



OROVILLE PLANNING COMMISSION

Council Chambers
1735 Montgomery Street
Oroville, CA. 95965

**December 18, 2019
REGULAR MEETING
OPEN SESSION 7:00 PM
AGENDA**

CITY OF OROVILLE PLANNING COMMISSION

CHAIR: Damon Robinson
VICE-CHAIR: Carl Durling
MEMBERS: Randy Chapman; Wyatt Jenkins; Michael Britton, Tammy Flicker, Susan Sears

ALL MEETINGS ARE RECORDED AND BROADCAST LIVE

*This meeting may be broadcast remotely via audio and/or video conference at the following address:
Cota Cole, LLP, 2261 Lava Ridge Court, Roseville, California 95661.
Meeting is streamed live at cityoforoville.org and on YouTube*

CALL TO ORDER

ROLL CALL

Commissioners: Tammy Flicker, Michael Britton, Randy Chapman, Wyatt Jenkins, Susan Sears, Vice Chairperson Carl Durling, Chairperson Damon Robison

PLEDGE OF ALLEGIANCE

INSTRUCTIONS TO INDIVIDUALS WHO WISH TO SPEAK

If you would like to address the commission at this meeting, you are requested to complete the blue speaker request form (located on the wall by the agendas) and hand it to the City Clerk, who is seated on the right of the Council Chamber. The form assists the Clerk with minute taking and assists the Mayor or presiding chair in conducting an orderly meeting. Providing personal information on the form is voluntary. For scheduled agenda items, please submit the form prior to the conclusion of the staff presentation for that item. Council has established time limitations of three (3) minutes per speaker on all items and an overall time limit of thirty minutes for non-agenda items. If more than 10 speaker cards are submitted for non-agenda items, the time limitation would be reduced to two minutes per speaker. If more than 15 speaker cards are submitted for non-agenda items, the first 15 speakers will be randomly selected to speak at the beginning of the meeting, with the remaining speakers given an opportunity at the end. **(California Government Code §54954.3(b))**. Pursuant to Government Code Section 54954.2, the commission is prohibited from taking action except for a brief response from the Council or staff to statements or questions relating to a non-agenda item.

PUBLIC COMMENTS

This is an opportunity for members of the public to address the Planning Commission on any subject not on the agenda related to the Planning Commission.

APPROVAL OF MINUTES

1. The Planning Commission may approve the October 24, 2019 and October 29, 2019 Planning Commission Minutes.

PUBLIC HEARINGS

The Public Hearing Procedure is as follows:

- Chairperson opens the public hearing.
- Staff and Property Owner introduce item and take questions from the Commissioners
- Speakers are requested to provide a speaker card to the City Clerk. Hearing is opened for public comment limited to three (3) minutes. Under Government Code 54954.3. the time for each presentation may be limited.
- Public comment session is closed
- Commissioners, discuss, debate and action.

1. MINOR USE PERMIT UP19-06 FOR A NEW STARBUCKS DRIVE THRU AT 3004 OLIVE HIGHWAY

The Oroville Planning Commission will review and consider approving Use Permit No. UP19-06 for the demolition of an existing 1,335 square foot building at 3004 Olive Highway, Oroville, California, and construction of a new 2,225 square foot Starbucks with drive-thru with associated site improvements.

RECOMMENDATION

1. **Adopt** the Class 32 Categorical Exemption for In-Fill Development Projects (CCR, Title 14, Sec. 15332 – as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA); and
2. **Adopt** the recommended Findings for Use Permit No. UP19-06, and
3. **Approve** Use Permit UP19-06 and recommended Conditions of Approval; and
4. **Adopt** Resolution No. P2019-14

REGULAR BUSINESS

2. DESIGNATION OF TWO PLANNING COMMISSIONERS TO THE DEVELOPMENT REVIEW COMMITTEE

According to Oroville Municipal Code 17.52, the Development Review Committee (DRC) should meet monthly to review all discretionary permits, and also certain ministerial permit applications for new construction. Now that there is a development pipeline, the Committee should be officially re-formed and two Planning Commissioners named to sit on it.

RECOMMENDATION

1. Name two commissioners to sit on the Development Review Committee for the next three months, with one to chair the committee; and
2. Create a rotation list so that DRC membership can rotate every three months per OMC 17.56.040 A

DIRECTOR'S REPORT

The Director shall report on information pertinent to the Planning Commission.

COMMISSION REPORTS

Reports by commission members on information pertinent to the Planning Commission.

ADJOURNMENT

Adjourn to January 23, 2020 at 7:00 P.M. in the Oroville City Council Chambers

***** NOTICE *****

Accommodating Those Individuals with Special Needs – In compliance with the Americans with Disabilities Act, the City of Oroville encourages those with disabilities to participate fully in the public meeting process. If you have a special need in order to allow you to attend or participate in our public meetings, please contact the City Clerk at (530) 538-2535, well in advance of the regular meeting you wish to attend, so that we may make every reasonable effort to accommodate you. Documents distributed for public session items, less than 72 hours prior to meeting, are available for public inspection at City Hall, 1735 Montgomery Street, Oroville, California.

***** NOTICE *****

Any person who is dissatisfied with the decisions of this Planning Commission may appeal to the City Council by filing with the Zoning Administrator within fifteen days from the date of the action. A written notice of appeal specifying the grounds and an appeal fee immediately payable to the City of Oroville must be submitted at the time of filing. The Oroville City Council may sustain, modify or overrule this decision.



**October 24, 2019 and October 29, 2019
MINUTES**

THIS AGENDA WAS POSTED ON OCTOBER 18, 2019 AT 2:17PM. THIS MEETING WAS RECORDED AND MAY BE VIEWED ON CITYOFOROVILLE.ORG OR ON YOUTUBE.

CALL TO ORDER – Meeting called to order by Chairperson Robison at 7:00pm on October 24, 2019

ROLL CALL

PRESENT: Commissioners: Tammy Flicker, Michael Britton, Randy Chapman, Wyatt Jenkins, Susan Sears, Vice Chairperson Carl Durling, Chairperson Damon Robison

ABSENT: None

STAFF: City Administrator Bill LaGrone, Assistant City Clerk Jackie Glover

Motion by Commissioner Durling and second by Commissioner Sears to adjourn the meeting to October 29, 2019 at 7pm due to the power outages. Motion passed.

AYES: Commissioner Flicker, Britton, Chapman, Jenkins, Sears, Durling, Robison

NOES: None

ABSTAIN: None

ABSENT: None

Meeting Adjourned to October 29, 2019 at 7pm. Notice published online and in the window at City Hall on October 29, 2019 at 7:30pm.

CALL TO ORDER – Meeting called to order by Chairperson Robison at 7:00pm on October 29, 2019

ROLL CALL

PRESENT: Commissioners: Tammy Flicker, Michael Britton, Wyatt Jenkins, Susan Sears, Chairperson Damon Robison

ABSENT: Commissioner Randy Chapman, Vice Chairperson Carl Durling

STAFF: Principal Planner Wes Ervin, Assistant City Clerk Jackie Glover

PLEDGE OF ALLEGIANCE – Led by Chairperson Robison

PUBLIC COMMENTS

There were no public comments on non-agenda items.

The following individuals spoke on agenda items:

Sean O'Neill – Item 2

Bobby Jones Sr – Item 3

Marissa Maxey – Item 3

APPROVAL OF MINUTES

- 1. Motion by Commissioner Sears and second by Commissioner Flicker to approve the minutes of September 26, 2019. Motion passed.

AYES: Commissioner Flicker, Sears, Britton, Jenkins, Chairperson Robison
 NOES: None
 ABSTAIN: None
 ABSENT: Commissioner Chapman and Vice Chairperson Durling

PUBLIC HEARINGS

4. APPROVAL OF A CONDITIONAL USE PERMIT FOR THE HAVEN OF HOPE EMERGENCY SHELTER AT 3010 MYERS STREET

The Planning Commission considered reconvening a public hearing to consider approving a Use Permit to change the use of a previous pharmacy to an emergency shelter for up to 25 homeless individuals located at 3010 Myers Street, Oroville, CA.

Motion by Commissioner Sears and second by Commissioner Flicker to continue the Public Hearing to November 21, 2019 for the reasons listed in the staff report. Motion passed.

AYES: Commissioner Flicker, Sears, Britton, Jenkins, Chairperson Robison
 NOES: None
 ABSTAIN: None
 ABSENT: Commissioner Chapman and Vice Chairperson Durling

1. APPROVAL OF A MONUMENT SIGN AT KENTUCKY FRIED CHICKEN RESTAURANT (KFC)

The Planning Commission considered approving the KFC proposed monument sign (Trakit #B1909-049)

Motion by Commissioner Jenkins and second by Commissioner Britton to approve the proposed Monument Sign as the remainder of KFC’s Sign Program with a condition added that the changeable letting must be tamper proof. Motion Passed.

AYES: Commissioner Flicker, Sears, Britton, Jenkins, Chairperson Robison
 NOES: None
 ABSTAIN: None
 ABSENT: Commissioner Chapman and Vice Chairperson Durling

Commissioner Britton Left the room at 7:13pm

2. APPROVAL OF THE LINKSIDE PLACE 2 SUBDIVISION TENTATIVE SUBDIVISION MAP EXTENSION

The Planning Commission considered extending the existing Tentative Subdivision Map for Linkside Place 2 until December 10, 2020.

Motion by Commissioner Sears and second by Commissioner Flicker to approve Resolution No. P2019-13 extending the deadline for filing a Final Subdivision Map for TSM 07-04 for one year

until December 10, 2020, with the stipulation that approval of the Final Map shall remain subject to all other conditions of approval identified in the Letter of Approval dated April 26, 2016.
Motion passed.

Item 1.

AYES: Commissioner Flicker, Sears, Britton, Jenkins, Chairperson Robison
NOES: None
ABSTAIN: None
ABSENT: Commissioner Chapman and Vice Chairperson Durling

Commissioner Britton returned to the meeting

3. ORDINANCE TO PROHIBIT THE SALE OF FLAVORED TOBACCO PRODUCTS IN OROVILLE

The Planning Commission considered recommending to the City Council adoption of changes to Title 17 of the Oroville Municipal Code in order to prohibit the sale of flavored tobacco products.

RECOMMENDATION

Motion by Commissioner Flicker and second by Commissioner Britton to direct staff to bring back different language to the next meeting on November 21, 2019 in regard to limiting flavored tobacco to tobacco shops or removing these items from visibility at shops. Motion passed.

AYES: Commissioner Flicker, Sears, Britton, Jenkins, Chairperson Robison
NOES: None
ABSTAIN: None
ABSENT: Commissioner Chapman and Vice Chairperson Durling

DIRECTOR'S REPORT

Principal Planner Wes Ervin – The applicant for Item 4 turned in an administrative permit application for a 6-bed residential facility at the same property. If this goes through, they will withdraw their Emergency Shelter application; He introduced the new planning department intern Connor; announced that they are awaiting the SB2 grant approval; announced that the Butte County Community Choice Aggerate is moving forward; spoke about the Gateway Project and stated that the department is in early discussions with a potential client; stated that he is working on updating the codes related to abandoned shopping carts.

Assistant City Clerk Jackie Glover – Requested that the December Planning Commission Meeting be moved to December 18, 2019. The commission consented.

COMMISSION REPORTS

None

ADJOURNMENT

Meeting adjourned at 8:19pm by Chairperon Robison.

Approved by:

Attested:

Chairperson Damon Robison

Assistant City Clerk Jackie Glover

Item 1.



City of Oroville

Leonardo DePaola
Community Development Director

COMMUNITY DEVELOPMENT DEPARTMENT

1735 Montgomery Street
Oroville, CA 95965-4897
(530) 538-2436 FAX (530) 538-2426
www.cityoforoville.org

PLANNING COMMISSION STAFF REPORT

Wednesday, December 18, 2019

RE: Minor Use Permit UP19-06 for a new Starbucks Drive Thru at 3004 Olive Highway

SUMMARY: The Oroville Planning Commission will review and consider approving Use Permit No. UP19-06 for the demolition of an existing 1,335 square foot building at 3004 Olive Highway, Oroville, California, and construction of a new 2,225 square foot Starbucks with drive-thru with associated site improvements.

RECOMMENDATION: Staff recommends the following actions:

1. **Adopt** the Class 32 Categorical Exemption for In-Fill Development Projects (CCR, Title 14, Sec. 15332 – as the appropriate level of environmental review in accordance with the California Environmental Quality Act (CEQA);
2. **Adopt** the recommended Findings for Use Permit No. UP19-06, and
3. **Approve** Use Permit UP19-06 and recommended Conditions of Approval;
4. **Adopt** Resolution No. P2019-14

APPLICANTS: McCandless & Associates Architects, Inc.

LOCATION: 3004 Olive Highway, Oroville, California

GENERAL PLAN: MXC (Corridor Mixed Use)
ZONING: MU (Mixed Use)
FLOOD ZONE: Zone A

ENVIRONMENTAL DETERMINATION: Categorically Exempt per Section 15332 of Title 14, California Code of Regulations.

REPORT PREPARED BY:

Wes Ervin, Senior Planner
Community Development Department

REVIEWED BY:

Leonardo DePaola, Director
Community Development Director

DISCUSSION

This property has previously been used for Ron’s drive-in restaurant. The new property owner intends to demolish the existing building and build a new Starbucks drive-thru

at the same location. The use is permitted by right at that location, but the drive-thru requires a Use Permit. Approval of the Use Permit also constitutes Development Review.

Traffic Considerations

Vehicle stacking in the drive thru is a concern at the existing Starbucks at 480 Oro Dam Blvd East, which has a lane accommodating 8 vehicles. The overflow at peak times sometimes spills onto Oro Dam Blvd, causing a dangerous traffic situation. This new "Starbucks 2" project accommodates 10 vehicles in the lane, with any overflow staying within the parking lot. This store should also mitigate some of the congestion at "Starbucks 1".

Ingress and egress from Olive/SR162 are also of concern. Staff's proposed conditions require right-in and right-out on Olive Highway and require configuring the driveway so that it does not allow left turns either in or out. Applicant is working directly with Caltrans to obtain an easement and any project conditions. Oroville engineering staff is participating in those discussions.

Staff also recommends deferring to Caltrans for the design of the driveway and whether they will require a traffic study. The BCAG SR162 Corridor Plan (June 2016) lists that intersection as Level of Service (LOS) D today and if unchanged degenerating to LOS F in 2030, but the Plan also includes adding one lane on Olive Hwy in each direction to attain an acceptable LOS C¹. The BCAG Plan is also consistent with the Oroville General Plan EIR².

Traffic counts in 2017 on Olive Hwy at Lower Wyandotte were 2,950 peak hour and 29,000 AADT³. As to new traffic the project will generate, applicant has not provided trip generation data. However, a 2014 study suggests that a similarly sized new Starbucks proposed in Los Angeles would capture 225 visits at the morning peak, and 1,834 visits daily⁴. That study and our engineering staff expect that most of the visits will be capture from traffic that already passes by the site.

Other items of note:

1. The site is in Flood Zone A. The City is therefore requiring a Certificate of Elevation so that the new building is built above the 100-year flood elevation (See Condition #8);
2. The Lower Wyandotte approach to Olive Highway has a wide right-of-way, which the City does not plan to need for the foreseeable future. City staff proposes to execute a Revocable Grant of License to allow the applicant to use some of that right-of-way for parking and landscaping (see Condition #13).

Required Findings for a Use Permit

- a) The granting of the permit will not be incompatible with or detrimental to the general health, safety or public welfare of the surrounding area or of the city as a whole. *The project will be in a location already fully developed with a long history as a similar use, and is surrounded by commercial development;*
- b) The proposed use follows sound principles of land use by having a suitable location relative to the community as a whole, as well as to transportation facilities, public

¹ BCAG SR162 Corridor Plan, Page B-25

² Oroville 2030 General Plan EIR, Page 4.12-42

³ <https://dot.ca.gov/programs/traffic-operations/census/traffic-volumes/2017/route-162-163>

⁴ <https://www.nhwnc.net/wp-content/uploads/2017/05/Starbucks-9900-Balboa-Traffic-Study-Letter-Report.pdf>

services and other land uses in the vicinity. *The proposed use will provide a desired commercial product, and is located in an area with significant employment and transportation access;*

- c) Public utilities and facilities, including streets and highways, water and sanitation, are adequate to serve the proposed use or will be made adequate prior to the establishment of the proposed use. *All infrastructure is in and available, especially if applicant meets all proposed conditions, and any future conditions imposed by Caltrans,*
- d) The location, size, design and operating characteristics of the proposed use will be harmonious and compatible with the surrounding neighborhood and will not adversely affect abutting properties. *All abutting properties are also commercial and will not be adversely affected. The proposed use is compatible with the surrounding neighborhood and employment center;*
- e) The subject site is physically suitable for the type and intensity of land use being proposed. *Applicant has submitted a set of drawings demonstrating that the site is physically suitable for the proposed type and intensity of use. Once all conditions for ingress and egress are met, the site will provide adequate capacity for the use;*
- f) The size, intensity and location of the proposed use will provide services that are necessary or desirable for the neighborhood and community as a whole. *The Starbucks brand is a desirable and respected coffee purveyor for the neighborhood and the entire community;*
- g) The permit complies with all applicable laws and regulations, including the requirements of the general plan, of this title and of the city municipal code. *The use is permitted, subject to a use permit for the drive-thru, and is compatible with the General Plan, Zoning codes, and the Oroville Municipal Code.*

FISCAL IMPACT

None. The project is subject to all customary fees, including the traffic impact fee.

PUBLIC NOTICE

A request for comments was prepared and circulated to the local agencies and surrounding property owners within 300 feet of the property. Additionally, the meeting date, time, and project description were published in the Oroville Mercury Register and posted at City Hall.

ATTACHMENTS

- 1. Application materials
- 2. Page B-25 of the BCAG SR162 Corridor Plan
- 3. Resolution P2019-14
- 4. Notice of Exemption (CEQA)



McCANDLESS & ASSOCIATES ARCHITECTS, INC

November 12, 2019

City of Oroville
Planning Department / Wes Ervin
1735 Montgomery Street
Oroville, CA 95965

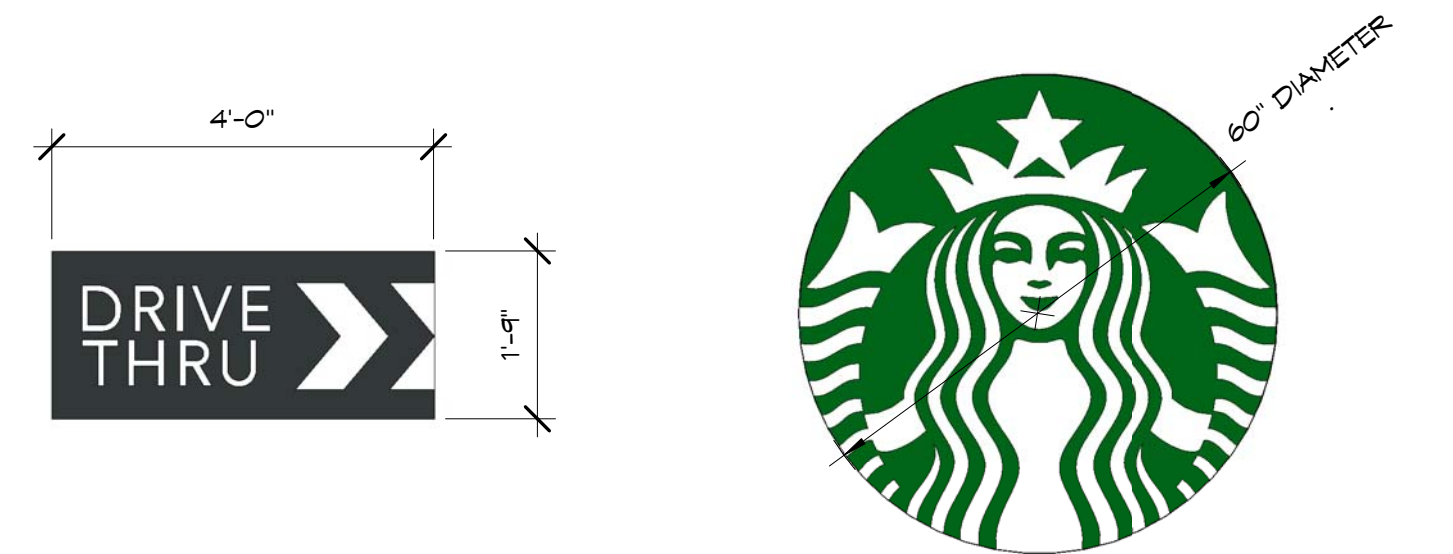
RE: 3004 Olive Highway Starbucks
Development Review and Use Permit for Drive-Thru

To Whom It May Concern:

The proposed project includes the demolition of the existing +/-1,350 square foot building located at 3004 Olive Highway and constructing a new 2,225 square foot Starbucks with drive-thru. Site improvements for the proposed project include new driveways, new sidewalks, new parking area and new patio seating area.

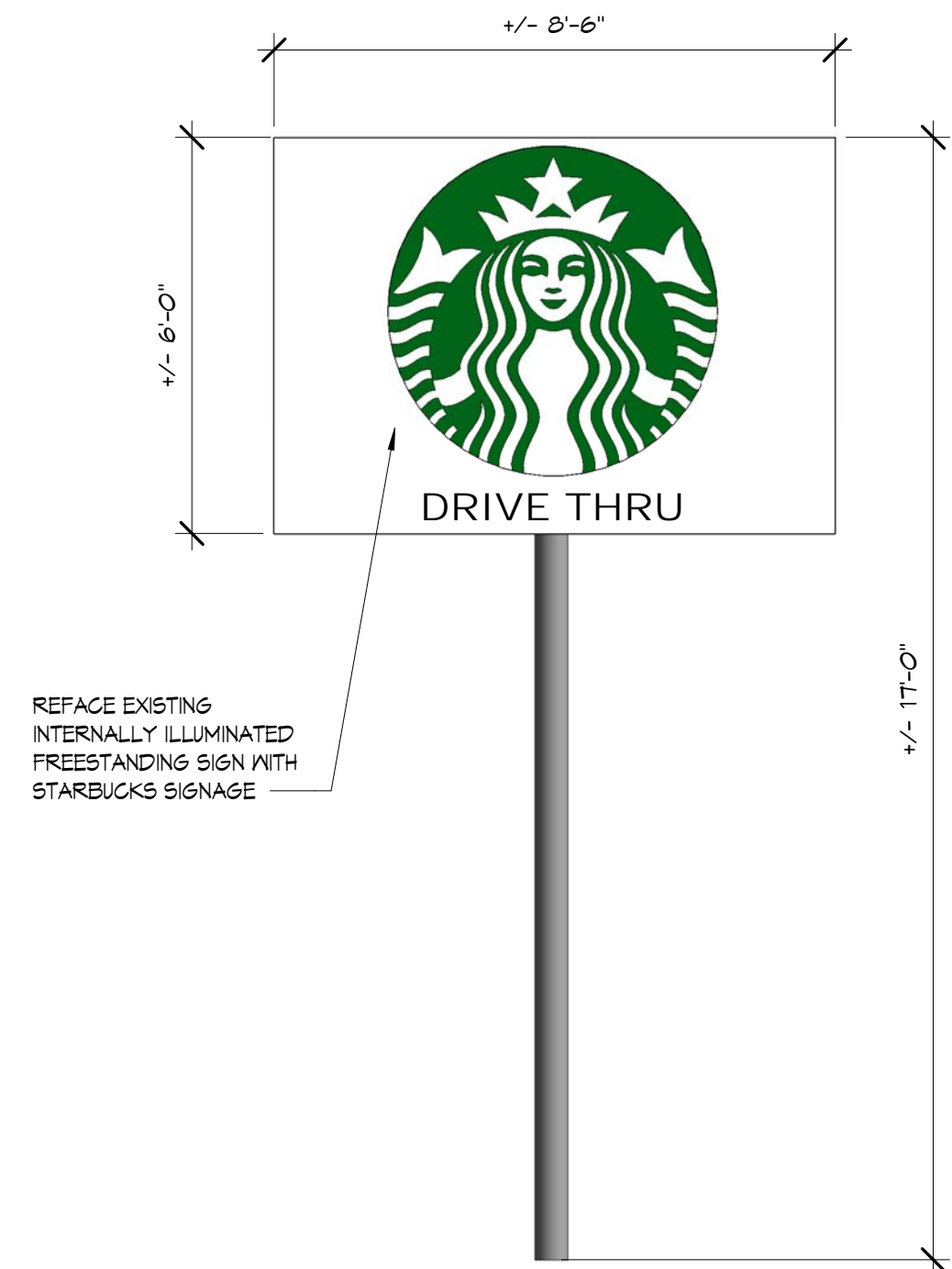
Sincerely,

Barbara Fineberg
McCandless & Associates Architects, Inc.

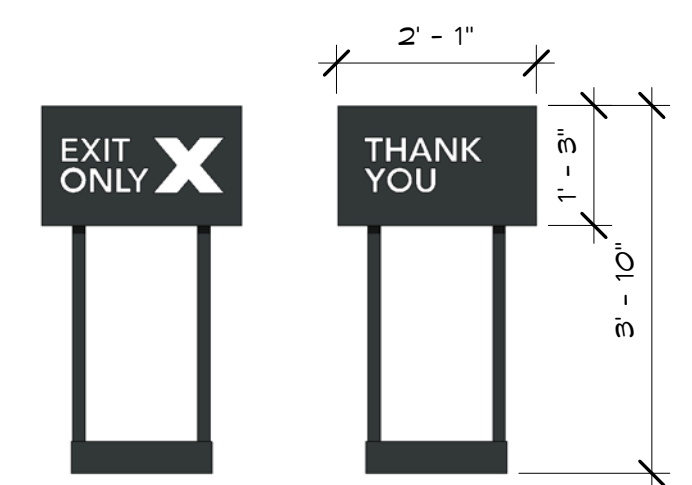


5 DRIVE-THRU SIGNAGE NORTH AND WEST ELEVATIONS
1/2" = 1'-0"

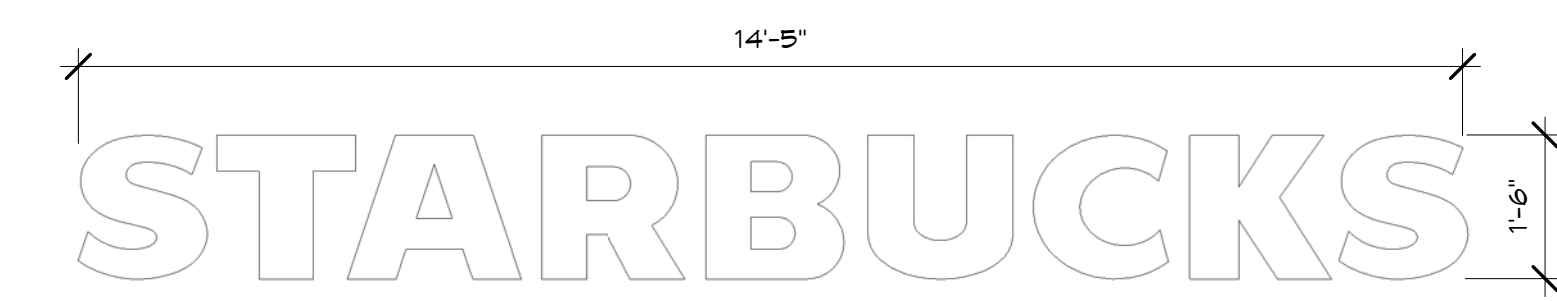
4 STARBUCKS SIREN SIGNAGE WEST ELEVATION
1/2" = 1'-0"



1 STARBUCKS FREESTANDING SIGN
3/8" = 1'-0"



3 DIRECTIONAL EXIT SIGN
1/2" = 1'-0"



2 STARBUCKS SIGNAGE NORTH AND WEST ELEVATIONS
1/2" = 1'-0"

SIGNAGE CALCULATIONS

WEST ELEVATION - FRONTAGE TO LOWER WYANDOTTE ROAD
 10% OF WALL AREA = 151 SF
 STARBUCKS INTERNALLY ILLUMINATED CHANNEL LETTERS = 21.6 SF
 STARBUCKS INTERNALLY ILLUMINATED SIREN = 19.6 SF
 STARBUCKS INTERNALLY ILLUMINATED DRIVE-THRU SIGN = 1 SF
 PROPOSED WEST ELEVATION SIGNAGE AREA = 40.2 SF

NORTH ELEVATION - FRONTAGE TO OLIVE HIGHWAY
 10% OF WALL AREA = 68 SF
 STARBUCKS INTERNALLY ILLUMINATED CHANNEL LETTERS = 21.6 SF
 STARBUCKS INTERNALLY ILLUMINATED DRIVE-THRU SIGN = 1 SF
 PROPOSED NORTH ELEVATION SIGNAGE AREA = 28.6 SF

EXISTING FREESTANDING SIGN - CORNER OF LOWER WYANDOTTE ROAD AND OLIVE HIGHWAY
 STREET FRONTAGE OF LOWER WYANDOTTE ROAD = 180 FT
 STREET FRONTAGE OF OLIVE HIGHWAY = 125 FT
 TOTAL STREET FRONTAGE = 305 FEET
 MAXIMUM STREET FRONTAGE SIGN AREA = 75 SF PER SIDE
 REFACE EXISTING INTERNALLY ILLUMINATED SIGN W/STARBUCKS SIGNAGE
 EXISTING SIGN = +/- 8.5 FT WIDE X +/- 6 FT HIGH = +/- 51 SF PER SIDE
 EXISTING SIGN HEIGHT = +/- 17 FT TALL

FREESTANDING INTERNALLY ILLUMINATED DIRECTIONAL DRIVE-THRU EXIT SIGN = 2.6 SF PER SIDE = 5.2 SF

PROJECT CONTACTS

CLIENT
 VALLEY STAR PARTNERS, LLC
 837 JEFFERSON BLVD.
 WEST SACRAMENTO, CA 95691
 PH: (916) 617-4244
 ATTN: MARK ENGSTROM

ARCHITECT
 MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
 425 1/2 FIRST STREET
 WOODLAND, CA 95695
 PH: (930) 662-9146
 ATTN: BILL MCCANDLESS

CIVIL ENGINEER
 NORTHSTAR
 111 MISSION RANCH BLVD, SUITE 100
 CHICO, CA 95926
 PHONE: (930) 893-1800
 ATTN: JAY LOPE

LANDSCAPE ARCHITECT
 THOMAS H PHELPS LANDSCAPE ARCHITECTURE
 P.O. BOX 8828
 CHICO, CA 95921-8828
 PHONE: (930) 842-8891
 ATTN: THOMAS PHELPS

MEP ENGINEER

ACES ENGINEERING
 3371 CLOTT STREET
 SANTA CLARA, CA 95054
 PHONE: (408) 522-5255
 ATTN: BRJUAN REBRACA

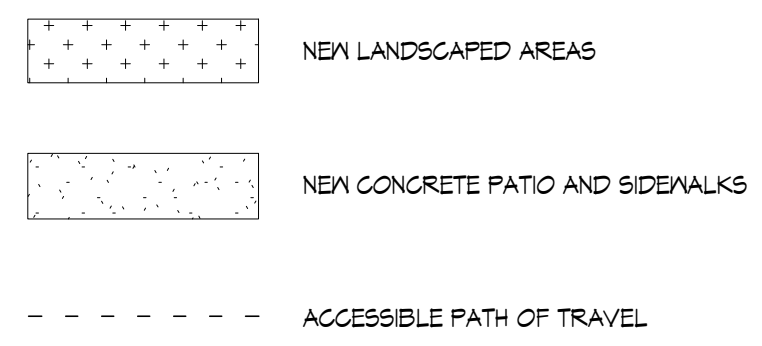
PROJECT DATA

PROJECT DESCRIPTION:	USE PERMIT AND DEVELOPMENT REVIEW FOR NEW STARBUCKS CAFE BUILDING SHELL WITH DRIVE-THRU
JURISDICTION:	CITY OF OROVILLE
ZONING:	C2 - INTENSIVE COMMERCIAL
PARCEL NO.:	019-300-075-000 AND 019-300-081-000
OCCUPANCY TYPE:	FUTURE TENANT - GROUP A2
SITE AREA:	0.48 ACRES
BUILDING AREA:	2,225 SF, 1 STORY
BUILDING HEIGHT:	MAXIMUM 60 FEET PROPOSED 24 FEET
SETBACKS:	FRONT (STREET): 46'-9" SIDE (STREET): 64'-4" SIDE (INTERIOR): 17'-8" REAR (INTERIOR): 58'-11"
RETAIL USE INFORMATION:	HOURS OF OPERATION: 5AM-9PM NUMBER OF EMPLOYEES: 20 EMPLOYEES PER SHIFT: 5

SHEET INDEX

TO.1	PROJECT DATA, SITE PLAN
A1	FLOOR PLAN AND EXTERIOR ELEVATIONS
1 OF 1	FRONTAGE IMPROVEMENT PLAN
E1.1	PHOTOMETRIC PLAN
L1	LANDSCAPE PLAN

SITE PLAN LEGEND

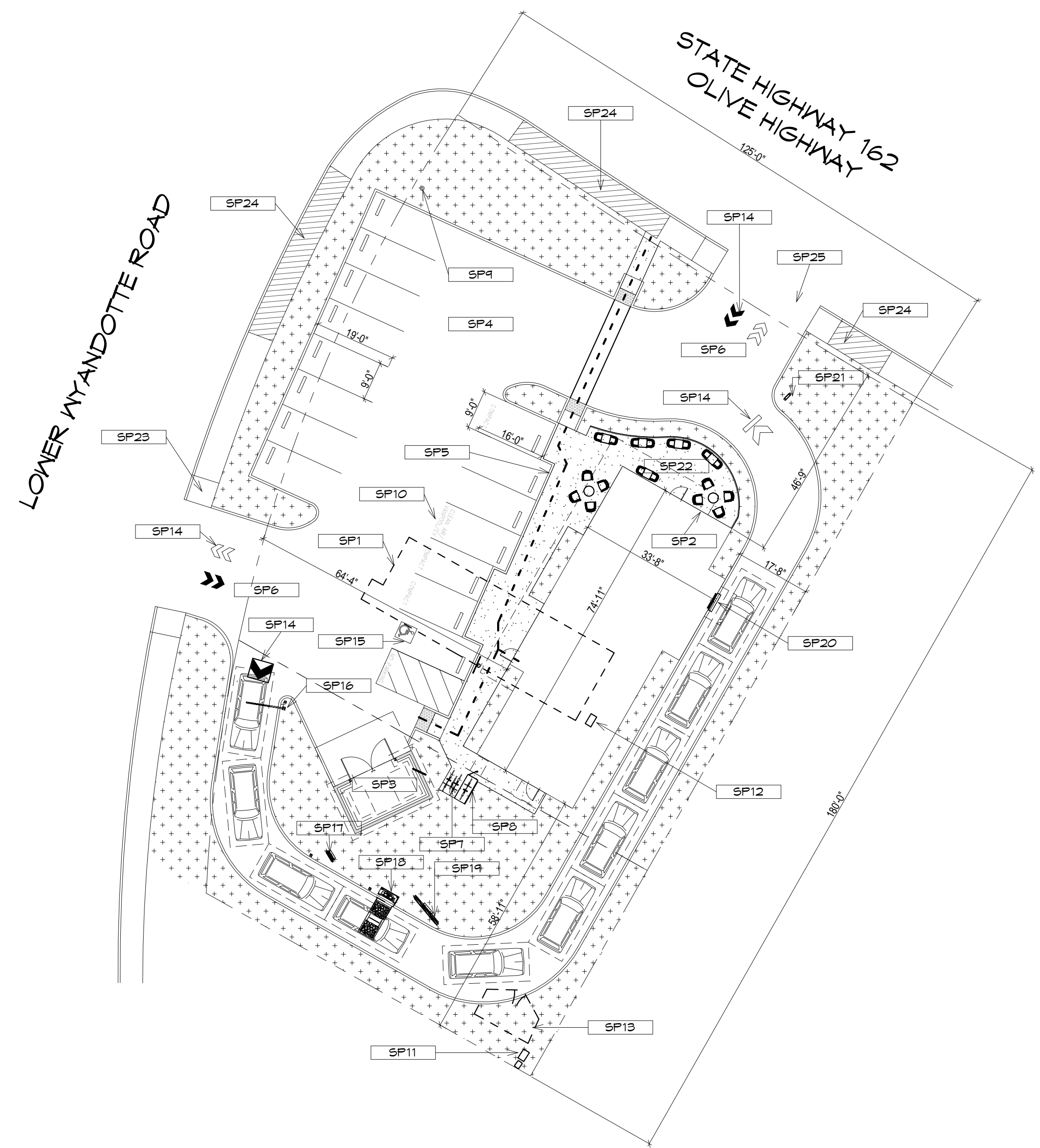


PARKING ANALYSIS

PARKING REQUIREMENTS	
TOTAL BUILDING AREA	2,225 SF
RETAIL REQUIREMENTS	1 SPACE FOR EACH 300 SF OF GROSS FLOOR AREA
SPACES REQUIRED	2,225 SF / 300 SF = 8 SPACES
ACCESSIBLE SPACES REQUIRED	1 VAN ACCESSIBLE SPACE
CLEAN AIR/CARPOOL/EV REQUIRED	1 CLEAN AIR/CARPOOL/EV SPACES
PARKING PROVIDED	
STANDARD SPACES	10 SPACES
COMPACT SPACES	3 SPACES
ACCESSIBLE SPACES	1 VAN ACCESSIBLE SPACE
CLEAN AIR/CARPOOL/EV	1 SPACE
TOTAL PARKING SPACES PROVIDED	15 SPACES
BICYCLE PARKING	
SHORT TERM SPACES REQUIRED	1 BICYCLE SPACE / 20 VEHICLE SPACES, MIN OF 2 = 2
LONG TERM SPACES REQUIRED	5% OF THE # OF VEHICLE SPACES, MIN OF 1 = 1
SHORT TERM SPACES PROVIDED	2 BIKE RACK SPACES
LONG TERM SPACES PROVIDED	1 BIKE LOCKER SPACES

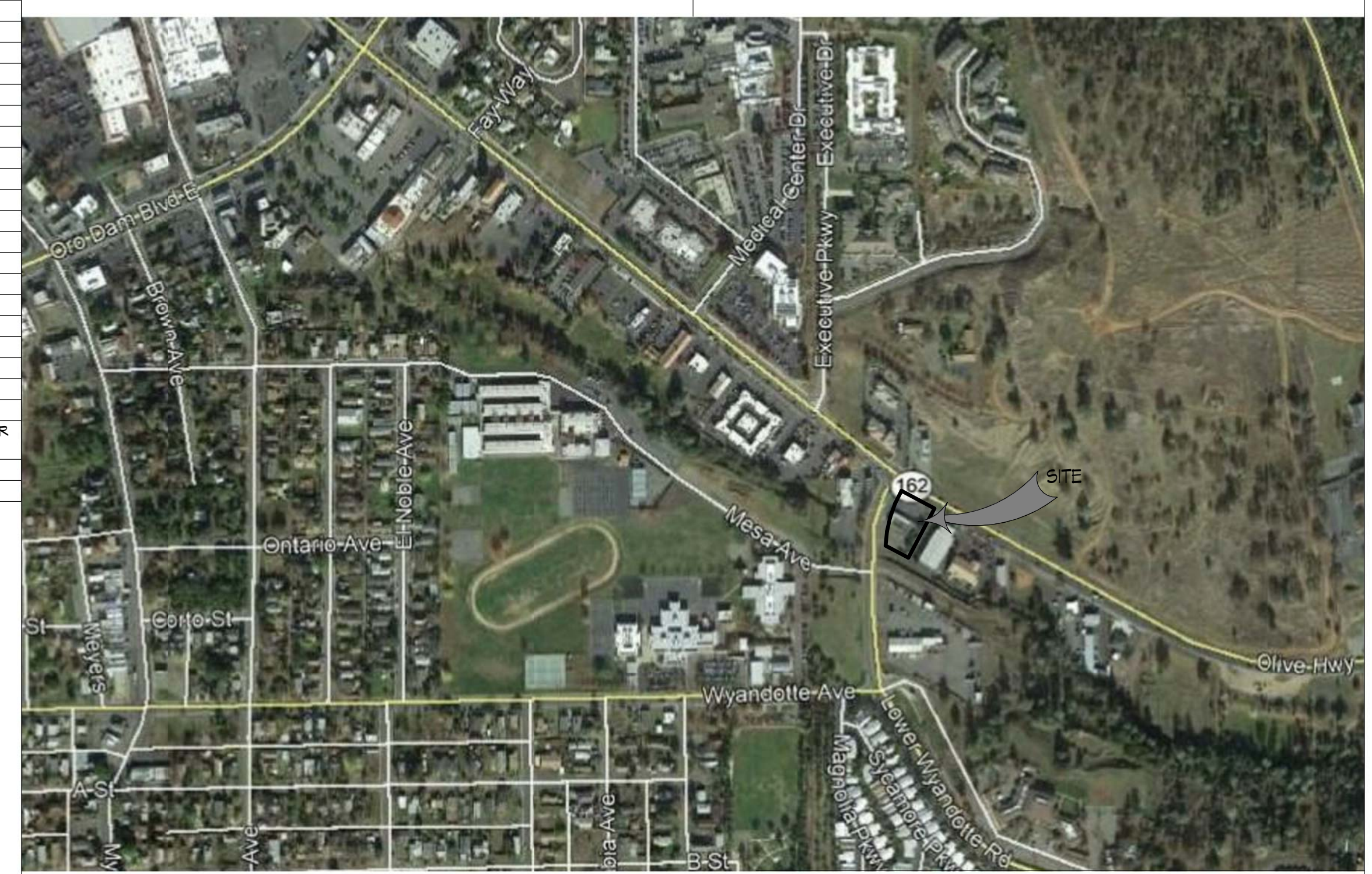
SITE PLAN KEYNOTES

- SP1 LINE OF EXISTING BUILDING TO BE DEMOLISHED
- SP2 LINE OF PROPOSED NEW BUILDING
- SP3 NEW COVERED TRASH ENCLOSURE - SEE SHEET A1 FOR EXTERIOR ELEVATIONS AND FINISHES
- SP4 NEW PARKING LOT WITH AC PAVING
- SP5 NEW CONCRETE CURBS AND SIDEWALKS
- SP6 NEW SITE ACCESS DRIVE
- SP7 NEW HOOP STYLE BIKE RACK - 2 SPACES
- SP8 NEW BIKE STORAGE LOCKER - 1 LOCKER
- SP9 REFACE EXISTING FREESTANDING INTERNALLY ILLUMINATED SIGN WITH STARBUCKS SIGNAGE
- SP10 NEW CLEAN AIR/VANPOOL/EV PARKING SPACE
- SP11 EXISTING WATER METER AND IRRIGATION LOCATION
- SP12 EXISTING BUILDING ELECTRIC METER TO BE REMOVED
- SP13 EXISTING TRASH ENCLOSURE TO BE REMOVED
- SP14 WAYFINDING DIRECTIONAL ARROWS ON PAVEMENT
- SP15 NEW VAN ACCESSIBLE PARKING SPACE WITH ACCESSIBLE PARKING SIGN
- SP16 DRIVE-THRU HEIGHT RESTRICTION BAR
- SP17 DRIVE-THRU PREVIEW MENU
- SP18 DRIVE-THRU DIGITAL ORDER SCREEN WITH CANOPY
- SP19 DRIVE-THRU ORDER MENU BOARD
- SP20 DRIVE-THRU TRANSACTION WINDOW
- SP21 ILLUMINATED DIRECTIONAL EXIT SIGN
- SP22 OUTDOOR SEATING PATIO WITH PERIMETER RAILING
- SP23 LOWER WYANDOTTE ROAD/CURB/GUTTER/SIDEWALK/DRIVEWAY IMPROVEMENTS BY OTHERS UNDER SEPARATE PERMIT
- SP24 REMOVE EXISTING DRIVEWAY/CURB/GUTTER TO PREPARE FOR NEW SIDEWALK
- SP25 NEW COMMERCIAL DRIVEWAY APPROACH



PROPOSED SITE PLAN

SCALE: 1" = 20'-0"
PROJECT NORTH

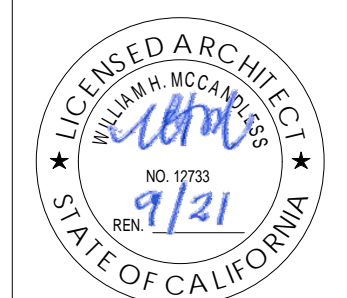


VICINITY MAP

REVISIONS		
#	Date	Description

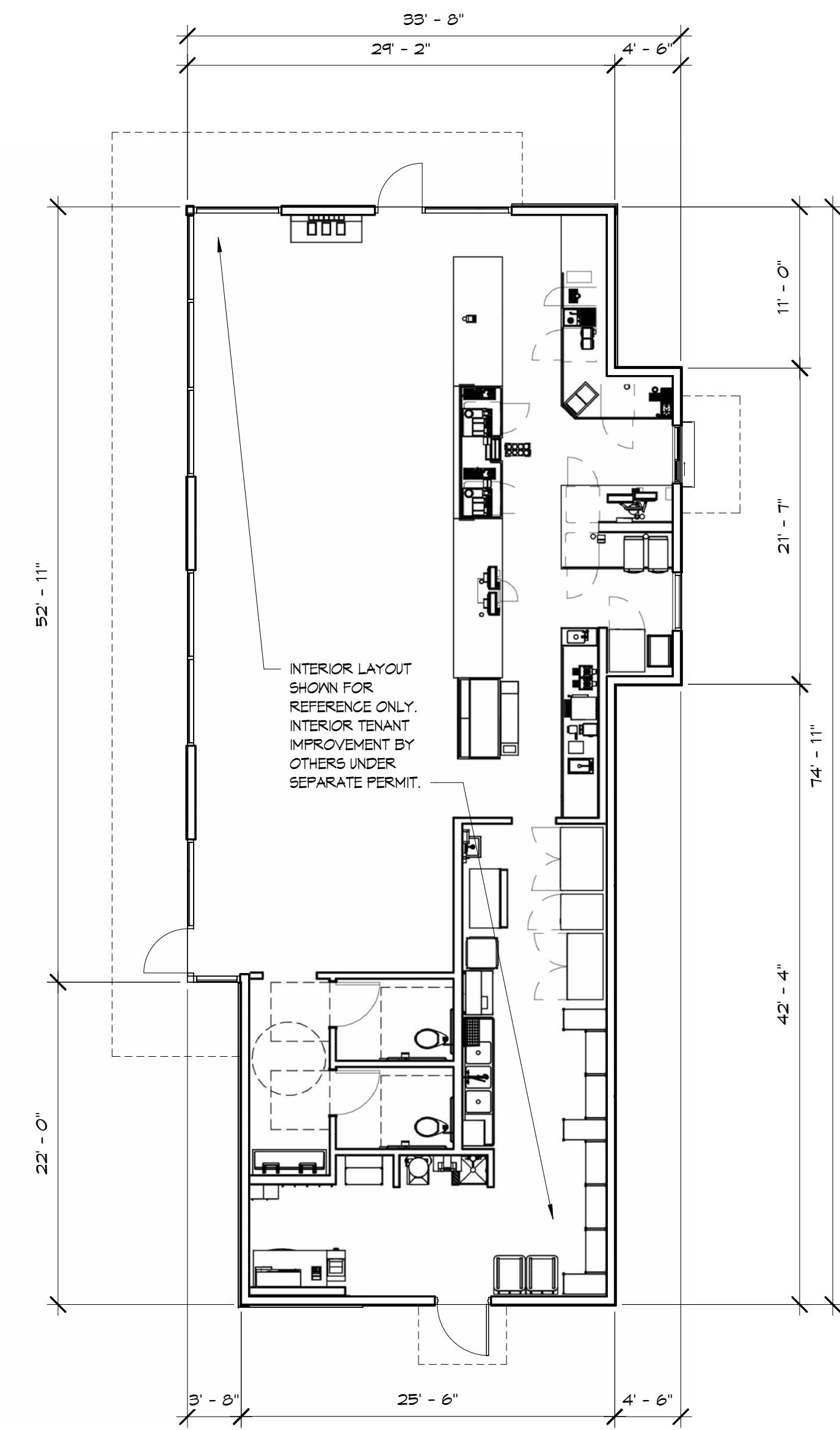
PROJECT FOR:
3004 OLIVE HWY STARBUCKS
 OROVILLE, CA

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
 425 1/2 FIRST STREET, SUITE 204
 WOODLAND, CA 95695
 www.mccandlessarch.com
 PH: (930) 662-9146



PROJECT DATA, SITE PLAN
 DESIGN REVIEW

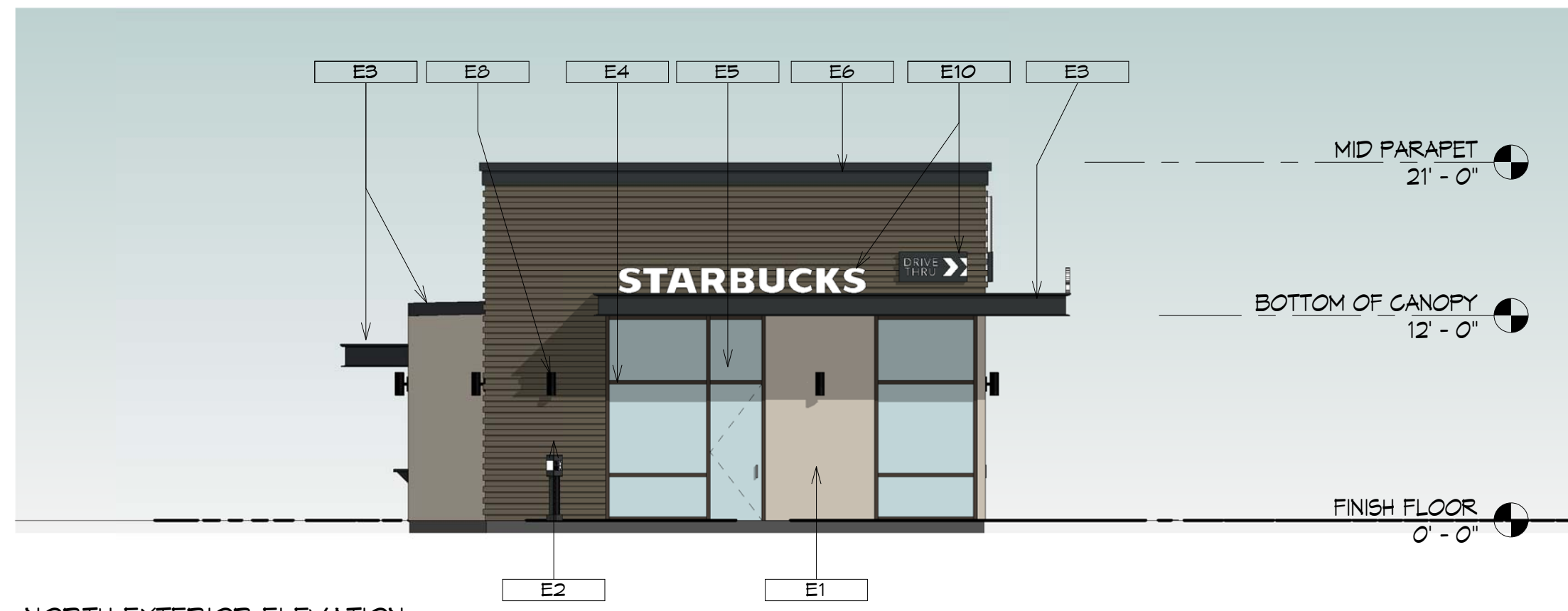
DRAWN	MAA
CHECKED	MAA
DATE	10-26-19
SCALE	As indicated
JOB #	19-177
SHEET	TO.1



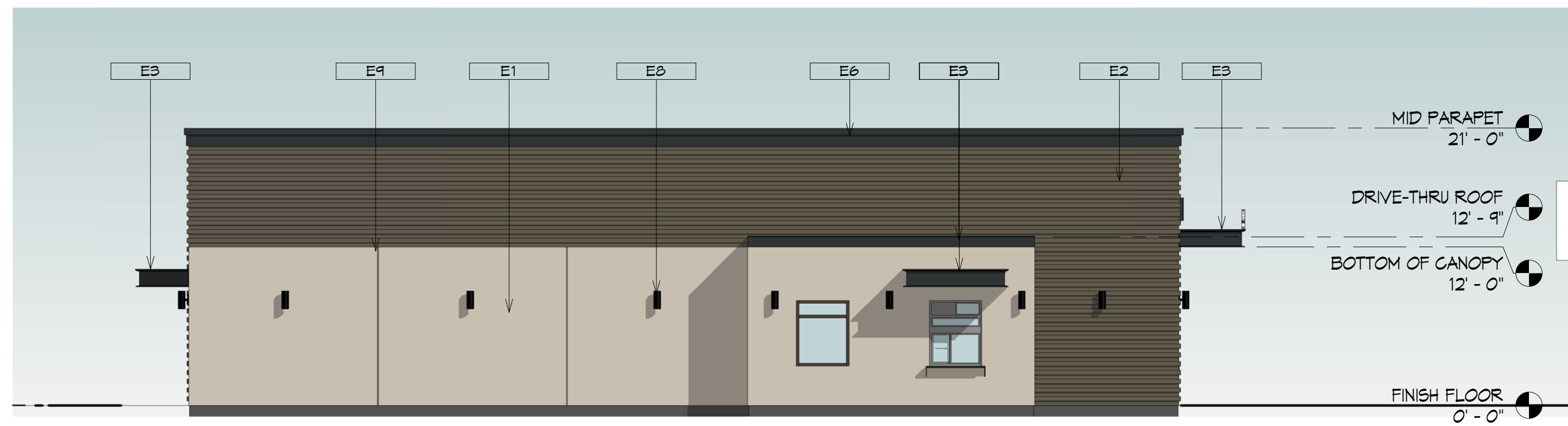
5 FINISH FLOOR
1/8" = 1'-0"



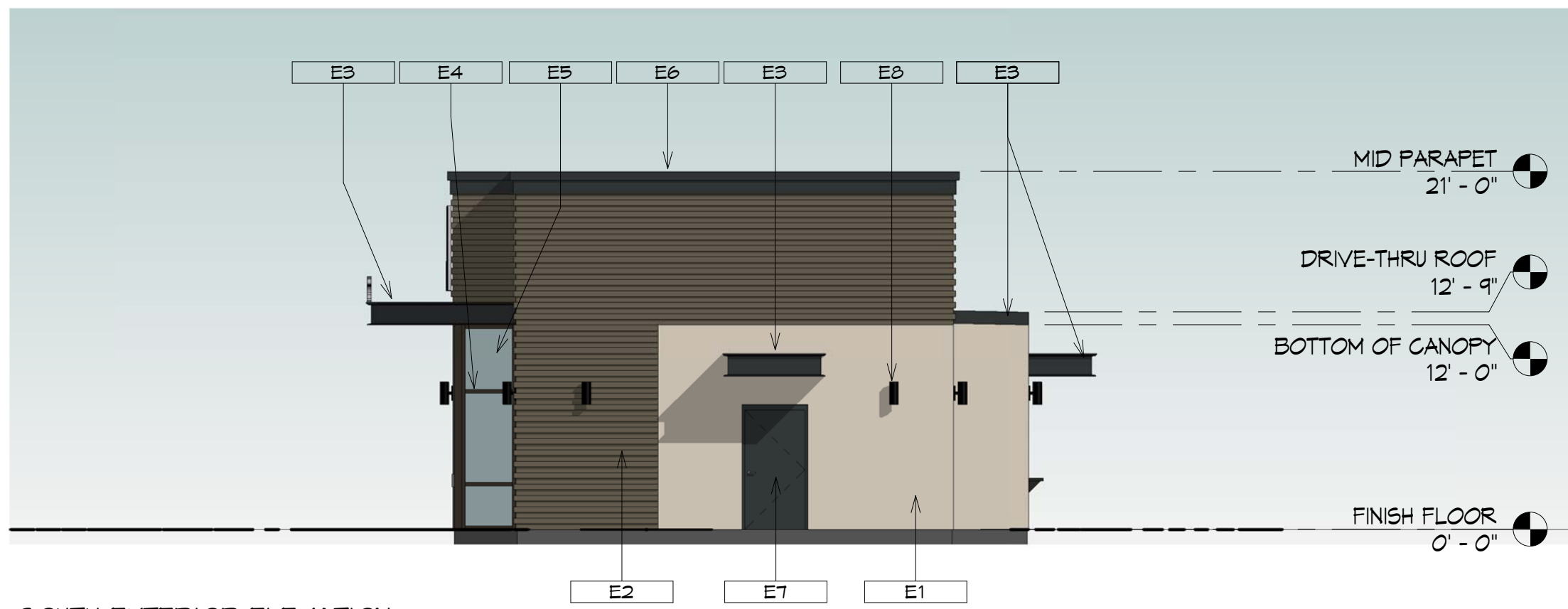
4 WEST EXTERIOR ELEVATION
1/8" = 1'-0"



3 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"



2 EAST EXTERIOR ELEVATION
1/8" = 1'-0"



1 SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"

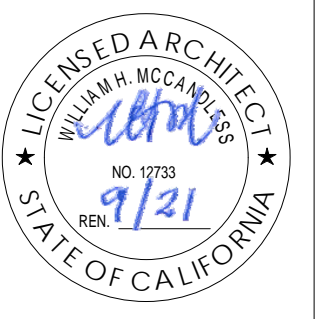
ELEVATION KEYNOTES

#	Date	Description
E1		CEMENT PLASTER, COLOR: BENJAMIN MOORE SMOKEY TAUPE (983)
E2		METAL SALES METAL SIDING T2630, COLOR: MEDIUM BRONZE
E3		METAL CANOPY OR ROOF, COLOR: TO MATCH BENJAMIN MOORE BLACK KNIGHT (2136-10)
E4		ALUMINUM STOREFRONT SYSTEM, COLOR: DARK BRONZE
E5		CLEAR GLAZING
E6		METAL COPING AND/OR CORNICE CAP, COLOR: TO MATCH BENJAMIN MOORE BLACK KNIGHT (2136-10)
E7		HOLLOW METAL DOOR, COLOR: TO MATCH BENJAMIN MOORE BLACK KNIGHT (2136-10)
E8		EXTERIOR WALL SCIENCE, COLOR: DARK BRONZE - REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION
E9		ALUMINUM REVEAL, 1-INCH
E10		BUILDING MOUNTED SIGNAGE - SEE CALCULATIONS SHEET TO.1

REVISIONS		
#	Date	Description

PROJECT FOR:
3004 OLIVE HWY STARBUCKS
OROVILLE, CA

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
425 1/2 FIRST STREET, SUITE 204
WOODLAND, CA 95695
www.mccandlessarch.com
PH (950) 662-9146



FLOOR PLAN AND EXTERIOR ELEVATIONS
DESIGN REVIEW

DRAWN	MAA
CHECKED	MAA
DATE	10-26-19
SCALE	1/8" = 1'-0"
JOB #	19-177
SHEET	A1

LEGEND

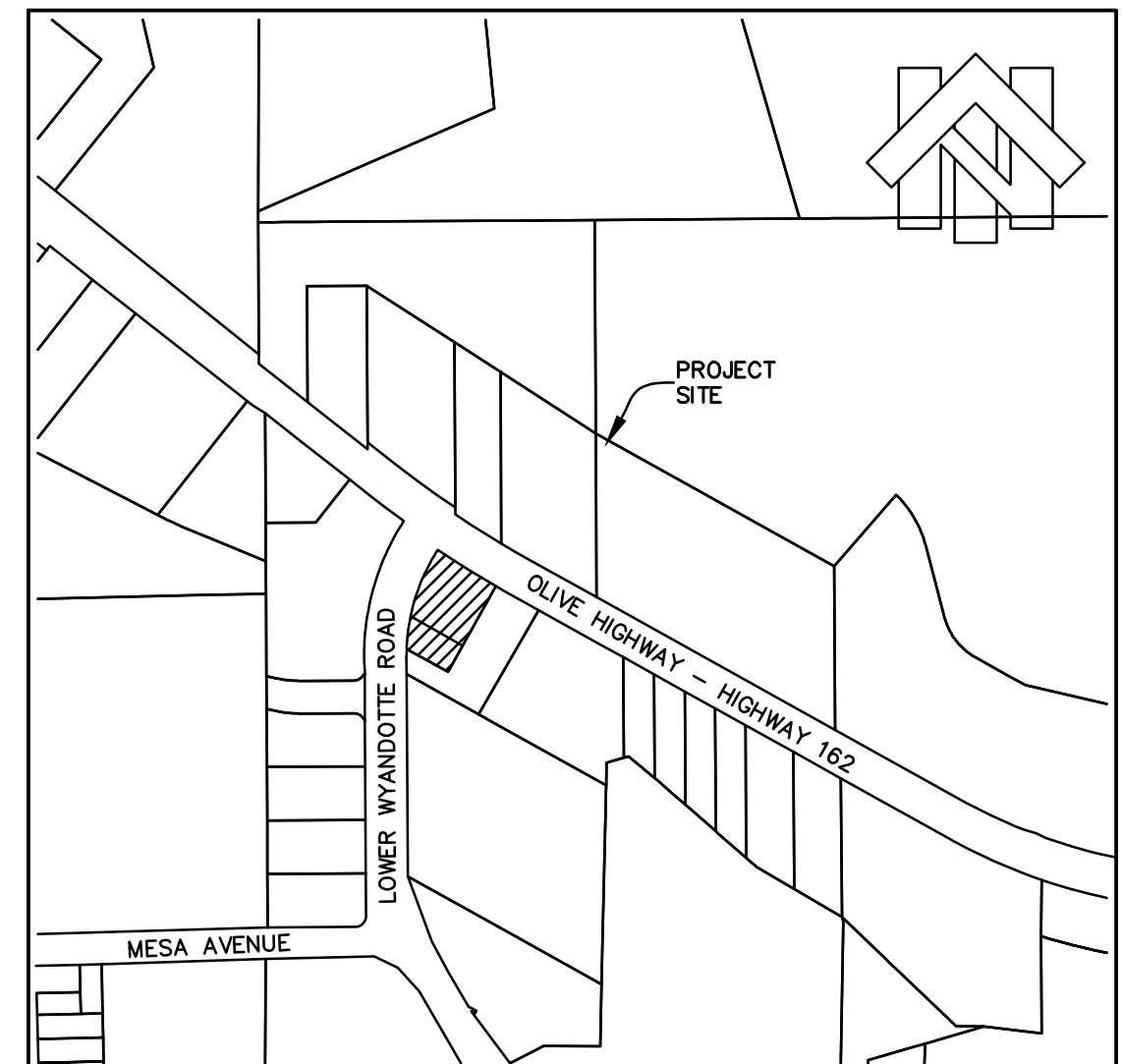
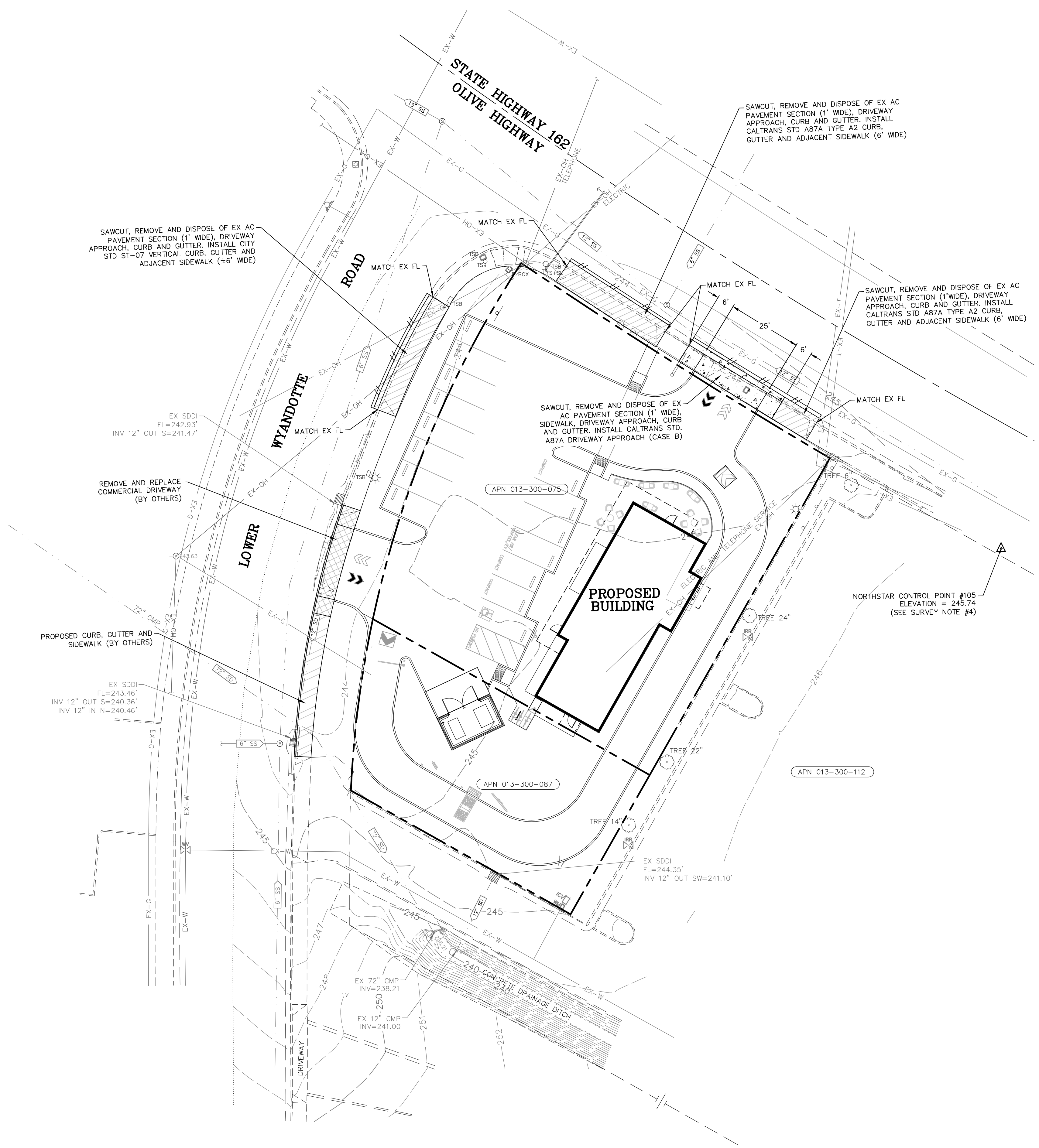
	NORTHSTAR CONTROL POINT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN INLET
	EXISTING WATER VALVE
	EXISTING UTILITY VAULT/BOX AS NOTED
	EXISTING FIRE HYDRANT
	EXISTING UTILITY POLE
	EXISTING SIGN
	EXISTING STREET LIGHT
	EXISTING TREE WITH TYPE AND SIZE AS NOTED
	EXISTING EDGE OF PAVEMENT
	EXISTING UNDERGROUND WATER LINE
	EXISTING UNDERGROUND TELECOMMUNICATION LINE
	EXISTING OVERHEAD UTILITY
	EXISTING UNDERGROUND GAS LINE
	EXISTING SEWER (APPROXIMATE LOCATION PER CITY OF OROVILLE GIS MAP)
	EXISTING STORM DRAIN
	EXISTING TOE OF BANK
	EXISTING MAJOR CONTOUR AT 5' INTERVALS
	EXISTING MINOR CONTOUR AT 1' INTERVALS
	PROPERTY LINE
	OUTSIDE PROPERTY LINE
	CENTERLINE OF ROAD WAY
	ASSESSORS PARCEL NUMBER
	EXISTING TRAFFIC SIGNAL BOX
	EXISTING TRAFFIC SIGNAL
	EXISTING ELECTRIC METER
	EXISTING IRRIGATION CONTROL VALVE
	EXISTING WATER METER
	SAWCUT LINE

ABBREVIATIONS

AC	ASPHALT CONCRETE	IP	IRON PIPE
ALM	ALMOND	LO	LIVE OAK
AP	ANGLE POINT	MOC	MIDDLE OF CURVE
APN	ASSESSORS PARCEL NUMBER	MT	MULTI TRUNK
BUDG	BUILDING	NS	NORTHSTAR
BCR	BUILDING CORNER	OH	OVER HEAD
C	CONCRETE	OIP	OPEN IRON PIPE
CC	CONCRETE CORNER	PC	POINT OF CURVATURE
CE	CONCRETE EDGE	POC	POINT ON CURVE
CONC	CONCRETE	PP	PONDEROSA PINE
CMP	CORRUGATED METAL PIPE	PVC	POLYVINYL CHLORIDE PIPE
CTL	CONTROL	RB	REBAR
DF	DOUGLAS FIR	SD	STORM DRAIN
DWY	DRIVEWAY	SDDI	STORM DRAIN INLET
EB	ELECTRIC BOX	SDMH	STORM DRAIN MANHOLE
EM	ELECTRIC METER	SS	SANITARY SEWER
EPAN	ELECTRIC PANEL	SSCO	SANITARY CLEANOUT
FC	FACE OF CURB	SSMH	SANITARY MANHOLE
FF	FINISHED FLOOR	STL	STEEL
G	GAS	TBC	TOP BACK OF CURB
GB	GRADE BREAK	TR	TREE
GP	GRAY PINE	TBWL	TOP BACK OF WALL
GRAN	GAS PANEL	W	WATER
GM	GAS METER	WAL	WALNUT
HB	HOSE BIB	WM	WATER METER
ICV	IRRIGATION CONTROL VALVE BOX	WO	WHITE OAK
INV	INVERT		

TOPOGRAPHIC SURVEY NOTES

- THIS BOUNDARY SURVEY SHOWN HEREON IS BASED ON BOOK 33 OF MAPS, AT PAGE 5 AND BOOK 110 MAPS, AT PAGE 74. NO LIABILITY IS ASSUMED BY NORTHSTAR FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES AND DISCREPANCIES IN BOUNDARY OR TITLE DEFECTS.
- PHYSICAL ITEMS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE LIMITED TO THOSE ITEMS VISIBLE BY SURFACE INSPECTION AS OF THE DATE OF THIS SURVEY. SUBSURFACE STRUCTURES, IF ANY, ARE NOT SHOWN.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SURFACE FEATURES AND SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. NORTHSTAR ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED.
- BENCHMARK: CITY OF OROVILLE BENCHMARK 171, ELEVATION = 238.46' (CITY OF OROVILLE DATUM)
THE T.B.M. FOR THIS PROJECT IS A MAG NAIL IN THE SIDEWALK LOCATED ON THE SOUTH SIDE OF STATE HIGHWAY 162, NORTHSTAR CONTROL POINT #105, ELEVATION = 245.74 (CITY OF OROVILLE DATUM).
- FIELD SURVEY COMPLETED ON SEPTEMBER 18, 2019



GENERAL NOTES

- ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE CITY OF OROVILLE IMPROVEMENT STANDARDS AND SPECIFICATIONS, AND APPLICABLE PORTIONS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD PLANS AND SPECIFICATIONS DATED 2015. (APPROVAL OF CITY DIRECTOR OF PUBLIC WORKS OR THEIR AUTHORIZED REPRESENTATIVES IS REQUIRED.) CONTRACTOR SHALL HAVE SIGNED PLANS IN HIS POSSESSION PRIOR TO COMMENCEMENT OF WORK.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES AND/OR UTILITY DISTRICTS AS TO THE LOCATION OF ALL UNDERGROUND FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UNDERGROUND FACILITIES OR OTHER BURIED OBJECTS WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT (USA) AT 811 AT LEAST 3 DAYS PRIOR TO CONSTRUCTION.
- LOCATIONS AND DEPTHS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING SITE CONSTRUCTION.
- THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKES FOR ANY PARTICULAR PHASE OF WORK AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL REQUEST A FORM OR GRADE STAKE PRIOR TO CONSTRUCTION.
- NORTHSTAR ASSUMES NO RESPONSIBILITY FOR ANY WORK CONSTRUCTED IF STAKED BY OTHERS.
- PRIOR TO ANY CORRECTIVE ACTION BY THE CONTRACTOR WHICH IS NECESSARY DUE TO STAKING ERRORS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR RE-STAKING AND VERIFICATION OF PREVIOUS STAKING. THE ENGINEER ASSUMES NO LIABILITY FOR THE COST INCURRED FOR THIS WORK.
- CONTRACTOR TO BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
- ALL PERMITS NECESSARY FOR THIS JOB ARE TO BE ACQUIRED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL ESTIMATES AND QUANTITIES.
- SHOULD CONSTRUCTION ACTIVITIES EXPOSE BURIED ARTIFACTS OR OTHER EVIDENCE OF EARLY HISTORIC OCCUPATION, A QUALIFIED ARCHEOLOGIST SHALL BE CONTACTED IMMEDIATELY. ALL CONSTRUCTION ACTIVITIES SHALL BE HALTED UNTIL HIS RECOMMENDATIONS ARE IMPLEMENTED.
- EXISTING FACILITIES IN CONFLICT WITH IMPROVEMENTS ARE TO BE RELOCATED OR ADJUSTED TO GRADE AT THE DEVELOPER'S EXPENSE.
- SEE ARCHITECTURAL PLANS FOR ON-SITE IMPROVEMENTS INFORMATION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF OROVILLE AND CALTRANS PRIOR TO BEGINNING ANY CONSTRUCTION WITHIN THE RIGHT OF WAY.



Designed:	Revision	Date	By
RDG			
Drawn By:			
RDG			
Approved:			
Date:			
NOVEMBER 2019			

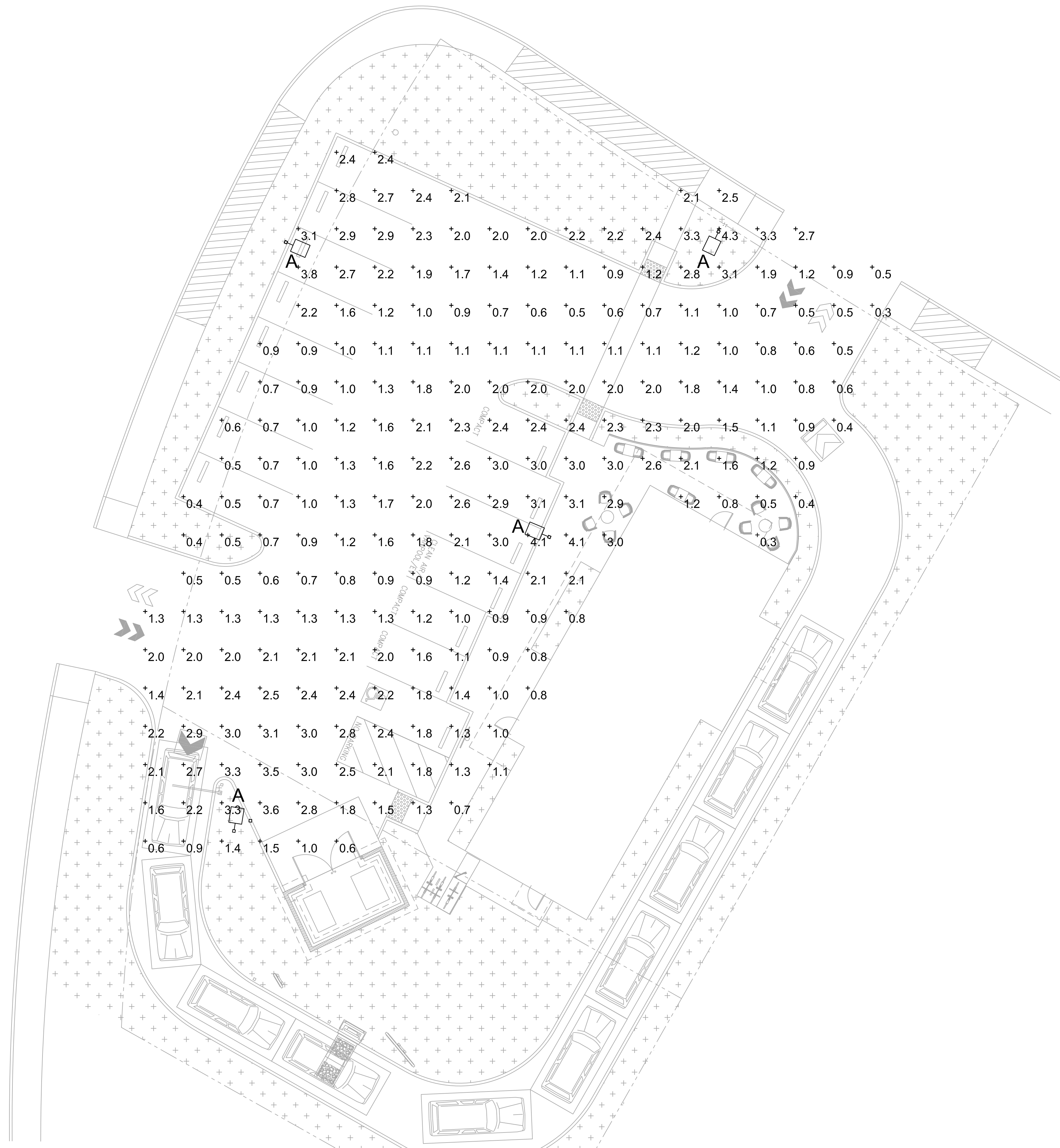
NORTHSTAR
... Designing Solutions

111 MISSION RANCH BLVD. SUITE 100, CHICO, CA 95926
PHONE: (530) 893-1600 www.northstareng.com

McCANDLESS AND ASSOCIATES ARCHITECTS, INC.
3004 OLIVE HIGHWAY
OROVILLE, CALIFORNIA 95966

FRONTAGE IMPROVEMENT PLAN
OROVILLE STARBUCKS

APN Number 013-300-075/087 Job Number 19-108 Scale 1" = 20' Horz. NA Vert. Sheet 1 Of 1



LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	Lumens	LLF	Watts
□	A	4	LITHONIA LIGHTING	DSX1 LED P3 30K T3M MVOLT HS	POLE LIGHT	LED	12562	0.9	102

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.7 fc	4.3 fc	0.3 fc	14.3 / 1	5.7 / 1

REVISIONS

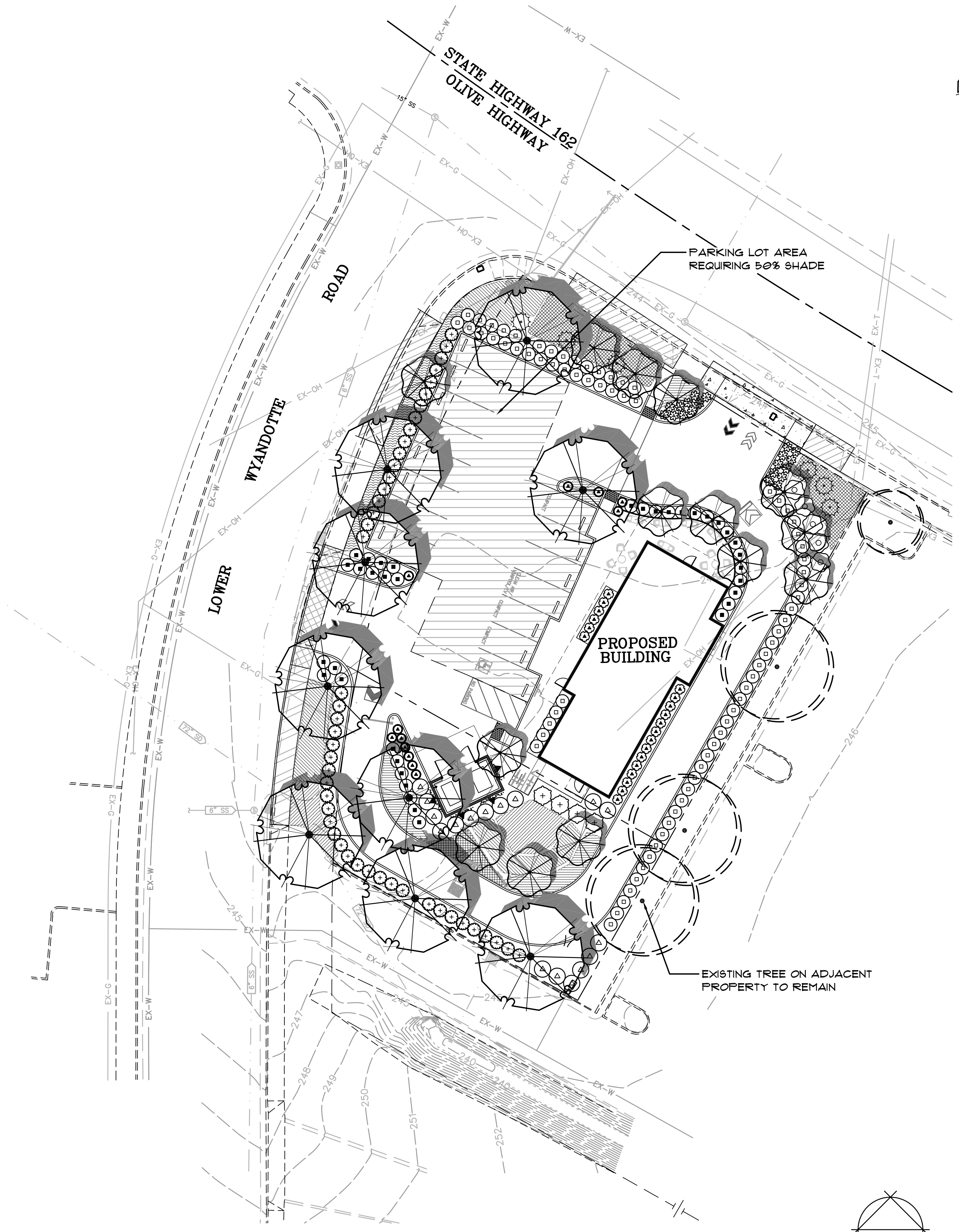
PROPOSED PROJECT:
STARBUCKS
 3004 OLIVE HUT
 OROVILLE, CA

MCCANDLESS & ASSOCIATES ARCHITECTS, INC.
 428 1/2 First Street, Suite 204
 Woodland, CA 95695
 www.mccandlessarch.com
 PH (930) 662-9446
 FAX (930) 662-3425

ACIES ENGINEERING
 3371 Cicott Street
 Santa Clara, CA 95054
 ph: (408) 522-5255
 fx: (408) 522-5260
 info@acies.net
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DRAWN
CHECKED
DATE
SCALE
JOB
NOTED
SHEET
E1.1



PLANT SCHEDULE

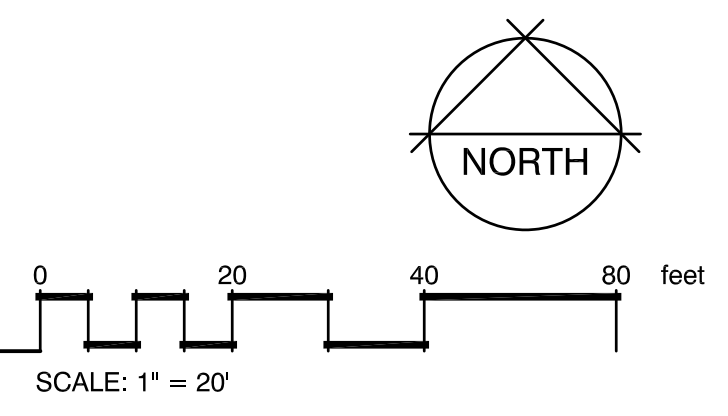
TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	LAGERSTROEMIA X 'NATCHEZ'	GRAPE MYRTLE	15 GAL	STANDARD	14	
	PISTACIA CHINENSIS 'KEITH DAVEY'	KEITH DAVEY CHINESE PISTACHE	15 GAL		9	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	5 GAL		5	
	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 GAL		46	
	NANDINA DOMESTICA 'GULF STREAM' TM	GULF STREAM HEAVENLY BAMBOO	5 GAL		20	
	OLEA EUROPAEA 'LITTLE OLLIE' TM	FRUITLESS LITTLE OLLIE OLIVE	5 GAL		4	
	FRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' TM	BRIGHT 'N TIGHT CAROLINA LAUREL	5 GAL		17	
	RHAPHIOLEPIS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	5 GAL		74	
	ROSA X 'FLOWER CARPET WHITE'	ROSE	2 GAL		36	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	DIETES VEGETA	AFRICAN IRIS	1 GAL		12	
	PHORMIUM TENAX 'MAORI QUEEN'	NEW ZEALAND FLAX	5 GAL		6	
	TULBAGHIA VIOLACEA 'TRICOLOR'	TRICOLOR SOCIETY GARLIC	1 GAL		20	
VINES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	FICUS PUMILA	CREeping FIG	5 GAL		4	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
	ANNUALS MIXED SEASONAL	FLOWERS	4"		12" O.C.	135
	BACCHARIS PILLULARIS 'TWIN PEAKS #2'	TWIN PEAKS COYOTE BRUSH	1 GAL		36" O.C.	81
	COREOPSIS AURICULATA 'NANA'	MAYSVILLE DAISY	1 GAL		24" O.C.	72
	COTONEASTER DAMMERI 'LOWFAST'	LOWFAST BEARBERRY COTONEASTER	1 GAL		36" O.C.	48
	ROSMARINUS OFFICINALIS 'PROSTRATUS'	DWARF ROSEMARY	1 GAL		36" O.C.	89
	TEUCRIUM X LUCIDRYS PROSTRATUM	GERMANDER	1 GAL		24" O.C.	108

PARKING LOT SHADE CALCULATION

Shade Calculations for The Oroville Starbucks Project

Botanical Name	Common Name	Quantity	Shade allowed	at 25%	at 50%	at 75%	at 100%	Total
Pistacia chinensis 'Keith Davey'	Chinese Pistache	5	1,250	2	3	0	0	2,500.00
Total Shade Allowed		5		2	3	0	0	2,500.00
parking lot area to be shaded								4,508.00
50% shade required								2,254.00
% Shade Provided								55.46%

LANDSCAPE PLAN

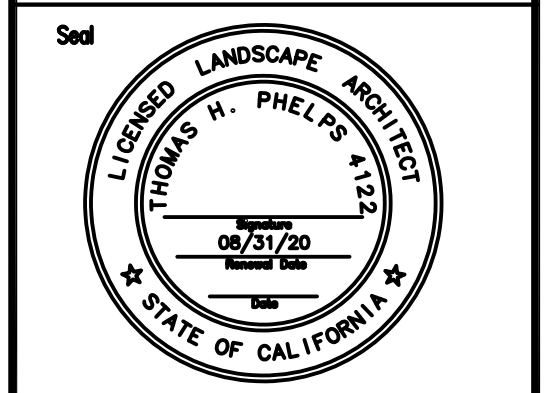


THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
THPLA, inc.
California Landscape Architect #4122
P.O. BOX 8328
Chico, CA 95927-8328
(530)892-8897 fax (530)892-9588
thphelps@sbcglobal.net

**STARBUCKS
LANDSCAPE IMPROVEMENT PLANS
3004 OLIVE HIGHWAY
OROVILLE, CALIFORNIA**

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Sheet Title
LANDSCAPE PLAN








No.	Date	Revision
▲		
▲		
▲		
▲		

Project Mgr.: THP Sheet No.:
 Drawn By: THP
 Scale: 1"=20'
 Date: 12 NOV 2019
 File Name: 19-054 of _____ sheets



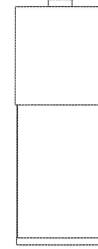
Dolan Hospitality
 26 South Hanford St.
 Seattle, WA 98134, USA
 Toll Free Ph: 888-506-7383
 Toll Free Fax: 866-268-1967
 info@dolanhospitality.com

Item 1.

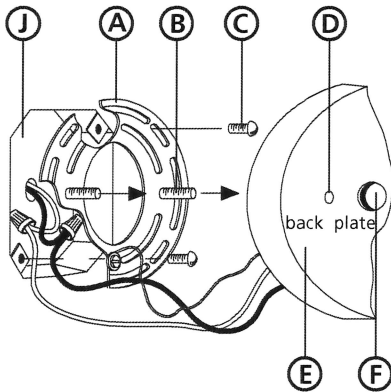
	<table border="1"> <tr><td>MFR#:</td><td>468803</td></tr> <tr><td>DESCRIPTION:</td><td>EXTERIOR SMALL SCONCE</td></tr> <tr><td>DIMENSIONS:</td><td>5"W X 14" Height (127mm X 355.6mm Height)</td></tr> <tr><td>CERTIFICATION:</td><td></td></tr> <tr><td>WET RATED:</td><td>YES</td></tr> <tr><td>TITLE 24:</td><td>BASED ON CONTROL SYSTEM VERIFY WITH ARCHITECT OF RECORD</td></tr> <tr><td>DARK SKY:</td><td>YES</td></tr> </table>	MFR#:	468803	DESCRIPTION:	EXTERIOR SMALL SCONCE	DIMENSIONS:	5"W X 14" Height (127mm X 355.6mm Height)	CERTIFICATION:		WET RATED:	YES	TITLE 24:	BASED ON CONTROL SYSTEM VERIFY WITH ARCHITECT OF RECORD	DARK SKY:	YES										
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	<table border="1"> <tr><td>FIXTURE COLOR:</td><td>BUCKEYE BRONZE</td></tr> <tr><td>SHADE MATERIAL:</td><td>STAINLESS STEEL MESH</td></tr> <tr><td>CORD:</td><td>N/A</td></tr> <tr><td>FASTENERS USED:</td><td>WALL MOUNTED</td></tr> <tr><td>WARRANTY:</td><td>2 YEARS</td></tr> <tr><td>COUNTRY OF ORIGIN:</td><td>CHINA</td></tr> <tr><td>BOX SIZE:</td><td>22.05" L X 11.61"W X 11.61"H (560.07 MM L X 294.894 MM W X 294.894 MM H)</td></tr> <tr><td>QTY PER CARTON:</td><td>1 UNIT</td></tr> <tr><td>QTY PER MASTER PACK:</td><td>1 UNIT</td></tr> <tr><td>ITEM WEIGHT(GROSS):</td><td>3LBS</td></tr> <tr><td>ITEM WEIGHT(NET):</td><td>3LBS</td></tr> <tr><td>COMMENTS:</td><td>SHIPPED WITH BULB BELOW</td></tr> </table>	FIXTURE COLOR:	BUCKEYE BRONZE	SHADE MATERIAL:	STAINLESS STEEL MESH	CORD:	N/A	FASTENERS USED:	WALL MOUNTED	WARRANTY:	2 YEARS	COUNTRY OF ORIGIN:	CHINA	BOX SIZE:	22.05" L X 11.61"W X 11.61"H (560.07 MM L X 294.894 MM W X 294.894 MM H)	QTY PER CARTON:	1 UNIT	QTY PER MASTER PACK:	1 UNIT	ITEM WEIGHT(GROSS):	3LBS	ITEM WEIGHT(NET):	3LBS	COMMENTS:	SHIPPED WITH BULB BELOW
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	<table border="1"> <tr><td>BULB:</td><td>LED</td></tr> <tr><td>SOCKET TYPE:</td><td>GU-24</td></tr> <tr><td>WATTAGE:</td><td>5W</td></tr> <tr><td>MAX WATTAGE STICKER</td><td>5W MAX</td></tr> <tr><td>VOLTAGE:</td><td>120</td></tr> <tr><td>HERTZ:</td><td>60</td></tr> <tr><td>KELVIN TEMP:</td><td>2700K</td></tr> <tr><td>BULBS INCLUDED:</td><td>YES</td></tr> </table>	BULB:	LED	SOCKET TYPE:	GU-24	WATTAGE:	5W	MAX WATTAGE STICKER	5W MAX	VOLTAGE:	120	HERTZ:	60	KELVIN TEMP:	2700K	BULBS INCLUDED:	YES								
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BULBS INCLUDED:	YES																								

assembly instructions

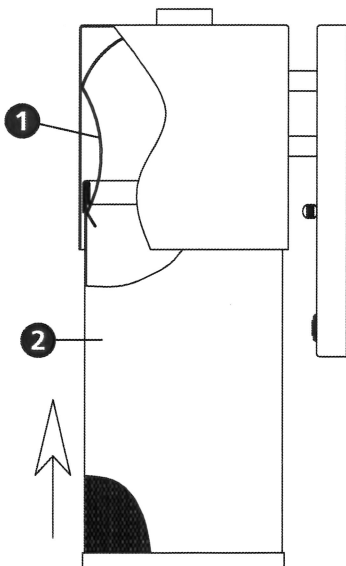
Family: Aria | Item No. 2300



Drawing 1 - Fixture Mounting



Drawing 2 - Fixture Assembly



▼ start here

1

1. Find a clear area in which you can work.
2. Unpack fixture and glass from carton.
3. Carefully review instructions prior to assembly.

*** The construction of this fixture will be accomplished by first mounting the mounting strap to the junction box, making all necessary electrical connections, mounting the fixture to the wall, and then lamping the fixture.

2

1. Prepare mounting strap (A) by threading the two 1 1/4" long mounting screws (B) into the back of the mounting strap (A) - see **Drawing 1**.
 - Be sure the holes into which the screws are threaded match the spacing of holes (D) in the backplate (E).
2. Attach mounting strap (A) to junction box (J) using two 1" screws (C).

SAFETY WARNING: READ WIRING AND GROUNDING INSTRUCTIONS (I.S. 18) AND ANY ADDITIONAL DIRECTIONS. TURN POWER SUPPLY OFF DURING INSTALLATION. IF NEW WIRING IS REQUIRED, CONSULT A QUALIFIED ELECTRICIAN OR LOCAL AUTHORITIES FOR CODE REQUIREMENTS.

3

Make electrical connections from supply wire to fixture lead wires. Refer to instruction sheet (I.S. 18) and follow all instructions to make all necessary wiring connections. Then refer back to this sheet to continue installation of this fixture.

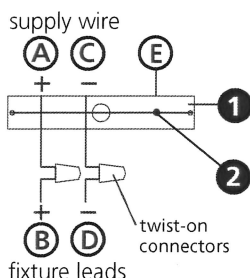
4

1. To mount fixture, slip the two mounting screws (B) through the two mounting holes (D) in the backplate (E) - see **Drawing 1**.
2. While holding fixture in place, thread the two ball knobs (F) on to the end of the mounting screws (B), and tighten.

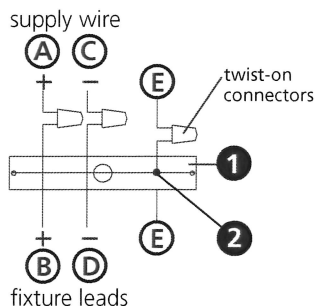
5

1. Fixture can now be lamped accordingly.
2. Slip mesh cylinder (2) into top of fixture making sure to slip top edge engages clip (1) - see **Drawing 2**.

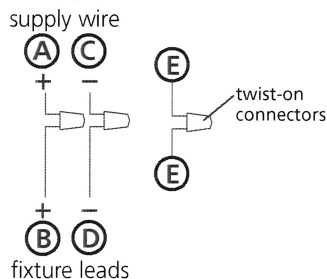
Drawing 1 - Flush Mount



Drawing 2 - Chain Hung



Drawing 3 - Post-Mount



SAFETY WARNING: READ WIRING AND GROUNDING INSTRUCTIONS (I.S. 18) AND ANY ADDITIONAL DIRECTIONS. TURN POWER SUPPLY OFF DURING INSTALLATION. IF NEW WIRING IS REQUIRED, CONSULT A QUALIFIED ELECTRICIAN OR LOCAL AUTHORITIES FOR CODE REQUIREMENTS.

wiring instructions

Indoor Fixtures

1. Connect positive supply wire (A) (typically black or the smooth, unmarked side of the two-conductor cord) to positive fixture lead (B) with appropriately sized twist on connector - see **Drawings 1 or 2**.
2. Connect negative supply wire (C) (typically white or the ribbed, marked side of the two-conductor cord) to negative fixture lead (D).
3. Please refer to the **grounding instructions** below to complete all electrical connections.

Outdoor Fixtures

1. Connect positive supply wire (A) (typically black or the smooth unmarked side of the two-conductor cord) to positive fixture lead (B) with appropriately sized twist on connector - see **Drawings 2 or 3**.
2. Connect negative supply wire (C) (typically white or the ribbed, marked side of the two-conductor cord) to negative fixture lead (D).
3. Cover open end of connectors with silicone sealant to form a watertight seal.
 - If installing a wall mount fixture, use caulk to seal gaps between the fixture mounting plate (backplate) and the wall. This will help prevent water from entering the outlet box. If the wall surface is lap siding, use caulk and a fixture mounting platform specially.
4. Please refer to the **grounding instructions** below to complete all electrical connections.

grounding instructions

Flush Mount Fixtures

For positive grounding in a 3-wire electrical system, fasten the fixture ground wire (E) (typically copper or green plastic coated) to the fixture mounting strap (1) with the ground screw (2) - see **Drawing 1**.

Note: On straps for screw supported fixtures, first install the two mounting screws in strap. Any remaining tapped hole may be used for the ground screw.

Chain Hung Fixtures

Loop fixture ground wire (E) (typically copper or green plastic coated) under the head of the ground screw (2) on fixture mounting strap (1) and connect to the loose end of the fixture ground wire directly to the ground wire of the building system with appropriately sized twist-on connectors - see **Drawing 2**.

Post-Mount Fixtures

Connect fixture ground wire (E) (typically copper or green plastic coated) to power supply ground with appropriately sized twist-on connector inside post. Cover open end of connector with silicone sealant to form a watertight seal - see **Drawing 3**.

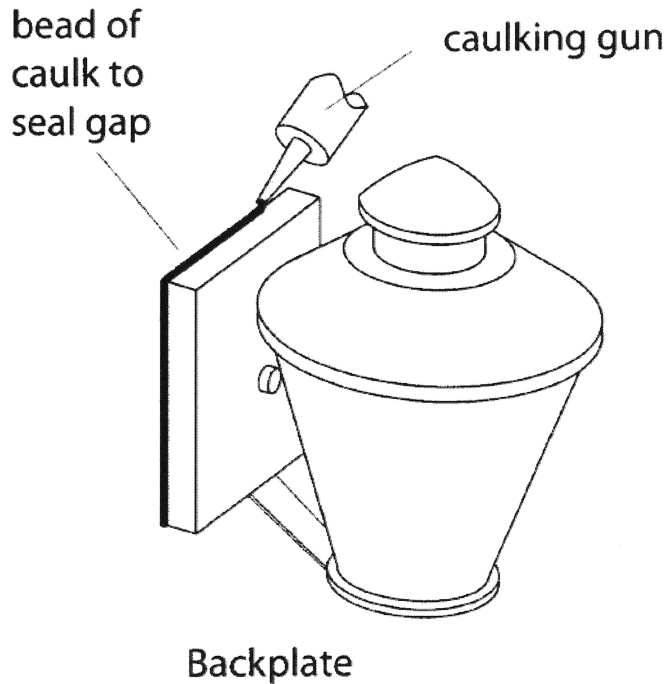
I.S.200 Caulking Instruction

I.S. 200



start here

1. After securing fixture to the wall it is recommended that the gap between the wall and the fixture backplate be sealed with any good quality waterproof caulk or silicone sealant, on the top and sides leaving the bottom open as a weep hole.
(NOT INCLUDED) see Drawing 1.



Drawing 1

R1:3.6.13



D-Series Size 1 LED Area Luminaire

d^{series}



Catalog Number	Item 1.
Notes	
Type	

Hit the Tab key or mouse over the page to see all interactive elements.

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

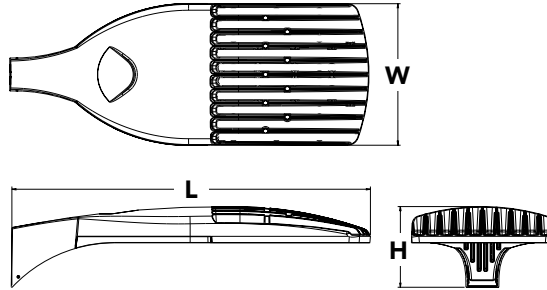
- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL[®] controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM[®] or XPoint[™] Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

Specifications

EPA:	1.01 ft ² (0.09 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height:	7-1/2" (19.0 cm)
Weight (max):	27 lbs (12.2 kg)



A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

DSX1LED		Color temperature		Distribution		Voltage	Mounting		
Series	LEDs								
DSX1 LED	Forward optics	30K	3000 K	T1S	Type I short	T5S	Type V short	MVOLT^{4,5} 120⁶ 208^{5,6} 240^{5,6} 277⁶ 347^{5,6,7} 480^{5,6,7}	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor ⁸ RPUMBA Round pole universal mounting adaptor ⁸ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁹
	P1 P4 P7	40K	4000 K	T2S	Type II short	T5M	Type V medium		
	P2 P5 P8	50K	5000 K	T2M	Type II medium	T5W	Type V wide		
	P3 P6 P9	AMBPC	Amber phosphor converted ²	T3S	Type III short	BLC	Backlight control ^{2,3}		
	Rotated optics			T3M	Type III medium	LCCO	Left corner cutoff ^{2,3}		
	P10 ¹ P12 ¹			T4M	Type IV medium	RCCO	Right corner cutoff ^{2,3}		
P11 ¹ P13 ¹			TFTM	Forward throw medium					
			T5VS	Type V very short					

Control options		Other options	Finish (required)
Shipped installed		Shipped installed	DDBXD Dark bronze
PER	NEMA twist-lock receptacle only (controls ordered separate) ¹⁰	HS	House-side shield ¹⁹
PER5	Five-wire receptacle only (controls ordered separate) ^{10,11}	SF	Single fuse (120, 277, 347V) ⁶
PER7	Seven-wire receptacle only (controls ordered separate) ^{10,11}	DF	Double fuse (208, 240, 480V) ⁶
DMG	0-10V dimming extend out back of housing for external control (leads exit fixture)	L90	Left rotated optics ¹
DS	Dual switching ^{12,13}	R90	Right rotated optics ¹
PIR	Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{5,14,15}	BS	Bird spikes
PIRH	Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{5,14,15}	EGS	External glare shield
PIR1FC3V	Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{5,14,15}		
	PIRH1FC3V		
	BL30		
	BL50		
	PNMTDD3		
	PNMT5D3		
	PNMT6D3		
	PNMT7D3		
	FAO		



Ordering Information

Item 1.

Accessories

Ordered and shipped separately.

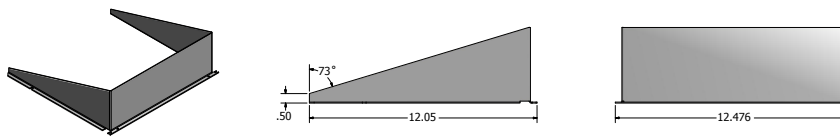
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁰
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁰
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁰
DSHORT SBK U	Shorting cap ²⁰
DSX1HS 30C U	House-side shield for 30 LED unit ¹⁹
DSX1HS 40C U	House-side shield for 40 LED unit ¹⁹
DSX1HS 60C U	House-side shield for 60 LED unit ¹⁹
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) ²¹
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁴

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- P10, P11, P12 or P13 and rotated optics (L90, R90) only available together.
- AMBPC is not available with BLC, LCCO, RCCO or P4, P7, P8, P9 or P13.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Any PIRx with BL30, BL50 or PNMT, is not available with 208V, 240V, 347V, 480V or MVOLT. It is only available in 120V or 277V specified.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Not available in P1 or P10. Not available with BL30, BL50 or PNMT options.
- Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
- Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming. Shorting cap included.
- Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available P1, P2, P3 or P4.
- Requires (2) separately switched circuits.
- Reference Motion Sensor table on page 3.
- Reference PER table on page 3 to see functionality.
- Not available with 347V, 480V, PNMT, DS. For PER5 or PER7, see PER Table on page 3.
- Not available with 347V, 480V, DS, BL30, BL50. For PER5 or PER7, see PER Table on page 3. Separate Dusk to Dawn required.
- Not available with other dimming controls options
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table on page 3.
- For retrofit use only.

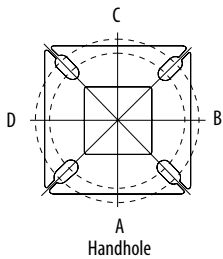
External Glare Shield



Drilling

Tenon Mounting Slipfitter**

HANDHOLE ORIENTATION

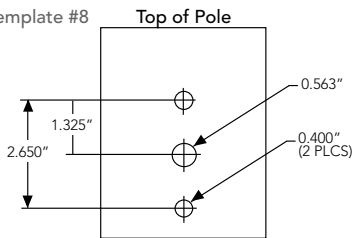


Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Pole drilling nomenclature: # of heads at degree from handhole (default side A)						
DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS	
1 @ 90°	2 @ 280°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°	
Side B	Side B & D	Side B & C	Round pole only	Side B, C, & D	Sides A, B, C, D	

Note: Review luminaire spec sheet for specific nomenclature

Template #8



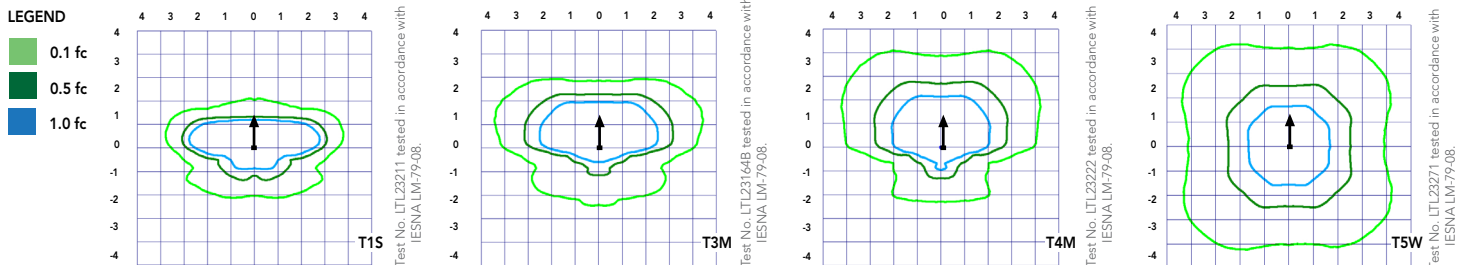
Pole top or tenon O.D.	4.5" @ 90°	4" @ 90°	3.5" @ 90°	3" @ 90°	4.5" @ 120°	4" @ 120°	3.5" @ 120°	3" @ 120°
DSX SPA	Y	Y	Y	N	-	-	-	-
DSX RPA	Y	Y	N	N	Y	Y	Y	Y
DSX SPUMBA	Y	N	N	N	-	-	-	-
DSX RPUMBA	N	N	N	N	Y	Y	Y	N

*3 fixtures @ 120 require round pole top/tenon.

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 1 homepage](#).

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (25').



Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Electrical Load

	Performance Package	LED Count	Drive Current	Wattage	Current (A)					
					120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	30	530	54	0.45	0.26	0.23	0.19	0.10	0.12
	P2	30	700	70	0.59	0.34	0.30	0.25	0.20	0.16
	P3	30	1050	102	0.86	0.50	0.44	0.38	0.30	0.22
	P4	30	1250	125	1.06	0.60	0.52	0.46	0.37	0.27
	P5	30	1400	138	1.16	0.67	0.58	0.51	0.40	0.29
	P6	40	1250	163	1.36	0.78	0.68	0.59	0.47	0.34
	P7	40	1400	183	1.53	0.88	0.76	0.66	0.53	0.38
	P8	60	1050	207	1.74	0.98	0.87	0.76	0.64	0.49
	P9	60	1250	241	2.01	1.16	1.01	0.89	0.70	0.51
Rotated Optics (Requires L90 or R90)	P10	60	530	106	0.90	0.52	0.47	0.43	0.33	0.27
	P11	60	700	137	1.15	0.67	0.60	0.53	0.42	0.32
	P12	60	1050	207	1.74	0.99	0.87	0.76	0.60	0.46
	P13	60	1250	231	1.93	1.12	0.97	0.86	0.67	0.49

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25000	50000	100000
Lumen Maintenance Factor	1.00	0.96	0.92	0.85

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use with Inline Dusk to Dawn or timer.

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
		Wire 4/Wire5	Wire 4/Wire5	Wire 4/Wire5	Wire 6/Wire7	
Photocontrol Only (On/Off)	✓	▲	Wired to dimming leads on driver	▲	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	✗	✓	Wired to dimming leads on driver	▲	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion (ROAM on/off only)	✗	▲	Wires Capped inside fixture	▲	Wires Capped inside fixture	Wires Capped inside fixture
Future-proof*	✗	▲	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Future-proof* with Motion	✗	▲	Wires Capped inside fixture	✓	Wires Capped inside fixture	Wires Capped inside fixture

- ✓ Recommended
- ✗ Will not work
- ▲ Alternate

*Future-proof means: Ability to change controls in the future.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																													
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)									
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW					
30	530	P1	54W	T1S	6,457	2	0	2	120	6,956	2	0	2	129	7,044	2	0	2	130	3,640	1	0	1	70					
				T2S	6,450	2	0	2	119	6,949	2	0	2	129	7,037	2	0	2	130	3,813	1	0	1	73					
				T2M	6,483	1	0	1	120	6,984	2	0	2	129	7,073	2	0	2	131	3,689	1	0	1	71					
				T3S	6,279	2	0	2	116	6,764	2	0	2	125	6,850	2	0	2	127	3,770	1	0	1	73					
				T3M	6,468	1	0	2	120	6,967	1	0	2	129	7,056	1	0	2	131	3,752	1	0	1	72					
				T4M	6,327	1	0	2	117	6,816	1	0	2	126	6,902	1	0	2	128	3,758	1	0	1	72					
				TFTM	6,464	1	0	2	120	6,963	1	0	2	129	7,051	1	0	2	131	3,701	1	0	1	71					
				TSVS	6,722	2	0	0	124	7,242	3	0	0	134	7,334	3	0	0	136	3,928	2	0	0	76					
				TSS	6,728	2	0	1	125	7,248	2	0	1	134	7,340	2	0	1	136	3,881	2	0	0	75					
				T5M	6,711	3	0	1	124	7,229	3	0	1	134	7,321	3	0	2	136	3,930	2	0	1	76					
				TSW	6,667	3	0	2	123	7,182	3	0	2	133	7,273	3	0	2	135	3,820	3	0	1	73					
				BLC	5,299	1	0	1	98	5,709	1	0	2	106	5,781	1	0	2	107										
				LCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80										
				RCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80										
				30	700	P2	70W	T1S	8,249	2	0	2	118	8,886	2	0	2	127	8,999	2	0	2	129	4,561	1	0	1	67	
								T2S	8,240	2	0	2	118	8,877	2	0	2	127	8,989	2	0	2	128	4,777	1	0	1	70	
								T2M	8,283	2	0	2	118	8,923	2	0	2	127	9,036	2	0	2	129	4,622	1	0	2	68	
								T3S	8,021	2	0	2	115	8,641	2	0	2	123	8,751	2	0	2	125	4,724	1	0	1	69	
T3M	8,263	2	0					2	118	8,901	2	0	2	127	9,014	2	0	2	129	4,701	1	0	2	69					
T4M	8,083	2	0					2	115	8,708	2	0	2	124	8,818	2	0	2	126	4,709	1	0	2	69					
TFTM	8,257	2	0					2	118	8,896	2	0	2	127	9,008	2	0	2	129	4,638	1	0	2	68					
TSVS	8,588	3	0					0	123	9,252	3	0	0	132	9,369	3	0	0	134	4,922	2	0	0	72					
TSS	8,595	3	0					1	123	9,259	3	0	1	132	9,376	3	0	1	134	4,863	2	0	0	72					
T5M	8,573	3	0					2	122	9,236	3	0	2	132	9,353	3	0	2	134	4,924	3	0	1	72					
TSW	8,517	3	0					2	122	9,175	4	0	2	131	9,291	4	0	2	133	4,787	3	0	1	70					
BLC	6,770	1	0					2	97	7,293	1	0	2	104	7,386	1	0	2	106										
LCCO	5,038	1	0					2	72	5,427	1	0	2	78	5,496	1	0	2	79										
RCCO	5,038	1	0					2	72	5,427	1	0	2	78	5,496	1	0	2	79										
30	1050	P3	102W					T1S	11,661	2	0	2	114	12,562	3	0	3	123	12,721	3	0	3	125						
								T2S	11,648	2	0	2	114	12,548	3	0	3	123	12,707	3	0	3	125						
								T2M	11,708	2	0	2	115	12,613	2	0	2	124	12,773	2	0	2	125						
								T3S	11,339	2	0	2	111	12,215	3	0	3	120	12,370	3	0	3	121						
				T3M	11,680	2	0	2	115	12,582	2	0	2	123	12,742	2	0	2	125										
				T4M	11,426	2	0	3	112	12,309	2	0	3	121	12,465	2	0	3	122										
				TFTM	11,673	2	0	2	114	12,575	2	0	3	123	12,734	2	0	3	125										
				TSVS	12,140	3	0	1	119	13,078	3	0	1	128	13,244	3	0	1	130										
				TSS	12,150	3	0	1	119	13,089	3	0	1	128	13,254	3	0	1	130										
				T5M	12,119	4	0	2	119	13,056	4	0	2	128	13,221	4	0	2	130										
				TSW	12,040	4	0	3	118	12,970	4	0	3	127	13,134	4	0	3	129										
				BLC	9,570	1	0	2	94	10,310	1	0	2	101	10,440	1	0	2	102										
				LCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76										
				RCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76										
				30	1250	P4	125W	T1S	13,435	3	0	3	107	14,473	3	0	3	116	14,657	3	0	3	117						
								T2S	13,421	3	0	3	107	14,458	3	0	3	116	14,641	3	0	3	117						
								T2M	13,490	2	0	2	108	14,532	3	0	3	116	14,716	3	0	3	118						
								T3S	13,064	3	0	3	105	14,074	3	0	3	113	14,252	3	0	3	114						
T3M	13,457	2	0					2	108	14,497	2	0	2	116	14,681	2	0	2	117										
T4M	13,165	2	0					3	105	14,182	2	0	3	113	14,362	2	0	3	115										
TFTM	13,449	2	0					3	108	14,488	2	0	3	116	14,672	2	0	3	117										
TSVS	13,987	4	0					1	112	15,068	4	0	1	121	15,259	4	0	1	122										
TSS	13,999	3	0					1	112	15,080	3	0	1	121	15,271	3	0	1	122										
T5M	13,963	4	0					2	112	15,042	4	0	2	120	15,233	4	0	2	122										
TSW	13,872	4	0					3	111	14,944	4	0	3	120	15,133	4	0	3	121										
BLC	11,027	1	0					2	88	11,879	1	0	2	95	12,029	1	0	2	96										
LCCO	8,205	1	0					3	66	8,839	1	0	3	71	8,951	1	0	3	72										
RCCO	8,205	1	0					3	66	8,839	1	0	3	71	8,951	1	0	3	72										
30	1400	P5	138W					T1S	14,679	3	0	3	106	15,814	3	0	3	115	16,014	3	0	3	116						
								T2S	14,664	3	0	3	106	15,797	3	0	3	114	15,997	3	0	3	116						
								T2M	14,739	3	0	3	107	15,878	3	0	3	115	16,079	3	0	3	117						
								T3S	14,274	3	0	3	103	15,377	3	0	3	111	15,572	3	0	3	113						
				T3M	14,704	2	0	3	107	15,840	3	0	3	115	16,040	3	0	3	116										
				T4M	14,384	2	0	3	104	15,496	3	0	3	112	15,692	3	0	3	114										
				TFTM	14,695	2	0	3	106	15,830	3	0	3	115	16,030	3	0	3	116										
				TSVS	15,283	4	0	1	111	16,464	4	0	1	119	16,672	4	0	1	121										
				TSS	15,295	3	0	1	111	16,477	4	0	1	119	16,686	4	0	1	121										
				T5M	15,257	4	0	2	111	16,435	4	0	2	119	16,644	4	0	2	121										
				TSW	15,157	4	0	3	110	16,328	4	0	3	118	16,534	4	0	3	120										
				BLC	12,048	1	0	2	87	12,979	1	0	2	94	13,143	1	0	2	95										
				LCCO	8,965	1	0	3	65	9,657	1	0	3	70	9,780	1	0	3	71										
					8,965	1	0	3	65	9,657	1	0	3	70	9,780	1	0	3	71										

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																											
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)							
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lu-mens	B	U	G	LPW			
40	1250	P6	163W	T1S	17,654	3	0	3	108	19,018	3	0	3	117	19,259	3	0	3	118								
				T2S	17,635	3	0	3	108	18,998	3	0	3	117	19,238	3	0	3	118								
				T2M	17,726	3	0	3	109	19,096	3	0	3	117	19,337	3	0	3	119								
				T3S	17,167	3	0	3	105	18,493	3	0	3	113	18,727	3	0	3	115								
				T3M	17,683	3	0	3	108	19,049	3	0	3	117	19,290	3	0	3	118								
				T4M	17,299	3	0	3	106	18,635	3	0	4	114	18,871	3	0	4	116								
				TFTM	17,672	3	0	3	108	19,038	3	0	4	117	19,279	3	0	4	118								
				TSVS	18,379	4	0	1	113	19,800	4	0	1	121	20,050	4	0	1	123								
				T5S	18,394	4	0	2	113	19,816	4	0	2	122	20,066	4	0	2	123								
				T5M	18,348	4	0	2	113	19,766	4	0	2	121	20,016	4	0	2	123								
				T5W	18,228	5	0	3	112	19,636	5	0	3	120	19,885	5	0	3	122								
				BLC	14,489	2	0	2	89	15,609	2	0	3	96	15,806	2	0	3	97								
				LCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72								
				RCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72								
				40	1400	P7	183W	T1S	19,227	3	0	3	105	20,712	3	0	3	113	20,975	3	0	3	115				
T2S	19,206	3	0					3	105	20,690	3	0	3	113	20,952	3	0	3	114								
T2M	19,305	3	0					3	105	20,797	3	0	3	114	21,060	3	0	3	115								
T3S	18,696	3	0					3	102	20,141	3	0	3	110	20,396	3	0	4	111								
T3M	19,258	3	0					3	105	20,746	3	0	3	113	21,009	3	0	3	115								
T4M	18,840	3	0					4	103	20,296	3	0	4	111	20,553	3	0	4	112								
TFTM	19,246	3	0					4	105	20,734	3	0	4	113	20,996	3	0	4	115								
TSVS	20,017	4	0					1	109	21,564	4	0	1	118	21,837	4	0	1	119								
T5S	20,033	4	0					2	109	21,581	4	0	2	118	21,854	4	0	2	119								
T5M	19,983	4	0					2	109	21,527	5	0	3	118	21,799	5	0	3	119								
T5W	19,852	5	0					3	108	21,386	5	0	3	117	21,656	5	0	3	118								
BLC	15,780	2	0					3	86	16,999	2	0	3	93	17,214	2	0	3	94								
LCCO	11,742	2	0					3	64	12,649	2	0	3	69	12,809	2	0	3	70								
RCCO	11,742	2	0					3	64	12,649	2	0	3	69	12,809	2	0	3	70								
60	1050	P8	207W					T1S	22,490	3	0	3	109	24,228	3	0	3	117	24,535	3	0	3	119				
				T2S	22,466	3	0	4	109	24,202	3	0	4	117	24,509	3	0	4	118								
				T2M	22,582	3	0	3	109	24,327	3	0	3	118	24,635	3	0	3	119								
				T3S	21,870	3	0	4	106	23,560	3	0	4	114	23,858	3	0	4	115								
				T3M	22,527	3	0	4	109	24,268	3	0	4	117	24,575	3	0	4	119								
				T4M	22,038	3	0	4	106	23,741	3	0	4	115	24,041	3	0	4	116								
				TFTM	22,513	3	0	4	109	24,253	3	0	4	117	24,560	3	0	4	119								
				TSVS	23,415	5	0	1	113	25,224	5	0	1	122	25,543	5	0	1	123								
				T5S	23,434	4	0	2	113	25,244	4	0	2	122	25,564	4	0	2	123								
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123								
				T5W	23,221	5	0	4	112	25,016	5	0	4	121	25,332	5	0	4	122								
				BLC	18,458	2	0	3	89	19,885	2	0	3	96	20,136	2	0	3	97								
				LCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72								
				RCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72								
				60	1250	P9	241W	T1S	25,575	3	0	3	106	27,551	3	0	3	114	27,900	3	0	3	116				
T2S	25,548	3	0					4	106	27,522	3	0	4	114	27,871	3	0	4	116								
T2M	25,680	3	0					3	107	27,664	3	0	3	115	28,014	3	0	3	116								
T3S	24,870	3	0					4	103	26,791	3	0	4	111	27,130	3	0	4	113								
T3M	25,617	3	0					4	106	27,597	3	0	4	115	27,946	3	0	4	116								
T4M	25,061	3	0					4	104	26,997	3	0	4	112	27,339	3	0	4	113								
TFTM	25,602	3	0					4	106	27,580	3	0	4	114	27,929	3	0	4	116								
TSVS	26,626	5	0					1	110	28,684	5	0	1	119	29,047	5	0	1	121								
T5S	26,648	4	0					2	111	28,707	5	0	2	119	29,070	5	0	2	121								
T5M	26,581	5	0					3	110	28,635	5	0	3	119	28,997	5	0	3	120								
T5W	26,406	5	0					4	110	28,447	5	0	4	118	28,807	5	0	4	120								
BLC	20,990	2	0					3	87	22,612	2	0	3	94	22,898	2	0	3	95								
LCCO	15,619	2	0					4	65	16,825	2	0	4	70	17,038	2	0	4	71								
									15,619	2	0	4	65	16,825	2	0	4	70	17,038	2	0	4	71				

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																									
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)					
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	
					60	530	P10	106W	T1S	13,042	3	0	3	123	14,050	3	0	3	133	14,228	3	0	3	134	7,167
T2S	12,967	4	0	4					122	13,969	4	0	4	132	14,146	4	0	4	133	7,507	2	0	2	76	
T2M	13,201	3	0	3					125	14,221	3	0	3	134	14,401	3	0	3	136	7,263	2	0	2	73	
T3S	12,766	4	0	4					120	13,752	4	0	4	130	13,926	4	0	4	131	7,424	2	0	2	75	
T3M	13,193	4	0	4					124	14,213	4	0	4	134	14,393	4	0	4	136	7,387	2	0	2	75	
T4M	12,944	4	0	4					122	13,945	4	0	4	132	14,121	4	0	4	133	7,400	2	0	2	75	
TFTM	13,279	4	0	4					125	14,305	4	0	4	135	14,486	4	0	4	137	7,288	1	0	2	74	
T5VS	13,372	3	0	1					126	14,405	4	0	1	136	14,588	4	0	1	138	7,734	3	0	1	78	
T5S	13,260	3	0	1					125	14,284	3	0	1	135	14,465	3	0	1	136	7,641	3	0	0	77	
T5M	13,256	4	0	2					125	14,281	4	0	2	135	14,462	4	0	2	136	7,737	3	0	2	78	
T5W	13,137	4	0	3					124	14,153	4	0	3	134	14,332	4	0	3	135	7,522	3	0	2	76	
BLC	10,906	3	0	3					103	11,749	3	0	3	111	11,898	3	0	3	112						
LCCO	7,789	1	0	3					73	8,391	1	0	3	79	8,497	1	0	3	80						
RCCO	7,779	4	0	4					73	8,380	4	0	4	79	8,486	4	0	4	80						
60	700	P11	137W	T1S					16,556	3	0	3	121	17,835	3	0	3	130	18,061	4	0	4	132	8,952	2
				T2S	16,461	4	0	4	120	17,733	4	0	4	129	17,957	4	0	4	131	9,377	2	0	2	72	
				T2M	16,758	4	0	4	122	18,053	4	0	4	132	18,281	4	0	4	133	9,072	2	0	2	69	
				T3S	16,205	4	0	4	118	17,457	4	0	4	127	17,678	4	0	4	129	9,273	2	0	2	71	
				T3M	16,748	4	0	4	122	18,042	4	0	4	132	18,271	4	0	4	133	9,227	2	0	2	70	
				T4M	16,432	4	0	4	120	17,702	4	0	4	129	17,926	4	0	4	131	9,243	2	0	2	71	
				TFTM	16,857	4	0	4	123	18,159	4	0	4	133	18,389	4	0	4	134	9,103	2	0	2	69	
				T5VS	16,975	4	0	1	124	18,287	4	0	1	133	18,518	4	0	1	135	9,661	3	0	1	74	
				T5S	16,832	4	0	1	123	18,133	4	0	2	132	18,362	4	0	2	134	9,544	3	0	1	73	
				T5M	16,828	4	0	2	123	18,128	4	0	2	132	18,358	4	0	2	134	9,665	3	0	2	74	
				T5W	16,677	4	0	3	122	17,966	5	0	3	131	18,193	5	0	3	133	9,395	4	0	2	72	
				BLC	13,845	3	0	3	101	14,915	3	0	3	109	15,103	3	0	3	110						
				LCCO	9,888	1	0	3	72	10,652	2	0	3	78	10,787	2	0	3	79						
				RCCO	9,875	4	0	4	72	10,638	4	0	4	78	10,773	4	0	4	79						
				60	1050	P12	207W	T1S	22,996	4	0	4	111	24,773	4	0	4	120	25,087	4	0	4	121		
T2S	22,864	4	0					4	110	24,631	5	0	5	119	24,943	5	0	5	120						
T2M	23,277	4	0					4	112	25,075	4	0	4	121	25,393	4	0	4	123						
T3S	22,509	4	0					4	109	24,248	5	0	5	117	24,555	5	0	5	119						
T3M	23,263	4	0					4	112	25,061	4	0	4	121	25,378	4	0	4	123						
T4M	22,824	5	0					5	110	24,588	5	0	5	119	24,899	5	0	5	120						
TFTM	23,414	5	0					5	113	25,223	5	0	5	122	25,543	5	0	5	123						
T5VS	23,579	5	0					1	114	25,401	5	0	1	123	25,722	5	0	1	124						
T5S	23,380	4	0					2	113	25,187	4	0	2	122	25,506	4	0	2	123						
T5M	23,374	5	0					3	113	25,181	5	0	3	122	25,499	5	0	3	123						
T5W	23,165	5	0					4	112	24,955	5	0	4	121	25,271	5	0	4	122						
BLC	19,231	4	0					4	93	20,717	4	0	4	100	20,979	4	0	4	101						
LCCO	13,734	2	0					3	66	14,796	2	0	4	71	14,983	2	0	4	72						
RCCO	13,716	4	0					4	66	14,776	4	0	4	71	14,963	4	0	4	72						
60	1250	P13	231W					T1S	25,400	4	0	4	110	27,363	4	0	4	118	27,709	4	0	4	120		
				T2S	25,254	5	0	5	109	27,205	5	0	5	118	27,550	5	0	5	119						
				T2M	25,710	4	0	4	111	27,696	4	0	4	120	28,047	4	0	4	121						
				T3S	24,862	5	0	5	108	26,783	5	0	5	116	27,122	5	0	5	117						
				T3M	25,695	5	0	5	111	27,680	5	0	5	120	28,031	5	0	5	121						
				T4M	25,210	5	0	5	109	27,158	5	0	5	118	27,502	5	0	5	119						
				TFTM	25,861	5	0	5	112	27,860	5	0	5	121	28,212	5	0	5	122						
				T5VS	26,043	5	0	1	113	28,056	5	0	1	121	28,411	5	0	1	123						
				T5S	25,824	4	0	2	112	27,819	5	0	2	120	28,172	5	0	2	122						
				T5M	25,818	5	0	3	112	27,813	5	0	3	120	28,165	5	0	3	122						
				T5W	25,586	5	0	4	111	27,563	5	0	4	119	27,912	5	0	4	121						
				BLC	21,241	4	0	4	92	22,882	4	0	4	99	23,172	4	0	4	100						
				LCCO	15,170	2	0	4	66	16,342	2	0	4	71	16,549	2	0	4	72						
									15,150	5	0	5	66	16,321	5	0	5	71	16,527	5	0	5	72		

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.01 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1

electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocontrol receptacle are also available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

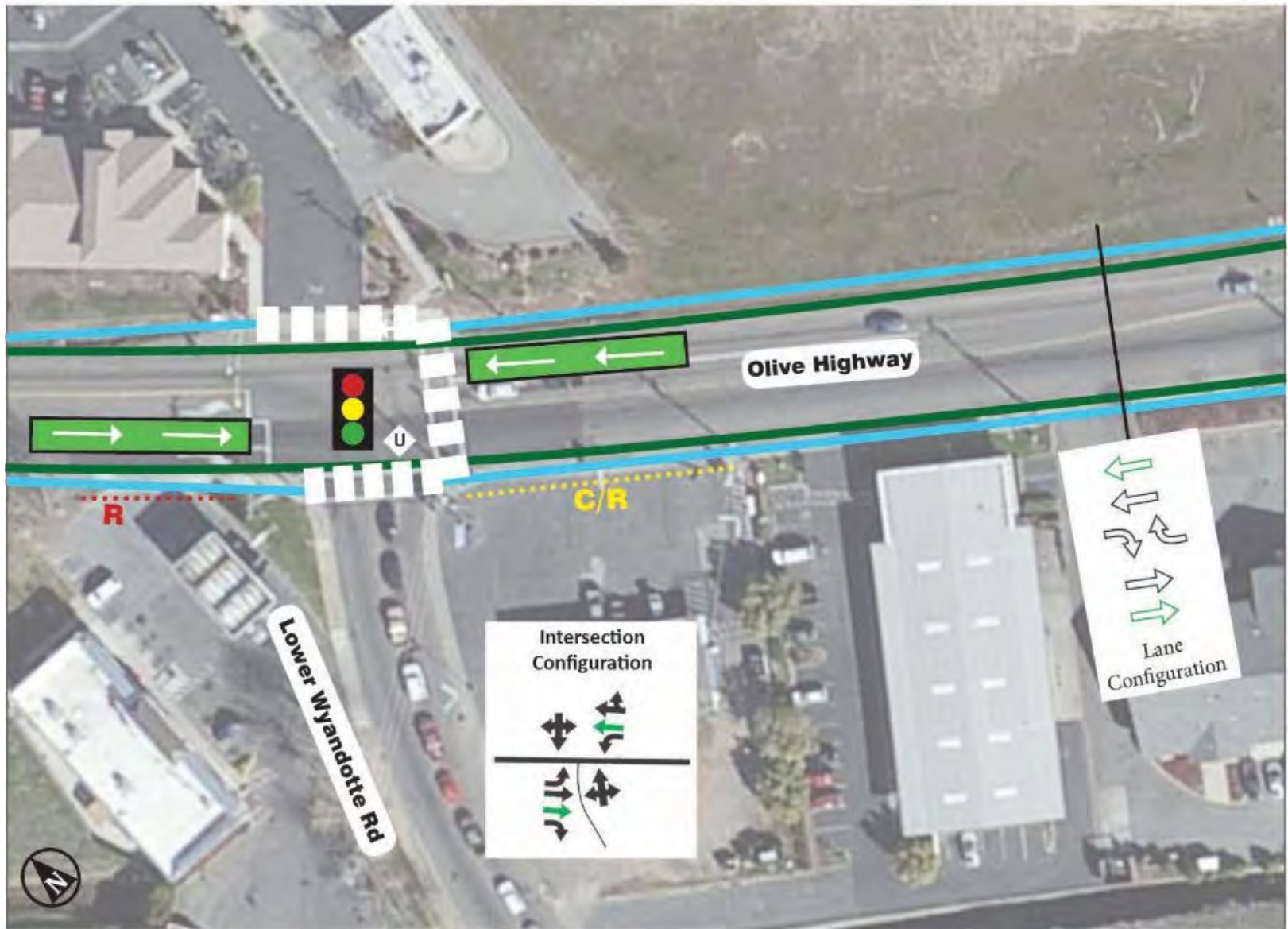
International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





RESOLUTION NO. P2019-06

A RESOLUTION OF THE OROVILLE CITY PLANNING COMMISSION MAKING FINDINGS AND CONDITIONALLY APPROVING USE PERMIT # 19-06 FOR A DRIVE THROUGH STARBUCK’S COFFEEHOUSE AT 3004 OLIVE HIGHWAY

WHEREAS, the City of Oroville staff recommends approving a new drive through Starbucks’s coffeehouse; and

WHEREAS, per the City of Oroville Municipal Code (OMC), property at the proposed location of a new drive-through coffeehouse has a zoning designation of Corridor Mixed Use (MXC); and

WHEREAS, pursuant to Section (OMC) Table 17.34.020-1, food and beverage sales under 10,000 square feet is a use that is permitted by right, subject to a zoning clearance, in all mixed-use districts. However, all drive-through establishments in an MXC zone require a use permit. As a condition of approval, the applicant will be required to comply with all requirements of the City’s Zoning Code as found in the OMC Chapter 17, including, but not limited to, development standards, permit requirements and development review; and

WHEREAS, at a duly noticed public hearing, the Planning Commission considered the comments and concerns of public agencies, property owners, and members of the public who are potentially affected by the approval of the use permit described herein, and also considered the City’s staff report regarding the use.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION as follows:

1. This action has been determined to be exempt from the California Environmental Quality Act (CEQA) review pursuant to Title 14, California Code of Regulations, Section 15332 “In-Fill Development Projects.”
2. The Planning Commission approves the findings required by Section 17.48.010 (E)(4) of the Oroville City Code, as those findings are described in this Resolution.
3. The following conditions of approval have been deemed necessary to achieve the purpose of the Zoning Code and to promote the general health, safety and public welfare of the City.

CONDITIONS OF APPROVAL

Approved project: The project applicant, Bill McCandless. with McCandless & Associates Architects, Inc, has applied for a use permit (UP 19-06) for the demolition of an existing building and construction of a new Starbucks drive-thru on the lots identified

as APN 013-300-075 and 013-300-087. The property is on the southeast corner of Olive Highway (SR162) and Lower Wyandotte Road. The property has a zoning land use designation of Corridor Mixed-Use (MXC). The proposed coffeehouse is a use permitted by right in an MXC district. However, any drive-thru in an MXC district requires a use permit. The coffeehouse will be approximately 2,225 square feet in size with an approximately 900 square feet seating area. The drive-thru will have a 10-car stack and the intended hours of operation are from 5:00am to 8:00pm.

The Planning Commission hereby approves UP 19-06, subject to the following:

1. The applicant shall hold harmless the City, its Council members, Planning Commissioners, officers, agents, employees, and representatives from liability for any award, damages, costs, and/or fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action.
2. The project shall remain in substantial conformance with the Conditions of Approval, as adopted by the Oroville Planning Commission. Any subsequent minor changes in the project (as determined by the Zoning Administrator) may only occur subject to appropriate City review and approval. Any subsequent substantive changes in the project (as determined by the Zoning Administrator) may only occur subject to discretionary review by the Oroville Planning Commission.
3. The applicants shall have a current City of Oroville business license and any other applicable permit/license that may be required as part of their business operations.
4. Pursuant to Section 17.12.010, the proposed use of the site shall conform to the performance standards of the Oroville Municipal Code to minimize any potential negative effects that the building, structure, lighting or use could have on its surroundings, and to promote compatibility with surrounding uses and areas.
5. The applicant shall ascertain and comply with all requirements of the Butte County Environmental Health Department.
6. Applicable construction plans, calculations, specifications, applications, forms, etc. shall be submitted to the Building Division for review prior to the start of any construction activities requiring a building permit. All applicable plan review and impact fees shall be paid at time of submittal.
7. The applicant shall ascertain and comply with the requirements of all City, County, State, Federal, and other local agencies as applicable to the proposed project.
8. Applicant shall provide a Certificate of Elevation prior to approval of building plans;
9. A minimum 250-gallon grease interceptor shall be installed as required by the City, handling discharge of mop sink, dishwasher, and hand and floor sinks. The trap or interceptor shall be cleaned weekly or more frequently as needed. A grease trap or interceptor maintenance log shall be kept to record cleanings and maintenance. The date, time, type of service, and the name of the person (and business if

performed by an outside contractor) performing the service shall be recorded. The trap or interceptor and maintenance log shall be made available for inspection as requested.

10. Under no circumstance shall vehicle queueing on the project site spillback onto Olive Highway (SR 162), or onto Lower Wyandotte Road.
11. Any driveway and/or sidewalk improvements in the Caltrans Right of Way on Olive Highway/SR 162 are subject to an encroachment permit, design requirements, and or other conditions Caltrans may require.
12. The Driveway on Olive Highway (SR162) shall be configured as right in right out, and shall be configured to block left turns from Olive westbound.
13. With the permission of the City and without fee, applicant plans to build a portion of its parking and landscaping area within the road right of way along Lower Wyandotte. Applicant agrees to execute a Revocable Grant of License, which acknowledges that should the City eventually need to take back all or part of the right of way for widening or other purposes, applicant will indemnify the City and will not seek compensation for any loss or disruption.
14. All grading, paving, excavation and site clearance, including that which is exempt from obtaining a permit, shall be performed in conformance with the City's Engineering Design Standards; the Municipal Code; the requirements of the State Regional Water Quality Control Board; and any other applicable local, state and federal requirements.
15. The project shall comply with the City's noise ordinance as found in the OMC Chapter 9.20.
16. All construction projects are required to implement dust control measures to reduce particulate matter emissions due to disturbance of exposed top-soils, such as watering of active areas where disturbance occurs, covering haul loads, maintaining clean access roads, and cleaning the wheels of construction vehicles accessing disturbed areas of the site.
17. All grading and paving shall be conducted in compliance with the Butte County Air Quality Management District's Indirect Source Guidelines, in order to prevent degradation of ambient air quality.
18. All applicable development impact fees shall be paid prior to issuance of a building permit.
19. Pursuant to Section 17.12.050(L), the property owner shall enter into a written agreement for the installation and maintenance of landscaping. The agreement shall be in a form approved by the City Attorney and Zoning Administrator and suitable for recordation with the Butte County recorder. The agreement shall be binding upon the property owner and any successors in interest.
20. Pursuant to Section 17.08.135, the project shall install public art on the project site in a public place as approved by the City Council. The cost of the public art must

be equal to at least one percent (1%) of the estimated construction costs. The developer has the option to opt out of this requirement and instead pay the equivalent in lieu fee which shall be a one percent (1%) fee of the estimated construction costs.

- 21. Pursuant to Section 17.48.010(F) of the City Code, the Planning Commission, upon its own motion, may modify or revoke any use permit that has been granted pursuant to the provisions of this section upon finding any of the following, based on substantial evidence:
 - a. Any of the conditions of the permit have not been satisfied within 1 year after it was granted.
 - b. Any of the terms or conditions of the permit have been violated.
 - c. A law, including any requirement in the Municipal Code Chapter 26, has been violated in connection with the permit.
 - d. The permit was obtained by fraud.
- 22. Applicant hereby certifies that any and all statements and information provided as part of the application are true and correct to the best of their knowledge and belief. Any misinformation provided, whether intentional or unintentional, that was considered in the issuance of this permit may be grounds for revocation.

--- End of Conditions ---

I HEREBY CERTIFY that the foregoing resolution was duly introduced and passed at a regular meeting of the Planning Commission of the City of Oroville held on the 18th of December 2019, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

ATTEST:

APPROVE:

JACKIE GLOVER, ASSISTANT CITY CLERK

DAMON ROBISON, CHAIRPERSON



City of Oroville

COMMUNITY DEVELOPMENT DEPARTMENT

Leonardo DePaola
DIRECTOR

1735 Montgomery Street
Oroville, CA 95965-4897
(530) 538-2430 FAX (530) 538-2426
www.cityoforoville.org

NOTICE OF EXEMPTION

TO: Butte County Clerk
25 County Center Drive
Oroville, CA 95965

FROM: City of Oroville
1735 Montgomery Street
Oroville, CA 95965

Project Title: UP19-06 for a new Starbucks Drive Thru

Project Location – Specific: 3004 Olive Highway

Project Location - City: City of Oroville

Project Location – County: Butte

Description of Nature, Purpose, and beneficiaries of project: The project applicant, Bill McCandless of McCandless & Associates Architects, has applied on behalf of property owner Mark Engstrom, for a Minor Use Permit for the demolition of an existing 1,335 square foot building at 3004 Olive Highway, Oroville, California, and construction of a new 2,225 square foot Starbucks with drive-thru with associated site improvements.. The subject property has a zoning designation of Corridor Mixed Use (MXC) and a General Plan land use designation of Public.

Name of Public Agency Approving Project: City of Oroville

Name of Person or Agency Carrying Out Project: Bill McCandless

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption: State type & section number:
 - General Rule Exemption; Title 14, CCR, §15061(b)(3)
 - In-Fill Development Projects; Title 14, CCR, §15332
- Statutory Exemption: State code number:

Reasons why project is exempt: This action has been determined to be exempt from the California Environmental Quality Act (CEQA) review as follows:

General Rule Exemption; Title 14, CCR, §15061(b)(3)

A project is exempt from CEQA if the activity is covered by the general rule that CEQA applies only to projects, which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. It has been determined that there is no possibility that the variance request will have a significant effect on the environment. Thus, this action is exempt from CEQA.

In-Fill Development Projects; Title 14, CCR, §15332

Class 32 categorical exemptions consists of projects characterized as in-fill development meeting specific conditions a-e as described in this section. This project meets all conditions, including being consistent with the General Plan and Zoning Designation, occurs within City limits, has no value as habitat since it is already paved, will not result in any significant effects, and can be adequately served by all required utilities.

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

Lead Agency Contact Person: Wes Ervin

Telephone: (530) 538-2408

Signature: _____

Date: _____

- Signed by Lead Agency
- Signed by Applicant



City of Oroville

Leonardo DePaola
Community Development Director

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PLANNING COMMISSION STAFF REPORT

Wednesday, December 18, 2019

RE: Designation of two Planning Commissioners to Development Review Committee

SUMMARY: According to Oroville Municipal Code 17.52, the Development Review Committee (DRC) should meet monthly to review all discretionary permits, and also certain ministerial permit applications for new construction. Now that there is a development pipeline, the Committee should be officially re-formed and two Planning Commissioners named to sit on it.

RECOMMENDATION: Staff recommends the following actions:

1. Name two commissioners to sit on the Development Review Committee for the next three months, with one to chair the committee.
2. Create a rotation list so that DRC membership can rotate every three months per OMC 17.56.040 A

APPLICANTS: Staff initiated

LOCATION: City-wide

GENERAL PLAN: NA
ZONING: NA
FLOOD ZONE: NA

ENVIRONMENTAL DETERMINATION: Exempt

REPORT PREPARED BY:

REVIEWED BY:

Wes Ervin, Senior Planner
Community Development Department

Leonardo DePaola, Director
Community Development Director

DISCUSSION

For the last few years development/permit activity has been slow, and the Planning Commission has been the de facto Development Review Committee. However, now that the economy is stronger and there are more applications being processed, it makes sense to re-establish the official Development Review Committee.

A typical DRC meeting involves inter-departmental meetings with applicants to review plans and designs for new commercial, industrial and multi-family projects.

There may not yet be enough projects to trigger monthly DRC meetings, but the process will be in place. At this time staff proposes Tuesday DRC meetings so that the Community Development Director/Zoning Administrator can attend.

FISCAL IMPACT

None.

ATTACHMENTS

- 1. Oroville Municipal Code Chapter 17.52

Chapter 17.52 DEVELOPMENT REVIEW

17.52.010 Purpose.

The purpose of a development review is to permit the city's development review committee (DRC) to meet and discuss, evaluate, and review all discretionary development applications (i.e., general plan amendment/rezoning, tentative subdivision maps, tentative parcel maps, conditional use permits, variances, etc.).

In addition, the DRC will review the designs of structures and other site improvement projects for multi-family dwelling units, commercial or industrial uses, and any new construction, or a remodel project of 25% or greater, of a single-family dwelling unit within the historic area or downtown historical (DH-O) overlay district, in order to ensure compliance with the Oroville Municipal Code and compatibility and harmony of appearance in the city's neighborhoods and zoning districts. (Ord. 1749 § 4; Ord. 1787 § 1)

17.52.020 Review required.

A. Development Subject to Review.

1. Development review shall be required for all new construction that requires a building permit, except:
 - a. A project that includes a single-family dwelling unit including private garages and other normally incidental accessory buildings and improvements.
 - b. Alteration, remodeling, reconstruction, modification or repair of any building that does not increase its gross floor area by more than 25% within any 2-year period.
 - c. The demolition of a building that the building official or fire marshal determines is dangerous to the health and safety of the building occupants, neighbors or general public, and consequently should be demolished immediately. The building official or fire marshal shall set forth in writing the reasons for his or her determination.
 - d. General maintenance and the removal and replacement of over-the-counter appliances (i.e., water heaters, HVAC units, swamp coolers, solar panels, etc.). This does not relieve the applicant from any requirement to obtain any required building permit.
 - e. Simple building permits (i.e., electrical, mechanical, plumbing, and re-roof) where no new construction (or remodel expansion of 25% or greater) is part of the project.
2. Notwithstanding any other provision of this section, development review shall be required for any new construction in a downtown historic overlay (DH-O) district that requires a building permit to alter a structure's exterior appearance.
3. An exemption is provided for in-kind replacement of a dangerous building provided the project meets any of the following requirements:
 - a. Upon request from the applicant, the requirements of this section shall apply to any building that the building official or fire marshal determines is dangerous to the health and safety of the building occupants. The applicant must provide an application and evidence that a structure on their property be demolished and replaced with an in-kind structure. The building official or fire marshal shall inspect the structure and set forth in writing the reasons for his or her determination that immediate demolition is warranted;
 - b. The applicant replaces the structure on the same footprint with materials and features that preserve the integrity of the historical characteristic of the existing structure on the property; and
 - c. The proposed structure does not exceed 1,000 square feet.

4. Development review shall be required for certain site improvements, including but not limited to parking and landscaping improvements, as specified in this chapter. Item 2.

5. Development review shall be required for certain types of accessory buildings as specified in Section 17.12.090.

For any project that requires development review, building permits shall not be issued until the project's development review application has been approved. Building plans submitted to the building division for review while simultaneously undergoing the development review process with the planning division are subject to change. The applicant acknowledges that the plans submitted to the building division are subject to changes recommended by the development review committee, planning commission and the zoning administrator.

B. Planned Development Design. A pre-application meeting shall be required for all planned development applications. For any residential planned development project, the design of attached or detached single-family dwelling units or other accessory structures may be evaluated on the basis of representative examples, provided that the design of all such structures conform substantially to the examples. All attached or detached single-family dwellings, or other accessory buildings reviewed by the development review committee shall be compatible with the proposed planned development standards approved for the project. The proposed planned development shall be compatible with the character of the surrounding neighborhood or any applicable overlay district and shall not unnecessarily impact the privacy, views or desirability of adjoining properties.

C. Individual Development Project Design. The DRC shall review any development project application for multifamily dwelling units, commercial or industrial uses, any new construction, or a remodel project of 25% or greater, of a single-family dwelling unit within the HPA or DH-O, and any associated accessory structure(s). For remodeling projects and/or accessory structure(s), the applicant shall meet the materials and architecture style of the existing dwellings on the property. The proposed structure(s) shall be compatible with the character of the surrounding neighborhood or any applicable overlay district and shall not unnecessarily impact the privacy, views or desirability of adjoining properties.

D. Notice Requirements. The development review of all discretionary development applications shall hold a minimum of one public hearing on an application, notice of which shall be mailed or delivered to the owners of all property within 300 feet of the exterior boundary of the property that is subject to the hearing. (Ord. 1749 § 4; Ord. 1770 §§ 3, 4; Ord. 1774 §§ 1, 2; Ord. 1787 § 1)

17.52.030 Application.

A. Materials Required. Application for development review shall be made in a form prescribed by the zoning administrator and shall be accompanied by a fee established by resolution of the city council. At a minimum, the application shall include the following as applicable:

1. Site plans;
2. Architectural drawings showing proposed building elevations;
3. Landscape plans showing the types, sizes and location of vegetation to be planted and the irrigation system to be installed;
4. Plans for the configuration and layout of all off-street parking spaces;
5. Plans for all lighting to be installed on the site, including the location, type, height and brightness of each lighting fixture;
6. Drawings of all signs that are proposed in association with the project;
7. Any appropriate studies required for the project (i.e., traffic, noise, sewer capacity, historical review, etc.); and
8. Project description, an explanation of what is being proposed, including a description of the intended use for commercial and industrial projects, hours of operations, number of employees, and a description of daily operations, services offered, products manufactured and sold.

B. Plans and Drawings. All plans and drawings shall be drawn to scale to the extent feasible and shall indicate the full dimensions, contours and other topographic features and information necessary to make a full evaluation of the project. (Ord. 1749 § 4; Ord. 1787 § 1)

17.52.040 Review of applications.

- A. **Review Authority.** The DRC shall review all discretionary development applications and the designs of structures and other site improvement projects for multi-family dwelling units, commercial or industrial uses, and any new construction, or a remodel project of 25% or greater, of a single-family dwelling unit within the HPA or DH-O shall be determined as follows:
1. If the proposed project requires discretionary approval or permit that is subject to review by the planning commission, the planning commission shall hold a minimum of at least one public hearing on the development application.
 2. If the proposed project includes improvements that cover less than 1,000 square feet of a site, and does not involve the construction, remodeling or other alteration of a building, the zoning administrator shall hold a zoning administrator hearing on the development application.
 3. For any industrial use project within the Oroville Enterprise Zone, the zoning administrator shall be the review authority, and the application shall be reviewed as provided in Section 17.52.060.
- B. **Guidance from Third Parties.** The review authority may obtain guidance from third parties, including architects, urban planners and city commissions or staff, as to whether the application conforms to the requirements of this title. These third parties shall be qualified by reason of their relevant training or experience. Any guidance they provide shall be submitted in writing and included in the report on the application.
- C. **Standards for Review.** All applications shall be reviewed in light of the requirements of the general plan and any applicable specific plan, as well as the requirements of this Code and any design guidelines adopted by the city council.

The DRC will meet at least once per month at a set time, or as necessary. Generally, the DRC will meet on the fourth Wednesday of each month starting at 9:00 a.m. and conclude once all the items on the agenda have been addressed.

- D. **Review Process.** Development project applicant may participate in up to at least 3 DRC meetings. The number of DRC meeting will depend upon the size and scope of the project. The DRC review process:
1. The initial meeting is to review development project or site improvement application for completeness and for any additional DRC meetings;
 2. The second meeting would be to review the draft conditions of approval for the project prior to a public hearing before the planning commission;
 3. For large complicated projects, a “pre-construction” meeting with the applicant and/or contractor after project approval;
 4. An additional meeting may be required to discuss any serious issues and to request additional information between the initial meeting and second meetings, only if necessary; and
 5. All pre-application meetings will be conducted by the DRC. (Ord. 1749 § 4; Ord. 1787 § 1)

17.52.050 Action on applications.

- A. **Notice of Decision.** Upon submission of an application for development review, the DRC shall review the application and render a written report recommending approval, approval with conditions, or denial. A copy of the report shall be sent to the applicant.
- B. **Appeals.** The recommendation of the review authority shall be final, unless that action is appealed as provided in Section 17.56.100.
- C. **Expiration.** The approval of the application shall expire 2 years after the written report is rendered, unless within that time the applicant obtains all necessary building permits and pays all required fees associated with the permits. The review authority may extend the initial approval for an additional one-year period upon receipt, prior to expiration of approval, of a written application for extension, signed by the applicant and accompanied by a fee established by resolution of the city council. (Ord. 1749 § 4; Ord. 1762 § 14; Ord. 1787 § 1)

17.52.060 Industrial use projects within the Oroville Enterprise Zone.

Item 2.

- A. **Applicability.** The following streamlined review process shall apply to development review of any use project within the state-approved Oroville Enterprise Zone.
- B. **Review Process.** The zoning administrator shall review the plans for the proposed industrial use project with the appropriate city departments, affected outside agencies and the project applicant to discuss any changes or conditions deemed necessary for approval. Following this review process, the zoning administrator shall hold a zoning administrator hearing on the development application.
- C. **Approval of Application.** If the project applicant agrees to the proposed changes or conditions, the project shall be deemed approved subject to the incorporation of the proposed changes or conditions. For projects where certification of an environmental review document is required, this approval shall not be final until the certification has occurred.
- D. **Denial of Application.** If the project applicant does not agree to the proposed changes or conditions, the application shall be denied. The project applicant may appeal as provided in Section 17.56.100. (Ord. 1749 § 4; Ord. 1762 § 15; Ord. 1787 § 1)

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