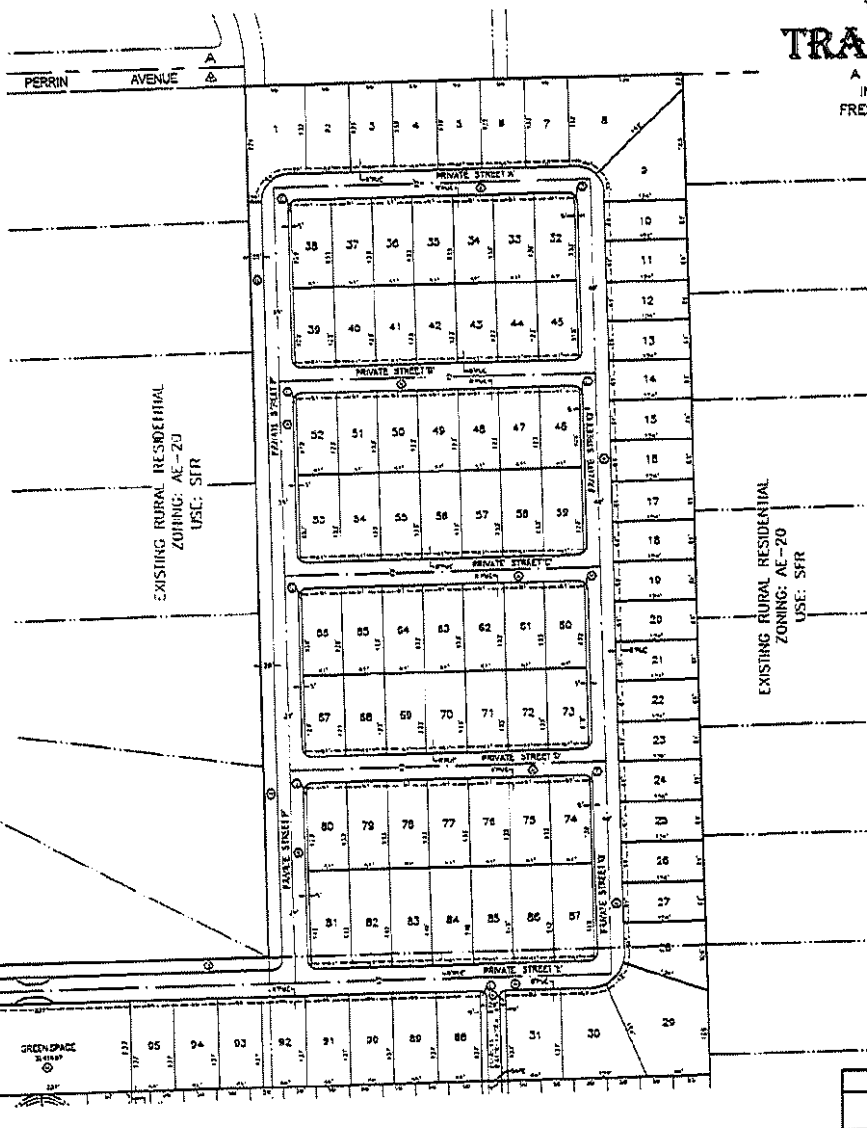
EXISTING BUILDINGS EXISTING UTILITIES EXISTING TREES EXISTING TRENCHES AND DITCHES EXISTING ZONING PROPOSED ZONING PROPOSED USE SOURCE OF WATER SOURCE OF SEWAGE DISPOSAL SOURCE OF WASTE DISPOSAL SOURCE OF ELECTRICITY	SOURCE OF GAS SOURCE OF CABLE TV SOURCE OF TELEPHONE ASSESSOR'S PARCEL NUMBER SITE AREA NUMBER OF LOTS DENSITY AVERAGE LOT SIZE OUTLET SCHEDULE
--	---

TENTATIVE SUBDIVISION MAP	
Grant Blomquist, L.P. 1000 N. G Street, Clovis, CA 93611 (559) 291-1111	
Author & Engineer 2000 N. G Street, Clovis, CA 93611 (559) 291-1111	SHEET NO. 1 OF 4

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA



LEGEND:
 ▲ ADJUSTED STREET CORNER
 △ PUBLIC UTILITY EXISTENCE AND OFFSET FOR RECORD
 ○ PUBLIC UTILITY EXISTENCE AND OFFSET FOR RECORD FOR TRAILER HALL
 ○ PUBLIC UTILITY EXISTENCE AND OFFSET FOR RECORD FOR TRAILER HALL
 ○ PUBLIC UTILITY EXISTENCE AND OFFSET FOR RECORD FOR TRAILER HALL



- EXISTING BUILDINGS
- EXISTING TREES
- EXISTING UTILITIES
- EXISTING ZONING
- EXISTING ZONING
- PROPOSED ZONING
- PROPOSED USE
- SOURCE OF WATER
- SOURCE OF WASTE DISPOSAL
- SOURCE OF ELECTRICITY
- SOURCE OF GAS
- SOURCE OF CABLE TV
- SOURCE OF TELEPHONE
- ASSESSOR'S PARCEL NUMBER
- SITE AREA
- NUMBER OF LOTS
- DENSITY
- AVERAGE LOT SIZE
- OUTLET SCHEDULE

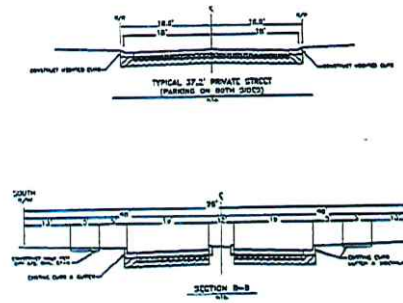
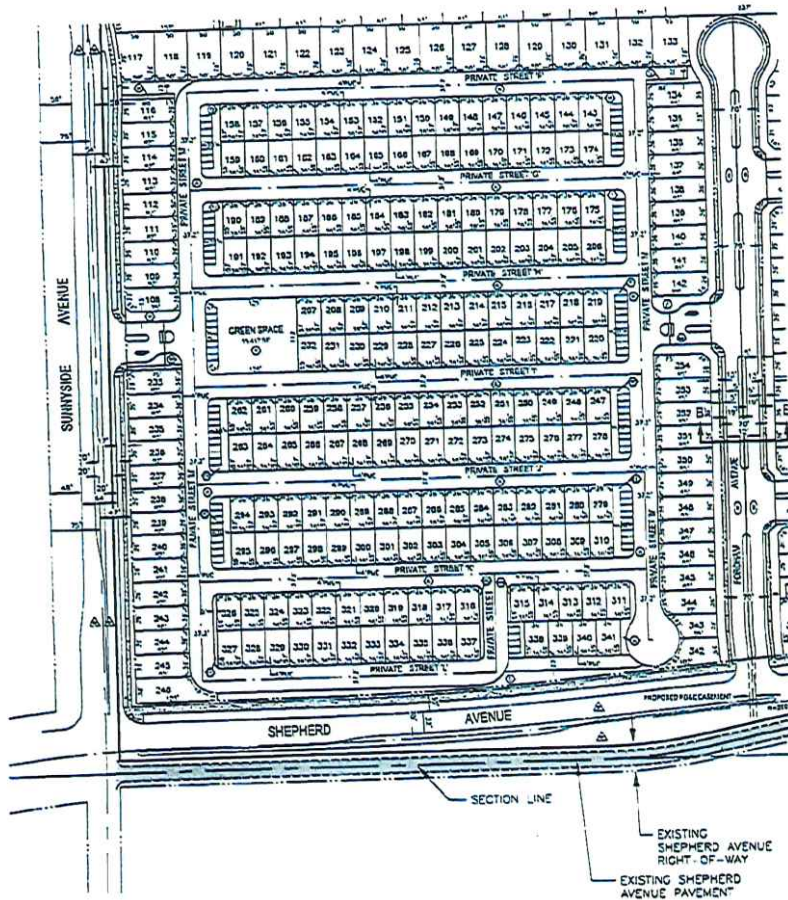
NOTES:
 1. THE AREA IS SUBJECT TO PLANNING A (UNIMPAVED)

T6205 - NORTH

Great Bigland, L.P.

DATE	DESCRIPTION	BY	CHECKED

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA



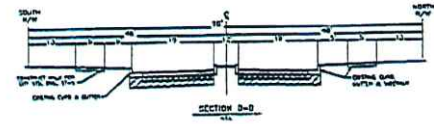
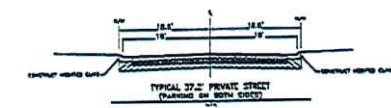
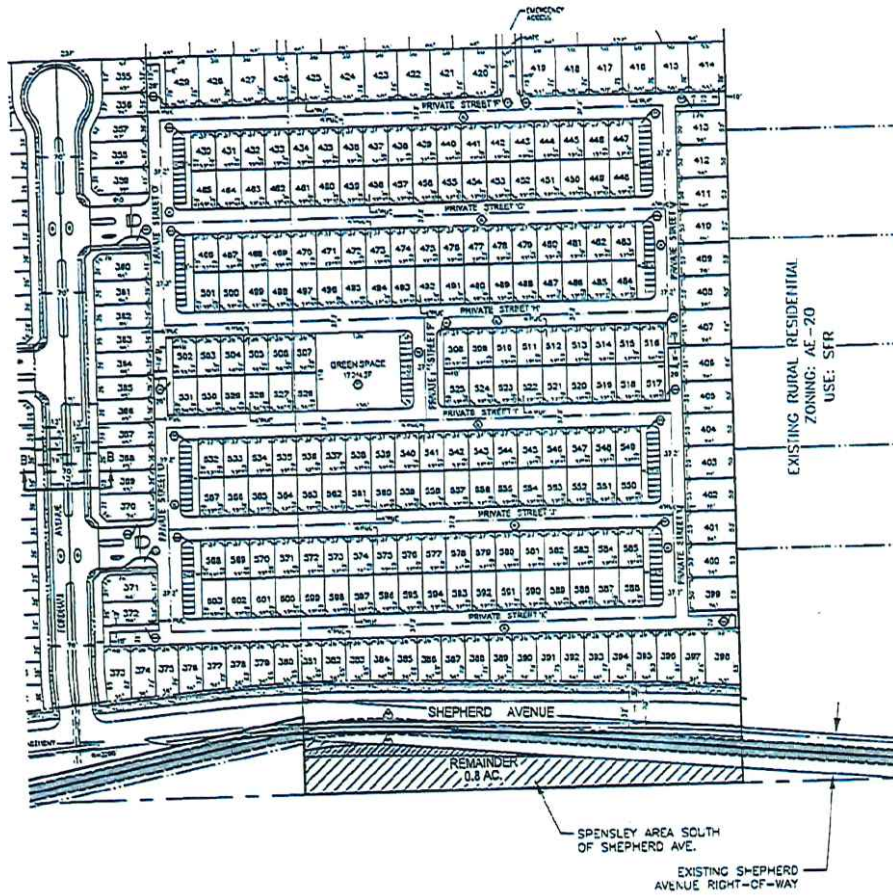
- EXISTING BUILDINGS
- EXISTING TREES
- EXISTING USE
- EXISTING ZONING
- PROPOSED ZONING
- PROPOSED USE
- SOURCE OF WATER
- SOURCE OF SEWAGE DISPOSAL
- SOURCE OF WASTE DISPOSAL
- SOURCE OF ELECTRICITY
- SOURCE OF GAS
- SOURCE OF CABLE TV
- SOURCE OF TELEPHONE
- ACCESSOR'S PARCEL NUMBER
- SITE AREA
- NUMBER OF LOTS
- DENSITY
- AVERAGE LOT SIZE
- OUTLET SCHEDULE



- LEGEND:**
- ▲ IMPROVED STREET PROPOSED FOR PUBLIC USE
 - PUBLIC STREET LAYOUT NOT OFFERED FOR PUBLIC USE
 - PUBLIC UTILITY RIGHT-OF-WAY NOT OFFERED FOR PUBLIC USE
 - PUBLIC UTILITY RIGHT-OF-WAY OFFERED FOR PUBLIC USE

TM6205 - SOUTHWEST	
Great Bigland, L.P.	
Author & Association 3140 Gateway Lane, Suite 200, Clovis, CA 93225 (559) 292-7000	SHEET NO. 3 OF 4

VESTING TENTATIVE SUBDIVISION MAP OF
TRACT NO. 6205
 A PLANNED DEVELOPMENT IN THE CITY OF CLOVIS, FRESNO COUNTY, CALIFORNIA



EXISTING RURAL RESIDENTIAL ZONING: AE-20
 USE: SFR

- EXISTING BUILDINGS: NONE KNOWN TO BE REMOVED
- EXISTING TREES: LISTING PROVIDED TO BE PROVIDED
- EXISTING USE: RURAL RESIDENTIAL AND ORGANIC
- EXISTING ZONING: AE-20
- PROPOSED ZONING: AE-20 (SFR)
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL SUBDIVISION
- SOURCE OF WATER: GUY OF CLOVIS
- SOURCE OF SEWAGE DISPOSAL: GUY OF CLOVIS
- SOURCE OF ELECTRICITY: PUBLIC UTILITY
- SOURCE OF GAS: PUBLIC UTILITY
- SOURCE OF CABLE T.V.: PUBLIC UTILITY
- SOURCE OF TELEPHONE: PUBLIC UTILITY
- ASSessor's PARCEL NUMBER: 387-021-19, 387-021-20 & 387-021-21
- SITE AREA: 93.50 AC (APPROX)
- DENSITY: 8.88 DENSITY
- NUMBER OF LOTS: 163 LOTS & 38 BUILDINGS
- AVERAGE LOT SIZE: 3342 SF
- UTILITY SCHEDULE:
 - PUBLIC UTILITY FOR PRIVATE ROAD & PUBLIC UTILITY
 - PUBLIC UTILITY FOR PRIVATE ROAD & PUBLIC UTILITY
 - PUBLIC UTILITY FOR PRIVATE ROAD & PUBLIC UTILITY
 - PUBLIC UTILITY FOR PRIVATE ROAD & PUBLIC UTILITY
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- LEGEND:
- ⊙ IMPROVED STREETS PROPOSED FOR PUBLIC USE
 - ⊙ PUBLIC STREET IMPROVEMENT NOT OFFERED FOR SEPARATE PUBLIC USE
 - ⊙ PUBLIC UTILITY DUCTS NOT OFFERED FOR SEPARATE PUBLIC USE
 - ⊙ EXISTING UTILITIES



TM6205 - SOUTHEAST

Prepared by
Great Blotland, L.P.

Barbara E. Anderson
 2300 Olive Street, Suite 130 - Clovis, California 93612
 (559) 291-1111

DATE: 01/20/2011
 PROJECT: TRACT NO. 6205
 SHEET NO. 4 OF 4
 SHEET: D-857



City of Clovis DEVELOPMENT REVIEW COMMITTEE (DRC) APPLICATION

City Hall, 1033 Fifth Street, Clovis, California 93612 / (559) 324-2340

Print clearly in black or blue ink or type. There is no fee for the DRC; the back of this form has information on other fees.

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A written list of comments will be sent to you approximately ten (10) days after the DRC meeting. Please keep in mind the list of comments is not meant to be an inclusive guideline, but only a list of suggestions, which may be in your best interest to examine closely.

NAME: Harbour & Associates
MAILING ADDRESS: 389 Clovis Ave., Suite 300, Clovis, CA. 93612
PHONE: (559) 325-7676 E-MAIL: lorrens@harbour-engineering.com

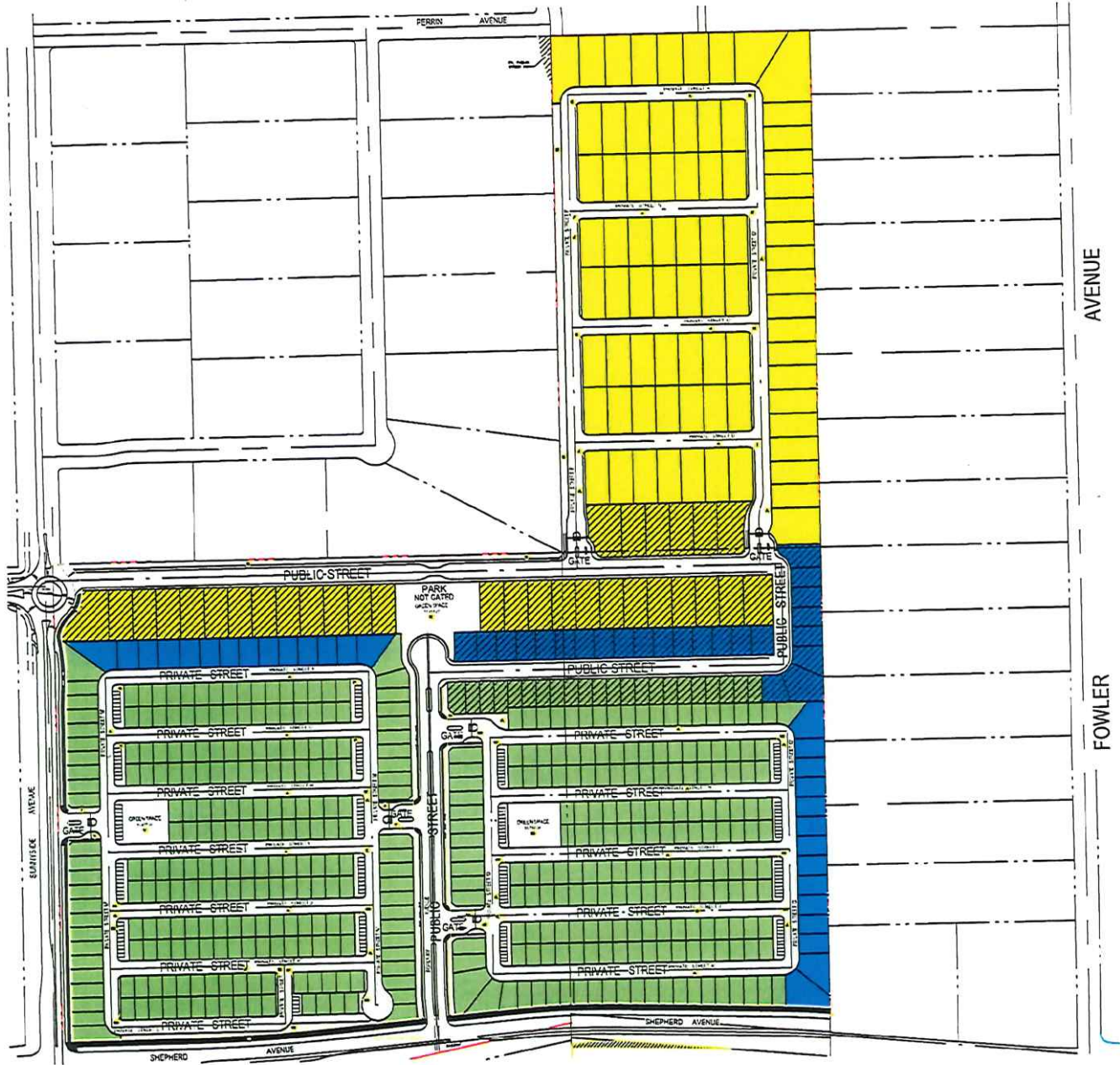
PROPOSED USE: The proposed use single family residential. The northerly portion will have larger homes, Wilson Homes Windsor product. Most of these lots will be within gates, but not all. There will also be a smaller lot portion of this site that proposes Wilson Homes Elev8ions product with a few single story LIV homes as well. Not all of the smaller lots will be gated.
SIZE OF PROPERTY: 77.5 Ac. +/- Gross
ASSESSOR'S PARCEL NUMBER: 557-021-19, 20 & 21
EXISTING BUILDINGS: There are no existing buildings.
PROJECT LOCATION: Northeast corner of Sunnyside Avenue and Shepherd Avenue.

All submitted plans should try to include the following items:

1. Scale of drawing (Engineering or Architectural scale).
2. North arrow (pointing to top of paper).
3. Name of property owner.
4. Existing uses and structures on the property.
5. Names of adjacent streets.
6. Correct location of centerlines of adjacent streets.
7. Correct location of property line.
8. If available, one copy of floor plans and elevations.
9. Indicate the land use of adjacent property.
10. Any existing off-site improvements (i.e. driveway approaches, fire hydrants, etc.).
11. Lotting pattern of adjacent parcels.

DRC2022-013
Date: 3/16/22
RHNA: N/A

Should you have any questions, please feel free to contact the Planning Division at (559) 324-2340.



REVISED TM6205
606 LOTS

Windsor
76 Lots Gated
31 Lots Not Gated

Citrea
24 Lots Not Gated
14 Lots Gated (East)
14 Lots Gated (West)

Elev8ions
22 Lots Not Gated
193 Lots Gated (East)
232 Lots Gated (West)



City of Clovis
 Department of Planning and Development Services
 CITY HALL - 1033 Fifth Street - Clovis, CA 93612

Distribution Date: **7/25/2023**

PLANNING APPLICATION REQUEST FOR COMMENTS
Project Manager - George Gonzalez, MPA, Senior Planner

PLEASE ROUTE TO:

- | | |
|--|---|
| <p>(In House)</p> <input checked="" type="checkbox"/> Planning Division
<input checked="" type="checkbox"/> Building Division
<input checked="" type="checkbox"/> Engineering Divisor
<input checked="" type="checkbox"/> Utilities Division
<input checked="" type="checkbox"/> Solid Waste Divisor
<input checked="" type="checkbox"/> Fire Department
<input checked="" type="checkbox"/> Police Department
<input checked="" type="checkbox"/> City Landscape Com
<input checked="" type="checkbox"/> Legal Description Review
<input type="checkbox"/> Other (Specify)
<input type="checkbox"/> | <p>(Out-of-House)</p> <input checked="" type="checkbox"/> Fresno Irrigation District
<input checked="" type="checkbox"/> Fresno Metropolitan Flood Control Dist.
<input checked="" type="checkbox"/> Pacific Gas & Electric
<input checked="" type="checkbox"/> AT&T
<input checked="" type="checkbox"/> Clovis Unified School District
<input checked="" type="checkbox"/> Cal Trans
<input checked="" type="checkbox"/> SJV Unified Air Pollution Control Dist.
<input checked="" type="checkbox"/> State of California Department of Fish and Game
<input checked="" type="checkbox"/> LAFCO (when annexation is involved)
<input checked="" type="checkbox"/> County of Fresno Development
<input checked="" type="checkbox"/> Fresno County Environmental Health |
|--|---|

Item(s): TM6205 Location: North side of Shepherd Avenue, between N. Sunnyside & N. Fowler Ave.

APN: Multiple Zoning: County AL20 General Plan: Clovis Rural Res. RHNA Site: _____

Name of Applicant: Great Bigland, LP -Jeff Harris Phone/Email: (559)224-7550/jharris@wilsondevelopment.com

Applicant Address: 7550 N. Palm Avenue, #102 City: Fresno State: CA Zip: 93711

Previously Reviewed Under DRC: DRC2022-013 Or Other Entitlement: _____

Project Description: TM6205; A request to approve a vesting tentative tract map for a 605-lot single-family planned residential development for land located on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues. This request is being processed concurrently with SOI Expansion, RO307, GPA2021-005, GPA2021-006, R2021-009, and PDP2021-004.

This item is tentatively scheduled for a public hearing to be consi City Council.
 The attached information is circulated for your comments. Please attach your comments and recommendations i
 condition form and return to the project manag 8/15/2023

Please check one below:

- No Comments Comments e-mailed or saved on: _____

RECOMMENDED CONDITIONS: Please draft conditions in final form that are acceptable to your department
 They must be legible. Please phrase positively and clearly:

GOOD EXAMPLE: "1. Prior to occupancy, the developer shall install all landscaping as per the approved

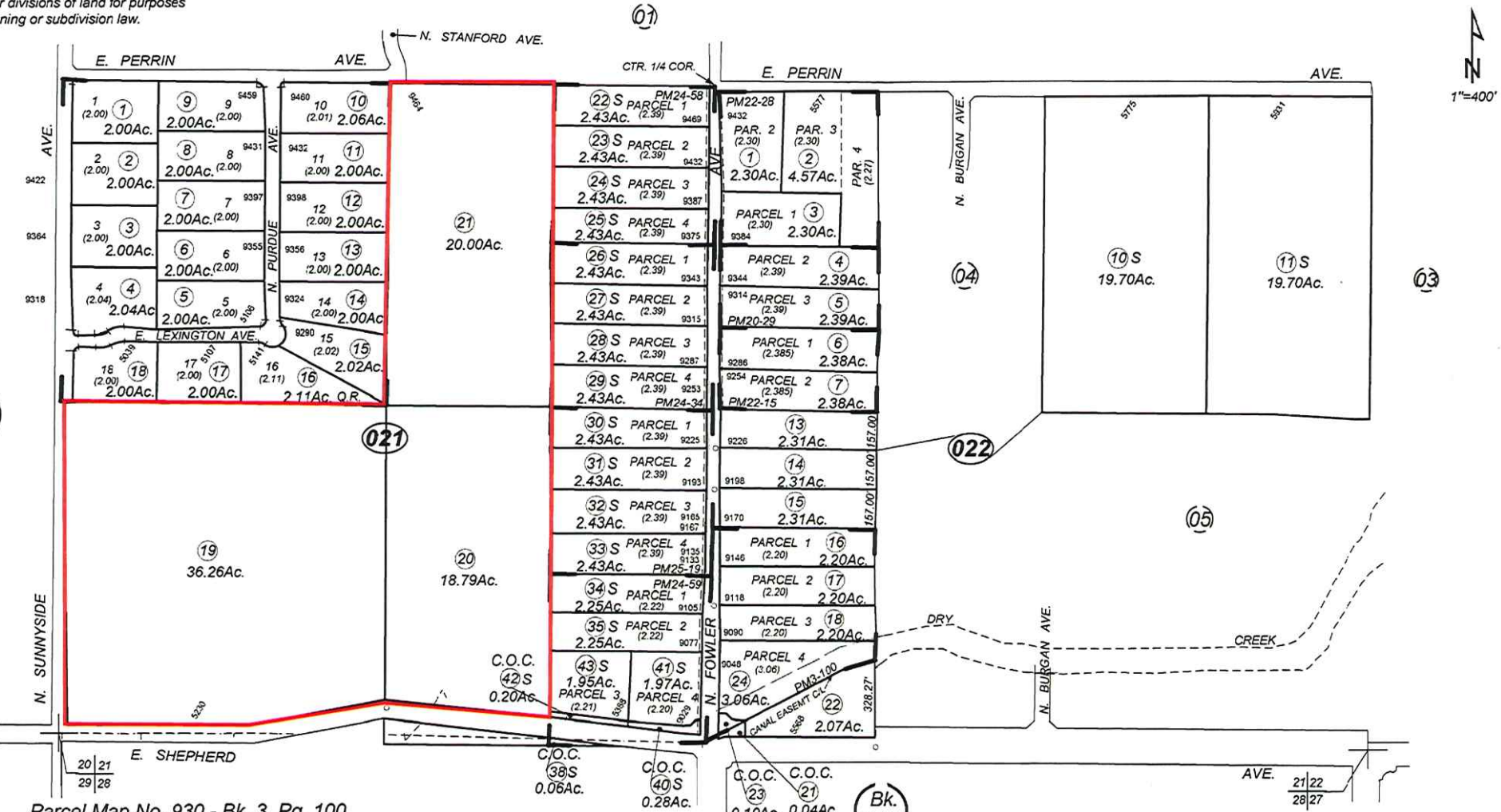
POOR EXAMPLE: "1. Install landscaping."

REVIEWED BY (please sign): _____

PLEASE RETURN TO:
 George Gonzalez, MPA, Senior Planner
 Planning and Development Services Dept.
 1033 Fifth St., Clovis, CA 93612
 Phone: 324-2383 Fax: 324-2866

-NOTE-
This map is for Assessment purposes only.
It is not to be construed as portraying legal
ownership or divisions of land for purposes
of zoning or subdivision law.

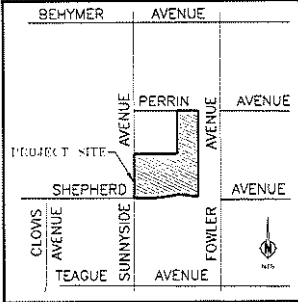
SUBDIVIDED LAND IN POR. SEC. 21, T. 12 S., R. 21 E., M.D.B. & M.



- Parcel Map No. 930 - Bk. 3, Pg. 100
- Parcel Map No. 2849 - Bk. 20, Pg. 29
- Parcel Map No. 3373 - Bk. 22, Pg. 15
- Parcel Map No. 3372 - Bk. 22, Pg. 28
- Parcel Map No. 3654 - Bk. 24, Pg. 34
- Parcel Map No. 3650 - Bk. 24, Pg. 58
- Parcel Map No. 3637 - Bk. 24, Pg. 59

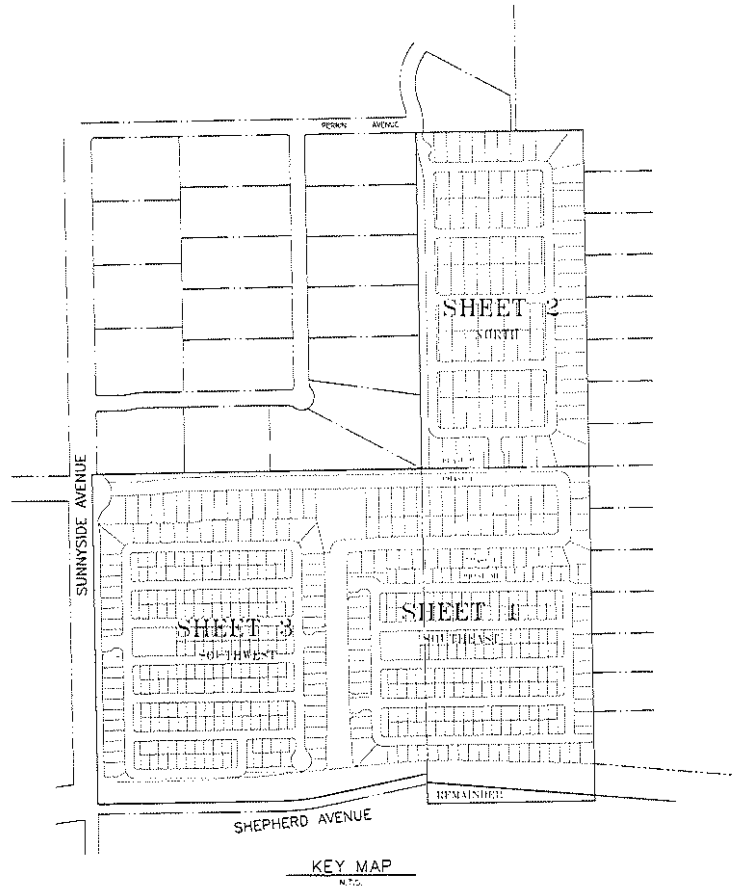
- Parcel Map No. 3640 - Bk. 25, Pg. 19
- Quail Run - Tract No. 3286 - Plat Bk. 37, Pg. 88

C.O.C. = CITY OF CLOVIS



VICINITY MAP
N.T.S.

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA



LEGAL DESCRIPTION:

APN: 557-021-00

THE SOUTH HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT Diablo BLK AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

APN: 557-021-19

THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT Diablo BLK AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

EXCEPTING THEREFROM THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 21, THENCE NORTH 09°47'00" WEST, 357.24 FEET, ALONG THE SOUTHWEST LINE OF THE SOUTHWEST QUARTER OF SECTION 21, TO A POINT IN THE CENTERLINE OF SHEPHERD AVENUE; THENCE NORTH 09°47'00" EAST, 112.00 FEET FROM THE SOUTHWEST CORNER OF SECTION 21, THENCE SOUTHWEST ALONG THE CENTERLINE OF SHEPHERD AVENUE AS FOLLOWS:

ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 800 FEET, THROUGH A CENTER ANGLE OF 115°10'10", AN ARC DISTANCE OF 132.00 FEET THROUGH POINT "P" EAST 55°47'00" NORTH, 256.79 FEET, THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 840 FEET, THROUGH A CENTER ANGLE OF 23°32'33", AN ARC DISTANCE OF 304.32 FEET TO A POINT ON THE EASTERLY LINE OF THE SOUTHWEST QUARTER OF SECTION 21, THENCE LEAVING THE CENTERLINE OF SHEPHERD AVENUE SOUTH 89°22'00" EAST, 146.00 FEET ALONG THE EASTERLY LINE OF THE SOUTHWEST QUARTER OF SECTION 21, TO THE POINT OF COMMENCEMENT.

APN: 557-021-21

THE WEST HALF OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT Diablo BLK AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

EXCEPTING THEREFROM THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

THENCE WITH AN ALIGNMENT FOR ROAD, BEING 80 FEET, NORTH AND ACROSS THE EAST 30 FEET OF THE SOUTH HALF OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 21 EAST, MOUNT Diablo BLK AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

EXCEPTING THEREFROM THE RIGHT-OF-WAY DEEDS TO THE CITY OF CLOVIS FOR DEED DOCUMENT NUMBER 2522-9112574 RECORDED ON SEPTEMBER 8, 2022.

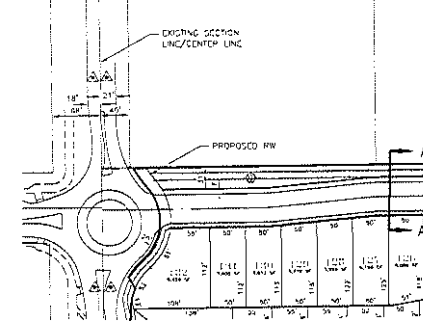
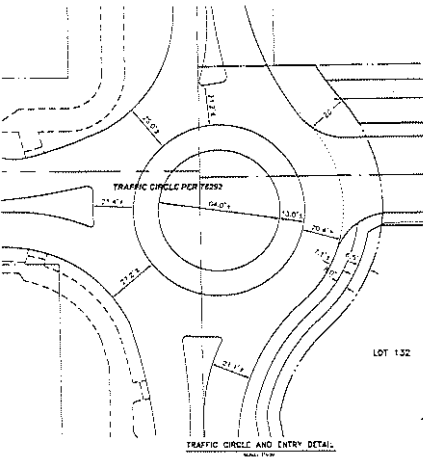
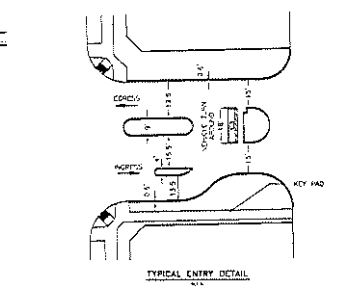
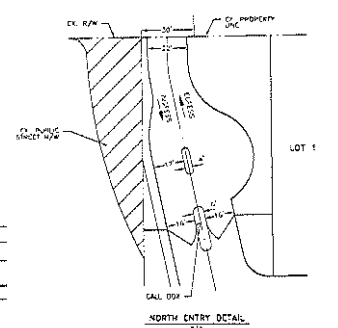
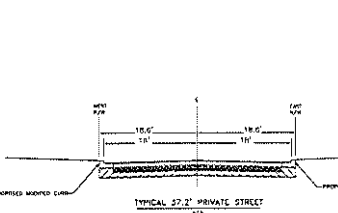
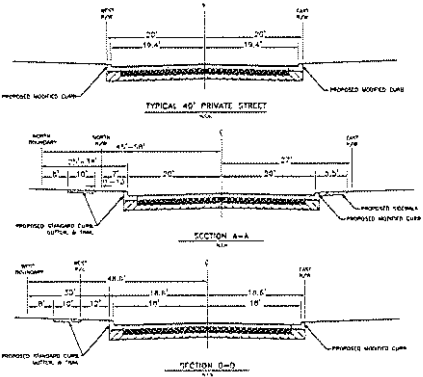
NOTES:

1. THIS AREA IS SUBJECT TO FLOODZONE X (UNDESIRABLE) AND FLOODZONE AH (HAZARDOUS).
2. ALL IMPROVEMENTS SHALL BE AS REQUIRED BY THE CITY OF CLOVIS, TO CITY STANDARDS, AND SHALL INCLUDE: SANITARY SEWER, DOMESTIC WATER, LANDSCAPING, POWER, TELEPHONE, GAS, CONCRETE CURBS, GUTTERS, CURB/SIDEWALK, PERMANENT STREET PAVEMENT, STREET LIGHTS, ETC.
3. THERE SHALL BE NO GRADE DIFFERENTIALS OF GREATER THAN 6" WITHIN 200 FEET OF THE LOT LINES, UNLESS APPROVED BY THE CITY OF CLOVIS DEVELOPMENT DEPARTMENT.

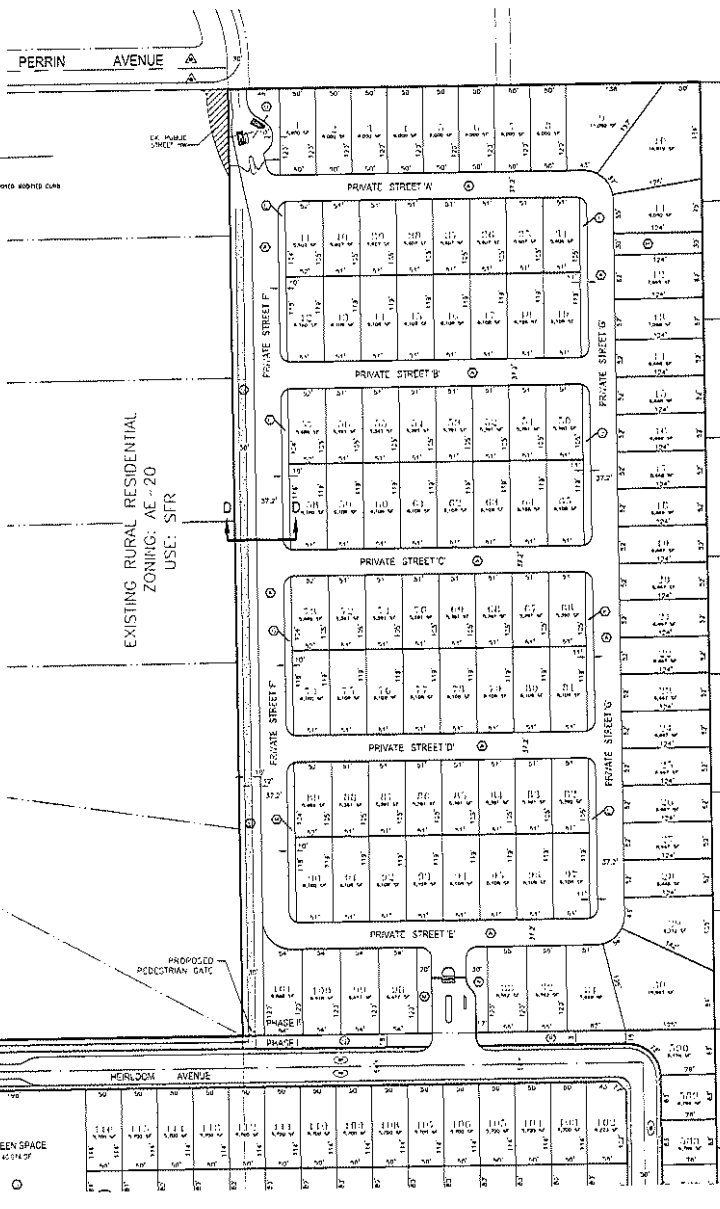
EXISTING BUILDINGS EXISTING BUILDINGS TO BE REMOVED	SOURCE OF GAS PG&E
EXISTING TREES SAYING TREE TO BE REMOVED	SOURCE OF CABLE TV FONTS&C
EXISTING USE RESIDENTIAL AND ORNAMENTAL	SOURCE OF TELEPHONE AT&T
EXISTING ZONING R-1	ASSESSOR'S PARCEL NUMBER 557-021-19, 557-021-20 & 557-021-21
PROPOSED ZONING R-1 & M-1-LAB	SITE AREA 17.65 AC (768,923) 72.37 AC (NCT)
PROPOSED USE SINGLE FAMILY RESIDENTIAL SUBDIVISION	NUMBER OF LOTS 800 LOTS & 12 OUTLOTS
SOURCE OF WATER CITY OF CLOVIS	DENSITY 7.77 DENSITY
SOURCE OF SEWAGE DISPOSAL CITY OF CLOVIS	AVERAGE LOT SIZE 3,363.27
SOURCE OF WASTE DISPOSAL CITY OF CLOVIS	OUTLOT SCHEDULE
SOURCE OF ELECTRICITY PG&E	• OUTLOTS A, B, & C ARE FOR PRIVATE ROAD & PUBLIC UTILITY PURPOSES.
OPEN SPACE: REQUIRED = 1.65 ACRES PROVIDED = 4.32 ACRES	• OUTLOTS D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE, LANDSCAPE & PUBLIC UTILITY PURPOSES.

TENTATIVE SUBDIVISION MAP	
Great Sigland, L.P.	
	RECORD
SHEET NO. 1 OF 4	DATE 11/20/23

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA

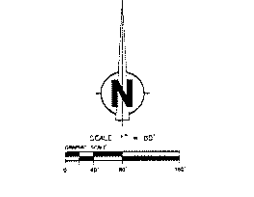


EXISTING RURAL RESIDENTIAL
ZONING: AE-20
USE: SFR



- EXISTING BUILDINGS
NOT TO BE REMOVED
- EXISTING TREES
NOT TO BE REMOVED
- EXISTING USE
RURAL RESIDENTIAL AND OPEN SPACE
- EXISTING ZONING
AE-20
- PROPOSED ZONING
RUE-20 (RUE)
- PROPOSED USE
SINGLE-FAMILY RESIDENTIAL SUBDIVISION
- SOURCE OF WATER
CITY OF CLOVIS
- SOURCE OF SEWAGE DISPOSAL
CITY OF CLOVIS
- SOURCE OF WASTE DISPOSAL
CITY OF CLOVIS
- SOURCE OF ELECTRICITY
CAL
- OPEN SPACE
REQUIRED - 1.122 ACRES
PROVIDED - 0.2 ACRES
- SOURCE OF GAS
PUEBLO
- SOURCE OF CABLE T.V.
COMCAST
- SOURCE OF TELEPHONE
AT&T
- ASSESSOR'S PARCEL NUMBER
007-021-19, 007-021-20 & 007-021-21
- SITE AREA
77.99 AC (69022)
72.37 AC (NET)
- NUMBER OF LOTS
602 LOTS & 22 OUTLOTS
- DENSITY
7.77 DU/AC
- AVERAGE LOT SIZE
1.302 SF
- OUTLOT SCHEDULE
- OUTLOT A, B, C & D ARE FOR PRIVATE ROAD & PUBLIC UTILITY PURPOSES
 - OUTLOT E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES
 - OUTLOT AA, BB, CC, DD, EE, FF, GG, HH, II, JJ, KK, LL, MM, NN, OO, PP, QQ, RR, SS, TT, UU, VV, WW, XX, YY, ZZ ARE FOR PRIVATE LANDSCAPE, PRIVATE PEDESTRIAN & PUBLIC UTILITY PURPOSES
 - OUTLOT AAA, BBB, CCC, DDD, EEE, FFF, GGG, HHH, III, JJJ, KKK, LLL, MMM, NNN, OOO, PPP, QQQ, RRR, SSS, TTT, UUU, VVV, WWW, XXX, YYY, ZZZ ARE FOR PRIVATE LANDSCAPE, PRIVATE PEDESTRIAN & PUBLIC UTILITY PURPOSES
 - OUTLOT AAAA, BBBB, CCCC, DDDD, EEEE, FFFF, GGGG, HHHH, IIII, JJJJ, KKKK, LLLL, MMMM, NNNN, OOOO, PPPP, QQQQ, RRRR, SSSS, TTTT, UUUU, VVVV, WWWW, XXXX, YYYY, ZZZZ ARE FOR PRIVATE LANDSCAPE, PRIVATE PEDESTRIAN & PUBLIC UTILITY PURPOSES
 - OUTLOT AAAAA, BBBBB, CCCCC, DDDDD, EEEEE, FFFFF, GGGGG, HHHHH, IIIII, JJJJJ, KKKKK, LLLLL, MMMMM, NNNNN, OOOOO, PPPPP, QQQQQ, RRRRR, SSSSS, TTTTT, UUUUU, VVVVV, WWWW, XXXX, YYYY, ZZZZ ARE FOR PRIVATE LANDSCAPE, PRIVATE PEDESTRIAN & PUBLIC UTILITY PURPOSES

- LEGEND:
- ADDED STREETS PROPOSEDLY DEDICATED FOR PUBLIC USE
 - PUBLIC STREET ELEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - PUBLIC STREET ELEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - OUTLOT IDENTIFIED
 - FLOORING
 - 0.75% TO 1.0% SLOPED SECTION



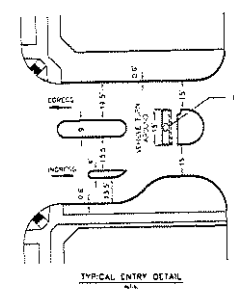
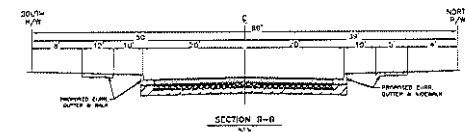
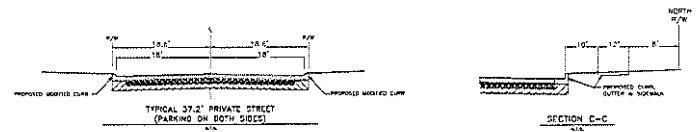
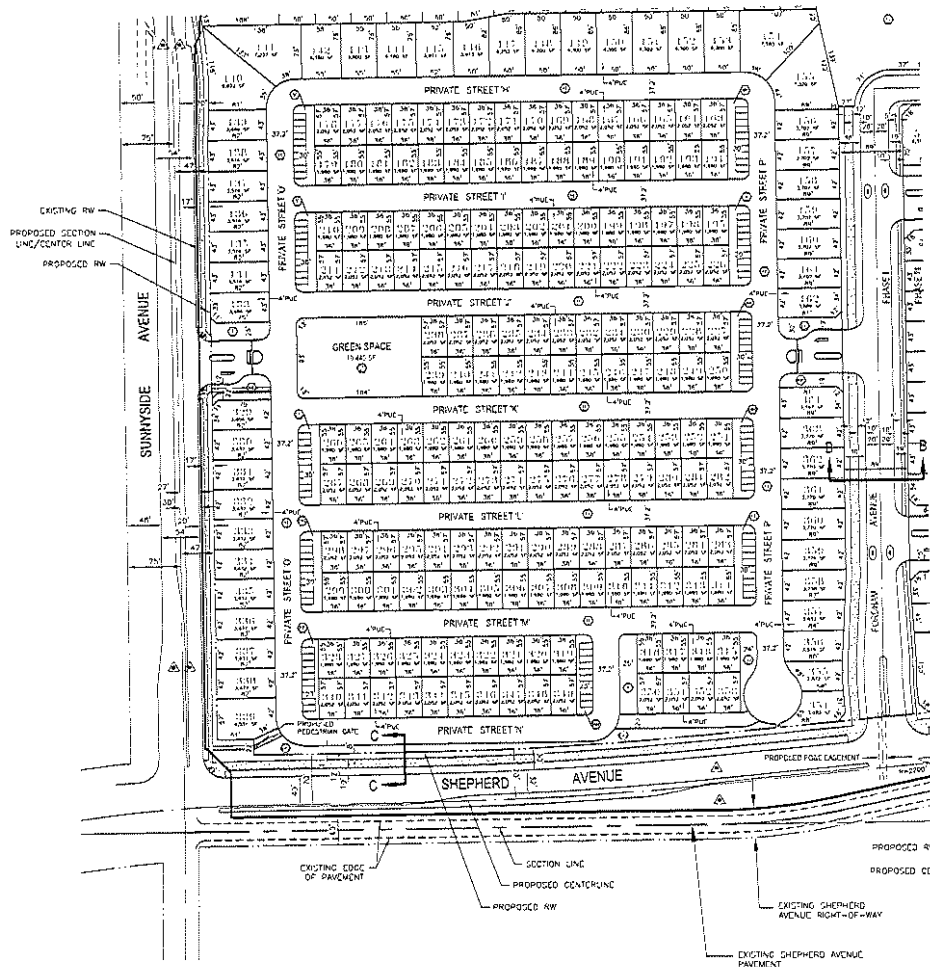
TM6205 - NORTH

Groat Buildings, L.P.

Harbort & Associates
Civil Engineers
2300 West Avenue, Suite 100, Clovis, CA 93611
(509) 325-1234

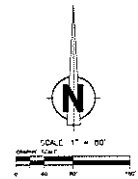
DATE	SCALE	OWNER	SHEET NO.
			2
			4

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
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FRESNO COUNTY, CALIFORNIA



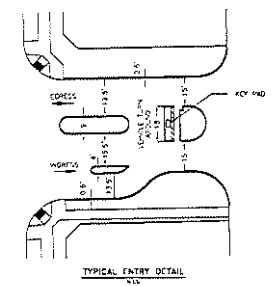
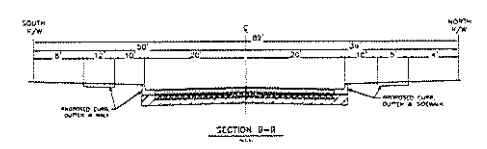
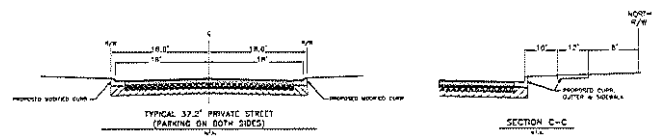
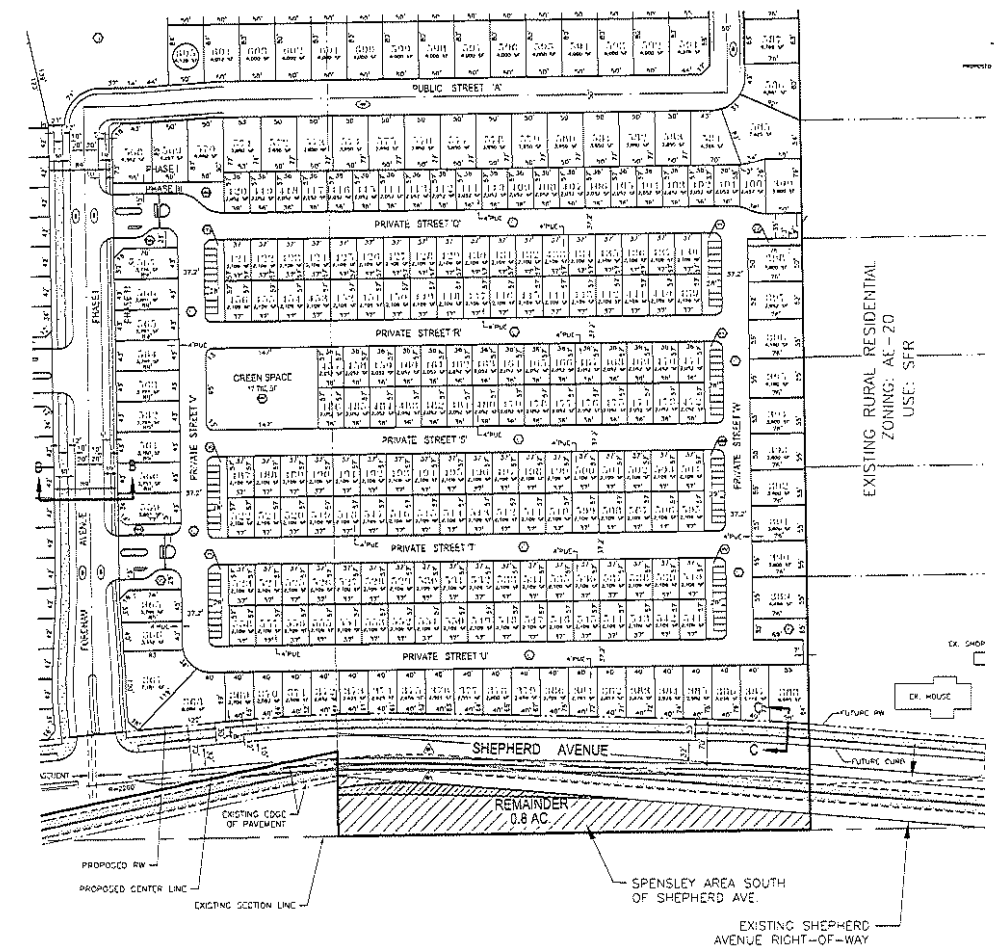
- LEGEND:**
- ⊕ INDICATES STREETS PREVIOUSLY DESIGNATED FOR PUBLIC USE
 - ⊙ PUBLIC STREET (EASEMENT) NEW OFFERED FOR DESIGNATION FOR PUBLIC USE
 - ⊙ PUBLIC DRIVEWAY (EASEMENT) NEW OFFERED FOR DESIGNATION FOR PUBLIC USE
 - ⊙ OUTLET DEVELOPER
 - ▭ FLOORING

- EXISTING BUILDINGS
- EXISTING TREES
- EXISTING USE
- EXISTING ZONING
- PROPOSED ZONING
- PROPOSED USE
- SOURCE OF WATER
- SOURCE OF SEWAGE DISPOSAL
- SOURCE OF WASTE DISPOSAL
- SOURCE OF ELECTRICITY
- OPEN SPACE:
- SOURCE OF GAS
- SOURCE OF CABLE T.V.
- SOURCE OF TELEPHONE
- ASSESSOR'S PARCEL NUMBER
- SITE AREA
- NUMBER OF LOTS
- DENSITY
- AVERAGE LOT SIZE
- OUTLOT SCHEDULE



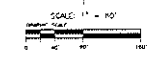
TM6205 - SOUTHWEST	
Great Bigland, L.P.	
 MapInfo & Associates 2100 Greenway Blvd., Suite 110, Clovis, CA 93240 (559) 299-7979	REVISION SHEET NO. 3 OF 4
DATE: 4-14-23	DRAWN BY: [Name]

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA



- EXISTING BUILDINGS
EXISTING BUILDINGS TO BE REMOVED
- EXISTING TREES
EXISTING TREES TO BE REMOVED
- EXISTING USE
RURAL RESIDENTIAL AND HIGHWAY
- EXISTING ZONING
AE-20
- PROPOSED ZONING
AE-20
- PROPOSED USE
SINGLE FAMILY RESIDENTIAL SUBDIVISION
- SOURCE OF WATER
CITY OF CLOVIS
- SOURCE OF SEWAGE DISPOSAL
CITY OF CLOVIS
- SOURCE OF WASTE DISPOSAL
CITY OF CLOVIS
- SOURCE OF ELECTRICITY
PSC&S
- OPEN SPACE
REQUIRED = 1.02 ACRES
PROVIDED = 0.82 ACRES
- SOURCE OF GAS
PSC&S
- SOURCE OF CABLE TV
SBCOMCAST
- SOURCE OF TELEPHONE
SBCOMCAST
- ASSESSOR'S PARCEL NUMBER
207-021-110, 207-021-20 & 207-021-21
- SITE AREA
72.96 AC (509222)
72.37 AC (509222)
- NUMBER OF LOTS
820 LOTS @ 32 GRADUOS
- DENSITY
7.77 D/AC
- AVERAGE LOT SIZE
2.96 AC

- LEGEND:**
- ▲ INDICATES STREET PROPOSED FOR PUBLIC USE
 - PUBLIC STREET SEWERAGE NOW OFFERED FOR DESIGNATION FOR PUBLIC USE
 - PUBLIC UTILITY GASLINE NOW OFFERED FOR DESIGNATION FOR PUBLIC USE
 - ⊙ QUILITY OCCUPY



TM6205 - SOUTHEAST	
Great Bigland, L.P.	
715 W. UNIVERSITY AVENUE, SUITE 200 SANTA ANA, CALIFORNIA 92705	
 Hanson & Associates Engineers 21404 Canyon Blvd., Suite 200, Denver, Colorado 80222 303-751-5555, FAX 303-751-5555 www.hansonandassociates.com	PERSON SHEET NO. 4 OF 4
DATE: 4-14-23	SCALE: 1" = 40'



City of Clovis
 Department of Planning and Development Services
 CITY HALL - 1033 Fifth Street - Clovis, CA 93612

Distribution Date: **7/25/2023**

PLANNING APPLICATION REQUEST FOR COMMENTS

Project Manager - George Gonzalez, MPA, Senior Planner

PLEASE ROUTE TO:

- | | |
|--|---|
| (In House) | (Out-of-House) |
| <input checked="" type="checkbox"/> Planning Division | <input checked="" type="checkbox"/> Fresno Irrigation District |
| <input checked="" type="checkbox"/> Building Division | <input checked="" type="checkbox"/> Fresno Metropolitan Flood Control Dist. |
| <input checked="" type="checkbox"/> Engineering Division | <input checked="" type="checkbox"/> Pacific Gas & Electric |
| <input checked="" type="checkbox"/> Utilities Division | <input checked="" type="checkbox"/> AT&T |
| <input checked="" type="checkbox"/> Solid Waste Division | <input checked="" type="checkbox"/> Clovis Unified School District |
| <input checked="" type="checkbox"/> Fire Department | <input checked="" type="checkbox"/> Cal Trans |
| <input checked="" type="checkbox"/> Police Department | <input checked="" type="checkbox"/> SJV Unified Air Pollution Control Dist. |
| <input checked="" type="checkbox"/> City Landscape Cor | <input checked="" type="checkbox"/> State of California Department of Fish and Game |
| <input checked="" type="checkbox"/> Legal Description Review | <input checked="" type="checkbox"/> LAFCO (when annexation is involved) |
| <input type="checkbox"/> Other (Specify) | <input checked="" type="checkbox"/> County of Fresno Development |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Fresno County Environmental Health |

Item(s): **Sphere of Influence Expansion** Location: **North side of Shepherd Avenue, between N. Sunnyside & N. Fowler Ave.**

APN: Multiple Zoning: AL20, RR General Plan: LD Res. & Rural Res. RHNA Site: _____

Name of Applicant: Great Bigland, LP -Jeff Harris Phone/Email: (559)224-7550/jharris@wilsondevelopment.com

Applicant Address: 7550 N. Palm Avenue, #102 City: Fresno State: CA Zip: 93711

Previously Reviewed Under DRC: DRC2022-013 Or Other Entitlement: _____

Project Description: Sphere of Influence (SOI) Expansion; A request to expand the City's Sphere of Influence (SOI) to include approximately 155 acres of land located on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues. This request is being processed concurrently with RO307, GPA2021-005, GPA2021-006, R2021-009, PDP2021-004, and TM6205.

This item is tentatively scheduled for a public hearing to be consCity Council.
 The attached information is circulated for your comments. Please attach your comments and recommendations condition form and return to the project mana 8/15/2023

Please check one below:
 No Comments Comments e-mailed or saved on: _____

RECOMMENDED CONDITIONS: Please draft conditions in final form that are acceptable to your departmen They must be legible. Please phrase positively and clearly:

GOOD EXAMPLE: "1. Prior to occupancy, the developer shall install all landscaping as per the approved

POOR EXAMPLE: "1. Install landscaping."

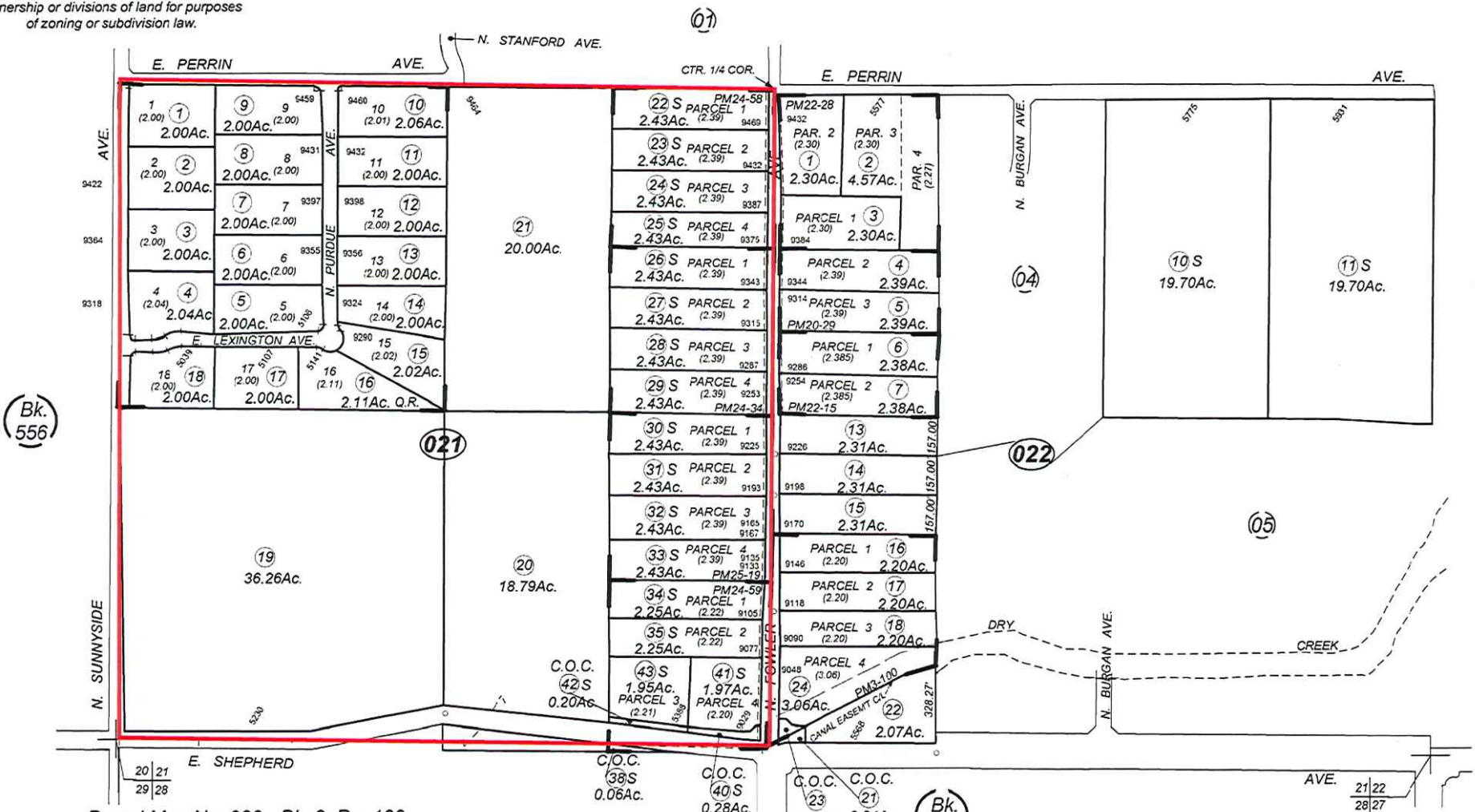
REVIEWED BY (please sign) _____

PLEASE RETURN TO:
 George Gonzalez, MPA, Senior Planner
 Planning and Development Services Dept.
 1033 Fifth St., Clovis, CA 93612
 Phone: 324-2383 Fax: 324-2866

SUBDIVIDED LAND IN POR. SEC. 21, T. 12 S., R. 21 E., M.D.B. & M.

Tax Rate Area 557-02
76-045

-NOTE-
This map is for Assessment purposes only.
It is not to be construed as portraying legal
ownership or divisions of land for purposes
of zoning or subdivision law.



- Parcel Map No. 930 - Bk. 3, Pg. 100
- Parcel Map No. 2849 - Bk. 20, Pg. 29
- Parcel Map No. 3373 - Bk. 22, Pg. 15
- Parcel Map No. 3372 - Bk. 22, Pg. 28
- Parcel Map No. 3654 - Bk. 24, Pg. 34
- Parcel Map No. 3650 - Bk. 24, Pg. 58
- Parcel Map No. 3637 - Bk. 24, Pg. 59

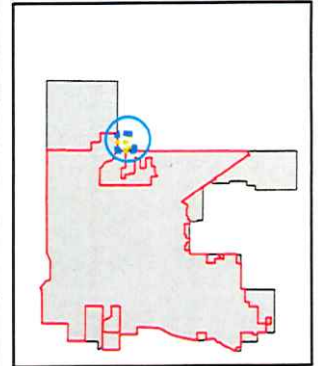
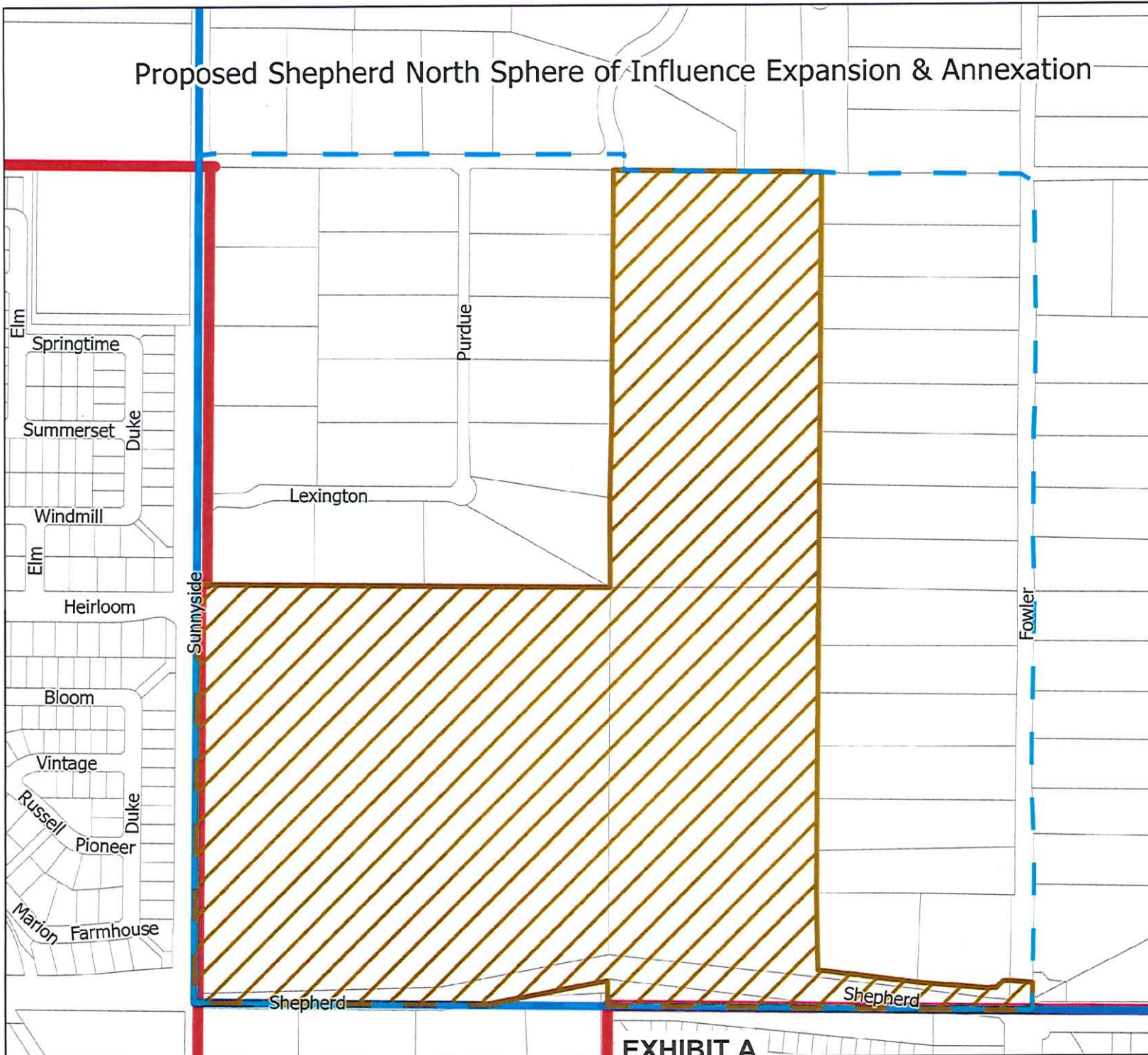
- Parcel Map No. 3640 - Bk. 25, Pg. 19
- Quail Run - Tract No. 3286 - Plat Bk. 37, Pg. 88

C.O.C. = CITY OF CLOVIS

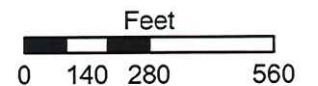
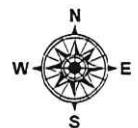
Assessor's Map Bk. 557 - Pg. 02
County of Fresno, Calif.

Note - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

Proposed Shepherd North Sphere of Influence Expansion & Annexation



- █ City Limits
- █ Sphere of Influence
- Proposed Boundaries**
- Annexation
- █ Sphere of Influence Expansion





City of Clovis
 Department of Planning and Development Services
 CITY HALL - 1033 Fifth Street - Clovis, CA 93612

Distribution Date: **7/25/2023**

PLANNING APPLICATION REQUEST FOR COMMENTS
Project Manager - George Gonzalez, MPA, Senior Planner

PLEASE ROUTE TO:

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| <input checked="" type="checkbox"/> Engineering Divisic | <input checked="" type="checkbox"/> Pacific Gas & Electric |
| <input checked="" type="checkbox"/> Utilities Division | <input checked="" type="checkbox"/> AT&T |
| <input checked="" type="checkbox"/> Solid Waste Divisic | <input checked="" type="checkbox"/> Clovis Unified School District |
| <input checked="" type="checkbox"/> Fire Department | <input checked="" type="checkbox"/> Cal Trans |
| <input checked="" type="checkbox"/> Police Department | <input checked="" type="checkbox"/> SJV Unified Air Pollution Control Dist. |
| <input checked="" type="checkbox"/> City Landscape Cor | <input checked="" type="checkbox"/> State of California Department of Fish and Game |
| <input checked="" type="checkbox"/> Legal Description Review | <input checked="" type="checkbox"/> LAFCO (when annexation is involved) |
| <input type="checkbox"/> Other (Specify) | <input checked="" type="checkbox"/> County of Fresno Development |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Fresno County Environmental Health |

Item(s): RO307 Location: North side of Shepherd Avenue, between N. Sunnyside & N. Fowler Ave.

APN: Multiple Zoning: County AL20 General Plan: Clovis Rural Res. RHNA Site: _____

Name of Applicant: Great Bigland, LP -Jeff Harris Phone/Email: (559)224-7550/jharris@wilsondevelopment.com

Applicant Address: 7550 N. Palm Avenue, #102 City: Fresno State: CA Zip: 93711

Previously Reviewed Under DRC: DRC2022-013 Or Other Entitlement: _____

Project Description: RO307; A Resolution of Application for the Annexation (approximately 77 acres) of the Territory known as the Shepherd-Sunnyside Northeast Reorganization. This request is being processed concurrently with SOI Expansion, GPA2021-005, GPA2021-006, R2021-009, PDP2021-004, and TM6205.

This item is tentatively scheduled for a public hearing to be consCity Council.
 The attached information is circulated for your comments. Please attach your comments and recommendations condition form and return to the project mana 8/15/2023

Please check one below:
 No Comments Comments e-mailed or saved on: _____

RECOMMENDED CONDITIONS: Please draft conditions in final form that are acceptable to your departmen They must be legible. Please phrase positively and clearly:

GOOD EXAMPLE: "1. Prior to occupancy, the developer shall install all landscaping as per the approved

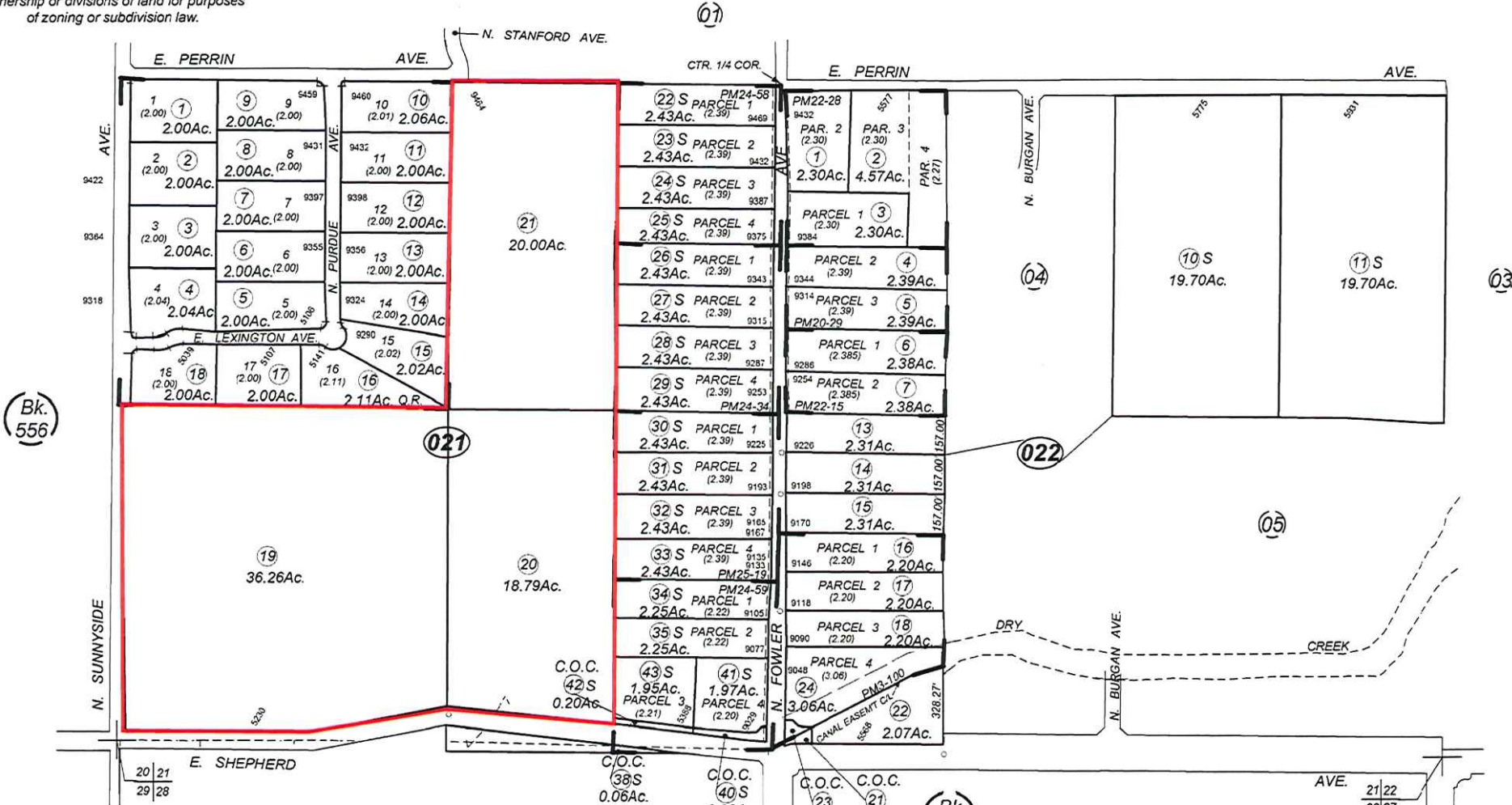
POOR EXAMPLE: "1. Install landscaping."

REVIEWED BY (please sign) _____

PLEASE RETURN TO:
 George Gonzalez, MPA, Senior Planner
 Planning and Development Services Dept.
 1033 Fifth St., Clovis, CA 93612
 Phone: 324-2383 Fax: 324-2866

SUBDIVIDED LAND IN POR. SEC. 21, T. 12 S., R. 21 E., M.D.B. & M.

-NOTE-
This map is for Assessment purposes only.
It is not to be construed as portraying legal
ownership or divisions of land for purposes
of zoning or subdivision law.



- Parcel Map No. 930 - Bk. 3, Pg. 100
- Parcel Map No. 2849 - Bk. 20, Pg. 29
- Parcel Map No. 3373 - Bk. 22, Pg. 15
- Parcel Map No. 3372 - Bk. 22, Pg. 28
- Parcel Map No. 3654 - Bk. 24, Pg. 34
- Parcel Map No. 3650 - Bk. 24, Pg. 58
- Parcel Map No. 3637 - Bk. 24, Pg. 59

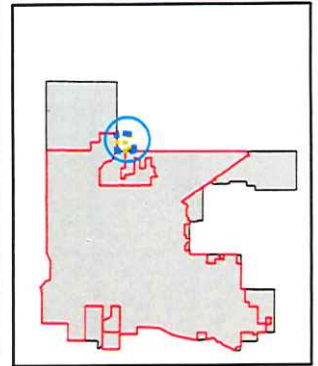
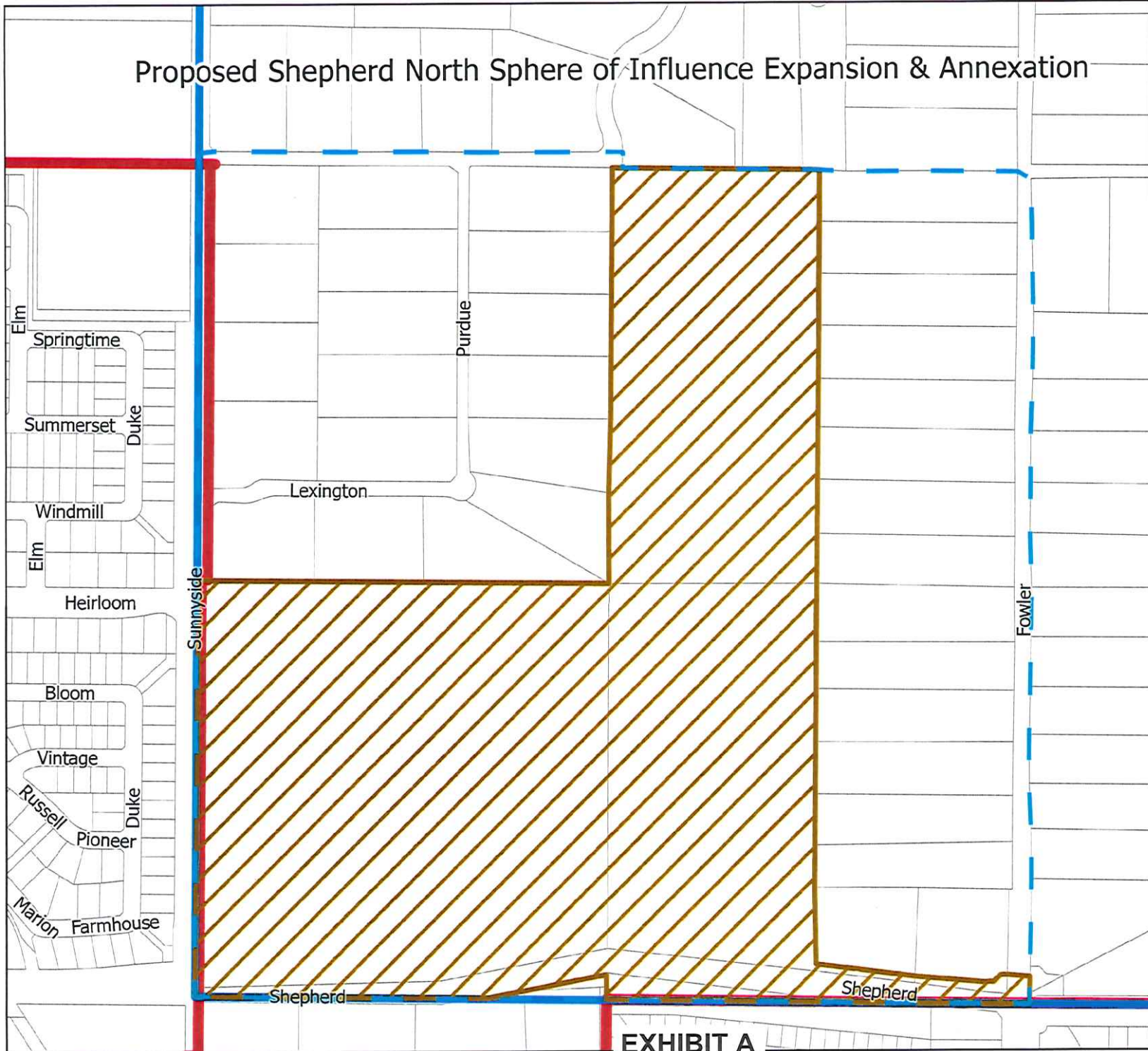
- Parcel Map No. 3640 - Bk. 25, Pg. 19
- Quail Run - Tract No. 3286 - Plat Bk. 37, Pg. 88

C.O.C. = CITY OF CLOVIS

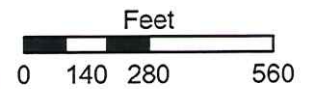
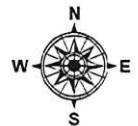
Assessor's Map Bk. 557 - Pg. 02
County of Fresno, Calif.

Note - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

Proposed Shepherd North Sphere of Influence Expansion & Annexation



- █ City Limits
- █ Sphere of Influence
- Proposed Boundaries**
- Annexation
- - - Sphere of Influence Expansion





City of Clovis
 Department of Planning and Development Services
 CITY HALL - 1033 Fifth Street - Clovis, CA 93612

Distribution Date: **7/25/2023**

PLANNING APPLICATION REQUEST FOR COMMENTS
Project Manager - George Gonzalez, MPA, Senior Planner

PLEASE ROUTE TO:

- | | |
|--|---|
| (In House) | (Out-of-House) |
| <input checked="" type="checkbox"/> Planning Division | <input checked="" type="checkbox"/> Fresno Irrigation District |
| <input checked="" type="checkbox"/> Building Division | <input checked="" type="checkbox"/> Fresno Metropolitan Flood Control Dist. |
| <input checked="" type="checkbox"/> Engineering Divisor | <input checked="" type="checkbox"/> Pacific Gas & Electric |
| <input checked="" type="checkbox"/> Utilities Division | <input checked="" type="checkbox"/> AT&T |
| <input checked="" type="checkbox"/> Solid Waste Divisor | <input checked="" type="checkbox"/> Clovis Unified School District |
| <input checked="" type="checkbox"/> Fire Department | <input checked="" type="checkbox"/> Cal Trans |
| <input checked="" type="checkbox"/> Police Department | <input checked="" type="checkbox"/> SJV Unified Air Pollution Control Dist. |
| <input checked="" type="checkbox"/> City Landscape Com | <input checked="" type="checkbox"/> State of California Department of Fish and Game |
| <input checked="" type="checkbox"/> Legal Description Review | <input checked="" type="checkbox"/> LAFCO (when annexation is involved) |
| <input type="checkbox"/> Other (Specify) | <input checked="" type="checkbox"/> County of Fresno Development |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Fresno County Environmental Health |

Item(s): GPA2021-005 Location: North side of Shepherd Avenue, between N. Sunnyside & N. Fowler Ave.

APN: Multiple Zoning: County AL20 General Plan: Clovis Rural Res. RHNA Site: _____

Name of Applicant: Great Bigland, LP -Jeff Harris Phone/Email: (559)224-7550/jharris@wilsondevelopment.com

Applicant Address: 7550 N. Palm Avenue, #102 City: Fresno State: CA Zip: 93711

Previously Reviewed Under DRC: DRC2022-013 Or Other Entitlement: _____

Project Description: GPA2021-005; A request to amend the General Plan for the Development Area (approx. 77 acres) from the Rural Residential land use designation to the Medium-High Density Residential land use designation. This request is being processed concurrently with SOI Expansion, RO307, GPA2021-006, R2021-009, PDP2021-004, and TM6205.

This item is tentatively scheduled for a public hearing to be consi City Council.
 The attached information is circulated for your comments. Please attach your comments and recommendations i
 condition form and return to the project manag 8/15/2023

Please check one below:

- No Comments Comments e-mailed or saved on: _____

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GOOD EXAMPLE: "1. Prior to occupancy, the developer shall install all landscaping as per the approved

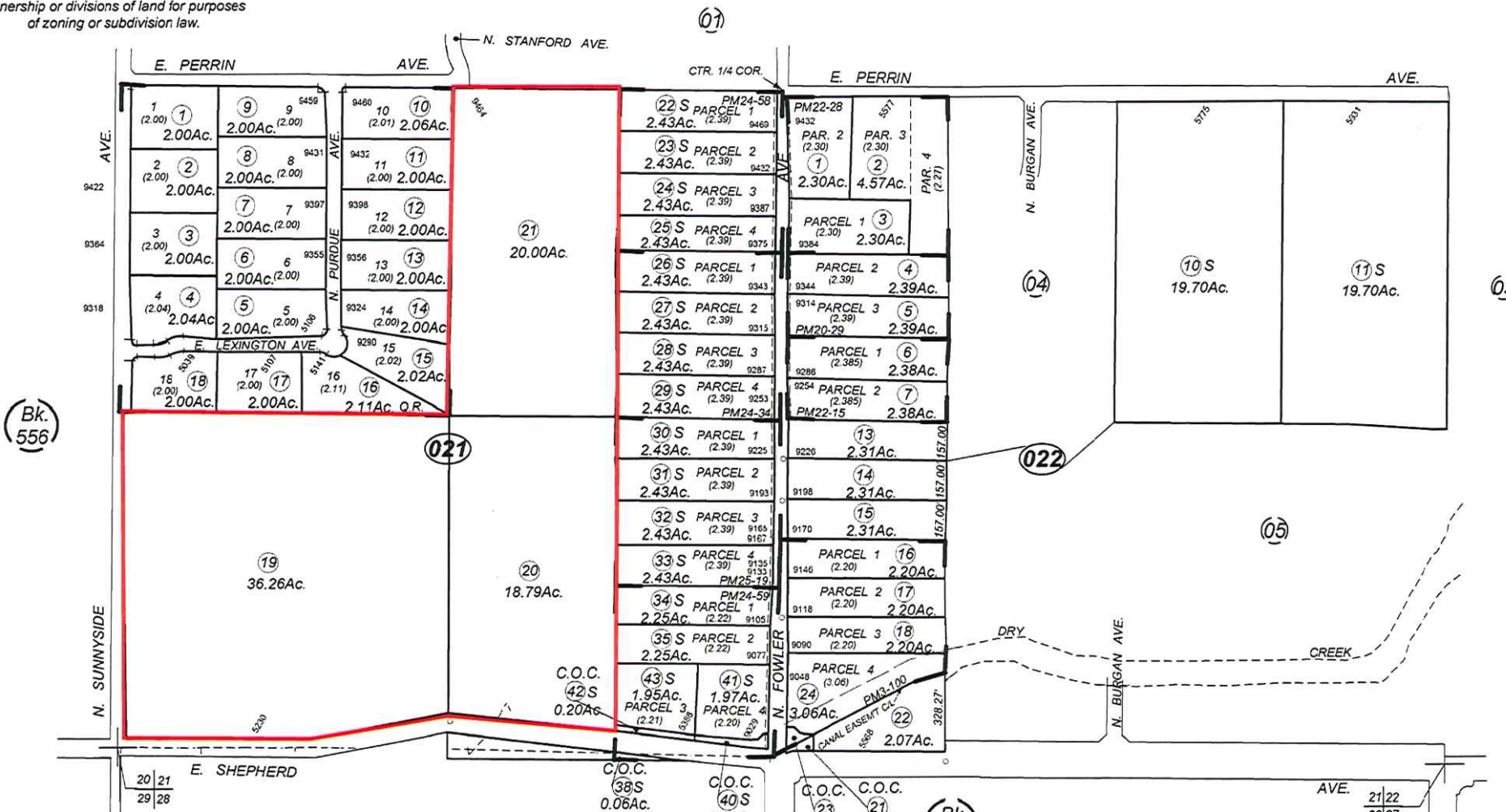
POOR EXAMPLE: "1. Install landscaping."

REVIEWED BY (please sign): _____

PLEASE RETURN TO:
 George Gonzalez, MPA, Senior Planner
 Planning and Development Services Dept.
 1033 Fifth St., Clovis, CA 93612
 Phone: 324-2383 Fax: 324-2866

-NOTE-
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SUBDIVIDED LAND IN POR. SEC. 21, T. 12 S., R. 21 E., M.D.B. & M.



(Bk. 556)

(Bk. 559)

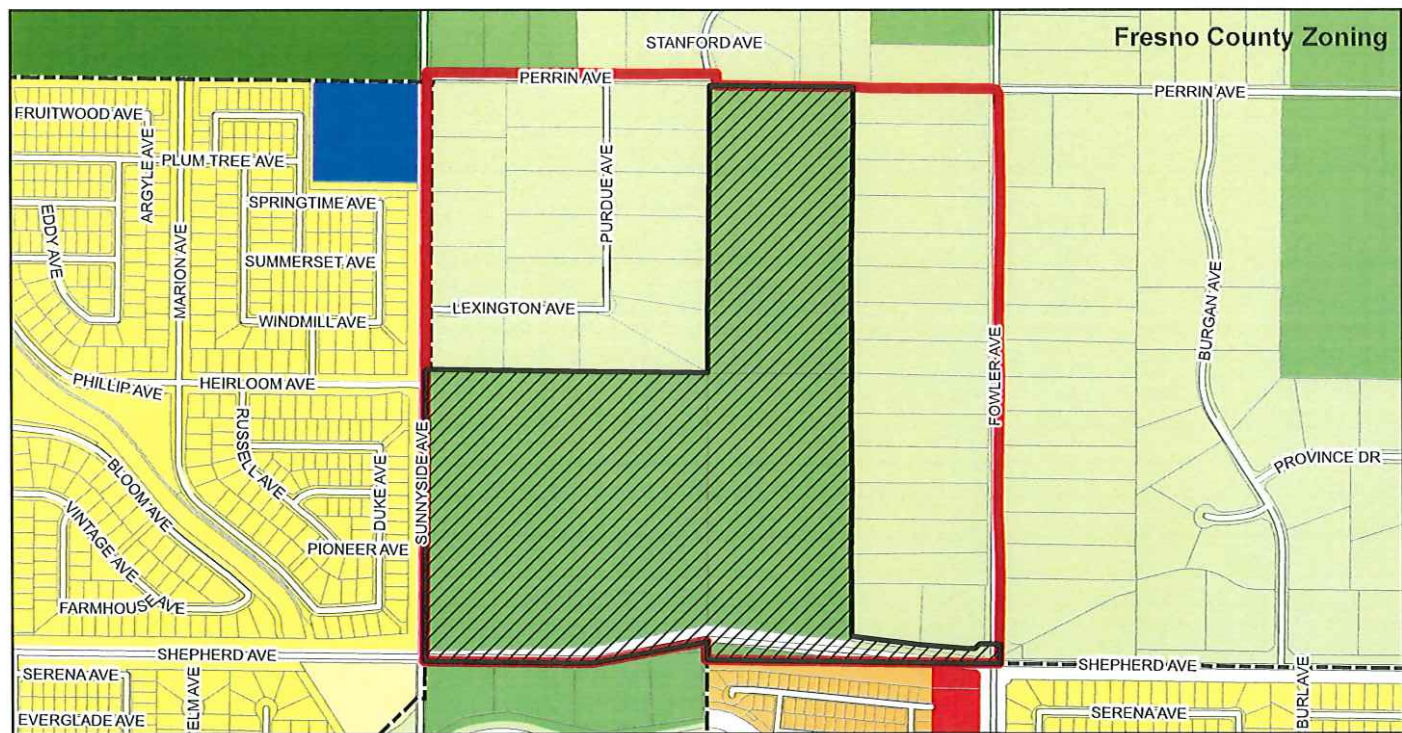
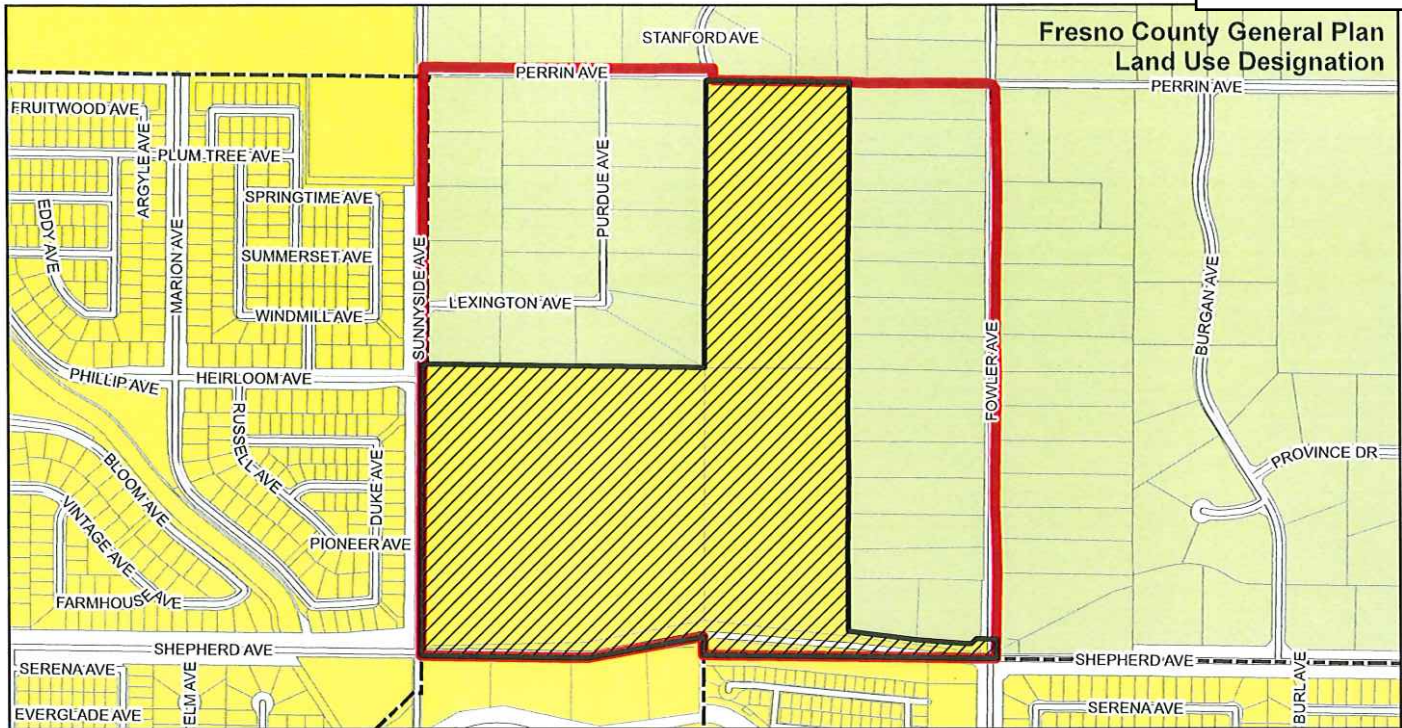
- Parcel Map No. 930 - Bk. 3, Pg. 100
- Parcel Map No. 2849 - Bk. 20, Pg. 29
- Parcel Map No. 3373 - Bk. 22, Pg. 15
- Parcel Map No. 3372 - Bk. 22, Pg. 28
- Parcel Map No. 3654 - Bk. 24, Pg. 34
- Parcel Map No. 3650 - Bk. 24, Pg. 58
- Parcel Map No. 3637 - Bk. 24, Pg. 59

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- Quail Run - Tract No. 3286 - Plat Bk. 37, Pg. 88

C.O.C. = CITY OF CLOVIS

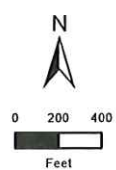
Assessor's Map Bk. 557 - Pg. 02
County of Fresno, Calif.

Note - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles



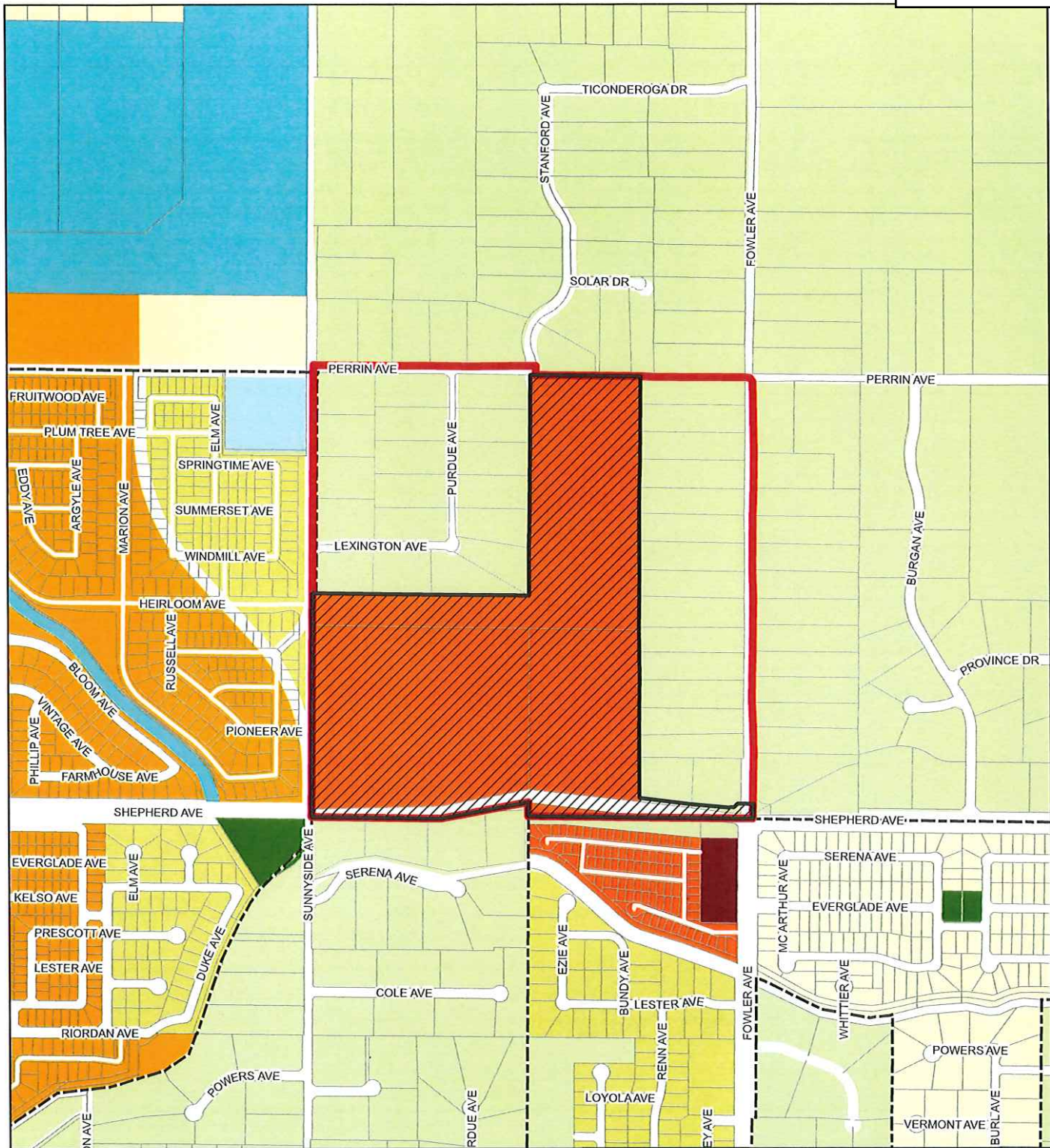
LEGEND

- Project Boundary
- Development Area
- Clovis City Limits
- Fresno County General Plan Land Use**
- Rural Residential
- Low Density Residential
- Fresno County Zoning**
- AE20
- AL20
- C-2
- P-F
- R-1
- R-1-7500
- R-1-PRD
- R-2
- R-A
- RR



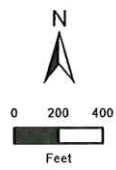
SHEPHERD NORTH PROJECT

Figure 2.0-8. Fresno County General Plan Land Use and Zoning Designations



LEGEND

- Project Boundary
- Development Area
- Clovis City Limits
- City of Clovis General Plan Land Use**
- RR: Rural Residential
- VL: Very Low Density Residential
- L: Low Density Residential
- M: Medium Density Residential
- MH: Medium High Density Residential
- GC: General Commercial
- P: Public/Quasi-Public Facilities
- PK: Park
- W: Water



SHEPHERD NORTH PROJECT

Figure 2.0-9. Proposed General Plan Land Use Designations

Approved by Council on 11/18/14, Agenda Item 13.1



City of Clovis
 Department of Planning and Development Services
 CITY HALL - 1033 Fifth Street - Clovis, CA 93612

Distribution Date: **7/25/2023**

PLANNING APPLICATION REQUEST FOR COMMENTS
Project Manager - George Gonzalez, MPA, Senior Planner

PLEASE ROUTE TO:

- | | |
|--|---|
| <p>(In House)</p> <input checked="" type="checkbox"/> Planning Division
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<input checked="" type="checkbox"/> Engineering Divisor
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<input type="checkbox"/> Other (Specify)
<input type="checkbox"/> | <p>(Out-of-House)</p> <input checked="" type="checkbox"/> Fresno Irrigation District
<input checked="" type="checkbox"/> Fresno Metropolitan Flood Control Dist.
<input checked="" type="checkbox"/> Pacific Gas & Electric
<input checked="" type="checkbox"/> AT&T
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<input checked="" type="checkbox"/> LAFCO (when annexation is involved)
<input checked="" type="checkbox"/> County of Fresno Development
<input checked="" type="checkbox"/> Fresno County Environmental Health |
|--|---|

Item(s): GPA2021-006 Location: North side of Shepherd Avenue, between N. Sunnyside & N. Fowler Ave.

APN: Multiple Zoning: County AL20 General Plan: Clovis Rural Res. RHNA Site: _____

Name of Applicant: Great Bigland, LP -Jeff Harris Phone/Email: (559)224-7550/jharris@wilsondevelopment.com

Applicant Address: 7550 N. Palm Avenue, #102 City: Fresno State: CA Zip: 93711

Previously Reviewed Under DRC: DRC2022-013 Or Other Entitlement: _____

Project Description: GPA2021-006; A request to amend the General Plan to allow for Shepherd Avenue access associated with TM6205. This request is being processed concurrently with SOI Expansion, RO307, GPA2021-005, R2021-009, PDP2021-004, and TM6205.

This item is tentatively scheduled for a public hearing to be consi City Council.
 The attached information is circulated for your comments. Please attach your comments and recommendations i
 condition form and return to the project mana_g 8/15/2023

Please check one below:
 No Comments Comments e-mailed or saved on: _____

RECOMMENDED CONDITIONS: Please draft conditions in final form that are acceptable to your department
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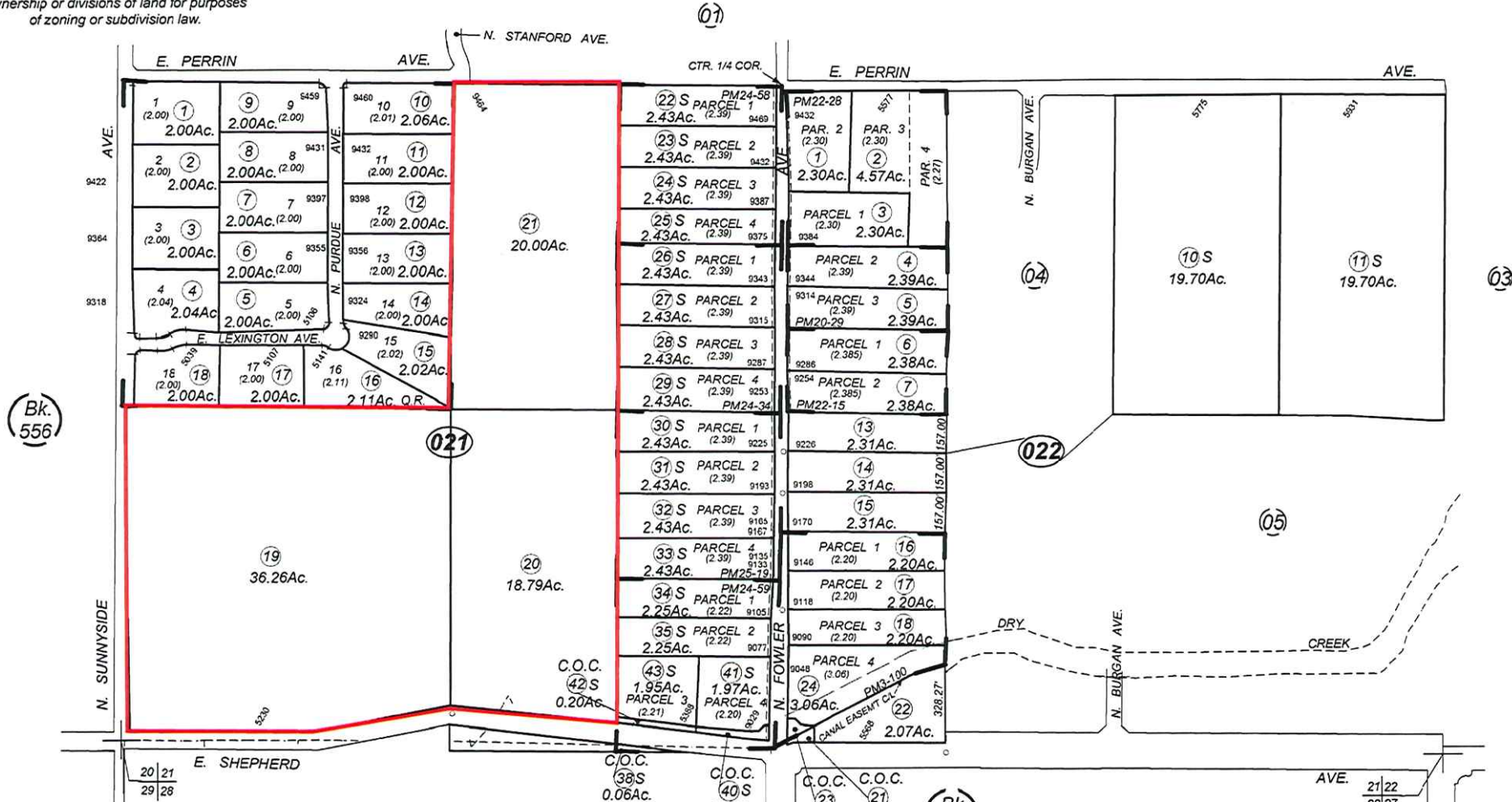
POOR EXAMPLE: "1. Install landscaping."

REVIEWED BY (please sign): _____

PLEASE RETURN TO:
 George Gonzalez, MPA, Senior Planner
 Planning and Development Services Dept.
 1033 Fifth St., Clovis, CA 93612
 Phone: 324-2383 Fax: 324-2866

SUBDIVIDED LAND IN POR. SEC. 21, T. 12 S., R. 21 E., M.D.B. & M.

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of zoning or subdivision law.



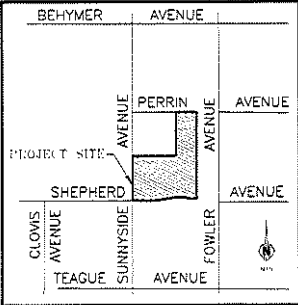
- Parcel Map No. 930 - Bk. 3, Pg. 100
- Parcel Map No. 2849 - Bk. 20, Pg. 29
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- Parcel Map No. 3640 - Bk. 25, Pg. 19
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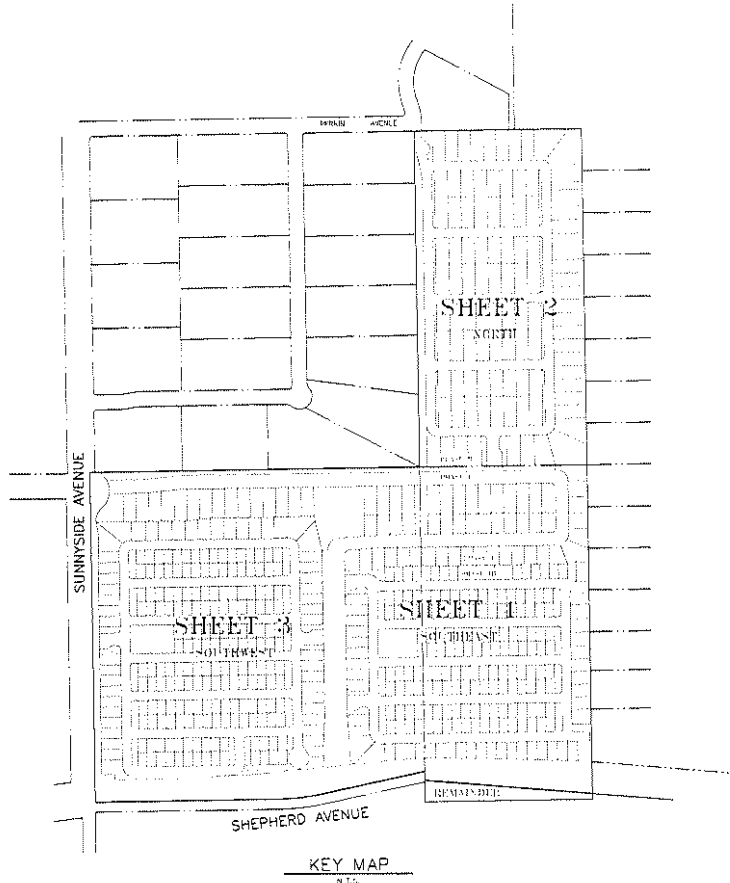
C.O.C. = CITY OF CLOVIS

Assessor's Map Bk. 557 - Pg. 02
County of Fresno, Calif.

Note - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles



VICINITY MAP
N.T.S.



KEY MAP
N.T.S.

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA

LEGAL DESCRIPTION:

APN: 557-021-20

THE SOUTHERLY HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 NORTH, RANGE 21 EAST, MOUNT SHILOH RANGE AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

APN: 557-021-19

THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 NORTH, RANGE 21 EAST, MOUNT SHILOH RANGE AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

EXCEPTING THEREFROM THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 NORTH, RANGE 21 EAST, MOUNT SHILOH RANGE AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF; THENCE NORTH 89°50'00" WEST, 547.24 FEET, ALONG THE SOUTHWEST LINE OF THE SOUTHWEST QUARTER OF SECTION 21, TO A POINT IN THE CONTINUAL OF SHEPHERD AVENUE WHICH IS SOUTH 89°50'00" WEST, 732.63 FEET FROM THE SOUTHWEST CORNER OF SECTION 21, THENCE SOUTHWEST ALONG THE CENTERLINE OF SHEPHERD AVENUE AS FOLLOWS:

ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 350 FEET, THROUGH A CENTER ANGLE OF 113°10'00", AN ARC DISTANCE OF 173.00 FEET THROUGH THE 110°00" EAST, 324.79 FEET, THENCE ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 350 FEET, THROUGH A CENTER ANGLE OF 113°10'00", AN ARC DISTANCE OF 173.00 FEET TO A POINT ON THE EASTERN LINE OF THE SOUTHWEST QUARTER OF SECTION 21, THENCE LEAVING THE CENTERLINE OF SHEPHERD AVENUE, SOUTH 89°50'00" WEST, 374.00 FEET, ALONG THE SOUTHWEST LINE OF THE SOUTHWEST QUARTER OF SECTION 21, TO THE POINT OF COMMENCEMENT.

APN: 557-021-21

THE NORTHERLY HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 NORTH, RANGE 21 EAST, MOUNT SHILOH RANGE AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

TOGETHER WITH AN EASEMENT FOR ROAD SURFACES OVER AND UNDER THE EAST 30 FEET OF THE SOUTHWEST HALF OF THE WEST HALF OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 12 NORTH, RANGE 21 EAST, MOUNT SHILOH RANGE AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

EXCEPTING THEREFROM THE RIGHT-OF-WAY GRANTED TO THE CITY OF CLOVIS FOR DEED DOCUMENT NUMBER 2022-0112258 RECORDED ON NOVEMBER 9, 2022.

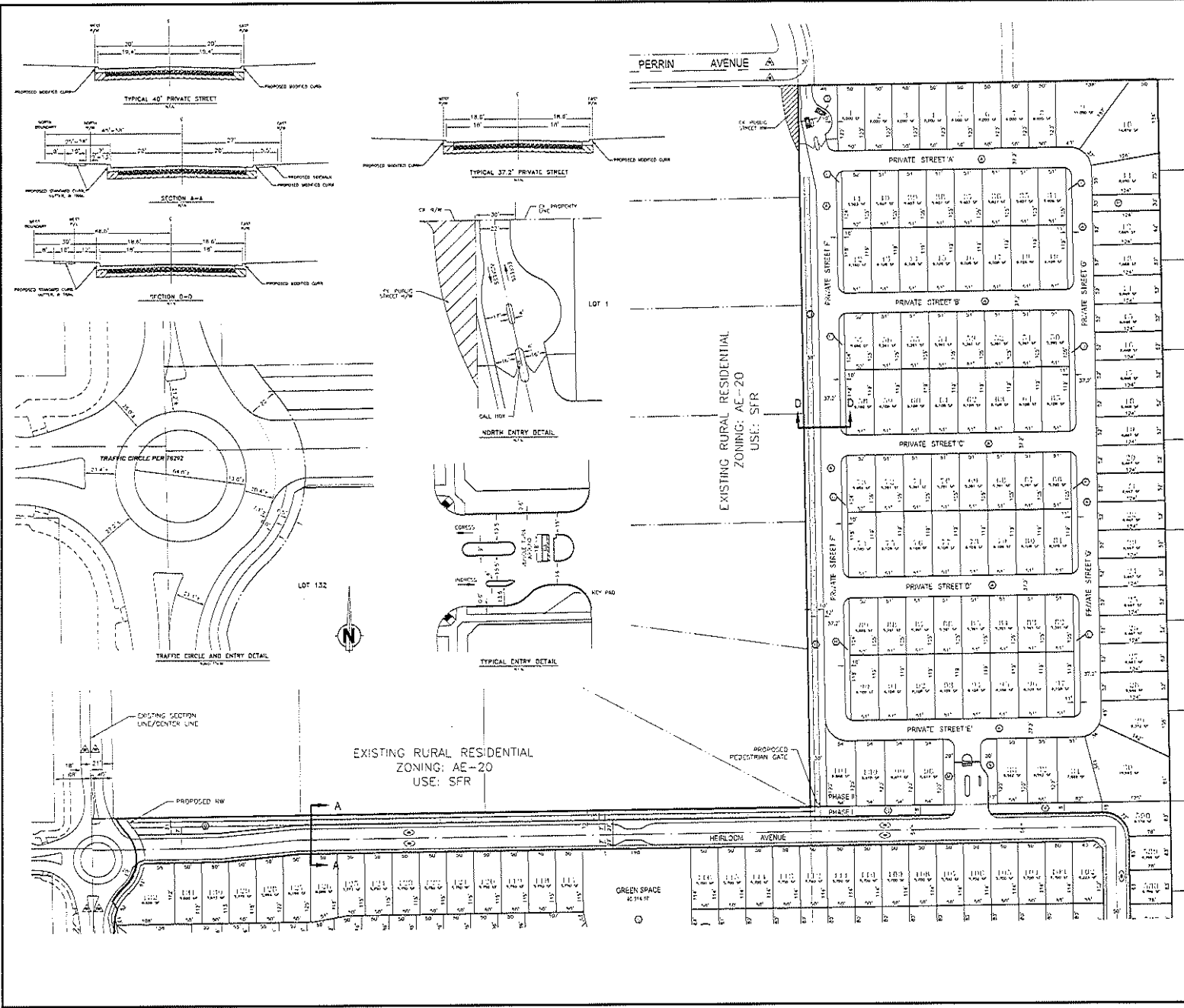
NOTES:

1. THIS AREA IS SUBJECT TO FLOODING & QUADREMAN AND FLOODING AN (S.W.A.S.).
2. ALL IMPROVEMENTS SHALL BE AS REQUIRED BY THE CITY OF CLOVIS, TO CITY STANDARDS AND SHALL INCLUDE SANITARY SEWER, DOMESTIC WATER, UNDERGROUND POWER, TELEPHONE, GAS, CONCRETE CURBS, GUTTERS, CULVERTS, PERMANENT STREET IMPROVEMENT STREET LIGHTS, ETC.
3. THERE SHALL BE NO GRADE DIFFERENTIALS OF GREATER THAN 0.75' WITHIN 200' FEET OF THE SITE UNLESS APPROVED BY THE CITY OF CLOVIS DEVELOPMENT DEPARTMENT.

EXISTING BUILDINGS EXISTING BUILDINGS TO BE REMOVED	SOURCE OF GAS PG&E
EXISTING TREES EXISTING TREES TO BE REMOVED	SOURCE OF CABLE T.V. SBCAST
EXISTING USE SINGLE RESIDENTIAL AND DRIVING	SOURCE OF TELEPHONE ATTN
EXISTING ZONING R-27	ASSESSOR'S PARCEL NUMBER 557-021-19, 557-021-20 & 557-021-21
PROPOSED ZONING R-1 & R-1.5-198	SITE AREA 77.89 AC (26653) 71.37 AC (NET)
PROPOSED USE SINGLE FAMILY RESIDENTIAL SUBDIVISION	NUMBER OF LOTS 100 LOTS & 32 OUTLOTS
SOURCE OF WATER CITY OF CLOVIS	DENSITY 7.77 DU/AC
SOURCE OF SEWAGE DISPOSAL CITY OF CLOVIS	AVERAGE LOT SIZE 7,822 SF
SOURCE OF WASTE DISPOSAL CITY OF CLOVIS	OUTLOT SCHEDULE
SOURCE OF ELECTRICITY PG&E	<ul style="list-style-type: none"> • OUTLOTS A, B, & C ARE FOR PRIVATE ROAD & PUBLIC UTILITY PURPOSES • OUTLOTS D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES • OUTLOT 1 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 2 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 3 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 4 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 5 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 6 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 7 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 8 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 9 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 10 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 11 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 12 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 13 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 14 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 15 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 16 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 17 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 18 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 19 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 20 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 21 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 22 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 23 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 24 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 25 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 26 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 27 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 28 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 29 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 30 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 31 IS FOR PRIVATE LANDSCAPE PURPOSES • OUTLOT 32 IS FOR PRIVATE LANDSCAPE PURPOSES
OPEN SPACE: PROVIDED = 1.03 AC/LOT PROVIDED = 4.32 AC/LOT	

TENTATIVE SUBDIVISION MAP		
PREPARED BY: Grant Bigland, L.P. 1000 S. GARDEN STREET, SUITE 100 FRESNO, CALIFORNIA 93701		
Horteur & Associates Corporation 1000 S. GARDEN STREET, SUITE 100 FRESNO, CALIFORNIA 93701 PHONE: 559-261-1234	PERSONS _____ _____ _____ _____ _____	SHEET NO. 1 OF 4
	DATE: 11/15/23	DRAWN BY: SMC

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA



EXISTING BUILDINGS
EXISTING BUILDINGS TO BE REMOVED

EXISTING TREES
TREES TO BE REMOVED

EXISTING USE
SINGLE-FAMILY RESIDENTIAL

EXISTING ZONING
AE-20

PROPOSED ZONING
AE-20

PROPOSED USE
SINGLE-FAMILY RESIDENTIAL

SOURCE OF WATER
CITY OF CLOVIS

SOURCE OF SEWAGE DISPOSAL
CITY OF CLOVIS

SOURCE OF WASTE DISPOSAL
CITY OF CLOVIS

SOURCE OF ELECTRICITY
PSC

OPEN SPACE:
REQUIRED - 1.18 ACRES
PROVIDED - 4.32 ACRES

SOURCE OF GAS
PSC

SOURCE OF CABLE T.V.
CITY OF CLOVIS

SOURCE OF TELEPHONE
AT&T

ASSESSOR'S PARCEL NUMBER
750-021-10, 750-021-20, 750-021-21

SITE AREA
37.85 AC (282,277)
72.37 AC TOTAL

NUMBER OF LOTS
695 LOTS @ 55 OUTLOTS

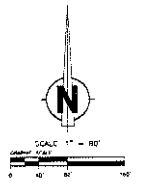
DENSITY
2.37 BLDS/AC

AVERAGE LOT SIZE
0.054 AC

OUTLOT SCHEDULE

- OUTLOTS A, E, & G ARE FOR PRIVATE ROAD & PUBLIC UTILITY PURPOSES
- OUTLOTS D, F, & H ARE FOR PRIVATE PURPOSES
- ALL AREAS ARE TO BE USED AS 22' AC FOR PRIVATE PURPOSES
- OUTLOTS B, C, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE LANDSCAPE
- OUTLOTS G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE PURPOSES
- OUTLOTS V, W, X, Y, Z ARE FOR PRIVATE LANDSCAPE
- OUTLOTS G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE PURPOSES
- OUTLOTS G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE LANDSCAPE
- OUTLOTS G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE PURPOSES
- OUTLOTS G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE LANDSCAPE
- OUTLOTS G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE PURPOSES
- OUTLOTS G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE LANDSCAPE
- OUTLOTS G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE PURPOSES

- LEGEND:**
- ▲ MODIFIED STREET, PREVIOUSLY DESIGNATED FOR PUBLIC USE
 - PUBLIC UTILITY, EXISTENCE NOW APPROVED FOR DISPOSITION FOR PUBLIC USE
 - PUBLIC UTILITY EXISTENCE NOW OFFERED FOR DISPOSITION FOR PUBLIC USE
 - BUILDING FOOTPRINT
 - FLOODING ZONE
 - OUTLOT SECTION



TM6205 - NORTH

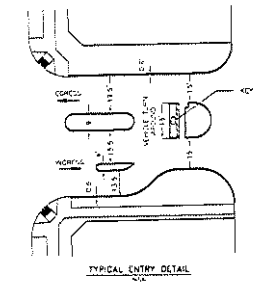
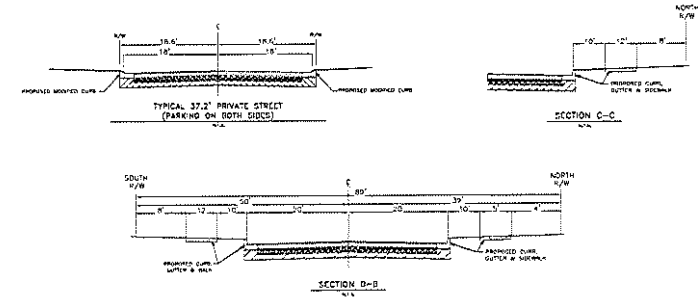
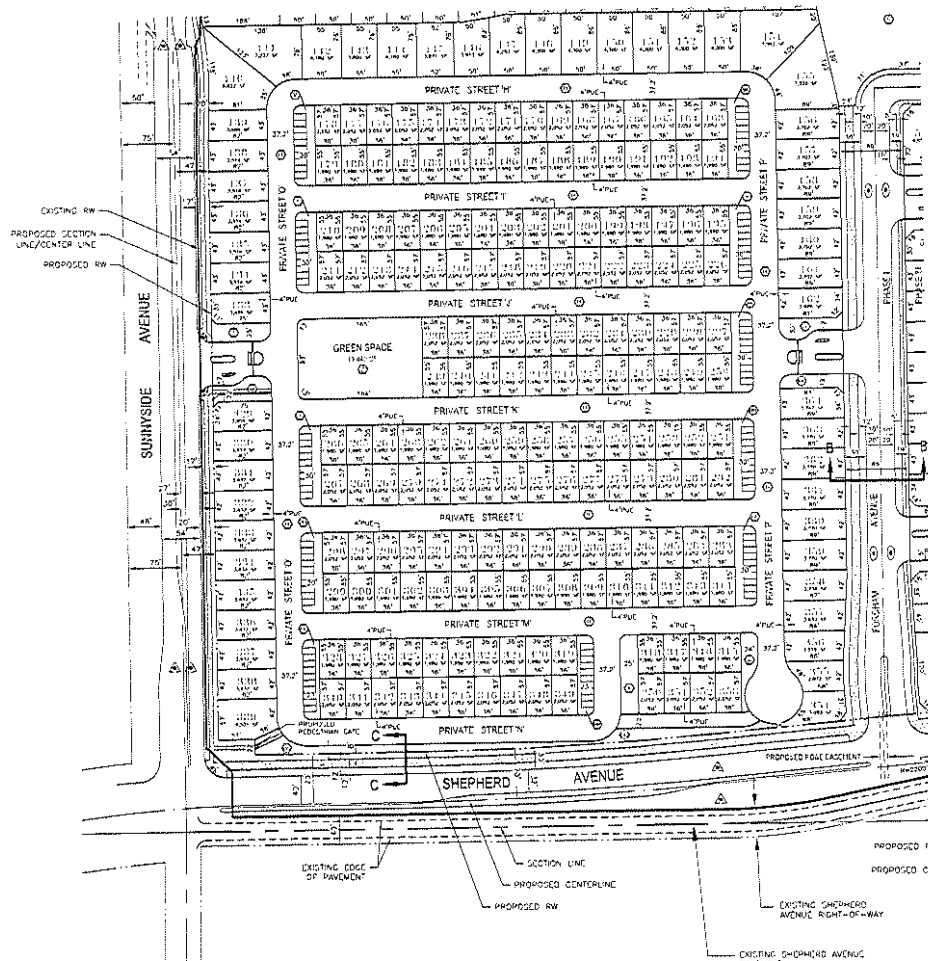
Great Bigland, L.P.

Henrich & Associates
Civil Engineers
5132 DeSoto Avenue, Suite 200, Clovis, CA 93611
TEL: 574-2373 FAX: 574-2374

NO.	REVISION	SHEET NO.
1		2
2		4

DWG BY: LCH DATE: 11-14-99 SCALE: 1"=80' SHEET NO. 2 OF 4

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA

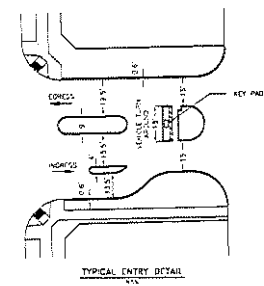
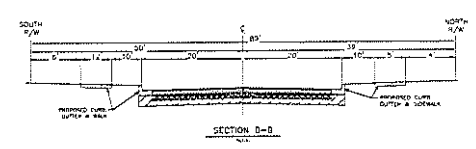
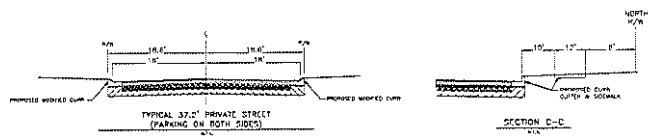
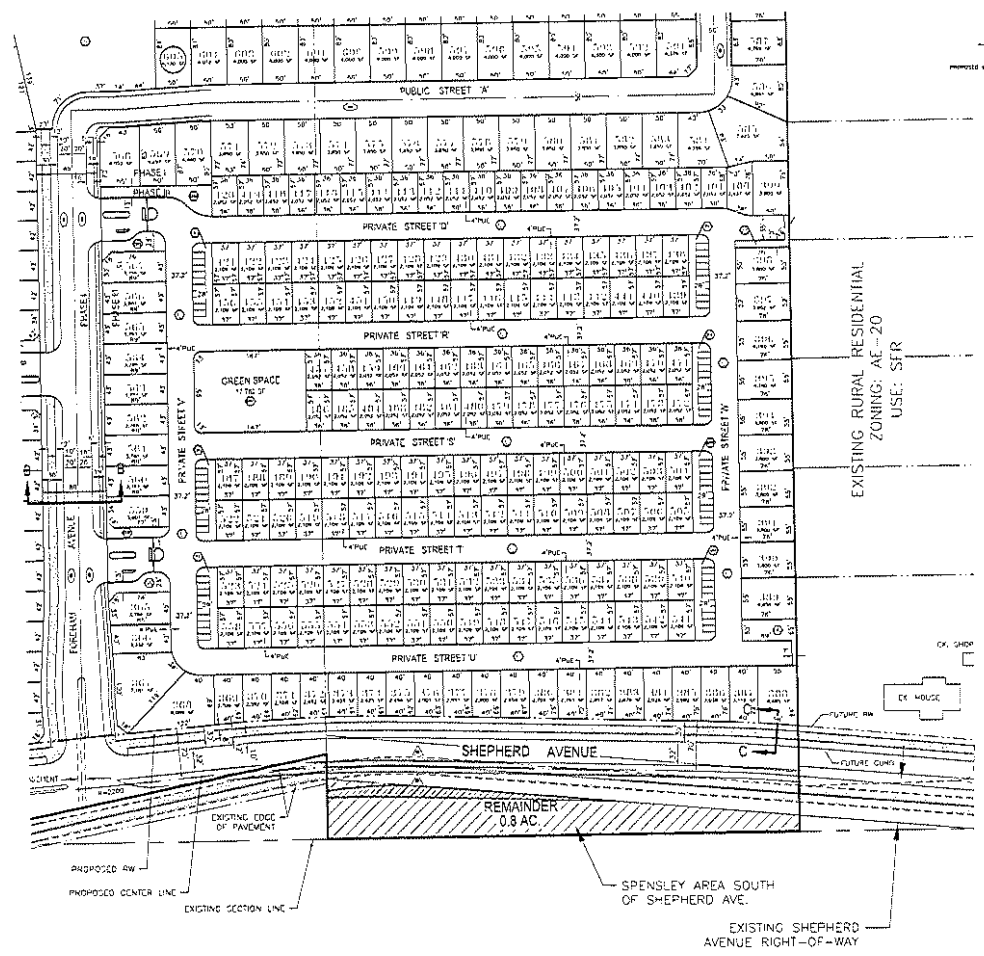


- LEGEND:**
- ▲ INDICATED STREETS PROPOSEDLY DEDICATED FOR PUBLIC USE
 - PUBLIC STREET EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - OUTLOT CORNER
 - PROPOSED RW

- EXISTING BUILDINGS**
EXISTING BUILDINGS TO BE REMOVED
- EXISTING TREES**
EXISTING TREES TO BE REMOVED
- EXISTING USE**
RESIDENTIAL, COMMERCIAL AND OFFICE
- EXISTING ZONING**
AL-20
- PROPOSED ZONING**
R20 & R25
- PROPOSED USE**
RESIDENTIAL, COMMERCIAL, SUBDIVISION
- SOURCE OF WATER**
CITY OF CLOVIS
- SOURCE OF SEWAGE DISPOSAL**
CITY OF CLOVIS
- SOURCE OF WASTE DISPOSAL**
CITY OF CLOVIS
- SOURCE OF ELECTRICITY**
PG&E
- OPEN SPACE**
APPROXIMATELY 4.63 ACRES
APPROXIMATELY 4.33 ACRES
- SOURCE OF GAS**
PG&E
- SOURCE OF CABLE T.V.**
PG&E
- SOURCE OF TELEPHONE**
PG&E
- ASSESSOR'S PARCEL NUMBER**
001-021-19, 001-021-20 & 001-021-21
- SITE AREA**
77.89 AC (GROSS)
73.37 AC (NET)
- NUMBER OF LOTS**
805 LOTS & 52 BULKHEADS
- DENSITY**
7.71 DW/AC
- AVERAGE LOT SIZE**
13.53 AC
- OUTLOT SCHEDULE**
- OUTLOTS A, B, A, C ARE FOR PRIVATE ROAD & PUBLIC UTILITY PURPOSES
 - OUTLOTS D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES
 - OUTLOTS B, D, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z ARE FOR PRIVATE LANDSCAPE, PRIVATE RECREATION & PUBLIC UTILITY PURPOSES
 - OUTLOTS A, B, A, C, A, C ARE FOR PRIVATE PARKING, PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES
 - OUTLOTS C, D, A, H, H ARE FOR PRIVATE ROAD & PUBLIC UTILITY PURPOSES
 - OUTLOT M IS FOR PRIVATE DRAINAGE CHANNEL PURPOSES

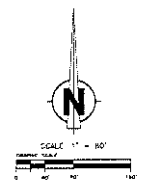
TM6205 - SOUTHWEST	
Great Bigland, L.P.	
	REVISIONS
DATE: 04-14-20	DRAWN BY: LHM
SHEET NO.	3
OF	4

VESTING TENTATIVE SUBDIVISION MAP OF
TRACT NO. 6205
 A PLANNED DEVELOPMENT IN THE CITY OF CLOVIS
 FRESNO COUNTY, CALIFORNIA



- EXISTING BUILDINGS
- EXISTING TREES
- EXISTING USE
- EXISTING ZONING
- PROPOSED ZONING
- PROPOSED USE
- SOURCE OF WATER
- SOURCE OF SEWAGE DISPOSAL
- SOURCE OF WASTE DISPOSAL
- SOURCE OF ELECTRICITY
- OPEN SPACE
- SOURCE OF GAS
- SOURCE OF CABLE T.V.
- SOURCE OF TELEPHONE
- ASSessor's PARCEL NUMBER
- SITE AREA
- NUMBER OF LOTS
- DENSITY
- AVERAGE LOT SIZE
- OUTLOT SCHEDULE

- LEGEND:**
- INDICATE STREETS PROPOSED DESIGNATED FOR PUBLIC USE
 - INDICATE STREETS PROPOSED NOW OPENED FOR DESIGNATION FOR PUBLIC USE
 - PUBLIC UTILITY GALLEY NOW OPENED FOR DESIGNATION FOR PUBLIC USE
 - OUTLET SCHEDULE



TM6205 - SOUTHEAST	
Great Bigland, L.P.	
DATE: 06-14-02 SCALE: 1"=80' DRAWN BY: JON SHEET NO.: 4 OF 4	



City of Clovis
 Department of Planning and Development Services
 CITY HALL - 1033 Fifth Street - Clovis, CA 93612

Distribution Date: **7/25/2023**

PLANNING APPLICATION REQUEST FOR COMMENTS
Project Manager - George Gonzalez, MPA, Senior Planner

PLEASE ROUTE TO:

- | | |
|--|---|
| (In House) | (Out-of-House) |
| <input checked="" type="checkbox"/> Planning Division | <input checked="" type="checkbox"/> Fresno Irrigation District |
| <input checked="" type="checkbox"/> Building Division | <input checked="" type="checkbox"/> Fresno Metropolitan Flood Control Dist. |
| <input checked="" type="checkbox"/> Engineering Divisor | <input checked="" type="checkbox"/> Pacific Gas & Electric |
| <input checked="" type="checkbox"/> Utilities Division | <input checked="" type="checkbox"/> AT&T |
| <input checked="" type="checkbox"/> Solid Waste Divisor | <input checked="" type="checkbox"/> Clovis Unified School District |
| <input checked="" type="checkbox"/> Fire Department | <input checked="" type="checkbox"/> Cal Trans |
| <input checked="" type="checkbox"/> Police Department | <input checked="" type="checkbox"/> SJV Unified Air Pollution Control Dist. |
| <input checked="" type="checkbox"/> City Landscape Com | <input checked="" type="checkbox"/> State of California Department of Fish and Game |
| <input checked="" type="checkbox"/> Legal Description Review | <input checked="" type="checkbox"/> LAFCO (when annexation is involved) |
| <input type="checkbox"/> Other (Specify) | <input checked="" type="checkbox"/> County of Fresno Development |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Fresno County Environmental Health |

Item(s): **R2021-009** Location: **North side of Shepherd Avenue, between N. Sunnyside & N. Fowler Ave.**

APN: **Multiple** Zoning: **County AL20** General Plan: **Clovis Rural Res.** RHNA Site: _____

Name of Applicant: **Great Bigland, LP -Jeff Harris** Phone/Email: [\(559\)224-7550/jharris@wilsondevelopment.com](mailto:(559)224-7550/jharris@wilsondevelopment.com)

Applicant Address: **7550 N. Palm Avenue, #102** City: **Fresno** State: **CA** Zip: **93711**

Previously Reviewed Under DRC: **DRC2022-013** Or Other Entitlement: _____

Project Description: **R2021-009; A request to prezone property within the Development Area of the Project site from the Fresno County AL20 Zone District to the Clovis R-1-PRD Zone District. This request is being processed concurrently with SOI Expansion, RO307, GPA2021-005, GPA2021-006, PDP2021-004, and TM6205.**

This item is tentatively scheduled for a public hearing to be consi **City Council.**
 The attached information is circulated for your comments. Please attach your comments and recommendations i
 condition form and return to the project manag **8/15/2023**

Please check one below:

- No Comments Comments e-mailed or saved on: _____

RECOMMENDED CONDITIONS: Please draft conditions in final form that are acceptable to your department
 They must be legible. Please phrase positively and clearly:

GOOD EXAMPLE: "1. Prior to occupancy, the developer shall install all landscaping as per the approved

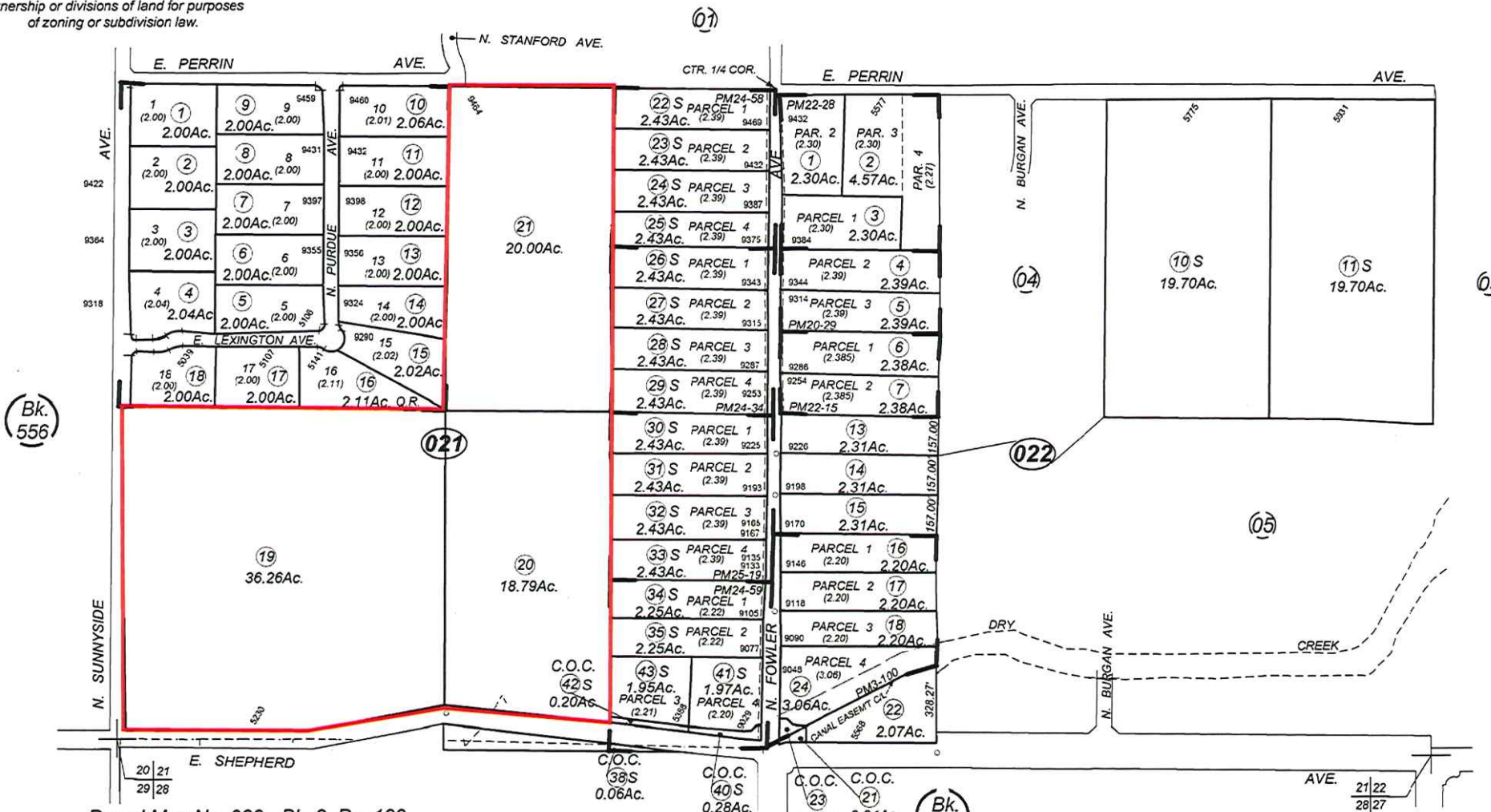
POOR EXAMPLE: "1. Install landscaping."

REVIEWED BY (please sign): _____

PLEASE RETURN TO:
George Gonzalez, MPA, Senior Planner
Planning and Development Services Dept.
1033 Fifth St., Clovis, CA 93612
Phone: 324-2383 Fax: 324-2866

-NOTE-
This map is for Assessment purposes only.
It is not to be construed as portraying legal
ownership or divisions of land for purposes
of zoning or subdivision law.

SUBDIVIDED LAND IN POR. SEC. 21, T. 12 S., R. 21 E., M.D.B. & M.

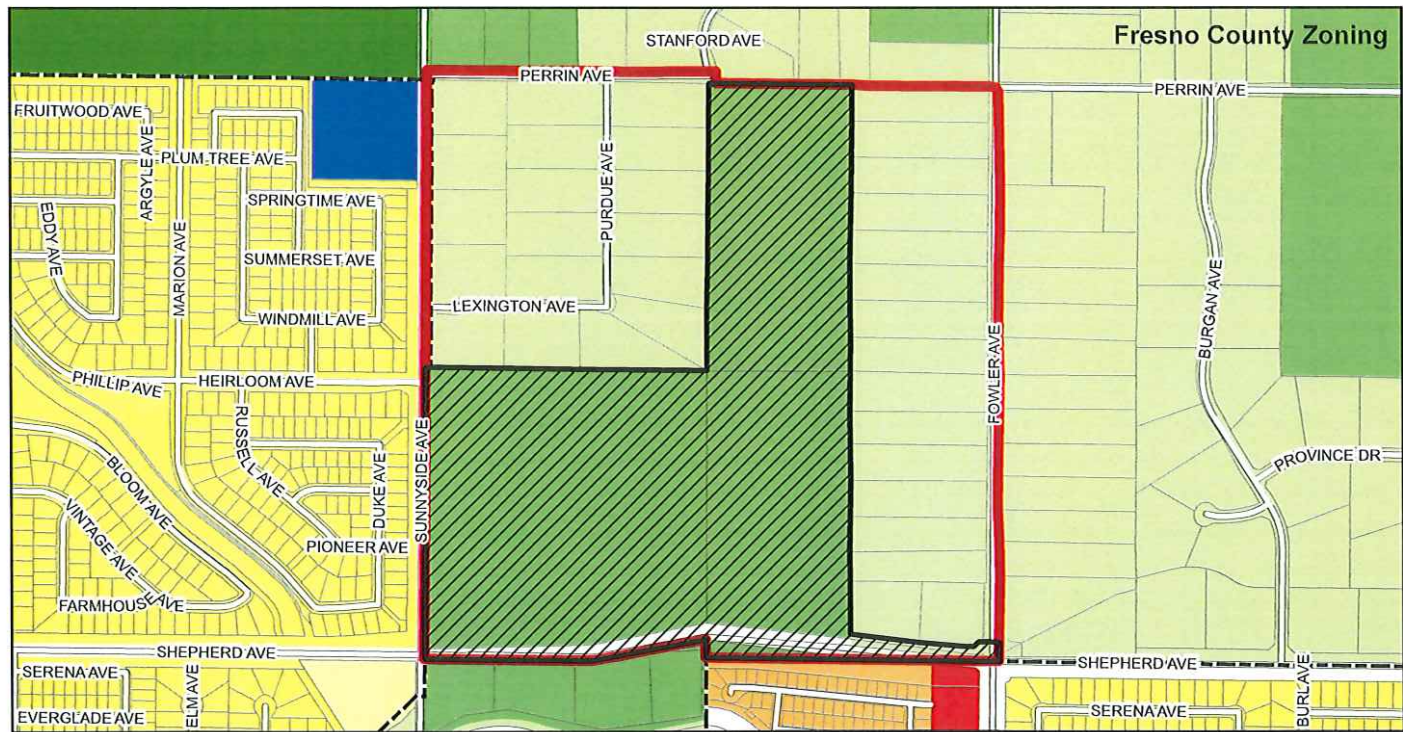
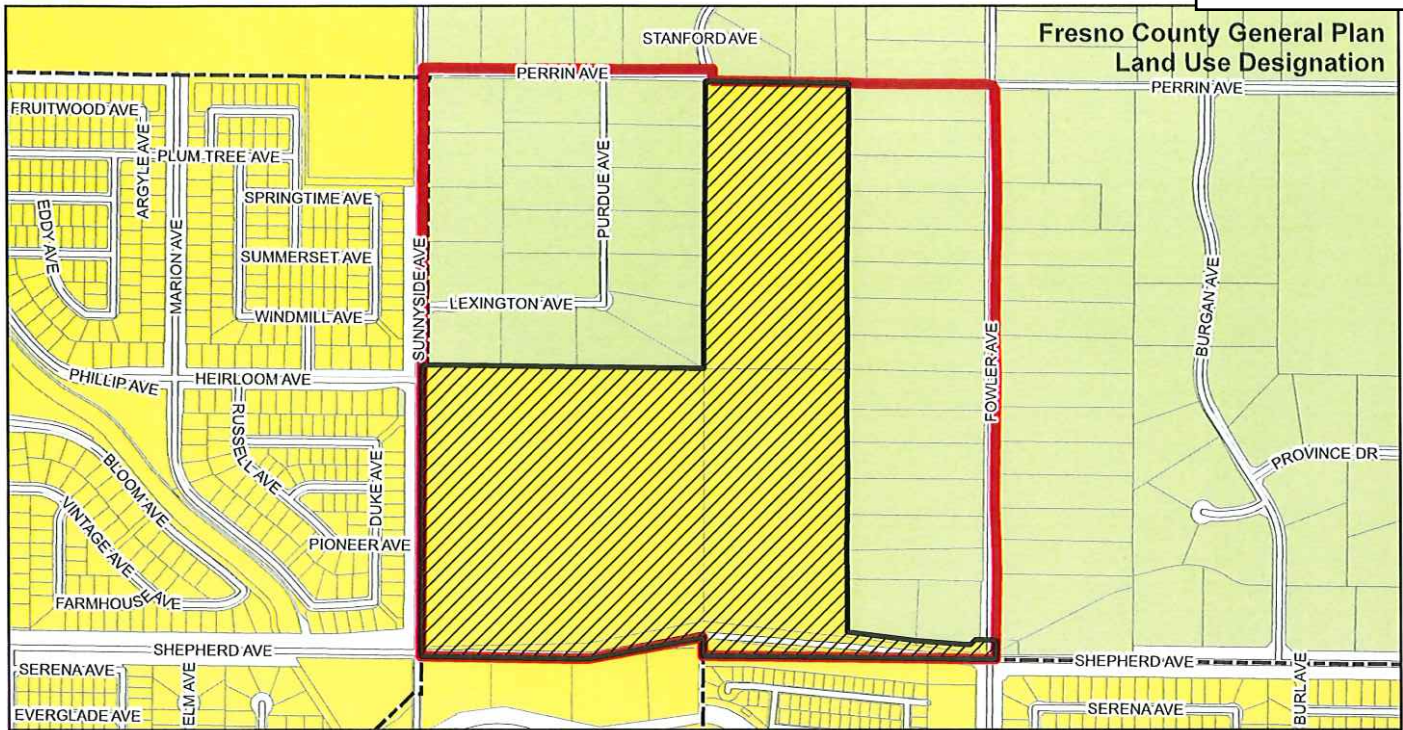


- Parcel Map No. 930 - Bk. 3, Pg. 100
- Parcel Map No. 2849 - Bk. 20, Pg. 29
- Parcel Map No. 3373 - Bk. 22, Pg. 15
- Parcel Map No. 3372 - Bk. 22, Pg. 28
- Parcel Map No. 3654 - Bk. 24, Pg. 34
- Parcel Map No. 3650 - Bk. 24, Pg. 58
- Parcel Map No. 3637 - Bk. 24, Pg. 59

- Parcel Map No. 3640 - Bk. 25, Pg. 19
- Quail Run - Tract No. 3286 - Plat Bk. 37, Pg. 88

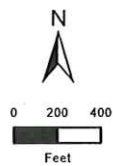
C.O.C. = CITY OF CLOVIS

Note - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles



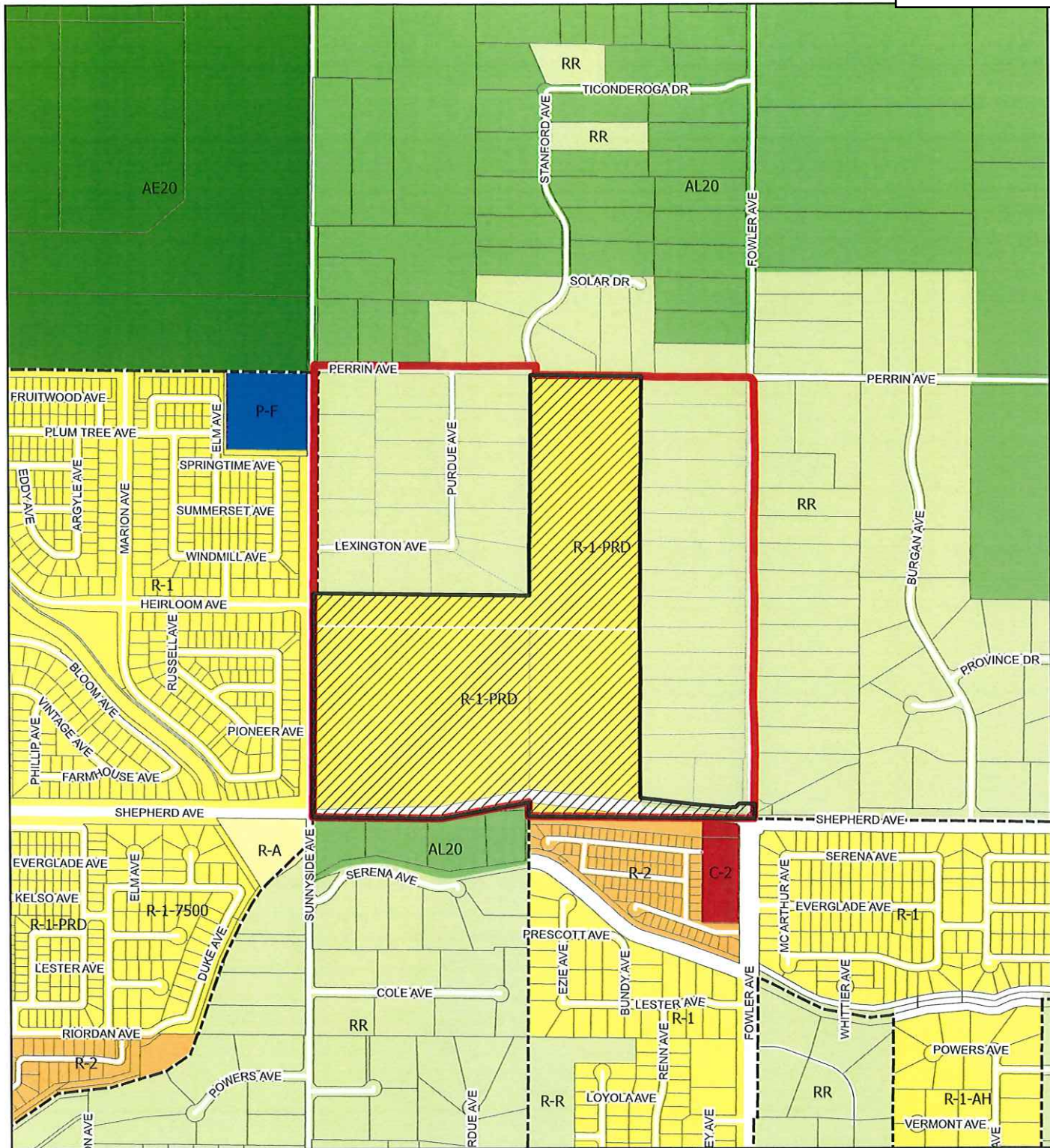
LEGEND

- Project Boundary
- Clovis City Limits
- Rural Residential
- Low Density Residential
- P-F
- R-1
- AE20
- AL20
- C-2
- R-1-7500
- R-1-PRD
- R-2
- R-A
- RR



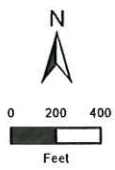
SHEPHERD NORTH PROJECT

Figure 2.0-8. Fresno County General Plan Land Use and Zoning Designations



LEGEND

- | | | |
|------------------------------|----------|-----------------------------|
| Project Boundary | R-1-7500 | Fresno County Zoning |
| Development Area | R-1-AH | AE20 |
| Clovis City Limits | R-1-PRD | AL20 |
| City of Clovis Zoning | R-2 | R-R |
| C-2 | R-A | |
| P-F | R-1 | |
| R-1 | | |



SHEPHERD NORTH PROJECT

Figure 2.0-10. Proposed Zoning

De Novo Planning Group
A Land Use Planning, Design, and Environmental Firm

Source: Fresno County GIS, Map 7.0, May 8, 2014.



City of Clovis
 Department of Planning and Development Services
 CITY HALL - 1033 Fifth Street - Clovis, CA 93612

Distribution Date: **7/25/2023**

PLANNING APPLICATION REQUEST FOR COMMENTS
Project Manager - George Gonzalez, MPA, Senior Planner

PLEASE ROUTE TO:

- | | |
|--|---|
| (In House)
<input checked="" type="checkbox"/> Planning Division
<input checked="" type="checkbox"/> Building Division
<input checked="" type="checkbox"/> Engineering Divisor
<input checked="" type="checkbox"/> Utilities Division
<input checked="" type="checkbox"/> Solid Waste Divisor
<input checked="" type="checkbox"/> Fire Department
<input checked="" type="checkbox"/> Police Department
<input checked="" type="checkbox"/> City Landscape Com
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<input type="checkbox"/> Other (Specify)
<input type="checkbox"/> | (Out-of-House)
<input checked="" type="checkbox"/> Fresno Irrigation District
<input checked="" type="checkbox"/> Fresno Metropolitan Flood Control Dist.
<input checked="" type="checkbox"/> Pacific Gas & Electric
<input checked="" type="checkbox"/> AT&T
<input checked="" type="checkbox"/> Clovis Unified School District
<input checked="" type="checkbox"/> Cal Trans
<input checked="" type="checkbox"/> SJV Unified Air Pollution Control Dist.
<input checked="" type="checkbox"/> State of California Department of Fish and Game
<input checked="" type="checkbox"/> LAFCO (when annexation is involved)
<input checked="" type="checkbox"/> County of Fresno Development
<input checked="" type="checkbox"/> Fresno County Environmental Health |
|--|---|

Item(s): PDP2021-004 Location: North side of Shepherd Avenue, between N. Sunnyside & N. Fowler Ave.

APN: Multiple Zoning: County AL20 General Plan: Clovis Rural Res. RHNA Site: _____

Name of Applicant: Great Bigland, LP -Jeff Harris Phone/Email: (559)224-7550/jharris@wilsondevelopment.com

Applicant Address: 7550 N. Palm Avenue, #102 City: Fresno State: CA Zip: 93711

Previously Reviewed Under DRC: DRC2022-013 Or Other Entitlement: _____

Project Description: PDP2021-004; A planned development permit request for a 605-lot single-family residential development located on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues. This request is being processed concurrently with SOI Expansion, RO307, GPA2021-005, GPA2021-006, R2021-009, and TM6205.

This item is tentatively scheduled for a public hearing to be consi City Council.
 The attached information is circulated for your comments. Please attach your comments and recommendations i
 condition form and return to the project manag 8/15/2023

Please check one below:
 No Comments Comments e-mailed or saved on: _____

RECOMMENDED CONDITIONS: Please draft conditions in final form that are acceptable to your department
 They must be legible. Please phrase positively and clearly:

GOOD EXAMPLE: "1. Prior to occupancy, the developer shall install all landscaping as per the approved

POOR EXAMPLE: "1. Install landscaping."

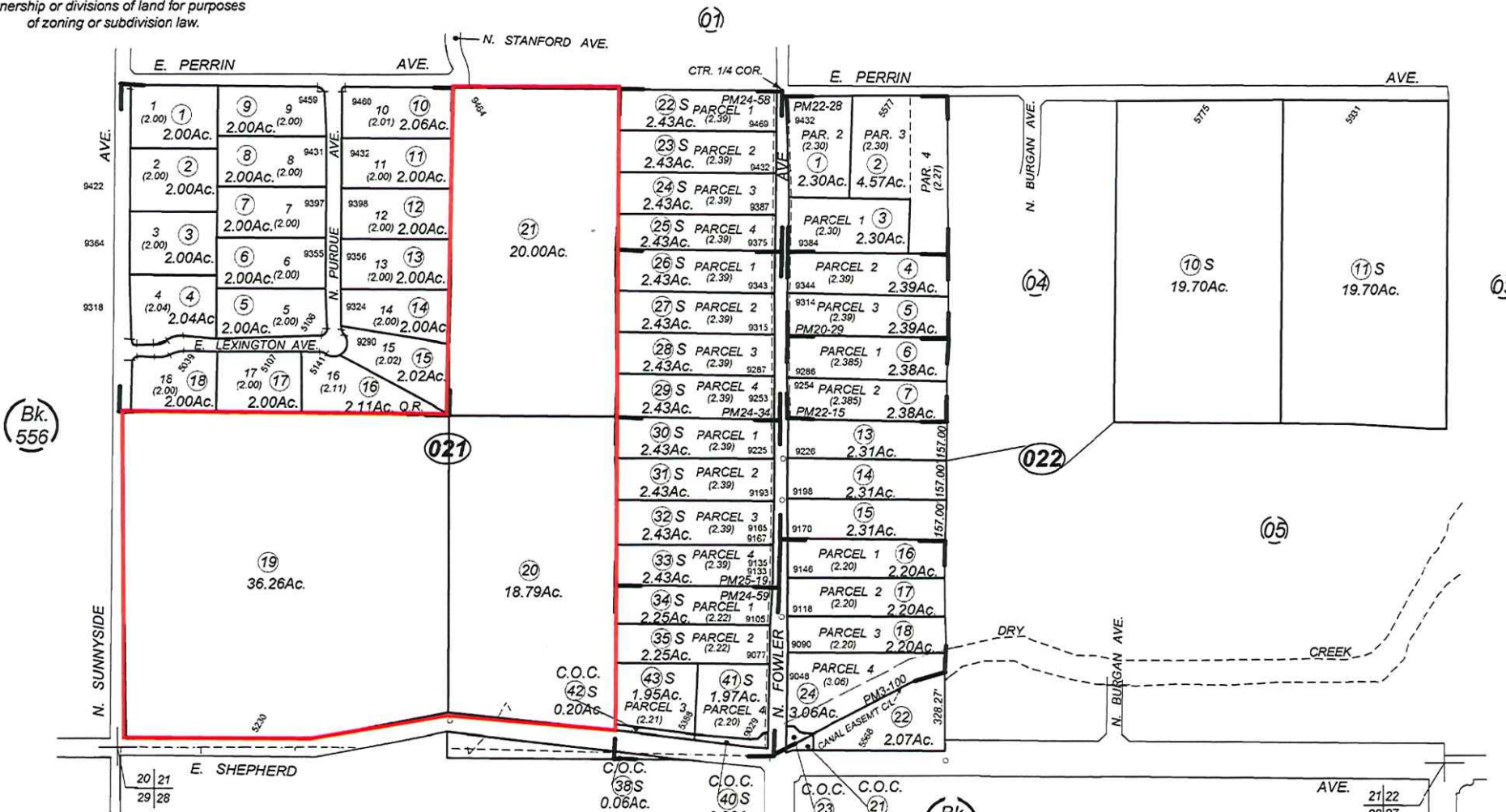
REVIEWED BY (please sign): _____

PLEASE RETURN TO:
 George Gonzalez, MPA, Senior Planner
 Planning and Development Services Dept.
 1033 Fifth St., Clovis, CA 93612
 Phone: 324-2383 Fax: 324-2866

-NOTE-
This map is for Assessment purposes only.
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ownership or divisions of land for purposes
of zoning or subdivision law.

SUBDIVIDED LAND IN POR. SEC. 21, T. 12 S., R. 21 E., M.D.B. & M.

Tax Rate Area **557-02**
76-045



- Parcel Map No. 930 - Bk. 3, Pg. 100
- Parcel Map No. 2849 - Bk. 20, Pg. 29
- Parcel Map No. 3373 - Bk. 22, Pg. 15
- Parcel Map No. 3372 - Bk. 22, Pg. 28
- Parcel Map No. 3654 - Bk. 24, Pg. 34
- Parcel Map No. 3650 - Bk. 24, Pg. 58
- Parcel Map No. 3637 - Bk. 24, Pg. 59

- Parcel Map No. 3640 - Bk. 25, Pg. 19
- Quail Run - Tract No. 3286 - Plat Bk. 37, Pg. 88

C.O.C. = CITY OF CLOVIS

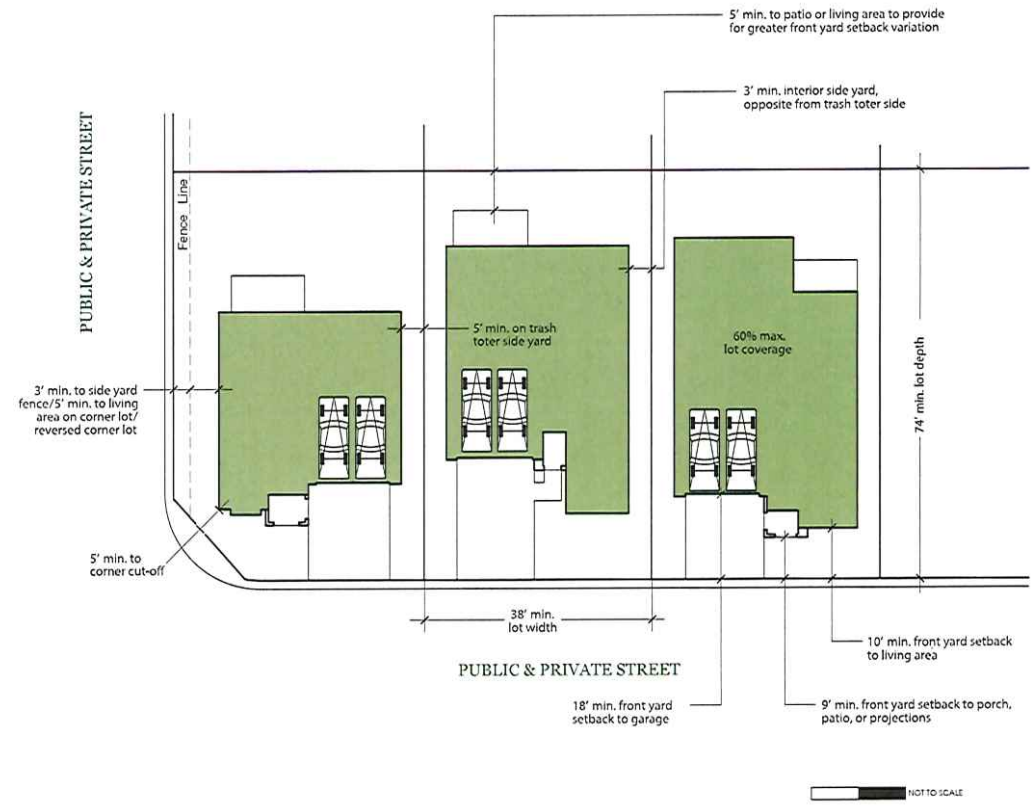
Note - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

TRACT 6205 - Citrea

Residential Land Use Development Standards

TRACT 6205 – NEC SHEPHERD & SUNNYSIDE

LAND USE		DEVELOPMENT STANDARDS	
SINGLE-FAMILY RESIDENTIAL		STANDARD	NOTES
DESIGNATION			
Zone District	R-1-PRD		
GP Density Range	7.1 - 15.0 du/ac		Medium-High Density Residential
Dwelling Units	66		
BUILDING INTENSITY			
Minimum Lot Area	3,700 sqft		
Minimum Lot Width	50'		
Minimum Lot Depth	74'		
Maximum Height	35'		
Curved/Cul-de-sac/Corner Lot	25' min/25' min/53' min		For street frontage
BUILDING SETBACKS			
All setbacks measured from PL.			
Front Yard (Local)	18' min/10' min/9' min		To garage/To living area/To projections and/or porch/patio
Side Yard	5' min/3' min		5' min one side/3' min other side
Corner/Reversed Corner	3' min/5' min		To side yard fence/To living area
Rear Yard	5' min		
Corner Cut-Off	5' min		
GARAGES/STREETS/PARKING			
Garages	2-car 1-car	20'x20' min. 10'x16' min.	
Streets (Private)	36' curb to curb		
On-Street Parking	Yes		
ACCESSORY USES			
General list of requirements and restrictions.			
Walls/Fences	6' min - 8' high max		
Trellises	12' high max		
Pools and Spas	5' min		Water portion to rear and side PLs. Pool and spa may not be located in front yard.
Equipment	HVAC, Pool, spa and fountain equipment allowed in side yard easement and rear setback.		
Covered Structures	12' high max		
Accessory Buildings			Covered structures and building additions are allowed subject to review by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.



The imagery conveys samples of the architectural character intended for these neighborhoods.
 Lots 140-155, 388-399, 568-605 of Tentative Map No. 6205.

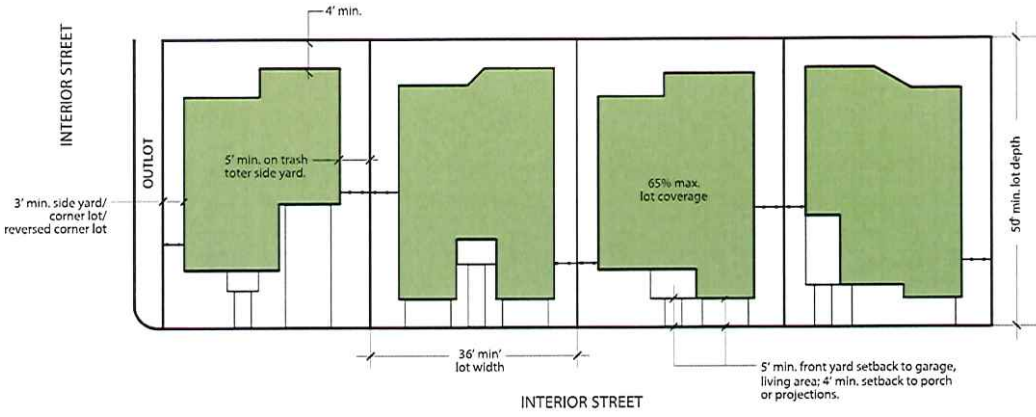
NOT TO SCALE

TRACT 6205 - Elev8ions

Residential Land Use Development Standards

TRACT 6205 – NEC SHEPHERD & SUNNYSIDE

LAND USE		DEVELOPMENT STANDARDS	
SINGLE-FAMILY RESIDENTIAL		STANDARD	NOTES
DESIGNATION			
Zone District	R-1-FRD		
GP Density Range	7.1 - 15.0 du/ac	Medium-High Density Residential	
Dwelling Units	407		
BUILDING INTENSITY			
Minimum Lot Area	1,980 sq ft		
Minimum Lot Width	36'		
Minimum Lot Depth	50'		
Maximum Coverage	65%		
Maximum Height	35'		
Curved, Cul-de-sac or Corner Lot	36' min/50' min	For street frontage/For lot depth	
BUILDING SETBACKS		All setbacks measured from PL.	
Front Yard	5' min/4' min	To garage, living area/porch or projections	
Side Yard	5' min/3' min	5' min garage side/3' min other side	
Corner/Reversed Corner	3' min		
Rear Yard	4' min		
GARAGES/STREETS/PARKING			
Garages	1-car 2-car	10'x16' min 20'x20' min or tandem 10'x38' min	
Streets (Interior)	36' wide	Curb-to-curb	
Parking	1.5 spaces/unit min	1 covered space per unit min	
ACCESSORY USES		General list of requirements and restrictions.	
Walls/Fences	6' min - 8' high max		
Trellises	12' high max		
Pools and Spas	3' min	Water portion to rear and side PLs. Pool and spa may not be located in front yard.	
Equipment	Pool, spa and fountain equipment allowed in side yard setback.		
Covered Structures	12' high max	Covered structures and building additions are allowed subject to review by HOA committee and permitting by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.	
Accessory Building			



NOTE: Construction of more than two of the same plan type in a row or more than three 2-car garage models in a row (excepting tandem garage units) shall be addressed through the Residential Site Plan Review process.

The imagery conveys samples of the architectural character intended for these neighborhoods.



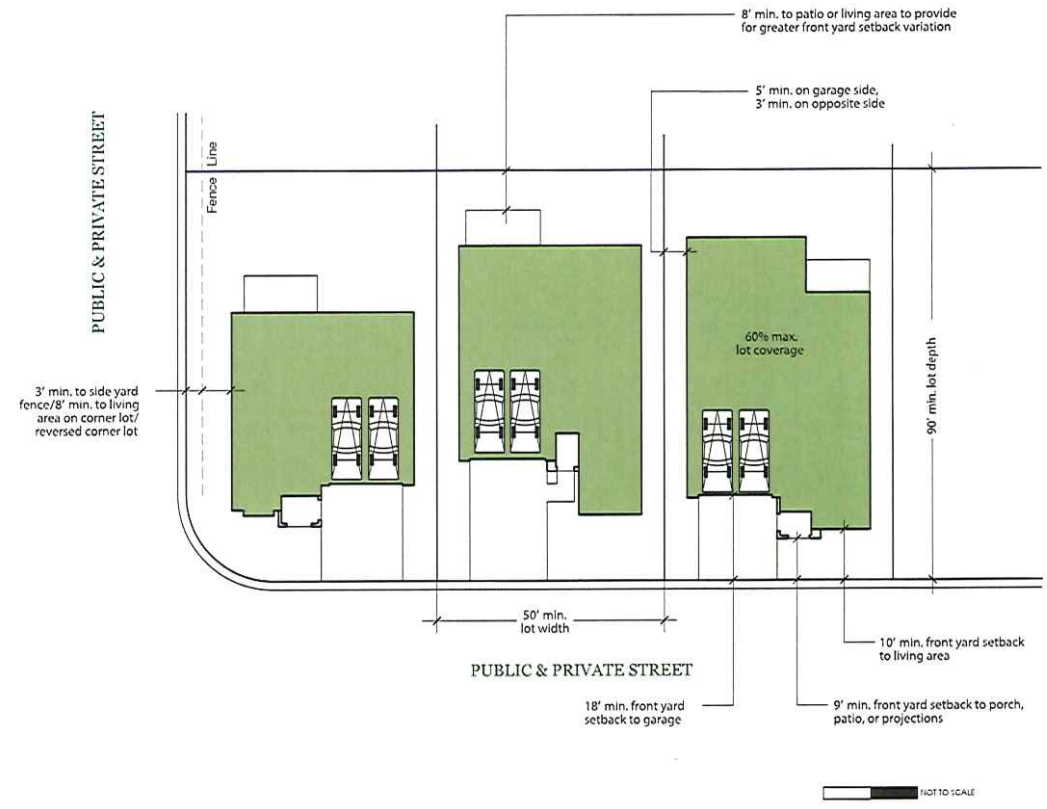
Lots 133-139, 156-387, 400-567 of Tentative Map No. 6205.

TRACT 6205 - Regent Park

Residential Land Use Development Standards

TRACT 6205 - NEC SHEPHERD & SUNNYSIDE

LAND USE		DEVELOPMENT STANDARDS	
SINGLE-FAMILY RESIDENTIAL		STANDARD	NOTES
DESIGNATION			
Zone District	R-1-PRD		
GP Density Range	7.1 - 15.0 du/ac		Medium-High Density Residential
Dwelling Units	132		Lots @ 50' x 90' min.
BUILDING INTENSITY			
Minimum Lot Area	4,500 sqft		
Minimum Lot Width	50'		
Minimum Lot Depth	90'		
Maximum Height	35'		
Curved/Cul-de-sac	25' min		For street frontage
Corner/Reversed Corner	53' min		Lot width
BUILDING SETBACKS			
All setbacks measured from PL.			
Front Yard (Local)	18' min/10' min/9' min		To garage/To living area/To projections and/or porch/patio
Side Yard	5' min/3' min		5' min garage side/3' min opposite side
Corner/Reversed Corner	3' min/8' min		To side yard fence/To living area
Rear Yard	8' min		
GARAGES/STREETS/PARKING			
Garages	2-car	20'x20' min	
	3-car	20'x20' min w/tandem 9'x15.5' min	
Streets (Public)	50'/54' wide		
On-Street Parking	Yes		
ACCESSORY USES			
General list of requirements and restrictions.			
Walls/Fences	6' min - 8' high max		
Trellises	12' high max		
Pools and Spas	5' min		Water portion to rear and side PLs. Pool and spa may not be located in front yard.
Equipment	Pool, spa and fountain equipment allowed in side yard easement.		
Covered Structures	12' high max		Covered structures and building additions are allowed subject to review by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.
Accessory Buildings			



The imagery conveys samples of the architectural character intended for these neighborhoods.
 Lots 1-132 of Tentative Map No. 6205.

**SHEPHERD NORTH PROJECT
GPA2021-006, GPS2021-005, R2021-009, TM6205, & PDP2021-004**

FINDINGS IN SUPPORT OF PROJECT APPROVAL

Each element of the proposed Shepherd North Project meets the findings that must be considered when making a decision on a project, as outlined below.

Findings – General Plan Amendments GPA2021-006 and GPA2021-005

1. The proposed amendment is internally consistent with the goals, policies, and actions of the General Plan.

The proposed general plan amendment is consistent with several goals, and policies of the 2014 Clovis General Plan, including those identified above under the section of this staff report titled “Consistency with General Plan Goals and Policies.” Furthermore, as described throughout this staff report, the Project will be consistent with the proposed General Plan land use designation of Medium-High Density Residential.

2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.

The Project has been reviewed by public safety and utility providers and appropriate conditions have been incorporated to ensure that the applicable standards are adhered to. The proposed amendment will be subject to the Community Facilities District (CFD) funding annexation, which provides additional funding for the provision of public facilities and services for public safety, parks and recreation services, and other important municipal services. Therefore, this finding can be made based on the proposed Project.

3. If applicable, the parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested/anticipated project.

The proposed general plan amendment affects approximately 77 acres of land (Development Area), suitable for the development of the 605-lot gated and non-gated single-family planned residential development. Therefore, the project site is physically suitable for the requested land use designation amendment.

Findings - Prezone R2021-009

1. The proposed amendment is consistent with the goals, policies, and actions of the General Plan.

The proposed amendment is consistent with several goals, and policies of the 2014 Clovis General Plan, including those identified above under the section of this staff report titled “Consistency with General Plan Goals and Policies.” Furthermore, as described throughout this staff report, the Project will be consistent with the proposed General Plan land use designation of Medium-High Density Residential.

2. The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.

The Project has been reviewed by public safety and utility providers and appropriate conditions have been incorporated to ensure that the applicable standards are adhered to. The proposed amendment will be subject to the Community Facilities District (CFD) funding annexation, which provides additional funding for the provision of public facilities and services for public safety, parks and recreation services, and other important municipal services. Therefore, this finding can be made based on the proposed Project.

3. The parcel is physically suitable (including absence of physical constraints, access, compatibility with adjoining land uses, and provision of utilities) for the requested zoning designations and anticipated land uses/projects.

The proposed amendment affects approximately 77 acres of land (Development Area), suitable for the development of the 605-lot gated and non-gated single-family planned residential development. Therefore, the project site is physically suitable for the requested zoning designation.

4. The City Council considered the CEQA analysis outlined in the staff report and elsewhere in the Administrative Record and does certify the Revised Final Project Environmental Impact Report for the Shepherd North Project; adopt the CEQA Findings of Fact and a Statement of Overriding Consideration; and adopt a Mitigation Monitoring and Reporting Program.

The City Council has had an opportunity to review and consider the entire Administrative Record relating to the Project, which is on file with the Department, and reviewed and considered those portions of the Administrative Record determined to be necessary to make an informed decision, including, but not necessarily limited to, the staff report, the written materials submitted with the request, and the verbal and written testimony and other evidence presented during the public hearing.

On March 18, 2024, the City Council certified the Revised Final Project Environmental Impact Report for the Shepherd North Project; adopted the CEQA Findings of Fact and a Statement of Overriding Consideration; and adopted a Mitigation Monitoring and Reporting Program.

5. The City Council approval of Prezone 2021-009.

The City Council considered testimony and information received at the public hearing and the oral and written reports from City staff, as well as other documents contained in the record of proceedings ("Administrative Record") relating to Prezone 2021-009. The facts and evidence in the Administrative Record support approval of Prezone 2021-009.

Findings – Vesting Tentative Tract Map TM6205

1. The proposed map, subdivision design, and improvements are consistent with the General Plan and any applicable specific plan.

The proposed map is consistent with several goals, and policies of the 2014 Clovis General Plan, including those identified above under the section of this staff report titled "Consistency with General Plan Goals and Policies." Furthermore, as described throughout this staff report, the Project is consistent with the proposed General Plan land use designation of Medium-High Density Residential.

2. The site is physically suitable for the type and proposed density of development.

The proposed vesting tentative tract map affects approximately 77 acres of land with a density of 7.77 unit per acre. The lot sizes within TM6205 range from 1,980 square feet to 15,943 square feet. Therefore, the site is physically suitable for the proposed density of TM6205.

3. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

As indicated in the Project EIR, the proposed project and associated improvements would not result in any significant impacts with implementation of mitigation measures prescribed in the Revised Final EIR. Therefore, the Project will not cause substantial environmental damage or injury to fish and wildlife.

4. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems.

The design of the subdivision will adhere to the Fire Department standards, Clovis Development Code and Building Code regulations for public health and safety compliance.

5. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. This finding may also be made if the review authority finds that alternate easements for access or use will be provided, and that they will be substantially equivalent to ones previously acquired by the public. This finding shall apply only to easements of record, or to easements established by judgment of a court of competent jurisdiction, and no authority is hereby granted to the review authority to determine that the public at large has acquired easements of access through or use of property within the proposed subdivision.

All easements acquired by the public at large will be identified during the review process of the final map through the City's Engineering Division. If necessary, alternative easements will be provided that will be substantially equivalent to ones previously acquired for access through the proposed TM6205.

6. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements prescribed by the California Regional Water Quality Control Board.

The City Engineer has concluded that the City has capacity to accommodate the proposed Project. Installation of sewer lines through the proposed subdivision and outside its boundaries will be done in compliance with requirements of the California Regional Water Quality Control Board.

7. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities.

The proposed subdivision will comply with the Clovis Development Code and California Building Code requirements as it relates to heating and cooling opportunities within TM6205.

8. The proposed subdivision, its design, density, and type of development and improvements conform to the regulations of this Development Code and the regulations of any public agency having jurisdiction by law.

The proposed subdivision is proposing a density of 7.77 units per acre, which will be consistent with the Clovis General Plan Land Use designation of Medium-High Residential. The proposed subdivision is single-family product type as required by the Clovis General Plan for residential developments.

9. The proposed project has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA) and to this end the City Council does certify the Revised Final Project Environmental Impact Report for the Shepherd North Project; adopt the CEQA Findings of Fact and a Statement of Overriding Consideration; and adopt a Mitigation Monitoring and Reporting Program.

The City Council has had an opportunity to review and consider the entire Administrative Record relating to the Project, which is on file with the Department, and reviewed and considered those portions of the Administrative Record determined to be necessary to make an informed decision, including, but not necessarily limited to, the staff report, the written materials submitted with the request, and the verbal and written testimony and other evidence presented during the public hearing.

On March 18, 2024, the City Council certified the Revised Final Project Environmental Impact Report for the Shepherd North Project; adopted the CEQA Findings of Fact and a Statement of Overriding Consideration; and adopted a Mitigation Monitoring and Reporting Program.

10. Without the conditions of approval (**Attachment 4B and Attachment 5A** of this report), the City Council could not make the findings necessary for approval of vesting tentative tract map TM6205 (attached and labeled **Attachment 4A**).

11. The basis for the findings is contained in the May 6, 2024, staff report, which is hereby incorporated by reference, as well as the evidence and comments presented during the Public Hearing.

In light of court decisions, it is appropriate for the City to make findings of consistency between the required dedications and the proposed development. Every dedication condition needs to be evaluated to confirm that there is a rough proportionality, or that a required degree of connection exists between the dedication imposed and the proposed development. The City of Clovis has made a finding that the dedication of property for this project satisfies the development's proportionate contribution to the City's circulation system. The circulation system directly benefits the subject property by providing access and transportation routes that service the site. Further, the circulation system also enhances the property's value.

Findings - Planned Development Permit PDP2021-004

1. The planned development permit would:
 - a. Be allowed within the subject base zoning district.

The proposed PDP is allowed within the R-1-PRD Zone District proposed in conjunction with the rezoning of the Project site (Development Area).

b. Be consistent with the purpose, intent, goals, policies, actions, and land use designations of the General Plan and any applicable specific plan.

Refer to Findings – Prezone 2021-009.

c. Be generally in compliance with all of the applicable provisions of this Development Code relating to both on- and off-site improvements that are necessary to accommodate flexibility in site planning and property development and to carry out the purpose, intent, and requirements of this chapter and the subject base zoning district, including prescribed development standards and applicable design guidelines.

The Project includes provisions to construct both on and off-site improvements in conformance with City's adopted infrastructure master plans and the standards included in the 2014 General Plan. The design of the improvements support the proposed Project development standards and land use changes identified in the staff report.

d. Ensure compatibility of property uses within the zoning district and general neighborhood of the proposed development.

Refer to Findings – Vesting Tentative Tract Map 6205.

2. The proposed project would produce a comprehensive development of superior quality (e.g., appropriate variety of structure placement and orientation opportunities, appropriate mix of structure sizes, high quality architectural design, increased amounts of landscaping and open space, improved solutions to the design and placement of parking facilities, incorporation of a program of enhanced amenities, etc.) than which might otherwise occur from more traditional development applications.

Examples of the features in Shepherd North Project that achieve this intent include the following:

- *Variation in housing types and densities*
- *Integration of open space, including one neighborhood park*
- *Comprehensively planned trails, including a proposed community trail along the Shepherd Avenue frontage*
- *Providing for a corner gateway feature at the northeast corner of Shepherd and N. Sunnyside Avenues*

3. Proper standards and conditions have been imposed to ensure the protection of the public health, safety, and welfare.

The proposed PDP will adhere to the Fire Department standards, Clovis Development Code and Building Code regulations for public health and safety compliance.

4. Proper on-site traffic circulation and control is designed into the development to ensure protection for fire suppression and police surveillance equal to or better than what would normally be created by compliance with the minimum setback and parcel width standards identified in Division 2 of this title (Zoning Districts, Allowable Land Uses, and Zone-Specific Standards).

The proposed PDP will comply with the Fire Department standards and City Engineer requirements regarding fire suppression and traffic circulation improvements associated with TM6205.

5. The subject parcel is adequate in terms of size, shape, topography, and circumstances to accommodate the proposed development.

The Project site is not constrained in terms of size, shape, topography or circumstances in a manner that would limit its ability to accommodate the proposed development.

6. The design, location, operating characteristics, and size of the proposed development would be compatible with the existing and future land uses in the vicinity, in terms of aesthetic values, character, scale, and view protection.

Refer to Findings – Vesting Tentative Tract Map 6205.

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Agreement No. 17-236

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**2017 AMENDED AND RESTATED
MEMORANDUM OF UNDERSTANDING
COUNTY OF FRESNO AND CITY OF CLOVIS**

This Amended and Restated Memorandum of Understanding (“MOU”) is made and executed this 6th day of June, 2017 (“Effective Date”), by and between the County of Fresno, a political subdivision of the State of California (“County”) and the City of Clovis, a municipal corporation of the State of California (“City”), with respect to the following Recitals, which are a substantive part of this MOU. County and City are each a “party” to this Agreement and are sometimes collectively referred to as “the parties” to this Agreement.

RECITALS

A. On August 21, 1990, the parties entered into a comprehensive agreement covering development, annexations, sales taxes, property taxes, and other matters, commonly referred to as the County/Clovis MOU or Tax Sharing Agreement (“1990 MOU”). The 1990 MOU also included provisions relating to redevelopment and included as a party the former Clovis Community Development Agency. In 2011, the State adopted comprehensive legislation (ABx1 26) dissolving California redevelopment agencies and prohibiting further redevelopment activities under the California Community Redevelopment Law (former Health and Safety Code §§ 33000 et seq.)

B. On June 25, 2002, the parties entered a First Amendment to the 1990 MOU, which made substantive changes to the 1990 MOU.

C. The parties entered into additional amendments and side agreements to the 1990 MOU to address patterns of urban development and specific sphere of influence changes and annexations as follows:

- May 20, 1997, side agreement to address an annexation near Ashlan/Locan Avenues (hereafter “1997 Side Agreement”); and
- June 24, 2002, side letter agreement to address the City’s waste water plant (hereafter “2002 Side Letter Agreement”); and
- June 25, 2002, First Amendment to address new growth and special study areas, reciprocal collection of County and City development fees, sales tax equivalent provisions for new

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- 1 growth areas, and alternative standards for annexation to facilitate industrial and regional
- 2 commercial development projects (hereafter "First Amendment to 1990 MOU") ; and
- 3 • November 8, 2005, Second Amendment to address the annexation of Harlan Ranch and
- 4 the Locan/Nees Avenue area (hereafter "Second Amendment to 1990 MOU"); and
- 5 • March 14, 2012, Third Amendment to address an annexation into the Dry Creek preserve
- 6 (hereafter "Third Amendment to 1990 MOU"); and
- 7 • December 9, 2014, Fourth Amendment to expand the City's sphere of influence (hereafter
- 8 "Fourth Amendment to 1990 MOU").
- 9 • Collectively, the 1990 MOU, the 1997 Side Agreement, the 2002 Side Letter Agreement,
- 10 the First Amendment to 1990 MOU, the Second Amendment to 1990 MOU, the Third
- 11 Amendment to 1990 MOU, and the Fourth Amendment to 1990 MOU are hereafter
- 12 referred to as the "1990 MOU, as amended".

13 D. The 1990 MOU, as amended, contains some provisions that are no longer applicable to the

14 parties and the 1990 MOU, as amended is set to expire June 24, 2017. The parties desire to make

15 additional changes to their comprehensive agreement set forth in the 1990 MOU, as amended, and to

16 extend the term of their comprehensive agreement for an additional 10 years with an option for one 5 year

17 extension.

18 E. Due to the age of the 1990 MOU, as amended, the number of amendments, and a desire to

19 make additional changes, the parties determined that it is in their best interests to enter into this new

20 Restated and Amended MOU, which will replace the 1990 MOU, as amended.

21 F. The restated purposes for this MOU, as set forth in the 1990 MOU, as amended are as

22 follows:

- 23 1. County and City wish to work together to develop a fair and equitable approach to
- 24 tax sharing and encourage sound economic growth.
- 25 2. In order to encourage economic development and environmentally sound land use
- 26 planning, it is important that any tax sharing among County and City be determined in advance and that
- 27 such arrangements not be fiscally detrimental to either County or City.

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1 3. County and City recognize the importance of County and City services and are
2 prepared to cooperate in an effort to address County’s and City’s fiscal problems.

3 4. Through annexation and appropriate development, City provides the opportunity
4 for economic growth and development to support public services for City and County.

5 5. Close cooperation between County and City is necessary to maintain the quality of
6 life throughout Fresno County and deliver needed services in the most cost efficient manner to all City
7 and County residents.

8 6. County recognizes the need for orderly growth within and adjacent to City and for
9 supporting appropriate annexations and promoting the concentration of development within City. In that
10 regard, County General Plan Goal LU-G, provides that County will direct urban growth and development
11 within the City spheres of influence to existing incorporated cities and will ensure that all development in
12 City fringe areas is well planned and adequately served by necessary public facilities and infrastructure
13 and further Countywide economic development goals.

14 7. Annexation which results in the development of urban uses in response to a clearly
15 demonstrated community demand is appropriate; and well planned and fiscally sound development can
16 be a valuable tool in the physical and economic development of City and County.

17 8. City recognizes that development within City limits may also have the effect of
18 concentrating revenue generating activities within City rather than in unincorporated areas.

19 9. The parties recognize that when urban growth and development is directed to cities
20 there is a lost opportunity of development by County in the unincorporated area and the sharing of the
21 local sales and use taxes generated by such development would serve as a tool for the County to participate
22 in receiving a share of that new revenue.

23 10. It is the interest of the parties to require all new urban development to pay a roughly
24 proportionate share of the cost of urban services and infrastructure created by that development, whether
25 it occurs in the City or in the adjacent unincorporated area of the City’s sphere of influence.

26 11. The parties recognize the need to cooperate to pursue common goals of economic
27 development for citizens of the County and City.

28 G. The purpose for the 1990 MOU, as amended, as set forth above remain, and the parties

1 desire to address the fiscal, economic development, and service needs mentioned above.

2 H. Nothing in this MOU is intended to change the underlying property and sales tax sharing
3 formulas set forth in the 1990 MOU, as amended, and restated herein.

4 NOW, THEREFORE, County and City hereby agree as follows:

5 **ARTICLE I**
6 **DEFINITIONS**

7 Unless the particular provision or context otherwise requires, the definitions contained in this
8 article and in the Revenue and Taxation Code shall govern the construction, meaning, and application of
9 words used in this MOU.

10 1.1. "Base property tax revenues" means property tax revenues allocated by tax rate equivalents
11 to all taxing jurisdictions as to the geographic area comprising a given tax rate area annexed in the fiscal
12 year immediately preceding the tax year in which property tax revenues are apportioned pursuant to this
13 MOU, including the amount of State reimbursement for the homeowners' and business inventory
14 exemptions.

15 1.2. "Property tax increment" means revenue from the annual tax increment, as "annual tax
16 increment" is defined in Section 98 of the Revenue and Taxation Code, attributable to the tax rate area for
17 the respective tax year.

18 1.3. "Substantial development" or "substantially developed" means real property which, prior
19 to annexation, has an improvement value to land value ratio equal to or greater than 1.25:1, as of the lien
20 date in the fiscal year in which the annexation becomes effective.

21 1.4. "Property tax revenue" means base property tax revenue, plus the property tax increment
22 for a given tax rate area.

23 1.5. "Tax apportionment ratio" means the tax apportionment ratio of the parties for a given
24 fiscal year and shall be ascertained by dividing the amount determined for each party pursuant to Revenue
25 and Taxation Code Sections 96(a) or 97(a), whichever is applicable, by that party's gross assessed value,
26 and by then dividing the sum of the resulting tax rate equivalents of both parties into each party's tax rate
27 equivalent to produce the tax apportionment ratio.

28 1.6. "Tax rate equivalent" means the factor derived for an agency by dividing the property tax

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1 levy for the prior fiscal year computed pursuant to Section 97 of the Revenue and Taxation Code by the
2 gross assessed value of the agency for the prior fiscal year.

3 1.7. "Urban development" or "urban type development" means development not allowed in
4 areas designated Agriculture, Rural Residential or River Influence in County's General Plan or its
5 applicable community plans as of the Effective Date of this MOU.

6 **ARTICLE II**
7 **ANNEXATIONS BY CITY**

8 2.1. Any annexations undertaken by City following the date of the execution of this MOU shall
9 be consistent with both the terms of this MOU and the standards (hereinafter "The Standards" or
10 "Standards") as set forth in **Exhibit 1**. This MOU shall not apply to annexations proposed by City which
11 are not in compliance with its terms or which fail to meet The Standards. If a proposed annexation is not
12 in compliance with the terms of this MOU, including, but not limited to, The Standards, then no property
13 tax exchange agreement, as required by Revenue and Taxation Code Section 99, shall exist in regards to
14 that proposed annexation. Any such non-complying annexation shall be handled individually through
15 separate negotiations between City and County.

16 2.2. In order to encourage the orderly processing of proposed annexations, City shall, at least
17 thirty (30) days prior to filing any annexation proposal with the Fresno County Local Agency Formation
18 Commission (hereinafter "LAFCo"), notify County of its intention to file such proposal and the date upon
19 which City expects such proposal to be filed. Upon County's request, City agrees to meet with County to
20 review whether its proposed annexation complies with The Standards. Within fifteen (15) days after the
21 date County receives notice by City of its annexation proposal, County shall notify City in writing if it has
22 determined that the proposed annexation is inconsistent with The Standards. Upon receipt of such
23 notification, City may either modify the proposal to County's specifications or adopt a resolution finding
24 that the proposed annexation is, in City's determination, consistent with The Standards.

25 2.3. If City adopts a resolution making the findings described in Section 2.2, then County may
26 challenge such findings by appropriate court action filed within thirty (30) days of receipt of written notice
27 of the adoption of City's resolution. The court shall independently review the evidence and determine
28 whether the proposed annexation is consistent with The Standards.

- 5 -

2017 Amended and Restated Memorandum of Understanding
County of Fresno and City of Clovis

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1 As an alternative to a judicial challenge by the County, the parties may within the aforesaid thirty
 2 (30) day period mutually agree in writing to arbitrate their dispute through proceedings conducted in
 3 accordance with the rules established by the American Arbitration Association. The parties upon agreeing
 4 to arbitrate will proceed with arbitration in a timely manner. The arbitrator hearing the matter shall
 5 independently review the evidence and determine whether the proposed annexation is consistent with The
 6 Standards.

7 Costs incurred by the prevailing party, either in court proceedings or arbitration, shall be paid by
 8 the non-prevailing party. The parties agree that the City shall not proceed to LAFCo with the proposed
 9 annexation until the dispute is finally resolved either by court or arbitration proceedings. If City attempts
 10 to proceed with such proposed annexation prior to the expiration of the period in which County may file
 11 its court action or agree to arbitrate, or prior to the final conclusion of such court or arbitration proceedings,
 12 then this memorandum shall immediately terminate as to such annexation and in particular no property
 13 tax exchange agreement, as required by section 99 of the Revenue and Taxation Code, shall exist between
 14 City and County as to that proposed annexation.

15 Notwithstanding the foregoing, the City may proceed to LAFCo under this MOU if court or
 16 arbitration proceedings are not completed within thirty (30) days after the filing thereof provided,
 17 however, that LAFCo in its resolution of approval, at the request of the City, conditions the completion
 18 of the annexation upon the Executive Officer's prior receipt of a certified copy of the document evidencing
 19 the finality of the aforesaid court or arbitration proceedings determining that the proposed annexation is
 20 consistent with **Exhibit 1**, or alternatively, receipt of a written stipulation of the City and County agreeing
 21 that a master property tax agreement still exists permitting the completion of such proposed annexation.
 22 If LAFCo declines to include the aforesaid condition in its approval, or City fails to timely request such
 23 condition, no property tax exchange agreement as required by Section 99 of the Revenue and Taxation
 24 Code shall exist between City and County as to that proposed annexation. If City nevertheless attempts
 25 to proceed with the annexation, such action on the part of the City shall also be deemed good cause for
 26 the County at its option to terminate this MOU in its entirety.

27 2.4. For the purpose of promoting economic development and job creation, an Alternate
 28 Standard for Annexation for industrial or regional commercial uses is hereby created. In the place of the

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1 Standards for Annexation set forth in **Exhibit 1**, the Alternate Standard for Annexation shall apply to and
 2 govern the review of annexation proposals for industrial or regional commercial uses. Annexation
 3 proposals for industrial/regional commercial uses shall include a conceptual development plan, as
 4 described herein. The conceptual development plan shall consist of the economic objectives to be
 5 achieved, the service and financing strategy and its schedule, and shall include a map of the proposed
 6 rezoning. The conceptual development plan's schedule shall include milestones for major project
 7 components to measure the progress of the project. Due to the complexity of such projects the
 8 development schedule for planning and implementation may reasonably require a period of from five to
 9 ten years. The annexation proposal shall be submitted to and reviewed by the County pursuant to Section
 10 2.2. Annexation proposals that comply with the criteria of this Section 2.4 shall be deemed to comply with
 11 Section 2.1. The annexation application to be submitted to LAFCo shall be considered complete upon
 12 adoption of the rezoning by the City. County and City agree to meet annually to review the progress
 13 toward the achievement of the economic development objectives and to identify ways to promote mutual
 14 economic development objectives.

15 2.4.1. Section 2.4 shall be deemed suspended if City rezones an area that was annexed
 16 using the Alternate Standard for Annexation to a zone other than Industrial/Regional Commercial without
 17 County's consent.

18 2.5. The following conditions shall apply to the 830-acre Dry Creek Preserve area as shown on
 19 **Exhibit 2.**

20 2.5.1. Prior to approving any Master Plan development standards for the Dry Creek
 21 Preserve area, City shall notify and invite County to participate in development of the scope for the Master
 22 Plan. After meaningful consultation and taking into consideration County's comments, City may approve
 23 the Master Plan. City shall provide draft Master Plan documents to County as part of any environmental
 24 review process and in no event less than 30 days prior to City's first public hearing to consider adoption
 25 of the Master Plan.

26 2.5.2. Prior to annexations proposed in the Dry Creek Preserve, City shall demonstrate
 27 that it has sufficient capacity to provide urban services to the annexation project area and areas within 1/8
 28 mile of the site in accordance with the Clovis General Plan, Dry Creek Preserve Master Plan, and City

1 adopted master service delivery plans. Clovis commits to studying urban service delivery (at a minimum
2 provision of potable water and collection and treatment of wastewater) to the entire Dry Creek Preserve
3 in the context of its Master Plan Updates and Planning Program.

4 2.5.3. City shall demonstrate that City’s impact fee structure includes, at a minimum, fees
5 for signalization of the following intersections: Sunnyside and Shepherd, Fowler and Shepherd, Teague
6 and Fowler, Nees and Fowler, Sunnyside and Teague, and Armstrong and Nees.

7 2.5.4. As part of any proposed annexation, City shall require a Traffic Report signal
8 warrant study of the intersections listed above to determine if the proposed annexation at build out would
9 result in any of the six intersections meeting signalization warrants. If so, City shall require the developer
10 to provide said signalization as part of the conditions of approval for the development. County shall assist
11 City in the analysis of the project traffic analysis and traffic signal warrant studies for this area.

12 2.5.5. City agrees that following annexation and upon request from the Director of the
13 County’s Public Works and Planning Department, City shall conduct specific traffic enforcement
14 activities for Fowler Avenue between Shepherd and Nees Avenues, Teague Avenue between Fowler and
15 Armstrong Avenues, and Armstrong Avenue between Nees and Teague Avenues within the confines of
16 the Dry Creek Preserve area.

17 2.5.6. If intersection safety lighting or additional regulatory or warning signage
18 improvements are determined to be warranted by the County following a study for Fowler Avenue
19 between Shepherd and Nees Avenues, Teague Avenue between Fowler and Armstrong Avenues, and
20 Armstrong Avenue between Nees and Teague Avenues, City shall provide for the installation of the
21 identified facilities at City’s expense within 90 days of request by the County.

22 2.5.7. When development activity requires the construction of municipal utilities in
23 County road rights-of way, City shall obtain an encroachment permit that will, in part, obligate City to
24 timely maintenance of the roadway at City expense for any repairs created by or related to City-installed
25 improvements.

26 2.5.8. City shall provide for the pick-up and removal of illicitly dumped trash and debris
27 within the public road rights-of-way of Fowler Avenue between Shepherd and Nees, Teague Avenue
28 between Fowler and Armstrong Avenues, and Armstrong Avenue between Nees and Teague Avenues on

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1 an as needed basis or as requested by the County.

2 2.5.9. All storm drainage generated by the proposed annexation and all existing drainage
3 patterns shall be accommodated by existing or project-installed Master Planned Storm Drainage
4 infrastructure and shall not contribute to the surface flows or ponding within the unincorporated areas. All
5 new storm drainage shall conform with the Fresno Metropolitan Flood Control District's Master plan for
6 this area.

7 2.5.10. City shall provide street sweeping on Armstrong Avenue between Teague and Nees
8 Avenues; on Teague Avenue between Fowler and Armstrong Avenues; and on Fowler Avenue between
9 Shepherd and Nees Avenues, on an as needed basis or as requested by the County.

10 **ARTICLE III**

11 **EXCHANGE OF PROPERTY TAX REVENUES TO BE MADE UNDER**
12 **SECTION 99 OF THE REVENUE AND TAXATION CODE**

13 3.1. The property tax revenues collected in relation to annexations covered by the terms of this
14 MOU shall be apportioned between City and County as set forth in sections 3.2 and 3.3 below. The parties
15 acknowledge that, pursuant to Sections 54902, 54902.1 and 54903 of the Government Code and Sections
16 97 and 99 of the Revenue and Taxation Code, the distribution of such property tax revenues will not be
17 effective until the revenues are collected in the tax year following the calendar year in which the statement
18 of boundary changes and the map or plat is filed with the County Assessor and the State Board of
19 Equalization.

20 3.2. In regards to the annexation of real properties which are not considered substantially
21 developed at the time of annexation, County will retain all of its base property tax revenue upon
22 annexation. The amount of the property tax increment for special districts whose services are assumed by
23 City shall be combined with the property tax increment of the County, the sum of which shall be allocated
24 between City and County pursuant to the following ratio:

- 25 County: 63%
- 26 City: 37%

27 3.3. In regards to the annexation of real properties which are considered substantially developed
28 at the time of annexation, property tax revenue (base plus increment) will be reallocated as follows: a

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1 detaching or dissolving district's property tax revenue (base plus increment) shall be combined with
2 County's and the sum of which shall be allocated between City and County pursuant to the ratio set forth
3 in section 3.2.

4 **ARTICLE IIIA**

5 **ANNEXATIONS THAT DO NOT RESULT IN URBAN DEVELOPMENT**

6 County and City have expressed concern with the effect of property being annexed into City for
7 the purposes of urban development but being utilized for new non-urban uses. To address these concerns,
8 County and City agree to the following:

9 3A.1. City shall develop and implement policies and procedures, including amendments to its
10 General Plan, Specific Plans and zoning ordinances, as City deems appropriate, to ensure that property
11 planned for urban development and annexed into the City based upon that premise pursuant to the terms
12 of this MOU, shall not be developed with new non-urban type development.

13 3A.2. With regards to property annexed into City for the purposes of urban development, if the
14 entitlements for urban development expire and the land remains undeveloped without new urban type
15 development entitlements for a period of 365 days, or if the property is subsequently used for new non-
16 urban development uses (those not previously in active use at the time of annexation) regardless of the
17 expiration of entitlements, City agrees to do the following:

18 Pay County the Cash Equivalent of 150% of the City's incremental allocation of the Countywide
19 one-percent (1%) property tax rate that City collects from the annexation area subject to this
20 Section until said properties receive new entitlements for urban development or are developed with
21 urban type development, whichever occurs first. The first payment of Cash Equivalent shall be
22 due and payable ninety (90) days after 365 days following the expiration of the City issued
23 entitlements or (90) days after the annexed property is developed with new non-urban
24 development, whichever occurs first.

25 3A.3. The Cash Equivalent payment shall only be due on those portions of the annexation that
26 meet the requirements of Subsection 3A.2.

27 3A.4. Nothing in this Section shall prevent City from including in its policies and procedures a
28 requirement that the property owner and developer be responsible to City for the Cash Equivalent.

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ARTICLE IV
DEVELOPMENT WITHIN, ADJACENT TO AND NEAR
CITY'S SPHERE OF INFLUENCE

4.1. Development within City's sphere of influence.

4.1.1. Within one half (1/2) mile of City's boundary as set forth in **Exhibit 3**, County shall not approve any discretionary development permit for new urban development within the City's sphere of influence unless that development shall have first been referred to City for consideration of possible annexation. If City does not, within sixty (60) days of receipt of notice from County, adopt a resolution of application to initiate annexation proceedings before LAFCo, County may approve development permits for that new urban development. County's approval shall take into consideration City's general plan and be consistent with County's general plan policies, provided that the development is orderly and does not result in the premature conversion of agricultural lands.

4.1.2. Within the City's sphere of influence, County shall require compliance with development standards that are comparable to City's and charge fees reflecting the increased administrative and implementing cost where such City standards are more stringent than County's. These requirements shall apply to discretionary development applications approved by County. For purposes of this Agreement, "discretionary development applications" shall mean General Plan Amendments, Rezoning, Tentative Tract Maps, Tentative Parcel Maps, Conditional Use Permits, Director Review and Approvals, and Variances.

4.1.3. City development fees shall be charged for any discretionary development applications to be approved by the County within City's sphere of influence. To establish or amend City development fees, City shall conduct a public hearing and notify property owners in accordance with State Law. At the conclusion of that hearing, City shall adopt a resolution describing the type, amount, and purpose of City fees to be requested for County adoption.

4.1.4. City shall transmit the adopted resolution to the County for its adoption of the fees. City shall include a draft ordinance for County's adoption with appropriate supporting documentation or findings by the City demonstrating that the fees comply with Section 66000 of the Government Code and other applicable State Law requirements. City fees may also include City's and County's increased

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1 administrative costs and inspection charges.

2 4.1.5. County shall collect the applicable City development fees for infrastructure and
3 facilities at the time of final map approval or issuance of building permits as established by the fee
4 schedule. Or, County shall require the applicant to present a voucher issued by City evidencing the
5 payment of the fees directly to City, or written confirmation by City that fees are inapplicable. If County
6 imposes and collects fees on behalf of City, County shall transfer the fees to City at the earliest time legally
7 permitted.

8 4.1.6. City shall give County at least thirty (30) days notice before implementing any new
9 fees or an amendment to existing fees. Notwithstanding this Section 4.1.6, or any other provision of this
10 MOU, City shall be solely responsible for determining the amount of the fees and setting them in
11 accordance with law. This Section 4.1.6 shall not be construed as a representation by County as to the
12 propriety of the fees or the procedures used in setting them.

13 4.1.7. City shall hold harmless, defend and indemnify the County from all claims,
14 demands, litigation of any kind whatsoever arising from disputes relating to the fees, the enactment of the
15 fees or the collection of fees.

16 4.2. Development adjacent to and near City's sphere of influence.

17 4.2.1. Within the City's sphere of influence and the area beyond that sphere of influence,
18 as shown in **Exhibit 3**, County and City agree to the following prior to adopting any general plan
19 amendment allowing new urban development or approving a discretionary development permit for new
20 urban development:

21 A. With respect to general plan amendments, County shall notify City staff of the
22 proposed general plan amendment, and consult with the City at a staff level in such fashion as to provide
23 meaningful participation in County staff's analysis of the proposed general plan amendment, and shall
24 likewise consult on other policy changes which may have an impact on growth or the provision of urban
25 services. In this regard, City shall be given the opportunity to respond to County staff before the proposed
26 general plan amendment is prepared for presentation to County's Planning Commission. Such
27 consultation shall include County's solicitation of comments from City in the preparation of any Initial
28 Study required by the California Environmental Quality Act undertaken as part of County staff's analysis

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1 of the proposed general plan amendment. If City determines that urban development which could occur
 2 as a result of the proposed general plan amendment may have a significant effect on the environment,
 3 County shall require an EIR to be prepared if a fair argument, based on substantial evidence in the record
 4 before the County, can be made in support of the City's finding.

5 B. With respect to discretionary development permits for new urban development,
 6 County shall notify City staff of the proposed discretionary development permit, and consult with the City
 7 at a staff level in such fashion as to provide meaningful participation in County staff's analysis of the
 8 proposed discretionary development permit and consult with City over the potential effects on City
 9 services of the proposed development, consistency with City's general plan, and the potential for an
 10 expansion of the City's sphere of influence to include the proposed development. Consultation shall
 11 commence not less than sixty (60) days prior to the first scheduled action to consider the discretionary
 12 permit, and before the completion of environmental studies. After meaningful consultation and taking
 13 into consideration City's general plan, County may approve development permits for that new urban
 14 development that is consistent with County's general plan policies, provided that the development is
 15 orderly and does not result in the premature conversion of agricultural lands.

16 4.2.2. County shall support urban unification. To this end, County shall oppose the
 17 creation of new governmental entities within City's sphere of influence, or within one-half (1/2) mile
 18 thereof, except for such entities that may be necessary to address service requirements that cannot be
 19 addressed by annexation to City. City and County will support transition agreements with current service
 20 providers which recognize the primary role of cities as providers of urban services within urban areas and
 21 where current service providers of urban services have participated in service master planning.

22 4.3. County development fees.

23 4.3.1. If County adopts County-wide capital facilities fees, City shall require that an
 24 applicant for any land use entitlement or permit within City pay all County public facilities fees applicable
 25 to the entitlement or permit on behalf of County.

26 4.3.2. At County's request, City shall either timely impose or collect all such fees or shall
 27 require the applicant to present a voucher issued by County evidencing the payment of the fees directly to
 28 County or written confirmation by County that fees are inapplicable.

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1 4.3.3. If adopted by County, the fees are to mitigate the impact of development on required
2 County facilities and services including, but not limited to, the criminal justice system, health, social
3 services, parks, transportation and library. If City imposes and collects fees on behalf of County, City
4 shall transfer the fees to County at the earliest time legally permitted. County's fees may also include
5 City's and County's increased costs required for their administration.

6 4.3.4. County shall give City at least thirty (30) days notice before implementing any new
7 fees or an amendment to existing fees. Notwithstanding this Section 4.3.4, or any other provision of this
8 MOU, County shall be solely responsible for determining the amount of the fees and setting them in
9 accordance with law. This Section 4.3.4 shall not be construed as a representation by City as to the
10 propriety of the fees or the procedures used in setting them.

11 4.3.5. If County proposes non-County-wide fees dedicated for localized improvements or
12 quality of life issues, City is willing to consider such fee proposals.

13 4.3.6. County shall hold harmless, defend and indemnify the City from all claims,
14 demands, litigation of any kind whatsoever arising from disputes relating to the fees, the enactment of the
15 fees or the collection of fees.

16 4.4. Special Study Area.

17 4.4.1. The area generally bounded by Tollhouse Road (State Route 168) to the north, east
18 of DeWolf Avenue, generally north of the Nees Avenue alignment on the southern boundary, and
19 approximately halfway between McCall and DelRey Avenues to the east as shown in **Exhibit 4**, shall be
20 the subject of a special study area by City and County. City and County agree to discuss further planning
21 and development of the special study area, primarily for job generating uses. Development of the special
22 study area shall require an amendment to this MOU.

23 //
24 //
25 //

26 **ARTICLE V**
27 **IMPLEMENTATION OF SALES TAX**
28 **REVENUE COLLECTION**

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1 5.1. Pursuant to the Bradley Burns Uniform Local Sales and Use Tax Law, Part 1.5, Division
2 2, of the Revenue and Taxation Code (commencing with Section 7200), City consistent with the 1990
3 MOU, amended its local sales and use tax ordinance, first operative as of October 1, 1990, to provide
4 County with an equivalent sales tax revenue sharing proportion. After periodic reallocations, the County's
5 proportion is currently set at five percent (5%) of the City's one percent (1%) sales and use tax revenues
6 City receives from the Statewide sales tax generated within the incorporated areas of the City. The precise
7 amount is reflected in Clovis Municipal Code, § 3.3.310, with the City receiving .950% and the County
8 receiving .050%. The City's local sales and use tax ordinance is on file with the State Board of
9 Equalization ("SBE").

10 5.2. The City's sales and use tax ordinance enables the County, pursuant to its sales and use tax
11 ordinance, to collect from the SBE that percentage portion of the sales and use tax revenues generated
12 within the incorporated areas of City set forth in Section 5.1.

13 5.3. Whenever City proposes an annexation of unincorporated territory which generates
14 substantial sales tax revenue for County, City agrees to further amend its local sales and use tax ordinance
15 as set forth in this section. This additional amendment shall become operative no later than the
16 commencement of the next calendar quarter following the date upon which such annexation is certified as
17 complete by the Executive Officer of LAFCo. This additional amendment shall decrease City's sales tax
18 rate to yield an amount equal to the amount of substantial sales tax revenue being collected by County in
19 the area to be annexed, thus enabling County to increase its sales tax rate by a corresponding percentage,
20 which shall continue to accrue to County throughout the term of this MOU. Any such additional
21 amendment made by City pursuant to this section shall likewise preserve intact the existing percentage
22 share set forth in Section 5.1. Further, City agrees that it shall not split or separate areas into smaller
23 annexations for the purpose of, or having the effect of, creating an annexation or annexations which,
24 individually, do not generate substantial sales tax revenue, but which would generate such revenue if
25 combined. For purposes of this Article, the term "substantial sales tax revenue" shall be defined as sales
26 tax revenue derived from taxable sales in the area annexed equal to at least:

27 5.3.1. If only information, for less than one fiscal year exists, then \$100,000 in taxable
28 sales in the most recent quarter for which such information from the State Board of Equalization is

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1 available in writing or electronic media, and projected to a full four quarters, at least \$400,000 in taxable
2 sales.

3 5.3.2. If information for one or more years exists, then \$400,000 in taxable sales in the
4 most recent year for which such information from the State Board of Equalization is available in writing
5 or electronic media.

6 5.4. If City fails to amend its sales tax ordinance upon the annexation of unincorporated
7 territory which generates substantial sales tax revenue for County as provided in section 5.3, or if City
8 splits or separates areas into smaller areas as prohibited by section 5.3, then this MOU shall immediately
9 terminate and, in particular, no property tax exchange agreement, as required by Section 99 of the Revenue
10 and Taxation Code, shall exist between City and County.

11 5.5. City and County further agree that the annual report of the State Board of Equalization and
12 the Department of Finance Annual Population Estimates shall be used as the data source for the purpose
13 of calculating the per capita sales tax revenue pursuant to this MOU.

14 5.6. The provisions of Section 5.1 shall continue in effect during the entire term of this MOU
15 at the current 5% level. The sharing of sales and use tax revenues shall include only those amounts
16 collected pursuant to the Bradley-Burns Uniform Local Sales and Use Tax Law, and not any amounts
17 collected as the result of any voter approved override to the local allocation to City. The provisions of
18 Section 5.1, allowing the County to collect a portion of sales and use tax revenues generated within the
19 incorporated area of City, shall continue to apply to all incorporated areas of City, regardless of the time
20 of annexation.

21 5.7. In addition to local sales and use tax sharing pursuant to Sections 5.1 through 5.6 of this
22 Article, City shall share with and pay County the cash equivalent of an additional percentage of City's
23 portion of local sales and use taxes generated, as set forth in Section 5.8 (hereinafter "Cash Equivalent").
24 The sharing and payment of the cash equivalent of sales and use tax revenues shall include only those
25 equivalent amounts collected pursuant to the Bradley-Burns Uniform Local Sales and Use Tax Law, and
26 not any amounts collected as the result of any voter approved override to the local allocation to City. Such
27 Cash Equivalent payment shall represent only such local sales and use tax as shall be collected within City
28 limits within the Expanded Sphere of Influence, as shown on **Exhibit 5** (hereinafter "Expanded Area").

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1 No Cash Equivalent payment shall be required for that area shown as the 1983 Sphere of Influence in
 2 **Exhibit 5.** Cash Equivalent payments shall be made by City warrant to County. Such payments shall not
 3 be made by distribution by the SBE from sales and use tax collected, but shall be paid separately by City
 4 to County in an amount equal to the percentage set forth in Section 5.8.

5 5.8. The Cash Equivalent shall be three percent (3%) of City’s portion of local sales and use tax
 6 collection in City by the SBE.

7 5.9. The first payment of Cash Equivalent shall be due and payable ninety (90) days after the first
 8 quarter in which the final SBE data becomes available to City showing collection by City of sales and use
 9 tax revenue within the incorporated areas of the City annexed from the Expanded Area. Within one
 10 hundred eighty (180) days after each payment is made, City shall provide supporting documentation,
 11 including situs reports, on the calculation of the first payments. The requirements of this section shall
 12 apply to each of the first four quarterly payments made based on actual data available.

13 5.10. After the first four quarterly payments of the first year provided under section 5.9, City shall
 14 make quarterly payments based on estimates of the Cash Equivalent using the applicable percentage rate
 15 provided in Section 5.8 (hereinafter “Estimated. Payment”). The Estimated Payment shall be computed
 16 and paid quarterly by City to County at the end of each calendar quarter based on the most recent SBE
 17 data available, no later than 30 calendar days from the end of the quarter the sales and use tax revenue is
 18 collected by City, each quarter ending as follows: March 31, June 30, September 30, and December 31.
 19 Within 180 days after each quarter for which an Estimated Payment is made, City shall provide supporting
 20 documentation, including situs reports, on the calculation of the amount of each Estimated Payment, as
 21 well as the actual amount of the Cash Equivalent based upon final data for the applicable quarter. If an
 22 Estimated Payment is less than the actual amount, City shall pay such difference to the County within 30
 23 days of such calculation, but no later than 180 days after the subject quarter. If an Estimated Payment is
 24 in excess of the actual amount, such excess shall be deducted from the Estimated Payment for the
 25 subsequent calendar quarter. To the extent permitted or required by law, all supporting documentation
 26 provided by City regarding the sources of local sales and use tax revenue to County shall be deemed
 27 confidential and not made public. This restriction shall not apply to aggregate information regarding totals
 28 of revenue from the entire area.

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1 5.11. Payments will be considered delinquent if City fails to make payments of Cash Equivalent
 2 within 30 days of the quarterly payment dates listed in Section 5.10. If one or more payments become
 3 delinquent, County shall notify City of such deficiency specifying the dates said payments were due. If
 4 City does not make current all past due payments within 30 calendar days of said notice, County will
 5 notify City of its intent to terminate the property tax exchange agreement for the Expanded Area within
 6 30 calendar days of the date of the notice if full payment is not received. If City fails to make payment
 7 during the time provided by the termination notice, no property tax exchange agreement, as required by
 8 Section 99 of the Revenue and Taxation Code, shall exist between City and County for the Expanded
 9 Area.

ARTICLE VI

MANAGED GROWTH URBAN CENTERS

10
 11
 12 6.1. City agrees to manage growth and development in the new urban centers in the following
 13 manner. City agrees not to proceed with development in City’s Northwest Urban Center as depicted in
 14 **Exhibit 6**, until 60% of the developable area in the Southeast Urban Center (“Loma Vista”) as depicted
 15 in **Exhibit 6** is committed to development. Such limitation shall not apply to public facilities to be located
 16 in the Northwest Urban Center. For purposes of this section, “committed to development” shall mean a
 17 parcel that is constructed upon, has an approved Tentative Tract Map, or has an approved Site Plan Review
 18 and is either annexed to the City or the City has a pending application of annexation before LAFCo.
 19 “Committed to development” shall also mean a parcel on which development activity has occurred under
 20 jurisdiction of the County including 2.5 acre or smaller parcels with a developed single family residence.
 21 For purposes of this section “developable area” shall mean all land designated for use as follows: very
 22 low, low, medium, medium high, and high density residential; commercial; office; mixed use;
 23 industrial/employment center; or village center all as designated on the Clovis General Plan. Special
 24 studies or amendments to the City general plan for specific plans for the Northwest Urban Center
 25 conducted in advance of reaching the 60% development limitation in Southeast Urban Center shall not be
 26 considered a violation of this section.

ARTICLE VII

COUNTY AND CITY ASSURANCES ON USE OF REVENUE

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1 7.1 County recognizes that certain revenue reallocated to it by this MOU would otherwise have
 2 been appropriated by City to meet demands for services. Therefore, County agrees to use this new revenue
 3 in order to maintain levels of County services that are supportive of City services, unless the federal or
 4 state governments materially reduce the level of funding for such services. Examples of such County
 5 services include: criminal justice system, public health, and other similar services. This section shall not
 6 be construed as establishing minimum levels of County services that are supportive of City services.

7 7.2 City agrees to continue enforcement of laws which result in the collection of fines and
 8 forfeitures.

ARTICLE VIIA

ADMINISTRATIVE PROCESSING FEE

11 7.3 City agrees to pay to County, as additional consideration for entering into this MOU, a one-
 12 time fee of \$75,000. Payment shall be made within 60 days of the Effective Date of this MOU. This fee
 13 is to cover County’s costs of developing, administering, and implementing this MOU throughout its term.

ARTICLE VIII

COOPERATIVE EFFORTS AT LEGISLATIVE REFORM

16 8.1 City and County agree to work jointly for state legislation and appropriations that would
 17 improve the fiscal condition of City and County.

ARTICLE IX

TERM OF MOU AND TERMINATION

20 9.1. Term of MOU.

21 This MOU shall commence as of the date of execution by County and City and shall remain in
 22 effect through June 30, 2027 (“Initial Term”). This MOU shall be automatically extended for one
 23 additional five (5) year period, through June 30, 2032 (“Extension Term”), unless either party provides
 24 written notice not less than one hundred eighty (180) days prior to expiration of the Initial Term, of its
 25 desire to not extend this MOU. This MOU may also be terminated at any time by mutual agreement of
 26 the parties.

27 9.2. Termination.

28 Should all or any portion of this MOU be declared invalid or inoperative by a court of competent

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1 jurisdiction, or should any party to this MOU fail to perform any of its obligations hereunder, or should
2 any party to this MOU take any action to frustrate the intentions of the parties as expressed in this MOU,
3 then in such event, this entire MOU, as well as any ancillary documents entered into by the parties in order
4 to fulfill the intent of this MOU, shall immediately be of no force and effect and, in particular no property
5 tax exchange agreement, as required by Section 99 of the Revenue and Taxation Code, shall exist between
6 the City and County as to unincorporated property, and City shall not be required to further amend its
7 sales tax ordinance.

8 9.3. Renegotiation Following Court Action.

9 If this Agreement is terminated by reason of court action, the parties agree to negotiate in good
10 faith to achieve new agreement consistent with fundamental objectives of this MOU.

11 9.4. Penalty for County’s Arbitrary Termination.

12 Other than termination for a reason specified in this MOU, if the County terminates this Agreement
13 arbitrarily and without good cause, the City shall be entitled to increase its sales tax by one-half of one
14 percent (.005) above its tax in place at the time of County’s breach, beginning the next calendar quarter
15 following the expiration of thirty (30) days written notice of breach to County.

16 9.5. Penalty for City’s Arbitrary Termination.

17 Other than termination for a reason specified in this Agreement, if the City terminates this
18 Agreement arbitrarily and without good cause, the County shall be entitled to increase its sales tax by one-
19 half of one percent (.005) above its tax in place at the time of City’s breach, beginning the next calendar
20 quarter following the expiration of thirty (30) days written notice of breach to City.

21 9.6. Implementation of Penalties.

22 The parties covenant to make necessary changes in their respective sales tax ordinances to
23 effectuate the intent hereof notwithstanding termination of this MOU.

24 9.7. Termination Due to Changes in Law.

25 The purpose of this MOU is to alleviate in part the revenue shortfall experienced by County which
26 may result from City’s annexation of revenue-producing or potentially revenue producing properties
27 located within the unincorporated area of County. The purpose of this MOU is also to enable City to
28 proceed with territorial expansion and economic growth consistent with the terms of existing law as

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1 mutually understood by the parties as well as to maximize each party’s ability to deliver essential
2 governmental services. In entering into this MOU, the parties mutually assume the continuation of the
3 existing statutory scheme for the distribution of available tax revenues to local government and that
4 assumption is a basic tenet of this MOU. Accordingly, it is mutually understood and agreed that this MOU
5 may, by mutual agreement be terminated should changes occur in statutory law, court decisions or state
6 administrative interpretations which negate the basic tenets of this MOU.

7 9.8. Termination Due to Breach or Default.

8 Except as provided in Article II, prior to this MOU being terminated for breach or default by City,
9 County shall provide notice to City of such breach, and City shall comply with the terms and conditions
10 of this MOU within thirty (30) days of receipt of notice. If City fails to timely comply, this MOU shall
11 terminate as provided herein. During the thirty (30) day notice period and until City certifies in writing
12 that it is in compliance and County agrees in writing, no property tax exchange agreement, as required by
13 Section 99 of the Revenue and Taxation Code, shall exist between County and City with respect to any
14 pending annexations.

15 In like manner the City shall give County thirty (30) days written notice and opportunity to cure
16 any alleged breach of this MOU on the part of the County.

17 **ARTICLE X**
18 **GENERAL PROVISIONS**

19 10.1. Exhibits.

20 Exhibits 1, 2, 3, 4, 5, and 6 are incorporated into and made a part of this MOU.

21 10.2. Modification.

22 This MOU and all of the covenants and conditions set forth herein may be modified or amended
23 only by writing a duly authorized and executed by County and City.

24 10.3. Enforcement.

25 County and City each acknowledge that this instrument cannot bind or limit themselves or each
26 other or their future governing bodies in the exercise of their discretionary legislative power. However,
27 each binds itself that it will insofar as is legally possible fully carry out the intent and purposes hereof, if
28 necessary by administrative action independent of ordinances, and that this MOU may be enforced by

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1 injunction to the extent allowed by law.

2 10.4. Entire MOU; Supersession.

3 With respect to the subject matter hereof, this MOU supersedes any and all previous negotiations,
4 proposals, commitments, writings, and understandings of any nature whatsoever between County and City
5 except as otherwise provided herein. In addition, this MOU supersedes the 1990 MOU, as amended. This
6 MOU does not supersede the "Joint Resolution on Metropolitan Planning" except where that resolution is
7 inconsistent with this MOU; in such a case, this MOU supersedes the resolution.

8 10.5. Notice.

9 All notices, requests, certifications or other correspondence required to be provided by the parties
10 to this MOU shall be in writing and shall be delivered by first class mail or an equal or better form of
11 delivery to the respective parties at the following addresses:

12 COUNTY
13 County Administrative Officer
14 County of Fresno
15 Hall of Records, Room 300
16 2281 Tulare Street
17 Fresno, CA 93721

CITY
City Manager
City of Clovis
City Hall
1033 Fifth Street
Clovis, CA 93612

16 10.6. Most Favored Nation Clause; Renegotiation.

17 If County enters into an MOU with another City that has terms and conditions more favorable in
18 the aggregate to that City than those terms and conditions contained herein, County agrees that it will
19 negotiate such terms and conditions upon written request from City, with the intent of offering a more
20 favorable agreement. Negotiations shall conclude thirty (30) days from the date of receipt of notice by
21 County and, if agreement is tentatively reached during that period, the legislative bodies of the parties
22 shall approve any such amendment within thirty (30) days following the date of the tentative agreement.
23 County and City are not required to reach agreement.

24 10.7. Other Remedies.

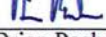
25 Except as otherwise provided in this MOU for a breach of its terms and conditions, the parties may
26 enforce this MOU in any other manner authorized by law.

27 IN WITNESS WHEREOF, the parties hereto have executed this MOU in the County of Fresno,
28 State of California, effective on the dates set forth above.

LOZANO SMITH
7404 N. Spalding Avenue Fresno, CA 93720-3370
Tel 559-431-5600 Fax 559-261-9366

1 **COUNTY OF FRESNO**, a Political
2 Subdivision of the State of California
3 ("County")

CITY OF CLOVIS, a Municipal
Corporation of the State of California ("City")

4 By: 
5 Brian Pacheco, Chairman
6 Board of Supervisors

4 By: 
5 Bob Whalen, Mayor
6 City of Clovis

6 **ATTEST:**

6 **ATTEST:**

7 BERNICE E. SEIDEL
8 Clerk to the Board of Supervisors

7 JOHN HOLT
8 City Clerk, City of Clovis

8 By: 
9 Deputy

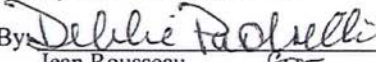
8 By: 
9 John Holt, City Clerk

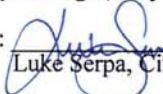
10 **REVIEWED AND RECOMMENDED
11 FOR APPROVAL:**

10 **REVIEWED AND RECOMMENDED
11 FOR APPROVAL:**

11 JEAN ROUSSEAU
12 County Administrative Officer

11 LUKE SERPA
12 City Manager, City of Clovis

13 By: 
14 Jean Rousseau ^{for}
15 County Administrative Officer


13 By: 
14 Luke Serpa, City Manager


15 **APPROVED AS TO LEGAL FORM:**

15 **APPROVED AS TO LEGAL FORM:**

16 DANIEL CEDERBORG
17 Fresno County Counsel

16 DAVID J. WOLFE, City Attorney, City of
17 Clovis

17 By: 
18 Deputy

17 By: 
18 David J. Wolfe, City Attorney

19 **APPROVED AS TO ACCOUNTING
20 FORM:**

20 OSCAR J. GARCIA, CPA
21 Auditor-Controller/Treasurer-Tax Collector

22 By: 
23 Deputy

LOZANO SMITH
7404 N. Spalding Avenue Fresno, CA 93720-3370
Tel 559-431-5600 Fax 559-261-9366

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EXHIBIT I

STANDARDS FOR ANNEXATION

- The proposal must be consistent with adopted sphere of influence of the city and not conflict with the goals and policies of the Cortese-Knox-Hertzberg Act.
- The proposal must be consistent with city general and specific plans, including adopted goals and policies.
- Pursuant to CEQA, the proposal must mitigate any significant adverse effect on continuing agricultural operations on adjacent properties, to the extent reasonable and consistent with the applicable general and specific plan.
- A proposal for annexation is acceptable if one of the following conditions exist:
 1. There is existing substantial development provided the City confines its area requested to that area needed to include the substantial development and create logical boundaries.
 2. Development exists that requires urban services which can be provided by the City.
 3. If no development exists, at least 50% of the area proposed for annexation has:
 - (i) Approved tentative subdivision map(s) (S.F. residential)
 - (ii) Approved site plan (for other uses)
- The proposal would not create islands. Boundaries must ultimately minimize creation of peninsulas and corridors, or other distortion of boundaries. For any of the following circumstances a proposal for annexation is presumed to comply with all standards for annexation:
- The request for annexation is by a city for annexation of its own publicly-owned property for public use.
- The request for annexation is by a city in order to facilitate construction of public improvements or public facilities which otherwise could not be constructed.
- The request for annexation is to remove an unincorporated island or substantially surrounded area.
- The request for annexation is for an industrial or regional commercial project for which a development application has been made and no significant adverse environmental impact will result that cannot be mitigated or overridden by a necessary public purpose. Condition(s) assuring the financing or completion of necessary development infrastructure before completion of annexation

- 24 -

2017 Amended and Restated Memorandum of Understanding
County of Fresno and City of Clovis

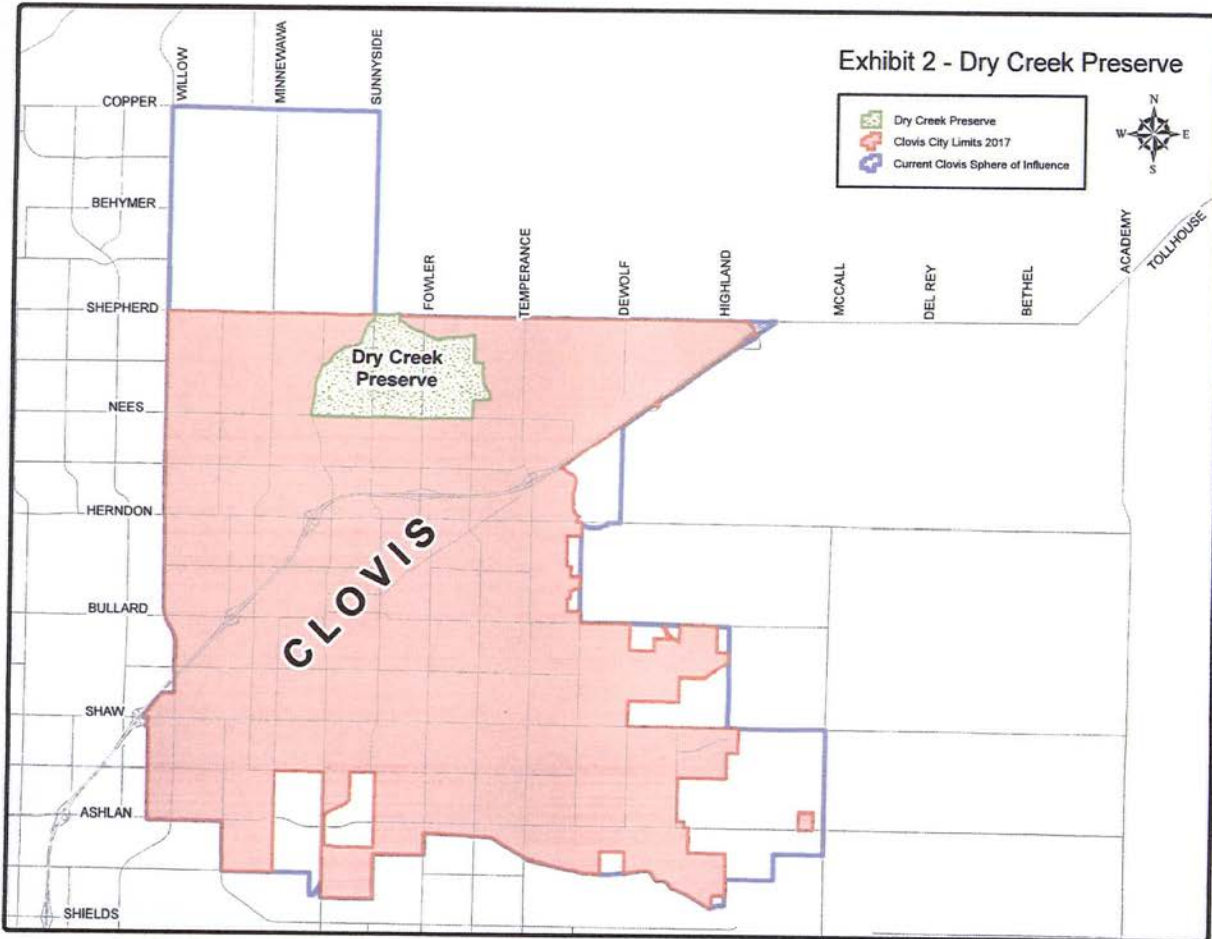
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shall be made a part of the proposal.

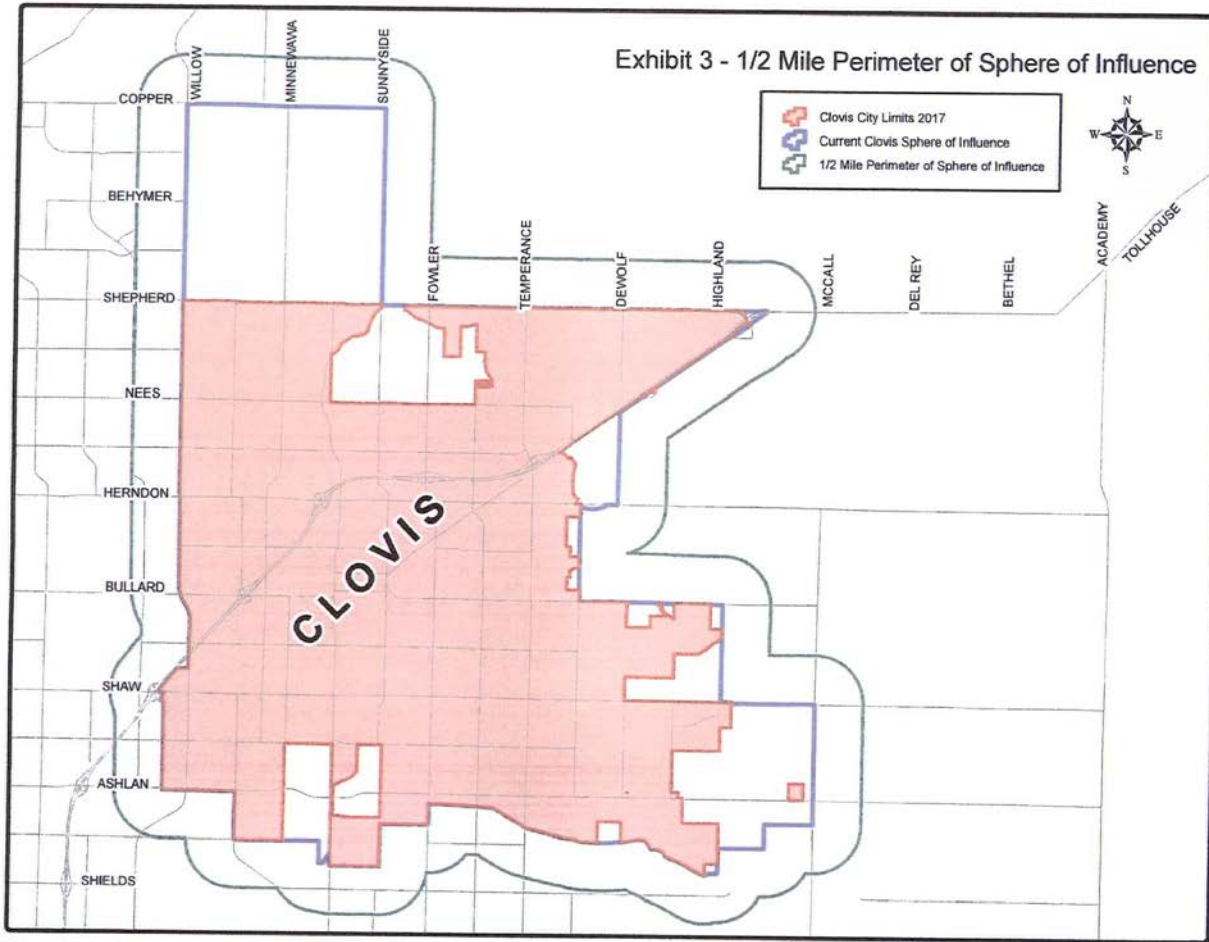
- The annexation is intended to mitigate or otherwise comply with standards/conditions required by another agency with respect to another development/annexation.

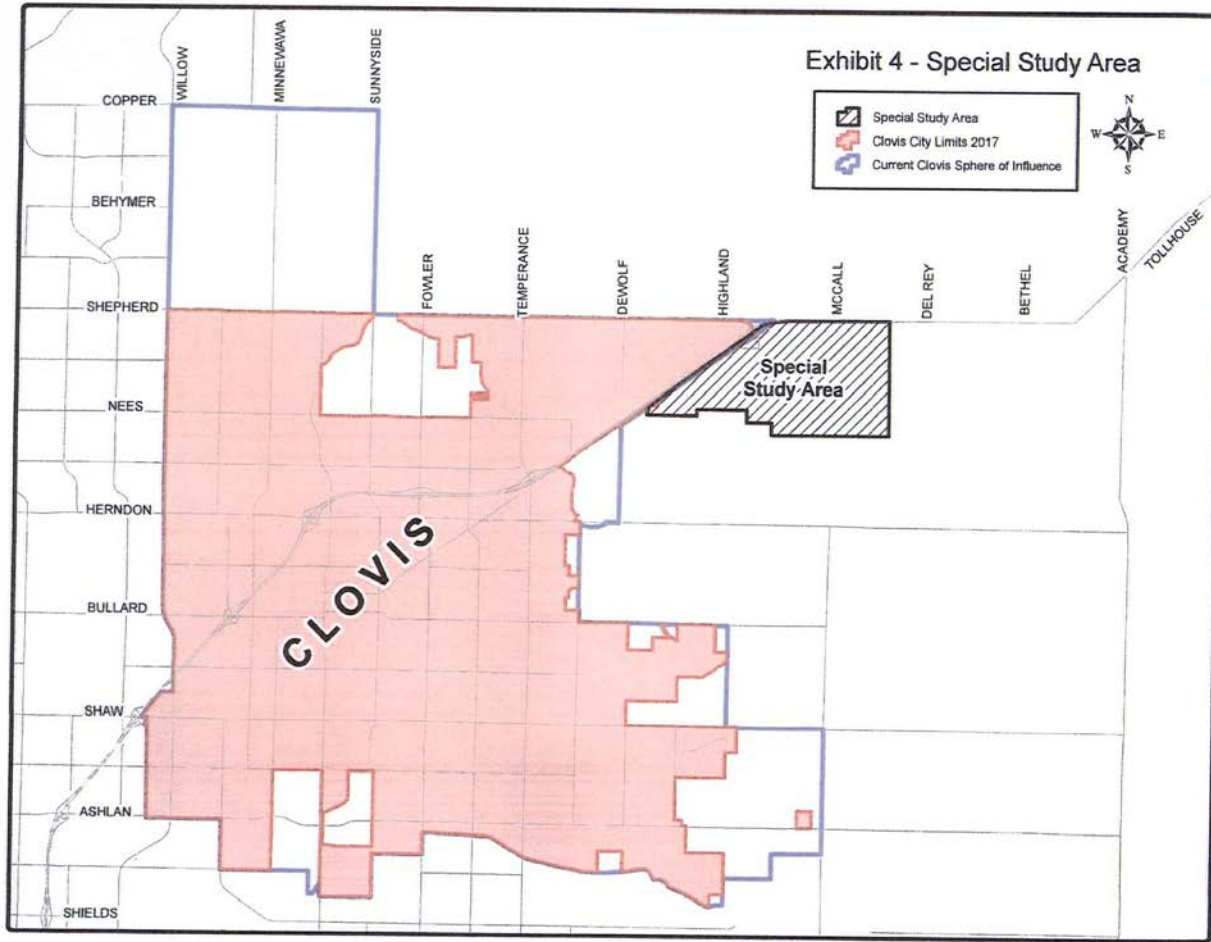
LOZANO SMITH
7404 N. Spalding Avenue Fresno, CA 93720-3370
Tel 559-431-5600 Fax 559-261-9366

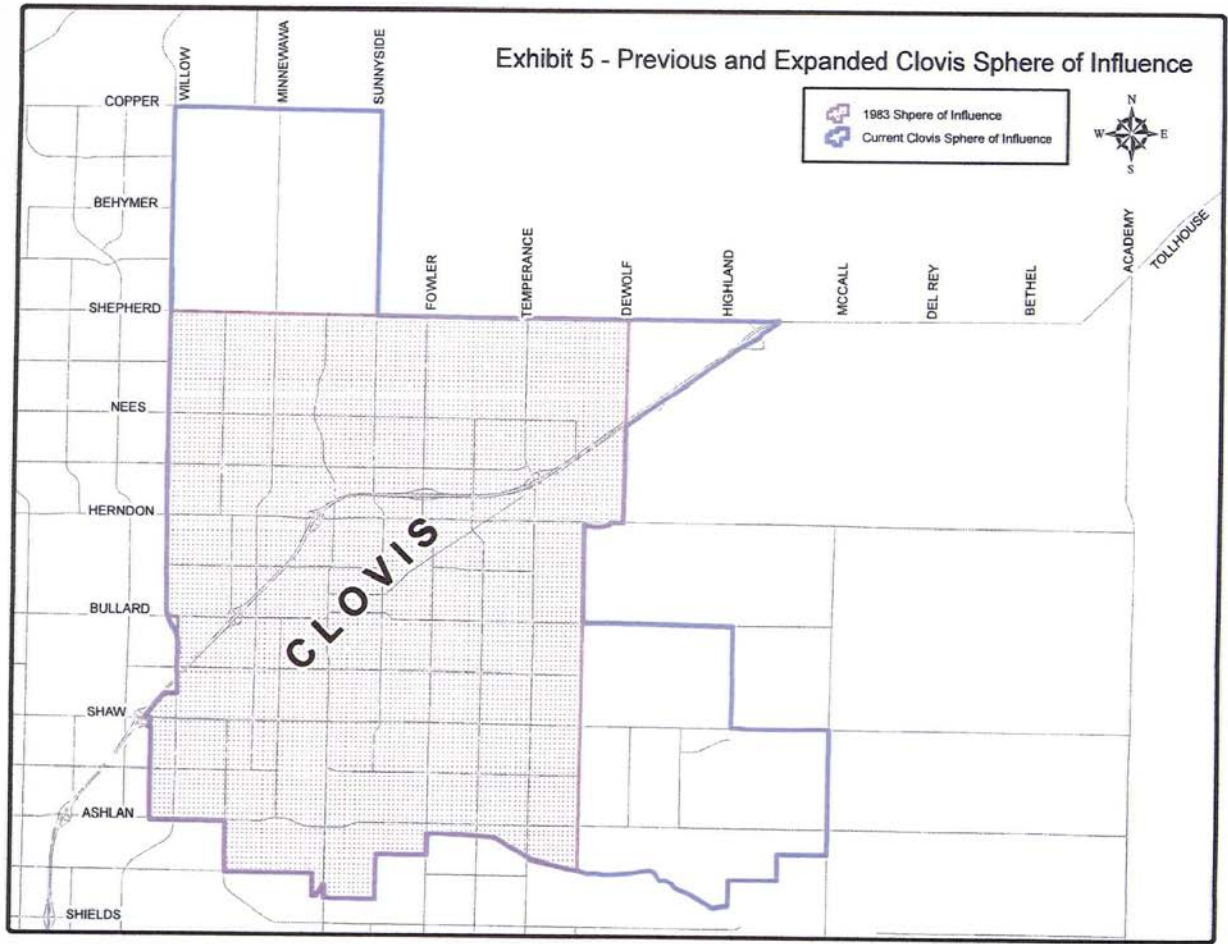
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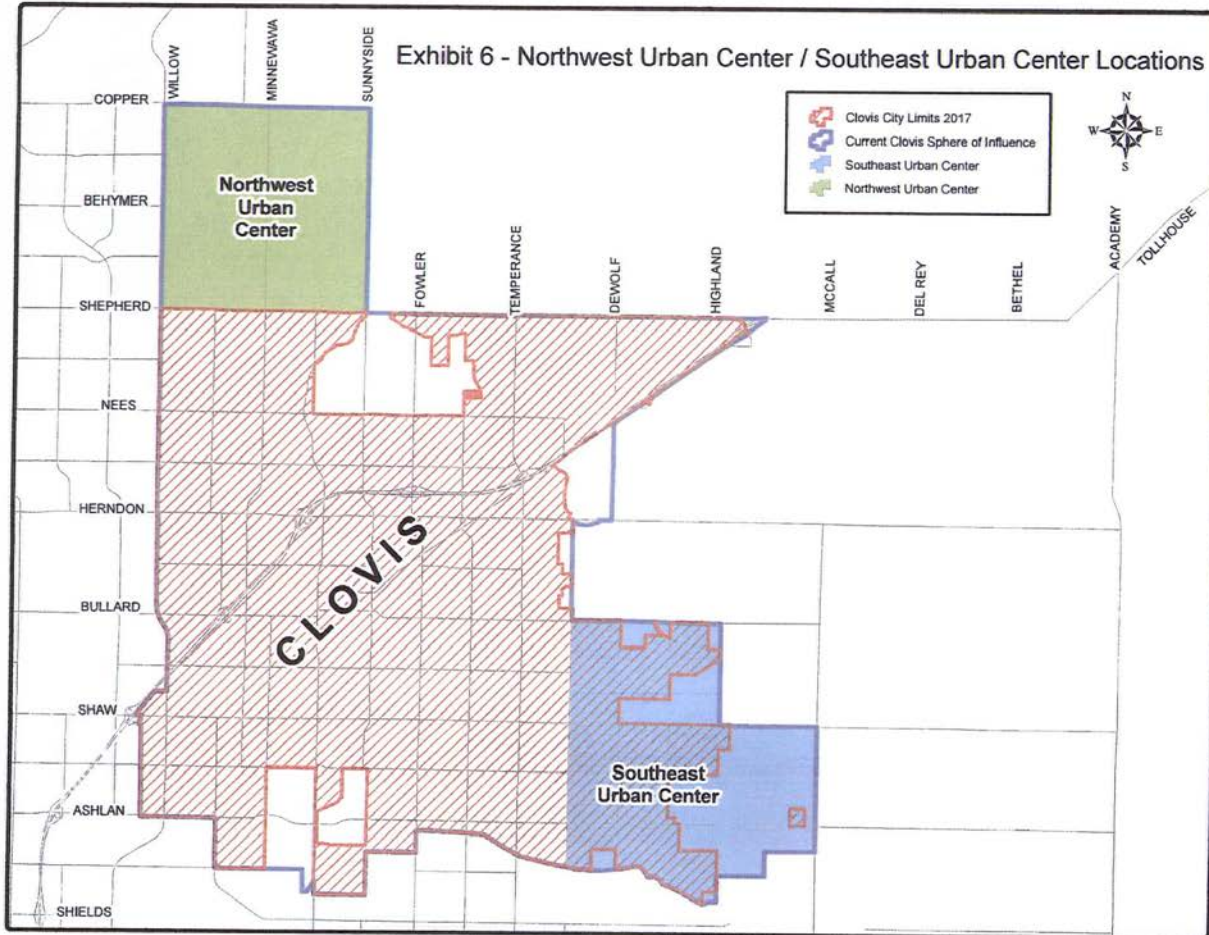
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CITY *of* CLOVIS

REPORT TO THE CITY COUNCIL

TO: Mayor and City Council

FROM: Planning and Development Services

DATE: March 18, 2024

SUBJECT: Consider items associated with approximately 155 acres of land located on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues. Great Bigland, LP., owner/ applicant; Harbour and Associates, representative.

- a. Consider Approval - Res. 24-___, A Resolution of the Clovis City Council: (1) Certifying the Final Environmental Impact Report for the Shepherd North Project; (2) Adopting CEQA Findings of Fact and a Statement of Overriding Consideration; and (3) Adopting a Mitigation Monitoring and Reporting Program.
- b. Consider Approval – Res. 24-___, A Resolution of the Clovis City Council approving a request to expand the City’s Sphere of Influence to include approximately 155 acres of land.
- c. Consider Approval - Res. 24-___, GPA2021-006, A Resolution of the Clovis City Council approving a request to amend the circulation element of the General Plan to allow for the placement of a Shepherd Avenue access point on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues.
- d. Consider Approval - Res. 24-___, GPA2021-005, A Resolution of the Clovis City Council approving a request to amend the land use element of the General Plan for the Development Area (approximately 77 acres) from the Rural Residential land use designation to the Medium-High Density Residential land use designation.
- e. Consider Introduction - Ord. 24-___, R2021-009, An Ordinance of the Clovis City Council approving a request to prezone property within the Development Area (approximately 77 acres) of the Project site from the Fresno County AL20 Zone District to the Clovis R-1-PRD Zone District.

- f. Consider Approval - Res. 24-____, TM6205, A Resolution of the Clovis City Council approving a request to approve a vesting tentative tract map for a 605-lot single-family planned residential development.
- g. Consider Approval - Res. 24-____, PDP2021-004, A Resolution of the Clovis City Council approving a request to approve a planned development permit for a 605-lot single-family residential development.
- h. Consider Approval - Res. 24-____, RO307, A Resolution of the Clovis City Council approving Application for the Annexation of the Territory known as the Shepherd-Sunnyside Northeast Reorganization for the Development Area (approximately 77 acres).
- i. Consider Approval - Res. 24-____, A Resolution of the Clovis City Council approving an amendment to the 2017 Amended and Restated Memorandum of Understanding between the County of Fresno and City of Clovis regarding a Sphere of Influence Expansion to add approximately 155 acres and the Standards of Annexation to address the annexation of approximately 77 acres of property (Shepherd-Sunnyside Northeast Reorganization).

Staff: George González, Senior Planner

Recommendation: Approve

ATTACHMENTS:

1. Draft Resolution CEQA
2. Draft Resolution GPA2021-006
3. Draft Resolution GPA2021-005
4. Draft Ordinance R2021-009
5. Draft Resolution TM6205
6. Draft Resolution PDP2021-004
7. Draft Resolution RO307
8. Draft Resolution Fourth Amendment to MOU
9. Applicant's Justification for GPA2021-005 & GPA2021-006
10. Applicant's Development Standards – Citrea
11. Applicant's Development Standards – Elev8ions
12. Applicant's Development Standards – Regent Park
13. Floor & Elevation Plans – Citrea
14. Floor & Elevation Plans – Elev8ions
15. Floor & Elevation Plans – Regent Park
16. Open Space & Park Exhibit
17. Draft Project EIR – Volume I
18. Draft Project EIR – Volume II
19. Revised Final EIR, including Comment Letters, Responses to Comment Letters and Text Revisions to the Draft EIR
20. Correspondence from Commenting Agencies
21. Findings in Support of Project Applications

22. SOI Expansion & Annexation Area Map
23. Specific Service Plan
24. 2017 Amended and Restated Memorandum of Understanding between the County of Fresno and City of Clovis
25. Letter from Martine Borges
26. Existing and Proposed Shepherd Avenue Improvements

CONFLICT OF INTEREST

Councilmembers should consider recusal if a campaign contribution exceeding \$250 has been received from the project proponent (developer, applicant, agent, and/or participants) within the preceding 12 months (Government Code 84308).

RECOMMENDATION

Staff recommends that the City Council take action to approve each component of the proposed Project as outlined in the subject title of this item.

EXECUTIVE SUMMARY

The applicant is requesting to amend the Clovis General Plan Land Use Designation for approximately 77 acres (Development Area) of property located at the northeast corner of Shepherd and N. Sunnyside Avenues from the Rural Residential (1 DU/2 AC) land use designation to the Medium-High Density Residential (7.1 to 15.0 DU/AC) land use designation. Additionally, the applicant is requesting to amend the Clovis General Plan Circulation Element to allow for the placement of a Shepherd Avenue access point on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues. The applicant is proposing to prezone the Development Area (approximately 77 acres) from the Fresno County AL20 Zone District to the Clovis R-1-PRD Zone District. The applicant is requesting a vesting tentative tract map approval for a 605-lot gated and non-gated single-family planned residential development with private and public streets, increased lot coverage, and reduced building setbacks.

The proposed Project is not located within the City's existing SOI and will require an SOI expansion and annexation into the City before development can proceed. Therefore, the applicant is requesting that the City Council approve a Resolution of Application for the Annexation of the development area and approve the Fourth Amendment to the Memorandum of Understanding between the County of Fresno and City of Clovis. The applicant is proposing a Homeowner's Association (HOA) with this project. Approval of this Project would allow the developer to continue processing a residential site plan review entitlement and development drawings.

BACKGROUND

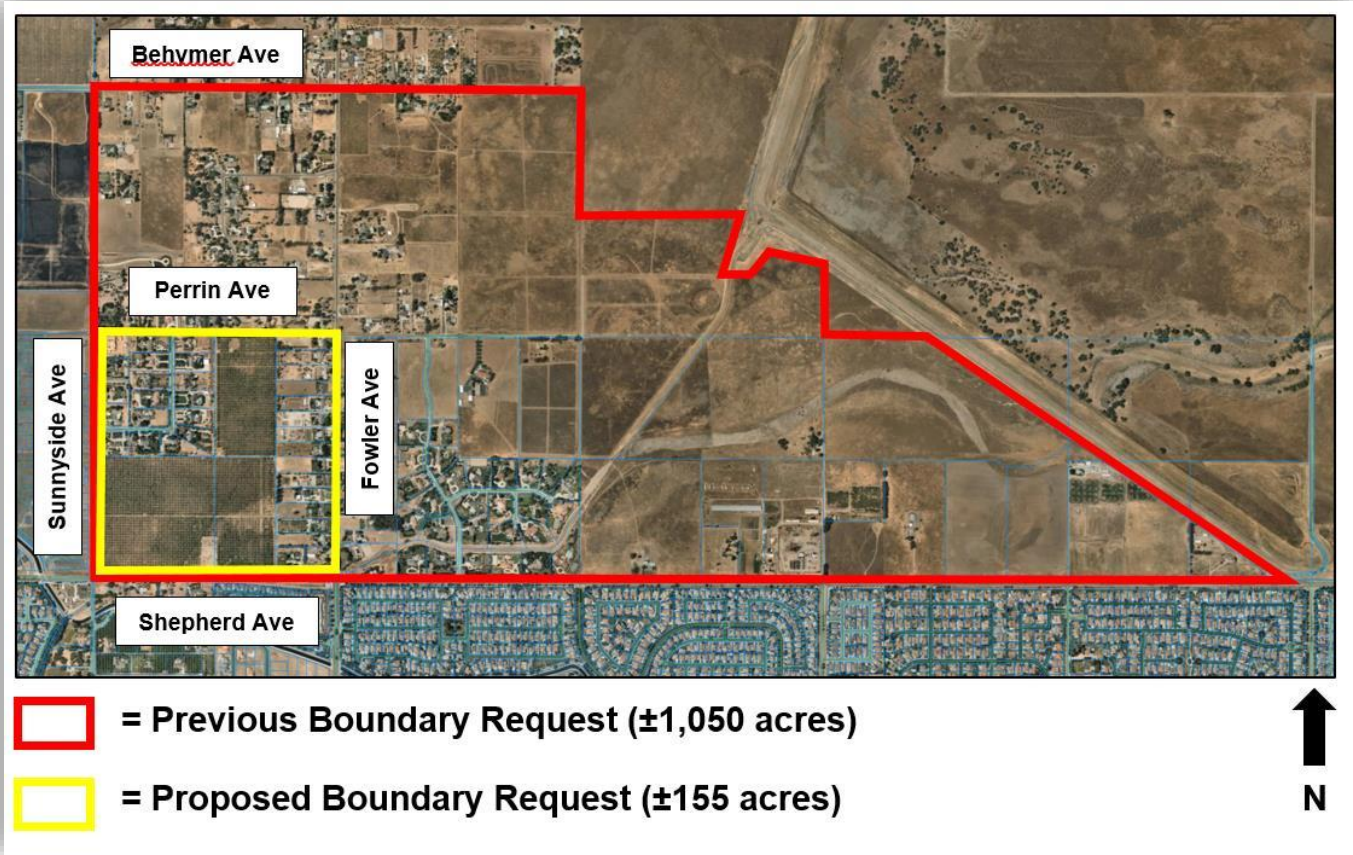
- General Plan Designation: Rural Residential (1 DU/2 AC)
- Existing Zoning: Fresno County AL20 Zone District
- Lot Size: Approximately 77 Acres
- Current Land Use: Agricultural
- Adjacent Land Uses:
 - North: Rural Residential
 - South: Rural Residential and Single-Family Residential
 - East: Rural Residential
 - West: Single-Family Residential and Rural Residential

A brief history of the proposed Project related to the requested Sphere of Influence (SOI) expansion is presented as follows:

- **June 2016**: Staff received a request from the applicant to allow for the urbanization of the subject property at the northeast corner of Shepherd and N. Sunnyside Avenues. Staff began an internal cursory evaluation of the request to identify potential challenges and issues that would require a more detailed evaluation to assess the feasibility of the SOI amendment.
- **June and September 2018**: The applicant's representative submitted a request for the City Council to consider direction and to allow for staff to proceed with the SOI amendment process. Staff presented the request to the City Council for consideration and sought direction. The City Council ultimately directed staff to continue exploring the feasibility and to report back to City Council with an update; however, no direction was given to formally proceed at this hearing.
- **March 2020**: Staff received direction from the City Council to move forward and prepare environmental studies related to approximately 77 acres of land at the northeast corner of Shepherd and N. Sunnyside Avenues and to include the neighborhood at the corner of Perrin Road and Sunnyside Avenue as part of the environmental review.
- **April 2020**: Following the City Council's direction at the March 2, 2020 public hearing, the applicant requested via email on April 20, 2020 that the project be placed on hold due to economic uncertainty in the housing industry as a result of COVID-19.
- **July and August 2020**: The applicant requested staff to continue the process and staff released a request for proposal (RFP) for preparation of an Environmental Impact Report and related studies. Following release of the RFP, the applicant requested a revision to the SOI boundary to include an additional 750 acres, for a total SOI expansion of approximately 825 acres.
- **September 2020**: Staff received direction from the City Council to move forward with the process of amending the Clovis SOI and conduct a neighborhood outreach meeting with property owners within the expanded SOI of $\pm 1,050$ acres located on the north side of Shepherd Avenue to Behymer Avenue and generally between N. Sunnyside Avenue and the Dry Creek Reservoir.
- **November 2020**: City staff held a neighborhood meeting with property owners in and around the proposed SOI amendment.
- **March 2021**: City Council considered and approved the requests for the City to enter into a consultant agreement with De Novo for preparation of an EIR for amending the City's SOI by approximately $\pm 1,050$ acres and for preparation and submittal of an application to the Fresno Local Agency Formation Commission (LAFCo).
- **March 2021 to October 2021**: Following the City Council direction, staff entered into a consultant agreement with De Novo in April of 2021 and received deposits for payment from the applicant to begin work on the EIR. The applicant submitted a proposed modification request to reduce the proposed amendment to the SOI from $\pm 1,050$ acres to ± 155 acres.

- **November 2021:** City Council approved and authorized a reduction in acreage related to an amendment to the City's SOI from $\pm 1,050$ acres to ± 155 acres (as shown below in **Figure 1**) and allow for the preparation and submittal of an updated application to LAFCo. Additionally, the City Council allowed the City Manager to execute a modified consultant agreement between the City of Clovis and De Novo Planning Group (De Novo) for the preparation of an Environmental Impact Report (EIR) and related services for the revised SOI boundary.

FIGURE 1



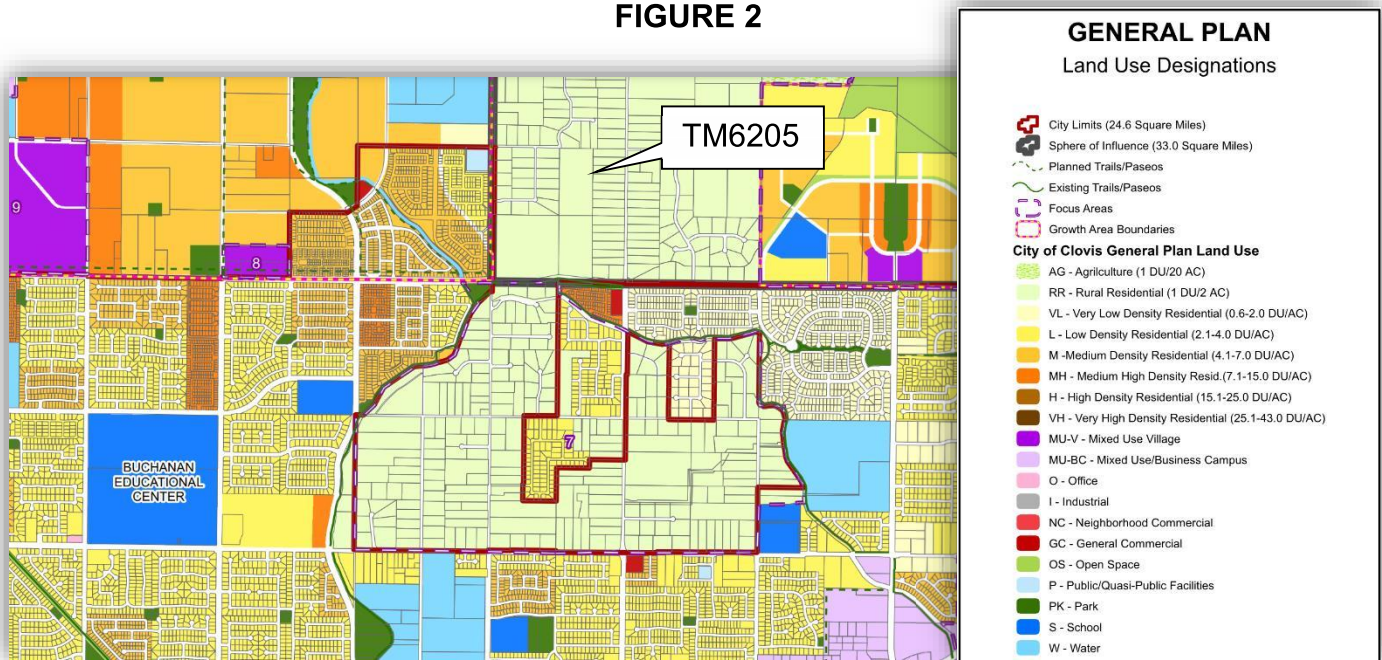
PROPOSAL AND ANALYSIS

Two (2) General Plan Amendments

Proposal

The first general plan amendment is requesting to amend the General Plan Circulation Element to allow for the placement of a Shepherd Avenue access point on the north side of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues. The second general plan amendment is requesting to amend the General Plan Land Use Designation for approximately 77 acres (Development Area) of property located at the northeast corner of Shepherd and N. Sunnyside Avenues from the Rural Residential (1 DU/2 AC) land use designation to the Medium-High Density Residential (7.1 to 15.0 DU/AC) land use designation. A general plan amendment is a change in City policy and requires a compelling reason for change. The applicant has provided a justification for both proposed general plan amendments (see **Attachment 9**).

FIGURE 2



Analysis

The proposal to re-designate the Project site (Development Area) from Rural Residential to Medium-High Density Residential represents a request to establish a compatible land use with the existing single-family planned residential development directly south of the Project site near the southwest corner of Shepherd and N. Fowler Avenues. Staff’s analysis of the proposed Medium-High Density Residential land use considered the location of the site, its surroundings, and the environmental impacts associated.

The subject property is situated between Medium Density Residential developments and Rural Residential to the west and north, Rural Residential developments to the east, and Medium Density Residential and Rural Residential to the south. The applicant is requesting to construct a single-family detached planned residential development at a density of 7.77 units per acre with

access from Shepherd and N. Sunnyside Avenue. The proposed residential development will not have direct vehicle access to the rural residential properties to the east of the Project site.

Due to the Project location and surroundings, the proposed change in land use is consistent with the intent of the General Plan to create a consistent design theme and mixture of housing types. Staff recommends the amendment to the Land Use Element as a package in conjunction with the rezoning, tract map, and planned development permit applications described below, which establish project-specific development standards and design components for the Project.

Shepherd Avenue Access

Shepherd Avenue is currently designated an expressway from Clovis Avenue to State Route 168. West of Clovis Avenue, Shepherd Avenue is designated as an arterial. Arterial streets generally permit access at eighth-mile points, typically for project-specific access. Likewise, expressways are limited access streets designed to carry regional traffic. Access points are generally limited to half-mile points (major streets).

The 1993 General Plan included a beltway street (expressway), that extended from the City of Fresno's Plan at Copper and Willow Avenues, turned south at the Clovis Avenue alignment, then east at Shepherd Avenue eventually looping into McCall Avenue. This specific beltway was removed with adoption of the 2014 General Plan Update. The 2014 General Plan kept the expressway designation east of Clovis Avenue, as most of the segment was developed on the south side.

The only existing entry and exit access point to the proposed Project site is from N. Sunnyside Avenue at the existing roundabout. The applicant is proposing an access point on Shepherd Avenue approximately 1,000 feet east of N. Sunnyside Avenue to serve as a second primary point of access for the proposed residential development. The proposed access would permit vehicles to turn right-in, right-out, and left-in only. The applicant states that this modification is necessary due to the constraint of limited access to N. Sunnyside Avenue for the proposed Project. The Shepherd Avenue access will provide added circulation for residents and emergency services. Additionally, there is no access to N. Fowler Avenue to the east of the Project site, without accessing the rural residential/ County roads (Stanford Avenue and Ticonderoga Avenue), north of Perrin Road.

In reviewing the Shepherd Avenue access point, staff has determined that traffic on Fowler Avenue (south of Shepherd Avenue) traveling north to the Project site would travel westbound via Shepherd Avenue to northbound N. Sunnyside Avenue or the proposed Shepherd access point. Generally, traffic leaving the site would travel southbound on N. Sunnyside Avenue. The additional Shepherd access does not change this traffic as all travel will continue along westbound or eastbound Shepherd Avenue. However, the Shepherd Avenue access point improves porosity of the southern half of the Project site and also improves the ability for emergency services to respond.

In light of this information, staff has evaluated the applicant's proposal and agrees with the request for the mid-block connection as it will improve porosity. The Fire Department has also reviewed the proposed mid-block connection and has expressed its support for the additional Shepherd Avenue point of access as it will improve emergency response times and circulation through the Project site. Staff has included a condition of approval to this effect and will further define the specific entry details through the review process for the civil improvement plans.

Shepherd Avenue Improvements

Shepherd Avenue is currently improved with a 2-lane roadway between N. Sunnyside and N. Fowler Avenues. If approved by Council, the Project is conditioned to improve Shepherd Avenue for full build out on both the north and south sides of the median to a 4-lane divided street. Additionally, the Project will be conditioned to construct the community trail along the south side of Shepherd Avenue, which will connect to the existing Enterprise trail to the east. Please see **Attachment 26** for an exhibit showing the current conditions of Shepherd Avenue and the proposed full build out improvements.

Traffic Study

A Transportation Impact Analysis (TIA) was prepared by LSA in July 2023 for the proposed Project, which examined traffic operations in the vicinity of the proposed Project under the following scenarios:

- Existing Conditions
- Existing Plus Project Conditions
- Near-Term Plus Project Conditions
- Cumulative without Project Conditions
- Cumulative Plus Project Conditions

The traffic analysis concluded that all intersections and roadway segments are forecast to operate at a satisfactory LOS under Near-Term Plus Project conditions and under Cumulative Plus Project Conditions with identified improvements. The TIA identified necessary improvements where an operational deficiency has been identified and concluded that impacts to LOS would be considered Less Than Significant.

It's important to note that Level of Service (LOS) may no longer be used as a CEQA metric to identify significant transportation impacts in CEQA documents for land use projects. However, the traffic study includes a LOS analysis to determine if the proposed Project would result in deficient intersection operations per City of Clovis standards.

Per current CEQA Guidelines, transportation impacts are to be evaluated based on a project's effect on Vehicle Miles Traveled (VMT). Based on the detailed VMT analysis performed for the proposed Project, the implementation of Project design features may possibly reduce the Project's VMT impacts, but these reductions will not reduce the impact to a Less Than Significant level. Therefore, resulting in a Significant and Unavoidable impact relative to VMT. This is primarily due to the City of Clovis being a suburban community with land uses that are more spread out when compared to dense urban communities.

Prezone and Planned Development Permit

The applicant is requesting to prezone the Project site from the Fresno County AL20 Zone District to the Clovis R-1-PRD (Planned Residential Development) Zone District. The Project area’s proposed re-designation to Medium-High Density Residential (7.1 – 15.0 DU/AC) in the General Plan Land Use Element would be consistent with the proposed prezone. Within the PRD Zone District, the Municipal Code permits the applicant to propose their own project-specific setbacks and lot coverage standards. The applicant has provided a list of standards as outlined below (see detailed standards in **Attachments 10, 11 and 12**). These standards are incorporated into the Project’s planned development permit (PDP).

Development Standards

The applicant is requesting approval of a gated and non-gated, detached, single-family planned residential development with private and public streets. The private streets are proposed to have no interior sidewalks, while the public streets are proposed to include standard City sidewalks. In addition, the request includes reduced setbacks and increased lot coverage. The applicant is proposing a Homeowner’s Association with this Project. Three different housing products are envisioned within the Project site, each generally characterized by the minimum lot size. The proposed development standards for all three products are outlined below in **Table 1**.

TABLE 1 – DEVELOPMENT STANDARDS

Standard	Housing Products		
	Citrea	Elev8ions	Regent
Minimum Lot Size (Square Feet)	3,700	1,980	4,500
Front (Garage) Setback	18 feet	5 feet	18 feet
Front (house) Setback	10 feet	5 feet	10 feet
Garage Side Setback	5 feet	5 feet	5 feet
Corner Street Sides Setbacks	5 feet	3 feet	8 feet
Rear Setback	5 feet	4 feet	8 feet
Lot Coverage	60% Max	65%	60%
Maximum Height	2-stories not to exceed 35 feet		
Minimum Parcel Width	50 feet	36 feet	50 feet
Minimum Curved Parcel Width	25 feet	36 feet	25 feet
Minimum Corner Parcel Width	53 feet	50 feet	53 feet
Minimum Parcel Depth	74 feet	50 feet	90 feet
Reversed Corner Street Side Setback	5 feet	3 feet	8 feet
Corner Street Side Fence Setback	3 feet	3 feet	3 feet
Interior Side Yard Setback (opposite from garage)	3 feet	3 feet	3 feet
Setback to Projections and/or Porch/ Patio	9 feet	4 feet	9 feet
Garages	<ul style="list-style-type: none"> • 20'x20' interior dimension (2-car) 	<ul style="list-style-type: none"> • 20'x20' interior dimension (2-car) • 10'x20' interior dimension (1-car) 	<ul style="list-style-type: none"> • 20'x20' interior dimension (2-car) • 20'x20' minimum with 9'x15.5' minimum tandem (3-car)

Per the PRD standards, 2-car garages shall have a minimum inside dimension of 20'x20' and 1-car garages shall have a minimum inside dimension of 10'x20'. The applicant may request reduced parking standards with the planned residential development process. In this case, standards for tandem garages are included for the Regent product and reduced inside dimensions are proposed for 1-car tandem garages. The Code allows the Planning Commission and City Council to reduce standards if the proposed parking meets the intent of the Code.

Staff has reviewed the proposed development standards mentioned above for the proposed single-family residential development and found them to be compatible with similar projects recently approved through the planned development permit process. It's important to note that in order to ensure adequate side yard access and proper toter storage, the Project proposes that all garage-side setbacks provide a minimum five (5') foot setback. Additionally, the Project is conditioned to provide an all-weather surface for the placement and storage of trash receptacles leading from the 5-foot side yard (garage side) to the front of the property.

Models and Lot Sizes

The applicant is proposing four (4) one-story models and one (1) two-story model with three exterior options for the proposed Citrea home product. Additionally, the applicant is proposing four (4) two-story models with three exterior options for the Elev8ions home product. The applicant is proposing three (3) one-story models and two (2) two-story models with five exterior options for the proposed Regent home product. The lot sizes within TM6205 range from 1,980 square feet to 15,943 square feet. The average lot size within TM6205 is 3,363 square feet.

Homeowners Association

The Project includes private streets within three (3) gated communities, which two are located along the Shepherd Avenue street frontage and one located on the northern half of the proposed development. The Homeowners Association (HOA) is proposed to maintain the open space/common areas and provide enforcement for illegally parked vehicles within the gated communities.

Proposed Amenities

Chapter 9.66 of the Clovis Municipal Code (Planned Development Permits) provides for flexibility in development standards as a mechanism to accommodate new types of projects that may not otherwise comply with strict adherence to typical development standards. As part of that request, planned residential developments are required to provide a program of public amenities commiserate to the deviations being requested.

In return for the reduced lot sizes, reduced setbacks, increased lot coverage, reduction in lot width and lot depth requirements, and non-standard garages, the applicant is proposing a combination of in-project amenities that are targeted towards homeowners and off-site amenities that will provide a general public benefit. In-project amenities include two community areas, each with a recreation building and community pool, a paseo along the northern-most gated neighborhood, and embellished landscaping on internal streets. With regard to off-site amenities, the applicant has agreed to contribute a dollar amount totaling \$150,000 to the City for utilization in future open space and/or park improvements in areas of the community that have a need.

After consultation with the Engineering Division and Public Utilities Staff, the following projects were identified as examples of improvements that can be funded with the contribution:

- Restoration of the San Gabriel Restroom Facility within the San Gabriel Park located at the southeast corner of Willow and San Gabriel Avenues.
- Construction of a community trail along the Gould Canal in the southern part of Clovis.
- Installation of playground equipment, shade structure over playground equipment and playground soft foam flooring at an existing neighborhood park located within the Helm Ranch Community Area or Old Town Area.

It is important to note that amongst the findings that must be made to approve a planned development permit, which include a public amenity, the proposed project must also produce a comprehensive development of superior quality than which might otherwise occur from more traditional development on the site. This could include an enhanced entry point, an embellished block wall on street frontages, and superior exterior elevation design. These features are commonly incorporated into the planned development projects proposed by the applicant, and all will be reviewed and approved with the civil plan review process and residential site plan review for individual lots.

Vesting Tentative Map

The Project includes a Vesting Tentative Tract Map 6205 (see **Attachment 5A**). The map includes 605 lots and is consistent with the requirements of the Subdivision Map Act.

Circulation

The Project is accessible from two main entries, one entry along the Shepherd Avenue frontage and the second entry along the N. Sunnyside Avenue frontage. As noted above, a general plan amendment is required to allow the Shepherd Avenue access. If the general plan amendment is not approved, the Project will need to be redesigned. These vehicular entry points will allow residents to enter and exit the planned residential development at Shepherd Avenue and at the existing roundabout on N. Sunnyside Avenue. The Project is also proposing a gated entry along the northern border of the development adjacent to Perrin Road for emergency vehicles only. The Project includes 37-foot wide private streets with no sidewalks for the three (3) gated communities. For the non-gated portion of the Project, 40-foot wide public streets with City-standard sidewalks are proposed.

Thematic Elements

The proposed development will be able to design its own unique thematic elements for the entire Project. Since the property is located outside the boundaries of the Heritage Grove Urban Center, it is not required to adhere to design standards outlined in the Heritage Grove Design Guidelines. However, although the Project will not follow the Heritage Grove Design Guidelines, staff recommends that the Project's thematic elements (lighting, benches, trash receptacles, trails, walkway treatment, architecture) complement and cohesively link the established themes by the existing single-family development to the west of the Project site and the Dry Creek Trailhead at the southwest corner of Shepherd and N. Sunnyside Avenues.

Sewer and Water Impact

The Project's impacts to water and sewer facilities were analyzed during the California Environmental Quality Act (CEQA) review. Provost and Pritchard, the City's water system consultant, provided a summary of water system impacts and concluded that the City has capacity to serve, and that infrastructure can accommodate the Project upon completion of the recommended connections. The City Engineer completed a sewer analysis and concluded that the City has capacity to accommodate the Project.

The Project lies outside of the Fresno Irrigation District (FID) boundary and therefore, is not eligible to utilize entitled surface water from the Kings River. To help address water impacts associated with projects outside of the FID boundary, the Water Supply Fee was established in 2013 to provide a mechanism for developing properties to pay their share of the cost for the City to acquire additional water supply. This applies to project sites that are outside the boundaries of FID or if they exceed their current allocation from FID. This Project will pay fees to acquire water supplies necessary for the Project demands.

Open Space, Trails, and Neighborhood Park

In addition to the in-project amenities to be constructed by the applicant in conjunction with the planned development permit, the project will include open space and trail features that fall under the categories of "neighborhood benefit" and "community benefit" facilities. Amenities provided in conjunction with the planned development permit and the "neighborhood benefit" facilities are at the applicant's cost, while "community benefit" facilities are eligible for reimbursement based on the existing fee program.

For the category of "neighborhood benefit" facilities, the Project proposes to construct a neighborhood park in the center of the Project site on the south side of Heirloom Avenue. As shown in **Figure 3** below, the park will include shade structures, playground equipment, seating areas, picnic tables, and open play turf area. As an additional "neighborhood benefit" facility, the Project will also construct a trail along the west side of Fordham Avenue and a second trail on the north side of Heirloom Avenue (see **Figure 5** below).

For the category of "community benefit" facilities, the Project will construct two community trails (see **Figure 4** below) on the north and south sides of Shepherd Avenue, between N. Sunnyside and N. Fowler Avenues. These trails will allow residents to bike or walk to the existing neighborhood commercial center at the southwest corner of Shepherd and N. Fowler Avenues. These community trails will also provide connectivity to the existing Enterprise trail within the Lennar development to the west and the Dry Creek Trailhead at the southwest corner of Shepherd and N. Sunnyside Avenues.

FIGURE 3
Neighborhood Park Concept

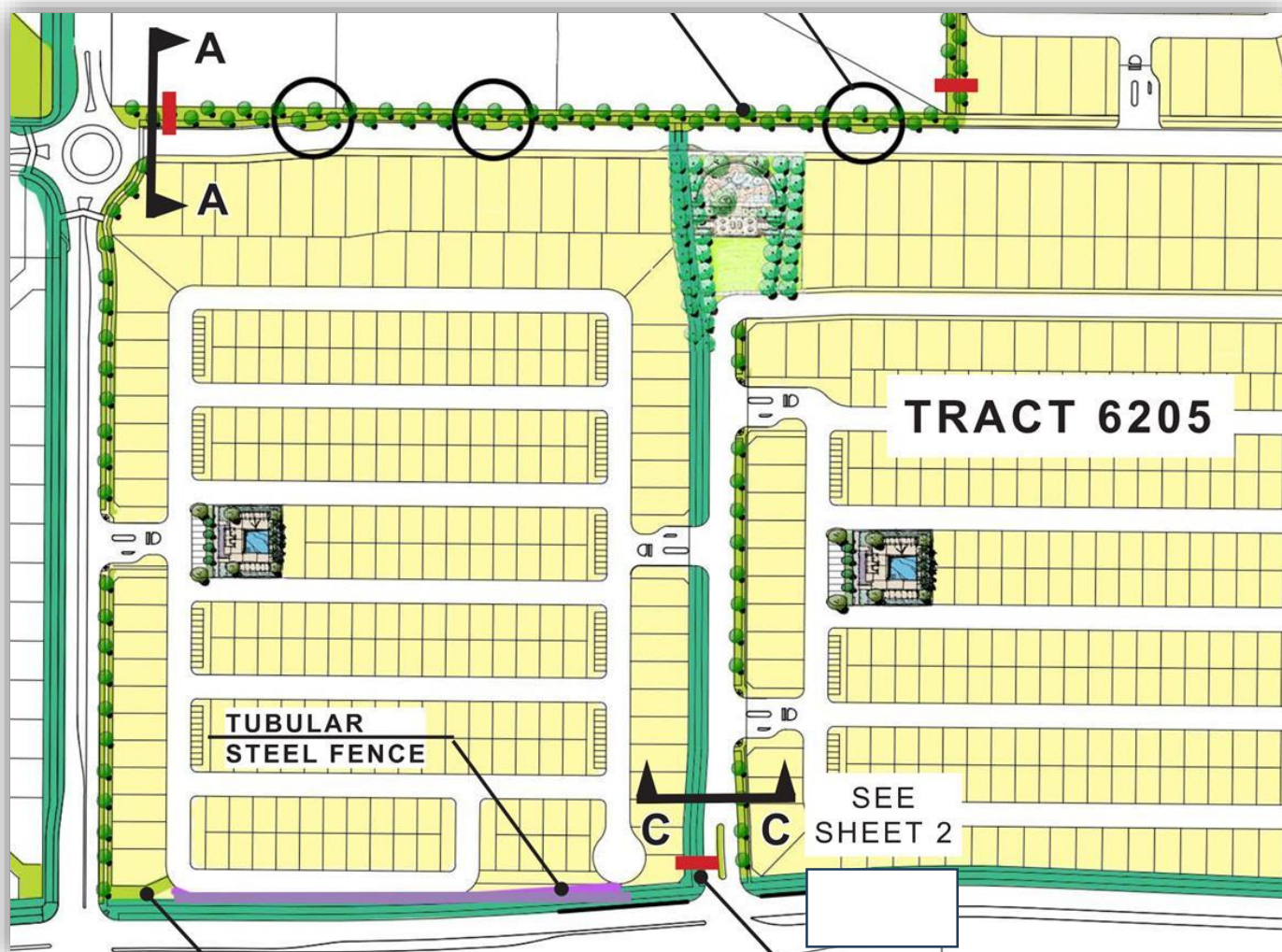


FIGURE 4
Shepherd Avenue Trail Concept



As mentioned above, the Project will be constructing additional trails and open space within the proposed development. A focal point leading to the neighborhood park will be a neighborhood trail connecting the Shepherd Avenue community trail to the south side of the park, along the Fordham Avenue frontage (see **Figure 5** below). The north side of Heirloom Avenue will also have a neighborhood trail that will provide a connection to the neighborhood park and the roundabout on N. Sunnyside Avenue. Please see **Attachment 16** for more detailed information of the proposed open space and trail connections associated with Vesting Tentative Tract Map 6205.

FIGURE 5



Residential Site Plan Review

The applicant will be required to submit a Residential Site Plan Review to allow staff to review lot-specific development standards. Specific colors and materials of the models, walls, amenities, landscaping, and fencing will be evaluated through the civil plans.

Neighborhood Meetings

Per City policy, the applicant held a neighborhood meeting on Wednesday, August 30, 2023, at the Clovis Memorial Building. Approximately twenty-six (26) residents were in attendance along with the Project team and City staff. Generally, residents expressed concerns with the proposed project and asked questions pertaining to, but not limited to, project design, CEQA, traffic, noise, groundwater, product, agricultural land, and water. Neighborhood comments at the August 30, 2023, meeting primarily repeated comments made in response to the Project's EIR. The Revised Final EIR (**Attachment 19**) provides a response to all the comments received by the City.

On Monday, November 27, 2023, the applicant held a second neighborhood meeting in compliance with City policy at the Clovis Memorial District to discuss the proposed Shepherd North Project and answer questions from residents who attended the meeting. Approximately 16 people attended the neighborhood meeting, along with the project representatives and City staff. After the conclusion of the Project presentation by the developer's representative, residents discussed concerns associated with the proposed single-family residential development. The concerns discussed at the meeting were similar to the comments on the EIR, comments at the first neighborhood meeting and comments made at the Planning Commission hearing. Comments focused on the following topics:

- Traffic Impacts to the surrounding area and Shepherd Avenue (between N. Sunnyside and N. Fowler Avenues)
- Impact to County roads
- Proposed density of the Project
- Project EIR findings
- Signalization of Shepherd and proposed Shepherd Access (Fordham Avenue) to allow vehicles to exit left on to east Fowler Avenue.

It's important to note that a critical topic that dominated part of the discussion involved Sunnyside Avenue, between Shepherd and Nees Avenues. There were concerns associated with the increased traffic speeds and volumes that Sunnyside is currently experiencing and what the proposed Project may cause to this roadway if the residential development is approved.

Planning Commission Hearing - November 16, 2023

The Planning Commission considered the Project on Thursday, November 16, 2023. Planning and Engineering staff (including the EIR consultant) presented the proposed Shepherd North Project to the Planning Commission, discussing topics such as the additional late comments, history of the Project, proposed single-family development, and project opposition/concerns. Approximately 10 project representatives attended the hearing and 15 people provided in-person testimony in opposition of the Project. Many more people were present at the Planning Commission hearing but did not speak. Throughout the discussion, a wide variety of topics were discussed, including but not limited to:

- Sunnyside Avenue (south of Shepherd)
- Traffic Impacts
- Privacy
- Project Density
- Exit gate on Perrin Road
- Impacts to County roads
- Project design
- Water & Ag wells
- Sunnyside Roundabout
- Sewer and Water Capacity
- Shepherd Avenue
- Dry Creek Preserve
- Project EIR
- Noise and Lighting Impacts

After 4 hours of presentations and discussions, the Planning Commission voted on each of the 6 action items and provided a consistent recommendation to the City Council. The Planning Commission recommended denial of each item by means of a consistent 3-2 vote. The general concerns expressed by the Planning Commission were related to traffic, density increase, compatibility of homes, and the absence of specific responses to several comment letters that were received after the comment period had closed.

Public Comments

A public notice was sent to area residents within 800 feet of the property boundaries, including the Dry Creek Preserve Area. Staff has received one comment letter from Mr. Martine Borges, which is attached to this staff report for the Council's review and consideration (see **Attachment 25**).

Review and Comments from Agencies

The Project was distributed to all City Divisions as well as outside agencies, including Caltrans, Clovis Unified School District, Fresno Irrigation District, Fresno Metropolitan Flood Control District, AT&T, PG&E, San Joaquin Valley Air Pollution Control District, State Department of Fish and Wildlife, County of Fresno, and Fresno Local Agency Formation Commission (LAFCo).

Comments received are attached only if the agency has provided concerns, conditions, or mitigation measures. Routine responses and comment letters are placed in the administrative record and provided to the applicant for their records.

Community Facilities District

The fiscal analysis of the Loma Vista Specific Plan identified possible long-term funding shortfalls in the Clovis city-wide operating and maintenance costs. To address this issue the City of Clovis implemented a Community Facilities District. Community Facilities Districts (CFDs) are a means of providing additional funding for the provision of public facilities and services for public safety in newly developing areas of the community where the City would not otherwise be able to afford to continue to provide an adequate level of service as the City continues to grow. The use of CFDs is fairly common among cities in California experiencing high rates of growth, such as Clovis, due to significant losses of local revenue from tax shifts authorized by the State of California and the need to continue to provide an adequate level of service as growth occurs.

A condition of approval has been added to this tentative map requiring participation of this vesting tentative map in the CFD.

Consistency with General Plan Goals and Policies

Staff has evaluated the Project in light of the General Plan Land Use and Circulation goals and policies. The following goals and policies reflect Clovis' desire to maintain Clovis' tradition of responsible planning and well managed growth to preserve the quality of life in existing neighborhoods and ensure the development of new neighborhoods with an equal quality of life. The goals and policies seek to foster more compact development patterns that can reduce the number, length, and duration of auto trips.

Goal 3: Orderly and sustainable outward growth into three Urban Centers with neighborhoods that provide a balanced mix of land uses and development types to support a community lifestyle and small-town character.

Policy 3.2 Individual development project. When projects are proposed in an Urban Center, require a conceptual master plan to show how a proposed project could relate to possible future development of adjacent and nearby properties. The conceptual master plan should generally cover about 160 acres, or the adjacent area bounded by major arterials, canals, or other major geographical features. The conceptual master plan should address:

- A. Compliance with the comprehensive design document
- B. A consistent design theme
- C. A mix of housing types
- D. Adequate supply and distribution of neighborhood parks
- E. Safe and direct pedestrian and bicycle linkages between residential areas and school sites, parks, and community activity centers

Policy 3.5 Fiscal sustainability. The City shall require establishment of community facility districts, lighting and landscaping maintenance districts, special districts, and other special funding or financing tools in conjunction with or as a condition of development, building or permit approval, or annexation or sphere of influence amendments when necessary to ensure that new development is fiscally neutral or beneficial.

Goal 5: A city with housing, employment, and lifestyle opportunities for all ages and incomes of residents.

Policy 5.1: Housing variety in developments. The Clovis General Plan has been planned to provide a variety of housing product types suitable to each stage of a person's life. Each development should contribute to a diversity of housing sizes and types within the standards appropriate to the land use designation. This policy does not apply to projects smaller than five acres.

Goal 6: A city that grows and develops in a manner that implements its vision, sustains the integrity of its guiding principles, and requires few and infrequent amendments to the General Plan.

Policy 6.1: Amendment criteria. The City Council may approve amendments to the General Plan when the City Council is satisfied that the following conditions are met:

- The proposed change is and will be fiscally neutral or positive.
- The proposed change can be adequately served by public facilities and would not negatively impact service on existing development or the ability to service future development.

Policy 6.2: Smart growth. The City is committed to the following smart growth goals.

- Create a range of housing opportunities and choices.
- Create walkable neighborhoods.
- Foster distinctive, attractive communities with a strong sense of place.
- Mix land uses.
- Strengthen and direct development toward existing communities.
- Take advantage of compact building design.

California Environmental Quality Act (CEQA)

The City determined that the proposed Project required the preparation of an environmental impact report (EIR). A Draft EIR (see **Attachments 17 and 18**) was completed in July 2023 and was made available for review by affected agencies and the public between July 21st and September 5th, 2023. The City received a total of twenty-four (24) comment letters on the Draft EIR, from public agencies (Caltrans, Fresno Metropolitan Flood Control District) and property owners. The City prepared a Final EIR in compliance with State CEQA Guidelines that was provided and reviewed by the Planning Commission on November 16, 2023. After the Planning Commission hearing, City staff responded to all comment letters that came in after the comment period, and together with some additional errata content, prepared a Revised Final EIR in March 2024 and is the subject of certification. The comment letters, as well as the required responses to each comment, are included in the Revised Final EIR (see **Attachment 19**).

The Revised Final EIR for the proposed Project has been prepared in accordance with the State CEQA Guidelines. State CEQA Guidelines Section 15132 requires that a Final EIR consist of the following:

- The Draft EIR or a revision of the draft;
- Comments and recommendations received on the Draft EIR, either verbatim or in summary;
- A list of persons, organizations and public agencies commenting on the Draft EIR;
- The responses of the lead agency to significant environmental concerns raised in the review and consultation process; and
- Any other information added by the lead agency.

An EIR must disclose the expected environmental impacts, including impacts that cannot be avoided, growth-inducing effects, impacts found not to be significant, and significant cumulative impacts, as well as identify mitigation measures and alternatives to the proposed Project that could reduce or avoid its adverse environmental impacts. CEQA requires government agencies to consider and, where feasible, minimize environmental impacts of proposed development, and an obligation to balance a variety of public objectives, including economic, environmental, and social factors.

The City circulated a Notice of Preparation (NOP) of an EIR for the proposed Project on May 6, 2022, to the State Clearinghouse, State Responsible Agencies, State Trustee Agencies, Other Public Agencies, Organizations and Interested Persons. A public scoping meeting was held on May 25, 2022, to present the Project Description to the public and interested agencies, and to receive comments from the public and interested agencies regarding the scope of the

environmental analysis to be included in the Draft EIR. Concerns raised in response to the NOP were considered during preparation of the Draft EIR.

Additionally, the City published a public Notice of Availability (NOA) for the Draft EIR on July 21, 2023, inviting comment from the general public, agencies, organizations, and other interested parties. The NOA was filed with the State Clearinghouse (SCH # 2022050180) and the County Clerk and was published in a local newspaper pursuant to the public noticing requirements of CEQA. The Draft EIR was available for public review and comment from July 21, 2023, through September 5, 2023.

In accordance with CEQA Guidelines Section 15088, this Revised Final EIR responds to the written comments received on the Draft EIR, as required by CEQA. This Revised Final EIR also contains minor edits to the Draft EIR. This document (see **Attachment 19**), as well as the Draft EIR as amended herein, constitute the Revised Final EIR.

The Project EIR determined that most potential impacts associated with the proposed Project were less than significant. However, the analysis identified that implementation of the proposed Project will result in VMT metrics that are greater than the applicable thresholds despite the application of feasible mitigation measures, resulting in significant and unavoidable impacts. Mitigation measures are outlined in a Mitigation Monitoring and Reporting Program (see **Attachment 1B**). The identification of significant and unavoidable impacts does not mean that the Project cannot be approved. The City Council will consider the adoption of a statement of overriding considerations in conjunction with its consideration of the Project. A statement of overriding considerations is a determination that specific economic, legal, social, technological, or other benefits of a proposed project outweigh the unavoidable adverse environmental effects, allowing the adverse environmental effects to be considered acceptable.

The City published notice of this public hearing in *The Business Journal* on Wednesday, March 6, 2024.

Responses to Late Comments

As indicated above, the City received twenty-four (24) comment letters on the Draft EIR (DEIR) during the DEIR 45-day public review period. Acting as lead agency, the City has prepared responses to the DEIR comments, which were included in a Final EIR that was made public prior to a hearing by the Planning Commission. After the release of the Final EIR, there were sixteen comments provided to the City of Clovis after public review closed for the DEIR. During the Planning Commission meeting, City staff indicated that the City would provide a response to those comments. It is important to note that City responses to the comments received after public review do not involve any new significant impacts or "significant new information" that would require recirculation of the DEIR pursuant to CEQA Guidelines Section 15088.5.

Furthermore, it is noted that the CEQA Guidelines do not specifically address the need to respond to comments that are received after the public review period for the Draft EIR. However, City staff did incorporate these comments and the City responses to these comments, into the Revised Final EIR that is presented to the City Council for certification (see **Attachment 19**).

Sphere of Influence Expansion (SOI) Request

As adopted by LAFCo, a City’s Sphere of Influence is an established and approved boundary, which identifies and designates the near-term and future growth development boundaries for the City. The proposed Project being considered by the City Council is in conjunction with a proposed expansion to the City’s current SOI, comprising approximately 155 acres, and an annexation proposal of the Development Area, comprising approximately 77 acres (see **Attachment 22**). The proposed SOI boundary encompasses the applicant’s proposed Development Area, plus the neighboring 78-acre rural residential subdivisions. As a result of the proposed Project being considered, the City’s current SOI boundaries need to be expanded in order to consider the annexation of the proposed single-family residential development area into the City of Clovis.

The SOI area was established in consultation with the County of Fresno and the Fresno Local Agency Formation Commission (LAFCo) and will allow for the existing rural residential subdivision to potentially request annexation into the City in the future.

An application for SOI expansion and annexation has been submitted and identified as the Shepherd-Sunnyside Northeast Reorganization (RO307). If the SOI expansion and annexation requests are supported by the City Council, the Council will take proponenty action to apply to LAFCo as the applicant.

Proposed Annexation of Development Area

The total area of the annexation is approximately 77 acres (Development Area) located at the northeast corner of Shepherd and N. Sunnyside Avenues. The proposed annexation boundary area includes Vesting Tentative Tract Map 6205, for a 605-lot gated and non-gated single-family planned residential development (see **Attachment 8A**).

Property Owners: 1
Great Bigland, LP.

Owners Consenting to Annexation: 1 (100%)

Registered Voters: 0

Acreage: Approximately 77 acres

Standard Conditions of Annexation:

The City Council has established standard conditions which the City considers a baseline for most annexation projects that it considers. The City’s standard conditions for annexation are incorporated into the draft resolution, which reflect and are consistent with the requirements agreed to by the tax sharing agreement and to the timing of public services to the site. The conditions are satisfied by the development approvals granted separately for the site, and through LAFCo’s standard processing policies and guidelines. City staff has prepared the specific service plan (see **Attachment 23**) for the subject change of organization for the Council’s review and approval.

Fourth Amendment to MOU

The 2017 Amended and Restated Memorandum of Understanding (MOU) between the County of Fresno and the City of Clovis was executed in June 2017, prior to the expiration of the 1990 City/County Memorandum of Understanding. Included in the MOU are the “Standards of Annexation” (see **Attachment 24**). Standards of Annexation establish criteria to determine compliance with the City, County and the Fresno Local Agency Formation Commission (LAFCo).

A Fourth Amendment to the 2017 Amended and Restated Memorandum of Understanding between the County of Fresno and City of Clovis is necessary to accommodate the sphere of influence expansion area and the annexation of the Shepherd-Sunnyside Northeast Reorganization to the City of Clovis.

City staff worked with the County of Fresno to draft the Fourth Amendment to the Memorandum of Understanding (see **Attachment 8B**). Through this agreement, the City and County memorialized specific conditions associated with this sphere of influence expansion and annexation request by Great Bigland, LP. The attached Fourth Amendment has been reviewed and approved by the City Attorney and the County of Fresno staff. The principal features of the Fourth Amendment are as follows:

- The annexation area known as the Shepherd-Sunnyside Northeast Reorganization will include the full public right-of-way of Shepherd Avenue along the project’s frontage.
- When development activity requires the construction of municipal utilities in County road rights-of-way adjacent to the annexed area, the City shall require reconstruction of affected sections of such roads to City standard cross-section specifications.
- As a part of its City’s development process, developers shall obtain a County encroachment permit prior to constructing municipal utilities in County road rights-of-way adjacent to the annexed area. City agrees to the timely maintenance and repair of the County’s roadway at City’s expense for any repairs created by or related to the Shepherd-Sunnyside NE Reorganization Project annexation.
- All existing storm drainage patterns and all storm drainage generated as a result of development activity in the annexed area shall be accommodated by existing or project-installed Master Planned Storm Drainage infrastructure and shall not contribute to surface flows or ponding within the unincorporated areas. All new storm drainage shall conform to the Fresno Metropolitan Flood Control District’s master plan for the area.

FISCAL IMPACT

None.

REASON FOR RECOMMENDATION

The proposal will provide a diversity in housing types and a quality residential environment for this area, adjacent to the Heritage Grove growth area. The Project does not substantially impact sewer, water and other public services and will contribute to their proportionate share of infrastructure and open space. The proposed vesting tentative tract map is consistent with the goals and policies of the General Plan and Development Code. Each component of the Project meets the findings that must be considered when making a decision on a project, as outlined in

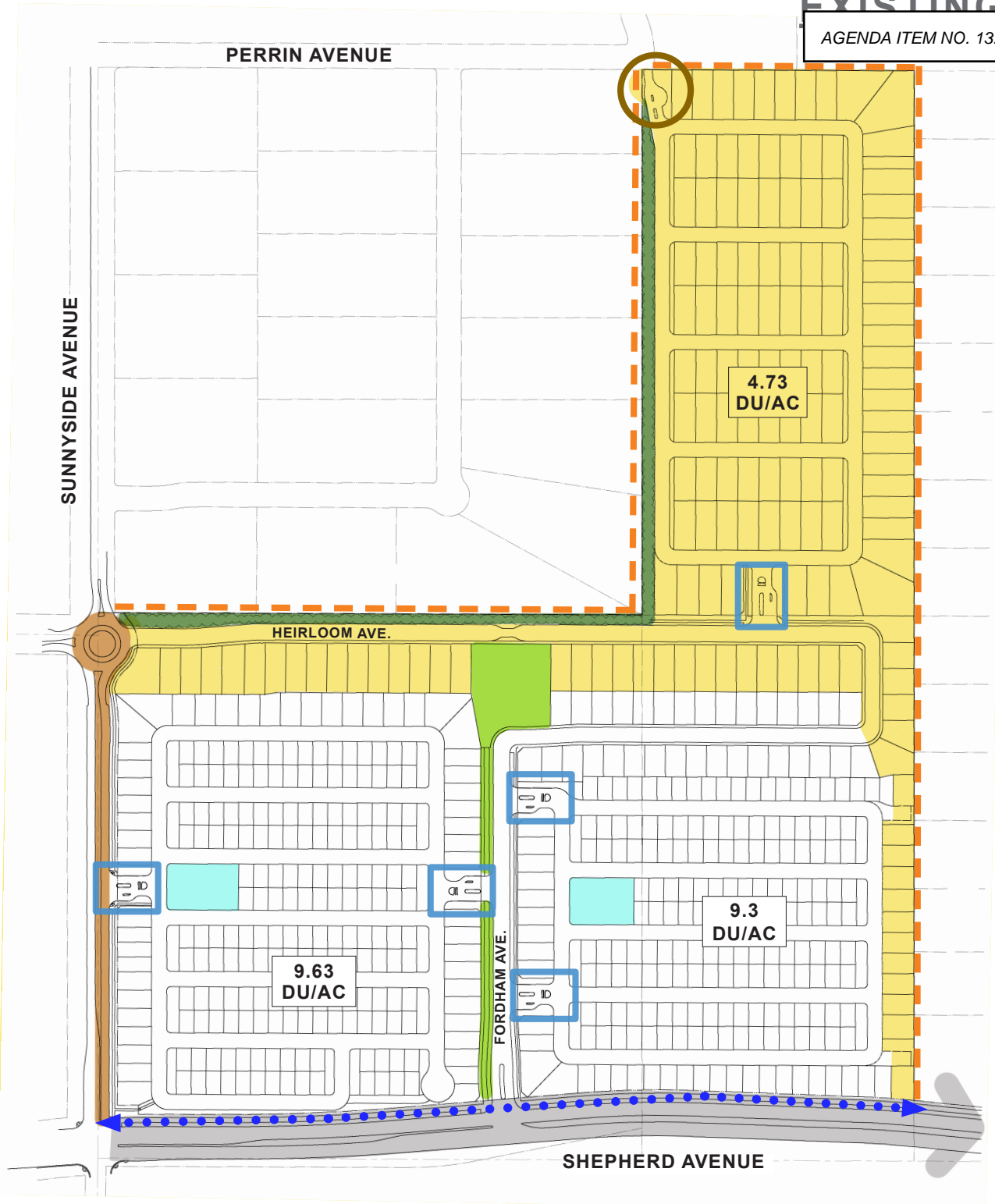
detail in **Attachment 21**. The proposed annexation is intended for urban development, as is evidenced by Vesting Tentative Tract Map 6205, covering 100 percent of the developable area. Staff therefore recommends that the City Council approve GPA2021-006, GPA2021-005, R2021-009, TM6205, PDP2021-004, Reorganization RO307, Sphere of Influence Expansion, and the fourth amendment to the MOU, subject to the conditions of approval attached as **Attachment 5B** and **Attachment 6A** of this staff report.

ACTIONS FOLLOWING APPROVAL

The annexation application will be prepared and submitted to LAFCo after all materials have been submitted by the applicant, sufficient to meet the conditions for the application. The approved resolution for the Fourth Amendment to the MOU will be forwarded to the County Board of Supervisors for consideration and approval.

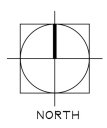
Prepared by: George González, MPA, Senior Planner

Reviewed by: City Manager 

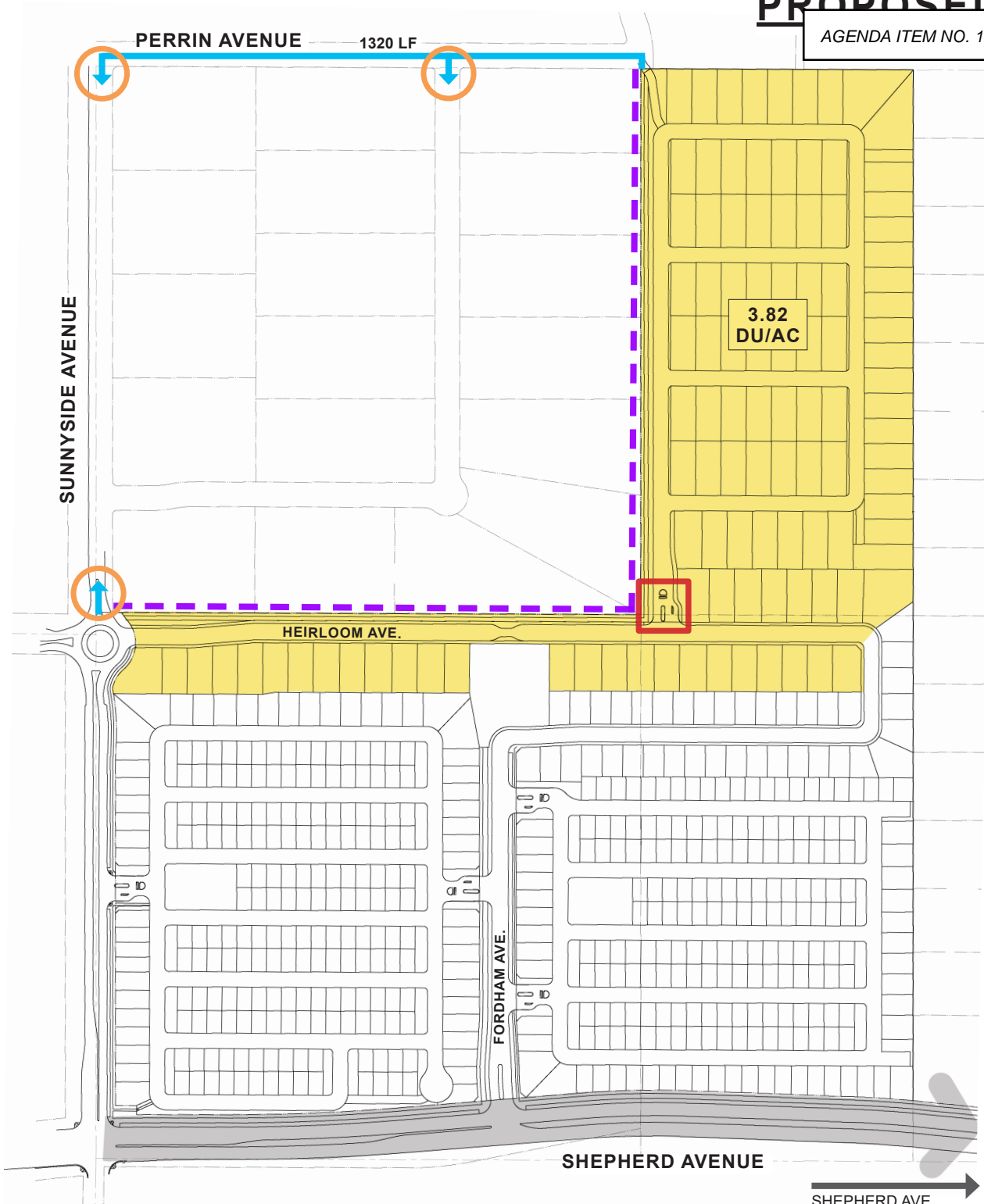


LEGEND





- SHEPHERD AVE. CONSTRUCTION
- SUNNYSIDE AVE. COMPLETION
- LARGER HOMES / DEEPER LOTS
- 6' MASONRY WALL
- 25'-30' LANDSCAPE BUFFER
- 30' LANDSCAPED TRAIL AT SHEPHERD AVE.
- NEIGHBORHOOD PARK (UNIVERSAL DESIGNED PLAY STRUCTURE) AND TRAIL CONNECTION
- GATED ENTRY
- GATED COMMUNITY AMENITY
- EVA



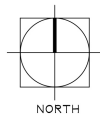
PREVIOUSLY AGREED PROJECT DESIGN ACCOMODATIONS



LEGEND

-  REDUCED AMOUNT OF LOTS - ALL SINGLE STORY
-  6'-8" MASONRY WALL WITH CONCRETE CAP
-  NEW 8" WATER LINE WITH STUB OUT LOCATIONS
-  ADDITIONAL BUFFER

SHEPHERD AVE.
CONSTRUCTION
IMPROVEMENTS EXTEND
PAST THE FOWLER AVE.
INTERSECTION

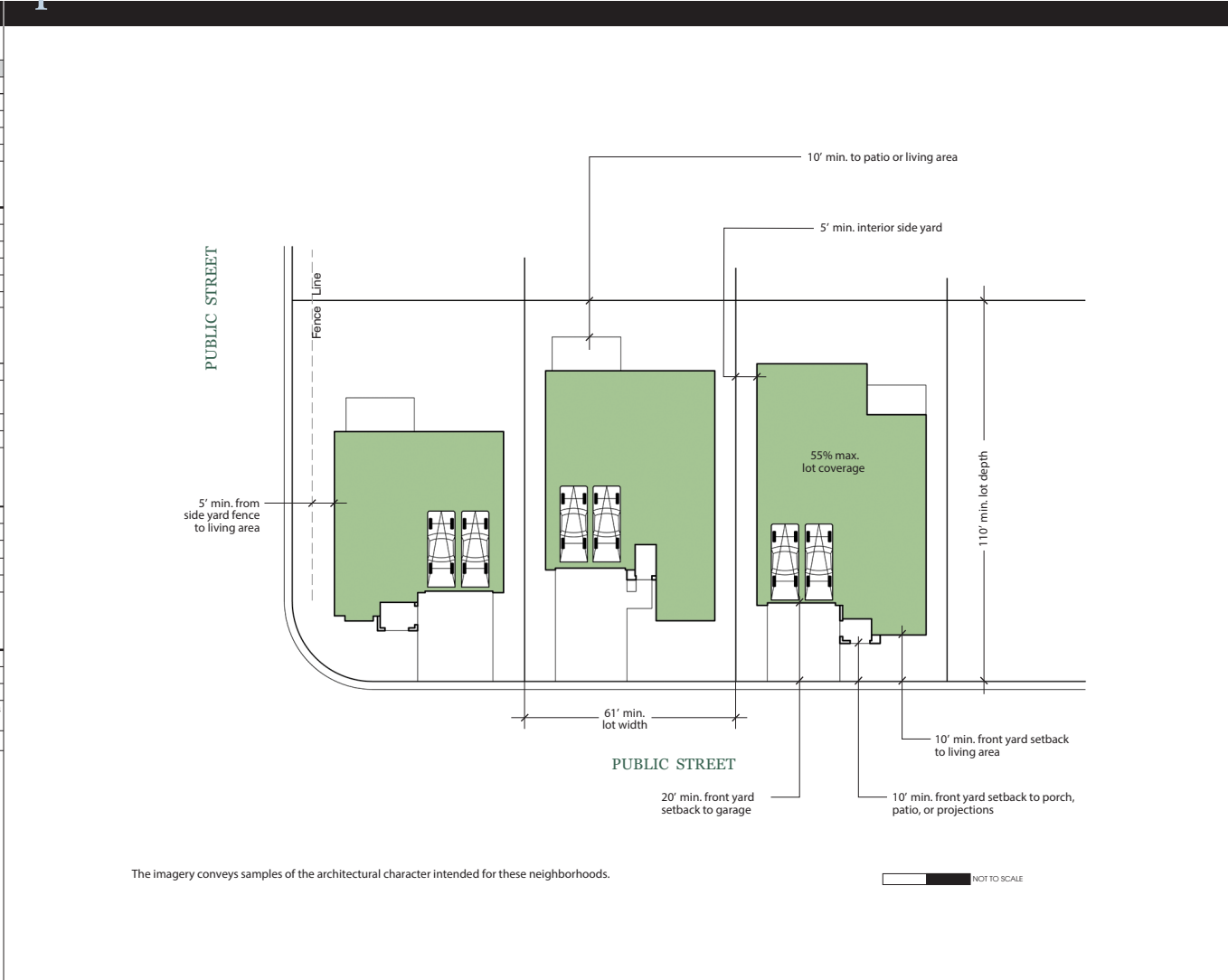


ADDITIONAL PROJECT DESIGN ACCOMODATIONS

Residential Land Use Development Standards

TRACT 6205 – NEC SHEPHERD & SUNNYSIDE

LAND USE		DEVELOPMENT STANDARDS		
SINGLE-FAMILY RESIDENTIAL		STANDARD	NOTES	
	DESIGNATION			
	Zone District	R-1-PRD		
GP Density Range	7.1 - 15.0 du/ac	Medium-High Density Residential		
Dwelling Units	107	Lots at 61'x110' min		
BUILDING INTENSITY				
Minimum Lot Area	6,710 sqft			
Minimum Lot Width	61'			
Minimum Lot Depth	110'			
Maximum Height	35'			
Curved/Corner Lot	45' min/61' min	For street frontage/For lot width		
Lot Coverage	55% max			
BUILDING SETBACKS		All setbacks measured from PL.		
Front Yard (Local)	20' min/10' min	To garage/To living area, projections, and/or porch/patio		
Side Yard	5' min			
Corner Street Side	5' min	From side yard fence to living area		
Rear Yard	10' min			
GARAGES/STREETS/PARKING				
Garages	2-car	20'x20' min		
	3-car	37'x20' min/20'x20' min with 10'x17' tandem		
Streets (Public)	50'/54' wide			
Streets (Private)	37'2' wide min			
On-Street Parking	Yes			
ACCESSORY USES		General list of requirements and restrictions.		
Walls/Fences	6' min - 8' high max	Tract 6205 side of wall		
Trellises	12' high max			
Pools and Spas	5' min	Water portion to rear and side PLs. Pool and spa may not be located in front yard.		
Equipment	Pool, spa and fountain equipment allowed in side yard easement.			
Covered Structures	12' high max	Covered structures and building additions are allowed subject to review by the City of Clovis, provided that lot coverage standards are not exceeded and that a rear yard encroachment permit is obtained if encroachment into rear yard occurs.		
Accessory Buildings				



FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ARCHITECTS - PLANNERS - DESIGNERS

ELEVATION KEY NOTES

Name	NOTE
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
202	INTERNALLY ILLUMINATED ADDRESS PANELS - IF WALL CHARACTERIS PLACED IN SUCH A POSITION TO BE PLAINLY OBSERVED, CONNECT TO PHOTO CELL.
206	DECORATIVE WALL SCOURE
207	AIR CONDITIONER CONDENSER LOCATION
216	2" STUCCO FINISHES - SEE PER ELEVATION. SLOPE 1/4" PER FT. MINIMUM
221	STUCCO - OMEGA CHANNEL WALL ONE COAT STUCCO (HO) 500# EPS-10# STUCCO TYPE 1 ON 1" PORTLAND CEMENT OVER 5/8" GYP-ESB-10# BY 5/8" GYP-ESB-10#
225	STUCCO OVER FERRO FIBER TRIM - FORM SHAVE PER ELEVATION (SEE DETAIL 4# SHEET 209)
276	CERAMIC TILE
281	DECORATIVE SHUTTER (SIZE AND STYLE PER ELEVATION). SEE DETAIL 1804D
287	DECORATIVE METAL JOISTTY - PROVIDE SLOTTED JOISTTY AND MINIMUM 20% EPS ELASTOMERIC SHEET WATERPROOFING AT ALL MOUNTING POINTS/PIPING PENETRATION
291	1/2" PLASTER
293	1/2" LAMINATE VENT - RECTANGULAR AIR (SIZE PER ELEVATION)
296	2" LAYERS OF 5/8" GRADE OF BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 20# GFC KVELS IS

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 2' ABOVE FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE OPERABLE MUST BE PROTECTED BY A GUARD OR HAVE A PROTECTIVE GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH (2019 CBC 1005.10.2)

NOTE: 2 LAYERS OF 5/8" GRADE OF BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 20# GFC KVELS IS

AGENDA ITEM NO. 13.



WILSON HOMES

TRACT NUMBER:
PROJECT TYPE: S.F.D.

WINDSOR - PLAN 2986
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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REVISIONS		
NO.	DATE	DESCRIPTION

PLAN 2986A
EXTERIOR ELEVATIONS &
ROOF PLAN

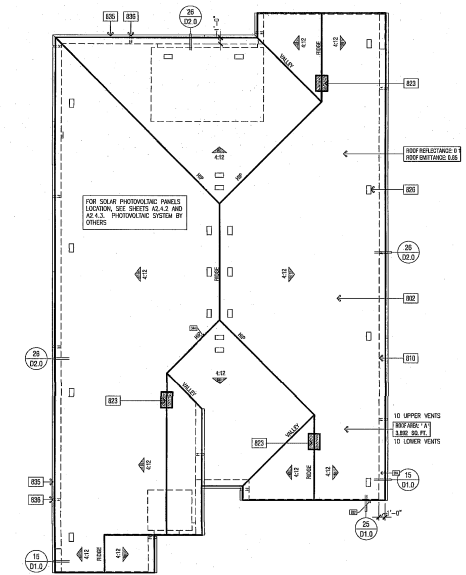
PROJECT NUMBER:	NA
DRAWN BY:	AM
CHECKED BY:	
DATE REPT. CONSTRUCTION:	
DESIGNED BY:	
JOB NUMBER:	201902
CAD FILE NAME:	A2 4.1

DATE: 02-26-20 SHEET: A2.4.1

2013352.19 - SECOND BUILDING DEPARTMENT SUBMITTAL SET 02-26-20

ROOF ATTIC AREA	A	3892	sq. ft	CALCULATION FACTOR	1/300
TOTAL VENTILATION REQUIRED:	TOTAL	1888	sq. ft	TOTAL PROVIDED:	1950
TOTAL HIGH PROVIDED:	975	sq. ft		TOTAL LOW PROVIDED:	975
TOTAL LOW PROVIDED:	975	sq. ft		TOTAL PROVIDED:	975

HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLEANED VENT - CONC.S-TILE	36"	62.94"	15	975
TOTAL HIGH PROVIDED:				975
LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLEANED VENT - CONC.S-TILE	36"	62.94"	15	975
TOTAL LOW PROVIDED:				975
TOTAL PROVIDED:				975



ROOF PLAN SCALE: 1/8" = 1'-0"

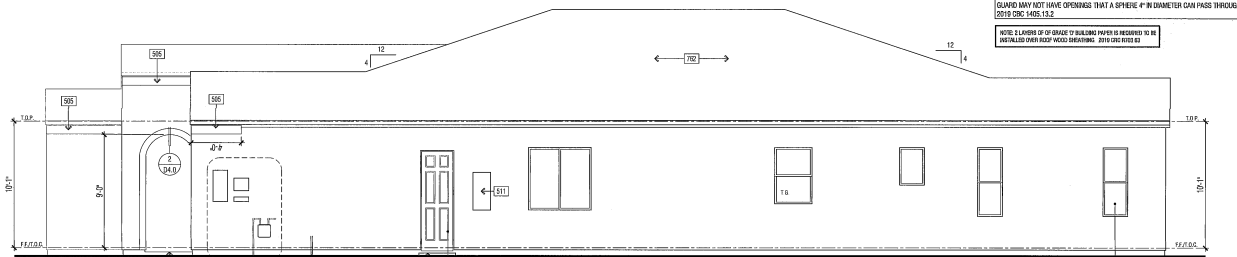
ELEVATION REFERENCE	A	ALTERNATE STYLE	SANTA BARBARA
ROOF MATERIAL:	CONCRETE S' TILE	CONCRETE S' TILE	CONCRETE S' TILE
SCALE:	1/8" = 1'-0"	1/8" = 1'-0"	1/8" = 1'-0"

ROOF PLAN NOTES

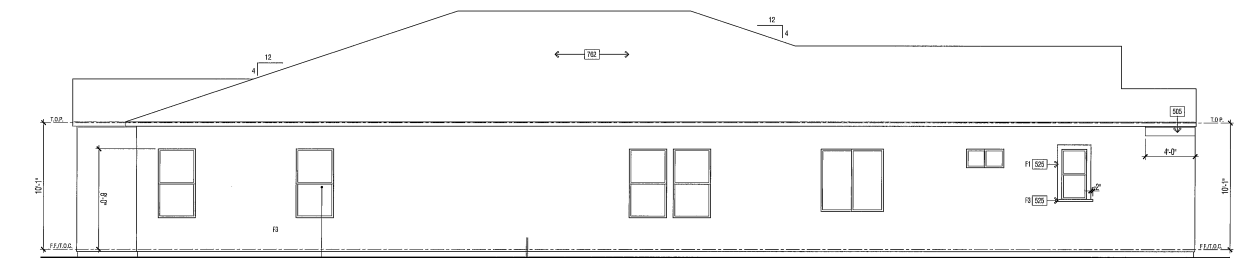
- SEE DRAWING NOTES FOR KEY NOTES.
- UPPER JOISTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS OPERATING INSTRUCTIONS.
- ATTIC ACCESS PER CBC SECTION 1007.
- PROVIDE UP TO 4 SQUARED FEET OF VENTILATION PER 100 SQ. FT. OF THE MINIMUM NET FREE VENTILATION AREA SHALL BE OBTAINED BY THE USE OF THE FOLLOWING CONDITIONS:
 - MINIMUM OPENING SHALL BE 1/4" HIGH.
 - MINIMUM OPENING SHALL BE 1/4" HIGH.
 - MINIMUM OPENING SHALL BE 1/4" HIGH.
 - MINIMUM OPENING SHALL BE 1/4" HIGH.
- NOT LESS THAN 1/4" ABOVE FINISHED FLOOR AND NOT MORE THAN 6" ABOVE FINISHED GRADE. IF PROVIDED BY MANUFACTURER'S INSTRUCTIONS. THE UPPER JOISTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS OPERATING INSTRUCTIONS. THE LOWER JOISTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS OPERATING INSTRUCTIONS. THE LOCATION OF WALL OR ROOF JOISTS SHALL BE DETERMINED BY THE LOCATION OF UPPER JOISTS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS OPERATING INSTRUCTIONS.

ROOF PLAN KEY NOTES

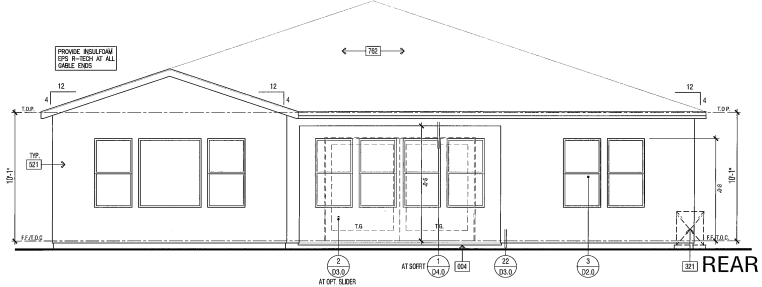
Name	NOTE
002	ROOFING - CONCRETE S' TILE
010	LINE OF WALL BELOW
023	PROVIDE 2" X 2" OPENING IN PLYWOOD SHEATHING BELOW GABLE. FRAMED ROOF FOR SHARPE ATTIC VENTILATION.
030	ROOF JOIST - "CLAYCO" (SEE ROOF VENTILATION CALCULATIONS)
031	1/2" METAL SHUTTERS - VERIFY LOCATION WITH INSTALLER.
036	1/2" METAL DOWNSPOUTS - DISCHARGE TO APPROVED SITE DRAINAGE SYSTEM - VERIFY LOCATION WITH INSTALLER.



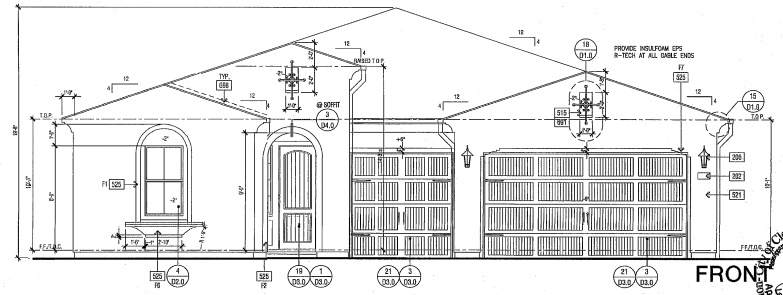
RIGHT



LEFT

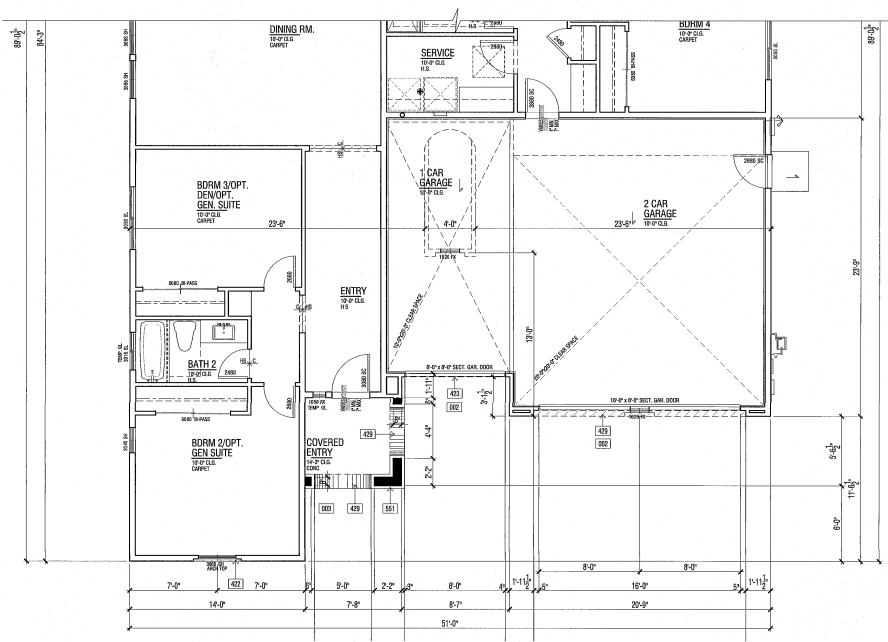


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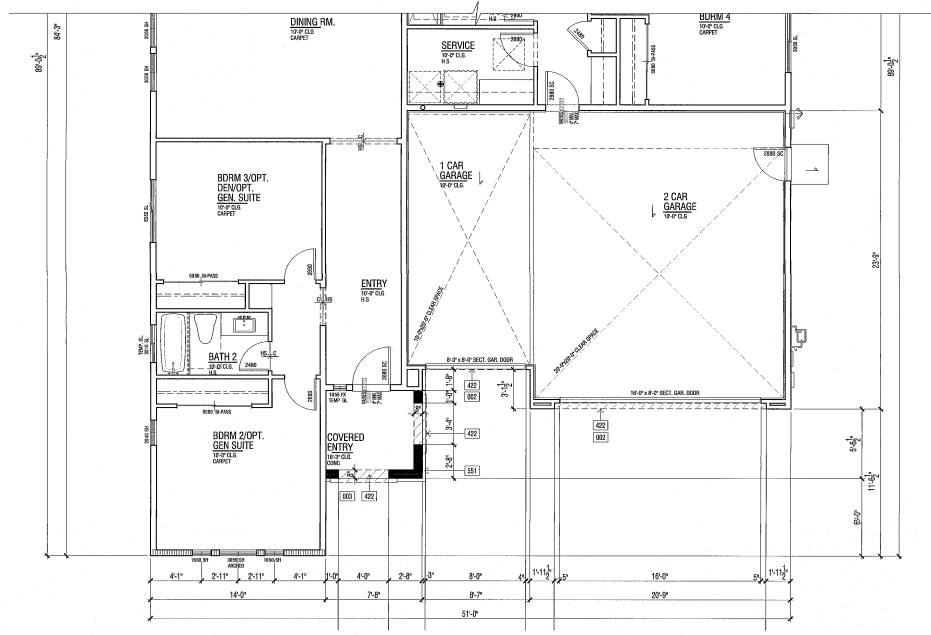


FRONT

SCALE: 1/4" = 1'-0"



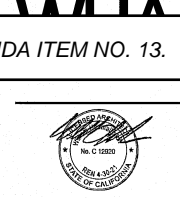
PLAN 2986B FLOOR PLAN ADDENDA



PLAN 2986C FLOOR PLAN ADDENDA

Name	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
422	STUCCO SOFFIT: HEIGHT PER ELEVATION
423	THIN SET BRICK VENEER (FLY) SOFFIT: HEIGHT PER FLOOR PLAN
427	STUCCO SOFFIT OVER WATERPROOFED STUCCO SHELF-S2 (DRAINAGE 1/4" PER FOOT MINIMUM)
508	FINISHED THIN SET BRICK VENEER SOFFIT: HEIGHT PER FLOOR PLAN
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CLH-ES-ES-1984. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

ARCHITECTS - PLANNERS - DESIGNERS



AGENDA ITEM NO. 13.

WILSON HOMES

SPN # 251-2020

FLOOR AREA TABLE	PLAN 2986B
FLOOR PLAN	3000 SQ. FT.
TOTAL	3000 SQ. FT.
1-CAR GARAGE	202 SQ. FT.
2-CAR GARAGE	483 SQ. FT.
CALIFORNIA ROOM	224 SQ. FT.
COVERED ENTRY/PORCH	54 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

TRACT NUMBER:
PROJECT TYPE: S.F.D.

ADDENDA FLOOR PLAN NOTES

NOTE: SHADED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN

NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS

REFER TO BASE PLAN SHEET A2.1 FOR ADDITIONAL NOTES AND DIMENSIONS

Name	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
422	SMOOTH STUCCO SOFFIT: HEIGHT PER ELEVATION
427	SMOOTH STUCCO SOFFIT OVER WATERPROOFED SMOOTH STUCCO SHELF-SLOPE FRAMING FOR DRAINAGE 1/4" PER FOOT MINIMUM
508	WATERPROOF STUCCO SHELF - SLOPE 1/4" PER FOOT
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CLH-ES-ES-1984. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

WINDSOR - PLAN 2986
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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REVISIONS

NO.	DATE	DESCRIPTION

PLANS 2986B & C
ADDENDA FLOOR
PLANS

SPN # 251-2020

FLOOR AREA TABLE	PLAN 2986C
FLOOR PLAN	3000 SQ. FT.
TOTAL	3000 SQ. FT.
1-CAR GARAGE	202 SQ. FT.
2-CAR GARAGE	483 SQ. FT.
CALIFORNIA ROOM	224 SQ. FT.
COVERED ENTRY/PORCH	54 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

DATE	SHEET
02-26-20	A2.5

SCALE: 1/4" = 1'-0"

2013352.19 - SECOND BUILDING DEPARTMENT SUBMITTAL SET 02-26-20

NOTE: 2 LAYERS OF #5 GRADE 40 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER ROOF WOOD SHEATHING. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ARCHITECTS - PLANNERS - DESIGNERS

AGENDA ITEM NO. 13.

ORANGE COUNTY PLANNING DEPARTMENT



WILSON HOMES

TRACT NUMBER: PROJECT TYPE: S.F.D.

WINDSOR - PLAN 2986 CLOVIS, CALIFORNIA

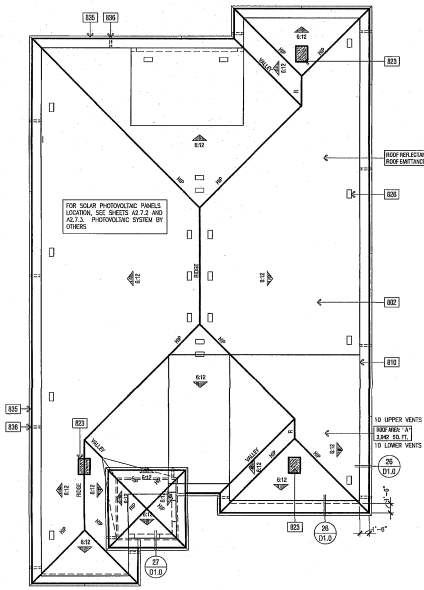
WILSON HOMES FRESNO, CALIFORNIA

2013352.19 - SECOND BUILDING DEPARTMENT SUBMITTAL SET 02-26-20

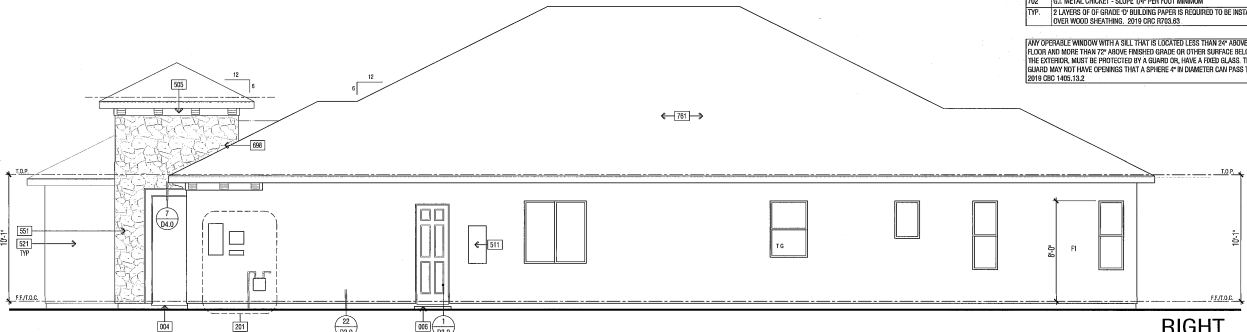
ELEVATION KEY NOTES

Table with 2 columns: Note, Note. Contains construction details for roof, windows, and exterior finishes.

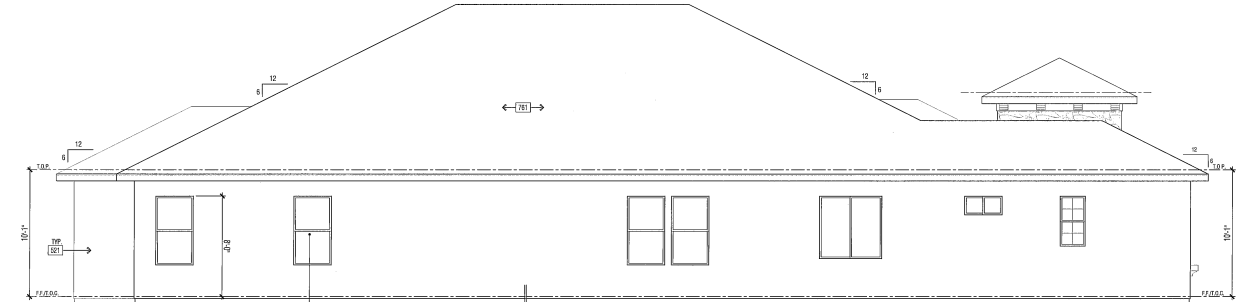
ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, IN A FEED-BACK, THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 6" IN DIAMETER CAN PASS THROUGH. (2013 IBC 1607.2)



Roofing specifications table including roof attic area, ventilation requirements, and calculation factors.

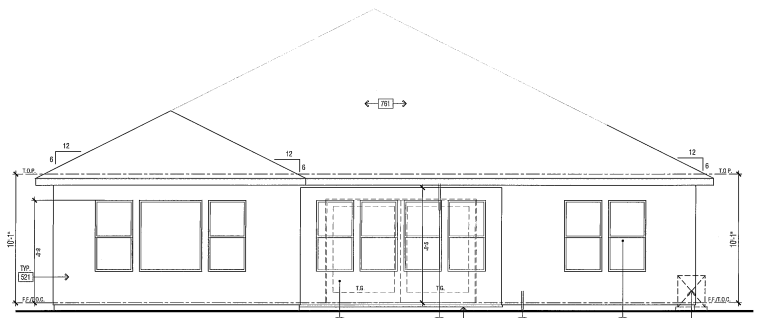


RIGHT

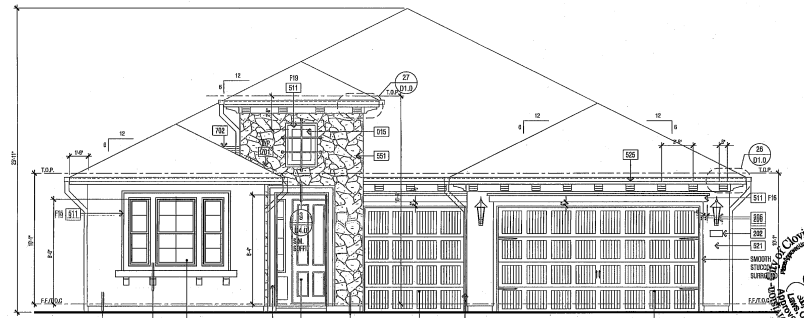


LEFT

Roof Plan notes and key notes detailing material requirements and installation instructions.



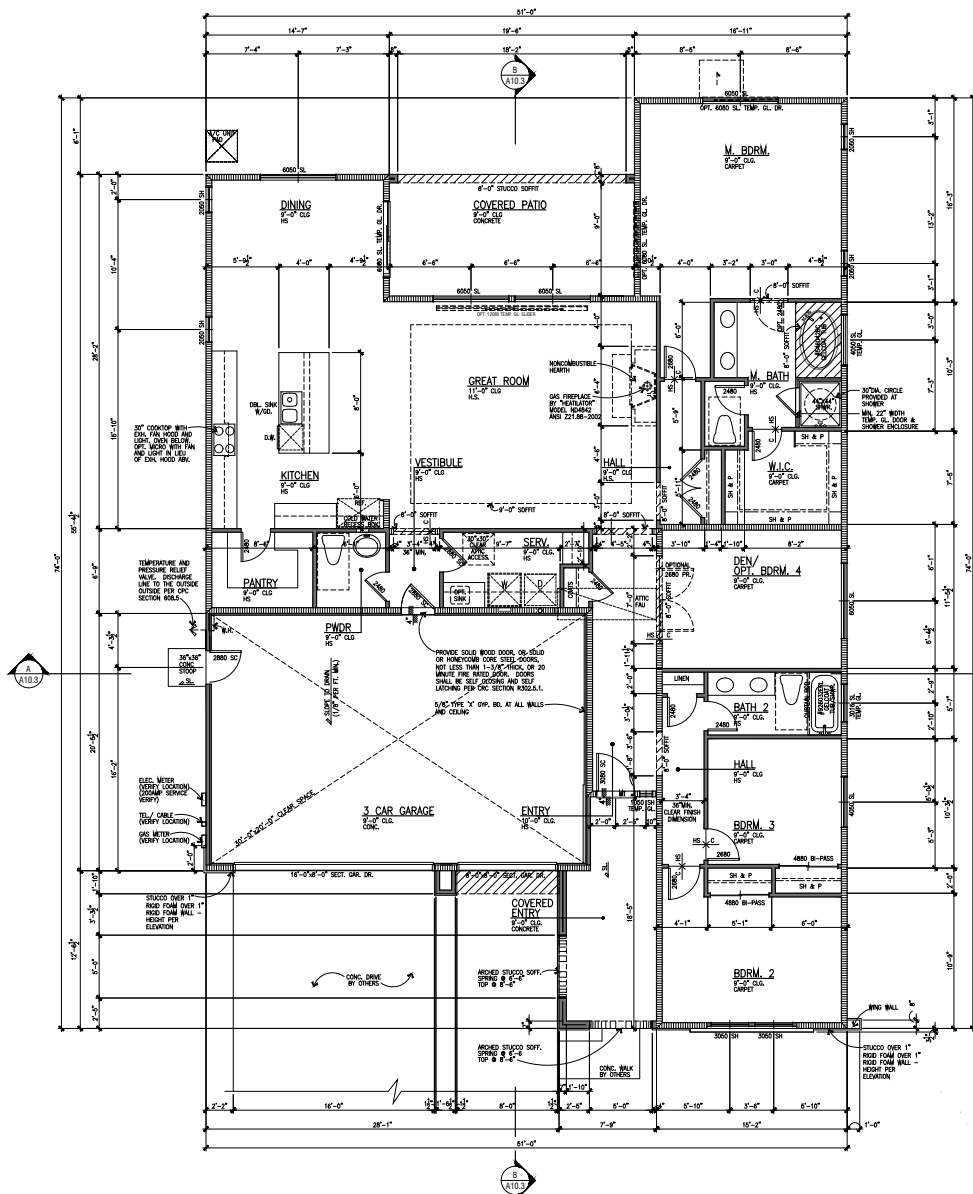
REAR



FRONT

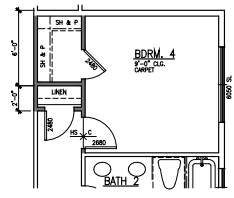
SCALE: 1/4" = 1'-0"

Professional seal of William Hemaiah Architects, Inc. and a Revisions table for project tracking.

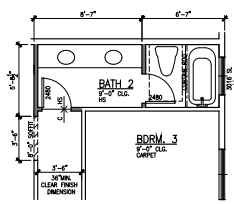


FLOOR PLAN NOTES

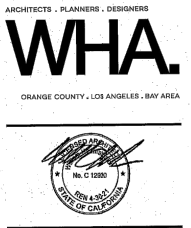
1. ATTIC: ACCESS PER CIRC 1807, DRAFTSTOPS PER CIRC 1802.12 AND VENTILATION PER 1806.
2. CHINA SPACES: ACCESS PER CIRC 1804 A AND VENTILATION PER 1806.1.
3. EMERGENCY ESCAPE AND RESCUE OPENINGS PER CIRC 1802 A AND 1804.
4. MEANS OF EGRESS PER CIRC 211.
5. GLAZING PER CIRC 1803.1, 108.2.1.2.5.8.8.008.
6. FACTORY-BUILT PREPARED AND CHIMNEYS PER CIRC 1804, 1806, 1808 AND A.G.A.D. RULE 406.
7. COMBUSTION AIR TO FORCED AIR UNIT PER CIRC CHAPTER 7.
8. COMBUSTION AIR TO WATER HEATER PER CIRC SECTION 504.2.
9. ENVIRONMENTAL AIR QUALITY PER CIRC SECTION 504.
10. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CIRC 506.
11. MANDATORY REQUIREMENTS FOR APPLIANCES PER CIRC SECTION 110.1.
12. THE SILL HEIGHT IS NOT TO EXCEED 40" FROM THE BOTTOM OF THE CLEAR OPENING IN EXISTING ROOMS. CIRC 101.1.1.
13. IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW THE OPERATOR, MUST BE PROTECTED BY A GUARD OR, HAVE FIXED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. CIRC 102.2.2.
14. A SHEETROCK HOLDING INSPECTION IS REQUIRED. CIRC 103.1.4.2.
15. PROVIDE 4" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE PRELAPSE 2019 I-24.
16. GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. CIRC 103.
17. PROVIDE 4" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE PRELAPSE 2019 I-24.
18. VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNINTERRUPTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. CIRC 516.4 & 516.5.
19. THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. NOTE THE USE OF FINISH LAMINATE, FINISH PAINT, ADHESIVED CEMENT OR GLASS MAY EPDM BACKERS ON THE FLOOR PLAN. NOTE THAT WATER RESISTANT EPDM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. CIRC 103.4.2.
20. THE THREE CAR GARAGE IS NON-COMBUSTIBLE AND THE REQUIRED SEVERED BACKINGS MAY NOT BE RELEASED. CIRC 1803.1.1.
21. NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. CIRC 180.5(9).
22. A MINIMUM 80" DIA. CIRCLE IS PROVIDED AT THE SHOWER FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 1024 SQUARE INCHES. CIRC 406B.
23. THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH THE LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. CCR TITLE 20.



OPT. BDRM. 4



OPT. BATH 2



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

WINDSOR - PLAN 2277
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

EARL ORNIA / SANTA BARBARA

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REVISIONS		
NO.	DATE	DESCRIPTION
1	04-24-2020	PLAN CHECK CORRECTIONS

PLAN 2277A
FLOOR PLAN
AND OPTIONS

PROJECT MANAGER:	MM
DESIGNER:	AM
DR: BY:	MM
DATE:	12-20-2019
SCALE:	1/4" = 1'-0"
DATE:	08-17-20

NOTE: THE VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNINTERRUPTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. CIRC 516.4 & 516.5.

NAILING SCHEDULE IS LOCATED ON SHEET SD.2.

WALL LEGEND

- = 2x4 B.P. @ 16" O.C.
- = 2x4 S.P. @ 16" O.C.
- = 2x4 S.P. @ 24" O.C.

SEE SHEET A10.1.1 FOR ADDENDA FLOOR PLANS

INTERIOR ELEVATION KEY

SP#1 #	740-200
FLOOR AREA TABLE	PLAN 2277A
FLOOR PLAN	2277
3-CAR GARAGE	650 SQ. FT.
COVERED ENTRY	130 SQ. FT.
COVERED PORCH	180 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



2020173.00 (2015253.07) - DELTA 2 SET 08-17-2020

572



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

CHADWICK - PLAN 2277
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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WHA CERTIFIED ARCHITECTS BY CALIFORNIA LAW GOVERNMENT REGULATION
REGISTERED PROFESSIONAL ARCHITECTS, DESIGNERS AND LANDSCAPE ARCHITECTS
WHA HAS THE POLICY OF EQUAL OPPORTUNITY AND DOES NOT DISCRIMINATE
ON THE BASIS OF RACE, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, AGE, SEX,
OR SEXUAL ORIENTATION. THE REGISTERED PROFESSIONAL ARCHITECTS AND DESIGNERS
OF WHA ARE THE THIRD PARTY INDEPENDENT PROFESSIONAL ARCHITECTS AND DESIGNERS
WHO ARE NOT EMPLOYED BY WILSON HOMES, INC.

REVISIONS		
NO.	DATE	DESCRIPTION
1	04-24-2020	PLAN CHECK CORRECTIONS
2	06-17-2020	CLIENT REVISIONS

PLAN 2277B & C
ADDENDA FLOOR PLANS

PROJECT MANAGER:	MM
DESIGNER:	JM
DRAWN BY:	MH
REVIEWED BY:	
ISSUED FOR CONSTRUCTION:	12-29-2019
JOB NUMBER:	200773.00 (2015)53
CAD FILE NAME:	13218A10.1.1

DATE:	08-17-20	SHEET:	A10.1.1
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SCALE: 1/4" = 1'-0"

SPN #	FLOOR AREA TABLE	741-2020	PLAN 2277B
	FLOOR PLAN	2277	36.71
	3-CAR GARAGE	629	50.71
	COVERED ENTRY	131	50.71
	COVERED PATIO	189	50.71

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

FLOOR PLAN NOTES

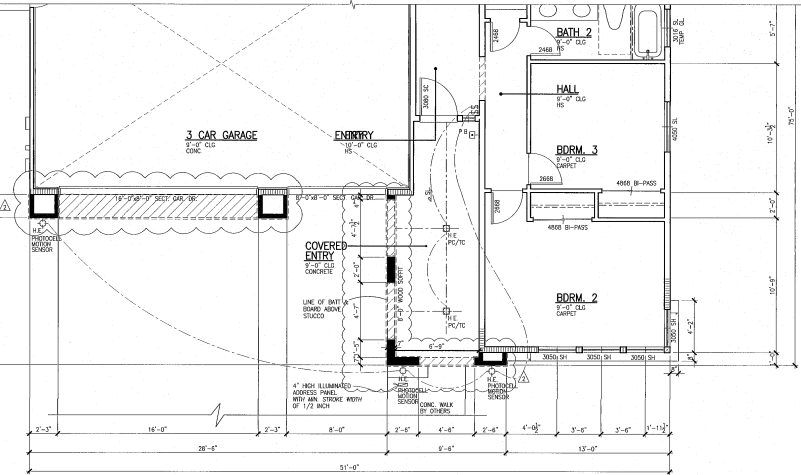
1. ATTIC: ACCESS PER CRC 807, DRAFTSTOPS PER CRC R302.12 AND VENTILATION PER R308.
2. CHINA SPACES: ACCESS PER CRC R406.4 AND VENTILATION PER R406.1.
3. EMERGENCY ESCAPE AND RESCUE OPENINGS PER CRC R302 & R310.
4. MEANS OF EGRESS PER CRC 201.
5. GLAZING PER CRC F603.1, F603.2.1.2 & R308.
6. FACTORY-BUILT FREEZES AND CHIMNEYS PER CRC R103A, R103B, R103C AND A.D.M. R.E.A. 445.
7. COMBUSTION AIR TO SPACE HEAT EXCHANGER PER CRC CHAPTER 7.
8. COMBUSTION AIR TO WATER HEATER PER CRC SECTION 500.6.
9. ENVIRONMENTAL AIR DUCTS PER CRC SECTION 500.7.
10. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CRC 505.
11. MANDATORY REQUIREMENTS FOR APPLIANCES PER CGC SECTION 110.1.
12. THE SILL HEIGHT IS NOT TO EXCEED 4" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. CRC R303.1.
13. IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 22" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GLAZED OR HAVE FRESH GLAZES. THE GLAZING MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. CRC R312.2.
14. A STRUCTURAL WALL INSPECTION IS REQUIRED. CRC R103.1.4.2.
15. GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. CRC R308.
16. PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE FIREPLACE. 2019.1.24.
17. VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNIMPACTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE FOR THE PERMANENT MARKING LISTED ON THE UNIT. CRC R103.1 & R103.2.
18. THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FRESH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTION MATERIALS NOT ADVERSELY AFFECTED BY WATER. NOTE THE USE OF FIBER CEMENT, FIBER MESH, REINFORCED CONCRETE OR 5/8" MESH OVER SHEETROCK ON THE FLOOR PLAN. NOTE THAT WATER RESISTANT OVERLAY BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. CRC R103.4.2.
19. THE THREE CAR GARAGE IS NON-COMBUSTING AND THE REQUIRED OVERHEAD RETENAKS MAY NOT BE REQUIRED. CRC R103.1.1.
20. NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. CRC R103.6.
21. A MINIMUM 20" DIA. CIRCLE IS PROVIDED AT THE SHOWER FLOOR, THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 1000 SQUARE INCHES. CRC 406.6.
22. THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH THE LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. CGC TITLE 20.

SPN #	FLOOR AREA TABLE	742-2020	PLAN 2277C
	FLOOR PLAN	2277C	50.71
	3-CAR GARAGE	629	50.71
	COVERED ENTRY	72	50.71
	COVERED PATIO	189	50.71

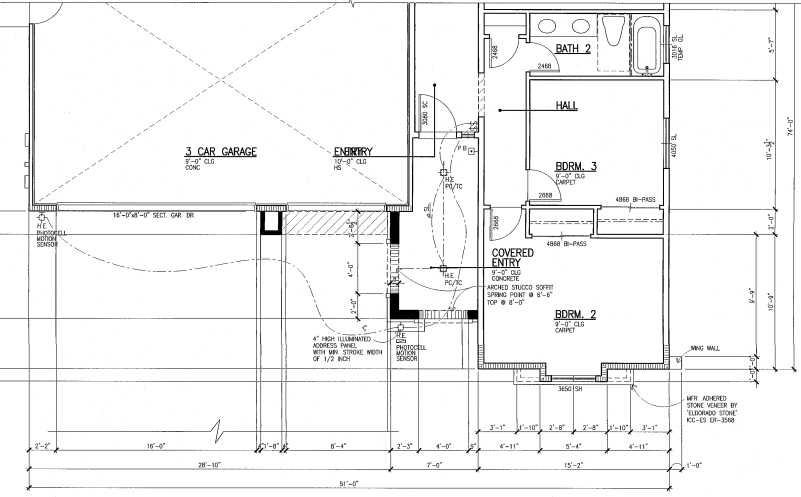
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

ADDENDA FLOOR PLAN NOTES

- NOTE: SHADED WALLS INDICATE AREAS THAT ARE DIFFERENT FROM THE BASE FLOOR PLAN.
- NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.
- REFER TO BASE PLAN SHEET A10.1.0 FOR ADDITIONAL NOTES AND DIMENSIONS.



PARTIAL FLOOR PLAN 2277B - PROGRESSIVE CRAFTSMAN



PARTIAL FLOOR PLAN 2277C - COTTAGE

2020173.00 (2015253.07) - DELTA 2 SET 08-17-2020

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 2' ABOVE FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR MUST BE PROTECTED BY A GUARD GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH (2015 IRC 1607.8.2)

NOTE: WATER-RESISTIVE BARRIER APPLIED OVER WOOD-BASE DECKING HAVE 2 LAYERS OF SPACKLE PAPER APPLIED SHINGLE FASHION, 2019

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR AND SITE DRAINAGE.

ARCHITECTS - PLANNERS - DESIGNERS

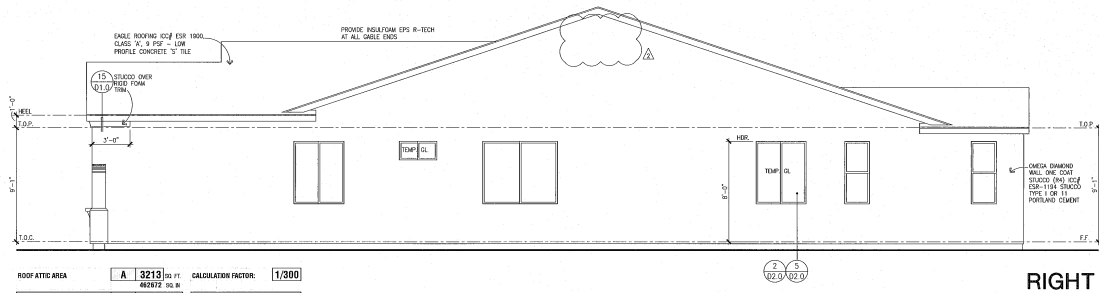
WILSON HOMES

AGENDA ITEM NO. 13.



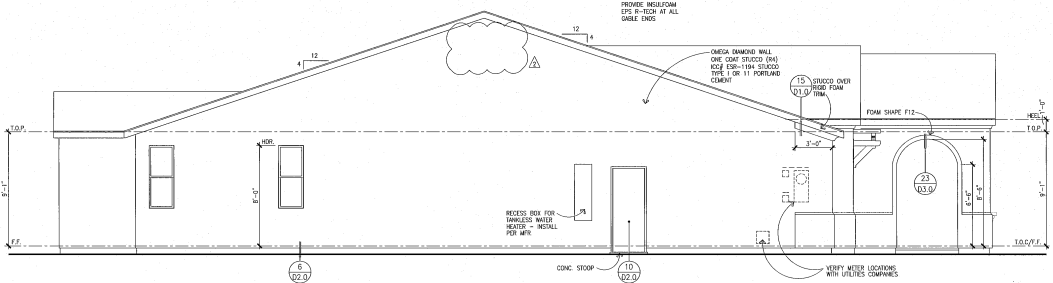
WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.



RIGHT

ROOF ATTIC AREA	A	3213	sq. ft.	CALCULATION FACTOR:	1/200
MIN. VENTILATION REQUIRED:	TOTAL	1542	sq. m.	TOTAL PROVIDED:	1580
	HIGH	771	sq. m.	TOTAL HIGH PROVIDED:	790
	LOW	771	sq. m.	TOTAL LOW PROVIDED:	790
DIURN VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA	
CLOSED VENT - CONC. AT TILE	80	sq. m.	1	790	sq. m.
			TOTAL PROVIDED:	790	sq. m.
LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA	
CLOSED VENT - CONC. AT TILE	80	sq. m.	1	790	sq. m.
			TOTAL PROVIDED:	790	sq. m.



LEFT

CHADWICK - PLAN 2277

CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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NO.	DATE	DESCRIPTION
1	04-24-2020	PLAN CHECK CORRECTIONS
2	06-17-2020	CLIENT REVISIONS

PLAN 2277A
EXTERIOR
ELEVATIONS
AND ROOF PLAN

PROJECT MANAGER:	MM
OWNER:	AM
DESIGNER:	MM
DATE SUBMITTED:	10-26-2019
ISSUED FOR CONSTRUCTION:	10-26-2019
JOB NUMBER:	2020173.00 (2019153)
CAD FILE NAME:	AREA
DATE:	08-17-20
SHEET:	A10.4

SCALE: 1/4" = 1'-0"

SANTIBARRIA

ES

PROFILE CONCRETE 3\"/>

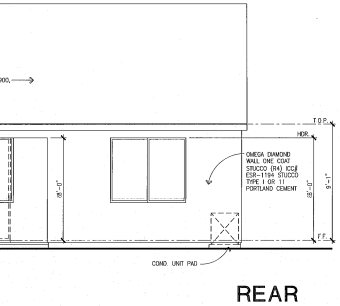
CORROSION RESISTANT DOWN CHORDS - SEE ROOF

STAINLESS STEEL WIRE MESH OF 2\"/>

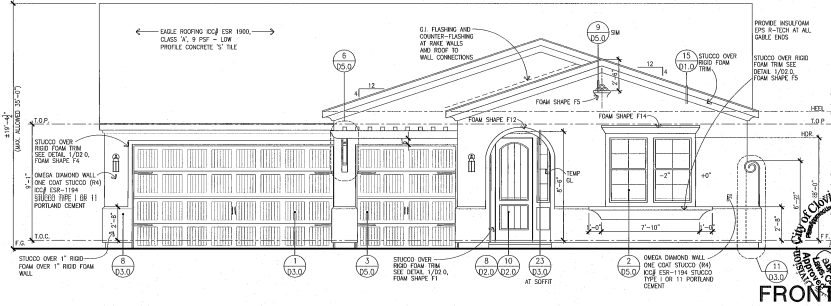
EMV

PROVIDE SITE DRAINAGE

TO LOCATION IN ATTIC FOR SOLAR WATER HEATER AND CONDITIONS FOR ATTIC TO VERIFY AIRFLOW TO



REAR



FRONT



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

CHADWICK - PLAN 2277
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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DATE: NOT SCALE: PLANS

REVISIONS		
NO.	DATE	DESCRIPTION
1	08-17-2020	CLIENT REVISIONS

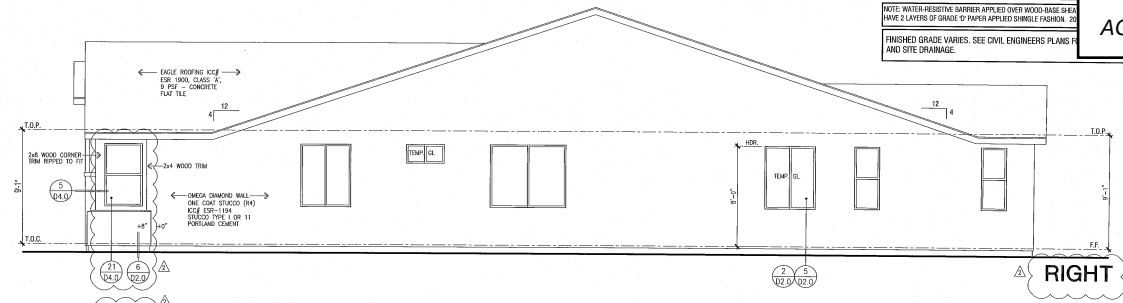
PLAN 2277B
EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT MANAGER:	MM
DESIGNER:	AW
DRAWN BY:	MM
REVIEWED BY:	
DATE REVISIONS DEPT. SUBMITTED:	12-20-2019
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2007173.00 (2015253.07)
CAD FILE NAME:	A15

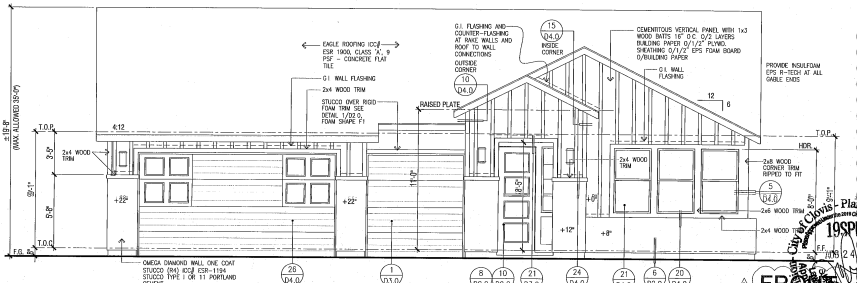
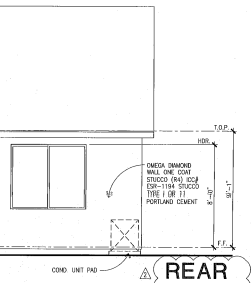
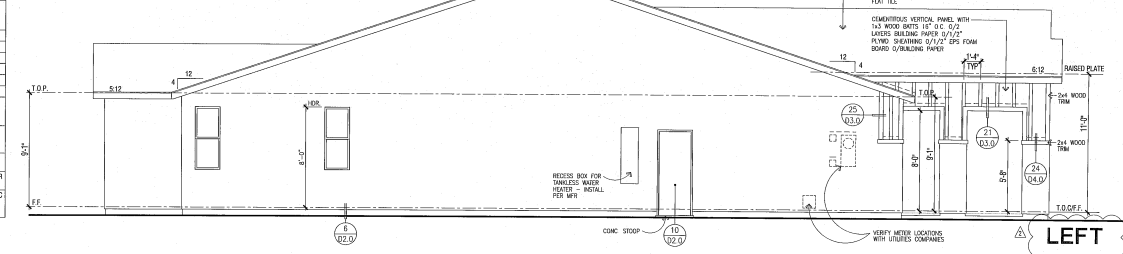
DATE:	08-17-20	SHEET:	A10.5
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2020173.00 (2015253.07) - DELTA 2 SET 08-17-2020

SCALE: 1/4" = 1'-0"



ROOF ATTIC AREA	AREA: 3255 sq ft	CALCULATION FACTOR:	1/300
MIN VENTILATION REQUIRED:	TOTAL 1562 sq in	TOTAL PROVIDED:	1580 sq in
MIN VENTILATION REQUIRED:	HIGH 781 sq in	TOTAL HIGH PROVIDED:	790 sq in
MIN VENTILATION REQUIRED:	LOW 781 sq in	TOTAL LOW PROVIDED:	790 sq in
HIGH VENTILATION METHOD	SIZE: 99 sq in x 1'-8"	QUANTITY:	790
CLEARANCE VENT - CONCRETE TILE		PRE VENT AREA:	790
		TOTAL PROVIDED:	790
LOW VENTILATION METHOD	SIZE: 99 sq in x 1'-8"	QUANTITY:	790
CLEARANCE VENT - CONCRETE TILE		PRE VENT AREA:	790
		TOTAL PROVIDED:	790



NOTES

1. ALL EXTERIOR FINISHES SHALL BE AS SHOWN ON THESE PLANS UNLESS NOTED OTHERWISE.

2. ALL EXTERIOR WALLS SHALL BE CONSTRUCTION GRADE UNLESS NOTED OTHERWISE.

3. ALL EXTERIOR WALLS SHALL BE FINISHED WITH A MINIMUM OF 1/2" EPS FOAM BOARD INSULATION ON ALL EXTERIOR WALLS AND ROOF TO WALL CONNECTIONS.

4. ALL EXTERIOR WALLS SHALL BE FINISHED WITH A MINIMUM OF 1/2" EPS FOAM BOARD INSULATION ON ALL EXTERIOR WALLS AND ROOF TO WALL CONNECTIONS.

5. ALL EXTERIOR WALLS SHALL BE FINISHED WITH A MINIMUM OF 1/2" EPS FOAM BOARD INSULATION ON ALL EXTERIOR WALLS AND ROOF TO WALL CONNECTIONS.

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR HAVE A FINED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH.

NOTE: WATER-RESISTIVE BARRIER APPLIED OVER WOOD-BASE SHEAT HAVE 2 LAYERS OF GRADE 70 PAPER APPLIED BRANVILLE FASHION 201 2019 CIRC. 100.1.2.

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR SITE DRAINAGE.

ARCHITECTS - PLANNERS - DESIGNERS

AGENDA ITEM NO. 13.

ORANGE COUNTY, LOS ANGELES, SAN AREA



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

CHADWICK - PLAN 2277
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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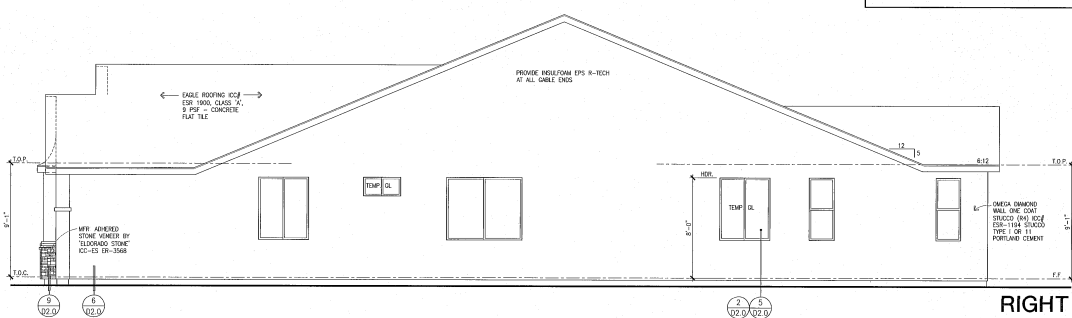
DATE: 08-17-2020

REVISIONS		
NO.	DATE	DESCRIPTION
1	08-17-2020	CLIENT REVISIONS

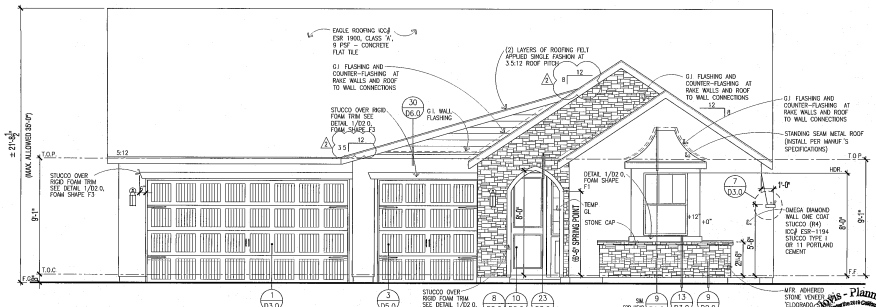
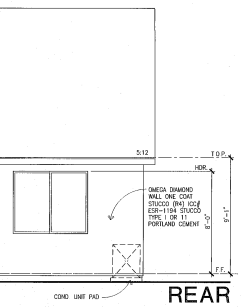
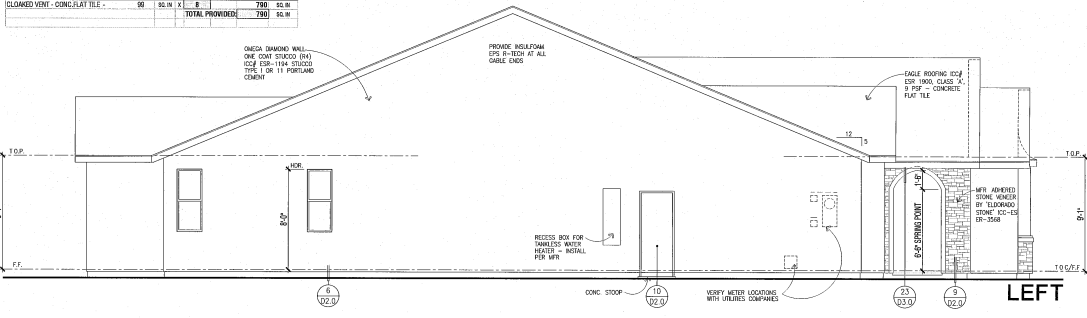
PLAN 2277C
EXTERIOR
ELEVATIONS
& ROOF PLAN

PROJECT MANAGER:	MM
DESIGNER:	AM
DRAWN BY:	MH
REVIEWED BY:	
ISSUED FOR CONSTRUCTION:	12-29-2019
JOB NUMBER:	2020173.00 (201253)
CAD FILE NAME:	A10.6
DATE:	08-17-20
SHEET:	A10.6

SCALE: 1/4" = 1'-0"



ROOF ATTIC AREA	A	3190	sq. ft.	CALCULATION FACTOR:	1.300
MIN. VENTILATION REQUIRED:	TOTAL	1534	sq. ft.	TOTAL PROVIDED:	1580
MIN. VENTILATION REQUIRED:	HIGH	767	sq. ft.	TOTAL HIGH PROVIDED:	790
MIN. VENTILATION REQUIRED:	LOW	744	sq. ft.	TOTAL LOW PROVIDED:	790



2020173.00 (201253.07) - DELTA 2 SET 08-17-2020

AGENDA ITEM NO. 13.

ORANGE COUNTY - LOS ANGELES - SAN AREA



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

WINDSOR - PLAN 2378
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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REVISIONS

NO.	DATE	DESCRIPTION
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2	05-29-2020	CLIENT REVISIONS

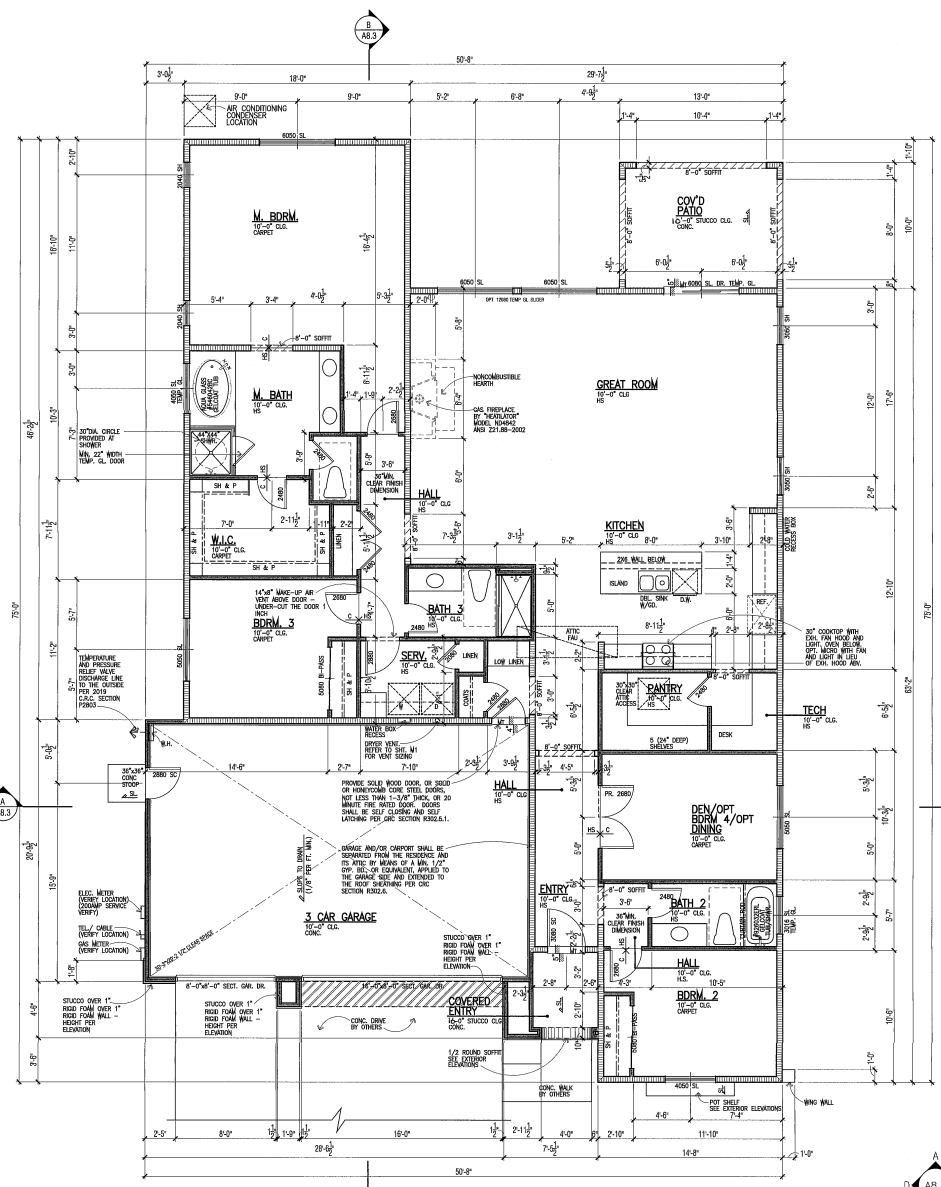
**PLAN 2378A
FLOOR PLANS &
OPTIONS**

SPN #	769-2020
FLOOR AREA TABLE	PLAN 2378A
FLOOR PLAN	2381 SQ. FT. (10' x 19' x 13')
TOTAL	2381 SQ. FT. (10' x 19' x 13')
3-CAR GARAGE	1057 SQ. FT. (10' x 19' x 13')
COVERED ENTRY/PORCH	215 SQ. FT. (10' x 19' x 13')
COVERED PATIO	130 SQ. FT. (10' x 19' x 13')

PROJECT MANAGER:	HW
DESIGNER:	HW
DRAWN BY:	HW
CHECKED BY:	HW
DATE OF SUBMITTAL:	04/29/2020
DATE FOR CONSTRUCTION:	05/01/2020
OWNER:	3339173.00 (2015253.07)
DRAWING NAME:	AS.1

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

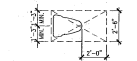
SCALE: 1/4" = 1'-0"



FLOOR PLAN

SEE SHEET A.B.5 FOR ADDENDA FLOOR PLANS

REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL

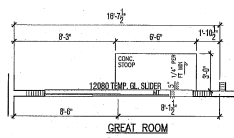


NAILING SCHEDULE IS LOCATED ON SHEET SD.2

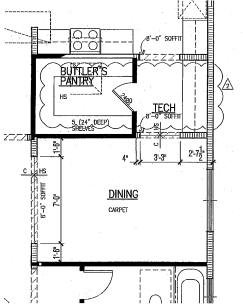
WALL LEGEND	
[Symbol]	2x10 @ 16" O.C.
[Symbol]	2x10 @ 24" O.C.

FLOOR PLAN NOTES

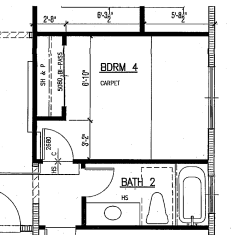
- ATTIC: ACCESS PER IRC R402, DRAFTSTOP PER IRC R402.12 AND VENTILATION PER IRC R402.13.
- SHRINK SPACES: ACCESS PER IRC R404.4 AND VENTILATION PER IRC R402.13.
- ENERGYSAVING WINDOWS AND DOORS: PER IRC R602.3 AND R602.4.
- MEANS OF EGRESS PER IRC E101.
- RELIEF VALVE: PER IRC R402.13 AND R402.13.1.
- FACTORY QUALIFIED WINDOW AND DOORS: PER IRC R602.3 AND R602.4.
- CONSTRUCTION AIR TO EXHAUST AIR UNIT PER CMCA CHAPTER 7.
- CONSTRUCTION AIR TO WATER HEATER PER CMCA SECTION 506.0.
- ENVIRONMENTAL AIR QUALITY PER CMCA SECTION 504.
- MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CMCA 504.
- MANDATORY REQUIREMENTS FOR APPLIANCES PER CMCA SECTION 110.1.
- THE WALL HEIGHT IS NOT TO EXCEED 44" FROM THE BOTTOM OF THE CLEAR OPENING IN CLOSING ROOM. (CNC 316.1.1)
- IN UPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS CLEARED LESS THAN 20" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE ON OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR HAVE FROD GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. (CNC 316.1.2)
- A SHEETROCK FINISH INSPECTION IS REQUIRED. (CNC 1101.4.2)
- GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. (CNC 316.1.3)
- PROVIDE 4" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE PRELAPSE. (CNC 316.1.4)
- VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNLESS OTHERWISE NOTED. (CNC 316.1.5)
- THE WALL SURFACE IS TO BE CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH. ANY CONSTRUCTION OF MATERIALS NOT ADVISED BY THE ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WATER RESISTANT GYPSON BOARD IS TO BE USED IN THESE LOCATIONS. (CNC 1101.4.2)
- THE THREE CAR GARAGE IS TO BE CONFORMING AND THE REQUIRED BELIEVED UTILITY SHALL NOT BE HELD. (CNC 1101.1)
- NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GAUGED TO PREVENT AIR LOSS. (CNC 1101.1)
- A MINIMUM 30" DIA. CIRCLE IS PROVIDED AT THE SHOWER FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 1024 SQUARE INCHES. (CNC 408.4)
- THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH THE LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. (CNC TITLE 20)



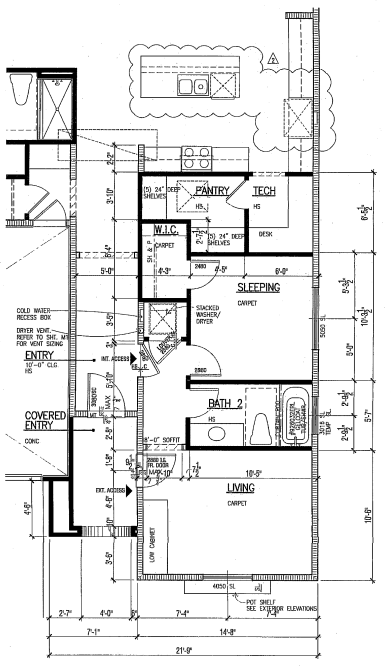
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ILO (2) 6050 SL



OPT. DINING ILO DEN



OPT. BDRM. 4 ILO DEN



MULTI GENERAL SUITE OPT. ILO
BDRM 2 AND DEN

AGENDA ITEM NO. 13.

ORANGE COUNTY, LOS ANGELES - BAY AREA



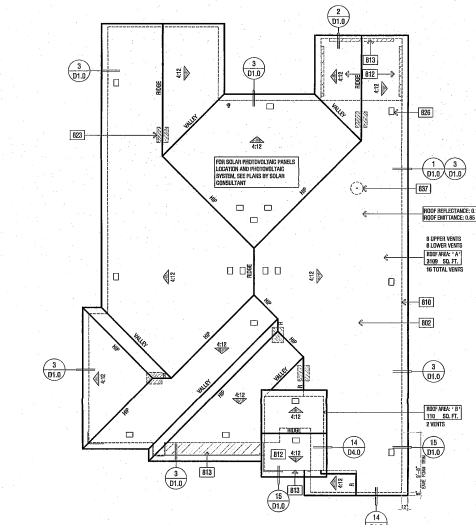
WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

WINDSOR - PLAN 2378
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 6" ABOVE FINISHED FLOOR AND MORE THAN 27" ABOVE FINISHED GRADE OR OTHER FINISH BELOW IT, THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE A FRIED IN GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2019 CBC 1405.13.2
NOTE: 2 LAYERS OF G-RADE OF BUILDING PAPER IS REQUIRED TO BE USED BASE OPERATING. 2019 CBC 1405.13
FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL BROU AND SITE DRAINAGE.

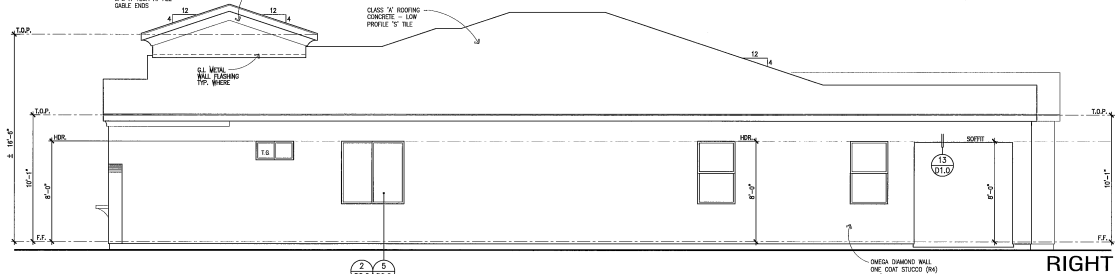


ROOF PLAN

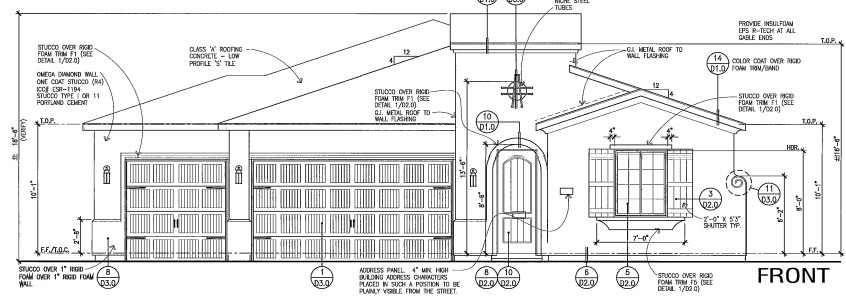
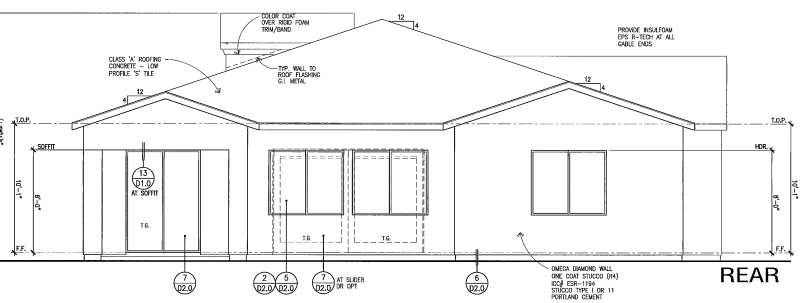
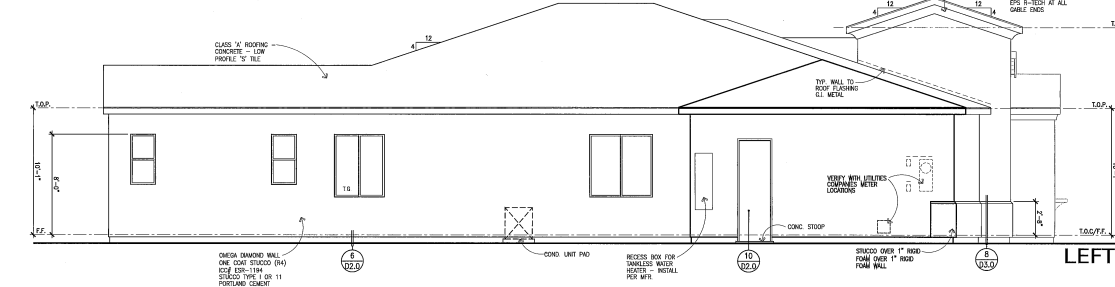
SCALE: 1/8" = 1'-0"

ELEVATION REFERRED	ELEVATION STYLE	SANTA BARBARA
ROOF MATERIAL	CEMENTED ROOF	AREA - AREA - LINE - AREA
<p>LOW PROFILE CONCRETE 'S' TILE</p> <p>1 (P1.0) 2x6 2x6 1'-0" 6'</p>		
<p>ROOF PLAN NOTES</p> <ol style="list-style-type: none"> SEE GENERAL NOTES FOR ROOF NOTES. SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. ATTIC ACCESS PER CIRC SECTION 1800. PROVIDE ATTIC VENTILATION PER CIRC SECTION 1800. PER CIRC SECTION 1800.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/100 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/100 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET: <ul style="list-style-type: none"> IN CLIMATE ZONES 1 AND 1A, 1A.1 OR IN WINDY RETARDERS IS INSTALLED ON THE WARM-UP/WINTER SIDE OF THE CEILING. NOT LESS THAN 10% OF THE AREA AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC TO IMPROVE CROSS-VENTILATION. VENTILATORS SHALL BE LOCATED NO MORE THAN 18" (14" MAX) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATING PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE. INDICATE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION OF MORE THAN ONE (1) IN A ROW BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE FORMITTED. SLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 2:12 OR GREATER, IN ACCORDANCE WITH SECTION 1800.3.2 (C)2. WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOF WHERE SLOPES EXCEED 12:12 PER THE ROOFING MANUFACTURER'S INSTALLATION MANUAL. WHERE ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A KEE TO THE DESIGN PRIOR TO LAY WITH THE COMPANY PITCH CODE SECTION 11.10 AND CIRC SECTION 11.12.1. 		
<p>SOLAR PHOTOVOLTAIC SYSTEMS</p> <p>SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH C.A.C. SECTION 1801.1 THROUGH 1801.2.7 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS. REFER TO SOLAR CODES THAT PLUMB UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATION AND CODES, AND ALL OTHER DESIGN REQUIREMENTS. NOTE THAT NO MECHANICAL PLUMBING CONDUIT VENTIL, ROOF ATTIC VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA. PER 68 ENERGY CODE SECTION 11.10 AND CIRC SECTION 11.12.1.</p>		

ROOF PLAN KEY NOTES	Note	NOTE
802	CLASS 'X' ROOFING - CONCRETE - LOW PROFILE 'S' TILE	
810	LINE OF WALL BELOW	
812	STUCCO CEILING	
813	STUCCO SOFFIT	
816	ROOF VENT - "CLAYED", OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH WITH 1/16" ANNUM AND UP WOODWORK OPENINGS. (SEE ROOF VENTILATION CALCULATIONS)	
818	1" WALL ROUND G.I. GUTTER W/ CORROSION RESISTANT WIRE MESH OF 1/16" OVER AREA TO PREVENT THE ACCUMULATION OF LEAKS AND DEBRIS (IF REQUIRED). MESH SHALL BE REMOVABLE FOR CLEANING.	
819	24 ALUMINA CONCRETE ROOF FRAMING REQUIREMENTS - SHOWING NO APPROVED SITE DRAINAGE SYSTEM - VERIFY LOCATION WITH BIDDING.	
827	PROVIDE "CONDUIT" FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR PV SOLAR INSTALLATION. PROVIDE GROUND FOR PROTECT SOLAR WATER HEATER.	
828	MIN. 2" X 2" OPENING IN CALIFORNIA ROOF FRAMING CONDITIONS FOR ATTIC ACCESS AND CROSS VENTILATION - CONTRACTOR TO VERIFY ALLOWED TO ALL ATTIC AREAS.	



ATTIC VENTILATION CALCULATIONS		PLAN 8A	ROOF ATTIC AREA	B 110	CALCULATION FACTOR:
ROOF ATTIC AREA	A 3100	CALCULATION FACTOR:	1/300	1100	1/150
MIN VENTILATION REQUIRED:	TOTAL 1476	TOTAL PROVIDED:	1568	MIN VENTILATION REQUIRED:	TOTAL 100
MIN VENTILATION REQUIRED:	HIGH 738	TOTAL HIGH PROVIDED:	784	CLOSED VENT - CONCRE-TILE	58
MIN VENTILATION REQUIRED:	LOW 738	TOTAL LOW PROVIDED:	784	OPEN VENT - CONCRE-TILE	42
HIGH VENTILATION METHOD:	CLOSED VENT - CONCRE-TILE	58	58	58	58
LOW VENTILATION METHOD:	CLOSED VENT - CONCRE-TILE	58	58	58	58



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REVISIONS		
NO.	DATE	DESCRIPTION
1	04-28-2020	PLAN CHECK CORRECTIONS
2	08-20-2020	CLIENT REVISIONS

PLAN 2378A EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT NUMBER:	MM
DESIGNER:	AW
DRAWN BY:	ME
REVIEWED BY:	ME
LAST REVISION SUBMITTED:	08-20-2020
ISSUED FOR CONSTRUCTION:	
PROJECT NUMBER:	2020173.00 (20201523.07)
SHEET NUMBER:	A8.4
DATE:	08-20-20
SHEET:	A8.4

SCALE: 1/4" = 1'-0"

2020173.00 (201523.07) - DELTA 2 SET 08-20-2020

ARCHITECTS - PLANNERS - DESIGNERS

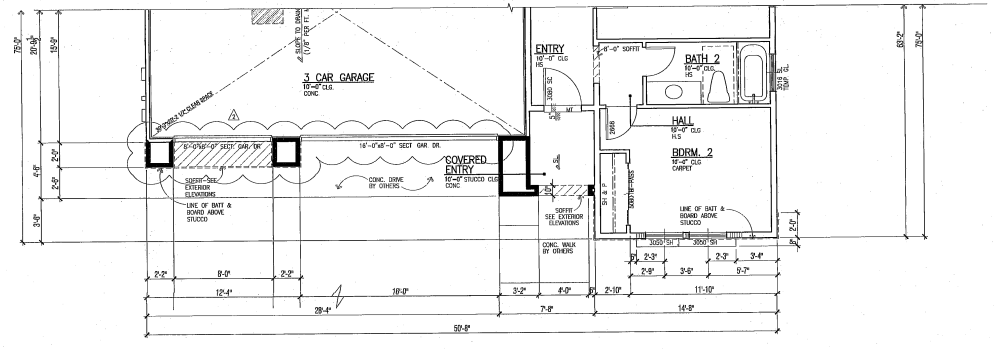
AGENDA ITEM NO. 13.

ORANGE COUNTY, LOS ANGELES - BAY AREA

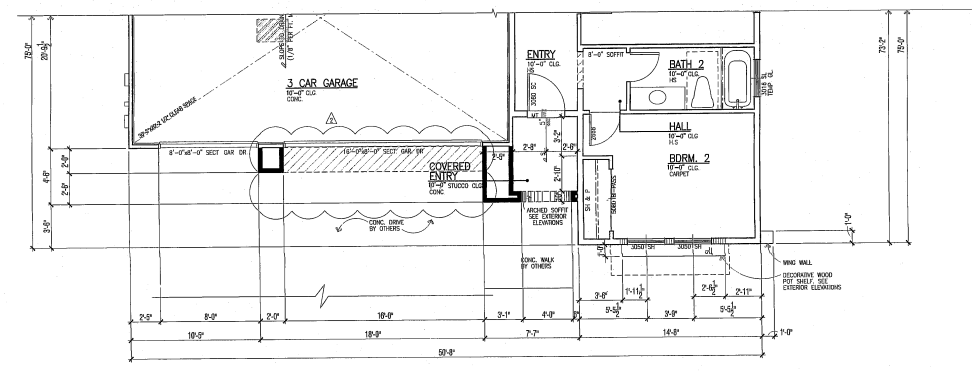


WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.



PARTIAL FLOOR PLAN 2378B - PROGRESSIVE CRAFTSMAN



PARTIAL FLOOR PLAN 2378C - COTTAGE

SPN #	763-2020
FLOOR AREA TABLE	PLAN 2378B
FLOOR PLAN	2381 SQ. FT.
TOTAL	2381 SQ. FT.
3-CAR GARAGE	628 SQ. FT.
COVERED ENTRY	37 SQ. FT.
COVERED PATIO	130 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

- FLOOR PLAN NOTES**
1. ATTIC: ACCESS PER CIRC 1107, UNFINISHED PER CIRC 1102.12 AND VENTILATION PER 1103.
 2. CHIM. SPACES: ACCESS PER CIRC 1104.4 AND VENTILATION PER 1104.1.
 3. EMERGENCY ESCAPE AND RESCUE PER OPENING PER CIRC 1102.4 AND 1103.
 4. MEANS OF EGRESS PER CIRC 1101.
 5. GLAZING PER CIRC 1101.1, 1101.2.1.2 & 1103.6.
 6. FACTORY-BUILT FINISHES AND COVERINGS PER CIRC 1101.4, 1101.4.1, 1101.4.2 AND A.I.A.M.A. RULE 415.
 7. COMBUSTION AIR TO FORCED AIR UNIT PER CIRC 1101.7.
 8. COMBUSTION AIR TO WATER HEATER PER CIRC 1101.7.1.
 9. ENVIRONMENTAL AIR DUCTS PER CIRC 1101.7.2.
 10. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CIRC 1101.8.
 11. MANDATORY REQUIREMENTS FOR APPLIANCES PER CIRC 1101.9.
 12. THE SILL HEIGHT IS NOT TO EXCEED 4" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. CIRC 1101.11.
 13. IN UPPER FLOOR PLANE, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER GARAGE FLOOR AT THE EXTERIOR, MUST BE PROTECTED BY A GLAZED OR LAMINATED GLASS. THE GLAZING MAY NOT HAVE OPERATIONS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. CIRC 1101.12.
 14. A SHERLOCK HALE INSPECTION IS REQUIRED. CIRC 1101.1.4.2.
 15. GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. CIRC 1103.
 16. PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE PREPARE. 2018 7-54.
 17. VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNREINFORCED, OR 48" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. CIRC 1101.6 & 1101.2.
 18. THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPILLS ARE CONSIDERED TO BE ADJACENTLY AFFLICTED BY WATER. NOTE THE USE OF FRESH CEMENT, FIBER MESH REINFORCED CEMENT OR GLASS MESH REINFORCED ON THE FLOOR PLAN. NOTE THAT WATER RESISTANT CYPRAN BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. CIRC 1101.2.
 19. THE THREE CAR GARAGE IS NON-COMBUSTIBLE AND THE REQUIRED SIDEWALL SETBACKS MAY NOT BE RELAXED. CIRC 1101.1.1.
 20. NOTE THAT ALL ATTIC ACCESS COVERINGS ARE GLAZED TO PREVENT AIR LOSS. CIRC 1101.11.
 21. A MINIMUM 20" DIA. CIRCLES IS PROVIDED AS IS FROM SQUARE INCHES. CIRC 408.6.
 22. THE WALKER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH THE LIST OF THE VERTICAL, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. CDR TITLE 20.

SPN #	763-2020
FLOOR AREA TABLE	PLAN 2378C
FLOOR PLAN	2381 SQ. FT.
TOTAL	2381 SQ. FT.
3-CAR GARAGE	628 SQ. FT.
COVERED ENTRY	37 SQ. FT.
COVERED PATIO	130 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

ADDENDA FLOOR PLAN

NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DEEPER THAN THE BASE FLOOR PLAN.

NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS.

REFER TO BASE PLAN SHEET A-B.1 FOR ADDITIONAL NOTES AND DIMENSIONS.

WINDSOR - PLAN 2378
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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REVISIONS

NO.	DATE	DESCRIPTION
1	04-20-2020	PLAN CHECK CORRECTIONS
2	08-20-2020	CLIENT REVISIONS

**PLAN 2378B & C
ADDENDA FLOOR
PLANS**

PROJECT MANAGER: MM
DESIGNER: MM
DRAWN BY: MM
CHECKED BY: MM
ISSUED FOR CONSTRUCTION: -
JOB NUMBER: 2020173-00 (DELTA 2 SET)
CWP FILE NAME: A15

DATE: 08-20-20
SHEET: A8.5

SCALE: 1/4" = 1'-0"

2020173-00 (2015253-07) - DELTA 2 SET 08-20-2020

AGENDA ITEM NO. 13.

ORANGE COUNTY - LOS ANGELES - BAY AREA



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

WINDSOR - PLAN 2378
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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ALL EXTERIOR VENTILATORS OR DOWNSPouts OR COPING AND OTHER PROJECTIONS FROM ROOFS SHALL BE FINISHED WITH A 1x4 WOOD TRIM WITH 1/2" GAP. THE EXTERIOR, MUST BE PROTECTED BY A GROUND GL. HAVE A FIBER GLASS GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS PER USC ENEC 1909.2.2

NOTE: 3 LAYERS OF SPACE VY BUILDING PAPER IS REQUIRED TO BE ONE WOOD BASE SHEATHING. 2019 USC ENEC 1909.2.3

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

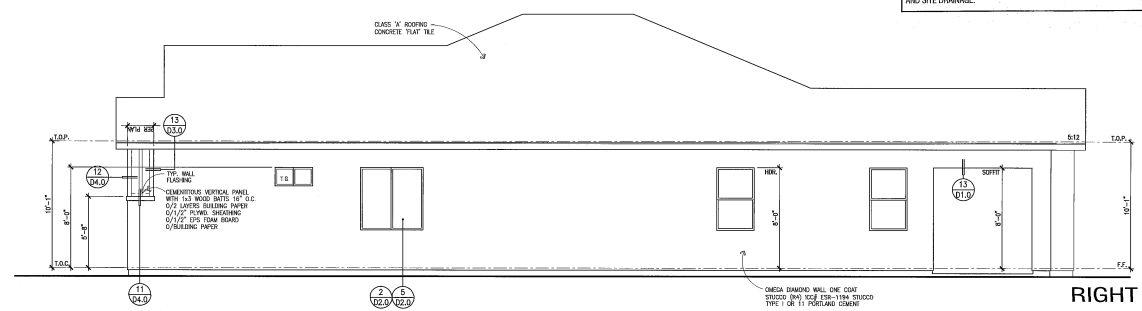
REVISIONS

NO.	DATE	DESCRIPTION
1	04-20-2020	PLAN CHECK CORRECTIONS
2	06-20-2020	CLEM REVISIONS

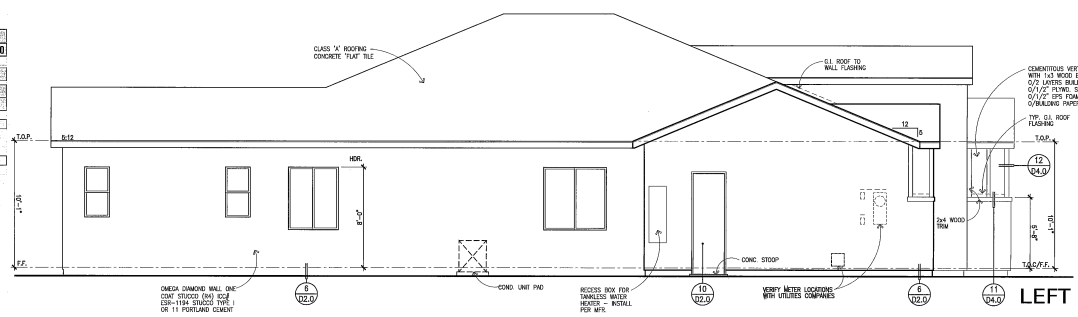
PLAN 2378B EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT NUMBER:	W-194
DESIGNER:	WH
CREATED BY:	WH
REVIEWED BY:	WH
DATE: 08-20-2020	REVISION: 07
DATE: 08-20-20	SHEET: A8.6

DATE: 08-20-20 SHEET: A8.6



RIGHT



LEFT

ATTIC VENTILATION CALCULATIONS

ROOF ATTIC AREA: **3210** sq. ft. CALCULATION FACTOR: **1.300**

MIN. VENTILATION REQUIRED:	TOTAL: 1526 sq. ft.	MIN. PROVIDED: 1504 sq. ft.
HIGH:	763 sq. ft.	TOTAL HIGH PROVIDED: 750 sq. ft.
LOW:	763 sq. ft.	TOTAL LOW PROVIDED: 754 sq. ft.

ROOF PLAN KEY NOTES

Item	NOTE
001	CLASS 'X' ROOFING - CONCRETE FLAT TILE
002	LINE OF WALL BELOW
013	STUCCO ROOF
018	ROOF VENT - TO CORNER OPENINGS SHALL HAVE CORROSION RESISTANT WIRE MESH WITH 1/4" MINIMUM AND 1" MAXIMUM OPENING. (SEE ROOF VENTILATION CALCULATIONS)
025	1/2" HALF ROUND G.L. GUTTER W/ CORROSION RESISTANT WIRE MESH OR EPDMIC OPEN AREA TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IF REQUIRED, WIRE MESH SHALL BE REMOVABLE FOR CLEANING.
026	1/2" METAL DOWNSPOUT (IF REQUIRED) - DISCHARGE TO APPROVED SITE DRAINAGE SYSTEM. VERIFY LOCATION WITH INSTALLER.
027	PROVIDE 1" CONCRETE FROM THE ELECTRIC PANEL TO LOCATION POINT FOR PV SOLAR INSTALLATION. PROVIDE ROUTE FOR FUTURE SOLAR WATER HEATER.
030	MIN. 2"x4" OPENING IN CALIFORNIA ROOF FRAMING CONDITIONS FOR ATTIC ACCESS AND CROSS VENTILATION - CONTRACTOR TO VERIFY ALLOWANCE TO ALL ATTIC AREAS

ROOF PLAN SCALE: 1/8" = 1'-0"

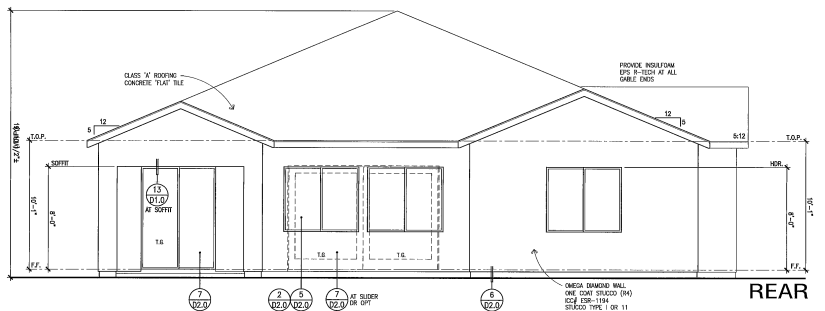
ROOF MATERIAL:	CONCRETE FLAT TILE	2X6	2X6	1'-0"	1'-0"
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ROOF PLAN NOTES

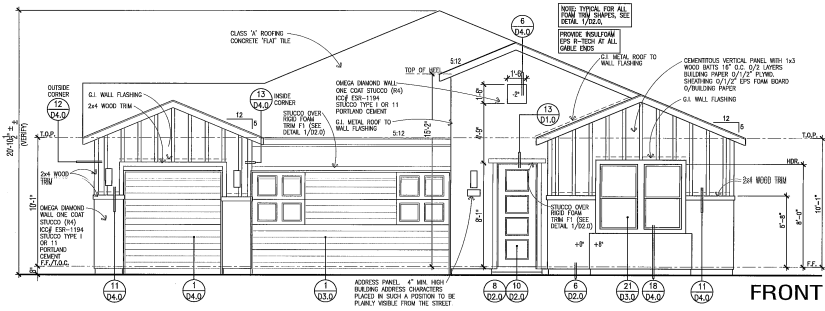
- SEE GENERAL NOTES FOR ROOF NOTES
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
- ATTIC ACCESS PER CIRC SECTION ROOF
- PROVIDE ATIC & SOFFIT VENTILATION PER CIRC SECTION ROOF. PER CIRC SECTION ROOF, THE MINIMUM NET FREE VENTILATION AREA SHALL BE 50% OF THE AREA OF THE VENTED SPACE EXCEPT: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 100% OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 16 AND 18, A CLASS 'D' OR 'B' VAPOR RETARDER IS INSTALLED ON THE WINDWARD SIDE OF THE CEILING
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONSULT WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION OF MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OF HIGHEST POINT OF THE SPACE SHALL BE PROHIBITED.
- CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 2:12 OR GREATER. FOR ROOF SLOPES FROM 14:12 TO 6:12, DRAMOND UNDERLAYMENT WITH GUTTER AS REQUIRED IN ACCORDANCE WITH ROOF 5.3 (ROOF 5.3 CIRC)
- WOOD ROOFING IS REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER THE MANUFACTURER'S INSTALLATION MANUAL.
- WHERE ROOFING IS REQUIRED PROVIDE INTEREST: THE FRAMING OR TRUSS MANUFACTURER MUST ADD A WELL TO THE STEEPER PITCH TO ALLOW WIND THE WAVE OF THE LOWER PITCH.

SOLAR PHOTOVOLTAIC SYSTEMS

SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH C.E.C. SECTION 9A.1.1, THROUGH 9A.2.7 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SEE ALL OTHER DESIGN REQUIREMENTS. NOTE THAT MECHANICAL PLUMBING ENGINEER'S VENTS, ROOF ATTIC VENTS WILL BE PROVIDED WITHIN THE SOLAR ZONE AREA. REP OR ENERGY CODE SECTION 10.2.6 AND SEE SECTION 9A.1.5.1



REAR



FRONT

SCALE: 1/4" = 1'-0"

2020173.00 (2015253.07) - DELTA 2 SET 08-20-2020

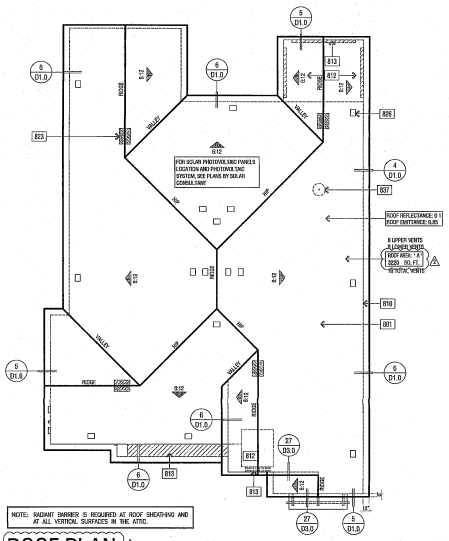
ORANGE COUNTY - LOS ANGELES, BAY AREA



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

WINDSOR - PLAN 2378
CLOVIS, CALIFORNIA
WILSON HOMES
FRESNO, CALIFORNIA



NOTE: RADANT BARRER IS REQUIRED AT ROOF BREAKING AND AT ALL VERTICAL SURFACES IN THE SITE.

ROOF PLAN

SCALE: 1/8" = 1'-0"

CEILING FINISH:	C	COTTAGE:	A
ROOF MATERIAL:	CONCRETE FLAT TILE	ROOF PITCH:	12/12
ROOF FINISH:	CONCRETE FLAT TILE	ROOF TYPE:	12/12

ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- UPPER VENTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ATYIC ACCESS PER CIRC SECTION R407.
- PROVIDE ATYIC & GYPER VENTILATION PER CIRC SECTION R407. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30TH OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/30TH OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 14 AND 16, A CLASS I OR I VAPOR BARRIER IS INSTALLED ON THE WINDWARD SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE PERIMETER OF THE ATTIC OR BATTLE SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE PEAK OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY THE BALANCE OF THE REQUIRED VENTILATION PROVIDES SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS COINCIDES WITH THE INSTALLATION OF UPPER VENTILATION, INSTALLATION OF MORE THAN 3 FEET (914 MM) BELOW THE PEAK OR HIGHEST POINT OF THE SPACE SHALL BE PROHIBITED.
- CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 3% OR GREATER FOR ROOF SLOPES FROM 3% TO 12% TO CL. DOUBLE UNDERLAYMENT APPLICATION AS INDICATED IN ACCORDANCE WITH HRS 3.3 (895.3.3 CIRC).
- WOOD BATTING AS REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7/12 PER TILE ROOFING INSTITUTE INSTALLATION MANUAL.
- WHERE ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A NAIL TO THE STEEPER PITCH TO ALIGN WITH THE LEAVE OF THE LOWER PITCH.

SOLAR PHOTOVOLTAIC SYSTEMS

SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH C.E.C. SECTION 96.1.1, PHOTOVOLTAIC 2.2.7 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA PHO. CODE AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFER TO SOLAR CONSULTING PLAN UNDER SUPPLEMENT 1.1 UNDER SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, WALL LOCATION AND SIZE, AND ALL OTHER DESIGN REQUIREMENTS. NOTE THAT TO MECHANICAL, A NUMBER 10/107 VENTILATOR WITH 1/2" NET AREA WILL BE REQUIRED FOR THE SOLAR ZONE AREA. REF. CALIFORNIA CODE SECTION 116.10 AND CIRC SECTION 3111.2.1.

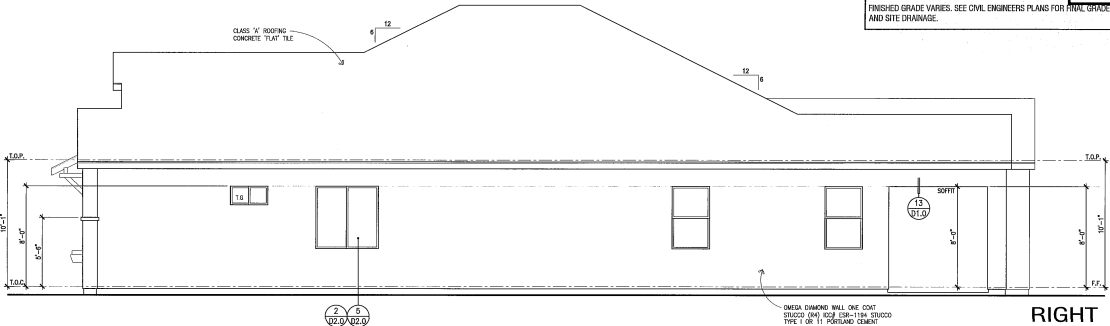
ATTIC VENTILATION CALCULATIONS

ROOF ATTIC AREA:	3220	CALCULATION FACTOR:	1/300
MIN. VENTILATION REQUIRED:	10.73	TOTAL PROVIDED:	1584
MIN. VENTILATION REQUIRED (HIGH):	765	TOTAL PROVIDED (HIGH):	792
MIN. VENTILATION REQUIRED (LOW):	765	TOTAL PROVIDED (LOW):	792

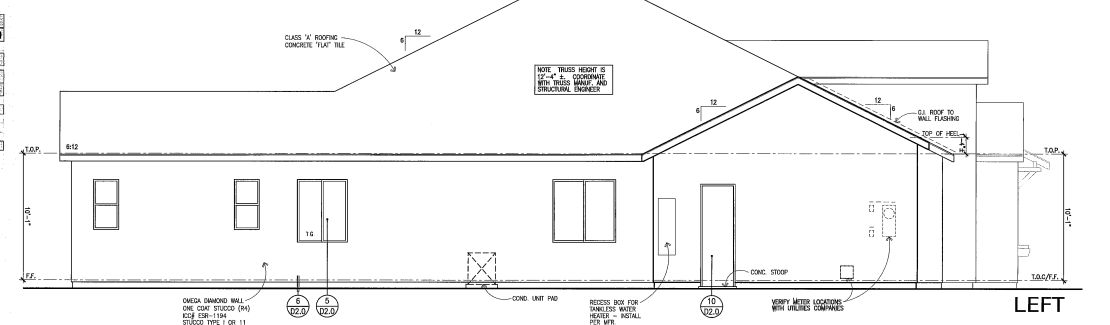
HIGH VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLOSED VENT - CONCRETE TILE	96	96	8	792
LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE VENT AREA
CLOSED VENT - CONCRETE TILE	96	96	8	792
TOTAL PROVIDED:				792

ROOF PLAN KEY NOTES

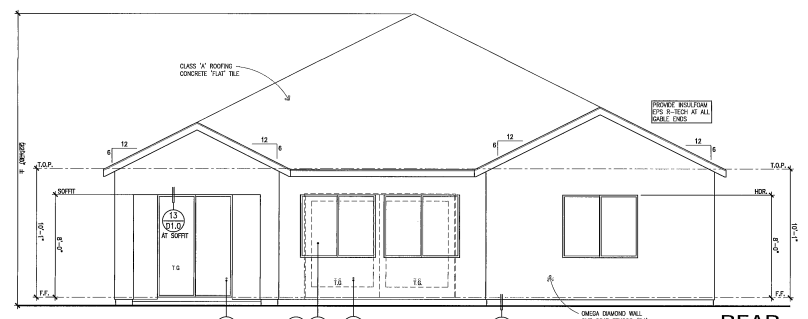
NOTE	NOTE
001	CLASS 'X' ROOFING - CONCRETE FLAT TILE
010	LINE OF WALL BELOW
012	STUCCO COLING
013	STUCCO SKYLINE
026	ROOF VENT - "CLAYED" OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH WITH 1/4" MINIMUM AND 1/8" MAXIMUM OPENING. (SEE ROOF VENTILATION CALCULATIONS)
035	UPPER VENT - 1/2" QUATER W/ CORROSION RESISTANT WIRE MESH (SEE ROOF VENTILATION CALCULATIONS) TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS (IF PROVIDED, MESH SHALL BE REMOVABLE FOR CLEANING)
036	1/2" METAL CONDUIT (IF REQUIRED) - DISCHARGE TO APPROVED SITE DRAINAGE SYSTEM. VERIFY LOCATION WITH INSTALLER
037	PROVIDE 1" CROSBURY FROM THE ELECTRICAL PANEL. TO LOCATOR IN ATTIC FOR PV SOLAR INSTALLATION. PROVIDE ROOF FLASHING FOR SOLAR WATER HEATER
038	MIN. 2"X2" DRYSIDE IN CALIFORNIA ROOF FRAMING CONSIDERING FOR ATYIC ACCESS AND CROSS VENTILATION. CONTRACTOR TO VERIFY APPLY WALL TO ALL ATTIC AREAS



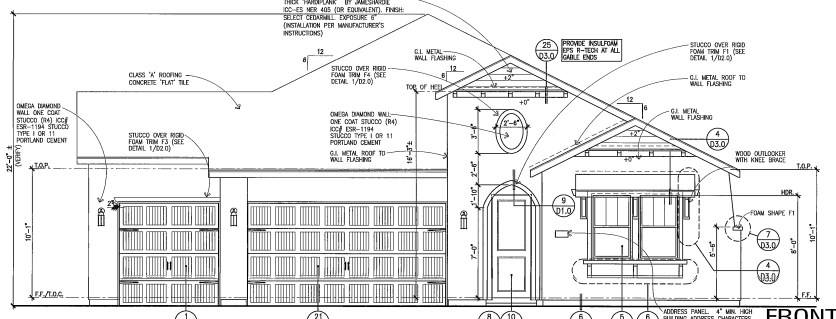
RIGHT



LEFT



REAR



FRONT

EXTERIOR ELEVATIONS

REVISIONS

NO.	DATE	DESCRIPTION
1	04-26-2020	PLAN CHECK CORRECTIONS
2	08-26-2020	CLIENT REVISIONS

PLAN 2378C EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT NUMBER:	AM
DESIGNER:	WH
SPAWN BY:	WH
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	200179 (08/21/2020)
CAD FILE NAME:	237
DATE:	08-20-20
SHEET:	A8.7



SCALE: 1/4" = 1'-0"

2020-173-00 (2015253.07) - DELTA 2 SET 08-20-2020

AGENDA ITEM NO. 13.



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

WINDSOR - PLAN 2528
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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NO.	DATE	DESCRIPTION
△	02-26-2020	PLAN CHECK CORRECTIONS
△	09-08-2020	CLIENT REVISIONS

REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL	
SPN #	PLAN 2528A
FLOOR AREA TABLE	
LOWER FLOOR PLAN	2702 SQ. FT.
TOTAL	2702 SQ. FT.
2 CAR GARAGE	473 SQ. FT.
COVERED ENTRY	61 SQ. FT.
COVERED PATIO	208 SQ. FT.

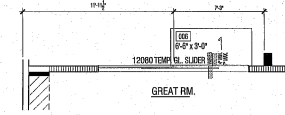
REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL	
SPN #	PLAN 2528A
FLOOR AREA TABLE	
FLOOR PLAN	61 SQ. FT.
TOTAL	61 SQ. FT.
2 CAR GARAGE W/ TANDM	61 SQ. FT.
COVERED ENTRY	208 SQ. FT.
COVERED PATIO	208 SQ. FT.

PROJECT MANAGER: CC
 DESIGNER: AM
 DRAWN BY: JH
 CHECKED BY: JH
 SET DATE: 08-26-2020
 DATE FOR SUBMITTAL: 10-10-19
 REASON FOR CONTRIBUTION: 201955.07
 JOB NUMBER: 201955.07
 CHECK FILE NAME: AMT

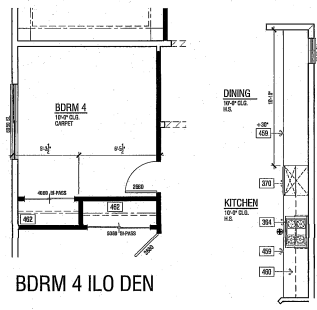
DATE: 09-08-20
 SHEET: A4.1

FLOOR PLAN KEY NOTES

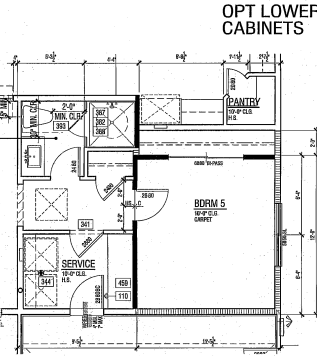
- 002 CONCRETE DRIVE (BY OTHERS)
- 003 CONCRETE WALK (BY OTHERS)
- 004 CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT (DIRECTOR REQUIRED)
- 005 CONCRETE STAIRS (BY OTHERS) SLOPE 1/4" PER FOOT (DIRECTOR REQUIRED)
- 006 CONCRETE STAIRS (BY OTHERS) SLOPE 1/4" PER FOOT (DIRECTOR REQUIRED)
- 007 CONCRETE STAIRS (BY OTHERS) SLOPE 1/4" PER FOOT (DIRECTOR REQUIRED)
- 008 CONCRETE STAIRS (BY OTHERS) SLOPE 1/4" PER FOOT (DIRECTOR REQUIRED)
- 009 CONCRETE STAIRS (BY OTHERS) SLOPE 1/4" PER FOOT (DIRECTOR REQUIRED)
- 010 PROVIDE SOLID WOOD DOOR, OR SOLID OR HONEYCOMB CORE STEEL DOORS, NOT LESS THAN 1 3/4" THICK, OR 3" MINIMUM REINFORCED CONCRETE. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING PER CBC 705.1.1
- 011 2"X8 LAMINATE WALL AT ISLAND
- 012 TANK LESS WATER HEATER, INSTALLATION PER MANUFACTURER'S INSTRUCTIONS
- 013 THERMOSTATIC AND PRESSURE RELIEF VALVE, DISCHARGE LINE PER CPC SECTION 906.5
- 014 METAL FREESTANDING GAS APPLIANCE - HEIGHT PER PLAN. INSTALL PER MANUFACTURER'S INSTRUCTIONS. BY HEATILATOR MODEL P-4048 AND 421 (8" GAS). PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE.
- 015 ALL COMBUSTIBLE CONDENSER LOCATIONS - PROVIDE APPROVED CONDENSATE REMOVAL SYSTEM OR 2" DRAIN BRASS PER CBC SECTION 150.2
- 016 FORCED AIR UNIT (FAU) AT THE INSTALLATION
- 017 ALL CEILING VENTS WITH APPROX. 10" DIA. VENT THROUGH ROOF
- 018 (18"X) MAKE-UP AIR VENT ABOVE CEILING (DO NOT USE UNDOOR-CLOSED) (DOOR) 1" HIGH
- 019 MAKE-UP AIR VENT ABOVE CEILING (DO NOT USE UNDOOR-CLOSED) (DOOR) 1" HIGH
- 020 "SUMMARY OF THE 2019 ENERGY CODE AIRLEAK 6.2 REPAIRMENTS"
- 021 REFRIGERATION UNITS WITH RECESSED COLD WATER BOX
- 022 SINK WITH GARABAGE DISPOSER
- 023 DISHWASHER
- 024 CABINETS & SHAVES MUST BE WITH FULL AND LIGHT (SHAVES) TO COMBUSTIBLE IS 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE MARKING LISTED ON THE UNIT. 2019 CODE 901.3.1 & 901.3.4
- 025 DISHWASHER
- 026 WASHER SPACE WITH RECESSED WATER BOX AND DRAIN PAN
- 027 DRIVER SPACE
- 028 CUPBORN TUB - 42" X 60"
- 029 TUB SHOWER - 32"X60" MODEL 36021T - GELCOAT SURFACE - BY KAMATIC
- 030 CURTAIN ROD
- 031 BATHROOM FLOOR/DRAINAGE COVER (MIN. 2" MIN)
- 032 COBBLE, (TYP. - 3 PLACES) AT BOTTOM
- 033 SHOWER - PRE-FABRICATED STALL - 36"X60"X72" MODEL 10801S - GELCOAT SURFACE - BY AQUATIC
- 034 SHOWER - HOT WOP - SEE PER PLAN
- 035 30" CIRCLE PROVIDED AT SHOWER
- 036 TOILET - PROVIDE MINIMUM 2' X 3' CLEAR FLOOR AREA IN FRONT OF TOILET
- 037 DECORATIVE POST AT KITCHEN ISLAND (TYP. 2 PLACES)
- 038 INTERIOR SPOUTS (UNPROTECTED) HEIGHT PER PLAN
- 039 OPEN TO BELOW
- 040 ENTRY ATIC ACCESS - DIMENSIONS ARE CLEAR ATIC ACCESS DOORS SHALL BE PERMANENTLY ATTACHED WALL/TOILET AND/OR MECHANICAL SYSTEMS. THE ATIC ACCESS SHALL BE SHUTTER TO PREVENT AIR LEAKAGE PER CBC 705.1.1 & 705.1.2
- 041 STUCCO SPINTE - HEIGHT PER ELEVATION
- 042 STUCCO SPINTE OVER WATERPROOFED STUCCO SHEET-SLOPE FRAMING FOR DRAINAGE (1"X4" PER FOOT MINIMUM)
- 043 PACKED FINISHES (TYP. - SEE COVERING ELEVATION)
- 044 INTERIOR 2X4 FLOOR WALL - SIZE PER PLAN
- 045 KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE TO ISLAND
- 046 PANTRY
- 047 DECK
- 048 LINEN (CUPPER ONLY)
- 049 BASKET CABINET
- 050 LOWER CABINET
- 051 SHELF AND POLE
- 052 VANITY



OPT 12080 TG SLIDER ILO (3) 3056 SH WINDOWS



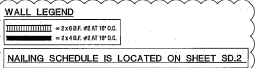
BDRM 4 ILO DEN



BDRM 5 ILO TANDEM

FLOOR PLAN NOTES

1. ATIC: ACCESS PER CBC 707, DRAFTSTOPS PER CBC 12.02 AND VENTILATION PER CODE.
2. CEILING SPACES: ACCESS PER CBC 704.4 AND VENTILATION PER PAR 6.1.
3. EMERGENCY ESCAPE AND RESCUE OPENINGS PER CBC 702.2 & 7010. MINIMUM OF 56 SQ. FT. PER UNIT.
4. GLAZING PER CBC 705.1, RSP-2.1 & 2.4. PAR 6.1.
5. FACTORY-INSTALLED REFRIGERATORS AND CONDENSERS PER CBC 150.4. REFRIG. UNITS AND A.M.S. PER 445.
6. COMBUSTION AIR: 180 CFM PER UNIT PER CBC CHAPTER 7.
7. COMBUSTION AIR TO WATER HEATER PER CPC SECTION 906.4.
8. DIMENSIONAL AIR DUCTS PER CBC SECTION 904.
9. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CBC 902.
10. MANUFACTURER REQUIREMENTS FOR APPLIANCES PER CPC SECTION 110.1.
11. THE SILL HEIGHT IS NOT TO EXCEED 4" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. CBC 703.1.1
12. IN UPPER FLOOR PANEL, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GROUND OR WIND BREAK GLASS. THE GLASS MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. CBC 703.2
13. A SHEETROCK NAILING INSPECTION IS REQUIRED. CBC 702.1.1 & 702.1.3
14. GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. CBC 705.8
15. PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE FREELANCE 2019 F-24
16. VERTICAL CLEARANCE ABOVE THE COCKTOP TO COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. CBC 915.1 & 915.2
17. THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER OR AIR (SEE CONSTRUCTION OF MATERIALS) NOT ADVERSELY AFFECTED BY WATER. NOTE: THE USE OF REBAR, REINFORCED CONCRETE OR GLASS FIBER REINFORCED POLYMER (GFRP) SHALL BE PERMANENTLY PROHIBITED TO BE USED IN THESE LOCATIONS. CBC 705.1.2
18. THE THREE CAR GARAGE IS NON-COMBUSTIBLE AND THE REQUIRED SIDEWALL DETACHMENT MAY NOT BE RELIED. CBC 705.1.1
19. NOTE THAT ALL ATIC ACCESS OPENINGS ARE BANISTER TO PREVENT AIR LOSS. CBC 150.0(d)
20. A MINIMUM 2" DIA. CIRCLE IS PROVIDED AT THE SHOWER FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 100 SQUARE INCHES. CPC 405.9
21. THE OWNER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH THE LIST OF THE HEATING, COOLING, WATER HEATING AND LISTING SYSTEMS AND CONDENSATION OR SOLID WASTE WITNESSED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM. THE FREQUENTLY...



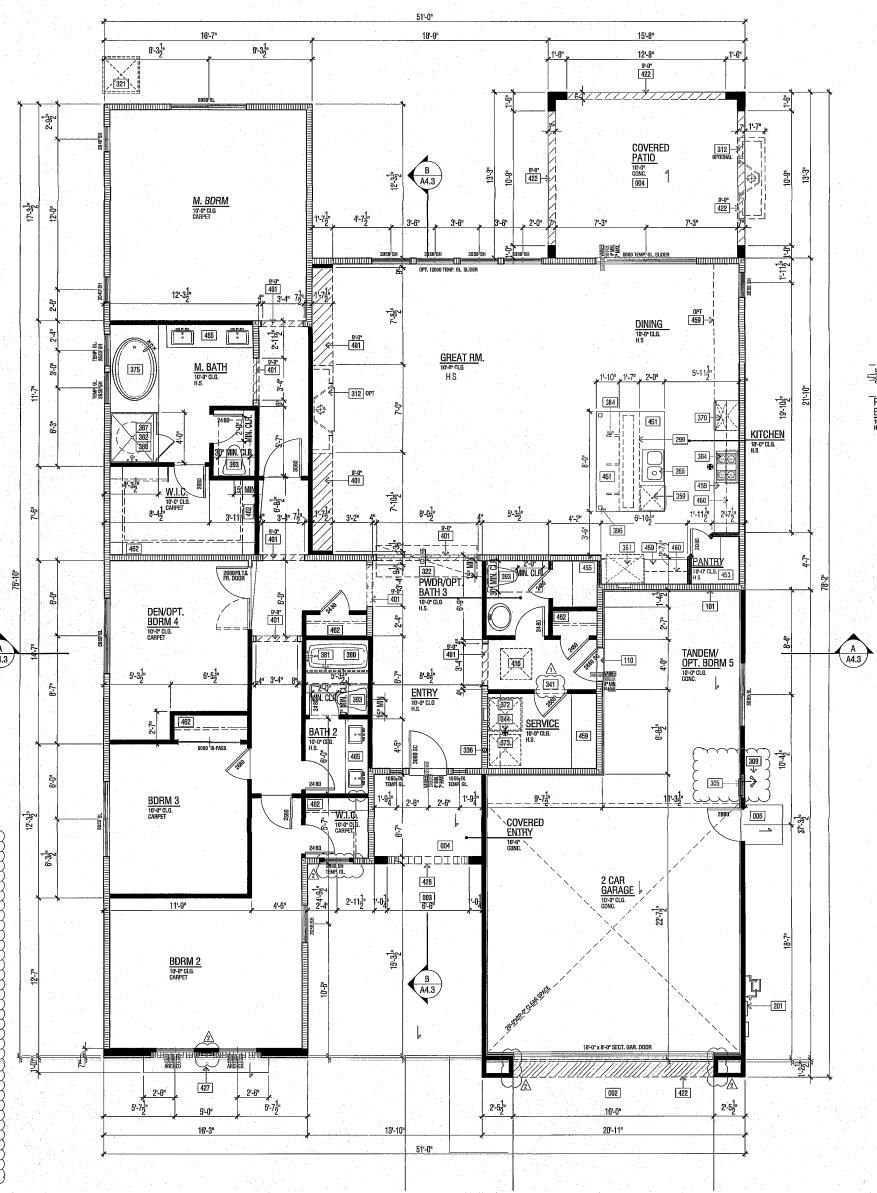
SEE SHEET A4.5 FOR ADDENDA FLOOR PLANS

NAILING SCHEDULE IS LOCATED ON SHEET SD.2

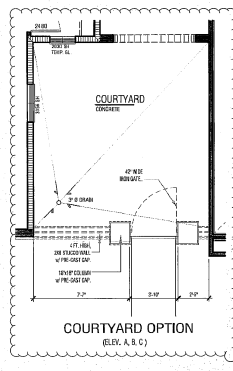
BEDROOM 5 OPTION INCLUDED

SPN #	PLAN AREA TABLE	PLAN 2528A
	LOWER FLOOR PLAN	2702 SQ. FT.
	TOTAL	2702 SQ. FT.
	2 CAR GARAGE	473 SQ. FT.
	COVERED ENTRY	61 SQ. FT.
	COVERED PATIO	208 SQ. FT.

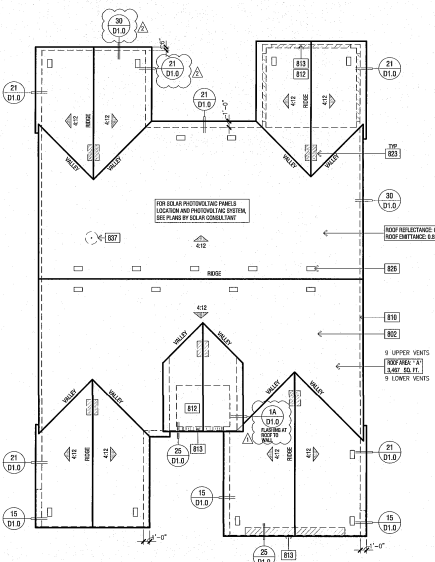
SCALE: 1/4" = 1'-0"



FLOOR PLAN



COURTYARD OPTION (SEE A.3 & C)



ROOF ATTIC AREA	A	3467	SQ. FT.	CALCULATION FACTOR:	1.800
MIN. VENTILATION REQUIRED:	TOTAL	1664	SQ. IN.	TOTAL PROVIDED:	1756
MIN. VENTILATION REQUIRED:	HIGH	832	SQ. IN.	TOTAL HIGH PROVIDED:	878
MIN. VENTILATION REQUIRED:	LOW	832	SQ. IN.	TOTAL LOW PROVIDED:	878
GRID VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE NET AREA	
CLOSED VENT - CONG. S-TILE	50	SQ. IN. x 1	9	878	SQ. IN.
			TOTAL PROVIDED:	878	SQ. IN.
LOW VENTILATION METHOD	SIZE	FREE AREA	QUANTITY	FREE NET AREA	
CLOSED VENT - CONG. S-TILE	50	SQ. IN. x 1	9	878	SQ. IN.
			TOTAL PROVIDED:	878	SQ. IN.

ANY OPERABLE WINDOW WITH A SH. THAT IS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND MORE THAN 12" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR HAVE A BROD GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2019 CBC 1405.1.2

NOTE: WATER-RESISTIVE BARRIER APPLIED OVER WOOD-BASE SHEATHING SHALL HAVE 2 LAYERS OF GRADE 15 PAPER APPLIED OVER SHEATHING. 2019 CBC R702.7.3

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ELEVATION KEY NOTES	
NOTE	NOTE
004	CONCRETE PORCH/DOOR ENTRY SLAB (BY OTHERS) SLOPE MINIMUM IN DIRECTION INDICATED
006	CONCRETE STUCCO 3/8" DEEP AND 2" WIDER THAN DOOR OF PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED
001	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
002	INTERIALLY ILLUMINATED ADDRESS PANEL - 6" MIN. HIGH CHARACTER PLACED IN EACH A PORTION TO BE PLANNING STREET - CORNER OF PHOTO CELL
008	DECORATIVE WALL SOURCE
009	EXTERIOR LIGHT LOCATION
021	AIR CONDITIONING CONDENSER LOCATION
005	STUCCO OVER SHAPE FOAM TRIM AT EAVE PER DETAIL
011	PROTECT BOX FOR WATERSHED WATER HEATER - INSTALL PER MFR INSTRUCTIONS
015	2" STUCCO RECESS - SIZE PER ELEVATION - SLOPE SILL 1/4" PER FT. MINIMUM
021	STUCCO - OMEGA CHANNEL WALL ONE FOOT STUCCO (BY ICCP ESR-174) STUCCO TYPE 1 ON 1/2" PORTLAND CEMENT OVER 5/8" X 1/4" Gypsum GSB-1556 BY START R ISGAF
025	STUCCO OVER TRIM FOAM TRIM - FOAM SHAPE PER ELEVATION SEE DETAIL #6 SHEET 02.0
007	DECORATIVE SHUTTER (SIZE AND STYLE PER ELEVATION) - SEE DETAIL 13A.1
001	DECORATIVE METAL SOCKET - PROVIDE SLOPE MACHINE AND WINDOW TYPE/ELASTOMERIC SHEET WATERPROOFING AT ALL MOUNTING POINTS/PENETRATIONS
701	G.I. FLASHING - AT ROOF AND ON WALL
741	G.I. LOWER VENT - RECTANGULAR (SIZE PER ELEVATION)
767	WATER PROOFING ICC #P28-8002 CLASS 'N', PFB - CONCRETE 9" S-TILE
TYPE	2 LAYERS OF GRADE 15 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2019 CBC R703.03

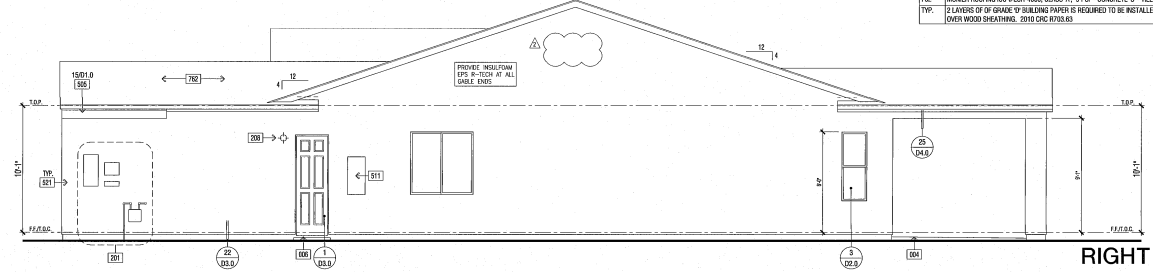
AGENDA ITEM NO. 13.

ORANGE COUNTY, LOS ANGELES - SBAY AREA



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.



RIGHT

ROOF PLAN SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE	A	ELEVATION STYLE	SANTA BARBARA
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ROOF MATERIAL	CONCRETE 'S' TILE	CONCRETE 'S' TILE	CONCRETE 'S' TILE	CONCRETE 'S' TILE	CONCRETE 'S' TILE	CONCRETE 'S' TILE	CONCRETE 'S' TILE
MANUFACTURER	ICC #E81-680	CLASS 'N', 9 PSF	CONCRETE 'S' TILE				
MANUFACTURER	ICC #E81-680	CLASS 'N', 9 PSF	CONCRETE 'S' TILE				

ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SPARK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ATTIC ACCESS PER CRC SECTION 7002.
- PROVIDE ATTIC & GABLE VENTILATION PER CRC SECTION 7002. PER CRC SECTION 7002.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATIC ZONES 3 AND 16, A CLASS I OR A 3/4 HP RETARDER IS INSTALLED ON THE WINDWARD WATER SIDE OF THE CEILING.
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 60 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE ROOF OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE. WHERE THE LOCATION OF SMALL OR ROOF MOUNTED MEMBERS COMFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION OF ABOVE TRIM SHALL BE PERMITTED.
- CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 2:12 OR GREATER. PER ROOF SLOPES FROM 2:12 TO 12:12, 4:12 JOIST SPACING IS REQUIRED AS REQUIRED IN ACCORDANCE WITH PROS 3.6 (PROS 3.2 CRC).
- WOOD BATTINS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7:12 PER TILE ROOFING INSTITUTE INSTALLATION MANUAL.
- WHICH ROOF WITH DIFFERENT PITCHES IN CONTACT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A HEEL TO THE STEEPER PITCH TO ALIGN WITH THE EAVE OF THE LOWER PITCH.

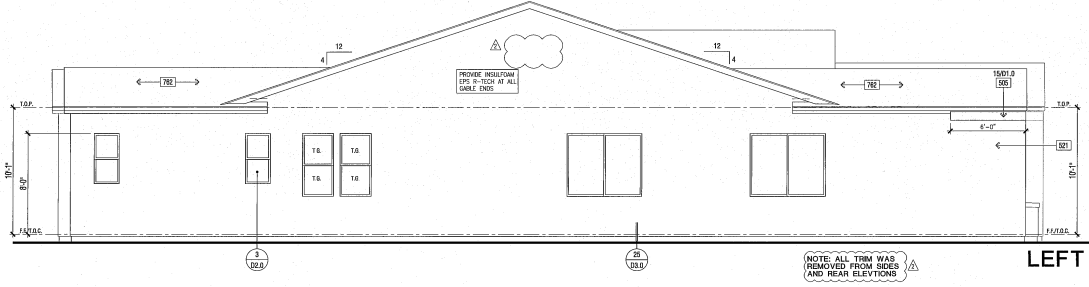
SOLAR PHOTOVOLTAIC SYSTEMS

SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH C.R.C. SECTION 264.3.1 THROUGH 264.3.2.7 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS. REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER CODE REQUIREMENTS.

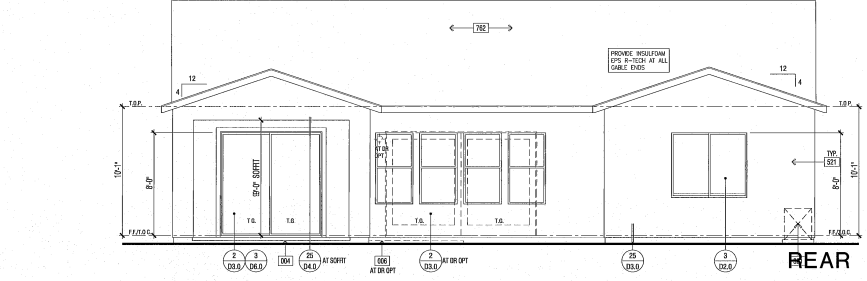
NOTE THAT NO MECHANICAL PLUMBING EXHAUST VENTS, ROOF ATTIC VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA, WHERE APPLICABLE. CONDENSATION AND SODIUM ION WITH SOLAR PANELS LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE EXHAUST VENT TERMINATION. REF CA ENERGY CODE SECTION 110.10 AND CRC SECTION 311.1.2.1.

ROOF PLAN KEY NOTES

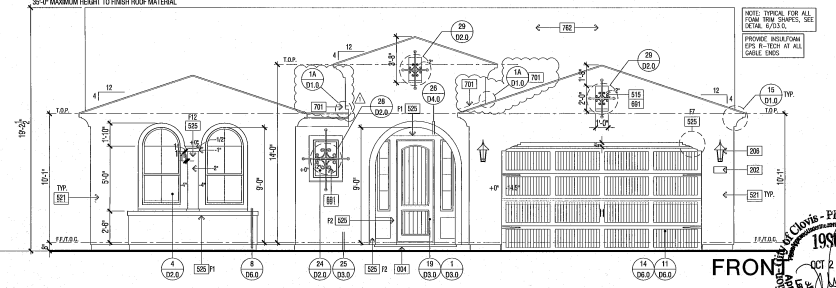
NOTE	NOTE
002	WATERPROOFING ICC #E81-680, CLASS 'N', 9 PSF - CONCRETE 'S' TILE.
010	LINE OF WALL BELOW
012	STUCCO CEILING
013	STUCCO SOFFIT
023	PROVIDE 22X24" OPENING IN PL-WOOD SHEATHING BELOW CEILING. FRAMED ROOF FOR SHARE ATTIC VENTILATION
026	ROOF VENT - "CLOSED" (SEE ROOF VENTILATION CALCULATIONS)
027	PROVIDE 1" CONDURIT FOR THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR PV SOLAR INSTALLATION. PROVIDE ROUTS FOR FUTURE SOLAR WATER HEATERS.



LEFT



REAR



FRONT

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REVISIONS		
NO.	DATE	DESCRIPTION
1	02-29-2020	PLAN CHECK CORRECTIONS
2	09-08-2020	CLIENT REVISIONS

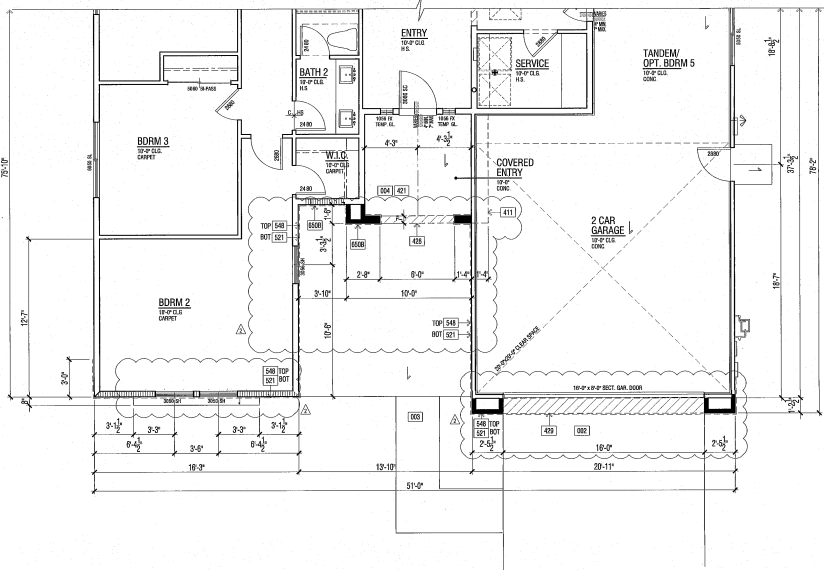
PLAN 2528A EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	-
CHECKED BY:	-
1ST BLOCK DEPT. SUBMITTAL:	12-09-19
ISSUED FOR CONSTRUCTION:	20190307
CAD FILE NAME:	AM4

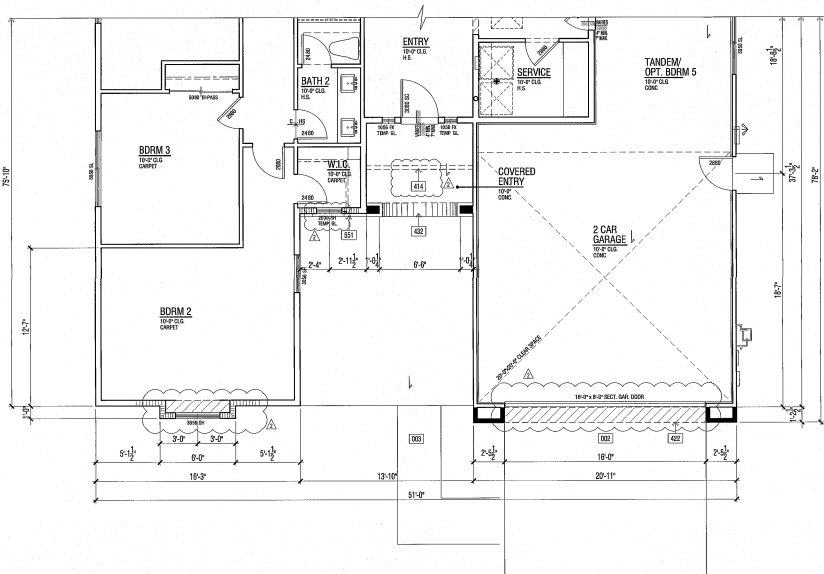
DATE: 09-08-20 SHEET: A4.4

SCALE: 1/4" = 1'-0"

2020173.00 (2015253.07) - DELTA 2 SET 09-08-2020



PLAN 2528B FLOOR PLAN ADDENDA
PROGRESSIVE CRAFTSMAN



PLAN 2528C FLOOR PLAN ADDENDA
COTTAGE

FLOOR PLAN KEY NOTES

Notes	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
411	LINE OF WALL ABOVE
421	STUCCO CEILING - HEIGHT PER PLAN
429	WOOD SOFFIT - HEIGHT IN LINE WITH GARAGE DOOR HEAD ELEVATION
442	EXTERIOR 2X FLOOR WALL - SEE PER PLAN
451	STUCCO - OVERSHEATHING WALL ONE COAT STUCCO (RACOUC ESR-1394 STUCCO TYPE 1 OR 14 PORTLAND CEMENT OVER SVAT 9' GUARD ESR-1566 BY SHAWMUT CORP)
546	1/4" FIBER CEMENT BATTLS OVER VERTICAL FIBER CEMENT PANEL ABOVE STUCCO - SEE KEYNOTE 521
6506	FIBER CEMENT LAP JOINTS - 2x3/8" TRICK W/ROOF PLANK (OR EQUIVALENT), FRESH SELECT CECONOMAL EXPOSURE IF INSTALLATION PER MANUFACTURER; INSTRUCTIONS: (2) LAYERS OF BUILDING FELT (OR APPROVED EQUIVALENT) METAL PER MANUFACTURER'S LISTING

BEDROOM 5 OPTION INCLUDED

SPN #	0255-2020
FLOOR AREA TABLE	PLAN 2528B
LOWER FLOOR PLAN	2708 SQ. FT.
TOTAL	2708 SQ. FT.
2 CAR GARAGE	473 SQ. FT.
COVERED ENTRY	74 SQ. FT.
COVERED PATIO	208 SQ. FT.

SPN #	0253-2020
FLOOR AREA TABLE	PLAN 2528B
FLOOR PLAN	2536 SQ. FT.
TOTAL	2536 SQ. FT.
2-CAR GARAGE W/ TANDEM	639 SQ. FT.
COVERED ENTRY	74 SQ. FT.
COVERED PATIO	208 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

ADDENDA FLOOR PLAN NOTES

NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN

NOTE: REFER TO CIVIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DRIVEWAYS AND SIDEWALK LOCATIONS

REFER TO BASE PLAN SHEETS A&L FOR ADDITIONAL NOTES AND DIMENSIONS.

FLOOR PLAN KEY NOTES

Notes	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
411	LINE OF FLOOR FINISH WALL ABOVE
422	STUCCO SOFFIT - HEIGHT IN LINE WITH GARAGE DOOR HEADER - SEE EXTERIOR ELEVATION
427	STUCCO SOFFIT OVER WATERPROOFED STUCCO SHELF-SLOPE FRAMING FOR DRAINAGE (1/4" PER FOOT MINIMUM)
432	THIN SET BRICK VENEER ARCH SOFFIT
442	EXTERIOR 2X FLOOR WALL - SEE PER PLAN
551	MANUFACTURED ADHERED STUCCO STONE VENEER BY CULTURED STONE ICC-ES ESR-1364. INSTALL PER MANUFACTURER'S INSTRUCTIONS

BEDROOM 5 OPTION

SPN #	PLAN 2528C
FLOOR AREA TABLE	PLAN 2528C
LOWER FLOOR PLAN	2702 SQ. FT.
TOTAL	2702 SQ. FT.
2 CAR GARAGE	473 SQ. FT.
COVERED ENTRY	61 SQ. FT.
COVERED PATIO	208 SQ. FT.

SPN #	PLAN 2528C
FLOOR AREA TABLE	PLAN 2528C
FLOOR PLAN	2536 SQ. FT.
TOTAL	2536 SQ. FT.
2-CAR GARAGE W/ TANDEM	639 SQ. FT.
COVERED ENTRY	61 SQ. FT.
COVERED PATIO	208 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION
SCALE: 1/4" = 1'-0"

ARCHITECTS - PLANNERS - DESIGNERS

AGENDA ITEM NO. 13.



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

CHADWICK - PLAN 2528
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

PROGRESSIVE CRAFTSMAN C - COTTAGE

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E.D. 10/19/20

REVISIONS

NO.	DATE	DESCRIPTION
1	09-08-2020	CLIENT FEEDBACK

PLAN 2258B & C
ADDENDA FLOOR PLANS

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	-
CHECKED BY:	-
DATE SLOTTED SUBMITTAL:	10-19-19
DATE FOR CONSTRUCTION:	-
JOB NUMBER:	2019053 07
CAD FILE NAME:	A403

DATE: 09-08-20 SHEET: A4.5

2020173.00 (2015253.07) - DELTA 2 SET 09-08-2020

ROOF ATTIC AREA	A	3484	SQ. FT.	CALCULATION FACTOR:	1/300
MIN. VENTILATION REQUIRED:	TOTAL	1162	SQ. IN.	TOTAL PROVIDED:	1782
MIN. VENTILATION REQUIRED:	HIGH	936	SQ. IN.	TOTAL AREA PROVIDED:	891
MIN. VENTILATION REQUIRED:	LOW	836	SQ. IN.	TOTAL LOW PROVIDED:	891
ROOF VENTILATION METHOD:	TYPE	FREE AREA	DENSITY	FREE VENT AREA	
CLEARING VENT - CONCRETE TILE	NO	0	0	0	0
LOW VENTILATION METHOD:	TYPE	FREE AREA	DENSITY	FREE VENT AREA	
CLEARING VENT - CONCRETE TILE	NO	0	0	0	0

ANY OPENING WINDOW WITH A SILL THAT IS LOCATED LESS THAN 36" ABOVE FINISHED FLOOR AND MORE THAN 12" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUMMED LINER A FINISH GLASS. THE GLASS MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. 2019 CBC 1405.13.2

NOTE: WATER-RESISTIVE BARRIER APPLIED OVER WOOD-BASE SHEATHING SHALL HAVE 2 LAYERS OF GRADE 70 PAPER APPLIED DOUBLE LAYERED. 2019 CBC 1703.2.3

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

ELEVATION KEY NOTES	
NO.	NOTE
004	CONCRETE PORTLAND CEMENT ENTRY SLAB (BY OTHERS) SLOPE MINIMUM IN DIRECTION INDICATED
006	CONCRETE STOPS BY DEEP AND 2" PAPER THIN DOOR OR PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED
007	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION INTERNALLY & URBANIZED ADDRESS PANEL - IF MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET. CONTACT OF PHOTO CELL
206	DECORATIVE WALL SOURCE
208	EXTERIOR LIGHT LOCATION
321	FAIR CONSTRUCTION CHANGEBAR LOCATION
S11	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
S21	STUCCO - ORANGE DIAMOND WALL ONE COAT STUCCO (R4) RCP# ISR-1194 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OR SPAT 1" R GUARD ISR-1500 1/2" SPACER FOAM
S25	STUCCO OVER FINISH FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE DETAIL AND SHED 04.0)
S35	CEMENTITIOUS VERTICAL PANEL OVER 2 LAYERS BUILDING PAPER OVER 1/2" PLYWOOD SHEATHING OVER EPS FOAM BOARD OVER BUILDING PAPER. NOTE: EPS FOAM BOARD MAY BE OMITTED AT NON-VARIABLE SPACES PROVIDED THE WALL FLANGES OUT
S37	1/2" WOOD BATT AT 16" O.C.
S45	DECORATIVE GARAGE DOOR TEMPERED GLASS WINDOWS
G11	WOOD TRIM - SEE PER ELEVATION
S56A	TRUSS CORNER LAP BRACE - 1" X 10" WOOD BRACE (OR EQUIVALENT) W/SHOULDER CESHALL. DISPOSE OF INSTALLATION PER MANUFACTURER INSTRUCTIONS. (1) UNDERLAP BUILDING FELT OR APPROVED EQUIVALENT. INSTALL PER MANUFACTURERS LISTING
701	G1 FLASHING - AT ROOF AND ON WALL
702	G1 METAL CORNER - SLOPE 1/4" PER FOOT MINIMUM
761	WOODEN ROOFING (CC #608-4660, CLASS 'A', B P-F - CONCRETE FLAT TILE
77P	2 LAYERS OF GRADE OF BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2019 CBC 1703.03

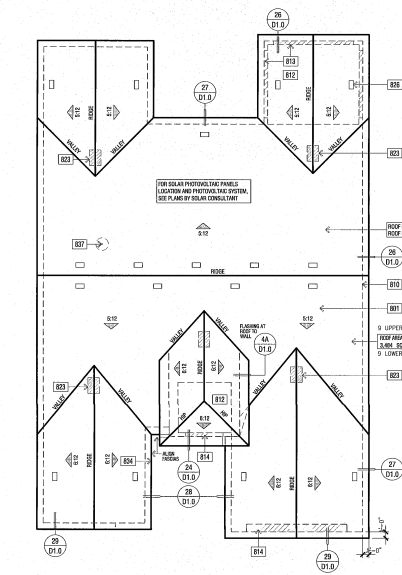
AGENDA ITEM NO. 13.

ORANGE COUNTY - LOS ANGELES - BAY AREA



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.



ROOF PLAN SCALE: 1/8" = 1'-0"

ROOF MATERIAL	DESCRIPTION	PROGRESSIVE CRAFTSMAN
CONCRETE FLAT TILE	WOODEN TILE - 42 # 031-460	WOODEN - 42 # 031-460

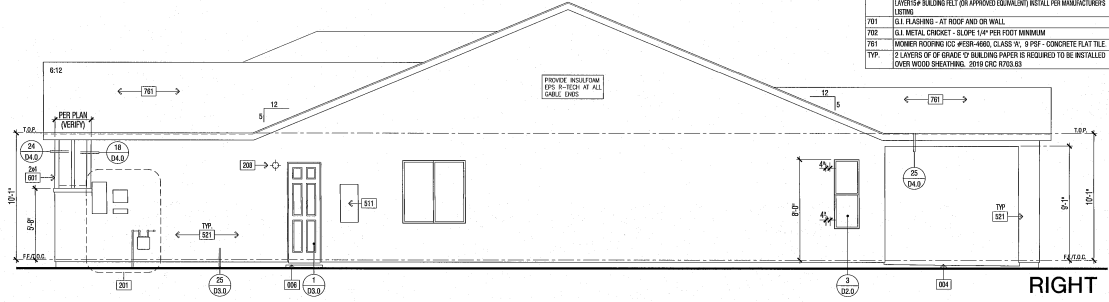
ROOF PLAN KEY NOTES	
001	MEMBER ROOFING ICC #608-4660, CLASS 'A', B P-F - CONCRETE FLAT TILE.
010	LINE OF WALL BELOW
012	STUCCO CEILING
013	STUCCO SOFFIT
014	WOOD SOFFIT
023	PROVIDE 22X20" OPENING IN PLYWOOD SHEATHING BELOW CALF. FRAMED ROOF FOR SHARK ATTC VENTILATION
026	ROOF VENT - 'CLOVET' (SEE ROOF VENTILATION CALCULATIONS)
034	NOTE WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A HEEL TO THE STEEPER PITCH TO ALIGN WITH THE EDGE OF THE LOWER PITCH
037	PROVIDE 1" CORNER FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR PV SOLAR INSTALLATION. PROVIDE ROUTE FOR FUTURE SOLAR WATER HEATER

- ROOF PLAN NOTES**
- SEE GENERAL NOTES FOR ROOF NOTES
 - SHRINK ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ATTIC ACCESS PER CIRC SECTION 1007
 - PROVIDE ATTIC & SOFFIT VENTILATION PER CIRC SECTION 1008, PER CIRC SECTION 1002.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/400 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 1, 4 AND 16, A CLASS FOR 8 WINDOR RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING
 - NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET 0" AND BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION OF MORE THAN 2 FEET 0" (4 MIN) BELOW THE RIDGE OF HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
 - CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 2 1/2% OR GREATER. FOR ROOF SLOPES FROM 2 1/2% TO 4.1%, DOUBLE UNDERLAYMENT APPLICATION AS REQUIRED IN ACCORDANCE WITH 0303.3.2 (2)C
 - WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7 1/2% PER TILE ROOFING INSTITUTE INSTALLATION MANUAL.
 - WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A HEEL TO THE STEEPER PITCH TO ALIGN WITH THE SAVE OF THE LOWER PITCH.

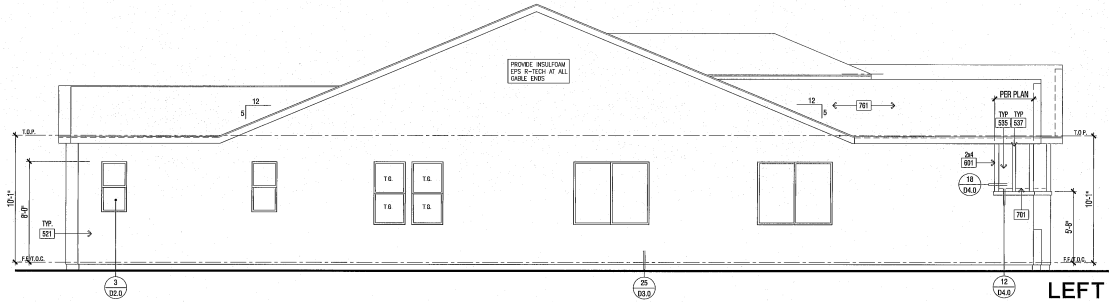
SOLAR PHOTOVOLTAIC SYSTEMS

SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH C.C. SECTION 202.1.1 THROUGH 202.1.7 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS. REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE CONTRACT FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.

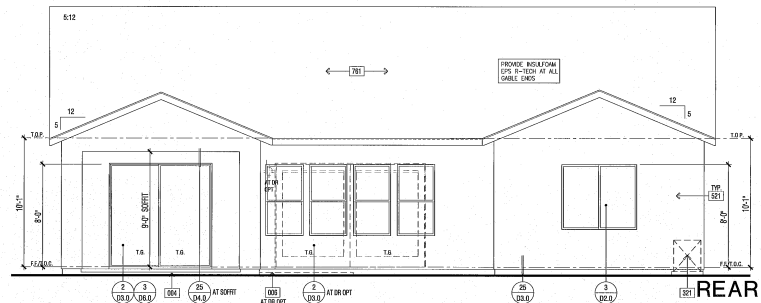
NOTE THAT MECHANICAL LUMBER DRAUGHT VENTS, ROOF ATTIC VENTS WILL BE PERMITTED WITHIN THE SOLAR ONLY AREA, WHERE NEARBY CABLE CONSIDERATION AND COORDINATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DIVER VENT TERMINATOR. REF. CA ENERGY CODE SECTION 110.10 AND CIRC SECTION 311.1.1



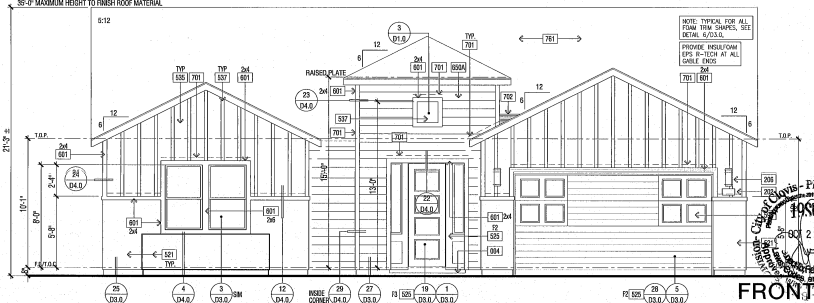
RIGHT



LEFT



REAR



FRONT

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REVISIONS		
NO.	DATE	DESCRIPTION
1	09-08-2020	CLIENT REVISIONS

PLAN 2528B
EXTERIOR ELEVATIONS
& ROOF PLAN

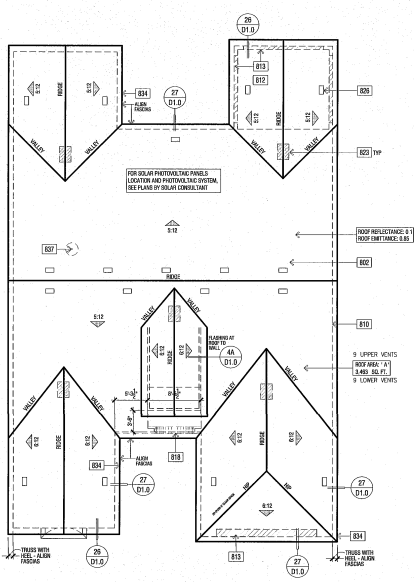
PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	
CHECKED BY:	
ISSUED FOR CONSTRUCTION:	03-16-19
JOB NUMBER:	201653.07
CAD FILE NAME:	M.6

DATE: 09-08-20
SHEET: A4.6

SCALE: 1/4" = 1'-0"

PROGRESSIVE CRAFTSMAN

2020173.00 (201653.07) - DELTA 2 SET 09-08-2020



ROOF PLAN KEY NOTES		ROOF PLAN AREA		CALCULATION FACTOR: 1/300	
NOTE					
R02	MEMBER ROOFING KCC WEIR-4600, CLASS X, 9 PSF - CONCRETE FLAT TILE	TOTAL	1662	1678	95.81
R10	LINE OF WALL BELOW	MIN VENTILATION REQUIRED:	HIGH 831	TOTAL HIGH PROVIDED:	889
R12	STUCCO CHILING	MIN VENTILATION REQUIRED:	LOW 831	TOTAL LOW PROVIDED:	889
R13	STUCCO SOFFIT	MIN VENTILATION METHOD	SIZE	FREE VENT AREA	
R18	JACOBS MARBLE STONE SMOOTH	CLONED VENT - CONCRETE FLAT TILE	99	90	9
R23	PROVIDE 2x4x8 OPENING IN PLYWOOD SHEATHING BELOW CALC. FRAMED ROOF FOR SHIRT ATTIC VENTILATION	LOW VENTILATION METHOD	SIZE	FREE VENT AREA	
R26	ROOF VENT - 1x4x8xPT (SEE ROOF VENTILATION CALCULATIONS)	CLONED VENT - CONCRETE FLAT TILE	99	90	9
R34	NOTE WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A NAIL TO THE STEEPER PITCH TO ALIGN WITH THE EAVE OF THE LOWER PITCH.	TOTAL PROVIDED:	889	889	95.81
R37	PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATOR IN ATTIC FOR PV SOLAR INSTALLATION. PROVIDE ROUTE FOR FUTURE SOLAR WATER HEATER.				

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER OPERABLE WINDOW AT THE EXTERIOR, MUST BE PROVIDED WITH A GUARD OR HAVE A FINED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH 2019 CBC 10B.1.2.

NOTE: WATER-RESISTIVE BARRIER APPLIED OVER WOOD-SHEATHINGS SHALL HAVE 2 LAYERS OF GRADE 70 PAPER APPLIED SHINGLE FASHION. 2019 CBC R703.7.3

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

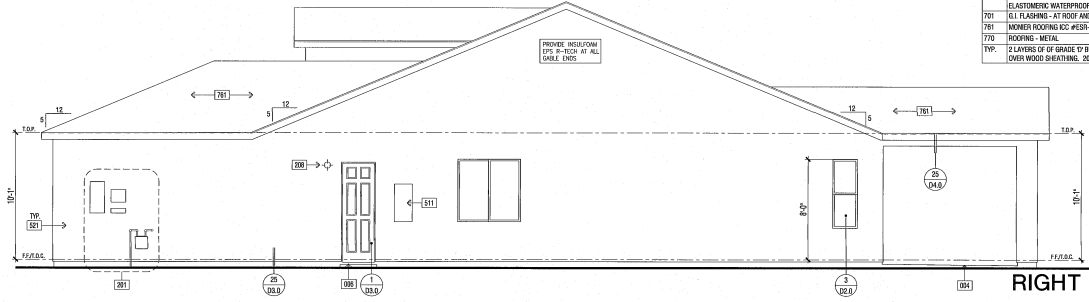
ELEVATION KEY NOTES	
Name	NOTE
004	CONCRETE PORCONCRETE ENTRY SLAB BY OTHERS SLOTT MANHOLE IN DIRECTION INDICATED
006	CONCRETE EXPOSED 8" CURB AND 3" ABOVE FINISHED GRADE OR MORE THAN DOOR OR PER FOOT MINIMUM TO CHAIR IN DIRECTION INDICATED
007	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION INTERNALLY ALLIANCE TO ADDRESS PANELS. 4" MIN. HIGH CHAIRS/STAYS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET. CONTACT OF PHOTO CELL
206	DECORATIVE WALL SCAFFE
208	EXTERIOR LIGHT LOCATION
321	48" CONCRETE CONCRETE CONCRETE LOCATION
511	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR INSTRUCTIONS
512	EXTERIOR EXPOSED COATED TRIM (PRECAST LOOK), SIZE/SHAPE PER ELEVATION
521	STUCCO OVER AREA UNARMED WALL ONE COAT STUCCO (R/R RCP ESR-1304 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER BRAT 9" GUARD ESR-1566 BY STRAT FOAM)
525	STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION (SEE DETAIL #8 SHEET 03.0)
540	MANUF BRICK BY BRICKCO BRICK - ASTM C-108 - INSTALL PER MANUFACTURERS INSTRUCTIONS
541	MANUFACTURED SMOKING STUCCO STONE VENEER BY DILLIARD STONE (CC-ES ESR-1564. INSTALL PER MANUFACTURERS INSTRUCTIONS)
591	DECORATIVE SHOUTER (SIZE AND STYLE PER ELEVATION). SEE DETAIL 1304.1
675	DECORATIVE WOOD SHIP - FINISHES SOLID BAKING AND MINORLY FINISH ELASTOMERIC WATERPROOFING AT ALL JOINTING POINTS/PENETRATIONS.
707	GL FLASHING - AT ROOF AND AT WALL
781	WATER ROOFING KCC WEIR-4600, CLASS X, 9 PSF - CONCRETE FLAT TILE
770	ROOFING - METAL
771	12 LAYERS OF GRADE 70 BUILDING PAPER IS REQUIRED TO BE INSTALLED OVER WOOD SHEATHING. 2019 CBC R703.6.3

AGENDA ITEM NO. 13.

ORANGE COUNTY, LOS ANGELES - SAN AREA



WILSON HOMES



ROOF PLAN SCALE: 1/8" = 1'-0"

ELEVATION REFERENCE		ELEVATION REFERENCE		ELEVATION REFERENCE	
ROOF MATERIAL	STANDARD PITCH	ROOF PITCH	ROOF PITCH	ROOF PITCH	ROOF PITCH
CONCRETE FLAT TILE	2x6	2x6	1'-0"	1'-0"	1'-0"

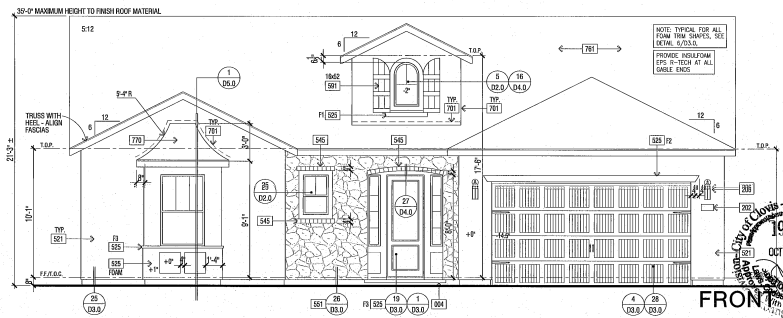
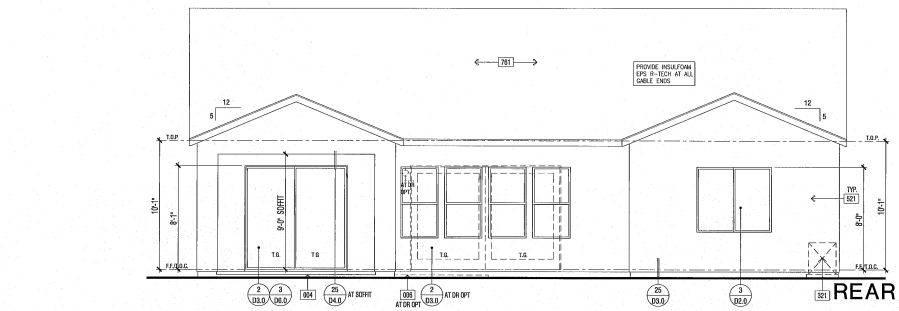
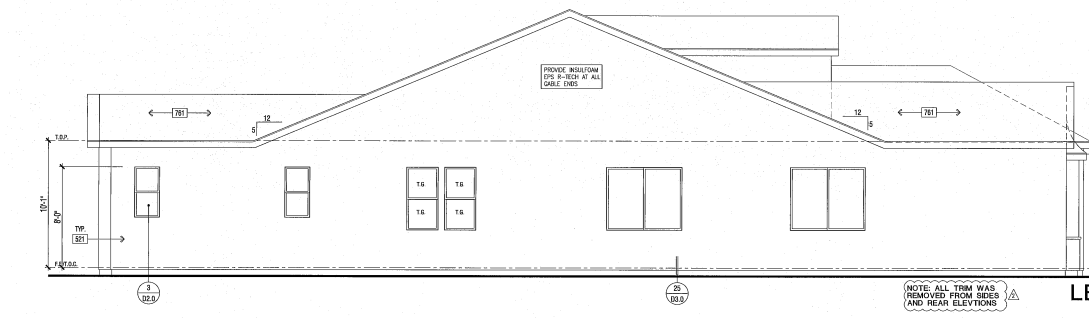
ROOF PLAN NOTES

- SEE GENERAL NOTES FOR ROOF NOTES.
- SHIRT OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- ATTIC ACCESS PER CIRC SECTION R807.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CIRC SECTION R806, PER CIRC SECTION R802, THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:
 - IN CLIMATE ZONES 1A AND 1B, A CLASS 1 OR 1 FROST RESISTER IS INSTALLED ON THE WINDWARD WINTER SIDE OF THE CEILING.
 - NET LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS COINCIDES WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION OF MORE THAN 1 FEET (304.8 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- CLAY AND CONCRETE ROOF TILE SHALL BE INSTALLED ON ROOF SLOPES OF 2% TO 12% OR GREATER FOR ROOF SLOPES FROM 2% TO 12% TO 4:12. DOUBLE UNDERLAMENT APPLICATION AS REQUIRED IN ACCORDANCE WITH TABS 3.3. (2009 IBC 905)
- WOOD BATTENS ARE REQUIRED ON CONCRETE AND CLAY TILE ROOFS WHERE SLOPES EXCEED 7/16 PER FT. (2009 IBC 905.1.1) INSTALLATION MANUAL.
- WHEN ROOF WITH DIFFERENT PITCHES INTERSECT, THE FRAMER OR TRUSS MANUFACTURER MUST ADD A NAIL TO THE STEEPER PITCH TO ALIGN WITH THE EAVE OF THE LOWER PITCH.

SOLAR PHOTOVOLTAIC SYSTEMS

SOLAR PHOTOVOLTAIC POWER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH C.E.C. SECTION 96.4.1 THROUGH 96.4.7 AND THE CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS. REFER TO SOLAR CONSULTANT PLANS UNDER SEPARATE SUBMITTAL FOR SOLAR PHOTOVOLTAIC POWER SYSTEM DESIGN, PANEL LOCATIONS AND SIZES, AND ALL OTHER DESIGN REQUIREMENTS.

NOTE: NO MECHANICAL PLUMBING OR MECHANICAL VENTS, ROOF ATTIC VENTS WILL BE PERMITTED WITHIN THE SOLAR ZONE AREA. WHENEVER SMALL CONSIDERATIONS AND COORDINATION WITH SOLAR PANEL LOCATIONS SHOULD BE TAKEN INTO ACCOUNT WHEN PLACING THE DRIVER VENT TERMINATION. NEF CA DESIGN CODE SECTION 110.16 AND CIRC SECTION 511.2.1



TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

CHADWICK - PLAN 2528
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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REVISIONS	
NO.	DATE DESCRIPTION
1	09-08-2020 CLIENT REVISIONS

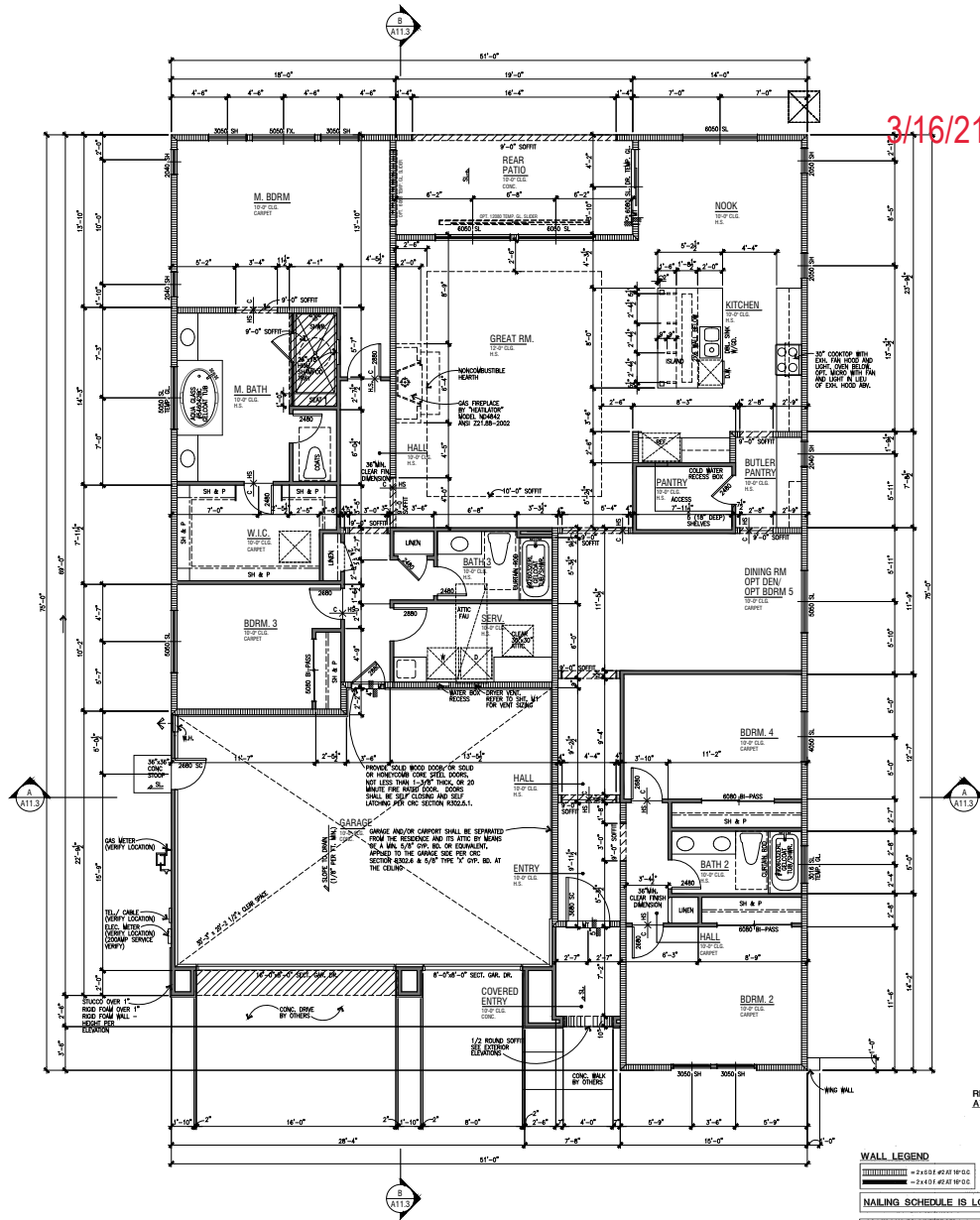
PLAN 2528C EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT MANAGER: CC
DESIGNER: AM
DRAWN BY: JH
CHECKED BY: JH
1ST BLDG. DEPT. SUBMITTAL: 10-09-19
ISSUED FOR CONSTRUCTION: 10-09-19
JOB NUMBER: 2015253.07
CADD FILE NAME: A4.7

DATE: 09-08-20
SHEET: A4.7

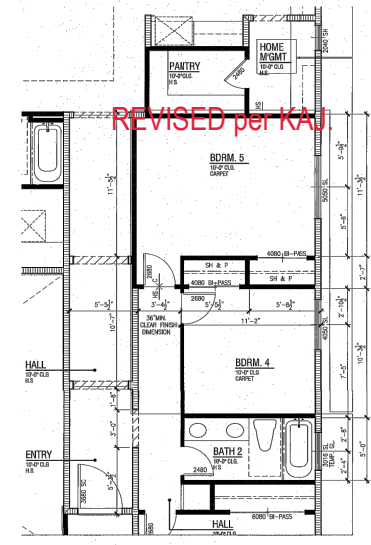
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2020173.00 (2015253.07) - DELTA 2 SET 09-08-2020

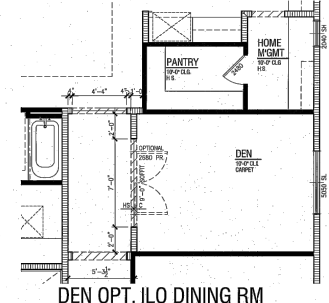


3/16/21

REVISED per KAJ



BDRM. 4/5 OPT. ILO DINING RM



DEN OPT. ILO DINING RM

FLOOR PLAN NOTES

- ATTIC: ACCESS PER CRC R407, CHIMNEYS PER CRC R402.12 AND VENTILATION PER R406.
- CRAWL SPACES: ACCESS PER CRC R406.1 AND VENTILATION PER R406.1.
- EXTERIOR ESCAPE AND RESCUE OPENINGS PER CRC R402.12 (R406.1).
- MEANS OF EGRESS PER CRC 311.
- GLAZING PER CRC R102.1, R102.1.2 & R102.1.2.1.
- FACTORY BUILT PREFABRICATED AND CHIMNEYS PER CRC R104, R104.1, R105 AND ALL AS PER TABLE 404.
- COMBUSTION AIR TO FORCED AIR UNIT PER CRC CHAPTER 7.
- COMBUSTION AIR TO WATER HEATER PER CRC SECTION 508.4.
- ENVIRONMENTAL AIR INTAKE PER CRC SECTION 504.
- MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CRC 505.
- MANDATORY REQUIREMENTS FOR APPLIANCES PER CRC SECTION 110.1.
- THE SILL HEIGHT IS NOT TO EXCEED 48" FROM THE BOTTOM OF THE CLEAR OPENING IN GLAZED ROOMS. CRC R101.1.
- SLIPPER FLOOR PLANS, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE ON OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GUARD OR, HAVE FROD GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT ARE GREATER IN DIAMETER THAN PASS THROUGH. CRC R102.2.
- A BREEZECOCK NAULING INSPECTION IS REQUIRED. CRC R106.1.4.2 & CRC 110.3.5.
- GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. CRC R408.
- PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE PER CRC 504.2.4.
- VERTICAL CLEARANCE ABOVE THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED OR 18" PROTECTED, AND THE HORIZONTAL CLEARANCE IS REQUIRED TO BE FOR THE PERMANENT MARKING LISTED ON THE UNIT. CRC R101.4 & R102.
- THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. NOTE THE USE OF FIBER CEMENT, FIBER MESH REINFORCED CONCRETE OR GLASS MATT GYPSUM BACKERS IN THE FLOOR PLAN. NOTE THAT WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THESE LOCATIONS. GSD R304.4.
- THE THREE CAR GARAGE IS NON-COMFORMING AND THE REQUIRED BREEZECOCK SETBACKS MAY NOT BE RELEASED. CRC R104.1.1.
- NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED. CRC R104.1.1.
- A MINIMUM 3/8" DIA. CIRCLE IS PROVIDED AT THE SHOWER FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 1000 SQUARE INCHES. CRC R304.4.
- THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANCY PERMITS, WATER, COOLING, WATER HEATING AND LIFTING SYSTEMS, AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING. THE BUILDER SHALL PROVIDE INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. CRC TITLE 20.

WALL LEGEND

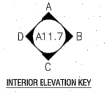


NAILING SCHEDULE IS LOCATED ON SHEET SD.2

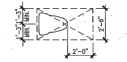
SEE SHEET A11.5 FOR ADDENDA FLOOR PLANS

SANTA BARBARA	
SPN #	002663-2020
FLOOR AREA TABLE	PLAN 2700A
FLOOR PLAN	2704 SQ. FT.
TOTAL	2704 SQ. FT.
3-CAR GARAGE	663 SQ. FT.
COVERED ENTRY/PORCH	43 SQ. FT.
COVERED PATIO	52 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



REQUIRED FLOOR CLEARANCES AT WATER CLOSETS - TYPICAL



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

CHADWICK - PLAN 2700
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

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NO.	DATE	DESCRIPTION
1	09-16-2020	CLIENT REVISIONS

NO.	DATE	DESCRIPTION
1	09-16-2020	CLIENT REVISIONS

PLAN 2700A
FLOOR & FLOOR
PLAN OPTIONS

PROJECT MANAGER:	CD
DESIGNER:	AM
DRAWN BY:	MEI
REVIEWED BY:	STP (L&S) (EFP) (SUBMITTAL)
DATE:	09-16-20
CONTRACTOR:	587
JOB NUMBER:	
CD FILE NAME:	
DATE:	09-16-20

SCALE: 1/4" = 1'-0"

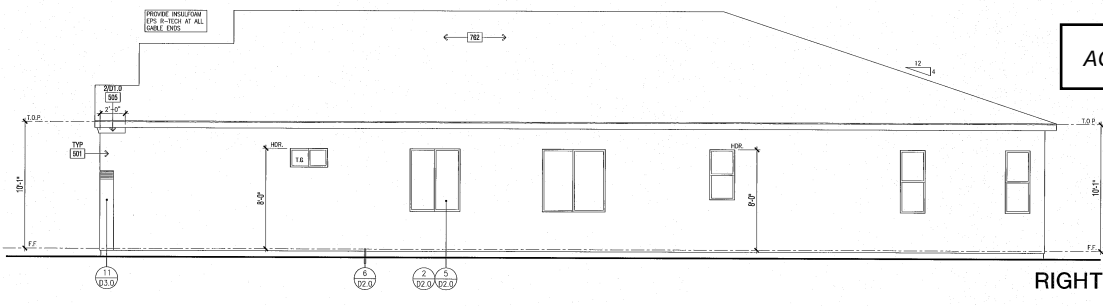
20201273.00 (2015263.07) - DELTA 1 SET 09-16-2020

A' SAINT BARBARA

AGENDA ITEM NO. 13.



WILSON HOMES



RIGHT

ROOF PLAN KEY NOTES

NOTE

MONER ROOFING ICC #SPR480, CLASS W, 9 PPF - CONCRETE 5 TILE

LINE OF WALL BELOW

STUCCO DRILING

WOOD JOINT

PROVIDE 22"x20" OPENING IN FLYWOOD SHEATHING BELOW CALE. FRAMED ROOF FOR SHARED VENTILATION

OF VENT - COLLARLESS (SEE ROOF VENTILATION CALCULATIONS)

METAL GUTTERS) - VERIFY LOCATION WITH INSTALLER

METAL DOWNSPOUTS) - DISCHARGE TO APPROVED SITE DRAINAGE SYSTEM - VERIFY LOCATION WITH INSTALLER

PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR PV SOLAR INSTALLATION. PROVIDE ROUTE FOR FUTURE SOLAR WATER HEATER

ROOF ATTIC AREA A 3611 sq. FT. S16984 sq. ft.

MIN. VENTILATION REQUIRED: TOTAL 1734 sq. in.

MIN. VENTILATION REQUIRED: HIGH 867 sq. in.

MIN. VENTILATION REQUIRED: LOW 867 sq. in.

HIGH VENTILATION METHOD

CLOAKED VENT - CONIC S-TILE

LOW VENTILATION METHOD

CLOAKED VENT - CONIC S-TILE

CALCULATION FACTOR: 1/300

TOTAL PROVIDED: 1756 sq. in.

TOTAL HIGH PROVIDED: 878 sq. in.

TOTAL LOW PROVIDED: 878 sq. in.

TOTAL PROVIDED: 878 sq. in.

TOTAL PROVIDED: 878 sq. in.

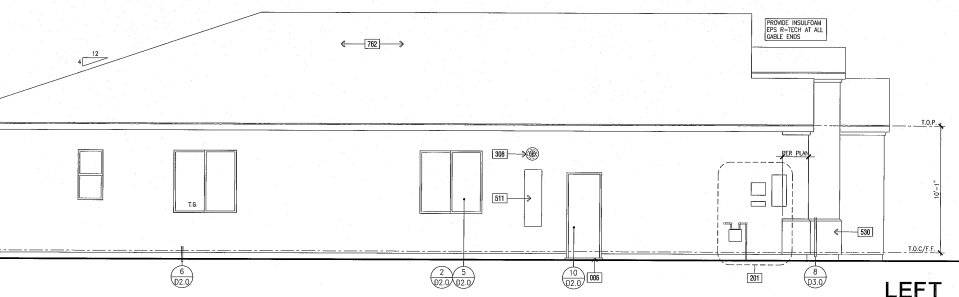
ELEVATION KEY NOTES

Item	NOTE
004	CONCRETE FORCASTRY SLAB BY OTHERS - SLOPE 2 PER FOOT MINIMUM FOR DRAIN TO GROUND IN THE DIRECTION INDICATED. REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR FURTHER INFORMATION.
006	CONCRETE SLOPE: 3/4" DEEP AND 2" WIDER FROM THE ROOF OPENING - SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED.
001	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
003	ADDRESS PANEL: 6" MIN. HIGH YELLOW ADDRESS CHARACTERISTICS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.
007	CORNER LIGHT LOCATION
005	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MANUFACTURER
008	TANKLESS WATER HEATER TERMINATION CAP - INSTALL PER MANUFACTURER'S INSTRUCTIONS - EXHAUST VENT INTAKE & EXHAUST DIRECTLY FROM OUTSIDE
001	4R1 CORROSION RESISTANT CONDENSER LOCATION
021	PORTLAND CEMENT PLASTER 5 COAT SYSTEM MINIMUM 1/2" THICKNESS AT CEILING. HEIGHT PER PLAN. REFER TO GENERAL NOTES SHEET 04-4 SECTION (CHECK FOR ADDITIONAL INFORMATION) (CIC 1020)
041	1" COAT STUCCO (OMEGA DRAMOND) WALL SYSTEM (FINISH PER BUILDER) WITH 1" HIGH EPS INSULATION BOARD. SEE GMI, SECTION 09211, PARAGRAPH 1.2 A
005	STUCCO OVER SHAPED ROOF FOAM TRIM AT GROUNDLINE PER DETAIL.
011	RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS
003	SANICRY FRESH STUCCO OVER RIGID FOAM TRIM - FOAM SHAPED PER ELEVATION
030	STUCCO OVER SHAPED FINISHING
008	GI FLASHING AND COUNTER FLASHING AT ROOF WALLS AND ROOF TO WALL CONNECTIONS
701	GI FLASHING - AT ROOF AND ON WALL
702	MONER ROOFING ICC #SPR480 CLASS W, 9 PPF - CONCRETE - 5 TILE

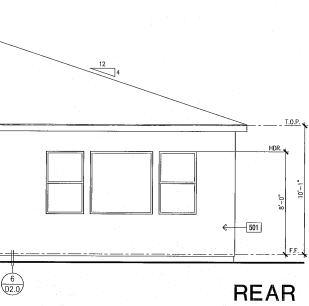
ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 12" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW IT, THE EXTERIOR MUST BE PROTECTED BY A GUARD OR HAVE A TRED GLASS. THE GUARD MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH PER ICC 1460.10.2

NOTE: WATER RESISTIVE BARRIER APPLIED OVER WOOD-BASE SHEATHING SHALL HAVE 2 LAYERS OF GRADE 70 PAPER APPLIED SHINGLE FASHION. 2019 IRC 6703.7.3

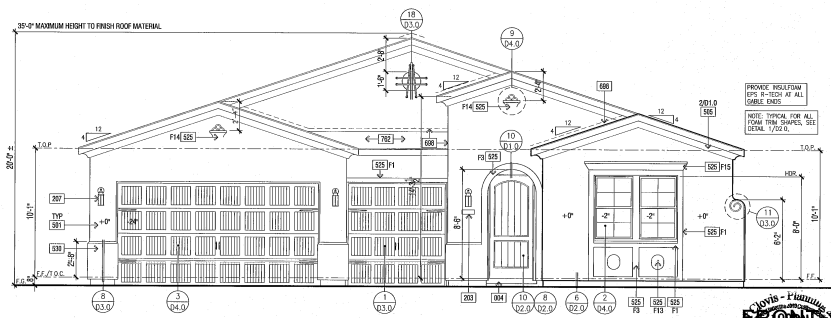
FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.



LEFT



REAR



SCALE: 1/4" = 1'-0"

CHADWICK - PLAN 2700
CLOVIS, CALIFORNIA

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

WILSON HOMES
FRESNO, CALIFORNIA

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NO.	DATE	DESCRIPTION

REVISIONS

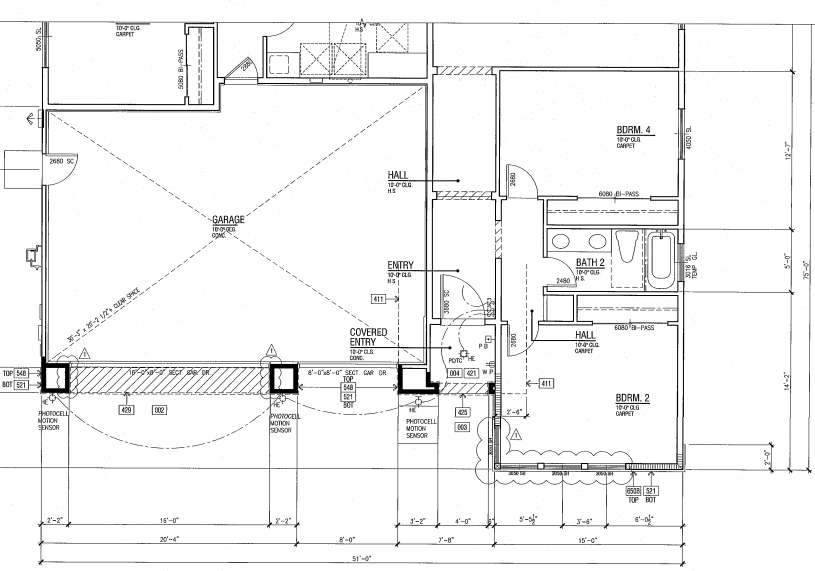
PLAN 2700A
EXTERIOR
ELEVATIONS & ROOF
PLAN

PROJECT MANAGER:	CC
DESIGNER:	AM
CHECKED BY:	MH
REVIEWED BY:	
1ST BLDG DEPT. SUBMITTAL:	09-16-20
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	2020 FLDG (201553) 01
CAD FILE NAME:	A11.4
DATE:	09-16-20
SHEET:	A11.4

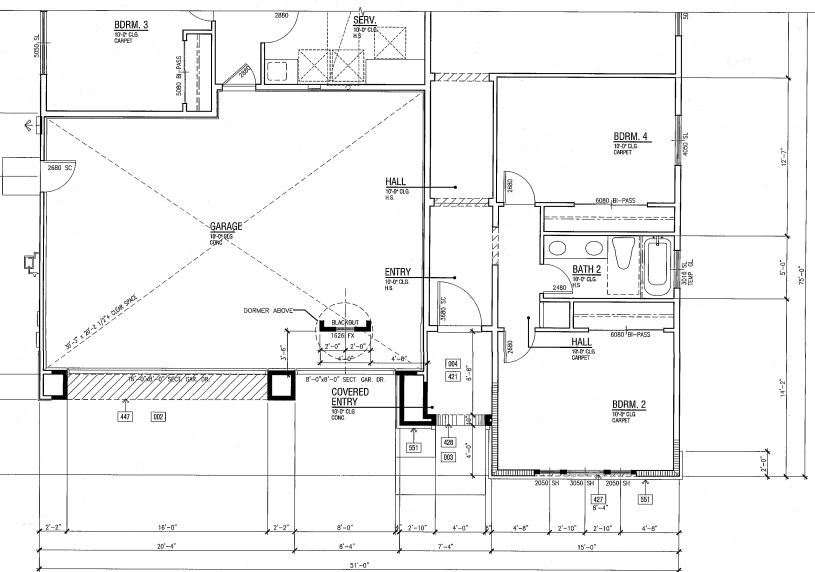
2020173.00 (2015253.07) - DELTA 1 SET 09-16-2020



A. SANTA BARBARA



**PARTIAL FLOOR PLAN 2700B
PROGRESSIVE CRAFTSMAN**



PARTIAL FLOOR PLAN 2700C - COTTAGE

FLOOR PLAN

FLOOR PLAN KEY NOTES

Item	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT DIRECTION INDICATED
411	LINE OF WALL ABOVE
421	STUCCO CEILING - HEIGHT PER PLAN
425	WOOD SHIFFT - HEIGHT PER ELEVATION
429	WOOD SHIFFT - HEIGHT W/INE WITH GARAGE DOOR HEADERS ELEVATION
521	STUCCO - ONCE DRYING WALL ONE COAT STUCCO (R) CC SP ESR-1584 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER BRAT R GUARD ESR-1586 BY STARTER BOARD
548	FIBER CEMENT BATTES OVER VERTICAL FIBER CEMENT PANEL ABOVE STUCCO - SEE KEYNOTE 521
608B	FIBER CEMENT LAP BOARD - 5/16" THICK THUNDERLARK (OR EQUIVALENT) FINISH SELECT CEDAR/MIL EXPOSURE 4 INSTALLATION PER MANUFACTURER'S INSTRUCTIONS. (2) LAYERS 1/8" BUILDING FELT (OR APPROVED EQUIVALENT) INSTALL PER MANUFACTURER'S INSTRUCTIONS

ADDENDA FLOOR PLAN NOTES

NOTE: SHADDED WALLS INDICATE AREAS THAT ARE DIFFERENT THAN THE BASE FLOOR PLAN
NOTE: REFER TO COIL AND LANDSCAPE DRAWINGS BY OTHERS FOR ALL DIMENSIONS AND LOCATIONS
REFER TO BASE PLAN SHEET A11.1 FOR ADDITIONAL NOTES AND DIMENSIONS

SPN # 002663-2020

FLOOR AREA TABLE	PLAN 2700B
FLOOR PLAN	2704 SQ. FT.
TOTAL	2704 SQ. FT.
3-CAR GARAGE	863 SQ. FT.
COVERED ENTRY/PORCH	43 SQ. FT.
COVERED PATIO	152 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

FLOOR PLAN NOTES

- ATTICS - ACCESS PER CRC R407, DRAFTSTOPS PER CRC R302.12 AND VENTILATION PER R308
- CRACK SPACES - ACCESS PER CRC R304 AND VENTILATION PER R401.1
- EMERGENCY ESCAPE AND RESCUE OPENINGS PER CRC R302 & R310 MEANS OF EGRESS PER CRC R311
- GLAZING PER CRC R302.1, R301.2.1.2 & R305
- FACTORY BUILT PREFABRICATED AND COMPONENTS PER CRC R1004, R1006 AND A.O.C.D. RULE 445
- COMBUSTION AIR TO FURNACE AIR UNIT PER CRC CHAPTER 7
- COMBUSTION AIR TO WATER HEATER PER CRC SECTION 504
- ENVIRONMENTAL AIR DUCTS PER CRC SECTION 504
- MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER CRC 505
- MINIMUM REQUIREMENTS FOR APPLIANCES PER CRC SECTION 110.1
- THE SILL HEIGHT IS NOT TO EXCEED 4" FROM THE BOTTOM OF THE CLEAR OPENING IN SLEEPING ROOMS. CRC R310.1
- UPPER FLOOR PLANE, ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND MORE THAN 27" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GLAZED OR WIRE GLAZED GLASS. THE GLAZING MUST NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. CRC R312.2
- A SHEETROCK INSPECTION IS REQUIRED. CRC R109.4.2.2 & CRC 1103.3.3
- GLAZING IN A HAZARDOUS LOCATION IS REQUIRED TO BE GLAZED WITH SAFETY MATERIAL. CRC R308
- PROVIDE A 6" SQUARE FRESH AIR INTAKE FOR THE GAS APPLIANCE RAIRSPACE 2019-1-24
- VERTICAL CLEARANCE ABOVE THE TOP OF TOP COMBUSTIBLES IS 30" UNPROTECTED, OR 24" PROTECTED, AND THE HORIZONTAL DIMENSIONS IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT. CRC R95.4.9.1.2
- THE WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER OR MOISTURE CONTACT OF MATERIALS NOT RESISTANT TO WATER. NOTE THE USE OF FIBER CEMENT, FIBER MAT, REINFORCED CONCRETE OR GLASS MAT EPDM GASKETS ON THE FLOOR PLAN. NOTE THAT WATER RESISTANT ORGANIC BOARD IS NOT LONGER PERMITTED. IN THESE LOCATIONS. CRC R102.4.2
- THE THREE CAR GARAGE IS NON-COMBUSTIBLE AND THE REQUIRED SMOKE DETECTOR SENSORS MAY NOT BE BELIEVED. CRC R102.4.2
- NOTE THAT ALL ATTIC ACCESS OPENINGS ARE GASKETED TO PREVENT AIR LOSS. CRC 150.5(a)
- A MINIMUM 20" DIA. CIRCLE IS PROVIDED AT THE SHOWERS FLOOR. THE MINIMUM FLOOR AREA OF THE SHOWER COMPARTMENT IS 100 SQUARE INCHES. CRC 408.6
- THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH THE LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. CDR TITLE 20

FLOOR PLAN KEY NOTES

Item	NOTE
002	CONCRETE DRIVE (BY OTHERS)
003	CONCRETE WALK (BY OTHERS)
004	CONCRETE PORCH SLAB (BY OTHERS) SLOPE 1/4" PER FOOT MINIMUM IN DIRECTION INDICATED
411	LINE OF WALL ABOVE
429	STUCCO CEILING - HEIGHT PER PLAN
427	STUCCO SHIFFT OVER WATERPROOFED STUCCO SHELF-SLOPE FRAMING FOR DRAINAGE (1/4" PER FOOT MINIMUM - HEIGHT PER FLOOR PLAN/ELEVATION)
428	ARCHED STUCCO SHIFFT - SEE EXTERIOR ELEVATION
447	STUCCO SHIFFT - HEIGHT W/INE WITH GARAGE DOOR HEADERS - SEE EXTERIOR ELEVATION
521	STUCCO - ONCE DRYING WALL ONE COAT STUCCO (R) CC SP ESR-1584 STUCCO TYPE 1 OR 11 PORTLAND CEMENT OVER BRAT R GUARD ESR-1586 BY STARTER BOARD
551	MANUFACTURED ANTI-FRACK STUCCO STONE VENEER OR CULTURED STONE (OC-ES-1504) INSTALL PER MANUFACTURER'S INSTRUCTIONS

SPN # 002663-2020

FLOOR AREA TABLE	PLAN 2700C
FLOOR PLAN	2704 SQ. FT.
TOTAL	2704 SQ. FT.
3-CAR GARAGE	863 SQ. FT.
COVERED ENTRY/PORCH	43 SQ. FT.
COVERED PATIO	152 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

ARCHITECTS - PLANNERS - DESIGNERS

AGENDA ITEM NO. 13.



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

CHADWICK - PLAN 2700
CLOVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

B PROGRESSIVE CRAFTSMAN & COTTAGE

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REVISIONS		
NO.	DATE	DESCRIPTION
1	09-16-2020	CLIENT REVISIONS

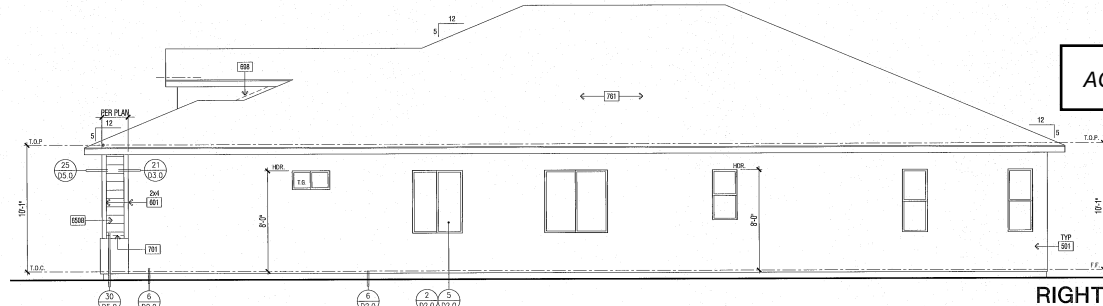
**PLAN 2700B & C
ADDENDA FLOOR
PLANS**

PROJECT NUMBER:	02
DESIGNER:	AM
DRAWN BY:	MH
REVIEWED BY:	-
TITLE BLOCK DATE/DATE:	09-16-20
JOB NUMBER:	2020173.00 (2015253.07)
CAD FILE NAME:	A11.5
DATE:	09-16-20
SHEET:	A11.5

2020173.00 (2015253.07) - DELTA 1 SET 09-16-2020



WILSON HOMES



RIGHT

ROOF PLAN KEY NOTES

- NOTE
- MONIER ROOFING ICC #ESR-4660, CLASS 'N', 9 PSF - CONCRETE FLAT TILE
- LINE OF WALL BELOW
- STRUCO GUTTER
- STRUCO SOFFIT
- WOOD SOFFIT
- PROVIDE 2" DIA. OPENING IN PL. WOOD SHEATHING BELOW GOLF FRAMED ROOF FOR SQUARE ATTIC VENTILATION
- ROOF VENT - "CLAMPED" (SEE ROOF VENTILATION CALCULATIONS)
- "SL METAL GUTTERS" - VERIFY LOCATION WITH INSTALLER
- "SL METAL DOWNSPOUTS" - DISCHARGE TO APPROVED SITE DRAINAGE SYSTEM - VERIFY LOCATION WITH INSTALLER
- PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR PV SOLAR INSTALLATION. PROVIDE ROUTE FOR FUTURE SOLAR WATER HEATER

ROOF ATTIC AREA

MIN. VENTILATION REQUIRED:	TOTAL	1724	SQ. FT.	TOTAL PROVIDED:	1778	SQ. FT.
MIN. VENTILATION REQUIRED:	HIGH	862	SQ. FT.	TOTAL HIGH PROVIDED:	889	SQ. FT.
MIN. VENTILATION REQUIRED:	LOW	862	SQ. FT.	TOTAL LOW PROVIDED:	889	SQ. FT.

ROOF AREA: 3592 SQ. FT.
CALCULATION FACTOR: 1/300

HIGH VENTILATION METHOD	RISE	FREE AREA	QUANTITY	FREE VENT AREA
CLAMPED VENT - CONC. FLAT TILE	50"	SQ. IN.	9	889
TOTAL PROVIDED:				889

LOW VENTILATION METHOD	RISE	FREE AREA	QUANTITY	FREE VENT AREA
CLAMPED VENT - CONC. FLAT TILE	50"	SQ. IN. X 9"	9	889
TOTAL PROVIDED:				889

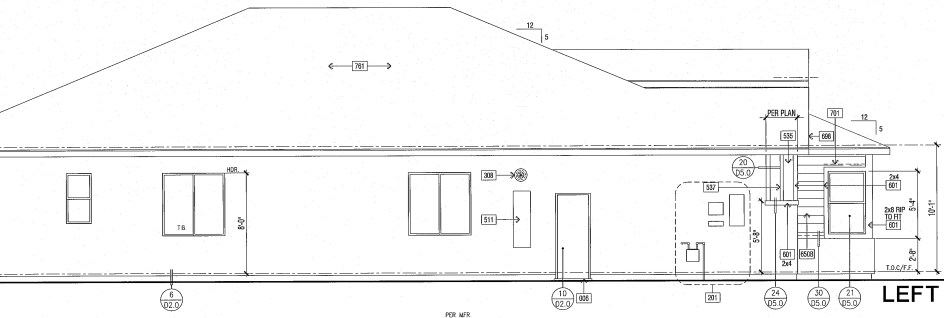
ELEVATION KEY NOTES

Name	NOTE
004	CONCRETE PORCH ENTRY SLAB (BY OTHERS) - SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED
006	CONCRETE STOP - 2" DEEP AND 2" WIDER THAN THE DOOR OPENING - SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED
201	UTILITY EQUIPMENT AND SERVICE PANELS - VERIFY LOCATION
203	ADDRESS PANEL - IF MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE EASILY VIEWED FROM THE STREET
207	CONC. LIGHT LOCATION
308	TANKLESS WATER HEATER TERMINATION CAP - INSTALL PER MANUFACTURER'S INSTRUCTIONS - USUALLY VENT IN AND EXHAUST DIRECTLY FROM OUTSIDE
421	1/2" CONCRETE OVER CONCRETE SLAB
501	PORTLAND CEMENT PLASTER 3 COAT SYSTEM MINIMUM 7/8" THICKNESS AT CEILING HEIGHT PER PLAN. REFER TO GENERAL NOTES SHEET ON-4 SECTION (CHECK FOR ADDITIONAL INFORMATION CONC. TEST)
501	OMEGA EXTERIOR WALL ONE COAT (R4) ICC-ES ESR-1194 STUCCO TYPE (R1) PORTLAND CEMENT. INSTALL PER MANUFACTURER'S LISTING
511	PRECES BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR INSTRUCTIONS
525	SMOOTH FINISH STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION
535	1/2" RIGID BATT AT 1/2" O.C.
537	"CEMENTITIOUS" VERTICAL PANEL OVER 2 LAYERS BUILDING PAPER OVER 1/2" PLYWOOD SHEATHING OVER EPS FOAM BOARD OVER BUILDING PAPER. NOTE: EPS FOAM BOARD MAY BE OMITTED AT NON-HABITABLE SPACES PROVIDED THE WALL PLANS OUT
535	TUNGRENE GLASS WINDOWS AT GARAGE DOOR
601	WOOD TRIM - SEE PER ELEVATION
608	FRESH CEMENT LAP SIDING - 5/8" THICK VERTICAL OVER (2) LAYERS OF BUILDING PAPER. USUALLY AS SHOWN (OTHERS); REFER TO GENERAL NOTE: CONCRETE INSTALLATION PER MANUFACTURER'S INSTRUCTIONS
608	SLI FLASHING AND COUNTER FLASHING AT TRAVE WELLS AND ROOF TO WALL CONNECTIONS
701	SLI FLASHING - AT ROOF AND/OR WALL
761	MONIER ROOFING ICC #ESR4660, CLASS 'N', 9 PSF - CONCRETE FLAT TILE

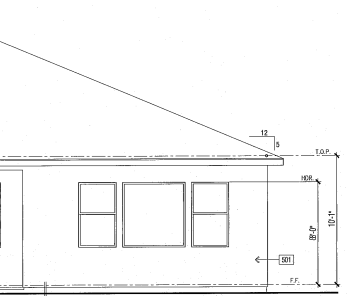
ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 2' ABOVE FINISHED FLOOR AND MORE THAN 7' ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GARDER. GARDER HAVE A PROTECTIVE GLASS. THE GARDER MAY NOT HAVE OPENINGS THAT A SPHERE 4" IN DIAMETER CAN PASS THROUGH. (2019 IRC R703.3)

NOTE: WATER RESISTIVE BARRIER APPLIED OVER WOOD-BASE SHEATHING SHALL HAVE 2 LAYERS OF GRADE 40 PAPER APPLIED IN SINGLE FASHION. 2019 IRC R703.3

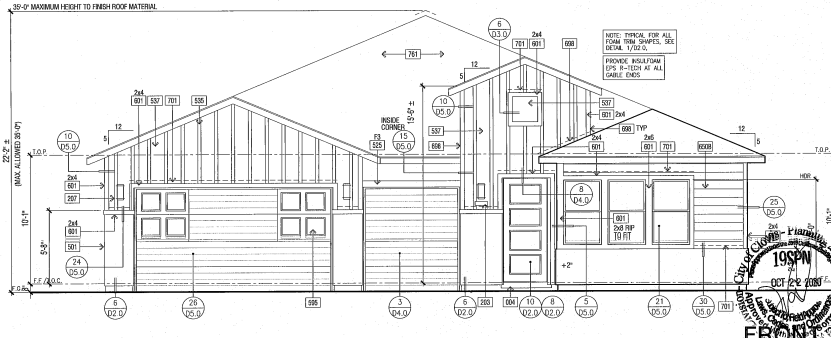
FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.



LEFT



REAR



FRONT

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REVISIONS

NO.	DATE	DESCRIPTION
1	09-16-2020	CLIENT REVISIONS

PLAN 2700B EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	MH
ISSUED FOR CONSTRUCTION:	01-01-20
JOB NUMBER:	2020173.00 (2015253.07)
CAD FILE NAME:	A11.6

DATE: 09-16-20 SHEET: A11.6

SCALE: 1/4" = 1'-0"

B PROGRESSIVE CRAFTSMAN

2020173.00 (2015253.07) - DELTA 1 SET 09-16-2020



WILSON HOMES

TRACT NUMBER: 6050
PROJECT TYPE: S.F.D.

CHADWICK - PLAN 2700
CLAVIS, CALIFORNIA

WILSON HOMES
FRESNO, CALIFORNIA

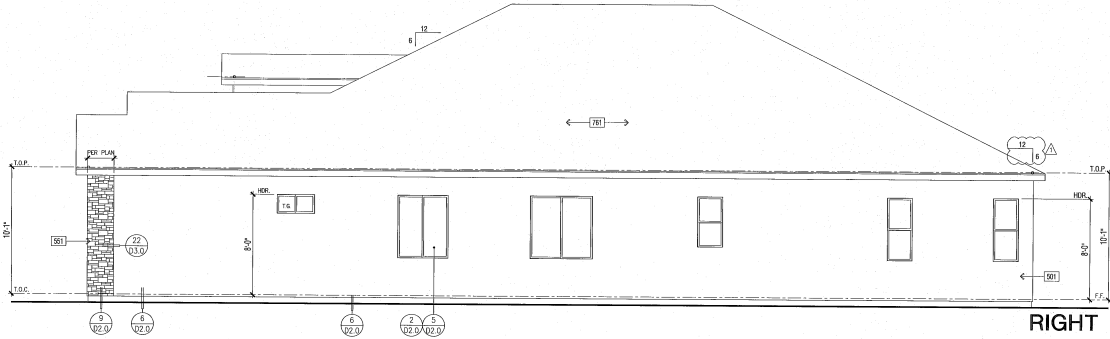
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REVISIONS		
NO.	DATE	DESCRIPTION
1	09-16-2020	CLIENT REVISIONS

PLAN 2700C EXTERIOR ELEVATIONS & ROOF PLAN

PROJECT MANAGER:	CC
DESIGNER:	AM
DRAWN BY:	MM
REVIEWED BY:	-
1ST BLDG. DEPT. SUBMITTAL:	01-07-20
ISSUED FOR CONSTRUCTION:	-
JOB NUMBER:	2009710 (BY 20190303)
DRAWING NAME:	A11.7
DATE:	09-16-20
SHEET:	A11.7

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ROOF PLAN KEY NOTES

MONER ROOFING ICC #EPR-4890, CLASS IV, 9 PSF - CONCRETE FLAT TILE.

STUCCO CEILING

STUCCO GIBBIT

ARCHED STUCCO SUPPORT WITH MANUF. STONE ABOVE

PROVIDE 2"X2" OPENING IN PLYWOOD SHEATHING BELOW CALF. - FRAMED ROOF FOR SHARE AT/IC VENTILATION

ROOF VENT - "CLADKAP" (SEE ROOF VENTILATION CALCULATIONS)

GL METAL BOOTINGS - VERIFY LOCATION WITH INSTALLER

GL METAL DOWNPIPS (DISCHARGE TO APPROVED SITE DRAINAGE SYSTEM) - VERIFY LOCATION WITH INSTALLER

PROVIDE 1" CONDUIT FROM THE ELECTRIC PANEL TO LOCATION IN ATTIC FOR PV SOLAR INSTALLATION. PROVIDE ROUTE FOR FUTURE SOLAR WATER HEATER

ROOF ATTIC AREA

A 3607 sq. FT.
51468 sq. IN

CALCULATION FACTOR: 1/300

MIN. VENTILATION REQUIRED: TOTAL 1732 sq. IN

MIN. VENTILATION REQUIRED: HIGH 866 sq. IN

MIN. VENTILATION REQUIRED: LOW 866 sq. IN

TOTAL PROVIDED: 1778 sq. IN

TOTAL HIGH PROVIDED: 889 sq. IN

TOTAL LOW PROVIDED: 889 sq. IN

ELEVATION KEY NOTES

004 CONCRETE PRECAST/CAST-IN-PLACE (BY OTHERS) - SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED

006 CONCRETE STUCCO - 3/8" DEEP AND 2" WIDER THAN THE DOOR OPENING - SLOPE 1/4" PER FOOT MINIMUM TO DRAIN IN DIRECTION INDICATED

201 UTILITY (EQUIPMENT AND SERVICE PANELS) - VERIFY LOCATION WITH UTILITY COMPANIES

203 ADDRESS PANEL - BY MIN. HIGH BUILDING ADDRESS CHARACTERS PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE FROM THE STREET.

207 COACH LIGHT LOCATION

305 RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MANUFACTURER

308 TANKLESS WATER HEATER TERMINATION CAP - INSTALL PER MANUFACTURER'S INSTRUCTIONS - CRACKAL VENT INTAKE & EXHAUST DIRECTLY FROM OUTSIDE

321 AIR CONDITIONING CONDENSER LOCATION

421 PORTLAND CEMENT PLASTER 1/2" SYSTEM MINIMUM 7/8" THICKNESS AT CEILING - HEAT PER PLAN. REFER TO GENERAL NOTES SHEET GN-4 SECTION 0020 FOR ADDITIONAL INFORMATION (SIC 937)

501 OMEGA DIAMOND WALL ONE COAT (OAC) ICC-ES ESR-1134 STUCCO TYPE FOR 10' PORTLAND CEMENT. INSTALL PER MANUFACTURER'S LISTING

511 RECESS BOX FOR TANKLESS WATER HEATER - INSTALL PER MFR. INSTRUCTIONS

526 SMOOTH FINISH STUCCO OVER RIGID FOAM TRIM - FOAM SHAPE PER ELEVATION

542 FIBER CEMENT LIP SING - 5/16" THICK "HARDPLAN" BY JAMESHADE ICC-ES ESR-406 (OR EQUIVALENT) FIBER - SELECT CENTRAL WALL. DOWSLOPE 4" (INSTALLATION PER MANUFACTURER'S INSTRUCTIONS)

551 MANUFACTURED ADHERED STUCCO STONE VENEER BY "EL DORADO STONE" ICC-ES ESR-3628

624 CORNER - WOOD (SEE SHAPE PER DETAIL)

621 WOOD TRIM - SEE PER ELEVATION

638

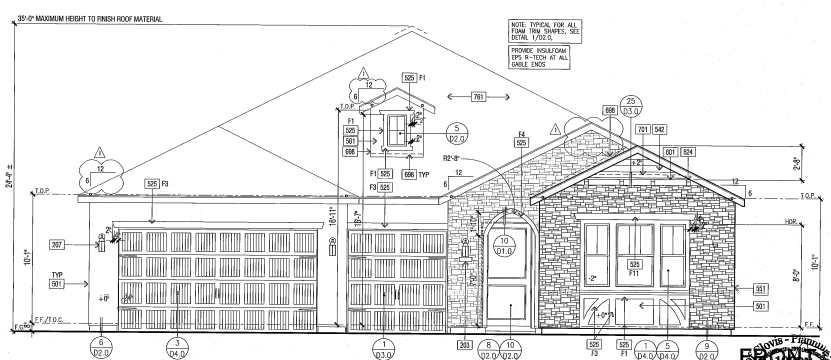
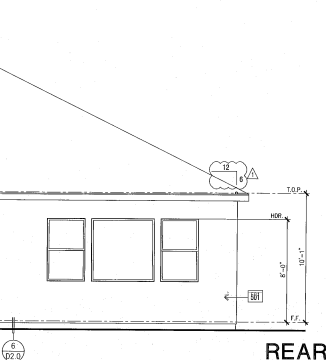
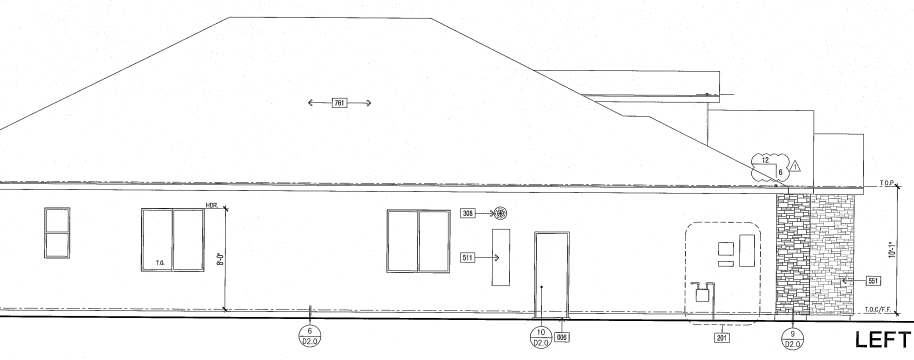
631 FLASHING - AT ROOF AND/OR WALL

781 MONER ROOFING ICC #EPR-4890, CLASS IV, 9 PSF - CONCRETE FLAT TILE.

ANY OPERABLE WINDOW WITH A SILL THAT IS LOCATED LESS THAN 24" ABOVE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW AT THE EXTERIOR, MUST BE PROTECTED BY A GLAZED OR, HAVE A FIXED GLASS. THE GLAZED MAY NOT HAVE OPENINGS THAT A BRISK WIND BLOWING CAN PASS THROUGH 2019 IRC 1403.1.2

NOTE: WATER-RESISTIVE BARRIER APPLIED OVER WOOD-WARE HEATING SHALL HAVE 2 LAYERS OF BRIDGE 5" PAPER APPLIED DOUBLE INSULATION. 2019 IRC R308.1.3

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

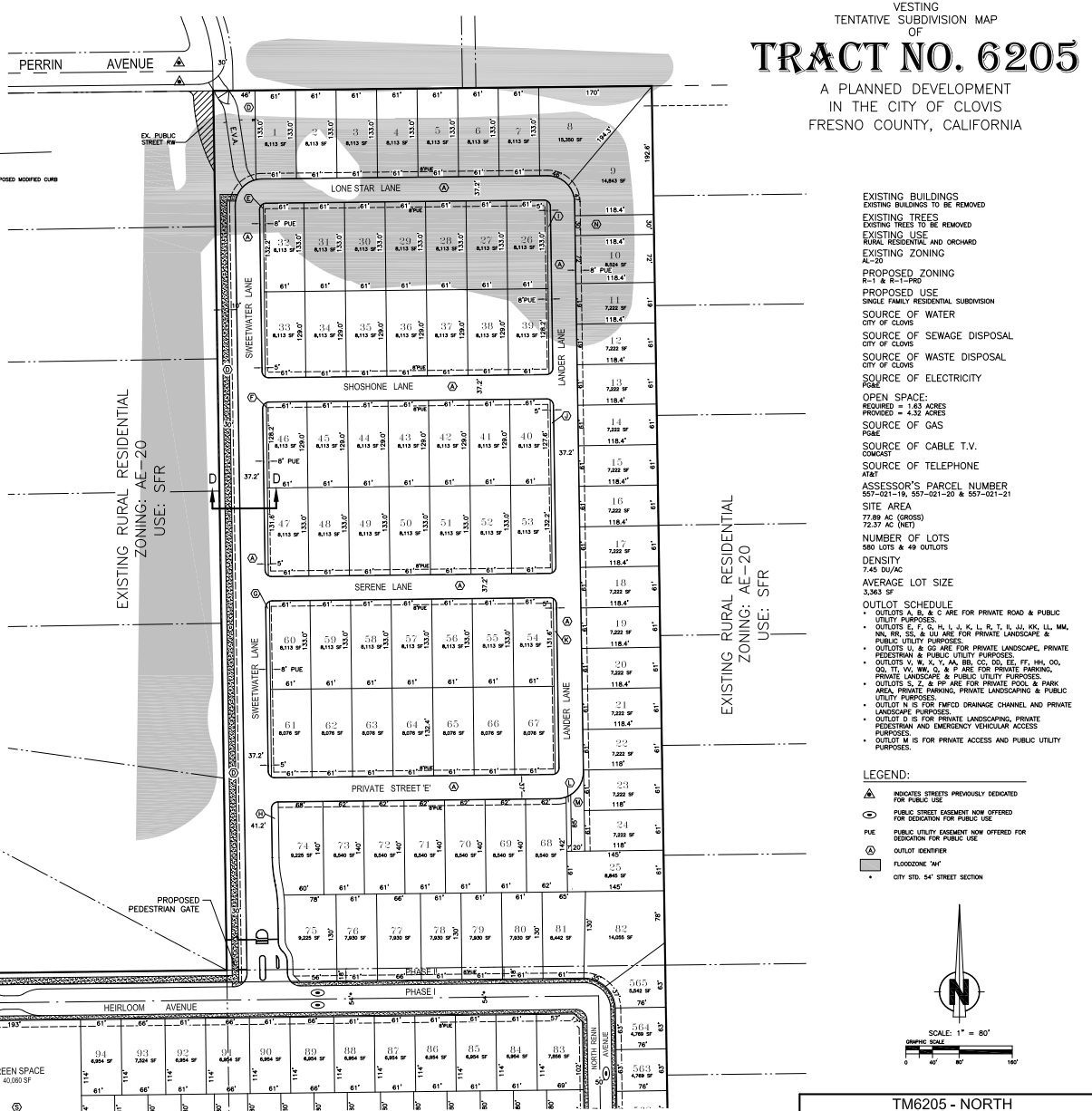
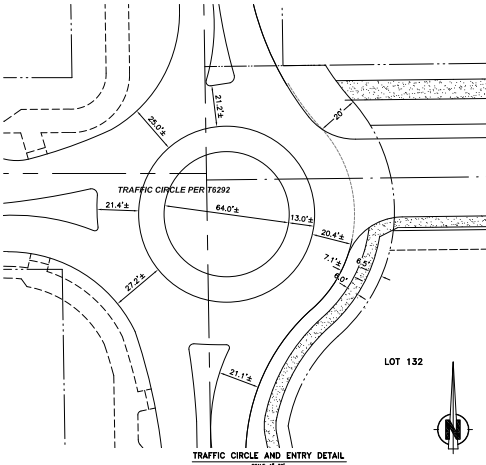
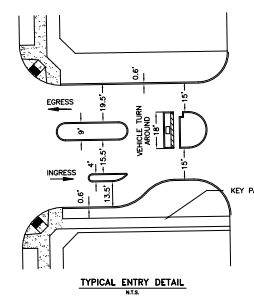
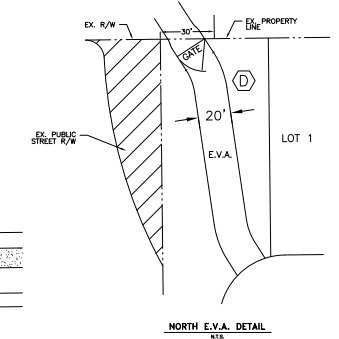
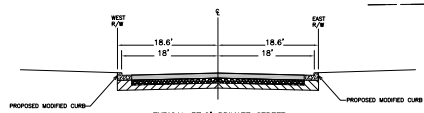
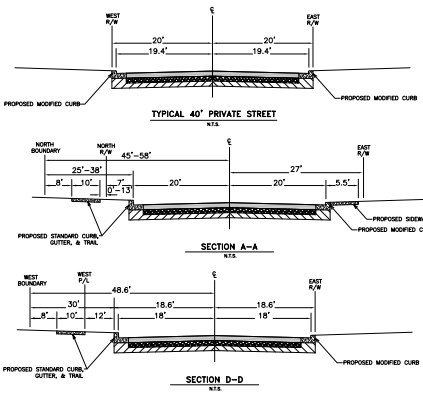


SCALE: 1/4" = 1'-0"



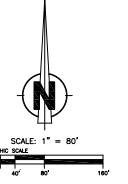
TRACT NO. 6205

A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA



- EXISTING BUILDINGS**
EXISTING BUILDINGS TO BE REMOVED
- EXISTING TREES**
EXISTING TREES TO BE REMOVED
- EXISTING USE**
RURAL RESIDENTIAL AND ORCHARD
- EXISTING ZONING**
AE-20
- PROPOSED ZONING**
R-1 & R-1-PD
- PROPOSED USE**
SINGLE FAMILY RESIDENTIAL SUBDIVISION
- SOURCE OF WATER**
CITY OF CLOVIS
- SOURCE OF WASTE DISPOSAL**
CITY OF CLOVIS
- SOURCE OF WASTE DISPOSAL**
CITY OF CLOVIS
- SOURCE OF ELECTRICITY**
POLE
- OPEN SPACE:**
REQUIRED = 1.63 ACRES
PROVIDED = 4.32 ACRES
- SOURCE OF GAS**
POLE
- SOURCE OF CABLE T.V.**
CONCRETE
- SOURCE OF TELEPHONE**
AT&T
- ASSESSOR'S PARCEL NUMBER**
557-021-19, 557-021-20 & 557-021-21
- SITE AREA**
77.89 AC (GROSS)
72.37 AC (NET)
- NUMBER OF LOTS**
580 LOTS & 49 OUTLOTS
- DENSITY**
7.45 U/LAC
- AVERAGE LOT SIZE**
3,363 SF
- OUTLOT SCHEDULE**
- OUTLOTS A, B, & C ARE FOR PRIVATE ROAD & PUBLIC UTILITY PURPOSES.
 - OUTLOTS E, F, G, H, I, J, K, L, R, T, U, V, W, X, Y, Z, AA, BB, CC, DD, EE, FF, HH, JJ, KK, LL, MM, NN, RR, SS, & UU ARE FOR PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES.
 - OUTLOTS U & GG ARE FOR PRIVATE LANDSCAPE, PRIVATE PEDESTRIAN & PUBLIC UTILITY PURPOSES.
 - OUTLOTS V, W, X, Y, AA, BB, CC, DD, EE, FF, HH, JJ, KK, LL, MM, NN, OO, PP, QQ, RR, SS, & TT ARE FOR PRIVATE PARKING, PRIVATE LANDSCAPE & PUBLIC UTILITY PURPOSES.
 - OUTLOTS S, Z, & PP ARE FOR PRIVATE POOL & PARK AREA, PRIVATE PARKING, PRIVATE LANDSCAPING & PUBLIC UTILITY PURPOSES.
 - OUTLOT N IS FOR PMCD DRAINAGE CHANNEL AND PRIVATE LANDSCAPE PURPOSES.
 - OUTLOT D IS FOR PRIVATE LANDSCAPING, PRIVATE PEDESTRIAN AND EMERGENCY VEHICULAR ACCESS PURPOSES.
 - OUTLOT M IS FOR PRIVATE ACCESS AND PUBLIC UTILITY PURPOSES.

- LEGEND:**
- ▲ INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
 - PUBLIC STREET EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - OUTLOT IDENTIFIER
 - FLOODZONE 'X'
 - CITY STD. 54' STREET SECTION



TM6205 - NORTH

CONVEYANCE AND RECORDS
Great Bigland, L.P.
7500 NORTH AVENUE, SUITE 100
FRESNO COUNTY, CALIFORNIA 93720

593

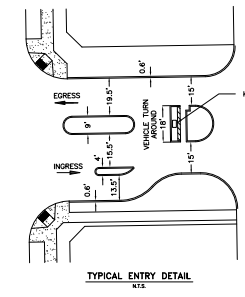
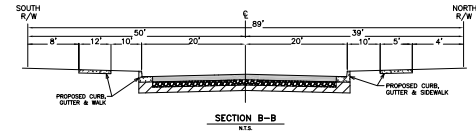
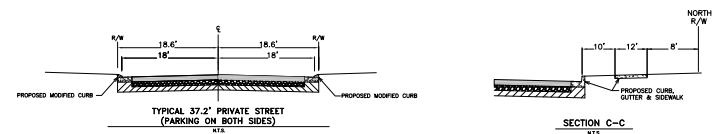
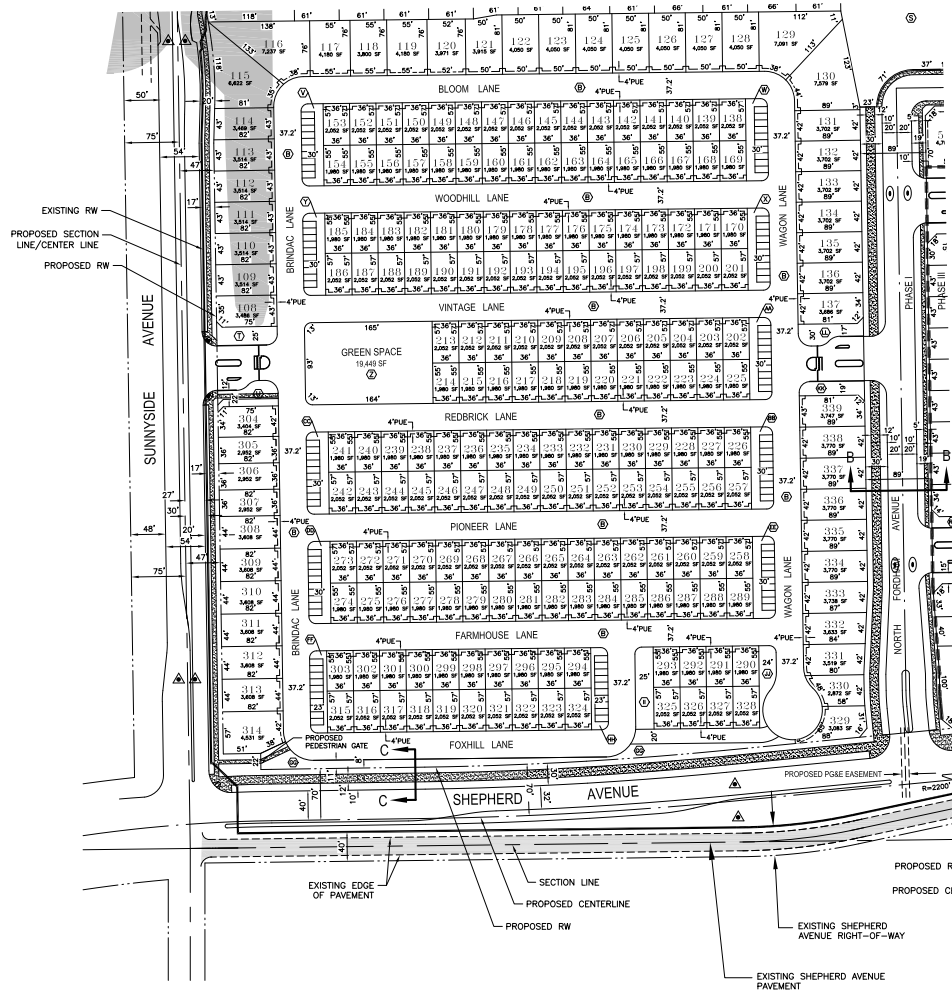
Harbour & Associates
Civil Engineers
550 Ch. 9 Avenue, Suite 300 • Clovis, California 93212
(559) 325-7070 • Fax (559) 325-1188 • e-mail: info@harbour.com

DATE: 12-7-22 SCALE: 1"=80' DRAWN BY: SDH

ET NO.
2
OF
4

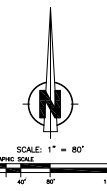
RD 01-011 D-87

VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA



- EXISTING BUILDINGS**
EXISTING TREES TO BE REMOVED
EXISTING TREES
EXISTING TREES TO BE REMOVED
EXISTING USE
RURAL RESIDENTIAL AND ORCHARD
EXISTING ZONING
R-1 & R-1-PDS
PROPOSED USE
SINGLE FAMILY RESIDENTIAL SUBDIVISION
SOURCE OF WATER
CITY OF CLOVIS
SOURCE OF SEWAGE DISPOSAL
CITY OF CLOVIS
SOURCE OF WASTE DISPOSAL
CITY OF CLOVIS
SOURCE OF ELECTRICITY
PG&E
OPEN SPACE:
REQUIRED = 1.63 ACRES
PROVIDED = 4.32 ACRES
SOURCE OF GAS
PG&E
SOURCE OF CABLE T.V.
COMCAST
SOURCE OF TELEPHONE
AT&T
ASSESSOR'S PARCEL NUMBER
567-021-19, 557-021-20 & 557-021-21
SITE AREA
77.89 AC (GROSS)
72.37 AC (NET)

- LEGEND:**
INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
PUBLIC STREET EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
OUTLOT IDENTIFIER
FLOODING 100'



TM6205 - SOUTHWEST

COMMISSIONED BY:
Great Bigland, L.P.
720 NORTH BROADWAY, SUITE 100
FRESNO, CALIFORNIA 93701
(509) 251-1100

DESIGNED BY:
Harbour & Associates
Civil Engineers
550 Clark Street, Suite 300 • Clovis, California 93212
(509) 325-7070 • Fax (509) 325-0188 • www.harbourandassociates.com

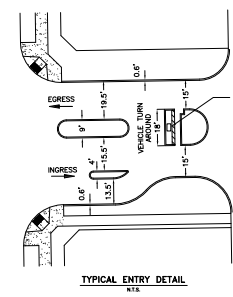
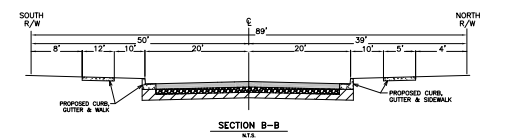
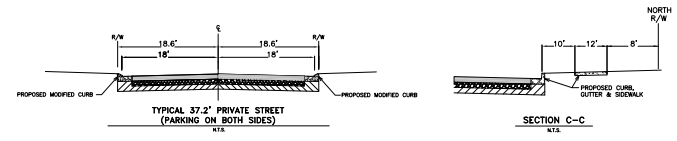
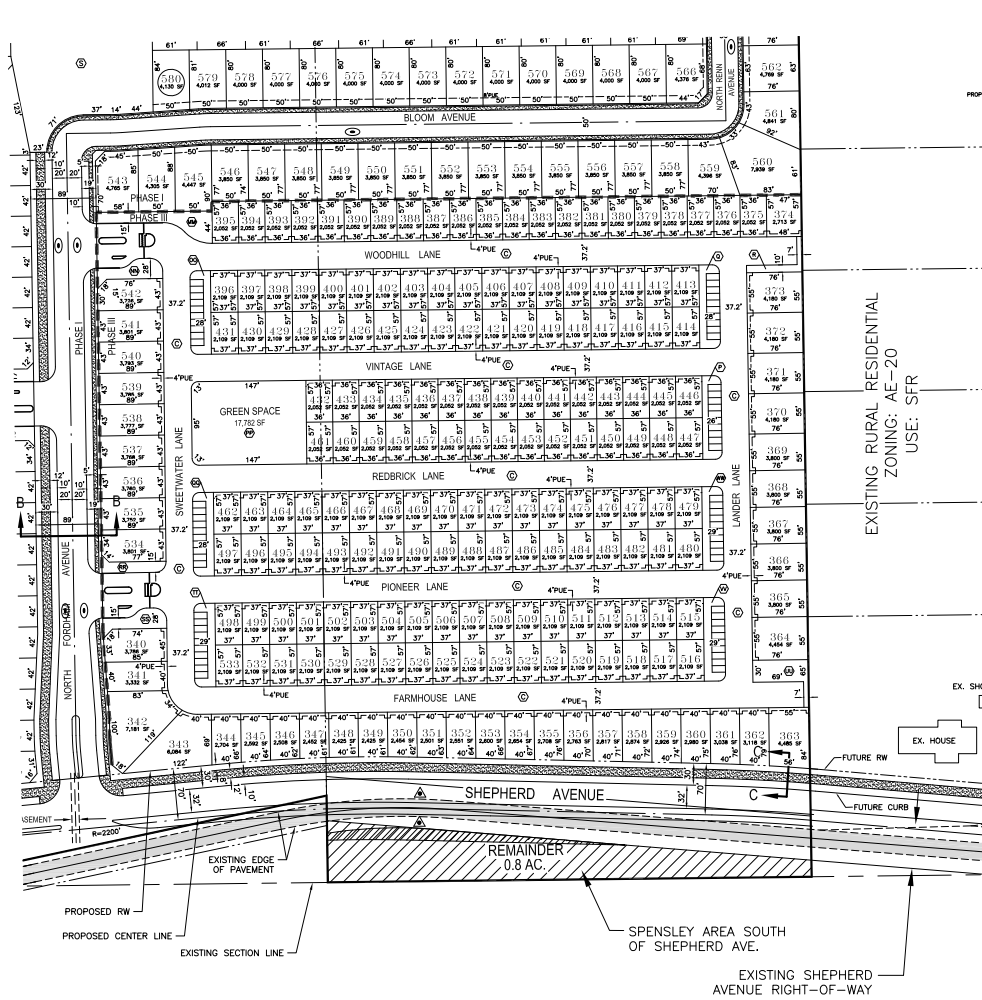
PROJECT NO. **594**

DATE: 12-7-22 SCALE: 1"=80' DRAWN BY: ISH

ET NO.
3
OF
4

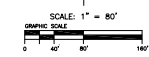
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VESTING
TENTATIVE SUBDIVISION MAP
OF
TRACT NO. 6205
A PLANNED DEVELOPMENT
IN THE CITY OF CLOVIS
FRESNO COUNTY, CALIFORNIA



- EXISTING BUILDINGS**
EXISTING BUILDINGS TO BE REMOVED
- EXISTING TREES**
EXISTING TREES TO BE REMOVED
- EXISTING USE**
RURAL RESIDENTIAL AND ORCHARD
- EXISTING ZONING**
AL-20
- PROPOSED ZONING**
R-1 & R-1-TWO
- PROPOSED USE**
SINGLE FAMILY RESIDENTIAL SUBDIVISION
- SOURCE OF WATER**
CITY OF CLOVIS
- SOURCE OF SEWAGE DISPOSAL**
CITY OF CLOVIS
- SOURCE OF WASTE DISPOSAL**
CITY OF CLOVIS
- SOURCE OF ELECTRICITY**
P&E
- OPEN SPACE**
REQUIRED = 1.83 ACRES
PROVIDED = 4.32 ACRES
- SOURCE OF GAS**
P&E
- SOURCE OF CABLE T.V.**
COMCAST
- SOURCE OF TELEPHONE**
AT&T
- ASSESSOR'S PARCEL NUMBER**
557-021-19, 557-021-20 & 557-021-21

- LEGEND:**
- ▲ INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
 - PUBLIC STREET EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - PUBLIC UTILITY EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - OUTLOT IDENTIFIER
- OUTLOT SCHEDULE**
- OUTLOTS A, B, C & C ARE FOR PRIVATE ROAD & PUBLIC UTILITY PURPOSES.
 - OUTLOTS D, E, F, G, H, I, J, K, L, R, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ



TM6205 - SOUTHEAST

DESIGNED BY: **Great Bigland, L.P.**
1500 NORTH BROADWAY, SUITE 100
FRESNO, CALIFORNIA 93703

PREPARED BY: **Harbour & Associates**
1501 CH. FRANCIS, SUITE 300 • CHICO, CALIFORNIA 95912
(530) 325-7070 • FAX (530) 325-0188 • INFO@HARBORANDASSOCIATES.COM

DATE: 12-7-22 SCALE: 1"=80' DRAWN BY: SDH

595

ET NO.
4
OF
4

WS: P11-002 D-857