

APOPKA CITY COUNCIL AGENDA
September 21, 2016 7:00 PM
APOPKA CITY HALL COUNCIL CHAMBERS
Agendas are subject to amendment through
5:00pm on the day prior to City Council Meetings

CALL TO ORDER
INVOCATION - Dr. Jimmy Siberio of Oasis De Esperanza Church
PLEDGE

APPROVAL OF MINUTES:

1. City Council meeting September 7, 2016

PUBLIC COMMENT; STAFF RECOGNITION AND ACKNOWLEDGEMENT

Presentations:

1. Special presentation by Helen Miller of Senator Bill Nelson's office.
Kilsheimer

Mayor

Public Comment Period:

The Public Comment Period is for City-related issues that may or may not be on today's Agenda. If you are here for a matter that requires a public hearing, please wait for that item to come up on the agenda. If you wish to address the Council, you must fill out an Intent to Speak form and provide it to the City Clerk prior to the start of the meeting. If you wish to speak during the Public Comment Period, please fill out a green-colored Intent-to-Speak form. If you wish to speak on a matter that requires a public hearing, please fill out a white-colored Intent-to-Speak form. Speaker forms may be completed up to 48 hours in advance of the Council meeting. Each speaker will have four minutes to give remarks, regardless of the number of items addressed. Please refer to Resolution No. 2016-16 for further information regarding our Public Participation Policy & Procedures for addressing the City Council.

CONSENT (Action Item)

1. Authorize the disposal of surplus equipment/property.
2. Authorize road closures for the Apopka High School Homecoming Parade.
3. Authorize a donation from the Law Enforcement Trust Fund to Apopka High School.
4. Approval of an Engineering Firm to prepare Legal Descriptions and Parcel Sketches on Ocoee Apopka Rd. & Harmon Rd.
5. Approve the City Hall roof replacement proposal submitted by Garland/DBS Inc.

BUSINESS (Action Item)

1. Preliminary Development Plan – Northwest Distribution Center – Building “D” David Moon
2. Master Plan/Preliminary Development Plan – Emerson North Townhomes – Pulte Group David Moon
3. Approval of an LED streetlight design.

PUBLIC HEARINGS/ORDINANCES/RESOLUTION (Action Item)

1. Ordinance No. 2513 – Second Reading – Annexation - Legislative Rogers Beckett
2. Ordinance No. 2514 – Second Reading – Annexation - Legislative Rogers Beckett
3. Ordinance No. 2515 – Second Reading – Annexation - Legislative Rogers Beckett
4. Ordinance No. 2516 – Second Reading – Annexation - Legislative Rogers Beckett
5. Ordinance No. 2517 – Second Reading – Annexation - Legislative Rogers Beckett
6. Ordinance No. 2503 – Second Reading – Land Development Code – Ex-Parte Contact – Legislative Mark Reggentin
7. Ordinance No. 2504 – Second Reading – Land Development Code – Building Heights – Legislative Mark Reggentin
8. Ordinance No. 2509 – Second Reading - Code of Ordinances, Chapter 62 “Peddlers and Solicitors” - Legislative Mark Reggentin
9. Ordinance No. 2510 – Second Reading – Code of Ordinances, Chapter 74 “Business Tax Receipts” - Legislative Mark Reggentin

10. Ordinance No. 2511 – Second Reading - Code of Ordinances, Chapter 86 “Vehicles for Hire.”
- Legislative

Mark Reggentin

11. Ordinance No. 2518 – First Reading – PUD Master Plan/Preliminary Development Plan – Quasi-Judicial

David Moon

MAYOR’S REPORT

1. Ratify Mr. James Hitt as Community Development Director.

NOT REQUIRING ACTION

ADJOURNMENT

MEETINGS AND UPCOMING EVENTS

DATE	TIME	EVENT
September 26, 2016	10:00am – 11:00am	Lake Apopka Natural Gas District Board Meeting: Winter Garden
September 28, 2016	5:05pm – 6:00pm	Council Budget Hearing
October 5, 2016	1:30pm –	Council Meeting
October 6, 2016	5:30pm – 9:00pm	Food Truck Round Up
October 7, 2016	7:00pm – 9:00pm	Movie in the Park [TBD] – Northwest Recreation Complex
October 11, 2016	5:30pm – 6:00pm	Planning Commission Meeting
October 19, 2016	7:00pm –	Council Meeting
October 24, 2016	10:00am – 11:00am	Lake Apopka Natural Gas District Board Meeting: Winter Garden
October 29, 2016	5:00pm – 9:00pm	Halloween in the Park – Kit Land Nelson Park

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.

CITY OF APOPKA

Minutes of the regular City Council meeting held on September 7, 2016, at 1:30 p.m., in the City of Apopka Council Chambers.

PRESENT: Mayor Joe Kilsheimer
Commissioner Billie Dean
Commissioner Diane Velazquez
Commissioner Doug Bankson
Commissioner Kyle Becker
City Attorney Cliff Shepard
City Administrator Glenn Irby

PRESS PRESENT: John Peery - The Apopka Chief
Bethany Rodgers, Orlando Sentinel
Reggie Connell, The Apopka Voice

INVOCATION: Mayor Kilsheimer introduced Pastor Kevin Craig of Apopka Assembly of God, who gave the invocation.

PLEDGE OF ALLEGIANCE: Mayor Kilsheimer said this past Friday marked Apopka's 134th anniversary. Citizens voted September 2, 1882, to incorporate as a municipality and city limits were chartered one mile in each direction from the Orange Lodge, a historic site now located on U.S. Highway 441 in downtown Apopka. The borders included twenty-six voting citizens. He gave some references to that year to include: Chester Arthur served as the twenty-first President of the United States. Thomas Edison's electric company lit up a square mile of lower Manhattan and served electricity to 200 customers. The outlaw Jesse James was killed that year in St. Joseph, Missouri. The New York, Chicago, and St. Louis railroads ran the first trains from Buffalo, New York to Chicago. He asked everyone to reflect upon the events that transpired in the founding of our great city as he led in the Pledge of Allegiance.

APPROVAL OF MINUTES:

1. City Council workshop July 19, 2016.
2. City Council workshop July 20, 2016
3. City Council meeting August 17, 2016.

MOTION by Commissioner Bankson, and seconded by Commissioner Dean, to approve the July 19, 2016 workshop, July 20, 2016 workshop, and August 17, 2016 City Council minutes. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Bankson and Becker voting aye.

PUBLIC/STAFF RECOGNITION AND ACKNOWLEDGEMENT

Employee Recognition:

Five Year Service Award – Samarie Koller – Police/Communications - Samarie began working for the City on August 1, 2011, as a Communication Technician, which is her current position. Samarie was not present and her award will be presented at another time.

Five Year Service Award – Angela Rozier – Police/Communications - Angela began working for the City on August 1, 2011, as a Communication Technician, which is her current position. Angela was not present and her award will be presented at another time.

Ten Year Service Award – Dina Cedillo – Police/Support Services - Dina began working for the City on August 14, 2006, as a Records Clerk. On December 24, 2012, she was promoted to Records Supervisor, which is her current position. The Commissioners joined Mayor Kilsheimer in congratulating Dina on her years of service.

Ten Year Service Award – Dennis Carter, Sr – Public Services/Streets - Dennis began working for the City on August 28, 2006, as the Operations & Maintenance Manager, which is his current position. Dennis was not present and his award will be presented at another time.

Fifteen Year Service Award – Charles “Darin” Whitehead – Public Services/Water Plant - Darin began working for the City on August 20, 2001, as a Water Plant Operator Trainee. On April 1, 2002, Darin was promoted to Water Plant Operator C. Then, on September 25, 2009, he was reclassified to Water Plant Operator B and June 5, 2011, he was reclassified to Water Plant Operator A, which is his current position. The Commissioners joined Mayor Kilsheimer in congratulating Darin for his years of service.

Twenty Year Service Award – Gregory “Greg” Conant – Recreation/Grounds – Athletic Complex - Greg began working for the City on August 19, 1996, as a Meter Reader. On February 17, 2010, he was reclassified to Maintenance Worker II, which is his current position. Greg was not present and his award will be presented at another time.

Public Comment Period:

Ray Shackelford said as a supporter of programs and services for our young people, he applauded the establishment of a Youth Council. He said he looked forward to all of us learning from your young people. He stated that concerning the Budget, he supports the millage rate remaining the same due to proposed cost savings in the budget that he stated he will present at the budget hearings. He said it would be nice for the City Council to have a resolution stating the reserves will not be used to balance the budget in the coming year. He stated we all value public safety that makes up 63% of the budget, but stated public safety must not be used to raise taxes. He said we need to value programs and services for families, young people, senior citizens, and veterans. He stated the City of Apopka has a poverty rate of approximately 17% as well as seniors and veterans on fixed income. He asked this be taken into consideration when considering to raise taxes.

CONSENT (Action Item)

1. Approve the ranking of firms and authorize the negotiation of a contract for the Land Development Code update.
2. Authorize a Door-to-Door Solicitation permit for Andrus Albi, E.H. Engelmeier Roofing & Sheet Metal Co., Inc.

MOTION by Commissioner Becker, and seconded by Commissioner Velazquez, to approve the two items on the Consent Agenda. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Bankson and Becker voting aye.

BUSINESS

1. Approve the first amendment to the Marden Road Interchange Cost Sharing Agreement.

Glenn Irby, City Administrator, stated the City entered into a cost share agreement last year with MMI Development to build a half interchange between State Road 414 and Marden Road. He advised the cost share agreement states that if there are any dedications of right-of-way involved in this project, the City will take into account the value of the land dedicated for the right-of-way to count toward the bottom line of cost in the project. He stated this can be done by taking their face value for what the property is worth, or share the cost for an appraisal. This report takes into account of taking them at face value of \$225,000 for the land. He said the Expressway Authority is asking the City to remove this land, by description, from the cost share agreement. The Authority is tax exempt, therefore, they are not affected either way. It is suggested this be allowed to be removed from the cost share agreement. He reiterated the two items here are to mutually agree the dedicated land to the Authority is worth \$225,000 and it will be added to the bottom line, not to increase the overall amount in limit of the entire project, which is \$5.85 million and mutually agree to otherwise remove the land from the conditions of the original cost share.

City Attorney Shepard advised there is a number that will be spent to build this interchange that includes dedication of right-of-way. It was assumed that number will exceed \$6 million and the City's cap is \$5.85 million. That will not change. This one piece of right-of-way is being removed from the agreement and it should not make a difference as it is not taxable to the Expressway Authority as a government agency.

MOTION by Commissioner Becker, and seconded by Commissioner Velazquez, to approve the first amendment to the Marden Road Interchange Cost Share Agreement as presented. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

2. Preliminary Development Plan – Binion Reserve Subdivision

Mayor Kilsheimer advised this was a quasi-judicial hearing. Witnesses and affected parties were sworn in by the Clerk.

Commissioner Becker disclosed ex-parte communication regarding the development.

David Moon, Planning Manager, said this request was for a 44 single family lot subdivision with an R-1A zoning district located on the west side of Binion Road and east of State Road 429. He advised the site is approximately 21.4 acres and reviewed the location on a map and reviewed lot sizes, advising there will be a ten-foot wide buffer along the west side of the property and a ten-foot wide buffer tract with a six-foot high wall along Binion Road, except

adjacent to the open space. He advised the Planning Commission met on July 12, 2016, and recommended approval with some relief that the applicant had requested from the code on the buffering and since then, the applicant has made amendments so that the buffers and wall are consistent with the Land Development Code. DRC finds this consistent with the Land Development Code and recommends approval.

Commissioner Dean recommended the landscaping plan utilize ligustrum rather than viburnum shrubs. He also suggested they take into consideration the root system when planting trees so not to uproot the sidewalks.

In response to Commissioner Bankson regarding widening of Binion Road, Mr. Moon advised Binion Road is a county road from West Orange Avenue to where it intersects with Ocoee Apopka Road. He stated issues with sidewalks will be determined by Orange County as it is their right-of-way. However, within this project, the applicant has reserved a ten-foot easement along their property so the City can put in a multi-use trail in the future if they so desire.

Randy June was present to answer any questions and said they would be back before Council with final construction plans.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Becker, and seconded by Commissioner Dean, to approve the Binion Reserve Subdivision, Preliminary Development Plan. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

3. Redevelopment Plan/Final Development Plan (Major Site Plan) – Piedmont Plaza.

Mayor Kilsheimer advised this was a quasi-judicial hearing. Witnesses and affected parties were sworn in by the Clerk.

David Moon, Planning Manager, provided a brief lead-in for the Redevelopment Plan and Final Development Plan for Piedmont Plaza. He advised the Planning Commission added three conditions to this application at their meeting on June 28, 2016, to involve coordination with Agree Apopka FL, LLC, owner of the Hobby Lobby property and this coordination has occurred, therefore, this condition no longer applies. A condition for redesign of the northernmost entrance on Piedmont Wekiva Road. The transportation planner for the applicant has addressed these concerns and this condition has been resolved. He advised the building height currently is limited to 35-feet and the applicant is requesting 65-feet to address a potential health club that requires additional height. The applicant has started demolition work at the site on the west side of the property. The proposal is to construct 17,500 square feet of building retail space next to the Hobby Lobby building, as well as a new 8,000 square foot building on the west side of the property. There will be additional retail space added to the building where the health club is proposed. The Planning Commission recommends approval with the three waivers of building height, parking at 985 spaces in lieu of 1,227

parking spaces based upon a parking study provided by the applicant and reviewed by city staff. Agree Apopka FL, LLC does not object to the setbacks and they share common areas and parking. DRC recommends approval with the three hardship waivers, subject to condition as presented.

Don Stiller, Woolbright Development, in response to Commissioner Dean stated they have had an opportunity to review the updated plans and also turned in revised landscaping plan with a 35% increase in landscaping in order to make the center attractive. He advised they will also be resurfacing the Hobby Lobby parking lot as part of the arrangement.

Julie Kendig, Greenberg Traurig, reviewed some exhibits of what is being proposed. She stated they are essentially maintaining the same level of service for parking, if not improved, stating the parking in the rear will be accessible with the improvements. She advised that they have met the conditions by the Planning Commission from their June meeting. She advised with the improvement, the actual number of parking spaces is 973, but they are still above the ITU recommended ratio for parking. She reviewed the existing plaza and went over changes that are being proposed. She reviewed example renderings of elevations and façade. She stated they are looking forward to revitalizing this area and making something economically productive there.

Mr. Stiller reviewed the proposed timetable, stating they are looking to start demolition in September and starting the site work. He pointed out the new parking area stating they will be digging everything out in those areas the entrance and lighting will be improved and they will continue the look in the renderings throughout the entire center. They are hoping to have permits and contracts by early November with a goal to finish the project by next August.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Bankson, and seconded by Commissioner Velazquez to approve the Redevelopment Plan/Final Development Plan for Piedmont Plaza with the three hardship waivers as presented. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

PUBLIC HEARINGS/ORDINANCES/RESOLUTION (Action Item)

- 1. Ordinance No. 2513 – First Reading – Annexation –** The City Clerk read the title as follows:

ORDINANCE NO. 2513

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY CENTRAL FLORIDA EXPRESSWAY AUTHORITY

LOCATED WEST OF PLYMOUTH SORRENTO ROAD AND SOUTH OF YOTHERS ROAD; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mark Reggentin, Community Development Director, discussed and reviewed the overall method regarding annexations. He stated over the years there was a very aggressive annexation policy that led to significant conflict with Orange County which ultimately resulted in a Joint Planning Agreement (JPA) with Orange County. He said one of the cornerstones of the planning agreement is that Orange County would like the enclaves that were created to be filled in. The current policy is to evaluate the annexations based upon statutory requirements, has to be contiguous, and you cannot create enclaves. He reviewed the future land-use map for the City of Apopka and pointed out the areas in white were unincorporated Orange County. Annexation over the years has created enclaves throughout the city that Orange County has to serve. He said there were several challenges they were dealing with based upon the historical growth pattern of the city. He pointed out that the JPA states the property being annexed in the City will retain its county land-use and zoning until such time the applicant requests city land-use and zoning. He pointed out that Mr. Wilkes is currently working on ZIP (zoning in progress) from past annexations He said he would like to begin to develop an annexation policy and develop a comprehensive policy on working with Orange County.

It was the consensus of City Council for staff to develop and present a policy on annexation.

Rogers Beckett, Senior Project Coordinator, said Ordinance No. 2513 is a request to annex 0.30 acres owned by Central Florida Expressway Authority. He advised Orange County was notified with accordance of the JPA and the ordinance was properly advertised. DRC recommends approval at First Reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Dean and seconded by Commissioner Velazquez to approve Ordinance No. 2513 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

2. **Ordinance No. 2514 – First Reading – Annexation** – The City Clerk read the title as follows:

ORDINANCE NO. 2514

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY CHARLES L. KOHL AND KATHY E. KOHL LOCATED AT 1030 EAST SANDPIPER STREET; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN

EFFECTIVE DATE.

Mr. Beckett said this is a request for annexation for property owned by Charles L. and Kathy E. Kohl, 1030 East Sandpiper Street, with 1.79 acres. He advised Orange County was notified with accordance of the JPA and the ordinance was properly advertised. DRC recommends approval at First Reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Bankson and seconded by Commissioner Dean to approve Ordinance No. 2514 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

3. **Ordinance No. 2515 – First Reading – Annexation** – The City Clerk read the title as follows:

ORDINANCE NO. 2515

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY BRYAN NELSON AND DEBBIE NELSON LOCATED AT 1157 OAKPOINT CIRCLE; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mr. Beckett said this is a request from Bryan Nelson and Debbie Nelson to annex 1157 Oakpoint Circle, 1.27 acres. He advised Orange County has been notified with accordance of the JPA. He further stated the Public Services Department has noted that they do seek possible hardship in regards to providing sanitation services to that site, because they would like to see it incorporate the entire subdivision. The ordinance has been properly advertised. DRC recommends approval of First Reading.

Commissioner Velazquez inquired if these next annexations created another enclave.

Mr. Beckett advised these were three contiguous properties that abut to Sandpiper to the north. He stated two were in one subdivision and the third parcel was in another subdivision.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Bankson and seconded by Commissioner Dean to approve Ordinance No. 2515 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez,

Becker, and Bankson voting aye.

4. **Ordinance No. 2516 – First Reading – Annexation** – The City Clerk read the title as follows:

ORDINANCE NO. 2516

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY WILLIAM D. COOK AND ROBYN D. COOK TRUST LOCATED AT 1163 OAKPOINT CIRCLE; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mr. Beckett said this is a request from William D. Cook and Robyn D. Cook Trust for annexation of 1163 Oakpoint Circle, 1.27 acres. Orange County has been notified according to the JPA. He advised the Public Services Department has noted a possible hardship in regards to providing sanitation services to the site. The ordinance has been properly advertised and DRC recommends approval at First Reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Bankson and seconded by Commissioner Dean to approve Ordinance No. 2516 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

5. **Ordinance No. 2517 – First Reading – Annexation** – The City Clerk read the title as follows:

ORDINANCE NO. 2517

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY VERDUZCO INVESTMENT, INC., LOCATED AT 1175 OAKPOINT CIRCLE; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mr. Beckett said this is a request from Verduzco Investment, Inc. for annexation of 1175 Oakpoint Circle, 1.14 acres. Orange County has been notified according to the JPA. He advised the Public Services Department has noted a possible hardship in regards to providing sanitation services to the site. The ordinance has been properly advertised and DRC recommends approval at First Reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Bankson and seconded by Commissioner Dean to approve Ordinance No. 2517 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

6. **Ordinance No. 2503 – First Reading – Land Development Code – Ex Parte Contact –**
The City Clerk read the title as follows:

ORDINANCE NO. 2503

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE APOPKA CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE, ARTICLE I, TO ADOPT PROVISIONS TO PROVIDE ACCESS TO PUBLIC OFFICIALS OF THE CITY OF APOPKA REGARDING QUASI-JUDICIAL MATTERS BY REMOVING PROHIBITIONS ON EX-PARTE COMMUNICATIONS; ESTABLISHING PROCEDURES TO DISCLOSE EX-PARTE COMMUNICATIONS PURSUANT TO SECTION 286.0115, FLORIDA STATUTES; CREATING PROCEDURES FOR THE DISCLOSURE OF EX-PARTE COMMUNICATIONS, INVESTIGATIONS, SITE VISITS, AND EXPERT OPINIONS TO REMOVE THE PRESUMPTION OF PREJUDICE ARISING THEREFROM; AND PROVIDING FOR CODIFICATIONS, SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

Mark Reggentin, Community Development Director, said this ordinance is to allow the Mayor, Commissioners, and other Boards to have contact with the public on quasi-judicial matters. He stated the Florida statute is specific on what has to happen when disclosing ex parte communications. However, upon review of the Land Development Code it was discovered a strict prohibition of ex parte communication. This ordinance brings the Land Development Code consistent with the statute and procedures required.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Bankson and seconded by Commissioner Becker to approve Ordinance No. 2503 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

7. **Ordinance No. 2504 – First Reading – Land Development Code – Building Heights –** The City Clerk read the title as follows:

ORDINANCE NO. 2504

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE APOPKA CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE TO ALLOW BUILDING HEIGHTS IN EXCESS OF 35 FEET WHEN EXPRESSLY PERMITTED BY SPECIAL EXCEPTION OR PLANNED UNIT DEVELOPMENT, PROVIDING FOR EXCEPTIONS AND PROVIDING CRITERIA; PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mr. Reggentin said this ordinance amends the Land Development Code with regards to the 35-foot height limitation. He stated as fire codes and building codes have been improved, buildings are much safer now and it is not a necessity to have this building height restriction. More importantly, some developments were lost due to this requirement and the necessity for them to go through the PUD process in order to have an exception and this led to a lost opportunity from an economic development standpoint. This ordinance proposes a special exception for height as long as certain criteria is met. He advised both Planning Commission and the DRC recommend approval.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Velazquez and seconded by Commissioner Becker to approve Ordinance No. 2504 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

8. **Ordinance No. 2509 – First Reading – Code of Ordinances, “Peddlers and Solicitors” –**
The City Clerk read the title as follows:

ORDINANCE NO. 2509

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE CODE OF ORDINANCES, CHAPTER 62, PEDDLERS AND SOLICITORS; EMPOWERING THE CITY ADMINISTRATOR OR HIS OR HER DESIGNEE TO ADMINISTER PROVISIONS REGARDING PERMITTING OF PEDDLERS AND SOLICITORS; AND PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

Mr. Reggentin said this was based upon concerns from staff and City Council, stating these are currently required to go through Development Review Committee and then to Council for approval. He advised DRC thoroughly reviews these and make sure they are cleared and licensed. This is providing for this process to be handled administratively with all of the requirements remaining the same.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Becker and seconded by Commissioner Bankson to approve Ordinance No. 2509 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

9. **Ordinance No. 2510 – First Reading – Code of Ordinances, “Business Tax Receipts” –**
The City Clerk read the title as follows:

ORDINANCE NO. 2510

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING CHAPTER 74, ARTICLE IV, SECTION 74-104 OF THE CITY OF APOPKA CODE OF ORDINANCES PERTAINING TO “VEHICLES FOR HIRE” BY REMOVING LANGUAGE INDICATING THAT CITY COUNCIL APPROVAL IS REQUIRED FOR DRIVERS; AND PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mr. Reggentin said this again is providing for an administrative process doing away with the need to bring it before Council.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Dean and seconded by Commissioner Velazquez to approve Ordinance No. 2510 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

10. **Ordinance No. 2511 – First Reading – Code of Ordinances, “Vehicles for Hire” –** The City Clerk read the title as follows:

ORDINANCE NO. 2511

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, VACATING AND DELETING THE PROVISIONS OF CHAPTER 86 OF THE CITY CODE OF ORDINANCES AS CURRENTLY WRITTEN, ADOPTING NEW PROVISIONS IN SAID CHAPTER AMENDING THE PERMITTING AND REGULATIONS OF TAXICABS AND CREATING REGULATIONS FOR TRANSPORTATION SERVICES AND TRANSPORTATION NETWORK APPLICATION COMPANIES AND OPERATORS; AND PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

Mr. Reggentin said in reviewing this and removing the public hearing process, it was found that the vehicle for hire section of the code to be quite antiquated. This ordinance provides for all varieties of alternate transportation, breaking it down into three levels, taxicabs, limousine services, and technology driven services.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Becker and seconded by Commissioner Bankson to approve Ordinance No. 2511 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

CITY COUNCIL REPORTS

1. Youth Council Proposal

Commissioner Becker said during his campaign he worked to try and figure out more programs for our youth and a means to trust their voice. Researching this further he came across the Florida League of Cities packet and he also sat in on the Youth Council program at the recent Florida League of Cities Conference. He said the Proposed Purpose is: *To engage a diverse population of youth in Apopka's civic process to promote tomorrow's leaders through service learning and community involvement.* He went on to review the proposal stating it is proposed for eligible students from grades 9, 10, and 11. He suggested this be eligible to both public and private Apopka schools and home schools. He said the program would be for one year following the school calendar. He stated there would be a committee to review applications and determine acceptance into the program. He pointed out the youth council would be an advisory only component for the youth to benefit from government involvement. He inquired if there was interest or the will of the Council to provide a resource name they feel would be appropriate to be part of an exploratory or organizational committee. He requested a staff person be involved for a liaison.

Commissioner Bankson suggested it may be a good advantage to include grade 12.

Commissioner Dean commended Commissioner Becker for heading up a Youth Council and suggested it could give students incentive to do better in life.

Glenn Irby, City Administrator, cautioned labeling this group as an advisory board to the council, it would be subject to Sunshine Laws and would limit their ability to have discussions one on one and as a group.

Mayor Kilsheimer said establishing a youth council recommends the City approve a resolution establishing a youth council. He asked Mr. Irby to develop a committee of staff and one or two from the community to discuss how to establish a youth council and work on a resolution.

MAYOR'S REPORT

1. Request concerning Junior Bowling Olympian.
Mayor Kilsheimer advised the City received a letter from an Apopka resident concerning Petey Vergos being an outstanding bowler and rated number 2 Junior Bowler in the USA.

Mr. Irby said this individual is going to be in the 2017 Summer Olympics and they are asking for a sign to be erected at an entryway to the City, requesting signage of recognition for all sports. He affirmed the City has many remarkable athletes and he was not sure how to do this without leaving someone out.

City Attorney Shepard advised if the City offers a sign to a party, such as this athletic sign being requested, there are many groups within the city that may also request signage. He cautioned about this idea, stating this was the same issue as the invocation rotation recently addressed.

NOT REQUIRING ACTION

1. Apopka Youth Works Program Stats
2. Thank you letter from Wheatley Elementary for the supplies received from the Apopka School Supply Drive.

ADJOURNMENT – There being no further business the meeting adjourned at 3:20 p.m.

Joseph E. Kilsheimer, Mayor

ATTEST;

Linda F. Goff, City Clerk



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 21, 2016
 FROM: Administration
 EXHIBITS: Surplus Forms

SUBJECT: SURPLUS PROPERTY

REQUEST: AUTHORIZE THE DISPOSAL OF SURPLUS EQUIPMENT/PROPERTY AND REMOVAL OF ASSET PROPERTY FROM THE CITY ASSET LIST.

SUMMARY:

Staff requests City Council approval to dispose of surplus capital equipment/property which has no useful benefit to the daily operation of the city. This request is per Administrative Policy 122.1.1.II: "The disposal of capital asset property which is obsolete, or for which the continued use would be uneconomical or inefficient, shall be in accordance with Florida Statue 274 and must be approved by the City Council". The asset property includes the disposal of items by auction, donation, or elimination. The attached forms identify said vehicles, printers, and equipment which are no longer functional or have usefulness to the city.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Authorize the disposal of said equipment/property.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



Asset Management Surplus Form

Administrative Policy 122.1.1: Capital Assets of \$1,000 or more

Complete the form below if city owned equipment is sold, transferred, or disposed of. This form, once signed by the City Administrator and approved by City Council, grants approval to dispose of equipment and serves to update the fixed asset inventory database. Departments should obtain, and keep on file, a copy of this written approval authorizing the disposal of equipment.

Department/Division: Public Services Name: Elizabeth Hyatt Title: Administrative Assistant to the Director

ITEM	ASSET TAG or SERIAL #	Condition Reason	Disposed Missing	Scrapped	Auctioned Sold	Donated	Description of Disposal [where items were placed]
2000 Ford wind-Star van Unit 390718	2FTZA544XYBC46823	Poor			x		George Gideon Auctioneers, Inc
1997 Crosley Trailer, Unit. 34-0498	CTLCR8245VS008527	Poor			x		George Gideon Auctioneers, Inc
1996 Ford Crown Vic, Unit 10-0425	2FALP71W3SX160291	Poor			x		George Gideon Auctioneers, Inc
1968 Hydro Test Machine Unit 330512	H0817981H	Poor			x		George Gideon Auctioneers, Inc
2004 Ford F-350, Unit 13-0966	1FDWF36PX4EB96564	Poor			x		George Gideon Auctioneers, Inc
2007 Chevy Impala, Unit 11-1199	2G1WS55RX79228119	Poor			x		George Gideon Auctioneers, Inc
2001 Ambulance Body, Unit 41	41	Poor			x		George Gideon Auctioneers, Inc
1992 Ford F-350, Unit 19-0313	1FDKF37M7NNA47419	Poor			x		George Gideon Auctioneers, Inc
HP DesignJet 500 - 42", single roll	Model # C7770B	Fair			x		A1 Asstes

Department Director Approval: _____

Date: 9/13/16

City Administrator Approval: _____

17

Date: _____



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 21, 2016
 FROM: Recreation
 EXHIBITS: Map/Details

SUBJECT: ROAD CLOSURES FOR APOPKA HIGH SCHOOL PARADE

REQUEST: APPROVAL OF THE ROAD CLOSURES FOR THE APOPKA HOMECOMING PARADE ON OCTOBER 7, 2016.

SUMMARY:

The homecoming parade will form on North Central Avenue facing north from 12:30pm-1:10PM. Parade will roll to Apopka High School Stadium at 1:10pm and will arrive completely by 1:40pm.

FUNDING SOURCE:

N/A

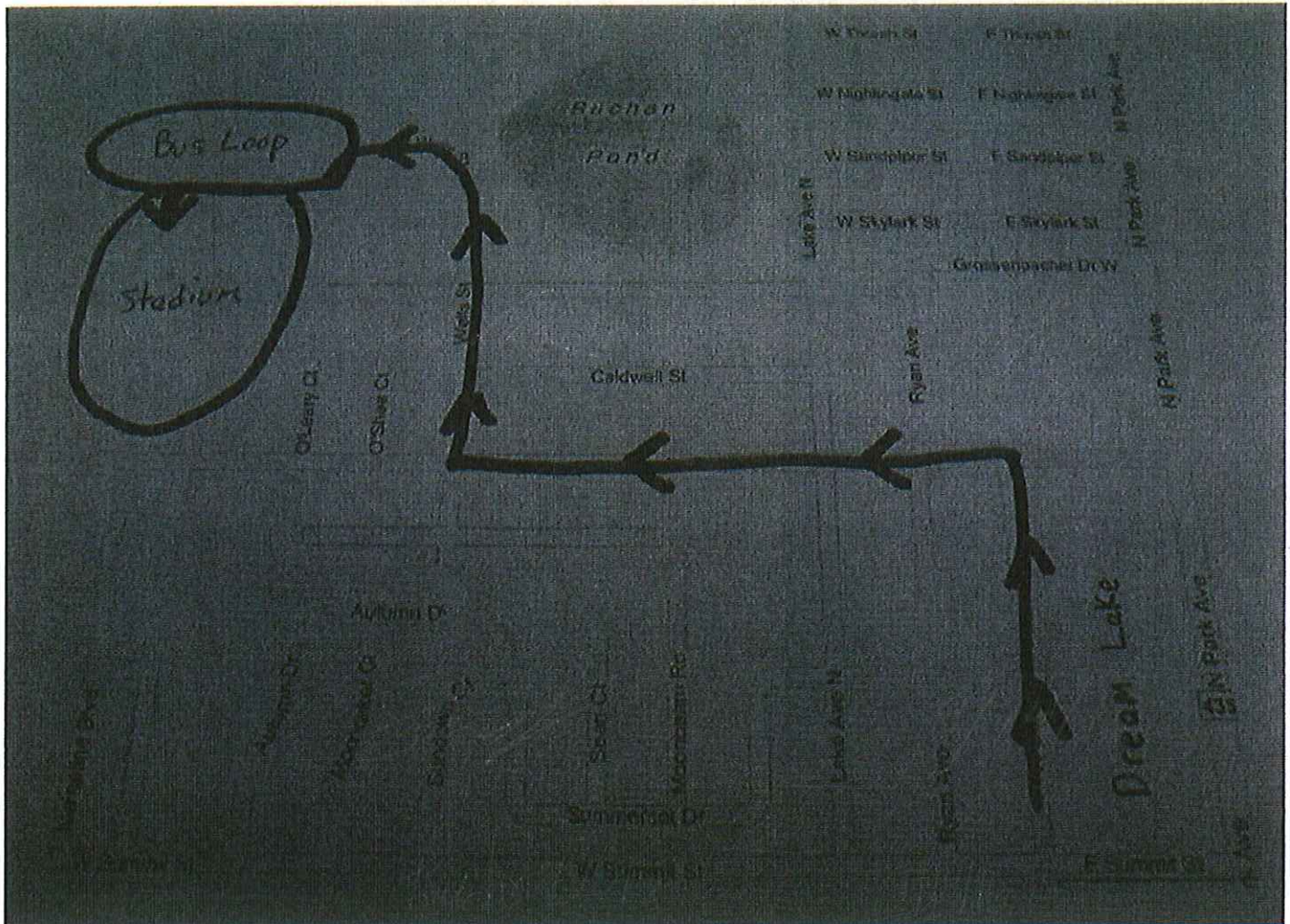
RECOMMENDATION ACTION:

Approve the request of road closures for the 2016 Apopka High School Homecoming Parade.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

Apopka High School Homecoming Parade 2016



Parade details for Friday, October 7th

- 1.) Parade will form in two lines along North Central Ave facing Martin Street (North) Next to what used to be Dream Lake Elementary
- 2.) Parade will leave North Central Avenue and turn left onto Martin Street (1st line on the right hand side will lead & 2nd line on left will follow)
- 3.) Parade will progress west down Martin Street until it reaches Wells Street. The parade will then turn right and follow Wells Street into the old AHS bus loop (staying far right around the loop/closest to the old 9th grade center)
- 4.) The parade will enter the stadium through the gate entrance from the bus loop

Timeline

12:30 to 1:10 - PARADE FORMATION (Those in the parade head to Dream Lake)

1:15 - PARADE ROLLS

1:35 - ENTIRE PARADE ARRIVAL AT A STADIUM



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 21, 2016
 FROM: Police Department
 EXHIBITS: Request Memo

SUBJECT: \$1,500.00 EXPENDITURE FROM LAW ENFORCEMENT TRUST FUNDS

REQUEST: AUTHORIZE A \$ 1,500.00 DONATION TO APOPKA HIGH SCHOOL

SUMMARY:

The Apopka Police Department requests City Council approval to expend funds from the Law Enforcement Trust Fund in the amount of \$ 1,500.00 to be donated to Apopka High School (Orange County Public Schools) to promote and support the Academic Consortium of Scholars. This program provides incentives for student academic success. Law Enforcement Trust Funds may be used to support community-based programs. In accordance with trust fund rules, a local law enforcement agency may use a percentage of the total of shared monies received for the costs associated with drug abuse treatment, drug and crime prevention education, or other nonprofit community-based programs or activities that are formally approved by the chief law enforcement officer. The Apopka Police Department supports initiatives that promote youth activities which are consistent with a healthy, anti-drug lifestyle. These expenditures are supportive of and consistent with the Department’s support of local school activities.

FUNDING SOURCE:

Law Enforcement Trust Fund.

RECOMMENDATION ACTION:

Authorize the Finance Department to disburse \$ 1,500.00 from the Law Enforcement Trust Fund.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



City of Apopka
Police Department
112 E. 6th Street Apopka, Florida 32703

Memorandum

Date: September 21, 2016
To: Honorable Joseph E. Kilsheimer and Commissioners
RE: LAW ENFORCEMENT TRUST FUNDS

The Apopka Police Department requests City Council approval to expend funds from the Law Enforcement Trust Fund in the amount of \$ 1,500.00 to be donated to Apopka High School (Orange County Public Schools) to promote and support the Academic Consortium of Scholars. This program provides incentives for student academic success. Law Enforcement Trust Funds may be used to support community-based programs. In accordance with trust fund rules, a local law enforcement agency may use a percentage of the total of shared monies received for the costs associated with drug abuse treatment, drug and crime prevention education, or other nonprofit community-based programs or activities that are formally approved by the chief law enforcement officer. The Apopka Police Department supports initiatives that promote youth activities which are consistent with a healthy, anti-drug lifestyle. These expenditures are supportive of and consistent with the Department's support of local school activities.

Respectfully,

Michael McKinley
Chief of Police



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 21, 2016
 FROM: Administration
 EXHIBITS: Letter of Interest from Dewberry
 Specific Scope of Work
 Ariel Map of Right of Way to be Acquired

SUBJECT: THE NEED TO ENGAGE AN ENGINEERING FIRM TO PREPARE LEGAL DESCRIPTIONS AND PARCEL SKETCHES

REQUEST: DIRECT THE CITY ADMINISTRATOR TO CONTRACT WITH DEWBERRY ENGINEERS, INC. TO PREPARE CERTAIN LEGAL DESCRIPTIONS AND PARCEL SKETCHES

SUMMARY:

The City is desirous of constructing a roundabout [traffic circle] at the intersection of Ocoee Apopka Road and Harmon Road. Recently, staff found that the Central Florida Expressway Authority [CFX] owns certain rights of way [ROW] along both Ocoee Apopka and Harmon Roads. Said ROW was acquired by CFX from Orange County government for the purpose of constructing overpasses and retention ponds needed for the expressways. When city staff met with CFX staff about the possibility of the City of Apopka acquiring right of way necessary to construct a roundabout on Ocoee Apopka Road at Harmon Road, CFX staff indicated the City would have to acquire all rights of way within the Small Study Area; however, they would be willing to recommend to their board that the lands be donated. The CFX staff continued by stating the City of Apopka would have to provide current parcel sketches and legal descriptions for each ROW to be acquired.

Continued discussions between City staff and CFX staff have shed light on the fact that Dewberry Engineering, Inc. had assisted CFX with the same task when they acquired the ROWs from the county. Believing there might be cost savings by contracting with Dewberry to do the same for the city, staff contacted Kevin Knudsen, P.E., one of their engineers. Mr. Knudsen provided a letter of interest to perform the work along with a complete written scope of work and an aerial map depicting the specific areas he would be providing information on and CFX would be requiring the City to accept from them. All documentation provided follows this staff report. Total cost for services is \$11,800. Because Dewberry and specifically Kevin Knudsen are knowledgeable of these specific ROWs, staff believes choosing Dewberry to do the work qualifies under the City’s purchasing policy as an *Evaluated Source*.

Time is of the essence in being able to take control of the ROW needed to construct the roundabout. The hospital opening next year will cause increased traffic along Ocoee Apopka Road and having the roundabout construction complete prior to that date would be a positive thing. Although staff does not have plans for construction of a roundabout, acquiring the necessary ROW is the first step.

At this same intersection is another piece of property belonging to the hospital. It will be necessary for the city to acquire it as well. The hospital has indicated it will donate the parcel to the city. Staff will attempt to coordinate transfer of ownership of this parcel at the same time as ownership changes with the CFX parcels.

FUNDING SOURCE:

All expenses related to future roundabout construction on Ocoee Apopka Road at Harmon Road are considered impact fee related and are eligible to be paid using Transportation Impact Fee Funds.

RECOMMENDATION ACTION:

Direct the City Administrator to enter into an agreement with Dewberry Engineers, Inc. to provide services necessary to produce legal descriptions and parcel sketches of certain ROWs along Ocoee Apopka and Harmon Road for a cost not to exceed \$11,800 to be paid from Transportation Impact Fee Funds.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

September 9, 2016

File No. 50062304

Mr. Glenn A. Irby, MPA
City Administrator
City of Apopka
120 E. Main Street
Apopka, Florida 32704

Subject: **CR 437A and Harmon Road CFX Right-of-Way Transfers**

Dear Mr. Irby,

Dewberry, as requested, is pleased to submit the enclosed Scope of Services and fee proposal for the preparation of legal descriptions and parcel sketches required to transfer roadway rights-of-way from the Central Florida Expressway Authority (CFX) to the City of Apopka. We have met with CFX and their engineering consultant, Atkins, to review the project requirements and identify the subject parcels to be transferred. We will utilize the existing legal descriptions and parcel sketches from the original CFX purchase to the greatest extent possible. New legals and sketches will only be required where partial tracts are being transferred or right-of-way limits are being redefined.

I have attached a sketch prepared by Atkins that identifies the general right-of-way areas that will be transferred to the City. It is my understanding that CFX will enter into an agreement for the right-of-way transfer and that the legal descriptions and parcel sketches will be utilized as exhibits to define the right-of-way limits. Our fee for preparing the legals and sketches is a lump sum of \$11,800.

We appreciate the opportunity to provide these services to the City of Apopka. If you have any questions, or require additional information, please contact me at your convenience.

Sincerely,



Kevin E. Knudsen, P.E.
Vice President

KEK:cnp
[50062304](#)|SR 414/Marden Rd|Corr|6001
Enclosures

CITY OF APOPKA

SCOPE OF SERVICES

FOR

**CR 437A AND HARMON ROAD
CFX RIGHT OF WAY TRANSFERS**

September 6, 2016

1.0 SKETCH & LEGAL DESCRIPTIONS (RW TRANSFER PARCELS)

Dewberry will prepare sketch & legal descriptions for eight (8) right of way transfer parcels in accordance with the Standards of Practice set forth in Rule 5J17-052 of the Florida Administrative Code. Each sketch and legal will include computations to verify the existing parent parcel, computations for the new transfer parcel, review of the title report for each parcel (to be provided by City of Apopka) and preparation of the sketch and legal description. Each transfer legal will include a key map, surveyors sketch, metes and bounds legal description, area computation and notation of plottable encumbrances. In addition, a closure report will be prepared and accompany each parcel sketch. Deliverables to include five certified copies of each sketch and electronic files in PDF format.

ESTIMATE OF WORK EFFORT AND COST - PRIME CONSULTANT

Name of Project: CR 437A R/W Transfer
 County: Orange
 FPN: 0
 FAP No.: N/A

Consultant Name: Dewberry Engineers
 Consultant No.: enter consultants proj number
 Date: 9/8/2016
 Estimator: insert name

Staff Classification	Total Staff Hours From "SH Summary -	Project Manager	Staff Classification 2	Staff Classification 3	Staff Classification 4	Staff Classification 5	Staff Classification 6	SR PSM	PSM	Survey Tech	Staff Classification 10	Staff Classification 11	Staff Classification 12	SH By Activity	Salary Cost By Activity	Average Rate Per Task
		\$0 00	\$0 00	\$0 00	\$0 00	\$0 00	\$0 00	\$0 00	\$160 00	\$120 00	\$80 00	\$0 00	\$0 00	\$0 00		
3. Project General and Project Common Tasks	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
4. Roadway Analysis	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
5. Roadway Plans	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
6. Drainage Analysis	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
7. Utilities	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
8. Environmental Permits, Compliance & Clearances	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
9. Structures - Misc. Tasks, Dwgs, Non-Tech.	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
10. Structures - Bridge Development Report	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
11. Structures - Temporary Bridge	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
12. Structures - Short Span Concrete Bridge	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
13. Structures - Medium Span Concrete Bridge	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
14. Structures - Structural Steel Bridge	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
15. Structures - Segmental Concrete Bridge	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
16. Structures - Movable Span	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
17. Structures - Retaining Walls	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
18. Structures - Miscellaneous	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
19. Signing & Pavement Marking Analysis	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
20. Signing & Pavement Marking Plans	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
21. Signalization Analysis	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
22. Signalization Plans	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
23. Lighting Analysis	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
24. Lighting Plans	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
25. Landscape Architecture Analysis	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
26. Landscape Architecture Plans	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
27. Survey (Field & Office Support)	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
28. Photogrammetry	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
29. Mapping	109	0	0	0	0	0	0	22	33	54	0	0	0	109	\$11,800	\$108.26
30. Geotechnical	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
31. Architecture Development	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
32. Noise Barriers Impact Design Assessment	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
33. Intelligent Transportation Systems Analysis	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
34. Intelligent Transportation Systems Plans	0	0	0	0	0	0	0	0	0	0	0	0	0	0	\$0	#DIV/0!
Total Staff Hours	109	0	0	0	0	0	0	22	33	54	0	0	0	109		
Total Staff Cost		\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$3,520.00	\$3,960.00	\$4,320.00	\$0.00	\$0.00	\$0.00		\$11,800.00	\$108.26

Check = \$11,800.00

Survey Field Days by Subconsultant
 4 - Person Crew:

Notes:

- This sheet to be used by Prime Consultant to calculate the Grand Total fee.
- Manually enter fee from each subconsultant. Unused subconsultant rows may be hidden.

SALARY RELATED COSTS:			\$11,800.00
OVERHEAD:	0%		\$0.00
OPERATING MARGIN:	0%		\$0.00
FCCM (Facilities Capital Cost Money):	0.00%		\$0.00
EXPENSES:	0.00%		\$0.00
Survey (Field - If by Prime)	0	4-man crew days @ \$ / day	\$0.00
SUBTOTAL ESTIMATED FEE:			\$11,800.00
Subconsultant: Enter Name Sub 1			\$0.00
Subconsultant: Sub 2			\$0.00
Subconsultant: Sub 3			\$0.00
Subconsultant: Sub 4			\$0.00
Subconsultant: Sub 5			\$0.00
Subconsultant: Sub 6			\$0.00
Subconsultant: Sub 7			\$0.00
Subconsultant: Sub 8			\$0.00
Subconsultant: Sub 9			\$0.00
Subconsultant: Sub 10			\$0.00
Subconsultant: Sub 11			\$0.00
Subconsultant: Sub 12			\$0.00
SUBTOTAL ESTIMATED FEE:			\$11,800.00
Geotechnical Field and Lab Testing			\$0.00
SUBTOTAL ESTIMATED FEE:			\$11,800.00
Optional Services			\$0.00
GRAND TOTAL ESTIMATED FEE:			\$11,800.00

Project Activity 29: Mapping

Estimator: W. Donley

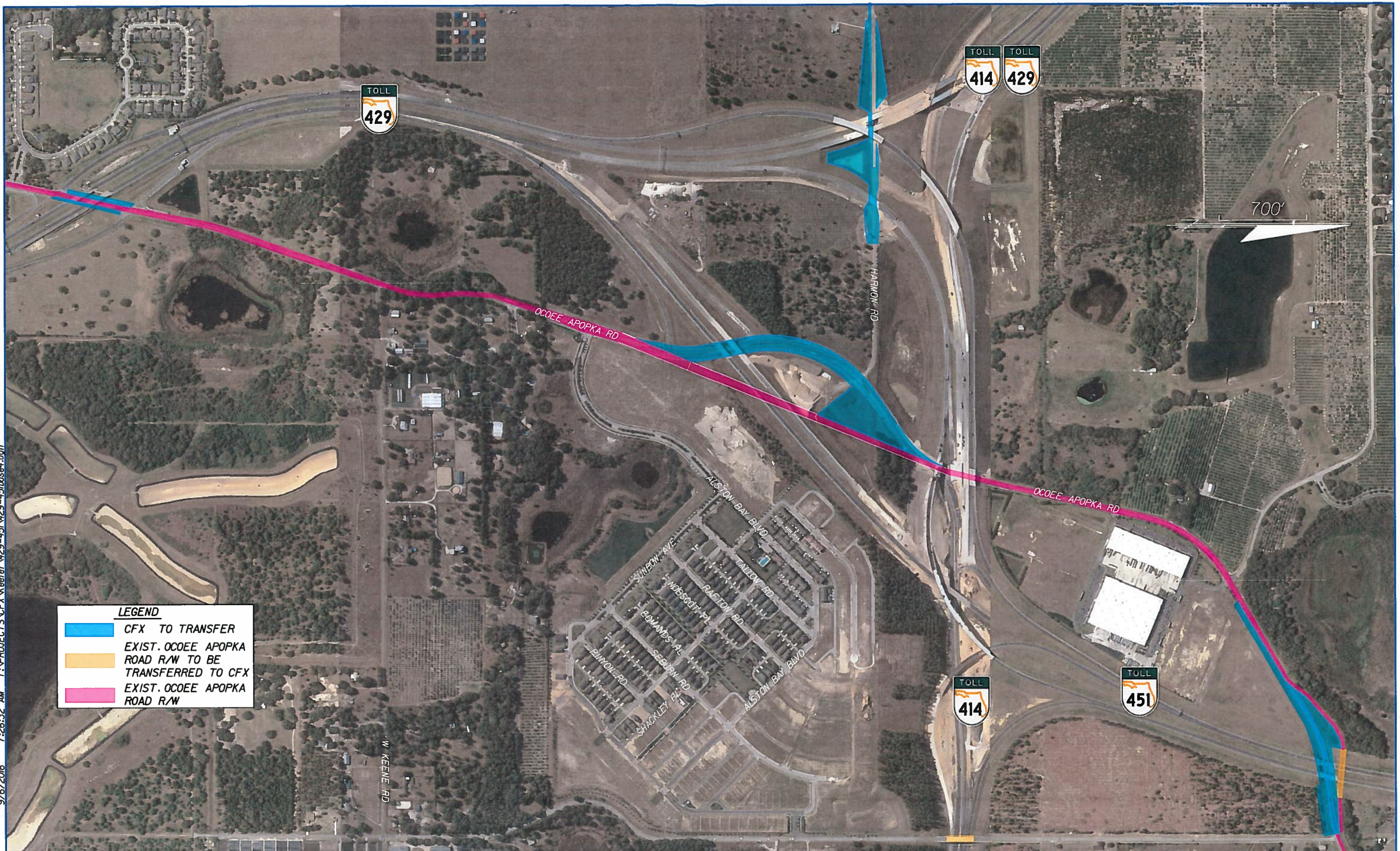
CR 437A R/W Transfer
0

Task No.	Task	Units	No. of Units	Hours/ Unit	No. of Sheets	Total Hours	Comments
Master CADD File							
29.1	Alignment	Mile	0	0		0	
29.2	Section and 1/4 Section Lines	Section	0	0		0	
29.3	Subdivisions / Property Lines	EA	0	0		0	
29.4	Existing R/W	Mile	0	0		0	
29.5	Topography	Mile	0	0		0	
29.6	Parent Tract Properties/Existing Easements	Parcel	8	1		8	Verify parent parcel & previous take computations
29.7	Proposed R/W Requirements	Parcel	8	1.5		12	Transfer parcel computations
29.8	Limits of Construction	Mile	0	0		0	
29.9	Jurisdictional/Agency Lines	Linear Mile	0	0		0	
Sheet Files							
29.10	Control Survey Cover Sheet	Sheet	0	0		0	
29.11	Control Survey Key Sheet	Sheet	0	0		0	
29.12	Control Survey Detail Sheet	Sheet	0	0		0	
29.13	R/W Map Cover Sheet	Sheet	0	0		0	
29.14	R/W Map Key Sheet	Sheet	0	0		0	
29.15	R/W Map Detail Sheet	Sheet	0	0		0	
29.16	Maintenance Map Cover Sheet	Sheet	0	0		0	
29.17	Maintenance Map Key Sheet	Sheet	0	0		0	
29.18	Maintenance Map Detail Sheet	Sheet	0	0		0	
29.19	Reference Point Sheet	Sheet	0	0		0	
29.20	Project Network Control Sheet	Sheet	0	0		0	
29.21	Table of Ownerships Sheet	Sheet	0	0		0	

Project Activity 29: Mapping

Task No.	Task	Units	No. of Units	Hours/ Unit	No. of Sheets	Total Hours	Comments
Miscellaneous							
29.22	Parcel Sketches	Parcel	8	4		32	
29.23	TIITF Sketches	Parcel	0	0		0	
29.24	Other Specific Purpose Survey Map	EA	0	0		0	
29.25	Boundary Survey(s) Map	EA	0	0		0	
29.26	R/W Monumentation Map	Mile	0	0		0	
29.27	Title Search Map	LS	0	0		0	
29.28	Title Search Report	LS	8	1.5		12	
29.29	Legal Descriptions	Parcel	8	4		32	
29.30	Final Maps/Plans Comparison	Sheet	0	0		0	
Mapping Technical Subtotal					0	96	
29.31	Field Reviews	LS	0	0		0	
29.32	Technical Meetings	LS	0	0		0	
29.33	Quality Assurance/Quality Control	EA	%	5%		5	
29.34	Supervision	EA	%	5%		5	
Mapping Nontechnical Subtotal						10	
29.35	Coordination	LS	%	3%		3	
29.36	Supplemental Mapping	LS	%	0%		0	
29. Mapping Total					0	109	

9/16/2016 7:26:32 AM T:\PROJECTS\CFX\Keeler\429-451\429-451base4.dgn USER: sch2087



LEGEND

█	CFX TO TRANSFER
█	EXIST. OCOEE APOPKA ROAD R/W TO BE TRANSFERRED TO CFX
█	EXIST. OCOEE APOPKA ROAD R/W

REVISIONS	
DATE	DESCRIPTION

ATKINS

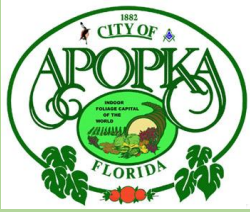
Engineer of Record: David R. McCoy, P.E.
482 South Keller Road Orlando, FL 32810
(407) 647-7275 www.atkinsglobal.com
Certificate of Authorization No. 24



OOCEA PROJ. NO. _____
RIGHT-OF-WAY _____

SR 429 AT 437A

SHEET NO. _____



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 21, 2016
 FROM: Public Services
 EXHIBITS: Proposal
 Addendum 1

SUBJECT: CITY HALL ROOF AND SKYLIGHT REPLACEMENT (ALL FLAT ROOF SECTIONS)

Request: COUNCIL REVIEW AND APPROVE THE ROOFING MATERIAL AND SERVICES PROPOSAL SUBMITTED BY GARLAND/DBS INC.

SUMMARY:

The Apopka City Hall achieved its current roof design in 1987. Since that time, roof and skylight leaks were corrected through a series of temporary repairs. Over the years, these temporary repairs, have created some problems of their own, by obstructing drains that have led to ponding, and reactions between incompatible repair products. The life of a flat roof in Florida ranges between 10 to 35 years, and skylights about 25years, putting ours at the end of their useful life span.

To replace the existing roof and skylights the City contacted Garland/DBS Inc., the awarded supplier of roofing material and services through the U.S. Communities Government Purchasing Alliance, of which the City is a registered participant.

The roof and skylight replacement by Garland/DBS Inc., will include the removal of all existing roofing material down to the decking and the replacement of a new roof and skylights. This is to be a turnkey project with Garland/DBS Inc., providing both material, labor and project management.

The cost is as follows:

- ❖ Roofing Material and Services cost is: \$193,969, with a 30-year NDL Warrantee.
 - ❖ Remove and install three new skylights with aluminum frame \$8,550
- Total cost:\$202,519

FUNDING SOURCE:

Facility Maintenance 001-1022-519.6200

RECOMMENDATION ACTION:

Council approve the Garland/DBS, Inc. Proposal

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



Garland/DBS, Inc.
3800 East 91st Street
Cleveland, OH 44105
Phone: (800) 762-8225
Fax: (216) 883-2055



ROOFING MATERIAL AND SERVICES PROPOSAL

City of Apopka
City Hall Roof Replacement
120 East Main Street
Apopka, FL 32703

Date Submitted: 08/16/2016

Proposal #: 25-FL-160645

MICPA # 14-5903

Florida General Contractor License #: CGC1517248

Please Note: The following estimate is being provided according to the pricing established under the Master Intergovernmental Cooperative Purchasing Agreement (MICPA) with Cobb County, GA and U.S. Communities. This estimate should be viewed as the maximum price an agency will be charged under the agreement. Garland/DBS, Inc. administered a competitive bid process for the project with the hopes of providing a lower market adjusted price whenever possible.

Scope of Work: Base Bid - Modified 2-Ply in Cold Process

- 1 Removal of existing roof and accessories down to wood deck (section A), metal deck (Sections B, C, D), and concrete deck (Sections E and F). Make repairs to wood and metal decks (provide separate line item cost).
- 2 Through ½” densdeck prime, mechanically attached flat and tapered polyisocyanurate insulation into wood deck (Section A), metal deck (Sections B, C, and D). Insulation will be attached by cold process insulation adhesive on sections E & F (concrete deck).
 - a) On wood deck, loose lay rosin paper over wood deck prior to Type II base sheet installation.
- 3 Install one ply of StressBase 80 in cold process Weatherking using a notched squeegee at 2.5 gal per 100 sq. ft.
- 4 Install one ply of StressPly Plus FR Mineral in cold process Weatherking using a notched squeegee at 2.5 gal. per 100 sq. ft.
- 5 For all parapet wall and curb flashings, the same two-ply sheets will be used with Flashing Bond adhesive at a rate of 4 – 6 gal. per 100 sq. ft. per ply.
- 6 The installation of new metal aluminum (.040) coping with (.050) cleat, termination bars, counter flashings, and accessories as needed.
- 7 Installation of through wall overflow scuppers (as identified at pre-bid) on Section A.
- 8 Installation of new internal roof drains and components as noted during pre-bid.

9 Allow finished roof system to cure for a minimum of 30 days before installing Garla-Brite aluminum coating on finished roof surface and all flashings. Two coats required.

Line Item Pricing

Item #	Item Description	Unit Price	Quantity	Unit	Extended Price
2.02	Tear-off & Dispose of Debris: SYSTEM TYPE BUR W/ Insulation and Gravel Surfacing - Wood / Tectum Deck	\$ 1.91	5,301	SF	\$ 10,125
2.01	Tear-off & Dispose of Debris: SYSTEM TYPE BUR W/ Insulation and Gravel Surfacing - Metal Deck	\$ 1.91	3,034	SF	\$ 5,795
2.04	Tear-off & Dispose of Debris: SYSTEM TYPE BUR W/ Insulation and Gravel Surfacing - Concrete Deck	\$ 1.91	504	SF	\$ 963
6.17.01	Roof Deck and Insulation Option: WOOD ROOF DECK - COLD PROCESS APPLICATION - INSULATION OPTION: - Mechanically Fasten Polyisocyanurate / Adhere High Density Asphalt Coated Wood Fiber with Insulation Adhesive to Provide an Average R-Value of 20 In Compliance FM 1-90 Requirements	\$ 3.29	5,301	SF	\$ 17,440
6.16.01	Roof Deck and Insulation Option: METAL ROOF DECK - COLD PROCESS APPLICATION - INSULATION OPTION: - Mechanically Fasten Polyisocyanurate / Adhere High Density Asphalt Coated Wood Fiber with Insulation Adhesive to Provide an Average R-Value of 20 In Compliance FM 1-90 Requirements	\$ 3.22	3,034	SF	\$ 9,769
6.20.01	Roof Deck and Insulation Option: CONCRETE ROOF DECK - COLD PROCESS APPLICATION - INSULATION OPTION: - Adhere Polyisocyanurate in Insulation Adhesive / Adhere High Density Asphalt Coated Wood Fiber with Insulation Adhesive to Provide an Average R-Value of 20 In Compliance FM 1-90 Requirements	\$ 4.16	504	SF	\$ 2,097
4.47	Insulation Recovery Board & Insulations Options: INSULATION SUBSTITUTION OPTION Substitute 1/2" Treated Gypsum Insulation Board with Glass-Mat (e.g. DensDeck / Securock / Equal) in Place of the Wood Fiber or Perlite - Adhered with Insulation Adhesive	\$ 0.63	8,839	SF	\$ 5,569

12.12.02	2-PLY ROOF SYSTEMS - COMBINATIONS OF A BASE PLY & A CAP SHEET (TOP PLY) PLEASE NOTE: BASE PLY & CAP SHEET COMBINATIONS MUST BE APPROVED BY THE MANUFACTURER: ROOF CONFIGURATION 1 Ply Modified Base Sheet Adhered in Cold Process Modified Asphalt: BASE PLY OPTION: - ASTM D 6163 SBS Fiberglass Reinforced Modified Bituminous Sheet Material Type III - 220 lbf/in tensile	\$ 3.83	8,839	SF	\$ 33,853
12.32.03	2-PLY ROOF SYSTEMS - COMBINATIONS OF A BASE PLY & A CAP SHEET (TOP PLY) PLEASE NOTE: BASE PLY & CAP SHEET COMBINATIONS MUST BE APPROVED BY THE MANUFACTURER: ROOF CONFIGURATION 1 Ply Mineral Surfaced Cap Sheet Adhered in Cold Process Modified Asphalt: ROOFING MEMBRANE OPTION: - ASTM D 6162 SBS Fiberglass/Polyester Reinforced Modified Bituminous Sheet Material Type III - Minimum of 310 lbf/in tensile	\$ 5.20	8,839	SF	\$ 45,963
20.11.03	NEW FLASHINGS FOR ROOFING SYSTEMS & RESTORATION OPTIONS: ROOF FLASHINGS FOR MODIFIED & COAL TAR PITCH ROOF SYSTEMS: Minimum 1 Ply of Base Flashing and Mineral Cap Sheet Installed in Hot ASTM D 312 Type III or IV Asphalt:FLASHING OPTION: - BASE PLY: SBS Modified Fiberglass Reinforced Base Flashing Ply w/ Tensile Strength of 215 lbf/in tensile (ASTM D 5147); TOP PLY: ASTM D 6162 SBS Fiberglass/Polyester Reinforced Modified Bituminous Sheet Material Type III - 310 lbf/in tensile	\$ 15.16	800	SF	\$ 12,128
20.999	NEW FLASHINGS FOR ROOFING SYSTEMS & RESTORATION OPTIONS: ROOF FLASHINGS FOR MODIFIED & COAL TAR PITCH ROOF SYSTEMS: Minimum 1 Ply of Base Flashing and Mineral Cap Sheet Installed in Hot ASTM D 312 Type III or IV Asphalt: - PER SQUARE FOOT COSTS - INSTALLING IN COLD PROCESS FLASHING ADHESIVE Substitute Hot Asphalt Application for Cold Process Flashing Adhesive Application of Flashings	\$ 6.49	800	SF	\$ 5,192
5.31	Coat New Roofing With Elastomeric Coating: ROOF SYSTEM TYPE Apply an Aluminum Coating per Specifications (1 Gallon per Square per Coat - 2 Coats Required) - Smooth or Mineral Surfaced Modified	\$ 1.54	8,839	SF	\$ 13,612
Sub-Total Prior to Multipliers:					\$ 162,506

22.45	JOB SITE SPECIFIC MULTIPLIERS APPLIED TO EACH LINE ITEM ON ASSOCIATE JOB: MULTIPLIER - ROOF SIZE IS GREATER THAN 5,000 SF, BUT LESS THAN 10,000 SF Multiplier Applied when Roof Size is Less than 10,000 SF, but Greater than 5,000 SF Fixed Costs: Equipment, Mobilization, Demobilization, Disposal, & Set-Up Labor are Not Completely Absorbed Across Roof Area	30%	%	\$ 48,752
	TOTAL:			\$ 211,257

Base Bid - City Hall Roof Replacement:

Total Maximum Price of Line Items under the MICPA: \$ 211,257

Proposal Price Based Upon Market Experience: \$ 193,969

Competitive Bid Results (Base Bid):

Springer-Peterson Roofing & Sheet Metal, Inc.	\$ 193,969
RMS Orlando, Inc.	\$ 249,196
Roof Control Services, Inc.	\$ 252,084

Bid Breakdown (Springer-Peterson Roofing & Sheet Metal, Inc.):

Labor & Non Garland Materials:	\$ 102,342
Garland Materials:	\$ 72,591
Freight:	\$ 2,150
Insurance:	\$ 2,175
Bonds:	\$ 1,968
<u>*General Conditions:</u>	<u>\$ 12,743</u>
TOTAL:	\$ 193,969

*General Conditions include: Engineering, Permits, Overhead and Profit

Unforeseen Site Conditions:

Lightweight Concrete Replacement	\$ 7.41	per Square Foot
Metal Deck Replacement	\$ 6.56	per Square Foot
Wood Deck Replacement	\$ 4.85	per Linear Foot

Scope of Work: Add Alternate

- 1 Install three new skylight lenses with aluminum frame.

Add Alternate:

Proposal Price Based Upon Market Experience: \$ 8,550

Potential issues that could arise during the construction phase of the project will be addressed via unit pricing for additional work beyond the scope of the specifications. This could range anywhere from wet insulation, to the replacement of deteriorated wood nailers. Proposal pricing valid through 12/31/2016.

If you have any questions regarding this proposal, please do not hesitate to call me at my number listed below.

Respectfully Submitted,

Matt Egan

Matt Egan
Garland/DBS, Inc.
(216) 430-3662



since 1895

THE GARLAND COMPANY, INC.

High Performance Building Envelope Solutions

3800 EAST 91ST. STREET • CLEVELAND, OHIO 44105-2197

PHONE: (216) 641-7500 • FAX: (216) 641-0633

NATIONWIDE: 1-800-321-9336

www.garlandco.com

Date: July 8th, 2016

Re: City of Apopka – City Hall Flat Roof Replacements

PROJECT SPECIFIC ADDENDUM I

- 1.0 Point of clarification. The following roof sections were confirmed to have the below system and roof decks. Please adjust scope of work and attachment methods accordingly.
 - 1.0.1 Roof Section A – Spray polyurethane foam (roof 1) over modified roof (roof 2) directly attached to a slope wood deck. Since slope is provided in the deck, no tapered insulation is required. However, a minimum R-Value of 20 shall be met. On all wood decks – Viking FR SLP slip-sheet shall be loose-laid on wood deck prior to insulation.
 - 1.0.2 Roof Sections B, C, - Built up roof over tapered lightweight concrete (5” +/-) with metal deck.
 - 1.0.2.1 All roof sections with lightweight concrete shall receive type II base sheet attached directly to lightweight concrete per fastener specification. Fastener pattern and type of fastener will be sent out in a 2nd addendum.
 - 1.0.3 Roof Section E & F – Built up roof over tapered lightweight (8” +/-) over concrete deck.
 - 1.0.4 Roof Section D – Modified roof over wood deck.
- 1.1 Cut out and install six (6) new overflow drains on roof Section “A”.
- 1.2 Fabricate and install six (6) new aluminum collector heads and downspouts on roof Section “A”. Color and profile to match existing unless otherwise indicated by building owner.
- 1.3 Install new aluminum retrofit drains with new aluminum strainers on roof sections “B” and “C” on all internal roof drains.
- 1.4 Remove two (2) existing static vents on Section “A” – replace with new square curbs and new vents.



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- 1.5 On Roof Sections “B” & “C” new concrete splashguards shall be installed on finished roofs under all gutter downspouts (shingle roof gutters). Splashguards shall sit on a modified membrane target.
- 1.6 On Roof Section “D” – replace metal edge and gutter on new roof only. Profile and color to match existing. No portion of the shingle roof gutter system is included.
- 1.7 On Roof Section “D” – tapered insulation is required to ensure positive drainage.
- 1.8 All electrical disconnects and reconnects shall be handled by the roofing contractor.
- 1.9 Existing sirens and stands located on Roof Section “A” shall be removed by roofing contractor and saved. Due to the poor existing condition of sirens, roofing contractor is not responsible for any damaged caused to the sirens by removal. It will be up to the building owner to reattach old sirens if necessary.
- 1.10 Roof Section “F” shall receive new aluminum coping
- 1.11 Contractor to provide separate line item costs for the following:
 - 1.11.1 Wood deck replacement
 - 1.11.2 Wood nailer replacement
 - 1.11.3 Lightweight concrete replacement
 - 1.11.4 Skylight lens (only) replacement on Section “C”
 - 1.11.5 Skylight system (all) replacement on Section “C”
 - 1.11.6 Lightning Protection
- 1.12 See 3rd page for updated required material list



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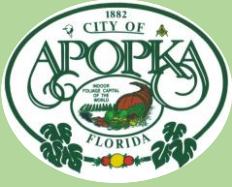
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MATERIALS – CITY OF APOPKA (CITY HALL – ALL ROOF SECTIONS)

Product Name	Usage	Unit/Size	Coverage	Quantity
Viking FR SLP Fire Retardant Slipsheet	Slip sheet used on wood deck only	Roll	400 sq. ft.	
HPR Glasbase	Type II base used over lightweight concrete only	Roll	300 sq. ft.	
StressBase 80	Base Ply - Flashing and Field	Roll	150 sq. ft.	
Stressply Plus FR Mineral	Top Ply - Flashing and Field	Roll	75 sq. ft.	
Garla-Prime	Asphalt primer	5G pail	1gal per 100 sq. ft.	
Garla-Flex	Mastic (flashing laps)	5G pail	See data sheet	
Garla-Brite	Aluminum Coating	5G pail	½ - ¾ gal. per 100 sq. ft. (2 coats)	
Weatherking	Cold process membrane adhesive (field)	5G pail	2.5 gal per 100 sq. ft.	
Flashing Bond	Cold process membrane adhesive (flashings)	5G pail	4-6 gal per 100 sq. ft.	
Tuff-Stuff	Urethane sealant	10oz tube	See Data sheet	

Respectfully Submitted,

Craig D. O'Hara
 The Garland Company, Inc.
 c: 813.777.1745
 e: cohara@garlandind.com



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Preliminary Development Plan

MEETING OF: September 21, 2016
 FROM: Community Development
 EXHIBITS: Vicinity/Aerial Maps
 Site/Landscape Plans
 Building Elevations
 Alternative Parking Plan

SUBJECT: PRELIMINARY DEVELOPMENT PLAN – NORTHWEST DISTRIBUTION CENTER BUILDING “D”

REQUEST: APPROVE THE PRELIMINARY DEVELOPMENT PLAN FOR NORTHWEST DISTRIBUTION CENTER BUILDING “D”; AND ISSUE THE PRELIMINARY DEVELOPMENT ORDER

SUMMARY:

OWNER: Oakmont Apopka Road, LLC

APPLICANT: Oakmont Industrial Group c/o Jimmy Stainback

ENGINEER: Highland Engineering, Inc. c/o Jeffery W. Banker, PE

ARCHITECT: GMA Architects

LOCATION: Ocoee Apopka Road
(Between S.R. 451 and Ocoee-Apopka Road and east of Boy Scout Road)

PARCEL ID #: 17-21-28-5953-03-000 and 17-21-28-5953-04-000

LAND USE: Industrial

ZONING: I-1

EXISTING USE: Vacant Land

PROPOSED USE: Industrial Warehouse (167,270 S.F.) w/ Office Complex (13,730 S.F.)

TRACT SIZE: 16.43 +/- acres

OVERALL SITE: 45.09 +/- acres

BUILDING SIZE: 180,000 sq. ft.

FUNDING SOURCE:

N/A

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police 39

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Industrial	I-1	Northwest Distribution Center Bldgs. A and B
East (City)	Expressway	N/A	State Road 451
South (City)	Expressway	N/A	State Road 414
West (City)	Mixed Use	A-1(ZIP)	Vacant Property
West (County)	Rural	A-1	

ADDITIONAL COMMENTS: The Northwest Distribution Facility Building D - Preliminary Development Plan proposes an 180,000 square feet industrial warehouse and office space.

PARKING: A total of 187 parking spaces are provided (330 required by code) of which 6 are reserved as a handicapped parking space. The applicant has requested to defer and waive 143 of the parking space requirement for the site. In accordance with 6.03.02.D, the applicant has provided a deferred parking plan providing a total of 333 parking space for the site. A parking study has been prepared by the applicant to demonstrate that the requested number of parking spaces meets the demand by to accommodate vehicles for employees and customers.

ACCESS: Access to the site is provided by a two (2) driveway cuts along Ocoee-Apopka Road.

EXTERIOR ELEVATIONS: The height of the proposed building is 40’ (top of parapet wall). The City approved a variance on October 10, 2006 for the overall building height for this project not to exceed 50’. The proposed height 40’ is well below the maximum that could be built. Staff has found the proposed building elevations to be in accordance with the City’s Development Design Guidelines.

STORMWATER: Stormwater run-off and drainage will be accommodated by a master stormwater drainage system. The master stormwater management system is designed according to standards set forth in the Land Development Code.

BUFFER/TREE PROGRAM: A twenty-five foot landscape buffer is provided along Ocoee-Apopka Road and State Road 451. The applicant has provided a detailed landscape and irrigation plan for the property. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069.

Total inches on-site:	3719
Total number of specimen trees:	0
Total inches removed	2308
Total inches retained:	1411
Total inches replaced:	528
Total inches post development:	1939
Site Clearing Acres	8.7

PUBLIC HEARING SCHEDULE:

September 13, 2015 - Planning Commission (5:30 pm)
 September 21, 2015 - City Council (7:00 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Northwest Distribution Facility Building D – Revised Final Development Plan, subject to the findings of this staff report.

The **Planning Commission**, at its meeting on September 13, 2016, unanimously recommended approval of the Northwest Distribution Facility Building D – Preliminary Development Plan, subject to the findings of this staff report.

Approve the Northwest Distribution Facility Building D – Preliminary Development Plan; and issue the Preliminary Development Order.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: Preliminary Development Plan
Owner: Oakmont Apopka Road Property, LLC
Applicant: Oakmont Industrial Group c/o Jimmy Stainback
Engineer: Highland Engineering, Inc. c/o Jeffery W. Banker, PE
Parcel I.D. No: 17-21-28-5953-03-000; 17-21-28-5953-04-000
Location: Ocoee-Apopka Road
Acres: 16.43 +/-

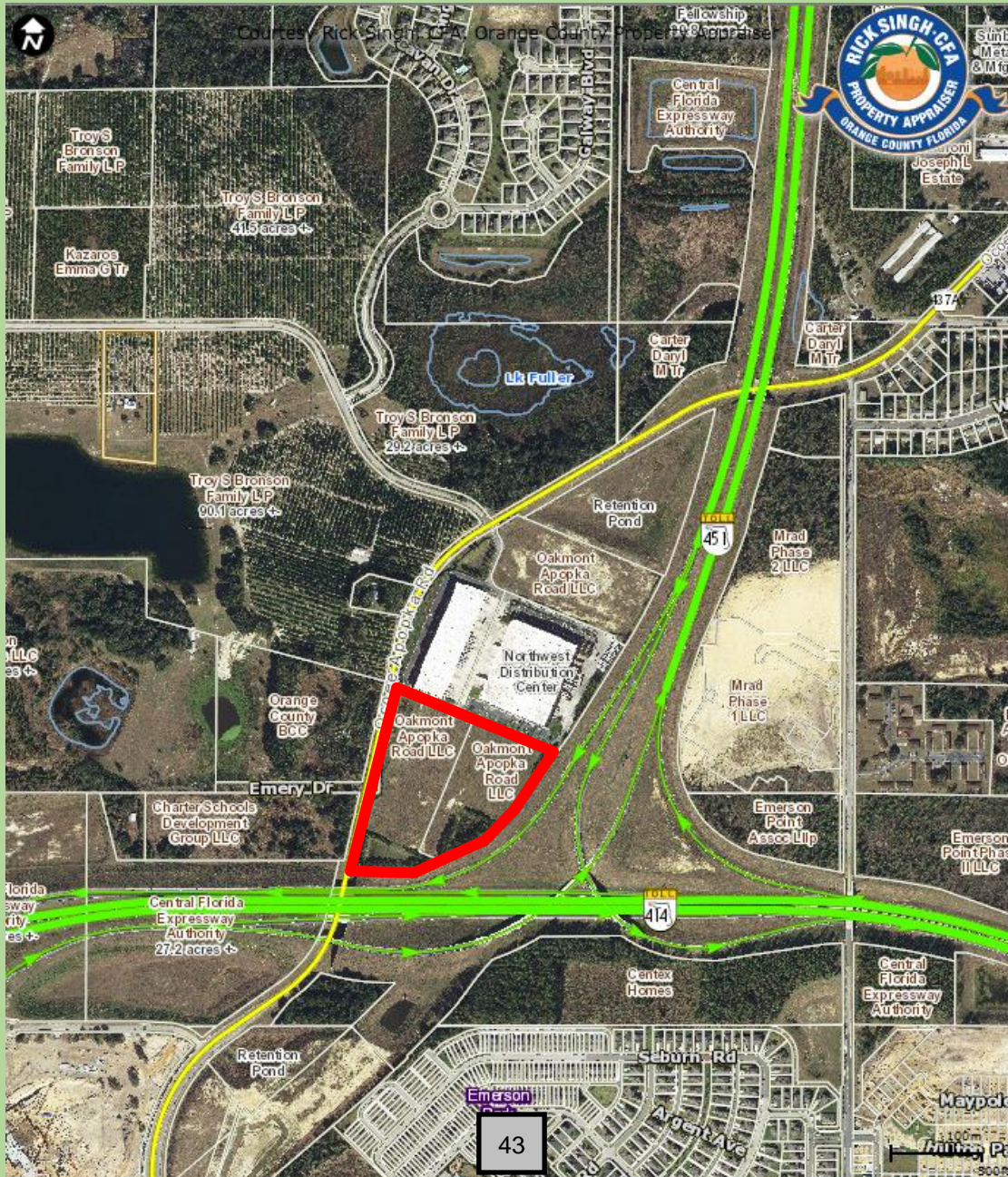


VICINITY MAP



Application: Preliminary Development Plan
Owner: Oakmont Apopka Road Property, LLC
Applicant: Oakmont Industrial Group c/o Jimmy Stainback
Engineer: Highland Engineering, Inc. c/o Jeffery W. Banker, PE
Parcel I.D. No: 17-21-28-5953-03-000; 17-21-28-5953-04-000
Location: Ocoee-Apopka Road
Acres: 16.43 +/-

AERIAL MAP



(MAJOR) PRELIMINARY SITE DEVELOPMENT PLAN FOR NORTHWEST DISTRIBUTION FACILITY - BUILDING D

Site Data Summary and Notes

- Parcel Identification No.: 17-21-28-5953-03-000, 17-21-28-5953-04-000
- Total Property Area: 45.09 Acres (1,964,120 SF)
- Project Area This Phase: 11.61 Acres (505,732 SF)
- Zoning: I-1 Restricted Industrial
- Future Land Use: Industrial
- Proposed Uses: Office/Warehouse Distribution:

BUILDING #	EMPLOYEES PROJECTED	OFFICE (SF)	WAREHOUSE (SF)	TOTAL (SF)
D	***	13,730	167,270	180,000

NOTE: The proposed building will be construction type IIB and will be protected with an automatic fire suppression system.

*** Upon initial operations: Total number of projected employees = 110
Maximum number of employees for largest shift = 75

Upon 2 years of occupancy: Total number of project employees = 160
Maximum number of employees for largest shift = 90

- Project Phasing: The project will be constructed in 1 phase.
- Floor Area Ratio (FAR): 0.60 Max, 0.10 provided this phase plus previous phases.
- Site and Building Requirements: City of Apopka's Land Development Code and Development Design Guidelines
- Maximum Building Height:
 - Maximum: 50 Feet, A variance was approved by the City Land Development Review Board on October 10, 2006.
 - Proposed: 40 Feet
- Maximum Impervious Coverage: Impervious coverage shall not exceed 80 percent of the total net developable land area.
 - Maximum Allowable: 0.80 x 45.09 Acres = 36.07 Acres (80%)
 - Impervious From Previous Phases: = 22.80 Acres (51%)
 - Impervious This Phase:

Buildings	=	4.13 Acres
Pavement	=	5.95 Acres
SubTotal	=	10.08 Acres (22%)

a. Maximum Allowable:	0.80 x 45.09 Acres	=	36.07 Acres (80%)
b. Impervious From Previous Phases:		=	22.80 Acres (51%)
c. Impervious This Phase:	Buildings	=	4.13 Acres
	Pavement	=	5.95 Acres
	SubTotal	=	10.08 Acres (22%)
	Total Impervious	=	32.88 Acres (73%)

12. Parking Space Requirements:

BUILDING #	REQUIRED PARKING	PROVIDED PARKING	REQ. HANDICAPPED PARKING	PROVIDED HANDICAP PARKING	TOTAL SPACES PROVIDED
D	330	175	6	12	187

- All loading and unloading of vehicles will be performed within the limits of the truck courts.
- Building Setbacks:

Front Yard, Ocoee Apopka Road (CR 437A):	25 feet from Right of Way
Rear Yard, Western Beltway (SR 429):	25 feet
Side Yard:	10 feet
- Buffer Yards:

Front Yard, Ocoee Apopka Road (CR 437A):	25 feet from Right of Way
Rear Yard, Western Beltway (SR 429):	25 feet from Right of Way
Side Yard:	10 feet
- Allowable Vehicular Trips: A Traffic Study in accordance with Section 6.02.04 of the City of Apopka Land Development Code has been submitted in conjunction with the prior approved master development plan and was approved by the City of Apopka.
- Stormwater Management: A master stormwater management facility has been provided onsite to accommodate water quality treatment and attenuation of peak discharge flows prior to discharge according to City of Apopka and Saint Johns River Water Management District criteria.
- Erosion control will be addressed by the installation of a perimeter silt fence around the project limits.
- There are no 100 year flood prone areas located on the subject property.
- Water Service Provider: Apopka Utilities
- Sewer Service Provider: Apopka Utilities
- Reclaimed Water Provider: Apopka Utilities
- Building and site signage shall comply with the City of Apopka's Land Development Code and Development Design Guidelines
- Site lighting shall comply with City of Apopka's Land Development Code and Development Design Guidelines.
- Buildings shall comply with the City of Apopka's Land Development Code and Development Design Guidelines.
- Variance or Waivers Required:

PREPARED FOR OAKMONT INDUSTRIAL GROUP

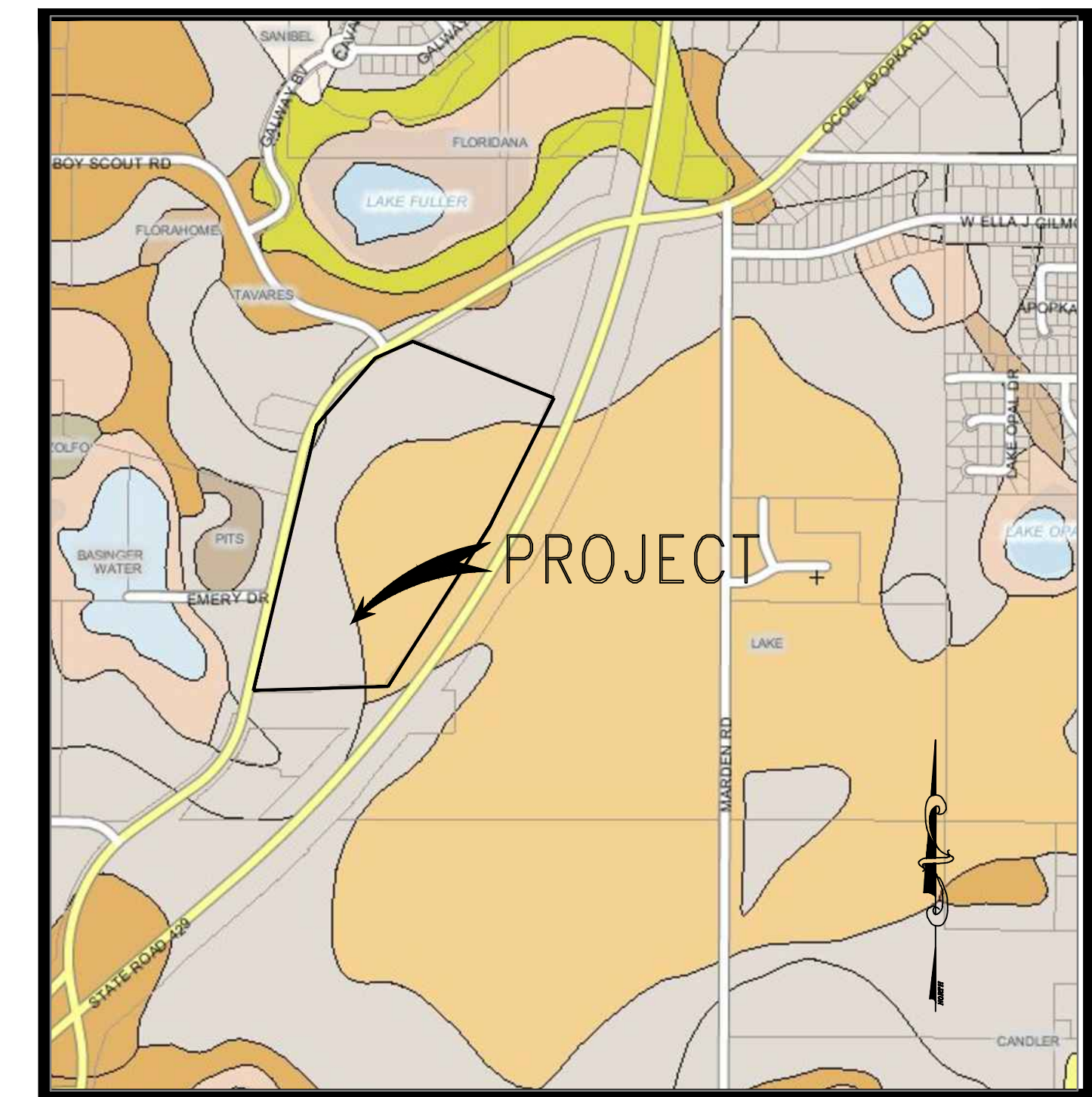
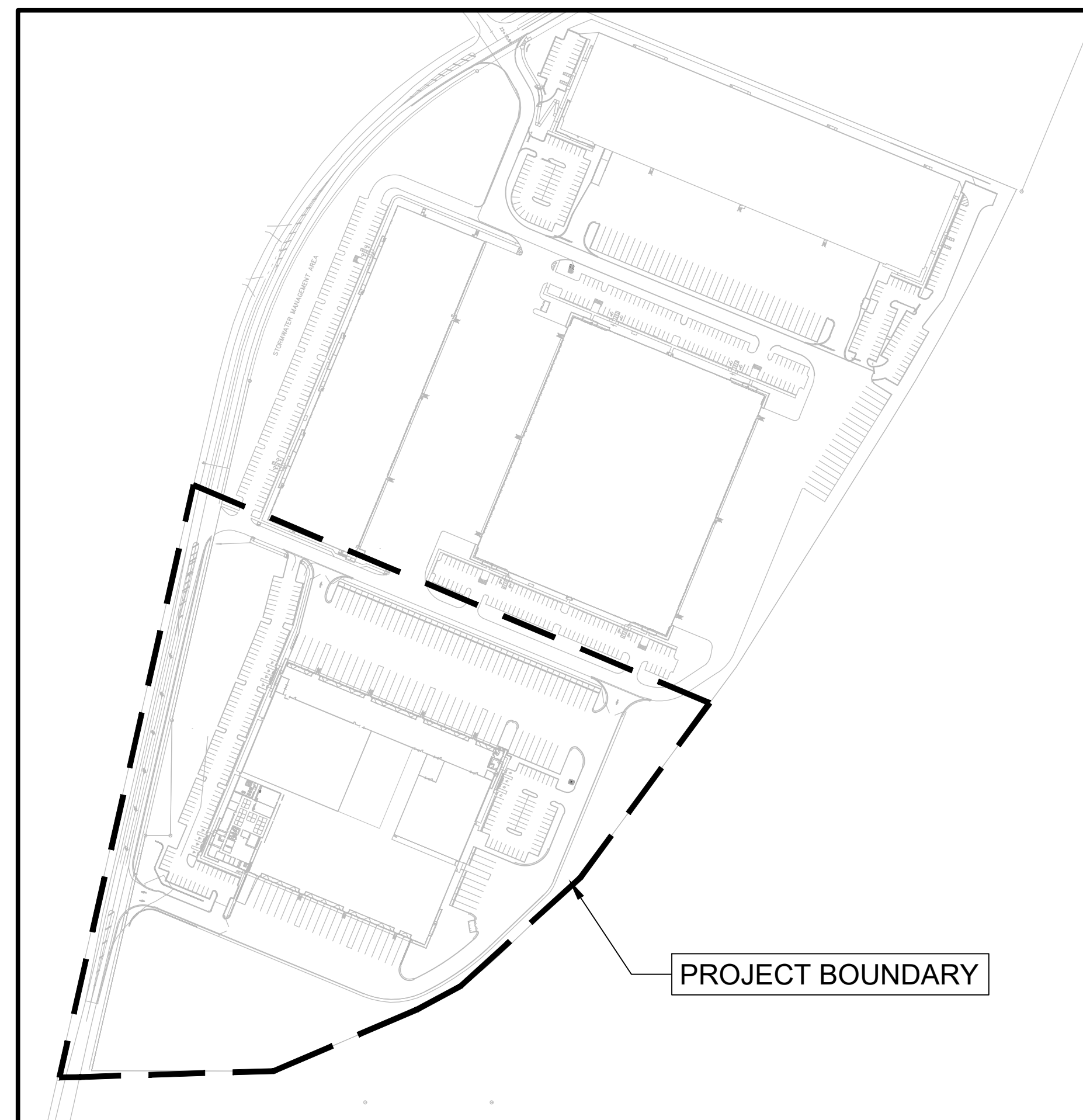
3520 Piedmont Rd., Suite 100
Atlanta, Georgia 30305
Ph: 404-869-9990
Direct: 404-869-9952
Fax: 404-869-9996
Contact: Jimmy Stainback

OWNER OF RECORD

OAKMONT APOPKA ROAD LLC
3520 Piedmont Rd., Suite 100
Atlanta, Georgia 30305
Ph: 404-869-9990

SHEET INDEX	
C-100	COVER SHEET
C-200	OVERALL PRELIMINARY SITE DEVELOPMENT PLAN
C-201	PRELIMINARY SITE DEVELOPMENT PLAN
C-202	PRELIMINARY SITE DEVELOPMENT PLAN
C-203	PRELIMINARY SITE DEVELOPMENT PLAN
C-204	PRELIMINARY SITE DEVELOPMENT PLAN
C-300	GENERAL DETAILS
C-301	GENERAL DETAILS
C-302	BUILDING AND DIRECTIONAL SIGN PLAN (PREVIOUSLY APPROVED BY THE CITY)
L-1 THRU L-5	PRELIMINARY LANDSCAPE PLAN
EP01, EP02	PRELIMINARY PHOTOMETRIC PLAN
S1 THRU S5	SURVEY
A-5.1, A-5.2	BUILDING ELEVATIONS

OVERALL SITE LAYOUT PLAN SEC. 17, TSP 21S, R 28E. APOPKA, FLORIDA

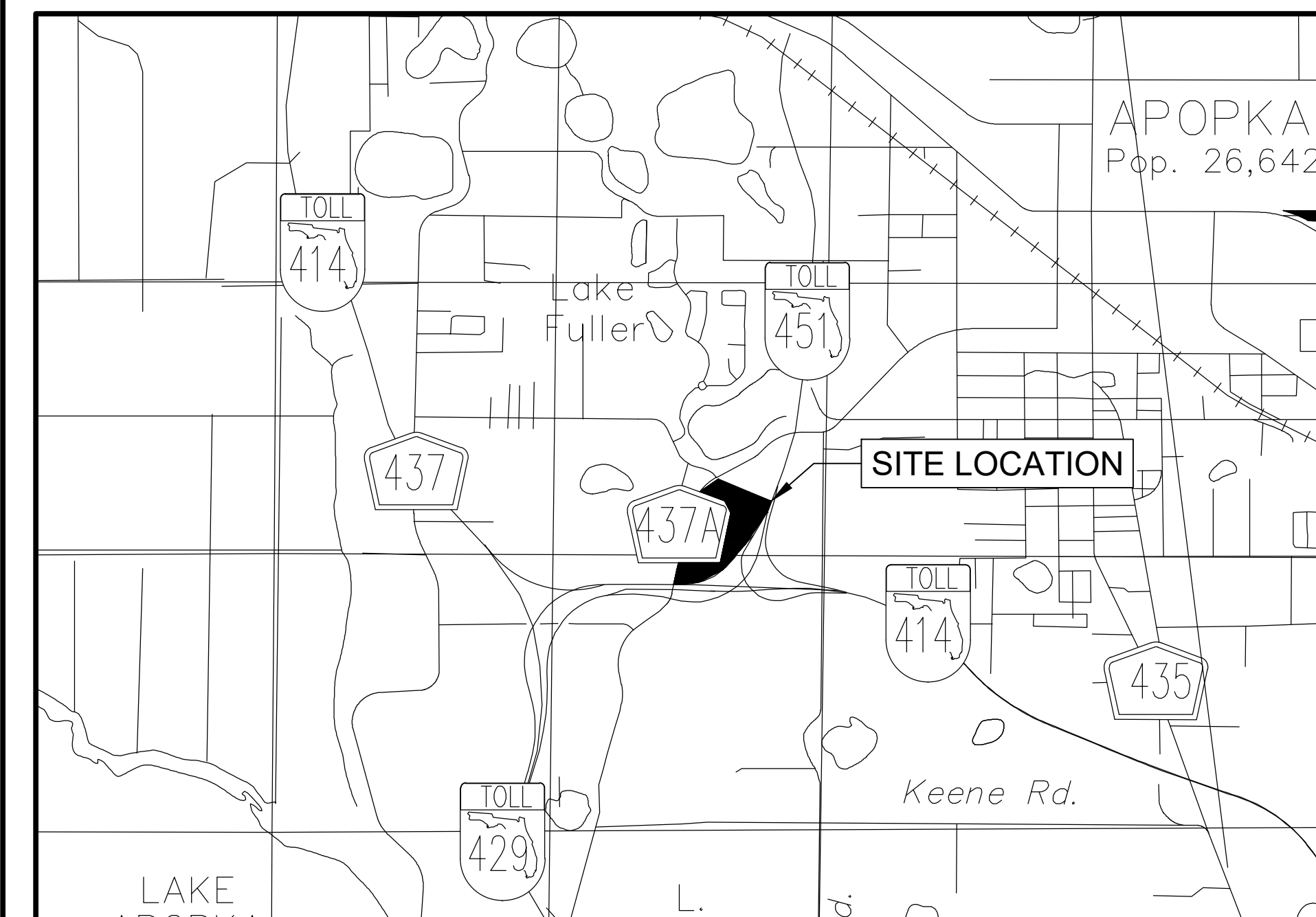


SOILS MAP

LAKE:
THE LAKE SERIES CONSISTS OF EXCESSIVELY DRAINED SOILS THAT FORMED IN SANDY MARINE SEDIMENT. THE SLOPES RANGE FROM 0 TO 5 PERCENT.
HYDROLOGIC GROUP: A
WATER TABLE: >6.0

CANDLER:
THE CANDLER SERIES CONSISTS OF EXCESSIVELY DRAINED, VERY RAPIDLY PERMEABLE SOILS. THE SLOPES RANGE FROM 0 TO 12 PERCENT.
HYDROLOGIC GROUP: A
WATER TABLE: >6.0

LOCATION MAP



NORTHWEST DISTRIBUTION CENTER - BUILDING D

COVER SHEET

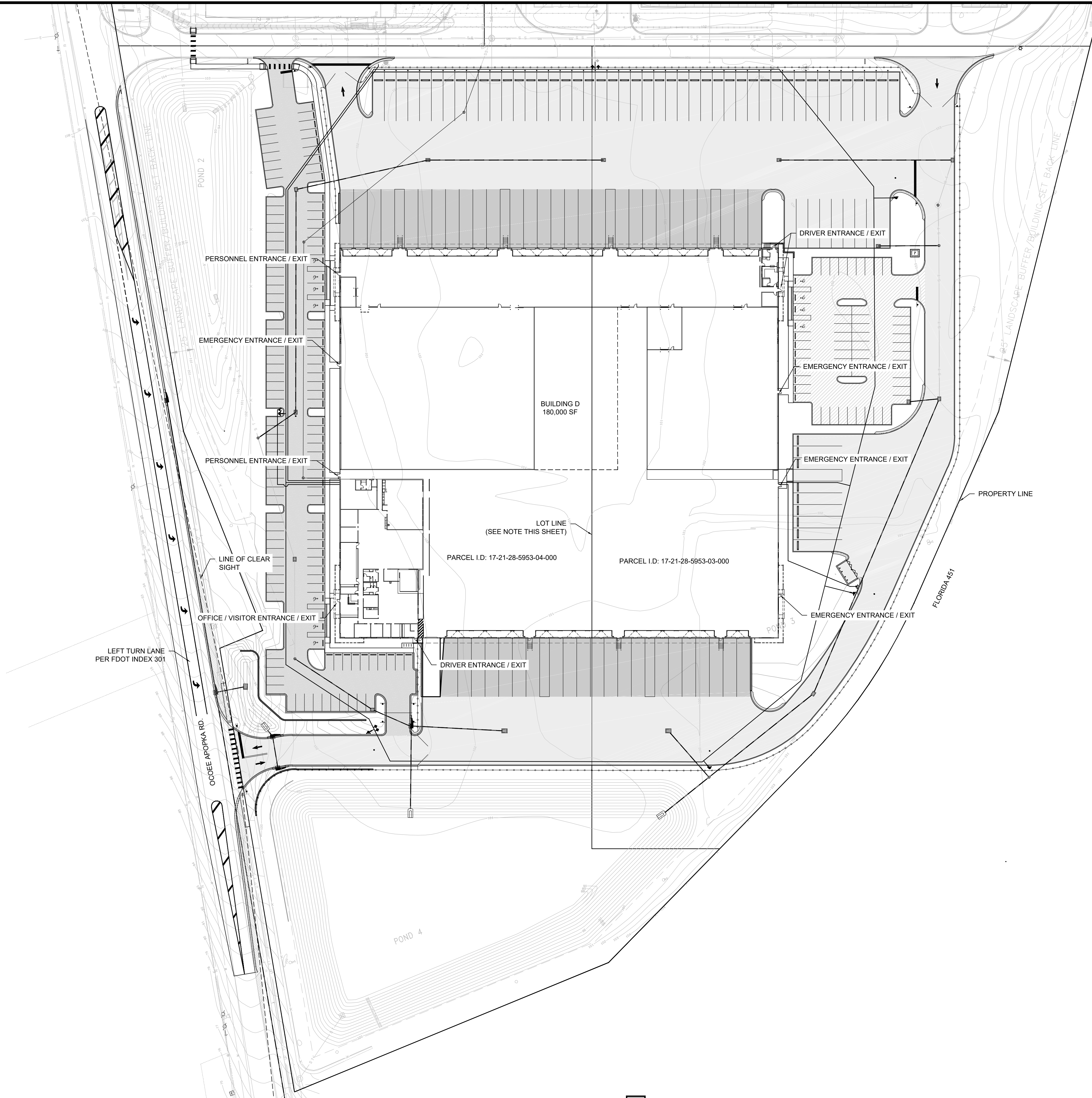


JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-100

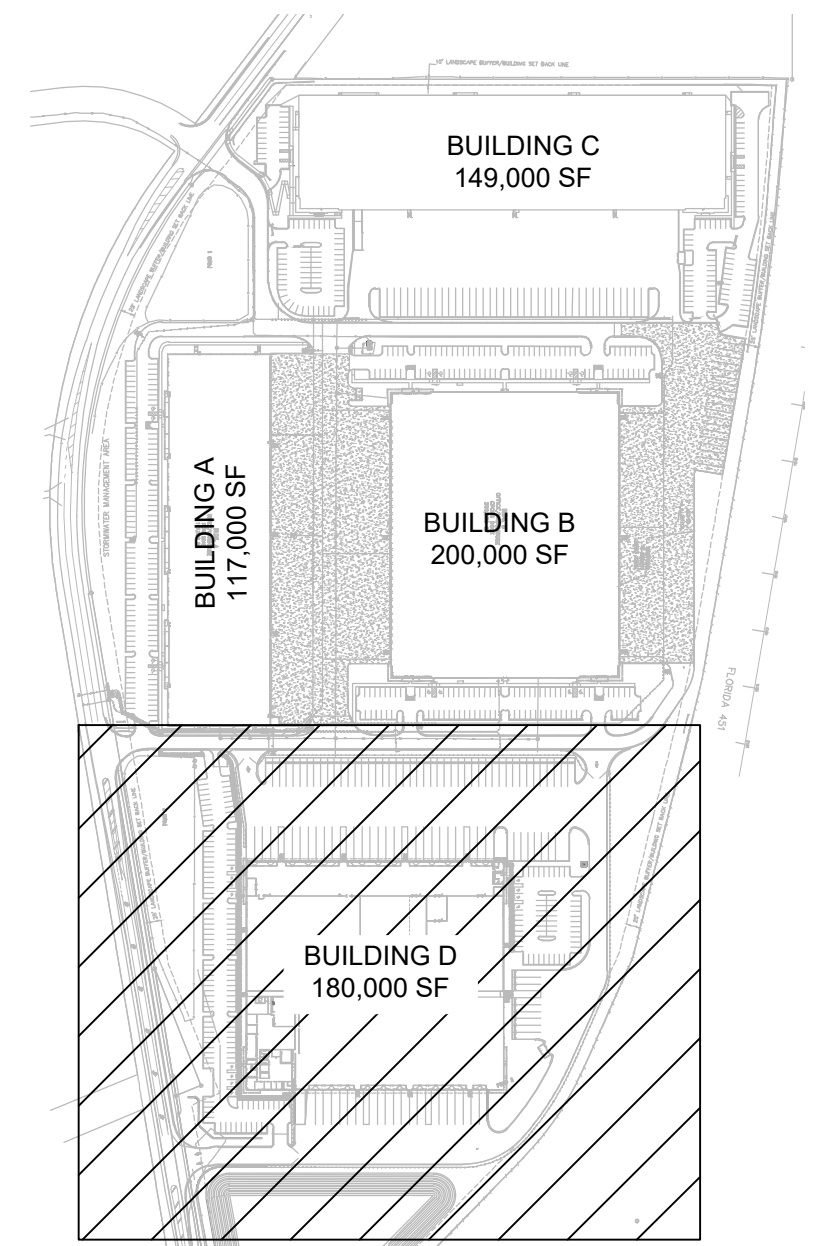
NOT FOR CONSTRUCTION
PRELIMINARY PLANS

JEFFERY W. BANKER, P.E.
REGISTRATION No. 64122
DATE:

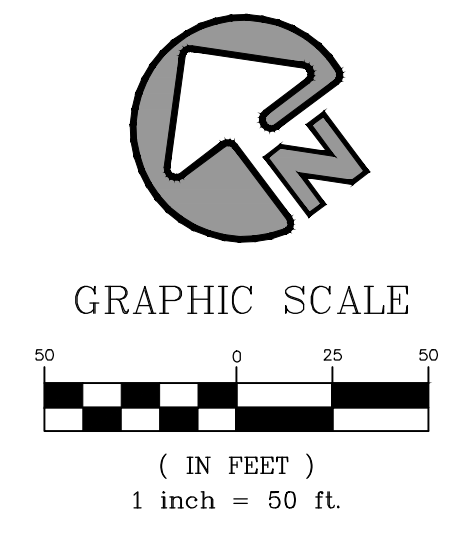
REV.	DATE	DESCRIPTION
1	08/02/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/19/16



NOTE:
 PID 17-21-28-5953-04-000 & 17-21-28-5953-03-000 WILL
 BE UNIFIED INTO A SINGLE PARCEL ID WITH THE
 ORANGE COUNTY PROPERTY APPRAISER.



NORTHWEST DISTRIBUTION CENTER KEY MAP
NTS



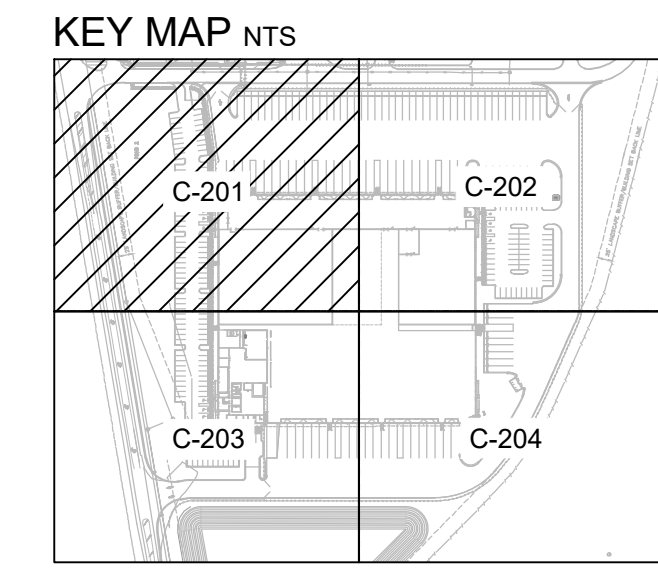
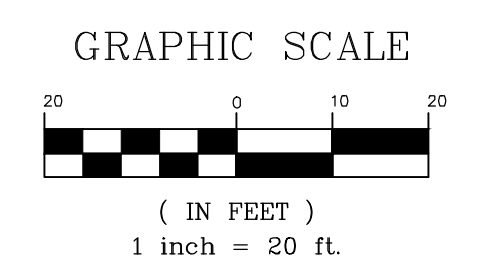
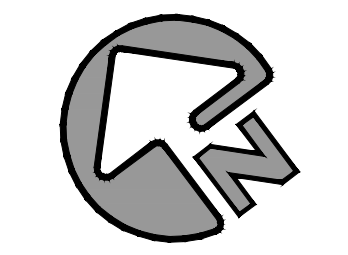
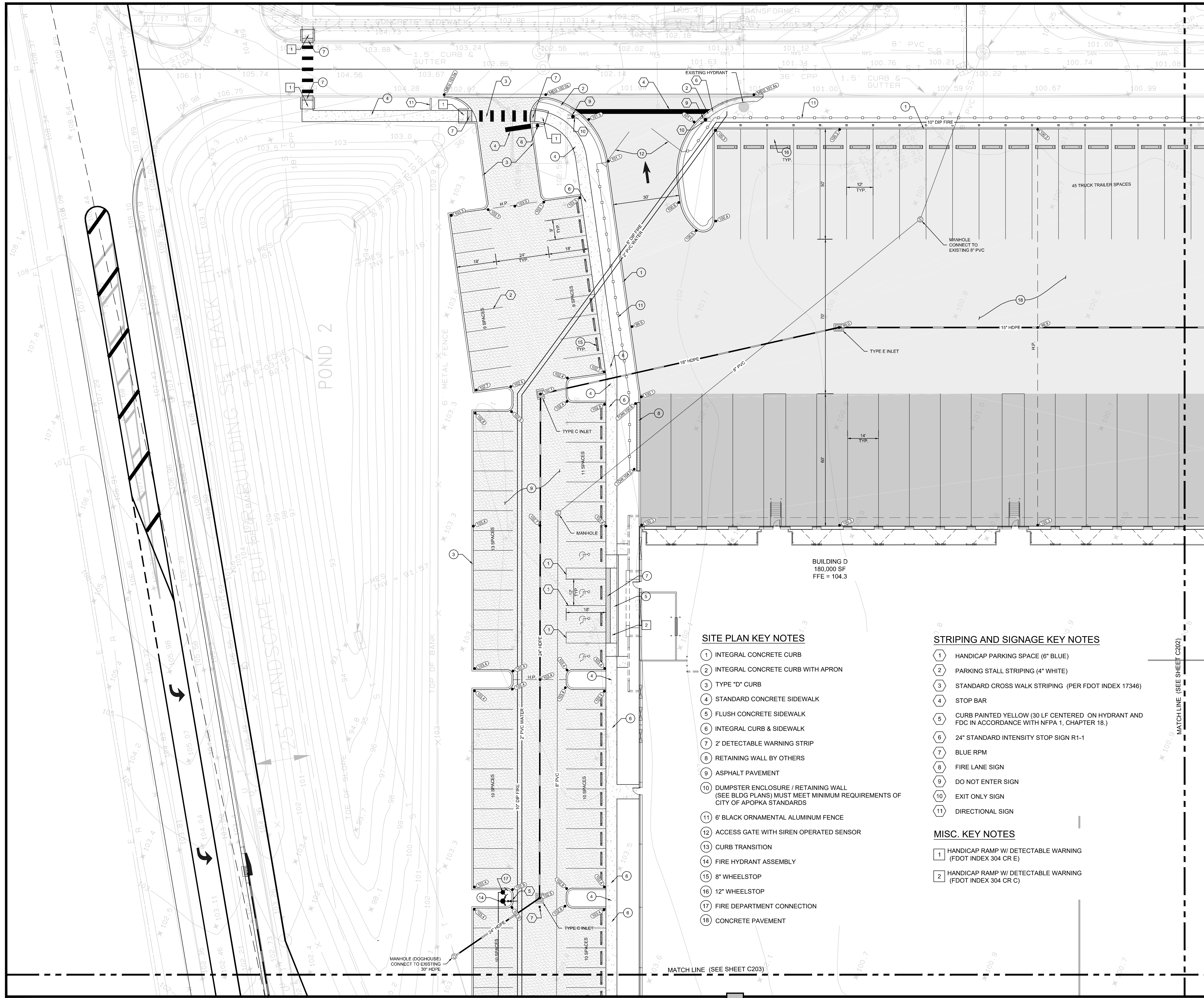
REV.	DATE	DESCRIPTION
1	08 / 02 / 2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/13/16

NORTHWEST DISTRIBUTION CENTER - BUILDING D
OVERALL PRELIMINARY SITE DEVELOPMENT PLAN

HIGHLAND ENGINEERING, INC.
 79 WEST LLIANA ST.
 ORLANDO, FLORIDA 32806
 Office: (407) 275-7877
 Fax: (407) 275-7901
 CA No. 27612

JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-200

NOT FOR CONSTRUCTION
 PRELIMINARY PLANS
 JEFFERY W. BANKER, P.E.
 REGISTRATION No. 64122
 DATE:



- LEGEND / ABBREVIATIONS
- 7" HEAVY DUTY CONCRETE PAVEMENT
 - 6" CONCRETE DOCK PAVEMENT
 - ASPHALT PAVEMENT
 - CONCRETE SIDEWALK
 - FENCING
 - BSL BUILDING SETBACK LINE
 - LB LANDSCAPE BUFFER
 - RPM REFLECTIVE PAVEMENT MARKER
 - H.P. HIGH POINT
 - PIV POST INDICATOR VALVE
 - FDC FIRE DEPARTMENT CONNECTION

SITE PLAN KEY NOTES

- 1 INTEGRAL CONCRETE CURB
- 2 INTEGRAL CONCRETE CURB WITH APRON
- 3 TYPE "D" CURB
- 4 STANDARD CONCRETE SIDEWALK
- 5 FLUSH CONCRETE SIDEWALK
- 6 INTEGRAL CURB & SIDEWALK
- 7 2' DETECTABLE WARNING STRIP
- 8 RETAINING WALL BY OTHERS
- 9 ASPHALT PAVEMENT
- 10 DUMPSTER ENCLOSURE / RETAINING WALL (SEE BLDG PLANS) MUST MEET MINIMUM REQUIREMENTS OF CITY OF APOPKA STANDARDS
- 11 6" BLACK ORNAMENTAL ALUMINUM FENCE
- 12 ACCESS GATE WITH SIREN OPERATED SENSOR
- 13 CURB TRANSITION
- 14 FIRE HYDRANT ASSEMBLY
- 15 8" WHEELSTOP
- 16 12" WHEELSTOP
- 17 FIRE DEPARTMENT CONNECTION
- 18 CONCRETE PAVEMENT

STRIPING AND SIGNAGE KEY NOTES

- 1 HANDICAP PARKING SPACE (6" BLUE)
- 2 PARKING STALL STRIPING (4" WHITE)
- 3 STANDARD CROSS WALK STRIPING (PER FDOT INDEX 17346)
- 4 STOP BAR
- 5 CURB PAINTED YELLOW (30 LF CENTERED ON HYDRANT AND FDC IN ACCORDANCE WITH NFPA 1, CHAPTER 18.)
- 6 24" STANDARD INTENSITY STOP SIGN R1-1
- 7 BLUE RPM
- 8 FIRE LANE SIGN
- 9 DO NOT ENTER SIGN
- 10 EXIT ONLY SIGN
- 11 DIRECTIONAL SIGN

MISC. KEY NOTES

- 1 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR E)
- 2 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR C)

NORTHWEST DISTRIBUTION CENTER - BUILDING D

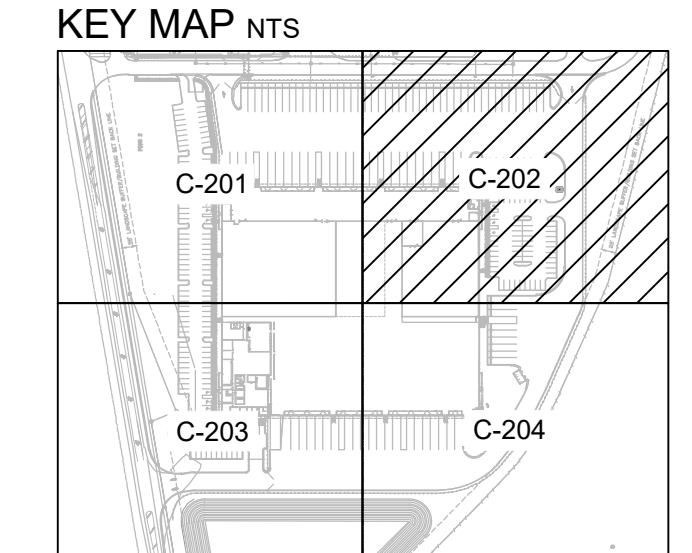
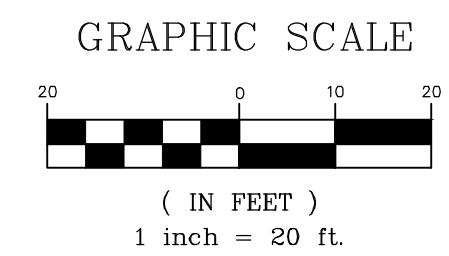
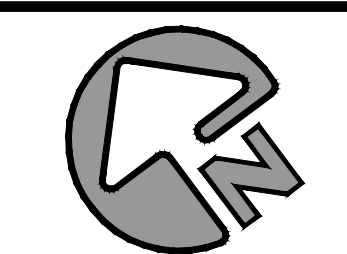
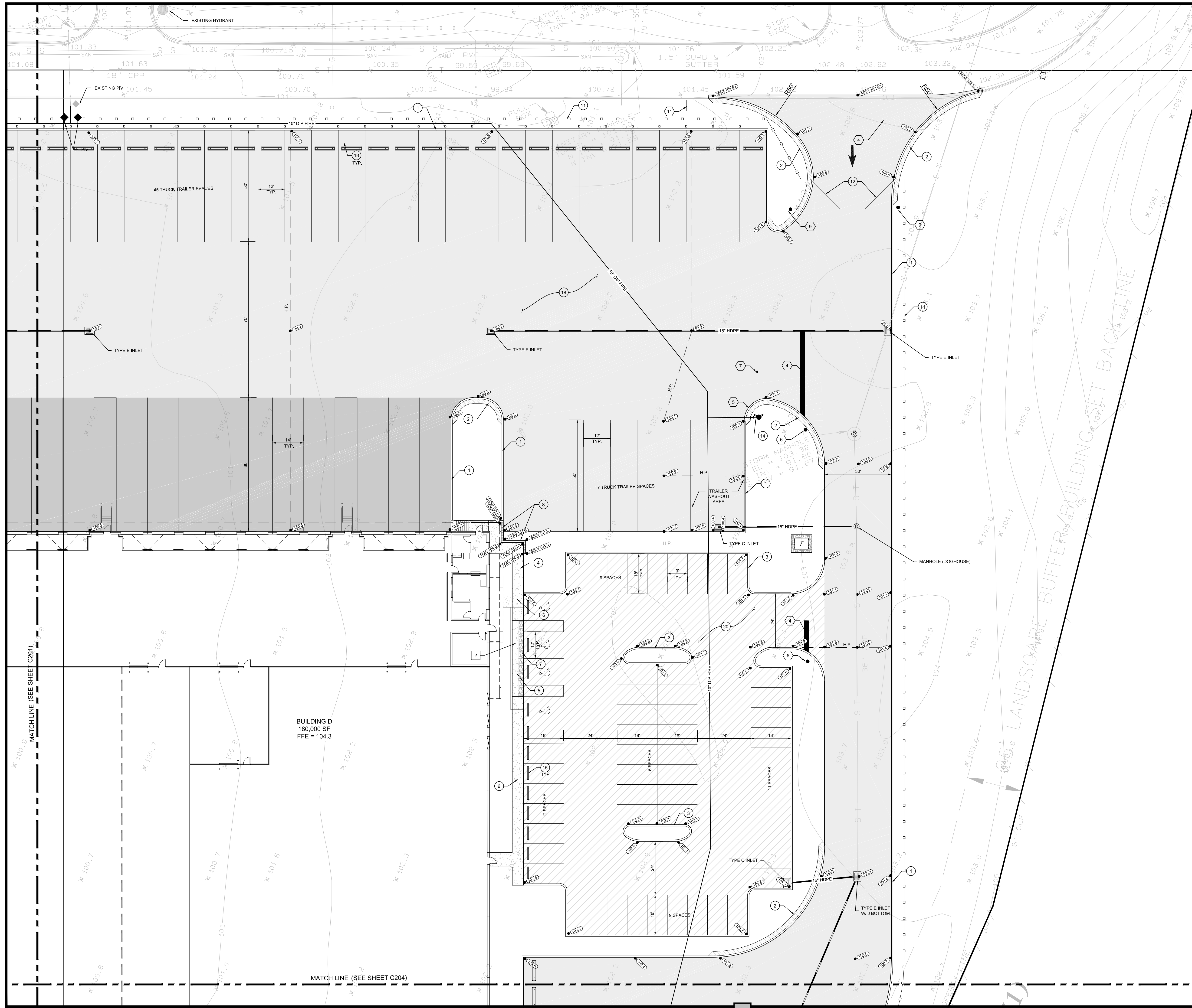
PRELIMINARY SITE DEVELOPMENT PLAN



JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-201
NOT FOR CONSTRUCTION PRELIMINARY PLANS	
JEFFERY W. BANKER, P.E. REGISTRATION No. 64122	
DATE:	

REV.	DATE	DESCRIPTION
2	08/23/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/10/16
1	08/02/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/13/16

Dbrinkman
8/23/2016
J:\OIG-002.04\Drawings\Pre-Development Plans\C-200-204 SITE PLAN.dwg



LEGEND / ABBREVIATIONS

- 7" HEAVY DUTY CONCRETE PAVEMENT
- 6" CONCRETE DOCK PAVEMENT
- PERVIOUS CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- FENCING
- BSL BUILDING SETBACK LINE
- LB LANDSCAPE BUFFER
- RPM REFLECTIVE PAVEMENT MARKER
- H.P. HIGH POINT
- PIV POST INDICATOR VALVE
- FDC FIRE DEPARTMENT CONNECTION

SITE PLAN KEY NOTES

- 1 INTEGRAL CONCRETE CURB
- 2 INTEGRAL CONCRETE CURB WITH APRON
- 3 TYPE "D" CURB
- 4 STANDARD CONCRETE SIDEWALK
- 5 FLUSH CONCRETE SIDEWALK
- 6 INTEGRAL CURB & SIDEWALK
- 7 2' DETECTABLE WARNING STRIP
- 8 RETAINING WALL BY OTHERS
- 9 ASPHALT PAVEMENT
- 10 DUMPSTER ENCLOSURE / RETAINING WALL (SEE BLDG PLANS) MUST MEET MINIMUM REQUIREMENTS OF CITY OF APOPKA STANDARDS
- 11 6' BLACK ORNAMENTAL ALUMINUM FENCE
- 12 ACCESS GATE WITH SIREN OPERATED SENSOR
- 13 CURB TRANSITION
- 14 FIRE HYDRANT ASSEMBLY
- 15 8" WHEELSTOP
- 16 12" WHEELSTOP
- 18 CONCRETE PAVEMENT
- 20 PERVIOUS CONCRETE PAVEMENT

STRIPING AND SIGNAGE KEY NOTES

- 1 HANDICAP PARKING SPACE (6" BLUE)
- 2 PARKING STALL STRIPING (4" WHITE)
- 3 STANDARD CROSS WALK STRIPING (PER FDOT INDEX 17346)
- 4 STOP BAR
- 5 CURB PAINTED YELLOW (30 LF CENTERED ON HYDRANT AND FDC IN ACCORDANCE WITH NFPA 1, CHAPTER 18.)
- 6 24" STANDARD INTENSITY STOP SIGN R1-1
- 7 BLUE RPM
- 8 FIRE LANE SIGN
- 9 DO NOT ENTER SIGN
- 10 EXIT ONLY SIGN
- 11 DIRECTIONAL SIGN

MISC. KEY NOTES

- 1 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR E)
- 2 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR C)

NORTHWEST DISTRIBUTION CENTER - BUILDING D

PRELIMINARY SITE DEVELOPMENT PLAN

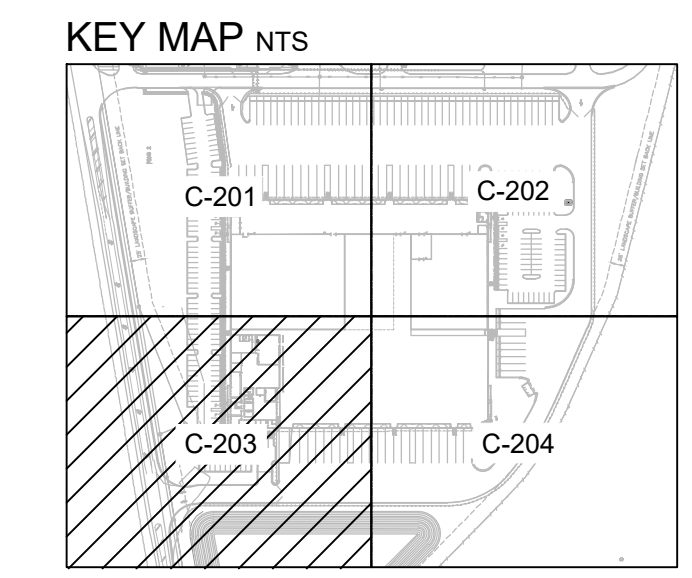
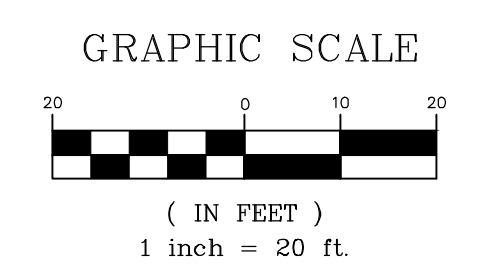
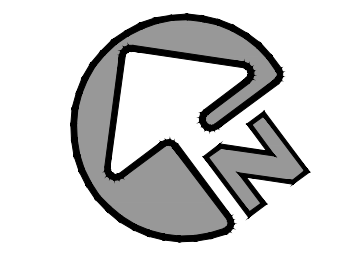
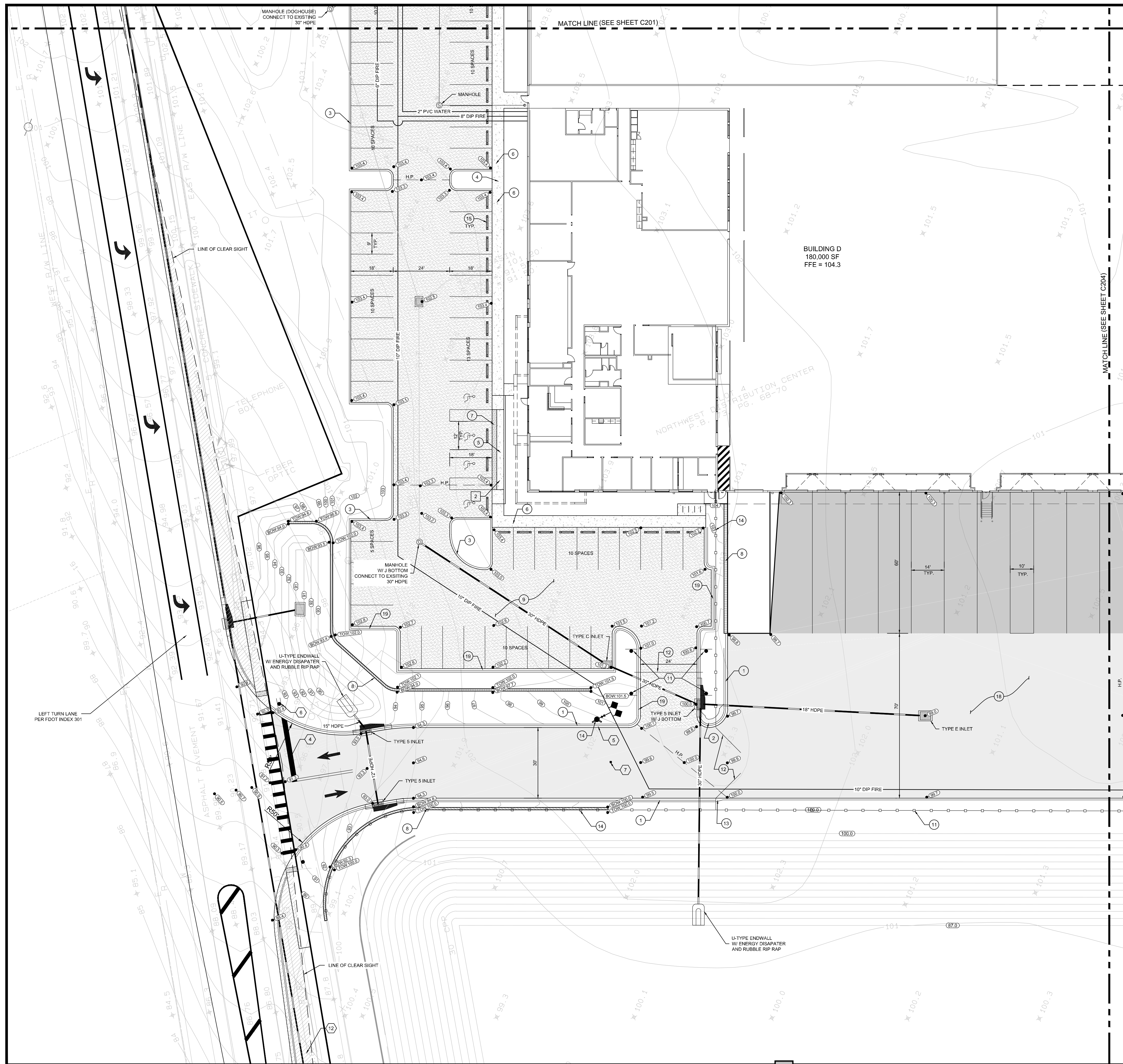


JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-202

NOT FOR CONSTRUCTION
PRELIMINARY PLANS

JEFFERY W. BANKER, P.E.
REGISTRATION No. 64122
DATE:

REV.	DATE	DESCRIPTION
2	08/23/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/10/16
1	08/02/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/13/16



- LEGEND / ABBREVIATIONS
- 7" HEAVY DUTY CONCRETE PAVEMENT
 - 6" CONCRETE DOCK PAVEMENT
 - ASPHALT PAVEMENT
 - CONCRETE SIDEWALK
 - FENCING
 - BSL BUILDING SETBACK LINE
 - LB LANDSCAPE BUFFER
 - RPM REFLECTIVE PAVEMENT MARKER
 - H.P. HIGH POINT
 - PIV POST INDICATOR VALVE
 - FDC FIRE DEPARTMENT CONNECTION

- SITE PLAN KEY NOTES
- 1 INTEGRAL CONCRETE CURB
 - 2 INTEGRAL CONCRETE CURB WITH APRON
 - 3 TYPE "D" CURB
 - 4 STANDARD CONCRETE SIDEWALK
 - 5 FLUSH CONCRETE SIDEWALK
 - 6 INTEGRAL CURB & SIDEWALK
 - 7 2' DETECTABLE WARNING STRIP
 - 8 RETAINING WALL BY OTHERS
 - 9 ASPHALT PAVEMENT (SEE DETAIL SHEET C-300)
 - 11 6" BLACK ORNAMENTAL ALUMINUM FENCE
 - 12 CHAINLINK FENCE GATE
 - 13 CURB TRANSITION
 - 14 FIRE HYDRANT ASSEMBLY
 - 15 8" CURB STOP
 - 17 FIRE DEPARTMENT CONNECTION
 - 18 CONCRETE PAVEMENT
 - 19 MODIFIED TYPE F CURB

- STRIPING AND SIGNAGE KEY NOTES
- 1 HANDICAP PARKING SPACE (6" BLUE)
 - 2 PARKING STALL STRIPING (4" WHITE)
 - 3 STANDARD CROSS WALK STRIPING (PER FDOT INDEX 17346)
 - 4 STOP BAR
 - 5 CURB PAINTED YELLOW (30 LF CENTERED ON HYDRANT AND FDC IN ACCORDANCE WITH NFPA 1, CHAPTER 18.)
 - 6 24" STANDARD INTENSITY STOP SIGN R1-1
 - 7 BLUE RPM
 - 8 FIRE LANE SIGN
 - 9 DO NOT ENTER SIGN
 - 10 EXIT ONLY SIGN
 - 11 EMERGENCY VEHICLE ONLY
 - 12 TRUCK TRAFFIC FIRST RIGHT, PASSENGER CARS SECOND RIGHT

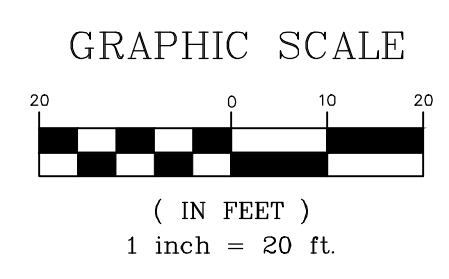
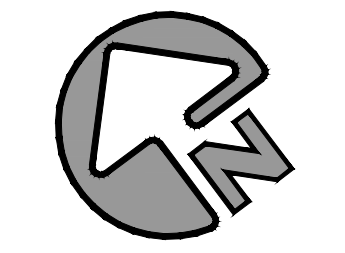
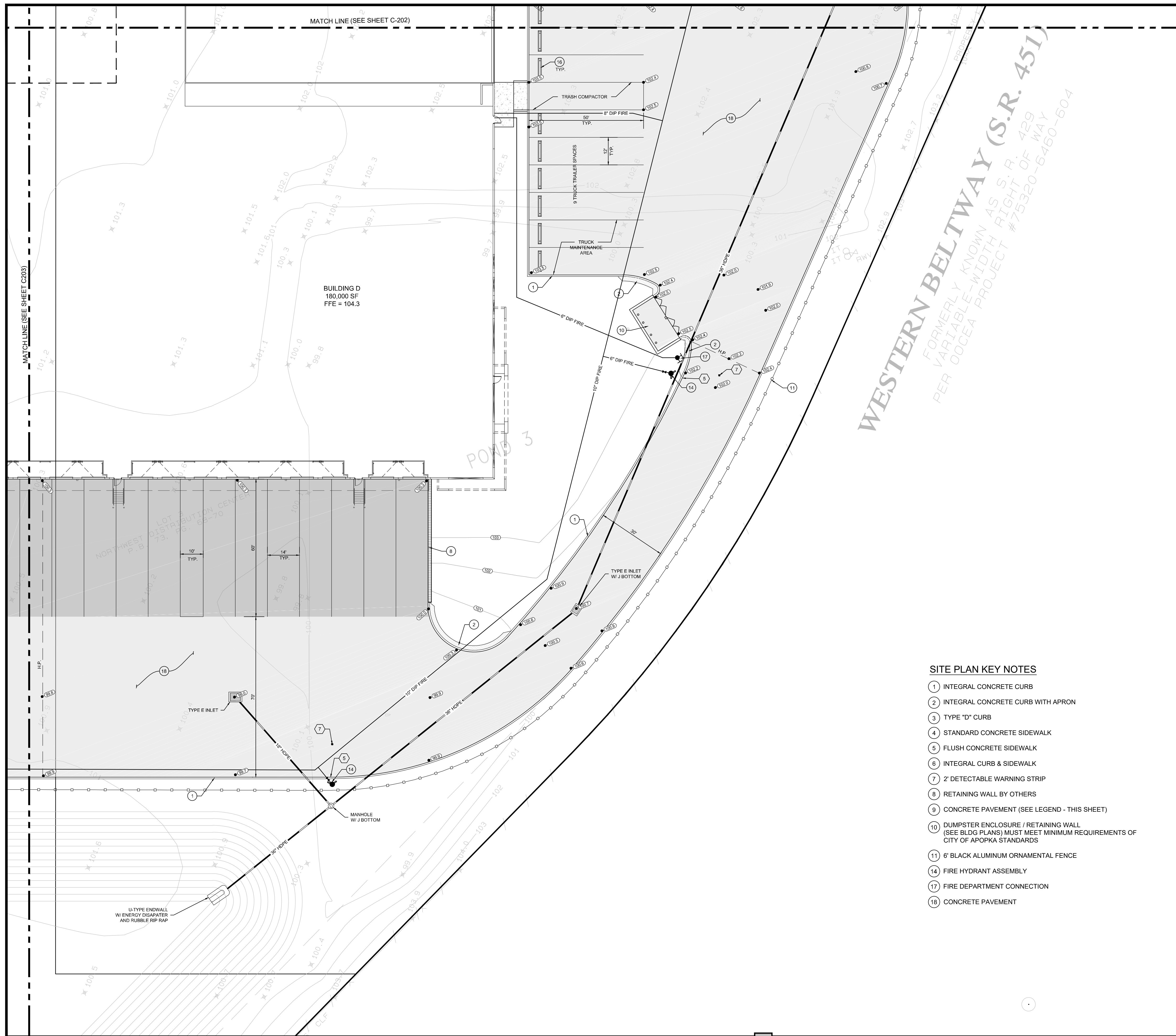
- MISC. KEY NOTES
- 1 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR E)
 - 2 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR C)

NORTHWEST DISTRIBUTION CENTER - BUILDING D
PRELIMINARY SITE DEVELOPMENT PLAN

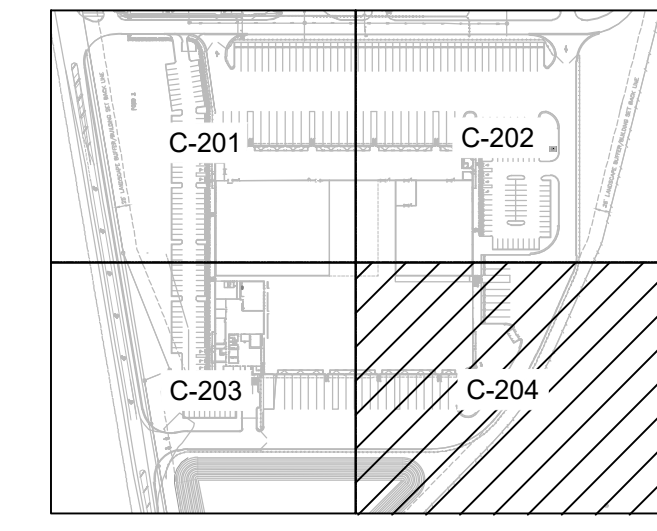


JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-203
NOT FOR CONSTRUCTION PRELIMINARY PLANS	
JEFFERY W. BANKER, P.E. REGISTRATION No. 64122	
DATE:	

REV.	DATE	DESCRIPTION	APPD BY
2	08/23/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/10/16	JB
1	08/02/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/13/16	JB



KEY MAP NTS



LEGEND / ABBREVIATIONS

- 7" HEAVY DUTY CONCRETE PAVEMENT
- 6" CONCRETE DOCK PAVEMENT
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- FENCING
- BSL BUILDING SETBACK LINE
- LB LANDSCAPE BUFFER
- RPM REFLECTIVE PAVEMENT MARKER
- H.P. HIGH POINT
- PIV POST INDICATOR VALVE
- FDC FIRE DEPARTMENT CONNECTION

SITE PLAN KEY NOTES

- 1 INTEGRAL CONCRETE CURB
- 2 INTEGRAL CONCRETE CURB WITH APRON
- 3 TYPE "D" CURB
- 4 STANDARD CONCRETE SIDEWALK
- 5 FLUSH CONCRETE SIDEWALK
- 6 INTEGRAL CURB & SIDEWALK
- 7 2" DETECTABLE WARNING STRIP
- 8 RETAINING WALL BY OTHERS
- 9 CONCRETE PAVEMENT (SEE LEGEND - THIS SHEET)
- 10 DUMPSTER ENCLOSURE / RETAINING WALL (SEE BLDG PLANS) MUST MEET MINIMUM REQUIREMENTS OF CITY OF APOPKA STANDARDS
- 11 6" BLACK ALUMINUM ORNAMENTAL FENCE
- 14 FIRE HYDRANT ASSEMBLY
- 17 FIRE DEPARTMENT CONNECTION
- 18 CONCRETE PAVEMENT

STRIPING AND SIGNAGE KEY NOTES

- 1 HANDICAP PARKING SPACE (6" BLUE)
- 2 PARKING STALL STRIPING (4" WHITE)
- 3 STANDARD CROSS WALK STRIPING (PER FDOT INDEX 17346)
- 4 STOP BAR
- 5 CURB PAINTED YELLOW (30 LF CENTERED ON HYDRANT AND FDC IN ACCORDANCE WITH NFPA 1, CHAPTER 18.)
- 6 24" STANDARD INTENSITY STOP SIGN R1-1
- 7 BLUE RPM
- 8 FIRE LANE SIGN

MISC. KEY NOTES

- 1 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR E)
- 2 HANDICAP RAMP W/ DETECTABLE WARNING (FDOT INDEX 304 CR C)

NORTHWEST DISTRIBUTION CENTER - BUILDING D

PRELIMINARY SITE DEVELOPMENT PLAN

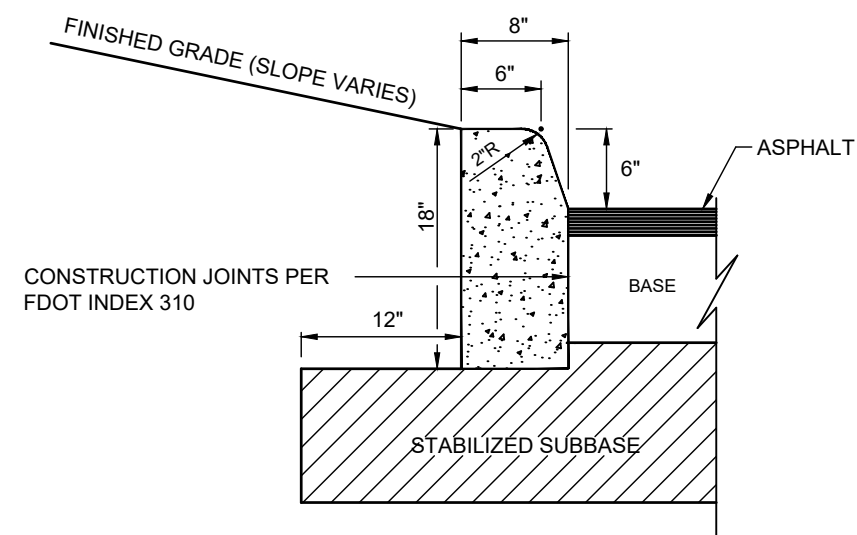


JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-204

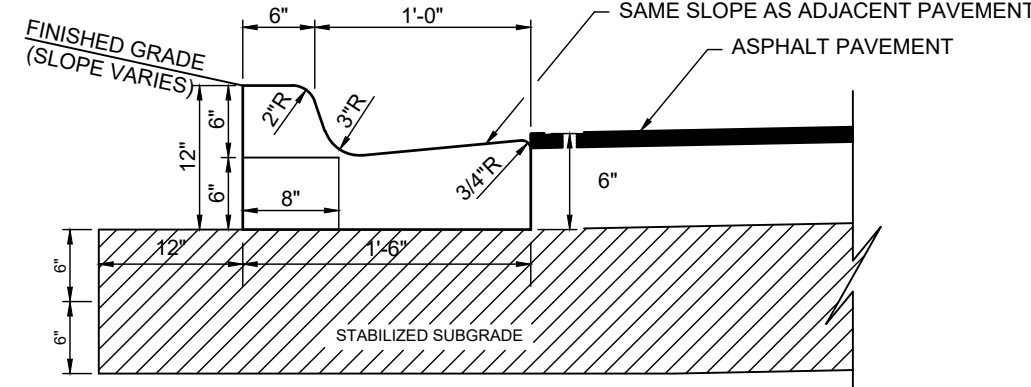
NOT FOR CONSTRUCTION
PRELIMINARY PLANS

JEFFERY W. BANKER, P.E.
REGISTRATION No. 64122
DATE:

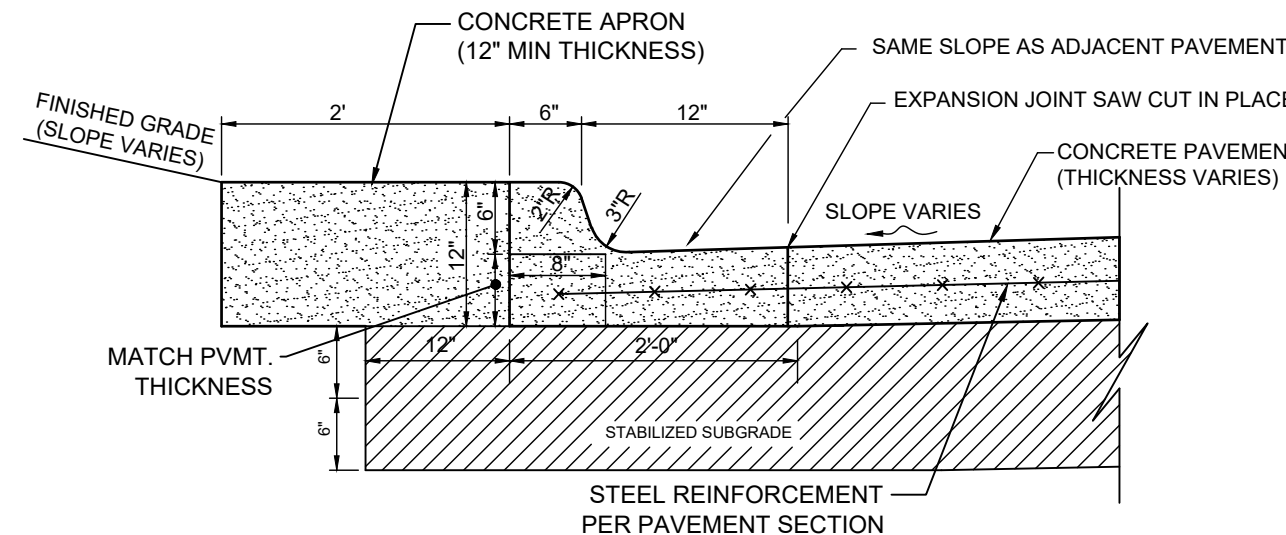
REV.	DATE	DESCRIPTION
2	08/23/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/10/16
1	08/02/2016	REVISED TO ADDRESS CITY OF APOPKA DRC COMMENTS DATED 07/13/16



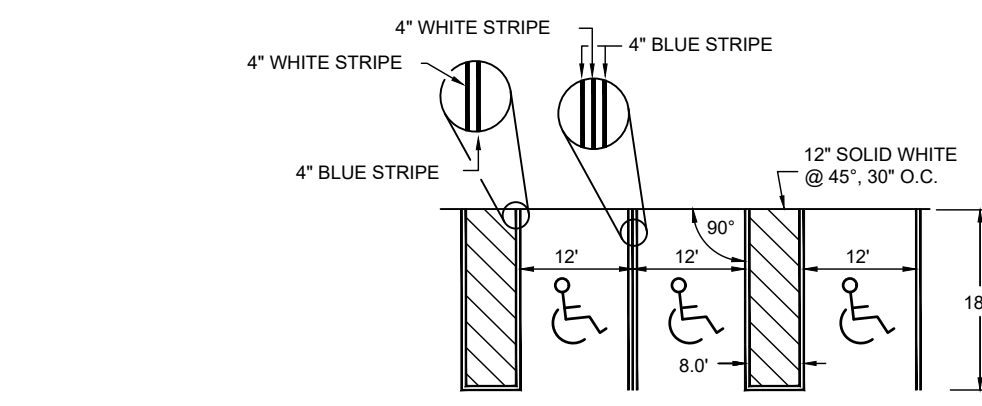
TYPE "D" CURB
NTS



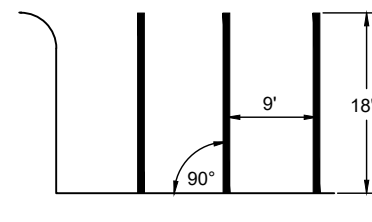
MODIFIED TYPE "F" CURB
NTS



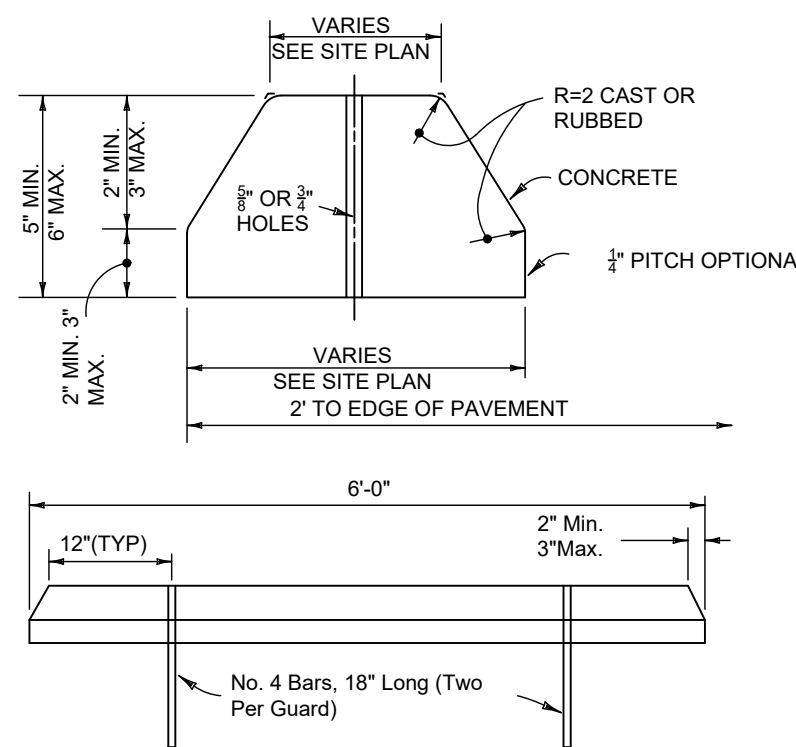
INTEGRAL CONCRETE CURB
NTS



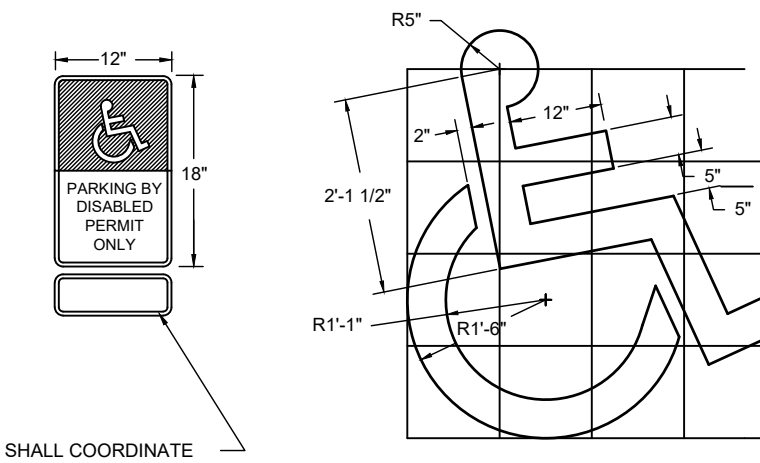
TYPICAL HANDICAP PARKING SECTION
NTS



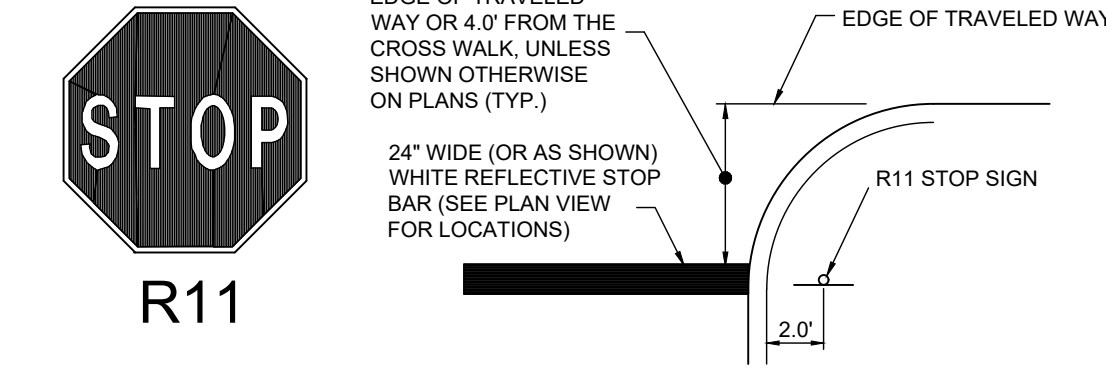
TYPICAL STRIPING DETAIL
NTS



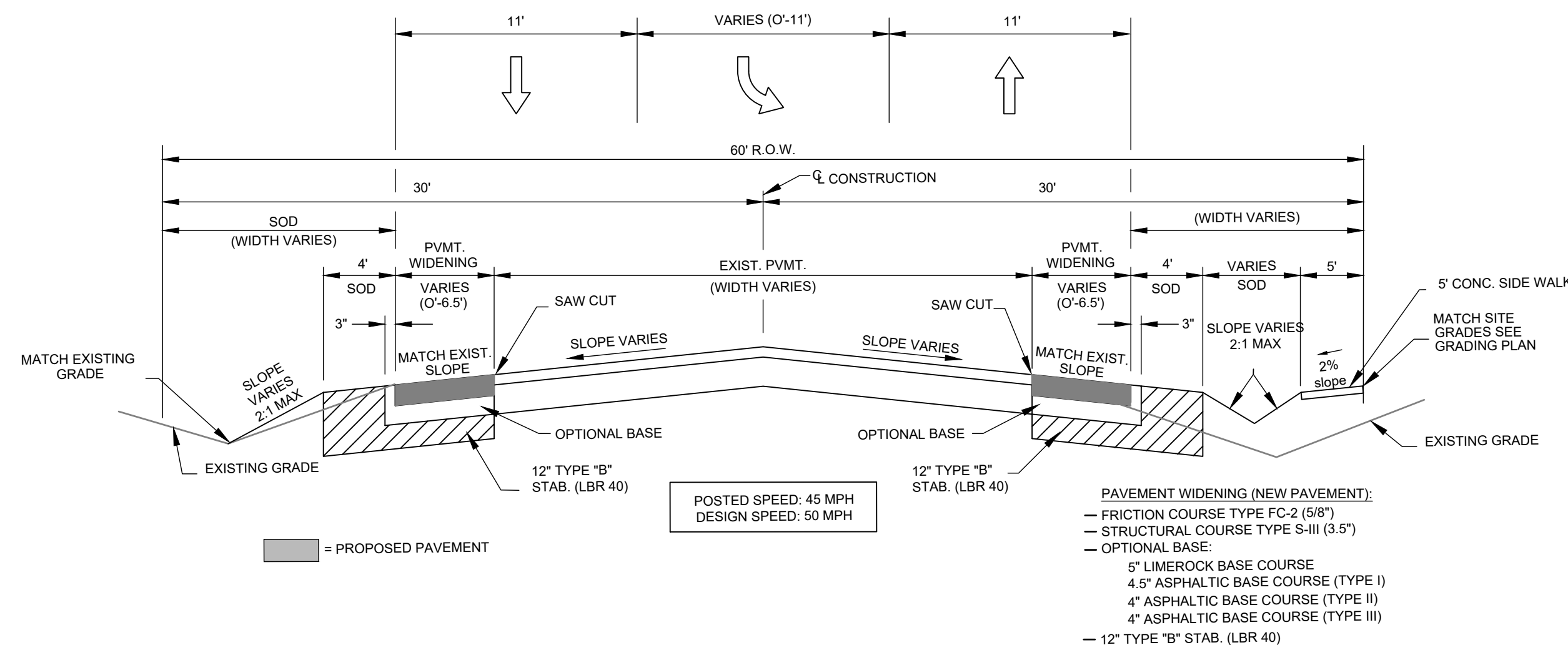
WHEEL STOP DETAIL
NTS



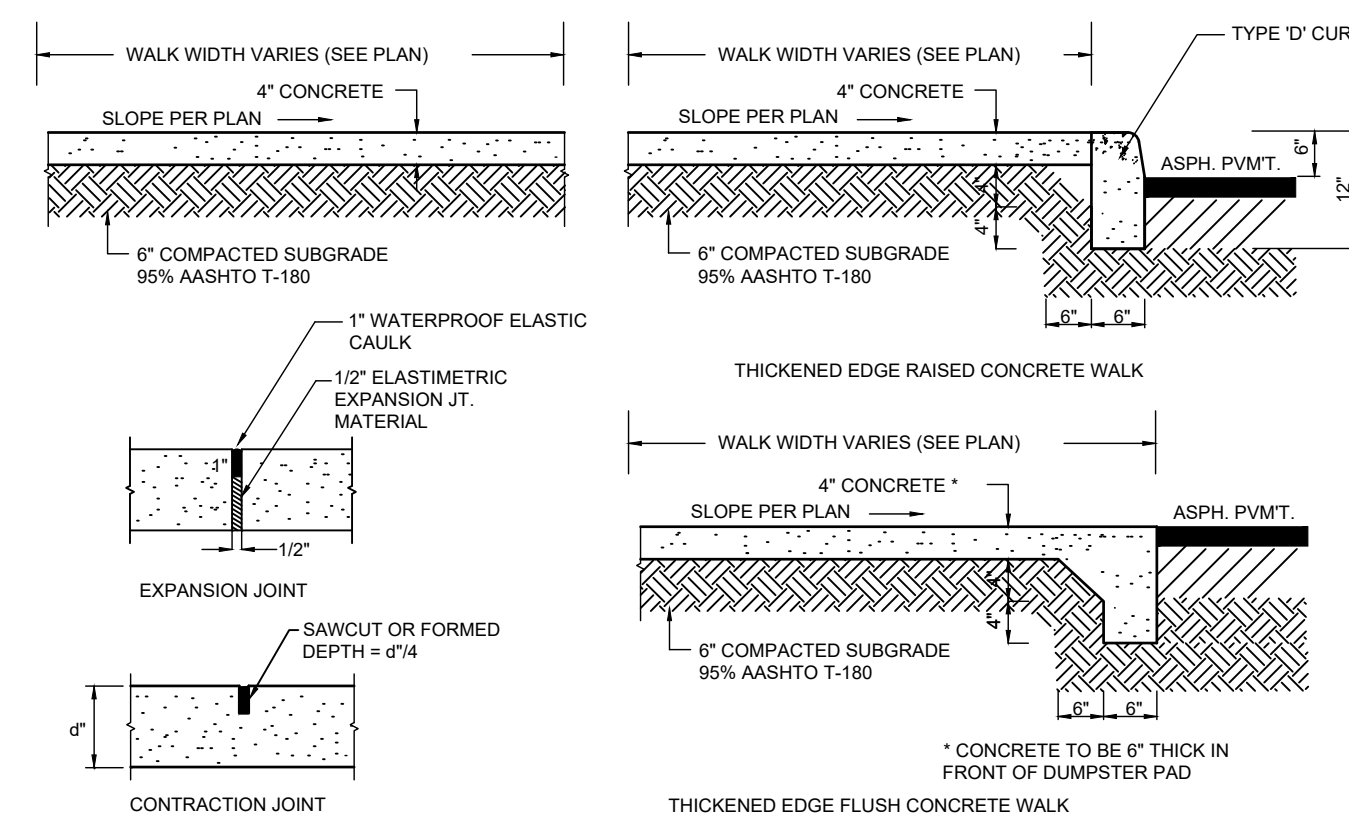
HANDICAP PARKING SIGN DETAIL
NTS



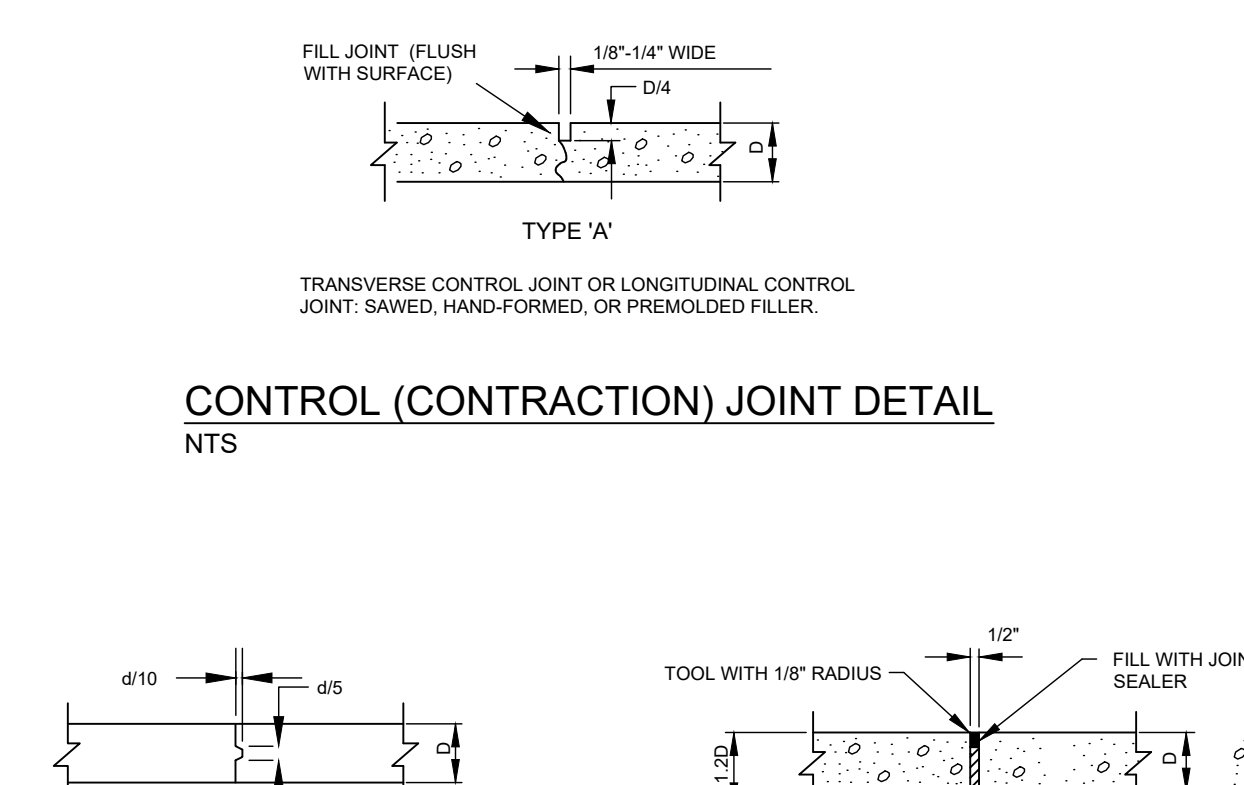
STOP BAR DETAIL w/ STOP SIGN
NTS



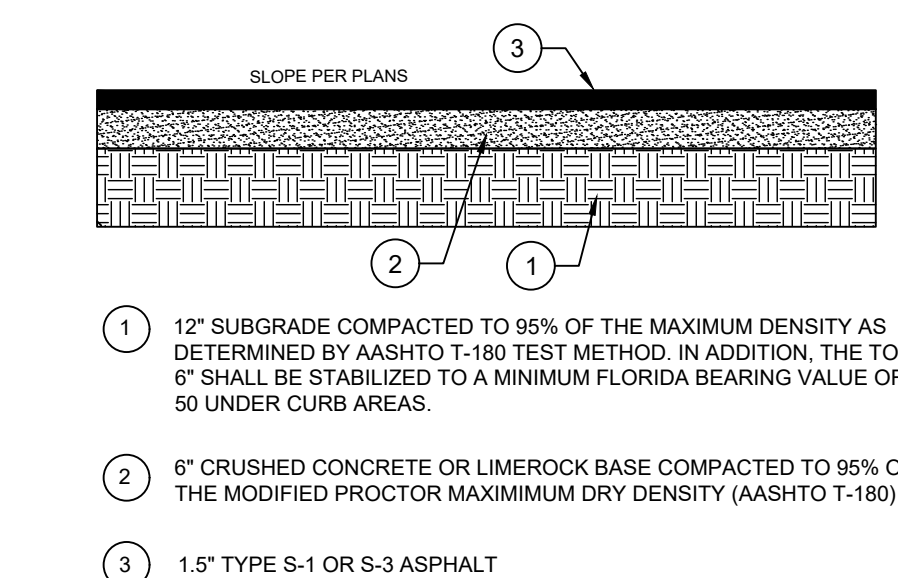
TYPICAL ROADWAY SECTION (OCOE APOPKA ROAD WIDENING)
NTS



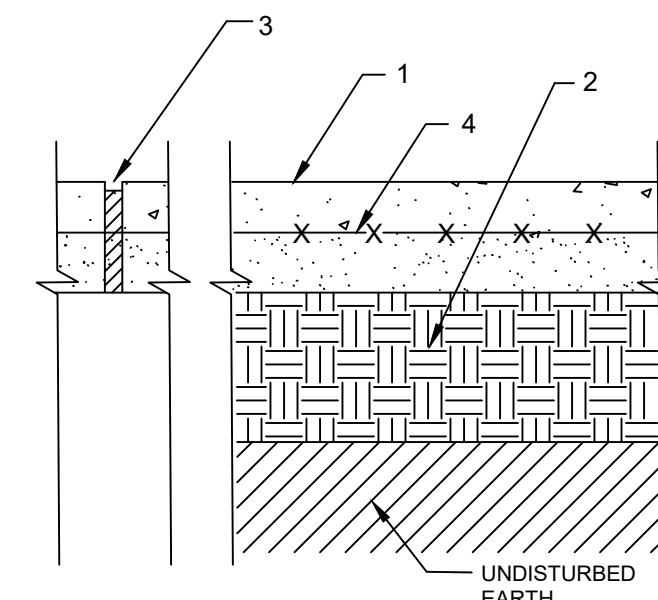
SIDEWALK DETAILS
NTS



ISOLATION (EXPANSION) JOINT DETAIL
NTS



ASPHALT PAVEMENT CROSS SECTION
NTS



TYPICAL CONCRETE PAVEMENT SECTION
NTS

REV.	DATE	DESCRIPTION

NORTHWEST DISTRIBUTION CENTER - BUILDING D

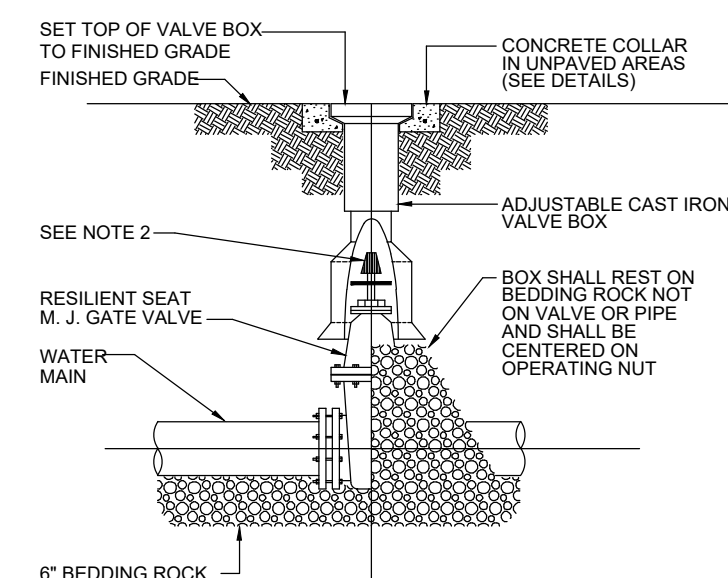
GENERAL DETAILS

HIGHLAND ENGINEERING, INC.
 79 WEST ILLIANA ST.
 Ocala, Florida 32066
 Office: (407) 275-7877
 Fax: (407) 275-7901
 CA No. 27612

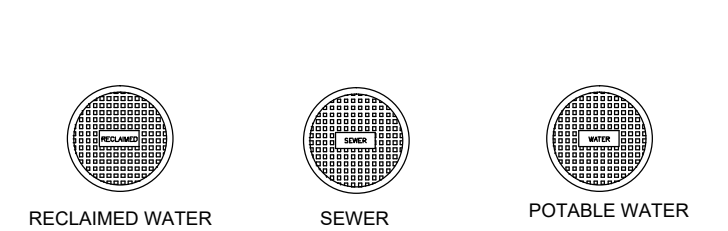
JOB No.: OIG-002.04
 DESIGNED BY: JB
 DRAWN BY: DB
 APPROVED BY: JB
 DATE: 07-01-2016
 SHEET: **C-300**

NOT FOR CONSTRUCTION
 PRELIMINARY PLANS

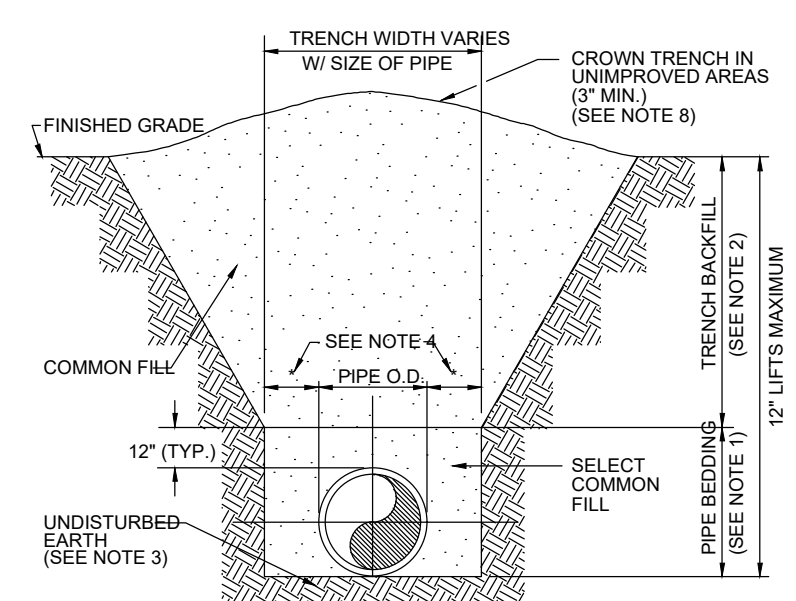
JEFFERY W. BANKER, P.E.
 REGISTRATION No. 64122
 DATE:



- NOTES:
1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
 2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.
 3. APPLY TWO COATS OF EXTERIOR ENAMEL PAINT TO VALVE COVER.

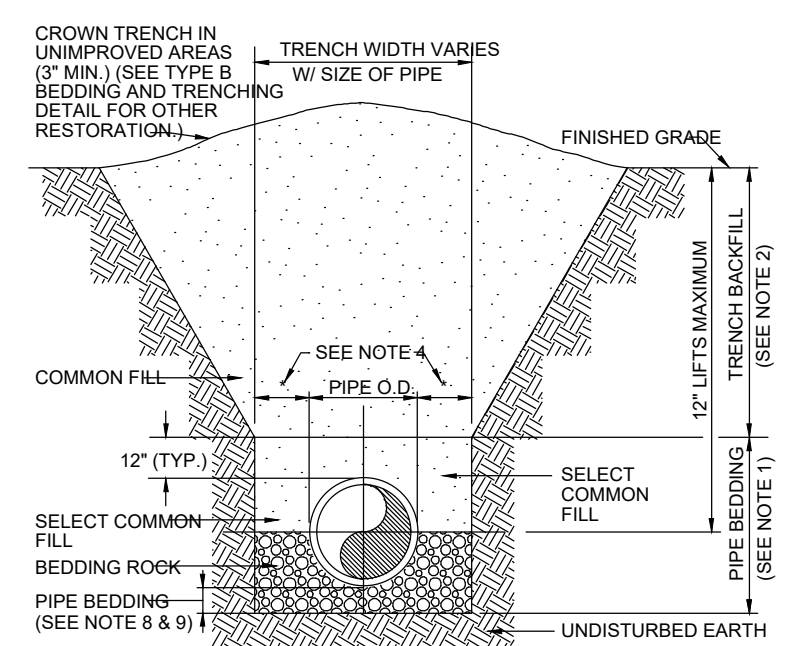


GATE VALVE, COVER AND BOX DETAIL



- NOTES:
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE CITY.
 4. (1) 15\"/>

TYPE B BEDDING AND TRENCHING DETAIL



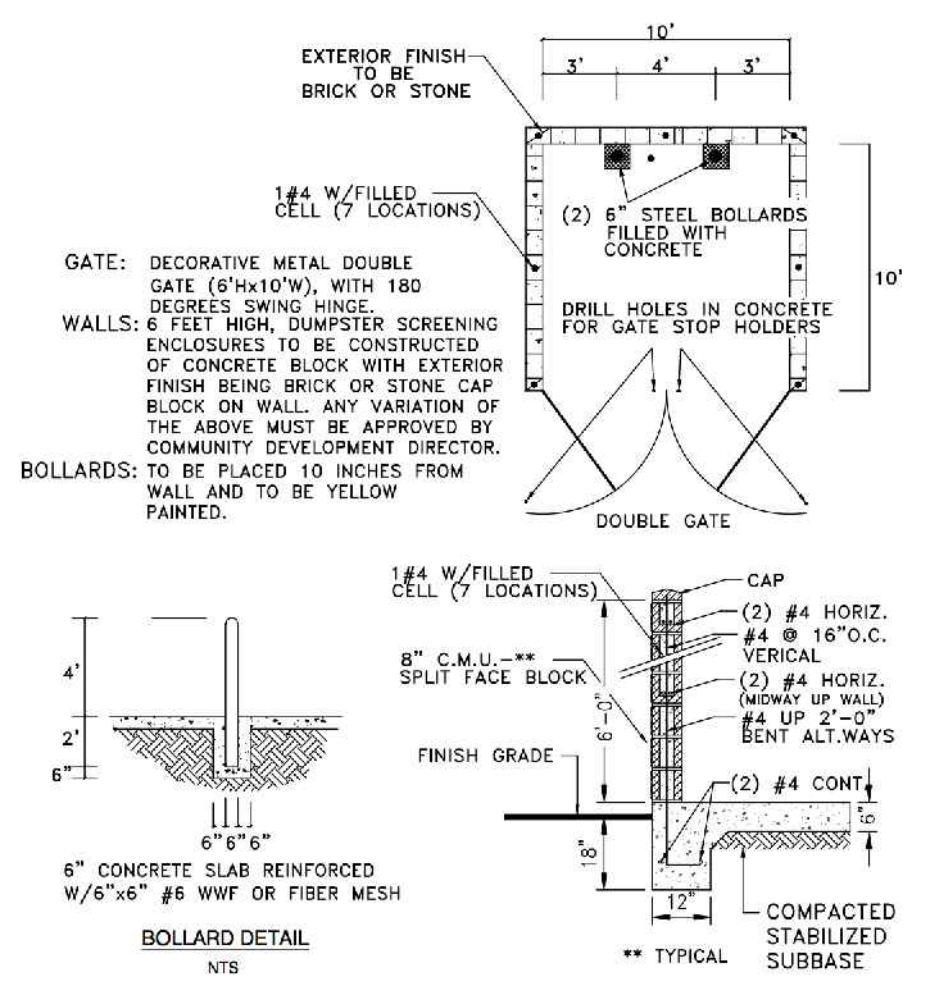
- NOTES:
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 3. USE TYPE A BEDDING TO BE DETERMINED IN THE FIELD AS DIRECTED BY THE CITY.
 4. (1) 15\"/>

TYPE A BEDDING AND TRENCHING DETAIL

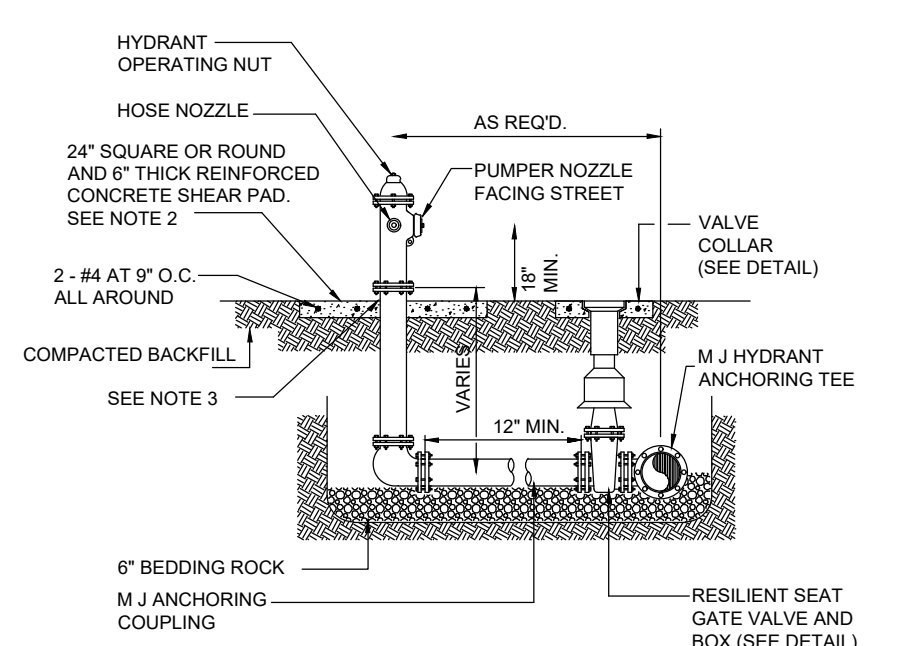
MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTINGS(S) *	PIPE SIZE							
	6"	8"	10"	12"	16"	18"	24"	30"
90° BEND	36	36	36	54	54	72	72	90
45° BEND	18	18	18	18	36	36	36	36
22-1/2° BEND	18	18	18	18	18	18	18	18
11-1/4° BEND	18	18	18	18	18	18	18	18
PLUG OR BRANCH OF TEE	18	36	36	54	90	108	108	144

- NOTES:
1. FITTINGS SHALL BE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
 2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN SHOWN IN THE TABLE.
 3. WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
 4. IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
 5. LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, WITH THE FOLLOWING ASSUMPTIONS:
WORKING PRESSURE: 150 P.S.I.
SOIL DESIGNATION: SAND / SILT
LAYING CONDITIONS: TYPE "A" BEDDING
 6. FOR PIPE ENCASED IN POLYETHYLENE, USE VALUES GIVEN IN PARENTHESES OR INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
* TO BE COMPLETED BY THE ENGINEER.

RECLAIMED AND POTABLE WATER MAIN RESTRAINED PIPE TABLE.

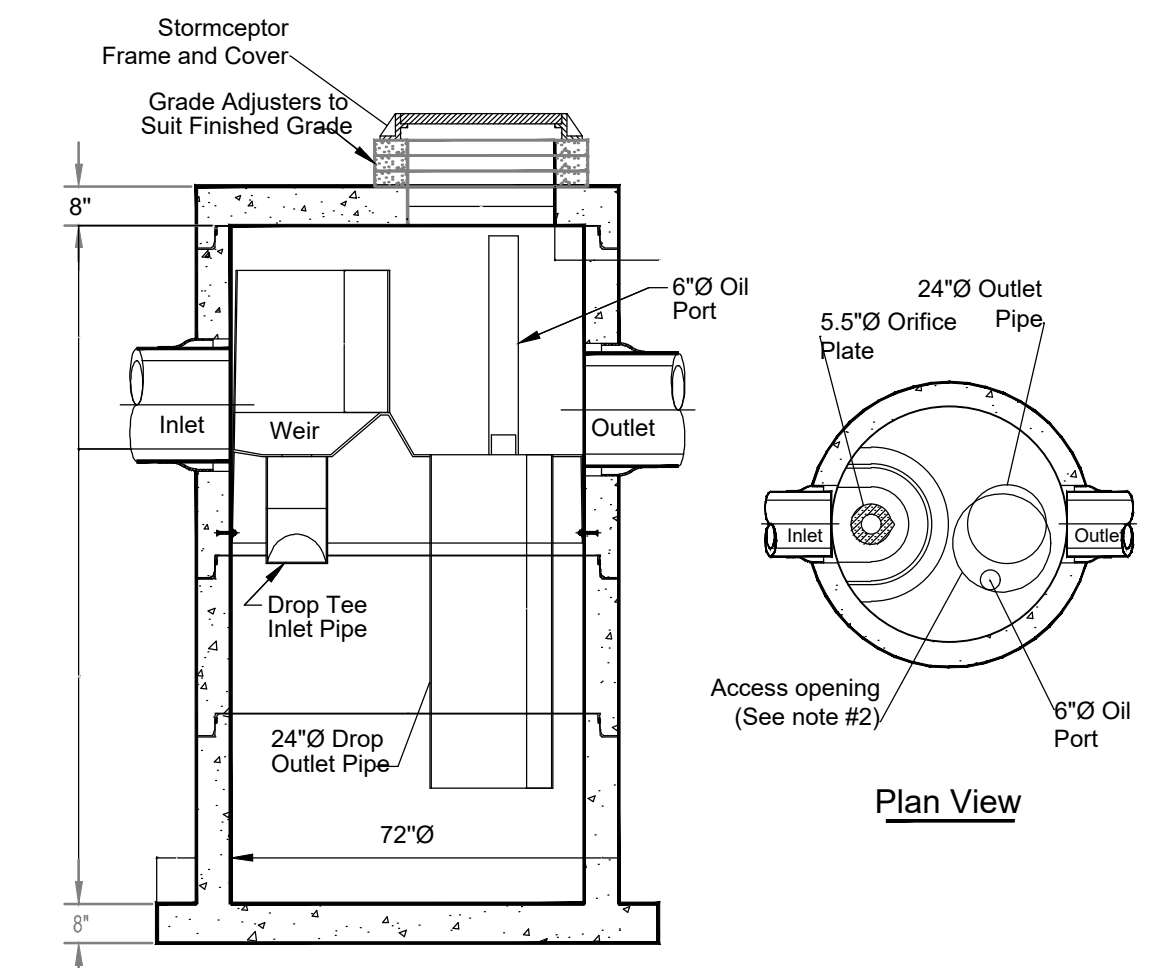


DUMPSTER ENCLOSURE DETAIL



- NOTES:
1. FIRE HYDRANT SHALL BE SUPPLIED WITHOUT A WEEP HOLE, OR WITH A PERMANENTLY PLUGGED WEEP HOLE.
 2. THE DEVELOPER MAY INSTALL THE SHEAR PAD RECESSED UP TO 4 INCHES BELOW FINISHED GRADE AND SOD THE RECESSED SECTION.
 3. CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR PAD SHALL BE A 6\"/>

FIRE HYDRANT ASSEMBLY DETAIL



- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #5753115, #5849181, #6068765, #6371690, #7582216, #7666303.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

EOS 18-1000 Precast Concrete Stormceptor (1000 U.S. Gallon Oil Capacity)
EOS 012715

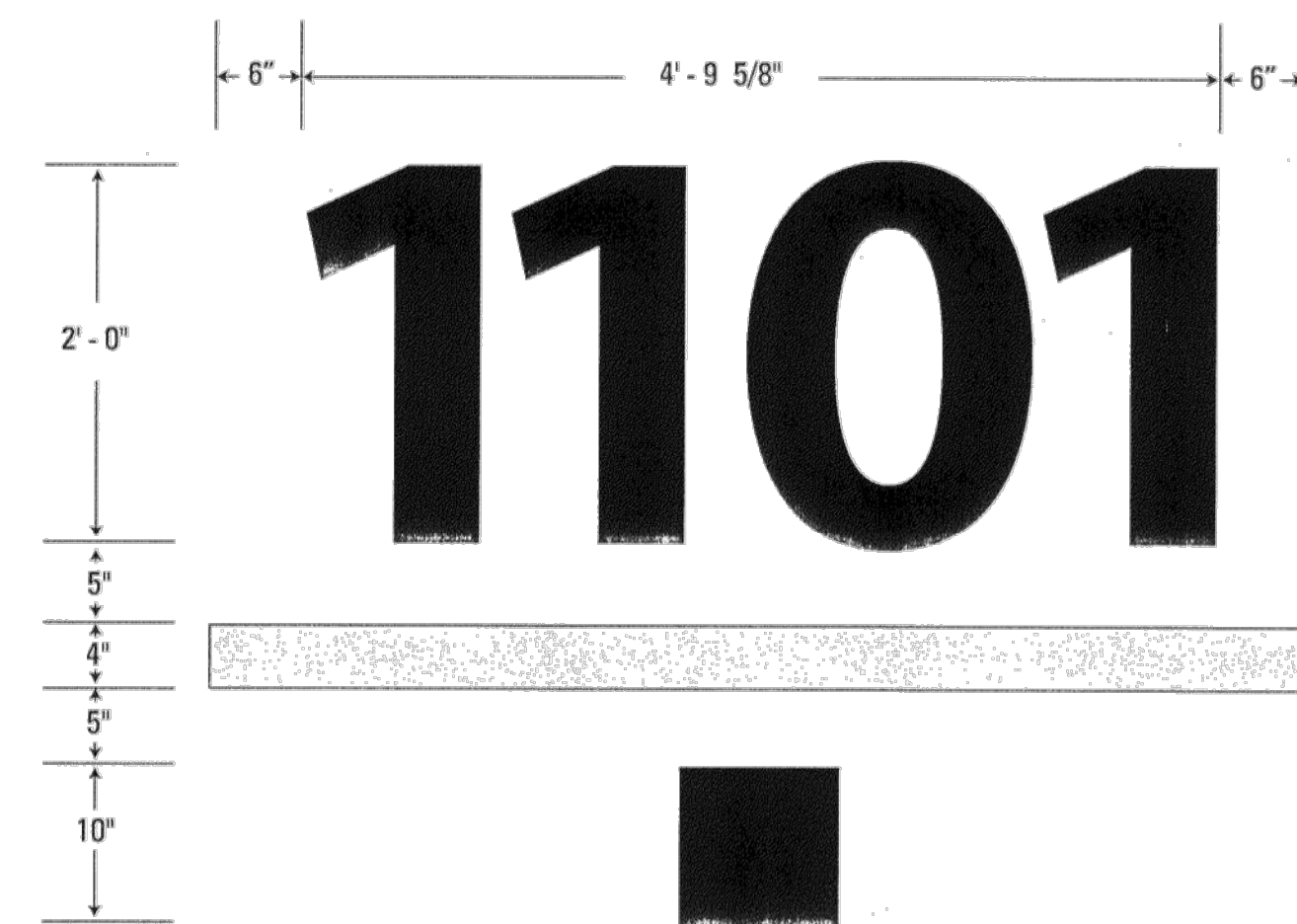
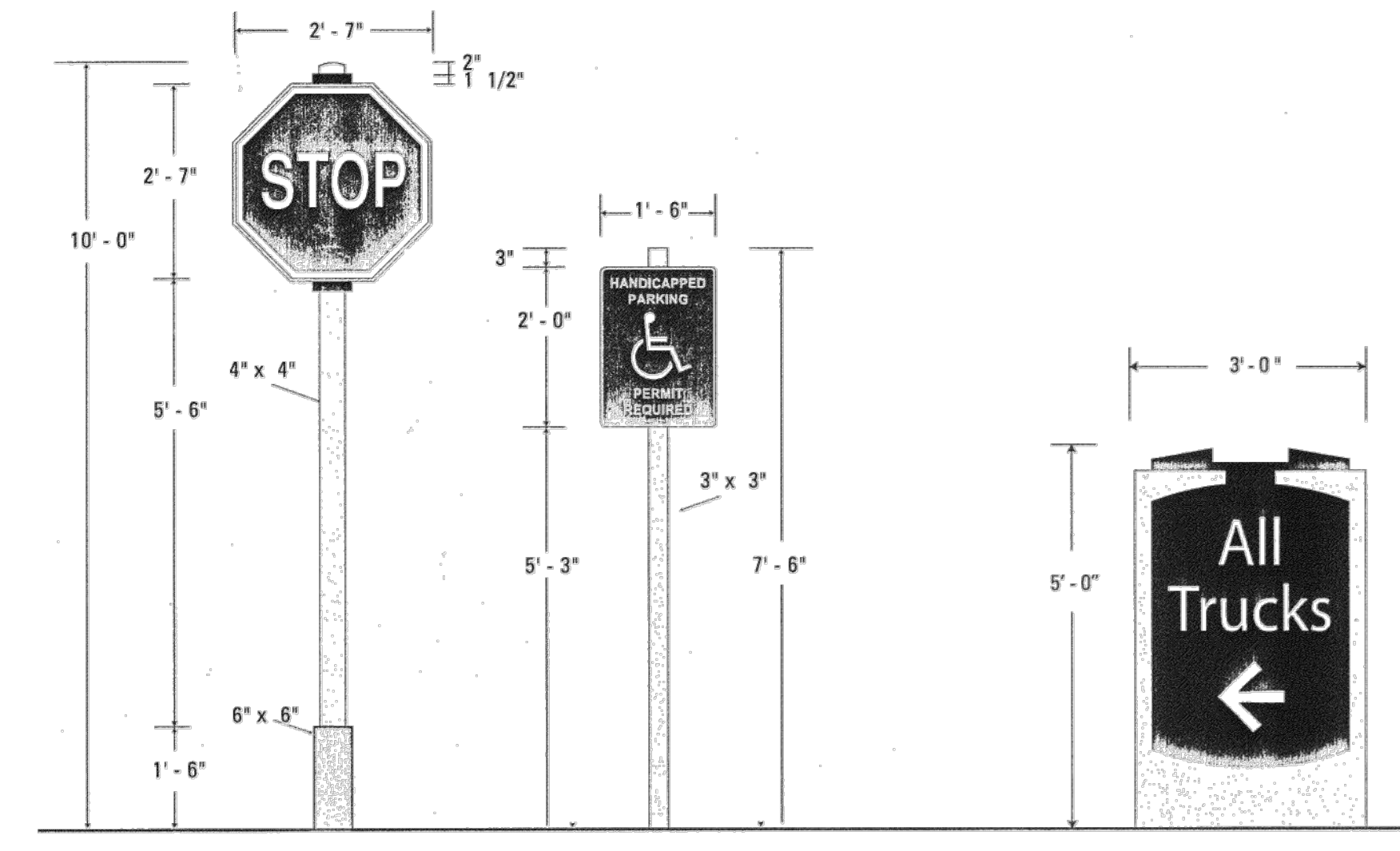
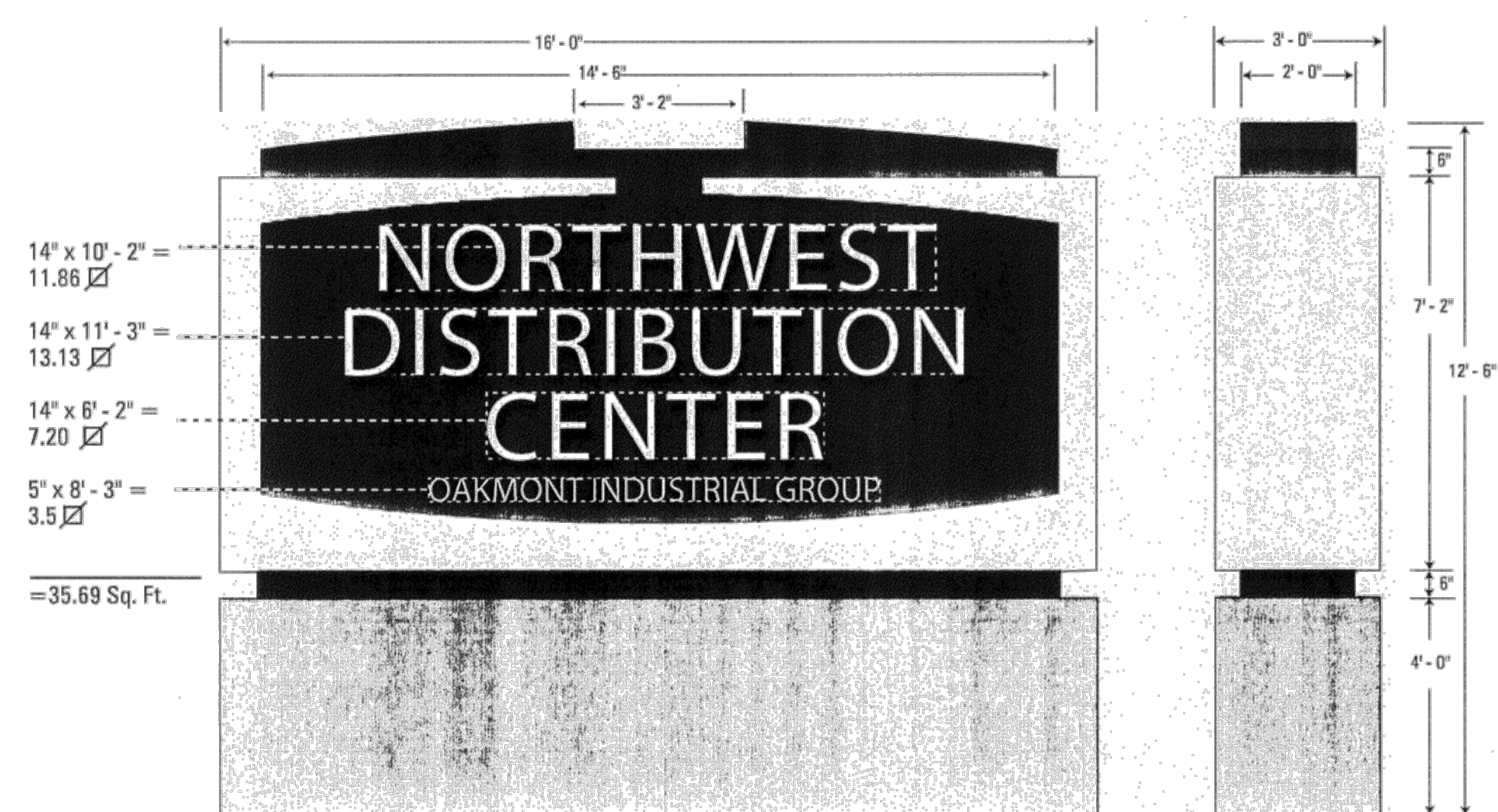
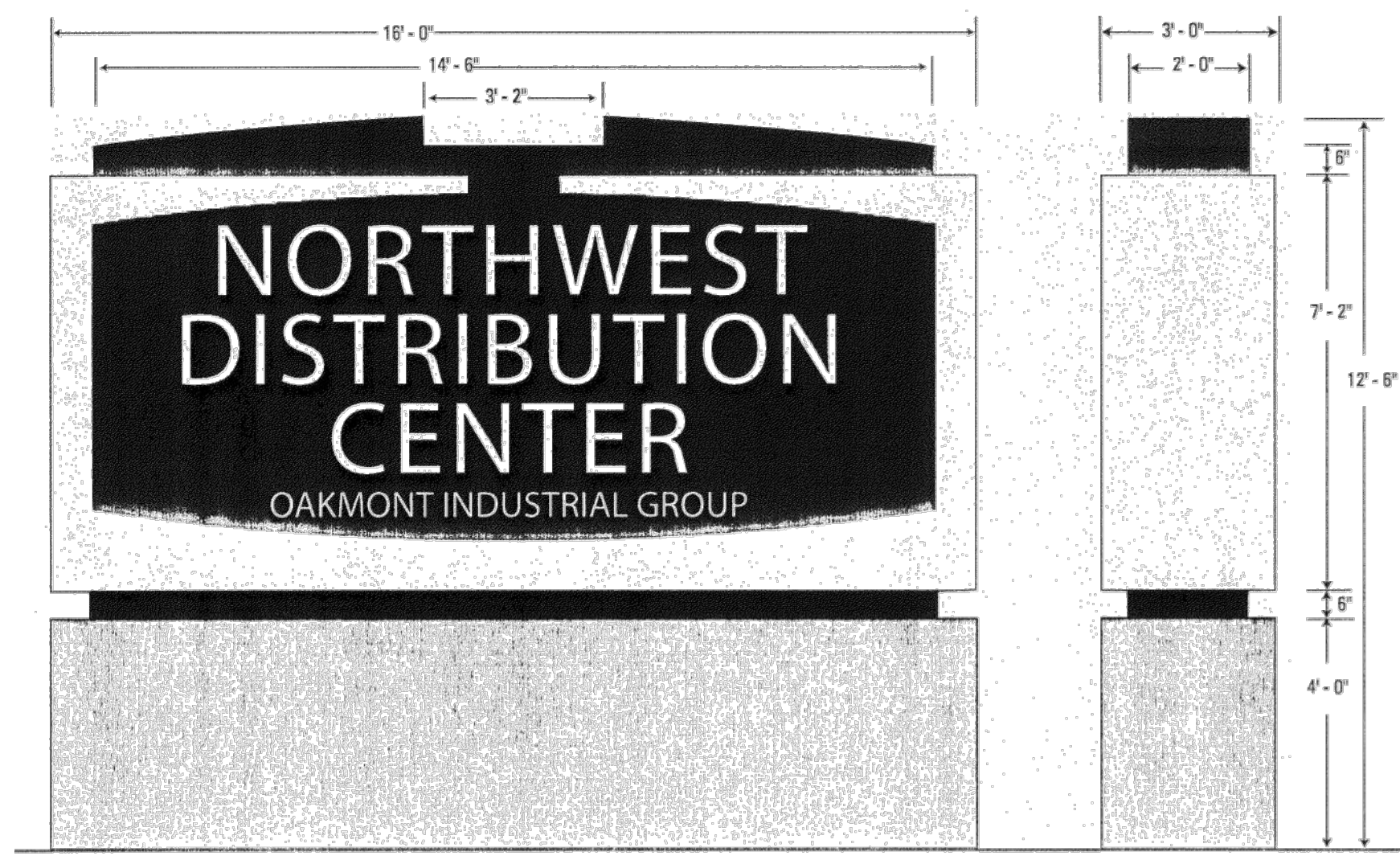
NORTHWEST DISTRIBUTION CENTER - BUILDING D

GENERAL DETAILS

JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	07-01-2016
SHEET:	C-301

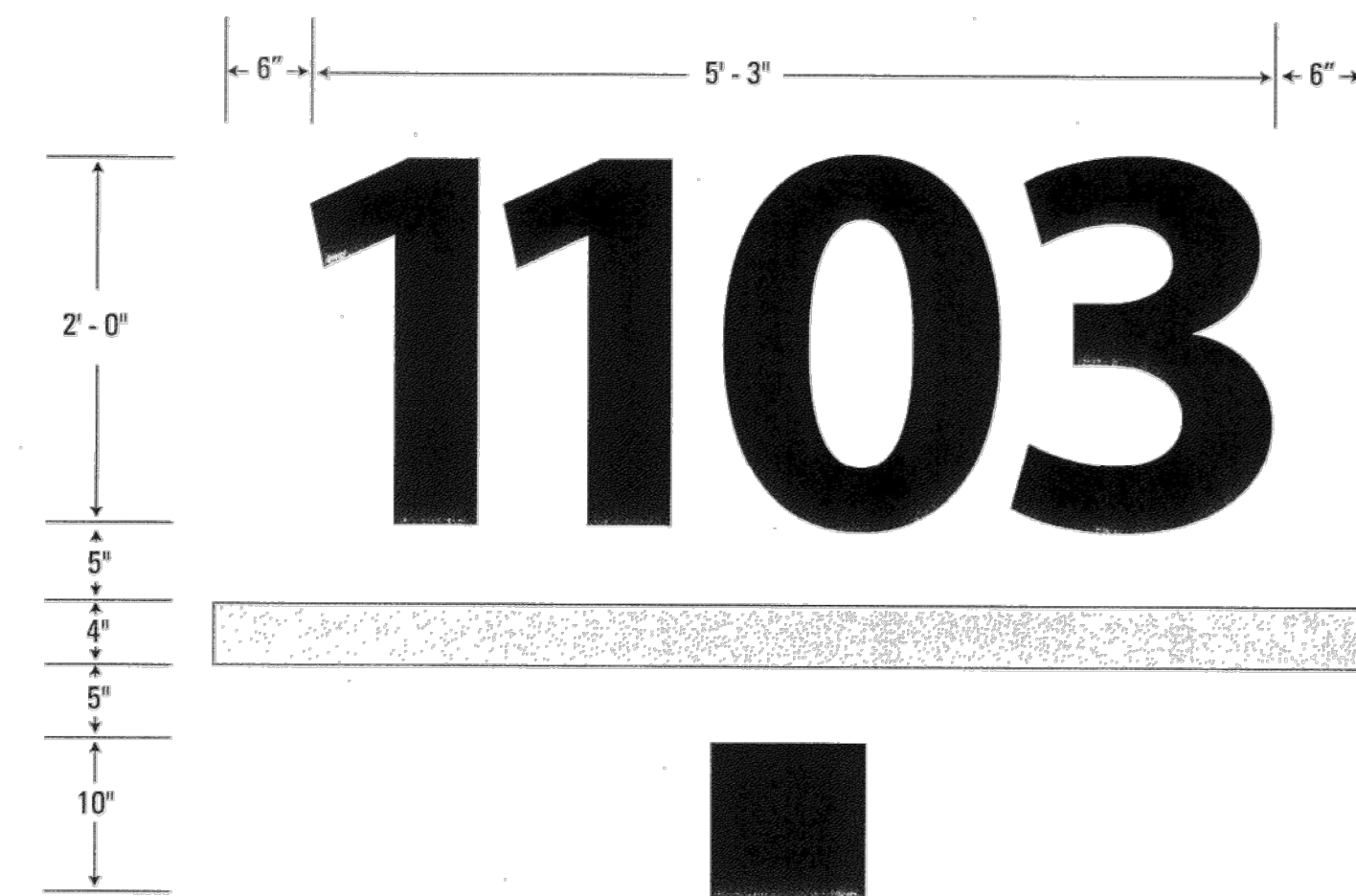
NOT FOR CONSTRUCTION
PRELIMINARY PLANS

JEFFERY W. BANKER, P.E.
REGISTRATION No. 64122
DATE:



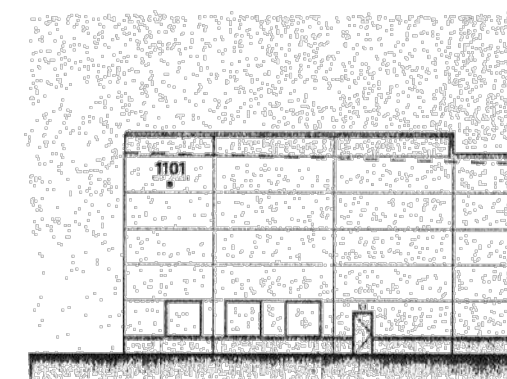
Front Elevation - Quantity: 2 sets

24" high letters to be 1" thick flat cut out Sintra material, painted polyurethane colors as shown, stud mounted to building fascia with 1/2" standoff spacers.

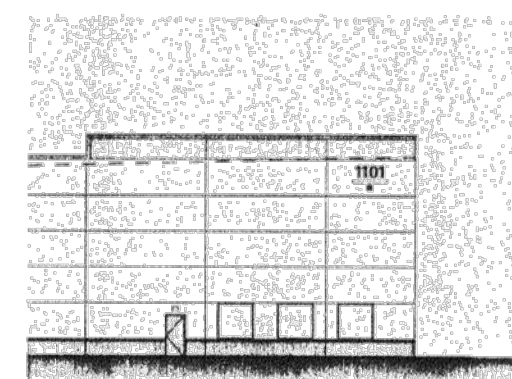


Front Elevation - Quantity: 2 sets
Scale: 1" = 1'-0"

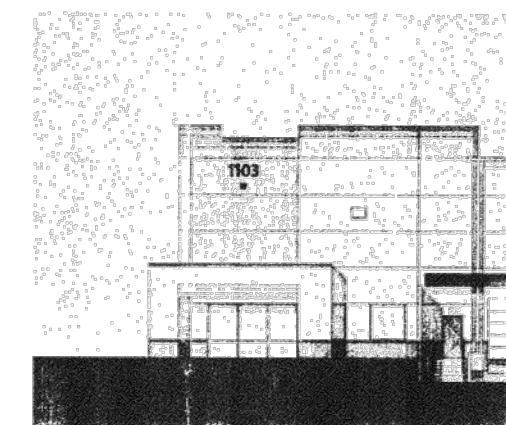
24" high letters to be 1" thick flat cut out Sintra material, painted polyurethane colors as shown, stud mounted to building fascia with 1/2" standoff spacers.



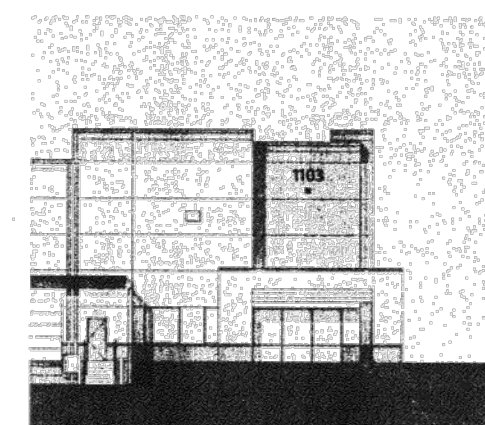
South Elevation



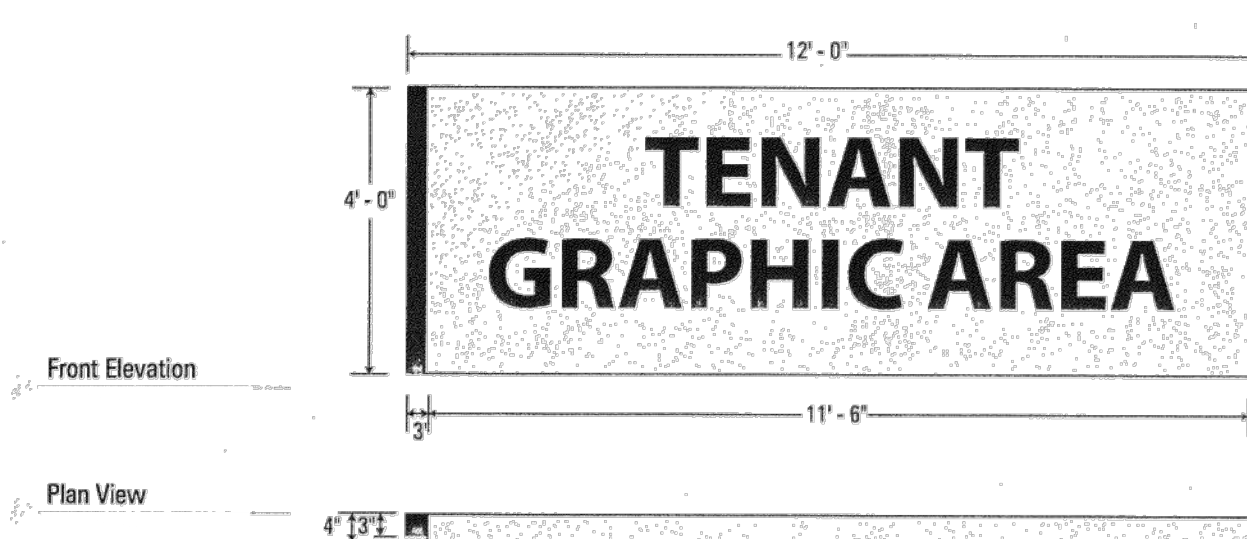
North Elevation



West Elevation - North End

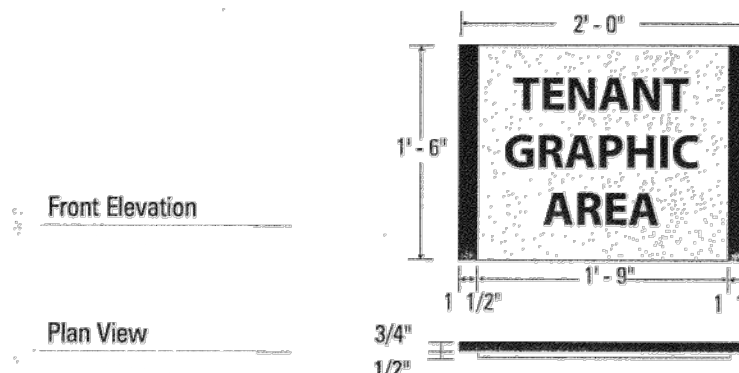


West Elevation - South End



Tenant Identification Wall Sign

Sign to be aluminum frame construction with .125 seamless aluminum face surface. No exposed fasteners on face surface. Colors must match Oakmont gray/beige and burgundy building colors using polyurethane satin finish coatings. All tenant graphics to be applied high performance vinyl. Logos allowed in tenant required colors with prior landlord review and approval. Signs attach flush to fascia using non-corrosive concealed hardware. Mounting and lifting clips must not be visible when installation is completed.

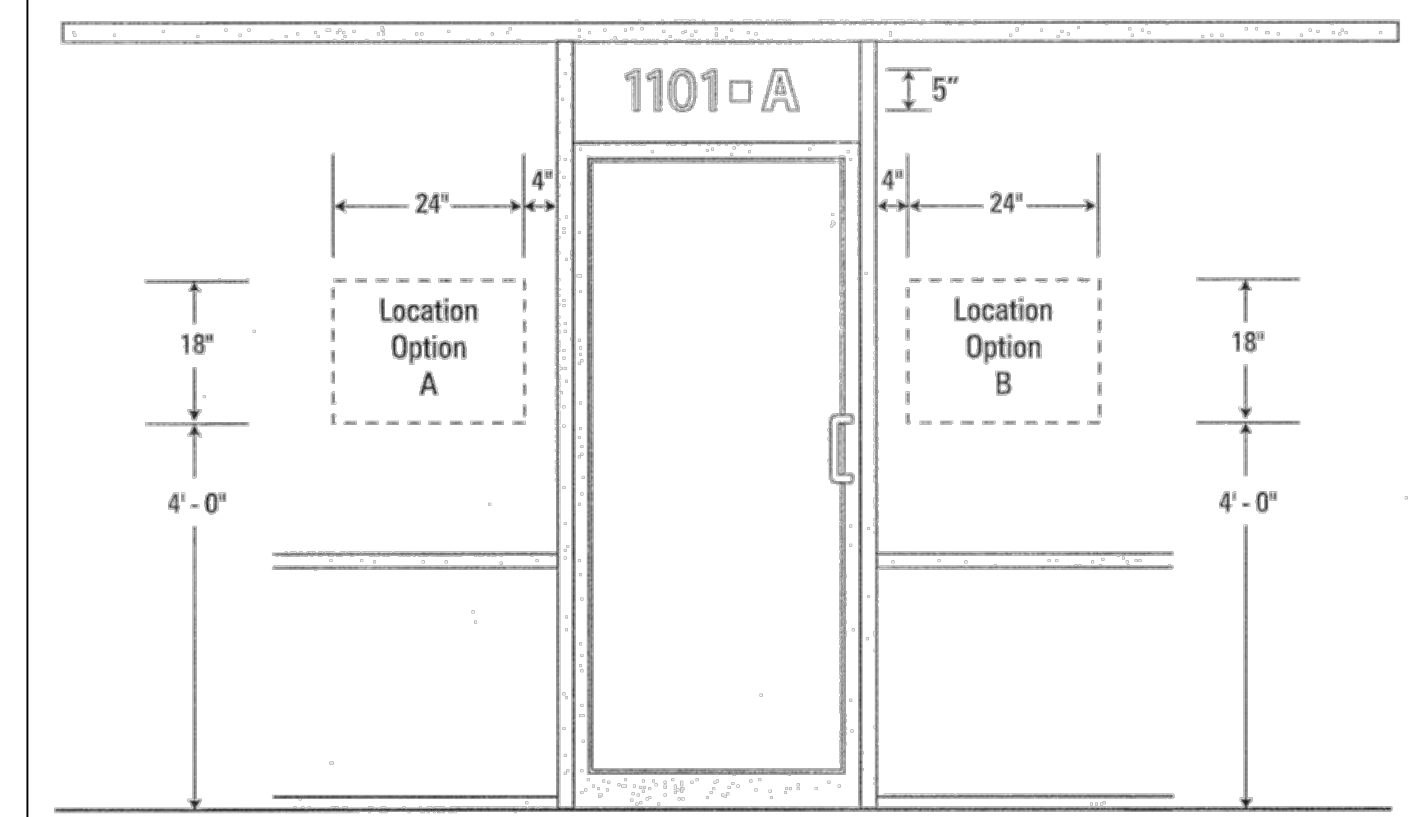


Tenant Rear Suite Entrance Identification w/ LOGO or LOGOTYPE

Sign to be 3/4" thick PVC "sintra" backing panel with 1/2" thick PVC "sintra" face panel attached. Exposed edges to be filled smooth. Colors must match Oakmont gray/beige and burgundy building colors using polyurethane satin finish coatings. All tenant graphics to be applied high performance vinyl. Logos allowed in tenant required colors with prior landlord review and approval. Signs attach flush to fascia with concealed studs and adhesive. No exposed fasteners.

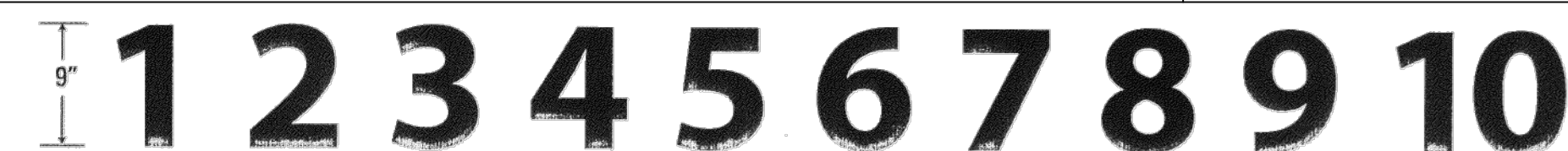
For pricing and information, contact:
ATLANTA SIGN SERVICES, INC.
4705-C Bakers Ferry Road Atlanta, GA 30336
Phone 404-691-7811 Fax 404-691-7849

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ATLANTA SIGN SERVICES, INC.
4705-C Bakers Ferry Road Atlanta, GA 30336
Phone 404-691-7811 Fax 404-691-7849



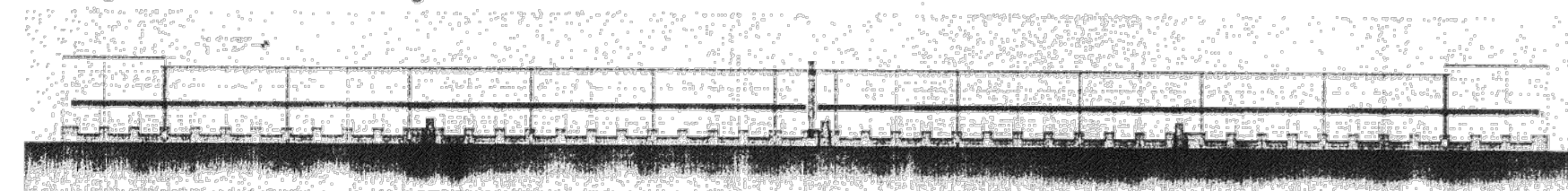
Tenant Front Entrance Identification

All front entrance graphics to be applied to front surface of glass to fit into area not to exceed 18" high x 24" wide. High performance vinyl (matte white color ONLY) computer cut from standard typeset or corporate standard logo/logotypes. Location option as above to be determined by best visibility condition.

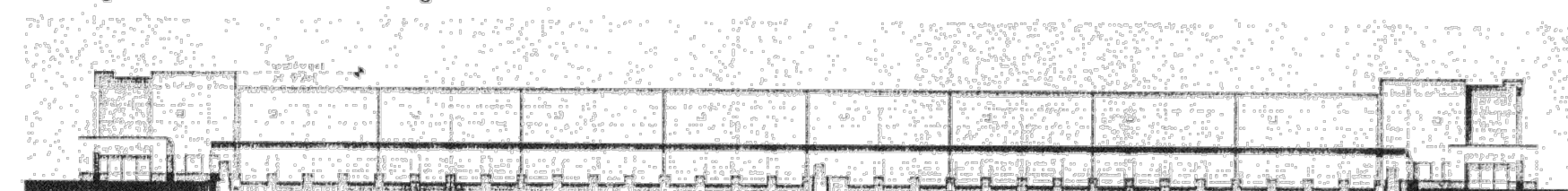


Dock numbers to be 1/2" thick flat cut out sintra material, painted black. All numbers stud mounted flush to wall above dock doors.

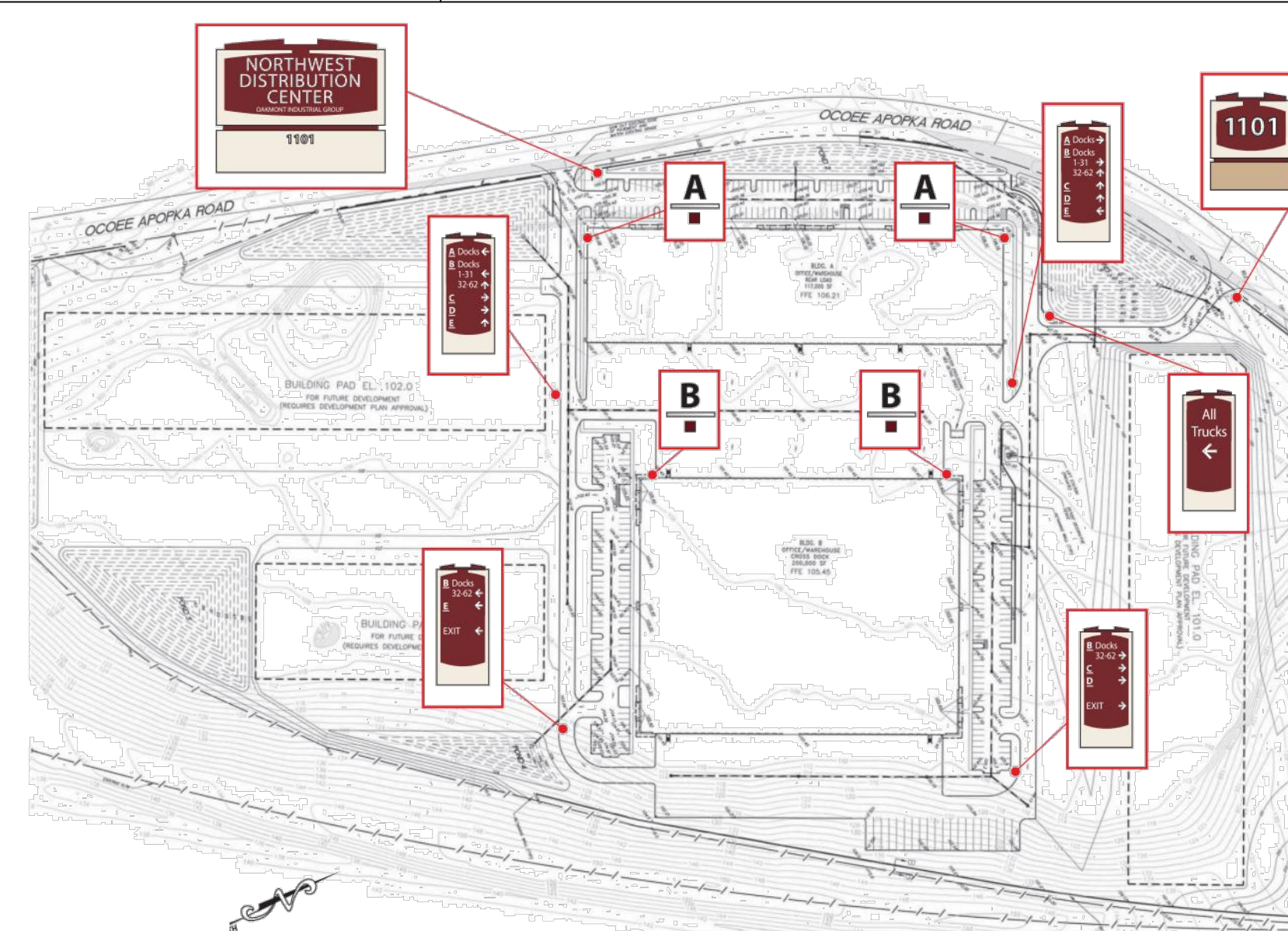
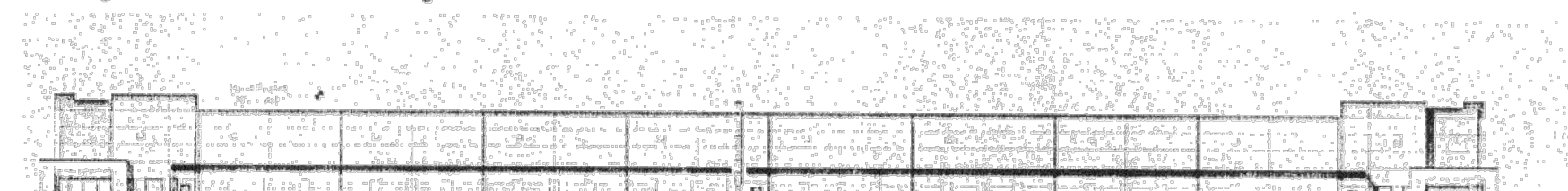
Building A - East Elevation - 1 through 45



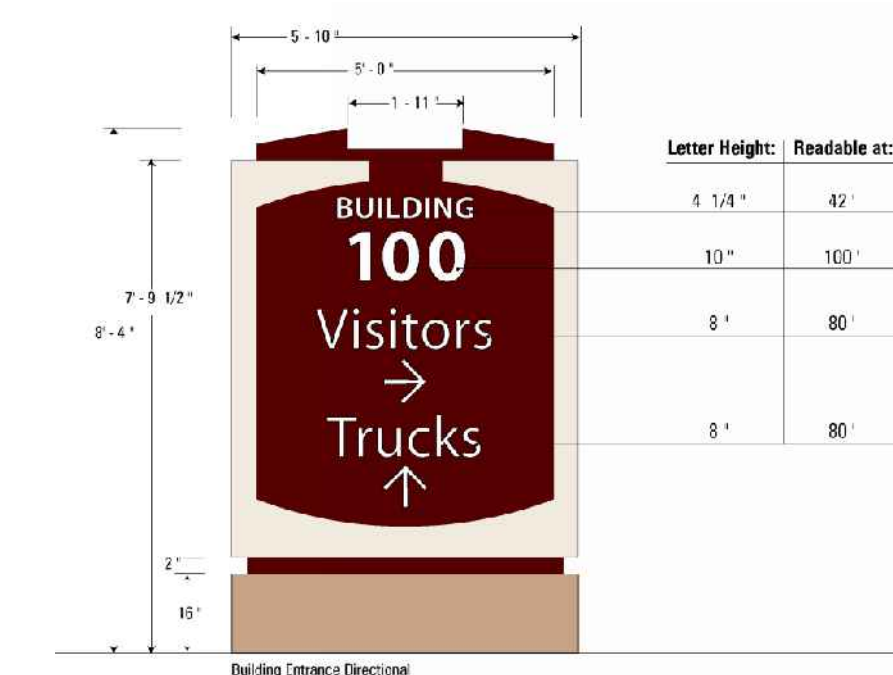
Building B - West Elevation - 1 through 31



Building B - East Elevation - 32 through 62



NOTE: SEE SITE PLAN FOR BUILDING D DIRECTIONAL SIGNS AND ARCHITECTURAL ELEVATION PLANS FOR BUILDING SIGNAGE



PREVIOUSLY APPROVED SIGNAGE DETAILS

NORTHWEST DISTRIBUTION CENTER - BUILDING D

BUILDING & SIGNAGE DETAILS

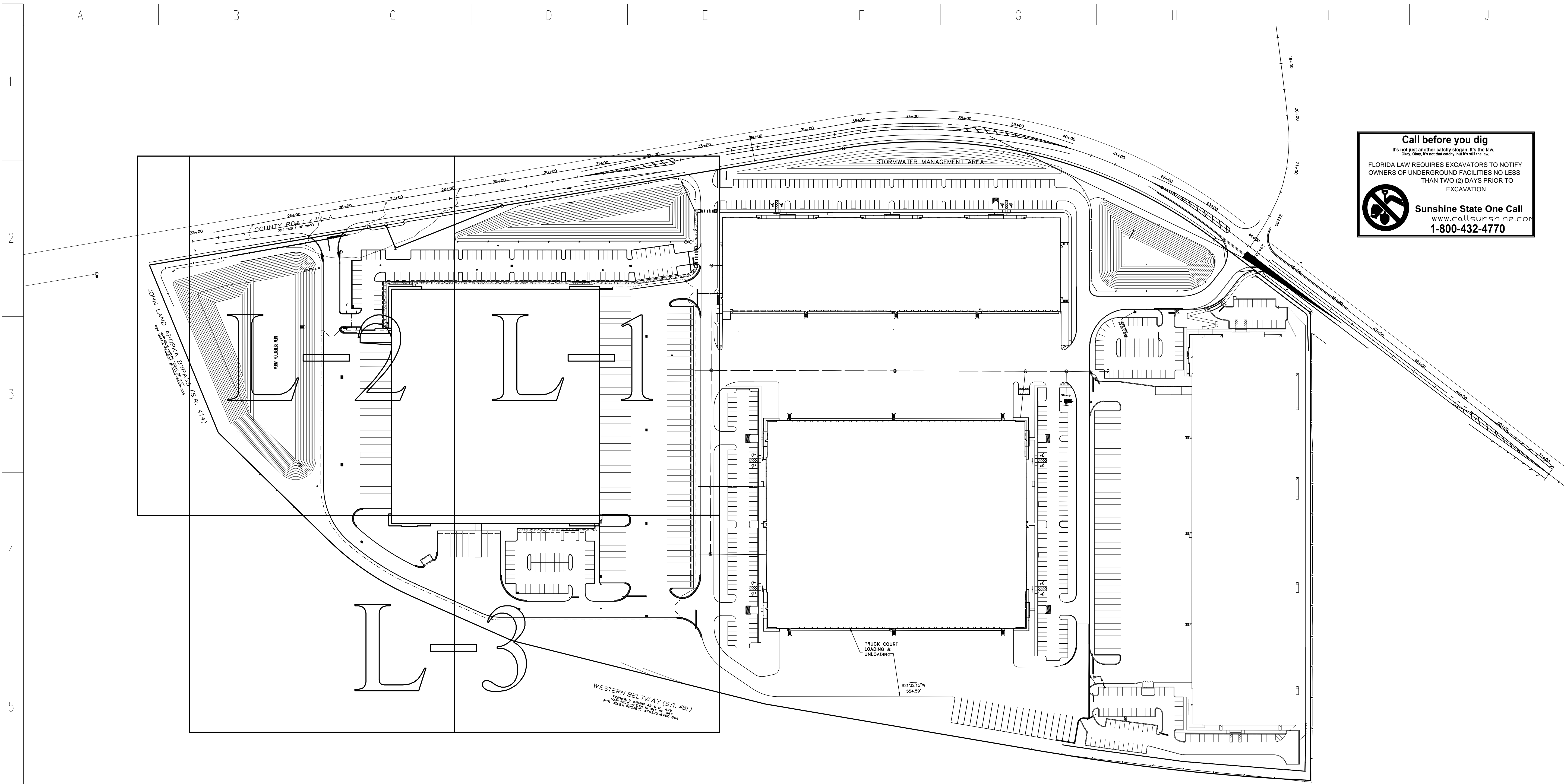
HEI
HIGHLAND
ENGINEERING, INC.
70 WEST ULIANA ST.
Orlando, Florida 32806
Office: (407) 275-7877
Fax: (407) 275-7901
CA No. 27612

JOB No.: OIG-002.04
DESIGNED BY: JB
DRAWN BY: DB
APPROVED BY: JB
DATE: 07-01-2016
SHEET: C-302

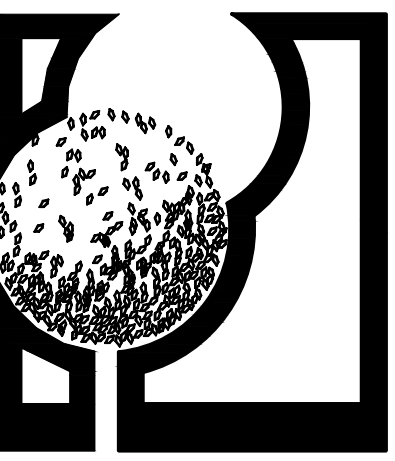
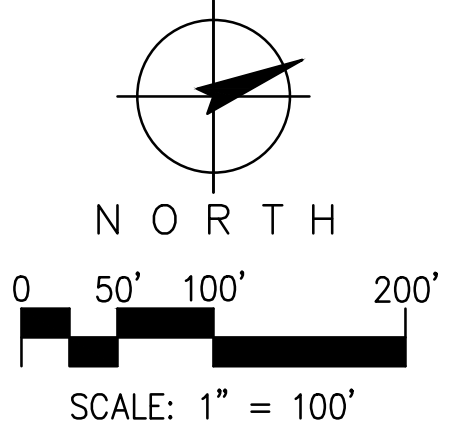
NOT FOR CONSTRUCTION
PRELIMINARY PLANS

JEFFERY W. BANKER, P.E.
REGISTRATION No. 64122

DATE:



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 FLORIDA LAW REQUIRES EXCAVATORS TO NOTIFY OWNERS OF UNDERGROUND FACILITIES NO LESS THAN TWO (2) DAYS PRIOR TO EXCAVATION
 **Sunshine State One Call**
 www.callsunshine.com
 1-800-432-4770



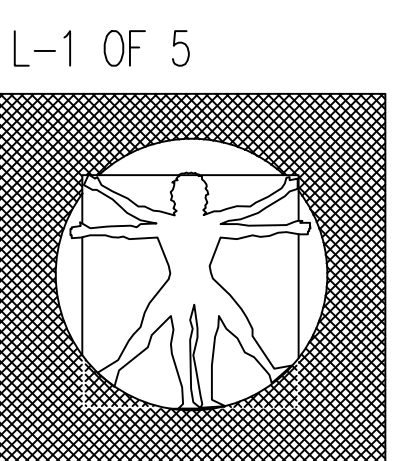
DALE & COMPANY
 651 North Mills Avenue Orlando, Florida 32803 telephone (407) 894-1317
 Landscape Architecture Analysis Planning

COVER SHEET FOR
NW DISTRIBUTION CENTER - BLD. D FLORIDA
 CITY OF APOPKA

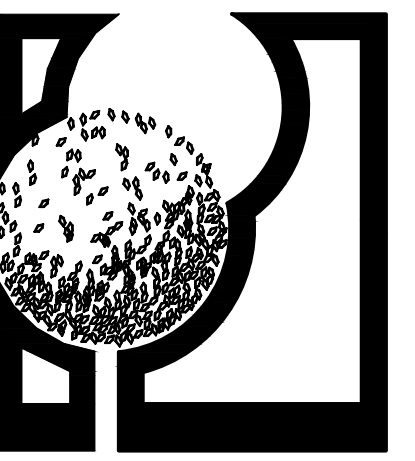
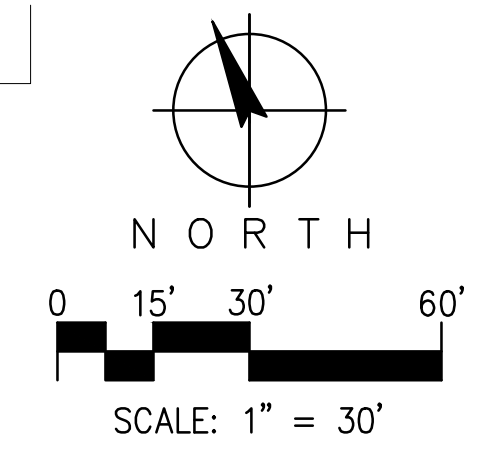
DESIGNED BY: RCD
 DRAWN BY: RSH
 CHECKED BY: RCD
 DATE: 06-14-16

- REVISIONS
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 - 3.
 - 4.
 - 5.
 - 6.

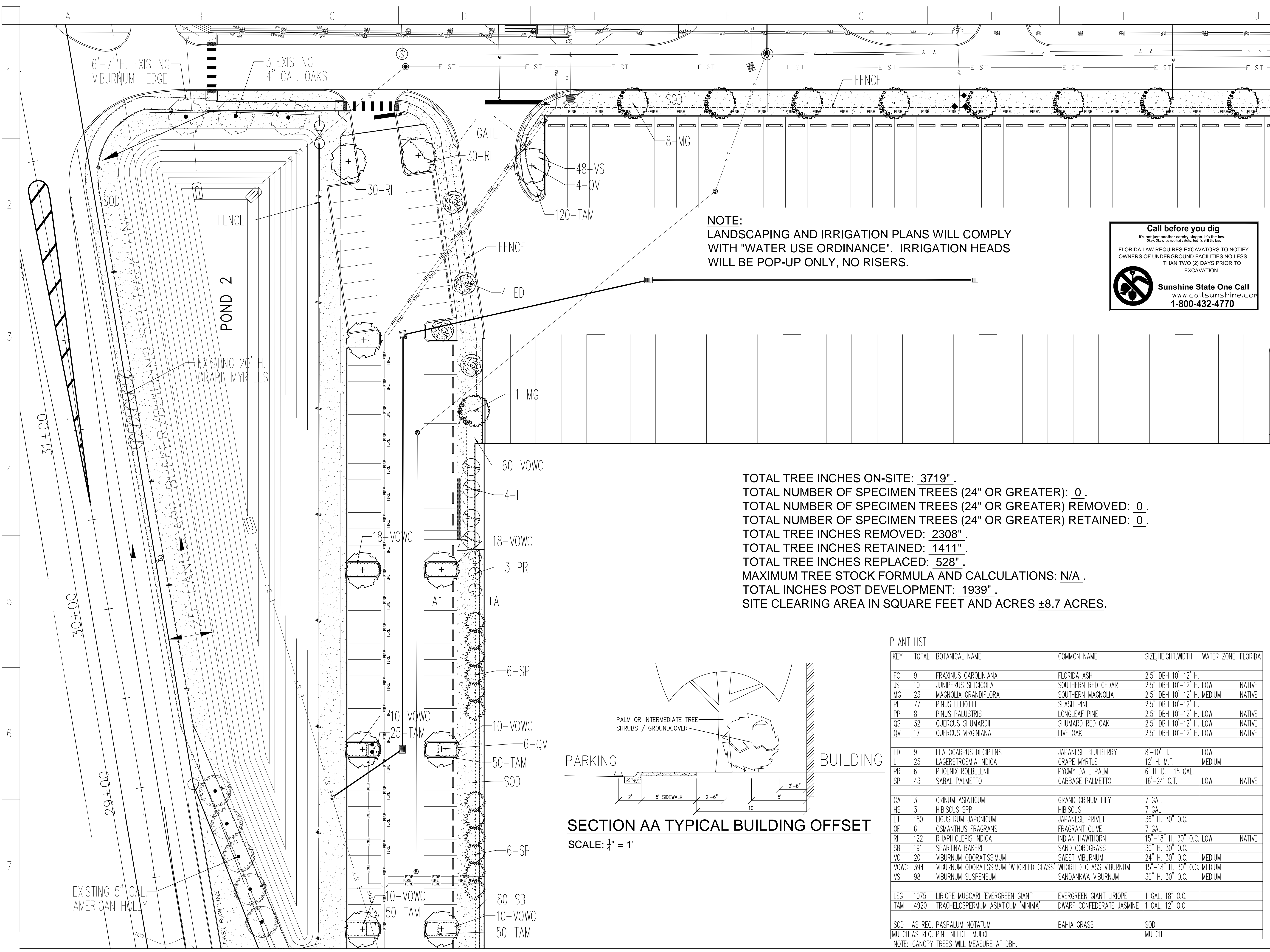
PRELIMINARY LANDSCAPE PLAN
FOR
NORTHWEST DISTRIBUTION CENTER - BLD. D



L-1 OF 5



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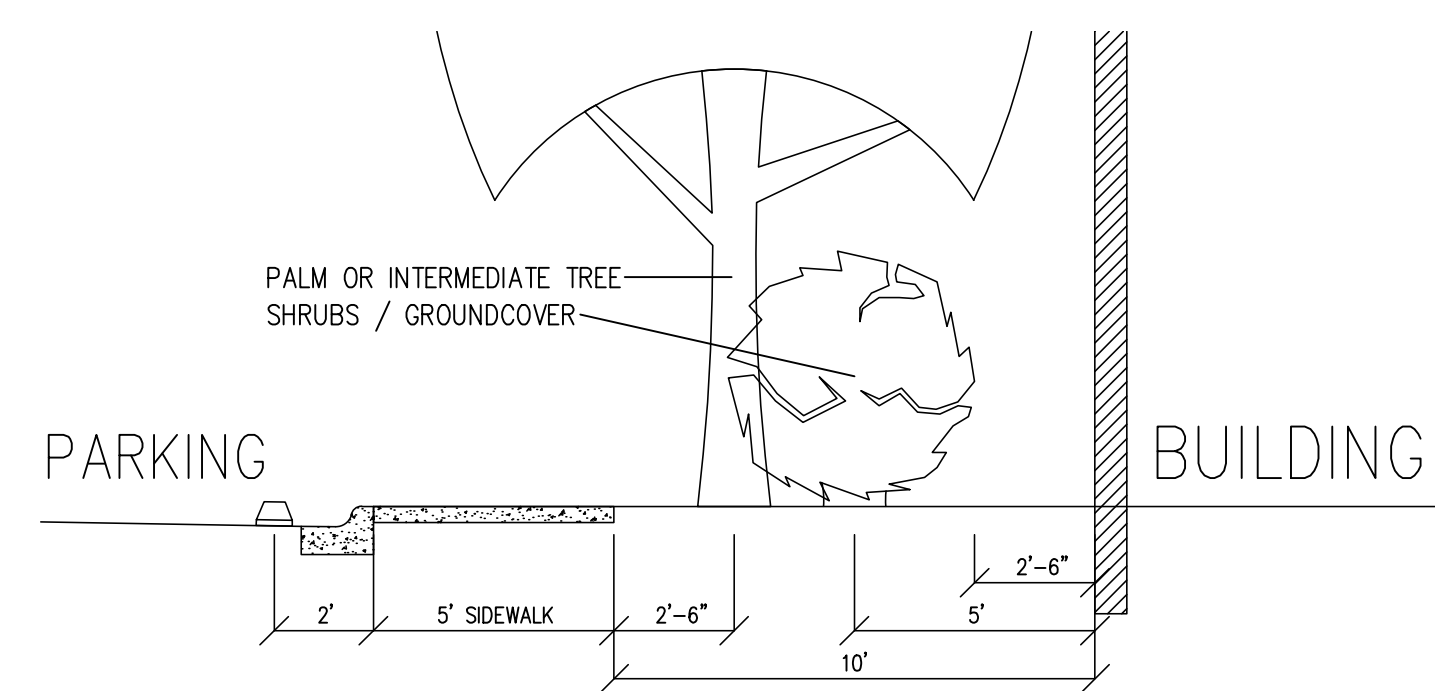


NOTE:
 LANDSCAPING AND IRRIGATION PLANS WILL COMPLY WITH "WATER USE ORDINANCE". IRRIGATION HEADS WILL BE POP-UP ONLY, NO RISERS.

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Sunshine State One Call
 www.callsunshine.com
 1-800-432-4770

TOTAL TREE INCHES ON-SITE: 3719".
 TOTAL NUMBER OF SPECIMEN TREES (24" OR GREATER): 0.
 TOTAL NUMBER OF SPECIMEN TREES (24" OR GREATER) REMOVED: 0.
 TOTAL NUMBER OF SPECIMEN TREES (24" OR GREATER) RETAINED: 0.
 TOTAL TREE INCHES REMOVED: 2308".
 TOTAL TREE INCHES RETAINED: 1411".
 TOTAL TREE INCHES REPLACED: 528".
 MAXIMUM TREE STOCK FORMULA AND CALCULATIONS: N/A.
 TOTAL INCHES POST DEVELOPMENT: 1939".
 SITE CLEARING AREA IN SQUARE FEET AND ACRES ±8.7 ACRES.



PLANT LIST

KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH	WATER ZONE	FLORIDA
FC	9	FRAXINUS CAROLINIANA	FLORIDA ASH	2.5" DBH 10'-12' H.		
JS	10	JUNIPERUS SILICICOLA	SOUTHERN RED CEDAR	2.5" DBH 10'-12' H.	LOW	NATIVE
MG	23	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	2.5" DBH 10'-12' H.	MEDIUM	NATIVE
PE	77	PINUS ELLIOTII	SLASH PINE	2.5" DBH 10'-12' H.		
PP	8	PINUS PALUSTRIS	LONGLEAF PINE	2.5" DBH 10'-12' H.	LOW	NATIVE
QS	32	QUERCUS SHUMARDII	SHUMARD RED OAK	2.5" DBH 10'-12' H.	LOW	NATIVE
QV	17	QUERCUS VIRGINIANA	LIVE OAK	2.5" DBH 10'-12' H.	LOW	NATIVE
ED	9	ELAEOCARPUS DECIPIENS	JAPANESE BLUEBERRY	8'-10' H.	LOW	
LI	25	LAGERSTROEMIA INDICA	CRAPE MYRTLE	12" H. M.T.	MEDIUM	
PR	6	PHOENIX ROEBELII	PYGMY DATE PALM	6" H. D.T. 15 GAL.		
SP	43	SABAL PALMETTO	CABBAGE PALMETTO	16'-24" C.T.	LOW	NATIVE
CA	3	CRINUM ASIATICUM	GRAND CRINUM LILY	7 GAL.		
HS	3	HIBISCUS SPP.	HIBISCUS	7 GAL.		
LJ	180	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	36" H. 30" O.C.		
OF	6	OSMANTHUS FRAGRANS	FRAGRANT OLIVE	7 GAL.		
RI	122	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	15'-18" H. 30" O.C.	LOW	NATIVE
SB	191	SPARTINA BAKERI	SAND CORDGRASS	30" H. 30" O.C.		
VO	20	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	24" H. 30" O.C.	MEDIUM	
VOWC	394	VIBURNUM ODORATISSIMUM 'WHORLED CLASS'	WHORLED CLASS VIBURNUM	15'-18" H. 30" O.C.	MEDIUM	
VS	98	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	30" H. 30" O.C.	MEDIUM	
LEG	1075	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LIRIOPE	1 GAL. 18" O.C.		
TAM	4920	TRACHELOSPERMUM ASIATICUM 'MINIMA'	DWARF CONFEDERATE JASMINE	1 GAL. 12" O.C.		
SOD	AS REQ.	PASPALUM NOTATUM	BAHIA GRASS	SOD		
MULCH	AS REQ.	PINE NEEDLE MULCH	MULCH			

NOTE: CANOPY TREES WILL MEASURE AT DBH.

MATCH TO L-4

MATCH TO L-4

MATCH TO L-3

MATCH TO L-3

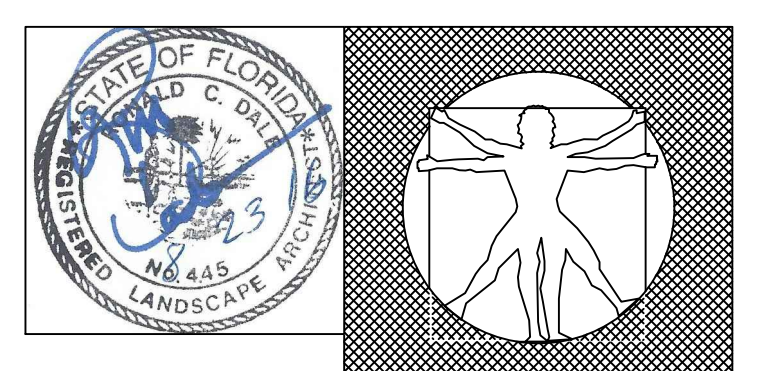
MATCH TO L-3

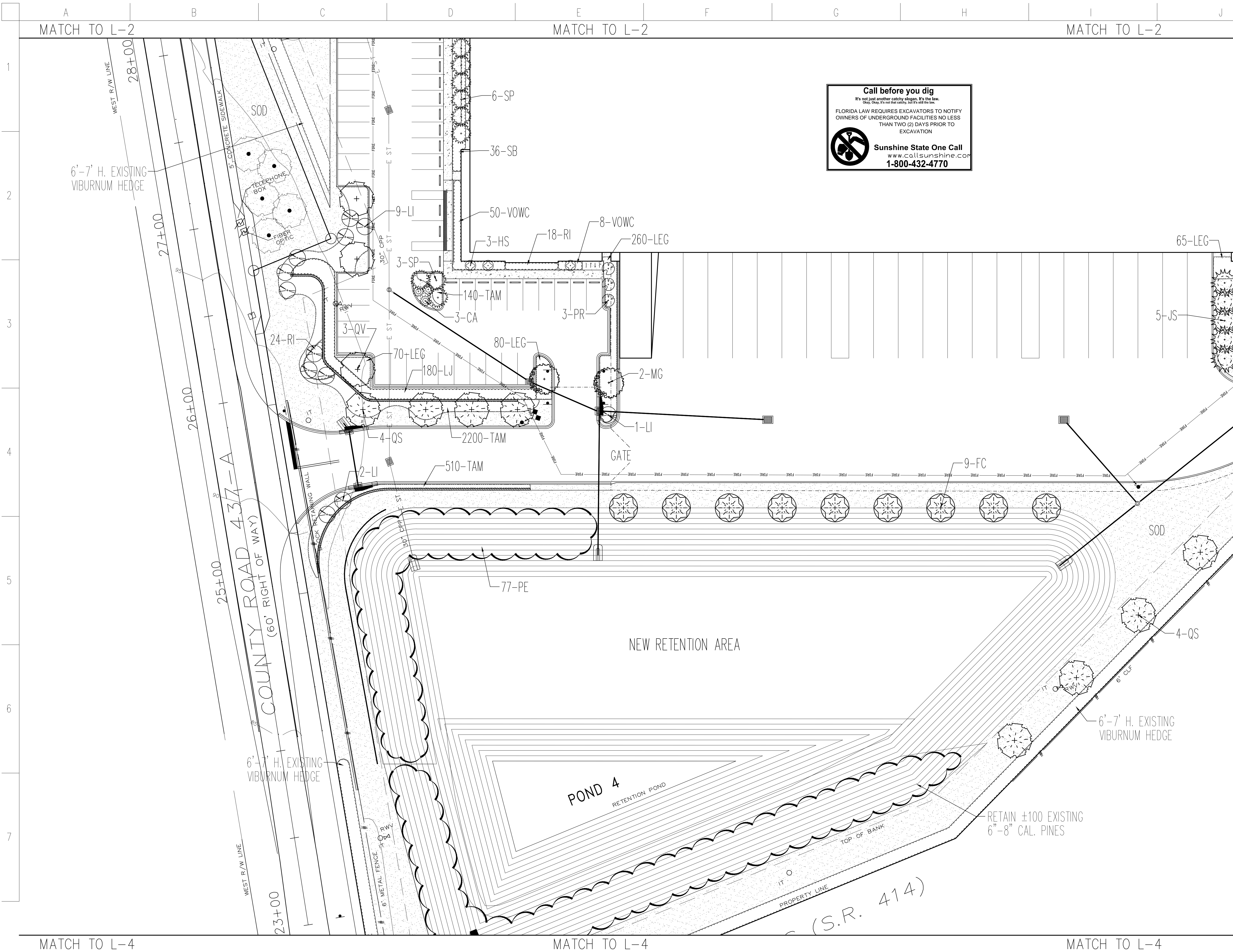
PRELIMINARY LANDSCAPE PLAN FOR
NW DISTRIBUTION CENTER - BLD. D
 FLORIDA
 CITY OF APOPKA

DESIGNED BY: RCD
 DRAWN BY: RSH
 CHECKED BY: RCD
 DATE: 06-14-16

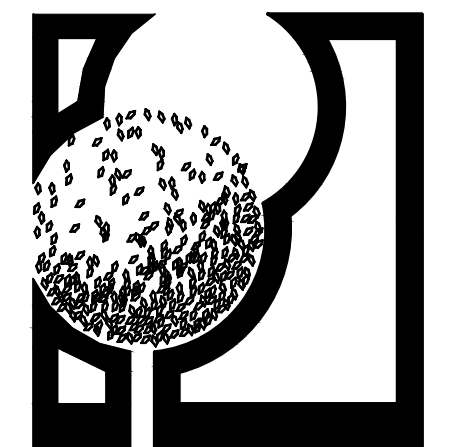
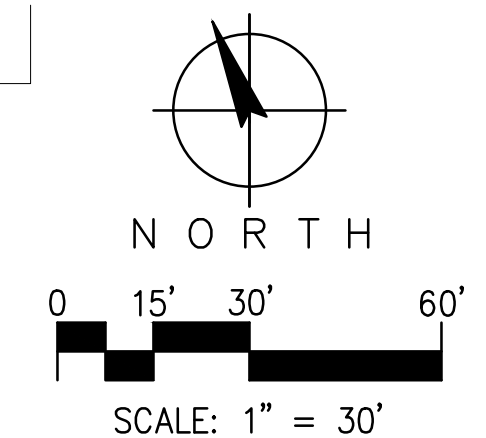
REVISIONS
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L-2 OF 5





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 1-800-432-4770

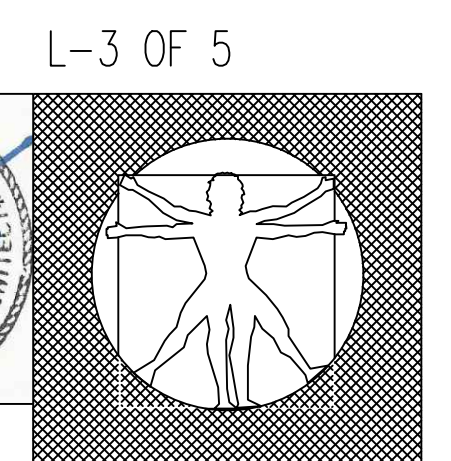


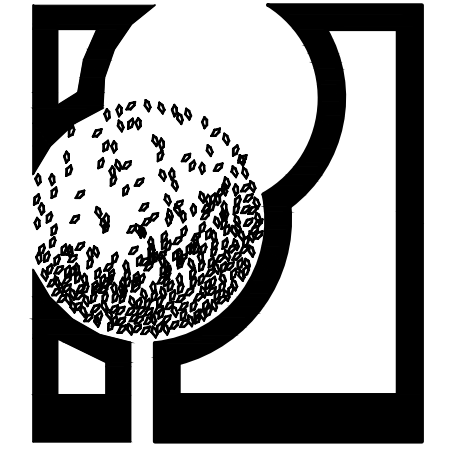
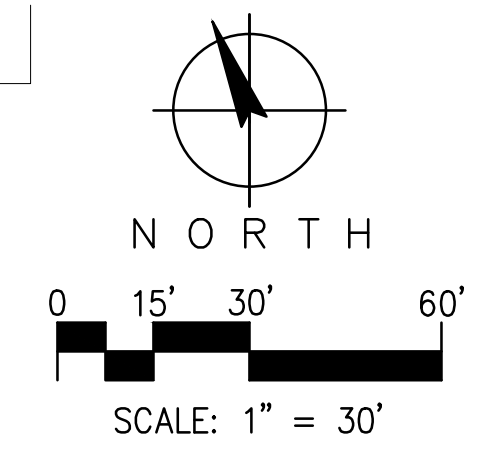
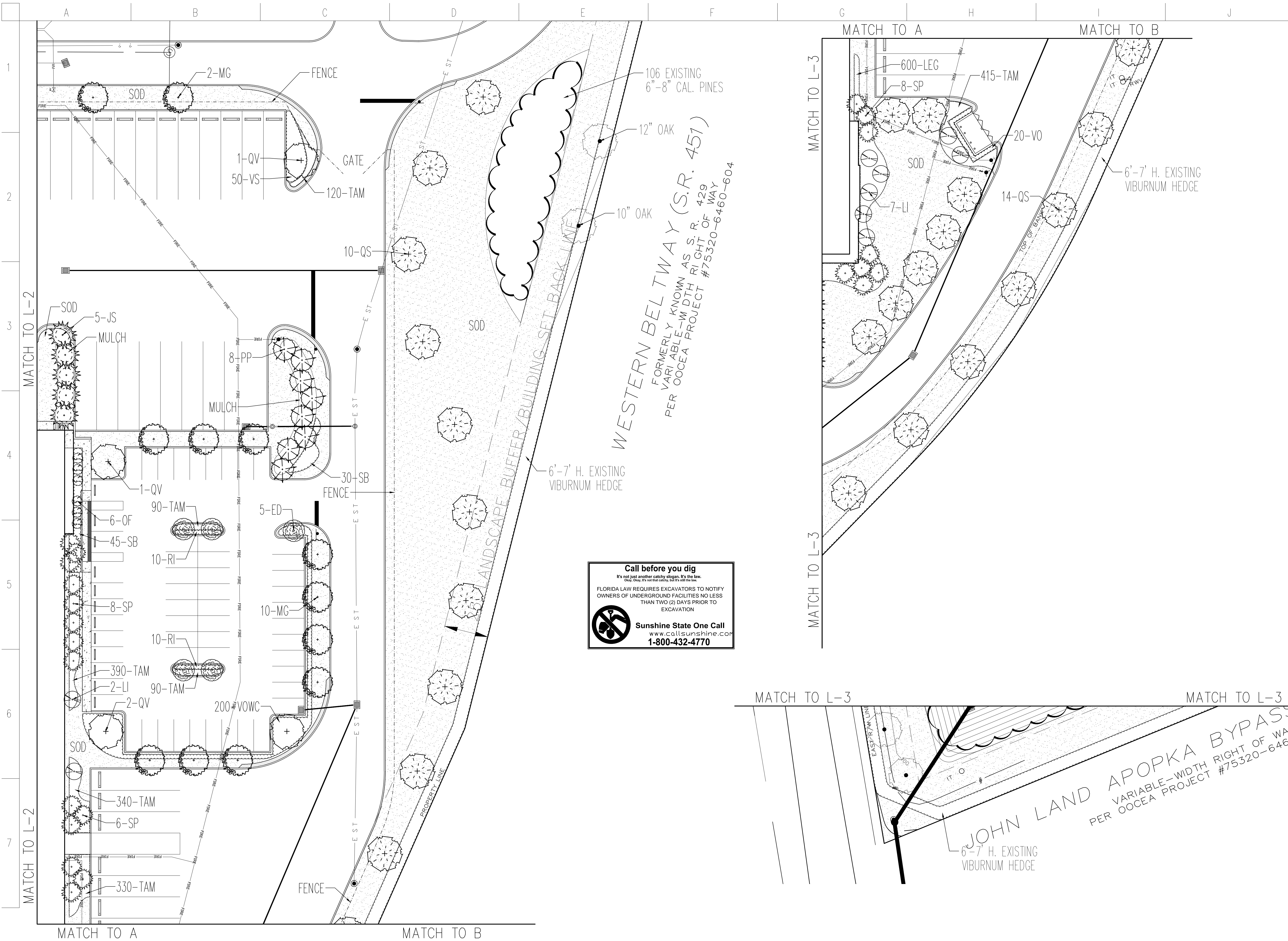
DALE & COMPANY
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 Landscape Architecture Analysis Planning

PRELIMINARY LANDSCAPE PLAN FOR
NW DISTRIBUTION CENTER - BLD. D
 FLORIDA
 CITY OF APOPKA

DESIGNED BY: RCD
 DRAWN BY: RSH
 CHECKED BY: RCD
 DATE: 06-14-16

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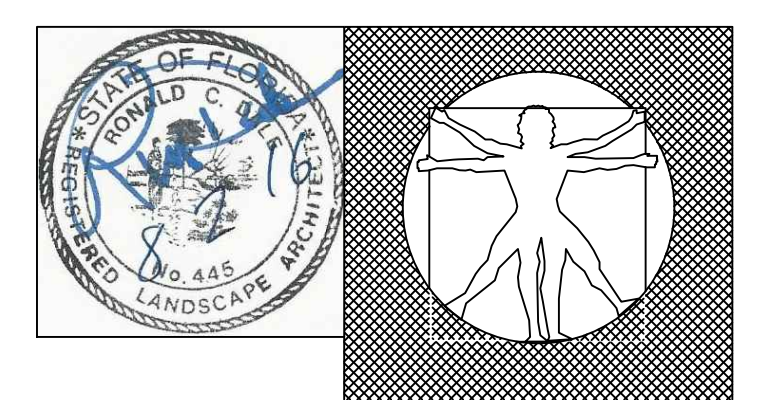
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 1-800-432-4770

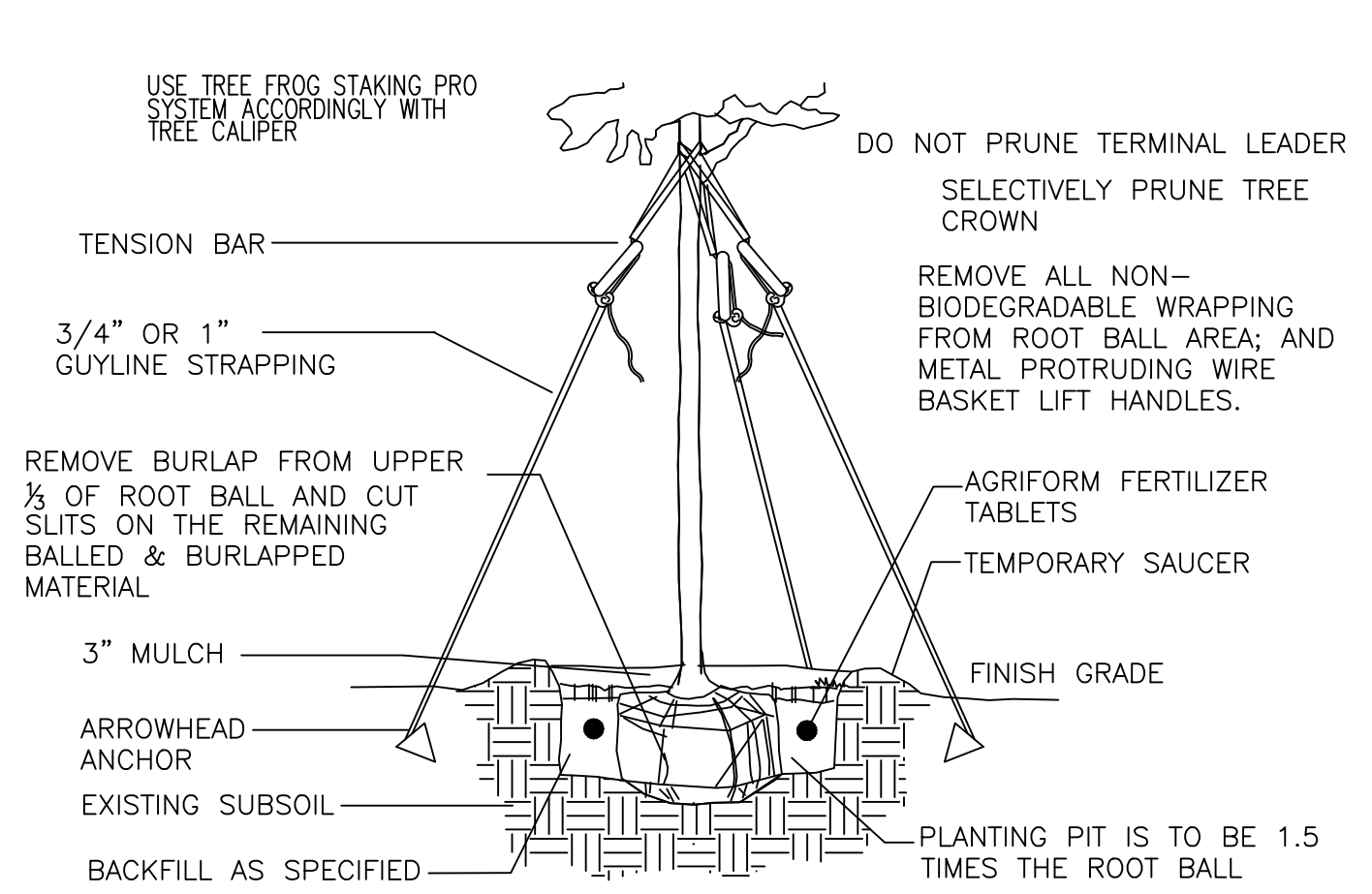
PRELIMINARY LANDSCAPE PLAN FOR
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 FLORIDA
 CITY OF APOPKA

DESIGNED BY: RCD
 DRAWN BY: RSH
 CHECKED BY: RCD
 DATE: 06-14-16

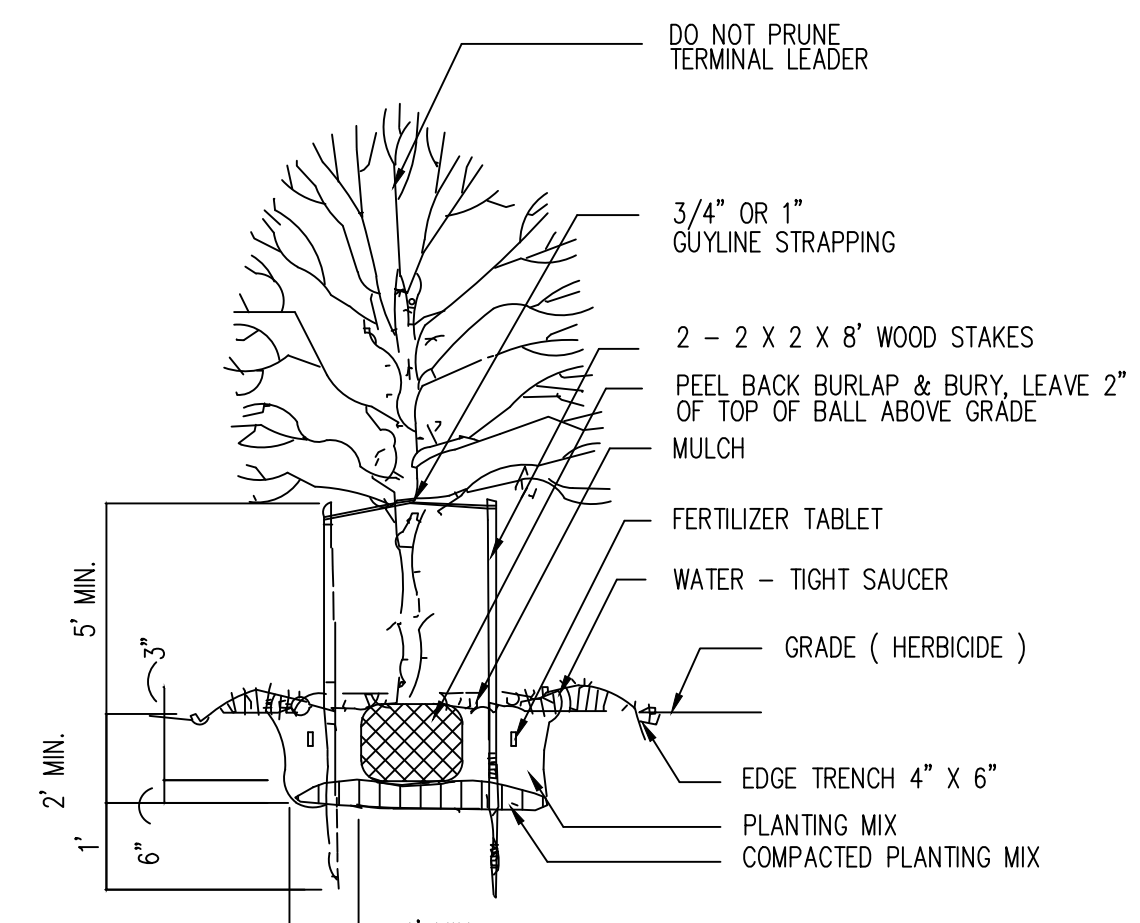
- REVISIONS
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L-4 OF 5

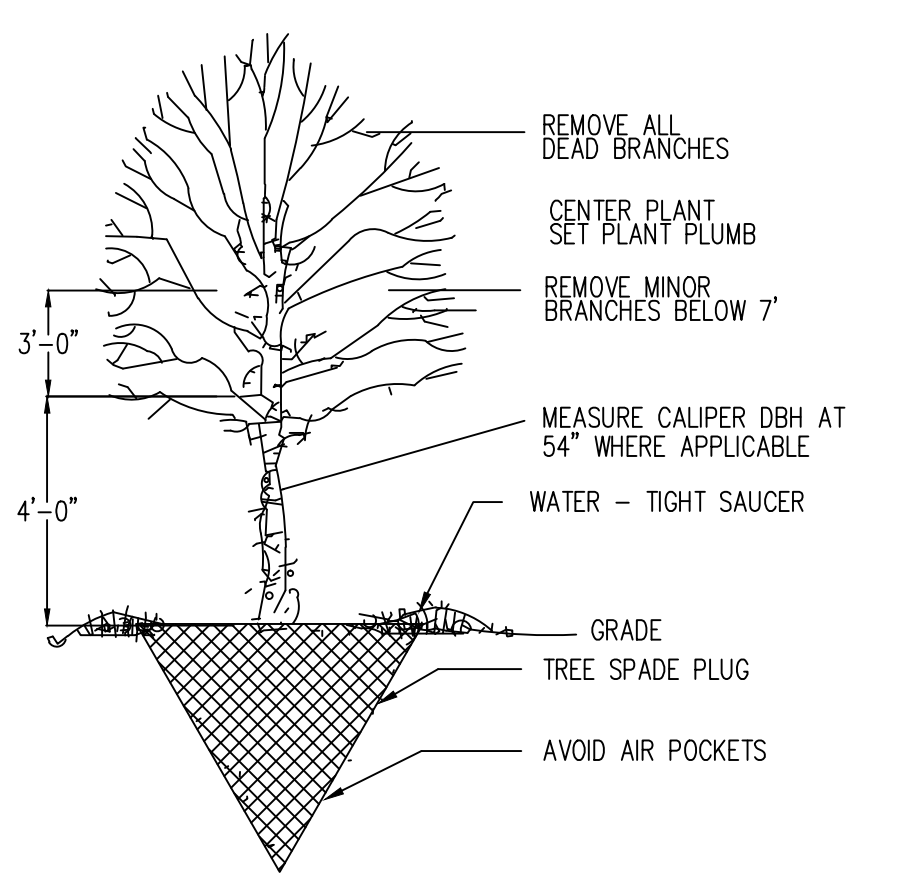




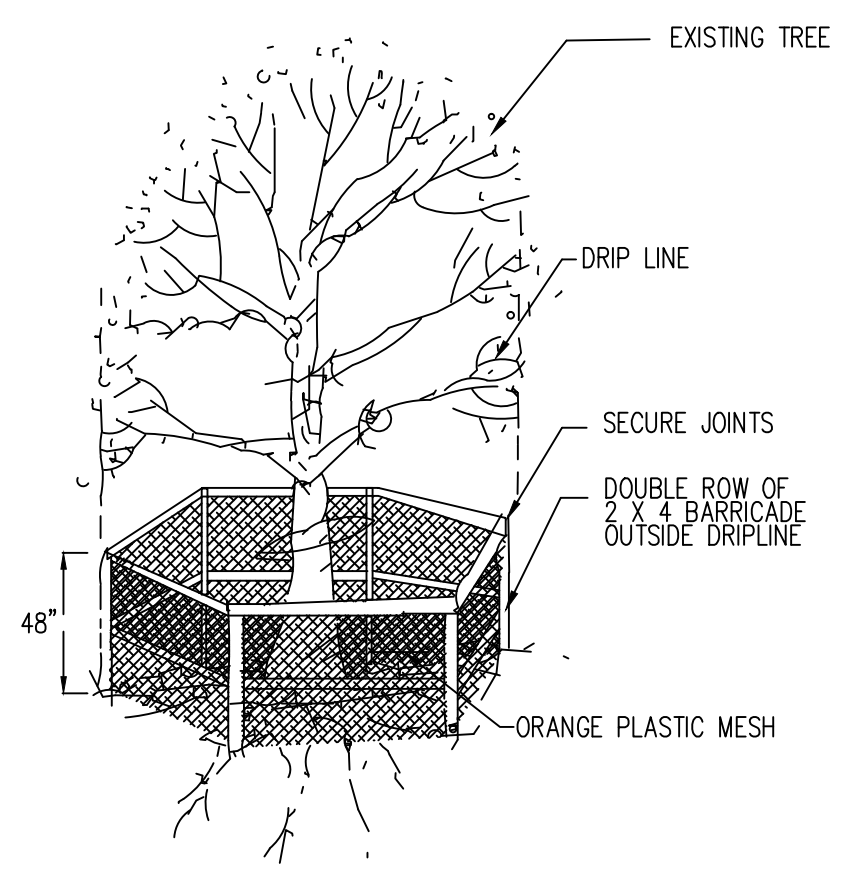
TREE STAKING DETAIL
CONTAINER OR BALL & BURLAP : 3 1/2\"/>



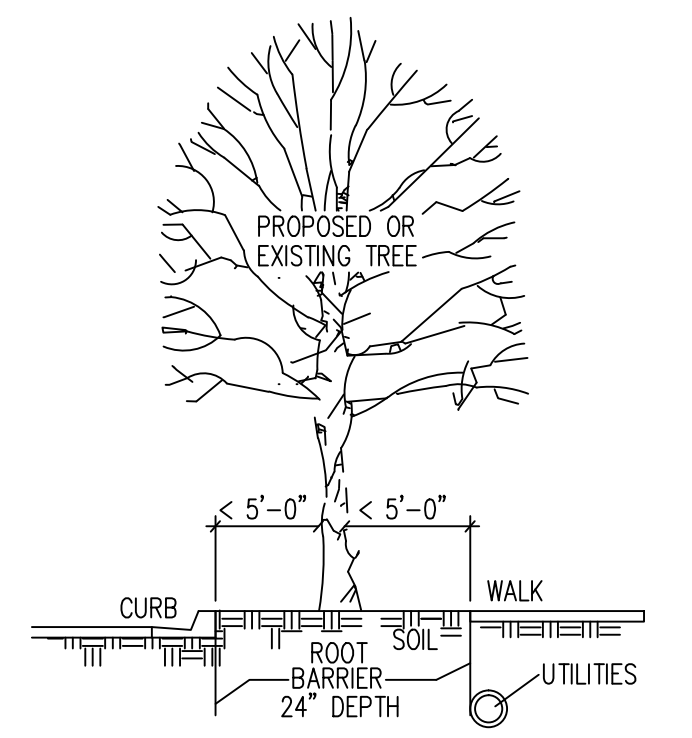
TREE DETAIL
NO SCALE



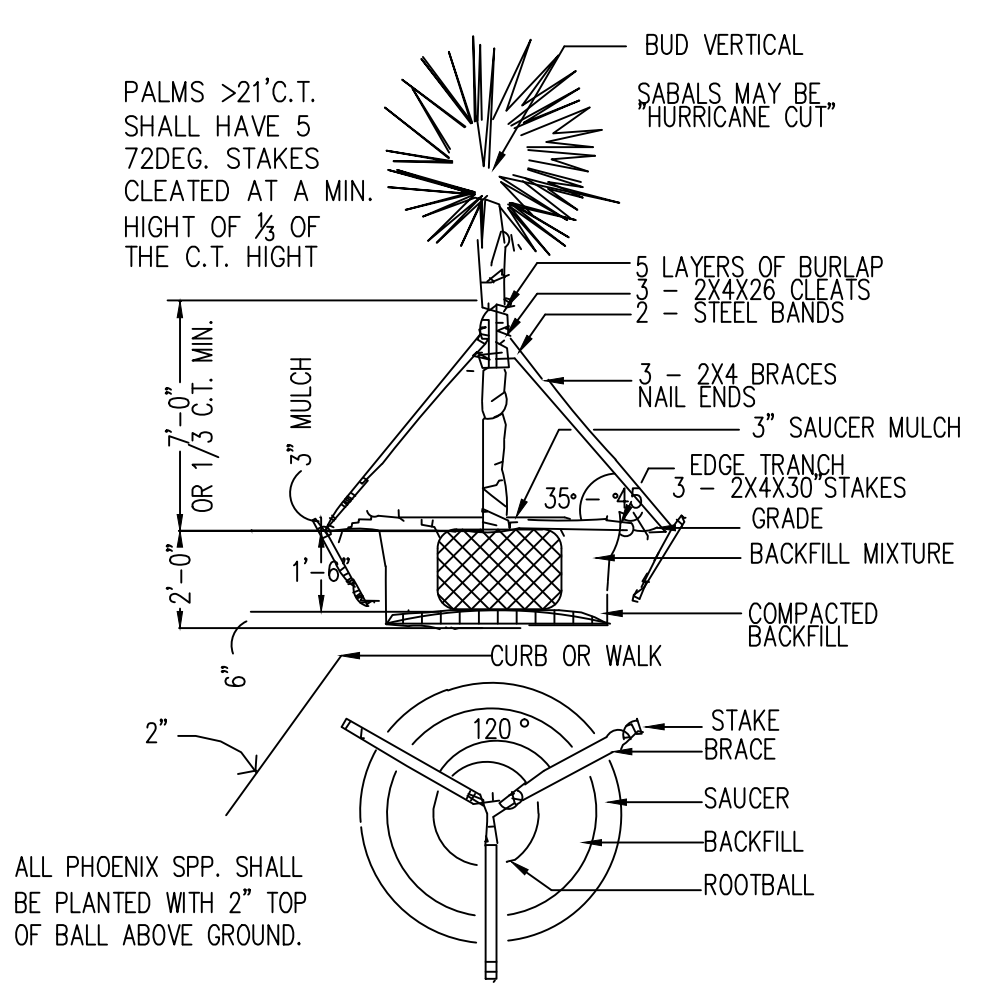
TREE TRANSPLANT DETAIL
NO SCALE



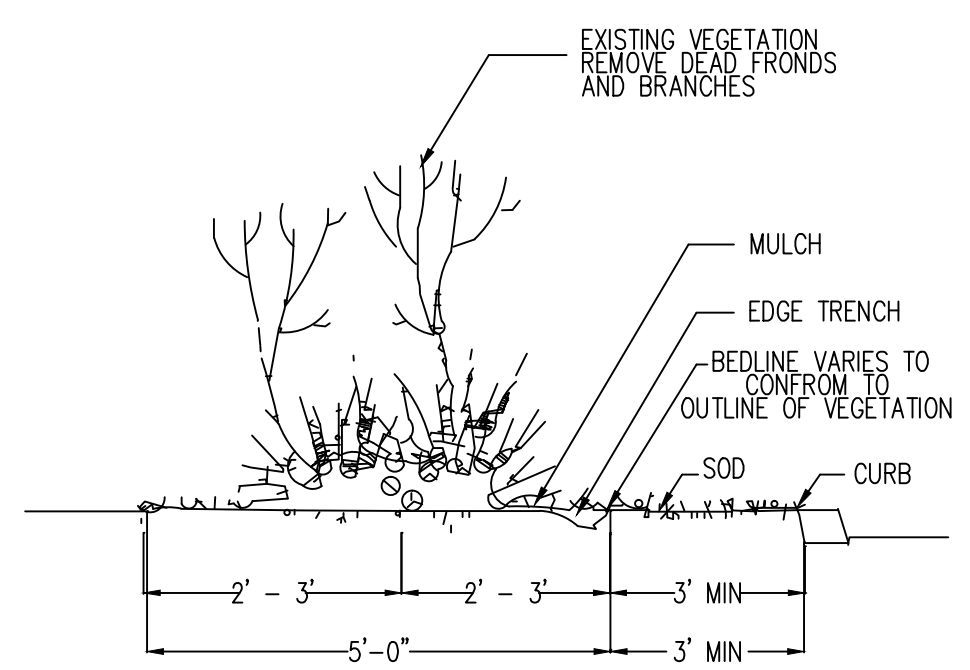
TREE PROTECTION
NO SCALE



ROOT BARRIER DETAIL
NO SCALE



PALM BRACING DETAIL
NO SCALE



SOD DETAIL
NO SCALE

SECTION 02900 LANDSCAPE
PART ONE - GENERAL

- 1.0 SUMMARY**
- A. All portions of Division I - General Requirements are included with this section.
 - B. Furnish all transportation, materials, labor, equipment, taxes, and service to complete all work as shown on the drawings and as specified herein.
 - C. Avoid conditions which will create hazards. Post signs or barriers as required.
 - D. Provide adequate means for protection from damage through excessive erosion, flooding, heavy rains or winds, etc. Repair or replace such damage.
 - E. Plant totals are for the convenience of the Contractor and are not guaranteed. Verify drawings. Planting is required as indicated on drawings.
 - F. Comply with all federal, state and local regulations.
 - G. Contractor shall notify L.A. of any adverse soil conditions encountered i.e. clay, loose fill, high water table or poor drainage and any condition adverse to planting.
 - H. Quantity deviations, questions on plans; please notify. Plant list is an estimate.

- 1.1 RELATED SECTIONS:** SECTION 02810 IRRIGATION
- 1.2 REFERENCES**
- A. Standard Plant Names, 1942 edition prepared by the American Joint Committee on Horticultural Nomenclature.
 - B. Grades and Standards for Nursery Plants, Florida Department of Agriculture; Part II 1998
 - C. American Standard for Nursery Stock, prepared by the American Association of Nurserymen, Inc. (ANSI Z60.1-1986)
 - D. Horlus Third, Liberty Hyde Bailey Hortorium 1976.
 - E. Florida Irrigation Society Standards and Specifications for turf and Landscape Systems (Revision 61098).

- 1.3 SUBMITTALS**
Provide to Owner's representative during:
- A. Preconstruction
 - 1. Unit Prices for all materials, including estimate (or quotation) or area to be sodded or seeded.
 - 2. Proposed substitutions of materials or sizes. Obtain approval by both landscape architect and Owner's representative.
 - B. Construction
 - 1. Plant inspection certificates and shipping invoices as requested.
 - 2. All fertilizer labels and notarized letter of conformance with these specifications.
 - C. Contract Close-out
 - 1. Two sets as-built record documents (red-line prints).
- 1.4 QUALITY ASSURANCE**
- A. All work shall be performed under the constant supervision of a foreman, having at least one year experience or education in the nursery trades.
 - B. Contractor is expected to participate in a pre-construction conference with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance for payment.
 - C. Contractor is expected to participate in a contract close-out conference with Owner and landscape architect to verify completion of the work, and to establish a "Date of Substantial Completion".

- 1.5 MAINTENANCE**
- A. Contractor shall be fully responsible for all maintenance, damages, and replacements until Date of Substantial Completion of that specific phase of work. Document damage to the work caused by other trades. Immediately bring to Owner's attention, and quickly repair (at Owner's expense) as directed.
 - B. Maintenance consists of pruning, cultivation, edginbeds and walks, weeding, mulching, adjusting guys, resetting plants to proper grade or upright position, hand watering as required, restoration of planting saucer, and furnishing and applying such sprays as necessary to keep the planting free from insects or disease.
 - C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work, at all times.
- 1.6 REPLACEMENTS**
- A. During the guarantee period any plant required under this contract that is dead or not in satisfactory growth condition (as determined by the landscape architect) shall be promptly replaced by the Contractor. Replacement shall be as specified for the original planting and at no cost to the Owner.
 - B. Replacement period commences at Date of Substantial Completion and continues as follows:
 - a. Trees - one (1) year
 - b. Shrubs - ninety (90) days
 - c. Sod - ninety (90) days
 - d. Other Products - one (1) year
- Time limit may be extended by mutual agreement for material in questionable health at end of guarantee period.
- C. Plant damage by theft, vandalism, gross neglect, undue weather conditions, acts of God, or unseasonable planting are exempt from the guarantee provision.

- 3.3 INSTALLATION**
- A. Topsoil
Spread topsoil over all areas to receive ground cover to a minimum compacted depth of 4 inches.
 - B. Rough Grading
 - 1. Mold land surfaces to within 1 inch of final grade. Construct swales and berms. Fill low areas. Ensure proper drainage of all areas. Spread 6 inch lifts at 85% compaction (Proctor)
 - 2. Slope grade away from buildings at a minimum slope of 1/2 inch per foot for a distance of 10 feet minimum.
 - C. Final Grading
 - 1. Remove all non-conforming matter from site, such as rocks, sods, sticks, building rubble, wire, or cans.
 - 2. Dig out weeds by the roots.
 - 3. Fill in soil amendments such as lime, iron, or gypsum if indicated by local conditions, but only after approval by landscape architect. Ensure uniform application.

- PART TWO - PRODUCTS**
- 2.0 MATERIALS**
- A. Topsoils shall be fertile, natural, and typical of the locality. It shall be without subsoil or slag and shall be free of stones, lumps, plants or their roots, sticks, or other extraneous matter that is not conducive to production of plant life, or would interfere with future maintenance.
 - B. Sod may have no visible broadleaf weeds when viewed from a standing position and the turf shall be visibly consistent with no obvious patches of foreign grasses. It may have no visible signs of disease or insect stress. In no case may the total amount of foreign grasses or weeds exceed 2% of the total canopy. The sod shall be (as noted on plan) neatly mowed and be mature enough that when grasped at one end it can be picked up and handled without damage.

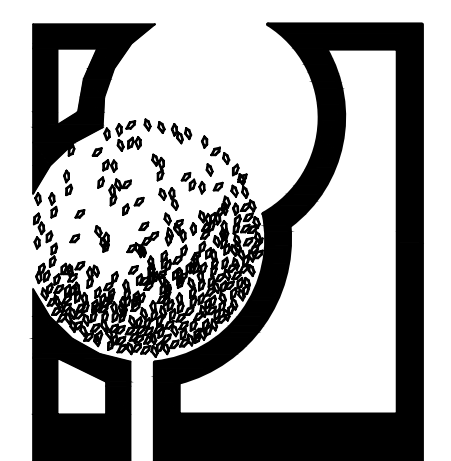
- C. Seed shall meet the tolerance for germination and purity in accordance with the U.S. Department of Agriculture Rules and Regulations under the latest edition of the "Federal Seed Act" for certified seed. Seed shall be mixed by the dealers and shall be delivered to the site in sealed containers which shall bear the dealer's guaranteed analysis. Seed mixture and seeding rate shall be as specified on the drawings.
 - D. Fertilizer
 - 1. "Agri-form" or "Woodace" 21 gram tablet of 20-10-5 formulation.
 - 2. Granular fertilizer shall be a balanced formula, uniform in composition, free flowing and delivered to site in unopened bags.
 - E. Peat
Incorporate black Florida peat into planting mix when specified on plant list at the following rates:
 - 1. 1 gallon plants - 1/8 cubic feet
 - 2. 3 gallon plants - 1 cubic feet
 - 3. Trees - 1/2 cubic foot per foot of height
 - F. Herbicide
"Selfan" or "Preen" pre-emergent.
 - G. Additional Soil Amendments
 - 1. Apply as needed to bring soil into optimum growth range for specified plants.
 - 2. If soil is below 5.0 ph incorporate enough horticultural lime to bring within 5.6 to 6.5 ph range.
 - H. Plants
 - 1. Measured standing in natural form of the size indicated on plant list and grade "Florida No 1" unless otherwise indicated.
 - 2. Non-classified plants to meet AAN standards. Tree calipers shall be measured 6 inches above soil level.
 - 3. All plants shall be sound, healthy, free from insect pests and eggs, and have normal, healthy root systems.
 - 4. Form shall be symmetrical or typical for species and variety.
 - 5. Any plant may be rejected by landscape architect if not of satisfactory size, health, quality, or character.
 - 6. Trees having rootballs wrapped with synthetic burlap will be rejected.
 - I. Mulch shall be Pine bark, no cypress bark, & free from sticks, stones, leaves or other debris.
- 2.1 EQUIPMENT**
Use magnesium grading rakes of 30 inch minimum width to remove irrigation in final grade prior to sodding or seeding and to ensure a flat subgrade.
- 2.2 MIXES**
- A. Planting Mixture
 - 1. Use the best natural soil existing on site, combined with fertilizer.

- PART THREE - EXECUTION**
- 3.0 EXAMINATION**
- A. Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.
 - B. Review engineering drawings for additional information.
 - C. Coordinate work with Owner and other related trades.
 - D. Relocate existing plant material as directed by landscape architect, and according to drawings.
- 3.1 PROTECTION**
Locate, identify and mark all known utilities in area of the work. Take reasonable care to avoid damages or hazards.
- 3.2 PREPARATION**
Remove from site existing sods, seeds, inferior plantings and preconstruction debris as necessary to incorporate work to the site. Obtain verification regarding removal of questionable material. Clean up of debris from new construction (by other trades) is not included in this contract.

- D. Planting Pits
Excavate to dimensions shown on plan.
- E. Plant Installation
 - 1. Do not crack or break soil away from root ball.
 - 2. Carefully set plant plumb, best side facing "out", at the same soil level, to 1" higher, as previously grown.
 - 3. Remove all twine, burlap, or rope from top third of root ball. Retain cloth under ball. Wash in backfill with slow hose.
 - 4. Form shallow basin at each plant. Adjust grade to 1/2" below adjacent pavement. All plants shall be 30" minimum from walls, walks and fences.
 - 5. Space ground cover in triangle pattern with outside row parallel to bedline, 1/2 plant spacing distance from edge.
- F. Sod Installation
 - 1. Sod all areas indicated on plan and areas disturbed by work of other trades.
 - 2. Lay panels tightly together. Top dress cracks with sand. Water thoroughly.
- G. Stake and Guy
Stake and guy .as per plan.
- H. Fertilize
Fertilize evenly at following rates:
 - 1. Tablet Fertilizer
 - 1 gallon plant - 1 tablet
 - 2 gallon plant - 1 to 2 tablets
 - 5 gallon plant - 2 to 3 tablets
 - Trees - 1 tablet per foot of height
 - 2. Granular Fertilizer
Work into the top 2" of soil at the rate of 20 pounds per 1000 square feet for lawn areas.
- I. Prune
Prune as little as necessary to remove damaged twigs. In any case, terminal leader shall not be topped either before or after installation.
- J. Herbicide
Apply pre-emergent herbicide to all beds according to manufacturer's recommendations.
- K. Mulch
Spread to a uniform depth of 2" min. Fluff and pat in place.

- 3.4 FIELD QUALITY CONTROL**
- A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.
 - B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include type, quantities, sizes, locations, dimensions, and quality of materials and workmanship. Final payment for work will depend upon satisfactory condition of project on Date of Substantial Completion.

END OF SECTION

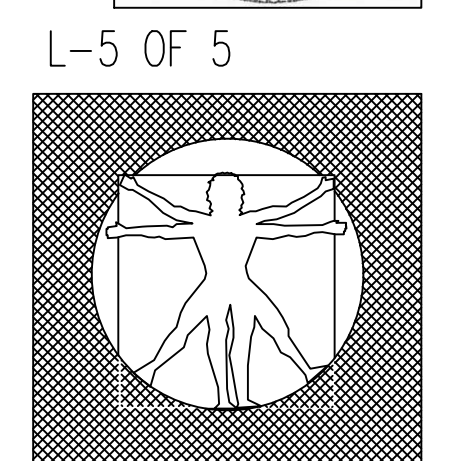


DALE & COMPANY
Landscape Architecture Analysis Planning
651 North Mills Avenue Orlando, Florida 32803 telephone (407) 894-1317

LANDSCAPE DETAILS & SPECIFICATIONS FOR
NW DISTRIBUTION CENTER - BLD. D
CITY OF APOPKA FLORIDA

DESIGNED BY: RCD
DRAWN BY: RSH
CHECKED BY: RCD
DATE: 06-14-16

REVISIONS
1.
2.
3.
4.
5.
6.





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BOUNDARY	✕	0.0 fc	0.8 fc	0.0 fc	N/A	N/A
CAR PARKING & DRIVES	+	1.1 fc	3.7 fc	0.2 fc	18.5:1	5.5:1
TRUCK COURT	◇	1.5 fc	6.5 fc	0.2 fc	32.8:1	7.5:1

Luminaire Locations												
No.	Label	Location						Aim				
		X	Y	Z	MH	Orientation	Tilt	X	Y	Z		
1	A	485649.20	1571571.00	30.00	30.00	105.49	0.00	485050.40	1571571.00	0.00		
2	A	484998.90	1571438.00	30.00	30.00	107.58	0.00	485000.10	1571438.00	0.00		
3	A	484940.40	1571297.00	30.00	30.00	108.98	0.00	484941.60	1571297.00	0.00		
4	A	484881.60	1571155.00	30.00	30.00	111.44	0.00	484882.80	1571155.00	0.00		
5	B	484905.30	1571009.00	30.00	30.00	20.07	0.00	484905.80	1571010.00	0.00		
11	W1	485110.20	1571443.00	30.00	30.00	23.34	0.00	485110.40	1571444.00	0.00		
12	W1	485201.80	1571405.00	30.00	30.00	21.36	0.00	485202.00	1571406.00	0.00		
13	W1	485293.80	1571367.00	30.00	30.00	21.36	0.00	485294.00	1571368.00	0.00		
14	W1	485386.00	1571330.00	30.00	30.00	21.36	0.00	485386.20	1571331.00	0.00		
15	W1	485478.40	1571292.00	30.00	30.00	21.36	0.00	485478.60	1571293.00	0.00		
16	B	485573.70	1571245.00	30.00	30.00	20.94	0.00	485574.10	1571246.00	0.00		
17	B	485504.20	1571078.00	30.00	30.00	21.88	0.00	485504.70	1571079.00	0.00		
18	B	485440.70	1570960.00	30.00	30.00	21.88	0.00	485441.20	1570961.00	0.00		
19	A	485665.50	1571410.00	30.00	30.00	200.42	0.00	485665.10	1571409.00	0.00		
20	A	485621.20	1571470.00	30.00	30.00	200.42	0.00	485620.80	1571469.00	0.00		
21	A	485377.30	1571529.00	30.00	30.00	200.42	0.00	485376.90	1571528.00	0.00		
22	A	485233.10	1571589.00	30.00	30.00	200.42	0.00	485232.70	1571588.00	0.00		
23	C	485386.80	1570881.00	30.00	30.00	145.98	0.00	485387.50	1570880.00	0.00		
24	C	485578.30	1571094.00	30.00	30.00	108.98	0.00	485579.00	1571094.00	0.00		
25	C	485649.30	1571253.00	30.00	30.00	108.98	0.00	485650.50	1571253.00	0.00		
26	W2	485023.60	1571044.00	30.00	30.00	202.00	0.00	485023.40	1571044.00	0.00		
27	W2	485116.50	1571006.00	30.00	30.00	202.00	0.00	485116.30	1571006.00	0.00		
28	W2	485209.30	1570968.00	30.00	30.00	202.00	0.00	485209.10	1570968.00	0.00		
29	W2	485302.40	1570930.00	30.00	30.00	202.00	0.00	485302.20	1570930.00	0.00		

- SITE LIGHTING GENERAL NOTES**
- THIS PHOTOMETRIC PLAN WAS GENERATED WITH IES FILES FROM THE MANUFACTURER(S) SHOWN UTILIZING FIXTURE AND POLE CHARACTERISTICS ALSO SHOWN. THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OF THE IES FILES.
- SITE LIGHTING SUBSTITUTIONS**
- EQUIVALENT FIXTURES BY LITHONIA, HUBBELL, OR GARDCO MAY BE SUBMITTED PROVIDED THE FOLLOWING IS RECEIVED AS A COMPLETE PACKAGE:
 - 1" = 50'-0" PHOTOMETRIC SHOP DRAWINGS ARE TO INDICATE HORIZONTAL POINTS ON 12'-6" CENTERS. ALL FIXTURE DATA SHOWN ON THIS SHEET SHALL BE CONTAINED IN THE SUBMITTED FIXTURE SCHEDULE.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
[Symbol]	A	8	EATON - McGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AE-04-LED-E1-T4FT-700-ADJ	GALLEON LED AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 700sq LIGHT SQUARES WITH 16 LEADS EACH AND TYPE IV FORWARD THROW OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		64	GLEON-AE-04-LED-E1-T4FT-700-ADJ.ies	337	0.9	138
[Symbol]	B	4	EATON - McGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AE-05-LED-E1-SMQ	GALLEON LED AREA AND ROADWAY LUMINAIRE (5) 70 CRI, 4000K, 1A LIGHT SQUARES WITH 16 LEADS EACH AND TYPE IV MEDIUM OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		80	GLEON-AE-05-LED-E1-SMQ.ies	337	0.9	264
[Symbol]	C	3	EATON - McGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AE-04-LED-E1-T2R	GALLEON LED AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 1A LIGHT SQUARES WITH 16 LEADS EACH AND TYPE II ROADWAY OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		64	GLEON-AE-04-LED-E1-T2R.ies	337	0.9	213
[Symbol]	W1	5	EATON - McGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AE-04-LED-E1-T4FT-700-ADJ	GALLEON LED AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 700sq LIGHT SQUARES WITH 16 LEADS EACH AND TYPE IV FORWARD THROW OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		64	GLEON-AE-04-LED-E1-T4FT-700-ADJ.ies	337	0.9	138
[Symbol]	W2	4	EATON - McGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AE-09-LED-E1-T4FT	GALLEON LED AREA AND ROADWAY LUMINAIRE (9) 70 CRI, 4000K, 1A LIGHT SQUARES WITH 16 LEADS EACH AND TYPE IV FORWARD THROW OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		144	GLEON-AE-09-LED-E1-T4FT.ies	320	0.9	475

SITE PHOTOMETRIC PLAN
 SCALE: 1" = 50'-0"
 NORTH

NO	REVISIONS	DATE

TO THE BEST OF THE ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH SECTION 110.8.4.4 AND CHAPTER 633, FLORIDA STATUTES.

OTTO ENGINEERING INC.
 9885 North 56th Street, Suite 200, Temple Terrace, FL 33617
 Phone: (813) 886-4555
 Email: matthew@ottoeng.com
 FLORIDA CERTIFICATE OF AUTHORIZATION No. 27523

MATTHEW OTTO, P.E. #8722

NORTHWEST DISTRIBUTION CENTER - BUILDING D
 APOPKA, FL

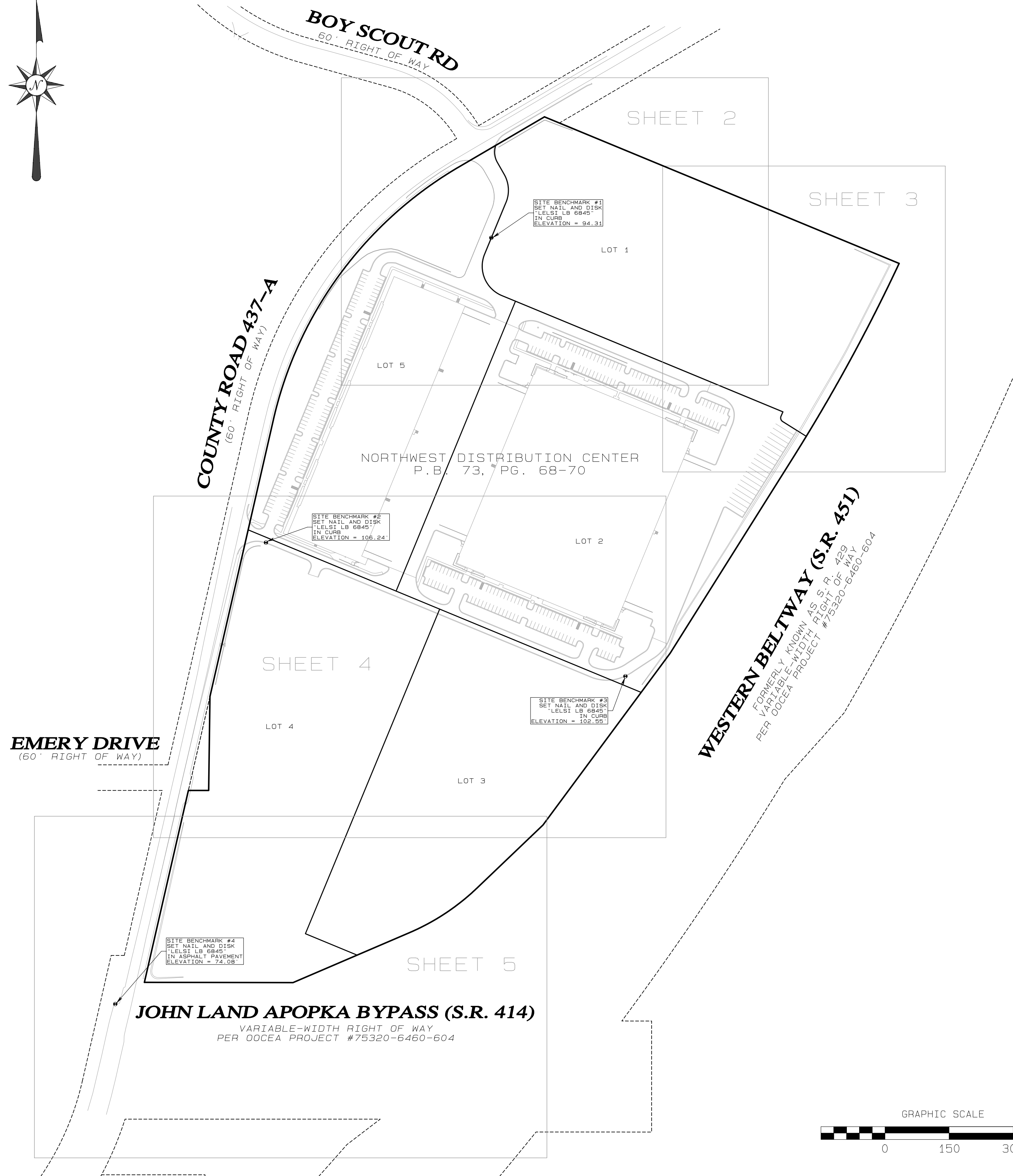
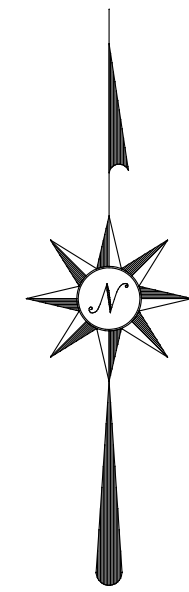
DRAWN BY: MDO
 REVIEWED BY: MDO
 DATE: 06-15-16

SHEET NAME
SITE PHOTOMETRIC PLAN
 SHEET NUMBER
EP01

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TOPOGRAPHIC SURVEY OF A PORTION OF NORTHWEST DISTRIBUTION CENTER

SECTIONS 17 & 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST
ORANGE COUNTY, FLORIDA

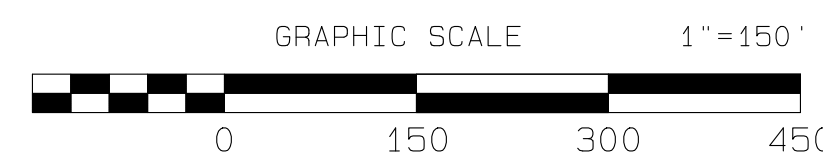


SURVEYOR'S NOTES

- THIS TOPOGRAPHIC SURVEY WAS PREPARED FOR OAKMONT INDUSTRIAL GROUP. ADDITIONS OR DELETIONS BY ANYONE OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF LEADING EDGE LAND SERVICES, INC.
- THIS IS NOT A BOUNDARY SURVEY.
- THIS TOPOGRAPHIC SURVEY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE INFORMATION WAS PROVIDED TO THE SURVEYOR.
- UNLESS OTHERWISE NOTED, SURVEY MEASUREMENTS AND PLOTTED FEATURES SHOWN ON THIS SURVEY ARE BASED ON ACTUAL FIELD MEASUREMENTS.
- THE ACCURACY OF THIS SURVEY MEETS OR EXCEEDS STANDARDS SET FORTH IN ADMINISTRATIVE RULE 5J-17 "STANDARDS OF PRACTICE FOR SURVEYORS AND MAPPERS."
- THE FOLLOWING WERE USED IN THE PREPARATION OF THIS SURVEY:
 - ALTA/ACSM LAND TITLE SURVEY OF THE NORTHWEST DISTRIBUTION CENTER PREPARED BY LEADING EDGE LAND SERVICES, INC. FOR OAKMONT INDUSTRIAL GROUP, JOB NUMBER 422-06001, DATED APRIL 9, 2008 AND LAST REVISED MAY 12, 2008
 - PLAT OF NORTHWEST DISTRIBUTION CENTER AS RECORDED IN PLAT BOOK 73, PAGES 68-70 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA
- ONLY VISIBLE IMPROVEMENTS WERE LOCATED AND ARE SHOWN AS PART OF THIS SURVEY. NO ATTEMPT WAS MADE TO LOCATE OR VERIFY SUBSURFACE IMPROVEMENTS OR ENCROACHMENTS. UNDERGROUND UTILITIES SHOWN ON THIS SURVEY WERE TAKEN FROM THE ALTA SURVEY REFERENCED IN NOTE 6A.
- A REVIEW OF FLOOD INSURANCE RATE MAPS FOR ORANGE COUNTY, FLORIDA, INDICATES THAT THIS PROPERTY LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN). THIS INFORMATION WAS TAKEN FROM MAP NUMBER 12095C0120F, REVISED SEPTEMBER 25, 2009.
- THE VERTICAL DATUM FOR THIS SURVEY IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVOD83). THIS SURVEY IS BASED ON THE FOLLOWING BENCHMARK: ORANGE COUNTY BENCHMARK LB53-005, A 2" BRASS DISK ON CONCRETE MANHOLE STRUCTURE AT INTERSECTION OF BOY SCOUT ROAD & OCEE APOPKA ROAD, ELEVATION = 92.13 FEET. SITE BENCHMARKS ARE SHOWN AND DESCRIBED GRAPHICALLY.

LEGEND

- TEMPORARY BENCHMARK
- STORM MANHOLE
- SANITARY MANHOLE
- OTHER MANHOLE
- CATCH BASIN
- WATER OR SEWER VALVE
- WATER VALVE
- IRRIGATION VALVE
- MITERED END SECTION
- BACKFLOW PREVENTER
- CLEANOUT
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- ELECTRIC BOX
- POWER POLE
- GUY ANCHOR
- LIGHT POLE
- UTILITY MARKER
- SIGN
- SPOT ELEVATION - HARD SURFACE
- SPOT ELEVATION - GROUND SHOT
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELEPHONE LINE
- STORM SEWER LINE
- SANITARY SEWER LINE
- FORCE MAIN
- WATER LINE
- FENCE LINE
- P.B. PLAT BOOK
- PG. PAGE
- R/W RIGHT OF WAY
- S.R. STATE ROAD
- LELSI LEADING EDGE LAND SERVICES, INCORPORATED
- LB LICENSED BUSINESS
- PSM PROFESSIONAL SURVEYOR & MAPPER
- EL ELEVATION
- INV INVERT
- CLF CHAIN LINK FENCE
- MES MITERED END SECTION
- CPP CORRUGATED PLASTIC PIPE
- PVC POLYVINYL CHLORIDE PIPE
- PIV POST INDICATOR VALVE
- RWV REUSE WATER VALVE
- IT IRRIGATION TIMER
- OCEA ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY



REVISIONS:
21 JUN 2016: EXPANDED TOPOGRAPHIC SURVEY AREA

SURVEYOR'S CERTIFICATION
I, THE UNDERSIGNED FLORIDA LICENSED SURVEYOR AND MAPPER, DO HEREBY CERTIFY THAT I HAVE COMPLETED THIS SURVEY IN ACCORDANCE WITH THE STANDARDS AND RULES OF PRACTICE FOR SURVEYORS AND MAPPERS.

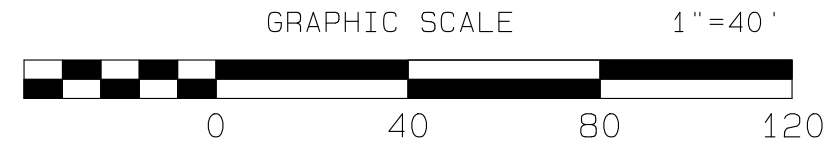
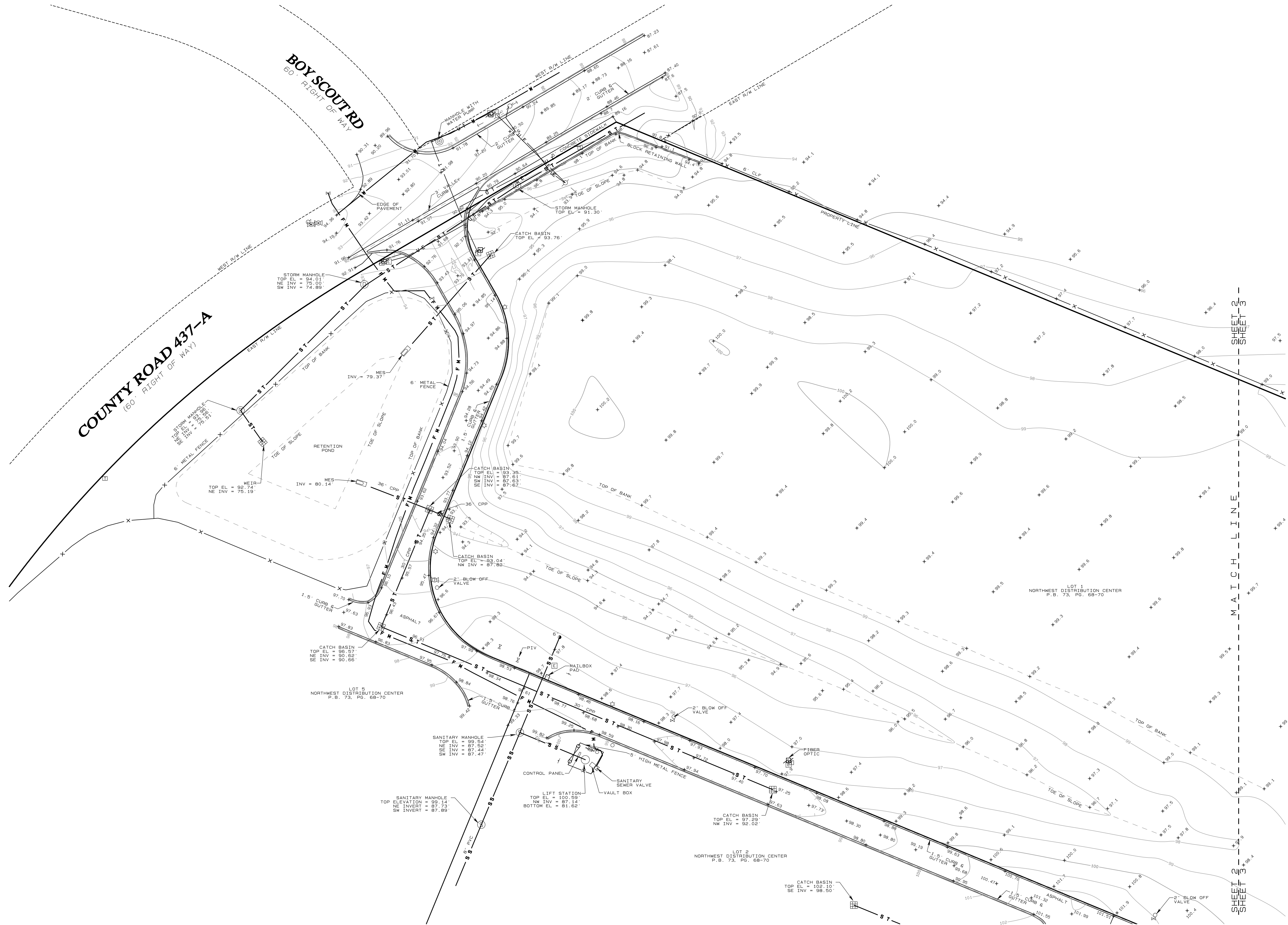
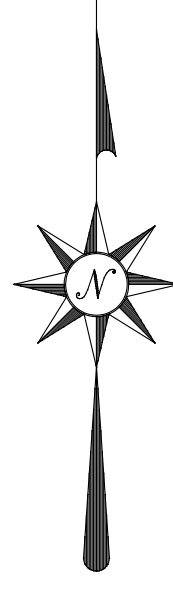
TOPOGRAPHIC SURVEY
OF
A PORTION OF NORTHWEST DISTRIBUTION CENTER
SECTIONS 17 & 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST
ORANGE COUNTY, FLORIDA

FOR
OAKMONT INDUSTRIAL GROUP

LEADING EDGE LAND SERVICES
INCORPORATED
8802 EXCHANGE DRIVE
ORLANDO, FLORIDA 32809
PHONE: (407) 351-6730
FAX: (407) 351-9691
www.leadingedgegs.com
FLORIDA LICENSED BUSINESS NUMBER LB 8846

DATE OF DRAWING: 28 OCT 2014
MANAGER: PRJ | CAD: EAC
PROJECT NUMBER: 422-14004
COMPUTER FILE: 42204TPG.PRO
FIELD BOOK NUMBER: LE 980.1007.1010
SCALE: 1" = 150'
SHEET 1 OF 5

DATE:
PAUL R. JACKSON PSM #6719



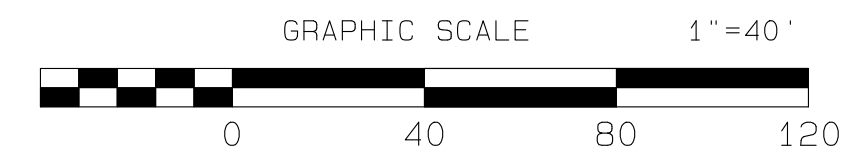
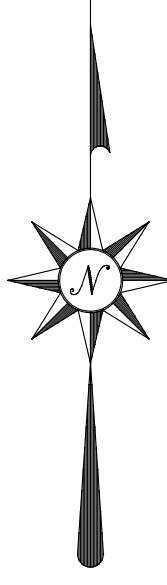
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER (SEE SHEET 1 OF 5)

REVISIONS:	
21 JUN 2016: EXPANDED TOPOGRAPHIC SURVEY AREA	
DATE OF DRAWING: 28 OCT 2014	LAST FIELD WORK: 15 OCT 2014
MANAGER: PRJ	CREW CHIEF (S): RME, JOK
PROJECT NUMBER: 422-14004	COMPUTER FILE: 42204TPG.PRO
FIELD BOOK NUMBER: LE 960.1007.1010	SCALE: 1" = 40'
	SHEET 2 OF 5

TOPOGRAPHIC SURVEY
 OF
 A PORTION OF NORTHWEST DISTRIBUTION CENTER
 SECTIONS 17 & 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST
 ORANGE COUNTY, FLORIDA

FOR
OAKMONT INDUSTRIAL GROUP

LEADING EDGE LAND SERVICES
 THE CORPORATION
 8802 EXCHANGE DRIVE
 ORLANDO, FLORIDA 32809
 PHONE: (407) 351-6730
 FAX: (407) 351-9691
 www.leadingedge3d.com
 FLORIDA LICENSED BUSINESS NUMBER LB 6846



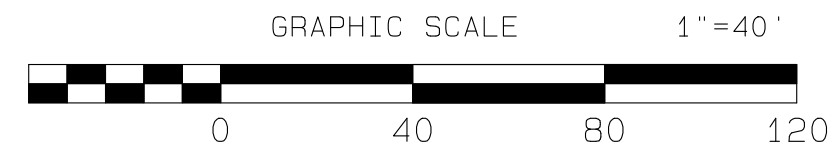
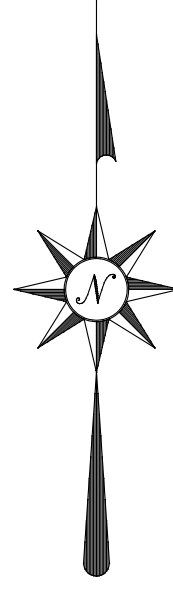
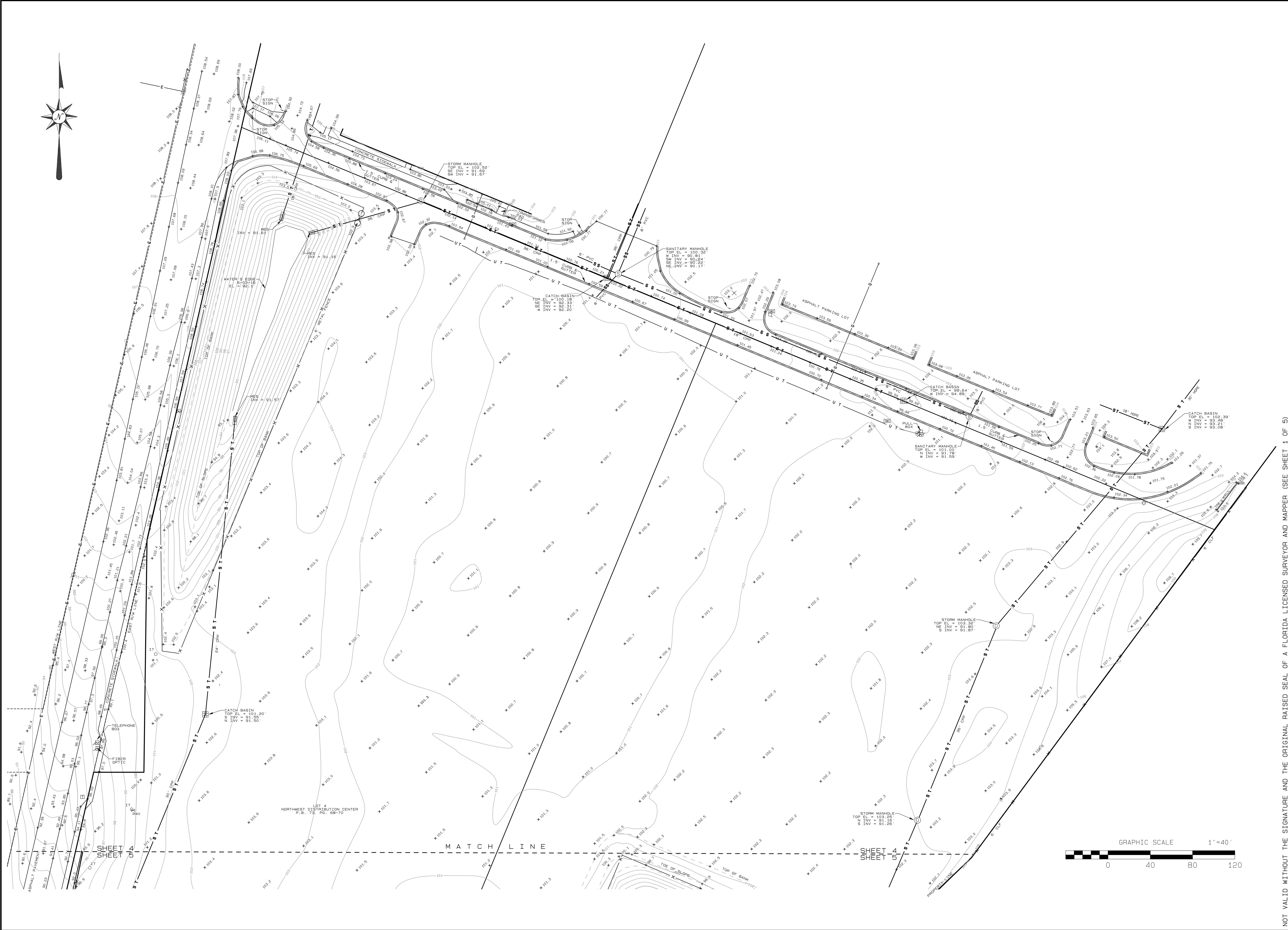
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER (SEE SHEET 1 OF 5)

**LEADING EDGE
LAND SERVICES**
 THE CORPORATION
 8802 EXCHANGE DRIVE
 ORLANDO, FLORIDA 32809
 PHONE: (407) 351-6730
 FAX: (407) 351-9691
 www.leadingedge3.com
 FLORIDA LICENSED BUSINESS NUMBER LB 6846

TOPOGRAPHIC SURVEY
 OF
 A PORTION OF NORTHWEST DISTRIBUTION CENTER
 SECTIONS 17 & 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST
 ORANGE COUNTY, FLORIDA
 FOR
OAKMONT INDUSTRIAL GROUP

REVISIONS:
 21 JUN 2016: EXPANDED TOPOGRAPHIC SURVEY AREA

DATE OF DRAWING: 28 OCT 2014	LAST FIELD WORK: 15 OCT 2014
MANAGER: PRJ	CREW CHIEF (S): RME, JOK
PROJECT NUMBER: 422-14004	COMPUTER FILE: 42204TP5.PRO
FIELD BOOK NUMBER: LE 960.1007.1010	SCALE: 1" = 40'
	SHEET 3 OF 5



NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER (SEE SHEET 1 OF 5)

TOPOGRAPHIC SURVEY

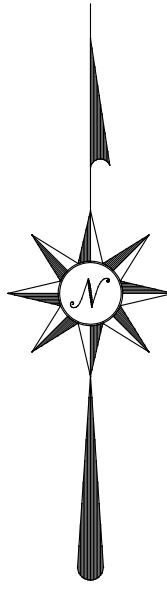
OF
 A PORTION OF NORTHWEST DISTRIBUTION CENTER
 SECTIONS 17 & 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST
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FOR
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REVISIONS:
 21 JUN 2016: EXPANDED TOPOGRAPHIC SURVEY AREA

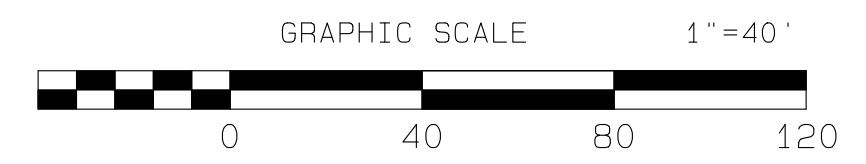
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MANAGER: PRJ	CADD: EAC	COMPUTER FILE: 482004TPG.PRO
PROJECT NUMBER: 422-14004	FIELD BOOK NUMBER: LE 980.1007.1010	SCALE: 1" = 40'
		SHEET 4 OF 5

**LEADING EDGE
 LAND SERVICES**
 INCORPORATED
 8802 EXCHANGE DRIVE
 ORLANDO, FLORIDA 32809
 PHONE: (407) 351-6730
 FAX: (407) 351-9691
 www.leadingedgefs.com
 FLORIDA LICENSED BUSINESS NUMBER LB 6846



JOHN LAND APOPKA BYPASS (S.R. 414)
 VARIABLE-WIDTH RIGHT OF WAY
 PER OOCEA PROJECT #75320-6460-604

WESTERN BELTWAY (S.R. 451)
 FORMERLY UNKNOWN AS S. R. 429
 VARIABLE-WIDTH RIGHT OF WAY
 PER OOCEA PROJECT #75320-6460-604



NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER (SEE SHEET 1 OF 5)

TOPOGRAPHIC SURVEY

OF
 A PORTION OF NORTHWEST DISTRIBUTION CENTER
 SECTIONS 17 & 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST
 ORANGE COUNTY, FLORIDA

FOR
OAKMONT INDUSTRIAL GROUP

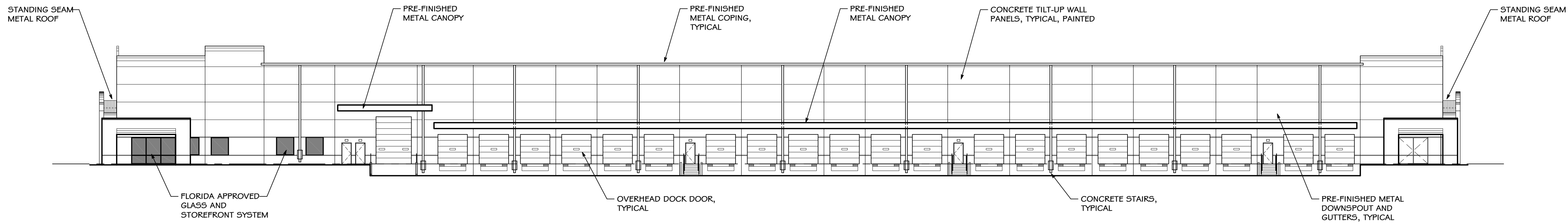
REVISIONS:
 21 JUN 2016: EXPANDED TOPOGRAPHIC SURVEY AREA

DATE OF DRAWING: 28 OCT 2014	LAST FIELD WORK: 15 OCT 2014
MANAGER: PRJ CAD: EAC	CREW CHIEF(S): RME, JJK
PROJECT NUMBER: 422-14004	COMPUTER FILE: 42204TPG.PRO
FIELD BOOK NUMBER: LE 960.1007.1010	SCALE: 1" = 40'
	SHEET 5 OF 5

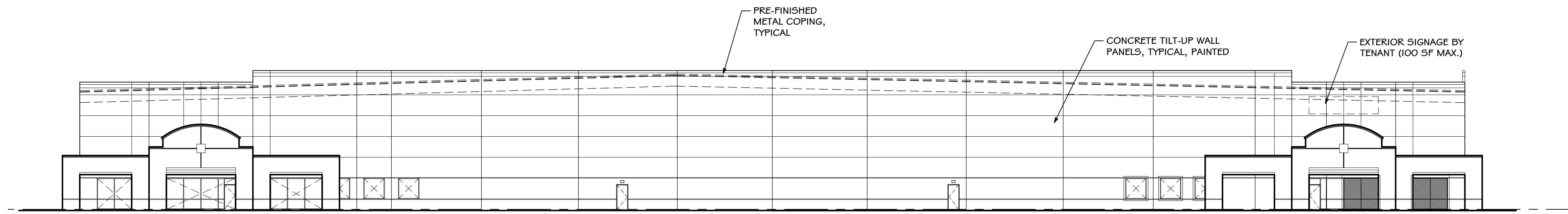


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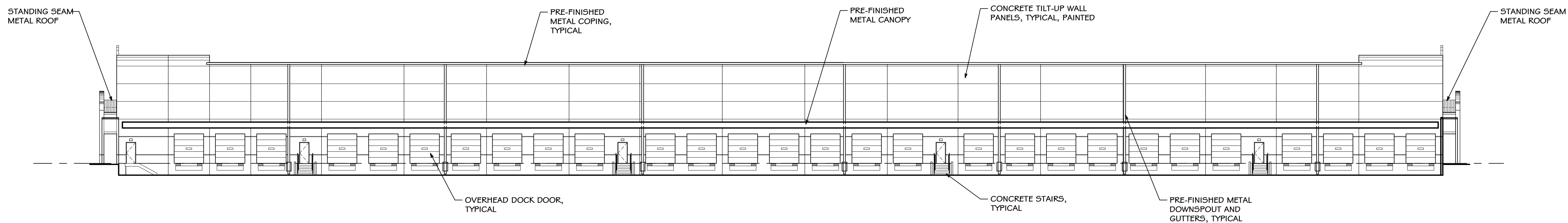
www.leadingedge3d.com
 FLORIDA LICENSED BUSINESS NUMBER LB 6846



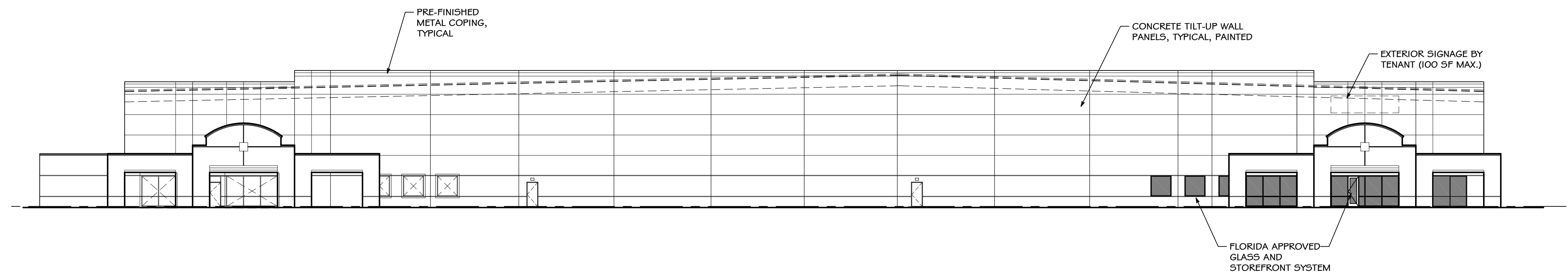
1 SOUTH ELEVATION
A5.1 SCALE: 1"=20'-0"



2 EAST ELEVATION
A5.1 SCALE: 1"=20'-0"



3 NORTH ELEVATION
A5.1 SCALE: 1"=20'-0"



4 WEST ELEVATION
A5.1 SCALE: 1"=20'-0"

CONSULTING ENGINEERS
RICHARD ADAMS ENGINEERING
5507 E. BUSCH BLVD.
SUITE 100
DENVER, CO 80231
RICHARD ADAMS (P) 813-884-4000

ARCHITECT
GMA
ARCHITECTS
800 NORTH ROCK HILL ROAD
SUITE 100
ST. LOUIS, MO 63105
PH: 314.433.4400
WWW.GMA-ARCHITECTS.COM

CONTRACTOR
ARCO
NATIONAL CONSTRUCTION-KC
5015 NW CANAL STREET, SUITE 110
ROSELAND, MISSOURI 64109
PH: 816.833.8300
WWW.ARCCO-KC.COM

ELECTRICAL: _____
PLUMBING: _____
FIRE PROTECTION: _____

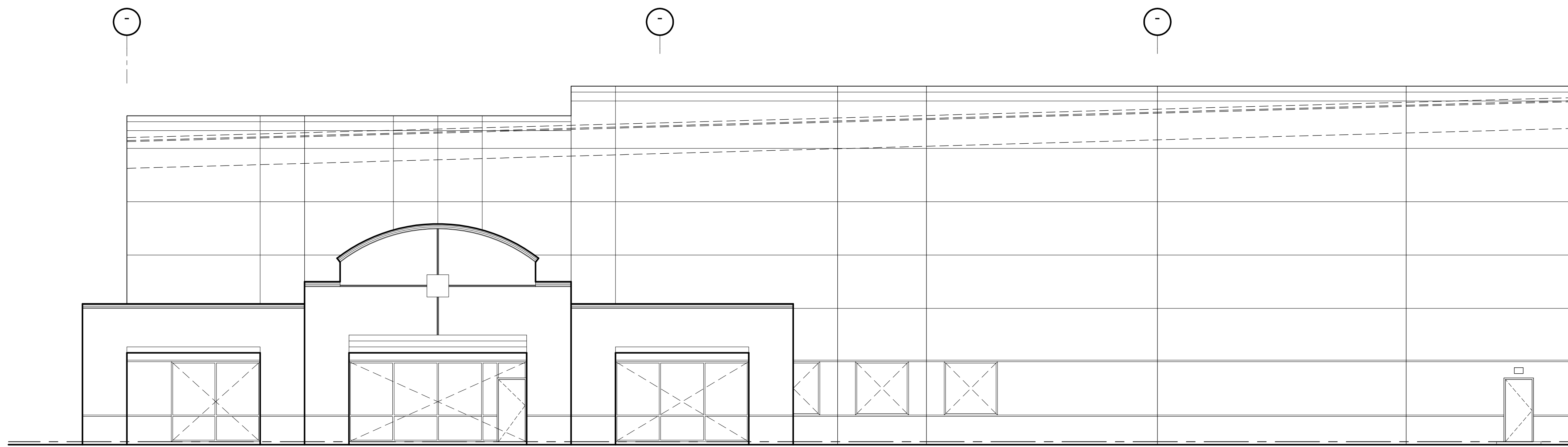
PROJECT
OAKMONT
INDUSTRIAL GROUP
CUSTOM DISTRIBUTION SERVICES, INC.
NORTHWEST DISTRIBUTION FACILITY - BUILDING D
APOPKA, FL 32703

JOB NO : SJ1641
PA : MEM
DATE : TBD

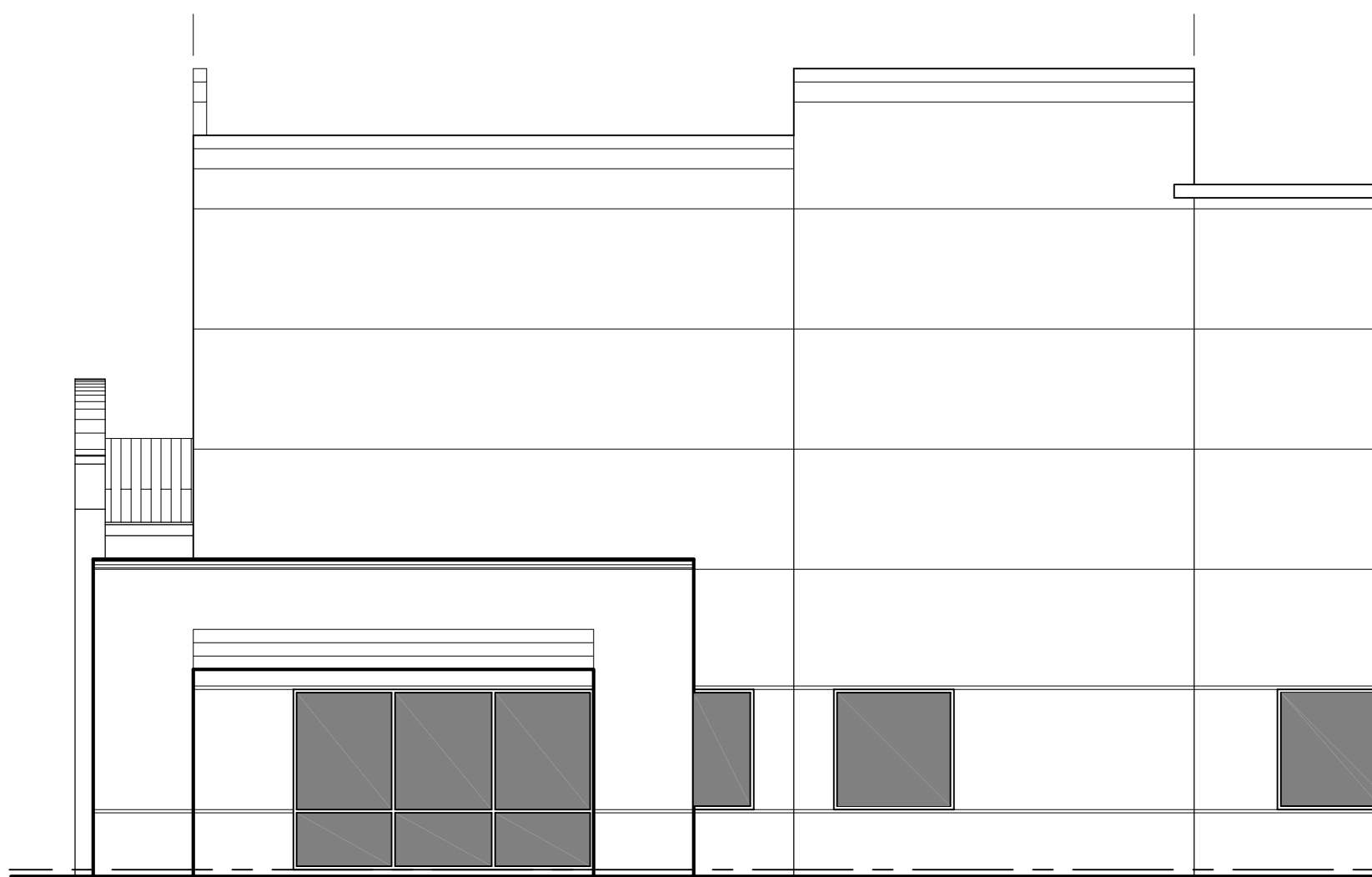
REVISIONS	DATE

SHEET NUMBER
A5.1
EXTERIOR ELEVATIONS

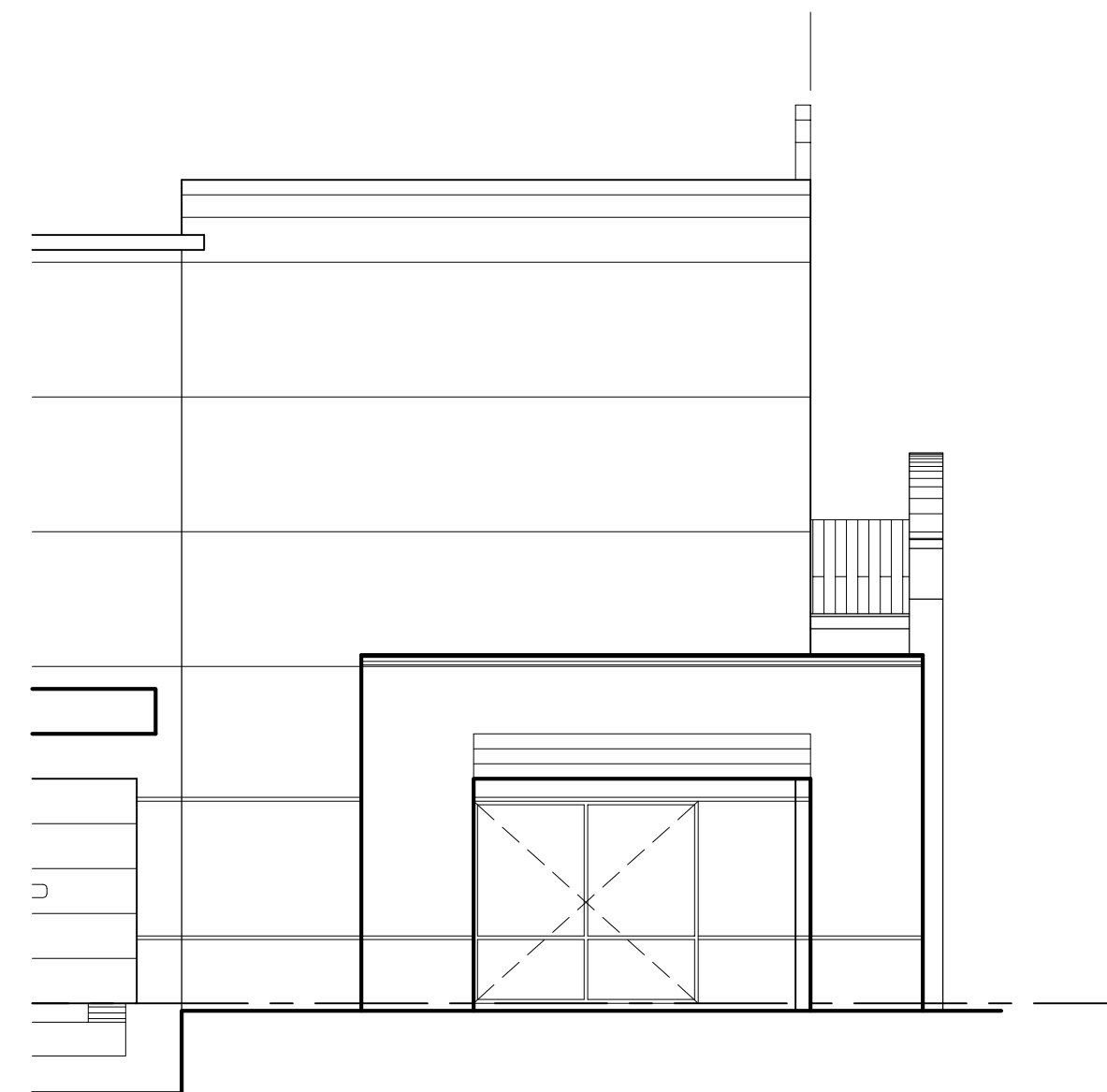
PROGRESS SET (NOT FOR CONSTRUCTION) - 06.30.2016



1 PARTIAL ELEVATION
A5.2 SCALE: 1/8" = 1'-0"



1 PARTIAL ELEVATION
A5.2 SCALE: 1/8" = 1'-0"



1 PARTIAL ELEVATION
A5.2 SCALE: 1/8" = 1'-0"

GENERAL ELVATION NOTES

I. XXX

- ELEVATION KEY NOTES**
- SEE ELEVATIONS THIS SHEET FOR KEYED NOTES THAT APPLY TO THIS SHEET
- 1 TILT-UP INSULATED CONCRETE PANELS WITH REVEALS, PAINTED - SEE SECTIONS FOR MORE DETAIL.
 - 2 1" INSULATED SPANDREL GLAZING IN PRE-FINISHED ALUMINUM STOREFRONT SYSTEM
 - 3 1" INSULATED GLAZING IN PRE-FINISHED ALUMINUM STOREFRONT SYSTEM
 - 4 PAINTED HOLLOW METAL DOOR AND FRAME - SEE PLAN FOR ADDITIONAL INFORMATION.
 - 5 PRE-FINISHED METAL COPING CAP
 - 6 OVERHEAD DOOR SEE PLAN AND DOOR SCHEDULE.
 - 7 PRE-FINISHED METAL DRAIN, COLLECTOR HEAD AND DOWNSPOUT.
 - 8 PRE-FINISHED METAL OVERFLOW SCUPPER - SEE ROOF DETAILS

COLOR LEGEND

	PT-1	TBD
	PT-2	TBD
	PT-3	TBD
	PT-4	TBD

PROGRESS SET (NOT FOR CONSTRUCTION) - 06.30.2016

CONSULTING ENGINEERS

ELECTRICAL: _____
 PLUMBING: _____
 FIRE PROTECTION: _____

STRUCTURAL: RICHARD ADAMS ENGINEERING
 5507 E. BUSH BLVD.
 RICHARD ADAMS (P) 813-984-4000

MECHANICAL: _____

CONTRACTOR

ARCO
 NATIONAL CONSTRUCTION-KC
 5015 NW CANAL STREET, SUITE 110
 ROXBOROUGH, MASSACHUSETTS 01901
 (508) 325-8332 (F) 508-325-8900
 WWW.ARCCO-KC.COM

ARCHITECT

GMA
 ARCHITECTS
 900 NORTH ROCK HILL ROAD
 ST. LOUIS, MISSOURI 63104
 (314) 833-8332 (F) 314-833-0714
 WWW.GMA-ARCHITECTS.COM

PROJECT

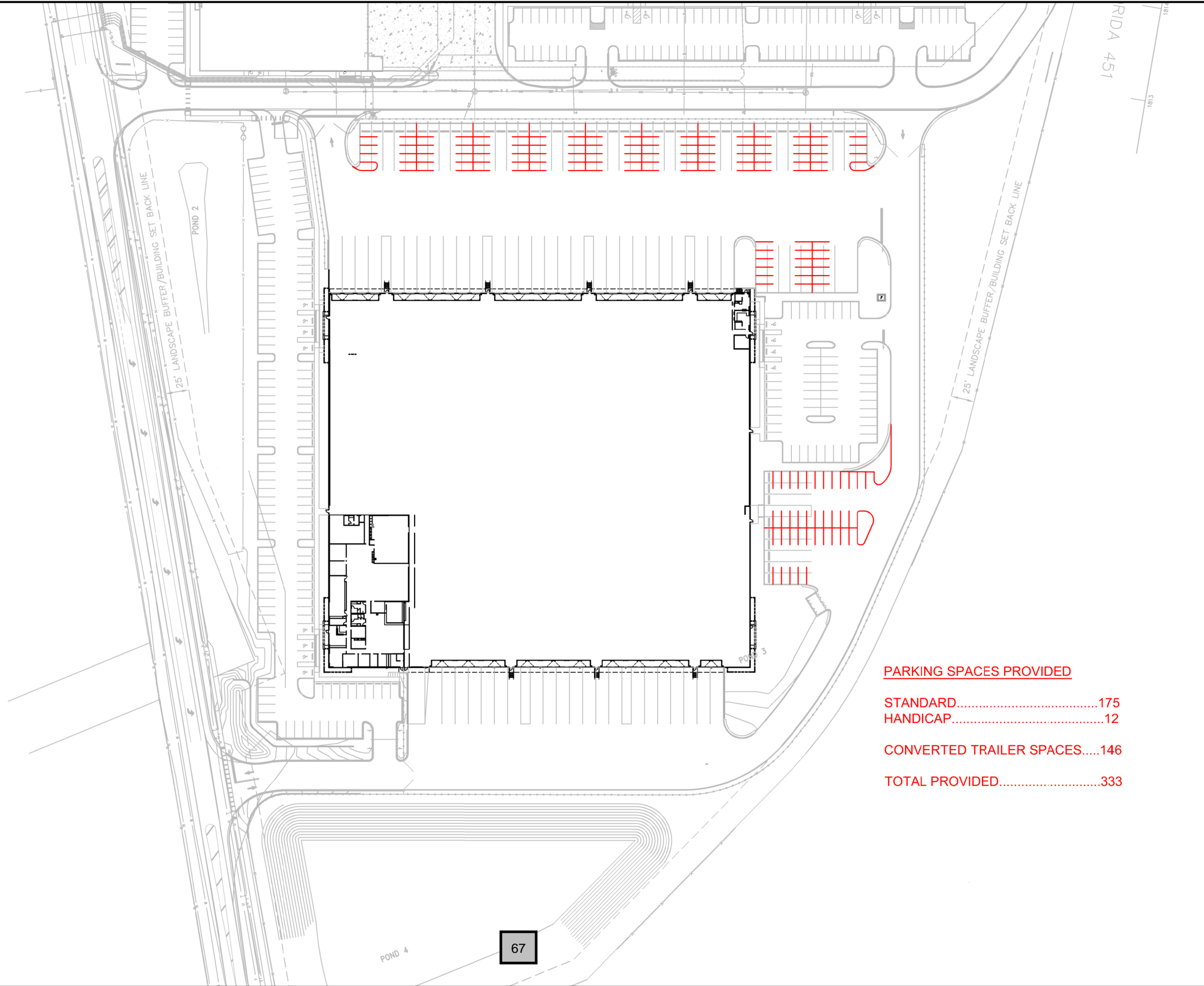
OAKMONT INDUSTRIAL GROUP
 CUSTOM DISTRIBUTION SERVICES INC.
 NORTHWEST DISTRIBUTION FACILITY - BUILDING D
 APOPKA, FL 32703

JOB NO : SJ1641
 PA : MEM
 DATE : TBD

REVISIONS

SHEET NUMBER
A5.2
 EXTERIOR ELEVATIONS

Dbrinkman
 8/25/2016
 J:\OIG-002.04\Drawings\Exhibits\2016-08-25 - Additional Parking Spaces\Additional Parking Overlay.dwg



PARKING SPACES PROVIDED

STANDARD.....175
 HANDICAP.....12

CONVERTED TRAILER SPACES.....146

TOTAL PROVIDED.....333

67

REV.	DATE	DESCRIPTION	APPD BY

NORTHWEST DISTRIBUTION CENTER - BUILDING D

ALTERNATIVE PARKING EXHIBIT



JOB No.:	OIG-002.04
DESIGNED BY:	JB
DRAWN BY:	DB
APPROVED BY:	JB
DATE:	08/25/16
SHEET:	EXH 1

OAKMONT
INDUSTRIAL GROUP



August 24, 2016

Mr. Rogers Beckett, Sr. Projects Coordinator
City of Apopka
Community Development Department
120 East Main Street, Second Floor
Apopka, FL 32703

Re: Northwest Distribution Center Build-To-Suit for Quality Custom Distribution Services, Inc.

Dear Mr. Beckett:

In support of the parking variance request for the above referenced project, see the attached letter and parking analysis from Quality Custom Distribution Services, Inc. (“QCD”). As you will see from their letter and analysis, the designed 187 auto spaces exceeds the maximum projection by 35% and the designed trailer spaces is right in line with the projections.

We have also attached a similar parking analysis for the 2 existing buildings in Northwest Distribution Center which are 100% leased. This analysis shows the following actual densities: 1 office employee for each 284 SF of office; 1 warehouse employee for each 5,433 SF of warehouse and 0.07 trailer spaces for each 1,000 SF of warehouse. These actual densities are significantly less than either the projected or designed densities for QCD and further support the requested parking variance.

It is my understanding that the current code would require 330 auto spaces for QCD in lieu of the designed 187 spaces. Providing 330 spaces would put an undue burden on the project and would make the expansion of QCD impossible. We respectfully request approval of the requested parking variance.

Please let me know if you need any additional information.

Sincerely,

Thomas A. Cobb
Senior V.P., Development

QUALITY

CUSTOM DISTRIBUTION SERVICES INC.

a golden state foods company

August 24, 2016

Mr. Thomas A. Cobb
Oakmont Industrial Group
3520 Piedmont Road, Suite 100
Atlanta, GA 30305

Re: Northwest Distribution Center Build-To-Suit for Quality Custom Distribution Services, Inc.

Dear Tom:

As part of the design process for our proposed 180,000 SF Build-To-Suit project at Northwest Distribution Center in Apopka, FL, we understand that a parking variance is required in order to accommodate the auto and truck parking requirements of our use. In order to assist with this process we are providing the following information in order to substantiate the project design with 187 auto spaces and 59 truck/trailer spaces.

Requirements upon initial operations

- Total number of employees 110
- Number of shifts 3
- Maximum number of employees for largest shift 75 (75 auto spaces)
- Required truck/trailer parking spaces, excluding dock doors 59

Requirements after full ramp of operations (Expected to be 2 years after occupancy)

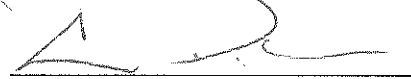
- Total number of employees 160
- Number of shifts 3
- Maximum number of employees for largest shift 90 (90 auto spaces)
- Required truck/trailer parking spaces, excluding dock doors 59

In further support of our required parking, we have done an analysis of 5 of our existing facilities across the country including our current operations at Northwest Distribution Center (See attached analysis). This analysis looks at the square footage of office and warehouse as well as the maximum number of office and warehouse employees and trailer spaces at each facility. We then took the employee and trailer density data from these existing facilities and applied them to our proposed 180,000 SF project. We looked at the average densities of all 5 facilities and then also looked at the densities for the most comparable existing facility located in Pineville, NC. These results project that we would require 138 auto spaces and 58 trailer spaces using the 5 building averages and 136 auto spaces and 58 trailer spaces using the Pineville employee densities and again using the average trailer density.

Since our new facility will operate with multiple shifts, our projected parking requirement of 90 spaces is less than what the attached analysis projects. The designed 187 auto spaces exceeds the highest projected parking requirement by 35% and the designed 59 trailer spaces is right in line with the projected 58 trailer spaces in the attached analysis. This analysis should sufficiently justify the requested parking variance.

Please let us know if you need any additional information. We look forward to expanding our operations with Oakmont and the City of Apopka.

Very truly yours,



Kevin McDade
General Manager
1451 Ocoee Apopka RD BLD B Suite 300
Apopka FL 32703
Phone: 321-248-7551

QCD Existing Parking Analysis For Largest Shift

Existing Facilities								
NWDC Buildings A & B - Apopka, Florida								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	SF/Warehouse & Driver Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
4,512	18	251	91,562	40	2,289	20	0.22	
Total Required Auto Parking - 58								
Total Required Trailer Spaces - 20								
Project 2 - Pineville, NC								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	SF/Warehouse & Driver Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
15,000	35	429	105,000	65	1,615	32	0.30	
Total Required Auto Parking - 100								
Total Required Trailer Spaces - 32								
Project 3 - Miami, FL								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	SF/Warehouse & Driver Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
3,800	9	422	38,920	25	1,557	18	0.46	
Total Required Auto Parking - 34								
Total Required Trailer Spaces - 18								
Project 4 - Suffolk, VA								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	SF/Warehouse & Driver Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
5,000	17	294	43,000	40	1,075	18	0.42	
Total Required Auto Parking - 57								
Total Required Trailer Spaces - 18								
Project 5 - Spokane, WA								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	SF/Warehouse & Driver Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
2,000	6	333	17,000	8	2,125	6	0.35	
Total Required Auto Parking - 14								
Total Required Trailer Spaces - 6								

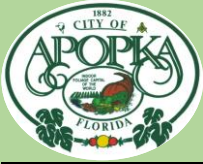
Proposed Facility Based on Average of 5 Existing Facilities								
NWDC Building D - Apopka, Florida								
Office SF	Office Employees	AVG. SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	AVG. SF/Warehouse & Driver Employee	Trailer Spaces	AVG. Trailer Spaces/1,000 WHSF	
14,448	42	346	165,552	96	1,732	58	0.35	
Total Required Auto Parking - 138								
Total Required Trailer Spaces - 58								

Proposed Facility Based on The Most Comparable Existing Facility								
NWDC Building D - Apopka, Florida								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse/Driver Employees	SF/Warehouse Employee	Trailer Spaces	AVG. Trailer Spaces/1,000 WHSF	
14,448	34	429	165,552	102	1,615	58	0.35	
Total Required Auto Parking - 136								
Total Required Trailer Spaces - 58								

Parking Analysis For Existing Tenant Facilities at NWDC

NWDC Building B -Access Information Mgmt.								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
1,865	4	466	38,193	4	9,548	0	0.00	
Total Required Auto Parking - 8								
Total Required Trailer Spaces - 0								
NWDC Building B -Coke								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
1,257	2	629	98,859	4	24,715	0	0.00	
Total Required Auto Parking - 6								
Total Required Trailer Spaces - 0								
NWDC Buildings A & B -QCD								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
4,512	18	251	91,562	40	2,289	20	0.22	
Total Required Auto Parking - 58								
Total Required Trailer Spaces - 20								
NWDC Building A -Container Centralen								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
214	1	214	22,294	4	5,574	0	0.00	
Total Required Auto Parking - 5								
Total Required Trailer Spaces - 0								
NWDC Building A -Miner								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
3,616	19	190	17,992	1	17,992	0	0.00	
Total Required Auto Parking - 20								
Total Required Trailer Spaces - 0								
NWDC Building A -SupplyOne								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
1,591	2	796	35,325	3	11,775	0	0.00	
Total Required Auto Parking - 5								
Total Required Trailer Spaces - 0								

NWDC Totals								
Office SF	Office Employees	SF/Office Employee	Warehouse SF	Warehouse Employees	SF/Warehouse Employee	Trailer Spaces	Trailer Spaces/1,000 WHSF	
13,055	46	284	304,225	56	5,433	20	0.07	
Total Required Auto Parking - 102								
Total Required Trailer Spaces - 20								



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Preliminary Dev. Plan

MEETING OF: September 21, 2016
 FROM: Community Development
 EXHIBITS: Vicinity & Aerial Maps
 Master Plan\PDP
 LDC, Sec. 2.02.20.H.4a

SUBJECT: EMERSON NORTH TOWNHOMES – MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN

REQUEST: APPROVAL OF THE EMERSON NORTH TOWNHOMES MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN SUBJECT TO CONDITIONS.

SUMMARY:

OWNER/APPLICANT: Pulte Group c/o Doug Hoffman
 ENGINEER: Donald W. McIntosh Associates, Inc. c/o John T. Townsend, P.E.
 LOCATION: 1701 Ocoee Apopka Road (South of S.R. 414 and West of Marden Road)
 ZONING: Mixed-EC
 FUTURE LAND USE: Mixed Use (0-15 du/ac)
 EXISTING USE: Planted Pine Trees
 PROPOSED USE: Residential Townhomes Community (136) units & future public right-of-way
 TRACT SIZE: 21.42 +/- (17.1 acres in residential community; 4.24 acres for East Harmon Road ROW)
 DENSITY: 7.95 Unit\Acre (136 units\17.1 acres)

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (City)	Central Florida Expressway	R-O-W	S.R. 414
East (City)	Mixed Use	R-3	Vacant Land/Planted Pines Trees
South (City)	Mixed Use	Mixed-EC	Emerson Park\Single family houses and townhomes
West (City)	Central Florida Expressway	R-O-W	Vacant Land/Retention Pond

FUNDING SOURCE:

N/A

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police 73

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

ADDITIONAL COMMENTS: The Emerson North Townhomes Master Plan/Preliminary Development Plan is a two phase project proposing 136 townhome units with 3.12 +/- acres of active and passive recreation and open space within a 17.1 +/- acre site. The Mixed-EC zoning designation requires a minimum of 2.565 acres for parks and open space for this residential community to be owned and maintained by the homeowners’ association. All internal roads will be private streets also maintained by the homeowners’ association. The project entrances will be gated. The proposed living area for the townhomes is 1,530 sq. ft. which exceeds the 1,350 sq. ft. minimum requirement and the 1,500 sq. ft. aggregate for the Mixed-EC zoning designation.

The minimum setbacks applicable to the project are:

Setback	Min. Standard
Perimeter	25’
Front	50’*
Side	20’*
Rear	50’*
*Distance between structures.	

Building Architecture: Exterior elevations of all proposed homes must be reviewed by the Community Development Department prior to issuance of a building permit. Exterior home elevations must meet the intent of the City’s Development Design Guidelines. Staff has determined that the current architectural renderings within the Master Plan meet the intent of the City’s Development Design Guidelines.

Access: Ingress/egress for the development will be via two access points from Harmon Road. The western access/gate will become available at the time East Harmon Road is extended to the west.

Stormwater: The stormwater management system includes an on-site retention area. Stormwater ponds are located within Tract “B” and Tract “C.” The design of the stormwater ponds meets the City’s Land Development Code requirements.

Recreation: The developer is providing over 3.12 acres of active and passive recreation space when only 2.565 acres is required. The applicant is proposing a swimming pool with a cabana (400 +/- sq. ft.) and a tot lot within the active recreational space. Per Section 2.02.20.H.4a of the Land Development Code, developments made up of less than 300 units shall be required to construct a minimum total of 2,000 sq. ft. of facility or facilities for a Neighborhood Activity Center. This facility will be one of the following: meeting halls; recreation facilities such as a gazebo, covered pavilions, etc. The Master Plan/Preliminary Development Plan provides only a 1,500 sq. ft. cabana with an oversized pool area of 800 sq.ft. The proposed facilities meet the requirements of Section 2.02.20H.4a.

Buffer/Tree Program: Buffers provided are consistent with the Land Development Code. The planted pine is exempt from the arbor requirements and will be harvested for silviculture purposes.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	15,277
Total number of specimen trees:	2
Total specimen inches retained:	0
Total inches replaced:	1,033
Total inches removed:	1,606
Total inches retained:	1,441
Total inches post development:	2,474

ENVIRONMENTAL: The developer must obtain approval from the Florida Department of Environmental Protection prior to commencing any site construction activity regarding protection and relocation of any identified protected species. A habitat management plan must be submitted with the Final Development Plan.

SCHOOL CAPACITY REPORT: Excepting any plat that addresses only the northern public right-of-way to be dedicated to the City of Apopka, a plat shall not be recorded until such time that a concurrency mitigation agreement has been approved by Orange County Public Schools (OCPS).

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the land use amendment and rezoning applications for this property. Coordination occurred with County planning staff regarding impact on adjacent parcels. Orange County also receives a copy of the Development Review Committee agenda.

CONDITIONS OF APPROVAL:

1. A developer’s agreement must be submitted with final development plan to address the conveyance of land to the City of Apopka for the future Harmon Road right-of-way extension, road construction, and transportation impact fee credits. The right-of-way shall be sufficient to provide a two-lane divided street with a multi-use trail on the south side of the road.

PUBLIC HEARING SCHEDULE:

August 9, 2016 – Planning Commission, 5:30 P.M.

September 21, 2016 – City Council, 7:00 P.M.

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Emerson North Townhomes Master Plan/Preliminary Development Plan, subject to City Council approval of a Developer’s Agreement, the provision of a minimum 2,000 sq. ft. of Neighborhood Activity Center, and subject to the findings in the staff report.

The **Planning Commission**, at its meeting on August 9, 2016, unanimously recommended to find the Emerson North Townhomes Master Plan/ Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code; to recommend approval of the Emerson North Townhomes Master Plan/Preliminary Development Plan subject to City Council approval of a Developer’s Agreement; the provision of a minimum 2,000 sq. ft. of Neighborhood Activity Center; and the condition for the provision of a 22 foot front setback to accommodate parking of large vehicles, such as F-150s, in the driveways; and subject to the findings in the staff report for the property owned by Pulte Group, c/o Doug Hoffman and located at 1701 Ocoee Apopka Road.

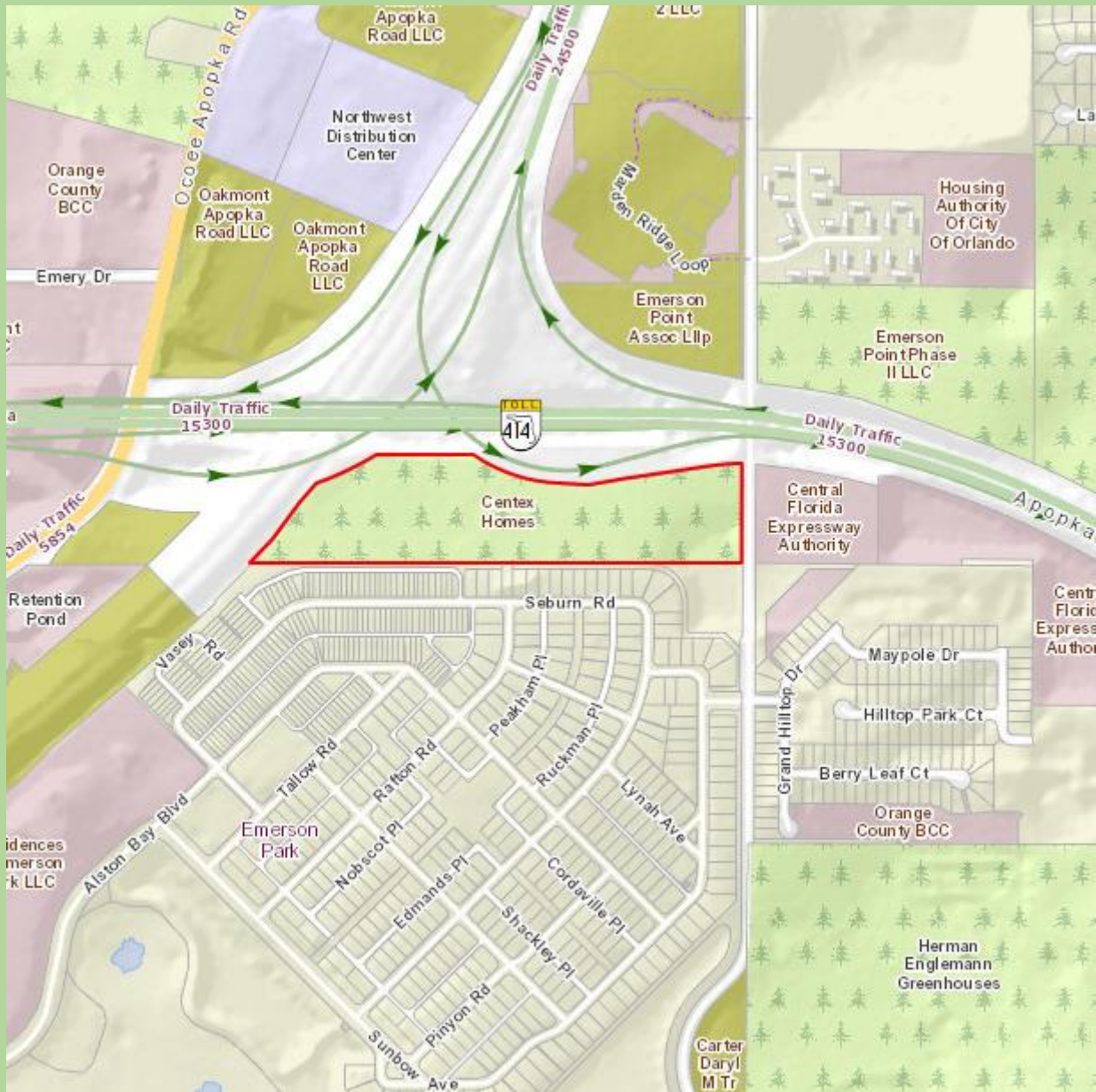
City Council: DRC and Planning Commission both recommend to approve; however, Planning Commission recommended additional development conditions. Following the Planning Commission meeting of August 9, 2016, the applicant amended the Master Plan\Preliminary Development Plan to shift the sidewalk two feet further from the lot line, creating 22 feet between the edge of the sidewalk and the garage but still leaving a 20 foot distance between the garage and the lot line. Planning Commission requested a 22 foot setback. Pursuant to the LDC, the minimum required setback for a townhouse garage is 20 feet. Further, following the Planning Commission hearing, applicant revised the Master Plan\PDP to include the revised Neighborhood Activity Center facilities presented at the Planning Commission hearing; thus, eliminating a need for a development condition regarding recreation and community facilities.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



EMERSON NORTH TOWNHOMES
21.42 +/- Acres (17.1 acres residential/4.24 future R.O.W)
Proposed Number of Units: 136
Parcel ID#: 20-21-28-0000-00-001

VICINITY MAP





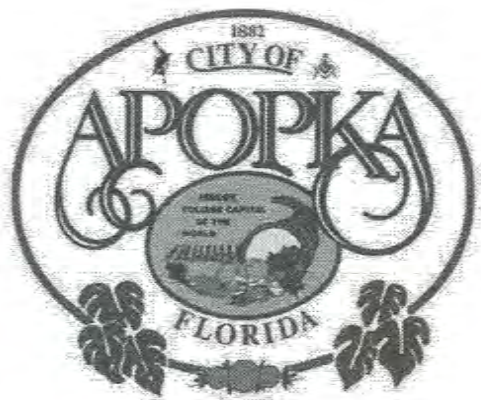
AERIAL MAP



MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN

EMERSON NORTH TOWNHOMES

CITY OF APOPKA, FLORIDA



PREPARED FOR

PULTE GROUP
4901 VINELAND RD, 5th FLOOR
ORLANDO, FL 32811
407.509.4014



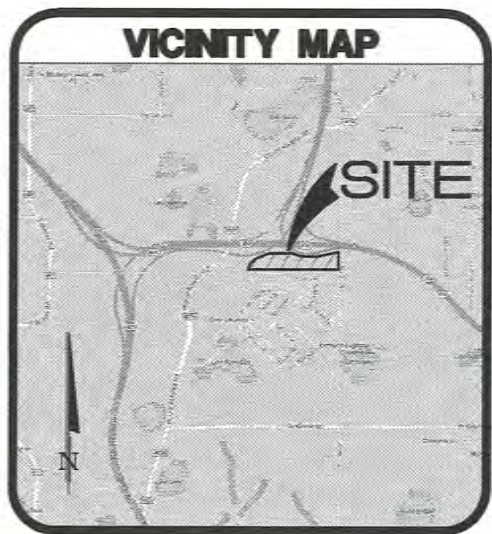
NOT FOR CONSTRUCTION
 DONALD W. MCINTOSH ASSOCIATES, INC. AUTHORIZATION NO. 08
 JOHN T. TOWNSEND FLORIDA P.E. No. 52127
 DATE: 9/6/2016

DESCRIPTION: (Prepared by Others)

A parcel of land, being a portion of that certain Trustee's Deed, as recorded in Official Records Book 8623, Page 2003, lying in Section 20, Township 21 South, Range 28 East, being described as follows:

Commence at the Northeast corner of the plot of EMERSON PARK, according to the plot thereof as recorded in Plat Book 66, Pages 1 through 17 for a POINT OF BEGINNING; thence run South 89°56'54" West, along the North line of said EMERSON PARK, 2304.23 feet to the Northwest corner of said EMERSON PARK and the Easterly limited access Right-of-Way line of State Road 451, according to the Orlando-Orange County Expressway Authority Right-of-Way Map of Midland Boulevard Extension of State Road 429/414 Systems Interchange, prepared by URS Corporation dated 12-15-10, said point lies on a non-tangent curve concave Northwestward; thence run along said Easterly limited access of State Road 451, the following courses; thence run Northwesterly, along said non-tangent curve having a radius of 7809.44 feet, a central angle of 01°10'57", an arc length of 161.19 feet, a chord length of 161.19 feet and a chord bearing of North 43°17'31" East; thence non-tangent to said curve, run North 38°21'34" East, 200.20 feet to a point on a non-tangent curve concave Northwestward; thence run Northwesterly, along said non-tangent curve, having a radius of 7789.44 feet, a central angle of 00°52'54", an arc length of 119.88 feet, a chord length of 119.88 feet and a chord bearing of North 40°45'40" East to a point of intersection with the Southerly limited access Right-of-Way line of State Road 414, according to the Orlando-Orange County Expressway Authority Right-of-Way Map of Midland Boulevard Extension of State Road 429/414 Systems Interchange, said point lies on a non-tangent curve concave Northwestward; thence run along said Southerly limited access Right-of-Way line the following courses; thence run Northwesterly, along said non-tangent curve, having a radius of 1430.00 feet, a central angle of 12°34'34", an arc length of 313.88 feet, a chord length of 313.25 feet and a chord bearing of North 64°35'56" East; thence run non-tangent to said curve, South 89°55'15" East, 453.46 feet to a point on a non-tangent curve concave Northwesterly; thence run Southwesterly, along said non-tangent curve, having a radius of 748.49 feet, a central angle of 31°42'43", an arc length of 414.63 feet, a chord length of 409.55 feet and a chord bearing of South 71°21'00" East; thence non-tangent to said curve, run South 86°44'15" East, 152.54 feet; thence run North 80°21'42" East, 174.31 feet; thence run North 81°41'03" East, 401.05 feet to a point on a non-tangent curve concave Southerly; thence run Easterly, along said non-tangent curve, having a radius of 1223.14 feet, a central angle of 07°04'42", an arc length of 151.11 feet, a chord length of 151.01 feet and a chord bearing of North 85°31'18" East to a point lying on the West Right-of-Way line of Midland Road, according to said Orlando-Orange County Expressway Authority Right-of-Way Map of Midland Boulevard Extension of State Road 429/414 Systems Interchange, thence run South 00°15'48" West, along said West Right-of-Way line, 457.16 feet to the POINT OF BEGINNING.

The above described parcel of land lies in Orange County, Florida and contains 21.424 acres, more or less.



ENGINEER/SURVEYOR:

DONALD W. MCINTOSH ASSOCIATES, INC.
 2200 PARK AVENUE NORTH
 WINTER PARK, FLORIDA 32789
 PH: 407.644.4068
 CONTACT PERSON: JOHN T. TOWNSEND, PE

OWNER/DEVELOPER/APPLICANT:

PULTE GROUP
 4901 VINELAND ROAD, 5th FLOOR
 ORLANDO, FL 32811
 PH: 407.509.4014
 CONTACT PERSON: DOUG HOFFMAN

LANDSCAPE/HARDSCAPE ARCHITECT

FOSTER CONANT & ASSOCIATES, INC.
 120 W. ROBINSON STREET
 ORLANDO, FL 32801
 PH: 407.648.2225
 CONTACT: RICK CONANT

REVISED AUGUST 26, 2016
OCTOBER 26, 2015



DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS
 2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068

NOTES:

- INTERNAL ROADS ARE PRIVATELY OWNED AND MAINTAINED BY THE HOA.
- ALL WATER, SANITARY SEWER AND RECLAIM UTILITIES WILL BE DEDICATED TO, OWNED AND MAINTAINED BY THE CITY OF APOPKA.

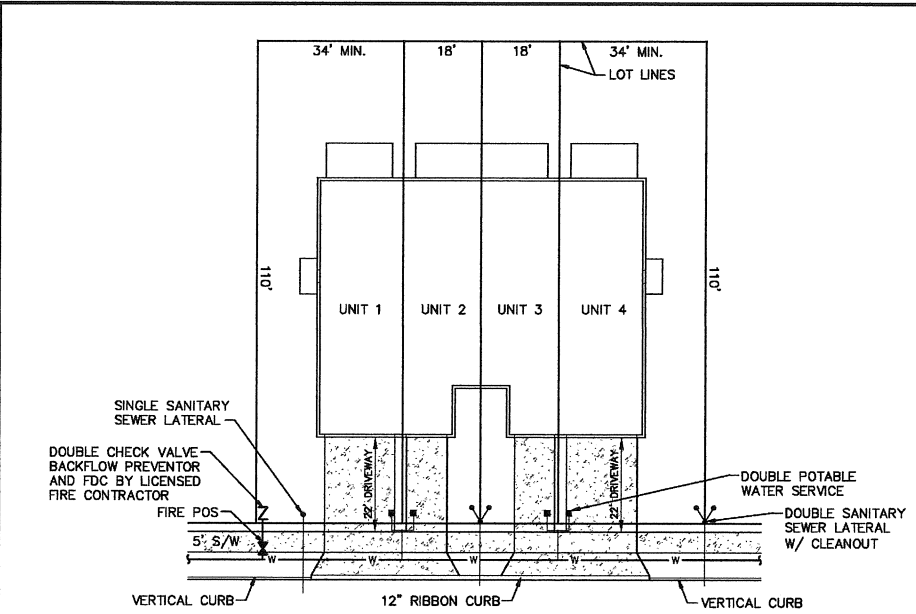
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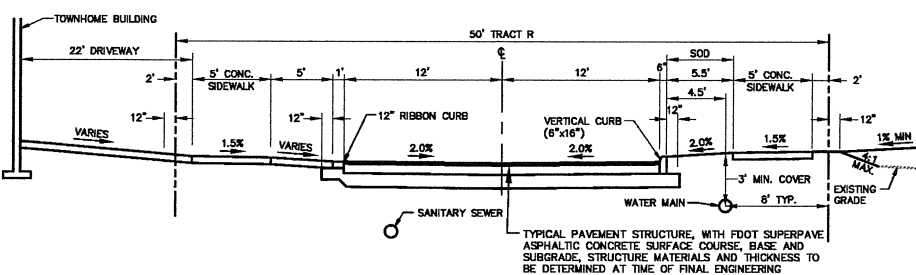
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SECTION 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST
 PROPERTY APPRAISER PARCEL ID # 20-21-28-0000-00-001

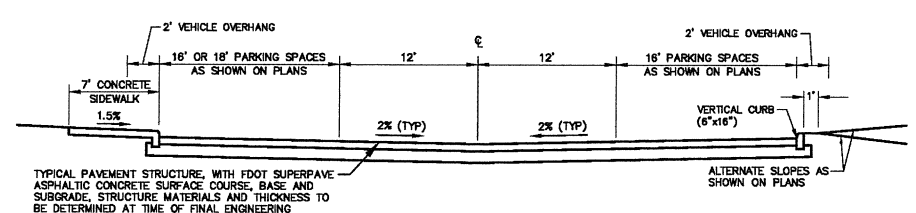
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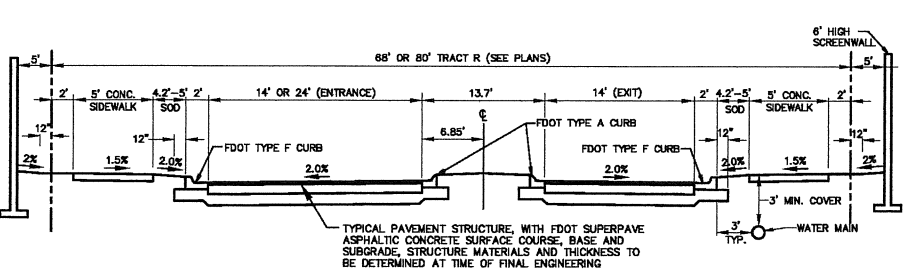
TYPICAL LOT DETAIL NTS



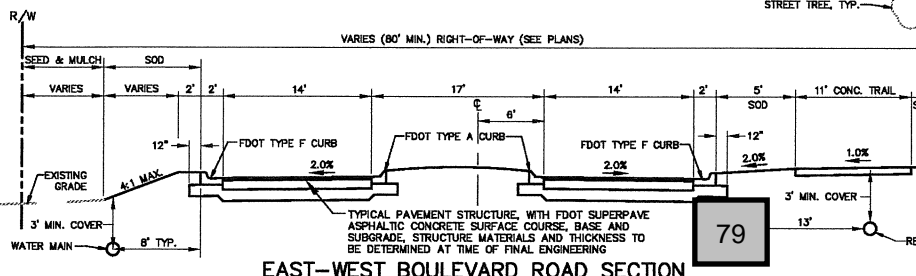
INVERTED CROWN ROAD SECTION NTS



TYPICAL PARKING SPACE NTS



RESIDENT/GUEST ENTRANCE SECTION NTS



EAST-WEST BOULEVARD ROAD SECTION NTS

- NOTES**
- ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO REVIEW AND MODIFICATION DURING FINAL DEVELOPMENT PLANS APPROVAL PROCESS.
 - FINAL DEVELOPMENT PLANS AT A MINIMUM SHALL ADDRESS THE INFORMATION REQUIRED UNDER SECTION 12.02.04 OF THE CITY OF APOPKA LAND DEVELOPMENT CODE.
 - ALL PROPOSED DEVELOPMENT IMPROVEMENTS SHALL CONFORM TO THE CITY OF APOPKA LAND DEVELOPMENT CODE, ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND FLORIDA DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 - ALL WATER, RECLAIM AND SANITARY SEWER SYSTEMS SHALL BE DEDICATED TO, OWNED AND MAINTAINED BY THE CITY OF APOPKA. ALL INTERNAL SIDEWALKS TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATES (HOA).
 - THE DESIGN AND CONSTRUCTION OF STORMWATER MANAGEMENT SYSTEMS, WATER AND SEWER SYSTEMS, UTILITIES AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA CONSTRUCTION DESIGN STANDARDS MANUAL.
 - ON-SITE UTILITIES ARE SHOWN AS CONCEPTUAL ONLY, FINAL PLACEMENT WILL BE DETERMINED DURING THE FINAL DEVELOPMENT PLAN PROCESS.
 - ALL PROPOSED UTILITIES (ELECTRICAL, CABLE TV, GAS, TELEPHONE, ETC.) SHALL BE INSTALLED UNDERGROUND. APPURTENANCES TO THESE SYSTEMS THAT ARE REQUIRED TO BE ABOVE GROUND SHALL BE EFFECTIVELY SCREENED.
 - PROJECTED UTILITY CONSUMPTION/IMPACTS AND REQUIRED FIRE FLOW:
 POTABLE WATER DAILY CONSUMPTION = 45,010 GPD (32 GPM)
 REQUIRED FIRE FLOW = 1,250 GPM
 RECLAIMED WATER DAILY CONSUMPTION = 71,300 GPD (50 GPM) (2 DAYS)
 WASTEWATER DAILY GENERATION = 39,100 GPD (27 GPM)
 REFUSE DAILY GENERATION = 1,632 LBS/DAY
 - SANITARY WASTE SERVICES WILL BE PROVIDED BY THE CITY OF APOPKA. SANITARY WASTE WILL BE COLLECTED IN A GRAVITY SEWER SYSTEM AND WILL CONNECT TO THE EXISTING CITY OWNED GRAVITY SYSTEM TO THE SOUTH IN EMERSON PARK SUBDIVISION. THE SANITARY SYSTEM WILL BE DEDICATED TO, OWNED AND MAINTAINED BY THE CITY OF APOPKA.
 - STORM WATER MANAGEMENT FACILITIES WILL BE PROVIDED FOR WITHIN THE EXISTING RETENTION POND, MODIFIED AS SHOWN, LOCATED AT THE SOUTHEAST CORNER OF THE PROPERTY AND WITHIN A SMALL RETENTION POND IN THE SOUTHWEST CORNER.
 - THIS SITE IS LOCATED IN ZONE X FLOOD HAZARD ZONE, OUTSIDE OF THE 100 YEAR FLOODPLAIN PER FEMA/FIRM MAP, ORANGE COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12095C 0120F, REVISED SEPTEMBER 25, 2009. NEAREST FLOOD PLAIN ELEVATION SET BY FEMA IS IN ZONE AE, ELEVATION 69.3 MSL FOR LAKE MAYNARD.
 - PER USDA SOIL CONSERVATION SERVICE CLASSIFICATION SYSTEM SOIL SURVEY MAPS THE ON-SITE SOILS ARE AS FOLLOWS (SEE MAP ABOVE):
 4 - CANDLER FINE SAND, 0-5% SLOPES
 21 - LAKE FINE SAND, 0-5% SLOPES
 - NO EXISTING JURISDICTIONAL WETLANDS OR OTHER POTENTIAL ENVIRONMENTAL CONDITIONS WERE OBSERVED ON-SITE.
 - NO KNOWN EXISTING HISTORICAL STRUCTURES OR OTHER CULTURALLY SIGNIFICANT ARTIFACTS WERE OBSERVED ON-SITE.
 - PRIOR TO COMMENCING CLEARING AND GRADING ACTIVITIES, A HABITAT MANAGEMENT SURVEY AND A PERMIT/LETTER FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION MUST BE RECEIVED WITH A COPY FORWARDED TO THE CITY OF APOPKA, FOR APPROVAL OF THE GOPHER TORTOISE AND SAND SKINK SURVEY AND ANY REQUIRED REMEDIAL ACTIVITY.
 - TRANSPORTATION IMPACT ASSESSMENT: PER THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) TRIP GENERATION MANUAL, 9th EDITION, RESIDENTIAL CONDOMINIUM/TOWNHOUSE (230) GENERATES AVERAGE RATES AS FOLLOWS:
 WEEKDAY: 5.81 TRIPS/UNIT = (5.81 TRIPS * 136 UNITS) = 790 TRIPS
 P.M. PEAK HOURLY: 0.52 TRIPS/UNIT = (0.52 TRIPS * 136 UNITS) = 71 TRIPS
 - PROJECT LANDSCAPING WILL MEET STANDARDS SET FORTH IN SECTION 2.09.19(D)(21) OF THE CITY OF APOPKA LAND DEVELOPMENT CODE. LANDSCAPE AND IRRIGATION SHALL BE IN COMPLIANCE WITH "WATER WISE ORDINANCE 2069", UNLESS OTHERWISE APPROVED BY THE CITY.
 - PROJECT LIGHTING WILL MEET STANDARDS SET FORTH IN THE CITY OF APOPKA LAND DEVELOPMENT CODE (LDC) AND THE CITY'S DEVELOPMENT DESIGN GUIDELINES UNLESS OTHERWISE APPROVED BY THE CITY. LIGHT POLE FOOTERS CANNOT BE EXPOSED ABOVE GRADE AND DECORATIVE TYPE POLES SHALL BE USED. SITE LIGHTING PLANS WITH POLE AND FIXTURE OUT SHEETS WILL BE PROVIDED DURING THE FINAL DEVELOPMENT PLAN PROCESS.
 - PROJECT SIGNAGE SHALL COMPLY WITH THE CITY OF APOPKA LAND DEVELOPMENT CODE, ARTICLE VII. SIGNAGE PLANS SHALL BE PROVIDED DURING THE FINAL DEVELOPMENT PLAN PROCESS.
 - WELLFIELD PROTECTION: THERE ARE NO KNOWN WELL FIELDS WITHIN THE PROJECT AREA.
 - THERE IS AN EXISTING WATER WELL ON-SITE. THIS WELL WILL BE ABANDON PER REQUIREMENTS SETOUT BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP).
 - REFUSE WILL BE COLLECTED CURB SIDE BY THE CITY OF APOPKA.
 - FIRE RESCUE WILL BE PROVIDED BY THE CITY OF APOPKA FIRE DEPARTMENT. THE FIRE DEPARTMENT IS APPROXIMATELY 2.5 MILES NORTHEAST OF THE DEVELOPMENT, LOCATED ON SOUTH PARK AVENUE. ON-SITE FIRE PROTECTION WILL BE PROVIDED WITH A LOOPED WATER DISTRIBUTION SYSTEM WITH FIRE HYDRANTS. BOTH ENTRANCE GATE CONTROLLERS TO BE EQUIPPED WITH VISUAL OPTICOM, YELP SIREN ACTIVATION AND KEY CODE ACCEPTABLE TO CITY FOR EMERGENCY ACCESS.
 - TOWNHOME CONSTRUCTION SHALL PROVIDE FIRE PROTECTION IN ACCORDANCE WITH STATE AND CITY REQUIREMENTS. CITY APPROVED FIRE AND LIFE SAFETY IMPROVEMENTS SHALL BE IN PLACE PRIOR TO VERTICAL CONSTRUCTION.
 - NO OUTSIDE STORAGE OF PARTS, SUPPLIES, MATERIALS, GOODS OR EQUIPMENT SHALL BE ALLOWED, UNLESS SCREENED FROM VIEW.
 - ALL ACCESSORY STRUCTURES AND USES SHALL CONFORM TO CITY OF APOPKA ARTICLE VI, SECTION 7.01.00 OF THE LDC.
 - ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM ADJACENT PROPERTY AND PUBLIC RIGHT-OF-WAYS.
 - ALL INTERNAL TRAFFIC CONTROL SIGNAGE WILL COMPLY WITH CITY OF APOPKA, MUTCD AND FDOT STANDARDS, LATEST EDITIONS AND WILL BE PROVIDED DURING FINAL DEVELOPMENT PLAN APPROVAL PROCESS.
 - THE CITY OF APOPKA REQUIRES THIS DEVELOPMENT TO DEDICATE A SIGN AND LANDSCAPE TRACT TO THE CITY FOR FUTURE BRANDING. MINIMUM AREA SHALL ACCOMMODATE A 100 SQUARE FOOT MONUMENT SIGN WITH ASSOCIATED LANDSCAPING. THE PROPOSED AREA IS LOCATED IN THE NORTHEAST CORNER. TRACT F IS SHOWN FOR GENERAL LOCATION AND SIZE. THE FINAL SIZE FOR THE TRACT TO BE DETERMINED DURING THE FINAL DEVELOPMENT PLAN PROCESS AND WILL BE INCLUDED ON THE PLAN.
 - SCHOOLS: PROJECT DEVELOPER SHALL COORDINATE WITH ORANGE COUNTY PUBLIC SCHOOLS (OCPs) FOR CAPACITY VERIFICATION OR ENTER INTO A CAPACITY ENHANCEMENT AGREEMENT (CEA) PRIOR TO APPROVAL OF THE FINAL DEVELOPMENT PLANS.
 - FOLLOWING LIST OF PERMITS, BUT NOT LIMITED TO, ARE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION:
 • CITY OF APOPKA FINAL DEVELOPMENT PLAN APPROVAL
 • FDEP POTABLE WATER SYSTEM DISTRIBUTION PERMIT
 • FDEP WASTEWATER COLLECTION SYSTEM PERMIT
 • ST. JOHNS RIVER WATER MANAGEMENT ERP
 • NPDES PERMITTING (INCLUDING NOI AND NOT)
 - NO STREET PARKING IS PERMITTED. SIGNAGE WILL BE PROVIDED DURING FINAL DEVELOPMENT PLAN PROCESS.
 - THE SUBJECT PROPERTY IS SUBJECT TO A DEVELOPMENT AGREEMENT.
 - ONE BUILDING WITHIN THE LIMITS OF PHASE 1 WILL BE DESIGNATED AS A MODEL CENTER.
 VERTICAL BUILDING PERMIT FOR THE MODEL HOME BUILDING MAY BE ISSUED PRIOR TO CERTIFICATE OF COMPLETION OF SITE INFRASTRUCTURE SUBJECT TO PROVISIONS FOR SATISFACTORY FIRE DEPARTMENT ACCESS AND WATER SUPPLY, AS DETERMINED BY THE CITY FIRE DEPARTMENT.

SITE DATA

- THE PROPOSED PROJECT IS DEVELOPMENT OF EXISTING VACANT PROPERTY INTO A RESIDENTIAL TOWNHOME COMMUNITY. IMPROVEMENTS WILL INCLUDE BUILDINGS, PAVED ROADS, SIDEWALKS, ASSOCIATED UTILITIES, AND LANDSCAPING. ALL IMPROVEMENTS WILL BE CONSTRUCTED IN TWO (2) PHASES. FINAL LIMITS OF PHASING, WILL BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
- PROJECT AREA: 933,244 SF = 21.42 ACRES
- PROJECT ADDRESS: MARDEN ROAD, APOPKA FL
- EXISTING ZONING: MIXED EC
- SURROUNDING ZONING:
 NORTH: A-1, STATE ROAD 429/414 EXTENSION
 EAST SIDE: R-3
 WEST SIDE: A-1, STATE ROAD 429/414 EXTENSION
 SOUTH SIDE: MIXED-EC
- FUTURE LAND USE (FLU) DESIGNATION: MU (MIXED USE)
- EXISTING LAND USE: VACANT
- PROPOSED LAND USE: RESIDENTIAL TOWNHOUSE COMMUNITY
- SETBACKS:
 PERIMETER BUFFER: 25 FT
 INTERNAL SETBACKS:
 FRONT: 20 FT
 SIDE YARD: 10 FT
 CORNER: 15 FT
 BUILDING FRONT TO FRONT: 50 FT
 BUILDING REAR TO REAR: 50 FT
 REAR: 20 FT
- BUILDINGS:
 17 BUILDINGS (8 UNITS EACH) = 136 UNITS
 2 STORY UNITS, 35' MAX. HEIGHT
- BUILDING DENSITY:
 ALLOWED: 15 UNITS / AC
 PROVIDED: 136 UNITS / 21.43 AC = 6.3 UNITS / AC
- BUILDING HEIGHT:
 ALLOWED: 35'
 PROVIDED: 35'
- MINIMUM LIVING AREA: 1,350 SF
- REQUIRED VEHICULAR PARKING SPACES SHALL COMPLY WITH ARTICLE VI OF THE CITY OF APOPKA LAND DEVELOPMENT CODE.
 DWELLING UNIT TO PROVIDE 2 SPACES PER UNIT (136 UNITS * 2 SPACES) = 272 PARKING SPACES
 PLUS FOR GUEST PARKING 1 SPACE PER 4 UNITS (136 UNITS / 4) = 34 PARKING SPACES
 TOTAL REQUIRED PARKING SPACES: 306 PARKING SPACES
- PROVIDED VEHICLE PARKING:
 EACH RESIDENTIAL UNIT HAS 1-2 PARKING SPACES IN THE GARAGE AND 1-2 PARKING SPACES OUTSIDE THE GARAGE
 DOUBLE CAR GARAGE UNITS = 36 UNITS * 2 SPACES INSIDE AND 2 SPACES OUTSIDE = 144 SPACES
 SINGLE CAR GARAGE UNITS = 100 UNITS * 1 SPACE INSIDE AND 1 SPACE OUTSIDE = 200 SPACES
 TOTAL PROVIDED RESIDENTIAL PARKING SPACES = 344 SPACES
- GUEST PARKING (INTERNAL TO SITE AND AT THE CLUB HOUSE AREA) = 88 SPACES
 TOTAL PARKING SPACES PROVIDED = 432 SPACES
- REQUIRED OPEN SPACE PER ARTICLE II SECTION 2.02.01-GENERAL OF THE CITY OF APOPKA LDC IS A MINIMUM OF 30% LAND AREA.
 MINIMUM REQUIRED: (933,244 SF * 30%) = 279,973 SF = 6.43 ACRES
 PROVIDED: 387,405 SF = 13.48 ACRES (62.9%)
- IMPERVIOUS AREA: MAXIMUM ALLOWABLE IMPERVIOUS SURFACE RATIO IS 70% PER CITY OF APOPKA LDC.
 MAXIMUM ALLOWED: (933,244 SF * 70%) = 653,271 SF = 15.00 ACRES = 70.0%
 PROPOSED:
 BUILDINGS (FOOTPRINT) = 161,047 SF = 3.70 ACRES = 17.3%
 CABANA/POOL (FOOTPRINT) = 6,572 SF = 0.15 ACRES = 0.7%
 PAVEMENT, SIDEWALKS, ETC. = 178,220 SF = 4.08 ACRES = 19.1%
 TOTAL IMPERVIOUS SURFACE = 345,839 SF = 7.94 ACRES = 37.1%
- RECREATION (PASSIVE AND/OR ACTIVE)
 MINIMUM REQUIRE 15%: (17.18 AC) x (15%) = 2.58 AC
 PROVIDED: 3.12 AC
- ACTIVE RECREATION:
 REQUIRED: 2,000 SF OF NEIGHBORHOOD ACTIVITY CENTER
 PROVIDED: 1,500 SF CABANA, 800 SF POOL AREA, AND A TOT LOT

TRACTS

TRACT NAME	AREA (AC)	USE	OWN/MAINTAIN
A	0.96	OPEN SPACE	HOA
B	2.22	RETENTION/DRAINAGE	HOA's (2)
C	0.48	RETENTION/DRAINAGE	HOA
D	0.73	RECREATION & OPEN SPACE	HOA
E	1.91	RECREATION & OPEN SPACE	HOA
F	0.01	CITY LANDSCAPE & SIGNAGE	CITY (4)
G	4.24	HARMON ROAD RIGHT-OF-WAY	CITY
H	0.48	RECREATION (CABANA) & OPEN SPACE	HOA
J	0.09	UTILITIES AND OPEN SPACE	HOA (3)
R	2.67	INTERNAL ROADWAYS & UTILITIES	HOA (3)

NOTES:
 1. EMERSON NORTH TOWNHOMES HOME OWNERS ASSOCIATION (HOA).
 2. JOINT OWNERSHIP/MAINTENANCE RESPONSIBILITY WITH EMERSON NORTH TOWNHOME HOA AND EMERSON PARK HOA.
 3. ROADS, SIDEWALKS AND DRAINAGE OWNED AND MAINTAINED BY THE HOA. WATER & SEWER UTILITIES OWNED AND MAINTAINED BY THE CITY OF APOPKA.
 4. LOCATION SHOWN FOR GENERAL INFORMATION ONLY, SUBJECT TO REVISIONS. SEE GENERAL NOTE 28.

LEGEND

EXISTING	ITEM	PROPOSED
100	DRAINAGE LINE, SIZE AND CALL-OUT	D
RELET	CURB INLETS	L-1 L-2 L-3 L-4
DM	DITCH BOTTOM INLET, YARD INLET, DRAINAGE MANHOLE, CONTROL STRUCTURE AND MITERED END SECTION	DM-6 DM-7 DM-8 DM-9 DM-10 DM-11 DM-12
U-5A U-7	U-TYPE ENDWALL	U-5 U-7
SEW-10	STRAIGHT ENDWALL	SEW-10
SEW-11	WINGED ENDWALL	SEW-11
FES-12	FLARED END SECTION	FES-12
100	SURFACE DRAINAGE DIRECTION	
	SWALE	
100	CONTOUR ELEVATION	
	GRADING ELEVATION, HIGH POINT (HP) OR LOW POINT (LP)	HP OR LP
	SLOPE (HORIZ-VERT)	S:1
	FENCE LINE W/ GATE	X-X-X-X-X-X
	WATER LINE, VALVE, HYDRANT ASSEMBLY, REDUCER AND BLOW-OFF	W-W-W-W-W-W
	WATER METER AND MASTER METER ASSEMBLY	
	FIRE PROTECTION WATER LINE & SIZE AND POST INDICATOR VALVE	FW
	FIRE PROTECTION POINT OF SERVICE	POS
	FIRE DEPARTMENT CONNECTION	FDC
	RECLAIMED WATER LINE, SIZE, VALVE, REDUCER AND BLOW-OFF	R-R-R-R-R-R
	RECLAIMED WATER LINE & PLUG	R
	SANITARY SEWER LINE, SIZE AND CALL-OUT	S
	SANITARY SEWER MANHOLE, SINGLE SERVICE LATERAL WITH CLEAN-OUT, DOUBLE SERVICE LATERAL, DUCTILE IRON PIPE & SIZE AND PLUG	SM-1 CO
	BUILDING SETBACK LINE	BSL
	PHASE LINE	---
	EDGE OF PAVEMENT RADIUS DIMENSION	25'R
	NUMBER OF PARKING SPACES	⊙
	HANDICAP PARKING SPACE W/ SIGN	⊙
	TRAFFIC CONTROL SIGN	⊙
	PAINTED WHITE DIRECTIONAL ARROWS	→
	12" WHITE CROSSWALK (F.D.O.T. INDEX 17346) WITH 2" STOP BAR	→
	CONCRETE SIDEWALKS AND CURB RAMPS	
	CONCRETE PAVEMENT	
	ASPHALT PAVEMENT	

VARIANCE/WAIVER REQUEST TABLE (CIVIL)

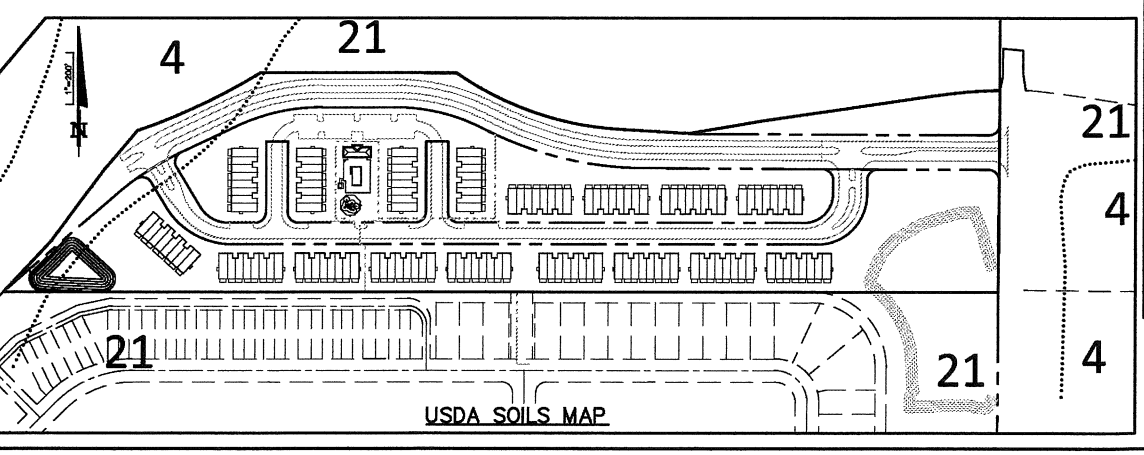
CODE No.	CODE REQUIRED	V/W	REQUEST	JUSTIFICATION
N/A	N/A	N/A	N/A	N/A

UTILITY PROVIDERS

CITY OF APOPKA	CENTURYLINK FLORIDA, INC.	LAKE APOPKA NATURAL GAS
WATER, WASTEWATER & RECLAIM PUBLIC SERVICES DEPARTMENT 748 EAST CLEVELAND STREET APOPKA, FL 32703 PH: 407.703.1731	TELECOMMUNICATIONS 33 NORTH MAIN STREET WINTER GARDEN, FL 34787 PH: 407.814.5351 FAX: 407.814.5320	NATURAL GAS 1320 WINTER GARDEN WINDLAND ROAD WINTER GARDEN, FL 34787 PH: 407.656.2734 FAX: 407.410.7024

DUKE ENERGY

ELECTRICAL DIVISION	BRIGHT HOUSE NETWORKS
452 EAST CROWN POINT ROAD WINTER GARDEN, FL 32787 PH: 407.805.3302 FAX: 407.905.3365	CABLE TV 65 SOUTH KELLER ROAD ORLANDO, FL 32810 PH: 407.215.5505 FAX: 407.215.5758



NOT FOR CONSTRUCTION

DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS
 2800 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4088

EMERSON NORTH TOWNHOMES
 CITY OF APOPKA, FLORIDA

MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN

SITE DATA AND GENERAL NOTES

DRAWING 15051-NOTES
 SHEET 2 OF 10

DATE: 10/26/15

CHECKED BY: MAB
 DESIGNED BY: MAB

JOB NUMBER: 15051

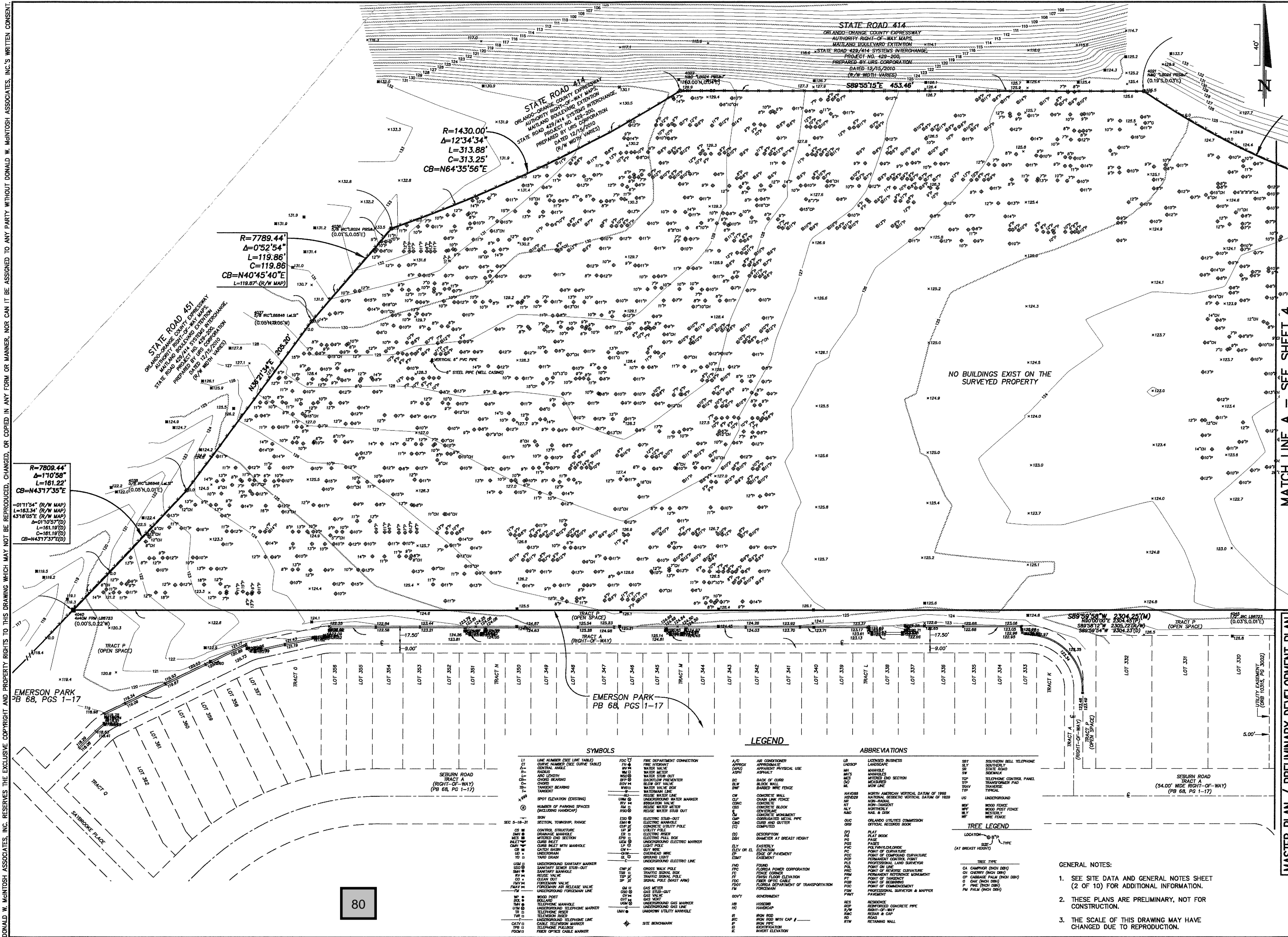
SCALE: NTS

DATE: 10/26/15

REVISIONS

NO.	DATE	REVISIONS
1	9/15/15	REVISED PER CITY COMMENTS DATED 11/27/15
2	7/14/15	REVISED PER CITY COMMENTS DATED 7/5/15
3	7/27/15	REVISED PER CITY COMMENTS & REVISED PHASE LINE
4	9/28/15	REVISED PER P&Z AND CITY STAFF COMMENTS
5	9/28/15	REVISED PER P&Z AND CITY STAFF COMMENTS

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R=7809.44'
Δ=170°58'
L=161.22'
CB=N43°17'35"E

R=7789.44'
Δ=0°52'54"
L=119.86'
CB=N40°45'40"E

R=1430.00'
Δ=12°34'34"
L=313.88'
C=313.25'
CB=N64°35'56"E

EMERSON PARK
PB 68, PGS 1-17

EMERSON PARK
PB 68, PGS 1-17

NO BUILDINGS EXIST ON THE
SURVEYED PROPERTY

SYMBOLS table with columns for symbols and their descriptions, including line numbers, curve data, spot elevations, and various utility markers.

LEGEND table with columns for symbols and their descriptions, including air conditioning, fire department connections, and various utility lines.

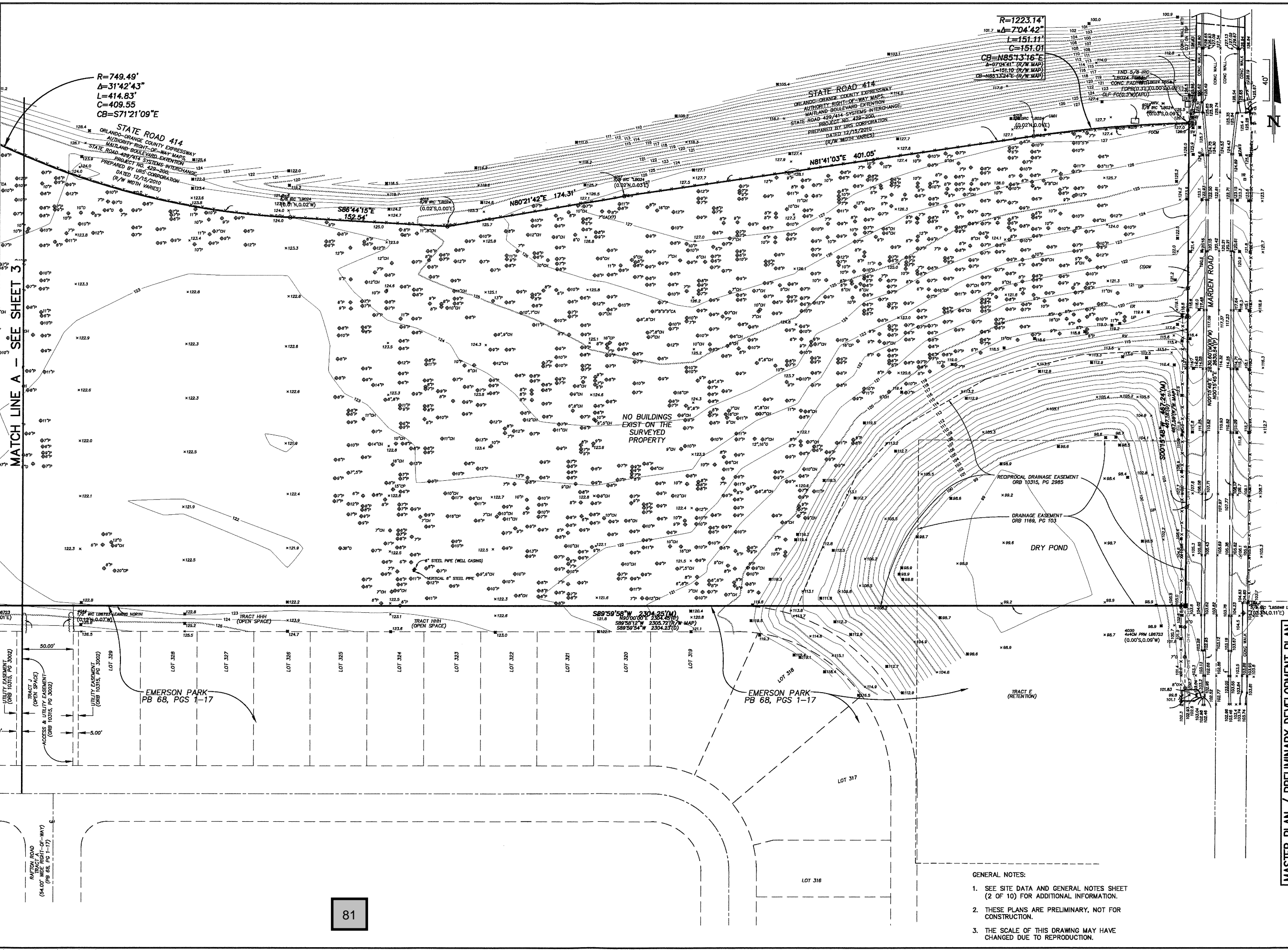
ABBREVIATIONS table with columns for abbreviations and their descriptions, including licensed business, landscape, and various utility terms.

TREE LEGEND table with columns for tree types and their descriptions, including locations and measurements.

- GENERAL NOTES: 1. SEE SITE DATA AND GENERAL NOTES SHEET (2 OF 10) FOR ADDITIONAL INFORMATION. 2. THESE PLANS ARE PRELIMINARY, NOT FOR CONSTRUCTION. 3. THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

Vertical sidebar containing project information: DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS PLANNERS SURVEYORS; EMERSON NORTH TOWNHOMES CITY OF APOPKA, FLORIDA EXISTING CONDITIONS PLAN - WEST; SHEET 3 OF 10; MATCH LINE A - SEE SHEET 4; and a revision table.

DONALD W. MCINTOSH ASSOCIATES, INC. RESERVES THE EXCLUSIVE COPYRIGHT AND PROPERTY RIGHTS TO THIS DRAWING WHICH MAY NOT BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER, NOR CAN IT BE ASSIGNED TO ANY PARTY WITHOUT DONALD W. MCINTOSH ASSOCIATES, INC.'S WRITTEN CONSENT.



MATCH LINE A - SEE SHEET 3

NO BUILDINGS EXIST ON THE SURVEYED PROPERTY

EMERSON PARK
PB 68, PGS 1-17

EMERSON PARK
PB 68, PGS 1-17

DRY POND

- GENERAL NOTES:
- SEE SITE DATA AND GENERAL NOTES SHEET (2 OF 10) FOR ADDITIONAL INFORMATION.
 - THESE PLANS ARE PRELIMINARY, NOT FOR CONSTRUCTION.
 - THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN		EMERSON NORTH TOWNHOMES CITY OF APOPKA, FLORIDA		EXISTING CONDITIONS PLAN - EAST	
DRAWING 15051-PEXIST		DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS 2800 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.844.4068	SURVEYORS		
SHEET 4 OF 10		DESIGNED BY MAB	CHECKED BY JTT	DATE 10/25/15	SCALE 1"=40'
		JOB NUMBER 15051	REVISED PER #1 Z AND CITY STAFF COMMENTS 8/13/16	REVISED PER CITY COMMENTS DATED 11/12/15 1	DATE 9/16/2016
				NO. 2	DATE 9/28/16
					REVISIONS
NOT FOR CONSTRUCTION DONALD W. MCINTOSH ASSOCIATES, INC. AUTHORIZATION NO. 68 JOHN T. TOWNSEND FLORIDA P.E. No. 52127 DATE: 9/16/2016					

DONALD W. MCINTOSH ASSOCIATES, INC. RESERVES THE EXCLUSIVE COPYRIGHT AND PROPERTY RIGHTS TO THIS DRAWING WHICH MAY NOT BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER, NOR CAN IT BE ASSIGNED TO ANY PARTY WITHOUT DONALD W. MCINTOSH ASSOCIATES, INC.'S WRITTEN CONSENT.

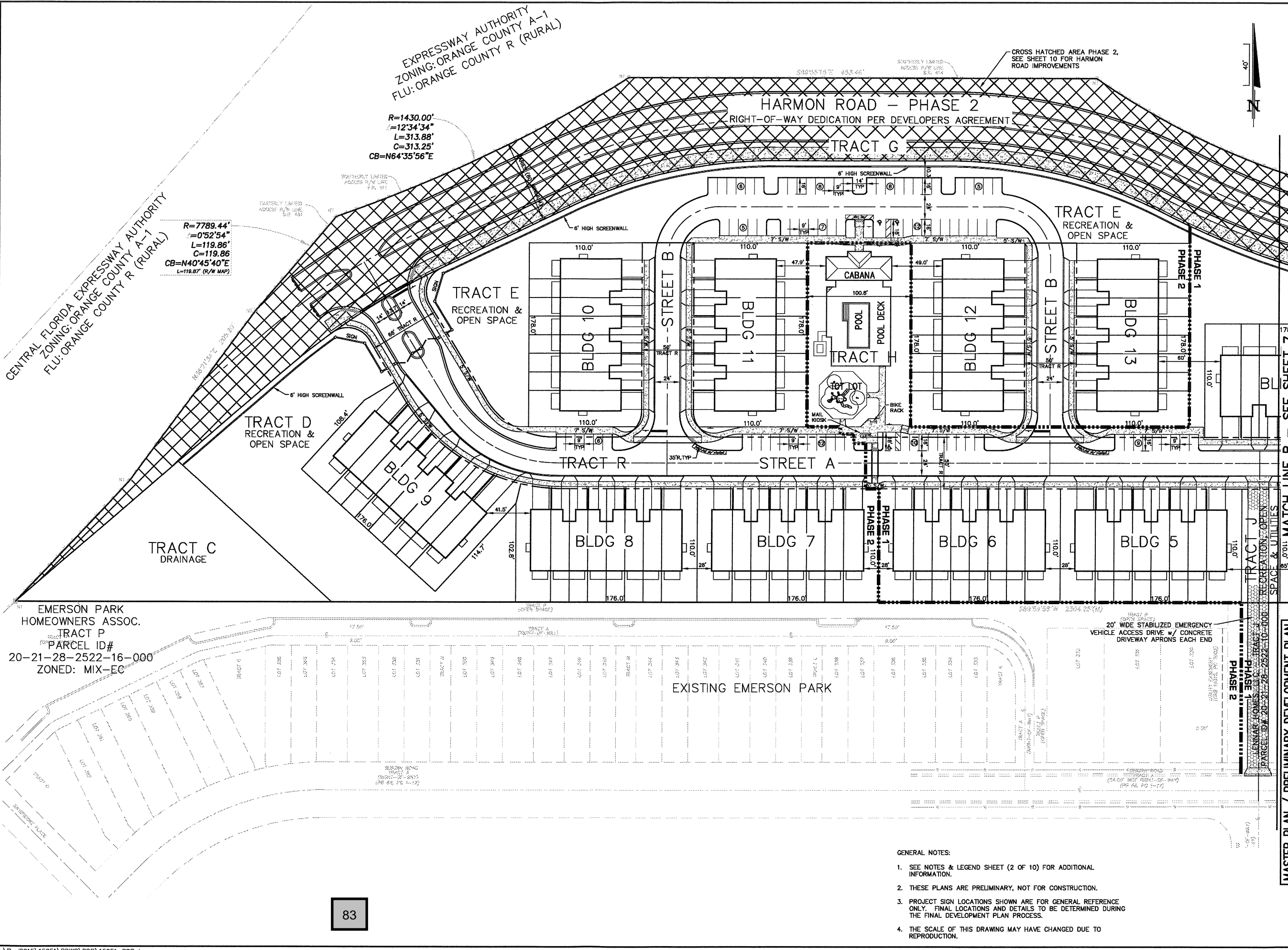


82

- GENERAL NOTES:
- SEE SITE DATA AND GENERAL NOTES SHEET (2 OF 10) FOR ADDITIONAL INFORMATION.
 - THESE PLANS ARE PRELIMINARY, NOT FOR CONSTRUCTION.
 - THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN		EMERSON NORTH TOWNHOMES CITY OF APOPKA, FLORIDA		AERIAL	
DRAWING 15051-PAERIAL	DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS PLANNERS SURVEYORS 2800 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068			JOB NUMBER 15051	SCALE 1"=100'
SHEET 5 OF 10	DRAWN BY MAB	DESIGNED BY MAB	CHECKED BY JTT	DATE 10/26/15	DATE 10/26/15
		NOT FOR CONSTRUCTION			
				NO.	DATE
				4	9/28/16
				3	7/29/16
				2	7/14/16
				1	6/13/16
				JTT	REVISED PER CITY COMMENTS & REVISED PHASE LINE
				JTT	REVISED PER P&Z AND CITY STAFF COMMENTS
				JTT	REVISED PER CITY COMMENTS RECEIVED 7/15/16
				JTT	REVISED PER CITY COMMENTS DATED 11/12/16
				CHK.	DATE
				JTT	9/6/2016
				JOHN T. TOWNSEND FLORIDA P.E. No. 52127 DATE: 9/6/2016	
				DONALD W. MCINTOSH ASSOCIATES, INC. AUTHORIZATION NO. 68	

DONALD W. MCINTOSH ASSOCIATES, INC. RESERVES THE EXCLUSIVE COPYRIGHT AND PROPERTY RIGHTS TO THIS DRAWING WHICH MAY NOT BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER, NOR CAN IT BE ASSIGNED TO ANY PARTY WITHOUT DONALD W. MCINTOSH ASSOCIATES, INC.'S WRITTEN CONSENT.



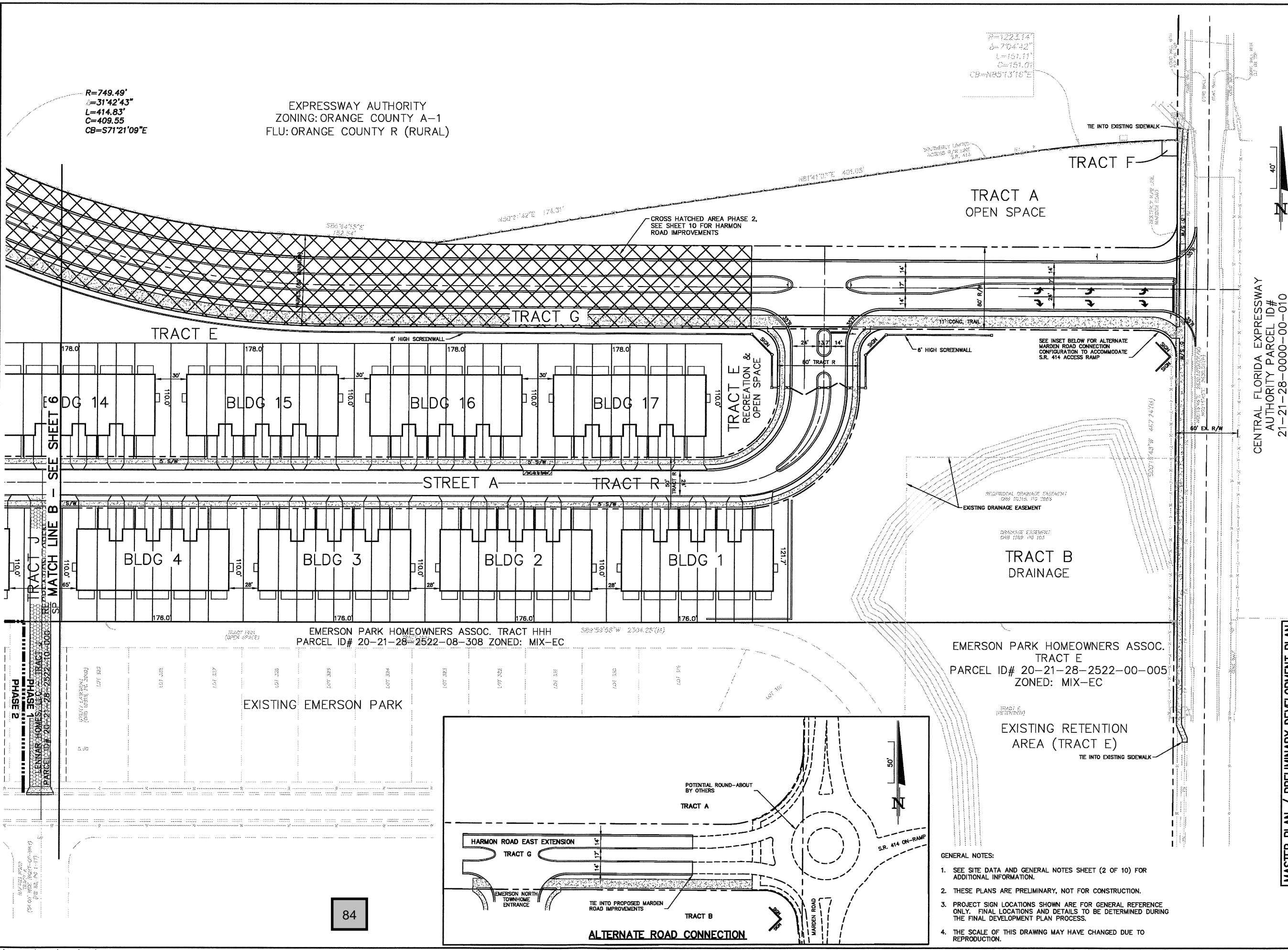
R=7789.44'
 $\Delta=0^{\circ}52'54''$
 L=119.86'
 C=119.86'
 CB=N40°45'40"E
 L=119.87' (R/W MAP)

R=1430.00'
 $\Delta=12^{\circ}34'34''$
 L=313.88'
 C=313.25'
 CB=N64°35'56"E

- GENERAL NOTES:**
- SEE NOTES & LEGEND SHEET (2 OF 10) FOR ADDITIONAL INFORMATION.
 - THESE PLANS ARE PRELIMINARY, NOT FOR CONSTRUCTION.
 - PROJECT SIGN LOCATIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. FINAL LOCATIONS AND DETAILS TO BE DETERMINED DURING THE FINAL DEVELOPMENT PLAN PROCESS.
 - THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

DRAWING 15051-PDP	SHEET 6 OF 10	EMERSON NORTH TOWNHOMES CITY OF APOPKA, FLORIDA PRELIMINARY DEVELOPMENT PLAN - WEST		DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS 8200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068 PLANNERS SURVEYORS	NOT FOR CONSTRUCTION DONALD W. MCINTOSH ASSOCIATES, INC. CERTIFICATE OF AUTHORIZATION NO. 68 JOHN T. TOWNSEND FLORIDA P.E. No. 52127 DATE: 9/16/2016
		MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN TRACT J RECREATION, OPEN SPACE & UTILITIES MATCH LINE B - SEE SHEET 7	CHECKED BY: MAB DESIGNED BY: MAB JOB NUMBER: 15051 SCALE: 1"=40' DATE: 10/28/15		

DONALD W. MCINTOSH ASSOCIATES, INC. RESERVES THE EXCLUSIVE COPYRIGHT AND PROPERTY RIGHTS TO THIS DRAWING WHICH MAY NOT BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER, NOR CAN IT BE ASSIGNED TO ANY PARTY WITHOUT DONALD W. MCINTOSH ASSOCIATES, INC.'S WRITTEN CONSENT.



R=749.49'
Δ=31°42'43"
L=414.83'
C=409.55
CB=S71°21'09"E

EXPRESSWAY AUTHORITY
ZONING: ORANGE COUNTY A-1
FLU: ORANGE COUNTY R (RURAL)

TRACT A
OPEN SPACE

TRACT E

TRACT G

TRACT F

TRACT J
MATCH LINE B - SEE SHEET 76

BLDG 14

BLDG 15

BLDG 16

BLDG 17

TRACT E
RECREATION &
OPEN SPACE

STREET A

TRACT R

BLDG 4

BLDG 3

BLDG 2

BLDG 1

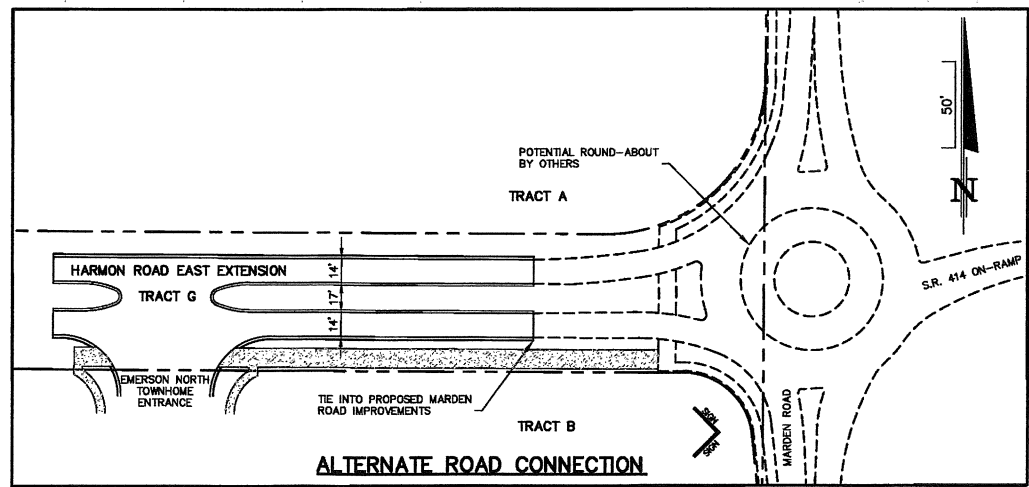
TRACT B
DRAINAGE

EMERSON PARK HOMEOWNERS ASSOC. TRACT HHH
PARCEL ID# 20-21-28-2522-08-308 ZONED: MIX-EC

EMERSON PARK HOMEOWNERS ASSOC.
TRACT E
PARCEL ID# 20-21-28-2522-00-005
ZONED: MIX-EC

EXISTING EMERSON PARK

EXISTING RETENTION
AREA (TRACT E)



GENERAL NOTES:

- SEE SITE DATA AND GENERAL NOTES SHEET (2 OF 10) FOR ADDITIONAL INFORMATION.
- THESE PLANS ARE PRELIMINARY, NOT FOR CONSTRUCTION.
- PROJECT SIGN LOCATIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. FINAL LOCATIONS AND DETAILS TO BE DETERMINED DURING THE FINAL DEVELOPMENT PLAN PROCESS.
- THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

84

CENTRAL FLORIDA EXPRESSWAY
AUTHORITY PARCEL ID#
21-21-28-0000-00-010
ZONING: R-3

DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068

SURVEYORS
PLANNERS
JOHN T. TOWNSEND
FLORIDA P.E. No. 52127
DATE: 9/6/2016

NOT FOR CONSTRUCTION

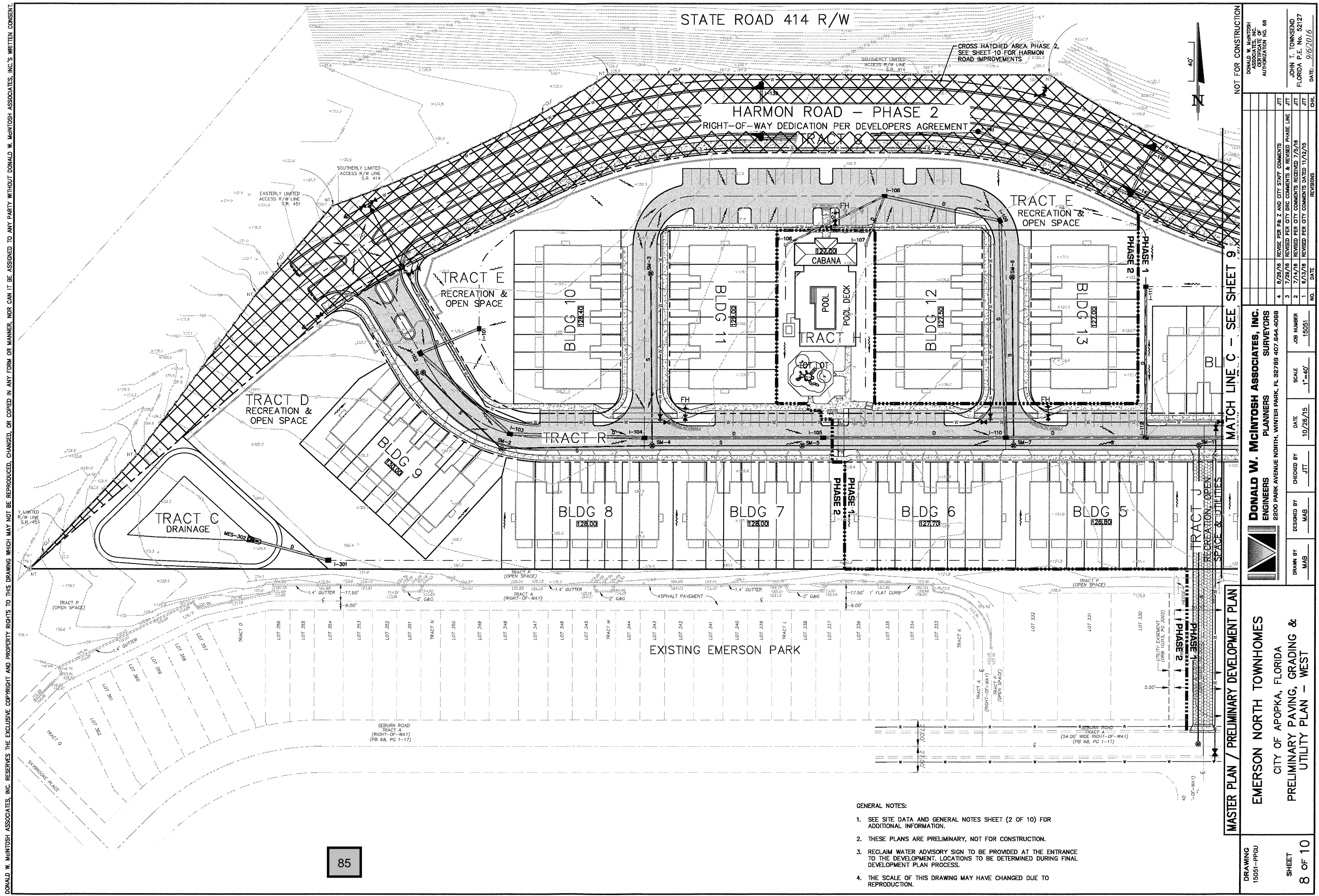
NO.	DATE	REVISIONS	JTT	CHK.
3	8/28/16	REVISED PER P&Z AND CITY STAFF COMMENTS	JTT	
2	7/14/16	REVISED PER CITY COMMENTS RECEIVED 7/5/16	JTT	
1	9/15/16	REVISED PER CITY COMMENTS DATED 11/27/15	JTT	

MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN

EMERSON NORTH TOWNHOMES
CITY OF APOPKA, FLORIDA

PRELIMINARY DEVELOPMENT PLAN - EAST

DRAWING 15051-PDP
SHEET 7 OF 10



STATE ROAD 414 R/W

HARMON ROAD - PHASE 2
RIGHT-OF-WAY DEDICATION PER DEVELOPERS AGREEMENT

CROSS HATCHED AREA PHASE 2,
SEE SHEET 10 FOR HARMON
ROAD IMPROVEMENTS

TRACT E
RECREATION &
OPEN SPACE

TRACT E
RECREATION &
OPEN SPACE

TRACT D
RECREATION &
OPEN SPACE

TRACT C
DRAINAGE

TRACT R

EXISTING EMERSON PARK

MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN

EMERSON NORTH TOWNHOMES
CITY OF APOPKA, FLORIDA
PRELIMINARY PAVING, GRADING &
UTILITY PLAN - WEST

DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS
2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.844.4068

PLANNERS SURVEYORS
JOB NUMBER 15051
SCALE 1"=40'
DATE 10/25/15
CHECKED BY JTT
DESIGNED BY MAB

NOT FOR CONSTRUCTION
DONALD W. MCINTOSH ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NO. 68
JOHN T. TOWNSEND
FLORIDA P.E. No. 52127
DATE: 9/6/2016

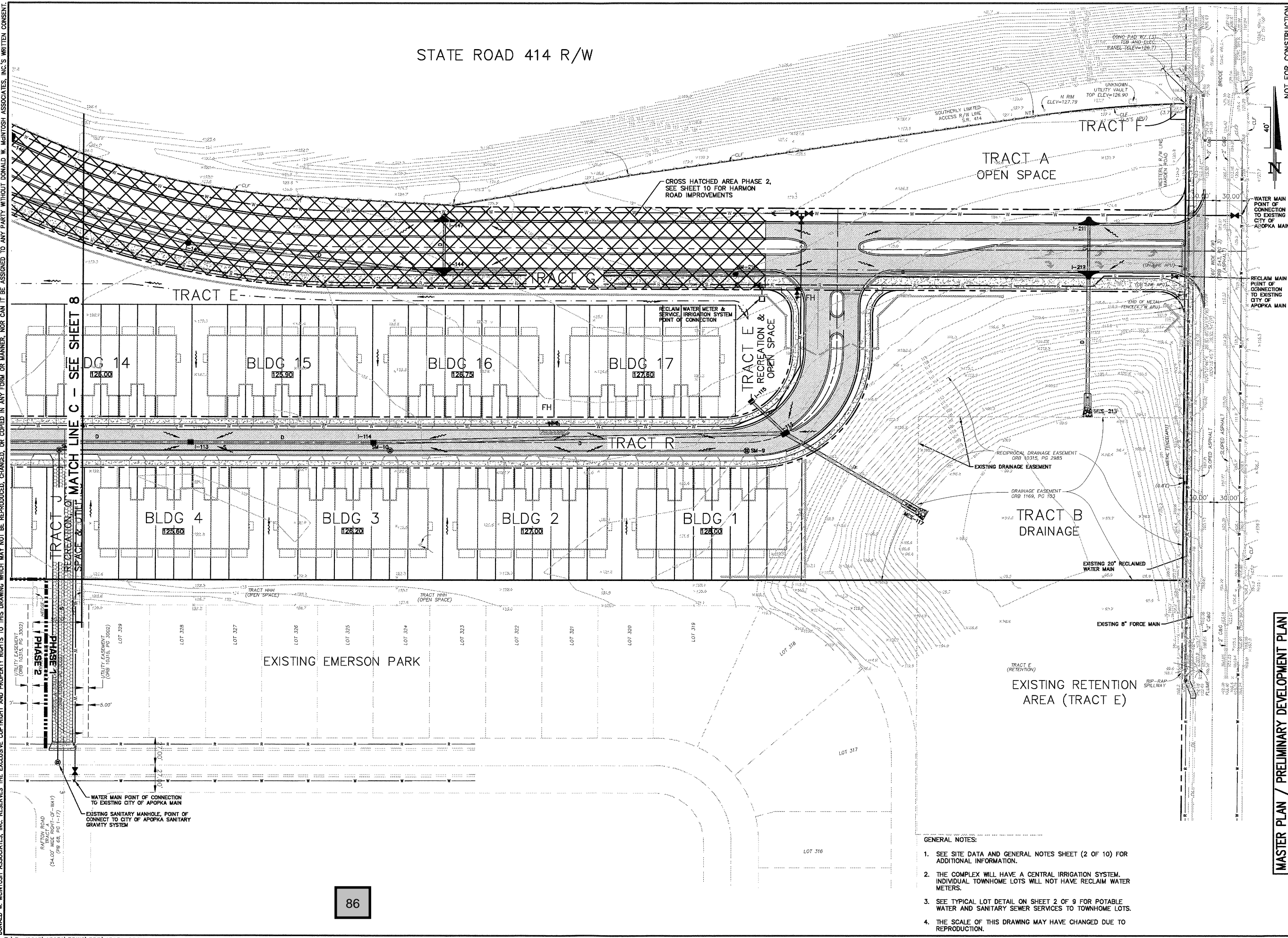
NO.	DATE	REVISIONS	CHK
4	9/28/16	REVISED PER P&Z AND CITY STAFF COMMENTS	JTT
3	7/29/16	REVISED PER CITY REC COMMENTS & REVISED PHASE LINE	JTT
2	7/14/16	REVISED PER CITY COMMENTS RECEIVED 7/5/16	JTT
1	9/15/16	REVISED PER CITY COMMENTS DATED 11/12/15	JTT

- GENERAL NOTES:
- SEE SITE DATA AND GENERAL NOTES SHEET (2 OF 10) FOR ADDITIONAL INFORMATION.
 - THESE PLANS ARE PRELIMINARY, NOT FOR CONSTRUCTION.
 - RECLAIM WATER ADVISORY SIGN TO BE PROVIDED AT THE ENTRANCE TO THE DEVELOPMENT. LOCATIONS TO BE DETERMINED DURING FINAL DEVELOPMENT PLAN PROCESS.
 - THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

DONALD W. MCINTOSH ASSOCIATES, INC. RESERVES THE EXCLUSIVE COPYRIGHT AND PROPERTY RIGHTS TO THIS DRAWING WHICH MAY NOT BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER, NOR CAN IT BE ASSIGNED TO ANY PARTY WITHOUT DONALD W. MCINTOSH ASSOCIATES, INC.'S WRITTEN CONSENT.

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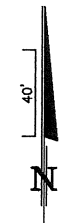
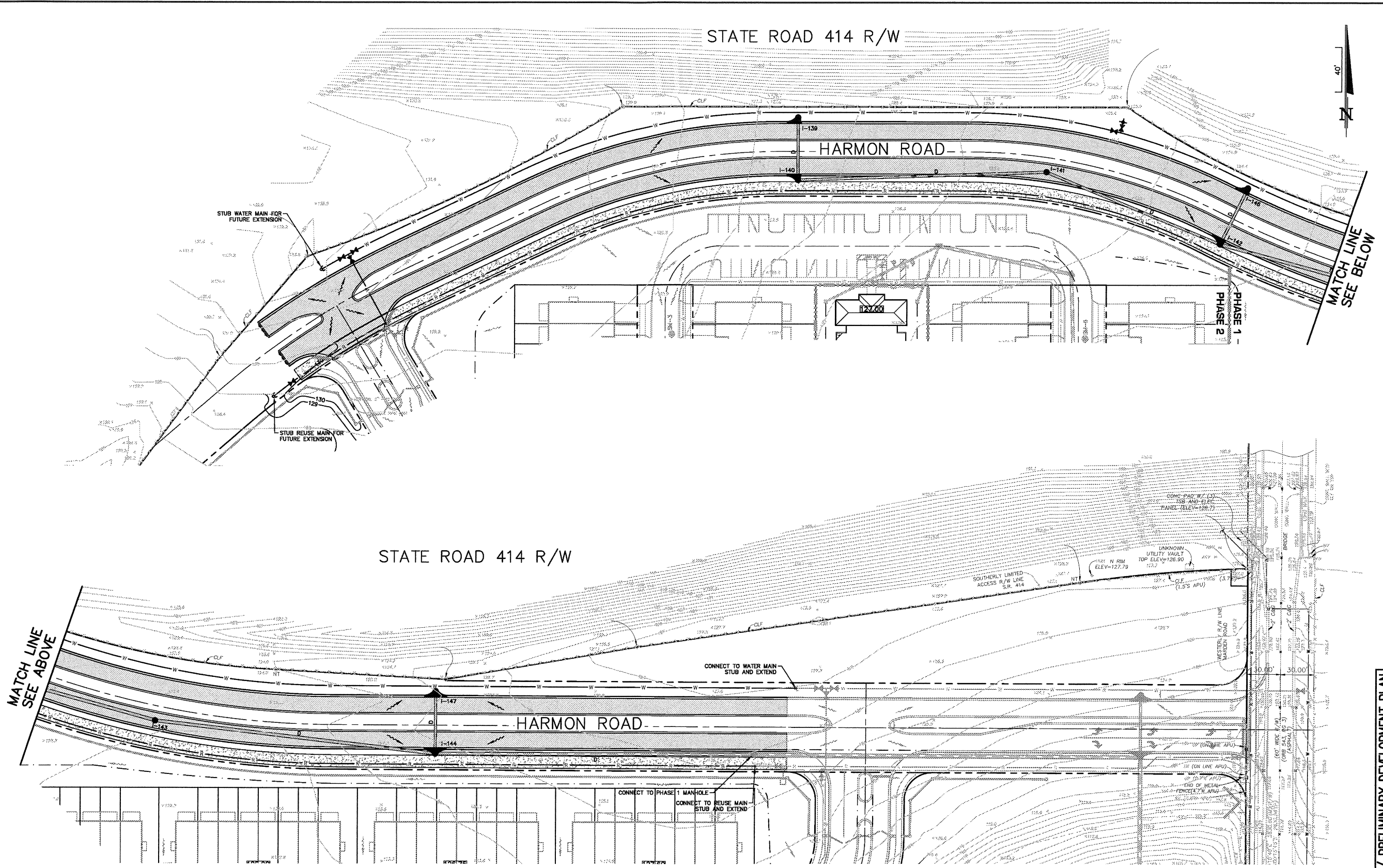
STATE ROAD 414 R/W



NOT FOR CONSTRUCTION																	
<p>DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS</p> <p>2200 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.844.4068</p>	<p>PLANNERS SURVEYORS</p> <p>JOHN T. TOWNSEND FLORIDA P.E. No. 52127 DATE: 9/6/2016</p>																
<p>EMERSON NORTH TOWNHOMES CITY OF APOPKA, FLORIDA PRELIMINARY PAVING, GRADING & UTILITY PLAN - EAST</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> <th>CHK.</th> </tr> <tr> <td>1</td> <td>9/15/16</td> <td>REVISED PER CITY COMMENTS DATED 11/12/15</td> <td>JTT</td> </tr> <tr> <td>2</td> <td>7/14/16</td> <td>REVISED PER CITY COMMENTS RECEIVED 7/5/16</td> <td>JTT</td> </tr> <tr> <td>3</td> <td>8/28/16</td> <td>REVISED PER P&Z AND CITY STAFF COMMENTS</td> <td>JTT</td> </tr> </table>	NO.	DATE	REVISIONS	CHK.	1	9/15/16	REVISED PER CITY COMMENTS DATED 11/12/15	JTT	2	7/14/16	REVISED PER CITY COMMENTS RECEIVED 7/5/16	JTT	3	8/28/16	REVISED PER P&Z AND CITY STAFF COMMENTS	JTT
NO.	DATE	REVISIONS	CHK.														
1	9/15/16	REVISED PER CITY COMMENTS DATED 11/12/15	JTT														
2	7/14/16	REVISED PER CITY COMMENTS RECEIVED 7/5/16	JTT														
3	8/28/16	REVISED PER P&Z AND CITY STAFF COMMENTS	JTT														
<p>MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN</p>	<p>DRAWING 15051-PPGU</p>																
<p>DESIGNED BY MAB</p> <p>CHECKED BY JTT</p> <p>DATE 10/26/15</p> <p>SCALE 1"=40'</p> <p>JOB NUMBER 15051</p>	<p>SHEET 9 OF 10</p>																

- GENERAL NOTES:**
- SEE SITE DATA AND GENERAL NOTES SHEET (2 OF 10) FOR ADDITIONAL INFORMATION.
 - THE COMPLEX WILL HAVE A CENTRAL IRRIGATION SYSTEM. INDIVIDUAL TOWNHOME LOTS WILL NOT HAVE RECLAIM WATER METERS.
 - SEE TYPICAL LOT DETAIL ON SHEET 2 OF 9 FOR POTABLE WATER AND SANITARY SEWER SERVICES TO TOWNHOME LOTS.
 - THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

DONALD W. MCINTOSH ASSOCIATES, INC. RESERVES THE EXCLUSIVE COPYRIGHT AND PROPERTY RIGHTS TO THIS DRAWING WHICH MAY NOT BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER, NOR CAN IT BE ASSIGNED TO ANY PARTY WITHOUT DONALD W. MCINTOSH ASSOCIATES, INC.'S WRITTEN CONSENT.



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- GENERAL NOTES:
- SEE SITE DATA AND GENERAL NOTES SHEET (2 OF 10) FOR ADDITIONAL INFORMATION.
 - ROAD IMPROVEMENTS ASSOCIATED WITH THIS PHASE OF HARMON ROAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONDITIONS IN THE FINAL APPROVED DEVELOPER'S AGREEMENT.
 - STORMWATER MANAGEMENT IS PROVIDED WITHIN THE EXISTING RETENTION POND LOCATED IN THE SOUTHEAST CORNER OF THE PROPERTY.
 - THESE PLANS ARE PRELIMINARY, NOT FOR CONSTRUCTION.
 - THE SCALE OF THIS DRAWING MAY HAVE CHANGED DUE TO REPRODUCTION.

MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN		EMERSON NORTH TOWNHOMES		CITY OF APOPKA, FLORIDA		HARMON ROAD IMPROVEMENTS	
DONALD W. MCINTOSH ASSOCIATES, INC. ENGINEERS 2800 PARK AVENUE NORTH, WINTER PARK, FL 32789 407.644.4068		PLANNERS SURVEYORS 407.644.4068		DATE: 8/28/16		JOB NUMBER: 15051	
DRAWN BY: MAB		CHECKED BY: JTT		SCALE: 1"=40'		NO. DATE	
DESIGNED BY: MAB		NOT FOR CONSTRUCTION		REVISIONS		CHK	
DRAWING: 15051-POFFST		SHEET: 10 OF 10		DATE: 9/20/16		AUTHORIZATION NO. 68	
SHEET: 10 OF 10		DATE: 9/20/16		AUTHORIZATION NO. 68		DATE: 9/20/16	

FLORIDA ZONE
 24311 Walden Center Dr., Suite 300
 Bonita Springs, Florida 34134 (239) 495-4800



8-UNIT BUILDING ELEVATIONS
 BUILDING TYPE 8B

PRODUCTION MANAGER

PROJECT RELEASE DATE: 12/17/2014

REV # / DATE / DESCRIPTION

1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT TYPE
MULTI FAMILY

COMMUNITY NAME
JACKSON PARK

LARSON COMMUNITY ID

DISP/LE HANDING

VERSION NUMBER
1.0

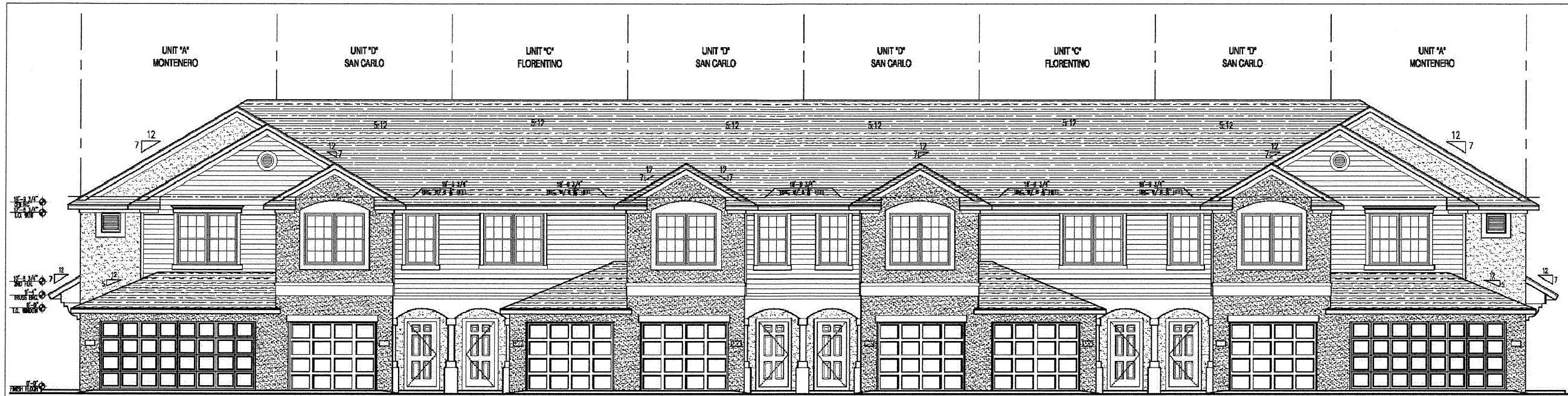
PLAN NAME
The Vistas

IPC PLAN NUMBER

LARSON PLAN ID

LEAD/CY PLAN NUMBER / NAME

SHEET
B8.3B

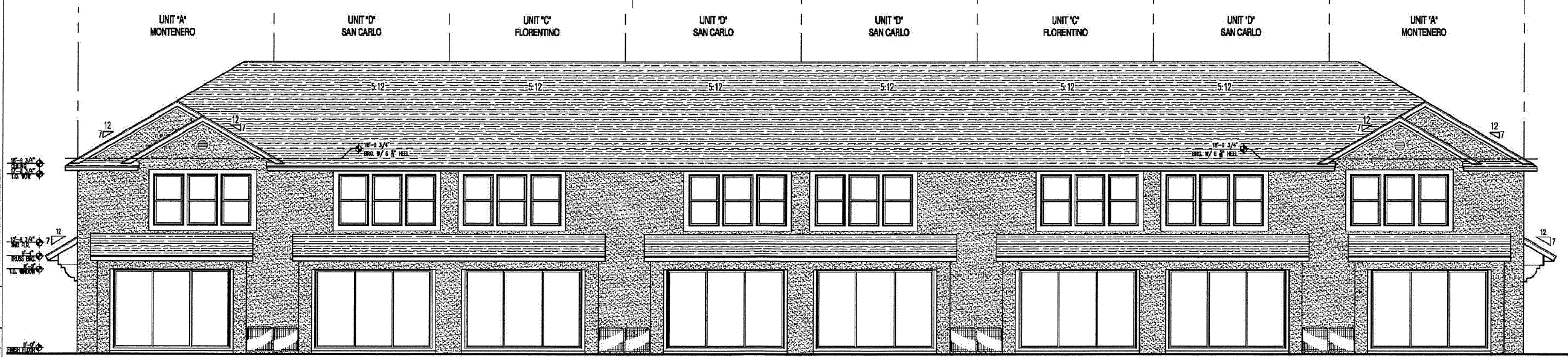


BUILDING TYPE 8B - FRONT ELEVATION
 SCALE 3/16"=1'-0"

ANY DEVIATIONS TO THE BUILDING ELEVATIONS MAY BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR IF SIMILAR IN APPEARANCE AND QUALITY.

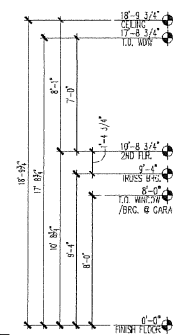
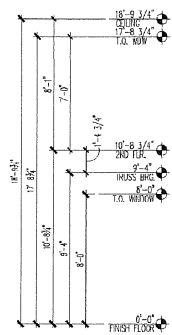
AREA CALCULATION (SQ. FT.)

	WIDTH	DEPTH	LIVING AREA			NON-LIVING AREA			TOTAL AREA U.R.
			1ST FLOOR	2ND FLOOR	TOTAL A/C SPACE	GARAGE	COVERED ENTRY	COVERED LANAI	
UNIT 'A' - MONTENERO	20'-0"	68'-0"	788	954	1742	413	26	123	2303
UNIT 'C' - FLORENTINO	16'-0"	68'-0"	720	614	1534	256	36	123	1949
UNIT 'D' - SAN CARLO	18'-0"	68'-0"	720	954	1674	256	36	123	2089
4-UNIT BLDG. TOTALS	76'-0"	68'-0"	3016	3816	6832	1328	122	492	8784
6-UNIT BLDG. TOTALS	112'-0"	68'-0"	4456	5584	10040	1850	194	738	12822
8-UNIT BLDG. TOTALS	148'-0"	68'-0"	5896	7382	15248	2362	256	984	16880
TOTALS									

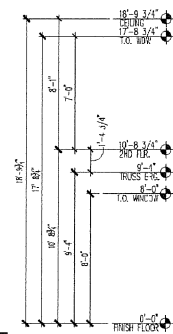
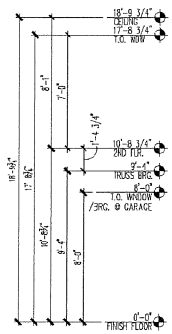


BUILDING TYPE 8B - REAR ELEVATION
 SCALE 3/16"=1'-0"

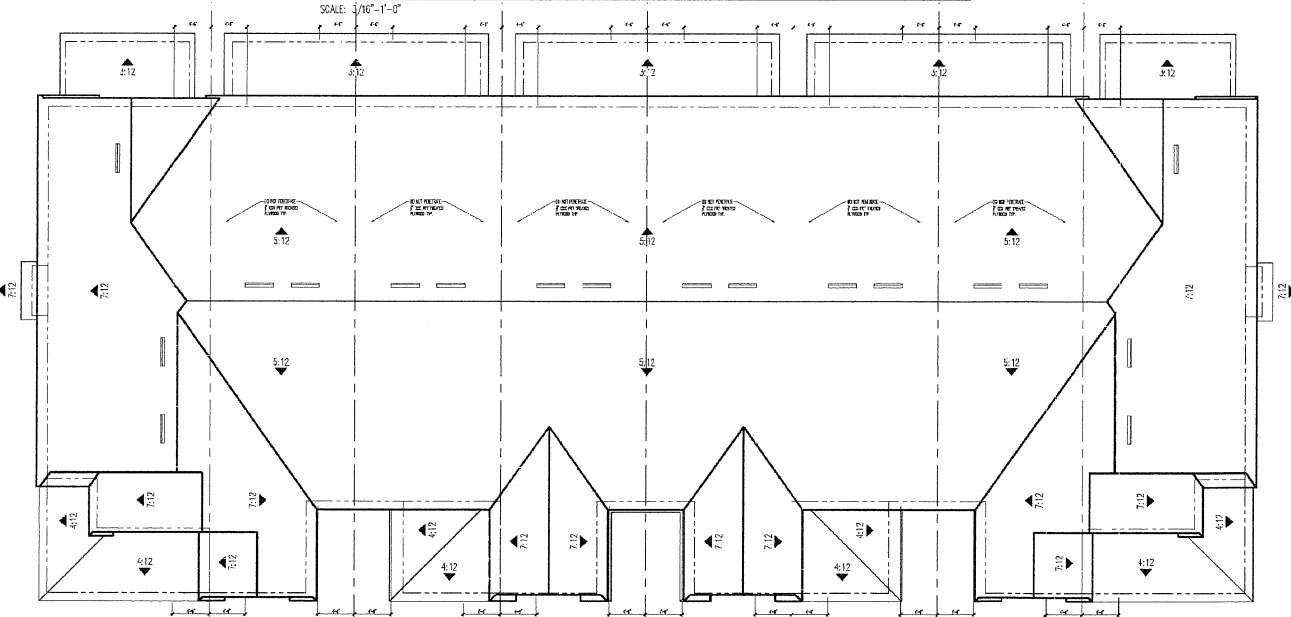
PLOTTED: February 4, 2015 / Carlos Peonza / JACKSON PARK TOWNHOMES-1-20-BLDG



BUILDING TYPE 8B - LEFT ELEVATION
SCALE: 3/16"=1'-0"



BUILDING TYPE 8B - RIGHT ELEVATION
SCALE: 3/16"=1'-0"



ANY DEVIATIONS TO THE BUILDING ELEVATIONS MAY BE APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR IF SIMILAR IN APPEARANCE AND QUALITY.

SEE SHEET B8.3B. FOR BUILDING LIVING AREA.

FLORIDA ZONE
24311 Walden Center Dr., Suite 300
Bonita Springs, Florida 34134 (239) 495-4800



8-UNIT BUILDING ELEVATIONS
BUILDING TYPE 8B

PROJECTION MANAGER

CURRENT RELEASE DATE:	12/12/2014
REV #	DATE / DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

PROJECT TYPE
MULTI FAMILY

COMMUNITY NAME

CARAGE HANGING

VERSION NUMBER
1.0

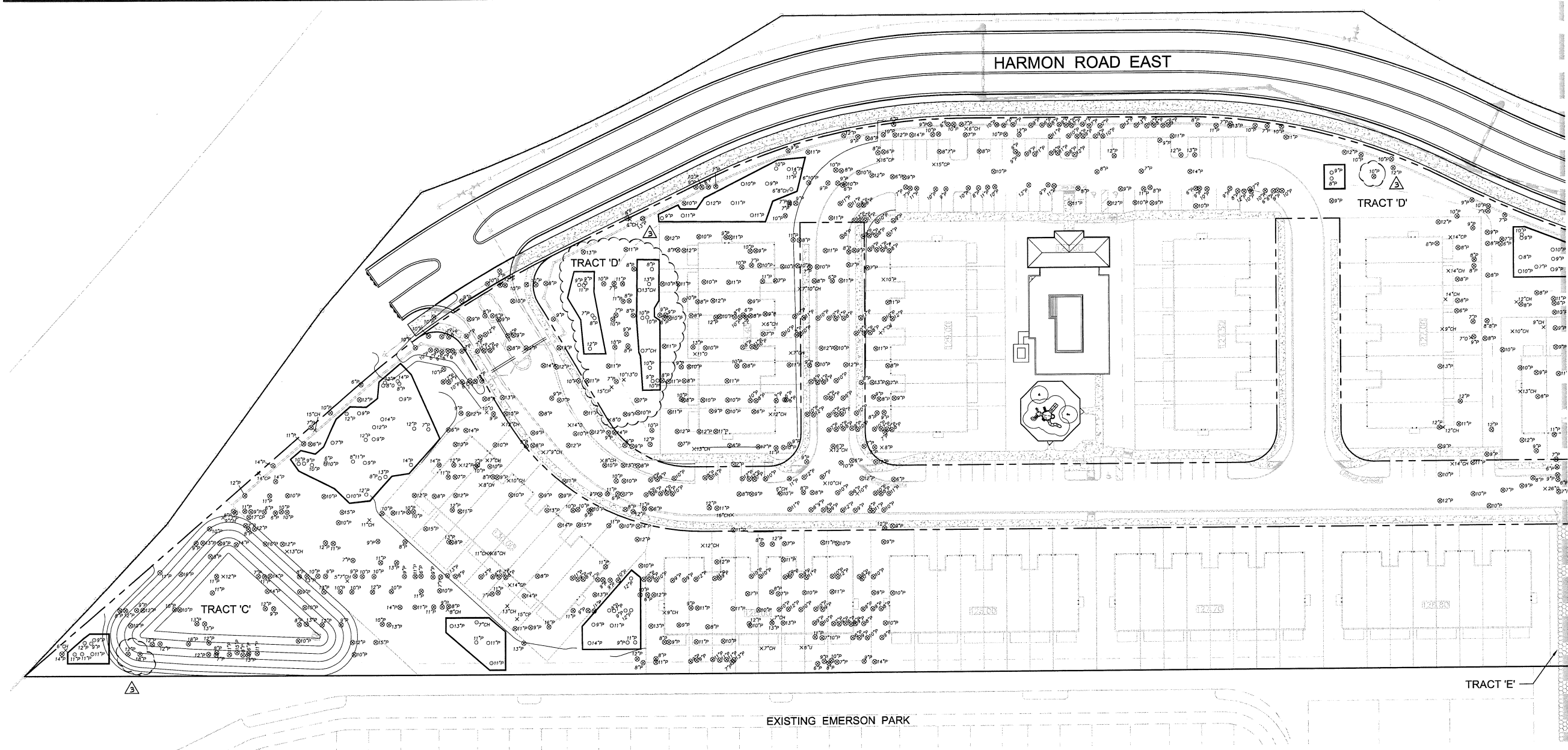
PLAN NAME
The Vistas

RFC PLAN NUMBER

LDRACY PLAN NUMBER / NAME

SHEET NUMBER
B8.4B

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE. PLOTS ON 22x34 SHEETS - 11x7 SHEETS REPRESENT 1/2 SCALE PLOTS



MATCH LINE SHEET PL-002

TREE PROTECTION NOTES

- PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN AGAINST:
 - UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS
 - SKINNING AND BRUISING OF BARK
 - SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN DRIP-LINE
 - EXCESS FOOT OR VEHICULAR TRAFFIC
 - PARKING VEHICLES WITHIN DRIP-LINE
- ERECT TEMPORARY WOODEN BARRICADES AS SHOWN ON THIS SHEET (PLAN 4 DETAIL) BEFORE COMMENCEMENT OF ANY SITE CLEARING OR GRADING. FENCE TO BE 4' HIGH MINIMUM WITH 4 X 4 POSTS AND 2-2X4 RAILS AT 7' AND 4' ABOVE GRADE AND SHALL BE SET DEEP ENOUGH IN THE GROUND TO BE STABLE WITHOUT ADDITIONAL SUPPORT. ALL FENCING SHOULD BE AT OR GREATER THAN THE FULL DRIFLINE OF ALL PROTECTED FINE AND PALM TREES AND AT OR GREATER THAN TWO-THIRDS OF THE DRIFLINE OF ALL OTHER PROTECTED TREES. NOTHING SHALL BE PLACED INSIDE OF PROTECTED BARRICADES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS OR TEMPORARY SOIL DEPOSITS. WHEN PAVING, EXCAVATION OR HARDSCAPE MUST BE DONE WITHIN BARRICADES, BARRICADES SHALL BE MOVED BACK TO A SECONDARY LOCATION AT EDGE OF WORK. EXTRA CARE MUST BE TAKEN AT THIS TIME BY THE CONTRACTOR TO INSURE THAT NO DAMAGE TO THE TREE OCCURS.
- PROVIDE WATER TO TREES AS REQUIRED TO MAINTAIN THEIR HEALTH DURING CONSTRUCTION WORK.
- WHEN NECESSARY TO CUT ROOT OVER 1-1/2" DIAMETER OF TREES TO REMAIN, CUT MUST BE A CLEAN CUT. COAT CUT FACES OF ROOTS WITH AN EMULSIFIED ASPHALT OR OTHER ACCEPTABLE COATING FORMULATED FOR USE ON DAMAGED PLANT TISSUE. TEMPORARILY COVER EXPOSED ROOTS WITH WET BURLAP TO PREVENT DRYING AND COVER WITH EARTH AS SOON AS POSSIBLE.
- NO GRADE CHANGES ARE TO BE MADE WITHIN THE BARRICADES WITHOUT PRIOR APPROVAL OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
- INTERFERING BRANCHES MAY BE REMOVED AT THE DIRECTION OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE, BY A QUALIFIED TREE SURGEON.
- REPAIR OR REPLACE TREES INDICATED TO REMAIN, WHICH ARE DAMAGED IN THE CONSTRUCTION OPERATIONS, IN A MANNER ACCEPTABLE TO THE OWNER. EMPLOY A QUALIFIED TREE SURGEON TO REPAIR MAJOR DAMAGES TO TREES AND SHRUBS, PROMPTLY, TO PREVENT PROGRESSIVE DETERIORATION CAUSED BY THE DAMAGE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF TREES DAMAGED BEYOND REPAIR WITH 3 TREES OF SIMILAR QUALITY AND SPECIES, SIZED TO MATCH THE LARGEST TREES OF THAT SPECIES BEING REPLACED AS PER THE LANDSCAPE PLANS. IF TREES ARE DAMAGED THROUGH NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR SHALL BEAR THE BURDEN OF THE COST OF REPAIR OR REPLACEMENT.

TREE SURVEY DATA

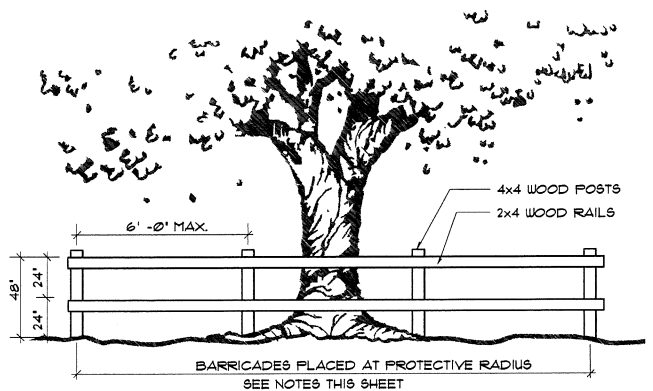
TOTAL TREE INCHES ON SITE	3041
TOTAL TREE INCHES TO BE REMOVED	1656
TOTAL TREE INCHES TO BE PRESERVED	1391
TOTAL REPLACEMENT INCHES REQUIRED	265
TOTAL INCHES REPLACED	124
TOTAL INCHES POST DEVELOPMENT	215
TOTAL SPECIMEN TREES (24" AND GREATER) TO BE REMOVED	2
TOTAL SPECIMEN INCHES RETAINED	0
SITE CLEARING AREA	138,131 SF. (16.35 AC)

* THIS TOTAL IS A COMBINATION OF PROPOSED AND EXISTING RETAINED TREE CALIPER INCHES. SEE LANDSCAPE LEGEND ON SHEET PL-302 FOR PROPOSED TREE CALIPER TOTAL.
** SEE LANDSCAPE CODE SUMMARY CHART, SHEET PL-302 FOR MAXIMUM TREE STOCK FORMULA AND CALCULATIONS

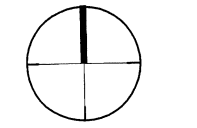
LEGEND

- X TREE TO BE REMOVED
- ⊗ PINE TREE TO BE REMOVED*
- TREE TO BE PRESERVED
- ◻ TREE PRESERVATION AREA
- 8" P TREE CALIPER AT BUST HT. AND TYPE
- CA CAMPHOR
- CH CHERRY LAUREL
- CP CABBAGE PALM
- O OAK
- P PINE
- PM PALM

* BECAUSE PINE TREES ON THIS SITE WERE PLANTED FOR SILVICULTURE PURPOSES, THEY ARE NOT COUNTED AS REMOVED TREES THAT REQUIRE REPLACEMENT



TREE PROTECTION BARRICADE DETAIL
SCALE: N.T.S.

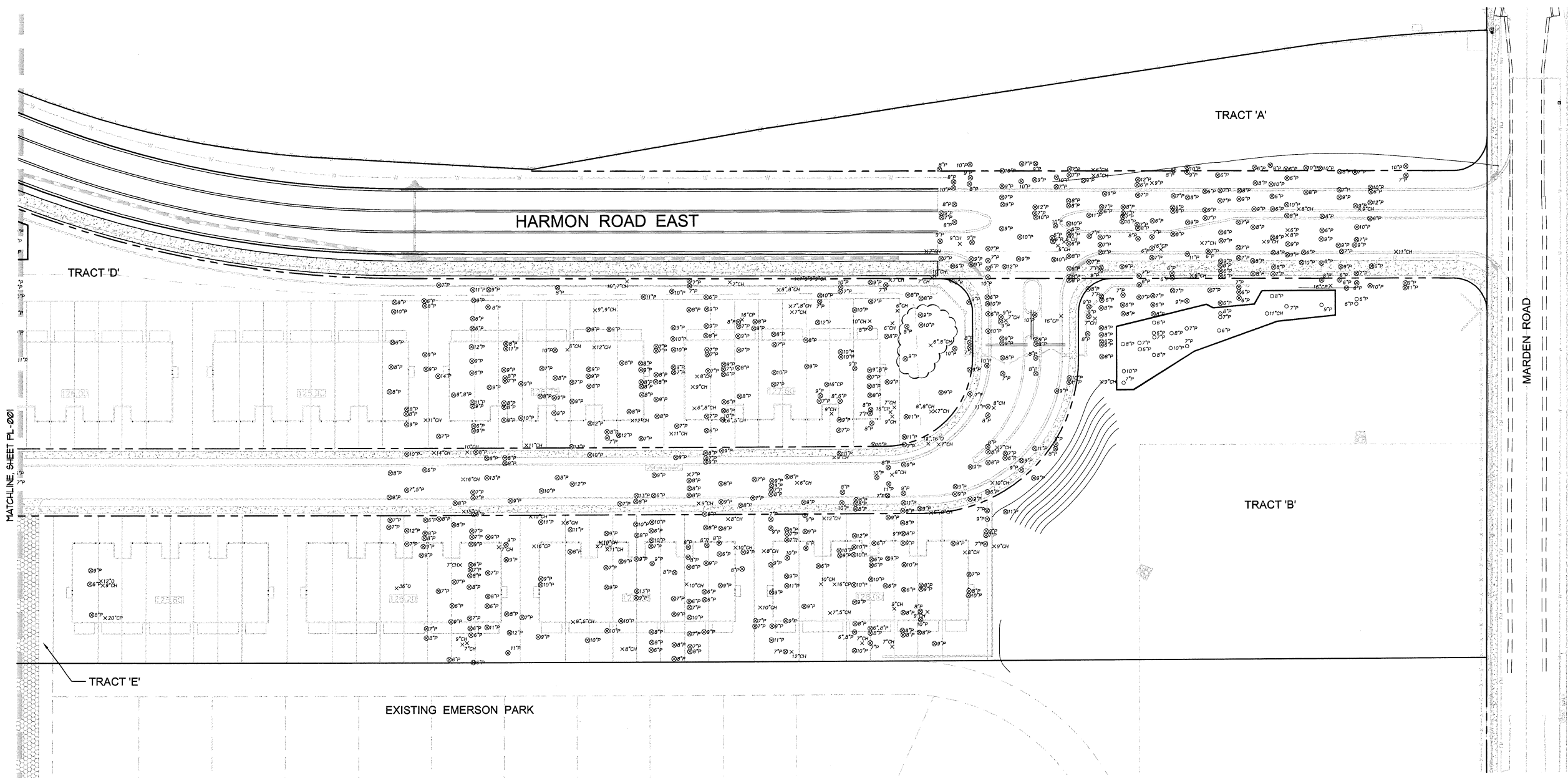
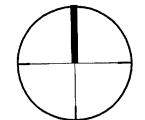


**EMERSON NORTH
TOWNHOMES**

CITY OF APOPKA, FL

TREE PRESERVATION
PLAN

Date: 10/15/15
Scale: 1" = 40'
Drawn: CFB Checked: RRC
File Name: EMTHPL002.DWG
North



LEGEND

- X TREE TO BE REMOVED
- ⊗ PINE TREE TO BE REMOVED[‡]
- TREE TO BE PRESERVED
- ⬡ TREE PRESERVATION AREA
- 8" P TREE CALIPER AT BREAST HT. AND TYPE
- CA CAMPHOR
- CH CHERRY LAUREL
- CP CABBAGE PALM
- O OAK
- P PINE
- PM PALM

[‡] BECAUSE PINE TREES ON THIS SITE WERE PLANTED FOR SILVICULTURE PURPOSES, THEY ARE NOT COUNTED AS REMOVED TREES THAT REQUIRE REPLACEMENT



120 West Robinson Street
Orlando, Florida 32801-1617
Phone (407) 648-2225
www.eosterconant.com

- 07/15/15 - REVISION #1
- 07/28/15 - CITY COMMENTS
- 08/25/15 - SITE PLAN REVISIONS

Project

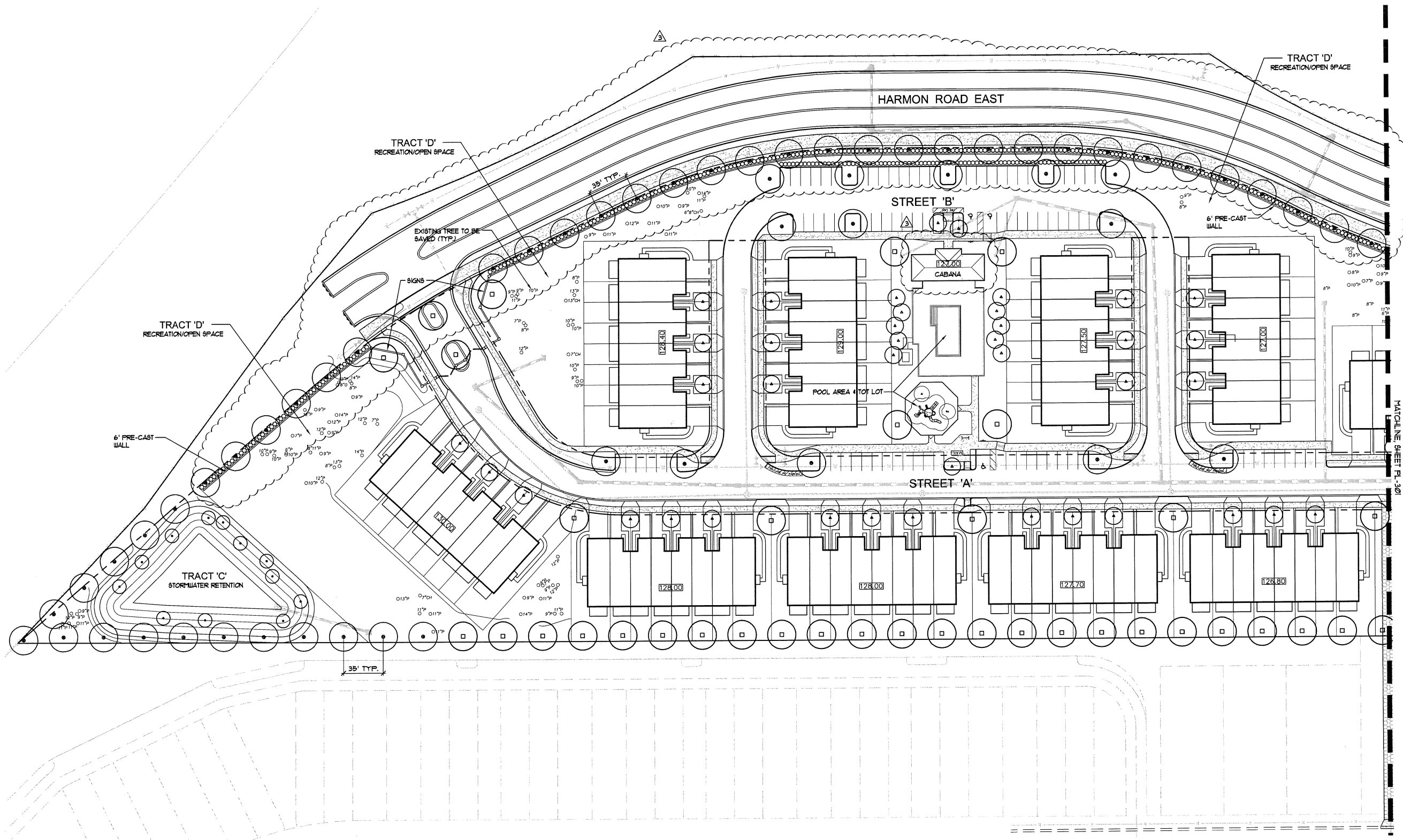
EMERSON NORTH
TOWNHOMES

CITY OF APOPKA, FL

LANDSCAPE CODE
PLAN

Date: 10/15/15
Scale: 1" = 40'
Drawn: CPB Checked: RRC
File Name: MTHPL300.DWG
North

Sheet
PL-300



MATCHLINE SHEET PL-302



120 West Robinson Street
Orlando, Florida 32801-1617
Phone (407) 648-2225
www.eosterconant.com

- 07/18/16 - REVISION #1
- 07/28/16 - CITY COMMENTS
- 08/25/16 - SITE PLAN REVISIONS

Project

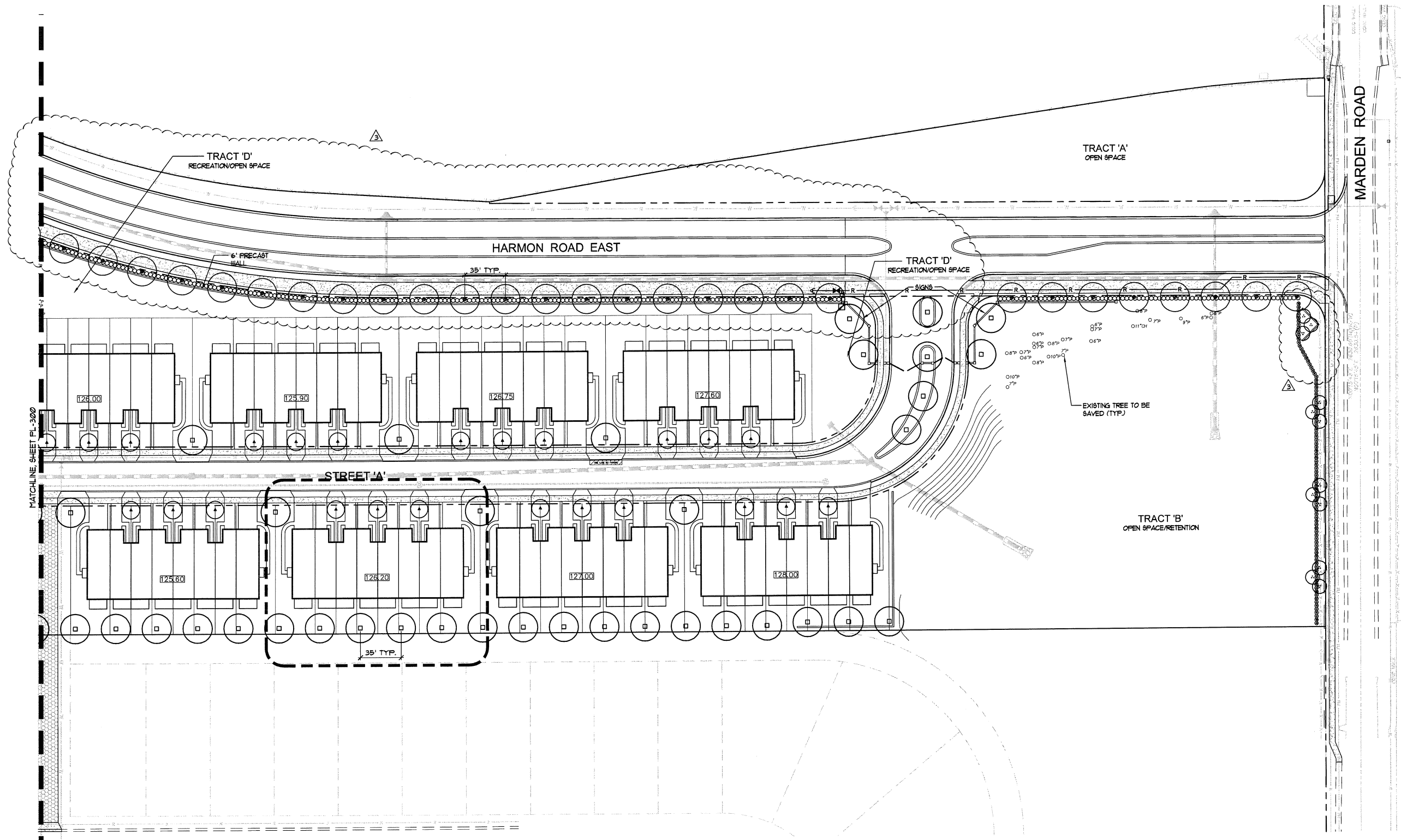
EMERSON NORTH
TOWNHOMES

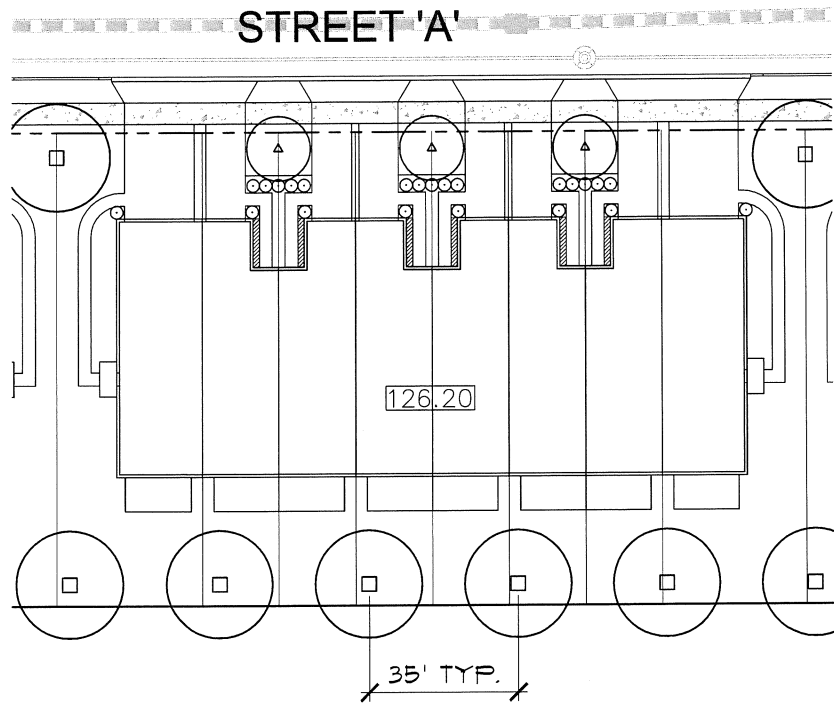
CITY OF APOPKA, FL

LANDSCAPE CODE
PLAN

Date: 10/15/15
Scale: 1" = 40'
Drawn: CPB Checked: RRC
File Name: EMTHPL301DWG
North

Sheet
PL-301





1 TYPICAL 8 UNIT BUILDING

SCALE: 1"=20'

LANDSCAPE LEGEND

SYMBOL	QUANTITY	DESCRIPTION	TOTAL CALIFER INCHES
●	142	CANOPY SHADE TREE: MIN. 2.5' DBH CAL. AND 8' MIN. HT.	355
○	13	CANOPY SHADE REPLACEMENT TREE: MIN. 3' DBH CAL. AND 8' MIN. HT.	219
●	12	CANOPY RETENTION POND TREE: MIN. 3' DBH CAL. AND 8' MIN. HT.	36
▲	64	UNDERSTORY TREE: MIN. 1.5' DBH CAL. AND 6' MIN. HT.	96
▲	12	UNDERSTORY TREE: MIN. 1.5' DBH CAL. AND 6' MIN. HT.	18
○○○○○○	165	SCREENING SHRUB: MIN. 36" HT. AND 42" O.C.	124 TOTAL PROPOSED POST-DEVELOPMENT CALIFER INCHES*
▬▬▬▬▬	91	BUFFER SHRUB FROM MARDEN RD.: MIN. 24" HT. AND 36" O.C.	
○○○○○○	312	BUILDING FOUNDATION SHRUB: MIN. 24" HT. AND 36" O.C.	
▬▬▬▬▬	118	BUILDING FOUNDATION GROUNDCOVER: MIN. 8" HT. AND 18" O.C.	

*124 PROPOSED INCHES + 1391 PRESERVED INCHES = 2115 TOTAL CALIFER INCHES. THIS EXCEEDS THE 1606 INCHES REQUIRED FOR REPLACEMENT.

CODE LANDSCAPE NOTES

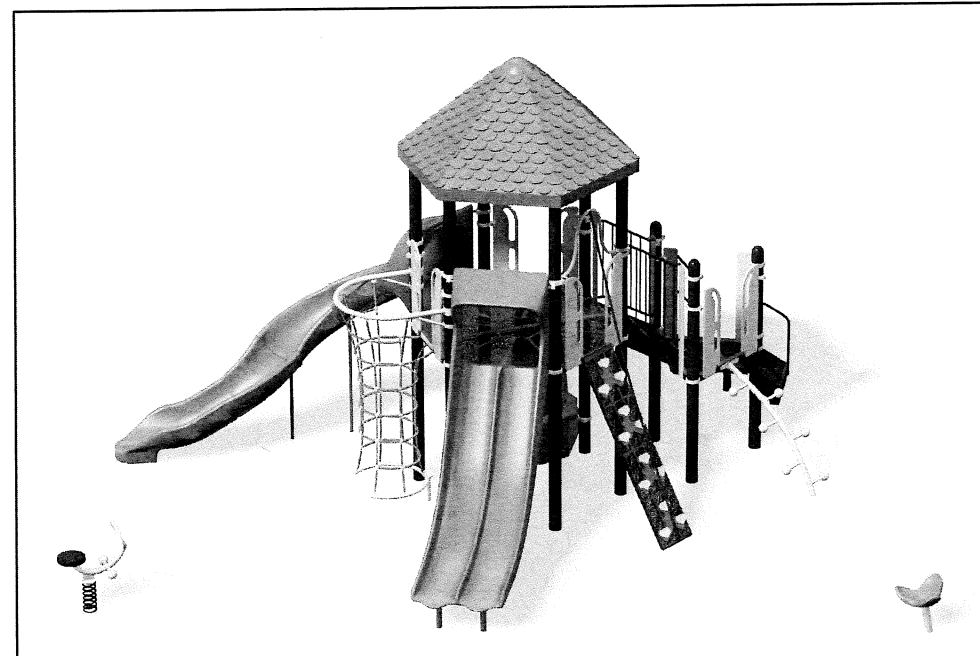
- CARE WILL BE TAKEN NOT TO CHANGE ORIGINAL GRADE AROUND EXISTING TREES DESIGNATED TO REMAIN.
- AN IRRIGATION PLAN SHALL BE SUBMITTED IN COMPLIANCE WITH ARTICLE 5.01.10 AT TIME OF FINAL CONSTRUCTION PLAN SUBMISSION.
- SELECTION OF PLANT SPECIES SHALL BE MADE BASED UPON FLORIDA FRIENDLY LANDSCAPE CONCEPTS OUTLINED IN THE UF/FAS FLORIDA YARDS AND NEIGHBORHOODS (FYN) HANDBOOK AND AS IDENTIFIED IN THE UF/FAS PUBLISHED FLORIDA FRIENDLY PLANT LIST (CURRENT EDITION).
- UNLESS EXEMPTED BY THE CITY, NO MORE THAN 50% OF THE GREEN SPACE AREA OR ONE-HALF ACRE, WHICHEVER IS SMALLER, MAY BE PLANTED WITH A LAWN GRASS THAT HAS A RATING OF 'LOW' IN REGARDS TO DROUGHT TOLERANCE AS IDENTIFIED IN THE UF/FAS FLORIDA YARDS AND NEIGHBORHOODS PROGRAM.
- THERE IS NO LIMIT ON THE GREEN SPACE AREA THAT MAY BE PLANTED WITH A LAWN GRASS HAVING A RATING OF 'MEDIUM' OR BETTER AS IDENTIFIED IN THE UF/FAS FLORIDA YARDS AND NEIGHBORHOODS PROGRAM.
- ALL LANDSCAPING SHALL BE INSTALLED IN A SOUND WORKMANLIKE MANNER AND IN ACCORDANCE WITH ACCEPTED AND PROPER PLANTING PROCEDURES.
- INSTALLED PLANTS SHALL CONFORM TO OR EXCEED THE MINIMUM STANDARDS FOR FLORIDA NO. 1 AS PROVIDED IN THE MOST CURRENT EDITION OF 'GRADES AND STANDARDS FOR NURSERY PLANTS' PREPARED BY THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ROOT BARRIERS WITH A MINIMUM DEPTH OF 36 INCHES MUST BE INSTALLED WHEN CANOPY TREES ARE PLANTED WITHIN 5 FEET OF UTILITIES, WALLS, SIDEWALKS AND ANY OTHER STRUCTURE AS DETERMINED BY THE CITY.
- THE ORGANIC CONTENT OF THE TOP 4 INCHES OF THE LAWN BED FOR ALL AREAS TO BE SEEDED OR SODDED SHALL BE A MINIMUM OF 5 PERCENT.

GENERAL NOTE:
- ALL TREES WILL BE MEASURED AT D.B.H.



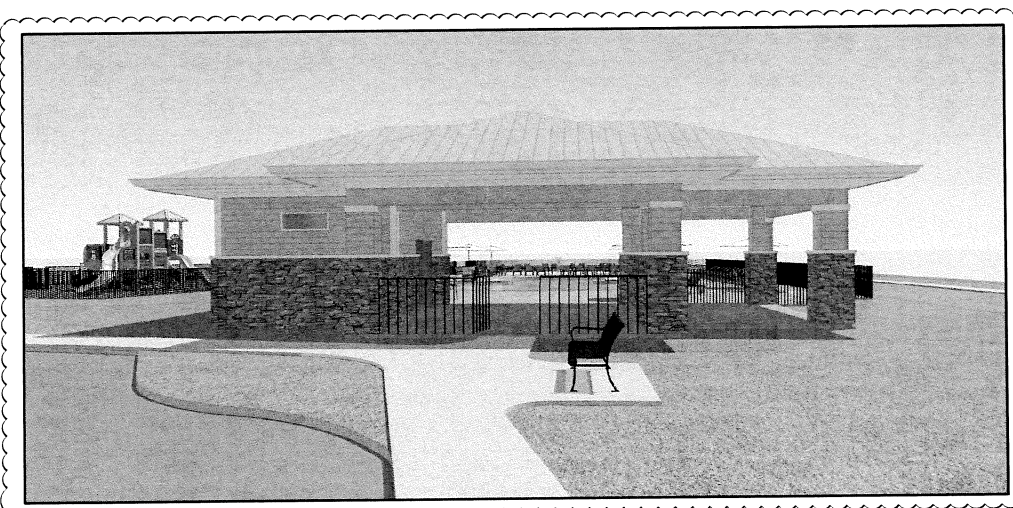
120 West Robinson Street
Orlando, Florida 32801-1617
Phone (407) 648-2225
www.fosterconant.com

- 07/18/15 - REVISION #1
- 07/28/15 - CITY COMMENTS
- 08/27/15 - SITE PLAN REVISIONS



2 PLAYGROUND PERSPECTIVE

SCALE: N/A



3 CABANA/CLUBHOUSE ELEVATION

SCALE: N/A

LANDSCAPE CODE SUMMARY CHART

REQUIREMENT	CODE REFERENCE	CALCULATION	REQUIRED	PROVIDED	SIZE
PERIMETER LANDSCAPING NOT ABUTTING STREET OR PARKING					
1 CANOPY TREE PER 35'	5.01.08(B)(2)	4232' PERIMETER LENGTH / 35	121 TREES	121	MIN. 2.5' DBH CAL. & 8' HT.
BUFFER LANDSCAPING ABUTTING PUBLIC RIGHT-OF-WAY (MARDEN ROAD)					
1 TREE PER 25' AND CONTINUOUS HEDGE	5.01.08(G)	258' PERIMETER LENGTH / 25	11 TREES & HEDGE	12 TREES & HEDGE*	TREES MIN. 1.5' DBH CAL. & 6' HT. SHRUBS MIN. 24" HT. & 36" O.C.
PARKING LOT LANDSCAPING					
1 CANOPY TREE PLUS 1 CANOPY TREE PER 20 SPACES	5.01.08(C)(1)	1 TREE + 95 SPACES / 20	6 TREES	13 TREES	MIN. 2.5' DBH CAL. & 8' HT.
HEDGE ROW WHERE PARKING IS ADJACENT TO STREET @ 3.5' O.C.	5.01.08(C)(9)	388' / 3.5	62 SHRUBS	82 SHRUBS	MIN. 36" HT.
MIN. 30% OF PARKING AREA TO BE COVERED BY MATURE TREE CANOPY	5.01.08(C)(10)	15,620 S.F. PKG. AREA x .30	4686 S.F.	7184 S.F. OF COVERAGE	55' PROJECTED MATURE CANOPY DIAMETER AND 25' UNDERSTORY DIAMETER
MIN. 10% OF PARKING AREA TO BE LANDSCAPED	5.01.08(C)(9)	15,620 S.F. PKG. AREA x .10	1562 S.F.	2504 S.F. (16% OF LANDSCAPE AREA)	VEGETATION MIX TO INCLUDE TREES, SHRUBS AND GROUNDCOVER
8 UNIT BUILDING FOUNDATION LANDSCAPING					
LANDSCAPE MIN. 50% OF LINEAR LENGTH OF BLDG. BASE ORIENTED TOWARD R.O.W. PARKING WITH MIN. 4' BED WIDTH	2.02.18(E)(3)(b)(1)	148' X 0.5 x 4	295 S.F. OF LANDSCAPE	300 S.F.	SHRUBS MIN. 24" HT. @ 36" O.C. NO MORE THAN 50% GROUNDCOVER
PROVIDE TREES AT A RATIO OF 1 TREE PER 200 SQ. FT. OF REQUIRED LANDSCAPE AREA	2.02.18(E)(3)(b)(2)	296 S.F. / 200	2 TREES	4 TREES	MIN. 2.5' DBH CAL. & 8' HT. FOR PROPOSED CANOPY TREES AND 1.5' CAL. & 6' HT. FOR UNDERSTORY TREES
TREE REPLACEMENT					
CITY REQUIREMENT FOR MAXIMUM TREE STOCK ON A PROPERTY FOR REPLACEMENT PURPOSES	5.01.07(A)(2)	9 S.F. SITE AREA (708.733) - 5000 S.F. / 1000 x 3.5 + 21	3474 MAX CALIFER INCHES OF REPLACEMENT TREES	724 DBH CAL. INCHES PROPOSED TO BE REPLACED	MIN. 3' DBH CAL. & 9' HT. FOR PROPOSED REPLACEMENT TREES
MINIMUM TREE REQUIREMENT					
PLANT 1 TREE PER 3000 SQ. FT. OF SITE AREA	5.01.08(A)	S.F. SITE AREA (708.733) / 3000	99 TREES	303 PROPOSED TREES AND 149 PRESERVED TREES	MIN. 2.5' DBH CAL. & 8' HT. FOR PROPOSED CANOPY TREES AND 1.5' CAL. & 6' HT. FOR UNDERSTORY TREES
PROPERTY PERIMETER ABUTTING A STREET					
PLANT 1 CANOPY SHADE TREE AND TEN SHRUBS PER 35 LINEAL FEET OF PROPERTY PERIMETER ABUTTING A STREET	5.01.08(B)(3)	2015' STREET FRONTAGE LENGTH / 35	58 TREES AND 578 SHRUBS	58 TREES AND 578 SHRUBS	SHRUBS MIN. 36" HT. TREES MIN. 2.5' CAL. & 8' HT.
PARK TRACT LANDSCAPING					
TRACTS 'B', 'C', AND 'E' SHALL HAVE A MINIMUM OF ONE CANOPY TREE FOR EVERY 4000 SQ. FT.	5.01.08(B)(3)	115,736 SQ. FT. / 4000	29 TREES	149 PRESERVED TREES	TREES MIN. 3' DBH CAL. & 8' HT.

*DUE TO THE EXISTENCE OF ELECTRICAL OVERHEAD POWER LINES ALONG THE PUBLIC RIGHT-OF-WAY, UNDERSTORY TREES THAT SHALL NOT EXCEED A MATURE HEIGHT OF 12 FEET ARE REQUIRED BENEATH THE EXPANSE OF THESE LINES.

EMERSON NORTH TOWNHOMES
CITY OF APOKA, FL
LANDSCAPE DETAILS & NOTES

Date: 10/15/15
Scale: AS NOTED
Drawn: CPB Checked: RRC
File Name: EMTHPL302.DWG
North

USER: PWCHRISB2555 FILE NAME: F:\PLATE - EMERSON NORTH TOWNHOMES\EMTHPL-302.DWG TIME: 10/15/15 10:35:56AM

the mixed-use and PUD districts. This area may be aggregated with other recreation land requirements.

4. Neighborhood activity center. A neighborhood activity center shall be provided and located within the common use area. The facility shall be one of the following enclosed or open type structures: Meeting halls, recreation facilities, such as gazebos, covered pavilions, etc. The activity center is subject to the following regulations:
 - a. Developments made up of less than 300 units shall be required to construct a minimum total of 2,000 square feet of facility or facilities.
 - b. Developments made up of more than 301 units shall be required to construct a minimum total of 3,000 square feet of facility or facilities or a minimum of eight square feet for each residential dwelling unit, whichever is greater.
 - c. The facility shall be located within or adjacent to the required public square.
 - d. No more than 25 percent of the total required square footage may be in the form of open type facilities.

I. Multi-family development requirements. Developments that incorporate a multi-family residential component shall be subject to the following regulations:

1. The maximum allowable percentage of multi-family residential shall be as follows:
 - a. Under no circumstance shall multi-family housing types (duplex, triplex, apartment, condominium, and townhouse) exceed 50 percent of the overall Mixed-EC master plan residential units.
 - b. Under no circumstance shall multi-family housing types (duplex, triple, apartment, condominium, and

townhouse) exceed 20 percent of the overall Mixed-CC master plan residential units.

2. Density and intensity. The density and intensity requirements of the development shall be as provided for in the mixed-use zoning district.
3. Vehicle storage areas. All interior/exterior vehicle storage areas (i.e., garages, driveways, vehicle use areas, etc.) shall be located and accessible to/from the rear of the building(s) and/or lots.
4. In cases where multi-family developments or units are located near/adjacent to single-family (i.e. lower residential density) developments, the multi-family building(s) shall be designed to architecturally resemble single-family residential styles. The multi-family building(s) shall reduce the building's bulk, height, and provide facade treatments to reflect the single-family character of the development.
5. Porches and balconies are encouraged when facing a public street.

J. Town center development. Mixed-use developments that provide for single-family lot widths less than 75 feet shall be required to provide a town center. The uses typically found in a town center include but are not limited to retail shops, restaurant, offices, banks, hotels, governmental offices, community centers, single family residences and multi-family residences. All town center development projects shall be subject to the following regulations:

1. Purpose and intent. These requirements are intended to provide for compact mixed use commercial, office and residential uses located as the focus of the entire development. The town center shall include a balanced mix of retail commercial, office, and residential. No one use shall dominate the neighborhood center.
2. The requirements of the common use area of section H shall apply to all town center development projects.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Business

MEETING OF: September 21, 2016
 FROM: Public Services
 EXHIBITS: Duke Energy Streetlight Specs

SUBJECT: HOA SUBDIVISION DEVELOPMENT STREET LIGHTING

REQUEST: LED STREETLIGHT DESIGN SELECTION

SUMMARY:

With the continued development of residential subdivisions, staff suggests a uniformity of the street lighting to create a more aesthetically pleasing consistency within the city. In order to accomplish this it is proposed to utilize LED lighting in lieu of the current high-pressure sodium lights. The LED will provide better quality lighting in city neighborhoods and improve energy efficiency. Descriptions of three streetlight globe options are attached. The Victorian style of streetlight pole will remain the same as currently used (16ft, Victorian pole with light).

The number of streetlights that are needed in each area will vary and as such the total cost for the installation of street lights will fluctuate depending on how near or far apart each street light is required to be. The monthly costs are described below. Current standard policy is established via the Land Development Code and City Council approval, this allows the City to pay the standard price of \$15.82 monthly (* as noted below) and the HOA is responsible for the difference in the price for the decorative upgrade. **EXAMPLE:** *If a 50W Mitchell Top Hat streetlight globe is selected the City will pay for \$15.82 a month and the development/HOA will be responsible for \$21.12 a month [\$15.82 + \$21.12= \$36.94].*

Type	Monthly Cost Includes Monthly Fuel & Energy	Difference To be paid By HOA	Light Pollution Shielded
<i>100W Biscayne High-Pressure Sodium</i>	\$ 31.94	<i>Current Style</i>	<i>No</i>
50W Mini Bell	\$ 33.32	\$1.38	Yes
70W Acorn Open Post	\$ 35.99	\$4.05	Yes
50W Mitchell Top Hat	\$ 36.94	\$5.00	Yes

**a standard concrete street light pole with a 100HPS fixture is \$15.82

FUNDING SOURCE:

Streets Department

RECOMMENDATION ACTION:

Approve one of the three LED streetlight designs for use in citywide residential HOA developments.

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police 96

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

Outdoor Lighting

Mini Bell LED



Subject to variance from manufacturer. Contact us for region specific details.

The Mini Bell LED is an energy-efficient luminaire with a classic, sophisticated design. This fixture is an excellent choice for illuminating pathways and residential communities.

LED 50 watts
(Light Emitting Diode)

Mounting height 12'

Colors Black
Green

Poles Style A, B, C, D, E, F

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417.

Outdoor Lighting

Open Deluxe Acorn LED



Subject to variance from manufacturer. Contact us for region specific details.

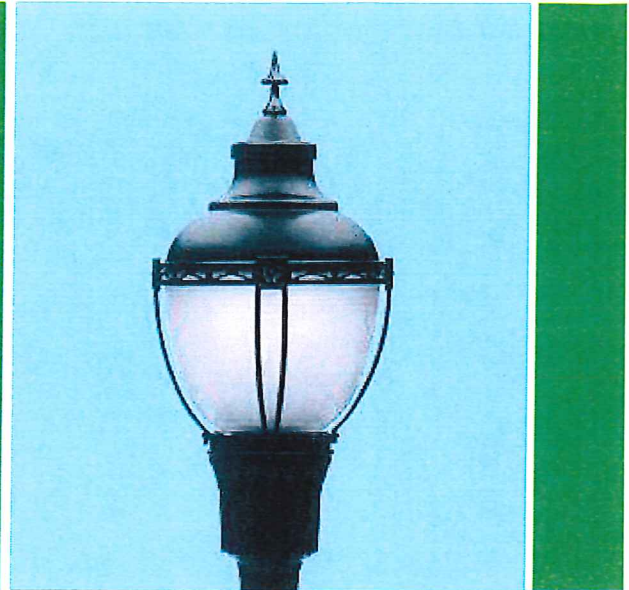
The Open Deluxe Acorn LED is a graceful Victorian-style fixture that enhances the character and prestige of streetscapes, greenways and pedestrian areas. This energy-efficient luminaire limits unwanted uplight and will complement any neighborhood or park with its classic, elegant design.

LED <i>(Light Emitting Diode)</i>	70 watts
Mounting height	12'
Colors	Black Green
Poles	Style A, B, C, D, E, F
Applications	Neighborhoods Parks Shopping centers

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417.

Outdoor Lighting

Mitchell Top Hat LED
*(with ribs, bands
 and medallions)*



Part of the Masterpiece Series, the energy-efficient Mitchell Top Hat LED with ribs, bands and medallions enhances the character and prestige of streetscapes and parking lots, as well as pedestrian areas and greenways. This fixture provides safety and security in commercial settings and will complement any neighborhood with its classic, elegant design.

LED <i>(Light Emitting Diode)</i>	50 watts
Mounting height	12'
Color	Black
Pole	Decorative concrete
Applications	Neighborhoods Parks Shopping centers Streets

For additional information, visit us at duke-energy.com/OutdoorLighting or call us toll free at 866.769.6417.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: September 21, 2016
 FROM: Community Development
 EXHIBITS: Exhibit "A" – Summary
 Ordinance No. 2513
 Vicinity Map

SUBJECT: 2016 ANNEXATION – CYCLE NO. 3

REQUEST: SECOND READING OF ORDINANCE NO. 2513 – ANNEXATION - CENTRAL FLORIDA EXPRESSWAY AUTHORITY.

SUMMARY:

OWNER: Central Florida Expressway Authority

LOCATION: West of Plymouth Sorrento Road and South of Yothers Road

LAND USE: Refer to Exhibit "A"

EXISTING USE: Refer to Exhibit "A"

TRACT SIZE: 0.30 +/- acre

ADDITIONAL COMMENTS: The proposed annexation shall be on the basis of the existing County Future Land Use and Zoning Designations. The assignment of a City Future Land Use and Zoning designation will occur at a later date, and through action by the City Council.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on August 19, 2016.

DULY ADVERTISED:
 August 26, 2016 - 1/4 Page Public Hearing Advertisement
 September 2, 2016 - 1/4 Page Public Hearing Advertisement
 September 9, 2016 - Ordinance Headings Advertisement

PUBLIC HEARING SCHEDULE:
 September 7, 2016 (1:30 pm) - City Council 1st Reading
 September 21, 2016 (7:00 pm) - City Council 2nd Reading and Adoption

FUNDING SOURCE: N/A

DISTRIBUTION

- | | | |
|--------------------------------|------------------|--------------------------|
| Mayor Kilsheimer | Finance Director | Public Services Director |
| Commissioners | HR Director | Recreation Director |
| City Administrator | IT Director | City Clerk |
| Community Development Director | Police Chief | Fire Chief |

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the 2016 Annexation – Cycle No. 3

The **City Council**, at its meeting on September 7, 2016, accepted the First Reading of Ordinance No. 2513, and held it over for Second Reading and Adoption on September 21, 2016.

Adopt Ordinance No. 2513.

EXHIBIT "A"
CITY OF APOPKA
2016 ANNEXATION CYCLE # 3

TOTAL ACRES: 5.77+/-

ANNEXATION ORDINANCE NO.: 2513 -2517

Adopted this 21st day of SEPTEMBER, 2016

ORD. NO.	ITEM NO.	OWNER'S NAME	LOCATION	PARCEL NUMBER	ACRES +/-	EXISTING USE	FUTURE LAND USE (COUNTY)
2513	1	CENTRAL FLORIDA EXPRESSWAY AUTHORITY	PLYMOUTH SORRENTO ROAD	36-20-27-0000-00-124 36-20-27-0000-00-126	0.15 <u>0.15</u> 0.30	VACANT LAND	RURAL 1DU/10ACRES/ AGRICULTURAL
2514	2	CHARLES L. KOHL KATHY E. KOHL	1030 EAST SANDPIPER STREET	02-21-28-0000-00-112	1.79	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2515	3	DEBBIE NELSON BRYAN NELSON	1157 OAKPOINT CIRCLE	02-21-28-9090-00-020	1.27	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2516	4	WILLIAM D. COOK TRUST ROBYN D. COOK TRUST	1163 OAKPOINT CIRCLE	02-21-28-9090-00-010	1.27	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2517	5	VERDUZCO INVESTMENT, LLC	1175 OAKPOINT CIRCLE	02-21-28-7328-00-080	1.14	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC

g:\Shared\4020\PLANNING_ZONING\Annexations\2016 Cycle 3 Spreadsheet

ORDINANCE NO. 2513

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY CENTRAL FLORIDA EXPRESSWAY AUTHORITY LOCATED WEST OF PLYMOUTH SORRENTO ROAD AND SOUTH OF YOTHERS ROAD; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, Central Florida Expressway Authority, owner thereof, has petitioned the City Council of the City of Apopka, Florida, to annex the property located west of Plymouth Sorrento Road and south of Yothers Road; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, and graphically depicted by the attached Exhibit "A", is hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Legal Descriptions:

Comm At Ne Cor Of Se1/4 Of Sec 36-20-27 T S89-28-38w 278.71 Ft Along N Line Of Ne1/4 Of Se1/4 To Pob Th S00-27-45e 20.1 Ft To Pt On S Line Of N 20 Ft Of E 300 Ft Of Ne1/4 Of Se1/4 Th S89-27-24w 20.58 Ft Th S37-23-29w 106.13 Ft Along Ely Lines Of Lands Desc In 6077/2248 Th N52-36-26w 29.99 Ft Th N00-31-19w 85.41 Ft To Pt On Aforesaid N Line Th N89-28-38e 109.48 Ft To Pob. Containing: 0.15 acre;

and

Comm At Ne Cor Of Se1/4 Of Sec 36-20-27 Th S02-14-21e 20.01 Ft To Pt On S Line Of N 20 Ft Of E 300 Ft Of Ne1/4 Of Se1/4 Th S89-27-24w 279.34 Ft To Pob Th S00-27-45e 114.23 Ft Th S89-31-59w 46.60 Ft Th N52-36-26w 49.54 Ft To Pt On Wly Line Of Lands Desc In Or 8943/2342 Th N37-23-29e 106.13 Ft To A Pt On Aforesaid S Line Th N89-27-24e 20.58 Ft To Pob. Containing 0.15 +/- acre

Containing: 0.30 acres

ORDINANCE NO. 2513
PAGE 2

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: September 7, 2016

READ SECOND TIME
AND ADOPTED: September 21, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED FOR PUBLIC HEARING: August 26, 2016
September 2, 2016
September 9, 2016

ANNEXATION
CENTRAL FLORIDA EXPRESSWAY AUTHORITY



Exhibit "A"
Ord. # 2513
Parcel ID: 36-20-27-0000-00-0124
36-20-27-0000-00-0126

Total Acres: 0.30 +/-

VICINITY MAP





CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: September 21, 2016
 FROM: Community Development
 EXHIBITS: Exhibit "A" – Summary
 Ordinance No. 2514
 Vicinity Map

SUBJECT: 2016 ANNEXATION – CYCLE NO. 3

REQUEST: SECOND READING OF ORDINANCE NO. 2514 – ANNEXATION - CHARLES L. KOHL AND KATHY E. KOHL

SUMMARY:

OWNER: Charles L. Kohl and Kathy L. Kohl

LOCATION: 1030 East Sandpiper Street

LAND USE: Refer to Exhibit "A"

EXISTING USE: Refer to Exhibit "A"

TRACT SIZE: 1.79 +/- acres

ADDITIONAL COMMENTS: The proposed annexation shall be on the basis of the existing County Future Land Use and Zoning Designations. The assignment of a City Future Land Use and Zoning designation will occur at a later date, and through action by the City Council.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on April 1, 2016.

DULY ADVERTISED:

August 26, 2016 - 1/4 Page Public Hearing Advertisement
 September 2, 2016 - 1/4 Page Public Hearing Advertisement
 September 9, 2016 - Ordinance Headings Advertisement

PUBLIC HEARING SCHEDULE:

September 7, 2016 (1:30 pm) - City Council 1st Reading
 September 21, 2016 (7:00 pm) - City Council 2nd Reading and Adoption

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the 2016 Annexation – Cycle No. 3

The **City Council**, at its meeting on September 7, 2016, accepted the First Reading of Ordinance No. 2514, and held it over for Second Reading and Adoption on September 21, 2016.

Adopt Ordinance No. 2514.

EXHIBIT "A"
CITY OF APOPKA
2016 ANNEXATION CYCLE # 3

TOTAL ACRES: 5.77+/-

ANNEXATION ORDINANCE NO.: 2513 -2517

Adopted this 21st day of SEPTEMBER, 2016

ORD. NO.	ITEM NO.	OWNER'S NAME	LOCATION	PARCEL NUMBER	ACRES +/-	EXISTING USE	FUTURE LAND USE (COUNTY)
2513	1	CENTRAL FLORIDA EXPRESSWAY AUTHORITY	PLYMOUTH SORRENTO ROAD	36-20-27-0000-00-124 36-20-27-0000-00-126	0.15 <u>0.15</u> 0.30	VACANT LAND	RURAL 1DU/10ACRES/ AGRICULTURAL
2514	2	CHARLES L. KOHL KATHY E. KOHL	1030 EAST SANDPIPER STREET	02-21-28-0000-00-112	1.79	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2515	3	DEBBIE NELSON BRYAN NELSON	1157 OAKPOINT CIRCLE	02-21-28-9090-00-020	1.27	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2516	4	WILLIAM D. COOK TRUST ROBYN D. COOK TRUST	1163 OAKPOINT CIRCLE	02-21-28-9090-00-010	1.27	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2517	5	VERDUZCO INVESTMENT, LLC	1175 OAKPOINT CIRCLE	02-21-28-7328-00-080	1.14	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC

g:\Shared\4020\PLANNING_ZONING\Annexations\2016 Cycle 3 Spreadsheet

ORDINANCE NO. 2514

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY CHARLES L. KOHL AND KATHY E. KOHL LOCATED AT 1030 EAST SANDPIPER STREET; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, Charles L. Kohl and Kathy E. Kohl, owner thereof, has petitioned the City Council of the City of Apopka, Florida, to annex the property located at 1030 East Sandpiper Street; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, and graphically depicted by the attached Exhibit "A", is hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Legal Description:

N 342 FT OF W 250 FT OF NE1/4 OF SW1/4 OF NW1/4 (LESS N 30 FT FOR RD) OF
SEC 02-21-28
CONTAINING: 1.79 ACRES

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

ORDINANCE NO.: 2514

PAGE 2

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: September 7, 2016

READ SECOND TIME
AND ADOPTED: September 21, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED FOR PUBLIC HEARING: August 26, 2016
September 2, 2016
September 9, 2016

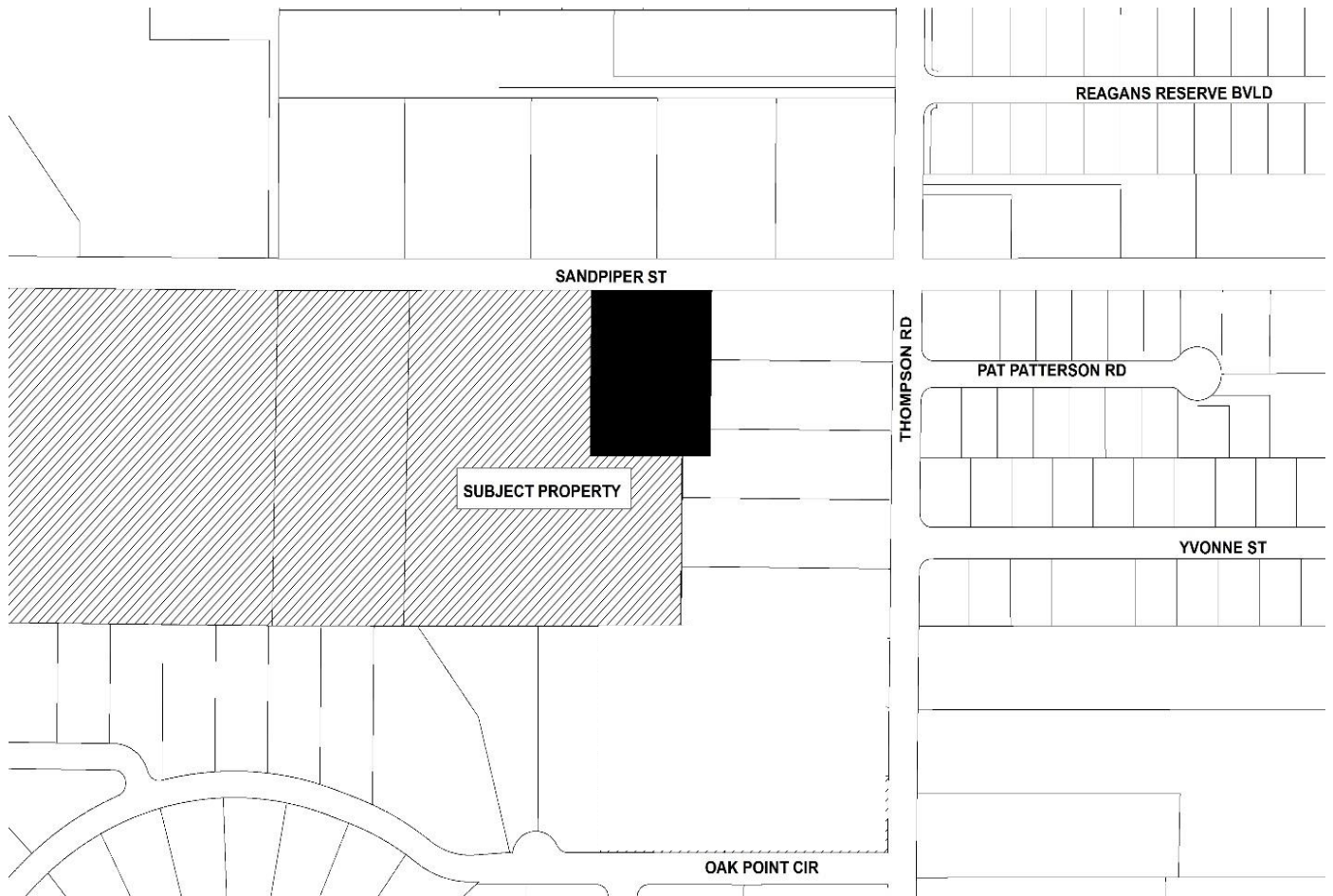
ANNEXATION
CHARLES L. KOHL AND KATHY E. KOHL



Exhibit "A"
Ord. # 2514
Parcel ID: 02-21-28-0000-00-112

Total Acres: 1.79 +/-

VICINITY MAP





CITY OF APOPKA CITY COUNCIL

 CONSENT AGENDA
 X PUBLIC HEARING
 SPECIAL REPORTS
 X OTHER: Ordinance

MEETING OF: September 21, 2016
FROM: Community Development
EXHIBITS: Exhibit "A" – Summary
Ordinance No. 2515
Vicinity Map

SUBJECT: 2016 ANNEXATION – CYCLE NO. 3

REQUEST: SECOND READING OF ORDINANCE NO. 2515 – ANNEXATION - BRYAN NELSON AND DEBBIE NELSON

SUMMARY:

OWNER: Bryan Nelson and Debbie Nelson
LOCATION: 1157 Oakpoint Circle
LAND USE: Refer to Exhibit "A"
EXISTING USE: Refer to Exhibit "A"
TRACT SIZE: 1.27 +/- acres

ADDITIONAL COMMENTS: The proposed annexation shall be on the basis of the existing County Future Land Use and Zoning Designations. The assignment of a City Future Land Use and Zoning designation will occur at a later date, and through action by the City Council.

PUBLIC SERVICES DEPARTMENT

“With regards to the three parcels located on Oakpoint Circle, the only comment we have concerns sanitation services. Since we are not currently providing sanitation in this area, it may present a hardship for our Sanitation Division to take on only these three parcels of the subdivision.”

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on August 19, 2016.

DULY ADVERTISED:

August 26, 2016 - 1/4 Page Public Hearing Advertisement
September 2, 2016 - 1/4 Page Public Hearing Advertisement
September 9, 2016 - Ordinance Headings Advertisement

PUBLIC HEARING SCHEDULE:

September 7, 2016 (1:30 pm) - City Council 1st Reading
September 21, 2016 (7:00 pm) - City Council 2nd Reading and Adoption

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Director

112

Public Services Director
Recreation Director
City Clerk
Fire Chief

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the 2016 Annexation – Cycle No. 3

The **City Council**, at its meeting on September 7, 2016, accepted the First Reading of Ordinance No. 2515, and held it over for Second Reading and Adoption on September 21, 2016.

Adopt Ordinance No. 2515.

EXHIBIT "A"
CITY OF APOPKA
2016 ANNEXATION CYCLE # 3

TOTAL ACRES: 5.77+/-

ANNEXATION ORDINANCE NO.: 2513 -2517

Adopted this 21st day of SEPTEMBER, 2016

ORD. NO.	ITEM NO.	OWNER'S NAME	LOCATION	PARCEL NUMBER	ACRES +/-	EXISTING USE	FUTURE LAND USE (COUNTY)
2513	1	CENTRAL FLORIDA EXPRESSWAY AUTHORITY	PLYMOUTH SORRENTO ROAD	36-20-27-0000-00-124 36-20-27-0000-00-126	0.15 <u>0.15</u> 0.30	VACANT LAND	RURAL 1DU/10ACRES/ AGRICULTURAL
2514	2	CHARLES L. KOHL KATHY E. KOHL	1030 EAST SANDPIPER STREET	02-21-28-0000-00-112	1.79	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2515	3	DEBBIE NELSON BRYAN NELSON	1157 OAKPOINT CIRCLE	02-21-28-9090-00-020	1.27	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2516	4	WILLIAM D. COOK TRUST ROBYN D. COOK TRUST	1163 OAKPOINT CIRCLE	02-21-28-9090-00-010	1.27	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2517	5	VERDUZCO INVESTMENT, LLC	1175 OAKPOINT CIRCLE	02-21-28-7328-00-080	1.14	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC

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ORDINANCE NO. 2515

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY BRYAN NELSON AND DEBBIE NELSON LOCATED AT 1157 OAKPOINT CIRCLE; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, Bryan Nelson and Debbie Nelson, owner thereof, has petitioned the City Council of the City of Apopka, Florida, to annex the property located at 1157 Oakpoint Circle; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, and graphically depicted by the attached Exhibit "A", is hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Legal Description:

WEKIVA LANDING SUB 14/43 LOT 2
CONTAINING: 1.27 ACRES

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

ORDINANCE NO.: 2515

PAGE 2

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: September 7, 2016

READ SECOND TIME
AND ADOPTED: September 21, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED FOR PUBLIC HEARING: August 26, 2016
September 2, 2016
September 9, 2016

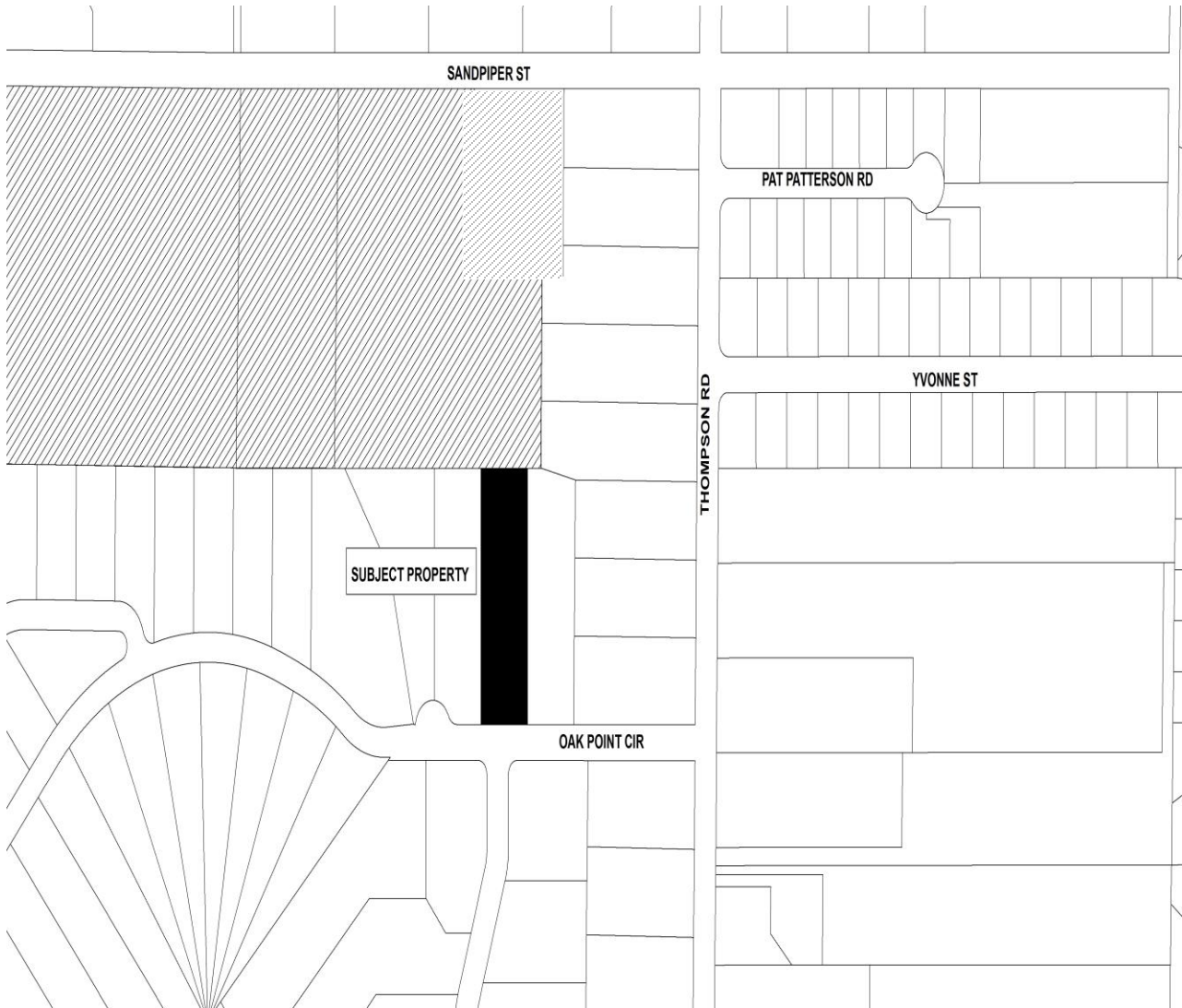
ANNEXATION
BRYAN NELSON AND DEBBIE NELSON
1157 OAKPOINT CIRCLE

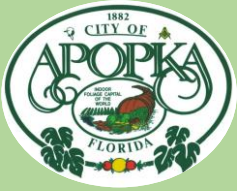


Exhibit "A"
Ord. # 2515
Parcel ID: 02-21-28-9090-00-020

Total Acres: 1.27 +/-

VICINITY MAP





CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Ordinance

MEETING OF: September 21, 2016
 FROM: Community Development
 EXHIBITS: Exhibit "A" – Summary
 Ordinance No. 2516
 Vicinity Map

SUBJECT: 2016 ANNEXATION – CYCLE NO. 3

REQUEST: SECOND READING OF ORDINANCE NO. 2516 – ANNEXATION - WILLIAM D. COOK AND ROBYN D. COOK TRUST

SUMMARY:

OWNER: William D. Cook and Robyn D. Cook Trust
 LOCATION: 1163 Oakpoint Circle
 LAND USE: Refer to Exhibit "A"
 EXISTING USE: Refer to Exhibit "A"
 TRACT SIZE: 1.27 +/- acres

ADDITIONAL COMMENTS: The proposed annexation shall be on the basis of the existing County Future Land Use and Zoning Designations. The assignment of a City Future Land Use and Zoning designation will occur at a later date, and through action by the City Council.

PUBLIC SERVICES DEPARTMENT: "With regards to the three parcels located on Oakpoint Circle, the only comment we have concerns sanitation services. Since we are not currently providing sanitation in this area, it may present a hardship for our Sanitation Division to take on only these three parcels of the subdivision."

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on August 19, 2016.

DULY ADVERTISED:
 August 26, 2016 - 1/4 Page Public Hearing Advertisement
 September 2, 2016 - 1/4 Page Public Hearing Advertisement
 September 9, 2016 - Ordinance Headings Advertisement

PUBLIC HEARING SCHEDULE:
 September 7, 2016 (1:30 pm) - City Council 1st Reading
 September 21, 2016 (7:00 pm) - City Council 2nd Reading and Adoption

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police

118

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the 2016 Annexation – Cycle No. 3

The **City Council**, at its meeting on September 7, 2016, accepted the First Reading of Ordinance No. 2516, and held it over for Second Reading and Adoption on September 21, 2016.

Adopt Ordinance No. 2516.

EXHIBIT "A"
CITY OF APOPKA
2016 ANNEXATION CYCLE # 3

TOTAL ACRES: 5.77+/-

ANNEXATION ORDINANCE NO.: 2513 -2517

Adopted this 21st day of SEPTEMBER, 2016

ORD. NO.	ITEM NO.	OWNER'S NAME	LOCATION	PARCEL NUMBER	ACRES +/-	EXISTING USE	FUTURE LAND USE (COUNTY)
2513	1	CENTRAL FLORIDA EXPRESSWAY AUTHORITY	PLYMOUTH SORRENTO ROAD	36-20-27-0000-00-124 36-20-27-0000-00-126	0.15 <u>0.15</u> 0.30	VACANT LAND	RURAL 1DU/10ACRES/ AGRICULTURAL
2514	2	CHARLES L. KOHL KATHY E. KOHL	1030 EAST SANDPIPER STREET	02-21-28-0000-00-112	1.79	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2515	3	DEBBIE NELSON BRYAN NELSON	1157 OAKPOINT CIRCLE	02-21-28-9090-00-020	1.27	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2516	4	WILLIAM D. COOK TRUST ROBYN D. COOK TRUST	1163 OAKPOINT CIRCLE	02-21-28-9090-00-010	1.27	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2517	5	VERDUZCO INVESTMENT, LLC	1175 OAKPOINT CIRCLE	02-21-28-7328-00-080	1.14	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC

ORDINANCE NO. 2516

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY WILLIAM D. COOK AND ROBYN D. COOK TRUST LOCATED AT 1163 OAKPOINT CIRCLE; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, William D. Cook and Robyn D. Cook Trust, owner thereof, has petitioned the City Council of the City of Apopka, Florida, to annex the property located at 1163 Oakpoint Circle; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, and graphically depicted by the attached Exhibit "A", is hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Legal Description:

WEKIVA LANDING SUB 14/43 LOT 1
CONTAINING: 1.27 ACRES

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

ORDINANCE NO.: 2516

PAGE 2

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: September 7, 2016

READ SECOND TIME
AND ADOPTED: September 21, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED FOR PUBLIC HEARING: August 26, 2016
September 2, 2016
September 9, 2016

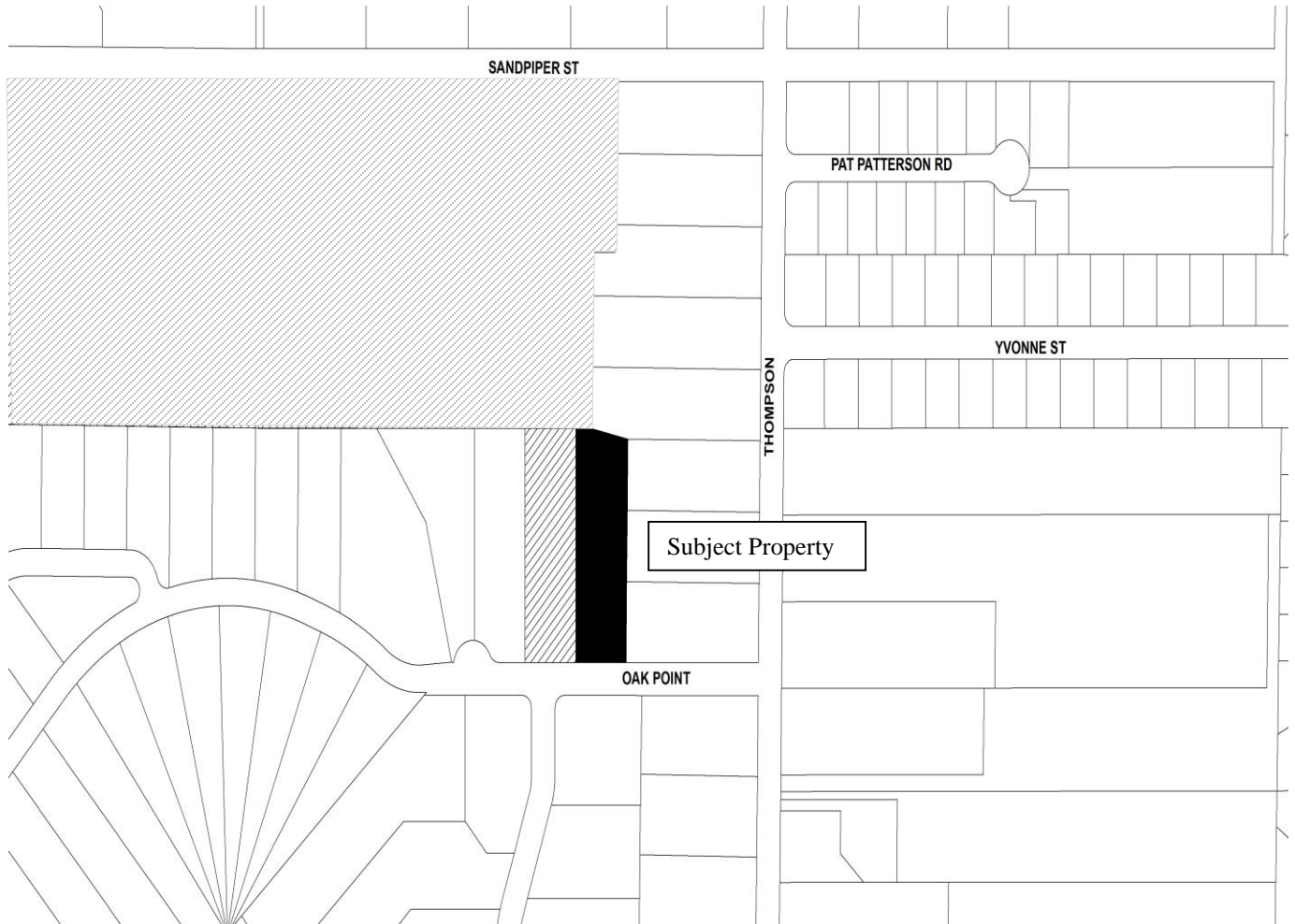
ANNEXATION
WILLIAM D. COOK AND ROBY D. COOK TRUST
1163 OAKPOINT CIRCLE



Exhibit "A"
Ord. # 2516
Parcel ID: 02-21-28-9090-00-010

Total Acres: 1.27 +/-

VICINITY MAP





CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Ordinance

MEETING OF: September 21, 2016
 FROM: Community Development
 EXHIBITS: Exhibit "A" – Summary
 Ordinance No. 2517
 Vicinity Map

SUBJECT: 2016 ANNEXATION – CYCLE NO. 3

REQUEST: SECOND READING OF ORDINANCE NO. 2517 – ANNEXATION - VERDUZCO INVESTMENT, INC.

SUMMARY:

OWNER: Verduzco Investment, Inc.
 LOCATION: 1175 Oakpoint Circle
 LAND USE: Refer to Exhibit "A"
 EXISTING USE: Refer to Exhibit "A"
 TRACT SIZE: 1.14 +/- acres

ADDITIONAL COMMENTS: The proposed annexation shall be on the basis of the existing County Future Land Use and Zoning Designations. The assignment of a City Future Land Use and Zoning designation will occur at a later date, and through action by the City Council.

PUBLIC SERVICES DEPARTMENT: "With regards to the three parcels located on Oakpoint Circle, the only comment we have concerns sanitation services. Since we are not currently providing sanitation in this area, it may present a hardship for our Sanitation Division to take on only these three parcels of the subdivision."

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on August 24, 2016.

DULY ADVERTISED:
 August 26, 2016 - 1/4 Page Public Hearing Advertisement
 September 2, 2016 - 1/4 Page Public Hearing Advertisement
 September 9, 2016 - Ordinance Headings Advertisement

PUBLIC HEARING SCHEDULE:
 September 7, 2016 (1:30 pm) - City Council 1st Reading
 September 21, 2016 (7:00 pm) - City Council 2nd Reading and Adoption

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the 2016 Annexation – Cycle No. 3

The **City Council**, at its meeting on September 7, 2016, accepted the First Reading of Ordinance No. 2517, and held it over for Second Reading and Adoption on September 21, 2016.

Adopt Ordinance No. 2517.

EXHIBIT "A"
CITY OF APOPKA
2016 ANNEXATION CYCLE # 3

TOTAL ACRES: 5.77+/-

ANNEXATION ORDINANCE NO.: 2513 -2517

Adopted this 21st day of SEPTEMBER, 2016

ORD. NO.	ITEM NO.	OWNER'S NAME	LOCATION	PARCEL NUMBER	ACRES +/-	EXISTING USE	FUTURE LAND USE (COUNTY)
2513	1	CENTRAL FLORIDA EXPRESSWAY AUTHORITY	PLYMOUTH SORRENTO ROAD	36-20-27-0000-00-124 36-20-27-0000-00-126	0.15 <u>0.15</u> 0.30	VACANT LAND	RURAL 1DU/10ACRES/ AGRICULTURAL
2514	2	CHARLES L. KOHL KATHY E. KOHL	1030 EAST SANDPIPER STREET	02-21-28-0000-00-112	1.79	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2515	3	DEBBIE NELSON BRYAN NELSON	1157 OAKPOINT CIRCLE	02-21-28-9090-00-020	1.27	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2516	4	WILLIAM D. COOK TRUST ROBYN D. COOK TRUST	1163 OAKPOINT CIRCLE	02-21-28-9090-00-010	1.27	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC
2517	5	VERDUZCO INVESTMENT, LLC	1175 OAKPOINT CIRCLE	02-21-28-7328-00-080	1.14	SFR	LOW DENSITY RESIDENTIAL MAX. 4DU/AC

ORDINANCE NO. 2517

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY VERDUZCO INVESTMENT, LLC LOCATED AT 1175 OAKPOINT CIRCLE; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, Verduzco Investment, LLC, owner thereof, has petitioned the City Council of the City of Apopka, Florida, to annex the property located at 1175 Oakpoint Circle; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, and graphically depicted by the attached Exhibit "A", is hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Legal Description:

RAVENS HAVEN 7/12 LOT 8
CONTAINING: 1.14 ACRES

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: September 7, 2016

READ SECOND TIME
AND ADOPTED: September 21, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED FOR PUBLIC HEARING: August 26, 2016
September 2, 2016
September 9, 2016

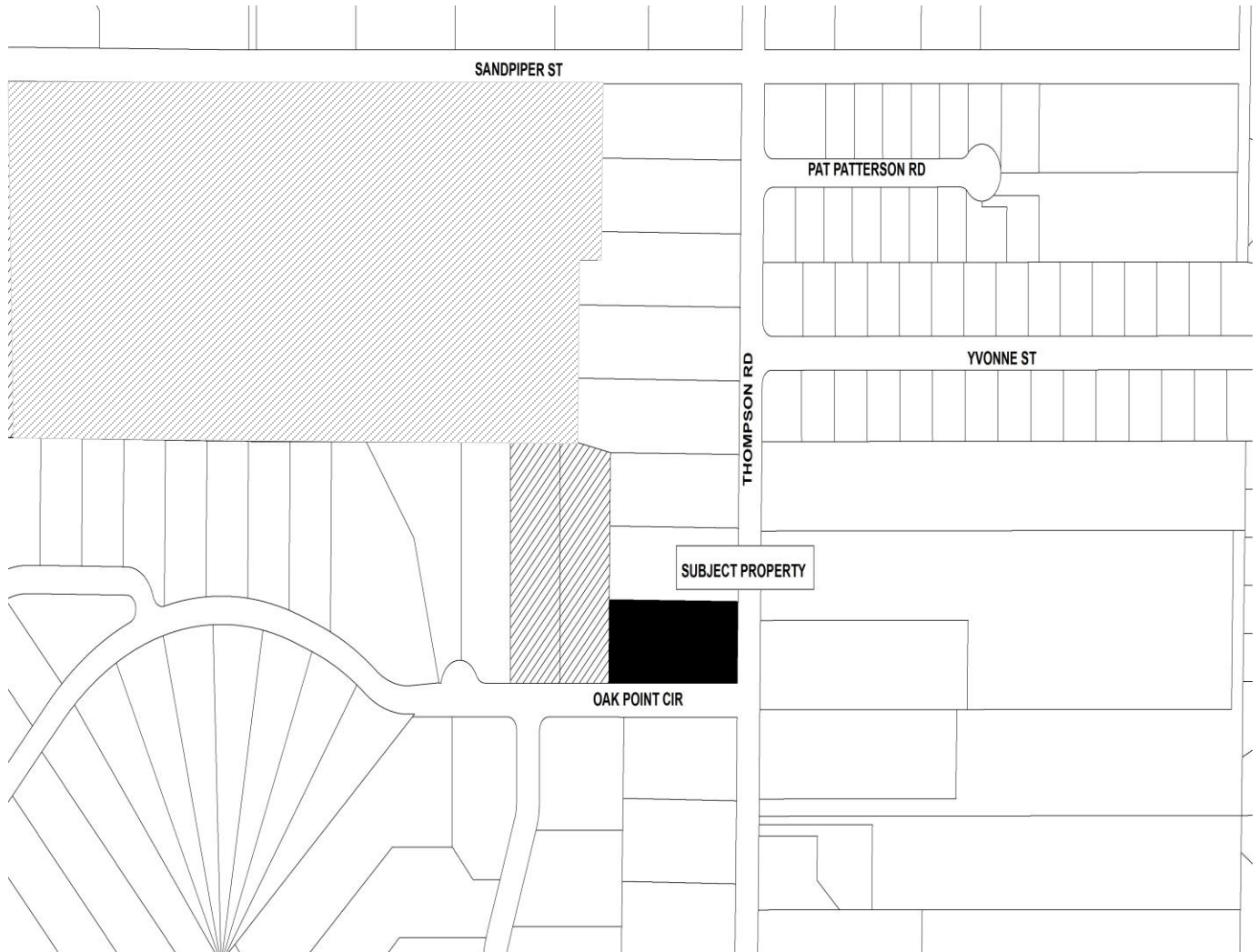
ANNEXATION
VERDUZCO INVESTMENT, INC.
1175 OAKPOINT CIRCLE



Exhibit "A"
Ord. # 2517
Parcel ID: 02-21-28-7326-00-080

Total Acres: 1.14 +/-

VICINITY MAP





CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Ordinance

MEETING OF: September 21, 2016
 FROM: Community Development
 EXHIBITS: Ordinance No. 2503

SUBJECT: ORDINANCE NO. 2503 - AMENDING THE LAND DEVELOPMENT CODE.

REQUEST: ADOPT ORDINANCE NO. 2503 – TO ADOPT EX-PARTE COMMUNICATION RULES AND PROCEDURES.

SUMMARY:

It has been the recent policy of the city to allow ex-parte communication between elected and appointed board members and the public. This policy is based upon the belief that the public should be able to voice their opinions on quasi-judicial matters to city officials prior to a public hearing on the issue. In order to address this concern on a state wide basis, the legislature enacted Section 286.0115 of the Florida Statutes to address a process for disclosure of ex-parte communications and without a presumption of prejudice.

During a review of the Land Development Code, it was discovered that Section 1.01.10 of the Land Development Code specifically prohibits ex-parte communications. Based upon the standing policy and practice of the city, ex-parte communications have been allowed following the procedures outlined in the statutes. To rectify this inconsistency, staff has prepared an amendment to the Land Development Code to address ex-parte communications, and disclosure procedures.

PUBLIC HEARING SCHEDULE:

August 9, 2016 - Planning Commission (5:30 pm)
 September 7, 2016 - City Council 1st Reading (1:30 pm)
 September 21, 2016 – City Council 2nd Reading (7:00 pm)

DULY ADVERTISED:

July 29, 2016 – Public Hearing Notice
 August 26, 2016 – Ordinance Heading

FUNDING SOURCE:

N/A

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the amendment to the City of Apopka, Code of Ordinances, Part III, Article I, Section 1.01.01 – Ex-parte Contact to adopt provisions to provide access to public officials of the City of Apopka regarding quasi-judicial matters by removing prohibitions on ex-parte communications; establishing procedures to disclose ex-parte communications pursuant to section 286.0115, Florida Statutes; creating procedures for the disclosure of ex-parte communications, investigations, site visits, and expert opinions to remove the presumption of prejudice arising therefrom.

The **Planning Commission**, at its meeting on August 9, 2016, unanimously recommended approval of the amendment to the City of Apopka, Code of Ordinances, Part III, Article I, Section 1.01.01 – Ex-parte Contact to adopt provisions to provide access to public officials of the City of Apopka regarding quasi-judicial matters by removing prohibitions on ex-parte communications; establishing procedures to disclose ex-parte communications pursuant to section 286.0115, Florida Statutes; creating procedures for the disclosure of ex-parte communications, investigations, site visits, and expert opinions to remove the presumption of prejudice arising therefrom.

The **City Council**, at its meeting on September 7, 2016, accepted the First Reading of Ordinance No. 2503 and held it over for Second Reading and Adoption on September 21, 2016.

Adopt Ordinance No. 2503.

Note: This item is considered legislative and establishes general policy. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ORDINANCE NO. 2503

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE APOPKA CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE, ARTICLE I, TO ADOPT PROVISIONS TO PROVIDE ACCESS TO PUBLIC OFFICIALS OF THE CITY OF APOPKA REGARDING QUASI-JUDICIAL MATTERS BY REMOVING PROHIBITIONS ON EX-PARTE COMMUNICATIONS; ESTABLISHING PROCEDURES TO DISCLOSE EX-PARTE COMMUNICATIONS PURSUANT TO SECTION 286.0115, FLORIDA STATUTES; CREATING PROCEDURES FOR THE DISCLOSURE OF EX-PARTE COMMUNICATIONS, INVESTIGATIONS, SITE VISITS, AND EXPERT OPINIONS TO REMOVE THE PRESUMPTION OF PREJUDICE ARISING THEREFROM; AND PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka believes that it is in the best interest of the City for the public to be able to voice its opinions regarding quasi-judicial matters to the elected and appointed public officials of the City of Apopka; and

WHEREAS, Section 286.0115, Florida Statutes, creates procedures to disclose ex-parte communications to allow public access to local public officials without a presumption of prejudice arising from such ex-parte communications; and

WHEREAS, the City Council of the City of Apopka finds it in the best interest of the City of Apopka to adopt procedures for the disclosure of ex-parte communications as set forth in Section 286.0115, Florida Statutes so as to remove the presumption of prejudice arising therefrom.

LEGISLATIVE UNDERSCORING: Underlined words constitute additions to the City of Apopka Land Development Code, ~~striketrough~~ constitutes deletions from the original, and asterisks (***) indicate an omission from the existing text which is intended to remain unchanged.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, as follows:

SECTION 1. Section 1.01.01, “Ex Parte Contacts” of the City of Apopka Land Development Code is hereby deleted in its entirety:

~~Sec. 1.01.01. -- Ex parte contacts.~~

~~Except as otherwise provided by law, ex parte contacts by city council members or the members of other boards, commissions, or agencies of the city are prohibited with regard to administrative or quasijudicial matters pending before said body.~~

SECTION 2. Article 12.09.00, “Ex-Parte Communications” of the City of Apopka Land Development Code is hereby created as follows:

Sec. 12.09.01. Purpose.

The purpose of this Section is to establish procedures, to remove the presumption of prejudice from ex parte communications, that is, any communication which occurs outside of a public hearing, with local public officials who are members of any City of Apopka board, agency or commission, including the City Council, which recommends or takes quasi-judicial action as a member of such board, agency, authority, commission or City Council. Further, the purpose of this Part is to entitle the public officials of the City of Apopka and its citizens to all of the benefits available pursuant to 286.0115, Florida Statutes.

Sec. 12.09.02. Definitions.

As used herein:

- (a) ‘Ex-parte communication’ means any form of communication, either oral or written, including any other form of non-verbal communication, with public officials which occurs outside of a public hearing. Such communications include, but are not limited to: conversations, meetings, site visits, mailings, or presentations during which substantial factual information about an item is gathered by or submitted to a local public official.
- (b) ‘Local public official’ or ‘public official’ means any elected or appointed public official of a City of Apopka board, agency, authority or commission, including the City Council, which recommends or takes quasi-judicial action.
- (c) ‘Quasi-judicial’ is a term which applies to the action of public officials or bodies who are required to investigate facts, or ascertain the existence of facts, hold hearings, weigh evidence and draw conclusions from them, as a basis for their official action, and to exercise discretion of a judicial nature.

Sec. 12.09.03. Applicability.

This Part shall apply to any and all quasi-judicial proceedings of all commissions, boards and agencies of the City of Apopka and the City Council.

Sec. 12.09.04. Access Permitted.

Any person not otherwise prohibited by statute, charter provision, or ordinance may discuss with any member of a board, agency, council, or commission of the City of Apopka the merits of any

matter on which action may be taken by such board, agency, council, or commission. Adherence to the following procedures shall remove the presumption of prejudice arising from ex-parte communications regarding quasi-judicial matters provided that any disclosure made pursuant to (a), (b), or (c) below must be made before or during the public meeting at which a vote is taken on such matters so that persons who have opinions contrary to those expressed in the ex-parte communications are given a reasonable opportunity to refute or respond to the communications.

- (a) Any public official who has verbal ex-parte communications on quasi-judicial matters pending before his or her board, agency, council, or commission shall disclose and make a part of the public record the subject of the verbal communications and the identity of the person, group, or entity with whom the communications took place.
- (b) Any public official who receives written ex-parte communications on quasi-judicial matters pending before his or her board, agency, council, or commission shall make such written communications a part of the public records by stating the subject of the communications and the person, group, or entity from which the communications were received and providing a copy of the written communications to recording secretary for inclusion in the public record.
- (c) Any public official who conducts any investigations or site visits or who receives any expert opinions regarding quasi-judicial matters pending before his or her board, agency, council, or commission shall disclose and make part of the public record the existence of such investigations, site visits, or expert opinions and state the findings made therein. If any written opinion was received by the public official, a copy of said written opinion shall be provided to the recording secretary for inclusion in the public record.

Sec. 12.09.05. No Penalties for Nondisclosure.

The failure of a public official to disclose the substance of any ex parte communication shall not be deemed to constitute a violation of the Ordinance Code, and public officials shall not be subject to fines or penalties as a result of such nondisclosure or non-compliance with these procedures.

Sec. 12.09.06. Additional Rules and Procedure Permitted.

Each board, agency, authority, or commission governed by these procedures may adopt additional rules and procedures or more stringent rules and procedures relating to ex parte communications, so long as such are not in conflict with this Article.

SECTION 3. CODIFICATION. It is the intention of the City Council that the provisions of this ordinance shall become and be made a part of the Code of Ordinances of the City of Apopka; and the City Clerk is directed to take the necessary steps to effect codification into the Code, and Sections of this ordinance may be numbered or renumbered or lettered or re-lettered and the word "ordinance"

may be changed to " chapter ", "section ", "article", or such other appropriate word or phrase in order to accomplish such codification. Typographical errors which do not affect the intent may be authorized by the Mayor, without need of public hearing, by filing a corrected or re-codified copy of same with the City Clerk.

SECTION 4. CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 5. SEVERABILITY. If any section, subsection, sentence, clause, phrase of this ordinance, or the particular application thereof shall be held invalid by any court, administrative agency, or other body with appropriate jurisdiction, the remaining section, subsection, sentences, clauses, or phrases under application shall not be affected thereby.

SECTION 6. EFFECTIVE DATE. That this ordinance and the rules, regulations, provisions, requirements, orders and matters established and adopted hereby shall take effect and be in full force and effect immediately upon its passage and adoption.

READ FIRST TIME: September 7, 2016

READ SECOND TIME
AND ADOPTED: September 21, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda G. Goff, City Clerk

APPROVED as to form and legality for use and reliance by the City of Apopka, Florida.

Cliff B. Shepard, City Attorney

DULY ADVERTISED FOR PUBLIC HEARING: July 29, 2016

September 9, 2016



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: September 21, 2016
 FROM: Community Development
 EXHIBITS: Ordinance No. 2504

SUBJECT: ORDINANCE NO. 2504 – AMENDING THE LAND DEVELOPMENT CODE.

REQUEST: ADOPT ORDINANCE NO. 2504 – TO ALLOW INCREASED BUILDING HEIGHTS.

SUMMARY:

As Community Development staff has been reviewing the Land Development Code in anticipation of the update scheduled to begin in the next few months, one issue was discovered that could adversely affect economic development while the code is in the process of being updated. This issue is related to building height. Currently building height is limited to 35 feet except within the downtown overlay district. The downtown overlay district permits the following maximum building heights: single family residential uses - 35 feet; multi-family uses – 75 feet; and commercial or non-residential uses – 100 feet provided no residential uses or a residential zoning district is located within 200 feet. This distance is measured from property line to property line. Otherwise the maximum building height is 35 feet. This is a very common standard contained in codes from the late 1980’s and early 1990’s. It was primarily based upon the height that a ladder truck could reach. With the advent of modern building and fire codes, buildings have become much safer in relation to fire hazards.

Currently, in order to construct a building in excess of 35 feet, an applicant must rezone the property to Planning Unit Development (PUD) and go through a time consuming review and approval process. According to Community Development staff, development interests have approached the City to develop office buildings over 35 feet but did not move forward due to the process involved with a PUD application which may take several months. This represents lost opportunity.

To address this, staff is proposing an amendment to the Land Development Code to allow an applicant to request a special exception to height requirements. If building height is the only issue, an applicant can request a special exception and avoid the costly and time consuming PUD process. This will allow an applicant requesting non-residential development over 35 feet to have that issue addressed in an expeditious and straight forward fashion. The review criteria has been developed to avoid potential adverse effects on surrounding properties.

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

PUBLIC HEARING SCHEDULE:

August 9, 2016 - Planning Commission (5:30 pm)
September 7, 2016 - City Council 1st Reading (1:30 pm)
September 21, 2016 – City Council 2nd Reading (7:00 pm)

DULY ADVERTISED:

July 29, 2016 – Public Hearing Notice
September 9, 2016 – Ordinance Heading

RECOMMEDATION ACTION:

The **Development Review Committee** recommends approval of the amendment to the City of Apopka, Code of Ordinances, Part III, Land Development Code, Article II, Section 2.02.01 to allow building heights in excess of 35 Feet when expressly permitted by Special Exception or Planned Unit Development.

The **Planning Commission**, at its meeting on August 9, 2016, unanimously recommended approval of the amendment to the City of Apopka, Code of Ordinances, Part III, Article II, Section 2.02.01 to allow building heights in excess of 35 Feet when expressly permitted by Special Exception or Planned Unit Development.

The **City Council**, at its meeting on September 7, 2016, accepted the First Reading of Ordinance No. 2504 and held it over for Second Reading and Adoption on September 21, 2016.

Adopt Ordinance No. 2504.

Note: This item is considered legislative and establishes general policy. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ORDINANCE NO. 2504

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE APOPKA CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE, TO ALLOW BUILDING HEIGHTS IN EXCESS OF 35 FEET WHEN EXPRESSLY PERMITTED BY SPECIAL EXCEPTION OR PLANNED UNIT DEVELOPMENT, PROVIDING FOR EXCEPTIONS, AND PROVIDING CRITERIA; PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka finds it in the best interest of the City of Apopka to allow building heights in excess of 35 feet when expressly permitted by special exception.

LEGISLATIVE UNDERSCORING: Underlined words constitute additions to the City of Apopka Land Development Code, ~~strike through~~ constitutes deletions from the original, and asterisks (***) indicate an omission from the existing text which is intended to remain unchanged.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, as follows:

SECTION 1. Article II, Sec. 2.02.01 of the City of Apopka Land Development Code is amended as follows:

- B. There are several standards which are applied within all zoning districts. They are:
 - 1. *Accessory structures and uses.* Accessory structures and uses shall conform to article VII, section 7.01.00 of this code.
 - 2. *Additional development requirements:*
 - a. The city council, may impose additional requirements which in their judgment are required as a result of unique circumstances with respect to site, the district in which it is located, and the type of development proposed.

If these additional standards are found necessary as part of a rezoning, zoning districts which are subject to such additional conditions, restrictions, or requirements shall include additional performance standards in the rezoning ordinance, the performance standards shall run with the land. Such conditions shall be in line with the intent and purpose of this code.
 - b. When a change of occupancy classification as determined by the Standard Building Code, or a change of permitted use as determined by the community development director, and/or the number of persons in a building significantly increases the entire site shall, as much as practicable, comply with the requirements of this code. The specific provisions of the code with which the site will be required to comply shall be in accordance with the redevelopment standards included in article XII of this code.
 - 3. *Building height:*
 - a. ~~No structure shall exceed 35 feet in height.~~ Building height in excess of 35 feet is unlawful unless expressly permitted by special exception issued pursuant to the requirements of Article II, Sec. 2.02.01(B)(3)(c) of this Code or addressed through a Planned Unit Development zoning application. 'Building height' is defined in Article I, Sec. 1.08.13 of this Code.
 - b. ~~Exclusions.~~ Exceptions.

- (1) The building height limitations contained in this code do not apply to, nor is a special exception required for: spires, belfries, cupolas, antennas, water tanks, ventilators, chimneys, or to other appurtenances usually required to be placed above the roof level and not intended for human occupancy provided; however, the heights of these structures or appurtenances thereto shall not exceed any height limitations prescribed by the FAA or when there is conflict in other sections of this code.
- (2) For non-residential development, a building's facade may extend up to a maximum of five feet above the building's height (as calculated according to Article I, Sec. 1.08.13 of this Code) to a maximum of forty feet without the need for a special exception, if the facade is utilized to conceal and/or screen roof top equipment, including, but not limited to: air conditioning equipment, antennas, etc...

c. Special Exception for Building Height.

- (1) The special exception criteria and requirements specified in Article II, Sec. 2.02.01(B)(5) of this Code are not applicable to building height.
- (2) Special exceptions may only be applied for and granted non-residential development.
- (3) All special exception applications for building height shall include a development plan and shall be reviewed by the planning commission for approval to ensure that the application meets all requirements of this Code and the following criteria:
 - (a) Whether the height exception will have an adverse effect on land uses in adjacent areas.
 - (b) Whether the height exception will severely reduce light and air in adjacent areas.
 - (c) Whether the height exception will be a detriment to the improvement or development of adjacent property in accord with existing regulations.
 - (d) Whether the height exception will adversely affect property values in adjacent areas.
 - (e) Whether the height exception will adversely influence living conditions in adjacent areas.
 - (f) Whether the height exception is compatible with adjacent areas, neighborhoods, and urban form.
 - (g) Whether the height exception will impair scenic views.

SECTION 2. CODIFICATION. It is the intention of the City Council that the provisions of this ordinance shall become and be made a part of the Code of Ordinances of the City of Apopka; and the City Clerk is directed to take the necessary steps to effect codification into the Code, and Sections of this ordinance may be numbered or renumbered or lettered or re-lettered and the word "ordinance" may be changed to "chapter", "section", "article", or such other appropriate word or phrase in order to accomplish such codification. Typographical errors which do not affect the intent may be authorized by the Mayor, without need of public hearing, by filing a corrected or re-codified copy of same with the City Clerk.

SECTION 3. CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 4. SEVERABILITY. If any section, subsection, sentence, clause, phrase of this ordinance, or the particular application thereof shall be held invalid by any court, administrative agency, or other body with appropriate jurisdiction, the remaining section, subsection, sentences, clauses, or phrases under application shall not be affected thereby.

SECTION 5. EFFECTIVE DATE. That this ordinance and the rules, regulations, provisions, requirements, orders and matters established and adopted hereby shall take effect and be in full force and effect immediately upon its passage and adoption.

READ FIRST TIME: September 7, 2016

READ SECOND TIME
AND ADOPTED: September 21, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda G. Goff, City Clerk

APPROVED as to form and legality for use and reliance by the City of Apopka, Florida.

Cliff B. Shepard, City Attorney

DULY ADVERTISED FOR PUBLIC HEARING: July 29, 2016
September 9, 2016



CITY OF APOPKA CITY COUNCIL

<input type="checkbox"/>	CONSENT AGENDA	MEETING OF:	September 21, 2016
<input checked="" type="checkbox"/>	PUBLIC HEARING	FROM:	Community Development
<input type="checkbox"/>	SPECIAL REPORTS	EXHIBIT(S):	Ordinance No. 2509
<input checked="" type="checkbox"/>	OTHER: Ordinance		

SUBJECT: ORDINANCE NO. 2509 - AMENDING THE CODE OF ORDINANCES.

REQUEST: SECOND READING OF ORDINANCE NO. 2509 – TO ALLOW ADMINISTRATIVE APPROVAL OF PEDDLERS AND SOLICITORS PERMITS.

SUMMARY:

Currently, the process to review a Peddler or Solicitor Permit application requires a public hearing before the City Council to make a determination of approval, approval with conditions, or denial. Review by City Council has produced little or no public benefit for having the extended review process. These processes are costly and time consuming for the City as well as permit applicants. Staff is requesting that Chapter 62, Pertaining to Peddlers and Solicitors be amended by empowering the City Administrator or his or her designee to administer provisions regarding permitting of peddlers or solicitors.

PUBLIC HEARING SCHEDULE:

September 7, 2016 - City Council 1st Reading (1:30 pm)
September 21, 2016 – City Council 2nd Reading (7:00 pm)

DULY ADVERTISED:

August 19, 2016 – Public Hearing Notice
September 9, 2016 – Ordinance Heading

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the amendment to the City of Apopka, Code of Ordinances, amending Chapter 62 – Peddlers and Solicitors empowering the City Administrator or his or her designee to administer provisions regarding permitting of peddlers and solicitors.

The **City Council**, at its meeting on September 7, 2016, accepted the First Reading of Ordinance No. 2509 and held it over for Second Reading and Adoption on September 21, 2016.

Adopt Ordinance No. 2509.

Note: This item is considered legislative and establishes general policy. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ORDINANCE NO. 2509

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE CODE OF ORDINANCES, CHAPTER 62, PEDDLERS AND SOLICITORS; EMPOWERING THE CITY ADMINISTRATOR OR HIS OR HER DESIGNEE TO ADMINISTER PROVISIONS REGARDING PERMITTING OF PEDDLERS AND SOLICITORS; AND PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka believes that it is necessary and in the best interest of the City for the City Administrator or his or her designee to administer provisions regarding permitting of peddlers and solicitors.

LEGISLATIVE UNDERSCORING: Underlined words constitute additions to the City of Apopka Code of Ordinances, ~~strike through~~ constitutes deletions from the original, and asterisks (***) indicate an omission from the existing text which is intended to remain unchanged.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, as follows:

SECTION 1. The provisions of CHAPTER 62, PEDDLERS AND SOLICITORS, shall be amended as follows:

Chapter 62 - PEDDLERS AND SOLICITORS

Sec. 62-38. - Issuance; ~~temporary permit.~~

- (a) *Issuance generally.* The ~~city clerk~~ city administrator or designee is hereby empowered to interview and to investigate all persons seeking to engage in house-to-house and business canvassing, soliciting, selling, peddling or vending merchandise within the corporate limits of the city, and to ~~recommend to the city council the issuance or rejection of~~ issue or reject permits and identification cards to persons so applying. ~~The city council shall determine whether to issue permits and identification cards, except as otherwise provided in this section.~~
- (b) *Authority to require additional information.* The ~~city clerk~~ city administrator or designee, may, in order to facilitate his or her investigation, require from any person desiring to secure a permit ~~or~~ and identification card for house-to-house and business canvassing the submission of credit reports, references, fingerprints and such other information as may facilitate the due and proper investigation of the person so applying.
- ~~(c) *Temporary permit and card.* The city clerk may, if he deems it advisable and in the public interest, after preliminary investigation, issue to the applicant a temporary interim permit and identification card to engage in house to house and business canvassing, soliciting, selling, peddling or vending of merchandise of every kind and nature within the corporate limits of the city. The temporary interim permit and card shall be subject to confirmation or rejection by the city council.~~

ORDINANCE NO. 2509

PAGE 2 OF 4

~~(c)~~ ~~(d)~~ *Criteria for issuance.* The ~~city clerk~~ city administrator or designee shall issue a permit and identification card, ~~or recommend the issuance of such a permit and card,~~ whenever ~~the city clerk~~ he or she finds the following facts to exist:

- (1) All of the statements made in the application are true.
- (2) The applicant has not engaged in any fraudulent transaction or enterprise.

~~(d)~~ ~~(e)~~ *Application for occupational license.* All persons who may be granted an ~~interim temporary~~ ~~or~~ annual permit and identification card under the terms of this section shall, prior to engaging in house-to-house or business activities, make application for any required occupational license, and such licenses shall be issued upon payment of the fees therefor as prescribed by ordinance. ~~If the city council rejects any interim temporary permit or identification card issued under this section, the applicant shall receive an equitable rebate of the occupational license fee which may have been paid upon the issuance of an interim temporary permit or identification card.~~

~~(f)~~ *Recommendation to council.* The city clerk shall submit, after his final determination, to the city council, his recommendations as to the issuance of permits and cards to applicants, which list shall include all interim temporary permits issued, and the city council shall consider and act upon the recommendations of the city clerk at the next regular meeting following receipt of the recommendatory lists, provided the applicant shall have had sufficient notice of the recommendations as provided in this section.

~~(e)~~ ~~(g)~~ *Time limit for action, by clerk.* The ~~city clerk~~ city administrator or designee shall in every case make his or her recommendations as to the advisability of the issuance or rejection of decision to issue or reject permits and cards ~~to the city council~~ within a maximum period of four weeks from his or her receipt of the original application by the person seeking to engage in house-to-house and business activities within the corporate limits of the city.

~~(h)~~ *Right to hearing.* The city clerk shall, at the time he makes his recommendations, afford the applicant an opportunity, if desired, to appear before and be heard by the city council. The city clerk shall place upon the agenda of the next regular meeting of the city council all recommendations; provided, however, that, if any applicant shall have received notification by the city clerk of the rejection of an application for a permit or card to engage in house-to-house and business activities less than three days before the next regular meeting of the city council, such applicant may request, if desired, an opportunity to be heard before the city council at the regular meeting following the meeting immediately forthcoming. If the applicant so rejected does not make request to the city clerk for a hearing before the city council by the Friday noon immediately preceding a regular council meeting, the recommendation of the city clerk shall be considered at the next ensuing regular city council meeting and the decision of the council will be final and not subject to appeal.

Sec. 62-43. - Revocation.

(a) Identification cards and permits issued under the provisions of this article may be revoked by the ~~city clerk~~ city administrator or designee and the chief of police, after notice and hearing, for any of the following causes:

- (1) Fraud, misrepresentation or false statement contained in the application for the permit.

- (2) Fraud, misrepresentation or false statement made in the course of carrying on his business as a solicitor or peddler.
 - (3) Any violation of this chapter.
 - (4) Conviction of any crime or misdemeanor involving moral turpitude.
 - (5) Conducting the business of soliciting or peddling in an unlawful manner, or in such manner as to constitute a breach of the peace or to constitute a menace to the health, safety or general welfare of the public.
- (b) Notice of the hearing for revocation of a permit or identification card shall be given in writing, setting forth specifically the grounds of complaint and the time and place of the hearing. Such notice shall be mailed, postage prepaid, to the permittee, at his last known address, at least five days prior to the date for the hearing.

Sec. 62-44. - Appeals.

- (a) Any solicitor or peddler aggrieved by the action of the ~~city clerk~~ city administrator or designee and/or chief of police in the denial of an application for a permit or in the decision with reference to the revocation of the permit as provided in this article shall have the right of appeal to the mayor. Such appeal shall be taken by filing with the mayor, within 14 days after notice of the action complained of has been mailed to such person's last known address, a written statement setting forth fully the grounds for appeal.
- (b) The mayor shall set a time and place for hearing such appeal, and notice of such hearing shall be given to the appellant in the same manner as provided in section 62-43(b) for notice of hearing on revocation. The decision and order of the mayor on such appeal shall be final and conclusive.

SECTION 2. CODIFICATION. It is the intention of the City Council that the provisions of this ordinance shall become and be made a part of the Code of Ordinances of the City of Apopka; and the City Clerk is directed to take the necessary steps to effect codification into the Code, and Sections of this ordinance may be numbered or renumbered or lettered or re-lettered and the word "ordinance" may be changed to "chapter", "section", "article", or such other appropriate word or phrase in order to accomplish such codification. Typographical errors which do not affect the intent may be authorized by the Mayor, without need of public hearing, by filing a corrected or re-codified copy of same with the City Clerk.

SECTION 3. CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 4. SEVERABILITY. If any section, subsection, sentence, clause, phrase of this ordinance, or the particular application thereof shall be held invalid by any court, administrative agency, or other body with appropriate jurisdiction, the remaining section, subsection, sentences, clauses, or phrases under application shall not be affected thereby.

SECTION 5. EFFECTIVE DATE. That this ordinance and the rules, regulations, provisions, requirements, orders and matters established and adopted hereby shall take effect and be in full force and effect immediately upon its passage and adoption.

READ FIRST TIME:

September 7, 2016

READ SECOND TIME
AND ADOPTED:

September 21, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda G. Goff, City Clerk

APPROVED as to form and legality for use and reliance by the City of Apopka, Florida.

Cliff B. Shepard, City Attorney

DULY ADVERTISED FOR PUBLIC HEARING: August 19, 2016
September 9, 2016



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: September 21, 2016
 FROM: Community Development
 EXHIBIT(S): Ordinance No. 2510

SUBJECT: ORDINANCE NO. 2510 - AMENDING THE CODE OF ORDINANCES.

REQUEST: SECOND READING OF ORDINANCE NO. 2510 – TO ALLOW ADMINISTRATIVE APPROVAL OF VEHICLE FOR HIRE PERMITS.

SUMMARY:

Currently, the process to review a Vehicle for Hire Permit application requires a public hearing before the City Council to make a determination of approval, approval with conditions, or denial. Review by City Council has produced little or no public benefit for having the extended review process. These processes are costly and time consuming for the City as well as permit applicants. Staff is requesting that Chapter 74, Article IV, Section 74-104 pertaining To “Vehicles for Hire” be amended by removing language indicating that City Council approval is required for Vehicle for Hire permits.

PUBLIC HEARING SCHEDULE:

September 7, 2016 - City Council 1st Reading (1:30 pm)
 September 21, 2016 – City Council 2nd Reading (7:00 pm)

DULY ADVERTISED:

August 19, 2016 – Public Hearing Notice
 September 9, 2016 – Ordinance Heading

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the amendment to the City of Apopka, Code of Ordinances, amending Chapter 74, Article IV, Section 74-104, pertaining To “Vehicles for Hire” by removing language indicating that City Council approval is required for drivers.

The **City Council**, at its meeting on September 7, 2016, accepted the First Reading of Ordinance No. 2510 and held it over for Second Reading and Adoption on September 21, 2016.

Adopt Ordinance No. 2510

Note: This item is considered legislative and establishes general policy. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

ORDINANCE NO. 2510

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING CHAPTER 74, ARTICLE IV, SECTION 74-104 OF THE CITY OF APOPKA CODE OF ORDINANCES PERTAINING TO “VEHICLES FOR HIRE” BY REMOVING LANGUAGE INDICATING THAT CITY COUNCIL APPROVAL IS REQUIRED FOR DRIVERS; AND PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka believes that it is necessary and in the best interest of the City to remove requirements for City Council approval of drivers for “vehicles for hire.”

LEGISLATIVE UNDERSCORING: Underlined words constitute additions to the City of Apopka Code of Ordinances, ~~strike through~~ constitutes deletions from the original, and asterisks (***) indicate an omission from the existing text which is intended to remain unchanged.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, as follows:

SECTION 1. Section 74-104 of the City of Apopka Code of Ordinances is hereby amended as follows:

Sec. 74-104. - Schedule.

There is hereby assessed, levied and imposed upon every business, trade, occupation and profession carried on within the city an annual business tax in the following amounts:

Vehicle for hire. (with driver) Must comply with requirements of City Code Chapter 86.

~~(City council approval required)~~

(1) 1 to 6 passengers, first vehicle61.00

(2) 7+ passengers, first vehicle61.00

(3) Each additional vehicle24.00

SECTION 2. CODIFICATION. It is the intention of the City Council that the provisions of this ordinance shall become and be made a part of the Code of Ordinances of the City of Apopka; and the City Clerk is directed to take the necessary steps to effect codification into the Code, and Sections of this ordinance may be numbered or renumbered or lettered or re-lettered and the word "ordinance" may be changed to " chapter ", "section ", "article", or such other appropriate word or phrase in order to accomplish such codification. Typographical errors which do not affect the intent may be authorized by the Mayor, without need of public hearing, by filing a corrected or re-codified copy of same with the City Clerk.

SECTION 3. CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 4. SEVERABILITY. If any section, subsection, sentence, clause, phrase of this ordinance, or the particular application thereof shall be held invalid by any court, administrative agency, or other body with appropriate jurisdiction, the remaining section, subsection, sentences, clauses, or phrases under application shall not be affected thereby.

SECTION 5. EFFECTIVE DATE. That this ordinance and the rules, regulations, provisions, requirements, orders and matters established and adopted hereby shall take effect and be in full force and effect immediately upon its passage and adoption.

READ FIRST TIME: September 7, 2016

READ SECOND TIME
AND ADOPTED: September 21, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda G. Goff, City Clerk

APPROVED as to form and legality for use and reliance by the City of Apopka, Florida.

Cliff B. Shepard, City Attorney

DULY ADVERTISED FOR PUBLIC HEARING: August 19, 2016
September 9, 2016



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: September 21, 2016
 FROM: Community Development
 EXHIBIT(S): Ordinance No. 2511

SUBJECT: ORDINANCE NO. 2511 - AMENDING THE CODE OF ORDINANCES.

REQUEST: SECOND READING OF ORDINANCE NO. 2511 – UPDATING THE VEHICLE FOR HIRE REQUIREMENTS.

SUMMARY:

The current process for review and approval of a Vehicle for Hire Permit (VHP) is to have an applicant submit the appropriate application and back up documentation, submit for a criminal background check, schedule to have the application reviewed by the Development Review Committee (DRC) and finally scheduled for review by the City Council. This process has caused difficulties and angst among the applicants which is inevitably directed toward administrative staff. This has increased with the popularity of Transportation Network Application companies such as Uber and Lyft. A review of the VHP process revealed that there were greater efficiencies that could be achieved if the process were administratively based. This would allow transportation service providers to receive their permits in approximately one week versus the current process which can take 1-2 months dependent upon the timing of the application submittal as it relates to DRC and City Council schedules.

Initially it was determined that a simple ordinance revision would be required to remove the DRC and City Council from the process. However as staff and the City Attorney reviewed the Chapter 86 of the Code of Ordinances it became evident that the code was so outdated that a complete revision was necessary. This is primarily based upon the fact that when the code was written, the only option available to hire a vehicle was through a taxi company. This has changed drastically based upon the advent of digitally based companies. The City Attorney conducted a preliminary review of the current requirements to identify possible amendments to address the emerging technologies and practices in the provision of passenger transportation services. Based on this preliminary review, it was determined that the current chapter be repealed and replaced it in its entirety.

Many of the vehicle for hire permitting requirements relate directly to ensuring public safety, including a satisfactory criminal background check, and proof of insurance. Such requirements are important for any type of vehicle for hire service, whether it is a traditional taxicab company or a network of independent contractors providing transportation services through a transportation network company.

The proposed ordinance is based upon models in Orlando and Tallahassee which have proven successful.

PUBLIC HEARING SCHEDULE:

September 7, 2016 - City Council 1st Reading (1:30 pm)
September 21, 2016 – City Council 2nd Reading (7:00 pm)

DISTRIBUTION

Mayor Kilsheimer
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

DULY ADVERTISED:

August 19, 2016 – Public Hearing Notice
September 9, 2016 – Ordinance Heading

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the amendment to the City of Apopka, Code of Ordinances, amending the City of Apopka, Code of Ordinances, Chapter 86 – Vehicle for Hire - vacating and deleting the provisions of chapter 86 of the city code as currently written, adopting new provisions in said chapter amending the permitting and regulation of taxicabs and creating regulations for transportation services and transportation network application companies and operators.

The **City Council**, at its meeting on September 7, 2016, accepted the First Reading of Ordinance No. 2511 and held it over for Second Reading and Adoption on September 21, 2016.

Adopt Ordinance No. 2511.

Note: This item is considered legislative and establishes general policy. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ORDINANCE NO. 2511

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, VACATING AND DELETING THE PROVISIONS OF CHAPTER 86 OF THE CITY CODE OF ORDINANCES AS CURRENTLY WRITTEN, ADOPTING NEW PROVISIONS IN SAID CHAPTER AMENDING THE PERMITTING AND REGULATION OF TAXICABS AND CREATING REGULATIONS FOR TRANSPORTATION SERVICES AND TRANSPORTATION NETWORK APPLICATION COMPANIES AND OPERATORS; AND PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka believes that it is necessary and in the best interest of the City to update its regulations for vehicles for hire in recognition of changes and advances in modern business models of private automobile transportation.

LEGISLATIVE UNDERSCORING: Underlined words constitute additions to the City of Apopka Code of Ordinances, ~~strike through~~ constitutes deletions from the original, and asterisks (***) indicate an omission from the existing text which is intended to remain unchanged.

NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, as follows:

SECTION 1. The provisions of CHAPTER 86, VEHICLES FOR HIRE, shall be vacated and deleted in its entirety, and the following shall be adopted in their place. The provisions to be vacated and deleted are attached as Exhibit "A."

Chapter 86 - VEHICLES FOR HIRE

ARTICLE I. - IN GENERAL

Sec. 86-1. - Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Company means any person, association, corporation or other organization which operates or intends to engage in the business of operating vehicles for hire or operate as a TNC.

Conviction means the conviction by a court including an adjudication of guilt on a plea of guilty or nolo contendere or the forfeiture of a bond when charged with a crime.

Digital platform means any online or smartphone enabled application that allows passengers to request transportation network vehicle services.

Digital credential means the permission or access given to a driver to operate on a company's digital platform.

Driver means an individual permitted to drive a vehicle for hire.

Fees mean nonrefundable payments required in this chapter.

Limousine means a specialized vehicle not equipped with a taximeter and for hire only by prearrangement at a rate charged per hour, or fixed in advance, and provided also that each such vehicle for hire is: (1) chauffeured, (2) a luxury class passenger vehicle built or modified for the purpose of a limousine as defined and recognized by the limousine industry; and (3) operated on a reserved, hourly

basis for a continuous period. A vehicle which is held out to be a limousine or which has an appearance deceptively similar to a limousine is a limousine for the purposes of this chapter.

Narcotic drugs, barbituric acid derivatives and central nervous system stimulants. The term "narcotic drugs" as used in this chapter shall mean coca leaves, opium, cannabis, marijuana, isonipecaine and every synthetic substance known to have narcotic action. The term "barbituric acid derivative" means each of the salts and derivatives of barbituric acid, also known as malonyl urea, and derivatives, compounds, mixtures or preparations thereof. "Barbiturate" or "barbiturates" shall include all hypnotic or somnifacient drugs, whether or not derivatives of barbituric acids. The term "central nervous system stimulants" means amphetamine and desocyphedrine, and any derivative, compounds, mixture or preparation thereof.

Permit means the authority granted to companies to operate, or persons who qualify to drive, vehicles for hire.

Revocation means the rescinding of a permit. A person or entity whose permit is revoked shall not be entitled to reinstatement or an opportunity to reapply for such permit for a period of two years except as provided in subsection 86-61(5).

Shuttle bus means a vehicle with a capacity of at least eight persons, including the driver, that is operated on a fixed route, or owner and operated directly by a motel or hotel and limited to registered guests thereof.

Suspension means the temporary rescinding of a permit or license. The suspension may be for a time certain or indefinite pending compliance with the terms of this chapter.

Taxicab means a vehicle for hire with a capacity of not more than eight persons, including the driver, equipped with a taximeter operated under a company and vehicle permit required by this article, which is routed under the direction of the person hiring the vehicle.

Taximeter means an instrument or device attached to a vehicle and designed to measure mechanically or electronically the distance traveled by such vehicle, to record the times such vehicle travels or is in waiting, and to indicate the fare to be obtained.

Transportation service means a vehicle for hire with a capacity of not more than eight persons, including the driver, which is not equipped with a taximeter, which charges passengers a fare generally based on a flat fee, and does not operate over a fixed or defined route but routed under the direction of the person hiring the vehicle.

Transportation network application company ("TNC company") means any company operating in the city that uses a digital network or software application to connect a passenger to transportation network services provided by a transportation network operator.

Transportation network operator means any driver or operator who operates a personal vehicle that utilizes any digital platform to arrange transportation of a passenger between points chosen by the passenger and that is in connection with a digital platform controlled by a TNC company.

Transportation network service means the provision of transportation by a transportation network operator to a rider, beginning when the transportation network operator accepts a ride requested through a digital platform controlled by a TNC company, continuing while the transportation network operator transports a requesting rider, and ending when the last requesting rider departs from the personal vehicle.

Use of narcotic drugs. The word "use" as employed in this chapter in relation to the drugs described in this chapter shall apply to any person who uses one or more of the narcotic drugs or barbituric acid derivatives or central nervous system stimulants as defined this section to any extent, with or without medical need or authority or prescription.

Vehicle for hire means any vehicle, whether owned by the driver or company, that is operated by a taxicab driver, transportation service driver, transportation network operator, any other motor vehicle

with driver transporting passengers for a fare, fee, or other charge in the city. The term vehicle for hire, by definition, excludes:

- (1) School, church, college or university buses;
- (2) Sightseeing cars and buses;
- (3) Ambulances;
- (4) Funeral home vehicles;
- (5) Interstate buses;
- (6) Limousines;
- (7) Shuttle buses.

Vehicle for hire administrator means the City Administrator or his/her designee.

ARTICLE II. - COMPANY PERMIT

Sec. 86-31. - Application; contents.

- (a) No taxicab company, transportation service, or TNC company shall operate or engage in the business of operating vehicles for hire or operating a TNC within the city without having first obtained a company permit from the vehicle for hire administrator or designee. An application shall be submitted on forms furnished by the vehicles for hire administrator or designee containing appropriate information which is reasonably related to the business of operating vehicles for hire.
- (b) In order to secure or renew a company permit, the company applicant shall file an application with the vehicles for hire administrator or designee, and such application shall be verified under oath and shall furnish the following information:
 - (1) The name and address of the company. If the company is a corporation or partnership, the name and address of all officers, shareholders, partners or any principals or owners with an interest greater than five percent of the company must be listed.
 - (2) The color scheme and insignia to be used to designate the vehicles of any taxicab company.
 - (3) No company permit shall be granted to a taxicab company operating less than five vehicles. The vehicles must be currently operating, licensed, and inspected as required by this chapter. Each vehicle must conform to the United States Department of Transportation (USDOT) maximum passenger standards allowed for the vehicle to operate.
 - (4) Proof of proper amount of insurance coverage as provided in section 86-93, with the insurance coverage being filed with vehicle for hire administrator and approved by the City.
 - (5) Such other information as the vehicle for hire administrator may require.
- (c) Payment of an annual company permit fee of \$250.00.

Sec. 86-32. - Maintaining a company permit.

- (a) In order to maintain a company permit to operate or engage in the business of operating vehicles for hire or operating a TNC, the company must:
 - (1) Obtain and hold a current business tax receipt from the city as required by chapter 74, if applicable.
 - (2) Maintain a telephone number that is monitored 24 hours a day for emergency contact by the vehicle for hire administrator or designee or law enforcement, and an e-mail address for citizen complaints or concerns.

- (3) Maintain the name, home address, and telephone number of each driver affiliated with the company.
- (4) Maintain a log listing the year, make, model, license plate number, and vehicle identification number (serial number) and ownership status of all vehicles in the company's fleet or that operate on a company's platform.
- (5) Maintain proper amount of insurance as provided in section 86-93.
- (6) Maintain records available for inspection, upon request by the vehicle for hire administrator or designee, pursuant to a complaint received or if the vehicle for hire administrator has a reasonable basis to suspect that a company or driver is violating the requirements of this chapter. The records shall include, but not be limited to, records pertaining to permitted/certified drivers, vehicle inspection records, daily logs, and that the maximum rate charged in compliance with section 86-95. Unless otherwise agreed to by the company and the vehicle for hire administrator, such records shall be made available for inspection to the vehicle for hire administrator at a permit holder's place of business or a mutually agreed location in the city.
- (7) Each company shall implement a zero-tolerance policy on the use of drugs or alcohol applicable to all drivers, and provide notice of the policy to all company drivers and to the public through its website, if applicable. In addition, the company shall provide notice to the public on the procedure for reporting a driver the passenger reasonably suspects was under the influence of drugs or alcohol during the course of the ride. The company shall cooperate with the vehicle for hire administrator or designee during the pendency of the investigation pursuant to subsection 86-63(b)(3).
- (8) The vehicle for hire administrator or police chief is authorized to conduct annual audits of any company authorized to operate under this chapter. The company shall provide to the vehicle for hire administrator, on request, up to 250 unique identification numbers, each of which has been assigned to an individual driver affiliated with the company. The vehicle for hire administrator may send to the company a list of up to ten driver identification numbers and request copies of records held by the company for those ten drivers. Within five business days of receiving a request seeking records, the company shall make available to the vehicle for hire administrator at a company's place of business or a mutually agreed setting in the city, records to verify that the company has properly screened drivers in accordance with section 86-61; provided, that the company may redact any records it provides access to in order to protect the privacy and identifying information of the driver.

Sec. 86-33. - Revocation or suspension of a company permit; grounds; right of appeal.

- (a) *Revocation or suspension of company permit; grounds.* Upon a finding of due cause, as defined in subsection (b) of this section, the vehicle for hire administrator or designee shall have the authority to revoke or suspend any company permit which has been granted or which may hereinafter be granted by the city. Prior to suspension or revocation, the company shall be served notice by certified mail or hand delivery of the proposed action to be taken and shall have an opportunity to present to the vehicle for hire administrator or designee evidence as to why the company permit should not be revoked or suspended.
- (b) *Causes for revocation or suspension.* Due cause for revocation or suspension of a company permit shall include but shall not be limited to the following:
 - (1) The failure of the company to maintain any of the general qualifications applicable to the initial granting of the company permit as set forth in section 86-31 or maintaining a company permit as set forth in section 86-32.
 - (2) Obtaining a company permit by providing false information.

- (3) Conviction by a court of competent jurisdiction of any shareholder, officer, partner, member, principal or owner of any corporation, partnership, firm or association holding a five percent interest or more in the entity, of any of the following: criminal homicide, rape, sexual battery, aggravated battery, burglary, aggravated assault, kidnapping, robbery, child molestation, lewd and lascivious acts, armed trespassing, carrying a concealed firearm, criminal solicitation to commit any of the above, criminal attempt to commit any of the above, or possession, sale or distribution of narcotic drugs, barbituric acid derivatives and/or central nervous system stimulants if such violation or violations are related to operation of the company, or violation of any ordinance of the city governing the conduct of a company.
- (4) Allowing any person to operate a company's designated vehicle for hire, or operate on the company's digital platform, without an active driver permit or credential, or when said person's permit or credential has been suspended or revoked because of a positive drug test pursuant to section 86-63.
- (c) *Right of appeal.* Any company whose permit is revoked or suspended by the vehicle for hire administrator or designee may appeal such decision to the City Council. Such appeal shall be taken by filing written notice thereof, in duplicate, with the city administrator's office within five days after the decision of the vehicles for hire administrator or designee. The notice of the appeal shall contain the grounds for the appeal and shall contain information that either the finding is contrary to the law or is not supported by competent substantial evidence. The vehicle for hire administrator or designee shall forthwith transmit copies of the appeal to the City Council along with all papers constituting the record upon which the action appealed from is based. The filing of a notice of appeal will not delay the effectiveness of any suspension or revocation.

ARTICLE III. - VEHICLE FOR HIRE DRIVERS

Sec. 86-60. - Prohibition against unauthorized operation.

- (a) It shall be unlawful for any person to drive or operate on behalf of a taxicab company, transportation service, or other vehicle for hire for the transportation of passengers within the city, or on a TNC's digital platform, or to cause or permit any other person to drive or operate a vehicle for hire:
 - (1) Without first obtaining a written permit for the operation of a motor vehicle for hire from the vehicle for hire administrator or designee;
 - (2) Without having been certified to operate a motor vehicle for hire on behalf of a company or on the company's digital platform; or
 - (3) When the company permit has previously been revoked pursuant to section 86-33.
- (b) Any person found to have violated this section shall be punished by the following:
 - (1) A fine \$150.00 for the first citation;
 - (2) A fine of \$250.00 for the second citation; and
 - (3) A fine of \$500.00 for the third or subsequent citation.

Sec. 86-61. - Application for driver's permit.

- (a) In order to secure a driver permit or to obtain certification from a company, an applicant must:
 - (1) Be at least 18 years of age;
 - (2) Possess a valid state driver's license;
 - (3) For a period of three years prior to the date of application not have been convicted of:
 - a. Driving under the influence of intoxicating beverages or drugs; or

- b. Violation of any ordinance or law, other than minor traffic offenses, in connection with the operation of a motor vehicle.
- (4) For a period of three years prior to the date of application not have more than three moving violations;
- (5) Not have been convicted within the seven years previous to the date of application for the violation of any of the following criminal offenses of the state or any other state or of the United States: aggravated battery, burglary, aggravated assault, kidnapping, robbery, lewd and lascivious acts, armed trespassing, carrying a concealed firearm, criminal solicitation to commit any of the above, criminal attempt to commit any of the offenses listed in this subsection, or been convicted within the last seven years of any felony in the commission of which a motor vehicle was used, perjury or false swearing in making any statement under oath in connection with application for a driver's permit, any felony involving theft, or possession, sale or distribution of narcotic drugs, barbituric acid derivative and/or central nervous system stimulants. Applicants who have been convicted or served any time, probation, or parole for a criminal offense of homicide, rape, sexual battery, or child molestation must have their complete criminal history reviewed and approved by the vehicle for hire administrator;
- (6) Be able to communicate in the English language.
- (b) An applicant may apply for a permit or credential by completing a form provided by the vehicle for hire administrator establishing that the applicant meets the requirements of subsection.
- (c) Upon approval by the vehicle for hire administrator or designee, or certification by the taxicab company, transportation service, or TNC company, the driver shall be issued:
 - (1) A permit from the vehicle for hire administrator or designee; or
 - (2) Credentials from the taxicab company, transportation service, or TNC company, which may be digital credentials, indicating that the driver was certified by the company, and the credential shall include the following information:
 - a. The name or logo of the company;
 - b. The name of the driver;
 - c. The license plate number associated with the vehicle that the driver has been authorized to use.
 - (3) The driver shall display the permit or credential in a manner that it is visible to the passengers of the vehicle while the vehicle is operating, or make available at a minimum the driver's first name, photograph, and make, model, and license plate number to the passenger through the company's digital platform. The driver shall present the permit or credential upon request to a law enforcement officer, the vehicle for hire administrator or designee, or designated airport personnel upon request. If the driver maintains a digital credential, upon a traffic stop, a driver shall provide law enforcement with access to a device containing the information required to be maintained as part of the driver's digital credential and an electronic record sufficient to establish that the trip in question was prearranged through a digital platform.
- (d) An applicant must pay an annual driver application fee of \$100.00.

Sec. 86-62. - Maintaining driver's permit.

In order to maintain a valid permit or credential to drive a taxicab, transportation service, or other vehicle for hire, a driver must:

- (1) Wear proper dress while operating a vehicle for hire.
- (2) Maintain a neat appearance.

- (3) Not smoke while carrying passengers.
- (4) Maintain a log upon which are recorded all trips made each day, showing time and place of origin and destination of each trip and amount of fare. Such logs must be maintained by the company or the vehicle owner, if not maintained by the driver, and shall be made available to the vehicle for hire administrator or designee for a compliance inquiry if the administrator has a reasonable basis to suspect that a company or driver is violating the requirements of this chapter.
- (5) Renew his driver's permit or credential during the month of the driver's permit or credential expiration date.
- (6) Wear a seatbelt at all times while operating a vehicle for hire or providing transportation network services.

Sec. 86-63. - Revocation or suspension of driver's permits; grounds; right of appeal.

- (a) *Revocation or suspension of driver's permits or credential.* Upon a finding of due cause, as defined in subsection (b) of this section, the vehicle for hire administrator or designee shall have the authority to revoke or suspend any driver's permit or credential which has been issued or which may hereinafter be issued by the city. Before a driver's permit or credential shall be denied, suspended or revoked, notice of intention thereof shall be served upon the driver either by registered mail or personal service; however, such notice shall not be necessary for a denial of an original permit or credential. However, any such applicant or driver shall be given an opportunity to be heard by the vehicle for hire administrator or designee.
- (b) *Causes for revocation or suspension.* Due cause for revocation or suspension of a driver's permit or credential shall include but shall not be limited to the following:
 - (1) The failure of the driver to maintain any and all of the general qualifications as applicable to the initial issuance of a permit as set forth in section 86-61;
 - (2) Obtaining a permit or credential by providing false information;
 - (3) Violation by a driver of any of the following offenses:
 - a. Driving under the influence of intoxicating beverages or drugs. A driver shall be required to submit to a drug and/or alcohol test at the request of the vehicle for hire administrator or designee:
 - 1. Where reasonable suspicion exists that a driver is abusing alcohol or misusing prescription drugs or controlled substances; or
 - 2. Where a driver has been involved in a crash with serious injury or serious property damage while operating a vehicle for hire or providing transportation network services. "Serious injury" is defined as a physical condition that creates a substantial risk of death, serious personal disfigurement, or protracted loss or impairment of the function of any bodily member or organ. "Serious property damage" is defined as one or more of the motor vehicles involved in the crash is "totaled", or one or more of the vehicles sustains significant disabling damage to public and/or private property which equals or exceeds an apparent damage of \$5,000.00 or more as estimated by the law enforcement officer who conducts the investigation at the scene of the traffic crash; or
 - b. Refusing or failing to submit to a drug test at the request of the vehicle for hire administrator or designee shall be due cause for revocation of the driver's permit or credential with no reapplication for one year. Failing a drug or alcohol test shall be due cause for revocation of the driver's permit or credential with no reapplication for one year.
 - c. Criminal homicide, rape, sexual battery, aggravated battery, burglary, aggravated assault, kidnapping, robbery, child molestation, lewd and lascivious acts, armed trespassing,

carrying a concealed firearm, criminal solicitation to commit any of the above, criminal attempt to commit any of the above, or possession, sale or distribution of narcotic drugs, barbituric acid derivatives and/or central nervous system stimulants, violation of any ordinance of the city governing the conduct of drivers of a vehicle for hire.

- (4) Charging a fare contrary to any fares established and approved by the city commission pursuant to section 86-95;
- (5) Violation of any ordinances or law, other than minor traffic offenses, in connection with the operation of a taxicab, transportation service, TNC company, or other vehicle for hire;
- (6) Whenever it shall appear that a driver has disorders characterized by lapses of consciousness or other mental or physical disabilities affecting his or her ability to drive safely;
- (7) Accumulating nine or more points within a six-month period as outlined in F.S. § 322.27(3)d.
- (8) Violating the requirements of section 86-96.

Sec. 86-64. - Duration of driver permit.

Each driver permit or credential issued pursuant to section 86-61 above shall be valid for one year from the date of issuance.

ARTICLE IV. - VEHICLES FOR HIRE

Sec. 86-91. - Identifying signs, monograms and insignias.

(a) *Taxicabs.*

Each taxicab shall be readily identifiable as a taxicab and shall bear on the outside of each rear or front door, in letters not less than two inches in height, the name of the person or corporation to whom the franchise is issued. Each such taxicab shall also be numbered consecutively, with such numbers being placed conspicuously on each vehicle, with such numerals being not less than four and one-half inches nor more than six inches in height.

(b) *Transportation services.*

- (1) Each vehicle operated by a transportation service shall be readily identifiable as a transportation service and shall bear on the outside of each rear or front door, in letters not less than two inches in height, the name of the person or corporation to whom the vehicle is owned or operated by.
- (2) No transportation service shall have any insignia or sign that identifies itself as a "taxi" or "cab" or otherwise gives the impression that it is a taxicab.

(c) *Transportation network application (TNC) company/transportation network operator.*

- (1) Each vehicle operated by a TNC company or transportation network operator shall bear on the outside of each rear or front door, in letters not less than two inches in height, the name of the person or corporation to whom the vehicle is owned or operated by, or any symbol or insignia approved by the vehicle for hire administrator.
- (2) No transportation network operator vehicle shall have any insignia or sign that identifies itself as a "taxi" or "cab" or otherwise gives the impression that it is a taxicab, or otherwise give the impression that the operator is available to solicit passengers other than through the digital platform.
- (3) No transportation network operator vehicle shall place any type or form of light device or other device on the roof, commonly known as a top light or top hat, whether or not permanently or temporarily affixed to the vehicle, or have within the interior of the vehicle.

Sec. 86-92. - Taximeter.

- (a) All taxicabs operated under the authority of this chapter shall be equipped with taximeters fastened in a manner so that the face thereof shall be visible and readable to passengers at all times both day and night. The face of the taximeter shall be set so that it will register and compute on a mileage basis while such taxicab is moving and on a time basis while such taxicab is standing and while the service is being rendered the fare to be charged. Such taximeter shall be operated mechanically by a mechanism of standard design and construction, driven either from the transmission or from one of the front wheels by a flexible and permanently attached driving mechanism.
- (b) No vehicle for hire other than a taxicab is authorized to install or be equipped with a taximeter.

Sec. 86-93. - Liability insurance required.

No vehicle for hire shall be placed in service unless such vehicle is in compliance with Florida law for liability insurance purposes. Proof of such insurance coverage, which may be provided on a blanket basis, shall be filed annually with and approved by the vehicle for hire administrator or designee for the carriage of passengers.

Sec. 86-94. - Seat belts required.

All vehicles for hire covered by this chapter shall be equipped with operational seat belts for each passenger.

Sec. 86-95. - Authority of city commission to establish rates and charges; displaying rate cards.

- (a) Taxicabs.
 - (1) The city commission may by ordinance establish maximum rates and charges for the transportation of persons and their baggage within the corporate limits of the city and suburban territory adjacent thereto. Any ordinance establishing rates as provided by this section shall become effective 24 hours after its adoption.
 - (2) Every taxicab operating under this chapter shall have posted in a conspicuous place therein a schedule of rates for the transportation of person within the corporate limits of the city, and no charges shall be made in excess of the rates so posted.
 - (3) There is hereby established a schedule of the maximum rates which can be charged by all taxicab drivers operating taxicabs within the city. A taximeter may be set so that it will register and compute on a mileage or other basis at less than the maximum rates set forth in this section.
- (b) Transportation service.
 - (1) All fares as agreed to between any transportation service operator and any passenger must be agreed upon prior to leaving the point of origin. No transportation service operator may increase the agreed upon fare after leaving the point of origin.
 - (2) No transportation service shall be authorized to charge for wait time, or to charge any other rates or fees except for mileage.
 - (3) Every transportation service vehicle shall have cards displayed visibly from the outside of the vehicle on the passenger side and on the inside of the right rear window at the eye level of a seated passenger that state the following: "RATE OF TRANSPORT IS BY FLAT FEE ONLY".
- (c) Transportation network application (TNC) company or transportation network operator.
 - (1) All TNC companies shall disclose the fare calculation method, the applicable rates being charged, and the option for an estimated fare to a passenger before the passenger arranges or books a trip with the transportation network application company or transportation network operator.

- (2) Upon completion of the trip, a TNC company shall transmit an electronic receipt to the passenger's e-mail or mobile application that lists the: origin and destination of the trip; the total time and distance of the trip; and a breakdown of the total fare paid, if any.

Sec. 86-96. - Miscellaneous regulations and other penalties.

- (a) It shall be unlawful for any driver or operator of a vehicle for hire to drive or operate or be on duty or on call for the operation of a vehicle for hire for more than 12 hours within any 24-hour period.
- (b) A driver shall take the most direct route to a passenger's destination unless otherwise authorized or directed by the passenger.
- (c) No driver shall refuse to accept a passenger unless the passenger is obviously disorderly, dangerous, or otherwise a threat to the safety or welfare of the driver.
- (d) It shall be unlawful for the driver operating in the city to permit any person to accompany or use such vehicle for hire for the purpose of prostitution, or to direct, take or transport any other person with knowledge or reasonable cause to believe that the purpose of such directing, taking or transporting is for the purpose of prostitution.
- (e) No vehicle for hire shall be permitted to carry nonpaying passengers while transporting a paying passenger or passengers except for the purpose of driver training.
- (f) No vehicle for hire shall solicit or carry a paying passenger while in the process of carrying another paying passenger except when requested to do so by the latter passenger.
- (g) Transportation network operators shall exclusively accept passengers booked through a transportation network company's digital platform, and shall not solicit or accept street-hails.
- (h) No TNC company may provide personal information about a passenger to a transportation network operator, including a passenger's full name, e-mail address, or telephone number.

Sec. 86-97. - Enforcement.

The city police department and the vehicles for hire administrator shall be authorized to enforce the regulations contained in this chapter, including the promulgation of rules consistent with this chapter and the setting of fees.

SECTION 2. CODIFICATION. It is the intention of the City Council that the provisions of this ordinance shall become and be made a part of the Code of Ordinances of the City of Apopka; and the City Clerk is directed to take the necessary steps to effect codification into the Code, and Sections of this ordinance may be numbered or renumbered or lettered or re-lettered and the word "ordinance" may be changed to "chapter", "section", "article", or such other appropriate word or phrase in order to accomplish such codification. Typographical errors which do not affect the intent may be authorized by the Mayor, without need of public hearing, by filing a corrected or re-codified copy of same with the City Clerk.

SECTION 3. CONFLICTS. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 4. SEVERABILITY. If any section, subsection, sentence, clause, phrase of this ordinance, or the particular application thereof shall be held invalid by any court, administrative agency, or other body with appropriate jurisdiction, the remaining section, subsection, sentences, clauses, or phrases under application shall not be affected thereby.

SECTION 5. EFFECTIVE DATE. That this ordinance and the rules, regulations, provisions, requirements, orders and matters established and adopted hereby shall take effect and be in full force and effect immediately upon its passage and adoption.

READ FIRST TIME: September 7, 2016

READ SECOND TIME
AND ADOPTED: September 21, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda G. Goff, City Clerk

APPROVED as to form and legality for use and reliance by the City of Apopka, Florida.

Clifford B. Shepard, City Attorney

DULY ADVERTISED FOR PUBLIC HEARING: August 19, 2016
September 9, 2016

EXHIBIT "A"

~~Sec. 86-39. Liability insurance.~~

- ~~(a) It shall be unlawful for the owner, operator, driver or chauffeur of any taxicab to drive or operate the taxicab or to permit the taxicab to be driven or operated upon the public streets, unless such owner, operator, driver or chauffeur shall have first procured and filed with the city clerk a liability insurance policy issued by a good and responsible surety company, which insurance company or surety company must have authority to do business as such in the state and must be acceptable to and approved by the city council. The amount of liability insurance or surety bond for each taxicab shall be the minimum required by the state for liability insurance, or, if liability insurance is not required by state law, the minimum financial responsibility requirements of the Financial Responsibility Law, F.S. ch. 324.~~
- ~~(b) Such policy of insurance or surety bond may be in the form of a separate policy or separate surety bond for each taxicab, or may be in the form of a fleet policy covering all taxicabs operated by such owner, operator, driver or chauffeur, in which latter event such policy of insurance or surety bond shall provide the same liability for each taxicab operated in service as specified in subsection (a) of this section. Every taxicab hired in service shall have conspicuously displayed therein or thereon some sign evidencing the fact that the provisions of this section have been complied with, with the form thereof to be prescribed by the chief of police.~~
- ~~(c) No policy of insurance or surety bond as provided for in this section shall be cancelled until the expiration of five days after notice of intended cancellation thereof has been given in writing to the city clerk by registered mail or personal delivery of such notice, and a provision therefor shall be embodied in the policy or surety bond.~~

~~Sec. 86-40. Use of streets for transacting business.~~

~~Except as provided in this article, no taxicab shall occupy space on the streets for the transaction of business other than the picking up of passengers. All places of business of taxicabs shall be maintained off the streets.~~

~~Sec. 86-41. Use of improper vehicles.~~

~~It shall be unlawful for any person to operate or drive, as a taxicab, in or upon any street, any motor-driven vehicle, unless the vehicle is a taxicab as defined in this article.~~

~~Sec. 86-42. Name of owner or operator to be displayed on vehicle.~~

~~It shall be unlawful for any taxicab to be driven upon the streets unless the name of the person either owning or operating such taxicab, or the trade name under which such taxicab is operated, is conspicuously painted on such taxicab in letters not less than two inches in height.~~

~~Sec. 86-43. Meters.~~

- ~~(a) All taxicabs shall be equipped with mechanical devices, commonly called taxicab meters, for registering the fare to be charged.~~

- ~~(b) Every meter in use shall be placed in such taxicabs at a location that will be plainly visible at all times to the occupants of such taxicabs. Between the hours of sunset and sunrise, the dial of the meter shall be illuminated whenever it is in use.~~
- ~~(c) Whenever a taxicab is not in service, the meter shall show no fare and the flag shall be in the upright position. When a taxicab is in service, the flag or indicator on the meter shall be lowered and the meter shall be in the calculating position.~~
- ~~(d) Upon the completion of service by a taxicab, the flag or indicator on the meter shall be raised and the meter shall be returned to the noncalculating position and its dials cleared.~~
- ~~(e) It shall be unlawful for the operator or driver of any taxicab to operate the taxicab on the streets of the city with any occupant in such taxicab other than the driver when the flag or indicator on the taxicab meter is upright and in the noncalculating position, except when operating on an hourly or trip rate.~~
- ~~(f) When the hourly rate or the special trip rate is used, an appropriate sign indicating that the cab is on a trip or hourly rate shall be exhibited.~~
- ~~(g) It shall be the duty of the person owning and operating taxicabs to have the meter in good working condition and operating accurately as to the registration of mileage and fare. Such meters shall be sealed in a manner that will prevent any person from tampering with or changing the adjustment of the meter. It shall be unlawful for any person to tamper with or change the adjustment of a meter, except the owner operating the taxicab to which such meter is affixed, or a person duly designated by the owner, or a meter mechanic.~~
- ~~(h) It shall be unlawful for any person owning and operating taxicabs with meters affixed thereto to permit the taxicabs to be operated on the streets of the city when such meters do not accurately register the mileage and the rate as set forth by the ordinances of the city. All meters shall be subject to inspection and test by any police officer at all times when cabs are not carrying passengers.~~

~~Sec. 86-44. Rates and charges.~~

- ~~(a) *Posting.* Each taxicab shall have posted in a conspicuous place therein a schedule of rates for the transportation of persons within the corporate limits of the city, and no charges shall be made in excess of the rates so posted.~~
- ~~(b) *Determination.* All rate charges or fees for the use of taxicabs using meters shall be determined by a meter rate, hourly rate or special trip rate and by no other method. All charges are for the exclusive use of the taxicab, and shall apply regardless of the number of passengers transported.~~

~~Sec. 86-45. Fare receipts; right to demand payment of fare in advance.~~

~~If demanded by the passenger, the driver in charge of a taxicab shall deliver to the person paying for the hiring of the taxicab, at the time of such payment, a receipt therefor in legible writing, containing the name of the owner and the city license or permit number, showing upon such receipt all items for which a charge is made, the total amount paid and the date of payment. Every driver of any such taxicab shall have the right to demand payment of the legal fare in advance, and may refuse employment unless so prepaid.~~

~~Sec. 86-46. Soliciting passengers near intersection.~~

~~It shall be unlawful for any person owning or operating one or more vehicles for hire in the city to operate such motor vehicles over and upon the streets of the city for the purpose of soliciting patronage, picking up passengers or delivering passengers at any point within 100 feet of any intersecting street corner along such street. It is the purpose and intent of this section to prohibit such practice within 100 feet in all directions from such intersections. Such distance in all cases shall be measured from the center of the intersection. Nothing in this subsection shall be construed as prohibiting the driver of any taxicab or vehicle operated for hire from responding to any specific request for passage from any person seeking the services offered by such taxi or motor vehicle or from stopping at any point within the city for the purpose of delivering a passenger who has been picked up at any part of the city in a manner not prohibited by law. This section shall not apply to any buses or motor vehicles owned or operated by any bus or transit company under an exclusive franchise from the city.~~

~~Sec. 86 47. — Soliciting passengers by preceding or following scheduled bus.~~

~~It shall be unlawful for any person operating motor vehicles for hire in the city to operate such motor vehicle over and upon the streets of the city for the purpose of soliciting the patronage of passengers by immediately preceding or following any duly scheduled bus or motor vehicle operated for such purpose by any bus or transit company under an exclusive franchise from the city along the streets of the city. Nothing contained in this section shall be construed as prohibiting the driver of any duly licensed taxi from responding to any specific request for passage from any patron seeking the services offered by such duly licensed taxi.~~

~~Sec. 86 48. — Smoking by driver.~~

~~It shall be unlawful for any driver, operator or chauffeur of any taxicab to smoke while the taxicab is occupied by a passenger.~~

~~Sec. 86 49. — Use for immoral purposes.~~

~~It shall be unlawful for the driver of a taxicab to permit any person to accompany or use such taxicab for the purpose of prostitution, lewdness or assignation, or to direct, take or transport, or to offer or agree to direct, take or transport, any other person, with knowledge or reasonable cause to believe that the purpose of such directing, taking or transporting is for the purpose of prostitution, lewdness or assignation.~~

~~Sec. 86 50. — Display of political advertisements.~~

~~It shall be unlawful for any person licensed by the city to operate or drive a taxicab upon any street within the city with a political ad displayed for anyone seeking public office at any time.~~

~~DIVISION 2. — BUSINESS PERMIT~~

~~Sec. 86 66. — Required.~~

~~It shall be unlawful to operate or cause to be operated any taxicab business unless a permit for the operation thereof shall have been first issued by the city council in the manner provided in this division.~~

~~Sec. 86 67. — Application and investigation.~~

~~(a) An application for the permit required by this division shall be made in writing to the city council. Such application shall set forth the name, residence address, and address of place of business of the applicant and the kind, make and model of the vehicle to be used in the business. If the applicant is~~

~~a copartnership, the application shall give the names and residence addresses of the copartners. If the application is a corporation, the application shall set forth the name of the corporation and the residence address of its officers and board of directors. The application shall set forth the trade name, if any, under which the applicant does or proposes to do business.~~

~~(b) Upon the filing of an application, the city clerk shall make an investigation, including any hearing deemed necessary, as to each application for a permit for the operation of taxicabs. In determining whether a permit shall be issued, the city council shall investigate the fitness of the applicant to engage in the business of operating taxicabs and the fitness of the equipment to be used, and shall also consider and determine whether the demands of public convenience, necessity and safety justify the issuance of such permit.~~

~~Sec. 86-68. — Issuance or denial.~~

~~If the city council finds favorably to the applicant and decides to grant a permit for the operation of taxicabs, a permit as provided in this division shall be issued to the applicant. If the city council finds against the applicant and decides that the public convenience, necessity and safety do not justify the issuance of such permit or that the applicant is not fit to conduct the taxicab business or the equipment is not fit for such business, then no permit shall be issued, and notice of the action of the city council shall be given to the applicant, setting forth the reason for the refusal of such permit.~~

~~Sec. 86-69. — Occupational license required.~~

~~Prior to the issuance of a permit for the operation of taxicabs, the applicant shall obtain an occupational license.~~

~~Sec. 86-70. — Transfer.~~

~~A permit for the operation of taxicabs shall not be transferable, except upon application to and consent of the city council.~~

~~Sec. 86-71. — Suspension or revocation.~~

~~Whenever any person engaged in the taxicab business is found to be in violation of the provisions of this article or the traffic ordinances of the city or of any of the laws of the state, the city council may, upon complaint or upon its own motion, issue an order to such person to appear at a fixed time and place for investigation. If the city council is satisfied, after such hearing, that such person is guilty of the violations charged, it may, in its discretion, suspend for a fixed period or revoke entirely the permit issued to such person.~~

~~DIVISION 3. — DRIVER'S PERMIT~~

~~Sec. 86-91. — Required.~~

~~No person shall operate or drive a taxicab upon any street unless he has obtained a permit pursuant to the provisions of this division.~~

~~Sec. 86-92. — Application and investigation.~~

~~Any person having resided continuously in the state for not less than six months immediately preceding the making of application for a permit to operate a taxicab and being 18 years of age or over may make application to the city clerk for a permit to operate a taxicab. A verbal or written examination,~~

ORDINANCE NO. 2511

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~~or both, may be given by the chief of police to each applicant to determine knowledge of city streets, locations and environs.~~

~~Sec. 86-93.— Issuance; contents.~~

~~It shall be the duty of the chief of police, if the applicant for a permit under this division is knowledgeable of the provisions of this article and of the traffic ordinance of the city, and the applicant pays the required fee and otherwise complies with this division for the initial year, to issue such person a written permit, which permit shall be signed by the city clerk and sealed with the corporate seal of the city, and shall bear the name, address, sex, age, signature, photograph and fingerprints of the applicant. The chief of police shall procure the fingerprints and a photograph of the applicant and shall keep the fingerprints and photograph on permanent file in his office. The fingerprints and photograph shall be voluntarily furnished by the applicant at the time of filing his application.~~

~~Sec. 86-94.— State commercial license required.~~

~~No person shall be issued a taxicab driver's permit unless he holds a commercial license issued by the state.~~

~~Sec. 86-95.— Alteration or destruction prohibited.~~

~~It shall be unlawful for any person holding a taxicab driver's permit to wilfully alter, deface, obliterate or destroy the permit, or to cause the permit to be defaced, obliterated or destroyed.~~

~~Sec. 86-96.— Display.~~

~~Every driver or operator of any taxicab operated shall have his driver's permit displayed in such taxicab in a conspicuous place so as to be easily observed by any person occupying such taxicab.~~

~~Sec. 86-97.— Suspension or revocation.~~

~~Whenever any operator or driver of a taxicab is found to be violating the provisions of this article, or the traffic ordinances of the city, or any of the laws of the state, the city council may, upon complaint or upon its own motion, issue an order to such operator or driver to appear at a fixed time and place for investigation. If the city council shall be satisfied after such hearing of the violation as charged, it may, in its discretion, suspend for a fixed period, or revoke entirely, the driver's permit issued.~~

~~Sec. 86-98.— Appeals.~~

~~Any person whose taxicab driver's permit is refused, suspended or revoked by the chief of police may appeal, by filing notice thereof with the city clerk within 30 days from the time of such refusal, revocation or suspension. Such appeal as filed shall not act as a supersedeas until such time as the city council shall take final action on such appeal.~~



CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Ordinance

MEETING OF: September 21, 2016
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Adjacent Zoning/Use Maps
Amended Master Plan/PDP
Amended Building Elevations
Current Approved Master Plan/PDP
Ordinance 2355\Approved PUD
Ordinance 2518

SUBJECT: AMENDMENT TO DUNN/DIXIE MANOR PUD MASTER PLAN/
PRELIMINARY DEVELOPMENT PLAN

REQUEST: FIRST READING OF ORDINANCE NO. 2518 – AMENDING THE
DUNN/DIXIE MANOR PUD MASTER PLAN/PRELIMINARY
DEVELOPMENT PLAN

SUMMARY:

OWNER\APPLICANT: Robert K. Dunn, et al

ENGINEER: Haskell Company

LOCATION: North of Old Dixie Highway, east of Richard L. Mark Drive, and south of Errol Parkway

EXISTING USE: Vacant Land

CURRENT ZONING: PUD

PROPOSED DEVELOPMENT: Assisted Living Facility (ALF) with maximum 125-bed facility within a two and one story building with a maximum floor area ratio of .030

PROPOSED AMENDMENT: Increase maximum floor area ratio from 0.25 to 0.30.

TRACT SIZE: 6.99 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT: Current: 76,121
Proposed: 91,345

FUNDING SOURCE:

N/A

DISTRIBUTION

Mayor Kilsheimer
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police

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Public Services Director
Recreation Director
City Clerk
Fire Chief

ADDITIONAL COMMENTS: On April 14, 2014 through Ordinance 2355, City Council adopted a Planned Unit Development zoning and a Master Plan\ Preliminary Development Plan for the Robert K. Dunn et.al. property. The PUD master plan establishes a maximum floor area ratio of 0.25, which allows for building (s) with a maximum floor area of 76,121 square feet, for a proposed Assisted Living Facility (ALF) with up to 125 beds. A proposed ALF is similar to uses allowed with the Professional Office\ Institutional zoning district, which allows a maximum floor area ratio of 0.30 for buildings. The original building proposed for the applicant was only 76,000 sq. ft., which represents a floor area ratio of 0.25 for this property. Thus, the applicant requested a 0.25 FAR instead of a 0.30 floor area ratio allowed by the Professional Office\ Institutional zoning district. The building proposed by the applicant, as presented in architectural renderings and within the proposed Master Plan, contains approximately 87,000 sq. ft. floor area. Although the proposed building has more floor area than the previously approved Master Plan, the maximum number of beds – 125 beds – does not change. All the other development standards approved within the current PUD zoning and Master Plan\ Preliminary Development Plan remain the same.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: Planning staff finds the proposed amendment to the Planned Unit Development to be consistent with the Comprehensive Plan and Land Development Code.

SCHOOL CAPACITY REPORT: The amendment to the Planned Unit Development will not impact capacity at affected public schools. If the property owner proposes residential development, then school capacity review will be required as part of the PUD amendment application.

ORANGE COUNTY NOTIFICATION: The property is surrounded by properties that are within the City limits of Apopka; therefore the notice requirements in the JPA do not apply.

PUBLIC HEARING SCHEDULE:
September 13, 2016 – Planning Commission (5:01 pm)
September 21, 2016 – City Council (7:00 pm) - 1st Reading
October 5, 2016 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:
August 26, 2016 – Public Notice and Notification
September 23, 2016 – Ordinance Heading Ad

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment to the Dunn\ Dixie Manor PUD zoning and Master Plan\ Preliminary Development Plan to be consistent with the Comprehensive Plan and Land Development Code recommends approval of the amendment to the Planned Unit Development zoning and Master Plan\ Preliminary Development Plan.

The **Planning Commission**, at its meeting on September 13, 2016, unanimously found the proposed amendment to the Dunn\ Dixie Manor PUD zoning and Master Plan\ Preliminary Development Plan to be consistent with the Comprehensive Plan and Land Development Code; and recommended approval of the amendment to the Planned Unit Development zoning and Master Plan\ Preliminary Development Plan.

Accept the First Reading of Ordinance No. 2518 and Hold it Over for Second Reading and Adoption on October 5, 2016; and approve the amendment to the Dunn/ Dixie Manor PUD Master Plan.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3
East (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3
South (City)	Commercial	C-1	Lowes Home Retail Center
West (City)	Parks/Recreation\Residential Low (0-5 du/ac)	PR/PUD	Vacant wooded parcel; Villa Capri
North (City)	Residential Low (0-5 du/ac)	PUD	Parkside at Errol, Ph. 3

LAND USE & TRAFFIC COMPATIBILITY:

- South: Old Dixie Highway, a two-lane collector road, lies to the south of the subject property and the Lowes Home Retail Center. The land south of Old Dixie Highway is assigned a Commercial future land use designation and a zoning category of C-1.
- West: Across Richard L. Mark Drive is a 1.4 acre heavily wooded parcel covered by oak trees. This parcel is owned by the City of Apopka and assigned a Park\Recreation future land use and zoning category that serves as open space. At the northwest corner of the subject property is the Villa Capri residential community. Villa Capri is assigned PUD zoning as part of the Errol Estate community. The typical lot is 51 feet wide with a typical area of about 5,700 sq. ft. Along the east side of Villa Capri is a ten-foot wide five to six foot high masonry wall. The right-of-way for Richard L. Marks Drive is 100 foot wide with landscaping and mature oak trees bordering the road. There is a twenty (20) foot wide landscaped median that contains mature oak trees.
- North: To the north of the subject property, a 1.76 acre retention pond separates the subject property from most of the residential homes to the north within the Parkside at Errol Phase 3 residential subdivision. With the exception of one single family lot at the subject property’s northwest corner and one single family lot at the northeast corner. Residential lots to the north range from 300 feet to zero feet from the subject property. Lots typically are 80 to 85 feet wide with a typical lot size ranging from 9,200 sq. ft. to 11,050 sq. ft.
- East: There is a ten foot wide landscape buffer that runs along the eastern parcel line of the subject property that is adjacent to residential lots within another section of Parkside at Errol Phase 3. Single family lots adjacent to the eastern side of the subject property have typical lots with a 75 foot minimum width and a lot size ranging from 9,200 sq. ft. to 11,000 sq. ft.
- Summary: The property owner requests assignment of a zoning category that is consistent with the proposed Residential Medium Future Land Use Designation. Planning staff finds the zoning category to be consistent a Residential Low-Medium Future Land Use Designation subject to the PUD master site plan/preliminary development plan and the recommended PUD development standards.

**COMPREHENSIVE
PLAN COMPLIANCE:**

The proposed Planned Unit Development (PUD/R-3) zoning is not consistent with the City’s Residential Medium (0-10 du/ac) Future Land Use designation. However, Planning staff finds the proposed zoning to be compatible with a Low-Medium (0-7.5 du/ac) Future Land Use designation. Development Plans shall not exceed the intensity or density allowed for the adopted Future Land Use Designation.

**PUD
RECOMMENDATIONS:**

The PUD recommendation is to assign a zoning classification of Planned Unit Development (PUD) for the described subject property with the following Master Plan provisions is subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be:
 - 1. A maximum of one-hundred twenty-five Assisted Living Facility (ALF) beds or 38 permanent residential. For any Assisted Living Facility, such use shall meet the State of Florida definition for an Assisted Living Facility, at least eight (80) percent of the beds shall be occupied by those age 55 of over, and the ALF shall follow a policy that demonstrates an intent to provide residential care for those aged 55 or older. A nursing home, group home facility, foster home, drug or alcohol detox center or rehabilitation center or similar emergency shelter are not permissible uses under this PUD zoning ordinance unless as otherwise superseded by Florida Statutes.
 - 2. Any building other than single family residential shall be setback a minimum of one hundred (100) feet from the northern and eastern property line, units and fifty (50) feet from the western property line.
 - 3. Outdoor storage shall not be allowed.
 - 4. No recreation or similar outdoor activities (walking path, gathering places etc.) shall occur within twenty (20) feet of the property line excepting any public sidewalk along Old Dixie Highway.
 - 5. No outdoor activities shall occur after 9:00 PM or before 7:00 AM. Delivery services for shall be limited to similar hours.
 - 6. Regular visitor hours shall be limited to no earlier than 7:00 AM and not later than 11:00 PM except for emergency purposes.
 - 7. Any use or activity allowed within the R-3 residential zoning category exception as otherwise noted herein. Duplex residential units shall not be allowed.
- B. Development Standards:
 - 1. Development standards and setbacks shall comply with those established for the R-3 zoning category unless otherwise approved herein or within the Master Site Plan.

2. Maximum number of stories: two (2)
 3. A thirty (30) foot landscape buffer shall occur along the northern and eastern property lines, and a fifteen (15) foot landscape buffer along the western property line.
 4. Monument sign (identification sign) shall be limited to no more than 24 square feet and no electronic reader board will be allowed. The monument sign may be placed within the front yard along Old Dixie Highway near the site driveway entrance. No signage shall be allowed along Richard L. Mark Drive. No wall sign or other signage will be allowed except for on-site directional signage, unless otherwise allowed by the City's sign codes for special event or grand opening.
 5. No outdoor illumination shall spillover into residential areas.
 6. All trees and landscaping within the perimeter buffers shall be allowed to grow and will be maintained to a height to screen the ALF building from adjacent residential areas.
 7. Architectural design of the building shall be generally consistent with that approved with the PUD ordinance unless otherwise approved by the City Council.
 8. Changes to the Master Site Plan\ Preliminary Development Plan or architectural design considered to be insignificant may be approved by the Community Development Director.
 9. Employee parking shall occur at the southwest parking area and visitor parking directed to the southeast parking area. On-site direction signage shall be posted to direct visitor parking as such.
 10. Driveway access to Richard L. Mark Drive will not be allowed.
- C. The Master Plan Site\ Preliminary Development Plan is hereby approved and is part of the PUD zoning ordinance.
- D. The R-3 zoning standards shall apply to the development of the subject property unless as otherwise addressed within the PUD ordinance.

**COMPREHENSIVE
PLAN COMPLIANCE:**

The proposed City PUD zoning is not consistent with the City's Residential Medium (0-10 du/ac) Future Land Use designation. However, DRC finds that the proposed PUD zoning is consistent with the residential Low-Medium (0-7.5 un/ac) Future Land Use designation. Development Plans shall not exceed the density and intensity allowed in the adopted Future Land Use Designation.

Robert K. Dunn et al

6.99 +/- Acres

Existing Maximum Allowable Development: .25 FAR

Proposed Maximum Allowable Development: .30 FAR

Request: Amendment to an Existing PUD Master Plan

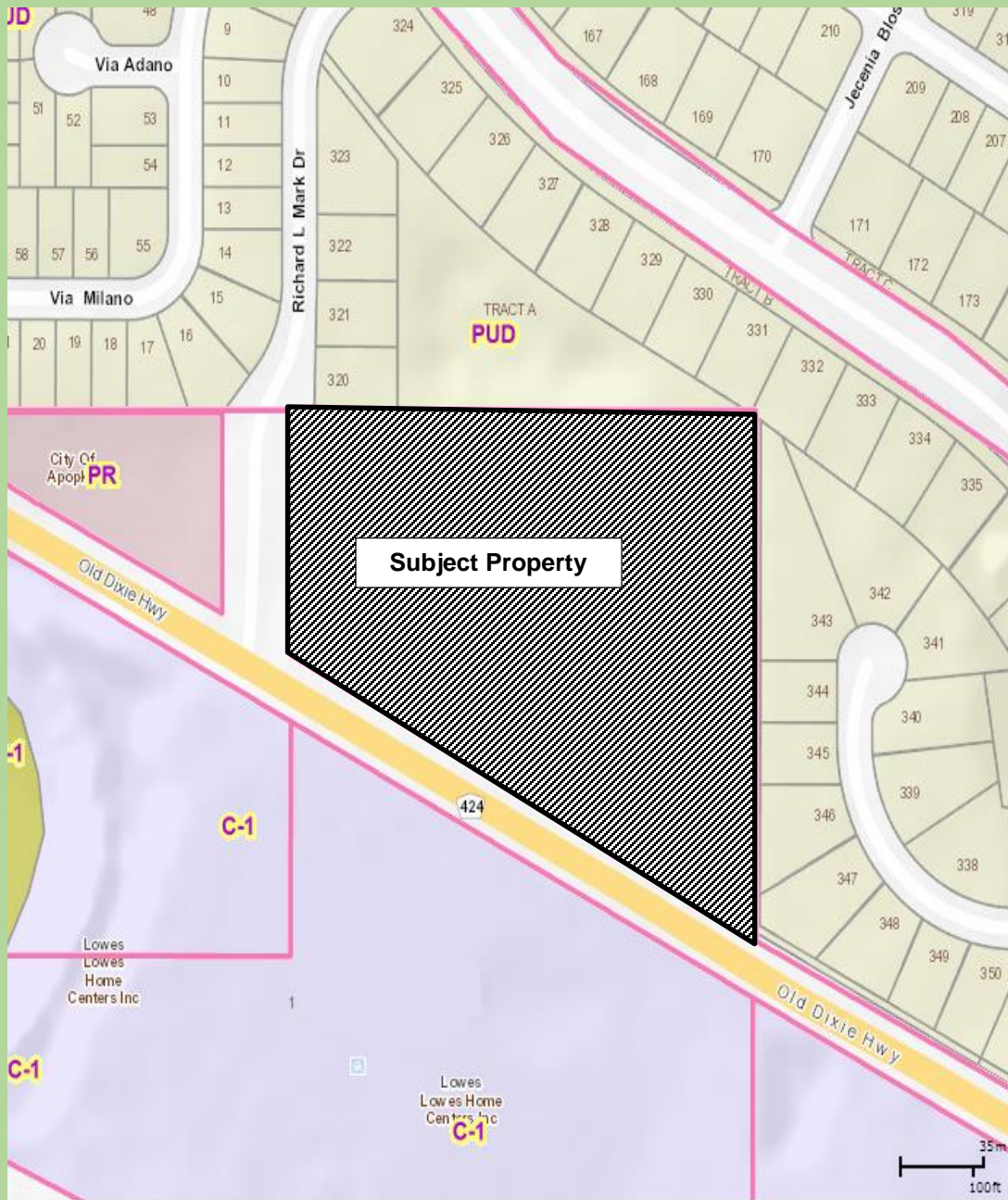
Parcel ID #s: 05-21-28-0000-00-019, 05-21-28-0000-00-034,
05-21-28-0000-00-035, 05-21-28-0000-00-041



VICINITY MAP



ADJACENT ZONING



ADJACENT USES



ORDINANCE NO. 2518

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING ORDINANCE NUMBER 2355, CHANGING MAXIMUM FLOOR AREA RATIO FROM 0.25 TO 0.30 AND AMENDING THE APPROVED MASTER PLAN\PRELIMINARY DEVELOPMENT PLAN FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF OLD DIXIE HIGHWAY, EAST OF RICHARD L. MARK DRIVE, AND SOUTH OF ERROL PARKWAY, COMPRISING 6.99 ACRES MORE OR LESS, AND OWNED BY ROBERT K. DUNN ET. AL.; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the property owner has requested to amend Ordinance No. 2355, adopted on April 2, 2014, to amend the maximum floor area ratio from 0.25 to .030 and to amend the Master Plan.

WHEREAS, the proposed amendment to Ordinance No. 2355 has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

SECTION I. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code with the following Master Plan zoning and development standards provisions and, and amendments to Ordinance No. 2355 denoted with an underscore:

- A. The uses permitted within the PUD district shall be:
1. A maximum of one-hundred twenty-five (125) Assisted Living Facility (ALF) beds or a maximum of fifty-one (51) permanent residential units. For any Assisted Living Facility, such use shall meet the State of Florida definition for an Assisted Living Facility, at least eighty (80) percent of the beds shall be occupied by those age 55 of over, and the ALF shall follow a policy that demonstrates an intent to provide residential care for those aged 55 or older. A nursing home, group home facility, foster home, drug or alcohol detox center or rehabilitation center or similar emergency shelter are not permissible uses under this PUD zoning ordinance unless as otherwise superseded by Florida Statutes.
 2. Any use or activity allowed within the R-3 residential zoning category exception as otherwise noted herein the PUD ordinance. Duplex residential units shall not be allowed.
 3. Any building other than single family residential shall be setback a minimum of one hundred (100) feet from the northern and eastern property line, and at minimum of fifty (50) feet from the western property line.
 4. Outdoor storage shall not be allowed (including donation bins).

ORDINANCE NO. 2518

PAGE 2

5. No recreation or similar outdoor activities (walking path, gathering places etc.) shall occur within twenty (20) feet of the property line excepting any public sidewalk along Old Dixie Highway.
6. No outdoor activities shall occur after 9:00 PM or before 7:00 AM. Delivery services for shall be limited to similar hours.
7. Regular visitor hours shall be limited to no earlier than 7:00 AM and not later than 11:00 PM except for emergency purposes.
8. Consistent with Section 2.02.02B.5.e. (3)(b), Apopka Land Development Code, no ALF shall be occupied by any person who has been convicted of, entered a plea of guilty or nolo contendere to, or has been found guilty by reason of insanity of a forcible felony under Florida Statutes, a felony of the second degree under Florida Statutes, or any of the sex offenses set forth under Florida Statutes, regardless of whether an adjudication of guilt imposition of sentence was suspended, deferred or withheld.

B. Development Standards:

1. Development standards and setbacks shall comply with those established for the R-3 zoning category, as set forth under Section 2.02.07 of the Land Development Code, unless otherwise approved herein or within the Master Site Plan, or unless the City Council finds, based on substantial competent evidence, a proposed alternative development guideline is adequate to protect the public health safety and welfare, development within the PUD district.
2. Maximum number of stories: two (2).
3. A thirty (30) foot landscape buffer with a six foot high masonry wall shall occur along the northern and eastern property lines, and a fifteen (15) foot landscape buffer along the western property line. Location of the wall and landscaping shall be setback from the northwest property line to accommodate sufficient line-of-sight along Richard L. Mark Drive and to place open space next to the abutting residential lot.
4. If the site is developed as an ALF, monument sign (identification sign) shall be limited to no more than twenty-four (24) square feet, and no electronic reader board will be allowed. The monument sign may be placed within the front yard along Old Dixie Highway near the site driveway entrance. No signage shall be allowed along Richard L. Mark Drive. No wall sign or other signage will be allowed except for on-site directional signage, unless otherwise allowed by the City's sign codes for special event or grand opening.
5. No outdoor illumination shall spillover into abutting residential areas.
6. All trees and landscaping within the perimeter buffers shall be allowed to grow and will be maintained to a height to screen the ALF building from adjacent residential areas.
7. Architectural design of the building shall be generally consistent with that approved with the PUD ordinance unless otherwise approved by the City Council.
8. Changes to the Master Site Plan\ Preliminary Development Plan or architectural design considered to be insignificant may be approved by the Community Development Director or as approved by the 176 through the Final Development Plan.

9. Employee parking shall be directed to the southwest parking area and visitor parking directed to the southeast parking area. On-site direction signage shall be posted to direct visitor parking as such.
 10. Driveway access to Richard L. Mark Drive shall not be allowed unless needed for emergency access.
 11. Maximum floor area ratio is 0.30 FAR.
- C. The Master Site Plan\ Preliminary Development Plan, Exhibit "A", is hereby approved and is part of the PUD zoning ordinance. Any requisite development standards not addressed within the Master Site Plan\ Preliminary Development Plan shall be addressed within the Final Development Plan.
- D. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after the effective date of this ordinance, the approval of the Master Plan provisions will expire. At such time, the City Council may:
1. Permit a single six-month extension for submittal of the required Final Development Plan;
 2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
 3. Rezone the property to a more appropriate zoning classification.

Section II. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD/R-3) As defined in the Apopka Land Development Code.

Legal Description:

The East 100 Feet of the North ½ of the West ½ of the Southwest ¼, lying north of Old Brick Road, in Section 5, Township 21 South, Range 28 East, Orange County, Florida

Parcel I.D. # 05-21-28-0000-00-019

1.38 +/- acres

The North ½ of the East ½ of the West ½ of the Southwest ¼ of Section 5, Township 21 South, Range 28 East, lying north of Road, LESS the North 100.00 feet thereof, and also LESS the East 106.00 feet thereof, Orange County, Florida.

Parcel I.D. # 05-21-28-0000-00-034

4.23 +/- acres

The West 6 feet of the East 106 feet of the Northeast ¼ of the Northwest ¼ of the Southwest ¼ lying north of Old Brick Road in Section 5, Township 21 South, Range 28 East, Orange County, Florida.

Parcel I.D. # 05-21-28-0000-00-035

0.80 +/- acre

South 21.69 feet of the North 100.00 feet of the North ½ of the East ½ of the West ½ of the Southwest ¼ of Section 5, Township 21 South, Range 28 East, LESS the East 106.00 feet thereof, Orange County, F

ORDINANCE NO. 2518

PAGE 4

Parcel I.D. # 05-21-28-0000-00-041
1.27 +/- acres

Total Combined Acreage: 6.99 +/- Acres

Section III. That the amendment to Ordinance No. 2355 is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section IV. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

Section V. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section VI. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VII. That this Ordinance shall take effect upon adoption.

READ FIRST TIME: September 21, 2016

READ SECOND TIME
AND ADOPTED: October 5, 2016

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

APPROVED AS TO FORM:

Cliff Shepard, City Attorney

DULY ADVERTISED FOR TRANSMITTAL HEARING: August 26, 2016
September 23, 2016

L:\VHP\Projects\42000 Canterwood Manor Assisted Living\201 Design\20 AutoCAD\1\THCC2436_MJM_APOPKA-1000.dwg Aug 26, 2016 10:02 AM C:\Users\jwhill\AppData\Local\Temp\1\2016-08-26 10:02 AM AutoCAD\1\THCC2436_MJM_APOPKA-1000.dwg

CIVIL ENGINEERING LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY/RIGHT-OF-WAY LINE
		CENTERLINE
		SECTION/TOWNSHIP/RANGE LINE
		FENCE
		EROSION CONTROL FENCE
		RETAINING WALL
		BUILDING
		PAVEMENT/SCENAL/CURB LINE
25.50	25.50	SPOT ELEVATIONS
25	25	CONTOURS
SA	SA	SANITARY SEWER CLEAN OUT
ST	ST	STORM SEWER
W	W	DOMESTIC WATER
F	F	FIRE MAIN
G	G	GAS MAIN
FM	FM	FORCE MAIN
UE	UE	UNDERGROUND ELECTRIC
OHE	OHE	OVERHEAD ELECTRIC
UT	UT	UNDERGROUND TELEPHONE
OT	OT	OVERHEAD TELEPHONE
UD	UD	UNDERDRAIN
		FIRE HYDRANT
		DOUBLE CHECK VALVE ASSEMBLY
		RED PRESSURE BACKFLOW PREVENTER
		POST INDICATOR VALVE
		VALVE
		VALVE & BOX
		MANHOLE
		WATER METER
		PHONE/POWER/LIGHT POLE
		INLET
		MITERED END
		FLUME
		HEADWALL/ENDWALL
		TRANSFORMER
		DRAINAGE STRUCTURE NUMBER
		SANITARY SEWER STRUCTURE NUMBER
		SECTION CUT
		DETAIL REFERENCE

42000201
 (2016) AMENDED MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN
 FOR
 CANTERWOOD MANOR AT APOPKA
 (FORMERLY DIXIE MANOR AT ERROL ESTATES)
 CITY OF APOPKA, FLORIDA



SHEET INDEX	
C-001	COVER SHEET
C-100	MASTER SITE PLAN
L-110	LANDSCAPE PLAN
L-511	LANDSCAPE DETAILS
A110	1ST FLOOR
A120	2ND FLOOR
A200	ELEVATIONS

PROPERTY ADDRESS
 1791 OLD DIXIE HIGHWAY
 APOPKA, FLORIDA 32712

OWNER

ROBERT K. DUAN
 3828 TAYLOR COURT
 APOPKA, FLORIDA 32712
 PHONE: (407) 573-1817

DEVELOPER

MJM ASSOCIATES, LLC
 1030 N. ORANGE AVENUE
 SUITE 300
 ORLANDO, FLORIDA 32801
 PHONE: (407) 233-3514

ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT

HASKELL ARCHITECTS AND ENGINEERS, P.A.
 111 RIVERSIDE AVENUE
 JACKSONVILLE, FLORIDA 32202
 PHONE: 904-791-4500

GENERAL NOTES:

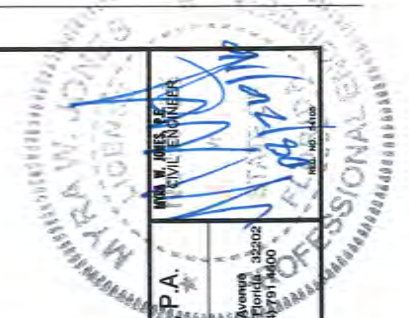
- THE FINAL DEVELOPMENT PLAN AT A MINIMUM SHALL ADDRESS THE INFORMATION REQUIRED UNDER SECTION 12.02.04 OF THE APOPKA LAND DEVELOPMENT CODE.
- FACILITY SHALL CONFORM TO ALL APPLICABLE BUILDING STATUTES, CODES OR ORDINANCES, WHETHER FEDERAL, STATE, COUNTY OR CITY.
- FACILITY SHALL CONFORM TO ALL REQUIREMENTS, RULE AND REGULATIONS OF THE FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES APPLICABLE TO SUCH FACILITIES.
- FACILITY SHALL CONFORM TO ALL LAND DEVELOPMENT CODES AND ORDINANCES PERTAINING TO THESE DISTRICTS AND TO ALL APPLICABLE CITY LICENSING REQUIREMENTS.
- NO FACILITY SHALL BE OCCUPIED BY ANY PERSON WHO HAS BEEN CONVICTED OF, ENTERED A PLEA OF GUILTY OR NOLO CONTENDERE TO, OR HAS BEEN FOUND GUILTY BY REASON OF INSANITY OF A FEROUS FELONY UNDER SECTION 776.08, 1 FLORIDA STATUTES (1985), A FELONY OF THE SECOND DEGREE UNDER SECTION 800.04, FLORIDA STATUTES (1985), OR ANY OF THE SEX OFFENCES SET FORTH UNDER SECTION 917.01(2)(I), FLORIDA STATUTES (1985), REGARDLESS OF WHETHER AN ADJUDICATION OF GUILT OR IMPOSITION OF SENTENCE WAS SUSPENDED, DEFERRED OR WITHHELD.
- ALL SIDEWALKS ALONG OLD DIXIE HIGHWAY AND INTERNAL SHALL MEET ADA REQUIREMENTS AND CITY STANDARDS.
- AN OUTDOOR LIGHTING PLAN PER THE CITY'S DEVELOPMENT DESIGN GUIDELINES SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLANS.
- A PHOTOMETRIC LIGHTING PLAN FOR THE SITE SHALL BE PROVIDED AS PART OF THE FINAL DEVELOPMENT PLANS. LIGHTING PLAN SHALL PREVENT LIGHT SPILLOVER INTO RESIDENTIAL AREAS AND LIMIT LUMENS TO 0 AT PROPERTY LINES.
- MONUMENT SIGN SHALL NOT EXCEED 6 FEET IN HEIGHT WITH A MAXIMUM COP AREA OF 24 SQUARE FEET.
- ELECTRONIC READER BOARD IS NOT ALLOWED AS PART OF THE MONUMENT SIGN.
- IF A FINAL DEVELOPMENT PLAN ASSOCIATED WITH THE PUD HAS NOT BEEN APPROVED BY THE CITY WITHIN THREE YEARS AFTER APPROVAL OF THE MASTER PLAN FOR THE PUD, THE APPROVAL OF THE PLANNED UNIT DEVELOPMENT MASTER WILL EXPIRE. ADDITIONALLY, IF MORE THAN TWO YEARS LAPSE BETWEEN THE FINAL DEVELOPMENT PLAN APPROVALS OF ANY SEQUENTIAL PHASES OF THE PUD, THE APPROVAL OF THE PUD WILL EXPIRE.
- THE INACTIVE OVERHEAD UTILITY LINE LOCATED ON THE EASTERN PORTION OF THE SITE WILL BE VACATED AND REMOVED.
- NO ACTIVITY AREAS ARE TO BE LOCATED WITHIN 20 FEET OF THE EASTERN PROPERTY LINE ADJUTTING THE RESIDENTIAL LOTS.
- FIRE HYDRANTS MUST BE LOCATED WITHIN 250 FEET OF THE BUILDING.
- FOLLOW FLORIDA STATUTE 633.027 CONCERNING LIGHT FRAME TRUSS CONSTRUCTION.
- BUILDING WILL BE REQUIRED TO HAVE AUTOMATIC FIRE SPRINKLER SYSTEM.
- BUILDING MUST BE MONITORED BY AN AUTOMATIC FIRE ALARM SYSTEM.
- WE WILL REQUIRE A REMOTE FDC FOR THE FIRE SPRINKLER SYSTEM.
- PROVIDE A FIRE LANE AT THE FDC LOCATION.
- MUST PROVIDE A LOCK BOX NEAR THE FRONT DOOR CAPTAIN BRIAN BOWMAN, OR AN AUTHORIZED REPRESENTATIVE FROM THE FIRE CHIEF'S OFFICE WILL PROVIDE THE FORM WHEN THE TIME COMES.
- FIRE HYDRANT SHALL BE MARKED WITH A BLUE ROAD REFLECTOR.
- FOLLOW CURRENT NFPA AND FLORIDA FIRE PREVENTION CODE CONCERNING FIRE AND LIFE SAFETY.
- ALL ROADWAYS, WATER LINE INFRASTRUCTURE AND FIRE HYDRANTS SHALL BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.

SITE DATA TABLE	
PARCEL ID NUMBER	05-21-28-0000-00-034
PARCEL ID NUMBER	05-21-28-0000-00-041
PARCEL ID NUMBER	05-21-28-0000-00-019
PARCEL ID NUMBER	05-21-28-0000-00-035
PROPOSED USE	ASSISTED LIVING FACILITY
FUTURE LAND USE	RESIDENTIAL MEDIUM LOW DENSITY (0-7.5 DU/AC)
ZONING	PUD/R-3
SITE ACREAGE/SQ. FOOTAGE	6.99 AC./304,291 S.F.
BUILDING HEIGHT	PROPOSED: 35'
1ST FLOOR AREA	52,934 S.F.
2ND FLOOR AREA	33,566 S.F.
OVERALL BUILDING AREA	86,500 S.F.
CALCULATED FLOOR AREA RATIO	0.28
ALLOWABLE FLOOR AREA RATIO	MAXIMUM: 0.30
MAXIMUM GROSS BUILDING AREA	MAXIMUM BASED ON 0.30 FAR: 91,345 S.F.
OPEN SPACE AREA	182067 S.F.
OPEN SPACE RATIO	PROPOSED: 0.60
BUILDING FOOTPRINT	52,934 S.F.
PAVEMENT, CURB, AND SIDEWALK	69,291 S.F.
TOTAL IMPERVIOUS	122,224 S.F. IMPERVIOUS TO SITE RATIO: 0.40
TOTAL PERVIOUS	182,067 S.F. PERVIOUS TO SITE RATIO: 0.60
BUILDING SETBACKS	PROPOSED FRONT: 92' WEST SIDE: 77' REAR: 100' EAST SIDE: 100'
PARKING SPACES	PROVIDED: 70
NUMBER OF BEDS	PROPOSED: 125
NUMBER OF EMPLOYEES	TOTAL: 45 BUSIEST SHIFT: 20
WAIVER REQUEST	YES
VARIANCE REQUEST	NO

AUG 30 2016
 By: [Signature]

VARIANCE (V)/WAIVER (W) TABLE				
CODE #	CODE REQUIREMENT	(V/W)	REQUEST	JUSTIFICATION
6.03.02	2/BEDROOM+1/250 SF OFFICE	W	PARKING BASED ON ITE MANUAL	SEE ATTACHED

SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST



HASKELL ARCHITECTS AND ENGINEERS, P.A.
 FLORIDA - Architecture # AA20000647 Engineering # 28064



CANTERWOOD MANOR AT APOPKA

MJM ASSOCIATES

1791 STATE ROAD 424, APOPKA, FL 32712

No.	DESCRIPTION	DATE
	PRELIM DRC 3	08/26/16
	PRELIM DRC 2	08/11/16
	PRELIM DRC	07/26/16

We hereby expressly reserve the property rights in this drawing and it is not to be reproduced, copied in any format or manner whatsoever without first obtaining our express written permission and consent.

DRAWN BY: MWJ CHECKED BY: MWJ

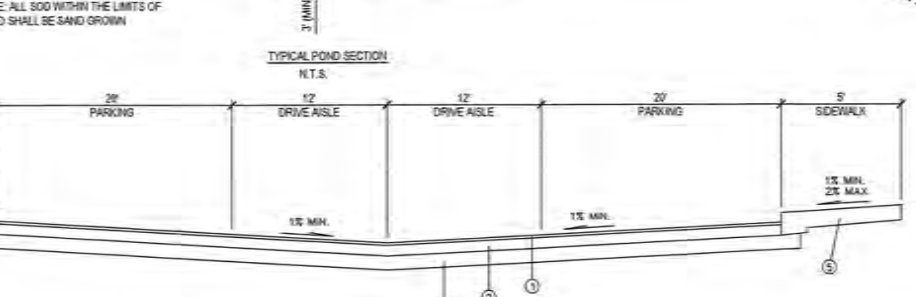
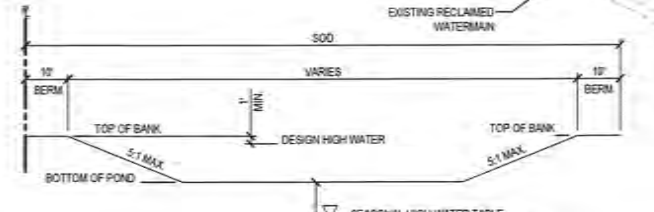
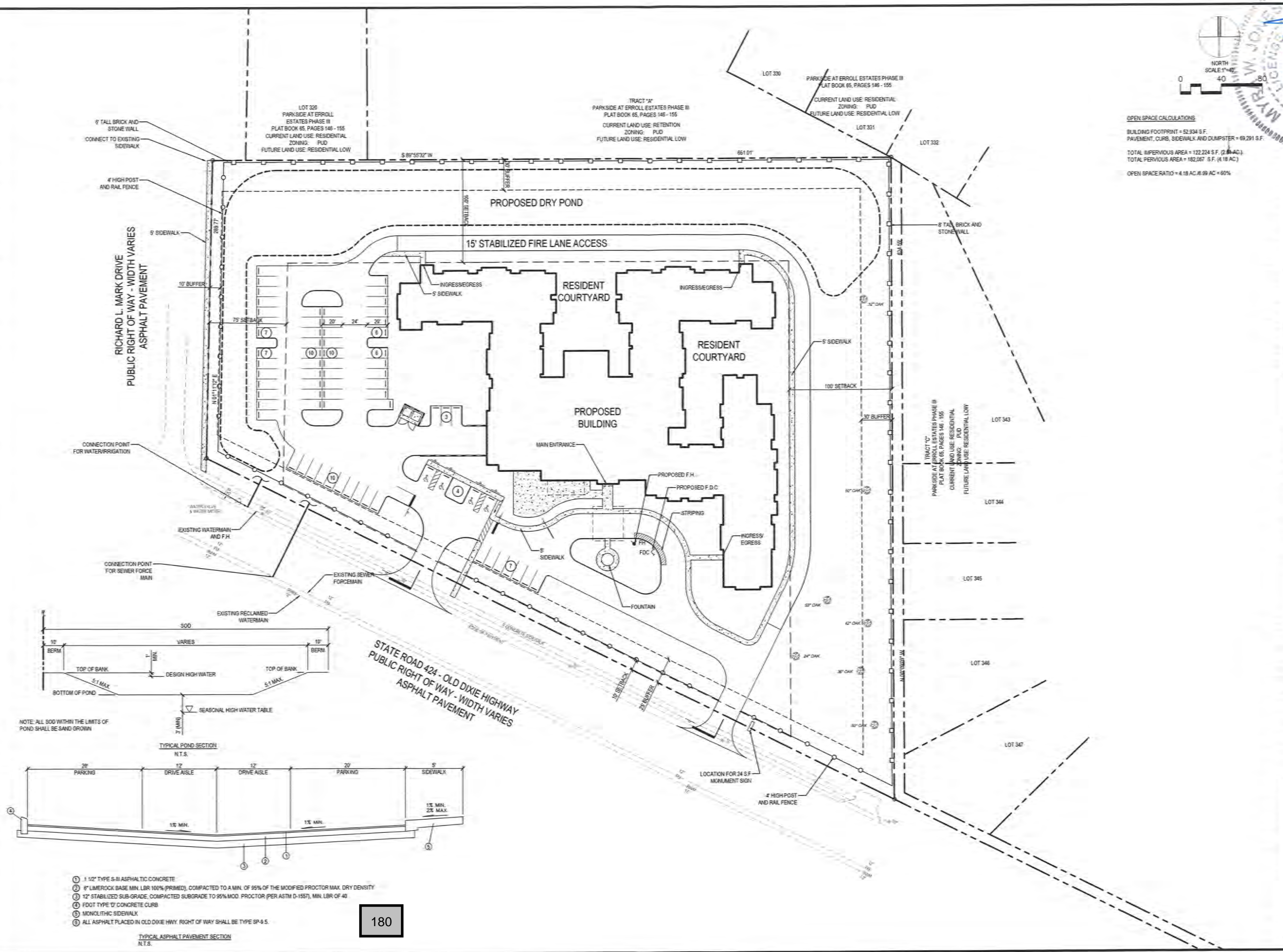
AC JOB NUMBER
 42000201

COVER SHEET

C-001
 SHEET NUMBER



OPEN SPACE CALCULATIONS
 BUILDING FOOTPRINT = 52,534 S.F.
 PAVEMENT, CURB, SIDEWALK AND DUMPSTER = 69,291 S.F.
 TOTAL IMPERVIOUS AREA = 122,224 S.F. (2.86 AC)
 TOTAL PERVIOUS AREA = 182,067 S.F. (4.18 AC)
 OPEN SPACE RATIO = 4.18 AC / 9.9 AC = 60%



- ① 1 1/2" TYPE S-II ASPHALTIC CONCRETE
- ② 6" LIMEROCK BASE MIN. LBR 100% (PRIMED), COMPACTED TO A MIN. OF 95% OF THE MODIFIED PROCTOR MAX. DRY DENSITY
- ③ 12" STABILIZED SUB-GRADE, COMPACTED SUBGRADE TO 95% MOD. PROCTOR (PER ASTM D-1557), MIN. LBR OF 40
- ④ FOOT TYPE 17' CONCRETE CURB
- ⑤ MONOLITHIC SIDEWALK
- ⑥ ALL ASPHALT PLACED IN OLD DIXIE HWY. RIGHT OF WAY SHALL BE TYPE SP-5.5

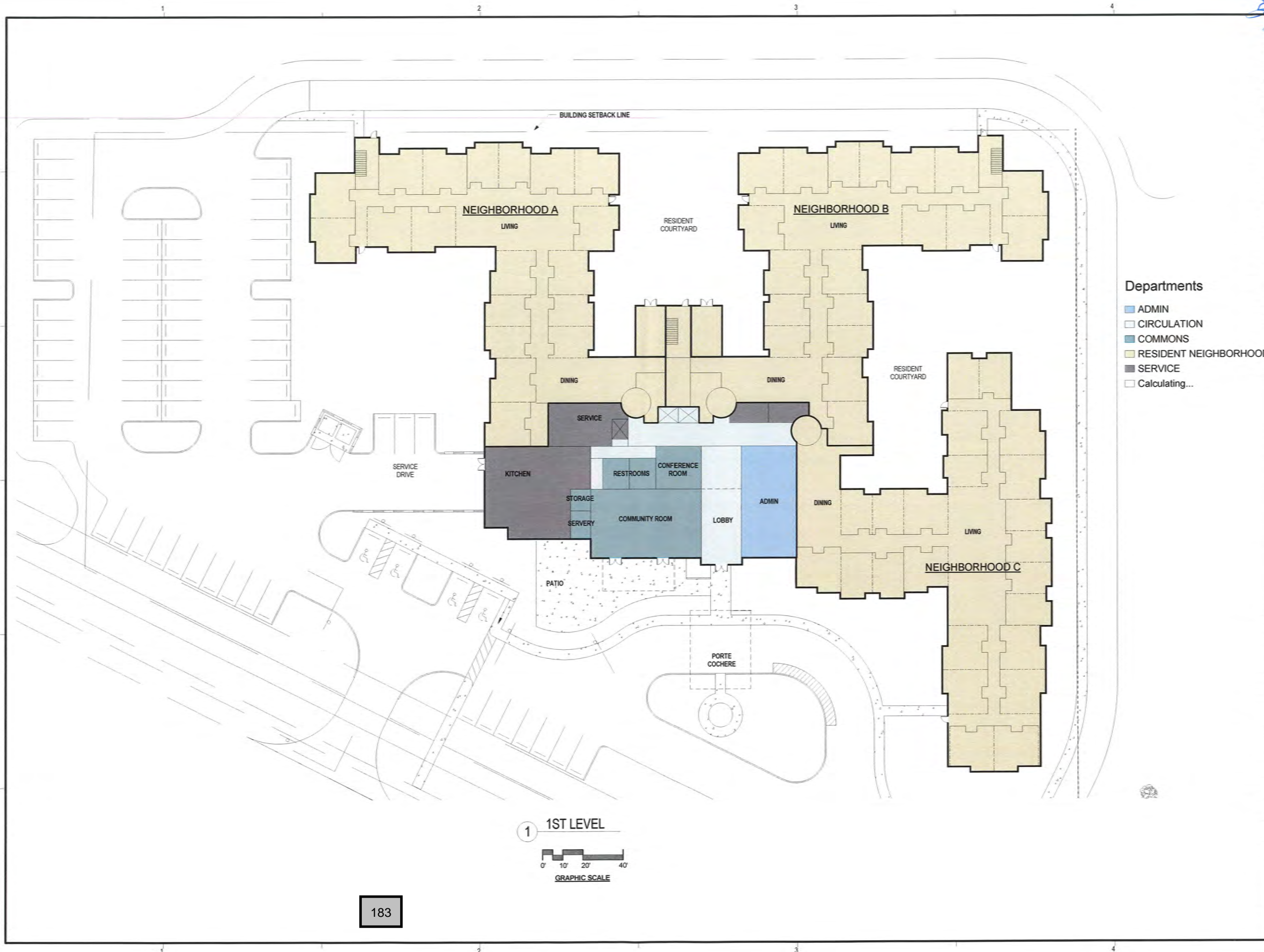
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 XREF: 4200201CM-B1 [L:\GHP\Projects\42000\Centerwood Manor Assisted Living\201 Design\20 AutoCAD\4200201CM-B1.dwg]
 XREF: 4200201CM-D1 [L:\GHP\Projects\42000\Centerwood Manor Assisted Living\201 Design\20 AutoCAD\4200201CM-D1.dwg]
 XREF: 4200201CM-29 [L:\GHP\Projects\42000\Centerwood Manor Assisted Living\201 Design\20 AutoCAD\4200201CM-29.dwg]

HASKELL ARCHITECTS and ENGINEERS, P.A.
 FLORIDA - Architecture # AA28000847 Engineering # 26864
 111 Riverside Blvd.
 Jacksonville, Florida 32202
 Phone # 904.731.4400

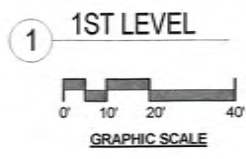
HASKELL

CANTERWOOD MANOR AT APOPKA
MJM ASSOCIATES
 1791 STATE ROAD 424, APOPKA, FL 32712

No.	DESCRIPTION	DATE
	PRELIM DRC 2	08/11/16
	PRELIM DRC	07/28/16
We hereby expressly reserve the property rights in this drawing and it is not to be reproduced, copied in any format or manner whatsoever without first obtaining our express written permission and consent.		
DRAWN BY:	CHECKED BY:	
MWJ	MWJ	
AC JOB NUMBER	4200201	
MASTER SITE PLAN		
C-100		
SHEET NUMBER		



- Departments**
- ADMIN
 - CIRCULATION
 - COMMONS
 - RESIDENT NEIGHBORHOOD
 - SERVICE
 - Calculating...



183

HASKELL ARCHITECTS and ENGINEERS, P.A.
 FLORIDA - Architecture # AA26000847 Engineering # 26064
 111 Riverside Avenue
 Jacksonville, Florida 32202
 Phone # (904) 791-4800

HASKELL

MJM ASSOCIATES

CANTERWOOD MANOR AT APOPKA
 1791 STATE ROAD 424, APOPKA, FL 32712

PRELIMINARY
 NOT FOR
 CONSTRUCTION

2 PRELIM DRC 2	8/11/16
1 PRELIM DRC	10/1/16
No	DESCRIPTION DATE

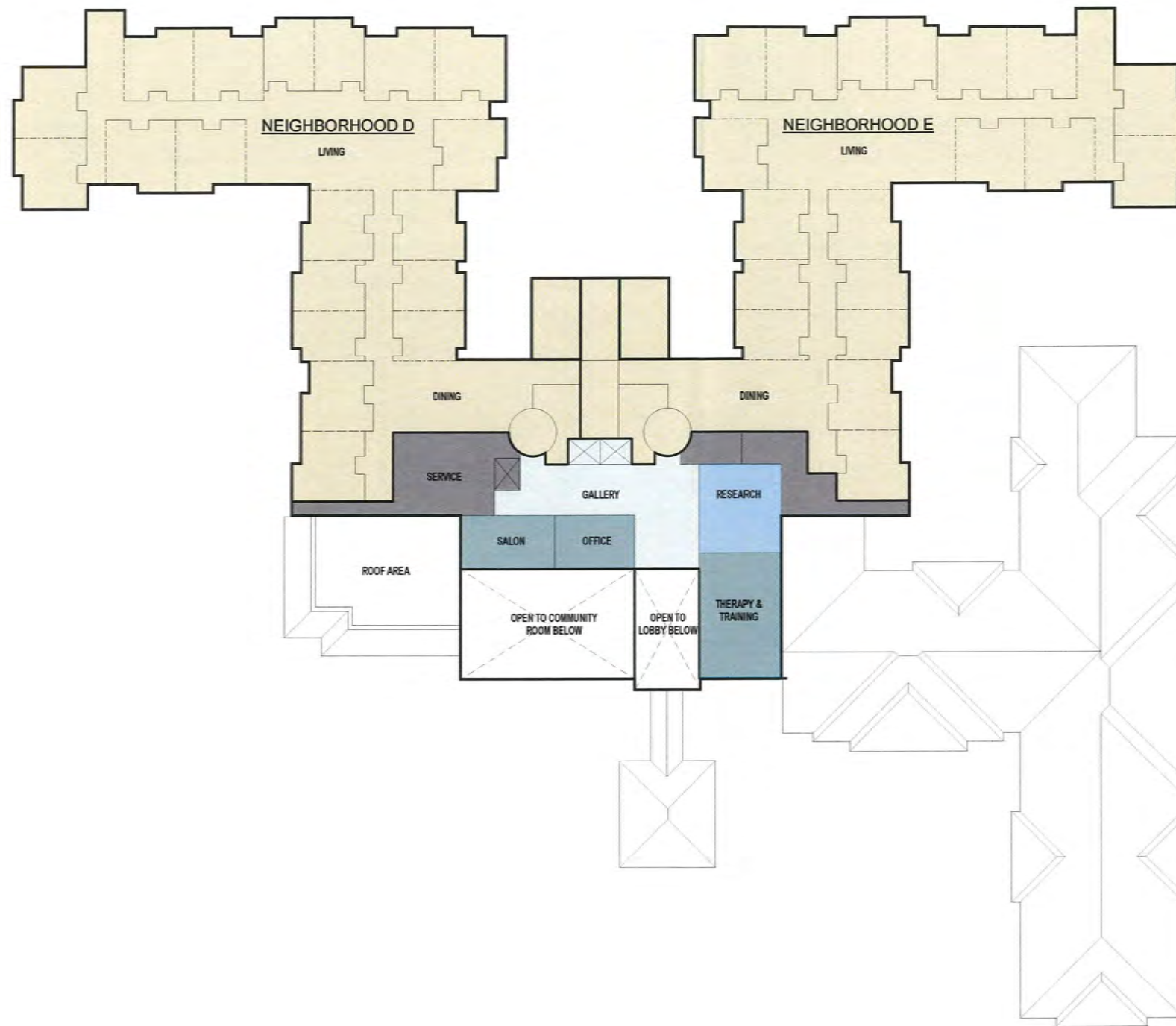
We hereby expressly reserve the property rights to this drawing and it is not to be reproduced, copied in any format or manner whatsoever without first obtaining our express written permission and consent.

DRAWN	CHECKED
Author	Checker
AE JOB NUMBER	
42000201	

1ST FLOOR

A110

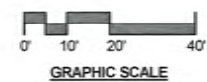
SHEET NUMBER



Departments

- ADMIN
- CIRCULATION
- COMMONS
- RESIDENT NEIGHBORHOOD
- SERVICE

1 2ND LEVEL
1" = 20'-0"



184

Handwritten notes:
11/13/15
11/13/15
11/13/15

HASKELL ARCHITECTS and ENGINEERS, P.A.
FLORIDA - Architecture # AA20000947 Engineering # 20064



111 Riverside Avenue
Jacksonville, Florida 32202
Phone # (904) 791-4000

CANTERWOOD MANOR AT APOPKA

MJM ASSOCIATES

1791 STATE ROAD 404, APOPKA, FL 32712

**PRELIMINARY
NOT FOR
CONSTRUCTION**

No.	DESCRIPTION	DATE
2	PRELIM DRC 2	8/11/15
1	PRELIM DRC 1	7/29/15

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Author	Checker

AE JOB NUMBER
42000201

2ND FLOOR

A120
SHEET NUMBER



OVERALL BUILDING ELEVATION - NORTH



OVERALL BUILDING ELEVATION - EAST



OVERALL BUILDING ELEVATION - WEST



OVERALL BUILDING ELEVATION - SOUTH



ENLARGED BUILDING ELEVATION - SOUTH

Handwritten signature and notes in blue ink.

HASKELL ARCHITECTS and ENGINEERS, P.A.
 FLORIDA - Architecture # AA26000847 Engineering # 26004



111 Riverside Avenue
 Jacksonville, Florida 32209
 Phone # (904) 761-4500

CANTERWOOD MANOR AT APOPKA

MJM ASSOCIATES

1791 STATE ROAD 124, APOPKA, FL 32712

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

2	PRELIM DRC 2	8/11/15
1	PRELIM DRC 1	7/29/15
No.	DESCRIPTION	DATE

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DRAWN	CHECKED
MEL	MEL

AE JOB NUMBER
 42000201

Elevations

A200
 SHEET NUMBER



OVERALL BUILDING ELEVATION - NORTH



OVERALL BUILDING ELEVATION - EAST



OVERALL BUILDING ELEVATION - WEST



OVERALL BUILDING ELEVATION - SOUTH



ENLARGED BUILDING ELEVATION - SOUTH

Handwritten notes:
 111 Riverside Avenue
 Jacksonville, Florida 32202
 Phone # (904) 761-4503

HASKELL ARCHITECTS and ENGINEERS, P.A.
 FLORIDA - Architecture # AA28000847 Engineering # 28004



CANTERWOOD MANOR AT APOPKA

MJM ASSOCIATES

1791 STATE ROAD 424, APOPKA, FL 32712

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

2	PRELIM DRC 2	8/1/16
1	PRELIM DRC 1	7/28/16
No.	DESCRIPTION	DATE

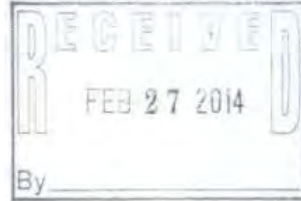
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DRAWN	CHECKED
MEL	MEL
AE JOB NUMBER	42000201

Elevations

A200
 SHEET NUMBER

MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN FOR DIXIE MANOR CITY OF APOPKA, FLORIDA



PROPERTY ADDRESS

1791 OLD DIXIE HIGHWAY
APOPKA, FLORIDA 32712

OWNER/DEVELOPER

ROBERT K. DUNN
3820 TAYSIDE COURT
APOPKA, FLORIDA 32712
PHONE: (407) 579-1617

ENGINEER

HUDAK ENGINEERING, INC.
1344 HARDY AVENUE
ORLANDO, FLORIDA 32803
PHONE: (407) 492-6833
ATTN.: GREG HUDAK, P.E.

ARCHITECT

DDP ARCHITECTS
390 WILMA STREET
LONGWOOD, FLORIDA 32750
PHONE: (407) 870-2575
ATTN.: JAMES GARRITANI

LANDSCAPE ARCHITECT

LANDSCAPE DYNAMICS, INC.
P.O. BOX 2852
WINTER PARK, FLORIDA 32790-2852
PHONE: (407) 579-1811
ATTN.: RANDY BUCHANAN, RLA



VICINITY MAP

INDEX OF SHEETS	
SHEET No.	SHEET TITLE
C-1	COVER SHEET
C-2	SITE PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS & SPECS
A2-1	1ST LEVEL FLOOR PLAN
A2-2	2ND LEVEL FLOOR PLAN
A3-1	BUILDING ELEVATIONS
	SURVEY

GENERAL NOTES:

1. THE FINAL DEVELOPMENT PLAN AT A MINIMUM SHALL ADDRESS THE INFORMATION REQUIRED UNDER SECTION 12.02.04 OF THE APOPKA LAND DEVELOPMENT CODE.
2. FACILITY SHALL CONFORM TO ALL APPLICABLE BUILDING STATUTES, CODES OR ORDINANCES, WHETHER FEDERAL, STATE, COUNTY OR CITY.
3. FACILITY SHALL CONFORM TO ALL REQUIREMENTS, RULE AND REGULATIONS OF THE FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES APPLICABLE TO SUCH FACILITIES.
4. FACILITY SHALL CONFORM TO ALL LAND DEVELOPMENT CODES AND ORDINANCES PERTAINING TO THESE DISTRICTS AND TO ALL APPLICABLE CITY LICENSING REQUIREMENTS.
5. NO FACILITY SHALL BE OCCUPIED BY ANY PERSON WHO HAS BEEN CONVICTED OF, ENTERED A PLEA OF GUILTY OR NOLO CONTENDERE TO, OR HAS BEEN FOUND GUILTY BY REASON OF INSANITY OF A FEROUS FELONY UNDER SECTION 778.08, 1 FLORIDA STATUTES (1985), A FELONY OF THE SECOND DEGREE UNDER SECTION 800.04, FLORIDA STATUTES (1985), OR ANY OF THE SEX OFFENSES SET FORTH UNDER SECTION 917.02(1), FLORIDA STATUTES (1985), REGARDLESS OF WHETHER AN ADJUDICATION OF GUILT ON IMPOSITION OF SENTENCE WAS SUSPENDED, DEFERRED OR WITHHELD.
6. ALL SIDEWALKS ALONG OLD DIXIE HIGHWAY AND INTERNAL SHALL MEET ADA REQUIREMENTS AND CITY STANDARDS.
7. AN OUTDOOR LIGHTING PLAN PER THE CITY'S DEVELOPMENT DESIGN GUIDELINES SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLANS.
8. A PHOTOMETRIC LIGHTING PLAN FOR THE SITE SHALL BE PROVIDED AS PART OF THE FINAL DEVELOPMENT PLANS. LIGHTING PLAN SHALL PREVENT LIGHT SPILLOVER INTO RESIDENTIAL AREAS AND LIMIT LUMENS TO 0 AT PROPERTY LINES.
9. MONUMENT SIGN SHALL NOT EXCEED 6 FEET IN HEIGHT WITH A MAXIMUM COP AREA OF 32 SQUARE FEET.
10. ELECTRONIC READER BOARD IS NOT ALLOWED AS PART OF THE MONUMENT SIGN.
11. IF A FINAL DEVELOPMENT PLAN ASSOCIATED WITH THE PUD HAS NOT BEEN APPROVED BY THE CITY WITHIN THREE YEARS AFTER APPROVAL OF THE MASTER PLAN FOR THE PUD, THE APPROVAL OF THE PLANNED UNIT DEVELOPMENT MASTER PLAN WILL EXPIRE. ADDITIONALLY, IF MORE THAN TWO YEARS LAPSE BETWEEN THE FINAL DEVELOPMENT PLAN APPROVALS OF ANY SEQUENTIAL PHASES OF THE PUD, THE APPROVAL OF THE PUD MASTER PLAN SHALL EXPIRE.
12. THE INACTIVE OVERHEAD UTILITY LINE LOCATED ON THE EASTERN PORTION OF THE SITE WILL BE VACATED AND REMOVED.
13. NO ACTIVITY AREAS ARE TO BE LOCATED WITHIN 20 FEET OF THE EASTERN PROPERTY LINE ABUTTING THE RESIDENTIAL LOTS.

SITE DATA TABLE	
PARCEL ID NUMBER	05-21-28-0000-00-034
PARCEL ID NUMBER	05-21-28-0000-00-041
PARCEL ID NUMBER	05-21-28-0000-00-019
PARCEL ID NUMBER	05-21-28-0000-00-035
PROPOSED USE	ASSISTED LIVING FACILITY
FUTURE LAND USE	EXISTING: LOW DENSITY RESIDENTIAL PROPOSED: MEDIUM DENSITY RESIDENTIAL
ZONING	EXISTING: R-3 (ZIP) PROPOSED: PUD
ACREAGE/SQUARE FOOTAGE	6.99 AC./304,484 S.F.
BUILDING HEIGHT	PROPOSED: 35 FT MAX: 35 FT
FLOOR AREA RATIO	PROPOSED: 0.25 MAX. 0.25
OPEN SPACE RATIO	PROPOSED: 0.65 MIN. 0.30
BUILDING SETBACKS	PROPOSED FRONT: 92' WEST SIDE: 77' REAR: 100' EAST SIDE: 100' REQUIRED FRONT: 10' WEST SIDE: 75' REAR: 100' EAST SIDE: 100'
PARKING SPACES	PROVIDED: 70 REQUIRED: SEE BELOW
NUMBER OF BEDS	140
NUMBER OF EMPLOYEES	TOTAL: 45 BUSIEST SHIFT: 20
WAIVER REQUEST	YES: X NO:
VARIANCE REQUEST	YES: NO: X

VARIANCE (V)/WAIVER (W) TABLE			
CODE #	CODE REQUIREMENT	(V/W) REQUEST	JUSTIFICATION
6.03.02	2/BEDROOM+1/250 SF OFFICE	W	PARKING BASED ON ITE MANUAL SEE ATTACHED

SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST

DATE	REVISIONS

DRAWN BY	SMI	DESIGN BY	GDH	CHECKED BY	GDH	APPROVED BY	GDH



MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN-DIXIE MANOR

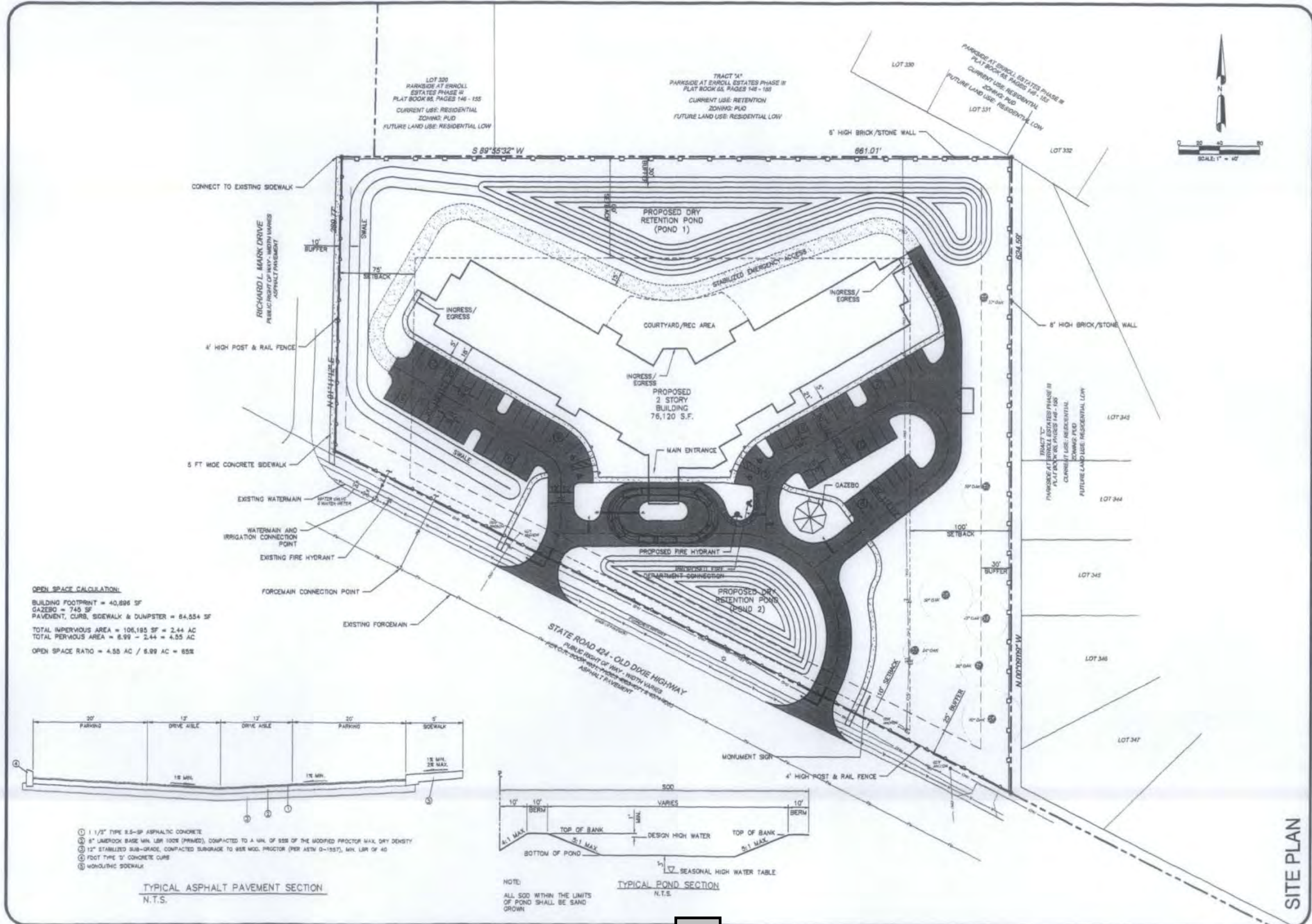
CITY OF APOPKA, FLORIDA

HUDAK ENGINEERING, INC.
CIVIL, SURVEYING & LAND DEVELOPMENT DESIGN SERVICES
CERTIFICATE OF AUTHORIZATION #2004
1344 HARDY AVENUE, ORLANDO, FL 32803
PHONE: (407) 492-6833
FAX: (407) 492-6833
EMAIL: greg@hudakengineering.com

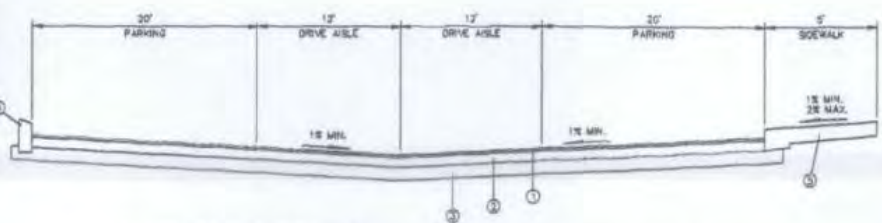


DATE:
FEBRUARY 2014

SHEET NO.
C-1
1 of 2

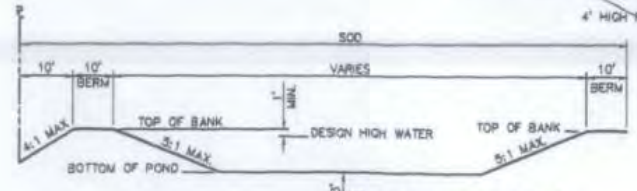


OPEN SPACE CALCULATION:
 BUILDING FOOTPRINT = 40,896 SF
 GAZEBO = 745 SF
 PAVEMENT, CURB, SIDEWALK & DUMPSTER = 84,554 SF
 TOTAL IMPERVIOUS AREA = 106,195 SF = 2.44 AC
 TOTAL PERVIOUS AREA = 8.99 - 2.44 = 4.55 AC
 OPEN SPACE RATIO = 4.55 AC / 8.99 AC = 50%



- ① 1 1/2" TYPE 8.5-SP ASPHALTIC CONCRETE
- ② 8" LAMEROCK BASE MIN. LBR 100% (PRIMED), COMPACTED TO A MIN. OF 95% OF THE MODIFIED PROCTOR MAX. DRY DENSITY
- ③ 12" STABILIZED SUB-GRADE, COMPACTED SUBGRADE TO 95% MOD. PROCTOR (PER ASTM D-1557), MIN. LBR OF 40
- ④ FOOT TYPE 1" CONCRETE CURB
- ⑤ MONOLITHIC SIDEWALK

TYPICAL ASPHALT PAVEMENT SECTION
 N.T.S.



NOTE:
 ALL SOD WITHIN THE LIMITS OF POND SHALL BE SAND GROWN
 TYPICAL POND SECTION
 N.T.S.

REVISIONS:

DATE	BY	DESCRIPTION

DRAWN BY	DESIGN BY	CHECKED BY	APPROVED BY
SMI	GDH	GDH	GDH

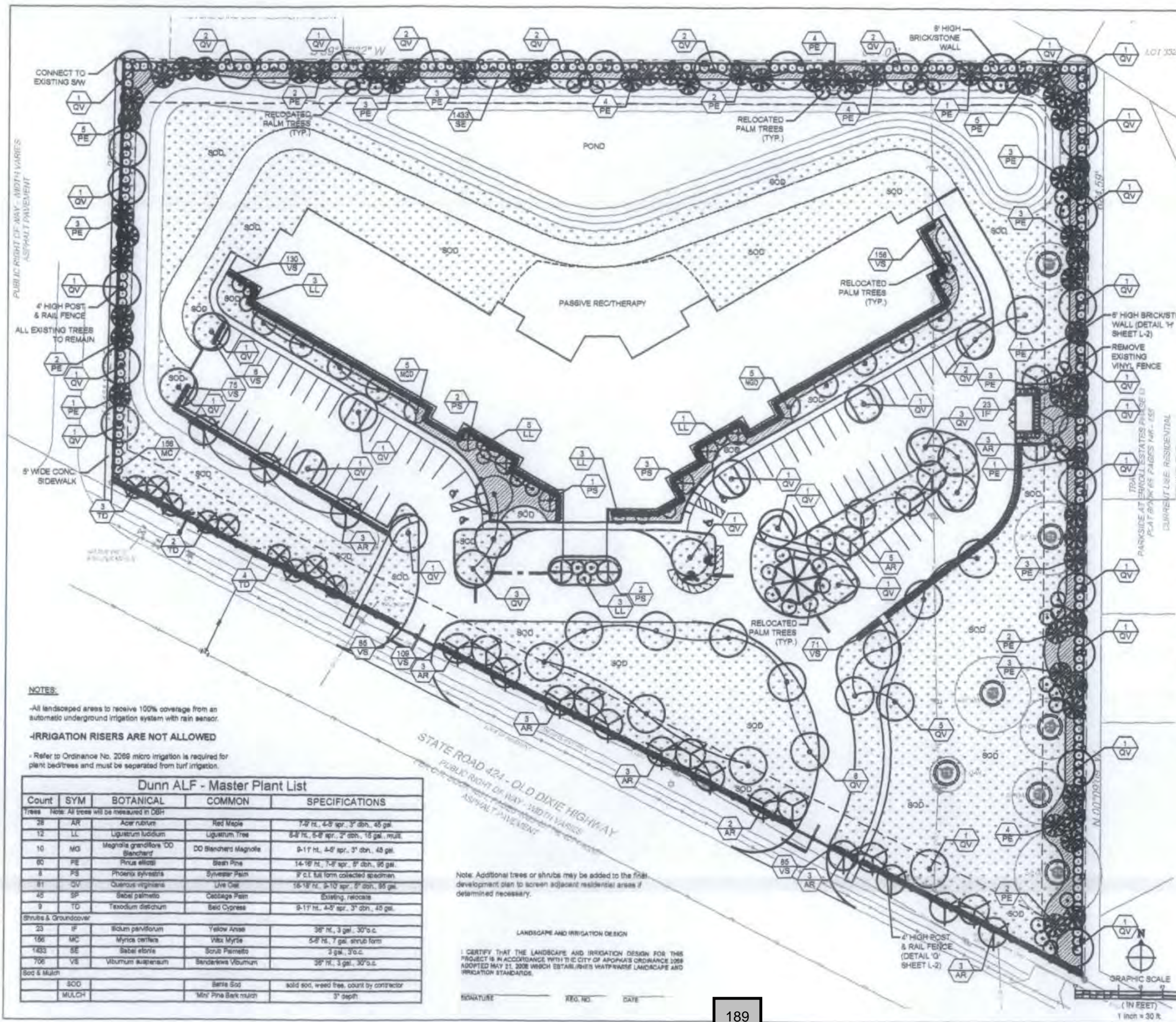
GREG HENDAK
 PE # 54884

MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN-DIXIE MANOR
 CITY OF APOPKA, FLORIDA

HUDAK ENGINEERING, INC.
 CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES
 CERTIFICATE OF AUTHORIZATION #1538
 134 HANBY AVENUE, ORLANDO, FL 32801
 PHONE: (407) 800-8823
 EMAIL: greg@hudakengineering.com

DATE:
 FEBRUARY 2014

SHEET NO.
C-2
 2 of 2



LANDSCAPE TABULATION
GENERAL REQUIREMENTS
 Apopka Land Development Code Applies
 Chapter 24, Landscaping, Buffering, and Open Space

Landscape Adjacent to Street Right-of-Way
 (1 canopy tree per 30 LF, and 36" Hedge)

South \pm 747' - 60' (impervious) = 567'
 Trees Required: 20 Canopy
 Trees Provided: 30 Canopy

Landscape Adjacent to Other Properties
 (1 canopy tree per 35 (f.))

North \pm 661'
 Trees Required: 19 Canopy
 Trees Provided: 39 Canopy

East \pm 624'
 Trees Required: 18 Canopy
 Trees Provided: 38 Canopy = 5 Existing

West \pm 290'
 Trees Required: 8 Canopy
 Trees Provided: 13 Canopy

TREE PROTECTION SYMBOLS

- TREES TO BE SAVED
- TREES TO BE REMOVED

Trees to be Saved			
Type	Count	Size	Inches
Oak	1	24"	24
Oak	1	32"	32
Oak	1	36"	36
Oak	1	42"	42
Oak	2	50"	50
Oak	1	60"	60
Total			
	7	Trees	224
			Inches

TREE REMOVAL AND REPLACEMENT

TOTAL TREE INCHES ON-SITE = 224"

TOTAL TREE INCHES REMOVED = 0"

TOTAL TREE INCHES REPLACED = N.A.

MAXIMUM TREE STOCK FORMULA AND CALCULATIONS = N.A.

QUANTITY OF SPECIMEN TREES (24" OR GREATER) BEING REMOVED = 0

SITE CLEARING AREA IN SQUARE FEET AND ACRES = 293,625 sq. ft., 6.7 acres

NOTE: NO TREES ON SITE ARE TO BE REMOVED. UNSURVEYED PALMS ARE TO BE RELOCATED TO THE PROVIDED LOCATIONS.

NOTES:
 -All landscaped areas to receive 100% coverage from an automatic underground irrigation system with rain sensor.
 -IRRIGATION RISERS ARE NOT ALLOWED
 -Refer to Ordinance No. 2068 micro irrigation is required for plant bed/trees and must be separated from turf irrigation.

Dunn ALF - Master Plant List				
Count	SYM	BOTANICAL	COMMON	SPECIFICATIONS
Trees Note: All trees will be measured in DBH				
28	AR	Acer rubrum	Red Maple	7-8' ht., 4-5" spr., 3" dbh., 45 gal.
12	LL	Ligustrum lucidum	Ligustrum Tree	6-8' ht., 5-6" spr., 2" dbh., 15 gal., mulch
10	MG	Magnolia grandiflora 'DD Blanchard'	DD Blanchard Magnolia	9-11' ht., 4-6" spr., 3" dbh., 48 gal.
80	PE	Pinus elliotii	Bean Pine	14-16' ht., 7-8" spr., 6" dbh., 90 gal.
8	PS	Phoenix sylvestris	Sylvestor Palm	9" c.t. ball form collected specimen
81	QV	Quercus nigra	Live Oak	16-18' ht., 9-10" spr., 6" dbh., 95 gal.
45	SP	Sabal palmetto	Cabbage Palm	Existing, relocate
9	TD	Taxodium distichum	Red Cypress	9-11' ht., 4-5" spr., 3" dbh., 45 gal.
Shrubs & Groundcover				
23	IF	Ilex pedunculata	Yellow Anise	36" ht., 3 gal., 30% c.
156	MC	Myrica caribea	Viburnum	5-6' ht., 7 gal. shrub form
1433	SE	Sabal elaeagnifolium	Scrub Palmetto	3 gal., 30% c.
706	VS	Viburnum suspensum	Sandbarren Viburnum	36" ht., 3 gal., 30% c.
Sod & Mulch				
	SCD		Santa Sod	solid sod, weed free, count by contractor
	MULCH		Mix Pine Bark mulch	3" depth

Note: Additional trees or shrubs may be added to the final development plan to screen adjacent residential areas if determined necessary.

LANDSCAPE AND IRRIGATION DESIGN
 I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 1058 ADOPTED MAY 21, 2008 WHICH ESTABLISHES MINIMUM LANDSCAPE AND IRRIGATION STANDARDS.
 SIGNATURE _____ REG. NO. _____ DATE _____

NOTE: Failure to notify Landscape Architect of plan, detail, or modification discrepancies prior to construction, makes contractor responsible for all costs incurred for construction changes, not the owner or his representative (Landscape Dynamics Construction Co., Inc.). The Owner must maintain the height of all plants within the "Line-Of-Site" triangle area to a height of no greater than 24" above grade for shrubs and groundcover, and tree including 60 lower than 72" above fresh grade to ensure clear site line views toward traffic at road and driveway intersections. Landscape Dynamics Construction Co., Inc., is not responsible for continued maintenance of such plant material. The owner, leasing company and/or the landscape maintenance company accepts full responsibility for these maintenance requirements. LANDSCAPE CONTRACTOR TO HAVE WATER ALL PLANT / TREE MATERIAL FOR AT LEAST 30 DAYS AFTER INSTALLATION.

48 HOURS BEFORE YOU DIG
 CALL SUNSHINE
 1-800-432-4770 or 811
 IT'S THE LAW IN FLORIDA
 FLORIDA LAW REQUIRES
 ESCORTS TO NOTIFY
 OWNERS OF UNDERGROUND
 FACILITIES NO LESS THAN TWO
 (2) DAYS BEFORE TO EXCAVATION

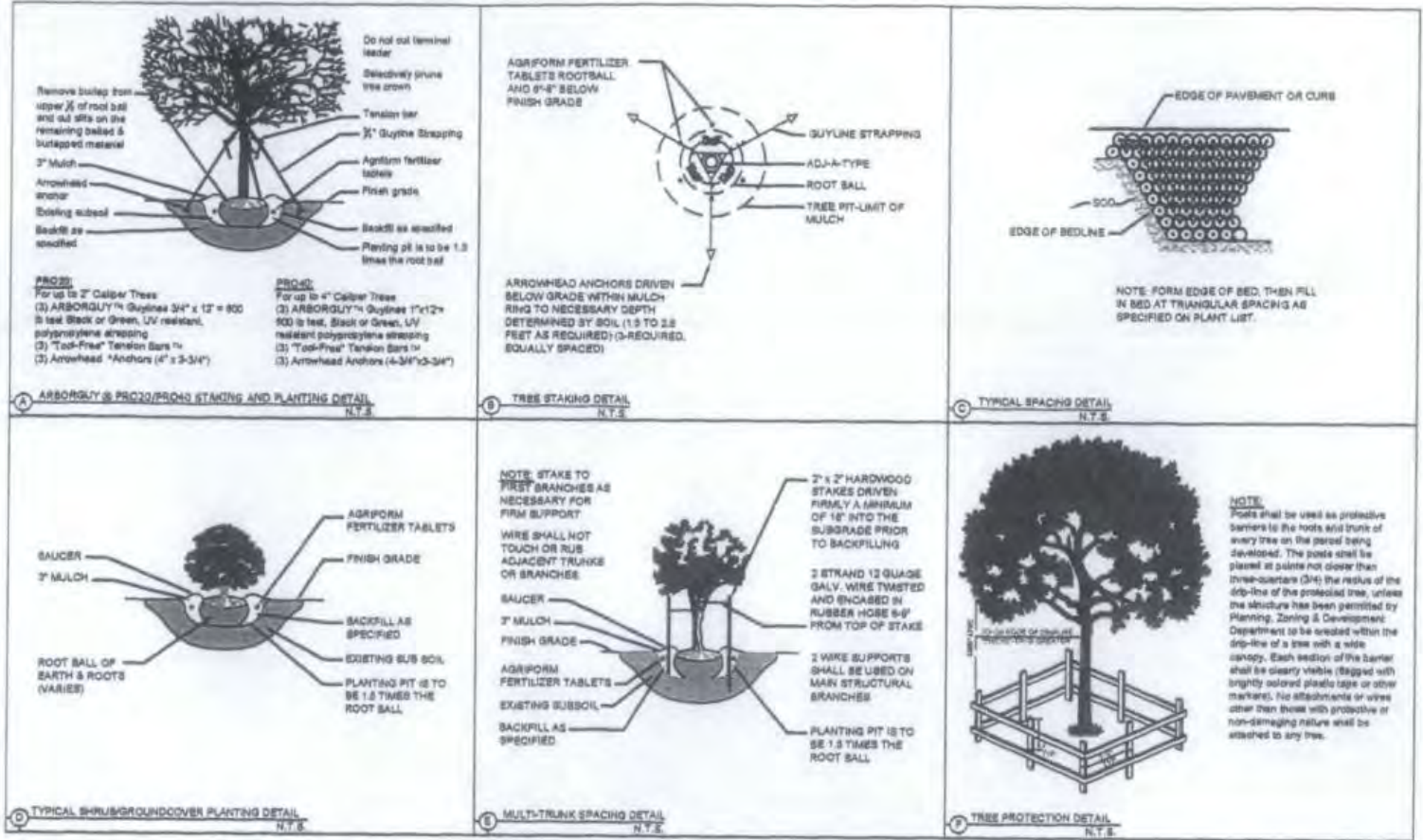
Robert K. Dunn Trust
 3000 Lakeside Court
 Apopka, FL 32712
 Phone: 407-679-1817

LANDSCAPE ARCHITECTS AND PLANNERS

LANDSCAPE PLAN
 Dixie Manor
 Apopka, Florida

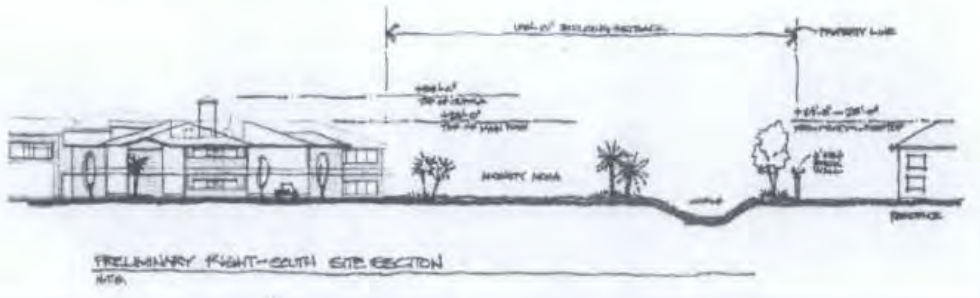
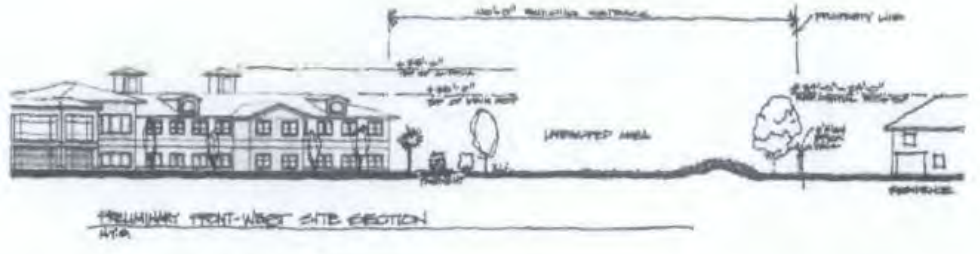
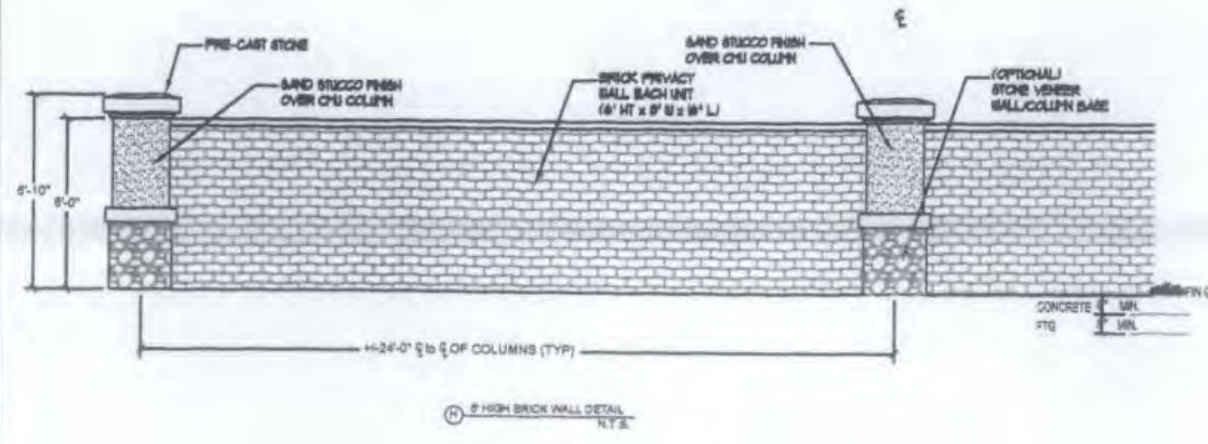
PO BOX 888 - Water Plant, Florida 32780-0888

DATE: 10-1-10
 SCALE: AS SHOWN
 SHEET NO. 1-1



GENERAL LANDSCAPE NOTES:

- Landscape contractor (LC) shall be responsible for all materials and work called for on the landscape plans and in the landscape notes and legend. Plant specifications are minimum acceptable sizes. Plans shall rule if there are any quantity discrepancies between the legend and plans. Final quantity takeoffs are the responsibility of the LC. Notify the Landscape Architect of any discrepancies.
- LC shall comply with all local codes and ordinances and obtain all permits and bonds necessary to construct the project.
- LC shall coordinate their work with other contractors to assure efficient and timely completion of the work.
- LC shall be responsible for supplying all materials, labor, and equipment for the performance of their portion of the work.
- LC to verify all existing grades, dimensions, adequate drainage, suitable planting soil and field conditions and notify owner of discrepancies before proceeding with work. Per FL Statutes, LC to call Sunshine State One (811) 72 hours prior to digging to have all utilities located.
- LC to protect existing utilities, structures, surfaces, and vegetation noted to be saved and be responsible for repair/replacement.
- Protect trees to be saved per data. Vehicle parking, material storage, or soil removal/addition is not permitted within driplines.
- Round-Up shall be applied twice at ten day intervals onto all existing vegetation, sod, and groundcover areas that are to be replanted. Extreme care shall be taken to prevent overspray and/or drift onto existing plant material to be saved. Mfr's recommendations shall be followed. Remaining weeds and their roots shall be removed by hand prior to installation of plants. Resprouting weeds and plants are the responsibility of the LC through the one year warranty period.
- All plant materials shall be graded Florida No. 1 or better as outlined under current Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted. All plants not listed shall conform to a Florida No. 1 or better as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species. LC to obtain written certification from nurseries that plant materials are Florida No. 1 or better. Trees up to 4" caliper measured at 8" above soil line and over 4" caliper at 12" above soil line unless otherwise noted. All specifications to be met or exceeded unless otherwise noted. All rootballs and containers to be free of weeds and their roots.
- Planting soil of Fla. peat mixed 1/2 with clean topsoil for the backfilling of plant pits and beds shall be required only if existing soil is unsuitable for planting and/or contains lime rock or construction debris (to be removed).
- Trees and palms shall be installed so their top main root at the trunk is visible and 2" above finished grade. If root is buried, remove soil from the top of the rootball prior to installation. Do not apply the 1 1/2" of mulch to the top of the rootball until after inspection of each tree or palm.
- Landscape Architect is not responsible for adverse soil or drainage conditions, determining sub-surface soil conditions, underground objects/utilities or the accuracy of property lines or information portrayed on surveys or on documents or plans provided by others. Owner or their agent is solely responsible for future maintenance of all plantings to maintain safe visibility within all visibility sight triangles and vehicular use and pedestrian areas within and immediately adjacent to the site.
- Finished grade prior to mulching or sodding to be 3" below top of adjacent surfaces such as walks, curbs and driveways extending perpendicularly from the surface edge for a minimum distance of 18", See Detail.
- All palms, trees, shrubs, and groundcovers shall be fertilized with Agriform 20-10-5 or Siems Tabs 16-8-12 planting tablets. One tablet/ 1 gal, 2 tablets/ 3 gal, 3 tablets/ 5 or 7 gal, 4 tablets/ 10 gal and one tablet/ each 1/2" of tree trunk diameter. Application shall be as per the details and mfr's recommendation.
- All planting beds (except for annuals) and trees to receive med. pine bark mulch. Due to environmental concerns, cypress mulch shall NOT be used. All tree rootballs (which require 4 foot wide mulch rings in turf areas) shall be mulched to a maximum 1 1/2" depth (to aid water penetration) following inspection. All other planting beds to receive a 3" depth. Mulch shall not touch trunks or stems or be applied within the crowns of groundcovers or over their branches or foliage. Mulch is to be applied by hand and shall not be "blown in".
- LC to maintain all plant material in a plumb, upright and stable condition. All trees/palms to be guyed/staked as per details.
- LC to remove all bags (unless biodegradable), tags, ties, wires, ropes, stakes and nursery attachments from all plant material.
- LC shall be responsible to keep plant material in a healthy, watered, insect/pest free condition until owner's final acceptance.
- LC to provide a one-year warranty for trees/palms, shrubs, groundcovers, and vines and thirty days for sod. Warranty period shall start with final acceptance by owner. All plant material shall be alive and in satisfactory growth at the end of the warranty period. Replacement plant material shall be warranted for ninety days (sod for thirty days) from replacement date. Warranty shall apply only to material that dies due to poor quality, improper handling, or installation practices. Generally, material transplanted on-site shall not be warranted. Adverse weather conditions shall not apply. Proper watering and maintenance are the owner's responsibility during the warranty period.
- Provide 100% coverage of all landscape areas using automatic underground irrigation system with rain sensor.



LANDSCAPE AND IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2008 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REC. NO. _____ DATE _____

NOTE: Failure to notify Landscape Architect of plan, detail, or specification discrepancies prior to construction makes contractor responsible for all costs incurred for reconstruction charges, not the owner or his representative (Landscape Dynamics Construction Co., Inc.). The Owner must maintain the height of all plants within the "Low-Cl-Site" triangle area to a height of no greater than 24" above grade for shrubs and groundcover, and tree planting 10' lower than 72" above finish grade, to insure clear site line views around traffic at road and driveway intersections. Landscape Dynamics Construction Co., Inc., is not responsible for continued maintenance of such plant material. The owner, leaving warranty and/or the landscape maintenance company accepts full responsibility for these maintenance requirements. LANDSCAPE CONTRACTOR TO HAND WATER ALL PLANT / TREE MATERIAL FOR AT LEAST 30 DAYS AFTER INSTALLATION.

48 HOURS BEFORE YOU DIG
 CALL SUNSHINE
 1-800-327-8778 or 811
 IT'S THE LAW IN FLORIDA
 FLORIDA LAW REQUIRES
 EXCAVATORS TO NOTIFY
 MEMBERS OF LANDSCAPE
 FACILITIES NO LATER THAN TWO
 (2) DAYS PRIOR TO EXCAVATION

LANDSCAPE ARCHITECTS AND PLANNERS

Robert K. Dump, Trust
 3230 Fairway Court
 Apopka, FL 32712
 PHN: 407-578-1917

LANDSCAPE ARCHITECTS AND PLANNERS

LANDSCAPE DETAILS AND SPECS
 Dixie Major
 Apopka, Florida

PCD 0001 0001 - Water Plant, Florida 0001-0001

DATE: 10/1/2008

SCALE: AS SHOWN

PROJECT NO: 08-001

DATE: 10/1/2008

SCALE: AS SHOWN

PROJECT NO: 08-001

SHEET INFORMATION

DATE:	JANUARY 28, 2011
DESIGNER:	NAB
PROJECT NO.:	-
REVISION BY:	JAG

REVISION	DATE

EXTERIOR ELEVATIONS

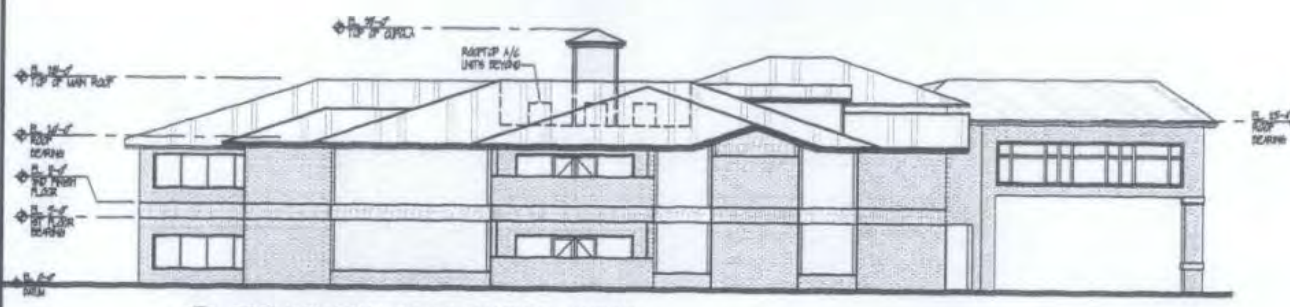
A3.1



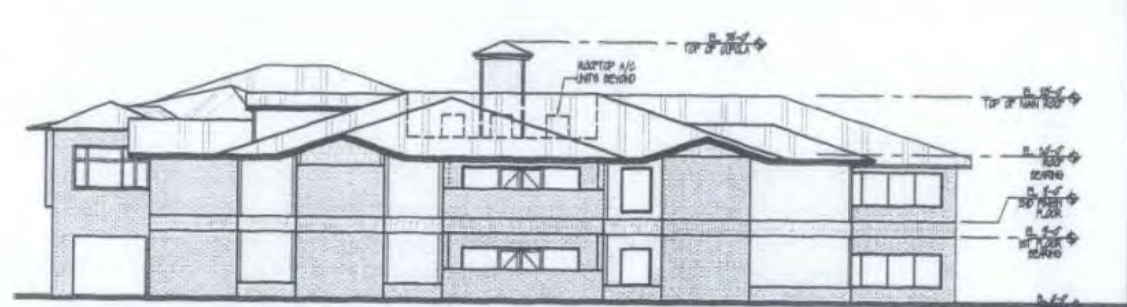
1 PRELIMINARY FRONT ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



2 PRELIMINARY REAR ELEVATION - NORTH
SCALE: 3/32" = 1'-0"



3 PRELIMINARY LEFT ELEVATION - WEST
SCALE: 3/32" = 1'-0"



4 PRELIMINARY RIGHT ELEVATION - EAST
SCALE: 3/32" = 1'-0"

ORDINANCE NO. 2355

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM "COUNTY" R-3 TO "CITY" PLANNED UNIT DEVELOPMENT (PUD/R-3) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF OLD DIXIE HIGHWAY, EAST OF RICHARD L. MARK DRIVE, AND SOUTH OF ERROL PARKWAY, COMPRISING 6.98 ACRES MORE OR LESS, AND OWNED BY ROBERT K. DUNN ET. AL.; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed Planned Unit Development (PUD/R-3) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

SECTION I. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan zoning and development standards provisions:

A. The uses permitted within the PUD district shall be:

1. A maximum of one-hundred twenty-five (125) Assisted Living Facility (ALF) beds or a maximum of fifty-one (51) permanent residential units. For any Assisted Living Facility, such use shall meet the State of Florida definition for an Assisted Living Facility, at least eighty (80) percent of the beds shall be occupied by those age 55 of over, and the ALF shall follow a policy that demonstrates an intent to provide residential care for those aged 55 or older. A nursing home, group home facility, foster home, drug or alcohol detox center or rehabilitation center or similar emergency shelter are not permissible uses under this PUD zoning ordinance unless as otherwise superseded by Florida Statutes.
2. Any use or activity allowed within the R-3 residential zoning category exception as otherwise noted herein the PUD ordinance. Duplex residential units shall not be allowed.
3. Any building other than single family residential shall be setback a minimum of one hundred (100) feet from the northern and eastern property line, and at minimum of fifty (50) feet from the western property line.
4. Outdoor storage shall not be allowed (including donation bins).
5. No recreation or similar outdoor activities (walking path, gathering places etc.) shall occur within twenty (20) feet of the property line excepting any public sidewalk along Old Dixie Highway.
6. No outdoor activities shall occur after 9:00 PM or before 7:00 AM. Delivery services for shall be limited to similar hours.
7. Regular visitor hours shall be limited to no earlier than 7:00 AM and not later than 11:00 PM except for emergency purposes.

8. Consistent with Section 2.02.02B.5.e. (3)(b), Apopka Land Development Code, no ALF shall be occupied by any person who has been convicted of, entered a plea of guilty or nolo contendere to, or has been found guilty by reason of insanity of a forcible felony under Florida Statutes, a felony of the second degree under Florida Statutes, or any of the sex offenses set forth under Florida Statutes, regardless of whether an adjudication of guilt imposition of sentence was suspended, deferred or withheld.

B. Development Standards:

1. Development standards and setbacks shall comply with those established for the R-3 zoning category, as set forth under Section 2.02.07 of the Land Development Code, unless otherwise approved herein or within the Master Site Plan, or unless the City Council finds, based on substantial competent evidence, a proposed alternative development guideline is adequate to protect the public health safety and welfare, development within the PUD district.
 2. Maximum number of stories: two (2).
 3. A thirty (30) foot landscape buffer with a six foot high masonry wall shall occur along the northern and eastern property lines, and a fifteen (15) foot landscape buffer along the western property line. Location of the wall and landscaping shall be setback from the northwest property line to accommodate sufficient line-of-sight along Richard L. Mark Drive and to place open space next to the abutting residential lot.
 4. If the site is developed as an ALF, monument sign (identification sign) shall be limited to no more than twenty-four (24) square feet, and no electronic reader board will be allowed. The monument sign may be placed within the front yard along Old Dixie Highway near the site driveway entrance. No signage shall be allowed along Richard L. Mark Drive. No wall sign or other signage will be allowed except for on-site directional signage, unless otherwise allowed by the City's sign codes for special event or grand opening.
 5. No outdoor illumination shall spillover into abutting residential areas.
 6. All trees and landscaping within the perimeter buffers shall be allowed to grow and will be maintained to a height to screen the ALF building from adjacent residential areas.
 7. Architectural design of the building shall be generally consistent with that approved with the PUD ordinance unless otherwise approved by the City Council.
 8. Changes to the Master Site Plan\ Preliminary Development Plan or architectural design considered to be insignificant may be approved by the Community Development Director or as approved by the City through the Final Development Plan.
 9. Employee parking shall be directed to the southwest parking area and visitor parking directed to the southeast parking area. On-site direction signage shall be posted to direct visitor parking as such.
 10. Driveway access to Richard L. Mark Drive shall not be allowed unless needed for emergency access.
- C. The Master Site Plan\ Preliminary Development Plan is hereby approved and is part of the PUD zoning ordinance. Any requisite development standards not addressed within the Master Site Plan\ Preliminary Development Plan shall be addressed within the Final Development Plan.

D. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after the effective date of this ordinance, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

Section II. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD/R-3) As defined in the Apopka Land Development Code.

Legal Description:

The East 100 Feet of the North ½ of the West ½ of the Southwest ¼, lying north of Old Brick Road, in Section 5, Township 21 South, Range 28 East, Orange County, Florida
Parcel I.D. # 05-21-28-0000-00-019
1.38 +/- acres

The North ½ of the East ½ of the West ½ of the Southwest ¼ of Section 5, Township 21 South, Range 28 East, lying north of Road, LESS the North 100.00 feet thereof, and also LESS the East 106.00 feet thereof, Orange County, Florida.
Parcel I.D. # 05-21-28-0000-00-034
4.23 +/- acres

The West 6 feet of the East 106 feet of the Northeast ¼ of the Northwest ¼ of the Southwest ¼ lying north of Old Brick Road in Section 5, Township 21 South, Range 28 East, Orange County, Florida.
Parcel I.D. # 05-21-28-0000-00-035
0.80 +/- acre

South 21.69 feet of the North 100.00 feet of the North ½ of the East ½ of the West ½ of the Southwest ¼ of Section 5, Township 21 South, Range 28 East, LESS the East 106.00 feet thereof, Orange County, Florida.
Parcel I.D. # 05-21-28-0000-00-041
1.27 +/- acres

Total Combined Acreage: 6.98 +/- Acres

Section III. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section IV. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

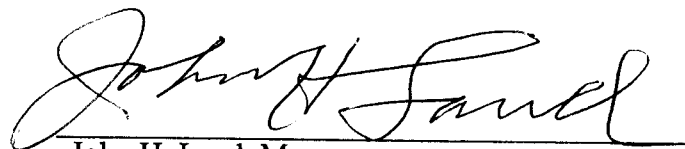
Section V. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section VI. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VII. That this Ordinance shall take effect upon the effective date of City of Apopka Ordinance No. 2354.

READ FIRST TIME: March 19, 2014

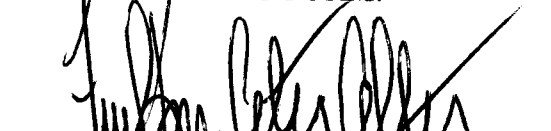
READ SECOND TIME
AND ADOPTED: April 2, 2014


John H. Land, Mayor

ATTEST:


Janice G. Goebel, City Clerk

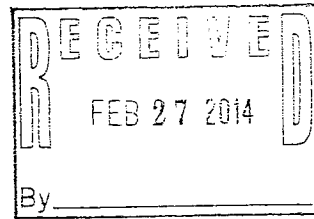
APPROVED AS TO FORM:


Frank Krupp, Esq., City Attorney

DULY ADVERTISED FOR TRANSMITTAL HEARING:

February 21, 2014
March 21, 2014

MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN FOR DIXIE MANOR CITY OF APOPKA, FLORIDA



PROPERTY ADDRESS

1781 OLD DIXIE HIGHWAY
APOPKA, FLORIDA 32712

OWNER/DEVELOPER

ROBERT K. DUNN
3620 TAYSIDE COURT
APOPKA, FLORIDA 32712
PHONE: (407) 578-1817

ENGINEER

HUDAK ENGINEERING, INC.
1344 HARDY AVENUE
ORLANDO, FLORIDA 32803
PHONE: (407) 482-6833
ATTN.: GREG HUDAK, P.E.

ARCHITECT

DOP ARCHITECTS
390 WILMA STREET
LONGWOOD, FLORIDA 32750
PHONE: (407) 870-2575
ATTN.: JAMES GARRITANI

LANDSCAPE ARCHITECT

LANDSCAPE DYNAMICS, INC.
P.O. BOX 2852
WINTER PARK, FLORIDA 32780-2852
PHONE: (407) 579-1811
ATTN.: RANDY BUCHANAN, RLA



VICINITY MAP

SITE DATA TABLE

PARCEL ID NUMBER	05-21-28-0000-00-034		
PARCEL ID NUMBER	05-21-28-0000-00-041		
PARCEL ID NUMBER	05-21-28-0000-00-019		
PARCEL ID NUMBER	05-21-28-0000-00-035		
PROPOSED USE	ASSISTED LIVING FACILITY		
FUTURE LAND USE	EXISTING: LOW DENSITY RESIDENTIAL PROPOSED: MEDIUM DENSITY RESIDENTIAL		
ZONING	EXISTING: R-3 (ZIP)	PROPOSED: PUD	
ACREAGE/SQUARE FOOTAGE	6.99 AC./304,484 S.F.		
BUILDING HEIGHT	PROPOSED: 35 FT	MAX:	35 FT
FLOOR AREA RATIO	PROPOSED: 0.25	MAX:	0.25
OPEN SPACE RATIO	PROPOSED: 0.65	MIN:	0.30
BUILDING SETBACKS	PROPOSED FRONT: 92' WEST SIDE: 77' REAR: 100' EAST SIDE: 100' REQUIRED FRONT: 10' WEST SIDE: 75' REAR: 100' EAST SIDE: 100'		
PARKING SPACES	PROVIDED: 70	REQUIRED: SEE BELOW	
NUMBER OF BEDS	140		
NUMBER OF EMPLOYEES	TOTAL: 45	BUSIEST SHIFT: 20	
WAIVER REQUEST	YES: X	NO:	
VARIANCE REQUEST	YES:	NO: X	

VARIANCE (V)/WAIVER (W) TABLE

CODE #	CODE REQUIREMENT	(V/W)	REQUEST	JUSTIFICATION
6.03.02	2/BEDROOM+1/250 SF OFFICE	W	PARKING BASED ON ITE MANUAL	SEE ATTACHED

INDEX OF SHEETS	
SHEET No.	SHEET TITLE
C-1	COVER SHEET
C-2	SITE PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS & SPECS
A2-1	1ST LEVEL FLOOR PLAN
A2-2	2ND LEVEL FLOOR PLAN
A3-1	BUILDING ELEVATIONS
	SURVEY

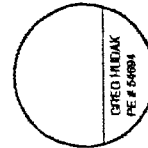
GENERAL NOTES:

- THE FINAL DEVELOPMENT PLAN AT A MINIMUM SHALL ADDRESS THE INFORMATION REQUIRED UNDER SECTION 12.02.04 OF THE APOPKA LAND DEVELOPMENT CODE.
- FACILITY SHALL CONFORM TO ALL APPLICABLE BUILDING STATUTES, CODES OR ORDINANCES, WHETHER FEDERAL, STATE, COUNTY OR CITY.
- FACILITY SHALL CONFORM TO ALL REQUIREMENTS, RULE AND REGULATIONS OF THE FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES APPLICABLE TO SUCH FACILITIES.
- FACILITY SHALL CONFORM TO ALL LAND DEVELOPMENT CODES AND ORDINANCES PERTAINING TO THESE DISTRICTS AND TO ALL APPLICABLE CITY LICENSING REQUIREMENTS.
- NO FACILITY SHALL BE OCCUPIED BY ANY PERSON WHO HAS BEEN CONVICTED OF, ENTERED A PLEA OF GUILTY OR NOLIT CONTENDERE TO, OR HAS BEEN FOUND GUILTY BY REASON OF INSANITY OF A FORDIBLE FELONY UNDER SECTION 778 OR 1 FLORIDA STATUTES (1985), A FELONY OF THE SECOND DEGREE UNDER SECTION 800.04, FLORIDA STATUTES (1985), OR ANY OF THE SEX OFFENCES SET FORTH UNDER SECTION 917.012(1), FLORIDA STATUTES (1985), REGARDLESS OF WHETHER AN ADJUDICATION OF GUILT ON IMPOSITION OF SENTENCE WAS SUSPENDED, DEFERRED OR WITHHELD.
- ALL SIDEWALKS ALONG OLD DIXIE HIGHWAY AND INTERNAL SHALL MEET ADA REQUIREMENTS AND CITY STANDARDS.
- AN OUTDOOR LIGHTING PLAN PER THE CITY'S DEVELOPMENT DESIGN GUIDELINES SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLANS.
- A PHOTOMETRIC LIGHTING PLAN FOR THE SITE SHALL BE PROVIDED AS PART OF THE FINAL DEVELOPMENT PLANS. LIGHTING PLAN SHALL PREVENT LIGHT SPILLOVER INTO RESIDENTIAL AREAS AND LIMIT LUMENS TO 0 AT PROPERTY LINES.
- MONUMENT SIGN SHALL NOT EXCEED 6 FEET IN HEIGHT WITH A MAXIMUM COP AREA OF 32 SQUARE FEET.
- ELECTRONIC READER BOARD IS NOT ALLOWED AS PART OF THE MONUMENT SIGN.
- IF A FINAL DEVELOPMENT PLAN ASSOCIATED WITH THE PUD HAS NOT BEEN APPROVED BY THE CITY WITHIN THREE YEARS AFTER APPROVAL OF THE MASTER PLAN FOR THE PUD, THE APPROVAL OF THE PLANNED UNIT DEVELOPMENT MASTER PLAN WILL EXPIRE. ADDITIONALLY, IF MORE THAN TWO YEARS LAPSE BETWEEN THE FINAL DEVELOPMENT PLAN APPROVALS OF ANY SEQUENTIAL PHASES OF THE PUD, THE APPROVAL OF THE PUD MASTER PLAN SHALL EXPIRE.
- THE INACTIVE OVERHEAD UTILITY LINE LOCATED ON THE EASTERN PORTION OF THE SITE WILL BE VACATED AND REMOVED.
- NO ACTIVITY AREAS ARE TO BE LOCATED WITHIN 20 FEET OF THE EASTERN PROPERTY LINE ABUTTING THE RESIDENTIAL LOTS.

SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST

REVISIONS:

DATE	BY	DATE	BY



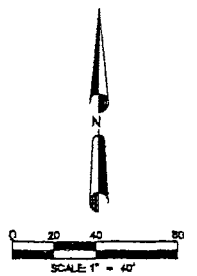
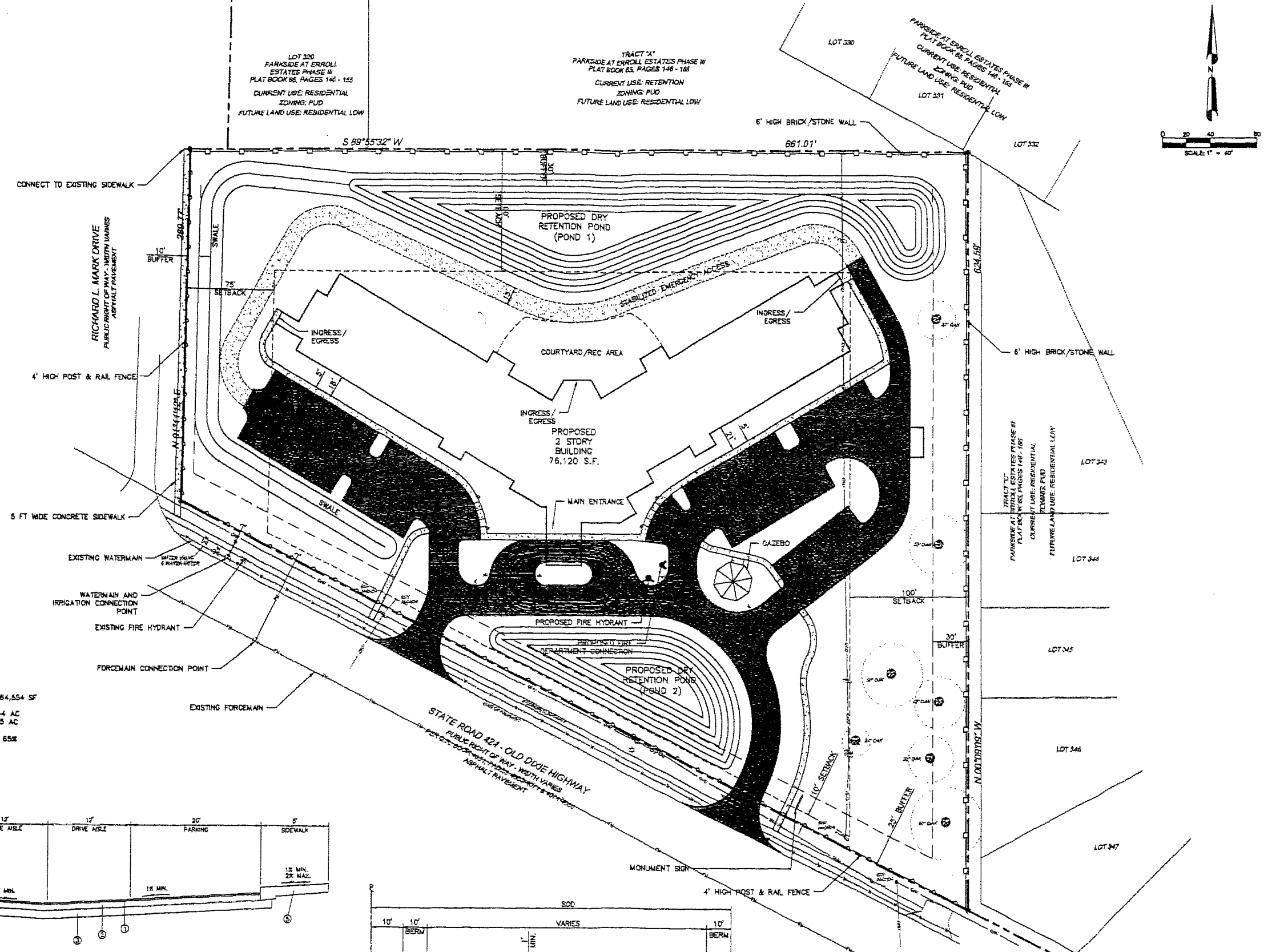
**MASTER SITE PLAN/PRELIMINARY
DEVELOPMENT PLAN-DIXIE MANOR**

CITY OF APOPKA, FLORIDA

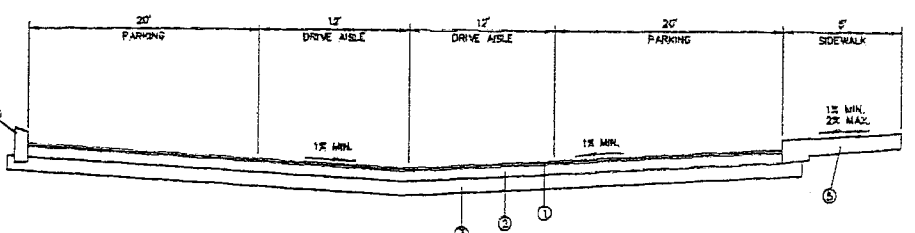
HUDAK ENGINEERING, INC.
CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES
CERTIFICATE OF AUTHORIZATION #288
1344 HARDY AVENUE, ORLANDO, FL 32803
PHONE: (407) 482-6833
EMAIL: greg@hudakengineering.com

DATE:
FEBRUARY 2014

SHEET NO.
C-1
1 of 2

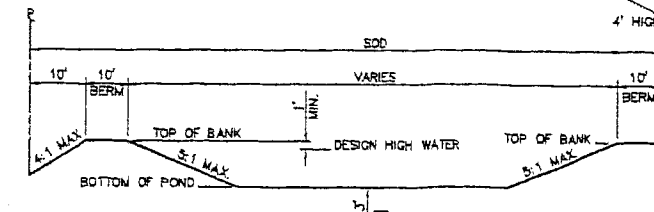


OPEN SPACE CALCULATION:
 BUILDING FOOTPRINT = 40,896 SF
 GAZEBO = 745 SF
 PAVEMENT, CURB, SIDEWALK & DUMPSTER = 84,554 SF
 TOTAL IMPERVIOUS AREA = 106,195 SF = 2.44 AC
 TOTAL PERVIOUS AREA = 8.99 - 2.44 = 6.55 AC
 OPEN SPACE RATIO = 6.55 AC / 8.99 AC = 65%



- ① 1 1/2" TYPE B.S-SF ASPHALTIC CONCRETE
- ② 6" LIMEROCK BASE MIN. LBR. 100% (PRIMED), COMPACTED TO A MIN. OF 95% OF THE MODIFIED PROCTOR MAX. DRY DENSITY
- ③ 12" STABILIZED SUB-GRADE, CONTRACTED SUBGRADE TO BSR MOD. PROCTOR (PER ASTM D-1557), MIN. LBR. OF 40
- ④ FOOT TYPE 'D' CONCRETE CURB
- ⑤ MONOLITHIC SIDEWALK

TYPICAL ASPHALT PAVEMENT SECTION
 N.T.S.



NOTE:
 ALL SOD WITHIN THE LIMITS OF POND SHALL BE SAND GROWN
 TYPICAL POND SECTION
 N.T.S.

REVISIONS:
DATE

DRAWN BY	SMC
DESIGN BY	GDH
CHECKED BY	GDH
APPROVED BY	GDH



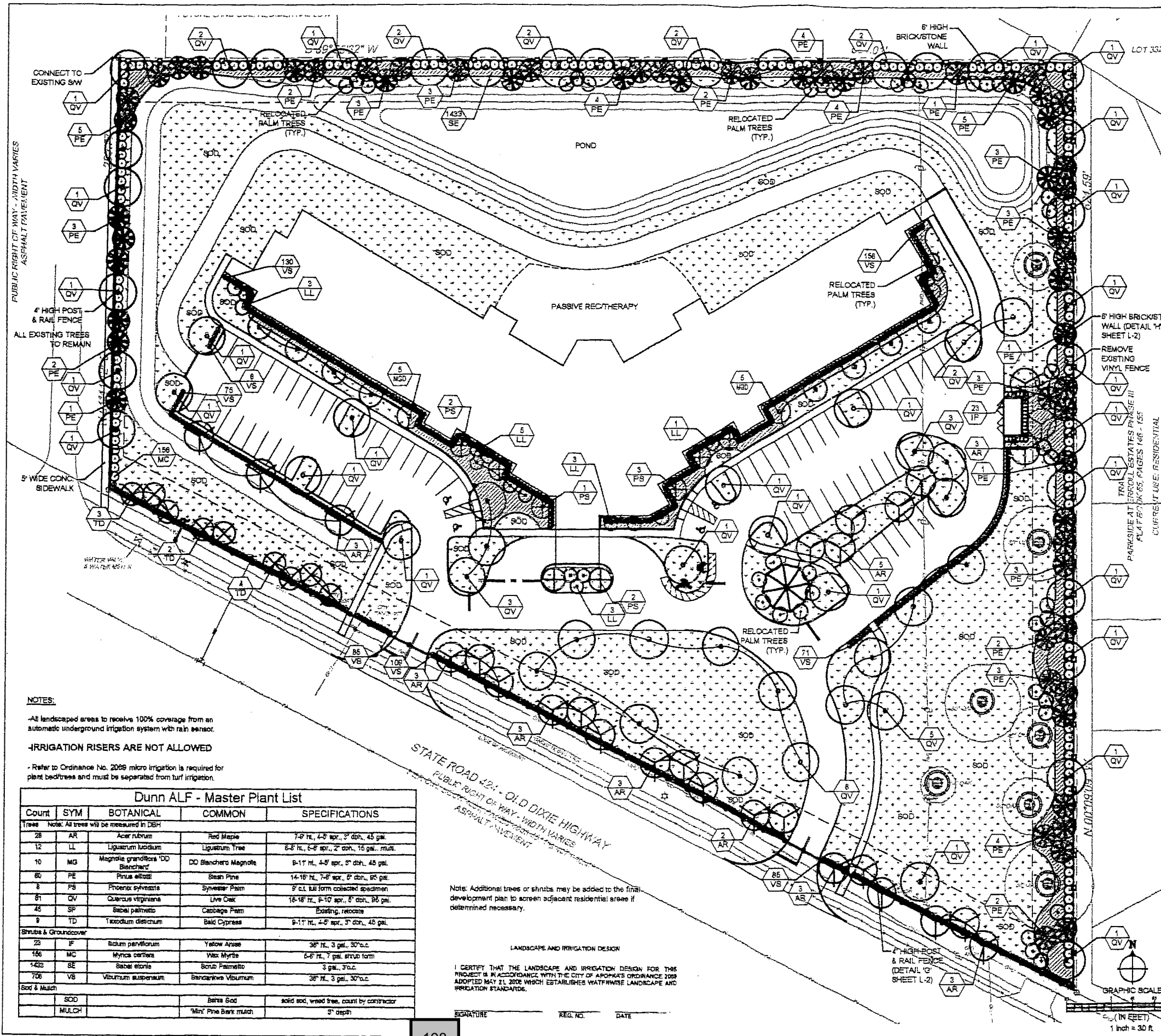
MASTER SITE PLAN/PRELIMINARY DEVELOPMENT PLAN-DIXIE MANOR
 CITY OF GOROKA, FLORIDA

HUDAK ENGINEERING, INC.
 CIVIL ENGINEERING & LAND DEVELOPMENT DESIGN SERVICES
 CERTIFICATE OF AUTHORIZATION #3388
 134 HAWKEYE AVENUE, ORLANDO, FL 32807
 PHONE: (407) 463-8833
 EMAIL: g.m.hudak@hudakengineering.com

DATE:
 FEBRUARY 2014

SHEET NO.
C-2
 2 of 2

SITE PLAN



LANDSCAPE TABULATION
GENERAL REQUIREMENTS
 Apopka Land Development Code Applies
 Chapter 24, Landscaping, Buffering, and Open Space

Landscape Adjacent to Street Right-of-Way
 (1 canopy tree per 30 L.F., and 36" Hedge)

South: 747' - 80' (Impervious) = 667'
 Trees Required: 20 Canopy
 Trees Provided: 30 Canopy

Landscape Adjacent to Other Properties:
 (1 canopy tree per 35 L.F.)

North: 661'
 Trees Required: 19 Canopy
 Trees Provided: 39 Canopy

East: 824'
 Trees Required: 18 Canopy
 Trees Provided: 36 Canopy + 6 Existing

West: 290'
 Trees Required: 8 Canopy
 Trees Provided: 13 Canopy

TREE PROTECTION SYMBOLS

- TREES TO BE SAVED
- TREES TO BE REMOVED

Trees to be Saved

Type	Count	Size	Inches
Oak	1	24"	24
Oak	1	32"	32
Oak	1	36"	36
Oak	1	42"	42
Oak	2	50"	50
Oak	1	80"	80
Total			224

TREE REMOVAL AND REPLACEMENT

TOTAL TREE INCHES ON-SITE = 224"

TOTAL TREE INCHES REMOVED = 0"

TOTAL TREE INCHES REPLACED = N.A.

MAXIMUM TREE STOCK FORMULA AND CALCULATIONS = N.A.

QUANTITY OF SPECIMEN TREES (24" OR GREATER) BEING REMOVED = 0

SITE CLEARING AREA IN SQUARE FEET AND ACRES = 293,826 sq. ft., 6.7 acres

NOTE: NO TREES ON SITE ARE TO BE REMOVED. UNSURVEYED PALMS ARE TO BE RELOCATED TO THE PROVIDED LOCATIONS.

NOTE: Failure to notify Landscape Architect of plan, detail, or specification discrepancies prior to construction, makes contractor responsible for all costs incurred for construction changes, not the owner or his representative (Landscape Dynamics Construction Co., Inc.). The Owner must maintain the height of all plants within the "Live-Or-Die" triangle area to a height of no greater than 24" above grade for shrubs and groundcover, and tree branches no lower than 72" above finish grade, as shown over the live views (lowest traffic at road and driveway intersections). Landscape Dynamics Construction Co., Inc. is not responsible for continued maintenance of such plants/materials. The owner, listing company and/or the landscape maintenance company accepts full responsibility for these maintenance requirements. LANDSCAPE CONTRACTOR TO HAND WATER ALL PLANT / TREE MATERIAL FOR AT LEAST 30 DAYS AFTER INSTALLATION.

48 HOURS BEFORE YOU DIG
 CALL SUNSHINE
 1-800-824-4770 or 811
 IT'S THE LAW IN FLORIDA
 FLORIDA LAW REQUIRES
 SUNSHINE TO NOTIFY
 OWNERS OF UNDERGROUND
 UTILITIES NO LESS THAN 48
 HOURS PRIOR TO CONSTRUCTION

NOTES:
 -All landscaped areas to receive 100% coverage from an automatic underground irrigation system with rain sensor.
 -IRRIGATION RISERS ARE NOT ALLOWED
 -Refer to Ordinance No. 2009 micro irrigation is required for plant bed/dress and must be separated from turf irrigation.

Dunn ALF - Master Plant List

Count	SYM	BOTANICAL	COMMON	SPECIFICATIONS
Trees Note: All trees will be measured in DBH				
28	AR	Acer rubrum	Red Maple	7-9' ht., 4-5" apr., 2" dbh., 45 gal.
12	LL	Ligustrum lucidum	Ligustrum Tree	6-8' ht., 5-6" apr., 2" dbh., 15 gal., mult.
10	MG	Magnolia grandiflora 'DD Blanchard'	DD Blanchard Magnolia	9-11' ht., 4-5" apr., 2" dbh., 45 gal.
80	PE	Pinus elliotii	Slash Pine	14-16' ht., 7-8" apr., 2" dbh., 95 gal.
8	PS	Phoenix syriensis	Synsepal Palm	9' c.t. full form collected specimen
81	OV	Quercus virginiana	Live Oak	16-18' ht., 8-10" apr., 5" dbh., 95 gal.
45	SP	Sabal palmetto	Cabbage Palm	Existing, relocate
9	TD	Taxodium distichum	Bald Cypress	9-11' ht., 4-5" apr., 5" dbh., 45 gal.
Shrubs & Groundcover				
23	IF	Isotum peruvianum	Yellow Anise	36" ht., 3 gal., 30" d.c.
156	MC	Myrica carthagenica	Vase Myrtle	6-8" ht., 7 gal. shrub form
1432	SE	Sabal etonia	Scrub Palmetto	3 gal., 30" d.c.
706	VB	Viburnum suspensum	Strawberry Viburnum	36" ht., 3 gal., 30" d.c.
Sod & Mulch				
	SOD		Betta Sod	solid sod, weed free, count by contractor
	MULCH		'Mini' Pine Bark mulch	2" depth

Note: Additional trees or shrubs may be added to the final development plan to screen adjacent residential areas if determined necessary.

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2009 ADOPTED MAY 21, 2009 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

LANDSCAPE ARCHITECTS AND PLANNERS

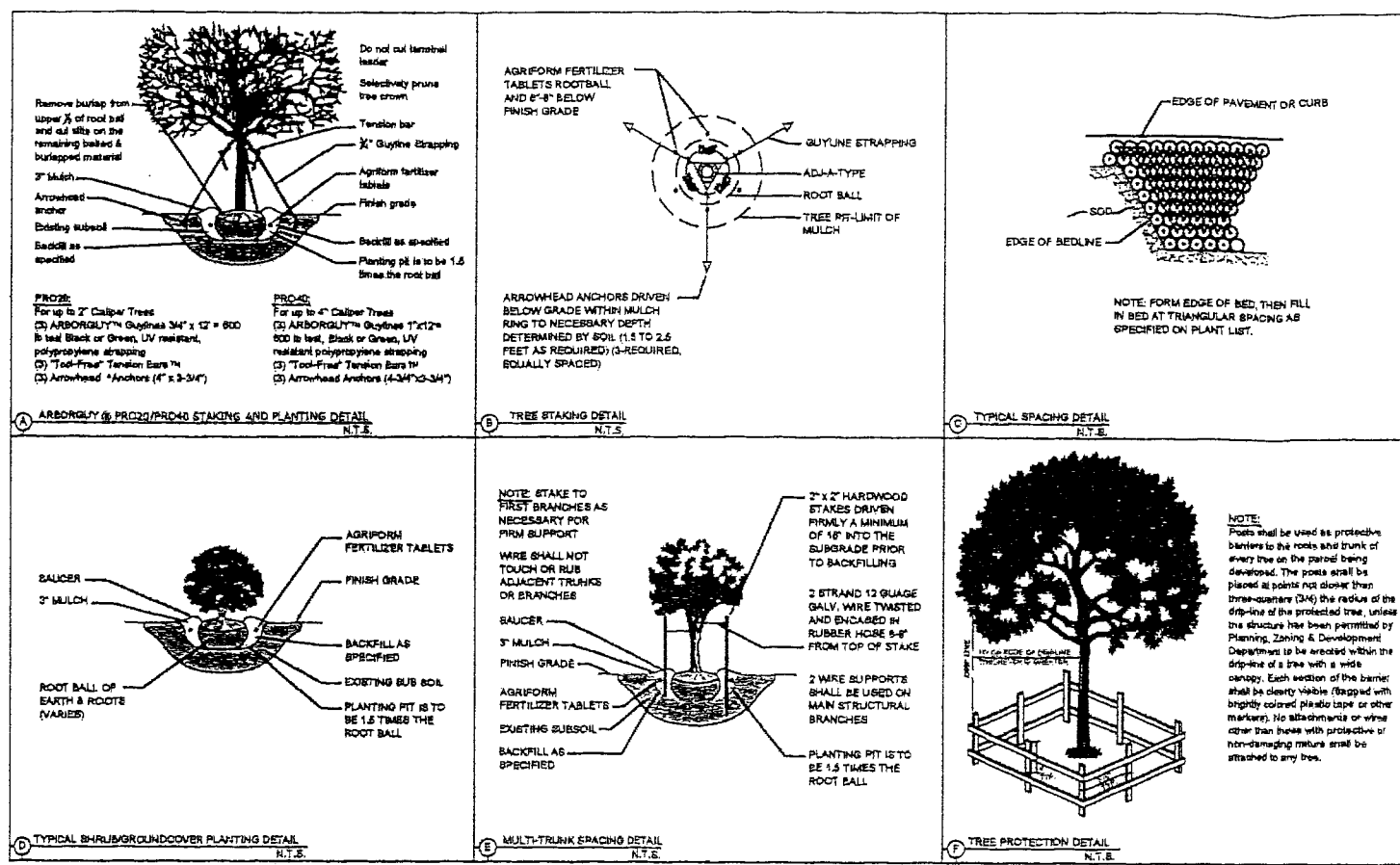
Robert J. Dunn, Trustee
 1432 SE 17th Ave., Suite 100
 Apopka, FL 32712
 Phone: 407-679-1817

LANDSCAPE PLAN
 Dixie Manor
 Apopka, Florida

FLA. REG. NO. 12000 - Water Park, Florida 32780-8888

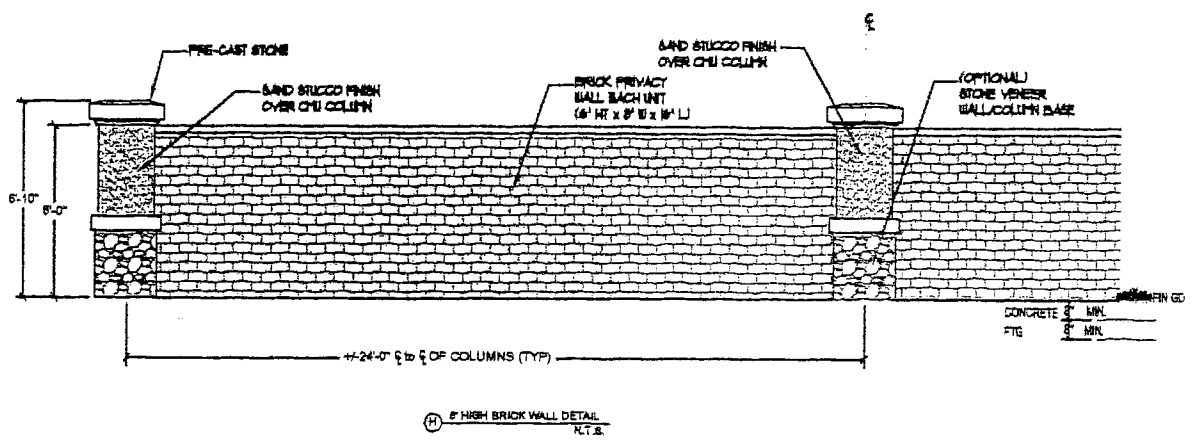
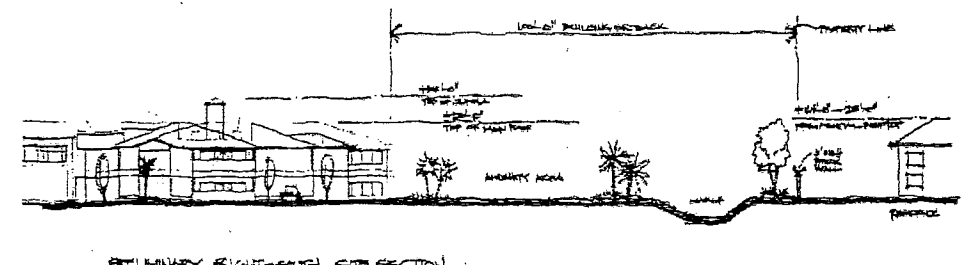
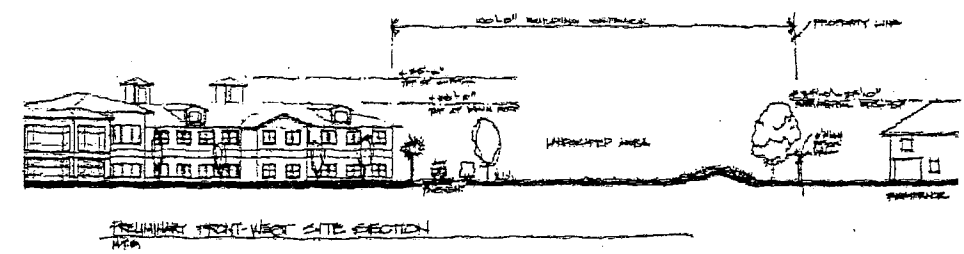
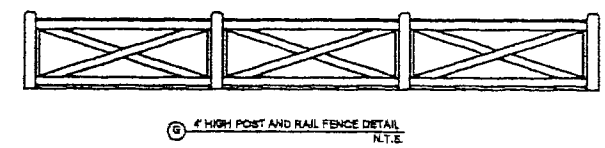
DATE: 11/11/11

SCALE: 1" = 30'



GENERAL LANDSCAPE NOTES:

- Landscape contractor (LC) shall be responsible for all materials and work called for on the landscape plans and in the landscape notes and legend. Plant specifications are minimum acceptable sizes. Plans shall rule if there are any quantity discrepancies between the legend and plans. Final quantity takeoffs are the responsibility of the LC. Notify the Landscape Architect of any discrepancies.
- LC shall comply with all local codes and ordinances and obtain all permits and bonds necessary to construct the project.
- LC shall coordinate their work with other contractors to assure efficient and timely completion of the work.
- LC to verify all existing grades, dimensions, adequate drainage, suitable planting soil and field conditions and notify owner of discrepancies before proceeding with work. Per FL Statutes, LC to call Sunshine State One (811) 72 hours prior to digging to have all utilities located.
- LC to protect existing utilities, structures, surfaces, and vegetation noted to be saved and be responsible for repair/replacement.
- Protected trees to be saved per detail. Vehicle parking, material storage, or soil removal/addition is not permitted within driplines.
- Round-Up shall be applied twice at ten day intervals onto all existing vegetation, sod, and groundcover areas that are to be replanted. Extreme care shall be taken to prevent overspray and/or drift onto existing plant material to be saved. Mfr's recommendations shall be followed. Remaining weeds and their roots shall be removed by hand prior to installation of plants. Resprouting weeds and plants are the responsibility of the LC through the one year warranty period.
- All plant materials shall be graded Florida No. 1 or better as outlined under current Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted. All plants not listed shall conform to a Florida No. 1 or better as to: (1) health and vitality, (2) condition of foliage, (3) root system, (4) freedom from pest or mechanical damage, (5) heavily branched and densely foliated according to the accepted normal shape of the species. LC to obtain written certification from nurseries that plant materials are Florida No. 1 or better.
- Trees up to 4" caliper measured at 6" above soil line and over 4" caliper at 12" above soil line unless otherwise noted. All specifications to be met or exceeded unless otherwise noted. All rootballs and containers to be free of weeds and their roots.
- Planting soil of Fla. peat mixed 1/2 with clean loessil for the backfilling of plant pits and beds shall be required only if existing soil is unsuitable for planting and/or contains lime rock or construction debris (to be removed).
- Trees and palms shall be installed so their top main root at the trunk is visible and 2" above finished grade. If root is buried, remove soil from the top of the rootball prior to installation. Do not apply the 1/4" of mulch to the top of the rootball until after inspection of each tree or palm.
- Landscape Architect is not responsible for adverse soil or drainage conditions, determining sub-surface soil conditions, underground objects/utilities or the accuracy of property lines or information portrayed on surveys or on documents or plans provided by others. Owner or their agent is solely responsible for future maintenance of all plantings to maintain safe visibility within all visibility sight triangles and vehicular use and pedestrian areas within and immediately adjacent to the site.
- Finished grade prior to mulching or sodding to be 3" below top of adjacent surfaces such as walks, curbs and driveways extending perpendicularly from the surface edge for a minimum distance of 18". See detail.
- All palms, trees, shrubs, and groundcovers shall be fertilized with Agriform 20-10-5 or Sierra Tabs 18-8-12 planting tablets. One tablet/ 1 gal, 2 tablets/ 3 gal, 3 tablets/ 5 or 7 gal, 4 tablets/ 10 gal and one tablet/ each 1/2" of tree trunk diameter. Application shall be as per the details and mfr's recommendation.
- All planting beds (except for annuals) and trees to receive med. pine bark mulch. Due to environmental concerns, cypress mulch shall NOT be used. All tree rootballs (which require 4 foot wide mulch rings in turf areas) shall be mulched to a maximum 1 1/2" depth to aid water penetration) following inspection. All other planting beds to receive a 3" depth. Mulch shall not touch trunks or stems or be applied within the crowns of groundcovers or over their branches or foliage. Mulch is to be applied by hand and shall not be "blown in".
- LC to maintain all plant material in a healthy, well-watered, insect/pest free condition until owner's final acceptance.
- LC to remove all bags (unless biodegradable), tags, ties, wires, ropes, stakes and nursery attachments from all plant material.
- LC shall be responsible to keep plant material in a healthy, well-watered, insect/pest free condition until owner's final acceptance.
- LC to provide a one-year warranty for trees/palms, shrubs, groundcovers, and vines and thirty days for sod. Warranty period shall start with final acceptance by owner. All plant material shall be alive and in satisfactory growth at the end of the warranty period. Replacement plant material shall be warranted for ninety days (sod for thirty days) from replacement date.
- Warranty shall apply only to material that dies due to poor quality, improper handling, or installation practices. Generally, material transplanted on-site shall not be warranted. Adverse weather conditions shall not apply. Proper watering and maintenance are the owner's responsibility during the warranty period.
- Provide 100% coverage of all landscape areas using automatic underground irrigation system with rain sensor.



LANDSCAPE AND IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2008 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____

NOTE: Failure to notify Landscape Architect of plan, detail, or specification discrepancies prior to construction, makes contractor responsible for all costs incurred for construction changes, not the owner or his representative (Landscape Dynamics Construction Co., Inc.) The Owner must maintain the height of all plants within the "Live-Or-Site" (single stem) to a height of no greater than 24" above grade for shrubs and groundcover, and tree branching no lower than 72" above finish grade, to ensure clear site line views toward traffic at road and driveway intersections. Landscape Dynamics Construction Co., Inc., is not responsible for continued maintenance of such plant material. The owner, leasing company and/or the landscape maintenance company accepts full responsibility for these maintenance requirements. LANDSCAPE CONTRACTOR TO HAND WATER ALL PLANT / TREE MATERIAL FOR AT LEAST 30 DAYS AFTER INSTALLATION.

48 HOURS BEFORE YOU DIG
CALL SUNSHINE
1-800-43-4776 or 811
IT'S THE LAW IN FLORIDA
FLORIDA LAW REQUIRES
EX-GRATIOS TO NOTIFY
OWNER OF UNDERGROUND
FACILITIES NO LESS THAN 72
HOURS PRIOR TO EXCAVATION

LANDSCAPE ARCHITECTS AND PLANNERS
 Robert K. Dimpf, Trust
 3337 N. W. 11th St.
 APOPKA, FL 32712
 PH: 407-678-1077

POLYMER BRICK - Water Park, Florida 32740-8882

Landscape Details and Specs
 Dixie Manor
 Apopka, Florida

L-2

James A. Campbell, P.A.
ARCHITECT
SIGNATURE & SEAL

PRELIMINARY DESIGN
ASSISTED LIVING FACILITY
APOPKA, FLORIDA

SHEET INFORMATION	
DATE:	JANUARY 28, 2014
DRAWN BY:	NMB
PROJECT NO.:	-
REVIEWED BY:	JAG

REVISIONS	
REVISION #	DATE

EXTERIOR ELEVATIONS

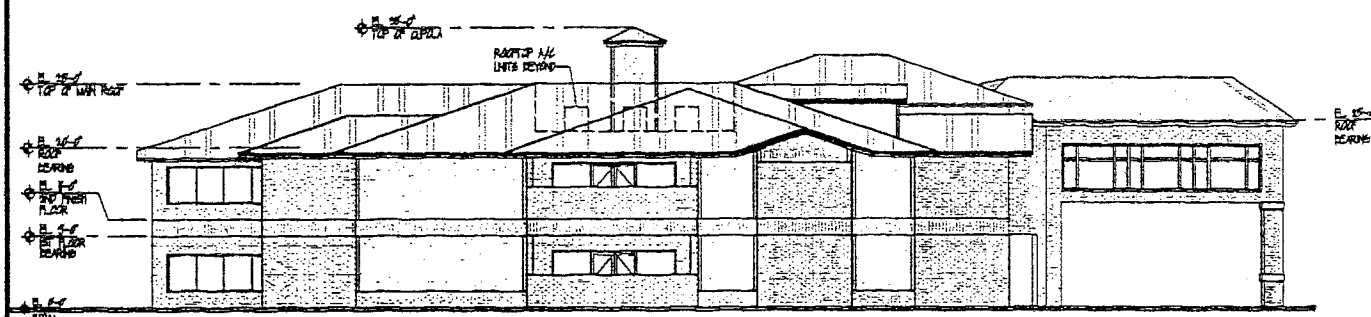
A3.1



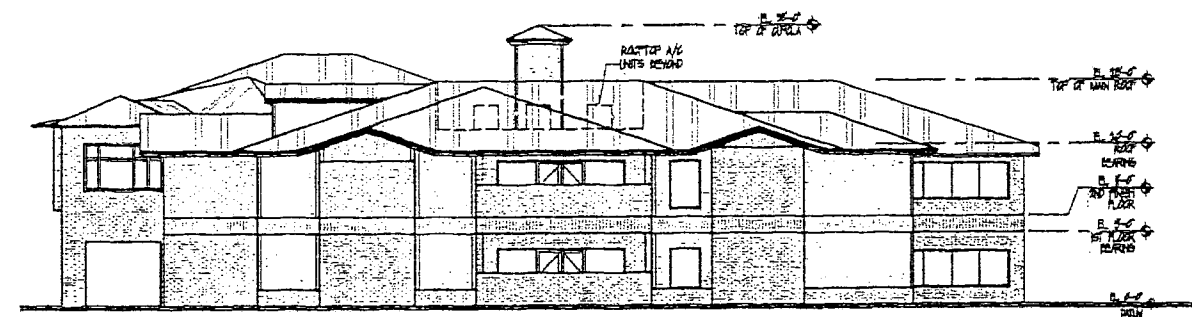
1 PRELIMINARY FRONT ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



2 PRELIMINARY REAR ELEVATION - NORTH
SCALE: 3/32" = 1'-0"



3 PRELIMINARY LEFT ELEVATION - WEST
SCALE: 3/32" = 1'-0"



4 PRELIMINARY RIGHT ELEVATION - EAST
SCALE: 3/32" = 1'-0"



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: September 21, 2016
 FROM: Office of the Mayor
 EXHIBITS: Resume

SUBJECT: Community Development Director

REQUEST: Confirm recommended individual to fill the position of Community Development Director

SUMMARY: With the impending departure of Community Development Director Mark Reggentin, the administration has identified a highly qualified individual to fill this position. James Hitt currently is Director of the Clermont Community Redevelopment Agency. Mr. Hitt’s resume follows for your review. According to the City’s Charter, the City Council must ratify appointments of department Directors.

FUNDING SOURCE: N/A

RECOMMENDED ACTION: Ratify Mr. James Hitt as Community Development Director.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

JAMES K. HITT

Resume

1755 Queen Palm Drive
Apopka, Florida 32712
floridahitt@yahoo.com
407.884.6968
407.810.8072 cell

PROFESSIONAL:

* February 2013 to Present

*ECONOMIC DEVELOPMENT DIRECTOR
COMMUNITY REDEVELOPMENT DIRCTOR*
City of Clermont, Florida

Economic Development and Community Redevelopment Director for the City of Clermont. Provides business development coordination for existing, expanding and new businesses in the City. Provides all coordination for redevelopment in the 157 acres CRA district. Develop and manage redevelopment programs in the CRA district to include the four CRA Incentive Programs. Develop and coordinate programs, bids and developments with various departments. First contact for all new businesses for development coordination with the City. City liaison for all Lake County Cities and government agencies as noted in P&Z Director description. Reports directly to the City Manager for recommendations to the City Council and CRA Board.

* April 2005 to February 2012

PLANNING & ZONING DIRECTOR
City of Clermont, Florida

Director of the Planning & Zoning Department for the City. Direct supervision of operations and personnel for all planning, zoning, code enforcement, and building permit services; includes site development approval & process, annexation, comprehensive plan, zoning, variances, conditional use permits, right-of-way/easement closings, plats, etc. Re-wrote the CRA's Redevelopment Plan in 2005 and 2010. Economic Development contact for all existing and new businesses; responsible for business retention and expansion, new site business development and redevelopment. Completed and controlled the budget for P&Z, Building Services and the CRA.

Serve on: The transportation Technical Advisory Committee (TAC) for the Lake-Sumter Metropolitan Planning Organization (MPO); Board member for the West Orange/South Lake Transportation & Economic Development Task Force; City liaison for the Clermont Downtown Partnership; liaison for the South Lake Chamber of Commerce Economic Development Committee & Sports & Tourism Committee.

Total staff: 11

* December 1992 to April 2005

SENIOR PLANNER
Community Development Department
City of Apopka, Florida

Development and supervision of the Community Redevelopment Agency (CRA). Liaison for the private sector to diversify and expand the City's economic base; implement, receive and respond to business inquiries for expansion and relocation of new or existing businesses; special projects development and supervision; planning, zoning and development review. Grant writer and coordinator for CDBG program, Historical Museum Grants-In-Aid Program, MAP I and others. Re-wrote City Comprehensive Plan based on the Evaluation and Appraisal Report (EAR). Wrote Lake Apopka Redevelopment Plan for the economic redevelopment and Impact Fee Credits based on job creation. Coordinate and process all annexations resulting in over \$100 million of taxable value and the development of strategies for improving the economic development base for revitalization in the City. Coordinate the CRA, Redevelopment Advisory Board and Citizens Advisory Board. Served on Development Review Committee, South Apopka ACTION, Small Business Council, Apopka Area Chamber of Commerce Economic Development Committee, Central Florida Friends of Trails, and Florida Redevelopment Association. Total staff: 11

* October 1991 to December 1992 *COMMUNITY DEVELOPMENT DIRECTOR*
CRA EXECUTIVE DIRECTOR
City of Palmetto, Florida

Departmental Director for the Community Development Department. Divisions within the Department include: Planning and Zoning, building, permitting, code enforcement, occupational licensing, parks & recreation and landscaping.
Total staff: 19.

Community Redevelopment Agency Executive Director. Duties include CDBG grants; Florida Housing Finance Agency HOME Funding grants; Streetscape Program; residential razing and renovation programs; development of low interest loan program for the CRA area; facade renovations in accordance with the "Minimum Maintenance Standards & Guidelines" ordinance, and; acquisition of properties for developmental purposes within the CRA area. Also served on the Manatee County Economic Development Council, Manatee County Safety Council, and Palmetto Bicycle Advisory Committee.

* April 1988 to June 1991 *CITY PLANNER*
Community Development Department
Coconut Creek, Florida

Administrative Supervisor for the Community Development Department. Divisions within the department include: Planning and zoning, building, permitting, code enforcement, occupational licensing and landscaping. Served on the Broward County Bicycle Advisory Committee.
Total staff: 16.

* November 1987 to April 1988 *ASSISTANT PLANNER*
Growth Management Department
City of Hollywood, Florida

Duties included: City zoning and land use mapping; land use element review; administrative variance review; site plan review; city owned property study; Memorial Hospital Area Study; Bicycle Path Study, and; liaison to the Economic Development Review Board.

* December 1985 to November 1987 *ASSISTANT PLANNER*
Monroe County Planning Commission
Monroe, Michigan

Duties included: Planning and review activities throughout the County. Preservation programs; Federal grant review; P.A. 116 Farmland Preservation Program applications. Wrote contractual Comprehensive plans; wrote the Capital Improvement Program and Overall Economic Development Program. Liaison to the Industrial Development Corporation.

EDUCATION:

- * 1986 MASTER OF SCIENCE
Land Use Planning Concentration
- * 1984 SECONDARY TEACHING CERTIFICATE
Geology/Earth Science and Geography, 7-12
- * 1980 BACHELOR OF SCIENCE
Major: Earth Science
Minors: Geography and Marketing
Eastern Michigan University
Ypsilanti, Michigan

AFFILIATIONS:

American Planners Association (APA)
Florida Planning & Zoning Association (FPZA)
Florida Redevelopment Association; Board of Directors 1996-2006
International Economic Development Council (IEDC)
Metro Orlando Economic Development Commission
Metropolitan Planning Organization (liaison)

PERSONAL:

Born: November 12, 1957; Ann Arbor, Michigan
Status: U.S. Citizen; excellent health; married w/ son & daughter
Hobbies: Kayaking, scuba diving, photography, woodwork, fishing, bicycling, and hiking.

REFERENCES: Available upon request