



Matt Russell, Mayor
Garry Wilson, Ward II
Christopher Updike, Ward III
Jennifer Mitchell, Ward IV

Eric Franklin, Ward I
Gerry Pool, Ward II
Shane Grooms, Ward III
Jim Deichman, Ward IV

AGENDA
City Council Meeting
Online Zoom Meeting
June 22, 2021 at 6:00 PM

Zoom Link

Join Zoom Meeting
<https://us02web.zoom.us/j/87331172949>

Meeting ID: 873 3117 2949
One tap mobile
13017158592,87331172949 (Washington DC)
13126266799,87331172949 (Chicago)

Call Meeting to Order

Opening Prayer

Pledge of Allegiance to the United States Flag

Citizen Participation

Consent Agenda

1. Approve June 15, 2021 City Council Minutes.

Board, Commission, and Committee Schedule

Board of Adjustment Meeting	July 1, 2021
Planning & Zoning Meeting	July 12, 2021
City Council Meeting	July 20, 2021
City Council Meeting	August 17, 2021

Old Business and Tabled Items

2. 21-43 An Ordinance of the City Council of the City of Republic, Missouri, Approving a Special Use Permit to Operate a Rugby Football Club Facility Located in the 6100 Block of West Farm Road 156 to the Springfield Rugby Football Club.
3. 21-44 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 10 Acres from Agricultural (AG) to Planned Development District (PDD), Located in the 7400 Block of West Farm Road 174.
4. 21-45 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 5.91 Acres from Local Commercial (C-1) to General Commercial (C-3), Located in the 6500 Block of West Republic Road.
5. 21-46 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 36.95 Acres

from Agricultural (AG) to Heavy Manufacturing (M-2), Located in the 6800 Block of West Farm Road 144.

- [6.](#) 21-47 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 16.42 Acres from Agricultural (AG) to Heavy Manufacturing (M-2), Located in the 1100 Block of South State Highway MM.
- [7.](#) 21-48 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 10.88 Acres from Agricultural (AG) to High Density Single-Family Residential (R1-H), Located at 6354 South Farm Road 89.
- [8.](#) 21-49 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 17.1 Acres from Agricultural (AG) to High Density Single-Family Residential (R1-H), Located in the 6400 Block of South Farm Road 89.
- [9.](#) 21-50 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 2.5 Acres from Local Commercial (C-1) to General Commercial (C-3), Located at 6552 West Republic Road.
- [10.](#) 21-51 An Ordinance of the City Council of the City of Republic, Missouri, Approving Budget Amendment No. 2 to the Budget for the Fiscal Year 2021.

New Business (First Reading of Ordinances)

- [11.](#) 21-52 An Ordinance of the City Council of the City of Republic, Missouri, Approving the Final Plat of Auburn Hills Phase Two Subdivision.

Other Business (Resolutions)

- [12.](#) 21-R-28 A Resolution of the City Council of the City of Republic, Missouri, Awarding the Bid for Materials and Installation of Curb, Gutter, and Asphalt to Capital Paving for Jac Street and Authorizing the Execution of an Agreement for the Same.
- [13.](#) 21-R-29 A Resolution of the City Council of the City of Republic, Missouri, Awarding the Bid for the Construction of the New Builds Department Building and Authorizing the Execution of an Agreement for the Same.

Reports from Staff

Executive Session: *No further action, other than announcing adjournment by the Mayor, shall take place after an Executive Session that is scheduled as the last matter on the Agenda unless otherwise stated on the Agenda or as allowed per RSMo. 610.020.*

1. RSMo 610.021.1 Pending and/or potential litigation. Closed session. Closed vote. Closed record.
2. RSMo 610.021.2 Real estate acquisition. Closed session. Closed vote. Closed record.
3. RSMo 610.021.3 Hiring, firing, promotion, or disciplining personnel. Closed session. Closed vote. Closed record.

Adjournment

Individuals addressing the Council are asked to step to the microphone and clearly state their name and address before speaking. In accordance with ADA guidelines, if you need special accommodations to attend any city meeting, please notify the City Clerk's Office at 732-3101 at least three days prior to the scheduled meeting. **All meetings are tape recorded for public viewing.**



Matt Russell, Mayor
Garry Wilson, Ward II
Christopher Updike, Ward III
Jennifer Mitchell, Ward IV

Eric Franklin, Ward I
Gerry Pool, Ward II
Shane Grooms, Ward III
Jim Deichman, Ward IV

MINUTES
City Council Meeting
City Council Chambers, 540 Civic Blvd
June 15, 2021 at 6:00 PM

Call Meeting to Order

The regular session meeting of the City Council of the City of Republic, Greene County, Missouri, was called to order by Mayor Matt Russell at 6:00 p.m. Council Members present included Christopher Updike, Jim Deichman, Eric Franklin, Gerry Pool, Shane Grooms, and Jennifer Mitchell. Others in attendance were: Assistant Parks and Recreation Director Jennafer Mayfield, Chief of Staff Lisa Addington, City Attorney Scott Ison, Assistant City Administrator/Parks and Recreation Director Jared Keeling, Planning Manager Karen Haynes, BUILDS Administrator Andrew Nelson, Deputy Fire Chief Lynn Hollandworth, Police Lieutenant Jamie Burks, Police Chief Brian Sells, Finance Director Meghin Cook, Senior Financial Analyst Debbie Parks, Information Systems Director Josh Jones, and City Clerk Laura Burbridge.

Opening Prayer

Opening prayer was led by Jim Deichman.

Pledge of Allegiance to the United States Flag

The Pledge of Allegiance was led by Mayor Matt Russell.

Citizen Participation

Mayor Matt Russell opened citizen participation at 6:03 p.m. No one came forward so Mayor Russell closed citizen participation at 6:03 p.m.

Consent Agenda

Motion was made by Council Member Grooms and seconded by Council Member Deichman to approve the consent agenda. The vote was 6 Aye-Deichman, Franklin, Pool, Grooms, and Mitchell. 0 Nay. Motion Carried.

1. Approve June 1, 2021 City Council Minutes.
2. As per RSMo. 109.230(4), City records that are on file in the City Clerk’s office and have met the retention schedule will be destroyed in compliance with the guidelines established by the Secretary of State’s office.
3. Approve Vendor List.
4. Approve Utility Billing Adjustments.
5. 21-R-24 A Resolution of the City Council of the City of Republic, Missouri, Authorizing the Purchase of Radios for the Fire Department.
6. 21-R-25 A Resolution of the City Council of the City of Republic, Missouri, Appointing Authorized Signers with Bank of Missouri.

Board, Commission, and Committee Schedule

City Council Meeting (Zoom)	June 22, 2021
Board of Adjustment Meeting	July 1, 2021
Planning & Zoning Meeting	July 12, 2021
City Council Meeting	July 20, 2021



Old Business and Tabled Items

7. **21-42 An Ordinance of the City Council of the City of Republic, Missouri, Approving the Final Plat of Olde Savannah Phase 1B Subdivision.**

Motion was made by Council Member Franklin and seconded by Council Member Updike to have the second reading of Bill 21-42 by title only. The vote was 6 Aye-Deichman, Franklin, Grooms, Mitchell, Pool, and Updike. 0 Nay. Motion Carried. Karen Haynes was available to answer any questions from Council. Council Member Franklin motioned for the passage of Bill 21-42. Council Member Updike seconded. A roll call vote was taken. The vote was 6 Aye-Grooms, Updike, Deichman, Pool, Franklin, and Mitchell. 0 Nay. Motion Carried.

New Business (First Reading of Ordinances)

8. **21-43 An Ordinance of the City Council of the City of Republic, Missouri, Approving a Special Use Permit to Operate a Rugby Football Club Facility Located in the 6100 Block of West Farm Road 156 to the Springfield Rugby Football Club.**

Council Member Pool motioned for the first reading of Bill 21-43 by title only. Council Member Grooms seconded. The vote was 6 Aye-Pool, Deichman, Franklin, Mitchell, Russell, and Updike. 0 Nay. Motion Carried. Karen Haynes provided an overview of the bill.

Mayor Matt Russell opened it up for citizens opposing this item. Betty Bodenhamer spoke for Tom Gammon representing the Brookline Cemetery. Ms. Bodenhamer expressed that if the Springfield Rugby Football Club put in a fence, they would be in agreement with this item. Greg Smith, 2926 E. Alpine Dr. did not have anything further to add to Ms. Bodenhamer's comments.

Mayor Matt Russell opened it up for citizens in favor of this item. Bryan Bevel, 885 S Farm Road 197 stated he had nothing to add to staff's report but was available for any questions Council might have. Derek Lee, 1200 E Woodhurst was also present in favor of this item, but did not have anything further to add. Mayor Russell reminded Council that this was a first read and to get with staff with any questions prior to the next meeting.

9. **21-44 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 10 Acres from Agricultural (AG) to Planned Development District (PDD), Located in the 7400 Block of West Farm Road 174.**

Council Member Deichman motioned for the first reading of Bill 21-44 by title only. Council Member Pool seconded. The vote was 6 Aye-Pool, Deichman, Franklin, Mitchell, Russell, and Updike. 0 Nay. Motion Carried. Karen Haynes provided an overview of the bill. Mayor Russell reminded Council that this was a first read and to get with staff with any questions prior to the next meeting.

10. **21-45 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 5.91 Acres from Local Commercial (C-1) to General Commercial (C-3), Located in the 6500 Block of West Republic Road.**

Council Member Grooms motioned for the first reading of Bill 21-45 by title only. Council Member Franklin seconded. The vote was 6 Aye-Pool, Deichman, Franklin, Mitchell, Russell, and Updike. 0 Nay. Motion Carried. Karen Haynes provided an overview of the bill. Mayor Russell reminded Council that this was a first read and to get with staff with any questions prior to the next meeting.

11.21-46 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 36.95 Acres from Agricultural (AG) to Heavy Manufacturing (M-2), Located in the 6800 Block of West Farm Road 144.

Council Member Pool motioned for the first reading of Bill 21-46 by title only. Council Member Updike seconded. The vote was 6 Aye-Pool, Deichman, Franklin, Mitchell, Russell, and Updike. 0 Nay. Motion Carried. Karen Haynes provided an overview of the bill.

Mayor Russell opened it up for citizens speaking against this item. Brian Ward, 6741 W. Farm Road 144, approached to speak against this and the next item. Mr. Ward reported he was speaking for his neighbors, including Rachel Hodge, who was unable to attend. Mr. Ward cited spot zoning descriptions and stated he believed this item would be a spot zone. Mr. Ward spoke about his fear of the rezone decreasing the value of his home stating commercial property doesn't have the value of residential. Mr. Ward expressed this could make it impossible to sell their homes for current value. Mr. Ward expressed he wants a fair purchase price for owners. Nancy Randles, 1235 S. State Highway MM, spoke against this rezone. Ms. Randles shared she has lived in her home for 44 years and fixed her home up to retire. Ms. Randles expressed concern of eminent domain from MoDOT and expressed she had hoped to stay at this house for the rest of her life.

Mayor Russell opened it up for those speaking in favor of this item. Project engineer Elliott Reed, 530A E. Independence Dr., spoke in favor of this and the following rezone. Mr. Reed shared there are approximately 330 acres between this and James River Freeway that are all zoned commercial. Mr. Reed expressed his sympathy for the neighbors but reminded everyone that MM is going to 5 lanes with or without this development. Mr. Reed apologized for not being at Planning and Zoning due to a miscommunication and was not available to answer questions of the Commission. Mr. Reed shared this is step 1 of the development process and they would still have to figure out a preliminary plat that would come before Council. The applicant's attorney, Cory Collins from Husch and Blackwell at 901 St. Louis Street, spoke in favor. Mr. Collins shared in real estate law, the neighbor concerns are always an issue they want to address. Mr. Collins disagreed with the reference to spot zoning and shared this information was irrelevant to what is going on as this development is within the City's comprehensive plan. Mr. Collins shared this is an appropriate use of property and his client offered a fair property value as he is willing to pay the appraised value minus 6% commission, inspection, and required repairs of anything identified in the inspection to be fixed. Mr. Collins reminded everyone the road widening isn't part of this development.

Mayor Russell reminded Council that this was a first read and to get with staff with any questions prior to the next meeting.

12.21-47 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 16.42 Acres from Agricultural (AG) to Heavy Manufacturing (M-2), Located in the 1100 Block of South State Highway MM.

Council Member Deichman motioned for the first reading of Bill 21-47 by title only. Council Member Updike seconded. The vote was 6 Aye-Pool, Deichman, Franklin, Mitchell, Russell, and Updike. 0 Nay. Motion Carried. Karen Haynes provided an overview of the bill.

Mayor Russell opened it up for citizens speaking against this item. Brian Ward, 6741 W. Farm Road 144, approached to speak against this item. Mr. Ward again referenced spot zoning on the previous item and expressed concerns about the road that would be built between his home and his neighbor's property. Nancy Randles, 1235 S. State Highway MM, spoke against this rezone. Ms. Randles again expressed concern about the MM widening.

Mayor Russell opened it up for those speaking in favor of this item. Project engineer Elliott Reed, 530A E. Independence Dr., spoke in favor of this and the following rezoning. Mr. Reed expressed his comments for the previous item apply to this one as well. The applicant's attorney, Cory Collins from Husch and Blackwell at 901 St. Louis Street, spoke in favor of this item as well.

Mayor Russell reminded Council that this was a first read and to get with staff with any questions prior to the next meeting.

13.21-48 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 10.88 Acres from Agricultural (AG) to High Density Single-Family Residential (R1-H), Located at 6354 South Farm Road 89.

Council Member Grooms motioned for the first reading of Bill 21-48 by title only. Council Member Updike seconded. The vote was 6 Aye-Pool, Deichman, Franklin, Mitchell, Russell, and Updike. 0 Nay. Motion Carried. Karen Haynes provided an overview of the bill. Project engineer Chris Wynn, 5051 S. National Ave. Suite 7A, spoke in favor of this item. Mayor Russell reminded Council that this was a first read and to get with staff with any questions prior to the next meeting.

14.21-49 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 17.1 Acres from Agricultural (AG) to High Density Single-Family Residential (R1-H), Located in the 6400 Block of South Farm Road 89.

Council Member Pool motioned for the first reading of Bill 21-49 by title only. Council Member Updike seconded. The vote was 6 Aye-Pool, Deichman, Franklin, Mitchell, Russell, and Updike. 0 Nay. Motion Carried. Karen Haynes provided an overview of the bill. Project engineer Chris Wynn, 5051 S. National Ave. Suite 7A, spoke in favor of this item. Mayor Russell reminded Council that this was a first read and to get with staff with any questions prior to the next meeting.

15.21-50 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 2.5 Acres from Local Commercial (C-1) to General Commercial (C-3), Located at 6552 West Republic Road.

Council Member Updike motioned for the first reading of Bill 21-50 by title only. Council Member Grooms seconded. The vote was 6 Aye-Pool, Deichman, Franklin, Mitchell, Russell, and Updike. 0 Nay. Motion Carried. Karen Haynes provided an overview of the bill. Mayor Russell reminded Council that this was a first read and to get with staff with any questions prior to the next meeting.

16.21-51 An Ordinance of the City Council of the City of Republic, Missouri, Approving Budget Amendment No. 2 to the Budget for the Fiscal Year 2021.

Council Member Franklin motioned for the first reading of Bill 21-50 by title only. Council Member Mitchell seconded. The vote was 6 Aye-Pool, Deichman, Franklin, Mitchell, Russell, and Updike. 0 Nay. Motion Carried. Karen Haynes provided an overview of the bill. Mayor Russell reminded Council that this was a first read and to get with staff with any questions prior to the next meeting.

Other Business (Resolutions)

17.21-R-26 A Resolution of the City Council of the City of Republic, Missouri, Authorizing an Agreement with Midwest Public Risk for Property and Liability Insurance for 2021-2022.

Motion was made by Council Member Franklin and seconded by Council Member Updike to approve Resolution 21-R-26. Debbie Parks provided an overview of the Resolution. The vote was 6 Aye-Deichman, Franklin, Grooms, Pool, Mitchell, and Updike. 0 Nay. Motion Carried.

18.21-R-27 A Resolution of the City Council of the City of Republic, Missouri, Approving the Audit Report for the Fiscal Year Ended December 31, 2020.

Motion was made by Council Member Deichman and seconded by Council Member Pool to approve Resolution 21-R-27. Debbie Parks introduced Jon Cummings, who provided an overview of the audit report. The vote was 6 Aye-Deichman, Franklin, Grooms, Pool, Mitchell, and Updike. 0 Nay. Motion Carried.

Reports from Staff

Assistant City Administrator Jared Keeling referenced the City's website to show a week from Friday is Have-A-Blast. Mr. Keeling reported there has been a large amount of talk and we anticipate a large crowd. We are very excited and it will begin Friday at 6:00 p.m. with fireworks at 10:00 p.m. Mr. Keeling shared we are encouraging people to come to J.R. Martin Park to enjoy the Pyro-musical show.

Assistant City Administrator Jared Keeling reported that 7 weeks from today, on August 3rd, is the election for the sales tax initiative. Mr. Keeling showed Council the City's website, with a page dedicated to information on this ballot. More information will be added continually as well as mailings and interviews with Lieutenant Burks and Captain Tim King coming soon.

Assistant City Administrator Jared Keeling reported construction started this week on the City's Gateway Sign and construction should be wrapping up Friday. Staff will do landscaping work after that and eventually there will be a driveway and sidewalk. Mr. Keeling shared it is huge and the tiger will be installed in the weeks to come. Mr. Keeling reminded everyone this project started in 2017 with the capital improvement sales tax vote and we are proud of how it has turned out.

Assistant City Administrator Jared Keeling shared he attended the grand re-opening of the Wilson's Creek Battlefield Visitors Center. Mr. Keeling shared Sarah Cunningham is an asset to community. He encouraged people to check it out and shared he is proud to have them at our back door.

Council Member Franklin thanked the citizens who came to speak and acknowledged it is not easy to do. Mr. Franklin praised a great job on the sign and for moving so fast.

Executive Session: *No further action, other than announcing adjournment by the Mayor, shall take place after an Executive Session that is scheduled as the last matter on the Agenda unless otherwise stated on the Agenda or as allowed per RSMo. 610.02.*

1. RSMo 610.021.1 Pending and/or potential litigation. Closed session. Closed vote. Closed record.
2. RSMo 610.021.2 Real estate acquisition. Closed session. Closed vote. Closed record.
3. RSMo 610.021.3 Hiring, firing, promotion, or disciplining personnel. Closed session. Closed vote. Closed record.

Motion was made by Council Member Franklin and seconded by Council Member Updike at 7:35 p.m. to go into Executive Session under RSMo 610.021.2 Real estate acquisition. Closed session. Closed vote. Closed record. and RSMo 610.021.3 Hiring, firing, promotion, or disciplining personnel. Closed session. Closed vote. Closed record. A roll call vote was taken. The vote was 6 Aye - Pool, Deichman, Updike, Franklin, Mitchell, and Grooms. 0 Nay. Motion carried.

Motion was made by Council Member Franklin and seconded by Council Member Deichman to adjourn the Executive Session Meeting at 8:35 p.m. A roll call vote was taken. The vote was 6 Aye-Grooms, Mitchell, Franklin, Pool, Updike, and Deichman. 0 Nay. Motion Carried.

ATTEST:

Laura Burbridge, City Clerk

Matt Russell, Mayor

DRAFT

AGENDA ITEM ANALYSIS

Project/Issue Name: 21-43 An Ordinance of the City Council of the City of Republic, Missouri, Approving a Special Use Permit to Operate a Rugby Football Club Facility Located in the 6100 Block of West Farm Road 156 to the Springfield Rugby Football Club.

Submitted By: Karen Haynes, Planning Manager, BUILDS Department

Date: June 22, 2021

Issue Statement

The Springfield Rugby Football Club has applied for a Special Use Permit for the operation of a Rugby Football Club Facility in the 6100 Block of West Farm Road 156.

Discussion and/or Analysis

The subject property is located in the 6100 Block of West Farm Road 156, comprised of approximately (13.12) acres of land, zoned Agricultural (AG). The property is currently vacant and is used for agricultural purposes. The property is bordered by Agricultural (AG) properties to the north, south and east, and a cemetery to the west. The property is not currently served by municipal water or sewer services.

Applicant's Special Use Permit Request

The Applicant is requesting a Special Use Permit, allowing for the operation of the Springfield Rugby Football Club. The Rugby Club's proposal includes the following specifics:

Hours of Operation:

- **Season/Months of activities**
 - Springfield Rugby Club has two competitive seasons: Spring and Fall.
 - Spring season runs February-May.
 - They generally host one Saturday tournament each season which lasts approximately from 11:00am-8:00pm.
 - Fall season runs August-October (with the possibility of playoffs in November, though home-field advantage is never guaranteed).
 - No rugby matches are held during the Summer months due to heat, but Springfield Ultimate Frisbee will use the field one night a week (6-8pm).
- **Days/Hours of operation**
 - Rugby practices are held twice a week during each season (Tues/Thurs 6-8pm).
 - Games on Saturdays last for 90 minutes.
 - Most games begin at 2:00pm.
 - Some Youth and/or Women's games begin early at 11:00am.
 - Approximately 7 home games a year (**total** between both Spring/Fall seasons).

- The quantity and frequency of home matches vary as schedules are made by the Mid-America Division of USA Rugby.
- No practices or games are held on Sundays.

Exterior Lighting Details:

- **Illumination of Fields**
 - One field will have four poles each 20 ft in height.
 - Light placement will be focused on the field to mitigate light spillover into the community.
 - As SRC is a non-profit, field lights are used sparingly to help keep operation expenses low. Most likely, the field may be lit during practices February-March until daylight savings kicks in, and then again in September-October when the sun begins to set earlier in the evening.
 - The Club would like to add lights to the second field in the future.
 - Springfield Ultimate Frisbee's use of the field(s) during the Summer months will not require the use of field lights as there is daylight well into the evening hours.
- **Illumination of Parking Lot**
 - None
- **Illumination of Building**
 - None
 - The Club may desire to add internal lighting to the 30ft x 50ft open air pavilion in the future.
- **Illumination of Entrance**
 - None

Building:

- **Restroom Facilities**
 - None
- **Well/Septic**
 - Well
- **Kitchen and/or Concession Stand**
 - None
- **Alcohol Sales or consumption**
 - No alcohol sales.
 - On occasion, the Club may obtain a Picnic license to allow the team to grill hamburgers/hot dogs after a game. No outside food or alcohol is permitted.
 - ITEM OF NOTE: A member of the Club's Board of Directors is a Greene County Health Inspector. He ensures that the Club is following all appropriate measures/guidelines while using their picnic license.

Activities:

- **Are activities limited to only Rugby Games?**
 - No. The Springfield Ultimate Frisbee Team will use the field one night a week during the Summer.
- **Are other events planned or proposed?**
 - No

Buffering/Landscaping:

- **Landscaping/Buffering to mitigate impact to neighboring properties**
 - TBD—Convoy of Hope will adhere to any City recommendations.
- **Fencing to mitigate impact to neighboring properties**

- Security fencing

Driveway/Parking Lot Surfacing:

- Driveway and parking lot will be gravel and/or recycled asphalt.

The Applicant's proposal includes the construction of two Rugby Fields, parking lot, and construction of an open-air pavilion.

Compatibility with City's Special Use Ordinance

The City's Special Use Permit Ordinance, Section 405.670, authorizes, upon approval of the City Council, uses which are otherwise prohibited by the subject zoning district provided appropriate conditions and safeguards are imposed to protect the public welfare and to conserve and protect property and property values in the neighborhood.

Municipal Water and Sewer Service: This site **is not** currently served by City of Republic water and sanitary sewer services. The approval of a Special Use Permit for the Springfield Rugby Football Club will require no connections to municipal water or sewer service. The Applicant intends to permit a well for water to the property and to use portable restrooms during the season.

Duration: The Special Use Permit, upon approval, will remain valid until a change in use or ownership occurs at the referenced property. **The Springfield Rugby Club is currently working on the acquisition of the property and the referenced Special Use Permit would be issued to the Club, upon approval from City Council.**

Transportation: The Applicant's proposal provides for a single access lane along the western portion of the subject property. Due to the low volume of peak traffic for the proposed use, no Traffic Impact Study (TIS) was required.

Floodplain: The subject parcel **does** contain a Special Flood Hazard Area (SFHA/Floodplain)

Sinkholes: The subject parcel **does** contain one identified sinkhole. The Republic City Code requires a thirty (30) foot setback for development; a Sinkhole Analysis will be required during the Commercial Development Permit review process. The Sinkhole Report and engineering review will determine the extent of remediation and/or construction and grading that may occur within the areas identified as a sinkhole; the development will be reviewed by the City's Technical Review Team (TRT) prior to the issuance of any Building or Development Permits.

All developments must include site design providing for sufficient emergency vehicle access as well as fire protection facilities (e.g. fire hydrants). **Additional elements of code compliance, evaluated at the time of the development proposal, which will impact the development of the subject property, include, but are not limited to, the City's Zoning Regulations, adopted Fire Code, and adopted Building Code.**

Recommended Action

Staff recommends the approval of the proposed Special Use Permit for the Springfield Rugby Football Club with the following conditions:

- Activities are limited to those operated by the Springfield Rugby Club and the Springfield Ultimate Frisbee Team, for the sole purpose of practicing, hosting, or participating in Rugby and Frisbee practices, games, and associated activities.
- Activities may take place year-round, seven days a week, between the hours of 7AM and midnight.
- No alcohol or food sales/concessions permitted.
- The access drive and parking lot may be comprised of recycled asphalt or gravel, with the approval from the City Engineer and Fire Department.
- Rugby Fields and parking areas may be illuminated during operating hours and in accordance with the City's Exterior Lighting Standards.
- Perimeter Buffering required in accordance with the City's Landscaping Ordinance.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, APPROVING A SPECIAL USE PERMIT TO OPERATE A RUGBY FOOTBALL CLUB FACILITY LOCATED IN THE 6100 BLOCK OF WEST FARM ROAD 156 TO THE SPRINGFIELD RUGBY FOOTBALL CLUB

WHEREAS, the City of Republic, Missouri, (herein called the “City” or “Republic”) is a municipal corporation and Charter City located in Greene County, Missouri, being duly created, organized, and existing under the laws of the State of Missouri; and

WHEREAS, an application for a Special Use Permit was submitted by the Springfield Rugby Football Club (herein called the “Applicant”) to operate a rugby football club facility in the 6100 block of West Farm Road 156; and

WHEREAS, Section 405.670 of the City of Republic’s Municipal Code enumerates various land uses generally permissible as a special use, among those uses being amusement or recreational development; and

WHEREAS, a notice of the date and time of the public hearing concerning this application was published on May 19, 2021, in *The Greene County Commonwealth*, a newspaper of general circulation in the City, in addition to the same notice being sent by certified mail to those property owners within 185 feet of land subject to this special use permit application; and

WHEREAS, the Planning and Zoning Commission did thereafter hold a public hearing on June 7, 2021, after which they recommended the approval of the application by a vote of 6 Ayes to 0 Nays; and

WHEREAS, Section 405.670 of the City of Republic’s Municipal Code of Ordinances authorizes the Council to impose appropriate conditions and safeguards to protect the public welfare and to conserve and protect private property and property values in the neighborhood; and

WHEREAS, the application for this special use permit was submitted to the Council at its regular meeting held on June 15, 2021, after which City Council did proceed to vote to approve the special use permit subject to the imposed conditions contained herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AS FOLLOWS:

Section 1. A special use permit is hereby approved to operate a rugby football club facility located in the 6100 block of West Farm Road 156, otherwise described as follows:

All of the East One Hundred (100.00) feet of the Southwest Quarter (SW1/4) of the Southeast Quarter (SE1/4) of Section Thirty-Five (35), Township Twenty-Nine (29), Range Twenty-Three (23) West of the Fifth Principal Meridian, City of Republic, Greene County, Missouri ALONG AND WITH All of the North Six-Hundred Nineteen and Forty-Four Hundredth (619.44) feet of the Southwest Quarter (SW1/4) of the Southeast Quarter (SE1/4) of said Section 35, lying East of the railroad LESS AND EXCEPT any part

previously deeded for the Brookline Cemetery and LESS AND EXCEPT the East One Hundred (100.00) feet thereof.

Section 2. The following conditions and safeguards are hereby incorporated into the Special Use Permit:

- A. The special use permit shall expire or terminate, or both:
 - 1. At such time of sale or transfer of the property subject to this special use permit.
 - 2. Upon the death of the Applicant.
 - 3. Upon the transfer of the special use for which this permit is granted.
 - 4. Upon the abandonment of the special use for which this permit is granted for a period longer than 12 consecutive months.
 - 5. Upon the occurrence of any event which would terminate the same by operation of law including but not limited to violations of any City Ordinances, state or federal laws, or rules or regulations related to activity on the property or upon the property and activity on the property being determined to be unsafe or unsuitable for continued operation.
 - 6. Upon the rezone of the property.
 - 7. At such time as is established by Council.
- B. The special use shall provide sufficient off-street parking spaces to contain all parked vehicles associated with the special use.
- C. The special use shall provide all necessary stormwater management, including stormwater detention, in accordance with the City's regulations.
- D. Activities are limited to those operated by the Springfield Rugby Club and the Springfield Ultimate Frisbee Team for the sole purpose of practicing, hosting, or participating in Rugby and Frisbee practices, games, and associated activities.
- E. Activities may take place year-round, seven days a week, only between the hours of 7 AM and midnight.
- F. No alcohol or food sales/concessions permitted.
- G. The access drive and parking lot may be comprised of recycled asphalt or gravel, with the approval from the City Engineer and Fire Department.
- H. The rugby fields and parking areas may be illuminated during operating hours and in accordance with the City's Exterior Lighting Standards.
- I. Perimeter buffering shall be required in accordance with the City's Landscaping Ordinance.

Section 3. The whereas clauses are hereby specifically incorporated herein by reference.

Section 4. The provisions of this Ordinance are severable, and if any provision hereof is declared invalid, unconstitutional, or unenforceable, such determination shall not affect the validity of the remainder of this Ordinance.

Section 5. This Ordinance shall take effect and be in force from and after its passage as provided by law.

BILL NO. 21-43


ORDINANCE NO.

PASSED AND APPROVED at a regular meeting of the City Council of the City of Republic, Missouri, this _____ day of _____ 2021.

Matt Russell, Mayor

Attest:

Laura Burbridge, City Clerk

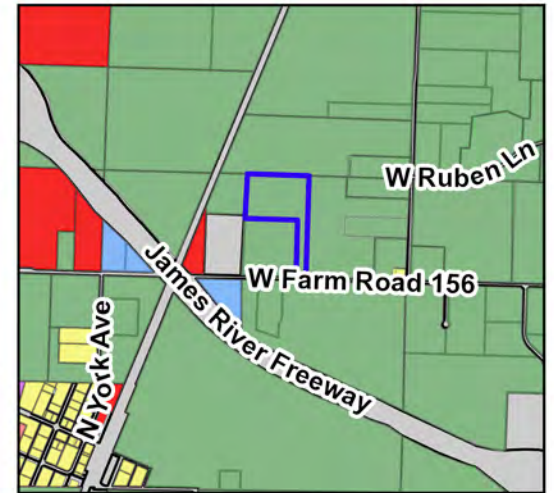
Approved as to Form:  Digitally signed by Scott Ison
Date: 2021.06.09 14:01:01
-05'00' _____, Scott Ison, City Attorney

Final Passage and Vote: _____

SU 21-002: Springfield Rugby Football Club

Item 2.

Zoning Map



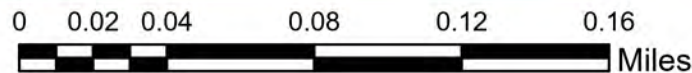
Legend

- Springfield Rugby Football Club Field
- Parcels

Zoning

- AG Agricultural
- C-1 Commercial
- C-2 General Commercial
- C-3 General Commercial
- M-1 Light Manufacturing
- M-2 Heavy Manufacturing
- PDD Planned Development
- R1-L Single Family Low Density
- R1-M Single Family Medium Density
- R1-H Single Family High Density
- R1-Z Zero Lot Line Residential
- R-2 Two-family Residential
- R-3 Multi-family Residential

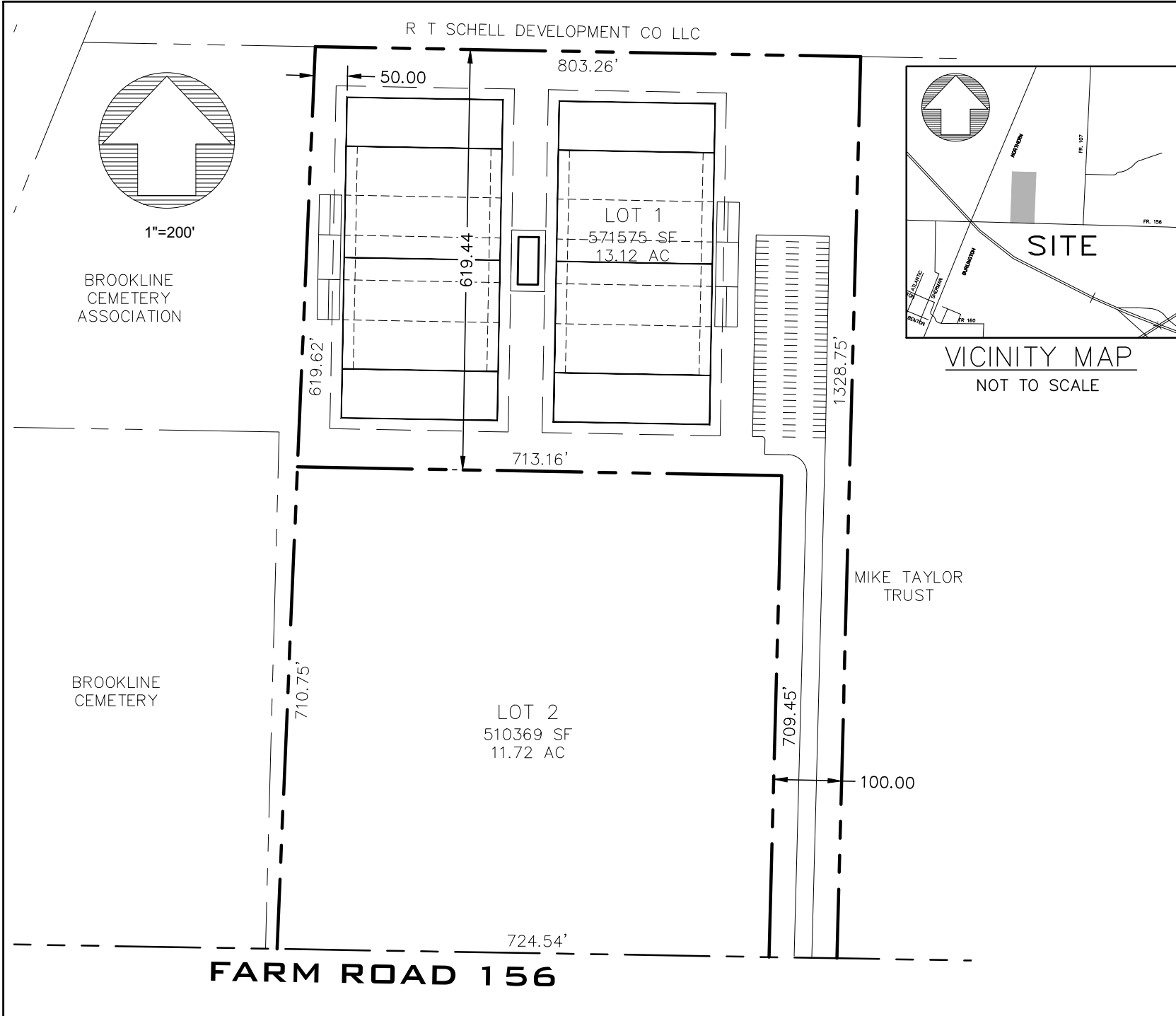
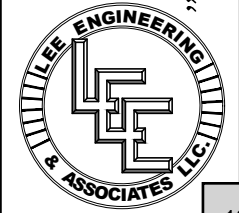
Parcel Owner: Ruth F. Sawyer Trust
 Parcel Address: 6100 Block of West Farm Road 156
 Area: 13.12 Acres
 Zoning: Agricultural (AG)
 Special Use Requested: Sports Field (Rugby)



**SPRINGFIELD RUGBY
FOOTBALL CLUB INC**
W FARM ROAD 156

Missouri State Certificate of Authority
Engineering #2005015504
Land Surveying #2009028050

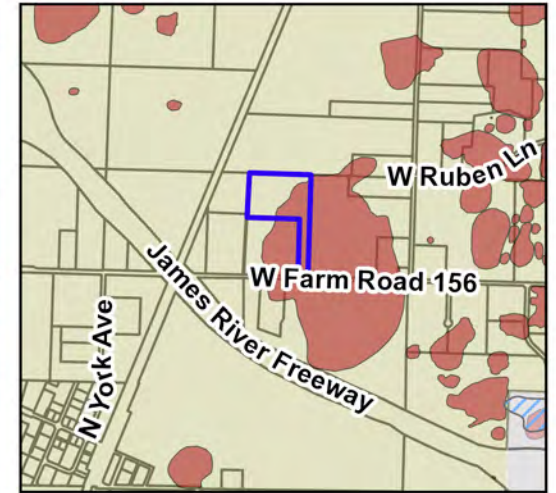
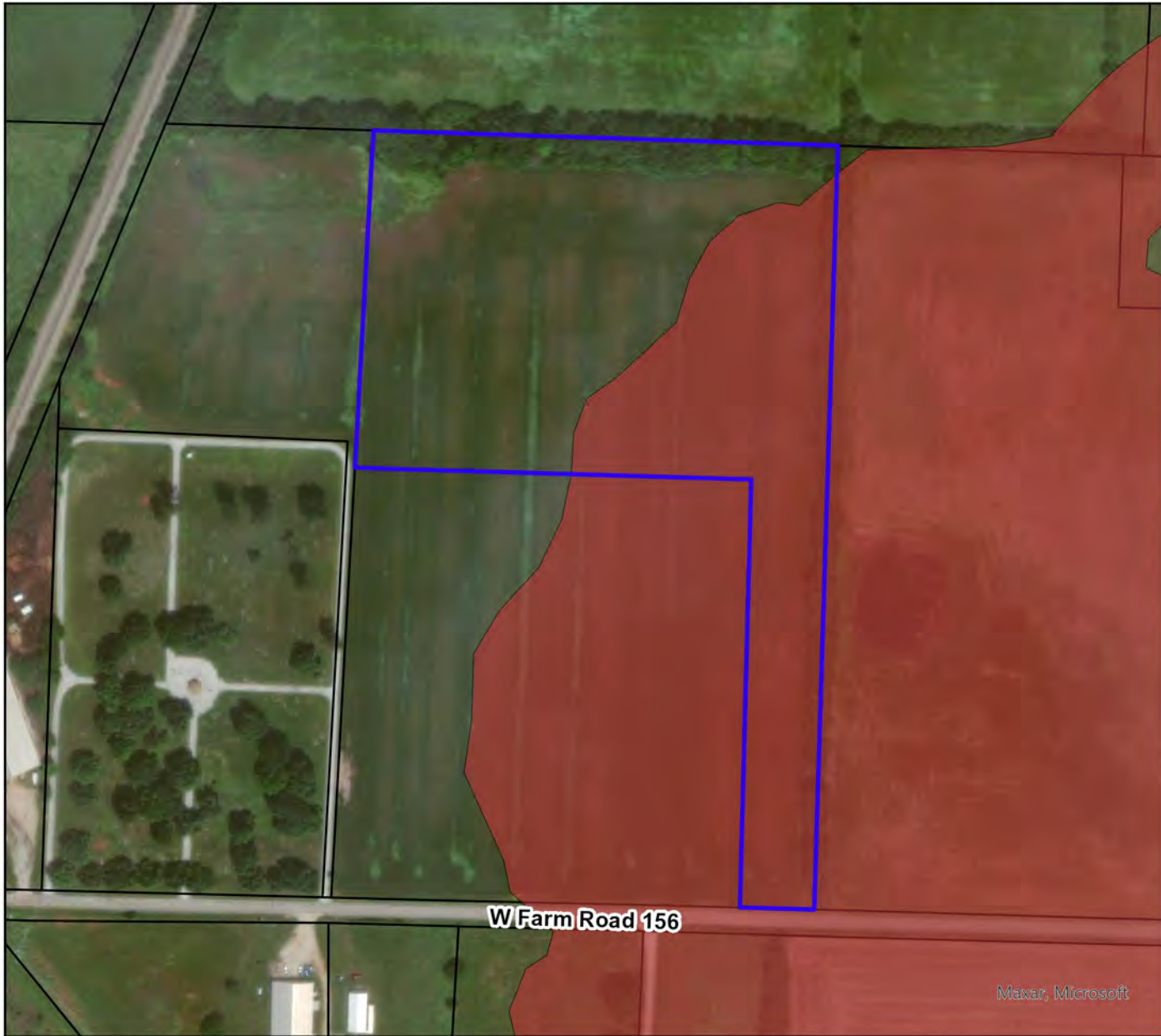
LEE Engineering & Associates, L.L.C.
1200 E. Woodhurst Dr., Suite D200
Springfield, Missouri 65807
417-886-9100 (phone)
417-886-9336 (fax)
dle@leeengineering.biz



SU 21-002: Springfield Rugby Football Club

Item 2.

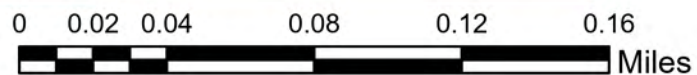
Vicinity Map

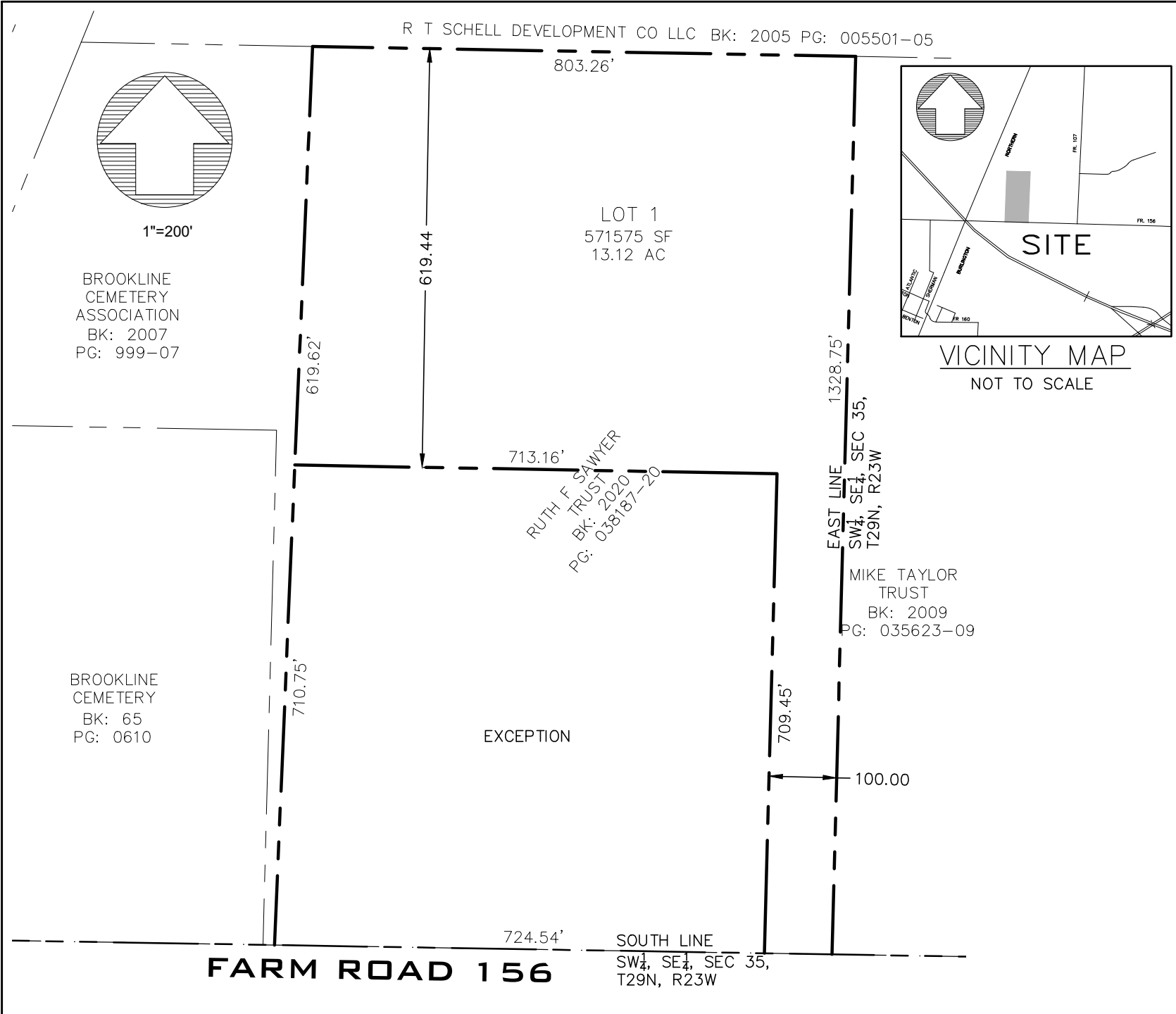


Legend

-  Springfield Rugby Football Club Field
-  Parcels
-  Sinkhole
-  Floodplain

Parcel Owner: Ruth F. Sawyer Trust
Parcel Address: 6100 Block of West Farm Road 156
Area: 13.12 Acres
Zoning: Agricultural (AG)
Special Use Requested: Sports Field (Rugby)





DATE: 05/07/2021

PROJECT NO.: 2121

SPECIAL USE PERMIT EXHIBIT

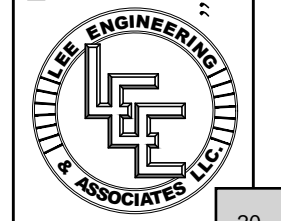
SPRINGFIELD RUGBY FOOTBALL CLUB INC

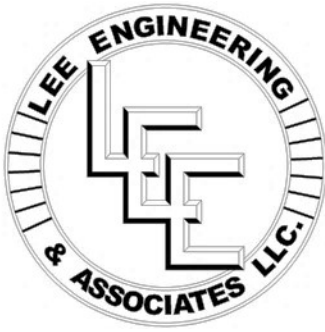
W FARM ROAD 156

Missouri State Certificate of Authority
Engineering #2005015504
Land Surveying #2009028050

LEE Engineering & Associates, L.L.C.
1200 E. Woodhurst Dr., Suite D200
Springfield, Missouri 65807
417-886-9100 (phone)
417-886-9336 (fax)
dle@leeengineering.biz

Engineering with Integrity





LEE ENGINEERING AND ASSOCIATES, L.L.C.

CIVIL ENGINEERING & DESIGN

1200 E. WOODHURST DRIVE., SUITE D200, SPRINGFIELD, MO 65804
TELEPHONE: (417) 886-9100 • FACSIMILE: (417) 886-9336 • dlee@leeengineering.biz

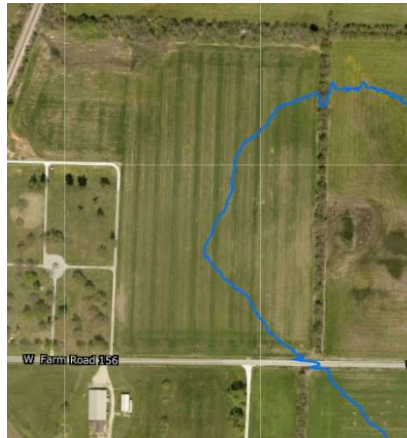
May 12, 2021

City of Republic
Karen Haynes, CFM, CPM, CNU-A
Planning Manager
204 North Main Avenue
Republic, MO 65738

Re: Sinkhole Report – Rugby Field

Ms. Haynes:

This site has a large sinkhole that is shown below. The sinkhole eye is located on the property to the East. I looked throughout the sinkhole area and did not identify any collapses in the disturbed area. This use will require very minor grading associated with installing the gravel drive and rugby fields. No buildings or permanent pavement will be constructed within the sinkhole area. This is the highest and best use for this type of sinkhole since the site will be developed in a way to that will prevent damage to structures or paved areas. The grass will act as a vegetative filter strip to remove any stormwater pollutants before the stormwater runoff goes to the sinkhole eye. The limited gravel area will not significantly increase the overall stormwater runoff or ponding that currently occurs. I recommend this use to be allowed in the existing sinkhole as shown on the attached drawing.



05/12/2021

If you have any questions or need further information, please contact our office at 886-9100.

Sincerely,

A handwritten signature in black ink that reads 'Derek A. Lee'.

Derek A. Lee, PE

AGENDA ITEM ANALYSIS

Project/Issue Name: 21-44 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 10 Acres from Agricultural (AG) to Planned Development District (PDD), Located in the 7400 Block of West Farm Road 174.

Submitted By: Karen Haynes, Planning Manager, BUILDS Department

Date: June 22, 2021

Issue Statement

Blake Cantrell, Owner Representative, has applied to change the Zoning Classification of approximately **(10) acres** of property located in the 7400 Block of West Farm Road 174 from Agricultural (AG) to The Woods Planned Development District (PDD).

Discussion and/or Analysis

The property subject to this Rezoning Application is comprised of approximately **(10) acres** of land located in the 7400 Block of West Farm Road 174. The property is currently unimproved agricultural property containing no structures.

Applicant's Proposal

The Applicant is proposing the Rezoning of this property to a Planned Development District (PDD) to allow for a pocket residential development consisting of (31) Residential Lots, Detention Basin, and the required extension of Bailey Avenue through the property. The Development Plan also contains new water, sanitary sewer, and stormwater improvements to support the development.

Specifically, the Applicant's proposal includes the following elements:

- (31) Residential Lots
 - Minimum Area: 8000 Square Feet
 - Minimum Width: 70 Feet
 - Minimum Depth: 100 Feet
 - Setbacks:
 - Front: 20 Feet
 - Rear: 25 Feet
 - Side Setback: 6 Feet
 - Side Street Setback: 15 Feet

The following paragraphs contain brief analyses of present site conditions as well as the proposal's relationship to **adopted plans of the City.**

Consistency with the Planned Development District (PDD) Ordinance

The purpose of the Planned Development Regulations is to allow for mixed-use, unconventional, or innovative arrangements of land and public facilities, which would be difficult to develop under the conventional land use and development regulations of the City.

Planned Unit Developments must demonstrate substantial congruence with each of the following conditions in order to be considered eligible for approval:

- The proposed Development Plan shall involve a mixture or variation of land uses or densities.
 - The Woods PDD is a residential pocket development consisting of lots with a minimum of 8000 square feet of area and reduced front yard setback.
- The proposed Development Plan shall involve the provision of all infrastructure deemed necessary to adequately serve the potential development.
 - The Woods PDD Development Plan includes provisions for adequate supply of municipal water and sewer, a plan for stormwater management, and the construction and dedication of a portion of Bailey Avenue, identified on the City's Major Thoroughfare Plan and OTO's Major Thoroughfare Plan.
- The proposed Development Plan shall involve design elements that promote the City of Republic's Comprehensive Plan and other adopted plans of the City.
 - The City of Republic's Comprehensive Plan promotes the expansion of commercial and residential development at locations supported by the City's water, sanitary sewer, and transportation networks; The Woods Development can be adequately supported by the City's existing capacities for water, sewer, and transportation.
- The proposed Development Plan shall involve design elements intended to lessen congestion in the streets; to secure safety from fire, panic, and other dangers; to promote health and the general welfare; to provide adequate light and air; to prevent the overcrowding of land; to avoid undue concentration of population; to preserve features of historical significance; to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public improvements.
 - The Woods Development Plan includes construction of a portion of Bailey Avenue, a Secondary Arterial, which will eventually connect US Highway 60 to County Line Road; the residential lots within the development will have no direct access to Bailey Avenue.

Consistency with the Comprehensive Plan

The City's Comprehensive Plan generally encourages the expansion of residential and commercial development through proactive rezoning of land at appropriate locations. Appropriate locations are described generally throughout the Plan with regard to the **relationship of land at particular locations to infrastructure capable of supporting various intensities and densities of uses.**

The 2021 Comprehensive Plan and Land Use Plan identifies Land Use Goals and Objectives relating to development, as follows:

- **Goal:** Support market conditions to develop a greater variety of residential and commercial options
 - **Objective:** Support a variety of housing developments and styles to ensure a range of options are available
- **Goal:** Support new development that is well-connected to the existing community
 - **Objective:** Encourage development that improves and expands upon existing infrastructure
 - **Objective:** Promote development aligning with current adopted plans of the City
- **Goal:** Recognize potential infill sites as opportunities for development, while mitigating impacts to adjacent, established properties
 - **Objective:** Support the development of vacant parcels as opportunities for densification that is harmonious with surrounding development

Compatibility with Surrounding Land Uses

The subject site is surrounded by existing residential zoned property and large parcel Greene County Agricultural properties with Single-Family homes.

- North: Greene County General Commercial
- South: Greene County Agricultural
- East: Greene County Agricultural Residential
- West: High Density Single-Family Residential (R1-H)

The land uses permitted in the Applicant's proposal are considered to be generally compatible with the surrounding residential and agricultural zoned properties and uses in proximity to the subject parcel.

Capacity to Serve Potential Development and Land Use

Municipal Water and Sewer Service: This site is not currently served by City of Republic sanitary sewer and water service; both water and sewer service are available in proximity to the development. **The development of the subject property will require the extension of a new water main from the existing (8) inch main located to the west in the Westwood Subdivision; the water main extension will parallel the Bailey Avenue extension serving the development.**

The development will be served by a new Lift Station, designed to serve the development, located on the Detention Basin parcel. The effluent will travel from the Lift Station to force sewer main along West Farm Road 174, before flowing to the McElhaney Lift Station and Shuyler Creek Lift Stations; from Shuyler Creek, it is pumped back through a series of forced mains to the Wastewater Treatment Facility.

The Water System, Lift Stations, and the Wastewater Treatment Facility have sufficient capacity to serve the proposed development.

Transportation: The proposed Development Plan includes a portion of Bailey Avenue, as required on the City's Major Thoroughfare Plan; the Bailey Avenue extension will eventually connect Bailey Avenue in the Westwood Subdivision to a planned extension of the road to the north to West Farm Road 170.

No parcel within the development will have direct access to West Farm Road 174 or Bailey Avenue.

Stormwater: The Development Plan contains one area designated for stormwater detention, designed to control the release of stormwater attributable from the development. The stormwater detention areas and all open space/common areas will be owned and maintained by the Developer.

Floodplain: The subject parcel **does not** contain a **Special Flood Hazard Area (SFHA/Floodplain)**.

Sinkholes: The subject parcel **does** contain one **identified sinkhole** on the northern portion of the property. A Sinkhole Analysis Report will be submitted, reviewed, and approved during the Infrastructure Design Process; a (30) foot setback, required by Republic City Code.

All developments must include site design providing for sufficient emergency vehicle access as well as fire protection facilities (e.g. fire hydrants). **Additional elements of code compliance, evaluated at the time of the development proposal, which will impact the development of the subject property, include, but are not limited to, the City's Zoning Regulations, adopted Fire Code, and adopted Building Code.** The next steps in the process of development of the subject parcel, upon a favorable rezoning outcome, will be the development, review, and approval of an Infrastructure Permit for the construction of utility services and roads.

Recommended Action

Staff considers the **proposed Zoning Map Amendment (Rezoning to Planned Development District)** to be generally consistent with the **goals and objectives of the Comprehensive Plan**, generally consistent with the **trend of development in the vicinity of the site**, generally **compatible with surrounding land uses**, and **able to be adequately served by municipal facilities**. Specifically, the proposed development can be adequately served by the City's municipal water and sanitary sewer services and the City's transportation network. Based upon this analysis (performed without the benefit of evidence and testimony of a public hearing), Staff recommends the approval of this application.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, APPROVING AMENDING THE ZONING CODE AND OFFICIAL MAP BY CHANGING THE CLASSIFICATION OF APPROXIMATELY 10 ACRES FROM AGRICULTURAL (AG) TO PLANNED DEVELOPMENT DISTRICT (PDD), LOCATED IN THE 7400 BLOCK OF WEST FARM ROAD 174

WHEREAS, the City of Republic, Missouri, ("City" or "Republic") is a municipal corporation and Charter City located in Greene County, Missouri, being duly created, organized, and existing under the laws of the State of Missouri; and

WHEREAS, an application for an amendment to the Zoning Code and Official Zoning Map to rezone real estate located in the 7400 Block of West Farm Road 174, and comprising approximately 10 acres from Agricultural (AG) to Planned Development District (PDD), was submitted to the City's BUILDS Department by Blake Cantrell ("Applicant"); and

WHEREAS, an application for approval of a development plan for The Woods Planned Development District identified as PDD 21-003 ("Development Plan") was received from Applicant; and

WHEREAS, the City did thereafter submit said application and Development Plan to the Planning and Zoning Commission, which did set June 7, 2021, as the date a public hearing would be held on such application and proposed amendment; and

WHEREAS, a notice of the time and date of the public hearing was given by publication on May 19, 2021, in *The Greene County Commonwealth*, a newspaper of general circulation in the City, such notice being at least 15 days before the date set for the public hearing; and

WHEREAS, the City gave notice of such public hearing to the record owners of all properties within the area proposed to be rezoned and within 185 feet of the property proposed to be rezoned; and

WHEREAS, a public hearing was conducted by the Planning and Zoning Commission on June 7, 2021, after which the Commission rendered written findings of fact on the proposed amendment, Development Plan, and rezoning and, thereafter, submitted the same, together with its recommendations, to the Council; and

WHEREAS, the Planning and Zoning Commission, by a vote of 5 Ayes to 1 Nay, recommended the approval of such application and Development Plan for rezoning; and

WHEREAS, the application for rezoning, Development Plan, and to amend the Zoning Code and Official Zoning Map was submitted to the City Council at its regular meeting on June 15, 2021, after which the City Council did proceed to vote to rezone such property, approve the Development Plan, and amend the Zoning Code accordingly.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AS FOLLOWS:

Section 1. The Zoning Code and Official Zoning Map are hereby amended insofar as the same relates to a certain tract of realty located in the 7400 Block of West Farm Road 174, and comprising approximately 10 acres from Agricultural (AG) to Planned Development District (PDD), such tract being more fully described as follows:

Tract 1: The north half (1/2) of the following described tract: Commencing at a 5/8 inch rebar LS 2334 set at the West 1/4 corner of said Section Fifteen (15), thence North 89 degrees 35 minutes 55 seconds East, 331.83 feet along the South line of said Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) to a 1/2 inch rebar LS 2334 set for the point of beginning; thence North 00 degrees 18 minutes 50 seconds West, 1322.03 feet to a 1/2 inch rebar LS 2334 set at the intersection with the North line of said Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4); thence North 89 degrees 39 minutes 06 seconds East, 333.21 feet along said North line to a 1/2 inch rebar LS 2334 set; thence South 00 degrees 15 minutes 15 seconds East 1321.73 feet to a 1/2 inch rebar LS 2334 set at the intersection with said South line of the Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4); thence South 89 degrees 35 minutes 55 seconds West, 331.83 feet along said South line to the point of beginning, all in Section Fifteen (15), Township Twenty-eight (28), Range Twenty-three (23), in GREENE County, Missouri. Tract 2: THE WEST HALF (W1/2) OF THE FOLLOWING DESCRIBED TRACT: A PART OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION FIFTEEN (15), TOWNSHIP TWENTY-EIGHT (28) NORTH, RANGE TWENTY-THREE (23) WEST, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A 5/8 REBAR LS 2334 SET AT THE WEST QUARTER (W 1/4) CORNER OF SAID SECTION FIFTEEN (15); THENCE NORTH 89°35'55" EAST, 663.66 FEET ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) TO A 1/2" REBAR LS 2334 SET FOR A POINT OF BEGINNING; THENCE NORTH 00°15'15" WEST, 1321.42 FEET TO A 1/2" REBAR 2334 SET AT THE INTERSECTION WITH THE NORTH LINE OF SAID SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4); THENCE NORTH 89°39'06" EAST, 333.21 FEET ALONG THE NORTH LINE OF A 1/2" REBAR LS 2334 SET; THENCE SOUTH 00°11' 39" EAST, 1321.42 FEET TO A 1/2" REBAR LS 2334 SET AT THE INTERSECTION WITH SAID SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4); THENCE SOUTH 89°35'55" WEST, 331.83 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING, ALL IN GREENE COUNTY, MISSOURI.

Section 2. The Development Plan, as incorporated and attached to this Ordinance, is hereby approved and adopted by the Council along with any modifications and conditions imposed herein.

Section 3. Unless otherwise specifically defined by the approved Development Plan, the development of the tracts of realty contained herein will be regulated according to the requirements of the City of Republic's Municipal Code of Ordinances.

BILL NO. 21-44

ORDINANCE NO.

Section 4. In all other aspects other than those herein amended, modified, or changed, the Zoning Code and Official Zoning Map shall remain the same and continue in full force and effect.

Section 5. The whereas clauses are hereby specifically incorporated herein by reference.

Section 6. This Ordinance shall take effect and be in force from and after its passage as provided by law.

PASSED AND APPROVED at a regular meeting of the City Council of the City of Republic, Missouri, this _____ day of _____ 2021.

Matt Russell, Mayor

Attest:

Laura Burbridge, City Clerk



Digitally signed by Scott Ison
Date: 2021.06.09 09:40:15
-05'00'

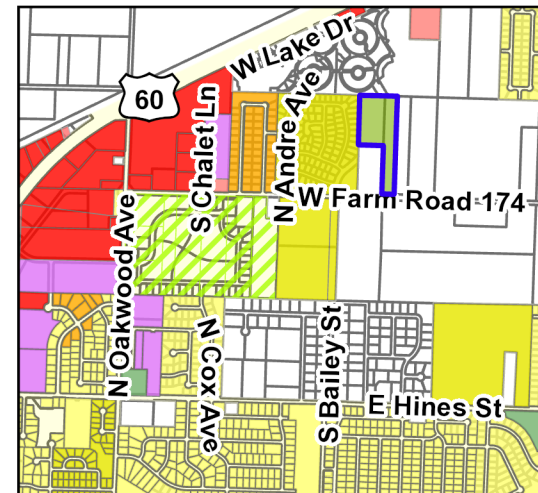
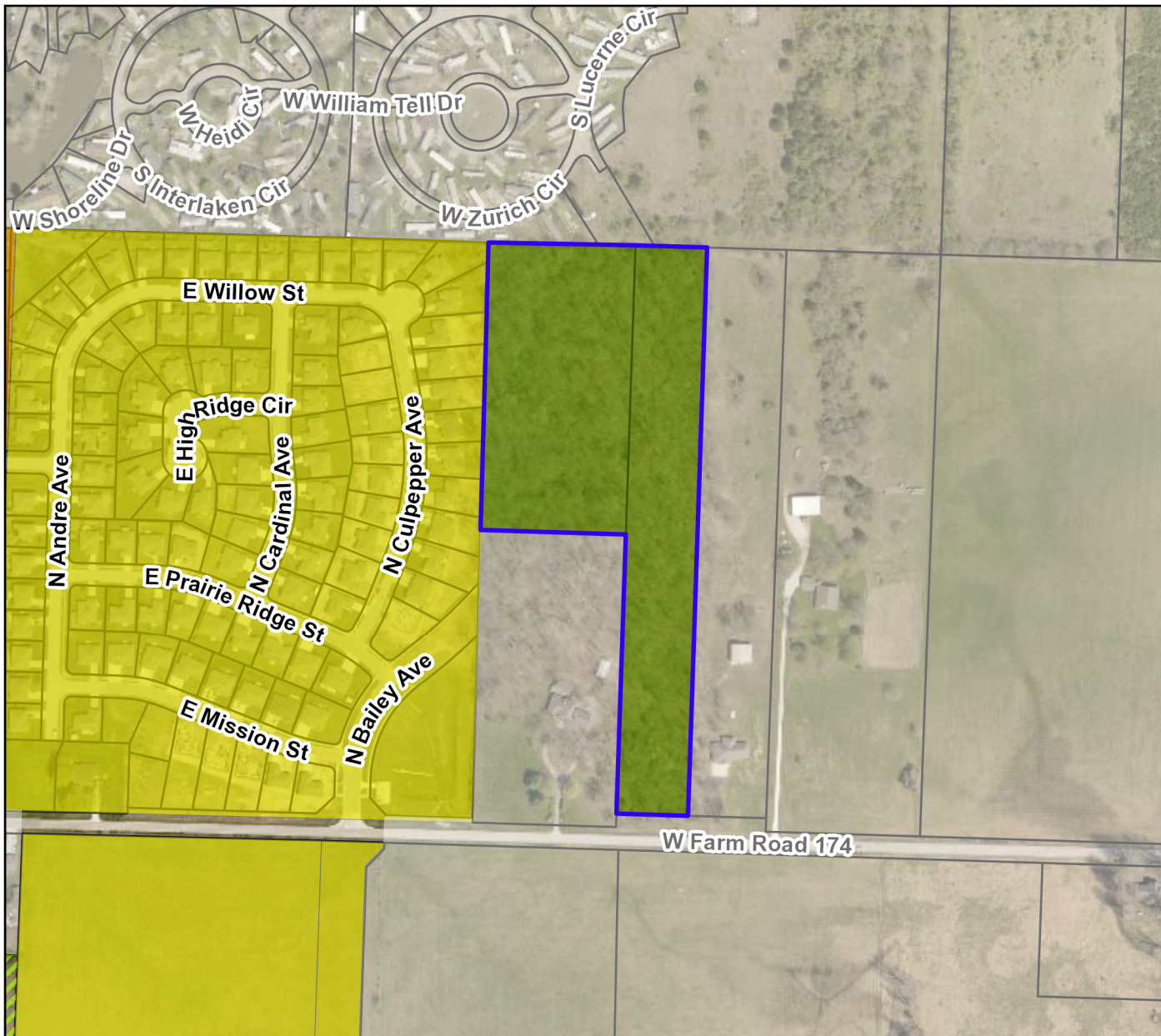
Approved as to Form: _____, Scott Ison, City Attorney

Final Passage and Vote: _____

PDD 21-003: The Woods

Item 3.

Zoning Map



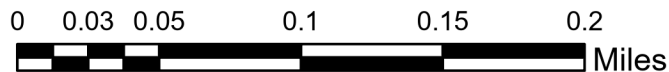
Legend

- The Woods
- Parcels

Zoning

- AG Agricultural
- C-1 Commercial
- C-2 General Commercial
- C-3 General Commercial
- M-1 Light Manufacturing
- M-2 Heavy Manufacturing
- PDD Planned Development
- R1-L Single Family Low Density
- R1-M Single Family Medium Density
- R1-H Single Family High Density
- R1-Z Zero Lot Line Residential
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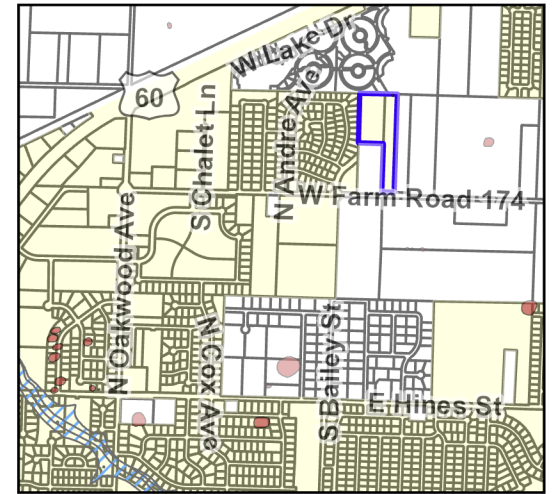
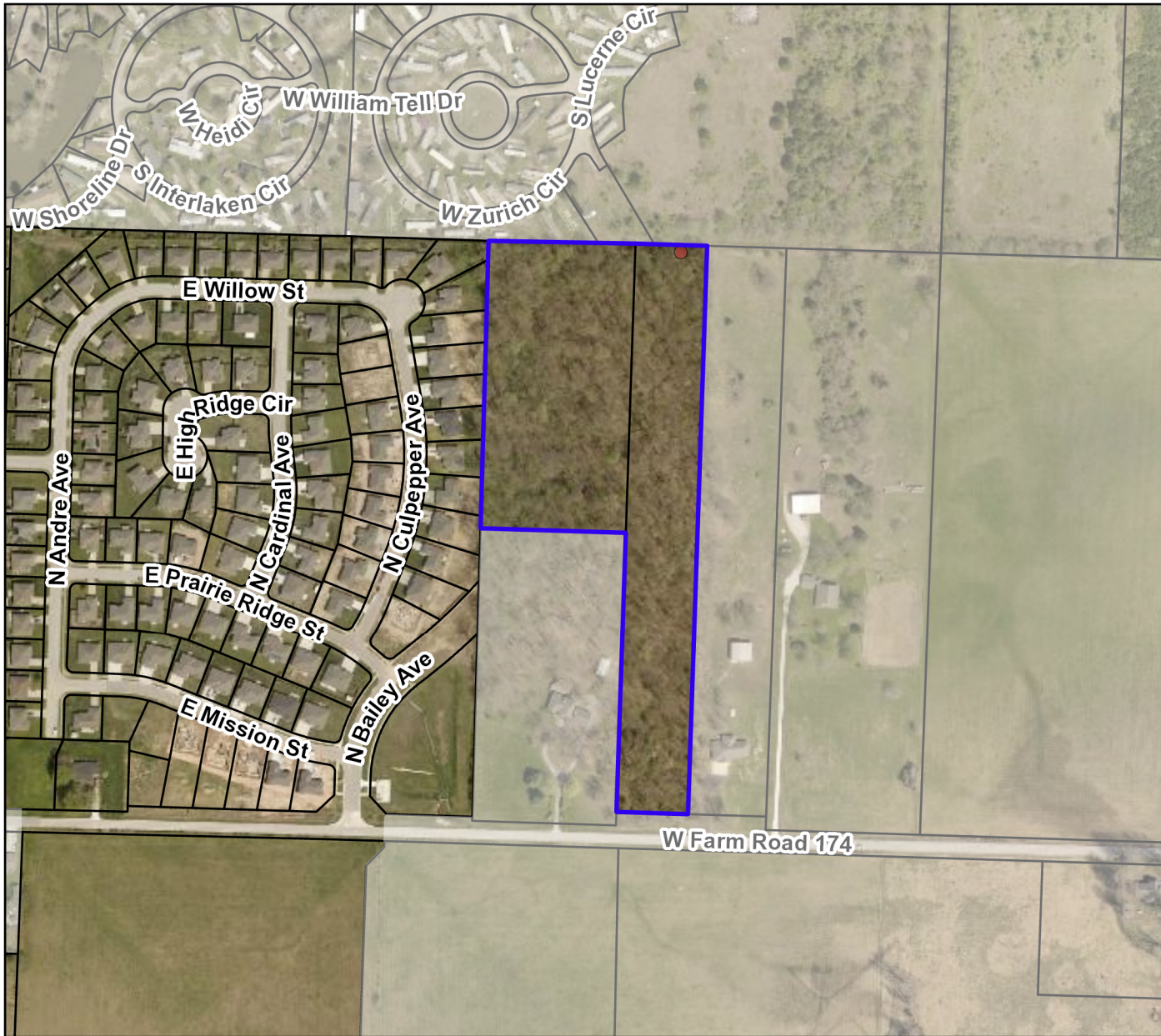
Parcel Owner: Dorothy J. Gardner Trust
 Parcel Identification Number(s): 881715200263 & 881715200316
 Area: 9.48 Acres
 Existing Zoning: Agricultural (AG)
 Requested Zoning: The Woods Planned Development District (PDD)



PDD 21-003: The Woods

Item 3.

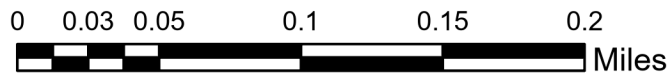
Vicinity Map



Legend

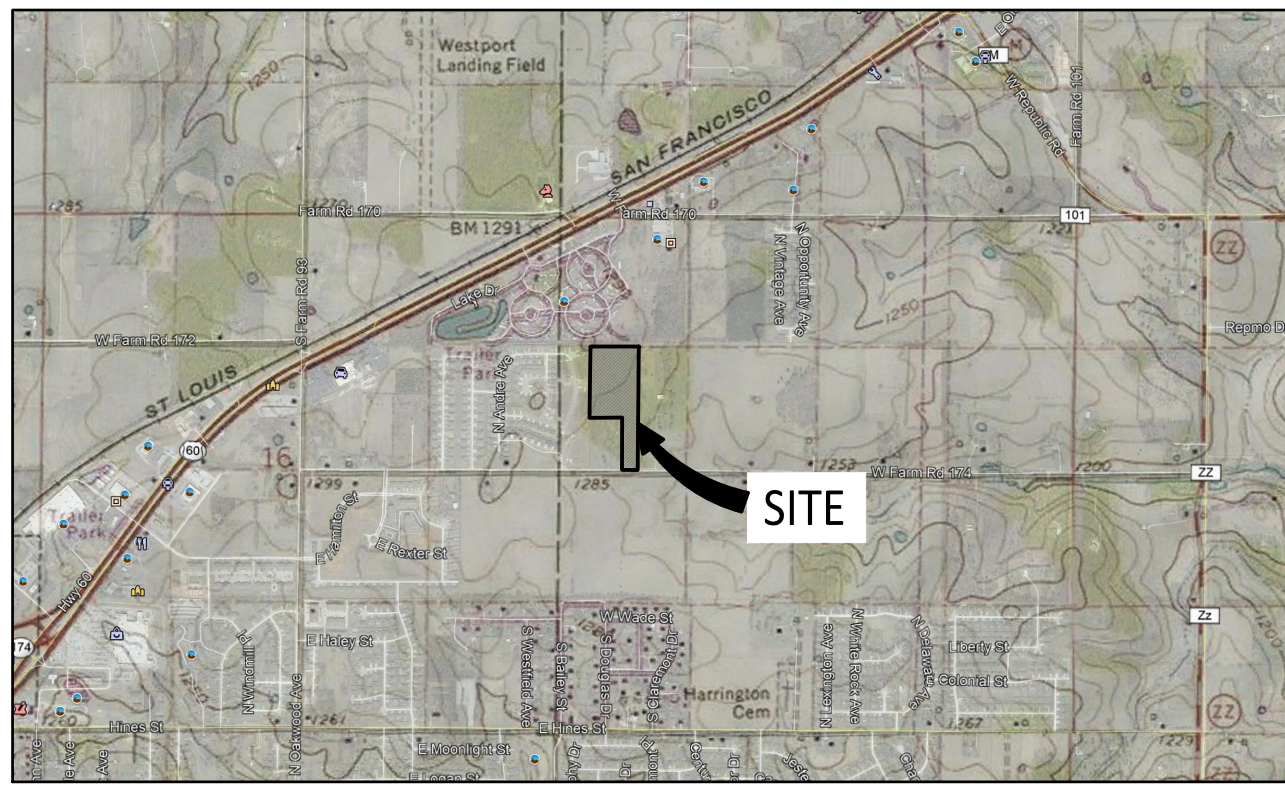
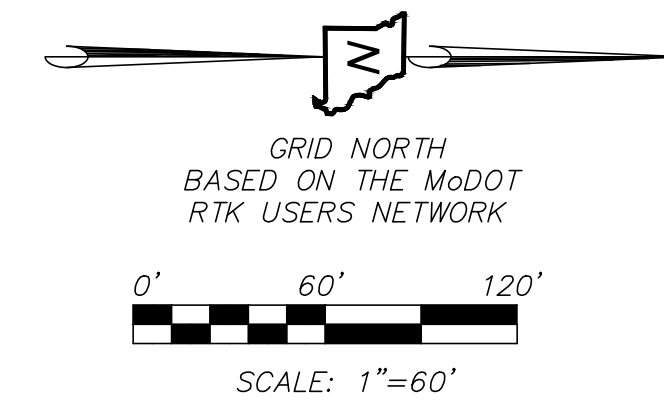
- The Woods
- Parcels
- Sinkhole
- Floodplain

Parcel Owner: Dorothy J. Gardner Trust
 Parcel Identification Number(s): 881715200263 & 881715200316
 Area: 9.48 Acres
 Existing Zoning: Agricultural (AG)
 Requested Zoning: The Woods Planned Development District (PDD)



THE WOODS DEVELOPMENT PLAN

A PART OF THE SEC. 15, T 28 N, R 23 W
CITY OF REPUBLIC, GREENE COUNTY, MISSOURI



VICINITY MAP
1"=2000'

LAND USE SUMMARY:

PROPOSED LOT USE: SINGLE FAMILY RESIDENTIAL
TOTAL SITE AREA: 422,644.1 S.F. (9.7 ACRES±)
LOT AREA: 262,773.7 S.F. (6.0 ACRES±) 62%
RIGHT OF WAY AREA: 135,630.1 S.F. (3.1 ACRES±) 32%
DETENTION AREA: 24,240.3 S.F. (0.6 ACRES±) 6%
PROPOSED HOMES: 31 RESIDENTIAL / 9.7 AC. = 3.2 PER ACRE

31 LOTS
TOTAL SITE AREA: 422,644.1 S.F. (9.7 ACRES±)
LOT AREA: 328,749.2 S.F. (7.6 ACRES±) 78%
RIGHT OF WAY AREA: 94,711.9 S.F. (2.2 ACRES±) 22%

FRONT SETBACK - 20'
REAR SETBACK - 25'
SIDE STREET SETBACK - 15'
SIDE SETBACK - 6'
BUILDINGS SHALL BE A MIN. OF 12' APART

DENSITY:

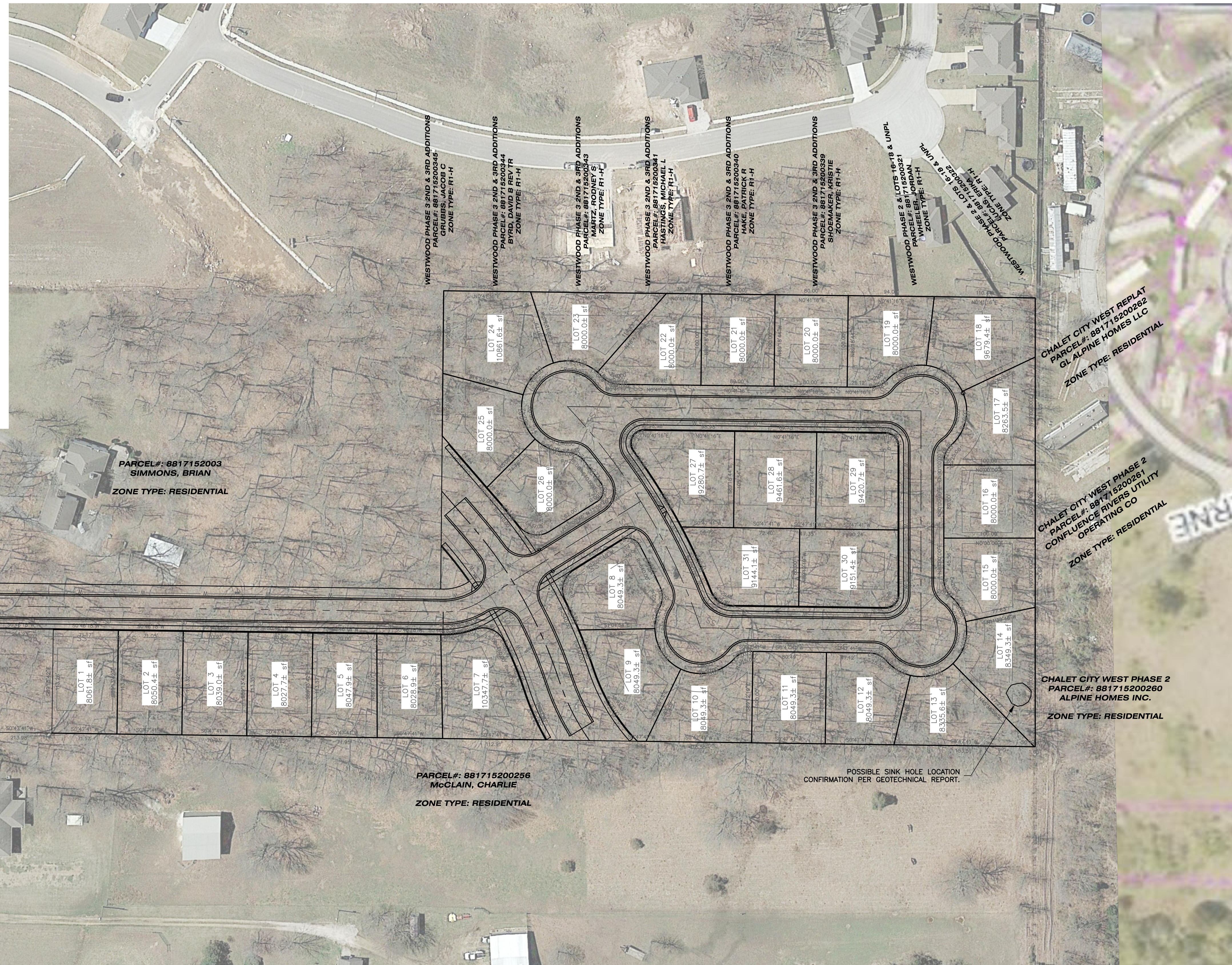
TOTAL 31 LOTS- TOTAL AREA: 9.7 AC.
TOTAL 31 LOTS- DENSITY: 3.2 RESIDENTIAL UNITS/ACRE

LARGEST LOT: LOT 24 0.25 AC.
SMALLEST LOT: LOT 15-16 0.18 AC.
LOT 19-23
LOT 25-26

DETENTION AREA: 0.56 AC.

LOT SIZES:

MIN. 8000 S.F.
MIN. 70.0' LOT WIDTH
MIN. 100.0' LOT DEPTH



PARCEL#: 881715301036
RADER TRUST
ZONE TYPE: RESIDENTIAL

PARCEL#: 881715301034
STUEVE TR
ZONE TYPE: RESIDENTIAL

CHALET CITY WEST REPLAT
PARCEL#: 881715200262
GL ALPINE HOMES LLC
ZONE TYPE: RESIDENTIAL

CHALET CITY WEST PHASE 2
PARCEL#: 881715200261
CONFLUENCE RIVERS UTILITY
OPERATING CO
ZONE TYPE: RESIDENTIAL

CHALET CITY WEST PHASE 2
PARCEL#: 881715200260
ALPINE HOMES INC.
ZONE TYPE: RESIDENTIAL

PARCEL#: 881715200256
McCLAIN, CHARLIE
ZONE TYPE: RESIDENTIAL

POSSIBLE SINK HOLE LOCATION
CONFIRMATION PER GEOTECHNICAL REPORT.

SEAL

DISCLAIMER OF RESPONSIBILITY
I hereby specify, that this document is authenticated by my seal. I hereby disclaim any responsibility for all other plans, specifications, estimates, reports, or other documents, or instruments relating to be used for any part or parts of the architectural or engineering project or survey.

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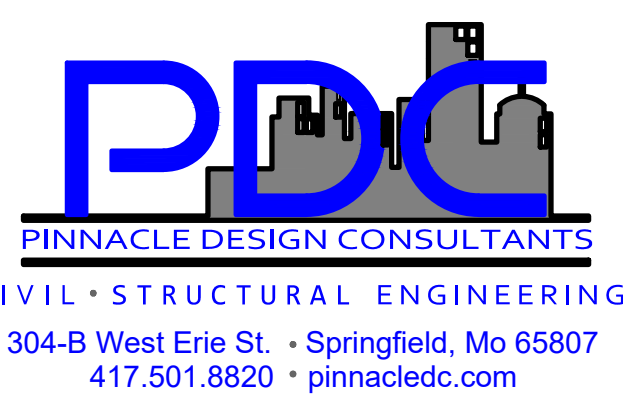
- REVISIONS**
- REVISION #1 _____
 - REVISION #2 _____
 - REVISION #3 _____



PLANNED DEVELOPMENT DISTRICT
LAND USE SITE PLAN
FOR
THE WOODS
REPUBLIC, MISSOURI

DATE: 04/29/2021
COMM. NO.:
SHEET: C1 OF 2

PINNACLE DESIGN CONSULTANTS



UTILITY CONTACTS

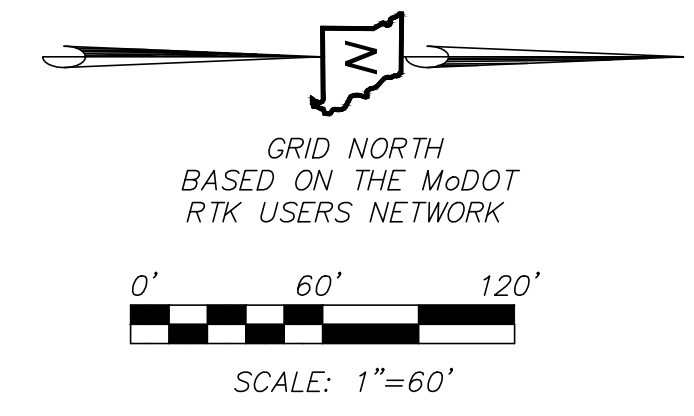
ELECTRIC:
LIBERTY UTILITIES
PHONE: 1-800-206-2300

WATER & SEWER:
CITY OF REPUBLIC
PHONE: 417-732-3400

GAS:
MISSOURI GAS ENERGY
PHONE: 1-800-446-7409

TELEPHONE:
SOUTHWESTERN BELL
PHONE: 417-344-7483

CABLE TV:
CABLE AMERICA CORP.
PHONE: 417-732-7242



SEAL



David D. Bodeen, PE
MO# E-2001004558

DISCLAIMER OF RESPONSIBILITY

I hereby specify, that this document is authenticated by my seal. I hereby disclaim any responsibility for all other plans, specifications, estimates, reports, or other documents, or instruments relating to be used for any part or parts of the architectural or engineering project or survey.

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REVISIONS

- REVISION #1 _____
- REVISION #2 _____
- REVISION #3 _____



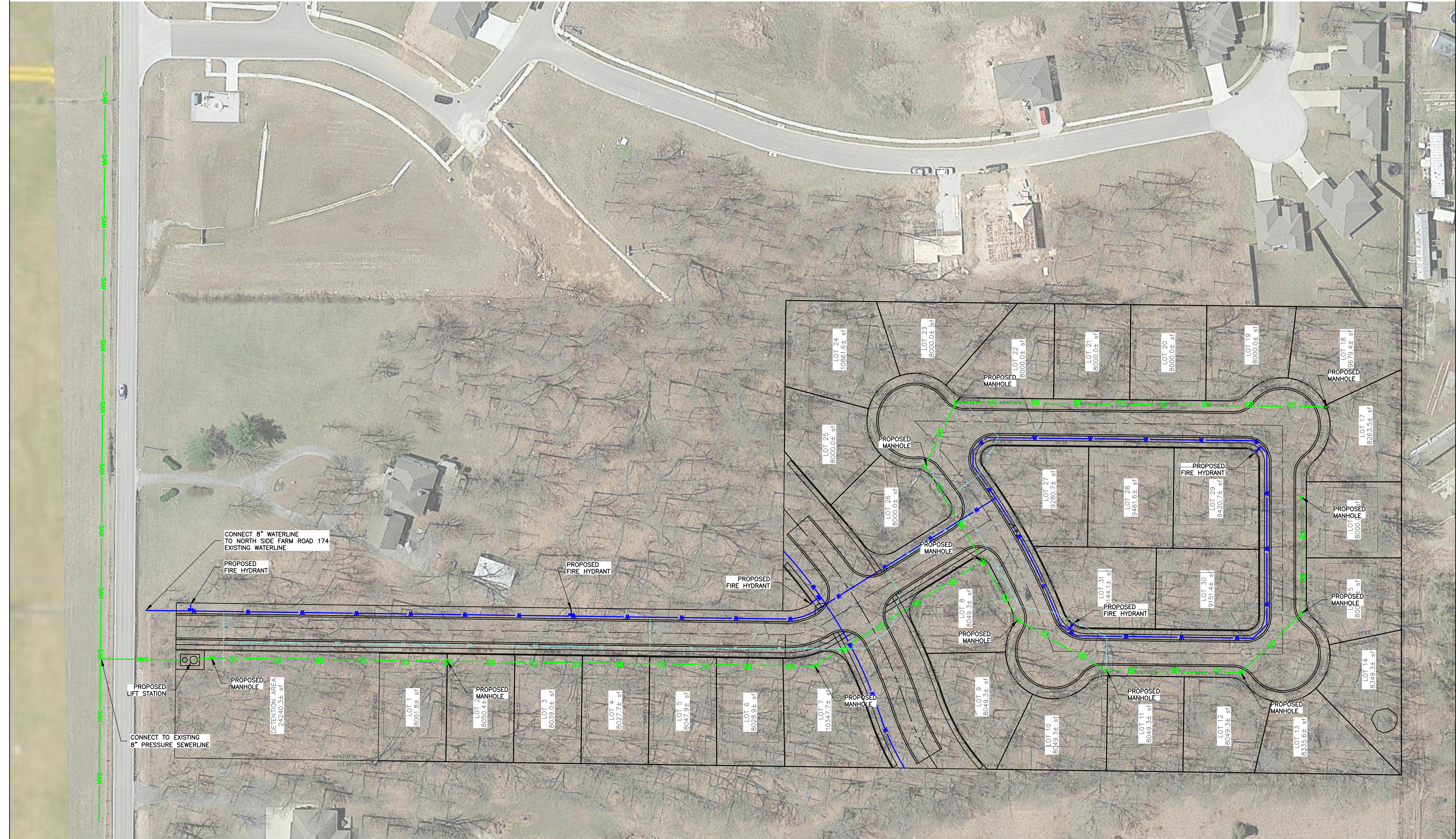
PLANNED DEVELOPMENT DISTRICT
LAND USE SITE PLAN
FOR
THE WOODS
REPUBLIC, MISSOURI

DATE 04/29/2021

COMM. NO. _____

SHEET

C2
OF
2



1 INFRASTRUCTURE PLAN
C2 1"=60'-0"

AGENDA ITEM ANALYSIS

Project/Issue Name: 21-45 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 5.91 Acres from Local Commercial (C-1) to General Commercial (C-3), Located in the 6500 Block of West Republic Road.

Submitted By: Karen Haynes, Planning Manager, BUILDS Department

Date: June 22, 2021

Issue Statement

The City of Republic has applied to change the Zoning Classification of approximately **(5.91) acres** of property located in the 6500 Block of West Republic Road from Local Commercial (C-1) to **General Commercial (C-3)**.

Discussion and/or Analysis

The property subject to this Rezoning Application is comprised of approximately **(5.91) acres** of land located in the 6500 Block of West Republic Road from Local Commercial (C-1) to General Commercial (C-3). The City intends to build a new Public Works Facility for the BUILDS Department in the future; the facility will house the City's Construction Crews, Public Works trucks and equipment, and staff.

The City owns a smaller (2.50) acre parcel directly adjacent, which is also under consideration for Rezoning; the parcels will be combined, at a later date, to facilitate development of the Public Works Facility.

The following paragraphs contain brief analyses of present site conditions as well as the proposal's relationship to **adopted plans of the City**.

Consistency with the City's Adopted Plans

The City's Comprehensive Plan generally encourages the expansion of commercial development through proactive Rezoning of land at appropriate locations. Appropriate locations are described generally throughout the Plan, with regard to the **relationship of land at particular locations to infrastructure capable of supporting various intensities and densities of uses**.

The 2021 Comprehensive Plan and Land Use Plan identifies Land Use Goals and Objectives relating to commercial development, including the following:

- **Goal:** Coordination with Infrastructure
 - **Objective:** Support new development that is well connected to the existing community
 - The City's development of the parcel aligns with planned future improvements along the corridor

- **Objective:** Promote development aligning with current adopted plans of the City; the intensity of uses should match the capacity of infrastructure to serve the use
 - The City's development of the parcel will facilitate future development along the corridor due to planned expansions of the City's municipal water system

The general trend of development in the vicinity of the subject property has been the development of Republic High School and Backwoods Golf during the last several years.

Compatibility with Surrounding Land Uses

The subject property is surrounded by Greene County Agricultural-zoned properties to the north, south, and west and Agricultural (AG) property to the east (Republic High School)

The land uses permitted in the General Commercial (C-3) Zoning District relative to the intended use include heavy and civil engineering construction services.

Capacity To Serve Potential Development and Land Use

Municipal Water and Sewer Service: The parcel is in proximity to a 12" water main on the north side of Republic Road. The City will extend the water main to serve the property and to facilitate growth along State Highway ZZ.

The parcel will be served by an existing gravity sanitary sewer main on the property to the south of the subject parcel. The sanitary sewer will flow to the McElhane Lift Station, and to the Shuyler Creek Lift Station, and finally to the Wastewater Treatment Facility. The City's water system, Lift Stations, and Wastewater Treatment Facility currently have capacity to serve the intended use.

Transportation: A Traffic Impact Study (TIS) was not required as the City has been working with MODOT and the Ozarks Transportation Organization (OTO) for planned improvements along this corridor. The City will be removing the existing access drive along West Republic Road and will be moving the existing access drive along State Highway ZZ to the southern property line.

Floodplain: The subject parcel **does not** contain a Special Flood Hazard Area (SFHA/Floodplain).

Sinkholes: The subject parcel **does** contain one identified sinkhole. The Republic City Code requires a thirty (30) foot setback for development; a Sinkhole Analysis was performed by a Third-Party Engineer as a part of this project.

Recommended Action

Staff considers the **proposed Zoning Map Amendment (Rezoning)** to be generally consistent with the **goals and objectives of the Comprehensive Plan**, consistent with the **trend of development in the vicinity of the site, compatible with surrounding land uses, and able to be adequately served by municipal facilities**. Based upon this analysis (performed without the benefit of evidence and testimony of a public hearing), **Staff recommends the approval of this application.**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, APPROVING AMENDING THE ZONING CODE AND OFFICIAL MAP BY CHANGING THE CLASSIFICATION OF APPROXIMATELY 5.91 ACRES FROM LOCAL COMMERCIAL (C-1) TO GENERAL COMMERCIAL (C-3), LOCATED IN THE 6500 BLOCK OF WEST REPUBLIC ROAD

WHEREAS, the City of Republic, Missouri, (“City” or “Republic”) is a municipal corporation and Charter City located in Greene County, Missouri, being duly created, organized, and existing under the laws of the State of Missouri; and

WHEREAS, an application for an amendment to the Zoning Code and Official Zoning Map to rezone real estate located in the 6500 Block of West Republic Road, and comprising approximately 5.91 acres from Local Commercial (C-1) to General Commercial (C-3), was submitted to the City’s BUILDS Department by the City of Republic (“Applicant”); and

WHEREAS, the City did thereafter submit said application to the Planning and Zoning Commission, which did set June 7, 2021, as the date a public hearing would be held on such application and proposed amendment; and

WHEREAS, a notice of the time and date of the public hearing was given by publication on May 19, 2021, in *The Greene County Commonwealth*, a newspaper of general circulation in the City, such notice being at least 15 days before the date set for the public hearing; and

WHEREAS, the City gave notice of such public hearing to the record owners of all properties within the area proposed to be rezoned and within 185 feet of the property proposed to be rezoned; and

WHEREAS, a public hearing was conducted by the Planning and Zoning Commission on June 7, 2021, after which the Commission rendered written findings of fact on the proposed amendment and rezoning and, thereafter, submitted the same, together with its recommendations, to the City Council; and

WHEREAS, the Planning and Zoning Commission, by a vote of 6 Ayes to 0 Nays, recommended the approval of such application for rezoning; and

WHEREAS, the application for rezoning and to amend the Zoning Code and Official Zoning Map was submitted to the City Council at its regular meeting on June 15, 2021, after which the City Council did proceed to vote to rezone such property and amend the Zoning Code accordingly.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AS FOLLOWS:

- Section 1. The Zoning Code and Official Zoning Map are hereby amended insofar as the same relates to a certain tract of realty in the 6500 Block of West Republic Road, and comprising approximately 5.91 acres from Local Commercial (C-1) to General Commercial (C-3), such tract being more fully described as follows:

County, Missouri, being a part of the tract of land described in the Warranty Deed by Limited Liability Company duly recorded in the Greene County Recorder’s Office in Deed Book 2008, Page 021834-08, and being more particularly described as follows: COMMENCING at the Northeast corner of the Northwest Quarter of the Northwest Quarter of Section 14, Township 28 North, Range 23 West, Greene County, Missouri; thence North 88 Degrees 57 Minutes 48 Seconds West along the North line of said Quarter Quarter, a distance of 368.88 feet to a point in the same; thence departing said North line South 00 Degrees 54 Minutes 59 Seconds West, a distance of 34.34 feet to a point in the South Right-of-Way line of State Highway M, as now established, said point being the POINT OF BEGINNING; Thence South 78 Degrees 05 Minutes 38 Seconds East along said South Right-of-Way line, a distance of 50.99 feet to a point in the same; thence departing said South Right-of-Way line North 89 Degrees 24 Minutes 13 Seconds West, a distance of 154.80 feet to a point; thence South 01 Degrees 49 Minutes 23 Seconds West, a distance of 257.26 feet to a point; thence South 88 Degrees 56 Minutes 31 Seconds East, a distance of 440.04 feet to a point in the West Right-of-Way line of State Highway ZZ, as now established; thence South 01 Degrees 49 Minutes 23 Seconds West along said West Right-of-Way line, a distance of 327.86 feet to the Northeast corner of the tract of land described in the General Warranty Deed duly recorded in the Greene County Recorder’s Office in Deed Book 2018, Page 647; thence departing said West Right-of-Way line North 88 Degrees 31 Minutes 10 Seconds West along the North line of said tract of land, and beyond, along the North line of the tract of land described in the Warranty Deed duly recorded in the Greene County Recorder’s Office in Deed Book 2064, Page 481, a distance of 630.69 feet to the Northwest corner thereof, said point being in the East line of the tract of land described in the General Warranty Deed duly recorded in the Greene County Recorder’s Office in Deed Book 2105, Page 1745, said point marked by a found iron bar; thence North 01 Degrees 53 Minutes 00 Seconds East along the East line of said tract of land, a distance of 596.06 feet to a point in said South Right-of-Way line of State Highway ZZ; thence along said South Right-of-Way line, along a non-tangent curve to the left having a radius of 1000.40 feet, a Length of 119.39 feet, an Internal Angle of 06 Degrees 50 Minutes 15 Seconds, a Chord Bearing of South 85 Degrees 59 Minutes 06 Seconds East, a Chord Length of 119.32 feet to a point of tangency in the same being marked by a found MoDOT aluminum monument; thence South 89 Degrees 24 Minutes 13 Seconds East, a distance of 175.42 feet to the POINT OF BEGINNING and containing 257,516 square feet or 5.912 acres of land, more or less, EXCEPT any part thereof taken, deeded or used for road or highway purposes.

- Section 2. In all other aspects other than those herein amended, modified, or changed, the Zoning Code and Official Zoning Map shall remain the same and continue in full force and effect.
- Section 3. The whereas clauses are hereby specifically incorporated herein by reference.
- Section 4. This Ordinance shall take effect and be in force from and after its passage as provided by law.

BILL NO. 21-45

ORDINANCE NO.

PASSED AND APPROVED at a regular meeting of the City Council of the City of Republic, Missouri, this _____ day of _____ 2021.

Matt Russell, Mayor

Attest:

Laura Burbridge, City Clerk

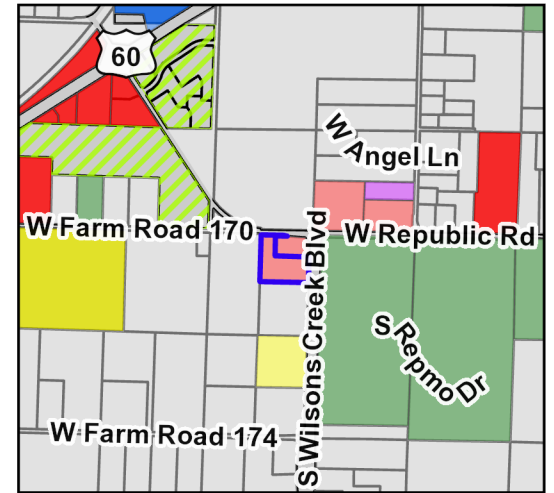
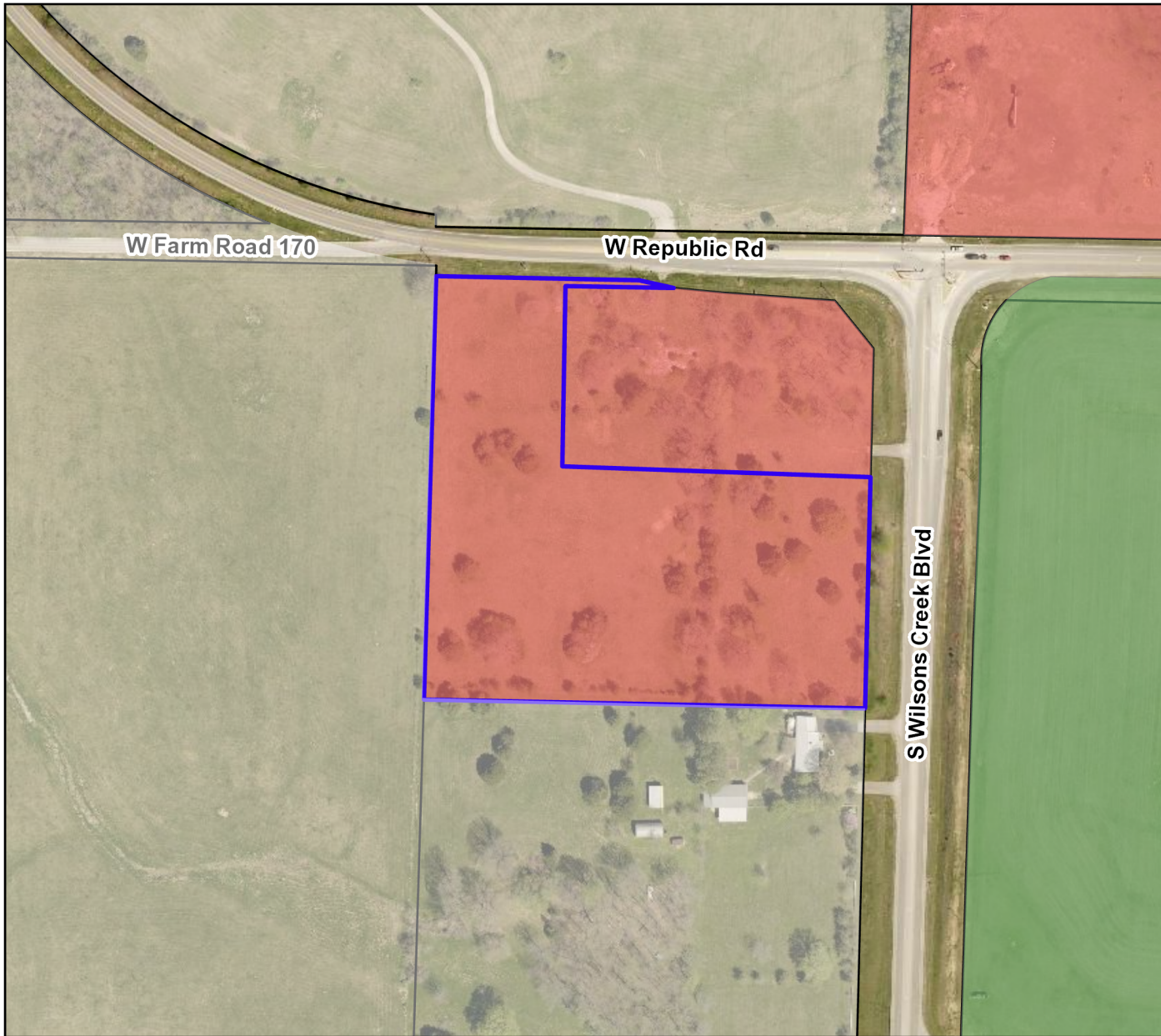
Approved as to Form:  Digitally signed by Scott Ison
Date: 2021.06.09 09:49:57 -05'00', Scott Ison, City Attorney

Final Passage and Vote: _____

REZN 21-005: BUILDS

Zoning Map

Item 4.



Legend

REZN 21-005

Parcels

Zoning

AG Agricultural

C-1 Commercial

C-2 General Commercial

C-3 General Commercial

M-1 Light Manufacturing

M-2 Heavy Manufacturing

PDD Planned Development

R1-L Single Family Low Density

R1-M Single Family Medium Density

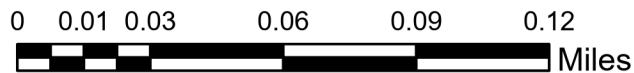
R1-H Single Family High Density

R1-Z Zero Lot Line Residential

R-2 Two-family Residential

R-3 Multi-family Residential

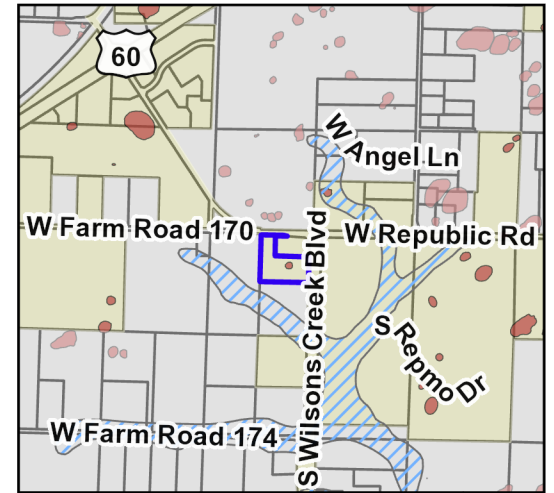
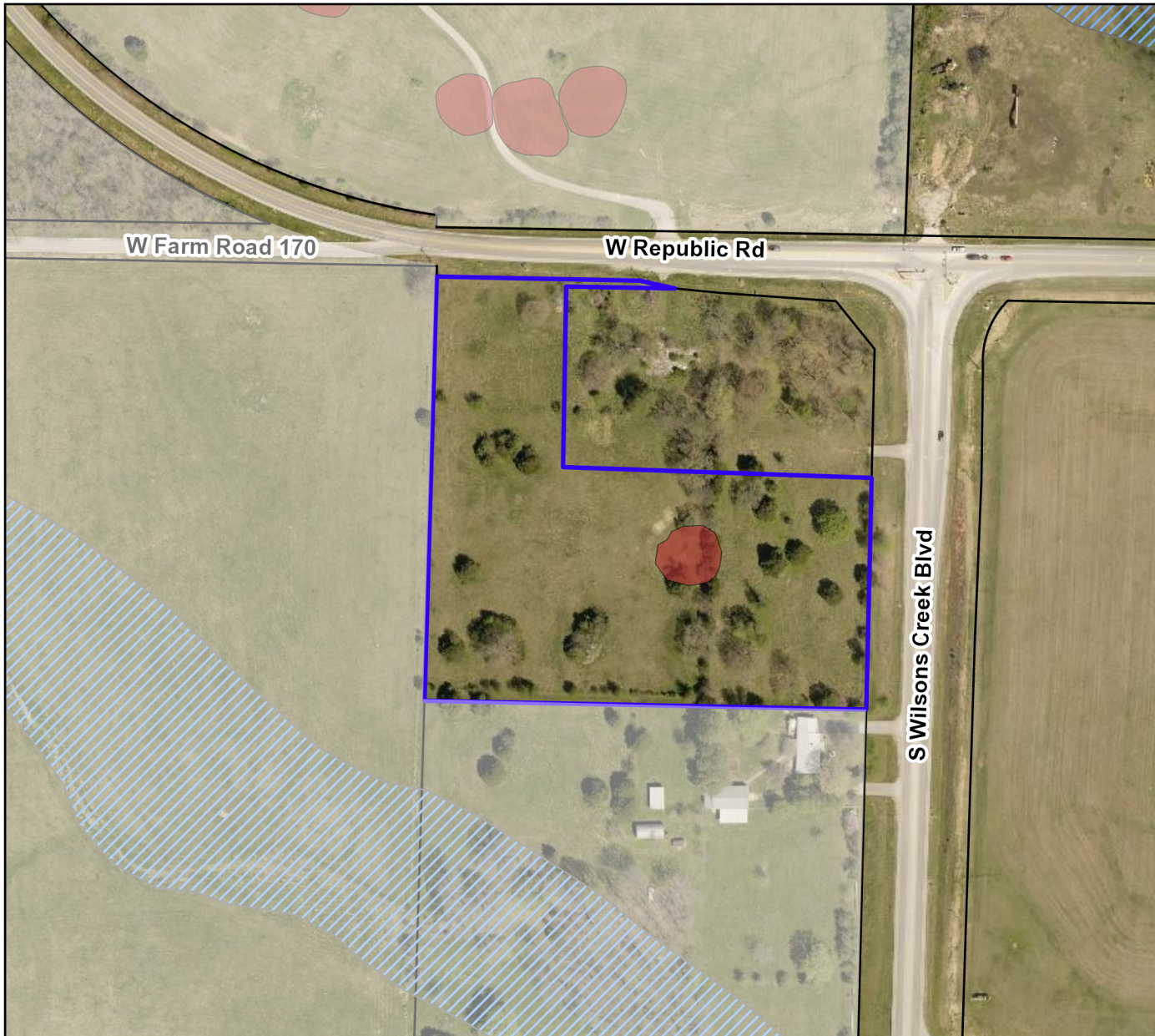
Parcel Owner: City of Republic
 Parcel Address: 6500 Block of West Republic Road
 Area: 5.91 Acres
 Existing Zoning: Local Commercial (C-1)
 Requested Zoning: General Commercial (C-3)







REZN 21-005: BUILDS

Item 4.

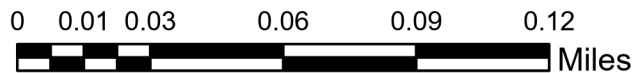
Vicinity Map



Legend

-  REZN 21-005
-  Parcels
-  Sinkhole
-  Floodplain

Parcel Owner: City of Republic
Parcel Address: 6500 Block of West Republic Road
Area: 5.91 Acres
Existing Zoning: Local Commercial (C-1)
Requested Zoning: General Commercial (C-3)



AGENDA ITEM ANALYSIS

Project/Issue Name: 21-46 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 36.95 Acres from Agricultural (AG) to Heavy Manufacturing (M-2), Located in the 6800 Block of West Farm Road 144.

Submitted By: Chris Tabor, Principal Planner, BUILDS Department

Date: June 22, 2021

Issue Statement

Asset Holding Group, LLC has applied to change the Zoning Classification of approximately **36.95 acres** of property situated at the southwest corner of State Highway MM and West Farm Road 144 from Agricultural (AG) to **Heavy Manufacturing (M-2)**.

Discussion and/or Analysis

The property subject to this Rezoning Application is currently vacant. The Applicant has expressed their intent to develop on the property.

The following paragraphs contain brief analyses of present site conditions as well as the proposal's relationship to **adopted plans of the City**.

Consistency with the Comprehensive Plan

The City's Comprehensive Plan generally encourages the expansion of commercial development through proactive Rezoning of land at appropriate locations. Appropriate locations are described generally throughout the Plan, with regard to the **relationship of land at particular locations to infrastructure capable of supporting various intensities and densities of uses**.

- **Section:** Coordinate with Infrastructure
 - **Goal 1:** Support new development that is well-connected to the existing community.
 - **Objective 1B:** Promote development aligning with current adopted plans of the City. The intensity of uses should match the capacity of infrastructure to serve.
 - **Goal 3:** Encourage the redevelopment and integration of the former Brookline area.
 - **Objective 3B:** Support the development of an industrial/commercial center where infrastructure and transportation exist.

The rezone of this parcel is in line with City and regional planned improvements along the State Highway MM corridor. City water and sanitary sewer will be required for development of the parcel, which will



increase opportunities for access by adjacent parcels. Certain traffic improvements will be required in accordance with the Traffic Impact Study results.

The general trend in the vicinity of the subject property, along State Highway MM, is new and redevelopment of industrial and commercial projects of high to middling intensity.

Compatibility with Surrounding Land Uses

The subject property is surrounded by Agricultural (AG) to the north, Medium Density Single Family Residential (R1-M) and Agricultural (AG) to the east, Medium Density Single Family Residential (R1-M), General Commercial (C-2), and Heavy Manufacturing (M-2) to the south, and Greene County-zoned Agriculture (A-1) to the west.

The land uses permitted in the Local Commercial (M-2) Zoning District include industrial and manufacturing uses of high intensity.

Capacity to Serve Potential Development and Land Use

The Applicants of REZN 21-006 and REZN 21-007 plan to work together to provide utilities and transportation infrastructure to serve the collective development. The following passages describe the improvements as intended to serve both projects.

Municipal Water and Sewer Service:

The parcel is in proximity to a 12” water main serving Murphy Tractor on the south side of Farm Road 144. Development of the property will require the looping of water from its current location to serve the subject parcel.

Due to topography, the property is unable to gravity to an existing lift station. Instead, a new lift station will be constructed to serve the development. Sanitary sewer will then flow from the new lift station to the Brookline North Lift Station, Brookline South Lift Station, McElhane Lift Station, and Shuyler Creek Lift Station; it is will then be pumped from Shuyler Creek to the Wastewater Treatment Facility. The water system, named Lift Stations, and Wastewater Treatment Facility currently have capacity to serve the Applicant’s intended use.

Transportation:

The development will include a public street with access on Farm Road 144 and State Highway MM. A Traffic Impact Study (TIS) was required for the Rezoning Application. The Study Area of the TIS encompassed this and a connected rezone to the north (REZN 21-007) in its evaluation since both parcels will utilize the same access points created by the new road – one at Farm Road 144 and one on State Highway MM.

The following recommendations resulted from the TIS:

- Intersection of State Highway MM and new public road;



- Designated northbound left and southbound right turn lane at State Highway MM and the new road.
- Eastbound left and right turning movements are separated out into individual lanes.
- Intersection of State Highway MM and Farm Road 144;
 - Designated northbound left turn lane.

Floodplain: The subject parcel **does not** contain a Special Flood Hazard Area (SFHA/Floodplain).

Sinkholes: The subject property does not contain any identified sinkholes.

Recommended Action

Staff considers the **proposed Zoning Map Amendment (Rezoning)** to be generally consistent with the **goals and objectives of the Comprehensive Plan**, consistent with the **trend of development in the vicinity of the site, compatible with surrounding land uses, and able to be adequately served by municipal facilities**. Based upon this analysis (performed without the benefit of evidence and testimony of a public hearing), **Staff recommends the approval of this application.**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, APPROVING AMENDING THE ZONING CODE AND OFFICIAL MAP BY CHANGING THE CLASSIFICATION OF APPROXIMATELY 36.95 ACRES FROM AGRICULTURAL (AG) TO HEAVY MANUFACTURING (M-2), LOCATED IN THE 6800 BLOCK OF WEST FARM ROAD 144

WHEREAS, the City of Republic, Missouri, (“City” or “Republic”) is a municipal corporation and Charter City located in Greene County, Missouri, being duly created, organized, and existing under the laws of the State of Missouri; and

WHEREAS, an application for an amendment to the Zoning Code and Official Zoning Map to rezone real estate located in the 6800 Block of West Farm Road 144, and comprising approximately 36.95 acres from Agricultural (AG) to Heavy Manufacturing (M-2), was submitted to the City’s BUILDS Department by Asset Holding Group, LLC (“Applicant”); and

WHEREAS, the City did thereafter submit said application to the Planning and Zoning Commission, which did set June 7, 2021, as the date a public hearing would be held on such application and proposed amendment; and

WHEREAS, a notice of the time and date of the public hearing was given by publication on May 19, 2021, in *The Greene County Commonwealth*, a newspaper of general circulation in the City, such notice being at least 15 days before the date set for the public hearing; and

WHEREAS, the City gave notice of such public hearing to the record owners of all properties within the area proposed to be rezoned and within 185 feet of the property proposed to be rezoned; and

WHEREAS, a public hearing was conducted by the Planning and Zoning Commission on June 7, 2021, after which the Commission rendered written findings of fact on the proposed amendment and rezoning and, thereafter, submitted the same, together with its recommendations, to the City Council; and

WHEREAS, the Planning and Zoning Commission, by a vote of 2 Ayes to 4 Nays, recommended the denial of such application for rezoning; and

WHEREAS, the application for rezoning and to amend the Zoning Code and Official Zoning Map was submitted to the City Council at its regular meeting on June 15, 2021, after which the City Council did proceed to vote to rezone such property and amend the Zoning Code accordingly.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AS FOLLOWS:

- Section 1. The Zoning Code and Official Zoning Map are hereby amended insofar as the same relates to a certain tract of realty located in the 6800 Block of West Farm Road 144, and comprising approximately 36.95 acres from Agricultural (AG) to Heavy Manufacturing (M-2), such tract being more fully described as follows:

ALL OF THE EAST ONE-HALF OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 29, RANGE 23, ALL IN GREENE COUNTY, MISSOURI, EXCEPT THEREFROM THE FOLLOWING DESCRIBED TRACTS: A. BEGINNING 167 FEET SOUTH AND 30 FEET WEST OF THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 29, RANGE 23; THENCE WEST 200 FEET; THENCE SOUTH 100 FEET; THENCE EAST 200 FEET; THENCE NORTH 100 FEET TO BEGINNING, GREENE COUNTY, MISSOURI B. BEGINNING 267 FEET SOUTH AND 30 FEET WEST OF THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 29, RANGE 23; THENCE WEST 200 FEET; THENCE SOUTH 150 FEET; THENCE EAST 200 FEET; THENCE NORTH 150 FEET TO BEGINNING, GREENE COUNTY, MISSOURI C. BEGINNING 417 FEET SOUTH AND 30 FEET WEST OF THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 29, RANGE 23; THENCE WEST 200 FEET; THENCE SOUTH 100 FEET; THENCE EAST 200 FEET; THENCE NORTH 100 FEET TO BEGINNING, GREENE COUNTY, MISSOURI D. BEGINNING 530 FEET WEST AND 20 FEET NORTH OF THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER SECTION 27, TOWNSHIP 29, RANGE 23; THENCE NORTH 200 FEET; THENCE WEST 150 FEET; THENCE SOUTH 200 FEET; THENCE EAST 150 FEET TO BEGINNING, GREENE COUNTY, MISSOURI E. BEGINNING 230 FEET WEST AND 20 FEET NORTH OF THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER SECTION 27, TOWNSHIP 29, RANGE 23; THENCE NORTH 200 FEET; THENCE WEST 150 FEET; THENCE SOUTH 200 FEET; THENCE EAST 150 FEET TO BEGINNING, GREENE COUNTY, MISSOURI F. THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 29, RANGE 23 G. BEGINNING 167 FEET SOUTH AND 30 FEET WEST OF THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 29, RANGE 23; THENCE WEST 200 FEET, THENCE NORTH 15 FEET; THENCE EAST 200 FEET; THENCE SOUTH 15 FEET TO BEGINNING, GREENE COUNTY, MISSOURI H. BEGINNING 30 FEET WEST OF THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 29, RANGE 23; THENCE WEST 200 FEET; THENCE SOUTH 152 FEET; THENCE EAST 200 FEET; THENCE NORTH 152 FEET TO BEGINNING, GREENE COUNTY, MISSOURI SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, AND COVENANTS OF RECORD, IF ANY.

Section 2. In all other aspects other than those herein amended, modified, or changed, the Zoning Code and Official Zoning Map shall remain the same and continue in full force and effect.

Section 3. The whereas clauses are hereby specifically incorporated herein by reference.

BILL NO. 21-46

ORDINANCE NO.

Section 4. This Ordinance shall take effect and be in force from and after its passage as provided by law.

PASSED AND APPROVED at a regular meeting of the City Council of the City of Republic, Missouri, this _____ day of _____ 2021.

Matt Russell, Mayor

Attest:

Laura Burbridge, City Clerk

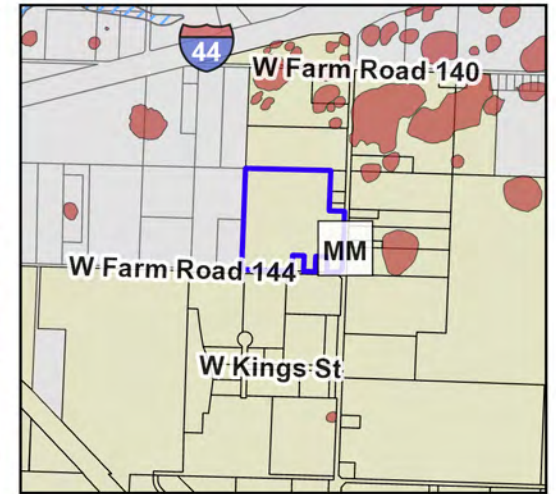
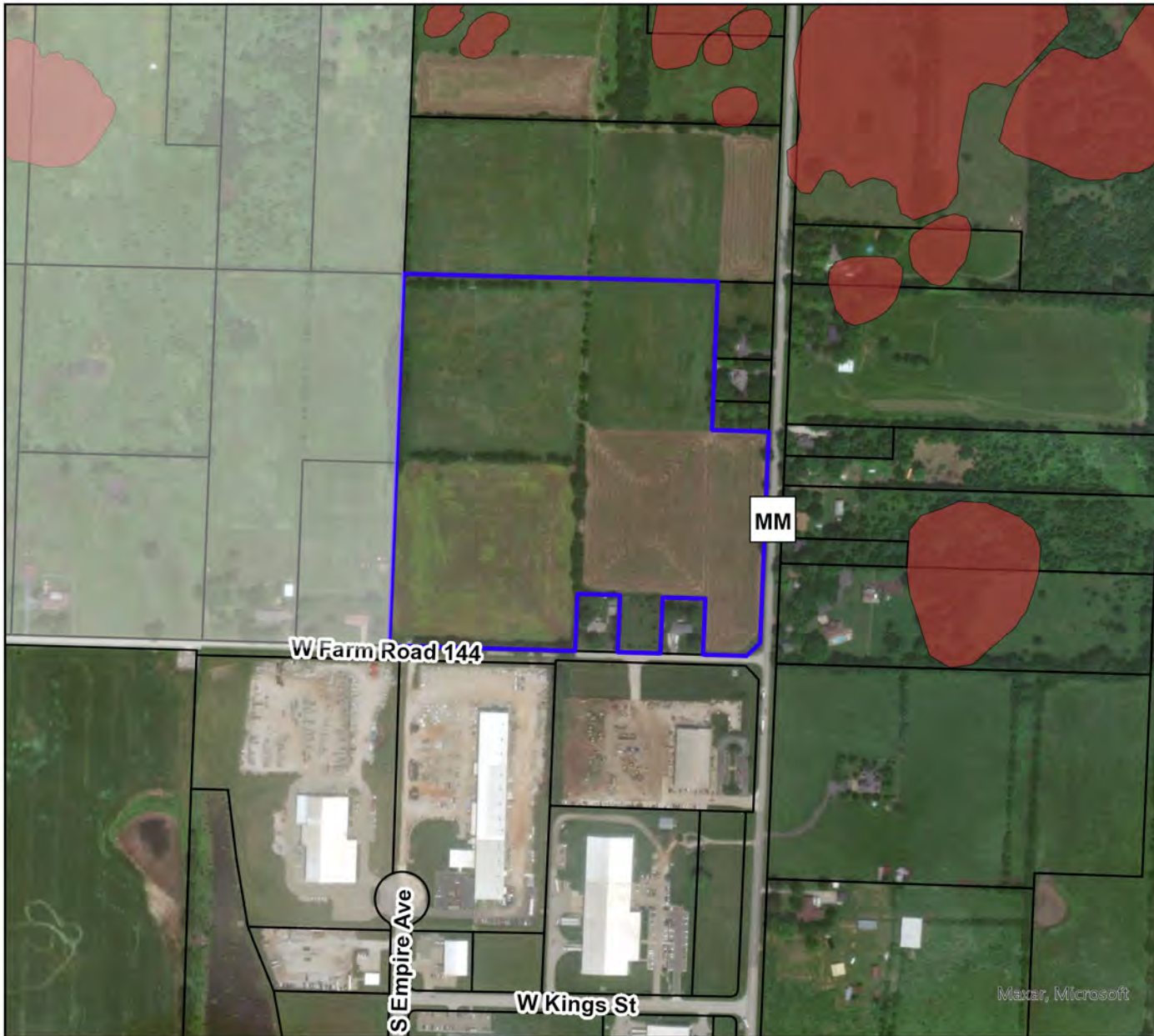
Approved as to Form:  Digitally signed by Scott Ison
Date: 2021.06.09 10:15:20
-05'00' _____, Scott Ison, City Attorney

Final Passage and Vote: _____

REZN 21-006: Seitz

Item 5.

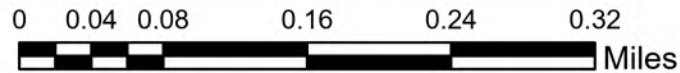
Vicinity Map



Legend

-  REZN 21-006
-  Parcels
-  Sinkhole
-  Floodplain

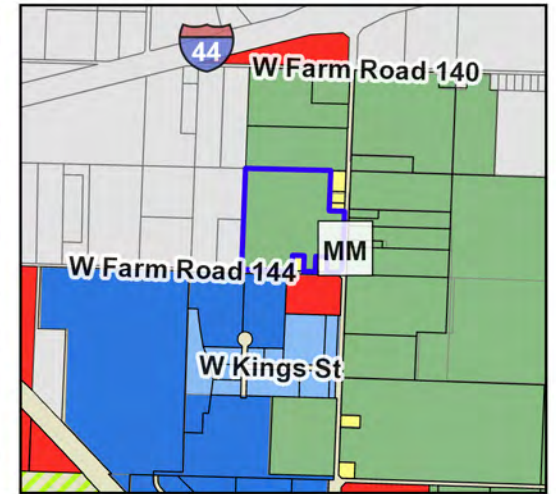
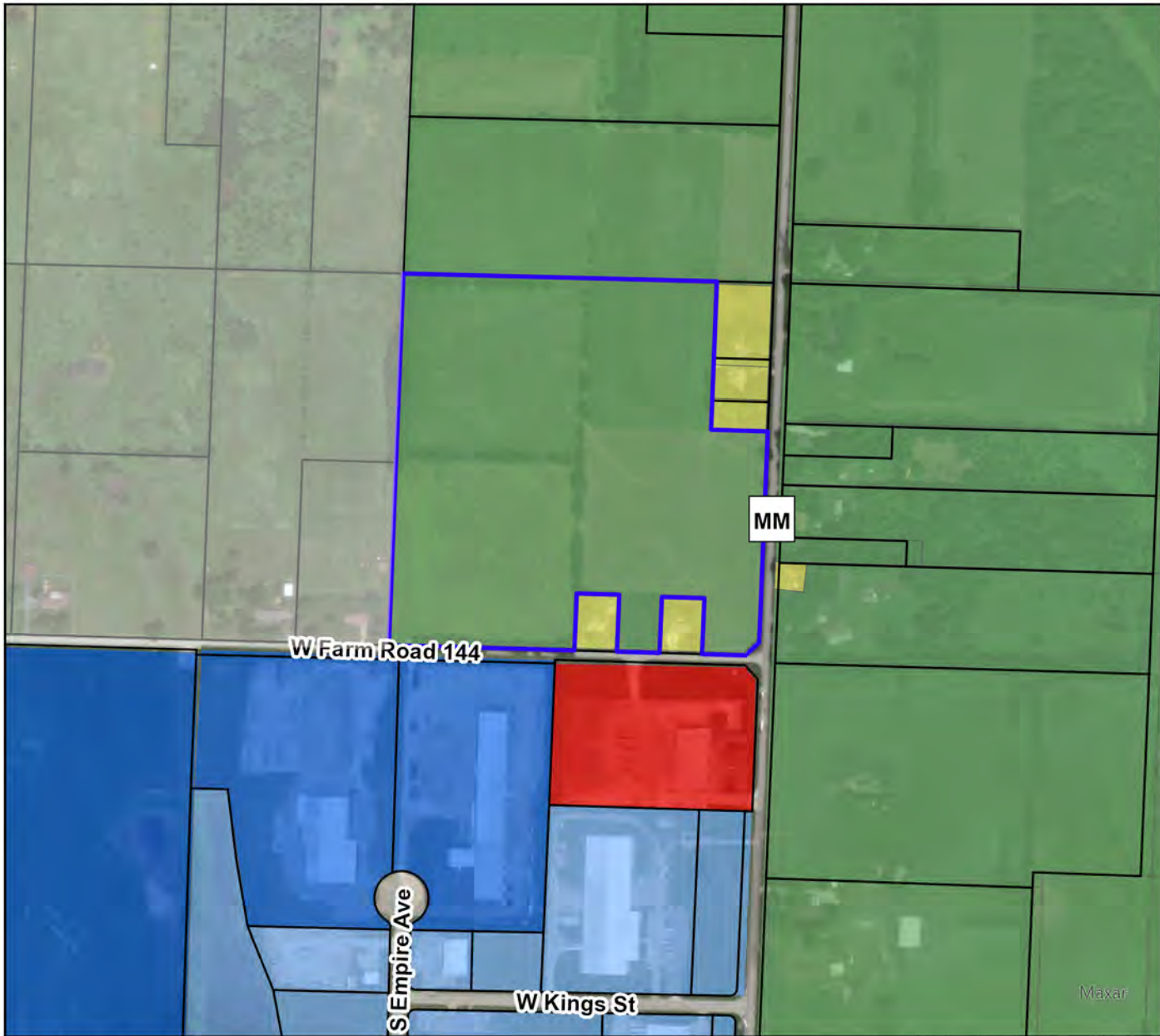
Parcel Owner: Asset Holding Group, LLC
Parcel Address: Intersection of FR 144 and St Hwy MM
Area: 36.95 Acres
Existing Zoning: Agricultural (AG)
Requested Zoning: Heavy Manufacturing (M-2)



REZN 21-006: Seitz

Zoning Map

Item 5.



Legend

 REZN 21-006

 Parcels

Zoning

AG Agricultural

C-1 Commercial

C-2 General Commercial

C-3 General Commercial

M-1 Light Manufacturing

M-2 Heavy Manufacturing

PDD Planned Development

R1-L Single Family Low Density

R1-M Single Family Medium Density

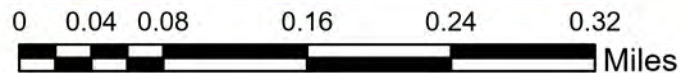
R1-H Single Family High Density

R1-Z Zero Lot Line Residential

R-2 Two-family Residential

R-3 Multi-family Residential

Parcel Owner: Asset Holding Group, LLC
 Parcel Address: Intersection of FR 144 and St Hwy MM
 Area: 36.95 Acres
 Existing Zoning: Agricultural (AG)
 Requested Zoning: Heavy Manufacturing (M-2)



AGENDA ITEM ANALYSIS

Project/Issue Name: 21-47 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 16.42 Acres from Agricultural (AG) to Heavy Manufacturing (M-2), Located in the 1100 Block of South State Highway MM.

Submitted By: Chris Tabor, Principal Planner, BUILDS Department

Date: June 22, 2021

Issue Statement

Plaza Southwest, LLC has applied to change the Zoning Classification of approximately **16.42 acres** of property located at the 1100 Block of South State Highway MM from Agricultural (AG) to **Heavy Manufacturing (M-2)**.

Discussion and/or Analysis

The property subject to this Rezoning Application is currently vacant. The Applicant has expressed their intent to develop on the property.

The following paragraphs contain brief analyses of present site conditions as well as the proposal's relationship to **adopted plans of the City**.

Consistency with the Comprehensive Plan

The City's Comprehensive Plan generally encourages the expansion of commercial development through proactive Rezoning of land at appropriate locations. Appropriate locations are described generally throughout the Plan, with regard to the **relationship of land at particular locations to infrastructure capable of supporting various intensities and densities of uses**.

- **Section:** Coordinate with Infrastructure
 - **Goal 1:** Support new development that is well-connected to the existing community.
 - **Objective 1B:** Promote development aligning with current adopted plans of the City. The intensity of uses should match the capacity of infrastructure to serve.
 - **Goal 3:** Encourage the redevelopment and integration of the former Brookline area.
 - **Objective 3B:** Support the development of an industrial/commercial center where infrastructure and transportation exist.

The rezone of this parcel is in line with City and regional planned improvements along the State Highway MM corridor. City water and sanitary sewer will be required for development of the parcel, which will

increase opportunities for access by adjacent parcels. Certain traffic improvements will be required in accordance with the Traffic Impact Study results.

The general trend in the vicinity of the subject property, along State Highway MM, is new and redevelopment of industrial and commercial projects of high to middling intensity.

Compatibility with Surrounding Land Uses

The subject property is surrounded by Agricultural (AG) on the north, east, and west, and Medium Density Single Family Residential (R1-M) and Agricultural (AG) to the south.

The land uses permitted in the Local Commercial (M-2) Zoning District include industrial and manufacturing uses of high intensity.

Capacity to Serve Potential Development and Land Use

The Applicants of REZN 21-006 and REZN 21-007 plan to work together to provide utilities and transportation infrastructure to serve the collective development. The following passages describe the improvements as intended to serve both projects.

Municipal Water and Sewer Service:

The parcel is in proximity to a 12" water main serving Murphy Tractor on the south side of Farm Road 144. Development of the property will require the looping of water from its current location to serve the subject parcel.

Due to topography, the property is unable to gravity to an existing lift station. Instead, a new lift station will be constructed to serve the development. Sanitary sewer will then flow from the new lift station to the Brookline North Lift Station, Brookline South Lift Station, McElhane Lift Station, and Shuyler Creek Lift Station; it will then be pumped from Shuyler Creek to the Wastewater Treatment Facility. The water system, named Lift Stations, and Wastewater Treatment Facility currently have capacity to serve the Applicant's intended use.

Transportation:

The development will include a public street with access on Farm Road 144 and State Highway MM. A Traffic Impact Study (TIS) was required for the Rezoning Application. The Study Area of the TIS encompassed this and a connected rezone to the north (REZN 21-006) in its evaluation since both parcels will utilize the same access points created by the new road – one at Farm Road 144 and one on State Highway MM.

The following recommendations resulted from the TIS:

- Intersection of State Highway MM and new public road
 - Designated northbound left and southbound right turn lane at State Highway MM and the new road.
 - Eastbound left and right turning movements are separated out into individual lanes.



- Intersection of State Highway MM and Farm Road 144
 - Designated northbound left turn lane.

Floodplain: The subject parcel **does not** contain a Special Flood Hazard Area (SFHA/Floodplain).

Sinkholes: The subject property does not contain any identified sinkholes.

Recommended Action

Staff considers the **proposed Zoning Map Amendment (Rezoning)** to be generally consistent with the **goals and objectives of the Comprehensive Plan**, consistent with the **trend of development in the vicinity of the site, compatible with surrounding land uses, and able to be adequately served by municipal facilities**. Based upon this analysis (performed without the benefit of evidence and testimony of a public hearing), **Staff recommends the approval of this application.**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, APPROVING AMENDING THE ZONING CODE AND OFFICIAL MAP BY CHANGING THE CLASSIFICATION OF APPROXIMATELY 16.42 ACRES FROM AGRICULTURAL (AG) TO HEAVY MANUFACTURING (M-2), LOCATED IN THE 1100 BLOCK OF SOUTH STATE HIGHWAY MM

WHEREAS, the City of Republic, Missouri, (“City” or “Republic”) is a municipal corporation and Charter City located in Greene County, Missouri, being duly created, organized, and existing under the laws of the State of Missouri; and

WHEREAS, an application for an amendment to the Zoning Code and Official Zoning Map to rezone real estate located in the 1100 Block of South State Highway MM, and comprising approximately 16.42 acres from Agricultural (AG) to Heavy Manufacturing (M-2), was submitted to the City’s BUILDS Department by Plaza Southwest, LLC (“Applicant”); and

WHEREAS, the City did thereafter submit said application to the Planning and Zoning Commission, which did set June 7, 2021, as the date a public hearing would be held on such application and proposed amendment; and

WHEREAS, a notice of the time and date of the public hearing was given by publication on May 19, 2021, in *The Greene County Commonwealth*, a newspaper of general circulation in the City, such notice being at least 15 days before the date set for the public hearing; and

WHEREAS, the City gave notice of such public hearing to the record owners of all properties within the area proposed to be rezoned and within 185 feet of the property proposed to be rezoned; and

WHEREAS, a public hearing was conducted by the Planning and Zoning Commission on June 7, 2021, after which the Commission rendered written findings of fact on the proposed amendment and rezoning and, thereafter, submitted the same, together with its recommendations, to the City Council; and

WHEREAS, the Planning and Zoning Commission, by a vote of 4 Ayes to 2 Nays, recommended the approval of such application for rezoning; and

WHEREAS, the application for rezoning and to amend the Zoning Code and Official Zoning Map was submitted to the City Council at its regular meeting on June 15, 2021, after which the City Council did proceed to vote to rezone such property and amend the Zoning Code accordingly.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AS FOLLOWS:

- Section 1. The Zoning Code and Official Zoning Map are hereby amended insofar as the same relates to a certain tract of realty located in the 1100 Block of South State Highway MM, and comprising approximately 16.42 acres from Agricultural (AG) to Heavy Manufacturing (M-2), such tract being more fully described as follows:

A TRACT OF LAND BEING PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 29 NORTH, RANGE 23 WEST OF THE 5TH P.M., GREENE COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A FOUND IRON ROD AT THE NORTHEAST CORNER OF ABOVE MENTIONED SECTION 27; THENCE ALONG THE EAST LINE OF SAID SECTION 27 S02°19 37 W 1332.49 FEET; THENCE DEPARTING SAID EAST LINE N88°27 42 W 30.00 FEET TO THE WEST RIGHT OF WAY LINE OF MISSOURI HIGHWAY MM BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT FROM WHICH A FOUND RAILROAD RAIL BEARS SOUTH 14°19 32 WEST 0.41 FEET; THENCE DEPARTING SAID WEST RIGHT OF WAY LINE AND ALONG THE NORTH AND WEST LINES OF A TRACT OF LAND NOW OR FORMERLY CONVEYED TO RANDLER PER BOOK 2521 PAGE 367 OF THE GREENE COUNTY RECORDER S OFFICE N88°27 42 W 200.03 FEET TO A FOUND IRON ROD; THENCE S02°14 33 W 0.55 FEET TO THE NORTH LINE OF A TRACT OF LAND NOW OR FORMERLY CONVEYED TO ASSET HOLDINGS GROUP LLC PER DOCUMENT NO. 2020-030874-20 OF SAID RECORDER S OFFICE; THENCE DEPARTING SAID WEST LINE AND ALONG SAID NORTH LINE OF ASSET HOLDING GROUP TRACT N88°35 58 W 1101.37 FEET TO A SET IRON ROD AT THE SOUTHEAST CORNER OF A TRACT OF LAND NOW OR FORMERLY CONVEYED TO NOBLE PER DOCUMENT NO. 2016-006733-16 OF SAID RECORDER S OFFICE; THENCE ALONG THE EAST LINE OF SAID NOBLE TRACT N02°21 18 E 549.65 FEET TO A SET IRON ROD; THENCE DEPARTING SAID EAST LINE S88° 35 58 E 1301.14 FEET TO A SET IRON ROD ON THE ABOVE MENTIONED WEST RIGHT OF WAY LINE OF MISSOURI HIGHWAY MM; THENCE ALONG SAID WEST RIGHT OF WAY LINE S02°19 37 W 549.57 FEET TO THE POINT OF BEGINNING AND CONTAINING 16.42 ACRES MORE OR LESS.

- Section 2. In all other aspects other than those herein amended, modified, or changed, the Zoning Code and Official Zoning Map shall remain the same and continue in full force and effect.
- Section 3. The whereas clauses are hereby specifically incorporated herein by reference.
- Section 4. This Ordinance shall take effect and be in force from and after its passage as provided by law.

PASSED AND APPROVED at a regular meeting of the City Council of the City of Republic, Missouri, this _____ day of _____ 2021.

 Matt Russell, Mayor

BILL NO. 21-47

ORDINANCE NO.

Attest:

Laura Burbridge, City Clerk

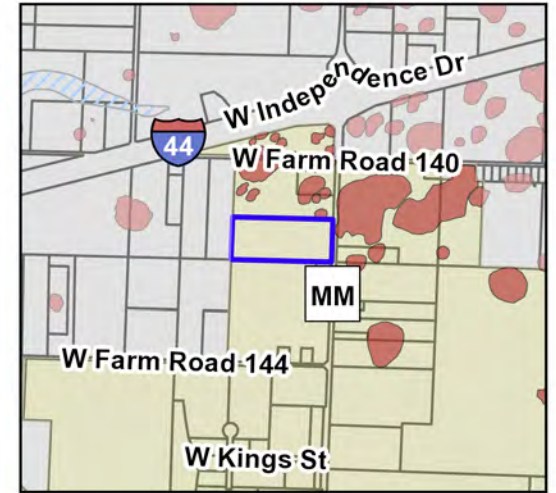
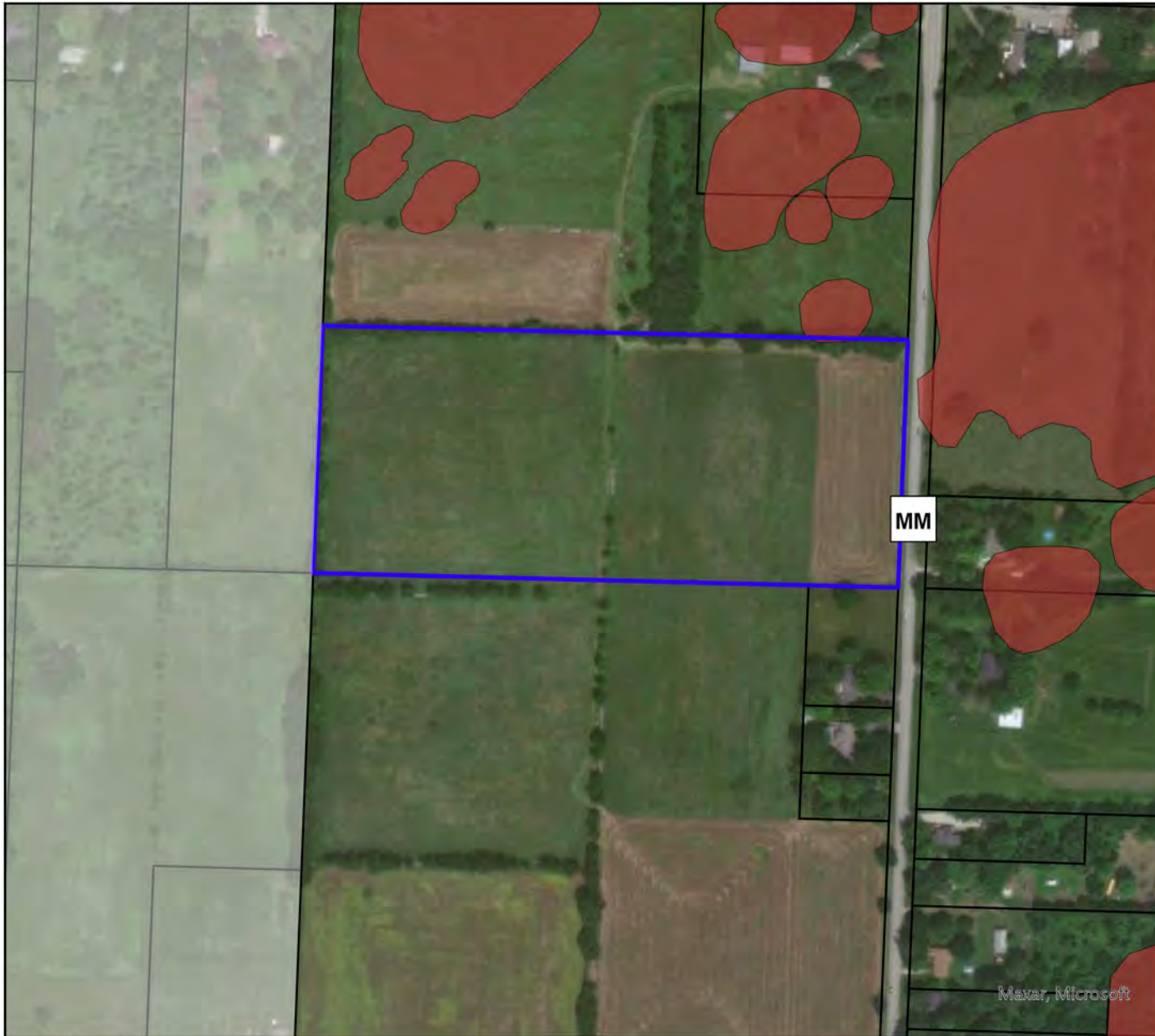
Approved as to Form:  Digitally signed by Scott Ison
Date: 2021.06.09 10:22:46
-05'00' _____, Scott Ison, City Attorney

Final Passage and Vote: _____

REZN 21-007: Plaza Southwest

Item 6.

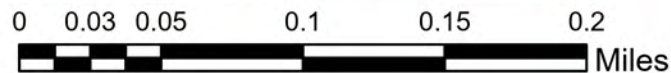
Vicinity Map



Legend

-  REZN 21-007
-  Parcels
-  Sinkhole
-  Floodplain

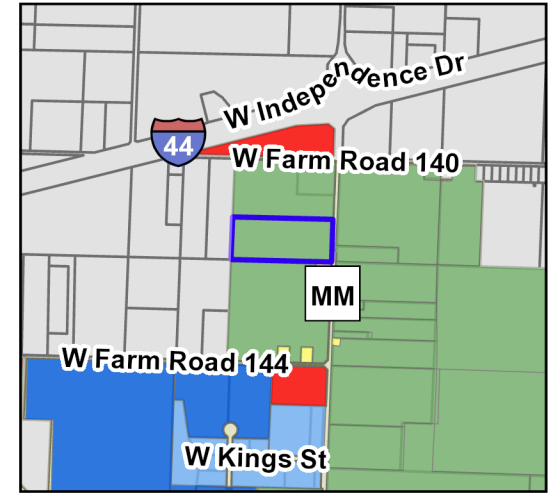
Parcel Owner: Plaza Southwest, LLC
Parcel Address: 1100 Block of South State Highway MM
Area: 16.42 Acres
Existing Zoning: Agricultural (AG)
Requested Zoning: Heavy Manufacturing (M-2)



REZN 21-007: Plaza Southwest

Item 6.

Vicinity Map



Legend

REZN 21-007

Parcels

Zoning

AG Agricultural

C-1 Commercial

C-2 General Commercial

C-3 General Commercial

M-1 Light Manufacturing

M-2 Heavy Manufacturing

PDD Planned Development

R1-L Single Family Low Density

R1-M Single Family Medium Density

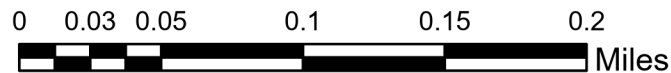
R1-H Single Family High Density

R1-Z Zero Lot Line Residential

R-2 Two-family Residential

R-3 Multi-family Residential

Parcel Owner: Plaza Southwest, LLC
 Parcel Address: 1100 Block of South State Highway MM
 Area: 16.42 Acres
 Existing Zoning: Agricultural (AG)
 Requested Zoning: Heavy Manufacturing (M-2)



AGENDA ITEM ANALYSIS

Project/Issue Name: 21-48 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 10.88 Acres from Agricultural (AG) to High Density Single-Family Residential (R1-H), Located at 6354 South Farm Road 89.

Submitted By: Karen Haynes, Planning Manager, BUILDS Department

Date: June 22, 2021

Issue Statement

Steven McElhaney/Mike Seitz has applied to change the Zoning Classification of **(10.88) acres** of property located at the 6354 South Farm Road 89 from **Agricultural (AG) to High Density Single-Family Residential (R1-H)**.

Discussion and/or Analysis

The property subject to this Rezoning Application is comprised of approximately **(10.88) acres** of land located at the 6354 South Farm Road 89. The property currently contains one residential dwelling and several agricultural accessory structures.

The Applicant owns an adjacent parcel to the south, which is also under consideration for Rezoning; the Applicant intends to develop the parcels as Olde Savannah Phase 3 and to reserve several acres for the existing residential dwelling to remain on its own parcel.

The following paragraphs contain brief analyses of present site conditions as well as the proposal's relationship to **adopted plans of the City**.

Consistency with the Comprehensive Plan

The City's Comprehensive Plan generally encourages the expansion of residential development through proactive rezoning of land at appropriate locations. Appropriate locations are described generally throughout the Plan with regard to the **relationship of land at particular locations to infrastructure capable of supporting various intensities and densities of uses**.

The 2021 Comprehensive Plan and Land Use Plan identifies Land Use Goals and Objectives relating to residential development, including the following:

- **Goal:** Support market conditions to develop a greater variety of residential and commercial options
 - **Objective:** Support a variety of housing developments and styles to ensure a range of options are available

- **Goal:** Support new development that is well-connected to the existing community
 - **Objective:** Encourage development that improves and expands upon existing infrastructure
 - **Objective:** Promote development aligning with current adopted plans of the City
- **Goal:** Recognize potential infill sites as opportunities for development, while mitigating impacts to adjacent, established properties
 - **Objective:** Support the development of vacant parcels as opportunities for densification that is harmonious with surrounding development

The general trend of development in the vicinity of the subject property in recent years has been the development of **residential subdivisions**.

Compatibility with Surrounding Land Uses

The subject property is surrounded by Olde Savannah Phase 2 to the east, Olde Savannah Phase 1 to the north, agricultural zoned property to the south (which is also under consideration for Rezoning), and Greene County Agricultural zoned property to the west.

The land uses permitted in the High Density Single-Family Residential (R1-H) Zoning District include single-family dwellings, residential accessory structures, golf courses, country clubs, and schools.

Capacity To Serve Potential Development and Land Use

Municipal Water and Sewer Service: This site is not currently connected to municipal utilities. The development of the parcel will require connection to the City's water and sanitary sewer systems. The parcel can be served through a looped water main system connecting to existing water mains located in Olde Savannah 1 and Olde Savannah 2. The parcel can be served with sanitary sewer service from existing connections to Olde Savannah 1 and Olde Savannah 2. The sanitary sewer system will flow to the Shuyler Creek Lift Station before travelling through a force main to the Wastewater Treatment Facility. The water and sewer system currently have capacity to serve a potential development.

Transportation: The subject parcel is currently accessible, for agricultural and residential purposes, from an access drive on South Farm Road 89; subsequent development of the subject parcel will require review of new entrances through the Preliminary Platting process. The Republic City Code will require the development of the subject property to include the extension of internal public streets to boundary lines, sidewalks, and the construction of public streets of sufficient width to accommodate the development. A Traffic Impact Study (TIS) has been completed by the Applicant and reviewed by the City; the report indicates no major improvements are needed to the City's existing transportation system to accommodate the increase in traffic generated by the proposed development.

Floodplain: The subject parcel **does not** contain a Special Flood Hazard Area (SFHA/Floodplain).

Sinkholes: The subject parcel **does not** contain any **identified sinkholes**.

Recommended Action

Staff considers the **proposed Zoning Map Amendment (Rezoning)** to be generally consistent with the **goals and objectives of the Comprehensive Plan**, consistent with the **trend of development in the vicinity of the site**, generally **compatible with surrounding land uses**, and **able to be adequately served by municipal facilities**. Based upon this analysis (performed without the benefit of evidence and testimony of a public hearing), **Staff recommends the approval of this application.**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, APPROVING AMENDING THE ZONING CODE AND OFFICIAL MAP BY CHANGING THE CLASSIFICATION OF APPROXIMATELY 10.88 ACRES FROM AGRICULTURAL (AG) TO HIGH DENSITY SINGLE-FAMILY RESIDENTIAL (R1-H), LOCATED AT 6354 SOUTH FARM ROAD 89

WHEREAS, the City of Republic, Missouri, (“City” or “Republic”) is a municipal corporation and Charter City located in Greene County, Missouri, being duly created, organized, and existing under the laws of the State of Missouri; and

WHEREAS, an application for an amendment to the Zoning Code and Official Zoning Map to rezone real estate located at 6354 South Farm Road 89, and comprising approximately 10.88 acres from Agricultural (AG) to High Density Single-Family Residential (R1-H), was submitted to the City’s BUILDS Department by Steven McElhaney and Mike Seitz (“Applicant”); and

WHEREAS, the City did thereafter submit said application to the Planning and Zoning Commission, which did set June 7, 2021, as the date a public hearing would be held on such application and proposed amendment; and

WHEREAS, a notice of the time and date of the public hearing was given by publication on May 19, 2021, in *The Greene County Commonwealth*, a newspaper of general circulation in the City, such notice being at least 15 days before the date set for the public hearing; and

WHEREAS, the City gave notice of such public hearing to the record owners of all properties within the area proposed to be rezoned and within 185 feet of the property proposed to be rezoned; and

WHEREAS, a public hearing was conducted by the Planning and Zoning Commission on June 7, 2021, after which the Commission rendered written findings of fact on the proposed amendment and rezoning and, thereafter, submitted the same, together with its recommendations, to the City Council; and

WHEREAS, the Planning and Zoning Commission, by a vote of 6 Ayes to 0 Nays, recommended the approval of such application for rezoning; and

WHEREAS, the application for rezoning and to amend the Zoning Code and Official Zoning Map was submitted to the City Council at its regular meeting on June 15, 2021, after which the City Council did proceed to vote to rezone such property and amend the Zoning Code accordingly.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AS FOLLOWS:

- Section 1. The Zoning Code and Official Zoning Map are hereby amended insofar as the same relates to a certain tract of realty located at 6354 South Farm Road 89, and comprising approximately 10.88 acres from Agricultural (AG) to High

BILL NO. 21-48

ORDINANCE NO.

Density Single-Family Residential (R1-H), such tract being more fully described as follows:

A TRACT OF LAND BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 28 NORTH, RANGE 23 WEST, GREENE COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 02°06'33" EAST, ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 1328.67 FEET TO THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER TO THE POINT OF BEGINNING; THENCE NORTH 02°06'26" EAST, ALONG THE WEST LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, A DISTANCE OF 516.27 FEET; THENCE SOUTH 86°46'11" EAST, LEAVING SAID WEST LINE, A DISTANCE OF 944.78 FEET; THENCE SOUTH 01°07'29" WEST, A DISTANCE OF 483.19 FEET TO THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE NORTH 88°46'21" WEST, ALONG SAID SOUTH LINE, A DISTANCE OF 953.00 FEET TO THE POINT OF BEGINNING. CONTAINING 474,074.6 SQ FT OR 10.88 ACRES.

- Section 2. In all other aspects other than those herein amended, modified, or changed, the Zoning Code and Official Zoning Map shall remain the same and continue in full force and effect.
- Section 3. The whereas clauses are hereby specifically incorporated herein by reference.
- Section 4. This Ordinance shall take effect and be in force from and after its passage as provided by law.

PASSED AND APPROVED at a regular meeting of the City Council of the City of Republic, Missouri, this _____ day of _____ 2021.

Matt Russell, Mayor

Attest:

Laura Burbridge, City Clerk

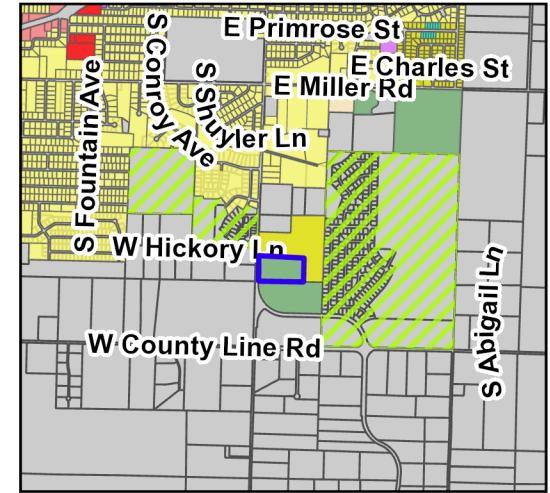
Approved as to Form:  Digitally signed by Scott Ison
Date: 2021.06.09 10:55:43
-05'00', Scott Ison, City Attorney

Final Passage and Vote: _____

REZN 21-008: McElhany

Zoning Map

Item 7.



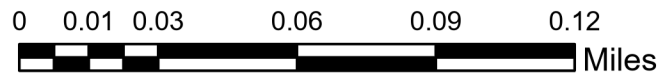
Legend

- McElhany Property
- Parcels

Zoning

- AG Agricultural
- C-1 Commercial
- C-2 General Commercial
- C-3 General Commercial
- M-1 Light Manufacturing
- M-2 Heavy Manufacturing
- PDD Planned Development
- R1-L Single Family Low Density
- R1-M Single Family Medium Density
- R1-H Single Family High Density
- R1-Z Zero Lot Line Residential
- R-2 Two-family Residential
- R-3 Multi-family Residential

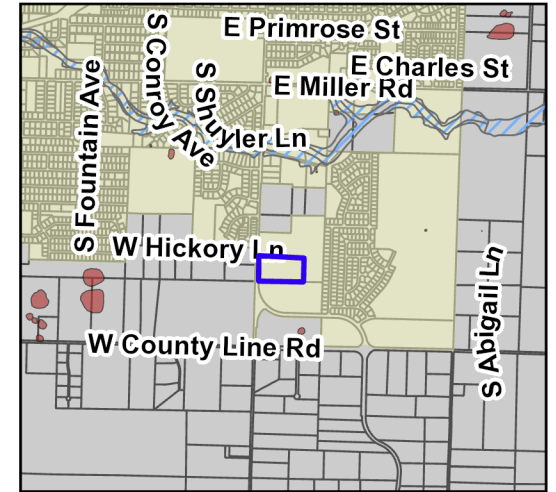
Parcel Owner: George McElhany
 Parcel Address: 6354 South Farm Road 89
 Area: 10 Acres
 Existing Zoning: Agricultural (AG)
 Requested Zoning: High Density Single Family Residential (R1-H)







REZN 21-008: McElhany

Item 7.

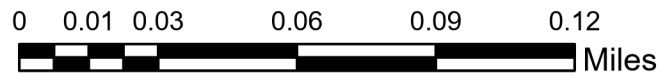
Vicinity Map



Legend

-  McElhany Property
-  Parcels
-  Sinkhole
-  Floodplain

Parcel Owner: George McElhany
Parcel Address: 6354 South Farm Road 89
Area: 10 Acres
Existing Zoning: Agricultural (AG)
Requested Zoning: High Density Single Family Residential (R1-H)



AGENDA ITEM ANALYSIS

Project/Issue Name: 21-49 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 17.1 Acres from Agricultural (AG) to High Density Single-Family Residential (R1-H), Located in the 6400 Block of South Farm Road 89.

Submitted By: Karen Haynes, Planning Manager, BUILDS Department

Date: June 22, 2021

Issue Statement

Brian J. Witt/Mike Seitz has applied to change the Zoning Classification of **(17.1) acres** of property located at the 6400 Block of South Farm Road 89 from **Agricultural (AG) to High Density Single-Family Residential (R1-H)**.

Discussion and/or Analysis

The property subject to this Rezoning Application is comprised of approximately **(17.1) acres** of land located at the 6400 Block of South Farm Road 89. The property is currently vacant and used for agricultural purposes.

The Applicant owns an adjacent parcel to the north, which is also under consideration for Rezoning; the Applicant intends to develop the parcels as Olde Savannah Phase 3.

The following paragraphs contain brief analyses of present site conditions as well as the proposal's relationship to **adopted plans of the City**.

Consistency with the Comprehensive Plan

The City's Comprehensive Plan generally encourages the expansion of residential development through proactive rezoning of land at appropriate locations. Appropriate locations are described generally throughout the Plan with regard to the **relationship of land at particular locations to infrastructure capable of supporting various intensities and densities of uses**.

The 2021 Comprehensive Plan and Land Use Plan identifies Land Use Goals and Objectives relating to residential development, including the following:

- **Goal:** Support market conditions to develop a greater variety of residential and commercial options
 - **Objective:** Support a variety of housing developments and styles to ensure a range of options are available
- **Goal:** Support new development that is well-connected to the existing community

- **Objective:** Encourage development that improves and expands upon existing infrastructure
- **Objective:** Promote development aligning with current adopted plans of the City
- **Goal:** Recognize potential infill sites as opportunities for development, while mitigating impacts to adjacent, established properties
 - **Objective:** Support the development of vacant parcels as opportunities for densification that is harmonious with surrounding development

The general trend of development in the vicinity of the subject property in recent years has been the development of **residential subdivisions**.

Compatibility with Surrounding Land Uses

The subject property is surrounded by The Lakes at Shuyler Ridge to the east, Olde Savannah Phase 2 and adjacent property under consideration for Rezoning to the north, Greene County Agricultural zoned property to the west, and Greene County Agricultural zoned property to the south.

The land uses permitted in the High Density Single-Family Residential (R1-H) Zoning District include single-family dwellings, residential accessory structures, golf courses, country clubs, and schools.

Capacity To Serve Potential Development and Land Use

Municipal Water and Sewer Service: This site is not currently connected to municipal utilities. The development of the parcel will require connection to the City's water and sanitary sewer systems. The parcel can be served through a looped water main system connecting to existing water mains located in Olde Savannah 2. The parcel can be served with sanitary sewer service from existing connections to Olde Savannah 2, infrastructure design will determine exact locations of sanitary sewer connections. The sanitary sewer system will flow to the Shuyler Creek Lift Station before travelling through a force main to the Wastewater Treatment Facility. The water and sewer system currently have capacity to serve a potential development.

Transportation: The subject parcel is currently accessible, for agricultural and residential purposes, from South Farm Road 89; subsequent development of the subject parcel will require review of new entrances through the Preliminary Platting process. South Farm Road 89 is identified as a Secondary Arterial on the Major Thoroughfare Plan, if the property is developed, a dedication of Right-of-Way will be required during the Final Platting Process. The Republic City Code will require the development of the subject property to include the extension of internal public streets to boundary lines, sidewalks, and the construction of public streets of sufficient width to accommodate the development. A Traffic Impact Study (TIS) has been completed by the Applicant and reviewed by the City; the report indicates no major improvements are needed to the City's existing transportation system to accommodate the increase in traffic generated by the proposed development.

Floodplain: The subject parcel **does not** contain a Special Flood Hazard Area (SFHA/Floodplain).

Sinkholes: The subject parcel **does not** contain any **identified sinkholes**.

Recommended Action



Staff considers the **proposed Zoning Map Amendment (Rezoning)** to be generally consistent with the **goals and objectives of the Comprehensive Plan**, consistent with the **trend of development in the vicinity of the site**, generally **compatible with surrounding land uses**, and **able to be adequately served by municipal facilities**. Based upon this analysis (performed without the benefit of evidence and testimony of a public hearing), **Staff recommends the approval of this application.**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, APPROVING AMENDING THE ZONING CODE AND OFFICIAL MAP BY CHANGING THE CLASSIFICATION OF APPROXIMATELY 17.1 ACRES FROM AGRICULTURAL (AG) TO HIGH DENSITY SINGLE-FAMILY RESIDENTIAL (R1-H), LOCATED IN THE 6400 BLOCK OF SOUTH FARM ROAD 89

WHEREAS, the City of Republic, Missouri, (“City” or “Republic”) is a municipal corporation and Charter City located in Greene County, Missouri, being duly created, organized, and existing under the laws of the State of Missouri; and

WHEREAS, an application for an amendment to the Zoning Code and Official Zoning Map to rezone real estate located in the 6400 Block of South Farm Road 89, and comprising approximately 17.1 acres from Agricultural (AG) to High Density Single-Family Residential (R1-H), was submitted to the City’s BUILDS Department by Brian J Witt and Mike Seitz (“Applicant”); and

WHEREAS, the City did thereafter submit said application to the Planning and Zoning Commission, which did set June 7, 2021, as the date a public hearing would be held on such application and proposed amendment; and

WHEREAS, a notice of the time and date of the public hearing was given by publication on May 19, 2021, in *The Greene County Commonwealth*, a newspaper of general circulation in the City, such notice being at least 15 days before the date set for the public hearing; and

WHEREAS, the City gave notice of such public hearing to the record owners of all properties within the area proposed to be rezoned and within 185 feet of the property proposed to be rezoned; and

WHEREAS, a public hearing was conducted by the Planning and Zoning Commission on June 7, 2021, after which the Commission rendered written findings of fact on the proposed amendment and rezoning and, thereafter, submitted the same, together with its recommendations, to the City Council; and

WHEREAS, the Planning and Zoning Commission, by a vote of 6 Ayes to 0 Nays, recommended the approval of such application for rezoning; and

WHEREAS, the application for rezoning and to amend the Zoning Code and Official Zoning Map was submitted to the City Council at its regular meeting on June 15, 2021, after which the City Council did proceed to vote to rezone such property and amend the Zoning Code accordingly.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AS FOLLOWS:

- Section 1. The Zoning Code and Official Zoning Map are hereby amended insofar as the same relates to a certain tract of realty located in the 6400 Block of South Farm Road 89, and comprising approximately 17.1 acres from Agricultural (AG) to

BILL NO. 21-49

ORDINANCE NO.

High Density Single-Family Residential (R1-H), such tract being more fully described as follows:

A TRACT OF LAND BEING A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 28 NORTH, RANGE 23 WEST, GREENE COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER; THENCE NORTH 02°06'33" EAST, ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, A DISTANCE OF 1328.67 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 88°46'21" EAST, ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER , A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88°46'21" EAST, CONTINUING ALONG SAID NORTH LINE, A DISTANCE OF 1300.78 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 02°06'07" WEST, ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, A DISTANCE OF 627.19 FEET TO THE NORTH RIGHT OF WAY OF WILLIAMSBURG ROAD; THENCE NORTH 88°38'54" WEST, ALONG SAID NORTH RIGHT OF WAY, A DISTANCE OF 733.36 FEET; THENCE NORTHWESTERLY A DISTANCE OF 887.04 FEET, ALONG SAID NORTH RIGHT OF WAY AND ALONG A 560.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A CHORD BEARING AND DISTANCE OF NORTH 43°16'12" WEST, 797.17 FEET; THENCE NORTH 02°06'30" EAST A DISTANCE OF 56.92 FEET TO THE POINT OF BEGINNING. CONTAINING 744,418.2 SQ FT OR 17.1 ACRES.

- Section 2. In all other aspects other than those herein amended, modified, or changed, the Zoning Code and Official Zoning Map shall remain the same and continue in full force and effect.
- Section 3. The whereas clauses are hereby specifically incorporated herein by reference.
- Section 4. This Ordinance shall take effect and be in force from and after its passage as provided by law.

PASSED AND APPROVED at a regular meeting of the City Council of the City of Republic, Missouri, this _____ day of _____ 2021.


Matt Russell, Mayor

Attest:

Laura Burbridge, City Clerk

BILL NO. 21-49

ORDINANCE NO.

Approved as to Form:  Digitally signed by Scott Ison
Date: 2021.06.09 11:02:13
-05'00', Scott Ison, City Attorney

Final Passage and Vote: _____

REZN 21-009: Witt

Zoning Map

Item 8.



Legend

Witt Property

Parcels

Zoning

AG Agricultural

C-1 Commercial

C-2 General Commercial

C-3 General Commercial

M-1 Light Manufacturing

M-2 Heavy Manufacturing

PDD Planned Development

R1-L Single Family Low Density

R1-M Single Family Medium Density

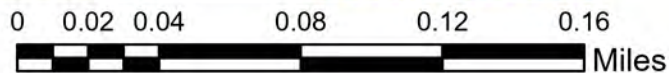
R1-H Single Family High Density

R1-Z Zero Lot Line Residential

R-2 Two-family Residential

R-3 Multi-family Residential

Parcel Owner: Brian J. Witt
 Parcel Address: 6400 Block of South Farm Road 89
 Area: 17.1 Acres
 Existing Zoning: Agricultural (AG)
 Requested Zoning: Single Family High Density Residential (R1-H)



REZN 21-009: Witt

Vicinity Map

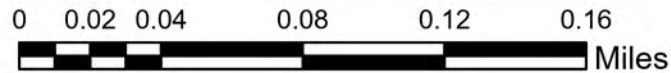
Item 8.



Legend

- Witt Property
- Parcels
- Sinkhole
- Floodplain

Parcel Owner: Brian J. Witt
Parcel Address: 6400 Block of South Farm Road 89
Area: 17.1 Acres
Existing Zoning: Agricultural (AG)
Requested Zoning: Single Family High Density Residential (R1-H)



AGENDA ITEM ANALYSIS

Project/Issue Name: 21-50 An Ordinance of the City Council of the City of Republic, Missouri, Approving Amending the Zoning Code and Official Map by Changing the Classification of Approximately 2.5 Acres from Local Commercial (C-1) to General Commercial (C-3), Located at 6552 West Republic Road.

Submitted By: Karen Haynes, Planning Manager, BUILDS Department

Date: June 22, 2021

Issue Statement

The City of Republic has applied to change the Zoning Classification of approximately **(2.50) acres** of property located at 6552 West Republic Road from Local Commercial (C-1) to **General Commercial (C-3)**.

Discussion and/or Analysis

The property subject to this Rezoning Application is comprised of approximately **(2.50) acres** of land located at 6552 West Republic Road from Local Commercial (C-1) to General Commercial (C-3). The City intends to build a new Public Works Facility for the BUILDS Department in the future; the facility will house the City's Construction Crews, Public Works trucks and equipment, and staff.

The City owns a (5.91) acre parcel directly adjacent, which is also under consideration for Rezoning; the parcels will be combined at a later date to facilitate development of the Public Works Facility.

The following paragraphs contain brief analyses of present site conditions as well as the proposal's relationship to **adopted plans of the City**.

Consistency with the City's Adopted Plans

The City's Comprehensive Plan generally encourages the expansion of commercial development through proactive Rezoning of land at appropriate locations. Appropriate locations are described generally throughout the Plan, with regard to the **relationship of land at particular locations to infrastructure capable of supporting various intensities and densities of uses**.

The 2021 Comprehensive Plan and Land Use Plan identifies Land Use Goals and Objectives relating to commercial development, including the following:

- **Goal:** Coordination with Infrastructure
 - **Objective:** Support new development that is well connected to the existing community
 - The City's development of the parcel aligns with planned future improvements along the corridor
 - **Objective:** Promote development aligning with current adopted plans of the City; the intensity of uses should match the capacity of infrastructure to serve the use

- The City's development of the parcel will facilitate future development along the corridor due to planned expansions of the City's municipal water system

The general trend of development in the vicinity of the subject property has been the development of Republic High School and Backwoods Golf during the last several years.

Compatibility with Surrounding Land Uses

The subject property is surrounded by City of Republic Local Commercial zoned properties to the north, Greene County Agricultural zoned property to the west and south, and Agricultural (AG) property to the east (Republic High School).

The land uses permitted in the General Commercial (C-3) Zoning District relative to the intended use include heavy and civil engineering construction services.

Capacity To Serve Potential Development and Land Use

Municipal Water and Sewer Service: The parcel is in proximity to a 12" water main on the north side of Republic Road. The City will extend the water main to serve the property and to facilitate growth along State Highway ZZ.

The parcel will be served by an existing gravity sanitary sewer main on the property to the south of the subject parcel. The sanitary sewer will flow to the McElhane Lift Station, and to the Shuyler Creek Lift Station, and finally to the Wastewater Treatment Facility. The City's water system, Lift Stations, and Wastewater Treatment Facility currently have capacity to serve the intended use.

Transportation: A Traffic Impact Study (TIS) was not required as the City has been working with MODOT and the Ozarks Transportation Organization (OTO) for planned improvements along this corridor. The City will be removing the existing access drive along West Republic Road and will be moving the existing access drive along State Highway ZZ to the southern property line.

Floodplain: The subject parcel **does not** contain a Special Flood Hazard Area (SFHA/Floodplain).

Sinkholes: The subject parcel **does not** contain any identified sinkholes.

Recommended Action

Staff considers the **proposed Zoning Map Amendment (Rezoning)** to be generally consistent with the **goals and objectives of the Comprehensive Plan**, consistent with the **trend of development in the vicinity of the site, compatible with surrounding land uses, and able to be adequately served by municipal facilities**. Based upon this analysis (performed without the benefit of evidence and testimony of a public hearing), **Staff recommends the approval of this application.**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, APPROVING AMENDING THE ZONING CODE AND OFFICIAL MAP BY CHANGING THE CLASSIFICATION OF APPROXIMATELY 2.5 ACRES FROM LOCAL COMMERCIAL (C-1) TO GENERAL COMMERCIAL (C-3), LOCATED AT 6552 WEST REPUBLIC ROAD

WHEREAS, the City of Republic, Missouri, (“City” or “Republic”) is a municipal corporation and Charter City located in Greene County, Missouri, being duly created, organized, and existing under the laws of the State of Missouri; and

WHEREAS, an application for an amendment to the Zoning Code and Official Zoning Map to rezone real estate located at 6552 West Republic Road, and comprising approximately 2.5 acres from Local Commercial (C-1) to General Commercial (C-3), was submitted to the City’s BUILDS Department by the City of Republic (“Applicant”); and

WHEREAS, the City did thereafter submit said application to the Planning and Zoning Commission, which did set June 7, 2021, as the date a public hearing would be held on such application and proposed amendment; and

WHEREAS, a notice of the time and date of the public hearing was given by publication on May 19, 2021, in *The Greene County Commonwealth*, a newspaper of general circulation in the City, such notice being at least 15 days before the date set for the public hearing; and

WHEREAS, the City gave notice of such public hearing to the record owners of all properties within the area proposed to be rezoned and within 185 feet of the property proposed to be rezoned; and

WHEREAS, a public hearing was conducted by the Planning and Zoning Commission on June 7, 2021, after which the Commission rendered written findings of fact on the proposed amendment and rezoning and, thereafter, submitted the same, together with its recommendations, to the City Council; and

WHEREAS, the Planning and Zoning Commission, by a vote of 6 Ayes to 0 Nays, recommended the approval of such application for rezoning; and

WHEREAS, the application for rezoning and to amend the Zoning Code and Official Zoning Map was submitted to the City Council at its regular meeting on June 15, 2021, after which the City Council did proceed to vote to rezone such property and amend the Zoning Code accordingly.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AS FOLLOWS:

- Section 1. The Zoning Code and Official Zoning Map are hereby amended insofar as the same relates to a certain tract of realty located at 6552 West Republic Road, and comprising approximately 2.5 acres from Local Commercial (C-1) to General Commercial (C-3), such tract being more fully described as follows:

Tract I: All of the East Half (E1/2) of the Northwest Quarter (NW1/4) of the Northwest Quarter (NW1/4), Section Fourteen (14), Township Twenty-eight (28), Range Twenty-three (23), EXCEPT the East 255 feet thereof, and ALSO EXCEPT a portion of land deeded in Book 2064, at Page 481, all in GREENE County, Missouri. Tract II: The East 255 feet of the following: The East Half (E1/2) of the Northwest Quarter (NW1/4) of the Northwest Quarter (NW1/4) of Section Fourteen (14), Township Twenty-eight (28), Range Twenty-three (23), EXCEPT the South 700 feet thereof, in GREENE County, Missouri. EXCEPT the following described tract: Part of the Northwest Quarter (NW1/4) of the Northwest Quarter (NW1/4) of Section Fourteen (14), Township Twenty-eight (28) North, Range Twenty-three (23) West, GREENE County, Missouri, being a part of the tract of land described in the Warranty Deed by Limited Liability company duly recorded in the GREENE County Recorder's Office in Deed Book 2008, Page 021834-08, and being more particularly described as follows: Commencing at the Northeast corner of the Northwest Quarter (NW1/4) of the Northwest Quarter (NW1/4) of Section Fourteen (14), Township Twenty-eight (28) North, Range Twenty-three (23) West, GREENE County, Missouri; thence North 88°57'48" West along the North line of said Quarter-Quarter, a distance of 368.88 feet to a point in the same; thence departing said North line South 00°54'59" West, a distance of 34.34 feet to a point in the South Right-of-Way line of State Highway M, as now established, said point being the point of beginning; thence South 78°05'38" East along said South Right-of-Way line, a distance of 50.99 feet to a point in the same; thence departing said South Right-of-Way line North 89°24'13" West, a distance of 154.80 feet to a point; thence South 01°49'23" West, a distance of 257.26 feet to a point; thence South 88°56'31" East, a distance of 440.04 feet to a point in the West Right-of-Way line of State Highway ZZ, as now established; thence South 01°49'23" West along said West Right-of-Way line, a distance of 327.86 feet to the Northeast corner of the tract of land described in the General Warranty Deed duly recorded in the GREENE County Recorder's Office in Deed Book 2018, Page 647; thence departing said West Right-of-Way line North 88°31'10" West along the North line of said tract of land, and beyond, along the North line of the tract of land described in the Warranty Deed duly recorded in the GREENE County Recorder's Office in Deed Book 2064, Page 481, a distance of 630.69 feet to the Northwest corner thereof, said point being in the East line of the tract of land described in the General Warranty Deed duly recorded in the GREENE County Recorder's Office in Deed Book 2105, Page 1745, said point marked by a found iron bar; thence North 01°53'00" East along the East line of said tract of land, a distance of 596.06 feet to a point in said South Right-of-Way line of State Highway ZZ; thence along said South Right-of-Way line, along a non-tangent curve to the left having a radius of 1000.40 feet, a length of 119.39 feet, an internal angle of 06°50'15", a chord bearing of South 85°59'06" East, a chord length of 119.32 feet to a point of tangency in the same being marked by a found MoDOT aluminum monument; thence South 89°24'13" East, a distance of 175.42 feet to the point of the beginning.

Section 2. In all other aspects other than those herein amended, modified, or changed, the Zoning Code and Official Zoning Map shall remain the same and continue in full force and effect.

BILL NO. 21-50

ORDINANCE NO.

Section 3. The whereas clauses are hereby specifically incorporated herein by reference.


Section 4. This Ordinance shall take effect and be in force from and after its passage as provided by law.

PASSED AND APPROVED at a regular meeting of the City Council of the City of Republic, Missouri, this _____ day of _____ 2021.

Matt Russell, Mayor

Attest:

Laura Burbridge, City Clerk

Approved as to Form:  Digitally signed by Scott Ison
Date: 2021.06.09 10:00:41
-05'00' _____, Scott Ison, City Attorney

Final Passage and Vote: _____

REZN 21-010: City of Republic

Vicinity Map

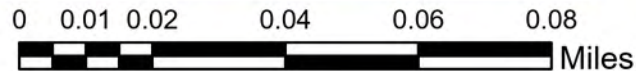
Item 9.



Legend

-  REZN 21-010
-  Parcels
-  Sinkhole
-  Floodplain

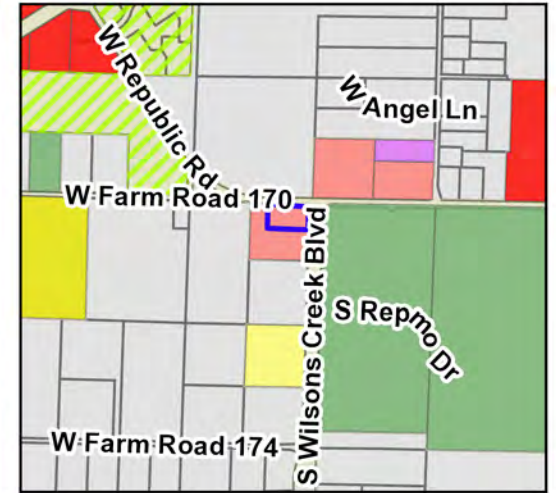
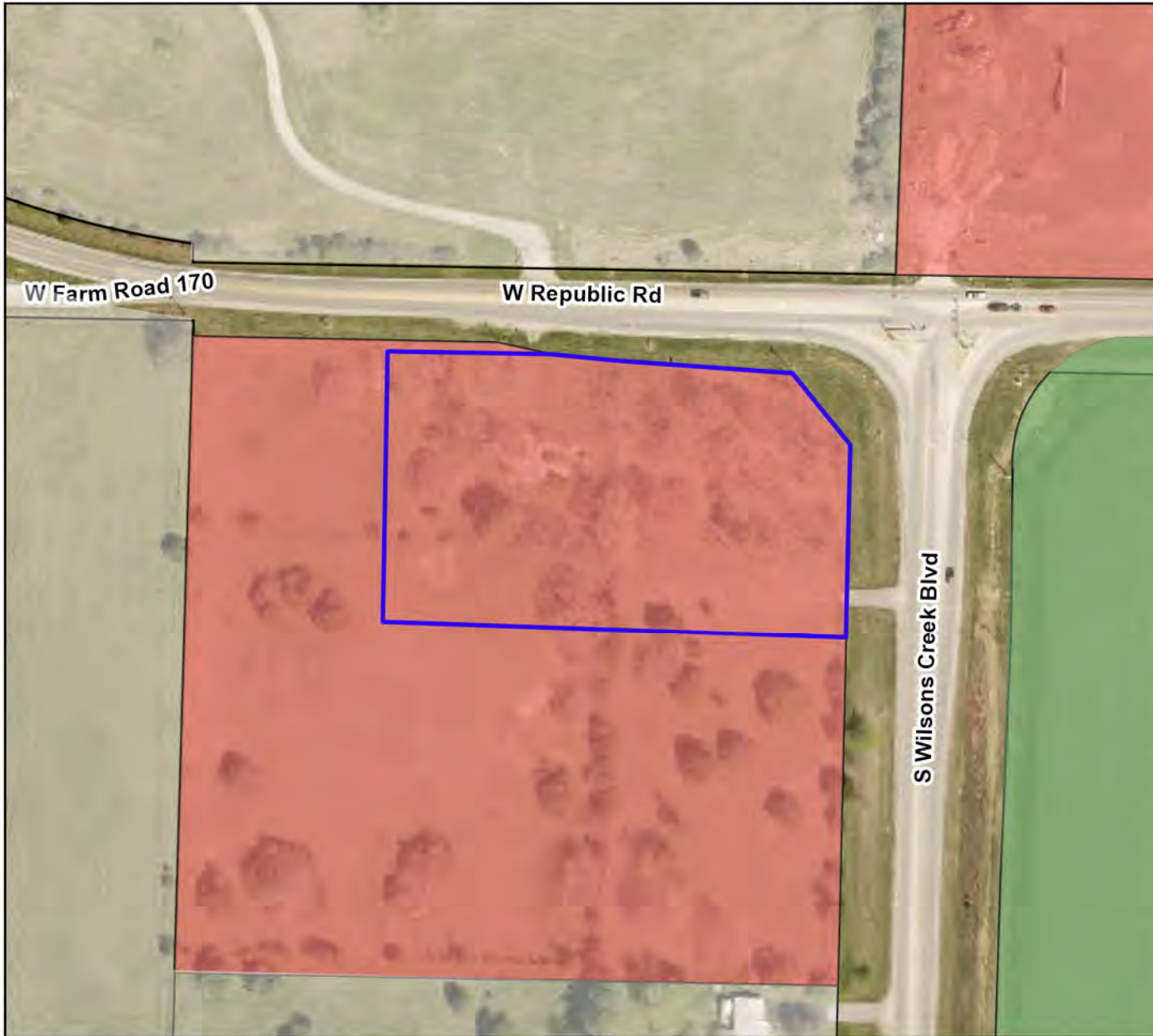
Parcel Owner: City of Republic
Parcel Address: 6552 West Farm Road 174
Area: 2.5 Acres
Existing Zoning: Local Commercial (C-1)
Requested Zoning: General Commercial (C-3)



REZN 21-010: City of Republic

Zoning Map

Item 9.



Legend

REZN 21-010

Parcels

Zoning

AG Agricultural

C-1 Commercial

C-2 General Commercial

C-3 General Commercial

M-1 Light Manufacturing

M-2 Heavy Manufacturing

PDD Planned Development

R1-L Single Family Low Density

R1-M Single Family Medium Density

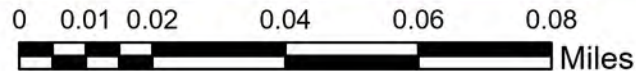
R1-H Single Family High Density

R1-Z Zero Lot Line Residential

R-2 Two-family Residential

R-3 Multi-family Residential

Parcel Owner: City of Republic
 Parcel Address: 6552 West Farm Road 174
 Area: 2.5 Acres
 Existing Zoning: Local Commercial (C-1)
 Requested Zoning: General Commercial (C-3)





AGENDA ITEM ANALYSIS

Project/Issue Name: 21-51 An Ordinance of the City Council of the City of Republic, Missouri, Approving Budget Amendment No. 2 to the Budget for the Fiscal Year 2021.

Submitted By: Meghin Cook

Date: June 22, 2021

Issue Statement

Under Chapter 67 of the Missouri Revised Statutes and by City Charter, the City is required to pass and amend its budget to appropriate additional monies to those Funds that exceed the adopted budget for 2021.

Discussion and/or Analysis

When the annual budget is prepared, monies are appropriated to comprehensively fund all projects and expenditures known at the time of preparation. Since the 2021 budget was adopted, changes have occurred. The complete breakdown is included in Exhibit A. The following amendment is being requested:

The Street and Water fund has had additional revenue come into the City. This additional revenue will allow for some additional expenses added into the budget.

Street Fund – increase in overall expenditures of \$40,729 - for a total of \$2,411,297 in budgeted expenditures.

Water Fund – increase in overall expenditures of \$40,729 – for a total of \$2,126,919 in budgeted expenditures.

Wastewater Fund – increase in overall expenditures of \$40,729 – for a total of \$8,697,874 in budgeted expenditures.

Recommended Action

Finance Staff recommends City Council approval of this amendment to the budget for 2021, increasing the aggregated budgeted expenditures as outlined in the proposed ordinance.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, APPROVING BUDGET AMENDMENT NO. 2 TO THE BUDGET FOR THE FISCAL YEAR 2021

WHEREAS, the City of Republic, Missouri, ("City" or "Republic") is a municipal corporation and Charter City located in Greene County, Missouri, being duly created, organized, and existing under the laws of the State of Missouri; and

WHEREAS, on November 17, 2020, the Council approved an annual budget for the fiscal year 2021 in Ordinance 20-50; and

WHEREAS, on May 4, 2021, the Council approved budget amendment number 1 for the fiscal year 2021 in Ordinance 21-22; and

WHEREAS, the City Council has the authority to revise budgeted expenditures from any fund pursuant to the provisions of Sections 67.030 and 67.040 RSMo., Section 7.4 of the City Charter, and Section 135.040 of the Municipal Code; and

WHEREAS, the fiscal year 2021 budget must be amended for the City's budget to meet legal requirements and the City's financial needs.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AS FOLLOWS:

- Section 1. The total expenditures in the Wastewater Fund are increased by \$40,729.00 to a total of \$8,697,874.00.
- Section 2. The total expenditures in the Street Fund are increased by \$40,729.00 to a total of \$2,411,297.00.
- Section 3. The total expenditures in the Water Fund are increased by \$40,729.00 to a total of \$2,126,919.00.
- Section 4. All other provisions of Ordinance 20-50 and 21-22 not specifically referenced in this Ordinance shall remain unmodified and in full force and effect.
- Section 5. The whereas clauses are hereby specifically incorporated herein by reference.
- Section 6. The provisions of this Ordinance are severable, and if any provision hereof is declared invalid, unconstitutional, or unenforceable, such determination shall not affect the validity of the remainder of this Ordinance.
- Section 7. This Ordinance shall take effect and be in force from and after its passage as provided by law

BILL NO. 21-51


ORDINANCE NO.

PASSED AND APPROVED at a regular meeting of the City Council of the City of Republic, Missouri, this _____ day of _____ 2021.

Matt Russell, Mayor

Attest:

Laura Burbridge, City Clerk

Approved as to Form:  Digitally signed by Scott Ison
Date: 2021.06.09 13:24:52 -05'00', Scott Ison, City Attorney

Final Passage and Vote: _____

CITY OF REPUBLIC, MISSOURI
2021 Budget Amendment # 2

Amended Fund	Department	Budget Line Item	Description	Revenue/ Transfer In Increase (Decrease)	Expenditure/ Transfer In Increase (Decrease)
(220) Street	Street Department	220-422-51010	Taxes – ½ Cent Transportation Sales (Increase in sales tax revenue over budget)	\$326,846	
(220) Street	Street Department	220-422-51010	Salaries – 6 New Utility Construction Workers (Split Street/Water/Wastewater)		\$29,894
(220) Street	Street Department	220-422-52010	Benefits – 6 New Utility Construction Workers (Split Street/Water/Wastewater)		\$4,572
(220) Street	Street Department	220-422-52020	Taxes – 6 New Utility Construction Workers (Split Street/Water/Wastewater)		\$2,287
(220) Street	Street Department	220-422-52030	Lagers – 6 New Utility Construction Workers (Split Street/Water/Wastewater)		\$3,976
(510) Water	Water Department	510-440-48100	Refunds & Reimbursements – Developer Agreement Refunds	\$278,160	
(510) Water	Water Department	510-442-51010	Salaries – 6 New Utility Construction Workers (Split Street/Water/Wastewater)		\$29,894
(510) Water	Water Department	510-442-52010	Benefits – 6 New Utility Construction Workers (Split Street/Water/Wastewater)		\$4,572
(510) Water	Water Department	510-442-52020	Taxes – 6 New Utility Construction Workers (Split Street/Water/Wastewater)		\$2,287
(510) Water	Street Department	510-442-52030	Lagers – 6 New Utility Construction Workers (Split Street/Water/Wastewater)		\$3,976
(520) Wastewater	Wastewater Department	520-432-51010	Salaries – 6 New Utility Construction Workers (Split Street/Water/Wastewater)		\$29,894
(520) Wastewater	Wastewater Department	520-432-52010	Benefits – 6 New Utility Construction Workers (Split Street/Water/Wastewater)		\$4,572
(520) Wastewater	Wastewater Department	520-432-52020	Taxes – 6 New Utility Construction Workers (Split Street/Water/Wastewater)		\$2,287
(520) Wastewater	Wastewater Department	520-432-52030	Lagers – 6 New Utility Construction Workers (Split Street/Water/Wastewater)		\$3,976

CITY OF REPUBLIC, MISSOURI

2021 Budget Amendment #2

Fund Summary

DESCRIPTION	GENERAL FUND (100)						
	ADMIN**	COURT	POLICE	COMM DEV	FIRE	ANIMAL CTL	TOTAL GENERAL FUND
<i>Beginning Fund Balance 1/1/21*</i>							\$ 4,087,812
2021 Revenues	\$ 6,645,480	\$ 147,000	\$ 1,172,030	\$ 296,000	\$ 33,800	\$ 6,500	\$ 8,300,810
2021 Transfers In from Reserves**	\$ 170,000			\$ 65,000			\$ 235,000
2021 Expenditures	\$ 2,769,173	\$ 252,338	\$ 2,561,031	\$ 720,208	\$ 2,043,756	\$ 180,926	\$ 8,527,432
Net Income (Loss)	\$ 4,046,307	\$ (105,338)	\$ (1,389,001)	\$ (359,208)	\$ (2,009,956)	\$ (174,426)	\$ 8,378
<i>Ending Fund Balance 12/31/21*</i>							\$ 4,096,190
<i>Less Restricted and Reserved Cash</i>							\$ 1,266,380
<i>Unrestricted Cash Fund Balance 12/31/21*</i>							\$ 2,829,810

*Projected Beginning Balance (Subject to Change Based on Actual 2020 Year-End)

**Admin consists of Administration, City Clerk, Finance, Human Resources, Information Technology, Legal, Public Information Officer, and Utility Billing.

DESCRIPTION	PUBLIC WORKS				PARKS	FIRE TAX	CIST	DEBT
	STORM (330)	STREET (220)	WATER (510)	WASTEWATER (520)	PARKS & REC (210)	FIRE SALES TAX (320)	CAPITAL IMP TAX (310)	DEBT FUND (400)
<i>Beginning Fund Balance 1/1/2021*</i>	\$ 702,532	\$ 1,607,045	\$ 1,060,423	\$ 2,939,366	\$ 570,153	\$ 666,211	\$ 506,871	\$ 375,677
2021 Revenues	\$ 800	\$ 2,039,275	\$ 2,376,212	\$ 7,383,303	\$ 3,674,816	\$ 366,835	\$ 1,761,290	\$ 1,006,819
2021 Interfund Transfers			\$ 300,000					\$ -
2021 Transfers In from Reserves**	\$ -	\$ 348,600		\$ 1,189,026	\$ -	\$ -	\$ 1,501,304	\$ 147,907
2021 Expenditures	\$ 180,000	\$ 2,411,297	\$ 2,126,919	\$ 8,697,874	\$ 3,672,059	\$ 546,067	\$ 1,501,304	\$ 1,154,726
Net Income (Loss)	\$ (179,200)	\$ (23,422)	\$ 249,293	\$ (125,545)	\$ 2,757	\$ (179,232)	\$ 259,986	\$ -
<i>Ending Fund Balance 12/31/21*</i>	\$ 523,332	\$ 1,235,024	\$ 1,309,717	\$ 1,624,795	\$ 572,910	\$ 486,979	\$ 766,857	\$ 227,770
<i>Less Restricted and Reserved Cash</i>	\$ -	\$ 85,701	\$ 512,907	\$ 243,414	\$ 40,000	\$ -	\$ -	\$ -
<i>Unrestricted Cash Fund Balance 12/31/21*</i>	\$ 523,332	\$ 1,149,323	\$ 796,809	\$ 1,381,381	\$ 532,910	\$ 486,979	\$ 766,857	\$ 351,858

*Projected Beginning Balance (Subject to Change Based on Actual 2019 Year-End)

**Reserve Accounts are already in the Beginning Fund Balance. A transfer from reserves is not added as new revenue.

CITY OF REPUBLIC
2021 BUDGET AMENDMENT #2
 STREET DEPARTMENT

ACCOUNT #	ACCOUNT DESCRIPTION	5 YEAR TREND	2021 BUDGET REQUEST + Amendment #1	2021 Budget Amendment #2	2021 Budget	2020 BUDGET REQUEST	2019 ACTUAL	2018 ACTUAL	2017 ACTUAL	2016 ACTUAL
EXPENDITURES:										
220-422-51010	Salaries, Regular	\$ 342,053	\$ 358,274	\$ 29,894	\$ 388,168	\$ 347,825	\$ 344,843	\$ 329,683	\$ 348,649	\$ 339,265
220-422-51020	Salaries, Temporary	\$ 5,774	\$ 15,000	\$ -	\$ 15,000	\$ 15,000	\$ -	\$ 96	\$ 7,145	\$ 6,630
220-422-51030	Salaries, Part-Time	\$ 1,212	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 6,059
220-422-51040	Salaries, Overtime	\$ 12,448	\$ 20,000	\$ -	\$ 20,000	\$ 20,000	\$ 13,220	\$ 9,753	\$ 11,151	\$ 8,116
220-422-52010	Insurance, Group	\$ 52,285	\$ 49,382	\$ 4,572	\$ 53,954	\$ 47,671	\$ 52,109	\$ 47,136	\$ 54,989	\$ 59,519
220-422-52020	Payroll Taxes	\$ 26,421	\$ 30,085	\$ 2,287	\$ 32,372	\$ 29,287	\$ 25,772	\$ 24,728	\$ 26,475	\$ 25,842
220-422-52030	LAGERS	\$ 38,043	\$ 50,810	\$ 3,976	\$ 54,286	\$ 46,957	\$ 43,878	\$ 30,221	\$ 32,397	\$ 36,763
220-422-52050	Unemployment Benefits	\$ 426	\$ 500	\$ -	\$ 500	\$ 500	\$ 97	\$ 160	\$ 1,374	\$ -
220-422-52060	Insurance, Workers Compensation	\$ 27,516	\$ 29,810	\$ -	\$ 29,810	\$ 21,692	\$ 16,889	\$ 16,080	\$ 17,648	\$ 65,270
220-422-52065	Workers Compensation Claims Paid	\$ 183	\$ 1,000	\$ -	\$ 1,000	\$ 500	\$ -	\$ -	\$ -	\$ 417
220-422-52070	Other Employee Benefits	\$ 3,126	\$ 5,500	\$ -	\$ 5,500	\$ 5,235	\$ 3,162	\$ 2,169	\$ 2,997	\$ 2,066
220-422-52080	Employee Training	\$ 3,218	\$ 7,500	\$ -	\$ 7,500	\$ 5,000	\$ 3,733	\$ 2,283	\$ 4,115	\$ 960
220-422-52090	Uniforms	\$ 5,686	\$ 6,000	\$ -	\$ 6,000	\$ 6,000	\$ 5,346	\$ 6,615	\$ 5,716	\$ 4,752
220-422-61040	Legal Fees	\$ 1,319	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 38	\$ 6,555	\$ -
220-422-61060	Engineering Fees	\$ 8,560	\$ 100,000	\$ -	\$ 100,000	\$ 35,000	\$ 7,800	\$ -	\$ -	\$ -
220-422-62020	Repairs & Maintenance	\$ 28,224	\$ 35,000	\$ -	\$ 35,000	\$ 3,500	\$ 38,123	\$ 29,324	\$ 28,032	\$ 42,139
220-422-62028	Repairs & Maintenance, Construction	\$ 31,813	\$ 35,000	\$ -	\$ 35,000	\$ 50,000	\$ 33,004	\$ 30,567	\$ 30,034	\$ 15,460
220-422-62029	Repairs & Maintenance, Stormwater	\$ 4,143	\$ 5,000	\$ -	\$ 5,000	\$ 5,000	\$ 6,737	\$ 2,482	\$ 4,083	\$ 2,412
220-422-62030	Repairs & Maintenance, Signs	\$ 34,221	\$ 10,000	\$ -	\$ 10,000	\$ 20,000	\$ 51,055	\$ 47,828	\$ 47,897	\$ 4,323
220-422-63010	Insurance, Other than Employer	\$ 9,423	\$ 10,434	\$ -	\$ 10,434	\$ 9,158	\$ 13,394	\$ 13,723	\$ -	\$ 10,839
220-422-63020	Communications	\$ 395	\$ 500	\$ -	\$ 500	\$ 500	\$ 379	\$ 376	\$ 375	\$ 343
220-422-63040	Printing/Graphics/Advertising	\$ 462	\$ 100	\$ -	\$ 100	\$ 500	\$ 17	\$ 410	\$ 1,055	\$ 329
220-422-63050	Travel/Mileage/Registrations	\$ 288	\$ -	\$ -	\$ -	\$ 1,000	\$ 402	\$ -	\$ 36	\$ -
220-422-63060	Dues & Subscriptions	\$ 162	\$ -	\$ -	\$ -	\$ 500	\$ -	\$ -	\$ -	\$ 310
220-422-64010	Software Support & Licensing	\$ 1,208	\$ -	\$ -	\$ -	\$ 2,000	\$ 13	\$ -	\$ 2,061	\$ 1,963
220-422-64030	IT Hardware & Upgrades	\$ 500	\$ -	\$ -	\$ -	\$ 2,500	\$ -	\$ -	\$ -	\$ -
220-422-65020	Credit Cards and Online Fees	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
220-422-65040	Claims	\$ 123	\$ -	\$ -	\$ -	\$ 500	\$ -	\$ -	\$ 115	\$ -
220-422-65060	Operating Fees & Permits	\$ 100	\$ -	\$ -	\$ -	\$ 500	\$ -	\$ -	\$ -	\$ -
220-422-71010	General Supplies & Materials	\$ 5,530	\$ 7,500	\$ -	\$ 7,500	\$ 7,500	\$ 4,168	\$ 7,094	\$ 4,107	\$ 4,783
220-422-71020	Postage & Freight	\$ 166	\$ 100	\$ -	\$ 100	\$ 750	\$ 1	\$ 1	\$ 36	\$ 40
220-422-71030	Fuel	\$ 20,687	\$ 25,000	\$ -	\$ 25,000	\$ 25,000	\$ 19,186	\$ 22,419	\$ 20,324	\$ 16,507
220-422-71050	Miscellaneous	\$ 595	\$ 2,000	\$ -	\$ 2,000	\$ 2,500	\$ 384	\$ -	\$ -	\$ 92
220-422-71050	Miscellaneous	\$ 591	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 176	\$ 2,780
220-422-71070	Public Education	\$ 50	\$ -	\$ -	\$ -	\$ 250	\$ -	\$ -	\$ -	\$ -
220-422-72040	Safety Program	\$ 1,792	\$ 5,000	\$ -	\$ 5,000	\$ 5,000	\$ 1,780	\$ 235	\$ 1,499	\$ 443
220-422-72060	Mosquito Control Program	\$ 1,067	\$ 1,100	\$ -	\$ 1,100	\$ 1,000	\$ 930	\$ 680	\$ -	\$ 2,727
220-422-75010	Utilities	\$ 209,824	\$ 225,000	\$ -	\$ 225,000	\$ 225,000	\$ 192,145	\$ 221,793	\$ 215,892	\$ 194,290
220-422-81010	Capital, Vehicles	\$ 74,408	\$ 122,500	\$ -	\$ 122,500	\$ 165,000	\$ 123,400	\$ 14,500	\$ 18,500	\$ 50,641
220-422-81020	Capital, Projects	\$ 121,650	\$ 309,039	\$ -	\$ 309,039	\$ -	\$ -	\$ 608,252	\$ -	\$ -
220-422-81021	Capital Projects, Garton Park	\$ 54,293	\$ -	\$ -	\$ -	\$ 2,749	\$ 1,389	\$ -	\$ 267,326	\$ -
220-422-81022	Special Projects, Sidewalks & Trails	\$ 8,954	\$ 50,000	\$ -	\$ 50,000	\$ -	\$ -	\$ -	\$ 15,191	\$ 29,580
220-422-81028	Capital, Project Stormwater	\$ 103,201	\$ -	\$ -	\$ -	\$ 100,000	\$ -	\$ 17,778	\$ 398,228	\$ -
220-422-81031	Special Projects, Streets	\$ 38,172	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 65,858	\$ 125,000
220-422-81032	Special Projects, Hines & Oakwood	\$ 558,657	\$ -	\$ -	\$ -	\$ 1,679,271	\$ 716,170	\$ 180,483	\$ 217,363	\$ -
220-422-81060	Equipment & Furniture	\$ 8,528	\$ -	\$ -	\$ -	\$ 7,891	\$ 32,748	\$ -	\$ 2,000	\$ -
220-422-81072	Easement Acquisitions	\$ 101	\$ -	\$ -	\$ -	\$ 135	\$ -	\$ 30	\$ 339	\$ -
220-422-81075	Street Lights & Poles	\$ 7,976	\$ 5,000	\$ -	\$ 5,000	\$ 15,000	\$ 8,888	\$ 6,007	\$ 767	\$ 9,219
220-422-81076	Street Resurfacing	\$ 170,209	\$ 450,000	\$ -	\$ 450,000	\$ 150,000	\$ 47,755	\$ 164,267	\$ 221,060	\$ 267,962
220-422-91010	Lease Payments	\$ 19,477	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 32,461	\$ 32,461	\$ 32,461
220-422-91020	Bond Payments	\$ 121,353	\$ -	\$ -	\$ -	\$ 120,000	\$ 118,105	\$ 128,401	\$ 117,020	\$ 123,238
220-422-91030	Loan Payments	\$ 159,796	\$ -	\$ -	\$ -	\$ -	\$ 625,202	\$ 76,375	\$ 48,206	\$ 49,198
220-422-9990	Transfer to Debt Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
TOTAL STREET DEPARTMENT EXPENDITURES		\$ 2,326,406	\$ 1,971,635	\$ 40,729	\$ 2,012,364	\$ 1,493,325	\$ 3,491,963	\$ 2,644,241	\$ 2,240,062	\$ 1,762,441
STREET ADMINISTRATION		\$ 274,405	\$ 398,933	\$ -	\$ 398,933	\$ 300,198	\$ 269,257	\$ 306,991	\$ 328,046	\$ 167,533
TOTAL STREET DEPARTMENT EXPENSES		\$ 2,600,811	\$ 2,370,568	\$ 40,729	\$ 2,411,297	\$ 1,793,523	\$ 3,761,220	\$ 2,951,231	\$ 2,568,107	\$ 1,929,974
TOTAL REVENUE MINUS TOTAL EXPENSES		\$ 2,157,185	\$ (309,539)	\$ 286,117	\$ (23,422)	\$ (143,545)	\$ 11,540,344	\$ (126,226)	\$ (132,648)	\$ (351,999)

CITY OF REPUBLIC
2021 BUDGET AMENDMENT #2
 WATER DEPARTMENT

ACCOUNT #	ACCOUNT DESCRIPTION	5 YEAR TREND	2021 BUDGET REQUEST + Amendment #1	2021 Budget Amendment #2	2021 Budget	2020 BUDGET REQUEST	2019 ACTUAL	2018 ACTUAL	2017 ACTUAL	2016 ACTUAL
EXPENDITURES: WATER DEPT										
510-442-51010	Salaries, Regular	\$ 307,226	\$ 317,846	\$ 29,894	\$ 347,740	\$ 366,804	\$ 335,547	\$ 270,892	\$ 290,026	\$ 272,860
510-442-51030	Salaries, Part Time	\$ 7,384	\$ 7,500	\$ -	\$ 7,500	\$ 6,000	\$ 8,256	\$ 10,614	\$ 5,536	\$ 6,515
510-442-51040	Salaries, Overtime	\$ 32,343	\$ 35,000	\$ -	\$ 35,000	\$ 30,000	\$ 37,404	\$ 56,244	\$ 21,511	\$ 16,557
510-442-52010	Insurance, Group	\$ 42,698	\$ 38,408	\$ 4,572	\$ 42,980	\$ 47,671	\$ 48,075	\$ 32,953	\$ 39,840	\$ 44,949
510-442-52020	Payroll Taxes	\$ 26,042	\$ 27,566	\$ 2,287	\$ 29,853	\$ 30,688	\$ 28,881	\$ 27,092	\$ 22,639	\$ 20,912
510-442-52030	LAGERS	\$ 32,517	\$ 46,928	\$ 3,976	\$ 50,904	\$ 48,776	\$ 47,327	\$ 7,839	\$ 28,190	\$ 30,453
510-442-52050	Unemployment Benefits	\$ 100	\$ 500	\$ -	\$ 500	\$ 500	\$ -	\$ -	\$ -	\$ -
510-442-52060	Insurance, Workers Compensation	\$ 12,810	\$ 17,225	\$ -	\$ 17,225	\$ 20,590	\$ 15,279	\$ 9,433	\$ 9,414	\$ 9,334
510-442-52065	Worker Compensation Claims Paid	\$ 60	\$ 500	\$ -	\$ 500	\$ 300	\$ -	\$ -	\$ -	\$ -
510-442-52070	Other Employee Benefits	\$ 2,646	\$ 2,700	\$ -	\$ 2,700	\$ 2,618	\$ 4,859	\$ 1,676	\$ 2,391	\$ 1,685
510-442-52080	Employee Training	\$ 2,508	\$ 4,000	\$ -	\$ 4,000	\$ 3,000	\$ 2,870	\$ 5,139	\$ 538	\$ 994
510-442-52090	Uniforms	\$ 4,466	\$ 7,000	\$ -	\$ 7,000	\$ 5,000	\$ 6,591	\$ 4,248	\$ 3,500	\$ 2,989
510-442-61060	Engineering Fees	\$ 14,698	\$ 25,000	\$ -	\$ 25,000	\$ 1,500	\$ -	\$ 63,250	\$ 8,739	\$ -
510-442-62020	Repairs & Maintenance	\$ 19,976	\$ 25,000	\$ -	\$ 25,000	\$ 15,000	\$ 26,685	\$ 35,708	\$ 11,976	\$ 10,512
510-442-62023	Repairs & Maintenance, Tanks	\$ 11,805	\$ 25,000	\$ -	\$ 25,000	\$ 18,000	\$ 14,725	\$ 18,800	\$ 7,500	\$ -
510-442-62024	Repairs & Maintenance, Wells	\$ 19,391	\$ 17,000	\$ -	\$ 17,000	\$ 17,000	\$ 14,182	\$ 32,880	\$ 14,334	\$ 18,559
510-442-62025	Repairs and Maintenance, Dist. Sys	\$ 58,238	\$ 75,000	\$ -	\$ 75,000	\$ 85,000	\$ 56,429	\$ 52,225	\$ 55,668	\$ 41,867
510-442-63010	Insurance, Other than Employer	\$ 10,852	\$ 16,050	\$ -	\$ 16,050	\$ 21,591	\$ 15,000	\$ 17,567	\$ -	\$ 103
510-442-63020	Communications	\$ 4,505	\$ 5,000	\$ -	\$ 5,000	\$ 5,000	\$ 4,305	\$ 3,541	\$ 5,737	\$ 3,942
510-442-63040	Printing/Fraphtics/Advertising	\$ 535	\$ 250	\$ -	\$ 250	\$ 250	\$ 1,940	\$ 236	\$ 163	\$ 84
510-442-63050	Travel/Mileage/Registrations	\$ 98	\$ 250	\$ -	\$ 250	\$ 250	\$ -	\$ 140	\$ 101	\$ -
510-442-63060	Dues & Subscriptions	\$ 9,229	\$ 12,000	\$ -	\$ 12,000	\$ 12,000	\$ 11,343	\$ 4,557	\$ 16,175	\$ 2,072
510-442-64010	Software Support & Licensing	\$ 4,695	\$ 7,000	\$ -	\$ 7,000	\$ 7,500	\$ 6,160	\$ 2,518	\$ 5,336	\$ 1,963
510-442-64020	Computer Network & Internet	\$ 150	\$ 500	\$ -	\$ 500	\$ 750	\$ -	\$ -	\$ -	\$ -
510-442-64030	IT Hardware & Upgrades	\$ 785	\$ 1,000	\$ -	\$ 1,000	\$ 1,000	\$ 2,805	\$ 120	\$ -	\$ -
510-442-65010	Refunds & Reimbursements	\$ 322	\$ -	\$ -	\$ -	\$ -	\$ 89	\$ (42)	\$ 1,564	\$ -
510-442-65020	Credit Cards & Online Fees	\$ 6,371	\$ 2,500	\$ -	\$ 2,500	\$ 27,938	\$ 2,660	\$ 384	\$ 507	\$ 367
510-442-65040	Claims	\$ 332	\$ 500	\$ -	\$ 500	\$ 500	\$ -	\$ 1,000	\$ 160	\$ -
510-442-65050	Miscellaneous Fees	\$ 57	\$ 100	\$ -	\$ 100	\$ 100	\$ -	\$ -	\$ 97	\$ 88
510-442-65060	Operating Fees & Permits	\$ 104	\$ 250	\$ -	\$ 250	\$ 250	\$ 250	\$ -	\$ 20	\$ -
510-442-71010	General Supplies & Materials	\$ 1,842	\$ 1,000	\$ -	\$ 1,000	\$ 1,000	\$ 2,767	\$ 2,818	\$ 1,494	\$ 1,128
510-442-71020	Postage & Freight	\$ 152	\$ 500	\$ -	\$ 500	\$ 250	\$ 495	\$ 124	\$ (180)	\$ 69
510-442-71030	Fuel	\$ 12,816	\$ 15,000	\$ -	\$ 15,000	\$ 15,000	\$ 14,054	\$ 15,104	\$ 11,467	\$ 8,452
510-442-71050	Miscellaneous	\$ 269	\$ 500	\$ -	\$ 500	\$ 805	\$ 279	\$ 69	\$ -	\$ 192
510-442-71070	Public Education	\$ 115	\$ 100	\$ -	\$ 100	\$ 285	\$ -	\$ 288	\$ -	\$ -
510-442-71080	Chemicals	\$ 6,812	\$ 8,500	\$ -	\$ 8,500	\$ 10,000	\$ 7,151	\$ 9,575	\$ 5,274	\$ 2,059
510-442-72040	Safety Program	\$ 963	\$ 1,500	\$ -	\$ 1,500	\$ 2,000	\$ 1,704	\$ 322	\$ 504	\$ 286
510-442-75010	Utilities	\$ 179,755	\$ 185,000	\$ -	\$ 185,000	\$ 180,000	\$ 185,339	\$ 174,100	\$ 190,987	\$ 168,351
510-442-81010	Capital, Vehicles	\$ 24,295	\$ 52,520	\$ -	\$ 52,520	\$ 55,000	\$ 11,403	\$ (552)	\$ 8,000	\$ 47,624
510-442-81020	Capital, Projects	\$ 158,038	\$ 104,375	\$ -	\$ 104,375	\$ 70,000	\$ 224,820	\$ 80,026	\$ 290,394	\$ 124,947
510-442-81021	Capital Projects, Garton Park	\$ 49,707	\$ -	\$ -	\$ -	\$ 150,000	\$ 38,915	\$ -	\$ 59,620	\$ -
510-442-81060	Equipment & Furniture	\$ 18,382	\$ 25,000	\$ -	\$ 25,000	\$ -	\$ 14,046	\$ 9,785	\$ 66,161	\$ 1,920
510-442-81070	Meters	\$ 33,193	\$ 40,000	\$ -	\$ 40,000	\$ 35,000	\$ 19,638	\$ 21,038	\$ 87,003	\$ 3,284
510-442-81071	New Line Extensions	\$ 16,668	\$ 60,000	\$ -	\$ 60,000	\$ 64,000	\$ -	\$ 6,837	\$ 6,858	\$ 5,647
510-442-81072	Easement Acquisitions	\$ 65	\$ -	\$ -	\$ -	\$ -	\$ 165	\$ 72	\$ 90	\$ -
	Debt Service	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
510-442-81090	Depreciation Expense	\$ 47,090	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 235,451	\$ -	\$ -
510-442-91010	Lease Payments	\$ 7,209	\$ 272,439	\$ -	\$ 272,439	\$ -	\$ 34,302	\$ 1,049	\$ 697	\$ -
510-442-91020	Bond Payments	\$ 154,293	\$ -	\$ -	\$ -	\$ 273,927	\$ 272,781	\$ 127,104	\$ 97,652	\$ -
TOTAL WATER DEPT. EXPENSES		\$ 1,344,606	\$ 1,484,007	\$ 40,729	\$ 1,524,736	\$ 1,632,843	\$ 1,519,521	\$ 1,342,222	\$ 1,377,682	\$ 850,764
WATER ADMINISTRATION		\$ 380,530	\$ 602,183	\$ -	\$ 602,183	\$ 483,133	\$ 510,928	\$ 431,093	\$ 477,497	\$ -
TOTAL WATER DEPARTMENT EXPENSES		\$ 1,524,253	\$ 2,086,190	\$ 40,729	\$ 2,126,919	\$ 2,115,975	\$ 2,030,449	\$ 1,773,315	\$ 850,764	\$ 850,764
TOTAL WATER DEPARTMENT REVENUE		\$ 2,082,205	\$ 2,082,052	\$ 278,160	\$ 2,376,212	\$ 2,109,275	\$ 2,205,956	\$ 2,401,164	\$ 1,980,973	\$ 1,713,656
TOTAL REVENUE MINUS TOTAL EXPENSES		\$ 557,951	\$ 11,862	\$ 237,431	\$ 249,293	\$ (6,700)	\$ 175,507	\$ 627,849	\$ 1,130,209	\$ 862,892

CITY OF REPUBLIC
2021 Budget Amendment #2
WASTEWATER DEPARTMENT

ACCOUNT #	ACCOUNT DESCRIPTION	5 YEAR TREND	2021 BUDGET REQUEST + Amendment #1	2021 Budget Amendment #2	2021 Budget	2020 BUDGET REQUEST	2019 ACTUAL	2018 ACTUAL	2017 ACTUAL	2016 ACTUAL
REVENUE:										
520-432-44102	Impact Fees	\$ 125,221	\$ 125,221	\$ -	\$ 125,221	\$ 110,000	\$ 147,750	\$ 118,450	\$ 161,095	\$ 88,810
520-432-44303	Construction Inspection Fees	\$ 1,901	\$ 9,503	\$ -	\$ 9,503	\$ -	\$ 9,503	\$ -	\$ -	\$ -
520-432-44502	Sales-Residential	\$ 3,176,643	\$ 2,608,630	\$ -	\$ 2,608,630	\$ 3,300,000	\$ 3,115,175	\$ 3,375,964	\$ 3,279,722	\$ 2,812,355
520-432-44503	Sales - Commercial	\$ -	\$ 600,000	\$ -	\$ 600,000	\$ -	\$ -	\$ -	\$ -	\$ -
520-432-44803	Account Set-Up Fees	\$ 2,997	\$ -	\$ -	\$ -	\$ 4,000	\$ -	\$ 25	\$ 3,780	\$ 7,180
520-432-44804	Late Fees	\$ 13,830	\$ 24,450	\$ -	\$ 24,450	\$ 20,000	\$ 24,450	\$ 24,701	\$ -	\$ -
520-432-45114	Admissions	\$ 22,851	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 114,256	\$ -
520-432-47000	Interest Revenue	\$ 50,337	\$ 1,000	\$ -	\$ 1,000	\$ 20,000	\$ 52,836	\$ 144,853	\$ 23,235	\$ 10,760
520-432-48100	Refunds & Reimbursements	\$ 63,161	\$ 10,000	\$ -	\$ 10,000	\$ 226,806	\$ 78,259	\$ 3,020	\$ 989	\$ 6,732
520-432-48130	Collections	\$ 171	\$ -	\$ -	\$ -	\$ 250	\$ -	\$ 33	\$ 68	\$ 502
520-432-47300	SRF Investment Revenue	\$ 39,320	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 196,602	\$ -	\$ -
520-432-49001	Developer Donated Infrastructure	\$ 30,296	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 151,480	\$ -	\$ -
520-432-49400	Gain on Sale of Assets	\$ 4,935	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 24,674	\$ -	\$ -
520-430-42503	Sewer Inspection Fees	\$ 3,172	\$ 4,500	\$ -	\$ 4,500	\$ 4,500	\$ -	\$ -	\$ 3,880	\$ 7,480
	Proceeds from Financing	\$ -	\$ 4,000,000	\$ -	\$ 4,000,000	\$ -	\$ -	\$ -	\$ -	\$ -
	TOTAL REVENUES	\$ 3,534,835	\$ 7,383,303	\$ -	\$ 7,383,303	\$ 3,685,556	\$ 3,427,973	\$ 4,039,801	\$ 3,587,025	\$ 2,933,820
	Transfers Reserves/Other Funds									
	Transfer Unspent Cash Balance	\$ -	\$ 452,000	\$ -	\$ 452,000	\$ -	\$ -	\$ -	\$ -	\$ -
	Transfer CIP Reserve	\$ -	\$ 345,226	\$ -	\$ 345,226	\$ -	\$ -	\$ -	\$ 989,059	\$ -
	Transfer Impact Fees	\$ -	\$ 391,800	\$ -	\$ 391,800	\$ -	\$ -	\$ -	\$ 654,515	\$ 7,480
	TOTAL REVENUES & TRANSFERS	\$ -	\$ 8,672,330	\$ -	\$ 8,672,330	\$ 3,685,556	\$ 3,427,973	\$ 4,039,801	\$ 5,230,599	\$ 2,941,300

CITY OF REPUBLIC
2021 Budget Amendment #2
WASTEWATER DEPARTMENT

ACCOUNT #	ACCOUNT DESCRIPTION	5 YEAR TREND	2021 BUDGET REQUEST + Amendment #1	2021 Budget Amendment #2	2021 Budget	2020 BUDGET REQUEST	2019 ACTUAL	2018 ACTUAL	2017 ACTUAL	2016 ACTUAL
EXPENDITURES:										
WASTEWATER ADMINISTRATION										
520-431-51010	Salaries, Regular	\$ 100,106	\$ 126,571	\$ -	\$ 126,571	\$ 126,859	\$ 108,192	\$ 139,592	\$ 125,886	\$ -
520-431-51020	Salaries, Temporary	\$ 25	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 124	\$ -	\$ -
520-431-51040	Salaries, Overtime	\$ 704	\$ 1,667	\$ -	\$ 1,667	\$ 1,600	\$ 176	\$ 526	\$ 1,220	\$ -
520-431-52010	Insurance, Group	\$ 10,206	\$ 11,888	\$ -	\$ 11,888	\$ 11,035	\$ 10,591	\$ 13,032	\$ 16,371	\$ -
520-431-52020	Payroll Taxes	\$ 7,386	\$ 9,683	\$ -	\$ 9,683	\$ 9,828	\$ 7,978	\$ 9,719	\$ 9,404	\$ -
520-431-52030	LACERS	\$ 9,248	\$ 16,834	\$ -	\$ 16,834	\$ 17,126	\$ 14,338	\$ 2,799	\$ 11,977	\$ -
520-431-52050	Unemployment Benefits	\$ 14	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 68	\$ -
520-431-52060	Insurance, Workers Compensation	\$ 685	\$ 1,000	\$ -	\$ 1,000	\$ 217	\$ 2,739	\$ 163	\$ 308	\$ -
520-431-52070	Other Employee Benefits	\$ 809	\$ 1,000	\$ -	\$ 1,000	\$ 1,288	\$ 908	\$ 1,006	\$ 844	\$ -
520-431-52080	Employee Training	\$ 773	\$ 5,000	\$ -	\$ 5,000	\$ 1,500	\$ 1,539	\$ 595	\$ 230	\$ -
520-431-52090	Uniforms	\$ 563	\$ 1,200	\$ -	\$ 1,200	\$ 1,000	\$ 1,189	\$ 445	\$ 181	\$ -
520-431-61040	Legal Fees	\$ 125	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 625	\$ -	\$ -
520-431-61060	Engineering Fees	\$ 2,284	\$ 250	\$ -	\$ 250	\$ 5,000	\$ 250	\$ 105	\$ 6,064	\$ -
520-431-61080	Contract Operations	\$ 32,166	\$ 2,500	\$ -	\$ 2,500	\$ 2,500	\$ 151,854	\$ 3,821	\$ 2,656	\$ -
520-431-62020	Repairs & Maintenance	\$ 1,802	\$ 1,250	\$ -	\$ 1,250	\$ 1,250	\$ 1,041	\$ 4,375	\$ 2,346	\$ -
520-431-63010	Insurance, Other than Employer	\$ 657	\$ 1,605	\$ -	\$ 1,605	\$ 1,500	\$ 1,000	\$ 955	\$ (171)	\$ -
520-431-63020	Communications	\$ 548	\$ 1,200	\$ -	\$ 1,200	\$ 600	\$ 1,337	\$ 484	\$ 320	\$ -
520-431-63040	Printing/Graphics/Advertising	\$ 456	\$ 750	\$ -	\$ 750	\$ 750	\$ 930	\$ 395	\$ 203	\$ -
520-431-63050	Travel/Mileage/Registrations	\$ 142	\$ 500	\$ -	\$ 500	\$ 500	\$ -	\$ 85	\$ 127	\$ -
520-431-63060	Dues & Subscriptions	\$ 783	\$ 2,000	\$ -	\$ 2,000	\$ 1,000	\$ 1,952	\$ 331	\$ 634	\$ -
520-431-64010	Software Support & Licensing	\$ 2,103	\$ 5,000	\$ -	\$ 5,000	\$ 5,000	\$ 4,408	\$ 822	\$ 285	\$ -
520-431-64020	Computer Network/ & Internet	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
520-431-64040	Computer & Software Training	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
520-431-65010	Refunds & Reimbursements	\$ 171	\$ -	\$ -	\$ -	\$ -	\$ 853	\$ -	\$ -	\$ -
520-431-65060	Operating Fees & Permits	\$ 255	\$ 500	\$ -	\$ 500	\$ 500	\$ 258	\$ 200	\$ 314	\$ -
520-431-71010	General Supplies & Materials	\$ 2,281	\$ 2,500	\$ -	\$ 2,500	\$ 2,500	\$ 5,655	\$ 2,088	\$ 1,164	\$ -
520-431-71020	Postage & Freight	\$ 119	\$ 250	\$ -	\$ 250	\$ 250	\$ 83	\$ 45	\$ 218	\$ -
520-431-71030	Fuel	\$ 1,086	\$ 2,000	\$ -	\$ 2,000	\$ 2,000	\$ 1,310	\$ 887	\$ 1,230	\$ -
520-431-71050	Other	\$ 24	\$ 200	\$ -	\$ 200	\$ -	\$ 115	\$ -	\$ 6	\$ -
520-431-71070	Public Education	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
520-431-71080	Safety Program	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
520-431-75010	Utilities	\$ 1,522	\$ 2,000	\$ -	\$ 2,000	\$ 2,000	\$ 1,886	\$ 1,915	\$ 1,808	\$ -
520-431-81030	Capital, Assets	\$ 1,985	\$ 86,667	\$ -	\$ 86,667	\$ 3,000	\$ -	\$ 130	\$ 6,793	\$ -
520-431-99000	Transfer - Admin Allocation	\$ 98,975	\$ 195,443	\$ -	\$ 195,443	\$ 135,254	\$ 116,403	\$ 135,532	\$ 107,688	\$ -
520-431-99100	Transfer - Building Maintenance	\$ 1,638	\$ 5,200	\$ -	\$ 5,200	\$ 5,179	\$ 1,684	\$ 1,329	\$ -	\$ -
520-431-99200	Transfer - Utility Billing	\$ 146,256	\$ 198,469	\$ -	\$ 198,469	\$ 176,725	\$ 173,791	\$ 212,915	\$ 167,850	\$ -
	TOTAL WASTEWATER ADMIN EXPENSES	\$ 425,897	\$ 683,127	\$ -	\$ 683,127	\$ 515,960	\$ 612,462	\$ 535,937	\$ 466,024	\$ -

CITY OF REPUBLIC
2021 Budget Amendment #2
WASTEWATER DEPARTMENT

ACCOUNT #	ACCOUNT DESCRIPTION	5 YEAR TREN	2021 BUDGET REQUEST + Amendment #1	2021 Budget Amendment #2	2021 Budget	2020 BUDGET REQUEST	2019 ACTUAL	2018 ACTUAL	2017 ACTUAL	2016 ACTUAL	
WASTEWATER PLANT											
520-432-51010	Salaries, Regular	\$ 318,664	\$ 514,810	\$ 29,894	\$ 544,704	\$ 394,153	\$ 355,403	\$ 334,803	\$ 253,285	\$ 255,674	
520-432-51020	Salaries, Temporary	\$ 6,314	\$ 7,500	\$ -	\$ 7,500	\$ 10,000	\$ -	\$ 2,376	\$ 9,086	\$ 10,106	
520-432-51040	Salaries, Overtime	\$ 17,215	\$ 33,000	\$ -	\$ 33,000	\$ 20,000	\$ 20,089	\$ 15,589	\$ 19,058	\$ 11,339	
520-432-52010	Insurance, Group	\$ 50,105	\$ 61,161	\$ 4,572	\$ 65,733	\$ 52,968	\$ 54,417	\$ 55,364	\$ 39,193	\$ 48,581	
520-432-52020	Payroll Taxes	\$ 24,692	\$ 42,481	\$ 2,287	\$ 44,768	\$ 32,836	\$ 26,029	\$ 23,546	\$ 20,670	\$ 20,378	
520-432-52030	LAGERS	\$ 31,243	\$ 72,859	\$ 3,976	\$ 76,835	\$ 53,211	\$ 48,752	\$ 7,455	\$ 22,097	\$ 24,699	
520-432-52050	Unemployment Benefits	\$ 1,770	\$ 2,500	\$ -	\$ 2,500	\$ -	\$ -	\$ 3,861	\$ -	\$ 2,488	
520-432-52060	Insurance, Workers Compensation	\$ 5,958	\$ 7,500	\$ -	\$ 7,500	\$ 8,368	\$ 5,934	\$ 3,976	\$ 5,775	\$ 5,737	
520-432-52065	Workers Compensation Claims Paid	\$ 273	\$ 1,000	\$ -	\$ 1,000	\$ 1,000	\$ -	\$ -	\$ 120	\$ 244	
520-432-52070	Other Employee Benefits	\$ 2,029	\$ 2,618	\$ -	\$ 2,618	\$ 2,244	\$ 1,199	\$ 2,096	\$ 2,903	\$ 1,701	
520-432-52080	Employee Training	\$ 2,657	\$ 2,000	\$ -	\$ 2,000	\$ 3,000	\$ 2,254	\$ 4,216	\$ 1,860	\$ 1,953	
520-432-52090	Uniforms	\$ 4,272	\$ 5,000	\$ -	\$ 5,000	\$ 5,000	\$ 1,927	\$ 4,463	\$ 5,654	\$ 4,314	
520-432-61060	Engineering Fees	\$ 125,954	\$ 1,083,995	\$ -	\$ 1,083,995	\$ 250,000	\$ 4,714	\$ 337,742	\$ 4,875	\$ 32,437	
520-432-62020	Repairs & Maintenance	\$ 83,330	\$ 95,000	\$ -	\$ 95,000	\$ 95,000	\$ 116,448	\$ 82,253	\$ 75,067	\$ 47,883	
520-432-62026	Repairs & Maintenance, Lift Station	\$ 56,652	\$ 500,000	\$ -	\$ 500,000	\$ 100,000	\$ 12,330	\$ 12,141	\$ 126,095	\$ 32,693	
520-432-62027	Repairs & Maintenance, Coll Sys	\$ 14,276	\$ 30,000	\$ -	\$ 30,000	\$ 30,000	\$ 18,469	\$ 17,258	\$ 4,856	\$ 796	
520-432-63010	Insurance, Other than Employer	\$ 24,304	\$ 44,145	\$ -	\$ 44,145	\$ 38,904	\$ 48,040	\$ 34,474	\$ -	\$ 103	
520-432-63020	Communications	\$ 17,567	\$ 10,000	\$ -	\$ 10,000	\$ 10,000	\$ 11,707	\$ 6,409	\$ 29,280	\$ 30,461	
520-432-63040	Printing/Graphics/Advertising	\$ 769	\$ 500	\$ -	\$ 500	\$ 500	\$ 1,956	\$ 163	\$ 386	\$ 840	
520-432-63050	Travel/Mileage/Registrations	\$ 435	\$ 100	\$ -	\$ 100	\$ 1,500	\$ 32	\$ 611	\$ 33	\$ -	
520-432-63060	Dues & Subscriptions	\$ 2,980	\$ 5,000	\$ -	\$ 5,000	\$ 5,000	\$ 2,545	\$ 2,261	\$ 2,637	\$ 2,467	
520-432-63083	Lab Testing	\$ 11,473	\$ 20,000	\$ -	\$ 20,000	\$ 15,000	\$ 16,710	\$ 9,669	\$ 9,391	\$ 6,398	
520-432-63084	Sludge Disposal	\$ 11,796	\$ 25,000	\$ -	\$ 25,000	\$ 10,000	\$ 32,253	\$ 4,456	\$ 12,173	\$ 96	
520-432-64010	Software Support & Licensing	\$ 5,976	\$ 10,000	\$ -	\$ 10,000	\$ 10,000	\$ 6,415	\$ 3,013	\$ 5,336	\$ 5,118	
520-432-64020	Computer Network/Internet Services	\$ 200	\$ 1,000	\$ -	\$ 1,000	\$ 1,000	\$ -	\$ -	\$ -	\$ -	
520-432-64030	IT Hardware & Upgrades	\$ 235	\$ 1,000	\$ -	\$ 1,000	\$ 1,000	\$ -	\$ 16	\$ -	\$ 160	
520-432-64040	Computer & Software Training	\$ 3,000	\$ 3,000	\$ -	\$ 3,000	\$ 15,000	\$ -	\$ -	\$ -	\$ -	
520-432-65020	Credit Card and Online Fees	\$ 7,059	\$ 2,500	\$ -	\$ 2,500	\$ 27,938	\$ 2,656	\$ 4,702	\$ -	\$ -	
520-432-65040	Claims	\$ 9,484	\$ 1,000	\$ -	\$ 1,000	\$ 7,500	\$ -	\$ -	\$ 39,920	\$ -	
520-432-65050	Miscellaneous Fees	\$ 466	\$ 500	\$ -	\$ 500	\$ 500	\$ -	\$ 1,199	\$ 333	\$ 298	
520-432-65060	Operating Fees & Permits	\$ 119	\$ 500	\$ -	\$ 500	\$ 500	\$ 69	\$ 9	\$ 20	\$ -	
520-432-65070	Primary Fee	\$ 1,228	\$ 3,000	\$ -	\$ 3,000	\$ 2,500	\$ 3,641	\$ -	\$ -	\$ -	
520-432-71010	General Supplies & Materials	\$ 10,708	\$ 15,000	\$ -	\$ 15,000	\$ 15,000	\$ 13,047	\$ 11,454	\$ 5,003	\$ 9,035	
520-432-71017	Supplies, Lab	\$ 12,376	\$ 15,000	\$ -	\$ 15,000	\$ 12,000	\$ 15,411	\$ 11,798	\$ 10,902	\$ 11,770	
520-432-71020	Postage & Freight	\$ 635	\$ 750	\$ -	\$ 750	\$ 750	\$ 53	\$ 434	\$ 461	\$ 1,478	
520-432-71030	Fuel	\$ 14,966	\$ 15,000	\$ -	\$ 15,000	\$ 16,500	\$ 15,758	\$ 16,500	\$ 16,172	\$ 9,899	
520-432-71030	Miscellaneous	\$ -	\$ 100	\$ -	\$ 100	\$ -	\$ 5,495	\$ -	\$ -	\$ -	
520-432-71070	Public Education	\$ 100	\$ 250	\$ -	\$ 250	\$ 500	\$ -	\$ -	\$ -	\$ -	
520-432-71080	Safety Program	\$ 1,726	\$ 2,000	\$ -	\$ 2,000	\$ 2,000	\$ 4,963	\$ 680	\$ 188	\$ 801	
520-432-71090	Chemicals	\$ 3,875	\$ 5,000	\$ -	\$ 5,000	\$ 5,000	\$ 3,162	\$ 3,600	\$ 3,114	\$ 4,499	
520-432-72050	I&I Reduction Program	\$ 25,853	\$ 75,000	\$ -	\$ 75,000	\$ 100,000	\$ -	\$ -	\$ 29,264	\$ -	
520-432-75010	Utilities	\$ 303,424	\$ 320,000	\$ -	\$ 320,000	\$ 305,000	\$ 320,599	\$ 329,996	\$ 294,642	\$ 266,882	
520-432-81010	Capital, Vehicles	\$ 47,811	\$ -	\$ -	\$ -	\$ 55,000	\$ 39,906	\$ 552	\$ 137,250	\$ 6,345	
520-432-81020	Capital, Projects	\$ 522,809	\$ 4,450,000	\$ -	\$ 4,450,000	\$ 1,200,000	\$ -	\$ -	\$ 1,347,394	\$ 66,652	
520-432-81021	Special Project, Garton Park	\$ 60,839	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 304,195	\$ -	
520-432-81060	Equipment & Furniture	\$ 24,083	\$ 15,000	\$ -	\$ 15,000	\$ 10,000	\$ 36,734	\$ 60,898	\$ 5,374	\$ 7,406	
520-432-81070	Meters	\$ -	\$ 40,000	\$ -	\$ 40,000	\$ -	\$ 19,638	\$ -	\$ -	\$ -	
520-432-81072	Easement Acquisitions	\$ 7	\$ -	\$ -	\$ -	\$ -	\$ 33	\$ -	\$ -	\$ -	
520-432-81073	WWTP	\$ 36,033	\$ 150,000	\$ -	\$ 150,000	\$ 150,000	\$ 13,112	\$ 16,902	\$ 151	\$ -	
520-432-81074	Utility Relocations	\$ 29	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 147	\$ -	\$ -	
520-432-91010	Debt Service	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
520-432-91010	Lease Payments	\$ 247,357	\$ 282,249	\$ -	\$ 282,249	\$ 1,190,000	\$ 43,657	\$ 1,335	\$ 1,793	\$ -	
520-432-91020	1999 Series Bonds	\$ 580,991	\$ -	\$ -	\$ -	\$ -	\$ 1,403,788	\$ 345,309	\$ 1,155,856	\$ -	
520-442-81090	Depreciation Expense	\$ 127,275	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 636,376	\$ -	\$ -	
520-432-99000	Lease-Replace Service Truck	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	
TOTAL WASTEWATER DEPT. EXPENDITURES			\$ 2,868,416	\$ 7,974,018	\$ 40,729	\$ 8,014,747	\$ 4,268,872	\$ 2,729,344	\$ 2,410,301	\$ 4,001,840	\$ 931,722
WASTEWATER ADMINISTRATION			\$ -	\$ 683,127	\$ -	\$ 683,127	\$ 515,960	\$ 612,462	\$ 535,037	\$ 466,024	\$ -
TOTAL WASTEWATER DEPARTMENT EXPENSES			\$ 3,294,312	\$ 8,657,145	\$ 40,729	\$ 8,697,874	\$ 4,784,832	\$ 3,341,806	\$ 2,945,338	\$ 4,467,864	\$ 931,722
TOTAL REVENUE MINUS TOTAL EXPENSES			\$ (84,616)	\$ (40,729)	\$ (125,545)	\$ (1,099,276)	\$ 86,167	\$ 1,094,463	\$ (680,539)	\$ 2,002,098	

CITY OF REPUBLIC
2021 BUDGET DRAFT
PUBLIC WORKS PERSONNEL SCHEDULE

Classification	2020 Staff	Actual Current Staff	2021 Staff	2021 Salary Range
<u>PW Administration</u>				
Community Development Administrator	0	0.5	0.5	\$83,000-\$110,432
Public Works Director	1	0	0	\$83,000-\$110,432
Assistant Public Works Director	1	0	0	\$55,000 - \$76,125
Engineering Manager	0	1	1	\$53,476-\$70,969
Surveyor/Right of Way Manager	1	1	1	\$44,179 - \$59,556
Operations Manager	1	1	1	\$55,000-\$76,125
Construction Inspector	1	1	2	\$36,546 - \$48,505
License and Permist Administrator	0	0.5	0.5	\$33,196 - \$44,075
Office Administrator	0.3	0	0.5	\$30,201 - \$40,689
Total Full Time	5.3	5	6.5	

Utility Personnel (Split Water/Wastewater)

Utility Superintendent	1	1	1	\$48,609-\$64,521
Assistant Superintendent	1	0	1	\$44,179-\$58,676
Operator	8	7	7	\$30,201-\$40,087
Meter Technican	3	3	3	\$27,456-\$36,441
Crew Leader	2	2	2	\$36,546-\$48,505
	15	13	14	

Waste Water Treatment Plant Personnel

WW Plant Superintendent	1	1	1	\$48,609-\$64,521
Assistant Superintendent	1	1	1	\$44,179-\$58,676
WW Facility Manager	1	1	1	\$33,196-\$44,075
WW Operator	1	1	1	\$30,201-\$40,087
	4	4	4	

Streets Personnel Schedule

Street Superintendent	1	1	1	\$48,609-\$64,521
Assistant Superintendent	1	1	1	\$44,179-\$58,676
Street Crew Leader	1	1	1	\$36,545-\$44,075
Street Facility Manager	1	1	1	\$33,196-\$44,095
Maint. Worker (Senior, Int, Train)	5	4	5	\$27,456-\$44,075
	9	8	9	

Utility Personnel (Split Water/Wastewater/Street)

Utility Construction Workers	0	0	6	\$30,594.22 - \$40,012.69
	0	0	6	



AGENDA ITEM ANALYSIS

Project/Issue Name: 21-52 An Ordinance of the City Council of the City of Republic, Missouri, Approving the Final Plat of Auburn Hills Phase Two Subdivision.

Submitted By: Karen Haynes, Planning Manager, BUILDS Department

Date: June 22, 2021

Issue Statement

The City of Republic's BUILDS Department received a Final Plat Application for Auburn Hills Phase One Subdivision on June 15, 2021.

Discussion and/or Analysis

The Final Plat of Auburn Hills Phase Two will legally divide approximately twenty-eight point five-two (28.52) acres of land into one hundred four (104) residential lots and includes the dedication of Right-of-Way, Utility, and Stormwater Easements. The Final Plat includes approximately (5006) linear feet of street and (4633) linear feet of sidewalk.

The Final Plat of Auburn Hills Phase One conforms to the Preliminary Plat approved by City Council on February 18, 2020.

City Staff has reviewed the Final Plat and has determined that it substantially conforms to the requirements of the Preliminary Plat, in addition to the requirements of the City Code Chapter 410 Subdivision Regulations, and Article V Major Subdivision-Final Plat.

Recommended Action

Staff recommends approval of the Auburn Hills Phase Two Final Plat.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, APPROVING THE FINAL PLAT OF AUBURN HILLS PHASE 2 SUBDIVISION

WHEREAS, the City of Republic, Missouri, (“City” or “Republic”) is a municipal corporation and Charter City located in Greene County, Missouri, being duly created, organized, and existing under the laws of the State of Missouri; and

WHEREAS, in Resolution 20-R-05, the preliminary plat of the Auburn Hills residential subdivision (“Subdivision”) was approved by the Council on February 18, 2020; and

WHEREAS, the preliminary plat of the Subdivision indicated the phasing of development; and

WHEREAS, an application for the review and approval of a final plat of the Subdivision was received by the City’s BUILDS Department, after which the City caused the review of the final plat document; and

WHEREAS, the minimum required public improvements for the Subdivision’s final plat have been inspected and approved by the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AS FOLLOWS:

- Section 1. All conditions imposed by the Planning and Zoning Commission and the City Council relating to the acceptance and approval of the Subdivision have been met.
- Section 2. The final plat of the Subdivision, attached hereto and incorporated herein as Attachment 1, is hereby approved in all respects.
- Section 3. The approval of the final plat of the Subdivision is contingent upon the same being recorded within sixty days after the approval certificate is signed and sealed under the hand of the City Clerk.
- Section 4. The sale of lots and construction of structures in the Subdivision shall not commence until the final plat has been recorded.
- Section 5. The whereas clauses are hereby specifically incorporated herein by reference.
- Section 6. The provisions of this Ordinance are severable, and if any provision hereof is declared invalid, unconstitutional, or unenforceable, such determination shall not affect the validity of the remainder of this Ordinance.
- Section 7. This Ordinance shall take effect and be in force from and after its passage as provided by law.

BILL NO. 21-52

ORDINANCE NO.

PASSED AND APPROVED at a regular meeting of the City Council of the City of Republic, Missouri, this _____ day of _____ 2021.

Matt Russell, Mayor

Attest:

Laura Burbridge, City Clerk

Approved as to Form: _____



Digitally signed by Scott Ison
Date: 2021.06.17 15:33:43
-05'00'

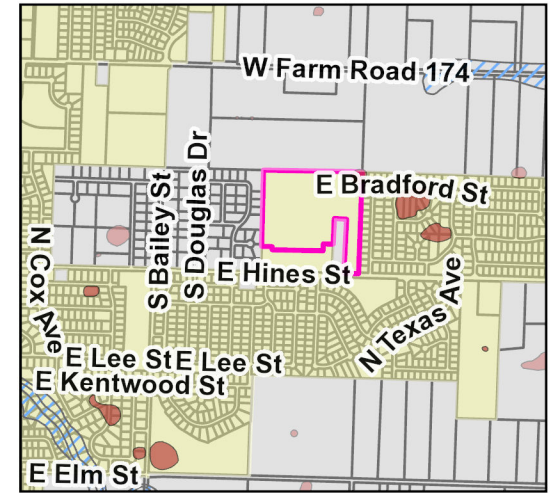
_____, Scott Ison, City Attorney

Final Passage and Vote: _____

SUBD-FNL 21-006: Auburn Hills Phase 2

Item 11.

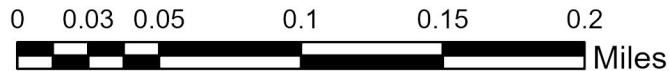
Vicinity Map



Legend

- Auburn Hills Phase 2
- Parcels
- Sinkhole
- Floodplain

Parcel Owner: Bussell Building, Inc.
Parcel Address: 2800 Block of East Hines Street
Area: 28.52 Acres
Zoning: High Density Single-Family Residential (R1-H)
Lots: 104





AGENDA ITEM ANALYSIS

Project/Issue Name: 21-R-28 A Resolution of the City Council of the City of Republic, Missouri, Awarding the Bid for Materials and Installation of Curb, Gutter, and Asphalt to Capital Paving for Jac Street and Authorizing the Execution of an Agreement for the Same.

Submitted By: Garrett Brickner, Engineering Manager

Date: June 22, 2021

Issue Statement

To award construction of concrete Curb, Gutter, asphalt paving of Jac St. to Capital Paving.

Discussion and/or Analysis

The City of Republic requested bids for:

Curb & Gutter/Paving Jac St.

Extending a new local road, Jac St. approximately 396 LF, including paving of 5 ½" asphalt base, 1 ½" asphalt driving course, 4" base rock, 2' curb and gutter each side . approximately 1056 SY of asphalt, approximately 846 LF of curb & gutter. City of Republic crews install inlet boxes, waterline, sewer and prepare subgrade to within ± ½" prior to selected contractor work beginning.

AND

Removal & Replacement of Asphalt at Fire Station #1

Removal and replacement of approximately 3040 SY of parking lot pavement at Fire station #1 located at 701 N Highway US 60 Republic MO, 65738. Drive lane shall be replaced with heavy duty Asphalt or concrete in drive lane Approximately 920 SY.

Capital Paving was the only responsive bidder. Their bid is in line with estimates prepared by the BUILDS department. The Fire station paving was more than expected, therefore we will be reevaluating our options for parking lot repair.

Recommended Action

Staff recommends approval of the bid for line items 001 & 002

RESOLUTION NO. 21-R-28

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AWARDING THE BID FOR MATERIALS AND INSTALLATION OF CURB, GUTTER, AND ASPHALT TO CAPITAL PAVING FOR JAC STREET AND AUTHORIZING THE EXECUTION OF AN AGREEMENT FOR THE SAME

WHEREAS, the City of Republic, Missouri (“City” or “Republic”) is a municipal corporation and Charter City located in Greene County, Missouri, being duly created, organized, and existing under the laws of the State of Missouri; and

WHEREAS, the City solicited, through a sealed invitation for bids (“IFB”), bids to provide the materials and installation of curb, gutter, and asphalt for Jac Street (“Project”); and

WHEREAS, one vendor provided a duly submitted bid for the Project, which was Capital Paving, all bids being on file with the City Clerk; and

WHEREAS, the City Council desires to accept the lowest, responsible bid to govern the Project.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AS FOLLOWS:

Section 1. The submitted bid from Capital Paving, attached hereto as Attachment 1 and incorporated herein, is accepted for the Project at the unit prices shown thereon not to exceed \$80,449.50 for item number 0001 and 0002. Line items 0003 and 004 are not awarded at this time.

Section 2. On behalf of the City, the City Administrator or designee is authorized to enter into an agreement with Capital Paving for the Project, said agreement to be in substantially the same form as Attachment 2.

Section 3. The City Administrator, or designee, on behalf of the City, is authorized to take the necessary steps to execute this Resolution.

Section 4. The whereas clauses are hereby specifically incorporated herein by reference.

Section 5. This Resolution shall take effect after passage as provided by law.


PASSED AND APPROVED at a regular meeting of the City Council of the City of Republic, Missouri, this 22nd day of June 2021.

Matt Russell, Mayor

Attest:

Laura Burbridge, City Clerk

RESOLUTION NO. 21-R-28

Approved as to Form:  Digitally signed by Scott Ison
Date: 2021.06.17 15:23:06
-05'00', Scott Ison, City Attorney

Final Passage and Vote: _____



P.O. Box 104960
117 Commerce Drive
Jefferson City, MO 65110

Phone: (573) 635-6229
Fax: (573) 636-7538

Item 12.

To:	City Of Republic	Contact:	
Address:	213 N. Main Republic, MO 65738	Phone:	
Project Name:	City Of Republic JAC St. / Fire Station #1	Bid Number:	S2021057
Project Location:	JAC Rd & Fire Station #1, Republic, MO	Bid Date:	6/7/2021

Line #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
0001	JAC Street Roadway - Fine Grading, Agg Base And Asphalt Paving (4" Agg, 5.5" Bit Base, 1.5" BP-2)	1,056.00	SY	\$52.75	\$55,704.00
0002	JAC Street - 2' Concrete Curb & Gutter	846.00	LF	\$29.25	\$24,745.50
0003	Fire Station #1 - 8 Asphalt Milling And Asphalt Paving (6" Bit Base, 2" BP-1 Surface)	3,040.00	SY	\$52.40	\$159,296.00
0003	Fire Station #1 - 2" Asphalt Transition Milling And Asphalt Paving (2" BP-1 Surface)	3,040.00	SY	\$17.35	\$52,744.00

Total Bid Price: \$292,489.50

Notes:

- Item 0001 - JAC Street Roadway - Fine Grading, Agg Base And Asphalt Paving (4" Agg, 5.5" Bit Base, 1.5" BP-2) - On 1056 SY of prepared subgrade (By Others) lay 4" type 1 baserock, 5.5" Bit Base Asphalt, Tack Coat and 1.5" Surface Asphalt.
- Item 0002 - JAC Street - 2' Concrete Curb & Gutter - Lay 846 LF of 2' curb and gutter down length of roadway and at small repair section at Hamilton Street. Tie ins for 3 curb inlets.
- Item 0003 - Fire Station #1 - 8 Asphalt Milling And Asphalt Paving (6" Bit Base, 2" BP-1 Surface) - On 3040 SY of existing asphalt parking area mill asphalt to a depth of 8", lay 6" Bit Base asphalt followed by tack coat and 2" BP-1 Asphalt Surface Course.
- JAC Street Bid Day Notes:
Work is not likely to be completed prior to the June 24th deadline listed in the bid request. Work will be completed in the 2021 paving season with no defined deadline.
Subgrade to be placed by City to +/- 1/2".
City to backfill curbs prior to asphalt placement. All backfill, topsoil and turf is excluded.
All storm boxes to be installed prior to arrival of curb and gutter crew. City to provide layout.
All striping signage and anything other than aggregate base, concrete curb and asphalt paving is excluded.
- Fire Station #1 Bid Day Notes:
Work to be completed in the 2021 paving season with no defined deadline.
Bid request states removal and replacement of 8" asphalt pavement. Bid anticipates there to be 8" of asphalt currently on the parking lot that can be milled. If there is not 8" of asphalt material that can be removed with a mill changes to the scope would be at a revised cost.
In the case that any subgrade issues are encountered any remediation would be at an additional cost.
Asphalt material will be a MoDOT approved Bit Base for the 6" base layer followed by MoDOT approved BP-2 for the surface.
Bid request doesn't differentiate any depth change from 8" asphalt paving so that has been included throughout, this would be considered a heavy duty paving profile.
Based on onsite observations it appears that areas of this parking lot could benefit from a much less invasive mill and fill that could potentially save costs if areas of failure were patched and the remainder received a 2" mill and overlay. This could be discussed at later date with the city.
- Bid Includes Greene County Prevailing Wage Order 28 and is tax exempt.
- Bid is based on the quantities above. Final Billing to be based on actual quantity of work performed.
- Fire Station #1 Revised Pricing 2" Overlay**
Work includes transition milling as needed to ensure smooth transitions to adjoining surfaces, tack coat and 2" asphalt paving on 3040 SY of existing asphalt.
In the case that subgrade issues appear during milling operations any patching would be at an added cost.
Striping is not included.
- Timeline of Construction**
As discussed with the recent weather we have had many projects delayed and our schedule has become tight. That being said it is understood that JAC street construction needs to take place in the July 12th -16th timeframe. With a grand opening at the site on August 1st. If awarded the contract we will do everything in our power to ensure that the timeline is met and the work is completed within the timeframe of July 12th to the 16th. As we proceed with the curb and gutter work city crews will need to backfill those curbs as soon as possible once concrete has had a reasonable amount of cure time so that paving can proceed backfilling.

Fire Station Paving to be completed in the 2021 paving season with no defined deadline.




P.O. Box 104960
 117 Commerce Drive
 Jefferson City, MO 65110

Phone: (573) 635-6229
 Fax: (573) 636-7538

Item 12.

To: City Of Republic	Contact:
Address: 213 N. Main Republic, MO 65738	Phone:
	Fax:
Project Name: City Of Republic JAC St. / Fire Station #1	Bid Number: S2021057
Project Location: JAC Rd & Fire Station #1, Republic, MO	Bid Date: 6/7/2021

<p>ACCEPTED: The above prices, specifications and conditions are satisfactory and hereby accepted.</p> <p>Buyer: _____</p> <p>Signature: _____</p> <p>Date of Acceptance: _____</p>	<p>CONFIRMED: Capital Paving And Construction LLC</p> <p>Authorized Signature: </p> <p>Estimator: Jeff Creamer (573) 691-2837 jcreamer@capitalpavingmo.com</p>
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AGENDA ITEM ANALYSIS

Project/Issue Name: 21-R-29 A Resolution of the City Council of the City of Republic, Missouri, Awarding the Bid for the Construction of the New Builds Department Building and Authorizing the Execution of an Agreement for the Same.

Submitted By: Andrew Nelson, Republic BUILDS Director

Date: April 20, 2021

Issue Statement

Building Proposal and Contract for Construction of a new Public Works Facility

Discussion and/or Analysis

The City received sealed proposals for the design and construction of a new BUILDS facility at the property located on Highway ZZ and is recommending award to Ross Construction Group. There were 3 proposals received for the design, construction, and delivery of the facility. Based upon the review of these proposals the staff believes that the proposal provided by Ross Construction is the most complete and provided the best, most detailed and most complete proposal for the design and construction process.

The Staff is recommending award for the original proposal and Alternate 1 for a not to exceed amount of \$5,506,915 to be funded through certificates of participation to be approved by City Council and repaid by the water, wastewater, and street funds. This is a conceptual design and staff will have the opportunity to work with the contractor to complete full design and delivery and evaluate the costs associated.

Recommended Action

Staff recommends approval of Resolution #21-R-29

RESOLUTION NO. 21-R-29

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI,
AWARDING THE BID FOR THE CONSTRUCTION OF THE NEW BUILDS
DEPARTMENT BUILDING AND AUTHORIZING THE EXECUTION OF AN
AGREEMENT FOR THE SAME**

WHEREAS, the City of Republic, Missouri (“City” or “Republic”) is a municipal corporation and Charter City located in Greene County, Missouri, being duly created, organized, and existing under the laws of the State of Missouri; and

WHEREAS, the City solicited, through a sealed request for proposals (“RFP”), proposals to construct the new BUILDS Department building (“Project”); and

WHEREAS, three vendors provided duly submitted bids for the Project; and

WHEREAS, although Ross Construction Group, LLC (“Ross”) was not the lowest bidder, after scoring of the RFP by City Staff, Ross was selected as the lowest most responsible bidder for the Project; and

WHEREAS, the Council desires to accept the lowest and most responsible bid to govern the Project.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF REPUBLIC, MISSOURI, AS FOLLOWS:

Section 1. The submitted bid from Ross, attached hereto as Attachment 1 and incorporated herein, is accepted for the Project at the unit prices shown thereon not to exceed \$3,747,915.00 for the base Project and \$1,759,000 for Alternative 1. Alternative 2 is not awarded.

Section 2. On behalf of the City, the City Administrator or designee is authorized to enter into an agreement with Ross for the Project, said agreement to be in approved by the City Attorney.

Section 3. The City Administrator, or designee, on behalf of the City, is authorized to take the necessary steps to execute this Resolution.

Section 4. The whereas clauses are hereby specifically incorporated herein by reference.

Section 5. This Resolution shall take effect after passage as provided by law.


PASSED AND APPROVED at a regular meeting of the City Council of the City of Republic, Missouri, this 22nd day of June 2021.

Matt Russell, Mayor

RESOLUTION NO. 21-R-29

Attest:

Laura Burbridge, City Clerk

Approved as to Form:  Digitally signed by Scott Ison
Date: 2021.06.17 15:52:53
-05'00' _____, Scott Ison, City Attorney

Final Passage and Vote: _____

PROPOSAL

Prepared for:

REPUBLIC BUILDS
**Community Development/
Public Works Building**

June 16, 2021

Republic Builds- Community Development/Public Works Building Proposal

Thank you for the opportunity to provide our Proposal for Construction Services for the new Community Development/Public Works Building. Ross Construction Group acknowledges and accepts the stipulations as noted within the Request for Proposals issued June 2, 2021.

The following pages include information about our company and the RCG Team, as well as our approach to construction management. We'd encourage you to view our website at www.rosscgllc.com to learn more about our group of construction professionals.

We're confident our team can deliver a completed project that will serve the City of Republic, the Republic Builds team, and the entire Republic Community for many years to come. We strongly feel our recent body of work in Republic speaks for itself, and we look forward to the opportunity to be part of this project.

Sincerely,

David Ross

David Ross

Ross Construction Group, CEO

3100 E. Division Springfield, MO 65802



TABLE OF CONTENTS

1. Introduction and Executed Signature Page
2. Qualifications
3. Proposed Budget
4. References
5. Technical Approach
6. E-Verify and Other Information



Introduction and Executed Signature Page

At Ross Construction Group, we strive to develop lasting relationships with each of our clients, and are fortunate that 75-80% of our projects come from repeat clientele or negotiated work. Our team is well-versed at working with the owner throughout the project development stages.

From schematic design through design development and construction drawings, our team will be by your side to insure a smooth process. From there, our construction team will take the Community Development/Public Works Building from the groundbreaking to the ribbon cutting for the City of Republic.

We have assembled the following team for this project: Ross Construction Group will serve as Construction Manager; Buxton Kubik Dodd will provide Architectural, MEP and Structural Engineering Services; Olsson will be the Civil Engineer.

Ross Construction Group, LLC
3100 E. Division St.
Springfield, MO 65802
417-429-1417

EXECUTED SIGNATURE

David Ross
CEO

Buxton Kubik Dodd Design Collective
3100 S. National Ave, Suite 300
Springfield, MO 65807 417-890-5543

Olsson
550 E. St. Louis St.
Springfield, MO 65806
417-890-8802

ROSS | CONSTRUCTION GROUP

COMPANY

Ross Construction Group
 LLC 3100 E. Division
 Springfield, MO 65802
 417-429-1417

Firm Structure: LLC

Total years in business: 3

Primary Contact:
 David Ross
 david@rosscgllc.com
 417-429-1417

Ross Construction group was founded in 2017, but our history dates back to 1982 when Kenny Ross began his career in the construction industry. Kenny joined his sons, Andy and David Ross, in early 2018. RCG employs a team of estimators, project managers, and superintendents with over 301 years of cumulative construction management experience. Over the past 39 years, the RCG team has been involved in many notable projects throughout the Ozarks, spanning millions of square feet and hundreds of million dollars. Our current team of construction professionals manage approximately \$32 million annually.

At Ross Construction Group, the majority of our projects are Design-Build or Construction Manager at Risk. Our team is very experienced working with owners and design teams through the entire design and construction process. Our vast knowledge and expertise in all building types and material selection is an asset to every project team we work with.

Several of our recent projects are highlighted below and on the following pages.

RECENTLY COMPLETED PROJECTS

Quarry Town (project profile attached)

Springfield Plaza Shopping Center (project profile attached)

Ozarks Coca-Cola Co. (project profile attached)

Garton Lots 2, 3, and 5, Republic, MO
 100,000 to 130,000 SF warehouse and distribution with office
 infills Completed 2018-2020, and currently under construction

Odle Sales, Springfield, MO
 10,000 SF office and warehouse
 Completed 2019

MMC Fencing, Springfield, MO
 10,000 SF office and warehouse
 Completed 2020

Ozarks Food Harvest, Springfield, MO
 50,000 SF warehouse addition
 Completed 2018

TEAM

David Ross, Owner, CEO
 Andy Ross, Owner, COO
 Kenny Ross, VP of Biz Dev
 Heath Dawson, VP of Ops
 Julie Wallace, Estimating
 Robin Newhart, Systems and Pers.
 Matt Pennington, Biz Dev
 Steve Guilliams, Project Manager
 Annie Cox, Project Manager
 Scott Brown, Project Manager
 Donna Sturgeon, Bookkeeping
 Debbie Perry, Office Manager
 Doyle Atnip, Superintendent
 Clay Tucker, Superintendent
 Kyler Ennis, Superintendent
 Steve Carney, Superintendent
 Rory Allen, Superintendent
 Craig Davis, Carpenter
 Cameron Soetaert, Labor



PRE-CONSTRUCTION
 PLANNING



DESIGN BUILD



CONSTRUCTION
 MANAGEMENT



GENERAL
 CONTRACTING

COMPANY

Buxton Kubik Dodd, Inc.
3100 S National Ave,
Suite 300
Springfield, MO 65807
417-890-5543

Firm Structure: S-Corporation

Total years in business: 18

Primary Contact:
Jon Dodd, AIA, NCARB
jdodd@bk-dc.com
417-890-5543

Buxton Kubik Dodd Design Collective has over 200 years of collective experience in high end architecture, interior design, space planning, mechanical and electrical engineering, project feasibility and cost analysis, project planning, conceptual design, construction management services and much more. Our firm has vast experience in the governmental sector and community projects. We have recently completed building projects for Greene County, Springfield Public Schools, Nixa Fire Protection District, Battlefield Fire Protection District, and Logan-Rogersville Fire Protection District. Our previous experience includes the Springfield Regional Police and Fire Training Center, Greene County Public Safety Center, Greene County Morgue and the Missouri State Crime Lab in Carthage.

At Buxton Kubik Dodd Design Collective our greatest resource is our people. Our key personnel includes five principals, with nine full-time registered architects, two full-time MEP engineers with two full-time EIT (Engineers in Training), as well as five full-time interior designers and one full-time interior design assistant to ensure project success. In addition to the key personnel and resources of the entire project team, Buxton Kubik Dodd Design Collective has seven additional full-time design, technical and marketing professionals to assist throughout the life of the project, meeting critical deadlines and milestones, and ensuring the highest quality service and successful delivery of your project.

TEAM

Brian Kubik, AIA, NCARB
Jonathan Dodd, AIA, NCARB
Wade Lininger, AIA, NCARB
Ryan Stewart, AIA
Eric Street, AIA
Kent Sanders, AIA
Bryan Ragsdale, AIA
John Luce, AIA
Catherine Murrell, RA
Kyle Yarbrough, AAIA
Sean Harrell
Mike Brown
Jim Leckrone
Larry Phillips, PE
Dylan Chorice, PE
Dustin Scott, EIT
Jacob Crosby, EIT
Kara Washam
Jim Parsons
Joyce Buxton, ASID, NCIDQ
Kris Evans, ASID, NCIDQ
Becky Green, NCIDQ
Lisa Wampler NCIDQ, LEED AP ID +C
Morgan Mace, Interior Designer
Amy Pennington, Executive Assistant
Bradley Wilkinson, Graphic Designer
Gregory Kubik, Accountant

SERVICES OFFERED

Full-Service Architecture & MEP Engineering

Project Feasibility & Cost Analysis

Project Master Planning

Space Needs Programming & Planning

Commercial & Industrial Architectural, and Engineering Design

Conceptual Design and 2D/3D Modeling

Animation & Virtual Reality Walk-Through

Construction Drawings

Contract Administration

Construction Management

Furniture Selection and Specification

Consulting Corporate Finish Standards and Analysis Artwork,

Framing and Accessories Retail Sales

3D Building Scanning

Quarry Town | Buxton Kubik Dodd Design Collective & Ross Construction Group

Architect-of-Record
MEP Engineer
Interior Design

Construction Cost: \$18.4M

Client Reference:
Green Circle Projects
Matt O'Reilly - Owner
2144 E Republic Road B103
Springfield, MO 65804
417-633-7933



The mixed-use Quarry Town development in Galloway Village features energy efficient solar panels, an apartment building with 101 apartments and roughly 20,000 square feet of combined restaurant, retail and office space. The four-story apartment complex is designed with a pool.

Architect-of-Record

MEP Engineer

Size: 100,000 SF

Client Reference: Tom Rankin

Rankin Development

2808 S. Ingram Mill, A100

Springfield, MO 65804

417-887-8826



Springfield Plaza Shopping Center, located on the west side of Springfield Missouri, consists of over 100,000 SF of retail shopping space on 98 acres.

Architect-of-Record

MEP Engineer

Size: 432,000 SF Expansion

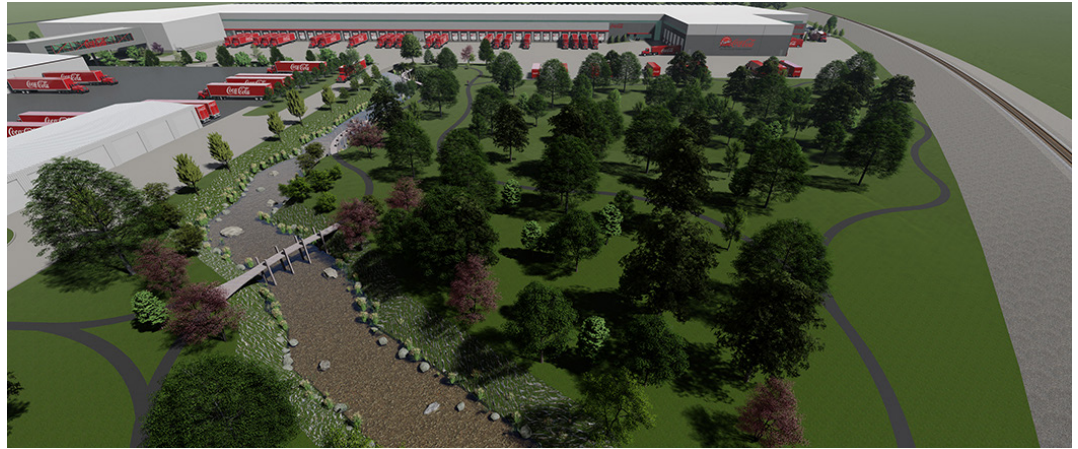
Client Reference:

Sally Hargis

1777 N. Packer Road

Springfield, MO 65803

417-865-9900



A 432,000 SF expansion, located just behind the existing manufacturing building, the two are connected by a unique feature: a connector bridge spanning the Jordan Creek. The first phase of Ozarks Coca-Cola's expansion began in 2018.

Proposed Budget and Schedule

The following pages contain our proposed budget estimate, schedule duration, and plan for completing the design and construction of the Community Development/Public Works project.

In our experience, establishing an agreed upon budget is essential in achieving a successful construction project. We work with a multitude of subcontractors in the region and have strong, long term relationships with many of them. This allows our team to keep up with current market pricing, and provides us with valuable insight towards the planning and scheduling of construction activities from the outset of the project. These relationships and our experience help to insure we are meeting the overall project goals.

Proposed Budget

\$3,747,915

Alternate 1: \$1,759,000

Alternate 2: \$809,000





Project Name: RFP REPUBLIC BUILDS

Square Feet: 16,798

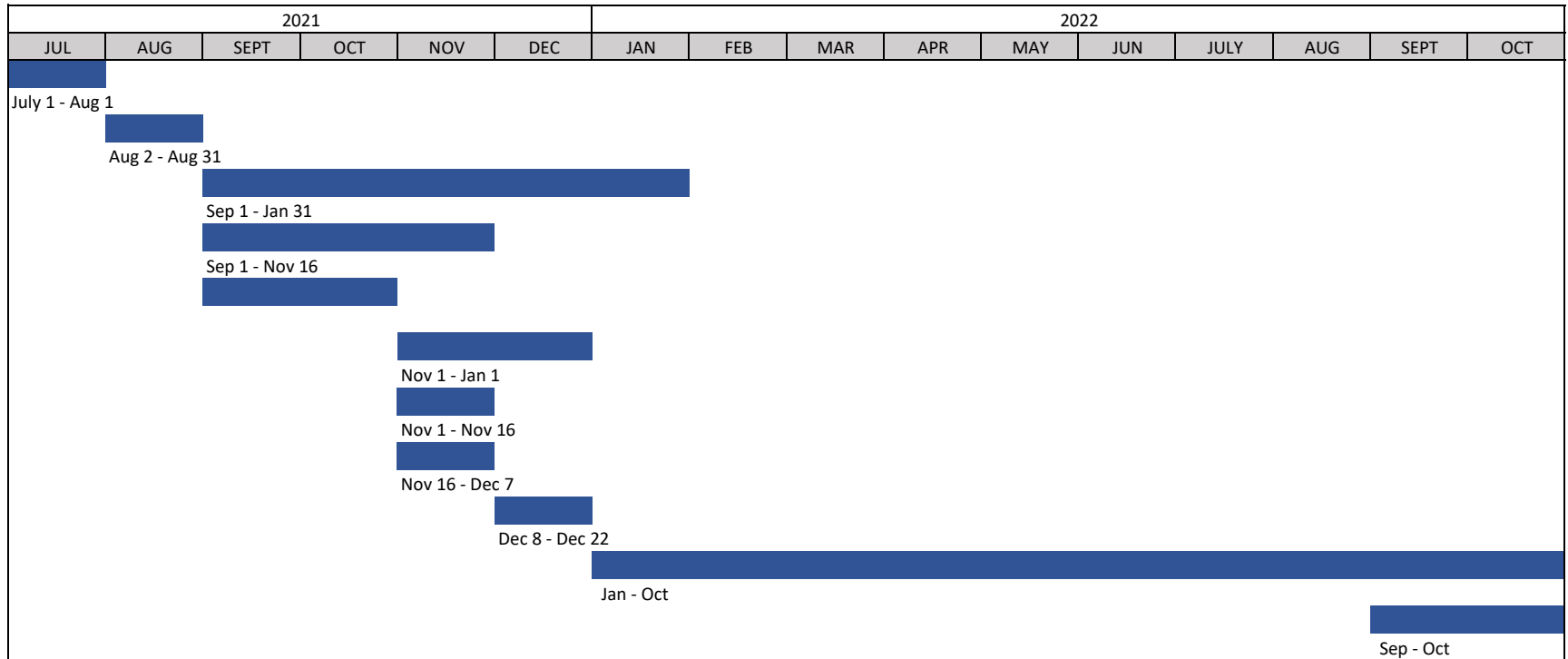
Ross Construction Group
Estimating Take-off

			Div. Total	Div. Cost/S
			\$244,240.02	\$14.54
			\$403,770.25	\$24.04
			\$342,129.00	\$20.37
			\$91,236.00	\$5.43
			\$594,330.00	\$35.38
			\$9,700.00	\$0.58
			\$49,481.50	\$2.95
			\$102,642.30	\$6.11
			\$327,643.53	\$19.50
			\$24,177.00	\$1.44
			\$8,330.00	\$0.50
			\$0.00	\$0.00
			\$64,392.00	\$3.83
			\$0.00	\$0.00
			\$453,155.00	\$26.98
			\$413,500.00	\$24.62
			\$25,000.00	\$1.49
			<u>\$3,153,726.60</u>	
3.01	RCG CONTRACTORS FEE	4%	<u>\$126,149.06</u>	
3.02	CONTINGENCY	5%	<u>\$157,686.33</u>	
3.03	CIVIL ENGINEERING	0%	<u>\$71,300.00</u>	
3.05	ARCHITECTURAL FEES	5.5%	<u>\$173,454.96</u>	
	SUBTOTAL		<u>\$3,682,316.96</u>	
3.06	GENERAL LIABILITY INSURANCE	0.50%	<u>\$16,399.38</u>	
3.04	PERFORMANCE & PAYMENT BOND	1.5%	<u>\$49,198.13</u>	
	TOTAL PROJECT COSTS		<u>\$3,747,914.47</u>	

\$223.12

Proposed Schedule (with or without alternates)

Item 13.





June 16, 2021

BUILDS Department
 City of Republic Missouri
 204 North Main Ave, Republic, MO 65738

RE: New BUILDS Building for the city of Republic

The following budget proposal is for a 16,800 square foot building per the preliminary floor plan, site plan and exterior elevation sheets attached to this proposal. Ross Construction Group will provide all labor, material and equipment to perform the construction of your project to meet, and hopefully exceed, your expectations for job cost control, quality control and schedule.

DESIGN FEES

This proposal includes architectural, structural, mechanical and civil engineering services and construction drawings.

Architectural Fee

5.5% of the cost of the work included in this proposal

Includes Architectural Design Services, Mechanical Electrical and Plumbing Engineering and Structural Engineering

Civil Engineering Fees

Phase 100 – Site Investigation Excluded N/A

Phase 200 – Preliminary Design Lump Sum \$17,200

Phase 300 – Final Design Lump Sum \$20,400

Phase 400 – Construction Related Services Lump Sum \$5,600

Phase 500 – Optional Added Services

Surveying Lump Sum \$1,500

MoDOT Right-turn Lanes Lump Sum \$9,000

Public Sewer Extension Lump Sum \$8,800

Public Water Extension Lump Sum \$8,800

Alternate 1 Per RFP Lump Sum \$8,000

An allowance of \$25,000 is included for third party testing and inspections.

CONTRACT DOCUMENTS

Final Contract documents will include this proposal, the construction drawings referenced above and a Standard Form of Agreement between Owner and Contractor/Construction Manager.

PERMITS & FEES

This proposal does not include permits or fees.

INSURANCE

RCG will carry General Liability Insurance and Worker's Compensation Insurance. If requested our insurance company will provide a certificate of insurance listing the owner as an additional insured. *Builders Risk Insurance will be provided by the owner. The policy will have extended coverage and name Ross Construction Group as an additional insured. It will also stipulate that the owner will be responsible for the deductible.*

WARRANTY

RCG will warrant the building for one year from the date of our final occupancy certification or from the date of substantial completion, whichever occurs first. This warranty will include labor and material and equipment as furnished by RCG under the contract. Per the contract documents the work will be of good quality, free from defects and will conform with the construction drawings and specifications. The warranty excludes remedy for damage or defect caused by normal wear and tear, insufficient maintenance, abuse or modification.

SITE AND STORMWATER

Infrastructure engineering costs, i.e. offsite extensions to site, internal infrastructure, parking, ingress/egress, etc. Water, Wastewater, Stormwater and Earthwork will be completed by the City based on engineering included in this proposal.

LANDSCAPING

We have included a \$64,800 Landscape allowance for landscape including site fine grading, topsoil spreading, seeding and additional plantings and landscaping at the front of the building. This proposal assumes that enough topsoil will be stockpiled on-site by others for our spreading.

PAVING & SITE CONCRETE

The east (front) side of the building will be finished per the site plan. The parking lot and main drive areas will be 6" compacted limestone base and 3" hot asphalt surface mix. The front section of the south service drive will be heavy duty asphalt paving consisting of 6" compacted limestone, 4" bituminous base course and 2" hot asphalt surface mix.

The rear service yard and south drive up to the gate will be 8" of Recycled Asphalt Paving in our base proposal. Alternates are given for upgrades to heavy-duty asphalt paving and concrete paving with parking striping in these areas. A deduct is included to provide 8" of base rock only in these areas.

Concrete Curb and Gutter where shown on the site plan at the front asphalt paved areas will be 30".

Concrete approaches to Wilson's Creek Blvd will be 4" thick limestone base and 8" thick concrete.

Concrete Sidewalk as shown on the site plan.

FENCING

Approximately 1,276' of 6' tall chain link fence with (3) strands of barbwire have been included as shown on the preliminary site plan. (2) 30' cantilever slide gates have been included at the entrances to the rear service yard as shown on the site plan. Gate automation will include (2) slide gate operators, (4) in-ground loops, (2) photo eye safeties, (2) gooseneck stands, and (2) Knox fire department switch boxes.

Access control entry fob system is excluded.

BUILDING SHELL

Pre-Engineered Metal Building (PEMB) structure with (2) building sections: The first building will be 95' wide x 150'-11" long with a 20'-0" low eave, and the second building will be 67'-6" wide x 36'-7" long. Both will have a single slope roof with a ¼" to 12" slope. The interior clear height will be 16' minimum throughout, except for the Shop area which will have 20' minimum clear height. All PEMB frames will be clear-span with no interior columns.

The roof on the main building will be a standing seam roof system. The roof on the office building will be TPO on mechanically fastened R-30 rigid insulation.

The walls will be PEMB vertical metal wall panels on the north, west and south face of the main building for the full height. The north, east and south walls of the office building will be horizontal metal panel systems using 7.2 style, exposed fastener, 24ga (standard colors) as shown on the preliminary elevation.

Cantilevered metal canopies are planned at the office area as shown on the preliminary elevations and floor plan. Below eave structural canopies by the PEMB supplier are included over all the drive-in doors at the HD/LD/Shop areas.

All exterior walls will be insulated with 3" vinyl backed insulation (R11) in all exterior walls, and the main building will have 6" vinyl backed insulation (R19) in the roof.

Gutters will be 26 gauge galvanized in standard color at the low eave, including downspouts to the floor line. Flashing will also be standard galvanized with colors to match.

Overhead doors will consist of:

Seven (7) 12'-2" X 14'-0" High lift track 48" Motor-operated.

Two (2) 10'-2" X 14'-0" High lift track 48" Motor-operated.

One (1) 10'-2" X 8'-0" Full vertical track motor operated.

Haas double steel insulated garage doors model CHT-712 white.

Each door to have one section glazed with 25" X 12" 1/2" insulated tempered glass. Ten (10) Lift-Master jack shaft operators 1/2hp model MH5011U5 with emergency chain hoists, safety sensor beams and one wall button each. 115/60/1 needed. Operators have built in radio receivers to except hand controls if needed. No controls figured.

The 14' tall overhead doors will have (2) pipe bollards installed on each side of the door to protect the door frames.

Glass and Glazing includes exterior Kawneer 451T clear anodized framing with insulated solarban 60 glazing. Safety glazing where required by code. Interior glazing at vestibule includes Kawneer 450 clear anodized framing with 1/4" clear safety glass. (4) standard 3070 storefront doors and hardware packages are included with upgrades to panic hardware.

We have included (10) exterior hollow metal doors and frames, with closers and panic hardware.

An allowance of \$15,000 for a monument sign, \$4,000 for building signage and \$2,000 for site directional signage has been included.

BUILDING CONCRETE

Concrete will be a 3500 psi mix in the floor and a 3000 psi mix in the footings. All foundation and slab will be reinforced as required to sustain building design loads. A concrete grade beam will be used around the perimeter of the building with concrete column pads for the main building columns per the attached "Concrete Plan".

The building floor will be 6" thick, with fiber mesh reinforcing, poured on a 4" thick base rock cushion at the shaded areas on the attached "Concrete Plan" and 4" thick, with fiber mesh reinforcing, poured on a 4" thick base rock cushion at all other areas. Exposed top surfaces of concrete will be troweled to a smooth finish. All interior exposed slab on grade concrete will receive either a high-performance coating equal to "Terra-Rich Broadcast Quartz" or have a grind and polish surface. See schematic floor plan for locations of each surface.

Anchor Bolts are included for anchoring the building to the concrete foundation.

SPRINKLER SYSTEM

The sprinkler system is designed to meet NFPA compliance. Engineering will be provided by a qualified fire suppression company. The sprinkler system includes the following:

- A complete set of blueprints and hydraulic calculations showing material and install will comply with NFPA and local fire protection codes.
- Labor and Material to install complete (1) new wet pipe system.
- Labor and Material to install approximately 103 upright sprinklers (ordinary hazard), 41 semi-recessed pendant heads (light hazard) and 9 horizontal sidewall heads under overhead doors.
- Underground fire service to the building is to be installed by others and is not included in this proposal.
- (1) 6" stainless riser.

A Fire Pump is not anticipated to be needed for this project and is not included in this proposal.

Prior to final building inspections the City will be required to have a qualified security company to provide monitoring of the sprinkler system. This agreement must be in place prior to RCG final testing the system and final building inspections for occupancy.

PLUMBING

Plumbing includes:

- sanitary piping
- domestic water piping
- gas piping for water heater, HVAC units and shop heaters
- plumbing fixtures
- trench drains in each of the truck bays and the shop area with a sand/oil interceptor
- Roof drains at the office area
- Water/gas/sewer service to the building installed by others.

HVAC

The following heating and air conditioning will be provided:

- 1- 5 TON PACKAGE UNIT
- 1- 7.5 TON PACKAGE UNIT
- 6- TUBE HEATERS
- 2- COOK BATHROOM EXHAUST FANS
- 3- 24' DIAMETER HIGH-VELOCITY FANS
- 2- COOK WALL PROP FANS W/WEATHER HOODS
- 4- LOUVER DAMPER COMBINATIONS W/120 V ACTUATORS
- CERTIFIED TEST AND BALANCE
- 2-MINI-SPLIT HVAC UNITS
- 1 UNIT HEATER

***Additional Exhaust fan(s) may be required for minimum air movement. Additional Exhaust fan(s) will be determined by mechanical engineer.*

ELECTRIC

Electrical work will include the following:

- Transformer Pad
- 100' of Secondary Feeders
- 800A 277/480V MDP
- 400A 277/480V Panel
- 112.5kVa Dry Type Transformer
- 400A 120/208V Panel
- 66 – 8' LED Strip Fixtures
- 53 – 2x4 LED Troffers

- 3 – Shower Lights
- 9 – Wall Packs
- 8 – Emergency Fixtures
- 14 – Emergency Exit Fixtures
- 9 – Remote Head Fixtures
- 50 – Receptacles
- 50 – GFIC Receptacles
- 9 – Overhead Door Connections
- 8 – Single Head Pole Lights
- 2 – Double Head Pole Lights
- 10 – Concrete Pole Bases
- 2 – RTU Power Connections
- 3 – Big Ass Fan Power Connections
- 4 – Exhaust Fan and 120V Dampers
- 7 – 120V Unit Heater Connections
- 2 – Mini-Split connections.
- Conduit Stubs for HVAC Controls excludes Cabling and Controls.
- 200' of 3" Conduit for Data Service to the building
- 20 – Conduit Stubs for Data
- Fire Alarm System to monitor Sprinkler System.

OFFICE/RESTROOM/TOOL AREA

We have included the office areas and two multi-user restrooms/locker rooms as shown on the preliminary floor plan. The walls will be framed with metal studs, insulated, and sheet-rocked with an acoustical tile ceiling at 10'. The perimeter metal stud walls (inside the exterior PEMB wall system) will only extend to above the ceiling system. The sheetrock walls will be painted and have standard vinyl cove base except where tiled. An allowance for tile with backerboard for three 4' x 6' showers, wall tile on wet walls only and ceramic wall base in restrooms, mud/locker rooms. FRP will be installed on the mud room walls. The floors will have a grind and polish exposed concrete finish.

A \$12,500 allowance has been included for lockers.

A \$4,000 allowance has been included for appliances.

See schematic floorplan for notes regarding interior doors and frames.

Millwork will be plastic laminate on all cabinet faces and countertops. Appliances will be furnished by the owner.

Bath hardware will include grab bars per code, paper holders, soap dispensers, towel dispensers, and mirrors. Painted metal toilet partitions are included. Fire extinguishers will be provided, with cabinets at sheetrock wall locations.

SHOP/MAINTENANCE AREAS

Interior walls in the Shop/Maintenance areas will be 8" concrete block walls up to 8'-0" tall and then metal stud and sheetrock walls up to the roof deck from the top of the block walls. See schematic floor plan for wall type locations and the "CMU Block Wall 3-D View" sheet attached to this proposal. Exterior walls in the Shop/Maintenance areas will have PEMB liner panel up to approximately 8'-0" high.

EXCLUSIONS

- Solid rock removal
- Builders Risk insurance (can be provided upon owner's request for contractor to carry)
- Unsuitable soil removal & replacement
- City Permits and fees
- Utility Fees
- Telephone, security, data, and any other low voltage
- Site grading, stormwater, water/gas/sewer/fire sprinkler/electrical primary services to the building

PRICING, ALTERNATES, AND TIMEFRAME

Based on the specifications above please note the following.

- Sales Tax is excluded.
- Performance and Payment Bond is included.
- All labor based on Greene County wage order 27.

ALTERNATES PER RFP:

Alternate 1: 10,000 square foot office addition with infill...\$1,759,000

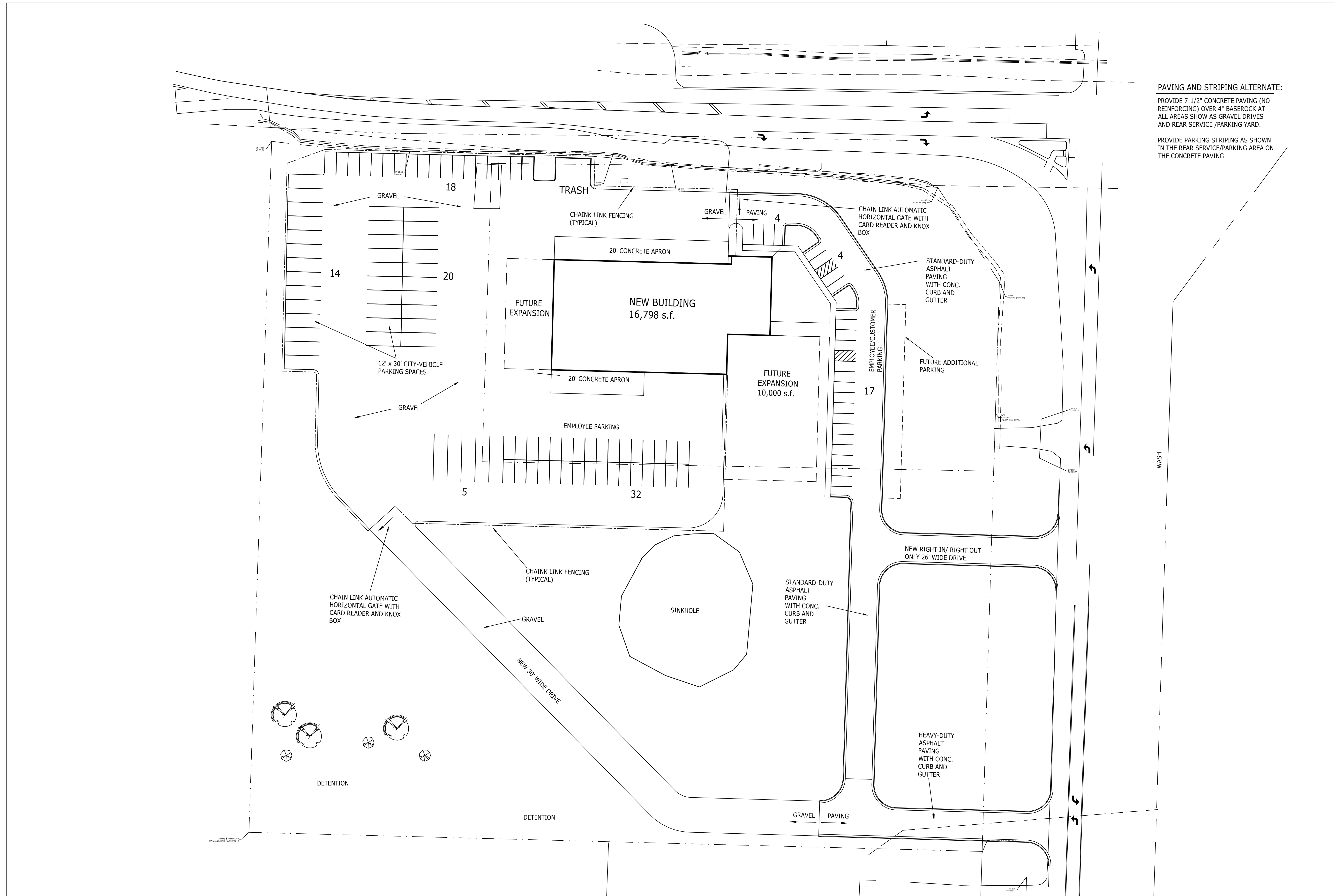
Alternate 2: 10,000 square foot office addition shell only...\$809,000

Optional Voluntary Alternates:

- Add - heavy-duty 9/4/2 fiber asphalt paving at rear yard and south service drive to gate: \$319,373
- Add - 7.5" thick concrete paving at rear yard and south service drive to gate: \$497,967
- Deduct - Recycled Asphalt Paving: \$26,674

COST ALLOCATION MATRIX

Description	Contractor's Fee	General Conditions	Project Costs
Overhead & Profit			
Contractor's Executives	X		
Overhead & General Expenses	X		
Human Resources	X		
Payroll Clerk	X		
Accounts Payable Clerk	X		
Liability Insurance			X
Profit	X		
Supervision			
Senior Superintendent		X	
Superintendent		X	
Supervision Helper		X	
Safety & Quality Control	X		
Vehicle Expense		X	
Equipment Expense		X	
Administrative Assistance			
Senior Project Manager		X	
Project Manager		X	
Estimating	X		
Scheduler	X		
Invoice Review/Jobcosting		X	
Construction Drawing Reproductions		X	
Mailings		X	
Construction Site Expenses			
Field Office		X	
Toilets		X	
Traffic Control		X	
Project Fence		X	
Project Sign			X
First Aid Kits		X	
General Safety Maintenance		X	
Clean-Up			
Dumpster Rental		X	
Dump Fees		X	
Construction Clean-up		X	
Final Clean-up			X
Street Cleaning		X	
Temporary Utilities			
Temporary Phone Service & Hook-Up		X	
Telephone Expense		X	
Temporary Computer		X	
Temporary Lighting			X
Temporary Water			X
Temporary Gas			X
Temporary Electric Service/Usage			X
Temporary Heat			X
Temporary Parking			X
Bonding & Insurance			
Performance Bond			X
Subcontractor Bonds			X
Builders Risk Insurance			X
Builders Risk Deductables			X
Permits & Fees			
Building Permit			X
Special Permits & Fees			X
Equipment Rental			
Equipment Rental			X
Project Layout			
Layout Wages			X
Professional Survey Services			X
Quality Control Testing			
Concrete Testing			X
Soil Testing			X



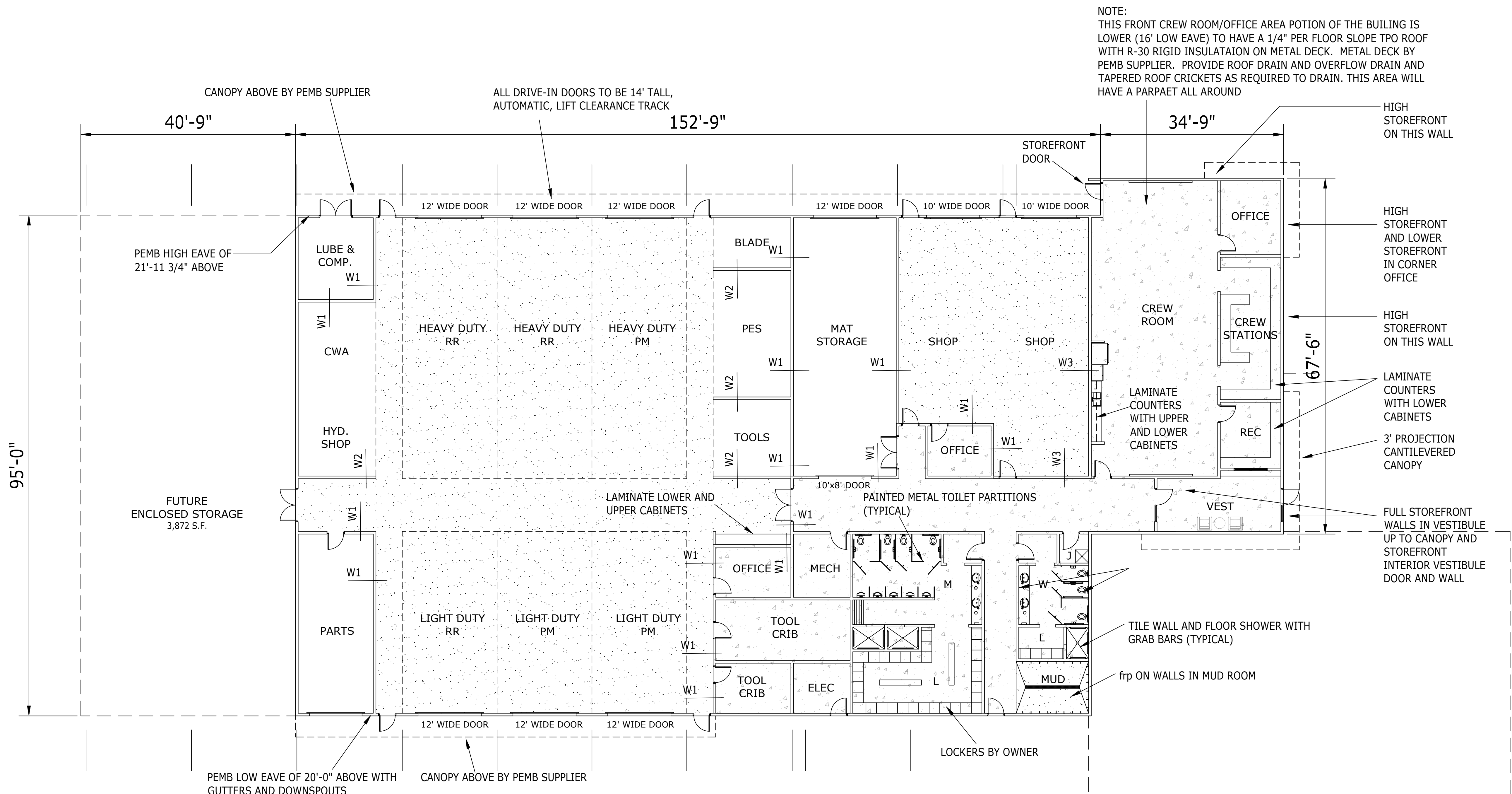
PAVING AND STRIPING ALTERNATE:
 PROVIDE 7-1/2" CONCRETE PAVING (NO REINFORCING) OVER 4" BASEROCK AT ALL AREAS SHOW AS GRAVEL DRIVES AND REAR SERVICE /PARKING YARD.
 PROVIDE PARKING STRIPING AS SHOWN IN THE REAR SERVICE/PARKING AREA ON THE CONCRETE PAVING

OVERALL SITE PLAN

1" = 40'-0"



PRELIMINARY
 NOT
 FOR
 CONSTRUCTION


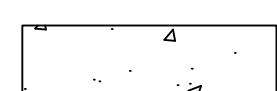


NOTE:
THIS FRONT CREW ROOM/OFFICE AREA PORTION OF THE BUILDING IS LOWER (16" LOW EAVE) TO HAVE A 1/4" PER FLOOR SLOPE TPO ROOF WITH R-30 RIGID INSULATION ON METAL DECK. METAL DECK BY PEMB SUPPLIER. PROVIDE ROOF DRAIN AND OVERFLOW DRAIN AND TAPERED ROOF CRICKETS AS REQUIRED TO DRAIN. THIS AREA WILL HAVE A PARPAET ALL AROUND

WALL TYPES

- W1 8" cmu UP TO 8' A.F.F. AND THEN 6" STUDS WITH 5/8" GYP. BD. EACH SIDE ON TOP OF CMU WALL UP TO ROOF DECK. PROVIDE UNFACED BATT INSULATION IN STUDS WALL
 - W2 8" cmu WALL UP TO 8' A.F.F.
 - W3 8" CMU UP TO 8' A.F.F. AND THEN 6" STUDS WITH 5/8" GYP. BD. EACH SIDE ON TOP OF CMU WALL UP TO ROOF DECK. EXTEND GYP. B.D. DOWN ON FURRING CHANNELS OVER CMU ON HALLWAY AND CREW ROOM SIDES. PROVIDE UNFACED BATT INSULATION IN STUDS WALL
- ALL OTHER WALLS NOT NOTED TO BE 3-5/8" OR 6" METAL STUD WALLS WITH 5/8" GYP. BD. EACH SIDE UP TO MIN. 6" ABOVE FINISHED CEILING WITH UNFACED BATT WALL INSULATION. PROVIDE M.R. GYP. BD. AT WET LOCATIONS

FLOOR FINISHES

-  HIGH-PERFORMANCE FLOORING SYSTEM TO BE "ELITE-CRETE" HERMETIC STOUT OR EQUIVALENT
 -  GRIND AND POLISH CONCRETE FINISH FLOOR
- ALL OTHER FLOORS NOT INDICATED WITH PATTERN ARE TO BE SEALED CONCRETE

MISC. FLOOR PLAN NOTES

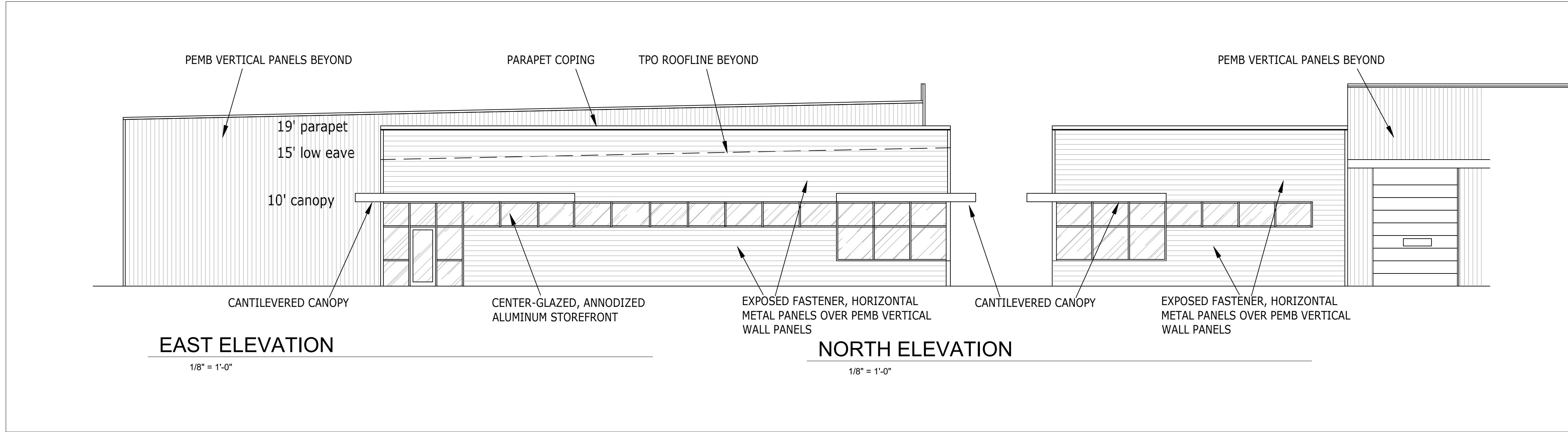
1. PROVIDE ELECTRONIC STRIKES FOR CARD READERS BY OWNER AT ALL STOREFRONT EXTERIOR DOORS.
2. PROVIDE 2X2 LAY-IN CEILING AT ALL AREAS SHOWN WITH GRIND AND POLISH FLOORS.
3. INSTALL 4" VINYL BASE AT ALL WALLS, EXCEPT USE TILE BASE IN RESTROOMS. SHOWER ROOMS, LOCKER ROOMS AND MUD ROOM.
4. ALL INTERIOR DOORS (EXCEPT IN VESTIBULE ARE TO BE PRE-FINISHED WOOD DOORS IN WELDED, PAINTED HOLLOW METAL FRAMES. PROVIDE 6"x30" VISION LITES IN ALL INTERIOR WOOD DOORS EXCEPT FOR RESTROOM DOORS.
5. ALL EXTERIOR MAN-DOORS EXCEPT FOR THE TWO FRONT STOREFRONT DOORS ARE TO BE INSULATED METAL DOOR WITH WELDED HOLLOW METAL FRAMES. PROVIDE PANIC HARDWARE AND CLOSERS.
6. 6" THICK SLAB WITH W.W.F. TO BE USED IN THE AREAS INDICATED AS "HIGH PERFORMANCE FLOORING". 4" THICK SLAB IS TO BE USED ELSEWHERE.

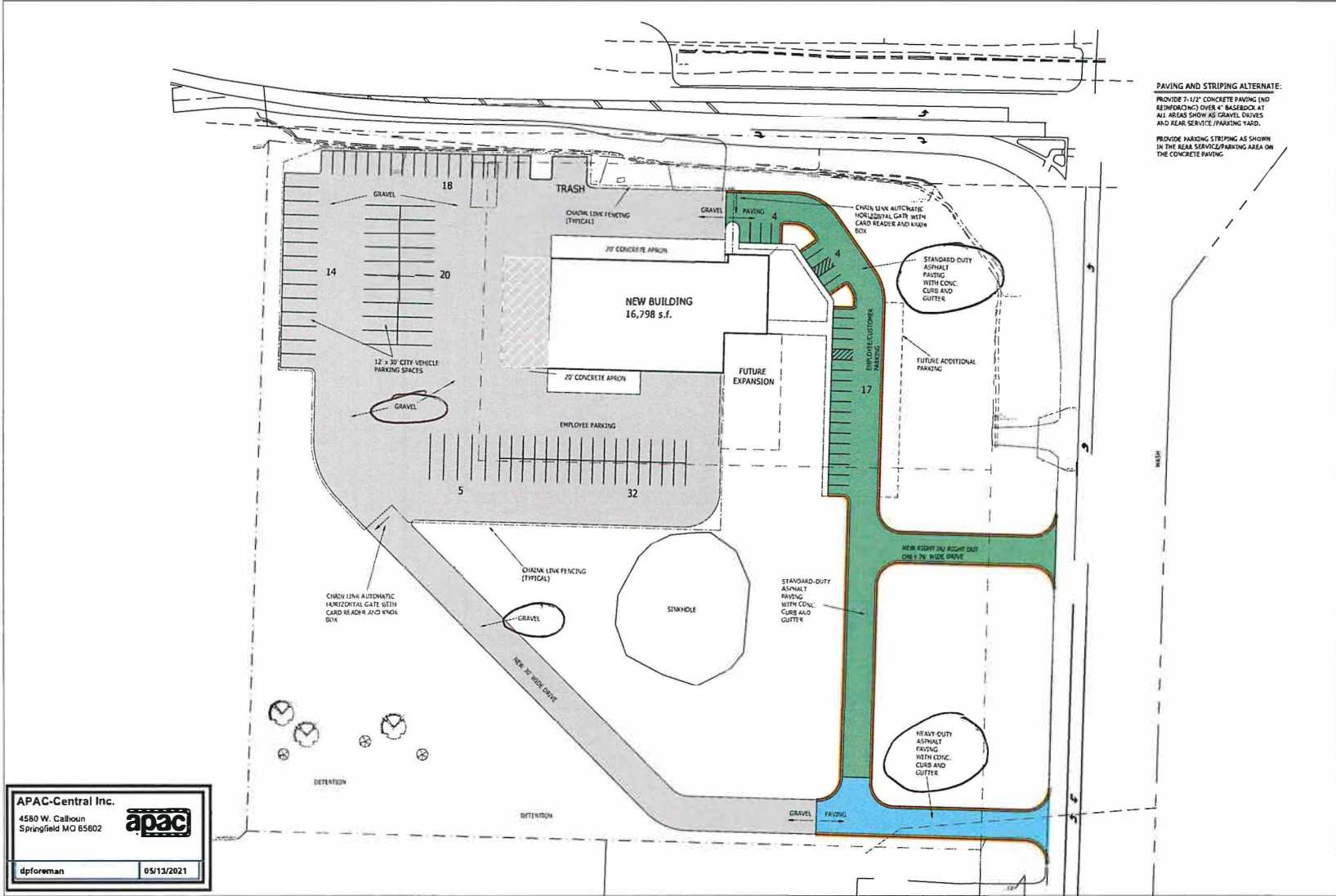
FUTURE ADMIN 10,000 s.f.

PRELIMINARY
NOT
FOR
CONSTRUCTION

OVERALL FLOOR PLAN

3/32" = 1'-0"





PAVING AND STRIPING ALTERNATE:
 PROVIDE 7-1/2" CONCRETE PAVING AND REINFORCING OVER 4" BASECOURSE AT ALL AREAS SHOWN AS GRAVEL DRIVES AND REAR SERVICE/PARKING YARD.
 PROVIDE PARKING STRIPING AS SHOWN IN THE REAR SERVICE/PARKING AREA ON THE CONCRETE PAVING.

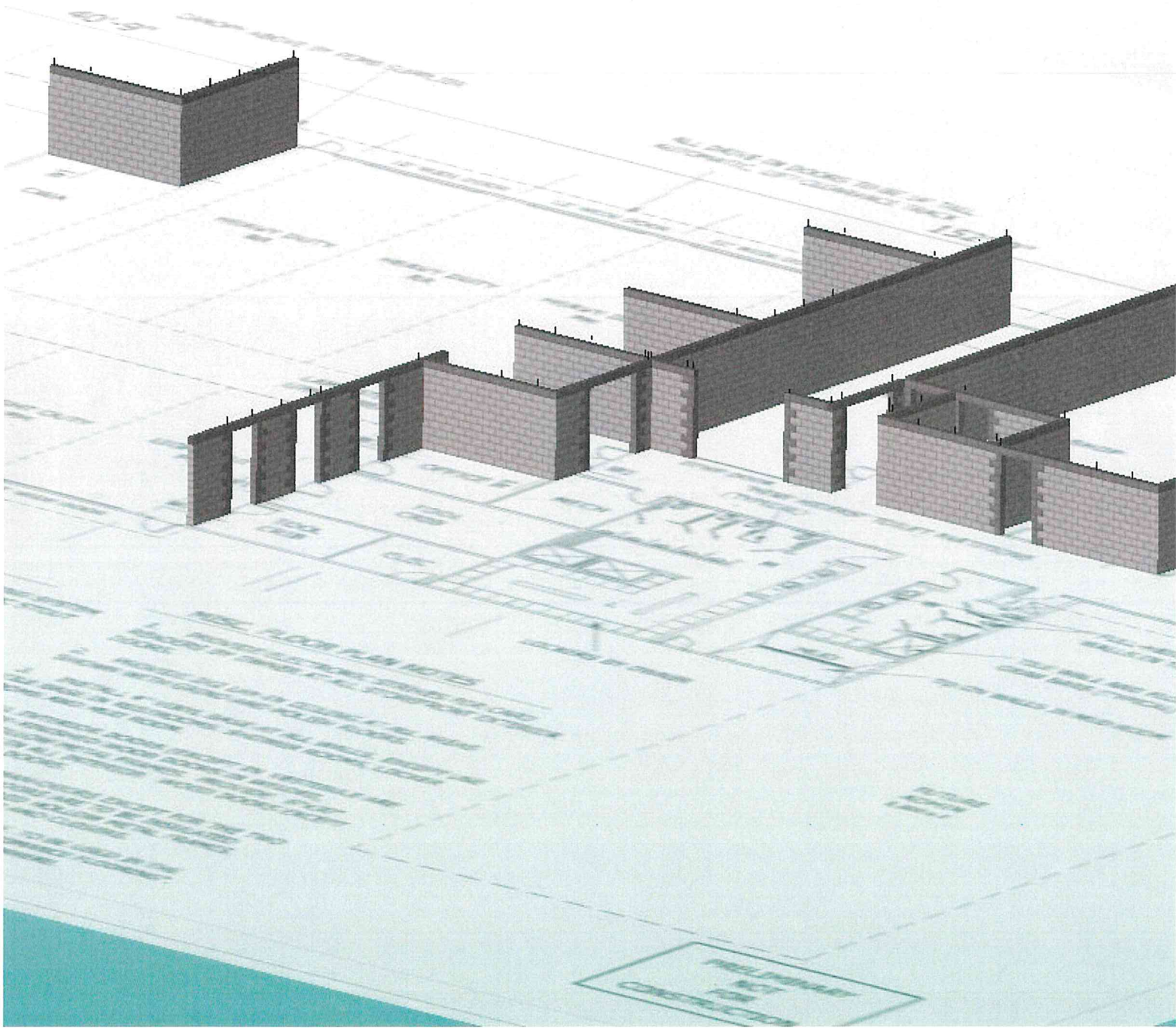
APAC-Central Inc.
 4580 W. Calhoun
 Springfield MO 65802

dpforeman 05/13/2021

OVERALL SITE PLAN
 1" = 40'

Proposed Paving Plan

PRELIMINARY
 NOT
 FOR
 CONSTRUCTION



CMU Block Wall Location
3-D View



REFERENCES

Michael Shoults

Project Manager, Erlen Group
417-844-2992

Zach Hoskins

Duckett Ladd CPAs
417-881-3500

Bill Jameson

Board Member, Volt Credit Union
417-830-5042

Tom Rankin

Owner, Rankin Development
417-887-8826

Sally Hargis

CEO, Ozarks Coca-Cola Bottling Co.
417-872-8515

Bart Brown

CEO, Ozarks Food Harvest
417-865-3411



voltcu.org • 417.862.0471 • 888.430.7199

PO Box 1217, Springfield, MO 65801-1217

February 2, 2021

To Whom It May Concern:

Re: Letter of recommendation for Ross Construction

Volt Credit Union contracted with Ross Construction in the summer of 2020 as our general contractor for a purchase/remodel project. The building was approximately 3500 square foot building that was previously a restaurant that we needed to be renovated for a financial services branch location.

Volt Credit Union has been extremely satisfied with the quality, workmanship, and professionalism of Ross Construction and its employees throughout this entire project. Regular site meetings were held in which Ross Construction always had key staff involvement and representation. Concerns were promptly addressed by David Ross or onsite supervisor. Ross Construction understands what it takes to maintain successful relationships not only with their customers, but also with third parties and those subcontractors they utilize for their projects.

Ross Construction has worked closely with Volt, our architect, and the City of Springfield to ensure the construction process was as seamless as possible. Ross Construction has assisted with any project design changes and has made valuable recommendations during the project to ensure our branch was both aesthetically pleasing and functional. Ross Construction worked well with other third-party vendors Volt contracted that were outside the scope of their work.

Volt Credit Union would highly recommend Ross Construction to any organization. They have provided the resources and expertise to successfully meet our requests on every occasion. We are very thankful for the exceptional relationships we were able to acquire with Ross Construction leadership and staff through this process and look forward to working with them again in the future.

Respectfully Submitted,

A handwritten signature in black ink that reads "William Jameson". The signature is written in a cursive style.

William "Bill" Jameson
Chairman of the Board Volt Credit Union



February 3, 2021

To Whom It May Concern:

Prior to our construction project, I had zero experience with the construction process and what all of that looked like. There seemed to be mountains of unknowns and a long road ahead that was unclear. Until we found ROSS.

The team at ROSS was able create clarity and confidence in our journey to build out an extremely important space for our business.

They were able to communicate and teach in a way that I could understand and feel part of the process. The budgeting process was one of these moments where they worked with us to land on what we were hoping to achieve and what was in our budget to invest.

Secondly, the communication between ROSS' project manager, the project's superintendent and myself was as smooth as it could be. We were able to work through successes, challenges, and changes in an efficient manner.

Lastly, ROSS was able to create a space that brought our vision to life. From the quality of construction, to the quality of sub-contractors, to finishes and everything in between, we are highly satisfied with the product that ROSS brought to fruition for us.

We highly recommend them and would 100% use them again in the future.

Thank you,

A handwritten signature in black ink, appearing to read 'ZH' with a stylized flourish.

Zach Hoskins
Integrator
zhoskins@duckettladd.com
417-883-6590



February 3, 2021

To Whom It May Concern,

On behalf of the Erlen Group I would like to offer a letter of recommendation for David Ross and the Ross Construction Group. I have had the pleasure of working with David and his team on several projects involving all aspects of the construction process from pre-construction through project completion.

erlengroup.com

3253 E. Chestnut Expressway #1
Springfield, MO 65802

417.874.1400

Ross Construction Group always takes a proactive approach and demonstrates a high level of integrity, knowledge and an understanding of their client's needs. Combine those traits with strong project supervision, quality craftsmanship and attention to detail, you have a team that can successfully manage a project and overcome challenges.

I have been very satisfied with the projects Ross Construction Group has performed for the Erlen Group and would highly recommend them to be a part of your team.

Regards,

M. Shoults

Michael Shoults
Project & Property Manager
Erlen Group
mshoults@erlengroup.com

TECHNICAL APPROACH


At Ross Construction Group, we approach each of our projects with four cornerstones.

1. **Safety:** from beginning to the end, our commitment to the safety and well-being of our project team members is second to none. We utilize the services of Summit Safety Group for site inspections, reporting, and to ensure we are current with all OSHA guidelines.
2. **Pre-Construction:** The success of a project begins with creating construction documents that align with the project control budget. We bring our expertise in collaboration with the design team in an effort to help ensure that the owner achieves their desired result while ensuring budget goals are met.
3. **Construction:** Develop and maintain the schedule for construction consistent with the established time-line for completion while making certain that our high level of quality is met and the project remains within budget. We utilize RedTeam cloud-based construction management software along with other platforms such as Slack to make sure that our project construction documents are always kept current and all of our project team members are up-to-date. Each of our project teams utilize a project specific quality assurance plan that is tailored to the specific requirements of each project to meet our goal of delivering a project that the entire team is proud of.
4. **Close-Out.** Providing Operation & Maintenance information, owner training, and timely completion of the punch-list is critical toward delivering the final impression of a successful project. Vigilant pre-punch on our teams part helps ensure that the project is completed on time and allows for a smooth transition to owner occupancy.

Through our many years of experience, we have found that focusing on these four cornerstones keep all parties informed of the process, and help us create lasting partnerships with the client.



SAFETY RECORD

 WORKERS COMPENSATION EXPERIENCE RATING								
Risk Name: ROSS CONSTRUCTION GROUP LLC						Risk ID: 241123324		
Rating Effective Date: 10/11/2020			Production Date: 04/14/2020			State: MISSOURI		
State	Wt	Exp Excess Losses	Expected Losses	Exp Prim Losses	Act Exc Losses	Ballast	Act Inc Losses	Act Prim Losses
MO	.06	9,278	12,623	3,345	0	34,875	0	0
(A) Wt	(B) Exp Exc Losses (D - E)	(D) Expec Losses	(E) Exp P Losses	(F) Act Losses (H - I)	(G) Ball	(H) Act Losses	(I) Act P Losses	
.06	9,278	12,623	3,345	0	34,875	0	0	
Primary Losses		Stabilizing Value		Ratable Excess		Totals		
(I)		C * (1 - A) + G		(A) *		(J)		
Actual	0	43,596		0		43,596		
Expected	3,345	43,596		557		47,498		
ARAP		FLARAP		SARAP		MAARAP		Exp Mod
Factors		1.00						(J) / .92

CITY OF REPUBLIC, MISSOURI

AFFIDAVIT OF COMPLIANCE WITH SECTION 285.500 RSMO., ET SEQ.
FOR ALL AGREEMENTS IN EXCESS OF \$5,000.00

STATE OF MISSOURI)
) ss.
COUNTY OF GREENE)

Before me, the undersigned Notary Public, in and for the County of GREENE, State of MISSOURI, personally appeared DAVID ROSS (Name) who is MEMBER (Title) of ROSS CONSTRUCTION GROUP LLC (Name of company), (corporation), (partnership), (sole proprietorship), (limited liability company), and is authorized to make this affidavit, and after being duly sworn did depose and say:

- (1) that said company is enrolled in and participates in a federal work authorization program with respect to the employees working in connection with the contracted services; and
- (2) that said company does not knowingly employ any person who is an unauthorized alien in connection with the contracted services.

The terms used in this affidavit shall have the meaning set forth in Section 285.500 R.S. Mo., et seq.

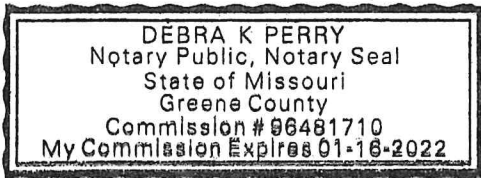
Documentation of participation in a federal work authorization program is attached to this affidavit.

David Ross
Signature
David Ross
Printed Name

Subscribed and sworn to before me this 15th day of JUNE, 2021.

Debra K Perry
Notary Public

My commission expires: January 16, 2022



Company ID Number: 1259063

Approved by:

Employer Ross Construction Group LLC	
Name (Please Type or Print) Andrew F Ross	Title
Signature Electronically Signed	Date 01/04/2018
Department of Homeland Security – Verification Division	
Name (Please Type or Print) USCIS Verification Division	Title
Signature Electronically Signed	Date 01/05/2018



BUXTON KUBIK DODD
DESIGN COLLECTIVE
COPYRIGHT © BY BUXTON KUBIK DODD, INC. 2021

We are proud members of our community. We live, work and raise our families here. We share common values, goals and interests with each of our clients, allowing us to maintain strong relationships with them. We take pride in our building projects with superior workmanship and a solid commitment to each project before, during, and after completion. We encourage you to contact our references, many of whom are repeat clients and will attest to our commitment to the community and each project we construct. We appreciate the opportunity to team up with you!

-Kenny, David, and Andy Ross

ROSS CONSTRUCTION GROUP



Request for Proposal

Community Development/Public Works Building Contractor/Construction Manager June 2021

REQUEST FOR PROPOSAL (RFP)

It is the intent of the City of Republic (“City”) to receive Proposals from Contractors/Builders to deliver a new Community Development/Public Works Building (“RFP”). The City desires to enter into an agreement with a firm/consultant who can provide construction management services for the development of a new Community Development/Public Works Building on a specific location in the City. The City will select and negotiate with those firms/consultants whose submittals are responsive to this RFP and are in the best interest of the City. Any documents submitted in response to this RFP must provide sufficient detail and information to allow a complete evaluation of its merit. The instructions contained herein should be followed for responses to be considered responsive to this RFP. The City reserves the right to cancel this solicitation at any time.

RFP Process

All proposals must be received by the City Clerk’s Office, 213 N. Main Avenue, Republic, MO 65738, no later than **3:00 p.m. on Wednesday, June 16, 2021.** At said time and place, all responses duly received will be opened. All responses to the RFP shall be a matter of public record. All criteria for evaluation are set forth in the RFP. Only these criteria will be used by the City to determine, in its judgment, the most qualified firm/consultant. The City reserves the right to reject any or all responses with or without cause. There is no expressed or implied obligation for the City of Republic to reimburse responding firms and the City will not reimburse for any expenses incurred in preparing responses to this request.

Submission

Two (2) originals as well as a digital version contained on a USB must be submitted. The envelope or package containing the responses must be plainly labeled:

City of Republic
213 North Main Street
Republic, MO 65738
Attn: Laura Burbridge, City Clerk
RFP – Community Development/Public Works Building
Contractor/Construction Manager

It is the sole responsibility of the firms to see that submittals are received in a timely manner. The firms shall bear any and all risks for any delays associated with their selected method of delivery or that are misdirected due to improper identification.

Proposal Deadline

The receipt deadline will be scrupulously observed. Late submittals shall be date stamped, remain unopened and returned to the submitter if requested.

All submittals shall be prepared and submitted in accordance with the provisions of this RFP. The City reserves the right to waive any informalities, irregularities, or variances, whether technical or substantial in nature, or to reject any and all responses at its sole discretion. Any submittal may be modified or withdrawn prior to the indicated time for receipt of the responses or authorized postponement thereof. Any submittal not so withdrawn shall constitute an irrevocable offer for a period of sixty (60) days to provide to the City the services set forth in this RFP.

Clarification and Addenda

Each firm shall examine all RFP documents and shall judge all matters relating to the adequacy and accuracy of such documents. Any inquiries, suggestions, or requests concerning interpretation, clarification, or additional information pertaining to the RFP shall be made in writing through the City's Builds Department.

The City shall not be responsible for oral interpretation given by any City employee, representative, or others. The issuance of a written addendum is the only official method whereby interpretation, clarification, or additional information may be given. If any addenda are issued to the RFP, the City will attempt to notify all prospective consultants who have secured the same. However, it shall be the responsibility of each consultant prior to submitting their proposal, to contact the City's BUILDS Department (417-732-3150) to determine if any addenda were issued and to make such addenda a part of the competitive proposal.

The City reserves the right to request clarification of information submitted and to request additional information of one or more applicants.

Preparation Expenses

Each firm/consultant preparing a response to the RFP shall bear all expenses associated with its preparation and any subsequent and related expenses, and no claims for reimbursement shall be submitted to the City for the expense of preparation or presentation.

Legal Name

Responses shall clearly indicate the legal name, address and telephone number of the firm/consultant and shall indicate whether the firm/consultant is a corporation, general partnership, individual or other business entity. Proposals shall be signed above the typed or printed name and the title of the signer. The signer shall have the authority to bind the consultant to the submitted competitive proposal.

Openness of Procurement Process

Written responses, other discussions, correspondence, and all other pertinent records shall be handled as public records in compliance with State and Federal open records statutes and regulations. All documents relating to this RFP, subsequent submittals and meetings with the City Council are subject to statutory requirements of the Missouri Sunshine Law.

Errors and Omissions

Once a response is submitted, the City may consider requests by any firm/consultant to correct errors or omissions but shall retain sole discretionary authority to determine the outcome of such a request.

Retention and Disposal of Proposals

The City reserves the right to retain all submitted statements for public recordkeeping purposes. No copies of any material will be returned to the firm/consultant. The City reserves the right, and the Builds Department has absolute and sole discretion, to cancel this solicitation at any time prior to the execution of a formal contract.

Collusion

By offering a response to this RFP, the firm/consultant certifies they have not divulged, discussed, or compared its submittal with any competitors, and have not colluded with any other firm/consultant or parties to this process whatsoever. The firm/consultant also certifies, and in the case of a joint venture each party thereto certifies as to its own organization, that in connection with their submittal:

1. No attempt has been made or will be made by the firm/consultant to induce any other person or firm to submit or not to submit a Statement of Qualifications for the purpose of restricting competition.
2. All persons interested in this project, principal, or principals being named therein and no other person have an interest in this project or in the Agreement to be entered into.
3. No person or agency has been employed or retained to solicit or secure this Agreement upon an agreement or understating for a commission, percentage, brokerage, or contingent fee, excepting bona fide employees or established commercial agencies maintained by the firm/consultant for the purpose of doing business.

Schedules

The schedule for submittal of proposals is as follows:

Request for Proposals issued: **June 2, 2021**

Deadline to Receive Responses: **3:00 p.m., June 16, 2021**

Evaluation of proposals, award, and any resulting contractual services shall be determined following proposal opening and review.

Contract for Services

The successful firm/consultant will be required to fully execute and comply with all provisions of a PROFESSIONAL SERVICES CONTRACT as prepared by the City with input from the firm/consultant. Firm/Consultants will be advised to thoroughly review the terms of the contract prior to entering into an agreement with the City. Insurance will be required of the successfully firm/consultant that shall be no less than the current sovereign immunity limits set by the State of Missouri, State required workers' compensation, automobile coverage, and any additional insurance deemed necessary by the City.

Terms

The City reserves the right to reject any and all proposals received from this RFP. It further has the right to negotiate with any qualified source, or to cancel in part or in its entirety this RFP. The City also reserves the right to modify, suspend, or terminate at its sole discretion any and all aspects of this RFP process, to obtain further information from any and all respondents, and to waive any defects as to form or content of the RFP or any submissions by any firm. This RFP does not commit the City to award a contract, to defray any costs incurred in the preparation of a response to this request, or to procure or contract for services. All submissions become the property of the City as public record. All submissions may be subject to public review upon request.

INSTRUCTIONS FOR PREPARATION OF A STATEMENT OF QUALIFICATIONS

General

All firm/consultants responding to this RFP shall provide sufficient information and data to fully allow a complete evaluation of their qualifications. Information and data submitted by each firm/consultant with the proposal shall be incorporated into the contract documents by reference.

REQUIRED INFORMATION

Firm/Consultant, and/or any sub-consultants, must present satisfactory evidence to the City indicating their ability to meet the scope of work within a prompt timeframe. In addition, to ensure consistency, responses should generally conform to the following format:

Cover Letter

Table of Contents

Sections

1. Introduction and Executed Signature Page
2. Qualifications
3. Proposed budget
4. References
5. Technical Approach
6. E-verify and Other Information

Section 1 – Introduction and Executed Signature Page

This section must contain an overview of the firm/consultant and any proposed sub-consultants. The introduction shall clearly indicate the legal name, address, telephone number, and local contact information (if available) of the firm/consultant. The introduction will include a statement to the effect that:

The submission of this Proposal indicates acceptance by the firm of the stipulations contained in the RFP.

The statement must be signed above the typed or printed name and title of the signer. The signer shall have the authority to bind the consultant to the submitted response.

Section 2 – Qualifications

Provide a description and history of the firm/consultant. Provide recent experience demonstrating current capacity, familiarity, and expertise in completing a comprehensive feasibility study as it relates to the development of a potential new Community Development/Public Works Building. Specific experience with projects or contracts matching those described within the Scope of Services will be most valuable.

Section 3 – Proposal

Provide a budget, schedule, and plan for complete construction of the building as described in *Scope of Services* including all supplemental architectural/engineering services, contract documents, plumbing, electrical, sprinkler/fire protection, HVAC, and any other supplemental services that may be required to complete the building. Certain exclusions the City will complete independently are listed in *Scope of Services*.

Section 4 – References

Provide references for which the firm has performed services within the past two (2) years that are similar to the requirements in the Scope of Services. At least two (2) of the references should be from government entities for work performed that is similar to that specified in this RFP. Provide the reference contact name, address, e-mail address, telephone number and a summary and date of the services provided.

Section 5 – Technical Approach

Provide a general description of the firm's approach to provide the Scope of Services. Include an explanation of the firm's quality control and quality assurance measures. Describe the firm's technological capabilities and the ability to comply with deadlines and timelines identified in the Scope of Services.

Section 5 – E-Verify and Other Information

E-Verify provisions pursuant to RSMo. 285.530 are applicable. All Contractors for contracts exceeding five thousand dollars (\$5,000) shall by sworn affidavit and provision of documentation, affirm its enrollment and participation in a federal work authorization program with respect to the employees working in connection with the contracted services. Every such business entity shall also sign an affidavit affirming that it does not knowingly employ any person who is an unauthorized alien in connection with the contracted services. Consultants shall use the Affidavit form included in the RFP and include with their Statement of Qualifications, along with an executed E-verify Memorandum of Understanding and demonstration of enrollment in the federal E-verify system. The preceding requirement will be waived for consultants who previously submitted suitable E-verify documents within the last 120 calendar days. Current E-verify documents will be required in conjunction with any contract execution, addendum or extension.

SCOPE OF SERVICES

Background

The City of Republic, Missouri, requires construction services to build a new Community Development/Public Works Building. Currently the department is housed in two separate buildings containing eight (8) usable offices, record retention areas, conference room with capacity for 10-12, one (1) garage area, approximately 13,000 square feet of securable outdoor storage.

Site Location Evaluation

1. Customer Convenience.
 - a. Customer accessibility - construction of a facility that allows for easy access to the public.
 - b. Site accessibility – traffic flows, ingress/egress constraints, parking, and on-site circulation.
2. Future Growth.
 - a. Scalable site for future additions.
3. Visibility/Image.
 - a. Building visibility from street view.

Building and Civil Plan

1. On a specific site located at the corner of W Republic Road (State Highway M) and S Wilsons Creek Boulevard (State Highway ZZ), develop a Community Development/Public Works Building.
2. The City has tentatively budgeted for \$4.5 million to complete this project including materials, labor, paving/concrete work, and all other processes/ materials required to complete the building . As the budget allows the building desired would be:
 - a. Approximately 17,000 square foot building to accommodate the public works divisions of the BUILDS department. This building shall include at least 3 drive through bays, parts room, material storage with exterior access, fabrications shop area with exterior access, male and female locker/restrooms with showers to accommodate up to 50 field staff, break/training room, and at least 3 offices. Building shall be designed to easily be added on to. proposal shall include . Securable outdoor equipment storage for approximately 75 vehicles, machinery, and trailers as well as outdoor covered material storage areas will also be required.

Alternate 1 – Administration addition to be constructed at the same time as construction of Public works portion, approximately 10,000 square feet finished area containing: Office space to accommodate fifteen administrative personnel, record retention area, breakroom/lunchroom, conference room, reception area and male and female restrooms that may be accessible to the public.

Alternate 2 – Shell for building described in alternate 1, without infill.

Full Development Proposal

3. Provide development proposal broken down by;
 - a. Environment abatement (if required)
 - b. Permits, design fees, engineering fees, etc.
 - c. Site development, i.e. land balancing
 - d. Infrastructure engineering costs, i.e. offsite extensions to site, internal infrastructure, parking, ingress/egress, etc. Water, Wastewater, Stormwater, and Earthwork will be completed by the City based on engineering provided by Contractor/Construction Managers engineer

- e. Building construction costs with prevailing wage considerations.

PROPOSAL EVALUATION AND SELECTION

All responses shall be evaluated with respect to the completeness of the information provided, support for all claims made, and the overall approach taken. The following criteria shall be utilized in the technical evaluation of the consultant's proposal in order of no importance:

1. Proposal
2. Experience with similar types of projects within the local government arena.
3. Key staff, project understanding and approach
4. Ability to communicate and respond to City Council, staff, residents, and businesses.
5. Thoroughness of material submitted including the proposed work plan and the quality and type of service provided.
6. Reports from references

Rejection of Responses

In addition to the Terms contained in this RFP, the City may also reject responses if:

1. The consultant misstates or conceals any material fact in the proposal.
2. The rejection of all responses is deemed to be in the best interest of the City.



City of Republic Missouri
 213 North Main
 Republic, Missouri 65738-1472
 Phone: (417) 732-3100 Fax: (417) 732-3149

**NOTICE AND INSTRUCTIONS TO BIDDERS/VENDORS
 REGARDING SECTIONS 285.525 THROUGH 285.550 RSMO**

Pursuant to the State of Missouri's RSMO 285.530(1), No business entity or employer shall knowingly employ, hire for employment, or continue to employ an unauthorized alien to perform work within the State of Missouri.

As a condition for the award of any contract or grant in excess of five thousand dollars by the state or by any political subdivision of the state (e.g., City of Republic, MO) to a business entity, the business entity (Company) shall, by sworn affidavit and provision of documentation, affirm its enrollment and participation in a federal work authorization program with respect to the employees working in connection with the contracted services. Every such business entity shall sign an affidavit affirming that it does not knowingly employ any person who is an unauthorized alien in connection with the contracted services. [RSMO 285-530(2)]

The City of Republic, Missouri, in order to comply with sections 285.525 through 285.550 RSMO, requires the following bid and contract documents:

Required Affidavit for Contracts Over \$5,000.00 (US) –Company shall comply with the provisions of Section 285.525 through 285.550 RSMo. Contract award is contingent on Company providing an acceptable notarized affidavit stating:

1. that Company is enrolled in and participates in a federal work authorization program with respect to the employees working in connection with the contracted services; and
2. that Company does not knowingly employ any person who is an unauthorized alien in connection with the contracted services.

Copies of affidavit can be found and downloaded on the City of Republic Missouri Public Works website; <http://www.republicmo.com/212/Public-Works-Resources> See attached sample

Additionally, Company must provide documentation evidencing current enrollment in a federal work authorization program (e.g., electronic signature page from E-Verify program's Memo of Understanding (MOU)). See attached sample

The City of Republic encourages companies that are not enrolled and participating in a federal work authorization program to do so. E-Verify is an example of this type of program. Information regarding E-Verify is available at <https://www.dhs.gov/how-do-i/verify-employment-eligibility-e-verify> or by calling 888-464-4218.



CITY OF REPUBLIC, MISSOURI

AFFIDAVIT OF COMPLIANCE WITH SECTION 285.500 RSMO., ET SEQ.
FOR ALL AGREEMENTS IN EXCESS OF \$5,000.00

STATE OF _____)
) ss.
COUNTY OF _____)

Before me, the undersigned Notary Public, in and for the County of _____,
State of _____, personally appeared _____ (Name)
who is _____ (Title) of _____
(Name of company), (corporation), (partnership), (sole proprietorship), (limited liability company), and is
authorized to make this affidavit, and after being duly sworn did depose and say:

- (1) that said company is enrolled in and participates in a federal work authorization program with respect to the employees working in connection with the contracted services; and
- (2) that said company does not knowingly employ any person who is an unauthorized alien in connection with the contracted services.

The terms used in this affidavit shall have the meaning set forth in Section 285.500 R.S. Mo., et seq.

Documentation of participation in a federal work authorization program is attached to this affidavit.

Signature

Printed Name

Subscribed and sworn to before me this _____ day of _____, _____.

Notary Public

My commission expires: _____

Company ID Number: XXXXXX

The foregoing constitutes the full agreement on this subject between the SSA, DHS (Department of Homeland Security), and the Employer.

The individuals whose signatures appear below represent that they are authorized to enter into this MOU on behalf of the Employer and DHS respectively.

To be accepted as a participant in E-Verify, you should only sign the Employer's Section of the signature page. If you have any questions, contact E-Verify Operations at 888-464-4218.

Employer, Your Company Name

John Doe _____ Title _____
Name (Please type or print)

Electronically Signed _____ Date _____
Signature

Verification

Department of Homeland Security Division _____
Name (Please type or print) Title _____

USCIS Verification Division _____
Name (Please type or print) Title _____

Electronically Signed _____ Date _____
Signature

